



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: December 11, 2019 REPORT NO. HO-19-116

HEARING DATE: December 18, 2019

SUBJECT: MAYORQUIN RESIDENCE CDP, Process Three Decision

PROJECT NUMBER: [445196](#)

OWNER/APPLICANT: Royal Capital Holdings LLC, Owner  
Alex Parra, Architect/Agent

### SUMMARY:

Issue: Should the Hearing Officer approve a Coastal Development to construct a new two-story, single-family dwelling unit over an exposed basement with an attached four-car garage located at 2560 Carmel Valley Road in the Torrey Pines Community Plan area?

Staff Recommendation: Approve Coastal Development Permit No. 1565234.

Community Planning Group Recommendation: The applicant chose not to present this project to the Torrey Pines Community Planning Board, so there is no recommendation from the Torrey Pines Community Planning Board for this project.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 14, 2019, and the opportunity to appeal that determination ended March 28, 2019.

### BACKGROUND

The 0.16-acre project site is a vacant lot located at 2560 Carmel Valley Road, directly across the road from the Los Penasquitos Lagoon. The surrounding properties are fully developed and form a well-established single-family residential neighborhood (Attachment 3).

The project site is located in the RS-1-7 Zone, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Brush Management Zone (100-foot setback), Parking Impact (Coastal) Overlay Zone and within the Torrey Pines Community Plan. The project site contains Environmentally Sensitive Lands (ESL), in the form of Special Flood Hazard Areas, as defined in SDMC Section 113.0103. In accordance with Section 143.0145(b), the City Engineer shall be responsible for the requirements and application of regulations associated with Sections 143.0145 and 143.0146.

A Coastal Development Permit is required by the San Diego Municipal Code (SDMC) Section 126.0702 for the proposed construction on property within the Coastal Overlay Zone.

### DISCUSSION

The Torrey Pines Community Plan designates the site as Residential Low land use (5 to 9 DU/AC) (Attachment 1). The proposed residential use of the 0.16-acre property is consistent with the density and use of this land use designation with a density of 6.25 DU/AC. The site contains environmentally sensitive resources in the form of Special Flood Hazard Area on the project's south side near the Los Peñasquitos Lagoon. The project proposes to construct a new two-story, residential dwelling unit over an exposed basement with an attached, four-car garage. The southern portion of the site containing the Special Flood Hazard Area will remain undeveloped. This Special Flood Hazard Area is within the 100-year flood plain as shown on Federal Insurance Rate Map (FIRM) and has a Base Flood Elevation of eight feet above mean sea level. Pursuant to the San Diego Municipal Code Section 143.0146(c)(6), the living area finished floor elevation of the proposed structure is required to be built 2.0 feet above the Base Flood Elevation. The proposed single-family dwelling unit will be located with a finished first floor (containing living space) elevation two feet above the Base Flood Elevation to comply with the code requirement. The exposed basement level contains the four-car garage with no living space. The project maintains a setback of 20 feet from the southern property line and 35 feet from the curb line. The proposed project was determined to be exempt from the requirement of a Neighborhood Development Permit for Environmentally Sensitive Lands because the project complies with the Special Flood Hazard development regulations.

All surface drainage/run-off will be conveyed through a new drain system to Carmel Valley Road. The project proposes to construct a driveway with access toward the south to Carmel Valley Road. The project proposes 70 cubic yards of cut grading and 70 cubic yards of fill, for a total of zero cubic yards of export or import. The proposed residence will be approximately 29 feet in height, under the allowed 30-foot height limit.

The project site is located approximately a half of a mile east of the Pacific Ocean and is directly across the road from the Los Peñasquitos Lagoon. The proposed development is centered in the middle of the project site, complying with the all the required building setbacks and the development stays within the allowed building envelope of the RS-1-7 Zone and under the maximum 30-foot height limit. The project site is not located within or adjacent to any public view, as identified within the Torrey Pines Community Plan and North City Local Coastal Land Use Plan. The project site located on the north side of Carmel Valley Road is not located between the ocean and the First Public Roadway (Carmel Valley Road).

Based on the review of the project's plans, conformance with public access and coastal public views the proposed development of this property was found to be in conformance with the Torrey Pines Community Plan and the North City Local Coastal Land Use Plan.

CONCLUSION:

This proposed project is designed to comply with the development regulations of the RS-1-7 Zone, the Special Flood Hazard Area the Coastal Parking Impact Overlay Zone regulations, the identified public views of the North City Local Coastal Land Use Plan and the Torrey Pines Community Plan's Residential Element recommendations to maintain character of Torrey Pine's residential areas. Staff supports a determination that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff recommends the Hearing Officer approve Coastal Development Permit No. 1565234, as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1565234, with modifications.
2. Deny Coastal Development Permit No. 1565234, if the findings required to approve the project cannot be affirmed.

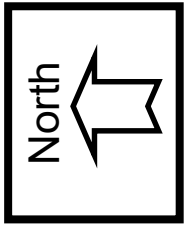
Respectfully submitted,



Glenn Gargas, Development Project Manager

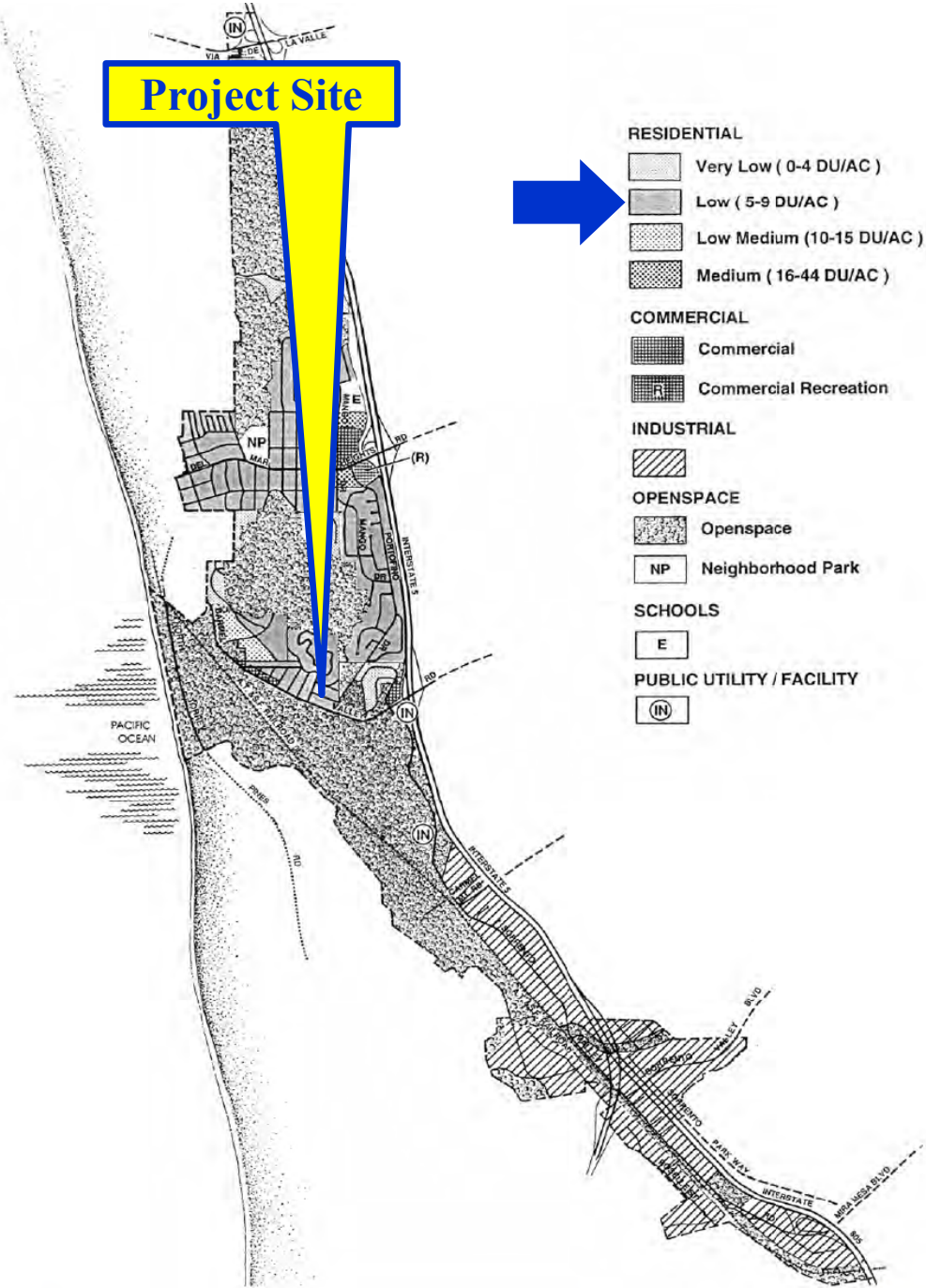
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Notice of Environmental Determination
7. Ownership Disclosure Statement
8. Project Plans



**Project Location Map**  
 MAYORQUIN RESIDENCE CDP - 2560 CARMEL VALLEY ROAD  
 PROJECT NO. 445196



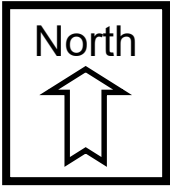


Land Use Plan 1  
Torrey Pines Community Plan FIGURE



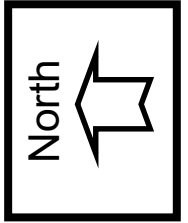
Land Use Map

MAYORQUIN RESIDENCE CDP 2560 CARMEL VALLEY ROAD  
PROJECT NO. 445196





**Project Site**



# Aerial Photo

**MAYORQUIN RESIDENCE CDP 2560 CARMEL VALLEY ROAD**

**PROJECT NO. 445196**



HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 1565234  
**MAYORQUIN RESIDENCE - PROJECT NO. 445196**

WHEREAS, ROYAL CAPITAL HOLDINGS LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a Coastal Development Permit to construct a two-story single-family residence over an exposed basement with attached garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1565234), on portions of a 0.16-acre property;

WHEREAS, the project site is located at 2560 Carmel Valley Road, in the RS-1-7 Zone, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Appealable), Parking Impact Overlay Zone (Coastal-Impact), and is within the North City Local Coastal Program and Torrey Pines Community Plan area;

WHEREAS, the project site is legally described as: Lots 15 and 16, in Block 9 of Del Mar Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1527, filed in the Office of the County Recorder of San Diego County February 5, 1913;

WHEREAS, on March 14, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 18, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1565234 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 18, 2019.

**Coastal Development Permit - Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is currently a vacant lot. This project proposes to construct a new two-story, single-family dwelling unit. The project site is located across Carmel Valley Road from the Los Peñasquitos Lagoon and approximately a half a mile from the Pacific Ocean coastline. The proposed project is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coastline. The project site is located on the

north side of Carmel Valley Road and is not located within the First Public Roadway (area south of Carmel Valley Road), directly adjacent to the Los Peñasquitos Lagoon. The project site does contain nor is it adjacent to any public views, as identified within the Torrey Pines Community Plan and North City Local Coastal Land Use Plan. The project development will be fully contained within the existing legal lot area. The proposed project meets all of the development standards, such as building setbacks and floor area ratio required by the underlying zone. Thus, the proposed residential dwelling unit development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the North City Local Coastal Program land use plan; and the proposed development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Torrey Pines Community Plan and North City Local Coastal Program Land Use Plan.

**2. The proposed coastal development will not adversely affect Environmentally Sensitive Lands.**

The project site has been graded. The site contains environmentally sensitive resources in the form of Special Flood Hazard Area on the project's south side. The project proposes to construct a new two-story, residential dwelling unit over an exposed basement with an attached, four-car garage. The southern portion of the site contains the Special Flood Hazard Area, which will remain undeveloped. This Special Flood Hazard Area is within the 100-year flood plain as shown on Federal Insurance Rate Map (FIRM) and has a Base Flood Elevation of eight feet above mean sea level. Pursuant to the San Diego Municipal Code Section 143.0146(c)(6), the living area finished floor elevation of the proposed structure is required to be built 2.0 feet above the Base Flood Elevation. The proposed single-family dwelling unit will be located with a finished first floor (containing living space) elevation two feet above the Base Flood Elevation to comply with the code requirement. The exposed basement level contains the four-car garage with no living space. The project maintains a setback of 20 feet from the southern property line and 35 feet from the curb line. The proposed project was determined to be exempt from the requirement of a Neighborhood Development Permit for Environmentally Sensitive Lands because the project complies with the Special Flood Hazard development regulations.

The site currently drains toward the public street for all of the proposed impervious surface areas and the non-impervious areas. The drainage design has been reviewed and accepted by the Development Services Department's Engineering Section. Environmental review determined that the project would not have a significant environmental effect and found it categorically exempt under the California Environmental Quality Act (CEQA). The project was previously graded and redevelopment of this site proposes 70 cubic yards of cut, and 70 cubic yards of fill, for a total zero cubic yards of export or import. Based on the above, this proposed redevelopment of a new single-family dwelling unit will not adversely affect Environmentally Sensitive Lands.



**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed development to construct a new two-story single dwelling unit with attached garage is located in an area identified as Residential Low land use (5 to 9 DU/AC) within the Torrey Pines Community Plan (TCP). The proposed residential use of the 0.16-acre property is consistent with the density and use of this land use designation with a density of 6.25 DU/AC. The project is designed to conform to all of the applicable development regulations of the RS-1-7 Zone, the Coastal Overlay Zone (appealable), Coastal Height Limitation Overlay Zone, Parking Impact (Coastal) Overlay Zone, First Public Roadway, Airport Influence Area and the Sensitive Coastal Overlay Zone. Geotechnical Investigation Reports were prepared and reviewed that analyze existing and potential geologic hazards. According to the reports, the project site's gross slope stability was found to be adequate with a factor of safety over 1.5 and, overall, the site was found to be suitable for the proposed development with a recommendation that the foundation be designed as a deep foundation with concrete caissons or piles, that the proposed development will not be subject to later spread or flow slide potential. The proposed residence will be approximately 29 feet in height, in compliance with the maximum 30-foot height limit. The proposed project complies with the required front setback of 15 feet, the required side setbacks of 5 feet and 7 feet, 6 inches. The project proposes a floor area ratio of 0.56 and which conforms to the maximum floor area ratio of 0.57.

The project site is located across Carmel Valley Road from the Los Peñasquitos Lagoon and approximately a half a mile from the Pacific Ocean coastline. There are no public views, as identified within the Torrey Pines Community Plan and North City Local Coastal Land Use Plan. Project development will be fully contained within the existing legal lot area. There is no Public access to the coastline, as identified within the Torrey Pines Community Plan and North City Local Coastal Land Use Plan. Therefore, the proposed project has been determined to be in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The 0.16-acre site, currently vacant, is located within a well-developed residential neighborhood directly across the road from the Los Peñasquitos Lagoon and approximately one half mile from the Pacific Ocean coastline. The project site is located on privately owned property not within the first public road (Carmel Valley Road) and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. The project site is located directly adjacent to the Los Peñasquitos Lagoon with no identified public view, as identified within the Torrey Pines Community Plan and North City Local Coastal Land Use Plan. Project development will be fully contained within the existing legal lot area. The proposed development of the property will maintain the existing public walkway within the public

right-of-way. Due to these factors the project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1565234, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1565234 a copy of which is attached hereto and made a part hereof.

---

Glenn R. Gargas  
Development Project Manager  
Development Services

Adopted on: December 18, 2019

IO#: 12002110

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 12002110

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1565234  
**MAYORQUIN RESIDENCE - PROJECT NO. 445196 MMRP**  
HEARING OFFICER

This Coastal Development Permit No. 1565234 is granted by the Hearing Officer of the City of San Diego to ROYAL CAPITAL HOLDINGS LLC, a California Limited Liability Company, Owner/ Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.16-acre site is located at 2560 Carmel Valley Road, in the RS-1-7 Zone, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Brush Management Zone (100-foot setback), and Parking Impact Overlay Zone within the Torrey Pines Community Plan area. The project site is legally described as: Lots 15 and 16, in Block 9 of Del Mar Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1527, filed in the Office of the County Recorder of San Diego County February 5, 1913.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a two-story single dwelling unit on a vacant lot described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 18, 2019, on file in the Development Services Department.

The project shall include:

- a. Construct a two-story, 4,080-square-foot, single dwelling unit over an exposed basement with an attached four-car garage on a vacant 0.16-acre property;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Fences, retaining walls and patio; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by January \_\_, 2023 (Pending California Coastal Commission Appeal Period).
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. Prior to issuance of any construction permit authorizing grading or construction of impervious surfaces, a fee of \$189.57 (\$32.67 graded area and \$156.90 impervious surface area) shall be deposited with the Development Services Department for the Los Peñasquitos Watershed Restoration and Enhancement Program. The enhancement fee shall be computed on the basis of site grading at a rate of \$0.005 per square foot for all areas graded, with an additional rate of \$0.03 per square foot for all impervious surfaces created by the development. The enhancement fee shall be computed by the Owner/Permittee and verified by the Development Services Department.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not

limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

13. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of non-utilized driveway with current City Standard, curb, gutter and sidewalk, adjacent to the site on Carmel Valley Road, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new 12 feet wide driveway, per current City Standards, adjacent to the site on Carmel Valley Road, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new concrete walkway/sidewalk, per current City Standards, along the property frontage on Carmel Valley Road, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
21. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
23. Prior to occupancy of any structures on lots within the SFHA, an appropriate map revision which removes the structures from the SFHA must be obtained from the Federal Emergency Management Agency (FEMA). The developer must provide all documentation, engineering calculations, and fees which are required by FEMA.

24. Prior to occupancy, the applicant shall process a "Non Conversion Agreement" for the garage and storage area, subject to inundation.
25. Fill placed in the SFHA for the purpose of creating a building pad must be compacted to 95% of the maximum density obtainable with the Standard Proctor Test Fill method issued by the American Society for Testing and Materials (ASTM Standard D-698). Granular fill slopes must have adequate protection for a minimum flood water velocity of five feet per second.
26. The developer shall denote on the final map and the improvement plans "Subject to Inundation" all areas lower than the base flood elevation plus 2 feet.
27. The developer shall enter into an agreement with the City waiving the right to oppose a special assessment initiated for the construction of flood control facilities and their perpetual maintenance. If the structures will be elevated on fill, such that the lowest adjacent grade is at or above the BFE, the applicant must obtain a Letter of Map Revision based on Fill (LOMR-F) prior to occupancy of the building. The developer must provide all documentation, engineering calculations, and fees which are required by FEMA to process and approve the LOMR-F
28. If the structures will be floodproofed, they must be constructed to meet the requirements of the Federal Insurance Administration's Technical Bulletin 3-93. Additionally, a registered civil engineer or architect must certify prior to occupancy that those requirements have been met.
29. All structures built within the SFHA must have the lowest floor elevated 2 feet above the base flood elevation at that location.

**PLANNING/DESIGN REQUIREMENTS:**

30. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
31. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**GEOLOGY REQUIREMENT:**

33. Prior to the issuance of any construction permits (either grading or building), the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction

plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

### INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- Development Impact Fees (DIF) are required at building permit issuance based on increased residential development. The currently adopted Torrey Pines DIF rate for residential development is \$10,329 per single-dwelling unit.
- RTCIP Fees on residential development are required at building permit issuance. These fees were established to ensure that new Development invests in the Region's transportation system to offset the negative impact of growth on congestion and mobility. The current City RTCIP Fee is \$2,691 per single-dwelling unit and/or \$2,153 per multi-dwelling unit. On-site affordable housing units are exempt from the City RTCIP Fee. To qualify for this exemption, a recorded Affordable Housing Agreement with the Housing Commission must be submitted to Facilities Financing prior to building permit issuance.
- Two weeks prior to building permit issuance, email the following documentation to Facilities Financing in order to be considered for impact fee credit for demolition of building(s) on the site: (1) A copy of a completed Demolition/Removal Permit and (2) the Residential (619-236-3771) or Commercial-Industrial (858-505-6262) Building Record from the San Diego County Assessor's Office, which is released to the owner only.
- Fees are subject to increase at the beginning of each new fiscal year (July 1), and/or upon Council approval of an update to the Public Facilities Financing Plan, and/or upon a change in project scope.
- Upon payment of any DIF, FBA, and/or RTCIP the 90-day protest period in which you may protest these impact fees under Government Code Section 66020 will begin. A written protest must be filed with the City Clerk pursuant to Government Code Section 66020. The protest procedures under Section 66020 are additional to other procedures authorized or required under the San Diego Municipal Code.



## ATTACHMENT 5

- The Facilities Financing Issues Report was sent to the project Point of Contact. The required impact fees have been added to the project. Facilities Financing has "signed off" the job and the building plan set routed to Facilities Financing has been recycled. A stamp transfer is not necessary. If there is a future change in the project scope or use, new plans and a review should be routed to Facilities Financing to determine if changes are necessary to the impact fees.

APPROVED by the Hearing Officer of the City of San Diego on December 18, 2019, by Resolution No.

\_\_\_\_\_.

**ATTACHMENT 5**

Permit Type/PTS Approval No.: CDP No. 1565234  
Date of Approval: Dec. 18, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

---

Glenn R. Gargas  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Royal Capital Holdings LLC  
Owner/Permittee

By \_\_\_\_\_  
Jose Mayorquin  
President

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

## NOTICE OF EXEMPTION

*(Check one or both)*

TO:  Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

**Project Name/Number:** Mayorquin Residence / 445196

**SCH No.:** N.A.

**Project Location-Specific:** 2560 Carmel Valley Road, San Diego, California 92014

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** The project is requesting a SITE DEVELOPMENT PERMIT and COASTAL DEVELOPMENT PERMIT to construct a 4,080-square foot two-story single dwelling unit, an 880-square foot four-car garage, an 851-square foot patio and a pool. Additionally, the project would include various site improvements including associated hardscape, landscape, water and sewer connections. The vacant site is located at 2560 Carmel Valley Road. The site is designated Residential and zoned RS-1-7 within the Torrey Pines Community Plan area. Additionally, the project site is within the Coastal Zone Boundary, Sensitive Coastal Overlay Zone, Airport Land Use Compatibility Overlay Zone (MCAS Miramar), Airport Influence Area (MCAS Miramar-Review Area 2), Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable-1), Special Flood Hazard Area (100 Year Floodway and 100 Year Floodplain), Very High Fire Hazard Severity Zone, and Parking Impact Overlay Zone (Coastal). (LEGAL DESCRIPTION: Lot 15-16, Map No. 1527, Block 9.)

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Jose Mayorquin, 2371 Fenton Street, Chula Vista, California 91914 (619)726-7603

**Exempt Status:** (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Section 15303 (New Construction or Conversion of Small Structures)
- Statutory Exemptions:

**Reasons why project is exempt:** The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section CEQA Section 15303 that consists of the construction and location of limited numbers of new, small facilities or structures including one single-family residence, or a second dwelling unit in a residential zone. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: M. Dresser

Telephone: (619) 446-5404

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Senior Planner

Signature/Title

March 29, 2019

Date

Check One:

Signed By Lead Agency

Signed by Applicant

Date Received for Filing with County Clerk or OPR:



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

Project Title Carmel Valley Rd Residence. Project No. For City Use Only 445196.  
 Project Address: Apn. 301-123-23-00

**Part I - To be completed when property is held by individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): ROYAL CAPITAL Holdings LLC  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: 2321 Fenton St.  
 City/State/Zip: Chula Vista Ca. 91914  
 Phone No: 619-7267603 Fax No: \_\_\_\_\_  
 Signature: [Signature] Date: 9/23/2015

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_



**Fire Notes**

Buildings undergoing construction, alteration, or demolition shall conform to CFC chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 33.

During construction, at least one extinguisher shall be provided on each floor level of each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 331.5.1.

Dumpsters and trash containers exceeding 1.5 cubic yards shall not be located in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave. These units protected by an approved sprinkler system or located in a Type I or IA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3.

Open flames, fire, and burning on or off premises is prohibited except as specifically permitted by the City of San Diego and CFC 306.

Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CFC Section 501.2.

NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT: IF AN ENGINEER OF RECORD USING THE PERMITTED RESTRICTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTION, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OTHER SITE/FABRICATION OBSERVATIONS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB CONTRACTOR/OWNER/BUILDER: BY USING THE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OTHER SITE/FABRICATION OBSERVATIONS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

**NOTES**

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

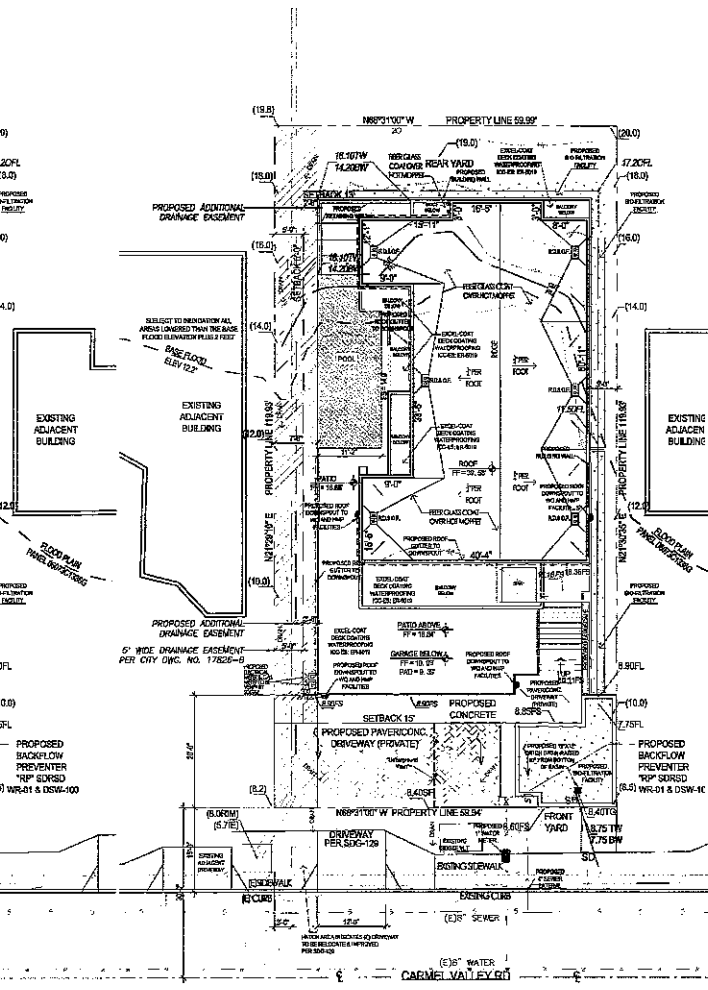
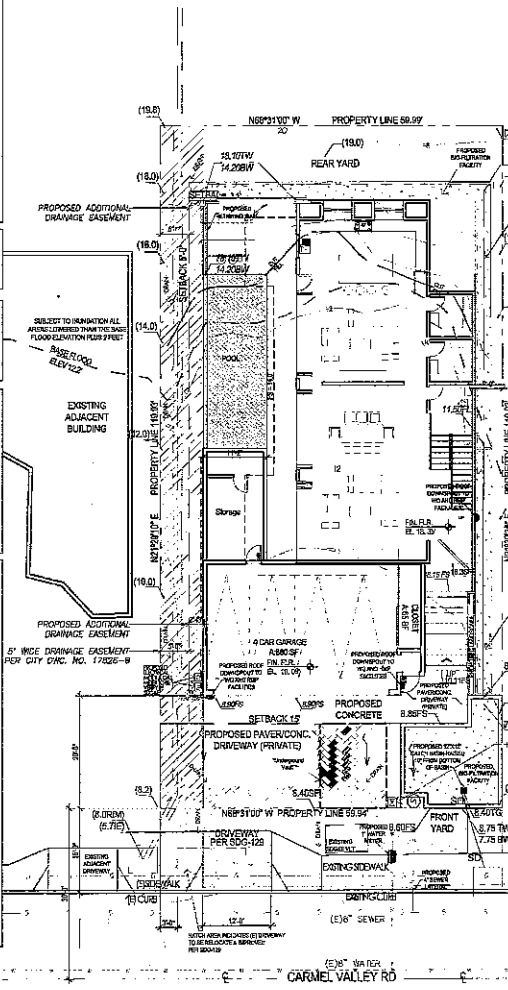
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

- A- No work proposed in the public right of way as part of this building permit application
- B- No part of retaining walls and footings shall encroach into adjacent properties or easements
- C- The property owner shall maintain all drainage facilities located within the parcel and be responsible to prevent garbage to down street properties
- D- It shall be the responsibility of the applicant to locate property lines and conform to set back requirements
- E- Prior to garage foundation inspection, driveway slopes are to be inspected by the Engineering and Planning Divisions for compliance with City of La Mesa parking standards
- F- Contractor to have a pre-construction meeting with the Building, Planning and Engineering Departments prior to grading activities
- G- Bond and final occupancy permit will be released after "As-Built" plans for the grading and building sets are provided
- H- Property owners to maintain the backwater valve per the manufacturer's specifications and recommendations
- I- The contractor shall be responsible for cleanup and all silt and mud on adjacent streets due to the construction vehicles or any other construction activity, at the end of each workday, or after a storm event that causes a breach in installed construction traps, which may compromise storm water quality within any street. A stabilized construction mat may be required to prevent construction vehicles or equipment from tracking mud or silt into the street.
- J- All stockpiles of soil and or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All stockpiles shall be in place at the end of each working day when the five-day rain probability forecast exceeds 40%.
- K- A concrete washout shall be provided on all projects, which propose the construction of any concrete improvements that are to be poured in place on site
- L- The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breaches its effectiveness
- M- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times
- N- The storage of all construction material and equipment must be protected against any potential release of pollutants into the environment.

**Site Plan & Utilities notes**

1. All surface water to drain away from building. The Grade shall be a minimum of 6" within the first 10 feet, Section 800.3, and property line to alley or street.
2. Verify all utility locations (existing or new) prior to start of construction.
3. ALL PROPERTY LINES (lot or easement, easement and building foot) shall be clearly proposed, shown on this plan.
4. The hose bibbs and lawn sprinkler systems shall have approved backflow prevention devices. DIO/CFC section 1033.4, contractor to comply with all other requirements.
5. This project is not within a noise critical area (contour of 50 db) as shown on this plan.

All Existing Utilities water, gas, and sewer.



**Arki Designs**  
Cel(619) 547-4147  
Fax(619) 923-3205  
402 W Broadway 4th Fl.  
San Diego, CA 92101

**JOSE MAYORQUIN RESIDENCE**  
2560 CARMEL VALLEY RD  
SAN DIEGO, CA 92104

**JOSE MAYORQUIN RESIDENCE**  
2560 CARMEL VALLEY RD  
SAN DIEGO, CA 92104  
SINGLE FAMILY RESIDENCE

sheet content:  
**SITE/ROOF PLAN**

Approved: 10/2017  
12/2018  
18-28-18  
Project: Jose Perez  
Check: Jose Perez  
Date: 5/2018  
Scale: AS NOTED  
Responsible: JOSE PEREZ  
402 W Broadway  
4th Floor  
San Diego, CA 92101  
Tel: 619-923-3205  
Fax: 619-923-3205

sheet type: sheet no.  
**A 1**



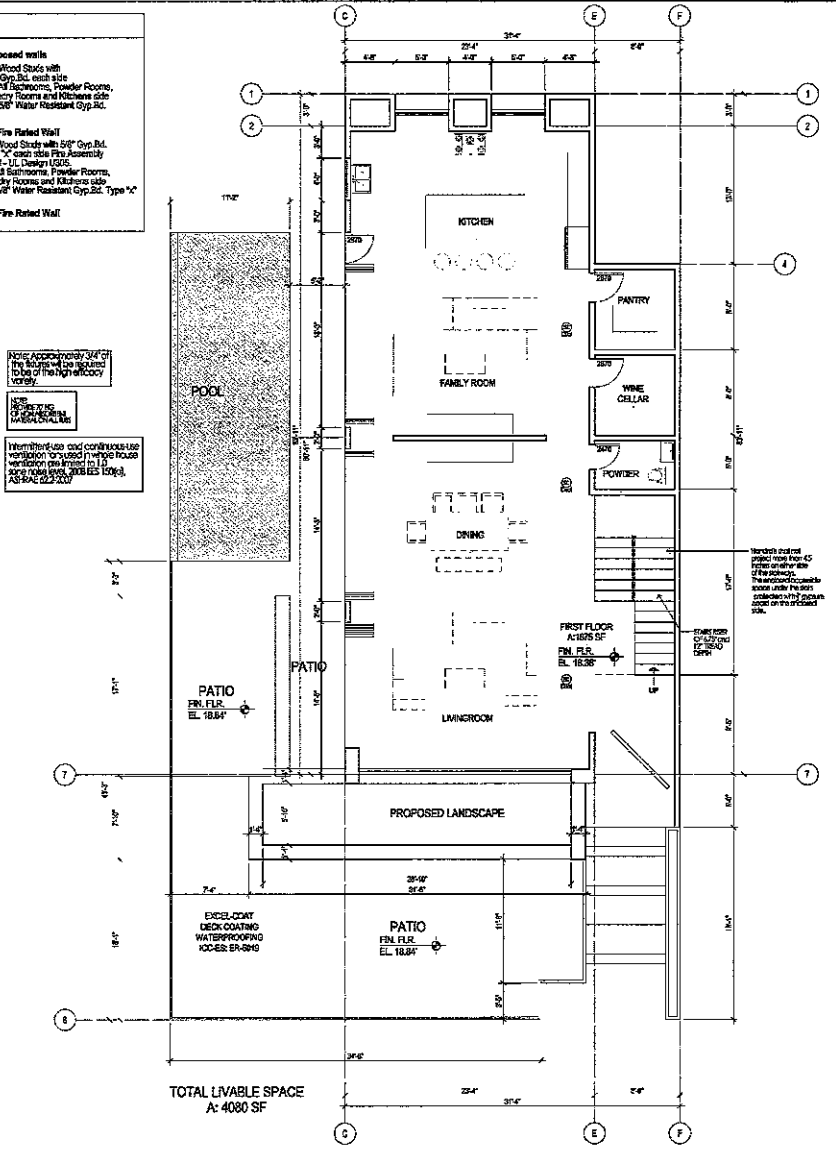
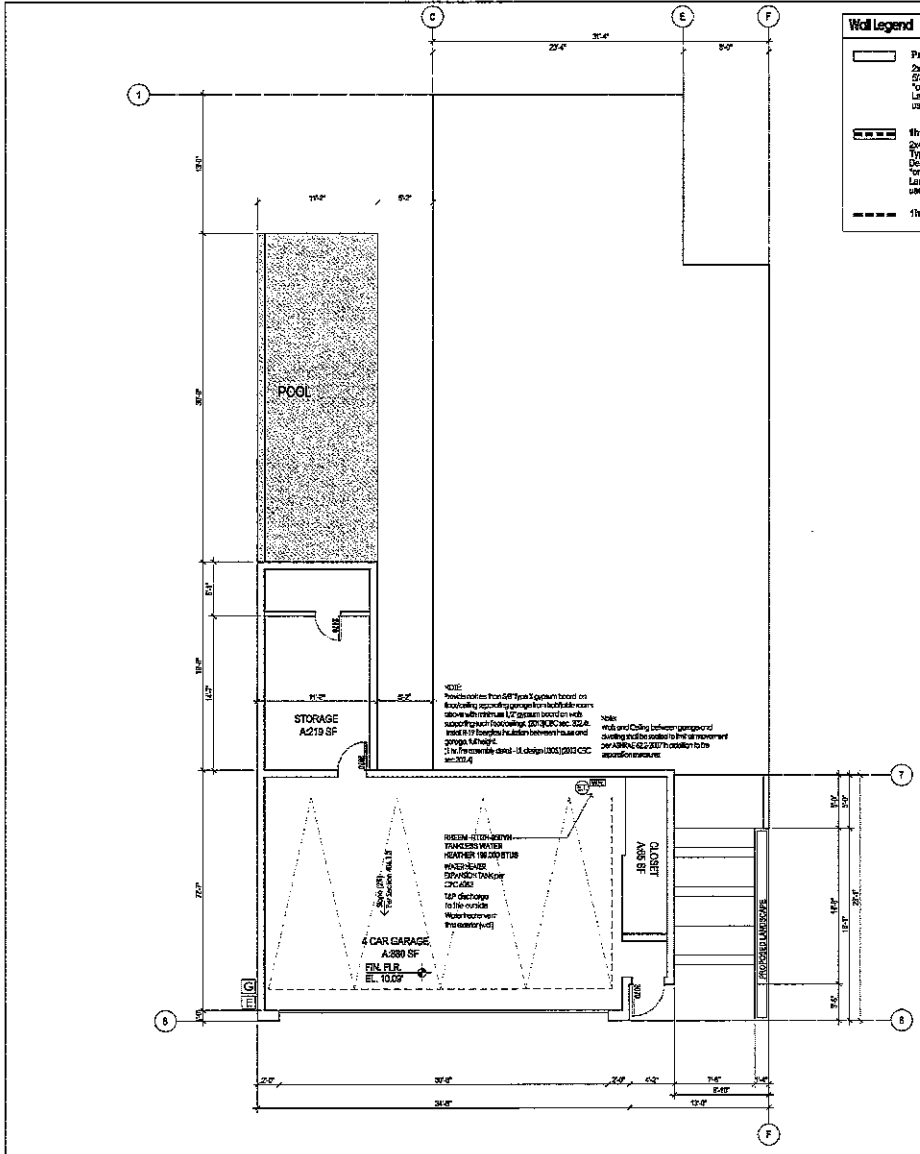
Cell (619) 547-4147  
 Fax (619) 523-3205  
 402 W Broadway 4th Fl.  
 San Diego, CA 92101

**JOSE MAYORQUIN RESIDENCE**  
 2560 CARMEL VALLEY RD  
 SAN DIEGO, CA 92104  
**SINGLE FAMILY RESIDENCE**


Sheet content:  
**GARAGE & FIRST FLOOR PLAN**

Revised:	Responsible:
10/2017	<b>JOSE PEREZ</b>
12/2018	402 W Broadway
12-21-18	4th floor
Drawn:	San Diego, CA 92101
Jose Perez	PH: 619-523-3205
Check:	Fax: 619-523-3205
Jose Perez	
Date:	
5/2/2018	
Scale:	
AS NOTED	signature

sheet type: sheet no.  
**A 2.1**







Arki Designs  
 Cell (619) 588-5414  
 Fax (619) 923-3205  
 402 W Broadway 4th Fl.  
 San Diego, CA 92101

**JOSE MAYORQUIN RESIDENCE**  
 2560 CARMEL VALLEY RD  
 SAN DIEGO, CA 92104

**JOSE MAYORQUIN RESIDENCE**  
 2560 CARMEL VALLEY RD  
 SAN DIEGO, CA 92104

**SINGLE FAMILY RESIDENCE**

Sheet contents

**SECOND & ROOF PLAN**

Drawn by:	Responsible:
Checked by:	JOSE PEREZ
Date:	10/20/17
Scale:	As Noted
Sheet type:	Sheet no.
<b>A</b>	<b>2.2</b>

**Door & windows**

**NOTE**

Cuts, notches and drilled holes in precast or cast-in-place concrete shall be made in accordance with ACI 308.4R-11.

**NOTE**

All ventilation vents shall be installed in accordance with the manufacturer's instructions. All vents shall be installed in accordance with the manufacturer's instructions. All vents shall be installed in accordance with the manufacturer's instructions.

**NOTE**

All accessible water plumbing piping, fittings, devices, valves, and other appurtenances shall be installed in accordance with the California Plumbing Code (CPC) and California Mechanical Code (CMC) Sections 110.02(1) through 110.02(17).

**NOTE**

All piping, fittings, devices, valves, and other appurtenances shall be installed in accordance with the California Plumbing Code (CPC) and California Mechanical Code (CMC) Sections 110.02(1) through 110.02(17).

**NOTE**

All new windows and glass doors shall have a minimum sound transmission class.

**NOTE**

2. Ventilation shall be provided per the requirements of the California Mechanical Code (CMC) Chapter 6. The ventilation system shall consist of an operating, fanless, with summer switch, or other independent fan system. Operation of the ventilation system shall not result in interior noise greater than 45 dB CML.

**NOTE**

All new ceiling remediations will be installed with a ceiling label attached, showing the location.

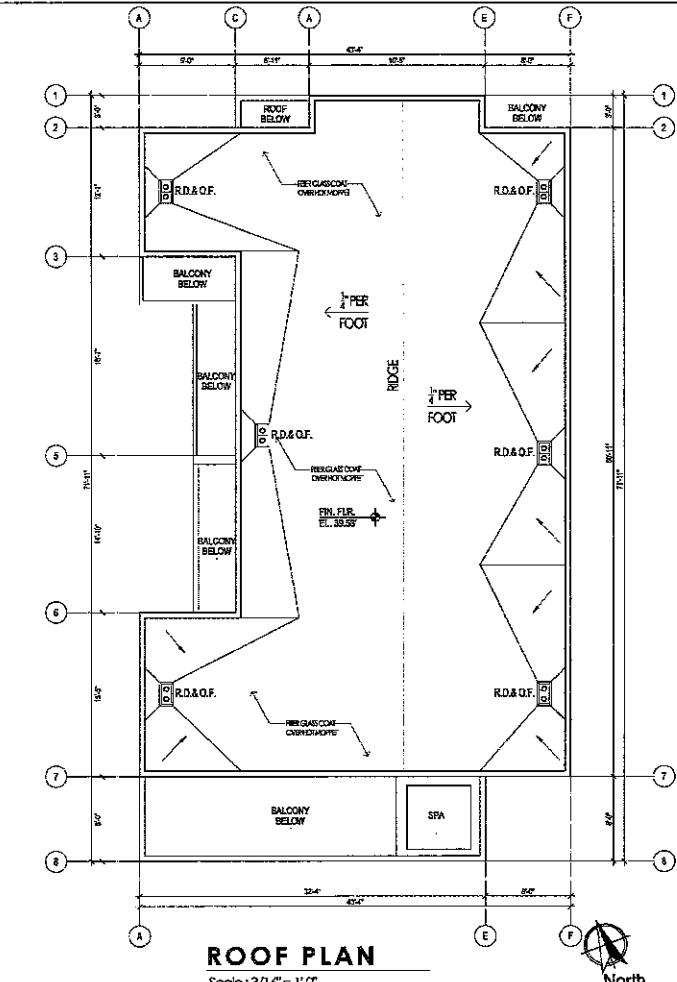
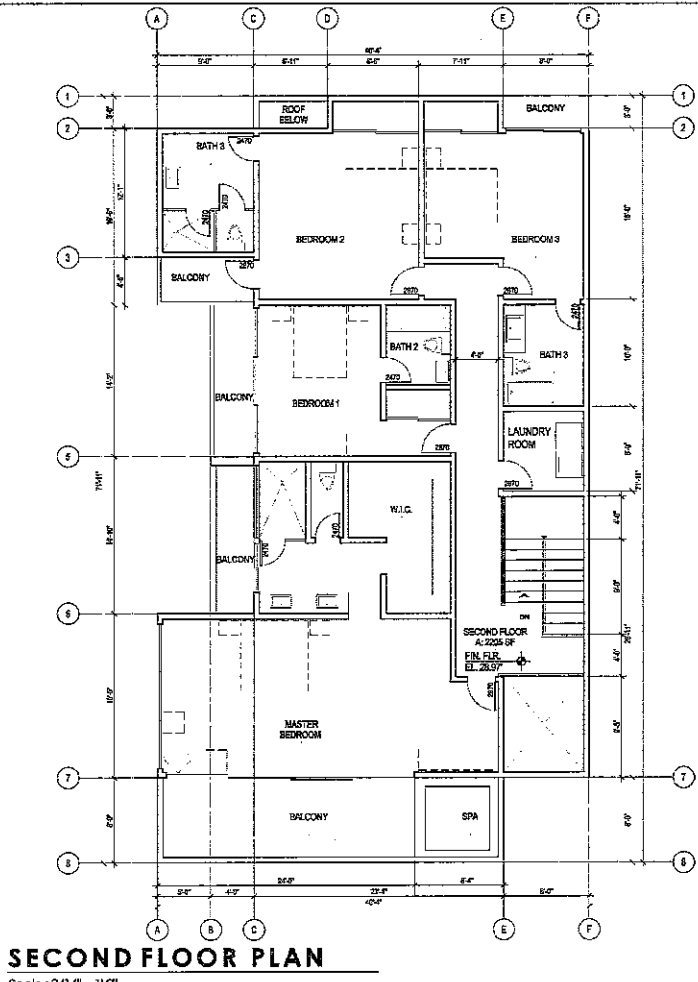
**Additional Notes**

1. All new windows and glass doors shall have a minimum sound transmission class.

2. Ventilation shall be provided per the requirements of the California Mechanical Code (CMC) Chapter 6. The ventilation system shall consist of an operating, fanless, with summer switch, or other independent fan system. Operation of the ventilation system shall not result in interior noise greater than 45 dB CML.

**NOTE**

All new ceiling remediations will be installed with a ceiling label attached, showing the location.



**Water Tighter**

**NO. 1 FLASHING WATER TIGHTNER**

Apply to all exterior wall penetrations, including windows, doors, and roof penetrations. Apply to all exterior wall penetrations, including windows, doors, and roof penetrations.

**NO. 2 FLASHING WATER TIGHTNER**

Apply to all exterior wall penetrations, including windows, doors, and roof penetrations. Apply to all exterior wall penetrations, including windows, doors, and roof penetrations.

**NO. 3 FLASHING WATER TIGHTNER**

Apply to all exterior wall penetrations, including windows, doors, and roof penetrations. Apply to all exterior wall penetrations, including windows, doors, and roof penetrations.

**Additional Notes**

1. All plumbing fixtures and appurtenances shall be installed in accordance with the California Plumbing Code (CPC) and California Mechanical Code (CMC) Sections 110.02(1) through 110.02(17).

2. All electrical wiring and devices shall be installed in accordance with the California Electrical Code (CEC) and California Mechanical Code (CMC) Sections 110.02(1) through 110.02(17).

3. All fire-rated walls and doors shall be installed in accordance with the California Building Code (CBC) and California Mechanical Code (CMC) Sections 110.02(1) through 110.02(17).

**Plumbing per 2013 CPC**

**Mechanical per 2013 CMC**

**Becked per 2013 CMC**

**Ventilation 2013 CRC**

**Under floor R408**

**AISC Access 2013 CRC**

**Becked Devices 2013 CEC Art. 210 & 406**

**Smoke Alarms 2013 CBC R314**

**NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED DISCRETELY IDENTIFIED IDENTIFICATION SYSTEMS FOR ALL ELECTRICAL AND MECHANICAL SYSTEMS. THE SYSTEMS SHALL BE IDENTIFIED BY A MINIMUM OF 1/2" HIGH LETTERS ON A BACKGROUND. THE IDENTIFICATION SYSTEMS SHALL BE IDENTIFIED BY A MINIMUM OF 1/2" HIGH LETTERS ON A BACKGROUND.**

**SURFACE WATER WILL DRAIN AWAY FROM BUILDING SEE DRAINAGE PATTERN SHOWN ON SITE PLAN. THE GRADE SHALL FALL A MINIMUM OF 4" WITHIN THE FIRST 10'.**

**NOTE**

All new windows and glass doors shall have a minimum sound transmission class.

**NOTE**

All new windows and glass doors shall have a minimum sound transmission class.

**NOTE**

All new windows and glass doors shall have a minimum sound transmission class.

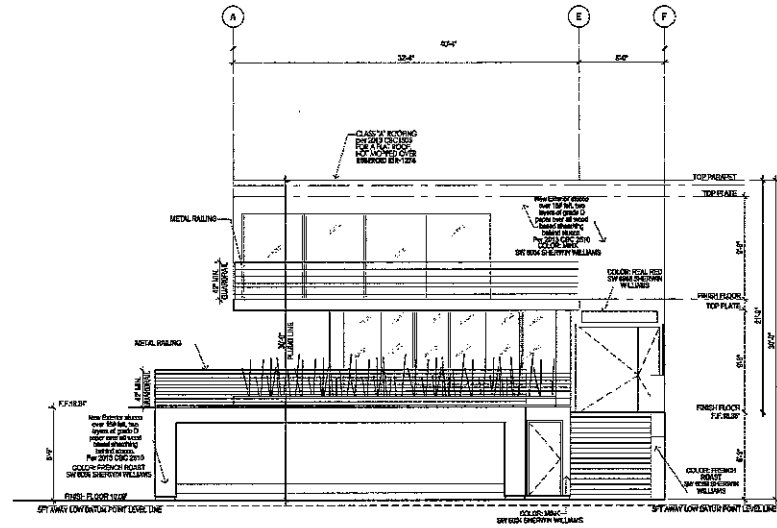
**NOTE**

All new windows and glass doors shall have a minimum sound transmission class.

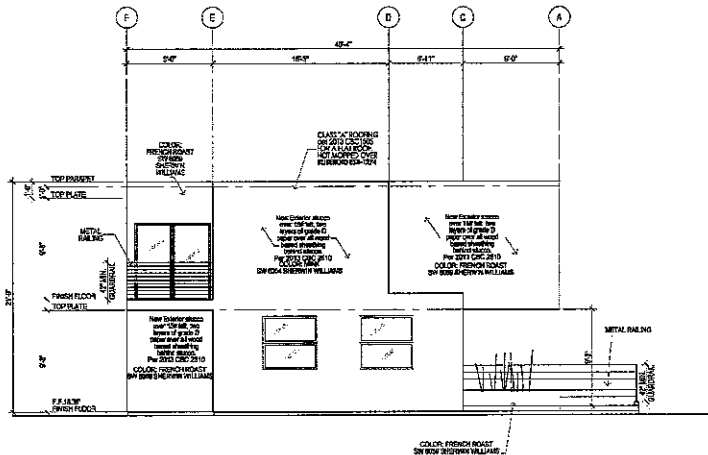


Call (619) 598-6414  
 Fax (619) 623-3205  
 402 W Broadway 4th Fl.  
 San Diego, CA 92101

**JOSE MAYORQUIN RESIDENCE**  
 2560 CARMEL VALLEY RD  
 SAN DIEGO, CA 92104  
**SINGLE FAMILY RESIDENCE**



FRONT



REAR

**EXTERIOR ELEVATIONS**

Scale 3/16"=1'-0"

Note:  
 If window model suggested is changed by the owner or contractor, should meet minimum requirements of local municipal code.

ALL DOORS AND WINDOWS TO HAVE S30

Sheet content:  
**EXTERIOR ELEVATIONS**

Revisions:	Responsible:
	<b>JOSE PEREZ</b>
	402 W Broadway
	4th Floor
Drawn:	San Diego, CA 92101
Jose Perez	Phone: (619) 598-6414
Check:	Fax: (619) 623-3205
Jose Perez	
Date:	
11/20/17	
Scale:	
AS NOTED	
	Signature

Sheet type: sheet no.  
**A 3.1**





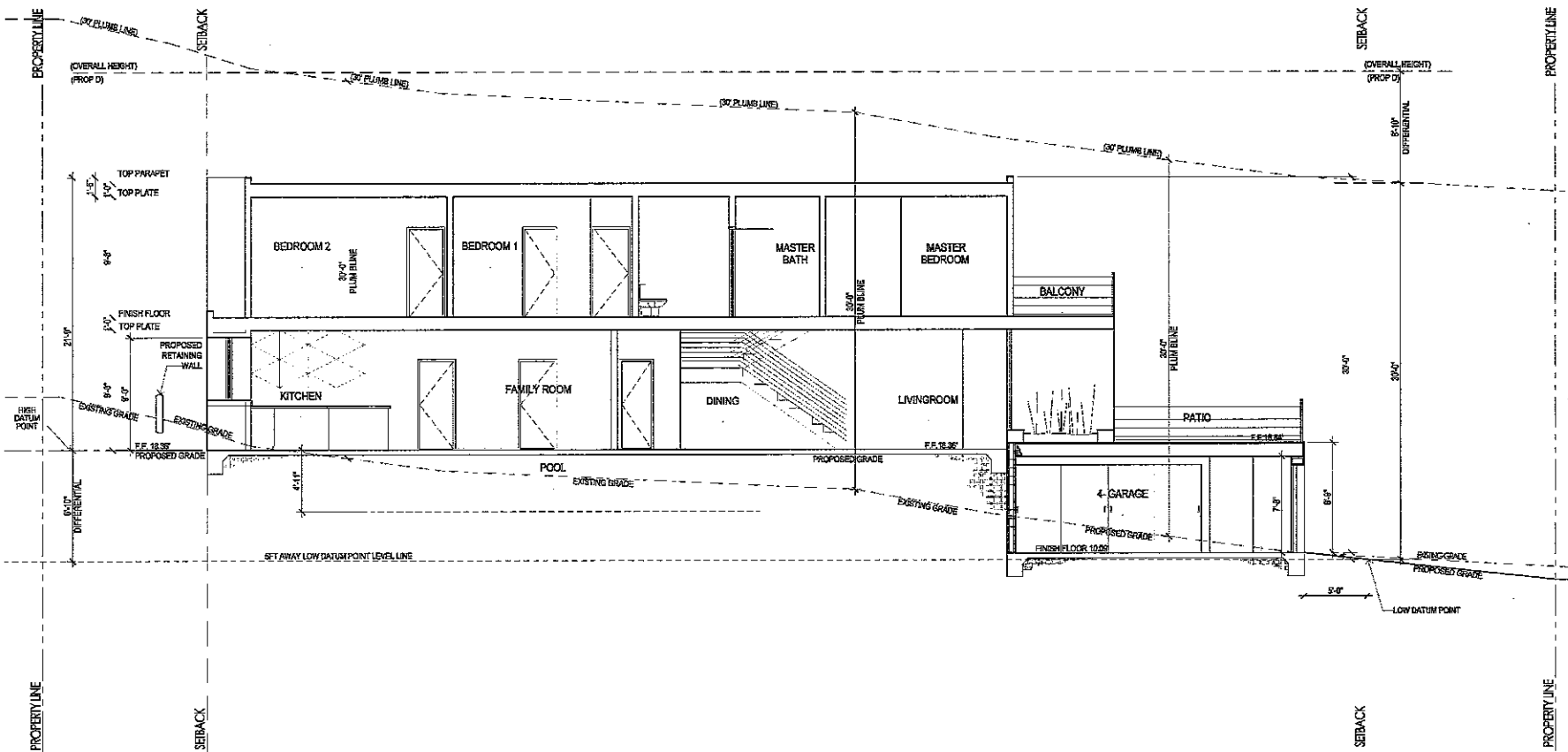
Cell (619) 588-6414  
 Fax (619) 523-3205  
 402 W Broadway 4th Fl.  
 San Diego, CA 92101

**JOSE MAYORQUIN RESIDENCE**  
 2560 CARMEL VALLEY RD  
 SAN DIEGO, CA 92104  
**SINGLE FAMILY RESIDENCE**

Sheet content:  
**BUILDING SECTIONS**

Architect:	Responsible:
Jose Perez	<b>JOSE PEREZ</b>
Drawn:	402 W Broadway
Jose Perez	4th Floor
Check:	San Diego, CA 92101
Jose Perez	Phone (619) 588-6414
Date:	Fax (619) 523-3205
10/20/17	
Scale:	
AS NOTED	Signature

Sheet type: **A** Sheet no. **4**

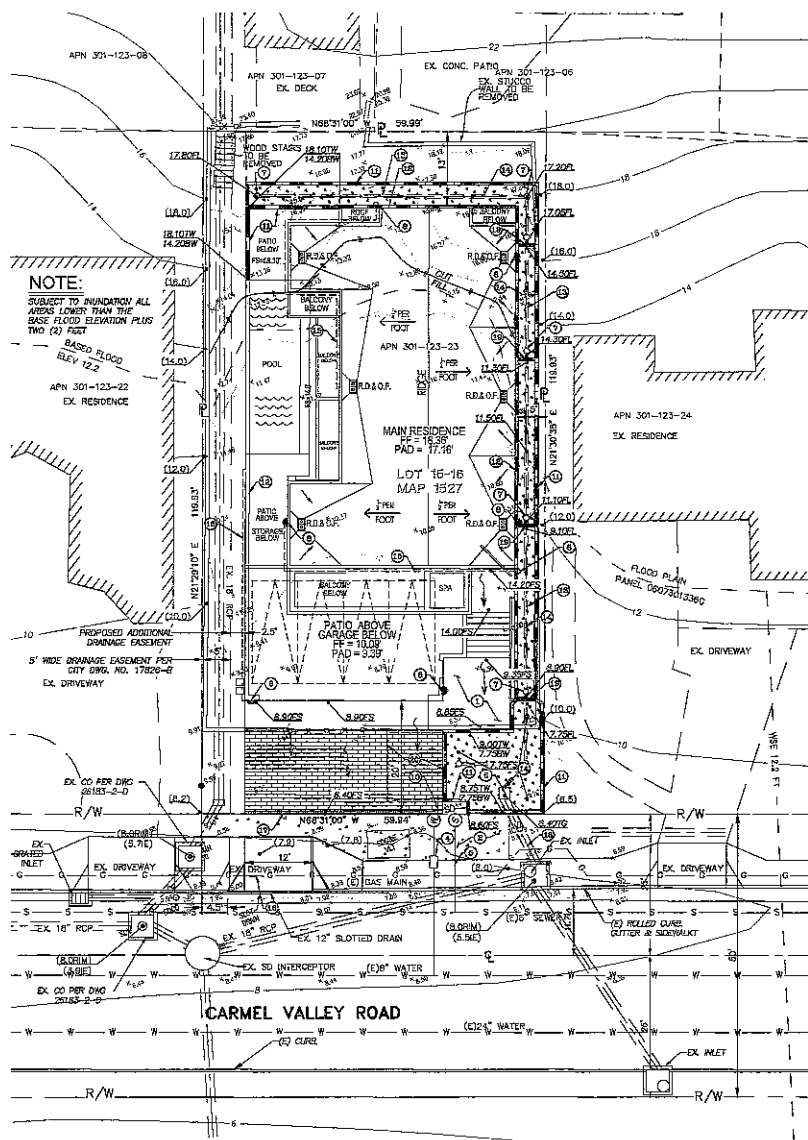


SECTION 1

**BUILDING SECTIONS**  
 Scale 1/4"=1'-0"

NOTE  
 FIRE PROTECTING IS REQUIRED IN CONCEALED SPACES 10'  
 O.C. HORIZONTAL, VERTICAL AT THE CEILING AND  
 FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND  
 VERTICAL SPACES, CONCEALED SPACES BETWEEN WALL  
 AND LANDING OPENINGS AND AT THE TOP OF STAIRS,  
 CLOSET WALLS, CHIMNEYS AND FIRE PLACES. (IRC 1002.11)

DOOR INDICATORS  
 DOOR  
 THE EXTERIOR SURFACE SHALL BE NONCOMBUSTIBLE OR FLAME RESISTANT  
 MATERIAL  
 HAVE A MINIMUM 20 MIN. FIRE RESISTANCE RATING USED TO MEET THE  
 PERFORMANCE REQUIREMENTS OF SPAS AND TUBS AS CONSIDERED BY  
 SELF CERTIFIED BY COMPANIES PERFORMING INSURANCE  
 TESTS AND SHALL NOT BE LESS THAN 3/4" THICK  
 FINISH ON INTERNAL SURFACES SHALL BE  
 REFERENCED FINISHES OF RELATED PANELS MAY VARY TO A TOLERANCE  
 OF ± 1/8" MAX.



**NOTE:**  
SUBJECT TO INUNDATION ALL AREAS LOWER THAN THE BASE FLOOD ELEVATION PLUS TWO (2) FEET  
BASED FLOOD ELEV 12.2

**FLOOD HAZARD**  
1. ZONE AE - BASE FLOOD ELEVATION: 12.2 MSL  
2. FEMA FLOOD ZONE PANEL: 06073C13360  
3. EFFECTIVE DATE OF THE FIRM: 5/16/2012

**OWNER/APPLICANT**

JOSE MAYORQUIN  
2371 FENTON STREET  
SAN DIEGO, CA 92104

**APN**

301-123-23

**LEGAL DESCRIPTION**

LOTS 15-16 MAP 1527

**BENCH MARK**

BRASS PLUG AT NW CORNER OF INTERSECTION OF PORTLAND DRIVE AND CARMEL VALLEY ROAD FOR THE CITY OF SAN DIEGO BENCHMARK: EL=6.376 (MSL)

**TOPOGRAPHY SOURCE**

THE UNDERLYING TOPOGRAPHIC FEATURES SHOWN HEREON WERE MAPPED BY FIELD MEASUREMENTS BY CREWELL SURVEYING INC. DATED 05-11-2010.

**SITE AREA**

0.16 ACRES

**GRADING TABULATION**

AMOUNT OF DISTURBANCE AREA: 5,800 SQ APPROX  
HEIGHT OF CUT/FILL: 0.2' - 2' - 2'  
AMOUNT OF CUT: 70 CY  
AMOUNT OF FILL: 70 CY  
AMOUNT OF IMPORT/EXPORT OF SOIL: 0 CY

**CONSTRUCTION NOTES:**

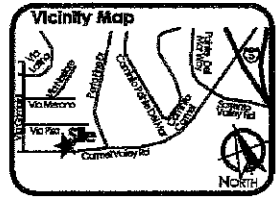
- 1. PROPOSED PAVED/CONC. DRIVEWAY (PRIVATE)
- 2. CONC. WALKWAY
- 3. PROPOSED SITE WALL/FENCE PER ARCHITECTURAL PLANS
- 4. PROPOSED 1" WATER METER AND BACK FLOW
- 5. PROPOSED 4" SEWER LATERAL
- 6. PROPOSED 24"x24" CATCH BASIN - RAISED 10" FROM BOTTOM OF BASIN
- 7. PROPOSED 6" CLEAN OUT - TYPICAL
- 8. PROPOSED ROOF DOWNSPOUT TO W/O AND HWP FACILITIES
- 9. NOT USED
- 10. PROPOSED 6" PVC SCHEDULE 40
- 11. PROPOSED RETAINING WALL
- 12. PROPOSED BUILDING WALL
- 13. PROPOSED 4" PERFORATED PIPE
- 14. PROPOSED BIO FILTRATION FACILITY
- 15. PROPOSED ROOF GUTTER TO DOWNSPOUT
- 16. EX. DRIVEWAY TO BE REPLACED WITH NEW PER 5200-120 (3' AWAY FROM FL)
- 17. PROPOSED 18" WIDE TRENCH DRAIN
- 18. PROPOSED 18" RCP CONNECT TO (6) INLET
- 19. PROPOSED 2"-5" DIAMETER CORE DRILLED HOLES AT TOP OF WALL TO ALLOW FREE FLOW OF WATER TO NEXT SECTION OF BIO-FILTRATION FACILITY - SEE DETAIL SHEET D-2
- 20. PROPOSED UNDERGROUND STORAGE FOR PEAK FLOW ATTENUATION

**CERTIFICATION AND DECLARATION OF RESPONSIBLE ENGINEER**

1. I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CARE OVER THE SUBMITTAL AS DEFINED IN SECTION 4700 OF THE BUSINESS AND PROFESSIONS CODE.  
2. I CERTIFY THAT I HAVE PERFORMED RESPONSIBLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.

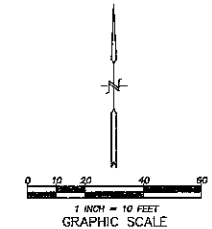
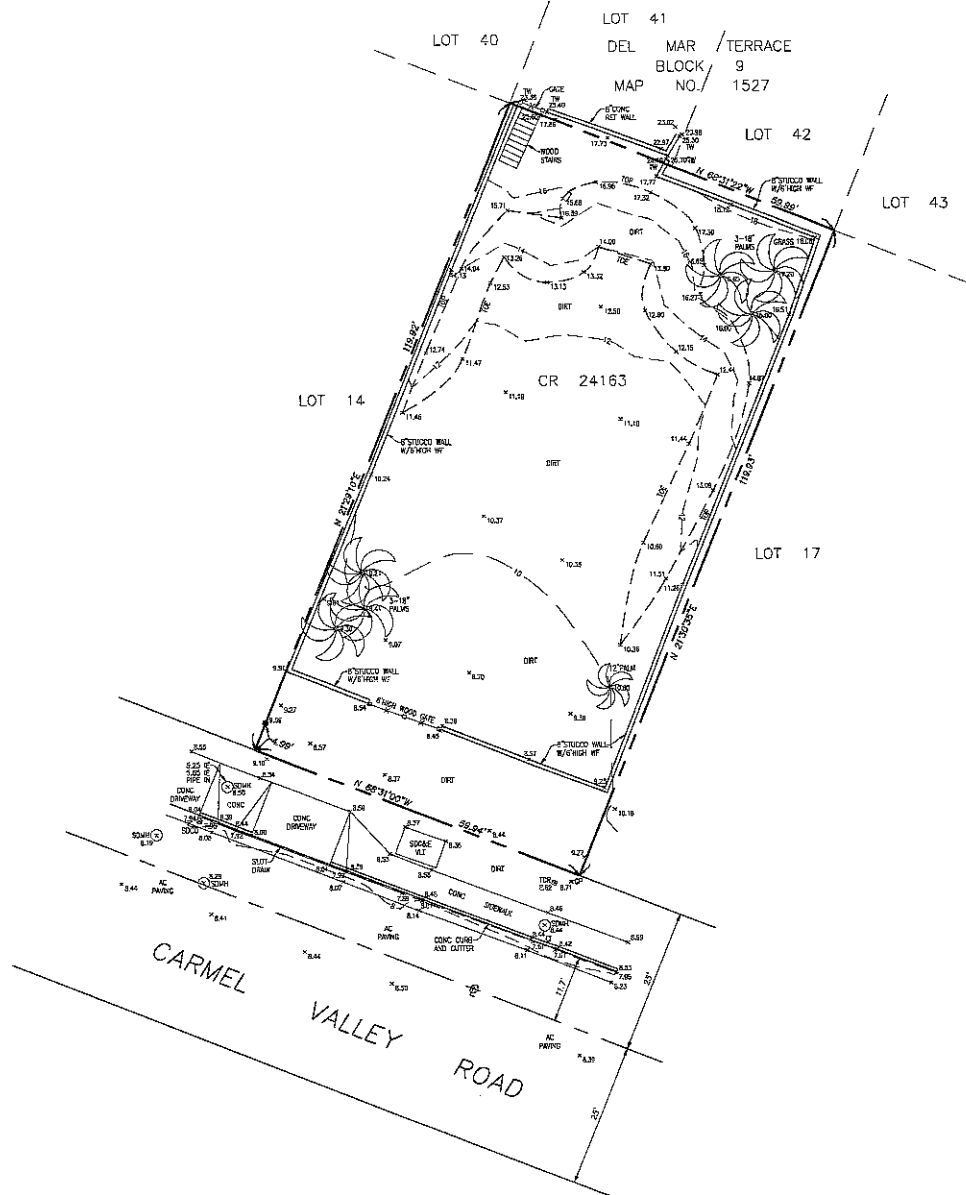
**ENGINEER OF WORK**

MELLER LINDY  
R.C.E. 81085  
DATE: 10/10/2018  
EXPIRES ON 04/30/19



PROJECT IDENTIFICATION:	
MAYORQUIN RESIDENCE	
LOT S 15-16 MAP 1527	
2560 CARMEL VALLEY ROAD	
SAN DIEGO, CA 92104	
APN# 301-123-23	
OWNER: JOSE MAYORQUIN	
PROJECT NO: 445196	
DATE: December 10, 2018	
SHEET TITLE	
GRADING & DRAINAGE PLAN	
C-1	
SHEET 1 OF 2	





**LEGEND AND ABBREVIATIONS**

- PROPERTY LINE
- - - - - EXISTING CONTOURS AT 2' INTERVALS
- FOUND 3/4" IRON PIPE AND DISK "RICE 33550" PER CR 24163
- AC ASPHALT
- CI CURB INLET
- CONC CONCRETE
- CR CORNER RECORD
- GP GUARD POST
- IE INVERT ELEVATION
- RET RETAINING
- SDCO STORM DRAIN CLEANOUT
- SDM STORM DRAIN MANHOLE
- SDMGE SAN DIEGO GAS & ELECTRIC
- TEL TELMGM RISER
- TSE TOE OF SLOPE
- TOP TOP OF SLOPE
- TW TOP OF WALL
- V.V.T VAULT
- W/ WITH
- WF WOOD FENCE

**BENCH MARK**  
 CITY OF SAN DIEGO BENCH MARK NO. 4732,  
 BRASS PLUG LOCATED ON THE NORTHWEST  
 CORNER RETURN AT THE INTERSECTION OF  
 CARMEL VALLEY RD. AND POINTE DEL MAR WAY.  
 ELEVATION: 16.392 FEET

- GENERAL NOTES**
- 1.) BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY AND RECORD DATA PER CORNER RECORD NO. 24163.
  - 2.) ASSESSOR'S PARCEL NUMBER: 301-123-23.
  - 3.) LOT AREA = 7,191 S.F. / 0.165 ACRE

NO.	DATE	APPRO.

**CIREMELE SURVEYING INC.**  
 164 S. ESCONDIDO BLVD.  
 ESCONDIDO, CA 92025  
 (760) 489-2200  
 CIRSURV@SBCGLOBAL.NET

DATE: 5/9/17	SCALE: 1"=10'	DRAWN: [Signature]	CHECKED: [Signature]	CC: [Signature]
PROJECT: CARMEL VALLEY ROAD DEL MAR, CA 92014				
SHEET NO. 1	OF SHEETS 1			DATE OF CALCULATION: [Blank]

