



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: May 13, 2021 REPORT NO. PC-21-022
HEARING DATE: May 20, 2021
SUBJECT: T-Mobile Encanto CUP, Process Four Decision
PROJECT NUMBER: [672857](#)
OWNER/APPLICANT: City of San Diego/Phoenix Tower International

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) located at 6780 Aviation Drive within the Skyline Paradise Hills Planning area?

Staff Recommendations: Approve Planned Development Permit No. 2525847 and Conditional Use Permit No. 2523015.

Community Planning Group Recommendation: On March 9, 2021 the Skyline Paradise Hills Community Planning Group voted 4-1-0 to recommend approval of the project without conditions (Attachment 10).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made February 18, 2021 and the opportunity to appeal that determination ended March 4, 2021.

Fiscal Impact Statement: All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: This project application is for a wireless communication facility and is not associated with residential development.

BACKGROUND

The project proposes the continued use of a T-Mobile Wireless Communication Facility (WCF) located at 6780 Aviation Drive within the Residential Single-Unit (RS)-1-7 Zone of the Skyline Paradise Hills Community Plan with a land use designation of Residential (low density). The site is owned by the City of San Diego and managed by the Public Utilities Department. Land uses surrounding the project site include residential uses (Attachments 1, 2, and 3). The existing WCF was previously approved on December 17, 2009 under Planned Development Permit No. [675074](#) and Conditional Use Permit No. [675019](#), Project No. 191130, with a 10-year expiration and included a 50-foot faux pine tree (monopine) supporting twelve panel antennas and Remote Radio Units (RRUs). The WCF also included a 210 square-foot equipment enclosure and landscape consisting of drought tolerant trees and shrubs. The current application was submitted prior to the expiration date of December 17, 2019 for Planned Development Permit No. 675074 and Conditional Use Permit No. 675019; however, the site has been operating without a valid permit while the application is in process. To continue operating, a new permit subject to the current regulations is required. The site also supports three other WCF's constructed as faux trees and operated by Sprint, AT&T and Verizon (Figure 1).



Figure 1: Existing Wireless Communication Facilities on Site

[Council Policy 600-43](#) assigns preference levels to WCFs proposed on different land uses. This site is considered a Preference Two location due to its location within a residential zone on a premises that does not contain residential development and the antennas are less than 100 feet away from the

property line of a premises with a dwelling unit, child care center, or school with children enrolled in grades kindergarten through grade 8. A WCF at this location requires approval of a Conditional Use Permit (CUP) Process 3. In addition, San Diego Municipal Code (SDMC) section [143.0402](#) requires a Process 4, Planned Development Permit (PDP) when a project includes deviations from the applicable zoning regulations. In this case, the project includes a 50-foot tall faux tree, which is 20 feet above the height limit of 30 feet. Sites proposed in Preference Two locations must provide justification why higher preference sites (Preference 1 sites) were not utilized. The project site has a higher elevation than surrounding areas, which allows for a wider coverage factor and provides coverage to the surrounding residential developments. The project's discretionary permits are consolidated under a Process Four decision per [SDMC section 112.0103\(a\)](#).

DISCUSSION

Project Description:

The project consists of a 50-foot-tall faux pine tree (monopine) with a total of six (6) panel antennas and nine (9) Remote Radio Units (RRUs, Figure 2). Additional branching to further screen the antennas is proposed as part of this application. The existing equipment structure measuring 240 square foot and the landscaping approved from the previous WCF approval will remain unchanged with the addition of two oak trees planted adjacent to the monopine with this application.



Figure 2: Photosimulation of Proposed Monopine

Community Plan Analysis:

The Skyline Paradise Hills Community Plan does not address WCFs as a specific land use however, the City of San Diego's General Plan Urban Development (UD-15) requires that the visual impact of wireless facilities be minimized by concealing them inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view.

The antennas associated with this project are embedded within the monopine located on a hilltop in the Skyline Paradise Hills community. Additional branching is proposed to blend the antennas with the tree for enhanced screening. The location of the antennas in this area has been an established use for the WCF for an extended amount of time and the continued use of this site will not bring any new changes and will maintain the same profile in this location. The existing landscaping planted previously included natural grasses, toyon, lemonade berry cholla and eldarica pine which are fully grown and integrate with the monopine. The equipment associated with the facility will be located in an enclosed concrete block and trellis structure.

Project-Related Issues:

Deviations- The project request a deviation from the applicable development regulations as allowed with the approval of a PDP, provided that the findings in [SDMC section 126.0605](#) can be supported. The following Table 1 is a matrix of the proposed deviation, which is followed by the justifications for the deviations:

DEVIATIONS SUMMARY			
Table 1			
Deviation Description	Deviation from SDMC	Allowed/Required	Proposed
1. Building Height	SDMC section 131.0431 and Table 131.04D	30 feet maximum height	50 feet

Justification - A deviation to building height is being requested for the WCF. The project is an existing 50-foot-tall faux pine tree. The WCF regulations require that visual impacts associated with WCFs be minimized or concealed through integration. Integration is to be accomplished with architecture, landscape and siting solutions. The existing monopine is surrounded by landscape associated with the initial WCF application and other WCF facilities on site. The number and location of live trees on the property allow the monopine to integrate with the area. As a result, the project complies with the intent of [SDMC section 141.0420](#), Wireless Communication Facilities, the [WCF Design Guidelines](#), as well as the [City's General Plan](#).

As noted previously, the project is an existing 50-foot-tall monopine tree that was originally approved on December 17, 2009 (Project No. 191130). In order to continue providing service to the surrounding area, the antennas need to remain at the height they were originally installed as the network was developed using those metrics for coverage. Two design factors weigh into the rationale for the requested height deviation:

1. The WCF Guidelines, which were adopted in 2019, includes more stringent requirements for faux trees to ensure that they provide sufficient branch screening of the antennas and a crown, in this case an additional four feet is needed so the faux broadleaf tree more closely resembles a live tree. The antennas located on the monopine will be covered with "antenna socks" which enable additional leaves and coloring to be added to the face of the antennas to better integrate the antennas with the faux pine tree.
2. The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for T-Mobile customers. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage and the predicted loss of coverage without the height (Attachment 7). Although the underlying zone requires a 30-foot height limit, without a tip height of 46 feet could result in significant impacts to those within the surrounding area. A degradation of the existing service could have a significant impact on customers and essential emergency communication services.

The above deviation has been analyzed by City staff and determined to be consistent with the goals and recommendations of the General Plan, the Skyline Paradise Hills Community Plan , and the purpose and intent of the Wireless Communication Ordinance. The project has been designed to address the physical environment and would not adversely impact the public's health or safety. Apart from the above deviation, the proposed project will continue to provide wireless communication service to the surrounding area and emergency essential communications services.

Conclusion:

Based on its design, the project complies with the WCF Regulations ([SDMC section 141.0420](#)). City staff has prepared draft findings in the affirmative to approve the project and recommends approval of PDP and CUP (Attachment 6).

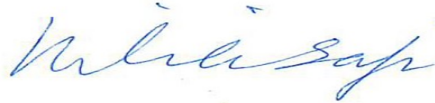
ALTERNATIVES

1. Approve Planned Development Permit No. 2525847 and Conditional Use Permit No. 2523015.
2. Deny Planned Development Permit No. 252847 and Conditional Use Permit No. 2523015, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Tim Daly
Assistant Deputy Director
Development Services Department

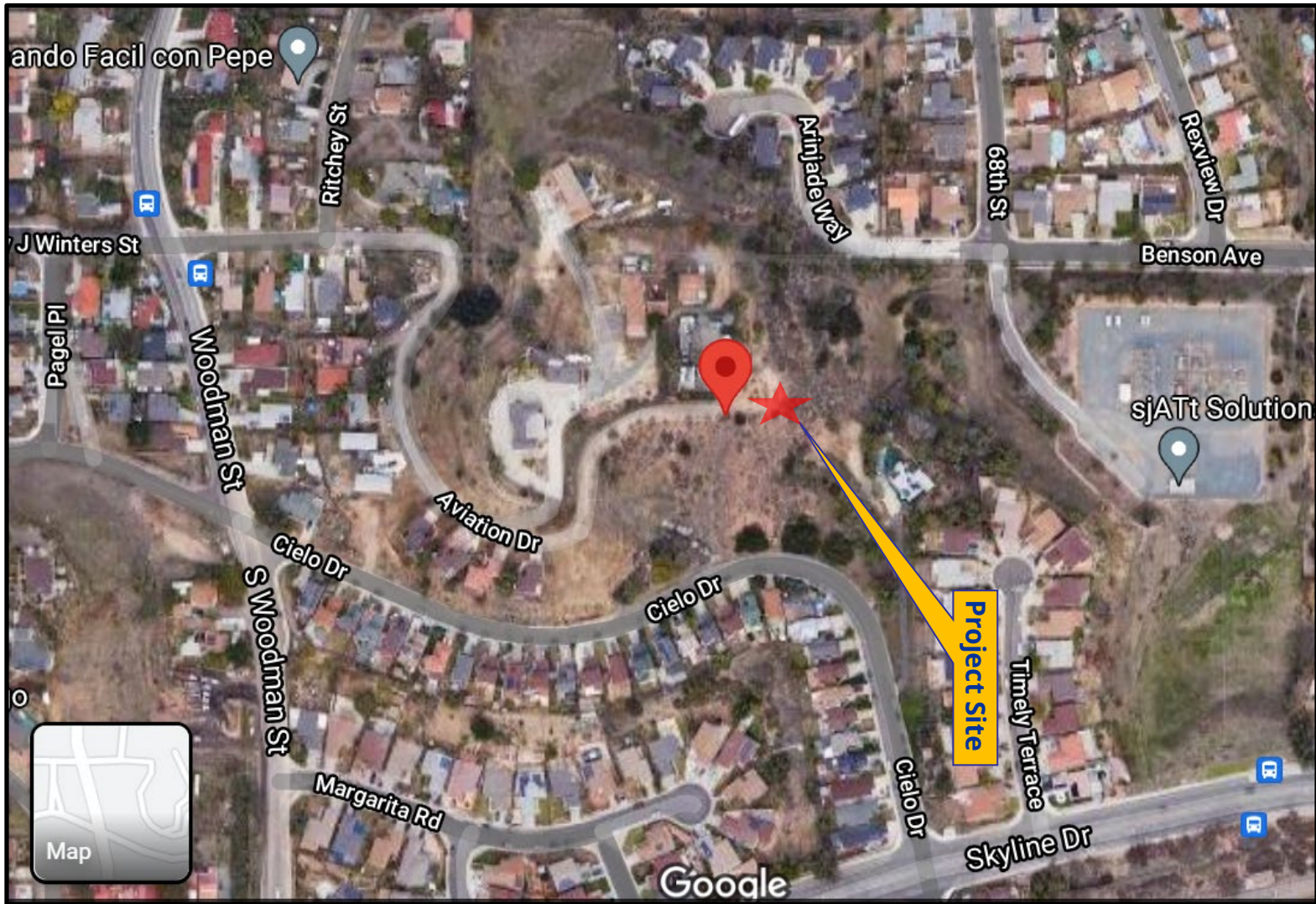


Nilia Safi
Development Project Manager
Development Services Department

TD/NS

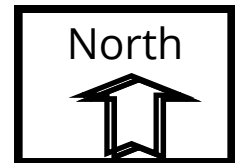
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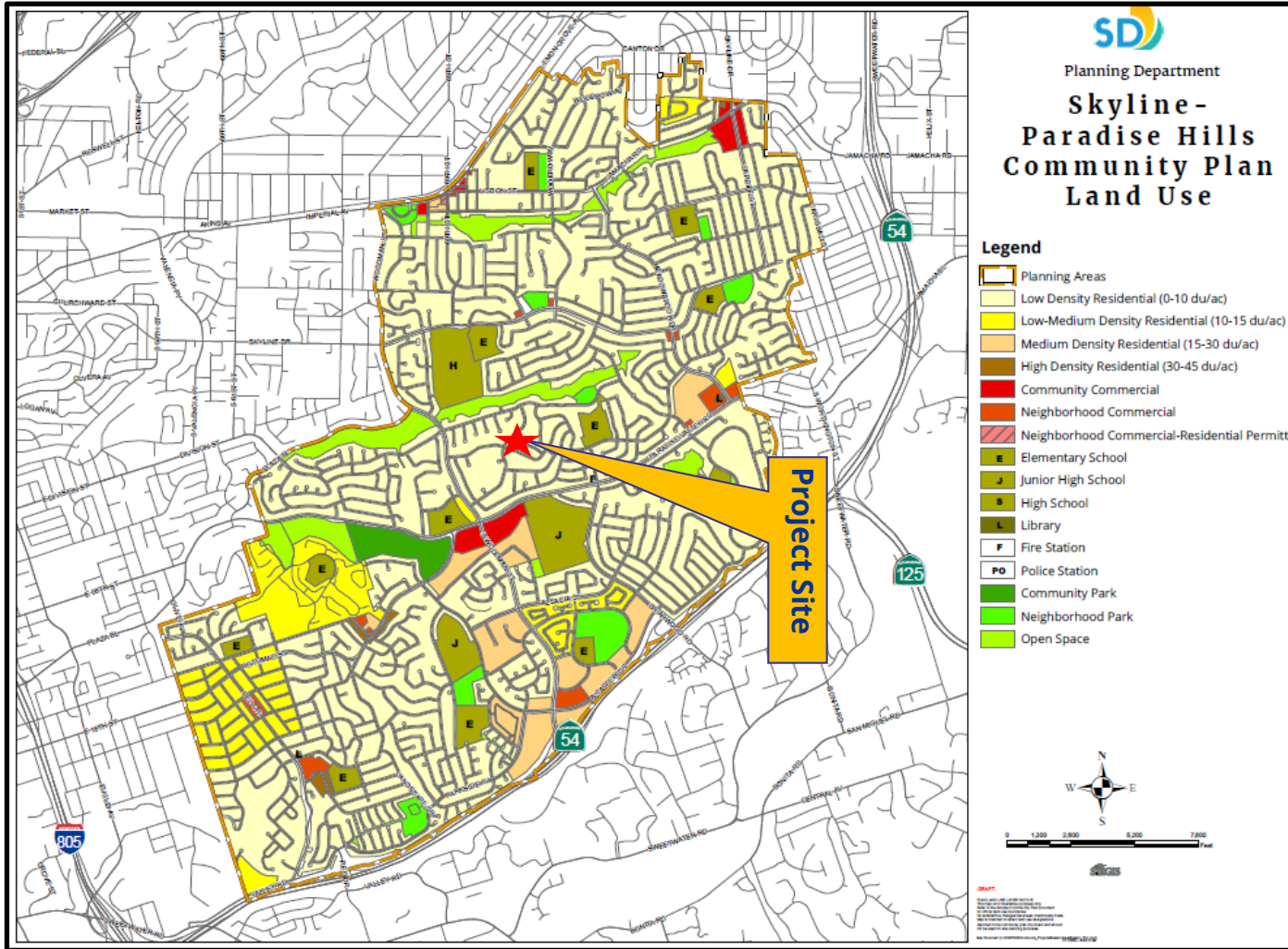
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Community Planning Group Recommendation
10. Photo Survey
12. Photo simulations
13. Project Plans



Aerial Photograph

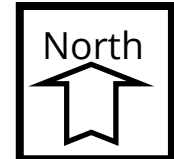
Encanto CUP Project No. 672857
6780 Aviation Drive

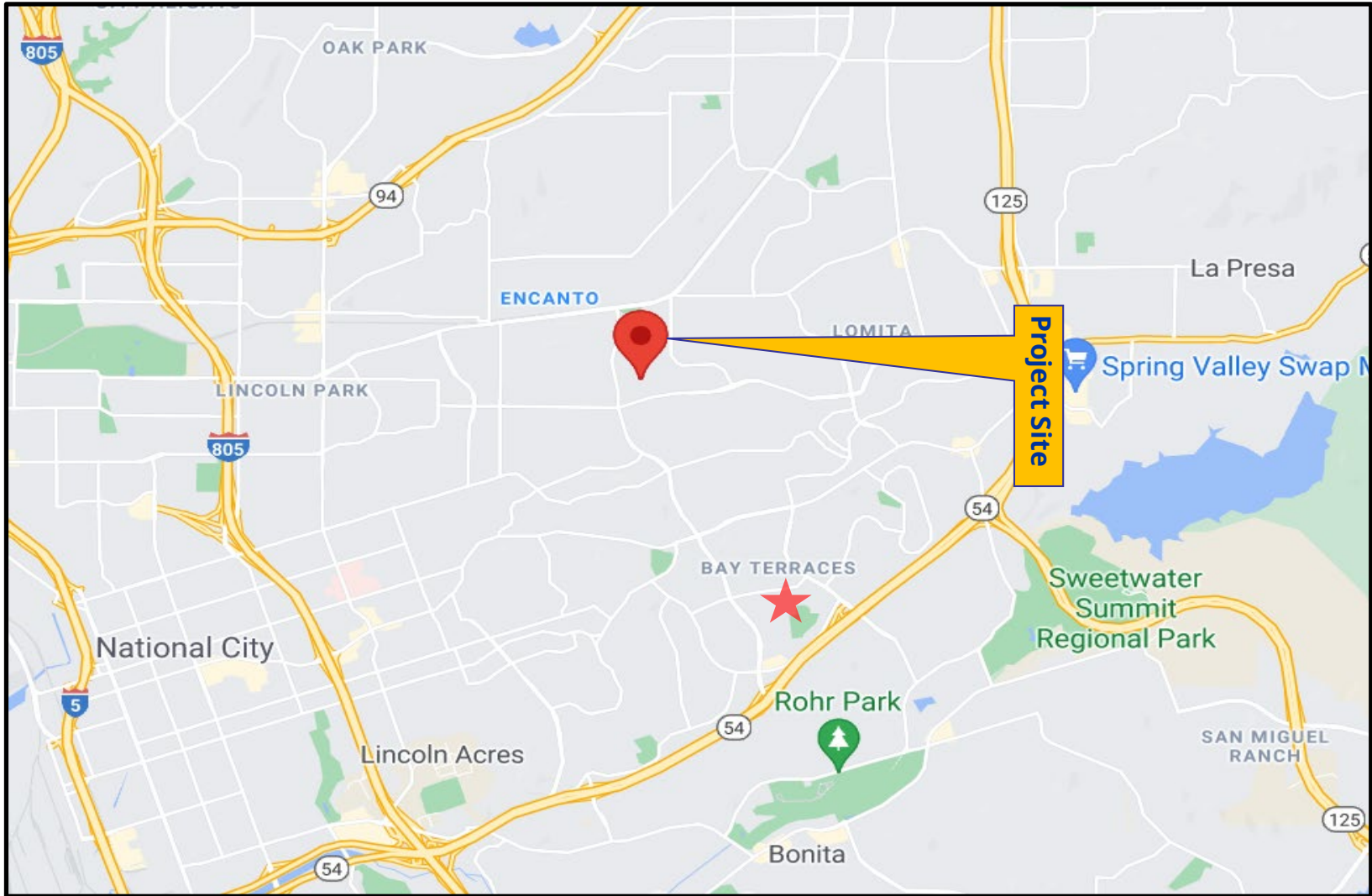




Skyline Paradise Hills Land Use Map

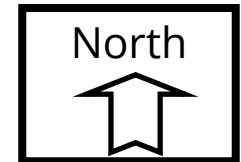
Encanto CUP Project No. 672857
6780 Aviation Drive





Project Location Map

Encanto CUP Project 672857
6780 Aviation Drive



PROJECT DATA SHEET		
PROJECT NAME:	Encanto CUP	
PROJECT DESCRIPTION:	A Conditional Use Permit and a Planned Development Permit for the continued use and operation of an existing Wireless Communication Facility identified as a 50-foot monopine, consisting of nine panel antennas, three Remote Radio Units and associated equipment located inside a 240 square-foot enclosure	
COMMUNITY PLAN AREA:	Skyline Paradise Hills	
DISCRETIONARY ACTIONS:	Planned Development Permit/Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential	
<u>ZONING INFORMATION:</u>		
ZONE:	RS-1-7	
HEIGHT LIMIT:	30 feet	
LOT SIZE:	N/A	
FLOOR AREA RATIO:	N/A	
FRONT SETBACK:	15 feet	
SIDE SETBACK:	0.08	
STREETSIDE SETBACK:	0.10	
REAR SETBACK:	13	
PARKING:	N/A	
	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; RS-1-7	Residential/Single Family
SOUTH:	Residential; RS-15	Residential/Urbanized Community
EAST:	Residential; RS-1-7	Residential/Single Family
WEST:	Residential; RS-1-15	Residential- Urbanized Community
DEVIATIONS OR VARIANCES REQUESTED (INCENTIVES):	Building Height	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 9, 2021 the Skyline Paradise Hills Community Planning Group voted 4-1-0 to recommend approval of the project without conditions.	

Planning Commission Resolution No.

PLANNED DEVELOPMENT PERMIT NO. 2525847

CONDITIONAL USE PERMIT NO. 2523015

T-MOBILE ENCANTO PROJECT NO. 672857

WHEREAS, THE CITY OF SAN DIEGO, a municipal corporation, Owner, and PHOENIX TOWER INTERNATIONAL and J5 INFRASTRUCTURE PARTNERS, LLC, Permittees, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (WCF) (as described in and by reference in the approved Exhibit "A" and corresponding conditions of approval for the associated Permit Nos. 2525847 and 2523015);

WHEREAS, the project site is located at 6780 Aviation Drive in the Residential Single-Unit (RS)-1-7 zone of the Skyline Paradise Hills Community Plan;

WHEREAS, the project site is legally described as that Portion of Lot 62 of Encima De San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof 1546;

WHEREAS, on February 18, 2021 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code (SDMC) section 112.0520;

WHEREAS, on May 20, 2021, the Planning Commission of the City of San Diego considered Planned Development Permit No. 2525847 and Conditional Use Permit No. 2523015 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 2525847 and Conditional Use Permit No. 2523015:

FINDINGS:

1. Planned Development Permit SDMC section 126.0605

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes the continued use of a Wireless Communication Facility (WCF) by T-Mobile. The existing wireless facility consists of a 50-foot faux pine tree (monopine) and will support six (6) new panel antennas and nine (9) Remote Radio Units (RRUs) providing service to the surrounding community and residential area. The WCF is located at 6780 Aviation Drive within the RS-1-7 zone within the Skyline Paradise Hills Community Plan. The WCF was previously approved on December 17, 2009 with a 10-year term.

The Skyline Paradise Hills Community Plan does not address WCFs as a specific land use however, the City of San Diego's General Plan Urban Development (UD-15) requires that the visual impact of wireless facilities be minimized by concealing them inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view.

The antennas associated with this project are embedded within the monopine located on a hilltop in the Skyline Paradise Hills community. Additional branching is proposed to blend the antennas with the tree for enhanced screening. The location of the antennas in this area has been an established use for the Wireless Communication Facility (WCF) for an extended amount of time and the continued use of this site will not bring any new changes and will maintain the same profile in this location. The existing landscaping planted previously included natural grasses, toyon, lemonade berry cholla and eldarica pine which are fully grown and integrate with the monopine. The equipment associated with the facility will be located in an enclosed concrete block and trellis structure.

Pursuant to the San Diego Land Development Code, WCFs are permitted in all zones citywide with the appropriate permit process. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. T-Mobile is proposing a 50-foot high faux pine tree (monopine) that will be covered with antenna socks

shrouded with faux pine needles and antenna branches which extend a minimum of 24-inches beyond the full length of each antenna face. The monopine will be well integrated into the existing setting and any potential visual impacts will be minimized. The number and location of live trees on the property allow the monopine to integrate with the area. As a result, the project complies with San Diego Municipal Code (SDMC) section 141.0420, the WCF Design Guidelines, as well as the City's General Plan. The proposed development would not adversely affect the Skyline Paradise Hills Community Plan or the City of San Diego General Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The Telecommunication Act of 1996 preempts local governments from regulating the placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions. The project submitted a Radio Frequency – Electromagnetic Energy Compliance Report from EBI Consulting dated August 20, 2020. Based on the report, there are no modeled exposures on any accessible equipment shelter roof level-walking/working surface related to T-Mobile's equipment in the area that exceed the FCC's occupational and/or general public exposure limits at this site. Therefore, this project complies with the Telecommunication Act of 1996 and is not subject to regulation of its facilities on the basis of environmental effects from RF.

The project was determined to be exempt from CEQA pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare to include but not limited to height limitation, concealment requirements, and electromagnetic fields controls. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The project complies with all applicable development regulations except for building height including the RS-1-7 Base Zone development regulations of the Land Development Code and the City of San Diego Wireless Communication Antenna Regulations (SDMC section 141.0405). This section of the code requires architectural integration and /or enhancement with the existing building or landscape on the property. The proposed faux pine tree (monopine) is 50 feet in height and could be a collocation facility for future carriers. The addition of the antenna socks and the existing landscape on site will minimize any potential visual impact. The property is managed by the Public Utility Department and currently there are three other Wireless Communication Facilities (WCF) on this site which include Sprint, Verizon and AT&T located on separate Faux trees and monopoles.

Deviations to the SDMC may be processed through a Planned Development Permit (PDP) in accordance with SDMC section 126.0601 and 143.0401. The purpose of the PDP is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. Expiration dates are imposed on WCFs to review and modify these facilities to comply with current design standards.

A deviation to building height is being requested for the WCF. The project is an existing 50-foot-tall monopine where 30 feet is the permitted maximum height. The WCF regulations require that visual impacts associated with WCFs be minimized or concealed through integration. The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for T-Mobile. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage provided on the site and the predicted loss of coverage without the height. Although the underlying zone requires a 30-foot height limit, without an increase in height of 20-feet, T-Mobile could result in significant impacts to those within the surrounding area. A degradation of the existing service could have a significant impact on customers and essential emergency communication services.

Integration is to be accomplished with architecture, landscape and siting solutions. The existing monopine is surrounded by landscape associated with the initial WCF application and other carriers on site. The number and location of live trees on the property allow the monopine to integrate with the area. As a result, the project complies with the intent of SDMC section 141.0420, Wireless Communication Facilities, the WCF Design Guidelines, as well as the City's General Plan.

The City's Wireless Communication Facility regulations, SDMC section 141.0420, allow these facilities in a residential zone with a non-residential use as a Process 3 Conditional Use Permit when the antennas are located less than 100 feet from the

property lines of premises with the primary uses of day care, elementary or middle schools, or residential. In this case, the antennas are located away from these sensitive uses and the tree is set back considerably from the public right-of-way. This allows ample room for existing landscape screening to improve and integrate views of this facility. The facility itself is designed as a monopine tree and supports antennas for T-Mobile. The antennas located on the tree are covered with "antenna socks" which enable additional leaves and coloring to be added to the face of the antennas to better integrate the antennas with the faux tree. Based on these considerations, this project complies with the permit and design requirements for WCF's as identified in the SDMC.

In order to continue providing service to the surrounding area, the antennas need to remain at the height they were originally installed as the network was developed using those metrics for coverage. Two design factors weigh into the rationale for the requested height deviation, 1) The WCF Guidelines, which were adopted in 2019, includes more stringent requirements for faux trees to ensure that they provide sufficient branch screening of the antennas and a crown, in this case an additional four feet is needed so the faux broadleaf tree more closely resembles a live tree. The antennas located on the monopine will be covered with "antenna socks" which enable additional leaves and coloring to be added to the face of the antennas to better integrate the antennas with the faux pine tree. The second factor is the existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for T-Mobile customers. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage and the predicted loss of coverage without the height. Although the underlying zone requires a 30-foot height limit, without a tip height of 46 feet could result in significant impacts to those within the surrounding area. A degradation of the existing service could have a significant impact on customers and essential emergency communication services.

Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

1. **Conditional Use Permit SDMC section 126.0305**
 - a. **The proposed development will not adversely affect the applicable land use plan.**

As outlined in Planned Development Permit Finding No. 1.a. listed above, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in Planned Development Permit Finding No. 1.b. listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As outlined in Planned Development Permit Finding No. 1.c. listed above, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project proposes the continued use of a Wireless Communication Facility (WCF). The City of San Diego encourages wireless carriers to locate on non-residential properties. In this case, the WCF is located on a lot with non-residential use, along with three other WCFs. Additional landscaping is added to integrate the antennas site (monopine) with existing trees. The WCF at this location has been providing service to the surrounding areas for two decades.

A site justification analysis was prepared by T-Mobile demonstrating a need for this WCF. According to the justification analysis, without the existing coverage footprint from the existing WCF, the loss of coverage could result in significant impact to the surrounding area. Additionally, a loss of service could possibly have a significant impact on customers and essential communications services. The WCF is appropriately designed at the location and integrates with the existing pine trees. The design is consistent with the City's General Plan for wireless facilities. A 10-year term will be included as a condition of approval to ensure that the design and use is still appropriate at that time. As demonstrated by the justification analysis and the design, the existing WCF is appropriate at the existing location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 2525847 and Conditional Use Permit No. 2523015, is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form,

exhibits, terms and conditions as set forth in Permit Nos. 2525847 and 2523015, a copy of which is attached hereto and made a part hereof.

Nilia Safi
Development Project Manager
Development Services

Adopted on May 20, 2021

IO#: 11004545

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004545

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2523015
PLANNED DEVELOPMENT PERMIT NO. 2525847
T-MOBILE ENCANTO CUP PROJECT NO. 672857
PLANNING COMMISSION

This Conditional Use Permit No. 2523015 and a Planned Development Permit No. 2525847 is granted by the Planning Commission of the City of San Diego to THE CITY OF SAN DIEGO, Owner, PHOENIX TOWER INTERNATIONAL, Permittee, and J5 INFRASTRUCTURE PARTNERS, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 142.0420, 126.0605. The site is located at 6780 Aviation Drive in the Residential Single-Unit (RS)-1-7 Zone of the Skyline Paradise Hills Community Plan. The project site is legally described as that Portion of Lot 62 of Encima De San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof 1546.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 20, 2021, on file in the Development Services Department.

The project shall include:

- a. A WCF consisting of an existing 50-foot-tall faux pine tree (monopine) providing the following:
 - 1. A maximum of six (6) panel antennas measuring 72"x24"x8.5" and 37.8"x20.9"x6.7", and nine (9) Remote Radio Units;
 - 2. A 240-square-foot equipment shelter; and
 - 3. A complete rebranch of the monopine tree.
- b. A 20-foot deviation to the maximum 30-foot height limit pursuant to SDMC section 131.0431, for a total height of 50 feet;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 3, 2024.
2. The above utilization date notwithstanding, the granting of this discretionary permit does not entitle the continued operation of the existing, expired facility. Within 90 days of discretionary permit approval, applications must be made for all required construction permits. Within 120 days of application, Owner/Permittee shall provide all necessary information and fees for all required construction permits to be issued. Within 120 days of all construction permit issuance, Owner/Permittee shall have all construction completed for final inspection to be obtained.
3. This permit and corresponding use of this site shall expire **June 3, 2031**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
4. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application for the WCF and equipment enclosures to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for City enforcement for noncompliance of an expired permit, which may include penalties and fines.
5. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the permit to the Development Services Department; and
 - b. The permit is recorded in the Office of the San Diego County Recorder.
7. While this permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this permit unless otherwise authorized by the appropriate City decision maker.
8. This permit is a covenant running with the subject property and all of the requirements and conditions of this permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
9. The continued use of this permit shall be subject to the regulations of this and any other applicable governmental agency.
10. Issuance of this permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
11. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this permit have been granted.
13. All of the conditions contained in this permit have been considered and were determined necessary to make the findings required for approval of this permit. The permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this permit.

If any condition of this permit, on a legal challenge by the Owner/Permittee of this permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

14. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

LANDSCAPE REQUIREMENTS:

15. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

16. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

17. Prior to issuance of any construction permit, the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

PLANNING/DESIGN REQUIREMENTS:

18. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

19. Visible cabling is not permitted.

20. The WCF shall conform to the approved construction plans.
21. Photo simulations shall be printed in color on the construction plans.
22. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.
23. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.
24. The accuracy and validity of the Radio Frequency (RF) Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
25. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
26. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
27. The Owner/Permittee shall notify the City in writing within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

FAUX TREES REQUIREMENTS:

28. All proposed hand-holes shall be covered with bark material to match the monopine trunk to the satisfaction of the Development Services Department.
29. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. "Doghouse" cable housings are not permitted.
30. All branches at the antenna level shall extend a minimum of 24-inches beyond the entire vertical face of the proposed antennas to the satisfaction of the Development Services Department.
31. Starting branch height shall be no higher than 10-feet, as illustrated on the stamped, approved Exhibit "A."
32. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.

33. RF socks fully covering the front and back of the antennas (and any other components) shall be used.

34. The resulting monopine tree must have the appearance of a live tree. New branches must match the color of any existing branches and both racks of antennas and associated equipment must be appropriately screened. There shall be no obvious separation in terms of the appearance of the tree branches.

35. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

ENGINEERING REQUIREMENTS:

36. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Development Services Department Wireless Communication Facilities staff listed on City webpage, <https://www.sandiego.gov/development-services/codes-regulations/wireless-communication-facilities>, to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 20, 2021.

DRAFT

ATTACHMENT 6

Permit Type/PTS Approval No.: Conditional Use Permit No. 2523015
Planned Development Permit No. 2525847
Date of Approval: May 20, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nilia Safi
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this permit and promises to perform each and every obligation of Owner/Permittee hereunder.

City of San Diego
Owner

By _____
NAME:
TITLE:

J5 Infrastructure Partners, LLC
Permittee

By _____
NAME:
TITLE:

Phoenix Tower International
Permittee

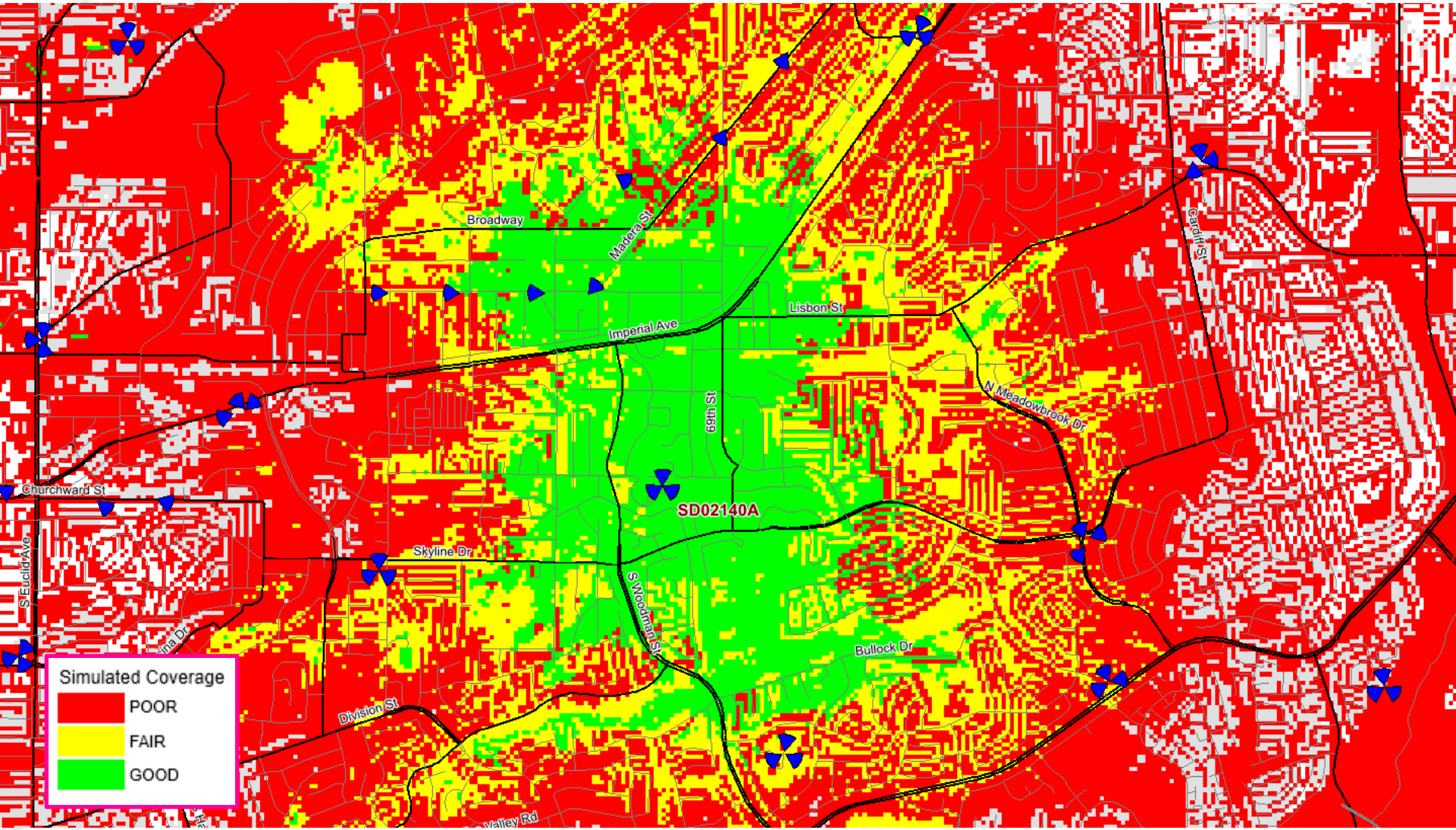
By _____
NAME:
TITLE:

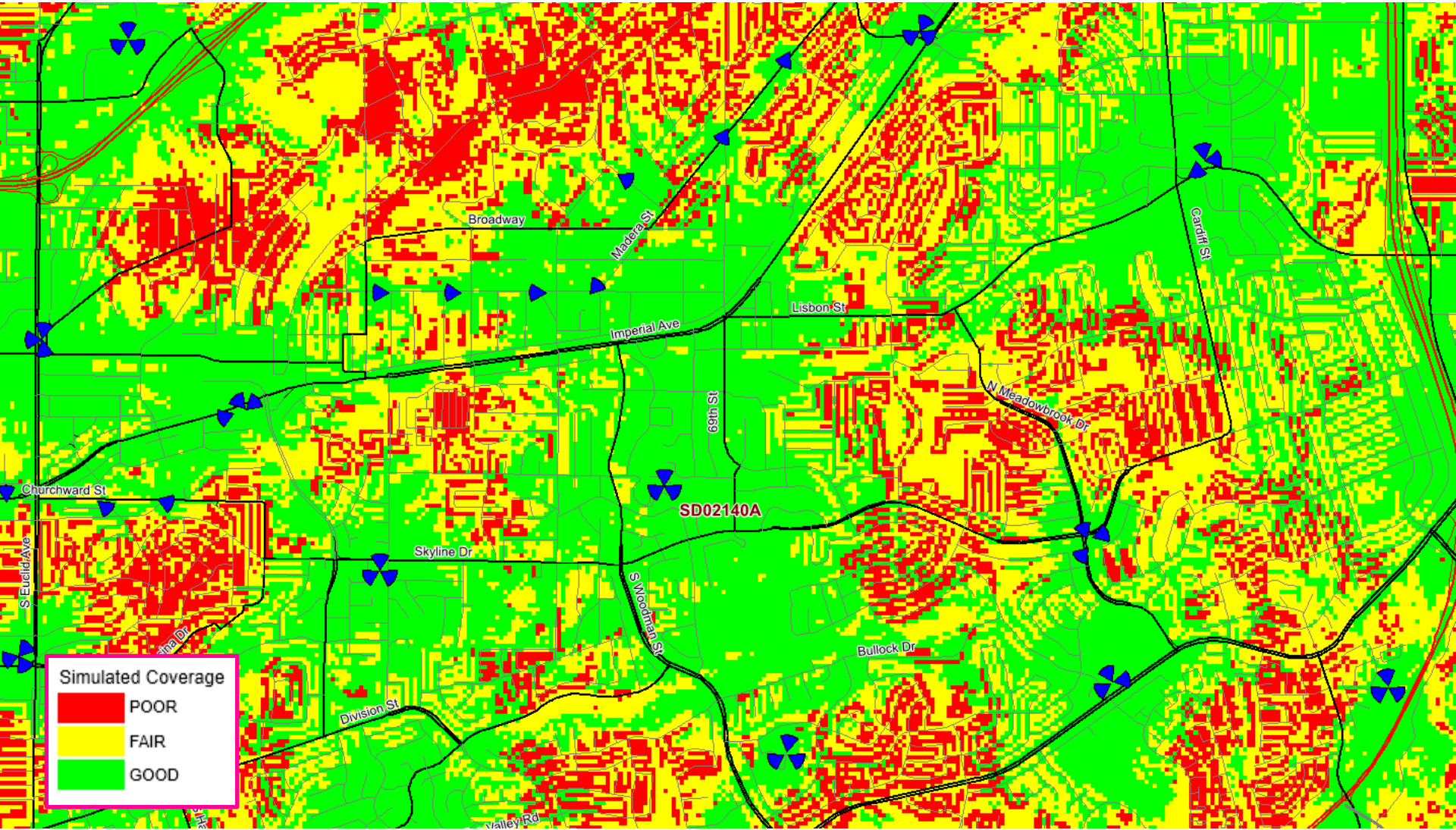
NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

SD02140A Coverage Maps

RF Team San Diego Market



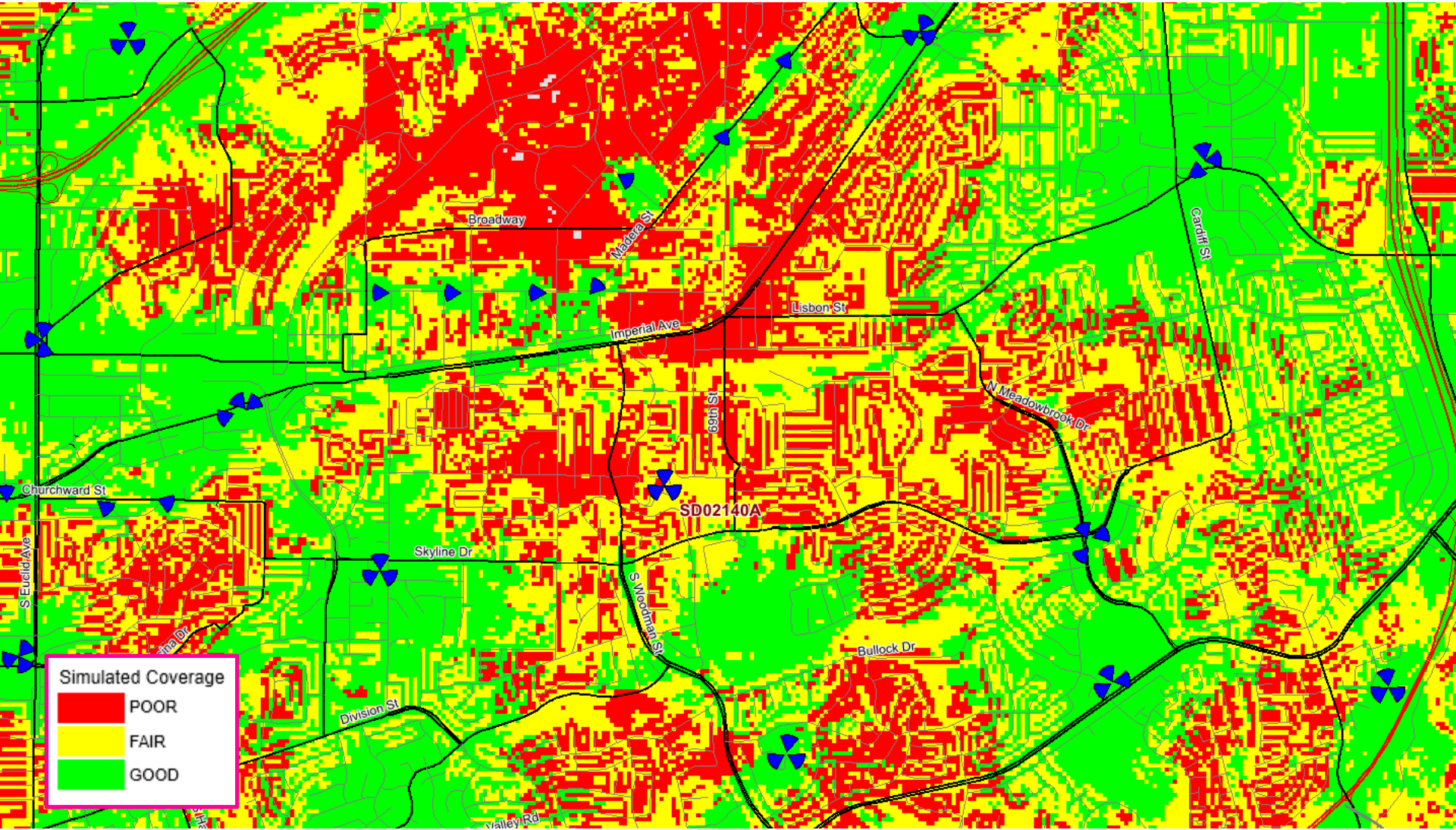




Simulated Coverage

Red	POOR
Yellow	FAIR
Green	GOOD





NOTICE OF EXEMPTION

ATTACHMENT 8

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 672857

Project Title: T-Mobile Encanto

PROJECT LOCATION-SPECIFIC: The project is located at 6780 Aviation Drive, San Diego, CA

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) and a Planned Development Permit (PDP) for the continued use and operation of an existing Wireless Communication Facility (WCF). The WCF consists of a 50-foot monopine, with nine panel antennas, three Remote Radio Units and associated equipment located inside a 240 square-foot enclosure. Additionally, the project will include the re-branching of the monopine and increased landscape. The property is located at 6780 Aviation Drive, in the RS-1-7 zone of the Skyline-Paradise Hills Community Planning Area, Council District 4. The WCF is unmanned and technicians would visit the site only as required for routine maintenance and repairs.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Chris Young, JS Infrastructure Partners, 17169 Botero Drive, San Diego CA 92105. (858) 205-4150.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1) ; 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c) .
- CATEGORICAL EXEMPTION: 15301 (Existing Facilities)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities). Section 15301 allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. Since the project would only permit the continual operation of an existing WCF the exemption was deemed appropriate. The project is located on a developed site and other than the re-branching of the monopine and landscaping, no construction is being proposed and no environmental impacts would occur. None of the exceptions described in CEQA Guidelines Section 15300.2 apply.

ATTACHMENT 8

LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

F FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () No

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM C.E.Q.A



4/8/2021
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY

CLERK OR QPR:



Letter of Authorization

To: **City of San Diego**

Re: Application for Zoning/Use/Building Permit

I/We, City of San Diego, as owner of that certain property located at **6780 Aviation Dr, San Diego CA 92114**, do hereby appoint J5 Infrastructure Partners, as agent for T-Mobile, for the purpose of applying for and obtaining any/all permits and other necessary governmental approvals necessary to use, modify and/or construct improvements to the property for the purpose of constructing, operating and maintaining a telecommunications facility.

I/We understand that the application may be denied, modified or approved with conditions and that such conditions and/or modifications must be complied with prior to building permit issuance.

I/We hereby authorize employees of the **City of San Diego** to enter upon the subject property as necessary for the purpose of processing this permit application.

Kristin Geitz

Signature of Property Owner or Representative

Kristin Geitz
PRINT NAME

Interim Director
TITLE

8/20/2020
DATE



REQUEST FOR PRELIMINARY REVIEW

for installation/modification of Wireless Communication Facility on City-owned property

8/12/2020

Date

The City of San Diego
Real Estate Assets Department
1200 Third Avenue, Suite 1700
San Diego, California 92101

RE: Site Name: Encanto Standpipe (Benson) Project #

Site Address: 6780 Aviation Dr., San Diego (the "Property")

Agreement: Agreement dated (the "agreement") between The City of San Diego ("City") and ("Lessee" or "Permittee" or "Licensee").

PTI US Towers II, LLC is seeking Consent from the City to perform the following to the above referenced site:

- Modify, upgrade or changes to existing equipment or Site as describe in the attached plans / photos.
Installation of a New Wireless Communication Facility on City owned property.
Apply for New Permit/New Agreement on existing facility - NO modifications or changes to existing equipment or site.
Apply for New Permit/New Agreement on existing facility - with modifications or changes to existing equipment or site.

Describe proposed project below:

Apply for a new agreement (License). Current will end on 09/30/2020.
Consent request for the following modifications to existing equipment:
Remove (3) AIR21 B2A/B4P antennas and install (3) AIR6449 B41 antennas;
keep (3) RRUS4449 RRUs;
install (3) RRU4415 B25 RRUs by antennas.
The final configuration will consist of: (9) panel antennas, (6) RRUs, (3) cabinets, (18) 7/8" coax, (1) 1-1/4" HCS, (3) 1-3/8" HCS
See Cd's attached and we need LOA signed in order to pull permits.

Pursuant to Improvements and Alterations, section of the above referenced agreement, *Lessee/ Permittee/Licensee shall not construct any improvements, structures or installations of the Premises or make any alterations to the Premises (with the exception of equipment replacement or repairs) without City's prior written approval.*

In order to comply with such requirements, PTI US Towers II, LLC would like to request City's consent to submit to Development Services Department for review of the proposed items above.

Sincerely, Josh Wade, agent for PTI US Towers II, LLC

Applicant Signature: Joshua L Wade

A one-time, non-refundable Processing Fee (\$4,920 for long term agreements - \$980 for Short term or ROE Permits) payable to City Treasurer, MUST be paid at the time of request for applicable agreement. This fee applies even if the agreement is never executed.

City PUD Department has provided its consent and approval to allow applicant to submit application for Required Permits needed for the proposed items listed herein, **with the understanding that the Department will be allowed to review the improvement plans prior to any permits being issued** and that a pre-construction meeting will be conducted with staff before any work begins, if required.

8/16/2020 Keli Balo [Signature]
Date Print Name & Title Signature

City of San Diego, acknowledgment and consent for 6780 Aviation Drive

8/16/2020 Kristin Beitz, Interim Director [Signature]
Date Print Name & Title Signature
READ

For READ ONLY
 Approved and Stamped plans received and attached
 Scan as Amendment to Agreement when executed
 Processing fee received





City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: T-Mobile Encanto	Project Number: 672857	Distribution Date:
--	----------------------------------	---------------------------

Project Scope/Location:

T-Mobile proposes to modify a WCF with 9 antennas on a faux tree.

Applicant Name: Chris Vuong on behalf of T-Mobile	Applicant Phone Number: 858-205-4150
---	--

Project Manager: Nilia Safi	Phone #: 619-446-5236	E-mail Address: nsafi@sandiego.gov
---------------------------------------	---------------------------------	--

Committee Recommendations (To be completed for Initial Review):

<input checked="" type="checkbox"/> Vote to Approve	Members Yes 4	Members No 1	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain

<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)	<input type="checkbox"/> Continued
--	---

CONDITIONS:

NAME: JOHN MOONEY	TITLE: SECRETARY S-PH CPC
-----------------------------	-------------------------------------

SIGNATURE: 	DATE: 9 MAR 2021
-----------------------	----------------------------

Attach Additional Pages If Necessary.

Please return to:
Project Management Division
City of San Diego
Development Services Department
1222 First Avenue, MS 302
San Diego, CA 92101

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

Photographic Survey

TMO Aviation

6780 Aviation Drive, San Diego, CA

Applicant: T-Mobile

Authorized representative (primary contact): Chris Vuong, 858-205-4150, cvuong@J5ip.com

Photographic survey of T-Mobile's monopine at a location with similar trees by 3 other carriers.



Photo No.	View	Looking at Sector?
1	Looking south at site	Sector A
2	Looking north from site	N/A
3	Looking west at site	Sector B
4	Looking east from site	N/A
5	Looking north at site	Sectors B + C
6	Looking south from site	N/A
7	Looking east at site	Sector C
8	Looking west from site	N/A

Photographic Survey

1. Looking south at site



2. Looking north from site



Photographic Survey

3. Looking west at site



4. Looking east from site



Photographic Survey

5. Looking north at site



6. Looking south from site



Photographic Survey

7. Looking east at site



8. Looking west from site



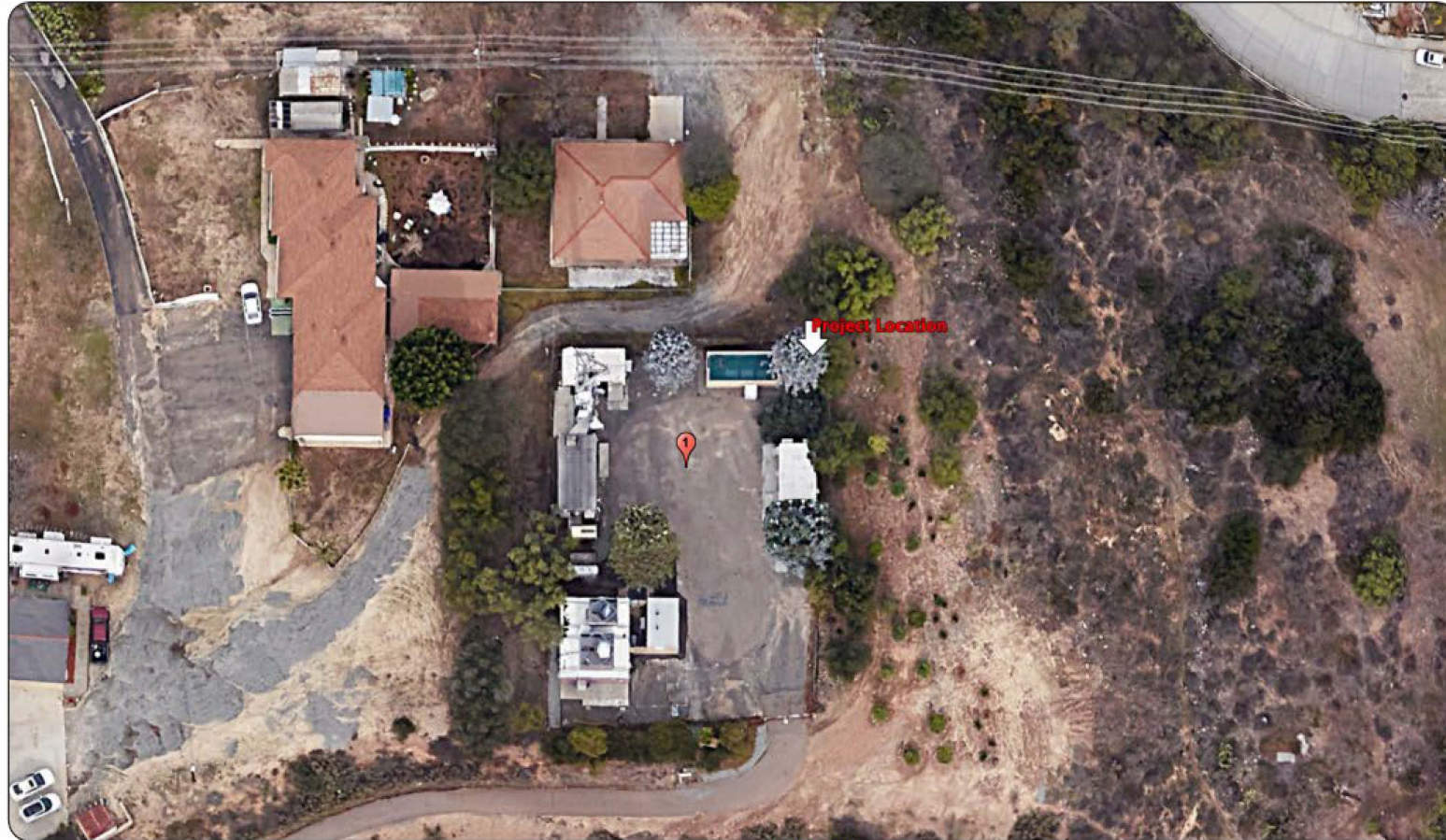
Mobile

T-Mobile West LLC
10509 Vista Sorrento Parkway
Suite 206
San Diego, CA 92121

T-Mobile

Encanto Standpipe

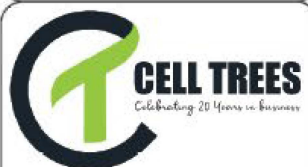
6710 Benson Avenue
San Diego, CA 92114



EODETIC COORDINATES
32° 42' 17.0"N / 117° 03' 05.9"W

© 2012 T-Mobile West LLC
All rights reserved. T-Mobile, the T-Mobile logo, and the T-Mobile logo are trademarks of T-Mobile West LLC. All other trademarks are the property of their respective owners.

PHOTOGRAPH BY
CREATED BY
N
U
WEST.COM



David Weekley
Cell Trees, Inc.
5401 S. Canada Place
Tucson, AZ 85706
805-868-1268 Mobile
805-862-4895 CA Office
david@elltree5inc.com

Encanto Standpipe



Existing Conditions



Proposed Site Build

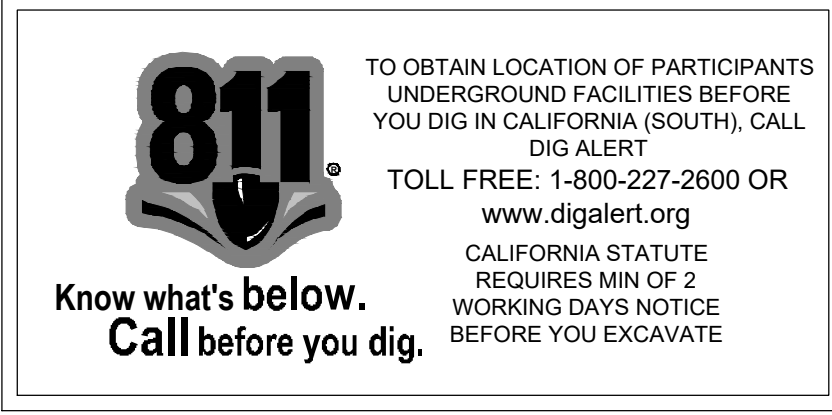
View: 3
Revision Date: 03/23/20
Client provided photographs



Encanto Standpipe



Orthographic Top View



CITY OF SAN DIEGO PROJECT Nbr: 672857



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO T-MOBILE. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO T-MOBILE IS STRICTLY PROHIBITED.

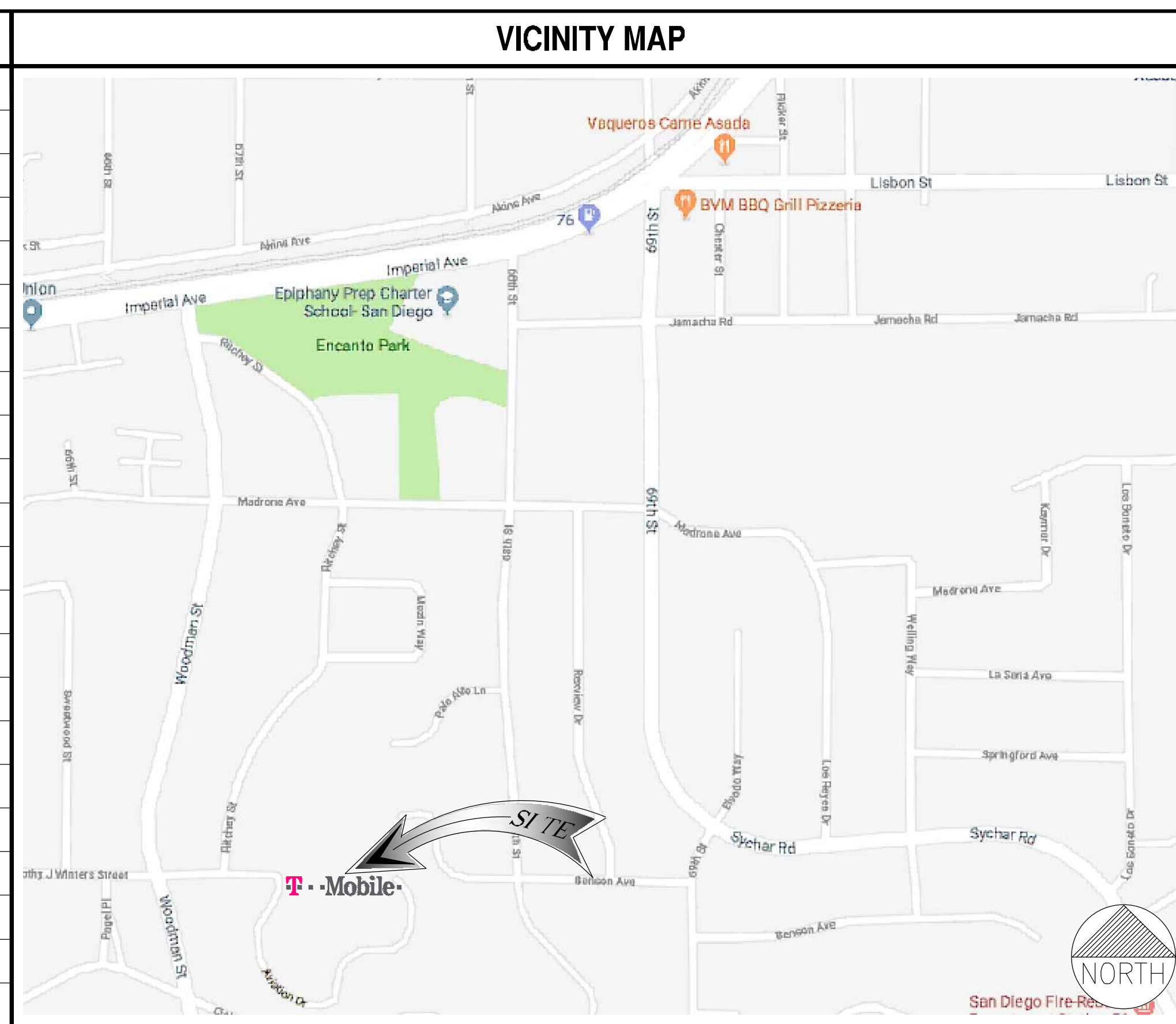


SITE NUMBER: SD02140A
SITE NAME: ENCANTO STANDPIPE
SITE TYPE: MONOPINE

CITY: SAN DIEGO
COUNTY: SAN DIEGO
JURISDICTION: CITY OF SAN DIEGO

SITE NUMBER: SD02140A
SITE NAME: ENCANTO STANDPIPE
 6780 AVIATION DRIVE, SAN DIEGO, CA 92114

SHT	DRAWING INDEX	REV
T1	TITLE SHEET	1
T2	GENERAL NOTES	1
T3	PHOTOSIMS & 3D RENDERING	1
T4	OWNER CONSENT / LOA	1
T5	STORM WATER QUALITY NOTES	1
T6	MONOPINE BRANCH LAYOUT	1
L-1	EXISTING LANDSCAPE PLAN	1
L-2	PLANTING PLAN	1
L-3	IRRIGATION PLAN	1
L-4	PLANTING NOTES AND DETAILS	1
L-5	IRRIGATION NOTES AND DETAILS	1
A1	SITE PLAN AND ENLARGED SITE PLAN	1
A2	EQUIPMENT PLANS	1
A3	ANTENNA PLANS	1
A4	NORTH ELEVATIONS	1
A5	EAST ELEVATIONS	1
A6	SOUTH ELEVATIONS	1
A7	WEST ELEVATIONS	1
D1	DETAILS	1
D2	DETAILS	1
G1	GROUNDING PLAN & NOTES	1
G2	GROUNDING DETAILS	1
E1	POWER PANEL DESIGN AND SINGLE LINE DIAGRAM	1



ANCHOR SCOPE OF WORK: (RFDS VERSION 7, DATED 04/08/20)

MODIFICATION OF AN EXISTING 'T-MOBILE' TELECOMMUNICATION FACILITY CONSISTING OF THE FOLLOWING:
 EXTERNAL SCOPE (AS DEPICTED IN DRAWING SET)

- REPLACE (1) EXISTING L700 ANTENNA WITH (1) PROPOSED 6' OCTO ANTENNA WITH NEW PINE SOCK, TYP. (3) TOTAL
- INSTALL (1) AIR6449 ANTENNAS, TYP. (3) TOTAL, REPLACING AIR21 ANTENNAS
- REMOVE (1) EXISTING RRU511 B12, (3) TOTAL
- INSTALL (1) NEW RRU 4449 PER SECTOR, (3) TOTAL, BY THE ANTENNA
- INSTALL (1) NEW RRU 4415 B25, TO CONFIGURE L19, U19, AND GSM, (3) TOTAL
- REMOVE (6) EXISTING COAX CABLES
- ADD (2) NEW 6x12 HCS HYBRID CABLE TO THE ANTENNAS THROUGH EXISTING CONDUITS AND WITHIN MONOPOLE
- ROTATE EXISTING MONOPOLE COLLAR MOUNT
- RELOCATE (2) EXISTING ANTENNAS IN EACH SECTOR (TOTAL OF 6)

CABINET SCOPE:

- ADD 3x BB6630 TO SUPPORT AIR6449 B41 LTE
- ADD 1x BB6648 TO SUPPORT AIR6449 B41 NR
- ADD 1x BB6630 FOR NR600
- UPGRADE AC DISTRIBUTION BREAKER TO 150 AMP
- ADD CABINET ENCLOSURE 6160 ABD BATTERY CABINET B160.
- ADD A NEW IXR6 ROUTER

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- CALIFORNIA BUILDING STANDARDS CODE: 2019 TRIENNIAL EDITION OF TITLE 24, WITH AN EFFECTIVE DATE OF JANUARY 1, 2020.
 - PART 1 - CALIFORNIA ADMINISTRATIVE CODE
 - PART 2 - CALIFORNIA BUILDING CODE, BASED ON THE 2018 INTERNATIONAL BUILDING CODE
 - PART 2.5 - CALIFORNIA RESIDENTIAL CODE, BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE
 - PART 3 - CALIFORNIA ELECTRICAL CODE, BASED ON THE 2017 NATIONAL ELECTRICAL CODE
 - PART 4 - CALIFORNIA MECHANICAL CODE, BASED ON THE 2018 UNIFORM MECHANICAL CODE
 - PART 5 - CALIFORNIA PLUMBING CODE, BASED ON THE 2018 UNIFORM PLUMBING CODE
 - PART 6 - CALIFORNIA ENERGY CODE
 - PART 7 - VACANT
 - PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
 - PART 9 - CALIFORNIA FIRE CODE, BASED ON THE 2018 INTERNATIONAL FIRE CODE
 - PART 10 - CALIFORNIA EXISTING BUILDING CODE, BASED ON THE 2018 INTERNATIONAL EXISTING BUILDING CODE
 - PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (ALSO KNOWN AS CALGREEN)
 - PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
- ANSI/TIA-222 (REV H)
- 2018 NFPA 101, LIFE SAFETY CODE
- 2016 NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE
- 2016 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS

PROJECT TEAM

SITE ADDRESS: 6780 AVIATION DRIVE, SAN DIEGO, CA 92114
APPLICANT: T-Mobile, 10509 VISTA SORRENTO PKWY #206 SAN DIEGO, CA 92121

PROPERTY OWNER/LESSOR: PHOENIX TOWER INTERNATIONAL, 999 YAMATO ROAD, SUITE 100 BOCA RATON, FL 33431
PROJECT MANAGER: JOEL SOLORIA, J5 INFRASTRUCTURE PARTNERS, jsoloria@j5ip.com (619) 977-0283

OCCUPANCY CLASSIFICATION: U
A&E MANAGER: JOHNNAR DELA CRUZ, J5 INFRASTRUCTURE PARTNERS, jdelacruz@j5ip.com (949) 247-7767 ext. 189

ZONING: RS-1-7
RF ENGINEER: JUAN CHAVEZ, T-MOBILE, Juan.Chavez@T-mobile.com

JURISDICTION: CITY OF SAN DIEGO
CONSTRUCTION MANAGER: KIRT BABCOCK, T-MOBILE, Kirt.Babcock@T-MOBILE.com (858) 334-6139

LATITUDE: 32° 42' 17.0" N (NAD 83)
ZONING MANAGER: CHRIS VUONG, J5 INFRASTRUCTURE PARTNERS, Cvuong@j5ip.com (858) 205-4150

LONGITUDE: 117° 03' 05.9" W (NAD 83)

APN: 549-320-05-00

TYPE OF CONSTRUCTION: V-B

ACCESSIBILITY REQUIREMENTS: THE FACILITY IS UNMANNED AND NOT FOR CONTINUOUS HUMAN HABITATION. DISABLED/CHALLENGED ACCESS IS NOT REQUIRED PER CBC 2019, SECTION 11B-203.4 (LIMITED ACCESS SPACE)

PTI SITE ID: US-CA-1216 BENSON

STATEMENTS

STRUCTURAL: STRUCTURAL ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWINGS SET. FOR ANALYSIS OF EXISTING AND/OR PROPOSED COMPONENTS, REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

ANTENNA MOUNT ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWING SET. FOR ANALYSIS OF ANTENNA MOUNT TO SUPPORT EXISTING AND/OR PROPOSED COMPONENTS, REFER TO ANTENNA MOUNT STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

PROPRIETARY INFORMATION: THE INFORMATION CONTAINED WITHIN THIS SET OF DRAWINGS IS PROPRIETARY T-MOBILE. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO T-MOBILE IS STRICTLY PROHIBITED.

APPROVALS:

	PRINT NAME	SIGNATURE	DATE
LAND OWNER:			
CONST. MANAGER			
PROJECT MANAGER:			
TMO RF ENGINEER:			
SAC. REP:			
CONST. MANAGER			

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

REV	DATE	DESCRIPTION
1	11/03/20	1ST ROUND PCC
0	08/21/20	100% CONSTRUCTION
C	05/26/20	100% CONSTRUCTION
B	05/18/20	100% CONSTRUCTION
A	05/05/20	90% CONSTRUCTION

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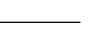
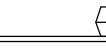
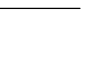

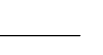

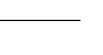

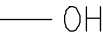





SHEET TITLE
TITLE SHEET

SHEET NUMBER
T1

- FOR THE PURPOSE OF THIS CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR – GENERAL CONTRACTOR (CONSTRUCTION) AND ANY LOWER TIER SUBCONTRACTORS.
 ENGINEER – J5 INFRASTRUCTURE PARTNERS
 OWNER – T-MOBILE WIRELESS
- CONTRACTOR SHALL VISIT THE CELL SITE PRIOR TO THE SUBMISSION OF BIDS TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY, CONFLICT, OR OMISSION FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION, PRIOR TO BID SUBMISSION & PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED AFTER THE COMMENCEMENT OF CONSTRUCTION WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ENGINEER. ANY COSTS INCURRED TO REMEDY THE SITUATION SHALL BE AT THE EXPENSE OF THE CONTRACTOR. THE ENGINEER SHALL APPROVE ALL METHODS USED TO CORRECTION THE SITUATION.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.

 ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUITS AND OTHER CABLES. CONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- AT ANY TIME DURING THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE SITE. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
- AS MAY BE REQUIRED BY THE GOVERNING AGENCY OR PROPERTY OWNER, THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER, WATER, OR TOILET FACILITIES.
- THE EXISTING CELL SITE IS ASSUMED TO BE IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH THE OWNER. ALSO, WORK MAY NEED TO BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REGULATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. SINCE THE CELL SITE MAY BE ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE REQUIRED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
- THE CONTRACTOR SHALL NOT USE OR INSTALL ANY MATERIAL CONTAINING ASBESTOS OR LEAD PAINT CONTENT. THE USE OF SUCH MATERIAL IS STRICTLY PROHIBITED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON PLANS, AND TO AVOID OR PROTECT THEM FROM ANY DAMAGE. ANY COSTS INCURRED TO REPAIR UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE AT THE SOLE COST OF THE CONTRACTOR. TELEPHONE 811 FOR USA DIG ALERT.
- THE GOVERNING AGENCY MAY REQUIRE A COPY OF THE APPROVED PLANS TO BE KEPT ON SITE AT ALL TIMES. THE CONTRACTOR SHALL MAKE SUCH A SET AVAILABLE FOR INSPECTION AT ALL TIMES. ANY DEVIATIONS FROM THE APPROVED SET SHALL BE DOCUMENTED AND PROVIDED TO THE ENGINEER FOR APPROVAL. THE CONTRACTOR SHALL BEAR THE SOLE COST TO CORRECT ANY INSTALLATION WHICH DEVIATES FROM APPROVED PLANS AND IS NOT ACCEPTED BY THE ENGINEER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS & METHODS, TECHNIQUES, SEQUENCING, AND PROCEDURES REQUIRED TO PERFORM THE WORK. ANY ANALYSIS OF THE STRUCTURE UNDER TEMPORARY CONSTRUCTION LOADING CONDITIONS IS OUTSIDE OF THE SCOPE OF THESE DRAWINGS. THE CONTRACTOR SHOULD EVENLY DISTRIBUTE ANY MATERIAL TO BE STORED ON SITE DURING CONSTRUCTION SO THAT THE LOAD DOES NOT EXCEED THE STRUCTURES DESIGNED LIVE LOAD; OR PROVIDE TEMPORARY SHORING OR BRACING IN THESE AREAS.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE.
- ALL NEW COMPONENTS ADD TO THE EXTERIOR OF THE STRUCTURE, WHICH ARE VISIBLE FROM PUBLIC VIEW, SHALL BE PAINTED TO MATCH THE EXISTING CONDITIONS.
- ALL DETAILS AND NOTES INDICATED IN THESE PLANS ARE THE MINIMUM REQUIREMENTS.
- IT MAY BE NECESSARY TO TEMPORARILY RELOCATE, REMOVE, REPLACE, OR WORK AROUND VARIOUS ARCHITECTURAL FEATURES, PIPES, FIXTURES, CABLING, OR OTHER NON-STRUCTURAL ITEMS IN ORDER TO COMPLETE THE PROPOSED WORK. CONTRACTOR SHALL RESTORE THESE ITEMS TO THEIR ORIGINAL CONDITION AT THEIR EXPENSE UNLESS OTHERWISE NOTED IN THESE PLANS.

SYMBOLS

- | | | | |
|---|---|---|---|
|  | SOLID GROUND BUS BAR |  | GROUND ROD WITH ACCESS (TEST WELL) |
|  | SOLID NEUTRAL BUS BAR |  | GROUNDING WIRE, DASHED REPRESENTS UNDERGROUND |
|  | SUPPLEMENTAL GROUND CONDUCTOR |  | TELEPHONE LINE, DASHED REPRESENTS UNDERGROUND |
|  | 2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER |  | COAXIAL CABLE, DASHED REPRESENTS UNDERGROUND |
|  | SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER |  | ANTENNA COAX |
|  | XIT GROUND ROD (CHEMICAL) |  | OVERHEAD ELECTRICAL CABLES |
|  | GROUND ROD | | |
|  | DISCONNECT SWITCH | | |
|  | UTILITY METER | | |
|  | EXOTHERMIC CONNECTION (CADWELD) TO GROUND RING AND COMPRESSION TO GROUND HALO | | |
|  | COMPRESSION, CLAMP, OR DOUBLE HOLE LUG TYPE GROUND CONNECTION | | |

ABBREVIATIONS

- | | | | |
|--------|-------------------|------|----------------------------------|
| AGL | ABOVE GRADE LEVEL | (P) | PROPOSED |
| (E) | EXISTING | EMT | ELECTRICAL METALLIC TUBING |
| MIN | MINIMUM | GND | GROUND |
| N.T.S. | NOT TO SCALE | GPS | GLOBAL POSITIONING SYSTEM |
| REF | REFERENCE | GFCI | GROUND FAULT CIRCUIT INTERRUPTER |
| RF | RADIO FREQUENCY | TYP | TYPICAL |
| T.B.D. | TO BE DETERMINED | EGR | EQUIPMENT GROUND RING |
| | | AWG | AMERICAN WIRE GAUGE |
| | | MGB | MASTER GROUND BUS |
| | | EG | EQUIPMENT GROUND |
| | | BCW | BARE COPPER WIRE |
| | | GEN | GENERATOR |
| | | IGR | INTERIOR GROUND RING (HALO) |
| | | BTCW | BARE TINNED COPPER WIRE |

LEGEND

- ALL GROUNDING WORK SHALL COMPLY WITH THE LATEST EDITION OF THE CALIFORNIA ELECTRICAL CODE, AS WELL AS WITH ALL LOCAL, STATE, AND NATIONAL CODES, LAWS, AND ORDINANCES APPLICABLE TO GROUNDING WORK.
- EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION SO AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION SHALL BE ACCORDING TO SPECIFIC SITE CONDITIONS.
- GROUNDING CONDUCTORS SHALL BE #2 AWG SOLID BARE TINNED COPPER WIRE, UNLESS NOTED OTHERWISE.
- APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- INSTALL GROUND CONDUCTORS AND GROUND ROD A MINIMUM OF 1'-0" FROM CONCRETE SLAB, FOOTING, OR FENCE.
- ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY AN ELECTRICAL CONTRACTOR.
- MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- METAL CONDUIT AND TRAY SHALL BE GROUND AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
- GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
- CHEMICAL GROUND SHALL BE XIT, CHEM-ROC, OR APPROVED EQUAL, WHEN REQUIRED.
- CONNECTIONS TO THE GROUND BARS SHALL NOT BE DOUBLED UP OR STACKED. BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR ARE PERMITTED.
- NOTIFY PROJECT MANAGER IF THERE ARE DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SOIL CONDITIONS.
- ANY EQUIPMENT, BOX, SKID TO BE GROUND AND DOES NOT HAVE A DESIGNATED GROUND CONNECTION SHALL BE DRILLED AS NECESSARY TO CONNECT A GROUND WIRE. REMOVE PAINT IN AREA UNDER LUG. APPLY ANTI-OXIDANT COMPOUND AND CONNECT WITH TWO-HOLE, COMPRESSION LUG.
- ALL NEW GROUNDING SHALL CONFORM WITH "T-MOBILE" GROUNDING STANDARDS.

GROUNDING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS TO COMPLETE ALL UPGRADES AS INDICATED IN THIS DOCUMENT.
- ALL DIMENSIONS, SECTIONS AND DETAILS OF THE EXISTING STRUCTURE ARE INCLUDED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL RELEVANT INFORMATION PRIOR TO CONSTRUCTION OR FABRICATION. NOTIFY THE ENGINEER-OF-RECORD IMMEDIATELY OF ANY DISCREPANCIES. ALL NEW WORK SHALL ACCOMMODATE EXISTING CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- COORDINATE WORK INDICATED ON THESE DRAWINGS WITH THE NEW EQUIPMENT, EXISTING EQUIPMENT, WAVEGUIDE ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
- ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS AND CODES, LATEST EDITION.
- CONTRACTOR SHALL COLD-GALVANIZE ALL RAW STEEL AS REQUIRED DURING CONSTRUCTION PROCESS.

GENERAL NOTES

GENERAL UPGRADE NOTES



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

**SITE NUMBER:
SD02140A**
**SITE NAME:
ENCANTO STANDPIPE**

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
GENERAL NOTES

SHEET NUMBER
T2



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

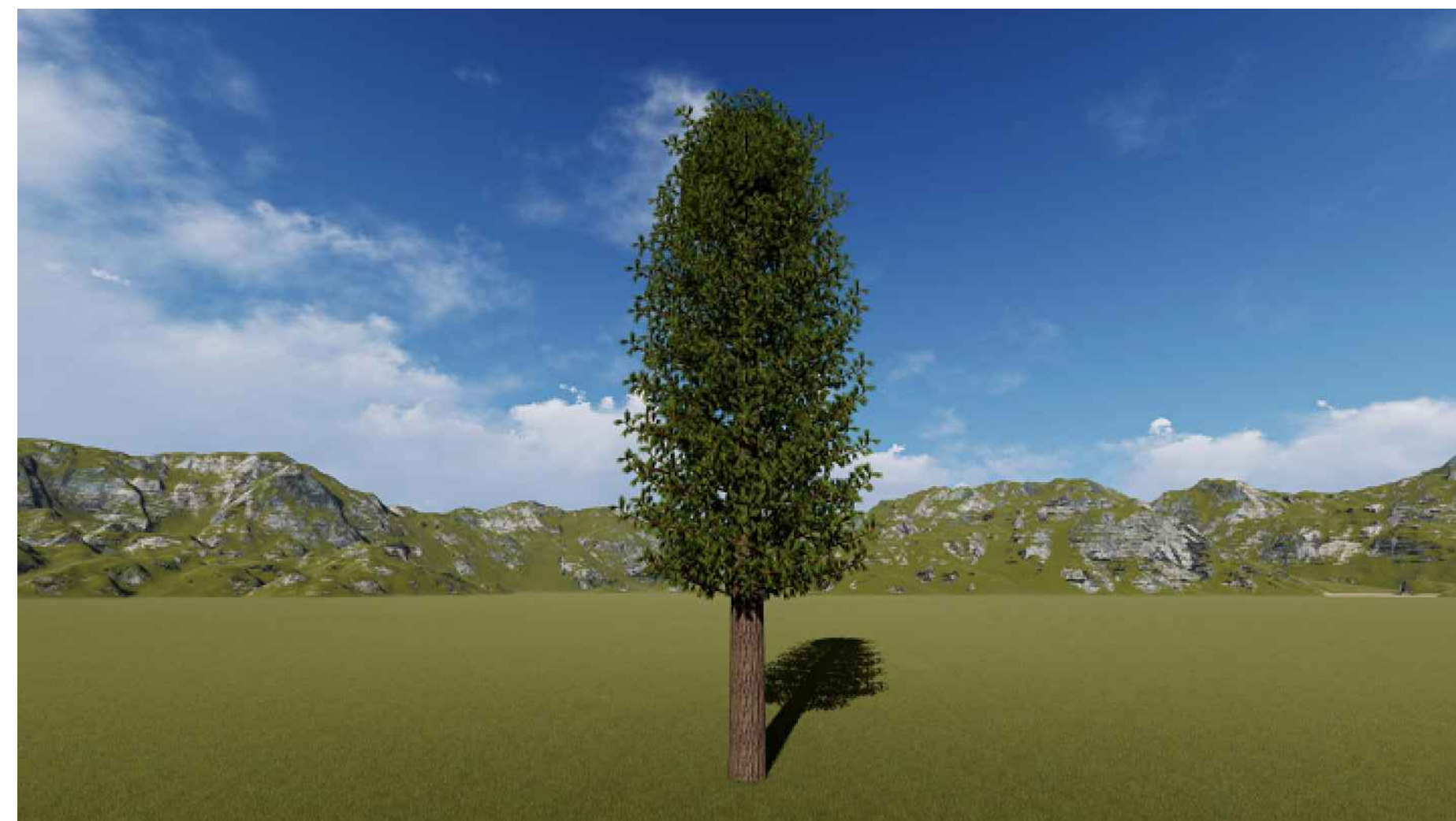
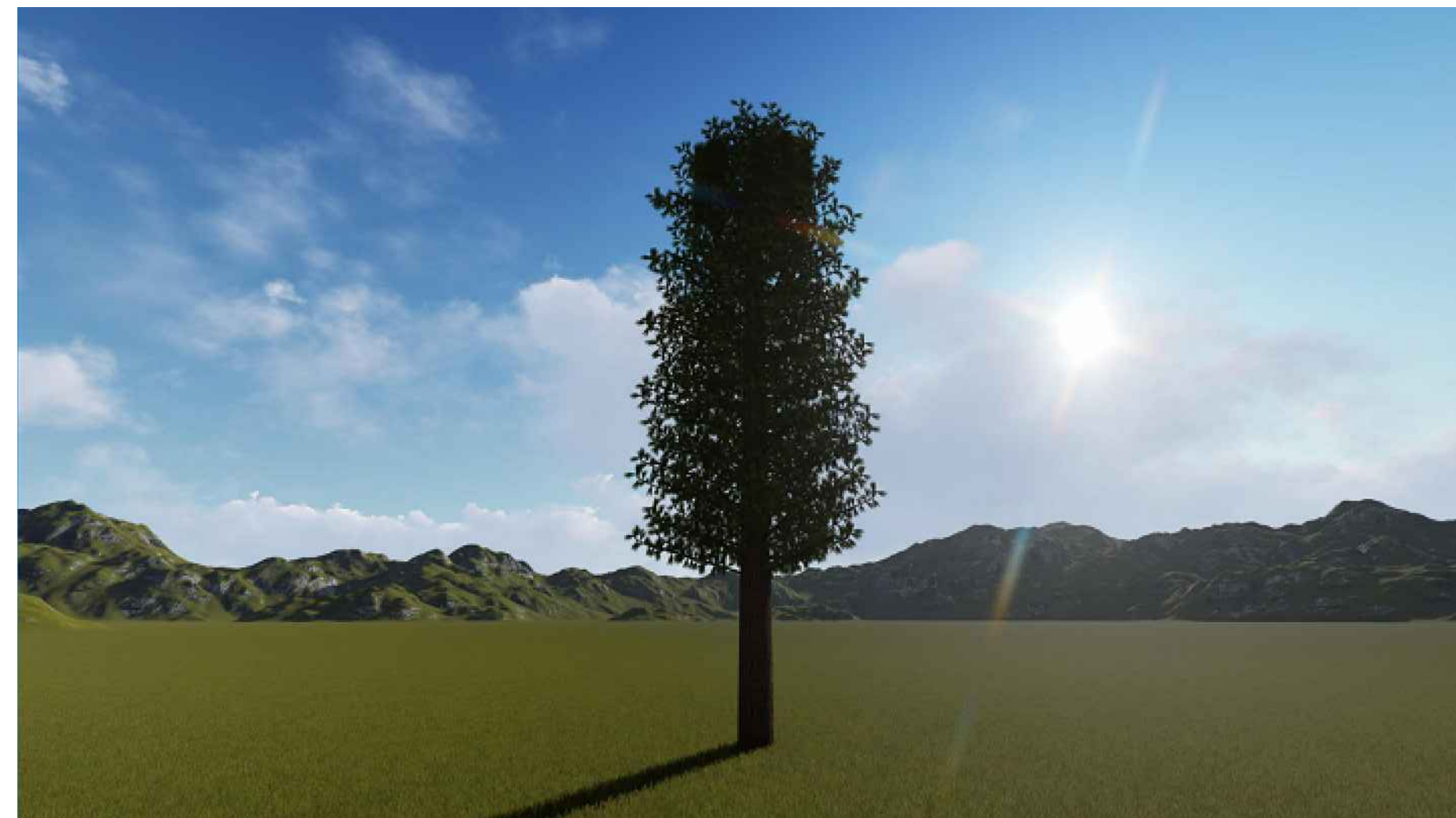
6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

REV	DATE	DESCRIPTION	
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B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
**PHOTOSIMS &
3D RENDERING**

SHEET NUMBER
T3





Letter of Authorization

To: **City of San Diego**
 Re: Application for Zoning/Use/Building Permit

I/We, City of San Diego, as owner of that certain property located at **6780 Aviation Dr, San Diego CA 92114**, do hereby appoint IS Infrastructure Partners, as agent for T-Mobile, for the purpose of applying for and obtaining any/all permits and other necessary governmental approvals necessary to use, modify and/or construct improvements to the property for the purpose of constructing, operating and maintaining a telecommunications facility.

I/We understand that the application may be denied, modified or approved with conditions and that such conditions and/or modifications must be complied with prior to building permit issuance.

I/We hereby authorize employees of the **City of San Diego** to enter upon the subject property as necessary for the purpose of processing this permit application.

Kristin Geitz

Signature of Property Owner or Representative

Kristin Geitz
 PRINT NAME

Interim Director
 TITLE

8/20/2020
 DATE



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2030 MAIN STREET, SUITE 200
 IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

 6780 AVIATION DRIVE,
 SAN DIEGO, CA 92114

REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
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SHEET TITLE
**OWNER
 CONSENT / LOA**

SHEET NUMBER
T4



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

REV	DATE	DESCRIPTION
1	11/03/20	1ST ROUND PCC RD
0	08/21/20	100% CONSTRUCTION RD
C	05/26/20	100% CONSTRUCTION ES
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SHEET TITLE
STORM WATER QUALITY NOTES

SHEET NUMBER
T5

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

**Storm Water Requirements
Applicability Checklist**

FORM
DS-560
November 2018

Project Address: 6780 Aviation Drive, San Diego, CA Project Number: 672857

SECTION 1. Construction Storm Water BMP Requirements:
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

- Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 Yes; SWPPP required, skip questions 2-4 No; next question
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?
 Yes; WPCP required, skip questions 3-4 No; next question
- Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes; WPCP required, skip question 4 No; next question
- Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
 - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities.
DS-560 (11-18)

Clear Page 1

STORM WATER QUALITY NOTES - CONSTRUCTION BMPs

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREETS(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA.** TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-1 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

Updated: 10/1/2018

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

- ASBS**
a. Projects located in the ASBS watershed.
- High Priority**
a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed.
b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.
- Medium Priority**
a. Projects that are not located in an ASBS watershed or designated as a High priority site.
b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed.
c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.
- Low Priority**
a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

SECTION 2. Permanent Storm Water BMP Requirements.
Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".
If "no" is checked for all of the numbers in Part C continue to Part D.

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No
- Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

Clear Page 2

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PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
If "no" was checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? Yes; PDP exempt requirements apply No; next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
 Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project".
If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project".

- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- New development or redevelopment of a restaurant.** Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. Yes No
- New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** Yes No
- New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

Clear Page 3

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

- New development or redevelopment discharging directly to an Environmentally Sensitive Area.** The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No
- New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.** The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No
- New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces.** Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. Yes No
- Other Pollutant Generating Project.** The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

- The project is **NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.**
- The project is a **STANDARD DEVELOPMENT PROJECT.** Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is **PDP EXEMPT.** Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is a **PRIORITY DEVELOPMENT PROJECT.** Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management

Chris Vuong
Name of Owner or Agent (Please Print) Agent for T-Mobile
Title
Signature Date
Chris Vuong 11/03/2020

Clear Page 4
Clear Form



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO T-MOBILE. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO T-MOBILE IS STRICTLY PROHIBITED.



2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
**MONOPINE
BRANCH LAYOUT**

SHEET NUMBER
T6

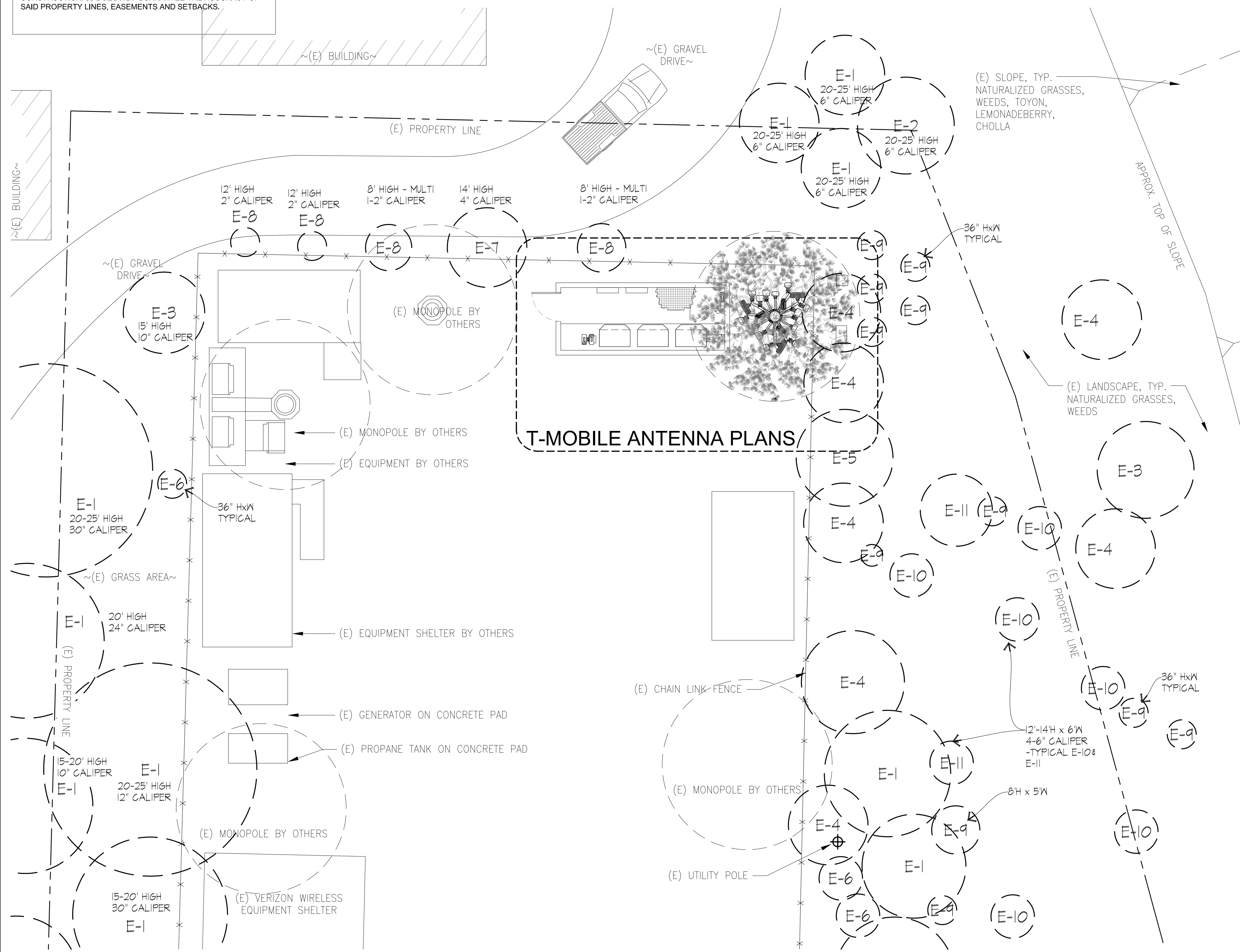
Branch Layout for Job: 10-039 Pine Branch Upgrade

48.0	Deg	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	Brnchs per Row	Space Betw Rows
48.00	90																			1	
48.00	50					2							2						2	3	
47.25	30		6						6						6					3	0.8
47.00	15				6						6					6				3	0.3
46.50	15						6					6						6		3	0.5
46.00	15			6						6						6				3	0.5
45.50	15	8							8						8					3	0.5
45.00																				0	0.5
44.25	0					8							8						8	3	0.8
43.00	0		8							8					8					3	1.3
42.25	15	8							8						8					3	0.8
41.75	15				8						8						8			3	0.5
40.50	15					8						8						8		3	1.3
39.25	15			8						8						8				3	1.3
38.00	15	8						8						8						3	1.3
36.75	15				8						8						8			3	1.3
36.25	15			8						8						8				3	0.5
35.50	15		8						8						8					3	0.8
34.25	15			8						8						8			8	3	1.3
33.00	15					8					8							8		3	1.3
32.75	15				6					6						6				3	0.3
32.25	15	8							8						8				6	3	0.5
31.50	15			8						8						8				3	0.8
30.75	15					8						8						8		3	0.8
30.00	15	8						8					8							3	0.8
29.25	15			6						6						6				3	0.8
28.50	15					8					8						8			3	0.8
27.75	15				8					8						8			8	3	0.8
27.00	15		8						8						8					3	0.8
26.25	15					6					6						6		6	3	0.8
25.50	15			8						8						8				3	0.8
24.75	15				8						8						8			3	0.8
24.00	15					8						8						8		3	0.8
23.25	15	8							8						8					3	0.8
22.50	15			8						8						8				3	0.8
21.75	15					8						8						8		3	0.8
21.00	15	8						8					8							3	0.8
20.25	15		8						8					8						3	0.8
19.25	15				10						10						10			3	1.0
18.50	15				8					8						8				3	0.8
17.50	15		10								10						10			3	1.0
16.25	15					8						8						8		3	1.3
15.75	15				10							10						10		3	0.5
15.00	15		8						8					8						3	0.8
14.25	15					10						10							10	3	0.8
13.50	15	10							10					10						3	0.8
13.00	15			10						10						10				3	0.5
12.50	15					8					8							8		3	0.5
12.00	15	8		9				8		9				8						5	0.5

Branch Total 144

Size	CR	SC	BB	4	6	7	8	9	10	48-12 = 36
Count	1	3	0	3	18	0	99	2	18	144/36 = 4.0 BPF
Branch Total= 144										

DISCLAIMER
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EXISTING PLANTING

KEY	BOTANICAL COMMON NAME	REMARKS	SIZE
E-1	OLEA EUROPEA OLIVE	ON AND OFF SITE, TO REMAIN, PROTECT IN PLACE	PER PLAN
E-2	SCINUS MOLLE CALIFORNIA PEPPER	OFF SITE, PROTECT IN PLACE	
E-3	FRAXINUS SPECIES ASH- UNKNOWN VARIETY	MAIN LEADER DIED BACK, RE-SPROUTING, TO REMAIN, PROTECT IN PLACE	
E-4	ACACIA SPECIES ACACIA- UNKNOWN VARIETY	TO REMAIN, PROTECT IN PLACE - THERE ARE MANY ACACIA SEEDLINGS IN THE UNDERSTORY, THEY SHOULD BE SELECTIVELY REMOVED.	
E-5	SCINUS TEREBINTHIFOLIUS BRAZILIAN PEPPER	LOW BRANCH, TO REMAIN, PROTECT IN PLACE	
E-6	RHUS INTEGRIFOLIA LEMONADEBERRY	NEWLY PLANTED, TO REMAIN, PROTECT IN PLACE	
E-7	BAUHINIA VARIEGATA ORCHID TREE	TO REMAIN, PROTECT IN PLACE	
E-8	CUPANOPSIS ANACARDIODES CARROTTWOOD	TO REMAIN, PROTECT IN PLACE	
E-9	HETEROMELES ARBUTIFOLIA TOYON	NEWLY PLANTED, TO REMAIN, PROTECT IN PLACE	
E-10	CUPROCYPARIS LEYLANDII LAYLAND'S CYPRESS	NEWLY PLANTED, TO REMAIN, PROTECT IN PLACE	
E-11	PINUS EL-DARICA EL-DARICA PINE	NEWLY PLANTED, TO REMAIN, PROTECT IN PLACE	

SITE VISIT
 A SITE WALK WAS PERFORMED ON FRIDAY 5-24-19, AND THE FOLLOWING NOTES OUTLINE MY OBSERVATIONS AND RECOMMENDATIONS.

OBSERVATIONS:
 THE SITE IS A RELATIVELY LARGE OPEN AREA, THAT HAS BEEN REPEATEDLY PLANTED WITH VARIOUS SCREENING TREES AND SHRUBS, THOSE PLANTINGS VARY IN AGE FROM MATURE OLIVES TO RECENTLY PLANTED PINES, CYPRESSES AND TOYON. NO MULCH WAS VISIBLE. THE AREA SLOPES AWAY FROM THE ENCLOSURE, WITH MANY VOLUNTEER GRASS AND WEEDS, IT APPEARS TO HAVE BEEN MOVED PERIODICALLY AND IS IRRIGATED, BUT WITH THE EXTRA RAIN THIS YEAR THEY HAVE GROWN TALL. THERE IS NO EVIDENCE OF A DRAINAGE SYSTEM OR OBSERVATION STANDPIPES AT THE TREE PLANTINGS, THE SOIL IS ROCKY WITH GOOD DRAINAGE - TYPICAL FOR THE AREA'S HILLTOPS. THE ENCLOSURE HAS 5 DIFFERENT FAUX TREE ANTENNAE COLLOCATED, WITH VARIOUS EQUIPMENT CLOSURES AND OTHER STANDARD TELE-COMMUNICATIONS EQUIPMENT. THE ENCLOSURE IS A CHAIN LINK FENCE WITH DOUBLE LOCKED GATE. THERE ARE NO PLANTINGS WITHIN THE FENCED AREA. THE CONTROLLER IS NOT VISIBLE BUT COULD BE INSIDE THE ENCLOSURE.

ANALYSIS:
 IT IS UNCLEAR HOW MUCH OF THE APPROVED PLANTINGS WERE EVER PLANTED. THE PLAN CALLED FOR (6) TREES AND (6) VINES. I FOUND (6) ACACIA TREES IN THE VICINITY SHOWN ON THE APPROVED PLANS (THERE ARE MANY MORE SEEDLING ACACIA IN THE UNDER GROWTH) AND (1) BRAZILIAN PEPPER. THERE WERE NO RED IRON BARK EUCALYPTUS OR SILK OAK FOUND. THERE WERE NO HAPPY WANDERER VINES FOUND, INSTEAD IVY GERANIUM IS STRUGGLING TO SURVIVE ON THE BACK FENCE. THERE IS NO OBVIOUS EVIDENCE, SUCH AS STUMPS OR EMPTY PLANT PITS, INDICATING WHERE THE MISSING PLANTS ALONG THE BACK FENCE WERE ORIGINALLY PLANTED. SINCE LACK OF EVIDENCE DOES NOT MEAN THEY WEREN'T THERE AT SOME POINT AND THEY JUST DIED OR WERE REMOVED. THE SITE HAS BEEN WORKED OVER WITH REPEATED PLANTINGS. THERE IS NOW A GRAVEL ACCESS ROAD, SERVICING THE ADJACENT BUILDINGS, ALONG THE BACK FENCE, THAT WASN'T SHOWN ON THE APPROVED PLAN. I THINK IT IS REASONABLE TO ASSUME THE ADJACENT TENANTS MAY HAVE PLANTED THEIR OWN SCREEN TREES, VINES ALONG THE BACK FENCE-LINE, EXPLAINING THE ODD PLANT SELECTIONS OF CARROTTWOOD, ORCHID TREE, AND IVY GERANIUM. WITHOUT ANY ADDITIONAL EVIDENCE TO THE CONTRARY, I ASSUME THE ACACIA TREES TO BE FROM THE APPROVED PLANTING PLAN. THE BRAZILIAN PEPPER IS IN THE SAME LOCATION AS THE 'EXISTING PEPPER SSP.' REFERENCED IN THE ORIGINAL PLANS.

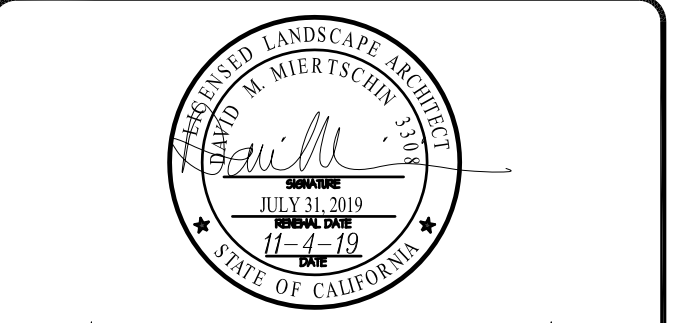
RECOMMENDATIONS:
 THE ORIGINAL INTENT OF SCREENING THE FACILITY HAS BEEN LARGELY ACHIEVED, THE EXISTING PLANTINGS NOW GROWING WILL ACHIEVE LARGE ENOUGH SIZE TO COMPLETE THE SCREEN - EXCEPT ALONG THE BACK FENCE.
 RE-PLANT MISSING VINES ALONG NORTH FENCE-LINE BETWEEN GRAVEL ROAD AND FENCE- 15 GALLON AT 8' O.C.
 OVER EXCAVATE THE PLANTING PITS, AND OBTAIN A SOILS TEST WITH SAMPLES TAKEN FROM REPRESENTATIVE AREAS.
 PROVIDE IRRIGATIONS SYSTEM WITH (1) .25 GPM POP-UP BUBBLER PER VINE AND CONNECT TO EXISTING SYSTEM, TROUBLESHOOT AUTOMATIC CONTROLLER AND REPLACE IF NECESSARY.



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SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE
 6780 AVIATION DRIVE
 SAN DIEGO, CA 92114



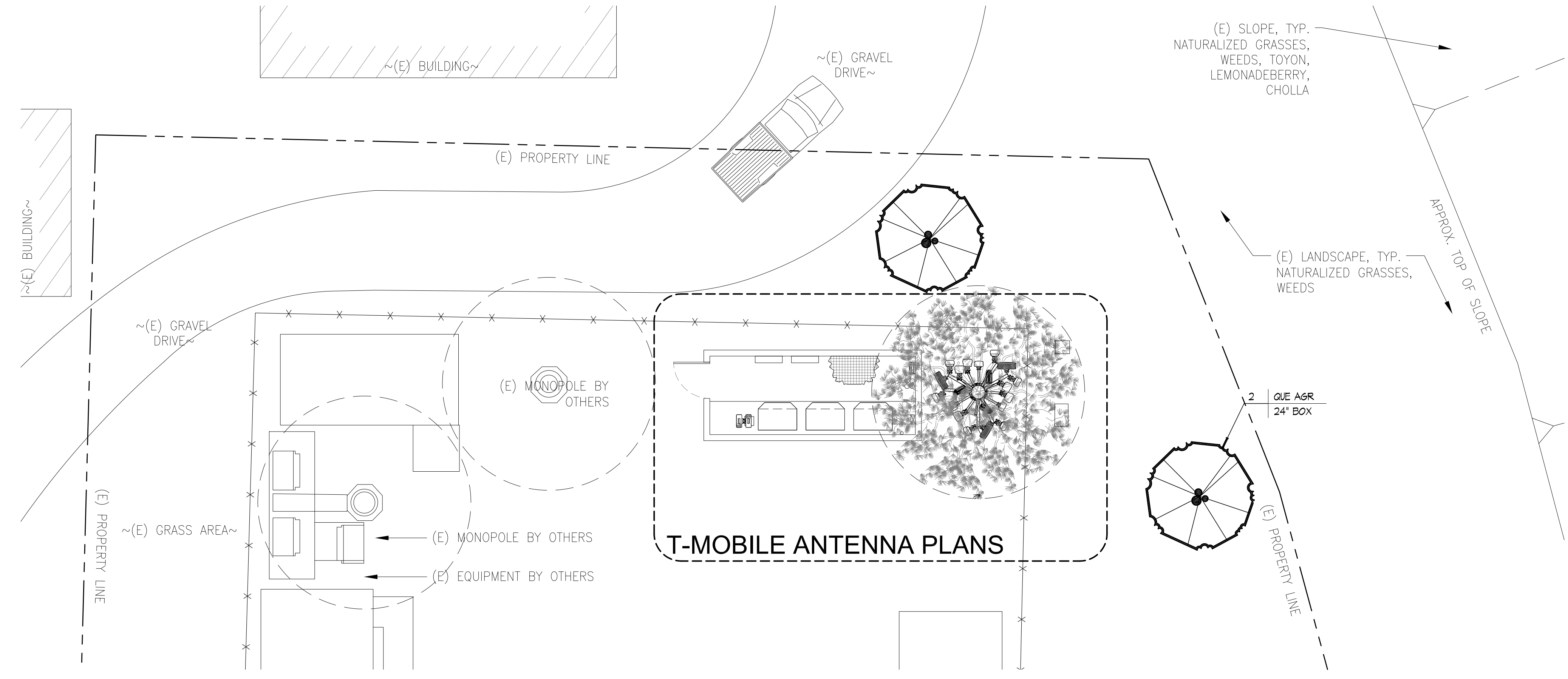
DMLA
 Landscape Architecture
 34032 Alcazar Dr., Dana Point, Ca 92629
 david@dmlaonline.com
 pf(949)388-3369

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SHEET TITLE
EXISTING LANDSCAPE PLAN

SHEET NUMBER
L-1

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CITY REQUIRED NOTES

"ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS"

"IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED."

NOTE: IRRIGATION TYPE
 THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED BUBBLER SYSTEM WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.

MAINTENANCE:
 "ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY:
 PERMITTEE or OWNER/PERMITTEE

LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC R.O.W. SHALL BE MAINTAINED BY:
 PERMITTEE or OWNER/PERMITTEE

THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT."

"EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

"MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMG 142.0411."

"IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION AND CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN-KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 90 DAYS OR DAMAGE."

PLANTING LEGEND

TREES

SYMBOL	KEY	BOTANICAL/COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE (QTY/S) H/W	MAINTAIN TO H/W	INCOLS BY REG-RTE
	QUE AGR	QUERCUS AGRIFOLIA COAST LIVE OAK	ONLY PRUNE TO REMOVE DEFECTS	24" box	2	B/C L-3	35x30' +/-	SAME	4-L

MULCH ALL SHRUBS 3" DEEP. MAINTAIN MULCH TO DRIFLINE TYPICAL, AND MULCH ALL BARE GROUND BETWEEN GROUPINGS - USE PARTIALLY COMPOSTED, NITROGEN STABILIZED TREE TRIMMINGS, 0-2 INCH SCREENED COMPOST OR PRE-APPROVED EQUAL.

QTY. KEY
 99 CEA HOR
 1 GAL
 SIZE

CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION. ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION OPERATIONS.

ARCHITECT OR DEVELOPER SHALL PERFORM AN AGRONOMICAL SOILS TEST FOR FERTILITY AND TO DETERMINE DRAINAGE CAPABILITY. FOLLOW THE LAB SPECIFICATIONS DURING PLANTING. LAB SHALL BE INDEPENDENT FROM THE AMENDMENT SUPPLIER. GENERIC AMENDMENTS SHALL BE USED. PROOF OF AMENDMENTS USED SHALL BE PROVIDED TO THE CLIENT.



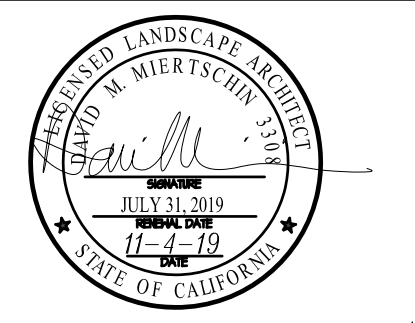
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SITE NUMBER:
SD02140A

SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE
 SAN DIEGO, CA 92114



DMLA
 Landscape Architecture
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SHEET TITLE
PLANTING PLAN

SHEET NUMBER
L-2

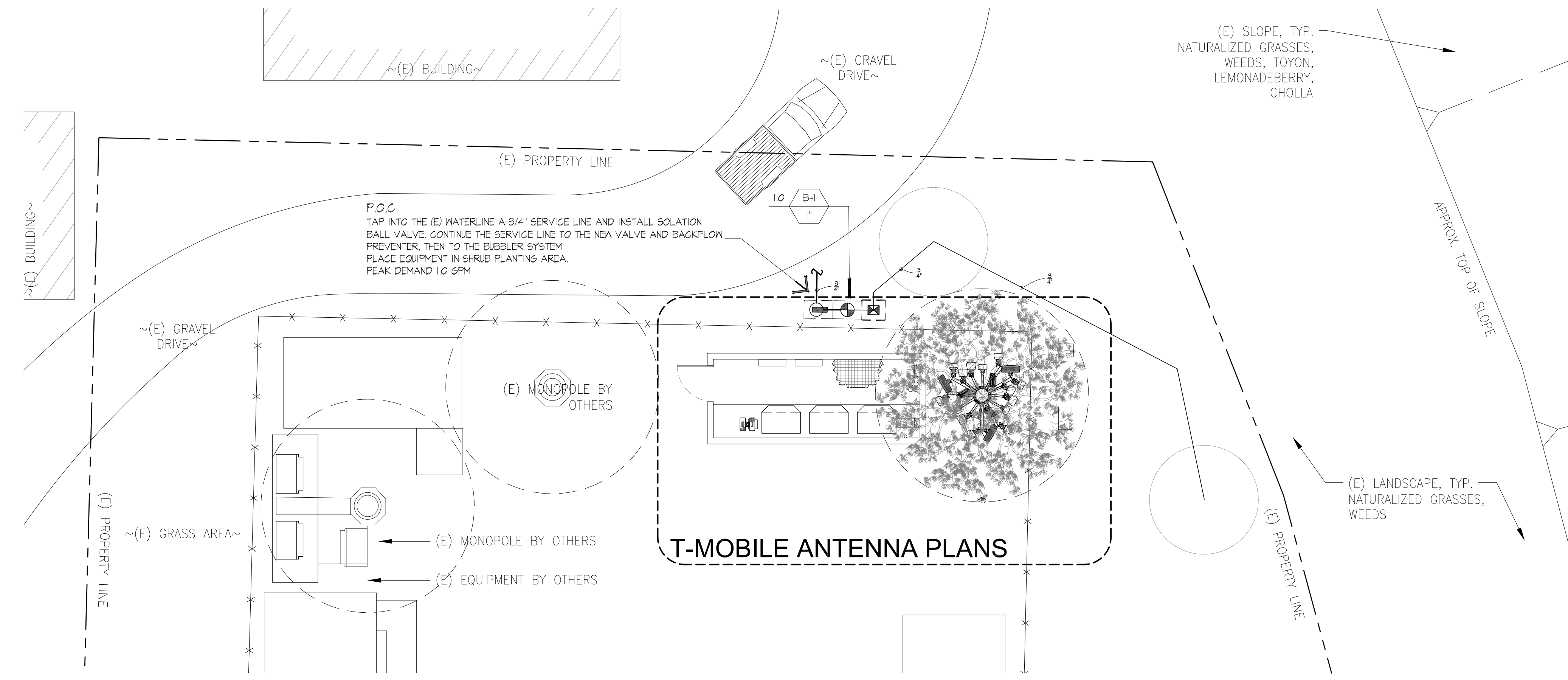
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 THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. JS DOES NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS AND SETBACKS.

CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION. ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION OPERATIONS.

CONTRACTOR SHALL CAP, DIVERT AND/OR ADJUST ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE NEW PLANTINGS. ENOUGH WATER MUST BE APPLIED TO THE EXISTING PLANTINGS DURING AND AFTER CONSTRUCTION OPERATIONS TO INSURE PLANT SURVIVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REGULATING SOIL MOISTURE CONTENT AND DRAINAGE UNTIL THE END OF CONTRACTED MAINTENANCE RESPONSIBILITY.
 GENERAL WATERING GUIDELINE AS FOLLOWS:
 WARM WEATHER- FILL BASIN 2X/ WEEK
 COOL WEATHER- FILL BASIN 1X/ WEEK
 CONTRACTOR SHALL CHECK SOIL MOISTURE AT LEAST WEEKLY WITH MOISTURE PROBE. SAMPLE THE ROOTBALL AND SURROUNDING SOIL. SOIL SHOULD BE MOIST THROUGHOUT THE SOIL PROFILE.
 THE ROOTBALL MUST NOT BE ALLOWED TO DRY OUT OR BE ALLOWED TO SIT IN STANDING WATER. EVER ADJUST WATERING SCHEDULE BASED UPON RESULTS

CONTRACTOR SHALL ADJUST EXISTING IRRIGATION CONTROLLER TO WATER MORE FREQUENTLY DURING PLANT ESTABLISHMENT.



NOTES FOR MODIFYING EXISTING SYSTEMS

- THIS PROJECT IS A MODIFICATION OF AN EXISTING SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE CONDITIONS AND EQUIPMENT RELATED TO THIS SYSTEM. THIS VERIFICATION SHALL INCLUDE, BUT IS NOT LIMITED TO: THE EXISTING PRESSURE AND FLOW AVAILABLE, THE MAINLINE SIZE AND LOCATION, THE EXISTENCE, LOCATION AND FUNCTION OF VALVES, MASTER VALVES, BACKFLOW AND CONTROLLER. CONTRACTOR SHALL NOTIFY THE O.A.R. (OWNER'S AUTHORIZED REPRESENTATIVE) IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THE FIELD VERIFICATION AND THE DRAWINGS.
- WATER MUST BE PROVIDED TO ALL PLANT MATERIAL DURING AND AFTER CONSTRUCTION. THE TIMING AND AMOUNT OF WATER APPLIED SHALL MAINTAIN THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION.
- THE CONTRACTOR SHALL CUT, CAP AND/OR DIVERT IRRIGATION LINES PRIOR TO ANY SITE DEMOLITION OR EXCAVATION IN ORDER TO PRESERVE WATERING TO THE REMAINING SITE AREAS DURING AND AFTER CONSTRUCTION.
- THE CONTRACTOR SHALL ADD NEW HEADS TO MATCH THE EXISTING SYSTEM AND ADJUST/ RELOCATE EXISTING SPRINKLER HEADS TO ACCOMMODATE THE PROPOSED INSTALLATION AND INSURE 100% COVERAGE OF THE EXISTING AND NEW PLANTINGS. NEW HEADS MAY BE ADDED IN ONE OF THE FOLLOWING WAYS:
- (A) CONNECT TO AN EXISTING LATERAL LINE* PROVIDING SIMILAR WATERING REQUIREMENTS AS THE PLANT MATERIAL. PROPOSED AND ADD NEW HEADS TO MATCH THE EXISTING HEADS, OR THE HEADS THAT HAVE BEEN REMOVED.
 - (B) CONNECT TO THE PRESSURE MAINLINE* OF THE EXISTING IRRIGATION SYSTEM AFTER THE EXISTING BACKFLOW DEVICE AND RUN A CONTROL WIRE FROM THE EXISTING CONTROLLER TO THE NEW VALVE(S). ONLY POSSIBLE IF THERE ARE AVAILABLE STATION(S) ON THE EXISTING CONTROLLER OR THE CONTROLLER'S AVAILABLE STATIONS CAN BE INCREASED (UPGRADED).
 - (C) CONNECT TO THE EXISTING IRRIGATION WATER SOURCE* OR MAINLINE* AND PROVIDE A NEW BACKFLOW DEVICE AND AUTOMATIC CONTROLLER TO CONTROL THE VALVES.
- *DO NOT EXCEED THE MAXIMUM GALLONS PER MINUTE AN EXISTING PIPE CAN PROVIDE (FLOW VELOCITY SHALL NOT BE GREATER THAN 5 FEET PER SECOND).
- THE CONTRACTOR SHALL VERIFY IF THE EXISTING SYSTEM USES A MASTER VALVE - ANY NEW VALVES MUST BE CONNECTED BY WIRE TO THE MASTER VALVE AND CONTROLLER.

GENERAL IRRIGATION NOTES

1. ALL CITY AND STATE LAWS, RULES AND REGULATION GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
2. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE MAIN LINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORESEEN BELOW GRADE CONDITIONS. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS UNLESS OTHERWISE DIRECTED BY THE O.A.R. (OWNER'S AUTHORIZED REPRESENTATIVE.)
3. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO EACH CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY.
4. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
5. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE USE OF VARIABLE ARC SPRINKLERS AND PRESSURE COMPENSATING SCREENS, SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH REMOTE CONTROL VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
6. ALL LATERAL LINE PIPING UNDER PAVING WITHOUT A SLEEVE SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
7. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING FOR PIPE.
8. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.

IRRIGATION LEGEND

EQUIPMENT		REMARKS	DETAIL					
SYMBOL	DESCRIPTION							
M	(E) WATER WATER METER AND SERVICE LINE PROVIDED AND INSTALLED BY OTHERS		---					
R	RAINBIRD ESP-4-SMT 4 STATION CONTROLLER IN LOCKING WALL MOUNT BOX. PROVIDE AND INSTALL WEATHER SENSOR PER MANUFACTURER. SENSOR TO HAVE CLEAR VIEW OF SKY		D L-4					
	FEBCO MODEL 710/715 BRASS ATMOSPHERIC BACKFLOW PREVENTER. INSTALL PER CODE ABOVE HIGHEST OUTLET -USE NEW BACKFLOW ONLY IF EXISTING SYSTEM HAS NONE.							
	RAIN BIRD PEB SERIES REMOTE CONTROL VALVE - INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN IN RECTANGULAR VALVE BOX		H L-4					
	NIBCO 1500A BALL VALVE (LINE SIZE)		F L-4					
	WILKENS 1500XL PRESSURE REGULATOR (LINE SIZE). INSTALL ONLY IF EXISTING STATIC PRESSURE IS GREATER THAN 80PSI		E L-4					
	PVC WATER PIPE CL 315 (MAINLINE 2" AND LARGER)		AB L-4					
	PVC WATER PIPE SCH. 40 (MAINLINE 1-1/2" AND SMALLER)		AB L-4					
	PVC WATER PIPE SCH. 40 3/4"- 1/2" (LATERALS)		AB L-4					
	PVC PIPE/SLEEVE SCH. 40 - 2" MIN. OR 2X DIA. OF PIPE OR WIRE BUNDLE, INSTALL WHERE SHOWN AND ALL STREET OR DRIVE CROSSINGS		AB L-4					
	BROOKS 3-HL CONCRETE IRRIGATION BOX WITH CAST IRON LOCKING LID -LABELED PER OWNER'S AUTHORIZED REPRESENTATIVE (OAR)		---					
SPRINKLER HEADS								
SYMBOL	DESCRIPTION	Q	T	DISCHARGE- GPM	PSI	RADIUS	PRECIP	DETAIL
Q	T	H	TT	TG	F			
O	BUBBLERS ON RISER/ POP-UP HUNTER PROS-00 RIGID RISER OR PROS-4-CV WITH PCN-50 BUBBLER				.25	30	---	L-4
	ANTI-DRAIN CHECK VALVES (ADV) SHALL BE INSTALLED AT ANY WATER OUTLET SUFFERING LOW HEAD DRAINAGE - FOR SPRINKLERS USE RAINBIRD SAMS, HUNTER HCV 50M-50F OR VALCON V5000 SERIES.							
	ALL LATERAL LINES SHALL BE 3/4" SIZE SCH40 PVC							



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO T-MOBILE. ANY USE OR DISCLOSURE OTHER THAN AS RELATED TO T-MOBILE IS STRICTLY PROHIBITED.

JS INFRASTRUCTURE PARTNERS
 AZ - CA - CO - ID - NM - NV - TX - UT
 2030 MAIN STREET, SUITE 200
 IRVINE, CA 92614

SITE NUMBER: SD02140A
SITE NAME: ENCANTO STANDPIPE
 6780 AVIATION DRIVE
 SAN DIEGO, CA 92114



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET TITLE
IRRIGATION PLAN

SHEET NUMBER
L-3

MAINTENANCE cont'd

IV. MAXIMUM APPLIED WATER ALLOWANCE (MAMA)
STATE LAW REQUIRES THE LANDSCAPING AND IRRIGATION SYSTEM ON THE PROPERTY TO BE MAINTAINED AND OPERATED CONSISTENT WITH THE MAMA. MAINTAIN THE IRRIGATION SYSTEM TO MEET OR EXCEED AN IRRIGATION EFFICIENCY NECESSARY TO MEET MAMA. REPLACE BROKEN OR MALFUNCTIONING IRRIGATION SYSTEM COMPONENTS WITH COMPONENTS OF THE SAME MATERIALS AND SPECIFICATIONS, THEIR EQUIVALENT OR BETTER. ENSURE THAT WHEN VEGETATION IS REPLACED, REPLACEMENT PLANTINGS ARE REPRESENTATIVE OF THE HYDROZONE IN WHICH THE PLANTS WERE REMOVED AND ARE TYPICAL OF THE WATER USE REQUIREMENTS OF THE PLANTS REMOVED, SO THAT THE REPLACED VEGETATION DOES NOT RESULT IN MIXING HIGH WATER USE PLANTS WITH LOW WATER USE PLANTS IN THE SAME HYDROZONE.

PLANTING SPECS.

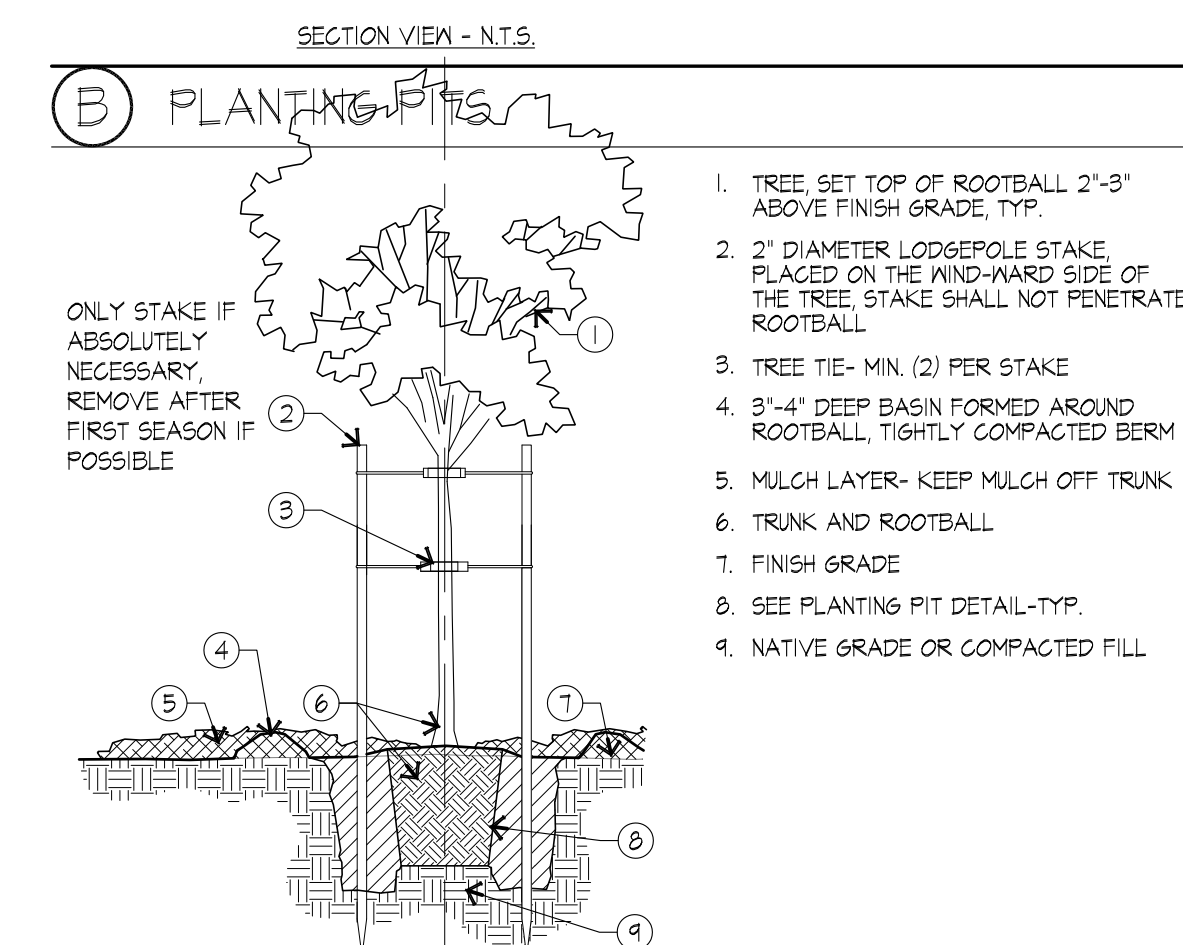
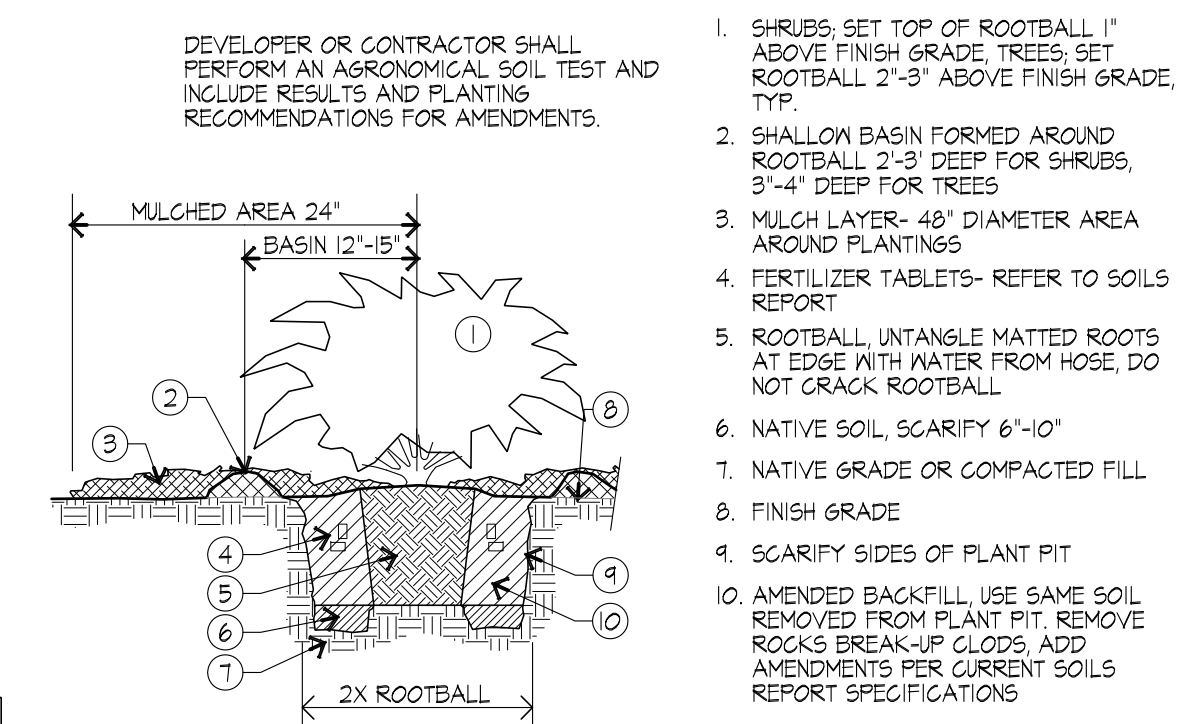
- I. GENERAL**
THESE DRAWINGS ARE DIAGRAMMATIC, SHOWING INTENDED LOCATIONS AND RELATIONSHIPS OF PLANTING ELEMENTS. FINAL SITE CONDITIONS, ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT. THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TESTED AND INSPECTED PRIOR TO PLANTING. ANY SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR O.A.R. PRIOR TO PURCHASE AND INSTALLATION.
- II. PLANT MATERIAL QUALITY ASSURANCE**
THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.). THE CONTRACTOR SHALL SUBMIT A LIST OF AVAILABILITY FOR ALL BOXED TREES THIRTY (30) DAYS BEFORE SCHEDULED PLANTING FOR APPROVAL AT THE NURSERY BY THE O.A.R. CONTRACTOR IS RESPONSIBLE FOR FURNISHING PLANT MATERIAL FREE OF PESTS OR DISEASES AND NORMAL IN FORM FOR THE SPECIES AND DESIGN CALLED FOR IN THE PLANS. ONLY AS MANY PLANTS AS CAN BE PLANTED AND WATERED THAT SAME DAY SHALL BE DISTRIBUTED IN A PLANTING AREA. THE CONTRACTOR SHALL NOT INSTALL PLANT MATERIAL THAT IS WILTED OR HAS A DAMAGED ROOT BALL. CONTRACTOR SHALL NOT INSTALL TREES WITHIN TEN (10) FEET OF ROTORS/ IMPACT HEADS OR WITHIN THREE (3) FEET OF STREAM/ SPRAY HEADS. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM, SIZE AND TEXTURAL DENSITY. SOIL AMENDMENT AND BACKFILL MIX AS DESCRIBED HEREIN ARE FOR BIDDING PURPOSES ONLY. SPECIFIC AMENDMENTS AND FERTILIZER WILL BE SELECTED AND SPECIFIED AFTER ROUGH GRADING IS COMPLETE AND SOILS SAMPLES CAN BE TESTED. AMENDMENT AND FERTILIZER AMOUNT AND TYPE SHALL BE AS RECOMMENDED IN THE AGRONOMIC SOILS REPORT.
- III. WEED ABATEMENT**
WEED ABATEMENT SHALL BEGIN AFTER ROUGH GRADING. CONTRACTOR TO IRRIGATE PLANTING AREA FOR THREE (3) WEEKS OR UNTIL SUFFICIENT WEED SEEDS HAVE GERMINATED. AFTER WHICH A CONTACT HERBICIDE IS SPRAYED BY A LICENSED PEST CONTROL APPLICATOR. IRRIGATION IS STOPPED FOR FORTY-EIGHT (48) HOURS. THE DEAD WEEDS ARE THEN REMOVED AND AFTER SUCH TIME AS NECESSARY FOR THE HERBICIDE TO DISINFESTATE, PLANTING MAY BEGIN.
- IV. SOIL PREPARATION**
NO SOIL PREPARATION SHALL BE DONE UNTIL ROUGH GRADING HAS BEEN APPROVED BY THE O.A.R. SOIL SAMPLES SHALL BE TAKEN FROM ENOUGH LOCATIONS ON THE SITE TO REPRESENT AN ADEQUATE CROSS SECTION OF CONDITIONS. SOIL TEST SHALL BE PERFORMED BY A SOIL TESTING LABORATORY (PRE-APPROVED BY THE CITY). THE TEST SHALL INDICATE BUT NOT BE LIMITED TO THE FOLLOWINGS:
a. ORGANIC MATTER CONTENT
b. NPK
c. pH
d. EC
e. SOIL TEXTURE (SILT, CLAY, SAND)
f. RECOMMENDATIONS FOR AMENDMENTS, LEACHING AND MAINTENANCE FERTILIZATIONS.
THE RESULTS AND RECOMMENDATIONS OF THE TESTING LABORATORY SHALL BE SUBMITTED TO AND APPROVED BY THE CITY. THE APPROVED RECOMMENDATIONS FOR AMENDMENTS AND BACKFILL SHALL BE INCORPORATED INTO THE LANDSCAPE PLANS PRIOR TO THE START OF CONSTRUCTION AND SHALL BECOME PART OF THE APPROVED PLANS. CROSS RIP ALL PLANTING AREAS TO DEPTH OF TWELVE (12) INCHES AND UNIFORMLY INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP SIX (6) INCHES AS PART OF THE FINISH GRADING WORK:
PER THOUSAND (1000) SQUARE FEET:
TWO HUNDRED (200) POUNDS 'GRO-POWER PLUS'
SIX (6) CUBIC YARDS NITROGEN STABILIZED ORGANIC COMPOST
TWO HUNDRED (200) POUNDS AGRICULTURAL GYPSUM
PRIOR TO PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THE REQUIREMENT OF THIS SECTION.
- V. FINISHED GRADING**
AFTER ROUGH GRADING, WEED ABATEMENT AND SOIL PREPARATION ALL PLANTING AREAS SHALL BE SMOOTHLY GRADED. THE GRADE SHALL BE UNIFORM AND SMOOTH WITH NO ABRUPT CHANGE OF SURFACE. GRADING SHALL PROVIDE FOR NATURAL RUNOFF WITHOUT LOW SPOTS. FLOW LINES SHALL BE ACCURATELY SET BY INSTRUMENT AT TWO (2) PERCENT MINIMUM SLOPE. CONTRACTOR SHALL REMOVE FROM PLANTING AREAS ALL DEBRIS, WEEDS AND ROCK LARGER THAN ONE (1) INCH IN DIAMETER FROM THE TOP SIX (6) INCHES OF SOIL AND DISPOSED OF OFF-SITE.
- VI. INSTALLATION**
THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, TREES INSTALLED AND A COVERAGE TEST COMPLETED PRIOR TO ANY CONTAINERS OR GROUND COVER MATERIAL INSTALLATION. EXCAVATION FOR PLANTING SHALL INCLUDE THE STOCKPILING OF TOPSOIL FROM WITHIN AREAS TO BE EXCAVATED FOR TRENCHES TREE HOLES, PLANT PITS AND BEDS. ALL EXCAVATED PLANTING HOLES SHALL HAVE VERTICAL, SCARIFIED SIDES, TWICE (2X) THE SIZE OF THE DIAMETER AND SIX (6) INCHES MINIMUM DEEPER THAN THE ROOTBALL. EXCESS SOIL, GENERATED FROM THE EXCAVATIONS AND NOT USED AS BACKFILL OR IN ESTABLISHING FINAL GRADES SHALL BE REMOVED FROM THE SITE. INSPECT ROOTBALL AND GENTLY LOOSEN OR UNTANGLE MATTED ROOTS, DO NOT CRACK ROOTBALL, REPLACE ANY PLANTS WITH ROOTS GIRDLING THE ROOTBALL. THE CROWN AREA OF TREES AND SHRUBS SHALL BE 2" HIGHER AFTER SETTLING, THAN ADJACENT FINISH GRADE. THE APPROVED BACKFILL FOR PLANT PITS SHALL CONSIST OF THE FOLLOWING MIX: PLANT PITS SHALL BE FILLED TO THE REQUIRED GRADE AND THOROUGHLY SETTLED BY WATER APPLICATION AND TAMPING.
PER CUBIC YARD OF MIX, UNIFORMLY BLENDED:
SIX (6) PARTS BY VOLUME ON-SITE SOIL OR NON SALINE, NON SODIC, LOW BORON CONTENT SANDY TEXTURED TOP SOIL
FOUR (4) PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT
TWENTY (20) POUNDS 'GRO-POWER PLUS'
TWENTY (20) POUNDS AGRICULTURAL GYPSUM
BACKFILL PIT HALFWAY THEN PLACE 'GRO-POWER' SEVEN (7) GRAM OR 'AGRIFORM' TWENTY ONE (21) GRAM SLOW RELEASE PLANTING TABLETS SPREAD EVENLY AROUND ROOTBALL. THE NUMBER OF TABLETS PER PLANT SHALL BE PER THE MANUFACTURER.
PROVIDE A DEPRESSED WATER BASIN AS WIDE AS THE ROOT BALL FOR EACH PLANT. WATER AGAIN THOROUGHLY. UNTIE VINES AND REMOVE ALL STAKES AND TRELLISES THEN SECURELY FASTEN AND TRAIN AGAINST WHATEVER STRUCTURE NEXT TO WHICH THEY ARE PLANTED. TREES MUST BE STAKED AND/OR GUYED AT THE TIME OF PLANTING. LAY SOIL WITHIN TWO (2) DAYS OF DELIVERY AND DO NOT STORE IN HOT SUN. SET IN A STAGGERED PATTERN ON PRE-IRRIGATED MOIST GROUND AND SET FIRMLY AGAINST OTHER SOIL PIECES. WATER THOROUGHLY AFTER PLANTING. UNLESS NOTED OTHERWISE, CONTRACTOR SHALL PLANT GROUND COVERS IN STRAIGHT ROWS, EVENLY SPACED IN A TRIANGULAR PATTERN AT THE INTERVALS LISTED IN THE DRAWINGS.
THE APPLICATION OF ORGANIC MULCH MATERIALS MADE FROM RECYCLED OR POST-CONSUMER MATERIALS SHALL TAKE PRECEDENCE OVER INORGANIC MATERIALS UNLESS RECYCLED OR POST-CONSUMER MATERIALS ARE NOT LOCALLY AVAILABLE.
AFTER ALL PLANTING IS COMPLETED, TOP DRESS ALL NON-TURF LANDSCAPED AREAS WITH SLOPES LESS STEEP THAN 3:1 WITH A 3" LAYER OF SINGLE GRIND SHREPPED DARK MULCH TO COVER THE PLANTING AREA COMPLETELY. THIS LAYER IS IN ADDITION TO SOIL AMENDMENT MATERIALS. UNLESS DIRECTED OTHERWISE BY THE O.A.R., PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES AND SUCKER GROWTH.
- VII. GUARANTEE**
CONTRACTOR SHALL PROVIDE A NINETY (90) DAY GUARANTEE FOR ALL PLANTS EXCLUDING TREES WHICH SHALL BE GUARANTEED FOR ONE (1) FULL YEAR, DURING THE GUARANTEE PERIOD THE CONTRACTOR SHALL REPLACE, IN A TIMELY MANNER, ANY PLANTS THAT ARE UNHEALTHY, MISSING OR DEAD. THIS GUARANTEE SHALL NOT INCLUDE DAMAGE TO GROUND COVER FROM EXCESSIVE RAIN RUN-OFF AND EXTREME WINDS, SUCH AS NATURAL. DAMAGE SHALL BE REPAIRED FOR TIME AND MATERIALS.
- VIII. MAINTENANCE**
CONTRACTOR SHALL INCLUDE IN THEIR BID FOR A 90 DAY MAINTENANCE PERIOD AFTER FINAL LANDSCAPE ACCEPTANCE BY THE OWNER. THIS MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, KEEPING ALL AREAS WEED FREE, WATERED, PEST AND DISEASE FREE AND ANY OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS PLANT GROWTH AND APPEARANCE.

GENERAL NOTES

- A. THE LANDSCAPE ARCHITECT WILL INTERPRET THE MEANING OF ANY PART OF THE PLANS AND SPECIFICATIONS ABOUT WHICH ANY MISUNDERSTANDING MAY ARISE, AND HIS DECISION WILL BE FINAL.
- B. THE CONTRACTOR SHALL OBTAIN CLARIFICATION TO QUESTIONS RELATIVE TO THE DRAWING BEFORE SUBMITTING A BID.
- C. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.
- D. THE CONTRACTOR SHALL CARRY NECESSARY CALIFORNIA STATE CONTRACTORS LICENSE OR CERTIFICATE FOR TYPE OF WORK LISTED, SUCH AS C-21.
- E. THE CONTRACTOR SHALL CARRY ALL NECESSARY COMPENSATION AND LIABILITY INSURANCE TO COVER HIS WORKMEN AND WORK TO FULLY PROTECT THE OWNER FROM ANY POSSIBLE SUIT OR LIEN.
- F. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.
- G. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND LICENSES AND ASSURE THAT ALL WORK TO BE PERFORMED MEETS OR EXCEEDS ALL APPLICABLE CODES AND ORDINANCES OF PRIVATE OR GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- H. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK AT NO EXPENSE TO THE OWNER. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS UNDER ROADWAYS, DRIVES AND PAVING, ETC.
- I. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, OF BRANDS AND TYPES SHOWN AND DESCRIBED IN THESE DRAWINGS.
- J. THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING ALL EQUIPMENT AND MATERIALS. ALL MATERIALS AND EQUIPMENT THAT IS DAMAGED WILL BE DISCARDED, EVEN IF INSTALLED, AND SHALL BE REPAIRED OR REPLACED AT THE DISCRETION OF THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) AT NO EXPENSE TO THE OWNER.
- K. THE CONTRACTOR SHALL PROTECT ALL PLANTING AREAS FROM EXCESSIVE COMPACTION WHEN TRUCKING MATERIALS AND EQUIPMENT TO AND WITHIN THE SITE.
- L. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO MATERIALS ONCE DELIVERED TO JOB SITE.
- M. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
- N. ALL PROGRESS INSPECTIONS SHALL BE COMPLETED BEFORE SUCCEEDING WORK IS STARTED. ANY WORK COVERED UP BEFORE REQUIRED INSPECTIONS ARE COMPLETED WILL BE EXPOSED FOR REVIEW AT THE CONTRACTOR'S EXPENSE.
- O. CLEAN-UP SHALL BE DONE AS EACH PORTION OF THE WORK PROGRESSES. REFUSE AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE. ALL WALKS AND PAVING SHALL BE BROOKED AND ANY DAMAGE OCCURRING TO THE WORK OF OTHERS SHALL BE REPAIRED TO ORIGINAL CONDITION.
- P. REFER TO THE SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.
- Q. THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.
- R. UNLESS NOTED OTHERWISE ALL STRUCTURAL IMPROVEMENTS SHALL BE INSTALLED PRIOR TO IRRIGATION AND PLANTING OPERATIONS.
- S. IN THE CASE WHERE EXTRA WORK OR CHANGES WILL RESULT IN AN INCREASED COSTS OVER THE CONTRACT FEE, THE CONTRACTOR SHALL FIRST RECEIVE THE OWNER'S EXPRESSED WRITTEN APPROVAL FOR SUCH ADDITIONAL FUNDS PRIOR TO PURCHASING MATERIALS OR DOING THE WORK/CHANGES.

MAINTENANCE

- I. GENERAL**
THE OWNER OR LESSEE WILL ENGAGE A MAINTENANCE CONTRACTOR FOR THE MAINTENANCE OF THE SITE LANDSCAPE FOR THE LIFE OF THE LEASE. MAINTENANCE CONTRACTOR SHALL FURNISH ALL SUPERVISION, LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETE MAINTENANCE OF ALL LANDSCAPE AREAS. ALL LANDSCAPE AREAS SHALL BE WATERED AS NECESSARY FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION TO ORIGINAL CONDITION. PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS CONDITION. IRRIGATION AND DRAINAGE SYSTEMS KEPT IN GOOD WORKING ORDER, AND THE GENERAL SITE KEPT CLEAN AND WEED FREE. MAINTENANCE CONTRACTOR SHALL ROUTINELY CHECK FOR BLOCKED DRAIN INLETS, AND KEEP SWALES FREE OF LEAVES AND OTHER DEBRIS. ALWAYS CHECK AND CLEAN BETWEEN STORMS. ALL LITTER AND TRASH INCLUDING WEEDS, LEAVES, BOTTLES AND OTHER DEBRIS SHALL BE REMOVED FROM ALL AREAS OF THE SITE AND DISPOSED OF OFF-SITE. MAINTENANCE CONTRACTOR SHALL REPAIR OR REPLACE ALL DEAD, DAMAGED OR DISEASED PLANT MATERIAL.
- II. IRRIGATION**
A QUALIFIED PERSON SHALL BE COMPLETELY RESPONSIBLE FOR OPERATING THE IRRIGATION SYSTEMS, WITH THE DUTIES OF ADJUSTING CONTROLLERS, OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM, AND MAKING MINOR ADJUSTMENTS TO THE SYSTEM. THE IRRIGATION SYSTEM SHALL BE MAINTAINED FOR OPTIMUM PERFORMANCE. THIS INCLUDES CLEANING AND ADJUSTING ALL SPRINKLER HEADS AND VALVES FOR PROPER COVERAGE. A CHART SHALL BE MAINTAINED TO RECORD CURRENT IRRIGATION PROGRAMS, INCLUDING DAY, TIME, AND LENGTH OF WATERING FOR EACH STATION AND PROGRAM FOR EACH CONTROLLER. INSPECTIONS OF THE IRRIGATION SYSTEM IN OPERATION, SHALL BE MADE WEEKLY DURING SUMMER MONTHS, APRIL THROUGH OCTOBER, AND BI-WEEKLY NOVEMBER THROUGH MARCH, TO DETECT ANY MALFUNCTIONING OF THE SYSTEM. CHECK FOR LEAKS OR NET SPOTS. TURN ON EACH SYSTEM WITH THE CONTROLLER AND CHECK IT TO ENSURE THAT IT OPERATES CORRECTLY - OPENING AND CLOSING. VISUALLY OBSERVE EACH SPRINKLER HEAD | NOZZLE FOR PROPER OPERATION. SPRAY PATTERN, PRESSURE AND WATER DISTRIBUTION. A SOIL SAMPLING PROBE AND/OR A TENSIO-METER SHALL BE USED REGULARLY TO EVALUATE ACTUAL SOIL MOISTURE LEVELS AND IRRIGATION SCHEDULE. CHECK AT LEAST WEEKLY TO MAKE SURE AREAS ARE NOT BEING OVER OR UNDER WATERED. ADJUST THE SCHEDULE AS NEEDED TO CORRECT FOR EITHER OF THESE SITUATIONS. RESET THE SCHEDULE ON OUR CONTROLLER AT LEAST MONTHLY, AT THIS TIME, CHECK THE TIME ON THE CONTROLLER TO MAKE SURE THAT IT IS CORRECT. CHECK THE WATER BILL FOR EXCESSIVE CONSUMPTION. COMPARE MONTH TO MONTH AND YEAR TO YEAR. PAY SPECIAL ATTENTION TO LARGE FEE SPRINGS. LOOK AT THE GENERAL HEALTH AND "LOOK" OF THE PLANT MATERIAL. MAKE DESIGN ADJUSTMENTS (ADDING/ DELETING OR MOVING OF HEADS, CHANGING NOZZLE TYPES, TRIMMING OR MOVING OF PLANT MATERIAL) SO THAT PROBLEMS CAN BE ELIMINATED INSTEAD OF TEMPORARILY FIXED. (SEE NOTES IV FOR MAMA CONSIDERATIONS) ALL MALFUNCTIONING EQUIPMENT MUST BE REPAIRED PRIOR TO THE NEXT SCHEDULED IRRIGATION. ALL REPLACEMENT HEADS SHALL BE OF THE SAME MANUFACTURER, TYPE, AND APPLICATION RATES.
- III. PLANTINGS**
INSPECTIONS OF THE LANDSCAPE PLANTINGS SHALL BE MADE WEEKLY DURING SUMMER MONTHS, APRIL THROUGH OCTOBER, AND BI-WEEKLY NOVEMBER THROUGH MARCH. COORDINATE WITH THE IRRIGATION INSPECTION. ALL AREAS MUST BE KEPT WEED FREE, BY THE USE OF ORGANIC MULCHES, HAND REMOVAL CHEMICAL CONTROLS- IN THAT ORDER. MULCHED AREAS MUST BE REPLENISHED AS MULCH DECOMPOSES- CHECK APRIL AND OCTOBER, REPLENISH AS NECESSARY. FERTILIZER SHALL BE APPLIED AS NEEDED USING SLOW RELEASE, ORGANIC BASED MATERIALS IN APRIL AND OCTOBER. USE AS INDICATED BY SOILS TEST ANALYSIS. GROUND COVERS BORDERING WALKS AND CURBS SHALL BE EDGED AS NECESSARY TO PROVIDE A CLEAN CRISP LINE. VINES SHALL BE KEPT "PRUNED" TO ADJACENT WALLS AS NECESSARY AND TRIMMED TO CONTROL EXCESSIVE GROWTH. NOT ALLOWING VINE TO GROW OVER WINDOWS, DOORS, GATES OR OTHER ARCHITECTURAL ELEMENTS AND EQUIPMENT. TREE PRUNING SHALL BE PERFORMED AS NEEDED TO ELIMINATE HAZARDS, MAINTAIN A NATURAL APPEARANCE. SHRUB PRUNING SHALL BE PERFORMED AS NEEDED TO MAINTAIN A NATURAL APPEARANCE. SHRUBS ARE INTENDED TO FILL THE PLANTING SPACE AS MUCH AS POSSIBLE. DO NOT POWER PRUNE SHRUBS INTO ODD TOPIARY SHAPES. TREES AND SHRUBS SHALL BE PRUNED TO CORRECT HAZARDS AND ANY STRUCTURAL DEFECTS. REMOVE SUCKERS, CRISS-CROSSING BRANCHES, DEAD AND DISEASED LIMBS AND FOLIAGE AND THINNING OF THE CROWN TO REDUCE WIND DAMAGE. ALWAYS CHECK/PRUNE IMMEDIATELY AFTER BIG WINDS-STORMS. SPARSE GROUND COVER AREAS SHALL BE CHECKED FOR AS THEY MAY INDICATE A FAILURE OF IRRIGATION SYSTEM OR THE NEED FOR FERTILIZER AND SOIL AMENDMENT. BARE AREAS SHALL BE RE-PLANTED TO MATCH ORIGINAL DESIGN. AS PLANTS GROW, LOOK OUT FOR DESIGN ADJUSTMENTS THAT CAN BE MADE (ADDING/ REMOVING, TRIMMING OR MOVING OF PLANT MATERIAL) SO THAT PROBLEMS CAN BE ELIMINATED INSTEAD OF TEMPORARILY FIXED. (SEE NOTES IV FOR MAMA CONSIDERATIONS)



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO T-MOBILE. ANY USE OR DISCLOSURE OTHER THAN AS RELATED TO T-MOBILE IS STRICTLY PROHIBITED.



2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE
SAN DIEGO, CA 92114



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Landscape Architecture
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IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET TITLE
PLANTING NOTES AND DETAILS

SHEET NUMBER
L-4

IRRIGATION SPECS.

I. GENERAL CONDITIONS

THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING WATER PRESSURE (P.S.I.) AND AVAILABLE FLOW (G.P.M.) PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL PRESSURE AND FLOW AVAILABLE WITH THOSE SHOWN IN THESE DRAWINGS. THIS DESIGN IS DIAGNOSTIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. DO NOT FULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREAS SIZE AND LAYOUT THAT WERE NOT CONSIDERED IN THE ORIGINAL DESIGN. NOTIFY THE O.A.R. OF SUCH OBSTRUCTIONS AND DIFFERENCES IMMEDIATELY. IN THE EVENT THAT THE NOTIFICATIONS REQUIRED BY THESE NOTES ARE NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REVISION NECESSARY.

II. QUALITY ASSURANCE AND REQUIREMENTS

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE. THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

III. MATERIALS/ INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORSEEN OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING. THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FINAL LOCATION OF THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE APPROVED BY THE O.A.R. PRIOR TO INSTALLATION.

THE 120 VOLT ELECTRICAL CONNECTION FOR THE CONTROLLER SHALL BE FURNISHED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE ROUTE OF THE ELECTRICAL SERVICE TO THE APPROVED CONTROLLER LOCATION WITH THE GENERAL CONTRACTOR. THE SERVICE TO THE CONTROLLER JUNCTION BOX SHALL BE INSTALLED BY A LICENSED ELECTRICIAN. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS TO THE AUTOMATIC CONTROLLERS FROM THE PROVIDED JUNCTION BOX.

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ALL WIRES FROM THE CONTROLLER TO THE AUTOMATIC VALVES SHALL BE COPPER, DIRECT BURIAL, MINIMUM #14 GAUGE. INSTALL IN THE SAME TRENCH AS THE MAINLINE WHERE POSSIBLE. COMMON WIRE TO BE WHITE IN COLOR. CONTROL WIRES TO BE A DIFFERENT COLOR FOR EACH CONTROLLER USED. BUNDLE AND TAPE WIRES A MINIMUM OF TEN (10) FEET ON CENTER.

THE CONTRACTOR SHALL RUN THREE (3) SPARE WIRES AND ONE (1) COMMON WIRE FROM THE CONTROLLER TO EACH END OF THE MAIN LINE FOR FUTURE USE. EXTEND THE WIRES AN EXTRA TEN (10) FEET, MAKE A COIL AND PLACE IN A RECTANGULAR FULL BOX LABEL THE LID "SI".

ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. SIZE WIRE SLEEVES SO THAT WIRES ARE NOT BOUND IN PIPE. MINIMUM COVERAGE FOR SLEEVES SHALL BE TWENTY FOUR (24) INCHES FOR SLEEVED LATERAL LINES, THIRTY (30) INCHES FOR 120 VOLT WIRING IN CONDUIT AND THIRTY SIX (36) INCHES FOR SLEEVED MAINLINE AND/OR CONTROL WIRING.

ALL LATERAL LINE PIPING UNDER PAVEMENT NOT SLEEVED, SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO PAVING.

D/S TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM. TRENCH MUST BE FREE OF ROCKS, DEBRIS OR ANY SHARP OBJECTS. SNAKE PLASTIC PIPE IN TRENCH. MINIMUM COVERAGE FOR MAINLINE SIZES 1/2" AND SMALLER IS EIGHTEEN (18) INCHES. FOR SIZES 3/4" AND LARGER COVERAGE IS TWENTY FOUR (24) INCHES. FOR LATERAL LINES TWELVE (12) INCHES. 120 VOLT WIRING IN CONDUIT THIRTY (30) INCHES AND LOW VOLTAGE CONTROL WIRE TWELVE (12) INCHES MINIMUM OR THE SAME DEPTH AS THE MAINLINE. DO NOT INSTALL ANY PIPE OR WIRING DIRECTLY OVER ANOTHER.

BALL VALVES, GATE VALVES, REMOTE CONTROL VALVES (EXCEPT FOR ANTI-SIPHON TYPE) AND QUICK COUPLERS SHALL BE INSTALLED IN BELOW GRADE LOCKABLE "BOXES" MANUFACTURED BY AMETEK OR CARSON. USE ROUND BOXES FOR GATE VALVE, BALL VALVES AND QUICK COUPLERS AND RECTANGULAR BOXES FOR REMOTE CONTROL VALVES. VALVE BOX LIDS SHALL BE GREEN COLOR, LABELED "B", "S", "G" OR "R" WITH CONTROLLER STATION NUMBER. SET VALVE BOXES ONE (1) INCH ABOVE FINISH GRADE. SET VALVES AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND THE VALVE. INSTALL IRRIGATION EQUIPMENT SO THE VALVE BOXES FIT WITHOUT CUTTING THE WALLS OF THE VALVE BOXES. CUT VALVE BOXES SHALL BE REPLACED AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS, UNLESS DIRECTED OTHERWISE BY THE O.A.R.

ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE.

INSTALL ALL SPRINKLERS ON RISERS TWELVE (12) INCHES AWAY FROM WALLS AND STRUCTURES.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUNDCOVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE (1) INCH ABOVE FINISH GRADE.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH ADJACENT PAVING.

AFTER RECEIVING NOTIFICATION BY THE O.A.R., THE CONTRACTOR WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE QUARTER (1/4) INCH ABOVE FINISH GRADE.

INSTALL ANTI DRAIN VALVES TO ELIMINATE LOW HEAD DRAINAGE. ANTI DRAIN VALVE (ADV) UNITS MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION, CONTRACTOR SHALL VERIFY WITH ON SITE GRADES IF THERE IS AN ELEVATION DIFFERENCE OF TWO (2) FEET OR MORE BETWEEN THE HIGHEST AND LOWEST SPRINKLER HEAD ON A SYSTEM. INSTALL THE ADV WHER NECESSARY.

ALL SOLVENT WELD PVC PRESSURE LINES AND FITTINGS MUST RECEIVE PRIMER BEFORE SOLVENT WELDING.

IV. ADJUSTING AND TESTING THE SYSTEM

AFTER PIPELINE ASSEMBLY THE CONTRACTOR SHALL THOROUGHLY FLUSH THE SYSTEM, WITH OPEN ENDS ALL GAPPED PRESSURE TEST FOR FOUR (4) HOURS AT 150 P.S.I.

AFTER COVERAGE AND PRESSURE TESTING THE CONTRACTOR SHALL INSTALL ALL TERMINAL FIXTURES AND PERFORM A COVERAGE TEST.

THE CONTRACTOR SHALL ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVERSPRAY. THIS SHALL INCLUDE THE USE OF VARIABLE ARC NOZZLES (VAN) AND PRESSURE COMPENSATING SCREENS (PCS). THE SELECTION OF THE BEST DEGREE OF ARC TO FIT THE SITE AND THROTTLING OF THE FLOW CONTROL AT EACH VALVE TO FIND THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

THE ENTIRE SYSTEM SHALL BE IN FULL AUTOMATIC OPERATION FOR ONE SEVEN (7) DAYS PRIOR TO ANY PLANTING.

V. SUBMITTALS

UPON COMPLETION THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. THESE AS-BUILTS SHALL SHOW THE LOCATIONS OF ALL POINTS OF CONNECTION, VALVES, CROSSINGS, QUICK COUPLERS AND OTHER MAINLINE COMPONENTS DIMENSIONED ACCURATELY FROM TWO (2) PERMANENT SITE OBJECTS. IN ADDITION THE CONTRACTOR SHALL SUPPLY TWO (2) CONTROLLER CHARTS SHOWING EACH VALVE'S COVERAGE AREA COLOR CODED TO THE CORRESPONDING CONTROLLER STATION.

THE CONTRACTOR MUST ALSO FURNISH TWO (2) SETS EACH OF THE FOLLOWING: ANY SPECIAL VALVE OR SPRINKLER ADJUSTMENT TOOLS, KEYS FOR THE CONTROLLER ENCLOSURES, QUICK COUPLER KEYS AND ANY OPERATION MANUALS FOR THE EQUIPMENT INSTALLED.

VI. GUARANTEE

THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.

VII. MAINTENANCE

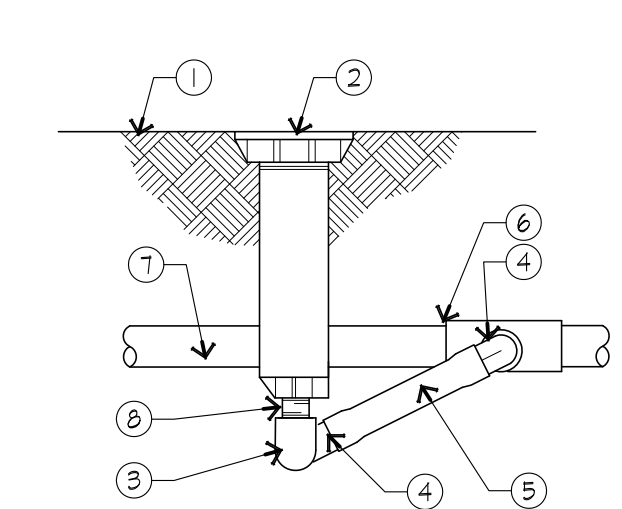
A QUALIFIED SUPERVISOR SHALL BE RESPONSIBLE FOR OPERATING THE IRRIGATION SYSTEMS, ADJUSTING THE CONTROLLERS AND OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM. CHART ALL CONTROLLER PROGRAMS, RECORDING DATE, TIME, LENGTH OF WATERING FOR EACH STATION. RESET CONTROLLER AT LEAST MONTHLY TO ACCOMMODATE VARIATIONS.

INSPECT AND ADJUST THE ENTIRE IRRIGATION SYSTEM WEEKLY DURING APRIL THRU OCTOBER AND BI-WEEKLY FOR THE REST OF THE YEAR. CHECK FOR LEAKS, WET AND DRY SPOTS, USE A MOISTURE SENSING DEVICE TO EVALUATE ACTUAL SOIL MOISTURE. OBSERVE NOZZLES FOR PROPER PATTERN AND PRESSURE.

VIII. CITY REQUIRED AS-BUILT PLANS

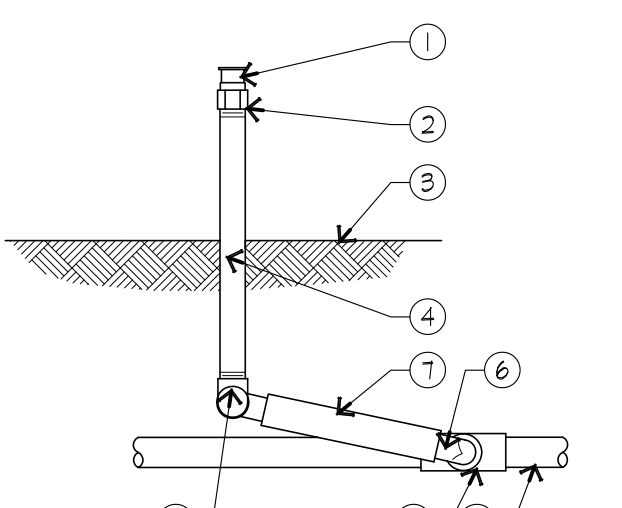
IRRIGATION AS-BUILT PLANS ARE REQUIRED TO BE SUBMITTED FOR THE H.O.A. COMMON LANDSCAPE AREAS. SUBMITTAL OF AS-BUILT PLANS SHALL BE AS REQUIRED BY THE ENGINEERING AND PLANNING DIVISIONS. THE FINAL PLANS SHOULD BE PREPARED BY THE LANDSCAPE ARCHITECT FROM DIMENSIONS PROVIDED BY THE CONTRACTOR. FINAL AS-BUILT PLANS SHALL BE DRAFTED CLEARLY TO THE SATISFACTION OF THE CITY, AND THE FINAL PLANS SHALL BE SUBMITTED TO THE CITY FOR THEIR KEEPING.

THE FINAL AS-BUILT PLANS WILL BE REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY AND FINAL PLANS WILL BE REQUIRED TO BE APPROVED AND SIGNED BY THE CITY PRIOR TO RELEASE OF SECURITIES.



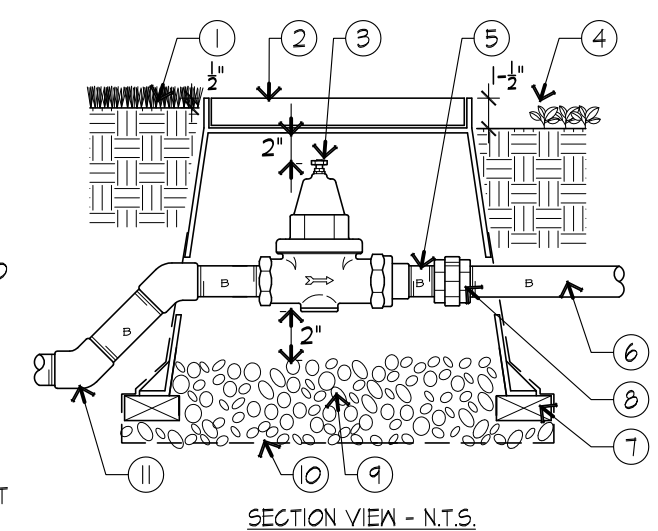
1. FINISH GRADE/TOP OF MULCH
2. POP-UP NOZZLE: SPRAY OR BUBBLER
3. PVC SCH 40 ELL
4. MARLEX STREET ELL
5. PRE-ASSEMBLED SWING JOINT WITH TWO POLY ELLS (THREAD X INSERT) AND 6" MIN OF POLY TUBING. SIZE PER SPRINKLER INLET
6. PVC SCH 40 TEE OR ELL
7. PVC LATERAL PIPE
8. SCH 80 RISER LENGTH AS REQ. FOR SWING ASSEMBLY TO REMAIN NEAR HORIZONTAL. SIZE PER SPRINKLER INLET

1 POP-UP W/ SPRAY OR BUBBLER



1. NOZZLE: LOW FLOW BUBBLER
2. PLASTIC SHRUB ADAPTER
3. FINISH GRADE/TOP OF MULCH
4. UV RADIATION RESISTANT PVC SCH 80 NIPPLE (LENGTH AS REQ'ED)
5. PVC SCH 40 ELL
6. 1/2-INCH MALE NPT INLET
7. PRE-ASSEMBLED SWING JOINT WITH TWO POLY ELLS (THREAD X INSERT) AND 6" MIN OF POLY TUBING. SIZE PER SPRINKLER INLET
8. PVC SCH 40 TEE OR ELL
9. PVC LATERAL PIPE

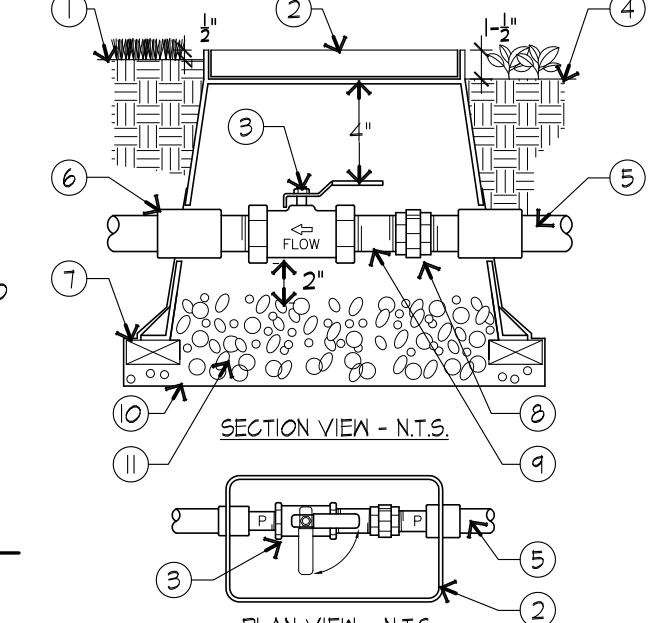
J RISER W/ SPRAY OR BUBBLER



1. FINISH GRADE IN TURF AREAS
2. BOX TO BE PLACED AT RIGHT ANGLE PLASTIC RECTANGULAR VALVE BOX WITH BOLT DOWN COVER. USE STAINLESS BOLT, NUT AND WASHER. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE. HEAT BRAND "BV" ONTO LID.
3. PRESSURE REGULATOR. SEE LEGEND FOR SPECIFICATION.
4. FINISHED GRADE IN SHRUB AREAS
5. BRASS NIPPLE TYP.
6. BRASS PIPING TO MASTER VALVE
7. BRICK SUPPORTS 4 REG. PER BOX
8. BRASS UNION
9. 3/4" ROCK, 3 CUBIC FT.
10. LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES
11. BRASS PIPING AND FITTING FROM BACK FLOW PREVENTER OR BASKET STRAINER

NOTE: INSTALL CONTROL VALVES A MINIMUM OF 18" APART IN SHRUB AREAS UNLESS OTHERWISE NOTED. USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH FROM UP-STREAM SIDE OF THE PRESSURE REGULATOR ASSEMBLY.

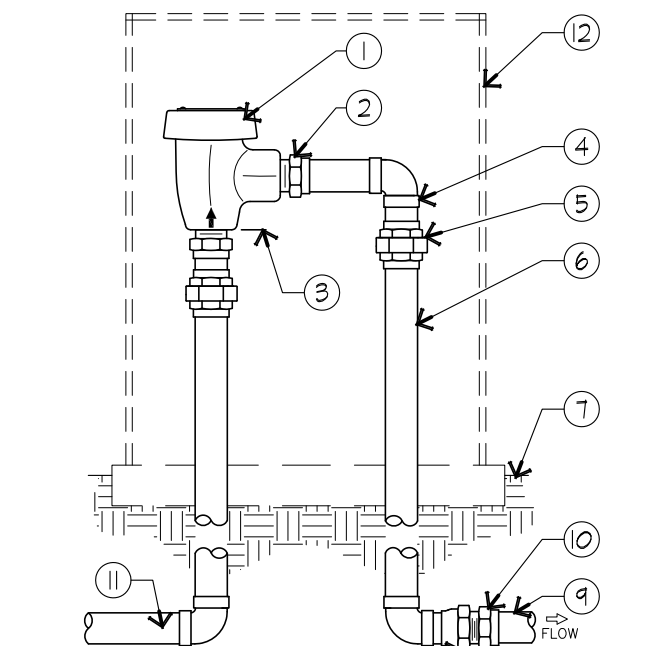
E PRESSURE REGULATOR



1. FINISH GRADE IN TURF AREAS
2. PLASTIC RECTANGULAR VALVE BOX WITH BOLT DOWN COVER. USE STAINLESS BOLT, NUT AND WASHER. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE. HEAT BRAND "BV" ONTO LID.
3. BALL VALVE. SEE LEGEND
4. FINISHED GRADE IN SHRUB AREAS
5. PRESSURE SUPPLY LINE DEPTH PER SPECS.
6. SCH 80 PVC COUPLING AND T.O.E. NIPPLES
7. BRICK SUPPORTS 4 REG. PER BOX
8. SCH 80 PVC UNION
9. SCH 80 PVC NIPPLES
10. LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES
11. SCH 80 PVC NIPPLES 3/4" ROCK, 3 CUBIC FT.

NOTE: BOX TO BE INSTALLED AS TO ALLOW FOR PROPER OPERATION OF BALL VALVE. INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE. INSTALL VALVE OFF-CENTER IN BOX. INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAIN LINE DEPTH.

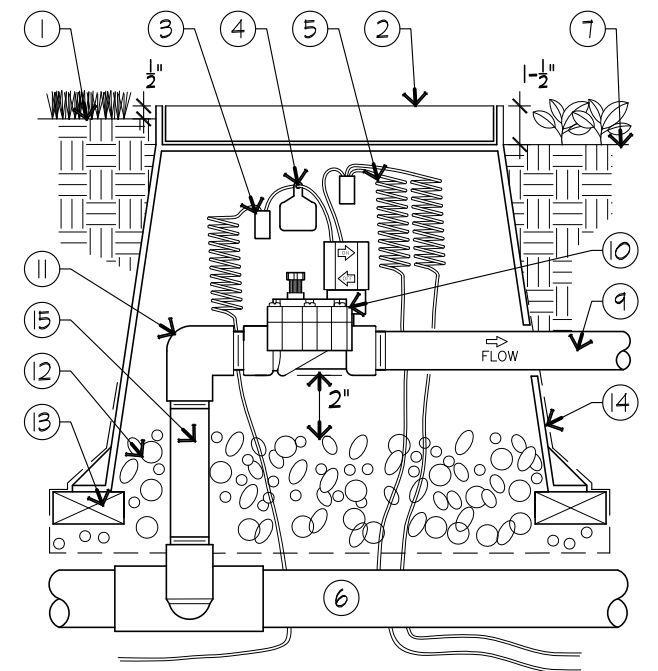
F BALL VALVE



1. ATMOSPHERIC VACUUM BREAKER
2. COPPER MALE ADAPTER (1 OF 2)
3. MIN. OF 12-INCHES ABOVE HIGHEST POINT
4. COPPER 90° ELL (1 OF 3)
5. COPPER UNION (1 OF 2)
6. COPPER PIPE (TYPICAL)
7. FINISH GRADE
8. COPPER FEMALE ADAPTER
9. IRRIGATION MAINLINE PIPE
10. PVC MALE ADAPTER
11. PIPE FROM REMOTE CONTROL VALVE
12. BACKFLOW DEVICE ENCLOSURE PER CITY/COUNTY STANDARDS V.I.T. "STROMBERG" 5856-30-0 OR POWDER COATED STEEL, GREEN EXACT MODEL PER BACKFLOW

1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

G ATMOSPHERIC VACUUM BREAKER



1. FINISH GRADE
2. STANDARD VALVE BOX W/ COVER
3. WATERPROOF CONNECTION
4. VALVE ID TAG
5. 30-INCH LINEAR LENGTH OF WIRE, COILED
6. PVC MAINLINE PIPING
7. FINISHED GRADE IN SHRUB AREAS
8. PVC SCH 40 ADAPTORS TEES AND ELLS
9. LATERAL PIPE
10. REMOTE CONTROL VALVE
11. PVC SCH 40 TEE OR ELL TO MANIFOLD/ MAIN
12. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
13. BRICK SUPPORTS 4 REG. PER BOX
14. LANDSCAPE FABRIC, WRAP UP AND OVER BOX HOLES
15. PVC SCH 80 NIPPLE LENGTH AS REQ'D.

H REMOTE CONTROL VALVE

ALL SLEEVES SHALL BE NO SMALLER THAN 2" DIA. EXCEPT AS NOTED BELOW

IRRIGATION PIPING

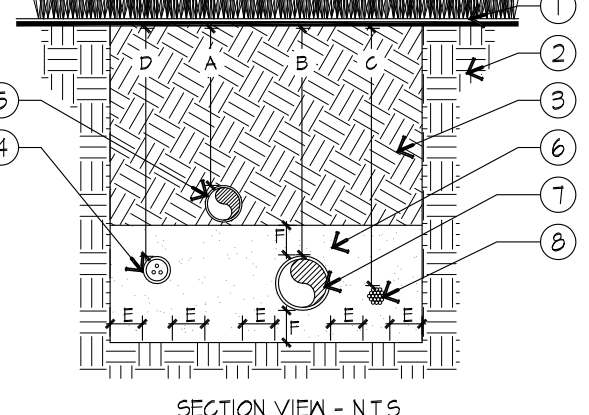
- ALL LATERAL LINE PIPE SHALL BE INSTALLED INSIDE A PVC SCH 40 SLEEVE
- FOR 1" THROUGH 2 1/2" PRESSURE SUPPLY LINE PIPE, INSTALL IN A MINIMUM 4" DIA. PVC SCH 40 SLEEVE
- FOR 3" AND LARGER DIA. PRESSURE SUPPLY LINE PIPE, INSTALL IN A MINIMUM 6" DIA. PVC CLASS 160 SLEEVE

WIRING CONDUIT

- FOR UP TO 20 #14 LOW VOLTAGE WIRES, INSTALL ONE 2" DIA PVC SCH 40 CONDUIT
- FOR 21 AND UP TO 40 #14 LOW VOLTAGE WIRES, INSTALL ONE 4" DIA PVC SCH 40 CONDUIT
- INSTALL ONE 3/4" PVC SCH 40 CONDUIT FOR FLOW SENSING CABLE.
- INSTALL ONE 3/4" PVC SCH 40 CONDUIT FOR MASTER VALVE WIRE

NOTE: FLOW SENSING CABLE AND MASTER VALVE WIRES SHALL BE INSTALLED IN THEIR OWN CONDUIT SEPARATE AND APART FROM ALL OTHER WIRES.

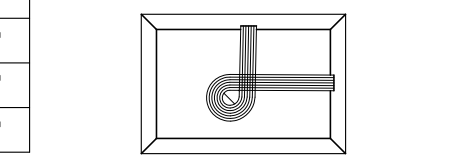
A SLEEVE AND CONDUIT



1. FINISH GRADE
2. UNDISTURBED SOIL
3. CLEAN COMPACTED BACKFILL
4. 120 VOLT ELECTRICAL IN SCH. 40 CONDUIT
5. LATERAL LINES, SEE SPECS.
6. CLEAN SAND BACKFILL
7. PRESSURE MAINLINE, SEE SPECS.
8. CONTROL WIRES, SEE SPECS. INSTALL AT MAINLINE DEPTH

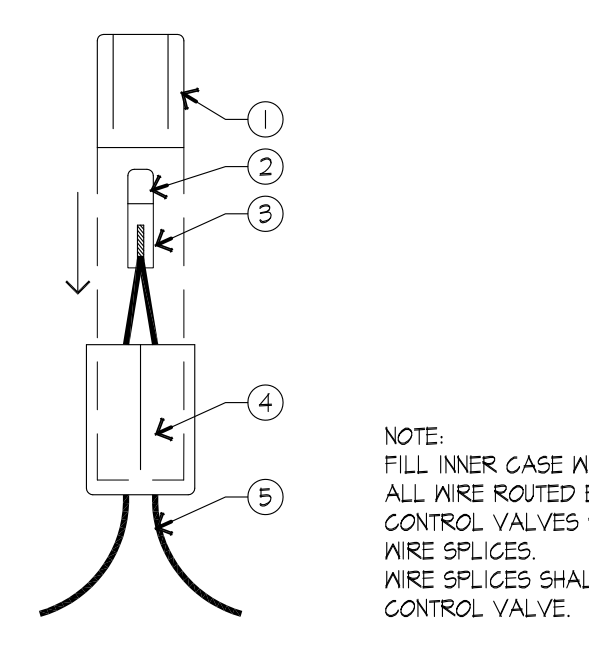
DIMENSION	A	B	C	D	E	F
1/2" TO 1 1/2" IN SIZE	12"	18"	18"	30"	4"	6"
2" TO 2 1/2" IN SIZE	12"	24"	24"	30"	4"	6"
3" AND LARGER	18"	24"	24"	30"	6"	6"

WIRE W/ CONDUIT PLAN VIEW - N.T.S.



NOTE: TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OF 90° OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.

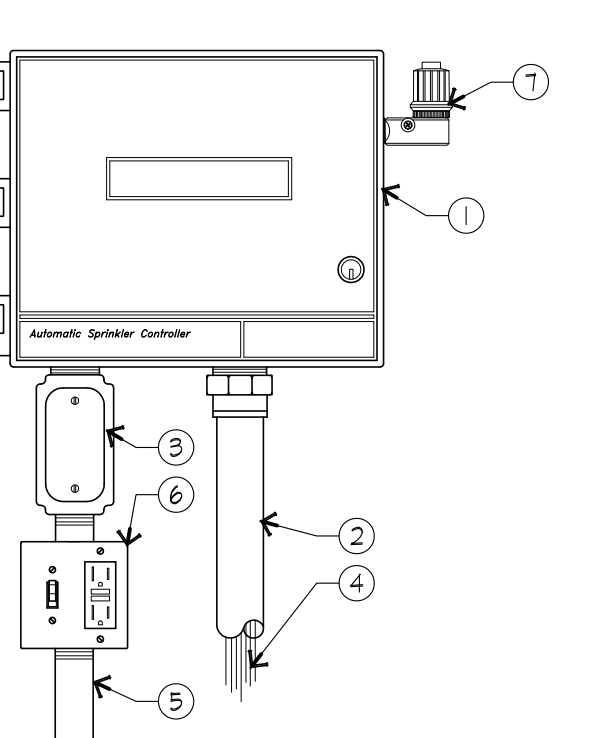
B PIPE AND WIRE TRENCHING



1. INNER CASE OF CONNECTOR
2. COPPER SLEEVE GRIMP INSTALLED WITH RECOMMENDED TOOL
3. STRIP AND TWIST WIRES FOR PROPER CONNECTION
4. OUTER CASE OF CONNECTOR
5. LOW VOLTAGE WIRES, 3 MAXIMUM

NOTE: FILL INNER CASE WITH SEALER PRIOR TO FINAL ASSEMBLY. ALL WIRE ROUTED BETWEEN CONTROLLER AND REMOTE CONTROL VALVES SHALL BE A CONTINUOUS RUN WITH NO WIRE SPLICES. WIRE SPLICES SHALL ONLY OCCUR AT THE REMOTE CONTROL VALVE.

C WATERPROOF WIRE SPLICE



1. INDOOR/OUTDOOR IRRIGATION CONTROLLER WALL MOUNTED IN LOCKING WEATHERPROOF CABINET
2. 1/2" PVC SCH 40 CONDUIT AND FITTINGS
3. JUNCTION BOX
4. WIRES TO CONTROL VALVES
5. 1" PVC SCH 40 CONDUIT TO POWER SUPPLY.
6. POWER SUPPLY AND RECEPTACLE
7. RAIN SENSOR/WEATHER STATION MAY BE MOUNTED TO CABINET, OR REMOVED TO LEAVES FENCE OR OTHER SUITABLE POLC. REFER TO MFG. SPECIFICATIONS

W WALL MOUNT CONTROLLER



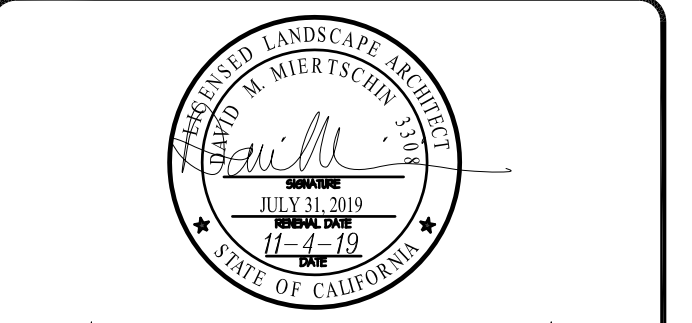
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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE
SAN DIEGO, CA 92114



DMLA
Landscape Architecture
34032 Alcazar Dr., Dana Point, Ca 92629
david@dmlaonline.com
pf(949)388-3369

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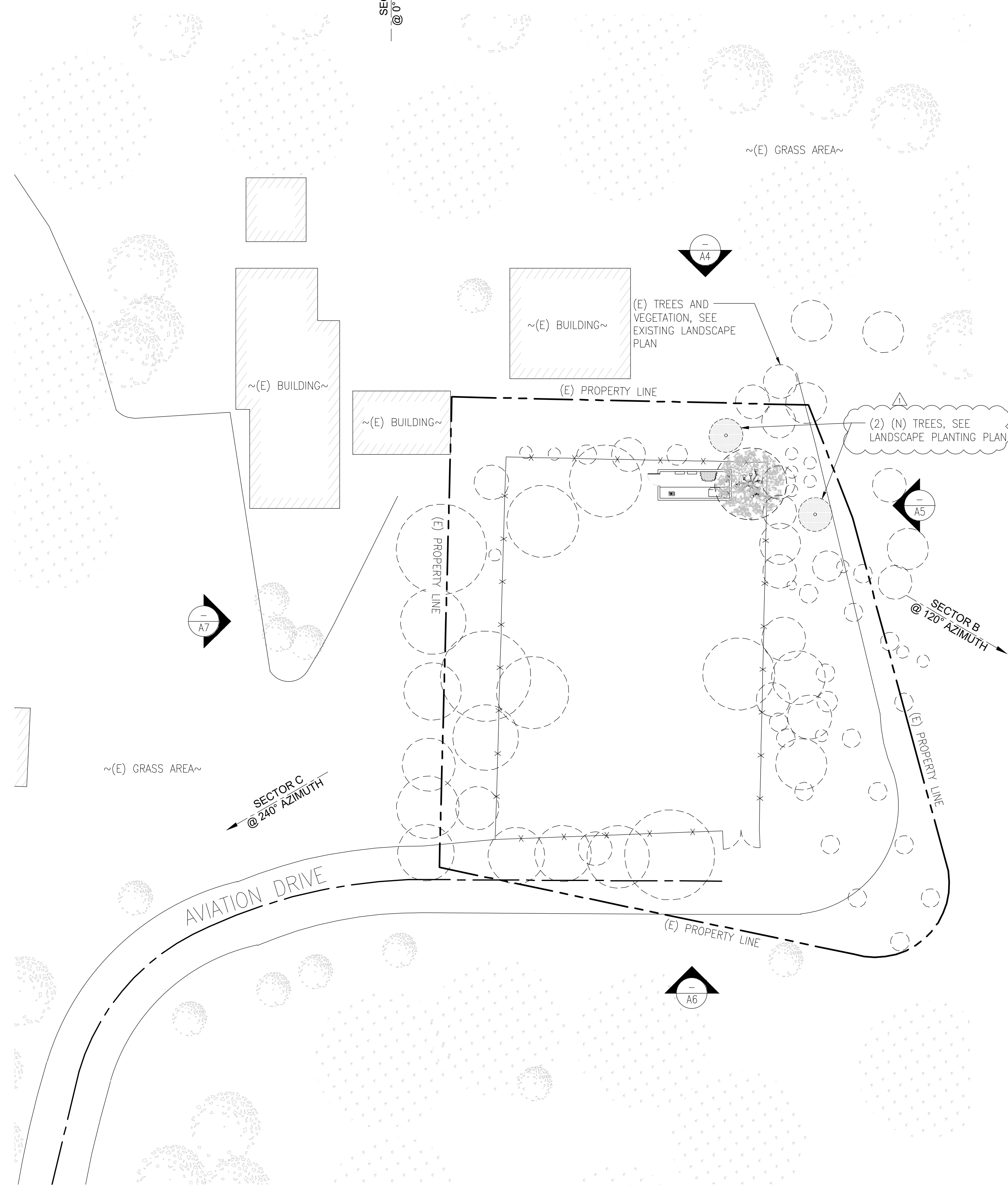
SHEET TITLE
IRRIGATION NOTES AND DETAILS

SHEET NUMBER
L-5

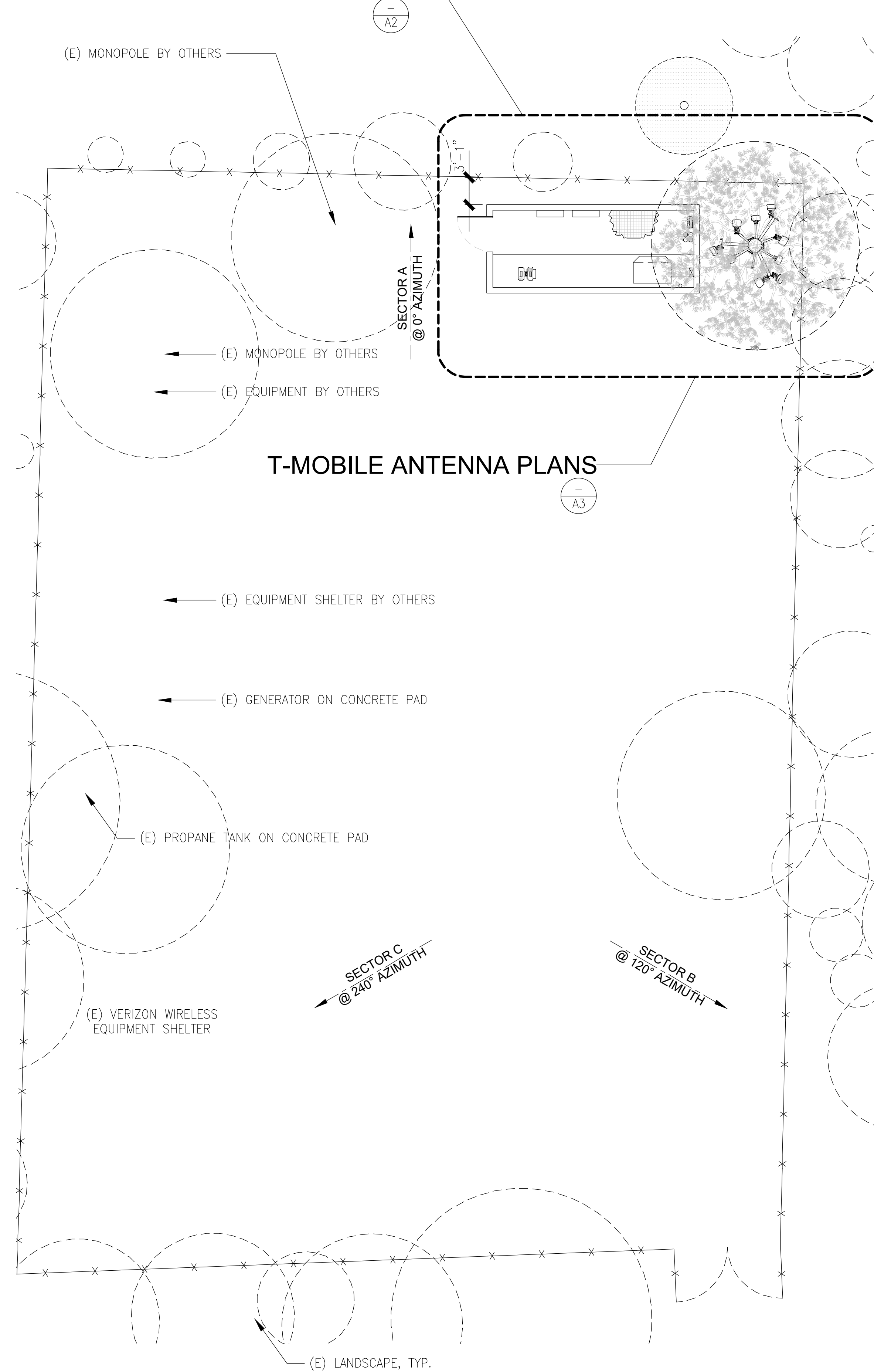
THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT OF WAY

DISCLAIMER
 THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. JS DOES NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS AND SETBACKS.

SECTOR A
 @ 0° AZIMUTH



T-MOBILE EQUIPMENT PLANS



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SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
 SAN DIEGO, CA 92114

REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
SITE PLAN AND ENLARGED SITE PLAN

SHEET NUMBER
A1



T-MOBILE WEST LLC

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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

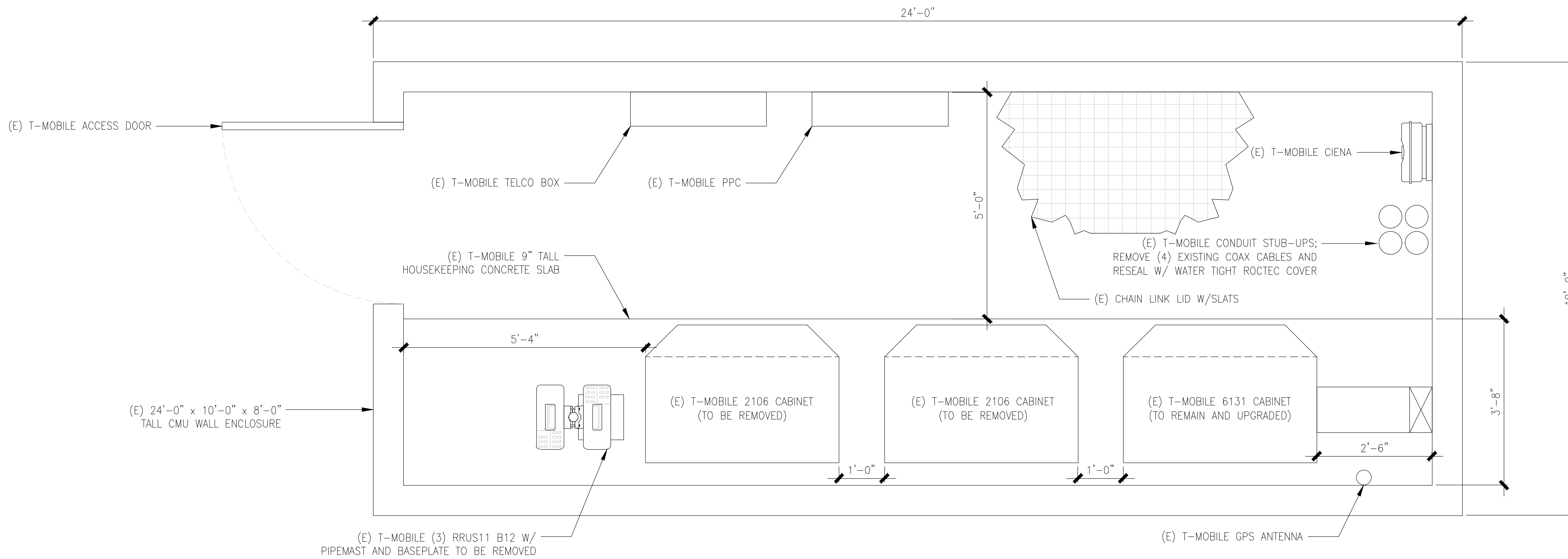
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SD02140A

SITE NAME:

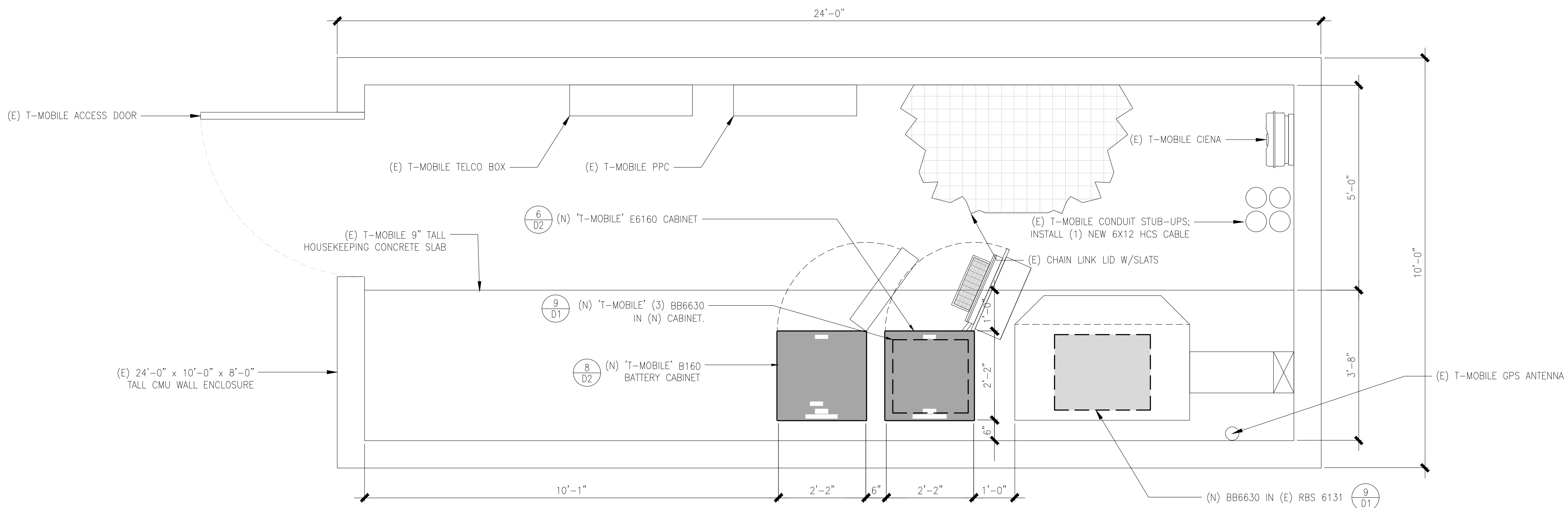
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114



EXISTING EQUIPMENT PLAN

24"x36" SCALE: 3/4" = 1'-0"
11"x17" SCALE: 3/8" = 1'-0"
6" 0" NORTH 1



NEW EQUIPMENT PLAN

24"x36" SCALE: 3/4" = 1'-0"
11"x17" SCALE: 3/8" = 1'-0"
6" 0" NORTH 2

REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
EQUIPMENT PLANS

SHEET NUMBER
A2



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

REV	DATE	DESCRIPTION
1	11/03/20	1ST ROUND PCC RD
0	08/21/20	100% CONSTRUCTION RD
C	05/26/20	100% CONSTRUCTION ES
B	05/18/20	100% CONSTRUCTION ES
A	05/05/20	90% CONSTRUCTION JD

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SHEET TITLE
ANTENNA PLANS

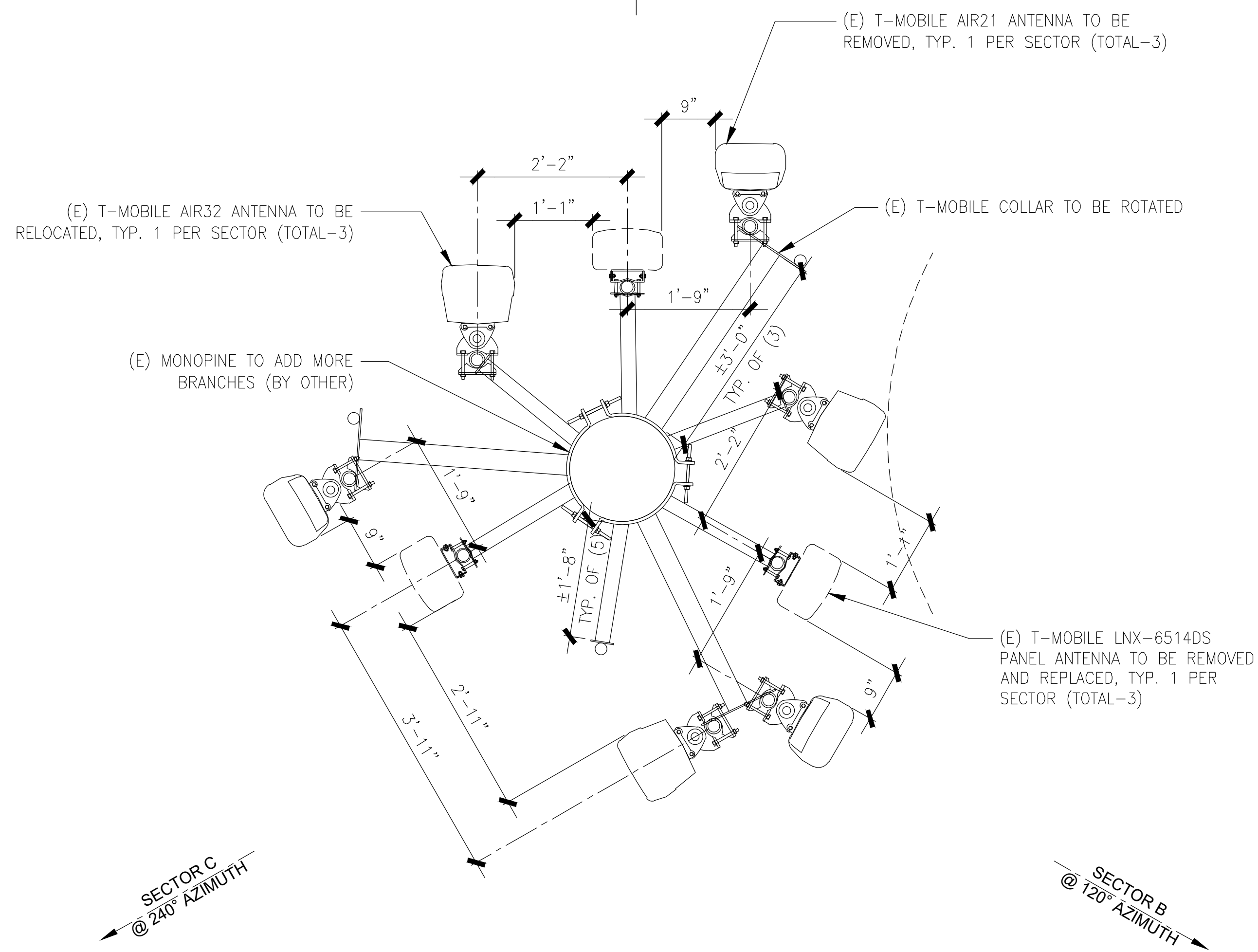
SHEET NUMBER
A3

(E) ANTENNA SCHEDULE

POS	TECHNOLOGY	AZIMUTH	RAD CENTER	ANTENNA MAKE	ANTENNA MODEL	RRU MODEL #'S	(E) CABLE TYPE
SECTOR "A"	A1	U1900, G1900	0°	46°-0"	ERICSSON	AIR 21 B2A/B4P	(2) 1 1/4" COAX
	A2	L700	0°	45°-0"	COMMSCOPE	LNx-6514DS-A1M (1) RRUS11 B12	
	A3	L2100, L1900	0°	46°-0"	ERICSSON	AIR 32 B4A/B2P	
	A4	-	-	-	-	-	
SECTOR "B"	B1	U1900, G1900	120°	46°-0"	ERICSSON	AIR 21 B2A/B4P	(2) 1 1/4" COAX
	B2	L700	120°	45°-0"	COMMSCOPE	LNx-6514DS-A1M (1) RRUS11 B12	
	B3	L2100, L1900	120°	46°-0"	ERICSSON	AIR 32 B4A/B2P	
	B4	-	-	-	-	-	
SECTOR "C"	C1	U1900, G1900	240°	46°-0"	ERICSSON	AIR 21 B2A/B4P	(2) 1 1/4" COAX
	C2	L700	240°	45°-0"	COMMSCOPE	LNx-6514DS-A1M (1) RRUS11 B12	
	C3	L2100, L1900	240°	46°-0"	ERICSSON	AIR 32 B4A/B2P	
	C4	-	-	-	-	-	

(1) 6x12 HCS 30m(SHARED)
(1) 9x18 HCS 30m(SHARED)
LENGTH = +/- 100'

SECTOR A
@ 0° AZIMUTH

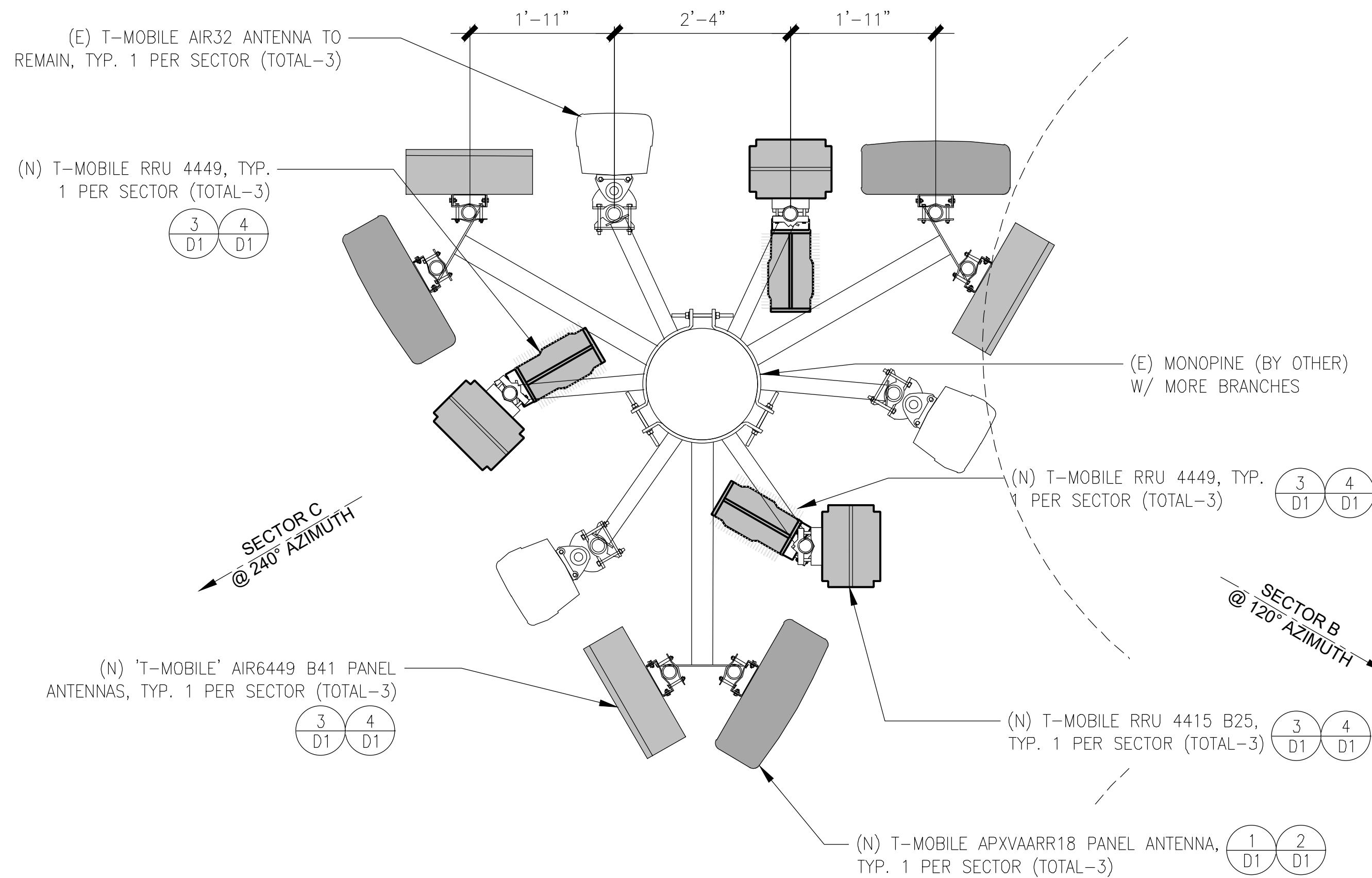


(N) ANTENNA SCHEDULE

POS	TECHNOLOGY	AZIMUTH	RAD CENTER	ANTENNA MAKE	ANTENNA MODEL	RRU MODEL #'S	(E) CABLE TYPE	(N) CABLE
SECTOR "A"	A1	L2500, N2500	0°	46°-0"	ERICSSON	AIR6449 B41	(8) FIBER JUMPER, (8) JUMPER SUREFLEX	(1) 6x12 HCS 30m(SHARED) (1) 9x18 HCS 30m(SHARED) LENGTH = +/- 100'
	A2	L2100, L1900, G1900	0°	46°-0"	ERICSSON	AIR 32 B4A/B2P		
	A3	-	-	-	-	(1) 4449 B71 + B12 (1) 4415 B25		
	A4	L700, L600, N600, L1900, U1900	0°	45°-0"	RFS	APXVAARR18_43-U-NA20		
SECTOR "B"	B1	L2500, N2500	120°	46°-0"	ERICSSON	AIR6449 B41	(8) FIBER JUMPER, (8) JUMPER SUREFLEX	(3) 6x12 HCS 30m(SHARED) LENGTH = +/- 100'
	B2	L2100, L1900, G1900	120°	46°-0"	ERICSSON	AIR 32 B4A/B2P		
	B3	-	-	-	-	(1) 4449 B71 + B12 (1) 4415 B25		
	B4	L700, L600, N600, L1900, U1900	120°	45°-0"	RFS	APXVAARR18_43-U-NA20		
SECTOR "C"	C1	L2500, N2500	240°	46°-0"	ERICSSON	AIR6449 B41	(8) FIBER JUMPER, (8) JUMPER SUREFLEX	(3) 6x12 HCS 30m(SHARED) LENGTH = +/- 100'
	C2	L2100, L1900, G1900	240°	46°-0"	ERICSSON	AIR 32 B4A/B2P		
	C3	-	-	-	-	(1) 4449 B71 + B12 (1) 4415 B25		
	C4	L700, L600, N600, L1900, U1900	240°	45°-0"	RFS	APXVAARR18_43-U-NA20		

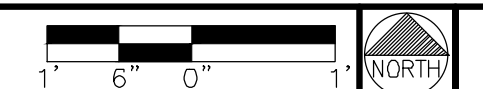
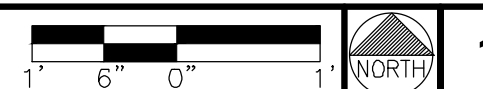
NOTES:
1. ALL (N) ANTENNAS AND EQUIPMENT SHALL BE PAINTED TO MATCH THE (E). ALL ANTENNAS AND EQUIPMENT ON THE POLE SHALL BE COVERED WITH PINE SOCKS.
2. (E) MONOPINE BRANCHES NOT SHOWN FOR CLARITY.

SECTOR A
@ 0° AZIMUTH



SECTOR C
@ 240° AZIMUTH

SECTOR B
@ 120° AZIMUTH





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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

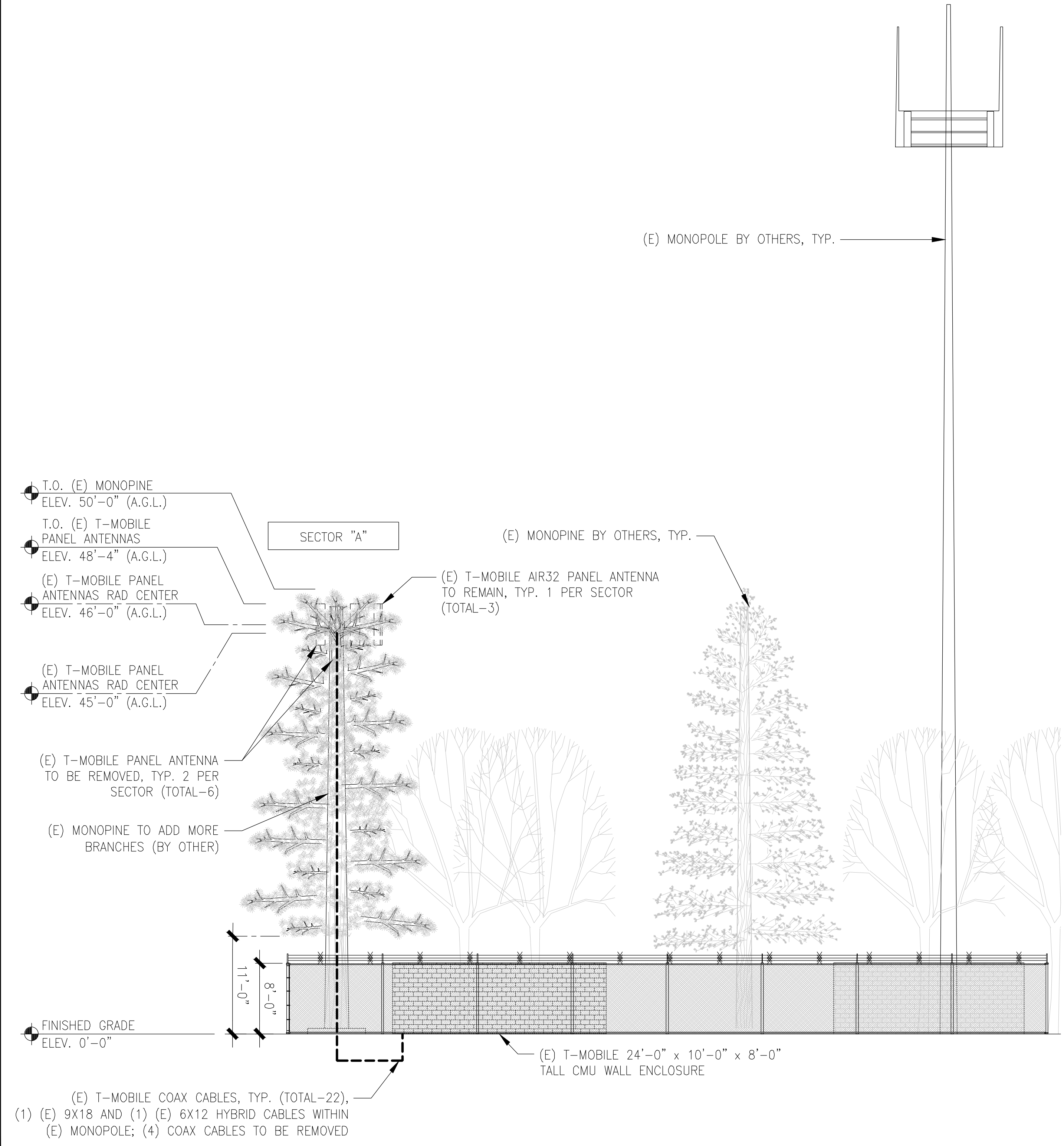
REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
NORTH ELEVATIONS

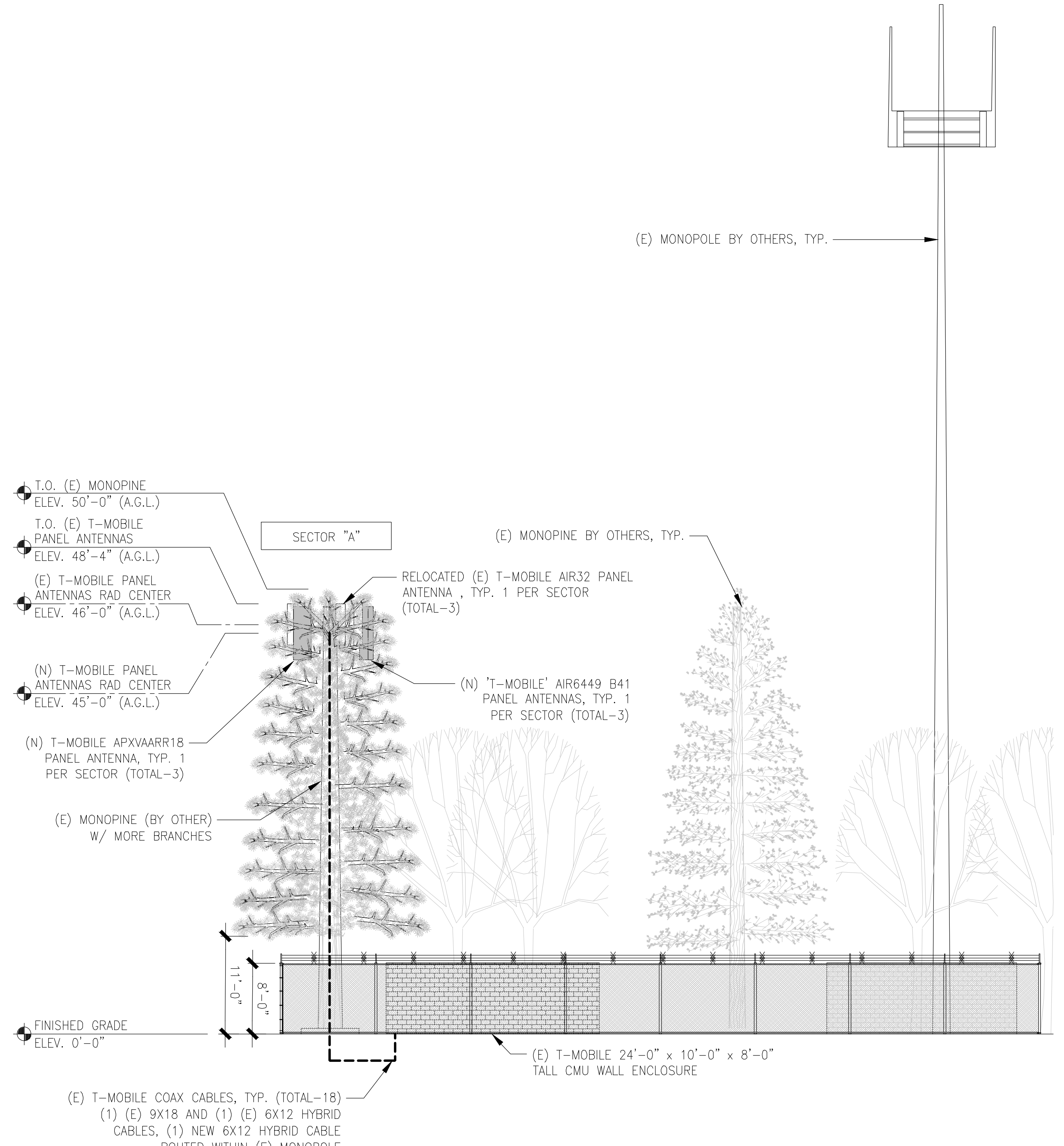
SHEET NUMBER
A4

NOTES:
1. ALL (N) ANTENNAS AND EQUIPMENT SHALL BE PAINTED TO MATCH THE (E). ALL ANTENNAS AND EQUIPMENT ON THE POLE SHALL BE COVERED WITH PINE SOCKS.
2. ALL BRANCHES AT ANTENNA LEVEL WILL EXTEND A MINIMUM OF 24" BEYOND THE FACE OF EACH ANTENNA.



EXISTING NORTH ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6" 4" 2" 0" 8' 1



NEW NORTH ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6" 4" 2" 0" 8' 2



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

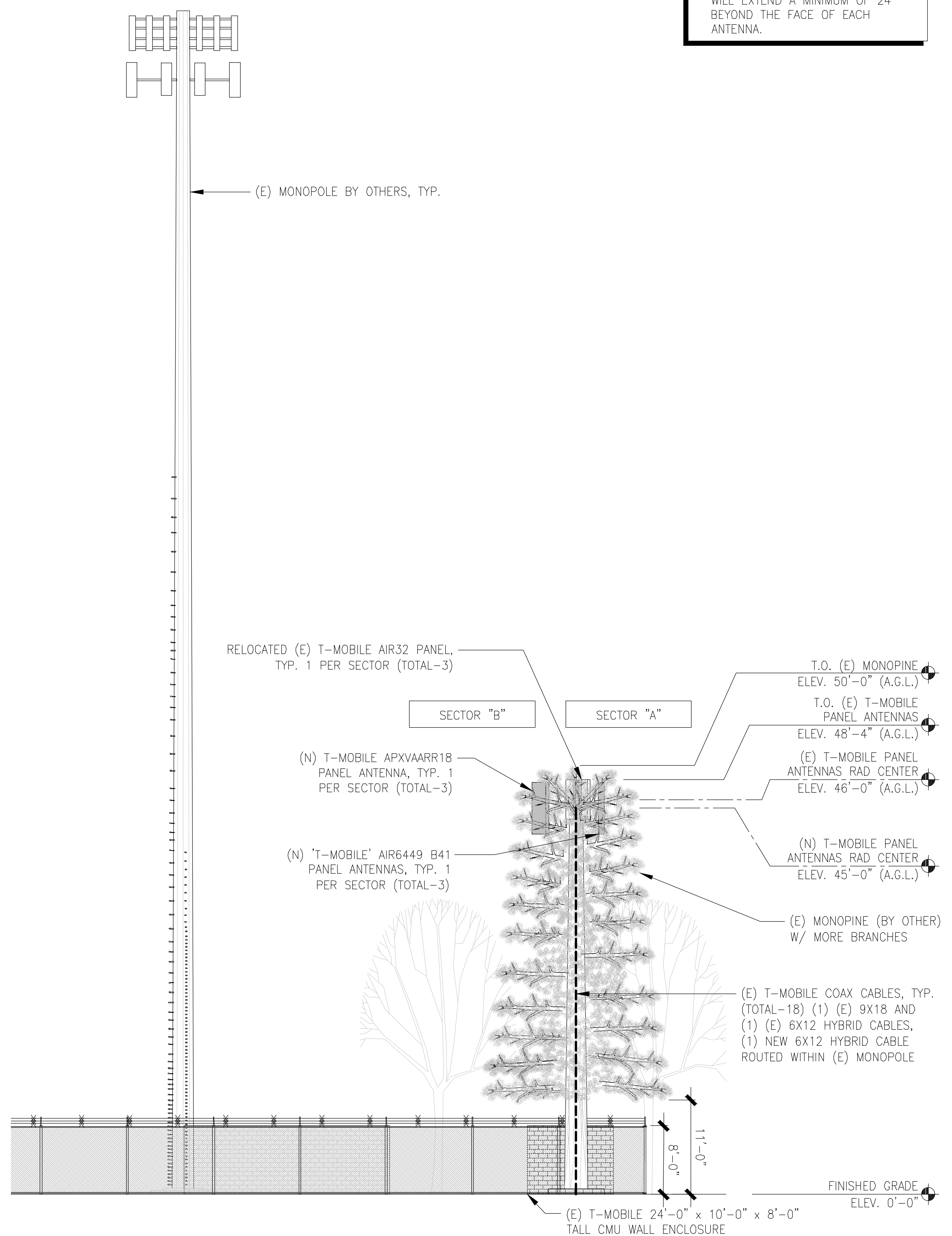
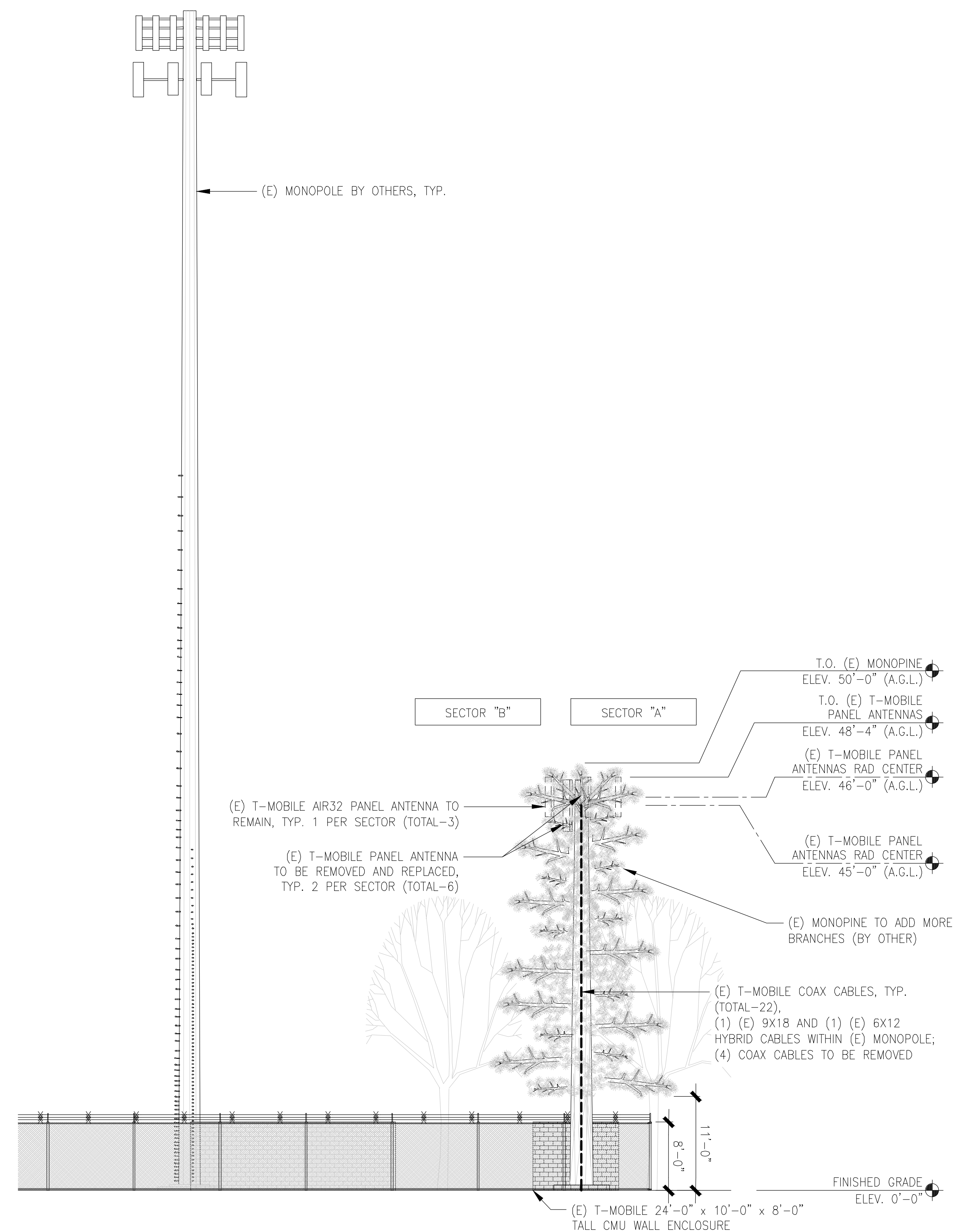
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1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
EAST ELEVATIONS

SHEET NUMBER
A5

NOTES:
1. ALL (N) ANTENNAS AND EQUIPMENT SHALL BE PAINTED TO MATCH THE (E). ALL ANTENNAS AND EQUIPMENT ON THE POLE SHALL BE COVERED WITH PINE SOCKS.
2. ALL BRANCHES AT ANTENNA LEVEL WILL EXTEND A MINIMUM OF 24" BEYOND THE FACE OF EACH ANTENNA.





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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

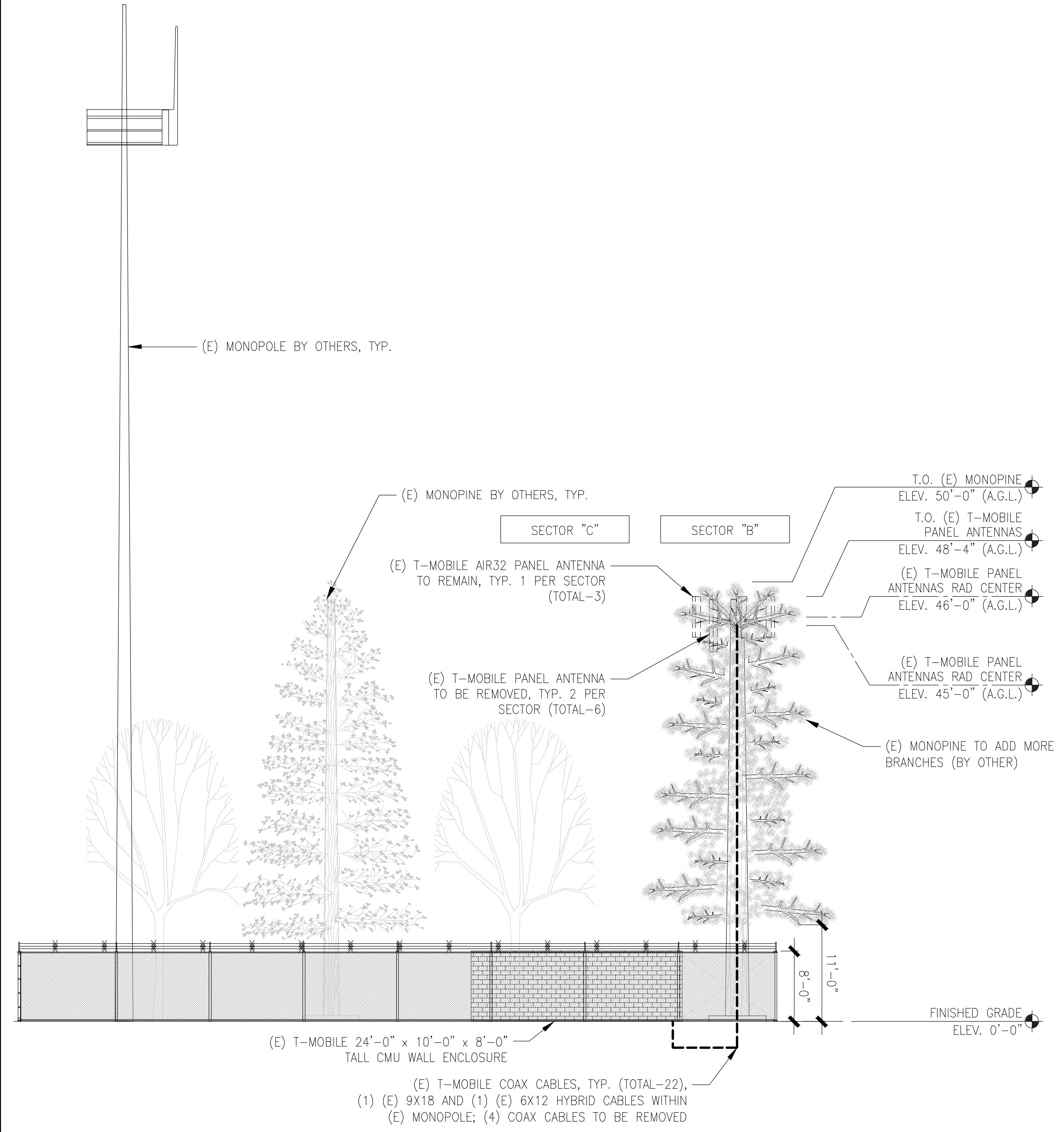
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0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
SOUTH ELEVATIONS

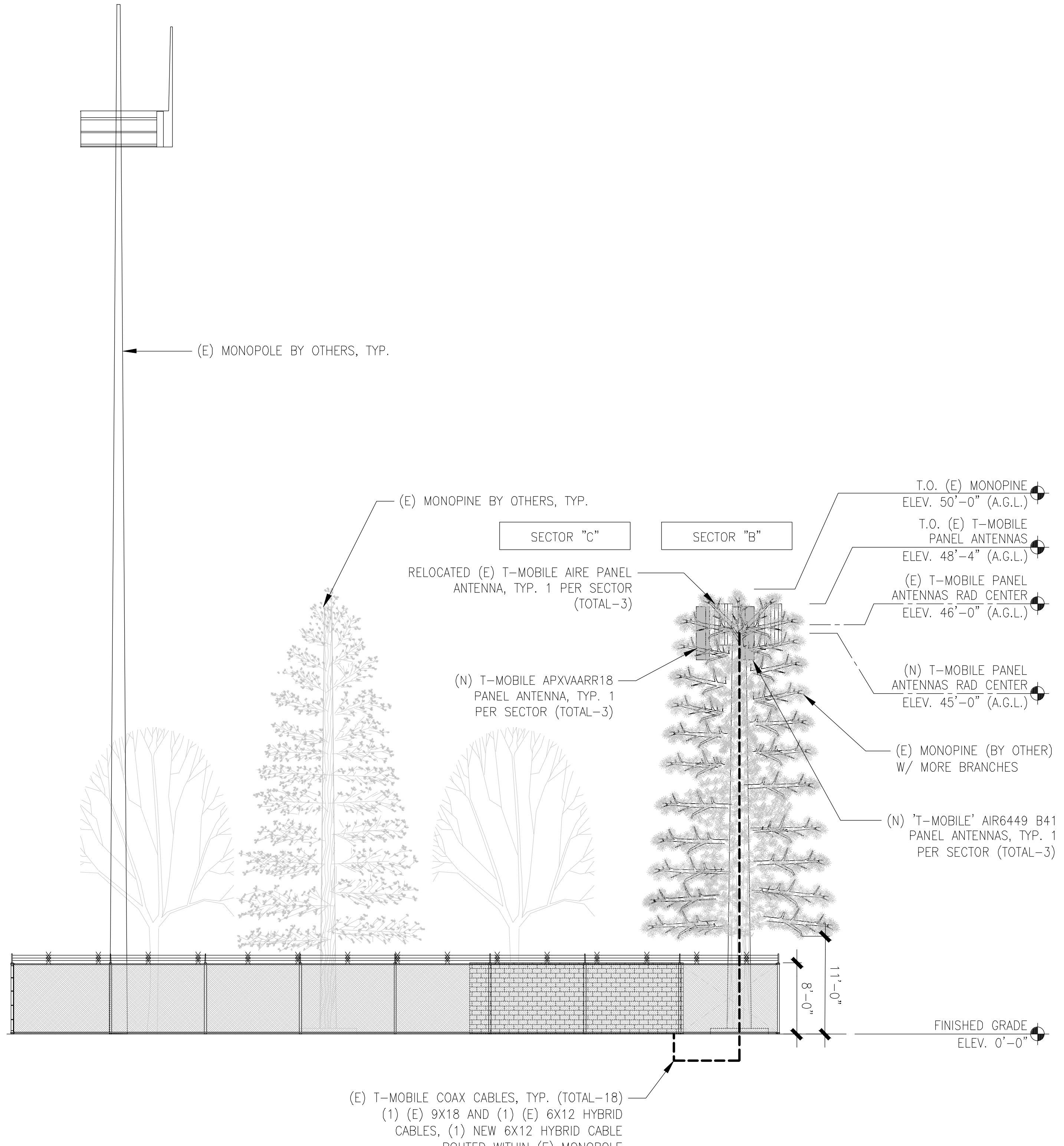
SHEET NUMBER
A6

NOTES:
1. ALL (N) ANTENNAS AND EQUIPMENT SHALL BE PAINTED TO MATCH THE (E). ALL ANTENNAS AND EQUIPMENT ON THE POLE SHALL BE COVERED WITH PINE SOCKS.
2. ALL BRANCHES AT ANTENNA LEVEL WILL EXTEND A MINIMUM OF 24" BEYOND THE FACE OF EACH ANTENNA.



EXISTING SOUTH ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6" 4" 2" 0" 8' 1



NEW SOUTH ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6" 4" 2" 0" 8' 2



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2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

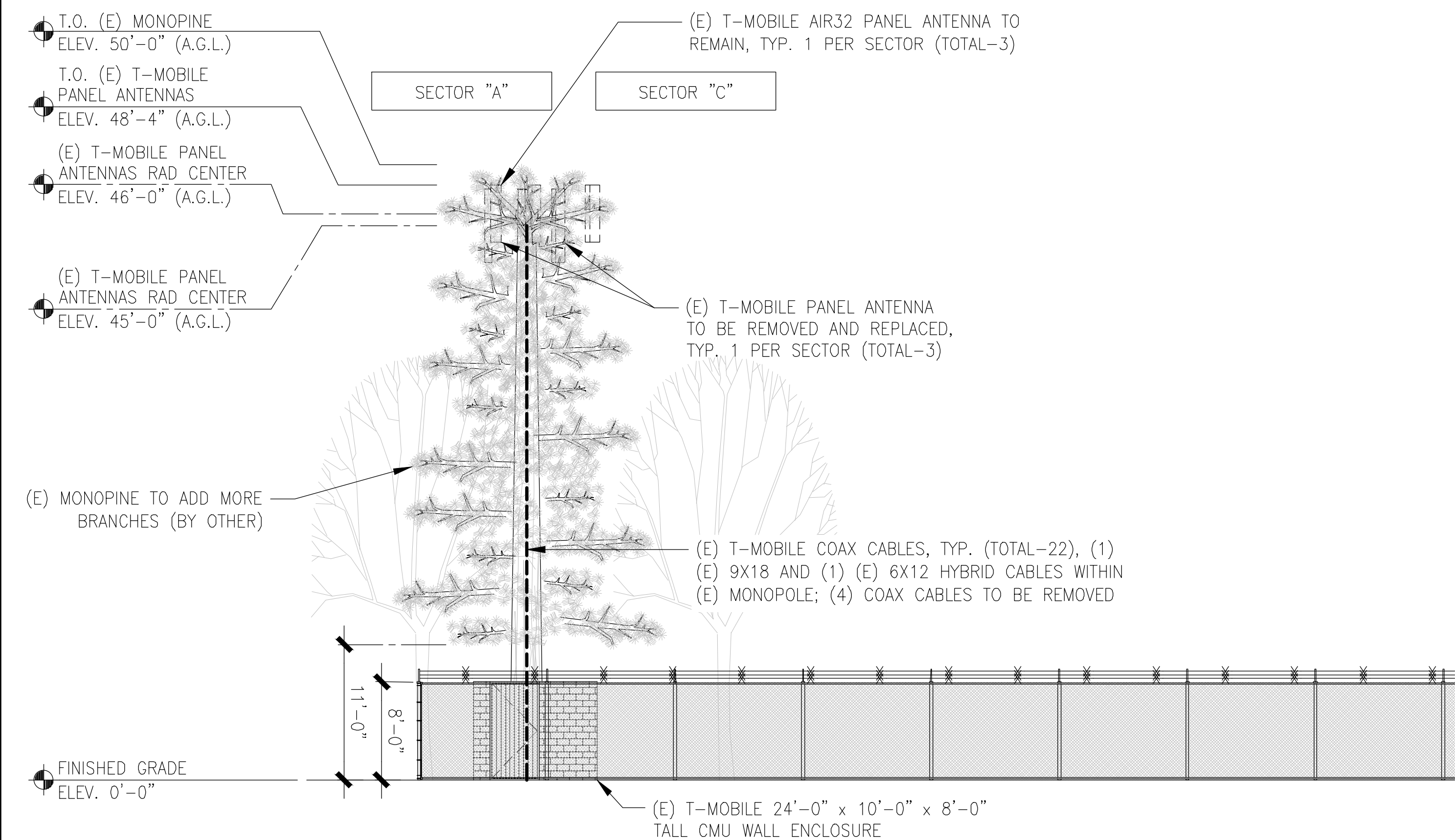
REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
WEST ELEVATIONS

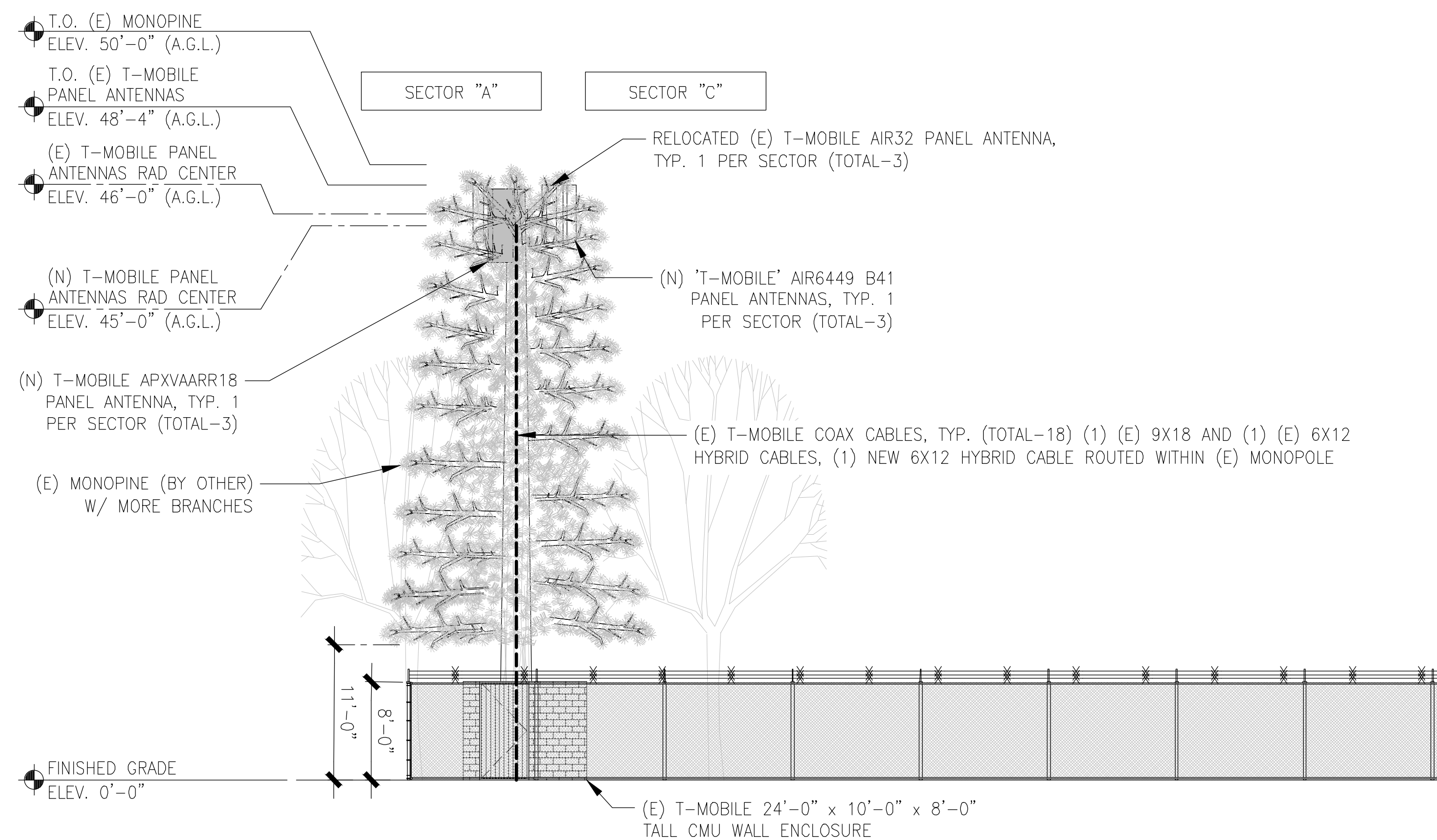
SHEET NUMBER
A7

NOTES:
1. ALL (N) ANTENNAS AND EQUIPMENT SHALL BE PAINTED TO MATCH THE (E). ALL ANTENNAS AND EQUIPMENT ON THE POLE SHALL BE COVERED WITH PINE SOCKS.
2. ALL BRANCHES AT ANTENNA LEVEL WILL EXTEND A MINIMUM OF 24" BEYOND THE FACE OF EACH ANTENNA.



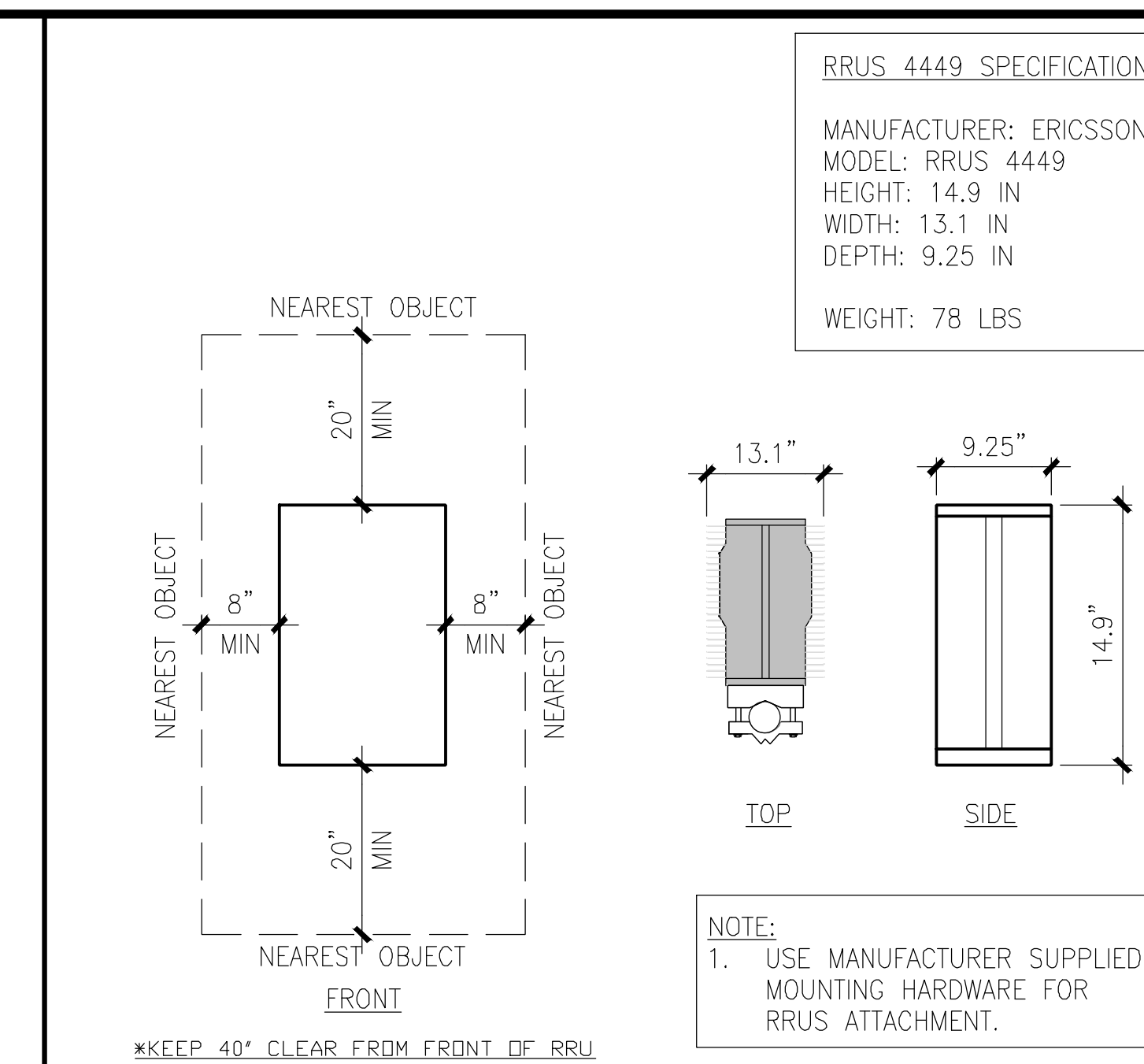
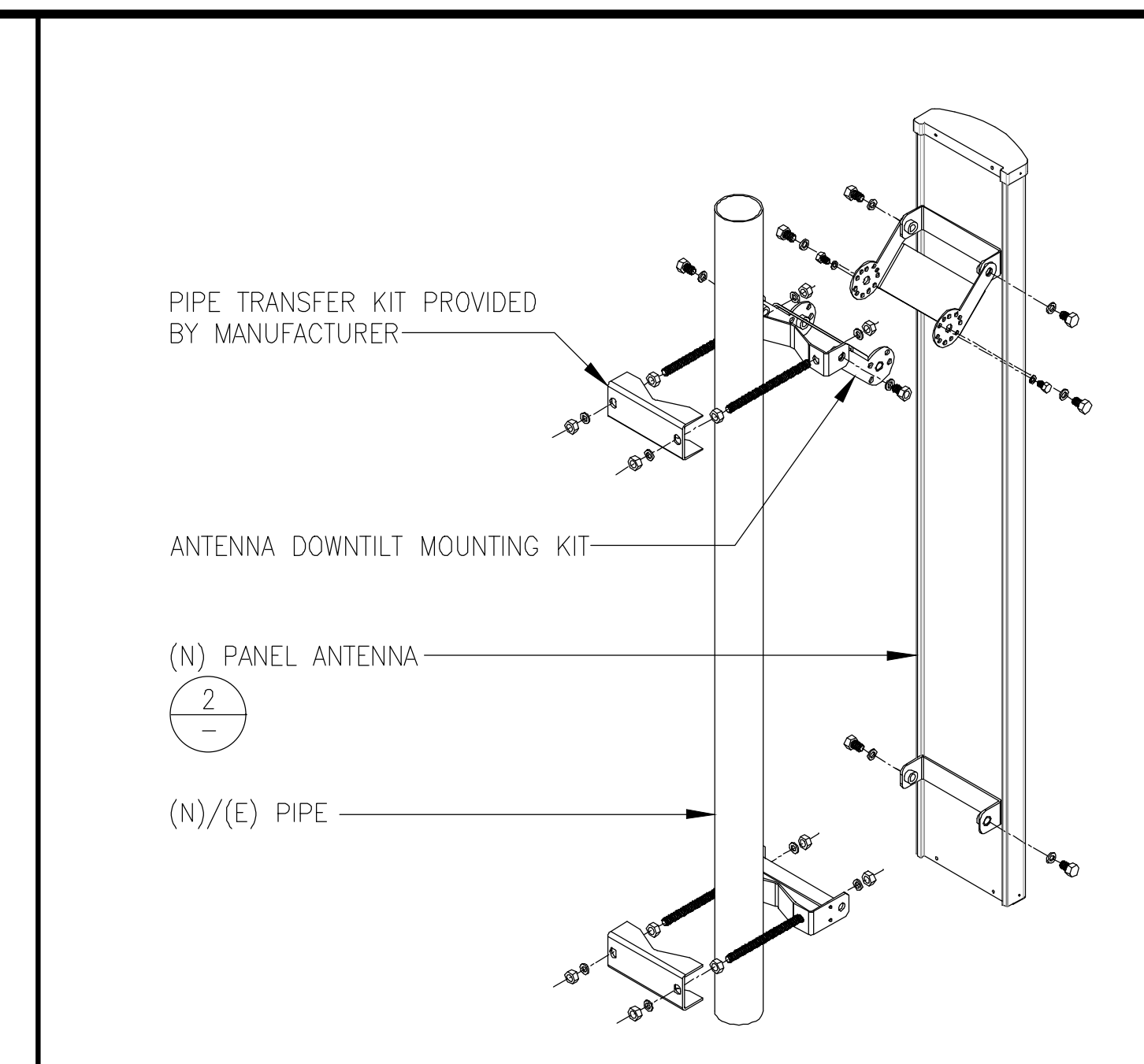
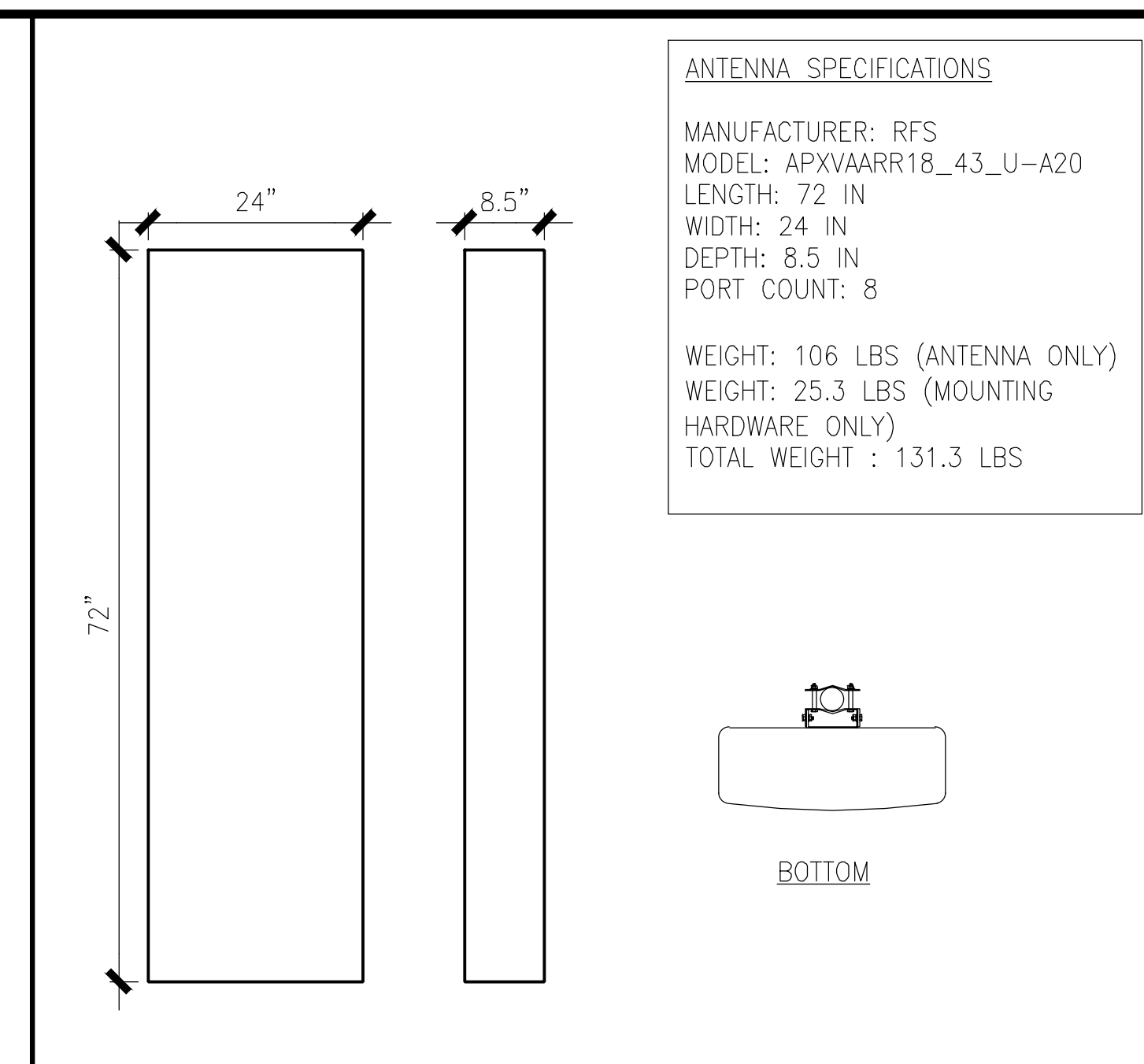
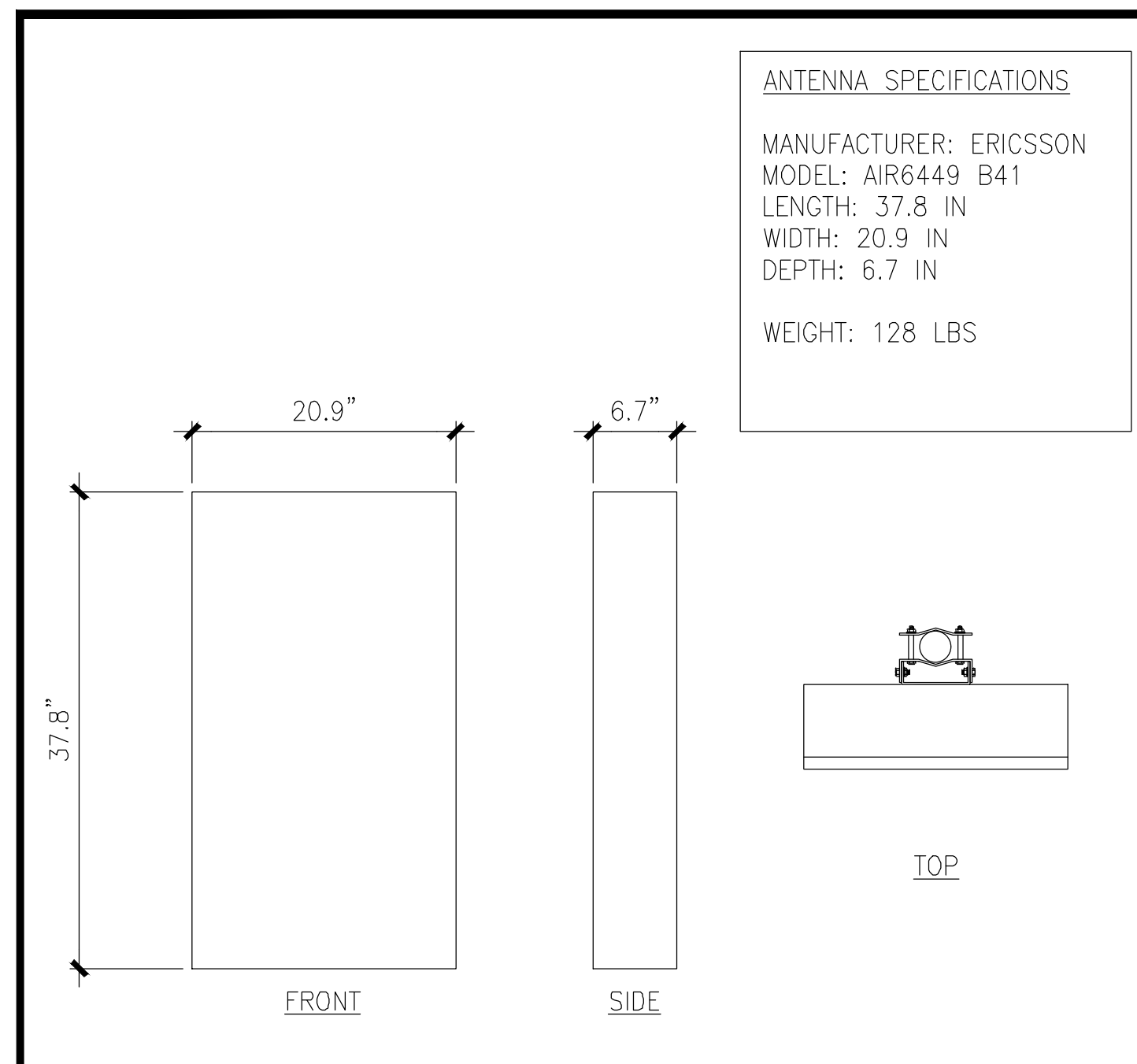
EXISTING WEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'



NEW WEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'



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2030 MAIN STREET, SUITE 200
 IRVINE, CA 92614

ANTENNA SPECIFICATIONS SCALE N.T.S. 1

ANTENNA SPECIFICATIONS SCALE N.T.S. 2

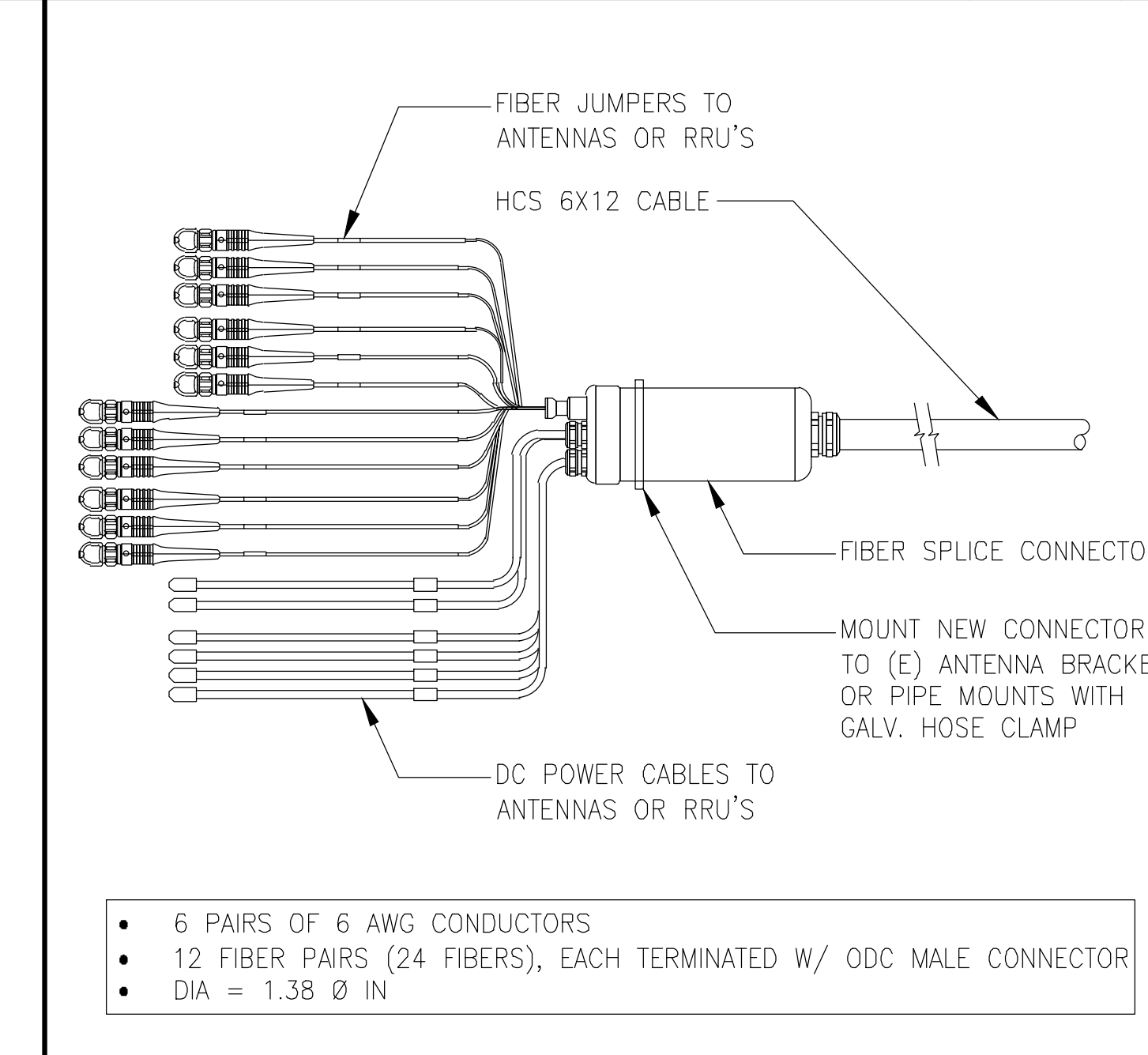
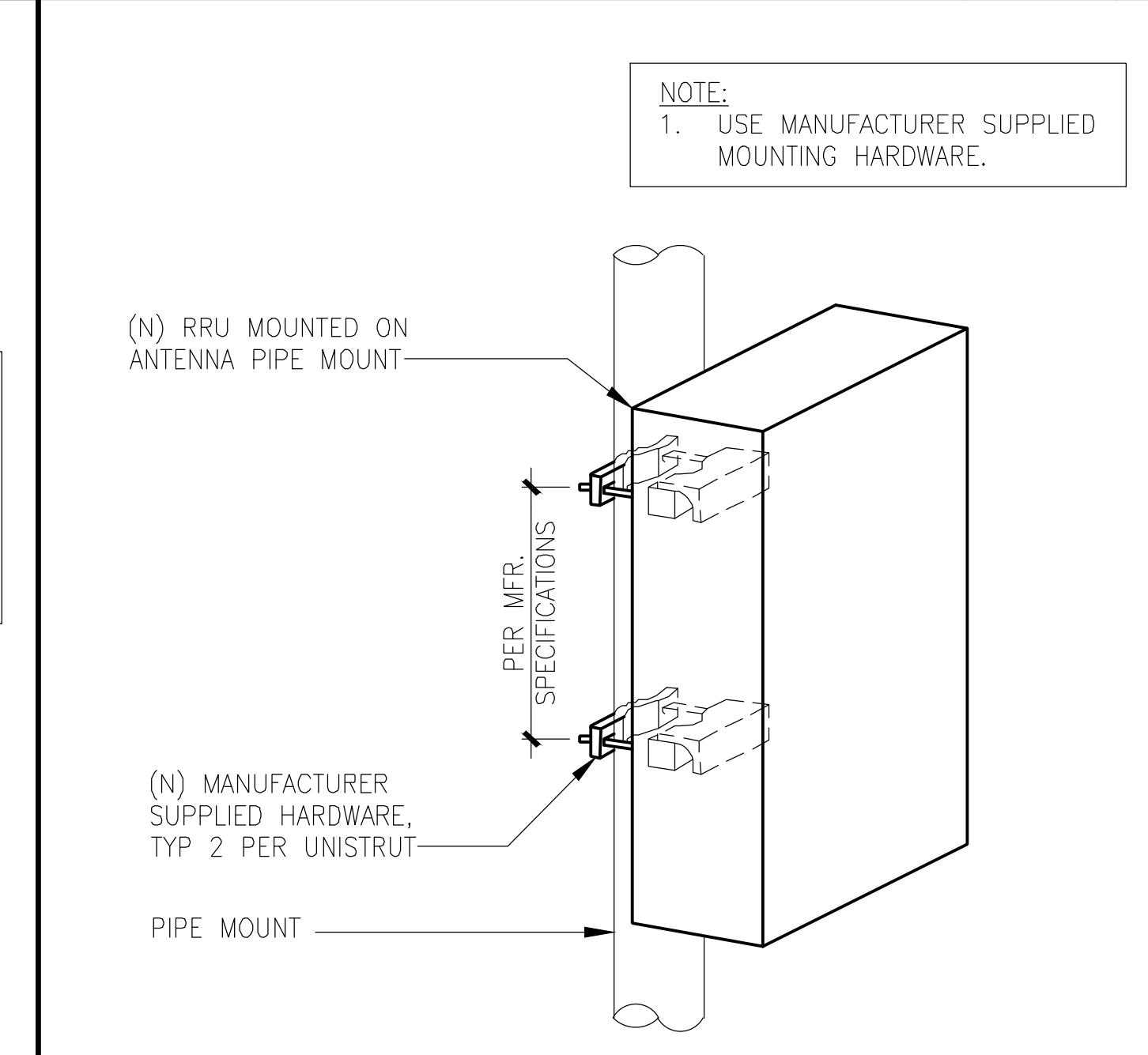
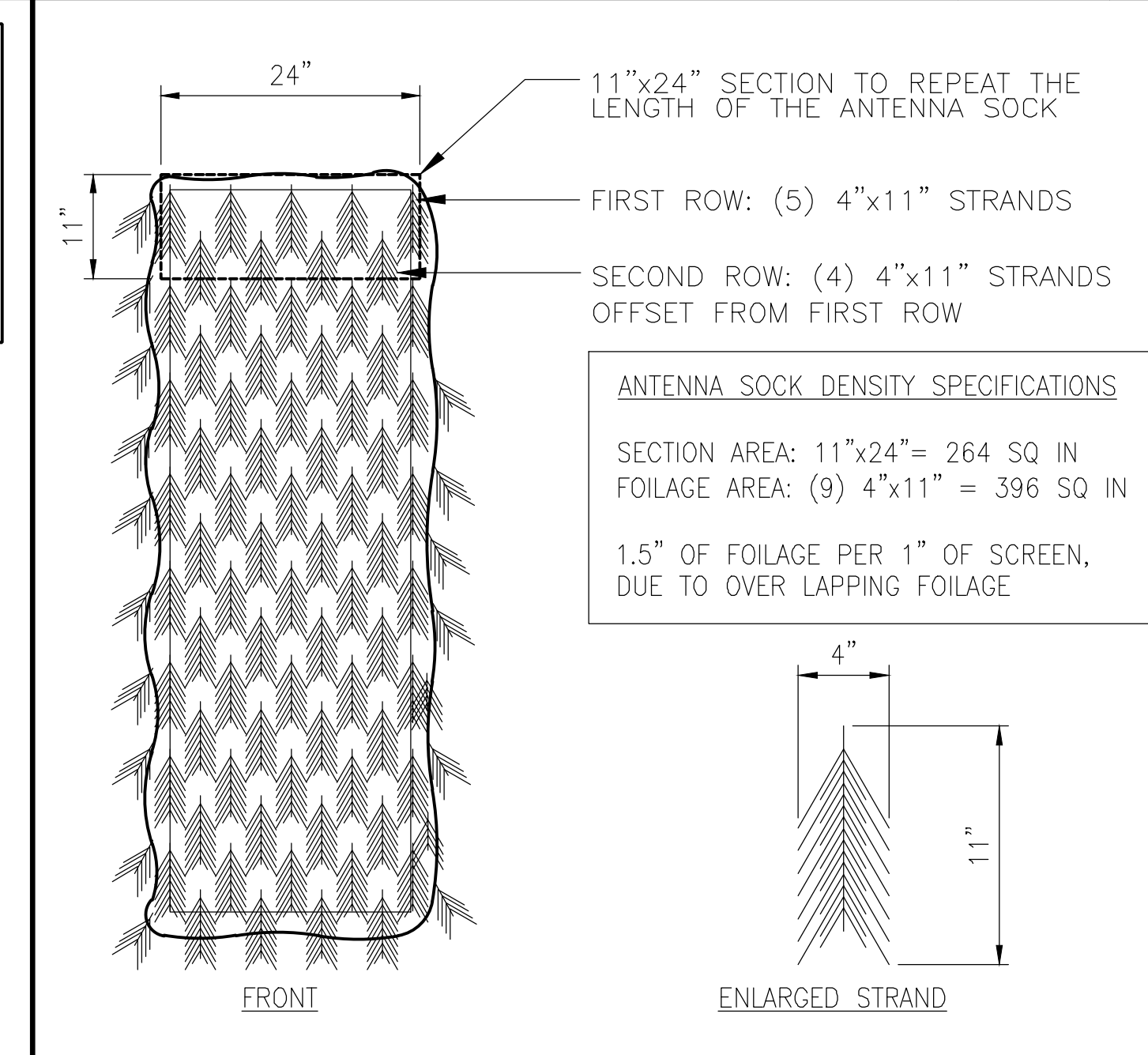
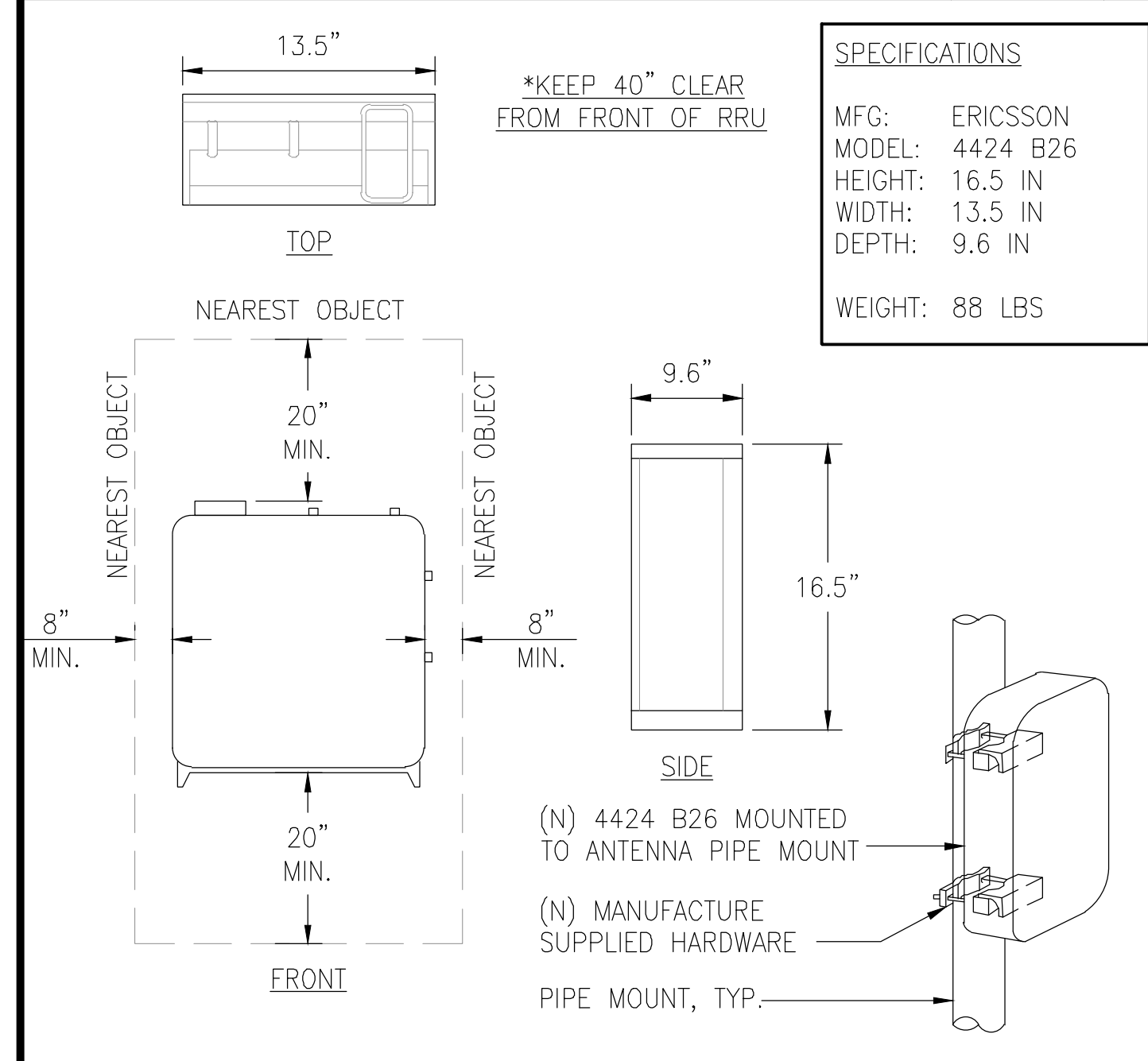
ANTENNA MOUNTING DETAIL SCALE N.T.S. 3

RRU 4449 SPECIFICATIONS SCALE N.T.S. 4

SITE NUMBER:
SD02140A

SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
 SAN DIEGO, CA 92114



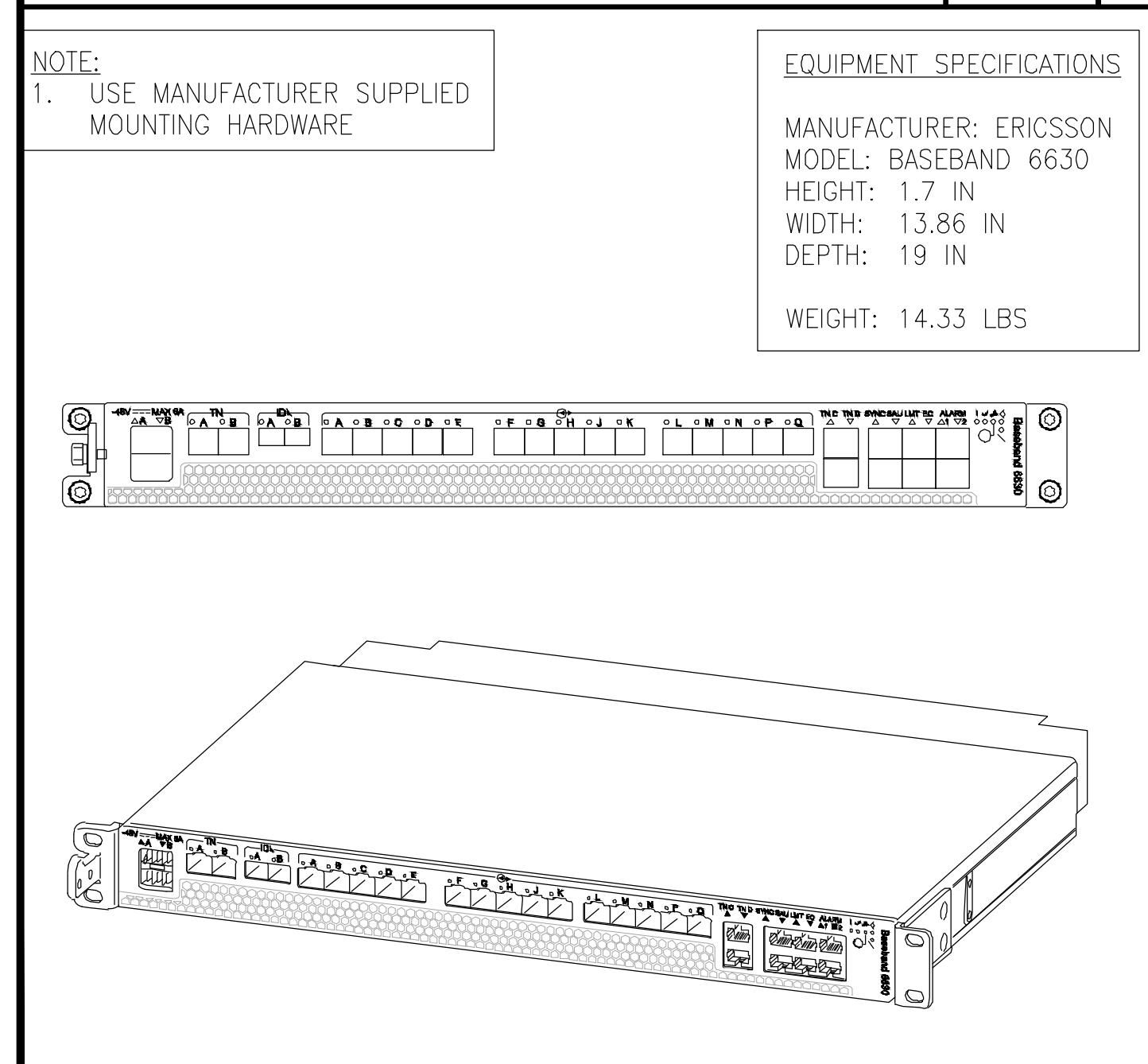
RRU 4415 B25 SPECIFICATIONS SCALE N.T.S. 5

PINE NEEDLE SOCK DETAIL SCALE N.T.S. 6

RRU MOUNTING DETAIL SCALE N.T.S. 7

HCS 6X12 CABLE SPECS SCALE N.T.S. 8

REV	DATE	DESCRIPTION
1	11/03/20	1ST ROUND PCC
0	08/21/20	100% CONSTRUCTION
C	05/26/20	100% CONSTRUCTION
B	05/18/20	100% CONSTRUCTION
A	05/05/20	90% CONSTRUCTION



BASEBAND 6630 SPECS 9

NOT USED 10

NOT USED 11

NOT USED 12

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SHEET TITLE
DETAILS

SHEET NUMBER
D1



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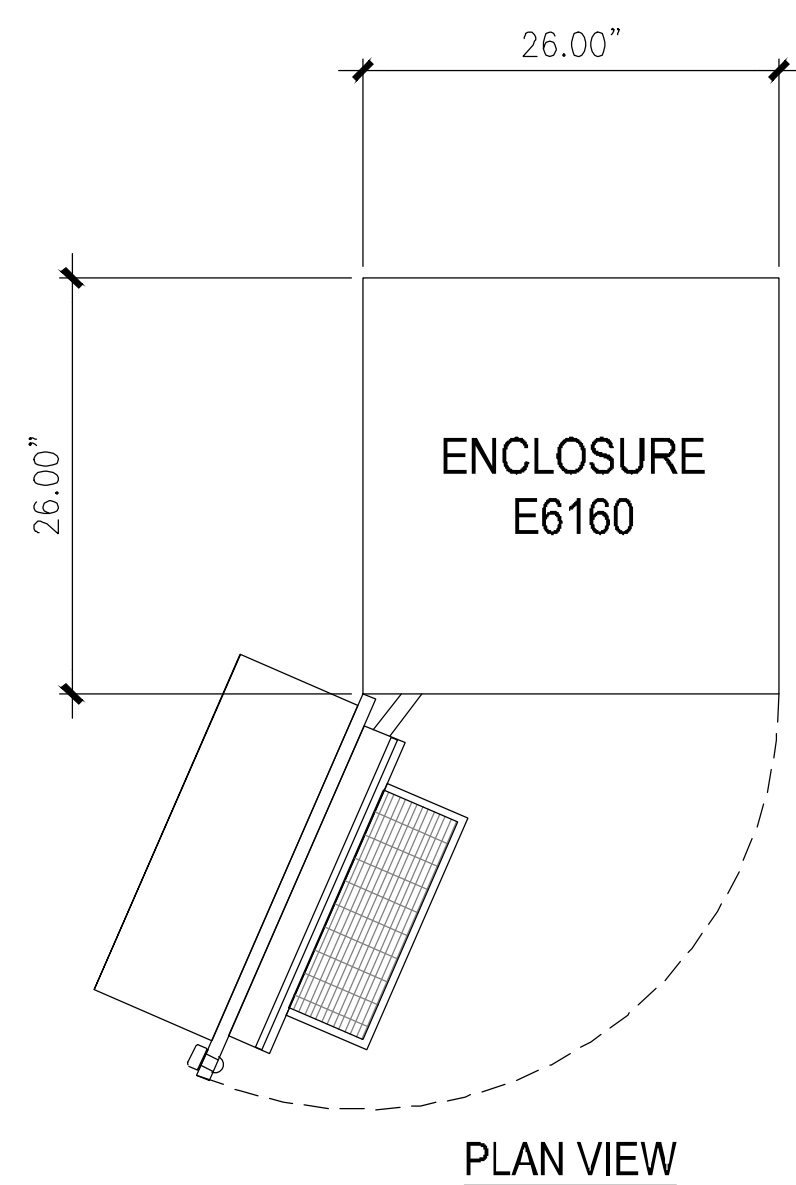


2030 MAIN STREET, SUITE 200
IRVINE, CA 92614

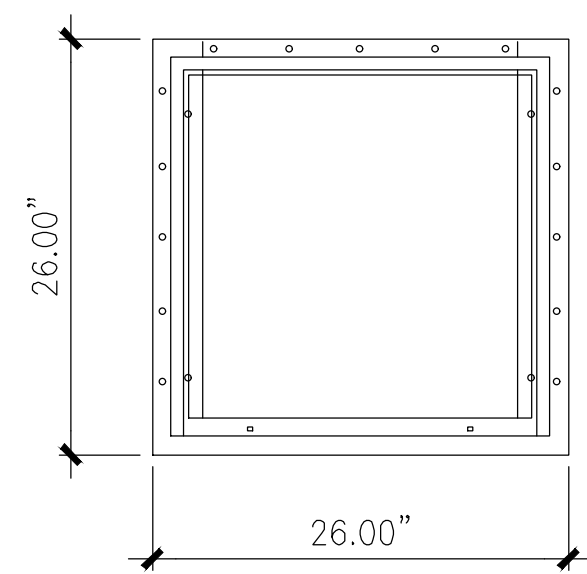
SITE NUMBER:
SD02140A
SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

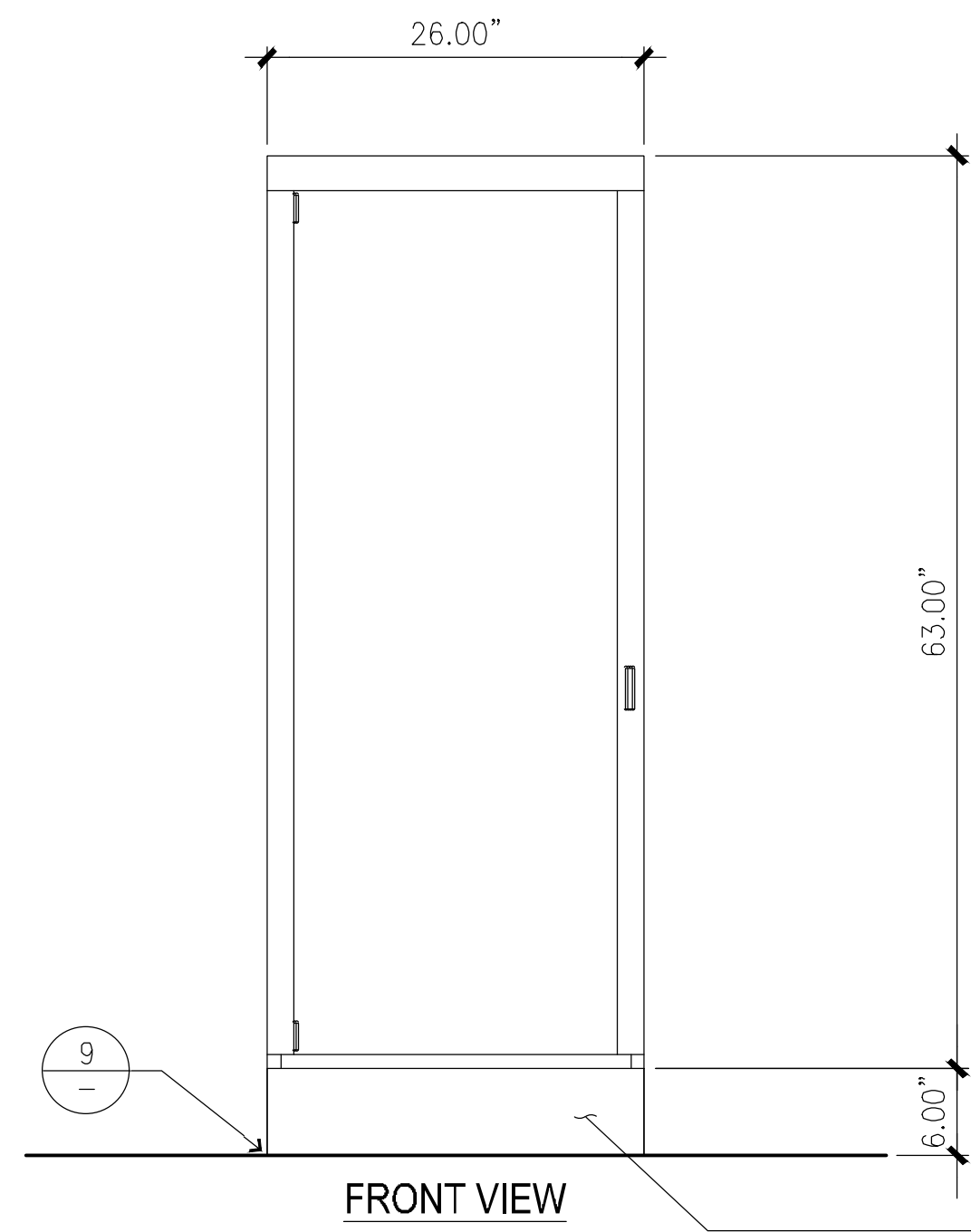
REV	DATE	DESCRIPTION	BY
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD



PLAN VIEW

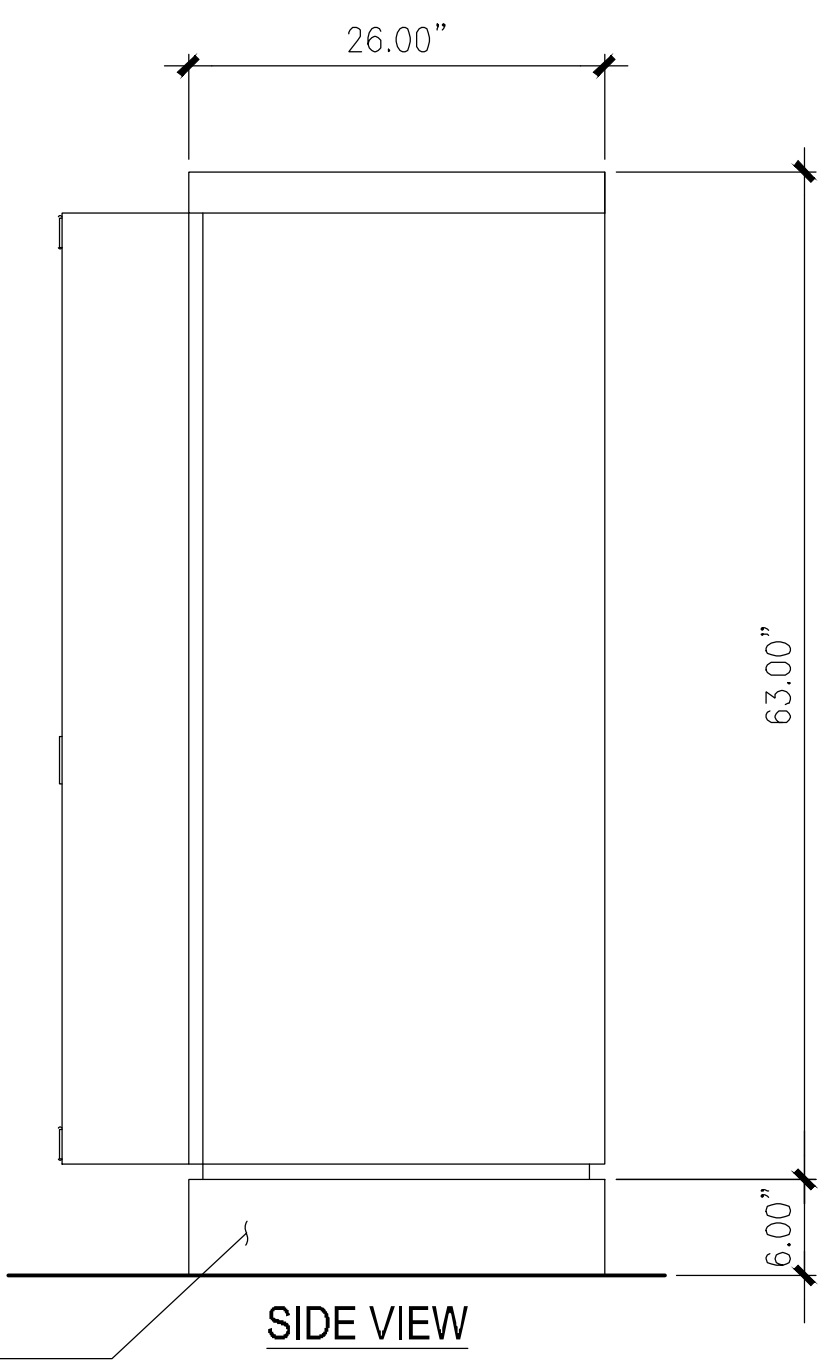


BOLT HOLE PATTERN



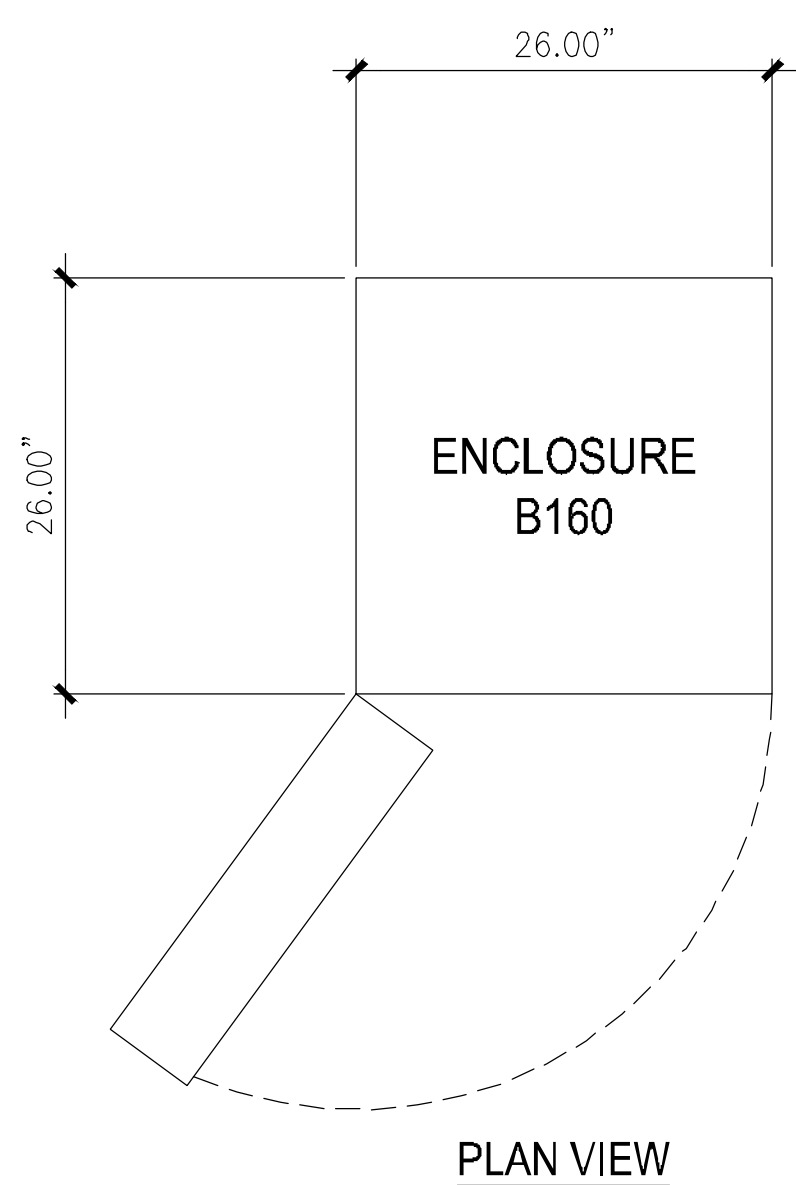
FRONT VIEW

BASE FRAME

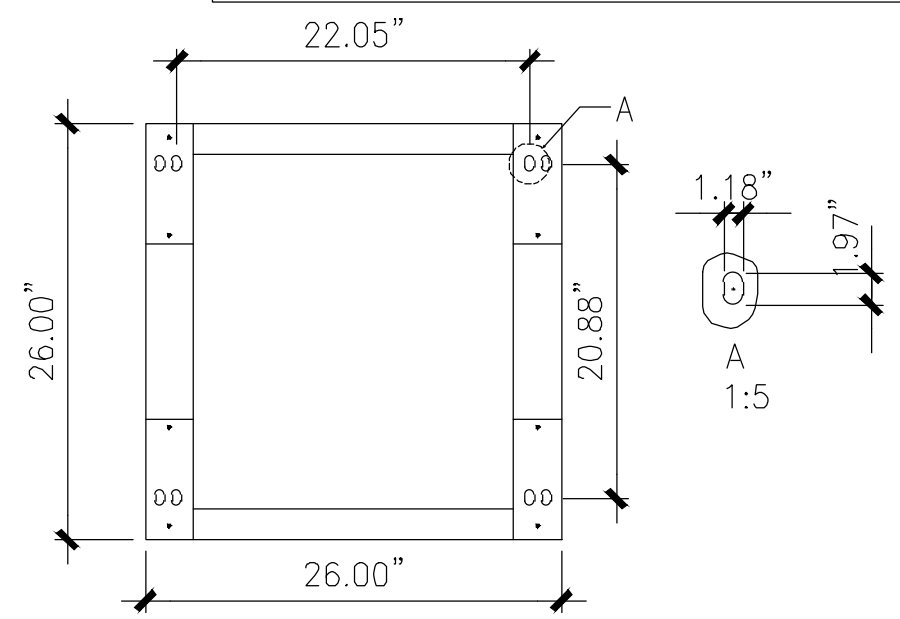


SIDE VIEW

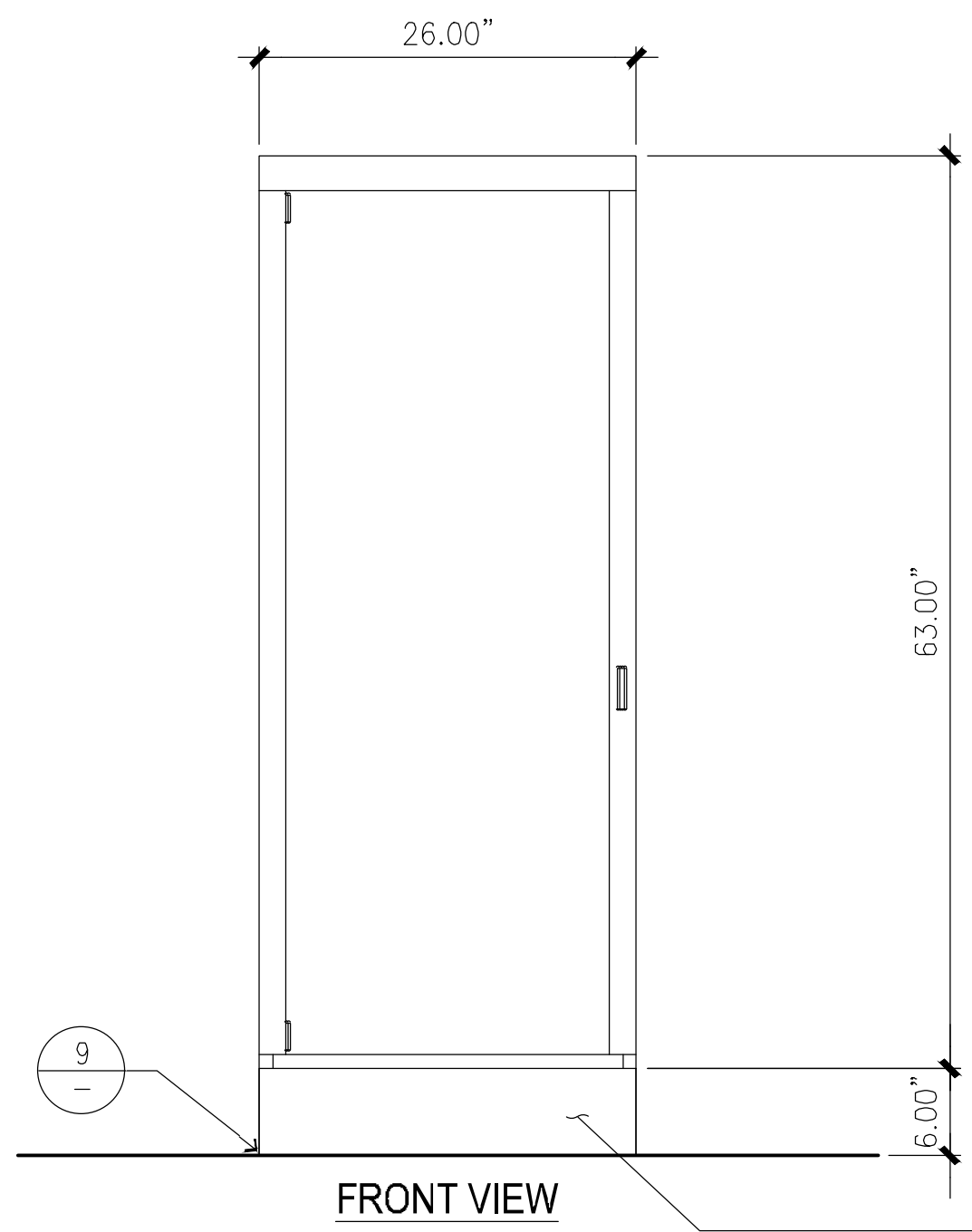
E6160 SPECIFICATIONS
MANUFACTURER: ERICSSON
MODEL: E6160
HEIGHT: 63"
WIDTH: 26"
DEPTH: 26"
MAX WEIGHT: 320 LBS.
(EXCLUDING ACTIVE EQUIPMENT)



PLAN VIEW

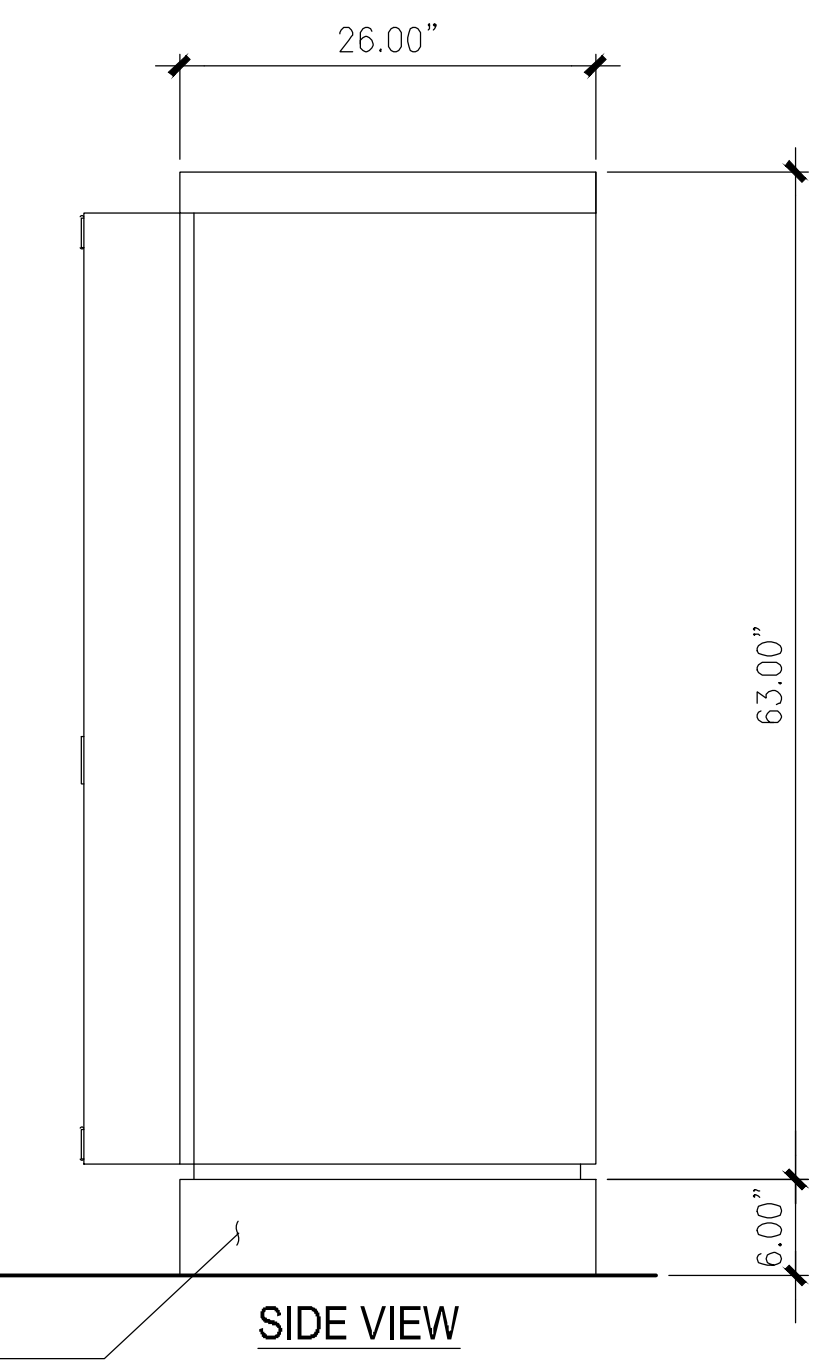


BOLT HOLE PATTERN



FRONT VIEW

BASE FRAME



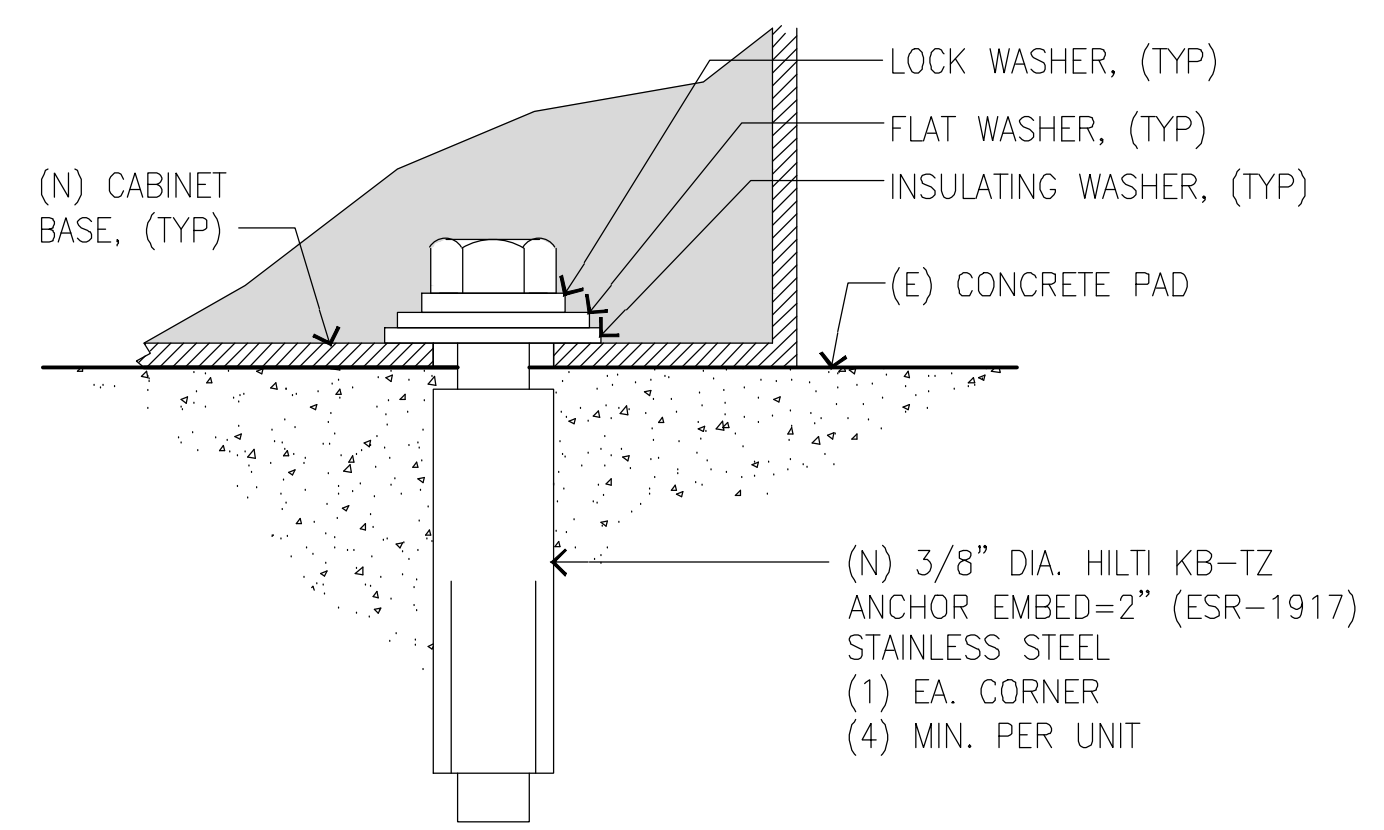
SIDE VIEW

NOTE:
(N) BATTERY CABINET B160 IS REQUIRED WITH EACH NEW E6160 REGARDLESS OF GENERATOR STATUS.

B160 SPECIFICATIONS
MANUFACTURER: ERICSSON
MODEL: B160
HEIGHT: 63"
WIDTH: 26"
DEPTH: 26"
WEIGHT: 296 LBS. (134 KG.)
(INCL BASE FRAME)
MAX WEIGHT: 1,880 (NORTHSTAR NSB 190FT RED BATTERY, 132 lbs. x 12)

E6160 SSC CABINET SPECIFICATIONS

SCALE
1"=1'-0" 6



MOUNTING NOTES:
1. SPECIAL INSPECTION REQUIRED ON ALL ANCHOR BOLTS.
2. REFER TO AND FOLLOW MANUFACTURERS RECOMMENDED SPECIFICATIONS FOR EXACT ANCHOR BOLT LOCATIONS AND QUANTITY FOR EACH SPECIFIED CABINET.
3. CONTRACTOR TO SEAL AROUND ALL BOLTING LOCATIONS.

EQUIPMENT ANCHORAGE

SCALE
N.T.S. 9

NOT USED

B160 BATTERY CABINET SPECIFICATIONS

SCALE
1"=1'-0" 8

NOT USED

NOT USED

12

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SHEET TITLE
DETAILS

SHEET NUMBER
D2

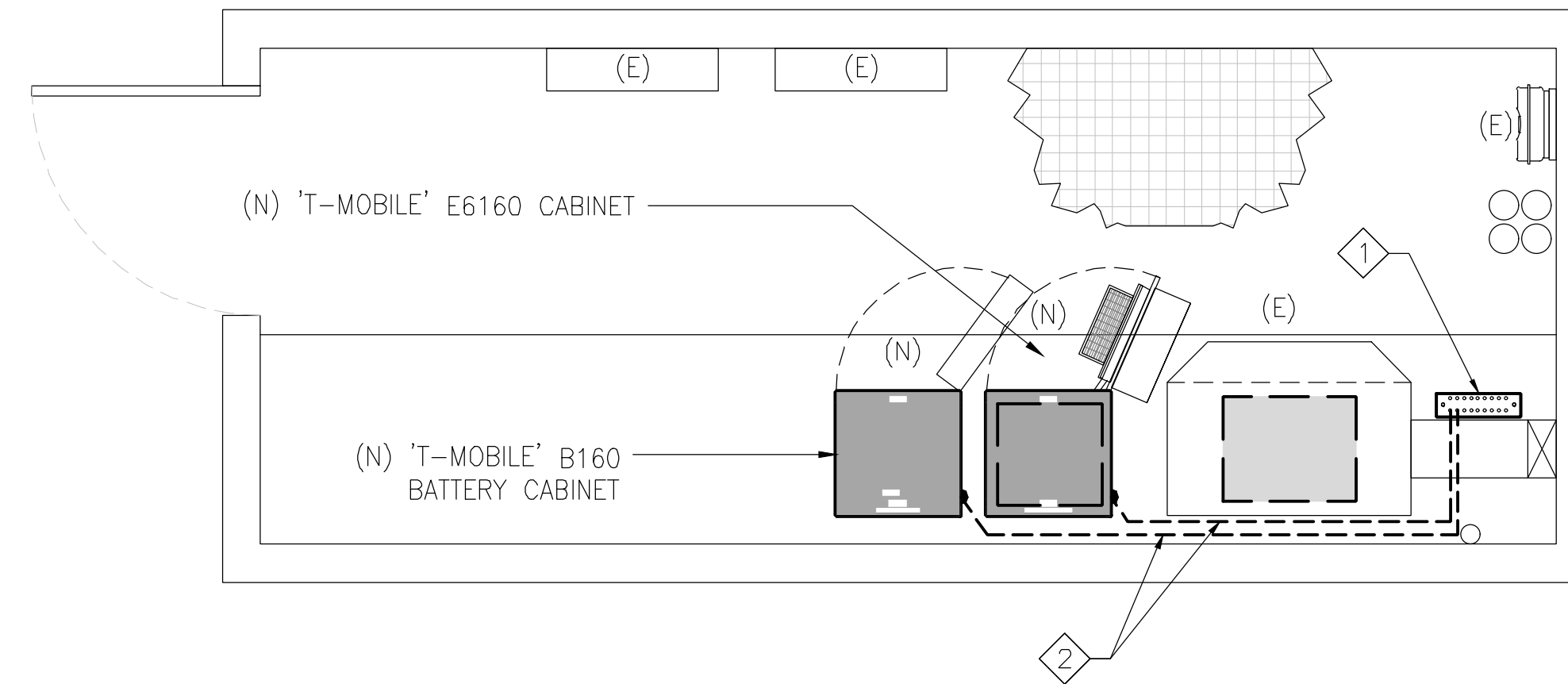
GROUNDING NOTES:

- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION REQUIREMENTS AND CONSTRUCTION ACCORDING TO SITE CONDITIONS.
- ALL GROUNDING CONDUCTORS: #2 AWG SOLID BARE TINNED COPPER WIRE UNLESS OTHERWISE NOTED.
- GROUND BAR LOCATED IN BASE OF EQUIPMENT WILL BE PROVIDED, FURNISHED AND INSTALLED BY THE VENDOR.
- ALL BELOW GRADE CONNECTIONS: EXOTHERMIC WELD TYPE, ABOVE GRADE CONNECTIONS: EXOTHERMIC WELD TYPE.
- GROUND RING SHALL BE LOCATED A MINIMUM OF 24" BELOW GRADE OR 6" MINIMUM BELOW THE FROST LINE.
- INSTALL GROUND CONDUCTORS AND GROUND ROD MINIMUM OF 1'-0" FROM EQUIPMENT CONCRETE SLAB, SPREAD FOOTING, OR FENCE.
- EXOTHERMIC WELD GROUND CONNECTION TO FENCE POST: TREAT WITH A COLD GALVANIZED SPRAY.
- GROUND BARS:
 - EQUIPMENT GROUND BUS BAR (EGB) LOCATED AT THE BOTTOM OF ANTENNA POLE/MAST FOR MAKING GROUNDING JUMPER CONNECTIONS TO COAX FEEDER CABLE SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. JUMPERS (FURNISHED BY OWNERS) SHALL BE INSTALLED AND CONNECTED BY ELECTRICAL CONTRACTOR.
- ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY ELECTRICAL CONTRACTOR.
- OBSERVE N.E.C. AND LOCAL UTILITY REQUIREMENTS FOR ELECTRICAL SERVICE GROUNDING.
- GROUNDING ATTACHMENT TO TOWER SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS OR AT GROUNDING POINTS PROVIDED (2 MINIMUM).
- IF EQUIPMENT IS IN A C.L. FENCE ENCLOSURE, GROUND ONLY CORNER POSTS AND SUPPORT POSTS OF GATE. IF CHAIN LINK LID IS USED, THEN GROUND LID ALSO.
- GROUNDING AT PPC CABINET SHALL BE VERTICALLY INSTALLED.
- ALL GROUNDING FOR ANTENNAS SHALL BE CONNECTED SO THAT IT WILL BY-PASS MAIN BUSS BAR.
- ALL EMT RUNS SHALL BE GROUNDED AND HAVE A BUSHING, NO PVC ABOVE GROUND.
- USE SEPARATE HOLES FOR GROUNDING AT BUSS BAR. NO "DOUBLE-UP" OF LUGS.
- POWER AND TELCO CABINETS SHALL BE GROUNDED (BONDED) TOGETHER.
- NO LB'S ALLOWED ON GROUNDING.
- PROVIDE STAINLESS STEEL CLAMP AND BRASS TAGS ON COAX AT ANTENNAS AND DOGHOUSE.
- ALL ELECTRICAL AND GROUNDING AT THE CELL SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER SPECIFICATION.
- IF THE AC PANEL IN THE POWER CABINET IS WIRED AS SERVICE ENTRANCE, THE AC SERVICE GROUND CONDUCTOR SHALL BE CONNECTED TO GROUND ELECTRODE SYSTEM. WHEN THE AC PANEL IN THE POWER CABINET IS CONSIDERED A SUB-PANEL, THE GROUND WIRE SHALL BE INSTALLED IN THE AC POWER CONDUIT. THE INSTALLATION SHALL BE PER LOCAL AND NATIONAL ELECTRIC CODE (NFPA-70).
- EXOTHERMIC WELDING IS RECOMMENDED FOR GROUNDING CONNECTION WHERE PRACTICAL. OTHERWISE, THE CONNECTION SHALL BE MADE USING COMPRESSION TYPE-2 HOLES. LONG BARREL LUGS OR DOUBLE CRIMP CLAMP "C" CLAMP. THE COPPER CABLES SHALL BE COATED WITH ANTIOXIDANT (COPPER SHIELD) BEFORE MAKING THE CONNECTIONS. THE MANUFACTURER'S TORQUING RECOMMENDATIONS ON THE BOLT ASSEMBLY TO SECURE CONNECTIONS SHALL BE FOLLOWED.
- THE ANTENNA CABLES SHALL BE GROUNDED AT THE TOP AND BOTTOM OF THE VERTICAL RUN FOR LIGHTING PROTECTION. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO A COPPER GROUND BUSS AT THE LOWER MOST POINT OF A VERTICAL RUN JUST BEFORE IT BEGINS TO BEND TOWARD THE HORIZONTAL PLANE. WIRE RUNS TO GROUND SHALL BE KEPT AS STRAIGHT AND SHORT AS POSSIBLE. ANTENNA CABLE SHIELD SHALL BE GROUNDED JUST BEFORE ENTERING THE CELL CABINET. ANY ANTENNA CABLES OVER 200 FEET IN LENGTH SHALL ALSO BE EQUIPPED WITH ADDITIONAL GROUNDING AT MID-POINT.
- ALL GROUNDING CONDUCTORS INSIDE THE BUILDING SHALL BE RUN IN CONDUIT RACEWAY SYSTEM, AND SHALL BE INSTALLED AS STRAIGHT AS PRACTICAL WITH MINOR BENDS TO AVOID OBSTRUCTIONS. THE BENDING RADIUS OF ANY #2 GROUNDING CONDUCTOR IS 8". PVC RACEWAY MAY BE FLEXIBLE OR RIGID PER THE FIELD CONDITIONS. GROUNDING CONDUCTORS SHALL NOT MAKE CONTACT WITH ANY METALLIC CONDUITS, SURFACES OR EQUIPMENT.
- PROVIDE PVC SLEEVES WHERE GROUNDING CONDUCTORS PASS THROUGH THE BUILDING WALLS AND /OR CEILINGS.
- INSTALL GROUND BUSHINGS ON ALL METALLIC CONDUITS AND BOND TO THE EQUIPMENT GROUND BUSS IN THE PANEL BOARD.
- GROUND ANTENNA BASES, FRAMES, CABLE RACKS AND OTHER METALLIC COMPONENTS WITH #2 GROUNDING CONDUCTORS AND CONNECT TO INSULATED SURFACE MOUNTED GROUND BARS. CONNECTION DETAILS SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR GROUNDING.
- ALL PROPOSED GROUNDING CONDUCTORS SHALL BE ROUTED AND CONNECTED TO THE MAIN GROUND BAR OR EXISTING GROUND RING.

KEY NOTES:

- ① (E) EQUIPMENT MASTER GROUND BAR TO BE VERIFIED @ FIELD
- ② (N) AWG 2 INSULATED COPPER GROUND WIRE FROM (N) RRUS TO (E) ANTENNA GROUND BAR
- ③ (N) AWG 6 INSULATED COPPER GROUND WIRE FROM GROUND KIT TO (E) ANTENNA GROUND BAR

NOTE:
(E) GROUND WIRES ARE NOT SHOWN FOR CLARITY.

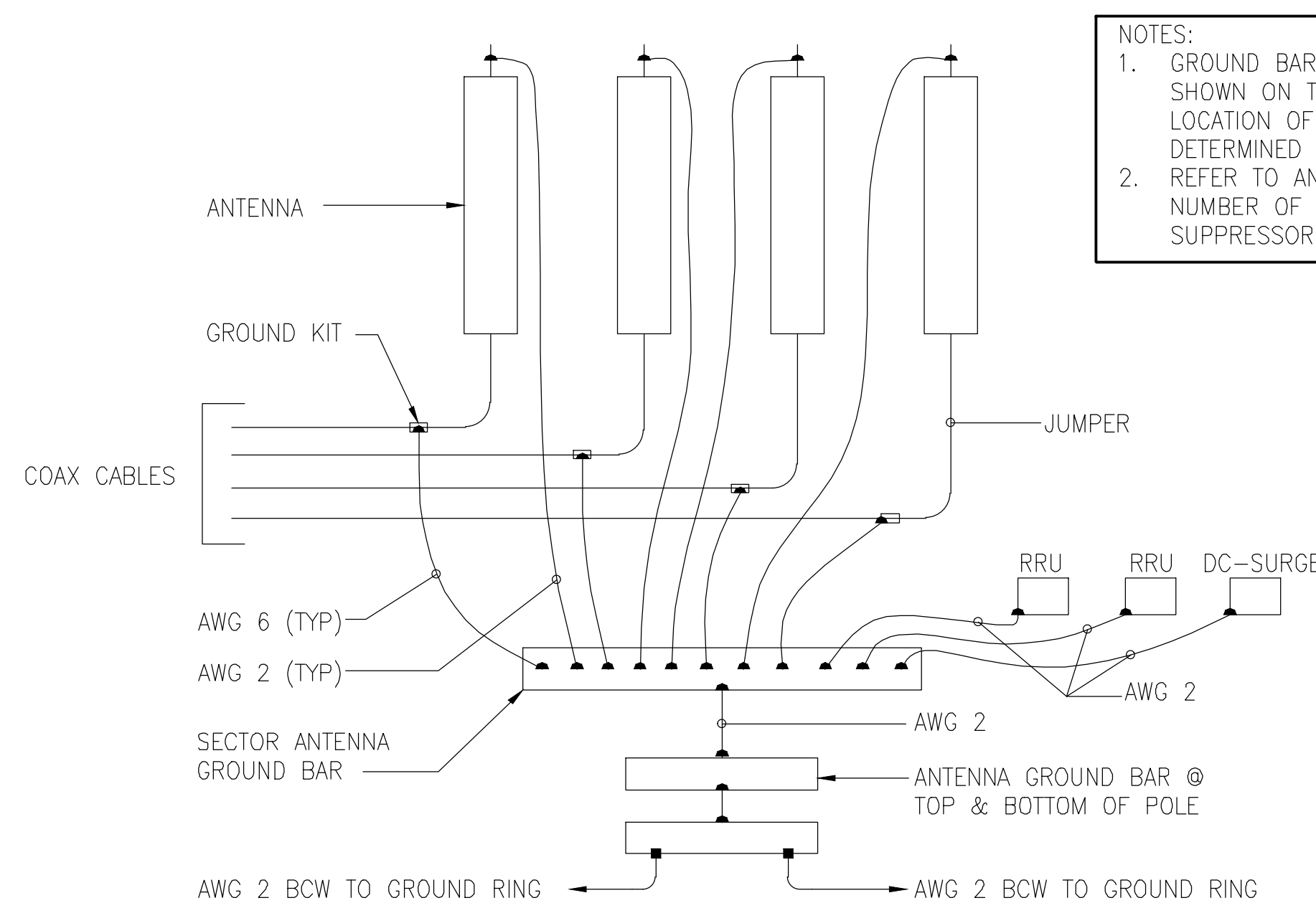


EQUIPMENT GROUNDING PLAN

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

NOTES

SCALE
N.T.S. 1

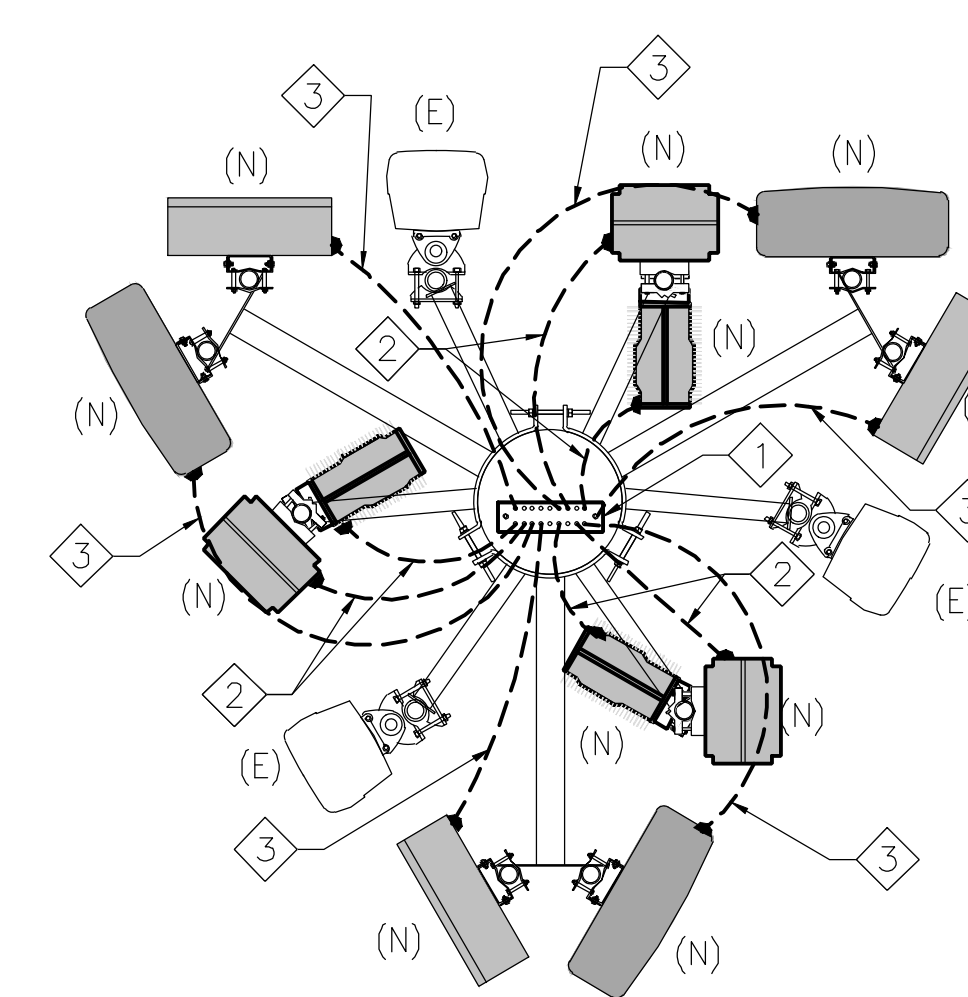


TYP. ANTENNA GROUNDING DIAGRAM

KEY NOTES:

- ① (E) ANTENNA GROUND BAR TO BE VERIFIED @ FIELD
- ② (N) AWG 2 INSULATED COPPER GROUND WIRE FROM (N) RRUS TO (E) ANTENNA GROUND BAR
- ③ (N) AWG 6 INSULATED COPPER GROUND WIRE FROM GROUND KIT TO (E) ANTENNA GROUND BAR

NOTES:
1. REFER TO TYP. ANTENNA GROUNDING DIAGRAM
2. (E) GROUND WIRES ARE NOT SHOWN FOR CLARITY



ANTENNA GROUNDING PLAN

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"



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IRVINE, CA 92614

SITE NUMBER:

SD02140A

SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

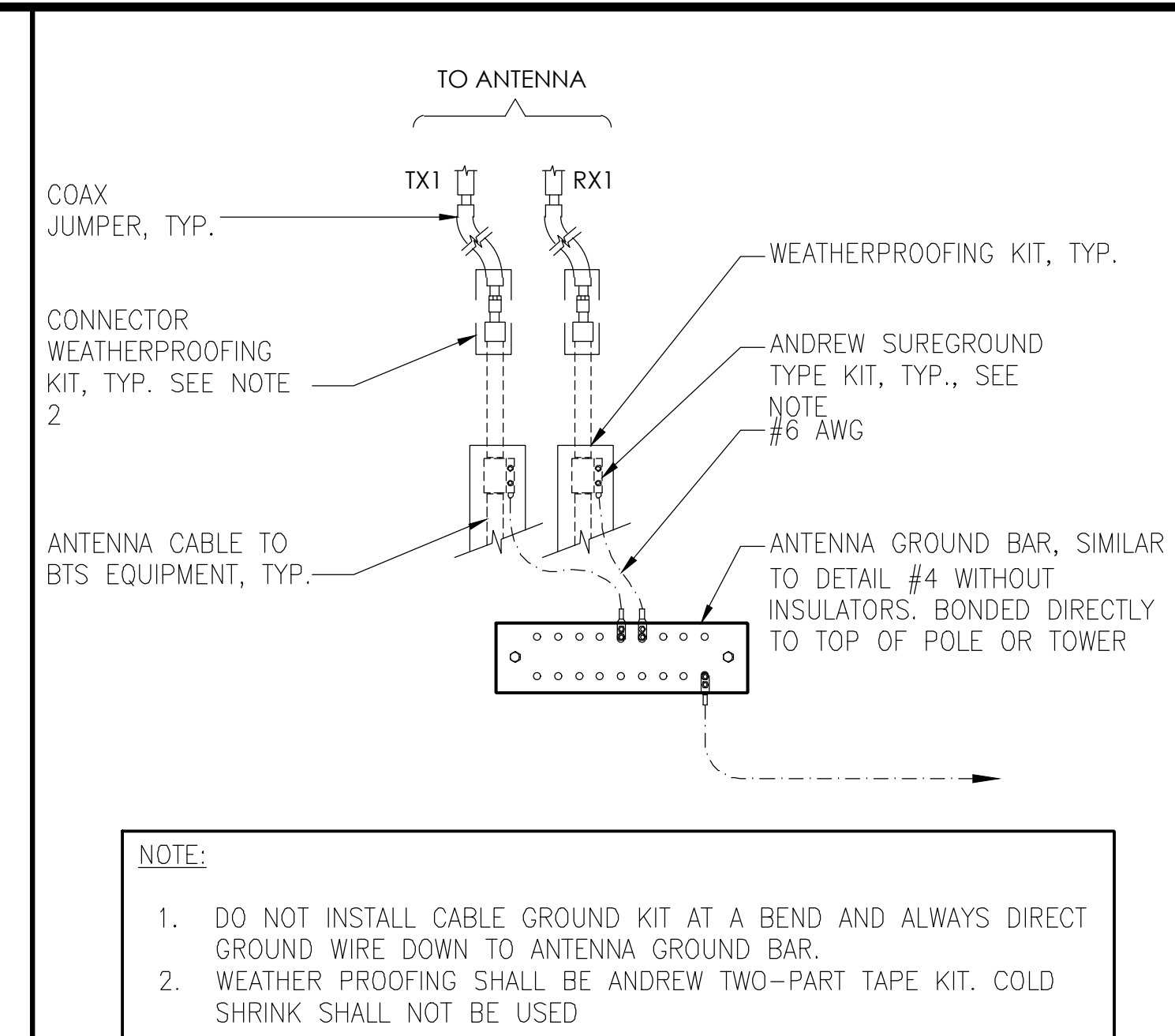
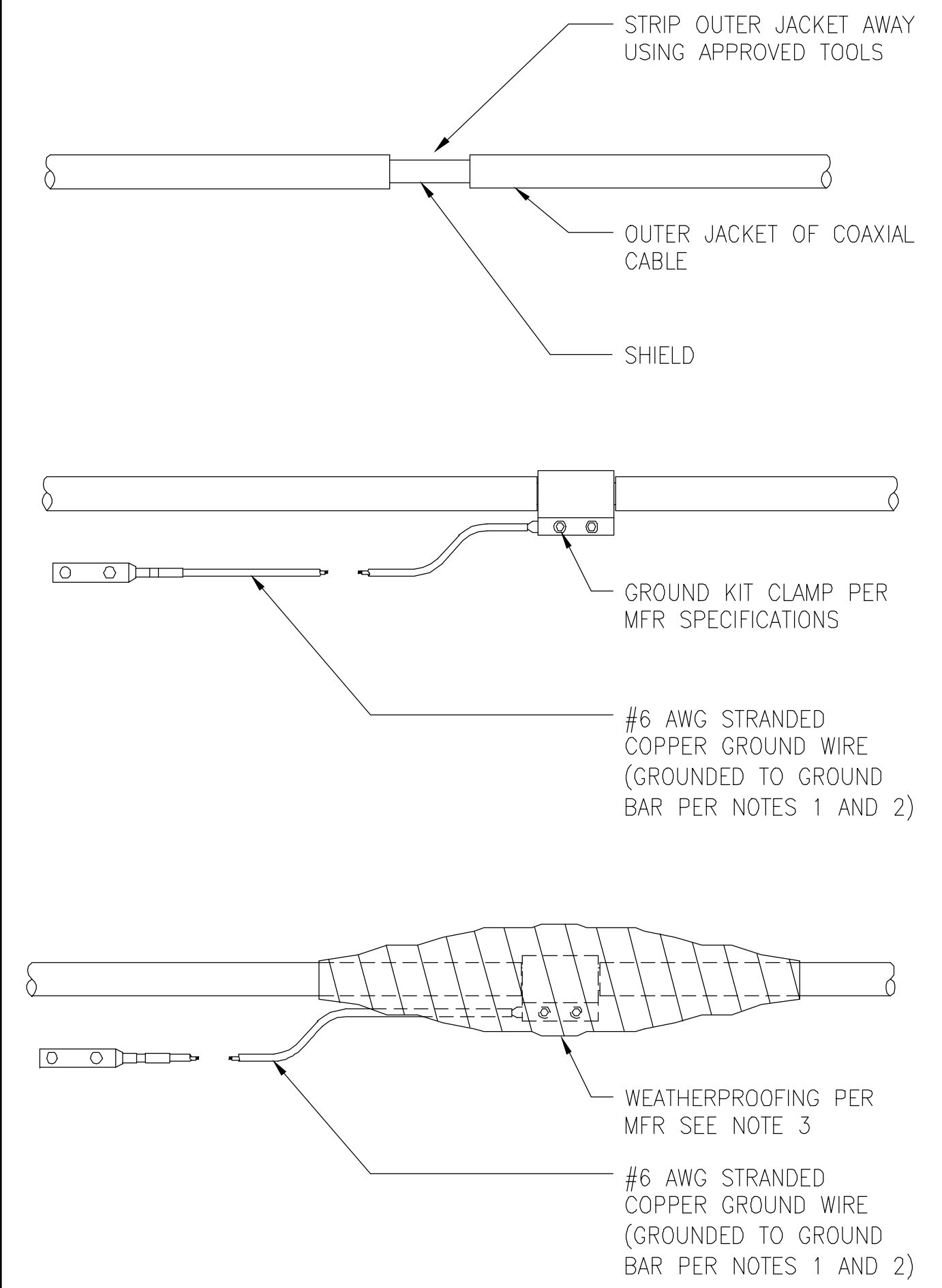
REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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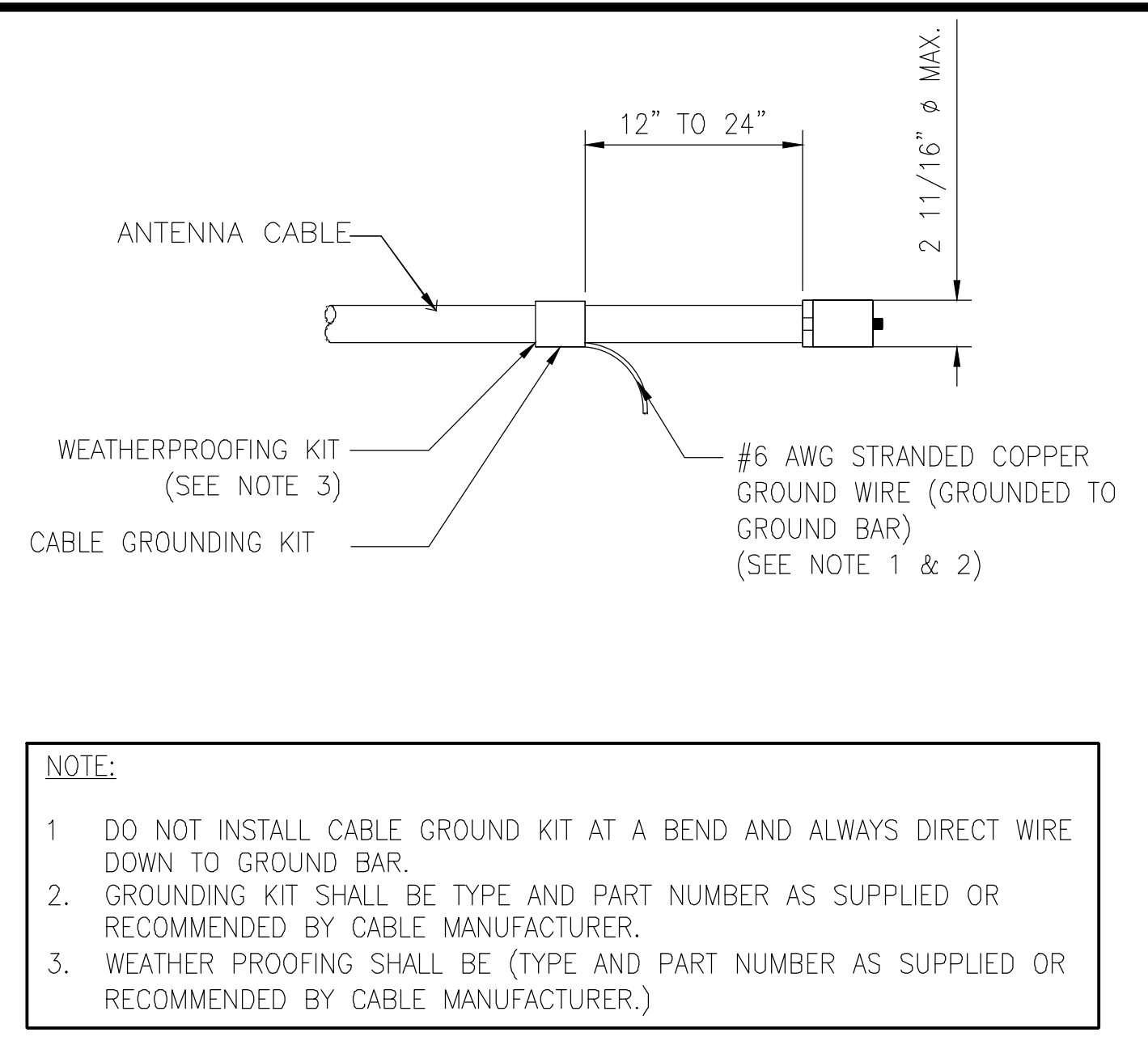
SHEET TITLE
GROUNDING PLAN & NOTES

SHEET NUMBER
G1

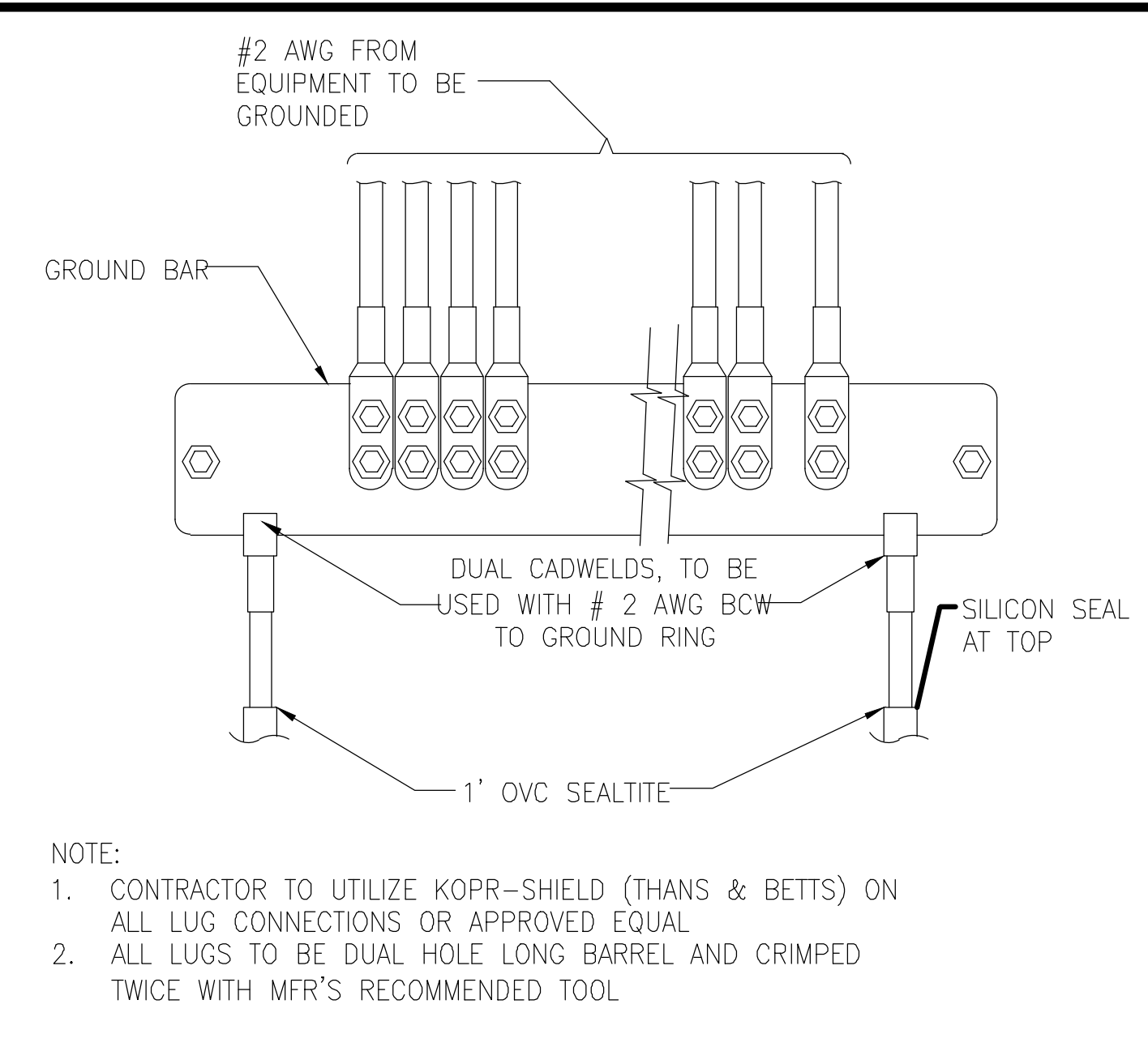
NOTES:
 1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
 2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MFR
 3. WEATHER PROOFING SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY THE CABLE MFR



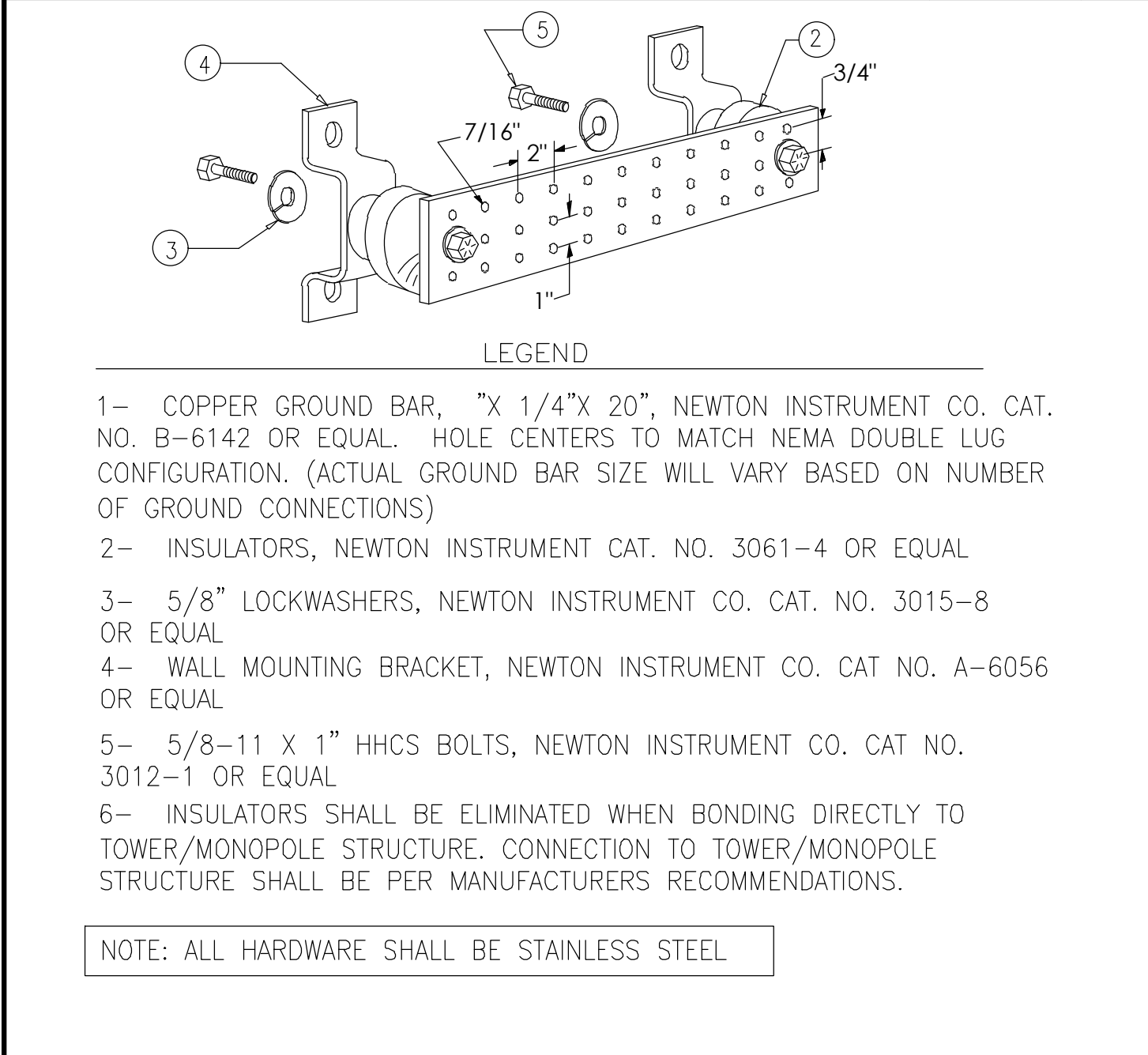
GROUNDING KIT SCALE N.T.S. 2



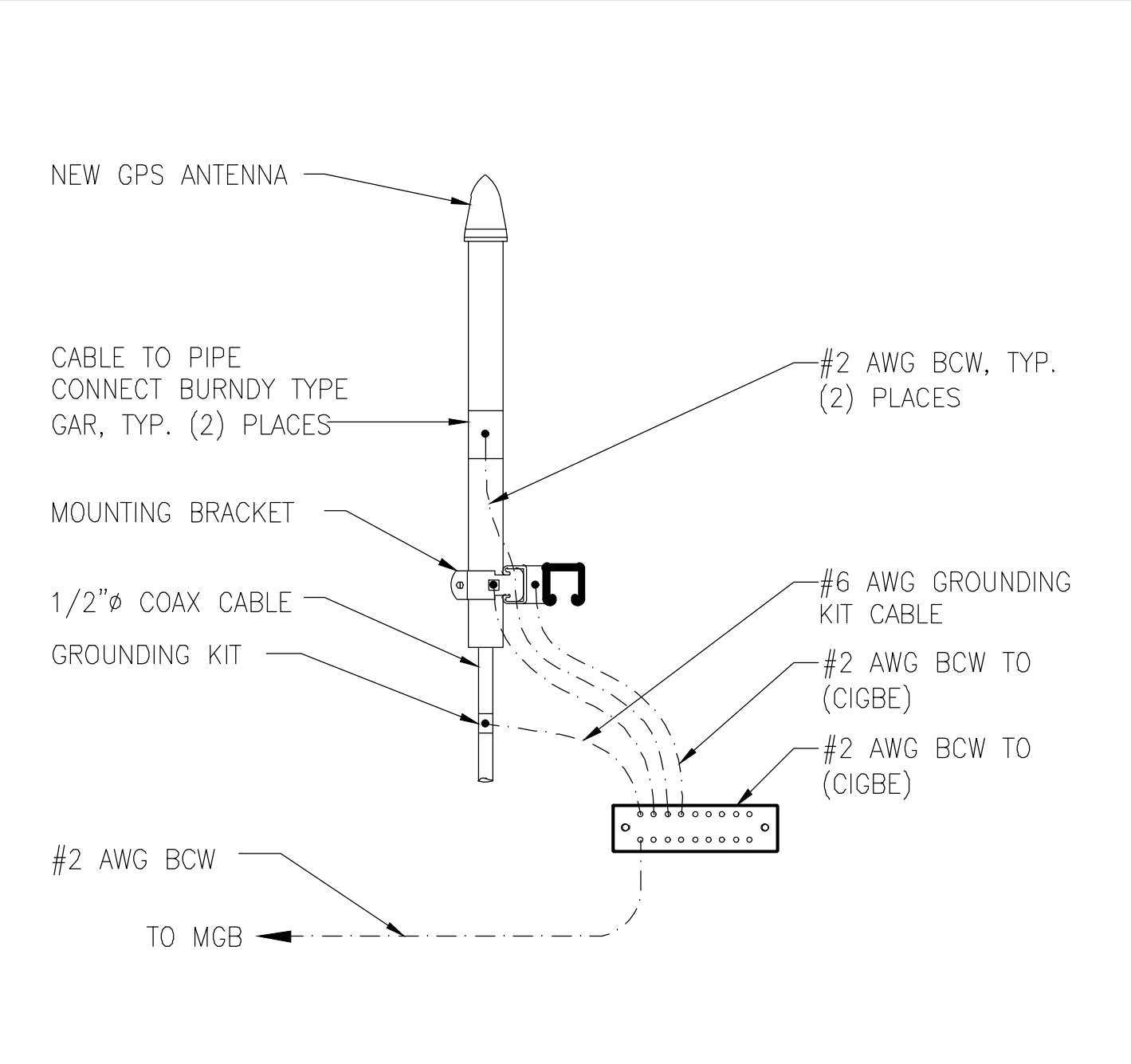
GROUND KIT CONN TO ANT CABL SCALE N.T.S. 3



GROUND BAR CONNECTION SCALE N.T.S. 4



GROUND BAR DETAIL SCALE N.T.S. 5

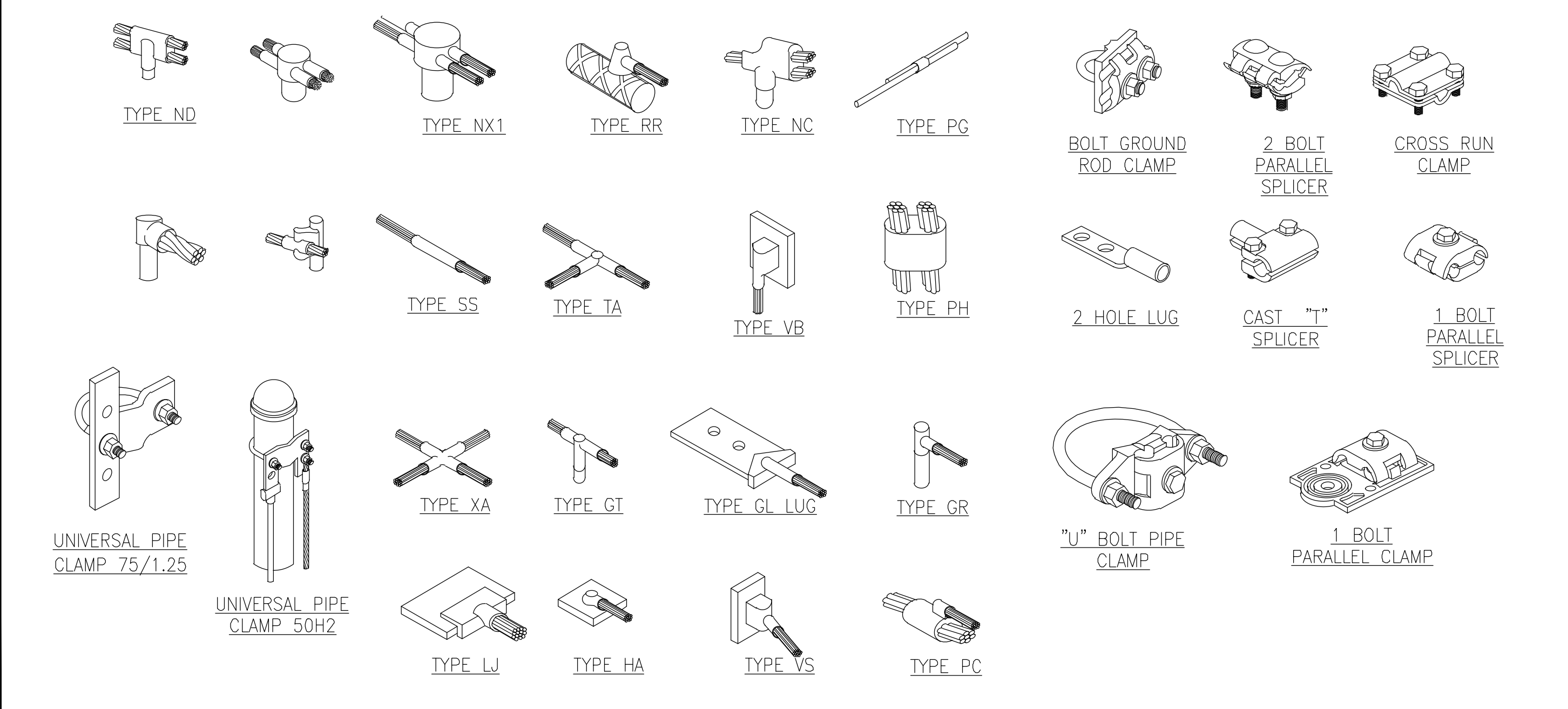


GPS ANTENNA GROUNDING TYP. SCALE N.T.S. 6

NOT USED

SCALE N.T.S. 7

GROUNDING KIT SCALE N.T.S. 1



TYPICAL MECHANICAL CONNECTIONS SCALE N.T.S. 8

NOT USED

SCALE N.T.S. 9

NOT USED

SCALE N.T.S. 10



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SITE NUMBER:
SD02140A

SITE NAME:
ENCANTO STANDPIPE

6780 AVIATION DRIVE,
SAN DIEGO, CA 92114

REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
0	08/21/20	100% CONSTRUCTION	RD
C	05/26/20	100% CONSTRUCTION	ES
B	05/18/20	100% CONSTRUCTION	ES
A	05/05/20	90% CONSTRUCTION	JD

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SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G2



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IRVINE, CA 92614

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SD02140A
SITE NAME:
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6780 AVIATION DRIVE,
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REV	DATE	DESCRIPTION	
1	11/03/20	1ST ROUND PCC	RD
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SHEET TITLE
**POWER PANEL
DESIGN AND SINGLE
LINE DIAGRAM**

SHEET NUMBER
E1

VOLTAGE: 120/240V, 1-PHASE, 3W, 200A, 42 KAIC MOUNTING: SURFACE
MAIN CB: 2P/200A NEMA: 3R LOCATION: @ LEASE AREA

VOLT AMPS		DESCRIPTION	POLE	BKR	CKT	PANEL 'A'		CKT	BKR	POLE	DESCRIPTION	VOLT AMPS	
PHASE A	PHASE B					A	B					PHASE A	PHASE B
-	-	SURGE SUPPRESSOR	2	60	1	●	●	2	20	1	G.F.I.	180	
-	-	-	-	-	3	●	●	4	20	1	SERVICE LIGHT		200
7000	-	RBS 6131	2	100	5	●	●	6	20	1	SPARE		
-	7000	-	-	-	7	●	●	8	30	2	GSM 1	2000	
2400	-	GSM 2	2	50	9	●	●	10	-	-	-		2000
-	2400	-	-	-	11	●	●	12	-	-	SPACE		
		SPACE			13	●	●	14					
					15	●	●	16					
					17	●	●	18					
					19	●	●	20					
					21	●	●	22					
					23	●	●	24					
9400	9400											2180	2200
PHASE A =		11,580 VA		PHASE B =		11,600 VA							
CONNECTED LOAD:		23,180 VA											
CONNECTED AMPS:		96.6 A											

EXISTING PANEL SCHEDULE

VOLTAGE: 120/240V, 1-PHASE, 3W, 200A, 42 KAIC MOUNTING: SURFACE
MAIN CB: 2P/200A NEMA: 3R LOCATION: @ LEASE AREA

VOLT AMPS		DESCRIPTION	POLE	BKR	CKT	PANEL 'A'		CKT	BKR	POLE	DESCRIPTION	VOLT AMPS	
PHASE A	PHASE B					A	B					PHASE A	PHASE B
-	-	SURGE SUPPRESSOR	2	60	1	●	●	2	20	1	G.F.I.	180	
-	-	-	-	-	3	●	●	4	20	1	SERVICE LIGHT		200
7000	-	RBS 6131	2	100	5	●	●	6	20	1	SPARE		
-	7000	-	-	-	7	●	●	8	30	2	SPARE		
-	-	SPACE	2	50	9	●	●	10	-	-	-		
-	-	-	-	-	11	●	●	12	-	-	SPACE		
8640	-	(N) 6160	2	100	13	●	●	14					
-	8640	-	-	-	15	●	●	16					
		SPACE			17	●	●	18					
					19	●	●	20					
					21	●	●	22					
					23	●	●	24					
15640	15640											180	200
PHASE A =		15,820 VA		PHASE B =		15,840 VA							
CONNECTED LOAD:		31,660 VA											
CONNECTED AMPS:		131.9 A											

REVISED PANEL SCHEDULE

NOTE:

- (N) LOAD, PURCELL CABINET RBS 6160 TO BE ADDED TO THIS PANEL.
- INSTALL (N) CB 2P/100A @ CKT #13-15 TO PROVIDE POWER TO (N) PURCELL CABINET.
- A.I.C. OF (N) CB SHOULD MATCH W/ A.I.C. OF (E) CBS.
- (E) GSM1 AND GSM2 ON CKT #9-11 AND CKT #8-10 TO BE REMOVED.
- CONTRACTOR TO VERIFY PRIOR TO REMOVING THESE LOADS.

