



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 11, 2019 REPORT NO. HO-19-113

HEARING DATE: December 18, 2019

SUBJECT: NEWMAN RESIDENCE CDP/SDP, Process Three Decision

PROJECT NUMBER: [607808](#)

OWNER/APPLICANT: James and Lynne Newman, Trustee of Newman Family Trust, Owners / Hilary Lowe and Paul Benton, Architects, Applicant

SUMMARY:

Issue: Should the Hearing Officer approve an application to demolish an existing, one-story, single-family dwelling unit and construct of a new, two-story single-family dwelling unit with an attached three-car garage located at 7742 Whitefield Place, within the La Jolla Community Planning area?

Staff Recommendation:

1. Approve Coastal Development Permit No. 2146838; and
2. Approve Site Development Permit No. 2146839

Community Planning Group Recommendation: On November 1, 2018, the La Jolla Community Planning Association made a motion to recommend approval of the project, the motion failed, with a vote of 7-7-1. A second motion to recommend denial of the project was made and that motion also failed, with a vote of 5-8-2 (Attachment 7).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA sections 15301 (Existing Facilities), 15303 (New Construction), and 15332 (In-Fill Development). An appeal of the CEQA determination was previously made and the City Council denied the CEQA appeal on October 21, 2019. The scope of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

The 0.55-acre project site is located on the south side of 7742 Whitefield Place, approximately three blocks east of the Pacific Ocean (Attachment 1). The existing one-story 3,040-square-foot residence was built in 1923. The surrounding neighborhood is a mix of one and two-story single dwelling units that form a well-established residential neighborhood (Attachment 3). The project site is located in the RS-1-5 Zone, Coastal Overlay Zone (Non-Appealable Area), Coastal Height Limitation Overlay Zone, Very High Fire Hazard Severity Zone, Residential Tandem Parking Overlay Zone, Transit Priority Area, and within the La Jolla Community Plan area (Community Plan).

Per San Diego Municipal Code (SDMC) section 143.0212, all projects impacting a parcel that contains a structure older than 45 years must be reviewed to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. Development Services Department staff evaluated the project site and concluded it is not significant, nor eligible for historic designation under local, state or federal criteria.

The proposed project requires a Coastal Development Permit per SDMC [Section 126.072](#) for the proposed demolition and construction on property within the Coastal Overlay Zone. A Site Development Permit is required per SDMC [Section 143.0110](#) for development on a premise containing Environmentally Sensitive Lands (ESL) in the form of Steep Hillside.

DISCUSSION

The project proposes to demolish an existing one-story residence and construct a two-story, 10,778-square-foot single-family residence over basement, with an attached three-car garage. The Community Plan designates the site as Low Density (5-9 DU/AC) Residential land use (Attachment 2). The proposed residential use of the 0.55-acre property is consistent with this land use designation, although, it is below the density range with a density of 1.81 DU/AC. The property consists of two lots, currently developed with one existing single-family dwelling unit (to be demolished), as is allowed by the RS-1-5 Zone.

The proposed project complies with all required setbacks; front yard of 15 feet, side setbacks ten and six feet, and rear setback 114 feet. The proposed floor area ratio (FAR) of 0.45 is the maximum allowed FAR of 0.45 (10,778-square-feet). The proposed single family dwelling unit over basement, consists of a 3,061-square-foot lower floor basement (below grade), a 2,349-square-foot lower floor (above grade), a 5,830-square-foot main floor with attached garage and a 2,599-square-foot upper floor on a 0.55-acre property. The proposed residence will be approximately 27 feet in height, in compliance with the allowed 30-foot height limit. There are no proposed variances or deviations to the development regulations of the Land Development Code.

STEEP HILLSIDES

The site is not identified as having sensitive habitat on the City's resource maps and the existing onsite landscaping is ornamental in nature. The project does not contain any sensitive riparian

habitat or other identified habitat community. Furthermore, the project site does not contain nor is it adjacent to MHPA designated lands. However, the site does contain Steep Hillside on the project's northwest side, which is subject to the ESL regulations.

There is vacant land directly north of the project site. This vacant property is privately owned, is not public designated open space, is not mapped as having sensitive habitat and does not contain, nor is it adjacent to, MHPA designated lands. The proposed single-family residential project includes a brush management plan, however, zone one of brush management does not encroach onto this vacant property. Zone two of brush management is impact neutral. Thus, there is no environmental impact on the adjacent vacant property.

Geotechnical Investigation Reports that analyzed the site's stability and any other potential geologic hazards were prepared by the applicant. According to the reports, the project site's gross slope stability was found to be adequate overall and the site was found to be suitable for the proposed development. Surface drainage run-off from the eastern portion of the site will be conveyed through a new drain system directed to Whitefield Place via a sidewalk underdrain. The western portion of the site will direct flow to the western natural hillside portion of the site in multiple storm water discharge locations to mimic the existing drainage pattern and minimize erosion. This drainage design was engineered to comply with current storm water regulations. The proposed development is located in the flatter and previously developed portion of the site in order to be sensitive to the existing natural topography and minimize the amount of grading. As a condition of the permit the project will record a covenant of easement over the natural steep hillsides located in the northwestern portion of the site which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area (Attachment 5, Condition No. 33). All construction will be built on previously disturbed area with proposed grading quantities of 60 cubic yards of cut, 160 cubic yards of fill and 100 cubic yards of import.

PUBLIC VIEWS AND PUBLIC ACCESS

There are no public views on or adjacent to project site as identified by the La Jolla Community Plan and Local Coastal Land Use Plan (Attachment 9). This project as proposed conforms to the protected public view regulations, goals, policies and public vantage point figures in the Land Development Code and La Jolla Community Plan and Local Coastal Program Land Use Plan.

Whitefield Place is not identified within the Community Plan and Local Coastal Program Land Use Plan as an Alternative Pedestrian Access (Attachment 10). City sidewalks currently do not exist along the project frontage and occur in an intermittent pattern within the neighborhood. As a permit condition, public sidewalks will be added along the project's street frontage and constructed to current standards (Attachment 5, Condition No. 16).

CONCLUSION:

This proposed project is designed to comply with the development regulations of the RS-1-5 zone, the Environmentally Sensitive Lands regulations, and consistent with the public access and public views as identified by the La Jolla Community Plan and Local Coastal Program Land Use Plan. Staff supports a determination that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff

recommends the Hearing Officer approve Coastal Development Permit No. 2146838 and Site Development Permit No. 2146839, as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2146838 and Site Development Permit No. 2146839, with modifications.
2. Deny Coastal Development Permit No. 2146838 and Site Development Permit No. 2146839, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Glenn R. Gargas, Development Project Manager

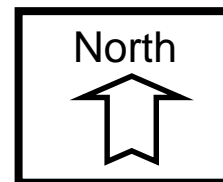
Attachments:

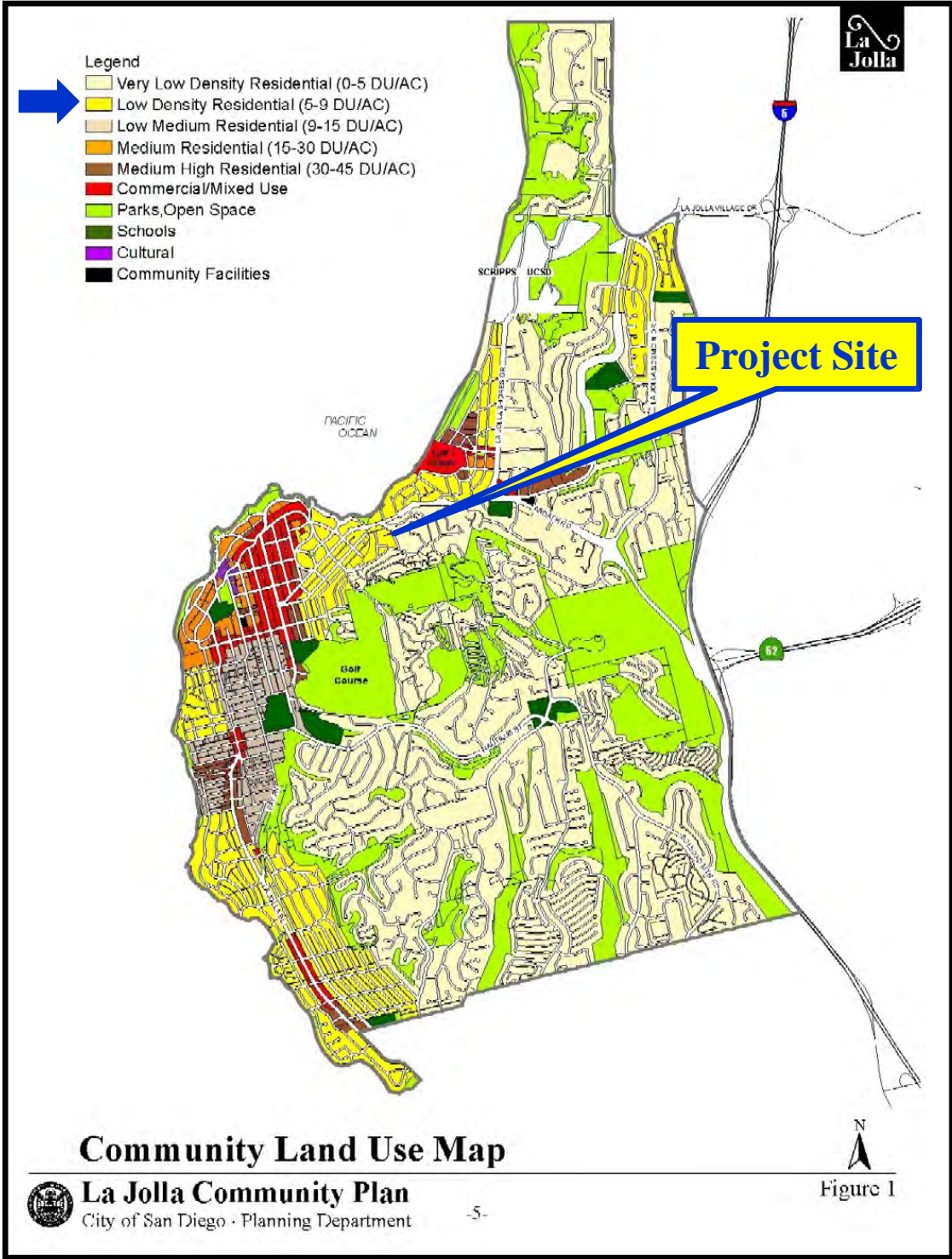
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Notice of Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. La Jolla Community Plan – Figure F – Subarea D Coast Walk – Visual Access
10. La Jolla Community Plan – Figure F – Subarea D Coast Walk – Physical Access
11. Project Plans



Project Location Map

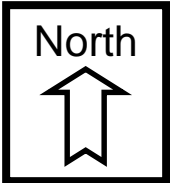
NEWMAN RESIDENCE CDP/SDP 7742 WHITEFIELD PLACE
PROJECT NO. 607808





Land Use Map

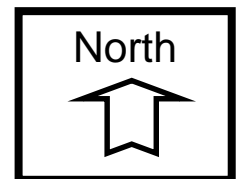
NEWMAN RESIDENCE CDP / SDP - 7742 WHITEFIELD PLACE
PROJECT NO. 607808 La Jolla





Aerial Photo

NEWMAN RESIDENCE CDP/SDP 7742 WHITEFIELD PLACE
PROJECT NO. 607808



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2146838/SITE DEVELOPMENT PERMIT NO. 2146839
NEWMAN RESIDENCE - PROJECT NO. 607808

WHEREAS, NEWMAN FAMILY TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a single-family residence and construct a two-story over basement single-family residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2146838 and 2146839), on portions of a 0.55-acre property;

WHEREAS, the project site is located at 7742 Whitefield Place, in the RS-1-5 Zone, Coastal (Non-Appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Very High Fire Hazard Severity Zone, Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area within the La Jolla Community Plan area.

WHEREAS, the project site is legally described as; Lots 3 and 4, in Block C of Villa Tract Subdivision, in the City of San Diego, County of San Diego, State of California, According to Map Thereof No. 1535, Filed in the office of the County Recorder of San Diego County February 24, 1913;

WHEREAS, on June 19, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15301 (Existing Facilities), 15303(New Construction) and 15332 (In-Fill Development); and the Environmental Determination was appealed to City Council, which heard and denied the appeal on October 21, 2019, pursuant to Resolution No. R-312711.

WHEREAS, on December 18, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2146838 and Site Development Permit No. 2146839, pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2146838 and Site Development Permit No. 2146839:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is developed with a one-story, single-family residence and contains Environmentally Sensitive Lands in the form of steep hillsides in the northwestern portion of the project site. This project proposes to demolish the existing residence and to construct a two-story-over-basement, single-family dwelling unit with an attached three-car garage. The residence will be situated in the eastern portion of the site that was previously disturbed by the existing development. The project site is located approximately three blocks from the Pacific Ocean coastline. The project's proposed development footprint is located within the existing lot area, made up of two lots. The project site is not located within the First Public Roadway (North Torrey Pines Road) and the Pacific Ocean. The site does not contain any form of pedestrian access as identified by the La Jolla Community Plan and Local Coastal Land Use Plan (LJCP). The site does not contain a public view, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. The proposed project meets all the development standards, such as building setbacks, off-street parking, building height and floor area ratio as required by the underlying zone. Thus, the proposed residential development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the LJCP; and the proposed development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the La Jolla Community Plan and Local Coastal Program Land Use Plan.

- 2. The proposed coastal development will not adversely affect Environmentally Sensitive Lands.**

The project site is developed with a one-story, single-family residence within an urbanized area and contains Environmentally Sensitive Land (ESL) in the form of steep hillsides. This

project proposes to demolish the existing residence and to construct a one-story-over-basement, single-family dwelling unit with an attached three-car garage. The site is not mapped as having sensitive habitat and the existing landscaping onsite is ornamental in nature. The project does not contain any sensitive riparian habitat or other identified habitat community. Furthermore, the project site does not contain, nor is it adjacent to, MHPA designated lands.

There is vacant land directly north of the project site. This vacant property is privately owned, is not public designated open space, is not mapped as having sensitive habitat and does not contain, nor is it adjacent to, MHPA designated lands. The proposed single-family residential project does include a brush management plan, however, zone one of brush management does not encroach onto this vacant property. Zone two of brush management is impact neutral. Thus, there is no environmental impact on the adjacent vacant property.

As a condition of the permit the project will record a covenant of easement over the natural steep hillsides located in the northwestern portion of the site which ensures preservation of the Environmentally Sensitive lands that are outside the allowable development area. Surface drainage run-off from the eastern portion of the site will be conveyed through a new drain system directed to Whitefield Place via a sidewalk underdrain. The western portion of the site will direct flow to the western natural hillside portion of the site in multiple storm water discharge locations to mimic the existing drainage pattern and minimize erosion. This drainage design was engineered to comply with current storm water regulations. The project proposes 60 cubic yards of cut grading and 160 cubic yards of fill, with 100 cubic yards of import. Based on the above, this proposed development of a single-family residence will not adversely affect ESL.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes to demolish the existing single-family residence and construct of a new 10,778-square-foot two-story single-family dwelling unit over a basement with an attached garage, and is located in an area identified as Low Density Residential, 5 to 9 dwelling units/per acre (du/ac) within the LJCP. The proposed residential use of the 0.55-acre property is consistent with that land use designation, although it is below the density range with a density of 1.81 DU/AC. The property consists of two lots, currently developed with one existing single-family dwelling unit, as is allowed by the RS-1-5 zone.

The proposed residence is designed to be sensitive to the natural topography of the site by locating the proposed residence in the flatter, previously disturbed portion of the site and minimize the amount of grading. The proposed development of the project is in the eastern portion of the site. The project is designed to comply with all applicable development regulations of the RS-1-5 Zone, the Coastal Overlay Zone, Coastal Height Limitation Overlay Zone and Environmentally Sensitive Lands Regulations. The proposed residence will be approximately 27 feet in height, below the allowed 30-foot height limit. The proposed project complies with the required setbacks; front setback of 15 feet, side setbacks of ten and six feet, rear setback of 114 feet, and meets the maximum floor area ratio of 0.45.

The LJCP states on Page 82 in Community Character: "single dwelling unit residential development in La Jolla covers a spectrum of densities and architectural styles and expressions. One of the more critical issues associated with the single dwelling unit is the relationship between the bulk and scale of infill development to existing single family dwelling units."

Community Character is defined on Page 84 of the Plan: "... to promote good design and harmony with the visual relationships and transitions between new and older structures..." "Community Character" is defined within the Community Plan on Pages 81 (4th bullet point "harmonious visual relationship"), Page 84 which states in part "... to promote good design and harmony with the visual relationships and transitions between new and older structures...", and on Page 90

- a) "in order to maintain and enhance the existing neighborhood character ambience promote good design and visual harmony in the transitions between new and existing structures and preserve the following elements: (1) bulk and scale with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space."

Community Character is defined as the visual relationship between newer and older structures within the community as viewed from the street, parks and open space.

As viewed from the street, the design of the proposed home addresses each of the standards, design guidelines, and policies contained within the Community Plan, including; community character, dealing with the avoidance of extreme and intrusive changes to residential scale, bulk, the design and harmony of the visual relationship in transitions between newer and older structures, landscape and streetscape, sensitive design, and larger side yard setback along the project's north side.

Consistent with the Plan Pages 89 and 90, the proposed home addresses all the recommendations concerning bulk and scale, height, transitions, street landscape, increased side yard setback, stair step design, articulation and offsetting planes, and the treatment and variation within setback areas. The proposed home will result in an appropriate transition between the existing older development and newer development within the neighborhood. The proposed development complies with all development regulations and will observe height and setback requirements

This site located on Whitefield Place does not contain a public view, as identified within the LJCP. The proposed project is sited to be fully contained within the existing legal lot area, within the allowed building envelope and will not negatively affect any public views. The project site is not located in an area identified as containing pedestrian access to coastal resources. Therefore, the proposed project has been found to be in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, the project is in compliance with Chapter 3 of the California Coastal Act.

Site Development Permit - Municipal Code Section 126.0505

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes to construct of a new 10,778-square-foot two-story single-family dwelling unit over basement with an attached garage and is in an area identified as Low Density Residential 5 to 9 dwelling units/per acre (du/ac) within the LJCP. The proposed residential use of the 0.55-acre property is consistent with that land use designation, however, it is below the density range with a density of 1.81 DU/AC. The property consists of two lots, currently developed with one existing single-family dwelling unit, as is allowed by the RS-1-5 zone.

Whitefield Place adjacent to this site does not contain a public view, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. The project is proposed within the allowed building envelope and will not negatively affect any identified public views. The project site is not located in an area identified as containing pedestrian access to coastal resources. The proposed development of the project is in the eastern portion of the site, which is zoned RS-1-5. The proposed development has been found consistent with the identified public access and identified public views of the LJCP, and the RS-1-5 Zone development regulations, ESL regulations, allowed density and design recommendations. Thus, this residential dwelling unit development will not adversely affect the La Jolla Community Plan.

2. The proposed development will not be detrimental to the public health, safety and welfare.

The proposed construction of a new 10,778-square-foot, two-story-over-basement, residential dwelling unit with an attached garage and has been designed to comply with all of the applicable development regulations, including those of the RS-1-5 Zone, Coastal Overlay Zone, Coastal Height Limitation Overlay Zone, brush management regulations and the Environmentally Sensitive Lands regulations. A portion of the site will be preserved with the recording of a Covenant of Easement to protect the remaining steep hillsides. The project will not have any impact on the provision of essential public services. The project will make public health and safety improvements such as constructing a new driveway on Whitefield Place, reconstruct the existing curb and provide brush management for fire protection. The permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes,

policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes to construct a new 10,778-square-foot two-story over basement single-family dwelling unit with an attached garage. The project as proposed will comply with the development regulations of the RS-1-5 Zone, Coastal Overlay Zone, ESL regulations and Local Coastal Program for the LJCP area. The proposed residence will be approximately 27 feet in height, in compliance with the maximum 30-foot height limit. The proposed project complies with the required front setback of 15 feet, the required side setback of ten and six feet, the rear setback of 114 feet and the proposed floor area ratio (FAR) of 0.45 is the maximum allowed FAR of 0.45. There are no proposed variances or deviations to the development regulations of the Land Development Code. The building setbacks, drainage, lot coverage, floor area ratio, building height, public views and public access will comply with all the required development regulations and applicable policy documents. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project site contains Environmentally Sensitive Lands in the form of steep hillsides. The proposed construction of a new 10,778-square-foot single-family dwelling unit with an attached garage that will be in approximately the same location in an area of the existing development. The project has been designed to comply with all the applicable development regulations, residential structure to conform to the hillside topography. The geologic report prepared for this project indicated that the proposed site has adequate geologic stability, that the site was previously disturbed in the area of the proposed residential structure, resulting in a minimum disturbance to the steep hillsides. The western portion of the site, outside of the development footprint, contains steep hillsides, which will remain and be protected with the recording of a covenant of easement as a condition of the permit. Surface drainage run-off from the eastern portion of the site will be conveyed through a new drain system directed to Whitefield Place via a sidewalk underdrain. The western portion of the site will direct flow to the western natural hillside portion of the site in multiple storm water discharge locations to mimic the existing drainage pattern and minimize erosion. The permit

controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse effects to those persons or other properties in the vicinity. The project proposes 60 cubic yards of cut grading and 160 cubic yards of fill, with 100 cubic yards of import. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The proposed development will be sited in the eastern portion of the site that was previously disturbed by fill material. The geologic report prepared for this project indicated that the proposed site has adequate geologic stability, that the site was previously disturbed in the area of the proposed residential structure, resulting in a minimum disturbance to the steep hillsides. To avoid erosional forces surface drainage run-off from the eastern portion of the site will be conveyed through a new drain system directed to Whitefield Place via a sidewalk underdrain. The western portion of the site will direct flow to the western natural hillside portion of the site in multiple storm water discharge locations to mimic the existing drainage pattern and minimize erosion. This drainage design was engineered to comply with current storm water regulations. The proposed development is located in the flatter and previously developed portion of the site in order to minimize the amount of grading. As a condition of the permit the project will record a covenant of easement over the natural steep hillsides located in the northwestern portion of the site. This will ensure that this area containing steep hillsides will remain protected. The grading operations for the proposed basement and foundation would entail approximately 60 cubic yards of cut grading and 160 cubic yards of fill, with 100 cubic yards of import. The project includes a brush management plan to reduce the risk of fire hazards. The project is not within a flood overlay zone or a potentially sensitive area for fire hazards. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project site is currently developed with an existing single-family residence and contains ESL in the form of steep hillsides. This project proposes to construct a two-story-over-basement, single-family dwelling unit with an attached three-car garage to be in the eastern portion of the site that was previously disturbed. The northwestern portion of the site, outside of the development footprint, contains steep hillsides, which will remain and be protected with the recording of a covenant of easement as a condition of the permit. Surface drainage run-off from the eastern portion of the site will be conveyed through a new drain system directed to Whitefield Place via a sidewalk underdrain. The western portion of the

site will direct flow to the western natural hillside portion of the site in multiple storm water discharge locations to mimic the existing drainage pattern and minimize erosion. This drainage design was engineered to comply with current storm water regulations. The proposed development is in the flatter and previously developed portion of the site in order to minimize the amount of grading. The project proposes 60 cubic yards of cut grading and 160 cubic yards of fill, with 100 cubic yards of import. Based on the above, this proposed development of a single-family residence will be sited and designed to prevent adverse impacts on any adjacent Environmentally Sensitive Lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP);

The project proposes to construction of a new 10,778-square-foot, two-story-over-basement, single-family residence with an attached garage. The site is located along Whitefield Place, in the RS-1-5 zone, Coastal Overlay Zone (Non-Appealable Area), Coastal Height Limitation Overlay Zone and within the La Jolla Community Planning area.

The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and the site does not contain any form of Vernal Pool Habitat. Therefore, the subject finding does not apply to this project.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The proposed development takes place entirely within private property and stays within the area of previous disturbance. The project site is located approximately three blocks from the Pacific Ocean coastline. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. Surface drainage run-off from the eastern portion of the site will be conveyed through a new drain system directed to Whitefield Place via a sidewalk underdrain. The western portion of the site will direct flow to the western natural hillside portion of the site in multiple storm water discharge locations to mimic the existing drainage pattern and minimize erosion. This drainage design was engineered to comply with current storm water regulations. The proposed development is in the flatter and previously developed portion of the site in order to minimize the amount of grading. As a condition of the permit the project will record a covenant of easement over the natural steep hillsides located in the northwestern portion of the site. This will ensure that this area containing steep hillsides will remain protected. The grading operations for the proposed basement and foundation would entail approximately 60 cubic yards of cut grading and 160 cubic yards of fill, with 100 cubic yards of import. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

This project proposes to construct a two-story-over-basement, single-family residence with an attached garage. The site is located on a developed lot along the southwest side of Whitefield Place, in the RS-1-5 zone, Coastal Overlay Zone (Non-Appealable Area), Coastal Height Limitation Overlay Zone and within the LJCP area. The project site contains ESL in the form of steep hillsides. This project was determined to be categorically exempt under CEQA Guidelines and no mitigation measures were required. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Coastal Development Permit No. 2146838 and Site Development Permit No. 2146839, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2146838 and 2146839, a copy of which is attached hereto and made a part hereof.

Glenn R. Gargas
Development Project Manager
Development Services Department

Adopted on: December 18, 2019

IO#: 24007865

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007865

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2146838/SITE DEVELOPMENT PERMIT NO. 2146839
NEWMAN RESIDENCE - PROJECT NO. 607808
HEARING OFFICER

This Coastal Development Permit/Site Development Permit is granted by the Hearing Officer of the City of San Diego to NEWMAN FAMILY TRUST, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 143.0110. The 0.55-acre site is located at 7742 Whitefield Place in the RS-1-5 Zone, Coastal (Non-Appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Very High Fire Hazard Severity Zone, Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area within the La Jolla Community Plan area. The project site is legally described as: Lots 3 and 4, in Block C of Villa Tract Subdivision, in the City of San Diego, County of San Diego, State of California, According to Map Thereof No. 1535, Filed in the office of the County Recorder of San Diego County February 24, 1913.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a single-family residence and construct a, two-story, over basement single-family residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 18, 2019 on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single-family dwelling unit and construction of a two-story, 10,778-square-foot single family dwelling unit over basement, which consists of a 3,061-square-foot lower floor basement (below grade), a 2,349-square-foot lower floor (above grade), a 5,830-square-foot main floor with attached garage and a 2,599-square-foot upper floor on a 0.55-acre property;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Fences, walls, retaining walls, patio and walkways; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by January 6, 2023.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for any landscaping and the private improvements in the Whitefield Place Right-of-Way.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 12-foot wide driveway, adjacent to the site on Whitefield Place, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the removal of the existing driveway, per exhibit "a", and replace it with curb, gutter and sidewalk per City Standard, adjacent to the site on Whitefield Place, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing curb with City Standard curb and gutter, adjacent to the site on Whitefield Place.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
21. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot

area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

22. Prior to issuance of any construction permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

23. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

25. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

26. The Brush Management Program shall consist of a modified Zone One ranging from 8-feet to 26-feet in width with a corresponding Zone Two of 65-feet in width, extending out from the habitable structure towards the native/naturalized vegetation consistent with §142.0412(h)(7).

27. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

28. Prior to issuance of any construction permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

29. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-

rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

30. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

31. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

33. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for, Steep Hill-sides, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENTS:

35. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

36. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

ATTACHMENT 5

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 18, 2019, by Resolution No.

_____.

ATTACHMENT 5

Permit Type/PTS Approval No.: CDP No. 2146838/SDP No. 2146839
Date of Approval: Dec. 18, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Newman Family Trust
Owner/Permittee

By _____
James W. Newman
Co-Trustee

Newman Family Trust
Owner/Permittee

By _____
Lynne Newman
Co-Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

☐ Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: Newman Residence SDP CDP / 607808

SCH No.: N/A

Project Location-Specific: 7742 Whitefield Place, La Jolla, CA 92307

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: SITE DEVELOPMENT PERMIT (SDP) and COASTAL DEVELOPMENT PERMIT (CDP) for the demolition of a one-story 3,040-square-foot single dwelling unit with studio loft on a 0.55-acre lot, and construction of a new two-story 10,121-square-foot single dwelling unit with basement and attached 740-square-foot 3-car garage located at 7742 Whitefield Place in the RS-1-5 zone of the La Jolla Community Plan area. Overlay zones include: Coastal Height Limitation Overlay Zone, Coastal Overlay Zone - Non-Appealable Area 1, Environmentally Sensitive Lands, Fire - Brush Management 100' Setback, Fire - Brush Zone 300' Buffer, Very High Fire Hazard Severity Zone, Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Yamel Solomon, Alcorn & Benton Architects, 7757 Girard Ave., La Jolla, CA 92037, 858-459-1350

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: Section 15301 (Existing Facilities), Section 15303 (New Construction), and Section 15332 (In-Fill Development)
- ☐ Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) and Section 15303 (New Construction). Section 15301 allows for the demolition of one single family residence. Section 15303 allows for the construction of one single family residence. Since the proposed project is the demolition of an existing single dwelling unit and the reconstruction of a new single dwelling unit, the exemptions are appropriate. In addition, the project meets the criteria set forth in CEQA Section 15332 (In-Fill Development). The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no more than five acres and is substantially surrounded by urban uses. The project site has no value as habitat for endangered, rare or threatened species. Approval of the project would not result in any significant effects related to air quality, noise, traffic or water quality. The site can be adequately serviced by all required utilities and public services. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply because no

ATTACHMENT 6

cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code

Lead Agency Contact Person: C. Holowach

Telephone: 619-446-5187

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Courtney Holowach for JS Senior Planner
Signature/Title

12/6/19
Date

Check One:

(X) Signed By Lead Agency

() Signed by Applicant

Date Received for Filing with County Clerk or OPR:



La Jolla Community Planning Association

November 15, 2018

To *Glenn Gargas*

cc. *Paul Benton*

Subject: La Jolla Community Planning Association Vote

RE: Newmann Residence (Project # 607808)

On November 1, 2018 at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed **the Newmann Residence** as an Action Item on Full Review.

Site Development Permit and Coastal Development Permit to demolish an existing one-story single family dwelling, and to construct a new two-story 10,861 square foot dwelling with basement and attached garage at 7742 Whitefield Place. The 0.55 acre site is located in the RS-1-5 zone and the Non-appealable area of the Coastal Overlay Zone in the La Jolla Community Plan area, Council District 1.

The LJCPA made a motion that “findings could be made” to approve this project. This motion was NOT approved, with a vote of 7-7-1.

After this vote, the LJCPA made a motion that “findings could not be made”. Once again, the motion was NOT approved, with a vote of 5-8-2.

The DPR had previously made a motion that findings CANNOT be made for this project, which was approved 6-0-2.

Sincerely,

Bob Steck, President

La Jolla Community Planning Association

| | | | |
|---|---|---|---------------------|
|  | City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000 | Ownership Disclosure Statement | FORM |
| | | | DS-318 |
| | | | October 2017 |

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: NEWMAN RESIDENCE

Project No. For City Use Only: 607808

Project Address: 7742 WHITEFIELD PLACE, LA JOLLA CA 92037

Newman Family Trust

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? CA Corporate Identification No. _____

☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: James & Lynne Newman Trustees Newman Family Trust ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: PO Box 3241, 14419 Emerald Lane

City: Rancho Santa Fe

State: CA Zip: 92067

Phone No.: 858-756-4492

Fax No.: _____

Email: juNewman67@gmail.com

Signature: [Signature]

Date: 5/11/18

Additional pages Attached:

☐ Yes

☒ No

Applicant

Name of Individual: James & Lynne Newman ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: PO Box 3241, Box 14419 Emerald Ln

City: Rancho Santa Fe

State: CA Zip: 92067

Phone No.: 858-756-4492

Fax No.: _____

Email: juNewman67@gmail.com

Signature: [Signature]

Date: 5/11/18

Additional pages Attached:

☐ Yes

☒ No

Other Financially Interested Persons

Name of Individual: Lynne Newman ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: PO Box 3241, 14419 Emerald Ln

City: Rancho Santa Fe

State: CA Zip: 92067

Phone No.: 858-756-4492

Fax No.: _____

Email: LMNewman1@gmail.com

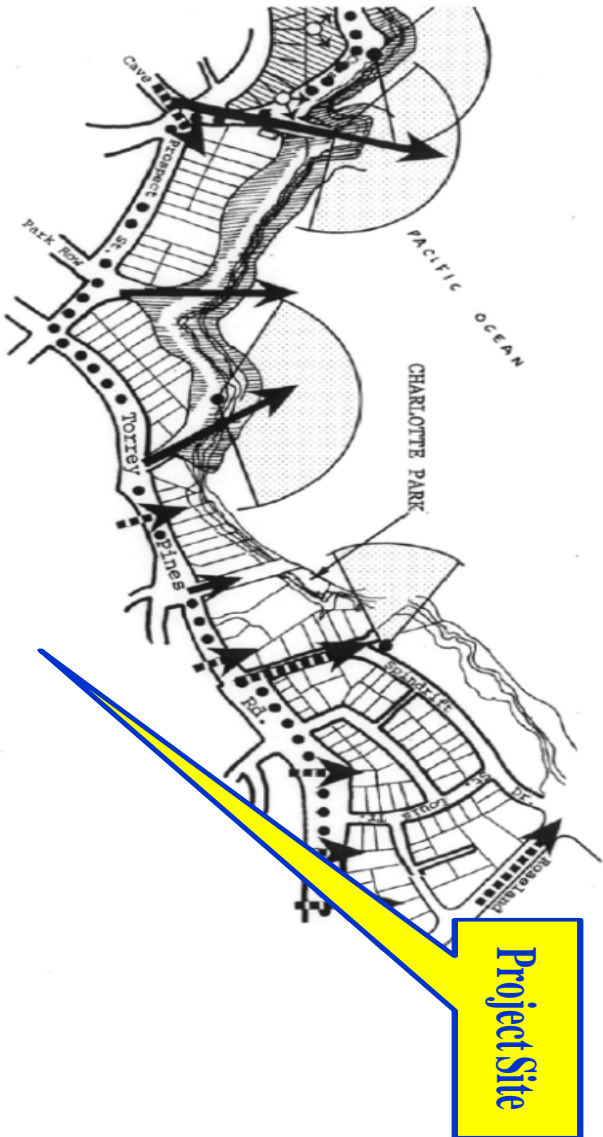
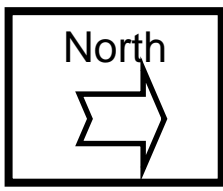
Signature: [Signature]

Date: 5/11/18

Additional pages Attached:

☐ Yes

☒ No



- NOTE: All views are to a coastal body of water
- MAJOR VIEWSHED: Unobstructed panoramic view from a public vantage point
- VIEW CORRIDOR: Unobstructed framed view down a public R.O.W.
- SCENIC OVERLOOK: View over private properties from a public R.O.W.
- SCENIC ROADWAY: Partially obstructed views over private properties and down public R.O.W.s
- QUASI-PUBLIC VISTA on commercial properties
- HIGH POTENTIAL for visual access in commercial development

0 400 FEET



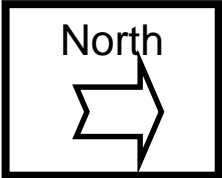
Visual Access

NEWMAN RESIDENCE CDP / SDP - 7742 WHITEFIELD PLACE
PROJECT NO. 607808

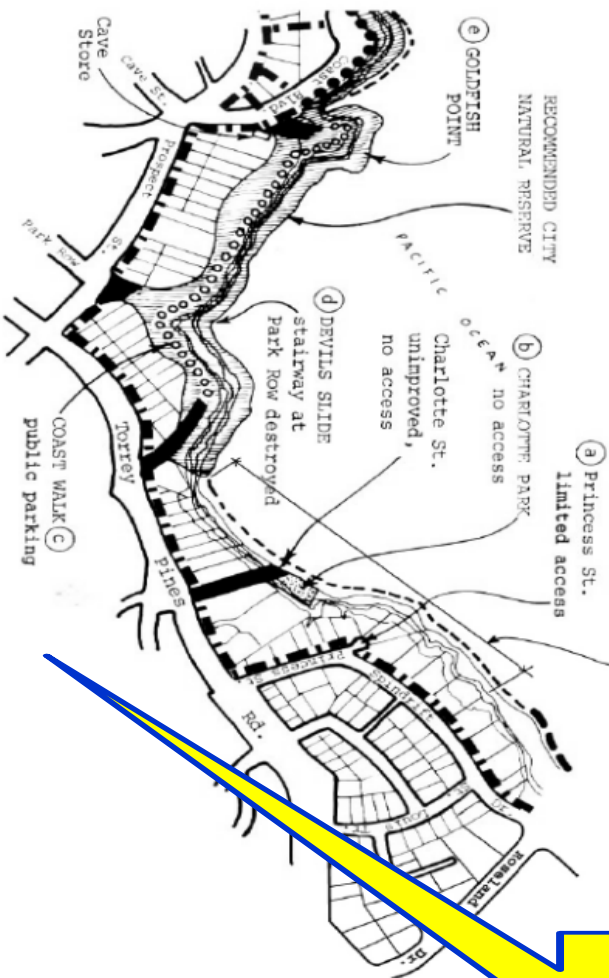


La Jolla Community Plan
City of San Diego - Planning Department

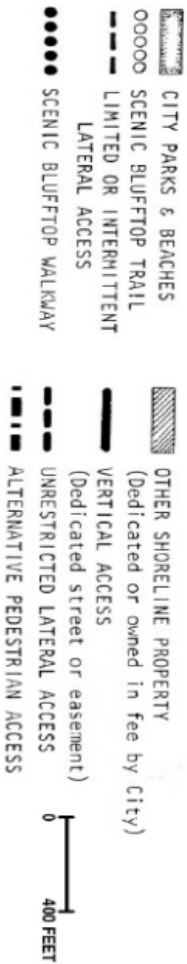
Figure D



To be analyzed for potential future public access from public r.o.w. to shoreline across private property



Project Site



Physical Access

**NEWMAN RESIDENCE CDP / SDP - 7742 WHITEFIELD PLACE
PROJECT NO. 607808**

Subarea D: Coast Walk - Physical Access

Figure C



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VICINITY MAP



PROJECT TEAM

OWNERS:
JAMES & LYNNE NEWMAN
PO BOX 3241
RANCHO SANTA FE, CA 92067
858-756-4492

ARCHITECT:
ALCORN & BENTON ARCHITECTS
7757 GIRARD AVE
LA JOLLA, CA 92037
858-459-0805
PROJECT MANAGER: LINDSAY KING
lindsay@alcornbenton.com

LANDSCAPE ARCHITECT:
TODD FRY LANDSCAPE ARCHITECTS
7920 PRINCESS ST
LA JOLLA, CA 92037
858-459-8005
PROJECT MANAGER: JENNIFER PHELPS
jennifer@tf-la.com

CIVIL ENGINEER:
COFFEY ENGINEERING
9666 BUSINESSPARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
858-831-0111
PROJECT MANAGER: DAN VALDEZ
DAN@COFFEYENGINEERING.COM

GEOTECHNICAL ENGINEER:
GEOTECHNICAL EXPLORATION, INC.
7420 TRADE STREET
SAN DIEGO, CA 92121
858-549-7222
PROJECT MANAGER: JAY K. HEISER
JHEISER@GEI-SD.COM

SURVEYOR:
CHRISTENSEN ENGINEERING
7888 SILVERTON AVE, SUITE J
SAN DIEGO, CA 92126
(858) 271-9901
ceands@aol.com

SHEET INDEX

- 0.0 Title Sheet
- 0.1 Existing Topographic Map
- 0.2 Slope Analysis - Site Plan
- 0.3 Slope Analysis - Site Specific Geologic Map
- 0.4 Slope Analysis - Schematic Cross Section A-A
- 0.5 GFA & FAR Analysis Diagrams
- 0.6 300' Radius, Fire Hydrants, Transit Stops
- 1.0 Demolition Plan
- 1.1 Site Development Plan
- C.1 Grading & Drainage Plan
- L-1 Landscape Development Plan
- L-2 Landscape Area Diagrams & Calculations
- L-3 Brush Management Plan
- 2.1 Main Floor Plan
- 2.2 Upper Floor Plan
- 2.3 Lower Floor Plan
- 2.4 Roof Plan
- 3.1 North & South Elevations
- 3.2 East & West Elevations
- 4.1 Sections

DEVELOPMENT SUMMARY

PROJECT NAME:
NEWMAN RESIDENCE

PROJECT DESCRIPTION:
THE PROJECT PROPOSES THE DEMOLITION OF AN EXISTING ONE-STORY SINGLE FAMILY DWELLING AND CONSTRUCTION OF A NEW TWO-STORY SINGLE FAMILY DWELLING WITH BASEMENT AND ATTACHED GARAGE.

APPLICATION:
COASTAL DEVELOPMENT PERMIT
SITE DEVELOPMENT PERMIT

USE:
EXISTING = SINGLE FAMILY RESIDENCE
PROPOSED = SINGLE FAMILY RESIDENCE

ORIGINAL CONSTRUCTION:
BUILT IN 1923
HISTORIC PRELIMINARY REVIEW, PTS #517987

OVERLAYS:
- COASTAL HEIGHT LIMIT
- COASTAL (CITY)
- FIRE BRUSH ZONES 300' BUFFER
- FIRE HAZARD SEVERITY ZONE
- PARKING IMPACT
- RESIDENTIAL TANDEM PARKING
- TRANSIT AREA
- SENSITIVE BIOLOIC RESOURCES
- STEEP HILLSIDES
- GEOLOGIC HAZARD CATEGORIES 12 & 53
- EARTHQUAKE FAULT BUFFER

PROJECT ADDRESS:
7742 WHITEFIELD PLACE, LA JOLLA, CA 92037

APN:
350-251-03-00

LEGAL DESCRIPTION:
LOTS 3 & 4 IN BLOCK 'C' OF VILLA TRACT RESUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOFNO. 1535, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 24, 1913

ZONE: RS 1-5

OCCUPANCY: R-3

CONSTRUCTION: TYPE V-B, SPRINKLERED

LOT AREA: 23,958 SF

EXISTING STORIES: 1 STORY W/ BASEMENT
PROPOSED STORIES: 2 STORY W/ BASEMENT

ALLOWABLE SETBACKS:
FRONT: 15'
REAR: 20'
SIDE: 4'
TOTAL SIDE 99.95' x 0.08 = 8' x 2 = 16'

EXISTING SETBACKS:
FRONT: 13'-10"
REAR: 125'-6"
N. SIDE: 29'-8"
S. SIDE: 9'-10"

PROPOSED SETBACKS:
FRONT: 15'
REAR: 114'-9"
N. SIDE: 10'
S. SIDE: 6'
TOTAL SIDE: 10' + 6' = 16'

EXISTING SQUARE FOOTAGE:
MAIN FLOOR: 2,473 SF
- GARAGE: 0 SF
LOWER FLOOR: 255 SF
LOWER - GFA EXEMPT: 111 SF
STUDIO LOFT: 284 SF
STUDIO: 29 SF
STUDIO - GFA EXEMPT: 430 SF

TOTAL GFA: 2,930 SF

PROPOSED SQUARE FOOTAGE:
MAIN FLOOR: 5,090 SF
- GARAGE: 740 SF
- COVERED DECK - GFA EXEMPT: 493 SF
- COVERED ENTRY - GFA EXEMPT: 290 SF
UPPER FLOOR: 2,599 SF
LOWER FLOOR: 2,349 SF
LOWER - GFA EXEMPT: 3,061 SF

TOTAL GFA: 10,778 SF

ALLOWABLE FLOOR AREA RATIO: .45

EXISTING FAR:
2,930 SF / 23,958 SF = .12

PROPOSED FAR:
10,778 SF / 23,958 SF = .45

EXISTING LOT COVERAGE:
3,161 SF / 23,958 SF = .13

PROPOSED LOT COVERAGE:
6,229 SF / 23,958 SF = .26

COMPLETENESS REVIEW CERTIFICATION

1. I am accountable for knowing and complying with the governing policies, regulations and submittal requirements applicable to this proposed development;
2. I have performed reasonable research to determine the required approvals and decision process for the proposed project, and that failure to accurately identify an approval or decision process could significantly delay the permitting process;
3. I have taken the Professional Certification for Development Permit Completeness Review training and am on the approved list for Professional Certification;
4. Maintaining my Professional Certification for Development Permit Completeness Review privilege requires accurate submittals on a consistent basis;
5. Submitting incomplete documents and plans on a consistent basis may result in the revocation of my Professional Certification for Development Permit Completeness Review;
6. If required documents or plan content is missing, project review will be delayed; and
7. This submittal package meets all of the minimum submittal requirements contained in Land Dev Manual, Vol 1, Chapter 1, Section 4.

Responsible Certified Professional Name:

L. King

Lindsay King 05.12.2018

DISCRETIONARY PERMIT SUMMARY

PROJECT NAME: NEWMAN RESIDENCE
PROJECT ADDRESS: 7742 WHITEFIELD PLACE
LA JOLLA, CA 92037
APN: 350-251-03-00
OWNER: JAMES & LYNNE NEWMAN
ARCHITECT: ALCORN & BENTON ARCHITECTS
7757 GIRARD AVENUE
LA JOLLA, CA 92037
858.459.0805
lindsay@alcornbenton.com
PTS: 607808
CDP DATE: MAY 11, 2018
RESUBMITTAL: JULY 13, 2018
SHEET: 1 OF 20

Alcorn & Benton
ARCHITECTS

7757 Girard Avenue, La Jolla, California, 92037
P.858.459.0805
F.858.459.1350

Newman
Residence
Coastal Development Permit

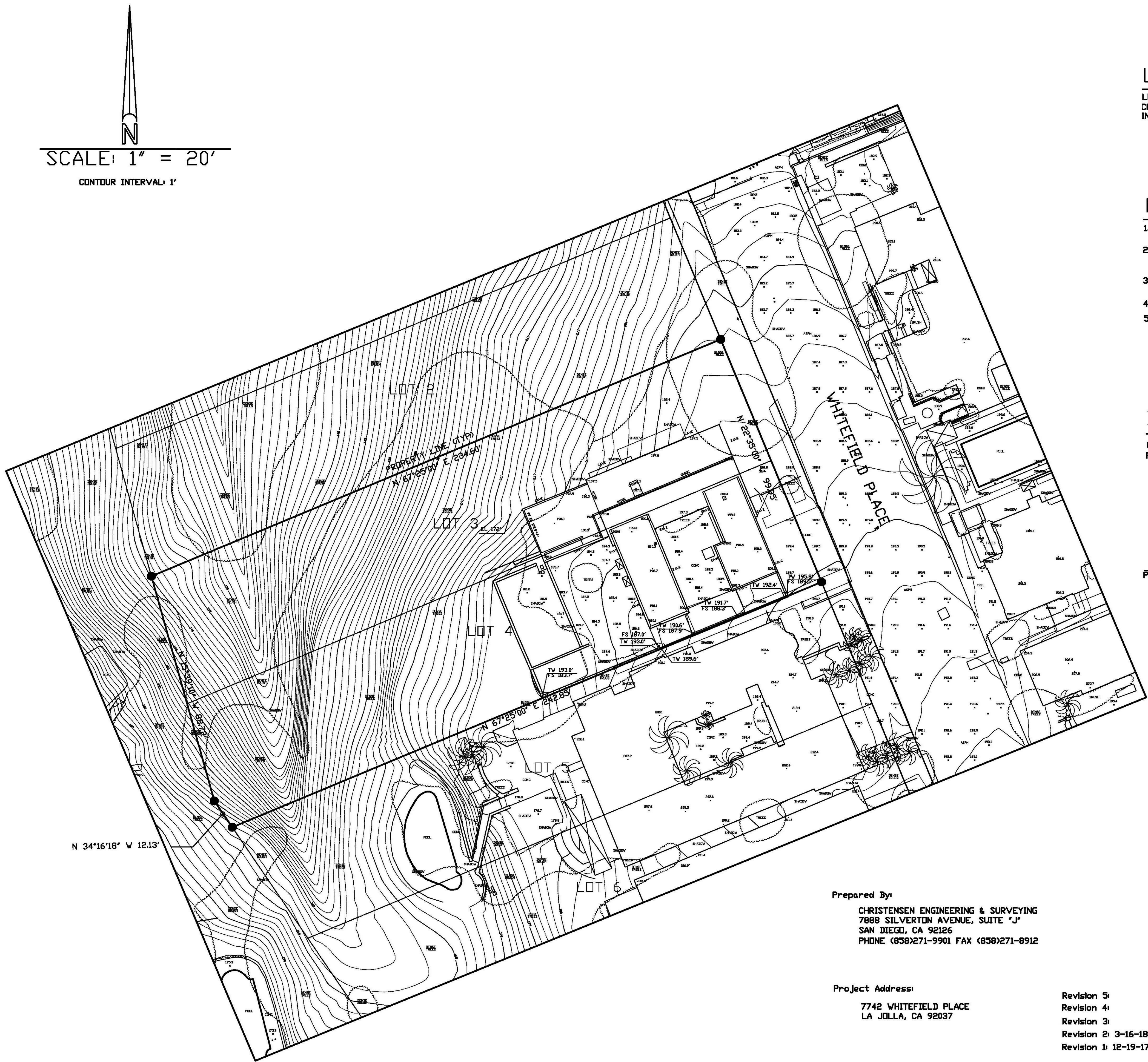
7742 Whitefield Pl
La Jolla, CA 92037

| | |
|-----------------|--------------|
| Date | 4/19/2019 |
| Project No. | |
| Design/ Drawing | JLA/PFB |
| Sheet | |
| Scale | See Drawings |

Title Sheet

0.0

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LEGAL DESCRIPTION

LOT 3 AND 4 IN BLOCK 'C' OF VILLA TRACT RESUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1535, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY FEBRUARY 24, 1913.

NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. TITLE REPORT NOT PROVIDED.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 7742 WHITEFIELD PLACE, JOLLA, CA 92037.
4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 350-251-03.
5. THE TOTAL AREA OF THE SUBJECT PARCEL IS 0.55 ACRES.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NORTHWESTERLY CORNER OF WHITEFIELD PLACE AND SOLEDAD AVENUE. ELEVATION 196.89' MEAN SEA LEVEL (M.S.L. 1929).

PATRICK F. CHRISTENSEN, P.L.S. 7208 Date 06-01-17



Newman Residence
Coastal Development Permit

7742 Whitefield Pl
La Jolla, CA 92037

| | |
|-----------------|--------------|
| Date | 4/19/2019 |
| Project No. | |
| Design/ Drawing | JLA/PFB |
| Sheet | |
| Scale | See Drawings |

Existing
Topographic
Map

0.1

DISCRETIONARY PERMIT SUMMARY

| | |
|------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
| PTS: | 607808 |
| CDP DATE: | MAY 11, 2018 |
| RESUBMITTAL: | JULY 13, 2018 |
| SHEET: | 2 OF 20 |

Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE 'J'
SAN DIEGO, CA 92126
PHONE (858)271-9901 FAX (858)271-8912

Project Address:
7742 WHITEFIELD PLACE
LA JOLLA, CA 92037

Project Name:
NEWMAN RESIDENCE

Sheet Title:

TOPOGRAPHIC MAP

Revision 5:
Revision 4:
Revision 3:
Revision 2: 3-16-18 ADDED CURB
Revision 1: 12-19-17 ADDED TOPO

Original Date: JUNE 1, 2017

Sheet 1 OF 1

DEP#

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ARCHITECTS
7757 Girard Avenue, La Jolla, California, 92037
P.858.459.0805
F.858.459.1350

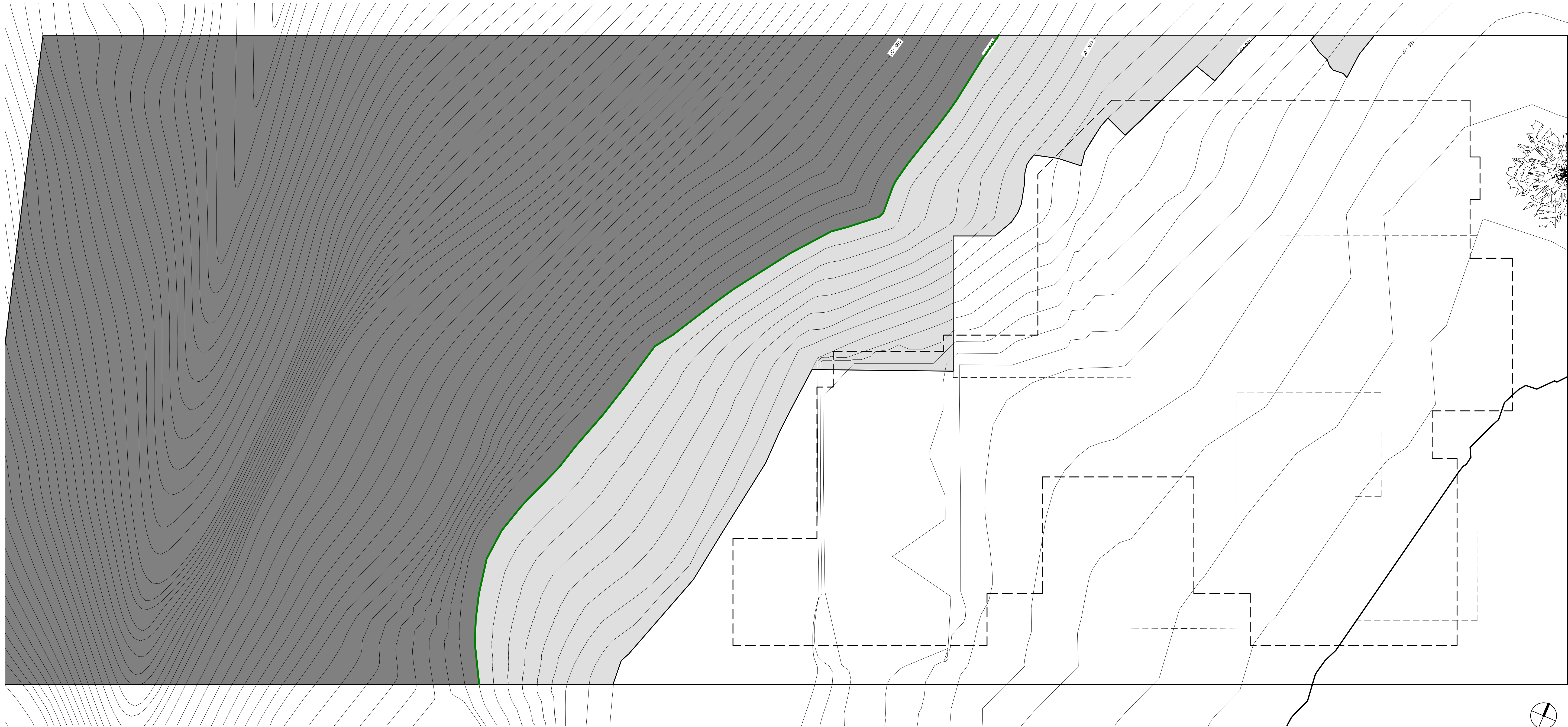
Newman
Residence
Coastal Development Permit

7742 Whitefield Pl
La Jolla, CA 92037

| | |
|-----------------|--------------|
| Date | 4/19/2019 |
| Project No. | |
| Design/ Drawing | JLA/PFB |
| Sheet | |
| Scale | See Drawings |

Slope Analysis -
Site Plan

0.2

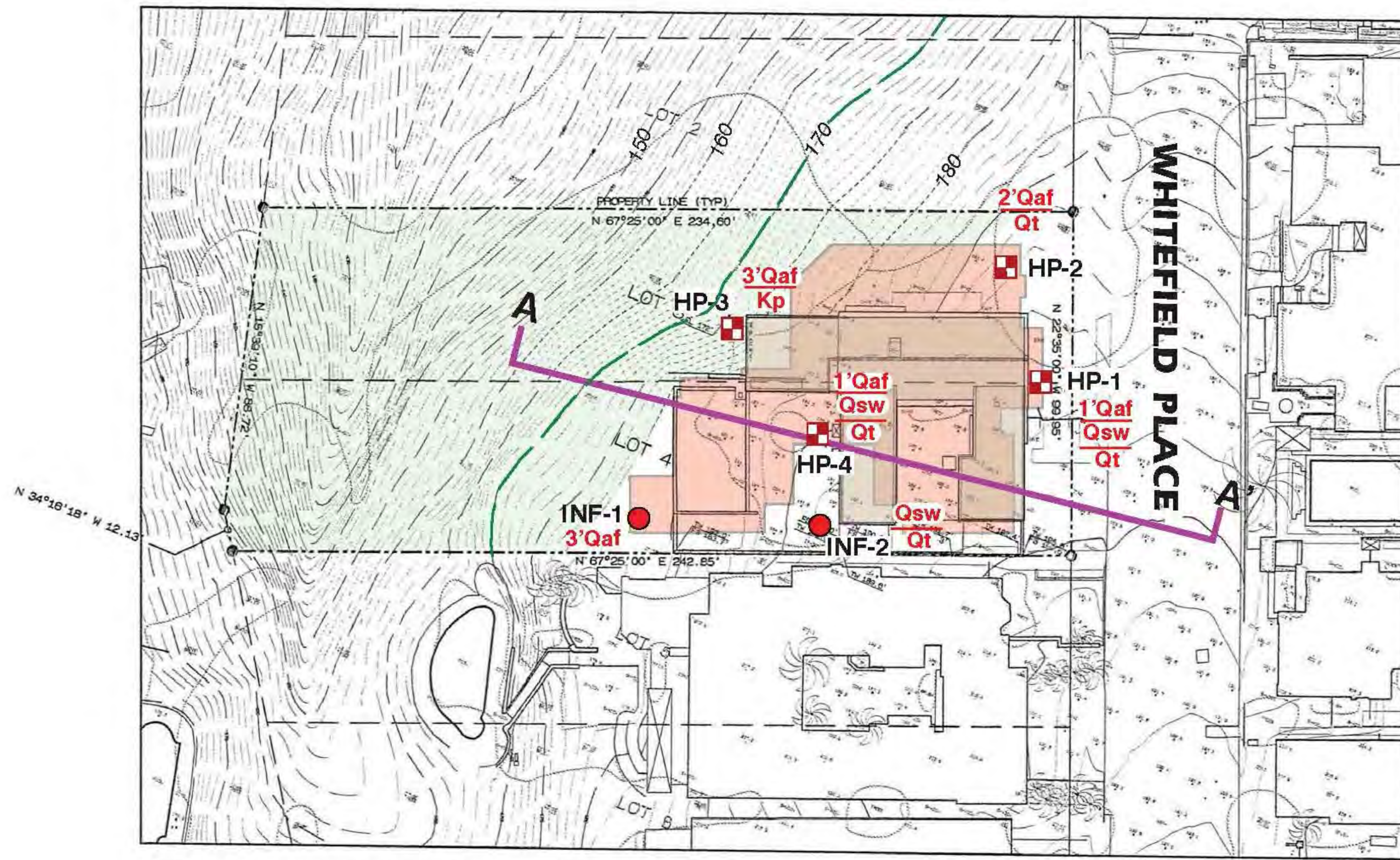


1 Slope Analysis - Site Plan
1/8" = 1'-0"

| CALCULATIONS |
|---|
| LOT AREA (TOTAL) = 23,958 SF |
| LOT AREA <25% SLOPE = 10,404 SF 10,404 / 23,958 = 43% |
| LOT AREA PREVIOUSLY DISTURBED = 10,404 + 3,080 = 13,484 SF 13,484 / 23,958 = 56% |
| LOT AREA NATURAL HILLSIDE = 10,404 SF 10,404 / 23,958 = 44% |

| LEGEND |
|---|
| ----- EXISTING FOOTPRINT |
| - - - - - PROPOSED FOOTPRINT |
| TOP OF STEEP NATURAL HILLSIDE PER GEOLOGICAL REPORT BY GEOTECHNICAL EXPLORATION DATED APRIL 05, 2018 |
| LOT AREA >25% SLOPE NATURAL HILLSIDE |
| LOT AREA >25% SLOPE PREVIOUSLY DISTURBED |
| LOT AREA <25% SLOPE |

| DISCRETIONARY PERMIT SUMMARY | |
|------------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
| PTS: | 607808 |
| CDP DATE: | MAY 11, 2018 |
| RESUBMITTAL: | JULY 13, 2018 |
| SHEET: | 3 OF 20 |



LEGAL DESCRIPTION
LOT 3 AND 4 IN BLOCK 12 OF VILLA TRACT REDEVELOPMENT, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NUMBER NO. 1830, FILED IN THE OFFICE OF THE COUNTY REGISTRAR OF SAN DIEGO COUNTY FEBRUARY 24, 1993.

NOTES
1. EXISTING, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY HAVE BEEN REVIEWED, BUT CANNOT BE REPRODUCED. TITLE REPORT NOT PROVIDED.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED ON THE FIELD. PRIOR TO ANY EXCAVATION UTILITY LOCATIONS WILL NEED TO BE MAINTAINED.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 7742 WHITEFIELD PLACE, JOLLA, CA 92037.
4. THE ADDRESS PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 380-025-005.
5. THE TOTAL AREA OF THE SUBJECT PARCEL IS 0.55 ACRES.

BENCHMARK
CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NORTHWEST CORNER OF WHITEFIELD PLACE AND SOLDEDAD AVENUE. ELEVATION 126.89' MEAN SEA LEVEL (N.S.D. 1985).

Scale: 1" = 40'
(approximate)

LEGEND

- HP-3 Approximate Location of Exploratory Handpit
- INF-1 Approximate Location of Infiltration Test
- A A' Approximate Line of Cross Section
- Approximate Location of Proposed Structure
- Location of Existing Structure

PLOT PLAN AND SITE SPECIFIC GEOLOGIC MAP

Newman Residence
7742 Whitefield Place
La Jolla, CA.
Figure No. 11a
Job No. 17-11732

DISCRETIONARY PERMIT SUMMARY

| | |
|------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNN NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
| PTS: | 607808 |
| CDP DATE: | MAY 11, 2018 |
| RESUBMITTAL: | JULY 13, 2018 |
| SHEET: | 4 OF 20 |

CE & S CHRISTENSEN ENGINEERING & SURVEYING
CIVIL ENGINEERS LAND SURVEYORS PLANNERS
7886 SILVERTON AVENUE, SUITE 112, SAN DIEGO, CALIFORNIA 92124
TELEPHONE: (619) 271-9901 EMAIL: CEANDS@AOL.COM

Prepared By: CHRISTENSEN ENGINEERING & SURVEYING
7886 SILVERTON AVENUE, SUITE 112
SAN DIEGO, CA 92124
PHONE: (619) 271-9901 FAX: (619) 271-9902
Project Address: 7742 WHITEFIELD PLACE
LA JOLLA, CA 92037
Project Name: NEWMAN RESIDENCE
Sheet Title: TOPOGRAPHIC MAP
Revision 5: 12-13-17 ADDED TOPO
Revision 4: 06-01-17
Revision 3: 06-01-17
Original Date: JUNE 1, 2017
Sheet 2 OF 3

GEOLOGIC LEGEND

- Qaf** Quaternary Artificial Fill
- Qsw** Slopewash
- Qt** Soldedad Avenue Terrace
- Kp** Point Loma Formation

(July 2018)

NOTE: This Plot Plan is not to be used for legal purposes. Locations and dimensions are approximate. Actual property dimensions and locations of utilities may be obtained from the Approved Building Plans or the "As-Built" Grading Plans.

REFERENCE: This Plot Plan was prepared from an existing TOPOGRAPHIC MAP by CHRISTENSEN ENGINEERING & SURVEYING dated June 1, 2017 and from on-site field reconnaissance performed by GEI.

17-11732-n4 ai

Newman Residence
Coastal Development Permit

7742 Whitefield Pl
La Jolla, CA 92037

| | |
|-----------------|-----------------|
| Date | January 2, 2018 |
| Project No. | |
| Design/ Drawing | JLA/PFB |
| Sheet | |
| Scale | See Drawings |

Slope Analysis - Site Specific Geologic Map

0.3

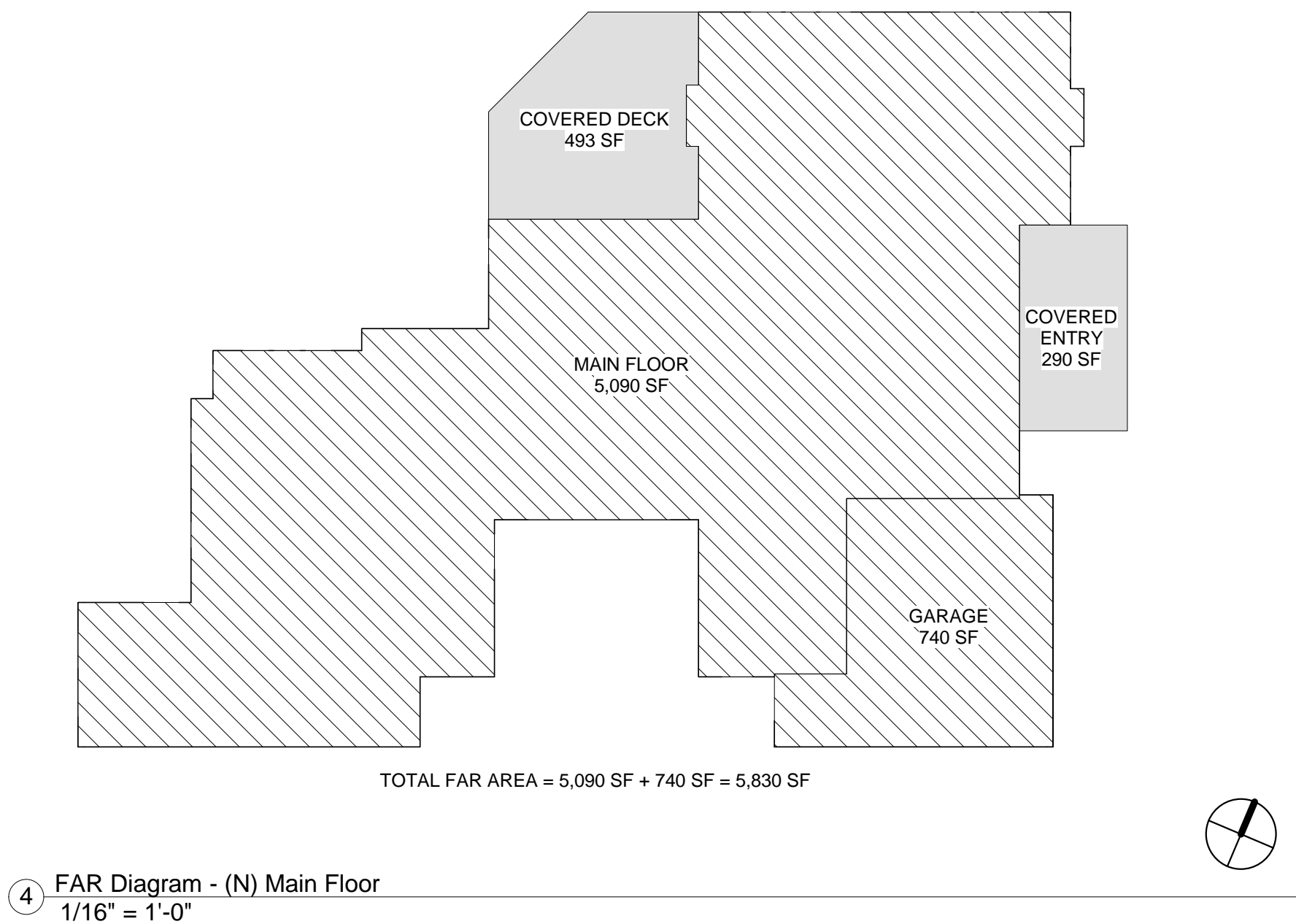
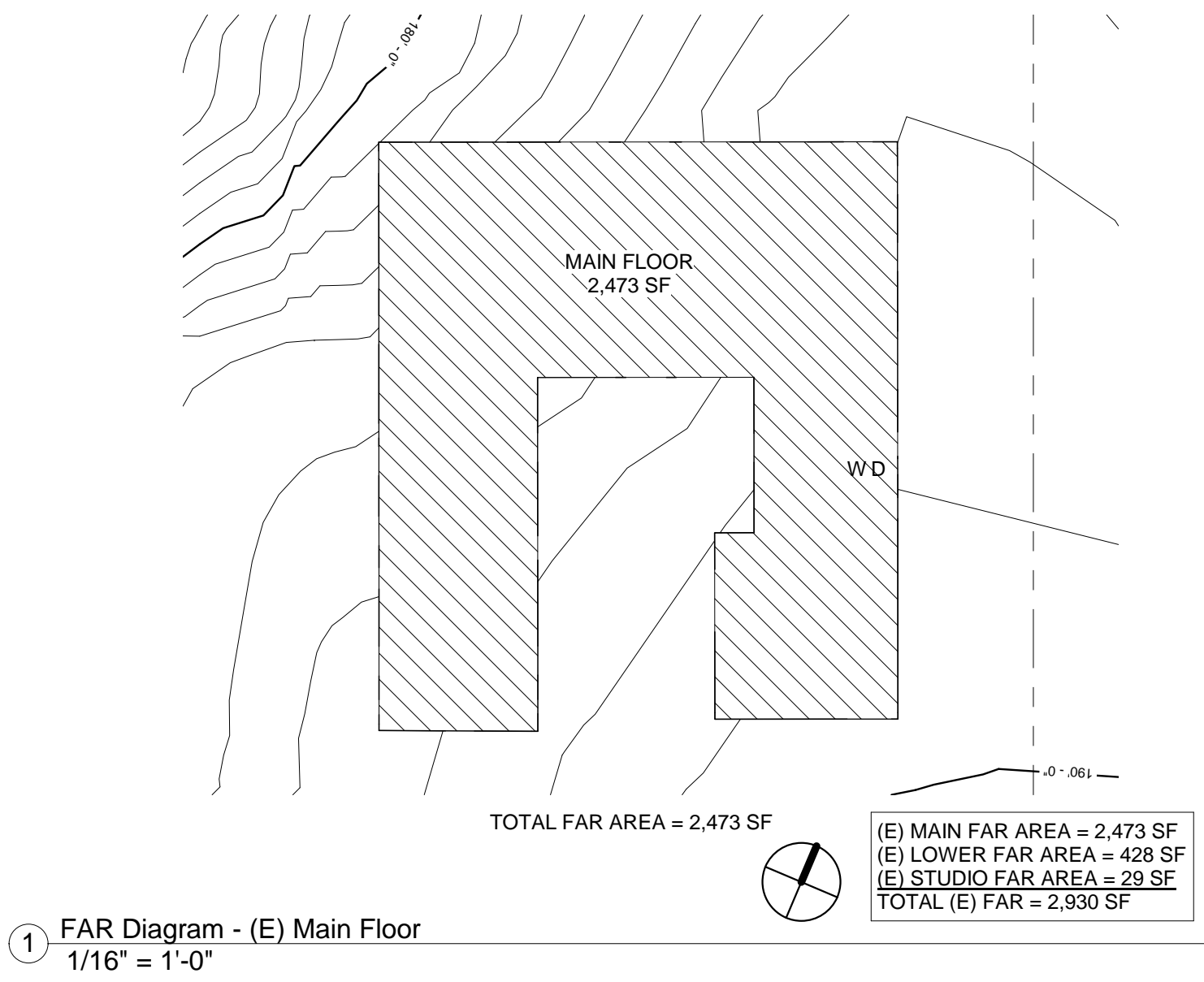
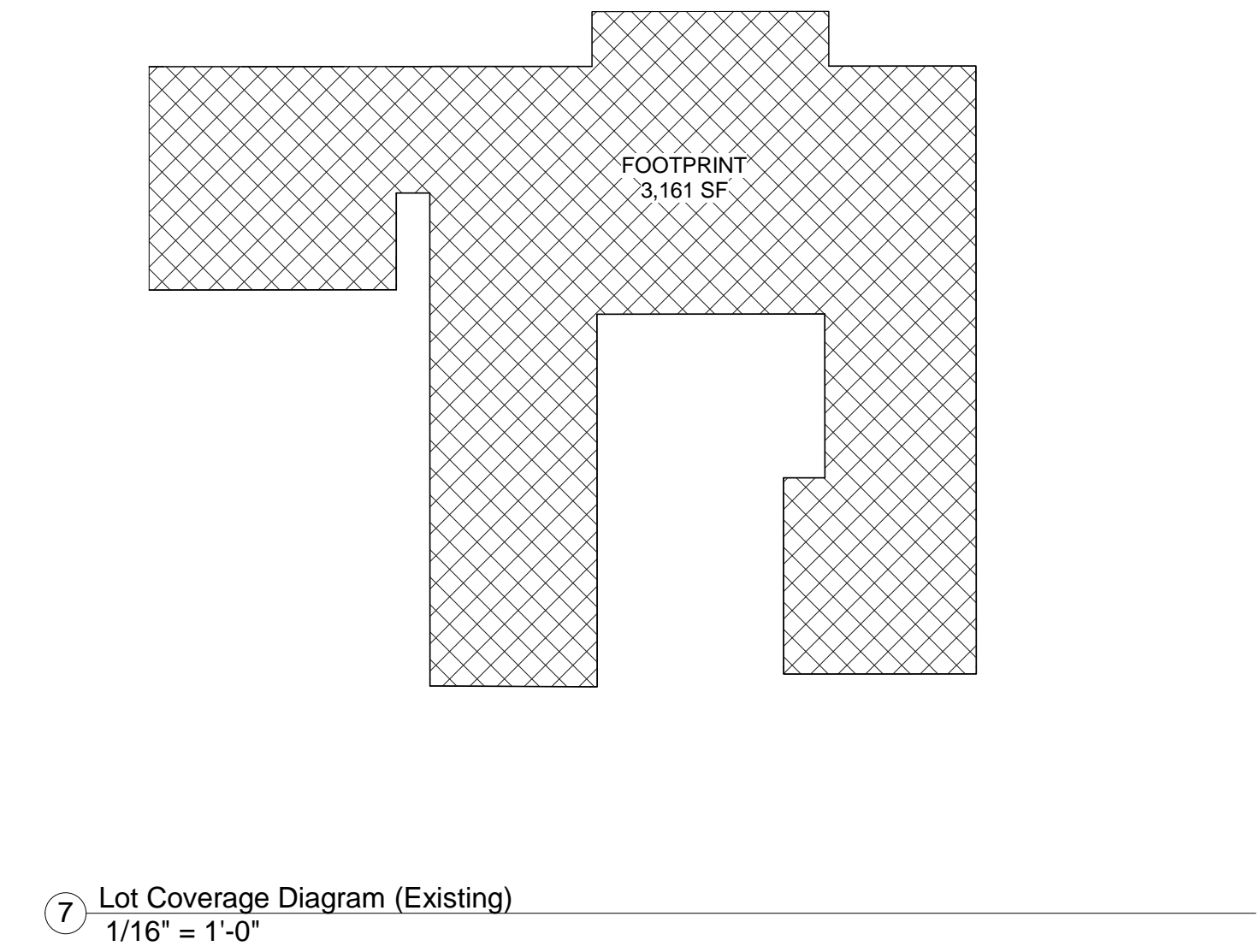
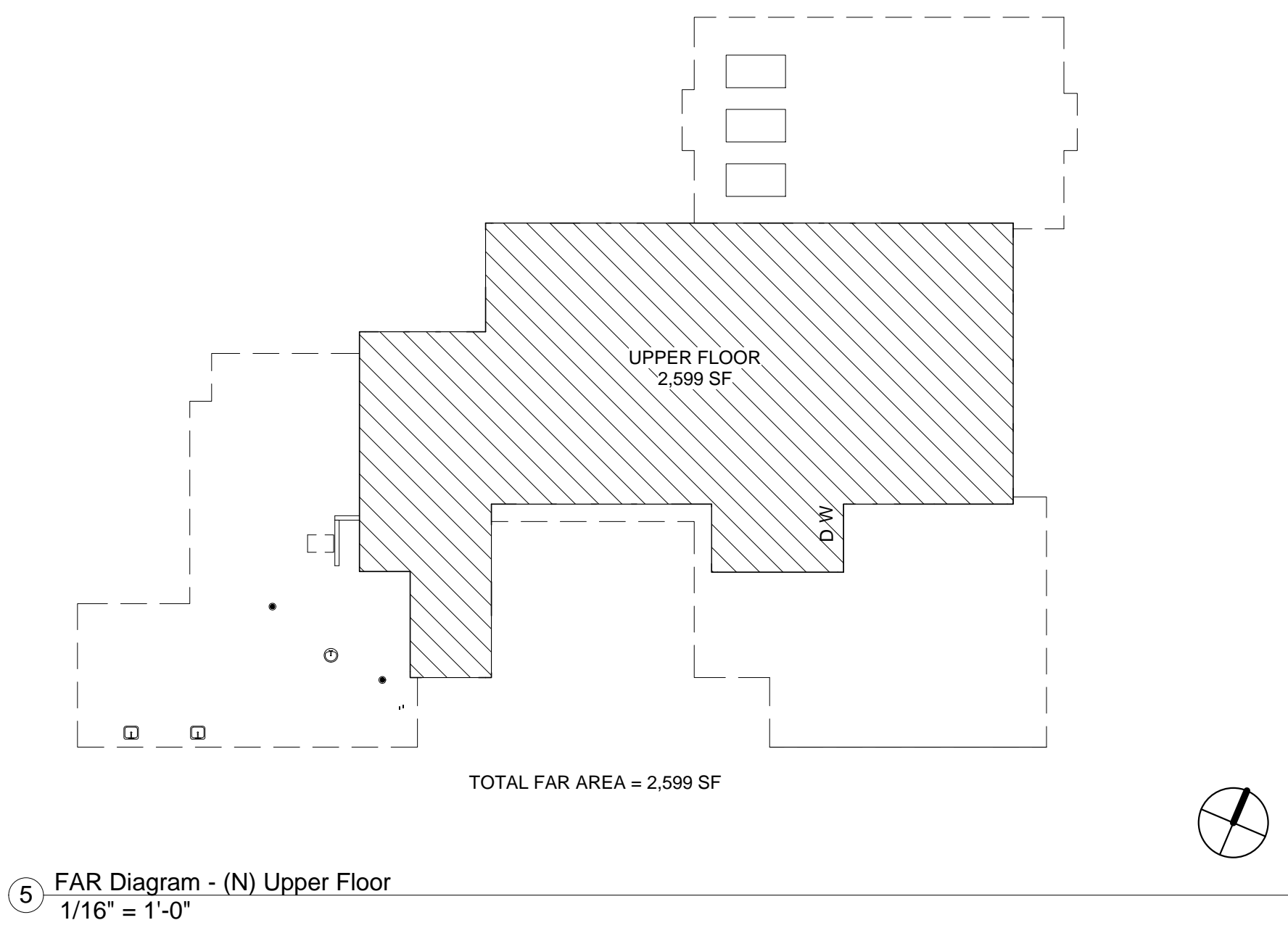
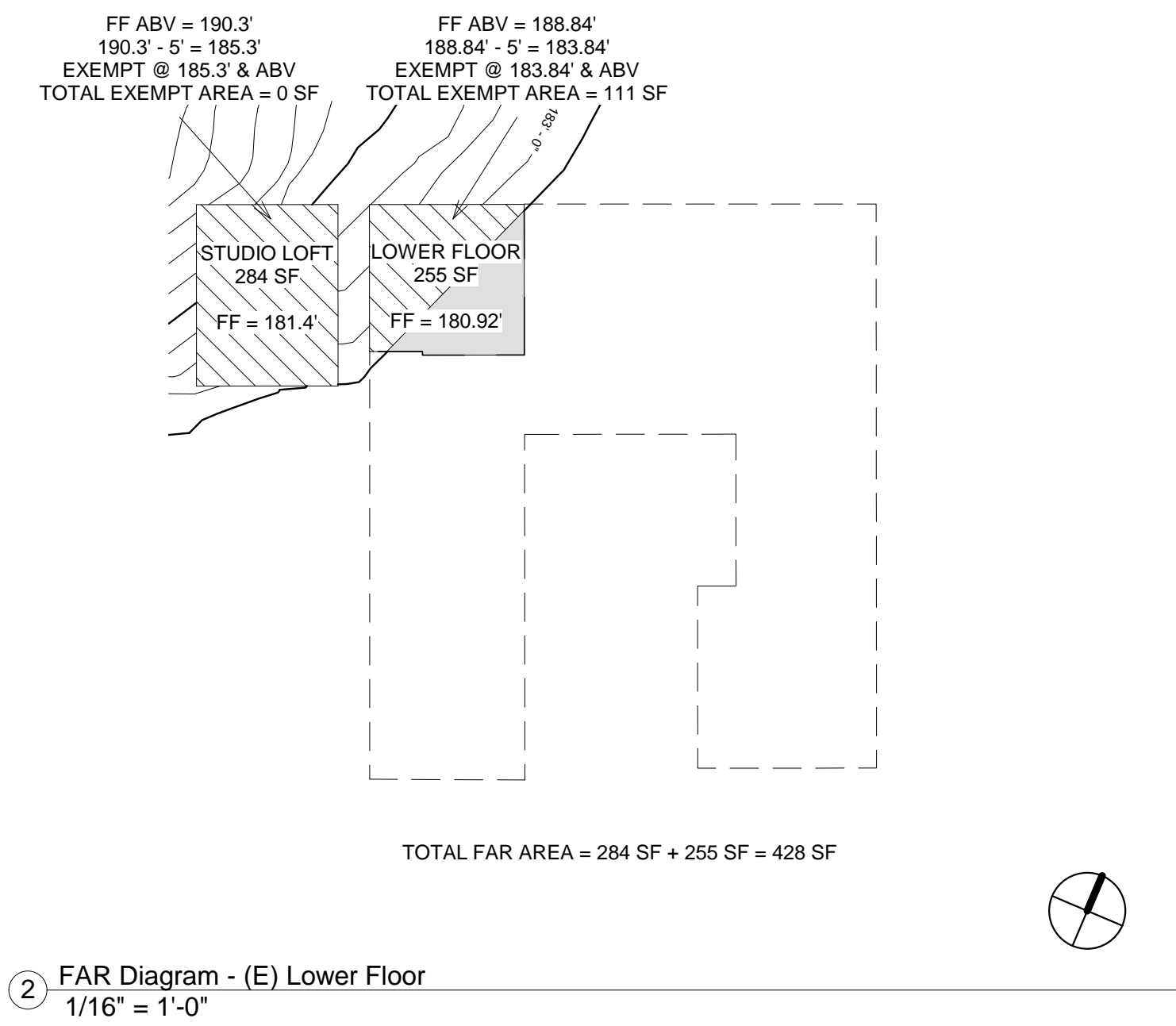
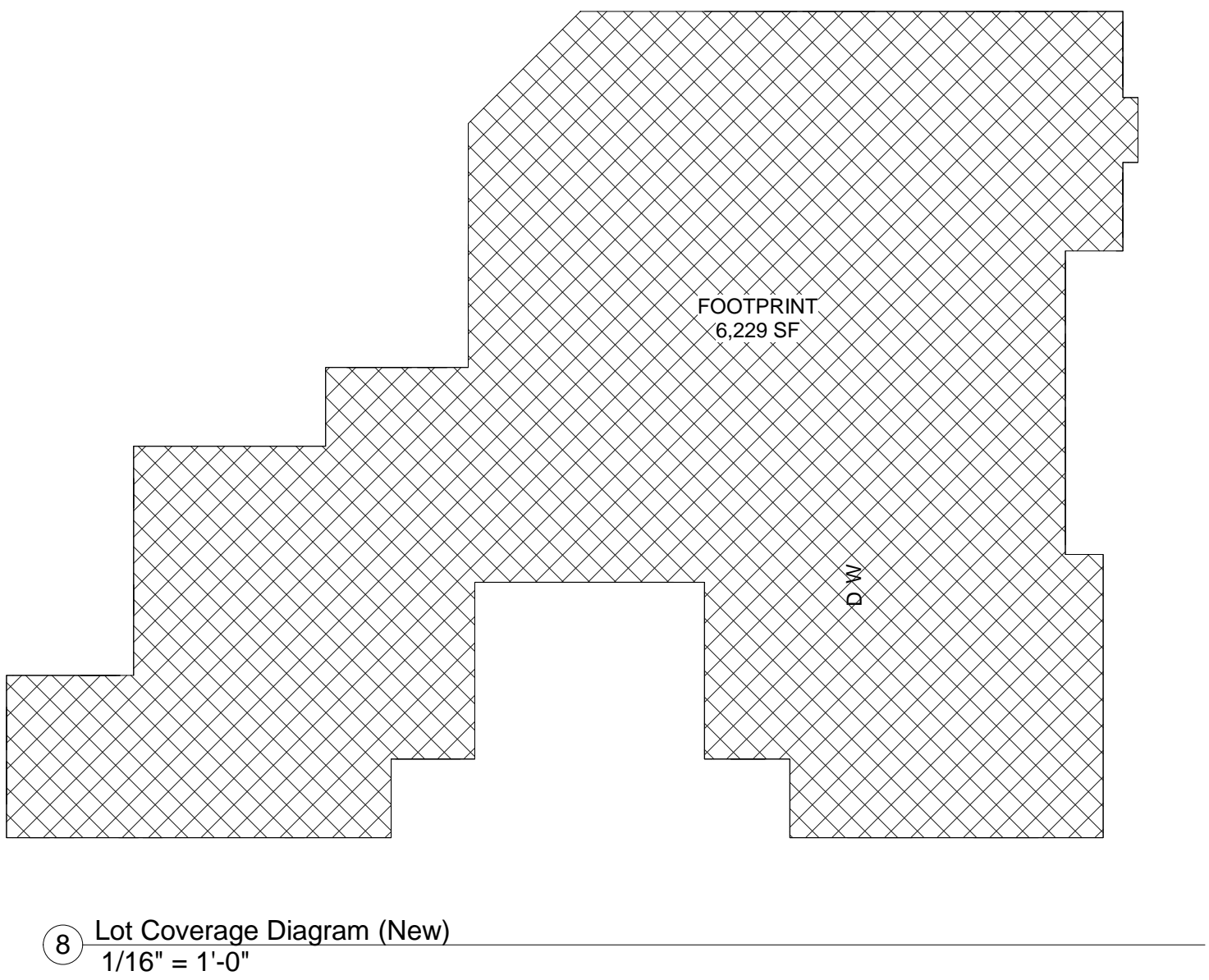
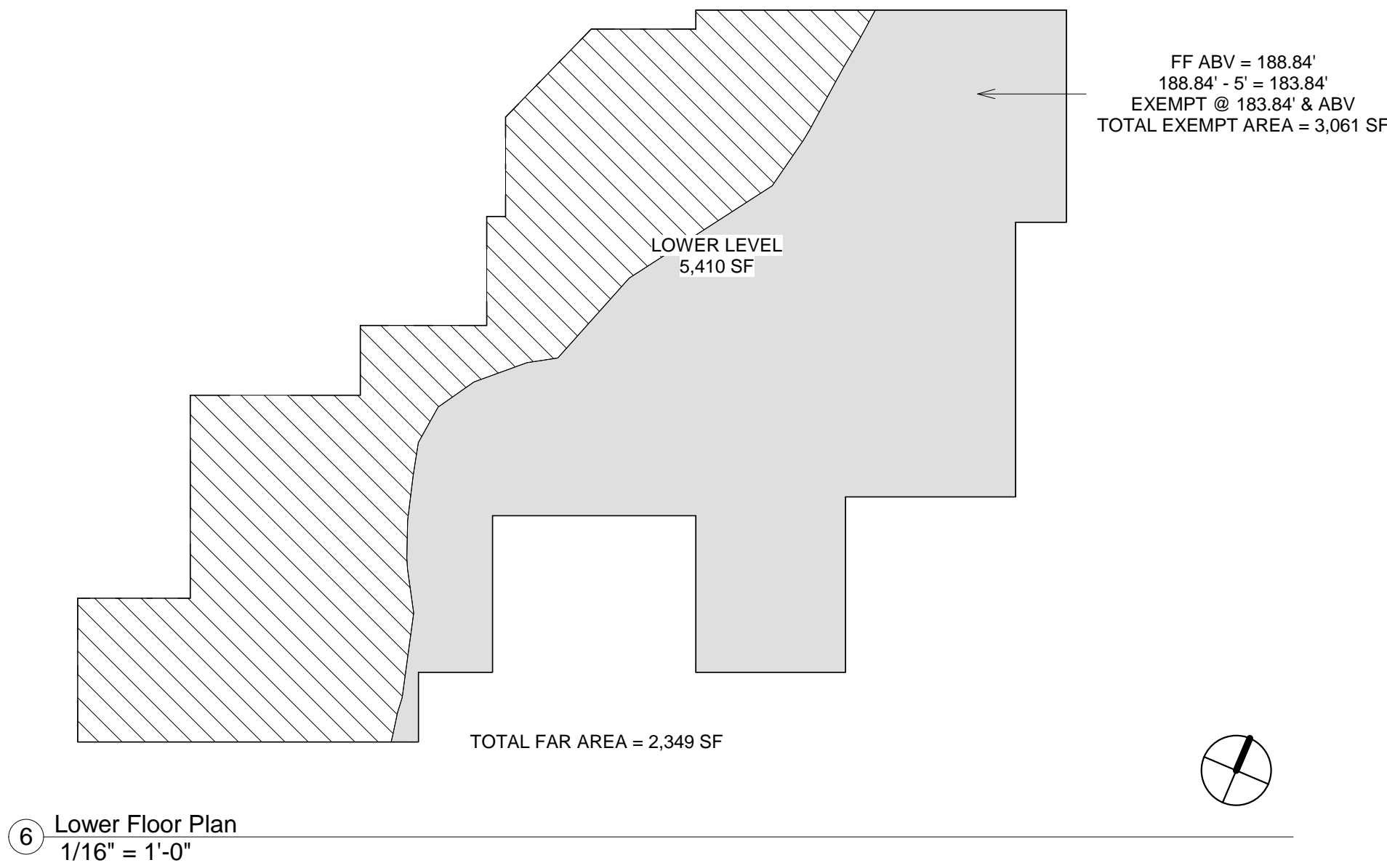
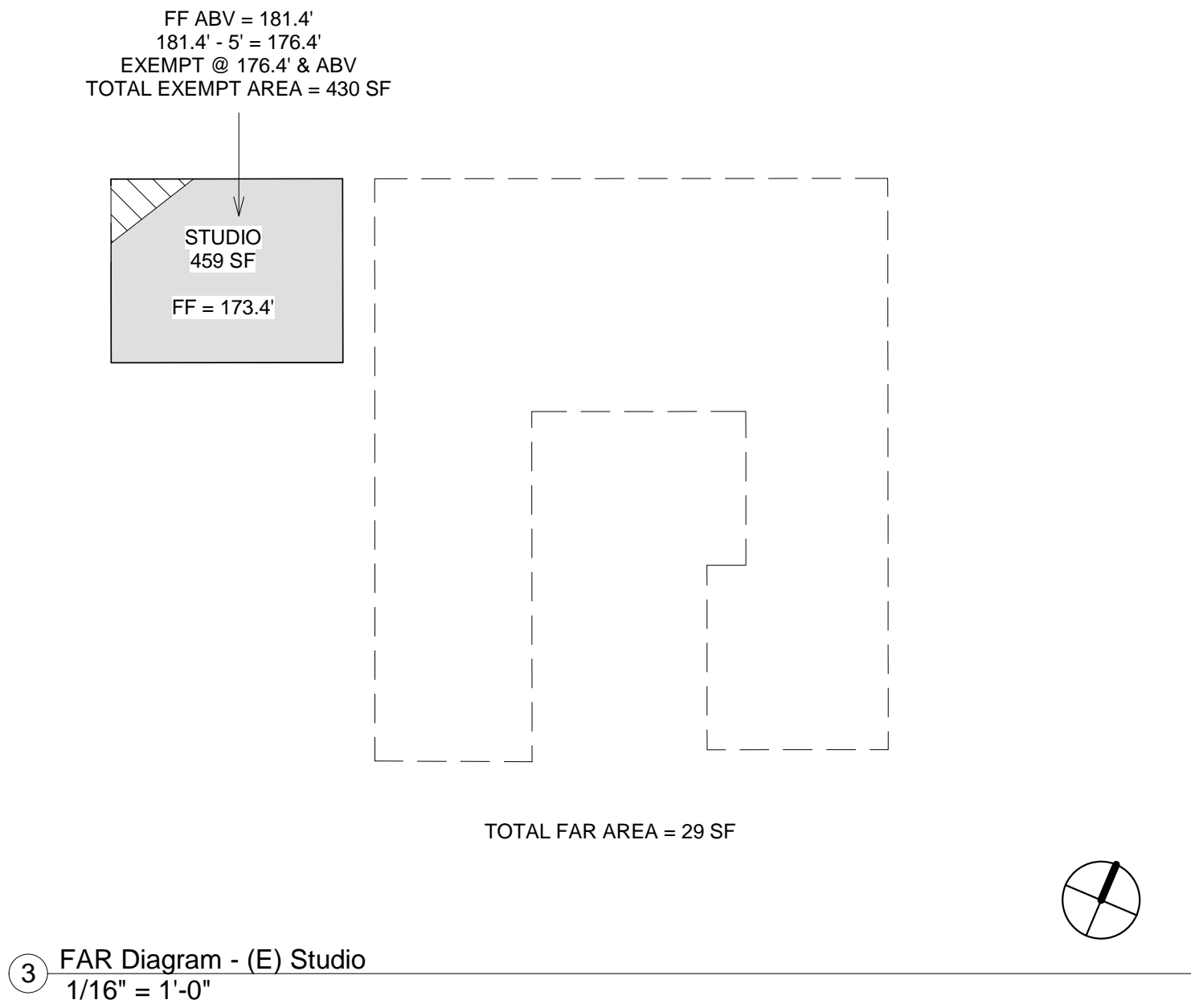
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|-------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
| PTS: | 607808 |
| CDP DATE: | MAY 11, 2018 |
| RESUBMITTAL: | JULY 13, 2018 |
| SHEET: | 5 OF 20 |

7742 Whitefield Pl
La Jolla, CA 92037

| | |
|-----------------|--------------|
| Date | 4/19/2019 |
| Project No. | |
| Design/ Drawing | JLA/PFB |
| Sheet | |
| Scale | See Drawings |

0.4

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DISCRETIONARY PERMIT SUMMARY

| | |
|------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
| PTS: | 607808 |
| CDP DATE: | MAY 11, 2018 |
| RESUBMITTAL: | JULY 13, 2018 |
| SHEET: | 6 OF 20 |

Alcorn & Benton
ARCHITECTS
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F.858.459.1350

Newman
Residence
Coastal Development Permit

7742 Whitefield Pl
La Jolla, CA 92037

| | |
|-----------------|--------------|
| Date | 4/19/2019 |
| Project No. | |
| Design/ Drawing | JLA/PFB |
| Sheet | |
| Scale | See Drawings |

GFA & FAR
Analysis
Diagrams

0.5

Alcorn & Benton
ARCHITECTS
7757 Girard Avenue, La Jolla, California, 92037
P.858.459.0805
F.858.459.1350

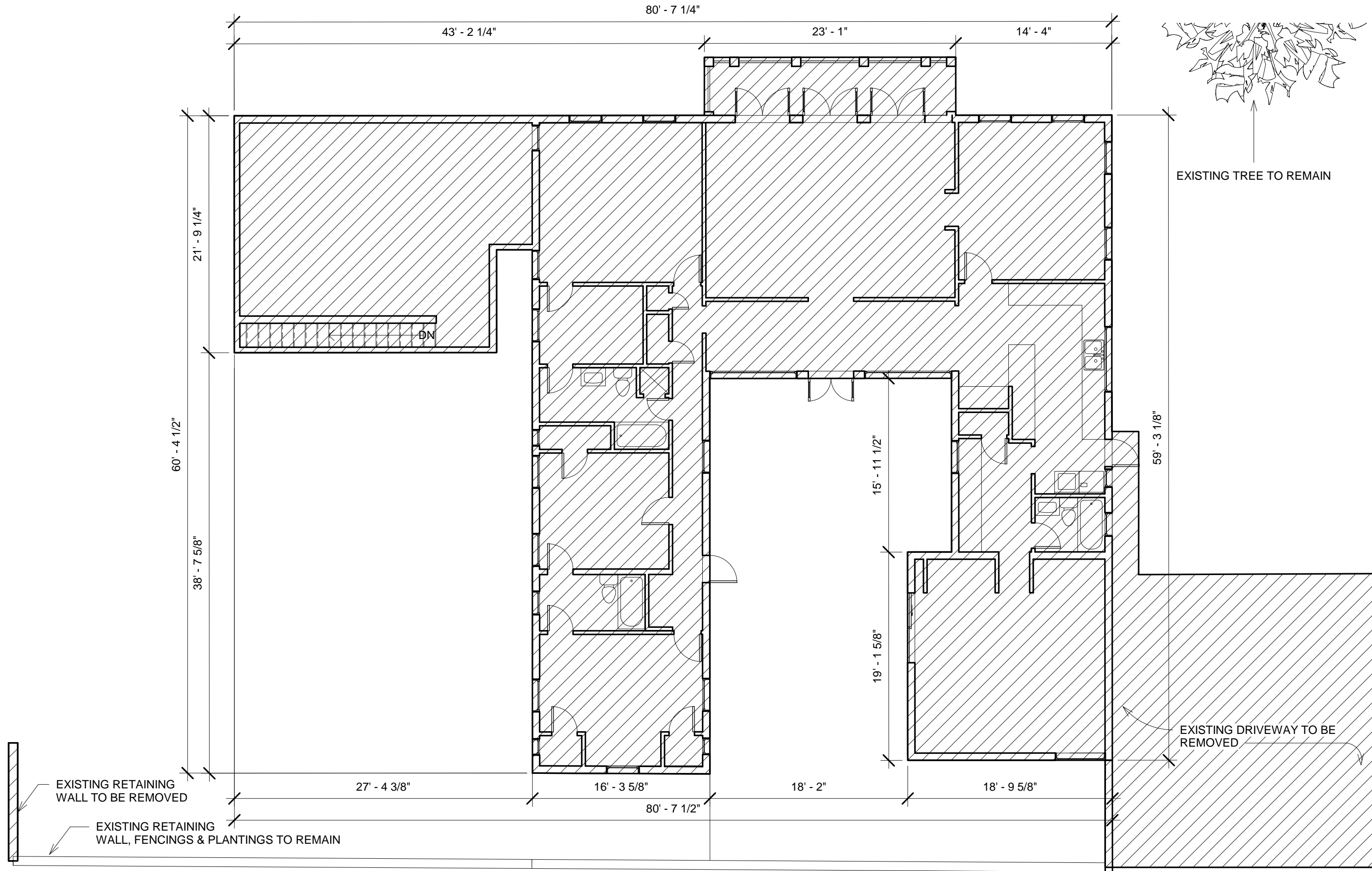
Newman
Residence
Coastal Development Permit

7742 Whitefield Pl
La Jolla, CA 92037

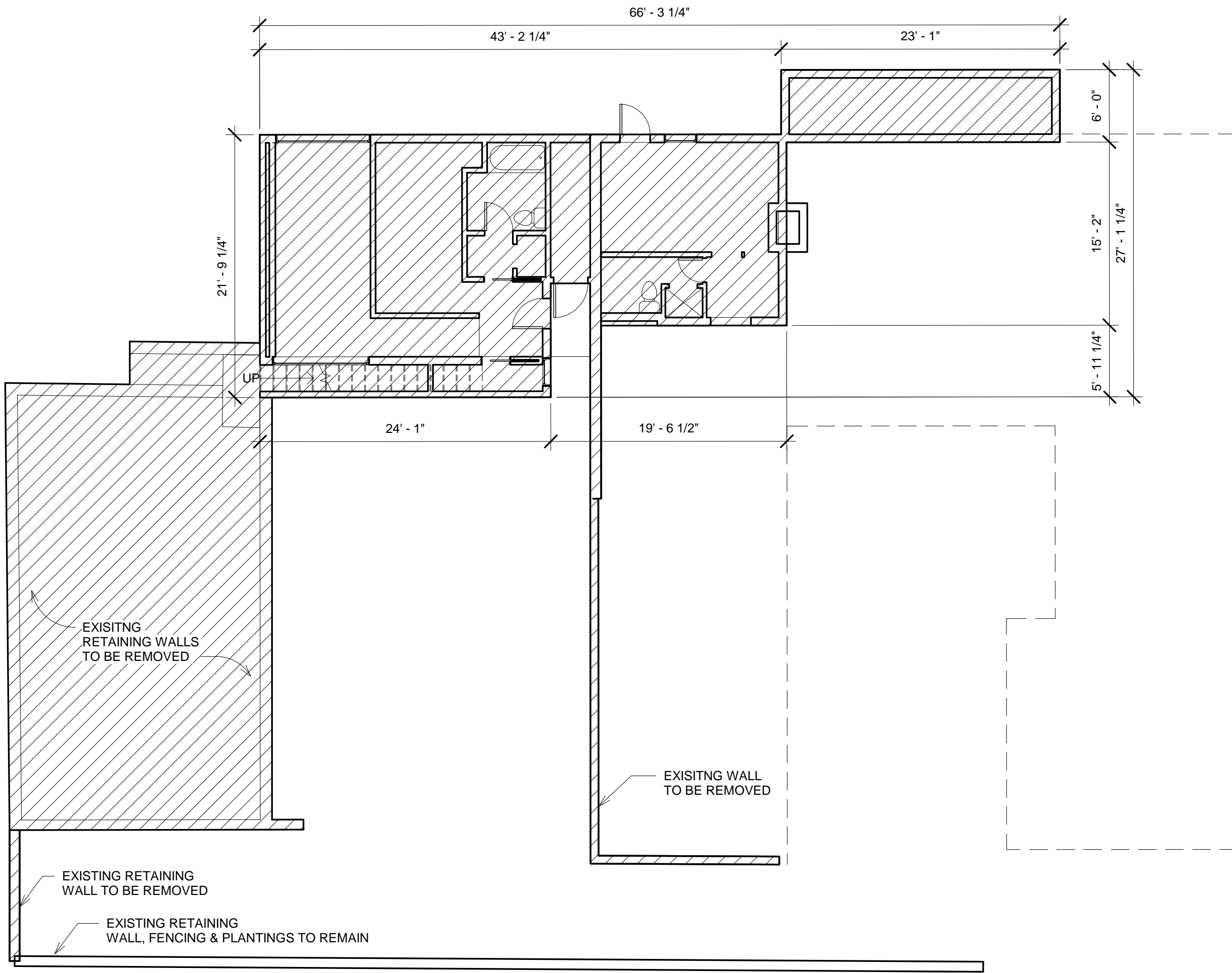
| | |
|-----------------|--------------|
| Date | 4/19/2019 |
| Project No. | |
| Design/ Drawing | JLA/PFB |
| Sheet | |
| Scale | See Drawings |

Demolition Plan

1.0

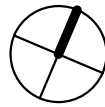


1 Demolition Plan - Main Floor
1/8" = 1'-0"



2 Demolition Plan - Lower Floor & Studio
1/8" = 1'-0"

| KEY | |
|--|---|
| | DENOTES DASHED LINE AS EXISTING AREA TO BE DEMOLISHED |
| | OVERHEAD PROPERTY |
| NOTES | |
| 1. THE ENTIRE EXISTING BUILDING IS TO BE DEMOLISHED. | |






| DISCRETIONARY PERMIT SUMMARY | |
|------------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
| PTS: | 607808 |
| CDP DATE: | MAY 11, 2018 |
| RESUBMITTAL: | JULY 13, 2018 |
| SHEET: | 8 OF 20 |

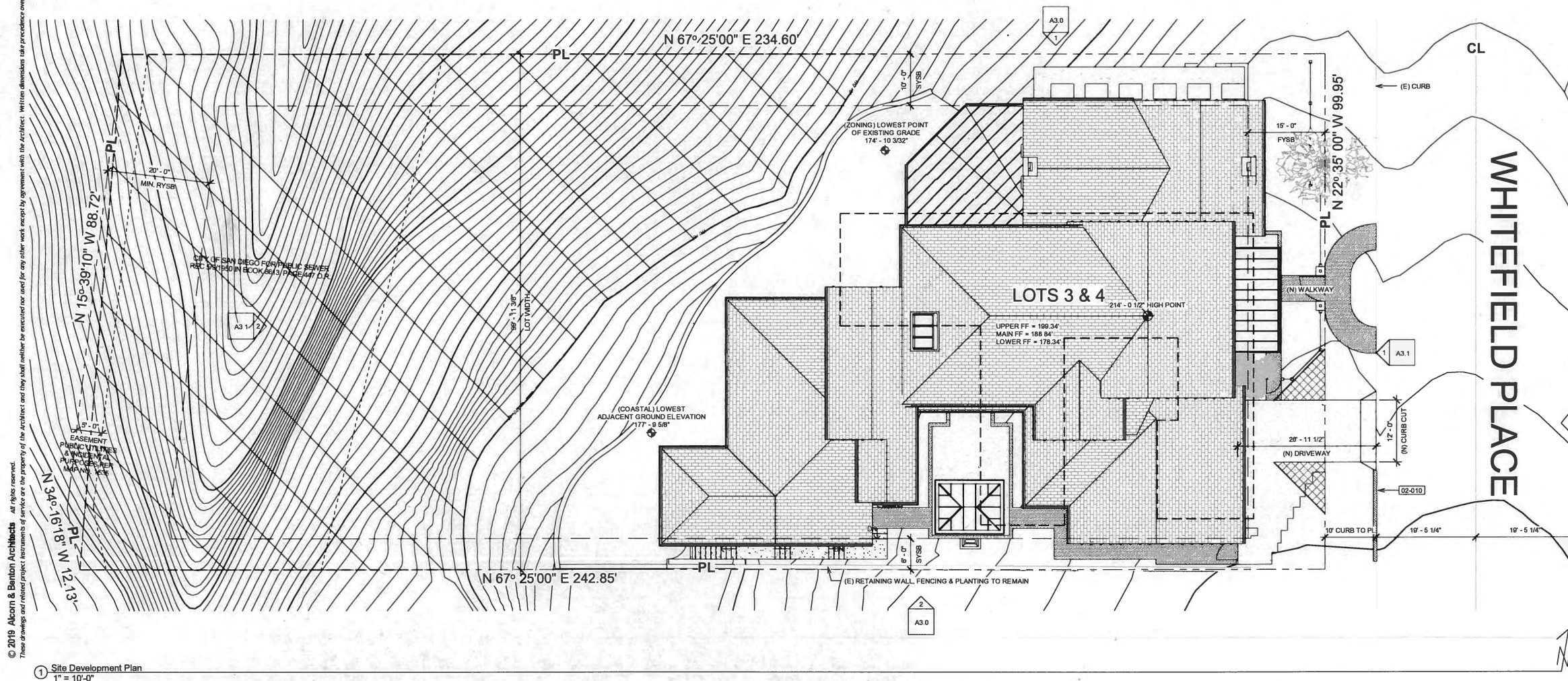
7742 Whitefield Pl
La Jolla, CA 92037

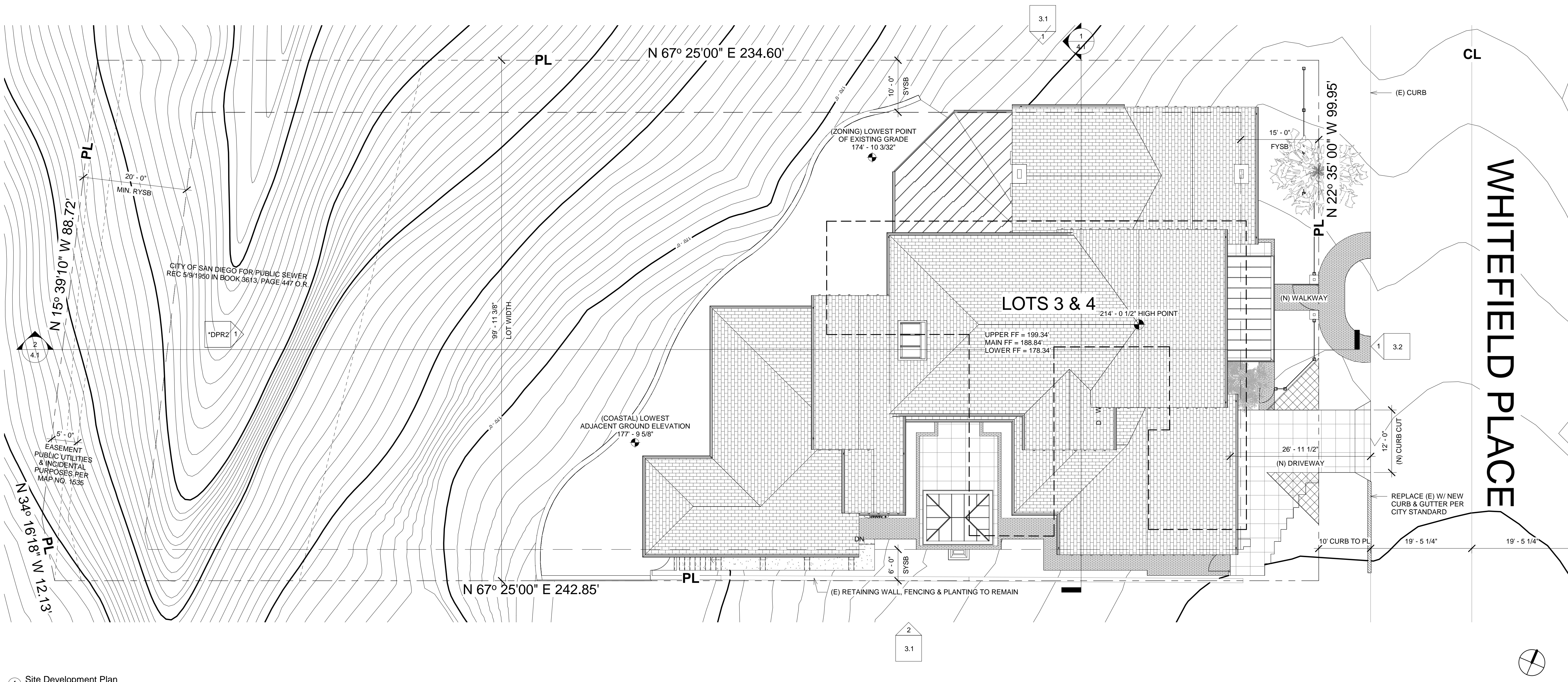
Site Development Plan

A1.1

| LEGEND | |
|---|---|
| ---- | PROPERTY LINE |
| - - - - | EXISTING FOOTPRINT |
|  | SITE VISIBILITY AREA |
|  | NEW CURB |
|  | COVENANT OF EASEMENT AREA FOR ENVIRONMENTALLY SENSITIVE LANDS |

| CALCULATIONS | |
|---|----------|
| HARDSCAPE / PAVING | |
| FRONT YARD AREA: | 1,739 SF |
| FRONT YARD HARDSCAPE: | 913 SF |
| TOTAL % FRONT YARD HARDSCAPE = $913 / 1,739 = 53\%$ | |




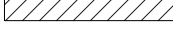




1 Site Development Plan
1" = 10'-0"

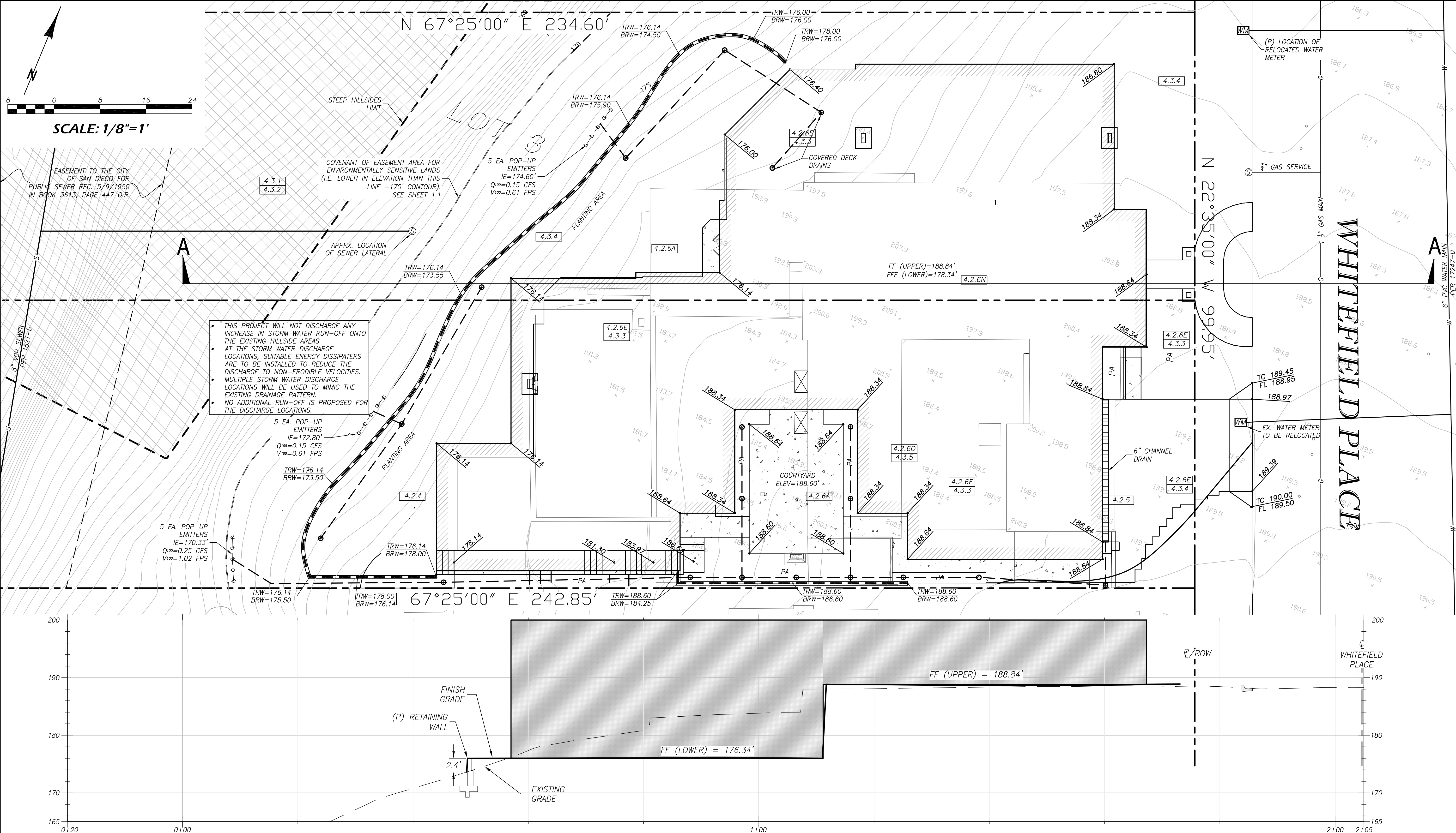
NOTES

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
2. THERE ARE TWO EXISTING EASEMENTS FOR THIS PROPERTY.
3. THE HEIGHT OF ANY NEW RETAINING WALLS IS NOT TO EXCEED 5 FEET ABOVE GRADE. CONTRACTOR TO FIELD VERIFY CONDITIONS BEFORE CONSTRUCTION.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE WALK WAY & DRIVE WAY IN THE WHITEFIELD PLACE RIGHT OF WAY.
5. NO OBSTRUCTION INCLUDING SLOID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
6. THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITTEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.
7. RECONSTRUCT THE DAMAGED EXISTING CURB WITH CURRENT CITY STANDARD CURB AND GUTTER, ADJACENT TO THE SITE ON WHITEFIELD PLACE.

| | |
|---|----------------------|
| <h2>LEGEND</h2> | |
|  | PROPERTY LINE |
|  | EXISTING FOOTPRINT |
|  | SITE VISIBILITY AREA |
|  | NEW CURB |

| | |
|---|----------|
| <h2>CALCULATIONS</h2> | |
| HARDSCAPE / PAVING | |
| FRONT YARD AREA: | 1,739 SF |
| FRONT YARD HARDSCAPE: | 913 SF |
| TOTAL % FRONT YARD HARDSCAPE = $913 / 1,739 = 53\%$ | |

| DISCRETIONARY PERMIT SUMMARY | |
|------------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
| PTS: | 607808 |
| CDP DATE: | MAY 11, 2018 |
| RESUBMITTAL: | JULY 13, 2018 |
| SHEET: | 9 OF 20 |



| LEGEND | | |
|-------------------------|-------------|------------------------------|
| DESCRIPTION | SYMBOL | DESCRIPTION |
| PROPERTY LINE | N45°45'45"W | PROPOSED SPOT ELEVATION |
| ROW CENTERLINE | | 6" LANDSCAPE/HARDSCAPE DRAIN |
| BUILDING FOOTPRINT | | DIRECTION OF FLOW |
| CMU RETAINING WALL | | 6" PVC DRAIN LINE (1% MIN.) |
| EXISTING CONTOUR | 90 | CHANNEL DRAIN |
| PROPOSED CONTOUR | 90 | EXISTING SEWER MAIN |
| EXISTING SPOT ELEVATION | 100.00 | EXISTING WATER MAIN |
| | | EXISTING GAS MAIN |
| | | STEEP HILLSIDES |

| SITE DESIGN (LID) BMPs | |
|---|---|
| SYMBOL | DESCRIPTION |
| 4.3.1 | MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEAT. |
| 4.3.2 | CONSERVE NATURAL AREAS, SOILS, AND VEGETATION |
| 4.3.3 | MINIMIZE IMPERVIOUS AREA |
| 4.3.4 | MINIMIZE SOIL COMPACTION |
| 4.3.5 | IMPERVIOUS AREA DISPERSION |
| *SITE DESIGN (LID) BMPs CAN BE FOUND IN THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL 2018 | |

| SECTION 'A-A' | |
|--|---|
| SCALE: 1/8"=1' | |
| SOURCE CONTROL BMPs | |
| SYMBOL | DESCRIPTION |
| 4.2.1 | PREVENTION OF ILLICIT DISCHARGES |
| 4.2.5 | PROTECT TRASH STORAGE AREAS |
| 4.2.6A | ON-SITE STORM DRAIN INLETS |
| 4.2.6E | LANDSCAPE/OUTDOOR PESTICIDE USE |
| 4.2.6N | FIRE SPRINKLER TEST WATER |
| 4.2.6O | PLAZAS, SIDEWALKS, DRIVEWAYS TEST WATER |
| *SOURCE CONTROL BMPs CAN BE FOUND IN THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL 2018 | |

| SOURCE OF TOPOGRAPHY | |
|--|--|
| HANDSHOT SURVEY PERFORMED BY CHRISTENSEN ENGINEERING & SURVEYING, JUNE 1, 2017 | |
| VERTICAL BENCHMARK | |
| CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NORTHWESTERLY CORNER OF WHITEFIELD PLACE AND SOLEDAD AVENUE. ELEVATION 196.887' MSL (NGVD 1929) | |
| IMPERVIOUS AREA TABULATIONS | |
| A. TOTAL DISTURBANCE AREA: 12,087 SF | |
| B. EXISTING IMPERVIOUS AREA: 4,963 SF | |
| C. PROPOSED IMPERVIOUS AREA: 8,741 SF | |
| D. TOTAL IMPERVIOUS AREA: 8,741 FT2 | |
| E. IMPERVIOUS % INCREASE: +76% FT2 | |

| GRADING TABULATIONS (OUTSIDE OF BUILDING FOOTPRINT) | | | |
|---|-----------------|------------------------|----------|
| TOTAL AMOUNT OF SITE TO BE GRADED: | 12,087 SF | % OF TOTAL SITE: | 50.3% |
| AMOUNT OF CUT: | 60 CUBIC YARDS | MAXIMUM DEPTH OF CUT: | 4.9 FEET |
| AMOUNT OF FILL: | 40 CUBIC YARDS | MAXIMUM DEPTH OF FILL: | 4.7 FEET |
| MAXIMUM HEIGHT OF FILL SLOPE(S): | N/A FEET | SLOPE RATIO: | N/A |
| MAXIMUM HEIGHT OF CUT SLOPE(S): | N/A FEET | SLOPE RATIO: | N/A |
| AMOUNT OF IMPORT/EXPORT SOIL: | 20 CUBIC YARDS | MAXIMUM HEIGHT: | 2.4 FEET |
| RETAINING/ CRIB WALLS: | LENGTH 150 FEET | | |
| THE GRADING QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMIT PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO COMPACTION, EXPANSION, FOOTING EXCAVATIONS, DEBRIS, VEGETATION, INTERPRETATION OF USE OF MATERIALS, AND OTHER FACTORS. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING TAKE-OFFS FOR THE GRADING WORK SHOWN HEREON AND COORDINATING THE SUITABILITY OF ONSITE MATERIALS WITH THE GEOTECHNICAL ENGINEER. | | | |

COFFEY ENGINEERING, INC.

REGISTERED PROFESSIONAL ENGINEER
DANIEL J. VALDEZ
No. C076074
CIVIL
STATE OF CALIFORNIA

NEWMAN RESIDENCE

7742 Whitefield Place
La Jolla, CA 92137

DRAWN BY: DV

CHECKED BY:

ORIGINAL 5/9/18

REVISION 1 9/12/18

REVISION 2 9/20/19

REVISION 3 12/2/19

REVISION 4 12/5/19

REVISION 5

GRADING & DRAINAGE PLAN

SCALE: 1/8"=1'

C.1

SHT 8 OF 17 SHTS

EXISTING TREES TO REMAIN (SEE PLAN FOR SPECIES LOCATION AND CALIPER)

| | | |
|--------------------------------|---------------------------|---------------------|
| 48" diam. x 60' h. x 30' w. | 1 ARAUCARIA HETEROPHYLLA | NORFOLK ISLAND PINE |
| 30" diam. x 40' h. x 30' w. | 2 EUCALYPTUS GLOBULUS | BLUE GUM |
| 27" diam. x 40' h. x 25' w. | 2 EUCALYPTUS TERETICORNIS | FOREST RED GUM |
| 14" diam. x 30' h. x 20' w. | 1 EUCALYPTUS TERETICORNIS | FOREST RED GUM |

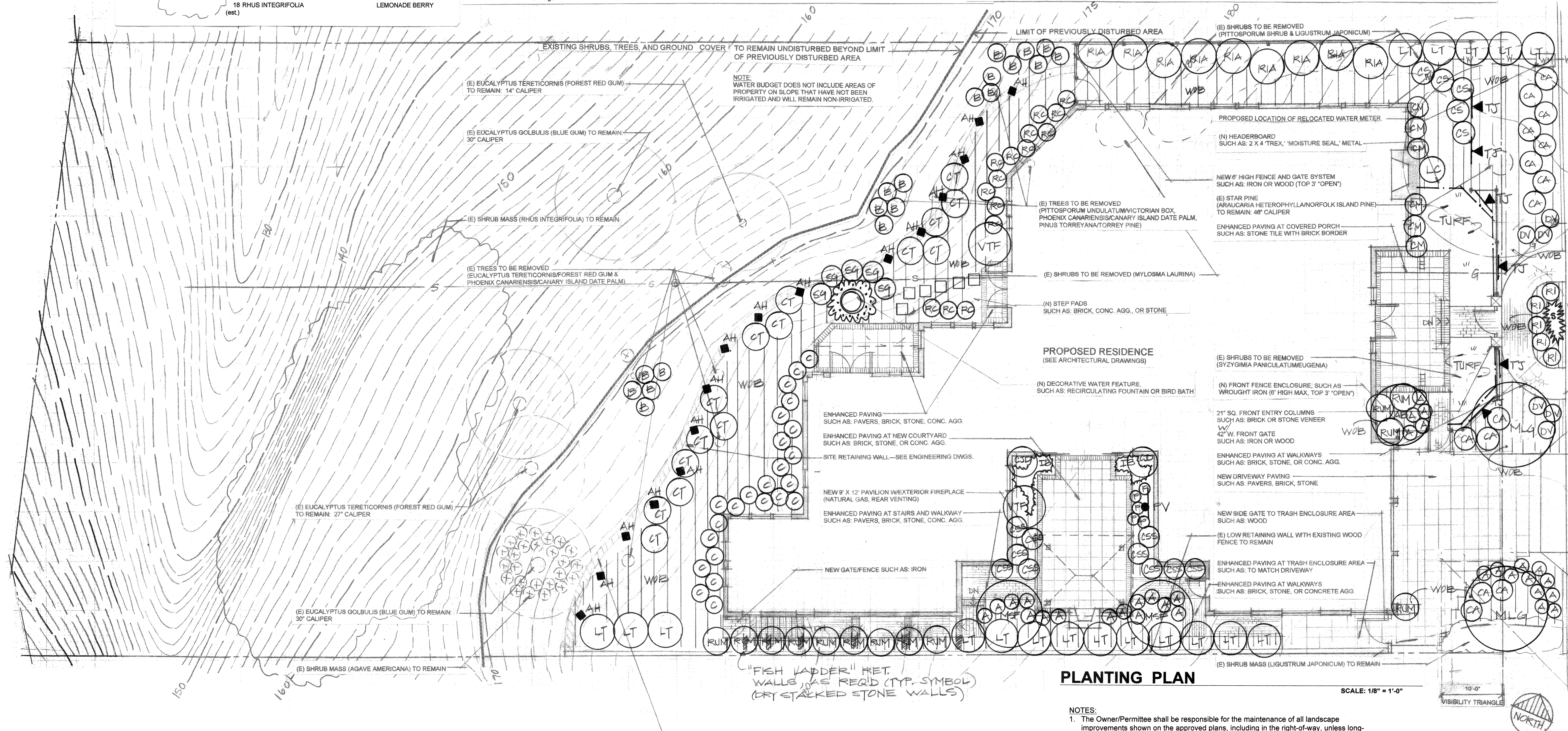
EXISTING SHRUBS TO REMAIN (SEE PLAN FOR SPECIES LOCATION)

| | |
|---------------------------------|----------------|
| 12' AGAVE AMERICANA | NCN |
| 3 LIGUSTRUM JAPONICUM 'TEXANUM' | TEXAS PRIVET |
| 18 RHUS INTEGRIFOLIA (est.) | LEMONADE BERRY |

PLANT LEGEND

| SYMBOL | SIZE | BOTANICAL NAME | COMMON NAME | NOTES | 9/11/19 SIZE AT MATURITY | FORM | FUNCTION |
|---------------|--------------------|---|--|---------------|--------------------------|---------|-----------------|
| AB | 1 24" box | AGONIS FLEXUOSA 'BURGUNDY' | BURGUNDY P. WILLOW | LOW BRANCHED | 15' h. x 12' w. | UPRIGHT | ACCENT |
| alt. | | MAYTEN BOREALIS | MYRTEN TREE | | | | |
| MLG | 2 24" box | MAGNOLIA GRANDIFLORA 'LITTLE GEM' | LITTLE GEM MAGNOLIA | LOW BRANCHED | 20' h. x 18' w. | OVATE | STREET |
| MSF | 2 24" box | METROSIDEROS COLLINA 'SPRING FIRE' | SPRING FIRE NZ CHRISTMAS TREE/LOW BRANCHED | | 15' h. x 15' w. | BROAD | ACCENT |
| | | CERCIS 'FOREST PANSY' | FOREST PANSY EASTERN REDBUD | | | | |
| SHRUBS | | | | | | | |
| A | 30 1 gal | AGAPANTHUS AFRICANUS | LILY OF THE NILE | | 2' x 2' | | ACCENT |
| AH | 16 5 gal | ARCTOSTAPHYLOS HOOKERI 'MONTEREY CARPET' OR 'EMERALD CARPET/MANZINITA (N) | EVERGREEN CURRANT | | 3' h. x 4' w. | | SPREAD |
| B | 19 Rooted Cuttings | BACCHARIS PILULARIS | EVERGREEN CURRANT | | 2' h. x 3' w. | | EROSION CONTROL |
| CJD | 2 15 gal | CAMELLIA JAPONICA 'DEBUTANTE' | DEBUTANTE CAMELLIA | PINK FLOWERS | 5' h. x 3' w. | | ACCENT |
| CSS | 10 5 gal | CAMELLIA SASANQUA SETSUGEKKA | SETSUGEKKA SUN CAMELLIA | WHITE FLOWERS | 3' h. x 3' w. | | ACCENT |
| C | 24 5 gal | CARISSA 'BOXWOOD BEAUTY' | NATAL PLUM 'BOXWOOD BEAUTY' | | 2' h. x 2' w. | | FDN. |
| CT | 15 5 gal | CARISSA 'TUTTLE' | NATAL PLUM TUTTLE | | 2' h. x 3' w. | | FDN. |
| alt. | | CEONOTHUS 'YANKEE POINT' | YANKEE POINT CALIFORNIA LILAC (N) | | 2' h. x 3' w. | | SPREAD |
| CM | 6 5 gal | COPROSMA 'MARBLE QUEEN' | MARBLE QUEEN MIRROR PLANT | | 3' h. x 3' w. | | FDN. |
| CA | 14 5 gal | CRASSULA ARGENTEA | JADE | | 3' h. x 3' w. | | MASSING |
| CS | 5 5 gal | CRASSULA SUNSET | SUNSET JADE | | 3' h. x 3' w. | | MASSING |
| alt. | | RHAPHIOLEPIS 'BALLERINA' | BALLERINA HAWTHORN | | 2' h. x 3' w. | | MASSING |
| alt. | | ROSMARINUS PROSTRATA | PROSTRATE ROSEMARY | | 2' h. x 4' w. | | SPREAD |
| DV | 6 5 gal | DIETES VARIEGATA | VARIEGATED FORTNIGHT LILY | | 2' h. x 3' w. | | ACCENT |
| LC | 1 15 gal | LORPETALUM CHINENSIS 'RAZZLEBERRY' | RAZZLEBERRY FRINGE FLOWER | | 4' h. x 4' w. | | ACCENT |
| LT | 18 15 gal | LIGUSTRUM JAPONICUM 'TEXANUM' | TEXAS PRIVET | | 6' h. x 6' w. | | SCREENING |
| P | 5 1 gal | PENTAS LANCEOLATA | STAR FLOWER | | 2' x 2' | | COLOR |

| SYMBOL | SIZE | BOTANICAL NAME | COMMON NAME | NOTES | 9/11/19 SIZE AT MATURITY | FORM | FUNCTION |
|--------------------------|-----------|--|-----------------------------|-------------|--------------------------|------|-----------|
| RUM | 13 15 gal | RAPHIOLEPIS UMBELLATA MINOR | YEDDO DWARF HAWTHORN | | 5' x 2' | | SCREENING |
| RIA | 9 15 gal | RHUS INTEGRIFOLIA | LEMONADE BERRY | (N) | 6' h. x 6' w. | | SCREENING |
| RI | 5 5 gal | ROSA ICEBERG | ICEBERG ROSES | | 3' h. x 3' w. | | ACCENT |
| RC | 15 5 gal | ROSMARINUS 'CHEF'S CHOICE' | CHEF'S CHOICE ROSEMARY | | 3' h. x 3' w. | | MASSING |
| alt. | | CARISSA 'BOXWOOD BEAUTY' | NATAL PLUM 'BOXWOOD BEAUTY' | | 2' h. x 2' w. | | MASSING |
| SG | 5 5 gal | SALVIA GREGGII 'FUHRMAN'S RED' | FUHRMAN'S RED SAGE | | 3' h. x 3' w. | | MASSING |
| VTF | 2 24" box | VITEA TRIFOLIA F. PURPUREA 'FASCINATION' | FASCINATION VITEA | STD. PATIO | 6' h. x 6' w. | | ACCENT |
| alt. | | DURANTA SWEET MEMORIES | SWEET MEMORIES | STD. PATIO | 6' h. x 6' w. | | ACCENT |
| ESPALEERS / VINES | | | | | | | |
| PV | 1 15 gal | PETREA VOLUMBIS | QUEEN'S WREATH | | 7' h. | | ACCENT |
| TJ | 6 | TRACHELOSPERMUM JASMINOIDES | STAR JASMINE | | | | MASSING |
| GROUND COVERS | | | | | | | |
| WOB | 4" pots | IBERIS SEMPERVIRENS | CANDYTUFF | 12" SPACING | 12" h. | | COLOR |
| TURF | sod | MARATHON IIE OR EQUAL | | | 3" Deep | | MULCH |
| FLATS | flats | SEASONAL COLOR | | 12" SPACING | | | TURF |
| as req'd | | SCAEVOLA 'BLUE WONDER' | BLUE FAIRY FAN FLOWER | 12" SPACING | | | COLOR |



PLANTING PLAN

SCALE: 1/8" = 1'-0"

NOTES:

- The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department.
- All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times.
- Severe pruning or "topping" of trees is not permitted.
- If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or final inspection.



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Date: DECEMBER 3, 2019 Revision

Job No.

Drawn By: JP

Checked By: TF

NEWMAN RESIDENCE

7742 WHITEFIELD PLACE

LA JOLLA, CA

PLANTING PLAN











All ideas, designs, arrangements and plantings shown on these drawings shall have precedence over all other drawings and shall be the responsibility of the landscape architect. The landscape architect shall be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for review and approval before fabrication.

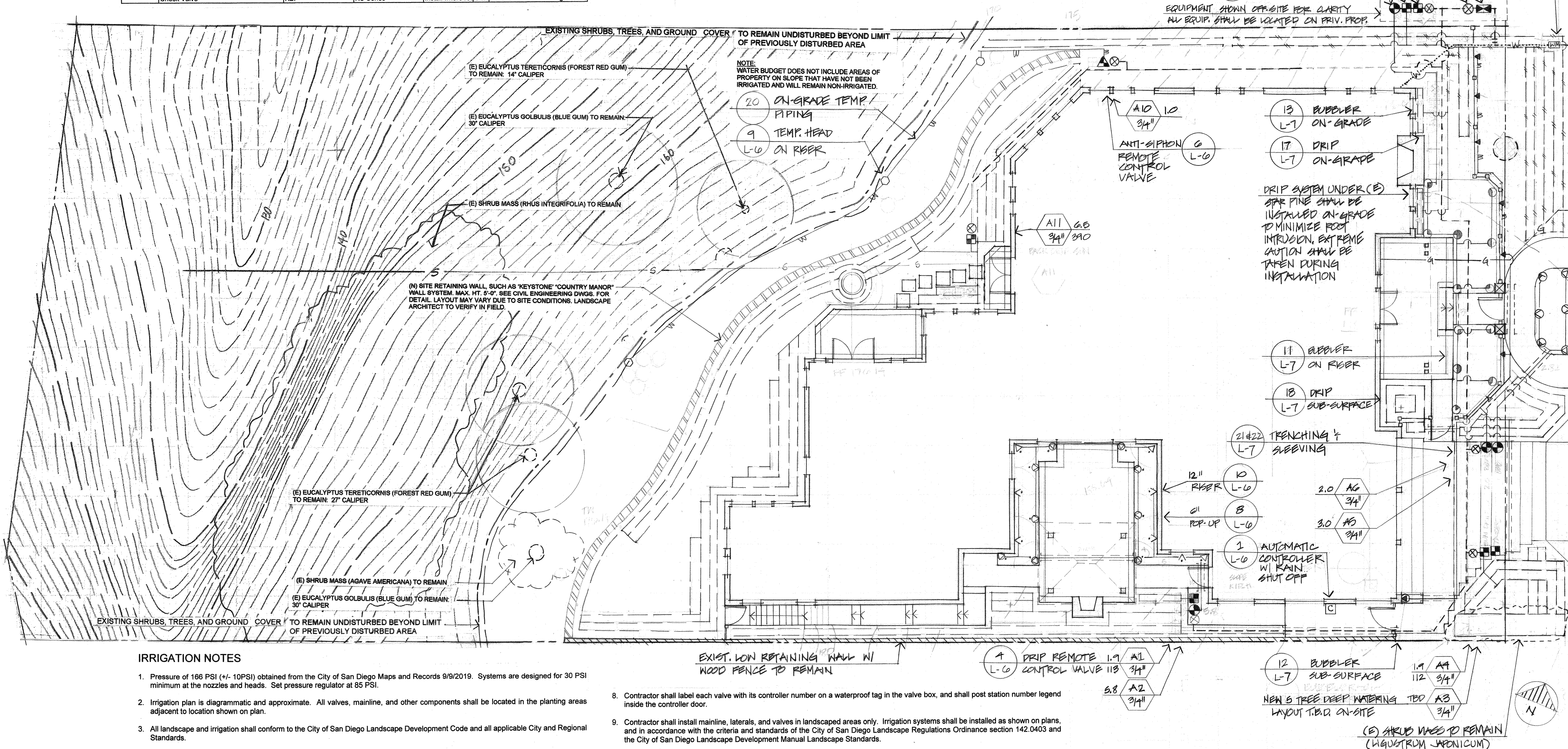
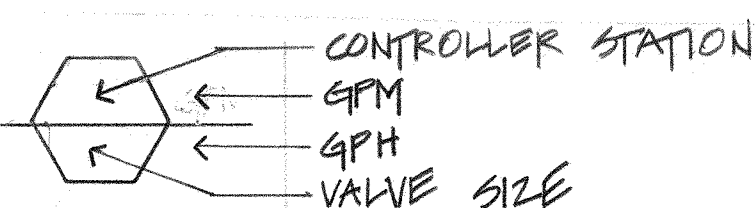
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Sheet No.

L-1

| Mainline Equipment Legend | | | | |
|---------------------------|--|-------------------------|-------------------|--|
| SYMBOL | DESCRIPTION | MANUFACTURER | MODEL | NOTES |
| | Water Meter | | | By Others. Proposed Location Shown |
| | Point of Connection | | | Approx location; field verify. |
| | Reduced Pressure Backflow Preventer w/ Pressure Regulating Valve | Zurn Wilkins | 975XLS 500XL | 1/2" Typical Factory set at 75 PSI |
| | Shut off / Isolation valve | Spears | Tru Union | Line size |
| | Controller | Weathermatic | Smartline SL-1600 | Exterior wall mount controller. Final location to be approved by L.A. |
| | Weather Station | Weathermatic | SLWS5 | Mount per manufacturer's specifications. Plug or hardwire to GFI electrical outlet. |
| | PVC Pressure (mainline) Pipe | Pacific Plastics or eq. | Sch. 40 | Install at 18" depth. Locate 3' from house wall and outside root zone of E Star Pine |
| | PVC Non-pressure (lateral) Pipe | Pacific Plastics or eq. | Class 200 | 3/4" typ. Install at 12" depth. |
| | PVC Non-pressure (lateral) Pipe | Pacific Plastics or eq. | Brownline | On-grade piping for temporary and bubbler systems |
| | Pressure pipe and wire sleeve | Pacific Plastics or eq. | Sch. 40 | 2X sleeved pipe or wire bundle, min. |
| | Lateral line sleeve | Pacific Plastics or eq. | Sch. 40 | 2X sleeved pipe, min. |
| | Wire Connector | Spears | Dri-splice 400 | For all wire splices below grade |
| | Remote Control Valve | Rainbird | 075-DVF | Install in bark mulch area for spray systems |
| | Anti-siphon Remote Control Valve | Rainbird | 075-ASVF | On-grade for temporary systems |
| | Remote Control Valve w/ Pressure regulating Filter | Rainbird | 075-DVF | Install in bark mulch area for drip systems |
| | Manual Flush Valve | Netafirm | PRF-075-RBY | Install at lowpoint on system |
| | Air / Vacuum Relief Valve | Netafirm | TLAVRV | Install at highpoint on system |
| | Check Valve | KBI | KC Series | Install where req'd to prevent low head drainage |

| DripLine Legend | | | | | | | | | | PR | NOTES | | |
|---|-------------------------------------|--------------|-------------------|-----|--------|------|---------|---------|---------|--------|--------|--|-----------------------------|
| SYMBOL | DESCRIPTION | MANUFACTURER | MODEL | PSI | GPH | | | | | | | in/hr | |
|  | Sub-surface dripline | Netafim | Techline-HCVXR-18 | 30 | 0.77 | | | | | | 0.55 | Offset emitters to maximize coverage. Offset emitters to maximize coverage. On-grade installation in existing Star PI root zone to minimize root intrusion. Offset emitters to maximize coverage. | |
|  | On-grade dripline | Netafim | Techline-HCVXR-18 | 30 | 0.77 | | | | | | 0.55 | | |
|  | On-grade dripline for deep watering | Netafim | Techline-HCVXR-24 | 30 | 1.16 | | | | | | 0.46 | | |
| Sprinkler Head Legend | | | | | | | | | | | | | |
| SYMBOL | DESCRIPTION | MANUFACTURER | MODEL | | Radius | PSI | GPM 270 | GPM 180 | GPM 120 | GPM 90 | GPM 45 | PR in/hr | NOTES |
|  | Temporary Rotor / Spray System | Hunter | MP-800-SR-90 | | | | | | | | | 0.8 | On-grade head for temp irr. |
|  | Lawn Spray head on 6" Pop-up | Hunter | PRS30-8A | 8" | 30 | 1.32 | 0.88 | 0.59 | 0.44 | 0.22 | | 2.89 | |
|  | Shrub Spray head on 6" Pop-up | Hunter | PRS30-6A | 6" | 30 | | 0.6 | 0.44 | 0.37 | | | 3.7 | |
|  | Shrub Spray head on 6" Pop-up | Hunter | PRS30-4A | 4" | 30 | | 0.45 | 0.22 | | | | 6.11 | |
|  | Shrub Spray head on 12" Riser | Hunter | PRS30-4A | 4" | 30 | | 0.45 | | 0.22 | | | 6.11 | |
|  | Vine Bubbler on 12" riser | Rainbird | 1401 | | | | | | | 0.25 | | On-grade piping to minimize trenching Existing Star Pine root zone | |
|  | Bubbler -sub-surface | Rainbird | 1401 | | | | | | | 0.25 | | | |



IRRIGATION NOTES

- Pressure of 166 PSI (+/- 10PSI) obtained from the City of San Diego Maps and Records 9/9/2019. Systems are designed for 30 PSI minimum at the nozzles and heads. Set pressure regulator at 85 PSI.
- Irrigation plan is diagrammatic and approximate. All valves, mainline, and other components shall be located in the planting areas adjacent to location shown on plan.
- All landscape and irrigation shall conform to the City of San Diego Landscape Development Code and all applicable City and Regional Standards.
- Contractor shall exercise extreme caution during installation in the root zone area of the existing Star Pine tree. All irrigation in this area shall be on-grade to minimize root intrusion. The mainline and mainline equipment shall be located outside the root zone.
- Install irrigation heads on 12" risers adjacent to walls and fences. Install irrigation heads on 6" pop-ups adjacent to walks and paving. All heads shall be installed 6" minimum from building and perimeter walls and with double swing joints.
- All heads shall be adjusted so that overspray on paving, structures, and adjacent property be kept to a minimum.
- Contractor shall be responsible for proper and correct functioning of all irrigation components and for thorough irrigation coverage.

- Contractor shall label each valve with its controller number on a waterproof tag in the valve box, and shall post station number legend inside the controller door.
- Contractor shall install mainline, laterals, and valves in landscaped areas only. Irrigation systems shall be installed as shown on plans, and in accordance with the criteria and standards of the City of San Diego Landscape Regulations Ordinance section 142.0403 and the City of San Diego Landscape Development Manual Landscape Standards.
- Contractor shall install one shut-off ball valve with each remote control valve manifold.
- Contractor shall install PVC sleeves under paving as required for all electrical wires between irrigation controller and remote control valves. Shall be installed for all turf areas.
- The irrigation system shall be fully automatic and installed with an automatic rain shut off device.
- The automatic controller shall be programmed so that water application shall not exceed soil infiltration rate or cause run-off. The automatic controller shall be seasonally adjusted to operate the systems.

IRRIGATION PLAN

SCALE: 1/8" = 1'-0"

NEWMAN RESIDENCE

7742 WHITEFIELD PLACE

LA JOLLA, CA

IRRIGATION PLAN

Written permission on these drawings shall have precedence over scaled dimensions: contractors shall verify, and be responsible for, all dimensions and conditions shown on drawings and variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by, and property of, Todd Fry Landscape Architect A.S.L.A. and are created, designed, developed and/or constructed in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Todd Fry Landscape Architect A.S.L.A.

Sheet No.

L-2

Date: DECEMBER 3, 2019 Revision

Job No.

Drawn By

Checked By

JP

TF



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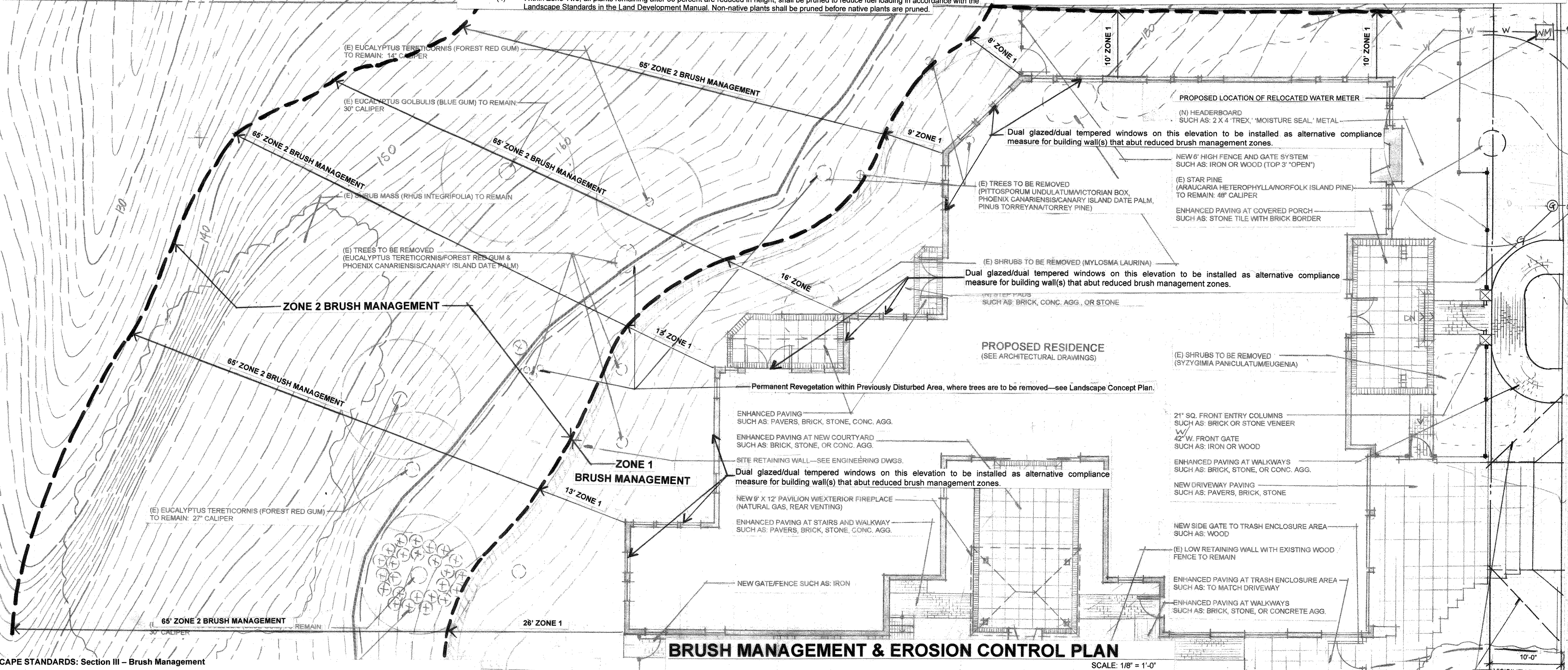
San Diego Municipal Code §142.0412 – Brush Management

Brush Management Brush management is required in all base zones on publicly or privately owned premises that are within 100 feet of a structure and contain native or naturalized vegetation.

- (a) Brush management activity is permitted within environmentally sensitive lands (except for wetlands) that are located within 100 feet of an existing structure in accordance with Section 143.0110(c)(7).
- (b) Brush Management Zones. Where brush management is required, a comprehensive program shall be implemented that reduces fire hazards around structures by providing an effective fire break between all structures and contiguous areas of native or naturalized vegetation. This fire break shall consist of two distinct brush management areas called "Zone One" and "Zone Two".
- (1) Brush management Zone One is the area adjacent to the structure, shall be least flammable, and shall typically consist of pavement and permanently irrigated ornamental planting. Brush management Zone One shall not be allowed on slopes with gradient greater than 4:1 (4 horizontal feet to 1 vertical foot) unless the property received tentative map approval before November 15, 1989. However, within the Coastal Overlay Zone coastal development shall be subject to the encroachment limitations set forth in Section 143.0142(a)(4) of the Environmentally Sensitive Lands Regulations.
- (2) Brush management Zone Two is the area between Zone One and any area of native or naturalized vegetation and typically consists of thinned, native or naturalized non-irrigated vegetation.
- (c) The width of Zone One and Zone Two shall not exceed 100 feet and shall meet the width requirements in Table 142-04H unless modified based on existing conditions pursuant to Section 142.0412(i) and the following:
- (1) The establishment of brush management Zones One and Two for new development shall be addressed in a site-specific plan to include all creative site and/or structural design features to minimize impacts to undisturbed native vegetation. Both Zone One and Zone Two shall be provided on the subject property unless a recorded easement is granted by an adjacent property owner to the owner of the subject property to establish and maintain the required brush management zone(s) on the adjacent property in perpetuity.
- (2) Where Zone Two is located within City-owned property, a Right-of Entry shall be executed in accordance with Section 63.0103 prior to any brush management activity.
- (d) Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.

- (e) Where Zone One width is required adjacent to the MHPA or within the Coastal Overlay Zone, any of the following modifications to development regulations of the Land Development Code or standards in the Land Development Manual are permitted to accommodate the increase in width:
- (1) The required front yard setback of the base zone may be reduced by 5 feet.
- (2) A sidewalk may be eliminated from one side of the public right-of-way & minimum required public right-of-way width may be reduced by 5 feet, or
- (3) The overall minimum pavement and public right-of-way width may be reduced in accordance with the Street Design Standards of the Land Development Manual.
- (f) The Zone Two width may be decreased by 1½ feet for each 1 foot of increase in Zone One width.
- (g) Zone One Requirements
- (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
- (2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or Type IV or heavy timber construction as defined in the California Building Code.
- (3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant.
- (4) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
- (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
- (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- (6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
- (7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- (h) Zone Two Requirements
- (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure, to the edge of undisturbed vegetation.
- (2) No structures shall be constructed in Zone Two.
- (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
- (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.

- (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
- (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistant. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
- (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistant native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
- (C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only lowflow, low-gallage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.
- (D) Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.
- (6) Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.
- (7) Except as provided in Section 142.0412(i), where the required Zone One width shown in Table 142-04H cannot be provided on premises with existing structures, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.
- (i) An applicant may request approval of alternative compliance for brush management in accordance with Process One if all of the following conditions exist:
- (1) The proposed alternative compliance provides sufficient defensible space between all structures on the premises and contiguous areas of native or naturalized vegetation as demonstrated to the satisfaction of the Fire Chief based on documentation that addresses the topography of the site, existing and potential fuel load, and other characteristics related to fire protection and the context of the proposed development.
- (2) The proposed alternative compliance minimizes impacts to undisturbed native or naturalized vegetation where possible while still meeting the purpose and intent of Section 142.0412 to reduce fire hazards around structures and provide an effective fire break.
- (3) The proposed alternative compliance is not detrimental to the public health, safety, and welfare of persons residing or working in the area.
- (j) If the Fire Chief approves alternative compliance in accordance with this section, the modifications shall be recorded with the approved permit conditions if approved as part of a development permit, or noted in the permit file if approved as part of a construction permit.



SAN DIEGO LANDSCAPE STANDARDS: Section III – Brush Management

- 3-1 Brush Management – Description
- Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings, or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological, and erosion impacts while reducing the risks for wildland fires.
- 3-2 Brush Management – Requirements
- 3.2-1 Basic Requirements – All Zones
- 3.2-1.01 For Zone Two, plants shall not be cut below six inches.
- 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
- 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet, whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.
- 3.2-1.04 All plants or plant groupings except cacti, succulents, trees, and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).
- 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Plantanus, Salix, and Populus).
- 3.2-2 Zone 1 Requirements – All Structures
- 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").
- 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
- 3.2-2.03 Maintain all plantings in a succulent condition.
- 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.
- 3.2-3 Zone 2 Requirements – All Structures
- 3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

- General Maintenance ~ Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance, Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
- Brush Management Zone 1 ~ The most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
- Brush Management Zone 2 ~ Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools, which retain short stubble that protects the soil, is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well-pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.
- Long-term Maintenance Responsibility ~ All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of Owner. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.
- Offsite brush management shall be the responsibility of adjacent property owners. For fuel-load maintenance issues, contact the Fire-Rescue Department's Hazard Advisor – Brush/Weed Complaint line at: (619) 533-4444.

BRUSH MANAGEMENT ZONES

| ZONE | Standard Width | Provided Width |
|----------|----------------|----------------|
| Zone One | 35-feet | 8'-26' |
| Zone Two | 65-feet | 0'-65' |

BRUSH MANAGEMENT NOTE

- A. Mitigation options where conditions are not met for 100' defensible space (reduced zones) include:
- Dual glazed/dual tempered windows

NOTES:

- Within Zone One, combustible accessory structures (including but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.
- The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

NEWMAN RESIDENCE

7742 WHITEFIELD PLACE

LA JOLLA, CA

BRUSH MANAGEMENT PLAN

Written permission on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this drawing. The designer shall not be responsible for any variations from the dimensions and conditions shown in these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and property of, Todd Fry Landscape Architect A.S.L.A. and were created, conceived and developed by Todd Fry Landscape Architect A.S.L.A. with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Todd Fry Landscape Architect A.S.L.A.

Sheet No.

L-3

Dated: DECEMBER 3, 2019 Revision

Job No.

Drawn By: JP

Checked By: TF



TODD FRY LANDSCAPE ARCHITECT A.S.L.A.

Calif. Lic. # 1370

Hawaii Lic. #8878

7920 Princess St. La Jolla, CA 92037

PLANTING SPECIFICATIONS

Scope of work

Includes all services, labor, materials, transportation, and equipment necessary to perform the work indicated on the drawing and specified herein as required to properly complete the contract.

Submittals

Contractor shall submit list of soil amendments, fertilizers, plant materials, seeds, etc., with quantities of each.

Guarantees and Replacements

- A. Shrubs and groundcover shall be guaranteed to remain healthy and vigorously growing for one growing season or sixty (60) days, whichever comes first.
- B. All trees furnished and installed under this contract shall be guaranteed to live and grow for a period of one (1) year from the date of final acceptance of project.
- C. Replacements shall be made to the same specifications required for the original plantings. Material and labor involved in replacing materials and repairing all damage made to existing improvements during replacement operations shall be supplied by contractor at no additional expense to the owner.

Inspections

- A. Inspections herein specified shall be made by the landscape architect (or his representative). The contractor shall request inspection forty-eight (48) hours in advance of the time the inspection is required.
- B. Inspection shall be required for the following parts of the work:
1. Placing and spreading of topsoil.
 2. Incorporation of soil conditioning and fertilizing into the soil.
 3. Upon the completion of finish grading prior to planting.
 4. Approval of plant materials.
 5. When trees and shrubs are spotted in place for planting but before planting holes are excavated.
 6. Application of pre-emergence.
 7. When planting and all other indicated or specified work, except the maintenance period, has been completed. Acceptance and written approval shall establish the beginning of maintenance period.
 8. Final inspection at the completion of the sixty (60) day maintenance period. This inspection shall establish the date for the one year guarantee of trees so designated.
- C. Acceptance: upon completion of the final inspection and the work of this section, the contractor will be notified in writing, (1) whether the work is acceptable; and (2) of any requirements necessary for completion and acceptance.
- D. The contractor or his authorized representative shall be on the site at the time of each inspection.

Maintenance

- A. The maintenance period begins on the first day after all work on this project is complete, checked, accepted, and written approval from the landscape architect is given to begin the maintenance period, and shall continue thereafter for no less than sixty (60) continuous calendar days.
- B. The contractor shall continuously maintain all involved areas of the contract including planting, irrigation and other improvements during the progress of the work and during the maintenance period until the final acceptance of the work by the landscape architect.
- C. Regular planting maintenance operation shall begin immediately after each plant is planted. Plants shall be kept in a healthy, growing condition and in a visually pleasing appearance by watering, pruning, trimming, re-staking, pest and disease controlling, spraying, weeding, cleaning-up and any other necessary operation of maintenance. Landscape areas shall be kept free of weeds, noxious grasses, and all other undesired vegetative growth and debris. All plants found to be dead or in an impaired condition shall be replaced immediately.
- D. The contract completion date of the contract maintenance period will be extended when, in the opinion of the landscape architect, improper maintenance and/or possible poor or unhealthy condition of planted material are evident at the termination of the scheduled maintenance period.
- The contractor shall be responsible for additional maintenance of the work at no change in contract price until all of the work is completed and acceptable to the landscape architect.
- E. The contractor shall be responsible for maintaining adequate protection of the areas. Damaged areas shall be repaired immediately at the contractor's expense.
- F. Maintenance of plant materials:
- Maintenance of plant materials shall include proper watering, fertilizing, pest and disease control and other functions necessary to bring all plant materials to a healthy, vigorous stand of plants at the time of final inspection.
- During the maintenance period, plants which die or which, in the opinion of the landscape architect, are in an unhealthy or impaired condition, shall be replaced immediately by the contractor. However, no replacement planting shall be made in any season definitely unfavorable for planting.

General Requirements

- A. The term "planting area" shall mean all areas to be planted with trees, shrubs and ground covers.
- B. All plantings shown and measurements scaled from the drawings are general and approximate. Before proceeding with any planting work, the contractor shall verify all plant locations, quantities and grade elevations with the landscape architect.
- C. Irrigation systems shall have been installed and approved prior to soil preparation and planting.
- D. Actual planting shall be performed during those periods when weather and soil conditions are suitable, in accordance with locally accepted horticultural practice as approved by the landscape architect.
- E. Prior to excavation for planting or placing of plant materials, the contractor shall locate all underground utility lines still in use and take precautions to avoid damage to such improvements. In the event of a conflict between such lines and plant locations, notify the landscape architect who shall arrange for the relocation of one or the other. The contractor assumes all responsibility for making any and all repairs for damages resulting from work as herein specified at his own expense.
- F. Grading and soil preparation work shall be performed only during the period when beneficial and optimum results may be obtained. If the moisture content of the soil should reach such a level that working it would destroy soil structure, spreading and grading operations shall be suspended until, in the opinion of the landscape architect, the moisture content is increased or reduced to an acceptable level and the desired results are likely to be obtained.
- G. It is the intent of the project that all existing plant materials, installed prior to this project, shall be retained and protected.
- All existing plant materials shall be protected at all times from damage by people, equipment and materials. All damage by the contractor to existing plants shall be repaired at his/her expense by personnel approved by the landscape architect.

Finish Grading

- A. Contractor shall finish grade all areas with an even grade between walks, building walls, planters and hard surfaces by removing all voids, humps and rocks over one (1) inch in diameter. Grades shall be an even slope along all swale areas.
- B. Contractor shall secure approval of all grading prior to planting.

Materials

- A. Soil amendments and fertilizer:
1. The soil conditioner shall be an organic based conditioner of nitrolized redwood soil or approved equivalent. Loamex, forest humus)
 2. Gypsum shall be commercially processed and packaged gypsum cbs40-2h20 at 95% min. By volume. Gypsum shall be equal to or better than ben franklin gypsum by u.s. Gypsum corporation.
 3. Soil sulphur shall be best, lacoo, or equal.
 4. Fertilizer (commercial) shall be long-lasting controlled release, plastic coated, uniform in composition, free-flowing, suitable for application with approved equipment and shall contain the following min. Percentage of plant food by weight.
- | | |
|------------|-------|
| Nitrogen | 18.0% |
| Phosphorus | 18.0% |
| Potash | 6.0% |
5. Soil surfactant shall be soil-air, liquid water-in, or equal.
 6. Planting tablets shall be tightly compressed, chip type, commercial grade planting tablets, or varying sizes with the following available percentages by weight of plant food:
- | | |
|-----------------|-------|
| Nitrogen | 20.0% |
| Phosphoric acid | 10.0% |
| Potash | 5.0% |
- B. Planting backfill shall be thoroughly blended topsoil and soil amendments at the following mixture:
- | | |
|------------------|----------------------|
| Soil conditioner | 1 part |
| Existing soil | 2 parts |
| Soil surfactant | as per manuf. Specs. |
- C. Tree stakes and ties shall be as per the drawings.
- D. Pre-emergence herbicides shall be granular treflan or treflan or an approved equal and shall be applied per the manufacturer's recommendations to all planting areas, except sodded lawns.
- E. Plant materials
1. Quality and size: plants shall be in accordance with the *california state regulations for nursery inspections and rules of grading*. All plants shall have a normal habit of growth and shall be sound, healthy, vigorous and free from insect infestations, diseases, sun scalds, fresh abrasions of the bark, and other objectionable disfigurements. All trees not capable of supporting themselves when planted will not be accepted. All plants shall have a vigorous and fibrous root systems which are not root bound. Container stock shall have from in containers for at least six (6) months, but not over two (2) years. No trees with damaged root or root balls shall be planted.
 2. Pruning shall not be done prior to delivery except by written approval by owner and landscape architect.
 3. Substitutions will not be permitted except that if proof is submitted that any plant specifies is not obtainable, a proposal will be considered for use of the nearest equivalent size or variety and cost. All substitutions are subject to owner and landscape architect written approval.
 4. Quantities shall be furnished as needed to complete work shown on drawings.
 5. Identify plant species or varieties correctly on legible, weatherproof labels attached securely thereto before delivery to job site.
- F. Walk-on (fir) bark shall be as per drawings.
- G. Contact weed killer shall be phytar 590, ortho contact, or approved equal.
- H. Shrub and tree samples: typical samples, three (3) each of all varieties and sizes [shrubs: 15 gallon and under, and trees: 5 gallon and under] of all plant materials shall be submitted for inspection approval at the site a minimum of fifteen (15) days prior to planting operations. Approved samples shall remain on the site and shall be maintained by the contractor as standards of comparison for the plant materials to be furnished. Samples shall be incorporated into the work.

Weeding, Soil Preparation and Grading

- A. Weed control:
1. Contractor shall apply a weed spray to all weeds to eliminate them, if necessary.
 2. Contractor shall take into consideration the time element of this operation to the total scope of the job. Contractor shall wait a minimum of twenty-one (21) days before doing any planting operations.
 3. Contractor shall cleanup all weeds and debris and fill in all erosion scars with approved soil.

Soil Conditioning, Fertilizing, and Rototilling

- A. After the areas have been graded, the following rates of soil conditioning and amendment materials shall be evenly spread over all planting areas and shall be thoroughly scarified to an average depth of six (6) inches by rototilling a minimum of two (2) alternating passes:
- | | |
|------------------|---------------------------|
| Soil conditioner | 4 cu Yds. Per 1000 sq.ft. |
| Gypsum | 150 lbs. Per 1000 sq.ft. |
| Soil surfactant | as per manuf. Specs. |
- B. Fertilizer (commercial) 18-18-6 shall be applied at 25 lbs. Per 1000 sq. Ft. And scarified into the top two (2) inches for finish grade. To be applied after leaching operation.
- C. The thoroughness and completeness of the rototilling and incorporation of the soil conditions / amendments shall be acceptable to the landscape architect.
- D. After complete installation and testing of the irrigation system, all areas shall be deep eater leached and compacted and settled by continuous application of irrigation water until the soil is thoroughly moist to a minimum depth of eight (8) inches.
- E. Care shall be taken that the rate of application of water does not cause erosion or sluffing of soils.
- F. All depressions, voids, erosion scars and settled trenches generated by deep watering shall be filled with conditioned topsoil and brought to finish grade.

Planting

- A. The layout of locations for plants and outlines of groundcover areas to be planted shall be approved on the site by the landscape architect. All container plants shall be set by the contractor in their final locations, as approved by the landscape architect prior to their planting. All such locations shall be checked for possible interference with existing underground improvements, prior to excavation of holes. If underground improvements are encountered, other locations for the planting by be selected by the landscape architect. Damage to existing utilities shall be the responsibility of the contractor.
- B. Planting tree and shrubs:
1. All excavated holes shall have vertical sides with roughened surfaces and shall be of minimum sizes indicated on drawings.
 2. Excavation shall include the stripping and stacking of all acceptable soil encountered within the areas to be excavated for plant pits and planting beds. Protect all areas that are to be trucked over and upon which soils to be temporarily stored, pending its re-use for the filling of holes, pits, and beds.
 3. Excess topsoil, generated from the planing holes shall be spread on site as directed by the landscape architect.
 4. Rocks, debris, and excess subsoil generated from the planting holes shall be removed from the site.
- C. Setting plants:
1. The plants shall be planted at approved locations with the heretofore specified planting backfill.
 2. The plants shall be placed in the planting pits and the remaining backfill material shall be carefully tamped and settled around each root ball to fill all voids.
 3. Each tree and shrub shall be placed in the center of the hole and shall be set plumb until the planting backfill has been tamped around each root ball.

4. All plants shall be set at such a level that after settling, they bear the same relationship to surrounding finish grade as they bore to soil line grade in container unless otherwise noted.
 5. Planting tablets (20-10-5) shall be placed in each planting hole at the following rates:
 - (1) 5 gram tablet per liner and flat size plant
 - (1) 21 gram tablet per 1 gallon container
 - (3) 21 gram tablet per 5 gallon container
 - (6) 21 gram tablet per 15 gallon container
 - (1) 21 gram tablet per each 4 inches of box size.
 6. No plant shall be accepted if the root ball is broken or cracked, either before, during, or after the process of installation.
 7. All plants shall be thoroughly watered-in to the full depth of each planting hole immediately after planting.
 8. All tree designated on the drawings to be staked shall be staked with one (1) wood stake, driven into the ground on the windward side of the tree. The stake shall be driven in plumb and secure. Special care shall be taken that the driving in of the stake does not damage the tree roots or root ball. Tree ties shall be fastened to each tree and stake by looping figure 8's with the inside diameter of the tie to the stake. (see detail sheet.)
 9. The staking shall be accomplished by that contractor in such a manner as to insure the proper and healthy growth and the safety of the plants, property and the public.
 10. The contractor shall be responsible for all surface and sub-surface drainage required which may affect his guarantee of the trees, shrubs and vines.
 11. Pruning after planting shall be required on all trees and shrubs, when necessary, in the opinion of the landscape architect to provide the specified or approved standard shapes, form and/or size characteristic to each plant. Pruning may include thinning, topping, and/or cutting and shall be under the direction of the landscape architect.
- D. Planting groundcover:
1. Groundcovers shall be planted in the areas indicated on the drawings, exact area determined on the site by the landscape architect. The groundcover plants shall be rooted cuttings trown in flats and shall remain in those flats until transplanting. Planting areas shall be thoroughly pre-moistened.
 2. All groundcover plants shall be planted in staggered rows, evenly spaced at the intervals called out on the drawings and shall extend under treed and shrubs to within 18" of the tree trunk or shrub stem and 18" from walks, paved surfaces and curbs.
 3. The groundcover plants shall be planted sufficiently seep to cover all roots and shall be sprinkled after planting until the area is soaked to the full depths of all holes.
 4. The groundcover planting areas shall be hand smoothed after planting to provide an even, smooth final finish grade.
- E. Lawn installation:
1. Seeding of lawn areas:
 - A. Seed per supplier's recommendation on settled, even and friable grade, at the rate of 5 lbs. Per 1000 sq.ft. And top dress.
 - B. Use seed specified in the planting legend.
 - C. All lawn seed shall be labeled and shall be furnished in sealed standard containers. Seed which has become wet, moldy, or otherwise damaged in transit, will not be acceptable.
 2. Sodding of lawn areas:
 - A. Use sod specified in the planting legend.
 - B. Sod shall be laid in staggered rows, following the grade elevations. Do not lay sod perpendicular to slope of grade.
 - C. Sodded areas shall be thoroughly watered and kept continuously moist as required.
 - D. Re-sodding: sodded areas which do not show a prompt catch of grass within 10 days after installation shall be re-sodded until an acceptable stand of grass is assured.
- F. General landscape requirements:
1. All landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

IRRIGATION SPECIFICATIONS

Work under this section shall include all labor, materials, tools, and appliances herein, specified or incidental, to fully complete all work of irrigation installation as shown on drawings, including trenching and backfilling.

1. **SUBMITTALS**
Contractor shall submit a list if all irrigation equipment manuals, to be used, manufacturer's brochures, maintenance, guarantees, and operating instructions.
2. **GUARANTEE**
At the conclusion of the maintenance period by the contractor, the contractor shall furnish a guarantee for a period of one (1) year from the date of final acceptance on the complete irrigation system, including non-setting of the backfill in trenches which, if it occurs, shall be corrected, including repairs, and/or replacement of any material damaged thereby or there from, to the complete satisfaction of and at no cost to the owner.
3. **INSPECTIONS**

A. In all cases where inspection of the irrigation system is required and/or where portions of the work are specified to be performed under the direction and/or inspection of the landscape architect or his representative, the contractor shall notify the landscape architect at least forty-eight 48 hours in advance of the time such inspection and/or direction is required.

B. Inspections will be required for the following parts of the work:

 1. Upon installation and testing of the main pressure lines and lateral lines; when pipes are laid and submitted to pressure test. Do not cover any lines until they have been inspected and approved by landscape architect or his representative.
 2. Upon installation and testing of pressure reducing valves, backflow preventers, quick couplers, automatic controllers, remote control valves, and wires.
 3. At performance of coverage test to determine if the coverage of water afforded the planting areas is complete and adequate.
 4. Final inspection and performance test shall be at the same time as the final inspection of the landscape work.
4. **RECORD DRAWINGS**
Before final acceptance of work by the landscape architect, the contractor shall provide a record set of drawings showing the irrigation system.

- A. Any changes in location of items or type of installations from that shown on drawing shall be so indicated on the record drawings.
- B. Remote control valves shall be numbered and corresponding numbers shall be shown on the record drawings.
- C. All remote control valves, shut off valves, isolation valves shall be located by measured dimensions. Dimensions shall be given to permanent object such as buildings, curbs, sidewalks and driveways and to the nearest six (6) inches.
- D. On the inside surface of the cover of each automatic controller, the contractor shall prepare and mount a chart showing the remote control valves and sprinkler heads serviced by that particular controller. All remote control valves shall be numbered to match operation schedule and drawings. Only those areas controlled by that controller shall be shown. This chart shall be a plot plan, entire or partial, showing buildings, walkways, roads and walls. A photocopy of this plan, reduced as required and legible in all details, shall be made to a size that will fit into the controller cabinet. This print shall be approved by the landscape architect and shall be hermetically sealed in plastic. This shall be secured to the inside of the controller cover.
- E. Immediately upon the installation of any buried pipe or equipment the contractor shall indicate on the drawing the location of said equipment.

5. MATERIALS

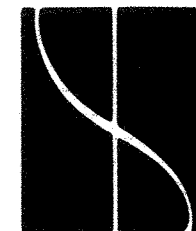
- A. All irrigation lines downstream of the backflow preventer shall be plastic pipe as specified herein. All plastic pipe and fittings shall bear the NSF seal of approval, manufacturer's name, class or schedule, and size. Mainline pipe from point of connection to valves shall be as prescribed by the local codes.
1. PVC Pipe shall be rigid, un-plasticized polyvinyl chloride pvc 1220 (type 1, grade 2) conforming to astm d1785.
 - a. Class 200 pipe shall be installed on the discharge side of the remote control valves.
 - b. Class 315 or schedule 40 shall be installed on the continuously pressurized pipe on the supply side of the remote control valves.
 2. PVC fittings shall be schedule 80 pipe for continuously pressurized lines and schedule 40 pipe fittings may be used for non-pressure pipe when threaded joints are specified or otherwise permitted by the landscape architect. Fittings and couplings for plastic pipe shall be threaded or slip fitting tapered socket weld joint. When connection is plastic to metal, male adapter shall be used. The male adapter shall be hand tightened, plus one turn with a strap wrench.
- B. Metal Pipe
1. Steel pipe and fittings shall be galvanized, standard weight, schedule 40 pipe. Steel pipe shall be jointed with galvanized threaded, standard weight malleable iron fittings and couplings.
 2. Brass pipe and fittings shall be standard 125 pound class 85% red brass fittings and connections.
- C. Valve and valve boxes shall be as shown on the irrigation plan and legend.
- D. Backflow Preventer Assembly shall consist of a reduced pressure principle backflow preventer and in-line pressure regulator and related components conforming to the governing code requirements.
- E. Automatic Controller shall be as specified on the irrigation plan and legend.
- F. Sprinkler equipment shall be the model and type specified on irrigation plan and legend. All sprinkle heads of the same type and size shall be by the same manufacturer.
- G. Polyethylene Irrigation (blank) tubing (for piping downstream of remote control valve) shall be of the model and manufacturer specified on the irrigation plan and legend. Polyethylene tubing, dripline pipe, fittings and connections shall be by the same manufacturer.
- H. Polyethylene Dripline Pipe shall be of the model and manufacturer specified on the irrigation plan and legend.
- I. Fittings and connections for Polyethylene tubing and dripline shall be of the model and manufacturer specified on the irrigation plan and legend.
- J. Electrical Materials and Equipment shall comply with the requirements of the governing code and the serving utility, and shall be approved and identified by the Underwriter's Laboratories Inc. (UL)
- K. Conduit shall be Schedule 40 PVC pipe.

6. INSTALLATION

- A. Trenches for pipe shall be straight with bottoms on uniform slopes and provide the following minimum cover, measured from the top of the pipe to finish grade.
- | | |
|-------------------------------------|----------|
| Plastic Main Pressure Lines | 18" min. |
| Plastic Pressure Non-pressure Lines | 12" min. |
| Polyethylene tubing | 3" min |
| Dripperline tubing | 3" min |
- B. Flushing and Testing
Testing shall occur in the presence of the Landscape Architect.
- Flushing
1. Flushing shall occur after all piping, risers and valves are in place and connected, but prior to installation of sprinkler heads, thoroughly flush piping system under a full head of water.
 2. Maintain flushing for five (5) minutes through furthestmost valve.
 3. After flushing, cap all risers.
- Pressure Test
1. Hydrostatically test the piping system in place before backfilling.
 2. Maintain a minimum test pressure of 100 PSI without pumping for a period of not less than one (1) hour. furthestmost valve
 3. Test is acceptable if no leakage or loss of pressure is evident during test period.
 4. Detect and repair all leaks.
 5. Retest the system until test pressure can be maintained for duration of the test.
- Operation Test
1. At conclusion of pressure test, install sprinkler heads and test entire system for operation under normal operating pressure.
 2. Test is acceptable if system operates in a satisfactory manner with uniform coverage of areas to be irrigated.
- C. Backfilling
Trenches containing PVC pipe shall be backfilled with approved excavated soil, free from clods, lumps, or stones, or adobe, after piping has been inspected, tested, and approved for covering. All trenches shall be tamped or water inundated for compaction to a density of 90% minimum.
- D. Backflow Preventer Assembly shall be installed conforming to the governing codes and regulations and manufacturer's specifications. Backflow preventer assembly shall be installed a minimum of twelve (12) above finished grade or highest on circuit. Contractor shall adjust pressure regulator to provide correct operating volume and pressure to heads on each circuit. Field verify exact location with Landscape Architect.
- E. Automatic Controller shall be installed per details and manufacturer's specifications. Control wires shall be sleeved in electrical conduit, using sweep ell's, from controller interior to eighteen (18") below grade.
- F. Sprinkler equipment shall be the model and type specified on irrigation plan and legend, and installed per details and manufacturer's instructions.
- G. Installation of Sub-surface Drip System
1. Install per details and manufacturer's instructions.
 2. Distribute driplines uniformly throughout planting area curving driplines around plant locations indicated on the planting plan.
 3. Driplines shall be offset to create triangular spacing. Dripline returns shall be installed in a curve with a radius of seven (7") minimum to prevent kinking and flow reduction. Use 17mm barbed fittings (tee's and ell's) at junctions and corners.
 4. During dripline installation, leave enough length at the beginnings and ends of runs to make return connections.
 5. Stake dripline every 3' in sand soil, 4' in loam soil, and 5' in clay soil. Contractor shall mound small amounts of backfill over dripline at intervals to set dripline.
 6. The system shall be left open and dripline uncovered for testing purposes by the Landscape Architect. Dripline shall be adjusted for coverage and depth as directed by Landscape Architect. After successful testing, cover system with 3" prepared backfill and dress planting area with 1-1/2" bark mulch.
 7. Store dripline in a cool shaded place until installed. Do not expose dripline to excessive heat or sun.
 8. Polyethylene Irrigation (blank) tubing (for piping downstream of remote control valve) shall be of the model and manufacturer specified on the irrigation plan and legend. Polyethylene tubing, dripline pipe, fittings and connections shall be by the same manufacturer.
 9. Polyethylene Dripline Pipe shall be of the model and manufacturer specified on the irrigation plan and legend.
 10. Fittings and connections for Polyethylene shall be of the model and manufacturer specified on the irrigation plan and legend.
- H. Electrical (controller) wire
1. Install with twelve (12") of excess wire (coiled) at the end of each wire run and at ninety degree (90) changes in elevation.
 2. Control wire shall be laid eighteen inches (18") deep. Control wire shall be bundled and placed beneath mainline where possible. Tape to mainline at ten feet (10') O.C.
 3. One (1) additional control wire shall be run to each valve manifold. Wire shall be coiled, taped and placed in valve box.
 4. Contractor shall provide an additional common wire to the end of the mainline run from the controller. Wire shall be coiled, taped, and placed in valve box.
 5. Wire runs shall be continuous from controller to valve with splices only at the valve. Splices and connections shall be made with Pen Tite connectors (or equal) and shall be placed in valve box.
 6. Contractor shall provide a different color wire for each valve station. The common wire shall be white.

7. MAINTENANCE

1. Maintenance period of 60 days shall begin upon final acceptance of the irrigation system.
2. Maintenance contractor shall be required have available and use a soil probe to frequently check soil moisture before and after operation of the irrigation system to evaluate the necessity for irrigation scheduling adjustments. Contractor shall adjust irrigation system timing and coverage patterns on an ongoing basis to compensate for reduced water requirements as plants mature.
3. Contractor shall be required to frequently test the irrigation system to ensure that all heads operate correctly and that no breaks or leaks exist. The Contractor shall not permit the irrigation system to operate with broken equipment. Repairs shall be made with originally specified materials in accordance with the Landscape Architect's plans to ensure proper coverage and pressure within the irrigation system. Failure to match originally specified materials may result in an inoperable system with significant water waste.
4. Irrigation system shall be maintained and operated in such a manner as to prevent water from collecting on or running off paving, or from over-spraying onto buildings, fences, walls, or other hardscape features.



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| | | | |
|------------|------------------|----------|--|
| Date | DECEMBER 3, 2019 | Revision | |
| Job No. | | | |
| Drawn By | JP | | |
| Checked By | TF | | |

NEWMAN RESIDENCE

7742 WHITEFIELD PLACE

LA JOLLA, CA

PLANTING & IRRIGATION SPECS

Written permission on these drawings shall have precedence over scaled dimensions: Contractors shall verify, and be responsible for, all dimensions and quantities shown on these drawings. All dimensions and quantities shown on these drawings shall be verified by the contractor. Shop details must be submitted to this office for approval before proceeding with fabrication.

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Sheet No.

L-4

| | | | | |
|--|---|--|---|---|
| <p>NOTES:</p> <ol style="list-style-type: none">1. CONTRACTOR SHALL ROUGHEN SIDES OF ROOTBALL AND SEVER ENCIRCLING ROOTS. | <p>NOTES:</p> <ol style="list-style-type: none">1. GUY AS REQUIRED TO SUPPORT TREE AT 60° MAX. ANGLE.2. PLANTING PIT SHALL BE MIN. 24' AROUND ROOTBALL AS SHOWN.3. FILL ALL PERFORATED DRAIN PIPE W/ 3/4" GRAVEL.4. SUPPLY TREE W/ REQUIRED PLANTING TABLETS - (1) 21 GRAM TABLET PER 4" BOX SIZE.5. CONTRACTOR SHALL ROUGHEN SIDES OF ROOTBALL AND SEVER ENCIRCLING ROOTS. | <p>NOTES:</p> <ol style="list-style-type: none">1. CONTRACTOR SHALL ROUGHEN SIDES OF ROOTBALL AND SEVER ENCIRCLING ROOTS. | <p>NOTES:</p> <ol style="list-style-type: none">1. STAKE TREES AS PER TREE PLANTING AND STAKING DETAIL.2. CONTRACTOR SHALL ROUGHEN SIDES OF ROOTBALL AND SEVER ENCIRCLING ROOTS. | <p>NOTES:</p> <ol style="list-style-type: none">1. CONTRACTOR SHALL ROUGHEN SIDES OF ROOTBALL AND SEVER ENCIRCLING ROOTS. |
| <p>1 TREE PLANTING</p> <p>ALL GROUND COVER SHALL BE PLANTED AT EQUAL SPACING (TRIANGULAR) PER O.C. SPACING INDICATED ON PLANS</p> | <p>2 SPECIMAN TREE PLANTING</p> <p>NOTES:</p> <ol style="list-style-type: none">1. CONTRACTOR SHALL ROUGHEN SIDES OF ROOTBALL AND SEVER ENCIRCLING ROOTS. | <p>3 SHRUB PLANTING</p> <p>NOTES:</p> <ol style="list-style-type: none">1. CONTRACTOR SHALL ROUGHEN SIDES OF ROOTBALL AND SEVER ENCIRCLING ROOTS. | <p>4 SLOPE PLANTING</p> <p>NOTES: CONTRACTOR SHALL ROUGHEN SIDES OF ROOTBALL AND SEVER ENCIRCLING ROOTS.</p> | <p>5 VINE / ESPALIER PLANTING</p> |
| <p>6 GROUND COVER</p> | <p>7 CONTAINER PLANTING</p> | <p>8 POTTED PLANT</p> | <p>9 TREE PLANTING 24\"</p> | |

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Checked By: TF

NEWMAN RESIDENCE
 7742 WHITEFIELD PLACE
 LA JOLLA, CA

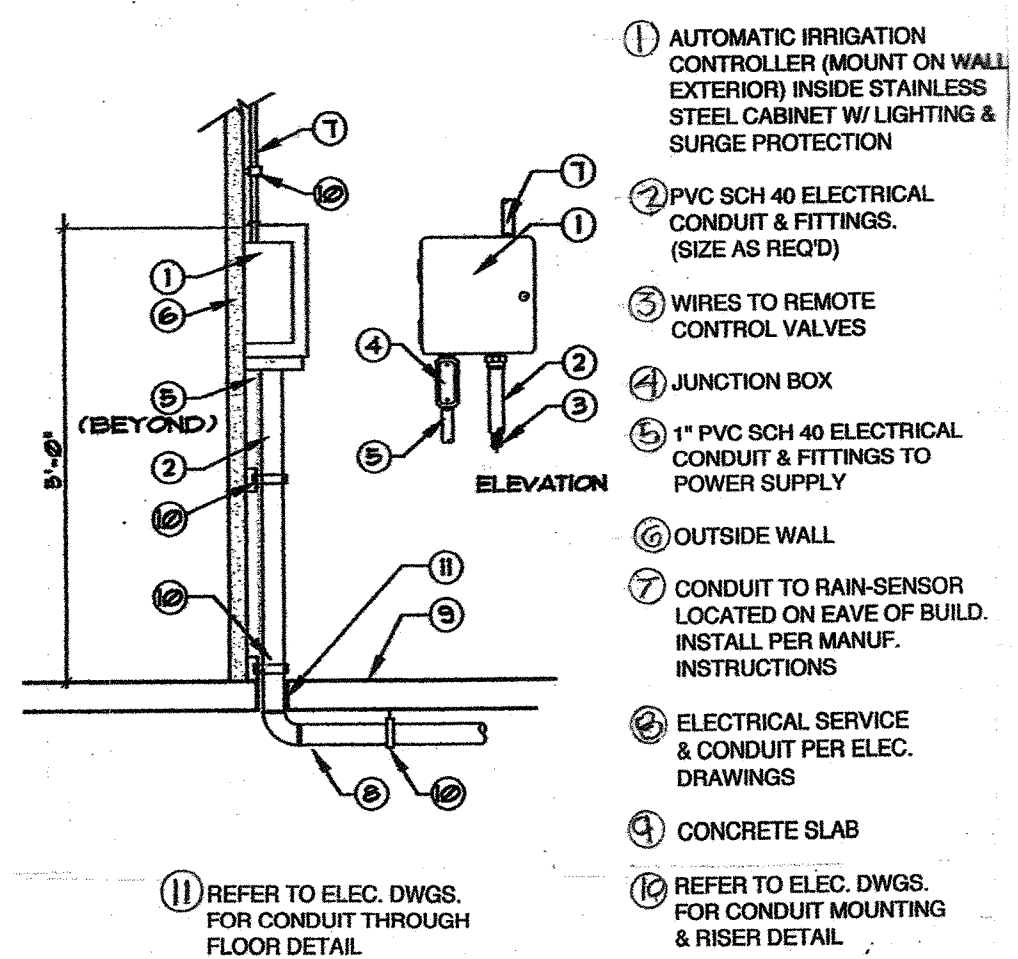
PLANTING DETAILS

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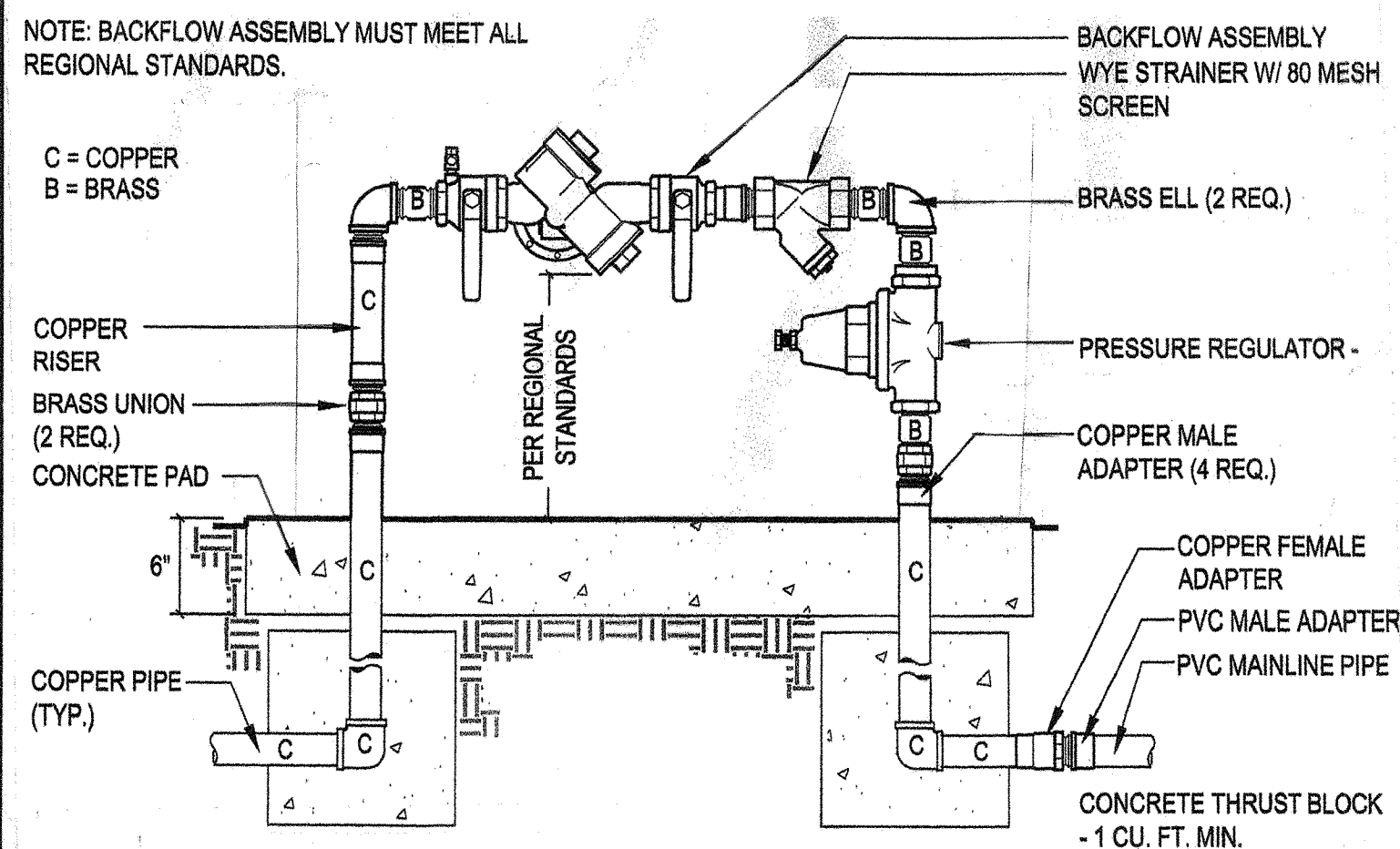
Sheet No.

L-5



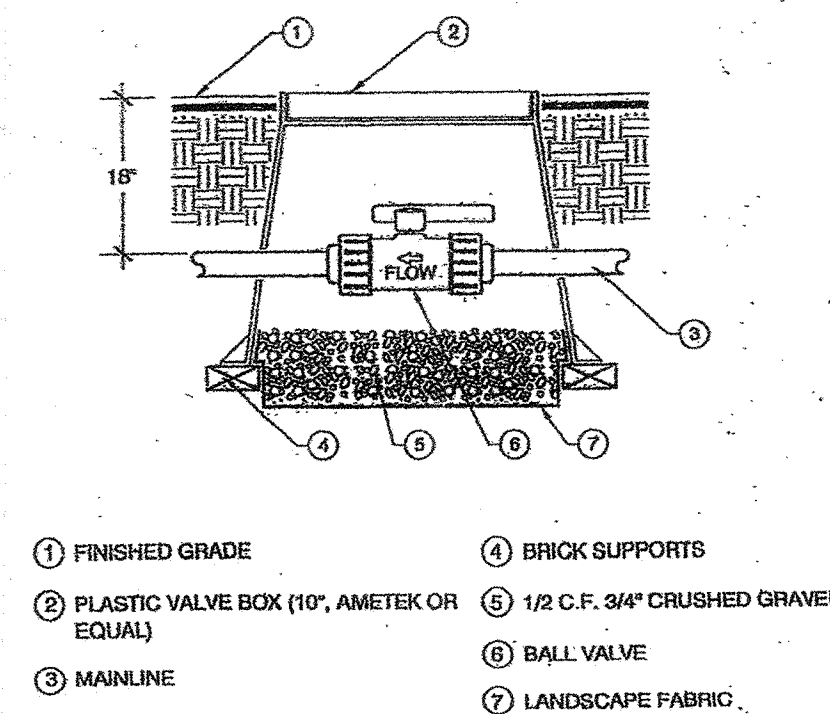
1 CONTROLLER

NO SCALE



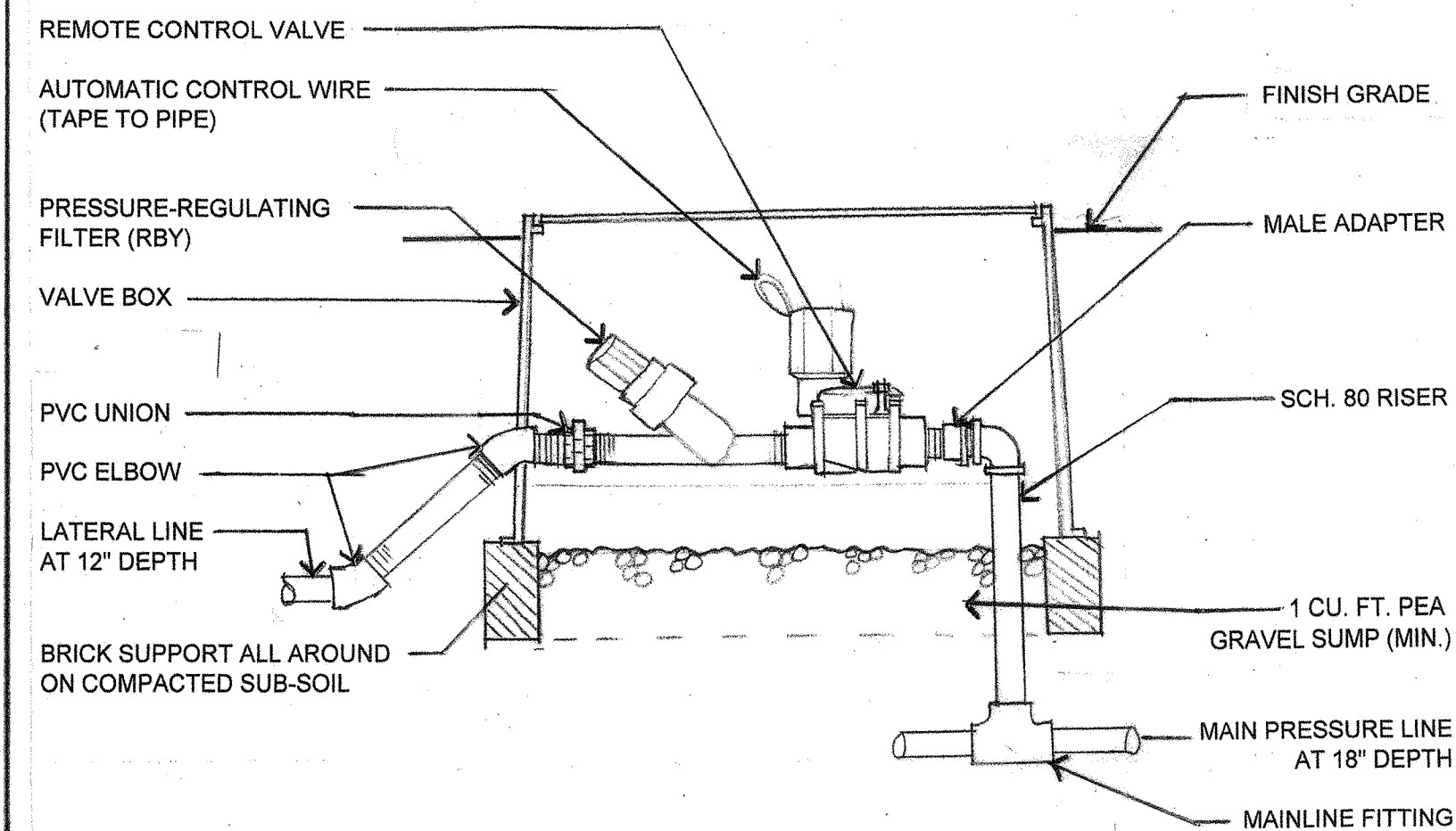
2 REDUCED PRESSURE BACKFLOW PREVENTER

NO SCALE



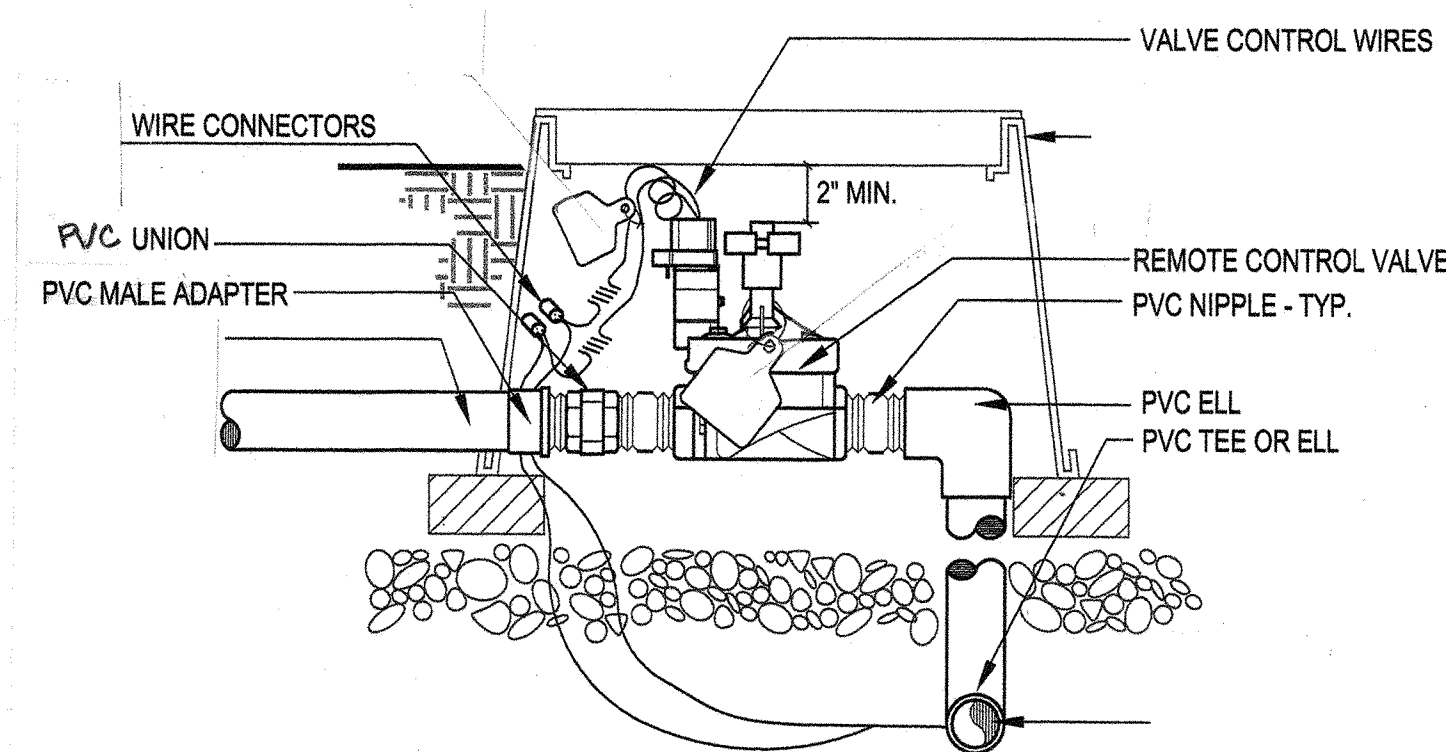
3 BALL VALVE

NO SCALE



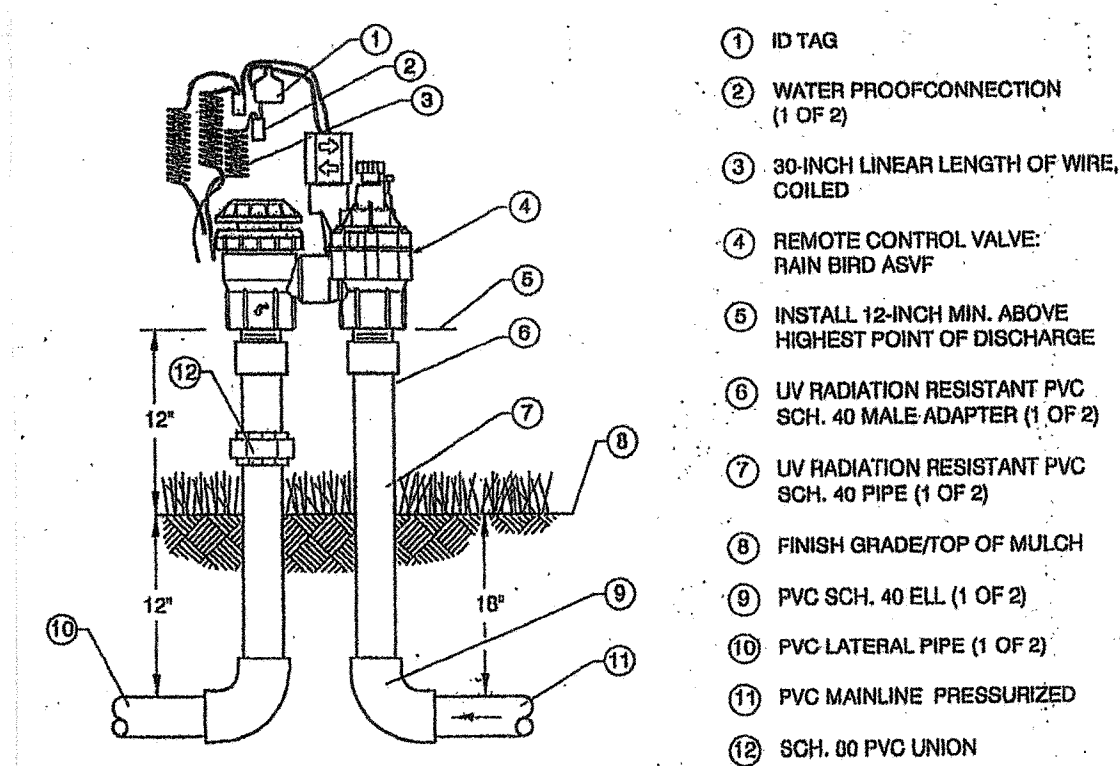
4 REMOTE CONTROL VALVE: DRIP SYSTEM

NO SCALE



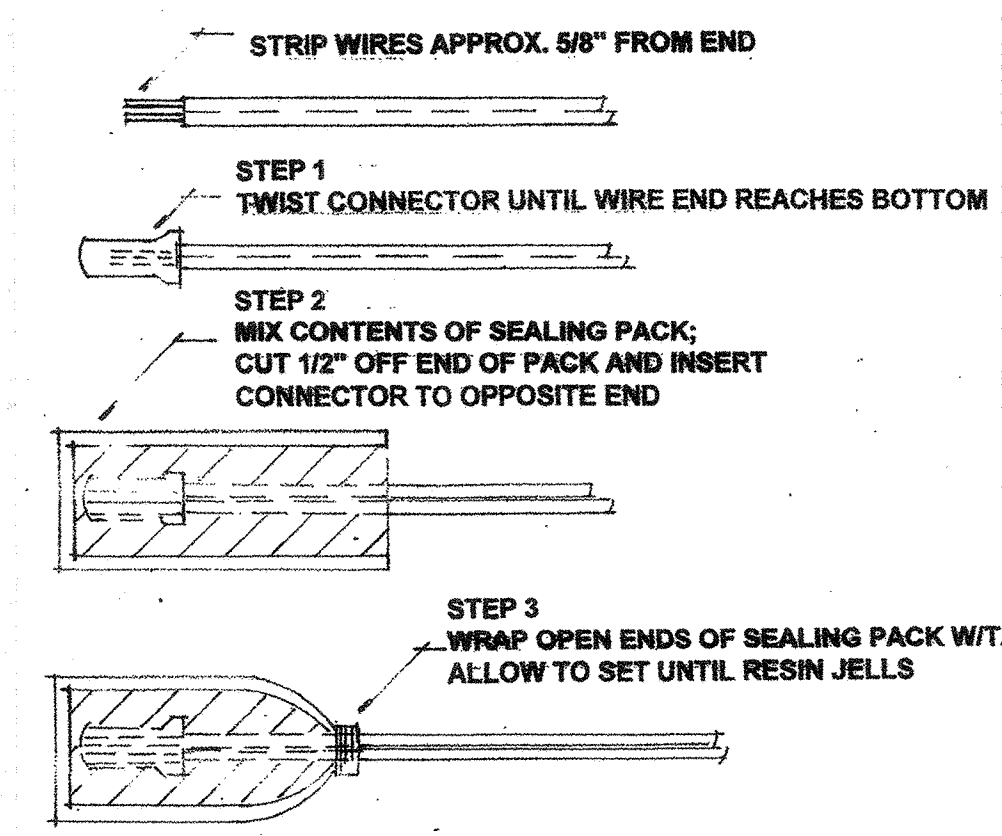
5 REMOTE CONTROL VALVE

NO SCALE



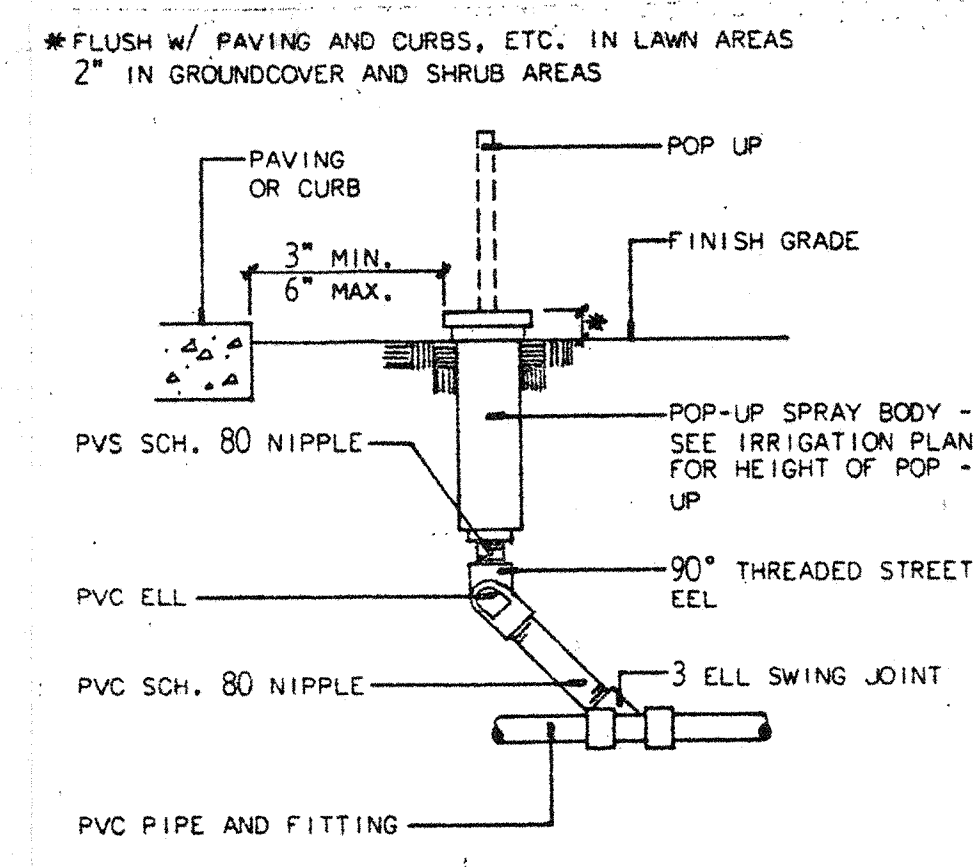
6 ANTI-SIPHON CONTROL VALVE

NO SCALE



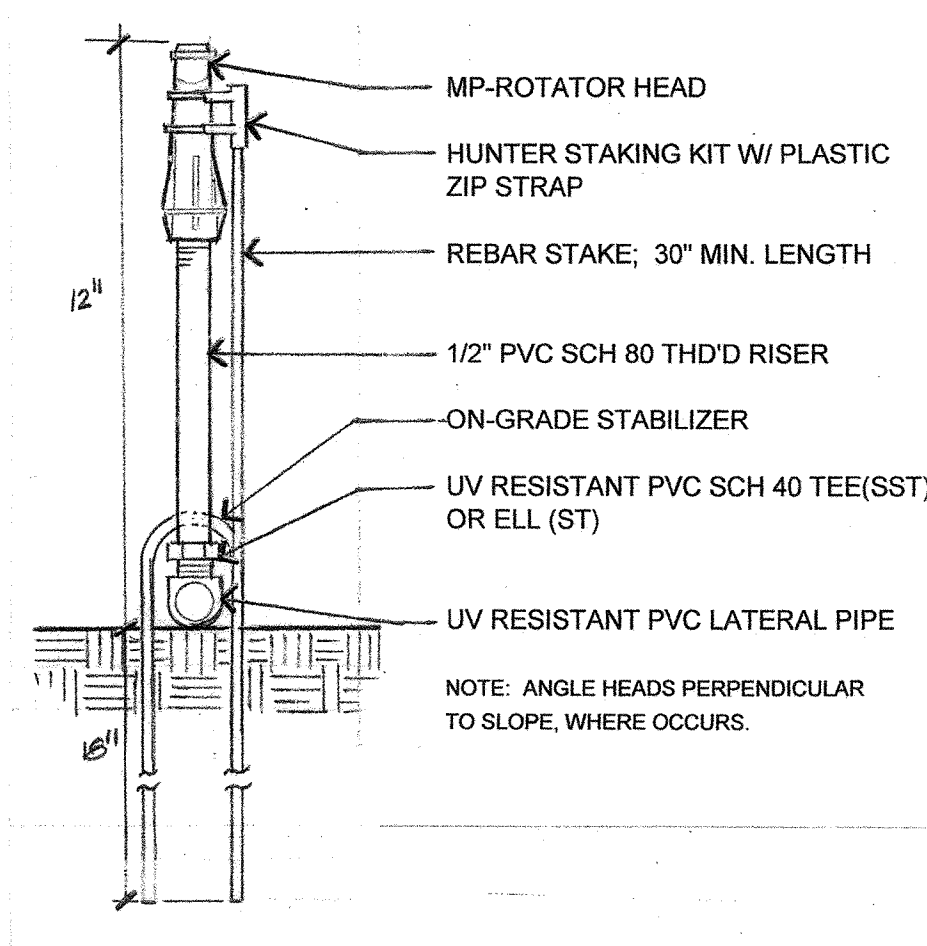
7 WIRE CONNECTORS

NO SCALE



8 POP-UP SPRAY HEAD

NO SCALE

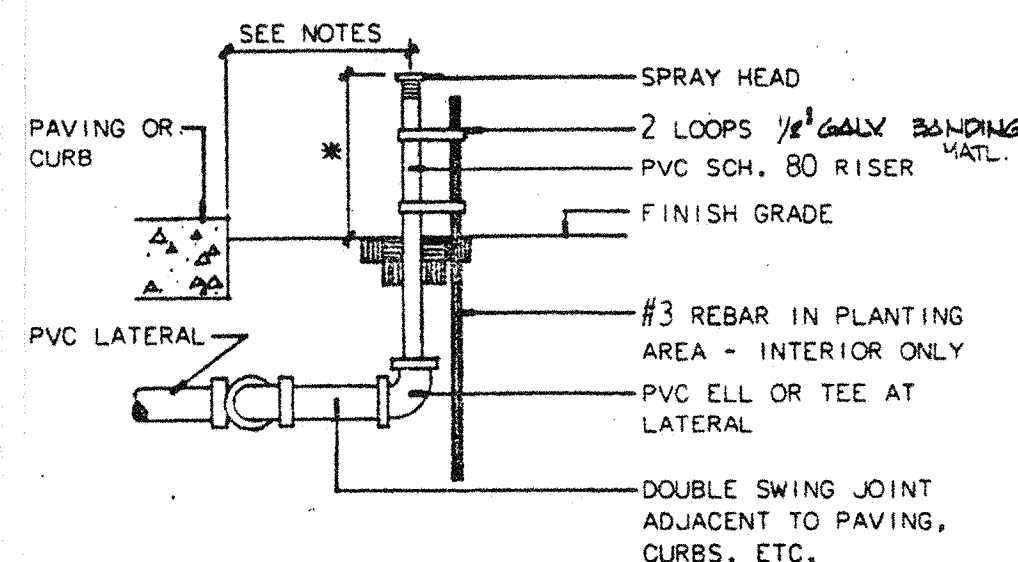


9 STAKED IRRIG. HEAD ON RISER: TEMPORARY

NO SCALE

| LANDSCAPE WATER REQUIREMENTS WORKSHEET APPENDIX "E" | | | | | | | | | |
|---|------------------|---------------|--------------|---------------------|-------------------|-----------------------|-------------------|---|--|
| CONTROLLER NO. | HYDROZONE NO. | VALVE CIRCUIT | PLANT FACTOR | HYDROZONE AREA (SF) | IRRIGATION METHOD | IRRIGATION EFFICIENCY | % TOTAL LAND AREA | ESTIMATED TOTAL WATER USE CALC. | |
| A | 1. So Side Slope | 1 | 0.4 | 437 | DRIP | 0.81 | 9% | $[(40)(0.62)] / [(0.4 \times 437) / (0.81) + 0] = 5352 \text{ GAL/YR}$ | |
| A | 2. Kitchen | 2 | 0.6 | 228 | SPRAY | 0.75 | 4% | $[(40)(0.62)] / [(0.6 \times 228) / (0.75) + 0] = 4523 \text{ GAL/YR}$ | |
| A | 3. Bubbler | 3 | 0.4 | 30 | BUBBLER | 0.75 | <1% | $[(40)(0.62)] / [(0.4 \times 30) / (0.75) + 0] = 397 \text{ GAL/YR}$ | |
| A | 4. Turf | 4 | 0.9 | 306 | SPRAY | 0.75 | 6% | $[(40)(0.62)] / [(0.9 \times 306) / (0.75) + 0] = 911 \text{ GAL/YR}$ | |
| A | 5. Color | 5 | 0.8 | 84 | SPRAY | 0.75 | <1% | $[(40)(0.62)] / [(0.8 \times 84) / (0.75) + 0] = 2222 \text{ GAL/YR}$ | |
| A | 6. Sun Front | 6 | 0.3 | 512 | DRIP | 0.81 | 10% | $[(40)(0.62)] / [(0.3 \times 512) / (0.81) + 0] = 5079 \text{ GAL/YR}$ | |
| A | 7. Shade Front | 7 | 0.3 | 1043 | DRIP | 0.81 | 21% | $[(40)(0.62)] / [(0.3 \times 1043) / (0.81) + 0] = 9580 \text{ GAL/YR}$ | |
| A | 8. Back Sun | 8 | 0.4 | 2160 | DRIP | 0.81 | 45% | $[(40)(0.62)] / [(0.4 \times 2160) / (0.81) + 0] = 2845 \text{ GAL/YR}$ | |
| A | 9. Temp | 9 | 0.3 | 265 | ROTOR | 0.75 | 4% | $[(40)(0.62)] / [(0.3 \times 265) / (0.75) + 0] = 2629 \text{ GAL/YR}$ | |
| | | | | | | | 100% | 33,338 GAL/YR | |

| DIMENSION 表 | |
|----------------------|--------------------------------------|
| 1. 2" MIN., 3" MAX. | ADJACENT TO PAVING, WALKS, HEADERS |
| 2. FLUSH | AT CORNERS OF PAVING, WALKS, ETC. |
| 3. 8" MIN., 12" MAX. | IN PLANTING AREA INTERIORS |
| 4. FLUSH w/ TOP | ADJACENT TO PARKING AREAS AND PAVING |



NOTES:

1. HEAD SHALL BE INSTALLED MIN. 6" AND MAX. 12" FROM EDGE OF PAVING AND CURBS, ETC.

10 SPRAY HEAD

NO SCALE

| | |
|--------------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESSES: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| BUSINESS COMPLETING WORKSHEET: | TODD FRY LANDSCAPE ARCHITECT 858-459-8005 |
| PHONE NUMBER: | |

MAXIMUM ALLOWABLE & ESTIMATED TOTAL WATER USAGE

| MAWA: | Water Budget: | MAWA |
|------------------------------------|---|------------------------|
| Maximum Allowable Water Allocation | MAWA Water Budget = $(ETO)(0.62) [(ETAF)(LA) + (1-ETAF)(SLA)]$ For residential landscape areas = $(ETO)(0.62) [(0.55)(LA) + (0.45)(SLA)]$ $(40)(0.62) [(0.55)(4439) + (0.45)(0)] =$ $(40)(0.62) \times (2441 + 0) =$ $24.8 \times 2441 = 60,637 \text{ gallons/year}$ | 60,637 gallons/year |
| ETWU: | Water Budget: | ETWU |
| Estimated Total Water Usage | ETWU Water Budget = $(ETO)(0.62) [ETAF \times LA + (1-ETAF \times SLA)] =$ $(40)(0.62) [(0.54)(4439) + 0] =$ $(24.8) \times (2397) = 59,477 \text{ gallons/year}$ | 59,477 gallons/year |

NOTE: Water budget does not include areas of property that will remain undisturbed. Areas that have not been irrigated will remain non-irrigated and are not included in these calculations.

Date: DECEMBER 3, 2019 Revision

Job No.

Drawn By JP

Checked By TF

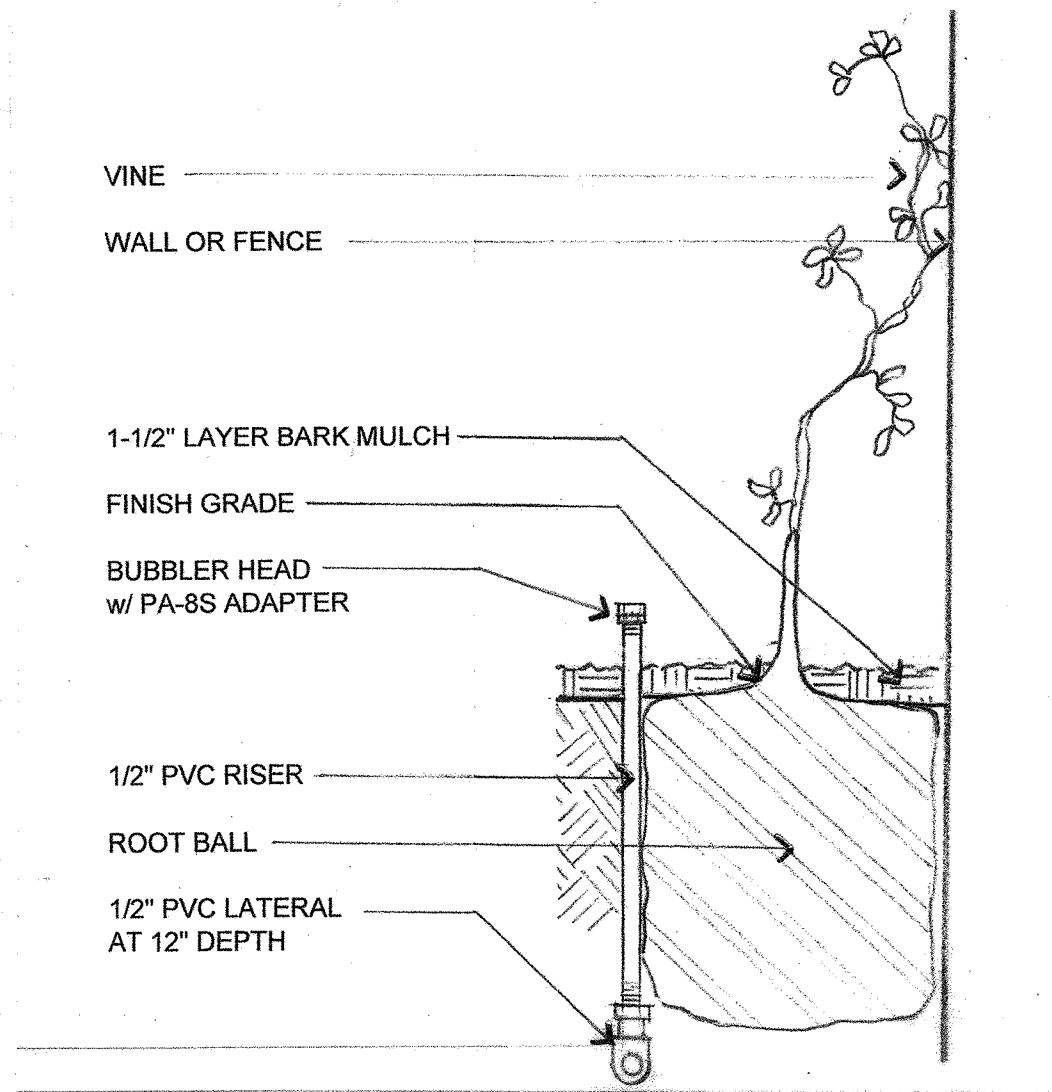
NEWMAN RESIDENCE
7742 WHITEFIELD PLACE
LA JOLLA, CA

IRRIGATION DETAILS AND CALCS

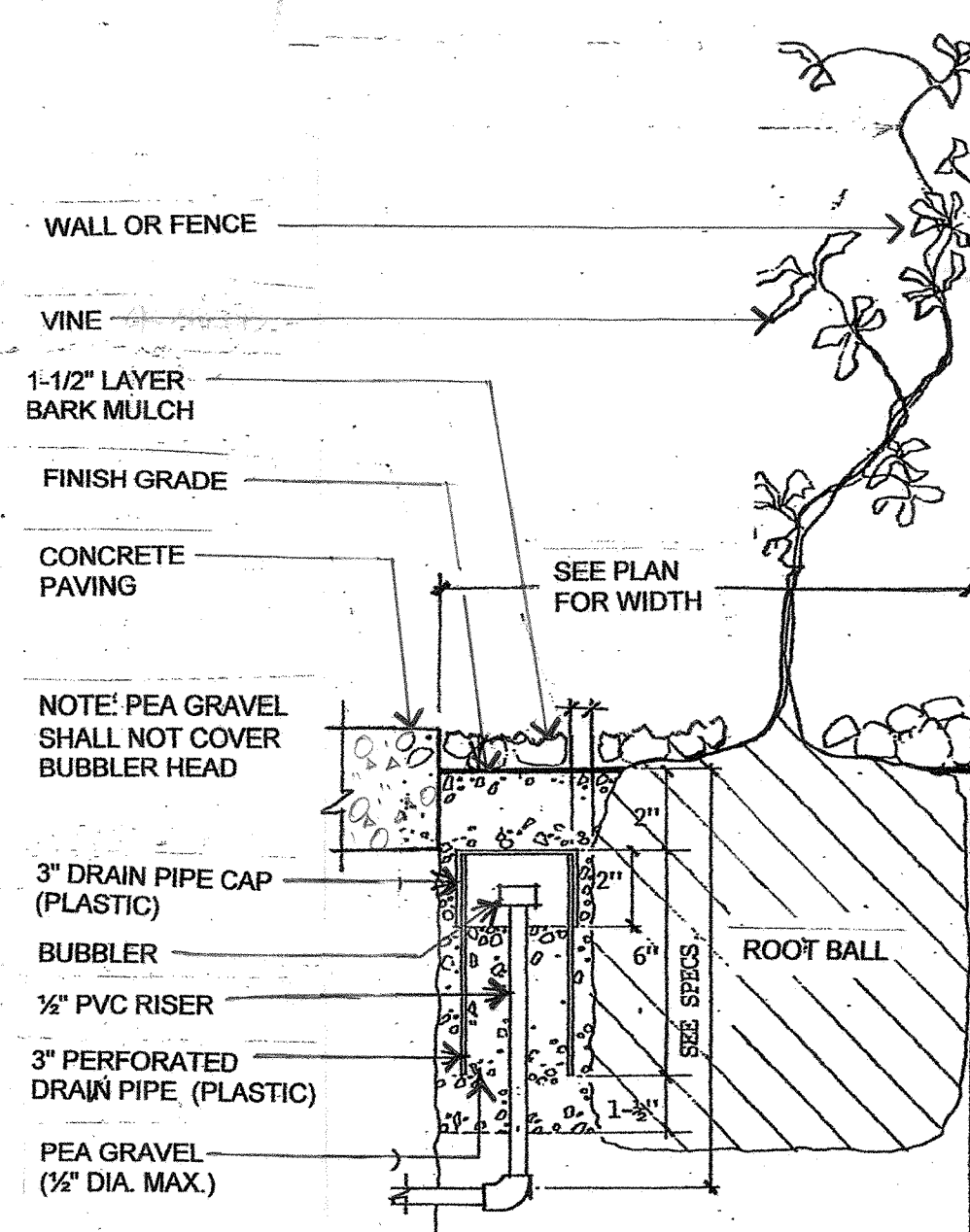
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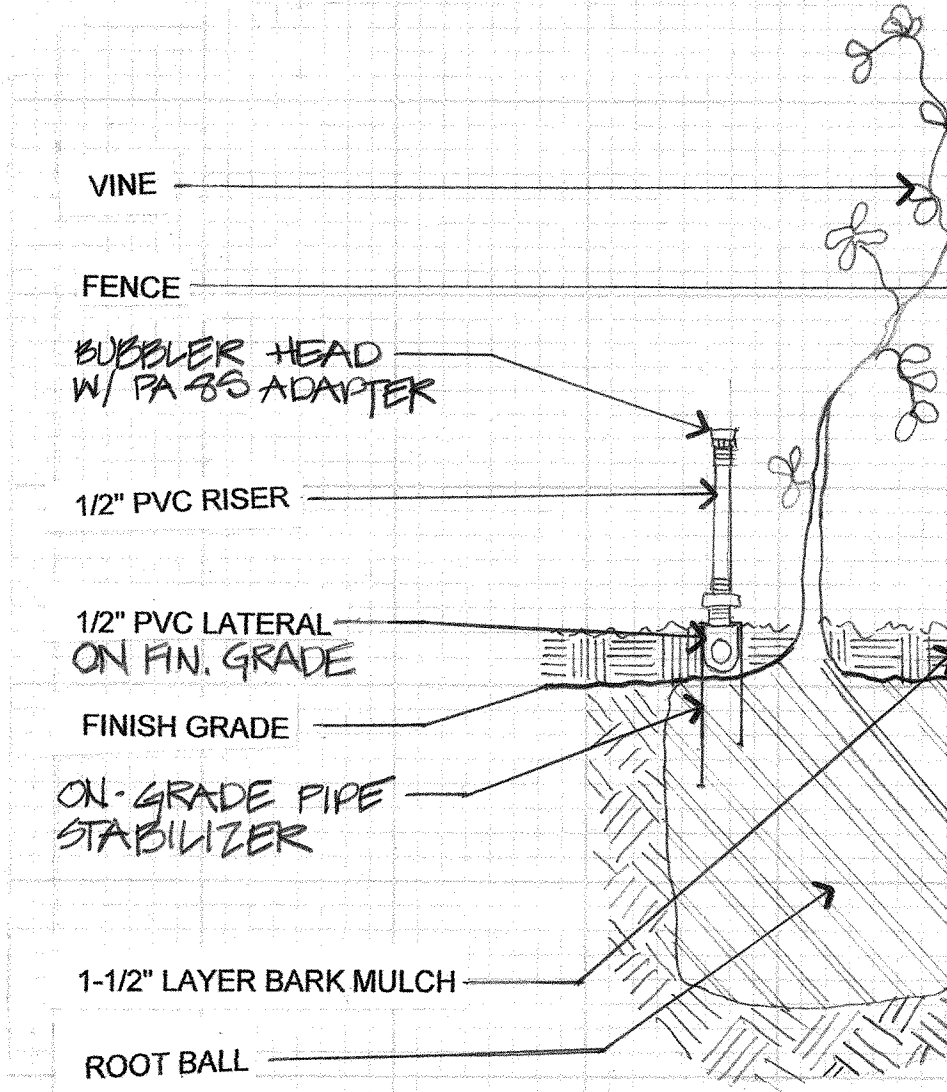
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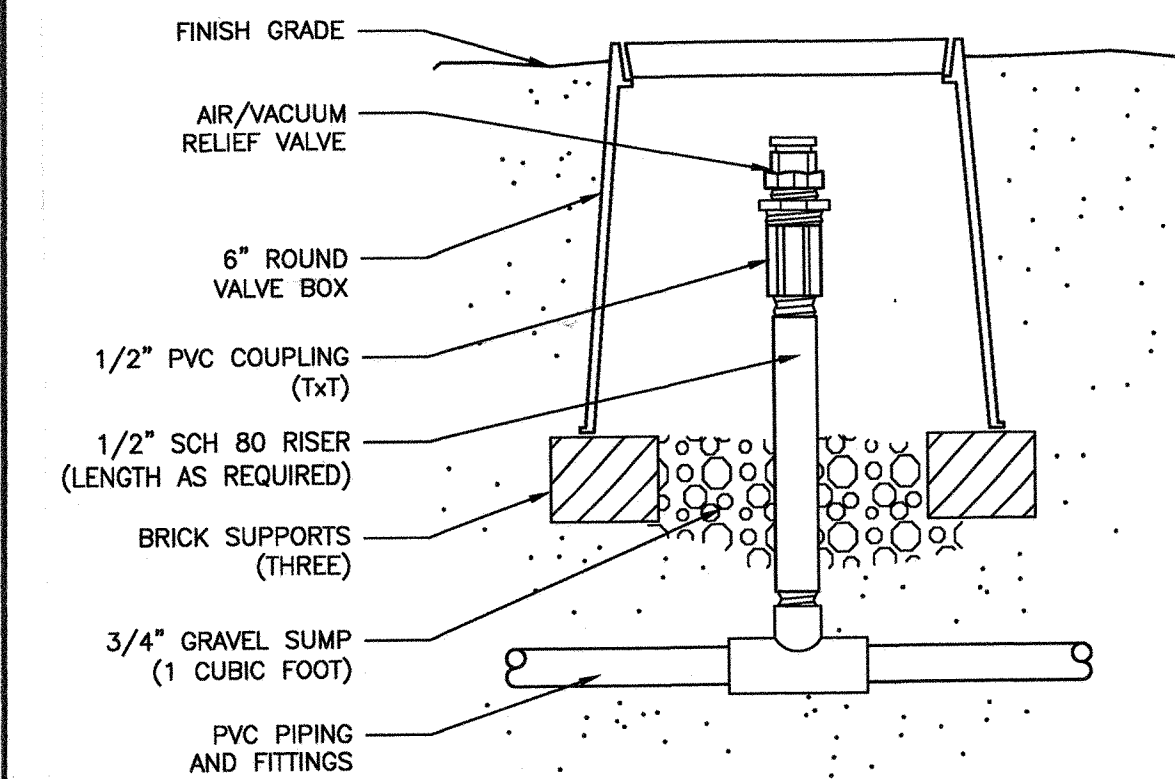
11 VINE BUBBLER ON RISER NO SCALE



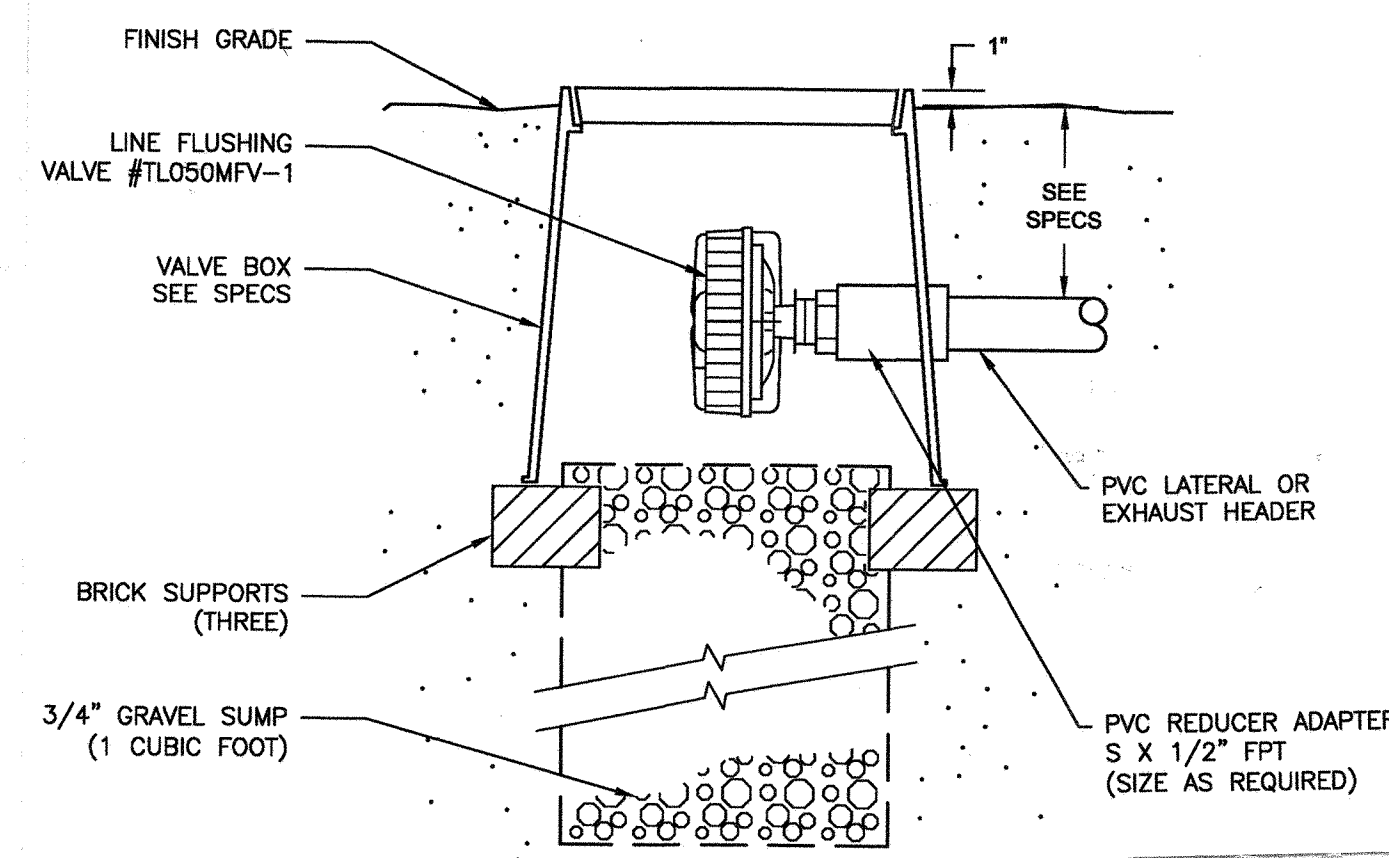
12 SUB-SURFACE VINE BUBBLER NO SCALE



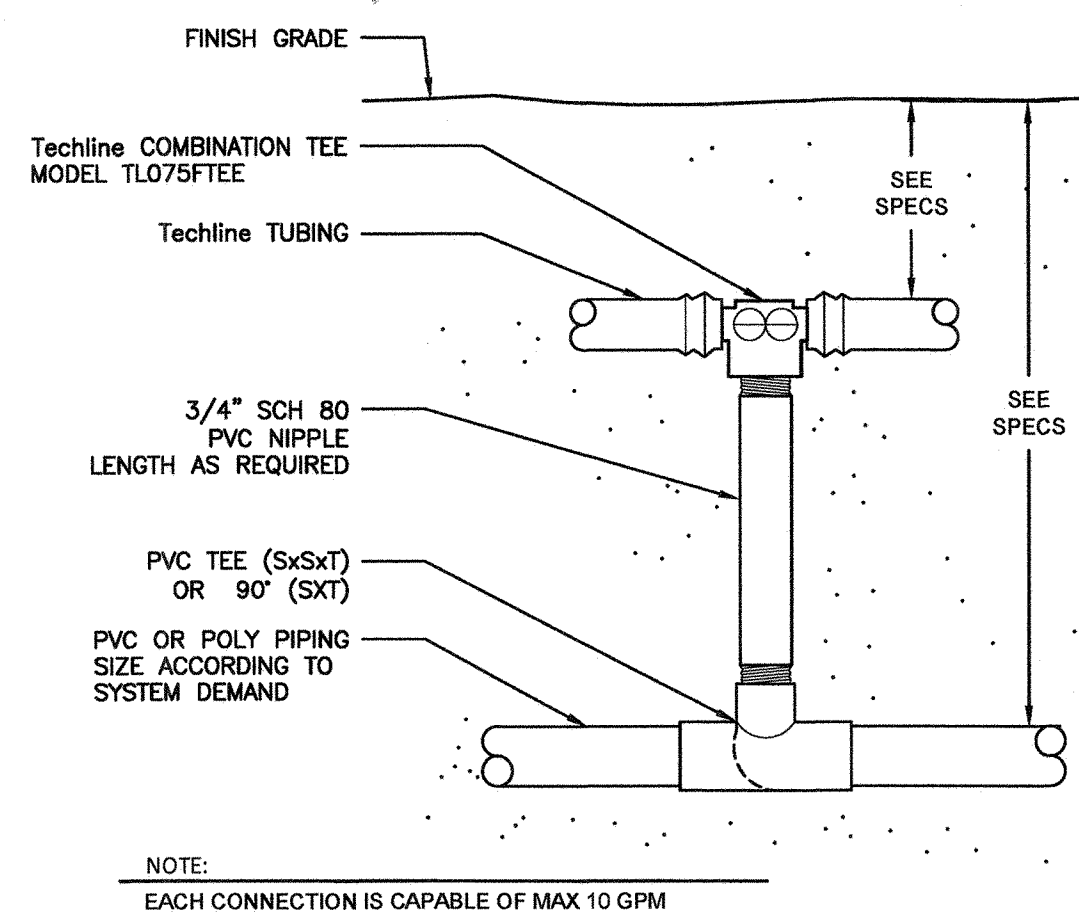
13 ON-GRADE BUBBLER FOR (E) TREE NO SCALE



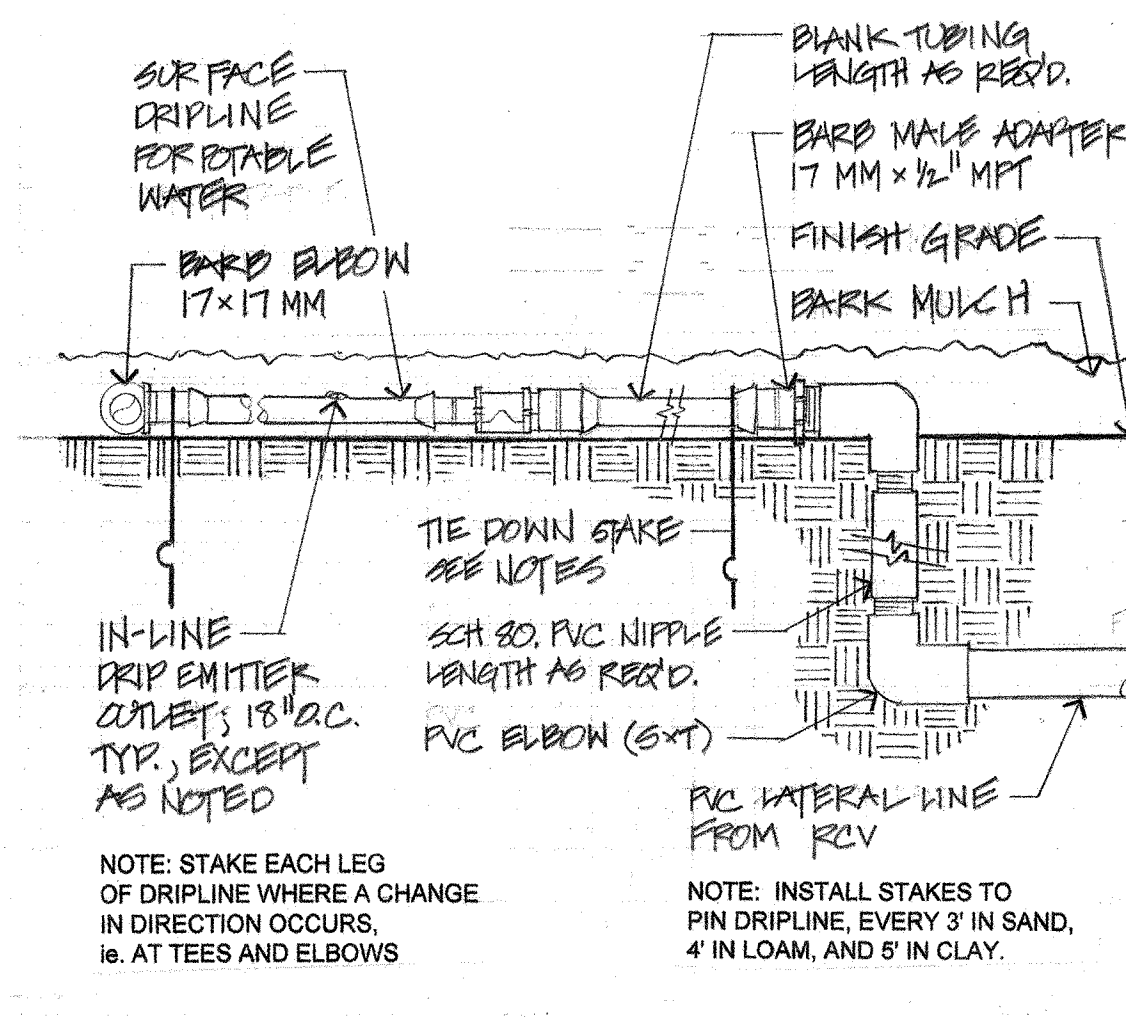
14 AIR/VACUUM RELIEF (PLUMBED TO PVC) NO SCALE



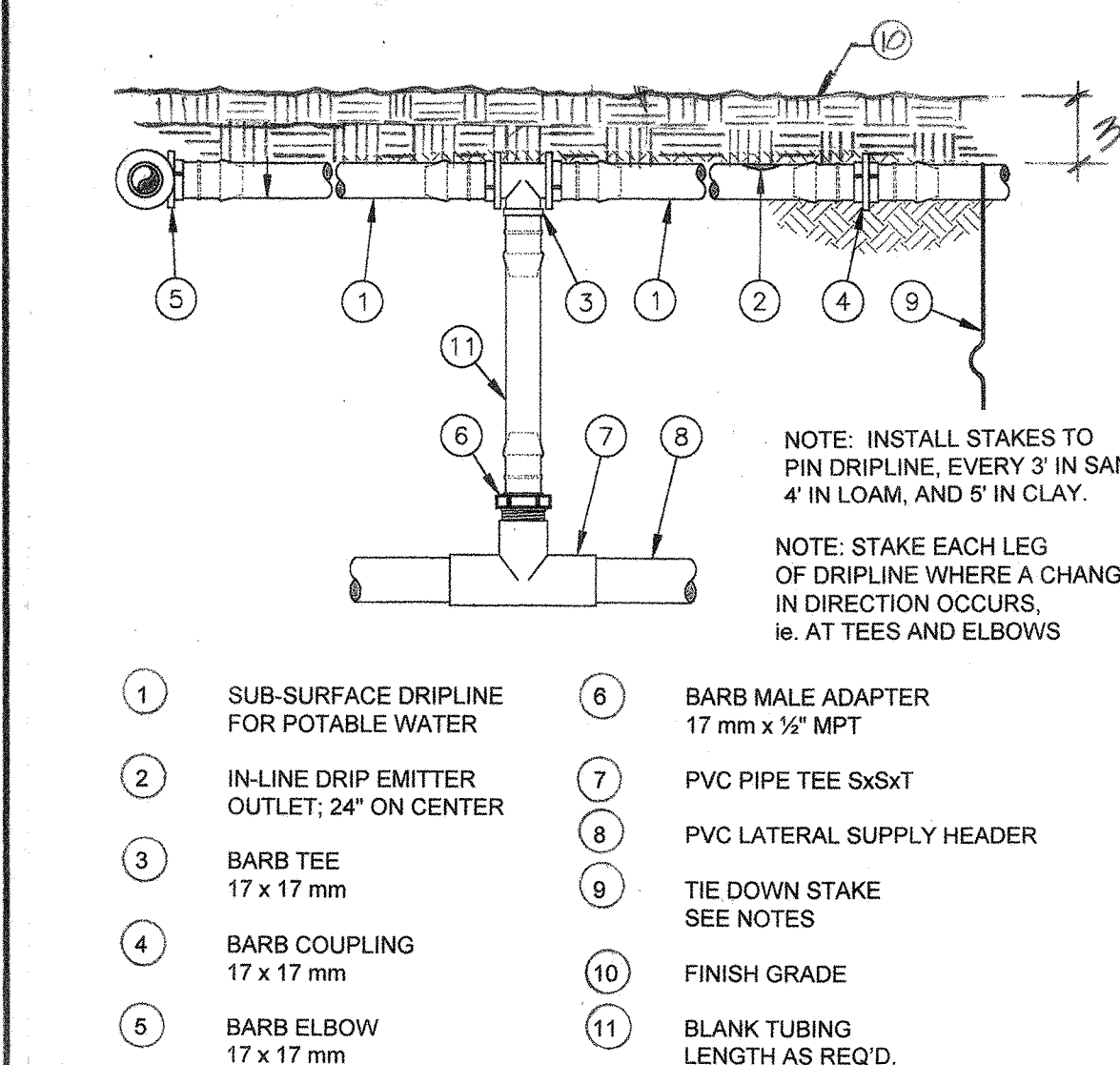
15 LINE FLUSHING VALVE (PLUMBED TO PVC) NO SCALE



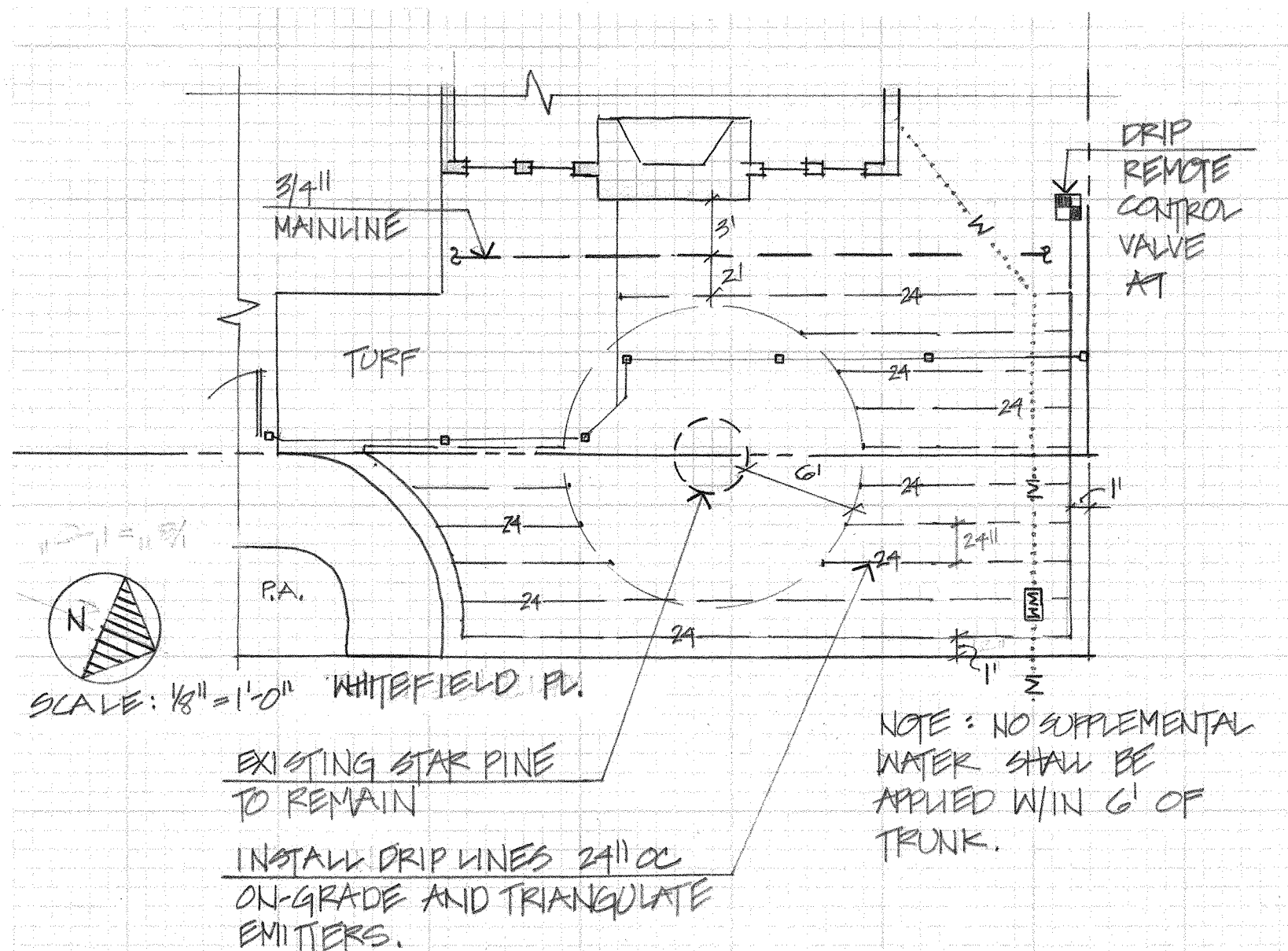
16 TECHLINE START CONNECTION (PVC RISER) NO SCALE



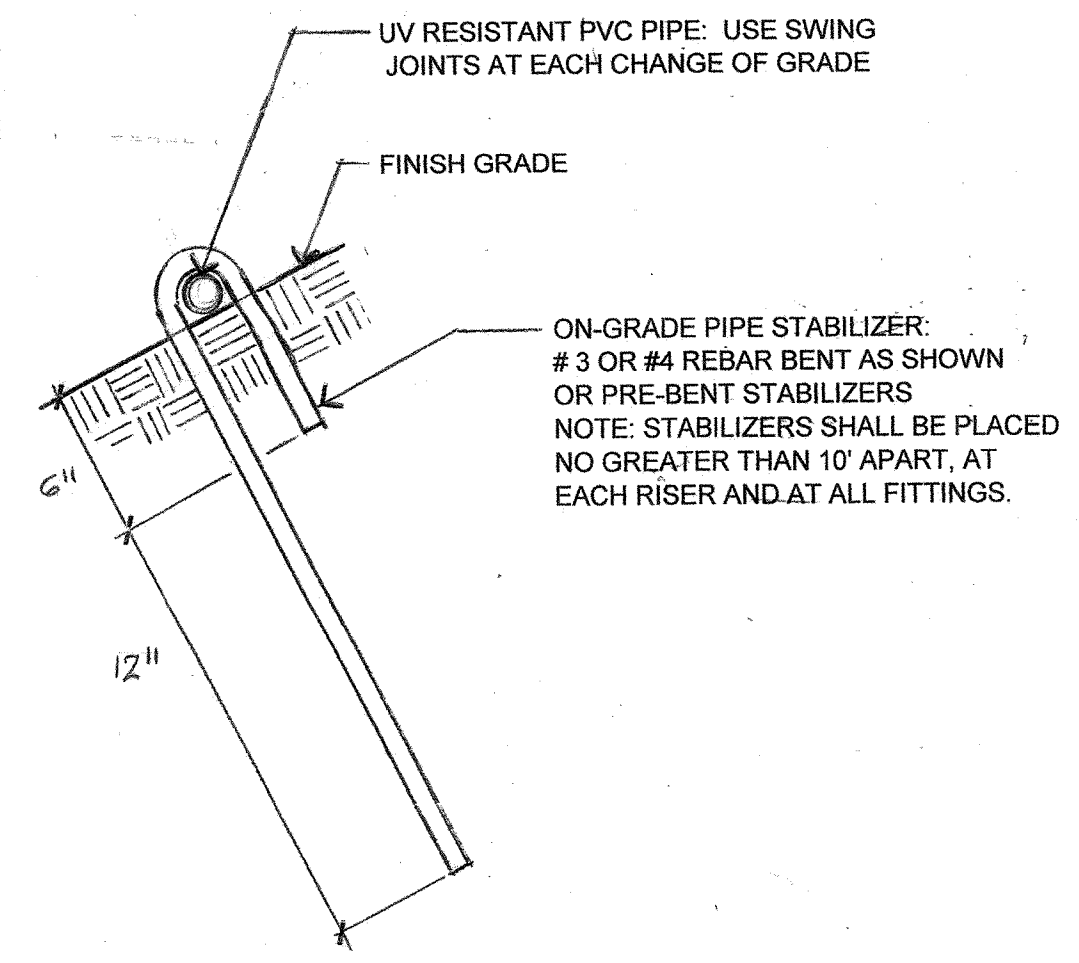
17 ON-GRADE DRIPLINE FOR (E) TREE IRRIG. NO SCALE



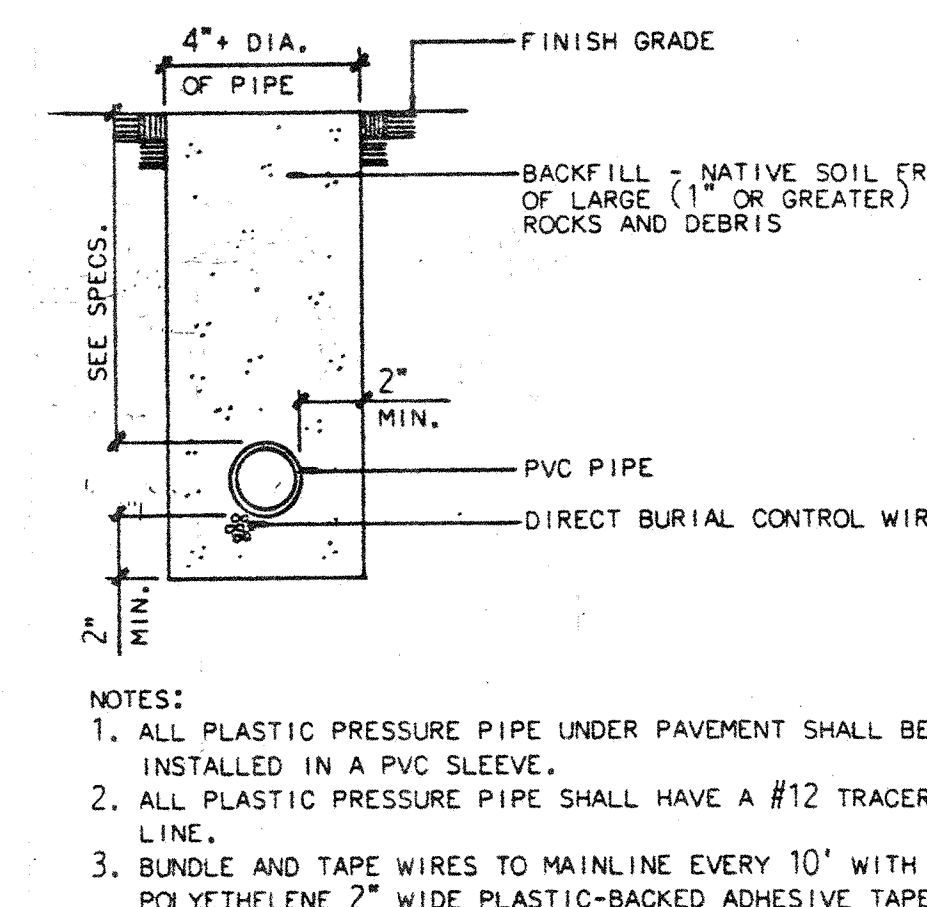
18 SUB-SURFACE DRIPLINE RISER ASSEMBLY NO SCALE



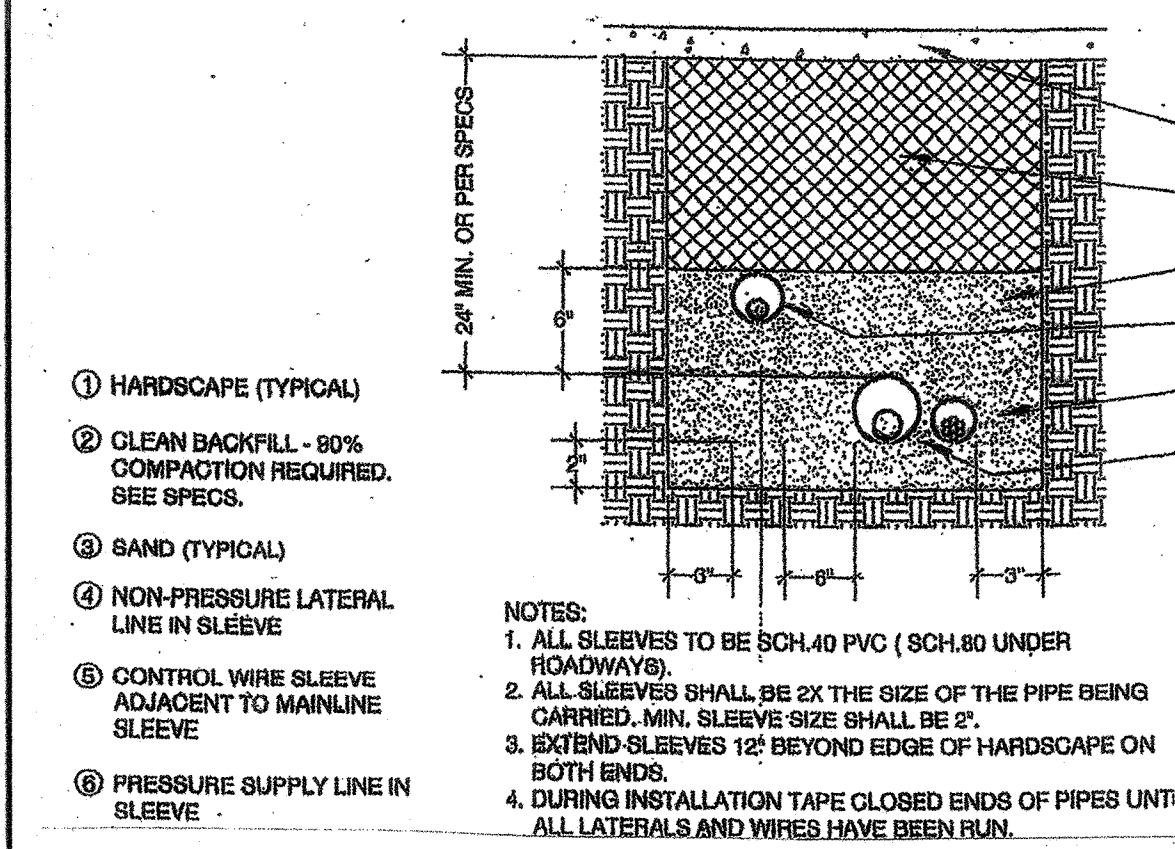
19 DEEP WATERING AT (E) TREE DETAIL NO SCALE



20 ON-GRADE PIPE STABILIZATION ON SLOPES: TEMPORARY NO SCALE



21 TRENCHING NO SCALE



22 SLEEVING NO SCALE

TODD FRY LANDSCAPE ARCHITECT A.S.L.A.
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Date: DECEMBER 3, 2011
Job No. JP
Drawn By: JP
Checked By: TF

NEWMAN RESIDENCE
7742 WHITEFIELD PLACE
LA JOLLA, CA
IRRIGATION DETAILS

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Newman
Residence

Coastal Development Permit

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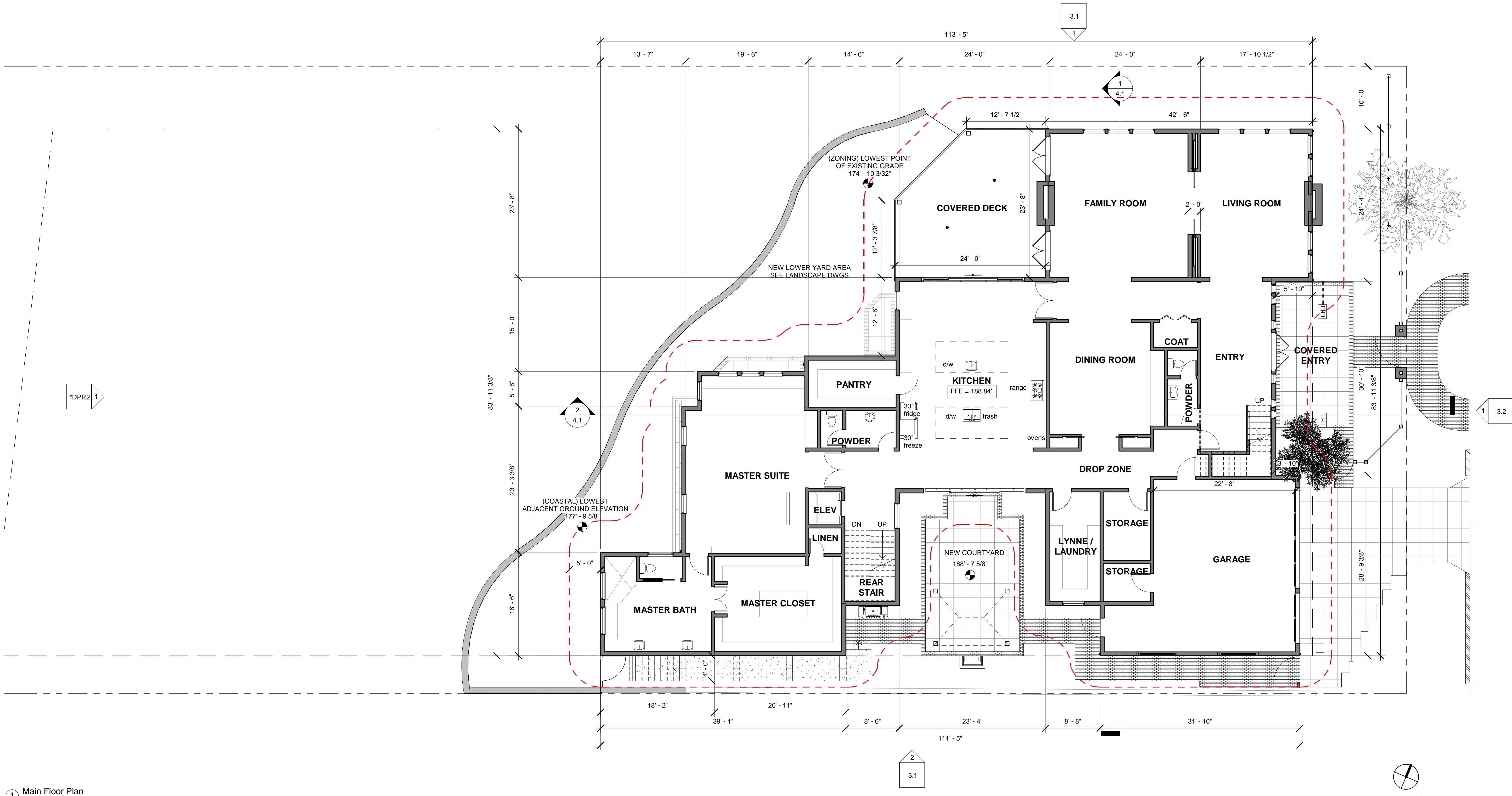
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|-----------------|--------------|
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| Project No. | |
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| Sheet | |
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Main Floor Plan

2.1

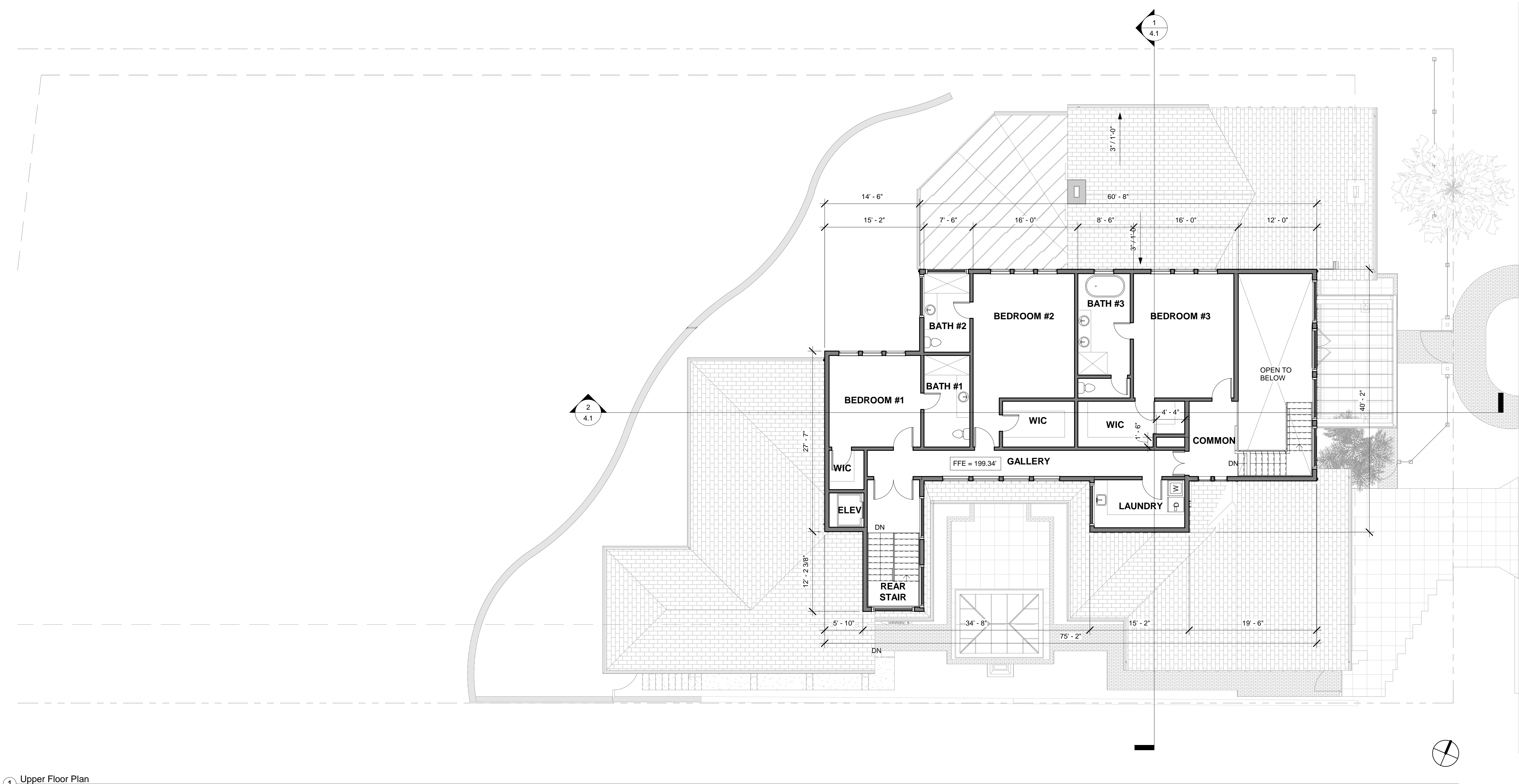
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1 Main Floor Plan
1/8" = 1'-0"



| LEGEND | |
|--------|--|
| --- | PROPERTY LINE |
| --- | SETBACK LINE |
| --- | LOW POINT BOUNDARY OFFSET 5' FROM BUILDING |
| ■ | (N) WALLS |
| ■ | (N) SITE / RETAINING WALLS |
| □ | EXISTING SITE / RETAINING WALLS TO REMAIN |

| DISCRETIONARY PERMIT SUMMARY | |
|------------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
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| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
| PTS: | 607808 |
| CDP DATE: | MAY 11, 2018 |
| RESUBMITTAL: | JULY 13, 2018 |
| SHEET: | 14 OF 20 |



1 Upper Floor Plan
1/8" = 1'-0"

| LEGEND | |
|--------|--|
| | PROPERTY LINE |
| | SETBACK LINE |
| | LOW POINT BOUNDARY OFFSET 5' FROM BUILDING |
| | (N) WALLS |
| | (N) SITE / RETAINING WALLS |
| | EXISTING SITE / RETAINING WALLS TO REMAIN |

| DISCRETIONARY PERMIT SUMMARY | |
|------------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
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| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
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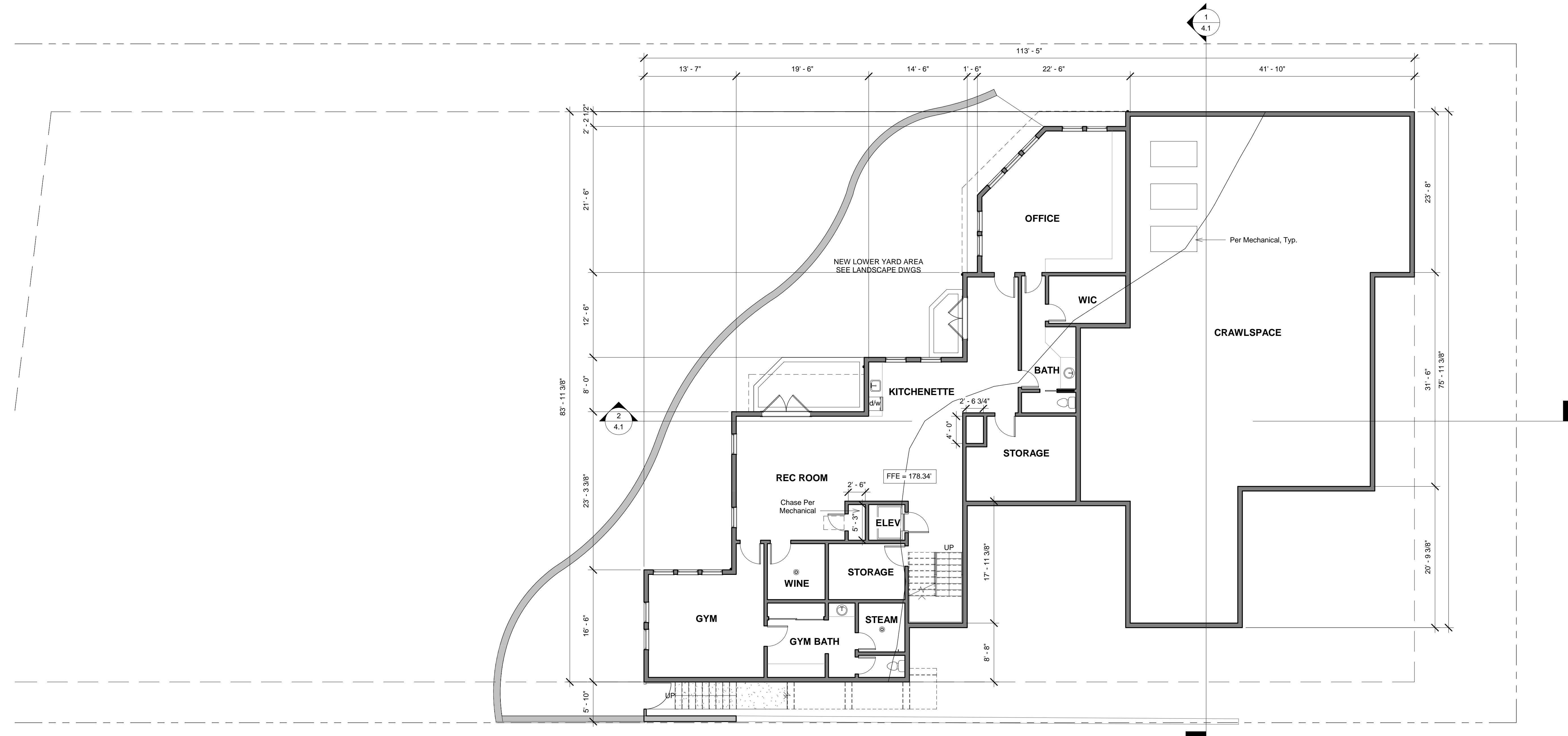
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| Scale | See Drawings |

Upper Floor
Plan

2.2

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1 Lower Floor Plan
1/8" = 1'-0"

| LEGEND | |
|--------|--|
| | PROPERTY LINE |
| | SETBACK LINE |
| | LOW POINT BOUNDARY OFFSET 5' FROM BUILDING |
| | (N) WALLS |
| | (N) SITE / RETAINING WALLS |
| | EXISTING SITE / RETAINING WALLS TO REMAIN |

| DISCRETIONARY PERMIT SUMMARY | |
|------------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
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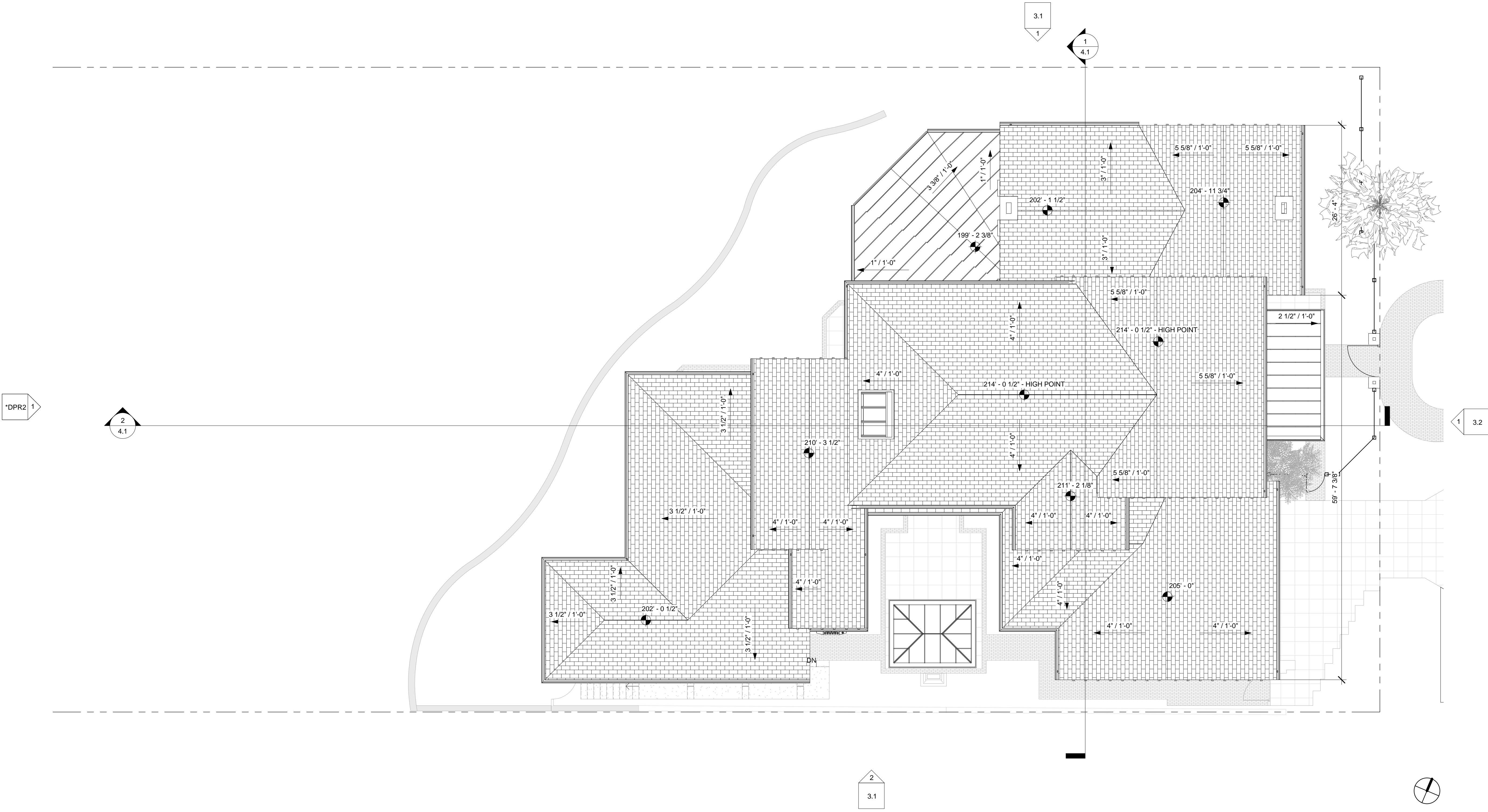
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Lower Floor
Plan

2.3

1 Roof Plan
1/8" = 1'-0"



2
3.1

| LEGEND | |
|--------|--------------------------|
| | PROPERTY LINE |
| | GUTTERS |
| | DOWNSPOUTS |
| | SOLAR TILE ROOF |
| | STANDING SEAM METAL ROOF |

| DISCRETIONARY PERMIT SUMMARY | |
|------------------------------|--|
| PROJECT NAME: | NEWMAN RESIDENCE |
| PROJECT ADDRESS: | 7742 WHITEFIELD PLACE LA JOLLA, CA 92037 |
| APN: | 350-251-03-00 |
| OWNER: | JAMES & LYNNE NEWMAN |
| ARCHITECT: | ALCORN & BENTON ARCHITECTS 7757 GIRARD AVENUE LA JOLLA, CA 92037 858.459.0805 lindsay@alcornbenton.com |
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| CDP DATE: | MAY 11, 2018 |
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Roof Plan

2.4

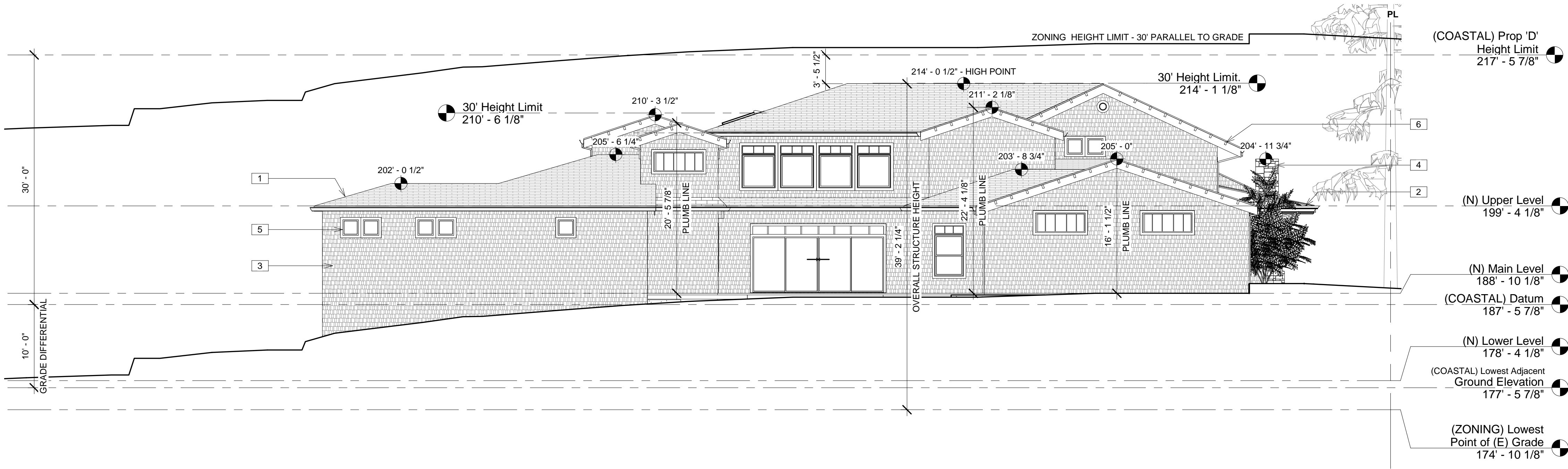
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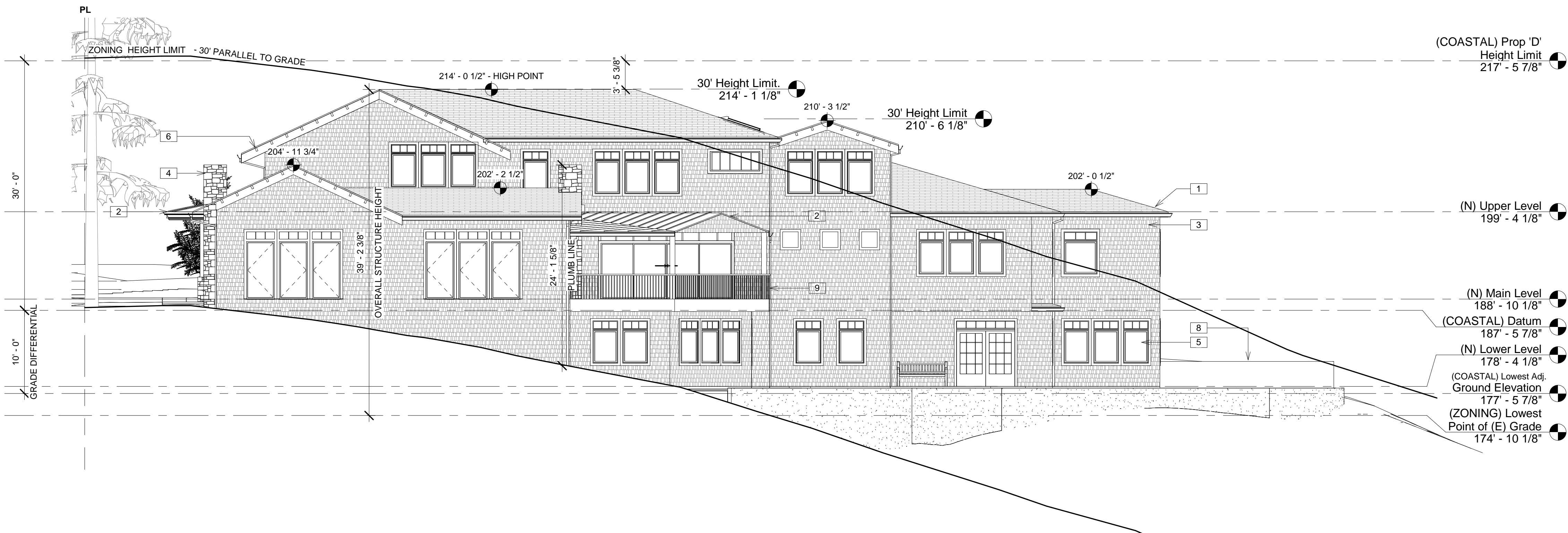
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| Scale | See Drawings |

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2 South Elevation
1/8" = 1'-0"



1 North Elevation
1/8" = 1'-0"

KEY

- 1 TESLA SOLAR ROOF TILES.
COLOR: SLATE
- 2 STANDING SEAM METAL ROOF
- 3 CONCRETE SHAKE SIDING
- 4 NATURAL STONE
- 5 ALUMINIUM CLAD WINDOWS & DOORS
KYNAR FINISH
- 6 EXPOSED ROOF RAFTERS
- 7 (E) RETANING WALL TO REMAIN
- 8 (N) RETANING WALL
- 9 PAINTED WROUGHT IRON GUARDRAIL

NOTES

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG 5-4.
2. A PRE-CONSTRUCTION INSPECTION **IS NOT** REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING GREATER THAN 1 FOOT FROM THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). A PRE-CONSTRUCTION MEETING IS TO BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTION CAN BE SCHEDULED. CALL (858) 492-5070, IF YOU HAVE ANY QUESTIONS PERTAINING TO THE PRE-CONSTRUCTION INSPECTION.

DISCRETIONARY PERMIT SUMMARY

PROJECT NAME: NEWMAN RESIDENCE
PROJECT ADDRESS: 7742 WHITEFIELD PLACE
LA JOLLA, CA 92037
APN: 350-251-03-00
OWNER: JAMES & LYNNE NEWMAN
ARCHITECT: ALCORN & BENTON ARCHITECTS
7757 GIRARD AVENUE
LA JOLLA, CA 92037
858.459.0805
lindsay@alcornbenton.com
PTS: 607808
CDP DATE: MAY 11, 2018
RESUBMITTAL: JULY 13, 2018

SHEET: 18 OF 20

Alcorn & Benton
ARCHITECTS

7757 Girard Avenue, La Jolla, California, 92037
P.858.459.0805
F.858.459.1350

Newman
Residence
Coastal Development Permit

7742 Whitefield Pl
La Jolla, CA 92037

Date 4/19/2019
Project No.
Design/ Drawing JLA/PFB
Sheet
Scale See Drawings

North & South
Elevations

3.1

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| | |
|-----------------|--------------|
| Date | 4/19/2019 |
| Project No. | |
| Design/ Drawing | JLA/PFB |
| Sheet | |
| Scale | See Drawings |

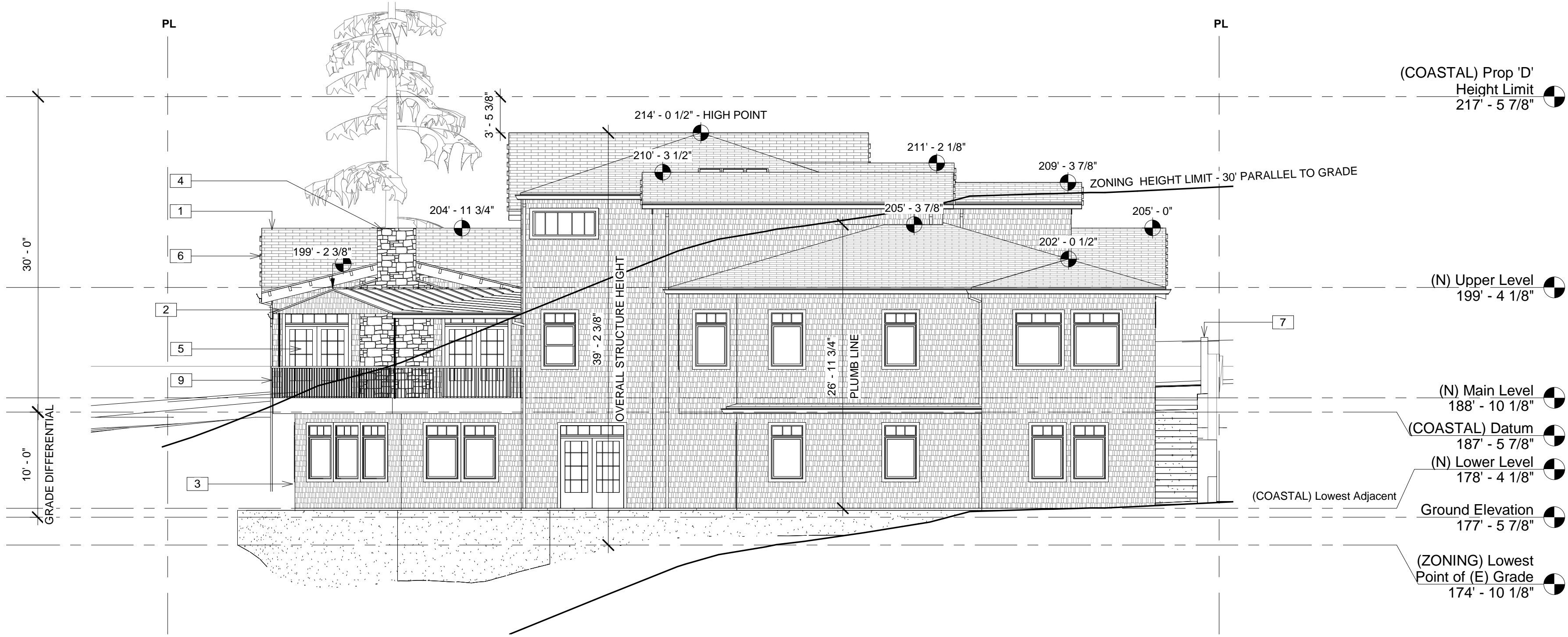
East & West
Elevations

3.2

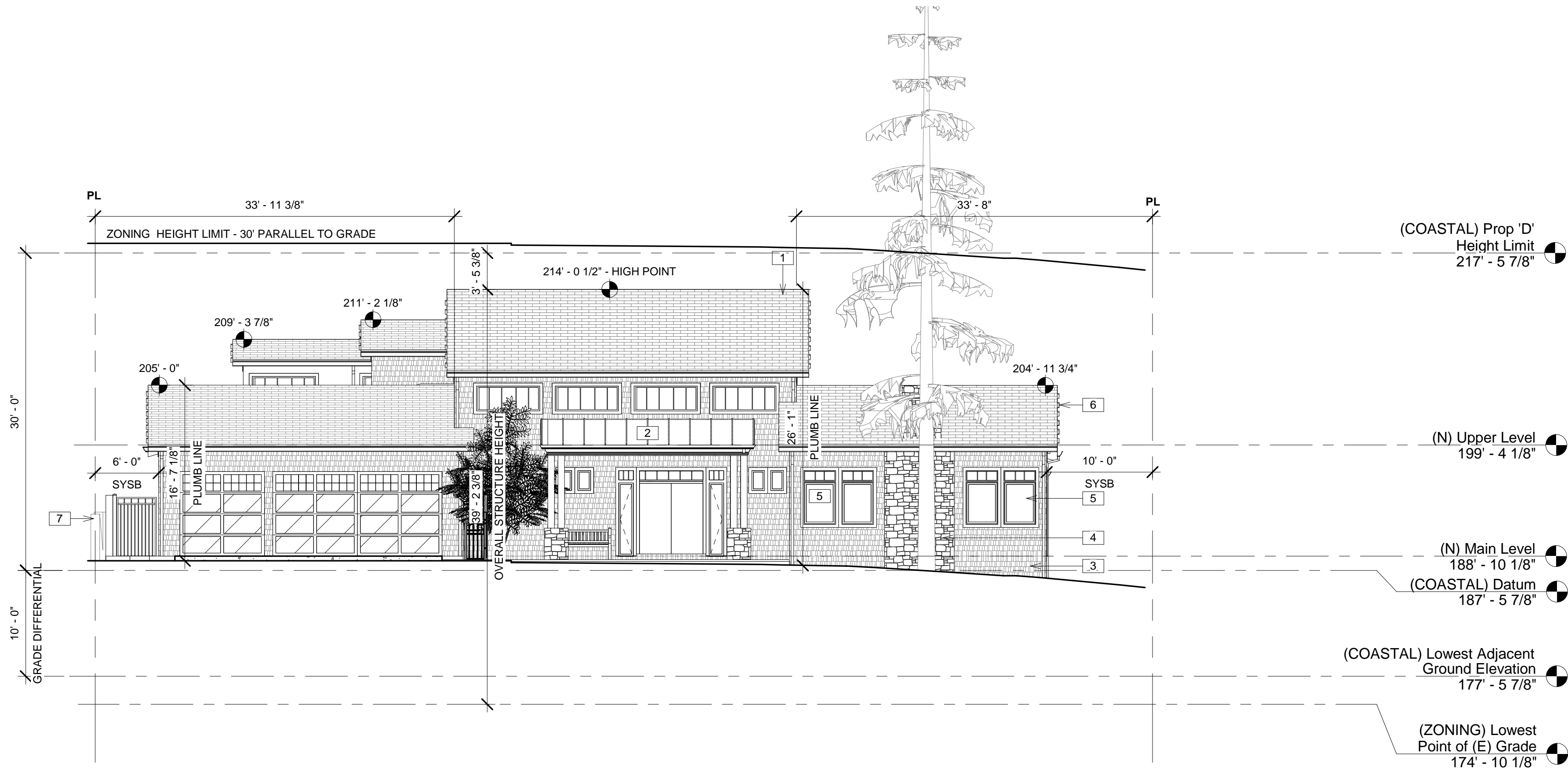
| KEY | |
|-----|--|
| 1 | TESLA SOLAR ROOF TILES. COLOR: SLATE |
| 2 | STANDING SEAM METAL ROOF |
| 3 | CONCRETE SHAKE SIDING |
| 4 | NATURAL STONE |
| 5 | ALUMINIUM CLAD WINDOWS & DOORS KYNAR FINISH |
| 6 | EXPOSED ROOF RAFTERS |
| 7 | (E) RETANING WALL TO REMAIN |
| 8 | (N) RETANING WALL |
| 9 | PAINTED WROUGHT IRON GUARDRAIL |

| NOTES | |
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| CDP DATE: | MAY 11, 2018 |
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| SHEET: | 19 OF 20 |



2 West Elevation
1/8" = 1'-0"



1 East Elevation
1/8" = 1'-0"

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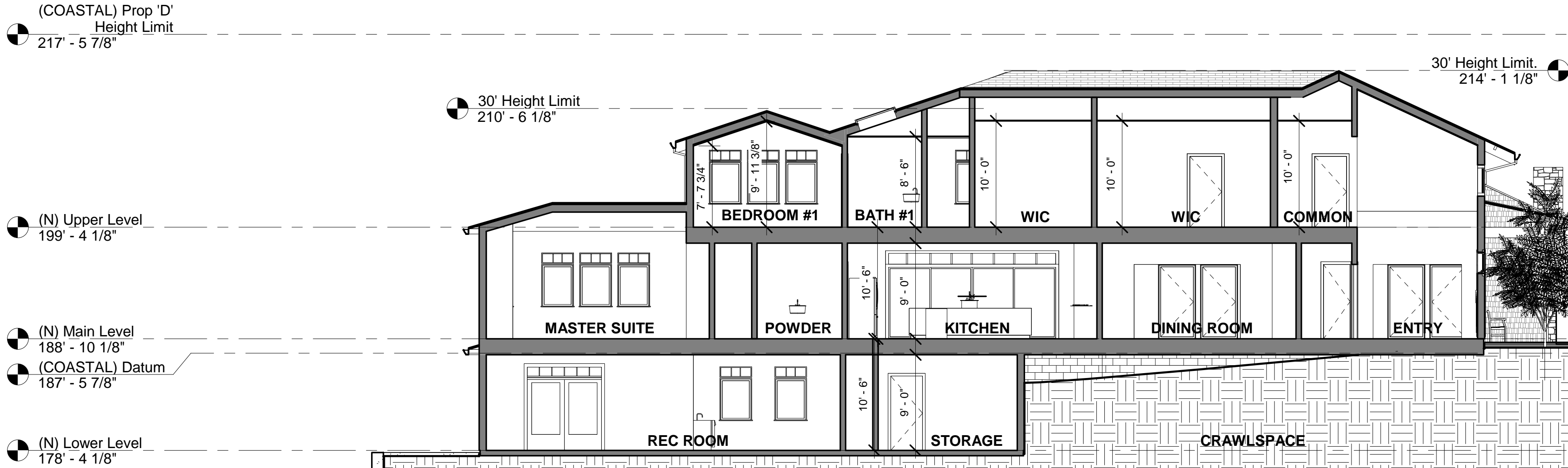
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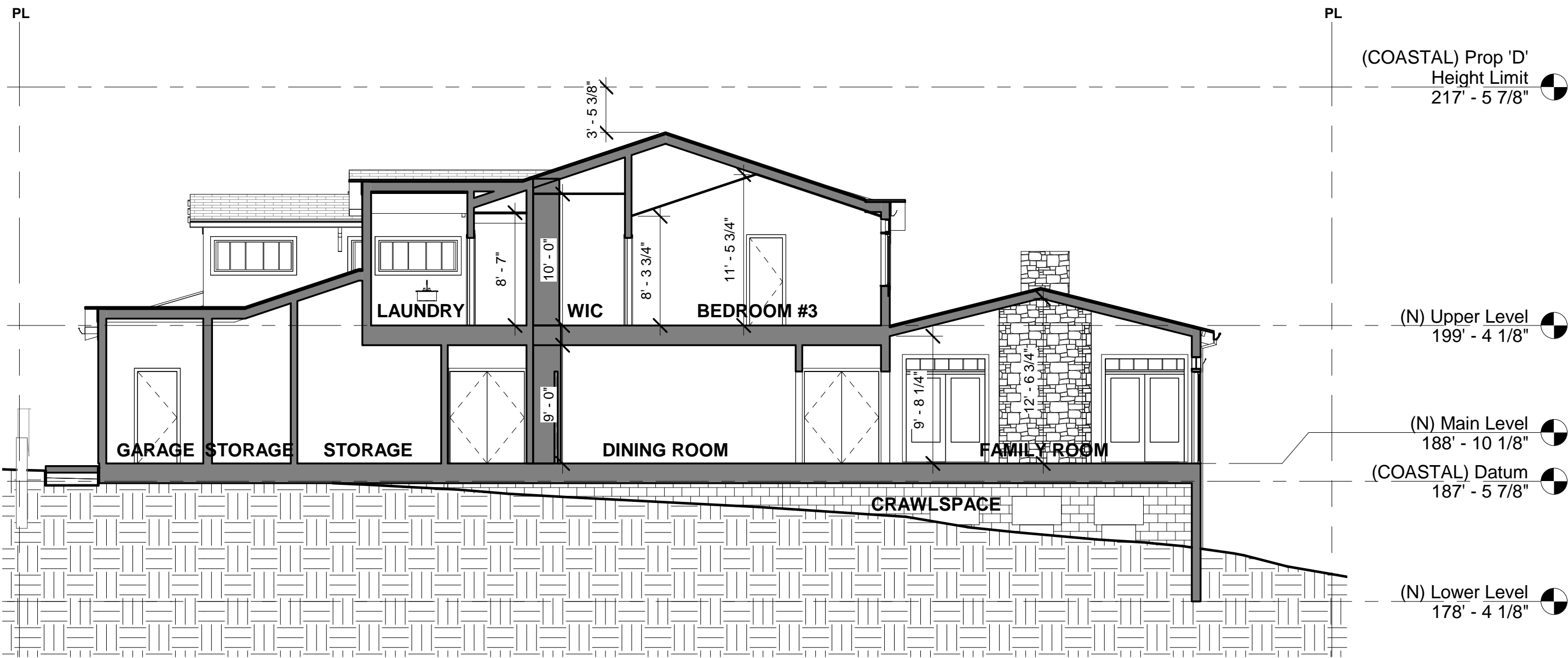
SHEET: 20 OF 20

Sections

4.1



2 East / West Section
1/8" = 1'-0"



1 N/S Section
1/8" = 1'-0"

PL