



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 19, 2021 REPORT NO. HO-21-026

HEARING DATE: May 26, 2021

SUBJECT: Greyhound CUP - Process Three Decision

PROJECT NUMBER: [660146](#)

OWNER/APPLICANT: San Diego Metropolitan Transit System, Owner / Steve Bossi, Applicant

SUMMARY

Issue: Should the Hearing Officer allow a five-year extension of the temporary operations of an existing bus transportation terminal at 1313 National Avenue, in the East Village neighborhood of the Downtown Community Plan area?

Staff Recommendation: APPROVE Conditional Use Permit No. 2436567.

Community Planning Group Recommendation: On July 15, 2020, the Downtown Community Planning Council voted 20 to 2 to recommend approval of the project with conditions.

Environmental Review: The Development Services Department completed a CEQA review for the Greyhound CUP Amendment Project. The Environmental Analysis Section (ESA) determined that the Project is consistent with the previously certified City of San Diego Downtown Environmental Impact Report (SCH# 2003041001). Development within the Downtown Community Planning area is covered under the following documents, all referred to as the "Downtown FEIR": Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Centre City Redevelopment Plan, certified by the former Redevelopment Agency ("Former Agency") and the City Council on March 14, 2006 (Resolutions R04001 and R-301265, respectively); subsequent addenda to the FEIR certified by the Former Agency on August 3, 2007 (Former Agency Resolution R-04193), April 21, 2010 (Former Agency Resolution R04510), and August 3, 2010 (Former Agency Resolution R-04544), and certified by the City Council on February 12, 2014 (City Council Resolution R-308724), July 14, 2014 (City Council Resolution R-309115), and November 17, 2020 (City Council Resolution R-313302; and, the Final Supplemental Environmental Impact Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution R-310561). Development within the Downtown Community Planning area is also covered under the following documents, all referred to as the "CAP FEIR": FEIR for the City of San Diego Climate Action Plan (CAP), certified by the City Council on December 15, 2015 (City Council Resolution R-310176), and the Addendum to the CAP, certified by the City Council on July 12,

2016 (City Council Resolution R-310595). The Downtown FEIR and CAP FEIR are both "Program EIRs" prepared in compliance with California Environmental Quality Act (CEQA) Guidelines Section 15168. The information contained in the Downtown FEIR and the CAP FEIR reflects the independent judgement of the City of San Diego as the Lead Agency. The Downtown FEIR and CAP FEIR are both "Program EIRs" prepared in compliance with California Environmental Quality Act (CEQA) Guidelines Section 15168. The information contained in the Downtown FEIR and the CAP FEIR reflects the independent judgement of the City of San Diego as the Lead Agency. The Downtown FEIR and CAP FEIR are located on the City of San Diego website ([https://www.sandiego.gov/planning/programs/ceqa#Final CEQA Documents](https://www.sandiego.gov/planning/programs/ceqa#Final%20CEQA%20Documents)). The environmental impacts of the project were adequately addressed in the Downtown FEIR and CAP FEIR; the project is within the scope of the development program described in the Downtown FEIR and CAP FEIR and is adequately described within both documents for the purposes of CEQA; and, none of the conditions listed in CEQA Guidelines Section 15162 exist. Therefore, no further environmental documentation is required under CEQA.

BACKGROUND

The 0.29-acre premise is located on a triangular-shaped lot bounded by National Avenue, 13th Street, and Commercial Street in the Mixed Commercial land use district of the Centre City Planned District (CCPD-MC zone), Large Floor Plate Overlay, Airport Influence Area (San Diego International Airport Review Area 2), and the Transit Priority Area within the East Village neighborhood of the Downtown Community Plan (DCP). The surrounding parcels to the north, south, and east are located within the CCPD-MC zone and the parcels to the west are in the CCPD-BP zone. Surrounding land uses include:

- North: Surface parking lot (MTS-owned)
- West: 10-story office (MTS Headquarters and Trolley Station)
- South: Single-story light industrial (MTS facility)
- East: 14th & Commercial residential development

On September 30, 2011, the Centre City Development Corporation Hearing Officer approved Conditional Use Permit (CUP) No. 2011-49 to allow the temporary operations of a bus transportation terminal on the site after the lease at the facilities former location expired. CUP No. 2011-49 was issued with a five-year term and expired on October 14, 2016. On February 22, 2018, the Civic San Diego Hearing Officer approved CUP No. 2017-41 to allow the continued temporary operations of the bus terminal for an additional two years.

The current application was filed on March 2, 2020, prior to the expiration of CUP No. 2017-41 (March 8, 2020). The Applicant is seeking approval of a CUP to allow the continued temporary operation of the facility for a period of five years, until a more permanent site for the facility is selected. The Metropolitan Transit System (MTS) issued a Request for Proposals (RFP) for the redevelopment of the site in early 2020. The approval of the requested CUP will allow the existing facility to continue to operate in compliance with the land use permit requirements of the San Diego Municipal Code (SDMC) until a permanent site for the facility is identified and until the existing site is redeveloped by MTS.

DISCUSSION

Project Description

The existing bus transportation terminal contains an 828-square-foot ticketing and office building, a 432-square-foot restroom building, a 171-square-foot storage area, and accessory on-site private improvements. The property owner, MTS, exercised its land use authority as a state agency to allow the installation of the described temporary modular buildings in 2011 when the facility was originally established that would have otherwise required review and approval of a Planned Development Permit, as they do not comply with certain development regulations of the Centre City Planned District Ordinance (CCPDO), such as minimum floor area ratio (FAR), street wall height, etc. The private use of the facility for the Greyhound bus service operations is, however, subject to the CCPDO land use regulations and required permits. No new floor area, changes to the existing structures, or change of use are proposed, and all existing structures at the facility were constructed to be temporary and utilized modular buildings.

CUP

Pursuant to CCPDO Section 156.0308(a) and Table 156-0308-A, transportation terminals require approval of a CUP in the Mixed Commercial land use district (CCPD-MC zone). The CUP procedure establishes a review process for the development of uses that may be desirable under certain circumstances but are not permitted by right. The intent of these procedures is to review these uses on a case-by-case basis to determine whether and under what conditions such a use may be approved at a given site. A CUP is a Process Three decision made by the Hearing Officer at a noticed public hearing. The Hearing Officer's decision is appealable to the Planning Commission.

Neighborhood Context

The East Village is one of Downtown's largest, fastest changing, and most diverse neighborhoods. The area will develop as a residential district complemented by Neighborhood Centers, employment areas, flexible use zones, and public spaces. New uses will exist in close proximity to existing ones in mixed commercial zones, creating a diverse urban environment, with residential uses throughout. Ultimately, East Village is projected to contain up to 46,000 residents. The DCP describes development in the Southeast Sub-District of East Village as becoming an eclectic area with a mix of housing types, and the interest and intrigue that accompany diverse environments. Much of this sub-district is intended for a "fine grain" scale of development with multiple buildings per block, and lower building intensity than most other neighborhoods. Zoning will allow a mix of residential, office, retail, and convention center growth, while retaining light industrial uses and support infrastructure. In general, building intensity will be in the low to middle range for Downtown and much higher than it is at present.

Applicable DCP Goals and Policies

- Provide for an overall balance of uses - employment, residential, cultural, government, and destination - as well as a full compendium of amenities and services. (3.1-G-2).
- Foster redevelopment of the Southeast Sub-District with an urban mix of new residents and a variety of housing types, employees, artists, and conventioners, while preserving light industrial and commercial service functions that serve Downtown. (6.5-G-3).
- A land use pattern that supports a flexible, fast, frequent, and safe transit system, providing connections within Downtown and beyond. (7.3-G-1).

- Increased transit use among Downtown residents, workers, and visitors. (7.3-G-3).
- Coordinate with agencies responsible for planning, implementing, building, and operating public transportation infrastructure and serves to provide bus service modifications to improve service, and to increase transit accessibility when the internal shuttle and Rapid Bus service begin. (7.3.P-3).
- Encourage increased transit capacity into Downtown. (7.3-P-14).

Conclusion

Staff supports the request for a new CUP to allow the existing operations to continue for a period of five years given MTS' planned redevelopment of the site. No issues have been reported regarding the existing operations on the premises, and the immediate neighborhood remains underdeveloped, as it was when the previous CUP was approved in 2018. In addition, the Engineering requirements have been added to the draft permit (Attachment 5) to ensure the site is brought into compliance with current public improvement City Standards, and the Planning requirements will ensure the

The Project complies with the requirements of the CCPD-MC zone with the approval of a CUP, the use complies with all applicable sections of the Land Development Code, and the use is compatible with the goals and policies of the Downtown Community Plan. Staff has prepared draft findings to approve the Project and recommends approval of Conditional Use Permit No. 2436567.

ALTERNATIVES

1. Approve 2436567, with modifications.
2. Deny Conditional Use Permit No. 2436567, if the findings required to approve the project cannot be affirmed.

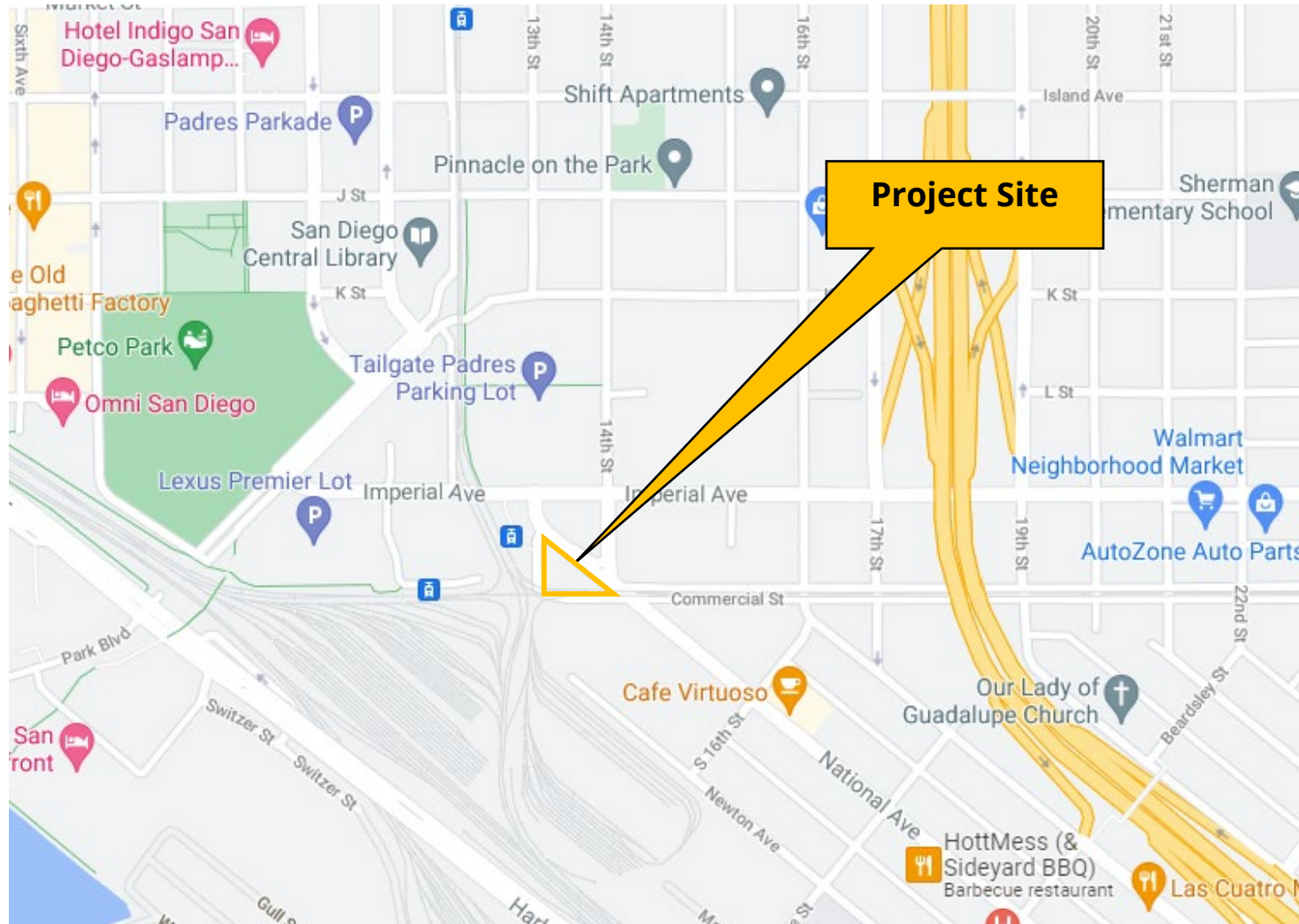
Respectfully submitted,



Nicole Pare, Associate Planner

Attachments:

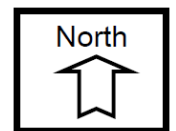
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Copy of Recorded CUP No. 2011-47
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans

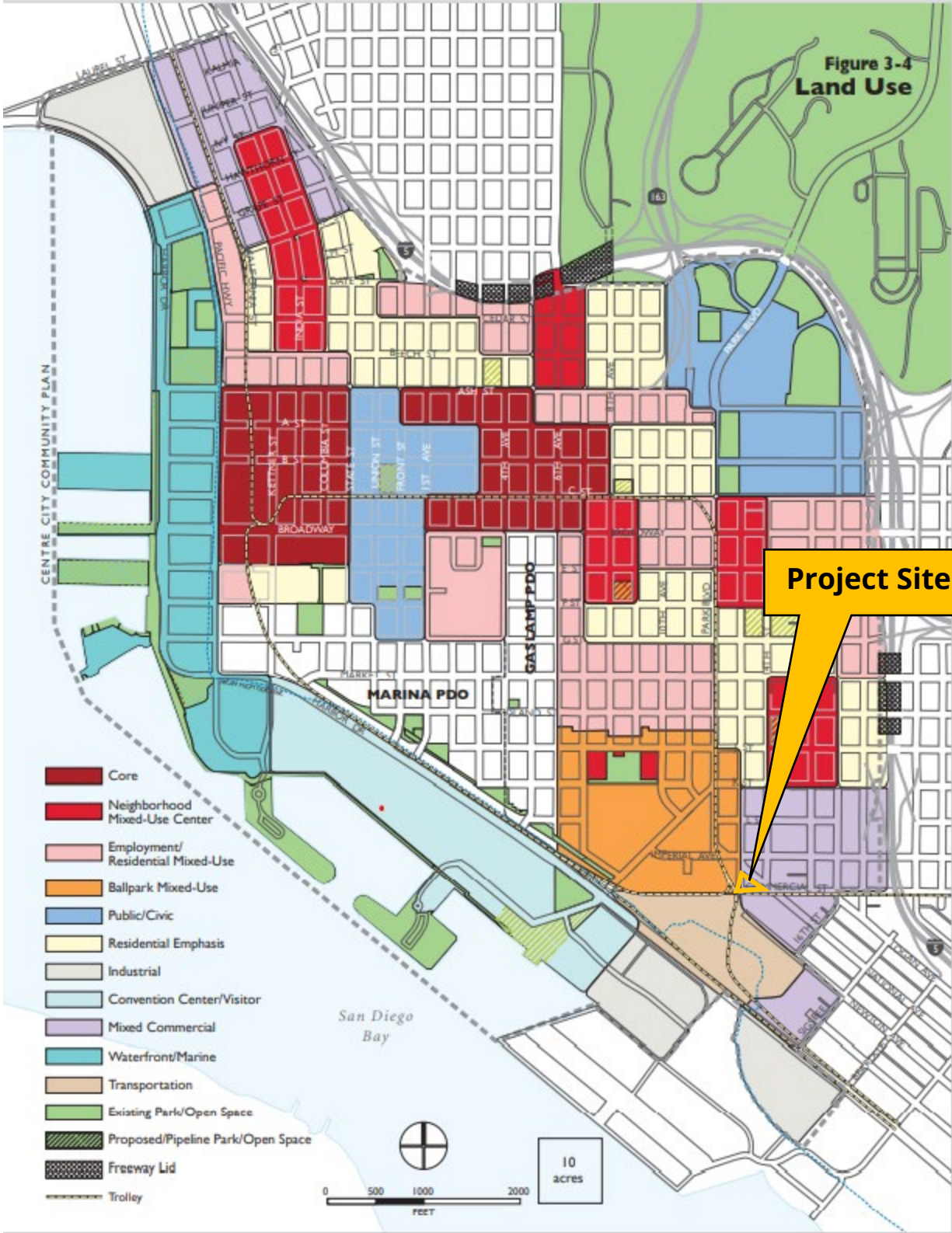


Project Location Map

GREYHOUND CUP

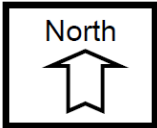
Project No. 660146 - 1313 National Avenue





Community Plan Land Use Map

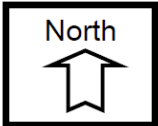
GREYHOUND CUP
Project No. 660146 – 1313 National Avenue





Aerial Photograph

GREYHOUND CUP
Project No. 660146 – 1313 National Avenue



HEARING OFFICER
RESOLUTION NO. _____
CONDITONAL USE PERMIT NO. 2436567
GREYHOUND BUS TERMINAL CUP PROJECT NO. 660146

WHEREAS, METROPOLITIAN TRANSIT SYSTEMS, Owner/Permittee, filed an application with the City of San Diego for a Conditional Use Permit to allow the continued temporary operation of an approximately 15,427-square-foot bus transportation terminal at 1313 National Avenue for a period of five years (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2436567, on portions of a 0.29-acre site;

WHEREAS, the project site is located at 1313 National Avenue in the Mixed Commercial land use district of the Centre City Planned District (CCPD-MC zone) within the Downtown Community Plan area;

WHEREAS, the project site is legally described as all that portion of Block 153 of Horton's Addition, in the City of San Diego, County of San Diego, State of California, according to map thereof on file in the Office of the County Recorder of said San Diego County, lying southwesterly of National Avenue, as said avenue is now located and established through said Block 153 on the ground;

WHEAREAS, development within the Downtown Community Planning area is covered under the following documents, all referred to as the "Downtown FEIR": Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Centre City Redevelopment Plan, certified by the former Redevelopment Agency ("Former Agency") and the City Council on March 14, 2006 (Resolutions R-04001 and R-301265, respectively); subsequent addenda to the FEIR certified by the Former Agency on August 3, 2007 (Former Agency Resolution R-04193), April 21, 2010 (Former Agency Resolution R-04510), and August 3, 2010 (Former Agency Resolution R-04544), and certified by the City Council on February

12, 2014 (City Council Resolution R-308724), July 14, 2014 (City Council Resolution R-309115), and November 17, 2020 (City Council Resolution R-313302); and, the Final Supplemental Environmental Impact Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution R-310561). Development within the Downtown Community Planning area is also covered under the following documents, all referred to as the "CAP FEIR": FEIR for the City of San Diego Climate Action Plan (CAP), certified by the City Council on December 15, 2015 (City Council Resolution R-310176), and the Addendum to the CAP, certified by the City Council on July 12, 2016 (City Council Resolution R-310595). The Downtown FEIR and CAP FEIR are both "Program EIRs" prepared in compliance with California Environmental Quality Act (CEQA) Guidelines Section 15168. The information contained in the Downtown FEIR and the CAP FEIR reflects the independent judgement of the City of San Diego as the Lead Agency and has been reviewed and considered by the decision maker before approving the project. The environmental impacts of the project were adequately addressed in the Downtown FEIR and CAP FEIR; the project is within the scope of the development program described in the Downtown FEIR and CAP FEIR and is adequately described within both documents for the purposes of CEQA; and, none of the conditions listed in CEQA Guidelines Section 15162 exist. Therefore, no further environmental documentation is required under CEQA.

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit NO. 2436567:

A. [CONDITIONAL USE PERMIT San Diego Municipal Code [SDMC] section 126.0305]:

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed project is a request for a Conditional Use Permit (CUP) to allow the continued operation of a bus transportation terminal for a period of five years at an

existing 15,427-square-foot premises located at 1313 National Avenue. The 0.29-acre site is located on a triangular-shaped lot bounded by National Avenue, 13th Street, and Commercial Street in the Mixed Commercial land use district of the Centre City Planned District (CCPD-MC zone), Large Floor Plate Overlay, Airport Influence Area (San Diego International Airport Review Area 2), and the Transit Priority Area within the East Village neighborhood of the Downtown Community Plan (DCP). The surrounding parcels to the north, south, and east are located within the CCPD-MC zone and the parcels to the west are in the CCPD-BP zone.

The proposed Project is consistent with the goals of the DCP, which include reduction of auto dependency, encouraging transit use, working with other agencies to support improvements that accommodate transit, and the provision of a flexible, fast, frequent, and safe transit system that provides connections within Downtown and beyond. Therefore, the proposed use will not adversely affect the applicable land use plan as it adheres to the Centre City Planned District Ordinance (CCPDO) with approval of a CUP.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed use will not be detrimental to the public health, safety, and welfare of the community when operated with the recommended conditions of approval. Conditions of approval include bus arrival and departure times that have minimal impacts on the welfare of the surrounding neighborhoods by traversing predominantly commercial and industrial properties that will not be significantly impacted by bus operations.

In addition, the conditions of approval ensure the property is properly maintained, kept clean from litter and graffiti, and provides adequate lighting and security for safety. Furthermore, Engineering requirements have been included to bring the adjacent public right-of-way into compliance with current City Standards for curb, gutter, and sidewalk improvements, and a condition requiring the closure of the underutilized driveways on the site has also been included. Therefore, the proposed use will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The CUP for the project includes various conditions and corresponding exhibits of approval relevant to achieving compliance with the SDMC regulations for a Transportation Terminal in the CCPD-MC zone, which include parking, lighting, security measures, site maintenance, and public improvements. No variance or deviations are requested as part of this application, nor are any required to approve the CUP. Therefore, the proposed development will comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The site is located near the southern boundary of the Southeast sub-district of the East Village neighborhood. This sub-district is expected to be comprised of middle-to-low intensity buildings with a mix of uses, while retaining light industrial uses and support infrastructure. The majority of uses currently surrounding the site are transportation and parking related. The 14th & Commercial residential development to the east contains 403 affordable dwelling units and the bus transportation terminal provides a transportation amenity to the residents in the neighborhood.

As envisioned in the DCP, it is important to provide transit options in diverse and dense residential/mixed-use areas. The Project site is a logical and appropriate location for an interim temporary transportation terminal. The proposed use is adjacent to the MTS Trolley Station, which serves as a key hub and transfer point for bus and trolley operations. Incoming passengers from across the country will have direct access to the local trolley and bus systems. Therefore, the Project is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit NO. 2436567 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2436567, a copy of which is attached hereto and made a part hereof.

Nicole Pare
Associate Planner, Urban Division
Development Services

Adopted on: May 26, 2021

IO#: 24008626

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008626

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITONAL USE PERMIT NO. 2436567
GREYHOUND BUS TERMINAL CUP PROJECT NO. 660146
HEARING OFFICER

This Conditional Use Permit No. 2436567 is granted by the Hearing Officer of the City of San Diego to Metropolitan Transit System, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0303(a) and 156.0304(c)(3). The 0.29-acre site is located at 1313 National Avenue in the Mixed Commercial land use district within the East Village neighborhood of the Downtown Community Plan area. The project site is legally described as: All that portion of Block 153 of Horton's Addition, in the City of San Diego, County of San Diego, State of California, according to map thereof on file in the Office of the County Recorder of said San Diego County, lying southwesterly of National Avenue, as said avenue is now located and established through said Block 153 on the ground.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee to allow the operation of an interim temporary bus transportation terminal for bus operations only, as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 26, 2021, on file in the Development Services Department.

The project shall include:

- a. Operation of an interim temporary bus transportation terminal for a period of no more than five years at an existing 15,427-square-foot facility located at 1313 National Avenue.
- b. Off-street parking;
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 9, 2024.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on June 10, 2026. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the commencement of the use associated with this Conditional Use Permit, the Owner/Permittee shall assure, by permit and bond, the closure of the non-utilized driveway, adjacent to the site on 13th Street (northern driveway) with current City Standard sidewalk, curb, and gutter, satisfactory to the City Engineer.

13. Prior to the commencement of the use associated with this Conditional Use Permit, the Owner/Permittee shall assure, by permit and bond, the reconstruction the existing curb ramp at the corner of 13th and Commercial streets, with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with Detectable/Tactile Warning Tile, satisfactory to the City Engineer.

14. Prior to the commencement of the use associated with this Conditional Use Permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

15. Prior to the commencement of the use associated with this Conditional Use Permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards, chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

16. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
17. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
18. All staging/queuing of buses shall take place on-site and out of the public right-of-way. Buses shall not be parked or staged in the public right-of-way.
19. Arrival and departure routes shall be as shown on the approved Exhibit "A" for the project. Any proposed change shall be reviewed and approved by the Development Services Department.
20. The Owner/Permittee shall be responsible for maintaining the bus transportation terminal clean and free of litter at all times and shall be responsible for daily clean-up of all debris and trash on the lot. The subject property and associated on-site improvements shall be maintained clean and free of graffiti at all times.
21. All refuse and recyclable materials storage areas located outside of the structure(s) shall be screened with a six-foot high solid screening enclosure that is designed to be architecturally compatible with the primary structure.
22. One security guard shall be present on-site at all times.
23. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

ATTACHMENT 5

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 26, 2021 and ____.

DRAFT

ATTACHMENT 5

Permit Type/PTS Approval No.: 2436567
Date of Approval: May 26, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nicole Pare
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Metropolitan Transit Systems
Owner/Permittee

By _____
Tim Allison
Manager of Real Estate

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

DOC# 2018-0111531



Mar 21, 2018 02:59 PM

OFFICIAL RECORDS

Ernest J. Dronenburg, Jr.,

SAN DIEGO COUNTY RECORDER

FEES: \$116.00 (SB2 Atkins: \$75.00)

PAGES: 10

RECORDING REQUESTED BY:

Civic San Diego
401 B Street, Suite 400
San Diego, CA 92101

AND WHEN RECORDED MAIL TO:

Civic San Diego
401 B Street, Suite 400
San Diego, CA 92101

THIS SPACE FOR RECORDER'S USE ONLY

*NOTE: COUNTY RECORDER, PLEASE RECORD AS
RESTRICTION ON USE OR DEVELOPMENT
OF REAL PROPERTY AFFECTING THE TITLE
TO OR POSSESSION THEREOF*

**CENTRE CITY PLANNED DISTRICT
CONDITIONAL USE PERMIT NO. 2017-41**

**GREYHOUND INTERIM TRANSPORTATION TERMINAL
1313 NATIONAL AVENUE
APN 535-612-01-00**

**CENTRE CITY PLANNED DISTRICT
CONDITIONAL USE PERMIT NO. 2017-41**

**GREYHOUND INTERIM TRANSPORTATION TERMINAL
1313 NATIONAL AVENUE
APN 535-612-01-00**

This Conditional Use Permit (CUP) No. 2017-41 is granted by Civic San Diego (“CivicSD”) Hearing Officer to G. Bradford Saunders on behalf of BriceHouse Starboard, LLC, Permittee, and Tim Allison on behalf of San Diego Metropolitan Transit System, Owner, pursuant to San Diego Municipal Code (SDMC) Sections 126.0304, 126.0305, 156.0304, 156.0308 and 156.0315 to allow an interim transportation terminal. The 15,427 square-foot (SF) site, as shown on the plans on file in the Civic San Diego (“CivicSD”) Planning Department, is located at 1313 National Avenue in the East Village neighborhood of the Downtown Community Plan Area. The development site is legally described as all that portion of Block 153 of Horton’s Addition, in the City of San Diego, County of San Diego, State of California, according to map thereof on file in the Office of the County Recorder of said San Diego County, lying southwesterly of National Avenue, as said avenue is now located and established through said Block 153 on the ground;


Subject to the terms and conditions set forth in this Permit, CUP No. 2017-41 is GRANTED to the Owner/Permittee to allow an interim transportation terminal as described and identified by size, dimension, quantity, type and location as follows and on the approved exhibit on file in the CivicSD Planning Department.

1. This Permit is for the operation of an interim temporary transportation terminal for bus operations only. The interim transportation terminal will allow bus operations to continue at 1313 National Avenue for two (2) years from the expiration of the appeal period for the permit (March 8, 2018). If an extension is requested, it shall be reviewed in accordance with all applicable Centre City Planned District Ordinance (CCPDO) and San Diego Municipal Code (SDMC) regulations in effect at the time of the request. Due to the temporary nature of the facility, the existing modular kiosk buildings and other on-site improvements were approved as-built by the San Diego Metropolitan Transit System as a land use authority as a state agency and do not conform to the development regulations of the CCPDO.
2. All staging/queuing of buses shall take place on-site and out of the public right-of-way. Buses shall not be parked or staged in the public right-of-way.
3. Arrival and departure routes shall be as shown in the approved plans for the Project on file with CivicSD. Any proposed change shall be reviewed and approved by CivicSD.
4. The Permittee shall be responsible for maintaining the transportation terminal clean and free of litter at all times and shall be responsible for daily clean-up of all debris and trash on the lot. The subject property and associated on-site improvements shall be maintained clean and free of graffiti at all times.

5. All proposed refuse and recyclable materials storage areas located outside of the structure(s) shall be screened with a six-foot high solid screening enclosure that is design to be architecturally compatible with the primary structure.
6. The Permittee shall provide lighting to maintain security and safety within the lot. All lighting shall be shielded from surrounding uses.
7. One security guard shall be present on-site at all times.
8. This Permit may be revoked by CivicSD if there is a material breach or default in any of the conditions of this permit. If the business creates a nuisance to the surrounding neighborhood, based on a determination of the President of CivicSD, this permit may be revoked after the holding of a public hearing.
9. This Permit shall not become effective until:
 - a. The Permittee signs and returns the Permit to CivicSD; and
 - b. The Permit is recorded in the Office of the County Recorder.
10. After establishment of the business, the Property shall not be used for other uses unless:
 - a. Authorized by CivicSD; or
 - b. The uses are consistent with all zoning and development regulations of the CCPDO; or
 - c. This permit has been revoked by CivicSD.
11. This Permit is a Covenant running with the lands and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.
12. The owner or operator shall adhere to all Federal, State and local laws, ordinances and regulations at all times.
13. The owner or operator shall maintain the CUP and other business licenses in the establishment and shall make these documents available to anyone lawfully engaged in the inspections of the premises.
14. The Owner/Permittee shall defend, indemnify, and hold harmless CivicSD and the City (collectively referred to as "City"), its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation

reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

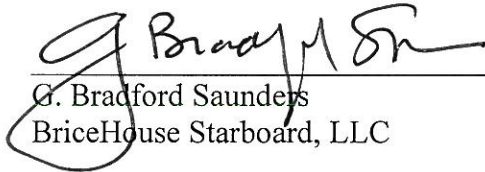
ADOPTED AND APPROVED BY THE CIVICSD HEARING OFFICER ON FEBRUARY 22, 2018.


 3/9/18
James Alexander Date
Associate Planner

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

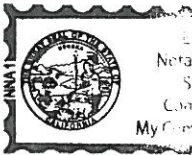
Permittee:

Permittee:

 3/12/18
G. Bradford Saunders Date
BriceHouse Starboard, LLC


PAUL C. JABLONSKI Date
San Diego Metropolitan Transit System

Note: Notary acknowledgement must be attached per Civil Code Section 1189 et seq.



**CIVIC SAN DIEGO
HEARING OFFICER
RESOLUTION NO. 2018-02
CONDITIONAL USE PERMIT NO. 2017-41
GREYHOUND INTERIM TRANSPORTATION TERMINAL**

WHEREAS, G. Bradford Saunders on behalf of BriceHouse Starboard, LLC, Permittee, and Tim Allison on behalf of San Diego Metropolitan Transit System, Owner, filed an application with Civic San Diego (“CivicSD”) for Conditional Use Permit (CUP) No. 2017-41 to allow an interim transportation terminal for Greyhound located at 1313 National Avenue in the East Village neighborhood of the Downtown Community Plan Area;

WHEREAS, the project site is legally described as all that portion of Block 153 of Horton’s Addition, in the City of San Diego, County of San Diego, State of California, according to map thereof on file in the Office of the County Recorder of said San Diego County, lying southwesterly of National Avenue, as said avenue is now located and established through said Block 153 on the ground; and,

WHEREAS, on February 22, 2018, the CivicSD Hearing Officer held a duly noticed public hearing and considered CUP No. 2017-41, including a staff report and recommendation, and public testimony, pursuant to Sections 126.0304, 126.0305, 103.1904, 103.1925 and 103.1919 of the Municipal Code of the City of San Diego; and,

WHEREAS, Development within the Downtown Community Planning area is covered under the following documents, all referred to as the “Downtown FEIR”: Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Centre City Redevelopment Plan, certified by the former Redevelopment Agency (“Former Agency”) and the City Council on March 14, 2006 (Resolutions R-04001 and R-301265, respectively); subsequent addenda to the FEIR certified by the Former Agency on August 3, 2007 (Former Agency Resolution R-04193), April 21, 2010 (Former Agency Resolution R-04510), and August 3, 2010 (Former Agency Resolution R-04544), and certified by the City Council on February 12, 2014 (City Council Resolution R-308724) and July 14, 2014 (City Council Resolution R-309115); and, the Final Supplemental Environmental Impact Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution R-310561). Development within the Downtown Community Planning area is also covered under the following documents, all referred to as the “CAP FEIR”: FEIR for the City of San Diego Climate Action Plan (CAP), certified by the City Council on December 15, 2015 (City Council Resolution R-310176), and the Addendum to the CAP, certified by the City Council on July 12, 2016 (City Council Resolution R-310596). The Downtown FEIR and CAP FEIR are both “Program EIRs” prepared in compliance with California Environmental Quality Act (CEQA) Guidelines Section 15168. The information contained in the Downtown FEIR and the CAP FEIR reflects the independent judgement of the City of San Diego as the Lead Agency and has been reviewed and considered by the decision maker before approving the project. The environmental impacts of the project were adequately addressed in the Downtown FEIR and CAP FEIR; the project is within the scope of the development program described in the Downtown FEIR and CAP FEIR and is adequately described within both documents for the purposes of CEQA; and, none of the conditions listed in CEQA Guidelines Section 15162 exist. Therefore, no further environmental documentation is required under CEQA.

RESOLUTION NO. 2018-02
 CUP NO. 2017-41
 1313 NATIONAL AVENUE

BE IT RESOLVED, by the CivicSD Hearing Officer as follows:

That the CivicSD Hearing Officer adopts the following written findings dated February 22, 2018.

1. *The proposed use or development will not adversely affect the applicable land use plan;*

The proposed Project is consistent with the goals of the DCP, which include reduction of auto dependency, encouraging transit use, working with other agencies to support improvements that accommodate transit, and the provision of a flexible, fast, frequent, and safe transit system that provides connections within Downtown and beyond. Additionally, the proposed use will not adversely affect the applicable land use plan as it adheres to the CCPDO with approval of a CUP.

2. *The proposed use or development will not be detrimental to the public health, safety and welfare;*

The proposed use will not be detrimental to the public health, safety, and welfare of the community when operated with the recommended conditions of approval. Conditions of approval include bus arrival and departure times that have minimal impacts on the welfare of the surrounding neighborhoods by traversing predominantly commercial and industrial properties that will not be significantly impacted by bus operations. The conditions of approval also ensure the maintenance of the property by keeping it clean and free of litter and graffiti and providing lighting and a security guard for safety.

3. *The proposed use or development will comply to the maximum extent feasible with the regulations of the Land Development Code; and*

The proposed use is consistent with the CCPDO and the DCP with approval of a CUP. The use will be required to comply with all applicable regulations, codes, conditions of approval, including the San Diego Municipal Code and the requirements of the SDPD.

4. *The proposed use is appropriate at the proposed location.*

The site is located near the southern boundary of the Southeast sub-district of the East Village neighborhood. This sub-district is expected to be comprised of middle-to-low intensity buildings with a mix of uses, while retaining light industrial uses and support infrastructure. The majority of uses currently surrounding the site are transportation and parking related. MTS owns property on three sides of the site, with Petco Park's Tailgate Parking Lot located to the north. The Saint Vincent De Paul campus is to the east, which is planning their 14th & Commercial residential development containing 444 affordable housing units

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Diego)
On March 9, 2018 before me, Nicole Marie Pare, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared James Alexander
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Nicole Marie Pare
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Document Date:
Number of Pages: Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name: Signer's Name:
Corporate Officer - Title(s):
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

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State of California)

County of San Diego)

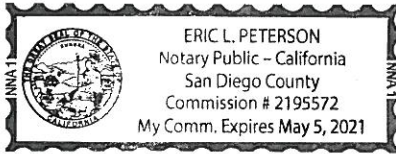
On 3/12/2018 before me, Eric L. Peterson, Notary Public, Here Insert Name and Title of the Officer

personally appeared G. Bradford Saunders, Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

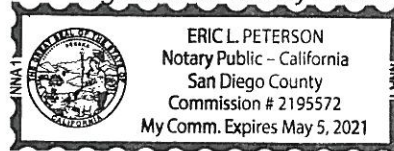
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]

Signature of Notary Public



Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

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Signer's Name:

- Corporate Officer - Title(s):
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:

Signer Is Representing:

Signer's Name:

- Corporate Officer - Title(s):
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:

Signer Is Representing:

ACKNOWLEDGMENT

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State of California
County of San Diego)

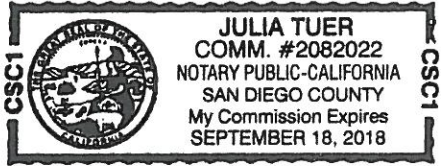
On March 13, 2018 before me, Julia Tuer, Notary Public
(insert name and title of the officer)

personally appeared Paul Jablonski,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Julia Tuer (Seal)



**DOWNTOWN COMMUNITY PLANNING COUNCIL
MINUTES OF THE MEETING OF JUL 15, 2020
Zoom Meeting 850 9411 1844 (recorded)**

Call to Order: Chair Bill Orabone (President) @ 5:36 pm.

- 1. Roll Call:** Noted that 22 of 27 current members were present, constituting a quorum. •
Members Present @ Call to Order: Ahmed, Baker, Barbano, Blair, Collin, DiFrancesca, Dion, Eddy, Egan, Gattley, Link, Maliepaard, Meloncelli, Moore, Orabone, Pensabene, Priver, Ramos, Russell, Swearingen, Wery, Wilson-Ramon • **Late Arrival:** Takara, Trimble
• **Members Absent:** Duke, Hunt, Segal
• **Early Departure:** Egan

2. Public Comments on Non-Agenda Items –

- Sara Davis, Candidate for CA Assembly 78th District briefly introduced herself and issues. <https://www.votesarahdavis.com/about/>

3. Public Safety – Marlo Woods, SDPD, Central Division, Community Relations Officer

- **Comment re recent unrest and protests – SDPD forces were spread thin to maintain proactive stance**
- **COVID calls have been routed to Marlo (downtown) – Marlo offered to continue to take those calls**
- **A squad of officers has been assigned to respond to homeless situations around the Convention Center and downtown.**
- **Reported that recent stabbing was not related to Convention Center homeless**
- **Provided contact as M.J.Woods@sdpd.sandiego.gov, desk 619.744.9514**

In response to DCPC questions:

- **(Leah concern re safety) SDPD is gaining fresh perspective with task force meetings. Cannot force individuals to Convention Center or other housing.**
- **(Bill O. “worse on streets” per Leah “Intimidating”) Marlo agrees based on Community feedback from Bankers Hill, Cortez, EV, Marina. COVID restricts access to jails. Increase in vandalism, stolen vehicle noted. SDPD forced to appeal to judge. No thoughts on Citizen Oversight. With cameras SDPD can do job.**
- **(Stacy re guns, violence Little Italy 7.11) Marlo – need proactive businesses and citizens to call PD Example for 7.11 “bad behavior at 7.11” and other businesses. Result has been the business turned into “most improved business” due to community help.**

Community comment – Gary Smith – County Supv hold purse strings for mental health services. Homeless numbers are going down but are moving to areas without a lot of prior activity.

4. Elected Representative Comments

- **(Brittany for Chris Ward) – thank you to Marlo Woods, his team and Clean & Safe for doing an amazing job.**
- **Safety downtown remains a shared concern**
- **Confirmed Chris Ward attendance at EVRG 7.30 5:30 p.m. zoom • Council passed outdoor business permit. So far 83 apps, 38 permits issued. Reassigned 10 plan check reviewers to streamline app review.**
- **Council approved \$900M Housing Bond for November ballot. Increased housing for homeless.**
- **July 1st parking fee moratorium pushed back to Aug 1st. Ward is pursuing further extension.**

DCPC Questions

- **(Leah concern with substance abuse, mental health)**
- **Brittany – housing bond includes 2500 permanent supportive housing, 7500 housing units total.**
- **Continuing to pursue mental health funding from SD County.**

5. Project Updates, Brad Richter, City of San Diego, Urban Division • SD on line Interactive project map is back in process as of JUL 2020 • City web site identifies projects

- **3 new projects**
 - .i. **Children’s Park under review**
 - .ii. **EV Green – anticipate out for bid soon**
 - .iii. **14th Street Promenade – in progress**
- **Popular Market 12th-13th, Broadway to E – full block development under review.**
- **Brittany offered that proceeds (NOFA) would go to Housing Commission**

DCPC Questions

- **(Mark M. re 13th and Broadway) - Low Income Housing**
- **(Stacy re status 7th & Market) – putting together financing package. Also offered that 9th & G consideration is ongoing. No second building proposal received for 11th & Broadway.**
- **(Bill O. re 4 high rise projects previously considered for downtown) – projects were withdrawn likely in favor of ministerial approval for affordable housing. Brad to provide Contact to Bill for possible future**

presentation.

6. Approval of the Minutes from the May 15, 2020 Meeting

- [5/20/2020 DCPC Meeting Minutes – Minutes approved 22-0-2 abstentions](#) (Eddy, Pensabene due to absence from May 2020 DCPC meeting.)

Action Items

7. Rezoning of Fire Stations No. 2 (Little Italy) & No. 4 (East Village)

- [Fire Station Rezones \(#2 LI and #4 EV\) – Staff Report](#)
- Brad – no need for specialized zoning – correcting for prior reviews • In response to Wery – zoning doesn't exist. Eliminating Public Facility zone. • Motion to approve (Ahmed), 2nd (Pensabene). Unanimous approval 24-0.

8. Double Tree Hotel (1646 Front St), Prava Rooftop, NUP# 663398

- [Double Tree Rooftop NUP – Staff Report](#)

- Nicole Pare, SD City Urban Div, presented.
- Supported by Architect Marengo Morton – defined as Bistro Bar, not entertainment

DCPC, Guest Discussion:

- (Pensabene) will there be adequate blockage of sound due to densely populated area (*yes, no entertainment*)
- Question – was this briefed to Lira. Nicole – application sent. No brief requested.
- Orabone/Trimble – 10 pm weekday, 11 pm weekend hours
- Stacy – Nicole clarified for rooftop
- Gary Smith (DRG) – DRG recommends approval as excellent use of outdoor space, same hours as outdoor café.
- Motion to approve (Ahmed), 2nd (Trimble). Unanimous approval 24-0.

9. Greyhound Bus Terminal (1313 National Ave), CUP Amendment# 660146

- [Greyhound Bus Terminal CUP Amendment – Staff Report](#)

- Nicole Pare provided prior approval 2018-2019 – app filed timely for extension of 5 years.

- Supported by Steven Bossi, Atlantis Team - Jeanette Temple. Described as connecting affordable travel option with MTS. Application was submitted in 2019 for redevelopment – Greyhound would move, no site charges. DCPC,

Guest discussion:

- (Ahmed) Any incidents or accident data – not reported, no record of code enforcement violations.
- (Pensabene) Would redevelopment possibly include Greyhound. Steve – not that he is aware of. Greyhound is looking at relocation options. •

(Moore) Would Greyhound accept 1 years with 2nd based upon hearing officer review – or encourage expeditious redevelopment.

- (Temple) Is Greyhound considering permanent solution and the NAVWAR transit district proposed site. Steve confirmed move or redevelopment.
- (Marshall, Downtown Partnership) – Interim tied to redevelopment • (Smith, DRG) – urge one year with option to come back for extension when plan is in hand.
- (Dion, Pensabene) – Aware of NAVWAR discussions. wait to see if environmental review withdrawn re MTS bus yard.
- (Eddy) – can Greyhound move if site found – Steve – yes.
- Motion to approve (Ahmed), 2nd (Eddy). Vote passed 20-2. Moore, Wilson Ramon voted no. No votes Wery, Egan (departed early).

10. Downtown Land Use Regulation Amendments

- [Downtown Land Use Regulations Amendments – Staff Report](#)
- Brad overview – FAR downtown to encourage more studios. Use for downtown development. Eliminate parking Gaslamp (commercial). Outdoor use areas – sidewalk by right, 10 pm weekday, 11pm weekend, max 30 people sit, 50 stand. Eliminate height limit except when limited by FAA.

DCPC, Guest Questions:

- (Wery) re elimination of height limit and limit waiver per criteria – is concern affordable housing. Brad reply – State mandated, complete communities is city solution in transit area, waived height if meet criteria.
- Concern with shadowing of parks and view corridors. Brad reply – does not affect view corridors.
- Height potential 200/400/600? Brad reply – 85' highrise, 240' with dual safety systems then go to limit. Limited interest in 20% affordable. • (Blair) if 5 story east of 8th – affordable units. Brad – most not at that time. New projects are using higher limits.
- Can developer build affordable elsewhere. Brad – yes.
- Micro units? Brad – recently 75% studio and 1 bedroom, some 3 bed bonus.
- (Pensabene) 3 bed in 800sf is useless for family. Brad – to be seen, like the parking program.
 - (Blair) Not aware of discussion of no parking with Gaslamp – concern for employees working in hotels. Brad – under 15,000sf currently no parking. Hotels do not typically provide employee parking. There are public parking garages. Intent is to create pedestrian friendly environment.
- (Orabone) – Encourages all to participate in Complete community Webinar on 16 JUL. Objective is to get people out of cars and meet climate action plan.
- Question – how do we carve out things for downtown? Point of contact at

Planning, Mayor? Brad – Mayor, Ward, Workshops, take stand as downtown group.

- Orabone summarized Land Use Regs to impact all DCPC committees. Identified as push by Mayor Faulconer to create a legacy. A lot of good ideas.
- (Smith, DRG) Other communities have more concerns.
- Brad is here for input. Thin about park, typical one block. 500' high building at S. Edge – Park will never see sun. Unless we want concrete plaza we need to fight for sun access.
- Smith referred to Architect Quigley and EVRG letters opposed to sun overlays.
- Link re 10% very low and 10% affordable will developers be pushing those to offsite resulting in market rates in city, no reduction in climate consequences. Brad – yes, affordable can be off site.
- (Swearingen) – how effective is planned transit for buildings at height limits?
- (Eddy) – Shadow on Parks but more affordable housing is ok?
- (Pensabene) Coastal Commission review requirements. Brad – no limit downtown, does not affect 30' PB limit, could exceed 85' limit at county building, Little Italy.
- Narrow streets could affect wind tunnel, sun access
- (Wilson-Ramon) Given affordable offsite housing the elimination of sun access for high rises does not make sense. We don't get target affordable housing. Brad – we are getting affordable downtown – 640 plus 600 in pipeline.
- (Orabone) Does this affect all districts? Brad – some.
- Ok with density, affordable housing but we need Sun Overlay as long as we are meeting goals of planning, city, state. All need to communicate need.
- Motion to Table pending response re Sun Access and discussed issues. (Link), 2nd (Wilson-Ramon). Vote passed 20-0. Absent from vote Egan (departed early), Gattey.

11. Airport Noise Advisory Committee appointment

- [Kathy Fragnoli \(bio\)](#) plus introductory comments re professional experience as Employment Mediator, History with American Airlines)
- [Tania Fragomeno \(bio\)](#) plus introductory comments: resident of Cortez Hill, 5 years, Little Italy 3 years. Sees Downtown rep for noise advisory committee as important, noise monitoring station. Public Outreach historical experience, community relations, review technical information. Sees opportunity for 2nd available seat on Advisory Committee, East Side.) • No DCPC questions
- Bill called for vote. Result was Tonia elected to appointed seat (10 votes –

DiFrancesca, Dion, Eddy, Link, Moore, Ramos, Russell, Takara, Wery, Wilson Ramon),

- **Kathy for At Large, 2nd seat (9 votes - Baker, Barbano, Blair, Collin, Maliepaard, Meloncelli, Orabone, Pensabene, Swearingen)**
- **Cindy complimented both candidates.**

Miscellaneous

12. Chairperson's Report, Subcommittee & Liaison Reports

- [Community Planning Council Position on Complete Communities](#) •
- [Community Planning Council Position on State Legislation](#)
- (Orabone)
- There are a dozen bills at the State level
 - .i. Increase density around public transit.
 - .ii. Climate Action
 - .iii. Affordable Housing
- Developers are asking for deviations
 - .i. State & City reviews are getting messy re parks, mobility, housing, infrastructure
- Parks – Point based system proposed
- (Ward) proposed to take it back to planning, reply was take it or leave it • Complete communities is Faulconer issue.
- Parks are paid by DIF in areas earned. Current plan funds EV fire station • Community groups need to be able to consider which concessions they can make, hold firm on others
- Question is how hard to push, how much to concede
- Park Plan being considered by City on Friday
- (Swearingen) – What is process. Bill – need to be consistent within DCPC, pick our battles.
- (Wilson-Ramon) need to reach consensus, reach out as appropriate • (Baker) – Hats off to Bill. Need Advocates to support Bill.
- (Pensabene) – ask community groups for weighted votes based on amount of money in the pot.
- (Orabone) Brad to provide DIF accounting to DCPC members to examine, agree with Pensabene re preferential voting.
- (Link) Use message subject line for urgent issues – concern in discussions with information overload.
- (Smith, DRG) much is being done by committees to get money to areas eg. More transit money downtown, Parks – move N of 8 to South of 8., must weigh in if referred back to committee, take committees seriously. Complete Communities is being driven by the State.
- More unapproved be moved back to the city – 4 months review pending. • (Wery) re DIF – keep some dollars locally, use weighted vote, sun access is

critical for downtown including economic argument.

- **(Baker) re DIF – another strategy would be to adopt under served community (neighbor) as a better approach. Benefit collectively.**
- **May be compelling with neighbors. Link agrees – back to better place than we were**
- **(Eddy) Is there surplus land downtown? Orabone – report plus Brad input identifies money. Communities that create surplus funds can allocate where it goes. Orabone says he'd be willing to reach out.**
- **(Smith, DRG) re PFFP Physical Facility Financing Plan – never a surplus, pooling enables a “bridge” to be built, in 18 months the census will change the boundaries.**

13.Member Comments

None additional.

14.Urgent Non-Agenda Items

None additional

Meeting Adjourned 8:49 pm. Next meeting Wednesday 19 AUG 2020 (Zoom)

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____


Project Title: Greyhound CUP EOT **Project No. For City Use Only:** 660146
Project Address: 1313 National Avenue
San Diego, CA 92113

Specify Form of Ownership/Legal Status (please check):

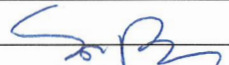
Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Tim Allison, San Diego Metropolitan Transit System Owner Tenant/Lessee Successor Agency
 Street Address: 1255 Imperial Avenue, Suite 1000
 City: San Diego State: CA Zip: 92101
 Phone No.: 619-595-4903 Fax No.: _____ Email: tim.allison@sdmts.com
 Signature:  Date: 2/25/2020
 Additional pages Attached: Yes No

Applicant

Name of Individual: Steven Bossi Owner Tenant/Lessee Successor Agency
 Street Address: 2488 Historic Decatur Road
 City: San Diego State: CA Zip: 92106
 Phone No.: 619-532-1930 Fax No.: _____ Email: sbossi@atlantissd.com
 Signature:  Date: 3/2/2020
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No



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 Upon request, this information is available in alternative formats for persons with disabilities.



Greyhound Transportation Terminal

1313 National Avenue
San Diego, CA 92113



	Governing Building Codes	Project Information	Scope of Work	Sheet Index																																																						
	<p>1. All construction, including material and workmanship shall conform to the following California Building Codes:</p> <ul style="list-style-type: none"> a. 2016 California Building Code (Title 24 Part 2) b. 2016 California Residential Code (Title 24 Part 2.5) c. 2016 California Electrical Code (Title 24 Part 3) d. 2016 California Mechanical Code (Title 24 Part 4) e. 2016 California Plumbing Code (Title 24 Part 5) f. 2016 California Energy Code (Title 24 Part 6) g. 2016 California Fire Code (Title 24 Part 9) h. 2016 California Building Energy Efficiency Standards <p>2. Wherever code or California Building Code (CBC) is referred in the following general notes or other note sections, it shall imply the CBC code with governing agency amendments.</p>	<p>Project Address: 1313 National Avenue San Diego, CA 92113</p> <p>APN: 535-612-01-00</p> <p>Legal Description: That portion of Block 153 of Horton's Addition, according to map thereof, lying southwesterly of National Avenue, as said avenue is now located and established through said Block 153.</p> <p>Existing Building Construction Date: 2011</p> <p>Zone: CCPD-MC (Center City Planned District Mixed Commercial)</p> <p>Overlays: Transit Area</p> <p>Environmentally Sensitive Lands:</p> <ul style="list-style-type: none"> Sensitive Biological Resources: No Steep Hillides: No Coastal Beaches: No Sensitive Coastal Bluffs: No 100-Year Floodplain: No <p>Historic District: No</p> <p>Designated Historic: No</p> <p>Geologic Hazard Categories: 13</p> <p>Earthquake Fault Buffer: No</p> <p>Existing Occupancy: B Proposed Occupancy: B</p> <p>Existing Use: Business Proposed Use: Business</p> <p>Construction Type: VB</p> <p>Site Area: 15,427 SF (0.29 Acres)</p> <p>Building Area: 1,431 SF</p> <p>FAR: 0.09 1,431 SF / 15,427 SF = 0.09</p> <p>Coverage: 0.17 2,592 SF / 15,427 SF = 0.17</p> <p>Landscape Area: 6% 902 SF / 15,427 SF = 0.06</p>	<ol style="list-style-type: none"> Conditional Use Permit for existing Transportation Terminal. Previous Conditional Use Permit No. 2017-41 No new floor area proposed. No changes to exterior elevations. No change in occupancy. No change in use. <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p>NOTE:</p> <p>-This project proposes no development improvements outside the existing building footprint for this Discretionary Review and therefore does not require any permanent storm water Best Management Practices (BMPs)</p> <p>- The proposed project will comply with all the requirements of the current City of San Diego Storm Water Standards Manual before a Grading or Building permit is issued. It is the responsibility of the owner/design/applciant to ensure that the current storm water permanent BMP design standards are incorporated into the project.</p> </div>	<table border="1"> <thead> <tr> <th rowspan="2">Sheet Name</th> <th rowspan="2">Issue Date</th> <th colspan="2">Revision</th> </tr> <tr> <th>#</th> <th>Issue Date</th> </tr> </thead> <tbody> <tr> <td colspan="4">Architectural</td> </tr> <tr> <td>A0.0</td> <td>Cover Sheet</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A0.1</td> <td>Stormwater Checklist</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A1.0</td> <td>Site Plan</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A1.1</td> <td>Arrivals & Departures Plan</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A2.0</td> <td>Accessibility Plans</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A3.0</td> <td>Existing Floor & Roof Plans</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A3.1</td> <td>Existing Floor & Roof Plans</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A4.0</td> <td>Trans. Terminal Exterior Elevations</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A4.1</td> <td>Restroom Exterior Elevations</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A4.2</td> <td>Storage Exterior Elevation</td> <td>12/16/2019</td> <td></td> </tr> <tr> <td>A5.0</td> <td>Enlarged Floor Plans</td> <td>12/16/2019</td> <td></td> </tr> </tbody> </table>	Sheet Name	Issue Date	Revision		#	Issue Date	Architectural				A0.0	Cover Sheet	12/16/2019		A0.1	Stormwater Checklist	12/16/2019		A1.0	Site Plan	12/16/2019		A1.1	Arrivals & Departures Plan	12/16/2019		A2.0	Accessibility Plans	12/16/2019		A3.0	Existing Floor & Roof Plans	12/16/2019		A3.1	Existing Floor & Roof Plans	12/16/2019		A4.0	Trans. Terminal Exterior Elevations	12/16/2019		A4.1	Restroom Exterior Elevations	12/16/2019		A4.2	Storage Exterior Elevation	12/16/2019		A5.0	Enlarged Floor Plans	12/16/2019	
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	<p style="text-align: center;">Vicinity Map</p>		<p style="text-align: center;">Project Directory</p> <p>Owner: San Diego Metropolitan Transit System 1255 Imperial Avenue, Suite 1000 San Diego, CA 92101 Contact: Tim Allison tim.allison@sdmts.com 619-595-4903</p> <p>Applicant: BriceHouse Starboard LLC 2550 Fifth Avenue, Suite 600 San Diego, CA 92103 Contact: G.B Saunders gbsaunders@bricehouse.com 619-523-4800</p> <p>Architect: Coston Architects Incorporated 8415 La Mesa Blvd. Suite 4 La Mesa, CA 91942 Contact: Kent Coston kc@kentcoston.com 619-518-8071</p>	<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  <p>COSTON ARCHITECTS INCORPORATED</p> <p>8415 La Mesa Blvd Suite 4 La Mesa, CA 91942</p> </div> <div style="text-align: center;">  </div> </div> <p style="text-align: center;">Greyhound Transportation Terminal 1313 National Avenue San Diego, CA 92113</p> <p style="text-align: center;">Cover Sheet</p> <table border="1" style="width: 100%;"> <thead> <tr> <th>DATE</th> <th>Revision Schedule</th> </tr> </thead> <tbody> <tr> <td>12/16/2019</td> <td></td> </tr> </tbody> </table> <table border="1" style="width: 100%;"> <tbody> <tr> <td>DRAWN</td> <td>KC</td> </tr> <tr> <td>PROJECT</td> <td>1710.01</td> </tr> </tbody> </table> <p style="text-align: center; font-size: 2em; font-weight: bold;">A0.0</p> <p style="text-align: center;">OF</p>	DATE	Revision Schedule	12/16/2019		DRAWN	KC	PROJECT	1710.01																																														
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City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Storm Water Requirements Applicability Checklist

FORM
DS-560
November 2018

Project Address: 1313 National Ave, San Diego CA 92113 Project Number:

SECTION 1. Construction Storm Water BMP Requirements:
All construction sites are required to implement construction BMPs in accordance with the performance standards in the [Storm Water Standards Manual](#). Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)

Yes; SWPPP required, skip questions 2-4 No; next question

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?

Yes; WPCP required, skip questions 3-4 No; next question

3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)

Yes; WPCP required, skip question 4 No; next question

4. Does the project only include the following Permit types listed below?

- Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
- Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
- Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.

Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a **SWPPP is REQUIRED. Continue to PART B**

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a **WPCP is REQUIRED**. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. **Continue to PART B.**

If you checked "No" for all questions 1-3, and checked "Yes" for question 4 **PART B does not apply and no document is required. Continue to Section 2.**

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities.

Clear Page 1

PART B: Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

1. **ASBS**
a. Projects located in the ASBS watershed.

2. **High Priority**
a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed.
b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.

3. **Medium Priority**
a. Projects that are not located in an ASBS watershed or designated as a High priority site.
b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed.
c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.

4. **Low Priority**
a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

SECTION 2. Permanent Storm Water BMP Requirements.

Additional information for determining the requirements is found in the [Storm Water Standards Manual](#).

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the [Storm Water Standards Manual](#) are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No

3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

Clear Page 2

PART D: PDP Exempt Requirements.

PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

1. Does the project **ONLY** include new or retrofit sidewalks, bicycle lanes, or trails that:

- Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
- Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
- Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual?

Yes; PDP exempt requirements apply No; next question

2. Does the project **ONLY** include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the [City's Storm Water Standards Manual](#)?

Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

1. **New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

2. **Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

3. **New development or redevelopment of a restaurant.** Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. Yes No

4. **New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No

5. **New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** Yes No

6. **New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

Clear Page 3

Storm Water Quality Notes

1. The contractor shall be responsible for cleanup of all silt & mud on adjacent street(s), due to construction vehicles or any other construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
2. All stockpiles of soil &/or building materials that are intended to be left for a period greater than 7 calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when 5 day rain probability forecast exceeds 40%.
3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
4. The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

7. **New development or redevelopment discharging directly to an Environmentally Sensitive Area.** The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No

8. **New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.** The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No

9. **New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces.** Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. Yes No

10. **Other Pollutant Generating Project.** The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

1. The project is **NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.**

2. The project is a **STANDARD DEVELOPMENT PROJECT.** Site design and source control BMP requirements apply. See the [Storm Water Standards Manual](#) for guidance.

3. The project is **PDP EXEMPT.** Site design and source control BMP requirements apply. See the [Storm Water Standards Manual](#) for guidance.

4. The project is a **PRIORITY DEVELOPMENT PROJECT.** Site design, source control, and structural pollutant control BMP requirements apply. See the [Storm Water Standards Manual](#) for guidance on determining if project requires a hydromodification plan management

Name of Owner or Agent *(Please Print)* Title

Signature Date

Clear Page 4

Clear Form

COSTON ARCHITECTS INCORPORATED

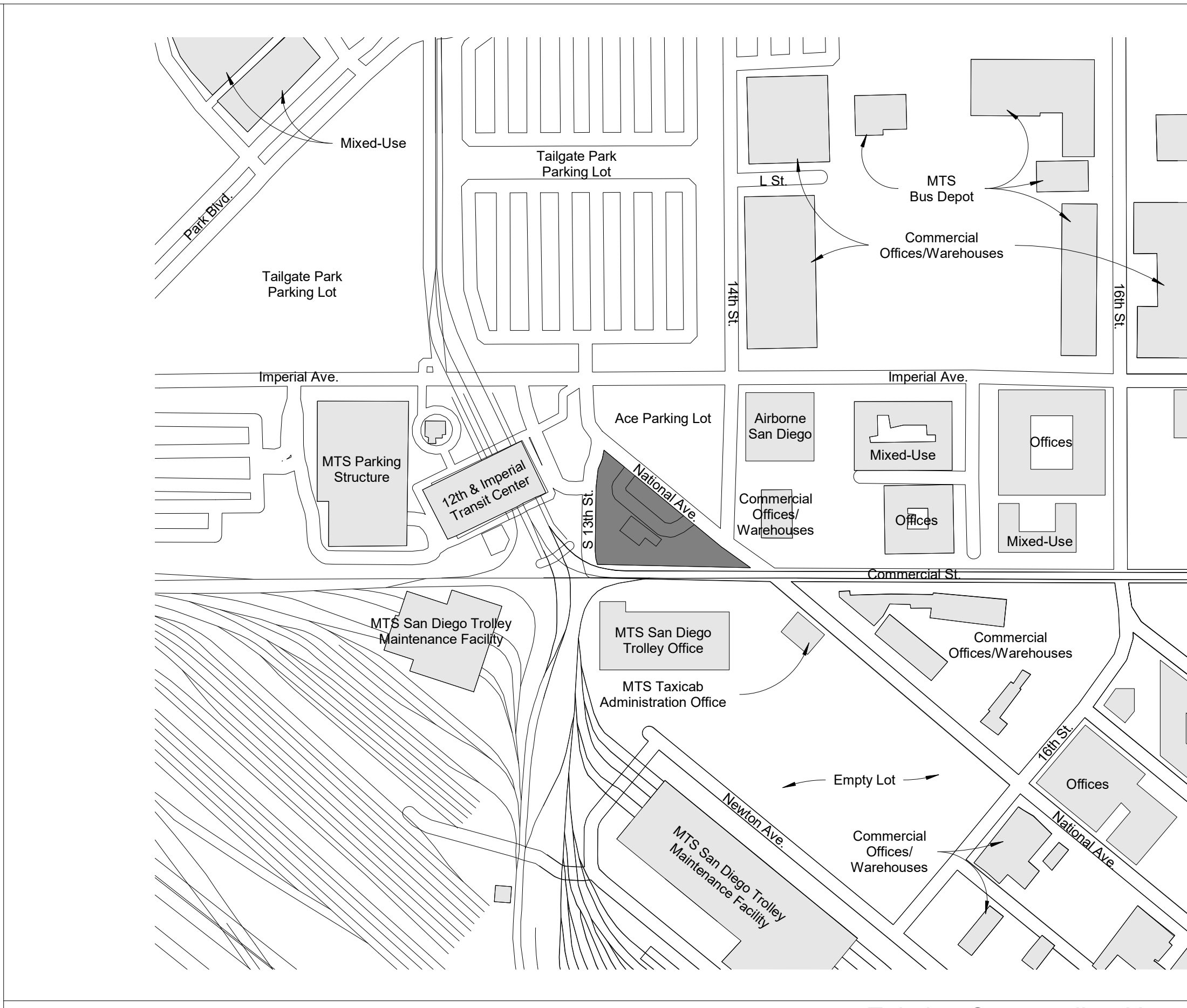
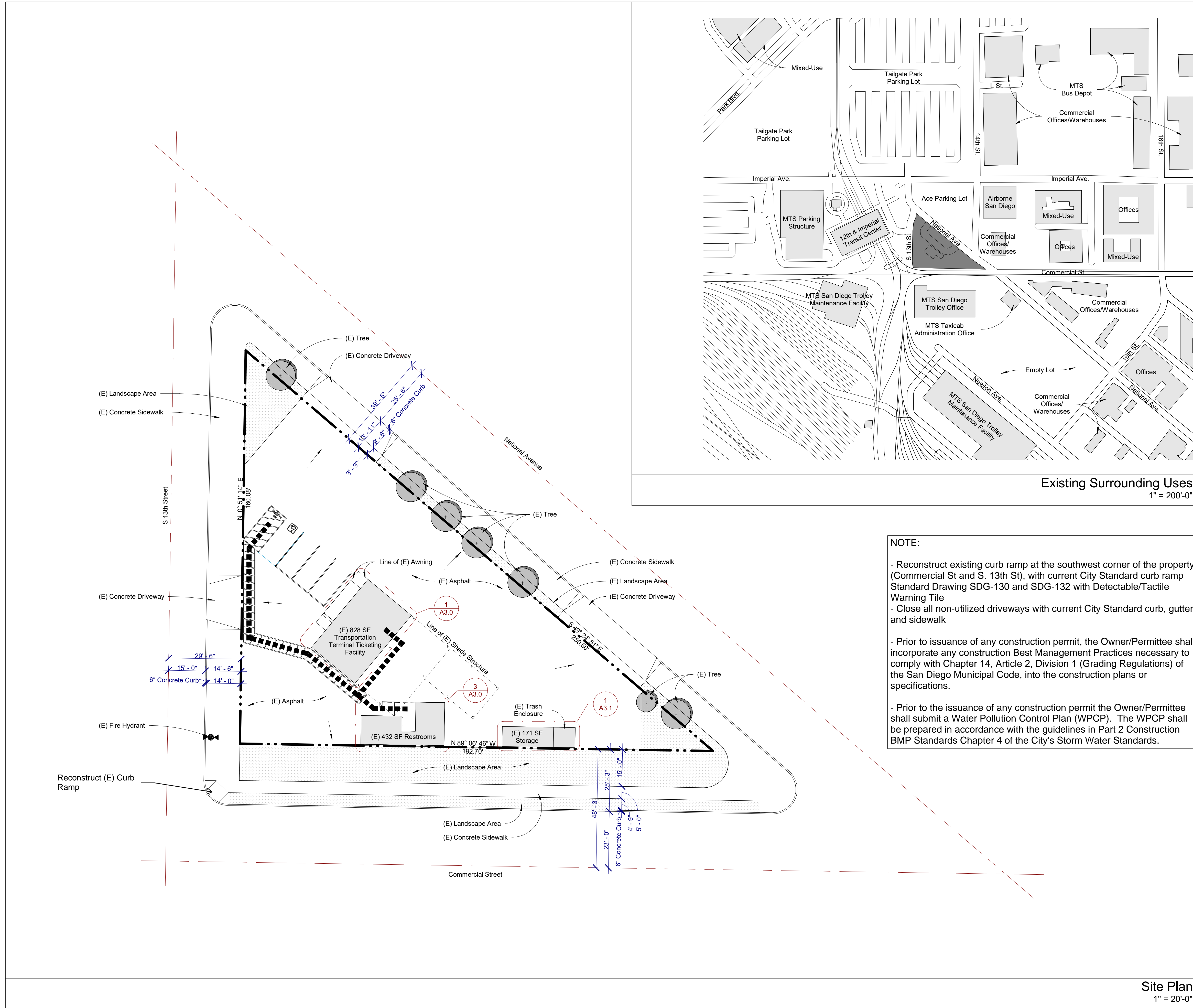
8415 La Mesa Blvd Suite 4
La Mesa, CA 91942

LICENSED ARCHITECT
Kent Coston
C-29872
Exp: 08/2021
STATE OF CALIFORNIA

Greyhound Transportation Terminal
1313 National Avenue
San Diego, CA 92113

Stormwater Checklist

DATE	Revision Schedule	
12/16/2019		
DRAWN		
KC		
PROJECT		
1710.01		A0.1
		OF



Existing Surrounding Uses
1" = 200'-0"

2




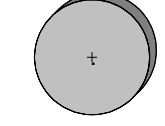
NOTE:

- Reconstruct existing curb ramp at the southwest corner of the property (Commercial St and S. 13th St), with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with Detectable/Tactile Warning Tile
- Close all non-utilized driveways with current City Standard curb, gutter and sidewalk
- Prior to issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

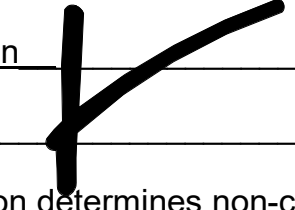
Site Plan
1" = 20'-0"

1

Legend

-  Accessible path of travel with 98" min. vertical clearance at access aisles serving accessible parking spaces per CBC 11B-501. Minimum 80" vertical clearance along all accessible routes and within all accessible spaces per CBC 11B-307.4 All Accessible route surface will consists of stable, firm, and slip-resistant material per CBC 11B-302.1.
-  (E) Landscape Area
-  (E) Fire Hydrant
-  (E) Tree

General Notes

- I am the designer/owner in responsible charge of this tenant improvement. I have inspected the site/premises and determined that existing conditions are in full compliance with current site accessibility requirements to the extent required by law.
Print name: Kent Coston
Signature: 
- If the city building inspection determines non-compliance with any accessibility provisions, a complete detailed reused plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plan, floor plans, details, and etc.) will be submitted to the department for review and approval.

Parking Calculation

Standard Space:	4
ADA Space:	1
Total:	5
Accessible Parking Spaces Required:	1
Accessible Parking Spaces Provided:	1



COSTON ARCHITECTS INCORPORATED

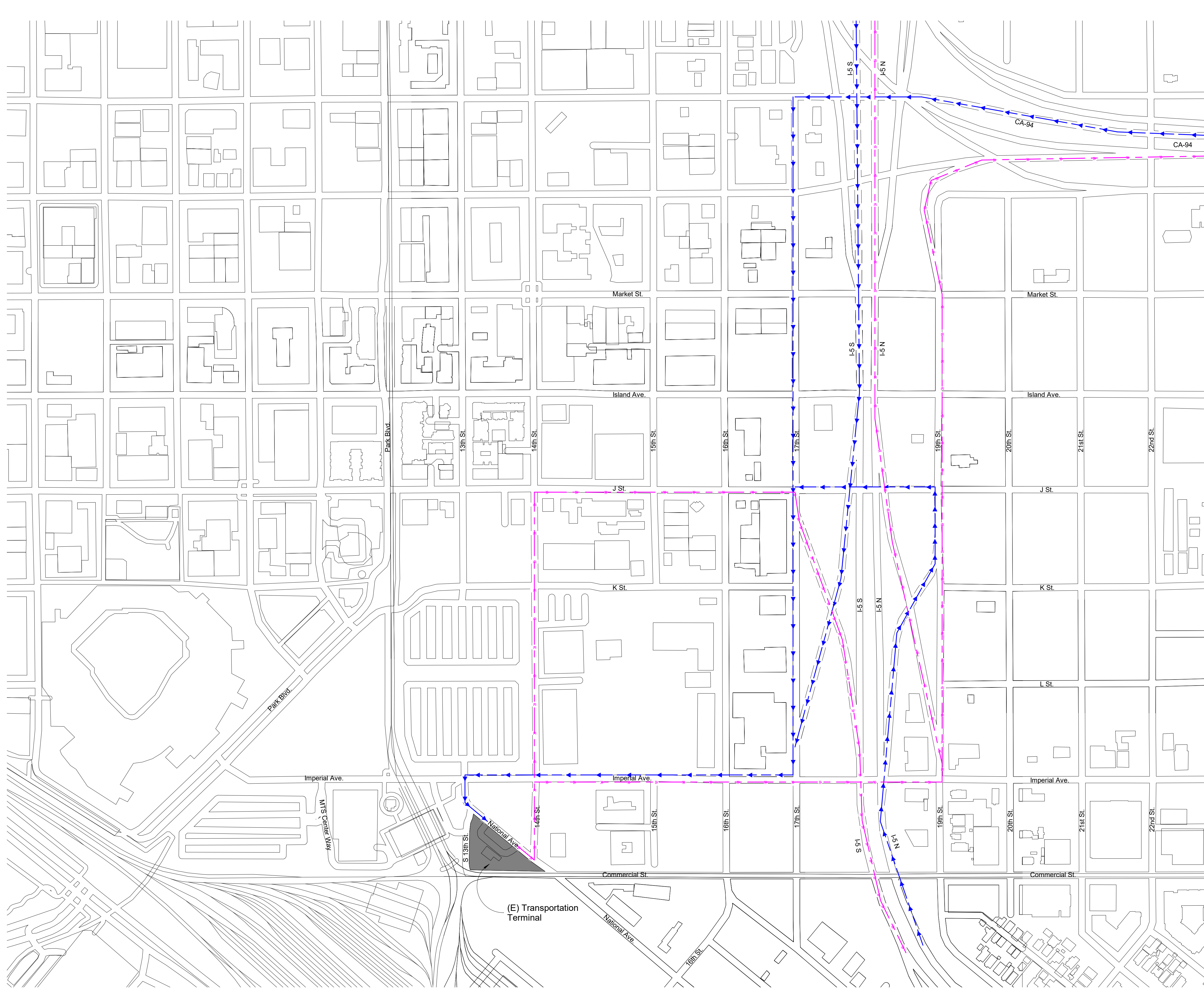
8415 La Mesa Blvd Suite 4
La Mesa, CA 91942





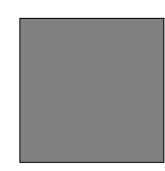
Greyhound Transportation Terminal
1313 National Avenue
San Diego, CA 92113

Site Plan

DATE	Revision Schedule
12/16/2019	
DRAWN	
KC	
PROJECT	
1710.01	
A1.0	
OF	



Legend

-  Arrivals Path of Travel
-  Departures Path of Travel
-  Subject Site

Notes



COSTON ARCHITECTS INCORPORATED

8415 La Mesa Blvd Suite 4
La Mesa, CA 91942

LICENSED ARCHITECT

Kent Coston

C-29872

Exp: 08/2021

STATE OF CALIFORNIA

Greyhound Transportation Terminal
 1313 National Avenue
 San Diego, CA 92113

Arrivals & Departures Plan

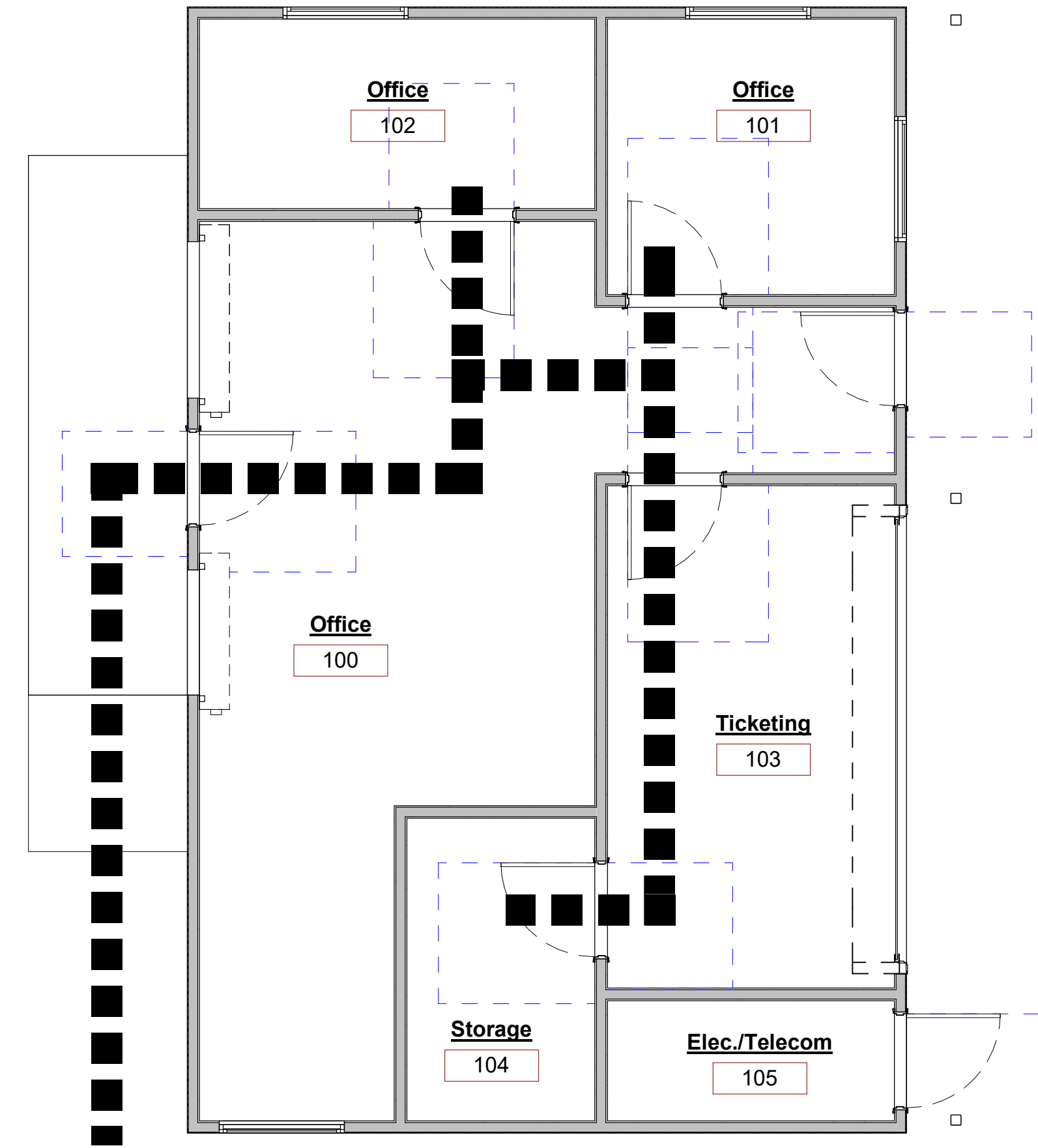
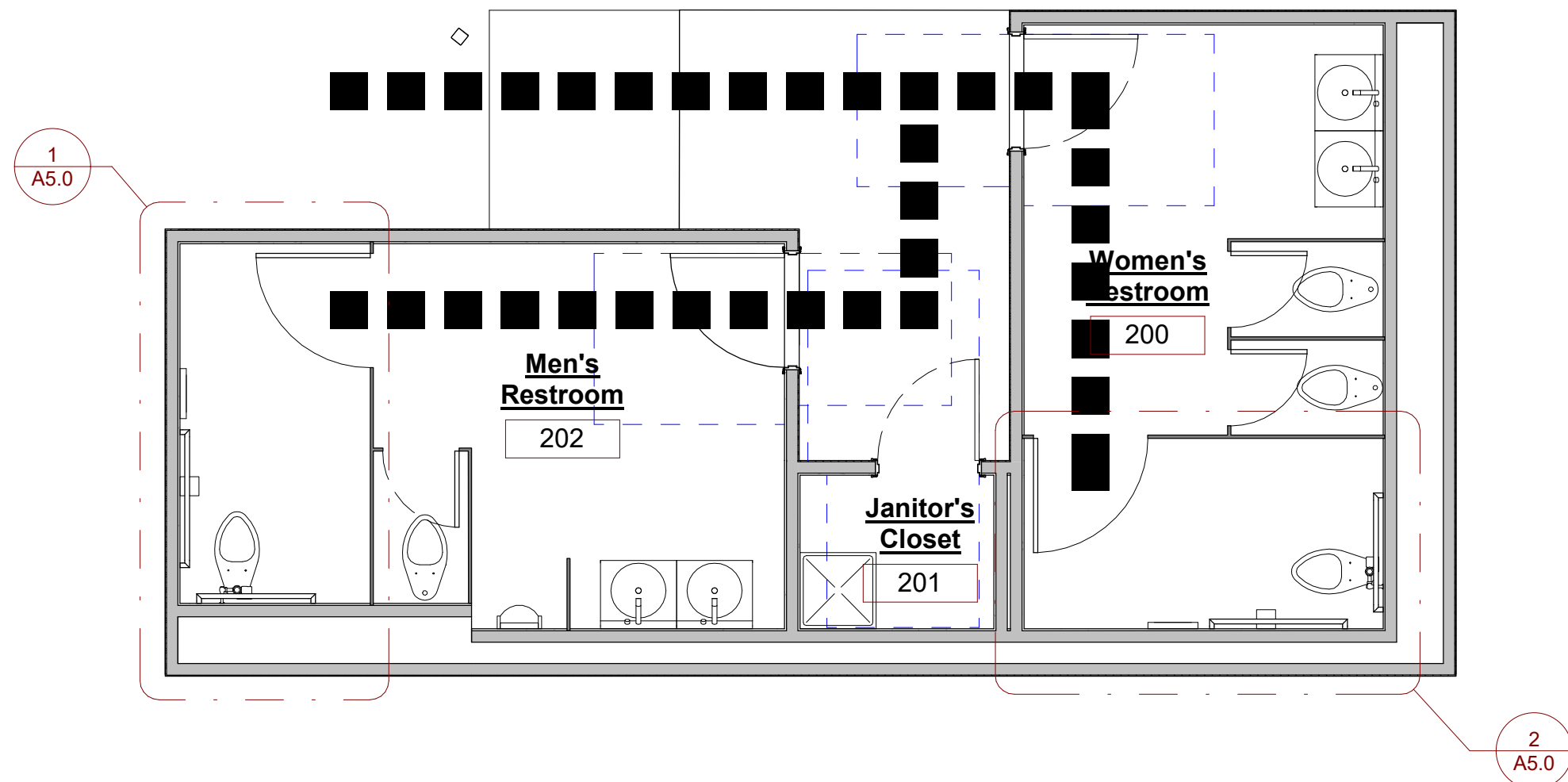
DATE	12/16/2019	Revision Schedule	
DRAWN	KC		
PROJECT	1710.01		
			A1.1
			OF

Legend

Accessible path of travel with 98" min. vertical clearance per CBC 11B-501. Accessible route surface will consist of stable, firm, and slip-resistant material per CBC 11B-302.1. Minimum 80" vertical clearance along all accessible routes and within all accessible spaces per CBC 11B-307.4

Parking Calculations

Total Parking Provided:	5
Accessible Parking Spaces Required:	1
Accessible Parking Spaces Provided:	1



Existing Restroom Accessibility Plan
1/4" = 1'-0"

1

Existing Transportation Terminal Accessibility Plan
1/4" = 1'-0"

2

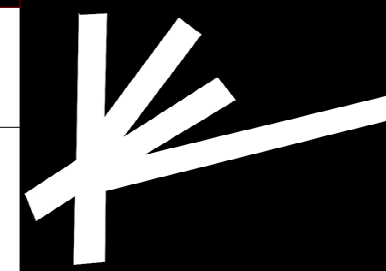
Notes

- All accessible spaces shall be served by at least as many accessible means of egress as required means of egress per CBC 1015.1 or CBC 1021.1
- Egress doors shall be readily operable from the egress side without the use of a key or special knowledge of effort per CBC 1008.1.9
- 2.1% maximum cross slope for each ramp run and landing.
- All ramp run surfaces shall contain stable, firm, and slip-resistant material with no changes in level other than running slope or cross slope per CBC 11B-302.1 and CBC 11B-405.4.
- All required elements shall comply with reach ranges per CBC 11B-308.
- Electrical switches and receptacle outlets shall be located within reach ranges per CBC 11B-308 except low reach shall be measured from the bottom of the outlet box and high reach shall be measured to the top of the outlet box.
- Any carpet shall comply with CBC 11B-302.2.
- Provide knee and toe clearance at accessible elements per CBC 11B-306
- An accessible route with running slope exceeding 5% requires an accessible ramp per CBC 11B-403.3.
- Room designation signs, where provided, shall comply with CBC 11B-703.
- Accessible routes serving seating areas widths to be as follows, per CBC 11B-403.5.1.:
- 36" min to each accessible space
- 36" wide aisle serving tables or seats on one side
- 44" wide aisle serving tables or seats on both sides
- Required clearances at doors & openings per CBC 11B-404.2.4.1 & 11B-404.2.4.2.
- Detectable warning surfaces shall contrast visually with adjacent walking surfaces either light-on-dark or dark-on-light. The material used to provide contrast shall be an integral part of the surface per Section 11B-705.1.1.3
- Only approved DSA-AC detectable warning products and directional surfaces shall be installed as provided in the California Code of Regulations (CCR), Title 24, Part 1, Chapter 5, Article 2, 3, and 4 per Section 11B705.3.

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Accessibility Plans

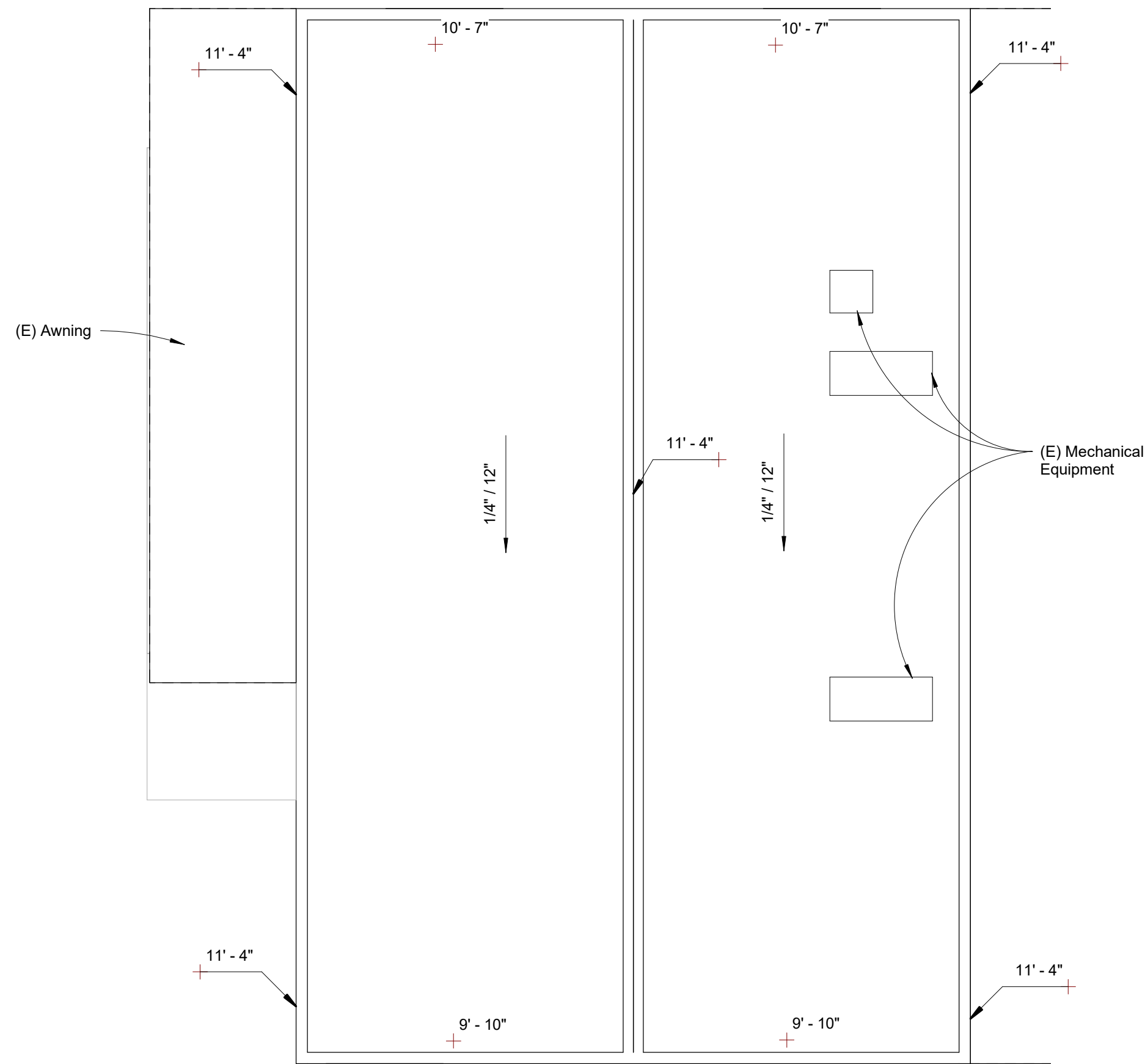
DATE	Revision Schedule
12/16/2019	
DRAWN	KC
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OF	

Legend

Existing Wall to Remain

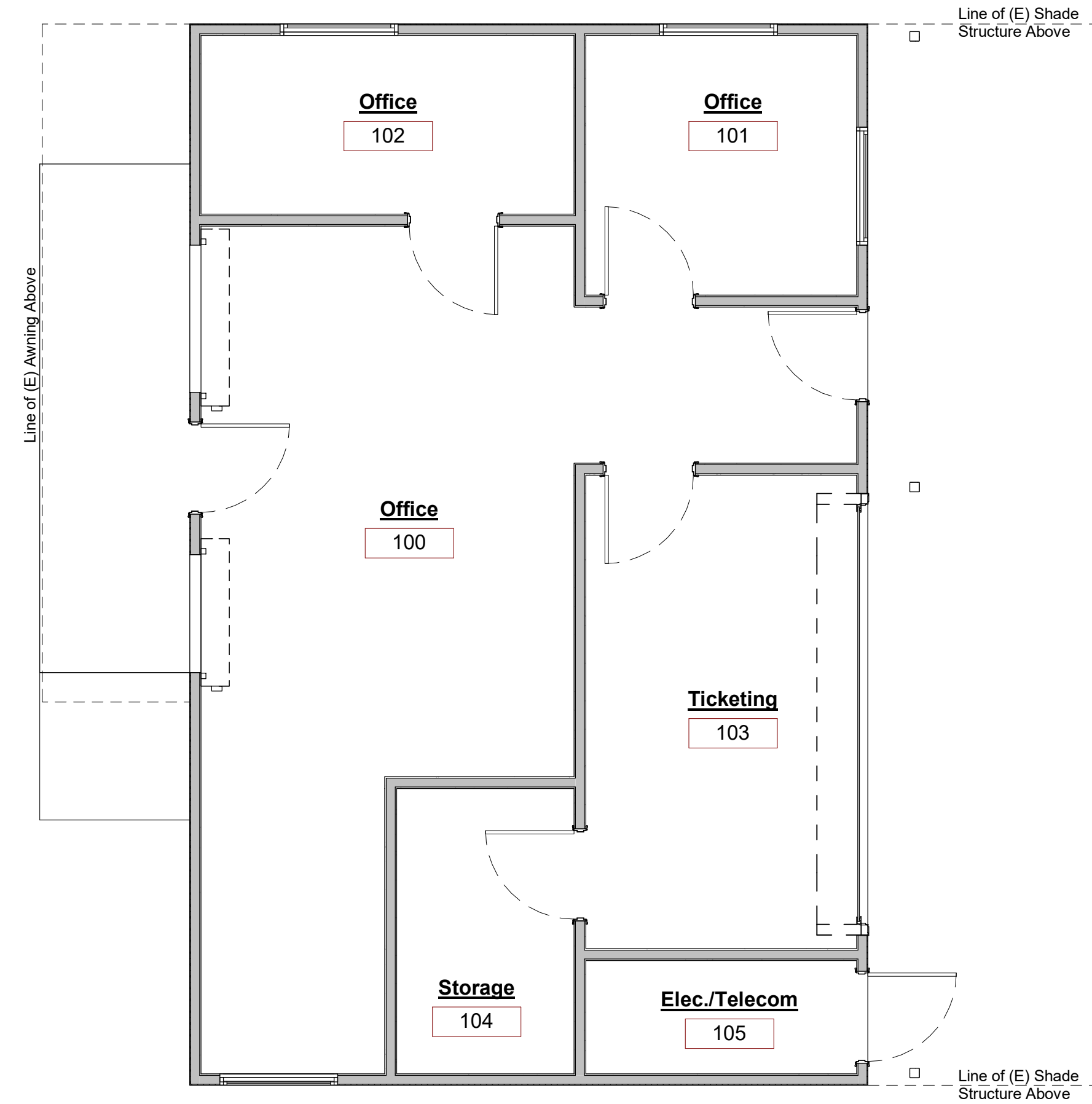
Notes

1. No proposed modifications to existing roof.
2. No existing or proposed screening elements on roof.



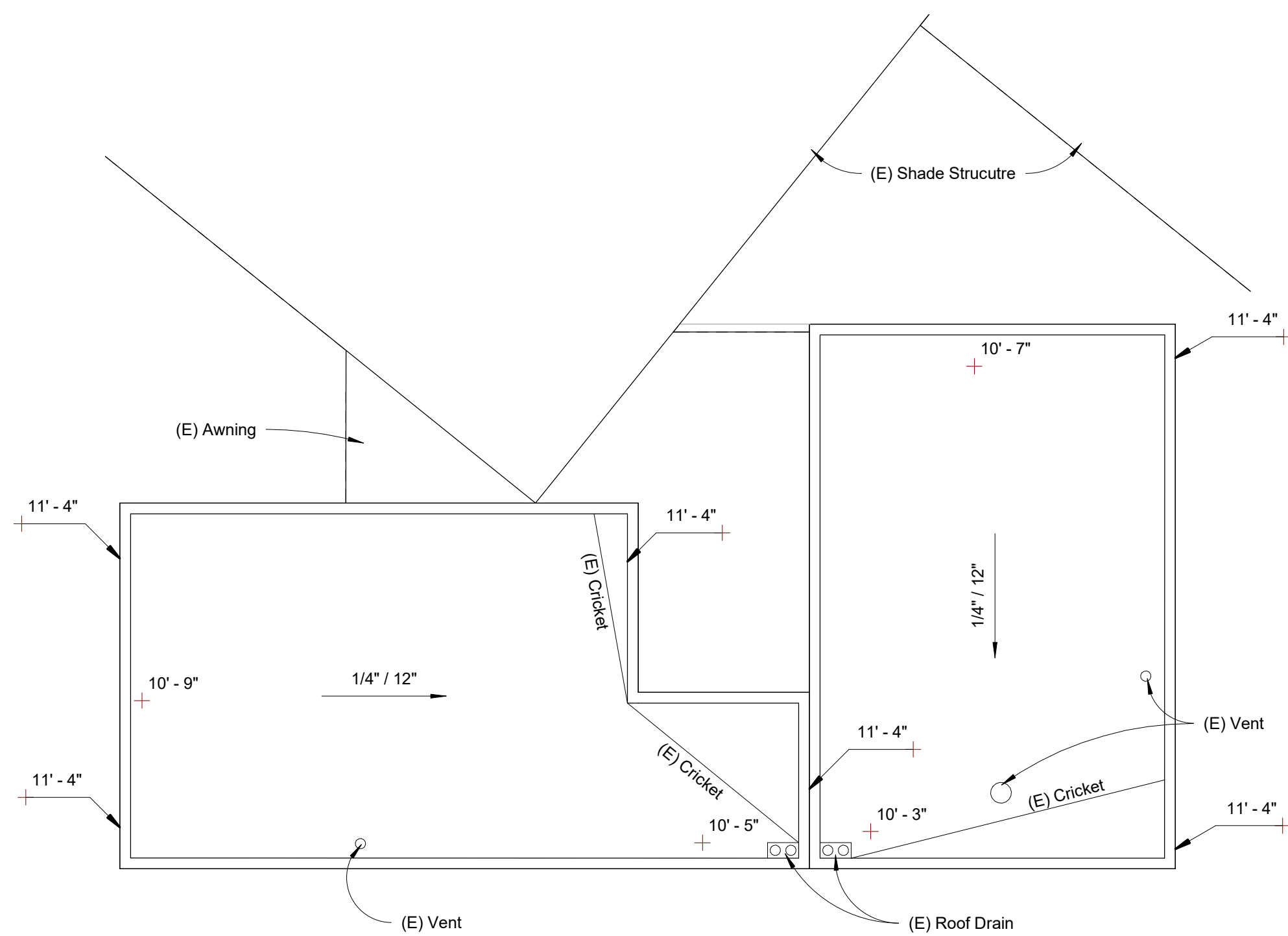
Existing Transportation Terminal Roof Plan
1/4" = 1'-0"

2



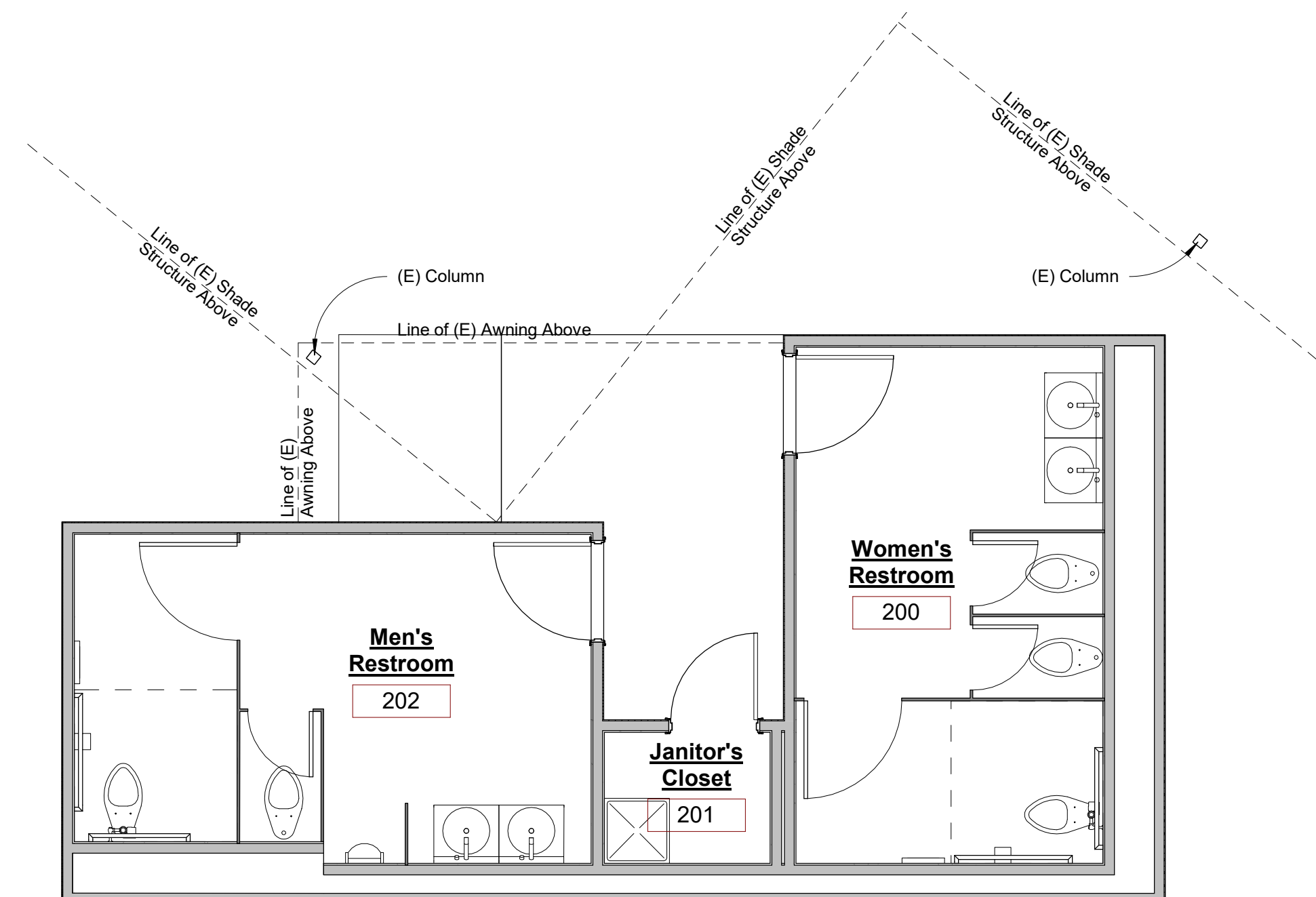
Existing Transportation Terminal Floor Plan
1/4" = 1'-0"

1



Existing Restrooms Roof Plan
1/4" = 1'-0"

4



Existing Restrooms Floor Plan
1/4" = 1'-0"

3

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Existing Floor & Roof Plans

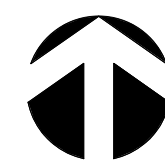
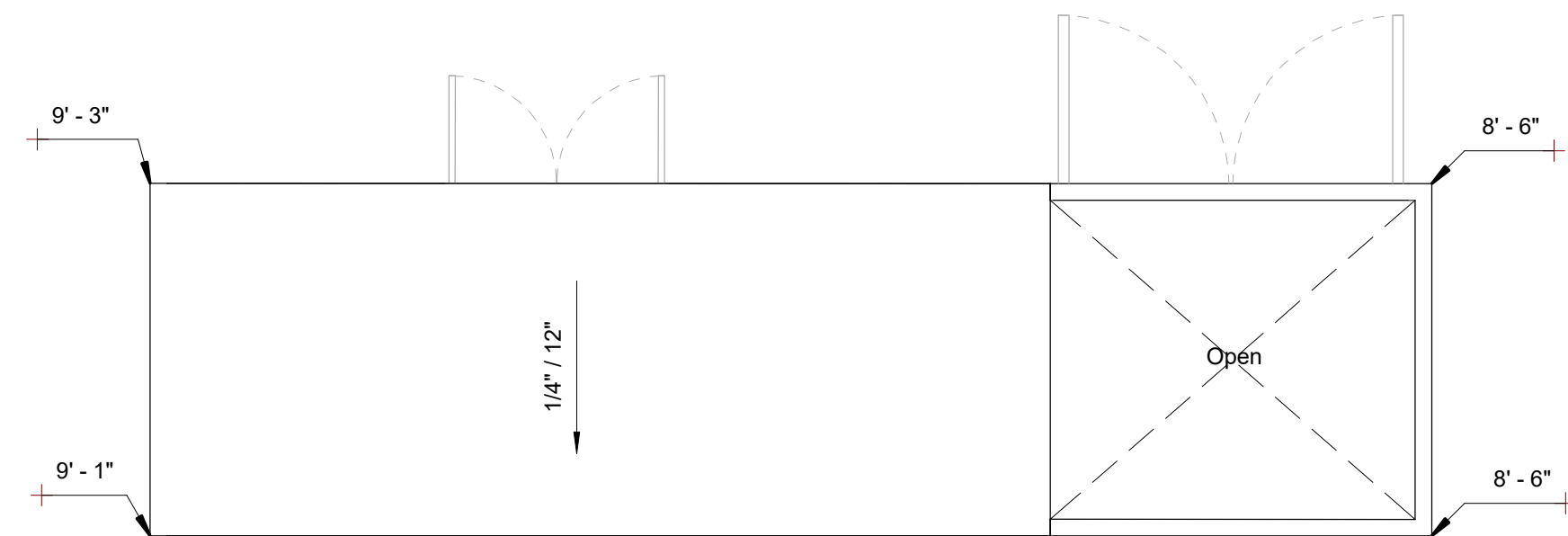
DATE	Revision Schedule
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PROJECT	
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OF	

Legend

 Existing Wall to Remain

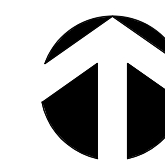
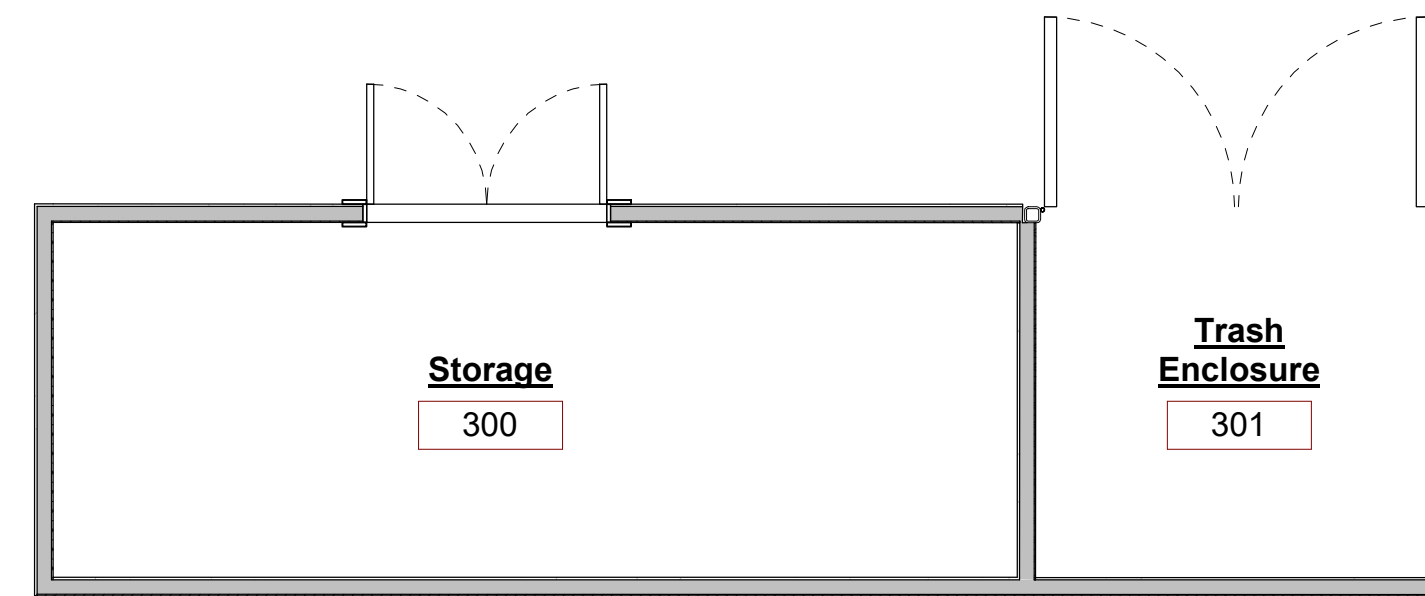
Notes

1. No proposed modifications to existing roof.
2. No existing or proposed screening elements on roof.



Existing Storage & Trash Enclosure Roof Plan
1/4" = 1'-0"

2



Existing Storage & Trash Enclosure Floor Plan
1/4" = 1'-0"

1



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Existing Floor & Roof Plans

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Notes

- 1. No proposed exterior modifications to existing buildings.



Transportation Terminal Elevation 1



Transportation Terminal Elevation 2



Transportation Terminal Elevation 3



Transportation Terminal Elevation 4

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Trans. Terminal Exterior Elevations

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OF	

Notes

- No proposed exterior modifications to existing buildings.



Restrooms Elevation 1



Restrooms Elevation 2



Restrooms Elevation 3



Restrooms Elevation 4

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Restroom Exterior Elevations

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Storage & Trash Enclosure Elevation 1



Storage & Trash Enclosure Elevation 2



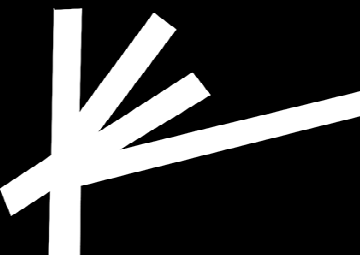
Storage & Trash Enclosure Elevation 3




Storage & Trash Enclosure Elevation 4

Notes

- 1. No proposed exterior modifications to existing buildings.



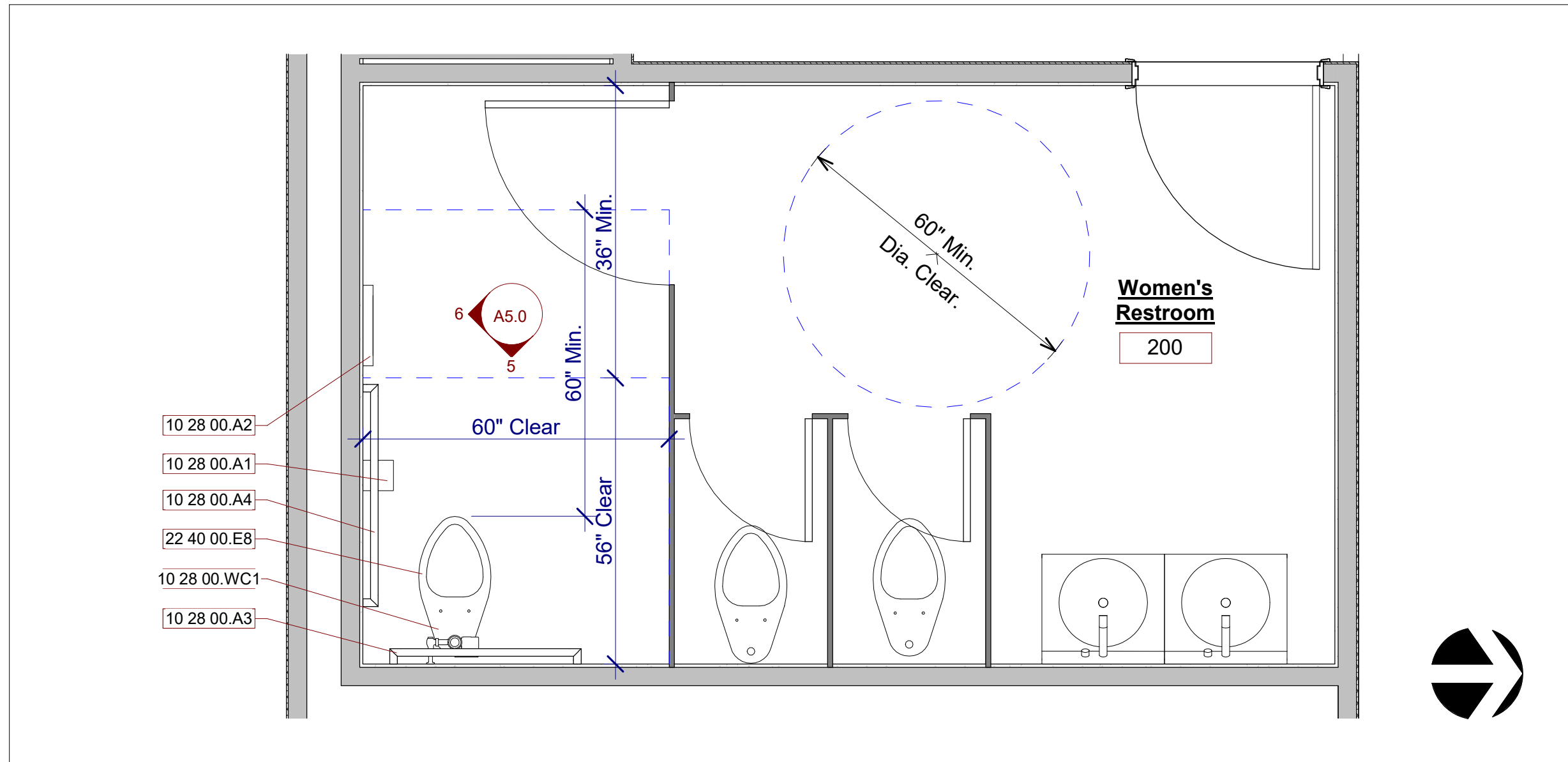
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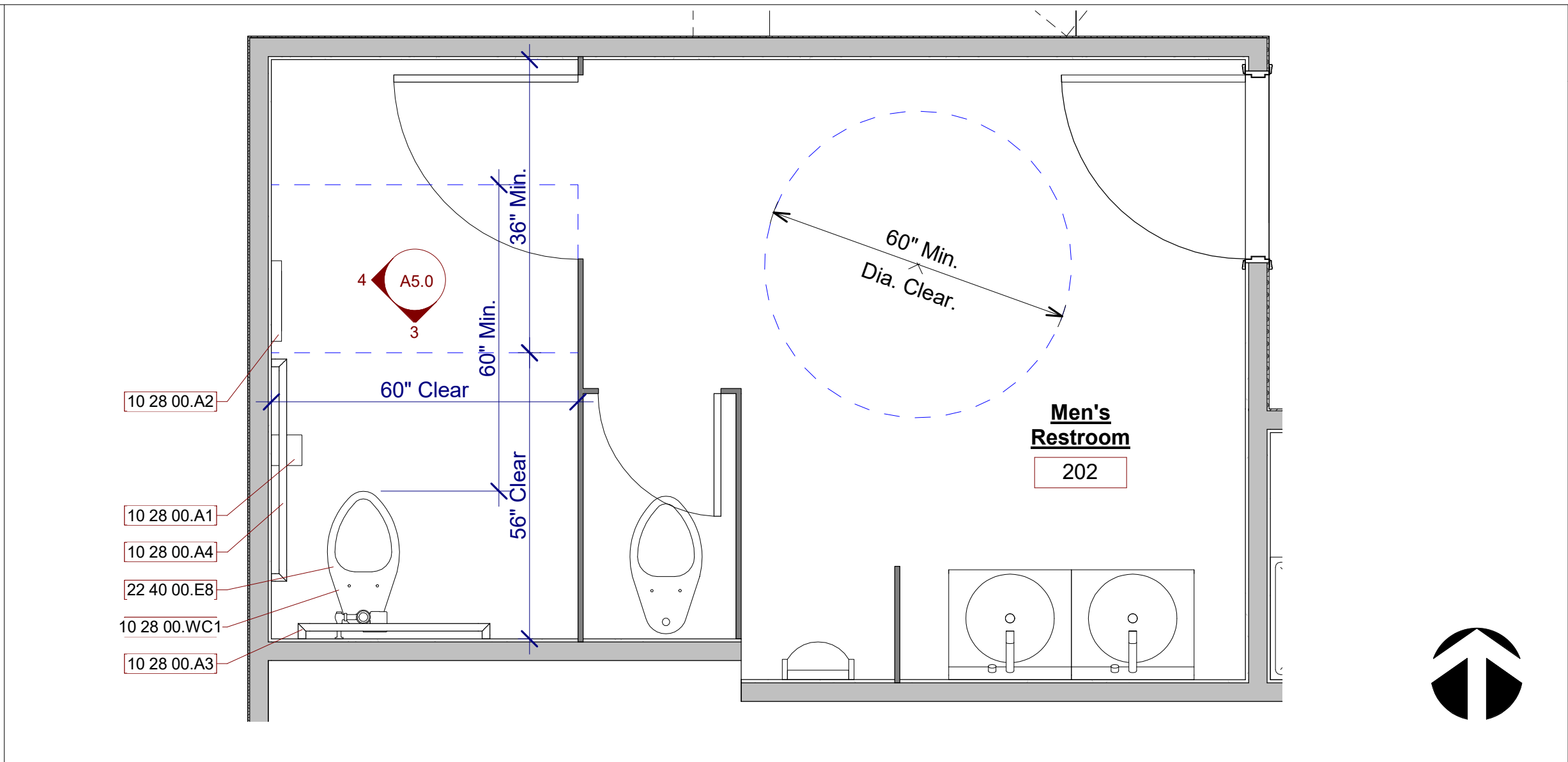
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Storage Exterior Elevation

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A4.2	
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Enlarged- Women's Restroom 200
1/2" = 1'-0"

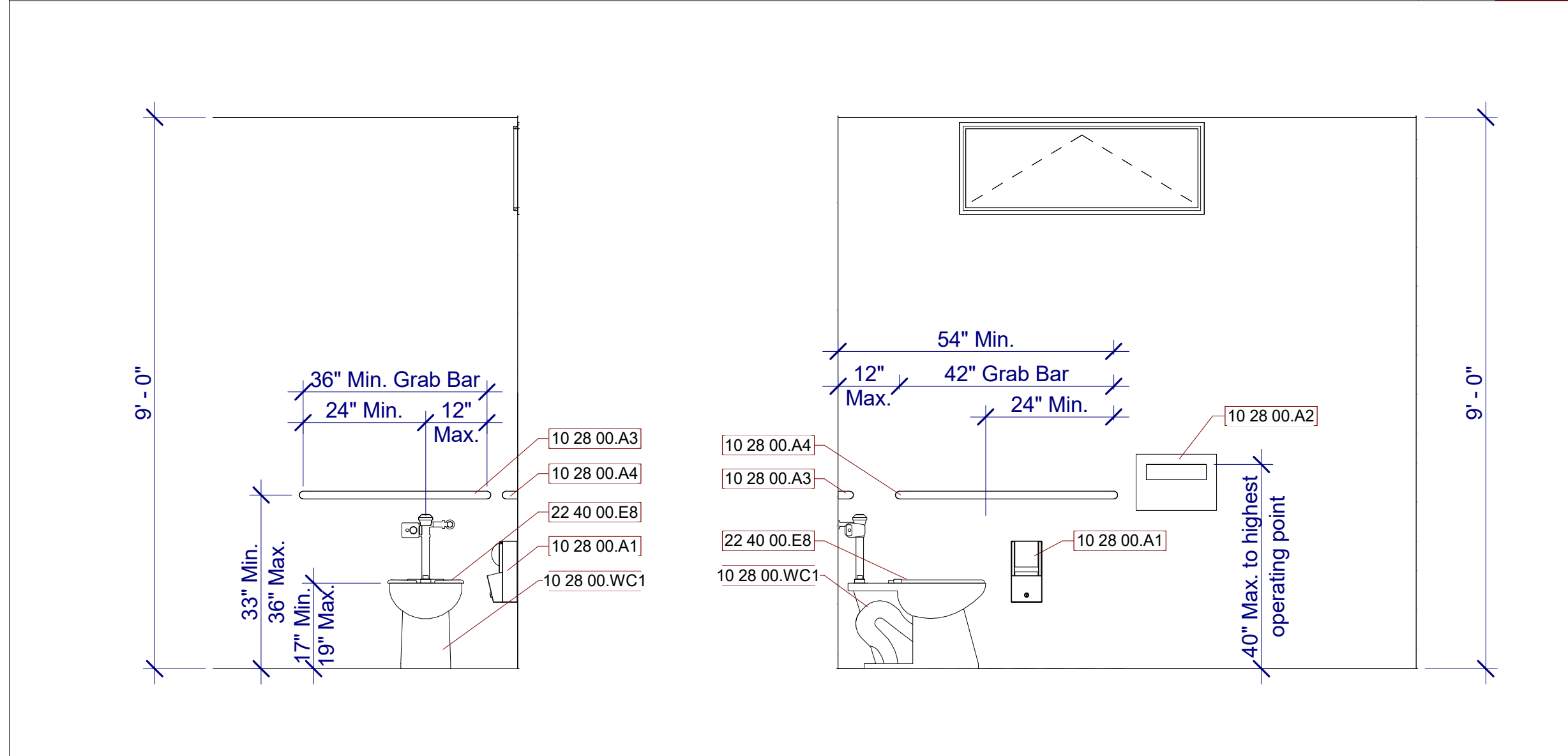


Enlarged- Men's Restroom 202
1/2" = 1'-0"

Keynotes

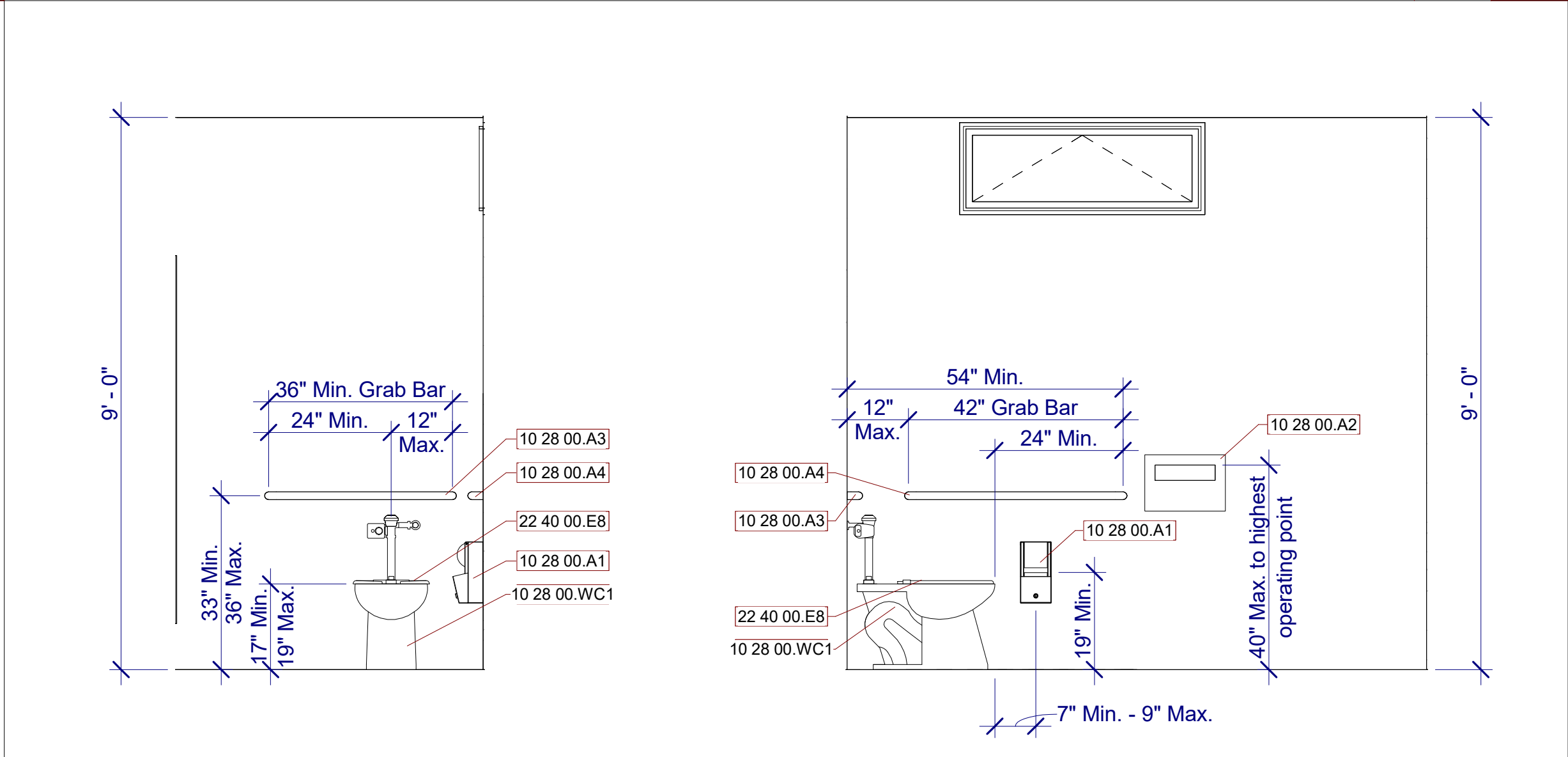
CAI Keynote Legend	
Key Value	Keynote Text
10 28 00.A1	Toilet Tissue Dispenser per CBC 11B-604.7
10 28 00.A2	Toilet Seat Cover Dispenser installed per CBC 11B-603.5
10 28 00.A3	36" Rear Wall Grab Bar per CBC 11B-604.5
10 28 00.A4	42" Side Wall Grab Bar per CBC 11B-604.5
10 28 00.WC1	Kohler Highline Class Five K-3658 toilet and controls to be installed per CBC 11B-604, white with Kohler K-4670-CA 'Lustra' Seat, solid plastic, elongated, open front, check hinge, anti-microbial agent, white to be installed per CBC 11B-604.4
22 40 00.E8	Toilet Seat per CBC 11B-604.4. 2" max. thick Toilet Seat shall not spring to a lifted position, must be operable with maximum 5 pounds of force, with one hand and without tight grasping, pinching, or twisting of wrist.

Notes



09 Women's Restroom 09
1/2" = 1'-0"

09 Women's Restroom 09
1/2" = 1'-0"



07 Men's Restroom 07
1/2" = 1'-0"

07 Men's Restroom 07
1/2" = 1'-0"

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Enlarged Floor Plans

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