



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 22, 2021 REPORT NO. HO-21-036

HEARING DATE: September 29, 2021

SUBJECT: HEALTHPEAK CAMPUS, Process Three Decision

PROJECT NUMBER: [658398](#)

REFERENCE: Touchstone Investments, Project No. [166941](#): Coastal Development Permit (CDP) 618936, Site Development Permit (SDP) 618937, Tentative Map (TM) 619032, and Planned Development Permit (PDP) 998550, Item 338 on the [November 27, 2012 City Council Agenda](#).

Torrey CDP, Project No. [627161](#), Coastal Development Permit 2332260, approved by the Development Services Department on September 11, 2019.

OWNER/APPLICANT: Healthpeak Properties, Inc., (dba HCP Callan Road. LLC, HCP Torrey Pines, LLC, and HCP TPSP LLC)/Project Management Advisors, Inc.

SUMMARY

Issue: Should the Hearing Officer approve a CDP, NDP, SDP, and PDP for the transfer of 58,060 square feet of unutilized development rights from [11099 North Torrey Pines Road](#) to [3020-3030 Callan Road](#); demolition of 91,000 square feet of office space and associated improvements at 3020-3030 Callan Road; the construction of two new office buildings totaling 149,060 square feet at 3020-3030 Callan Road with associated improvements at 3020-3030 Callan Road; and [11011-11025](#), [11077-11085](#), and 11099 North Torrey Pines Road within the University Community Planning Area?

Staff Recommendations:

1. Adopt Negative Declaration [658398](#);
2. Approve Site Development Permit No. 2398739, Coastal Development Permit No. 2398740 (Amendment to CDP No. 2332260), Planned Development Permit No. 2398741, and Neighborhood Development Permit No. 2520690.

Community Planning Group Recommendation: On August 11, 2020, the University Community Planning Group voted 13-0-0 to approve the project with recommendations, which are discussed herein.

Environmental Review: The City of San Diego conducted an Initial Study which determined that the proposed project would not have a significant environmental effect. Negative Declaration 658398 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines.

BACKGROUND

The project site consists of four parcels totaling approximately 29.91 acres, and which are all owned by the same parent company. Together, they serve as an integrated campus. They are all within the IP-1-1 zone within the University Community Plan and Local Coastal Program, Prime Industrial Lands, the Community Plan Implementation Overlay Zone Type B (CPIOZ-B), the Coastal Overlay Zone (Non-Appealable Area 1), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Coastal Impact), the Transit Priority Area Overlay Zone, and Council District 1. In addition, the site is located within the Airport Land Use Compatibility Area Overlay Zone (MCAS Miramar), the Airport Influence Area Overlay Zone (MCAS Miramar - Review Area 1), and the Safety Zone Overlay zone (MCAS Miramar - Accident Potential Zone 2).

1. 3020-3030 Callan Road: The 5.03-acre site is currently occupied by two, three-story office buildings totaling 91,000 square feet, constructed in 1984, which will be demolished and redeveloped as a part of the current project.
2. 11099 North Torrey Pines Road: On November 27, 2012, the City Council approved Project No. 166941 on this 7.9-acre site, which entitled this parcel to develop 58,060 square feet of additional scientific research uses, with an existing 93,079-square-foot building to remain, for a total of 141,880 square feet. The 58,060-square-foot building has not been constructed, and this square footage will be transferred to the Callan Road parcel as part of the current project. All permits related to Project No. 166941 will be rescinded with this project. This site also contains driveways, sidewalks, parking, and landscaping in support of 3020-3030 Callan.
3. 11011-11025 North Torrey Pines Road: This 10.05-acre site is completely developed and contains two existing office buildings. Along with the property at 11077-11085 North Torrey Pines Road, this project is subject to a Coastal Development Permit 2332260 (Project No. 627161) which will be amended as a part of this project. The Healthpeak Campus project will improve this site with driveways, sidewalks, parking, and landscaping in support of 3020-3030 Callan and general circulation within the campus.
4. 11077-11085 North Torrey Pines Road: This 6.93-acre site is completely developed with two existing office buildings and is also subject to Coastal Development Permit 2332260. This site will also contain walkways (including two pedestrian bridges), and landscaping in support of 3020-3030 Callan and general circulation within the campus.

The surrounding area consists generally of similar uses within the same zone and land use designation, with open space to the north and east and Torrey Pines Road to the west.

DISCUSSION

The project site consists of a seven-building campus owned by a single overall owner. In conjunction with the redevelopment of buildings on the 3020-3030 Callan Road site, the campus is being developed to enhance pedestrian access between buildings and from offsite.

Project Description:

1. Demolish existing buildings and site improvements at 3020-3030 Callan Road.
2. Transfer 58,060 square feet of development rights from 11099 North Torrey Pines Road to 3020-3030 Callan Road, and dedicate a covenant of easement. Rescindment of Coastal Development Permit (CDP) 618936, Site Development Permit (SDP) 618937, Tentative Map (TM) 619032, and Planned Development Permit (PDP) 998550 will be a condition of approval of this project.
3. Construct two new buildings at 3020 and 3030 Callan Road, each three stories over a basement, for a total of 149,060 square feet of gross floor area. Project features include a green roof, and a majority of parking located under each building, with associated improvements, including landscaping and enhanced pedestrian connections to adjacent properties, grading and landscaping on adjacent properties as discussed in #4 below.
4. Improvements at 11011-11025, 11077-11085, and 11099 North Torrey Pines Road related to the development on the 3020-3020 Callan Road site, and in general support of improved pedestrian and vehicular circulation in the larger campus area, including landscaping, grading, pedestrian paths, bridges, and relocation and reconfiguration of vehicular circulation and parking.

Permits Required:

1. Process Three Site Development Permit (SDP): Required per [SDMC Table 132.14B and SDMC 132.1402\(b\)](#) due to the Community Plan Implementation Overlay Zone (CPIOZ-B).
2. Process Two Coastal Development Permit (CDP): Required for development in the Coastal Zone per SDMC [126.0707\(a\)](#).
3. Process Three Planned Development Permit (PDP): Required by Page 176, Section E. of the [University Community Plan](#) (UCP) per [SDMC 126.0602\(a\)\(1\)](#) for the transfer of development rights from 11099 North Torrey Pines Road to 3020-3030 Callan Road.
4. Process Two Neighborhood Development Permit (NDP): Required for alternative compliance for maximum intensity in the Airport Safety Zone per [SDMC 132.1515\(d\)](#), and for zoning deviations on a Sustainable project per [SDMC 143.0920\(c\)](#). Deviations requested are:

- a. A deviation from setbacks, to allow:
 - i. A zero-foot side setback on 3020-3030 Callan Road where 15 feet is otherwise required by [SDMC 131.0631](#), required to allow two pedestrian bridges, where the proposed building otherwise meets the setback.
 - ii. A zero-foot rear setback on 11085 North Torrey pines Road where 25 feet is otherwise required by SDMC 131.0631 for the same two bridges, where the existing building otherwise meets the setback.
 - iii. A 15-foot rear setback on 3020-3030 Callan Road, where 25 feet is otherwise required by SDMC 131.0631, this being for a small portion of the building, where the majority of the building is observing the required setback. This was determined to be necessary during design, due to the grades onsite.
- b. A deviation for retaining wall height, to allow up to 18 feet where 12 feet is otherwise required per [SDMC 142.0350](#).

These permits are consolidated for processing per [SDMC 112.0103](#), with the Hearing Officer as the decision maker.

With the exception of the requested deviations, the project complies with the development requirements of the San Diego Municipal Code, including required setbacks, Floor Area Ratio, building height, refuse and recycling areas, outdoor amenities, parking requirements, and circulation. The project meets the requirements of the Coastal Height Limitation Overlay Zone at a maximum building height of 30 feet above existing grade.

PROJECT ISSUES:

1. CPIOZ-B:

As shown in "Community Plan Analysis" below, the project implements the requirements of the Community Plan at this location, which is the intent of the Community Plan Implementation Overlay Zone.

2. Coastal Zone:

The project does not encroach on any existing or proposed public accessway and does not affect public views to or along the ocean due to its location. It does not encroach into Environmentally Sensitive Lands and meets all requirements of the University Community Plan and Local Coastal Program related to the site. It is not located between the nearest public roadway and the sea.

3. Transfer of Development Rights:

The two sites proposed for transfer of development rights contain an existing 83,820 square foot building and an 8,829-square-foot greenhouse on 11099 North Torrey Pines Road, as

well as a 91,000-square-foot building on 3020/3030 Callan Road. The 91,000-square-foot building on Callan Road will be demolished and both structures at 11099 North Torrey Pines Road will remain. The 8,829 square-foot greenhouse building is excluded from the gross floor area calculation as it directly supports the research and development uses on the premises as outlined in the San Diego Land Development Code. With the addition of the 149,060 square foot buildings on 3020/3030 Callan Road, the net building square footage of the two sites site totals 232,880 SF, which is 17,725 SF per acre, and would not impact the development intensity established for scientific research uses in this area (UCP, Table 3, Subarea 9, page 164).

4. Airport Safety Zone:

The project is located in Safety Zone 2 of MCAS Miramar. Accordingly, there will be a maximum of fifty people per acre allowed on the site as outlined in San Diego Municipal Code (SDMC) Section 132.1515(d) and SDMC Table 132-15F. This limitation is typically achieved by limiting the allowable FAR to .34 as shown in that table. However, [SDMC 132.1515\(d\)](#) allows the proposal of alternative methods of compliance with approval of a Neighborhood Development Permit.

The applicant demonstrated alternative compliance by using an employee vehicle occupancy rate of 1.05 people per parking space per the [MCAS Miramar Airport Land Use Compatibility Plan, Appendix D, Page D-3](#). Therefore, limiting the allowable number of parking spaces combined on 3020-3030 Callan Road and 11099 North Torrey Pines Road to 626 spaces total, as shown on Exhibit "A", achieves compliance with the required 50 people/acre.

5. Zoning Deviations:

The project is eligible for a reduced deviation process (from Process 4 PDP to Process 2 NDP) because it will implement the Voluntary Tier 2 Measures of Title 24, Part 11 California Green Building Standards Code in effect at the time the building permit application is deemed complete per [SDMC 143.0915\(c\)](#). Deviations to setbacks and retaining wall height are sought.

Setbacks: The project site consists of a seven-building campus owned by a single owner. In conjunction with the redevelopment of the Callan Road site, the campus is being developed to enhance pedestrian access between buildings and from offsite. Due to the extreme grades on site, accessible pedestrian access to 3020/3030 Callan Road is only possible across the 11011 and 11085 North Torrey Pines Road sites, then onto 3020/3030 Callan Road through two pedestrian bridges that cross the property line. These bridges encroach into their respective setbacks, necessitating deviations at the side of 3020-3030 Callan Road and the rear of 11085 North Torrey Pines Road.

A small portion of the north side of the Callan Road Building B encroaches into the standard rear setback, which was determined as necessary during design due to the extreme grades on site. The deviation is internal to the campus and cannot be seen from the street. It protects the public health, safety, and welfare by facilitating a project that provides dedicated, safe, and accessible paths for pedestrians between buildings. The deviation will

assist with creating a sustainable building opportunity as the bridges are necessary to create an accessible, pedestrian-friendly campus which reduces the need for car traffic during the workday for employees.

The intent of a setback is to maintain space between buildings on separate properties. The deviation for Building B complies with the intention of the setback, and overall land use plan, since there is over 100 feet between the new buildings and the existing buildings, whereas if both buildings were up against the setbacks, there would only be a 40-foot separation.

Retaining Wall: Retaining walls outside of setbacks are allowed to a maximum of 12 feet in height; 18 feet are being requested.

There is an approximately 65-foot drop in elevation from the road on the west side of the project to the setback line on the east side of the property. In order to reduce the retaining wall height as much as feasible, the applicant took several design measures, including making the parking lot steeper than normal, reducing plaza space in order to push the parking farther onto the site to reduce the height of the southern portion of this retaining wall, and setting the building levels based on reducing the retaining wall height. These changes reduced the exposed area of the wall by about 50% from the initial design.

To help reduce the perceived scale of the wall, the project provides a landscape planting buffer at the bottom of the wall to allow plantings to grow and cover the lower part of the wall, and will provide a decorative block so it is more attractive.

The retaining wall will be no greater than 18' exposed (plus a buried depth as determined by structural engineering) at the highest part of the wall, and a large portion of the wall will be less than 12 feet above finish grade. This wall is not visible from the public right of way and will be screened with landscaping.

The deviations are appropriate for the proposed location as they enhance the research and development use of the property.

Community Plan Analysis

All project parcels are designated "Scientific Research" within the Torrey Pines Subarea of the University Community Plan and Local Coastal Program and are located within the Community Plan Implementation Overlay Zone, Type B (CPIOZ-B). The buildings will be used for scientific research; therefore, the proposed land use is consistent with that designation.

Page 174, Section B of the University Community Plan outlines the specific issues to be addressed in CPIOZ-B. These include, but are not limited to architecture, materials, site design, grading, bulk and scale, and pedestrian scale as well as all requirements of the Urban Design Element of the Plan. The project uses natural color palettes, preserves existing mature trees, provides additional native trees and other native landscaping (including Torrey Pines, Coast Live Oaks, and other native species), provides pedestrian paths and improved pedestrian connectivity via bridges, and uses major variation in wall planes, all of which are required by the Urban Design Element. Building design and

materials have been selected to integrate into the larger campus and complement the design of adjacent buildings.

Staff has determined that the project is consistent with the Scientific/Research designation, and supports the design requirements, goals and policies of the University Community Plan, including:

1. Create a physical, social and economic environment complementary to UCSD and its environs and the entire San Diego metropolitan area (Page 16).

The project will develop a new building that complements the existing development pattern of the general area, includes significant new landscaping, and enhances pedestrian and vehicular connectivity in the area.

2. Promote job opportunities within the University community (Page 17).

The project facilitates the construction of an additional 58,060 square feet of research and development uses in the area. By providing additional scientific research square footage in the University community, additional jobs will be generated.

3. Minimize the impact of aircraft noise and the consequences of potential aircraft accidents (Page 19).

The project is not located within the noise contours of any airport; however, it is located in Safety Zone 2 of MCAS Miramar. Accordingly, there will be a maximum of fifty people per acre allowed on the site as outlined in SDMC 132.1515(d) and SDMC Table 132-15F. This is achieved by limiting the allowable number of parking spaces combined on 3020-3030 Callan Road and 11099 North Torrey Pines Road to 626 spaces total, as shown on Exhibit "A".

4. Provide for the needs of pedestrians in all future design and development decisions (Page 44).

The project enhances pedestrian connectivity in the area by providing bridges and pedestrian paths with canopy, shade-producing trees along the paths.

5. Ensure that San Diego's climate and the community's unique topography and vegetation influence the planning and design of new projects (Page 44).

6. Protect and take maximum advantage of the Torrey Pines Subarea's topography and unique natural vegetation (Page 99).

Both goals above are met because the project will preserve over half of the existing mature trees onsite. New proposed landscaping uses natural vegetation, including Torrey Pines, Coast Live Oaks, and a variety of species common to local Coastal Sage Scrub and Chapparal communities. Non-native, non-invasive plants that are complementary to the native palette are also proposed. The 3020-3030 Callan Road site will be re-graded in a way that continues to respect the local topography.

7. Preserve existing mature trees (Page 100).

The project proposes to protect 95 of 156 existing trees onsite and replaces those lost at a ratio of 2.3:1.

On August 11, 2020, the University Community Planning Group voted 13-0-0 to approve the project with two recommendations:

1. The project should include full shielding of lights, and
2. Best management practices should be followed to mitigate against bird strikes.

The Municipal Code regulates outdoor lighting via [SDMC 142.0740](#), which requires outdoor lighting fixtures to be installed in a manner that minimizes negative impacts from light pollution including light trespass, glare, etc. A significant bird strike issue was not identified during project review.

Staff has reviewed project plans and documents, and all the necessary findings can be made to approve the project as discussed in depth above and demonstrated in the resolution of approval (Attachment 4). Staff recommends that the Hearing Officer approve Site Development Permit No. 2398739, Coastal Development Permit No. 2398740 (amendment to Coastal Development Permit No. 2332260), Planned Development Permit No. 2398741, and Neighborhood Development Permit No. 2520690.

ALTERNATIVES

1. Approve Site Development Permit No. 2398739, Coastal Development Permit No. 2398740 (amendment to Coastal Development Permit No. 2332260), Planned Development Permit No. 2398741, and Neighborhood Development Permit No. 2520690, and Neighborhood Development Permit No. 2520690, with modifications.
2. Deny Site Development Permit No. 2398739, Coastal Development Permit No. 2398740 (amendment to Coastal Development Permit No. 2332260), Planned Development Permit No. 2398741, and Neighborhood Development Permit No. 2520690, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Martin R. Mendez
Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map

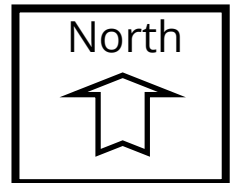
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with conditions
6. Draft Environmental Resolution
7. Community Planning Group Recommendation
8. Ownership Disclosure Statements
9. Project Plans
10. Coastal Development Permit 2332260, which is amended by this project



Project Location Map

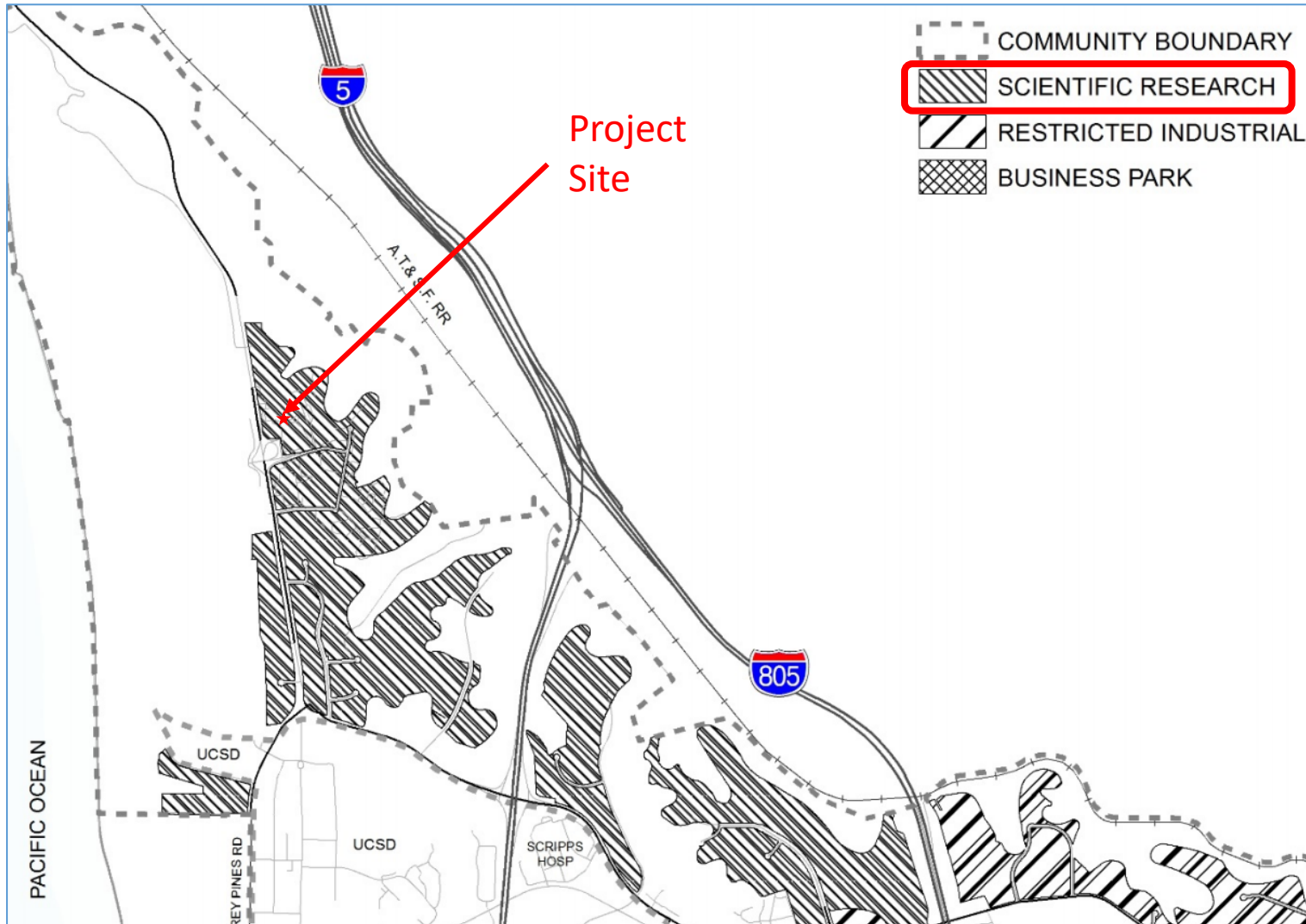


Project No. 658398, Healthpeak Campus
3020-3030 Callan Road and 11011-11025, 11077-11085, and 11099 North Torrey Pines Road

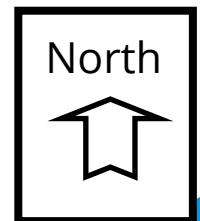




Community Plan

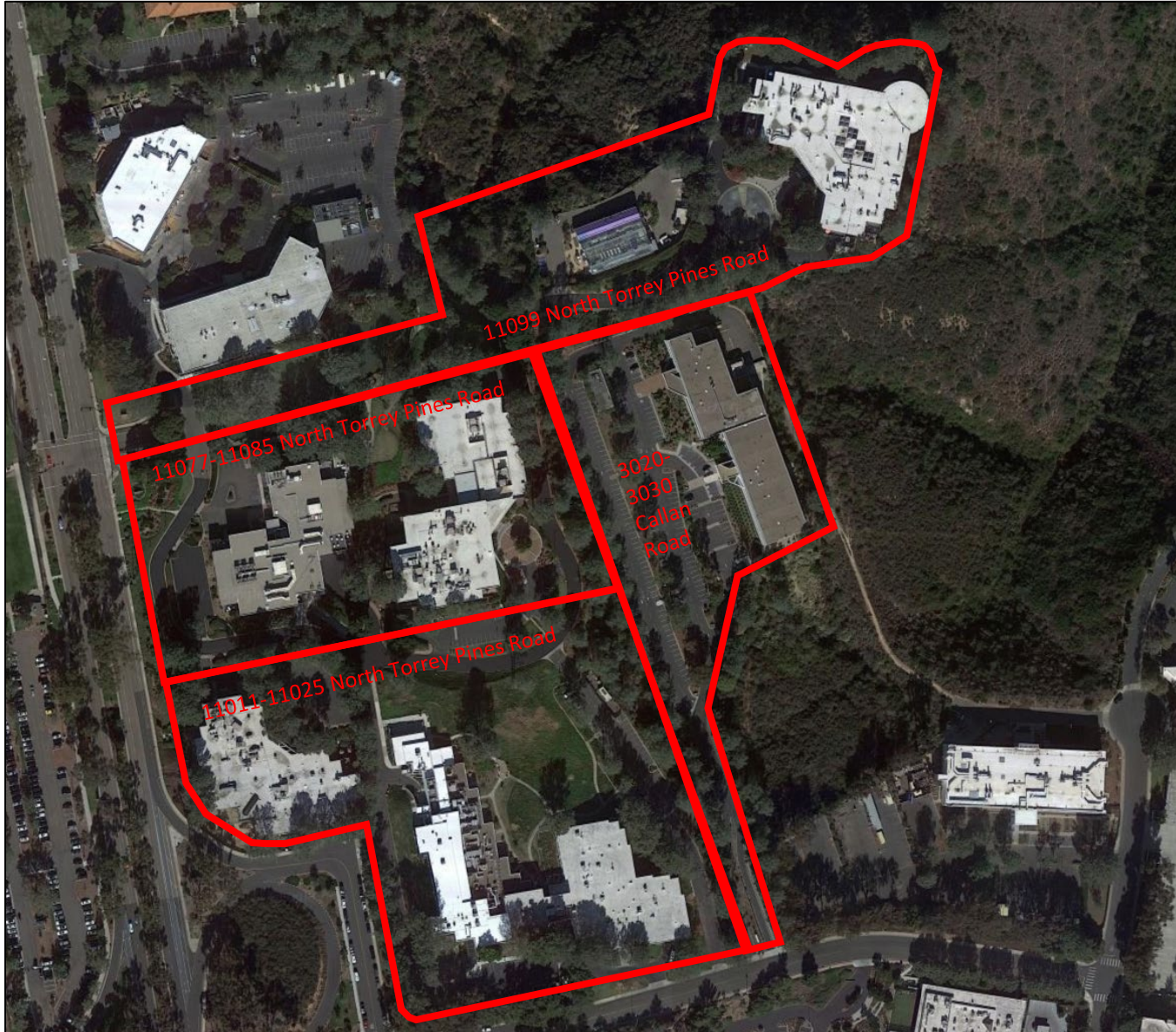


Project No. 658398, Healthpeak Campus
3020-3030 Callan Road and 11011-11025, 11077-11085, and 11099 North Torrey Pines Road

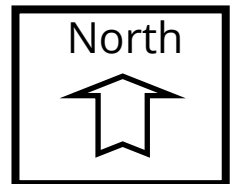




Aerial Photo



Project No. 658398, Healthpeak Campus
3020-3030 Callan Road and 11011-11025, 11077-11085, and 11099 North Torrey Pines Road



HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. 2398739
COASTAL DEVELOPMENT PERMIT NO. 2398740
PLANNED DEVELOPMENT PERMIT NO. 2398741
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2520690
HEALTHPEAK CAMPUS - PROJECT NO. 658398
AMENDMENT TO COASTAL DEVELOPMENT PERMIT NO. 2332260
HEARING OFFICER

WHEREAS, HCP CALLAN ROAD, LLC, HCP TORREY PINES, LLC, and HCP TPSP, LLC, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish two existing buildings totaling 91,000 square feet (sf) at 3020/3030 Callan Road and build two new, three-level buildings over underground parking totaling 149,060 SF by reallocating un-used development rights from 11099 North Torrey Pines Road to 3020/3030 Callan Road, with the 83,820 SF building and greenhouse at 11099 North Torrey Pines to remain (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2520691, 2520692, and 2520693), on portions of a combined 29.91-acre site;

WHEREAS, the project site is located at 3020-3030 Callan Road and 11011-11099 North Torrey Pines Road in the IP-1-1 zone within the University Community Plan and Local Coastal Program, Prime Industrial Lands, the Community Plan Implementation Overlay Zone Type B (CPIOZ-B), the Coastal Overlay Zone (Non-Appealable Area 1), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Coastal Impact), the Transit Priority Area Overlay Zone, and Council District 1. In addition, the site is located within the Airport Land Use Compatibility Area Overlay Zone (MCAS Miramar), the Airport Influence Area Overlay Zone (MCAS Miramar - Review Area 1), and the Safety Zone Overlay zone (MCAS Miramar - Accident Potential Zone 2);

WHEREAS, the project site is legally described as: Lot 1 of Parcel Map No. 12041, in the City of San Diego, County of San Diego, State of California, filed in the office for the County Recorder of San Diego County, April 2, 1982, as File No. 82-090385 of Official Records [also known as 3020-3030

Callan Road], Parcel 2 of Parcel Map No. 10901, filed in the Office of the County Recorder of San Diego County, being a Division of Lot 11 of Torrey Pines Science Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 8434, filed in the Office of the County Recorder of San Diego County [also known as 11011-11025 North Torrey Pines Road]; Parcel 1 of Parcel Map No. 10901, filed in the Office of the County Recorder of San Diego County, being a Division of Lot 11 of Torrey Pines Science Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 8434, filed in the Office of the County Recorder of San Diego County [also known as 11077-11085 North Torrey Pines Road]; and Parcel 2 of Parcel Map No. 14129, in the City of San Diego, County of San Diego, State of California, Filed in the Office of the County Recorder of San Diego County, January 27, 1986, As File/Page No. 86-033252 of Official Records [also known as 11099 North Torrey Pines Road].

WHEREAS, on September 29, 2021, the Hearing Officer of the City of San Diego considered Site Development Permit No. 2398739, Coastal Development Permit No. 2398740, Planned Development Permit No. 2398741, and Neighborhood Development Permit No. 2520690 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2398739, Coastal Development Permit No. 2398740, Planned Development Permit No. 2398741, and Neighborhood Development Permit No. 2520690:

A. COASTAL DEVELOPMENT PERMIT – SDMC Section 126.0708

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and**

along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The 29.91-acre project site consists of four parcels: 3020-3030 Callan Road, 11011-11025 North Torrey Pines Road, 11077-11085 North Torrey Pines Road, and 11099 North Torrey Pines Road. The project proposes the demolition of an existing building located at 3020-3030 Callan Road, and construction of two three-story research and development buildings totaling 149,060 square feet, along with associated improvements. Such improvements are located principally on the 3020-3030 Callan Road parcel, but also including parking, pedestrian and vehicular access, and landscaping on the other three sites, in support of 3020-3030 Callan and general circulation within the area. The existing 83,820 square foot building and existing greenhouse located at 11099 North Torrey Pines Road, as well as existing buildings at 11011-11085 North Torrey Pines Road shall remain in place. To allow for the construction of the new research and development buildings, the application includes the requirement to rescind CDP No. 618936, SDP No. 618937, TM 619032, and PDP No. 998550 to allow the transfer of development rights from 11099 N. Torrey Pines Rd to 3020-3030 Callan Road; it will also amend CDP No. 2332260 for 11011-11085 North Torrey Pines Road.

The project site is not located between the nearest public road and the sea or shoreline. This project site is located on the east side of Torrey Pines Road, approximately one mile directly inland from the Pacific Ocean.

Callan Road is not designated as a view corridor and does not contain intermittent or partial vista, viewshed or scenic overlook with views toward the Pacific Ocean. The proposed development would not encroach upon any existing or proposed physical access ways that are legally used by the public as identified by the University Community Plan and Local Coastal Program Land Use Plan (hereinafter referred to as the UCP).

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site does not contain Environmentally Sensitive Lands (ESL). The project is adjacent to, but does not contain, the Multiple Habitat Planning Area (MHPA), and will avoid disturbance to adjacent natural areas. All of the proposed development will occur within the previously developed/disturbed site. In addition, project plans include a Brush Management Plan, which will be implemented with the project.

The environmental effects of the project were evaluated per the California Environmental Quality Act (CEQA) and the State CEQA Guidelines. Staff determined that on the basis of the entire record, including the Initial Study and any comments received, that there is no substantial evidence that the project will have a significant effect on the environment.

Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project is located in the IP-1-1 zone which allows for research and development uses with some limited manufacturing, and the University Community Plan (UCP) designates the site as Scientific Research. The project is consistent with the Scientific/Research designation, and supports the design requirements, goals, and policies of the University Community Plan, including:

1. Create a physical, social, and economic environment complementary to UCSD and its environs and the entire San Diego metropolitan area (Page 16).

The project will develop an attractive new building that complements the existing development pattern of the general area, includes significant new landscaping, and enhances pedestrian and vehicular connectivity in the area.

2. Promote job opportunities within the University community (Page 17).

The project facilitates the construction of an additional 58,060 square feet of research and development uses in the area, which will generate more job opportunities.

3. Minimize the impact of aircraft noise and the consequences of potential aircraft accidents (Page 19).

The project is not located within the noise contours of any airport; however, it is located in Safety Zone 2 of MCAS Miramar. Accordingly, there will be a maximum of fifty people per acre allowed on the site as outlined in San Diego Municipal Code (SDMC) Section 132.1515(d) and SDMC Table 132-15F. This limitation is typically achieved by limiting the allowable FAR to .34 as shown in that table. However, SDMC 132.1515(d) allows the proposal of alternative methods of compliance with approval of a Neighborhood Development Permit. The applicant demonstrated alternative compliance by using an employee vehicle occupancy rate of 1.05 people per parking space per the MCAS Miramar Airport Land Use Compatibility Plan, Appendix D, Page D-3. Therefore, limiting the allowable number of parking spaces combined on 3020-3030 Callan Road and 11099 North Torrey Pines Road to 626 spaces total, as shown on Exhibit "A", achieves compliance with the required 50 people/acre.

4. Provide for the needs of pedestrians in all future design and development decisions (Page 44).

The project enhances pedestrian connectivity in the area by providing bridges and pedestrian paths with canopy, shade-producing trees along the paths.

5. Ensure that San Diego's climate and the community's unique topography and vegetation influence the planning and design of new projects (Page 44).

The project will preserve over half of the existing mature trees onsite. New landscaping uses natural vegetation, including Torrey Pines, Coast Live Oaks, and a variety of species common to local Coastal Sage Scrub and Chapparal communities. Non-native, non-invasive plants that are complementary to the native palette are also proposed. The 3020-3030 Callan Road site will be re-graded in a way that continues to respect the local topography as much as possible.

6. Protect and take maximum advantage of the Torrey Pines Subarea's topography and unique natural vegetation (Page 99).

The project protects and takes maximum advantage of the Torrey Pines Subarea's topography and unique natural vegetation as set out in number 5 above, incorporated herein by reference.

7. Preserve existing mature trees (Page 100).

The project proposes to protect 95 of 156 existing trees. The project will then plant 145 additional trees, a replacement ratio of 2.3 to 1.

Exhibit "A" provides building section exhibits that demonstrate that the structures and projections will not exceed the maximum height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ).

The project complies with the development intensity established by the UCP for this area. Currently, the two sites proposed for a transfer of development rights (11099 North Torrey Pines Road and 3020/3030 Callan Road) contain an existing 83,820 square foot building and an 8,829-square-foot greenhouse on 11099 North Torrey Pines Road, as well as a 91,000-square-foot building on 3020/3030 Callan Road. The 91,000-square-foot building on Callan Road will be demolished and both structures on 11099 North Torrey Pines Road will remain. The 8,829 square-foot greenhouse building is excluded from the gross floor area calculation as it directly supports the Research and Development uses on the premises as outlined in the San Diego Land Development Code. With the addition of the 149,060 square foot buildings on 3020/3030 Callan Road, the net building square footage of the two sites site totals 232,880 SF, which is 17,725 SF per acre, and would not impact the development intensity established for scientific research uses in this area (UCP, Table 3, Subarea 9, page 164).

The project requests minor deviations from the applicable regulations and policy documents, which are consistent with the recommended land use designation, design guidelines, and development standards in effect for this site as outlined in sections C.1.c and C.2.b below. Also, as described above, the project advances several key goals and policies of the UCP.

Therefore, for all of these reasons, the development is in conformity with the certified Local Coastal Program land use plan.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located at 3020-3030 Callan Road, 11011-11025 North Torrey Pines Road, 11077-11085 North Torrey Pines Road, and 11099 North Torrey Pines Road, approximately one mile directly inland from the Pacific Ocean. The project is not located between the nearest public road and the sea or shoreline. Therefore, the project will not affect public access and public recreation policies of Chapter 3 of the Coastal Act.

B. SITE DEVELOPMENT PERMIT – SDMC Section 126.0505

1. Findings for all Site Development Permits

- a. The proposed development will not adversely affect the applicable land use plan.**

As set out in finding A.1.c above, incorporated herein by reference, the proposed development would not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The proposed new research and development buildings will achieve a LEED Silver Certification and will implement the Voluntary Tier 2 Measures of Title 24, Part 11 California Green Building Standards Code in effect at the time the building permit application is deemed complete per SDMC 143.0915(c). The project will also achieve at least a LEED Silver Certification. LEED, which stands for Leadership in Energy and Environmental Design, is an international framework for evaluating the efficiency and sustainability of green buildings. LEED Silver is the second of four tiers which score the sustainable features of a building's design, such features being discussed in detail in C.2.a below, incorporated herein by reference.

The project is located within the Airport Influence Area of the Marine Corps Air Station (MCAS) Miramar. The proposed development is located outside the 60dB Community Noise Equivalent Level (CNEL) noise contour and complies with ALUCP

airspace protection surfaces. The project is located in Safety Zone 2 of MCAS Miramar, and this is addressed by limiting the 3020-3030 Callan Road and 11099 North Torrey Pines Road to a maximum of 50 people per acre as outlined in SDMC 132.1515(d) and SDMC Table 132-15F. This limitation is typically achieved by limiting the allowable Floor Area Ratio (FAR) to .34 as shown in that table. However, SDMC 132.1515(d) allows the proposal of alternative methods of compliance with approval of a Neighborhood Development Permit. The applicant demonstrated alternative compliance by demonstrating an employee vehicle occupancy rate of 1.05 people per parking space per the MCAS Miramar Airport Land Use Compatibility Plan, Appendix D, Page D-3. Therefore, limiting the allowable number of parking spaces combined on 3020-3030 Callan Road and 11099 North Torrey Pines Road to 626 spaces total, as shown on Exhibit "A", achieves compliance with the required 50 people/acre.

The project will provide fire access roads, a new fire hydrant, and aerial fire access roads where required in order to ensure continued fire access service to the property and the campus. Enhanced pedestrian connectivity will also be provided. A Brush Management Plan is included that meets the requirements of SDMC section 142.0412 by providing an effective fire break between all structures and contiguous areas of native and naturalized vegetation. The project will comply with the development intensity requirements of the Safety Zones for MCAS Miramar.

The environmental effects of the project were evaluated per the California Environmental Quality Act (CEQA) and the State CEQA Guidelines. Staff determined that on the basis of the entire record, including the Initial Study and any comments received, that there is no substantial evidence that the project will have a significant effect on the environment.

Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owners/permittees shall be required to obtain a grading and public improvement permit.

Based on the above, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project complies with all applicable sections of the San Diego Municipal Code, including requests for minor deviations the applicable regulations as allowed therein, which are consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. These deviations are discussed in depth in section C.2.b below, incorporated herein by reference.

C. NEIGHBORHOOD DEVELOPMENT PERMIT – SDMC Section 126.0404

1. Findings for all Neighborhood Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

As set out in findings A.1.c and B.1.a above, incorporated herein by reference, the proposed development would not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

As set out in findings B.1.b above, incorporated herein by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. Proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

As set out in findings B.1.c above and C.2.b below, incorporated herein by reference, the project complies with all applicable sections of the San Diego Municipal Code, including any allowable deviations pursuant to the Land Development Code.

2. Supplemental Findings SDMC Section 126.0404(f) – Affordable Housing, In-Fill Projects, or Sustainable Buildings Deviation

- a. The development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings opportunities.**

The project will implement the Voluntary Tier 2 Measures of Title 24, Part 11 California Green Building Standards Code in effect at the time the building permit application is deemed complete per SDMC 143.0915(c). It will also achieve at least a LEED Silver Certification. LEED, which stands for Leadership in Energy and Environmental Design, is an international framework for evaluating the efficiency and sustainability of green buildings. LEED Silver is the second of four tiers which score the sustainable features of a building's design. LEED features to be provided by the project include, but are not limited to:

- Bicycle Facilities: Storage and changing facilities for bike riders, as well as being part of a bicycle network.
- Green Vehicles: Providing a percentage of preferred parking stalls for electric vehicles (EV), low emission, and Carpool vehicles.
- Heat Island reduction: A green roof as well as low solar reflective index surfaces on roofs and hardscape.
- Light Pollution: Exterior light fixtures that limit light pollution.

- Indoor Water use: Low flow fixtures that exceed baseline Building Code requirements.
- Outdoor Water Use: Native landscaping that requires less watering than more conventional landscaping.
- Renewable Energy production: The canopy between the buildings is a building integrated photovoltaic that will produce energy for the building.
- Material and Resource Credits: The building is proposed to be constructed of materials that have a low life cycle impact, are composed of recycled materials, and sourced, and manufactured in a way that is better for the environment.
- Low-Emitting Materials: Building materials that emit low amounts of Volatile Organic Compounds (VOCs).
- Daylight and Views: The building provides access to natural daylight as well as views to the outside.

Therefore, this project accomplishes the goal of providing sustainable building opportunities in San Diego.

b. Any proposed deviations are appropriate for the proposed location.

The project is requesting minor deviations from the applicable regulations and policy documents, which are consistent with the recommended land use designation, design guidelines, and development standards in effect for this site, including conformance with the applicable regulations of the Land Development Code (LDC).

The deviations are being requested in order to create an accessible and cohesive campus. The benefits from the deviations are outlined below. The deviations will result in a project that is appropriate for the proposed location.

The deviations are as follows:

Deviation 1. A deviation from San Diego Municipal Code (SDMC) Table 131-06C for side and rear setbacks, to allow:

1. A zero-foot side setback on 3020-3030 Callan Road where 15 feet is otherwise required by SDMC 131.0631, required to allow two pedestrian bridges, where the proposed building otherwise meets the setback.
2. A zero-foot rear setback on 11085 North Torrey Pines Road where 25 feet is otherwise required by SDMC 131.0631 for the same two bridges, where the existing building otherwise meets the setback.
3. A 15-foot rear setback on 3020-3030 Callan Road, where 25 feet is otherwise required by SDMC 131.0631, this being for a small portion of the building, where the majority of the building observes the required setback. This was

determined to be necessary during design, due to the grades onsite.

The project site consists of a seven-building campus owned by a single overall owner. In conjunction with the redevelopment of the Callan Road site, the campus is being developed to enhance pedestrian access between buildings and from offsite. Due to the extreme grades on site, accessible pedestrian access to 3020/3030 Callan Road is only possible across the 11011 and 11085 North Torrey Pines Road sites, then onto 3020/3030 Callan Road through two pedestrian bridges that cross the property line.

A small portion of the north side of the Callan Road Building B encroaches into the standard rear setback, which was determined as necessary during design due to the extreme grades on site.

The intent of a setback is to maintain space between buildings on separate properties. This deviation complies with the intention of the setback, and overall land use plan, since there is over 100 feet between the new buildings and the existing buildings, whereas if both buildings were up against the setbacks, there would only be a 40-foot separation. The deviation is internal to the campus and cannot be seen from the street. It protects the public health, safety, and welfare by providing a dedicated, safe, and accessible path for pedestrians between buildings. The deviation will assist with creating a sustainable building opportunity as the bridges are necessary to create an accessible, pedestrian-friendly campus which reduces the need for car traffic during the workday for employees.

Deviation 2. A deviation from SDMC 142.0340 for retaining wall height. Retaining walls outside of setbacks are allowed to be a maximum of 12 feet in height; 18 feet are being requested.

There is an approximately 65-foot drop in elevation from the road on the west side of the project to the setback line on the east side of the property. Multiple design decisions were made in order to reduce the retaining wall height as much as feasible, including making the parking lot steeper than normal, reducing plaza space in order to push the parking farther onto the site to reduce the height of the southern portion of this retaining wall, and setting the building levels based on reducing the retaining wall height. These changes reduced the exposed area of the wall by about 50% from the initial design.

The project also utilizes design elements to help reduce the perceived scale of the wall by providing a landscape planting buffer at the bottom of the wall to allow plantings to grow and cover the lower part of the wall, and intending to provide a decorative block so it is more attractive.

The retaining wall will be no greater than 18' exposed (plus a buried depth as determined by structural) at the highest part of the wall, and a large portion of the wall will be less than 12 feet above finish grade. This wall is not visible from the public right of way and will be screened with landscaping.

This deviation protects the public health, safety, and welfare by providing fall protection at the top of the retaining wall to protect people on the Callan campus. This deviation is appropriate for the proposed location as it enhances the research and development use of the seven-building campus while mitigating the effects of the retaining wall facing the canyon. This deviation complies with the intention of the retaining wall requirements, and overall land use plan since the project mitigates the height of the retaining wall as much as possible with the very steep site.

The deviations are appropriate for the proposed location as they enhance the research and development use of the property. They will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

D. PLANNED DEVELOPMENT PERMIT - SDMC Section 126.0604

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

See A.1.c, B.1.a, and C.1.a above, incorporated herein by reference. In addition, this Planned Development Permit is to allow a transfer of development rights between 11099 North Torrey Pines Road and 3020/3030 Callan Road. In doing so, the project complies with the development intensity established by the UCP for this area.

The two sites proposed for transfer of development rights contain an existing 83,820 square foot building and an 8,829-square-foot greenhouse on 11099 North Torrey Pines Road, as well as a 91,000-square-foot building on 3020/3030 Callan Road. The 91,000-square-foot building on Callan Road will be demolished and both structures at 11099 North Torrey Pines Road will remain. The 8,829 square-foot greenhouse building is excluded from the gross floor area calculation as it directly supports the research and development uses on the premises as outlined in the San Diego Land Development Code. With the addition of the 149,060 square foot buildings on 3020/3030 Callan Road, the net building square footage of the two sites site totals 232,880 SF, which is 17,725 SF per acre, and would not impact the development intensity established for scientific research uses in this area (UCP, Table 3, Subarea 9, page 164).

Therefore, the proposed development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As set out in findings B.1.b and C.1.b above, incorporated herein by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. **The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

See C.2.b above, incorporated herein by reference. The requested deviations are allowable pursuant to the Land Development Code. In allowing the flexibility to develop the project site as a connected "campus", the allowed deviations will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 2398739, Coastal Development Permit No. 2398740 (Amendment to CDP 2332260), Planned Development Permit No. 2398741, and Neighborhood Development Permit No. 2520690 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2398739, 2398740, 2398741, and 2520690, a copy of which is attached hereto and made a part hereof.

Martin R. Mendez
Development Project Manager
Development Services

Adopted on: September 29, 2021

IO#: 24008540

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE,
MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008540

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2398739
COASTAL DEVELOPMENT PERMIT NO. 2398740
PLANNED DEVELOPMENT PERMIT NO. 2398741
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2520690

HEALTHPEAK CAMPUS - PROJECT NO. 658398
AMENDMENT TO COASTAL DEVELOPMENT PERMIT NO. 2332260
HEARING OFFICER

This Site Development Permit No. 2398739, Coastal Development Permit No. 2398740 (amendment to Coastal Development Permit No. 2332260), Planned Development Permit No. 2398741 and Neighborhood Development Permit No. 2520690 is granted by the Hearing Officer of the City of San Diego to HCP CALLAN ROAD, LLC, HCP TORREY PINES, LLC, and HCP TPSP LLC, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] sections 126.0403, 126.0504(a), 126.0604(a), 126.0707(a), and 143.0920(a). The 29.91-acre site is located at 3020-3030 Callan Road and 11011-11099 North Torrey Pines Road in the IP-1-1 zone within the University Community Plan and Local Coastal Program, Prime Industrial Lands, the Community Plan Implementation Overlay Zone Type B (CPIOZ-B), the Coastal Overlay Zone (Non-Appealable Area 1), the Coastal Height Limit Overlay Zone, the Parking Impact Overlay Zone (Coastal Impact), the Transit Priority Area Overlay Zone, and Council District 1. In addition, the site is located within the Airport Land Use Compatibility Area Overlay Zone (MCAS Miramar), the Airport Influence Area Overlay Zone (MCAS Miramar - Review Area 1), and the Safety Zone Overlay zone (MCAS Miramar - Accident Potential Zone 2). The project site is legally described as:

Lot 1 of Parcel Map No. 12041, in the City of San Diego, County of San Diego, State of California, filed in the office for the County Recorder of San Diego County, April 2, 1982, as File No. 82-090385 of Official Records [also known as 3020-3030 Callan Road]; and

Parcel 2 of Parcel Map No. 10901, filed in the Office of the County Recorder of San Diego County, being a Division of Lot 11 of Torrey Pines Science Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 8434, filed in the Office of the County Recorder of San Diego County [also known as 11011-11025 North Torrey Pines Road]; and

Parcel 1 of Parcel Map No. 10901, filed in the Office of the County Recorder of San Diego County, being a Division of Lot 11 of Torrey Pines Science Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 8434, filed in the Office of the County Recorder of San Diego County [also known as 11077-11075 North Torrey Pines Road]; and

Parcel 2 of Parcel Map No. 14129, in the City of San Diego, County of San Diego, State of California, Filed in the Office of the County Recorder of San Diego County, January 27, 1986, As File/Page No. 86-033252 of Official Records [also known as 11099 North Torrey Pines Road].

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees to receive unutilized development rights from 11099 North Torrey Pines Road, a total of 58,060 square feet, to allow for a new development to include the demolition of an 91,000 square feet of square-foot building and the construction of two three-story scientific research buildings, totaling 149,060 square feet, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 29, 2021, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing Scientific Research and Development Facility building totaling 91,000-square-feet and associated site improvements.
- b. The construction of two three-story buildings for a Scientific Research and Development Facility totaling 149,060-square-feet and associated site improvements. Each building will have one level of at-grade parking and two levels of below-grade parking for a total of 406 parking spaces. These buildings must qualify as sustainable per SDMC 143.0915(c).
- c. A transfer of 58,060 square feet of unutilized development rights from 11099 North Torrey Pines Road to 3020-3030 Callan Road pursuant to Coastal Development Permit No. 618936, Site Development Permit No. 618937, Planned Development Permit No. 998550 and Tentative Map No. 619032 (these approvals will be rescinded as a condition of this permit).
- d. Compliance with Airport Safety Zone 2 for MCAS Miramar demonstrated via the maximum allowable number of parking spaces at 3020-3030 Callan Road and 11099 North Torrey Pines Road, as shown on Exhibit A and conditioned herein.
- e. A deviation from SDMC Table 131-06C for setbacks, to allow:
 - (1) A zero-foot side setback on 3020-3030 Callan Road where 15 feet is otherwise required for the purpose of two pedestrian bridges; and
 - (2) A zero-foot rear setback on 11085 North Torrey pines Road where 25 feet is otherwise required for the purpose of two pedestrian bridges; and

- (3) A 15-foot rear setback on 3020-3030 Callan Road, where 25 feet is otherwise required.
- f. A deviation from SDMC 142.0340 for retaining wall height, allowing an 18-foot-high retaining wall where 12 feet is otherwise required for walls outside of setbacks;
- g. Grading and landscaping (planting, irrigation and landscape related improvements);
- h. Off-street parking;
- i. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 13, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. All conditions of Coastal Development Permit No. 2332260 (Project No. 627161, approved September 11, 2019 by Development Services Resolution No. CM-6899, and recorded October 22, 2019 as Document No. 2019-0475247 of Official Records) shall remain in effect except as modified by this permit.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the

Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

GEOLOGY REQUIREMENTS:

13. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

14. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate, and assure by permit and bond, the improvement of an additional four feet along Callan Road to provide a 14-foot curb-to-property-line distance, satisfactory to the City Engineer.

16. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

20. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

21. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

22. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

24. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC section 142.0403(b)6.

25. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

26. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in

a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

28. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

29. The Brush Management Program shall be based on a standard Zone One of 35-ft. in width and a Zone Two of 65-ft. in width, extending out from the structure towards the native/naturalized vegetation, consistent with SDMC section 142.0412. Zone One shall range from 44-ft. to 80-ft. in width with a corresponding Zone Two of 0-ft. to 51.5-ft. in width, exercising Zone Two reduction options under SDMC section 142.0412(f).

30. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

31. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

32. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

33. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

34. Prior to the issuance of any construction permit, Owners/Permittees shall rescind Coastal Development Permit No. 618936, Site Development Permit No. 618937, Planned Development No. 998550, and Tentative Map No. 619032, approved by the City Council on November 27, 2012 and recorded March 29, 2013 as Document No. 2013-0200649 of Official Records.

35. Processing, manufacturing, or storage of bulk quantities of hazardous materials (greater than 10,000 gallons) shall not be permitted on the premises.
36. The donor site transferring development rights (11099 North Torrey Pines Road, San Diego, CA 92121, APN 310-110-17, LOT #2) shall be limited to no more than 93,079 square feet of traffic-generating Floor Area Ratio (FAR) at any time. 58,060 square feet of the previously allowed 141,880 square feet of development rights have been transferred to and utilized at 3020/3030 Callan Road, San Diego, CA 92121, APN 340-010-44.
37. The properties at 3020-3030 Callan Road and 11099 North Torrey Pines Road shall contain no more than 626 parking spaces combined at any time, such number being required for compliance with the 50 persons per acre requirement of Airport Safety Zone 2 for MCAS Miramar as shown in SDMC Table 132-15F.
38. 3020-3030 Callan Road is proposed to be tied to 11077-11085 N. Torrey Pines Road via pedestrian bridges. A lot tie agreement shall be required between these properties for the two pedestrian bridges that cross the property line.
39. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
40. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources and Steep Hillides, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A".

TRANSPORTATION REQUIREMENTS

41. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
42. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional 4 feet on Callan Road to provide a 14-foot curb-to-property-line distance, satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

43. Prior to the issuance of any Building Construction Permit, the Owner/Permittee shall have constructed, or ensured the construction of via permit and bond, all water and/or sewer facilities within the public ROW which are either recommended for construction within the associated Public

Utilities Department approved Water and Sewer Studies, included in any applicable Tentative Map Conditions, or proposed for construction within the Project's City approved EXHIBIT 'A'.

44. Prior to any Certificate of Occupancy being issued, all domestic, irrigation, and fire water lines serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD) or include the following note on the site plan:

Prior to any Certificate of Occupancy being issued, any damages caused to the City of San Diego's public water and/or sewer facilities, which are due to the activities associated with this development, shall be repaired or reconstructed in a manner satisfactory to the Public Utilities Director and the City Engineer in accordance with Municipal Code section 142.0607.

45. No trees or shrubs exceeding three feet in height at maturity shall be installed, or allowed to remain, within ten feet of any public sewer facilities or within five feet of any public water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 29, 2021 and [Approved Resolution Number].

ATTACHMENT 5

Permit Type/PTS Approval No.: Site Development Permit No. 2398739
Coastal Development Permit No. 2398740
Planned Development Permit No. 2398741
Neighborhood Development Permit No. 2520690
Date of Approval: September 29, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Martin R. Mendez
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By: HCP Callan Road, LLC
Owner/Permittee

By: _____
Mike Dorris
Senior Vice President

HCP Torrey Pines, LLC
Owner/Permittee

By: _____
Mike Dorris
Senior Vice President

HCP TPSP, LLC
Owner/Permittee

By: _____
Mike Dorris
Senior Vice President

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

RESOLUTION NUMBER HO-_____

ADOPTED ON SEPTEMBER 29, 2021

WHEREAS, on April 30, 2020, HCP CALLAN ROAD, LLC, HCP TORREY PINES, LLC, and HCP TPSP, LLC submitted an application to Development Services Department for a Coastal Development Permit, Site Development Permit, Planned Development Permit and Neighborhood Development Permit for the Healthpeak Campus (the Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on **September 29, 2021**; and

WHEREAS, the Hearing Officer considered the issues discussed in Negative Declaration No. 658398 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record, including the Initial Study and any comments received, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Department staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: MARTIN R. MENDEZ, Development Project Manager

By: _____
Martin R. Mendez
Development Project Manager

From: [Chris Nielsen](#)
To: [Peterson, Jeff](#)
Cc: [Deal, Stefanie](#)
Subject: [EXTERNAL] Callan Healthpeak project PTS 658398
Date: Thursday, August 13, 2020 2:26:34 PM
Attachments: [image003.jpg](#)
[cn_signature_ipeq.JPG](#)

****This email came from an external source. Be cautious about clicking on any links in this email or opening attachments.****

Hello Jeff,

At the University Community Planning Group meeting on August 11, 2020, the Callan Healthpeak project PTS 658398 was presented to the community for a project recommendation.

The minutes when approved will show that the UCPG voted to recommend approval by a vote of 13 Yes, 0 No, and 0 Abstentions. The UCPG also made the following additional recommendations as part of the motion:

1. The project should include full shielding of lights.
2. Best management practices should be followed to mitigate against bird strikes.

Best regards,



Chris Nielsen
UCPG Chair

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____


Project Title: Healthpeak Callan Campus **Project No. For City Use Only:** 658398
Project Address: 3020 & 3030 Callan Road San Diego, CA 92121

Specify Form of Ownership/Legal Status (please check):

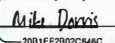
Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: HCP Callan Road, LLC - Mike Dorris as Senior Vice President Owner Tenant/Lessee Successor Agency
 Street Address: 1920 Main Street, Suite 1200
 City: Irvine State: CA Zip: 92614
 Phone No.: 858-405-4681 Fax No.: _____ Email: mdorris@healthpeak.com
 Signature:  Date: 6/22/2020
DocuSigned by: 2081EF2802C846C...
 Additional pages Attached: Yes No

Applicant

Name of Individual: HCP Callan Road, LLC - Mike Dorris as Senior Vice President Owner Tenant/Lessee Successor Agency
 Street Address: 1920 Main Street, Suite 1200
 City: Irvine State: CA Zip: 92614
 Phone No.: 858-405-4681 Fax No.: _____ Email: mdorris@healthpeak.com
 Signature:  Date: 6/22/2020
DocuSigned by: 2081EF2802C846C...
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: See Attached Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Supplement to Ownership Disclosure Form
for Healthpeak Callan Campus (Project No. 658398)

1. 3030 and 3020 Callan Rd., title held by **HCP Callan Road, LLC**
2. 11099 North Torrey Pines Rd, title held by **HCP Torrey Pines, LLC**
3. 11011-11025 North Torrey Pines Rd, title held by **HCP TPSP, LLC**
4. 11077-85 N Torrey Pines Rd, title held by **HCP TPSP, LLC**

The following individuals are a subset of corporate officers of **HCP Callan Road, LLC, HCP Torrey Pines, LLC, and HCP TPSP, LLC**, and oversee and are responsible for the San Diego region:

Mike Dorris - Senior Vice President
Ryan Anderson - Senior Vice President
Heidi Taliaferro - Vice President
Andrew Cressman - Vice President

The following individuals are a subset of corporate officers of **Healthpeak Properties Inc.**, the ultimate parent of HCP Callan Road, LLC, HCP Torrey Pines, LLC and HCP TPSP, LLC, and oversee and are responsible for the San Diego region:

Healthpeak Properties, Inc., a Maryland corporation
1920 Main Street, Suite 1200, Irvine, CA 92614

Thomas M. Herzog - Chief Executive Officer
Scott M. Brinker - President and Chief Investment Officer
Peter A. Scott - Executive Vice President, Chief Financial Officer
Troy E. McHenry - Executive Vice President, Chief Legal Officer, General Counsel and Corporate Secretary
Thomas M. Klaritch - Executive Vice President and Chief Operating Officer
Mike Dorris - Senior Vice President
Ryan Anderson - Senior Vice President
Heidi Taliaferro - Vice President
Andrew Cressman - Vice President

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Healthpeak Callan Campus **Project No. For City Use Only:** 658398

Project Address: 3020 & 3030 Callan Road San Diego, CA 92121

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Mike Dorris, Senior Vice President Healthpeak Science Properties, Inc. Owner Tenant/Lessee Successor Agency

Street Address: 420 Stevens Ave Ste. 170

City: Solana Beach State: CA Zip: 92075

Phone No.: 858-405-4681 Fax No.: _____ Email: mdorris@healthpeak.com

Signature: Mike Dorris Date: 6/4/20

Additional pages Attached: Yes No

Applicant

Name of Individual: Mike Dorris, Senior Vice President Healthpeak Science Properties, Inc. Owner Tenant/Lessee Successor Agency

Street Address: 420 Stevens Ave. Ste. 170

City: Solana Beach State: CA Zip: 92075

Phone No.: 858-405-4681 Fax No.: _____ Email: mdorris@healthpeak.com

Signature: Mike Dorris Date: 6/4/20

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

**Supplement to Ownership Disclosure Form
for Healthpeak Callan Campus (Project No. 658398)**

1. 3030 and 3020 Callan Rd. , title held by HCP Callan Road, LLC
2. 11099 North Torrey Pines Rd, title held by HCP Torrey Pines, LLC
3. 11011-11025 North Torrey Pines Rd, title held by HCP TPSP, LLC
4. 11077-85 N Torrey Pines Rd, title held by HCP TPSP, LLC

The following is a subset of corporate officers of HCP Callan Road, LLC, HCP Torrey Pines, LLC and HCP TPSP, LLC that oversee and are responsible for the San Diego region:

Mike Dorris - Senior Vice President
1920 Main Street, Suite 1200, Irvine, CA 92614

Ryan Anderson - Senior Vice President
1920 Main Street, Suite 1200, Irvine, CA 92614

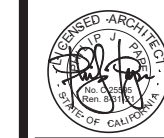
Heldi Taliaferro - Vice President
1920 Main Street, Suite 1200, Irvine, CA 92614

Andrew Cressman - Vice President
1920 Main Street, Suite 1200, Irvine, CA 92614



FERGUSON PAPE BALDWIN ARCHITECTS

4499 Ruffin Road Suite 300 San Diego CA 92123 619 231 0751 www.fpbarch.com



NOTE: THE DRAWINGS, GRAPHICS AND NOTES SHOWN IN THIS DOCUMENT ARE CONCEPTUAL. THE INTENT OF THIS DOCUMENT IS TO PROVIDE THE GUIDELINES FOR DEVELOPMENT AND CONSTRUCTION OF FUTURE BUILDINGS AND PARKING ON THIS SITE IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE CITY OF SAN DIEGO MUNICIPAL CODE, COMMUNITY PLAN AND COASTAL DEVELOPMENT REGULATIONS, WHILE MAINTAINING THE FLEXIBILITY TO ADJUST WITHIN THE GUIDELINES ESTABLISHED BASED ON THE PROGRAM NEEDS OF THE POTENTIAL TENANT.

HEALTHPEAK PROPERTIES, INC. 3020/3030 CALLAN ROAD NEW BUILDINGS SAN DIEGO, CA 92121



DESCRIPTION NO. DATE SCHEMATIC DESIGN DEVELOPMENT PERMIT DRAFT DEVELOPMENT PERMIT SUBMITTAL 2 DEVELOPMENT PERMIT SUBMITTAL 3 DEVELOPMENT PERMIT SUBMITTAL 4 COVER SHEET REVISION

TITLE SHEET

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020 MUP PROJECT #: DEP #: SHEET: 1 OF 50

T1.1

HEALTHPEAK CALLAN CAMPUS 3020/3030 CALLAN ROAD SAN DIEGO, CA 92121 DEVELOPMENT PERMIT SUBMITTAL # 4 COASTAL, NEIGHBORHOOD, PLANNED, AND SITE DEVELOPMENT PERMITS

CLIENT - HEALTHPEAK PROPERTIES, INC. OWNER REPRESENTATIVE - PROJECT MANAGEMENT ADVISORS, INC. ARCHITECT - FERGUSON PAPE BALDWIN ARCHITECTS INC. CIVIL ENGINEER - KIMLEY-HORN & ASSOCIATES, INC. LANDSCAPE ARCHITECT - GROUNDLEVEL GEOTECHNICAL ENGINEER - GEOCON INC. STRUCTURAL ENGINEER - COFFMAN ENGINEERS, INC. MEP ENGINEERS - TK1SC



PARKING table with columns: Parking, Parking Ratio per 1000, Select, Total Allowable Combined, Total Minimum Allowed Combined, 11099 - Existing Parking, 3030 Callan Road - New, Total Parking (11099 + Callan)

PROJECT DESCRIPTION THIS IS PROPOSED AS A PROCESS 3 AMENDMENT TO COASTAL DEVELOPMENT PERMIT NO. 618936, SITE DEVELOPMENT PERMIT NO. 618937, PLANNED DEVELOPMENT PERMIT NO. 98650 (PTSH 16684) FOR THE PROPOSED TRANSFER OF DEVELOPMENT RIGHTS FROM 11099 NORTH TORREY PINES ROAD TO 3020 & 3030 CALLAN ROAD FOR THE DEMOLITION OF AN EXISTING 91,000 SF BUILDING OF EXISTING SCIENTIFIC RESEARCH AND DEVELOPMENT BUILDING AND CONSTRUCTION OF TWO 3-STORY OVERLAYS FOR THE DEVELOPMENT OF 149,000 SF COMMERCIAL SRD. EACH OF THE PROPOSED BUILDINGS WILL HAVE ONE LEVEL OF ABOVE-GRADE AND TWO LEVELS OF BELOW-GRADE PARKING FOR A TOTAL OF 456 VEHICLES. THE 5.0-ACRE SITE IS LOCATED AT 3020 AND 3030 CALLAN ROAD IN THE P-1, 2-ZONE, 2035 TRANSIT PRIORITY AREA, AND CP02-B WITHIN THE UNIVERSITY COMMUNITY PLAN AREA.

AIRPORT SAFETY ZONE table with columns: Airport Safety Zone, Remaining, Demolished, Combined Site Number, Value, Total Allowable Area for Both Sites, Existing Square Footage at N. Torrey Pines, Square Footage Available for Callan

SITE INFORMATION LEGAL DESCRIPTION PARCEL A: PARCEL 1 OF PARCEL MAP NO. 12041, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, PARCEL 2, 1982 AS FILE NO. 82-090385 OF OFFICIAL RECORDS. PARCEL B: AN EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS, ROAD AND UTILITY PURPOSES INCLUDING BUT NOT LIMITED TO ELECTRIC POWER, TELEPHONE, GAS, WATER, SEWER AND CABLE TELEVISION LINES AND APPURTENANCES THERETO, OVER, UNDER, ALONG AND ACROSS THOSE CERTAIN STRIPS OF LAND BEING 30.00 FEET AND 40.00 FEET IN WIDTH, THE CENTER LINE OF SAID STRIPS BEING DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEASTERLY CORNER OF PARCEL 2 OF PARCEL MAP NO. 12041, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1982 AS FILE NO. 82-090385 OF OFFICIAL RECORDS, THENCE SOUTH 64° 19' 32" WEST 158.61 FEET TO THE TRUE POINT OF BEGINNING OF SAID 30.00 FOOT STRIP; HENCE CONTINUING SOUTH 64° 19' 32" WEST 25.00 FEET; THENCE SOUTH 14° 42' 19" WEST 248.58 FEET; TO A POINT BEING THE TERMINATION OF SAID 30.00 FOOT STRIP; SAID POINT ALSO BEING THE BEGINNING OF A SAID 40.00 FOOT STRIP; THENCE SOUTH 19° 02' 41" EAST 39.00 FEET TO A POINT IN THE SOUTH LINE OF SAID PARCEL MAP NO. 12041, SAID POINT BEING THE POINT OF TERMINATION, EXCEPTING THEREFROM THAT PORTION WITHIN PARCEL A ABOVE.

PROJECT DIRECTORY table with columns: OWNER, ARCHITECT, CIVIL, GEOTECHNICAL, LANDSCAPE, STRUCTURAL, MECHANICAL/PLUMBING, ELECTRICAL

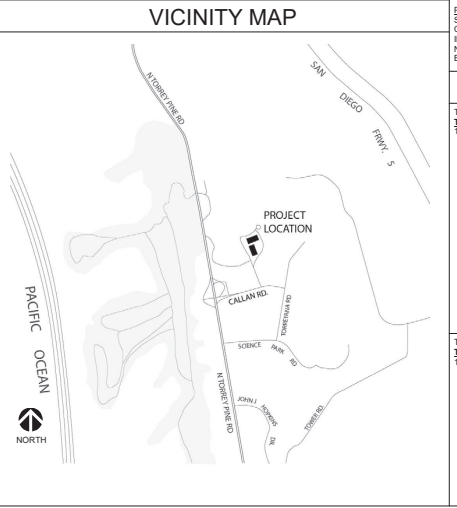
MINIMAL PARKING STALL REQUIREMENT table with columns: STANDARD STALL, ACCESSIBLE STALLS, VAN ACCESSIBLE STALLS, STALLS WITH LANDSCAPE OVERHANGS, DEVIATION INCENTIVE REQUESTS table with columns: DEVIATION NUMBER, CODE SECTION, DEVIATION DESCRIPTION

GENERAL PROJECT SUMMARY HEALTHPEAK PROPERTIES IS PLANNING TO BUILD TWO NEW THREE-STORY OVER BASEMENT, 149,000 SF SCIENTIFIC RESEARCH BUILDINGS AT 3020 AND 3030 CALLAN ROAD (5.0 ACRE SITE). THIS PROPERTY IS ADJACENT TO 11099 NORTH TORREY PINES ROAD, ALSO OWNED BY HEALTHPEAK PROPERTIES. 11099 NORTH TORREY PINES ROAD HAS EXISTING ENTITLEMENTS FOR AN ADDITIONAL 58,000 SF (CDP NO. 618936, SDP NO. 618937, AND POP NO. 98650, TENTATIVE MAP NO. 619032). THIS DEVELOPMENT PERMIT WILL TRANSFER FROM 11099 NORTH TORREY PINES ROAD TO 3020/3030 CALLAN ROAD. THERE IS AN EXISTING 91,000 SF BUILDING AND 8,225-SF GREENHOUSE (BOFUELS RAD FACILITY) BOTH OCCUPIED BY SYNTHETIC GENOMICS AND EXOMOBIL ON 11099 NORTH TORREY PINES ROAD THAT WILL REMAIN. THE GREENHOUSE FACILITY SQUARE FOOTAGE IS EXCLUDED FROM GROSS FLOOR AREA CALCULATION AS IT DIRECTLY SUPPORTS THE ROAD USES ON THE PREMISES AS OUTLINED IN THE SAN DIEGO LAND DEVELOPMENT CODE AND LOCAL COASTAL PROGRAM.

SUSTAINABILITY table with columns: Square Footage of Buildings, Parking Ratio, People per Space, Maximum People on Site, Acres, People Average per Acre

CODE INFORMATION table with columns: PARTIAL LIST OF APPLICABLE CODES, OCCUPANCY, TYPE OF CONSTRUCTION, BUILDING HEIGHT, BUILDING AREA (GROSS FLOOR), AREA BASED ON USE, GROSS SQUARE AREA

BUILDING INFORMATION table with columns: OCCUPANCY, TYPE OF CONSTRUCTION, BUILDING HEIGHT, BUILDING AREA (GROSS FLOOR), AREA BASED ON USE, GROSS SQUARE AREA



ASSOCIATED DEVELOPMENT PERMITS THE FOLLOWING PERMIT WILL BE AMENDED AS PART OF THIS DEVELOPMENT PERMIT: TORREY PINE - PROJECT NO. 627161. THE FOLLOWING PERMIT WILL BE RESCINDED AS PART OF THIS DEVELOPMENT PERMIT: TOUCHSTONE INVESTMENTS PROJECT NO. 166941. 11099 NORTH TORREY PINES ROAD, SAN DIEGO, CA 92121

FIRE RESISTIVE INFORMATION table with columns: TYPE IIB, C.B.C. TABLE 602- EXTERIOR WALL AND OPENING PROTECTION, FIRE RATED ASSEMBLIES, C.B.C. TABLE 601- FIRE RESISTIVE REQUIREMENT - BUILDING ELEMENTS, C.B.C. TABLE 508.4- FIRE RESISTANCE FOR SEPARATED OCCUPANCIES

CITY DEVELOPMENT PERMIT NOTES A LOT AGREEMENT IS REQUIRED BETWEEN THIS PROPERTY AND THE ADJACENT PROPERTY 11099 NORTH TORREY PINES ROAD, OWNED BY THE SAME PARENT COMPANY. THE LOT AGREEMENT IS REQUIRED FOR THE 2 PEDESTRIAN BRIDGES THAT CROSS THE PROPERTY LINE.

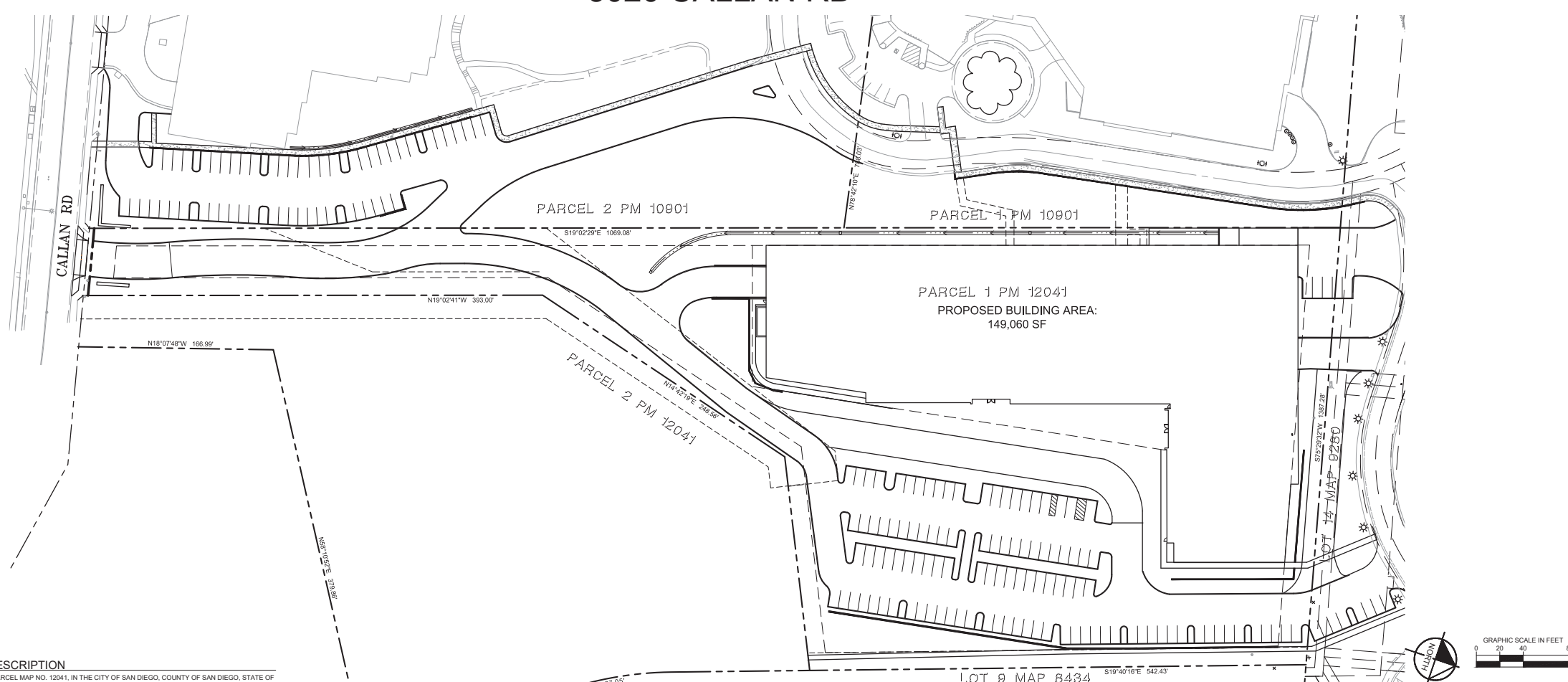
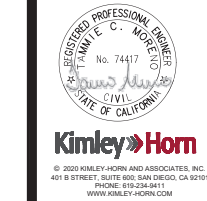
PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS ADDRESS: 4499 RUFFIN RD. #300 SAN DIEGO, CA 92123 PHONE NO: (619) 231-0751 / STEFFANIE DEAL PROJECT ADDRESS: 3020 & 3030 CALLAN RD SAN DIEGO, CA 92121 PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS SHEET TITLE: TITLE SHEET ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020 MUP PROJECT #: DEP #: SHEET: 1 OF 50

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF FERGUSON PAPE BALDWIN ARCHITECTS INC. AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH FERGUSON PAPE BALDWIN ARCHITECTS INC. DIMENSIONS SHALL TAKE PREFERENCE OVER SCALE. IF SHEET IS LESS THAN 30"x42" IT IS REDUCED PRINT. SCALE IS REDUCED ACCORDINGLY.

PLANNED DEVELOPMENT PERMIT No.XXX
 SITE DEVELOPMENT PERMIT No.XXX
 COASTAL DEVELOPMENT PERMIT No.XXXXXX
 3020 CALLAN RD

FERGUSON
 PAPE
 BALDWIN
 ARCHITECTS

4499 Ruffin Road
 Suite 300
 San Diego CA 92123
 619 231 0751
 www.fpbarch.com



LEGAL DESCRIPTION
 PARCEL 1 OF PARCEL MAP NO. 12041, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1982 AS FILE NO. 82-090385 OF OFFICIAL RECORDS.

BASIS OF BEARING
 THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE EASTERLY LINE OF PARCEL 1, PARCEL MAP 13041, I.E. N 14°42'10"E

BENCHMARK
 THE BENCHMARK FOR THIS SURVEY IS CITY OF SAN DIEGO BENCHMARK BRASS PLUG AT SOUTHERLY ENTRANCE, PP SCRIPPS CLINIC ON NORTH TORREY PINES ROAD. ELEVATION: 441.10 FEET. DATUM: NGVD 29

ASSESSOR'S PARCEL NUMBER
 340-010-44-00

SOURCE OF TOPOGRAPHY
 PHOTO GEODETIC CORPORATION
 PROJECT No.510519, DATED 11/14/2019
 1181 EAST MAIN ST, EL CAJON, CA 92021
 PHONE: 619-631-1366

REFERENCE DRAWINGS

- CITY OF SAN DIEGO STANDARD DRAWINGS, ENGINEERING DIVISION STANDARD PLANS, DATED SEP. 4, 2018
- CITY OF SAN DIEGO DRAWING:

MAP No. 9230	17105-D
P.M. No. 21041	18319-D
P.M. No. 10901	19186-D
P.M. No. 9280	20433-D
19977-D	27357-D
20214-D	

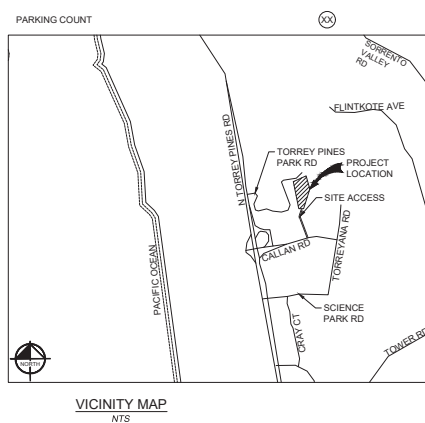
ZONE DESIGNATIONS
 INDUSTRIAL EMPLOYMENT

ABBREVIATIONS:

AC	ACRES	IE	INVERT
APN	ASSESSOR'S PARCEL NUMBER	LP	LOW POINT
BLDG	BUILDING	MH	MANHOLE
BOT	BOTTOM OF PIPE	N.T.S.	NOT TO SCALE
CB	CATCH BASIN	PC	POINT OF CURVATURE
CIP	CAST-IN-PLACE	PPD	PRECISE PLAN OF DESIGN
CMU	CONCRETE MASONRY UNIT	PROP	PROPOSED
EG	EXISTING GRADE	RL	RISE LINE
EP	EDGE OF PAVEMENT	RG	ROUGH GRADED
ESCP	EROSION SEDIMENT CONTROL PLAN	ROS	RECORD OF SURVEY
ESMT.	EASEMENT	RS	RECORD SURVEY
EX	EXISTING	RW	RIGHT-OF-WAY
FF	FINISHED FLOOR ELEVATION	SF	SQUARE FEET
FG	FINISHED GRADE	SWLK	SIDEWALK
FH	FIRE HYDRANT	TG	TOP OF GRATE
FL	FLOW LINE	TOP	TOP OF PIPE
FS	FINISHED SURFACE	TP	TOP OF PAVEMENT
FW	FIRE WATER	TW	TOP OF WALL
GB	GRADE BREAK	TYP	TYPICAL
HP	HIGH POINT		

LEGEND

PROPERTY LINE / RIGHT-OF-WAY CENTERLINE	
SETBACK	
EASEMENT	
LIMITS OF DEMOLITION	
BUILDING DEMOLITION AREA	
LANDSCAPE REMOVAL	
CONCRETE REMOVAL	
PAVEMENT REMOVAL	
EXISTING STORM DRAIN	
EXISTING SEWER	
EXISTING WATER	
FENCE CHAINLINK	
RETAINING WALL	
ASPHALT PAVEMENT	
CONCRETE PAVEMENT (18" BASE)	
CONCRETE SIDEWALK	
LANDSCAPE	



SITE MAP

OWNER/DEVELOPER:
 HEALTHPEAK PROPERTIES, INC.
 420 STEVENS AVENUE, SUITE 170
 SOLANA BEACH, CA 92075

ARCHITECT:
 FERGUSON PAPE BALDWIN ARCHITECTS
 4499 RUFFIN ROAD, SUITE 300
 SAN DIEGO, CA 92123
 PH: (619) 231-0751

DECLARATION OF RESPONSIBLE CHARGE
 I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 8703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS ENGINEER OF WORK OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

TAMMIE MORENO R.C.E. 74417 DATE

GEOTECHNICAL ENGINEER:
 GECON INCORPORATED
 6960 FLANDERS DRIVE
 SAN DIEGO, CA 92121
 PH: (658) 958-6900
 FAX: (658) 958-6159
 REPORT NO. G2489-11-01
 DATED: 12/13/2019 & 12/18/2019

SHEET INDEX

SHEET #	TITLE
C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C3.0	SITE IMPROVEMENTS PLAN
C4.0	GRADING PLAN
C5.0	GRADING CROSS SECTIONS
C6.0	UTILITY PLAN
C7.0	STORMDRAIN AND BMP PLAN

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD, #300
 SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
 SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: COVER SHEET

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #:

DEP #:

SHEET: 2 OF 51

HEALTHPEAK PROPERTIES, INC.
 3020/3030 CALLAN ROAD NEW BUILDINGS
 3020/3030 CALLAN ROAD
 SAN DIEGO, CA 92121



DESCRIPTION / NO. / DATE

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	2/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	4/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	7/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	8/27/2020

COVER SHEET
 C1.0

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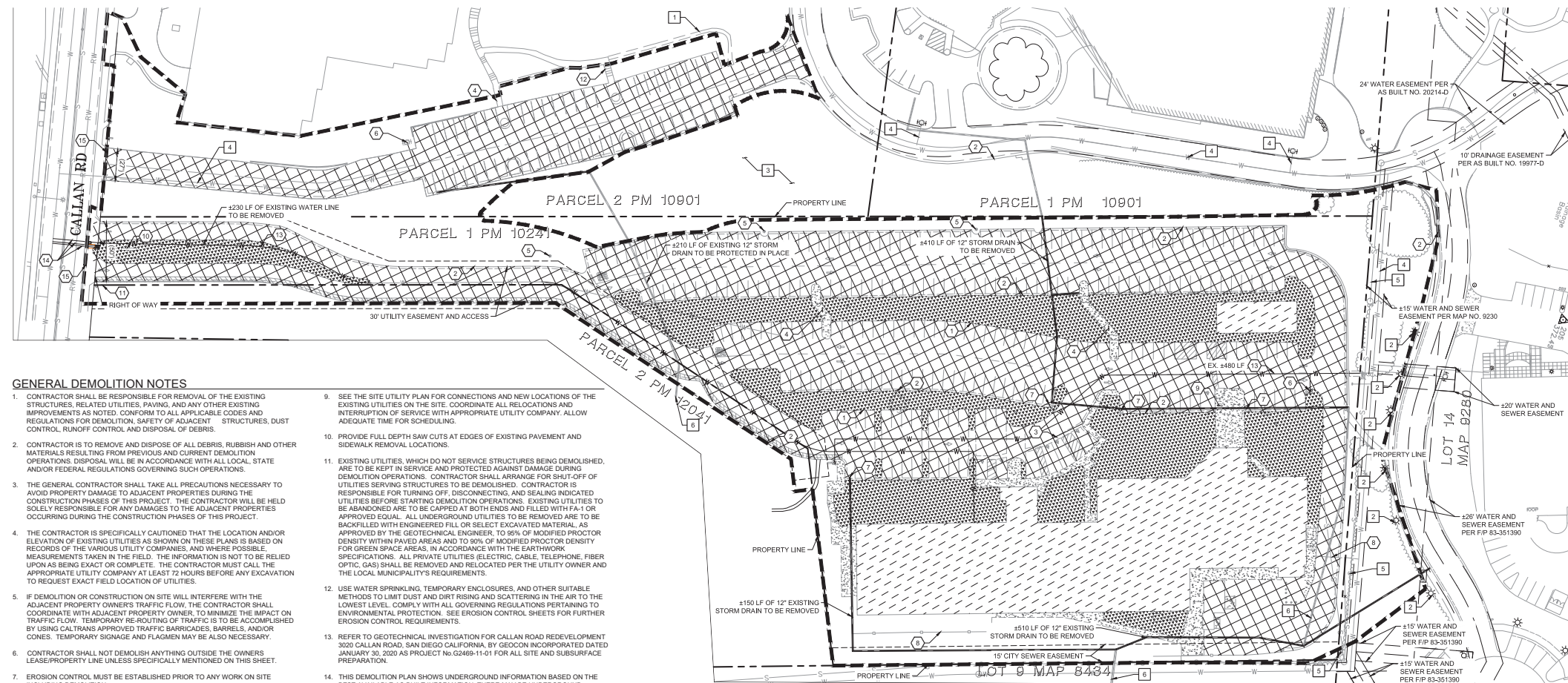
HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW
BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121



DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	6/13/2020
DEVELOPMENT PERMIT SUBMITTAL	B	2/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	4/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	7/23/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	8/27/2020

DEMOLITION PLAN

C2.0



GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. CONFORM TO ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND DISPOSAL OF DEBRIS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNERS TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING CALTRANS APPROVED TRAFFIC BARRICADES, BARRISLS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED FOR DEMOLITION, PAYING ALL SPECIFIED FEES.
- SEE THE SITE UTILITY PLAN FOR CONNECTIONS AND NEW LOCATIONS OF THE EXISTING UTILITIES ON THE SITE. COORDINATE ALL RELOCATIONS AND INTERRUPTION OF SERVICE WITH APPROPRIATE UTILITY COMPANY. ALLOW ADEQUATE TIME FOR SCHEDULING.
- PROVIDE FULL DEPTH SAW CUTS AT EDGES OF EXISTING PAVEMENT AND SIDEWALK REMOVAL LOCATIONS.
- EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH #4-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL AS APPROVED BY THE GEOTECHNICAL ENGINEER. TO 95% OF MODIFIED PROCTOR DENSITY WITH PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- REFER TO GEOTECHNICAL INVESTIGATION FOR CALLAN ROAD REDEVELOPMENT 3020 CALLAN ROAD, SAN DIEGO CALIFORNIA, BY GEDCON INCORPORATED DATED JANUARY 30, 2020 AS PROJECT NO. G2469-11-01 FOR ALL SITE AND SUBSURFACE PREPARATION.
- THIS DEMOLITION PLAN SHOWS UNDERGROUND INFORMATION BASED ON THE BEST AVAILABLE AS-BUILT INFORMATION. THERE MAY BE UNDERGROUND UTILITIES NOT DEPICTED ON THESE PLANS. CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION.

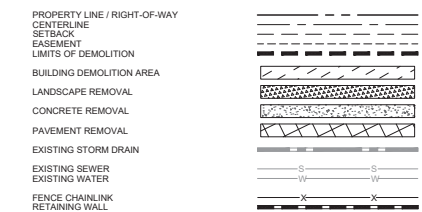
DEMOLITION NOTES

- EXISTING CURB TO BE REMOVED
- EXISTING CURB AND GUTTER TO BE REMOVED
- EXISTING RIBBON GUTTER TO BE REMOVED
- EXISTING CONCRETE WALK TO BE REMOVED
- EXISTING LIGHTING TO BE REMOVED
- EXISTING FIRE HYDRANT TO BE REMOVED
- EXISTING STORM DRAIN INLET TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING STAMPED CONCRETE TO BE REMOVED
- EXISTING MONUMENT SIGN TO BE RELOCATED
- EXISTING SIGN TO BE RELOCATED
- EXISTING STAIRS TO BE REMOVED
- EXISTING WATER LINE TO BE REMOVED
- EXISTING WATER SERVICES TO BE KILLED AT THE MAIN, BACKFLOWS AND METERS REMOVED
- EXISTING DRIVEWAY TO BE REMOVED

PROTECTION NOTES

- PROTECT IN PLACE EXISTING GUTTER
- PROTECT IN PLACE EXISTING LIGHT
- PROTECT IN PLACE EXISTING TREES
- PROTECT IN PLACE EXISTING WATER LINE
- PROTECT IN PLACE EXISTING SEWER LINE
- PROTECT IN PLACE STORMWATER LINE

LEGEND



PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

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PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: DEMOLITION PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 3 OF 51

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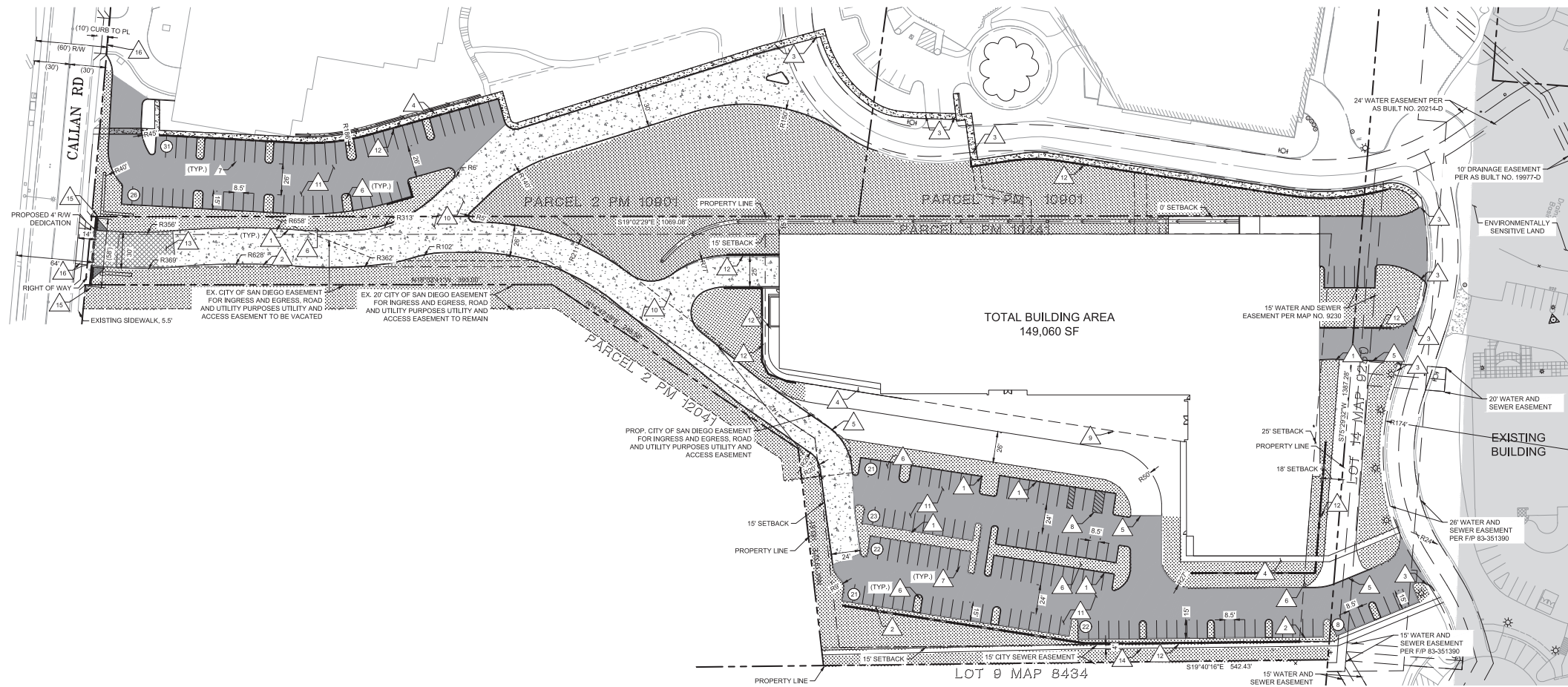
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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

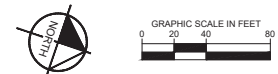
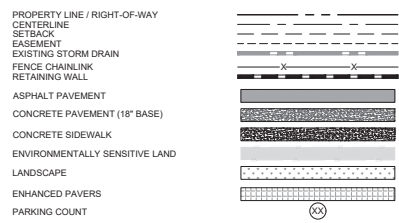


SITE IMPROVEMENTS NOTES

- ▲ 6" CURB PER CITY OF SAN DIEGO STD DWG SDG-150
- ▲ 6" CURB AND GUTTER CITY OF SAN DIEGO STD DWG SDG-150
- ▲ CURB RAMP CITY OF SAN DIEGO STD DWG SDG-133
- ▲ 5' WIDE SIDEWALK CITY OF SAN DIEGO STD DWG SDG-155
- ▲ CONSTRUCT ROLLED CURB PER STD G-4A TYPE A
- ▲ INSTALL LANDSCAPING
- ▲ PROP. PARKING STALL STRIPING. SEE ARCH. PLANS FOR DETAILS
- ▲ PROP. ADA STRIPING. SEE ARCH. PLANS FOR DETAILS
- ▲ BUILDING OVERHANG. SEE ARCH. PLANS FOR DETAILS
- ▲ CONSTRUCT CONCRETE DRIVEWAY. PAVEMENT SECTION PER GEOTECH REPORT BY GEOCON. DATED 12/13/19
- ▲ CONSTRUCT ASPHALT CONCRETE DRIVEWAY. PAVEMENT SECTION PER GEOTECH REPORT BY GEOCON. DATED 12/13/19
- ▲ RETAINING WALL
- ▲ CONSTRUCT 20' ONE-WAY CONCRETE DRIVEWAYS PER SAN DIEGO STD DWG SDG-163
- ▲ PROPOSED DECOMPOSED GRANITE PATHWAY
- ▲ 10' X 10' VISIBILITY TRIANGLE. NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 24 INCHES IN HEIGHT.
- ▲ CONSTRUCT 30' TWO-WAY CONCRETE DRIVEWAY PER SAN DIEGO STD DWG SDG-163
- ▲ CONSTRUCT ENHANCED PAVERS PER LANDSCAPE PLANS.

NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

LEGEND



PREPARED BY:	FERGUSON PAPE BALDWIN ARCHITECTS
ADDRESS:	4499 RUFFIN RD. #300 SAN DIEGO, CA 92123
PHONE NO #:	(619) 231-0751 / STEFANIE DEAL
PROJECT ADDRESS:	3020 & 3030 CALLAN RD SAN DIEGO, CA 92121
PROJECT NAME:	3020 CALLAN ROAD NEW BUILDINGS
SHEET TITLE:	SITE IMPROVEMENTS PLAN
ORIGINAL PREPARATION DATE:	FEBRUARY 10, 2020
MUP PROJECT #:	
DEP #:	

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN 1	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	2/19/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	4/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	7/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	8/27/2020

SITE IMPROVEMENTS PLAN

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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW
BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

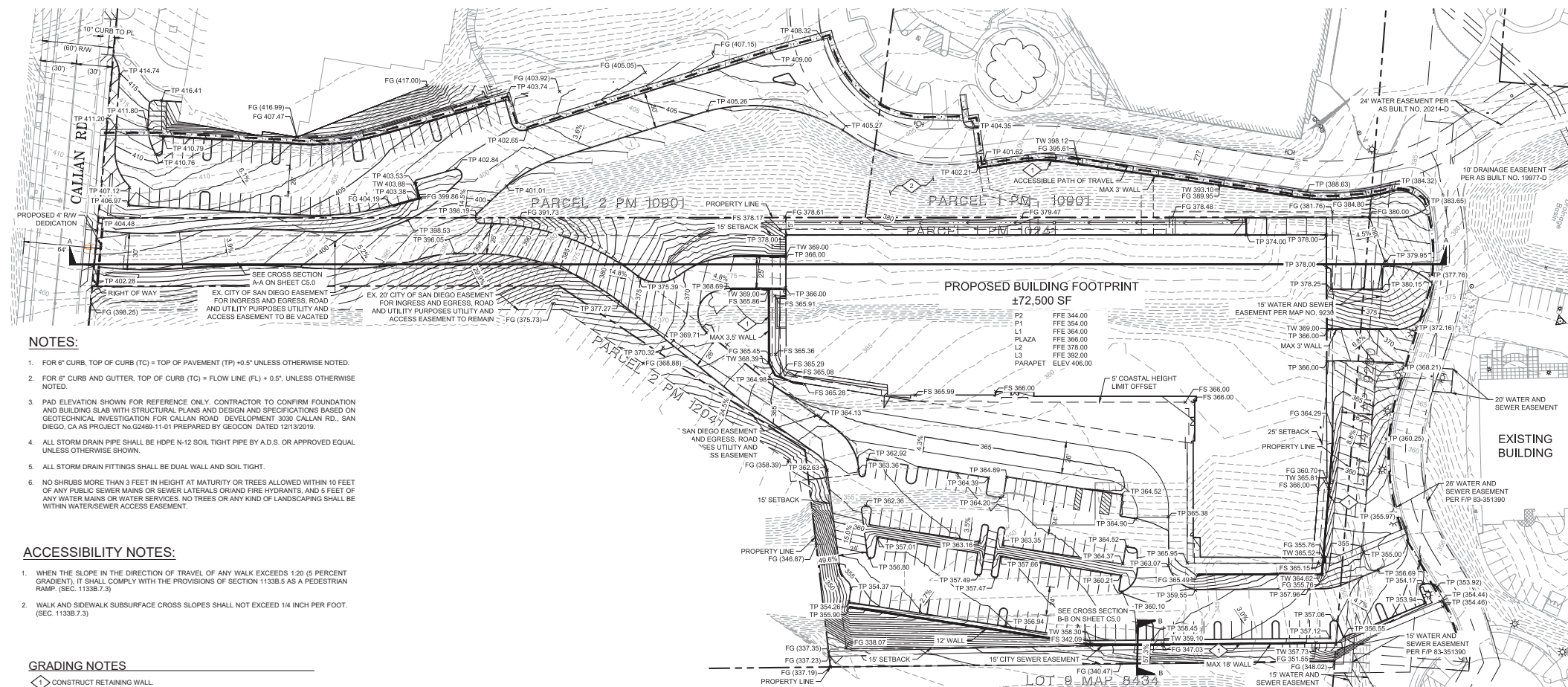


DESCRIPTION	NO.	DATE
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DEVELOPMENT PERMIT SUBMITTAL 3	D	7/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	8/27/2020

GRADING PLAN

C4.0

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NOTES:

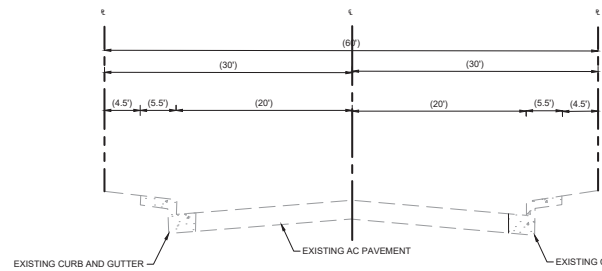
- FOR 6" CURB, TOP OF CURB (TC) = TOP OF PAVEMENT (TP) + 0.5' UNLESS OTHERWISE NOTED.
- FOR 6" CURB AND GUTTER, TOP OF CURB (TC) = FLOW LINE (FL) + 0.5', UNLESS OTHERWISE NOTED.
- PAD ELEVATION SHOWN FOR REFERENCE ONLY. CONTRACTOR TO CONFIRM FOUNDATION AND BUILDING SLAB WITH STRUCTURAL PLANS AND DESIGN AND SPECIFICATIONS BASED ON GEOTECHNICAL INVESTIGATION FOR CALLAN ROAD DEVELOPMENT 3030 CALLAN RD., SAN DIEGO, CA AS PROJECT NO. G2489-11-01 PREPARED BY GEOCON DATED 12/13/2019.
- ALL STORM DRAIN PIPE SHALL BE HDPE N-12 SOIL TIGHT PIPE BY A.D.S. OR APPROVED EQUAL UNLESS OTHERWISE SHOWN.
- ALL STORM DRAIN FITTINGS SHALL BE DUAL WALL AND SOIL TIGHT.
- NO SHRUBS MORE THAN 3 FEET IN HEIGHT AT MATURITY OR TREES ALLOWED WITHIN 10 FEET OF ANY PUBLIC SEWER MAINS OR SEWER LATERALS OR AND FIRE HYDRANTS, AND 5 FEET OF ANY WATER MAINS OR WATER SERVICES. NO TREES OR ANY KIND OF LANDSCAPING SHALL BE WITHIN WATER/SEWER ACCESS EASEMENT.

ACCESSIBILITY NOTES:

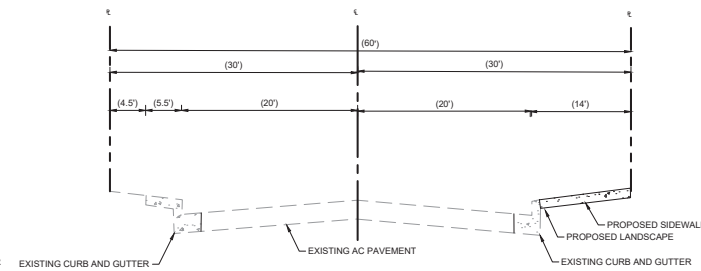
- WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 (5 PERCENT GRADIENT), IT SHALL COMPLY WITH THE PROVISIONS OF SECTION 11338.5 AS A PEDESTRIAN RAMP. (SEC. 11338.7.3)
- WALK AND SIDEWALK SUBSURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT. (SEC. 11338.7.3)

GRADING NOTES

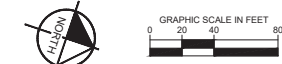
- 1 CONSTRUCT RETAINING WALL
- 2 EXISTING TREES TO PROTECT IN PLACE.



EXISTING CALLAN RD. CROSS SECTION
NOT TO SCALE



PROPOSED CALLAN RD. CROSS SECTION
NOT TO SCALE



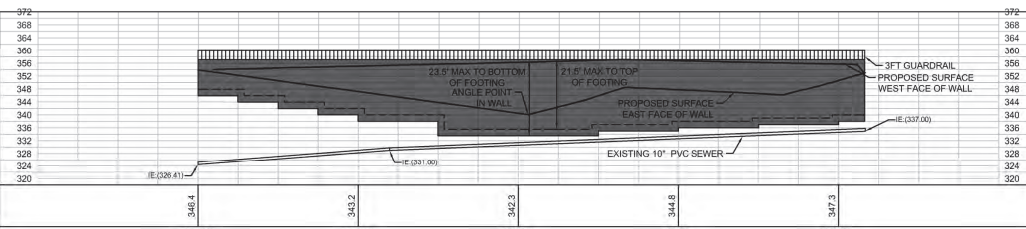
LEGEND

- PROPERTY LINE / RIGHT-OF-WAY
- CENTERLINE
- SETBACK
- EASEMENT
- EXISTING STORM DRAIN
- EXISTING SEWER
- EXISTING WATER
- FENCE CHAINLINK
- RETAINING WALL
- ACCESSIBLE PATH OF TRAVEL

EARTHWORK QUANTITIES

TOTAL SITE AREA: 7.05 ACRES
TOTAL AMOUNT OF CUT: 52,500 CYD
MAXIMUM DEPTH OF CUT: 19FT
TOTAL AMOUNT OF FILL: 46,800 CYD
MAXIMUM DEPTH OF FILL: 21FT
NET: 5,700 CYD (CUT/EXPORT)
MAXIMUM HEIGHT OF FILL SLOPE(S): 8FT, 2:1% SLOPE RATIO
MAXIMUM HEIGHT OF CUT SLOPE(S): 8FT, 1:1% SLOPE RATIO
TOTAL RETAINING WALL LENGTH: 419FT
MAXIMUM HEIGHT OF WALL(S): 21.5FT
TOTAL AREA LESS THAN 25% SLOPE: 6.14 ACRES
TOTAL AREA GREATER THAN 25% SLOPE: 0.91 ACRES

THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEERS ESTIMATE OF THE ACTUAL VOLUMES OF MATERIAL CUT AND FILLED. THESE QUANTITIES ARE FOR ESTIMATING AND BONDING PURPOSES ONLY. SHRINKAGE, SUBSIDENCE AND ANY REMOVALS ARE BASED ON FIELD DATA OBTAINED FROM THE SOILS ENGINEER AND ACTUAL CONDITIONS DURING CONSTRUCTION MAY VARY.



PROPOSED RETAINING WALL ELEVATION
SCALE: HORIZ: 1"=40', VERT: 1"=20'

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

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SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: GRADING PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #:

DEP #: SHEET: 5 OF 51



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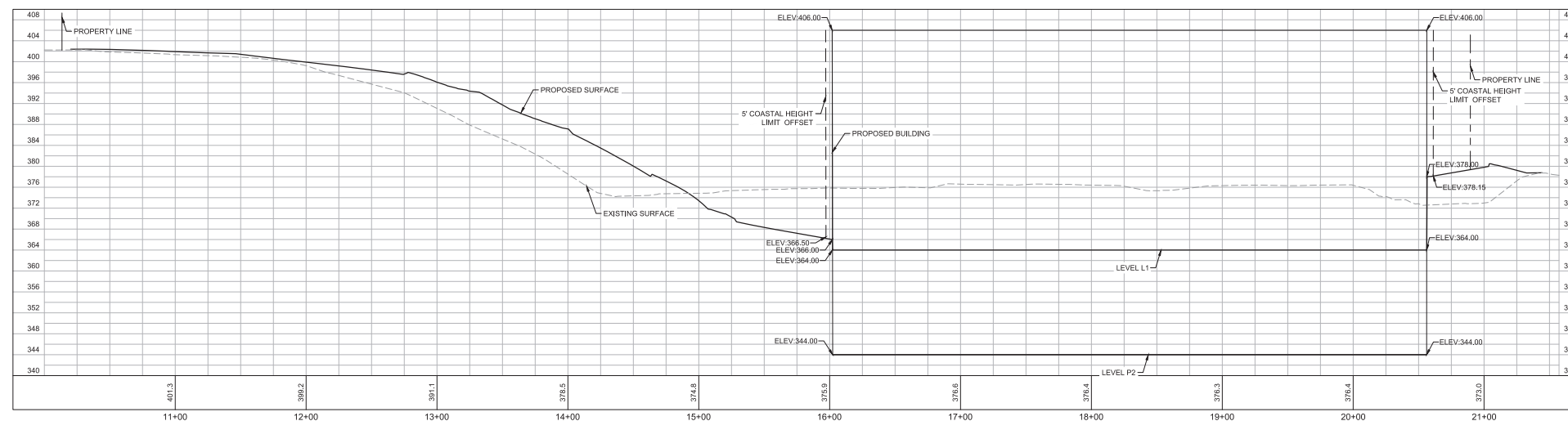


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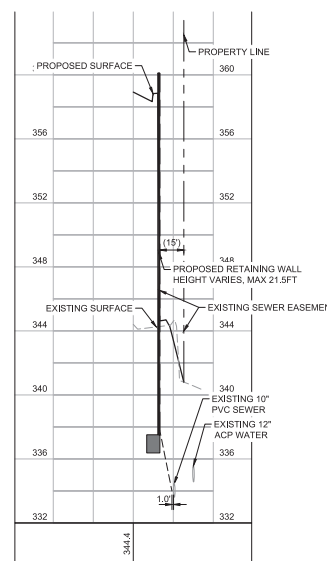
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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW
BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES



CROSS SECTION A-A
SCALE: H:1"=40', V:1"=10'



CROSS SECTION B-B
SCALE: H:1"=40', V:1"=10'

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD, #300
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PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE:
GRADING CROSS SECTIONS

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 6 OF 51

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/15/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	2/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	4/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	7/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	8/27/2020

GRADING CROSS SECTIONS

C5.0

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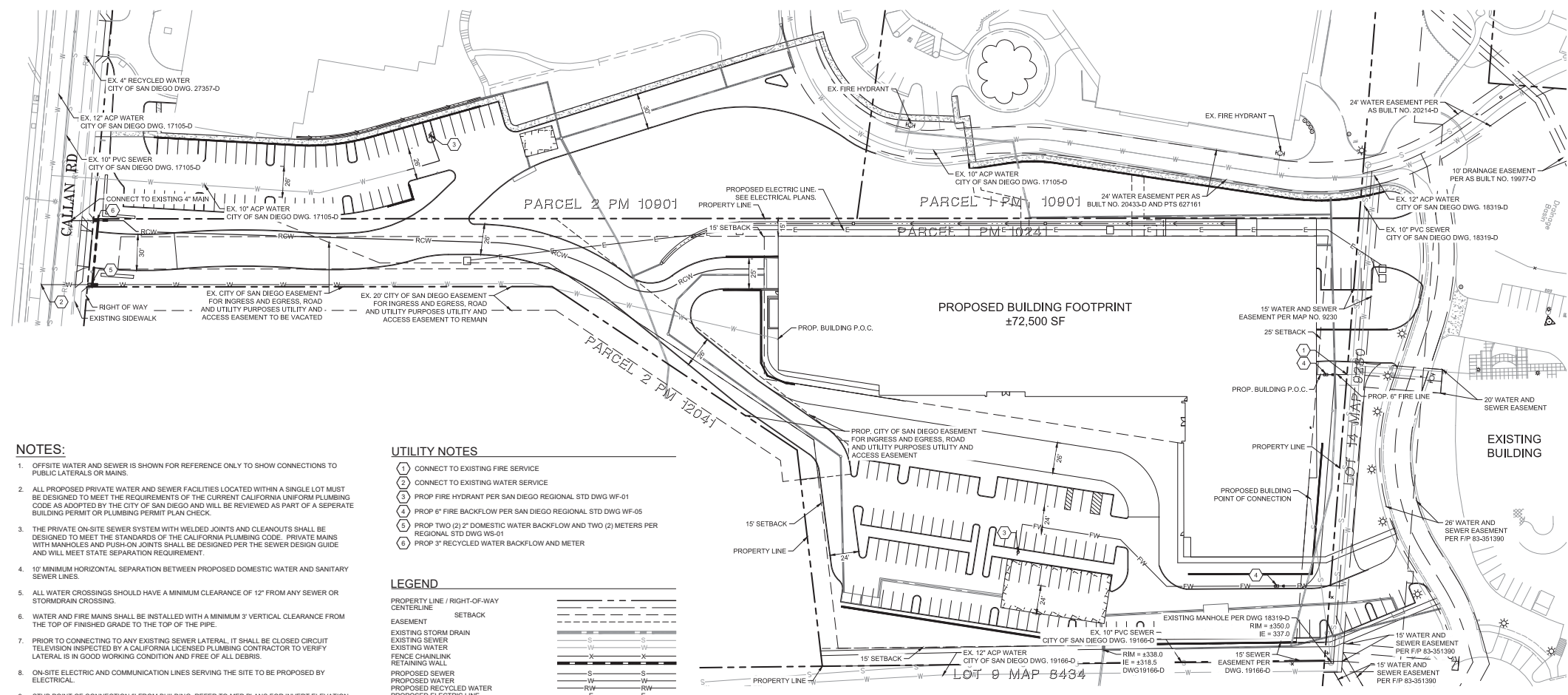


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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW
BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121



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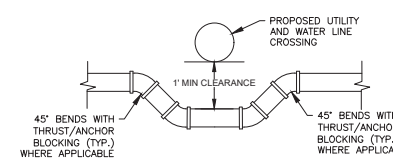
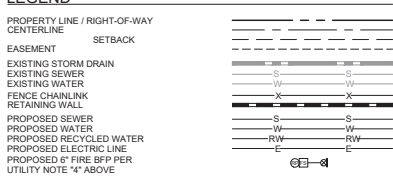
NOTES:

- OFFSITE WATER AND SEWER IS SHOWN FOR REFERENCE ONLY TO SHOW CONNECTIONS TO PUBLIC LATERALS OR MAINS.
- ALL PROPOSED PRIVATE WATER AND SEWER FACILITIES LOCATED WITHIN A SINGLE LOT MUST BE DESIGNED TO MEET THE REQUIREMENTS OF THE CURRENT CALIFORNIA UNIFORM PLUMBING CODE AS ADOPTED BY THE CITY OF SAN DIEGO AND WILL BE REVIEWED AS PART OF A SEPARATE BUILDING PERMIT OR PLUMBING PERMIT PLAN CHECK.
- THE PRIVATE ON-SITE SEWER SYSTEM WITH WELDED JOINTS AND CLEANOUTS SHALL BE DESIGNED TO MEET THE STANDARDS OF THE CALIFORNIA PLUMBING CODE. PRIVATE MAINS WITH MANHOLES AND PUSH-ON JOINTS SHALL BE DESIGNED PER THE SEWER DESIGN GUIDE AND WILL MEET STATE SEPARATION REQUIREMENT.
- 10' MINIMUM HORIZONTAL SEPARATION BETWEEN PROPOSED DOMESTIC WATER AND SANITARY SEWER LINES.
- ALL WATER CROSSINGS SHOULD HAVE A MINIMUM CLEARANCE OF 12" FROM ANY SEWER OR STORMDRAIN CROSSING.
- WATER AND FIRE MAINS SHALL BE INSTALLED WITH A MINIMUM 3" VERTICAL CLEARANCE FROM THE TOP OF FINISHED GRADE TO THE TOP OF THE PIPE.
- PRIOR TO CONNECTING TO ANY EXISTING SEWER LATERAL IT SHALL BE CLOSED CIRCUIT TELEVISION INSPECTED BY A CALIFORNIA LICENSED PLUMBING CONTRACTOR TO VERIFY LATERAL IS IN GOOD WORKING CONDITION AND FREE OF ALL DEBRIS.
- ON-SITE ELECTRIC AND COMMUNICATION LINES SERVING THE SITE TO BE PROPOSED BY ELECTRICAL.
- STUB POINT OF CONNECTION 5' FROM BUILDING. REFER TO MEP PLANS FOR INVERT ELEVATION AND CONTINUATION TO BUILDING.
- EXCAVATION FOR UTILITY TRENCHES TO BE 2' BELOW DEEPEST UTILITY FLOW LINE/INVERT ELEVATION PER GEOTECHNICAL RECOMMENDATIONS. CONTRACTOR/DEVELOPER TO DETERMINE APPROPRIATE DEPTH OF TRENCH FOR SHALLOW UTILITIES ADJACENT TO DEEP UTILITIES.
- ALL EXISTING UTILITIES SHOWN BASED ON AS-BUILT INFORMATION. CONTRACTOR TO COORDINATE REMOVAL OF ANY EXISTING WET UTILITIES FOUND DURING CONSTRUCTION.
- ALL PLANS FOR PRIVATE FIRE SERVICE MAINS AND PRIVATE FIRE HYDRANTS ARE SHOWN FOR REFERENCE ONLY AND MUST BE SUBMITTED SEPARATELY TO CALIFORNIA AMERICAN WATER AND FIRE PLAN CHECK FOR APPROVAL PRIOR TO INSTALLATION. ALL PRIVATE FIRE SYSTEMS WILL BE DEFINED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE, AND NFPA 24. PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES, PLANS SHALL BE SINGLE LINE DRAWINGS SHOWING ALL OF THE APPLICABLE REQUIREMENTS OF THE CODES SPECIFIED ABOVE.
- ALL DRY UTILITIES SHOWN FOR REFERENCE ONLY AND MUST BE SUBMITTED SEPARATELY FOR APPROVAL PRIOR TO INSTALLATION.
- ALL UTILITY CROSSINGS TO BE PER DETAIL ON ON THIS SHEET.
- THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO CITY OF SAN DIEGO WATER AND SEWER FACILITIES IN THE VICINITY OF THE PROJECT SITE, DUE TO THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT. IN ACCORDANCE WITH MUNICIPAL CODE SECTION 142.9607, IN THE EVENT THAT ANY SUCH FACILITY LOSES INTEGRITY THEN, THE OWNER/PERMITTEE SHALL REPAIR OR RECONSTRUCT ANY DAMAGED PUBLIC WATER AND SEWER FACILITY IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
- THE OWNER/PERMITTEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN THE PUBLIC ROW (OR WITHIN AN ADEQUATELY SIZED WATER EASEMENT) IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
- ALL EXISTING AND PROPOSED WATER LINES SERVING THIS DEVELOPMENT (INCLUDING DOMESTIC, IRRIGATION, AND FIRE) MUST PASS THROUGH A PERMITTED, PRIVATE, ABOVE GROUND BACKFLOW PREVENTION DEVICE (BFPD).
- ALL PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

UTILITY NOTES

- CONNECT TO EXISTING FIRE SERVICE
- CONNECT TO EXISTING WATER SERVICE
- PROP FIRE HYDRANT PER SAN DIEGO REGIONAL STD DWG WF-01
- PROP 6" FIRE BACKFLOW PER SAN DIEGO REGIONAL STD DWG WF-05
- PROP TWO (2) 2" DOMESTIC WATER BACKFLOW AND TWO (2) METERS PER REGIONAL STD DWG WS-01
- PROP 3" RECYCLED WATER BACKFLOW AND METER

LEGEND

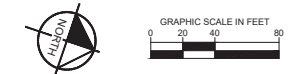


NOTE: CONTRACTOR MAY AT THEIR OPTION ROPE THE WATER MAIN IN PLACE OF VERTICAL BENDS TO MAINTAIN 1" MIN CLEARANCE. ROPING SHALL NOT EXCEED MAXIMUM RADIUS OF CURVATURE PER MANUFACTURERS RECOMMENDATIONS. THIS DETAIL CAN ONLY BE USED FOR THE PRIVATE ON-SITE UTILITY SYSTEM.

DETAIL A: UTILITY CROSSING
NTS

CAUTION!
EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HORIZONTAL AND VERTICAL LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES.

PRIVATE ON-SITE WATER AND SEWER ARE DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND ARE SHOWN ON THE PLANS AS REFERENCE ONLY. A SEPARATE PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.



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PROJECT ADDRESS:	3020 & 3030 CALLAN RD SAN DIEGO, CA 92121
PROJECT NAME:	3020 CALLAN ROAD NEW BUILDINGS
SHEET TITLE:	UTILITY PLAN
ORIGINAL PREPARATION DATE:	FEBRUARY 10, 2020
MUP PROJECT #:	
DEP #:	
	SHEET: 7 OF 51

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	2/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	4/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	7/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	8/27/2020

UTILITY PLAN

C6.0



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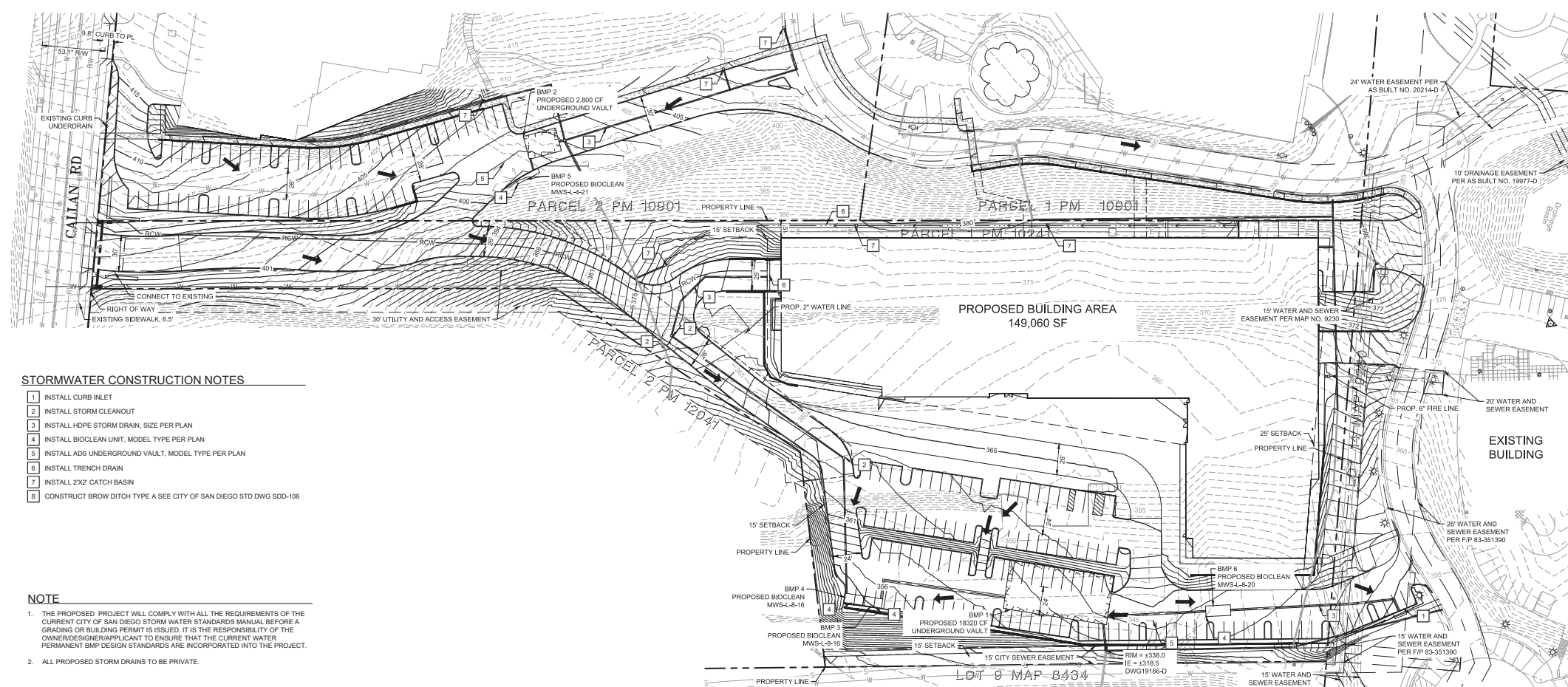
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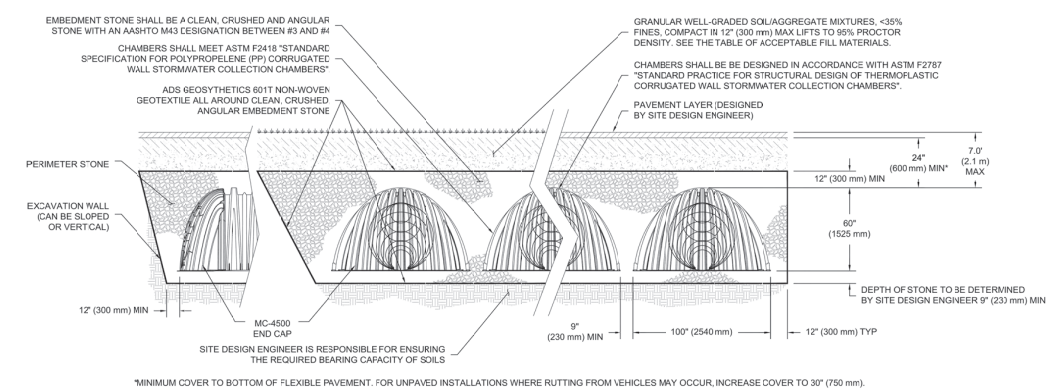
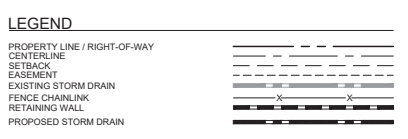
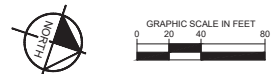


STORMWATER CONSTRUCTION NOTES

1. INSTALL CURB INLET
2. INSTALL STORM CLEANOUT
3. INSTALL HDPE STORM DRAIN, SIZE PER PLAN
4. INSTALL BIOCLEAN UNIT, MODEL TYPE PER PLAN
5. INSTALL ADS UNDERGROUND VAULT, MODEL TYPE PER PLAN
6. INSTALL TRENCH DRAIN
7. INSTALL 2'X2' CATCH BASIN
8. CONSTRUCT BROW DITCH TYPE A SEE CITY OF SAN DIEGO STD DWG SDD-106

NOTE

1. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
2. ALL PROPOSED STORM DRAINS TO BE PRIVATE.



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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: STORMDRAIN AND BMP PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 8 OF 51

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL 1	B	2/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	4/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	7/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	8/27/2020

STORMDRAIN AND
BMP PLAN

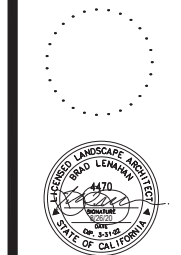
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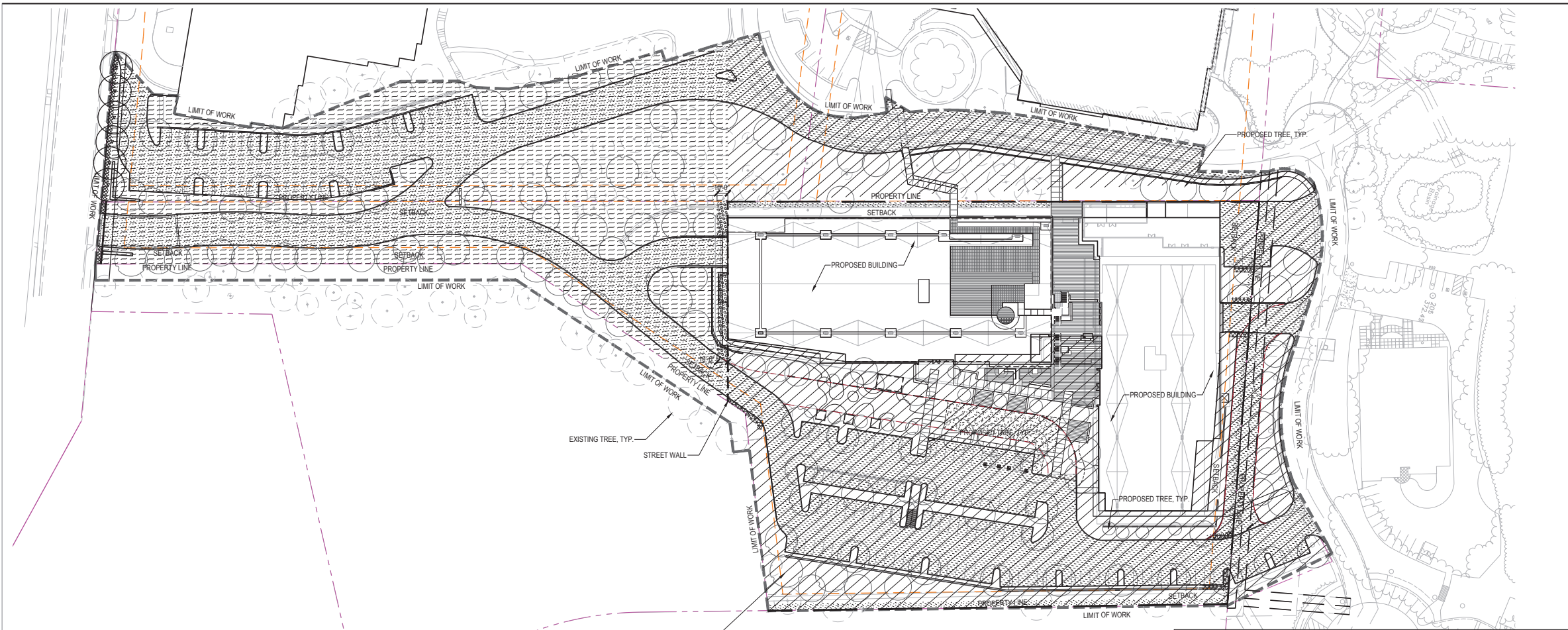


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 02	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 03	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 04	E	08/26/2020

FPBA PROJECT NO. 15049

LANDSCAPE TITLE SHEET

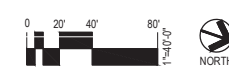
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LANDSCAPE CALCULATIONS DIAGRAM LEGEND

SYMBOL	AREA DESCRIPTION	LENGTH (LF)	AREA (SQ FT)	REMARKS
---	STREET WALL LINE	185'	-	-
---	REMAINING YARD ADJACENT TO PROPERTY LINE	1,285	-	-
---	STREET YARD ADJACENT TO PROPERTY LINE	68'	-	-
[Pattern]	FACADE PLANTING	-	1,105	-
[Pattern]	PERIMETER PLANTING IN STREET YARD (5 FT OFF OF PROPERTY LINE)	-	819	-
[Pattern]	PERIMETER PLANTING IN REMAINING YARD (5 FT OFF OF PROPERTY LINE)	-	5,015	-
[Pattern]	STREET YARD AREA	-	106,337	-
[Pattern]	REMAINING YARD AREA	-	149,909	-
[Pattern]	5 FT WIDE SET BACK PLANTING ZONE AT VEHICULAR USE AREA IN REMAINING YARD	-	723	-
[Pattern]	VEHICULAR USE AREA (INSIDE OF STREET YARD)	-	51,397	-
[Pattern]	VEHICULAR USE AREA (OUTSIDE OF STREET YARD)	-	67,420	-
-	N/A TOTAL VEHICULAR USE AREA	-	118,817	-
-	TOTAL PLANTING AREA IN STREET YARD AREA	-	56,800	-
-	TOTAL PLANTING AREA IN REMAINING YARD AREA	-	21,522	-

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 SAN DIEGO, CA 92121
 PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS
 SHEET TITLE: LANDSCAPE TITLE SHEET
 ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020
 MUP PROJECT #: _____
 DEP #: _____ SHEET: 9 OF 51



City of San Diego Development Services
1222 First Ave., 5th Fl., San Diego, CA 92101-4154 (619) 448-5000

Landscape Calculations Worksheet
Vehicle Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 1 of the Land Development Code.
One tree (minimum 24 inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 inch trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (VUA) (142.0405-142.0407) NOT APPLICABLE

Planting Area Required	Planting Area Provided	Excess Points Provided
51,397 sq. ft. x 0.02 = 2,570 points	56,800 sq. ft.	54,230 points
67,420 sq. ft. x 0.02 = 3,023 points	21,522 sq. ft.	10,499 points
51,397 sq. ft. x 0.02 = 2,570 points	2,739 points	1,800 points
67,420 sq. ft. x 0.02 = 3,023 points	4,284 points	2,700 points

TEMPORARY VEHICULAR USE AREA (142.0408) NOT APPLICABLE

Planting Area Required	Planting Area Provided	Excess Points Provided
6,425 sq. ft. x 0.02 = 321 points	1,004 points	683 points

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

Page 2 of 3 City of San Diego Development Services Department - Industrial Development in All Zones Except RM and C

FACADE PLANTING AREA, alternate compliance (A) (142.0405)(2)(A)

Planting Area Required	Planting Area Provided	Excess Points Provided
106,337 sq. ft. x 0.02 = 2,127 points	56,800 sq. ft.	30,215 points

FACADE PLANTING AREA, alternate compliance (B) (142.0405)(2)(B)

Planting Area Required	Planting Area Provided	Excess Points Provided
106,337 sq. ft. x 0.02 = 2,127 points	56,800 sq. ft.	30,215 points

REMAINING YARD (142.0405)(4)

Planting Area Required	Planting Area Provided	Excess Points Provided
149,909 sq. ft. x 0.02 = 2,998 points	21,522 sq. ft.	10,499 points

VEHICULAR USE AREA (VUA) (See separate worksheet DS-5)

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

City of San Diego Development Services
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Landscape Calculations Worksheet
Industrial Development in All Zones except RM and C

STREET YARD (142.0404)

Planting Area Required	Planting Area Provided	Excess Area Provided
106,337 sq. ft. x 25% = 26,585 sq. ft.	56,800 sq. ft.	30,215 sq. ft.

PERIMETER PLANTING AREA (within Street Yard) (142.0405)(1)

Planting Area Required	Planting Area Provided	Excess Points Provided
340 sq. ft. x 0.20 = 68 points	600 points	500 points

FACADE PLANTING AREA (within Street Yard) (142.0405)(2)

Planting Area Required	Planting Area Provided	Excess Points Provided
185 sq. ft. x 0.02 = 3.7 points	1,105 sq. ft.	1,067.3 points

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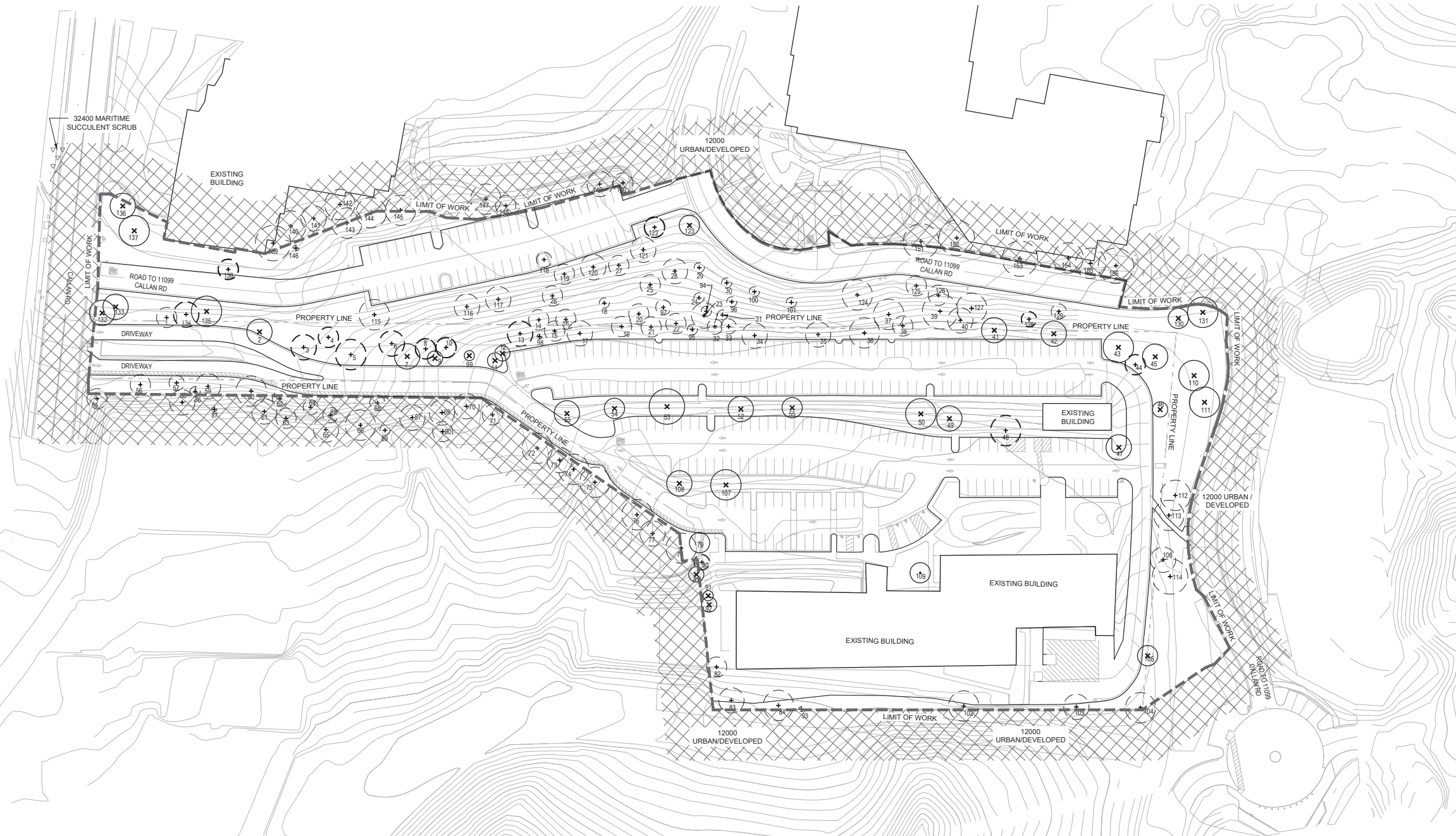
DESCRIPTION	NO.	DATE
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DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020

FPBA PROJECT NO. 19049

OVERALL EXISTING
SITE PLAN

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DEMOLITION NOTES (CONT.)	
NUMBER	DESCRIPTION
7	ALL TREES THAT ARE IDENTIFIED AS PROTECTED IN PLACE SHALL HAVE YELLOW CAUTION TAPE INSTALLED ON 24" HIGH WOODEN STAKES AT THE DRIPLINE OF THE TREE TO PROTECT THE TREE ROOTS DURING CONSTRUCTION.
8	THE CONTRACTOR SHALL CUT AND CAP THE EXISTING IRRIGATION SYSTEM WHERE IRRIGATION IS SCHEDULED FOR DEMOLITION. THE CONTRACTOR SHALL ENSURE THE IRRIGATION SYSTEM MAINTAINS FUNCTION TO ALL LANDSCAPE AREAS NOT REMOVED DURING DEMOLITION. CONTRACTOR SHALL PROVIDE HAND WATERING MONDAY, WEDNESDAY AND FRIDAY TO TREES THAT ARE IDENTIFIED TO BE "PROTECTED IN PLACE" WHERE THE IRRIGATION TO THOSE TREES IS TO BE REMOVED. (AN ALTERNATE IS TO PROVIDE TEMPORARY IRRIGATION TO THOSE TREES)
9	ALL EXISTING CURB LINES SHALL REMAIN; PROTECT IN PLACE, UNLESS OTHERWISE NOTED.
10	ALL EXISTING SITE FURNISHINGS SHALL BE SALVAGED; COORDINATE WITH OWNER FOR STORAGE OR RELOCATION.
11	PROTECT ALL EXISTING SITE & BUILDING UTILITIES SUCH AS A/C UNITS & ELECTRICAL JUNCTION BOXES (MAINTAIN IN GOOD WORKING ORDER).
12	THE TERM "DEMO" INCLUDES COMPLETE REMOVAL OF STRUCTURES AND ASSOCIATED WALLS, METAL WORK, CONCRETE FOOTINGS, UTILITY LINES, CURBS, VENT, ETC.

DEMOLITION NOTES	
NUMBER	DESCRIPTION
1	THE TERM "REMOVE" INCLUDES ALL WORK RELATED TO EXISTING TREES, SHRUBS, GROUND COVER, ORNAMENTAL METAL, WOOD & HARDSCAPE ELEMENTS. ITEMS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
2	THE TERM "TO REMAIN" INCLUDES ALL WORK NECESSARY TO PROTECT AND MAINTAIN AN ITEM IN ITS CURRENT CONDITION, INCLUDING THE HEALTH OF PLANT MATERIAL.
3	THE TERM "PROTECT" INCLUDES PROVIDING OF TEMPORARY BARRICADES, WARNING MARKERS, COVERINGS, OR OTHER TYPES OF PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS OR PLANT MATERIAL.
4	THE TERM "SALVAGE" INCLUDES ALL WORK RELATED TO PROPER REMOVAL, CONSOLIDATION AND INVENTORY OF PARTS, PROTECTION MATERIALS, TRANSPORTING TO STORAGE, AND CLEAN-UP.
5	LIMITS OF DEMOLITION IN LANDSCAPE AREAS ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE. CONTRACTOR TO DETERMINE EXTENT OF DEMOLITION APPROPRIATE FOR NEW WORK WITH LANDSCAPE ARCHITECT IN THE FIELD.
6	ALL VALVE BOXES, VAULTS AND OTHER UNDERGROUND UTILITIES WITHIN THE LANDSCAPE DEMOLITION AREAS ARE TO REMAIN AND BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED.
7	ALL TREES THAT ARE IDENTIFIED AS PROTECTED IN PLACE SHALL HAVE YELLOW CAUTION TAPE INSTALLED ON 24" HIGH WOODEN STAKES AT THE DRIPLINE OF THE TREE TO PROTECT THE TREE ROOTS DURING CONSTRUCTION.

TREE SURVEY - TOTAL SITE QUANTITY	
ACTION	TOTAL
PROTECT IN PLACE TREE TOTAL	93
RELOCATE TREE TOTAL	2
REMOVE TREE TOTAL	59
EXISTING TREE TOTAL	156
PROPOSED ADDITIONAL TREE TOTAL	145

TREE LEGEND	
	PROTECT IN PLACE TREE
	CANDIDATE TREE FOR RELOCATION
	REMOVE TREE

TREE SURVEY NOTES	
1. SEE SHEET LS2.00 FOR ACTION AND ADDITIONAL INFORMATION	
2. FOR PROPOSED TREES PLEASE REFER TO SHEETS LP1.01 THROUGH LP1.06	
3. EXISTING PINUS TORREYANA TO BE REMOVED WERE PLANTED AS PART OF PROPERTY DEVELOPMENT IN 1981	
PROPERTY ADJACENT VEGETATION ZONES	
	32400 MARITIME SUCCULENT SCRUB
	12000 URBAN/DEVELOPED

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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

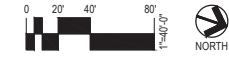
SHEET TITLE:

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #:

DEP #:

SHEET: 11 OF 51





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DEVELOPMENT PERMIT GRANT		
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020

FPBA PROJECT NO. 19049

LANDSCAPE TREE SURVEY PLAN

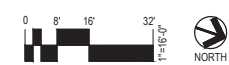
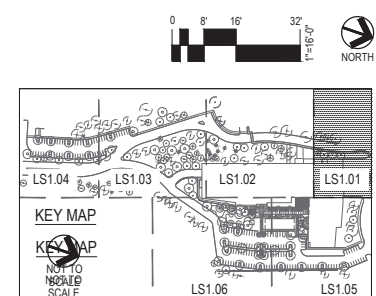
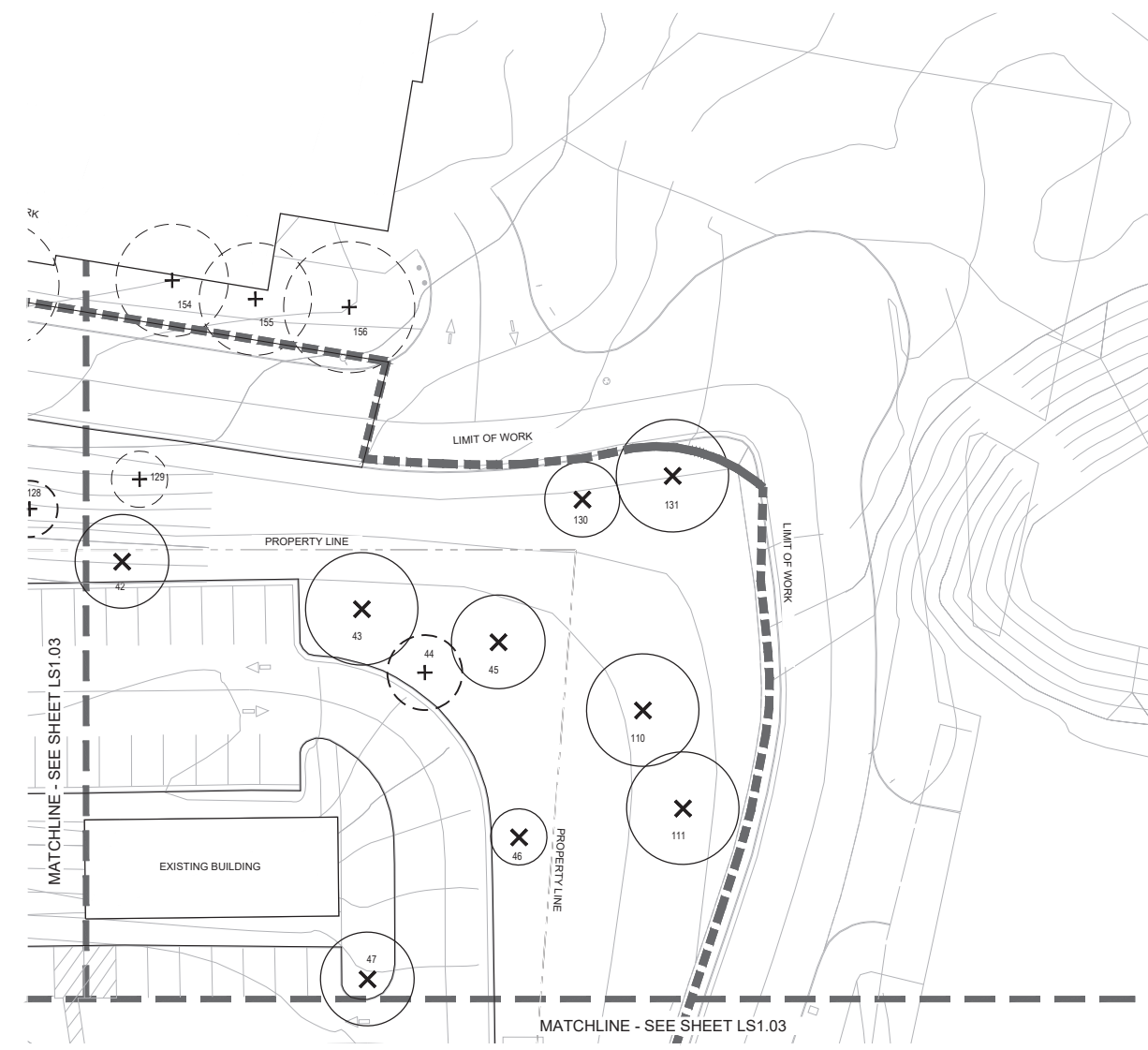
LS1.01

DEMOLITION NOTES	
NUMBER	DESCRIPTION
①	THE TERM "REMOVE" INCLUDES ALL WORK RELATED TO EXISTING TREES, SHRUBS, GROUNDCOVER, ORNAMENTAL METAL, WOOD & HARDSCAPE ELEMENTS. ITEMS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
②	THE TERM "TO REMAIN" INCLUDES ALL WORK NECESSARY TO PROTECT AND MAINTAIN AN ITEM IN ITS CURRENT CONDITION, INCLUDING THE HEALTH OF PLANT MATERIAL.
③	THE TERM "PROTECT" INCLUDES PROVIDING OF TEMPORARY BARRICADES, WARNING MARKERS, COVERINGS, OR OTHER TYPES OF PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS OR PLANT MATERIAL.
④	THE TERM "SALVAGE" INCLUDES ALL WORK RELATED TO PROPER REMOVAL, CONSOLIDATION AND INVENTORY OF PARTS, PROTECTION MATERIALS, TRANSPORTING TO STORAGE, AND CLEAN-UP.
⑤	LIMITS OF DEMOLITION IN LANDSCAPE AREAS ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE. CONTRACTOR TO DETERMINE EXTENT OF DEMOLITION APPROPRIATE FOR NEW WORK WITH LANDSCAPE ARCHITECT IN THE FIELD.
⑥	ALL VALVE BOXES, VAULTS AND OTHER UNDERGROUND UTILITIES WITHIN THE LANDSCAPE DEMOLITION AREAS ARE TO REMAIN AND BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED.
⑦	ALL TREES THAT ARE IDENTIFIED AS PROTECTED IN PLACE SHALL HAVE YELLOW CAUTION TAPE INSTALLED ON 24" HIGH WOODEN STAKES AT THE DRIPLINE OF THE TREE TO PROTECT THE TREE ROOTS DURING CONSTRUCTION.
⑧	THE CONTRACTOR SHALL CUT AND CAP THE EXISTING IRRIGATION SYSTEM WHERE IRRIGATION IS SCHEDULED FOR DEMOLITION. THE CONTRACTOR SHALL ENSURE THE IRRIGATION SYSTEM MAINTAINS FUNCTION TO ALL LANDSCAPE AREAS NOT REMOVED DURING DEMOLITION. CONTRACTOR SHALL PROVIDE HAND WATERING MONDAY, WEDNESDAY AND FRIDAY TO TREES THAT ARE IDENTIFIED TO BE "PROTECTED IN PLACE" WHERE THE IRRIGATION TO THOSE TREES IS TO BE REMOVED. (AN ALTERNATE IS TO PROVIDE TEMPORARY IRRIGATION TO THOSE TREES)
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⑩	ALL EXISTING SITE FURNISHINGS SHALL BE SALVAGED; COORDINATE WITH OWNER FOR STORAGE OR RELOCATION.
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TREE SURVEY NOTES	
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2.	FOR PROPOSED TREES PLEASE REFER TO SHEETS LP1.01 THROUGH LP1.06
3.	EXISTING PINUS TORREYANA TO BE REMOVED. WERE PLANTED AS PART OF PROPERTY DEVELOPMENT IN 1981

TREE LEGEND	
	PROTECT IN PLACE TREE
	CANDIDATE TREE FOR RELOCATION
	REMOVE TREE

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PHONE NO #:	(619) 231-0751 / PHIL PAPE
PROJECT ADDRESS:	3020 & 3030 CALLAN RD SAN DIEGO, CA 92121
PROJECT NAME:	3020 CALLAN ROAD NEW BUILDINGS
SHEET TITLE:	
ORIGINAL PREPARATION DATE:	FEBRUARY 10, 2020
MUP PROJECT #:	
DEP #:	
	SHEET: 12 OF 51



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3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

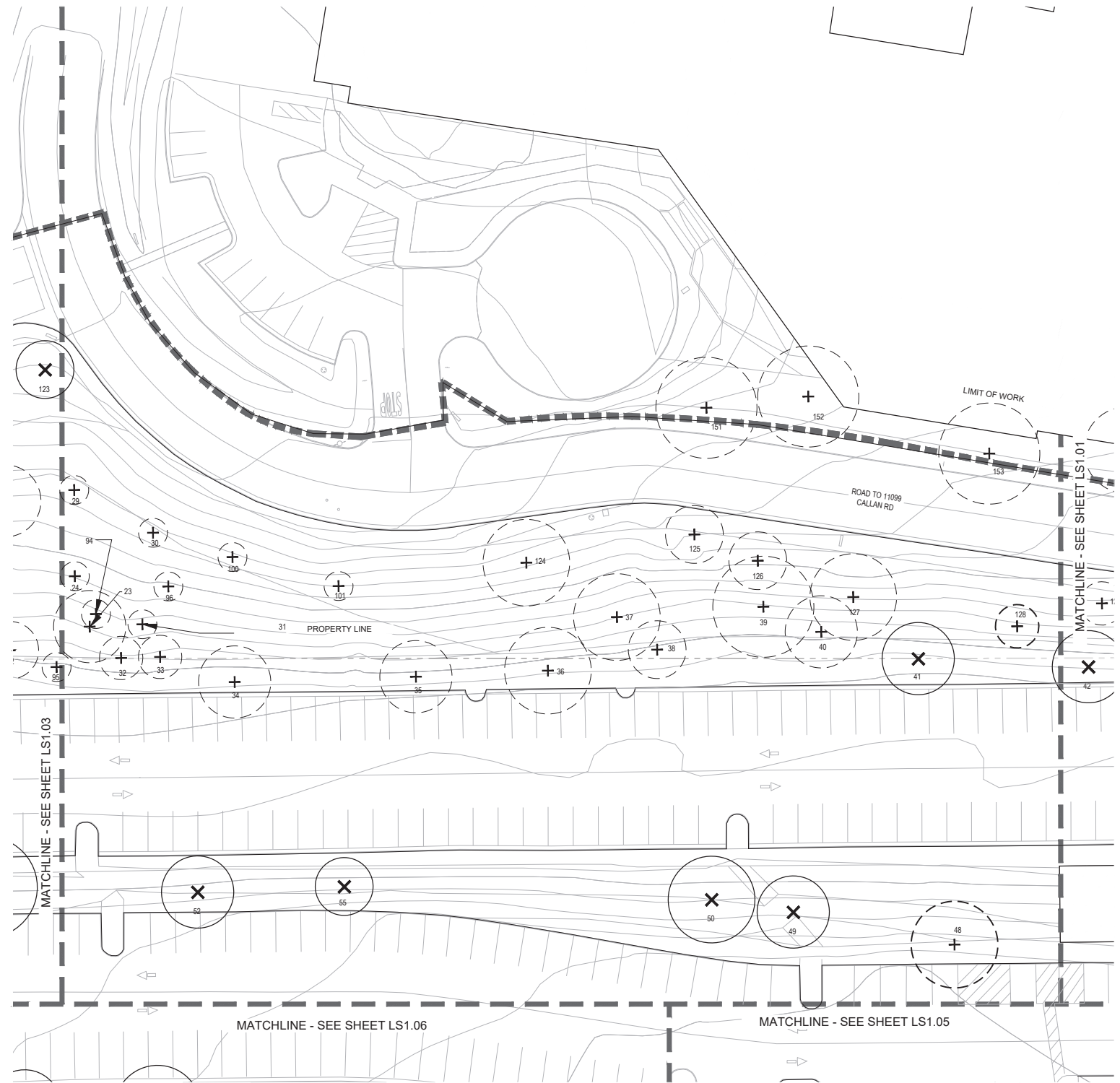
Healthpeak
LIFE SCIENCE PROPERTIES



DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020

FPBA PROJECT NO. 19049
LANDSCAPE TREE SURVEY PLAN

LS1.02

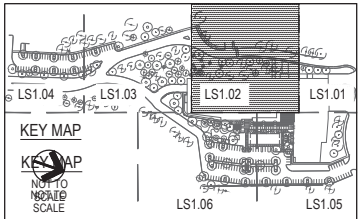


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TREE LEGEND	
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	CANDIDATE TREE FOR RELOCATION
	REMOVE TREE

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SHEET TITLE:	
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SAN DIEGO, CA 92121

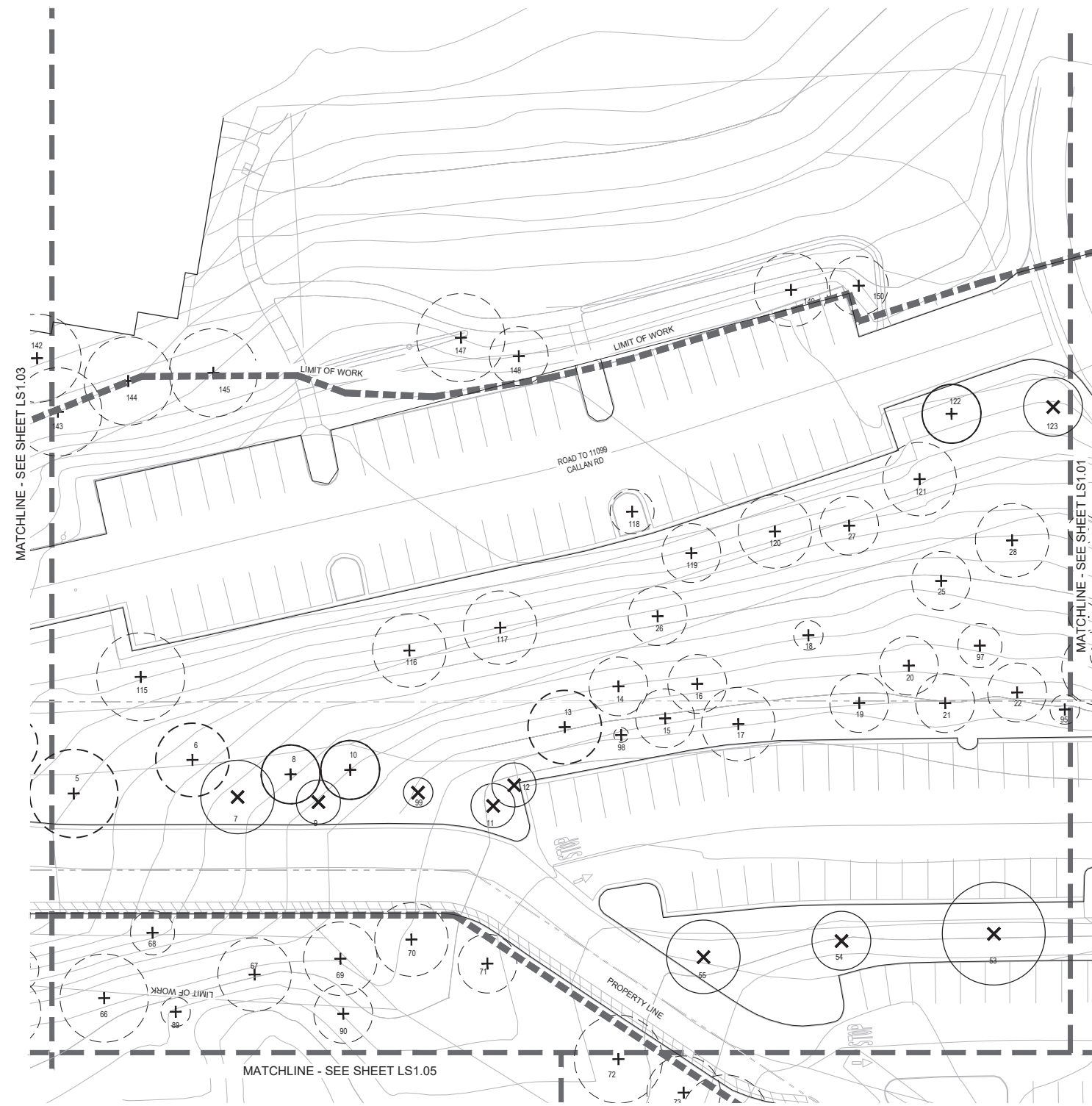


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020

FPBA PROJECT NO. 19049

LANDSCAPE TREE SURVEY PLAN

LS1.03

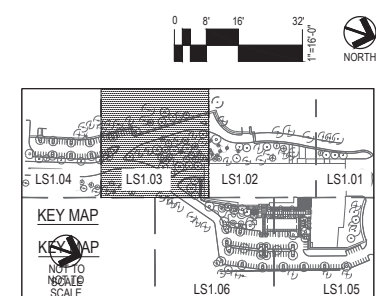


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TREE LEGEND	
	PROTECT IN PLACE TREE
	CANDIDATE TREE FOR RELOCATION
	REMOVE TREE

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HEALTHPEAK PROPERTIES, INC.
3020 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121



DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN PERMIT DRAFT	A	01/15/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020

FPBA PROJECT NO. 19049
LANDSCAPE TREE
SURVEY PLAN

LS1.04

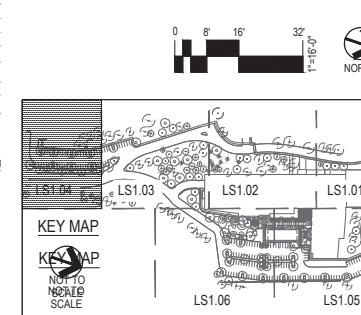
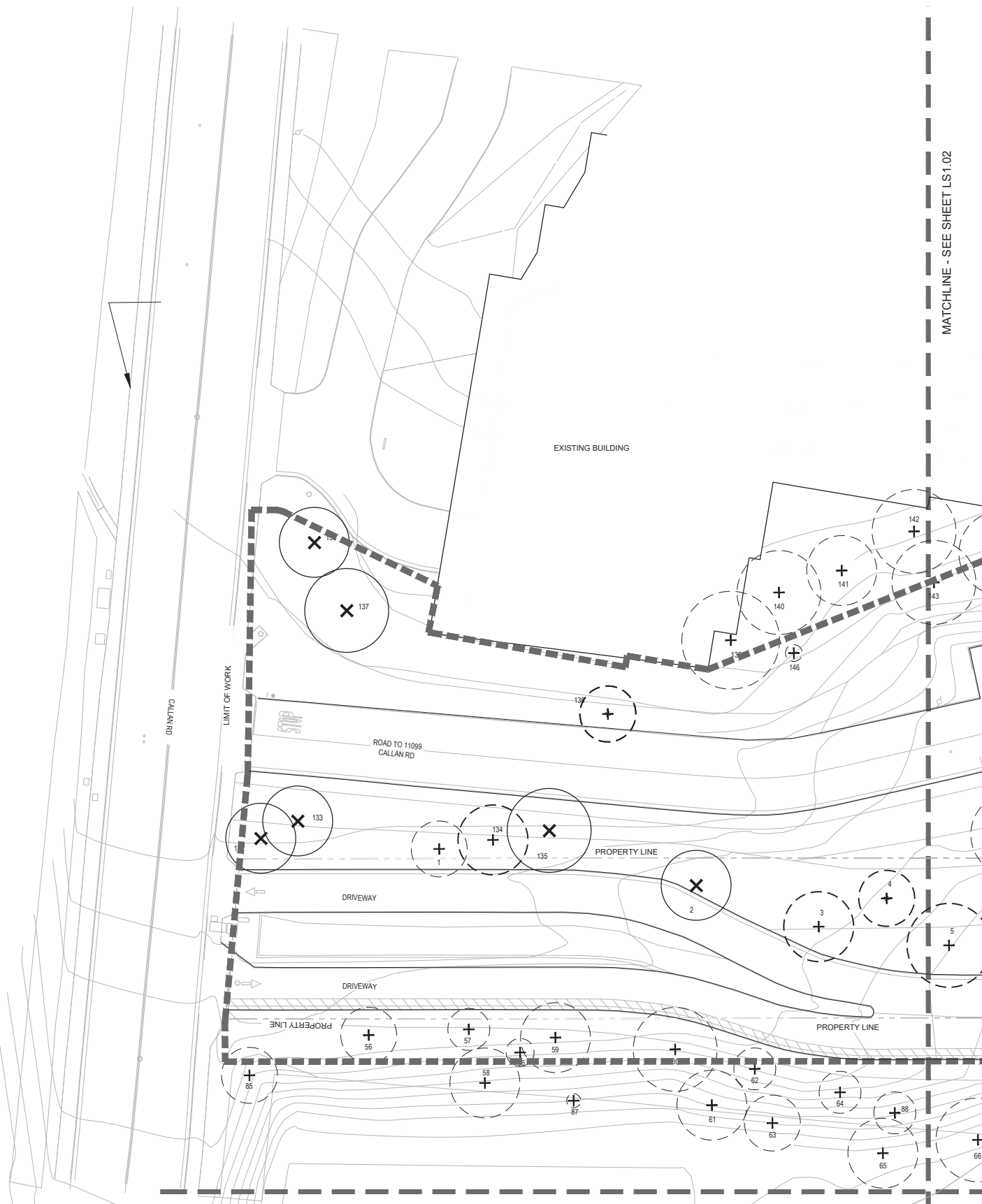
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TREE SURVEY NOTES	
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TREE LEGEND	
	PROTECT IN PLACE TREE
	CANDIDATE TREE FOR RELOCATION
	REMOVE TREE

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PROJECT ADDRESS:	3020 & 3030 CALLAN RD SAN DIEGO, CA 92121
PROJECT NAME:	3020 CALLAN ROAD NEW BUILDINGS
SHEET TITLE:	
ORIGINAL PREPARATION DATE:	FEBRUARY 10, 2020
MUP PROJECT #:	
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SHEET: 15 OF 51	

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3020 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES



DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
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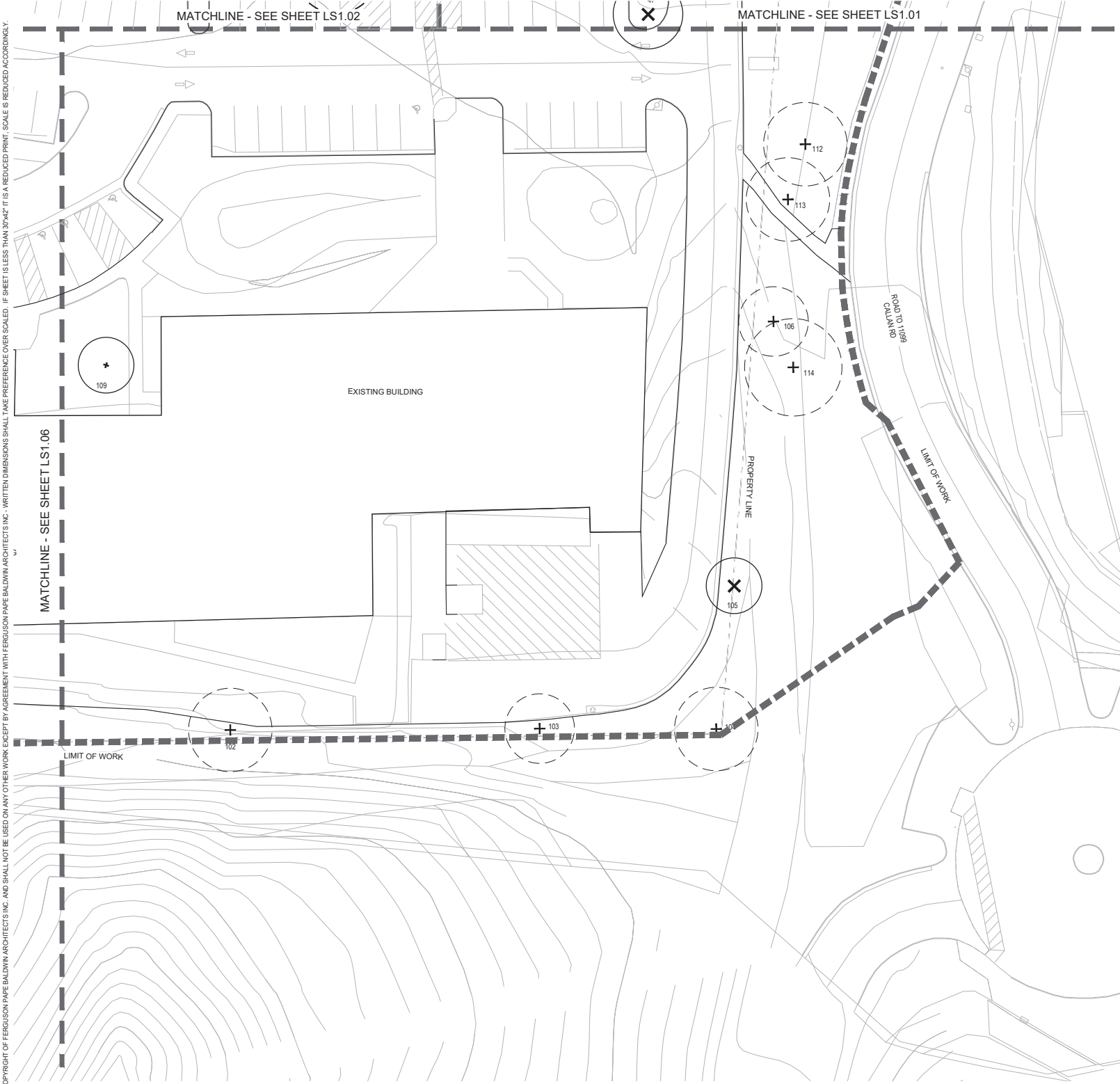
FPBA PROJECT NO. 19049
**LANDSCAPE TREE
SURVEY PLAN**

LS1.05

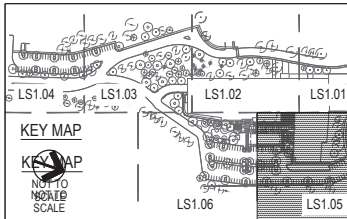
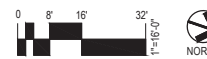
TREE LEGEND	
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DEMOLITION NOTES	
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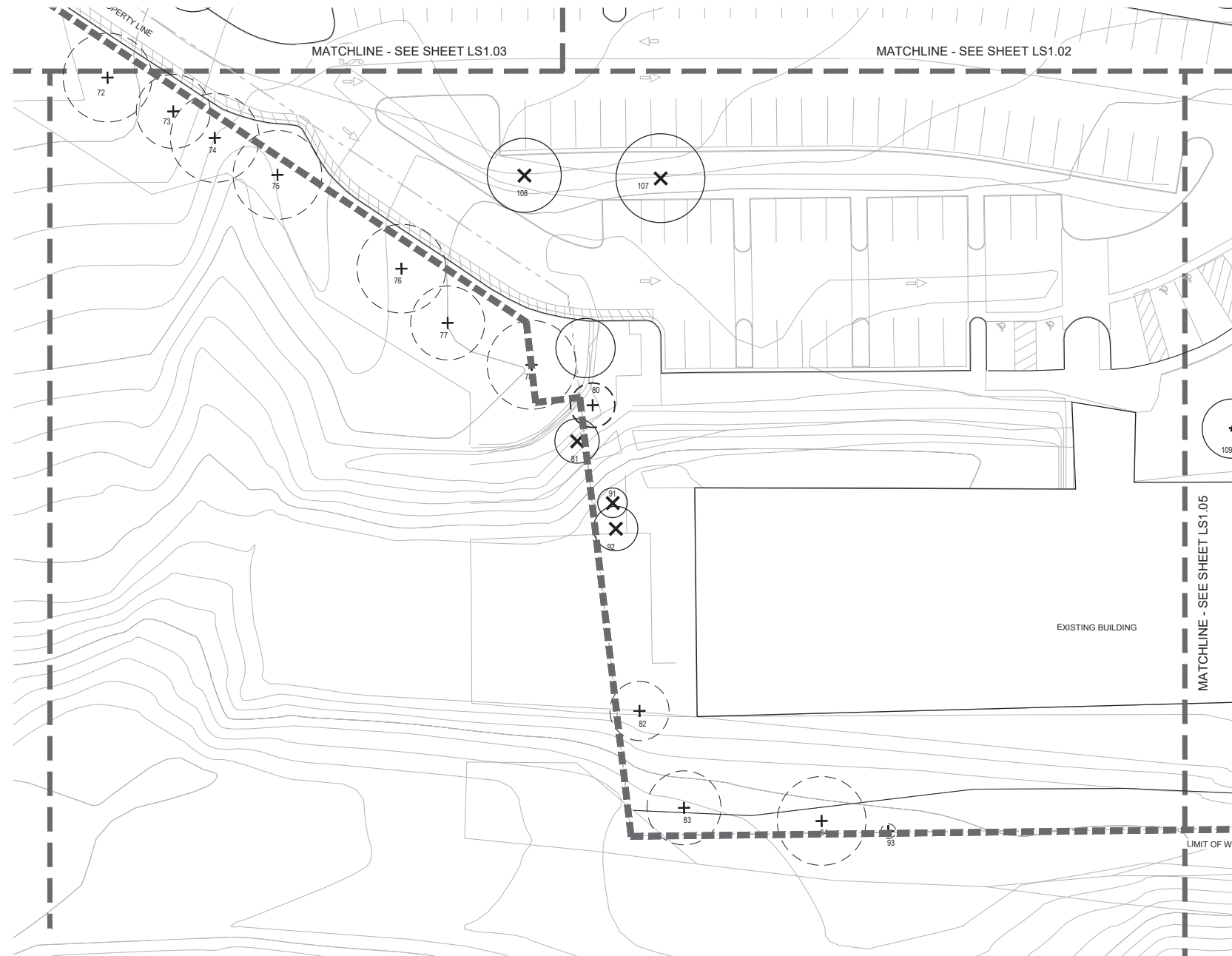


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DEP #:	_____
	SHEET: 16 OF 51

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DEMOLITION NOTES

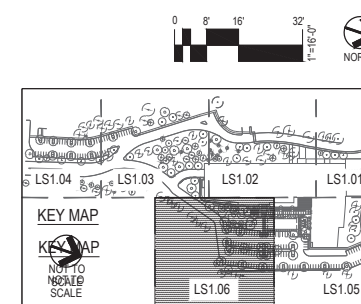
NUMBER	DESCRIPTION
①	THE TERM "REMOVE" INCLUDES ALL WORK RELATED TO EXISTING TREES, SHRUBS, GROUNDCOVER, ORNAMENTAL METAL, WOOD & HARDSCAPE ELEMENTS. ITEMS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
②	THE TERM "TO REMAIN" INCLUDES ALL WORK NECESSARY TO PROTECT AND MAINTAIN AN ITEM IN ITS CURRENT CONDITION, INCLUDING THE HEALTH OF PLANT MATERIAL.
③	THE TERM "PROTECT" INCLUDES PROVIDING OF TEMPORARY BARRICADES, WARNING MARKERS, COVERINGS, OR OTHER TYPES OF PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS OR PLANT MATERIAL.
④	THE TERM "SALVAGE" INCLUDES ALL WORK RELATED TO PROPER REMOVAL, CONSOLIDATION AND INVENTORY OF PARTS, PROTECTION MATERIALS, TRANSPORTING TO STORAGE, AND CLEAN-UP.
⑤	LIMITS OF DEMOLITION IN LANDSCAPE ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE. CONTRACTOR TO DETERMINE EXTENT OF DEMOLITION APPROPRIATE FOR NEW WORK WITH LANDSCAPE ARCHITECT IN THE FIELD.
⑥	ALL VALVE BOXES, VAULTS AND OTHER UNDERGROUND UTILITIES WITHIN THE LANDSCAPE DEMOLITION AREAS ARE TO REMAIN AND BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED.
⑦	ALL TREES THAT ARE IDENTIFIED AS PROTECTED IN PLACE SHALL HAVE YELLOW CAUTION TAPE INSTALLED ON 24" HIGH WOODEN STAKES AT THE DRIPLINE OF THE TREE TO PROTECT THE TREE ROOTS DURING CONSTRUCTION.
⑧	THE CONTRACTOR SHALL CUT AND CAP THE EXISTING IRRIGATION SYSTEM WHERE IRRIGATION IS SCHEDULED FOR DEMOLITION. THE CONTRACTOR SHALL ENSURE THE IRRIGATION SYSTEM MAINTAINS FUNCTION TO ALL LANDSCAPE AREAS NOT REMOVED DURING DEMOLITION. CONTRACTOR SHALL PROVIDE HAND WATERING MONDAY, WEDNESDAY AND FRIDAY TO TREES THAT ARE IDENTIFIED TO BE "PROTECTED IN PLACE" WHERE THE IRRIGATION TO THOSE TREES IS TO BE REMOVED. (AN ALTERNATE IS TO PROVIDE TEMPORARY IRRIGATION TO THOSE TREES)
⑨	ALL EXISTING CURB LINES SHALL REMAIN; PROTECT IN PLACE, UNLESS OTHERWISE NOTED.
⑩	ALL EXISTING SITE FURNISHINGS SHALL BE SALVAGED; COORDINATE WITH OWNER FOR STORAGE OR RELOCATION.
⑪	PROTECT ALL EXISTING SITE & BUILDING UTILITIES SUCH AS A/C UNITS & ELECTRICAL JUNCTION BOXES (MAINTAIN IN GOOD WORKING ORDER).
⑫	THE TERM "DEMO" INCLUDES COMPLETE REMOVAL OF STRUCTURES AND ASSOCIATED WALLS, METAL WORK, CONCRETE FOOTINGS, UTILITY LINES, CURBS, VENT, ETC.

TREE SURVEY NOTES

- SEE SHEET LS2.00 FOR ACTION AND ADDITIONAL INFORMATION
- FOR PROPOSED TREES PLEASE REFER TO SHEETS LP1.01 THROUGH LP1.06
- EXISTING PINUS TORREYANA TO BE REMOVED. WERE PLANTED AS PART OF PROPERTY DEVELOPMENT IN 1981

TREE LEGEND

	PROTECT IN PLACE TREE
	CANDIDATE TREE FOR RELOCATION
	REMOVE TREE



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PHONE NO #: (619) 231-0751 / PHIL PAPE

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: _____

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 17 OF 51

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HEALTHPEAK PROPERTIES, INC.
3020 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020

FPBA PROJECT NO. 19049
LANDSCAPE TREE SURVEY PLAN

LS1.06



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3020/3030 CALLAN ROAD NEW
BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

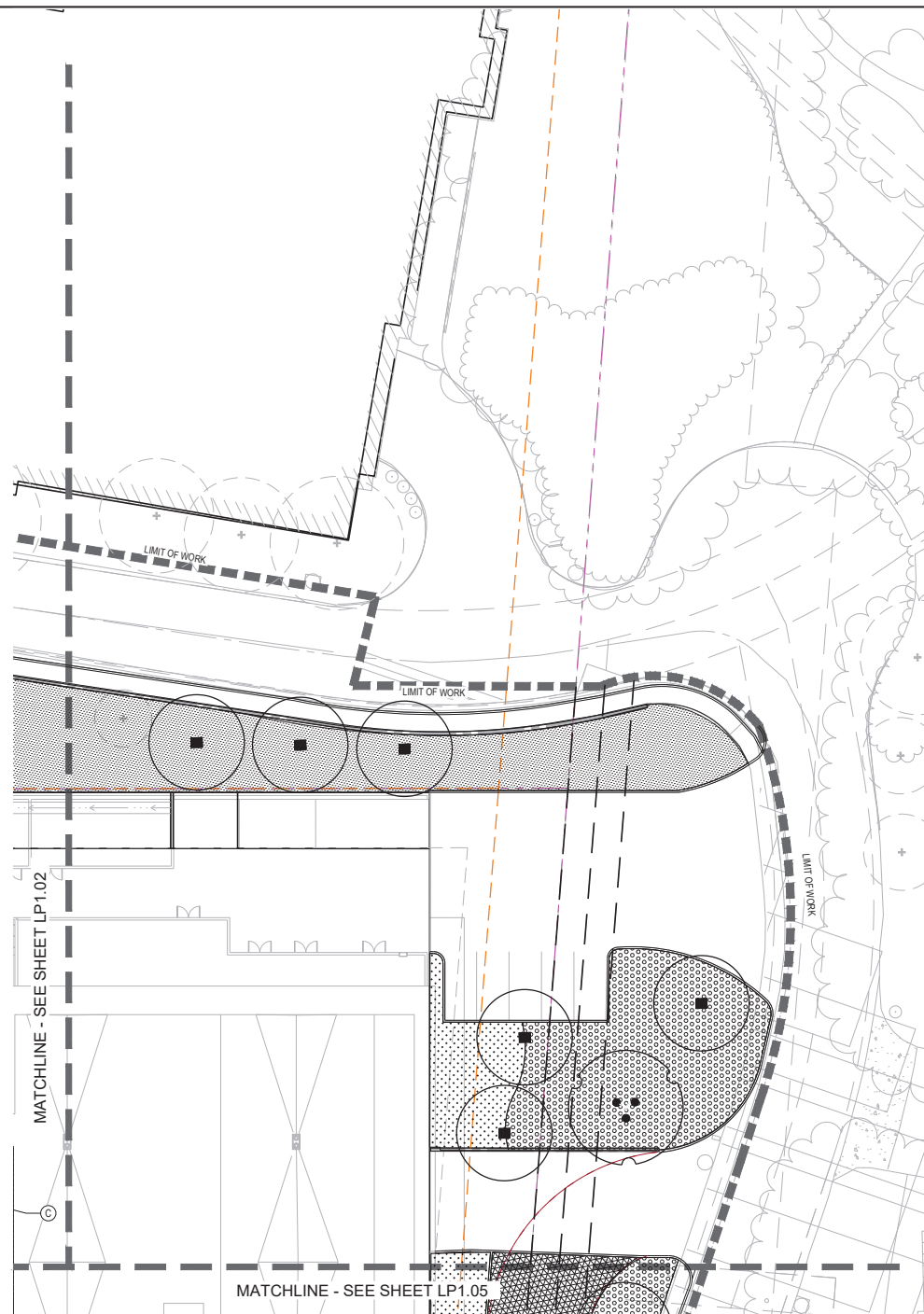


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 02	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 03	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 04	E	08/26/2020

FPBA PROJECT NO. 19049

**LANDSCAPE
PLANTING PLAN**

LP1.01



PLANT SCHEDULE CONTINUED...		
SYMBOL	SIZE	BOTANICAL NAME
PERIMETER & SLOPE SHRUBS (25% - 1 GAL; 45% - 5 GAL; 30% - 15 GAL)	15 GAL. MIN.	RHUS INTEGRIFOLIA
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
	5 GAL.	RHUS INTEGRIFOLIA
	5 GAL.	HETEROMELES ARBUTIFOLIA
	5 GAL.	SALVIA APIANA
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	5 GAL.	SALVIA SPATHACEA
	5 GAL.	DUDLEYA EDULIS
	5 GAL.	DUDLEYA BRITTONII
	GROUND COVER AND LOW SHRUB PLANTING IN FIRE LANE (30% - FLATS; 40% - 1 GAL; 30% - 5 GAL)	1 GAL.
1 GAL.		CEANOTHUS GRISEUS VAR. HORIZONTALIS
FLAT		DYMONDIA MARGARETAE
SLOPE GROUND COVER AND LOW SHRUB PLANTING (30% - 1 GAL; 40% - 5 GAL; 30% - 15 GAL)	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
	1 GAL.	BACCHARIS PILULARIS 'PIGEON POINT'
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
GREEN ROOF (100% - 4" TRAYS)	4" DEEP TRAY	SEDUM SPURIMUM 'JOHN CREECH'
	4" DEEP TRAY	SEDUM SPURIMUM 'DRAGON'S BLOOD'
	4" DEEP TRAY	SEDUM SPATHULIFOLIUM 'CAPE BLANCO'
	4" DEEP TRAY	SEDUM SELSKIANUM 'GOLDDLOCKS'
	4" DEEP TRAY	SEDUM KAMSHATICUM

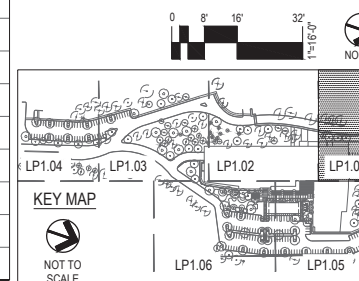
PLANT SCHEDULE		
REFER TO SHEET LP-2.00 FOR PLANT SCHEDULE AND DETAILS		
SYMBOL	SIZE	BOTANICAL NAME
TREES	36" BOX MIN.	LOPHOSTEMON CONFERTUS
	48" BOX MIN.	PINUS TORREYANA
	60" BOX MIN.	QUERCUS AGRIFOLIA
	48" BOX MIN.	PLATANUS RACEMOSA
	48" BOX MIN.	ARBUTUS 'MARINA'
	48" BOX MIN.	CERCIS CANADENSIS 'FOREST PANSY'
	36" BOX MIN.	CERCIS OCCIDENTALIS
	24" BOX MIN.	PINUS ELDRICA (STREET TREE)
	24" BOX MIN.	PINUS TORREYANA (STREET TREE)
	+	-
SHRUBS & GROUND COVER REFER TO SHEET LP-2.00 FOR PLANT SCHEDULE AND DETAILS		
SYMBOL	SIZE	BOTANICAL NAME
ORNAMENTAL SHRUBS & GRASSES (30% - 1 GAL; 40% - 5 GAL; 30% - 15 GAL)	24" BOX MIN.	HETEROMELES ARBUTIFOLIA
	15 GAL. MIN.	RHUS INTEGRIFOLIA
	5 GAL.	ARCOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'
	5 GAL.	LEYMUS CONDENSATUS 'CANYON PRINCE'
	1 GAL.	LOMANDRA LONGIFOLIA BREEZE
	1 GAL.	MUHLENBERGIA DUBIA
	5 GAL.	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
	5 GAL.	SALVIA APIANA
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
	5 GAL.	SALVIA LEUCANTHA
	5 GAL.	SALVIA LEUCOPHYLLA
	5 GAL.	SALVIA MELLIFERA
	1 GAL.	SESLERIA AUTUMNALIS
	5 GAL.	WESTRINGIA FRUTICOSA 'BLUE GEM'
	5 GAL.	BAHIOPSIS LACINIATA
	15 GAL.	FEUJA SELLOWIANA
	5 GAL.	LAURUS NOBILIS
	5 GAL.	MUHLENBERGIA RIGENS
	5 GAL.	PRUNUS CAROLINIANA
5 GAL.	DUDLEYA EDULIS	

LEGEND	
SYMBOL	DESCRIPTION
	EASEMENT BOUNDARY (CITY-ACCESS AND/OR SEWER AND WATER PER CIVIL ENGINEER'S PLANS)
	PROPERTY LINE PER CIVIL ENGINEER'S PLANS
	SETBACK PER CIVIL ENGINEER'S PLANS

KEYNOTES	
SYMBOL	DESCRIPTION
	PARKING PER ARCHITECT'S PLANS
	VEHICULAR ACCESS PER CIVIL ENGINEER'S PLANS
	RETAINING WALL BY OTHERS
	ACCESS TO EXISTING TRAIL AT TORREY PINES STATE RESERVE

- NOTES**
- REFER TO CIVIL SHEETS FOR MHPA AND MSCP BOUNDARIES
 - REFER TO CIVIL SHEETS FOR CONTOURS, SITE GRADING, CITY EASEMENTS, ETC.
 - EXISTING TREE INFORMATION PROVIDED ON SHEETS LS1.00 - LS.106

HARDSCAPE MATERIALS	
SYMBOL	DESCRIPTION
	NATURAL GRAY CAST IN PLACE CONCRETE
	PALOMINO CAST IN PLACE CONCRETE
	DASSO SYNTHETIC BAMBOO DECKING
	AUTUMN GOLD NATURAL FLAGSTONE
	COPPER CANYON GRAVEL
	STEPSTONE PORCELAIN COLOR PAVERS ON PEDESTAL SYSTEM
	DASSO SYNTHETIC BAMBOO DECKING ON PEDESTAL SYSTEM
	ARTIFICIAL TURF ON GRASSPAVE PAVING
	ENHANCED VEHICULAR PAVERS



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PHONE NO #: **(619) 231-0751 / STEFANIE DEAL**

PROJECT ADDRESS: **3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121**

PROJECT NAME: **3020 CALLAN ROAD NEW BUILDINGS**

SHEET TITLE: **LANDSCAPE PLANTING PLAN**

ORIGINAL PREPARATION DATE: **FEBRUARY 10, 2020**

MUP PROJECT #: _____

DEP #: _____

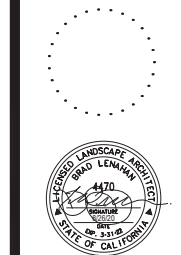
SHEET: **18** OF **51**

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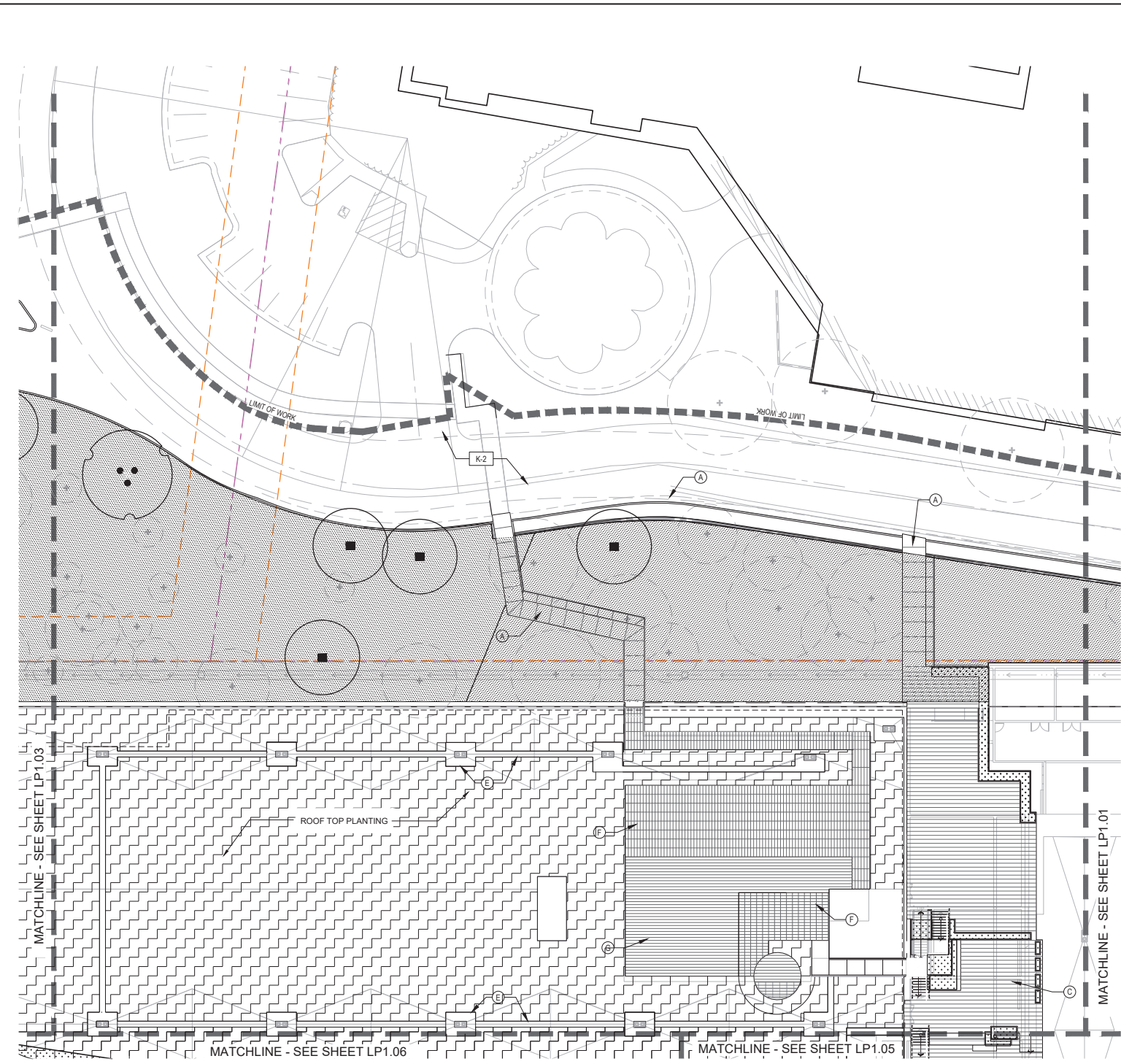


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 02	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 03	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 04	E	08/26/2020

FFBA PROJECT NO. 19049
LANDSCAPE PLANTING PLAN

LP1.02

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PLANT SCHEDULE CONTINUED...

SYMBOL	SIZE	BOTANICAL NAME
	15 GAL MIN.	RHUS INTEGRIFOLIA
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
PERIMETER & SLOPE SHRUBS (25% - 1 GAL. 45% - 5 GAL. 30% - 15 GAL.)	5 GAL.	RHUS INTEGRIFOLIA
	5 GAL.	HETEROMELES ARBUTIFOLIA
	5 GAL.	SALVIA APIANA
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	5 GAL.	SALVIA SPATHACEA
	5 GAL.	DUDLEYA EDULIS
	5 GAL.	DUDLEYA BRITTONII
GROUND COVER AND LOW SHRUB PLANTING IN FIRE LANE (30% - FLATS, 40% - 1 GAL. 30% - 5 GAL.)	1 GAL.	CAREX TUMULICOLA
	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
SLOPE GROUND COVER AND LOW SHRUB PLANTING (30% - 1 GAL. 40% - 5 GAL. 30% - 15 GAL.)	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
GREEN ROOF (100% - 4" TRAYS)	1 GAL.	BACCHARIS PILULARIS 'PIGEON POINT'
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	4" DEEP TRAY	SEDUM SPURIMUM 'JOHN CREECH'
4" DEEP TRAY	SEDUM SPURIMUM 'DRAGON'S BLOOD'	
4" DEEP TRAY	SEDUM SPATHULIFOLIUM 'CAPE BLANCO'	
4" DEEP TRAY	SEDUM SELSKIANUM 'GOLDLOCKS'	
4" DEEP TRAY	SEDUM KAMSHATICUM	

PLANT SCHEDULE

REFER TO SHEET LP-2.00 FOR PLANT SCHEDULE AND DETAILS

SYMBOL	SIZE	BOTANICAL NAME
TREES	36" BOX MIN.	LOPHOSTEMON CONFERTUS
	48" BOX MIN.	PINUS TORREYANA
	60" BOX MIN.	QUERCUS AGRIFOLIA
	48" BOX MIN.	PLATANUS RACEMOSA
	48" BOX MIN.	ARBUTUS 'MARINA'
	48" BOX MIN.	CERCIS CANADENSIS 'FOREST PANSY'
	36" BOX MIN.	CERCIS OCCIDENTALIS
	24" BOX MIN.	PINUS ELDERICA (STREET TREE)
	24" BOX MIN.	PINUS TORREYANA (STREET TREE)
	+	-
SHRUBS & GROUND COVER	24" BOX MIN.	HETEROMELES ARBUTIFOLIA
	15 GAL MIN.	RHUS INTEGRIFOLIA
	5 GAL.	ARCOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'
	5 GAL.	LEYMUS CONDENSATUS 'CANYON PRINCE'
	1 GAL.	LOMANDRA LONGIFOLIA BREEZE
	1 GAL.	MUHLENBERGIA DUBIA
	5 GAL.	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
	5 GAL.	SALVIA APIANA
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
	5 GAL.	SALVIA LEUCANTHA
	5 GAL.	SALVIA LEUCOPHYLLA
	5 GAL.	SALVIA MELLIFERA
	1 GAL.	SESLERIA AUTUMNALIS
	5 GAL.	WESTRINGIA FRUTICOSA 'BLUE GEM'
	5 GAL.	BAHIOPSIS LACINIATA
	15 GAL.	FEUJOA SELLOWIANA
	5 GAL.	LAURUS NOBILIS
5 GAL.	MUHLENBERGIA RIGENS	
5 GAL.	PRUNUS CAROLINIANA	
5 GAL.	DUDLEYA EDULIS	

LEGEND

SYMBOL	DESCRIPTION
---	EASEMENT BOUNDARY (CITY-ACCESS AND/OR SEWER AND WATER PER CIVIL ENGINEER'S PLANS)
---	PROPERTY LINE PER CIVIL ENGINEER'S PLANS
---	SETBACK PER CIVIL ENGINEER'S PLANS

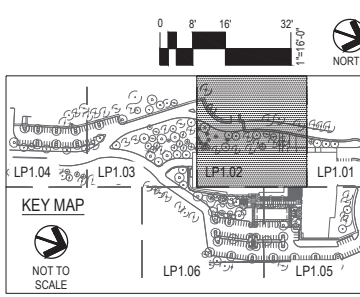
KEYNOTES

SYMBOL	DESCRIPTION
K-1	PARKING PER ARCHITECT'S PLANS
K-2	VEHICULAR ACCESS PER CIVIL ENGINEER'S PLANS
K-3	RETAINING WALL BY OTHERS
K-4	ACCESS TO EXISTING TRAIL AT TORREY PINES STATE RESERVE

- NOTES**
- REFER TO CIVIL SHEETS FOR MHPA AND MSCP BOUNDARIES
 - REFER TO CIVIL SHEETS FOR CONTOURS, SITE GRADING, CITY EASEMENTS, ETC.
 - EXISTING TREE INFORMATION PROVIDED ON SHEETS LS1.00 - LS.106

HARDSCAPE MATERIALS

SYMBOL	DESCRIPTION
A	NATURAL GRAY CAST IN PLACE CONCRETE
B	PALOMINO CAST IN PLACE CONCRETE
C	DASSO SYNTHETIC BAMBOO DECKING
D	AUTUMN GOLD NATURAL FLAGSTONE
E	COPPER CANYON GRAVEL
F	STEPSTONE PORCELAIN COLOR PAVERS ON PEDESTAL SYSTEM
G	DASSO SYNTHETIC BAMBOO DECKING ON PEDESTAL SYSTEM
H	ARTIFICIAL TURF ON GRASSPAVE PAVING
I	ENHANCED VEHICULAR PAVERS



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PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: LANDSCAPE PLANTING PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

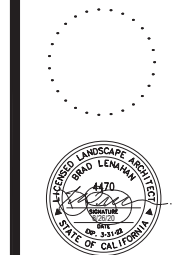
DEP #: _____

SHEET: 19 OF 51

3A

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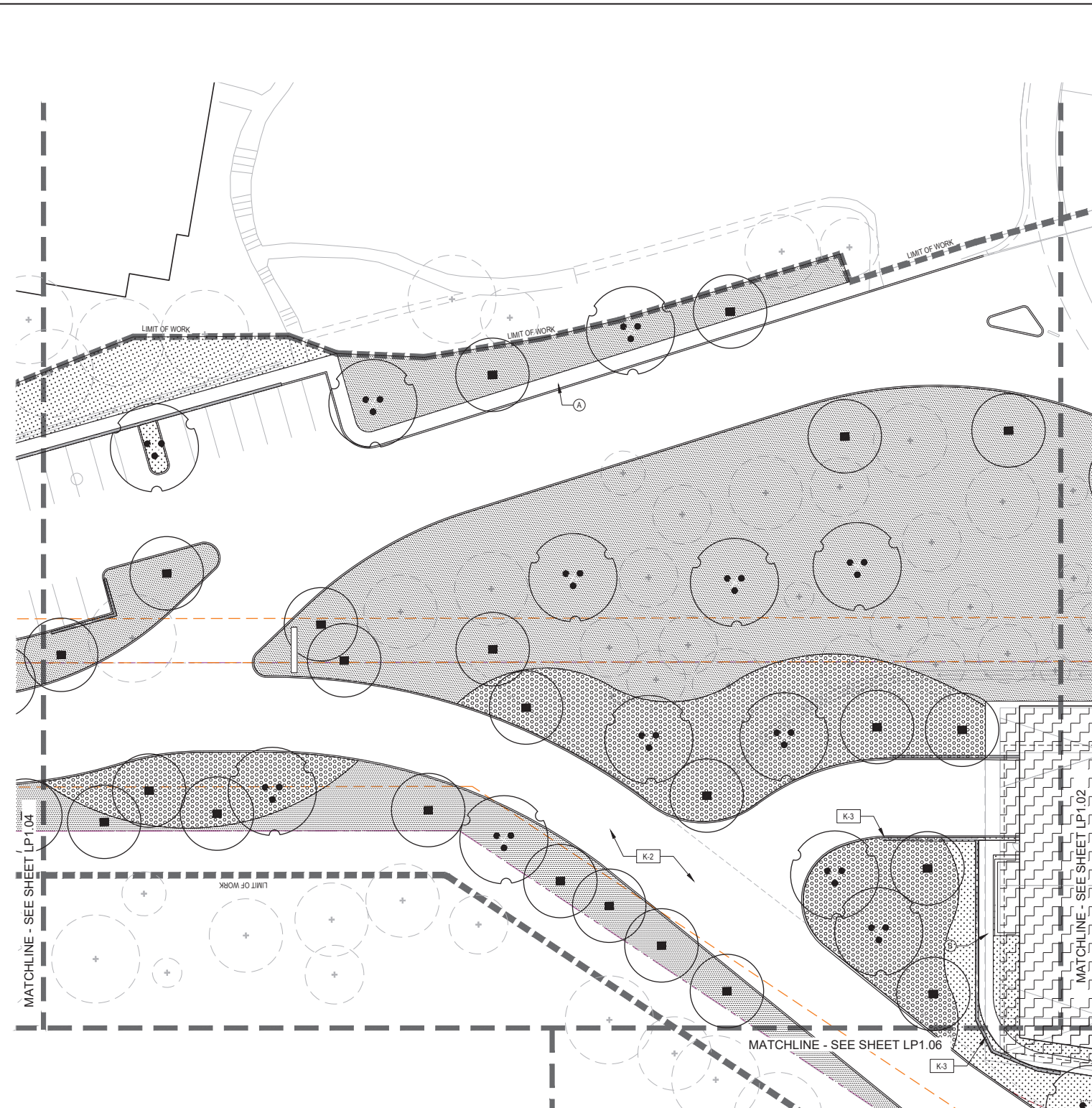
DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 02	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 03	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 04	E	08/26/2020

FPBA PROJECT NO. 19049

LANDSCAPE PLANTING PLAN

LP1.03

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PLANT SCHEDULE CONTINUED...		
SYMBOL	SIZE	BOTANICAL NAME
	15 GAL MIN.	RHUS INTEGRIFOLIA
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
PERIMETER & SLOPE SHRUBS (25% - 1 GAL. 45% - 5 GAL. 30% - 15 GAL.)	5 GAL.	RHUS INTEGRIFOLIA
	5 GAL.	HETEROMELES ARBUTIFOLIA
	5 GAL.	SALVIA APIANA
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	5 GAL.	SALVIA SPATHACEA
GROUND COVER AND LOW SHRUB PLANTING IN FIRE LANE (30% - FLATS, 40% - 1 GAL. 30% - 5 GAL.)	1 GAL.	CAREX TUMULICOLA
	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	FLAT	DYMONDIA MARGARETAE
	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
SLOPE GROUND COVER AND LOW SHRUB PLANTING (30% - 1 GAL. 40% - 1 GAL. 30% - 15 GAL.)	1 GAL.	BACCHARIS PILLULARIS 'PIGEON POINT'
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	4" DEEP TRAY	SEDUM SPURIMUM 'JOHN CREECH'
	4" DEEP TRAY	SEDUM SPURIMUM 'DRAGON'S BLOOD'
GREEN ROOF (100% - 4" TRAYS)	4" DEEP TRAY	SEDUM SPATHULIFOLIUM 'CAPE BLANCO'
	4" DEEP TRAY	SEDUM SELSKIANUM 'GOLDLOCKS'
	4" DEEP TRAY	SEDUM KAMSHATICUM

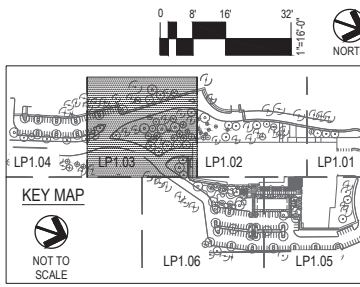
PLANT SCHEDULE		
TREES		
SYMBOL	SIZE	BOTANICAL NAME
●	36" BOX MIN.	LOPHOSTEMON CONFERTUS
●	48" BOX MIN.	PINUS TORREYANA
●	60" BOX MIN.	QUERCUS AGRIFOLIA
●	48" BOX MIN.	PLATANUS RACEMOSA
■	48" BOX MIN.	ARBUTUS 'MARINA'
■	48" BOX MIN.	CERCIS CANADENSIS 'FOREST PANSY'
●	36" BOX MIN.	CERCIS OCCIDENTALIS
▼	24" BOX MIN.	PINUS ELDFARICA (STREET TREE)
▼	24" BOX MIN.	PINUS TORREYANA (STREET TREE)
+	-	EXISTING TREE TO REMAIN; PROTECT IN PLACE
SHRUBS & GROUND COVER		
SYMBOL	SIZE	BOTANICAL NAME
●	24" BOX MIN.	HETEROMELES ARBUTIFOLIA
●	15 GAL MIN.	RHUS INTEGRIFOLIA
●	5 GAL.	ARCOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'
●	5 GAL.	LEYMUS CONDENSATUS 'CANYON PRINCE'
●	1 GAL.	LOMANDRA LONGIFOLIA BREEZE
●	1 GAL.	MUHLENBERGIA DUBIA
●	5 GAL.	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
●	5 GAL.	SALVIA APIANA
●	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
●	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
●	5 GAL.	SALVIA LEUCANTHA
●	5 GAL.	SALVIA LEUCOPHYLLA
●	5 GAL.	SALVIA MELLIFERA
●	1 GAL.	SESLERIA AUTUMNALIS
●	5 GAL.	WESTRINGIA FRUTICOSA 'BLUE GEM'
●	5 GAL.	BAHIOPSIS LACINIATA
●	15 GAL.	FEUJOA SELLOWIANA
●	5 GAL.	LAURUS NOBILIS
●	5 GAL.	MUHLENBERGIA RIGENS
●	5 GAL.	PRUNUS CAROLINIANA
●	5 GAL.	DUDLEYA EDULIS

SYMBOL	DESCRIPTION
---	EASEMENT BOUNDARY (CITY-ACCESS AND/OR SEWER AND WATER PER CIVIL ENGINEER'S PLANS)
---	PROPERTY LINE PER CIVIL ENGINEER'S PLANS
---	SETBACK PER CIVIL ENGINEER'S PLANS

SYMBOL	DESCRIPTION
K-1	PARKING PER ARCHITECT'S PLANS
K-2	VEHICULAR ACCESS PER CIVIL ENGINEER'S PLANS
K-3	RETAINING WALL BY OTHERS
K-4	ACCESS TO EXISTING TRAIL AT TORREY PINES STATE RESERVE

SYMBOL	DESCRIPTION
A	NATURAL GRAY CAST IN PLACE CONCRETE
B	PALOMINO CAST IN PLACE CONCRETE
C	DASSO SYNTHETIC BAMBOO DECKING
D	AUTUMN GOLD NATURAL FLAGSTONE
E	COPPER CANYON GRAVEL
F	STEPSTONE PORCELAIN COLOR PAVERS ON PEDESTAL SYSTEM
G	DASSO SYNTHETIC BAMBOO DECKING ON PEDESTAL SYSTEM
H	ARTIFICIAL TURF ON GRASSPAVE PAVING
I	ENHANCED VEHICULAR PAVERS

- NOTES**
- REFER TO CIVIL SHEETS FOR MHPA AND MSCP BOUNDARIES
 - REFER TO CIVIL SHEETS FOR CONTOURS, SITE GRADING, CITY EASEMENTS, ETC.
 - EXISTING TREE INFORMATION PROVIDED ON SHEETS LS1.00 - LS.106



PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD. #300
SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: LANDSCAPE PLANTING PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____

SHEET: 20 OF 51



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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW
BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

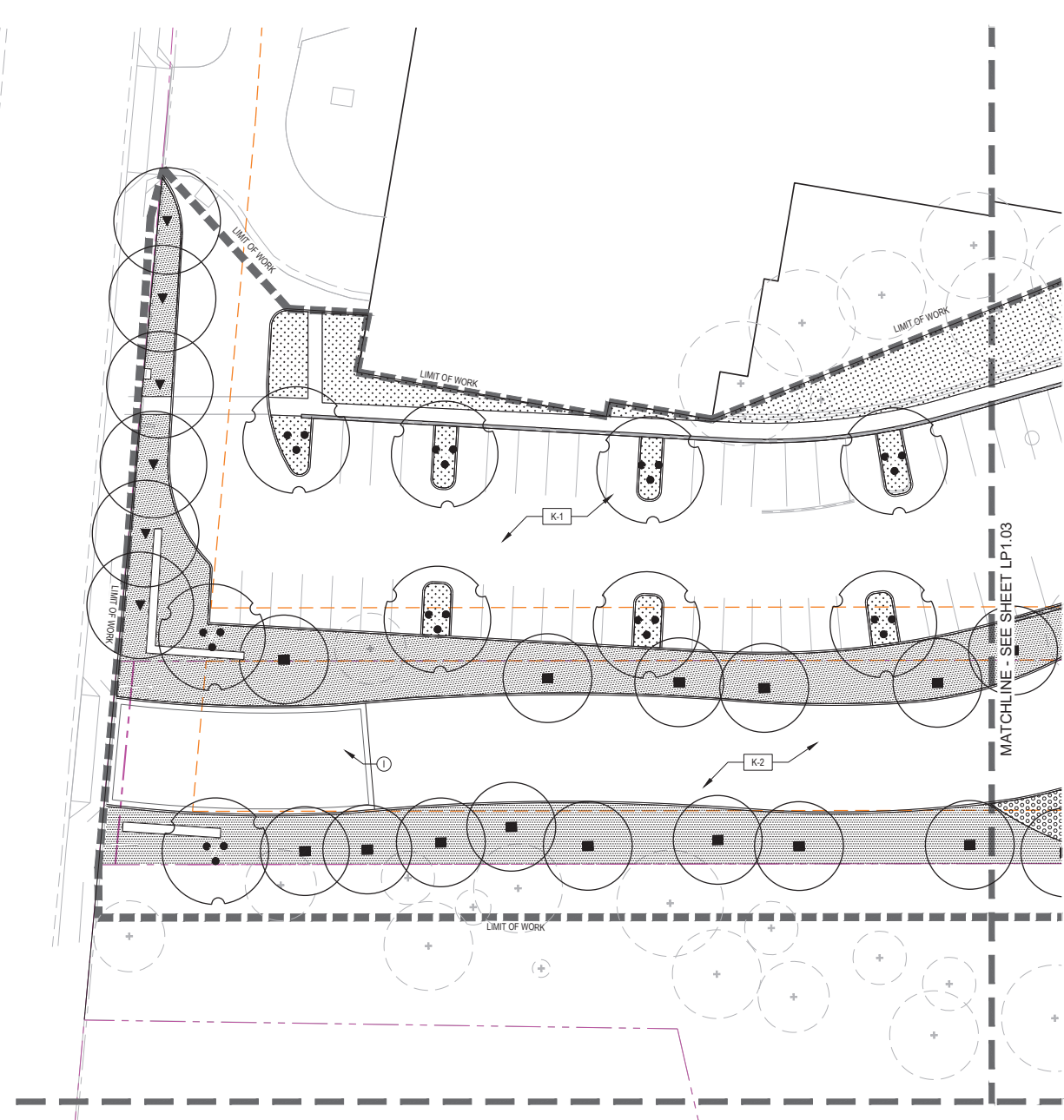


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 02	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 03	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 04	E	08/26/2020

FPBA PROJECT NO. 19049

LANDSCAPE PLANTING PLAN

LP1.04



PLANT SCHEDULE CONTINUED...

SYMBOL	SIZE	BOTANICAL NAME
	15 GAL MIN.	RHUS INTEGRIFOLIA
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
PERIMETER & SLOPE SHRUBS (25% - 1 GAL., 45% - 5 GAL., 30% - 15 GAL.)	5 GAL.	RHUS INTEGRIFOLIA
	5 GAL.	HETEROMOLE ARBUTIFOLIA
	5 GAL.	SALVIA APIANA
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	5 GAL.	SALVIA SPATHACEA
GROUND COVER AND LOW SHRUB PLANTING IN FIRE LANE (30% - FLATS, 40% - 1 GAL., 30% - 5 GAL.)	5 GAL.	DUDLEYA EDULIS
	5 GAL.	DUDLEYA BRITTONII
	1 GAL.	CAREX TUMULICOLA
	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	FLAT	DYMONDIA MARGARETAE
SLOPE GROUND COVER AND LOW SHRUB PLANTING (30% - 1 GAL., 40% - 5 GAL., 30% - 15 GAL.)	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
	1 GAL.	BACCHARIS PILLULARIS 'PIGEON POINT'
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
GREEN ROOF (100% - 4" TRAYS)	4" DEEP TRAY	SEDUM SPURIMUM 'JOHN CREECH'
	4" DEEP TRAY	SEDUM SPURIMUM 'DRAGON'S BLOOD'
	4" DEEP TRAY	SEDUM SPATHULIFOLIUM 'CAPE BLANCO'
	4" DEEP TRAY	SEDUM SELSKIANUM 'GOLDLOCKS'
	4" DEEP TRAY	SEDUM KAMSHATICUM

PLANT SCHEDULE

REFER TO SHEET LP-2.00 FOR PLANT SCHEDULE AND DETAILS

TREES		
SYMBOL	SIZE	BOTANICAL NAME
●	36" BOX MIN.	LOPHOSTEMON CONFERTUS
●	48" BOX MIN.	PINUS TORREYANA
●	60" BOX MIN.	QUERCUS AGRIFOLIA
●	48" BOX MIN.	PLATANUS RACEMOSA
■	48" BOX MIN.	ARBUTUS 'MARINA'
■	48" BOX MIN.	CERCIS CANADENSIS 'FOREST PANSY'
●	36" BOX MIN.	CERCIS OCCIDENTALIS
▼	24" BOX MIN.	PINUS ELDARICA (STREET TREE)
▼	24" BOX MIN.	PINUS TORREYANA (STREET TREE)
+	-	EXISTING TREE TO REMAIN, PROTECT IN PLACE

REFER TO SHEET LP-2.00 FOR PLANT SCHEDULE AND DETAILS

SHRUBS & GROUND COVER		
SYMBOL	SIZE	BOTANICAL NAME
●	24" BOX MIN.	HETEROMOLE ARBUTIFOLIA
●	15 GAL MIN.	RHUS INTEGRIFOLIA
●	5 GAL.	ARCOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'
●	5 GAL.	LEYMUS CONDENSATUS 'CANYON PRINCE'
●	1 GAL.	LOMANDRA LONGIFOLIA BREEZE
●	1 GAL.	MUHLENBERGIA DUBIA
●	5 GAL.	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
●	5 GAL.	SALVIA APIANA
●	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
●	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
●	5 GAL.	SALVIA LEUCANTHA
●	5 GAL.	SALVIA LEUCOPHYLLA
●	5 GAL.	SALVIA MELLIFERA
●	1 GAL.	SESLERIA AUTUMNALIS
●	5 GAL.	WESTRINGIA FRUTICOSA 'BLUE GEM'
●	5 GAL.	BAHIOPSIS LACINIATA
●	15 GAL.	FEUOA SELLOWIANA
●	5 GAL.	LAURUS NOBILIS
●	5 GAL.	MUHLENBERGIA RIGENS
●	5 GAL.	PRUNUS CAROLINIANA
●	5 GAL.	DUDLEYA EDULIS

LEGEND

SYMBOL	DESCRIPTION
---	EASEMENT BOUNDARY (CITY-ACCESS AND/OR SEWER AND WATER PER CIVIL ENGINEER'S PLANS)
---	PROPERTY LINE PER CIVIL ENGINEER'S PLANS
---	SETBACK PER CIVIL ENGINEER'S PLANS

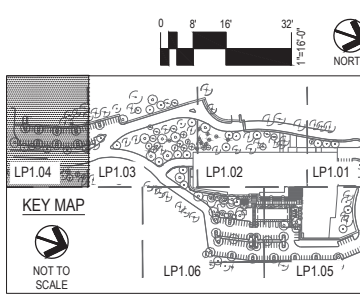
KEYNOTES

SYMBOL	DESCRIPTION
K-1	PARKING PER ARCHITECT'S PLANS
K-2	VEHICULAR ACCESS PER CIVIL ENGINEER'S PLANS
K-3	RETAINING WALL BY OTHERS
K-4	ACCESS TO EXISTING TRAIL AT TORREY PINES STATE RESERVE

- NOTES**
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 - REFER TO CIVIL SHEETS FOR CONTOURS, SITE GRADING, CITY EASEMENTS, ETC.
 - EXISTING TREE INFORMATION PROVIDED ON SHEETS LS1.00 - LS.106

HARDSCAPE MATERIALS

SYMBOL	DESCRIPTION
A	NATURAL GRAY CAST IN PLACE CONCRETE
B	PALOMINO CAST IN PLACE CONCRETE
C	DASSO SYNTHETIC BAMBOO DECKING
D	AUTUMN GOLD NATURAL FLAGSTONE
E	COPPER CANYON GRAVEL
F	STEPSTONE PORCELAIN COLOR PAVERS ON PEDESTAL SYSTEM
G	DASSO SYNTHETIC BAMBOO DECKING ON PEDESTAL SYSTEM
H	ARTIFICIAL TURF ON GRASSPAVE PAVING
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SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: LANDSCAPE PLANTING PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 21 OF 51

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BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

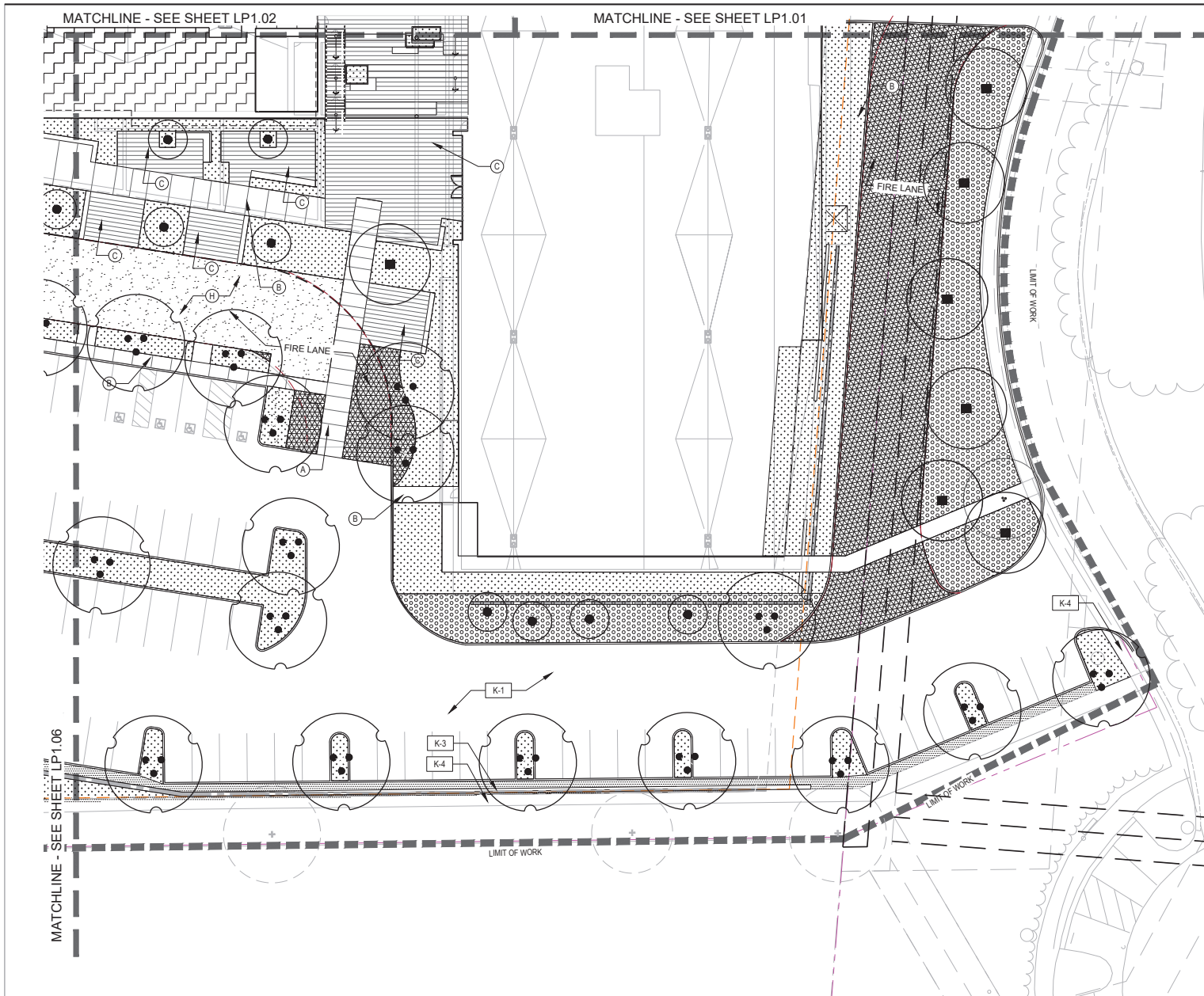


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SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 02	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 03	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 04	E	08/26/2020

FPBA PROJECT NO. 19049

LANDSCAPE PLANTING PLAN

LP1.05



PLANT SCHEDULE CONTINUED...

SYMBOL	SIZE	BOTANICAL NAME
	15 GAL MIN.	RHUS INTEGRIFOLIA
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
PERIMETER & SLOPE SHRUBS (25% - 1 GAL. 45% - 5 GAL. 30% - 15 GAL.)	5 GAL.	RHUS INTEGRIFOLIA
	5 GAL.	HETEROMELES ARBUTIFOLIA
	5 GAL.	SALVIA APIANA
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	5 GAL.	SALVIA SPATHACEA
GROUND COVER AND LOW SHRUB PLANTING IN FIRE LANE (30% - FLATS, 40% - 1 GAL. 30% - 5 GAL.)	5 GAL.	DUDLEYA EDULIS
	5 GAL.	DUDLEYA BRITTONII
	1 GAL.	CAREX TUMULICOLA
	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	FLAT	DYMONDIA MARGARETAE
SLOPE GROUND COVER AND LOW SHRUB PLANTING (30% - 1 GAL. 40% - 5 GAL. 30% - 15 GAL.)	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
	1 GAL.	BACCHARIS PILLULARIS 'PIGEON POINT'
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
GREEN ROOF (100% - 4' TRAYS)	4" DEEP TRAY	SEDUM SPURIMUM 'JOHN CREECH'
	4" DEEP TRAY	SEDUM SPURIMUM 'DRAGON'S BLOOD'
	4" DEEP TRAY	SEDUM SPATHULIFOLIUM 'CAPE BLANCO'
	4" DEEP TRAY	SEDUM SELSKIANUM 'GOLDLOCKS'
	4" DEEP TRAY	SEDUM KAMSHATICUM

PLANT SCHEDULE

REFER TO SHEET LP-2.00 FOR PLANT SCHEDULE AND DETAILS

SYMBOL	SIZE	BOTANICAL NAME
	36" BOX MIN.	LOPHOSTEMON CONFERTUS
	48" BOX MIN.	PINUS TORREYANA
	60" BOX MIN.	QUERCUS AGRIFOLIA
	48" BOX MIN.	PLATANUS RACEMOSA
	48" BOX MIN.	ARBUTUS 'MARINA'
	48" BOX MIN.	CERCIS CANADENSIS 'FOREST PANSY'
	36" BOX MIN.	CERCIS OCCIDENTALIS
	24" BOX MIN.	PINUS ELДАРICA (STREET TREE)
	24" BOX MIN.	PINUS TORREYANA (STREET TREE)
+	-	EXISTING TREE TO REMAIN; PROTECT IN PLACE

REFER TO SHEET LP-2.00 FOR PLANT SCHEDULE AND DETAILS

SYMBOL	SIZE	BOTANICAL NAME
	24" BOX MIN.	HETEROMELES ARBUTIFOLIA
	15 GAL MIN.	RHUS INTEGRIFOLIA
	5 GAL.	ARCOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'
	5 GAL.	LEYMUS CONDENSATUS 'CANYON PRINCE'
	1 GAL.	LOMANDRA LONGIFOLIA BREEZE
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	5 GAL.	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
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	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
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	5 GAL.	SALVIA MELLIFERA
	1 GAL.	SESLERIA AUTUMNALIS
	5 GAL.	WESTRINGIA FRUTICOSA 'BLUE GEM'
	5 GAL.	BAHIOPSIS LACINIATA
	15 GAL.	FEUJO SELLOWIANA
	5 GAL.	LAURUS NOBILIS
	5 GAL.	MUHLENBERGIA RIGENS
	5 GAL.	PRUNUS CAROLINIANA
	5 GAL.	DUDLEYA EDULIS

LEGEND

SYMBOL	DESCRIPTION
---	EASEMENT BOUNDARY (CITY-ACCESS AND/OR SEWER AND WATER PER CIVIL ENGINEER'S PLANS)
---	PROPERTY LINE PER CIVIL ENGINEER'S PLANS
---	SETBACK PER CIVIL ENGINEER'S PLANS

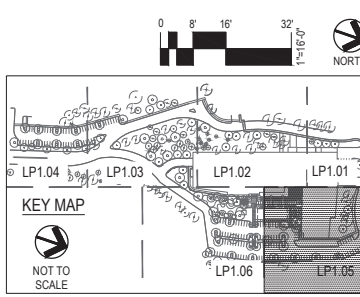
KEYNOTES

SYMBOL	DESCRIPTION
K-1	PARKING PER ARCHITECT'S PLANS
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 - REFER TO CIVIL SHEETS FOR CONTOURS, SITE GRADING, CITY EASEMENTS, ETC.
 - EXISTING TREE INFORMATION PROVIDED ON SHEETS LS1.00 - LS.106

HARDSCAPE MATERIALS

SYMBOL	DESCRIPTION
A	NATURAL GRAY CAST IN PLACE CONCRETE
B	PALOMINO CAST IN PLACE CONCRETE
C	DASSO SYNTHETIC BAMBOO DECKING
D	AUTUMN GOLD NATURAL FLAGSTONE
E	COPPER CANYON GRAVEL
F	STEPSTONE PORCELAIN COLOR PAVERS ON PEDESTAL SYSTEM
G	DASSO SYNTHETIC BAMBOO DECKING ON PEDESTAL SYSTEM
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PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

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SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: **LANDSCAPE PLANTING PLAN**

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____

SHEET: **22** OF 51

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3020/3030 CALLAN ROAD NEW
BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121



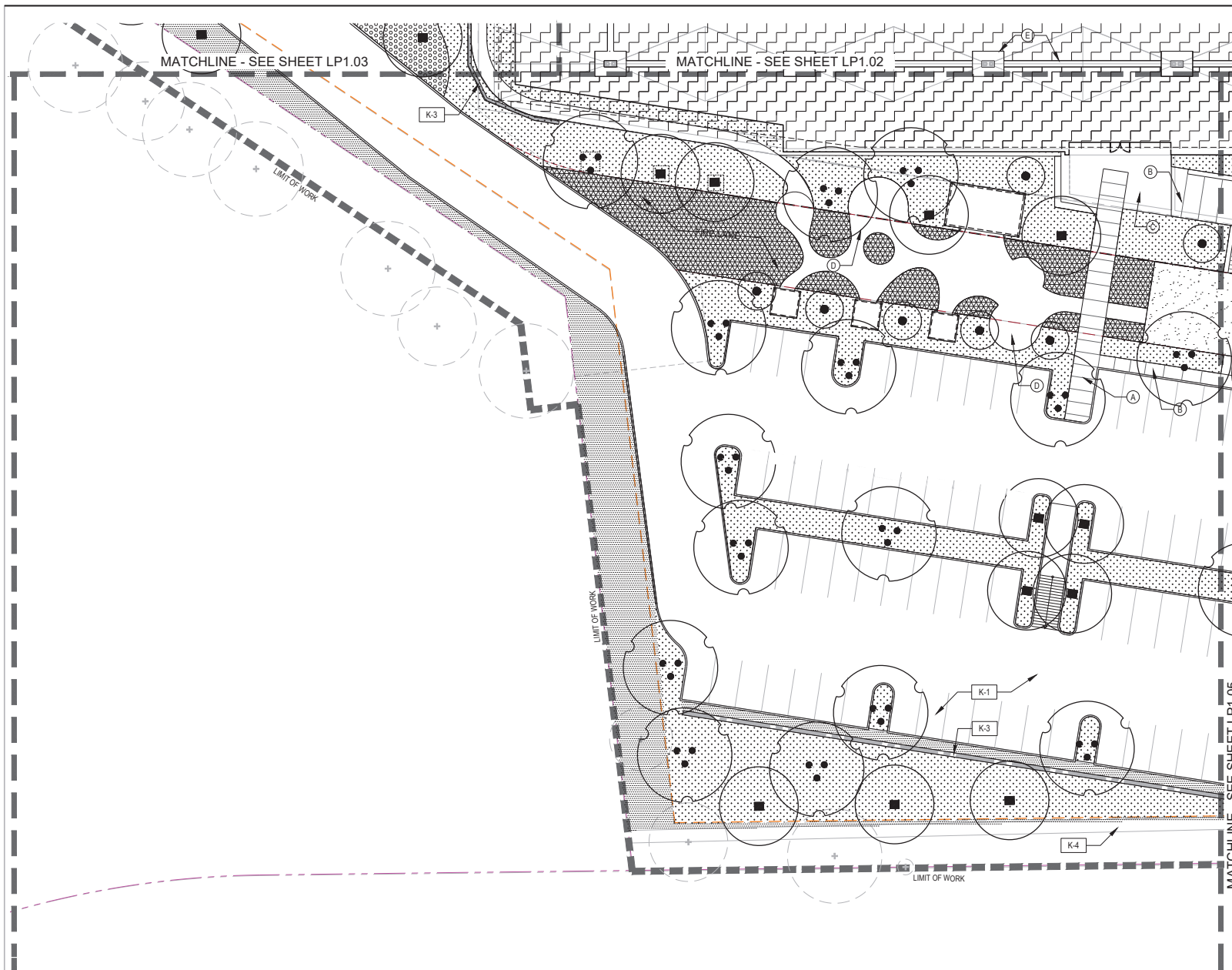
DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 02	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 03	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 04	E	08/26/2020

FPBA PROJECT NO. 19049

LANDSCAPE
PLANTING PLAN

LP1.06

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PLANT SCHEDULE CONTINUED...

SYMBOL	SIZE	BOTANICAL NAME
	15 GAL MIN.	RHUS INTEGRIFOLIA
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
	5 GAL.	RHUS INTEGRIFOLIA
	5 GAL.	HETEROMELES ARBUTIFOLIA
	5 GAL.	SALVIA APIANA
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	5 GAL.	SALVIA SPATHACEA
	5 GAL.	DUDLEYA EDULIS
	5 GAL.	DUDLEYA BRITTONII
	1 GAL.	CAREX TUMULICOLA
	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	FLAT	DYMONDIA MARGARETAE
	1 GAL.	CEANOTHUS GRISEUS VAR. HORIZONTALIS
	5 GAL.	SALVIA GREGGII 'FURMAN'S RED'
	1 GAL.	BACCHARIS PILLULARIS 'PIGEON POINT'
	1 GAL.	COTONEASTER DAMMERI 'LOWFAST'
	5 GAL.	SALVIA CLEVELANDII 'WINNIFRED GILMAN'
	4" DEEP TRAY	SEDUM SPURIMUM 'JOHN CREECH'
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	4" DEEP TRAY	SEDUM SELSKIANUM 'GOLDLOCKS'
	4" DEEP TRAY	SEDUM KAMSHATICUM

PLANT SCHEDULE

TREES		
SYMBOL	SIZE	BOTANICAL NAME
●	36" BOX MIN.	LOPHOSTEMON CONFERTUS
●	48" BOX MIN.	PINUS TORREYANA
●	60" BOX MIN.	QUERCUS AGRIFOLIA
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●	24" BOX MIN.	HETEROMELES ARBUTIFOLIA
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LEGEND

SYMBOL	DESCRIPTION
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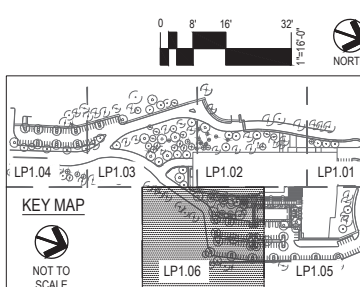
KEYNOTES

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HARDSCAPE MATERIALS

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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: LANDSCAPE PLANTING PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 23 OF 51



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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW
BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES



DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
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FPBA PROJECT NO. 19049

LANDSCAPE
PLANTING IMAGES

LP4.01



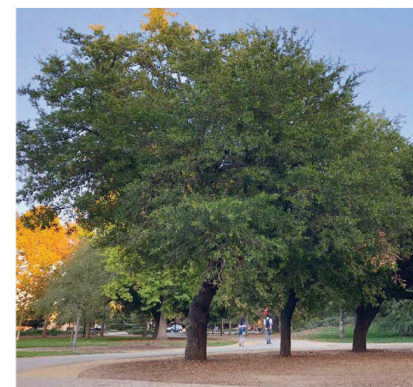
MUHLENBERGIA DUBIA | PINE MUHLY GRASS



ARCOSTAPHYLOS DENSIFLORA 'HOWARD MCMINNY' | HOWARD MCMINNY MANZANITA



CERCIS CANADENSIS 'FOREST PANSY' | FOREST PANSY REDBUD



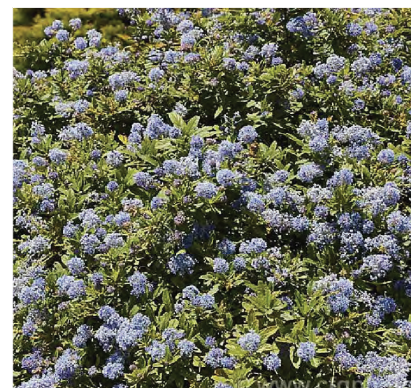
QUERCUS VIRGINIANA | SOUTHERN LIVE OAK



LOPHOSTEMON CONFERTUS | BRISBANE BOX



ROSMARINUS OFFICINALIS 'IRENE RENZELS' | TRAILING BLUE ROSEMARY



CEANOTHUS GRISEUS VAR. HORIZONTALIS | YANKEE POINT CALIFORNIA LILAC



CERCIS OCCIDENTALIS | WESTERN REDBUD



PLATANUS RACEMOSA | CALIFORNIA SYCAMORE



PINUS TORREYANA | TORREY PINE



ROSMARINUS OFFICINALIS 'TUSCAN BLUE' | UPRIGHT ROSEMARY



LEYMUS CONDENSATUS 'CANYON PRINCE' | CANYON PRINCE WILD RYE



HETEROMELES ARBUTIFOLIA | TOYON



ARBUTUS 'MARINA' | MARINA STRAWBERRY TREE



QUERCUS AGRIFOLIA | COAST LIVE OAK



SALVIA APIANA | WHITE SAGE



LOMANDRA LONGIFOLIA 'BREEZE' | DWARF MAT RUSH



RHUS INTEGRIFOLIA | LEMONADE BERRY

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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121
PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS
SHEET TITLE: LANDSCAPE PLANTING IMAGERY

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020
MUP PROJECT #: _____
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DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 02	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 03	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 04	E	08/26/2020

FPBA PROJECT NO. 19049

LANDSCAPE
PLANTING IMAGES

LP4.02



SALVIA SPATHACEA | HUMMINGBIRD SAGE



MUHLENBERGIA RIGENS | DEER GRASS



WESTRINGIA FRUTICOSA 'BLUE GEM' | WEST COAST ROSEMARY



SALVIA LEUCOPHYLLA | PURPLE SAGE



SALVIA CLEVELANDII 'WINNIFRED GILMAN' | BLUE SAGE



CAREX TUMULICOLA | FOOTHILL SEDGE



PRUNUS CAROLINIANA | CAROLINA CHERRY LAUREL



BAHIOPSIS LACINIATA | SAN DIEGO SUNFLOWER



SALVIA MELLIFERA | BLACK SAGE



SALVIA GREGGII 'FURMAN'S RED' | MAGENTA RED TEXAS SAGE



DYMONDIA MARGARETAE | SILVER CARPET



BACCHARIS PILLULARIS 'PIGEON POINT' | DWARF COYOTE BRUSH



FEUOA SELLOWIANA | PINEAPPLE GUAVA



SESLERIA AUTUMNALIS | AUTUMN MOOR GRASS



SALVIA LEUCANTHA | MEXICAN SAGE



SEDUM SPURIUM 'JOHN CREECH' | JOHN CREECH STONECROP



COTONEASTER DAMMERI 'LOWFAST' | BEARBERRY COTONEASTER



LAURUS NOBILIS | SWEET BAY

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PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: LANDSCAPE PLANTING PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

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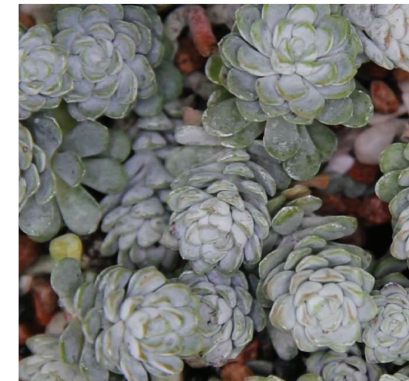
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LANDSCAPE PLANTING IMAGES

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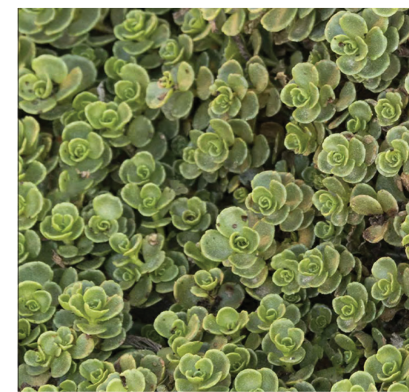
SEDUM SELKIANUM 'GOLDOCKS' | GOLDOCKS SEDUM



SEDUM SPATHULIFOLUM | CAPE BLANCO STONECROP



SEDUM SPURIUM 'DRAGON'S BLOOD' | DRAGON'S BLOOD STONECROP



SEDUM SPURIUM 'JOHN CREECH' | JOHN CREECH STONECROP



DUDLEYA BRITTONII | GIANT CHALK DUDLEYA



SEDUM KAMSCHATICUM | RUSSIAN STONECROP



PINUS ELDARICA | AFGAN PINE



DUDLEYA EDULIS | LADY FINGERS

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FPBA PROJECT NO. 19549

LANDSCAPE BRUSH
MANAGEMENT PLAN

LP5.01

BRUSH MANAGEMENT REQUIREMENTS & PROGRAM NOTES

BRUSH MANAGEMENT
(A) BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES FOR THE TYPES OF DEVELOPMENT LISTED BELOW WHEN THEY ARE ADJACENT TO ANY HIGHLY FLAMMABLE AREA OF NATIVE OR NATURALIZED VEGETATION THAT IS GREATER THAN 10 ACRES AS MAPPED BY THE CITY OF SAN DIEGO, OR ADJACENT TO ANY AREA OF NATIVE OR NATURALIZED VEGETATION THAT IS GREATER THAN 50 ACRES AS SHOWN IN TABLE 142-04A. HOWEVER, WITHIN THE COASTAL OVERLAY ZONE, BRUSH MANAGEMENT IS REQUIRED FOR ALL COASTAL DEVELOPMENT WITHIN THE MHPA AND/OR ADJACENT TO STEEP HILLSIDES CONTAINING SENSITIVE BIOLOGICAL RESOURCES.

(1) NEW STRUCTURES
(2) ADDITIONS TO STRUCTURES
(3) SUBDIVISIONS THAT CREATE LOTS WHERE NEW STRUCTURES COULD BE LOCATED
(4) EXISTING STRUCTURES

(B) BRUSH MANAGEMENT ZONES, WHERE BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM SHALL BE IMPLEMENTED THAT REDUCES FIRE HAZARDS AROUND STRUCTURES BY PROVIDING AN EFFECTIVE FIRE BREAK BETWEEN ALL STRUCTURES AND CONTIGUOUS AREAS OF FLAMMABLE VEGETATION. THIS FIRE BREAK SHALL CONSIST OF TWO DISTINCT BRUSH MANAGEMENT AREAS CALLED "ZONE ONE" AND "ZONE TWO" AS SHOWN IN DIAGRAM 142-04D (S.D.L.T.M.).

BRUSH MANAGEMENT ZONES
(1) BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE, SHALL BE LEAST FLAMMABLE, AND SHALL CONSIST OF PAVEMENT AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING. BRUSH MANAGEMENT ZONE ONE SHALL NOT BE ALLOWED ON SLOPES WITH A GRADIENT GREATER THAN 4:1 (4 HORIZONTAL FEET TO 1 VERTICAL FOOT) UNLESS THE PROPERTY THAT RECEIVED TENTATIVE MAP APPROVAL BEFORE NOVEMBER 15, 1989. HOWEVER, WITHIN THE COASTAL OVERLAY ZONE COASTAL DEVELOPMENT SHALL BE SUBJECT TO THE ENCROACHMENT LIMITATIONS SET FORTH IN SECTION 143.0142(A)(4) OF THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS.
(2) BRUSH MANAGEMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND SHALL CONSIST OF THINNED, NATIVE OR NATURALIZED VEGETATION.
(3) WHERE BRUSH MANAGEMENT IS REQUIRED BY THIS SECTION, THE WIDTH OF ZONE ONE AND ZONE TWO SHALL MEET OR EXCEED THAT SHOWN IN TABLE 142-04H. WHERE DEVELOPMENT IS ADJACENT TO SLOPES OR VEGETATION THAT MEETS THE CRITERIA SHOWN IN THE TABLE, THE REQUIRED ZONE ONE AND ZONE TWO WIDTH SHALL BE INCREASED BY THE DIMENSION SHOWN. BOTH ZONE ONE AND ZONE TWO SHALL BE PROVIDED ON THE SUBJECT PROPERTY UNLESS A RECORDED EASEMENT IS GRANTED BY AN ADJACENT PROPERTY OWNER TO THE OWNER OF THE SUBJECT PROPERTY TO ESTABLISH AND MAINTAIN THE REQUIRED BRUSH MANAGEMENT ZONE(S) ON THE ADJACENT PROPERTY IN PERPETUITY. SEE TABLE 142-04H FOR BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS (S.D.L.T.M.).
(4) THE WIDTH OF BRUSH MANAGEMENT ZONE ONE SHALL BE INCREASED BY 10 FEET FOR STRUCTURES THAT DO NOT MEET ALL OF THE FOLLOWING REQUIREMENTS:
(A) ROOF MATERIAL SHALL BE FIRE RETARDANT, WOOD SHAKE SHINGLES, WHETHER FIRE RETARDANT TREATED OR UNTREATED, ARE NOT PERMITTED.
(B) WALLS, EAVES, AND OVERHANGS SHALL BE ONE HOUR, FIRE-RESISTIVE. (3) EAVE VENTS SHALL BE COVERED WITH WIRE SCREEN NOT TO EXCEED 1/4-INCH MESH.
(5) WHERE ADDITIONAL ZONE ONE WIDTH IS REQUIRED ADJACENT TO THE MHPA OR WITHIN THE COASTAL OVERLAY ZONE, ANY OF THE FOLLOWING MODIFICATIONS TO DEVELOPMENT REGULATIONS OF THE LAND DEVELOPMENT STANDARDS CODE IN THE LAND DEVELOPMENT MANUAL ARE PERMITTED TO ACCOMMODATE THE INCREASE IN WIDTH:
(6) THE REQUIRED FRONT YARD SETBACK OF THE BASE ZONE MAY BE REDUCED BY 5 FEET, (2) A SIDEWALK MAY BE ELIMINATED FROM ONE SIDE OF THE PUBLIC RIGHT-OF-WAY AND THE MINIMUM REQUIRED PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED BY 5 FEET, OR (3) THE OVERALL MINIMUM PAVEMENT AND PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED IN ACCORDANCE WITH THE STREET DESIGN STANDARDS OF THE LAND DEVELOPMENT MANUAL.
(7) THE MINIMUM ZONE TWO WIDTH MAY BE DECREASED BY 2 FEET FOR EACH 1 FOOT OF INCREASE IN ZONE ONE WIDTH OVER THE MINIMUM SHOWN IN TABLE 142-04H.

ZONE ONE REQUIREMENTS
(1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN FLAMMABLE VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
(2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, AND NONHABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION.
(3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
(4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
(5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
(A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
(B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
(6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
(7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

ZONE TWO REQUIREMENTS
(1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, FLAMMABLE VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
(2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
(3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 18 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
(4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE CUT AND CLEARED SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
(5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO AREA IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:

BRUSH MANAGEMENT REQUIREMENTS & PROGRAM NOTES CONTINUED...

(A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE OR NATURALIZED, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
(B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 2 FEET. SINGLE SPECIMENS OF FIRE-RESISTANT NATIVE TREES MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES.
(C) ALL NEW ZONE TWO PLANTINGS SHALL BE TEMPORARILY IRRIGATED UNTIL ESTABLISHED. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO. ONLY OW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
(D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
(6) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING ANY TEMPORARY IRRIGATION SYSTEM.
(7) THE FIRE CHIEF MAY MODIFY THE REQUIREMENTS OF THIS SECTION IF THE FOLLOWING CONDITIONS EXIST:
(1) THE MODIFICATION TO THE REQUIREMENTS SHALL ACHIEVE AN EQUIVALENT LEVEL OF FIRE PROTECTION AS PROVIDED BY THIS SECTION, OTHER REGULATIONS OF THE LAND DEVELOPMENT CODE, AND THE MINIMUM STANDARDS CONTAINED IN THE LAND DEVELOPMENT MANUAL, AND (2) THE MODIFICATION TO THE REQUIREMENTS IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.
(8) IF THE FIRE CHIEF APPROVES A MODIFIED PLAN IN ACCORDANCE WITH THIS SECTION AS PART OF THE CITY'S APPROVAL OF A DEVELOPMENT PERMIT, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS.
(9) FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA, INDEPENDENT OF SIZE, LOCATION, OR CONDITION IF IT IS DETERMINED THAT AN IMMINENT FIRE HAZARD EXISTS.
(10) BRUSH MANAGEMENT FOR EXISTING STRUCTURES SHALL BE PERFORMED BY THE OWNER OF THE PROPERTY THAT CONTAINS THE FLAMMABLE VEGETATION. THIS REQUIREMENT IS INDEPENDENT OF WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY.

BRUSH MANAGEMENT NOTES:

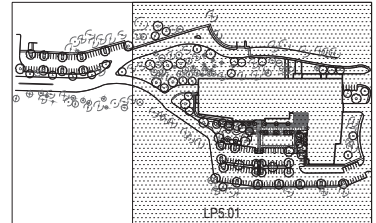
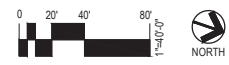
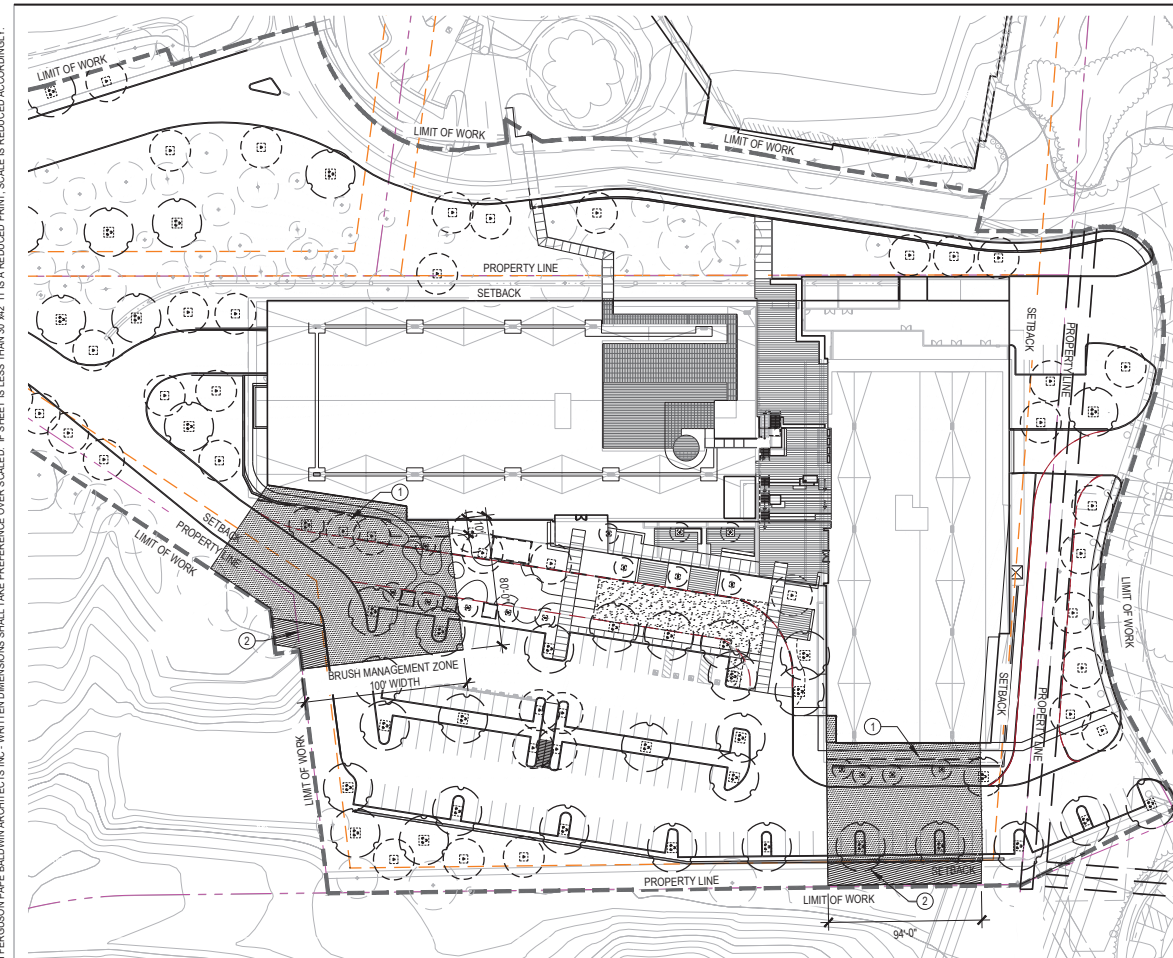
- GENERAL**
- AN INCREASE OF 7% OF THE SITE SITE VEGETATION FROM THE EAST FACADE OF THE STRUCTURE TO EASTERLY TOP OF SLOPE WILL BE MAINTAINED AS APPROPRIATE BRUSH MANAGEMENT IN ACCORDANCE WITH LDC 142.0412.
 - NO INVASIVE PLANT SPECIES SHALL BE INTRODUCED WITHIN THIS AREA.
 - ANY FENCING WITHIN THE BRUSH MANAGEMENT ZONES TO BE NONCOMBUSTIBLE CONSTRUCTION.
 - A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY'S LANDSCAPE INSPECTOR PRIOR TO IMPLEMENTING THE BRUSH MANAGEMENT PLAN.
 - NO INVASIVE NON-NATIVE PLANT SPECIES SHALL BE INTRODUCED WITHIN 100' OF AREA WITH NATIVE OR NATURALIZED VEGETATION.
 - ALL EXISTING LANDSCAPING TO REMAIN SHALL BE PROTECTED IN PLACE. SHOULD ANY SAID LANDSCAPING BE DAMAGED OR REMOVED DURING THE COURSE OF CONSTRUCTION, IT SHALL BE REPAIRED OR REPLACED IN LIKE AND KIND TO SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.
- ZONE 1**
- 7% FROM THE EAST FACADE OF THE STRUCTURE TO THE EASTERLY TOP OF SLOPE.
 - PLANTS SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE RESISTIVE.
 - TREES SHALL BE 10 FEET FROM ANY STRUCTURE.
 - ALL PLANT MATERIAL IN ZONE 1 SHALL BE IRRIGATED WITH A PERMANENT, BELOW GRADE IRRIGATION SYSTEM. DO NOT OVERSPRAY FROM ZONE 1 INTO THE NATIVE OR NATURALIZED VEGETATION. THE SYSTEM SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE FIRE-RESISTANT CONDITION.
 - IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
 - MAINTAIN ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS AND MAINTAINING IRRIGATION SYSTEM.
- ZONE 2**
- SEASONAL MAINTENANCE IN THIS ZONE SHOULD INCLUDE REMOVAL OF DEAD WOODY PLANTS, ERADICATION OF WEEDY SPECIES AND PERIODIC PRUNING AND THINNING OF TREES AND SHRUBS.
 - REMOVAL OF WEEDS SHOULD NOT BE PRUNED IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS.
 - WELL PRUNED HEALTHY SHRUBS SHOULD TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE LIVE AND DEAD FUEL.
 - ON SLOPES ALL DRAINAGE DEVICES MUST BE KEPT CLEAR. RE-INSPECT AFTER EACH MAJOR STORM SINCE MINOR SOIL SLIPS CAN BLOCK DRAINS.
 - VARIOUS GROUNDCOVERS SHOULD BE PERIODICALLY SHEARED AND THATCH REMOVED.
 - DISEASED AND DEAD WOOD SHOULD BE PRUNED FROM TREES.
 - FERTILIZING TREES AND SHRUBS IS NOT TYPICALLY RECOMMENDED AS THIS MAY STIMULATE EXCESSIVE GROWTH.

BRUSH MANAGEMENT DESIGN STATEMENT

BRUSH MANAGEMENT ZONE 1 WAS DESIGNATED BY CREATING A LEVEL SEPARATION WITH THE PARKING LOT. WITHIN BRUSH MANAGEMENT THE DESIGN PROVIDES IRRIGATED NON-INVASIVE PLANT MATERIALS, LOW MAINTENANCE MATERIALS AND DOES NOT USE HIGHLY FLAMMABLE MATERIALS.

BRUSH MANAGEMENT DIAGRAM LEGEND

SYMBOL	AREA DESCRIPTION	WIDTH	REMARKS
①	BRUSH MANAGEMENT ZONE 1	6' - 80'	WIDTH VARIES PER PLAN
②	BRUSH MANAGEMENT ZONE 2	0' - 16'	WIDTH VARIES PER PLAN
	BRUSH MANAGEMENT ZONE 1 & 2 BOUNDARIES		



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THE DRAWINGS, GRAPHICS AND NOTES SHOWN IN THIS DOCUMENT ARE CONCEPTUAL. THE INTENT OF THIS DOCUMENT IS TO PROVIDE THE GUIDELINES FOR DEVELOPMENT AND CONSTRUCTION OF FUTURE BUILDINGS AND PARKING ON THIS SITE IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE CITY OF SAN DIEGO MUNICIPAL CODE, COMMUNITY PLAN AND COASTAL DEVELOPMENT REGULATIONS, WHILE MAINTAINING THE FLEXIBILITY TO ADJUST WITHIN THE GUIDELINES ESTABLISHED, BASED ON THE PROGRAM NEEDS OF THE POTENTIAL TENANT.

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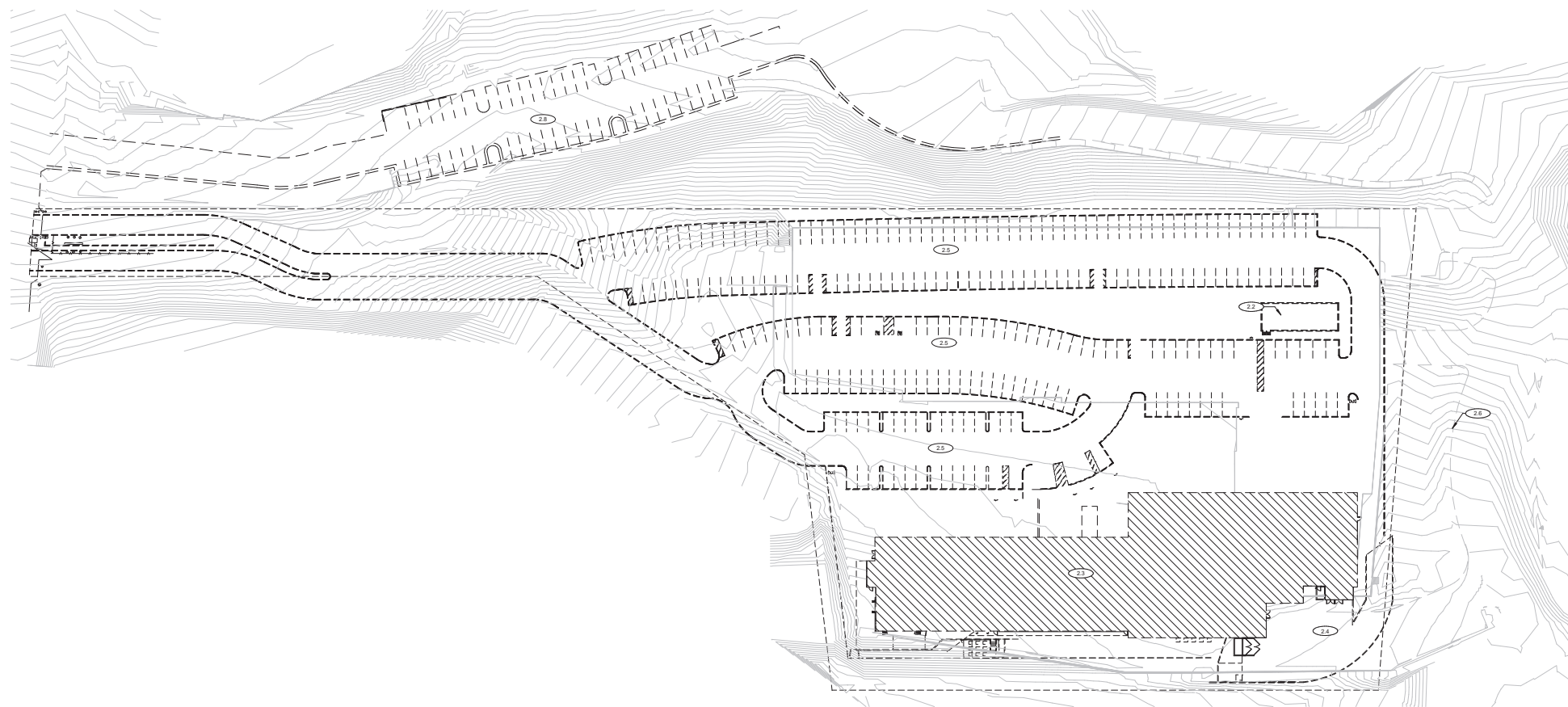


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DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.1949

DEMO SITE PLAN

A0.1



1 DEMO PLAN - SITE PLAN
A0.1 1" = 40'-0"



DEMOLITION GENERAL NOTES

- DRAWINGS MAY DIFFER FROM CURRENT FIELD CONDITIONS. FIELD VERIFY ALL EXISTING CONDITIONS.

EXTERIOR WALL DEMO SCHEDULE		
LEVEL	EXTERIOR WALLS (FT)	PERCENTAGE(%)
LEVEL 1	90	100
LEVEL 2	90	100
LEVEL 3	90	100

DEMOLITION DRAWING NOTES

- ALL WORK PROPOSED OCCURS ON DESIGNATED PROPERTY.
- THIS PLAN IS BASED ON A TOPOGRAPHIC SURVEY BY KIMLEY-HORN.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
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- BEGINNING OF DEMOLITION MEANS THE CONTRACTOR ACCEPTS EXISTING CONDITIONS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES (HORIZONTAL AND VERTICAL LOCATIONS) PERTINENT TO THE DEMOLITION SHOWN HEREIN PRIOR TO COMMENCING DEMOLITION.
- THE CONTRACTOR SHALL PRIOR TO COMMENCEMENT OF WORK, LOCATE ALL SERVICES AND UTILITIES. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL EXISTING UTILITIES TO REMAIN FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CONSTRUCTION MANAGER OF THE EXISTENCE OF UTILITIES AND VERIFY THE DEPTH AND LOCATION PRIOR TO EXCAVATION OR PRIOR TO STARTING WORK. IF IT IS DETERMINED THAT A POSSIBLE CONFLICT EXISTS, THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING WITH CONSTRUCTION MANAGER THE RELOCATION OF ANY UTILITIES AND/OR MODIFICATION OF THE PLANS. FOR ASSISTANCE IN LOCATING UNDERGROUND FACILITIES CALL DIG-ALERT: 1-800-422-4133.
- THE CONTRACTOR IS TO PROTECT AT ALL TIMES ALL EXISTING UTILITIES, STRUCTURES, PLANT MATERIALS AND OTHER FEATURES ADJACENT TO THE JOB SITE. SHOULD DAMAGE BE INCURRED, CAUSED BY THE CONTRACTOR'S OPERATION OR NEGLIGENCE, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO ORIGINAL CONDITION AT HIS OWN EXPENSE.
- ALL MANMADE ABOVE GROUND IMPROVEMENTS WITHIN THE LIMITS OF DEMOLITION AREA, INCLUDING SLABS ON GRADE AND FOUNDATIONS, CONCRETE WALKS, CURBS, RAMPS, STAIRS, LIGHTS AND ELECTRICAL PANELS SHALL BE REMOVED AS REQUIRED TO COMPLETE THE DEMOLITION BY THE CONTRACTOR, CAREFULLY EXCAVATED AND PROPERLY PROTECTED AND CAPPED IN COMPLETE COORDINATION WITH THE APPLICABLE UTILITY COMPANY. ALL IMPROVEMENTS TO BE REMOVED ARE SUBJECT TO SALVAGE PER PLAN AND SPECIFICATIONS.
- ALL DISPOSAL OF DEMOLITION MATERIALS SHALL BE IN A LAWFUL MANNER AS INSTRUCTED BY THE OWNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. UTILITIES SHALL BE FIELD LOCATED BY THE CONTRACTOR, CAREFULLY EXCAVATED AND PROPERLY PROTECTED AND CAPPED IN COMPLETE COORDINATION WITH THE APPLICABLE UTILITY COMPANY. ALL IMPROVEMENTS TO BE REMOVED ARE SUBJECT TO SALVAGE PER PLAN AND SPECIFICATIONS.
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- THE CONTRACTOR SHALL PROVIDE PROPER SIGNAGE AND TRAFFIC CONTROL IN THE SURROUNDED AREA OF DEMOLITION TO MAINTAIN SAFE PEDESTRIAN AND TRAFFIC FLOW. DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY AND SAFE CONDITION.
- ALL AREAS SHALL BE LEFT CLEAN, FREE OF DEBRIS UPON COMPLETION OF WORK.
- ALL UNSALVAGED MATERIALS AND REFUSE SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF, OFF-SITE, AT THE CONTRACTOR'S EXPENSE. SITE SHALL BE LEFT AT THE END OF EACH WORKING DAY IN A NEAT AND NORMAL MANNER. REFUSE NOT REMOVED SHALL BE PILED AND FENCED IN A MANNER AS TO AVOID CREATING AN "ATTRACTIVE NUISANCE". REMOVE ALL TRASH, RUBBERISE, EQUIPMENT, FURNITURE AND DEBRIS FROM THE SITE.
- HAZARDOUS MATERIALS OCCUR PER ASBESTOS AND LEAD ABATEMENT SPECIFICATION FOR EXISTING BUILDING BUILDING DATED XXXXXXXX. COORDINATE ALL SITE ACTIVITIES WITH THE CITY'S ASBESTOS & LEAD MANAGEMENT PROGRAM'S PROJECT MONITOR INCLUDING ANY MEETINGS, SURVEY'S SPECIAL REPORTS AND SITE USAGE LIMITATIONS.

KEYNOTES

- DEMO EXISTING MECHANICAL ENCLOSURE AND EQUIPMENT IN ITS ENTIRETY
- DEMO ENTIRETY OF EXISTING BUILDING, INCLUDING ALL EXTERIOR WALLS, ROOFS, FOOTINGS, FLOOR SLABS, COLUMNS, DOORS, ETC.
- DEMO ENTIRETY OF EXISTING LOADING DOCK, INCLUDING CONCRETE ENCLOSURES, CURBS, ETC.
- DEMO ALL EXISTING PARKING, ASPHALT, SITE TREES, CURBS, LIGHTING, AND ASSOCIATED ELEMENTS
- PROTECT IN PLACE EXISTING CONCRETE CURB AND SIDEWALK
- DEMOLISH AND RELOCATED 57 EXISTING PARKING SPACES PER CIVIL

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD. #300
SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFAMIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: DEMO SITE PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #:

DEP #: SHEET: 29 OF 50

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**FERGUSON
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NOTE:
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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121



DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN/1 DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

DEMO FLOOR PLAN PLANS

A0.2

DEMOLITION GENERAL NOTES

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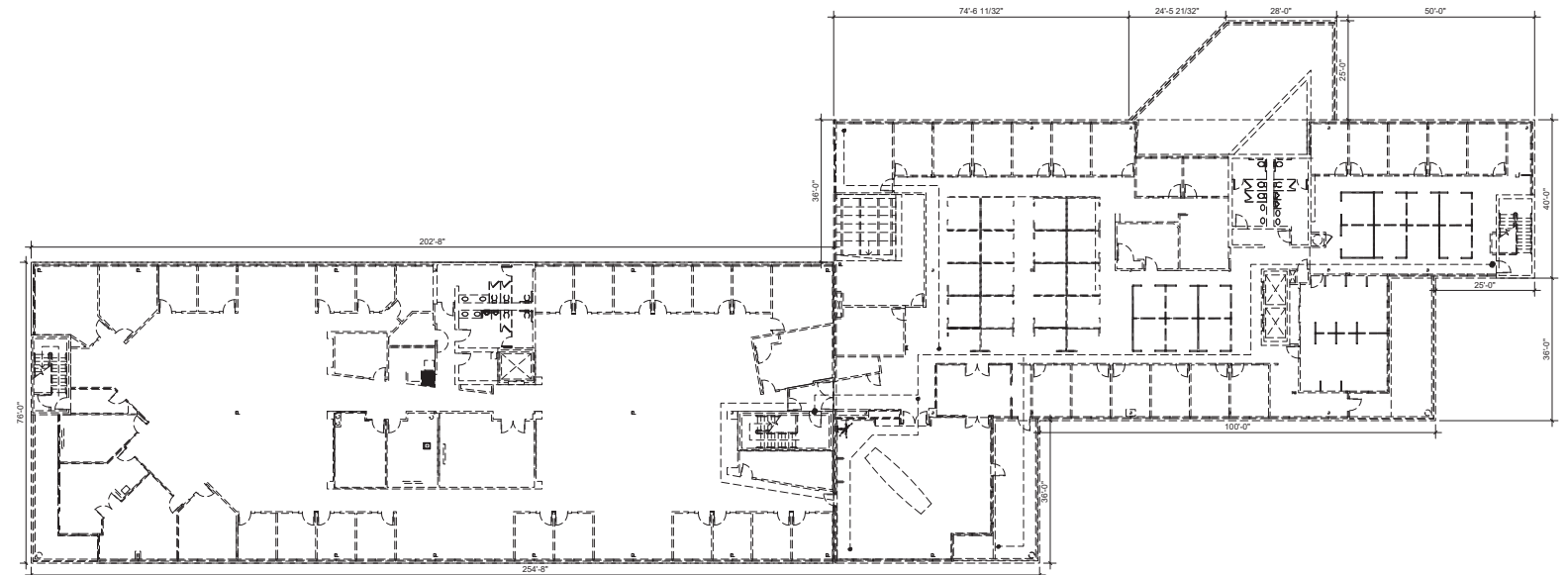
DEMOLITION DRAWING NOTES

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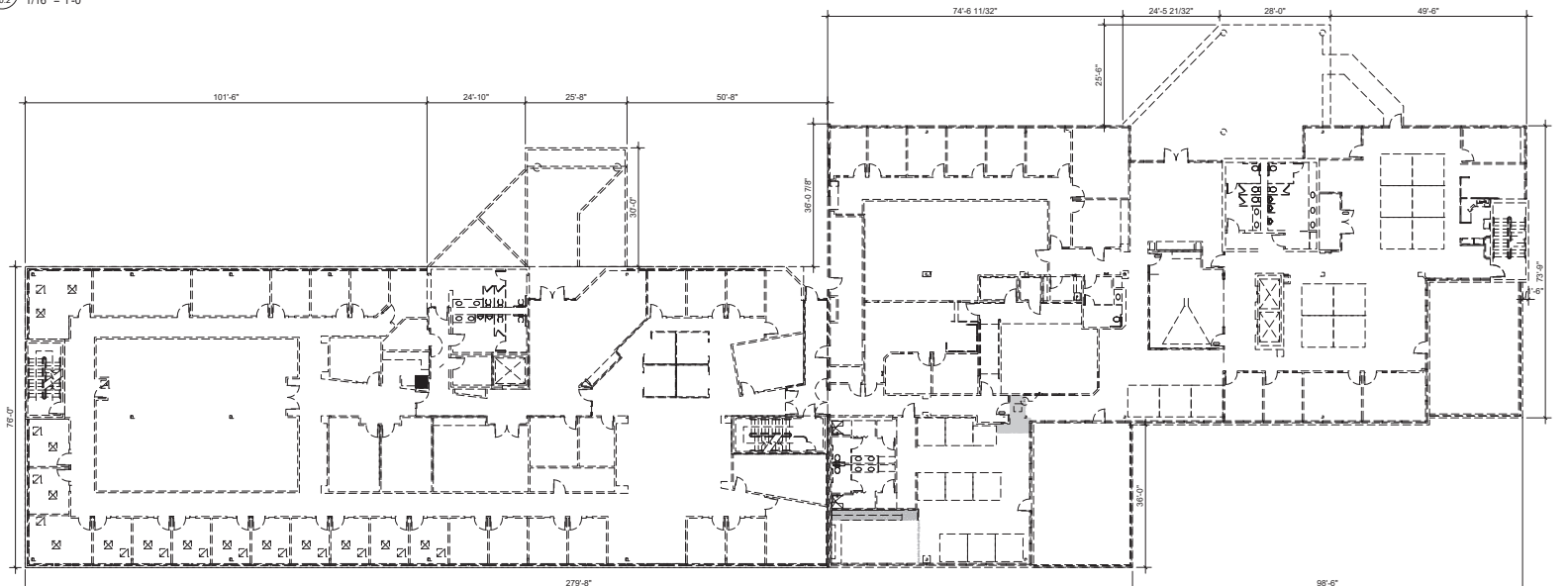
KEYNOTES

- ASSUMED LOCATION OF EXISTING SUBTERRANEAN ROOM

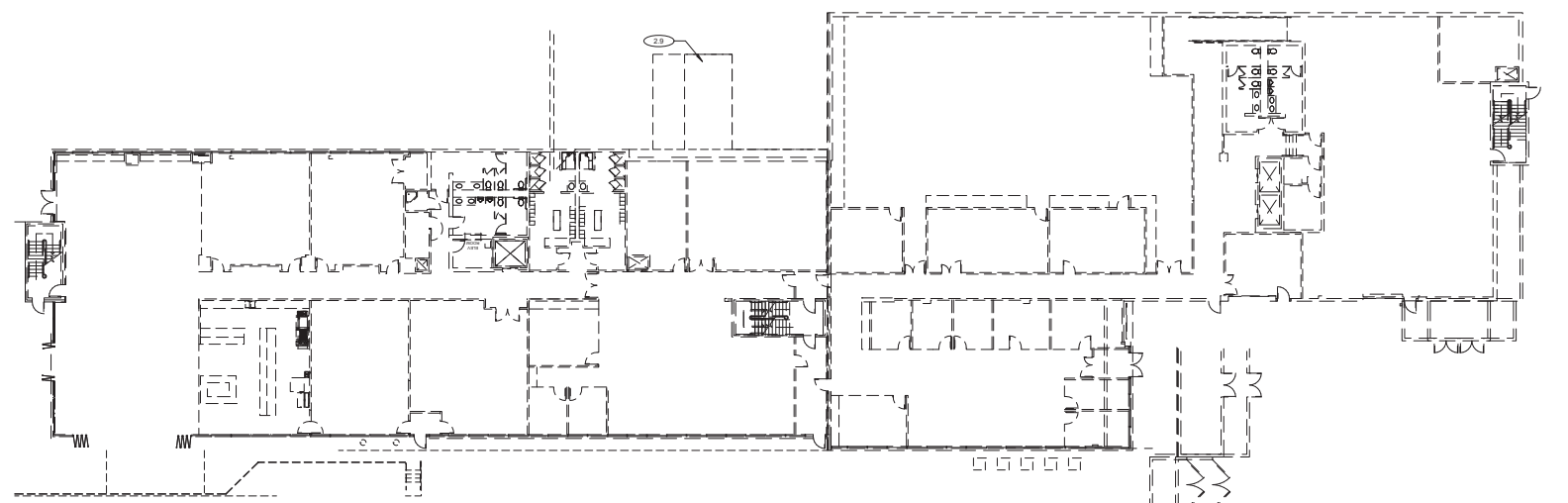
LEVEL	EXTERIOR WALLS (FT.)	PERCENTAGE (%)
LEVEL 1	500	100
LEVEL 2	500	100
LEVEL 3	500	100



3 DEMO PLAN - LEVEL 3 FLOOR PLAN
1/16" = 1'-0"



2 DEMO PLAN - LEVEL 2 FLOOR PLAN
1/16" = 1'-0"



1 DEMO PLAN - LEVEL 1 FLOOR PLAN
1/16" = 1'-0"

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ADDRESS: **4499 RUFFIN RD. #300
SAN DIEGO, CA 92123**

PHONE NO #: **(619) 231-0751 / STEFANIE DEAL**

PROJECT ADDRESS: **3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121**

PROJECT NAME: **3020/3030 CALLAN ROAD NEW BUILDINGS**

SHEET TITLE: **DEMO FLOOR PLAN PLANS**

ORIGINAL PREPARATION DATE: **FEBRUARY 10, 2020**

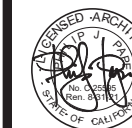
MUP PROJECT #: _____

DEP #: _____ SHEET: **30** OF **51**



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**HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121**

Healthpeak
LIFE SCIENCE PROPERTIES



DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN/1	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

OVERALL SITE PLAN

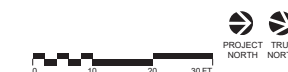
A1.1

- SITE PLAN LEGEND**
- ACCESSIBLE PATH OF TRAVEL
 - LANDSCAPE BUFFER
 - EXISTING PROPERTY LINE
 - SITE SETBACK
 - BRUSH MANAGEMENT ENCROACHMENT
 - LIMIT OF WORK
 - ▲ BUILDING ENTRY
 - 5' FROM THE FARTHER OUT FACE OF THE BUILDING

KEYNOTES



OVERALL SITE KEY PLAN
NOT TO SCALE



PREPARED BY: **FERGUSON PAPE BALDWIN ARCHITECTS**

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SAN DIEGO, CA 92123**

PHONE NO #: **(619) 231-0751 / STEFANIE DEAL**

PROJECT ADDRESS: **3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121**

PROJECT NAME: **3020/3030 CALLAN ROAD NEW BUILDINGS**

SHEET TITLE: **OVERALL SITE PLAN**

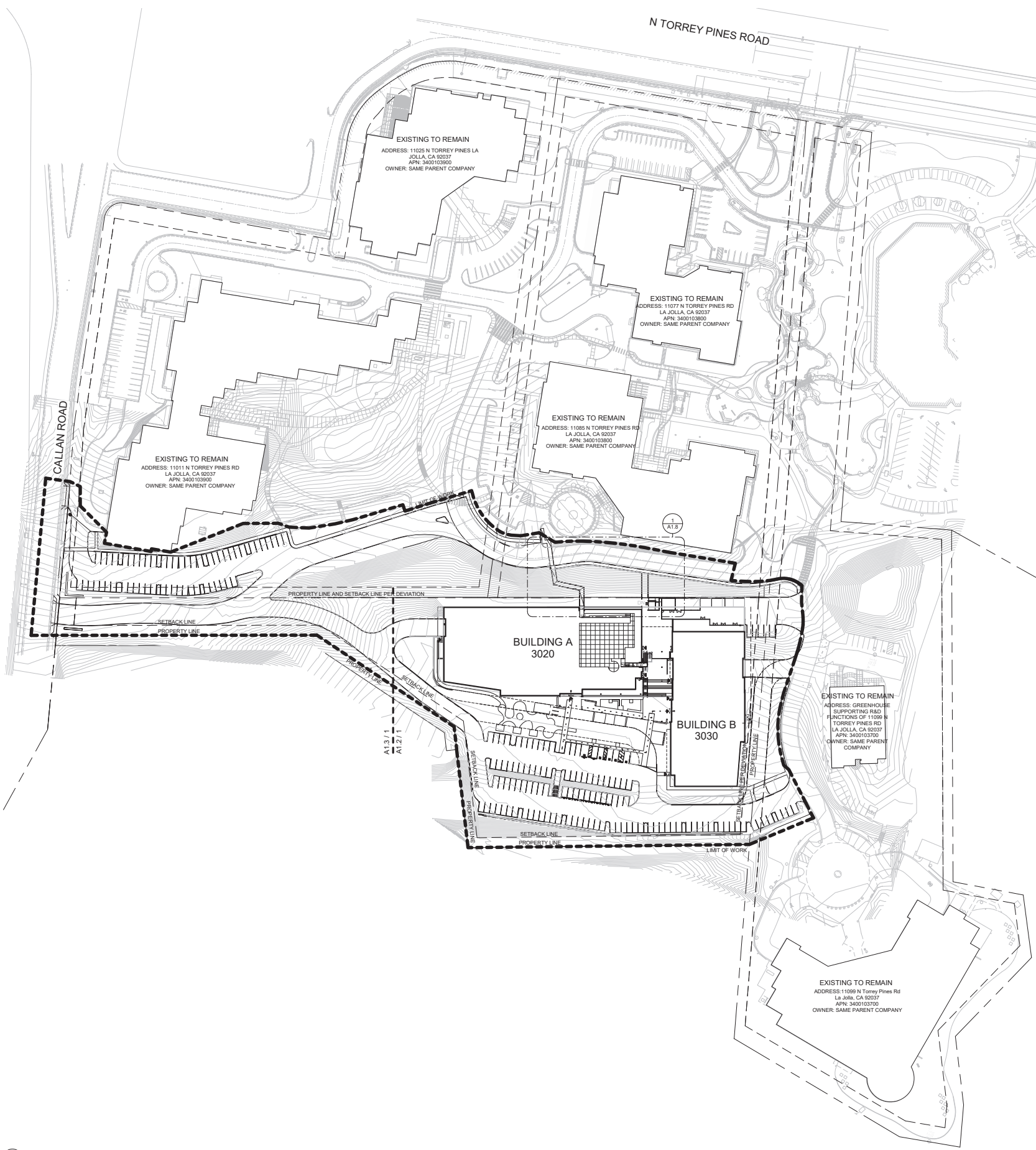
ORIGINAL PREPARATION DATE: **FEBRUARY 10, 2020**

MUP PROJECT #: _____

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1 SITE PLAN - OVERALL
A1.1 1" = 60'-0"





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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

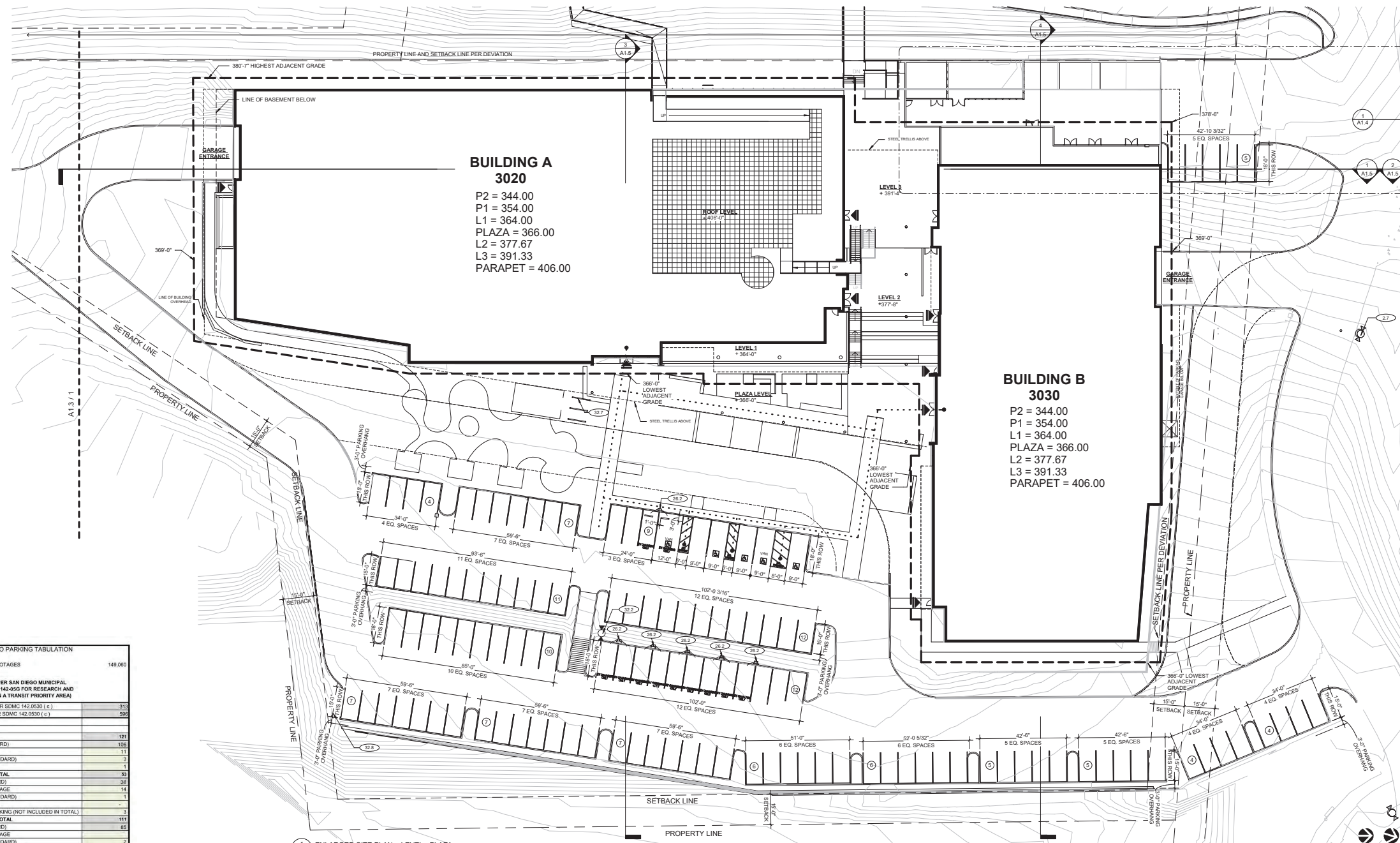


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
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DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.1949

ENLARGED SITE PLAN

A1.2



**BUILDING A
3020**
P2 = 344.00
P1 = 354.00
L1 = 364.00
PLAZA = 366.00
L2 = 377.67
L3 = 391.33
PARAPET = 406.00

**BUILDING B
3030**
P2 = 344.00
P1 = 354.00
L1 = 364.00
PLAZA = 366.00
L2 = 377.67
L3 = 391.33
PARAPET = 406.00

CITY OF SAN DIEGO PARKING TABULATION	
BUILDING SQUARE FOOTAGES	149,000
PARKING REQUIRED PER SAN DIEGO MUNICIPAL CODE (AS PER TABLE 142.0500 FOR RESEARCH AND DEVELOPMENT USE IN A TRANSIT PRIORITY AREA)	
MINIMUM (2,110,000 PER SDMC 142.0530 (c))	313
MAXIMUM (4,100,000 PER SDMC 142.0530 (c))	596
PARKING	
SURFACE TOTAL	191
SURFACE (STANDARD)	156
EV CHARGING	11
ACCESSIBLE (STANDARD)	3
ACCESSIBLE (VAN)	1
GARAGE (LEVEL P1) TOTAL	93
GARAGE (STANDARD)	38
EV CHARGING GARAGE	14
ACCESSIBLE (STANDARD)	1
ACCESSIBLE (VAN)	1
MOTORCYCLE PARKING (NOT INCLUDED IN TOTAL)	3
GARAGE (LEVEL P1) TOTAL	111
GARAGE (STANDARD)	85
EV CHARGING GARAGE	2
ACCESSIBLE (STANDARD)	2
ACCESSIBLE (VAN)	1
CLEAN AIR VANPOOL	3
MOTORCYCLE PARKING (NOT INCLUDED IN TOTAL)	4
GARAGE (LEVEL P2) TOTAL	151
GARAGE (STANDARD)	102
EV CHARGING GARAGE	-
ACCESSIBLE (STANDARD)	-
ACCESSIBLE (VAN)	-
CLEAN AIR VANPOOL	16
MOTORCYCLE PARKING (NOT INCLUDED IN TOTAL)	4
TOTAL SPACES	466
SPACES PER 1000	2.72
EV CHARGING (CALGREEN TABLE 5.106.5.3.3)	
% REQUIRED	25.0
% INSTALLED	25
ACCESSIBLE PARKING	
ACCESSIBLE REQUIRED PER CBC 11B-208.2	9
STANDARD PROVIDED (SURFACE)	3
VAN PROVIDED (SURFACE)	1
STANDARD PROVIDED (GARAGE)	3
VAN PROVIDED (GARAGE)	2
ACCESSIBLE PROVIDED (TOTAL)	9
CLEAN AIR LOW-EMISSION FUEL EFF / CARPOOL/VAN POOL (CALGREEN 5.106.5.2)	
AMOUNT REQUIRED (10% MIN. PER TIER 2)	41
AMOUNT PROVIDED	41
BICYCLE PARKING (CALGREEN 5.106.5.3.1) AND MINIMUM	
SHORT TERM BIKE PARKING REQUIRED (5% OF PARKING TOTAL) - METHOD USED	18.0
SHORT TERM BIKE PARKING PROVIDED	17.0
LONG TERM BIKE PARKING REQUIRED	18.0
LONG TERM BIKE PARKING PROVIDED	17.0
MOTORCYCLE PARKING REQUIRED (2% OF MIN. PARKING SPACES REQUIRED) PER SDMC 142.0530 (g)	7.0
MOTORCYCLE PARKING PROVIDED	11

SITE GENERAL NOTES:

- GENERAL CONTRACTOR SHALL COORDINATE SITE PLAN DATA SHOWN ON ARCHITECTURAL, CIVIL, ELECTRICAL, DRY UTILITY AND LANDSCAPE DRAWINGS AND NOTIFY ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS, PROPERTY DIMENSIONS, ETC. AND NOTIFY THE ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
- REFERENCE SOILS REPORT FOR RECOMMENDATIONS ON SOIL BEARING VALUES FOUNDATION AND SLAB REINFORCING AND PAVING SECTIONS FOR PARKING STALLS, TRAFFIC AREAS, TRUCK LOADING DOCKS.
- ALL DIMENSIONS TO CURBS ARE TO FRONT FACE OF CURB
- PROVIDE 4" WIDE PAINTED STRIPES AT ALL PARKING STALLS.
- REFER TO CIVIL DRAWINGS FOR LOCATION OF EXISTING AND PROPOSED ON-SITE WATER LATERALS WATER METERS, SEWER LATERALS AND DRAINAGE FOR BUILDING.
- SEE LANDSCAPE DRAWINGS FOR LOCATION OF IRRIGATION LATERAL, METER, PLANTING AREAS AND HARDSCAPE.
- SITE DEVELOPMENT AND GRADING PLANS PER CIVIL ENGINEER ARE DESIGNED TO PROVIDE ACCESS TO ALL ENTRANCES DESIGNATED AS ACCESSIBLE ENTRY GROUND FLOOR EXITS AS WELL AS ACCESSIBLE ROUTES OF TRAVEL PER CBC SECTIONS 11B-208.2.1, 11B-208.2.2, 11B-208.3, 11B-208.4.
- FIRE HYDRANT SHALL BE PAINTED PER CITY OF SAN DIEGO FIRE DEPARTMENT STANDARDS AND BE MAINTAINED FREE OF OBSTRUCTIONS. BLUE REFLECTIVE RAISED PAVEMENT MARKER SHALL BE INSTALLED ON PAVEMENT AT APPROVED LOCATION MARKING EACH HYDRANT. ALL HYDRANTS ON PRIVATE WATER SYSTEMS SHALL BE IDENTIFIED BY AN APPROVED BLUE REFLECTIVE BRITESHIDE BAND INSTALLED AS REQUIRED BY IRRIGATION DISTRICT.
- FRONTAGE YARDS USED FOR ALLOWABLE AREA INCREASES PER CBC SECTION 506.0 SHALL BE PERMANENTLY MAINTAINED.
- FIRE ACCESS ROADWAY SIGNS / RED CURBS SHALL BE INSTALLED.
- POST INDICATOR VALVES FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ ACCESS SIDE OF THE STRUCTURE (IFC1001.4)
- SETBACK FOR P1 AND F D C SHALL BE FOUR FEET FROM CURB AND 3'3" CONCRETE PAD POURED AROUND BOTH. SEE CIVIL DRAWINGS.
- REFER TO DRAWING T1.3 FOR ACCESSIBILITY REQUIREMENTS.

- REFER TO CIVIL AND LANDSCAPE SHEETS FOR GRADING. COORDINATE NEW WORK WITH CIVIL.
- ALL STANDARD PARKING STALLS TO BE A MINIMUM 8'-0" WIDE BY 18'-0" LONG. ALL ACCESSIBLE PARKING STALLS TO BE MINIMUM 9'-0" WIDE BY 18'-0" LONG.
- PROVIDE WHITE CURB AT LOADING ZONE.
- THE LENGTH OF A PARKING SPACE MAY OVERHANG A RAISED CURB OR WHEEL STOP AND A REQUIRED LANDSCAPE AREA BY MAXIMUM OF 3 FEET PROVIDED THAT THE HEIGHT OF THE CURB DOES NOT EXCEED 6 INCHES AND THE AREA OF OVERHANG IS NOT PART OF A REQUIRED PEDESTRIAN PATH - PER SDMC SECTION 142.0506 (H) (5)

BICYCLE PARKING

PER CITY OF SAN DIEGO PARKING TABULATION TABLE

SITE PLAN LEGEND

- ACCESSIBLE PATH OF TRAVEL
- LANDSCAPE BUFFER
- EXISTING PROPERTY LINE
- SITE SETBACK
- BRUSH MANAGEMENT ENCROACHMENT
- LIMIT OF WORK
- BUILDING ENTRY
- 5' FROM THE FARTHER OUT FACE OF THE BUILDING

OVERALL SITE KEY PLAN

NOT TO SCALE

- KEYNOTES**
- EXISTING FIRE HYDRANT TO REMAIN
 - ACTIVE ELECTRICAL VEHICLE CHARGING STATIONS IN COMPLIANCE WITH CAP CONSISTENCY CHECKLIST STEP 2, STRATEGY 3, NUMBER 3. EQUIPMENT WILL HAVE THE NECESSARY ELECTRICAL VEHICLE SUPPLY EQUIPMENT INSTALLED TO PROVIDE ACTIVE ELECTRICAL VEHICLE CHARGING STATIONS READY FOR USE.
 - NEW FIRE HYDRANT PER CIVIL
 - BICYCLE RACK FOR SHORT TERM BICYCLE PARKING, TOTAL CAPACITY 17 BIKE PARKING SPACES
 - THE LENGTH OF A PARKING SPACE MAY OVERHANG A RAISED CURB OR WHEEL STOP AND A REQUIRED LANDSCAPE AREA BY A MAXIMUM OF 3 FEET, PROVIDED THAT THE HEIGHT OF THE CURB DOES NOT EXCEED 6 INCHES AND THE AREA OF OVERHANG IS NOT A PART OF A REQUIRED PEDESTRIAN PATH PER SDMC SECTION 142.0506 (H) (5)

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**HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121**

Healthpeak
LIFE SCIENCE PROPERTIES

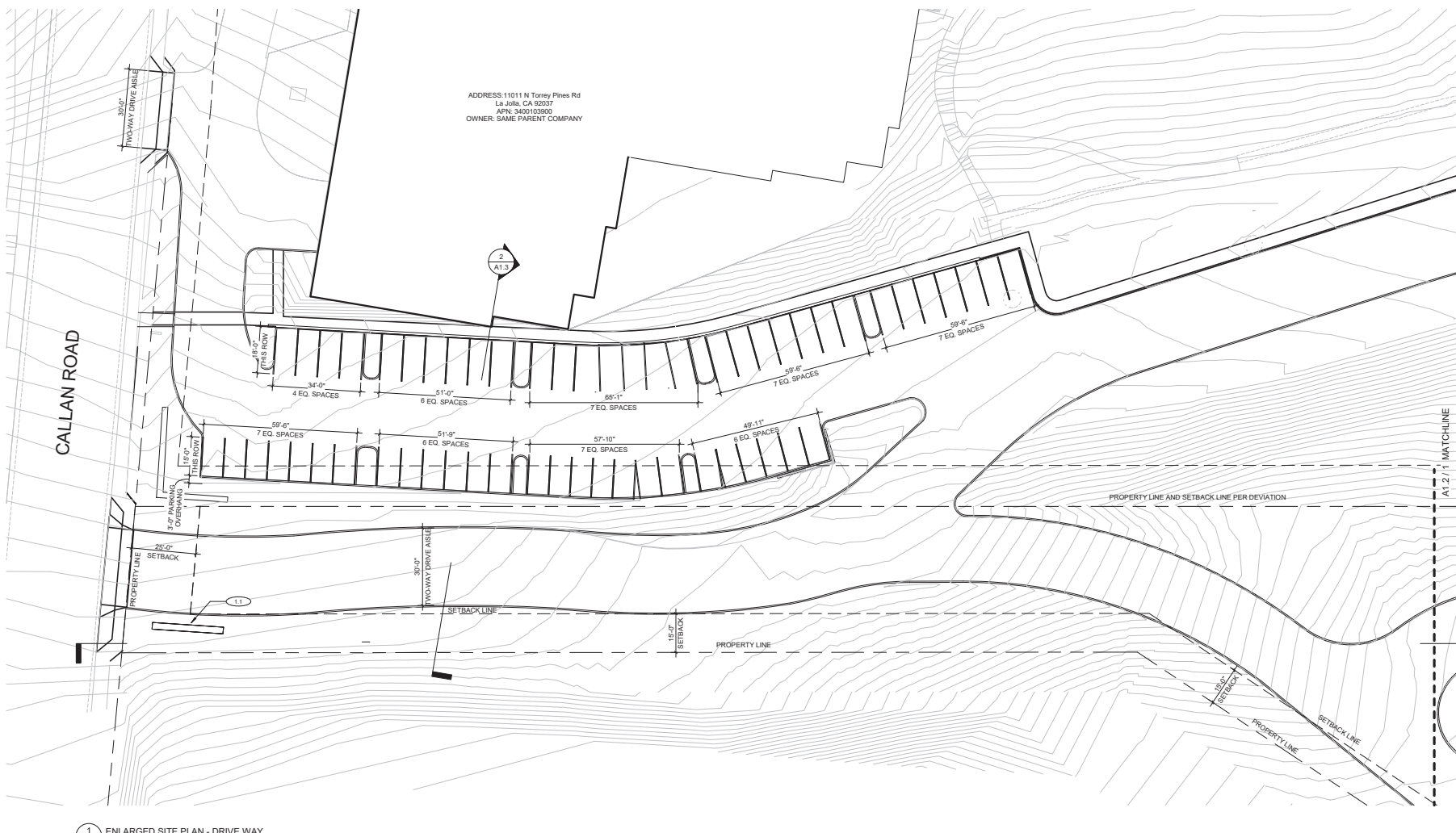


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN / DEVELOPMENT PERMIT DRAFT	A	01/15/2020
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

ENLARGED SITE PLAN - DRIVE WAY

A1.3



BICYCLE PARKING

PER CITY OF SAN DIEGO PARKING TABULATION TABLE

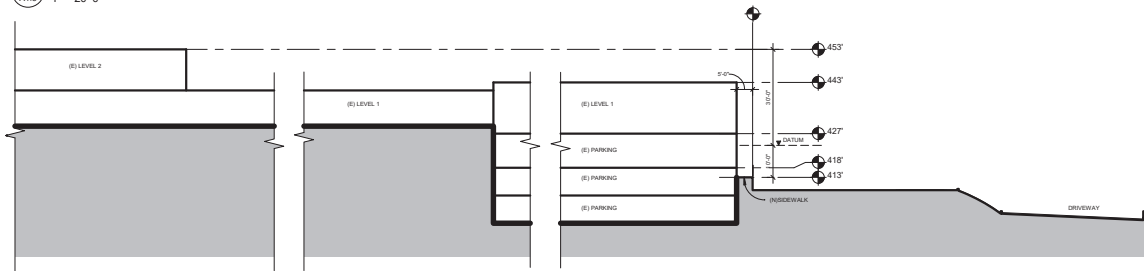
SITE PLAN LEGEND

- ACCESSIBLE PATH OF TRAVEL
- LANDSCAPE BUFFER
- EXISTING PROPERTY LINE
- SITE SETBACK
- BRUSH MANAGEMENT ENCROACHMENT
- LIMIT OF WORK
- ▲ BUILDING ENTRY
- 5' FROM THE FARTHER OUT FACE OF THE BUILDING

KEYNOTES

- 1.1 PROVIDE BUILDING ADDRESS NUMBERS PER FHP'S POLICY P-09-6 (UPC 901.4.4). SEE FIRE ACCESS PLAN ON SHEET A1.7 FOR ADDITIONAL REQUIREMENTS

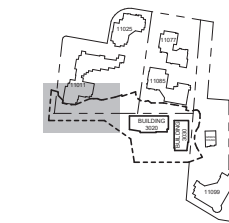
1 ENLARGED SITE PLAN - DRIVE WAY
A1.3
1" = 20'-0"



2 11011 EXISTING SITE SECTION
A1.3
1" = 20'-0"

SITE GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL COORDINATE SITE PLAN DATA SHOWN ON ARCHITECTURAL, CIVIL, ELECTRICAL, DRY UTILITY AND LANDSCAPE DRAWINGS AND NOTIFY ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
2. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS, PROPERTY DIMENSIONS, ETC. AND NOTIFY THE ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
3. REFERENCE SOILS REPORT FOR RECOMMENDATIONS ON SOIL BEARING VALUES, FOUNDATION AND SLAB REINFORCING AND PAVING SECTIONS FOR PARKING STALLS, TRAFFIC AREAS, TRUCK LOADING DOCKS.
4. ALL DIMENSIONS TO CURBS ARE TO FRONT FACE OF CURB
5. PROVIDE 4" WIDE PAINTED STRIPES AT ALL PARKING STALLS.
6. REFER TO CIVIL DRAWINGS FOR LOCATION OF EXISTING AND PROPOSED ON-SITE WATER LATERALS, WATER METERS, SEWER LATERALS AND DRAINAGE FOR BUILDING.
7. SEE LANDSCAPE DRAWINGS FOR LOCATION OF IRRIGATION LATERAL, METER, PLANTING AREAS AND HARDSCAPE.
8. SITE DEVELOPMENT AND GRADING PLANS PER CIVIL ENGINEER ARE DESIGNED TO PROVIDE ACCESS TO ALL ENTRANCES DESIGNATED AS ACCESSIBLE ENTRY GROUND FLOOR EXITS AS WELL AS ACCESSIBLE ROUTES OF TRAVEL PER CBC SECTIONS 11B-206.2.1, 11B-206.2.2, 11B-206.3, 11B-206.4.
9. FIRE HYDRANT SHALL BE PAINTED PER CITY OF SAN DIEGO FIRE DEPARTMENT STANDARDS AND BE MAINTAINED FREE OF OBSTRUCTIONS. BLUE REFLECTIVE RAISED PAVEMENT MARKER SHALL BE INSTALLED ON PAVEMENT AT APPROVED LOCATION MARKING EACH HYDRANT. ALL HYDRANTS ON PRIVATE WATER SYSTEMS SHALL BE IDENTIFIED BY AN APPROVED BLUE REFLECTIVE BRITISHSIDE BAND INSTALLED AS REQUIRED BY IRRIGATION DISTRICT.
10. FRONTAGE YARDS USED FOR ALLOWABLE AREA INCREASES PER CBC SECTION 50B.7 SHALL BE PERMANENTLY MAINTAINED.
11. FIRE ACCESS ROADWAY SIGNS / RED CURBS SHALL BE INSTALLED.
12. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS' ACCESS SIDE OF THE STRUCTURE (IFC1001.4)
13. SETBACK FOR P.I.V. AND F.D.C. SHALL BE FOUR FEET FROM CURB AND 3'X3' CONCRETE PAD POURED AROUND BOTH. SEE CIVIL DRAWINGS.
14. REFER TO DRAWING T1.3 FOR ACCESSIBILITY REQUIREMENTS.
15. REFER TO CIVIL AND LANDSCAPE SHEETS FOR GRADING. COORDINATE NEW WORK WITH CIVIL.
16. ALL STANDARD PARKING STALLS TO BE A MINIMUM 8'-0" WIDE BY 18'-0" LONG. ALL ACCESSIBLE PARKING STALLS TO BE MINIMUM 9'-0" WIDE BY 18'-0" LONG.
17. PROVIDE WHITE CURBS AT LOADING ZONE.
18. "THE LENGTH OF A PARKING SPACE MAY OVERHANG A RAISED CURB OR WHEEL STOP AND A REQUIRED LANDSCAPE AREA BY MAXIMUM OF 3 FEET, PROVIDED THAT THE HEIGHT OF THE CURB DOES NOT EXCEED 6 INCHES AND THE AREA OF OVERHANG IS NOT PART OF A REQUIRED PEDESTRIAN PATH." PER SDMC SECTION 142.1006 (H) (5)



OVERALL SITE KEY PLAN
NOT TO SCALE



PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: ENLARGED SITE PLAN - DRIVE WAY

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 33 OF 50

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3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121

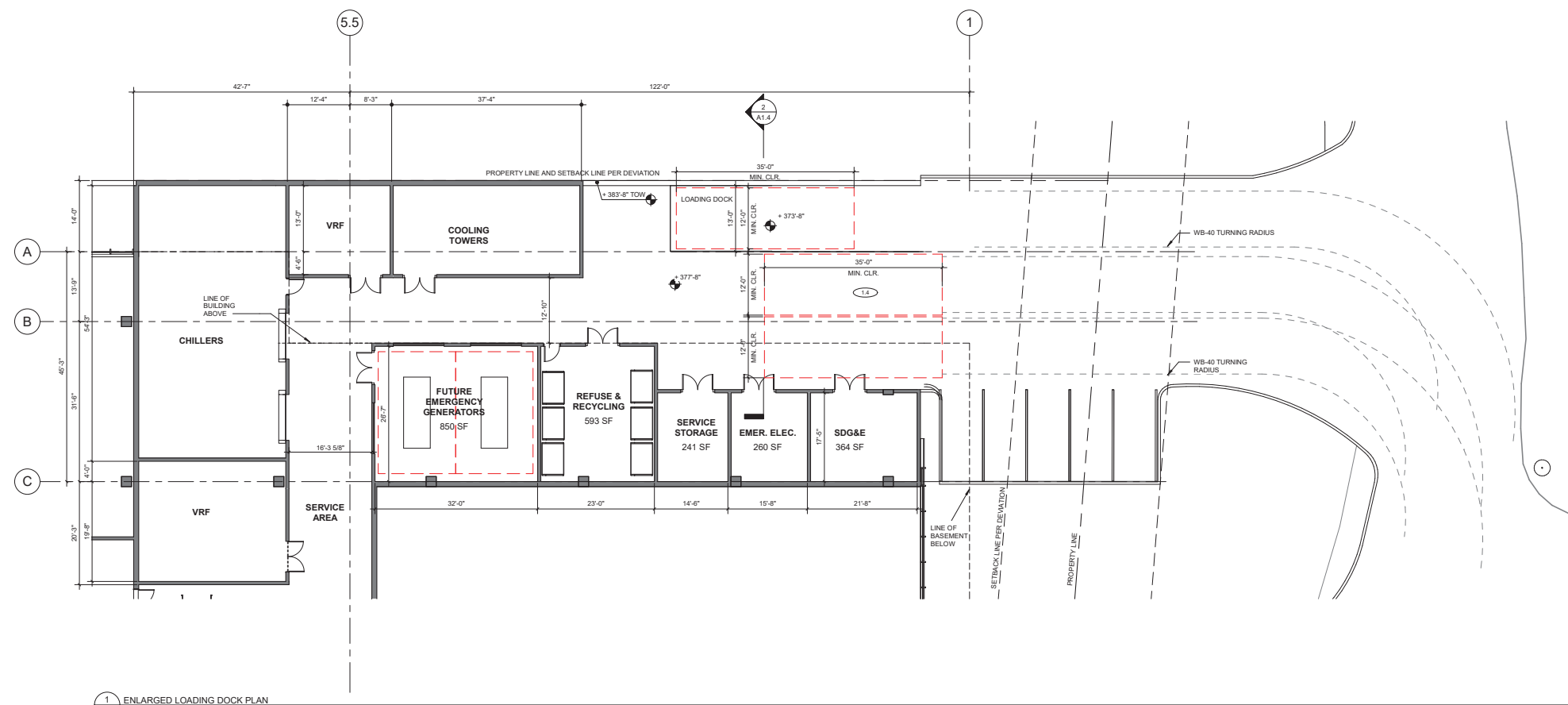


DESCRIPTION	NO.	DATE
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DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

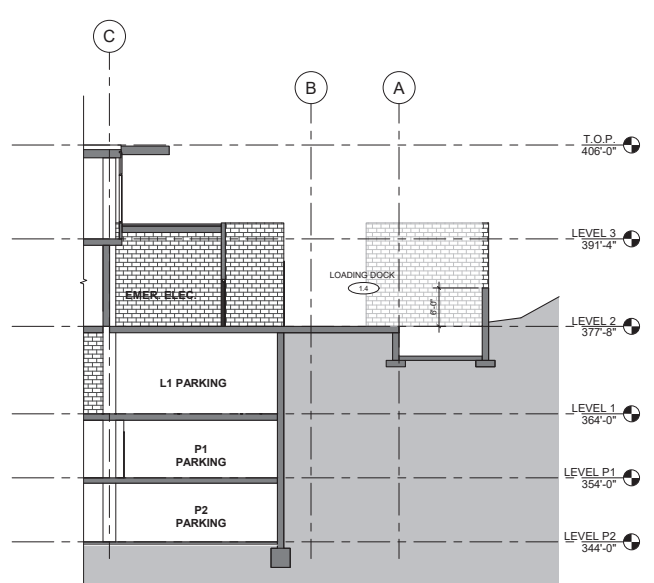
FPBA PROJECT NO.19049

ENLARGED SITE PLAN - LOADING DOCK

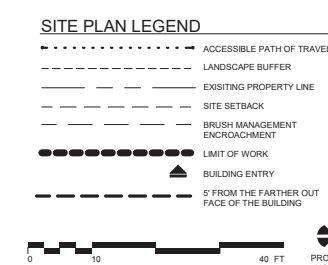
A1.4



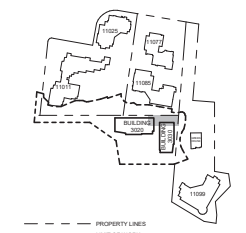
1 ENLARGED LOADING DOCK PLAN
1" = 10'-0"



2 ENLARGED LOADING DOCK SECTION
1" = 10'-0"



KEYNOTES
1.4 35' X 12' LOADING AREA PER SDMC 140.1010. TYP OF 3 SPACES. UNLIMITED VERTICAL SPACE DIMENSION. NO OVERHEAD OBSTRUCTIONS



OVERALL SITE KEY PLAN
NOT TO SCALE

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

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SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: ENLARGED SITE PLAN - LOADING DOCK

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

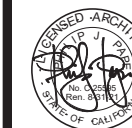
DEP #: _____ SHEET: 34 OF 51

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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES

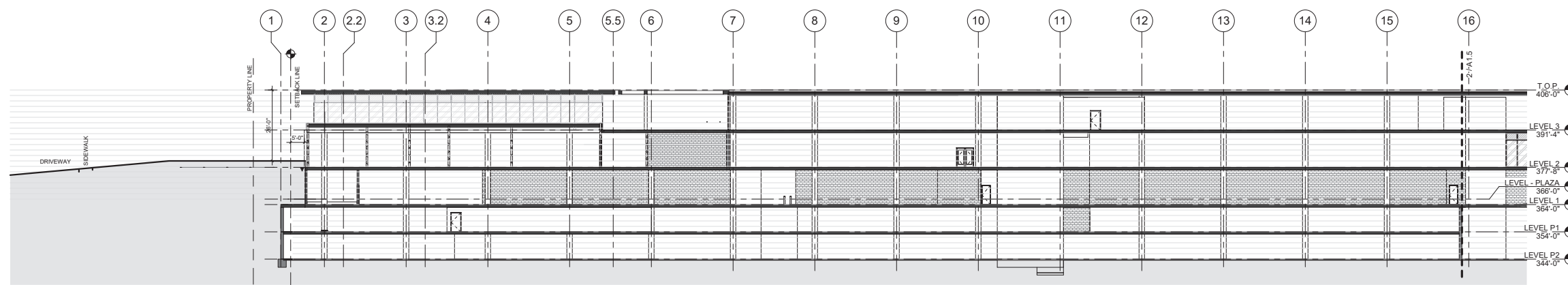


DESCRIPTION	NO.	DATE
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DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
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DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

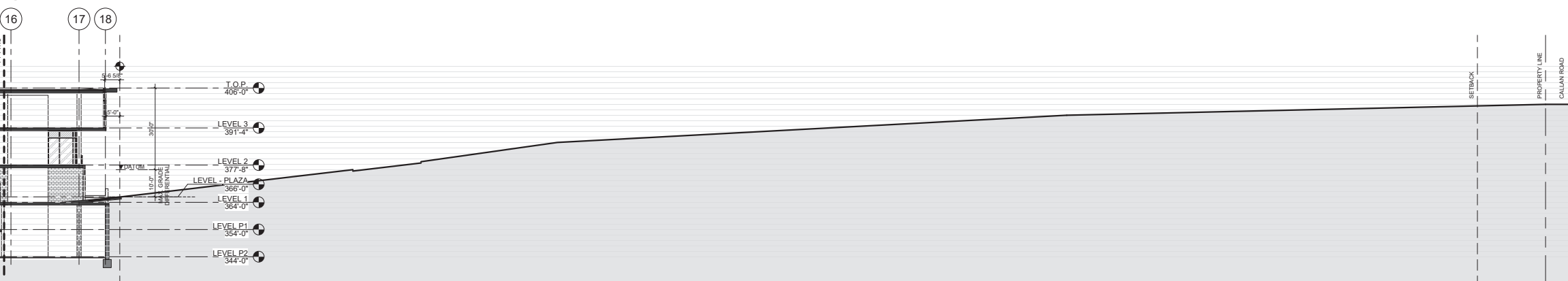
FPBA PROJECT NO.19049

SITE CROSS SECTIONS

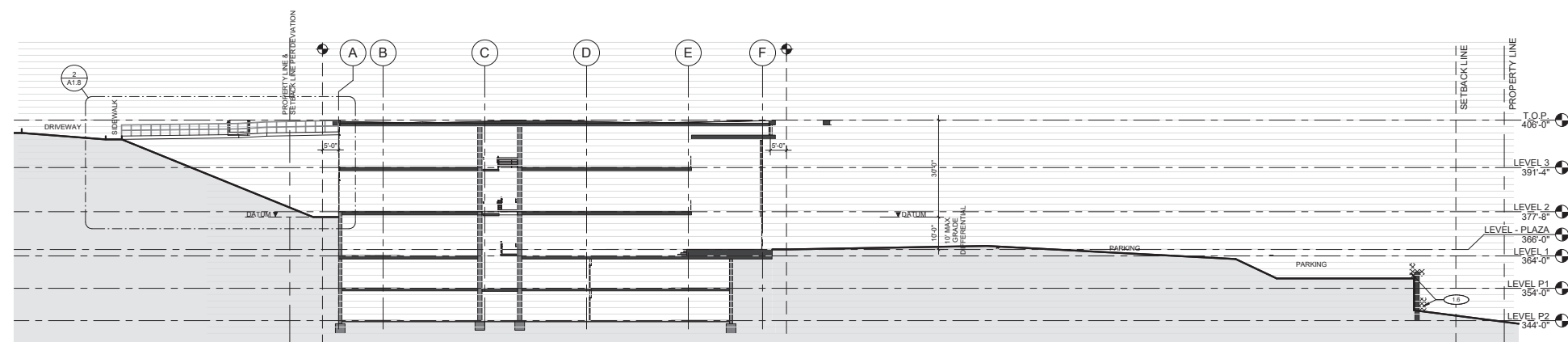
A1.5



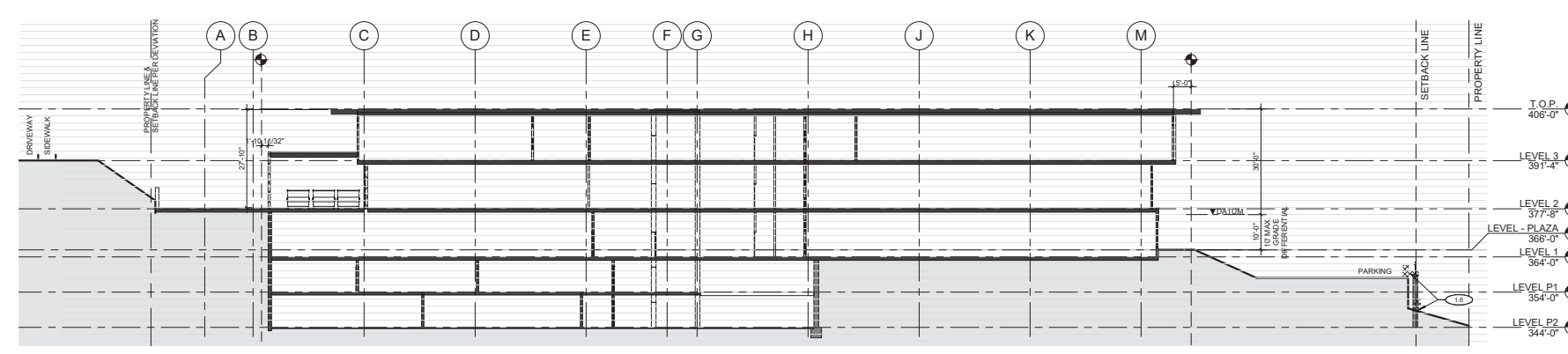
1 SITE SECTION - ENTRY DRIVE
A1.5
1/16" = 1'-0"



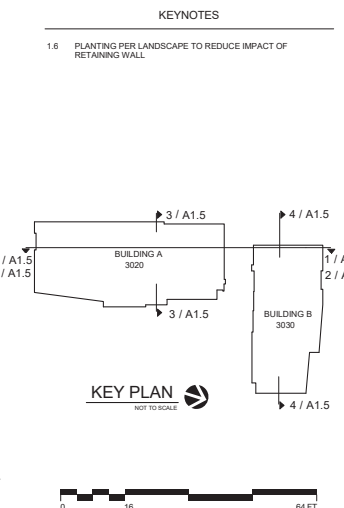
2 SITE SECTION - ENTRY DRIVE PART 2
A1.5
1/16" = 1'-0"



3 SITE SECTION BUILDING B
A1.5
1/16" = 1'-0"



4 SITE SECTION BUILDING A
A1.5
1/16" = 1'-0"



KEYNOTES

1.6 PLANTING PER LANDSCAPE TO REDUCE IMPACT OF RETAINING WALL

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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: **SITE CROSS SECTIONS**

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #:

DEP #:

SHEET: 36 OF 50

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**HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121**

Healthpeak
LIFE SCIENCE PROPERTIES



DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN 1	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

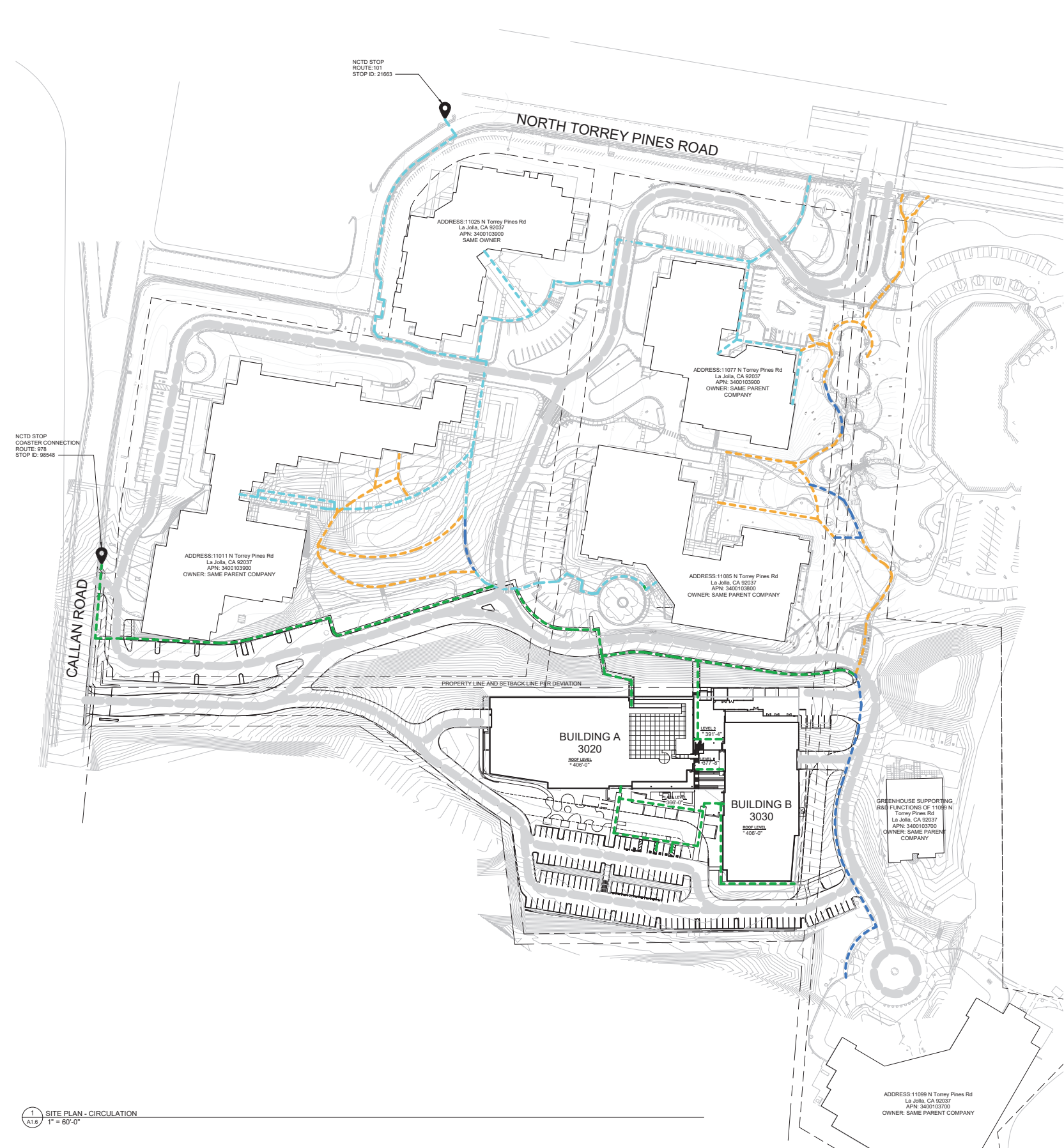
FPBA PROJECT NO.19049

**CIRCULATION
SITE PLAN**

A1.6

CIRCULATION SITE PLAN LEGEND

- VEHICULAR TRAFFIC
- EXISTING ADA NATIVE TRAIL - ADA COMPLIANT
- EXISTING PEDESTRIAN WALKWAY - ADA COMPLIANT
- NEW PEDESTRIAN WALKWAY - ADA COMPLIANT
- EXISTING PATH (ACCESSIBILITY UNDETERMINED)
- EXISTING PROPERTY LINE
- EXISTING SITE SETBACK
- EXISTING TRANSIT STOPS



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SAN DIEGO, CA 92123

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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: CIRCULATION SITE PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 38 OF 50

1 SITE PLAN - CIRCULATION
A1.6 1" = 60'-0"

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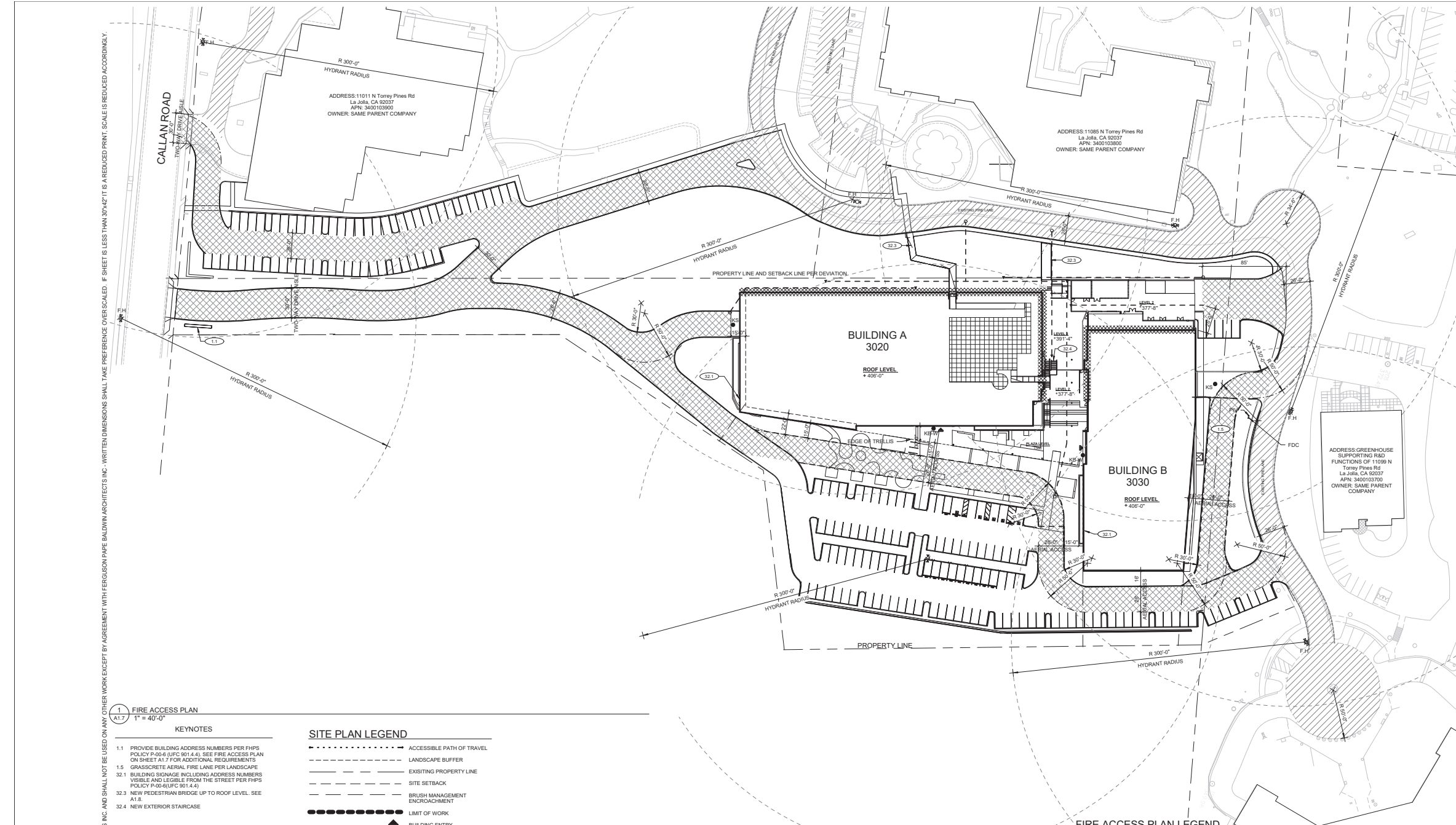
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HEALTHPEAK PROPERTIES, INC. 3020/3030 CALLAN ROAD NEW BUILDINGS 3020/3030 CALLAN ROAD SAN DIEGO, CA 92121



1 FIRE ACCESS PLAN A1.7 1" = 40'-0"

KEYNOTES table with 4 items: 1.1 PROVIDE BUILDING ADDRESS NUMBERS PER FHPS POLICY 1206 (CFC 901.4.4); 1.5 GRASSCOTTE AERIAL FIRE LINE PER LANDSCAPE; 32.1 BUILDING SIGNAGE INCLUDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET PER FHPS POLICY 1206 (CFC 901.4.4); 32.3 NEW PEDESTRIAN BRIDGE UP TO ROOF LEVEL. SEE A1.9; 32.4 NEW EXTERIOR STAIRCASE.

SITE PLAN LEGEND

Legend for site plan symbols: ACCESIBLE PATH OF TRAVEL (dashed line), LANDSCAPE BUFFER (hatched area), EXISTING PROPERTY LINE (solid line), SITE SETBACK (dashed line), BRUSH MANAGEMENT ENCROACHMENT (hatched area), LIMIT OF WORK (solid line), BUILDING ENTRY (solid line with triangle), FROM THE FARTHER OUT FACE OF THE BUILDING (dashed line).

FIRE ACCESS GENERAL NOTES

1. TO THE APPLICANT (OWNER(S), DEVELOPER(S) AND/OR CONTRACTOR(S)) A DISCRETIONARY PLAN REVIEW IS "CONCEPTUAL" BY DEFINITION, AND AS SUCH DOES NOT CONSTITUTE AN APPROVAL FOR FIRE ACCESS. IT SHALL THEREFORE BE INCUMBENT OF THE APPLICANT TO ENSURE THAT A FIRE PLAN REVIEW CYCLE IS PROVIDED DURING THE "MINISTERIAL" REVIEW, ALSO AN "EXHIBIT A" PACKAGE WITH OR WITHOUT A FIRE ACCESS PLAN DOES NOT CONSTITUTE AN APPROVED FAF FOR ISSUANCE OF CONSTRUCTION BUILDING PERMIT.

10. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14.1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROADLANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROADLANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE FOR A SPRINKLERED BUILDING(S). THE MAXIMUM HOSE PULL IS 200' FOR NON-SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 150' CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.

FIRE ACCESS PLAN LEGEND

Legend for fire access plan symbols: EXISTING FIRE TRUCK ACCESS LANE (hatched area), NEW FIRE TRUCK ACCESS LANE (dotted area), LESS THAN 30' NO AERIAL ACCESS REQUIRED (solid area), BOLD DASHED LINE DENOTES STAMPED FIRE LANE IDENTIFICATION MARKINGS IN NEW FIRE TRUCK ACCESS LANE, BOLD LINE DENOTES RED CURB, PAINT CURB RED WITH WHITE TEXT READING "NO PARKING FIRE LANE EVERY 20' (UNLESS OTHERWISE NOTED) SEE DETAIL FOR ADDITIONAL INFORMATION, TYPICAL.

25. EVERY BUILDING FOUR STORIES OR MORE IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE STANDPIPE FOR USE DURING CONSTRUCTION INSTALLED IN ACCORDANCE WITH CFC 331.1. STANDPIPE SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. CFC 331.1.

1 FIRE ACCESS PLAN

32. ALL FEATURES OF THE FIRE ACCESS ROADS INCLUDING TURNING RADIUS AND DEAD END DESIGN WILL BE IN ACCORDANCE WITH CFC 303 AND APPENDIX D.

DESCRIPTION NO. DATE

Revision table with columns: DESCRIPTION, NO., DATE. Includes entries for Schematic Design, Development Permit, and Development Permit Submittals 1-4.

Project information table: PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS; ADDRESS: 4499 RUFFIN RD. #300 SAN DIEGO, CA 92123; PHONE NO: (619) 231-0751 / STEFFANE DEAL; PROJECT ADDRESS: 3020 & 3030 CALLAN RD SAN DIEGO, CA 92121; PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS.

Sheet information: SHEET TITLE: FIRE ACCESS PLAN; ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020; MUP PROJECT #: ; DEP #: ; SHEET: 37 OF 50; A1.7

SCALE: 1" = 40'-0" PROJECT TRUE NORTH

FPBA PROJECT NO. 19149



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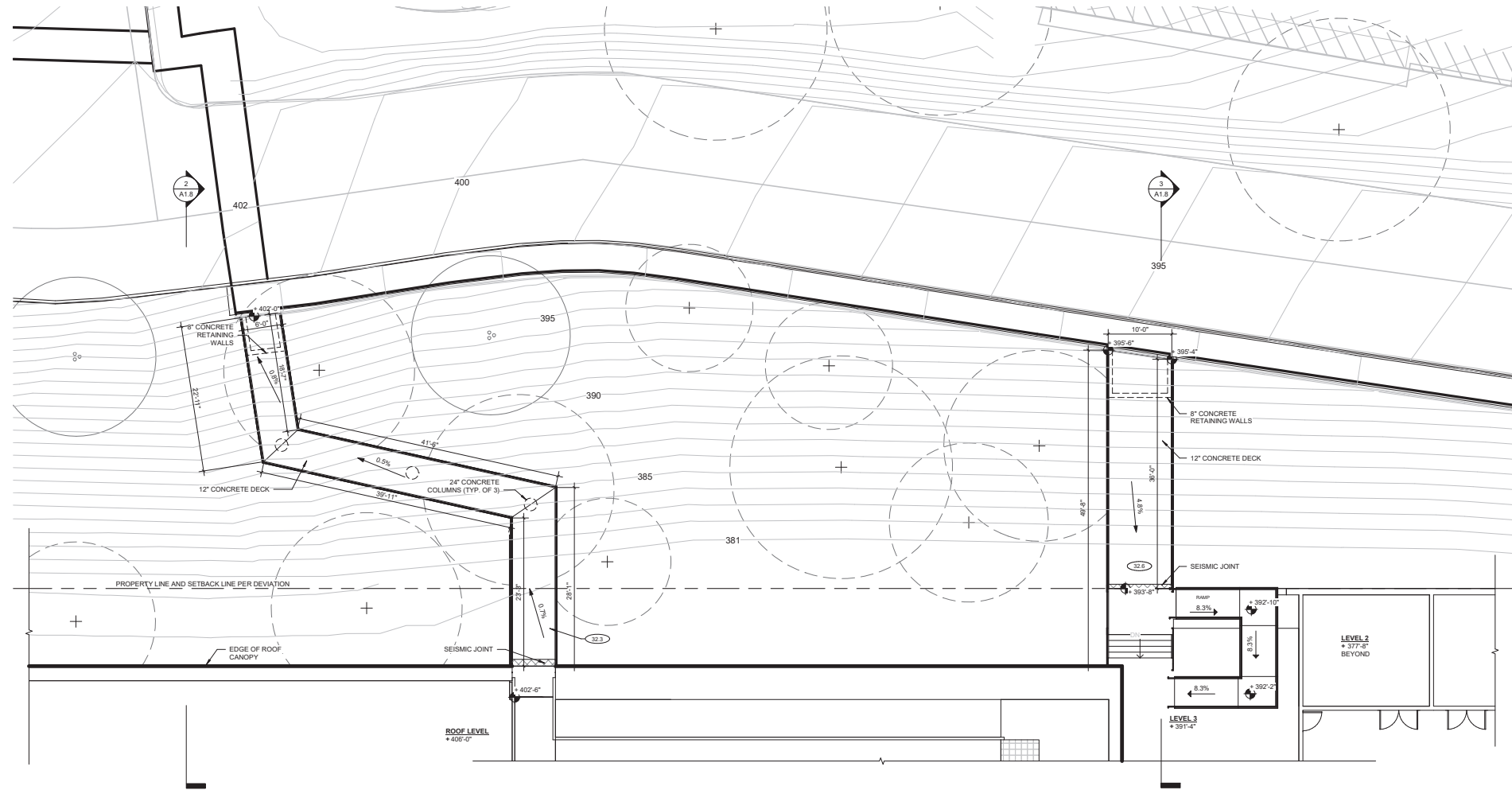
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3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121



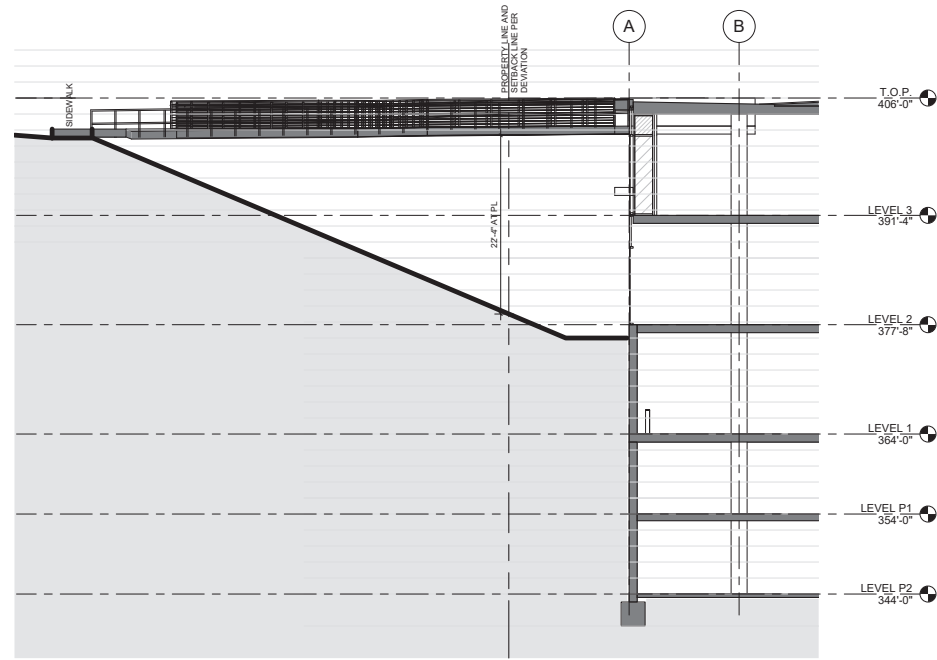
DESCRIPTION	NO.	DATE
DEVELOPMENT PERMIT SUBMITTAL 2	A	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	B	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	C	08/27/2020

FPBA PROJECT NO.19049
ENLARGED BRIDGES

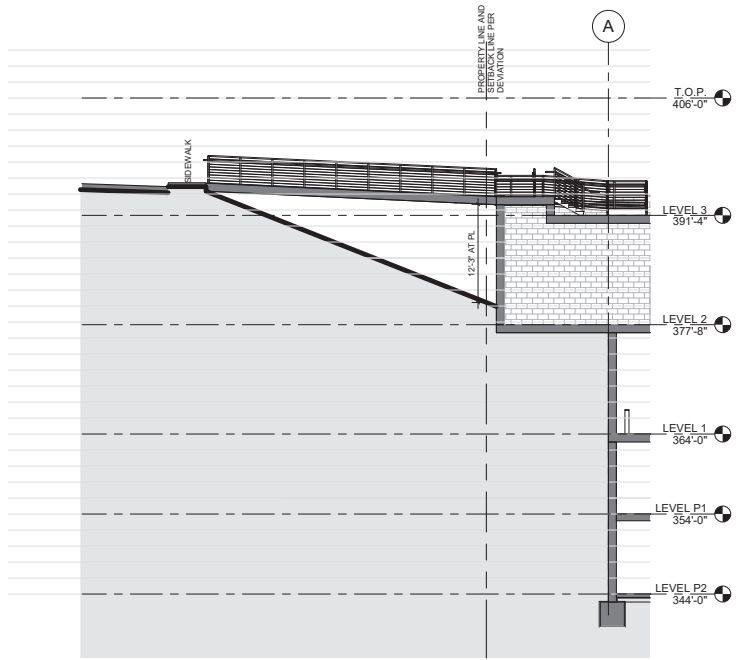
A1.8



1 SITE PLAN - ENLARGED BRIDGES
A1.8 1/8" = 1'-0"



2 SITE PLAN - ENLARGED BRIDGES B
A1.8 1/8" = 1'-0"



3 SITE PLAN - ENLARGED BRIDGES A
A1.8 1/8" = 1'-0"

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD. #300
SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: **ENLARGED BRIDGES**

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020
MUP PROJECT #: _____
DEP #: _____ SHEET: 38 OF 50

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LEGEND
 DENOTES AREA TO BE INCLUDED WITHIN COVENANT OF EASEMENT

**FERGUSON
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 ARCHITECTS**

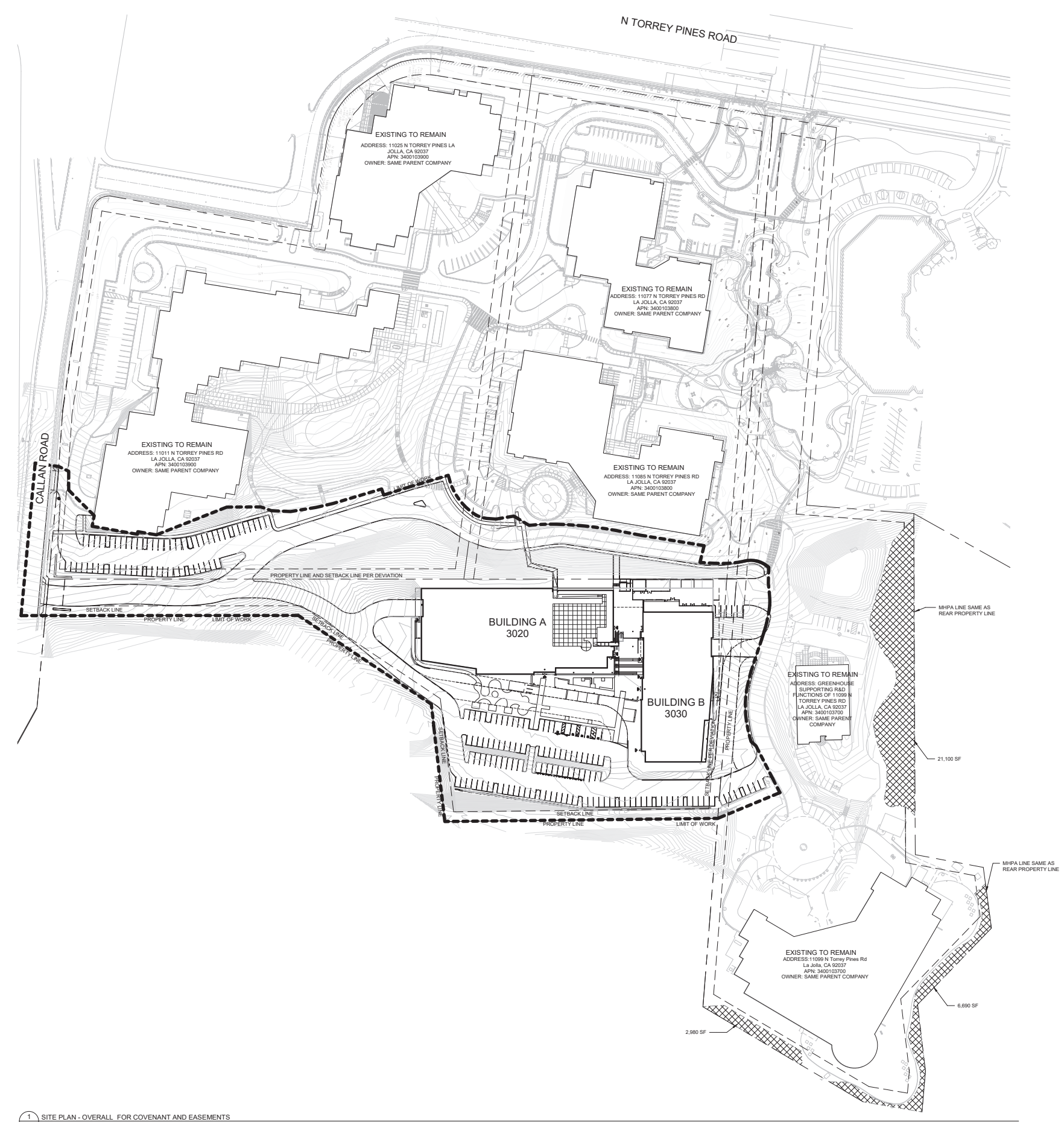
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**HEALTHPEAK PROPERTIES, INC.
 3020/3030 CALLAN ROAD NEW BUILDINGS
 3020/3030 CALLAN ROAD
 SAN DIEGO, CA 92121**

Healthpeak
 LIFE SCIENCE PROPERTIES



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1 SITE PLAN - OVERALL FOR COVENANT AND EASEMENTS
 A1.9 1" = 60'-0"

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS
 ADDRESS: 4499 RUFFIN RD, #300
 SAN DIEGO, CA 92123
 PHONE NO #: (619) 231-0751 / STEFANIE DEAL
 PROJECT ADDRESS: 3020 & 3030 CALLAN RD
 SAN DIEGO, CA 92121
 PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS
 SHEET TITLE: **COVENANT OF EASEMENTS PLAN**
 ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020
 MUP PROJECT #: _____
 DEP #: _____ SHEET: 39 OF 51

DESCRIPTION	NO.	DATE
DEVELOPMENT PERMIT SUBMITTAL 3	A	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	B	08/27/2020

FPBA PROJECT NO.19049

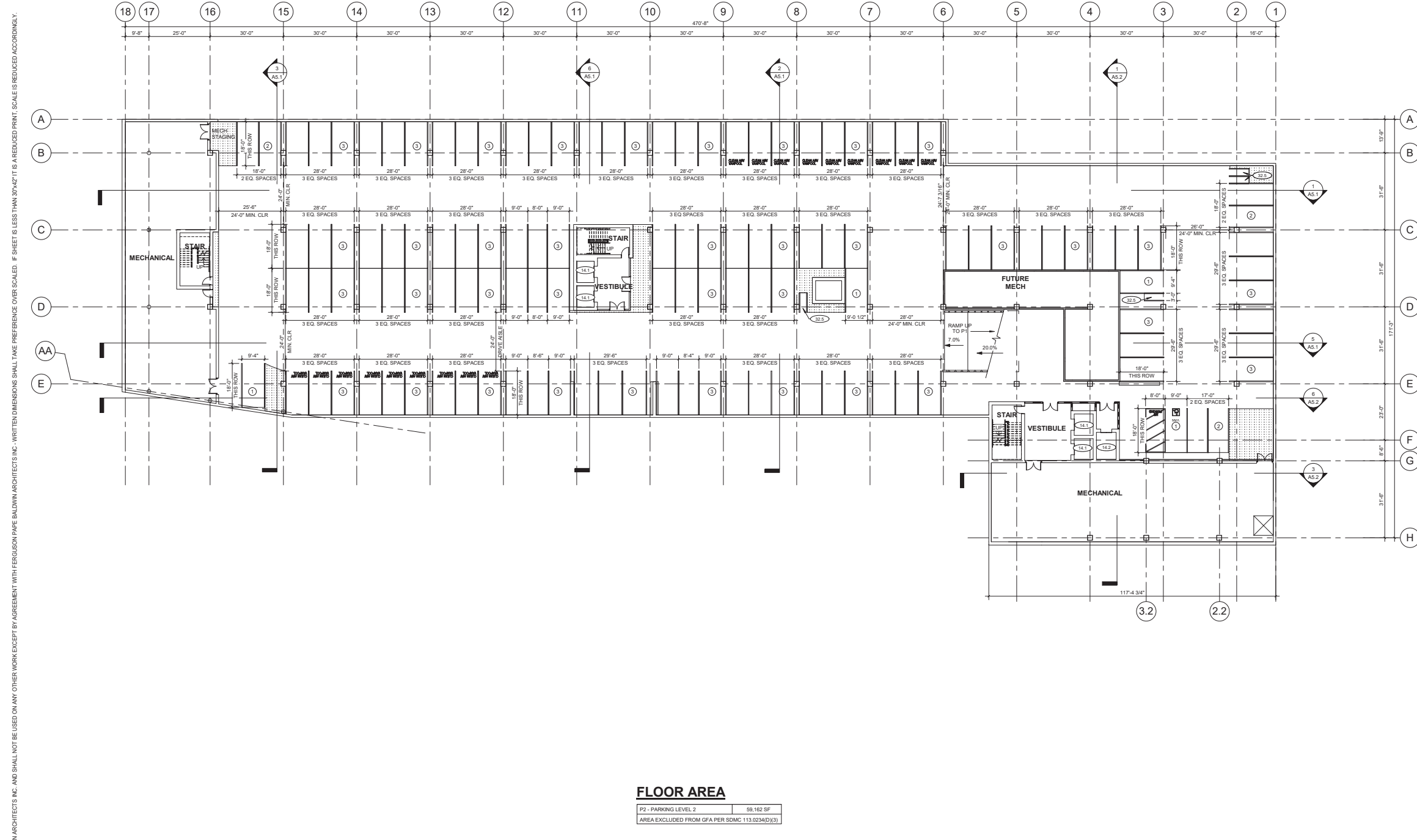
COVENANT OF EASEMENTS PLAN

A1.9



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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121



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FLOOR AREA

P2 - PARKING LEVEL 2	59,162 SF
AREA EXCLUDED FROM GFA PER SDMC 113.0234(D)(3)	

1 OVERALL - LEVEL P2 FLOOR PLAN
1/16" = 1'-0"

KEYNOTES

14.1	PASSENGER ELEVATOR
14.2	SERVICE ELEVATOR
32.5	3'-0" X 6'-0" MOTORCYCLE SPACE

- FLOOR PLAN GENERAL NOTES**
- EVERYTHING SHOWN ON THE FLOOR PLANS AND ON REFERENCED DRAWINGS IS NEW AND TO BE PROVIDED BY THE CONTRACTOR, UNLESS NOTED AS "EXISTING". REFER TO DEMOLITION DRAWINGS FOR DESCRIPTION OF EXISTING ITEMS TO REMAIN.
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 - REFER ALSO TO DEMOLITION DRAWINGS FOR DESCRIPTION OF EXISTING CONSTRUCTION.
 - REFER ALSO TO DOOR SCHEDULE FOR DOOR, FRAME AND HARDWARE REQUIREMENTS.

FLOOR PLAN LEGEND

	NEW WALL
	STOREFRONT PARTITION WALL
	DOOR, HARDWARE, AND FRAME
	WINDOW PER SCHEDULE
	DOOR PER SCHEDULE

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD. #300
SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: OVERALL - LEVEL P2 FLOOR PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #:

DEP #:

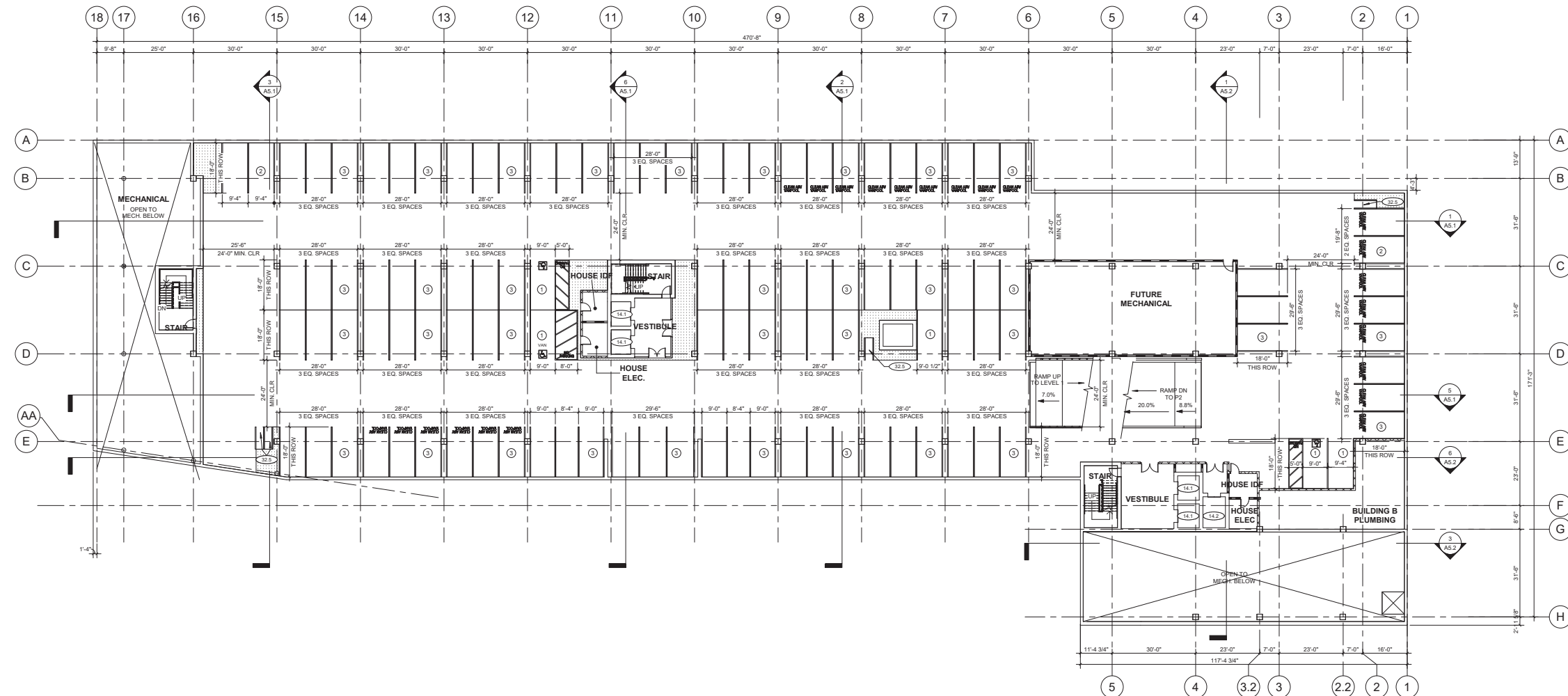
SHEET: 40 OF 51

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020



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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121



FLOOR AREA

P1 - PARKING LEVEL P1	54,444 SF *
AREA EXCLUDED FROM GFA PER SDMC 113.0234(D)(3)	

1 OVERALL - LEVEL P1 FLOOR PLAN
A2.1 1/16" = 1'-0"

KEYNOTES

- 14.1 PASSENGER ELEVATOR
- 14.2 SERVICE ELEVATOR
- 32.5 3'-0" X 6'-0" MOTORCYCLE SPACE

FLOOR PLAN GENERAL NOTES

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11. REFER ALSO TO DEMOLITION DRAWINGS FOR DESCRIPTION OF EXISTING CONSTRUCTION.
12. REFER ALSO TO DOOR SCHEDULE FOR DOOR, FRAME AND HARDWARE REQUIREMENTS.

FLOOR PLAN LEGEND

- NEW WALL
- STOREFRONT PARTITION WALL
- DOOR, HARDWARE, AND FRAME
- WINDOW PER SCHEDULE
- DOOR PER SCHEDULE

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD. #300
SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: **OVERALL - LEVEL P1 FLOOR PLAN**

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 41 OF 51

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

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619 231 0751
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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES

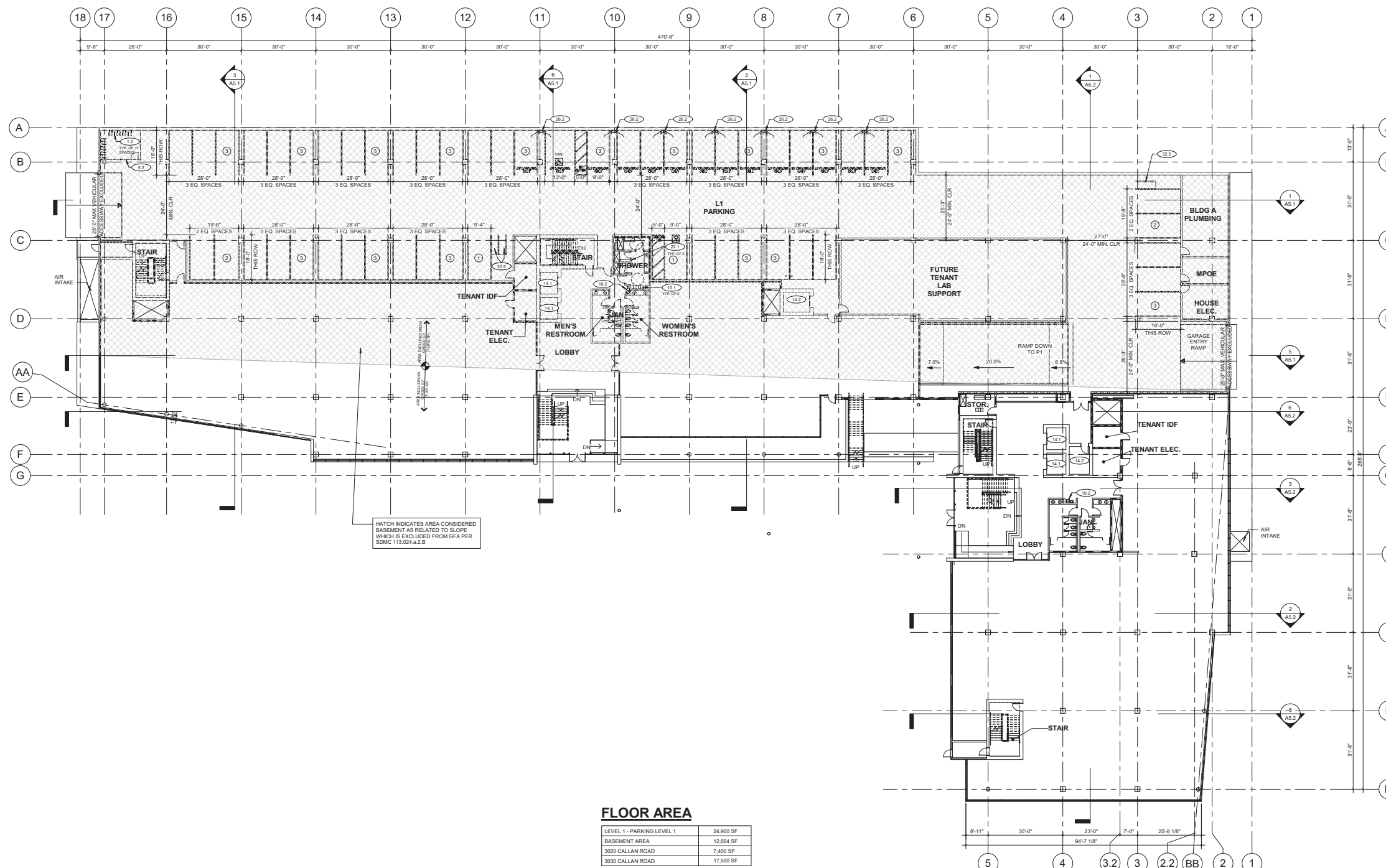


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DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

OVERALL - LEVEL 1 FLOOR PLAN

A2.2



HATCH INDICATES AREA CONSIDERED BASEMENT AS RELATED TO SLOPE WHICH IS EXCLUDED FROM GFA PER SDCM 115.024.2.2.9

FLOOR AREA

LEVEL 1 - PARKING LEVEL 1	24,900 SF
BASEMENT AREA	12,664 SF
3020 CALLAN ROAD	7,400 SF
3030 CALLAN ROAD	17,500 SF

1 OVERALL - LEVEL 1 FLOOR PLAN
A2.2 1/16" = 1'-0"

- KEYNOTES**
- 1.2 BICYCLE RACK FOR LONG TERM BICYCLE PARKING. COVERED LOCKABLE ENCLOSURE WITH PERMANENTLY ANCHORED BICYCLE RACK.
 - 5.2 CHAIN LINK FENCE AND LOCKABLE GATE
 - 10.1 TWO-TIER (12" X 15" X 72") PERSONAL EFFECTS LOCKERS
 - 10.2 DRINKING FOUNTAIN SYSTEM, TYP
 - 14.1 PASSENGER ELEVATOR
 - 14.2 SERVICE ELEVATOR
 - 22.1 NEW SHOWER/CHANGING FACILITIES
 - 26.2 ACTIVE ELECTRICAL VEHICLE CHARGING STATIONS IN COMPLIANCE WITH CAP CONSISTENCY CHECKLIST STEP 2, STRATEGY 3. NUMBER 3 EQUIPMENT WILL HAVE THE NECESSARY ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLED TO PROVIDE ACTIVE ELECTRIC VEHICLE CHARGING STATIONS READY FOR USE.
 - 32.5 3'-0" X 8'-0" MOTORCYCLE SPACE

- FLOOR PLAN GENERAL NOTES**
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- FLOOR PLAN LEGEND**
- NEW WALL
 - STOREFRONT PARTITION WALL
 - DOOR, HARDWARE, AND FRAME
 - WINDOW PER SCHEDULE
 - DOOR PER SCHEDULE

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD. #300
SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE:
OVERALL - LEVEL 1 FLOOR PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #:

DEP #:

SHEET: 42 OF 51

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3020/3030 CALLAN ROAD NEW BUILDINGS
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Healthpeak
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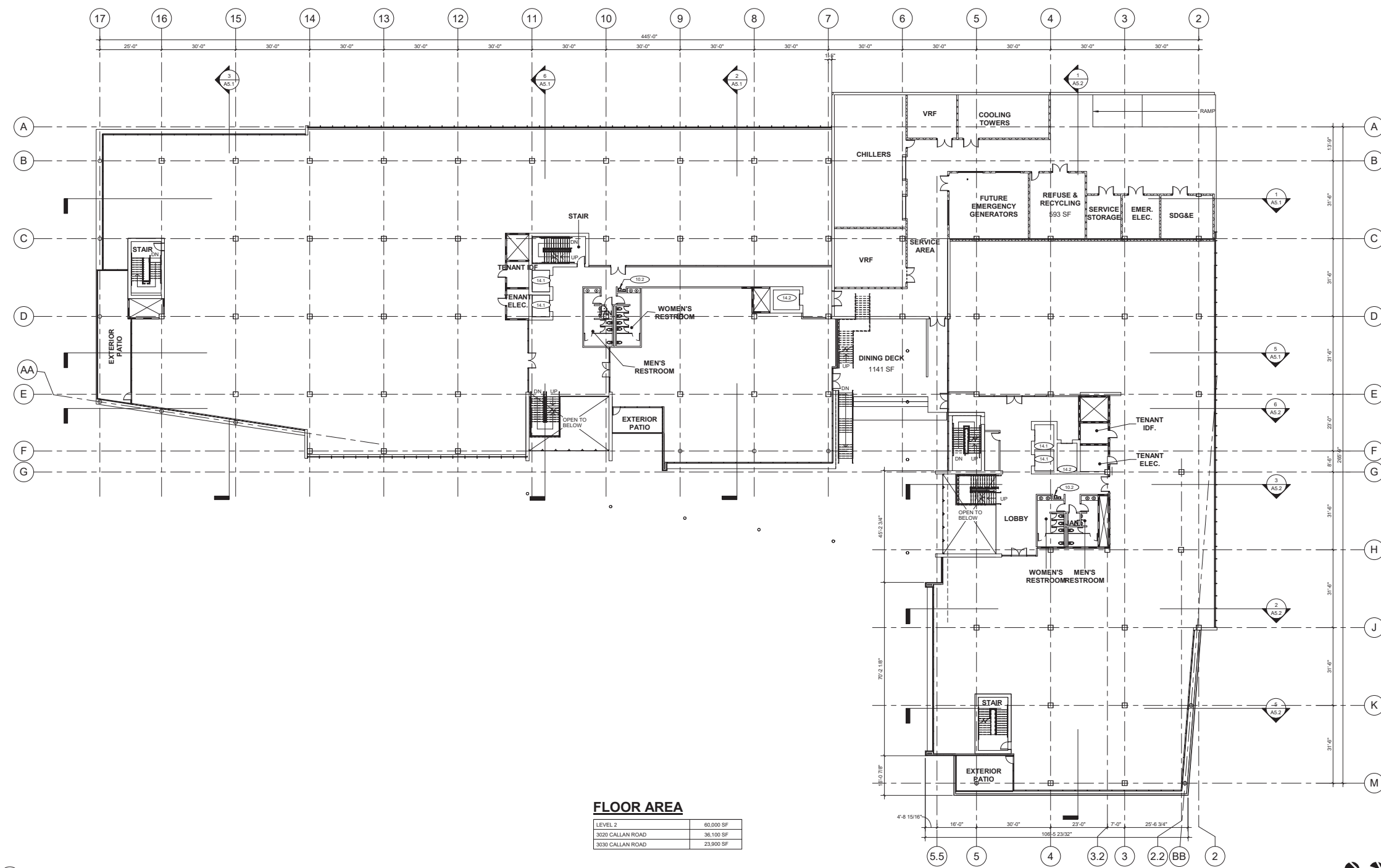


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DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

OVERALL - LEVEL 2 FLOOR PLAN

A2.3



FLOOR AREA

LEVEL	60,000 SF
3020 CALLAN ROAD	36,100 SF
3030 CALLAN ROAD	23,900 SF

1 OVERALL - LEVEL 2 FLOOR PLAN
1/16" = 1'-0"

KEYNOTES

- 10.2 DRINKING FOUNTAIN SYSTEM, TYP
- 14.1 PASSENGER ELEVATOR
- 14.2 SERVICE ELEVATOR

FLOOR PLAN GENERAL NOTES

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FLOOR PLAN LEGEND

- NEW WALL
- STOREFRONT PARTITION WALL
- DOOR, HARDWARE, AND FRAME
- WINDOW PER SCHEDULE
- DOOR PER SCHEDULE

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
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PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: OVERALL - LEVEL 2 FLOOR PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 42 OF 50

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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121

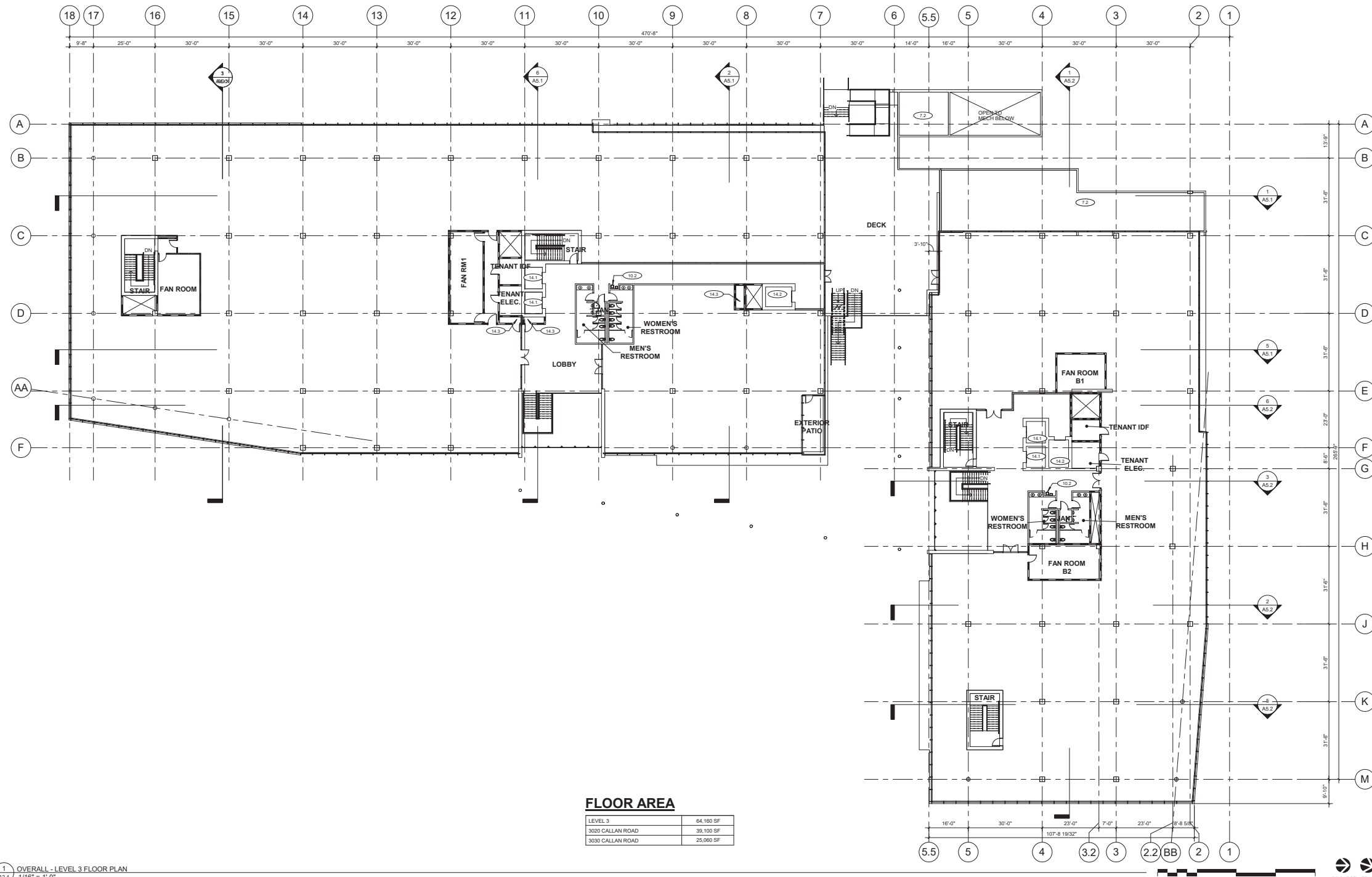


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

OVERALL - LEVEL 3 FLOOR PLAN

A2.4



FLOOR AREA

LEVEL 3	64,160 SF
3020 CALLAN ROAD	39,100 SF
3030 CALLAN ROAD	25,060 SF

1 OVERALL - LEVEL 3 FLOOR PLAN
1/16" = 1'-0"

KEYNOTES

- 7.2 PLANTING TRAY SYSTEM PER LANDSCAPE OVER PVC ROOFING OVER EXTERIOR PROTECTION BOARD OVER SLOPED RIGID INSULATION ON FLAT CONCRETE DECK
- 10.2 DRINKING FOUNTAIN SYSTEM, TYP
- 14.1 PASSENGER ELEVATOR
- 14.2 SERVICE ELEVATOR
- 14.3 ELEVATOR ROOM

FLOOR PLAN GENERAL NOTES

1. EVERYTHING SHOWN ON THE FLOOR PLANS AND ON REFERENCED DRAWINGS IS NEW AND TO BE PROVIDED BY THE CONTRACTOR, UNLESS NOTED AS "EXISTING". REFER TO DEMOLITION DRAWINGS FOR DESCRIPTION OF EXISTING ITEMS TO REMAIN.
2. REFER TO TITLE SHEETS FOR PROJECT REQUIREMENTS AND DISABLED ACCESS REQUIREMENTS.
3. KEYNOTES AND DETAIL INDICATORS SHALL APPLY TYPICALLY TO ALL LIKE CONDITIONS ON THIS DRAWING, WHETHER OR NOT "TYP" OR "TYPICAL" IS USED.
4. "PROVIDE" SHALL MEAN THAT THE CONTRACTOR, AT HIS/HER EXPENSE, SHALL FURNISH AND INSTALL THE WORK, COMPLETE IN PLACE AND READY FOR USE, INCLUDING FURNISHINGS OF NECESSARY LABOR, MATERIALS, TOOLS, EQUIPMENT AND TRANSPORTATION.
5. UNLESS OTHERWISE NOTED, DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISH. DIMENSIONS TO NEW CONSTRUCTION ARE TO FACE OF STUD OR STRUCTURE.
6. "EXISTING", "AS-BUILT", "SIZE TO FIT", "VERIFY IN FIELD" (V.I.F.) AND SIMILAR PHRASES REQUIRE THE CONTRACTOR TO VERIFY AND COORDINATE THE DIMENSIONS OR CONDITIONS INDICATED ON THE DRAWINGS WITH THE ACTUAL FIELD CONDITIONS(S). DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER AT ONCE, FOR DIRECTIONS ON HOW TO PROCEED.
7. FIELD VERIFY ALL DIMENSIONS INDICATING EXISTING, EXIST. OR (E) TO COORDINATE WITH NEW WORK.
8. LOCATE ALL NEW DOOR FRAMES OR CASING OPENINGS SO HINGED SIDE IS 4-INCHES FROM FACE OF THE DOOR JAMB TO THE FACE OF WALL, EXCEPT WHERE SPECIFICALLY DIMENSIONED OR SHOWN OTHERWISE.
9. REFER TO FINISH PLAN AND FINISH SCHEDULE FOR ROOM FINISH REQUIREMENTS.
10. REFER TO OTHER DISCIPLINES WORK FOR REQUIREMENTS. COORDINATE ARCHITECTURAL WORK REQUIREMENTS WITH EACH DISCIPLINE WORK.
11. REFER ALSO TO DEMOLITION DRAWINGS FOR DESCRIPTION OF EXISTING CONSTRUCTION.
12. REFER ALSO TO DOOR SCHEDULE FOR DOOR, FRAME AND HARDWARE REQUIREMENTS.

FLOOR PLAN LEGEND

- NEW WALL
- STOREFRONT PARTITION WALL
- DOOR, HARDWARE, AND FRAME
- WINDOW PER SCHEDULE
- DOOR PER SCHEDULE

PREPARED BY: **FERGUSON PAPE BALDWIN ARCHITECTS**

ADDRESS: **4499 RUFFIN RD. #300
SAN DIEGO, CA 92123**

PHONE NO #: **(619) 231-0751 / STEFANIE DEAL**

PROJECT ADDRESS: **3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121**

PROJECT NAME: **3020/3030 CALLAN ROAD NEW BUILDINGS**

SHEET TITLE: **OVERALL - LEVEL 3 FLOOR PLAN**

ORIGINAL PREPARATION DATE: **FEBRUARY 10, 2020**

MUP PROJECT #: _____

DEP #: _____ SHEET: **44** OF **51**

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3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121

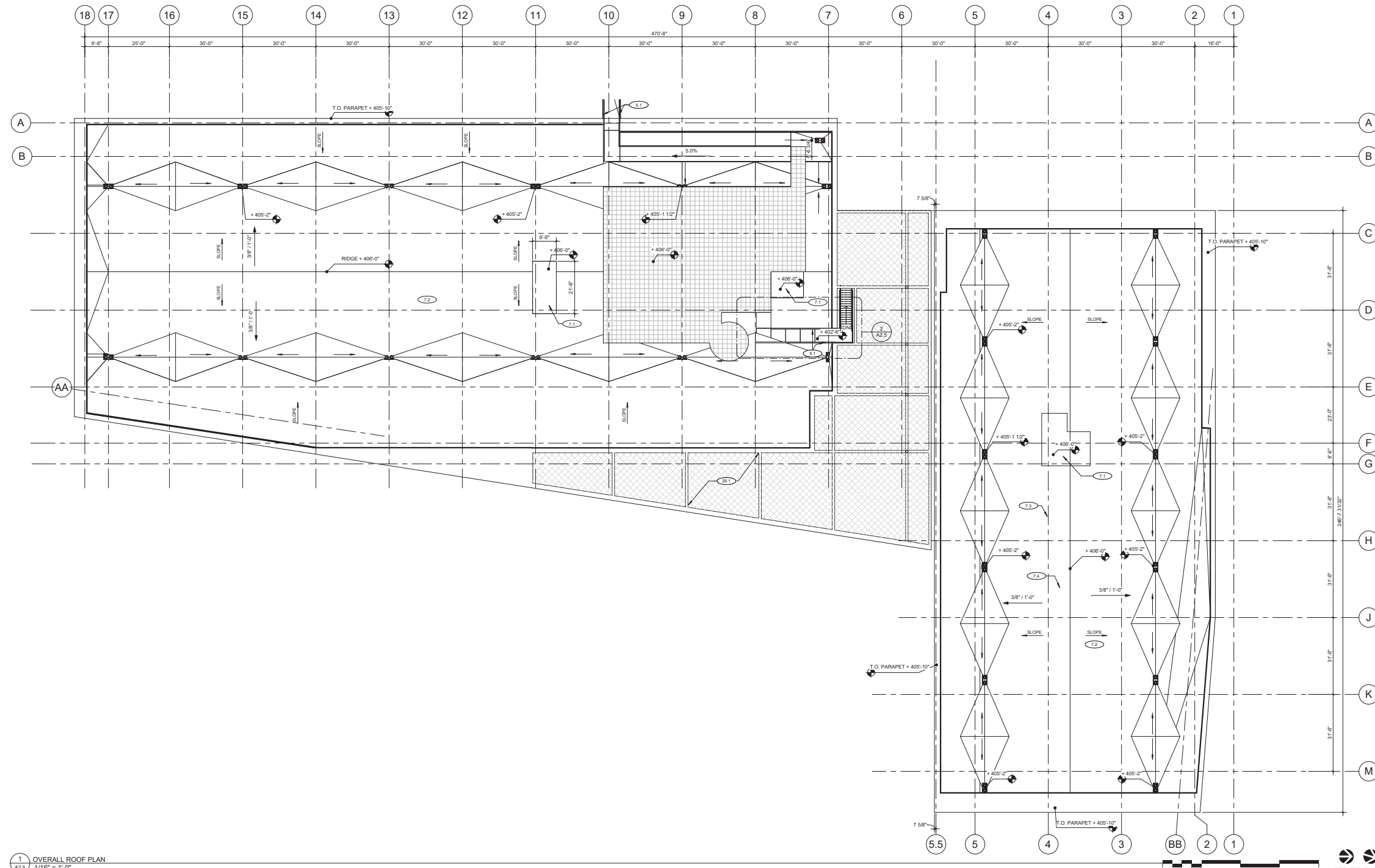


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DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

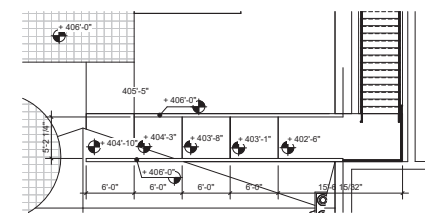
OVERALL - ROOF PLAN

A2.5



1 OVERALL ROOF PLAN
A2.5 1/16" = 1'-0"

- KEYNOTES**
- 5.1 42" HIGH GUARDRAIL (MAX HEIGHT 406") WITHIN FIRST 6" OF EDGE OF ROOF FOR FALL PROTECTION
 - 7.1 PVC ROOFING OVER EXTERIOR SHEATHING OVER SLOPED METAL DECK
 - 7.2 PLANTING TRAY SYSTEM PER LANDSCAPE OVER PVC ROOFING OVER EXTERIOR PROTECTION BOARD OVER SLOPED RIGID INSULATION ON FLAT CONCRETE DECK
 - 7.3 PVC ROOFING SYSTEM OVER EXTERIOR PROTECTION BOARD OVER SLOPED RIGID INSULATION OVER FLAT CONCRETE DECK PER STRUCTURAL
 - 7.4 ROOF OF BUILDING B PREPARED FOR FUTURE PHOTOVOLTAIC PANELS - NO PENETRATIONS THROUGH THE ROOF. SEE ELECTRICAL DRAWINGS FOR CONDUIT FOR FUTURE PV.
 - 26.1 TRANSLUCENT PHOTOVOLTAIC PANELS INFILLING TRELLIS - HEIGHT NOT TO EXCEED 406"



2 ENLARGED ROOF PLAN - LANDINGS
A2.5 1/8" = 1'-0"

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SAN DIEGO, CA 92123

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PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: OVERALL - ROOF PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 45 OF 51

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SAN DIEGO, CA 92121



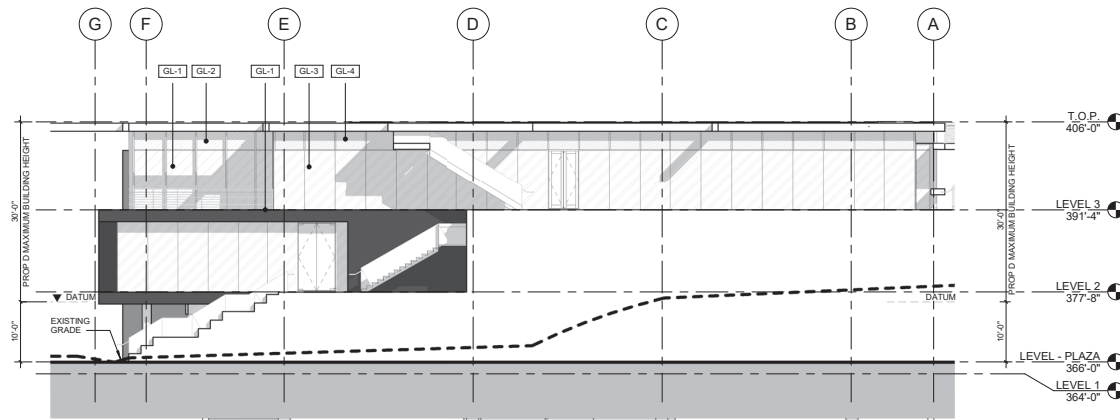
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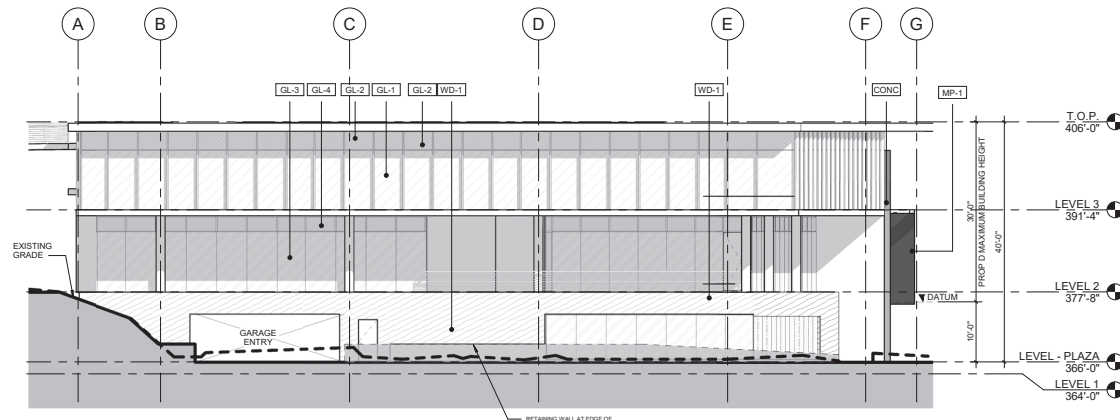
BUILDING 20 - BUILDING ELEVATIONS

A4.1

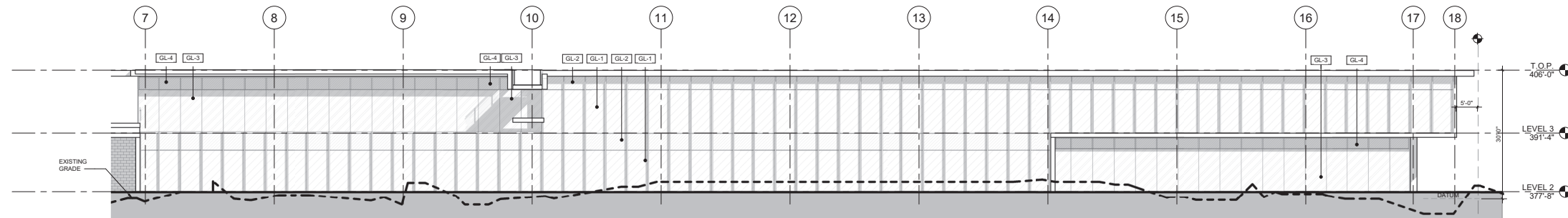
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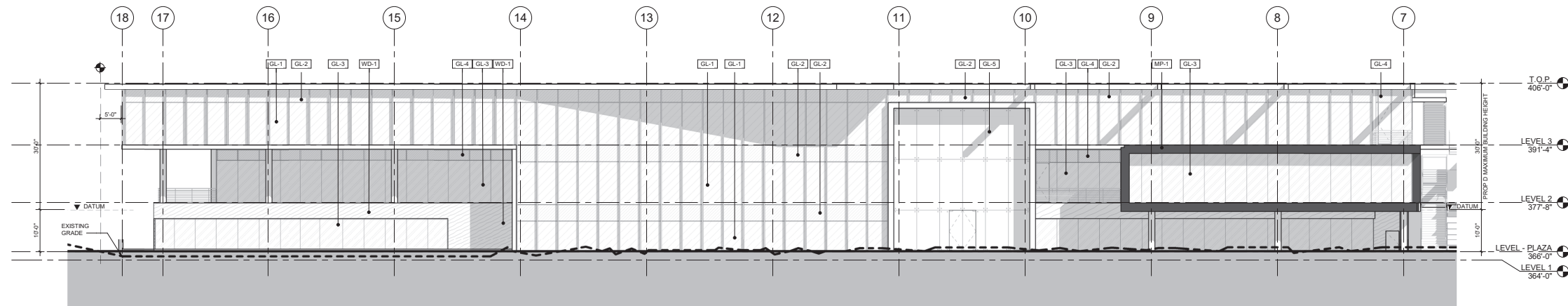
1
A4.1
20-NORTH ELEVATION
3/32" = 1'-0"



2
A4.1
20-SOUTH ELEVATION
3/32" = 1'-0"



3
A4.1
20-WEST ELEVATION
3/32" = 1'-0"



4
A4.1
20-EAST ELEVATION
3/32" = 1'-0"

GENERAL NOTES

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MATERIAL LEGEND

	MP-1	ALUMINUM COMPOSITE METAL PANEL - DARK GREY
	WD-1	WOOD VENEER PANEL - MYSTIC CEDAR
	GL-1	1" INSULATED TINTED GLAZING TEMPERED
	GL-2	1" INSULATED TINTED GLAZING
	GL-3	1" INSULATED CLEAR GLAZING TEMPERED
	GL-4	1" INSULATED CLEAR GLAZING
	GL-5	3/4" LAMINATED SPANDREL GLAZING
	CONC-1	NATURAL CAST-IN-PLACE CONCRETE
	MS-1	MASONRY - GREY

KEYNOTES

PREPARED BY:	FERGUSON PAPE BALDWIN ARCHITECTS
ADDRESS:	4499 RUFFIN RD. #300 SAN DIEGO, CA 92123
PHONE NO #:	(619) 231-0751 / STEFANIE DEAL
PROJECT ADDRESS:	3020 & 3030 CALLAN RD SAN DIEGO, CA 92121
PROJECT NAME:	3020/3030 CALLAN ROAD NEW BUILDINGS
SHEET TITLE:	BUILDING 20 - BUILDING ELEVATIONS
ORIGINAL PREPARATION DATE:	FEBRUARY 10, 2020
MUP PROJECT #:	
DEP #:	
SHEET:	46 OF 51





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3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121



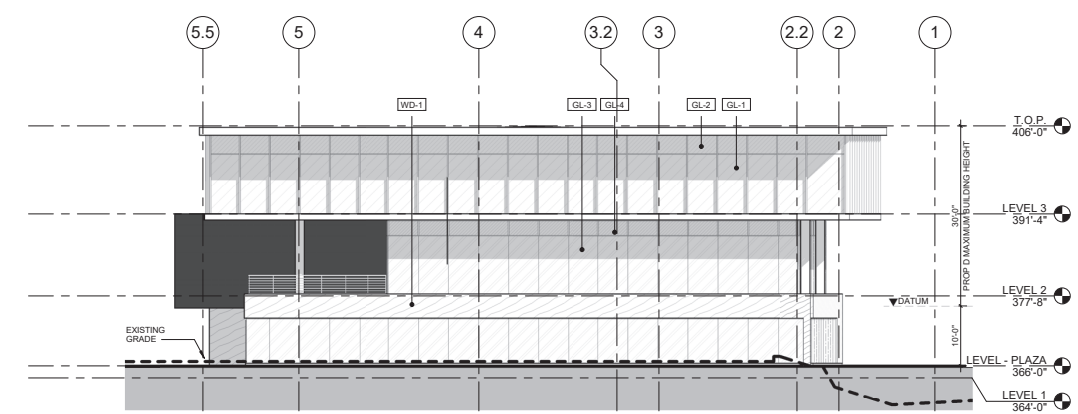
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DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

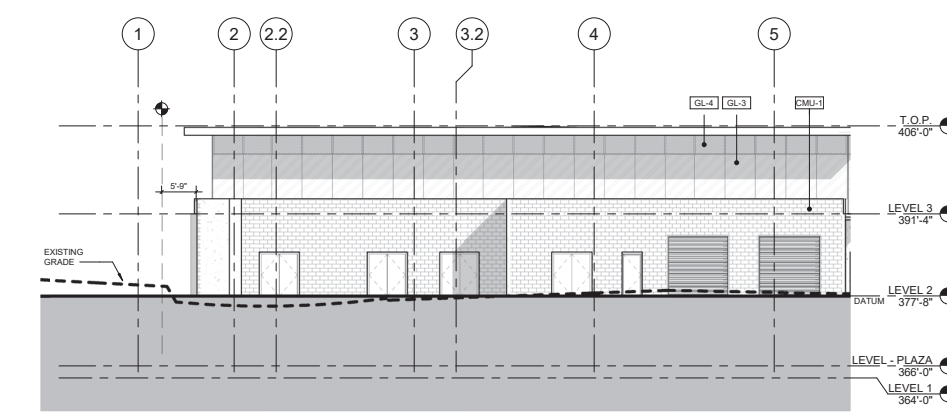
BUILDING 30 - BUILDING ELEVATIONS

A4.2

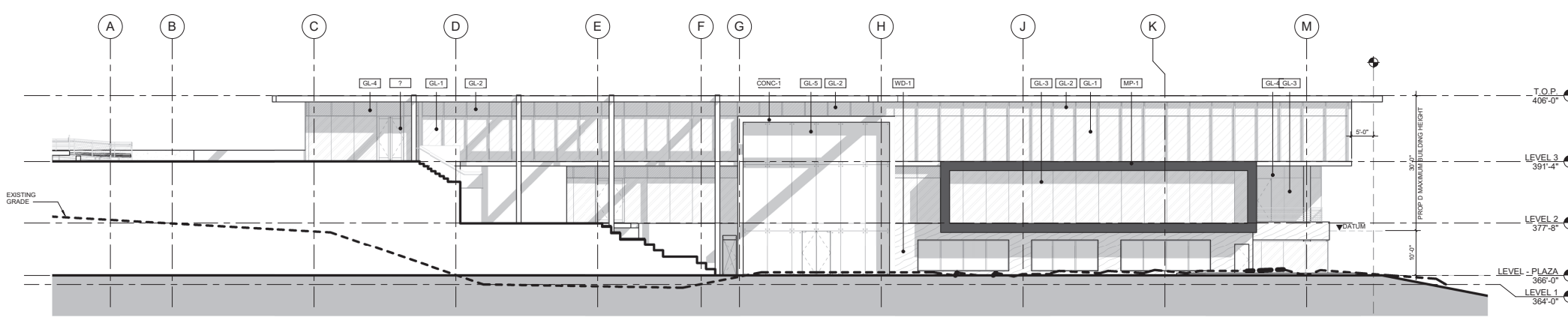
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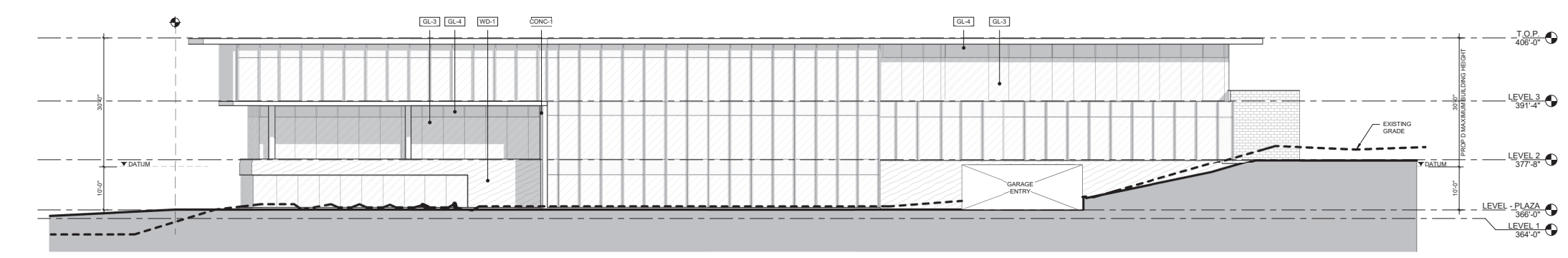
1 30-EAST ELEVATION
A4.2 3/32" = 1'-0"



2 30-WEST ELEVATION
A4.2 3/32" = 1'-0"



3 30-SOUTH ELEVATION
A4.2 3/32" = 1'-0"



4 30-NORTH ELEVATION
A4.2 3/32" = 1'-0"

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MATERIAL LEGEND

	MP-1	ALUMINUM COMPOSITE METAL PANEL - DARK GREY
	WD-1	WOOD VENEER PANEL - MYSTIC CEDAR
	GL-1	1" INSULATED TINTED GLAZING TEMPERED
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	GL-4	1" INSULATED CLEAR GLAZING
	GL-5	3/4" LAMINATED SPANDREL GLAZING
	CONC-1	NATURAL CAST-IN-PLACE CONCRETE
	MS-1	MASONRY - GREY

KEYNOTES

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

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SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: BUILDING 30 - BUILDING ELEVATIONS

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

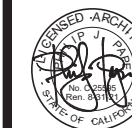
DEP #: _____ SHEET: 47 OF 51





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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES

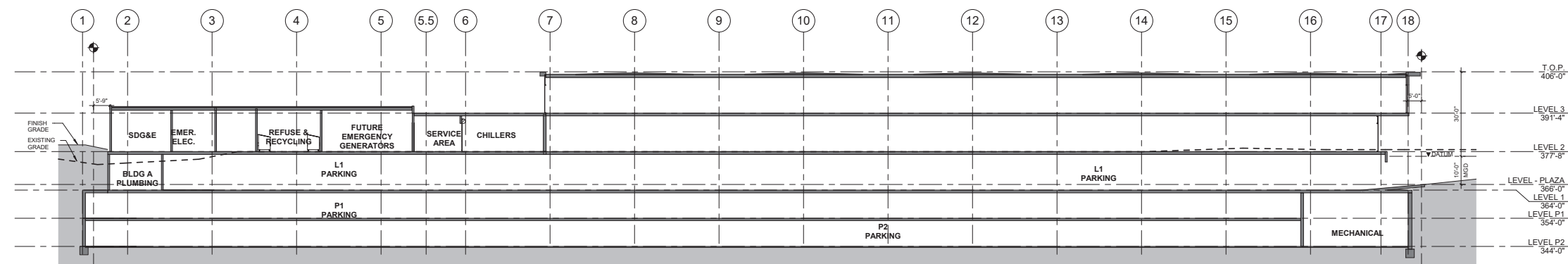


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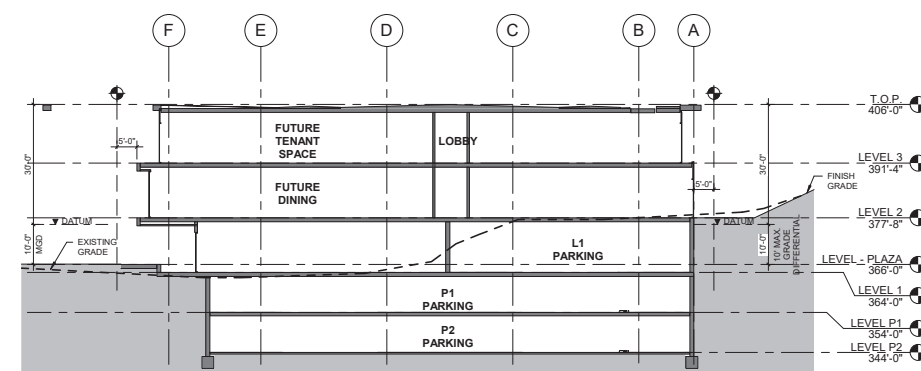
FPBA PROJECT NO.19049

BUILDING 20 - BUILDING SECTIONS - 1

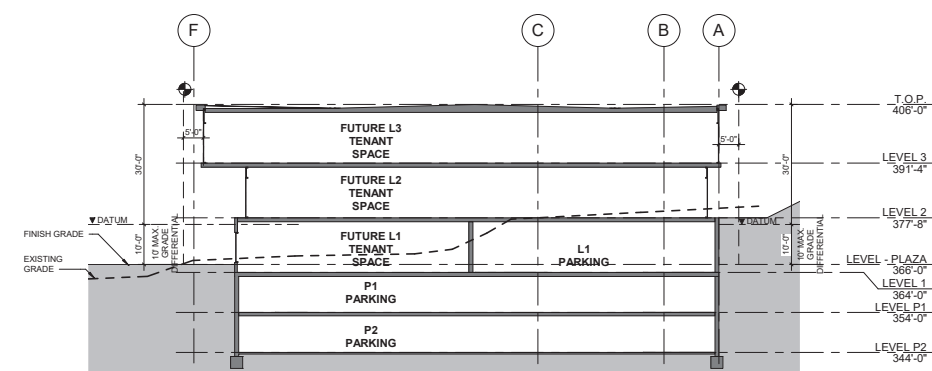
A5.1



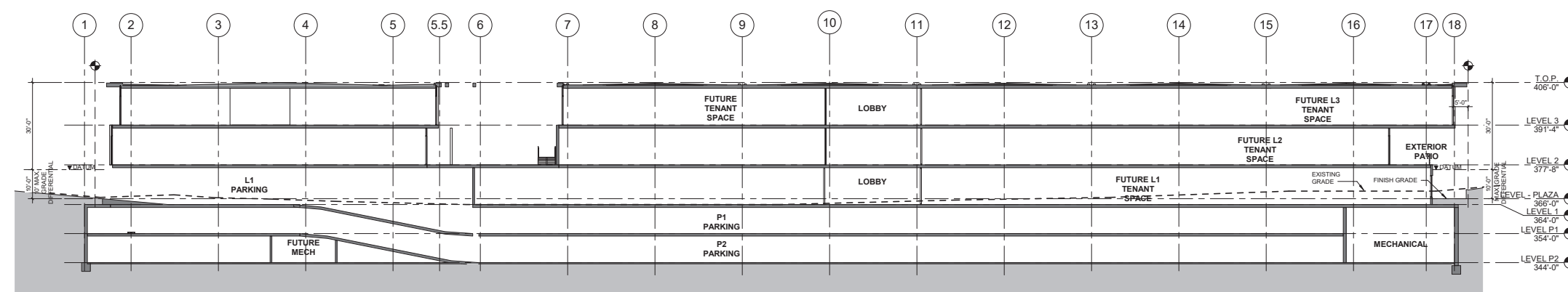
1 20-BUILDING SECTION 2 - AREA A
A5.1 1/16" = 1'-0"



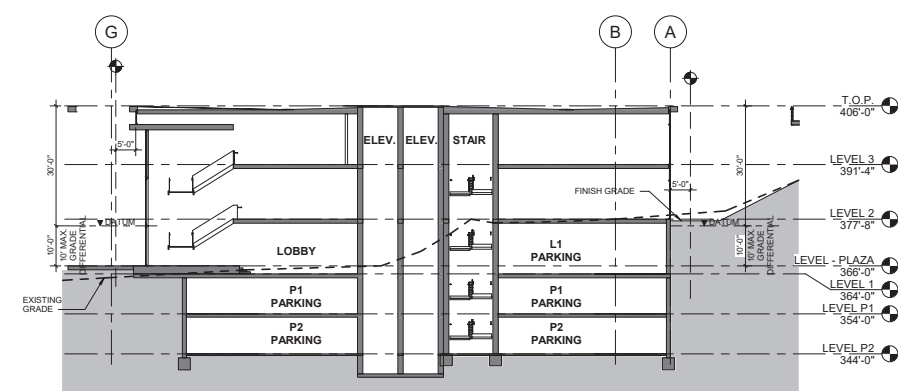
2 20-BUILDING SECTION 3
A5.1 1/16" = 1'-0"



3 20-BUILDING SECTION 4
A5.1 1/16" = 1'-0"



5 RAMP SECTION
A5.1 1/16" = 1'-0"



6 3020 BUILDING SECTION AT LOBBY
A5.1 1/16" = 1'-0"

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KEYNOTES

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SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE:
BUILDING 20 - BUILDING SECTIONS - 1

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 48 OF 51

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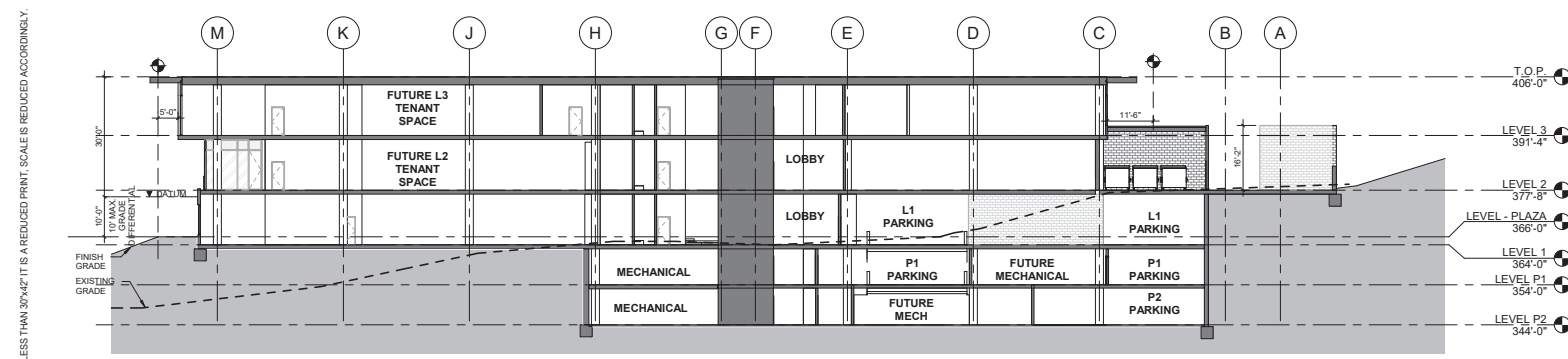
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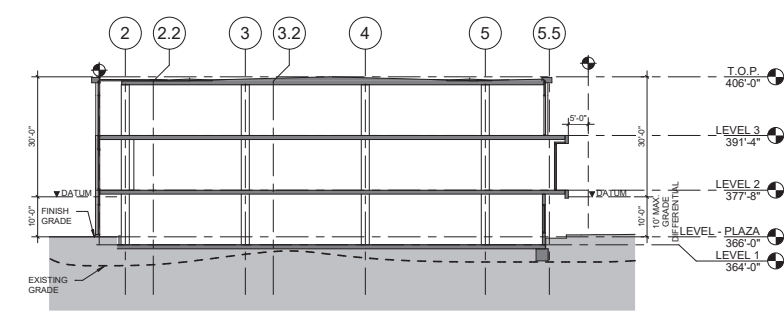


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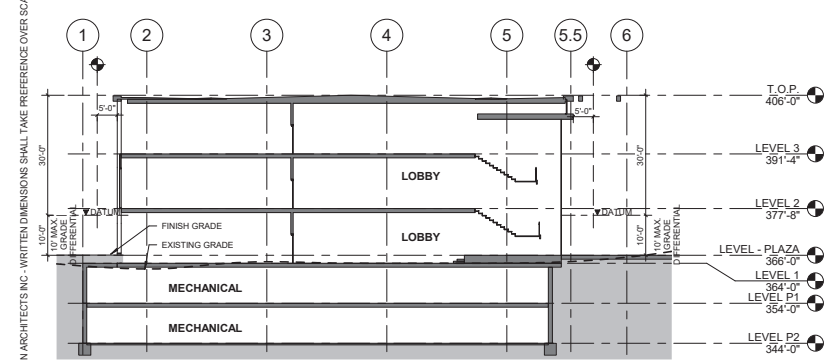
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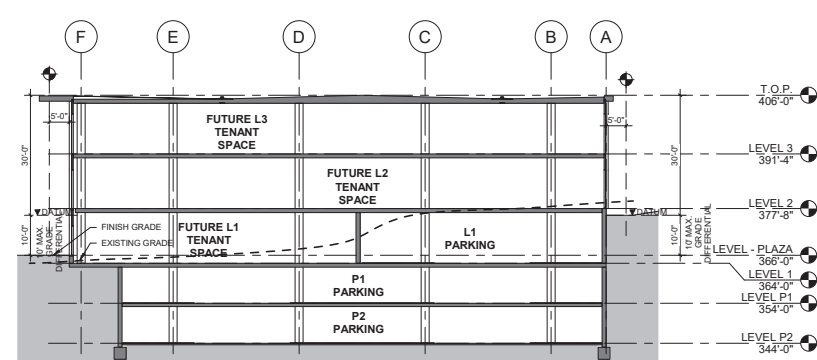
1 30-BUILDING SECTION 1
AS.2 1/16" = 1'-0"



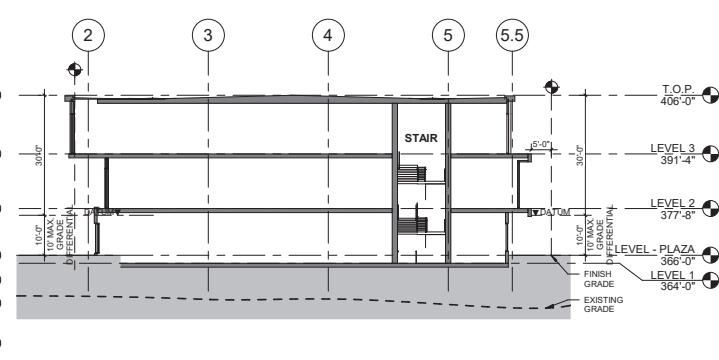
2 30-BUILDING SECTION 2
AS.2 1/16" = 1'-0"



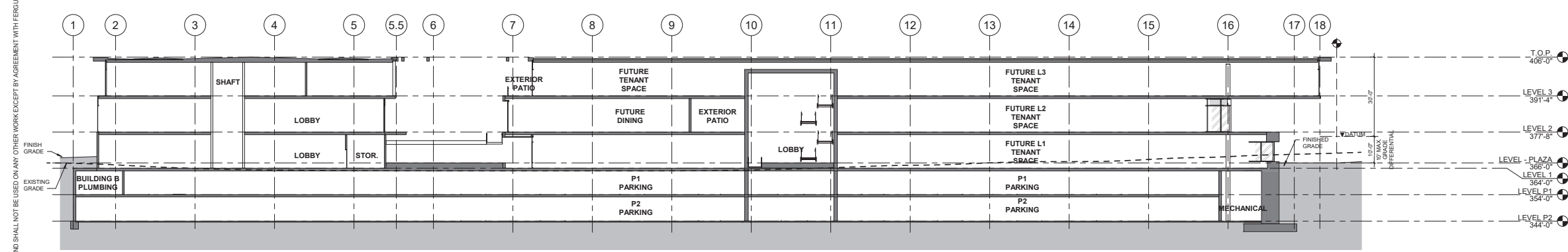
3 30-BUILDING SECTION 3
AS.2 1/16" = 1'-0"



4 30-BUILDING SECTION 4
AS.2 1/16" = 1'-0"



5 30-BUILDING SECTION 5
AS.2 1/16" = 1'-0"



6 30-BUILDING SECTION 6
AS.2 1/16" = 1'-0"



GENERAL NOTES

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
2. A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE. (PROPOSITION D)

KEYNOTES

PREPARED BY:	FERGUSON PAPE BALDWIN ARCHITECTS
ADDRESS:	4499 RUFFIN RD. #300 SAN DIEGO, CA 92123
PHONE NO #:	(619) 231-0751 / STEFANIE DEAL
PROJECT ADDRESS:	3020 & 3030 CALLAN RD SAN DIEGO, CA 92121
PROJECT NAME:	3020/3030 CALLAN ROAD NEW BUILDINGS
SHEET TITLE:	BUILDING 30 - BUILDING SECTIONS - 2
ORIGINAL PREPARATION DATE:	FEBRUARY 10, 2020
MUP PROJECT #:	
DEP #:	
SHEET:	49 OF 51

DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN	A	01/15/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL 1	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

BUILDING 30 - BUILDING SECTIONS - 2

A5.2

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FERGUSON
PAPE
BALDWIN
ARCHITECTS

4499 Ruffin Road
Suite 300
San Diego CA 92123
619 231 0751
www.fparch.com



NOTE:
THE DRAWINGS, GRAPHICS AND NOTES SHOWN IN THIS DOCUMENT ARE CONCEPTUAL. THE INTENT OF THIS DOCUMENT IS TO PROVIDE THE GUIDELINES FOR DEVELOPMENT AND CONSTRUCTION OF FUTURE BUILDINGS AND PARKING ON THIS SITE IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE CITY OF SAN DIEGO MUNICIPAL CODE, COMMUNITY PLAN AND COASTAL DEVELOPMENT REGULATIONS, WHILE MAINTAINING THE FLEXIBILITY TO ADJUST WITHIN THE GUIDELINES ESTABLISHED, BASED ON THE PROGRAM NEEDS OF THE POTENTIAL TENANT.

HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
3020/3030 CALLAN ROAD
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES



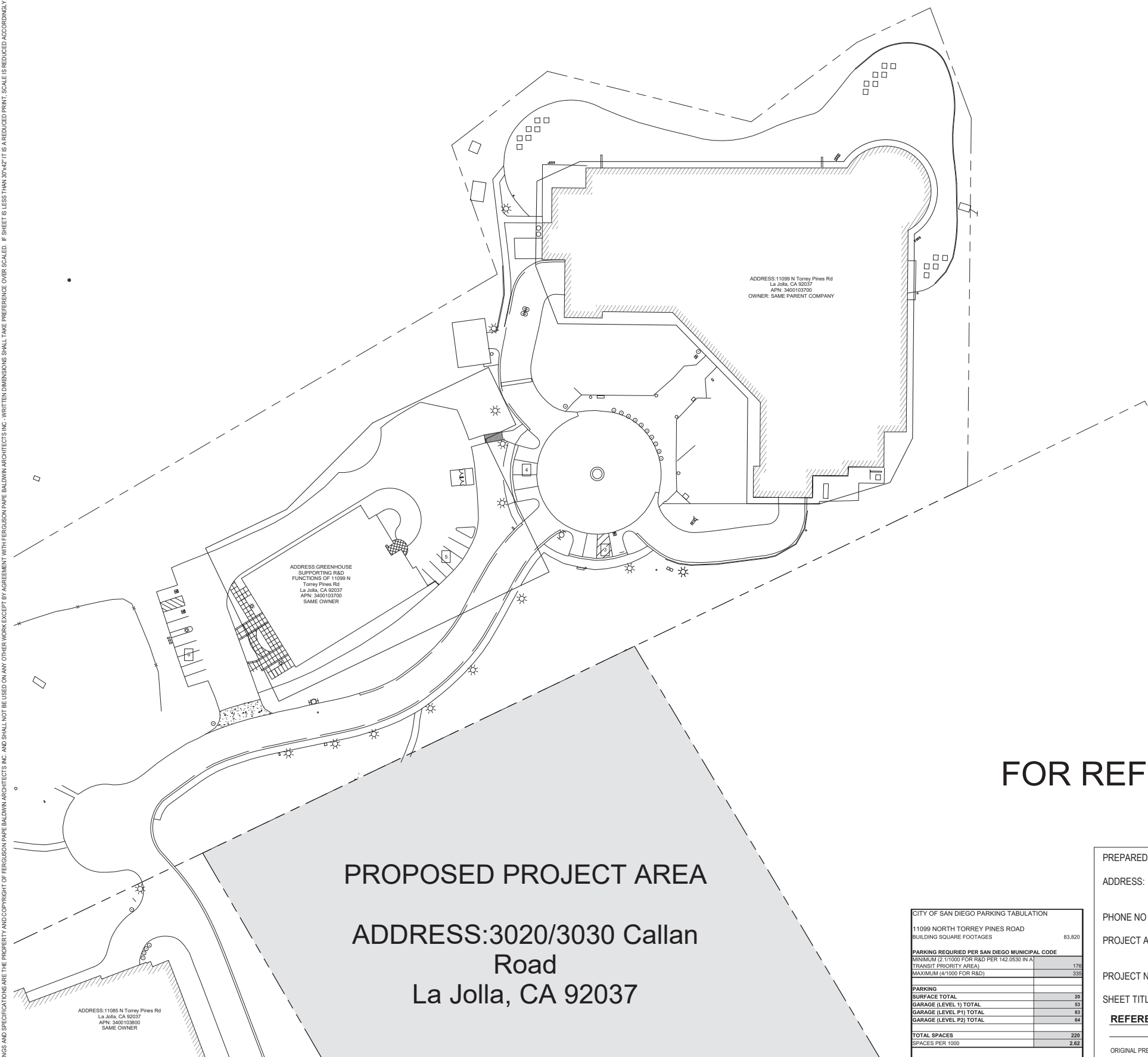
DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN/ DEVELOPMENT PERMIT DRAFT	A	01/31/2020
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

FPBA PROJECT NO.19049

REFERENCE PLANS - 11099 SITE PLAN

A9.1

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PROPOSED PROJECT AREA
ADDRESS: 3020/3030 Callan Road
La Jolla, CA 92037

ADDRESS: 11099 N Torrey Pines Rd
La Jolla, CA 92037
APN: 3400103700
OWNER: SAME PARENT COMPANY

ADDRESS: GREENHOUSE SUPPORTING ROAD
FUNCTIONS OF 11099 N Torrey Pines Rd
La Jolla, CA 92037
APN: 3400103700
SAME OWNER

ADDRESS: 11095 N Torrey Pines Rd
La Jolla, CA 92037
APN: 3400103800
SAME OWNER



OVERALL SITE KEY PLAN
NOT TO SCALE

FOR REFERENCE ONLY



CITY OF SAN DIEGO PARKING TABULATION	
11099 NORTH TORREY PINES ROAD BUILDING SQUARE FOOTAGES	83,820
PARKING REQUIRED PER SAN DIEGO MUNICIPAL CODE	
MINIMUM (2'11"00" FOR R&D PER 142,9530 IN A TRANSIT PRIORITY AREA)	178
MAXIMUM (4'10"00" FOR R&D)	335
PARKING	
SURFACE TOTAL	20
GARAGE (LEVEL P1) TOTAL	53
GARAGE (LEVEL P1) TOTAL	83
GARAGE (LEVEL P2) TOTAL	64
TOTAL SPACES	220
SPACES PER 1000	2.62
ACCESSIBLE PARKING	
ACCESSIBLE REQUIRED PER CBC 11B-208.2	6
ACCESSIBLE PROVIDED (TOTAL)	7

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD, #300
SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: REFERENCE PLANS - 11099 SITE PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

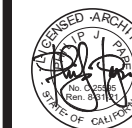
DEP #: _____ SHEET: 50 OF 51

1 REFERENCE PLANS - 11099 PARKING STREET SITE PLAN
A9.1 1" = 30'-0"



FERGUSON
PAPE
BALDWIN
ARCHITECTS

4499 Ruffin Road
Suite 300
San Diego CA 92123
619 231 0751
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HEALTHPEAK PROPERTIES, INC.
3020/3030 CALLAN ROAD NEW BUILDINGS
SAN DIEGO, CA 92121

Healthpeak
LIFE SCIENCE PROPERTIES

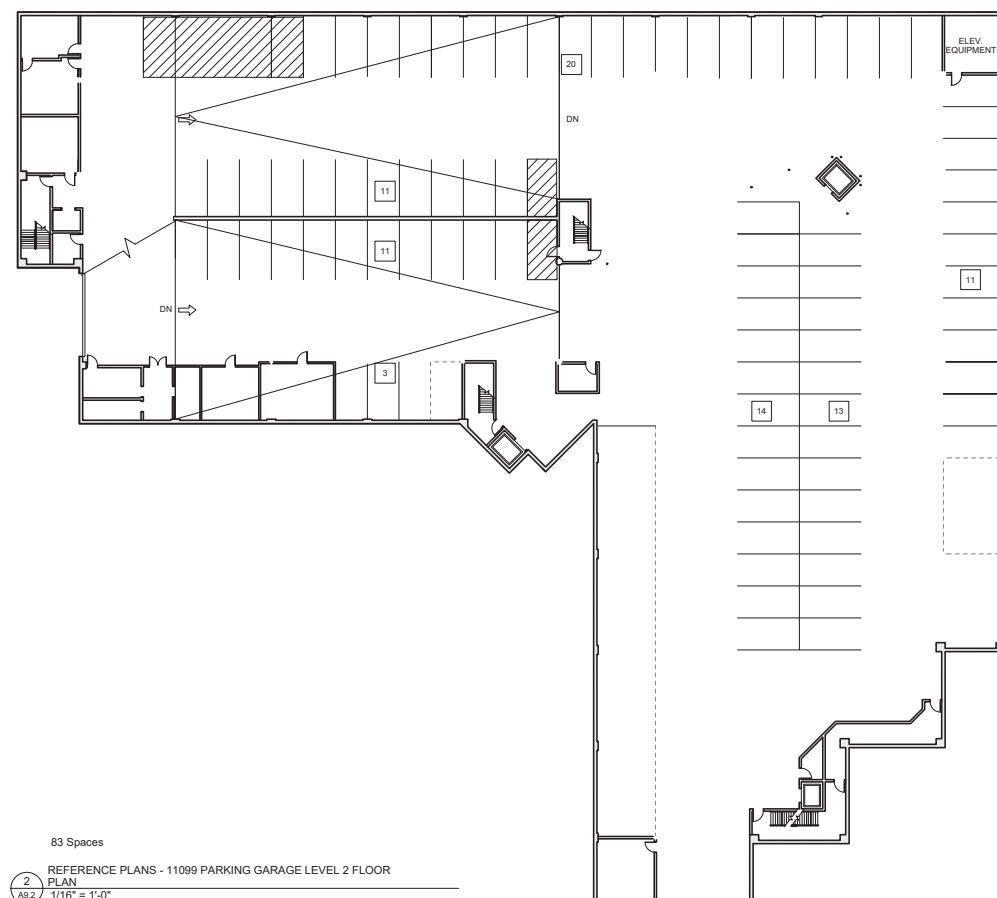


DESCRIPTION	NO.	DATE
SCHEMATIC DESIGN/1	A	01/31/2020
DEVELOPMENT PERMIT DRAFT		
DEVELOPMENT PERMIT SUBMITTAL	B	02/10/2020
DEVELOPMENT PERMIT SUBMITTAL 2	C	04/27/2020
DEVELOPMENT PERMIT SUBMITTAL 3	D	07/22/2020
DEVELOPMENT PERMIT SUBMITTAL 4	E	08/27/2020

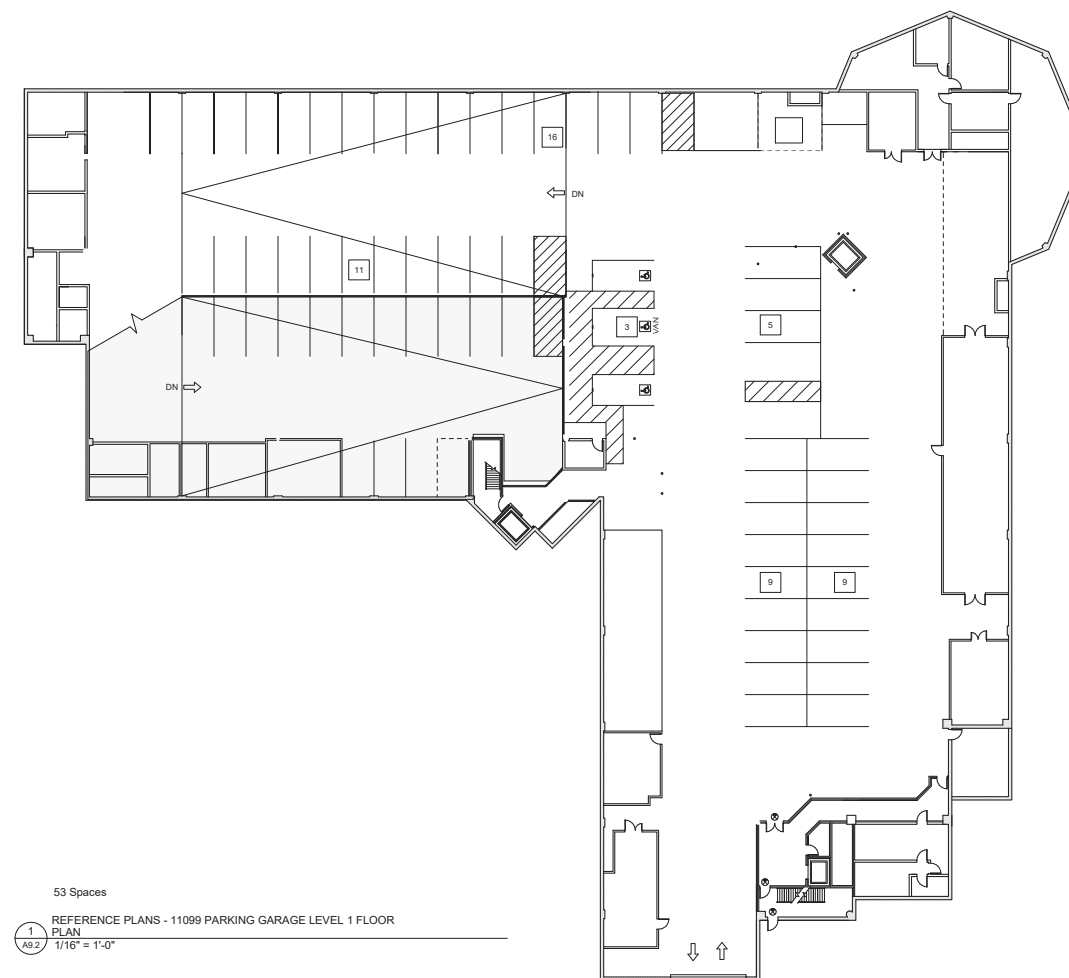
FPBA PROJECT NO.19049

REFERENCE PLANS - 11099 PARKING GARAGE FLOOR PLAN

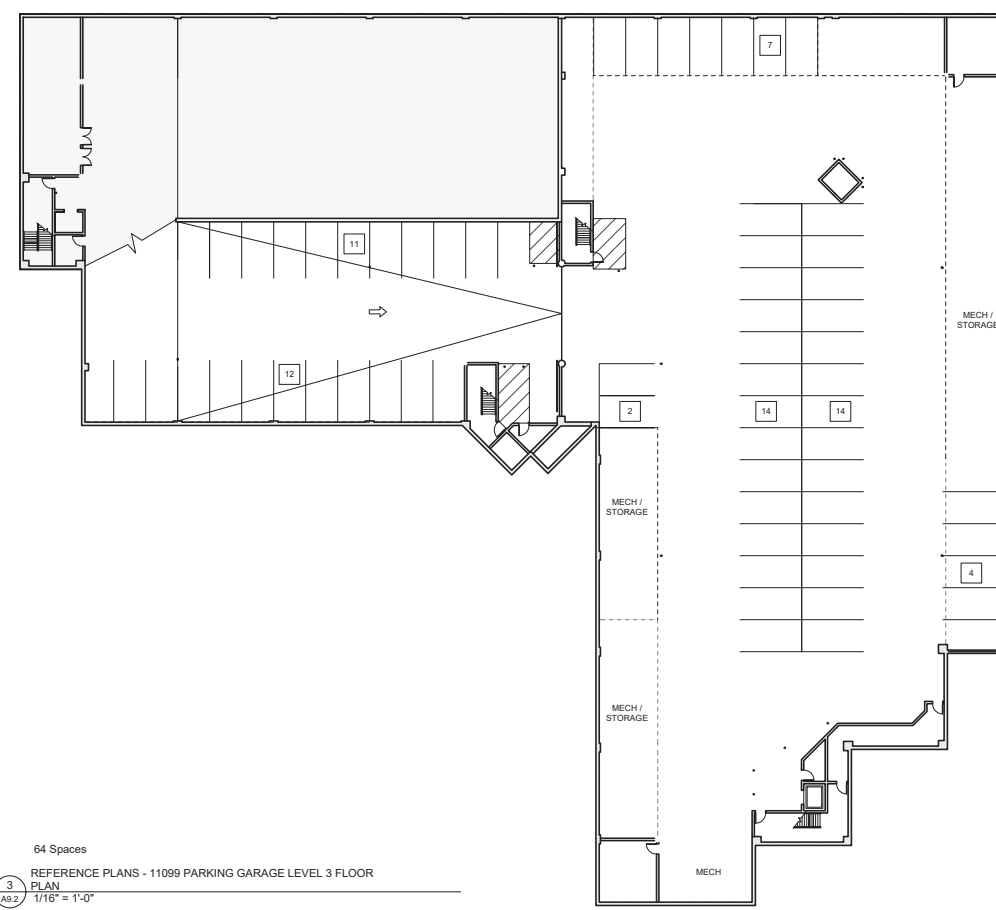
A9.2



83 Spaces
REFERENCE PLANS - 11099 PARKING GARAGE LEVEL 2 FLOOR
2 PLAN
AS.2 1/16" = 1'-0"



53 Spaces
REFERENCE PLANS - 11099 PARKING GARAGE LEVEL 1 FLOOR
1 PLAN
AS.2 1/16" = 1'-0"



64 Spaces
REFERENCE PLANS - 11099 PARKING GARAGE LEVEL 3 FLOOR
3 PLAN
AS.2 1/16" = 1'-0"

FOR REFERENCE ONLY



CITY OF SAN DIEGO PARKING TABULATION	
11099 NORTH TORREY PINES ROAD BUILDING SQUARE FOOTAGES	83,820
PARKING REQUIRED PER SAN DIEGO MUNICIPAL CODE	
MINIMUM (2'11"00" FOR R&D PER 142,853.0 IN A TRANSPORT PRIORITY AREA)	178
MAXIMUM (4'10"00" FOR R&D)	335
PARKING	
SURFACE TOTAL	20
GARAGE (LEVEL 1) TOTAL	53
GARAGE (LEVEL P1) TOTAL	83
GARAGE (LEVEL P2) TOTAL	64
TOTAL SPACES	220
SPACES PER 1000	2.62
ACCESSIBLE PARKING	
ACCESSIBLE REQUIRED PER CBC 11B-208.2	6
ACCESSIBLE PROVIDED (TOTAL)	7

PREPARED BY: FERGUSON PAPE BALDWIN ARCHITECTS

ADDRESS: 4499 RUFFIN RD. #300
SAN DIEGO, CA 92123

PHONE NO #: (619) 231-0751 / STEFANIE DEAL

PROJECT ADDRESS: 3020 & 3030 CALLAN RD
SAN DIEGO, CA 92121

PROJECT NAME: 3020/3030 CALLAN ROAD NEW BUILDINGS

SHEET TITLE: REFERENCE PLANS - 11099 PARKING GARAGE FLOOR PLAN

ORIGINAL PREPARATION DATE: FEBRUARY 10, 2020

MUP PROJECT #: _____

DEP #: _____ SHEET: 51 OF 51

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Oct 22, 2019 08:54 AM

OFFICIAL RECORDS

Ernest J. Dronenburg, Jr.,

SAN DIEGO COUNTY RECORDER
FEES: \$50.00 (SB2 Atkins: \$0.00)

PAGES: 13

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008148

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2332260

TORREY CDP – PROJECT NO. 627161

DEVELOPMENT SERVICES DEPARTMENT

This Coastal Development Permit No. 2332260 is granted by the Development Services Department of the City of San Diego to HCP TPSP LLC, a Delaware Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 16.98-acre site is located at 11085, 11077, 11011, and 11025 North Torrey Pines Road and is in the IP-1-1 Zone, the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limitation Zone, the CPIOZ-B Zone, the Fire - Brush Management Zone 100-foot setback, the Fire - Brush Management 300-foot Buffer Zone, and the Fire - Very High Fire Hazard Severity Zone within the University Community Plan area. The project site is legally described as: Parcel A – Parcels 1 and 2 of Parcel Map No. 10901, filed in the Office of the County Recorder of San Diego County, being a Division of Lot 11 of Torrey Pines Science Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 8434, filed in the Office of the County Recorder of San Diego County; Parcel B – A Maintenance and Access Agreement over, along and across all those portions of Parcel 1 of Parcel Map No. 10901 as recorded in the Office of the County Recorder of San Diego County on January 21, 1981, and Parcel 2 of Parcel Map No. 14129 as recorded in the Office of the County Recorder of San Diego County on January 27, 1986 all in the City of San Diego, County of San Diego, and State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the construction of outdoor improvements on a site with four existing buildings with landscaping described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 11, 2019, on file in the Development Services Department.

The project shall include:

- a. The construction of outdoor improvements on a site with four existing buildings with landscaping. Outdoor improvements include walkways, a mini putting green, landscaping, and decks; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

ORIGINAL

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 30, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until the Owner/Permittee signs and returns the Permit to the Development Services Department, and the Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to

comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for the project. All grading shall conform to the requirements of the City of San Diego Municipal Code (SDMC) in a manner satisfactory to the City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment and Maintenance Removal Agreement from the City Engineer for any landscaping/private improvements in the North Torrey Pines Road, North Torrey Pines Place and Callan Road right-of-way.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a two new driveways per current City Standards, adjacent to the site per Exhibit "A."
17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern, and preserving the contractor's stamp, adjacent to the site on North Torrey Pines Road and North Torrey Pines Place.
18. The Owner/Permittee shall reconstruct six existing curb ramps adjacent to the project site per Exhibit "A" with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with truncated domes.
19. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, in a manner satisfactory to the City Engineer.
20. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC.
21. Prior to the issuance of any construction permits, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of construction permit issuance.
22. Development of the project shall comply with all storm water construction requirements of the State Construction General Permit Order No. 2009-0009DWQ or subsequent order, and the Municipal Storm Water Permit Order No. R9-2013-0001 or subsequent order. In accordance with Order No. 2009-0009DWQ or subsequent order, a Risk Level Determination shall be calculated for the site, and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

23. Prior to issuance of a grading or construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

GEOLOGY REQUIREMENTS:

24. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

25. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego's Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A" on file in the Office of the Development Services Department.

27. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape construction documents for right-of-way improvements. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans unless long-term maintenance of said landscaping shall be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times consistent with the City of San Diego Landscape Regulations and Standards.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.



PLANNING/DESIGN REQUIREMENTS:

30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Development Services Department of the City of San Diego on September 11, 2019 and CM-6899.

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT


Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

HCP TPSP, LLC
Owner/Permittee

By 
Michael Dorris
Vice President

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Diego)

On October 18, 2019 before me, Stacie L. Maxwell, Notary Public,
Date Here Insert Name and Title of the Officer
personally appeared ---Xavier Del Valle---
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Torrey CDP - Project No. 627161
Document Date: September 11, 2019 Number of Pages: 7
Signer(s) Other Than Named Above: ---Michael Dorris---

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

ORIGINAL

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of San Diego)

On October 9, 2019 before me, Theresa Scarlett, Notary Public
(insert name and title of the officer)

personally appeared Michael Dorris,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Theresa Scarlett (Seal)

ORIGINAL

DEVELOPMENT SERVICES RESOLUTION NO. CM-6899
COASTAL DEVELOPMENT PERMIT NO. 2332260
TORREY CDP – PROJECT NO. 627161

WHEREAS, HCP TPSP LLC, a Delaware Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to construct outdoor improvements on a site with four existing buildings with landscaping (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2332260), on portions of a 16.98-acre site;

WHEREAS, the project site is located at 11085, 11077, 11011, and 11025 North Torrey Pines Road and is in the IP-1-1 Zone, the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limitation Zone, the CPIOZ-B Zone, the Fire - Brush Management Zone 100-foot setback, the Fire - Brush Management 300-foot Buffer Zone, and the Fire - Very High Fire Hazard Severity Zone within the University Community Plan area;

WHEREAS, the project site is legally described as Parcel A – Parcels 1 and 2 of Parcel Map No. 10901, filed in the Office of the County Recorder of San Diego County, being a Division of Lot 11 of Torrey Pines Science Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 8434, filed in the Office of the County Recorder of San Diego County; Parcel B – A Maintenance and Access Agreement over, along and across all those portions of Parcel 1 of Parcel Map No. 10901 as recorded in the Office of the County Recorder of San Diego County on January 21, 1981, and Parcel 2 of Parcel Map No. 14129 as recorded in the Office of the County Recorder of San Diego County on January 27, 1986 all in the City of San Diego, County of San Diego, and State of California;

WHEREAS, on August 23, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the

project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 11, 2019, the Development Services Department of the City of San Diego considered Coastal Development Permit No. 2332260 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Development Services Department of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2332260:

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located 11085, 11077, 11011, and 11025 North Torrey Pines Road and is developed with an industrial park with four existing buildings with landscaping within the University Community Plan area (Community Plan). The project includes outdoor improvements consisting of walkways, a mini putting green, landscaping, and decks. The project site is not located within the First Public Roadway, and there are no public view corridors, vantage points, or physical access routes from the project site. In addition, the project complies with the community goals regarding public view preservation since the project provides outdoor recreation opportunities for an existing land use that is compliant with the underlying IP-1-1 Zone and consistent with the Community Plan. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located 11085, 11077, 11011, and 11025 North Torrey Pines Road and is developed with an industrial park with four existing buildings with landscaping within the University Community Plan area. The project includes outdoor improvements consisting of walkways, a mini putting green, landscaping, and decks. The project site does not contain any sensitive biological resources or environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. In addition, the Permit requires the continued maintenance of all landscape improvements as shown on Exhibit A. An environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines 15301 (Existing Facilities). Therefore, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located 11085, 11077, 11011, and 11025 North Torrey Pines Road and is developed with an industrial park with four existing buildings with landscaping within the University Community Plan area. The project includes outdoor improvements consisting of walkways, a mini putting green, landscaping, and decks. The University Community Plan (Community Plan) designates the site as Industrial, and the Torrey Pines Subarea of the Community Plan designates the site as Scientific Research. The project provides outdoor recreation opportunities for an existing land use that is compliant with the underlying IP-1-1 Zone and consistent with the Community Plan. There are no deviations or variances necessary or requested. Therefore, the project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located 11085, 11077, 11011, and 11025 North Torrey Pines Road and is developed with an industrial park with four existing buildings with landscaping within the University Community Plan area. The project includes outdoor improvements consisting of walkways, a mini putting green, landscaping, and decks. The project site is not located within the First Public Roadway, and there are no public view corridors, vantage points, or physical access routes from the project site. In addition, the project will be developed entirely within private property, and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Coastal Development Permit No. 2332260 is hereby GRANTED by the Development Services Department to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2332260, a copy of which is attached hereto and made a part hereof.



Xavier Del Valle
Development Project Manager
Development Services

Adopted on: September 11, 2019

IO#: 24008148