



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 7, 2022 REPORT NO. HO-22-037

HEARING DATE: September 21, 2022

SUBJECT: K-4 Residence – Process Three Decision

PROJECT NUMBER: [522708](#)

OWNER/APPLICANT: MMK MANAGEMENT GROUP, LLC., (Owner/Applicant)

SUMMARY

Issue: Should the Hearing Officer approve Coastal Development Permit No. 2329555, Site Development Permit No. 2329556, and Easement Vacation No. 2597876 to demolish an existing single-family dwelling unit and construct a 7,695 square-foot, two-story over basement single-family dwelling unit and 643 square-foot attached garage and vacate a public utility easement on a 0.79-acre site located at 7595 Hillside Drive within the La Jolla Community Plan Area?

Staff Recommendation:

1. **APPROVE** Coastal Development Permit No. 2329555
2. **APPROVE** Site Development Permit No. 2329556
3. **APPROVE** Easement Vacation No. 2597876

Community Planning Group Recommendation: On November 25, 2019, the La Jolla Shores Planned District Advisory Board voted to deny the project 4-0-0. On March 4, 2021, the La Jolla Community Planning Group voted 14-0-1 to recommend approval (Attachment 9).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities) and Section 15332 (In-Fill Development) which allows for in-fill development on parcels of less than five acres. There is no pending appeal of the environmental determination. The environmental exemption determination for this project was made on May 24, 2022, and the opportunity to appeal that determination ended on June 8, 2022 (Attachment 8).

BACKGROUND

The 0.79-acre site is located at 7595 Hillside Drive (Attachments 1 and 2) and is currently developed with a 1,588 square-foot, single-story, single-family residence and a detached garage within an established residential area in the La Jolla Community Plan area. The existing structures are more than 45 years old, requiring City staff to evaluate the proposal for historic significance in accordance with San Diego Municipal Code (SDMC) Section [143.0212](#). Staff determined that the existing residence does not meet the local designation criteria as individually significant resources under any adopted Historical Resources Board Criteria.

The site is zoned LJSPD-SF (La Jolla Shores Planned District-Single Family) within the Coastal Overlay Zone (Non-appealable Area 2) and is subject to the regulations and development standards of the La Jolla Shores Planned District (LJSPD) Ordinance. The project is also subject to the Coastal Height Limit Overlay Zone (structure height shall not exceed 30 feet), the La Jolla Community Plan, the Parking Impact Overlay Zone (Coastal), and the Local Coastal Program.

The La Jolla Community Plan and Local Coastal Program Land Use Plan designates the site as Very Low-Density Residential with 0 to 5 dwelling units per acre (DU/AC) (Attachment 3). The project is in an established residential neighborhood surrounded by very low-density residential, parks, and open space zones. The site is located approximately 0.8 miles (4,224 feet) southeast of the Pacific Ocean and La Jolla Underwater Park, a little over a mile southeast of La Jolla Cove, and approximately 0.1 miles (500 feet) northeast of La Jolla Natural Park.

The project site contains Environmentally Sensitive Lands (ESL) in the form of Steep Hillside and Sensitive Biological Resources (0.27-acres of coastal sage scrub and 0.15-acres of disturbed wetlands). The project is located within the Multiple Species Conservation Program (MSCP). The project site is entirely outside of the Multiple Habitat Planning Area (MHPA), but MHPA does occur 450 feet west of the project site, adjacent to the La Jolla Natural Park.

An existing 6-foot wide public utility easement along the northwest portion of the property is proposed to be vacated. A water easement through the northeastern portion of the property will remain.

DISCUSSION

The proposed project requests a Site Development Permit, Coastal Development Permit, and Easement Vacation to demolish an existing single-family dwelling unit and construct a 7,695 square-foot, two-story over basement single-family dwelling unit and 643 square-foot attached garage and vacate a public utility easement along the southwest portion of the property. The single lot will remain at 34,412 square feet in size and the new construction would be developed with ministerial building permits after project approval in accordance with LJSPD-SF zone requirements.

Vehicular access to the attached garage and three off-street parking spaces will be provided via a driveway from Hillside Drive. The two-story development will include an upper main entry floor and attached garage at street level and a lower level. The house will be minimally visible from Hillside Drive as the majority of the structure would be built into the hillside.

Pursuant to the San Diego Municipal Code (SDMC), the proposed project requires the following three discretionary permits as shown in Table 1.

Table 1 – Required Permits		
Permit	Required per	Reason
Coastal Development Permit (CDP) – Process Two	SDMC 126.0702	Required as the site is located within the Coastal Overlay Zone (Non-Appealable 2).
Site Development Permit (SDP) – Process Three	SDMC 126.0502(a) and SDMC 159.0201	(1) Required due to the presence of Steep Hill-sides and Sensitive Biological Resources – Coastal Sage Scrub and wetlands. (2) The site is within the La Jolla Shores Planned District.
Easement Vacation (EV – Process Two	SDMC 125.1030(b)	Required to vacate a Public Utility Easement by an Alternative Vacation.

The discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in SDMC Section [112.0103](#). Therefore, the decision to approve, conditionally approve, or deny the project will be made by the Hearing Officer and is appealable to the Planning Commission.

The project site contains Environmentally Sensitive Lands (ESL) in the form of Steep Hill-sides and Sensitive Biological Resources (coastal sage scrub and disturbed wetlands). The topography of the site ranges from the elevations of approximately 335 feet above mean sea level (AMSL) at the top of the slope to 235 feet AMSL. The slope is more than 50 feet in vertical elevation and is considered steep hill-sides; however, the proposed development does not impact or encroach into the steep hill-sides and, at 24% development area, the project complies with the 25% allowable development area per SDMC [143.0142 \(a\)\(2\)](#).

The project site contains 0.27-acres of coastal sage scrub which is located outside of the proposed development area, therefore no impacts would occur. In addition, the project is conditioned to record a Covenant of Easement for 25,995 square feet which ensures the preservation of the Environmentally Sensitive Lands that are outside the allowable development area.

The site contains 0.15-acres of City-jurisdictional wetlands outside of the development area. The Brush Management Zone 2 (BMZ-2) encroaches into the City wetlands, therefore, in order to avoid impacts, there will be no BMZ-2 and the project has been conditioned to include a Brush Management Program that consists of a modified Zone One and alternative compliance measures including upgraded dual-glazed and dual-tempered panes on all windows and/or door openings along the brush side of the habitable structures, plus a 10-foot perpendicular return along adjacent wall faces in accordance with SDMC Sections [142.0412\(i\)](#) and [142.0412\(j\)](#) and Fire Prevention Bureau Policy FPB-18-01. A 100-foot buffer has also been established around the City wetlands and storm water runoff will be conveyed away from the slope and City wetlands.

An existing 6-foot wide public utility easement along the northwest portion of the property is proposed to be vacated. A water easement through the northeastern portion of the property will remain.

Community Plan Analysis:

The La Jolla Shores Planned District Ordinance zones the site LJSPD-SF, which conforms with the [La Jolla Community Plan and Local Coastal Program Land Use Plan](#) and [General Plan](#). The project proposes the construction of a new single-family dwelling unit (7,695 square feet) and garage (643 square feet) totaling 8,338 square feet. The project proposes development of only 24 percent of the 34,412 square-foot lot. The project is consistent with the La Jolla Community Plan and Local Coastal Program Land Use Plan which designates the site as Very Low Density Residential with a density of 0-5 dwelling units an acre. The proposed single-family dwelling unit on a 0.79-acre site is consistent with the underlying land-use designation.

The proposed development will protect public views by keeping all development within the 30-foot coastal height limit. The project is not located within the First Public Roadway, and there are no public view corridors, scenic overlooks, or physical access routes from the project site, as identified in the La Jolla Community Plan and Local Coastal Program Land Use Plan ([Figure 9, Pages 35-36](#)).

CONCLUSION

City Staff has reviewed this application for a Coastal Development Permit, Site Development Permit, and Easement Vacation and all issues identified through the review process have been resolved in conformance with the Land Development Code, the La Jolla Shores Planned District, the Coastal Height Limit Overlay Zone, and the Local Coastal Program. Therefore, draft findings, permit conditions, and Easement Vacation conditions (Attachments 4-7) to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2329555, Site Development Permit No. 2329556, and Easement Vacation No. 2597876, with modifications.
2. Deny Coastal Development Permit No. 2329555, Site Development Permit No. 2329556, and Easement Vacation No. 2597876, if the findings required to approve the project cannot be affirmed.

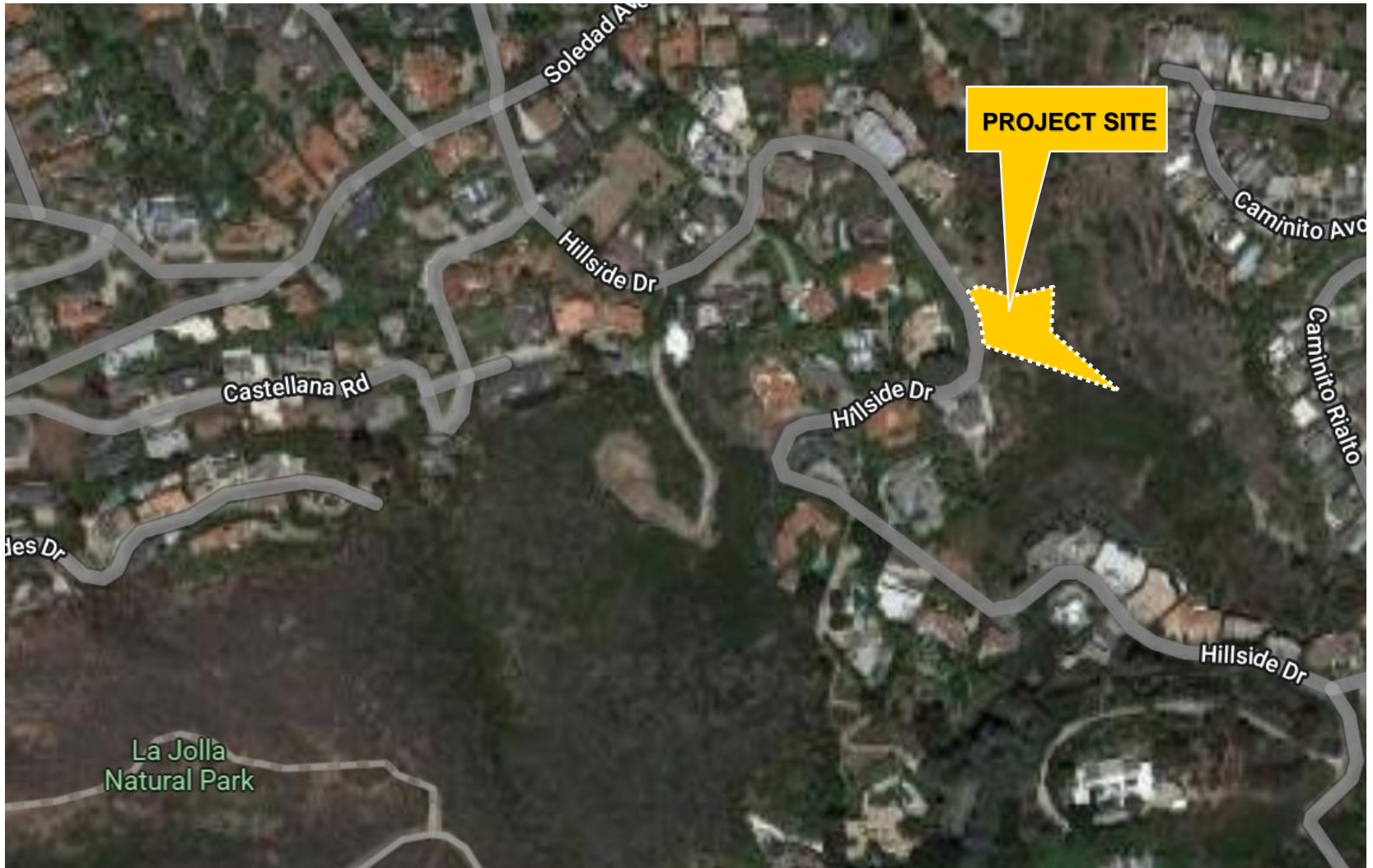
Cynthia G. Chong

Cynthia G. Chong, Development Project Manager

Attachments:

1. Aerial Photograph
2. Project Location Map
3. Community Plan Land Use Map

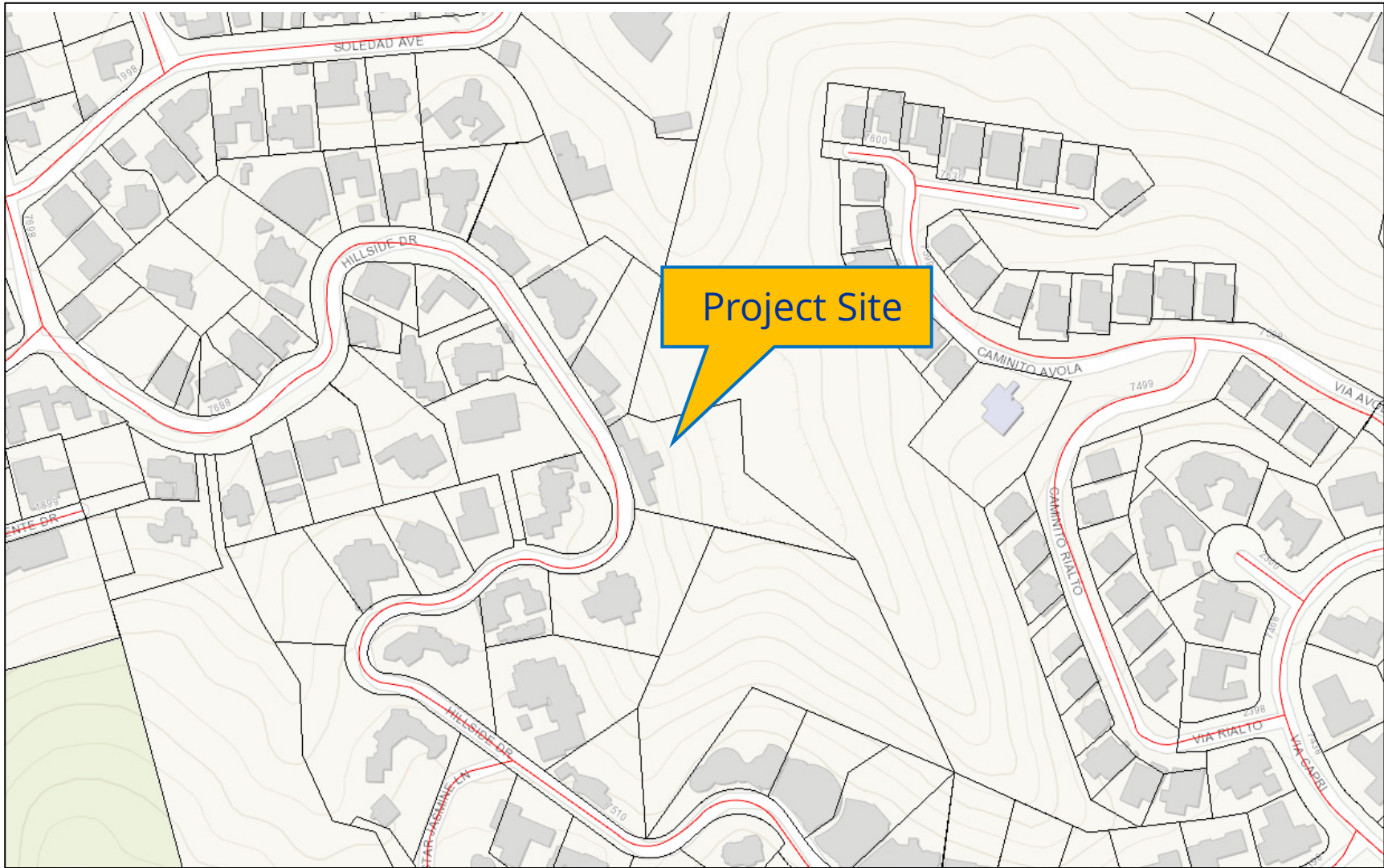
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Draft Easement Resolution
7. Easement Vacation Exhibit A and Exhibit B
8. Environmental Exemption
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans



Aerial Photo

K-4 Residence CDP SDP EV / 7595 Hillside Dr
PROJECT NO. 522708





Project Location Map

K-4 Residence CDP SDP EV / 7595 Hillside Dr
PROJECT NO. 522708





- Legend
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities



Land Use Map

K-4 Residence CDP SDP EV / 7595 Hillside Dr
PROJECT NO. 522708



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2329555
SITE DEVELOPMENT PERMIT PROJECT NO. 2329556
K-4 RESIDENCE - PROJECT NO. 522708

WHEREAS, MMK Management Group, LLC, Owner/Permittee, filed an application with the City of San Diego for Coastal Development Permit No. 2329555 and Site Development Permit No. 2329556 to demolish an existing single-family dwelling unit and construct a 7,695 square foot two-story over basement single-family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2329555 and Site Development Permit No. 2329556) on portions of a 0.79-acre site;

WHEREAS, the project site is located at 7595 Hillside Drive in the LJSPD-SF (La Jolla Shores Planned District-Single Family) zone of the La Jolla Community Plan;

WHEREAS, the project site is legally described as Parcel 1 of Parcel Map No. 3359, in the City of San Diego, County of San Diego, State of California, according to the Map thereof, filed in the office of the County Recorder of San Diego County, December 30, 1974;

WHEREAS, on May 24, 2022, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301 (Existing Facilities) and CEQA Guidelines Section 15332 (In-Fill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 21, 2022, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2329555 and Site Development Permit No. 2329556. pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2329555 and Site Development Permit No. 2329556:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located at 7595 Hillside Drive and is developed with a single-story, 1,588 square-foot, single-family residence and a detached garage within an established residential area in the La Jolla Community Plan and Local Coastal Program Land Use Plan. The project proposes the demolition of the existing residence and construction of a new 7,695 square-foot, two-story over basement single-family dwelling unit and a 643 square-foot attached garage.

The proposed development will enhance and protect public views by keeping all development within the 30-foot coastal height limit. The La Jolla Community Plan and Local Coastal Program Land Use Plan do not identify any public views from this property along the ocean. The property is not designated as a viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the Community Plan. Furthermore, the proposed coastal development will not degrade and will not remove, eliminate, or detract from any protected public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program. The project is not located within the First Public Roadway, and there are no physical access routes from the project site, as identified in the La Jolla Community Plan and Local Coastal Program Land Use Plan.

Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land-use plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site contains Environmentally Sensitive Lands (ESL) in the form of Steep Hillside and Sensitive Biological Resources (coastal sage scrub and disturbed wetlands). Topography of the site ranges from elevations of approximately 335 feet above mean sea level (AMSL) at the top of the slope to 235 feet AMSL. The slope is more than 50 feet in

vertical elevation and is considered steep hillsides; however, the proposed development does not impact or encroach into the steep hillsides and, at 24 percent development area, the project complies with the allowable 25 percent development area per SDMC 143.0142 (a)(2).

The project site contains 0.27-acres of coastal sage scrub which is located outside of the proposed development area and is already disturbed and developed. Therefore, no impacts would occur. In addition, the project is conditioned to record a Covenant of Easement for 25,995 square-feet of the site which ensures preservation of the ESL outside of the allowable development area.

The site contains 0.15-acres of City-jurisdictional wetlands outside of the development area. The Brush Management Zone 2 (BMZ-2) encroaches into the City wetlands. In order to avoid impacts to onsite wetlands, there will be no BMZ-2. The project has been conditioned to include a Brush Management Program that consists of a modified Zone One and alternative compliance measures including: upgraded dual-glazed and dual-tempered panes on all windows and/or door openings along the brush side of the habitable structures; and a 10-foot perpendicular return along adjacent wall faces in accordance with San Diego Municipal Code (SDMC) Sections 142.0412(i) and 142.0412(j) and Fire Prevention Bureau Policy FPB-18-01. A 100-foot buffer has also been established around the City wetlands and storm water runoff will be conveyed away from the slope and City wetlands. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 7595 Hillside Drive, and is developed with a single-story, 1,588 square-foot single-family residence and a detached garage within an established residential area in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project includes the demolition of the existing residence and construction of a new 7,695 square-foot, two-story over basement single-family dwelling unit and a 643 square-foot attached garage.

The project site is designated for very low-density residential uses (0-5 dwelling units per net residential acre). This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed project results in a density of one dwelling unit per acre, which implements the prescribed density.

The project also complies with the Community Plan goal of addressing transitions between the bulk and scale of new and older development in residential areas, and maintaining the existing 30-foot height limit of the single dwelling unit zones and Proposition D. The project also steps back the second story to maintain the integrity of the streetscape and provides adequate amounts of light and air. Therefore, the proposed project is in conformity with the

certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The 0.79-acre lot is currently developed with an existing single dwelling unit and detached garage. The project proposes the demolition of the existing residence and construction of a new 7,695 square-foot, two-story over basement single-family dwelling unit and a 643 square-foot attached garage. The site is located within an urbanized and residential neighborhood. As such, the single-family residence will be part of an established very low-density residential neighborhood. The project site is not located between the first public road and the sea or shoreline of any body of water located within the Coastal Overlay Zone. No public access or public recreation facilities exist on the project site. Therefore, the proposed project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT [SDMC SECTION 126.0505]

1. Findings for all Site Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

The project proposes the demolition of the existing residence and construction of a new 7,695 square-foot, two-story over basement single-family dwelling unit and a 643 square-foot attached garage. The project site is designated for very low-density residential uses (0-5 dwelling units per net residential acre). This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed project results in a density of one dwelling unit per acre, which implements the prescribed density.

The site is surrounded by single-family residences and open space. The project site is not located within the first public roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan.

The project also complies with the Community Plan goal of addressing transitions between the bulk and scale of new and older development in residential areas, and maintaining the existing 30-foot height limit of the single dwelling unit zones and Proposition D. The project also steps back the second story to maintain the integrity of the streetscape and provides adequate amounts of light and air. The project is not requesting any deviations or variances from the applicable regulations, and therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to public health, safety, and welfare.

The 0.79-acre lot is currently developed with an existing single-family dwelling unit and detached garage. The project proposes the demolition of the existing residence and construction of a new 7,695 square-foot, two-story over basement single-family dwelling unit and a 643 square-foot attached garage.

All drainage is routed according to accepted engineering practices. The project is conditioned to include implementation of a Brush Management Program, landscaping, and irrigation which meet City standards and will minimize the risk of fire. In addition, the project is conditioned to include alternative compliance measures including upgraded dual-glazed and dual-tempered panes on all windows and/or door openings along the brush side of the habitable structures, plus a 10-foot perpendicular return along adjacent wall faces in accordance with San Diego Municipal Code (SDMC) Sections 142.0412(i) and 142.0412(j) and Fire Prevention Bureau Policy FPB-18-01.

The project will not have any impact or increase the need or provision of essential public services. The project will not be detrimental to public health, safety, and welfare in that the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations, and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing and/or working in the area.

Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine if the construction of the project will comply with all applicable regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with applicable regulations. Therefore, the project will not be detrimental to public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 7595 Hillside Drive and is developed with a single-story, 1,588 square-foot single-family residence and a detached garage within an established residential area in the La Jolla Community Plan and Local Coastal Program Land Use Plan areas. The project proposes the demolition of the existing residence and construction of a new 7,695 square-foot, two-story over basement single-family dwelling unit and a 643 square-foot attached garage.

The project site is designated by the community plan for very low-density residential uses (0-5 dwelling units per net residential acre). This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed project results in a density of one dwelling unit per acre, which implements the prescribed density.

The project also complies with the Community Plan goal of addressing transitions between the bulk and scale of new and older development in residential areas, and maintaining the existing 30-foot height limit of the single dwelling unit zones and Proposition D. The project also steps back the second story to maintain the integrity of the streetscape and provides adequate amounts of light and air. Setbacks and bulk and scale are in general conformity to those in the vicinity based on area surveys, consistent with the Community Plan's Residential Recommendations.

The project does not request, nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, and development standards in effect for the site. Therefore, the project will comply with the regulations of the Land Development Code.

2. Supplemental Findings--Environmentally Sensitive Lands [SDMC Section 126.0505(b)]:

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project site at 7595 Hillside Drive is physically suitable for the design and siting of the proposed development because it has been previously developed with a single-family dwelling unit adjacent to Hillside Drive. The project has been designed to be the least impactful to Environmentally Sensitive Lands (ESL). The development area has been limited to 24 percent of the overall lot and is adjacent to Hillside drive. The two-story development will include an upper main entry floor and attached garage at street level and a lower level. The house will be minimally visible from Hillside Drive as the majority of the structure would be built into the hillside.

The project site contains ESL in the form of Steep Hillside and Sensitive Biological Resources (coastal sage scrub and disturbed wetlands). The proposed development does not impact or encroach into the steep hillsides and the project complies with the allowable development area per SDMC 143.0142 (a)(2). The project site contains 0.27-acres of coastal sage scrub located outside of the proposed development area, which is already disturbed and developed. Therefore, no impacts would occur. The site contains 0.15-acres of City-jurisdictional wetlands outside of the development area. The Brush Management Zone 2 (BMZ-2) encroaches into the City wetlands. In order to avoid impacts, there will be no BMZ-2 and the project has been conditioned to include a Brush Management Program that consists of a modified Zone One and alternative compliance measures for fire safety. A 100-foot buffer has also been established around the City wetlands and storm water runoff will be conveyed away from the slope and City wetlands. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The project site is located at 7595 Hillside Drive and proposes the demolition of the existing residence and construction of a new 7,695 square-foot, two-story over basement single-family dwelling unit and a 643 square-foot attached garage.

The development area has been limited to 24 percent of the overall lot and is adjacent to Hillside drive. The two-story development will include an upper main entry floor and attached garage at street level and a lower level. The majority of the residential structure will be built into the hillside. The project has been conditioned to obtain a bonded grading permit for the grading proposed for this project and all grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

The proposed project is mapped within Geologic Hazard Category 27 which is categorized slide-prone formations: Otay, Sweetwater and others. The Geology Section has reviewed and accepted the provided geotechnical documents prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project. The project is conditioned to submit a geotechnical investigation report that specifically addresses the proposed construction plans for adequacy and a Notice of Geologic and Geotechnical Conditions must be recorded against the subject property.

The project has been conditioned to include planting, irrigation, and landscape-related improvements as well as a Brush Management Program that consists of a modified Zone One and alternative compliance measures which will minimize the risk of fire. The project will implement storm water construction best management practices. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project has been designed to be the least impactful to ESL. The development area has been limited to 24 percent of the overall 34,412 square-foot lot and is situated closest to Hillside drive to minimize the disturbed area and preserve the existing ESL. The two-story development will include an upper main entry floor and attached garage at street level and a lower level. The house will be minimally visible from Hillside Drive as the majority of the structure will be built into the hillside.

The project site contains ESL in the form of Steep Hillsides and Sensitive Biological Resources (coastal sage scrub and disturbed wetlands). Topography of the site ranges from elevations of approximately 335 feet above mean sea level (AMSL) at the top of the slope to 235 feet AMSL. The slope is more than 50 feet in vertical elevation and is considered steep hillsides; however, the proposed development does not impact or encroach into the steep hillsides and the project complies with the allowable development area per SDMC 143.0142 (a)(2).

The project site contains 0.27-acres of coastal sage scrub located outside of the proposed development area which is already disturbed and developed. Therefore, no impacts would occur. In addition, the project is conditioned to record a Covenant of Easement for 25,995 square-feet of the site which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area.

The site contains 0.15-acres of City-jurisdictional wetlands outside of the development area. The Brush Management Zone 2 (BMZ-2) encroaches into the City wetlands. In order to avoid wetland impacts, there will be no BMZ-2 and the project has been conditioned to include a Brush Management Program that consists of a modified Zone One and alternative compliance measures including: upgraded dual-glazed and dual-tempered panes on all windows and/or door openings along the brush side of the habitable structures; and a 10-foot perpendicular return along adjacent wall faces in accordance with SDMC Sections 142.0412(i) and 142.0412(j) and Fire Prevention Bureau Policy FPB-18-01. A 100-foot buffer has also been established around the City wetlands and storm water runoff will be conveyed away from the slope and City wetlands. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The 0.79-acre lot is currently developed with an existing single-family dwelling unit and detached garage. The project proposes demolition of the existing residence and construction of a new 7,695 square-foot, two-story over basement single-family dwelling unit and a 643 square-foot attached garage. The site is located within an urbanized and residential neighborhood.

The project is located within the Multiple Species Conservation Program (MSCP). The project site is entirely outside of the Multiple Habitat Planning Area (MHPA), but MHPA does occur 450 feet west of the project site, adjacent to the La Jolla Natural Park. The project site is not within a Vernal Pool Habitat Conservation Plan (VPHCP).

The site contains 0.15-acres of City-jurisdictional wetlands outside of the project's 24 percent development area. The Brush Management Zone 2 (BMZ-2) encroaches into the City wetlands. In order to avoid impacts, there will be no BMZ-2 and the project has been conditioned to include a Brush Management Program that consists of a modified Zone One and alternative compliance measures including: upgraded dual-glazed and dual-tempered panes on all windows and/or door openings along the brush side of the habitable structures; and a 10-foot perpendicular return along adjacent wall faces in accordance with SDMC Sections 142.0412(i) and 142.0412(j) and Fire Prevention Bureau Policy FPB-18-01. A 100-foot buffer has also been established around the City wetlands and storm water runoff will be conveyed away from the slope and City wetlands. Therefore, proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project is in an established residential neighborhood surrounded by very low-density residential, parks, and open space zones. The site is located approximately 0.8 miles (4,224 feet) southeast of the Pacific Ocean and La Jolla Underwater Park, and a little over a mile southeast of La Jolla Cove. The project site does not drain directly to a beach or shoreline. Site drainage has been designed according to best engineering practices and is not anticipated to negatively affect any beaches or shorelines. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project site contains ESL in the form of Steep Hillsides and Sensitive Biological Resources (coastal sage scrub and disturbed wetlands), however, the project has been designed to be the least impactful to ESL. The development area has been limited to 24 percent of the overall 34,412 square-foot lot and is situated closest to Hillside drive to minimize the disturbed area and preserve the existing ESL. The proposed development does not impact or encroach into the steep hillsides and the project complies with the allowable development area per SDMC 143.0142 (a)(2). The project site contains 0.27-acres of coastal sage scrub located outside of the proposed development area which is already disturbed and developed. Therefore, no impacts would occur. The site contains 0.15-acres of City-jurisdictional wetlands also outside of the project's 24 percent development area.

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities) and Section 15332 (In-Fill Development) which allows for in-fill development on parcels of less than five acres. No mitigation is required for this project and therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. 2329555 and Site Development Permit No. 2329556 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Coastal Development Permit No. 2329555 and Site Development Permit No. 2329556, a copy of which is attached hereto and made a part hereof.

Cynthia G. Chong

Development Project Manager
Development Services

Adopted on: September 21, 2022

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007080

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2329555
SITE DEVELOPMENT PERMIT NO. 2329556
K-4 RESIDENCE - PROJECT NO. 522708
HEARING OFFICER

This Coastal Development Permit No. 2329555 and Site Development Permit No. 2329556 is granted by the Hearing Officer of the City of San Diego to MMK Management Group, LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702 and 126.0502(a). The 0.79-acre project site is located at 7595 Hillside Drive in the LJSPD-SF (La Jolla Shores Planned District-Single Family) zone of the La Jolla Community Plan. The project site is legally described as Parcel 1 of Parcel Map No. 3359, in the City of San Diego, County of San Diego, State of California, according to the Map thereof, filed in the office of the County Recorder of San Diego County, December 30, 1974.

Subject to the terms and conditions set forth in this Permit, permission is granted to MMK Management Group, LLC, Owner/Permittee to demolish an existing dwelling unit and construct a new single-family dwelling unit as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 21, 2022, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing dwelling unit and garage and construction of a 7,695 square-foot, two-story over basement single-family dwelling unit and 643 square-foot attached garage;
- b. Landscaping (planting, irrigation, and landscape-related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by October 5th, 2025.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation-related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to building occupancy, the Owner/Permittee shall vacate the existing public utility easement, per exhibit 'A', satisfactory to the City Engineer.

13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of new City standard curb and gutter, and grade the parkway area to 2% fall towards the street, adjacent to the site on Hillside Drive, satisfactory to the City Engineer.

14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the non-standard driveway, private walkway/pavers, landscape and irrigation located within the Hillside Drive's right-of-way, satisfactory to the City Engineer.

15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of the non-standard driveway, adjacent to the site on Hillside Drive, satisfactory to the City Engineer.

16. The drainage system proposed for this development is subject to approval by the City Engineer.

17. Prior to the issuance of any building permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code (SDMC), into the construction plans or specifications.

19. The project proposes to export 2000 cubic yards of material from the project site. All excavated material listed to be exported shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), and Regional Supplement Amendments adopted by Regional Standards Committee.

PLANNING/DESIGN REQUIREMENTS:

20. The automobile, motorcycle, and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

22. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources and Steep Hillsides, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

23. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENTS:

24. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

25. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a conformed copy of the "Notice of Geologic and Geotechnical Conditions" recorded against the property. Contact the Geology Section for a draft of the Notice. As a condition of this permit, an inspection hold (Tier 1) will be placed on the construction permit. No work under the construction permit may proceed and no City inspections will be authorized until the Notice of Geologic and Geotechnical Conditions is fully executed and recorded.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan and the Land Development Manual - Landscape Standards. Unplanted recreational areas, walks (areas used for access whether paved, mulched, steppingstone, ground cover, or similar), and driveways may not count towards the minimum landscape area.

27. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed and litter-free condition at all times. Severe pruning or "topping" of trees is not permitted.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it

shall be repaired and/or replaced in kind and with equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

30. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown in Exhibit "A" on file in the Development Services Department.

31. The Brush Management Program shall consist of a modified Zone One ranging from 10-feet to 17 feet 8-inches and an expanded Zone Two of 90-feet. In addition, Alternative Compliance measures of upgraded dual-glazed and dual-tempered panes shall be implemented on all windows and/or door openings along the brush side of the habitable structures, plus a 10-foot perpendicular return along adjacent wall faces in accordance with SDMC Sections 142.0412(i) and 142.0412(j) and Fire Prevention Bureau Policy FPB-18-01.

32. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

33. Prior to issuance of any building permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

34. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to the Fire Marshal's approval.

35. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

36. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

37. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

38. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

39. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 21, 2022, and [resolution number].

ATTACHMENT 5

Coastal Development Permit No. 2329555
Site Development Permit No. 2329556
Date of Approval: September 21, 2022

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Cynthia G. Chong
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

MMK MANAGEMENT GROUP, LLC.
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER _____

DATE OF FINAL PASSAGE SEPTEMBER 21st, 2022

A RESOLUTION FOR EASEMENT VACATION TO ABANDON AN EXISTING 232.80 SQUARE FOOT PUBLIC UTILITY EASEMENT LOCATED AT 7595 HILLSIDE DRIVE, PARCEL1 OF PARCEL MAP NO. 3359 EASEMENT VACATION NO. 2597876 – PROJECT NO. 522708

WHEREAS, San Diego Municipal Code section 125.1010(a) provides a procedure for the vacation of public easements by City staff designated by the City Manager; and

WHEREAS, MMK Management Group, LLC, filed an application to vacate a Public Service Easement located at 7595 Hillside Drive within the La Jolla Community Plan area, Easement Vacation No. 2597876; and

WHEREAS, it is proposed that the existing 6-foot wide, 232.80 square-foot public utility easement legally described as POINT OF BEGINNING IS THE NORTHWESTERLY CORNER OF SAID PARCEL 1, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF HILLSIDE DRIVE; THENCE ALONG SAID RIGHT OF WAY, NORTH 32°02'19" WEST 21.92 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID RIGHT OF WAY NORTH 32°02'19" WEST 8.16 FEET; THENCE LEAVING SAID RIGHT OF WAY, NORTH 15°19'29" EAST 44.54 FEET; TO THE NORTHWESTERLY LINE OF SAID PARCEL 1; THENCE ALONG SAID NORTHWESTERLY LINE, SOUTH 57°49'56" WEST 8.88 FEET; THENCE LEAVING SAID NORTHWESTERLY LINE, SOUTH 15°19'29" WEST 32.47 FEET; TO A POINT ON THE NORTHERLY RIGHT OF WAY OF HILLSIDE DRIVE, SAID POINT BEING THE TRUE POINT OF BEGINNING, Easement Vacation No. 2597876 be vacated; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to vacation of the existing City of San Diego public utility easement located at

7595 Hillside Drive, Parcel 1 of Parcel Map No. 3359, Assessor Parcel Number 352-141-01-00,

Easement Vacation No. 2597876:

A. EASEMENT VACATIONS [San Diego Municipal Code (SDMC) Section 125.1030

1. Findings for Public Service Easement and Other Easement Vacations:

- a. There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.**

The existing "all-purpose" utility easement proposed to be vacated is located along the southwest portion of the property located at 7595 Hillside Drive (Assessor Parcel Number 352-141-01-00) and legally described as Parcel 1 of Parcel Map No. 3359, in the City of San Diego, County of San Diego, State of California, according to Map thereof, filed in the office of the County Recorder of San Diego County, December 30, 1974. The original six-foot wide "all purpose" utility easement was originally dedicated in 1912 for future planned utilities as "placing, erecting and maintaining thereon electric light, power, telephone, and telegraph poles and wires, and also for underground sewers, water mains, water pipes and drains."

No portion of the easement vacation is within the public right-of-way. Therefore, there is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

- b. The public will benefit from the action through improved utilization of the land made available by the vacation.**

The existing City of San Diego "all-purpose" utility easement proposed to be vacated is located within a portion of 7595 Hillside Drive, in the LJSPD-SF (La Jolla Shores Planned District-Single Family) zone within the La Jolla Community Plan.

The six-foot-wide "all-purpose" utility easement has been abandoned, there are no utility facilities connected and the easement is not now and will not in the future be utilized for any public facilities. The Project will eliminate an unnecessary and unproductive encumbrance on the Property and will facilitate a productive use of the property in the future consistent with the adopted La Jolla Community Plan and the LJSPD-SF (La Jolla Shores Planned District-Single Family) zone. Therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

- c. The vacation is consistent with any applicable land use plan.**

The La Jolla Community Plan and Local Coastal Program Land Use Plan designates the site per Figure 1 as very low-density residential development (0-5 dwelling units/acre) to provide for reasonable use while preserving portions of the site in open space. Dedicated open space areas are located primarily within the hillside areas that form the core of La

Jolla's open space system. The proposed easement vacation is located in an LJSPD-SF (La Jolla Shores Planned District-Single Family) zone which remains consistent with the proposed development of the site. No portion of the easement vacation is within the public right-of-way and removing the encumbrance will facilitate the productive use of the property with the adopted La Jolla Community Plan and Local Coastal Program Land Use Plan. Therefore, the vacation is consistent with the applicable land use plan.

d. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

The existing "all-purpose" utility easement was granted to the City of San Diego in 1912 for future planned utilities as "placing, erecting and maintaining thereon electric light, power, telephone, and telegraph poles and wires, and also for underground sewers, water mains, water pipes and drains." There are no utility facilities connected and the easement is not now and will not in the future be utilized for any public facilities. The Project will eliminate an unnecessary and unproductive encumbrance on the Property and its elimination may allow the development of the site.

No public facilities will be impacted by this easement vacation. No portion of the easement vacation is within the public right-of-way and removing the encumbrance will provide a benefit to the underlying parcel. Therefore, the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation, and the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that the "all-purpose" utility easement located at 7595 Hillside Drive, as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing No. 42606-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits, attested by the City Clerk under seal, in the Office of the County Recorder.

Cynthia G. Chong
Development Project Manager
Development Services

IO No.: 24007080

EXHIBIT "A"
LEGAL DESCRIPTION
PUBLIC UTILITY EASEMENT VACATION

All of that portion of that certain easement for public utility purposes, 6-foot wide, lying within a portion of Parcel 1 of Parcel Map No. 3359, in the City of San Diego, County of San Diego, State of California, said public utility easement being dedicated per La Jolla Hills according to Map thereof No. 1479, filed in the Office of the County Recorder of said San Diego County, October 10, 1912, said portion being more particularly described as follows:

POINT OF BEGINNING is the northwesterly corner of said Parcel 1, being a point on the northerly right of way of Hillside Drive; thence along said right of way, North 32°02'19" West 21.92 feet to the **TRUE POINT OF BEGINNING**; thence continuing along said right of way North 32°02'19" West 8.16 feet; thence leaving said right of way, North 15°19'29" East 44.54 feet; to the northwesterly line of said Parcel 1; thence along said northwesterly line, South 57°49'56" West 8.88 feet; thence leaving said northwesterly line, South 15°19'29" West 32.47 feet; to a point on the northerly right of way of Hillside Drive, said point being the **TRUE POINT OF BEGINNING**.

Containing: 232.80 sq. ft. more or less.

Attached hereto is Drawing No. 42606-B, labeled Exhibit 'B' and by this reference made a part hereof.

Prepared By

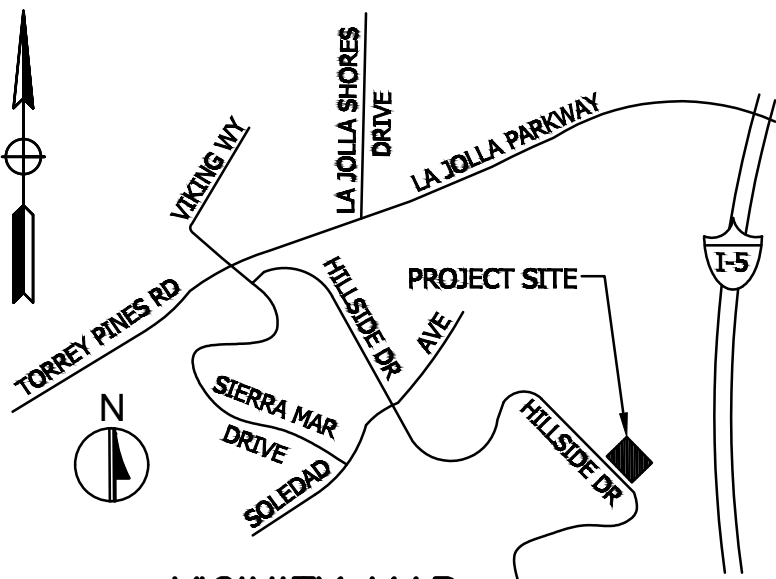
Dennis Furman , RCE 32391

Date

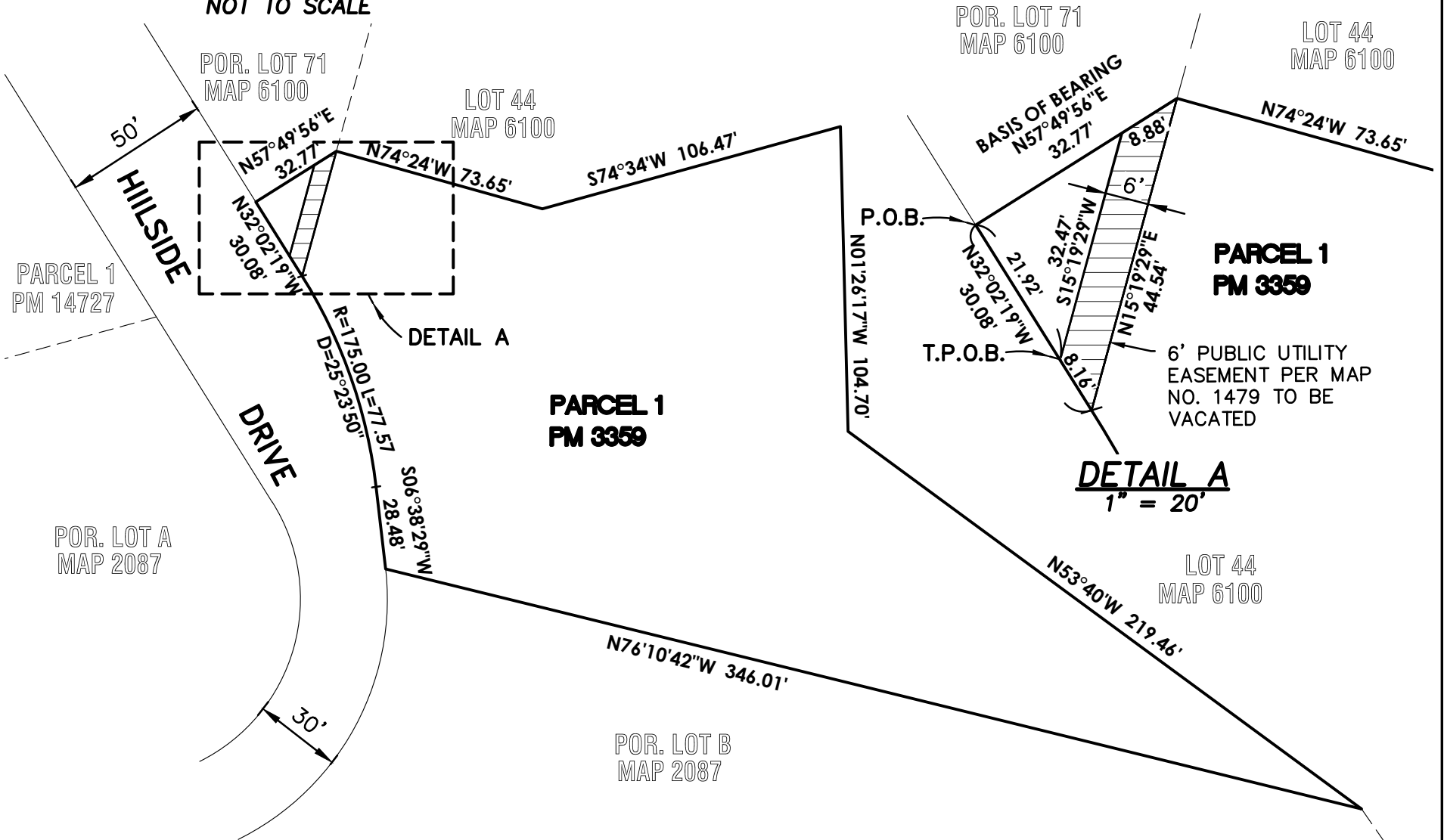
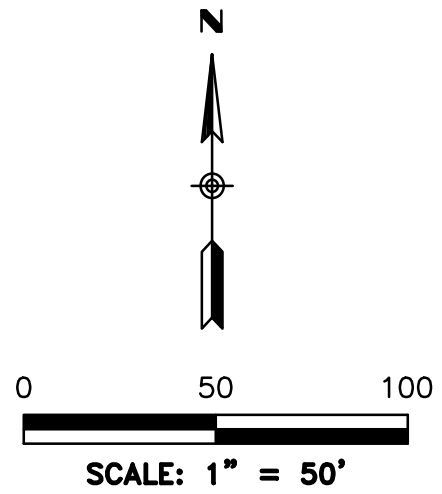


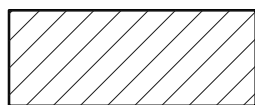
PTS No: 522708
Dwg No. 42606-B

EXHIBIT "B"



VICINITY MAP
NOT TO SCALE



 INDICATES 6-FT WIDE PUBLIC UTILITY EASEMENT DEDICATED PER MAP NO. 1479 TO BE VACATED (CONTAINING 232.80 SQ. FT.)




BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE RECORD BEARING OF THE NORTHWESTERLY LINE OF PARCEL 1 OF PARCEL MAP NO. 3359. (IE. N57°49'56"E)

REFERENCES

MAP NO. 6100, PM 3359
APN: 352-141-01-00

LEGEND

-  RIGHT OF WAY
-  LOT LINE
-  OFFSITE LOT LINE

AP CONSULTING
2371 FENTON STREET, SUITE 100
CHULA VISTA, CA 91914 PH 619-227-894



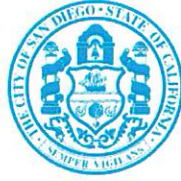
Dennis Furman P.E. 32391

DOCUMENT No. _____

RECORDED _____

PUBLIC UTILITY EASEMENT VACATION
OVER A PORTION OF PARCEL 1, PARCEL MAP 3359

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA	PTS 522708
ORIGINAL					SHEET 1 OF 1 SHEET	I.O. _____
					FOR CITY LAND SURVEYOR _____ DATE _____	1888-6251
						CCS 83 COORDINATES
						248-1691
						NAD 27 COORDINATES
					42606-B	B001



THE CITY OF SAN DIEGO

Date of Notice: May 24, 2022

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007080

PROJECT NAME / NUMBER: 522708 / K-4 Residence
COMMUNITY PLAN AREA: La Jolla Community Plan
COUNCIL DISTRICT: 1
LOCATION: 7595 Hillside Dr., La Jolla, CA 92037

PROJECT DESCRIPTION: Site Development Permit (SDP), Coastal Development Permit (CDP) and Easement Vacation to demolish an existing dwelling and construct a 7,596-square-foot two-story over basement dwelling located at 7595 Hillside Dr. The 0.797-acre site is in the single family (SF) zone of the La Jolla Shores Planned District, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area, Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301, EXISTING FACILITIES AND Section 15332, In-Fill Development.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) which allows for demolition of a single family residence and Section 15332 (In-Fill Development) which allows for in-fill development on parcels of less than five acres; and where the exceptions listed in Section 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER: Cynthia Chong-Pelayo
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 446-5121 / CChongPelayo@sandiego.gov

On May 24, 2022 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed

above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (June 8, 2022). During the Statewide "Safer-at-Home" directive to reduce the spread of COVID-19, beginning March 19, 2020, appeals to the City Clerk must be filed by email or US Mail as follows:

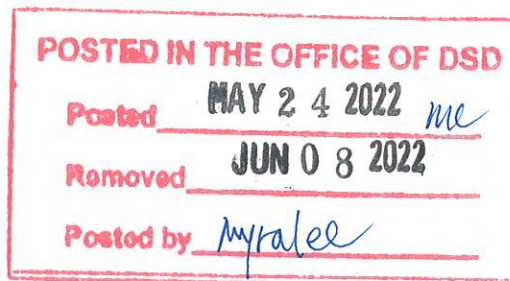
- 1) Appeals filed via E-mail: The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>.


Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00pm. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked before or on the final date of the appeal. Please include the project number on the memo line of the check.

- 2) Appeals filed in person: The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>.

Deposit the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) in a sealed envelope, into the Drop-Off Box located under the Public Notice Kiosk to the left of the public entrance to the City Administration Building, 202 "C" Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The Drop-Off Box is available from 8:00am to 5:00pm Monday through Friday (excluding City-approved holidays). The completed appeal package must include the required appeal fee per this bulletin in the form of a check or money order payable to the "City Treasurer." Please include the project number on the memo line of the check/money order. This Drop-Off Box is checked daily, and payments are processed the following business day.

This information will be made available in alternative formats upon request.



Page 3		City of San Diego · Information Bulletin 620		May 2020	
		City of San Diego Development Services		Community Planning Committee Distribution Form	
Project Name: 7595 Hillside Dr.			Project Number: 522708		
Community: La Jolla					
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>					
<input checked="" type="radio"/> Vote to Approve <input type="radio"/> Vote to Approve with Conditions Listed Below <input type="radio"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="radio"/> Vote to Deny					
# of Members Yes		# of Members No		# of Members Abstain	
14		0		1	
Conditions or Recommendations: Approved on consent 3/4/2021					
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)					
NAME: Suzanne Weissman					
TITLE: Secretary, LJCPA				DATE: March 07, 2021	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>					

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Cass Residence **Project No. For City Use Only:** _____

Project Address: 7595 Hillside Drive La Jolla, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? CA Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: MMK Management Group, LLC Owner Tenant/Lessee Successor Agency

Street Address: PO Box 1555

City: La Jolla State: CA Zip: 92038

Phone No.: 8584316401 Fax No.: _____ Email: marklani@aol.com

Signature: [Signature] Date: 5/25/2022

Additional pages Attached: Yes No

Applicant

Name of Individual: Mark Kooklani Owner Tenant/Lessee Successor Agency

Street Address: PO Box 1555

City: La Jolla State: CA Zip: 92038

Phone No.: 8584316401 Fax No.: _____ Email: marklani@aol.com

Signature: [Signature] Date: 5/25/2022

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: Mark Kooklani Owner Tenant/Lessee Successor Agency

Street Address: PO Box 1555

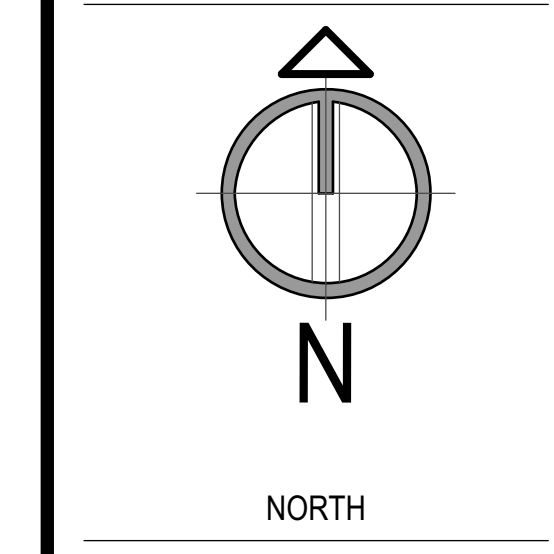
City: La Jolla State: CA Zip: 92038

Phone No.: 8584316401 Fax No.: _____ Email: marklani@aol.com

Signature: [Signature] Date: 5/25/2022

Additional pages Attached: Yes No

HILLSIDE DR CASS RESIDENCE LA JOLLA CA.



PTS - 0522708 REVISION 9.10.2021 REVISION 11.19.2021 REVISION 2.17.2022 REVISION 8.2.2022

CAS - RESIDENCE 7595 HILLSIDE DR. LA JOLLA, CA. 92037

Project information table with columns: PROJECT NAME, ADDRESS, DATE, CITY SUBMITTAL, SCALE, DRAW, JOB NO., SHEET TITLE, TITLE PAGE

NOTES

STORM QUALITY NOTES THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT. CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRDWCBS), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO DEVELOPMENT CODE AND THE STORM WATER STANDARDS MANUAL.

GENERAL NOTES

01. SEE SHEET C-1 (GRADING & DRAINAGE) FOR ALL EXISTING AND PROPOSED UTILITIES ON THE SITE OR IN THE ADJACENT RIGHT OF WAY.

MECHANICAL NOTES

01. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL.

ENERGY EFFICIENCY NOTES

01. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE (S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE.

GREEN CODE NOTE

01. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2013 CBCSC

OWNER SIGNATURE:

12. THE MATERIAL AND METHODS OF CONSTRUCTION USED FOR THE STRUCTURE, INCLUDING ATTACHED ACCESSORY BUILDINGS (E.G., GARAGES) AND STRUCTURES (E.G., PATIO COVERS) SHALL BE IN ACCORDANCE WITH CRC SECTION R327, AS ADOPTED AND AMENDED BY THE CITY OF SAN DIEGO (SDMC 149.0327(A); AS 5.001).

PROPOSITION D NOTES

01. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTIONS SHALL NOT EXCEED 30 FEET ABOVE GRADE.

GREEN BUILDING

01. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (SECTION 4.304.1)

NOTES CONT

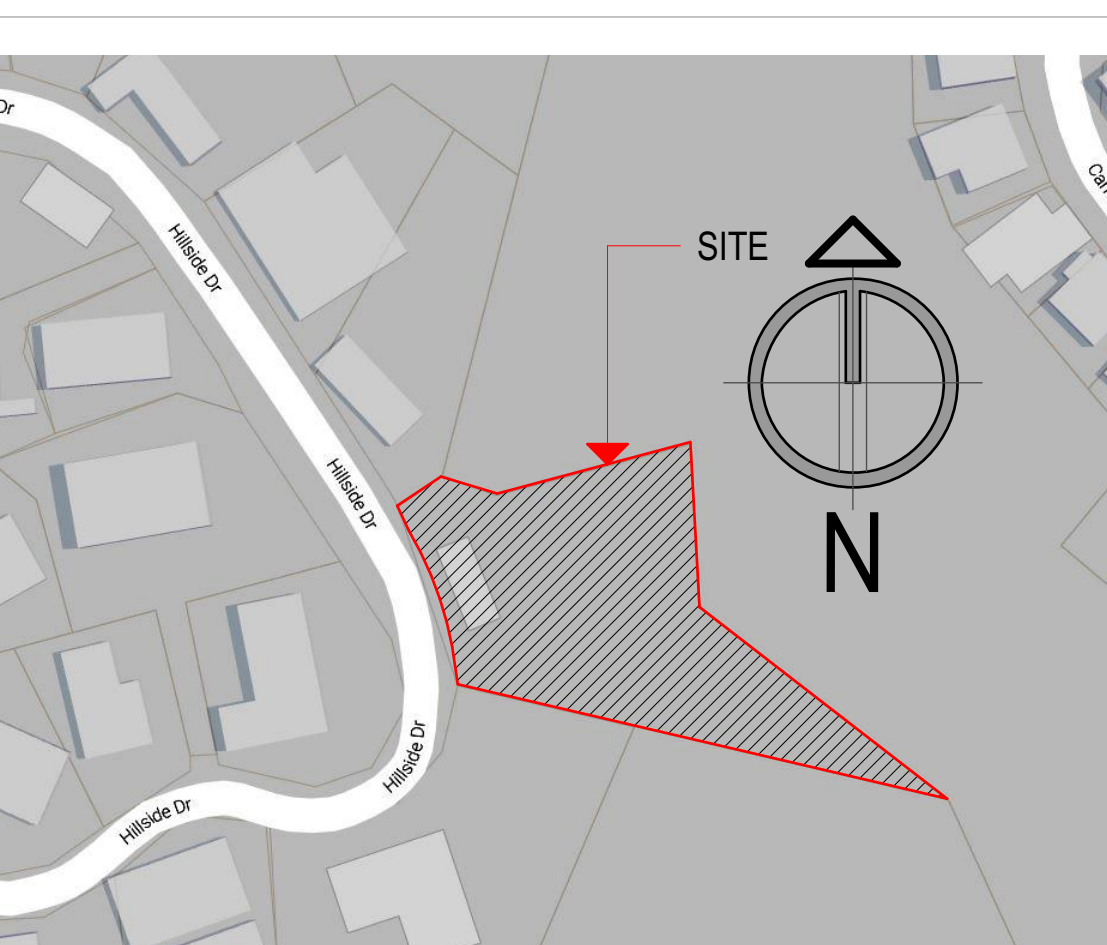
GREEN BUILDING NOTES CONT

09. AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.3.2 OF THE CALIFORNIA GREEN BUILDING CODE.

ABBREVIATIONS

Table of abbreviations with columns: Symbol, Abbreviation, Meaning. Includes entries like AND, BATH, BR, BS, etc.

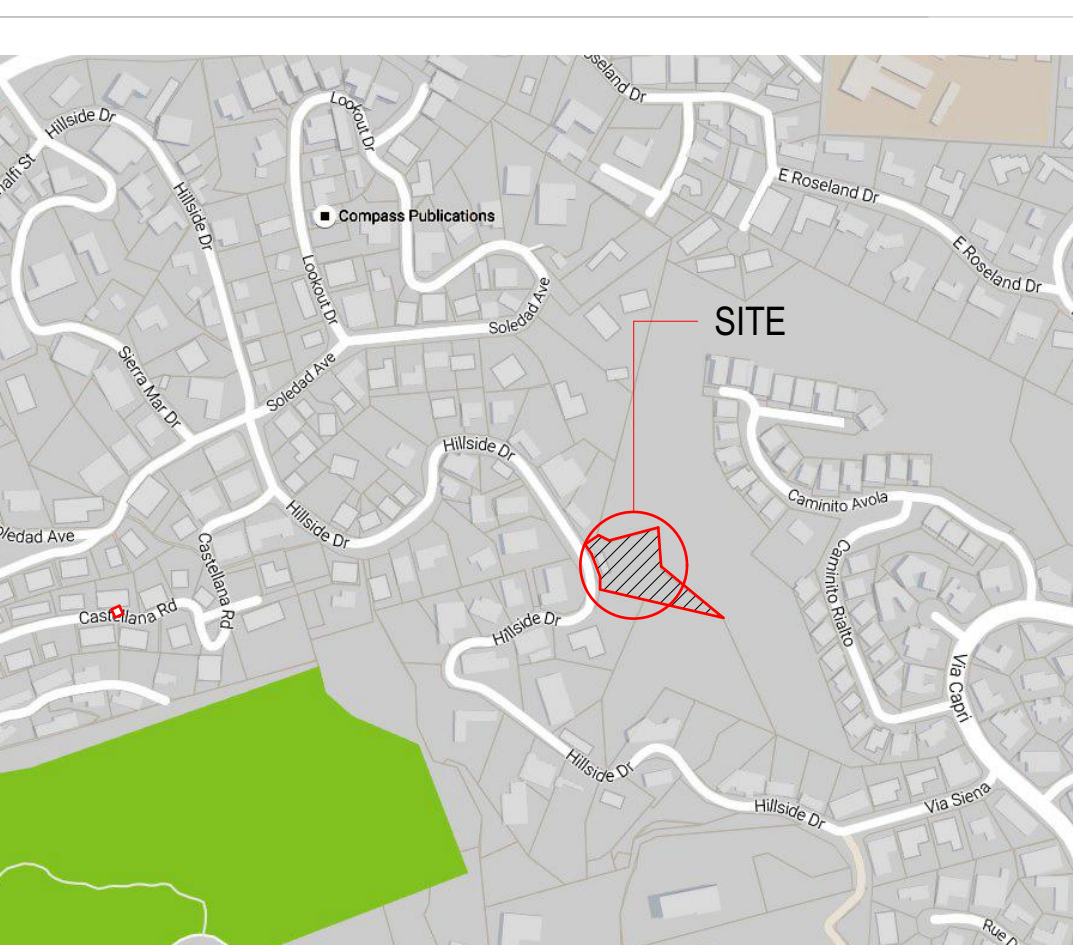
VICINITY MAP



SYMBOL LEGEND

Symbol legend containing icons and definitions for North Arrow, Level Heads, Datumwork Point, Centerline, Step Symbol, New Spot Elevation, Flow Arrow, Wall Tag, Elevation Reference, Building Section Reference, Detail Section Reference, Detail Callout Reference, W/R Room Finishes, Room Name, W/M Master Bedroom, W/Area, Door Tag, Window Tag, Fixture Tag, Material Tag, Keynote, Equipment, Electrical, Plumbing, Ceiling Tag, and Reflect Ceiling Plan.

AREA MAP



CODE COMPLIANCE

ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES AND STANDARDS, AS ADOPTED BY THE GOVERNING AUTHORITIES.

- 2016 CALIFORNIA ADMINISTRATIVE CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA ELECTRIC CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE (EFFECTIVE 7/1/14)
2016 CALIFORNIA HISTORIC BUILDING CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA EXISTING BUILDING CODE
2016 CALIFORNIA GREEN BUILDING CODE
2016 CALIFORNIA REFERENCED STANDARDS CODE

CALIFORNIA BUILDING CODE NOTE

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL CODE 2016 (CRC) & ASSOCIATED AMENDMENTS IN SAN DIEGO MUNICIPAL CODE (SDMC) & 2016 CALIFORNIA BUILDING CODE WHICH IS BASED ON THE 2016 IBC FOT THE NON CONVENTIONAL FRAMING STRUCTURAL PROVISIONS, INCLUDING THE 2016 CAL GREEN AND THE 2016 CALIFORNIA ENERGY CODE.

LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP NO. 3359, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, THEREOF, 1974.

APN #352-141-0100

DIRECTORY

- OWNER: MMK Management Group, LLC
PROJECT DESIGNER: Jess Gonzales (619) 292-5520
STRUCTURAL ENGINEER: Envision Engineering, Inc.
CIVIL ENGINEER: Sol Engineering
LANDSCAPE ARCH: Sean Clarke, LLA
GEOLOGIST: Christopher C. O'Hern

PROJECT INFORMATION

ADDRESS: 7595 HILLSIDE DR. LA JOLLA, CA 92037
LOT SIZE: 0.79 acres (34,412 SF)
CONSTRUCTION TYPE: VB, NON RATED, SPRINKLED
OCCUPANCY CLASSIFICATION: R3
BUILDING AREA: 2 STORIES (N)

SCOPE OF WORK

NEW SINGLE FAMILY RESIDENCE TO BE BUILT ON A LOT SITUATED AT 7595 HILLSIDE DRIVE, SAN DIEGO, CA 92037-3943. HOUSE WILL BE A 5 BEDROOM HOME, PLUS BASEMENT, 3 CAR GARAGE AND POOL. HOME TO REPLACE AN EXISTING SINGLE FAMILY RESIDENCE OF AN APPROXIMATE FOOTPRINT

Table with columns: LIVABLE AREA, BASEMENT FLOOR, MAIN FLOOR, GARAGE, BUILDING YEAR, BASE ZONE, COMMUNITY PLAN, PLANNED DISTRICT, MAX BUILDING HEIGHT, OVERALL BUILDING HEIGHT, DENSITY, LANDSCAPING AREA, GEOLOGIC HAZARD CATEGORIES, SPRINKLED, COVENANT OF EASEMENT (COE) AREA

FORM DS-560 September 2021 Stormwater Requirements Applicability Checklist

Project Address: 7595 Hillside Drive Project Number: 522708

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual.

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A - Determine Construction Phase Stormwater Requirements

- 1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities...
2. Does the project propose construction or demolition activity...
3. Does the project propose routine maintenance to maintain the original line and grade...
4. Does the project only include the following Permit types listed below...

More information on the City's construction BMP requirements as well as CGP requirements can be found at http://www.sandiego.gov/stormwater/requirements/index.shtml

CLEAR FORM

P1

PART B - Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction.

Complete Part B and continue to Section 2

- 1. ASBS
A. Projects located in the ASBS watershed.
2. High Priority
A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.
3. Medium Priority
A. Projects that are not located in an ASBS watershed or designated as a High priority site.
4. Low Priority
A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the Stormwater Standards Manual.

PART C - Determine if Not Subject to Permanent Stormwater Requirements

- Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Stormwater Standards Manual are not subject to Permanent Stormwater BMPs.
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure...
2. Does the project only include the construction of overhead or underground utilities...
3. Does the project fall under routine maintenance?

Visit our web site: sandiego.gov/dsd. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (09-21)

P2

PART D - PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
• If "no" is checked for all questions in Part D, continue to Part E.
1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?

PART E - Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SQWMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
• If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."
1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.
3. New development or redevelopment of a restaurant.
4. New development or redevelopment on a hillside.
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface.
6. New development or redevelopment of streets, roads, highways, freeways, and driveways.

Visit our web site: sandiego.gov/dsd. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (09-21)

CLEAR FORM

P3

- 7. New development or redevelopment discharging directly to an environmentally sensitive area.
8. New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.
9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces.
10. Other Pollutant Generating Project.

PART F - Select the appropriate category based on the outcomes of Part C through Part E

- 1. The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS
2. The project is a STANDARD DEVELOPMENT PROJECT.
3. The Project is PDP EXEMPT.
4. The project is a PRIORITY DEVELOPMENT PROJECT.

Alex Parra Principal
Name of Owner or Agent Title
Signature Date
Signature: alexandro parra Date: 02/02/2022

Visit our web site: sandiego.gov/dsd. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (09-21)

CLEAR FORM

P4

DS - NOTE

01. This project is located within the ASBS watershed. The applicant/permittee will be required to comply with all ASBS watershed requirements accordingly.

Standard Development Project Storm Water Quality Management Plan (SWQMP)

7595 Hillside Dr. La Jolla CA 92037

PTS 522708

Prepared For: MMK Management Group, LLC

Prepared By: AP Consulting Inc

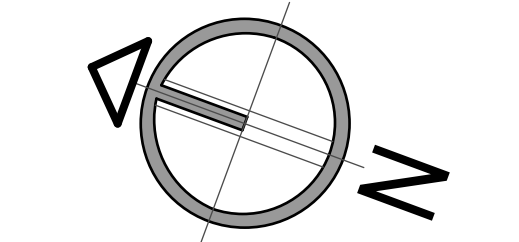
619-227-8941

Table with 4 columns: Source Control Requirement, Applied?, Yes, No, N/A. Lists various requirements like Prevention of Illicit Discharges, Storm Drain Stenciling, etc.



Table with 4 columns: Site Design Requirement, Applied?, Yes, No, N/A. Lists various requirements like Maintain Natural Drainage Pathways, Conserve Natural Areas, etc.

Answer for each source control and site design category shall be pursuant to the following:
• "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual.
• "No" means the BMP is applicable to the project but it is not feasible to implement.
• "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP.



PTS - 0522708
REVISION 9.10.2021
REVISION 11.19.2021
REVISION 2.17.2022
REVISION 8.2.2022

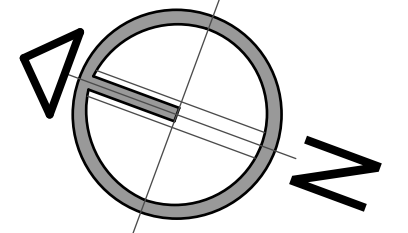
CAS - RESIDENCE

PROJECT NAME: ADDRESS: date: 8.23.2022 city submittal: SAN DIEGO scale: indicate in draw draw: E.M. job no.

SHEET TITLE: DSD560 - SWQMP

DS.01

7595 HILLSIDE DR. LA JOLLA, CA. 92037



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date:

8.23.2022

city submittal:

SAN DIEGO

scale:

indicate in draw

draw:

E.M.

job no.

SHEET TITLE:

DEMO PLAN

D.01

CONTRACTOR NOTE

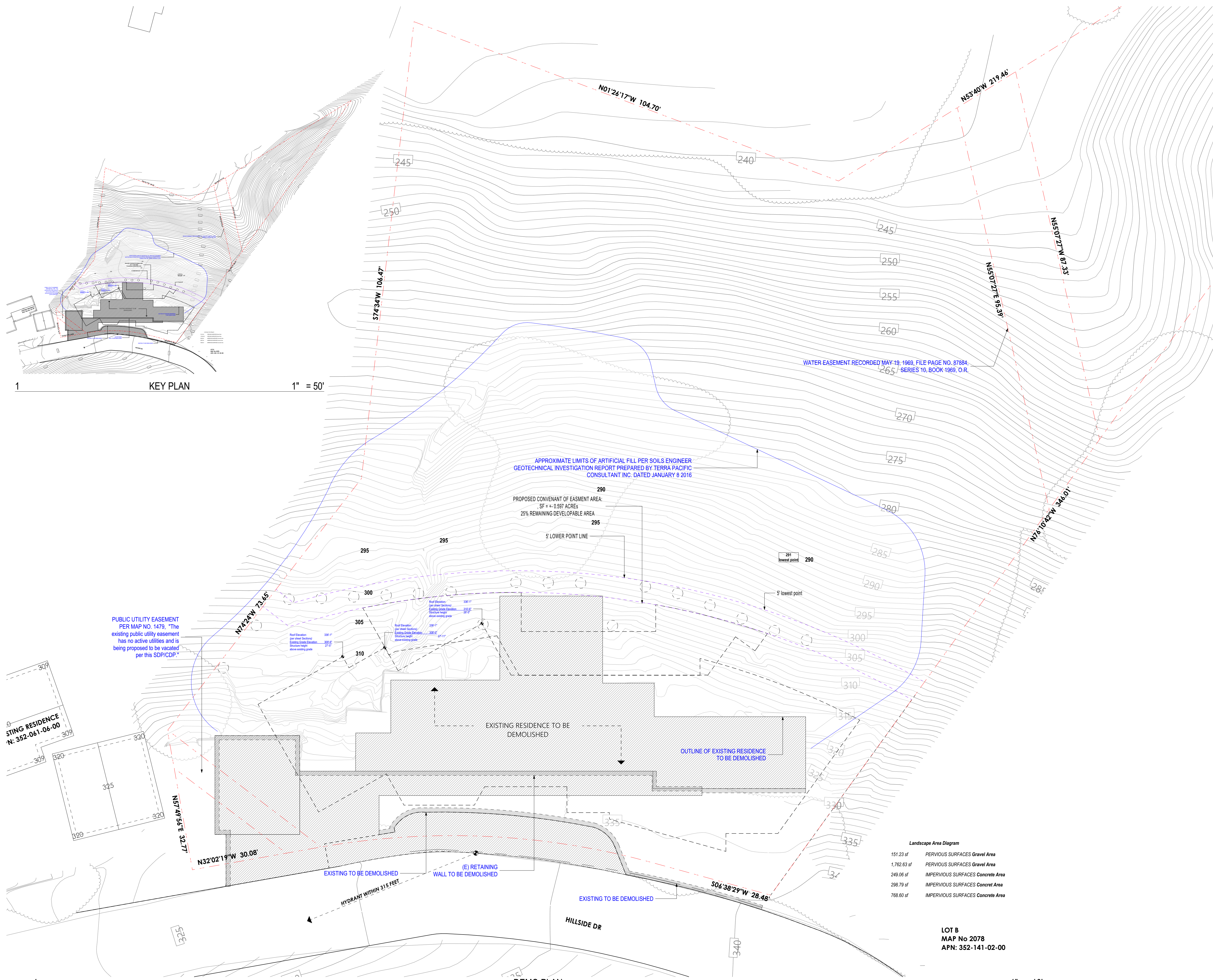
CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

LEGEND

- CMU NEW RETAINING WALL per str.
- 2x6 NEW FRAMING WALLS
- 2x4 NEW FRAMING WALLS
- UPPER LEVEL WALLS
- EXISTING RETAINING WALLS
- EXISTING GRADE
- MAIN FLOOR AREA TO EXEMPT
- MAIN FLOOR AREA TO FAR

GENERAL NOTES

PROPOSED BUILDING HEIGHT PER SAN DIEGO MUNICIPAL CODE 113.0270 (a) (6); THE OVERALL STRUCTURE HEIGHT IS MEASURED FROM THE LOWEST POINT OF EXISTING GRADE OR PROPOSED GRADE WITHIN 5 FEET OF THE STRUCTURE'S PERIMETER (BUILDING WALL, BALCONY, BAY WINDOW, OR SIMILAR ARCHITECTURAL PROJECTION) OR AT THE PROPERTY LINE WHICH EVER IS CLOSER, TO THE HIGHEST POINT OF THE STRUCTURE, PROJECTED HORIZONTALLY TO DIRECTLY ABOVE THIS LOWEST POINT OF GRADE, EXCEPT AS SPECIFIED IN SECTION 113.0270 (a) (6) THE OVERALL STRUCTURE HEIGHT SHALL NOT EXCEED THE MAXIMUM PERMITTED STRUCTURE HEIGHT OF THE APPLICABLE ZONE PLUS AN AMOUNT EQUAL TO EITHER THE MAXIMUM GRADE DIFFERENTIAL WITHIN THE STRUCTURE'S FOOTPRINT OR 10 FEET, WHICHEVER IS LESS, IN NO CASE MAY THE STRUCTURE HEIGHT EXCEED THE MAXIMUM ALLOWED BY THE APPLICABLE ZONE AT ANY ONE POINT MEASURED PURSUANT TO SECTION 113.0270 (a) (3); 113.0270 (a) (7); STRUCTURE HEIGHT IS MEASURED SEPARATELY FOR EACH STRUCTURE THAT IS SEPARATED FROM ANOTHER STRUCTURE ON THE PREMISES BY 6 FEET OR MORE. 103.030A (K) MAXIMUM BUILDING HEIGHT: NO BUILDING OR STRUCTURE SHALL BE ERRECTED, CONSTRUCTED,ALTERED, MOVED OR ENLARGED TO A GREATER HEIGHT THAN THIRTY (30) FEET.



1 KEY PLAN 1" = 50'

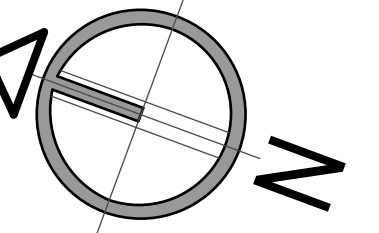
DEMO PLAN

1" = 10'

Landscape Area Diagram

151.23 sf	PERVIOUS SURFACES Gravel Area
1,762.63 sf	PERVIOUS SURFACES Gravel Area
249.06 sf	IMPERVIOUS SURFACES Concrete Area
298.79 sf	IMPERVIOUS SURFACES Concrete Area
768.60 sf	IMPERVIOUS SURFACES Concrete Area

LOT B
MAP No 2078
APN: 352-141-02-00



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date:
8.23.2022
city submittal:
SAN DIEGO
scale:
indicate in draw
draw:
E.M.
job no.

SHEET TITLE:
SITE PLAN

A.01

FIRE NOTES

01. * All required hose pulls are shown to reach all portions of the exterior of the building(s) per policy A-14-1. Hose pull is measured from the fire apparatus (engine) when the fire engine is in a fire access road/lane. Hose pull can be measured from multiple locations within the access road/lane. The hose pulls must connect or overlap to show complete coverage. For a sprinklered building(s); the maximum hose pull is 200'. For non-sprinklered building(s); the maximum hose pull is 150'. Change in vertical elevation must also be accounted for.
02. * All existing and/or proposed fire hydrants within 600' of the project site and a 300' radius overlay shall be shown to encompass ALL portions of ALL structures as part of submitted project. SD Ordinance 17927.
03. * Structures under construction, alteration or demolition shall be provided with not less than one approved portable fire extinguisher in accordance with Section 906 and sized for not less than ordinary hazard (2A10BC) as follows: 1. At each stairway on all floor levels where combustible materials have accumulated. 2. In every storage and construction shed. 3. Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids. CFC 3315.
04. * ALL buildings and sites undergoing construction, alteration, or demolition shall comply with the requirements of Chapter 33 of the CFC.
05. * All new construction in the Very High Severity Fire Zone is subject to brush management requirements. Fire mitigation is required if 100 ft. of defensible space can not be provided; 35' of zone 1 and 65' of zone 2. Projects subject to Fire mitigation are based on Landscaping review. See Fire Department Policy B-18-01, sandiego.gov/fire, services and programs, Brush Management and Weed Abatement, Brush Mitigation Zones.
06. *CFC 105.4.4 - Construction documents approved by the Fire Code Official are approved with the intent that such construction documents comply in all respects with the CFC/CBC. Review and approval by the Fire Code Official shall NOT relieve the applicant of the responsibility of compliance with these codes.
07. *New structures built after January 2008 shall comply with CRC37/CBC7A. Additional mitigations may be required based on final determination of Zone 1 and Zone 2 boundaries by Landscaping. If there is less than 35' from any portion of the Zone 1 boundary to the structure, then additional mitigations shall apply.
08. *Per Municipal Code; Structures located in Zone 1 shall be constructed of non-combustible, one hour or better fire-rated and/or heavy timber construction. DSD policy requires that structures located in the highseverity fire zone meet these requirements and are reviewed for compliance by a Structural or IAS reviewer.

CONTRACTOR NOTE

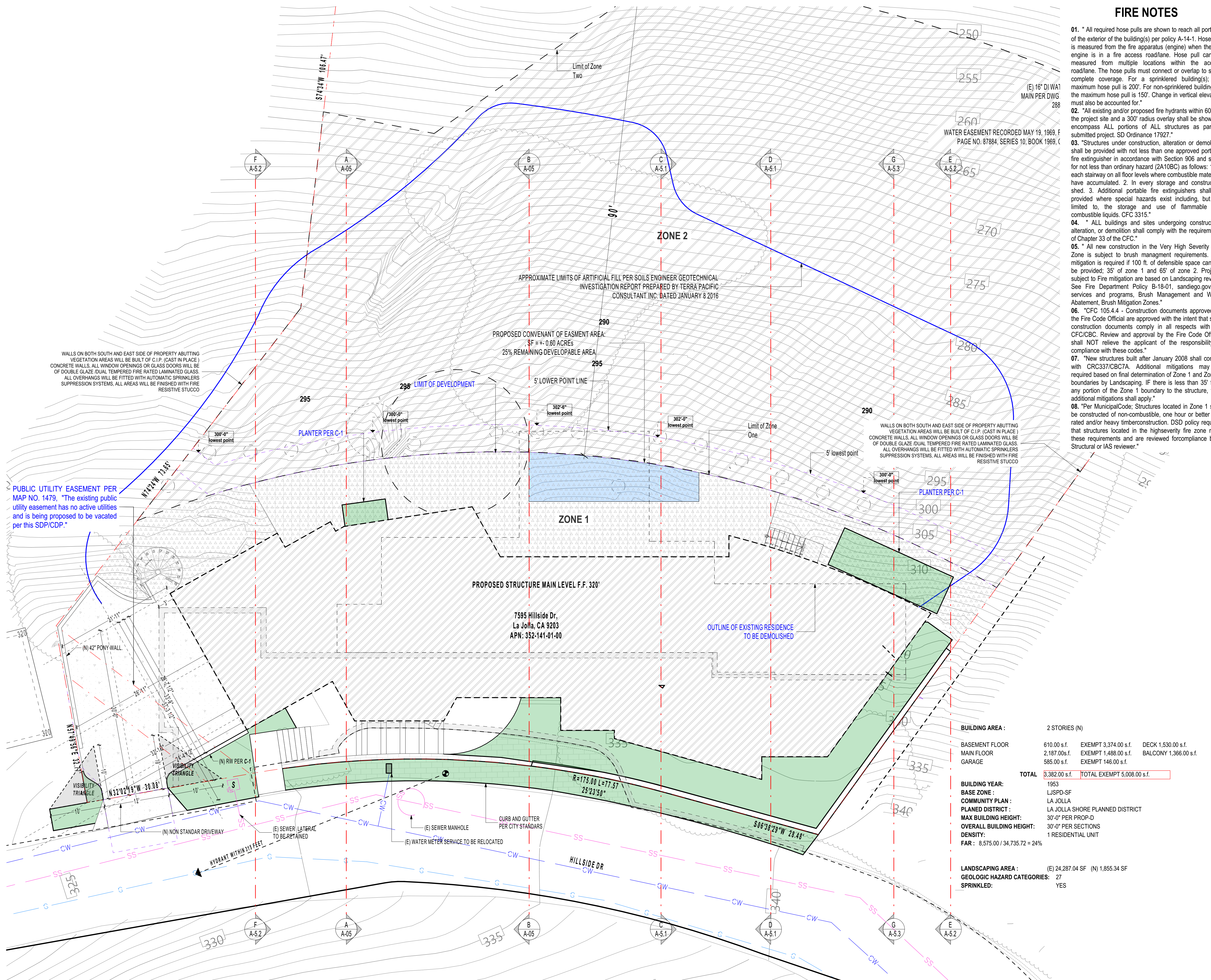
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LEGEND

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- UPPER LEVEL WALLS
- EXISTING RETAINING WALLS
- EXISTING GRADE
- MAIN FLOOR AREA TO EXEMPT
- MAIN FLOOR AREA TO FAR

NEW NOTES

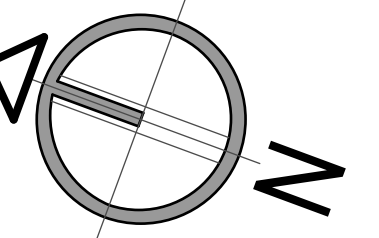
01. SEE SHEET C-1 (GRADING & DRAINAGE) FOR ALL EXISTING AND PROPOSED UTILITIES ON THE SITE OR IN THE ADJACENT RIGHT OF WAY.
02. PROVIDE BUILDING ADDRESS NUMBER VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6.
03. NO EXISTING BUS STOP.
04. FIRE HYDRANTS WITHIN 315 FEET.
05. DECK NOTE: IGNITION-RESISTANT MATERIALS THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 ANS SFM STANDARD 12-7A-5.
06. AN EMRA WILL BE REQUIRED FOR THE NON-STANDARD DRIVEWAY, LANDSCAPING, CRUSHED ROCK, AND PAVERS WITHIN THE HILLSIDE DRIVE RIGHT-OF-WAY.
07. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREA.
08. AT THE STORM WATER DISCHARGE LOCATION, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
09. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATION.
10. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
11. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
12. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATION) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATION.
13. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN. THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
14. ALL NEW RUNOFF TO BE DIRECTED AWAY FROM THE STEEP HILLSIDE AND INTO A PUBLIC STORM DRAIN OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM, SECTION 143.0142(I).
15. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
16. THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.
17. NO RETAINING WALLS OR FOOTINGS ARE ENCRANCHING INTO ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.
18. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.



BUILDING AREA :	2 STORIES (N)		
BASEMENT FLOOR	610.00 s.f.	EXEMPT 3,374.00 s.f.	DECK 1,530.00 s.f.
MAIN FLOOR	2,187.00 s.f.	EXEMPT 1,488.00 s.f.	BALCONY 1,366.00 s.f.
GARAGE	585.00 s.f.	EXEMPT 146.00 s.f.	
TOTAL	3,382.00 s.f.	TOTAL EXEMPT 5,008.00 s.f.	
BUILDING YEAR:	1953		
BASE ZONE:	LJSPD-SF		
COMMUNITY PLAN :	LA JOLLA		
PLANNED DISTRICT :	LA JOLLA SHORE PLANNED DISTRICT		
MAX BUILDING HEIGHT:	30'-0" PER PROP-D		
OVERALL BUILDING HEIGHT:	30'-0" PER SECTIONS		
DENSITY:	1 RESIDENTIAL UNIT		
FAR :	8,575.00 / 34,735.72 = 24%		
LANDSCAPING AREA :	(E) 24,287.04 SF (N) 1,855.34 SF		
GEOLOGIC HAZARD CATEGORIES:	27		
SPRINKLED:	YES		

SITE PLAN

1/8" = 1'-0"



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date:

8.23.2022

city submittal:

SAN DIEGO

scale:

indicate in draw

draw:

E.M.

job no.

SHEET TITLE:

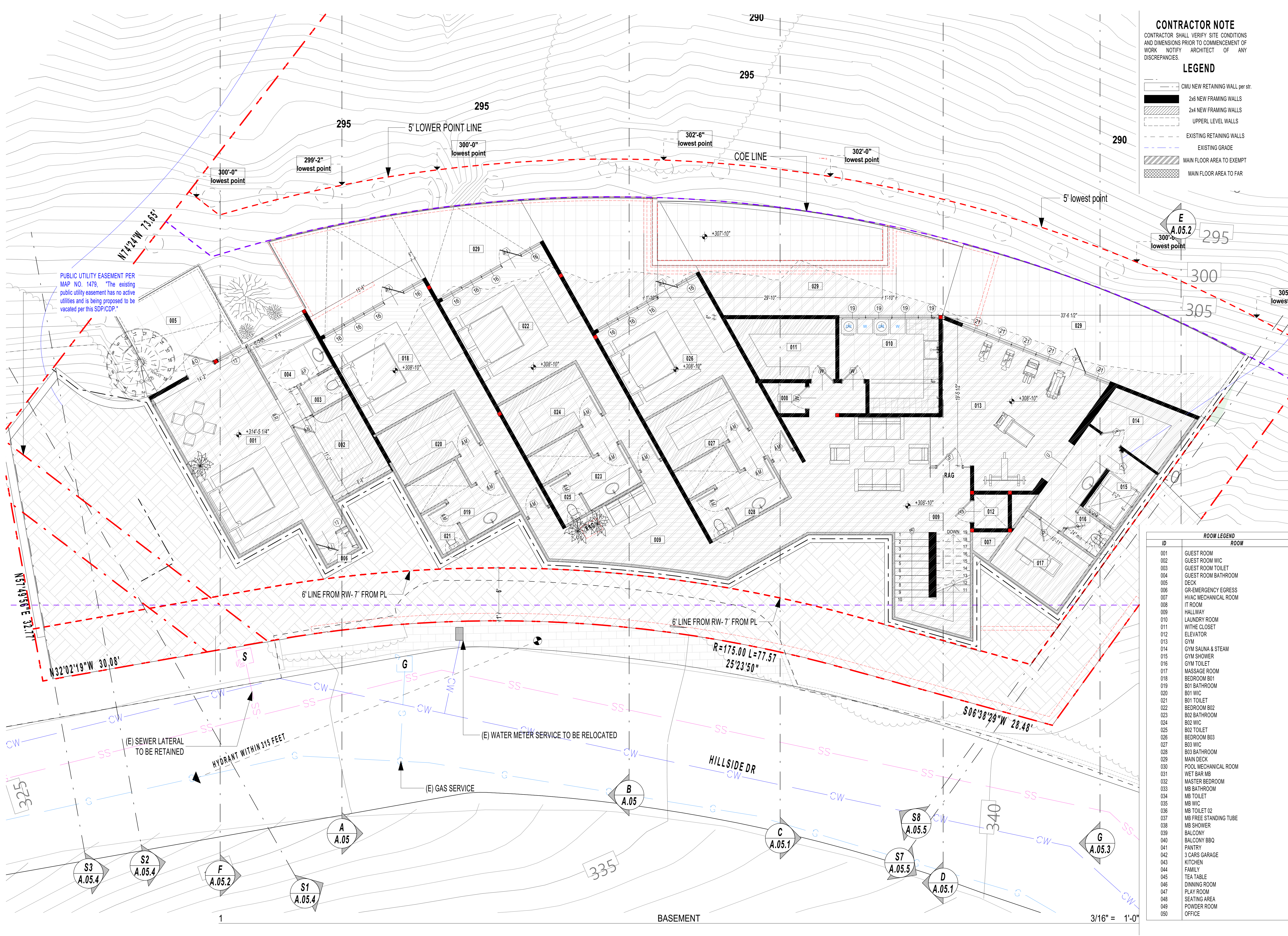
GROUND FLOOR

A.02

CONTRACTOR NOTE
CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

LEGEND

- CMU NEW RETAINING WALL per str.
- 2x6 NEW FRAMING WALLS
- 2x4 NEW FRAMING WALLS
- UPPER LEVEL WALLS
- EXISTING RETAINING WALLS
- EXISTING GRADE
- MAIN FLOOR AREA TO EXEMPT
- MAIN FLOOR AREA TO FAR



ID	ROOM
001	GUEST ROOM
002	GUEST ROOM WIC
003	GUEST ROOM TOILET
004	GUEST ROOM BATHROOM
005	DECK
006	GR-EMERGENCY EGRESS
007	HVAC MECHANICAL ROOM
008	IT ROOM
009	HALLWAY
010	LAUNDRY ROOM
011	WITHE CLOSET
012	ELEVATOR
013	GYM
014	GYM SAUNA & STEAM
015	GYM SHOWER
016	GYM TOILET
017	MESSAGE ROOM
018	BEDROOM B01
019	B01 BATHROOM
020	B01 WIC
021	B01 TOILET
022	BEDROOM B02
023	B02 BATHROOM
024	B02 WIC
025	B02 TOILET
026	BEDROOM B03
027	B03 WIC
028	B03 BATHROOM
029	MAIN DECK
030	POOL MECHANICAL ROOM
031	WET BAR MB
032	MASTER BEDROOM
033	MB BATHROOM
034	MB TOILET
035	MB WIC
036	MB TOILET 02
037	MB FREE STANDING TUBE
038	MB SHOWER
039	BALCONY
040	BALCONY BBQ
041	PANTRY
042	3 CARS GARAGE
043	KITCHEN
044	FAMILY
045	TEA TABLE
046	DINNING ROOM
047	PLAY ROOM
048	SEATING AREA
049	POWDER ROOM
050	OFFICE

PUBLIC UTILITY EASEMENT PER MAP NO. 1479. The existing public utility easement has no active utilities and is being proposed to be vacated per this SDP/CDP.

N32°02'19"W 30.08'
N51°49'58"E 32.11'

S3 A.05.4
S2 A.05.4
F A.05.2
S1 A.05.4

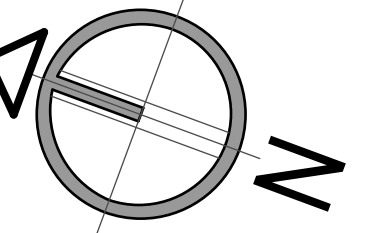
B A.05
C A.05.1
S8 A.05.5
S7 A.05.5
D A.05.1

G A.05.3

1

BASEMENT

3/16" = 1'-0"



REVISION

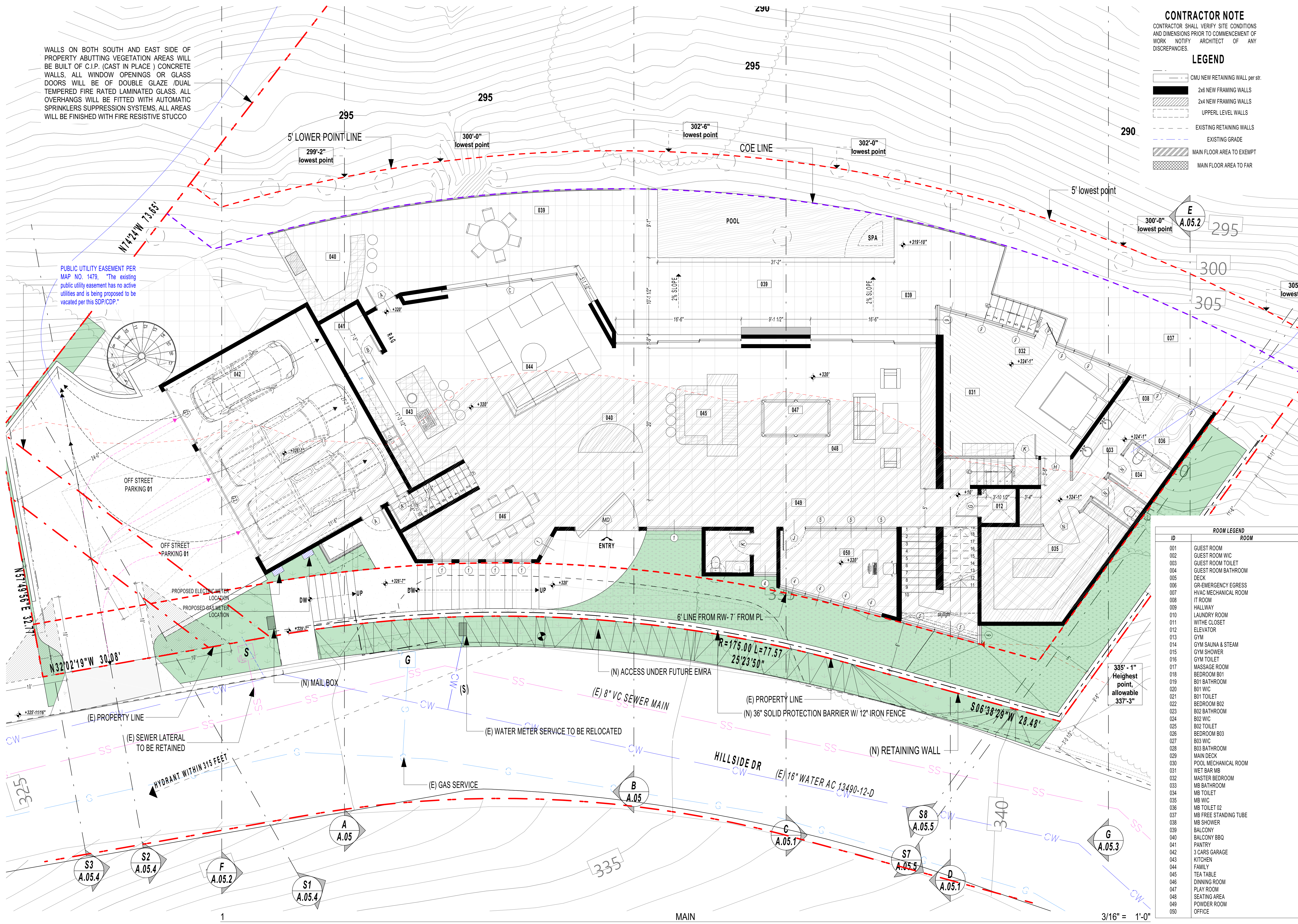
PTS - 0522708	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

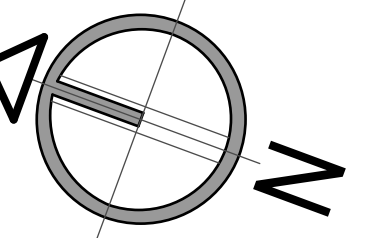
CAS - RESIDENCE
 7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME: ADDRESS:

date: 8.23.2022
 city submittal: SAN DIEGO
 scale: indicate in draw
 draw: E.M.
 job no.:

SHEET TITLE:
MAIN FLOOR





NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date.
8.23.2022
city submittal.
SAN DIEGO
scale.
indicate in draw
draw.
E.M.
job no.

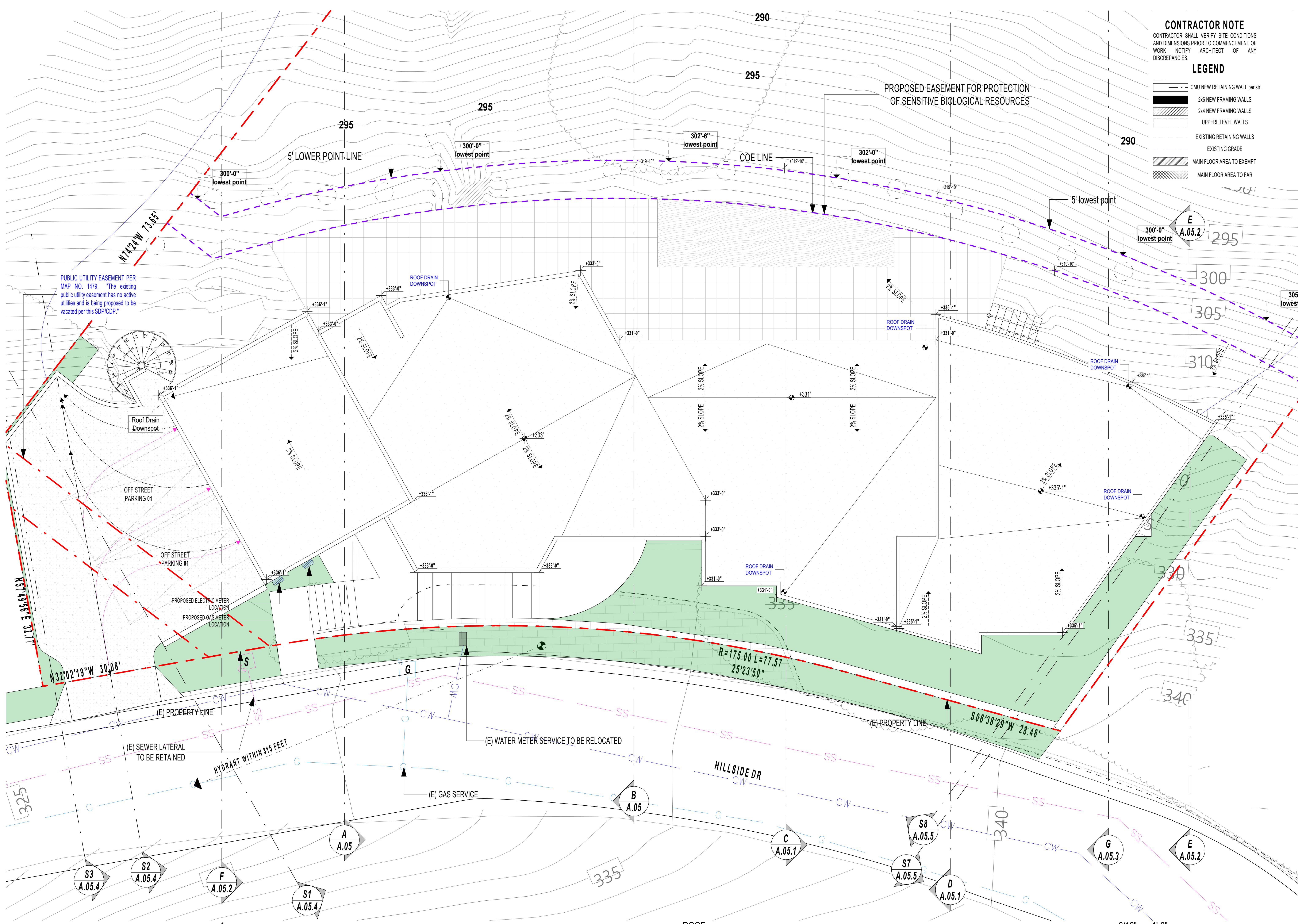
SHEET TITLE:
ROOF PLAN

A.04

CONTRACTOR NOTE
CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

LEGEND

- CMU NEW RETAINING WALL per str.
- 2x6 NEW FRAMING WALLS
- 2x4 NEW FRAMING WALLS
- UPPER LEVEL WALLS
- EXISTING RETAINING WALLS
- EXISTING GRADE
- MAIN FLOOR AREA TO EXEMPT
- MAIN FLOOR AREA TO FAR



PUBLIC UTILITY EASEMENT PER MAP NO. 1479. "The existing public utility easement has no active utilities and is being proposed to be vacated per this SDP/CDP."

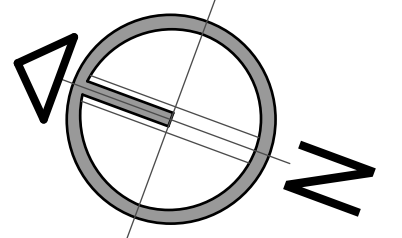
PROPOSED EASEMENT FOR PROTECTION OF SENSITIVE BIOLOGICAL RESOURCES

M74'24" W 73.85'
N31'49'58" E 32.11'
N32'02'19" W 30.08'

(E) PROPERTY LINE
HYDRANT WITHIN 315 FEET

ROOF

3/16" = 1'-0"



NORTH

PTS - 0522708

REVISION	9.10.2021
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CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

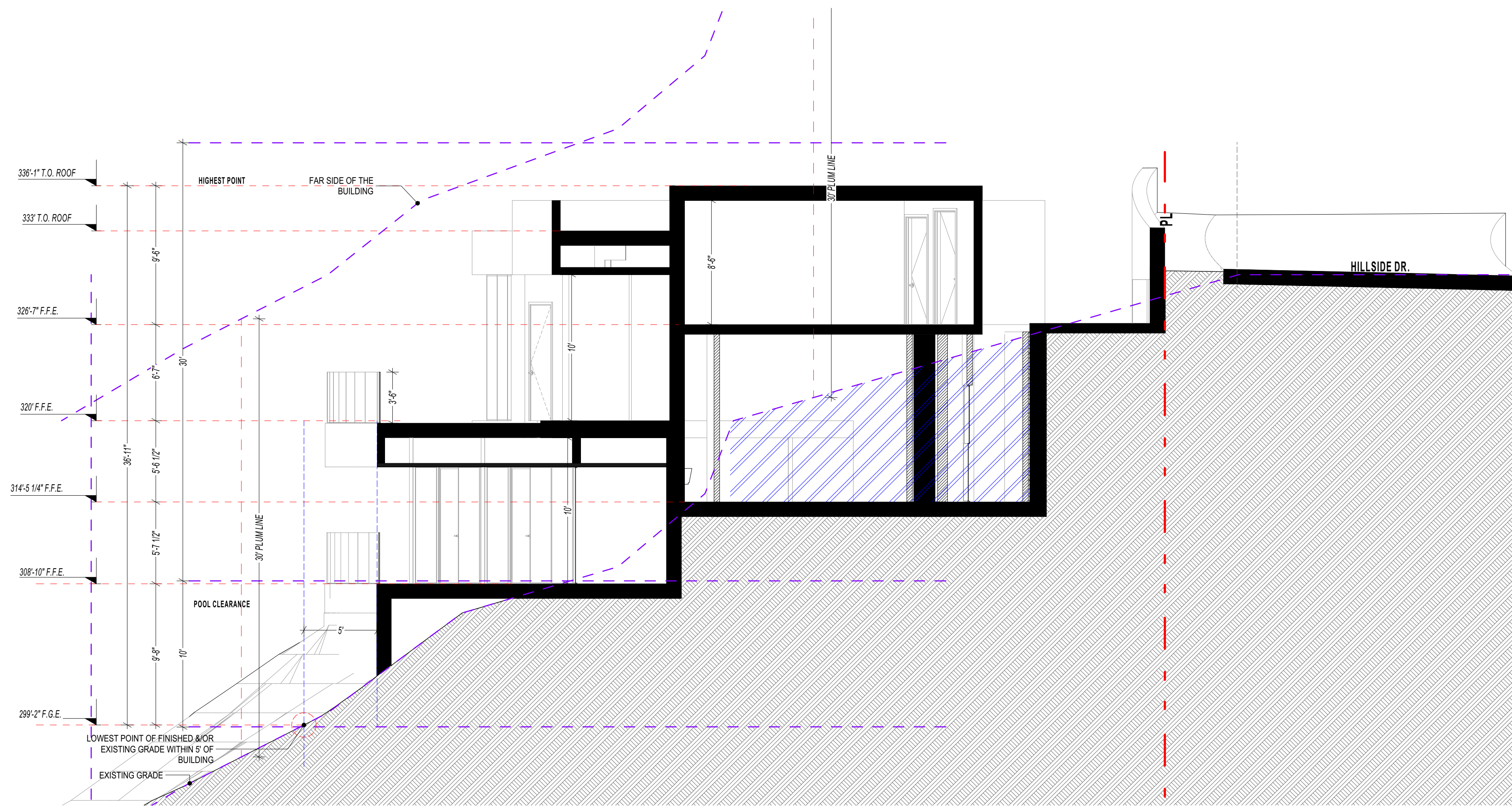
ADDRESS:

date.
 8.23.2022
 city submittal.
 SAN DIEGO
 scale.
 indicate in draw
 draw.
 E.M.
 job no.

SHEET TITLE:

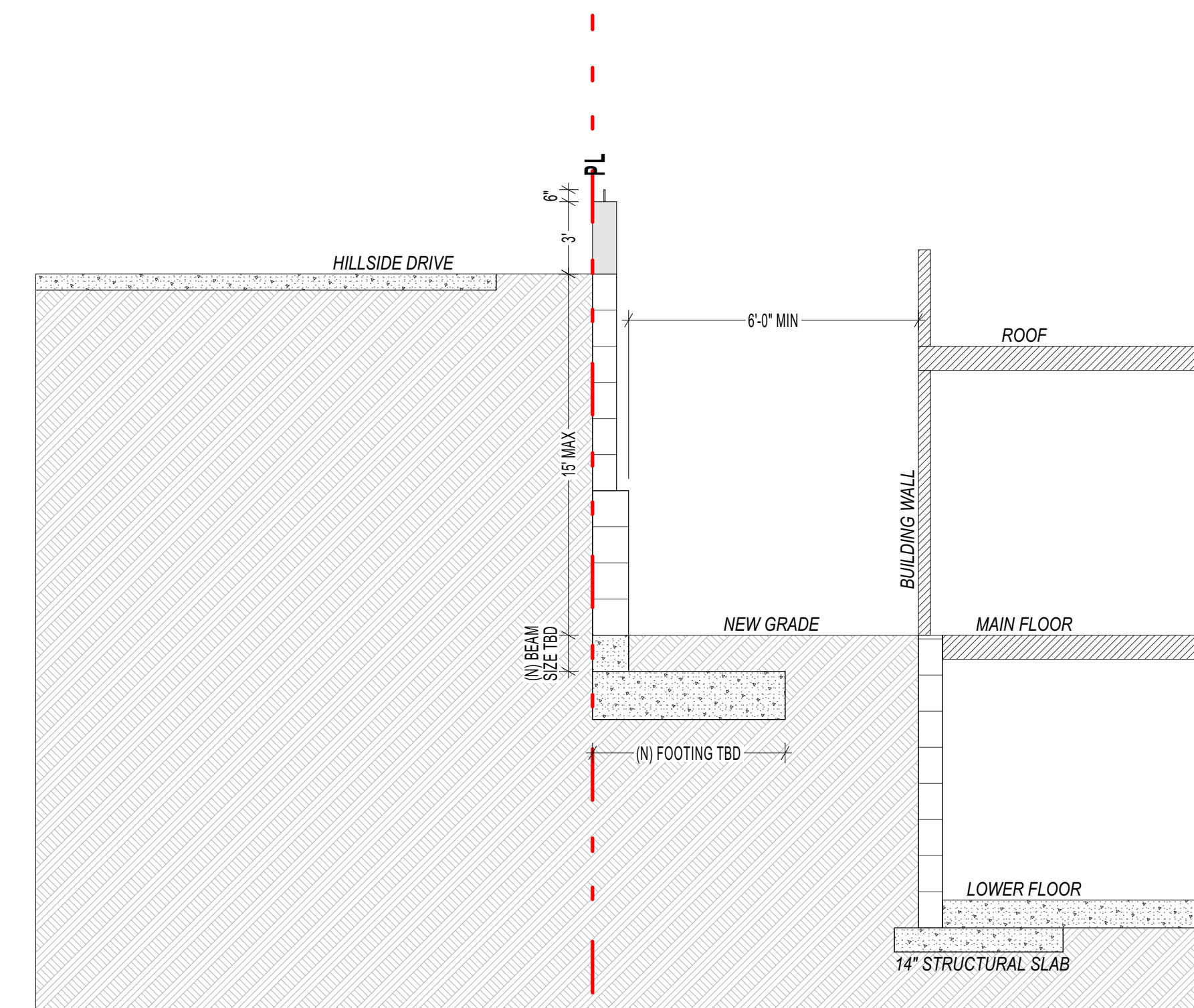
SECTIONS A-B

A.05



AA

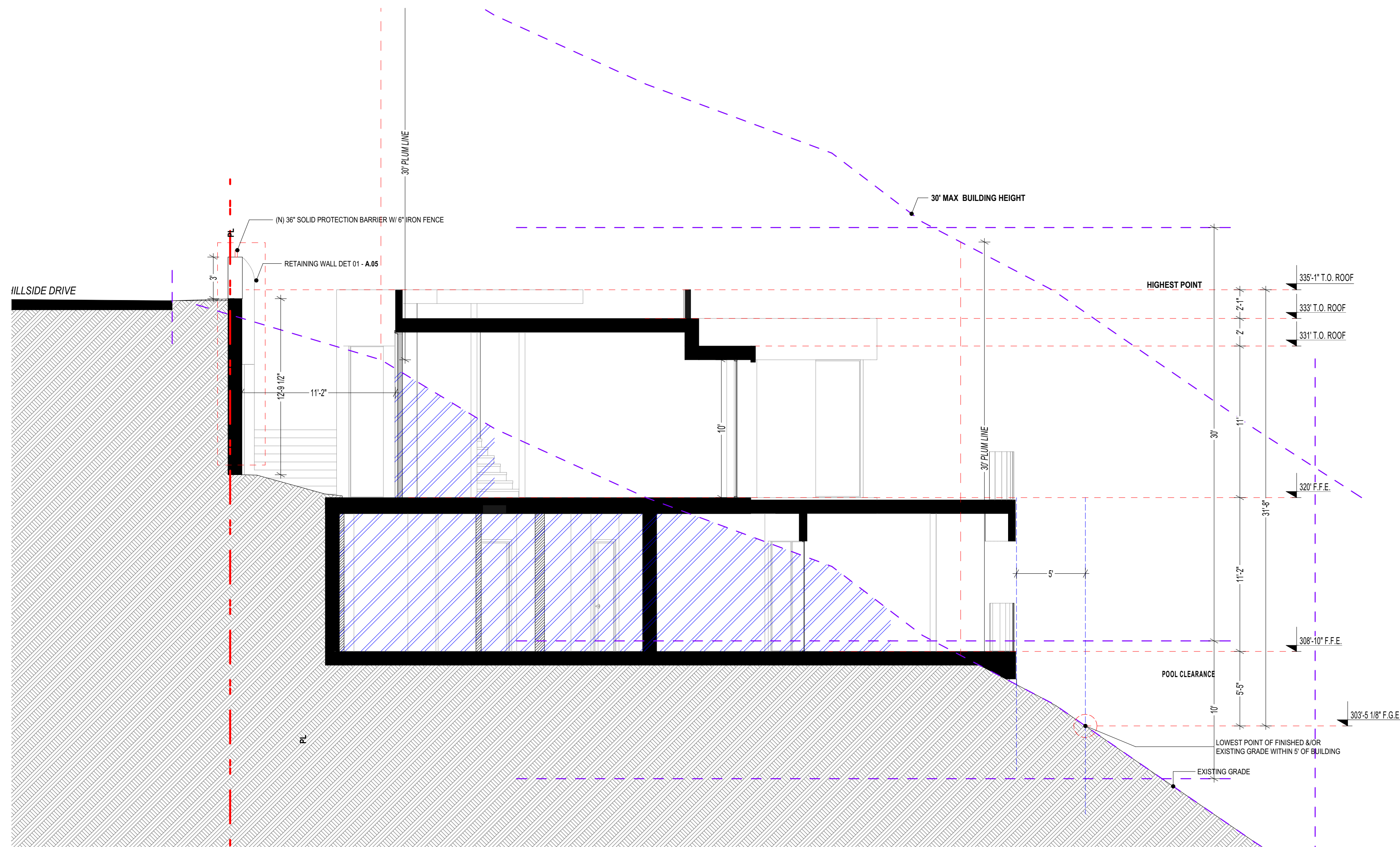
3/16" = 1'-0"



01

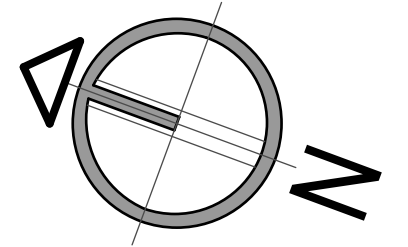
TYP STREET RETAINING WALL

3/16" = 1'-0"



BB

3/16" = 1'-0"



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date:

8.23.2022

city submittal:

SAN DIEGO

scale:

indicate in draw

draw:

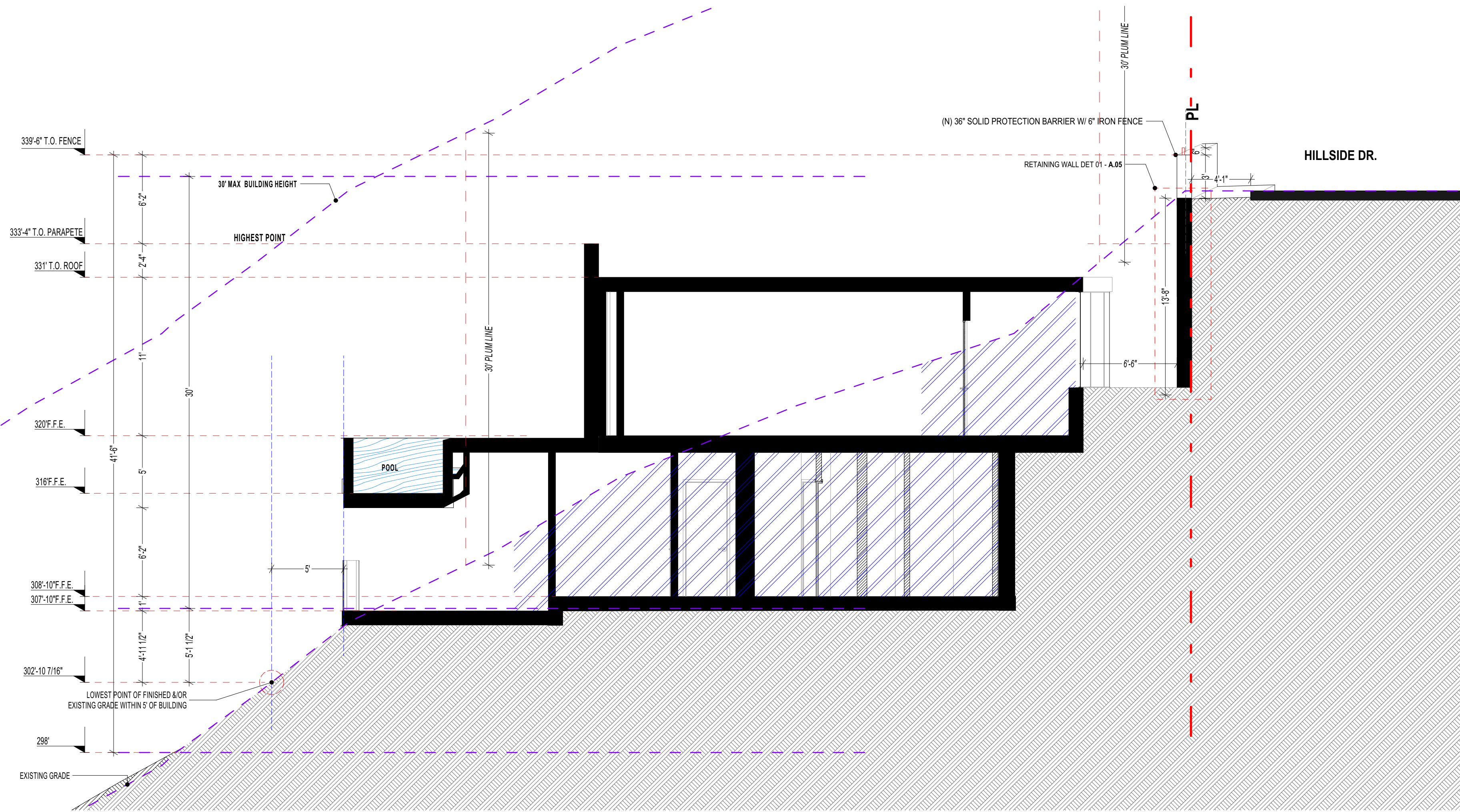
E.M.

job no.

SHEET TITLE:

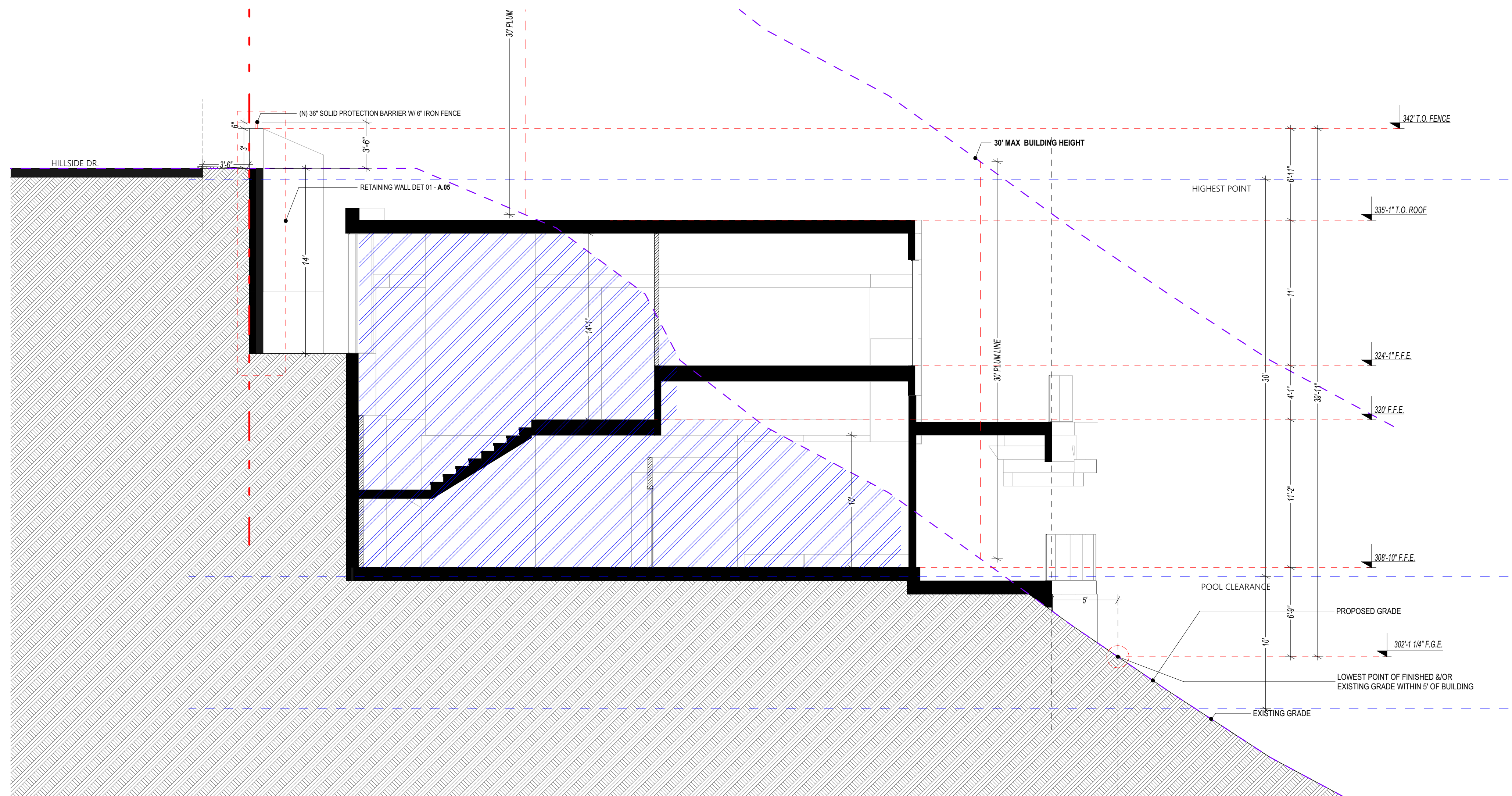
SECTIONS C-D

A.05.1



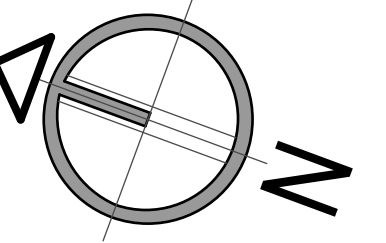
C C

3/16" = 1'-0"



D D

3/16" = 1'-0"



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

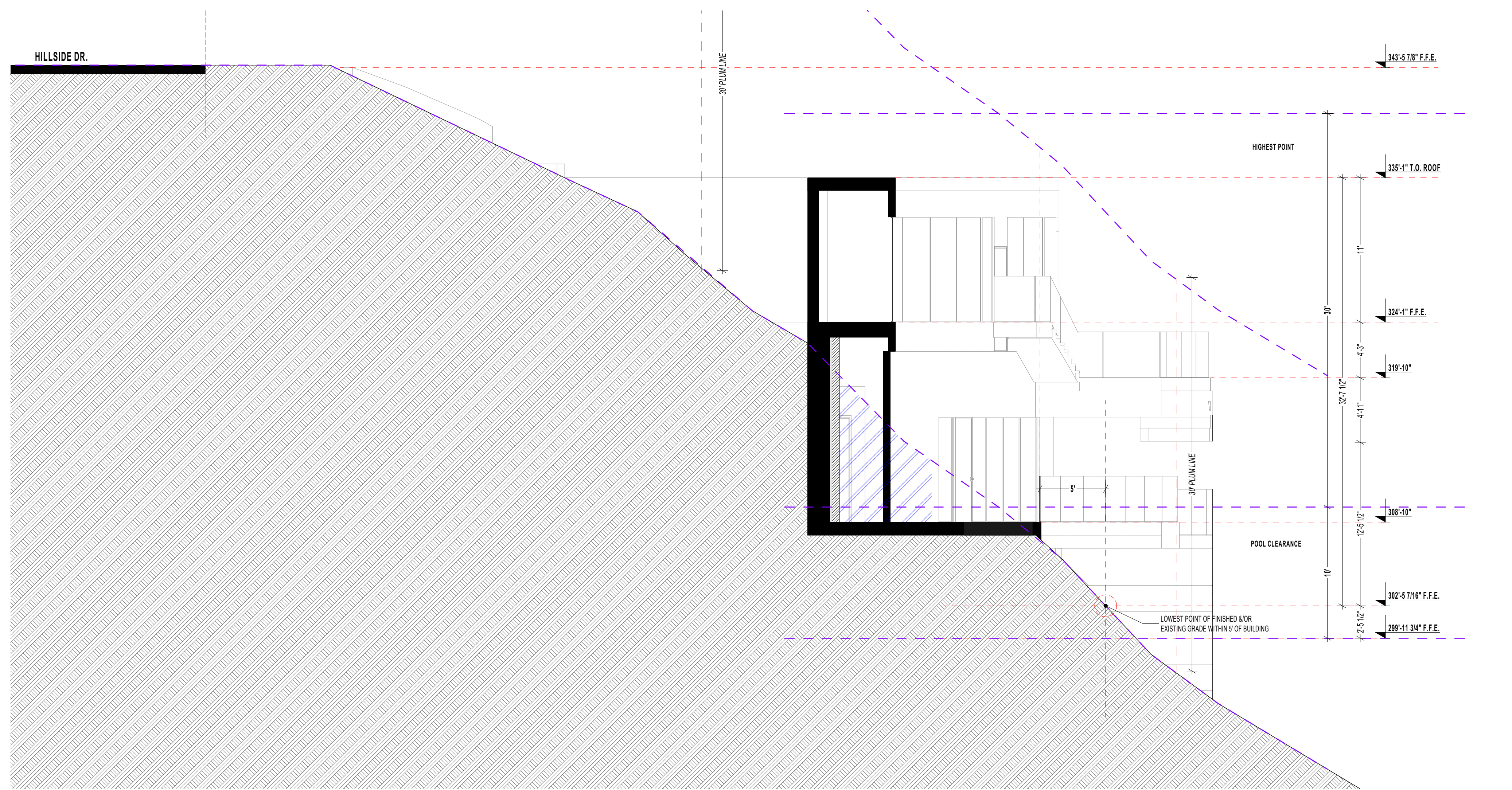
ADDRESS:

date.
 8.23.2022
 city submittal.
 SAN DIEGO
 scale.
 indicate in draw
 draw.
 E.M.
 job no.

SHEET TITLE:

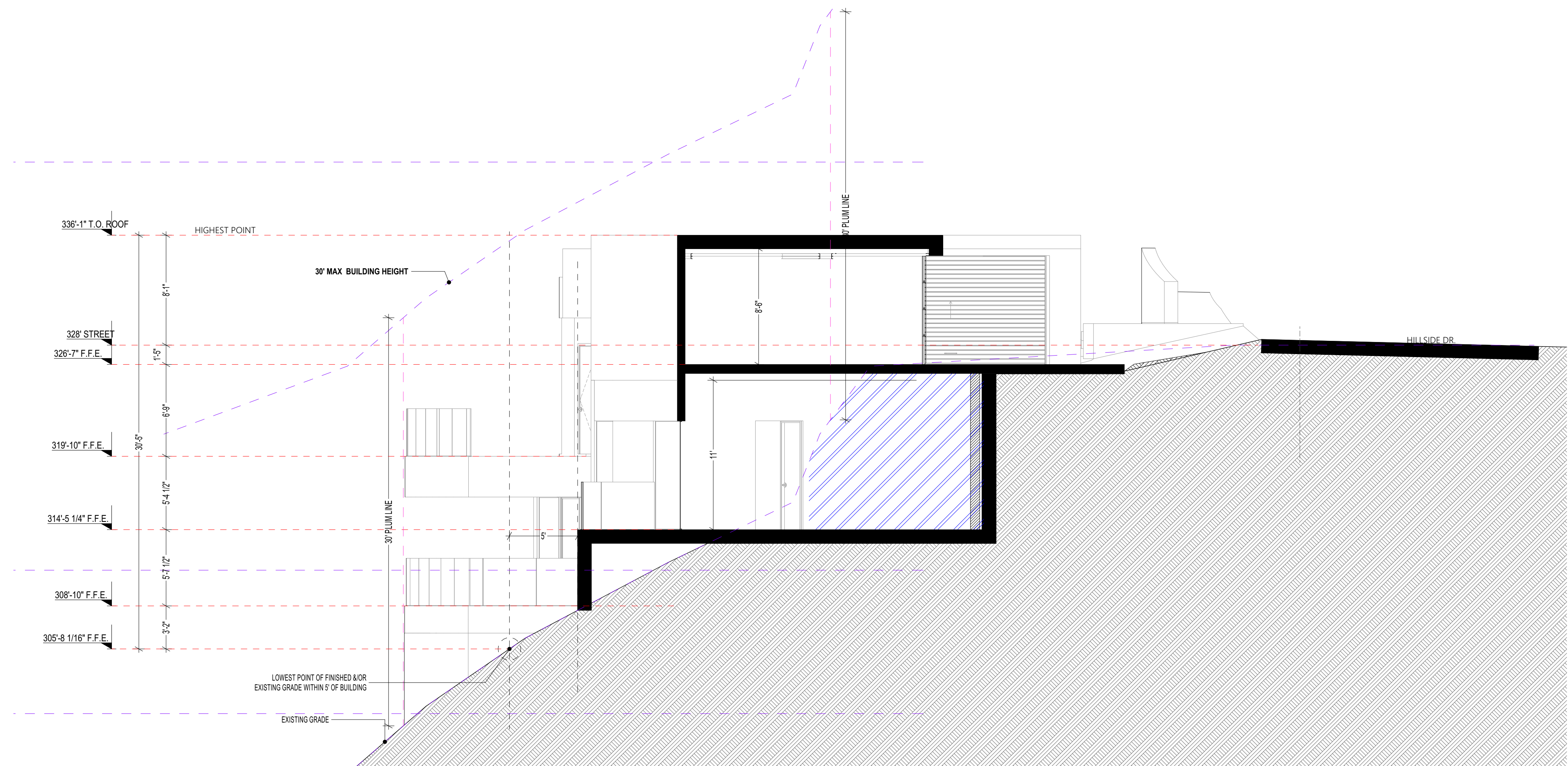
SECTIONS E-F

A.05.2



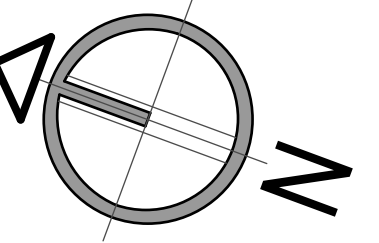
E - E

3/16" = 1'-0"



F - F

3/16" = 1'-0"



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date.

8.23.2022

city submittal.

SAN DIEGO

scale.

indicate in draw

draw.

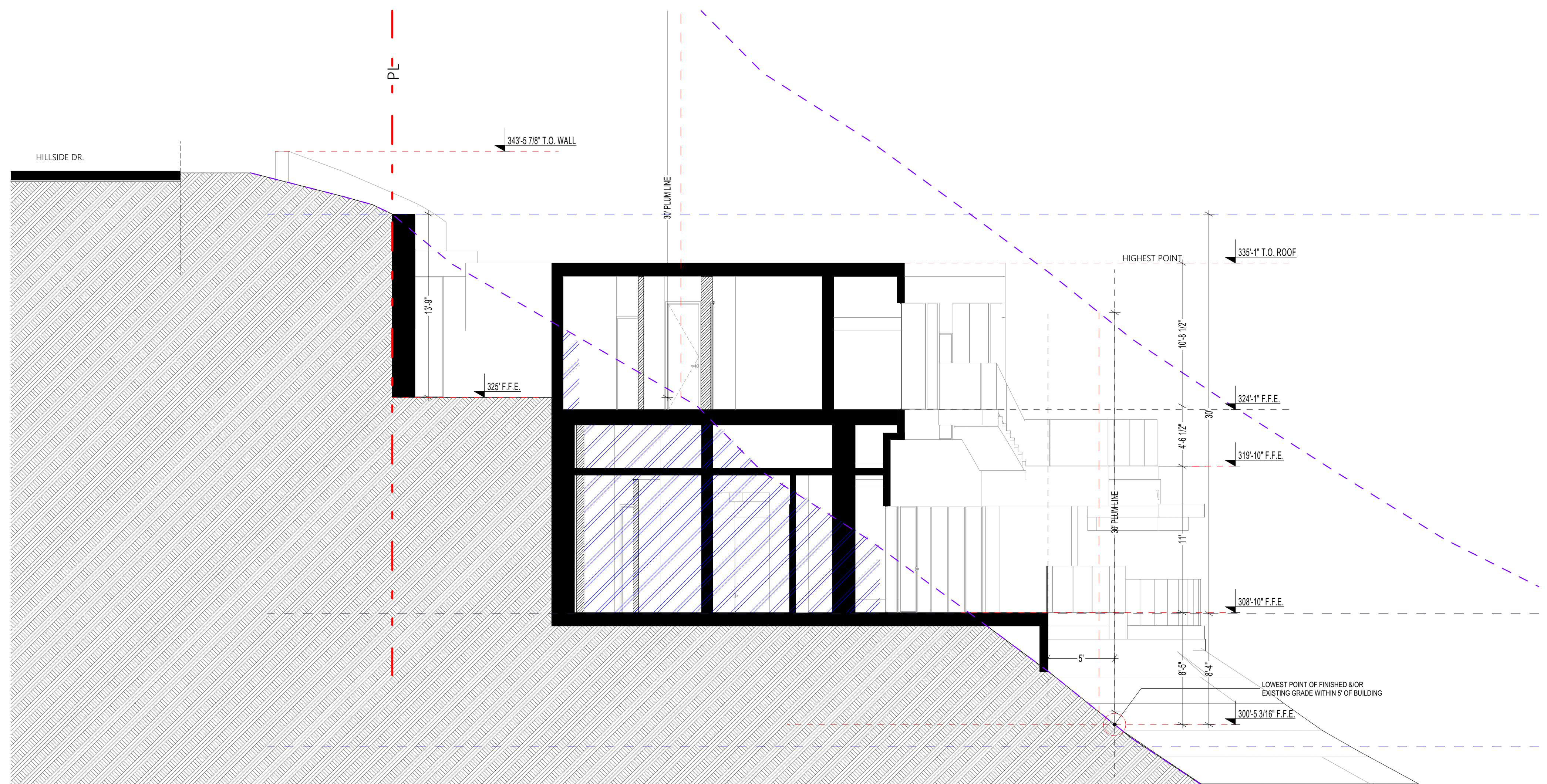
E.M.

job no.

SHEET TITLE:

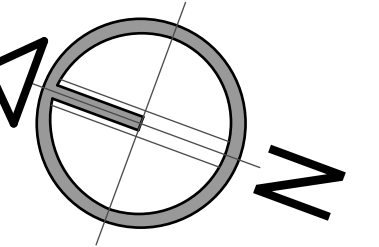
SECTIONS G

A.05.3



G - G

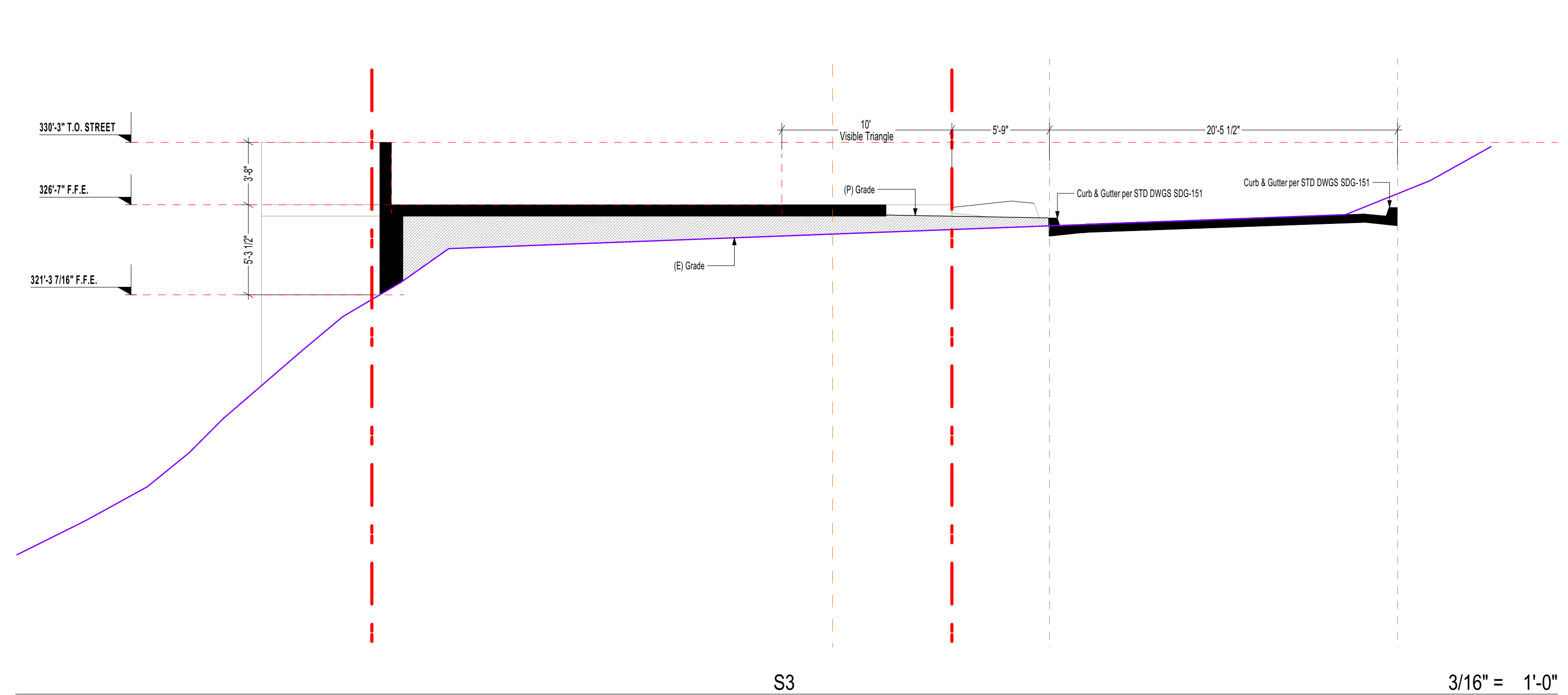
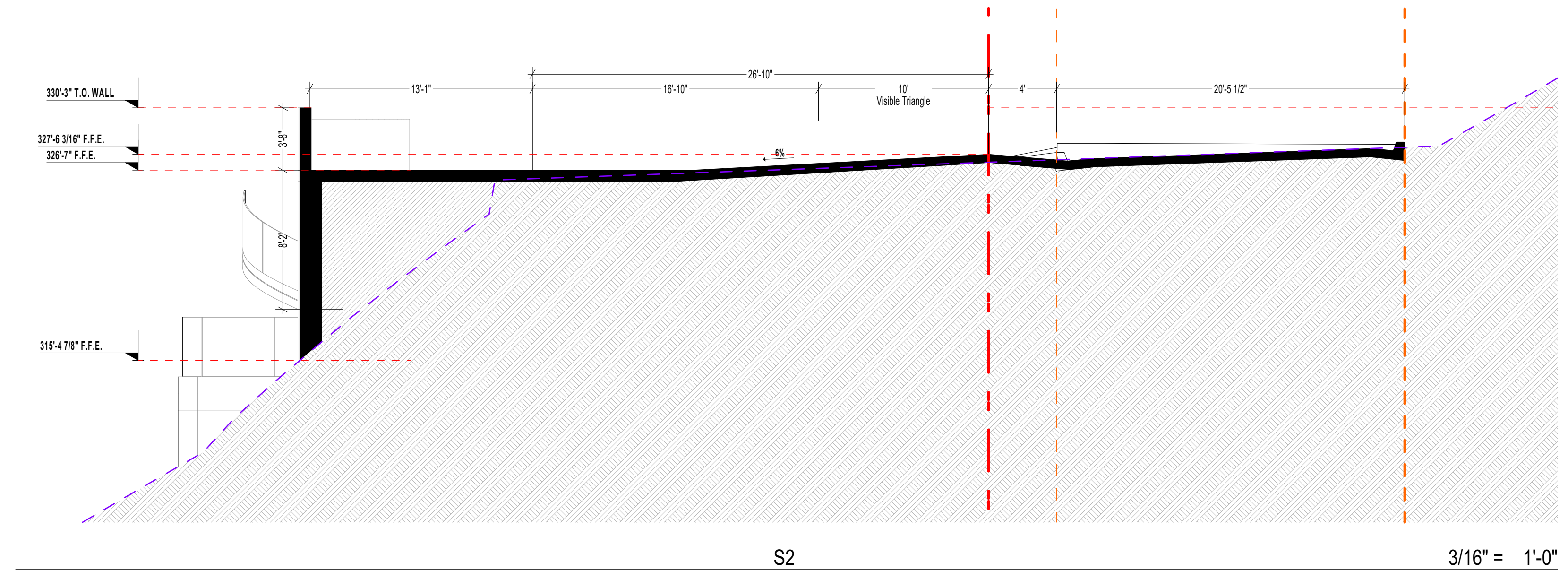
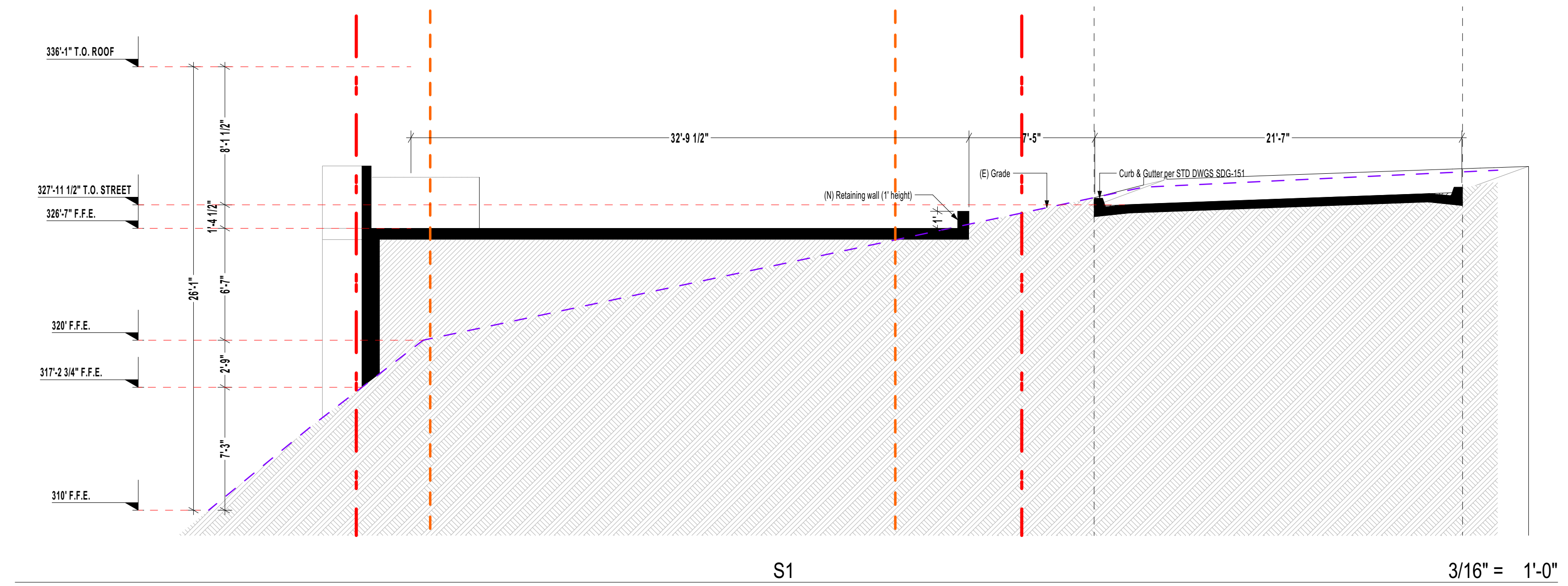
3/16" = 1'-0"



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022



CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date:

8.23.2022

city submittal:

SAN DIEGO

scale:

indicate in draw

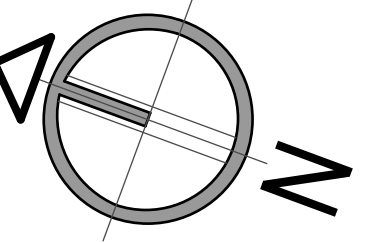
draw:

E.M.

job no.

SHEET TITLE:

SECTIONS S1 - S3



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date:

8.23.2022

city submittal:

SAN DIEGO

scale:

indicate in draw

draw:

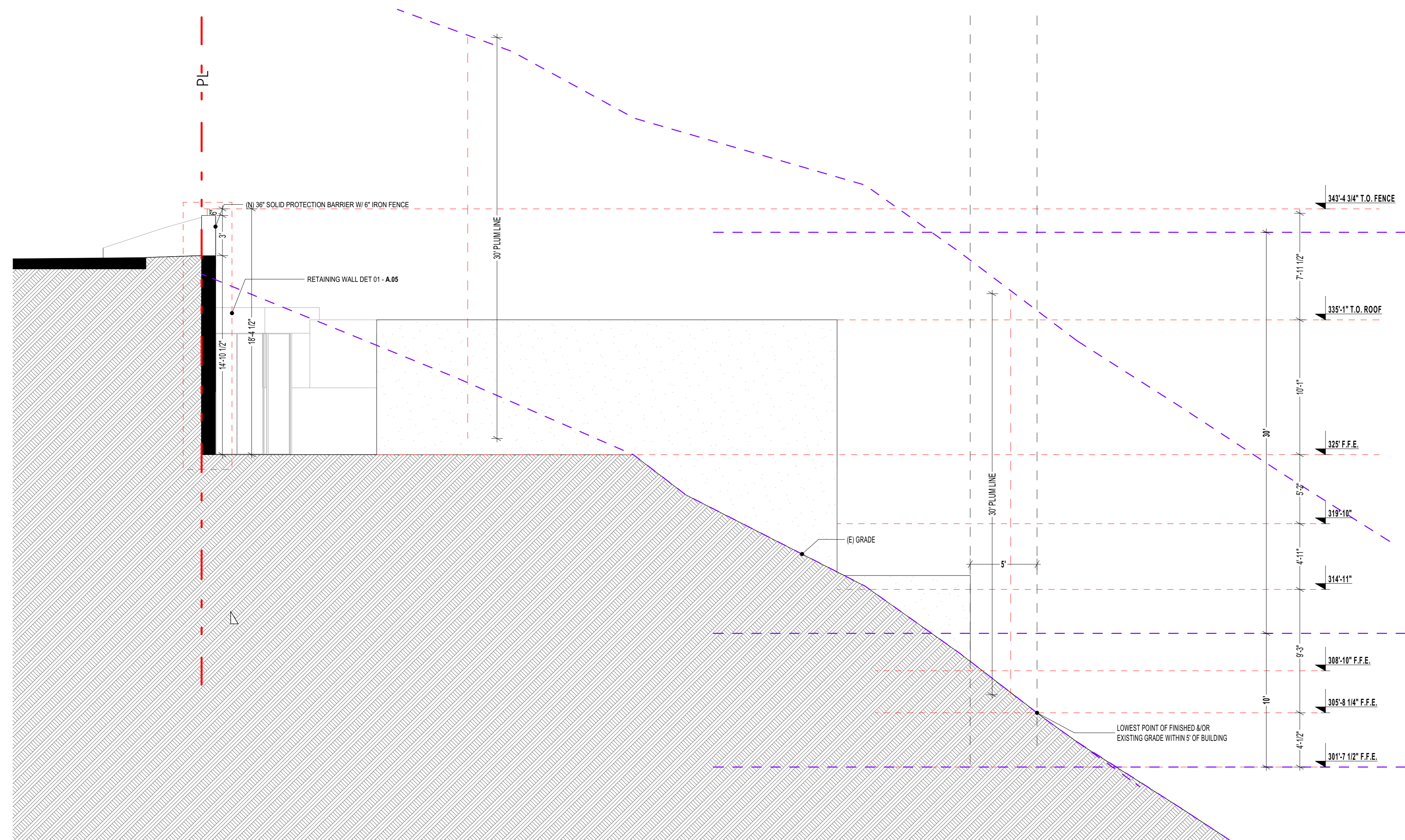
E.M.

job no.

SHEET TITLE:

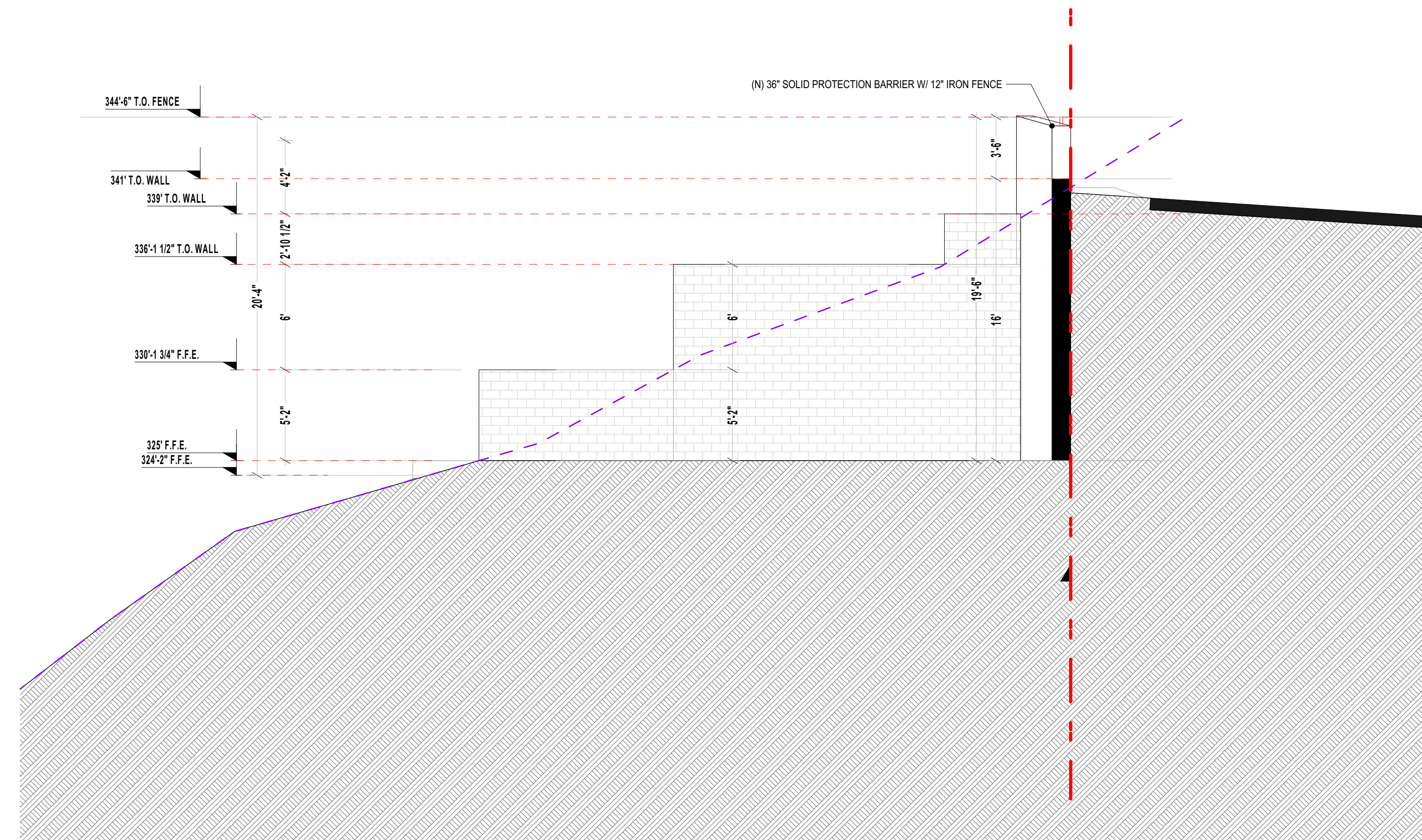
SECTIONS S4 - S5

A.05.5



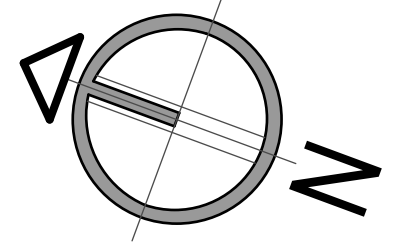
S4

3/16" = 1'-0"



S5

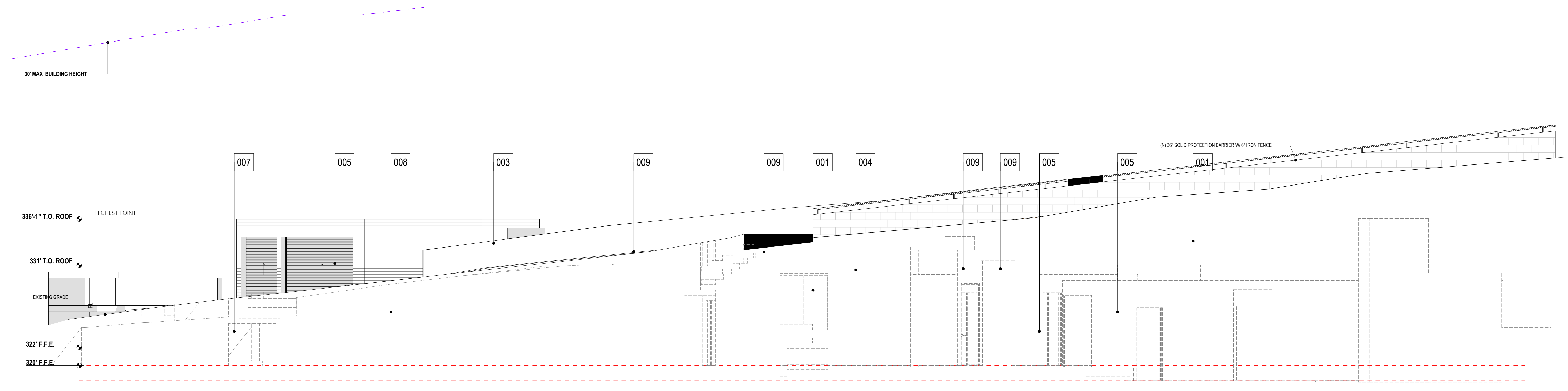
3/16" = 1'-0"



NORTH

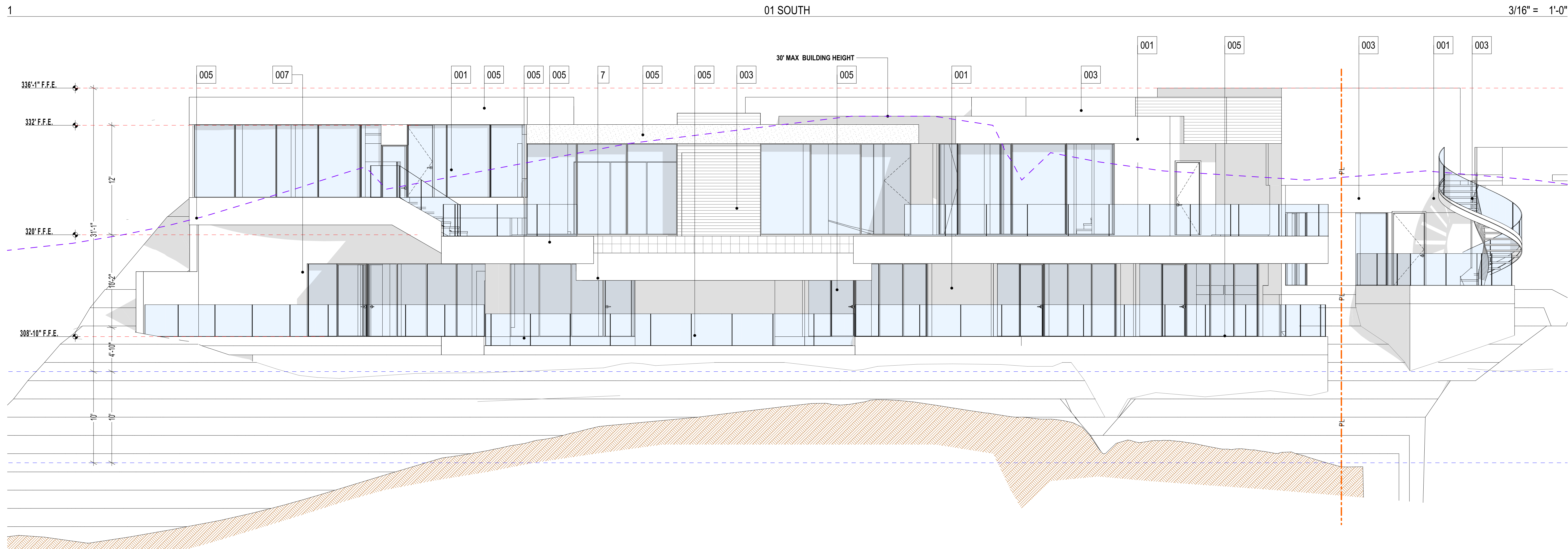
PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022



01 SOUTH

3/16" = 1'-0"



02 NORTH

3/16" = 1'-0"

GENERAL NOTES

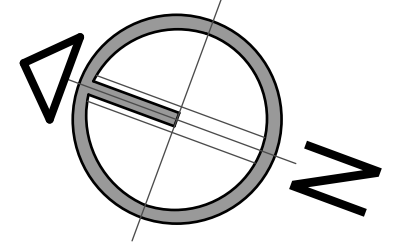
KEY NOTES

- | | |
|--|--|
| <ol style="list-style-type: none"> 1. REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N. 2. METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N. 3. INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19. 4. WEATHER-TIGHTNESS: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED. 5. PREMISES IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 12" HIGH NUMERALS WITH 1/2" WIDE STROKE WIDTH U.O.N. | <ol style="list-style-type: none"> 001. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: DARK GRAY TBD 002. STANDING SEAM ROOF 003. TREATED WOOD 004. FLAT STONE CLADDING 005. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: WHITE TBD 006. GLASS RAILING 007. CONCRETE CLADDING TEXTURE TBD 008. GARAGE DOOR WITH TREATED WOOD COLOR TBD 009. WITHE GRANITE |
|--|--|

CAS - RESIDENCE
 7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:	
ADDRESS:	
date:	8.23.2022
city submittal:	SAN DIEGO
scale:	indicate in draw
draw:	E.M.
job no.:	

SHEET TITLE:
 ELEVATIONS N-S



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

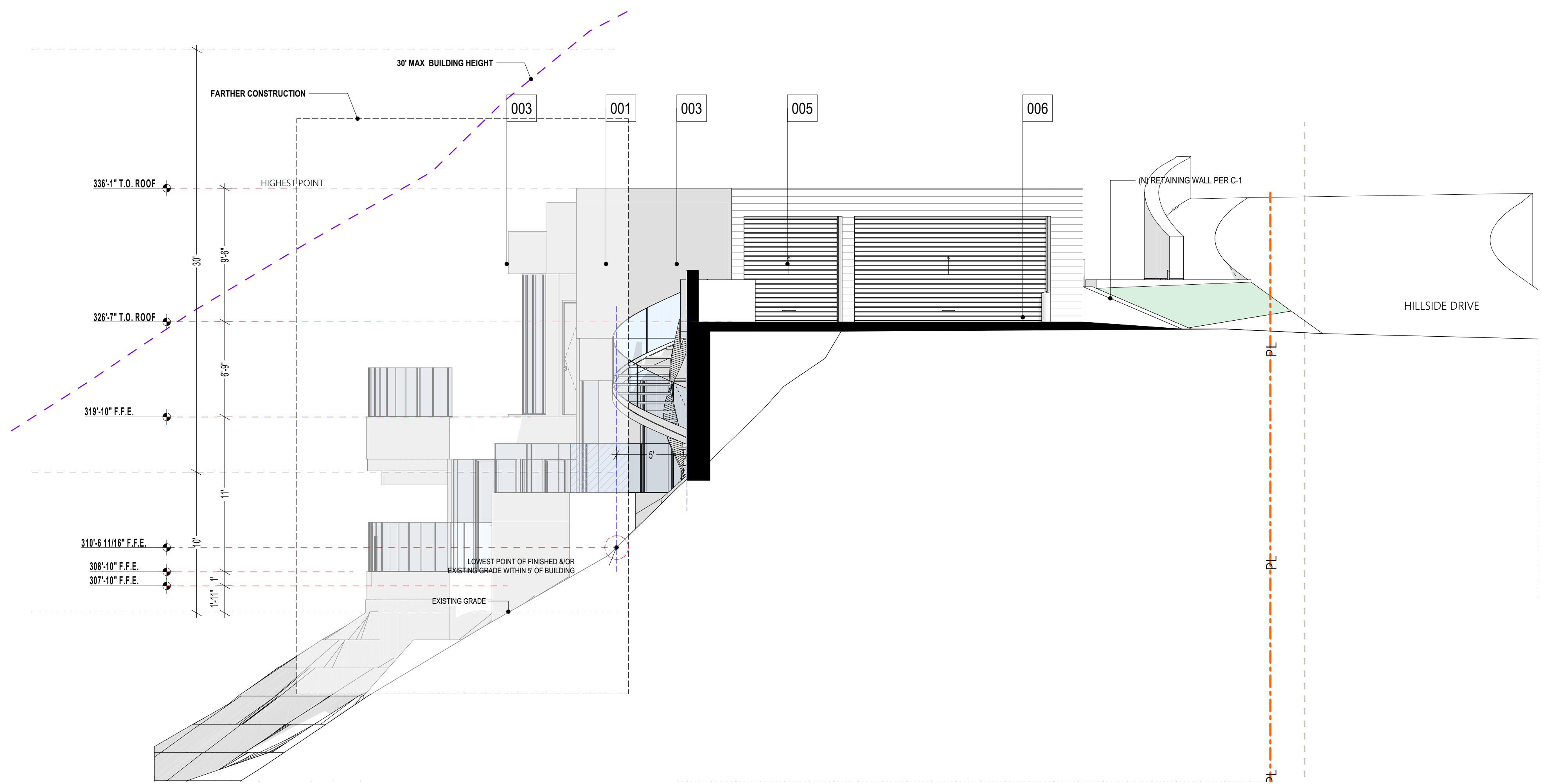
ADDRESS:

date.
 8.23.2022
 city submittal.
 SAN DIEGO
 scale.
 indicate in draw
 draw.
 E.M.
 job no.

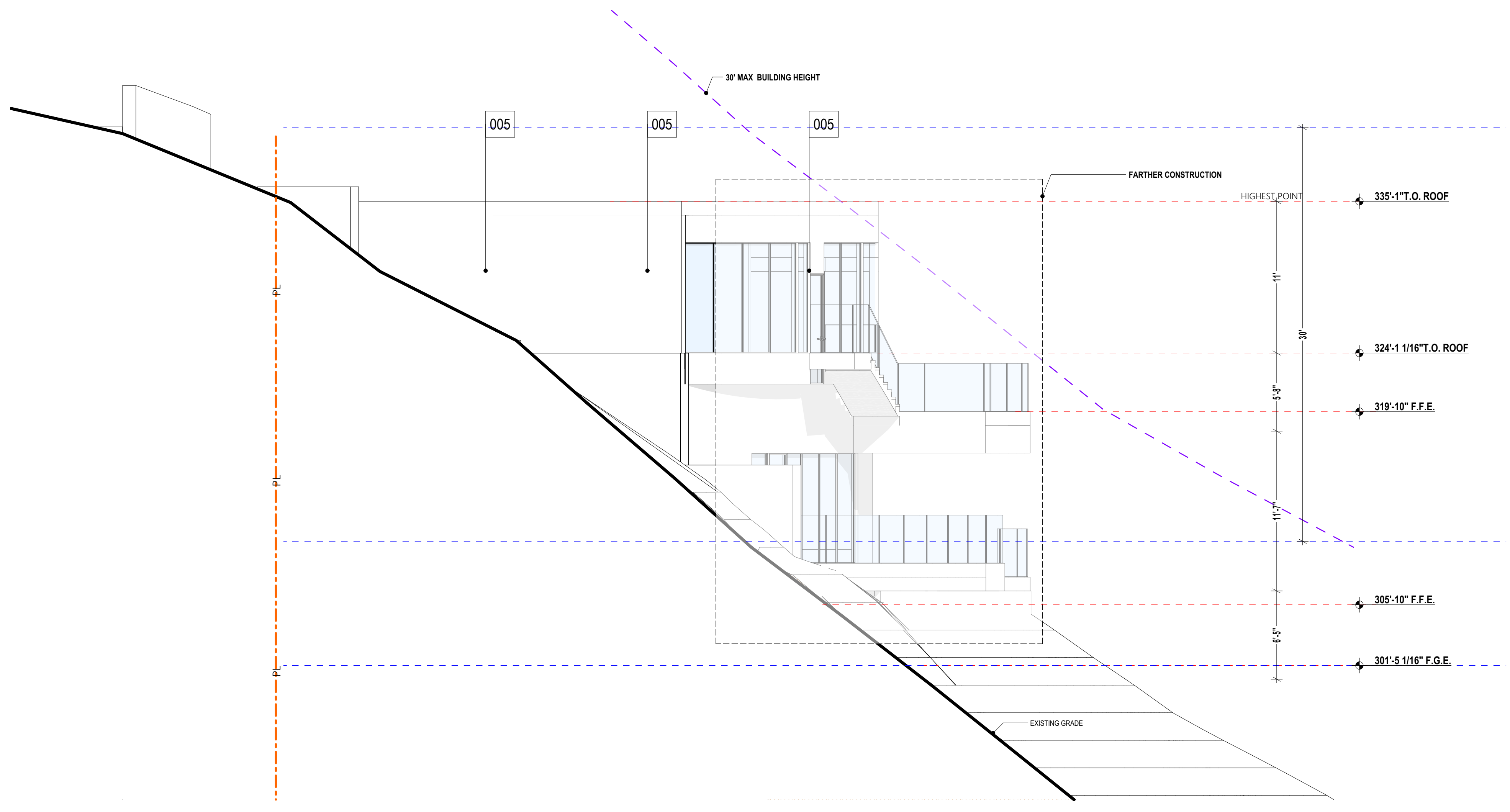
SHEET TITLE:

ELEVATIONS E-W

A.06.1



1 03 WEST 3/16" = 1'-0"



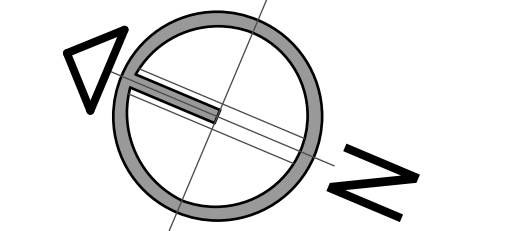
1 04 EAST 3/16" = 1'-0"

GENERAL NOTES

1. REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.
2. METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.
3. INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19
4. WEATHER-TIGHTNESS: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.
5. PREMISES IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/12" WIDE STROKE WIDTH U.O.N.

KEY NOTES

001. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: DARK GRAY TBD
002. STANDING SEAM ROOF
003. TREATED WOOD
004. FLAT STONE CLADDING
005. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: WHITE TBD
006. GLASS RAILING
007. CONCRETE CLADDING TEXTURE TBD
008. GARAGE DOOR WITH TREATED WOOD COLOR TBD
009. WITH THE GRANITE



PTS - 0522708

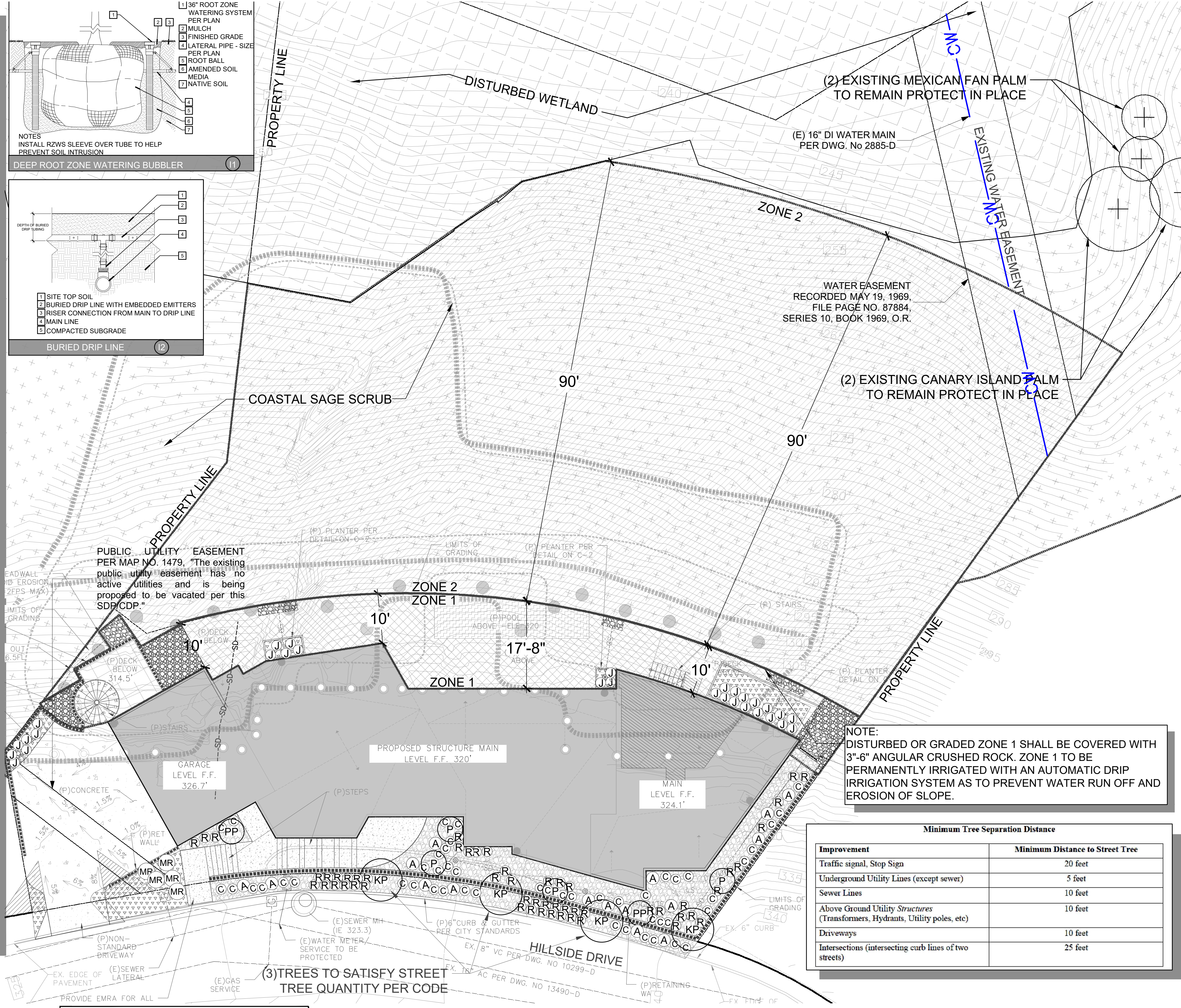
REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
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CAS - RESIDENCE
7595 HILLSIDE DR. LA JOLLA, CA. 92037

PLANT LEGEND

STREET TREES					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-COLS
KP	ARCHONTOPHOENIX CUNNINGH.	KING PALM	24" BOX	3	MOD.
TREES					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-COLS
K	ARCHONTOPHOENIX CUNNINGH.	KING PALM	14' B.T.H.	1	MOD.
P	PHOENIX ROEBELENI	PYGMY DATE PALM	4' B.T.H.	4	MOD.
PP	PHOENIX ROEBELENI	PYGMY DATE PALM DOUBLE TRUNK	5' B.T.H.	2	MOD.
SHRUBS					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-COLS
A	AGAVE 'SILVER LINING'	CEDROS ISLAND AGAVE	1 GAL.	16	LOW
R	KNIPHOFIA UVARIA	RED HOT POKER	1 GAL.	53	LOW
C	CALANDRINIA 'SHINNING PINK'	ROCK PURSLANE	5 GAL.	49	LOW
J	JUNCUS PATENS	CALIFORNIA GRAY RUSH	5 GAL.	30	MOD.
MR	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL.	5	LOW
GROUND COVER					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-COLS
4"-8" BAJA CRESTA RUBBLE (BY SOUTHWEST BOULDER).				1,110	---
	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL. 12" O.C.	391	MOD.
3"-6" ANGULAR CRUSHED ROCK				1 GAL. 36" O.C.	200

- LANDSCAPE NOTES:**
- ALL LANDSCAPE AND IRRIGATION SHALL BE IN CONFORMANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS MANUAL ORDINANCE AND REQUIREMENTS OF THE JOLLA SHORES PLANNED DISTRICT ORDINANCE.
 - THIS PROJECTS ZONE 1 SHALL BE IRRIGATED BY A PERMANENT AUTOMATED SYSTEM WITH ALL VALVES AND PIPING INSTALLED BELOW GRADE.
 - THE SYSTEM WILL BE PROGRAMMED AND OPERATED TO MAXIMIZE THE EFFICIENCY OF THE SYSTEM AND LIMIT THE WATER CONSUMPTION. THE SYSTEM WILL BE DESIGNED TO ACHIEVE 100% COVERAGE.
 - ALL PLANTING AREAS ARE TO RECEIVE A 3" LAYER OF ECO-MULCH.
 - THE PROPERTY OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT LANDSCAPE AND IRRIGATION SYSTEMS.
 - THIS PROJECT IS LOCATED IN A VERY HIGH FIRE HAZARD ZONE THIS PROJECT PROPOSES TO PROVIDE A 10' WIDE ZONE 1 AND A 90' ZONE 2.
- ZONE-1:** EXISTING LANDSCAPE SHALL HAVE AN AVERAGE MAXIMUM MATURE HEIGHT OF 24" OR LESS, OR WILL BE MAINTAINED AT 24" OR LESS.
- ZONE-2:** INDIVIDUAL NON-IRRIGATED PLANT GROUPINGS OVER 18" IN HEIGHT MAY BE RETAINED, PROVIDED THEY DO NOT EXCEED 400 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 30% OF THE TOTAL ZONE-2 AREA. SHRUBS IN NEW PLANTING AREAS (IF NEEDED) SHALL HAVE AVERAGE MAXIMUM MATURE HEIGHT OF 24" OR LESS OR WILL BE MAINTAINED @ 24" OR LESS..
- REPLANTING OF EXISTING SLOPES: RE-VEGETATE ANY DISTURBED SLOPE ACCORDING TO LANDSCAPE PLAN SHEET L1.
 - ALL LANDSCAPE PROVIDED TO MEET THE 30% AREA REQUIREMENTS SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE. ALL REQUIRED LANDSCAPE INSPECTIONS MUST BE OBTAINED PRIOR TO ISSUANCE OF THE FINAL INSPECTION.
 - REFER TO THE CITY OF SAN DIEGO LDC, SECTION 142.0412 (g) & (h) FOR ADDITIONAL BRUSH MANAGEMENT REQUIREMENTS.
 - NON-NATIVE PLANTS READILY CAPABLE OF REPRODUCING AND SPREADING INTO NATIVE, NO-IRRIGATED AREAS ARE PROHIBITED IN ALL TRANSITIONAL LANDSCAPES.
 - GRADES / DISTURBED PAD AND SLOPE AREAS SHALL BE HYDROSEED TO PREVENT EROSION, IN THE EVENT THAT CONSTRUCTION OF THE BUILDING DOES NOT OCCUR WITH 30 DAYS OF GRADING. HYDROSEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.
 - MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
UNDERGROUND UTILITY - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) 10 FEET
INTERSECTION (INTERSECTING CURB LINES OF TO STREET) -25 FEET
 - ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED IN ZONE 1. ALL REQUIRED RE-VEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCES.
 - A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREAS SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
 - MAINTENANCE: AL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(b)(10).
 - IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICE DEPARTMENT WITHIN 30 DAYS OF DAMAGE.



BRUSH MANAGEMENT ALTERNATE COMPLIANCE
WALLS ON BOTH SOUTH AND EAST SIDE OF PROPERTY ABUTTING VEGETATION AREAS WILL BE BUILT OF C.I.P. (CAST IN PLACE) CONCRETE WALLS, ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZE/DUAL TEMPERED FIRE RATED LAMINATED GLASS. ALL OVERHANGS WILL BE FITTED WITH AUTOMATIC SPRINKLERS SUPPRESSION SYSTEMS, ALL AREAS WILL BE FINISHED WITH FIRE RESISTIVE STUCCO.

SHEET INDEX

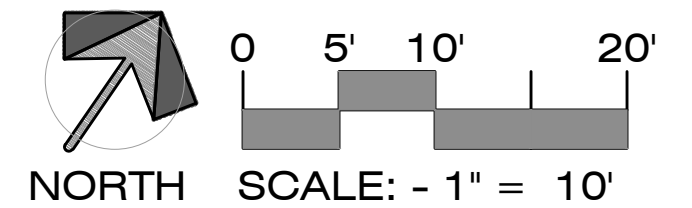
SHEET NO.	DESCRIPTION
L-1	LANDSCAPE PLAN
L-2	BRUSH MANAGEMENT PLAN
L-3	LANDSCAPE AREA DIAGRAM

SITE ADDRESS
7595 HILLSIDE DRIVE
SAN DIEGO, CA

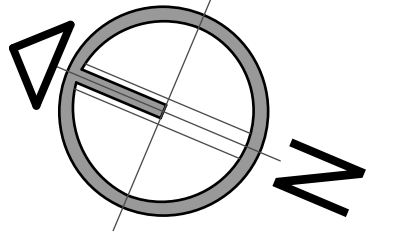
OWNER:
CASS KOOKLANI
MMK MANAGEMENT GROUP, LLC
P.O. BOX 1555
LA JOLLA, CA 92038

ARCHITECT
C.D.G.I.
P.O. BOX 84180
SAN DIEGO, CA 92138
619-858-2345

LANDSCAPE ARCHITECT
S.R. CLARKE LANDSCAPE ARCHITECTURE AND DEVELOPMENT
110 COPPERWOOD WAY SUITE #P
OCEANSIDE, CA 92058
760-716-3100



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
110 COPPERWOOD WAY # P
OCEANSIDE CA 92058
P.# 760-716-3100 LLAS9299



NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

date:

8.23.2022

city submittal:

SAN DIEGO

scale:

indicate in draw

draw:

E.M.

job no.

SHEET TITLE:

BRUSH MANAGEMENT PLAN

L2 - 3

BRUSH MANAGEMENT NOTES (SDMC142.0412):

- (g) ZONE ONE REQUIREMENTS
- (1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
 - (2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES, SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
 - (3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
 - (4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
 - (5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - (A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - (B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
 - (6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
 - (7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.
- (h) ZONE TWO REQUIREMENTS
- (1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
 - (2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
 - (3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
 - (4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
 - (5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - (A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - (B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - (C) ALL NEW ZONE TWO PLANTING SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVER SPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEM SHALL BE REMOVED UPON APPROVED ESTABLISHED OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - (D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
 - (6) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.
 - (7) EXCEPT AS PROVIDED IN SECTION 142.0412(i), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

MISC. BRUSH MANAGEMENT NOTES:

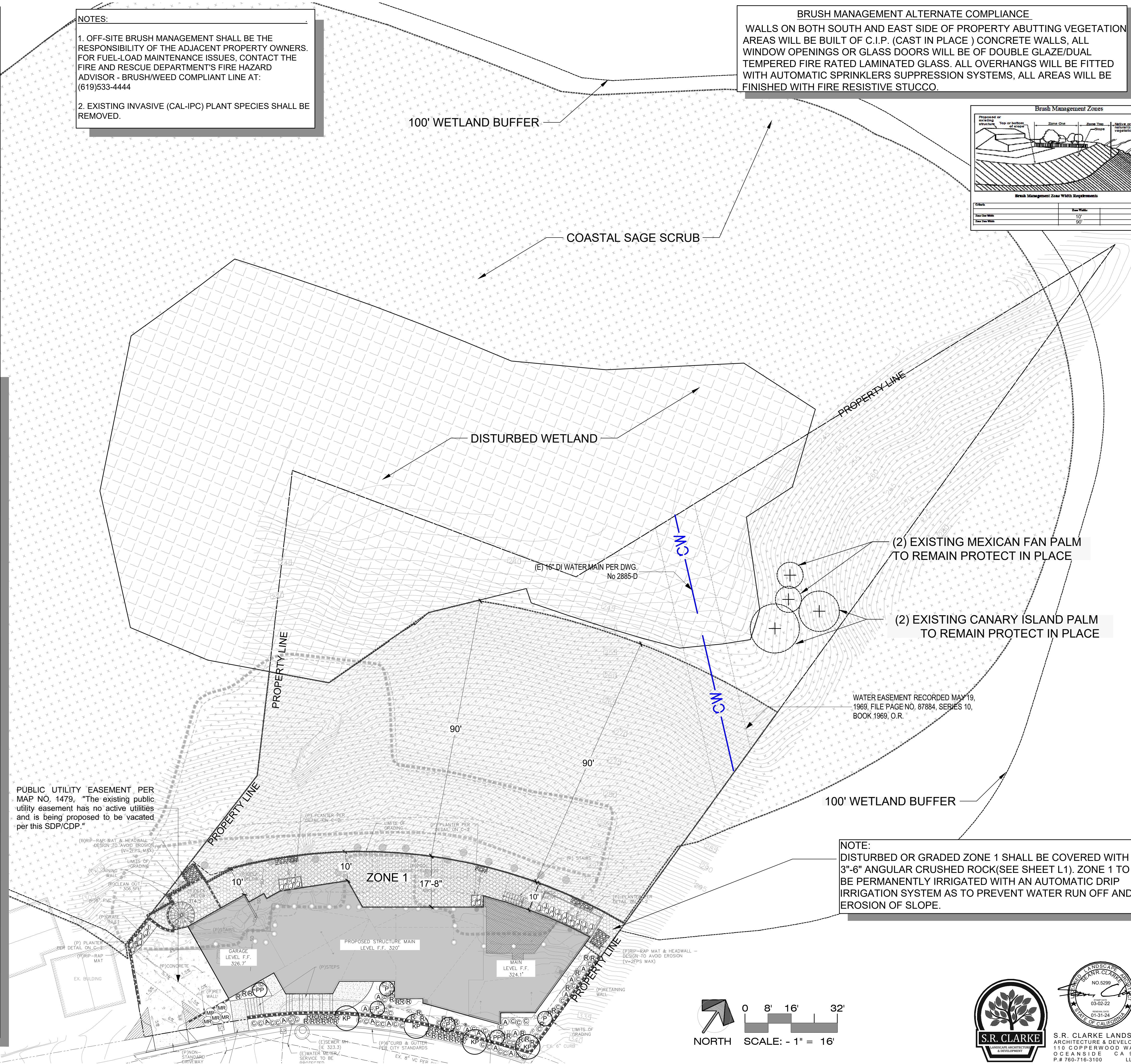
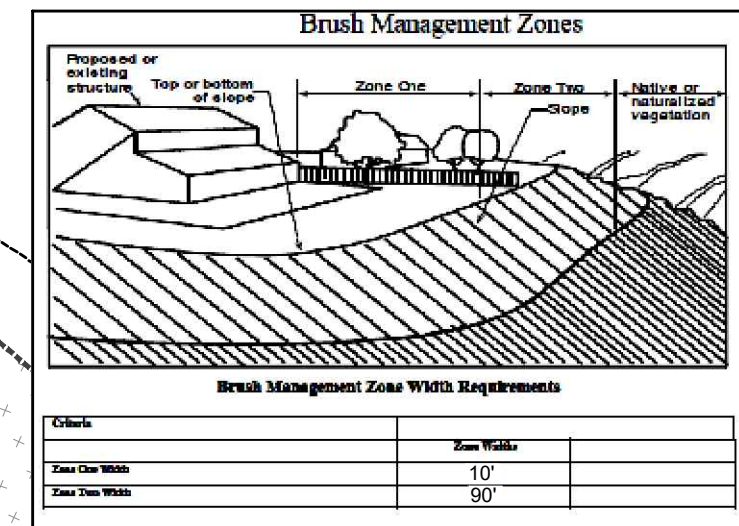
1. CONDUCT REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE TO MINIMIZE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES, EROSION AND SLOPE FAILURE. EACH PROPERTY IS UNIQUE THEREFORE PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE.
2. THIS IS THE MOST CRITICAL AREA FOR FIRE SAFETY. KEEP ALL ORNAMENTAL PLANTS WELL WATERED. CLEAN RAIN GUTTERS AND DRAINAGE PIPES REGULARLY AND REMOVE ALL LEAVES FROM ROOFTOPS BEFORE THE FIRE SEASON BEGINS. PRUNE ALL TREES AND SHRUBS ON A REGULAR BASIS TO REDUCE COMBUSTIBLE MATERIAL AND PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.
3. REMOVE DEAD WOODY PLANTS AND WEEDS. TO RETAIN SOIL WHEN REMOVING DEAD PLANT OR WEEDS, TRIM TO A WHEN SHORT STUBBLE RATHER THAN EXCAVATING PLANT BY THE ROOTS. PRUNE NATIVE SHUBS IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE FUEL. INSPECT DRAINAGE DEVICES ON SLOPES AFTER EACH STORM TO KEEP CLEAR OF DEBRIS AND SOIL. PERIODICALLY SHEAR GROUNDCOVERS AND REMOVE THATCH. PRUNE DEAD WOOD FORM SHRUBS AND TREES.
4. DUE TO RECENT FIRES, THE BRUSH MANAGEMENT ZONE IS SUBJECT TO CHANGE. THE FIRE CHIEF MAY REQUIRE ADDITIONAL ZONE WIDTHS OR ARCHITECTURAL TREATMENT TO THE STRUCTURE.
5. NON-NATIVE PLANTS READILY CAPABLE OF REPRODUCING AND SPREADING INTO NATIVE NON-IRRIGATED AREA ARE PROHIBITED IN ALL TRANSITIONAL LANDSCAPES.
6. GRADED / DISTURBED PAD AND SLOPE AREAS SHALL BE HYDRO-SEEDED TO PREVENT EROSION. IN THE EVENT THAT CONSTRUCTION OF THE BUILDING DOES NOT OCCUR WITHIN 30 DAYS OF GRADING HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH
7. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASONS OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING BE CONSISTENT WITH THE CONDITIONS OF THE SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO MSCP SUBAREA PLAN.

NOTES:

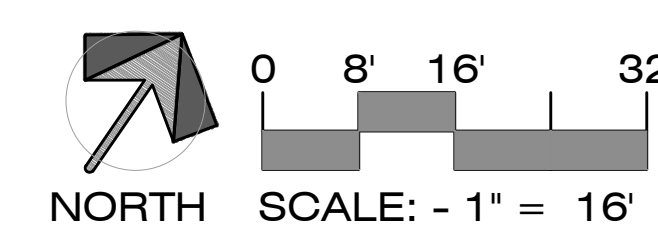
1. OFF-SITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNERS. FOR FUEL-LOAD MAINTENANCE ISSUES, CONTACT THE FIRE AND RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR - BRUSHWEED COMPLIANT LINE AT: (619)533-4444
2. EXISTING INVASIVE (CAL-IPC) PLANT SPECIES SHALL BE REMOVED.

BRUSH MANAGEMENT ALTERNATE COMPLIANCE

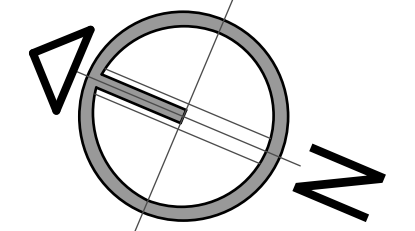
WALLS ON BOTH SOUTH AND EAST SIDE OF PROPERTY ABUTTING VEGETATION AREAS WILL BE BUILT OF C.I.P. (CAST IN PLACE) CONCRETE WALLS, ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZE/DUAL TEMPERED FIRE RATED LAMINATED GLASS. ALL OVERHANGS WILL BE FITTED WITH AUTOMATIC SPRINKLERS SUPPRESSION SYSTEMS, ALL AREAS WILL BE FINISHED WITH FIRE RESISTIVE STUCCO.



NOTE:
DISTURBED OR GRADED ZONE 1 SHALL BE COVERED WITH 3"-6" ANGULAR CRUSHED ROCK(SEE SHEET L1). ZONE 1 TO BE PERMANENTLY IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM AS TO PREVENT WATER RUN OFF AND EROSION OF SLOPE.



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
110 COPPERWOOD WAY # P
OCEANSIDE CA 92058
P# 760-716-3100 LLA#5299



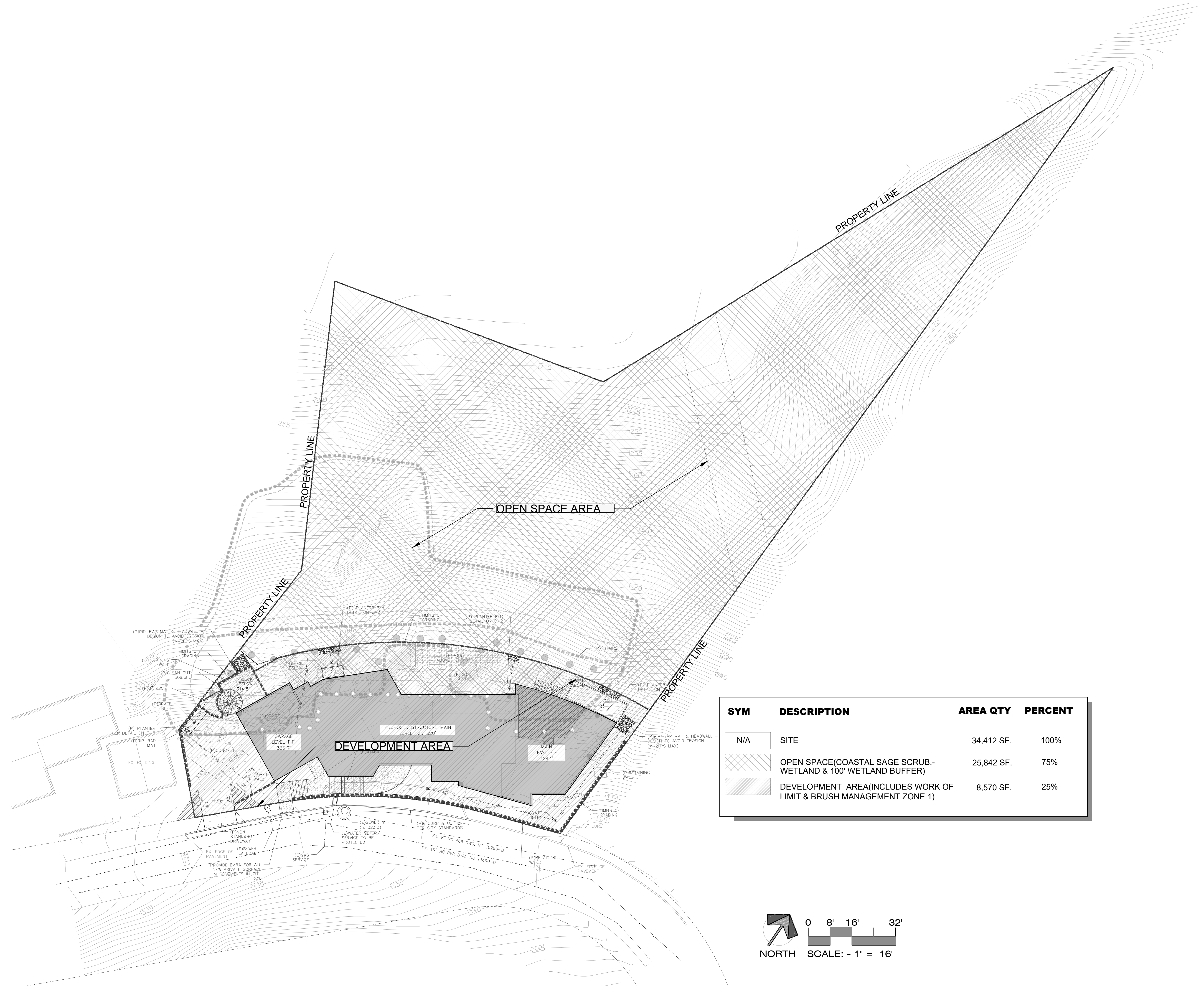
NORTH

PTS - 0522708

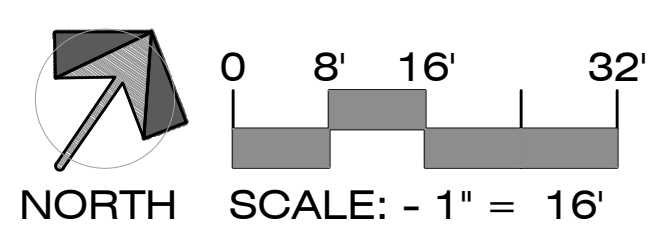
REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037



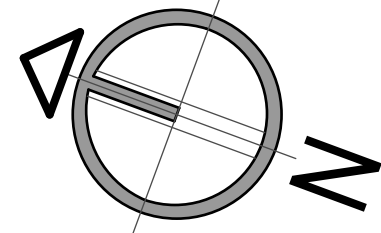
SYM	DESCRIPTION	AREA QTY	PERCENT
N/A	SITE	34,412 SF.	100%
[Cross-hatch pattern]	OPEN SPACE(COASTAL SAGE SCRUB,- WETLAND & 100' WETLAND BUFFER)	25,842 SF.	75%
[Solid grey fill]	DEVELOPMENT AREA(INCLUDES WORK OF LIMIT & BRUSH MANAGEMENT ZONE 1)	8,570 SF.	25%



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
 110 COPPERWOOD WAY # P
 OCEANSIDE CA 92058
 P.# 760-716-5100 LL#85299

PROJECT NAME:	ADDRESS:
date:	8.23.2022
city submittal:	SAN DIEGO
scale:	indicate in draw
draw:	E.M.
job no.:	

SHEET TITLE:
 LANDSCAPE AREA DIAGRAM



NORTH

PTS - 0522708

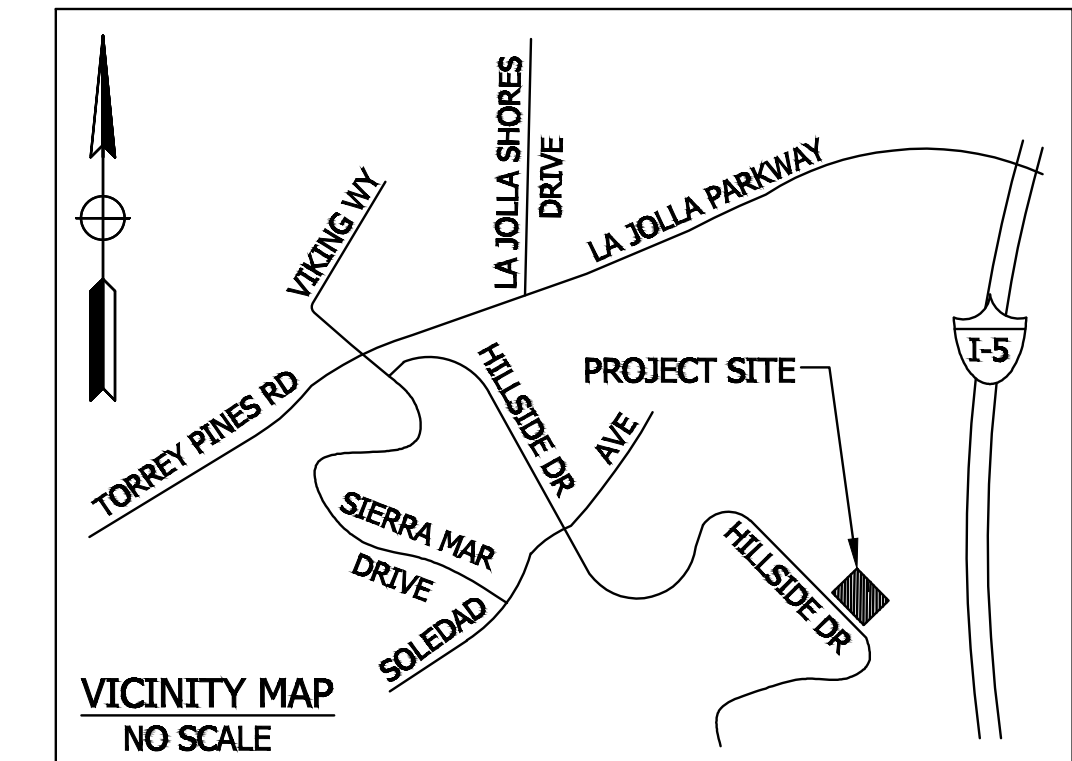
REVISION	9.10.2021
REVISION	11.19.2021
REVISION	2.17.2022
REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:	ADDRESS:
date:	8.23.2022
city submittal:	SAN DIEGO
scale:	indicate in draw
draw:	E.M.
job no.:	
SHEET TITLE:	DRAINAGE/BMP PLAN

C-1



VICINITY MAP
NO SCALE

SHEET INDEX:

- C-1 - GRADING & DRAINAGE PLAN
- C-2 - BMP PLAN

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY WAS OBTAINED FROM CITY OF SAN DIEGO BENCHMARK BOOK

HILLSIDE DRIVE & SOLEDAD AVE
 SW BRASS PLUG
 ELEVATION: 228.995 MSL

LEGAL DESCRIPTION:

PARCEL 1 OF PARCEL MAP NO. 3359, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 30, 1974.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY WAS OBTAINED FROM WESTERLY LINE OF PARCEL 1 AS SHOWN ON MAP I.E. N57°49'56"E

FEMA FLOOD ZONE:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE X. MINIMAL FLOOD HAZARD

TOPOGRAPHIC SURVEY:

AERIAL AND FILED SURVEY PERFORMED BY SOL ENGINEERING

ZONING:

EXISTING: R-1 SINGLE
 PROPOSED: R-1 SINGLE

ASBS:

THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT / PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.

PROPERTY OWNER:

MMK MANAGEMENT GROUP, LLC
 7455 HILLSIDE DR.
 LA JOLLA, CA 92037

PROJECT ADDRESS:

7595 HILLSIDE DR. BASE ZONE: LJSFD-SF
 LA JOLLA, CA 92037 PLANNED DISTRICT: LA JOLLA SHORE PLANNED DISTRICT

APN:

APN: 352-141-01-00

SITE AREA:

0.79 ACRES (34,412 SQUARE FEET)

GRADING TABULATION:

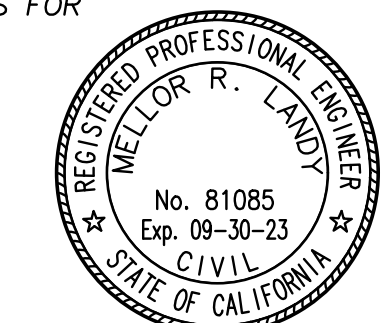
AMOUNT OF SITE AREA TO BE GRADED: 8,417 SF APPROX.
 % OF TOTAL SITE: 25% APPROX.
 AMOUNT OF CUT (1.5:1 MAX): 2,000 CY
 AMOUNT OF FILL (2:1 MIN): 0.0 CY
 HEIGHT OF CUT/FILL (UNDER BLDG.): CUT: 23.5' MAX. FILL: 4.9' MAX.
 HEIGHT OF CUT/FILL (OUTSIDE BLDG.): CUT: 18' MAX. FILL: 0' MAX.
 AMOUNT OF EXPORT OF SOIL: 2,000 CY APPROX.
 RETAINING WALLS: 150 LF MAX HEIGHT 11'

IMPERVIOUS DATA TABLE:

TOTAL DISTURBANCE AREA	8,100 SF
EXISTING AMOUNT OF PERVIOUS AREA	29,997 SF
PROPOSED AMOUNT OF PERVIOUS AREA	27,605 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	4,415 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	7,132 SF
TOTAL IMPERVIOUS AREA	7,132F
IMPERVIOUS % INCREASE	62 %

CERTIFICATION AND DECLARATION OF RESPONSIBLE CHARGE

- I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE.
- I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.



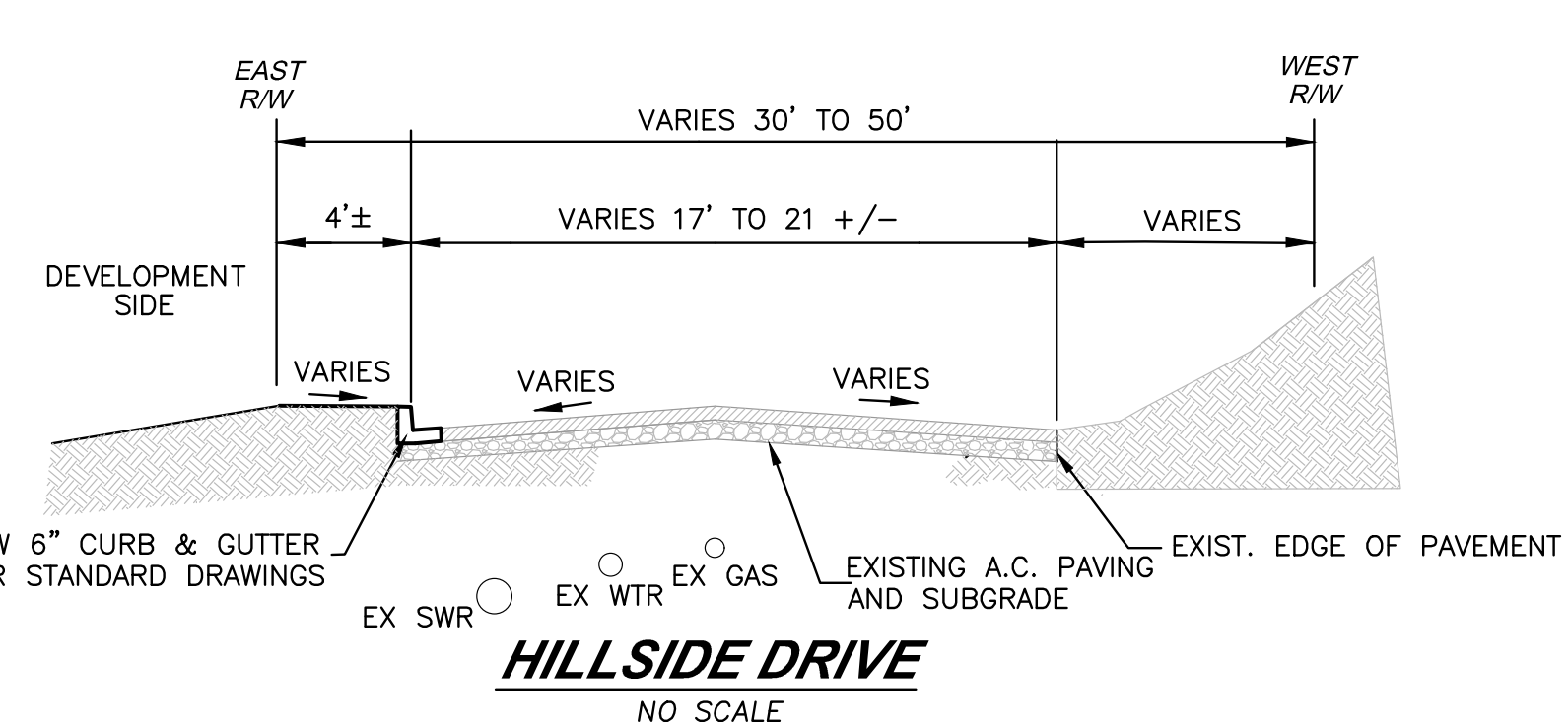
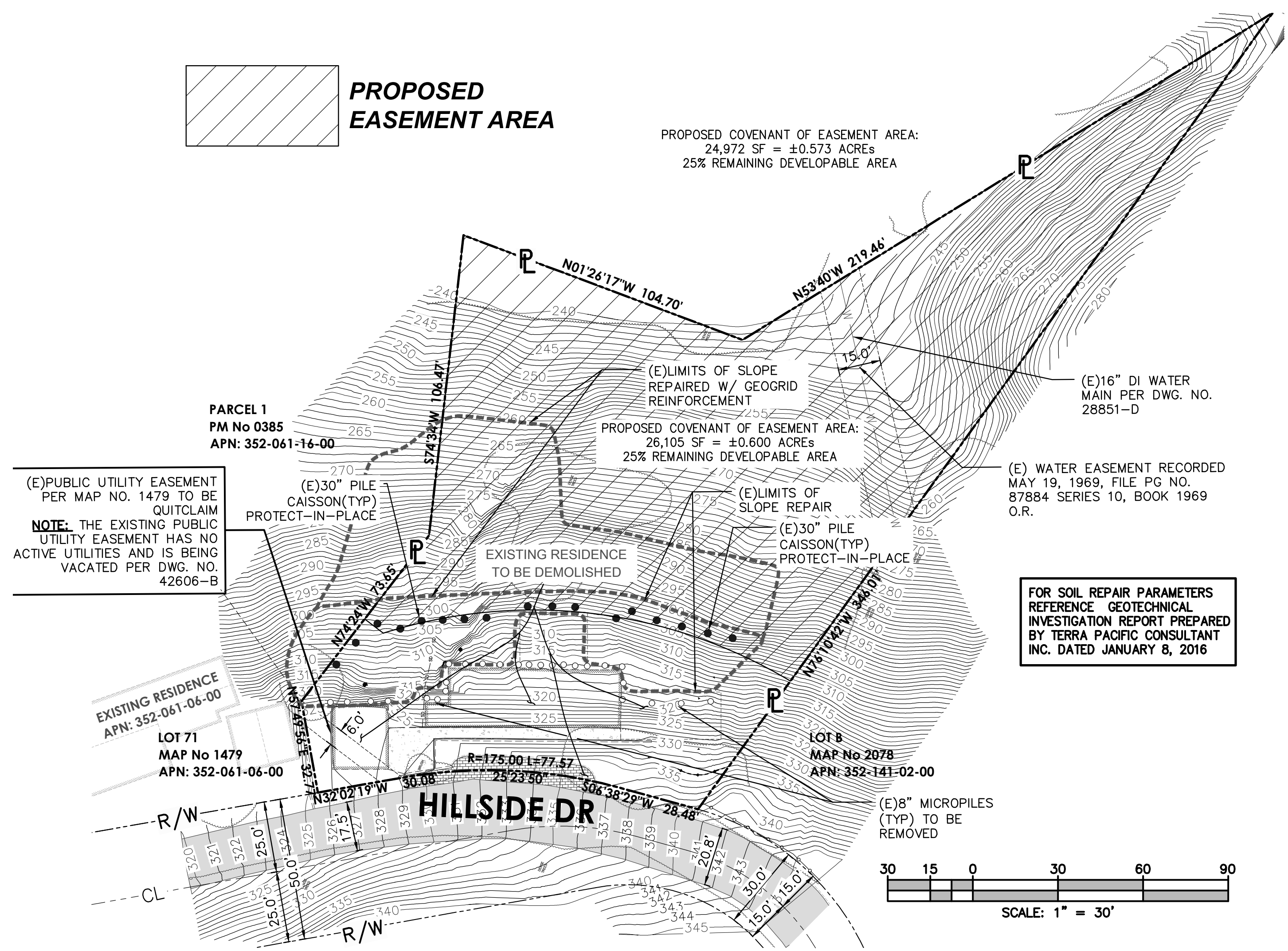
ENGINEER OF WORK

MELLOR LANDY R.C.E. 81085 EXP. 9-30-23 DATE

AP CONSULTING
 CIVIL ENGINEERING - WATER RESOURCES PLANNING
 Tel. 619-227-8941
 2371 Fenton Street, Suite 100
 Chula Vista, CA 91914

PROPOSED EASEMENT AREA

PROPOSED COVENANT OF EASEMENT AREA:
 24,972 SF = ±0.573 ACRES
 25% REMAINING DEVELOPABLE AREA

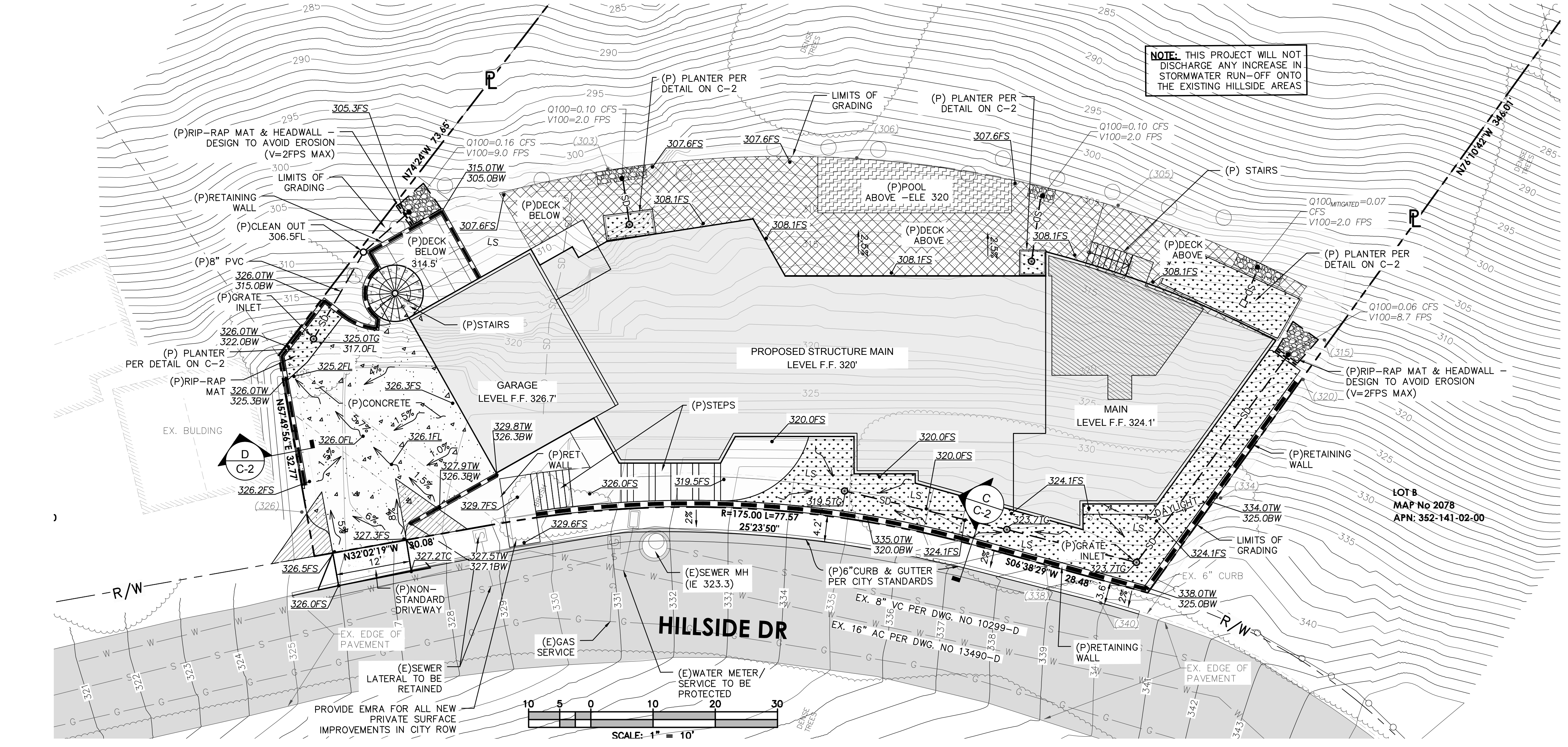


SITE DEVELOPMENT NOTES:

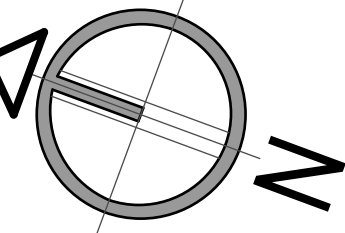
- NO SHRUBS MORE THAN 3' FEET IN HEIGHT AT MATURITY OR TREES ALLOWED WITHIN TEN FEET OF ANY PUBLIC SEWER MAINS OR WATER SERVICES. NO TREES OR ANY KIND OF LANDSCAPING SHALL BE INSTALLED WITHIN WATER/SEWER ACCESS EASEMENT.
- NO OBJECTS GREATER THAN 36" ALLOWED ON SIGHT TRIANGLES
- NO RUNOFF INCREASE ONTO ADJACENT PROPERTIES
- AT THE STORMWATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATERS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE NON-ERODIBLE VELOCITIES.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
- NO SOIL DISTURBANCE OR ENCROACHMENT IS PROPOSED ON ADJACENT PROPERTIES.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITEE SHALL ASSURE BY PERMIT AND BOND THE CONSTRUCTION OF NEW CURRENT CITY STANDARD CURB AND GUTTER, ADJACENT TO THE SITE ON HILLSIDE DRIVE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FOR THE NON-STANDARD DRIVEWAY AND PAVERS IN THE HILLSIDE DRIVE RIGHT-OF-WAY, SATISFACTORY TO THE CITY ENGINEER
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO AN AGREEMENT TO INDEMNIFY, PROTECT AND HOLD HARMLESS THE CITY, ITS OFFICIALS AND EMPLOYEES FROM ANY AND ALL CLAIMS, DEMANDS, CAUSES OR ACTION, LIABILITY OR LOSS BECAUSE OF, OR ARISING OUT OF SURFACE DRAINAGE ENTERING INTO THE PROPERTY FROM THE RIGHT-OF-WAY DUE TO THE DESIGN OF THE PROPOSED DRIVEWAY.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITEE SHALL OBTAIN A BONDED GRADING PERMIT FOR THE GRADING PROPOSED FOR THIS PROJECT. ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE CITY ENGINEER

FOR SOIL REPAIR PARAMETERS REFERENCE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY TERRA PACIFIC CONSULTANT INC. DATED JANUARY 8, 2016

NOTE: THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORMWATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS



SCALE: 1" = 10'

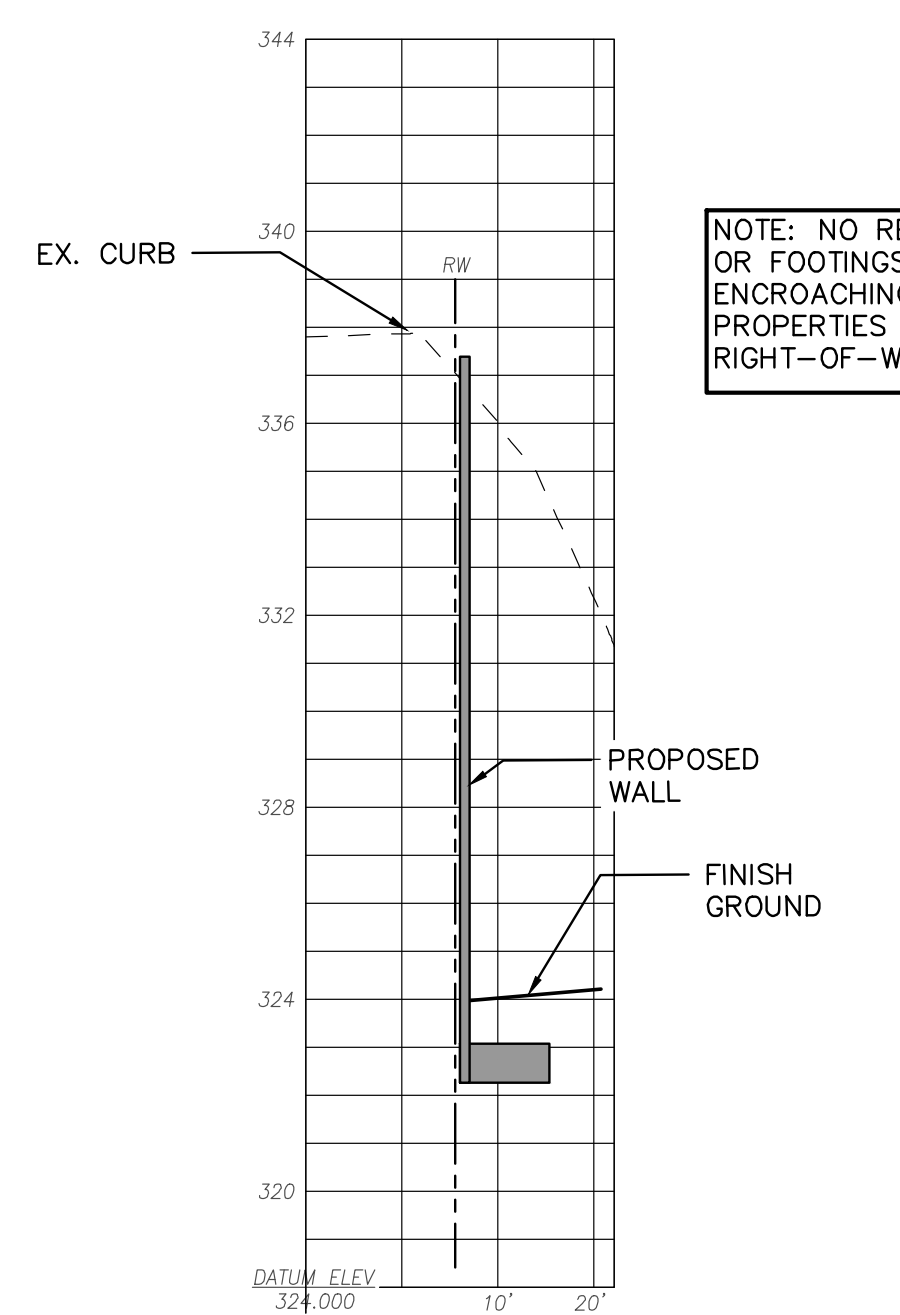
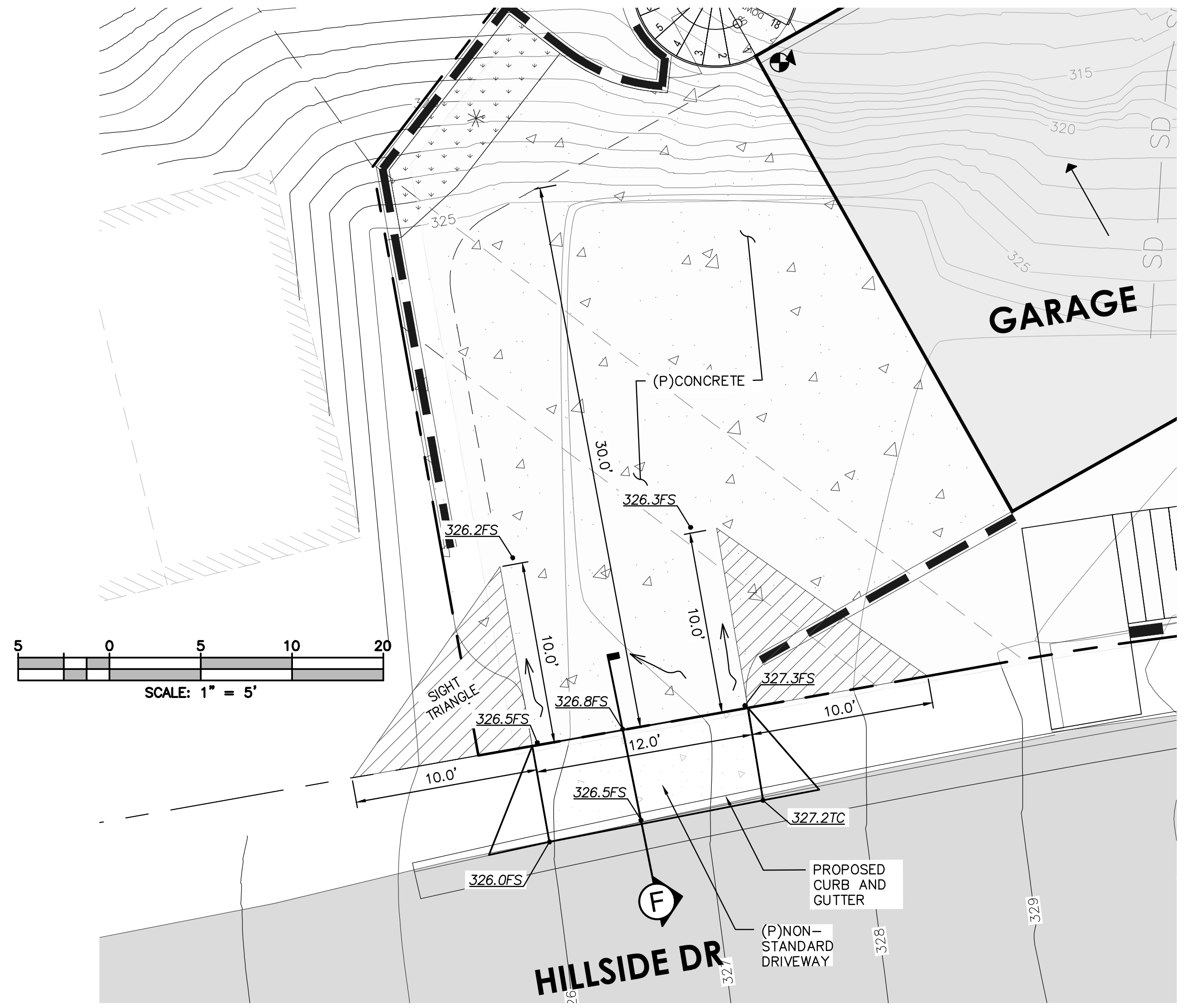
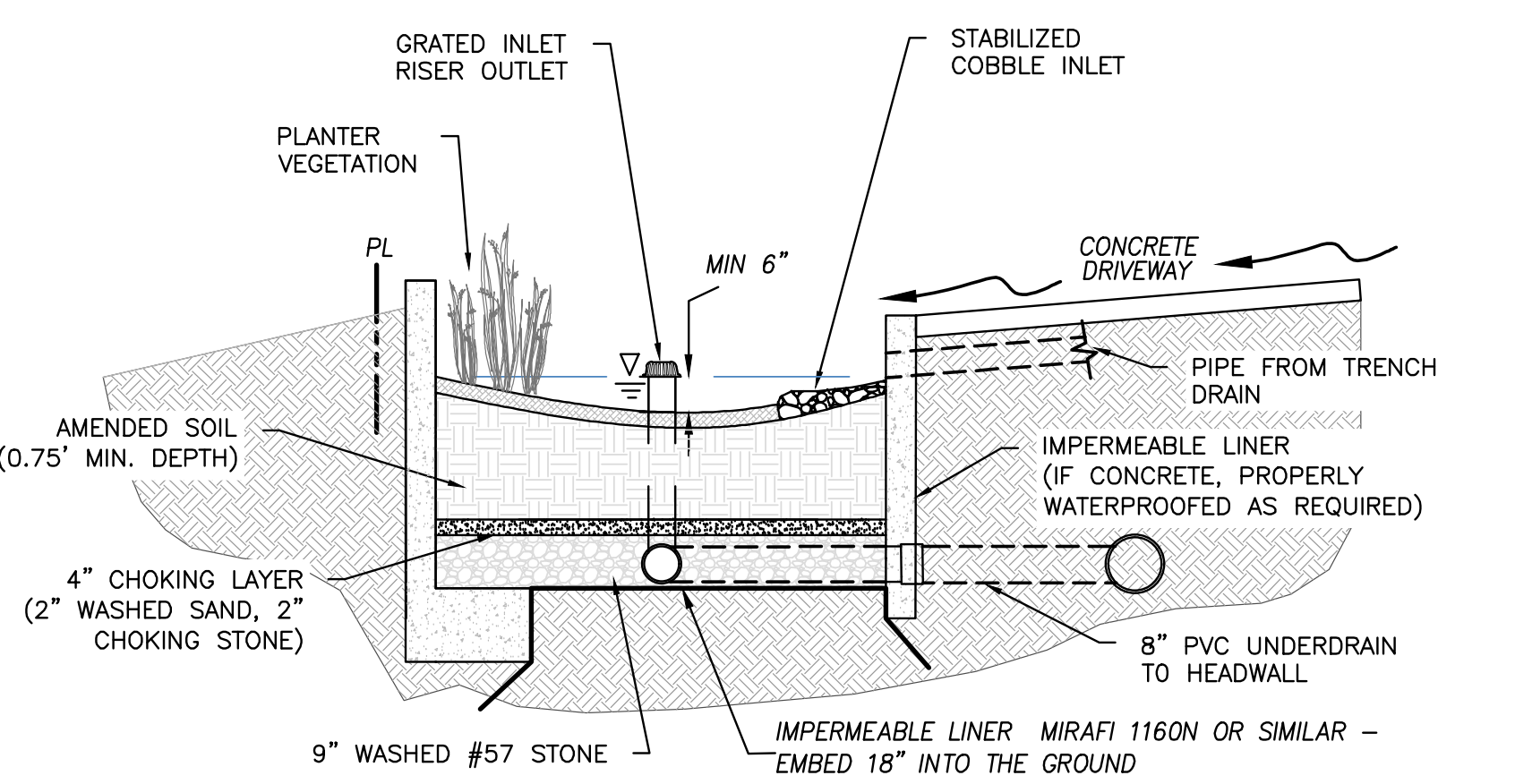
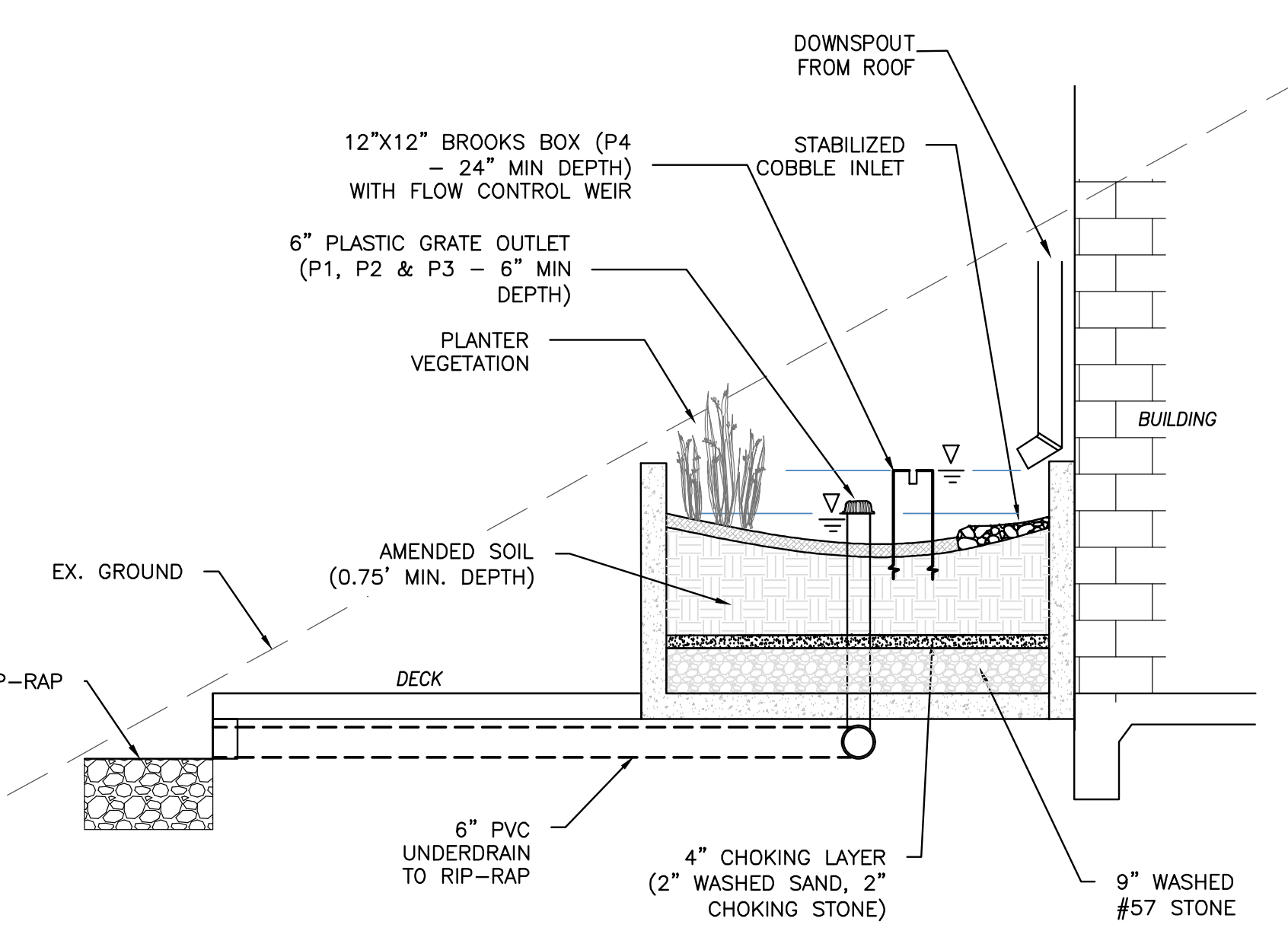
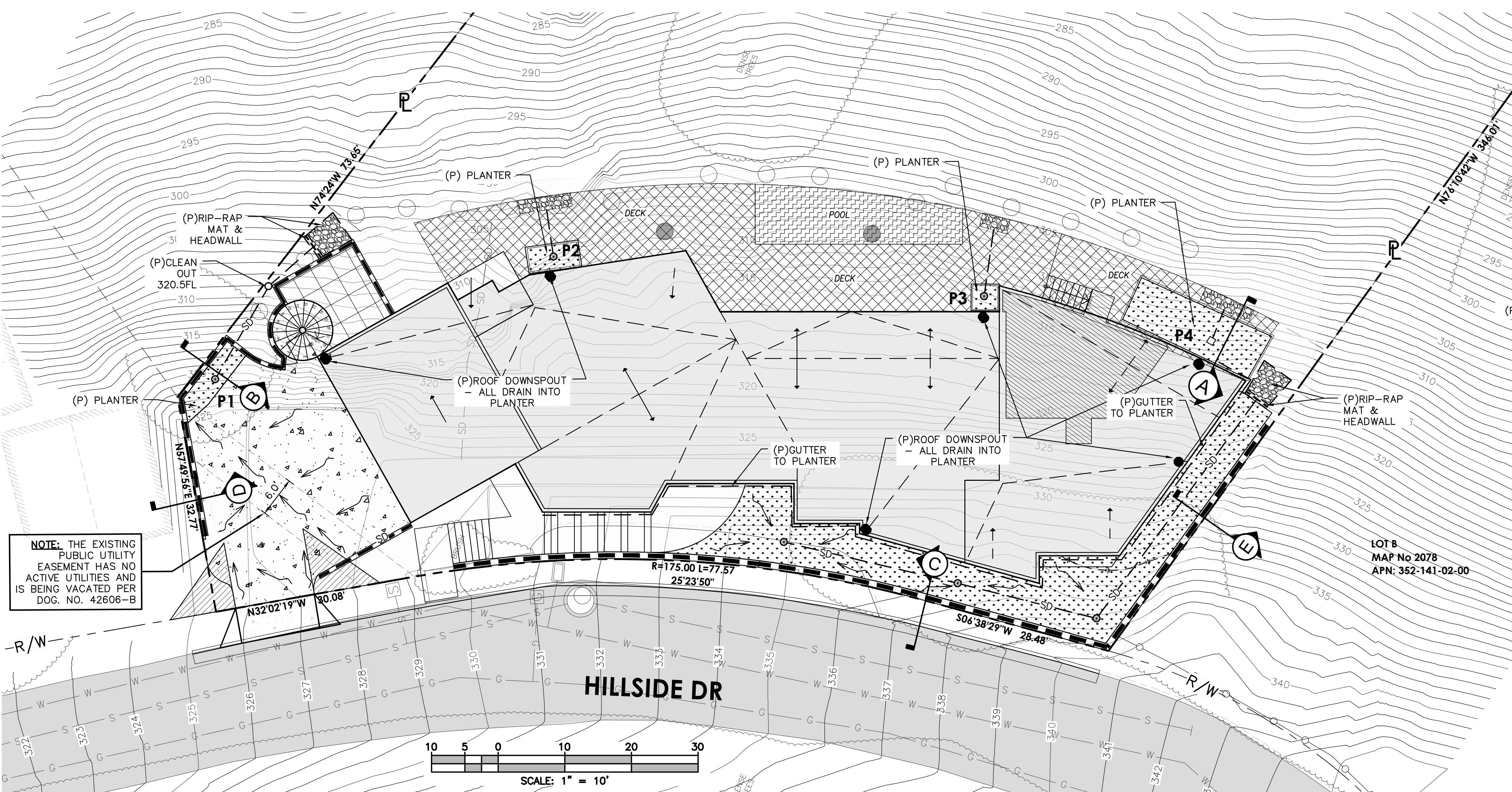


PTS - 0522708
 REVISION 9.10.2021
 REVISION 11.19.2021
 REVISION 2.17.2022
 REVISION 8.2.2022

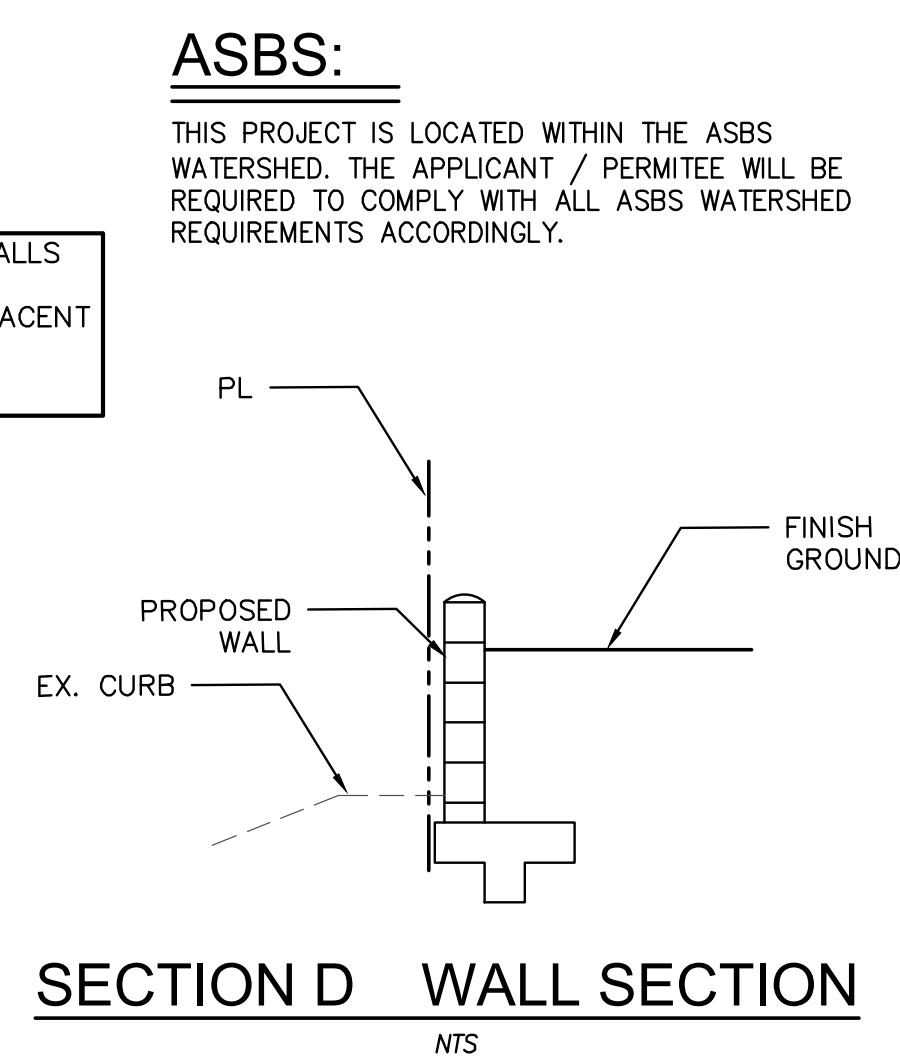
CAS - RESIDENCE
 7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME: ADDRESS:
 date: 8.23.2022
 city submittal: SAN DIEGO
 scale: indicate in draw
 draw: E.M.
 job no.

SHEET TITLE:
DRAINAGE/BMP PLAN



NOTE: NO RETAINING WALLS OR FOOTINGS ARE ENCROACHING INTO ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAY.



ASBS:

THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT / PERMITEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.

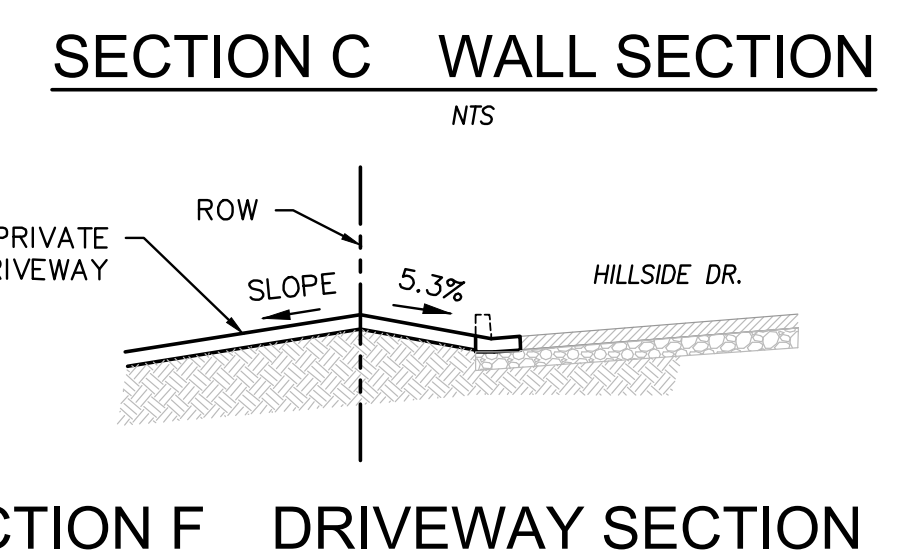
POST CONSTRUCTION BMP LEGEND

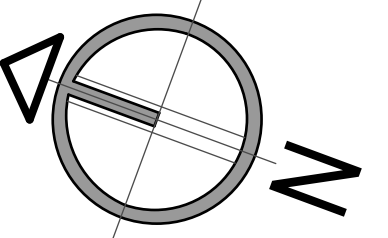
- PLANTER BOX
- DOWNSPOUT TO PLANTER

POST-CONSTRUCTION BMPS

THIS PROJECT PROPOSES POST-CONSTRUCTION BEST MANAGEMENT PRACTICES AND LID MEASURES REQUIRED UNDER THE CITY OF SAN DIEGO STORM WATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE (SECTION 43.03).

- LOW IMPACT/SITE DESIGN BMPS**
- IMPERVIOUS AREA DISPERSION (SD-5)**
 THE PROJECT DRAINS ROOF TOP RUNOFF INTO CLOSE BY LAWN AREAS WITH A MINIMUM LENGTH OF 10' AND MAXIMUM GRADE OF 5%.
 - DISPERSE RUNOFF TO ADJACENT LANDSCAPING**
 THE PROJECT DRAINS WALKWAYS, PATIOS AND DECKS INTO ADJACENT LANDSCAPED AREAS.
- SOURCE CONTROL BMPS**
- EMPLOY INTEGRATED PEST MANAGEMENT PRINCIPLES (SC-6)**
 IPM EDUCATIONAL MATERIALS SHOULD BE DISTRIBUTED TO FUTURE SITE RESIDENTS AND TENANTS. THESE EDUCATIONAL MATERIALS SHOULD ADDRESS THE FOLLOWING:
 USE OF BARRIERS, SCREENS, AND CAULKING TO KEEP PESTS OUT OF BUILDINGS AND LANDSCAPING.
 a. PHYSICAL PEST ELIMINATION TECHNIQUES, SUCH AS WEEDING, WASHING, OR TRAPPING PESTS.
 b. RELYING ON NATURAL ENEMIES TO ELIMINATE PESTS.
 c. PROPER USE OF PESTICIDES AS A LAST LINE OF DEFENSE.
 - USE NON-TOXIC ROOFING MATERIALS WHERE FEASIBLE:**
 THE PROJECT WILL AVOID THE USE OF GALVANIZED STEEL OR COPPER FOR ROOFS, GUTTERS, AND DOWNSPOUTS. THE PROJECT WILL AVOID COMPOSITE ROOFING MATERIALS THAT CONTAIN COPPER.





NORTH

PTS - 0522708

REVISION	9.10.2021
REVISION	11.19.2021
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REVISION	8.2.2022

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

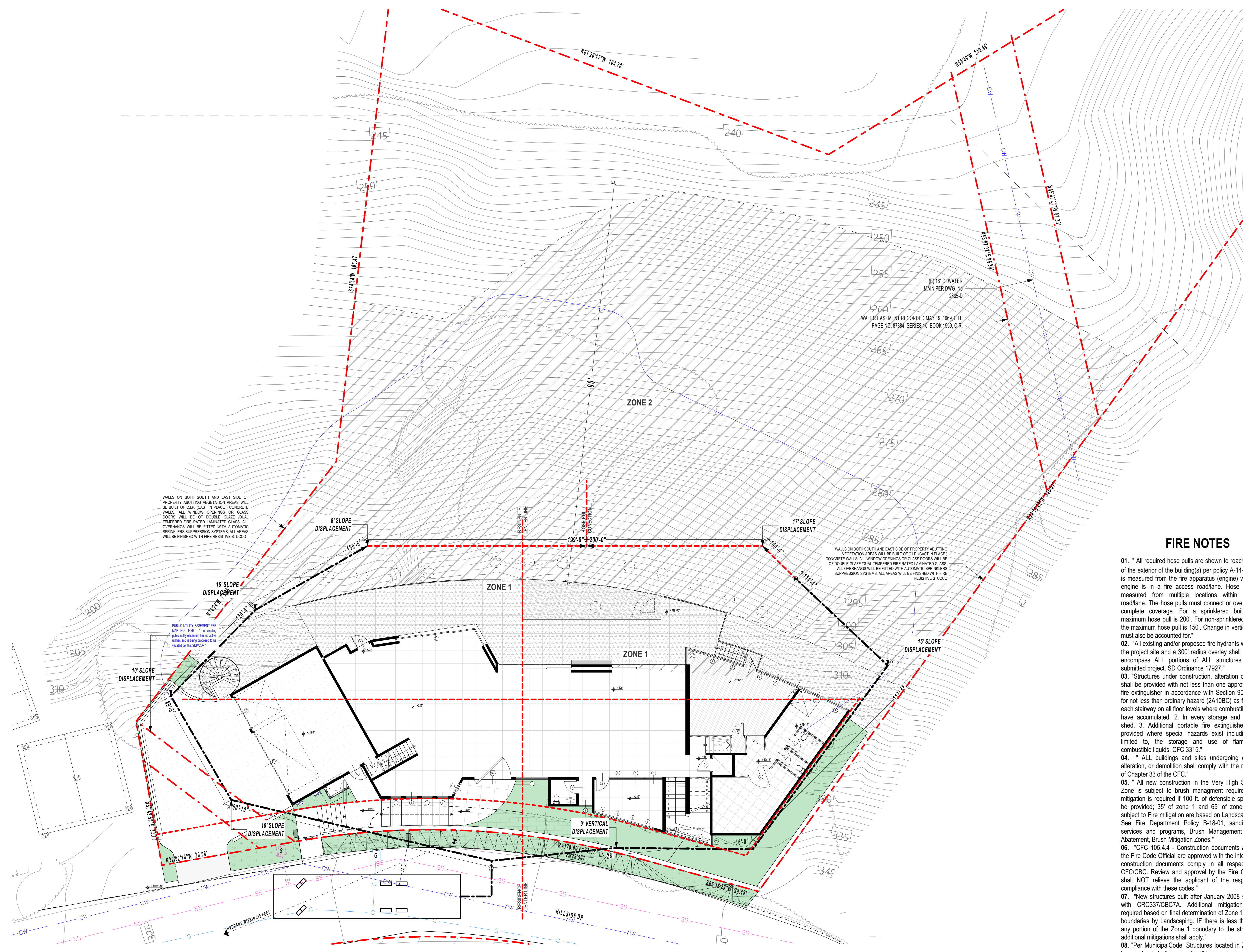
PROJECT NAME:

ADDRESS:

date.	8.23.2022
city submittal.	SAN DIEGO
scale.	indicate in draw
draw.	E.M.
job no.	

SHEET TITLE:
 FIRE PLAN

F.01



WALLS ON BOTH SOUTH AND EAST SIDE OF PROPERTY ABUTTING VEGETATION AREAS WILL BE BUILT OF C.I.P. (CAST IN PLACE) CONCRETE WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZE EQUAL TEMPERED FIRE RATED LAMINATED GLASS. ALL OVERHANGS WILL BE FITTED WITH AUTOMATIC SPRINKLERS SUPPRESSION SYSTEMS. ALL AREAS WILL BE FINISHED WITH FIRE RESISTIVE STUCCO.

WALLS ON BOTH SOUTH AND EAST SIDE OF PROPERTY ABUTTING VEGETATION AREAS WILL BE BUILT OF C.I.P. (CAST IN PLACE) CONCRETE WALLS. ALL WINDOW OPENINGS OR GLASS DOORS WILL BE OF DOUBLE GLAZE EQUAL TEMPERED FIRE RATED LAMINATED GLASS. ALL OVERHANGS WILL BE FITTED WITH AUTOMATIC SPRINKLERS SUPPRESSION SYSTEMS. ALL AREAS WILL BE FINISHED WITH FIRE RESISTIVE STUCCO.

PUBLIC UTILITY EASEMENT PER MAP NO. 1478. The existing public utility easement has no other utility and is being proposed to be vacated per the SDCCDP.

FIRE NOTES

01. " All required hose pulls are shown to reach all portions of the exterior of the building(s) per policy A-14-1. Hose pull is measured from the fire apparatus (engine) when the fire engine is in a fire access road/lane. Hose pull can be measured from multiple locations within the access road/lane. The hose pulls must connect or overlap to show complete coverage. For a sprinklered building(s); the maximum hose pull is 200'. For non-sprinklered building(s); the maximum hose pull is 150'. Change in vertical elevation must also be accounted for."
02. "All existing and/or proposed fire hydrants within 600' of the project site and a 300' radius overlay shall be shown to encompass ALL portions of ALL structures as part of submitted project. SD Ordinance 17927."
03. "Structures under construction, alteration or demolition shall be provided with not less than one approved portable fire extinguisher in accordance with Section 906 and sized for not less than ordinary hazard (2A10BC) as follows: 1. At each stairway on all floor levels where combustible materials have accumulated. 2. In every storage and construction shed. 3. Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids. CFC 3315."
04. " ALL buildings and sites undergoing construction, alteration, or demolition shall comply with the requirements of Chapter 33 of the CFC."
05. " All new construction in the Very High Severity Fire Zone is subject to brush management requirements. Fire mitigation is required if 100 ft. of defensible space can not be provided; 35' of zone 1 and 65' of zone 2. Projects subject to Fire mitigation are based on Landscaping review. See Fire Department Policy B-18-01, sandiego.gov/fire, services and programs, Brush Management and Weed Abatement, Brush Mitigation Zones."
06. "CFC 105.4.4 - Construction documents approved by the Fire Code Official are approved with the intent that such construction documents comply in all respects with the CFC/CBC. Review and approval by the Fire Code Official shall NOT relieve the applicant of the responsibility of compliance with these codes."
07. "New structures built after January 2008 shall comply with CRC337/CBC7A. Additional mitigations may be required based on final determination of Zone 1 and Zone 2 boundaries by Landscaping. IF there is less than 35' from any portion of the Zone 1 boundary to the structure, then additional mitigations shall apply."
08. "Per MunicipalCode; Structures located in Zone 1 shall be constructed of non-combustible, one hour or better fire-rated and/or heavy timber construction. DSD policy requires that structures located in the highseverity fire zone meet these requirements and are reviewed for compliance by a Structural or IAS reviewer."

FIRE PLAN

1" = 10'