



CLIMATE ACTION PLAN CONSISTENCY CHECKLIST INTRODUCTION

In December 2015, the City adopted a Climate Action Plan (CAP) that outlines the actions that City will undertake to achieve its proportional share of State greenhouse gas (GHG) emission reductions. The purpose of the Climate Action Plan Consistency Checklist (Checklist) is to, in conjunction with the CAP, provide a streamlined review process for proposed new development projects that are subject to discretionary review and trigger environmental review pursuant to the California Environmental Quality Act (CEQA).¹

Analysis of GHG emissions and potential climate change impacts from new development is required under CEQA. The CAP is a plan for the reduction of GHG emissions in accordance with CEQA Guidelines Section 15183.5. Pursuant to CEQA Guidelines Sections 15064(h)(3), 15130(d), and 15183(b), a project's incremental contribution to a cumulative GHG emissions effect may be determined not to be cumulatively considerable if it complies with the requirements of the CAP.

This Checklist is part of the CAP and contains measures that are required to be implemented on a project-by-project basis to ensure that the specified emissions targets identified in the CAP are achieved. Implementation of these measures would ensure that new development is consistent with the CAP's assumptions for relevant CAP strategies toward achieving the identified GHG reduction targets. Projects that are consistent with the CAP as determined through the use of this Checklist may rely on the CAP for the cumulative impacts analysis of GHG emissions. Projects that are not consistent with the CAP must prepare a comprehensive project-specific analysis of GHG emissions, including quantification of existing and projected GHG emissions and incorporation of the measures in this Checklist to the extent feasible. Cumulative GHG impacts would be significant for any project that is not consistent with the CAP.

The Checklist may be updated to incorporate new GHG reduction techniques or to comply with later amendments to the CAP or local, State, or federal law.

¹ Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial level review. See Supplemental Development Regulations in the project's community plan to determine applicability.

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CAP CONSISTENCY CHECKLIST SUBMITTAL APPLICATION

- ❖ The Checklist is required only for projects subject to CEQA review.²
- ❖ If required, the Checklist must be included in the project submittal package. Application submittal procedures can be found in [Chapter 11: Land Development Procedures](#) of the City's Municipal Code.
- ❖ The requirements in the Checklist will be included in the project's conditions of approval.
- ❖ The applicant must provide an explanation of how the proposed project will implement the requirements described herein to the satisfaction of the Planning Department.

Application Information

Contact Information

Project No./Name: Project No. 503848 /UNIVERSITY AVENUE -MIXED USE

Property Address: 5556-5592,UNIVERSITY AVENUE,SAN DIEGO CA

Applicant Name/Co.: MARK GOTTSCHILICH / UNIVERSITY MANOR LLC

Contact Phone: 858.382.6906 Contact Email: mgreal7@gmail.com

Was a consultant retained to complete this checklist? ☒ Yes ☐ No If Yes, complete the following

Consultant Name: MANJU PAI Contact Phone: 949-608-0245

Company Name: STUDIOPI2 INC. Contact Email: manju@studiopi2.com

Project Information

1. What is the size of the project (acres)? 1.47
2. Identify all applicable proposed land uses:
- ☐ Residential (indicate # of single-family units): _____
- ☒ Residential (indicate # of multi-family units): 63
- ☒ Commercial (total square footage): 5,047.70 SF
- ☐ Industrial (total square footage): _____
- ☐ Other (describe): _____
3. Is the project or a portion of the project located in a Transit Priority Area? ☒ Yes ☐ No

4. Provide a brief description of the project proposed:

THE PROPOSED PROJECT IS A MIXED USE PROJECT INCLUSIVE OF 63 RESIDENTIAL UNITS, WITH A PROPOSED AREA 55,951.42 SF AND 5,047.70 SF OF COMMERCIAL STREET FRONT, ACCESSIBLE FROM PUBLIC R.O.W.

² Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial level review. See Supplemental Development Regulations in the project's community plan to determine applicability.



CAP CONSISTENCY CHECKLIST QUESTIONS

Step 1: Land Use Consistency

The first step in determining CAP consistency for discretionary development projects is to assess the project's consistency with the growth projections used in the development of the CAP. This section allows the City to determine a project's consistency with the land use assumptions used in the CAP.

| Step 1: Land Use Consistency | | |
|---|-------------------------------------|--------------------------|
| Checklist Item (Check the appropriate box and provide explanation and supporting documentation for your answer) | Yes | No |
| A. Is the proposed project consistent with the existing General Plan and Community Plan land use and zoning designations? ³ <u>OR</u> | | |
| B. If the proposed project is not consistent with the existing land use plan and zoning designations, and includes a land use plan and/or zoning designation amendment, would the proposed amendment result in an increased density within a Transit Priority Area (TPA) ⁴ and implement CAP Strategy 3 actions, as determined in Step 3 to the satisfaction of the Development Services Department? <u>OR</u> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| C. If the proposed project is not consistent with the existing land use plan and zoning designations, does the project include a land use plan and/or zoning designation amendment that would result in an equivalent or less GHG-intensive project when compared to the existing designations? | | |

If **"Yes,"** proceed to Step 2 of the Checklist. For question B above, complete Step 3. For question C above, provide estimated project emissions under both existing and proposed designation(s) for comparison. Compare the maximum buildout of the existing designation and the maximum buildout of the proposed designation.

If **"No,"** in accordance with the City's Significance Determination Thresholds, the project's GHG impact is significant. The project must nonetheless incorporate each of the measures identified in Step 2 to mitigate cumulative GHG emissions impacts unless the decision maker finds that a measure is infeasible in accordance with CEQA Guidelines Section 15091. Proceed and complete Step 2 of the Checklist.

THE PROJECT PROPOSED IS CONSISTENT WITH THE GENERAL PLAN WHICH IDENTIFIES THE SITE AS MULTIPLE USE; ADDITIONALLY THE PROJECT IS CONSISTENT WITH THE MID-CITY COMMUNITIES COMMUNITY PLAN WHICH DESIGNATES THE SITE AS COMMERCIAL MIXED-USE. LASTLY, THE PROJECT IS CONSISTENT WITH THE REQUIREMENTS OF THE CC-5-3 ZONE OF THE CENTRAL URBANIZED PLAN DISTRICT.

³ This question may also be answered in the affirmative if the project is consistent with SANDAG Series 12 growth projections, which were used to determine the CAP projections, as determined by the Planning Department.

⁴ This category applies to all projects that answered in the affirmative to question 3 on the previous page: Is the project or a portion of the project located in a transit priority area.

Step 2: CAP Strategies Consistency

The second step of the CAP consistency review is to review and evaluate a project's consistency with the applicable strategies and actions of the CAP. Step 2 only applies to development projects that involve permits that would require a certificate of occupancy from the Building Official or projects comprised of one and two family dwellings or townhouses as defined in the California Residential Code and their accessory structures.⁵ All other development projects that would not require a certificate of occupancy from the Building Official shall implement Best Management Practices for construction activities as set forth in the [Greenbook](#) (for public projects).

| Step 2: CAP Strategies Consistency | | | |
|--|-------------------------------------|--------------------------|--------------------------|
| Checklist Item (Check the appropriate box and provide explanation for your answer) | Yes | No | N/A |
| Strategy 1: Energy & Water Efficient Buildings | | | |
| <p>1. <i>Cool/Green Roofs.</i></p> <ul style="list-style-type: none"> • Would the project include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (Attachment A)?; <u>OR</u> • Would the project roof construction have a thermal mass over the roof membrane, including areas of vegetated (green) roofs, weighing at least 25 pounds per square foot as specified in the voluntary measures under California Green Building Standards Code?; <u>OR</u> • Would the project include a combination of the above two options? <p>Check "N/A" only if the project does not include a roof component.</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p>RESIDENTIAL: THE PROJECT WOULD INCLUDE ROOFING MATERIALS WITH A MINIMUM 3-YEAR AGED SOLAR REFLECTION INDEX EQUAL TO OR GREATER THAN THE VALUES SPECIFIED IN THE VOLUNTRY MEASURES UNDER CALIFORNIA GREEN BUILDING STANDARD CODES.</p> <p>NON-RESIDENTIAL: THE PROJECT WOULD INCLUDE ROOFING MATERIAL WITH MINIMUM 3 YEAR AGED SOLAR REFLECTION AND THERMITTANCE OR SOLAR REFLECTION INDEX QUAL TO OR GREATER THAN THE VALUES SPECIFIED IN CALIFORNIA GREEN BUILDING STANDARD CODE.</p> </div> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

⁵ Actions that are not subject to Step 2 would include, for example: 1) discretionary map actions that do not propose specific development, 2) permits allowing wireless communication facilities, 3) special events permits, 4) use permits or other permits that do not result in the expansion or enlargement of a building (e.g., decks, garages, etc.), and 5) non-building infrastructure projects such as roads and pipelines. Because such actions would not result in new occupancy buildings from which GHG emissions reductions could be achieved, the items contained in Step 2 would not be applicable.

2. *Plumbing fixtures and fittings*

With respect to plumbing fixtures or fittings provided as part of the project, would those low-flow fixtures/appliances be consistent with each of the following:

Residential buildings:

- Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi;
- Standard dishwashers: 4.25 gallons per cycle;
- Compact dishwashers: 3.5 gallons per cycle; and
- Clothes washers: water factor of 6 gallons per cubic feet of drum capacity?

Nonresidential buildings:

- Plumbing fixtures and fittings that do not exceed the maximum flow rate specified in [Table A5.303.2.3.1 \(voluntary measures\) of the California Green Building Standards Code](#) (See Attachment A); and
- Appliances and fixtures for commercial applications that meet the provisions of [Section A5.303.3 \(voluntary measures\) of the California Green Building Standards Code](#) (See Attachment A)?

Check "N/A" only if the project does not include any plumbing fixtures or fittings.



RESIDENTIAL DEVELOPMENT :
THE PROJECT WOULD USE LOW -FLOW FIXTURES /APPLIANCES
CONSISTENT WITH EACH OF FOLLOWING:
KITCHEN FAUCETS: MAX. FLOW RATE NOT TO EXCEED 1.5 GALLONS
PER MINUTE AT 60PSI STANDARD DISHWASHER:4.25 GALLONS PER
CYCLE
COMPACT DISHWASHERS:3.5GALLONS PER CYCLE
CLOTHES WASHERS:WATER FACTOR OF 6 GALLONS PER CUBIC
FEET OF DRUM CAPACITY

NON RESIDENTIAL DEVELOPMENT
- PLUMBING FIXTURES AND FITTINGS THAT TO DO NOT EXCEED
MAXIMUM FLOW RATE SPECIFIED IN TABLE A5.303.2.3.1(VOLUNTARY
MEASURES)OF THE CALIFORNIA GREEN BUILDING STANDARD CODE.
- APPLIANCES AND FIXTURES FOR COMMERCIAL APPLICATIONS
THAT MEET THE PROVISIONS OF SECTION A5.303.3(VOLUNTARY
MEASURES)OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE.

Strategy 3: Bicycling, Walking, Transit & Land Use

3. Electric Vehicle Charging

- Multiple-family projects of 17 dwelling units or less: Would 3% of the total parking spaces required, or a minimum of one space, whichever is greater, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official, to allow for the future installation of electric vehicle supply equipment to provide electric vehicle charging stations at such time as it is needed for use by residents?
- Multiple-family projects of more than 17 dwelling units: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use by residents?
- Non-residential projects: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use?

Check "N/A" only if the project is a single-family project or would not require the provision of listed cabinets, boxes, or enclosures connected to a conduit linking the parking spaces with electrical service, e.g., projects requiring fewer than 10 parking spaces.

RESIDENTIAL :

MULTIFAMILY OF MORE THAN 17 DWELLING UNITS - 3% OF PARKING SPACES TOWARD EV SPACES REQUIRED = 3 EV CHARGING SPACES, PROVIDED = 3 EV CHARGING SPACES + ONE ACTIVE ELECTRIC VEHICLE CHARGING STATION

NON - RESIDENTIAL /COMMERCIAL:

REQUIRED = 1EV SPACE

PROVIDED = 1 VAN ACCESSIBLE EV SPACE.



Strategy 3: Bicycling, Walking, Transit & Land Use

(Complete this section if project includes non-residential or mixed uses)

4. Bicycle Parking Spaces

Would the project provide more short- and long-term bicycle parking spaces than required in the City's Municipal Code ([Chapter 14, Article 2, Division 5](#))?⁶

Check "N/A" only if the project is a residential project.

THE PROJECT PROVIDES TOTAL OF 13 NUMBER OF MORE SHORT-TERM AND LONG-TERM BYCYCLE SPACES THAN REQUIRED PER CODE.

RESIDENTIAL BICYCLE SPACES REQUIRED = 28 SPACES, PROVIDED = 30 SPACES

COMMERCIAL - SHORT TERM BICYCLE PARKING SPACES REQUIRED - 0.1/ 1000 SF OR MINIMUM TWO. REQUIRED =2 SPACES , PROVIDED = 8 SPACES.

LONG TERM BICYCLE PARKING SPACES REQUIRED - 5 % OF TOTAL REQUIRED AUTOMOBILE PARKING OR MINIMUM 1. REQUIRED = 1SPACE, PROVIDED = 6 SPACES.



⁶ Non-portable bicycle corrals within 600 feet of project frontage can be counted towards the project's bicycle parking requirements.

5. *Shower facilities*

If the project includes nonresidential development that would accommodate over 10 tenant occupants (employees), would the project include changing/shower facilities in accordance with the voluntary measures under the [California Green Building Standards Code](#) as shown in the table below?

| Number of Tenant Occupants (Employees) | Shower/Changing Facilities Required | Two-Tier (12" X 15" X 72") Personal Effects Lockers Required |
|--|--|--|
| 0-10 | 0 | 0 |
| 11-50 | 1 shower stall | 2 |
| 51-100 | 1 shower stall | 3 |
| 101-200 | 1 shower stall | 4 |
| Over 200 | 1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants | 1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants |

Check "N/A" only if the project is a residential project, or if it does not include nonresidential development that would accommodate over 10 tenant occupants (employees).

PROJECT DOES NOT INCLUDE NON -RESIDENTIAL DEVELOPMENT THAT WOULD ACCOMMODATE OVER 10 TENANT OCCUPANT (EMPLOYEES)



6. *Designated Parking Spaces*

If the project includes a nonresidential use in a TPA, would the project provide designated parking for a combination of low-emitting, fuel-efficient, and carpool/vanpool vehicles in accordance with the following table?

| Number of Required Parking Spaces | Number of Designated Parking Spaces |
|-----------------------------------|-------------------------------------|
| 0-9 | 0 |
| 10-25 | 2 |
| 26-50 | 4 |
| 51-75 | 6 |
| 76-100 | 9 |
| 101-150 | 11 |
| 151-200 | 18 |
| 201 and over | At least 10% of total |

This measure does not cover electric vehicles. See Question 4 for electric vehicle parking requirements.

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces. The required designated parking spaces are to be provided within the overall minimum parking requirement, not in addition to it.

Check "N/A" only if the project is a residential project, or if it does not include nonresidential use in a TPA.

NON RESIDENTIAL :FOR THE REQUIRED 11COMMERCIAL PARKING SPACES, THE PROJECT WOULD PROVIDE 2 DESIGNATED PARKING SPACES FOR A COMBINATION OF LOW EMITTING ,FUEL -EFFICIENT AND CARPOOL/VANPOOL VEHICLES .



7. *Transportation Demand Management Program*

If the project would accommodate over 50 tenant-occupants (employees), would it include a transportation demand management program that would be applicable to existing tenants and future tenants that includes:

At least one of the following components:

- Parking cash out program
- Parking management plan that includes charging employees market-rate for single-occupancy vehicle parking and providing reserved, discounted, or free spaces for registered carpools or vanpools
- Unbundled parking whereby parking spaces would be leased or sold separately from the rental or purchase fees for the development for the life of the development

And at least three of the following components:

- Commitment to maintaining an employer network in the SANDAG iCommute program and promoting its RideMatcher service to tenants/employees
- On-site carsharing vehicle(s) or bikesharing
- Flexible or alternative work hours
- Telework program
- Transit, carpool, and vanpool subsidies
- Pre-tax deduction for transit or vanpool fares and bicycle commute costs
- Access to services that reduce the need to drive, such as cafes, commercial stores, banks, post offices, restaurants, gyms, or childcare, either onsite or within 1,320 feet (1/4 mile) of the structure/use?

Check "N/A" only if the project is a residential project or if it would not accommodate over 50 tenant-occupants (employees).

THE PROJECT WOULD NOT ACCOMMODATE OVER 50 TENANT-OCCUPANTS (EMPLOYEES).



Step 3: Project CAP Conformance Evaluation (if applicable)

The third step of the CAP consistency review only applies if Step 1 is answered in the affirmative under option B. The purpose of this step is to determine whether a project that is located in a TPA but that includes a land use plan and/or zoning designation amendment is nevertheless consistent with the assumptions in the CAP because it would implement CAP Strategy 3 actions. In general, a project that would result in a reduction in density inside a TPA would not be consistent with Strategy 3. The following questions must each be answered in the affirmative and fully explained.

1. Would the proposed project implement the General Plan's City of Villages strategy in an identified Transit Priority Area (TPA) that will result in an increase in the capacity for transit-supportive residential and/or employment densities?

Considerations for this question:

- Does the proposed land use and zoning designation associated with the project provide capacity for transit-supportive residential densities within the TPA?
- Is the project site suitable to accommodate mixed-use village development, as defined in the General Plan, within the TPA?
- Does the land use and zoning associated with the project increase the capacity for transit-supportive employment intensities within the TPA?

2. Would the proposed project implement the General Plan's Mobility Element in Transit Priority Areas to increase the use of transit?

Considerations for this question:

- Does the proposed project support/incorporate identified transit routes and stops/stations?
- Does the project include transit priority measures?

3. Would the proposed project implement pedestrian improvements in Transit Priority Areas to increase walking opportunities?

Considerations for this question:

- Does the proposed project circulation system provide multiple and direct pedestrian connections and accessibility to local activity centers (such as transit stations, schools, shopping centers, and libraries)?
- Does the proposed project urban design include features for walkability to promote a transit supportive environment?

4. Would the proposed project implement the City of San Diego's Bicycle Master Plan to increase bicycling opportunities?

Considerations for this question:

- Does the proposed project circulation system include bicycle improvements consistent with the Bicycle Master Plan?
- Does the overall project circulation system provide a balanced, multimodal, "complete streets" approach to accommodate mobility needs of all users?

5. Would the proposed project incorporate implementation mechanisms that support Transit Oriented Development?

Considerations for this question:

- Does the proposed project include new or expanded urban public spaces such as plazas, pocket parks, or urban greens in the TPA?
- Does the land use and zoning associated with the proposed project increase the potential for jobs within the TPA?
- Do the zoning/implementing regulations associated with the proposed project support the efficient use of parking through mechanisms such as: shared parking, parking districts, unbundled parking, reduced parking, paid or time-limited parking, etc.?

6. Would the proposed project implement the Urban Forest Management Plan to increase urban tree canopy coverage?

Considerations for this question:

- Does the proposed project provide at least three different species for the primary, secondary and accent trees in order to accommodate varying parkway widths?
- Does the proposed project include policies or strategies for preserving existing trees?
- Does the proposed project incorporate tree planting that will contribute to the City's 20% urban canopy tree coverage goal?



CLIMATE ACTION PLAN CONSISTENCY CHECKLIST ATTACHMENT A

This attachment provides performance standards for applicable Climate Action Plan (CAP) Consistency Checklist measures.

| Table 1 Roof Design Values for Question 1: Cool/Green Roofs supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan | | | | |
|---|------------|---------------------------------------|-------------------|------------------------|
| Land Use Type | Roof Slope | Minimum 3-Year Aged Solar Reflectance | Thermal Emittance | Solar Reflective Index |
| Low-Rise Residential | ≤ 2:12 | 0.55 | 0.75 | 64 |
| | > 2:12 | 0.20 | 0.75 | 16 |
| High-Rise Residential Buildings, Hotels and Motels | ≤ 2:12 | 0.55 | 0.75 | 64 |
| | > 2:12 | 0.20 | 0.75 | 16 |
| Non-Residential | ≤ 2:12 | 0.55 | 0.75 | 64 |
| | > 2:12 | 0.20 | 0.75 | 16 |
| <p>Source: Adapted from the California Green Building Standards Code (CALGreen) Tier 1 residential and non-residential voluntary measures shown in Tables A4.106.5.1 and A5.106.11.2.2, respectively. Roof installation and verification shall occur in accordance with the CALGreen Code.</p> <p>CALGreen does not include recommended values for low-rise residential buildings with roof slopes of ≤ 2:12 for San Diego's climate zones (7 and 10). Therefore, the values for climate zone 15 that covers Imperial County are adapted here.</p> <p>Solar Reflectance Index (SRI) equal to or greater than the values specified in this table may be used as an alternative to compliance with the aged solar reflectance values and thermal emittance.</p> | | | | |

Table 2 Fixture Flow Rates for Non-Residential Buildings related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

| Fixture Type | Maximum Flow Rate |
|---|---------------------------------------|
| Showerheads | 1.8 gpm @ 80 psi |
| Lavatory Faucets | 0.35 gpm @60 psi |
| Kitchen Faucets | 1.6 gpm @ 60 psi |
| Wash Fountains | 1.6 [rim space(in.)/20 gpm @ 60 psi] |
| Metering Faucets | 0.18 gallons/cycle |
| Metering Faucets for Wash Fountains | 0.18 [rim space(in.)/20 gpm @ 60 psi] |
| Gravity Tank-type Water Closets | 1.12 gallons/flush |
| Flushometer Tank Water Closets | 1.12 gallons/flush |
| Flushometer Valve Water Closets | 1.12 gallons/flush |
| Electromechanical Hydraulic Water Closets | 1.12 gallons/flush |
| Urinals | 0.5 gallons/flush |

Source: Adapted from the [California Green Building Standards Code](#) (CALGreen) Tier 1 non-residential voluntary measures shown in Tables A5.303.2.3.1 and A5.106.11.2.2, respectively. See the [California Plumbing Code](#) for definitions of each fixture type.

Where complying faucets are unavailable, aerators rated at 0.35 gpm or other means may be used to achieve reduction.

Acronyms:

gpm = gallons per minute

psi = pounds per square inch (unit of pressure)

in. = inch

Table 3 Standards for Appliances and Fixtures for Commercial Application related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

| Appliance/Fixture Type | Standard | |
|--|--|--|
| Clothes Washers | Maximum Water Factor (WF) that will reduce the use of water by 10 percent below the California Energy Commissions' WF standards for commercial clothes washers located in Title 20 of the <i>California Code of Regulations</i> . | |
| Conveyor-type Dishwashers | 0.70 maximum gallons per rack (2.6 L) (High-Temperature) | 0.62 maximum gallons per rack (4.4 L) (Chemical) |
| Door-type Dishwashers | 0.95 maximum gallons per rack (3.6 L) (High-Temperature) | 1.16 maximum gallons per rack (2.6 L) (Chemical) |
| Undercounter-type Dishwashers | 0.90 maximum gallons per rack (3.4 L) (High-Temperature) | 0.98 maximum gallons per rack (3.7 L) (Chemical) |
| Combination Ovens | Consume no more than 10 gallons per hour (38 L/h) in the full operational mode. | |
| Commercial Pre-rinse Spray Valves (manufactured on or after January 1, 2006) | Function at equal to or less than 1.6 gallons per minute (0.10 L/s) at 60 psi (414 kPa) and <ul style="list-style-type: none"> • Be capable of cleaning 60 plates in an average time of not more than 30 seconds per plate. • Be equipped with an integral automatic shutoff. • Operate at static pressure of at least 30 psi (207 kPa) when designed for a flow rate of 1.3 gallons per minute (0.08 L/s) or less. | |

Source: Adapted from the [California Green Building Standards Code](#) (CALGreen) Tier 1 non-residential voluntary measures shown in Section A5.303.3. See the [California Plumbing Code](#) for definitions of each appliance/fixture type.

Acronyms:

L = liter

L/h = liters per hour

L/s = liters per second

psi = pounds per square inch (unit of pressure)

kPa = kilopascal (unit of pressure)



County of San Diego

ELISE ROTHSCILD
DIRECTOR

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AMY HARBERT
ASSISTANT DIRECTOR

September 8, 2017

Mr. Lutfi Bustami
8051 Main Street
Stanton, CA 90680

Dear Mr. Bustami:

VOLUNTARY ASSISTANCE PROGRAM CASE #DEH2017-LSAM-000450
FORMER 2-B RENTALS
5586 UNIVERSITY AVENUE, SAN DIEGO, CA

Staff of the Department of Environmental Health (DEH) reviewed the August 18, 2017 *Removal Action Workplan* (RAW), prepared by Murex Environmental, Inc. (Murex).

According to the RAW, the Site is part of a larger redevelopment project that encompasses a total of three parcels that comprise the range of even-numbered addresses from 5556 to 5592 University Avenue.

Five underground storage tanks (USTs) were present beneath the Site. The tanks were originally used to store Stoddard solvent, a dry cleaning solution. Later, at least one tank was used to store gasoline. The USTs were removed on June 9, 1992.

Based on the results of the soil sampling, Unauthorized Release Case H32242-001 was opened. Liquid free-phase petroleum hydrocarbons were observed in one monitoring well at the Site. Murex oversaw the installation of six soil-vapor probes (SG-1 through SG-6) and two rounds of on-Site analysis of soil-vapor samples in August 2011. An additional vapor sampling event was completed in October 2011.

Following the submittal of the Corrective Action Plan (CAP) in 2013, which recommended remediation by natural attenuation, the case received regulatory closure from DEH on February 24, 2014. Based on the delineated TPH and Stoddard solvent impact in the unsaturated zone, the estimated volume of impacted soil is on the order of 1,500 to 2,000 cubic yards. The case closure document stated that "Property redevelopment for commercial use with demolition of all existing buildings on site is planned. Structure identified as 5586 University Avenue fails for health risk and will remain vacant until it is demolished. Reoccupancy of this structure requires mitigation and/or engineering controls with oversight by the DEH Voluntary Assistance Program". Voluntary Assistance Program Case DEH2017-LSAM-000450 was opened on August 25, 2017.

The current (vacant) buildings at the Site are proposed to be demolished and replaced with a mixed use development, including both residential and commercial buildings. Once the current buildings have been demolished, Murex proposes to remove the residual soil contamination via excavation. It is estimated that an area of approximately 40 by 56 feet will be excavated to a depth of 12 feet below ground surface (bgs). This entails a total of approximately 1,000 cubic yards of soil.

Following excavation activities, Murex will perform verification sampling in order to confirm the removal of petroleum-impacted soil from the Site. Soil samples will be collected every 20 feet along the sidewalls at depths of 6 and 12 feet in addition to within the middle of the base of the excavation.

After at least a week, six soil borings will be advanced using direct-push technology within both the areas within and surrounding the excavation of petroleum-impacted soil. Soil vapor probes will be installed within each of these borings at depths of 5 and 15 feet bgs. Following a two-hour equilibration period, each of the soil vapor probes will be purged and then sampled for VOCs by EPA Method TO-15 using an on-Site mobile laboratory.

DEH approves the RAW as proposed with the following modifications:

1. Regarding the proposed vapor sampling, please wait a month following probe installation to sample. Conduct three sampling events. The first sampling event should be conducted one month following installation, the second event should be conducted six weeks after installation, and the third sampling event should be conducted eight weeks after installation.
2. Regarding public notification, please post the Site with the notice and provide the notice at least a week prior to excavation activities to property owners and occupants of properties adjacent to the Site as well as the City planning group for that area. Please keep a record of public comments and complaints as well as any mitigation actions taken and include the record in the report.

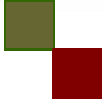
If you have any questions, please call me at (858) 505-6969.

Sincerely,

James Clay
Digitally signed by James Clay
DN: cn=James Clay, o=Department of
Environmental Health, ou=County of San Diego,
email=james.clay@sdcounty.ca.gov, c=US
Date: 2017.09.08 13:09:48 -07'00'

JAMES CLAY, Environmental Health Specialist III
Land and Water Quality Division

cc: Mr. Kent Huth, Murex (by email)



DRAINAGE STUDY REPORT

FOR

University Manor, LLC

5556 University Avenue
San Diego, CA 92105

April 27, 2018



Prepared For:
Mr. Lutfi Bustami
University Manor, LLC
8051 Main Street
Stanton, CA 90680

Project No 20150047.01
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1. PROJECT DESCRIPTION

The purpose of this hydrology and Low Impact Development (LID) report is to establish post construction run-off conditions sizing of the storm water conveyance system and its incorporation into the post construction mitigation measures. The proposed new multi-unit housing and commercial development at 5556-5592 East University Avenue, in the City of San Diego, California.

The proposed new development includes the addition/replacement of approximately 53,143 sf of impervious surfaces consisting of commercial and residential spaces with parking and ADA access along with 12,632 sf of landscaping.

2. PROJECT BACKGROUND

The project site is located at 32°44'54.4"N and 117°04'32.9"W just west of the intersection of University Avenue and Chollas Parkway in the City of San Diego, CA and is located within the Eastern (Mid-City) community plan area. The 1.51-acre project site is currently comprised of commercial and residential structures which will be demolished to build a new multi-unit housing and commercial development. The exiting stormwater runoff is directed towards street.

3. HYDROLOGY STUDY

The approximate area of the project site 1.51 acres. To analyze the runoff response the drainage area will divide into subareas by locating significant points of interest.

- Working from upstream to downstream, assign a number representing each subarea in the drainage system to each point of interest.
- Measure each subarea in the drainage area to determine its size in acres (A).
- Determine the length and effective slope of the flow path in each subarea.
- Identify the soil type for each subarea.
- Determine the runoff coefficient (C) for each subarea base on Table 3-1 of the Hydrology Manual.
- Determine the Intensity for 100-year design storm frequency.

The hydrology map will show the flow path of travel, discharge points, Q and V at all discharge points, area of each basin and drainage nodes.

Comparing the existing flow $Q_{100} = 6.42$ cfs and proposed $Q_{100} = 6.99$ cfs for the impervious area. The BMP infiltration basin of the post development will detain stormwater to 0.75 cfs and release 6.24 cfs into public storm drain which is less

than the existing condition. The BMP infiltration system helps detained stormwater and reduce the runoff to public storm drain. See table 2.

Based on the hydrology and LID study, the site drainage has adequate capacity handle the new flows generated due to the small net increase in the impervious area. The stormwater runoff will be filtered and discharged into an Ecorain Tank system for infiltration; the overflow will discharge into existing public catch basin. The stormwater leaving the project site will be free from sediment and debris before entering the public storm drain.

The new development is not located close to any river or lake environment which involves dredging, filling or other impacts either temporarily or permanently to waters of the US. Therefore, it is not necessary to obtain approval from Regional Water Quality Control Board Under Federal Clean Water Act (CWA) section 401 or 404.

4. DRAINAGE CHARACTERISTICS

The proposed new development will create 53,143 sf of impervious surfaces and is calculated to be 81% of the total construction area (65,775 sf) in the post-development condition therefore requiring the entire site to be treated with structural BMPs. The remaining 19% is allocated as landscape areas. When compared to the pre-development, which has 74% impervious and 26% pervious (undeveloped) area. The post-construction has increased the impervious portion of the site.

In the post development condition, the project will be divided into multiple sub-areas where stormwater will sheet flow to near-by catch basins then gravity flow through the underground pipe to the infiltration basin (BMP-1) at southeast parking lot of level 1.

The drainage pattern of the existing site drain from North to South toward street then into the public catch basin. The on-site runoff of the new development is capture by roof drain and catch basin via underground pipe to infiltration BMP (Ecorain tank). The overflow from Ecorain tank will then discharge to public catch basin at street. The infiltration BMPs reduce the amount of water leaving the site through existing city storm drains. The only storm water that could potentially leave the site will do so through overflow lines at the infiltration tank which have been sized for the 100-year storm event.

Table 1. Pre and Post Development Discharge Calculation

| TOTAL AREA | AREA (ACRES) | EXISTING FLOW RATE (Q_E) CFS | PROPOSED FLOW RATE (Q_P) CFS | RUNOFF FACTOR (C) |
|---------------------|-------------------------|---|---|----------------------------------|
| EXISTING IMPERVIOUS | 1.12 | 6.42 | - | 0.87 |
| PROPOSED IMPERVIOUS | 1.22 | - | 6.99 | 0.87 |
| EXISTING PERVIOUS | 0.39 | | | |
| PROPOSED PERVIOUS | 0.29 | | | |
| TOTAL OF PROJECT | 1.51 | | | |

| RUNOFF AREA | RUNOFF COEFFICIENT | INTENSITY (IN/HR) | AREA (ACRE) | FREQUENCY STORM | RUNOFF (CFS) |
|------------------------|-------------------------------|------------------------------|------------------------|----------------------------|-------------------------|
| EXISTING | 0.87 | 6.59 | 1.12 | 100-YR STORM | 6.42 |
| PROPOSED | 0.87 | 6.59 | 1.22 | 100-YR STORM | 6.99 |
| DETAINED | | | | | 0.57 |
| RELEASED | | | | | 6.42 |

5. INFILTRATION BASIN

The methods utilized to determine the potential run-off for a study area is based upon record information that has been collected by both the City of San Diego and the San Diego County Department of Public Works Flood Control Section.

Information for this study has been obtained from The City of San Diego Storm Water Standards Manual (January 2016) for LID analysis and from The San Diego County Hydrology Manual (June 2003).

A review of the soils map shows Hydrologic Soil Group D to be prevalent in the project area based on the San Diego County Hydrology Manual (Appendix A, June 2003).

The Stormwater infiltration basin will store runoff into the underground Ecorain Tank until it gradually infiltrates into the soil. The Ecorain tanks are underground modular structures designed to accept and hold rain and runoff water for infiltration into the groundwater table, detention for controlled release. Both the 100-year design storm frequency, and 85th percentile rainfall event were adopted to calculate run-off flow rates for this project.

6. APPENDIX

- Vicinity Maps
- San Diego County 100-year 6-hour Isopluvial Map
- Table 3-1: Runoff Coefficients for Urban Areas
- Table 3-2: Max. Overland Flow Length and Initial Time of Concentration
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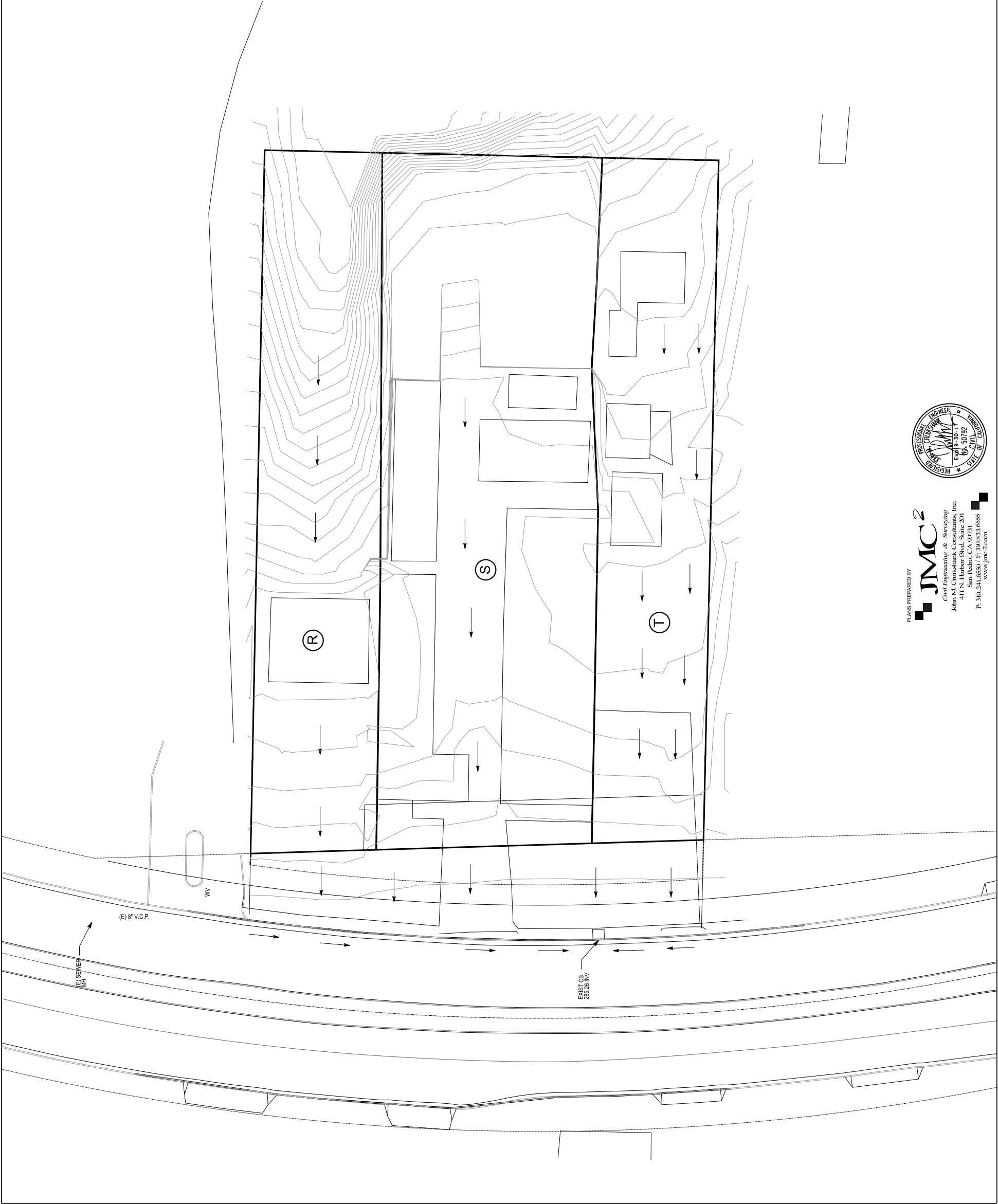
**Table 3-1
RUNOFF COEFFICIENTS FOR URBAN AREAS**

| NRCS Elements | Land Use | County Elements | Runoff Coefficient "C" | | | |
|---------------------------------------|--------------------------------|-----------------|------------------------|-----------|------|------|
| | | | % IMPER. | Soil Type | | |
| | | | | A | B | C |
| Undisturbed Natural Terrain (Natural) | Permanent Open Space | | 0* | 0.20 | 0.25 | 0.30 |
| Low Density Residential (LDR) | Residential, 1.0 DU/A or less | | 10 | 0.27 | 0.32 | 0.36 |
| Low Density Residential (LDR) | Residential, 2.0 DU/A or less | | 20 | 0.34 | 0.38 | 0.42 |
| Low Density Residential (LDR) | Residential, 2.9 DU/A or less | | 25 | 0.38 | 0.41 | 0.45 |
| Medium Density Residential (MDR) | Residential, 4.3 DU/A or less | | 30 | 0.41 | 0.45 | 0.48 |
| Medium Density Residential (MDR) | Residential, 7.3 DU/A or less | | 40 | 0.48 | 0.51 | 0.54 |
| Medium Density Residential (MDR) | Residential, 10.9 DU/A or less | | 45 | 0.52 | 0.54 | 0.57 |
| Medium Density Residential (MDR) | Residential, 14.5 DU/A or less | | 50 | 0.55 | 0.58 | 0.60 |
| High Density Residential (HDR) | Residential, 24.0 DU/A or less | | 65 | 0.66 | 0.67 | 0.69 |
| High Density Residential (HDR) | Residential, 43.0 DU/A or less | | 80 | 0.76 | 0.77 | 0.78 |
| Commercial/Industrial (N. Com) | Neighborhood Commercial | | 80 | 0.76 | 0.77 | 0.78 |
| Commercial/Industrial (G. Com) | General Commercial | | 85 | 0.80 | 0.80 | 0.81 |
| Commercial/Industrial (O.P. Com) | Office Professional/Commercial | | 90 | 0.83 | 0.84 | 0.84 |
| Commercial/Industrial (Limited I.) | Limited Industrial | | 90 | 0.83 | 0.84 | 0.84 |
| Commercial/Industrial (General I.) | General Industrial | | 95 | 0.87 | 0.87 | 0.87 |

*The values associated with 0% impervious may be used for direct calculation of the runoff coefficient as described in Section 3.1.2 (representing the pervious runoff coefficient, C_p , for the soil type), or for areas that will remain undisturbed in perpetuity. Justification must be given that the area will remain natural forever (e.g., the area is located in Cleveland National Forest).

DU/A = dwelling units per acre

NRCS = National Resources Conservation Service



LEGEND:

- DRAINAGE BASIN BOUNDARY
- DRAINAGE SUB-BASIN BOUNDARY
- FLOW DIRECTION
- PROPOSED STORM DRAIN
- PROPOSED CATCH BASIN
- PROPOSED ROUND GRATE DRAIN
- PROPOSED ROOF DRAIN
- PROPOSED TRENCH DRAIN
- PROPOSED SUB AREA NUMBER

| SUB AREA | AREA (AC) | Q ₅₀ (CF) | Q ₁₀₀ (CF) |
|----------|-----------|----------------------|-----------------------|
| R | 0.39 | 2.03 | 2.21 |
| S | 0.67 | 3.52 | 3.83 |
| T | 0.35 | 1.86 | 2.03 |
| TOTAL | 1.41 | 7.42 | 8.07 |

PLANS PREPARED BY

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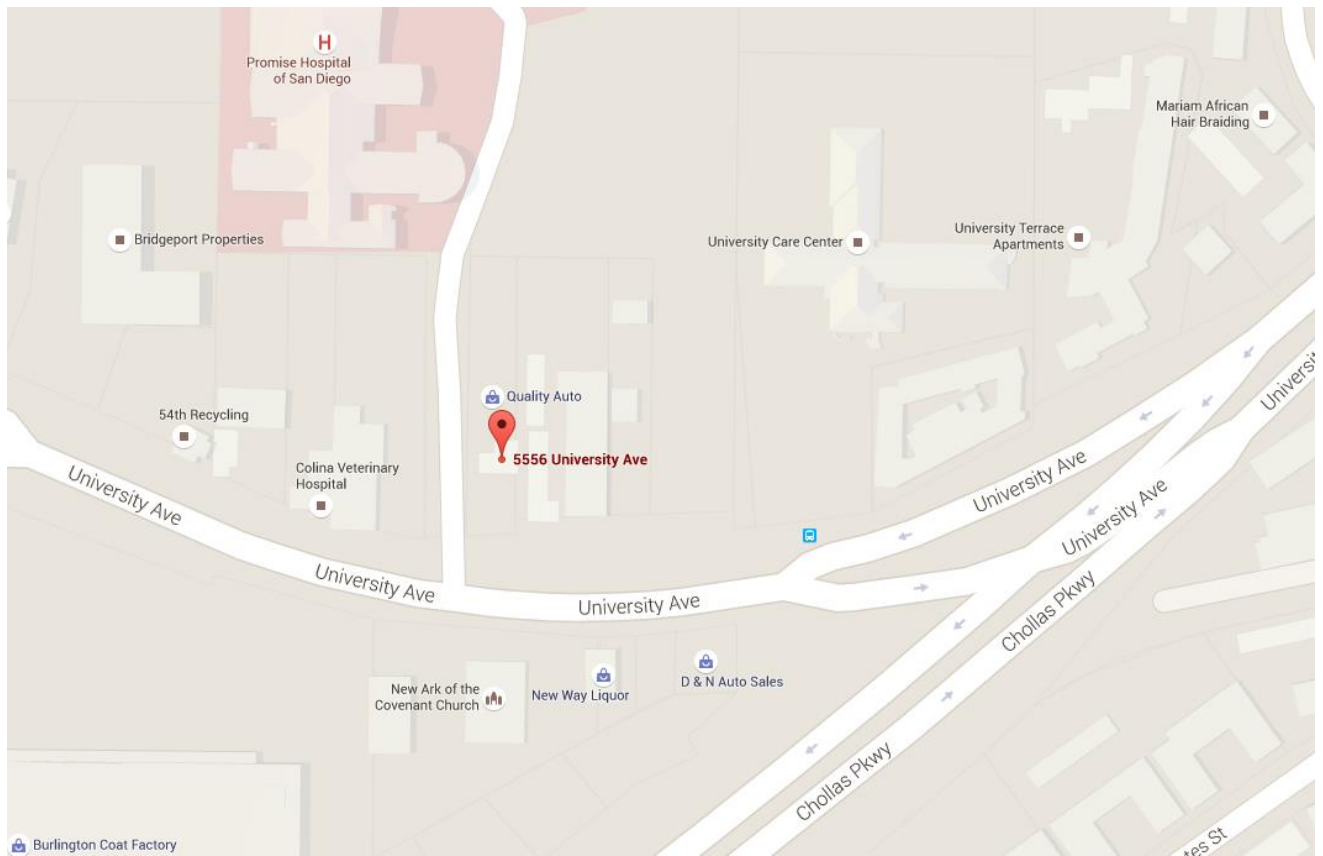
EXPIRATION DATE 06/30/2022

NO. 50792

STATE OF CALIFORNIA

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SITE VICINITY MAP



County of San Diego Hydrology Manual



Rainfall Isoplethals

100 Year Rainfall Event - 6 Hours

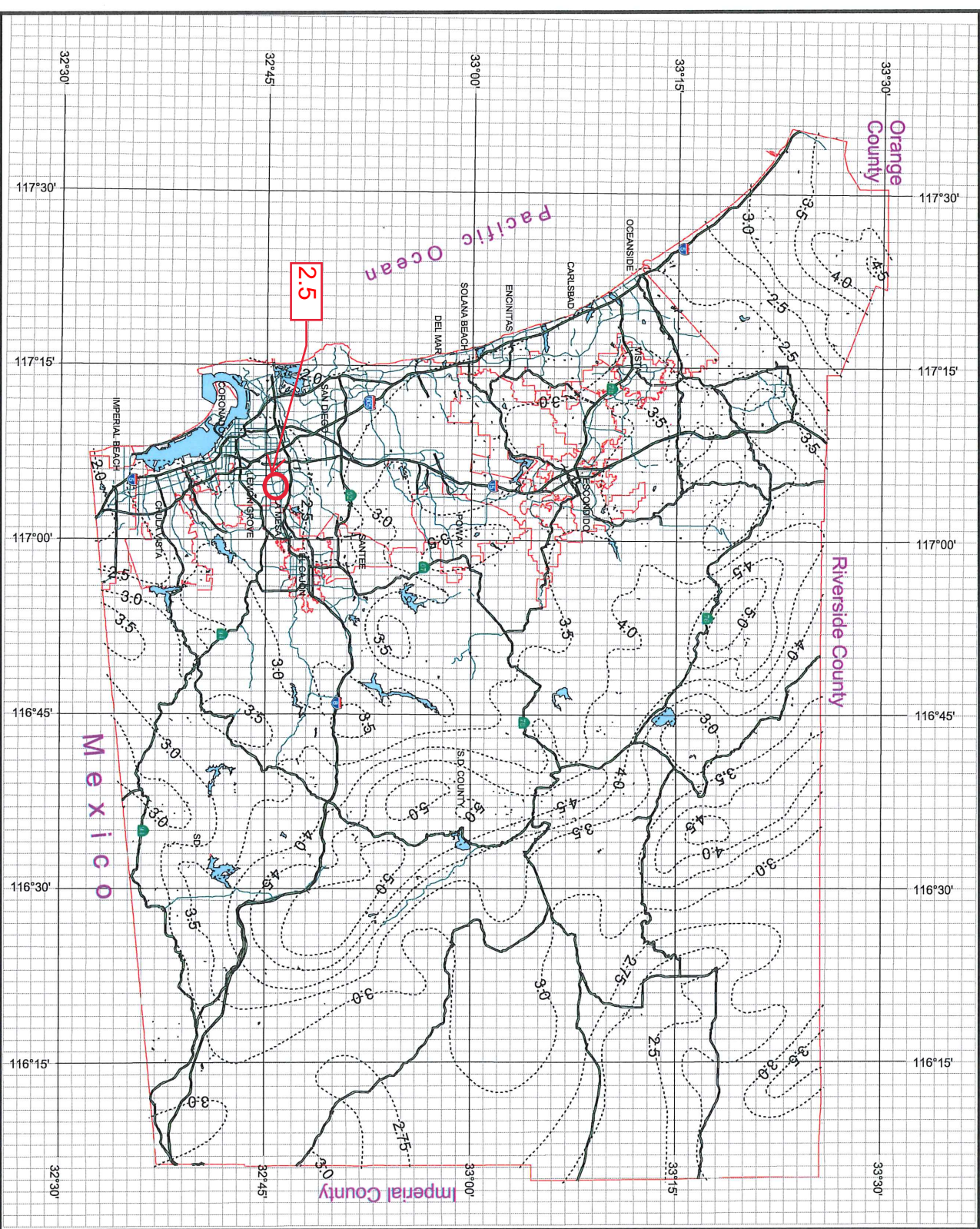
..... Isopleth (inches)

3 0 3 Miles

SanGIS

San Diego County

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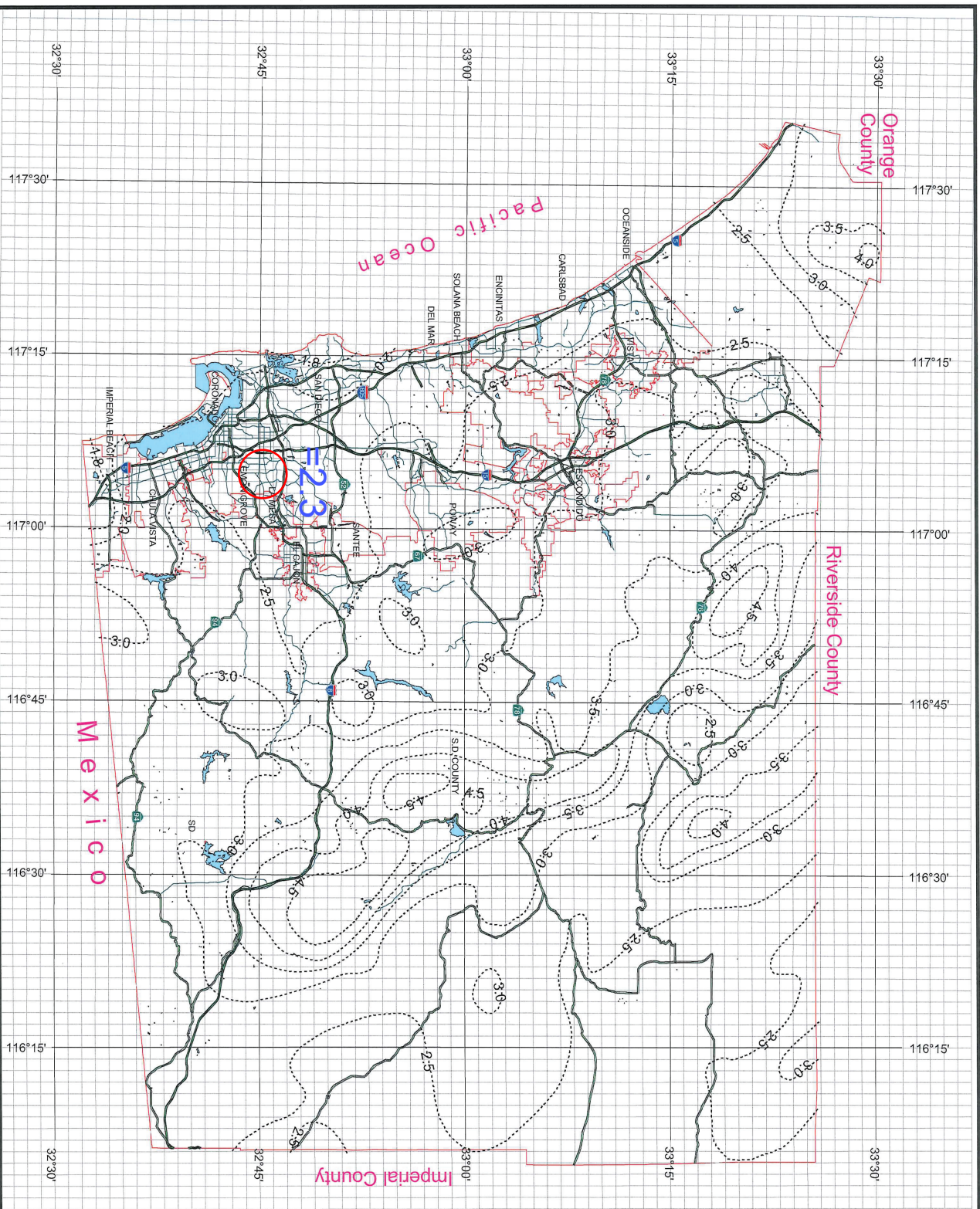
County of San Diego Hydrology Manual



Rainfall Isopleths

50 Year Rainfall Event - 6 Hours

----- Isopleth (inches)



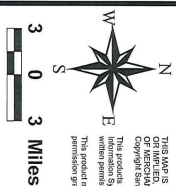



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50 Year Rainfall Event - 24 Hours

Isopluvial (inches)



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County of San Diego Hydrology Manual




Rainfall Isopleths

100 Year Rainfall Event - 6 Hours







San Diego County
Department of Public Works



We Have San Diego Covered!



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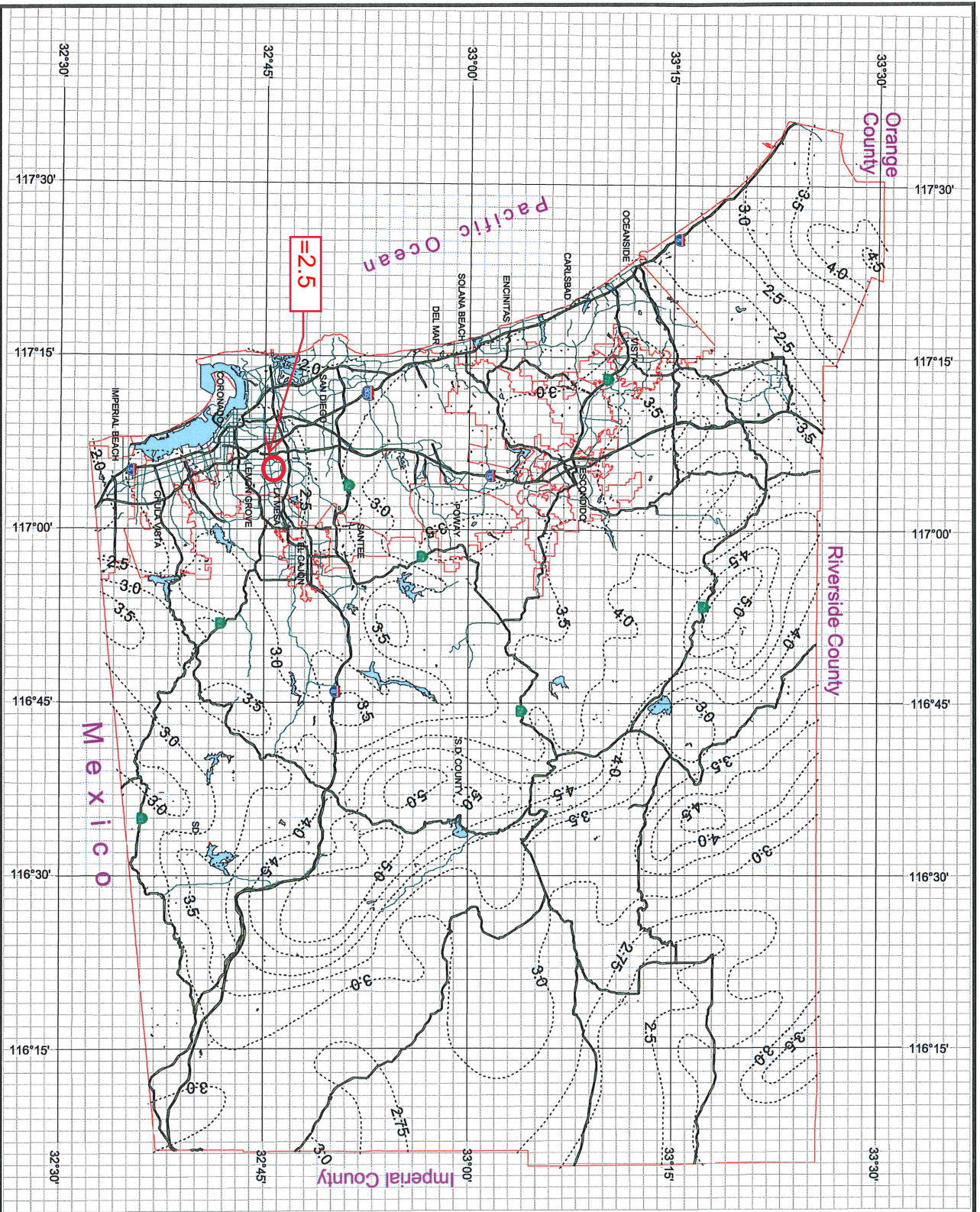


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County of San Diego Hydrology Manual



Rainfall Isoplethals

100 Year Rainfall Event - 24 Hours

----- Isopleth (inches)

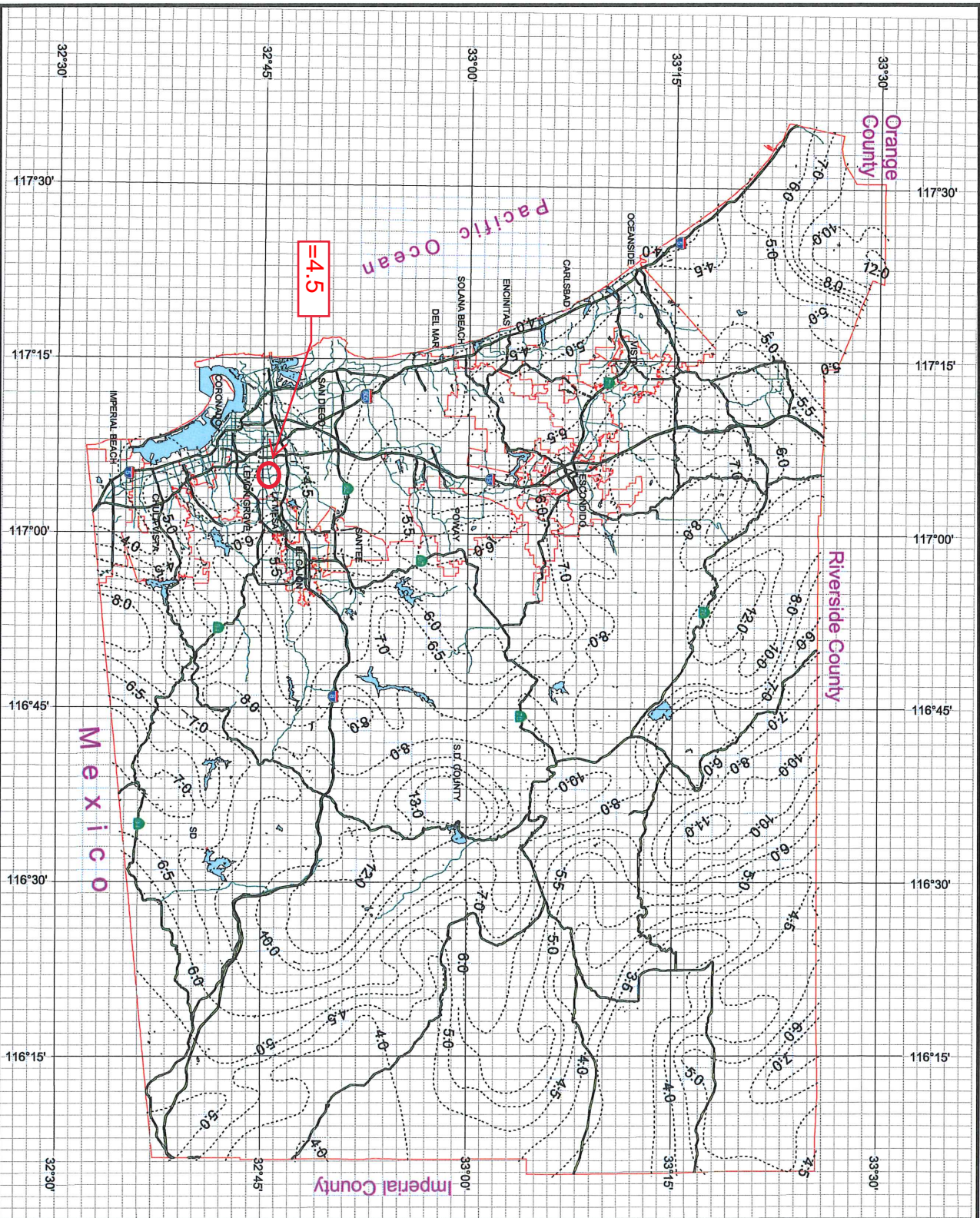



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Note that the Initial Time of Concentration should be reflective of the general land-use at the upstream end of a drainage basin. A single lot with an area of two or less acres does not have a significant effect where the drainage basin area is 20 to 600 acres.

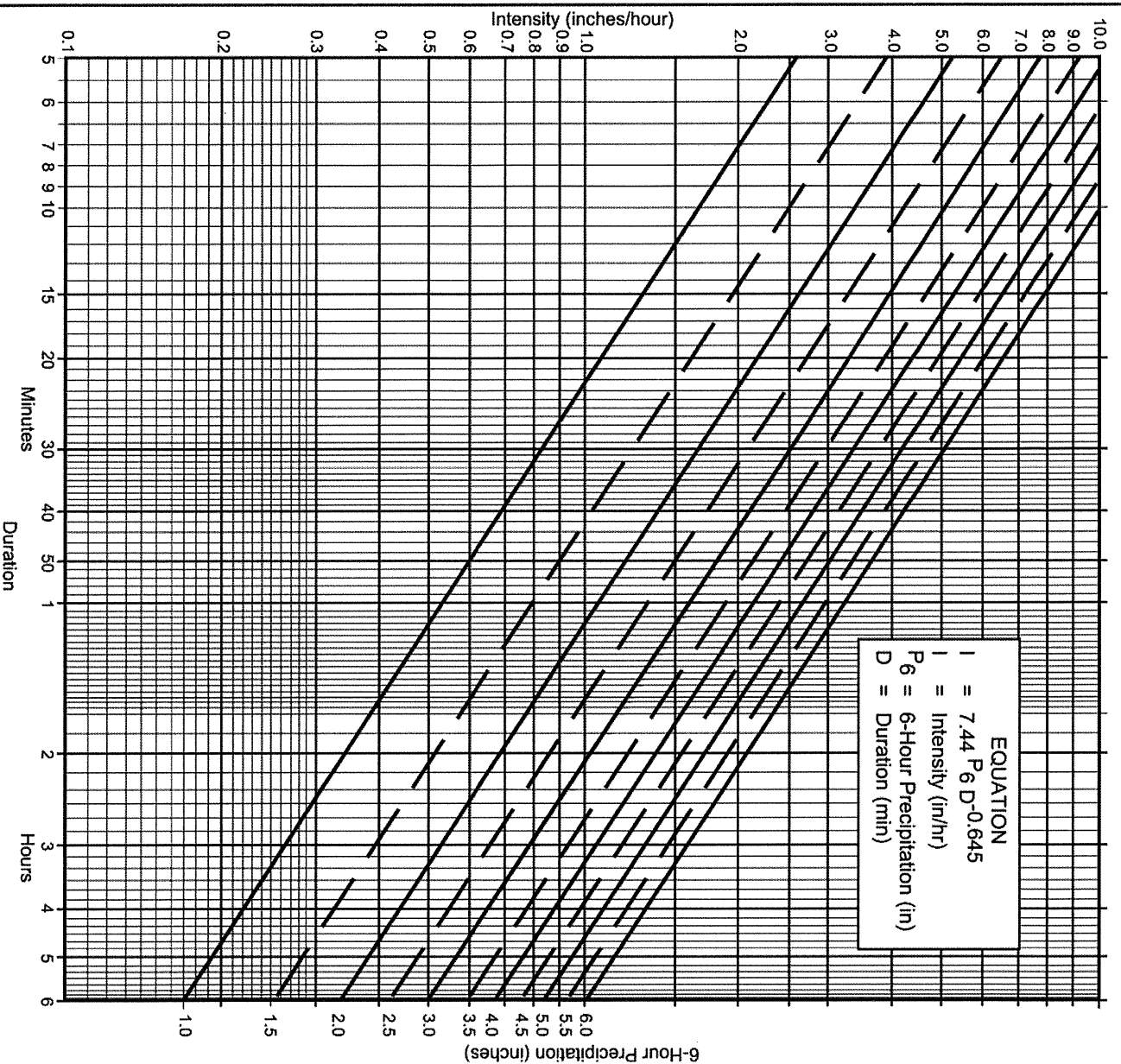
Table 3-2 provides limits of the length (Maximum Length (L_M)) of sheet flow to be used in hydrology studies. Initial T_i values based on average C values for the Land Use Element are also included. These values can be used in planning and design applications as described below. Exceptions may be approved by the Regulating Agency when submitted with a detailed study.

Table 3-2

**MAXIMUM OVERLAND FLOW LENGTH (L_M)
& INITIAL TIME OF CONCENTRATION (T_i)**

| Element* | DU/ Acre | .5% | | 1% | | 2% | | 3% | | 5% | | 10% | |
|------------|-------------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| | | L_M | T_i | L_M | T_i | L_M | T_i | L_M | T_i | L_M | T_i | L_M | T_i |
| Natural | | 50 | 13.2 | 70 | 12.5 | 85 | 10.9 | 100 | 10.3 | 100 | 8.7 | 100 | 6.9 |
| LDR | 1 | 50 | 12.2 | 70 | 11.5 | 85 | 10.0 | 100 | 9.5 | 100 | 8.0 | 100 | 6.4 |
| LDR | 2 | 50 | 11.3 | 70 | 10.5 | 85 | 9.2 | 100 | 8.8 | 100 | 7.4 | 100 | 5.8 |
| LDR | 2.9 | 50 | 10.7 | 70 | 10.0 | 85 | 8.8 | 95 | 8.1 | 100 | 7.0 | 100 | 5.6 |
| MDR | 4.3 | 50 | 10.2 | 70 | 9.6 | 80 | 8.1 | 95 | 7.8 | 100 | 6.7 | 100 | 5.3 |
| MDR | 7.3 | 50 | 9.2 | 65 | 8.4 | 80 | 7.4 | 95 | 7.0 | 100 | 6.0 | 100 | 4.8 |
| MDR | 10.9 | 50 | 8.7 | 65 | 7.9 | 80 | 6.9 | 90 | 6.4 | 100 | 5.7 | 100 | 4.5 |
| MDR | 14.5 | 50 | 8.2 | 65 | 7.4 | 80 | 6.5 | 90 | 6.0 | 100 | 5.4 | 100 | 4.3 |
| HDR | 24 | 50 | 6.7 | 65 | 6.1 | 75 | 5.1 | 90 | 4.9 | 95 | 4.3 | 100 | 3.5 |
| HDR | 43 | 50 | 5.3 | 65 | 4.7 | 75 | 4.0 | 85 | 3.8 | 95 | 3.4 | 100 | 2.7 |
| N. Com | | 50 | 5.3 | 60 | 4.5 | 75 | 4.0 | 85 | 3.8 | 95 | 3.4 | 100 | 2.7 |
| G. Com | | 50 | 4.7 | 60 | 4.1 | 75 | 3.6 | 85 | 3.4 | 90 | 2.9 | 100 | 2.4 |
| O.P./Com | | 50 | 4.2 | 60 | 3.7 | 70 | 3.1 | 80 | 2.9 | 90 | 2.6 | 100 | 2.2 |
| Limited I. | | 50 | 4.2 | 60 | 3.7 | 70 | 3.1 | 80 | 2.9 | 90 | 2.6 | 100 | 2.2 |
| General I. | | 50 | 3.7 | 60 | 3.2 | 70 | 2.7 | 80 | 2.6 | 90 | 2.3 | 100 | 1.9 |

*See Table 3-1 for more detailed description



6-Hour Precipitation (inches)

Intensity-Duration Design Chart - Template

Directions for Application:

- (1) From precipitation maps determine 6 hr and 24 hr amounts for the selected frequency. These maps are included in the County Hydrology Manual (10, 50, and 100 yr maps included in the Design and Procedure Manual).
- (2) Adjust 6 hr precipitation (if necessary) so that it is within the range of 45% to 65% of the 24 hr precipitation (not applicable to Desert).
- (3) Plot 6 hr precipitation on the right side of the chart.
- (4) Draw a line through the point parallel to the plotted lines.
- (5) This line is the intensity-duration curve for the location being analyzed.

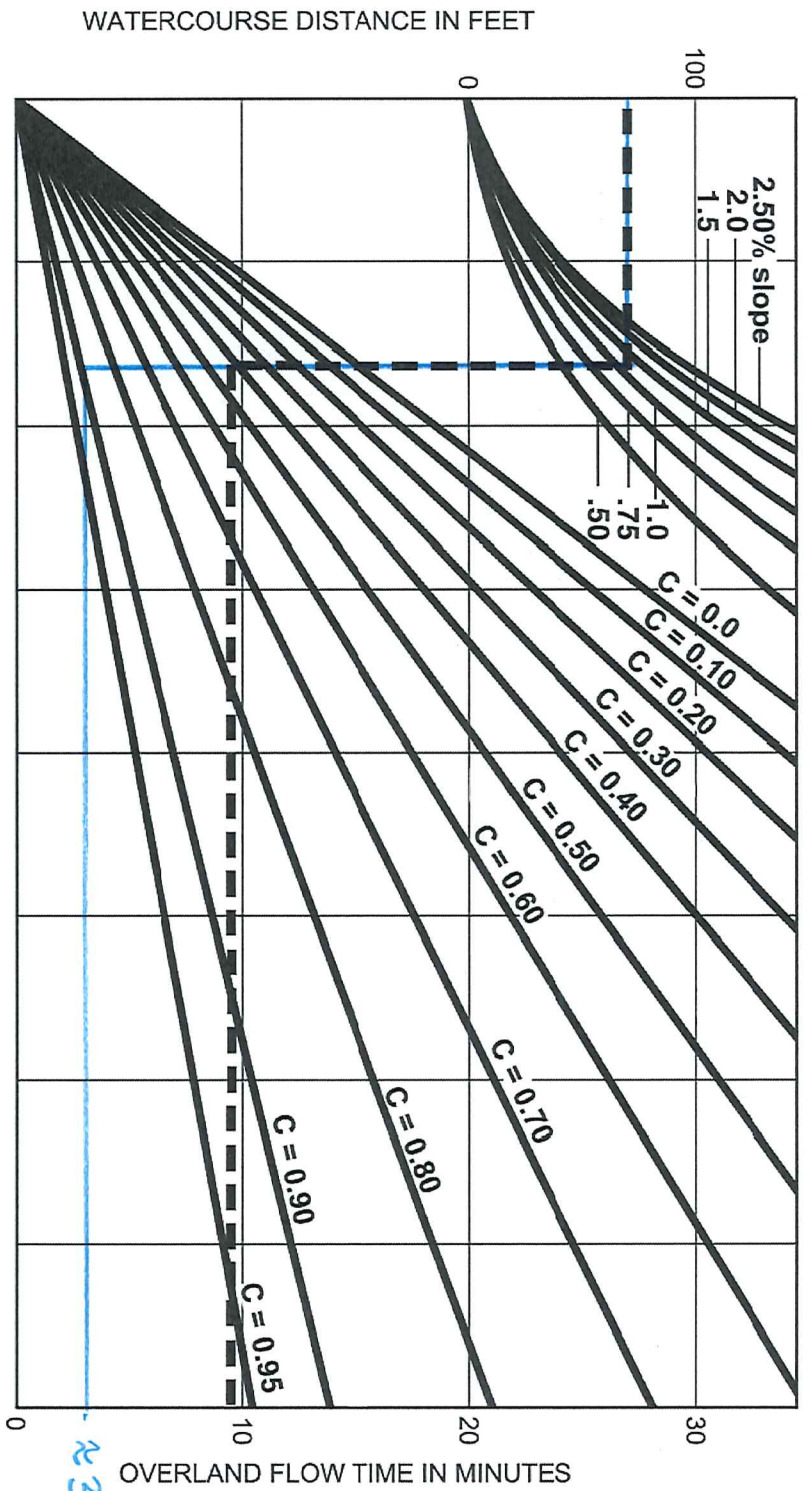
Application Form:

- Selected frequency 100 year
- $P_6 = 2.5$ in., $P_{24} = 4.5$, $\frac{P_6}{P_{24}} = 56\%^{(2)}$
- Adjusted $P_6^{(2)} = 2.5$ in.
- $t_x = 5$ min.
- $I = 6.59$ in./hr.

Note: This chart replaces the Intensity-Duration-Frequency curves used since 1965.

| P6 | 1 | 1.5 | 2 | 2.5 | 3 | 3.5 | 4 | 4.5 | 5 | 5.5 | 6 |
|----------|------|------|------|------|------|------|-------|-------|-------|-------|-------|
| Duration | 1 | 1.5 | 2 | 2.5 | 3 | 3.5 | 4 | 4.5 | 5 | 5.5 | 6 |
| 5 | 2.63 | 3.95 | 5.27 | 6.59 | 7.90 | 9.22 | 10.54 | 11.86 | 13.17 | 14.48 | 15.81 |
| 7 | 2.12 | 3.18 | 4.24 | 5.30 | 6.36 | 7.42 | 8.48 | 9.54 | 10.60 | 11.66 | 12.72 |
| 10 | 1.68 | 2.53 | 3.37 | 4.21 | 5.05 | 5.90 | 6.74 | 7.58 | 8.42 | 9.27 | 10.11 |
| 15 | 1.30 | 1.95 | 2.59 | 3.24 | 3.89 | 4.54 | 5.19 | 5.84 | 6.49 | 7.13 | 7.78 |
| 20 | 1.08 | 1.62 | 2.15 | 2.69 | 3.23 | 3.77 | 4.31 | 4.85 | 5.39 | 5.93 | 6.46 |
| 25 | 0.93 | 1.40 | 1.87 | 2.33 | 2.80 | 3.27 | 3.73 | 4.20 | 4.67 | 5.13 | 5.60 |
| 30 | 0.83 | 1.24 | 1.66 | 2.07 | 2.49 | 2.90 | 3.32 | 3.73 | 4.15 | 4.56 | 4.98 |
| 40 | 0.69 | 1.03 | 1.38 | 1.72 | 2.07 | 2.41 | 2.76 | 3.10 | 3.45 | 3.79 | 4.13 |
| 50 | 0.60 | 0.90 | 1.19 | 1.49 | 1.79 | 2.09 | 2.39 | 2.69 | 2.98 | 3.28 | 3.58 |
| 60 | 0.53 | 0.80 | 1.06 | 1.33 | 1.59 | 1.86 | 2.12 | 2.39 | 2.65 | 2.92 | 3.18 |
| 90 | 0.41 | 0.61 | 0.82 | 1.02 | 1.23 | 1.43 | 1.63 | 1.84 | 2.04 | 2.25 | 2.45 |
| 120 | 0.34 | 0.51 | 0.68 | 0.85 | 1.02 | 1.19 | 1.36 | 1.53 | 1.70 | 1.87 | 2.04 |
| 150 | 0.29 | 0.44 | 0.59 | 0.73 | 0.88 | 1.03 | 1.18 | 1.32 | 1.47 | 1.62 | 1.76 |
| 180 | 0.26 | 0.39 | 0.52 | 0.65 | 0.78 | 0.91 | 1.04 | 1.18 | 1.31 | 1.44 | 1.57 |
| 240 | 0.22 | 0.33 | 0.43 | 0.54 | 0.65 | 0.76 | 0.87 | 0.98 | 1.08 | 1.19 | 1.30 |
| 300 | 0.19 | 0.28 | 0.38 | 0.47 | 0.56 | 0.66 | 0.75 | 0.85 | 0.94 | 1.03 | 1.13 |
| 360 | 0.17 | 0.25 | 0.33 | 0.42 | 0.50 | 0.58 | 0.67 | 0.75 | 0.84 | 0.92 | 1.00 |

FIGURE



EXAMPLE:

Given: Watercourse Distance (D) = 70 Feet

Slope (s) = 1.3%

Runoff Coefficient (C) = 0.41

Overland Flow Time (T) = 9.5 Minutes

$$T = \frac{1.8(1.1-C)\sqrt{D}}{\sqrt[3]{S}} = \frac{1.8(1.1-0.87)(\sqrt{70})}{\sqrt[3]{1.3}} = 3.03 \text{ minutes} < 5.0 \text{ minimum}$$

$\therefore T = 5.0 \text{ minutes}$

$\approx 3 \text{ minutes}$

SOURCE: Airport Drainage, Federal Aviation Administration, 1965

Rational Formula - Overland Time of Flow Nomograph

FIGURE

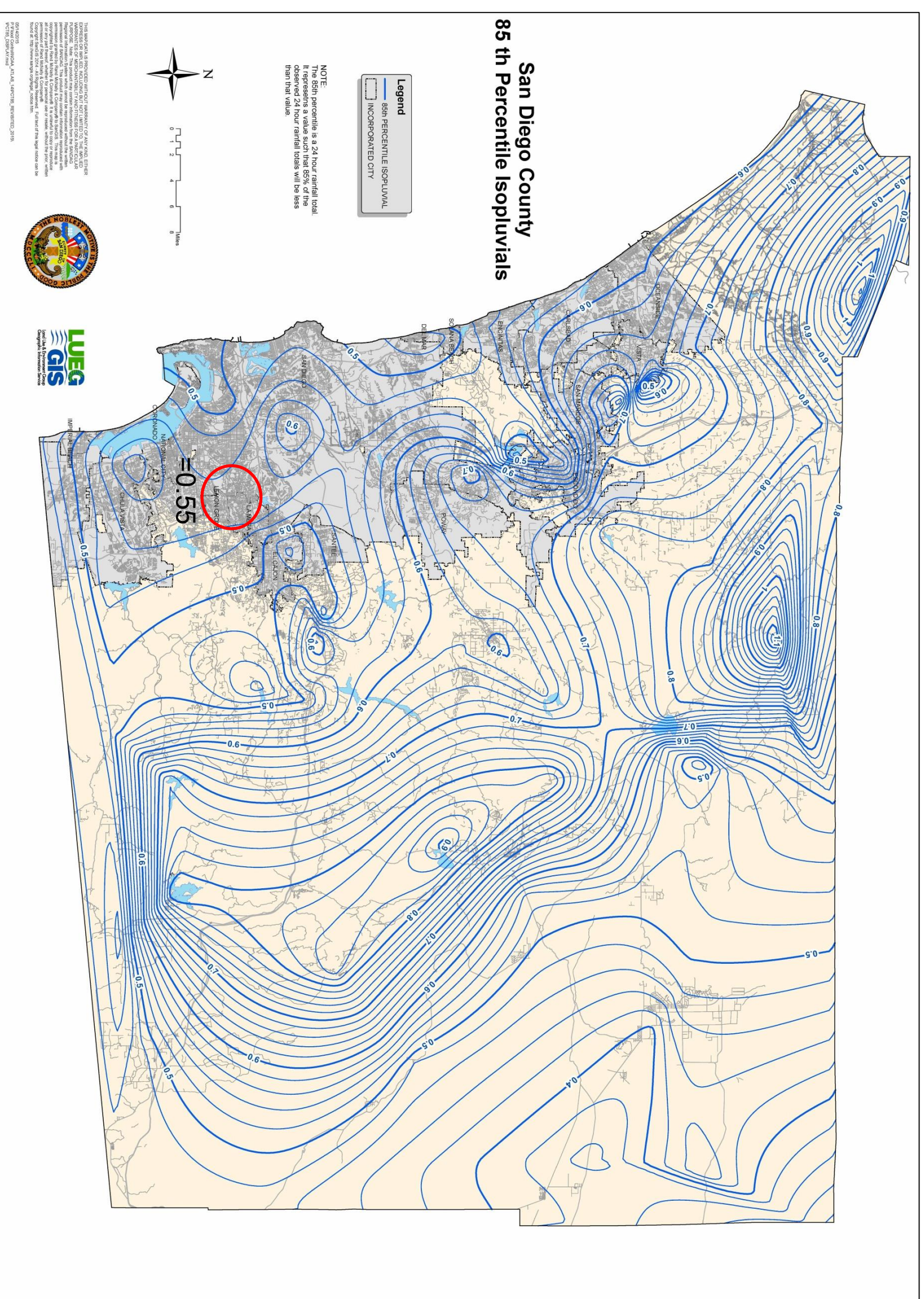


Figure B.1-1: 85th Percentile 24-hour Isopluvial Map

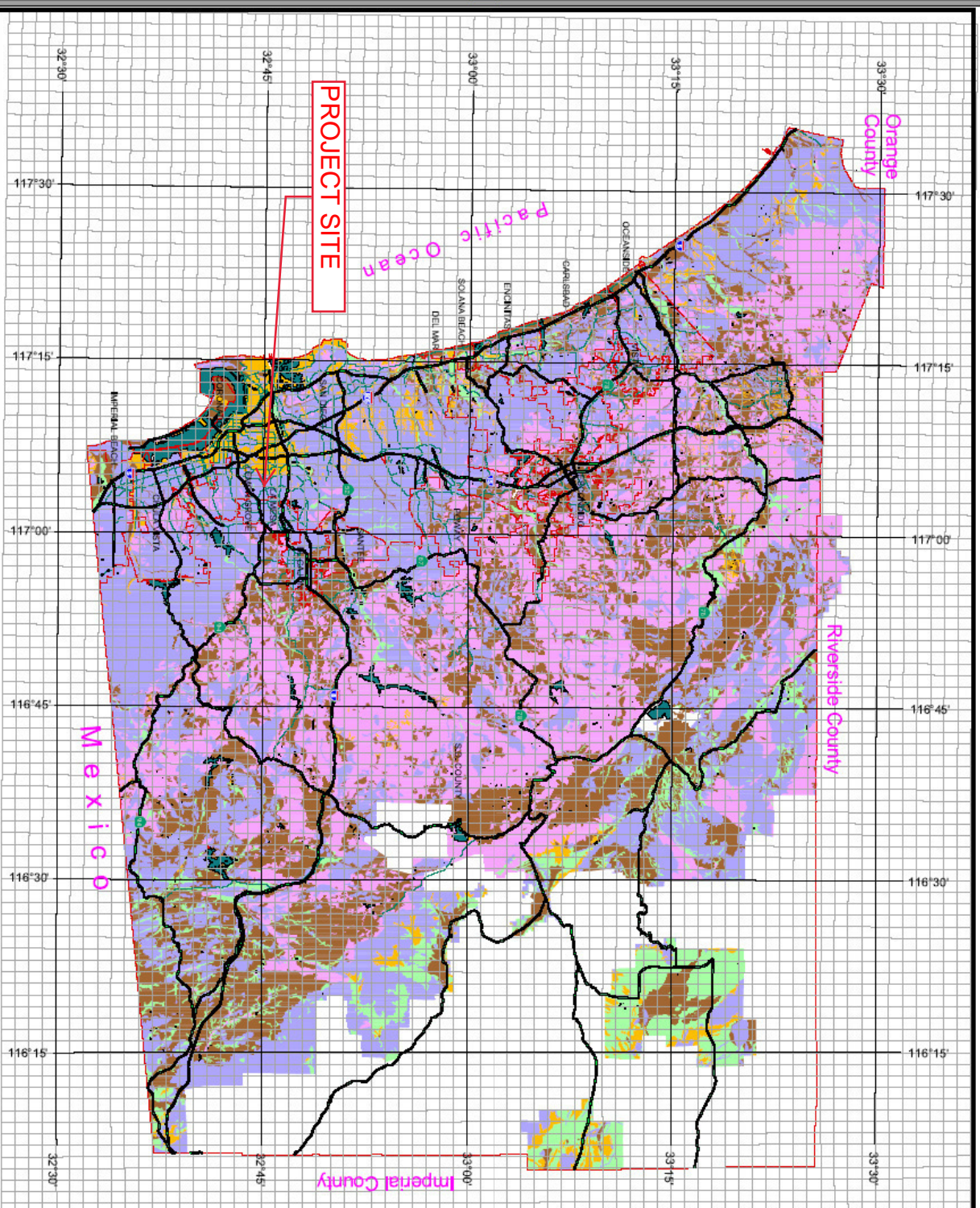
County of San Diego Hydrology Manual



Soil Hydrologic Groups

Legend

| Soil Groups | |
|-------------|------------------|
| | Group A |
| | Group B |
| | Group C |
| | Group D |
| | Undetermined |
| | Data Unavailable |



SanGIS
San Diego County

3 0 3 Miles

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Worksheet for Circular Pipe - A

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 1.00 | ft |
| Discharge | 0.84 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.28 | ft |
| Flow Area | 0.18 | ft ² |
| Wetted Perimeter | 1.11 | ft |
| Hydraulic Radius | 0.16 | ft |
| Top Width | 0.89 | ft |
| Critical Depth | 0.38 | ft |
| Percent Full | 27.6 | % |
| Critical Slope | 0.00571 | ft/ft |
| Velocity | 4.75 | ft/s |
| Velocity Head | 0.35 | ft |
| Specific Energy | 0.63 | ft |
| Froude Number | 1.88 | |
| Maximum Discharge | 5.42 | ft ³ /s |
| Discharge Full | 5.04 | ft ³ /s |
| Slope Full | 0.00056 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 27.64 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - A

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.28 | ft |
| Critical Depth | 0.38 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00571 | ft/ft |

Worksheet for Circular Pipe - B

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.47 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.28 | ft |
| Flow Area | 0.11 | ft ² |
| Wetted Perimeter | 0.84 | ft |
| Hydraulic Radius | 0.13 | ft |
| Top Width | 0.50 | ft |
| Critical Depth | 0.35 | ft |
| Percent Full | 55.4 | % |
| Critical Slope | 0.01004 | ft/ft |
| Velocity | 4.21 | ft/s |
| Velocity Head | 0.28 | ft |
| Specific Energy | 0.55 | ft |
| Froude Number | 1.57 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00702 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 55.38 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - B

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.28 | ft |
| Critical Depth | 0.35 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.01004 | ft/ft |

Worksheet for Circular Pipe - C

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.37 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.24 | ft |
| Flow Area | 0.09 | ft ² |
| Wetted Perimeter | 0.77 | ft |
| Hydraulic Radius | 0.12 | ft |
| Top Width | 0.50 | ft |
| Critical Depth | 0.31 | ft |
| Percent Full | 48.0 | % |
| Critical Slope | 0.00881 | ft/ft |
| Velocity | 3.97 | ft/s |
| Velocity Head | 0.25 | ft |
| Specific Energy | 0.49 | ft |
| Froude Number | 1.62 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00435 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 47.99 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - C

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.24 | ft |
| Critical Depth | 0.31 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00881 | ft/ft |

Worksheet for Circular Pipe - D

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.74 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.38 | ft |
| Flow Area | 0.16 | ft ² |
| Wetted Perimeter | 1.06 | ft |
| Hydraulic Radius | 0.15 | ft |
| Top Width | 0.42 | ft |
| Critical Depth | 0.43 | ft |
| Percent Full | 76.5 | % |
| Critical Slope | 0.01603 | ft/ft |
| Velocity | 4.59 | ft/s |
| Velocity Head | 0.33 | ft |
| Specific Energy | 0.71 | ft |
| Froude Number | 1.31 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.01739 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 76.47 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - D

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.38 | ft |
| Critical Depth | 0.43 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.01603 | ft/ft |

Worksheet for Circular Pipe - E1

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.10 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.12 | ft |
| Flow Area | 0.04 | ft ² |
| Wetted Perimeter | 0.51 | ft |
| Hydraulic Radius | 0.07 | ft |
| Top Width | 0.43 | ft |
| Critical Depth | 0.16 | ft |
| Percent Full | 23.9 | % |
| Critical Slope | 0.00707 | ft/ft |
| Velocity | 2.77 | ft/s |
| Velocity Head | 0.12 | ft |
| Specific Energy | 0.24 | ft |
| Froude Number | 1.68 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00032 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 23.94 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - E1

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.12 | ft |
| Critical Depth | 0.16 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00707 | ft/ft |

Worksheet for Circular Pipe - E2

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.17 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.16 | ft |
| Flow Area | 0.05 | ft ² |
| Wetted Perimeter | 0.60 | ft |
| Hydraulic Radius | 0.09 | ft |
| Top Width | 0.46 | ft |
| Critical Depth | 0.21 | ft |
| Percent Full | 31.5 | % |
| Critical Slope | 0.00728 | ft/ft |
| Velocity | 3.21 | ft/s |
| Velocity Head | 0.16 | ft |
| Specific Energy | 0.32 | ft |
| Froude Number | 1.68 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00092 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 31.47 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - E2

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.16 | ft |
| Critical Depth | 0.21 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00728 | ft/ft |

Worksheet for Circular Pipe - E3

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.40 | ft |
| Discharge | 0.05 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.09 | ft |
| Flow Area | 0.02 | ft ² |
| Wetted Perimeter | 0.40 | ft |
| Hydraulic Radius | 0.05 | ft |
| Top Width | 0.34 | ft |
| Critical Depth | 0.12 | ft |
| Percent Full | 22.8 | % |
| Critical Slope | 0.00761 | ft/ft |
| Velocity | 2.32 | ft/s |
| Velocity Head | 0.08 | ft |
| Specific Energy | 0.17 | ft |
| Froude Number | 1.62 | |
| Maximum Discharge | 0.47 | ft ³ /s |
| Discharge Full | 0.44 | ft ³ /s |
| Slope Full | 0.00026 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 22.77 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - E3

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.09 | ft |
| Critical Depth | 0.12 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00761 | ft/ft |

Worksheet for Circular Pipe - E4

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.16 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.15 | ft |
| Flow Area | 0.05 | ft ² |
| Wetted Perimeter | 0.58 | ft |
| Hydraulic Radius | 0.09 | ft |
| Top Width | 0.46 | ft |
| Critical Depth | 0.20 | ft |
| Percent Full | 30.5 | % |
| Critical Slope | 0.00724 | ft/ft |
| Velocity | 3.16 | ft/s |
| Velocity Head | 0.16 | ft |
| Specific Energy | 0.31 | ft |
| Froude Number | 1.68 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00081 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 30.49 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - E4

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.15 | ft |
| Critical Depth | 0.20 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00724 | ft/ft |

Worksheet for Circular Pipe - E5

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.16 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.15 | ft |
| Flow Area | 0.05 | ft ² |
| Wetted Perimeter | 0.58 | ft |
| Hydraulic Radius | 0.09 | ft |
| Top Width | 0.46 | ft |
| Critical Depth | 0.20 | ft |
| Percent Full | 30.5 | % |
| Critical Slope | 0.00724 | ft/ft |
| Velocity | 3.16 | ft/s |
| Velocity Head | 0.16 | ft |
| Specific Energy | 0.31 | ft |
| Froude Number | 1.68 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00081 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 30.49 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe - E5

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.15 | ft |
| Critical Depth | 0.20 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00724 | ft/ft |

Worksheet for Circular Pipe F

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.78 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.40 | ft |
| Flow Area | 0.17 | ft ² |
| Wetted Perimeter | 1.11 | ft |
| Hydraulic Radius | 0.15 | ft |
| Top Width | 0.40 | ft |
| Critical Depth | 0.44 | ft |
| Percent Full | 80.4 | % |
| Critical Slope | 0.01738 | ft/ft |
| Velocity | 4.61 | ft/s |
| Velocity Head | 0.33 | ft |
| Specific Energy | 0.73 | ft |
| Froude Number | 1.24 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.01933 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 80.44 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe F

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.40 | ft |
| Critical Depth | 0.44 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.01738 | ft/ft |

Worksheet for Circular Pipe G

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 1.00 | ft |
| Discharge | 0.47 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.21 | ft |
| Flow Area | 0.12 | ft ² |
| Wetted Perimeter | 0.94 | ft |
| Hydraulic Radius | 0.12 | ft |
| Top Width | 0.81 | ft |
| Critical Depth | 0.28 | ft |
| Percent Full | 20.6 | % |
| Critical Slope | 0.00561 | ft/ft |
| Velocity | 4.02 | ft/s |
| Velocity Head | 0.25 | ft |
| Specific Energy | 0.46 | ft |
| Froude Number | 1.86 | |
| Maximum Discharge | 5.42 | ft ³ /s |
| Discharge Full | 5.04 | ft ³ /s |
| Slope Full | 0.00017 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 20.64 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe G

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.21 | ft |
| Critical Depth | 0.28 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00561 | ft/ft |

Worksheet for Circular Pipe H1

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.37 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.24 | ft |
| Flow Area | 0.09 | ft ² |
| Wetted Perimeter | 0.77 | ft |
| Hydraulic Radius | 0.12 | ft |
| Top Width | 0.50 | ft |
| Critical Depth | 0.31 | ft |
| Percent Full | 48.0 | % |
| Critical Slope | 0.00881 | ft/ft |
| Velocity | 3.97 | ft/s |
| Velocity Head | 0.25 | ft |
| Specific Energy | 0.49 | ft |
| Froude Number | 1.62 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00435 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 47.99 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe H1

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.24 | ft |
| Critical Depth | 0.31 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00881 | ft/ft |

Worksheet for Circular Pipe H2

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.37 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.24 | ft |
| Flow Area | 0.09 | ft ² |
| Wetted Perimeter | 0.77 | ft |
| Hydraulic Radius | 0.12 | ft |
| Top Width | 0.50 | ft |
| Critical Depth | 0.31 | ft |
| Percent Full | 48.0 | % |
| Critical Slope | 0.00881 | ft/ft |
| Velocity | 3.97 | ft/s |
| Velocity Head | 0.25 | ft |
| Specific Energy | 0.49 | ft |
| Froude Number | 1.62 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00435 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 47.99 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe H2

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.24 | ft |
| Critical Depth | 0.31 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00881 | ft/ft |

Worksheet for Circular Pipe H3

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.37 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.24 | ft |
| Flow Area | 0.09 | ft ² |
| Wetted Perimeter | 0.77 | ft |
| Hydraulic Radius | 0.12 | ft |
| Top Width | 0.50 | ft |
| Critical Depth | 0.31 | ft |
| Percent Full | 48.0 | % |
| Critical Slope | 0.00881 | ft/ft |
| Velocity | 3.97 | ft/s |
| Velocity Head | 0.25 | ft |
| Specific Energy | 0.49 | ft |
| Froude Number | 1.62 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00435 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 47.99 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe H3

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.24 | ft |
| Critical Depth | 0.31 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00881 | ft/ft |

Worksheet for Circular Pipe I

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.67 | ft |
| Discharge | 0.95 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.35 | ft |
| Flow Area | 0.19 | ft ² |
| Wetted Perimeter | 1.09 | ft |
| Hydraulic Radius | 0.17 | ft |
| Top Width | 0.67 | ft |
| Critical Depth | 0.46 | ft |
| Percent Full | 52.8 | % |
| Critical Slope | 0.00895 | ft/ft |
| Velocity | 5.03 | ft/s |
| Velocity Head | 0.39 | ft |
| Specific Energy | 0.75 | ft |
| Froude Number | 1.67 | |
| Maximum Discharge | 1.86 | ft ³ /s |
| Discharge Full | 1.73 | ft ³ /s |
| Slope Full | 0.00602 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 52.84 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe I

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.35 | ft |
| Critical Depth | 0.46 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00895 | ft/ft |

Worksheet for Circular Pipe J

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.26 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.20 | ft |
| Flow Area | 0.07 | ft ² |
| Wetted Perimeter | 0.68 | ft |
| Hydraulic Radius | 0.11 | ft |
| Top Width | 0.49 | ft |
| Critical Depth | 0.26 | ft |
| Percent Full | 39.4 | % |
| Critical Slope | 0.00783 | ft/ft |
| Velocity | 3.62 | ft/s |
| Velocity Head | 0.20 | ft |
| Specific Energy | 0.40 | ft |
| Froude Number | 1.67 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00215 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 39.35 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe J

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.20 | ft |
| Critical Depth | 0.26 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00783 | ft/ft |

Worksheet for Circular Pipe K

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.84 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.44 | ft |
| Flow Area | 0.18 | ft ² |
| Wetted Perimeter | 1.23 | ft |
| Hydraulic Radius | 0.15 | ft |
| Top Width | 0.32 | ft |
| Critical Depth | 0.45 | ft |
| Percent Full | 88.7 | % |
| Critical Slope | 0.01968 | ft/ft |
| Velocity | 4.56 | ft/s |
| Velocity Head | 0.32 | ft |
| Specific Energy | 0.77 | ft |
| Froude Number | 1.06 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.02241 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 88.69 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe K

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.44 | ft |
| Critical Depth | 0.45 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.01968 | ft/ft |

Worksheet for Circular Pipe L

Project Description

| | |
|-----------------|-----------------|
| Friction Method | Manning Formula |
| Solve For | Normal Depth |

Input Data

| | | |
|-----------------------|---------|--------------------|
| Roughness Coefficient | 0.013 | |
| Channel Slope | 0.02000 | ft/ft |
| Diameter | 0.50 | ft |
| Discharge | 0.16 | ft ³ /s |

Results

| | | |
|-------------------|---------------|--------------------|
| Normal Depth | 0.15 | ft |
| Flow Area | 0.05 | ft ² |
| Wetted Perimeter | 0.58 | ft |
| Hydraulic Radius | 0.09 | ft |
| Top Width | 0.46 | ft |
| Critical Depth | 0.20 | ft |
| Percent Full | 30.5 | % |
| Critical Slope | 0.00724 | ft/ft |
| Velocity | 3.16 | ft/s |
| Velocity Head | 0.16 | ft |
| Specific Energy | 0.31 | ft |
| Froude Number | 1.68 | |
| Maximum Discharge | 0.85 | ft ³ /s |
| Discharge Full | 0.79 | ft ³ /s |
| Slope Full | 0.00081 | ft/ft |
| Flow Type | SuperCritical | |

GVF Input Data

| | | |
|------------------|------|----|
| Downstream Depth | 0.00 | ft |
| Length | 0.00 | ft |
| Number Of Steps | 0 | |

GVF Output Data

| | | |
|-----------------------------|----------|------|
| Upstream Depth | 0.00 | ft |
| Profile Description | | |
| Profile Headloss | 0.00 | ft |
| Average End Depth Over Rise | 0.00 | % |
| Normal Depth Over Rise | 30.49 | % |
| Downstream Velocity | Infinity | ft/s |

Worksheet for Circular Pipe L

GVF Output Data

| | | |
|-------------------|----------|-------|
| Upstream Velocity | Infinity | ft/s |
| Normal Depth | 0.15 | ft |
| Critical Depth | 0.20 | ft |
| Channel Slope | 0.02000 | ft/ft |
| Critical Slope | 0.00724 | ft/ft |

**GEOTECHNICAL EVALUATION
UNIVERSITY AVENUE
MIXED USE RESIDENTIAL/COMMERCIAL
SAN DIEGO, CALIFORNIA**

PREPARED FOR:
University Manor
8051 Main Street
Stanton, California 90680

PREPARED BY:
Ninyo & Moore
Geotechnical and Environmental Sciences Consultants
5710 Ruffin Road
San Diego, California 92123

May 11, 2017
Project No. 108335001

May 11, 2017
Project No. 108335001

Mr. Lutfi Bustami
University Manor
8051 Main Street
Stanton, California 90680

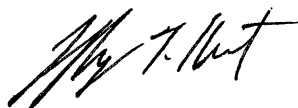
Subject: Geotechnical Evaluation
University Avenue
Mixed Use Residential/Commercial
San Diego, California

Dear Mr. Bustami:

In accordance with your authorization, we have performed a geotechnical evaluation for the proposed mixed use residential and commercial development to be constructed at 5556 to 5592 University Avenue in San Diego, California. Our evaluation was performed in accordance with our proposal dated January 13, 2017. This report presents our findings, conclusions, and geotechnical recommendations for the project.

We appreciate the opportunity to be of service on this project.

Sincerely,
NINYO & MOORE



Jeffrey T. Kent, PE, GE
Senior Engineer



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Principal Engineer



JTK/GTF/KHM/gg

Distribution: (1) Addressee

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1. INTRODUCTION

In accordance with your authorization, we have performed a geotechnical evaluation for the proposed mixed use residential and commercial development to be constructed at 5556 to 5592 University Avenue in San Diego, California (Figure 1). Our evaluation was performed in accordance with our proposal dated January 13, 2017. This report presents our findings, conclusions, and geotechnical recommendations for the project. The objectives of this study were to assess the prevailing soil conditions at the site, evaluate the engineering properties of the soils encountered, and provide recommendations relative to the geotechnical aspects of the proposed project. This geotechnical evaluation included the review of a previous site geotechnical report (PEC, 2015), field exploration, infiltration testing, laboratory testing of representative samples, and engineering analyses of the data obtained.

2. SCOPE OF SERVICES

Our scope of services for this evaluation included the following:

- Review of readily available published and in-house geotechnical literature, topographic maps, geologic maps, fault maps, stereoscopic aerial photographs, and the previous site geotechnical report (PEC, 2015).
- Review of preliminary and conceptual site plans prepared by the project architect.
- Acquisition of a boring permit from the County of San Diego Department of Environmental Health (DEH).
- Performance of a field reconnaissance to observe site conditions and to locate and mark the exploratory boring locations.
- Performance of a site reconnaissance to the geologic features exposed in the slopes along the northern and western boundaries of the site.
- Notification of Underground Service Alert (USA) to clear boring locations for the potential presence of underground utilities.
- Performance of a subsurface exploration consisting of the drilling, logging, and sampling of four exploratory borings. Bulk and in-place soil samples were obtained at selected intervals from within the borings. The collected samples were transported to our in-house geotechnical laboratory for analysis.

- Performance of infiltration testing within two borings.
- Performance of geotechnical laboratory testing on representative samples to evaluate soil characteristics and design parameters.
- Compilation and analysis of the data obtained from our background review, subsurface exploration, and laboratory testing.
- Preparation of this report presenting our findings, conclusions, and recommendations regarding the geotechnical design and construction aspects of the project.

3. SITE AND PROJECT DESCRIPTION

The site for the proposed mixed use development is located on the north side of University Avenue approximately a ¼ mile east of its intersection with 54th Street in San Diego, California (Figure 1). The rectangular site consists of three parcels located at 5556 through 5592 University Avenue. The site is bounded by University Avenue to the south, a private driveway to the west, open space to the east, and landscaping associated with the adjacent private development to the north. The site coordinates are approximately 32.7481°N latitude and -117.0758°W longitude. Existing improvements includes several abandoned buildings and various concrete and asphalt concrete (AC) pavements. Topographically, the site generally has a downward gradient of approximately 6 percent to the south. In addition to this gradient, there are existing ascending cut slopes up to approximately 30 feet high along the northern and northwestern boundaries of the site. These slopes have inclinations that approach being near vertical and have experienced some erosion. Elevations at the site range from approximately 286 feet above mean sea level (MSL) at the south end of the site near University Avenue to approximately 340 feet above MSL at the north end of the site at the top of the south facing slope.

Based on our review of conceptual plans provided by the project architect, we understand the project will involve the construction of four buildings. Two buildings are proposed for residential usage and will be up to four stories tall. The other two buildings are proposed for commercial use and will be on the order of two stories tall. To accommodate grade changes, several retaining walls will be constructed at the site, with some of the retaining walls being incorporated into the buildings. Grade changes at the site are anticipated to generate significant

amounts of export soil. Additionally, the steep slopes along the north and northwestern boundaries will be regraded to flatter inclinations and retaining walls will be constructed in front of them. Further improvements are anticipated to include concrete and AC pavements, concrete flatwork, infiltration devices, underground utilities, and landscaping.

4. SUBSURFACE EXPLORATION

Our subsurface exploration was conducted on March 23 and 24, 2017, and consisted of the drilling, logging, and sampling of four small-diameter exploratory borings (B-1, B-2, IT-1, and IT-2). Borings B-1 and B-2 were drilled using a limited access drill rig equipped with hollow stem augers to depths up to approximately 31 feet. Borings IT-1 and IT-2 were manually excavated up to depths of approximately 8 feet and were used for infiltration testing. Bulk and in-place soil samples were obtained from the borings at selected intervals. The samples were then transported to our in-house geotechnical laboratory for testing. The approximate locations of the exploratory borings are shown on Figures 2A and 2B. Boring logs are included in Appendix A.

5. INFILTRATION TESTING

On March 23, 2017, two exploratory borings (IT-1 and IT-2) were manually excavated to evaluate the infiltration characteristics of the site. The borings were manually excavated to depths of up to approximately 3-1/3 feet and 8 feet. During excavation, the borings were logged and sampled by Ninyo & Moore personnel. Logs of the borings are presented in Appendix A. Following excavation, infiltration tests were performed in the borings. The infiltration tests were performed in general accordance with County of San Diego BMP Design Manual (2016). Approximately 2 inches of gravel was placed on the bottom of each prepared boring. Then, a 2-inch-diameter, perforated PVC pipe was installed in the boring and the annulus was then backfilled with pea gravel. As part of the test procedure, a presoak was performed to represent adverse conditions for infiltration. The presoak consisted of maintaining an approximately 1 foot column of water in each boring for approximately 4 hours. The water level was then allowed to drop overnight. Infiltration testing was performed on March 24, 2017 in the presoaked borings. The borings were filled with approximately 6 inches of water and measurements of the water depth were generally

recorded every 30 minutes until consistent measurements were obtained. The borings were re-filled as needed to maintain the water level until the infiltration rate stabilized.

Infiltration rates were then calculated using the Porchet method. Adjusted infiltration test results ranged between <0.01 and 1.08 inches per hour (in/hr). Infiltration test measurements and calculations are included in Appendix B, and the results are summarized in Table 1 below.

Table 1 – Infiltration Test Results Summary

| Infiltration Test (depth) | Soil Description at Test Depth (Geologic Unit) | Infiltration Rate |
|------------------------------|---|-------------------|
| | | in/hr |
| IT-1 (8.2 feet) | Silty SANDSTONE (Mission Valley Formation) | 1.08 |
| IT-2 (3.3 feet) | Sandy CLAY (Fill) | < 0.01 |

6. LABORATORY TESTING

Geotechnical laboratory testing was performed on representative soil samples to evaluate in-situ moisture content and dry density, shear strength, expansion index, soil corrosivity, and R-value. The results of the in-situ moisture content and dry density tests are presented on the boring logs in Appendix A. The results of the other laboratory tests are presented in Appendix C.

7. GEOLOGY AND SUBSURFACE CONDITIONS

The following sections provide information regarding the geologic conditions relative to the project site.

7.1. Regional Geologic Conditions

The project area is situated in the coastal foothill section of the Peninsular Ranges Geomorphic Province. This geomorphic province encompasses an area that extends approximately 900 miles from the Transverse Ranges and the Los Angeles Basin south to the southern tip of Baja California (Norris and Webb, 1990; Harden, 2004). The province varies in width from approximately 30 to 100 miles. In general, the province consists of rugged mountains underlain by Jurassic metavolcanic and metasedimentary rocks, and Cretaceous igneous rocks of the southern Cali-

fornia batholith. The portion of the province in western San Diego County that includes the project area consists generally of uplifted and dissected coastal plain underlain by Tertiary-age sedimentary rocks (Figure 3).

The Peninsular Ranges Province is traversed by a group of sub-parallel faults and fault zones trending roughly northwest. Several of these faults are considered active faults. The Elsinore, San Jacinto, and San Andreas faults are active fault systems located northeast of the project area and the Coronado Bank, San Diego Trough, San Clemente, and Rose Canyon faults are active faults located west of the project area (Figure 4). Major tectonic activity associated with these and other faults within this regional tectonic framework consists primarily of right-lateral, strike-slip movement. The Rose Canyon Fault Zone, the nearest active fault system, has been mapped approximately 6 miles west of the project site (Figure 4). Additionally, the La Nacion Fault system has been mapped approximately 900 feet west of the site per the City of San Diego Safety Element (2008). However, the La Nacion Fault is not considered an active fault by the State of California.

7.2. Subsurface Conditions

The geology of the site vicinity is shown on Figure 3. Geologic units encountered during our background review and subsurface exploration included fill and materials of the Mission valley Formation (Kennedy and Tan, 2008). Generalized descriptions of the earth units encountered during our field reconnaissance and subsurface exploration are provided in the subsequent sections. Additional descriptions of the subsurface units are provided on the boring logs in Appendix A. Geologic cross sections for the project are presented on Figures 5 and 6.

7.2.1. Fill

Fill materials were encountered in our exploratory borings IT-1 and IT-2 at the ground surface or underlying the pavements and extending to depths up to approximately 7 feet. As encountered, these materials generally consisted of brown, moist, stiff to hard, sandy clay with gravel and cobbles. The previous geotechnical report (PEC, 2015) encountered fill materials to depths of approximately 1 to 3 feet that generally consisted of

brown, loose to medium dense, dry to moist, sandy silt with gravel. Deeper fills may be present at the site. Documentation of the placement and compaction of existing fill was not available for our review.

Laboratory testing presented in Appendix C indicates that the existing fill soils possess a medium to high potential for expansion and are considered corrosive to ferrous metals.

7.2.2. Mission Valley Formation

Materials mapped as the Mission Valley Formation (Kennedy and Tan, 2008) were encountered at the surface, beneath pavements, or underlying the fill materials in our borings B-1, B-2, and IT-1. As encountered, the materials generally consisted of varying shades of brown and gray, moist, moderately to strongly cemented, silty sandstone and well indurated, sandy siltstone. The previous geotechnical report (PEC, 2015) also encountered materials mapped as the Mission Valley Formation either at the ground surface or underlying the fill materials. These materials generally consisted of gray, damp to moist, sandstone.

During our site reconnaissance, we performed geologic mapping of the exposed cut slopes along the northern and western boundaries of the project site. Based on the exposures, it was observed that the bedding within the Mission Valley Formation was dipping approximately 2 to 4 degrees to the south.

7.3. Groundwater

Groundwater was not encountered in our explorations at the time of drilling. Based on review of monitoring well data in the site vicinity using the Geotracker website (2017), groundwater has been encountered at elevations ranging from approximately 276 to 280 feet above MSL (Morgan & Associates, 2008 and Murex Environmental, 2011). Specifically, the groundwater elevation was measured at approximately 280 feet above MSL at the northeastern portion of the site and approximately 276 feet above MSL at the southwestern portion of the site. Fluctuations in the groundwater level may occur due to variations in ground surface

topography, subsurface geologic conditions and structure, rainfall, irrigation, and other factors not evident at the time of our subsurface evaluation. Additionally, perched water conditions may be encountered in such areas as existing utility trenches.

8. GEOLOGIC HAZARDS

In general, hazards associated with faulting and seismic activity include strong ground motion, ground surface rupture, and liquefaction. These considerations and other potential geologic hazards such as tsunamis and landsliding are discussed in the following sections.

8.1. Faulting and Seismicity

Based on our review of the referenced geologic map (Kennedy and Tan, 2008) and stereoscopic aerial photographs, as well as on our geologic field mapping, the subject site is not underlain by known active or potentially active faults (i.e., faults that exhibit evidence of ground displacement in the last 11,000 years and 2,000,000 years, respectively). Like the majority of southern California, the site is located in a seismically active area and the potential for strong ground motion is considered significant during the design life of the proposed structures. The nearest known active fault, the Rose Canyon fault is located approximately 6 miles west of the site. Additionally, the La Nacion Fault system has been mapped approximately 900 feet west of the site per the City of San Diego Safety Element (2008). However, the La Nacion Fault is not considered an active fault by the State of California.

8.1.1. Strong Ground Motion

The 2016 California Building Code (CBC) specifies that the Risk-Targeted, Maximum Considered Earthquake (MCE_R) ground motion response accelerations be used to evaluate seismic loads for design of buildings and other structures. The MCE_R ground motion response accelerations are based on the spectral response accelerations for 5 percent damping in the direction of maximum horizontal response and incorporate a target risk for structural collapse equivalent to 1 percent in 50 years with deterministic limits for near-source effects. The horizontal peak ground acceleration (PGA) that

corresponds to the MCE_R for the site was calculated as 0.39g using the United States Geological Survey (USGS, 2017) seismic design tool (web-based).

The 2016 CBC specifies that the potential for liquefaction and soil strength loss be evaluated, where applicable, for the Maximum Considered Earthquake Geometric Mean (MCE_G) peak ground acceleration with adjustment for site class effects in accordance with the American Society of Civil Engineers (ASCE) 7-10 Standard. The MCE_G peak ground acceleration is based on the geometric mean peak ground acceleration with a 2 percent probability of exceedance in 50 years. The MCE_G peak ground acceleration with adjustment for site class effects (PGA_M) was calculated as 0.393g using the USGS (USGS, 2017) seismic design tool that yielded a mapped MCE_G peak ground acceleration of 0.389g for the site and a site coefficient (F_{PGA}) of 1.011 for Site Class C.

8.1.2. Ground Surface Rupture

Ground surface rupture due to active faulting is not considered likely in the project area due to the absence of any known active faults underlying the site. However, lurching or cracking of the ground surface as a result of nearby seismic events is possible.

8.1.3. Liquefaction and Seismically Induced Settlement

Liquefaction of cohesionless soils can be caused by strong vibratory motion due to earthquakes. Research and historical data indicate that loose granular soils and non-plastic silts that are saturated by a relatively shallow groundwater table are susceptible to liquefaction. Based on the relatively dense nature of the underlying earth materials, it is our opinion that the potential for liquefaction and seismically induced settlement to occur at the site is not a design consideration.

8.2. Tsunamis

Tsunamis are long wavelength seismic sea waves (long compared to the ocean depth) generated by sudden movements of the ocean bottom during submarine earthquakes, landslides, or volcanic activity. Seiches are similar oscillating waves on inland or enclosed bodies of

water. Based on the inland location and elevation of the site, the potential for a tsunami or seiche to affect the site is not a design consideration.

8.3. Flood Hazards

Based on review of a Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) (FEMA, 2012), the site is mapped in an area labeled as “Other Areas: Zone X: Areas determined to be outside the 0.2% annual chance floodplain” that means the site is lying outside of mapped 100- and 500-year flood zones. Based on this review, the potential for flooding of the site is considered low.

8.4. Landsliding

Based on our review of referenced geologic maps, literature, topographic maps, and stereoscopic aerial photographs, no landslides or indications of deep-seated landsliding are known to underlie the project site. Although the bedding of the Mission Valley Formation does possess a slight inclination of approximately 2 to 4 degrees to the south, the potential for significant large-scale slope instability of the south facing slope and the site is not a design consideration.

8.5. City of San Diego Seismic Safety Study

As part of our evaluation, we have reviewed the 2008 City of San Diego Seismic Safety Study (Figure 7). The site is located in Category 53 (considered an area of “Level or sloping terrain, unfavorable geologic structure, low to moderate risk”, as indicated on Figure 7.

Additionally, the La Nacion Fault system has been mapped approximately 900 feet west of the site per the City of San Diego Safety Element (2008). However, the La Nacion Fault is not considered an active fault by the State of California.

9. CONCLUSIONS

Based on our review of the referenced background data, subsurface exploration, and laboratory testing, it is our opinion that construction of the proposed improvements is feasible from a geotechnical standpoint provided the recommendations presented in this report are incorporated into the design and construction of the project. In general, the following conclusions were made:

- The project site is underlain by fill and materials of the Mission Valley Formation.
- The existing fills are considered unsuitable for support of structures and compacted fills in their current condition. Recommendations for remedial grading of the existing fill materials are presented in the following sections.
- Competent materials of the Mission Valley Formation are considered suitable for support of new structures and compacted fills.
- Soils derived from the existing on-site fills are anticipated to generate clayey soils that possess a medium to high potential for expansion. These clayey soils possess a medium to very high potential for expansion are not suitable for reuse in compacted fills within the building pads, behind retaining walls, or beneath concrete sidewalks. Due to the anticipated export of site soils, the expansive soils should be selectively graded and removed from the site.
- Soils derived from excavations into the Mission Valley Formation are generally considered suitable for reuse as compacted fill.
- Difficult drilling conditions were encountered during the excavation of our borings. Due to the potential presence of strongly cemented zones or concretions within the Mission Valley Formation, the contractor should anticipate encountering difficult excavating or drilling conditions that may require heavy ripping or coring.
- Groundwater was not encountered in borings at the time of drilling. Based on review of monitoring well data in the site vicinity using the Geotracker website (2017), groundwater has been encountered at elevations ranging from approximately 276 to 280 feet above MSL (Morgan & Associates, 2008 and Murex Environmental, 2011).
- The active Rose Canyon fault is located approximately 6 miles west of the site. Accordingly, the potential for relatively strong seismic ground motions should be considered in the project design.
- Based on the results of our soil corrosivity tests presented in Appendix C, we consider the site soils to be corrosive, specifically to ferrous metals.

10. RECOMMENDATIONS

Based on our understanding of the project, the following recommendations are provided for the proposed design and construction of the new mixed-use buildings and the associated site improvements. The proposed site improvements should be constructed in accordance with the requirements of the applicable governing agencies.

10.1. Earthwork

In general, earthwork should be performed in accordance with the recommendations presented in this report. Ninyo & Moore should be contacted for questions regarding the recommendations or guidelines presented herein.

10.1.1. Site Preparation

Site preparation should begin with the removal of existing foundations, other structures and improvements, vegetation, utility lines, asphalt, concrete, and other deleterious debris from areas to be graded. Tree stumps and roots should be removed to such a depth that organic material is generally not present. Clearing and grubbing should extend to the outside of the proposed excavation and fill areas. The debris and unsuitable material generated during clearing and grubbing should be removed from areas to be graded and disposed of at a legal dumpsite away from the project area.

10.1.2. Remedial Grading of Existing Fills

We recommend that the existing fills at the site, if not removed during grading, be over-excavated down to competent materials of the Mission Valley Formation. Fill depths at the site varied from approximately 0 feet at borings B-1 and B-2 up to approximately 7 feet within boring IT-1. However, deeper fills may be present at the site. The extent and depths of removals and overexcavations should be evaluated by the geotechnical consultant's representative in the field based on the materials exposed. The resultant overexcavation surface should be scarified to a depth of approximately 8 inches, moisture conditioned and recompacted to a relative compaction of 90 percent as evaluated by the ASTM International (ASTM) Test Method D 1557 prior to placing new fill.

10.1.3. Temporary Excavations

For temporary excavations, we recommend that the following Occupational Safety and Health Administration (OSHA) soil classifications be used:

| | |
|---------------------------------|---------------|
| <i>Fill</i> | <i>Type C</i> |
| <i>Mission Valley Formation</i> | <i>Type A</i> |

Upon making the excavations, the soil classifications and excavation performance should be evaluated in the field by the geotechnical consultant in accordance with the OSHA regulations. Temporary excavations should be constructed in accordance with OSHA recommendations. For trench or other excavations, OSHA requirements regarding personnel safety should be met using appropriate shoring (including trench boxes) or by laying back the slopes to no steeper than 1½:1 (horizontal to vertical) in fill and ¾:1 in the Mission Valley Formation. Temporary excavations that encounter seepage may be shored or stabilized by placing sandbags or gravel along the base of the seepage zone. Excavations encountering seepage should be evaluated on a case-by-case basis. On-site safety of personnel is the responsibility of the contractor.

10.1.4. Excavation Characteristics

The results of our field exploration program indicate that the project site, as presently proposed, is underlain by fill and materials of the Mission Valley Formation. As noted earlier, very difficult drilling conditions were encountered during the drilling of our borings. Excavations that extend into the Mission Valley Formation should anticipate difficult excavating conditions due to concretions, cobbles, conglomerate, or strongly cemented zones that may require heavy ripping or coring.

10.1.5. Materials for Fill and Backfill

Materials for fill may be obtained from on-site excavations or may be import materials. Fill soils should possess an organic content of less than approximately 3 percent by volume (or 1 percent by weight). In general, fill material should not contain rocks or lumps over approximately 3 inches in diameter, and not more than approximately 30 percent larger than ¾ inch.

Soils derived from the existing site fills are anticipated to generate clayey soils that possess a medium to high potential for expansion and should be exported, where feasible. Clayey soils that possess a medium to very high potential for expansion are not suitable for reuse in compacted fills within the building pads, behind retaining walls, or beneath concrete sidewalks. Soils derived from excavations into the Mission Valley Formation are generally considered suitable for reuse as compacted fill.

Imported fill materials, if needed, should generally be granular soils with very low to low expansion potential (i.e., an expansion index of 50 or less as evaluated by ASTM D 4829). Imported fill material should also be tested for corrosive potential and exhibit an resistivity value greater than 1,000 ohm-centimeters, a chloride content of less than 500 parts per million (ppm), a sulfate content of less than 1,000 ppm and pH greater than 5.5. The contractor should be responsible for the uniformity of import material brought to the site. Imported fill material should not contain rocks or lumps over approximately 3 inches in diameter, and not more than approximately 30 percent larger than $\frac{3}{4}$ inch. We recommend that materials proposed for use as import fills be evaluated from a contractor's stockpile rather than in place materials.

10.1.6. Reuse of AC and Concrete Materials in Fill

We understand that there is consideration to reusing AC and concrete materials generated by on-site demolition within the engineered fills. AC and concrete materials to be reused in engineered fills should not have painted, stained, or coated surfaces, contain rebar or other metal reinforcement, vegetation, or other debris. The concrete and asphalt should be crushed to sizes of 3 inches or less. Crushed AC and concrete materials to be reused, should be stockpiled and blended with soil prior to placement. The mixture of crushed AC and concrete materials with soils should be blended and processed to meet the requirements of the "Materials for Fill" section of this report. Placement and compaction of these blended materials should be performed in accordance with the "Compacted Fill" section of this report. Additionally, the crushed AC materials should not be used beneath buildings. Furthermore, the crushed AC and concrete materials

should not be used within 5 feet of finish grades for slope faces, beneath permeable pavements, or as retaining wall backfill. The use of these materials in vegetated areas should be done at the discretion of the landscape architect.

10.1.7. Compacted Fill

Prior to placement of compacted fill, the contractor should request an evaluation of the exposed ground surface by Ninyo & Moore. The evaluation of compaction by the geotechnical consultant should not be considered to preclude any requirements for observation or approval by governing agencies. It is the contractor's responsibility to notify this office and the appropriate governing agency when project areas are ready for observation, and to provide reasonable time for that review.

Fill materials should be moisture conditioned to generally above the laboratory optimum moisture content prior to placement. The optimum moisture content will vary with material type and other factors. Moisture conditioning of fill soils should be generally consistent within the soil mass.

Prior to placement of additional compacted fill material following a delay in the grading operations, the exposed surface of previously compacted fill should be prepared to receive fill. Preparation may include scarification, moisture conditioning, and recompaction.

Compacted fill should be placed in horizontal lifts of approximately 8 inches in loose thickness. Prior to compaction, each lift should be watered or dried as needed to achieve a moisture content generally above the laboratory optimum, mixed, and then compacted by mechanical methods, to a relative compaction of 90 percent as evaluated by ASTM D 1557. The upper 12 inches of subgrade soils beneath vehicular pavements should be compacted to a relative compaction of 95 percent as evaluated by ASTM D 1557. The aggregate base materials beneath vehicular pavements should also be compacted to a relative compaction of 95 percent as evaluated by ASTM D 1557. Successive lifts should be treated in a like manner until the desired finished grades are achieved.

10.1.8. Slopes

We anticipate that new cut and fill slopes will be constructed for the project. Unless otherwise recommended by our offices and approved by the regulating agencies, permanent cut and fill slopes should not be steeper than 2:1 (horizontal to vertical). Buildings, structures, and improvements should be set back from the top of slopes in accordance with the 2016 CBC. We recommend buildings and structures be set back 20 feet or more from the top of slopes.

Compaction of the face of fill slopes should be performed by backrolling at intervals of 4 feet or less in vertical slope height, or as dictated by the capability of the available equipment, whichever is less. Fill slopes should be overbuilt and cut back to finish grades. The placement, moisture conditioning, and compaction of fill slope materials should be done in accordance with the recommendations presented herein.

Site runoff should not be permitted to flow over the tops of slopes. Positive drainage should be established away from the top of slopes. This may be accomplished by utilizing brow ditches placed at the top of slopes to divert surface runoff away from the slope face where drainage devices are not otherwise available.

The on-site soils are susceptible to erosion. The project plans and specifications should contain design features and construction requirements to mitigate erosion of soils or contain a maintenance program to redress erosion features as they develop on a periodic basis.

10.1.9. Pipe Bedding and Modulus of Soil Reaction (E')

It is our recommendation that the new pipeline (pipes), where constructed in open excavations, be supported on 6 or more inches of granular bedding material. Granular pipe bedding should be provided to distribute vertical loads around the pipe. Bedding material and compaction requirements should be in accordance with this report. Pipe bedding typically consists of graded aggregate with a coefficient of uniformity of three or more. The pipe bedding should conform to the specifications presented for pipe zone backfill materials.

Pipe bedding and pipe zone backfill should have a Sand Equivalent of 30 or more, and be placed around the sides and the crown of the pipe. In addition, the pipe zone backfill should extend 1 foot or more above the crown of the pipe. If open-graded gravel is used as pipe zone backfill, we recommend that the pipe bedding and pipe zone materials be wrapped in a non-woven geotextile fabric.

The modulus of soil reaction (E') is used to characterize the stiffness of soil backfill placed at the sides of buried flexible pipes for the purpose of evaluating deflection caused by the weight of the backfill over the pipe (Hartley and Duncan, 1987). A soil reaction modulus of 1,200 pounds per square inch (psi) may be used for design provided that granular bedding material is placed adjacent to the pipe, as recommended in this report.

10.1.10. Utility Trench Zone Backfill

Trench zone backfill should generally be free of rocks or hard lumps of material in excess of 3 inches in diameter. Rocks or hard lumps larger than about 3 inches in diameter should be broken into smaller pieces or should be removed from the site. On-site trench excavations may generate cobbles larger than 3 inches in diameter. Oversize materials should be separated from material to be used as trench backfill. Moisture conditioning (including drying and/or mixing) of existing on-site materials is anticipated if reused as trench backfill. Additionally, soils that possess a medium to high potential for expansion should not be used in trench zone backfill beneath buildings, beneath concrete sidewalks, or within retaining wall backfills.

10.2. Seismic Design Considerations

Design of the proposed improvements should be performed in accordance with the requirements of governing jurisdictions and applicable building codes. Table 2 presents the seismic design parameters for the sites in accordance with the CBC (2016) guidelines and adjusted MCE_R spectral response acceleration parameters (USGS, 2017).

Table 2 – 2016 California Building Code Seismic Design Criteria

| Factors | Values |
|---|--------|
| Site Class | C |
| Site Coefficient, F_a | 1.018 |
| Site Coefficient, F_v | 1.436 |
| Mapped Spectral Response Acceleration at 0.2-second Period, S_s | 0.955g |
| Mapped Spectral Response Acceleration at 1.0-second Period, S_1 | 0.364g |
| Spectral Response Acceleration at 0.2-second Period Adjusted for Site Class, S_{MS} | 0.972g |
| Spectral Response Acceleration at 1.0-second Period Adjusted for Site Class, S_{M1} | 0.523g |
| Design Spectral Response Acceleration at 0.2-second Period, S_{DS} | 0.648g |
| Design Spectral Response Acceleration at 1.0-second Period, S_{D1} | 0.349g |

10.3. Foundations

The proposed residential and commercial buildings may be supported on shallow, spread, or continuous footings bearing entirely on competent materials of the Mission Valley Formation. Foundations should be designed in accordance with structural considerations and the following recommendations. In addition, requirements of the appropriate governing jurisdictions and applicable building codes should be considered in the design of the structures.

10.3.1. Shallow Foundations

Shallow, spread, or continuous footings bearing entirely on competent materials of the Mission Valley Formation may be designed using an allowable bearing capacity of 4,000 pounds per square foot (psf) based on the embedment depths described below. These allowable bearing capacities may be increased by one-third when considering loads of short duration such as wind or seismic forces. Shallow, spread, or continuous footings should be embedded 36 inches below finished building pad subgrade elevation and should have a width of 24 inches or more. From a geotechnical standpoint, footings should be reinforced with three No. 5 reinforcing bars at the top and bottom. The footing reinforcing should be designed by the project structural engineer.

If required by the topography of the site or due to fill thickness, portions of the building foundations may need to be deepened to bear on the Mission Valley Formation. As an alternative method to stepping down and deepening the footings, the deepened portions of the foundation excavations more than 36 inches below finished pad subgrade elevation

may be backfilled with controlled low-strength material (CLSM) to the bottom elevation of the concrete footing. For this alternative, footings may bear on a controlled low strength material (CLSM) backfill with a compressive strength of 150 pounds per square inch (psi) according to “Greenbook,” Section 201-6 specifications. CLSM backfill should extend down to Normal Heights Mudstone.

10.3.2. Shallow Foundation Lateral Earth Pressures

For resistance of footings to lateral loads, we recommend an allowable passive pressure of 400 psf per foot of depth be used with a value of up to 4,000 psf. This value assumes that the ground is horizontal for a distance of 10 feet, or three times the height generating the passive pressure, whichever is greater. We recommend that the upper 1 foot of soil not protected by pavement or a concrete slab be neglected when calculating passive resistance.

For frictional resistance to lateral loads, we recommend a coefficient of friction of 0.35 be used between soil and concrete. The passive resistance values may be increased by one-third when considering loads of short duration such as wind or seismic forces.

10.3.3. Static Settlement

We estimate that the proposed apartment building, designed and constructed as recommended herein, will undergo total settlements of less than approximately $\frac{3}{4}$ inch. Differential settlement on the order of $\frac{1}{2}$ inch over a horizontal span of 40 feet should be expected.

10.4. Interior Building Slabs-on-Grade

We recommend that conventional, interior building slab-on-grade floors, underlain by compacted fill materials of generally very low to low expansion potential, be 5 inches in thickness and be reinforced with No. 4 reinforcing bars spaced 12 inches on center each way. The reinforcing bars should be placed near the middle of the slab height. As a means to help reduce shrinkage cracks, we recommend that the slabs be provided with crack control joints at intervals of approximately 12 feet each way. The slab reinforcement and expansion joint spacing should be designed by the project structural engineer.

If moisture sensitive floor coverings are to be used, we recommend that slabs be underlain by a vapor retarder and capillary break system consisting of a 10-mil polyethylene (or equivalent) membrane placed over 4 inches of medium to coarse, clean sand or pea gravel.

10.5. Retaining Walls

We understand that several retaining walls will be used as part of the project. Retaining walls will be constructed along the north, west, and east property lines along with various other site retaining walls. Additionally, some site retaining walls will be incorporated into the contraction of the buildings. For this project, recommendations for various types of retaining walls, including standard (concrete and masonry), soldier beam and lagging, and segmental block (geogrid) walls have been considered. The following sections provide recommendations for the various types of retaining walls considered.

10.5.1. Standard Retaining Walls

For the purpose of this report, cast-in-place and masonry retaining walls supported on shallow, continuous foundations are considered to be standard retaining walls. Due to site constraints, standard retaining walls are not considered suitable for use along the northern and western property lines.

Standard retaining walls may be supported on a continuous footing wholly bearing on competent materials of the Mission Valley Formation. Allowable bearing capacities of 4,000 psf may be used for the design of retaining wall foundations. The allowable bearing capacity may be increased by one-third when considering loads of short duration, such as wind or seismic forces. Note, for standard retaining walls that are incorporated or tied into the proposed materials, we recommend that the wall foundations bear on competent materials of the Mission Valley Formation, similar to those recommended for building foundations and not on compacted fills.

For the design of a yielding standard retaining wall that is not restrained against movement by rigid corners or structural connections, lateral pressures are presented on Figure 8. Restrained walls (non-yielding) may be designed for lateral pressures presented on Figure 9. These pressures assume low-expansive backfill and free draining conditions. Measures should be taken to reduce the potential for build-up of moisture behind the retaining walls. A drain should be provided behind the retaining wall as shown on Figure 10. The drain should be connected to an appropriate outlet.

10.5.2. Permanent Soldier Beam and Lagging Walls

Due to space constraints, we recommend that the retaining walls to be constructed on the northern and western property lines consist of permanent soldier beam and lagging walls. For the design of a permanent soldier pile wall, the wall may consist of steel H-piles installed in drilled holes with a reinforced shotcrete façade or lagging placed between the soldier piles. The design and construction of the permanent soldier pile wall should be in accordance with the following recommendations.

The construction sequence of the wall should be such that the soldier piles are installed prior to the start of the partial removal of the slope. We recommend that the steel H-piles be placed within pre-drilled holes. Once the steel H-piles are placed within the pre-drilled holes, we recommend that concrete be placed within the embedment zone. The annular space above the concrete embedment may be filled with an excavatable slurry. Once the concrete and slurry are allowed to cure, excavation of the existing slope in front of the shafts may begin. Thus, the drilled shafts will provide temporary stability of cuts during construction and will act as shoring elements.

The permanent soldier pile wall should be designed for a static safety factor of 1.5 and the lateral deformation of the ground surface should be controlled by structural design in order to reduce the potential for damage to the adjacent structures. The wall should be designed to support surcharge loads of any adjacent structures (if present), in addi-

tion to the earth pressures exerted by the retained soils as presented on Figure 11. The key design parameters and considerations for the soldier piles are as follows:

- The drilled shafts should be 24 inches or more in diameter. The embedment depths and spacing of the shafts should be evaluated by the project structural engineer based on the estimated total service (dead and live) and lateral loads. The shafts should be installed at a center-to-center spacing of three diameters or more.
- The drilled shafts should be designed to resist lateral earth pressures linearly increasing at the rates presented on Figure 11. In calculating the total lateral load acting on a given shaft, the spacing between adjacent shafts should be considered as the wall span length. For example, for a shaft center-to-center spacing of 8 feet, a wall span length of 8 feet should be considered in design. The drilled shafts should be designed assuming a free-head condition (i.e., unrestrained at the top), and the allowable head deflection should not exceed 1/4 inch.
- A passive earth pressure linearly increasing at the rate presented on Figure 11 may be used to evaluate the lateral resistance for drilled shafts. For evaluation of lateral deflection of the drilled shaft, a subgrade modulus of 350 pounds per cubic inch (pci) may be considered.
- The soldier piles may be designed with a soil arching three times the diameter of the pile itself.
- We recommend concrete be placed by tremie method to mitigate the potential for aggregate and cement segregation during concrete placement.
- Pre-drilling operations should be observed by Ninyo & Moore to confirm the embedment depths designed by the project structural engineer. The drilled holes should be cleared of loose soil and/or construction debris prior to placing concrete. Steel H-piles and concrete should be placed the same day the holes are drilled.

The wall details should be included in the project plans. The project plans should be signed and stamped by a professional engineer registered in the state of California. Ninyo & Moore should be given the opportunity to review the project plans to check for compliance with design and construction recommendations presented herein.

10.5.3. Segmental Block Retaining Walls

Due to site constraints, segmental block retaining walls are not considered suitable for use along the northern and western property lines. Segmental block retaining walls consist of stackable concrete facing blocks combined with geogrid reinforcing elements embedded in the soil backfill.

Segmental block retaining walls may be designed using the soil parameters presented in Table 3 below, provided the backfill (reinforced soil) materials are generally granular, with 100 percent passing the 1-inch sieve, no more than 35 percent passing the No. 200 sieve, possess an expansion index less than 50, and have a plasticity index (PI) of 20 or less. The following parameters are based on the assumption that materials derived from on-site excavations in the Mission Valley Formation will be reused as reinforced soil behind the segmental block retaining wall. The existing on-site fill materials that are clayey and possess a medium to high potential for expansion are not suitable for reuse as reinforced soil backfill.

Table 3 – Segmental Retaining Wall Design Parameters

| Wall Zone | Cohesion (psf) | Friction Angle (deg.) | Unit Weight (psf) |
|-----------------|----------------|-----------------------|-------------------|
| Reinforced Soil | 0 | 30 | 120 |
| Retained Soil | 200 | 30 | 120 |
| Foundation Soil | 200 | 30 | 120 |

10.6. Exterior Pedestrian Concrete Flatwork

Exterior concrete flatwork (sidewalks) should be 4 inches in thickness and should be reinforced with No. 3 reinforcing bars placed at 18 inches on-center both ways. This assumes that the sidewalks are underlain by materials that possess a very low to low expansion index. No vapor retarder is needed for exterior concrete flatwork. To reduce the potential manifestation of distress to exterior concrete flatwork due to movement of the underlying soil, we recommend that such flatwork be installed with crack-control joints at appropriate spacing as designed by the project engineer. The subgrade soils should be scarified to a depth of

8 inches, moisture conditioned to generally above the laboratory optimum moisture content, and compacted to a relative compaction of 90 percent as evaluated by ASTM D 1557. Positive drainage should be established and maintained adjacent to flatwork.

10.7. Flexible Vehicular Pavements

Our laboratory testing indicated the site soils have R-values of 5 and 8. Accordingly, we have used a design R-value of 5 and Traffic Indices (TI) of 5 through 7 for the basis of preliminary design of flexible pavements for the project. However, actual pavement recommendations should be based on R-value tests performed on bulk samples of the soils exposed at the finished subgrade elevations during grading operations. We recommend that the geotechnical consultant re-evaluate the pavement design at the time of construction. The recommended preliminary flexible pavement sections for on-site areas should be as presented in Table 4. Off site pavements should be constructed in accordance with the City of San Diego guidelines.

Table 4 – Recommended Preliminary Flexible Pavement Sections

| Traffic Index (Pavement Usage) | Design R-Value | Asphalt Concrete (in) | Class 2 Aggregate Base (in) |
|---|---------------------------|----------------------------------|--|
| 5 (Parking Stalls) | 5 | 3 | 10 |
| 6 (Drive Aisles) | 5 | 4 | 12 |
| 7 (Fire Lanes and Delivery Routes) | 5 | 4 | 16 |

These values assume traffic indices of seven or less for site pavements. In addition, we recommend that the upper 12 inches of the subgrade and aggregate base materials be compacted to a relative compaction of 95 percent relative density as evaluated by the current version of ASTM D 1557. The AC materials should be compacted to a relative compaction of 95 percent as evaluated by the materials Hveem density. If traffic loads are different from those assumed, the pavement design should be re-evaluated.

10.8. Rigid Concrete Pavements

For the design of rigid concrete pavements, we have used a design R-value of 5 and TIs of 5 through 8. However, actual pavement recommendations should be based on R-value tests performed on bulk samples of the soils exposed at the finished subgrade elevations during grading operations. We recommend that the geotechnical consultant re-evaluate the pavement design at the time of construction. The recommended preliminary rigid pavement sections for on-site areas should be as presented in Table 5. Off site pavements should be constructed in accordance with the City of San Diego guidelines.

Table 5 – Recommended Preliminary Rigid Pavement Sections

| Traffic Index (Pavement Usage) | Design R-Value | Portland Cement Concrete (in) | Class 2 Aggregate Base (in) |
|---|---------------------------|--|--|
| 5 (Parking Stalls) | 5 | 5 | 4 |
| 6 (Drive Aisles) | 5 | 6 | 6 |
| 7 (Fire Lanes and Delivery Routes) | 5 | 7 | 6 |
| 8 (Trash Enclosures) | 5 | 8 | 6 |

10.9. Pervious Pavements

Although specifics have not been provided to our office, we understand that the project may include the design and construction of pervious pavements. In general, pervious pavements consist of a permeable layer of AC or concrete underlain by a rock reservoir layer. From a geotechnical standpoint, we recommend that the rock reservoir layer be 14 inches or more thick. Furthermore, we recommend that the rock reservoir layer consist of open-graded gravel that meets the gradation limits for one of the following:

- Size Number 2 and 3 materials per ASTM C33;
- Size Number 2, 24, and 3 materials per American Association of State Highway and Transportation Officials (AASHTO) M43;

- Caltrans Class 4 permeable;
- Or an approved equivalent.

Furthermore, we recommend that the pervious AC and/or concrete pavements be designed and constructed in accordance with the following recommendation sections and the Caltrans Pervious Pavement Design Guidance manual (2014b).

10.9.1. Pervious AC Pavements

In the event pervious AC pavements are used, we recommend that pervious AC pavement sections consist of a non-structural wearing course consisting of a Caltrans open-graded friction course (OGFC) underlain by a Caltrans asphalt treated permeable base (ATPB) layer. For the design of the pervious AC section we have used a design R-value of 5. This design R-value, along with estimated TI values of 5 through 7, are the basis of our pervious AC pavement design. The recommended pervious AC pavement sections are presented in Table 6.

Table 6 – Recommended Pervious Asphalt Concrete Pavement Sections

| Traffic Index (Pavement Usage) | Design R-Value | OGFC Thickness (in) | ATPB Thickness (in) | Rock Reservoir Thickness ¹ (in) |
|---|-------------------|---------------------------|---------------------------|--|
| 5 (Parking Stalls) | 5 | 2 | 4 | 14 or more |
| 6 (Drive Aisles) | 5 | 2 | 4½ | 16 or more |
| 7 (Fire Lanes and Delivery Routes) | 5 | 2 | 5 | 18 or more |
| Notes: ATPB = Caltrans Asphalt-Treated Permeable Base OGFC = Caltrans Open-Graded Friction Course ¹ Minimum recommended thickness. Thickness of reservoir should be evaluated by the project civil engineer based on capacity demands. | | | | |

10.9.2. Pervious Concrete Pavements

We recommend that pervious concrete pavement sections consist of pervious concrete underlain by a Caltrans ATPB layer. The purpose of the ATPB layer is to act as a choker course between the pervious concrete and the rock reservoir. For the design of the per-

vious concrete sections we have used a design R-value of 5. This design R-value, along with estimated TI values of 5 and 7 is the basis of our pervious concrete pavement design. The recommended pervious concrete pavement sections are presented in Table 7.

Table 7 – Recommended Pervious Concrete Pavement Sections

| Traffic Index (Pavement Usage) | Design R-Value | Pervious Concrete Thickness (in) | ATPB Thickness (in) | Rock Reservoir Thickness¹ (in) |
|--|---------------------------|---|------------------------------------|--|
| 5 (Parking Stalls) | 5 | 6 | 3 | 14 or more |
| 6 (Drive Aisles) | 5 | 7 | 3 | 16 or more |
| 7 (Fire Lanes and Delivery Routes) | 5 | 8 | 3 | 18 or more |
| Notes: ATPB = Caltrans Asphalted Permeable Base ¹ Minimum recommended thickness. Thickness of reservoir should be evaluated by the project civil engineer based on capacity demands. | | | | |

10.9.3. Construction Considerations

The pervious pavements should generally be constructed on relatively undisturbed and uncompacted native subgrade materials. However, in the event that the design finish surface elevations are such that the reservoir layer is underlain by fill, the project civil engineer should anticipate and design for a reduced infiltration rate. Construction traffic and equipment should not disturb the exposed subgrade conditions once excavated.

Subsequent to excavation to subgrade elevation, the reservoir rock should be placed and spread over the relatively undisturbed and uncompacted subgrade materials. Low-pressure construction equipment should be used to lightly compact the rock reservoir materials in 6 to 12 inch lifts. Following the installation of the rock reservoir, the ATPB, OGFC, and/or pervious concrete materials may be placed. The pervious pavements should be constructed by an experienced and qualified specialty contractor.

Additionally, we recommend that the pervious pavements be separated from the adjacent conventional pavements. The separation may consist of a modified curb in accordance with Section 2.4 of the Caltrans guidelines (2014b) or a non-woven geofabric (i.e., Mirafi 140N or an approved equivalent).

Pervious pavements may be subject to reduced performance due to the accumulation of debris and sediment if not maintained. In order to provide continued performance of the pervious pavement system, we recommend that a maintenance plan be prepared, adopted, and performed on a routine basis. The Caltrans guidelines (2014b) may be referenced and used for additional recommendations and/or specific maintenance considerations.

10.10. Corrosive Soils

Laboratory testing to evaluate pH, electrical resistivity, soluble sulfate and chloride contents was performed on a representative sample of the near-surface soils. The pH and electrical resistivity tests were performed in accordance with California Test (CT) Method 643. Soluble sulfate and chloride content tests were performed in accordance with CT Methods 417 and 422, respectively. The results of the corrosivity tests are summarized below and presented in Appendix C.

The results of the corrosivity testing indicated soil pH values of approximately 7.1 to 8, electrical resistivities on the order of 290 to 710 ohm-cm, sulfate contents of approximately 0.032 to 0.070 percent (i.e., 320 to 700 parts per million [ppm]), and chloride contents of about 90 to 1,590 ppm for the tested samples. Based on the Caltrans (2015) criteria, ACI 318, and our experience with similar soils, the tested soils would be classified as corrosive due to the electrical resistivity being less than 1,000 ohm-cm and the chloride contents in excess of 500 ppm. A corrosive soil is defined as having an electrical resistivity of less than 1,000 ohm-cm, more than 500 ppm of chlorides, more than 0.1 percent sulfates and/or a pH less than 5.5. Based on the results of our laboratory testing, the site soils would be corrosive to ferrous metals. We recommend that a corrosion engineer be consulted for the project.

10.11. Concrete

Concrete in contact with soil or water that contains high concentrations of soluble sulfates can be subject to chemical deterioration. Laboratory testing indicated sulfate contents of the samples tested of 0.032 to 0.070 percent by weight. Based on ACI 318, the potential for sulfate attack is negligible for water-soluble sulfate contents in soil ranging from 0.00 to 0.10 percent by weight. Thus, the sulfate exposure to concrete from near-surface site soils is considered negligible. However, we recommend that the use of Type II, V, or II/V cement be considered for concrete in contact with soil on the project due to potential for variable soil conditions at the site.

10.12. Site Drainage

Surface drainage should be provided to convey water away from structures and off pavement surfaces. Surface water should not be permitted to drain toward the structures or to pond adjacent to footings or on paved areas. Positive drainage is defined as a slope of 2 percent or more over a distance of 5 feet or greater away from the structures. Roof gutters should be installed on structures. Downspouts should discharge to controlled drainage systems away from structures, pavements, and flatwork.

10.13. Infiltration Devices

Although specifics have not been provided to our office, we anticipate that the project may include the construction of pervious pavements, bio-retention swales, and/or other infiltration devices. We recommend that the site design include the use of pavement edge drains and cutoff curbs to reduce the potential for lateral migration of water from the infiltration devices. We also recommend that infiltration devices be set back approximately 20 feet from future structures. Gravel backfill should generally be fully wrapped with a non-woven filter fabric (such as Mirafi 140N), to reduce the potential for fines to migrate to the voids in the gravel.

10.14. Pre-Construction Meeting

We recommend that a pre-construction meeting be held prior to commencement of grading. The owner or his representative, the agency representatives, the architect, the civil engineer, Ninyo & Moore, and the contractor should be in attendance to discuss the plans, the project, and the proposed construction schedule.

10.15. Plan Review and Construction Observation

The conclusions and recommendations presented in this report are based on analysis of observed conditions in widely spaced exploratory excavations. If conditions are found to vary from those described in this report, Ninyo & Moore should be notified, and additional recommendations will be provided upon request. Ninyo & Moore should review the final project drawings and specifications prior to the commencement of construction. Ninyo & Moore should perform the needed observation and testing services during construction operations.

The recommendations provided in this report are based on the assumption that Ninyo & Moore will provide geotechnical observation and testing services during construction. In the event that it is decided not to utilize the services of Ninyo & Moore during construction, we request that the selected consultant provide the owner with a letter (with a copy to Ninyo & Moore) indicating that they fully understand Ninyo & Moore's recommendations, and that they are in full agreement with the design parameters and recommendations contained in this report. Construction of proposed improvements should be performed by qualified subcontractors utilizing appropriate techniques and construction materials.

11. LIMITATIONS

The field evaluation, laboratory testing, and geotechnical analyses presented in this geotechnical report have been conducted in general accordance with current practice and the standard of care exercised by geotechnical consultants performing similar tasks in the project area. No warranty, expressed or implied, is made regarding the conclusions, recommendations, and opinions presented in this report. There is no evaluation detailed enough to reveal every subsurface condition.

Variations may exist and conditions not observed or described in this report may be encountered during construction. Uncertainties relative to subsurface conditions can be reduced through additional subsurface exploration. Additional subsurface evaluation will be performed upon request. Please also note that our evaluation was limited to assessment of the geotechnical aspects of the project, and did not include evaluation of structural issues, environmental concerns, or the presence of hazardous materials.

This document is intended to be used only in its entirety. No portion of the document, by itself, is designed to completely represent any aspect of the project described herein. Ninyo & Moore should be contacted if the reader requires additional information or has questions regarding the content, interpretations presented, or completeness of this document.

This report is intended for design purposes only. It does not provide sufficient data to prepare an accurate bid by contractors. It is suggested that the bidders and their geotechnical consultant perform an independent evaluation of the subsurface conditions in the project areas. The independent evaluations may include, but not be limited to, review of other geotechnical reports prepared for the adjacent areas, site reconnaissance, and additional exploration and laboratory testing.

Our conclusions, recommendations, and opinions are based on an analysis of the observed site conditions. If geotechnical conditions different from those described in this report are encountered, our office should be notified and additional recommendations, if warranted, will be provided upon request. It should be understood that the conditions of a site could change with time as a result of natural processes or the activities of man at the subject site or nearby sites. In addition, changes to the applicable laws, regulations, codes, and standards of practice may occur due to government action or the broadening of knowledge. The findings of this report may, therefore, be invalidated over time, in part or in whole, by changes over which Ninyo & Moore has no control.

This report is intended exclusively for use by the client. Any use or reuse of the findings, conclusions, and/or recommendations of this report by parties other than the client is undertaken at said parties' sole risk.

12. REFERENCES

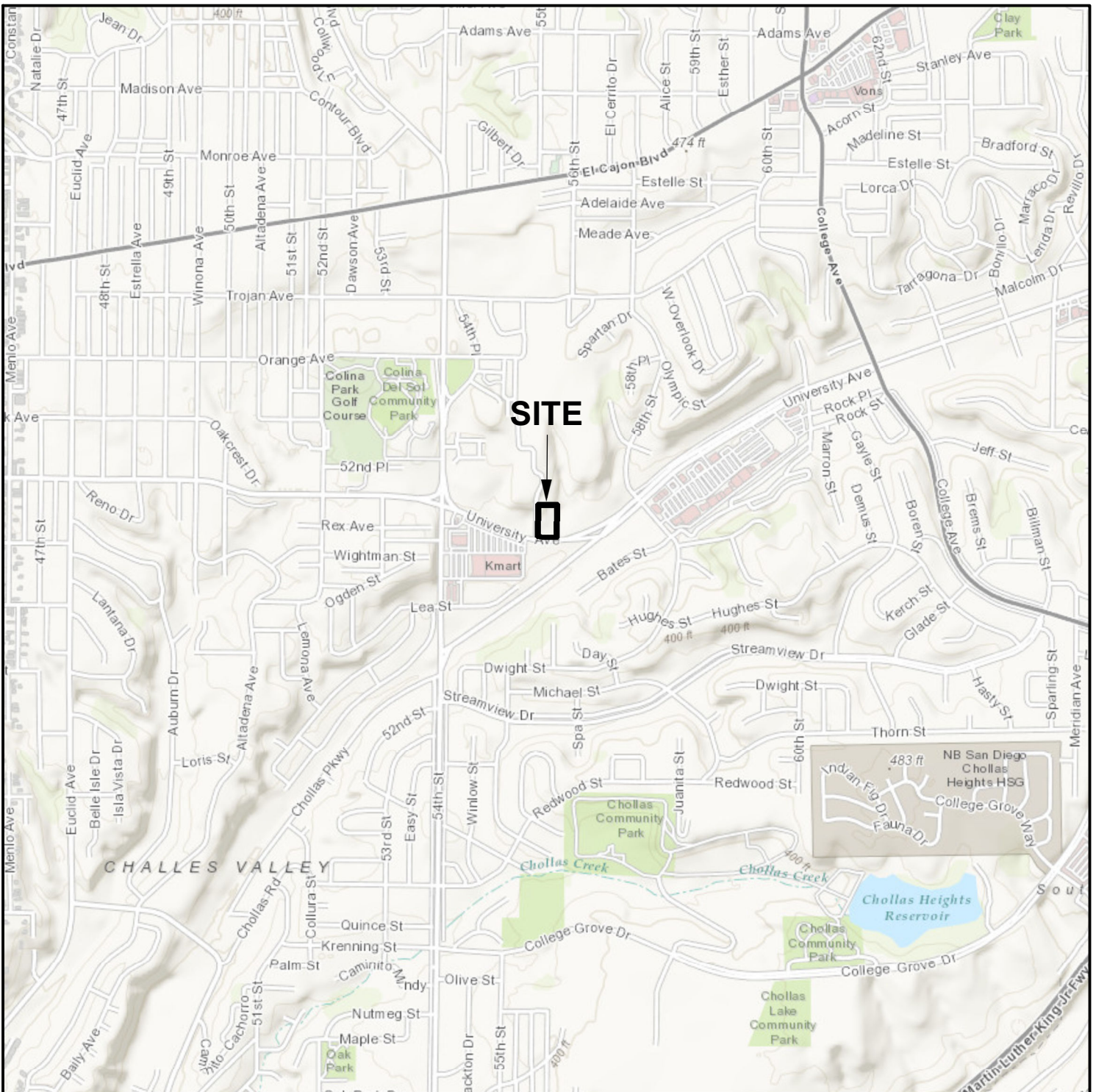
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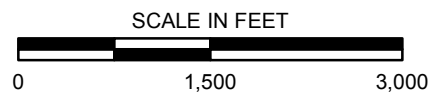
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| AERIAL PHOTOGRAPHS | | | | |
|--------------------|------------|---------|-----------|----------|
| Source | Date | Flight | Numbers | Scale |
| USDA | 03-31-1953 | AXN-14M | 100 & 101 | 1:20,000 |



SOURCE: ESRI WORLD TOPO, 2015



NOTE: DIRECTIONS, DIMENSIONS AND LOCATIONS ARE APPROXIMATE

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SITE LOCATION

FIGURE

PROJECT NO.

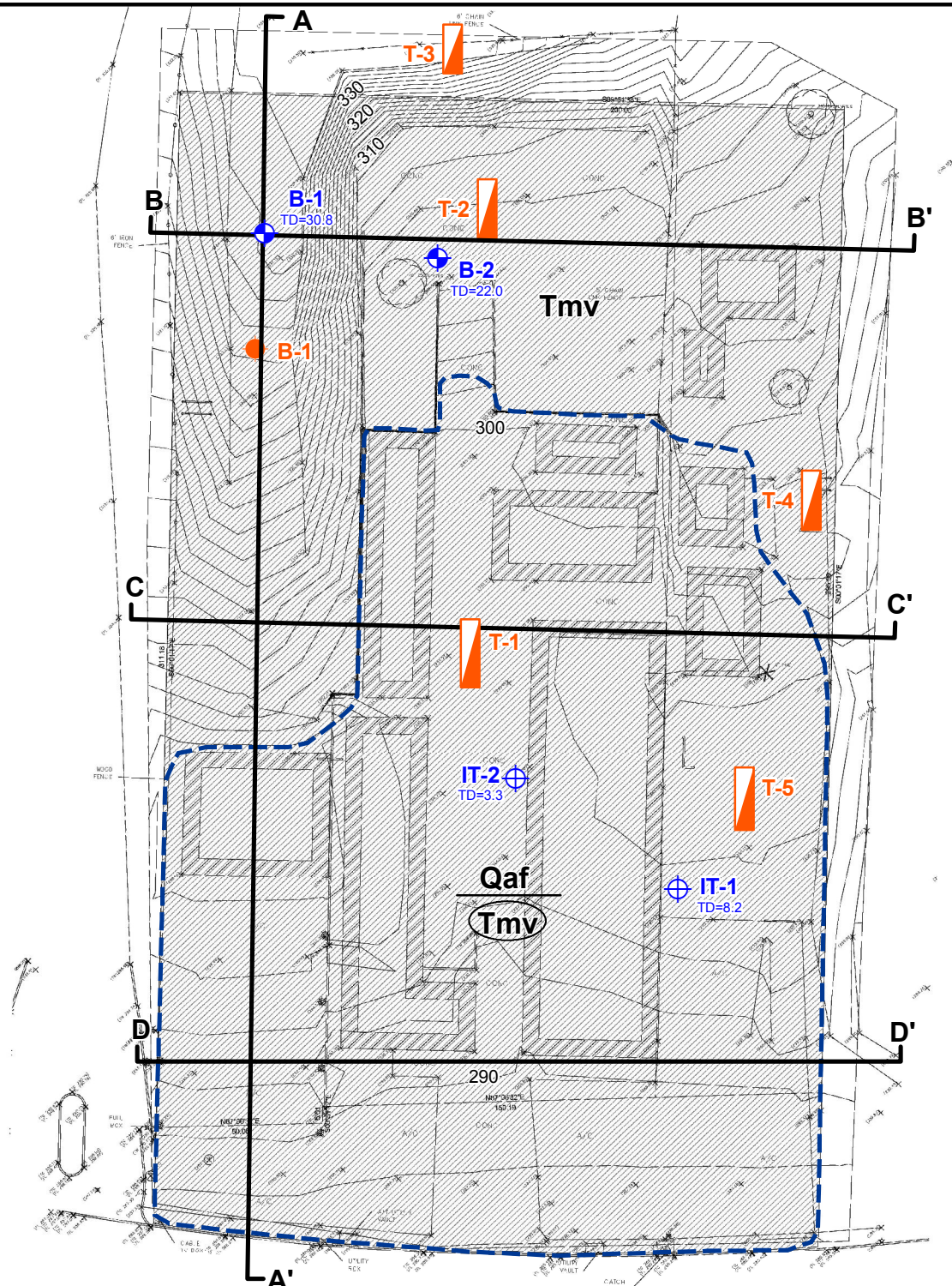
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108335001

5/17

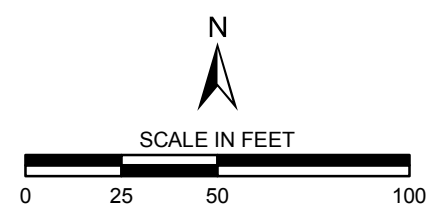
1



SOURCE: STUDIOPI2, INC., DATED 1/4/2016.

LEGEND

- | | | | |
|-------------|------------------------|------------------------|--------------------------|
| B-1 | BORING | Qaf | FILL |
| TD=22.0 | TD=TOTAL DEPTH IN FEET | Tmv | MISSION VALLEY FORMATION |
| IT-2 | INFILTRATION TEST | (CIRCLED WHERE BURIED) | |
| TD=3.3 | TD=TOTAL DEPTH IN FEET | D D' | GEOLOGIC CROSS SECTION |
| B-1 | BORING (PEC, 2015) | --- | GEOLOGIC CONTACT |
| T-5 | TEST PIT (PEC, 2015) | | |



NOTE: DIRECTIONS, DIMENSIONS AND LOCATIONS ARE APPROXIMATE

Ninyo & Moore

GEOTECHNICAL MAP (EXISTING)

FIGURE

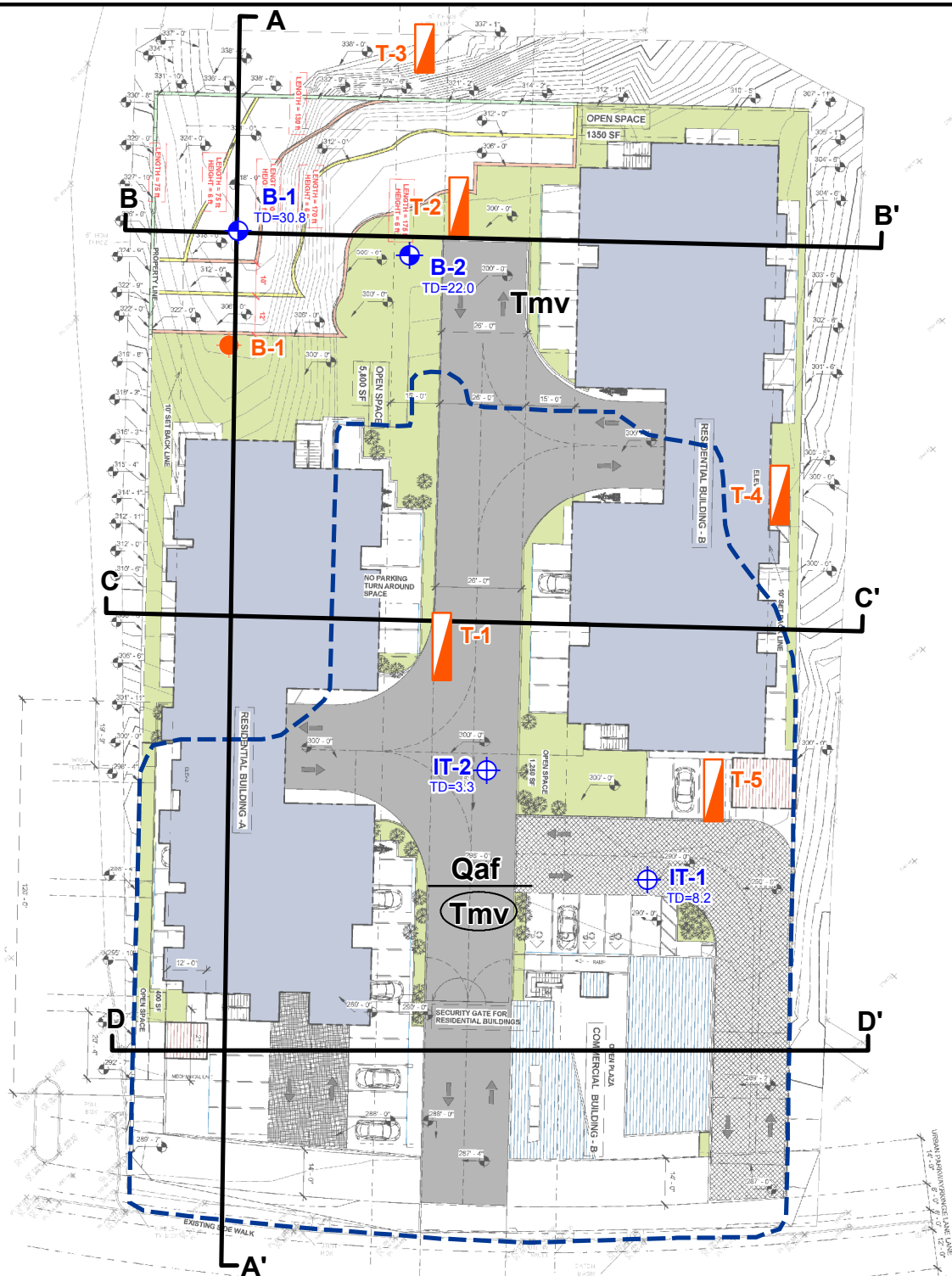
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| PROJECT NO. | DATE |
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2A

2A_108335001_BL.mxd 5/11/2017 AOB

2B_108335001_GM.mxd 5/11/2017 AOB



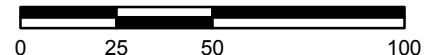
SOURCE: STUDIOPI2, INC., DATED 1/4/2016.

LEGEND

- B-1** BORING
TD=22.0 TD=TOTAL DEPTH IN FEET
- IT-2** INFILTRATION TEST
TD=3.3 TD=TOTAL DEPTH IN FEET
- B-1** BORING (PEC, 2015)
- T-5** TEST PIT (PEC, 2015)
- Qaf** FILL
- Tmv** MISSION VALLEY FORMATION (CIRCLED WHERE BURIED)
- D D'** GEOLOGIC CROSS SECTION
- GEOLOGIC CONTACT



SCALE IN FEET



NOTE: DIRECTIONS, DIMENSIONS AND LOCATIONS ARE APPROXIMATE

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GEOTECHNICAL MAP (PLANNED)

FIGURE

PROJECT NO.

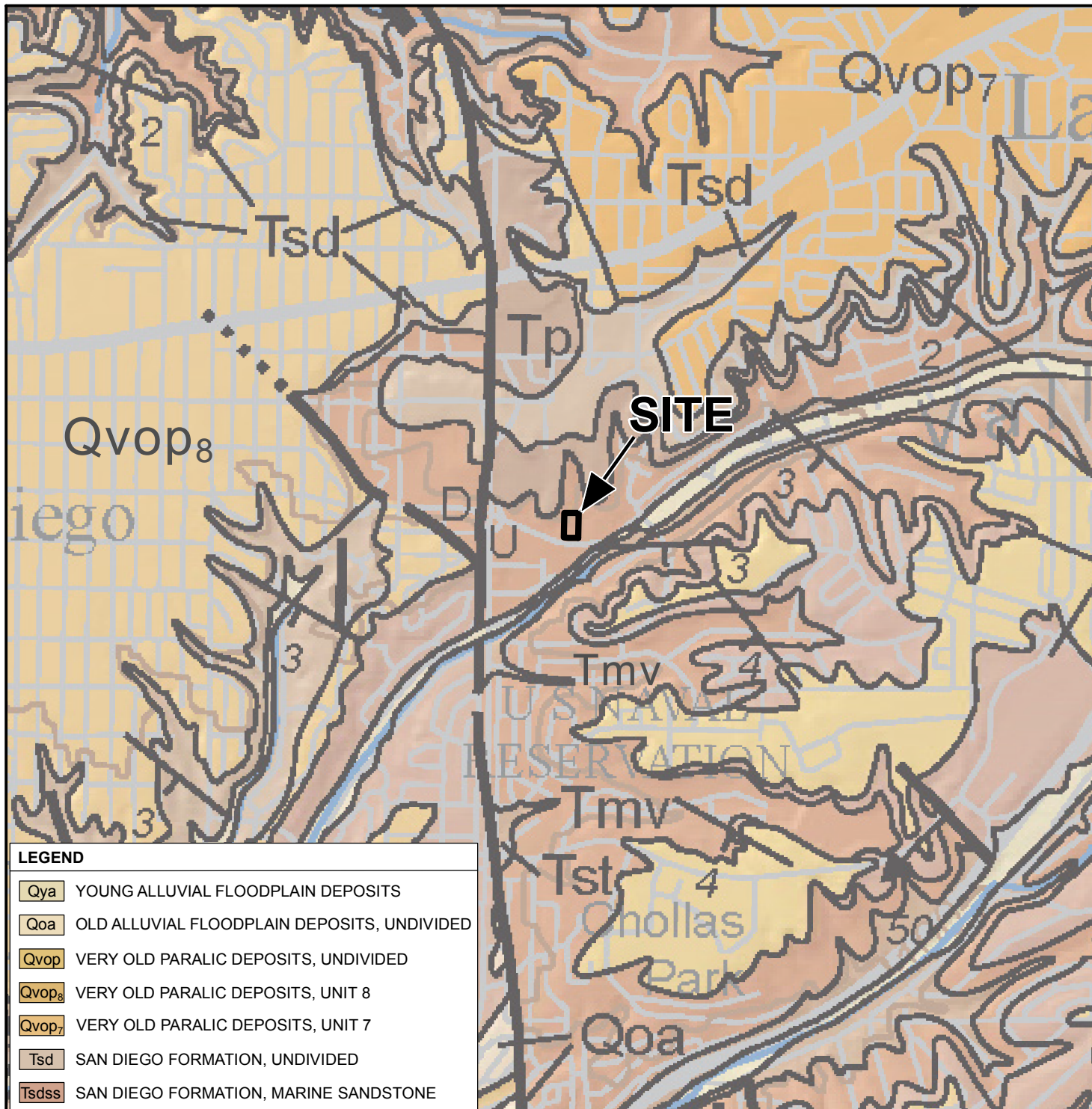
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2B



LEGEND

- Qya YOUNG ALLUVIAL FLOODPLAIN DEPOSITS
- Qoa OLD ALLUVIAL FLOODPLAIN DEPOSITS, UNDIVIDED
- Qvop VERY OLD PARALIC DEPOSITS, UNDIVIDED
- Qvop₈ VERY OLD PARALIC DEPOSITS, UNIT 8
- Qvop₇ VERY OLD PARALIC DEPOSITS, UNIT 7
- Tsd SAN DIEGO FORMATION, UNDIVIDED
- Tsdss SAN DIEGO FORMATION, MARINE SANDSTONE
- Tmv MISSION VALLEY FORMATION
- Tst STADIUM CONGLOMERATE

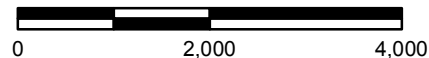
▲ $\frac{U}{D}$ FAULT - SOLID WHERE ACCURATELY LOCATED, DASHED WHERE APPROXIMATE, DOTTED WHERE CONCEALED. ARROW AND NUMBER INDICATE DIRECTION AND ANGLE OF DIP OF FAULT PLANE

$\frac{10}{}$ STRIKE AND DIP OF BEDS, INCLINED

SOURCE: KENNEDY, M.P., AND TAN, S.S., 2008, PRELIMINARY GEOLOGIC MAP OF THE SAN DIEGO 30' X 60' QUADRANGLE, CALIFORNIA.



SCALE IN FEET



NOTES: ALL DIRECTIONS, DIMENSIONS AND LOCATIONS ARE APPROXIMATE

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GEOLOGY

FIGURE

PROJECT NO.

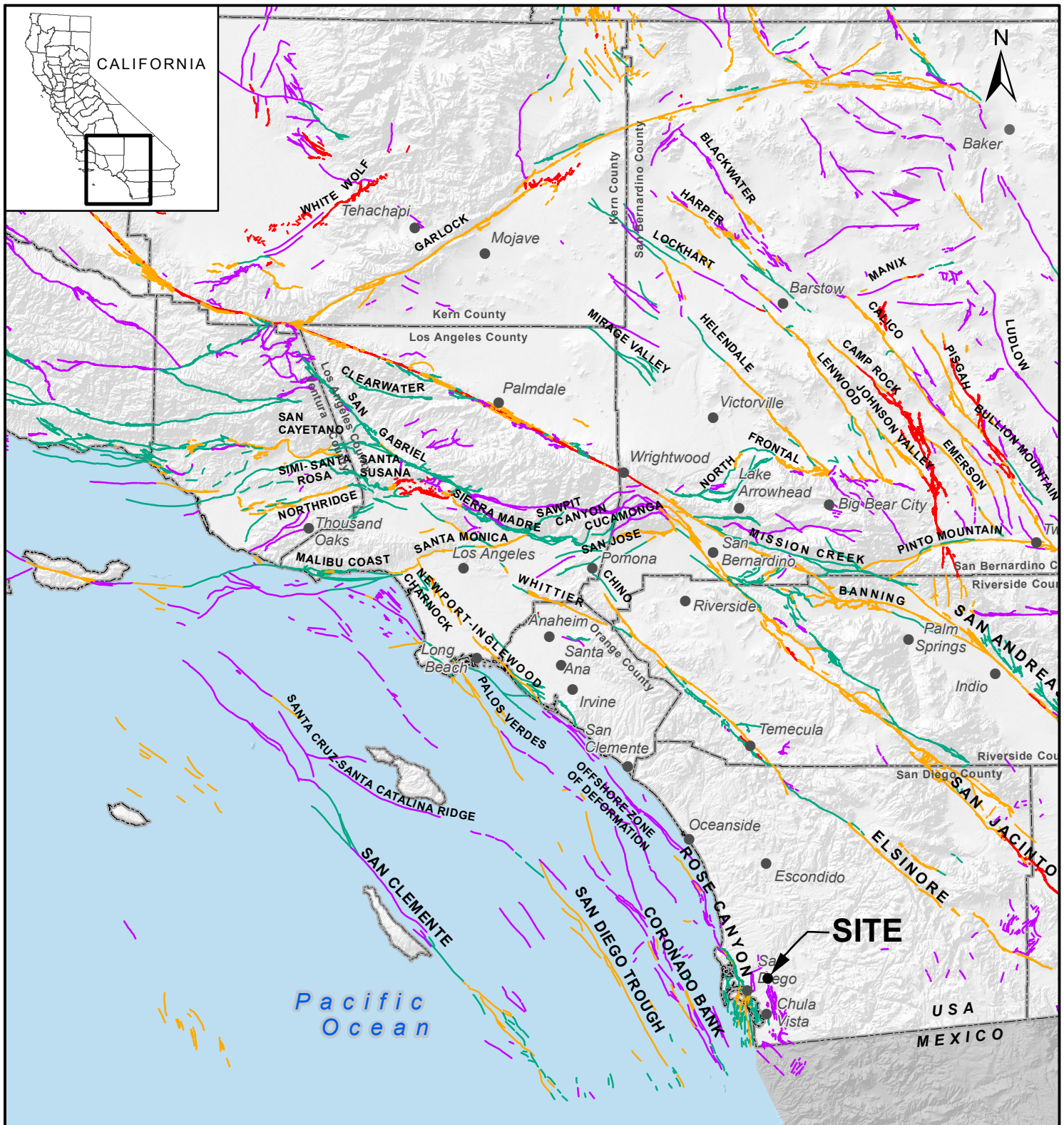
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3



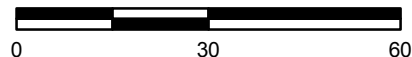
LEGEND

CALIFORNIA FAULT ACTIVITY

- | | |
|---|---|
| — HISTORICALLY ACTIVE | — QUATERNARY (POTENTIALLY ACTIVE) |
| — HOLOCENE ACTIVE | — STATE/COUNTY BOUNDARY |
| — LATE QUATERNARY (POTENTIALLY ACTIVE) | |

SOURCE: JENNINGS, C.W., AND BRYANT, W.A., 2010, FAULT ACTIVITY MAP OF CALIFORNIA, CALIFORNIA GEOLOGICAL SURVEY.

SCALE IN MILES



NOTE: DIRECTIONS, DIMENSIONS AND LOCATIONS ARE APPROXIMATE.

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DATE

108335001

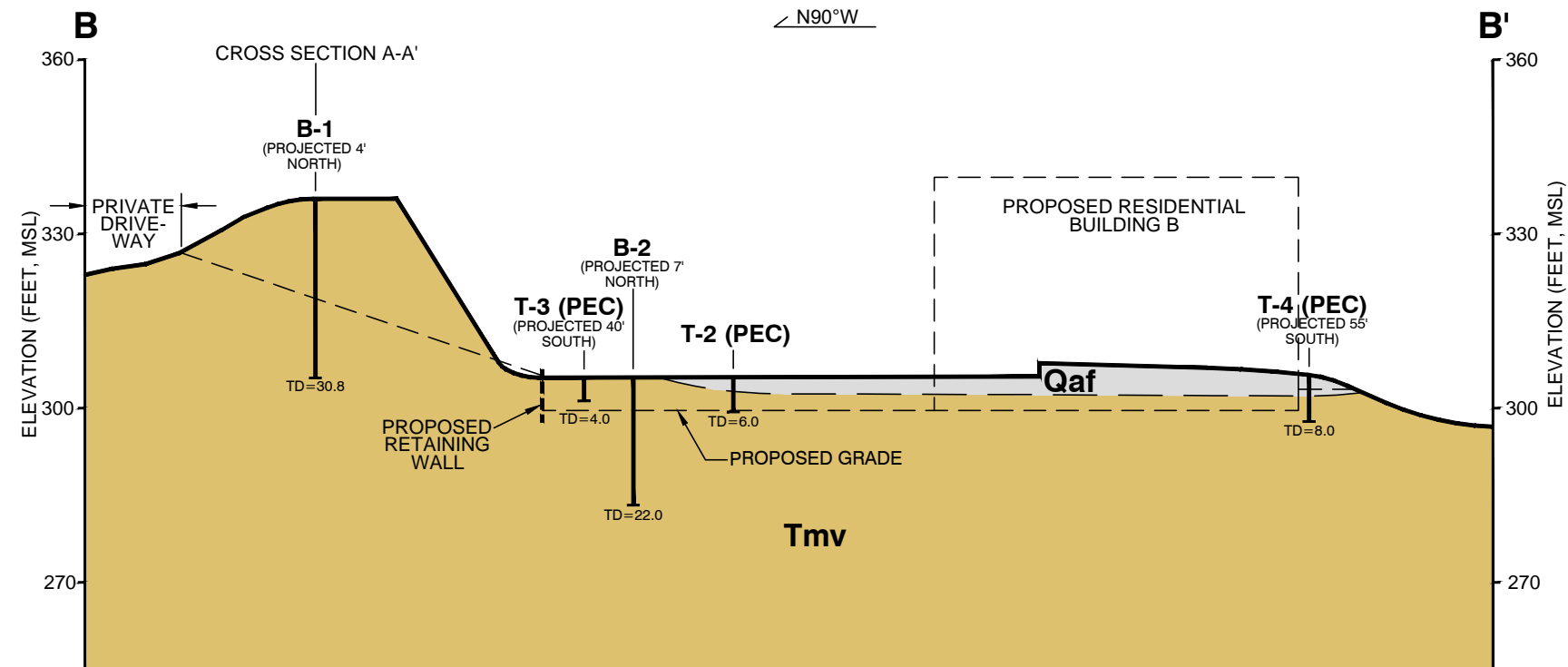
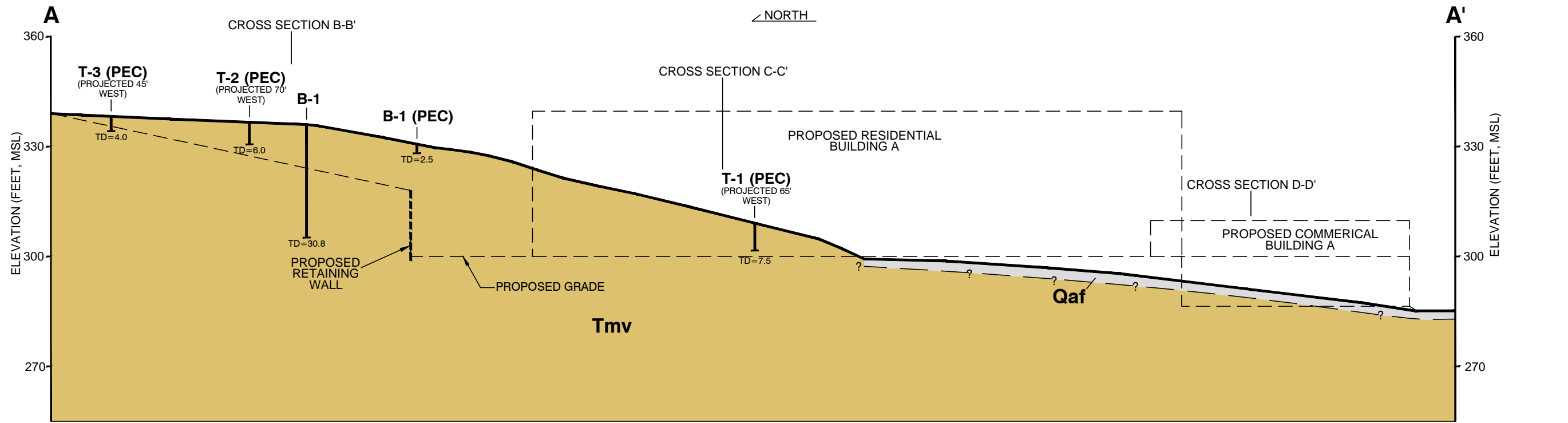
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FAULT LOCATIONS

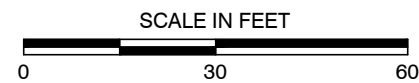
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FIGURE

4



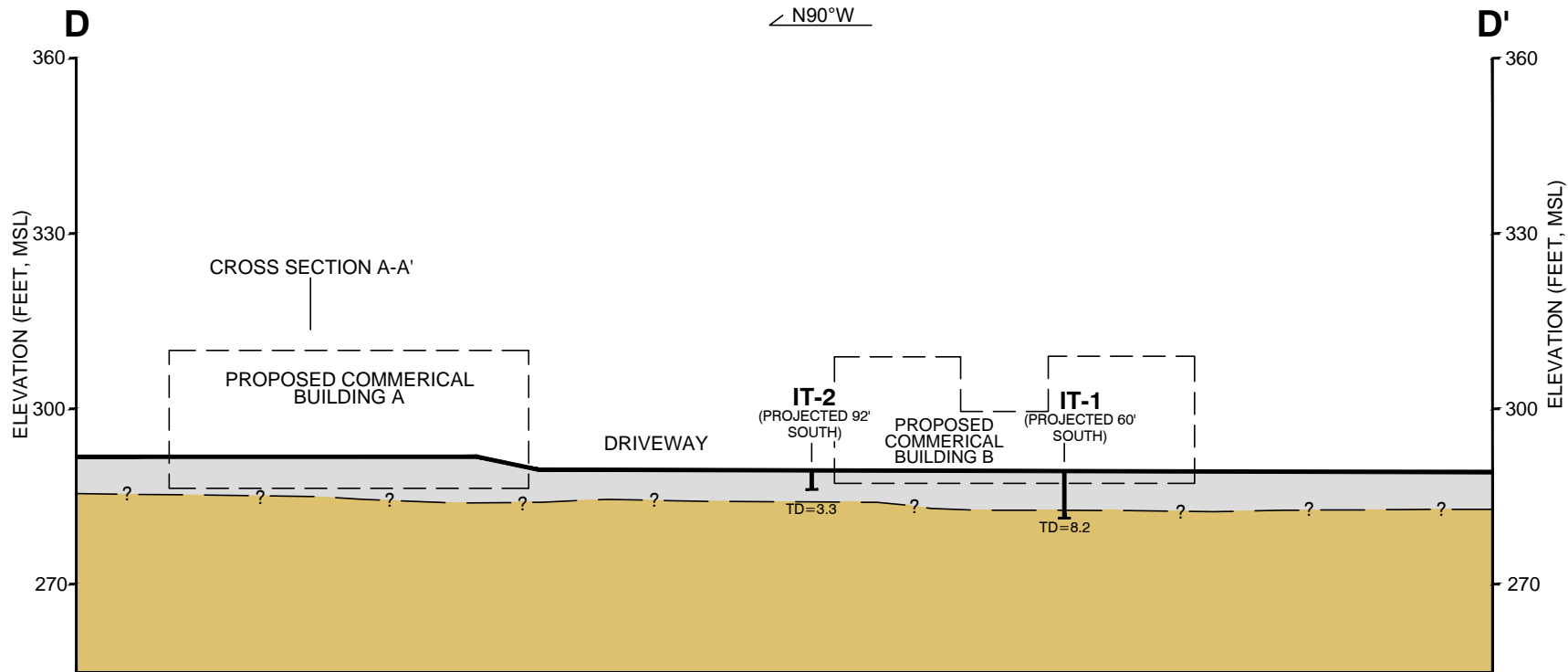
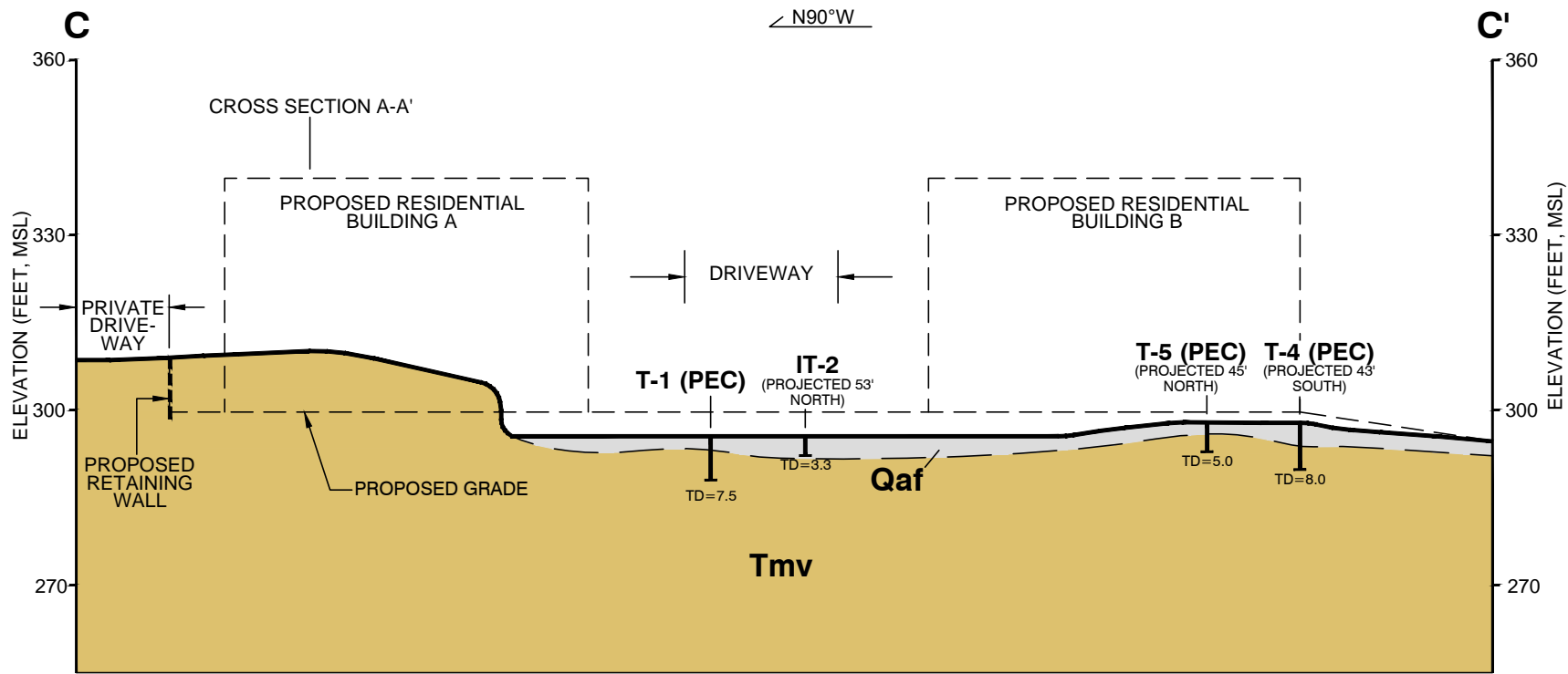
| LEGEND | |
|------------------|---|
| B-2 | BORING |
| TD=22.0 | TD=TOTAL DEPTH IN FEET |
| IT-2 | INFILTRATION TEST |
| TD=3.3 | TD=TOTAL DEPTH IN FEET |
| B-1 (PEC) | BORING (PEC, 2015) |
| TD=2.5 | TD=TOTAL DEPTH IN FEET |
| T-5 (PEC) | TEST PIT (PEC, 2015) |
| TD=5.0 | TD=TOTAL DEPTH IN FEET |
| Qaf | FILL |
| Tmv | MISSION VALLEY FORMATION |
| ? | GEOLOGIC CONTACT, QUERIED WHERE UNCERTAIN |








NOTE: DIMENSIONS, DIRECTIONS AND LOCATIONS ARE APPROXIMATE

| | | | |
|---------------------------------|------|--|--------------------------|
| <i>Ninyo & Moore</i> | | GEOLOGIC CROSS SECTION A-A' AND B-B' | FIGURE 5 |
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6 108335001 cs-c-c' d-d' dwg

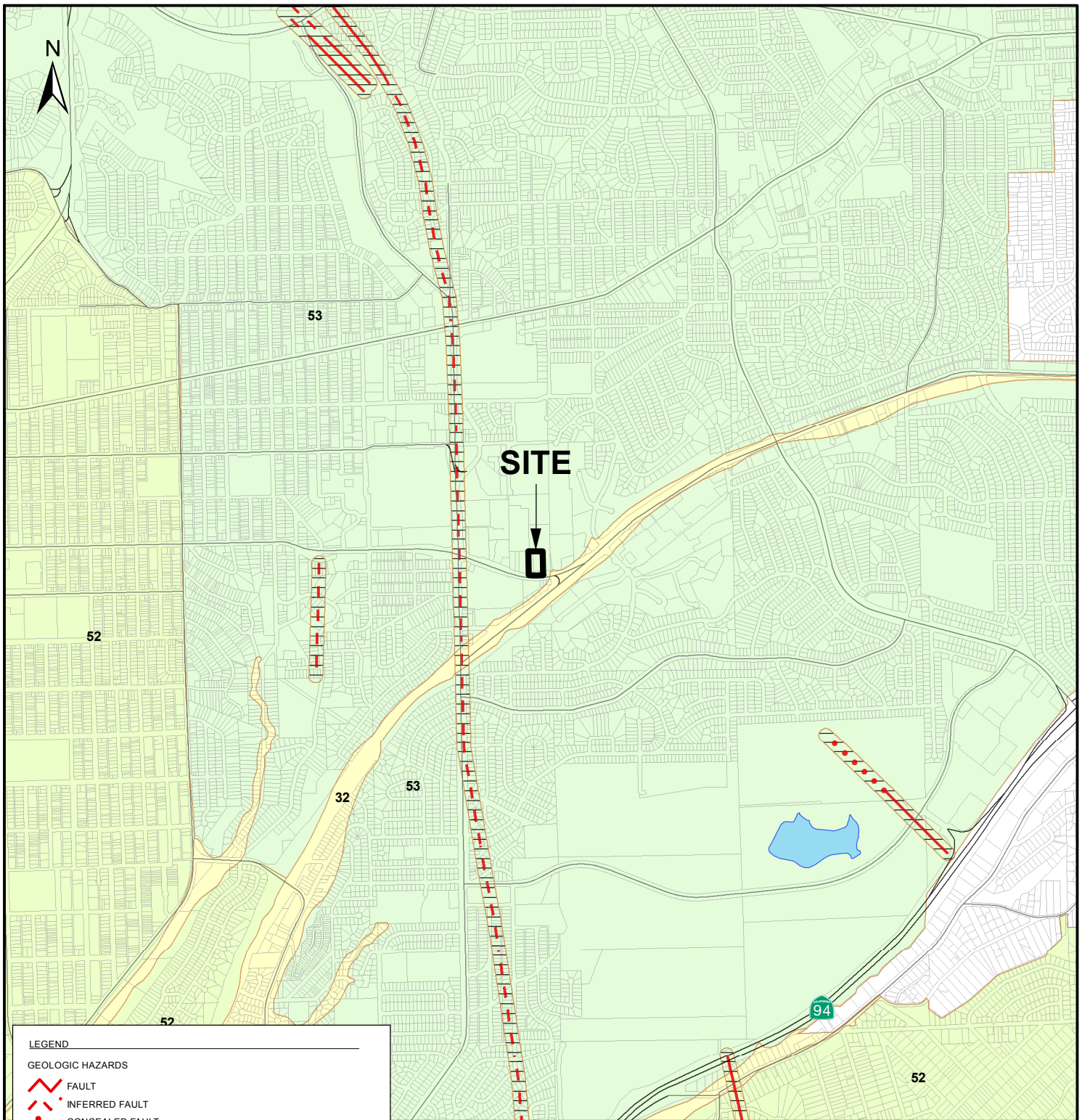


| LEGEND | |
|--|--|
|  IT-2 TD=3.3 | INFILTRATION TEST TD=TOTAL DEPTH IN FEET |
|  T-5 (PEC) TD=5.0 | TEST PIT (PEC, 2015) TD=TOTAL DEPTH IN FEET |
|  Qaf | FILL |
|  Tmv | MISSION VALLEY FORMATION |
|  — ? — | GEOLOGIC CONTACT, QUERIED WHERE UNCERTAIN |

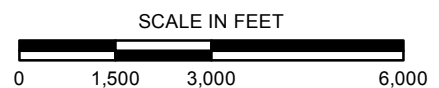


NOTE: DIMENSIONS, DIRECTIONS AND LOCATIONS ARE APPROXIMATE

| <i>Ninyo & Moore</i> | | GEOLOGIC CROSS SECTION C-C' AND D-D' | FIGURE 6 |
|--------------------------|------|--|------------------------|
| PROJECT NO. | DATE | UNIVERSITY AVENUE MIXED USE RESIDENTIAL/COMMERICAL SAN DIEGO, CALIFORNIA | |
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SOURCE: CITY OF SAN DIEGO SEISMIC SAFETY STUDY GEOLOGIC HAZARDS AND FAULTS, SANGIS, 2008



NOTE: DIRECTIONS, DIMENSIONS AND LOCATIONS ARE APPROXIMATE.

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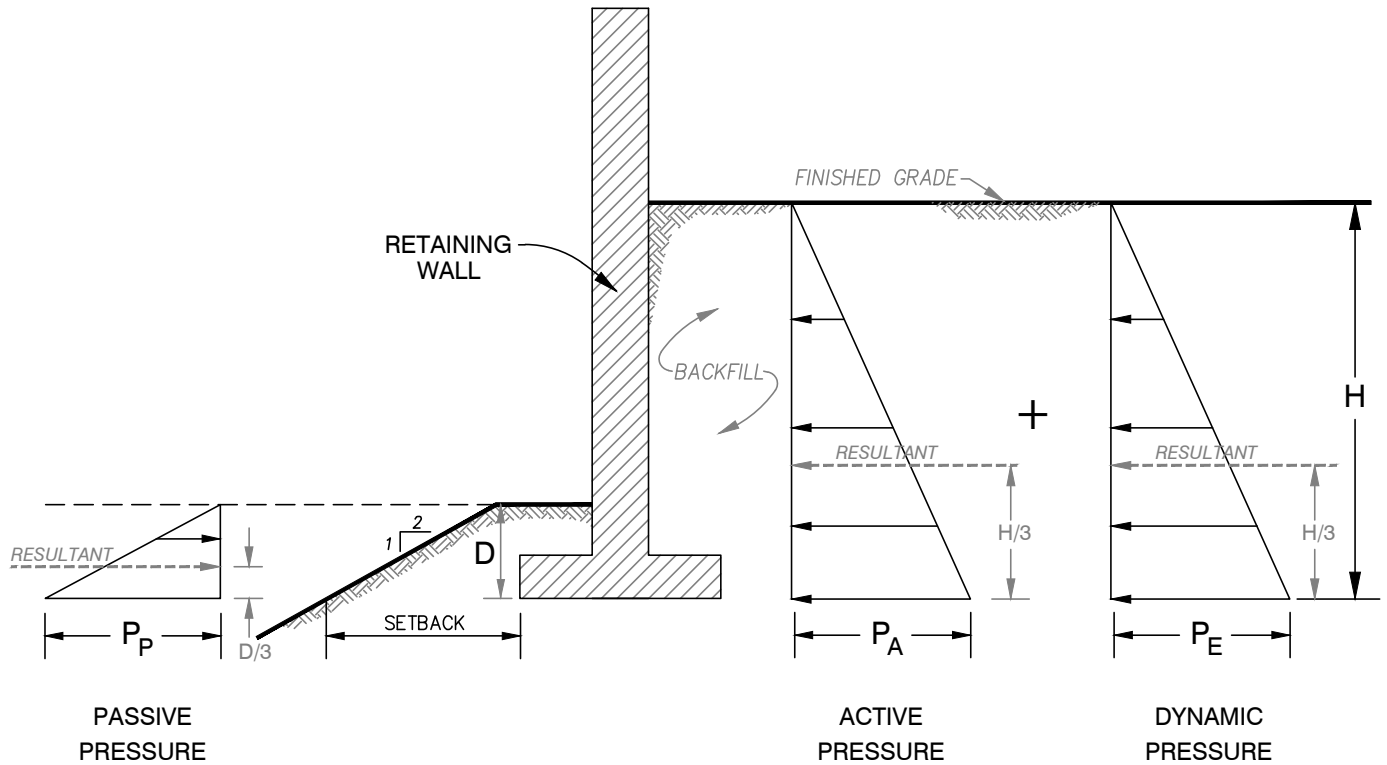
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GEOLOGIC HAZARDS

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FIGURE

7



NOTES:

1. ASSUMES NO HYDROSTATIC PRESSURE BUILD-UP BEHIND THE RETAINING WALL
2. GRANULAR BACKFILL MATERIALS SHOULD BE USED FOR RETAINING WALL BACKFILL
3. DRAINS AS RECOMMENDED IN THE RETAINING WALL DRAINAGE DETAIL SHOULD BE INSTALLED BEHIND THE RETAINING WALL
4. DYNAMIC LATERAL EARTH PRESSURE IS BASED ON A PEAK GROUND ACCELERATION OF 0.393g
5. P_E IS CALCULATED IN ACCORDANCE WITH THE RECOMMENDATIONS OF MONONOBÉ AND MATSUO (1929), AND ATIK AND SITAR (2010).
6. SURCHARGE PRESSURES CAUSED BY VEHICLES OR NEARBY STRUCTURES ARE NOT INCLUDED
7. H AND D ARE IN FEET
8. SETBACK SHOULD BE IN ACCORDANCE WITH THE CBC

RECOMMENDED GEOTECHNICAL DESIGN PARAMETERS

| Lateral Earth Pressure | Equivalent Fluid Pressure (lb/ft ² /ft) ⁽¹⁾ | |
|------------------------|---|---|
| P_A | Level Backfill with Granular Soils ⁽²⁾ | 2H:1V Sloping Backfill with Granular Soils ⁽²⁾ |
| | 40 H | 65 H |
| P_E | 16 H | |
| P_P | Level Ground | 2H:1V Descending Ground |
| | 400 D | 200 D |

NOT TO SCALE

Ninyo & Moore

LATERAL EARTH PRESSURES FOR YIELDING RETAINING WALLS

FIGURE

PROJECT NO.

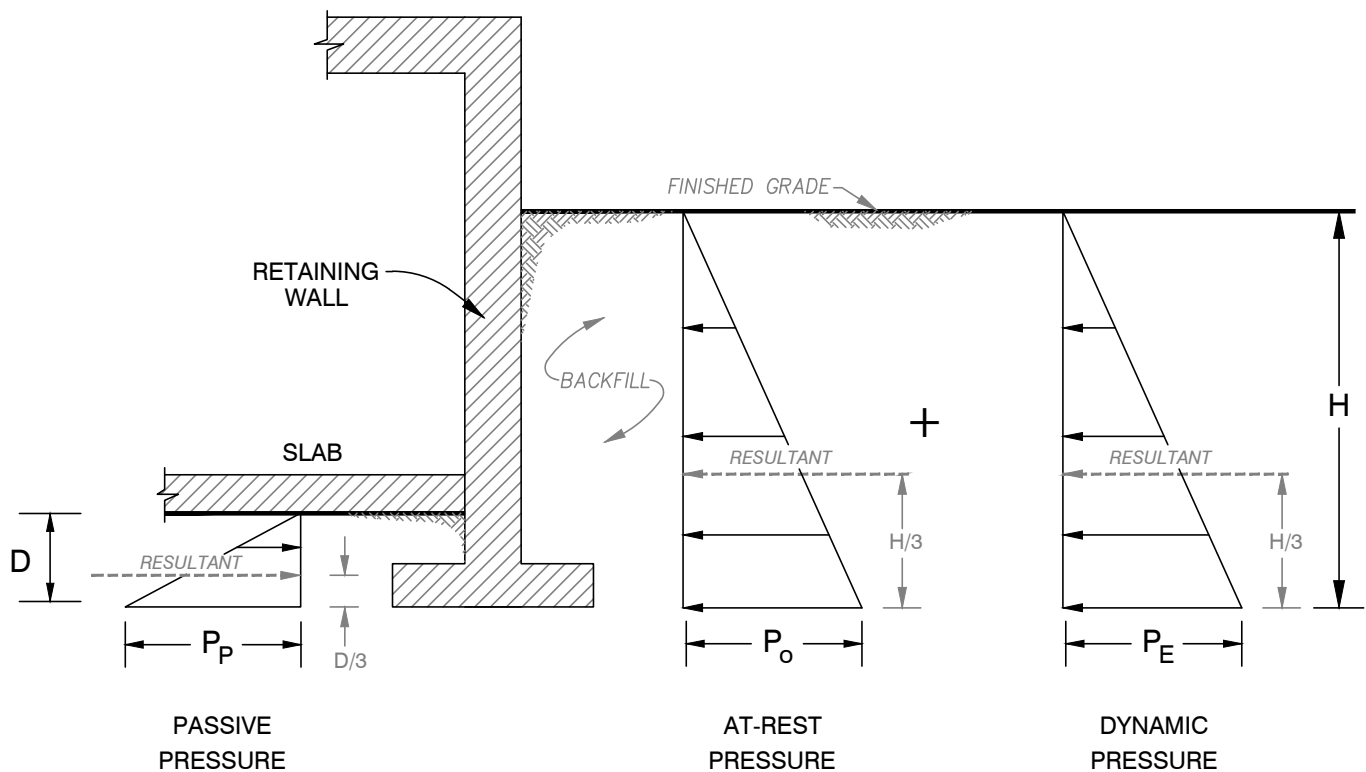
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NOTES:

1. ASSUMES NO HYDROSTATIC PRESSURE BUILD-UP BEHIND THE RETAINING WALL
2. GRANULAR BACKFILL MATERIALS SHOULD BE USED FOR RETAINING WALL BACKFILL
3. DRAINS AS RECOMMENDED IN THE RETAINING WALL DRAINAGE DETAIL SHOULD BE INSTALLED BEHIND THE RETAINING WALL
4. DYNAMIC LATERAL EARTH PRESSURE IS BASED ON A PEAK GROUND ACCELERATION OF 0.393g
5. P_e IS CALCULATED IN ACCORDANCE WITH THE RECOMMENDATIONS OF MONONOBÉ AND MATSUO (1929), AND ATIK AND SITAR (2010).
6. SURCHARGE PRESSURES CAUSED BY VEHICLES OR NEARBY STRUCTURES ARE NOT INCLUDED
7. H AND D ARE IN FEET

RECOMMENDED GEOTECHNICAL DESIGN PARAMETERS

| Lateral Earth Pressure | Equivalent Fluid Pressure (lb/ft ² /ft) ⁽¹⁾ | |
|------------------------|---|---|
| P_o | Level Backfill with Granular Soils ⁽²⁾ | 2H:1V Sloping Backfill with Granular Soils ⁽²⁾ |
| | 60 H | 95 H |
| P_e | 16 H | |
| P_p | Level Ground | 2H:1V Descending Ground |
| | 400 D | 200 D |

NOT TO SCALE

Ninyo & Moore

LATERAL EARTH PRESSURES FOR RESTRAINED RETAINING WALLS

FIGURE

PROJECT NO.

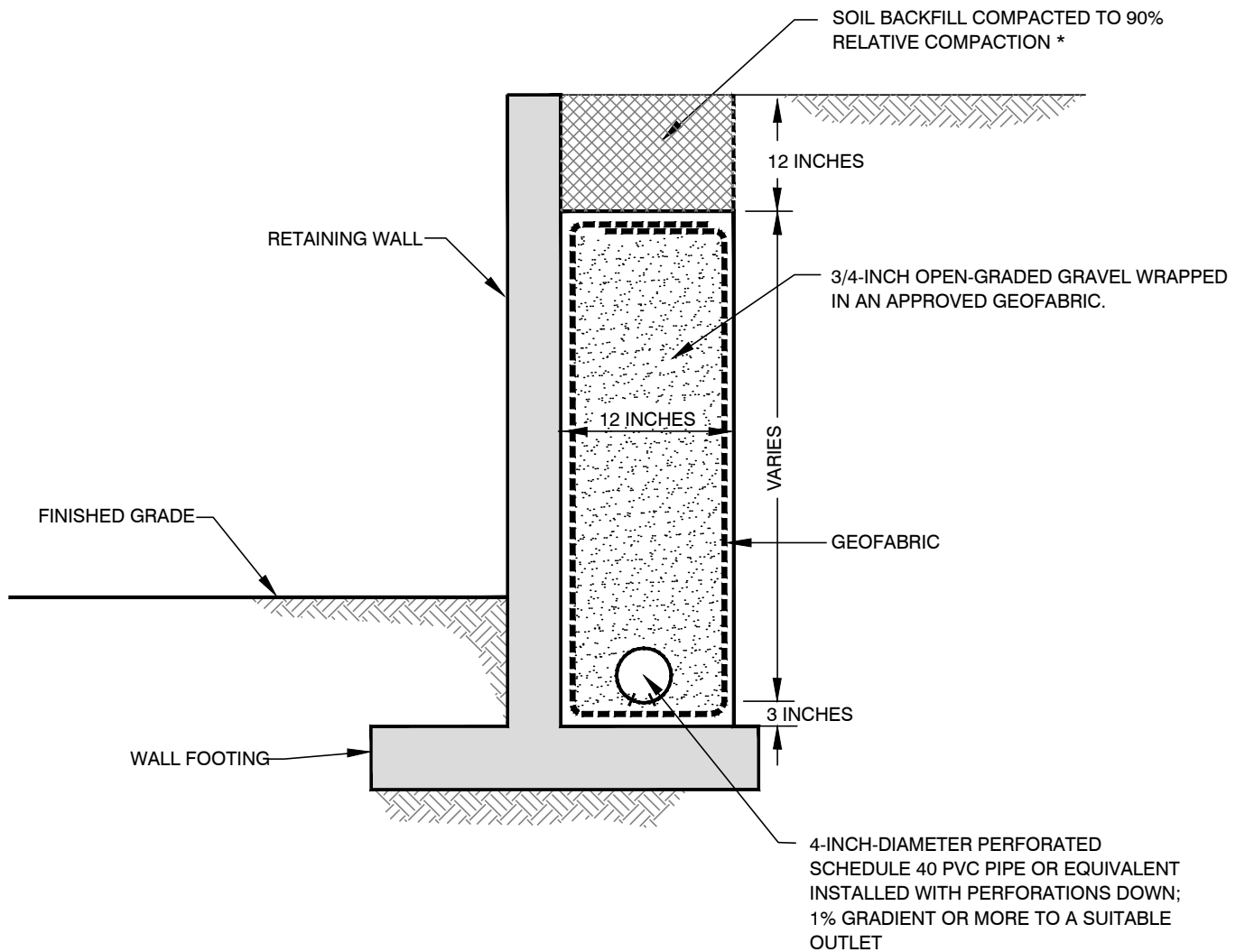
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*BASED ON ASTM D1557

NOT TO SCALE

NOTE: AS AN ALTERNATIVE, AN APPROVED GEOCOMPOSITE DRAIN SYSTEM MAY BE USED.

Ninyo & Moore

RETAINING WALL DRAINAGE DETAIL

FIGURE

PROJECT NO.

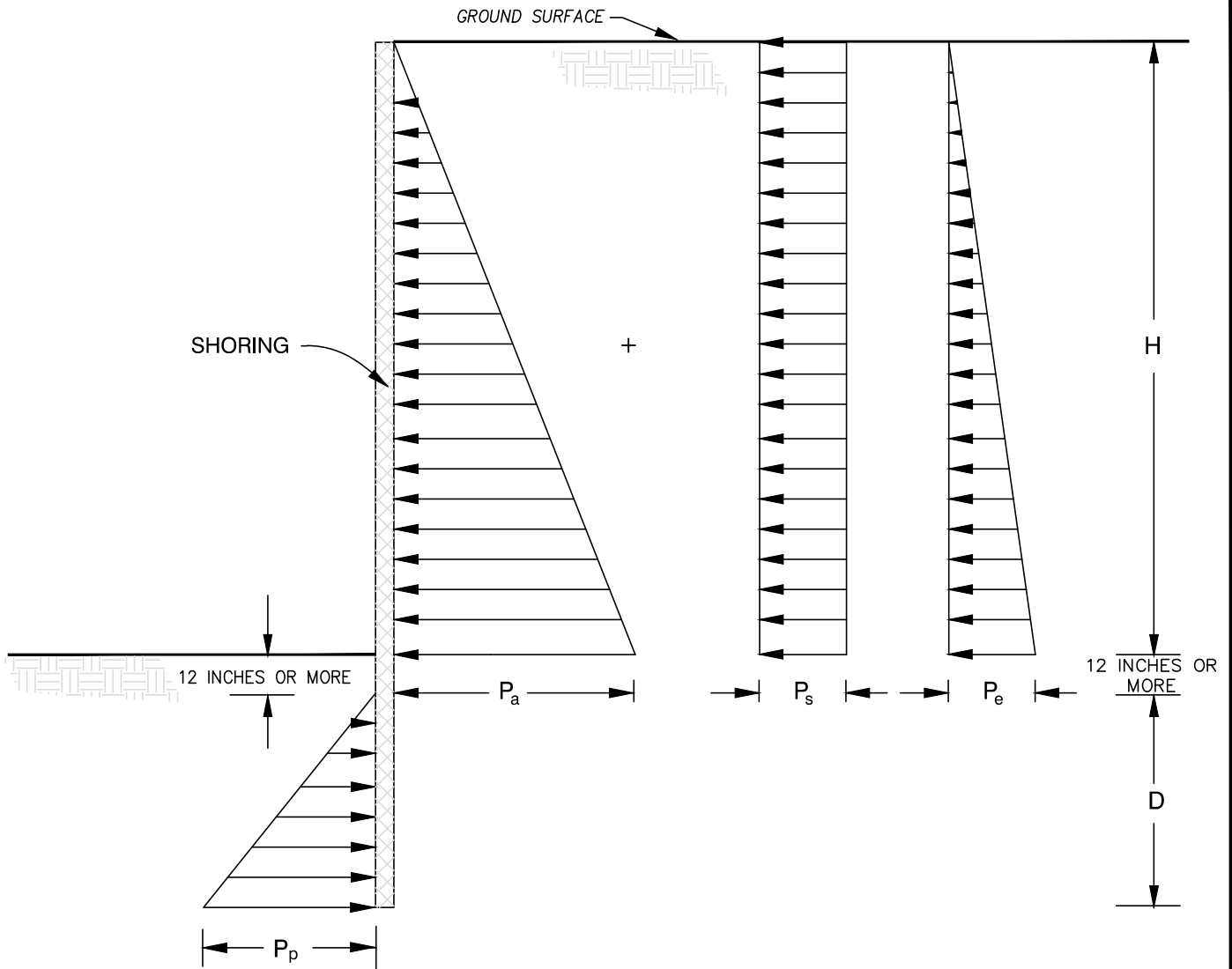
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NOTES:

1. ACTIVE LATERAL EARTH PRESSURE, P_a
 $P_a = 30 H$ psf (LEVEL); $45 H$ psf (2:1 SLOPING)
2. CONSTRUCTION TRAFFIC INDUCED SURCHARGE PRESSURE, P_s
 $P_s = 120$ psf
3. PASSIVE LATERAL EARTH PRESSURE, P_p
 $P_p = 400 D$ psf (LEVEL); $200 D$ psf (2:1 SLOPING)
4. DYNAMIC EARTH PRESSURE, P_e
 $P_e = 13 H$ psf
5. ASSUMES GROUNDWATER IS NOT PRESENT
6. H AND D ARE IN FEET

NOT TO SCALE

Ninyo & Moore

**LATERAL EARTH PRESSURES FOR PERMANENT
SOLDIER BEAM AND LAGGING WALLS**

FIGURE

PROJECT NO.

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APPENDIX A

BORING LOGS

Field Procedure for the Collection of Disturbed Samples

Disturbed soil samples were obtained in the field using the following method.

Bulk Samples

Bulk samples of representative earth materials were obtained from the exploratory borings. The samples were bagged and transported to the laboratory for testing.

Field Procedure for the Collection of Relatively Undisturbed Samples

Relatively undisturbed soil samples were obtained in the field using the following method.

The Modified Split-Barrel Drive Sampler

The sampler, with an external diameter of 3.0 inches, was lined with 1-inch long, thin brass rings with inside diameters of approximately 2.4 inches. The sample barrel was driven into the ground with the weight of a hammer of the drill rig in general accordance with ASTM D 3550. The driving weight was permitted to fall freely. The approximate length of the fall, the weight of the hammer, and the number of blows per foot of driving are presented on the boring logs as an index to the relative resistance of the materials sampled. The samples were removed from the sample barrel in the brass rings, sealed, and transported to the laboratory for testing.

| DEPTH (feet) | | BULK SAMPLES Driven | BLOWS/FOOT | MOISTURE (%) | DRY DENSITY (PCF) | SYMBOL | CLASSIFICATION U.S.C.S. | BORING LOG EXPLANATION SHEET |
|--------------|--|------------------------|------------|--------------|-------------------|--------|----------------------------|--|
| | | | | | | | | |
| 0 | | | | | | | | <p>Bulk sample.</p> <p>Modified split-barrel drive sampler.</p> <p>2-inch inner diameter split-barrel drive sampler.</p> <p>No recovery with modified split-barrel drive sampler, or 2-inch inner diameter split-barrel drive sampler.</p> <p>Sample retained by others.</p> <p>Standard Penetration Test (SPT).</p> <p>No recovery with a SPT.</p> <p>Shelby tube sample. Distance pushed in inches/length of sample recovered in inches.</p> <p>No recovery with Shelby tube sampler.</p> <p>Continuous Push Sample.</p> <p>Seepage.</p> <p>Groundwater encountered during drilling.</p> <p>Groundwater measured after drilling.</p> |
| 5 | | | XX/XX | | | | | |
| 10 | | | | | | | | |
| | | | | | | | SM | <p><u>MAJOR MATERIAL TYPE (SOIL):</u> Solid line denotes unit change.</p> |
| | | | | | | | CL | <p>Dashed line denotes material change.</p> <p>Attitudes: Strike/Dip b: Bedding c: Contact j: Joint f: Fracture F: Fault cs: Clay Seam s: Shear bss: Basal Slide Surface sf: Shear Fracture sz: Shear Zone sbs: Shear Bedding Surface</p> |
| 15 | | | | | | | | |
| 20 | | | | | | | | <p>The total depth line is a solid line that is drawn at the bottom of the boring.</p> |

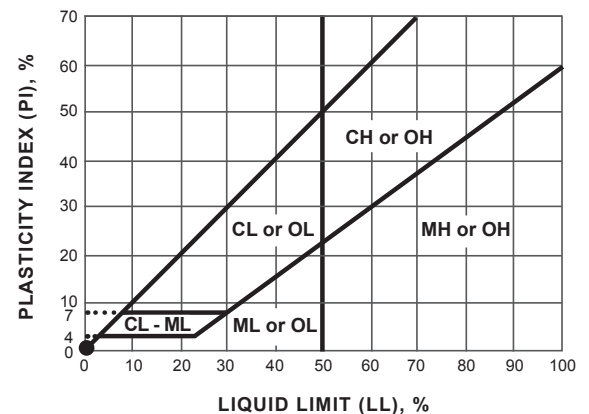
SOIL CLASSIFICATION CHART PER ASTM D 2488

| PRIMARY DIVISIONS | | | SECONDARY DIVISIONS | |
|--|---|---|---------------------|---|
| | | | GROUP SYMBOL | GROUP NAME |
| COARSE-GRAINED SOILS more than 50% retained on No. 200 sieve | GRAVEL more than 50% of coarse fraction retained on No. 4 sieve | CLEAN GRAVEL less than 5% fines | | GW well-graded GRAVEL |
| | | | | GP poorly graded GRAVEL |
| | | GRAVEL with DUAL CLASSIFICATIONS 5% to 12% fines | | GW-GM well-graded GRAVEL with silt |
| | | | | GP-GM poorly graded GRAVEL with silt |
| | | | | GW-GC well-graded GRAVEL with clay |
| | | | | GP-GC poorly graded GRAVEL with clay |
| | | GRAVEL with FINES more than 12% fines | | GM silty GRAVEL |
| | | | | GC clayey GRAVEL |
| | | | | GC-GM silty, clayey GRAVEL |
| | SAND 50% or more of coarse fraction passes No. 4 sieve | CLEAN SAND less than 5% fines | | SW well-graded SAND |
| | | | | SP poorly graded SAND |
| | | SAND with DUAL CLASSIFICATIONS 5% to 12% fines | | SW-SM well-graded SAND with silt |
| | | | | SP-SM poorly graded SAND with silt |
| | | | | SW-SC well-graded SAND with clay |
| | | | | SP-SC poorly graded SAND with clay |
| | | SAND with FINES more than 12% fines | | SM silty SAND |
| | | | | SC clayey SAND |
| | | | | SC-SM silty, clayey SAND |
| FINE-GRAINED SOILS 50% or more passes No. 200 sieve | SILT and CLAY liquid limit less than 50% | INORGANIC | | CL lean CLAY |
| | | | | ML SILT |
| | | | | CL-ML silty CLAY |
| | | ORGANIC | | OL (PI > 4) organic CLAY |
| | | | | OL (PI < 4) organic SILT |
| | SILT and CLAY liquid limit 50% or more | INORGANIC | | CH fat CLAY |
| | | | | MH elastic SILT |
| | | ORGANIC | | OH (plots on or above "A"-line) organic CLAY |
| | | | | OH (plots below "A"-line) organic SILT |
| | | | | PT Peat |

GRAIN SIZE

| DESCRIPTION | | SIEVE SIZE | GRAIN SIZE | APPROXIMATE SIZE |
|-------------|--------|--------------|-----------------|--------------------------------|
| Boulders | | > 12" | > 12" | Larger than basketball-sized |
| Cobbles | | 3 - 12" | 3 - 12" | Fist-sized to basketball-sized |
| Gravel | Coarse | 3/4 - 3" | 3/4 - 3" | Thumb-sized to fist-sized |
| | Fine | #4 - 3/4" | 0.19 - 0.75" | Pea-sized to thumb-sized |
| Sand | Coarse | #10 - #4 | 0.079 - 0.19" | Rock-salt-sized to pea-sized |
| | Medium | #40 - #10 | 0.017 - 0.079" | Sugar-sized to rock-salt-sized |
| | Fine | #200 - #40 | 0.0029 - 0.017" | Flour-sized to sugar-sized |
| Fines | | Passing #200 | < 0.0029" | Flour-sized and smaller |

PLASTICITY CHART



APPARENT DENSITY - COARSE-GRAINED SOIL

| APPARENT DENSITY | SPOOLING CABLE OR CATHEAD | | AUTOMATIC TRIP HAMMER | |
|------------------|---------------------------|------------------------------------|-----------------------|------------------------------------|
| | SPT (blows/foot) | MODIFIED SPLIT BARREL (blows/foot) | SPT (blows/foot) | MODIFIED SPLIT BARREL (blows/foot) |
| Very Loose | ≤ 4 | ≤ 8 | ≤ 3 | ≤ 5 |
| Loose | 5 - 10 | 9 - 21 | 4 - 7 | 6 - 14 |
| Medium Dense | 11 - 30 | 22 - 63 | 8 - 20 | 15 - 42 |
| Dense | 31 - 50 | 64 - 105 | 21 - 33 | 43 - 70 |
| Very Dense | > 50 | > 105 | > 33 | > 70 |

CONSISTENCY - FINE-GRAINED SOIL

| CONSISTENCY | SPOOLING CABLE OR CATHEAD | | AUTOMATIC TRIP HAMMER | |
|-------------|---------------------------|------------------------------------|-----------------------|------------------------------------|
| | SPT (blows/foot) | MODIFIED SPLIT BARREL (blows/foot) | SPT (blows/foot) | MODIFIED SPLIT BARREL (blows/foot) |
| Very Soft | < 2 | < 3 | < 1 | < 2 |
| Soft | 2 - 4 | 3 - 5 | 1 - 3 | 2 - 3 |
| Firm | 5 - 8 | 6 - 10 | 4 - 5 | 4 - 6 |
| Stiff | 9 - 15 | 11 - 20 | 6 - 10 | 7 - 13 |
| Very Stiff | 16 - 30 | 21 - 39 | 11 - 20 | 14 - 26 |
| Hard | > 30 | > 39 | > 20 | > 26 |

Ninyo & Moore

USCS METHOD OF SOIL CLASSIFICATION

Explanation of USCS Method of Soil Classification

PROJECT NO.

DATE

FIGURE

| DEPTH (feet) | SAMPLES | | BLOWS/FOOT | MOISTURE (%) | DRY DENSITY (PCF) | SYMBOL | CLASSIFICATION U.S.C.S. | DATE DRILLED <u>3/24/17</u> BORING NO. <u>B-1</u> | | |
|----------------------------|---------|--------|------------|--------------|-------------------|--------|----------------------------|--|--|------------------------|
| | Bulk | Driven | | | | | | GROUND ELEVATION <u>337' ± (MSL)</u> SHEET <u>1</u> OF <u>1</u> | METHOD OF DRILLING <u>8" Diameter Hollow Stem Auger (Limited Access Rig) (Scott's)</u> | |
| | | | | | | | | DRIVE WEIGHT <u>140 lbs. (Cathead)</u> | DROP <u>30"</u> | |
| | | | | | | | | SAMPLED BY <u>GSW</u> | LOGGED BY <u>GSW</u> | REVIEWED BY <u>GTF</u> |
| DESCRIPTION/INTERPRETATION | | | | | | | | | | |
| 0 | | | | | | | | MISSION VALLEY FORMATION: Light brown to gray, moist, strongly cemented, silty fine- to medium-grained SANDSTONE, | | |
| | | | 88/9" | 11.0 | 110.3 | | | Gray. | | |
| 10 | | | 81/9" | 12.1 | 111.4 | | | Iron-oxide staining. | | |
| | | | 94/10" | 9.9 | 111.0 | | | Medium- to coarse-grained. | | |
| 20 | | | 85/9" | 13.5 | 110.8 | | | Fine- to medium-grained; micaceous. | | |
| | | | 88/9" | 17.3 | 109.8 | | | Fine-grained. | | |
| 30 | | | 98/10" | 18.4 | 106.2 | | | Iron-oxide staining. | | |
| | | | | | | | | Total Depth = 30.8 feet. Groundwater not encountered during drilling. Backfilled with approximately 10.5 cubic feet of bentonite grout shortly after drilling on 3/24/17. | | |
| | | | | | | | | <u>Note:</u> Groundwater, though not encountered at the time of drilling, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report. | | |
| | | | | | | | | The ground elevation shown above is an estimation only. It is based on our interpretations of published maps and other documents reviewed for the purposes of this evaluation. It is not sufficiently accurate for preparing construction bids and design documents. | | |
| 40 | | | | | | | | | | |

| DEPTH (feet) | SAMPLES | | BLOWS/FOOT | MOISTURE (%) | DRY DENSITY (PCF) | SYMBOL | CLASSIFICATION U.S.C.S. | DATE DRILLED <u>3/24/17</u> BORING NO. <u>B-2</u> GROUND ELEVATION <u>304' ± (MSL)</u> SHEET <u>1</u> OF <u>1</u> METHOD OF DRILLING <u>8" Diameter Hollow Stem Auger (Limited Access Rig) (Scott's)</u> DRIVE WEIGHT <u>140 lbs. (Cathead)</u> DROP <u>30"</u> SAMPLED BY <u>GSW</u> LOGGED BY <u>GSW</u> REVIEWED BY <u>GTF</u> | | |
|--------------|---------|--------|------------|--------------|-------------------|--------|----------------------------|--|--|--|
| | Bulk | Driven | | | | | | DESCRIPTION/INTERPRETATION | | |
| 0 | | | | | | | | PORTLAND CEMENT CONCRETE: Approximately 4.25 inches thick. MISSION VALLEY FORMATION: Brown to gray, moist, moderately cemented, silty, fine- to medium-grained SANDSTONE. Micaceous. | | |
| 89/9" | | | | | | | | Brown to gray, moist, well indurated, sandy SILTSTONE; micaceous. | | |
| 10 | | | 50/6" | 14.5 | 109.3 | | | | | |
| | | | 50/6" | 14.6 | 112.5 | | | | | |
| 20 | | | 60/6" | 15.1 | 114.2 | | | | | |
| 30 | | | | | | | | Total Depth = 22 feet. Groundwater not encountered during drilling. Backfilled with approximately 7 cubic feet of bentonite grout shortly after drilling on 3/24/17. <u>Note:</u> Groundwater, though not encountered at the time of drilling, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report. The ground elevation shown above is an estimation only. It is based on our interpretations of published maps and other documents reviewed for the purposes of this evaluation. It is not sufficiently accurate for preparing construction bids and design documents. | | |
| 40 | | | | | | | | | | |

Ninyo & Moore

BORING LOG

UNIVERSITY AVENUE
MIXED USED RESIDENTIAL/COMMERCIAL, SAN DIEGO, CALIFORNIA

PROJECT NO.
108335001

DATE
5/17

FIGURE
A-2

| DEPTH (feet) | SAMPLES | | BLOWS/FOOT | MOISTURE (%) | DRY DENSITY (PCF) | SYMBOL | CLASSIFICATION U.S.C.S. | DATE DRILLED | BORING NO. | | | | |
|--------------|---------|--------|------------|--------------|-------------------|--------|----------------------------|--|--------------|-----------|-----|-------------|-----|
| | Bulk | Driven | | | | | | 3/23/17 | IT-1 | | | | |
| | | | | | | | | GROUND ELEVATION | 296' ± (MSL) | SHEET | 1 | OF | 1 |
| | | | | | | | | METHOD OF DRILLING | Manual | | | | |
| | | | | | | | | DRIVE WEIGHT | N/A | DROP | N/A | | |
| | | | | | | | | SAMPLED BY | GSW | LOGGED BY | GSW | REVIEWED BY | GTF |
| | | | | | | | | DESCRIPTION/INTERPRETATION | | | | | |
| 0 | | | | | | | CL | FILL: Brown, moist, very stiff to hard, sandy CLAY with gravel and cobbles. | | | | | |
| | | | | | | | | MISSION VALLEY FORMATION: Brown to gray, moist, weakly cemented, silty SANDSTONE. Total Depth = 8.2 feet. Groundwater not encountered during drilling. Backfilled on 3/24/17. | | | | | |
| 10 | | | | | | | | Note: Groundwater, though not encountered at the time of drilling, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report. | | | | | |
| | | | | | | | | The ground elevation shown above is an estimation only. It is based on our interpretations of published maps and other documents reviewed for the purposes of this evaluation. It is not sufficiently accurate for preparing construction bids and design documents. | | | | | |
| 20 | | | | | | | | | | | | | |
| 30 | | | | | | | | | | | | | |
| 40 | | | | | | | | | | | | | |

Ninyo & Moore

BORING LOG

UNIVERSITY AVENUE
MIXED USED RESIDENTIAL/COMMERCIAL, SAN DIEGO, CALIFORNIA

PROJECT NO.
108335001

DATE
5/17

FIGURE
A-3

| DEPTH (feet) | SAMPLES | | BLOWS/FOOT | MOISTURE (%) | DRY DENSITY (PCF) | SYMBOL | CLASSIFICATION U.S.C.S. | DATE DRILLED | BORING NO. | | | | |
|----------------------------|---------|--------|------------|--------------|-------------------|--------|----------------------------|--|--------------|-----------|-----|-------------|-----|
| | Bulk | Driven | | | | | | 3/23/17 | IT-2 | | | | |
| | | | | | | | | GROUND ELEVATION | 295' ± (MSL) | SHEET | 1 | OF | 1 |
| | | | | | | | | METHOD OF DRILLING | Manual | | | | |
| | | | | | | | | DRIVE WEIGHT | N/A | DROP | N/A | | |
| | | | | | | | | SAMPLED BY | GSW | LOGGED BY | GSW | REVIEWED BY | GTF |
| DESCRIPTION/INTERPRETATION | | | | | | | | | | | | | |
| 0 | | | | | | | CL | PORTLAND CEMENT CONCRETE: Approximately 3.5 inches thick. FILL: Brown, moist, very stiff, sandy CLAY with gravel and cobbles up to approximately 5 inches in diameter. Total Depth = 3.3 feet. (Refusal) Groundwater not encountered during drilling. Backfilled and patched with concrete on 3/24/17. <u>Note:</u> Groundwater, though not encountered at the time of drilling, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report. The ground elevation shown above is an estimation only. It is based on our interpretations of published maps and other documents reviewed for the purposes of this evaluation. It is not sufficiently accurate for preparing construction bids and design documents. | | | | | |
| 10 | | | | | | | | | | | | | |
| 20 | | | | | | | | | | | | | |
| 30 | | | | | | | | | | | | | |
| 40 | | | | | | | | | | | | | |

APPENDIX B
INFILTRATION TESTING

| Test Date: 3/24/2017 | | | Infiltration Test No.: IT-1 | | | | | |
|-------------------------------------|--------------------------|----------------|-------------------------------|-------------|--------------|---------------------------------|----------------------------|---------------------------------|
| Test Hole Diameter, D (inches): 6.0 | | | Excavation Depth (feet): 8.20 | | | | | |
| Test performed and recorded by: GSW | | | Pipe Length (feet): 8.20 | | | | | |
| t ₁ | d ₁ (feet) | t ₂ | d ₂ (feet) | Δt (min) | ΔH (feet) | Percolation Rate (min/in) | H _{avg} (feet) | Infiltration Rate (in/hr) |
| 2:00 PM | 7.00 | 2:25 PM | 7.25 | 25 | 0.25 | 8 | 1.08 | 0.75 |
| 2:25 PM | 7.00 | 2:50 PM | 7.30 | 25 | 0.30 | 7 | 1.05 | 0.92 |
| 2:50 PM | 7.00 | 3:00 PM | 7.15 | 10 | 0.15 | 6 | 1.13 | 1.08 |
| 3:00 PM | 7.00 | 3:10 PM | 7.20 | 10 | 0.20 | 4 | 1.10 | 1.47 |
| 3:10 PM | 7.00 | 3:20 PM | 7.15 | 10 | 0.15 | 6 | 1.13 | 1.08 |
| 3:20 PM | 7.00 | 3:30 PM | 7.15 | 10 | 0.15 | 6 | 1.13 | 1.08 |
| 3:30 PM | 7.00 | 3:40 PM | 7.15 | 10 | 0.15 | 6 | 1.13 | 1.08 |
| 3:40 PM | 7.00 | 3:50 PM | 7.15 | 10 | 0.15 | 6 | 1.13 | 1.08 |

| Test Date: 3/24/2017 | | | Infiltration Test No.: IT-2 | | | | | |
|-------------------------------------|--------------------------|----------------|-------------------------------|-------------|--------------|---------------------------------|----------------------------|---------------------------------|
| Test Hole Diameter, D (inches): 6.0 | | | Excavation Depth (feet): 3.30 | | | | | |
| Test performed and recorded by: GSW | | | Pipe Length (feet): 3.30 | | | | | |
| t ₁ | d ₁ (feet) | t ₂ | d ₂ (feet) | Δt (min) | ΔH (feet) | Percolation Rate (min/in) | H _{avg} (feet) | Infiltration Rate (in/hr) |
| 11:25 AM | 2.20 | 11:50 AM | 2.20 | 25 | 0.00 | --- | 1.10 | <0.01 |
| 11:50 AM | 2.20 | 12:15 PM | 2.20 | 25 | 0.00 | --- | 1.10 | <0.01 |
| 12:15 PM | 2.20 | 12:45 PM | 2.20 | 30 | 0.00 | --- | 1.10 | <0.01 |
| 12:45 PM | 2.20 | 1:15 PM | 2.20 | 30 | 0.00 | --- | 1.10 | <0.01 |
| 1:15 PM | 2.20 | 1:45 PM | 2.20 | 30 | 0.00 | --- | 1.10 | <0.01 |
| 1:45 PM | 2.20 | 2:15 PM | 2.20 | 30 | 0.00 | --- | 1.10 | <0.01 |
| 2:15 PM | 2.20 | 2:45 PM | 2.20 | 30 | 0.00 | --- | 1.10 | <0.01 |
| 2:45 PM | 2.20 | 3:15 PM | 2.20 | 30 | 0.00 | --- | 1.10 | <0.01 |

Notes:

t₁ = initial time when filling or refilling is completed

d₁ = initial depth to water in hole at t₁

t₂ = final time when incremental water level reading is taken

d₂ = final depth to water in hole at t₂

Δt = change in time between initial and final water level readings

ΔH = change in depth to water or change in height of water column (i.e., d₂ - d₁)

H₀ = Initial height of water column

in/hr = inches per hour

Percolation Rate to Infiltration Rate Conversion¹

$$I_t = \frac{\Delta H \times 60 \times r}{\Delta t(r + 2H_{avg})}$$

I_t = tested infiltration rate, inches/hour

ΔH = change in head over the time interval, inches

Δt = time interval, minutes

r = effective radius of test hole

H_{avg} = average head over the time interval, inches

¹ Based on the "Porchet Method" as presented in:

Riverside County Flood Control, 2011, Design Handbook for Low Impact Development Best Management Practices: dated September.

APPENDIX C

LABORATORY TESTING

Classification

Soils were visually and texturally classified in accordance with the Unified Soil Classification System (USCS) in general accordance with ASTM D 2488. Soil classifications are indicated on the logs of the exploratory borings in Appendix A.

In-Place Moisture and Density Tests

The moisture content and dry density of relatively undisturbed samples obtained from the exploratory borings were evaluated in general accordance with ASTM D 2937. The test results are presented on the logs of the exploratory borings in Appendix A.

Direct Shear Tests

Direct shear tests were performed on relatively undisturbed samples in general accordance with ASTM D 3080 to evaluate the shear strength characteristics of the selected materials. The samples were inundated during shearing to represent adverse field conditions. The results are shown on Figures C-1 through C-3.

Expansion Index Tests

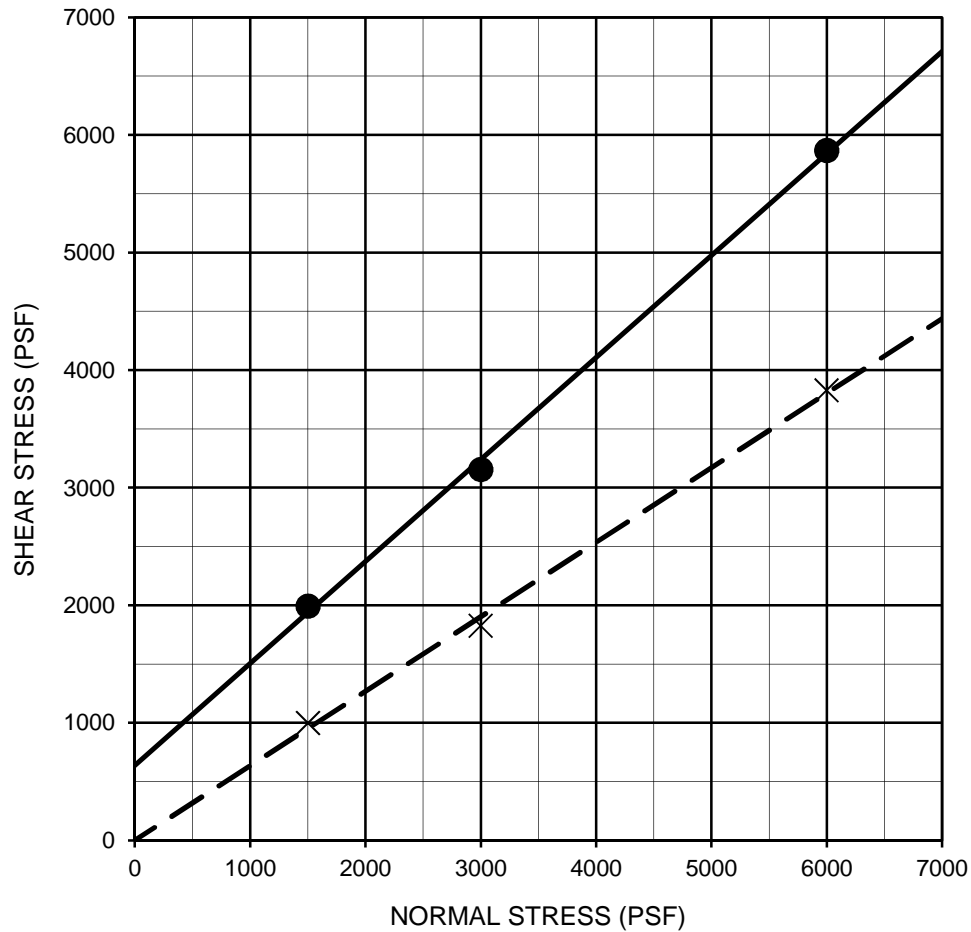
The expansion indexes of selected materials were evaluated in general accordance with ASTM D 4829. The specimens were molded under a specified compactive energy at approximately 50 percent saturation. The prepared 1-inch thick by 4-inch diameter specimens were loaded with a surcharge of 144 psf and were inundated with tap water. Readings of volumetric swell were made for a period of 24 hours. The results of the tests are presented on Figure C-4.

Soil Corrosivity Tests

Soil pH and resistivity tests were performed on representative samples in general accordance with CT 643. The chloride contents of the samples were evaluated in general accordance with CT 422. The sulfate contents of the samples were evaluated in general accordance with CT 417. The test results are presented on Figure C-5.

R-Value

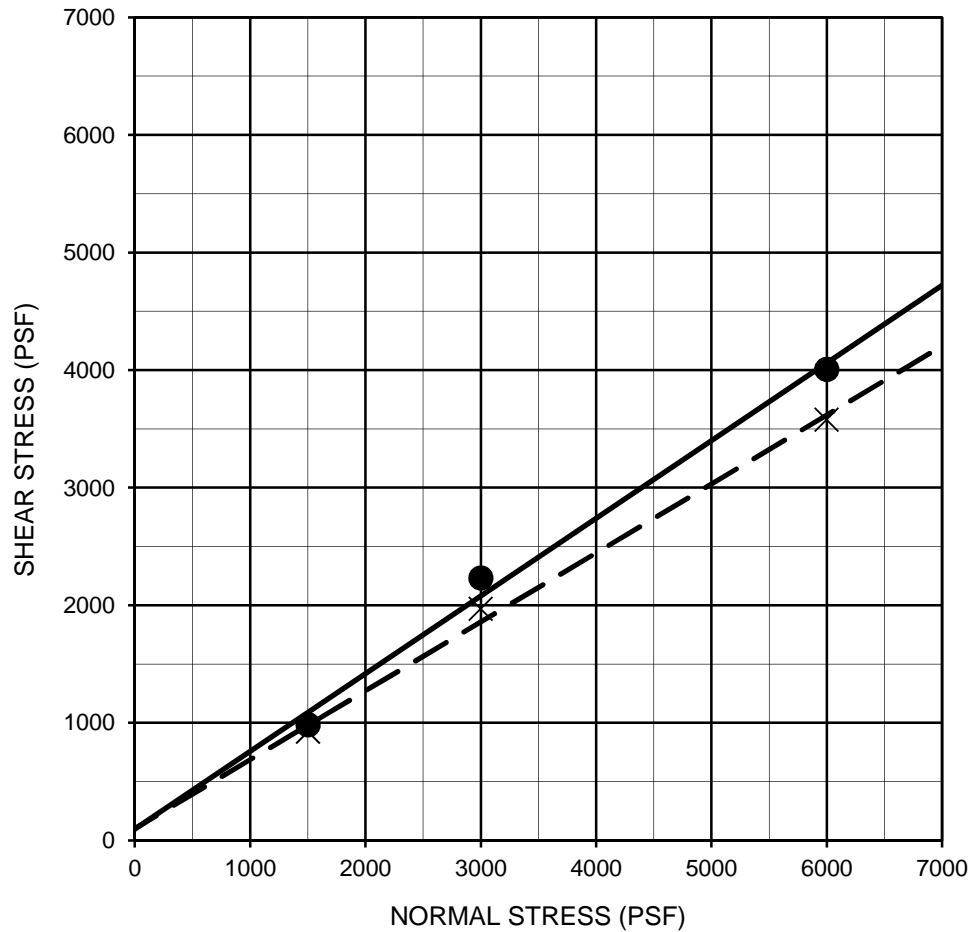
The resistance value, or R-value, for site soils was evaluated in general accordance with CT 301. The samples were prepared and evaluated for exudation pressure and expansion pressure. The equilibrium R-value is reported as the lesser or more conservative of the two calculated results. The test results are shown on Figures C-6 through C-8.



| Description | Symbol | Sample Location | Depth (ft) | Shear Strength | Cohesion, c (psf) | Friction Angle, ϕ (degrees) | Soil Type |
|-----------------|-----------|-----------------|------------|----------------|-------------------|----------------------------------|-----------|
| Silty SANDSTONE | —●— | B-1 | 15.0-15.8 | Peak | 640 | 41 | Formation |
| Silty SANDSTONE | - - X - - | B-1 | 15.0-15.8 | Ultimate | 0 | 32 | Formation |

PERFORMED IN GENERAL ACCORDANCE WITH ASTM D 3080

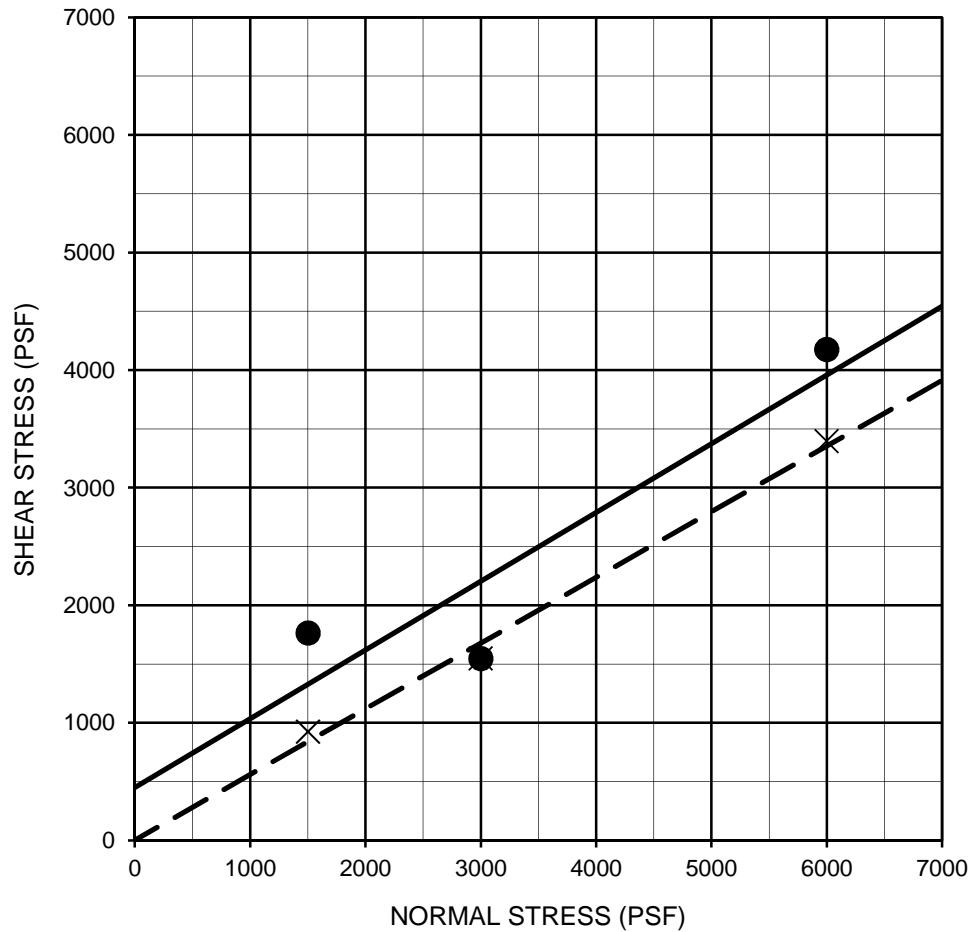
| | | | |
|--------------------------|------|---|--------------------------|
| Ninyo & Moore | | DIRECT SHEAR TEST RESULTS | FIGURE C-1 |
| PROJECT NO. | DATE | UNIVERSITY AVENUE | |
| 108335001 | 5/17 | MIXED USE RESIDENTIAL/COMMERCIAL SAN DIEGO, CALIFORNIA | |





| Description | Symbol | Sample Location | Depth (ft) | Shear Strength | Cohesion, c (psf) | Friction Angle, ϕ (degrees) | Soil Type |
|-----------------|-----------|-----------------|------------|----------------|-------------------|----------------------------------|-----------|
| Silty SANDSTONE | —●— | B-1 | 30.0-30.8 | Peak | 100 | 33 | Formation |
| Silty SANDSTONE | - - X - - | B-1 | 30.0-30.8 | Ultimate | 100 | 30 | Formation |

PERFORMED IN GENERAL ACCORDANCE WITH ASTM D 3080

| | | | |
|--------------------------|------|---|------------|
| Ninyo & Moore | | DIRECT SHEAR TEST RESULTS | FIGURE |
| PROJECT NO. | DATE | UNIVERSITY AVENUE | C-2 |
| 108335001 | 5/17 | MIXED USE RESIDENTIAL/COMMERCIAL SAN DIEGO, CALIFORNIA | |



| Description | Symbol | Sample Location | Depth (ft) | Shear Strength | Cohesion, c (psf) | Friction Angle, ϕ (degrees) | Soil Type |
|-----------------|---|-----------------|------------|----------------|-------------------|----------------------------------|-----------|
| Sandy SILTSTONE |  | B-2 | 10.0-10.5 | Peak | 450 | 30 | Formation |
| Sandy SILTSTONE |  | B-2 | 10.0-10.5 | Ultimate | 0 | 29 | Formation |

PERFORMED IN GENERAL ACCORDANCE WITH ASTM D 3080

| | | | |
|--------------------------|------|---|------------|
| Ninyo & Moore | | DIRECT SHEAR TEST RESULTS | FIGURE |
| PROJECT NO. | DATE | UNIVERSITY AVENUE | C-3 |
| 108335001 | 5/17 | MIXED USE RESIDENTIAL/COMMERCIAL SAN DIEGO, CALIFORNIA | |

| SAMPLE LOCATION | SAMPLE DEPTH (FT) | INITIAL MOISTURE (%) | COMPACTED DRY DENSITY (PCF) | FINAL MOISTURE (%) | VOLUMETRIC SWELL (IN) | EXPANSION INDEX | POTENTIAL EXPANSION |
|-----------------|-------------------|----------------------|-----------------------------|--------------------|-----------------------|-----------------|---------------------|
| IT-1 | 0.0-7.2 | 12.5 | 99.0 | 28.3 | 0.118 | 116 | High |
| IT-2 | 0.3-3.3 | 10.0 | 110.8 | 19.0 | 0.052 | 53 | Medium |

PERFORMED IN GENERAL ACCORDANCE WITH ☐ UBC STANDARD 18 ☒ ASTM D 4829

| | | | |
|---------------------------------|------|-------------------------------------|----------------------|
| <i>Ninyo & Moore</i> | | EXPANSION INDEX TEST RESULTS | FIGURE C-4 |
| PROJECT NO. | DATE | | |
| 108335001 | 5/17 | | |

| SAMPLE LOCATION | SAMPLE DEPTH (FT) | pH ¹ | RESISTIVITY ¹ (Ohm-cm) | SULFATE CONTENT ² | | CHLORIDE CONTENT ³ (ppm) |
|-----------------|-------------------|-----------------|--------------------------------------|------------------------------|-------|--|
| | | | | (ppm) | (%) | |
| B-2 | 0.4-5.0 | 7.2 | 290 | 700 | 0.070 | 1,590 |
| IT-1 | 0.0-7.2 | 7.1 | 300 | 640 | 0.064 | 780 |
| IT-2 | 0.3-3.3 | 8.0 | 710 | 320 | 0.032 | 90 |

¹ PERFORMED IN GENERAL ACCORDANCE WITH CALIFORNIA TEST METHOD 643

² PERFORMED IN GENERAL ACCORDANCE WITH CALIFORNIA TEST METHOD 417

³ PERFORMED IN GENERAL ACCORDANCE WITH CALIFORNIA TEST METHOD 422

| | | | |
|---------------------------------|------|---------------------------------|--------------------------|
| <i>Ninyo & Moore</i> | | CORROSIVITY TEST RESULTS | FIGURE C-5 |
| PROJECT NO. | DATE | | |
| 108335001 | 5/17 | | |

| SAMPLE LOCATION | SAMPLE DEPTH (FT) | SOIL TYPE | R-VALUE |
|-----------------|----------------------|---|---------|
| B-2 | 0.4-5.0 | Sandy CLAYSTONE [excavates as Sandy CLAY (CL)] | 8 |
| IT-1 | 0.0-7.2 | Sandy CLAY (CL) | 5 |

PERFORMED IN GENERAL ACCORDANCE WITH ASTM D 2844/CT 301

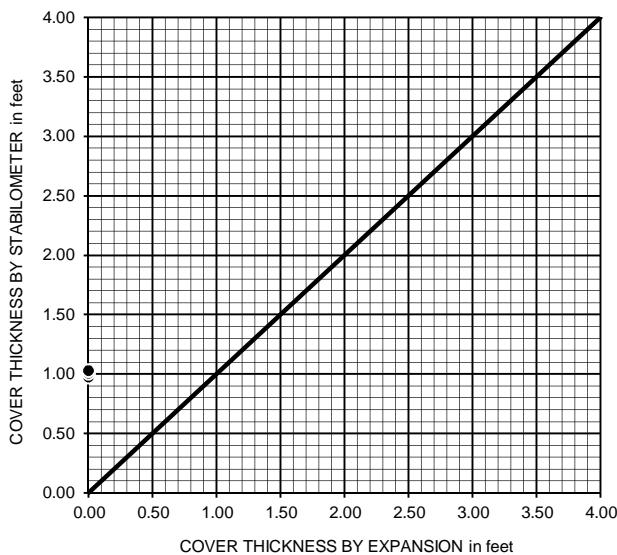
| | | | |
|---------------------------------|------|---|----------------------|
| <i>Ninyo & Moore</i> | | R-VALUE TEST RESULTS | FIGURE C-6 |
| PROJECT NO. | DATE | UNIVERSITY AVENUE | |
| 108335001 | 5/17 | MIXED USE RESIDENTIAL/COMMERCIAL SAN DIEGO, CALIFORNIA | |

R-VALUE TEST RESULTS

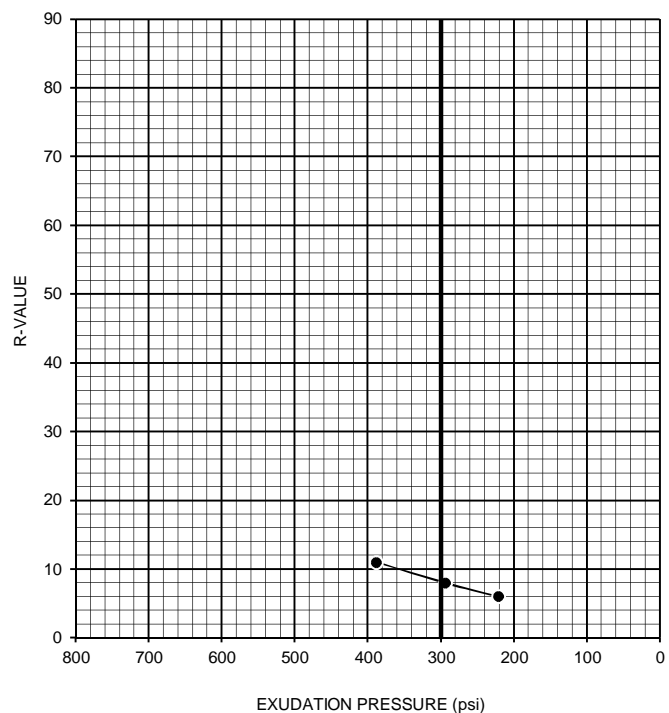
PROJECT NAME: UNIVERSITY AVENUE **PROJECT NUMBER:** 108335001
MIXED USE RESIDENTIAL/COMMERCIAL **DATE:** 5/17
SAN DIEGO, CALIFORNIA **TECHNICIAN:** DV
SAMPLE DESCRIPTION: Sandy CLAYSTONE (excavates as Sandy CLAY) **SAMPLE LOCATION:** B-2 @ 0.4-5.0

| TEST SPECIMEN | a | b | c |
|-----------------------------------|-------|-------|-------|
| MOISTURE AT COMPACTION % | 18.3 | 18.9 | 19.5 |
| HEIGHT OF SAMPLE, Inches | 2.49 | 2.50 | 2.50 |
| DRY DENSITY, pcf | 111.3 | 109.4 | 108.9 |
| COMPACTOR AIR PRESSURE, psi | 50 | 50 | 50 |
| EXUDATION PRESSURE, psi | 388 | 294 | 221 |
| EXPANSION, Inches x 10exp-4 | 0 | 0 | 0 |
| STABILITY Ph 2,000 lbs (160 psi) | 129 | 135 | 140 |
| TURNS DISPLACEMENT | 5.03 | 5.10 | 5.15 |
| R-VALUE UNCORRECTED | 11 | 8 | 6 |
| R-VALUE CORRECTED | 11 | 8 | 6 |
| R-VALUE BY EXUDATION | 8 | | |
| DESIGN CALCULATION DATA | a | b | c |
| GRAVEL EQUIVALENT NEEDED ft. | 1.42 | 1.47 | 1.50 |
| TRAFFIC INDEX | 5.0 | | |
| STABILOMETER THICKNESS, ft. | 0.98 | 1.01 | 1.03 |
| EXPANSION PRESSURE THICKNESS, ft. | 0.00 | 0.00 | 0.00 |

EXPANSION PRESSURE CHART



EXUDATION PRESSURE CHART



R-VALUE BY EXPANSION: N/A
R-VALUE BY EXUDATION: 8
EQUILIBRIUM R-VALUE: 8

FIGURE C-7

R-VALUE TEST RESULTS

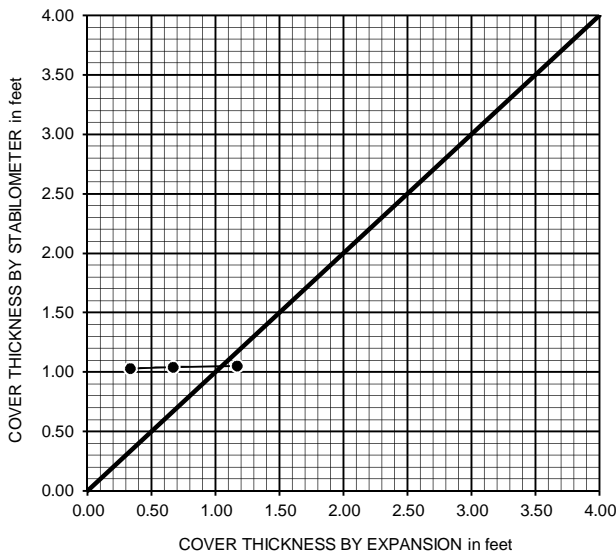
PROJECT NAME: UNIVERSITY AVENUE
MIXED USE RESIDENTIAL/COMMERCIAL
SAN DIEGO, CALIFORNIA

PROJECT NUMBER: 108335001
DATE: 5/17
TECHNICIAN: DV

SAMPLE DESCRIPTION: Sandy CLAY
SAMPLE LOCATION: IT-1 @ 0.0-7.2

| TEST SPECIMEN | a | b | c |
|-----------------------------------|-------|-------|-------|
| MOISTURE AT COMPACTION % | 16.4 | 17.0 | 17.6 |
| HEIGHT OF SAMPLE, Inches | 2.50 | 2.50 | 2.50 |
| DRY DENSITY, pcf | 108.8 | 107.4 | 106.5 |
| COMPACTOR AIR PRESSURE, psi | 50 | 50 | 50 |
| EXUDATION PRESSURE, psi | 395 | 301 | 205 |
| EXPANSION, Inches x 10exp-4 | 10 | 20 | 35 |
| STABILITY Ph 2,000 lbs (160 psi) | 137 | 140 | 144 |
| TURNS DISPLACEMENT | 5.50 | 5.62 | 5.71 |
| R-VALUE UNCORRECTED | 7 | 6 | 5 |
| R-VALUE CORRECTED | 7 | 6 | 5 |
| R-VALUE BY EXUDATION | 6 | | |
| DESIGN CALCULATION DATA | a | b | c |
| GRAVEL EQUIVALENT NEEDED ft. | 1.49 | 1.50 | 1.52 |
| TRAFFIC INDEX | 5.0 | | |
| STABILOMETER THICKNESS, ft. | 1.03 | 1.04 | 1.05 |
| EXPANSION PRESSURE THICKNESS, ft. | 0.33 | 0.67 | 1.17 |

EXPANSION PRESSURE CHART



R-VALUE BY EXPANSION: 5
R-VALUE BY EXUDATION: 6
EQUILIBRIUM R-VALUE: 5

EXUDATION PRESSURE CHART

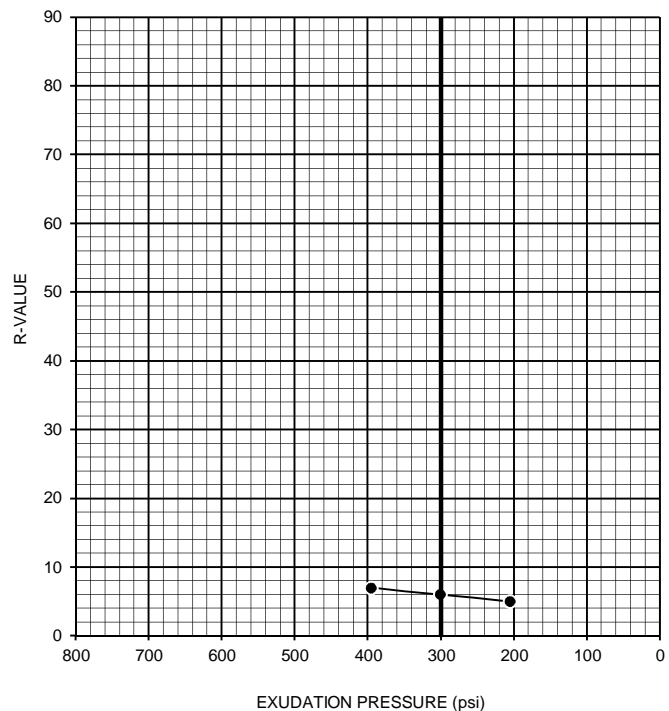


FIGURE C-8



Rincon Consultants, Inc.

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September 29, 2017
Project No: 17-04840

Mark Gottschlich
USS Cal Builders
8051 Main Street
Santa Ana, CA 90680

Subject: University Manor Mixed-Use Project, 5556-5592 University Avenue, City and County of San Diego, California

Dear Mr. Gottschlich:

Rincon Consultants, Inc. (Rincon) was contracted to provide Cultural Resources services for the University Manor Mixed-Used Project (project), located at 5556-5592 University Avenue in the City and County of San Diego, California. Cultural Resources services were provided in support of the project's Preliminary Review by the City of San Diego Planning Department, and were prepared in accordance with applicable local guidelines, including the City of San Diego Development Services' Potential Historical Resource Review Informational Bulletin 580, and additional plan review comments by the City of San Diego in the project Issues Report, provided to Rincon by the applicant.

The purpose of this memorandum is to document the results of the tasks performed by Rincon, which included:

- A site visit, photographic documentation
- Architectural descriptions
- Building Permit and Assessor Building Records Research
- City Directory Research and Occupant History
- Notice of Completion letter

Project Description

Rincon understands that the project applicant proposes to construct a mixed-use development consisting of 63 residential units in two four-story buildings, and two commercial buildings fronting University Avenue that would include eating and drinking establishments and shops totaling approximately 62,117 square feet on the 1.55-acre site. Development of the proposed project would include demolition of the three properties containing a total of nine buildings.



Methodology

Archival Research

On September 21, 2017, Rincon Cultural Resources Specialist Breana Campbell, M.A., RPA, conducted historical building research for the existing structures located on the project site. The following sources and research repositories were examined to establish known historical land uses and the locations of research materials pertinent to the subject property:

- San Diego History Center (SDHC)
- City of San Diego Building and Safety Department
- County of San Diego Office of the Assessor
- Sanborn Fire Insurance Maps, EDR Inc.

Table 1 Research Results

| Agency/Archive | Sources Reviewed | Results/ Notes |
|--|-------------------------|--|
| San Diego History Center | City Directories | The SDHC City Directories span from 1892 to 1984; the addresses included in this project are listed in the directories from 1950 through 1984. These directory pages were photocopied and are included in Appendix A. |
| San Diego History Center, EDR Inc. | Sanborn Maps | Ms. Campbell reviewed Sanborn maps available at the SDHC. The SDHC does not include Sanborn maps printed after 1940, and the project site was not depicted on the 1940 map or any previous editions. Subsequently, a review was made of Sanborn maps available online through ProQuest. The project site was not depicted in the later 1956 map. |
| San Diego History Center | Historic Photos | Ms. Campbell reviewed the historical photo archives for City Heights, University Avenue, and local businesses; no historic photos of the project site were found. |
| City of San Diego Building and Safety Department | Building Permits | Building permits were reviewed at the City of San Diego Building Department; microfilm records for 5580 University Avenue were not found and the staff suggested it may have been misfiled. Building permits records were copied and are included in Appendix B. |
| County of San Diego Office of the Assessor | Building Records | Ms. Campbell obtained the Assessor's Building Records for each of the addresses associated with the project site. These records are included in Appendix C. |
| County of San Diego Office of the Assessor | Master Property Records | A review of the Master Property Records was completed at the County Assessor's Office, and a copy of the records is included in Appendix D. |
| County of San Diego Office of the Assessor | Notice of Completion | Notice of Completions could not be located for any of the subject properties. Per the City of San Diego's Development Services Department, a note stating such is included in Appendix E. |

Field Visit and Constraints

A site visit was made on September 22, 2017 to conduct the photographic documentation of all of the buildings on the project site. Digital photographs were taken of every building elevation that was clearly visible and safely accessible. Physical access to some portions of the property was constrained by metal fencing, overgrown vegetation and active beehives. Notes were taken to document buildings'



architectural style, materials, condition, and visible alterations to inform the architectural descriptions in this memo. A site map with a photograph key is included in Appendix F and digital photos are provided on an accompanying CD.

Results

The project site consists of three parcels, generally bounded by University Avenue to the south, a private driveway on the west, a vacant lot on the east, and undeveloped hilly property to the north. Within the subject property are nine buildings. Multiple addresses have been associated with the buildings on the property over the decades and, due to the deteriorated nature of the structures, most of the buildings did not display an address. Each building was assigned a reference number to provide a clear understanding of the developmental history for each property and building (Table 2).

Table 2 Property APNs and Buildings

| Property APN | Bld. Ref. No(s). | Property Address(es) | Const. Date | Photo Reference Nos. |
|--------------|------------------|------------------------|-------------------|----------------------|
| 472-410-05 | No. 1 | 5556 University Avenue | 1951 | 1 |
| 472-410-12 | No. 2 | 5570 University Avenue | 1952 | 2 |
| " | No. 3 | 5582 University Avenue | 1953 | 3 |
| " | No. 4 | 5582 University Avenue | Between 1953-1960 | 4 |
| " | No. 5 | 5582 University Avenue | Between 1953-1960 | 5 |
| " | No. 6 | 5586 University Avenue | 1954 | 6 |
| 472-410-13 | No. 7 | 5590 University Avenue | 1947 | 7 |
| " | No. 8 | 5590 University Avenue | Between 1947-53 | 8 |
| " | No. 9 | 5592 University Avenue | 1951 | 9 |

APN 472-410-05/ 5556 University Avenue

This parcel contains one building accessed by a sloped driveway from University Avenue:

- Building No. 1, 5556 University Avenue

Building Description

Building No. 1, 5556 University Avenue

This is a one-story building, originally constructed in 1951, that has been heavily altered. It has a rectangular plan and is approximately 1,828 sq. ft. in size. It has a side-gabled roof clad with composite shingles; a portion of which is covered with tarps. The building exterior is clad with rough stucco, and patchwork is evident. The primary entry on the south façade is multi-paned, and appears to be sliding or French doors. The east elevation once had a carport or shed attached, most of which has been removed. There is shed attached to the north (rear) elevation. It is made of wood, has a nearly flat roof, and is walled on two sides. Two window openings have been closed for HVAC and another window has been



covered with plywood. The building is separated from the street by a paved parking lot, and is accessed by a long driveway from University Avenue. There is a temporary shade canopy in front of the building.



Photograph 1: Building No. 1, south elevation, view to north.

Construction History

This chronology provides a summary of the property's development and alterations that have been made over time.

Table 3 Construction History for APN 472-410-05

| Bld. No. | Date | Description of Work Performed | Source | Owner on Record |
|----------|------|---|----------------------------|------------------|
| 1 | 1951 | Permit for construction of dwelling | Assessor's Building Record | Unknown |
| 1 | 1960 | Plumbing Work | Building Permits | Art Cuiffo |
| 1 | 1973 | Notice of Occupancy Approval for a one-story wood-frame residence to be used as an office for used car sales. | Building Permits | Unknown |
| 1 | 1979 | Electrical work done on the building | Building Permits | John Romeo |
| 1 | 1980 | Electrical work done on the building | Building Permits | William L. Baker |

Occupant History

This chronology provides a summary of the property's occupancy over time.



Table 4 Occupant History for APN 472-410-05

| Bld. No. / Address | Date | Occupant Name | Owner on Record | Source |
|---------------------------------|-----------|----------------------|-----------------------------|---|
| Bldg. 1, 5556 University Avenue | 1951-1954 | Schoenhoff Saml | Shoenhoff, Sam/Martha | City Directory |
| Bld. No. / Address | Date | Occupant Name | Owner on Record | Source |
| Bldg. 1, 5556 University Avenue | 1955-1956 | Young Robt L | Ciuffo, Arthur/Sadie | City Directory; Master Property Records |
| " | 1958 | Hughs Wm | Likely Arthur Ciuffo | " |
| " | 1959 | No return | Likely Arthur Ciuffo | " |
| " | 1960 | Martinez Bennie | Art Cuiffo | City Directory |
| " | 1961-1964 | Vacant | Unknown | " |
| " | 1965 | Martinez Bennie | Unknown | " |
| " | 1966-1972 | Gomez Mary M Mrs. | Unknown | " |
| " | 1973-1974 | Vacant | Unknown | " |
| " | 1975 | Romeo John | Likely John Romeo | " |
| " | 1976-1979 | Romeo John; Automart | Likely John Romeo | " |
| " | 1980 | Sportscar Emporium | William L. Baker | " |
| " | 1984 | Two Guys Auto Sales | Unknown | " |
| " | 2017 | Quality Auto Body | University Ave Manor LLC | Visual observation; client info |

APN 472-410-12, 5570-5586 University Avenue

This parcel contains five buildings, all accessed by a long sloped driveway from University Avenue:

- Building No. 2, 5570 University Avenue
- Building No. 3, 5582 University Avenue
- Building No. 4, 5582 University Avenue
- Building No. 5, 5582 University Avenue
- Building No. 6, 5586 University Avenue

Building Descriptions

Building No. 2, 5570 University Avenue

This is a one-story building, originally constructed in 1952, that has been heavily altered. It has an L-shaped plan and is approximately 2,787 sq. ft. in size. The longer north-south portion of the building is set at a higher elevation and therefore is taller than the east-west portion. It is accessed via a set of concrete steps that are abutted by a concrete block retaining wall/planter. The building is covered with



flat roofs that have exposed rafter tails. In some areas the fascia boards are missing and the roof in general is deteriorated. Most of the exterior cladding of the building has been removed, leaving exposed studs and barrier paper. Windows and doors have been covered with plywood or removed. The south elevation contains a single solid entry door, and the east elevation contains a single wooden, six-panel door.



Photograph 2: Building No. 2, east elevation, view to northwest.

Building No. 3, 5582 University Avenue

This is a one-story building, originally constructed in 1953, that has been heavily altered. It is approximately 1,584 sq. ft. in size, has a long, rectangular plan, and a flat roof. A portion of the building at the north (rear) elevation is higher than the remainder of the building and has a large sliding door hung on a metal rail. The building is in such dilapidated condition to be considered a ruin. It displays various types of deteriorated wood board siding, and has portions of walls missing. The majority of the doors and windows are missing; however, two roll-up garage doors remain on the east elevation. No address was detected anywhere on the building.



Photograph 3: Building No. 3, east elevation, view to northwest.

Building No. 4, 5582 University Avenue

This is a one-story ancillary building constructed between 1953 and 1960. It has a rectangular plan, and is approximately 437 sq. ft. in size. It has a gabled roof covered with corrugated metal panels. Its primary entry is on the west elevation and is composed of large metal double doors. Metal venting structures are affixed to the roof of the building. No fenestration was noted. The north and east elevations are not clearly visible due to the building's proximity to walls and other structures. No address was detected anywhere on the building.



Photograph 4: Building No. 4, west elevation, view to east.



Building No. 5, 5582 University Avenue

This is a one-story building, originally constructed between 1953 and 1960, and has been heavily altered. It has a rectangular plan and is approximately 1,318 sq. ft. in size. The building is of concrete or masonry construction, and has a flat roof. The north and south elevations have large sliding doors hung on metal rails. Other doors are missing and a portion of the wall on the west elevation is also missing. No fenestration was noted. No address was detected anywhere on the building.



Photograph 5: Building No. 5, west elevation, view to east.

Building No. 6, 5586 University Avenue

This is a two-story building with a rectangular plan. Originally constructed in 1954, it has been heavily altered. Square footage is unknown; however, the building's ground level footprint is 6,340 sq. ft. The exterior cladding has mostly been removed, exposing concrete block construction. The primary entry is located at the southwest corner under a small flat porch roof. The majority of the windows and doors have been covered or are missing. A non-structural triangular projection pierces through the façade near the southwest corner. There is an addition against the north elevation composed of vented metal panels supported on metal posts, which creates a parking space or storage area below. The addition has a sloped roof that appears to be made of corrugated metal panels.



Photograph 6: Building No. 6, south elevation, view to north.

Construction History

This chronology provides a summary of the property's development and alterations that have been made over time.

Table 5 Construction History for APN 472-410-12

| Bld. No. | Date | Description of Work Performed | Source | Owner on Record |
|----------|-----------|--|-----------------------------|------------------------------|
| Unk. | 1954 | Int. well modification | Assessor's Building Records | Master Cleaners |
| 2 | Illegible | Electrical work | Building permits | Spinali |
| 2 | 1952 | Construct apartments and store | Assessor's Building Records | Unknown |
| 2 | 1952 | Convert to storage | Assessor's Building Records | Unknown |
| 2 | 1954 | Construct boiler room and garage at 5570 University Ave | Building permits | Dominic Spinali |
| 2-6 | 1968 | Repair fire damage on buildings at 5570-5586 University Avenue | Building permits | D. Spinali and D. Strazzulla |
| 3 | 1953 | Construct storage and boiler room (listed year built at 5582 University Ave) | Assessor's Building Records | Unknown |
| 6 | 1954 | Construct store & apt. | Assessor's Building Records | Spinali Men's Wear |
| 6 | 1954 | Construct retaining wall & roofed area | Building permits | Dominic Spinali |



| | | | | |
|---|------|---------|------------------|-----------------|
| 6 | 1968 | Re-roof | Building permits | Master Cleaners |
|---|------|---------|------------------|-----------------|

Occupant History

This chronology provides a summary of the property's occupancy over time.

Table 6 Occupant History for APN 472-410-12

| Bld. No. / Address | Date | Occupant Name | Owner on Record | Source |
|---------------------------------|-----------|---------------------------------|------------------------------|----------------|
| Bldg. 2, 5570 University Avenue | 1953-1955 | Master Cleaners | Dominic Spinali | City Directory |
| " | 1956 | Taste & Tell Restaurant | Unknown | " |
| " | 1958-1959 | Dick's Hide-A-Way Restaurant | Unknown | " |
| " | 1960-1962 | Millie's Place Tavern | Unknown | " |
| " | 1963-1965 | Club Detroit Tavern | Unknown | " |
| Bld. No. / Address | Date | Occupant Name | Owner on Record | Source |
| Bldg. 2, 5570 University Avenue | 1966-1967 | Vacant | Unknown | " |
| " | 1968-1970 | Master Cleaners | D. Spinali and D. Strazzulla | " |
| " | 1971 | Tuxedo Rentals | Unknown | " |
| " | 1972 | Master Cleaners: Tuxedo Rentals | Unknown | " |
| | 1973 | Master Cleaners; Campus Tuxedos | Unknown | " |
| | 1974-1975 | Campus Tuxedos | Unknown | " |
| | 1976-1979 | University Tuxedo Shop | Unknown | " |
| | 1980-1984 | Tuxedo Junction | Unknown | " |
| Bldg. 3, 5582 University Avenue | 1953-1954 | Elgier Geo J | Unknown | " |
| | 1955 | Vacant | Unknown | " |
| | 1956 | Hogg Harvey | Unknown | " |
| | 1958 | Vacant | Unknown | " |
| | 1959 | Comb Richd | Unknown | " |
| " | 1960 | Gutierrez Bertha Mrs. | Unknown | " |
| | 1961-1964 | Not listed | Unknown | " |



| | | | | |
|---------------------------------|------------|--|----------------------------------|---|
| " | 1965 | Vacant | Unknown | " |
| " | After 1965 | Address stopped being used | - | " |
| Bldg. 6, 5586 University Avenue | 1956-1971 | Master Cleaners | Dominic Spinali; Master Cleaners | " |
| " | 1972 | Casa di Spinali Men's Wear; Spinali Auto Sales | Unknown | " |
| " | 1973 | Casa di Spinali Men's Wear | Unknown | " |
| | 1974 | Vacant | Unknown | " |
| " | 1975-1980 | Humphrey Appliance; John's TV & Appliances | Unknown | " |
| " | 1984 | Humphrey Appliance | Unknown | " |



APN 472-410-13, 5590-5592 University Avenue

This parcel contains three buildings, all accessed by a long sloped driveway from University Avenue:

- Building No. 7, 5590 University Avenue
- Building No. 8, 5590 University Avenue
- Building No. 9, 5592 University Avenue

Building No. 7, 5590 University Avenue

This is a one-story residential building constructed in 1947. It has a rectangular plan, and is approximately 720 sq. ft. in size. It has a side-gabled roof with slightly overhanging eaves and exposed rafter tails. The building is clad with painted stucco. The primary entry on the east façade is composed of a single, wood, paneled entry door covered by a sloped-roof porch supported by slender square posts. It is accessed via a set of concrete steps with a wooden railing. Fenestration includes multi-pane vinyl sliding windows, and single-pane wooden double-hung windows. Patchwork on the south elevation indicates that the three-window openings have likely been modified, and patchwork is noted around a wall vent on the east elevation. Windows on the north and west elevations are covered with plyboard. No address was detected on the façade.



Photograph 7: Building No. 7, south elevation, view to north.

Building 8, 5590 University Avenue

This is a one-story garage building constructed between 1947 and 1953 between Buildings 7 and 9. It has a rectangular plan, is approximately 465 sq. ft. in size, and is clad with painted stucco. It has a side-gabled roof with overhanging eaves and exposed rafter tails. Much of the roof has been covered with tarps. The primary entrance (garage door opening) on the east elevation has been covered with plywood.



Photograph 8: Building No. 8, east elevation, view to northwest.

Building 9, 5592 University Avenue

This is a one-story residential building originally constructed in 1951. The building has an irregular plan, and is approximately 913 sq. ft. in size. The northern portion of the building has a gabled roof covered with rolled roofing material; the roof on the southern portion is not clearly visible because it is covered with tarps. The building is clad with asbestos shingles. The eastern end of the building has a breezeway under the gabled roof. There is a brick chimney, partially covered with a tarp, on the north elevation. Windows are not clearly visible due to foliage, and some are covered with boards or security grilles. Visibility overall was limited due to dense foliage surrounding the building.





Photograph 9: Building No. 9, south elevation, view to north.

Construction History

This chronology provides a summary of the property's development and alterations that have been made over time.

Table 7 Construction History for APN 472-410-13

| Bld. No. | Date | Description of Work Performed | Source | Owner on Record |
|----------|------|--|-----------------------------|--------------------------------------|
| 7 | 1949 | Construction permit for dwelling | Assessor's Building Records | Unknown |
| 7/9 | 1958 | Construct single poster panel at 5590/5592 University Avenue | Building permits | Cordtz Div. Pacific Outdoor Adv. Co. |
| 9 | 1951 | Construction permit for dwelling | Assessor's Building Records | Unknown |
| 9 | 1959 | Construct den and bath attached to residence | Building Permits | Wm. C. Hubrich |

Occupant History

This chronology provides a summary of the property's occupancy over time.

Table 8 Occupant History for APN 472-410-13

| Bld. No. / Address | Date | Occupant Name | Owner on Record | Source |
|---------------------------------|-----------|------------------------------------|-----------------|----------------|
| Bldg. 7, 5590 University Avenue | 1950 | Vacant | Unknown | City Directory |
| " | 1952 | Keller G S | Unknown | " |
| " | 1953-1971 | Shurig Carl | Unknown | " |
| " | 1972-1975 | Shurig Clara F Mrs. | Unknown | " |
| " | 1976 | Testa Mildred | Unknown | " |
| " | 1977-1979 | No return | Unknown | " |
| " | 1980 | Vacant | Unknown | " |
| " | 1984 | Vacant | Unknown | " |
| 5591 University Avenue | 1952-1955 | Markov Louis Htg & Sht Mtl | Unknown | " |
| " | 1956-1973 | Markov Louis Sheet Metal Wks | Unknown | " |
| " | 1974 | Markov Louis Sheet Metal & Heating | Unknown | " |
| " | 1975-1979 | Baker Electricians | Unknown | " |



| Bldg. 9, 5592 University Avenue | 1952-1979 | Hubrich W C | Wm. C. Hubrich | " |
|---------------------------------|-----------|---------------|-----------------|--------|
| Bld. No. / Address | Date | Occupant Name | Owner on Record | Source |
| " | 1980 | Not listed | - | " |
| " | 1984 | Vacant | Unknown | " |

Should you have any questions or comments regarding the information provided in this memo, please do not hesitate to contact me at 805-644-4455, or szgurrola@rinconconsultants.com.

Sincerely,
Rincon Consultants, Inc.

Susan Zamudio-Gurrola
Architectural Historian

Appendix A

City Directories

UNIVERSITY AV—Contd
 4730 Patterson H C restr
 4734 Foster D B Mrs variety
 store
 4736 Holtschlag R T restr
 4741 Southern Venetian Blind
 Co
 4744 Bob's & Jim's Serv gas
 sta
 4745 Parker H A drugs
 Euclid av intersects
 4749 Busco J A gas sta
 Reno dr intersects
 4750 Dick's Bay City liquors
 4751 Brown R B
 4752 Silverado Ball Room
 Loucks J A phys
 4756 Myers J D meats
 Summers R E gro
 4757 Lam R W restr
 4771 Beck I A real est
 Schlehuber E W genl
 contr

48th intersects
 4804 Baker C D Mrs
 Davison W G
 4809 Cramer J M
 4811 Knauss Chas
 4813 Sting E H
 4815 Fack D G
 4818 White Lowell
 4819 Hudson Ed nursery
 4834 Miller G E
 4836 Miller G E real est

Estrella av intersects
 4891 Kalak Louis
 49th intersects
 4918 Colby C M trailer mfr
 4925 Gibson J H auto pntr

Winona av intersects
 4951 Philbrook G I
 4953 Hilderbrand G A
 4954 Hilderbrand G R
 Philbrook G I auto repr
 4957 Skillman B D
 4961 Lynn LeRoy
 4963 Frank C W
 4968 Thompson H H gro
 4969 Dever L B Mrs
 4973 Thomas J P furn
 4977 Kritzer D E confy
 4979 Vacant
 4981 Vacant
 4983 Embleton H A real est
 Sandsted M S Mrs beauty
 shop

50th intersects
 5045 Harrington T M Mrs
 5047 Hall W H
 5049 Wakeman E J
 5051 McQueen H R
 5053 Kuhns C F
 5055 Smallwood L C
 5057 Reilly M J
 5067 Lowry J E
 5085 Hattabough C A

52d intersects
 5225 Turner H C bldg contr

54th intersects
 5423 Hanes A L restr
 5429 Hanes A L
 5430 Crestview Trailer Park
 Clare C H
 Diehl W W
 Ruegg R J
 5447 Edwards J R pntr
 5450 Westfall John
 5451 McGrath C W garden
 sup

5467 University Showcase &
 Fixture Co
 5469 Ziegler J E
 5485 Magoffin G A plmbr
 5493 McKee A H genl contr
 5494 Mel's Service auto repr
 5515 Bell Ralph gas sta
 5536 O & R Nursery
 5590 Vacant
 5595 Shear W H
 5602 Ingram Laura J
 6196 C B M Co Inc bldg mtls
 Cosgrave C A bldg contr

Cartagena dr intersects
 6206 Page R E
 6210 Kester R R
 6214 Perry J C
 6218 Walker J R
 6222 Jones H D
 6226 Rose R E
 6230 Schneider F L
 6236 Hernandez R R
 6238 Hrastich W C
 6242 Mathel Benj
 Mathel L B
 6244 Moe Jas restr
 6244 Vacant
 6250 Swatek C M gas sta
 Bonillo dr begins

6304 Hoxsey J M
 6324 Ingraham G E Mrs
 6352 Angelo Julio
 6334 Young F B bldg con
 6354 Johnson M T Mrs
 6362 Richards C P signs
 6370 Hanley Gene real e
 Stoney E M Mrs re
 Rolando blvd

6402 Mindeman L H vi
 store
 6406 Servall Stores gro
 6414 Young E H
 6422 Canaday E E M
 Wilkerson E D
 6430 McAloney E C
 6442 Bohanon L E
 Gregory R A
 6450 Boney C W
 6458 Carter R S
 6466 Slayen Morr
 6474 Wright J A
 6482 Hurlbut L C
 6490 Hikel John
 6506 Ballard A
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 6522 Wrightson
 6530 Roth M F

6570 De Vico

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 412% Welch
 414 Darby J
 414% Thorso
 415 Lepore L
 416 Willough
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 418 Moest R
 418% Bisphar
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 423 Boroff P
 424 Andersen
 426 Johnson
 427 Andersor
 428 Broderic
 430 Lemke A

718 Cheney I
 811 Jeter E I
 823 Donlevy
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 909 Gifford
 911 Gifford
 912 Friedm
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FORREST De FRATE

SINCE 1920

Complete
AUTO
REPAIR
SERVICE

All Makes
All Models

MOTOR
REBUILDING
AND
REBORING

BRAKE
SERVICE

TOWING

Mechanical
Service
24-Hours

831 2nd Ave.
Main
1439

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|------------|--|---|--|
| 138 | 4344 Standard Stations R 9594 Fairmount av intersects | 4686 Bon's Market R 9754 Williams D D Stores | UNIVERSITY AV—Contd |
| 7462 | 4350 Vacant | 4687 Dorval Arth R real est T 9686 | 5447 Edwards J R pair T 9234 |
| ive Serv | 4351 Halzlip's Fairmount Pharm T 2121 | 4688 Dave's Cafe | 5450 Valley Grove Courts |
| intersects | 4353 University Av Hdw R 6275 | 4693 Cafe Hacienda T 7786 | 5451 Vacant |
| 37 | 4354 Fox Crest Theatre T 8404 | 4701 Cooley's Hardware R 7400 | 5467 University Show Case & Fir- ture Co T 1-2513 |
| dry | 4357 Brittain's Anne Plastic Shop R 9892 | 4703 Euclid Beauty Parlor R 4592 | 5485 Magoffin G A Quality Plmbr T 1-2530 |
| 3655 | 4359 Pick L A jwlr T 9211 | 4705 Euclid Card Room | 5493 McKee A H genl contr T 1-8653 |
| 1-4274 | 4361 Quality Shoe Shop shoe repr | 4711 Log Cabin Cafe liquors R 9520 | 5494 Mel's Service T 1-6174 |
| 3 | 4362-64 King Television Co T 6407 | 4714 Euclid Pastry Shop R 8460 | 5506 Wilson Floor Co T 6513 |
| ials | 4366 Fairmount Clnrs R 8045 | 4715 Merit Shoe Shop | 5515 Vacant |
| R 9751 | 4367 New Rex Cafe R 9347 | 4716 Gruenwald E A, R 0688 | 5538 I & S Sales Inc real est T 8184 |
| R 2187 | 4368 Reed G Mason Co real est R 5840 | 4717 Denure J V, R 9520 | Schlehuber Elwin W Inc bldg contrs T 8184 |
| R 0119 | 4373 Haley's Pay-Less gro R 9680 | 4718 Wadleigh Laurel Mrs | 5556 Schoenhoff Saml @ |
| 1-5541 | 4379 Allbright's Barber Shop R 0070 | 4719 Kingdom Hall of Jehovah's Witnesses | 5590 Keller G S |
| R 4610 | 4380 Golden Eagle Serv Sta R 9781 | 4717 Shannon's Five Ten & Twenty-Five Cent Store T 6306 | 5591 Markov Louis Htg & Sht Mtl T 3-1353 |
| | 4383 Coo Coo Club T 2788 | 4718 Shannon's Five Ten & Twenty-Five Cent Store T 6306 | 5592 Hubrich W C @ |
| | 4387 Fairmount Bakery | 4725 Vacant | 5595 Edmiston J J, T 8442 |
| | 4391 Jerry's Certified Stores Liquors R 3317 | 4726 Masters Cleaners R 9196 | 5599 Metal Masters, T 5411 |
| | | 4727 Lowery Mabel C Mrs | 6080 Star Clnrs T 5336 |
| | | 4727 Tiny's Place Liquors R 9773 | 6082 Village Furn, T 5253 |
| | | 4730 Faddock Cafe Liquors R 9774 | 6084 Vacant |
| | | 4734 Vacant | 6086 Nutritional Food-Serv gro T 1-4344 |
| | | 4736 Walnut Cafe | 6088 Neuenswander Real Estate T 1-2122 |
| | | 4741 Southern Venetian Blind Co T 6712 | 6090 House of Helene beauty shop T 2209 |
| | | 4744 Bob's & Jim's Service gas sta T 8268 | 6098 Owen's Richfield Serv gas R 9467 |
| | | 4745 Parker's Pharmacy R 4288 | 6104 Rolando Service gas sta R 9601 |
| | | 4749 Mans Ben Serv Sta Mans Benj | 6118 C Coast Market T 1-1727 |
| | | | 6122 Jimbo's Inn liquors R 9715 |
| | | | 6134-50 Rancho Market gro R 7272 |
| | | | 6160 Mission Hills Bky T 5140 |
| | | | 6172 Modern Drug Co R 4323 |
| | | | 6177 Ball Frosties |
| | | | 6178 Roberts' Five & Ten |
| | | | 6179 Ladies Teen & Tot Shop T 5225 |
| | | | 6180 Family Liquor R 1846 |
| | | | 6181 Shambien's Mildred Studio of Beauty T 0873 |
| | | | 6183 Butler's Barber Shop |
| | | | 6184 Esquire Cleaners T 0564 |
| | | | 6185 Verzin Peter P III acct T 0010 |
| | | | 6187 Gene's Cafe R 9709 |
| | | | 6188 C & B News & Key Shop R 9778 |
| | | | 6189 Village Shop The T 6136 |
| | | | 6191 Barger Appliance Co T 1-5725 |
| | | | Studio Tile mosaic work T 4043 |
| | | | 6192 Village Laundrette |
| | | | 6195 C B M Co (yard) |
| | | | 6196 C B M Co Inc bldg sups T 1-6655 |
| | | | 6197 C B M Co bldg materials T 1-6655 |
| | | | Cosgrove C A real est T 1-6655 |
| | | | Cartagena dr intersects |
| | | | 6205 Pottlingers Texaco Serv T 3-1678 |
| | | | 6206 Vacant |
| | | | 6210 Kester R R @ T 7430 |
| | | | 6214 Vacant |
| | | | 6215 Wagner's Motor Serv auto repr T 9274 |
| | | | 6218 Walker J R @ |
| | | | 6219 Thurston's Welding Shop |
| | | | 6222 Jones H D @ T 1-3962 |
| | | | 6226 Rose R E @ T 4209 |
| | | | 6230 Schneider P L @ R 6709 |
| | | | 6236 Hernandez A M Mrs @ R 4891 |
| | | | 6238 Brastich W C @ T 1-1304 |
| | | | 6242 Dooley T R @ T 0150 |
| | | | 6244 1/2 Your Home Workshop Inc R 4211 |
| | | | 6246 Club Rolando Liquors R 9315 |
| | | | 6250 Crowe C C gas sta R 9655 |
| | | | Bonillo dr begins |
| | | | 6304 Cummings N L, T 5098 |
| | | | Thielacker N B |
| | | | Thielacker R A |
| | | | 6324 Ingraham G E Mrs @ T 1-3065 |
| | | | 6334 Power W B @ T 5086 |
| | | | 6344 Bates A F @ R 7188 |
| | | | 6352 Guiliano Angelo @ T 1-3591 |
| | | | 6354 Stahl W P @ T 4018 |
| | | | 6362 Richards C P @ R 7781 |
| | | | Richards Signs R 7781 |
| | | | 6370 Hainley Gene real est T 7625 |
| | | | 6385 Mesa Liquor T 4606 |
| | | | Hoff John A |
| | | | Bolando blvd begins |
| | | | 6402 Moore Variety R 9735 |
| | | | Moore S H, R 9735 |
| | | | 6406 Sewall Stores R 9604 |
| | | | Shaw D C |
| | | | 6414 Young E H @ R 3516 |
| | | | 6422 Canaday Ella F @ T 1-3885 |
| | | | Wilkenson E D @ T 1-3885 |
| | | | 6430 McAloney E C @ T 1-6701 |
| | | | 6442 Bohanon L E |
| | | | Gregory W I @ T 3-1953 |
| | | | 6450 Boney C W Mrs |
| | | | 6453 Carter R S, R 8284 |
| | | | 6466 Ruben A I @ T 1-2379 |
| | | | 6474 Wright John @ T 6773 |
| | | | 6482 Hurlbut L C @ T 1-3450 |

Where To Buy . . . See
"Buyers' Guide" and Classified Business Section
On Yellow Paper Immediately Following Alphabetical List of Names

Woolens
Silks
Rayons

WE GIVE
S & H GREEN STAMPS

3986
30th
ST.
NORTH PARK — ACROSS FROM MAYFAIR

PHONE
JACKSON
1787

Cottons
Notions
Patterns

4th & Contd
 Co
 Rental Co
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4983 Vacant
4985AEuninger Hermal P real est
5002APoplar Supply & Rental tools
5045AHarrington Mayme @
5047 Flinn Clarence B
5049 Vacant
5051ATaul Robt E
5053ADickerson John W @
5055AFlores Frank D
5057AREilly Michl J
5067ALowry John E
5085AHattabough Chester A @
AHosman Walter M
52d interssects
730
54th intersects
5402AMcGrath C W Constn &
Material Co
5405AUiversity Frame & Axle
touring serv
5423ALEann's Cafe
5429 McGrath Jas
5430 Crest View Trailer Park
ARuegg Ralph J @
AWoodmansee Raymond M @
5447AEdwards Jos R pntr
5450 Valley Grove Courts
AWestfall John @
5451AMcGrath C W Constn & Matl
Co shop
5467AUiversity Showcase & Fix-
ture Co
5485AMagoffin G A Quality Plmbr
5493 Drive In Liquor
AMcKee Arth genl contr
AMcKee Cabinet Shop
5494AMel's Service auto repr
5502 Bennett Ray C
5502½ Clegg Edwin
5504 McCallum Geo M
5504½ Gidney Lawronce
5506AAM Housing Guild
AWilson Floor Co
AWilson Duke @
5515ARobertson W A & Co pipe
line constn
5538ASchlehuber Edwin W bldg
contr
5556ASchoenhoff Sam @
5570 Master Clnrs
5572 Vacant
5574 Vacant
5576 Towle Wayne T
5578 Vacant
5580 Young Jack R
5582 Elgier Geo J
5590 Shurly Carl
5591AMarkov Louis Htg & Sht Mtl
5592AHubrich John C @
5595AEdmiston John H
5599AMetal Masters sht mtl wkrs
5794 CIDat Antonio A
ALEopard Chas A
Slobig Hugh T
Wilson Thos H
5802ABellview Properties South
bldg contrs
AMission Inv Corp
ASan Diego Assoc bldg contrs
5810 Apartments
1 Bennett Geo R
2 Vacant
3 Sides Harry A
4 Carden Wm C
5820 Apartments
1 Pyzik Fredk
2 Abramson Sterling C
3 Malavenda Peter
4 Wright Edw L
5830 Apartments
1 Tappan Wm
2 Sawicki Paul P
3AMitchell John C jr
4 Tibbals Edw A
5840 Apartments
1 Bruce Chas V
2 Bonwell Wm
3 Riebau Geo H
4 Meisinger Roger
5850 Apartments
1 Johnson Roy L
2 Buteau Theo Jr
3 Morgan Theo P
4 Stern Carl
5870 Apartments
1 Vacant
2 Vacant
3 Vacant
4 Vacant
5 Vacant
6 Vacant
7 Vacant
8 Vacant
9 Vacant
10 Vacant

Apartment—Contd

11 Vacant
12 Vacant

5880 Apartments

1 Vacant
2 Vacant
3 Vacant
4 Vacant
5 Vacant
6 Vacant
7 Vacant
8 Vacant
9 Vacant
10 Vacant
11 Vacant
12 Vacant

5890 Apartments

1 Vacant
2 Vacant
3 Burnham Edw A
4 Smyth Warren H
5 Ashler Ralph F
6 Sheridan Robt H
7 Vacant
8 Vacant
9 Taylor Loy E
10 Willoughby Clara
11 Tate Robt W
12 Vacant

5902 Apartments

1 Vacant
2 Brittain Wm J
3 Vacant
4 Vacant
5 Vacant
6 Zackery Walter B
7 Vacant
8 Vacant
9 Malloy Willie C
10 English H E
11 Conlon Frank P
12 Vacant

5910 Apartments

1 Peck Vera Mrs
2 Michalenko Mary
3 Vacant
4 Wragg Burton A
5 Henderson Jerry L
6 Henderson Larry L
7 Vacant
8 Papineau Paul C
9 Ashburn Ray D
10 Vacant
11 Hoy Carl D
12 Vacant

5920 Apartments

1 Thomas Norman A
2 Roe Saml A
3 Lenz Geo
4 Wright Coley T
5 Nesbitt Kenneth A
6 Keller Clarence S jr
7 Carlson Gordon M
8 Vacant
9 Vacant
10 Pekarek Edw S
11 Prince Albert T
12 Vacant

5930 Apartments

1 Dudley Ernest P
2 Westmoreland Conrad N
3 Guerin Hector N
4 Kimball Harris W
5 Lakin Jas A
6 Eggleston Richd P
7 Mowell Rex V
8 Slouth Mary Mrs
9 Heath Richd A
10 McLaughlin Marjorie
11 Myers Mary I
12 Koopman Marvin

5940 Apartments

1 Jones Robt L
2 Anderson J
3 Flanders Norman J
4 Achuff John N
5 Mason Edw H
6 Collins Clifford J
7 Jarrett Robt A
8 Galleano Barney A
9 Hicks Virgil V
10 Evert Robt L
11 Lepore Louis R
12 Tourville Jean Mrs

5950 Apartments

1 Divers Omar F
2 Vacant
3 Klugemeier Leo
4 Vaughan I Worth
5 Hale Frank H
6 Hardin Wilbur G
7 Bennett Oral E
8 Riley Wm J
9 Thornsberry Sherman A
10 Hamilton Juanita Mrs
11 Porter Claude W
12 Francis Jos S

5960 Apartments

1 Ratcliff Chas V
2 Hutton Jos J
3 Kohler Wm B
4 Kerkard Jacob K
5 Greer Jas A
6 Leichter Mae
7 Faulwetter Harold F
8 Matschke Otto A
9 McDonald Billy B
10 Kimball Harold L

UNIVERSITY AV—Contd

Apartment—Contd

11 Sayle Clifford T
12 Franks Emery G
5970 Apartments
1 Rundell Paul W
2 Kenney Thos H
3 Fellows Fred J
4 Larsen Edwin
5980 Apartments
1 Holberry Geo H
2 Surbet Jeff L
3 Abrams Edw H
4 Dadmun Sarah E
5990 Apartments
1 Jorgensen Robt U
2 Collins Violet
3 Danio Herbert O
4 Moore John M
6002A Sequoia Landscape Co Inc
6060 Redwood Baptist Church
6080A Star Chms
6082A Village Furn
6084A San D Water Softener Co Inc
6086A Nutritional Food Serv gro
6088A Loach C H Ins
6090C House of Helene beauty shop
6098A Owen's Richfield Serv gas
6104A Rolando Service gas ata
6114A Clements Real Estate &
Insurance
6118C Brand Variety Store
6122A Rooster Inn liquors
6134-50A Rancho Market gro
6141A Russell Plumbing Co
6160A Wittem's Bakery
6172A Modern Drug Co
6177 Ball Frosties
6178 Roberts' Five & Ten
6179 Vacant
6180A Family Liquor
6181A Dahlquist & Loach Ins
6183 Butler's Eber Shop
6184A Esquire Cleaners
6185A Verzin Peter F III acct
6187A Gene's Cafe
6188A C & B News & Key Shop
6189A Village Shop The
6191 Sander's Auto Supply
6192A Village Laundrette
6193A Studio Tile mosaic work
6194A Modern Furniture Co
6196A Baker Hardware
6197A C B M Co bldg materials
6198A Hat Land Co Real Estate
6198A Karzen Melvin S
Cartagena dr intersects
7330A Cox Geo L Realtor

49

UNIVERSITY AV WEST — West
from 3900 1st av

120A Florence School
131A Ace Rug & Upholstery Clean-
ing Co
L Hayes Marlon J ©
Albatross intersects
Front intersects

316A Jewell Jenna E Mrs ©
318A McIlison Wm R
326A Spencer Robt E
327A Ryan Kath R Mrs
328A Frisco Clara J Mrs ©
337A Robbins Frank R ©
338A Lusk Minnie A Mrs ©
340 Vacant
341A Sampson Alva E Mrs
342 Wesson Wm R
343 Campbell Thos
344A Buckle Henry T
344A Romine Idona
345A Montes Nadine G Mrs
346 McMellen David C
348 Vacant
350A Horton Harry H ©
351A Hawes Ernest A ©
352A Renshaw Arth B audio eng
354A Walker Donald M
356 Walbel Richd E
358A Monzen Norman
370A Blume Kathryn M
390 No return
Brant intersects

406A Lau Theo L
408A Dalton Cora E ©
Lovett A M
410 Rex Arms
411A Gallagher Jas A
416A S Sheppard Helen F
412A McDonald Jas O
412A Thompson Osiah B
414A Hagger Leslie G
414A Knox Sharon E Mrs
415 No return
416A Heinmuller Ernest
416A Hamill Norman C
418A Moest Mary D
418A Mullin John J
421A Espinosa Tony R ©
422 Palm Heights Court
423 Bradley Robt M
424 Anderson Jack E
425 Tucker LeRoy
426 Sexton Jos
427 Brooks Raymond R
428 Hatter Louis
430 Fowler Henry J
Dave intersects

BAIL
Insurance
Agents
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|---|--|--|---|--|---|--|
| <p> 4-0309 AT 4-0855 AT 4-0855 apply & Service AT 1-4824 Mrs AT 2-2605 s motive Serv Inc br 42d intersects Co Laundry Foods J jwlr ouse Repair over Shop er Shop Pat AT 4-2187 oe Store br Co br l Mrs AT 1-5606 eam & Sandwich aren 5 tavern 8 y Craft 4 Co AT 4-7249 Shop AT 4-0617 's Shop 3 lity Store 11 era Shop 18 ers AT 1-6522 ly Shop 30 y Thrift Store Jug liquors 60 tavern 28 ndo Dyke av intersects AT 1-5297 Radio & Telev repr 46 usewares 46 Sup Inc 49 iversity AT 2-0522 itals AT 4-9453 : Varnish Co 122 e AT 4-9816 e & Ten Store '33 Co AT 1-7050 children's clo 307 ware Co 190 tavern AT 3-9310 oom </p> | <p> AT 4-2750 4298 Rogy's Fountain AT 4-9531 4301 White Cross Drug Store AT 4-1141 4302 Crest Variety AT 2-0332 4303 A B C Accounting Serv AT 2-0390 4304 Vacant 4305 Garden Spot Market gros AT 4-7186 White Gilbert B meats AT 2-8544 4306 Sweat Harold A watch repr AT 2-6814 4308 Fairmount Hotel AT 4-9073 4308 Thomasson Grover C AT 4-9673 4310 Johnnie's Barber Shop 4314 Universal Boot Shop br AT 4-0918 4316 Englund's Women's Apparel AT 1-4444 4319 Salerno Food Market AT 4-3133 4320 No return 4321 Walser Hotel Walser Johnny B AT 2-8700 4320 Antiseptic Clus & Laundry br Jacques Chas M AT 2-7221 4327 Brunner's Confectionery AT 4-2405 4328 June's Cafe tavern AT 4-9663 Rogers James B acct 4329 Nathan's Men's Wear AT 2-9277 4333 Mode O'Day women's clo 4334 Brillo's Original Mexican Restr AT 4-9479 4335 Patsy's Shoe Repair AT 4-6996 4337 Fairmount Jewelers AT 4-2311 4343 First Natl Trust & Sav Bank (East SD br) AT 4-1181 4344 Standard Stations Inc br AT 4-9594 Fairmont av Intersects 4350 King Television Co AT 2-6407 4351 Hatzlip's Pharm AT 2-2121 4352 University Avenue Bldg AT 4-6275 4354 Fox Crest Theatre AT 2-8404 4357 Krings Plastic Shop AT 4-9832 4359 Pick Louis A jwlr AT 2-9211 4361 Quality Shoe Shop shoe repr 4362 Fisher Stationers AT 2-8543 Fisher Office Machine Service AT 4-4730 4366 Fairmount Cleaners AT 4-0045 4367 New Rex Cafe AT 4-9347 4368 Reed G Mason Co real est AT 3-2033 4373 Haley's Pay-Less gro AT 4-9680 4379 Furlong's Barber Shop AT 1-3712 Furlong Wm R AT 1-3712 4380 Golden Eagle Service Station AT 4-9781 4383 Coo Coo Club tavern AT 2-2788 4387 Fairmount Bakery 4391 Certified Stores Liquors AT 4-3817 44th intersects 4404 Ranks Cy Shell Service gas sta AT 4-8386 4411 Vacant 4415 Jones Harold C AT 4-4546 4417 Pressley Paul C 4419 Pierce Kathleen G Mrs 4425 Glenn's Cycle Co bicycles AT 4-3373 4431 Mustain Ivan E AT 1-5458 4433 Shannon Sidney L AT 4-8181 </p> | <p> 4511 U-Do Lady AT 4511a Malze Wilma Mrs Rezoe Irma M Mrs 4520 Marcell Sam Bar Melody Beauty Sal AT 4-0628 4521 Cook's Furn AT 4526-36 George Anna 4526 Loggan Wilfred 4528 Quarles James J 4531 Gildeon's Linoleum Cooper's Window AT 2-8764 4532 Manning Lonnie 4534 Falk Jas B 4536 Motley John AT 4550 Kirk's Service AT 4-9222 Chamoun 4555 Kirkman OH Co SD U-Drive Rent AT 4-9293 4560 B & H Auto Serv AT 4-6343 4573 Ryan Austin H AT 4-2620 4576a Boyer James D 4576b Engeseth Marlin 4581 Kronquist Uro 4587 Stewart Cammie AT 4-5019 4592 Merius Service AT 4-5195 4601 Winterrowd Glen AT 4-1811 4611 Russell's Plmbr AT 2-9045 4619 Al & John's Cafe Mele 4626 Bull Horace W AT 4-9261 4636 Mitchell Glenn AT 2-2245 Fast Print 4647 Natl Life & Acc AT 4-9219 4649 Little Gary Ch sta AT 2-1554 4652 Safeway Stores 4664 Benoit's Cleaners 4668 Benoit Easton 4672 Gohle's Barber 4675-76 Lanning's B Typewriting AT 4-2396 4675 P & H Public AT 4-1865 Riggs Meats AT 4678 Dog & Cat Mar 4680 Mary Ruth Dr AT 2-2045 4681 Young's Barber 4686 Bon's Market McDonald's Qu AT 4-9754 4687 Dorval Alf G AT 2-9635 4689 Ida May's Coff CY 5-1341 4693 Roy's Hacienda AT 4-9571 4701 Weitzel's Hdw 4703 Euclid Beauty AT 4-4694 4705 Moe's Donut 4711 Log Cabin Cafe AT 4-9529 4714 Euclid Pastry AT 4-8400 4715 Small's Shoe Bldg AT 4-2804 Small Leo L 4716 Apartments 1 McIntosh Sid AT 2-8563 2 Cercone Dan 3 Stone Robt R 4 Clark Billie </p> | <p> 4704 Signal Bell AT 4-9039 4705 A Druggist 126 4706 Vault Co 4707 Reno dr Intersects 4708 House 4709 Mrs 4710 Room 4711 AT 4-0137 4712 br 4713 Cocktails 4714 est 4715 48th intersects AT 4-2947 4716 Mrs A 4717 V 4718 B 4719 Surgery 4720 AT 4-6494 4721 AT 2-2317 4722 est 4723 av intersects 4724 L Mrs 4725 49th intersects 4726 & Hig Co 4727 Body Works 4728 repr 4729 av intersects 4730 real est 4731 AT 1-3360 4732 Repair 4733 Service gas 4734 Young Robt L AT 2-4886 4735 Master Chrs AT 2-8844 4736 Vacant 4737 Vacant 4738 Joseph S 4739 Vacant 4740 Vacant 4741 Robb Wesley E 4742 Vacant 4743 Vacant 4744 Shurlig Carl AT 2-5159 4745 Markov Louis Htg & Sht Mtl AT 2-4094 4746 Hubrich Wm C AT 2-8658 4747 Niece Harold B 4748 Metal Masters sht mtl wks AT 2-2755 4749 Apartments 1 Padfield Yvonne M AT 2-4152 2 Jones Raymond D Rev AT 2-8493 3 Slobig Hugh T AT 2-2538 4 Negley Byron T Street continued 58th intersects 5802 Bellevue Center Apartments AT 2-8583 Bellevue Properties Inc real est AT 2-3588 Mission Inv Corp AT 2-8588 San Diego Assoc Inc bldg contrs AT 2-8588 5810 Apartments 1 Flagg Chas O 2 No return 3 Sides Harry A 4 Stills Louis AT 1-8541 Street continued </p> | <p> AT 2-3131 5420 Wakefield Harry E AT 2-5801 Ruegg Ralph J AT 2-0953 Woodmansee Raymond M AT 2-9953 University av Intersects Aznoe Roy AT 2-4937 Comstock Carl AT 2-2171 Dover Howard A AT 2-8274 Elliott Joseph H AT 2-1177 Gibson Lewis D AT 2-4826 Hans Roy A AT 2-6008 Hoffman Geo T AT 2-5014 Kobusch R J AT 2-3356 Shuford Hazel Mrs AT 2-7918 Simms Enoch H AT 2-6534 Snyder Arth AT 2-3272 Tidd D Martin AT 2-6094 Woodward C E AT 2-4113 Street continued 5447 Edwards Joseph R pntr 5450 Valley Grove Courts Westfall John AT 2-0896 5451 McGrath C W Constn & Mtl Co AT 2-6811 5467 University Showcase & Fixture Co AT 2-4626 5485 Magoffin G A Quality Plmbr AT 2-8080 5493 Drive-In Liquor AT 2-8355 McKee Cabinet Shop AT 2-1313 5494 Mel's Service auto repr 5502 Gidney Lawrence H AT 2-8186 5502 1/2 Clegg Edwin 5504 Compher Wm R 5504 1/2 Champion David L AT 2-7183 5506 Am Housing Guild AT 2-6656 Wilson Floor Co AT 2-8616 Wilson Duke AT 2-8616 5515 Robertson W A & Co pipe line const AT 2-4864 5520 Gifford's carpets & furn AT 2-1760 5538 Schlehuber Edwin W Inc bldg contr AT 2-1414 5553 Security Auto Storage Co AT 2-8231 5556 Young Robt L AT 2-4886 5570 Master Chrs AT 2-8844 5572 Vacant 5574 Smith Joseph S 5576 Vacant 5578 Vacant 5578 Robb Wesley E 5580 Vacant 5582 Vacant 5590 Shurlig Carl AT 2-5159 5591 Markov Louis Htg & Sht Mtl AT 2-4094 5592 Hubrich Wm C AT 2-8658 5593 Niece Harold B 5599 Metal Masters sht mtl wks AT 2-2755 5794 Apartments 1 Padfield Yvonne M AT 2-4152 2 Jones Raymond D Rev AT 2-8493 3 Slobig Hugh T AT 2-2538 4 Negley Byron T Street continued 58th intersects 5802 Bellevue Center Apartments AT 2-8583 Bellevue Properties Inc real est AT 2-3588 Mission Inv Corp AT 2-8588 San Diego Assoc Inc bldg contrs AT 2-8588 5810 Apartments 1 Flagg Chas O 2 No return 3 Sides Harry A 4 Stills Louis Street continued </p> | <p> 5810 Apartments 1 Higginbotham Louise 2 Salgado Joseph P AT 2-6125 3 Judis Wm 4 Walsh Robt N 5 Campbell Edw J AT 2-3549 6 Milga Eug W AT 2-3134 7 Potts W Gene AT 2-3166 8 Campbell John R AT 2-6919 9 Hall Tex J AT 2-0849 10 Lester Robt J AT 2-0519 11 Jordan Ausvel AT 2-3236 12 Vacant Street continued 5830 Apartments 1 Toomey Robt J AT 2-5209 2 Kudrna Bernice Mrs AT 2-1329 3 Taylor Gaylord L 4 Revel Alvin Y AT 2-0877 5 Hirko Andrew AT 2-8417 6 Leicht Darwin G AT 2-5147 7 Walsh Dennis G AT 2-2168 8 Johnston Robt E 9 Kozina Martin J 10 Harrison Alice M 11 Rausch Thos W 12 Carroll Alvin W AT 2-7548 Street continued 5890 Apartments 1 Martin Thos W 2 Irvine Robt S AT 2-6274 3 Burnham Edw A AT 2-0930 4 Hook Leonard R AT 2-8586 5 Werba Robt G 6 Pepper Jasper O AT 2-0015 7 Melanson Joseph E AT 2-6051 8 Henry Audrey G AT 2-6872 9 Taylor Loy E AT 2-4180 10 Gray James N AT 2-7228 11 Vacant 12 Bergstrom Mildred Mrs AT 2-8399 Street continued 5902 Apartments 1 Gump Joseph R AT 2-5619 2 Brittain Wm J AT 2-5018 3 Dempster Lloyd R AT 2-4156 4 Owens Otis E 5 Whitehurst Howard S 6 Zackery Walter B AT 2-5423 7 Mellen Kathleen J AT 2-8216 8 Vacant 9 Vacant 10 English Harley E AT 2-4673 11 Smith Alf B AT 2-5419 12 Stokes Robt H AT 2-3353 Street continued 5910 Apartments 1 Vacant 2 Wade Gene AT 2-8735 3 Roser Robt A AT 2-3167 4 Wragg Burton A AT 2-3647 5 Szymczak Robert C AT 2-0183 6 Carroll Kenneth C AT 2-7791 7 Noble Doris T Mrs AT 2-1967 8 Vacant 9 Vacant 10 Deleercq Maurice AT 2-5070 11 Joyce Claude C AT 2-8605 12 Dennis Valentine N AT 2-0295 Street continued 5930 Apartments 1 Shames Norman A 2 Quinte Roger L AT 2-6033 3 Vacant 4 Wright Coley T 5 Alinzak Walter 6 Keller Clarence S jr 7 Coppinger James W AT 2-1209 8 Morgan Harold 9 Rott Gary D AT 2-8284 10 Pekarek Edw S AT 2-3019 11 LeMaster Shrlley 12 Harmon J C Street continued </p> | <p> 5 Mason Arlene Mrs AT JU 6 Payne Lucille Mrs 7 Luce Carl P AT JU 2-4988 8 Barnes Noble D 9 Vacant 10 Rumyon Robt L AT JU 2 11 Lepore Louis R jr AT JU 2-3203 12 Laurent Theo F AT JU Street continued 5950 Apartments 1 Divers Omar F jr AT JU 2-7518 2 Wilson Horace E 3 Chipman Virginia R AT JU 2-6852 4 Vaughan I Worth AT JU 5 Bowen Kenneth E 6 Hardin Wilbur G AT JU 7 No return 8 Riley June R Mrs 9 Hudson Wm L 10 Wren John G 11 Vestergaard Julius L AT J 2-8120 12 Francis Joseph S Street continued 5960 Apartments 1 Meuninger Joseph AT JU 2 Sall Barry J AT JU 2-6 3 Homier Randall E AT JU 2-4093 4 Kergard Jacob K AT JU 2-3273 5 Greer Jas A AT JU 2-492 6 Lay Robt C 7 Cox Sharlie Mrs AT JU 2- 8 Vacant 9 McDonald Stella Mrs AT JU 2-3326 10 Bashinski H M AT JU 2-6746 Street continued 5970 Apartments 1 Cooper Edwin L AT JU 2 2 Kliney Thos H 3 Flannery Fred J AT JU 2 4 Vacant Street continued 5980 Apartments 1 McQuillen O G 2 Surber Jeff J AT JU 2-1 3 Huston Margt Mrs 4 Dammun Sarah E AT JU 2-8741 Street continued 5990 Apartments 1 Queen Edwin C 2 Barrington Harold N AT JU 2-0602 3 Finley Reece E 4 Robinette Nell Mrs AT JU 2-8317 Street continued 6002 Sequola Landscape Co AT JU 2-6221 6004 Redwood Baptist Church 6080 Star Chrs AT JU 2-2688 6082 Village Furn AT JU 2-552 6084 San D Water Softener AT JU 2-5757 6086 Nutritional Food Serv gr AT JU 2-6233 6088 Earley & Wymau Ins AT JU 2-9490 Whitmore F R real est AT JU 2-6061 6090 House of Helene Beauty AT JU 2-2191 6098 Owen's Richfield Service sta AT JU 2-9808 </p> |
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and
GRAPE STS.**

UNIVERSITY AV—Contd

4716 Apts—Contd
3 Strickland Luther J
Δ AT 1-7905
4 McCallister Richd V
Δ AT 2-3775
Street continued
4717 Kingdom Hall of Jehovah's
Witnesses
4718 Shannon's Fire Ten & Twenty-
Five Cent Store Δ AT 2-6306
4725 Kings Uphol Δ AT 2-8768
4726 Vacant
4727 Tiny's Place tavern
Δ AT 4-9773
4730 Paddock Cafe The tavern
Δ AT 4-9774
4734 Vacant
4736 Three A's Cafe restr
4737 Vacant
4739 Rene Shop Δ AT 3-2160
4741 Bishop's Vacuum Sls
Δ AT 1-5429
4743 Leisure Time Shop The
Δ AT 1-5710
4744 Cowan & Son Signal Serv
4745 Parker Howard & druggist
Δ AT 4-4288

126
Euclid av intersects

4749 Vacant Reno dr intersects

4750 Bay City Liquor House
Δ AT 4-2836
4751 Vacant
4752 Silverado Ball Room
Δ AT 4-0137
Joy Dance Studio Δ AT 4-0137
4756 Tower Furniture (br)
Δ AT 1-4761
4757 Tower Cafe cocktails
Δ AT 4-0158
4771 Beck Iris A real est
Δ AT 2-8152
Vericel Helen Mrs real est

48th intersects

4804 Buck Jas E Δ AT 4-2947
4809 Hammond Olin
4811 Felde Richd
4813 Schmidtko Henry A Δ
4815 King Walter C Δ AT 2-0790
4818 Middleswart Elmer B Δ
Δ AT 1-4377

4819 Hudson Ed E Nursery
Δ AT 4-6494
Hudson Ed E Δ

4834 Miller Geo E Δ AT 2-2317
4836 Miller Geo E real est
Δ AT 4-9224

Estrella av intersects

4844 A-1 Western Mattress Co
Δ AT 1-7727
4891 Marshall Gennie L Mrs
Δ AT 1-6508

49th intersects

4905 McGrath Plumbing & Htg Co
Δ AT 4-6207
4918 Colby's Paint & Body Works
4925 George's Auto Repr

Winona av intersects

4951 Logsdon Louise E
4953 Schallhorn Wm F
4954 Hilderbrand Texaco Service gas
sta Δ AT 4-1478
4957 Lansaw Cath Mrs Δ
Δ AT 2-6893
49572 Cook Ray
4961 Simpson Harry E pntr
Δ AT 4-6878
4963 Vacant
4968 Rutherford's Mkt gro
Δ AT 1-1430
4969 Salerno Music Studio tchrs
Δ AT 2-7333
4973 Thomas Furn Co Δ AT 1-8122
4975 Lee's Music Co Δ AT 1-8122
4977 Henry's Cafe Δ AT 4-0084
4979 Vaughn Margie
Hallick-Vaughn Dance Studio
4981 Buckner Mfg Co Inc
Δ AT 3-2223
4985 Vacant

50th intersects

5002 Poplar Supply & Rental Serv
plmb sups Δ AT 1-8195
5045 Vacant Oakcrest dr begins

5047 Vacant
5049 Maddox Jos F
5051 Navak Jos A Δ AT 1-1484
5053 Galloway David J Δ AT 2-3338
5055 Kesler Herman J Δ AT 3-2175
5057 Reilly Michl J Δ AT 1-8541
5067 Lowry John E Δ AT 4-4508
5085 Hattabough Chester A Δ
Δ AT 1-2893
Isbell Wm F Δ AT 1-3986
5109 Vacant
5150 SD Pipe & Sup Co Δ AT 2-8155
5225 Vemlich Sam mason contr
Δ AT 2-7737
5229 M & S Cabt Shop Δ AT 2-1090
5241 University Patio Shop play-
ground equip Δ AT 2-2442

4 HR. SERVICE

5255-57 Acacia Furn Mart
Δ JU 2-0583
5259 Pondelick Albert Δ
Δ JU 2-0588
5261 Miller LeRoy CA JU 3-1571
5295 Univeristy U-Drive Truck
Rental Co Δ JU 2-8882

128

5402 McGrath C W Grading &
Material Co Δ JU 2-6363
5405 University Frame & Axle Co
reprs Δ JU 2-0111
5423 Chaumey's Dining Room
Δ JU 2-3131
5429 Wakefield Harry E Δ JU 2-5801
5430 Crest View Trailer Park
Δ JU 2-9935

5447 Edwards Jos R
5450 Valley Grove Courts
Westfall John Δ JU 2-0696
5451 McGrath Construction & Ma-
terial Co Δ JU 2-6511
5467 University Showcase & Fixture
Co Δ JU 2-4626
5485 Magoffin G A Quality Plmbr
Δ JU 2-8080
5493 Drive-In Liquor Δ JU 2-8855
McKee Cabinet Shop
Δ JU 2-3131
5494 Mel's Service auto repr
Δ JU 2-8464
5502 Vacant
5502 Clegg Edwin
5504 Paradise Godeen
5504 Crocker Jas
5506 Am Housing Guild Δ JU 2-6656
Wilson Floor Co Δ JU 2-8616
Wilson Duke
Wilson Deckoray Δ
Δ JU 2-8616
5515 Moody's Patio & Fence Co
Δ JU 2-0877
5520 Gifford's carpets & furn
Δ JU 2-1760
5533 Schlehuber Edwin W Inc bldg
contr Δ JU 2-1414
5555 Security Auto Storage Co
Δ JU 2-8231
Shear Walter H Δ AT 1-8231
5556 Young Robt L Δ JU 2-4886
5570 Taste & Tell restr Δ JU 2-9754
5572 Vacant
5574 Boren Marion A
5576 Vacant
5578 Vacant
5580 Stratton C Mrs
5582 Hogg Harvey
5586 Master Cleaners Δ JU 2-2278
5590 Shuriz Carl Δ JU 2-5159
5591 Markov Louis Sheet Metal
Wks Δ JU 2-4094
5592 Hubrich Wm C Δ AT 2-8653
5595 University Ave Welding &
Refrigeration
Baker Winfield S Δ
Δ JU 2-8337
5599 Metal Masters mtl wks
Δ JU 2-2755

54th intersects

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5580 Stratton C Mrs
5582 Hogg Harvey
5586 Master Cleaners Δ JU 2-2278
5590 Shuriz Carl Δ JU 2-5159
5591 Markov Louis Sheet Metal
Wks Δ JU 2-4094
5592 Hubrich Wm C Δ AT 2-8653
5595 University Ave Welding &
Refrigeration
Baker Winfield S Δ
Δ JU 2-8337
5599 Metal Masters mtl wks
Δ JU 2-2755

54th intersects

5402 McGrath C W Grading &
Material Co Δ JU 2-6363
5405 University Frame & Axle Co
reprs Δ JU 2-0111
5423 Chaumey's Dining Room
Δ JU 2-3131
5429 Wakefield Harry E Δ JU 2-5801
5430 Crest View Trailer Park
Δ JU 2-9935

5447 Edwards Jos R
5450 Valley Grove Courts
Westfall John Δ JU 2-0696
5451 McGrath Construction & Ma-
terial Co Δ JU 2-6511
5467 University Showcase & Fixture
Co Δ JU 2-4626
5485 Magoffin G A Quality Plmbr
Δ JU 2-8080
5493 Drive-In Liquor Δ JU 2-8855
McKee Cabinet Shop
Δ JU 2-3131
5494 Mel's Service auto repr
Δ JU 2-8464
5502 Vacant
5502 Clegg Edwin
5504 Paradise Godeen
5504 Crocker Jas
5506 Am Housing Guild Δ JU 2-6656
Wilson Floor Co Δ JU 2-8616
Wilson Duke
Wilson Deckoray Δ
Δ JU 2-8616
5515 Moody's Patio & Fence Co
Δ JU 2-0877
5520 Gifford's carpets & furn
Δ JU 2-1760
5533 Schlehuber Edwin W Inc bldg
contr Δ JU 2-1414
5555 Security Auto Storage Co
Δ JU 2-8231
Shear Walter H Δ AT 1-8231
5556 Young Robt L Δ JU 2-4886
5570 Taste & Tell restr Δ JU 2-9754
5572 Vacant
5574 Boren Marion A
5576 Vacant
5578 Vacant
5580 Stratton C Mrs
5582 Hogg Harvey
5586 Master Cleaners Δ JU 2-2278
5590 Shuriz Carl Δ JU 2-5159
5591 Markov Louis Sheet Metal
Wks Δ JU 2-4094
5592 Hubrich Wm C Δ AT 2-8653
5595 University Ave Welding &
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Baker Winfield S Δ
Δ JU 2-8337
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McKee Cabinet Shop
Δ JU 2-3131
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5504 Crocker Jas
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Wilson Floor Co Δ JU 2-8616
Wilson Duke
Wilson Deckoray Δ
Δ JU 2-8616
5515 Moody's Patio & Fence Co
Δ JU 2-0877
5520 Gifford's carpets & furn
Δ JU 2-1760
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contr Δ JU 2-1414
5555 Security Auto Storage Co
Δ JU 2-8231
Shear Walter H Δ AT 1-8231
5556 Young Robt L Δ JU 2-4886
5570 Taste & Tell restr Δ JU 2-9754
5572 Vacant
5574 Boren Marion A
5576 Vacant
5578 Vacant
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Wks Δ JU 2-4094
5592 Hubrich Wm C Δ AT 2-8653
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Refrigeration
Baker Winfield S Δ
Δ JU 2-8337
5599 Metal Masters mtl wks
Δ JU 2-2755

54th intersects

5402 McGrath C W Grading &
Material Co Δ JU 2-6363
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terial Co Δ JU 2-6511
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Δ JU 2-8464
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5502 Clegg Edwin
5504 Paradise Godeen
5504 Crocker Jas
5506 Am Housing Guild Δ JU 2-6656
Wilson Floor Co Δ JU 2-8616
Wilson Duke
Wilson Deckoray Δ
Δ JU 2-8616
5515 Moody's Patio & Fence Co
Δ JU 2-0877
5520 Gifford's carpets & furn
Δ JU 2-1760
5533 Schlehuber Edwin W Inc bldg
contr Δ JU 2-1414
5555 Security Auto Storage Co
Δ JU 2-8231
Shear Walter H Δ AT 1-8231
5556 Young Robt L Δ JU 2-4886
5570 Taste & Tell restr Δ JU 2-9754
5572 Vacant
5574 Boren Marion A
5576 Vacant
5578 Vacant
5580 Stratton C Mrs
5582 Hogg Harvey
5586 Master Cleaners Δ JU 2-2278
5590 Shuriz Carl Δ JU 2-5159
5591 Markov Louis Sheet Metal
Wks Δ JU 2-4094
5592 Hubrich Wm C Δ AT 2-8653
5595 University Ave Welding &
Refrigeration
Baker Winfield S Δ
Δ JU 2-8337
5599 Metal Masters mtl wks
Δ JU 2-2755

54th intersects

5402 McGrath C W Grading &
Material Co Δ JU 2-6363
5405 University Frame & Axle Co
reprs Δ JU 2-0111
5423 Chaumey's Dining Room
Δ JU 2-3131
5429 Wakefield Harry E Δ JU 2-5801
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Δ JU 2-9935

5447 Edwards Jos R
5450 Valley Grove Courts
Westfall John Δ JU 2-0696
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terial Co Δ JU 2-6511
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Co Δ JU 2-4626
5485 Magoffin G A Quality Plmbr
Δ JU 2-8080
5493 Drive-In Liquor Δ JU 2-8855
McKee Cabinet Shop
Δ JU 2-3131
5494 Mel's Service auto repr
Δ JU 2-8464
5502 Vacant
5502 Clegg Edwin
5504 Paradise Godeen
5504 Crocker Jas
5506 Am Housing Guild Δ JU 2-6656
Wilson Floor Co Δ JU 2-8616
Wilson Duke
Wilson Deckoray Δ
Δ JU 2-8616
5515 Moody's Patio & Fence Co
Δ JU 2-0877
5520



1958

Devereaux-Scull Co.

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500 Bank of America Building

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MONTHLY
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San Diego

BElmont
2-7158

509
Land Title
Building
San Diego

UNIVERSITY AV—Contd
4745 Parker Howard A druggist
△ AT 4-4288

Euclid av intersects 126
4749 Big City Liquor △ AT 4-2836
Reno dr intersects

4750 Vacant
4751 Reinohl Isabelle P Mrs
△ AT 1-7968
4752 Fleming Phyllis College of
Baton
Silverado Ball Room
△ AT 4-0137
Joy Dance Studio △ AT 4-0137
4753 Plastic Laminating menu's
△ AT 2-0300
4756 Tower Furniture (br)
△ AT 1-4761
4757 Tower The cocktails
△ AT 4-0158
4770 Triple S Serv gas sta
△ AT 4-9694
4771 Yale Don R real set
4781 Joe's Lawn Mower & Key Shop
repr

4804 Buck Jas E △ AT 4-2947
4809 Schmidtke Henry A △
△ AT 4-3092
4809 1/2 Smitty's Toy Mart
4811 DeBolt Edw
4813 Schmit James △ AT 1-4150
4815 Metz Richd L △ AT 2-7305
4818 Baker W Don △ plmb
△ AT 4-2947
4819 Hudson Ed E △ AT 3-3640
4834 Miller Geo E △ AT 2-2317
4836 Miller Geo E real est
Miller Pianos used △ AT 4-9224
Estrella av intersects

4844 A-1 Western Mattress Co
△ AT 1-7727
4891 Franken Used Cars
△ AT 2-8608

4905 Four Star Radio & TV Co
△ AT 2-0729
4914 Minnis Vocation Rentals
4918 Colby's Paint & Body Works
4925 George's Auto Repr

Winona av intersects
4951 Tripoli Barber Shop
△ AT 4-9078
4953 Gallagher Loren E
4954 Hilderbrand Texaco Serv
gas sta
△ AT 4-1478
4957 Jackson Melvin G △ AT 4-7831
4957 1/2 Lansaw Cath Mrs △
△ AT 2-6893
4961 Skillman Bryant D △ AT 4-4438
4963 Vacant
4968 Deering's Mkt △ AT 1-1430
4969 Salerna's Music Studio
△ AT 2-7383

rear Parent Grace M Mrs
4973-75 Thomas Furn Co
△ AT 1-8122
4977 Merchants Cafe
4979 DeBolt Publ Co △ AT 3-3582
Southern Cal Rubber Repr &
Sup
Hallick-Vaughn Dance Studio
△ AT 1-0963
Stancota Natl Sch of Accordion
△ AT 3-2504
Thomas James P △
Wood Wire & Mtl Lathers
Internatl Union Local No 260
△ AT 1-3394
4981 Nees J C Turf Sup
△ AT 3-2223

5002 Poplar Supply & Rental Serv
plmb sups △ AT 1-9195
5045 DeBenedetti John △
△ AT 3-2962

Oakcrest dr begins
5047 Fleenor Chas E △ AT 1-5005
5049 Wilhelm Jeanine L
△ AT 4-3292
5051 Karmazin Wm R jr △ AT 2-8007
5053 Bird Geo L △ AT 4-1801
5054 Danl W △ AT 4-7701
5057 Reilly Michl J △ AT 1-8541
5067 Lowry John E △ AT 4-4508
5085 Hattabough Chester A △
△ AT 1-2893
5109 Walkley's Venetian Blind
Laundry & Renovating
△ AT 4-9764
5150 SD Pipe & Sup C △ AT 2-8155

5219-21 Bay Tool Engineering Co
△ JU 3-3070
5225 Consumers Plumb Co
△ JU 3-3181
5229 M & S Cabt Shop △ JU 2-1090
5231 Vacant
5233 Vemich Sam Masonary
△ JU 2-7787
5241 University Patio Shop furn
△ JU 2-2442

5255-57 Acacia Furn Mart
△ JU 2-0588
5259 Pondelick Albert △
5261 Vacant
5295 University U-Drive Truck
Rental Co △ JU 2-8882

5402 McGrath C W Grading &
Material Co △ JU 2-6363
5405 University Frame & Axle
reprs △ JU 2-0111
5430 Crest View Trailer Park
△ JU 2-9953

Ruegg Ralph J △
Woodmansee Raymond M △
5447 Edwards J R (stge)
5450 Valley Grove Courts
Westfall John △ JU 2-0696
5451 McGrath Constn & Matl Co
△ JU 2-6811
5454 Myers Grover Real Est
△ JU 3-2181

5467 Vacant
5485 Vacant
5493 Drive-In Liquor Store
△ JU 2-8555
McKee Cabinet Shop
McKee Constn Co △ JU 2-1333
5494 Mel's Service auto repr
△ JU 2-8464
5502 Hoglund Muriel
5502 1/2 Hunt Alma △ JU 2-3637
5504 Little James R
5504 1/2 Ahern Patrick △ JU 3-5405
5506 Am Housing Guild bldg contr
△ JU 2-6656 △ JU 2-7888
Wilson Duke Floor Co
△ JU 2-8616

5506 1/2 Sparks Roger
5515 Vacant
5520 Gifford's carpets and furn
△ JU 2-1760
5538 Schlehuber Edwin W Inc bldg
contr △ JU 2-1414
5555 Security Auto Storage Co
△ JU 2-8231
Shear Walter H △ JU 2-8231

5556 Hughs Wm
5570 Dick's Hide-A-Way restr
5572 Vacant
5574 No return
5576 Miller Paul R
5578 Mezinski M H △ JU 3-0422
5580 Morris Sheldon E △ JU 3-0806
5582 Vacant
5586 Master Cleaners △ JU 2-2278
Spinall's Auto Sls △ JU 2-2666
5590 Shurig Carl △ JU 2-5159
5591 Markov Louis Sheet Metal Wks
△ JU 2-4094
5592 Hubrich Wm C △ JU 2-8653
5599 Metal Masters sht mtl wks
△ JU 2-2755
5602 DelCapri Terrace rest home
△ JU 3-0313 △ JU 3-1993

5794 Apartments
1 Cartwright Donald L
△ JU 2-2329
2 Alexander John B
3 Codschalk S H
4 Brownsky Jean Mrs
Street continued

5802 Bellview Properties Inc real
est △ JU 2-3588
Mission Inv Corp △ JU 2-8588
San Diego Assoc Inc bldg contrs
△ JU 2-8588

5810 Apartments
1 Yeager Robt
2 Vacant
3 Jaggar Forrest D jr △ JU 2-2433
4 Scott Russell N △ JU 3-0686

Street continued

5820 Apartments
1 Bridges John
2 Nemeth Geo J jr △ JU 3-0947
3 Baylis Wm H
4 Kaske Earl F △ JU 2-6791

Street continued

5830 Apartments
1 Koning David △ JU 2-7804
2 Rosenthal Benj
3 Hickey Earl M △ JU 2-0859
4 Flores Alberto △ JU 2-6930

Street continued

5840 Apartments
1 Swinson Darrell S △ JU 3-0483
2 Bonwell Wm △ JU 2-3049
3 Gorter Geert H
4 Salomon Nelson △ JU 2-9647

5850 Apartments
1 Booth Harry W △ JU 3-0285
2 Korsmo Ernest M △ JU 3-0328
3 Levine Arth I △ JU 2-6750
4 Haley Lawrence M △ JU 2-9343

Street continued

5870 Apartments
1 Higginbotham H H △ JU 2-4239
2 Appell Frank T △ JU 2-4919
3 Crandall Glyod W Mrs
△ JU 3-0520
4 Smith Lee T. △ JU 3-1660

5 Norman Jean D Mrs
△ JU 3-0823
6 Reese Neal △ JU 2-9544
7 Phillips Robt J △ JU 2-9015
8 Campbell John R △ JU 2-6919
9 Hall Tex J △ JU 2-2650
10 Keeton Raymond △ JU 2-9369
11 Goodrich Robt M △ JU 3-2273
12 Henson Thos △ JU 3-3360

Street continued
5880 Apartments
1 Kirwan Robt C △ JU 2-9021
2 Kudrna Bernice Mrs
3 Stuebo Harlan D
4 Hirko Andrew △ JU 2-8417
5 Lacy Geo T
6 Leicht Darwin G △ JU 2-5147
7 Migacz Bug J △ JU 2-0903
8 Wheeler Edgar G △ JU 3-3296
9 Balkkedahl Richd E △ JU 3-2953
10 Ladd Oliver M △ JU 3-0592
11 Jacobs Billy M △ JU 3-1878
12 Hallsworth H E △ JU 2-7456

5890 Apartments
1 Brown Kenneth B △ JU 2-4706
2 Bridges Jerry P △ JU 3-4795
3 Shinansky Michl K
△ JU 2-9231
4 Wajda John F △ JU 3-2273
5 Roberts Billy G △ JU 2-9319
6 Pepper Jasper O △ JU 2-0115
7 Summer James A
8 Raper Paul B jr
9 Vincent Richd R △ JU 2-0967
10 Pendzich Anthony △ JU 3-3019
11 Trup Max △ JU 2-5270
12 Peightal Chas R

Street continued
5902 Apartments
1 Raper Lowell B △ JU 3-2040
2 No return
3 Henshaw Edw L △ JU 3-3526
4 Stubenvall Fred J △ JU 3-1775
5 Owens John E △ JU 2-2976
6 Wilkinson Willard F
7 Tenkanen Kenneth L
△ JU 3-1029
8 Edwald Robt R △ JU 2-1891
9 Cunningham Joseph M
10 Wilson R L △ JU 2-2945
11 Ribby Chas F △ JU 3-3987
12 Cunningham Joseph
△ JU 3-2762

5910 Apartments
1 Berl Wm H △ JU 3-2744
2 Pla Jas S △ JU 3-1776
3 Delia Louis R
4 Argall Robt R △ JU 2-7813
5 Archer Thos W
6 Kessinger Harry R △ JU 2-6220
7 Vacant
8 Palmoras Nick △ JU 3-2740
9 Bridges James P
10 Rodriguez Marcellino
△ JU 3-3249
11 Rolston Gerald E △ JU 3-0235
12 Vacant

5920 Apartments
1 Tripp Donald
2 Homer Larry E △ JU 2-7720
3 Boner Everett
4 Stanley Richd L
5 Wallace Jas F △ JU 3-2907
6 Thompson Virgil R △ JU 3-3867
7 Charette Gerard
8 Cunningham Margt Mrs
9 Law Clark T
10 Pekarek Edw S △ JU 2-3019
11 LeMaster Shirley W
△ JU 3-1843
12 Spradlin Wm L △ JU 3-0354

5930 Apartments
1 Peters Robt D
2 Westmoreland Conrad N
△ JU 2-8649
3 Dilworth Dennis C △ JU 3-1634
4 Anderson Thos D △ JU 2-0913
5 George J R △ JU 3-4886
6 Brogan Chas J △ JU 3-1906
7 Welch Wayne C △ JU 3-5440
8 Firmage Jack L △ JU 3-5443
9 Vacant
10 Davis James W △ JU 3-3673
11 Merritt Lee M △ JU 3-2538
12 Stagg Richd H △ JU 2-4149

5940 Apartments
1 Farness Leonard E
2 Scranton Eug L △ JU 2-6713
3 Flanders Norman J △ JU 2-3080
4 Holding Ferna Mrs
△ JU 2-4950
5 Showerman Ray M
△ JU 3-0753
6 Vacant
7 Payne John M jr
8 Lancaster John
9 Sams Wm K
10 Kulser Thos △ JU 2-3476
11 Wallace Delbert R △ JU 2-1525
12 Allcens Jon △ JU 3-3961
13 DeBaun Merlin R △ JU 3-3606

5950 Apartments
1 Albrecht Ken C △ JU 3-3161
2 Modick J H

3 Nimmo
4 Dinsdale
5 Stunick
6 Taylor
7 Robert
8 Vacant
9 Deal
10 Coleman
11 Vestergaard
12 Francis
5960 Apartments
1 Vacant
2 Pangburn
3 Scheldt
4 Horan
5 Lawson
6 Vacant
7 Thompson
8 Vacant
9 Fastenling
10 Vacant
11 Harrison
12 Schirk
5970 Apartments
1 Hoyt Geo
2 Fleming
3 Reed
4 Richardson
5980 Apartments
1 McQuillan
2 Vacant
3 Brooks
4 Dadman
5990 Apartments
1 Baker
2 Vance
3 Carroll
4 Moore
Street continued
6002 Sequoia
6060 Redwood
6080 Star
6082 Village
6086 Farmstead
6088 Chapm
6090 Betty
6091 Hall
6093 Owen
6101 Standard
6104 Rolando
6111 Vacant
6114 Odum
6118 Miller
6122 Rooster
6134-50 Rand
6141 Russel
6157 Modern
6159 Bell's
6160 Withem
6161 Spooner
6168 George
6165 Roddeck
6167 Spl
6172 Sure
6173 Villa
6179 Ball
6180 Foster
6183 Butler
6184 Esquire
6185 Verdin
6187 Mel's
6188 C & B
6189 Mohling
6190 Carpel
6191 Marshall
6192 Villag
6195 Consum
6196 Turn

UNIVERSITY AV—Contd

- 5223 Camco Enterprises cookware
Δ JU 2-9401
- 5225 Bessitte R E Constn Co Inc
genl contr Δ JU 2-3831
- 5229 M & S Cabb Shop
Δ JU 2-1090
- 5231 Miller Paul Electronics mfrs
Δ JU 3-3166
- 5241 University Patio Furn Store
Δ JU 2-2442
- 5255 Acacia Unfinished & Patio
Furn Δ JU 2-0588
- 5257 Acacia Unfinished & Patio Furn
whse
- 5259 Pondelick Albert @
- 5261 Vacant
- 5295 University U-Drive Truck
Rental Co Δ JU 2-5882
- 5298 Under construction
- 5340 Buy & Save Mkt gro
Δ JU 3-6177
- 54th intersects 128
- 5405 University Frame & Axle
reprs Δ JU 2-0111
- 5430 Crest View Trailer Park
Δ JU 2-9953
- Ruegg Ralph J @ Δ JU 2-9953
- Woodmansee-Raymond M @
Δ JU 2-9953
- 5447 Edwards J R (stge)
- 5450 Valley Grove Courts
Δ JU 2-0696
- Westfall John @ Δ JU 2-0696
- 5451 McGrath C W Constn Co Inc
Δ JU 2-6363
- 5454 Vacant
- 5467 Hayden Transfer & Stge Inc
Δ JU 3-5011
- 5485 Vacant
- 5493 Drive-In Liquor Store
Δ JU 2-8855
- McKee Cabinet Shop
Δ JU 2-1333
- McKee Constn Co Δ JU 2-1333
- 5494 Mel's Service auto repr
Δ JU 2-8464
- 5502 No return
- 5502 1/2 Foley Helen Δ JU 3-3637
- 5504 Graham Roy E
- 5504 1/2 Fukeye Eddie Δ JU 3-4964
- 5506 Vacant
- Wilson Duke Floor Co
Δ JU 2-8616
- Wykoff Carl
- 5506 1/2 Wilson Deckoray @
Δ JU 2-8616
- 5515 Vacant
- 5520 Gifford's carpets and furn
Δ JU 2-1760
- 5538 Schlehuber Edwin W Inc bldg
contr Δ JU 2-1414
- 5555 Security Auto Storage Co
Δ JU 2-8231
- Shear Walter H @
Δ JU 2-8231
- 5556 No return
- 5570 Dick's Hide-A-Way restr
Δ JU 2-9855
- 5572 Vacant
- 5574 Vacant
- 5576 Rowan John H
- 5578 Morris Paul
- 5580 Vacant
- 5582 Comb Richd
- 5586 Master Cleaners Δ JU 2-2278
- 5590 Shurig Carl Δ JU 2-5159
- 5591 Markov Louis Sheet Metal Wks
Δ JU 2-4094
- 5592 Hubrich Wm C @ Δ JU 2-3653
- 5599 Metal Masters hst mtl wks
Δ JU 2-2755
- 5602 DelCapri Terrace rest home
Δ JU 3-0313
- 5704 Apartments
- 1 Cartwright Donald L
Δ JU 2-2329
- 2 Alexander John B
- 3 Codschalk S H
- 4 Brodsky Jean Mrs
- 58th intersects
- 5802 Belleriew Center Apts ofc
Δ JU 2-8588
- Belleriew Properties Inc real
est Δ JU 2-8588
- Mission Inv Corp Δ JU 2-8588
- San Diego Assoc Inc bldg contrs
Δ JU 2-8588
- 5810 Apartments
- 1 Yeager Robt Δ JU 2-2898
- 2 Vacant
- 3 Jaggat Forrest D jr
Δ JU 3-2438
- 4 Scott Russell N Δ JU 3-0686
- Street continued
- 5820 Apartments
- 1 Bridges John
- 2 Nemeth Geo J jr Δ JU 3-0947
- 3 Baylis Wm H
- 4 Kaske Earl F Δ JU 2-6791
- Street continued
- 5830 Apartments
- 1 Koning David Δ JU 2-7804
- 2 Rosenthol Benj
- 3 Hickey Earl M Δ JU 2-0859
- 4 Flores Alberto Δ JU 2-6930
- Street continued
- 5840 Apartments
- 1 Zentz Jerry R Δ JU 3-7381

- 3 Levine Arth I Δ JU 2-6750
- 4 Haley Lawrence M
Δ JU 2-9343

Street continued

5870 Apartments

- 1 Thomson Richd J Δ JU 3-6308
- 2 Basse Warner P Δ JU 2-3083
- 3 Hood Orrel E
- 4 Smith Jas L Δ JU 3-1660
- 5 Norman Jean D Mrs
Δ JU 3-0823
- 6 Reese Neal Δ JU 2-9544
- 7 Phillips Robt J Δ JU 2-9015
- 8 Yates Cath D Δ JU 2-9147
- 9 Lavi Wm S Δ JU 3-3541
- 10 Larsen Higbert Δ JU 3-7919
- 11 Daley Robt E Δ JU 2-0330
- 12 Henson Thos Δ JU 3-3360

Street continued

5880 Apartments

- 1 Kirwin Robt C Δ JU 2-9021
- 2 Kudrna Bernice Mrs
Δ JU 2-1329
- 3 DePalma Richd Δ JU 2-0436
- 4 DePuy Quentin
- 5 Gordon Robt E Δ JU 2-7417
- 6 Leicht Darwin G
Δ JU 2-5147
- 7 Jones Jas E Δ JU 3-2353
- 8 Burns Ronald Δ JU 3-6132
- 9 Bakkedahl Richd E Δ JU 3-2953
- 10 Vacant
- 11 Jacobs Billy M Δ JU 3-1378
- 12 Hallsworth H E Δ JU 2-7456
- 5890 Apartments
- 1 Brown Kenneth B Δ JU 2-4706
- 2 Bridges Jerry P Δ JU 3-4785
- 3 Baldwin Darwin G
Δ JU 3-7666
- 4 Wajda John F Δ JU 3-2273
- 5 Roberts Billy G Δ JU 2-9319
- 6 Barnhill Jas W Δ JU 2-2975
- 7 Summer Jas A
- 8 Martin Janice T Mrs
Δ JU 3-6080
- 9 Vincent Richd R Δ JU 2-0967
- 10 Ford Chas L Δ JU 3-5211
- 11 Trup Max Δ JU 2-5270
- 12 Peightal Chas R

Street continued

5901 Under construction

5902 Apartments

- 1 Warfield Danford K
Δ JU 3-7030
- 2 Lowy Arth Δ JU 3-0422
- 3 Hubbard Coleman Δ JU 2-8253
- 4 Stubevall Fred J Δ JU 3-1775
- 5 Owens John E Δ JU 2-2976
- 6 Wilkinson Willard F
Δ JU 3-1029
- 7 Tenkanen Kenneth L
Δ JU 3-1029
- 8 Frank Don G
- 9 Buckner Clyde Δ JU 2-4623
- 10 Wilson R L Δ JU 3-2948
- 11 Mowles Homer L Δ JU 3-1158
- 12 Cunningham Jos
- 5910 Apartments
- 1 Fortier Art R Δ JU 2-5274
- 2 Waugh Lloyd E
- 3 Delia Louis R
- 4 Argall Robt R Δ JU 2-7813
- 5 Archer Thos W
- 6 Kessinger Harry R
Δ JU 2-6220
- 7 Hughes Thos F Δ JU 3-7410
- 8 Palmoras Nick
- 9 Golins Merle J Δ JU 3-1648
- 10 Vacant
- 11 Rolston Gerald E
- 12 Dietz Fredk J Δ JU 3-4820

5920 Apartments

- 1 Tripp Donald
- 2 Homer Larry E Δ JU 2-7720
- 3 Wilson Robt M Δ JU 3-4124
- 4 Stanley Richd L
- 5 Fields Donald
- 6 O'Brien Leonard A
- 7 Charette Gerard
- 8 Cunningham Margt Mrs
- 9 Law Clark T
- 10 Pekarek Edw S Δ JU 2-3019
- 11 No return
- 12 Humphrey Jas Δ JU 3-7246

5930 Apartments

- 1 Peters Robt D
- 2 Westmoreland Conrad N
Δ JU 2-8649
- 3 Dilworth Dennis C Δ JU 3-1634
- 4 Rush John J Δ JU 3-1904
- 5 No return
- 6 Eppley Phyllis C Mrs
Δ JU 3-0577
- 7 Welch Wayne C Δ JU 3-5440
- 8 Woodward John M
- 9 Pennington Carl C
- 10 Stinger Lawrence E
Δ JU 2-4014
- 11 Merritt Lee M Δ JU 3-2538
- 12 Stagg Richd H Δ JU 2-4149
- 5940 Apartments
- 1 Farness Leonard E
- 2 Scranton Eug L Δ JU 2-6713
- 3 Flanders Norman J Δ JU 2-3080
- 4 VanOstran John M
Δ JU 3-7370
- 5 Showerman Ray M
Δ JU 3-0753
- 6 Vacant
- 7 Payne John M jr

5950 Apartments

- 1 Aibrecht Ken C
- 2 Shaver Glenn A
- 3 Reed Hubert D
- 4 Nechesnoff And
- 5 Smith Keith
- 6 Trivett Richd F
- 7 Vacant
- 8 Falanga Shirle
Δ JU 3-6577
- 9 Deal Chas W Δ
- 10 Armstrong Rob
Δ JU 2-8134
- 11 Vestergaard Ju
Δ JU 2-3126
- 12 Francis Jos S.
- 5960 Apartments
- 1 Miller Gary L
Δ JU 2-2510
- 2 Pangburn Don
Δ JU 2-2510
- 3 Schneider Edw
- 4 Horan Thos J
- 5 Lauson Lloyd
- 6 Peters Kennel
Δ JU 3-2160
- 7 Provost Willie
- 8 Griffin Clark J
- 9 Jones Donald
- 10 No return
- 11 Bartlett Jos C
- 12 Wilkinson Joh
Δ JU 3-6780
- 5970 Apartments
- 1 Hoyt Geo A J
- 2 Adams Anthor
- 3 Humphrey Ru
- 4 Ekberg Paul I
Δ JU 2-3841
- 5980 Apartments
- 1 McQuillen Or
Δ JU 2-3301
- 2 Brooks Glen C
- 3 Hicks Oliver
- 4 Dadmun Sara
- 5990 Apartments
- 1 Vacant
- 2 Michael Ken
- 3 O'Connell Fra
Δ JU 3-369
- 4 Moore Mary
Δ JU 2-381
- 6060 Redwood Bap
Δ JU 2-115
- 6080 Star Cleaners
- 0082 Village Mapk
Δ JU 2-552
- 6086 Farmstead Fc
Δ JU 2-622
- 6088 Chapman's B
- 6090 Betty-Rae Be
Δ JU 2-161
- 6091 Hall Robt Cl
Δ JU 2-641
- 0098 Owen's Richd
Δ JU 2-881
- 6101 Standard Sta
Δ JU 2-98
- 6104 Rolando Ser
Δ JU 2-76
- 6114 D & M Engl
electronics
- 6118 Central Fed
Assn Δ JU
- 6122 Rooster Inn
Δ JU 2-98
- 6134-50 Gordon's
Δ JU 2-34
- 6141 Russell E S
Sup Δ JU
- 6157 Modern Dru
- 6159 Bell's Child
Wear Δ JU
- 6160 Withem's B
- 6161 Sportsman's
Δ JU 2-22
- 6163 George's Ha
Δ JU 2-3
- 6165 Rodieck's E
Δ JU 3-0
- 6167 Spl Serv Su
Δ JU 2-4
- 6172 Sure Sleep
Δ JU 2-6
- 6178 Villa Variel
Δ JU 2-7
- 6179 Ball Club r
- 6180 Fred's Liqu
Δ JU 2-2
- 6183 Butler's Ba
- 6184 Esquire Cle
Δ JU 2-1
- 6185 Verzin Pete
Δ JU 2-1
- 6187 DC Sandwi
Δ JU 2-3
- 6188 C & B Nev
Δ JU 2-4
- 6189 Mohling F
Δ JU 2-6
- 6190 Carpet Woi
- 6191 Marshall's
- 6192 Village Lav
Δ JU 3-6
- 6195 Consumers
furn Δ J
- 6196 Baker's Hd
- 6198 Karzen Me
Δ JU 2-4
- 6201 Active Hea

1960

4743 Leisure Time Shop The hobbies
 4744 Sperry Bros Automotive Serv
 gas sta Δ AT 4-9772
 4745 Parker Pharm Δ AT 4-4288
 126
 Euclid av intersects
 4749 Big City Liquor Δ AT 4-2836
 Reno dr intersects
 4751 Reinohl Idabelle P Mrs
 Δ AT 1-7968
 4752 Fleming Phyllis College of
 Baton
 4755 Plastic Laminating Serv
 menus Δ AT 2-0200
 4756 Lucille's Dance Studio
 Δ AT 4-0137
 Silverado Ball Room
 Δ AT 4-0137
 Tower Furniture
 Δ AT 1-4761
 4757 Tower The cocktails
 Δ AT 4-0158
 4770 Cafagna's Flying A Serv gas sta
 Δ AT 4-5909
 4771 Dumont Constn Co contrs
 Δ AT 2-167
 4781 Beck Iris A real est
 Δ AT 3-4727
 4801 Capri Homes bldg contrs
 Δ AT 4-1173
 4804 Buck Jas E Δ AT 4-2947
 4809 Kaiser Walter G
 4809 Universal Sewing Mach Co
 Δ AT 2-2158
 4811 Vacant
 4813 Wolf Peter Δ AT 1-8082
 4815 Rooney Hazel G Mrs
 4818 Baker Plmb & Heating
 Δ AT 4-2947
 4819 Pilley Real Estate
 Δ AT 1-7709
 Pilley Geo W Δ AT 1-0039
 4830 Enright Douglas E
 Δ AT 3-2789
 4832 Johnson Elliott L Δ AT 3-3414
 4834 Miller Geo E Δ AT 2-2317
 4836 Miller Geo E real est
 Δ AT 4-9224
 Miller Piano's used
 Δ AT 4-9224
 Estrella av intersects
 4841 A-1 Western Mattress Co
 Δ AT 1-7727
 4840 Dean's Photo Serv
 Δ AT 1-6676
 4891 Franken Used Cars
 Δ AT 2-8608
 49th intersects
 4905 Four Star Radio & TV Co
 Δ AT 2-0729
 4914 Minnis Vacation Rentals
 trailers Δ AT 1-3158
 4918 Colby's Paint & Body Works
 4920 Lucky Boy of San Diego restr
 Δ AT 3-4020
 4925 George's Garage auto repr
 Δ AT 4-6992
 Winona av intersects
 4951 Tripoli Barber Shop
 Δ AT 4-8078
 4953 Mickey's Beauty Salon
 Δ AT 1-7138
 4954 Hilderbrand Texaco Serv gas
 sta Δ AT 4-1478
 4957 Beta Phi Sigma
 4961 McElvaney Tenic B
 4963 Maja Multilith Printing Serv
 Δ CY 7-3003
 Smootz Franklin P Δ CY 7-3003
 4968 Deering's Mkt Δ AT 1-1430
 4969 Salerno's Music Studio
 Δ AT 2-7333
 4973 Thos' Furn Co Δ AT 1-8122
 4977 Thomas Jas P Δ AT 4-1524
 4979 Wood Wire & Mtl Lathers
 Internatl Union Local No 260
 Nolan Arth B
 4981 Bacon Piano Studio mus tchr
 4983 Buy & Sell Post newspaper
 Δ AT 4-9275
 50th intersects
 5002 Poplar Supply plmb sups
 Δ AT 1-9195
 5045 Turner Virginia L bkpg serv
 Δ AT 1-6453
 Oakcrest dr begins
 5047 Wofford Michl Δ AT 1-6277
 5049 Bronson Clarence B
 Δ AT 4-3292
 5051 Karmazin Wm R jr
 Δ AT 2-8007
 5053 Higgins Arnold R Δ AT 3-3631
 5055 Tolun Edith
 5057 Rellly Michl J Δ AT 1-8541
 5067 Medina Estandisalo N
 5085 Hattabough Chester A Δ
 Δ AT 1-2393

52d intersects
 5219 Camco Enterprises cookware
 Δ JU 2-9401
 5221 Vacant
 5223 Am Libr of Sacred Records
 Δ JU 2-7460
 5225 Bessitte R E Constn Co Inc
 gent contr Δ JU 2-8331
 5229 M & S Cabt Shop
 Δ JU 2-1090
 5231 Miller Paul Electronics mfrs
 Δ JU 3-3166
 5241 Univ Patlo Furn Store
 Δ JU 2-2442
 5255 Acacia Unfinished & Patio
 Furn Δ JU 2-0588
 5257 Acacia Unfinished & Patio
 Furn whse
 5259 Pondelick Albert @
 5261 Vacant
 5295 University U-Drive Truck
 Rental Co Δ JU 2-8882
 5296 Johnson's Texaco Serv gas
 sta Δ JU 3-6678
 5340 Buy & Save Mkt gro
 Δ JU 3-6177
 128
 54th intersects
 5405 University Frame & Axle
 repts Δ JU 2-0111
 5420 McGrath C W Constn Mate-
 rial Co Δ JU 2-6363
 5430 Crest View Trailer Park
 Δ JU 2-9953
 Ruegg Ralph J Δ JU 2-9953
 Woodmansee Raymond M @
 Δ JU 2-9953
 5447 Edwards J R (stge)
 5450 Valley Grove Courts
 Westfall John @ Δ JU 2-0696
 5451 Vacant
 5454 Vacant
 5467 Hayden Transfer & Stge Inc
 5467-85 Drapery Corner draperies
 Δ JU 2-5608
 5493 McKee Cabinet Shop
 Δ JU 2-1333
 McKee Constn Co Δ JU 2-1333
 5494 Mel's Service auto repr
 Δ JU 2-8464
 5502 Lauer Jos W
 5502 Provan Caroline J Δ JU 3-3637
 5504 Wilson Mark F
 5504 Mullinger Gary H
 5506 Carl Club tavern Δ JU 2-9800
 Wilson Duke Floor Co
 Δ JU 2-8616
 Wykoff Carl
 5506 Wilson Deckoray @
 Δ JU 2-8616
 5515 U F A Towing & Stge
 5520 Gifford's furn Δ JU 2-1760
 5538 Schlehuber Edwin W Inc bldg
 contr Δ JU 2-1414
 5545 Security Auto Storage Co
 Δ JU 2-8231
 Shear Walter H @
 Δ JU 2-8231
 5556 Martinez Bennie
 5570 Millie's Place tavern
 Δ JU 2-9855
 5572 Sherry Frank
 5574 Joyner Jerry
 5576 Carey Thos
 5578 Samara Manuel A
 5580 Marshall Chas L
 5582 Gutierrez Bertha Mrs
 5586 Master Cleaners Δ JU 2-2278
 5590 Shurig Carl Δ JU 2-5159
 5591 Markov Louis Sheet Metal
 Wks Δ JU 2-4094
 5592 Hubrich Wm C @ Δ JU 2-8653
 5597 Wright & Assocs ofc sups
 Δ JU 2-1530
 5599 Metal Masters sht mtl wks
 Δ JU 2-2755
 5602 DelCapri Terrace rest home
 Δ JU 3-1993
 57th intersects
 1 Cartwright Donald L
 Δ JU 2-2329
 2 Alexander John D
 Δ JU 2-7060
 3 Edgar Clifford L
 Δ JU 3-6648
 4 Brodsky Jean Mrs
 58th intersects
 5802 Belleview Center Apts ofc
 Belleview Properties Inc real
 est Δ JU 2-8588
 Mission Inv Corp Δ JU 2-8588
 San Diego Assoc Inc bldg contrs
 Δ JU 2-8588
 5810 Apartments
 1 Yeager Robt Δ JU 2-2898
 2 Vacant
 3 Ladd Oliver M Δ JU 3-0592
 4 Scott Russell N Δ JU 3-0686
 5920 Apartments
 1 Vacant
 2 Nemeth Geo J jr Δ JU 3-0947

2 Vacant
 3 Kirk Jack R Δ JU 2-7951
 4 Flores Alberto Δ JU 2-0930
 Street continued
 5833 Mayfair Mkt gro
 Δ JU 3-4363
 5840 Apartments
 1 Vollebregt Frans Δ JU 2-4601
 2 Bonwell Wm Δ JU 2-3049
 3 Gorter Geert H Δ JU 3-4834
 4 Vacant
 5850 Apartments
 1 Grenville John B Δ JU 3-4692
 2 Armstrong Leo D
 Δ JU 2-7023
 3 Levine Arth I Δ JU 2-6750
 4 Bakst Aaron Δ JU 2-0310
 5870 Apartments
 1 Galloway Frank
 2 Holbein Robt E
 3 Hood Arvel E Δ JU 3-7636
 4 DeLuca Emille B Mrs
 Δ JU 3-3195
 5 Gilbert Kenneth B Δ JU 2-5704
 6 Hinojosa Rudy
 7 D'Agostino Anthony C
 8 Vacant
 9 McCoy Robt E
 10 Caranagh Crescent P
 Δ JU 3-7367
 11 Daley Robt E Δ JU 2-0630
 12 Kramer Chas
 5880 Apartments
 1 Jensen Betty D Mrs
 2 Kudrnia Bernice Mrs
 Δ JU 2-1329
 3 DePalma Richd Δ JU 2-0436
 4 Beddoe Elliot L
 5 Gordon Robt E Δ JU 2-7417
 6 Mitchem Hampton R
 Δ JU 3-7283
 7 Vacant
 8 Vacant
 9 Howell Robt L Δ JU 3-4840
 10 Gregorick Wm
 11 Ferguson Ralph C
 Δ JU 3-7994
 12 Vacant
 Street continued
 5890 Apartments
 1 Vacant
 2 Bridges Jerry P Δ JU 3-4785
 3 Moses John J
 4 Wajda John F Δ JU 3-2273
 5 Stiles Donald H Δ JU 3-5403
 6 Weber Otto W Δ JU 2-5337
 7 Vacant
 8 Martin Janice T Mrs
 Δ JU 3-6080
 9 Vincent Richd R Δ JU 2-0967
 10 Carmichael Fred B
 Δ JU 3-6025
 11 Trup Max Δ JU 2-5085
 12 Peighal Chas R
 5902 Apartments
 1 Warfield Danford K
 Δ JU 3-7920
 2 Wescott Dan H
 3 Vacant
 4 Stubenvoll Fred J
 Δ JU 3-1775
 5 Owens John E Δ JU 2-2976
 6 Wilkinson Willard F
 7 Owens Riley L
 8 Frank Don G
 9 Watson Robt D Δ JU 2-4275
 10 Haygood David C
 Δ JU 3-7638
 11 Motheral Chas W
 Δ JU 3-5550
 12 Bremerman Harold R
 Δ JU 3-4814
 5910 Apartments
 1 Vacant
 2 Vacant
 3 Young Jerome W
 Δ JU 3-7568
 4 Argall Robt R Δ JU 2-7813
 5 Archer Thos W
 6 Kessinger Harry R
 Δ JU 2-6220
 7 Hughes Thos F Δ JU 3-7410
 8 Palmares Helen C Mrs
 Δ JU 3-2740
 9 Elsner Gerald R
 10 Fernald Geo W Δ JU 3-6063
 11 Vacant
 12 Gilmore Richd V
 5920 Apartments
 1 Vacant
 2 Homer Larry E Δ JU 2-7220
 3 Bush Melvin R
 4 Meyers Audrey Mrs
 Δ JU 2-9195
 5 Wood Geo P Δ JU 3-4182
 6 O'Brien Leonard A
 Δ JU 3-6044
 7 Chartier Leo J
 8 Cunningham Margt E Mrs
 Δ JU 3-0071
 9 Vacant
 10 Bonafede Jos P Δ JU 3-7681

2 Fletcher Lawrence
 3 Rutledge David L
 4 Przybylski John D
 5 Farness Dennis N
 6 Eppley Phyllis C Mrs
 Δ JU 3-0577
 7 Williams Robt C Δ
 8 Vacant
 9 Pennington Carl C
 10 Stringer Lawrence J
 11 Toomay Cornelius E
 12 Merritt Lee M Δ JU
 13 Stagg Richd H Δ JU
 14 Hutchinson Edw J
 Street continued
 5933 University Lanes Inc
 Δ JU 3-5444
 5940 Apartments
 1 Farness Leonard E
 Δ JU 3-2590
 2 Rogers W H Δ JU 3-
 3 Flanders Norman J
 4 VanOstran John M
 Δ JU 3-7870
 5 Showerman Roy M
 6 Strahan Jas
 7 Lancaster John Δ JU
 8 Bergh Wm E Δ JU 2-
 9 Vacant
 10 Armstrong Robt R
 Δ JU 2-8134
 11 McKenny Robt
 12 Russell Rex D Δ JU
 5950 Apartments
 1 Bishop Jas W Δ JU
 2 Galt John A Δ JU 3-
 3 Della Anthony M Δ
 4 Vacant
 5 Peterson Wayne L
 Δ JU 3-7791
 6 Trivett Richd L Δ JU
 7 Becker Jack W Δ JU
 8 Falanga Shirley A
 Δ JU 3-6577
 9 Deal Chas W Δ JU 3-
 10 Coleman Claude T Δ
 11 Vacant
 12 Francis Jos S Δ JU
 5960 Apartments
 1 Stutiles J L Δ JU 3-0-
 2 Vacant
 3 Roegner Marie H Mrs
 Δ JU 3-1663
 4 McKinney Travis C
 Δ JU 3-3677
 5 Olsson Doris M Δ JU
 6 Krawczyk Frank R
 Δ JU 2-1417
 7 McDaniel Steven B
 Δ JU 3-4296
 8 Griffin Clark R Δ JU
 9 Vacant
 10 Stanford Donald E
 Δ JU 3-7250
 11 Okey Walter L Δ JU
 12 Snyja John Δ JU 3-7-
 5970 Apartments
 1 Rodriguez John V
 2 Adams Anthony
 3 Humphrey Ruth E M
 Δ JU 3-1511
 4 Ekberg Paul R jr
 Δ JU 2-3849
 5980 Apartments
 1 Vacant
 2 Gonzales Tony A E Δ
 3 Vacant
 4 Vacant
 5990 Apartments
 1 Bigelow Gordon M
 Δ JU 3-7904
 2 Vacant
 3 O'Connell Francis J
 Δ JU 3-3690
 4 Moore Mary Mrs
 Δ JU 2-8517
 6002 Townsend L O Realty
 Δ JU 2-9494
 6060 University Ave Bapt
 Redwood Christian P
 Δ JU 2-1158
 6075 Kinney Shoes
 6080 Master Clns Clo
 Δ JU 2-5522
 6082 Village Maple Shop
 Δ JU 2-5522
 6088 Chapman's Barber S
 6090 State Farm Ins Cos
 Δ JU 3-7322
 6091 Hall Robt Clothes ret
 Δ JU 2-6477
 6098 Owen's Richfield Ser
 Δ JU 2-9808
 College a
 6101 Standard Station Inc
 Δ JU 2-9869
 6104 Rolando Serv gas sta
 Δ JU 2-7655

ontd
C optom AT4-3892
niv Highland br)
1
ts
er Mkt AT4-9463
y Bar AT1-0904
(br ofc) AT1-5541
eld Serv Sta AT4-9641
> Pit AT1-0444
e Meats AT2-8181
rn AT4-9592
shop)
otive Serv repr
5
e dlr AT2-2303
In restr AT4-1513
lub tavern AT4-9483
ng & Distr Co
6
M Mrs AT4-6876
Mrs
arber Shop AT2-7131
Salon AT4-6626
AT4-0148
a Court
H AT4-7770
ash self serv Indry
ana AT4-8435
S Mrs
an E
ermo
restr AT1-2828
AT4-8968
cts
s sta AT4-6666
ntal Co Inc AT4-9292
Shop AT3-2594
Corp pnt mfrs
3
Foods AT2-7198
en E used furn
1
s Inc AT2-8186
uction Serv Inc
tg AT2-8186
& Hdw AT2-9645
cocktails AT4-9328
dentist AT4-9261
st Dists hsehold appls
7
Co AT4-5688
cident Ins Co (br)
2
Sta AT2-9083
Lines AT4-9202
AT2-8328
AT1-7592
Shop
Gift Shop AT2-7760
kt gro AT4-1868
T2-5458
Shon AT3-3441

4749 Big City Liquor AT4-2836
Reno dr intersects
4751 Reinohl Idabelle P Mrs AT1-0150
4752 Fleming Phyllis College of Baton
AT1-0437
4755 Plastic Laminating Serv menus
AT2-0200
4756 Lucille's Dance Studio AT4-0137
McCann Furn AT3-6146
Silverado Ball Room AT4-0137
4757 Tower The cocktails AT4-0158
4770 Flying A Club Serv AT3-6025
4771 Vacant
4781 Beck Iris A real est AT3-4727
48th intersects
4801 Capri Homes bldg contrs AT4-1173
4804 Bakers Plmbg AT4-2947
Baker Don
4809 Dugger J D
4809 1/2 Brite Jack Telev repr AT4-8200
4811 Gytan Max
4813 Duimstra Betty AT1-5147
4815 McAmes Leslie C
4818 Baker Albert R AT3-4213
4819 Vacant
4830 Vacant
4832 Schlenker John C jr AT4-6007
4834 Miller Geo E @ AT2-2317
4836 Miller Geo E real est AT4-9224
Miller Piano's used AT4-9224
Estrella av intersects
4844 A-1 Western Mattress & Uphol
AT1-7727
4849 Dean's Photo Serv AT1-6676
4891 Franken Used Cars AT2-8608
49th intersects
4905 Four Star Radio & TV Co AT2-0729
4914 Minnis Vacation Rentals trailers
AT1-3158
4918 Colby's Paint & Body Works
4920 Lucky Boy of San Diego restr
AT3-4020
4925 George's Garage auto repr AT4-6992
Winona av intersects
4951 Vacant
4953 Mickey's Beauty Salon AT1-7138
4954 Hilderbrand Texaco Serv gas sta
AT4-1478
4957 Beta Phi Sigma
4961 Vacant
4963 Lansaw Cath Mrs AT2-6893
4968 Deering's Mkt AT1-1430
4969 Salerno's Music Studio AT2-7333
4973 Thomas Furn Co AT4-1524
4977 Vacant
4979 Adult Training Assn sch AT4-6343
4981 Bacon Piano Studio mus tchr
4983 Vacant
50th intersects
5002 Poplar Supply plmb sups AT3-5401
5045 Turner Virginia L bkpg serv
AT1-6453
Turner Alf N @
Oakcrest dr begins
5047 Offield D R
5049 Vacant
5051 Witke David R AT1-4720
5053 Willingham John T AT1-4120
5055 Vacant
5057 Reilly Michl J
5067 Medina Estanislao N
5085 Hattabough Chester A @ AT1-2893
Schaffer Florence I Mrs

5430 Crest View Trailer Park JU
5447 Edwards J R (stge)
5450 Valley Grove Courts
Westfall Frank @ JU2-0889
5454 Cliffs Radio & TV Repr JU
Howard Clifford H
5467-85 Drapery Corner JU2-5808
5485 Farmers Ins Group JU3-0244
5493 McKee Cabinet Shop JU2-1839
McKee Constn Cc JU2-1338
5494 Mel's Service auto repr JU
5502 Smith Sterling W JU3-4482
5502 1/2 Turner Edw
5504 Wolinski Robt R
5504 1/2 Hullinger Gary H
5506 Wilson Duke Floor Co JU2-6016
Wilson Deckoray @ JU3-1077
5506 1/2 Vacant
5515 U F A Towing (stge)
5520 Gifford's Furn JU2-1780
5538 SD Don's Realty JU2-1414
Schlehuber Edwin W Inc bldg
JU2-1414
5555 Security Auto Storage Co JU2-6016
Shear Walter H @ JU2-6238
5556 Vacant
5570 Millie's Place tavern JU2-6016
5572 Klamert Nancy C
5574 Vacant
5576 Master Clns (stge only)
5580 Downey Manuel
5586 Master Cleaners JU2-2278
5590 Shurig Carl JU2-5159
5591 Markov Louis Sheet Metal
JU2-4094
5592 Hubrich Wm C @ JU2-8558
5595 Bayon Constn JU2-2422
5599 Metal Masters sht mtl wks
JU2-2755
5602 DelCapri Terrace Inc real
JU3-1993
5794 Apartments
1 Cartwright Donald L JU2-2422
2 Alexander John D JU2-7060
3 Miller Marvel
4 Brodsky Jean Mrs JU2-8472
58th intersects
5802 Belleview Center Apartments
Belleview Properties Inc real
JU2-8588
Mission Inv Corp JU2-8596
San Diego Assoc Inc bldg
JU2-8588
5810 Apartments
1 Yeager Robt JU2-2898
2 Vacant
3 Ladd Oliver M JU3-0592
4 Scott Russell N JU3-0688
Street continued
5820 Apartments
1 Becker Patricia Mrs
2 Nemeth Geo J jr JU3-0947
3 Baylis Wm H JU3-2902
4 Kaske Earl F JU2-6781
Street continued
5830 Apartments
1 Vacant
2 Vacant
3 Vacant
4 Sharkey Mary Mrs JU3-5250
Street continued
5833 Mayfair Mkts gro JU3-4392
5840 Apartments
1 O'Connell John JU3-0803

BROCK

1961
UCULID AV., SAN DIEGO 15

Construction C

Subdividers and Bu

UNIVERSITY AV—Contd
Aparments—Contd
1 Howell Robt L JU3-4840
2 Shipley Robt E JU2-5767
3 No Return
4 Aristegui Grace M JU3-6108
5 continued
6 Apartments
7 Vacant
8 Bridges Jerry P JU3-4785
9 Vacant
10 Kibella Lawrence T
11 Stiles Donald H JU3-5403
12 Vacant
13 Kibowski Rosina Mrs JU3-5296
14 Martha Janice T Mrs JU3-6089
15 Norant Dorothy L Mrs JU2-0967
16 Vacant
17 Shop Max JU2-5085
18 Vacant
19 continued
20 Apartments
21 Vacant
22 Wehner Robt J JU3-7989
23 Vacant
24 Schenvoll Fred J JU3-1775
25 John E JU2-2976
26 Frank Donald G JU2-4777
27 Norman Everett JU2-8284
28 Vacant
29 Krynynski John S JU2-4235
30 Vacant
31 Vacant
32 Rialow Randal G JU2-6771
33 continued
34 Texaco Serv Sta JU2-6414
35 Apartments
36 Vacant
37 Robt R JU2-7813
38 Vacant
39 Jerry Jerome W JU3-7568
40 Vacant
41 Virginia H Mrs JU2-6220
42 Thos F JU3-7410
43 Hares Helen C Mrs JU3-2740
44 Harold L JU3-1020
45 Gerald Geo W JU3-6069
46 Karawski Steven M
47 Harold L
48 continued
49 Apartments
50 Mike J JU3-3622
51 Winifred J
52 Vacant
53 Geo P JU3-4182
54 Vacant
55 Margt E Mrs JU3-0071
56 Chas E
57 Vacant
58 Mavis A Mrs JU3-1243

2 Galt John A JU3-4287
3 Vacant
4 Vacant
5 Peterson Wayne L JU3-7791
6 Trivett Richd L
7 Vacant
8 Vacant
9 Deal Chas W JU3-1408
10 Ekberg Paul R
11 Cleland Robt W JU3-1741
12 Latimer Roseann A Mrs JU3-6214
Street continued
5960 Apartments
1 Suttles J L JU3-0112
2 Simpson Jack M JU2-4249
3 Breuklander Paul E JU3-4436
4 McKinney Travis C JU3-3677
5 Olsson Doris M Mrs JU3-7598
6 Santos Delfin
7 Vacant
8 Vacant
9 Berry Bart M JU3-0061
10 Vacant
11 Bates Benj W
12 Cutter Betty Mrs
Street continued
5970 Apartments
1 Rodriguez John V JU3-0439
2 Vacant
3 Vacant
4 Vacant
Street continued
5980 Apartments
1 Gonzales Raymond A
2 Vacant
3 O'Connell Francis J JU3-3690
4 Kelly Manley L W JU2-3375
Street continued
5990 Apartments
1 Bigelow Gordon M JU3-7904
2 Jones Cleddy
3 Vacant
4 Moore Mary Mrs JU2-8817
60th intersects
6002 Lake Mohave Sls Co Inc real est
JU2-6910
6060 University Ave Baptis: Ch
Redwood Christian Pre-Sch
JU2-1158
6075 Kinney Shoes
6080 Master Clns clo
6082 Village Maple Shop furn dlr
JU2-5522
6088 Vacant
6090 State Farm Ins Cos JU3-7322
6091 Hall Robt Clothes ret clo JU2-6477
6098 Owen's Richfield Serv gas sta
JU2-9808
College av intersects
6101 Standard Station Inc gas sta
JU2-9869
6104 Rill & Sandoz

Cartagena dr
6201 Active H
JU
6205 Auto Ser
6206 Linschei
6210 Bauer L
6211 Car-Par
6214 Scott Gon
6215 Chappell
JU
6217 Dittler Le
Eastgate
6218 Walker J
6219 Star Neor
6222 Vacant
6226 Mavros I
6227 Gardenla
6230 Harmon I
JU
6231 Carpet Sh
6233 Thrifty G
6236 Edythe's
JU
Joy Earl
6238 Anderson
6242 Accent Pi
MacConag
6244 Club Rolai
6250 Crowe's C
6255 Nineteenth
JU
Par Tee M
Star Way I
Vonillo dr inters
6304 California
Shippin Th
6305 Al's Union
6314 Bevier Irv
6324 Shaieb Jos
6331 Raffee Rug
JU3-
6334 Has-Elliso
6344 Bates Olin
6352 Asbury Jas
6354 Vacant
6362 Castle Rea
Woodard Cl
6362 1/2 Richards
6370 Hainley Ge
Webster Cl
6385 Party Hse I
Rolando Blvd Inter
6402 Automatic I
6405 Mikes Shell
6406 Servall Stor
6414 Vacant
6422 Wilkerson I
6424 Canaday Ell
6430 Hummelmar
6432 Bernard Doi
6442 Canaday

1962

8968
Co Inc @
AT3-2594
pnt mfrs
3-2061
used furn
AT2-8186
n Serv Inc
AT2-8186
dw @ AT3-5844
tails AT4-9328
ist
strs hsehold appls
appliances sls
t Ins Co (br)
2-8328
1-7592
Shop
o AT4-1868
158
AT3-3441
31-2264
str
m AT2-7786
ig AT4-4592
F3-6271
T4-9363
Key Shop
rn AT4-9520
-8297
AT3-2866
& Party Sups
2239
o AT4-9494
rvern AT4-9359
8
rentals & reprs
AT1-5429
The hobbies
ive Serv
9772
4-1177
1-2836
Mrs AT1-9150
lege of Baton
Serv menus
Ho AT4-0137
AT4-0137
AT4-0158
ontrs
947
7
703

4836 Miller Geo E real est AT4-9224
Miller Piano's used AT4-9224
Estrella av intersects
4844 A-1 Western Mattress & Uphol
AT1-7727
4849 Dean's Photo Serv AT3-5811
4891 Vacant
49th intersects
4905 Home & Garden Sup hdw
AT1-2755
4914 Minnis Vacation Rentals
trailers AT1-3158
4918 Colby's Paint & Body Works
4920 YumYum Shoppe restr
4925 George's Garage auto repr
AT4-6992
Winona av intersects
4951 Vacant
4953 Vacant
4954 Vacant
4957 Beta Phi Sigma
4961 Vacant
4963 Lansaw Cath Mrs AT2-6893
4968 Vacant
4969 Salerno's Music Studio AT2-7333
4973 Thomas Furn Co AT4-1524
4977 Vacant
4979 Adult Training Assn Sch
AT4-6343
4981 Bacon Piano Studio mus tchr
4983 Mickey's Beauty Salon AT1-7138
50th intersects
5002 Poplar Supply plmb sups
AT3-5401
5045 Turner Virginia L bkpg serv
AT1-6453
Turner Alf N @ AT1-6453
Oakcrest dr begins
5047 Laxson Geo jr AT1-4792
5049 Vacant
5051 Witke David R AT1-4720
5053 Willingham John T AT1-4120
5055 Vacant
5057 Reilly Michl J AT1-8541
5067 Medina Estanisalo N
5085 Hattabough Chester A @ AT1-2893
5109 Walkley's Venetian Blind clns
AT4-9764
5111 Vacant
5113 Vacant
5150 SD Pipe & Sup Co AT2-8155
52d intersects
5221 Micronetics Inc 583-3535
5223 Vacant
5225 Vacant
5227 Aero Aluminum Awning Co
JU2-6140
5231 Vacant
5233 No return
5241 Vacant
5241 Mann's Furn & Carpet JU2-2442
5255 Acacia Unfinished & Patio Furn
JU2-0588
5257 Acacia Unfinished & Patio Furn
whse
5259 Pondelick Albert @
5261 Vacant
5295 University U-Drive Truck Rentals
Co JU2-8882
5296 Johnson's Texaco Serv gas sta
JU3-6678
5340 Vacant
5360 Vacant
5362 Vacant
5364 Econ-O-Wash Lndry self serv
5366 Vacant
5368 Vacant
5370 Vacant
5382 Top Value Stamp Redemption Center
JU3-5354
54th intersects
5405 University Frame & Axle reprs
JU2-0111
5429 McGrath C W Material Co JU2-6363
5430 Crest View Trailer Park JU2-9953
5447 B-J Auto Clinic repr JU2-1010
5450 Educational Book Club of SD
583-8941
5450 Valley Grove Courts
Westfall Frank @ JU2-0696
5451 McGrath C W Constrn Co Inc
genl eng contr JU2-6811
5454 Cliffs Radio & TV Repr JU2-6713
Howard Clifford H
5467 Drapery Corner JU2-5608
5485 Farmers Ins Group JU3-0221
5493 McKee Cabinet Shop JU2-1333
McKee Constrn Co JU2-1333
5494 Mel's Service auto repr
JU2-8464
5502 Smith Sterling W JU3-4482

208

128

5520 Gifford's furn JU2-1760
5538 SD Don's Realty JU2-1414
Schlehuber Edwin W Inc bldg contr
JU2-1414
5555 Security Auto Storage Co JU2-8231
Shear Walter H @ JU2-8231
5556 Vacant
5570 Millie's Place tavern JU2-9855
5572 Klamert Nancy C
5574 Vacant
5576 Master Clns (stge only)
5580 Downey Manuel
5586 Master Cleaners JU2-2278
5590 Shurig Carl JU2-5159
5591 Markov Louis Sheet Metal Wks
JU2-4094
5592 Hubrich Wm C @ JU2-8653
5595 SP Patio Co
5599 Metal Masters sht mtl wks
JU2-2755
5602 DelCapri Terrace Inc rest home
JU3-1993
5794 Apartments
1 Cartwright Donald L JU2-2329
2 Alexander John D JU2-7060
3 Miller Marvel
4 Brodsky Jean Mrs JU2-8472
58th intersects
5802 Belleview Center Apartments
Belleview Properties Inc realest
JU2-8688
Mission Inv Corp JU2-8588
San Diego Assoc Inc bldg contrs
JU2-8588
5810 Apartments
1 Ladd Oliver M 583-0592
2 Vacant
3 Holmes Chas W 583-8657
4 Scott Russell N JU3-0686
Street continued
5820 Apartments
1 Becker Patricia Mrs
2 Nemeth Geo J jr JU3-0947
3 Baylis Wm J JU3-2902
4 Kaske Earl F JU2-6791
Street continued
5830 Apartments
1 Vacant
2 Efird DeWitt O JU3-9145
3 Savage Edith G Mrs 582-7677
4 Sharkey Mary C Mrs JU3-5280
Street continued
5833 Mayfair Mkts gro JU3-4363
5837 Snowy White Wash
5840 Apartments
1 Robinson Oscar S
2 Bonwell Wm E JU2-3049
3 Vacant
4 Denaco Kath 582-6974
Street continued
5850 Apartments
1 Shoemaker Robt W JU3-0861
2 Vacant
3 Levine Arth I JU2-6750
4 Rector Thos
Street continued
5870 Apartments
1 No return
2 Efird Dewitt JU3-9145
3 Wright Joan D Mrs
4 Hickey Wm C JU3-7798
5 Porter Saml JU2-6054
6 Vacant
7 Vacant
8 Marucci John 583-8343
9 Bashita Goldy Mrs 583-9339
10 Brennan Martin
11 Daley Robt E JU2-0330
12 Vacant
Street continued
5877 Bk of Am Natl Tr & Savings Assn
JU3-7621
5880 Apartments
1 Migliaccio Cecelia B Mrs
JU2-6898
2 Kudrna Bernice Mrs JU2-1329
3 Vacant
4 Prime Dianne
5 Vacant
6 Wamble Maxine L Mrs
7 Vacant
8 Curry Chas R
9 Nicodemus Arth C 582-5147
10 Vacant
11 Zander Thos
12 Wise Larry E
Street continued
5889 Cinerama Theatre 583-6201
5890 Apartments
1 Castillo Leo
2 Vacant
3 Vacant

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POLLOCK**

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San Diego
295-4181

BURNETT'S FURNITURE - CARPETS - APPLIANCES

1963-1964

770

UNIVERSITY AV—Contd

- Estrella av intersects
- 4844 A-1 Western Mattress & Uphol Co AT1-7727
- 4849 Dean's Photo Serv @ 283-5811
- 4881 White James Oil Co 284-9313
- 49th intersects
- 4905 Edwards TV & Appls sis & serv 282-8412
- 4914 Minnis Vacation Rentals trailers 281-3158
- 4918-20 Vacant
- 4925 George's Garage auto repr AT4-6992
- Winona av intersects
- 4961 Next To New Shop used mdse
- Lansaw Cath Mrs 282-6983
- 4963 Vacant
- 4969 Salerno's Music Studio AT2-7333
- 4973 Thomas Furn Co 284-1524
- 4977-81 Vacant
- 4983 Mickey's Beauty Salon 281-7138
- 50th intersects
- 5045 Moore Downie P Mrs 281-4897
- Oakcrest dr begins
- 5047 Vacant
- 5049 Du Ryea Delmar 281-0364
- 5051 Hinkle Virginia Mrs
- 5053 York Kenneth 284-5135
- 5055 Grimes Beatrice A 282-2238
- 5057 Reilly Michl J AT1-8541
- 5067 Medina Estanisalo N
- 5085 Heinkel Anne Mrs @ 284-4088
- 5109 Craigs Upholstery 283-8861
- 5111 Regency plmb sup mfrs 284-5777
- 5113 Vacant
- 5150 SD Pipe & Sup Co Inc 282-8154
- 52d intersects
- 5221 Micronetics Inc 583-3535
- 5227 Aero Aluminum Awning Co 582-6140
- 5231 Lima Am Italian Mkt gro 583-7850
- 5233 A-1 Washer Parts 583-8212
- 5241 Hendrick Mock-Tipple Assoc archts 583-4010
- 5241 Mann's Furn & Carpet JU2-2442
- 5255 Acacia Unfinished & Patio Furn 582-0588
- 5257 Acacia Unfinished & Patio Furn whse
- 5259 Pondelick Albert @
- 5261 Redwood Hall 582-0588
- 5263 Stanley Home Products 583-5585
- 5295 University U-Drive Truck Rentals Co 582-8882
- 5296 Johnson's Texaco Serv gas sta 583-6678
- 5303 Simpson Joe Trailer Stge
- 5340 Vacant
- 5348 Palomar Mtge Co (admn ofc) 583-6373
- 5364 Econ-O-Wash Lndry self serv 582-8390
- 5366 Vacant
- 5368 Vacant
- 5370 Vacant

- 5520 Gifford's furn 582-1760
- 5538 SD Don's Realty 582-1414
- Schlehuber Edwin W Inc bldg contr 582-1414
- 5555 Security Auto Storage Co 582-8231
- Shear Walter H @
- 5556 Vacant
- 5570 Club Detroit tavern 582-9855
- 5572-74 Vacant
- 5576 Master Clns (stge only)
- 5580 Vacant
- 5586 Master Cleaners 582-2278
- 5590 Shurig Carl 582-5159
- 5591 Markov Louis Sheet Metal Wks 582-4094
- 5592 Hubrich Wm C @ 582-8653
- 5599 Metal Masters sht mtl wks 582-2755
- 5602 DelCapri Terrace Inc rest home 583-1993
- 5794 Apartments
- 1 Cartwright Donald L 582-2329
- 2 Prutzman Thos 582-1505
- 3 Miller Marvel
- 4 Brodsky Jean Mrs 582-8472
- 58th intersects
- 5802 Bellevue Center Apts
- Bellevue Properties Inc real est 582-8588
- Mission Inv Corp 582-8588
- San Diego Assoc Inc bldg contrs 582-8588
- 5810 Apartments
- 1 Ventimiglia Steve 583-1698
- 2 Vacant
- 3 Baird Ethel P 583-4356
- 4 Scott Russell N 583-0686
- Street continued
- 5820 Apartments
- 1 Tyron Richd K 582-7334
- 2 Nemeth Geo J jr 583-0947
- 3 Overhiser Lillian D Mrs
- 4 Mendoza Andrew C 583-6700
- Street continued
- 5830 Apartments
- 1 Smith Frances E
- 2 Goding Ruth
- 3-4 Vacant
- Street continued
- 5833 Mayfair Mkts gro 583-4363
- 5837 Snowy White Wash
- 5840 Apartments
- 1 Vacant
- 2 Bonwell Win E 582-3049
- 3 Vacant
- 4 Denaco Kath 582-6974
- Street continued
- 5850 Apartments
- 1 Shoemaker Robt W 583-0861
- 2 Vacant
- 3 Levine Arth I 582-6750
- 4 Rector Thos
- Street continued
- 5870 Apartments
- 1 Vacant
- 2 Kleinick Joseph
- 3 Wright Joan D Mrs
- 4 Vacant

- 1-4 Vacant
- 5 No Return
- 6 Burrow Ronald
- 7 Vacant
- 8 Cook L
- 9-10 Vacant
- 11 Warner H D
- 12 Vacant
- Street continued
- 5909 Texaco Serv sta
- 5910 Apartments
- 1 Vacant
- 2 Vacant
- 3 Jarreau Gloria Mrs
- 4 Vacant
- 5 Vacant
- 6 Porter Virginia H Mrs
- 7-10 Vacant
- 11 Reeves Wm
- 12 Vacant
- Street continued
- 5920 Apartments
- 1 Vacant
- 2 Bates Winifred J Mrs
- 3 Vacant
- 4 Payen Wong
- 5 Wood Geo P 583-4182
- 6 Perkins James L
- 7 Dagostino Arth C
- 8-12 Vacant
- Street continued
- 5930 Apartments
- 1-7 Vacant
- 8 Holloway Steph A Mrs
- 9 Vacant
- 10 Vacant
- 11 Vacant
- 12 Clifford Joseph W Jr
- Street continued
- 5933 University Lane
- Red Coat Inn contrs 583-1632
- University Lane 583-3334
- 5940 Binder Robt A 583-4182
- Nichols Ray H 583-4182
- Ricardo Almas
- 5950 Apartments
- 1-2 Vacant
- 3 Murphy Russell A 583-4182
- 4 Dickens Alma R Mrs
- 5-7 Vacant
- 8 Wanda Chas
- 9 Munoz Andrea Mrs
- 10 Gatewood Gloria Mrs
- 11 Vacant
- 12 Brannon John
- Street continued
- 5960 Apartments
- 1-5 Vacant
- 6 Leppo Lloyd M 583-4182
- 7 Russell H L
- 8 Garcia Robt J Jr
- 9 Hanlon Gilbert
- 10-12 Vacant
- Street continued
- 5970 Valtierra Andre

ING
ALS

AV—Contd

- Shoes 583-7181
- Beauty Salon
- Mexicatess
- 583-0535
- Uniforms & Tr
- 583-2014
- Electronics tel
- 583-3414
- Barber Shop
- Farm Ins Cos 58
- Hall Clothes re
- 583-0477
- Richfield Serv
- 582-9808
- Intersects
- Station Inc ga
- 583-9869
- Mobil Serv g
- 583-5133
- Club of SD
- 5th of the Dr
- Inn tavern 582
- S Plmb & Bk
- 583-9172
- Pizza Place 5
- Am Laundromat
- Drug Co @ 582
- Portman's Trophy
- Sporting goods JI
- Delight No 5 ce
- 583-8501
- Hair Designs
- Plmb Sup @ 5
- Unfin Appl Serv r
- Ladies & Childr
- 582-3138
- Variety 582-31
- Contract Sta No 9 5
- Plmb restr 582-499
- Donuts 583-2711
- Barber Shop @
- Cleaners 582-1
- Peter P III acct
- Cafe restr 582
- 583-9963
- Co collrs 582
- Work Rm @ 582
- Draperies drapes
- 582-1841
- Furn Co (br) dlr
- Edw @ 582-188
- Chas H phys 58
- Intersects
- Heating & Air Co
- 583-2853
- Service Center autc
- 583-7444
- Raymond M @
- Lawrence
- Luisa Mrs
- Outlet furn retai

1965

—Contd
Used Cars 284-7496
rd restr
oe Club tavern 284-9483
nding & Distributing
4-0876
ly M Mrs 284-6876
h A Mrs
auty Salon 284-6626
n Barber Shop 282-7131
Co 284-0148
d Nellie Mrs
d Mrs
y Cleaning Town
282
l Up Cafe restr
309
284-8968
rsects
to Clinic repr 284-6666
Rental Co Inc
92
Shop 283-2594
ds Corp pnt mfrs
23
L 281-4785
ity 283-2061
Glen E used furn
11
nb & Hdw 283-5844
e cocktails 284-9328
e
W dentist 284-9261
get Distrs hsehold appls
18
ccident Ins Co (br)
2
s Serv gas sta 281-1311
stries of San Diego
282-8454
k & Gem lapidary sups
6
Shop
t Gift Shop 282-7760
lkt gro 284-1868
t
is 284-2111
22-5458
shop
Co 281-2264
estr 281-3081
tavern 282-7786
Budget Beauty Salon
284-9363
al est 583-9201
alty 583-7231
tavern 284-9520
284-9443
y
Elec sups 281-7761
ern 284-9346
be tavern 284-9359
5858
281-1817
bkt H acct
s 281-5429
op The hobbies
y repr 283-3939
y repr 284-8200
126
284-2836
dance hall
283-5784
284-0158

4836 Miller Geo E Real Estate
284-9224
Miller Piano's used AT4-9224
Estrella av intersects
4844 A-1 Western Mattress & Upholstery
Co AT1-7727
4849 Dean's Photo Serv 283-5811
4881 Sartain's White Serv gas sta
281-8788
49th intersects
4905 Edwards TV & Appls sls & serv
282-8412
4914 Minnis Vacation Rentals trailers
281-3158
4918 Colby's Trailer Sup trailer repr
4925 George's Garage auto repr
AT4-6992
Winona av intersects
4969 Salerno's Music Studio AT2-7333
4973 Thomas Furn Co 284-1524
4979 Tile Marble Terrazzo Helpers Union
Local No 28 284-6151
Wood Wire & Metal Lathers Local
Union No 260 281-6654
4983 Mickey's Beauty Salon 281-7138
50th intersects
5045 Moore Wilson K 281-4897
Oakcrest dr begins
5047 Vacant
5049 No Return
5051 Hinkle Virginia Mrs
5053 Vacant
5055 Grimes Beatrice A 282-2238
5057 Reilly Michl J AT1-8541
5067 Vacant
5085 Heinkel Anne Mrs @
5109 Craigs Upholstery 283-8861
5111 Regency plmb sup mfrs 284-5777
5113 Tipple W Russell & Assoc archts
283-8488
5150 SD Pipe & Sup Co Inc 282-8154
52d intersects
5221 Wavelabs Co electronic mfrs
286-2171
5227 Aero Aluminum Awning Co 582-6140
5231 Lima Am Italian Mkt gro 583-7850
5233 A-1 Washer Parts 583-8212
5241 Vacant
5255 Acacia Unfinished & Patio Furn
583-0588
5257 Acacia Unfinished & Patio Furn whse
5261 Redwood Hall 582-0588
5263 Stanley Home Products 583-5585
5295 University U-Drive Truck Rentals
Co 582-8882
5296 Johnson's Texaco Serv gas sta
5303 Vacant
5348 Palomar Mtge Co (admn ofc)
583-6373
5364 Econ-O-Wash Lndry self serv
5366 Vacant
5368 Vacant
5370 Carpet World 286-3370
5382 Top Value Enterprises Inc stamp
redemption 583-5354
54th intersects
5405 University Fram & Axle reprs
582-0111
5411 Vacant
5429 McGrath C W Material Co
582-6363
5430 McGrath J C Garden Sup 582-6363
Crest View Trailer Park 582-9953
Ruegg Ralph J 583-9953
Woodmansee Raymond M 582-9953
5447 B-J Auto Clinic repr 582-1010
5450 Building
Rooms:
(A) House of Curl 582-9831
(B) Heliz Inventory Serv 583-2832
(C) Vacant
(D) Pease C C lwyer
Apartments
Baker Gerald A
1 Helm Lois
2 Friedland LaVerne
3 Davis Gerry
4 Gore Larry K
5 Bouvier C Arth
6 Blessing D E

5506 1/2 Wilson Deckoray @ 582-8616
5520 Fast Print coml 583-9591
5538 Schlehuber Edwin W Inc b'ing contr
582-1414
San Diego Don's Realty 582-1414
Hurst Constn Co Inc 583-3842
Security Auto Stge Co 582-8231
Shear Walter H @ 582-5426
5555
5556 Martinez Bennie
5570 Club Detroit tavern 582-9855
5572-74 Vacant
5576-Master Clns (stge only)
5578-82 Vacant
5586 Master Clns 582-2278
5590 Shurig Carl 582-5159
5591 Markov Louis Sheet Metal Wks
582-4094
5592 Hubrich Wm C @ 582-8653
5599 Metal Masters sht mtl wks
582-2755
College Secretarial Serv 582-5755
5602 DelCapri Terrace Inc rest home
583-1993
5722 University Terrace Apts 582-6304
1 Taylor Donald
2 No Return
3 Brotherson Jas
4 Taylor Alice Mrs
5 Marachi John
7 Anderson Kurt
8-9 Vacant
10 Blount David L
11-13 Vacant
14 Ross Manley
15-20 Vacant
21 Frank Manuel jr
22 Jarvis Alan
23 Blundell Fred jr
24 Mayer Louise
25-26 Vacant
27 Humphreyville Chas D 582-6304
28 Vacant
29 Wilson Donna
30 Vacant
31 Roth David
32 Johnson Arth
33 Stewart Winifred
34 Vacant
35 DeMules Marie
36 Vacant
37 Salazar Sam jr
38-43 Vacant
44 Dewar Natalie
45-56 Vacant
Street continued
5794 Apartments
1 Cartwright Donald L 582-2329
2 Levina Sadie K Mrs 582-6750
3 Miller Marvel
4 Simmons Henrie
58th intersects
5801 Village Inn Pancake Hse
5802-5990 Belleview Center Apts
5805 Western & Southern Life Ins Co
286-1800
5807 Belleview Center Co real est
286-1445
Belleview Center Ins Agcy 286-1445
5810 Apartments
1 Ventimiglia Steve 583-1698
2 Vacant
3 Vaird Ethel P 583-4356
4 Scott Russell N 583-0886
5820 Nemeth Geo J jr 583-0947
Tryon Richd K 582-7334
5830 Apartments
1 Smith Floyd E 583-7266
2 Godling Ruth Mrs
3 Vacant
4 Sharkey Dorothy 583-5280
5833 Mayfair Mkts gro 583-4363
5837 Belleview Center Laundromat
Gaines Lndry & Clns
5840 Thompson Donald R
5850 Apartments
1 No Return
2 Lutrell Stella Mrs
3 Vacant
4 Rector Thos
5870 Apartments
1 Vacant

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ET DISTRIBUTORS
284-4046
ALES INC COML
3128
& ACCIDENT
(BR) 284-9212
STRIES OF SAN
282-8454
SHOP
& GIFT SHOP
C MARKET GRO

SHOP 282-5458
CO (THRIFT

SHOP 281-3422
CO 281-2264
HOP USED CLO

281-4131
TAVERN

CTS
BUDGET BEAUTY
92
CTRIC CNTR

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EAL EST

EALTY 583-7231
E TAVERN

AKED GOODS

W
NA SLS & SERV

RE DLR 281-6958

TAVERN 284-9346
THE TAVERN

RS 284-2111
OP 284-2111
-1817
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UM SALES

RPET CLEANERS

SERVICE REPR

HOBBY SHOP

IN DLR &
I-5710

SECTS
OR 284-2836
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LROOM 284-9544
APPLS 283-5784
KTAIL LOUNGE

LYING A SERVICE

I TOUCH THE
284-5880
REMODELING INC
182-0582
FURNISHINGS

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284-2947

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ES
281-7408
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S REAL ESTATE •
DS • 284-9224

---ESTRELLA AV INTERSECTS
4844 A-1 WESTERN MATTRESS &
UPHOLSTERY CO MFRS •
281-7727

4849 DEAN'S PHOTO SERVICE PROCESS
FILM • 283-5811
4852 SOPSRA CAR WASH SELF SERV
4881 LARRY'S WHITE SERVICE
281-8788

---49TH ST INTERSECTS
4914 MINNIS VACATION RENTALS
TRAILER RENTALS 281-3158

4918 COLBY'S TRAILER SUPPLY SERV
& REPR TRAILERS

4925 GEORGE'S GARAGE AUTO REPR
284-6992

---WINONA AV INTERSECTS
4969 SALERNO'S MUSIC STUDIO MUS
TCHR AT2-7333

PARENT GRACE MRS
4973 THOMAS FURNITURE CO
4979 TILE MARBLE & TERRAZZO
HELPERS LOCAL NO 28
284-6151

WOOD WIRE & METAL LATHERS
UNION LOCAL 260 281-6654
4983 MICKEY'S BEAUTY SALON
281-7138

---50TH ST INTERSECTS
5045 MOORE WILSON K 281-4897

---OAKCREST DR BEGINS

5047 KROMAN JACK B
5049 NEWMAN GRACE L MRS
5051 HINKLE VIRGINIA L MRS
5053 CARROLL RALPH A
5055 GRIMES BEATRICE A 282-2238
5057 REILLY MICHL J 281-8541
5067 VACANT
5085 HEINKEL ANNE MRS •

DARE JAMES
5109 CRAIG'S UPHOLSTERY 283-8861
5111 REGENCY PLMB SUP MFRS
284-5777

5113 VACANT
5150 SAN DIEGO PIPE & SUPPLY CO
INC 282-8154

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---52D ST INTERSECTS
5221 WAVE LABS CO ELECTRONICS MFRS
286-2171

5227 VACANT
5231 LIMA AMERICAN-ITALIAN MARKET
GRO

5233 VACANT
5241 MENTION TOM & ASSOCIATES
CARPETS 286-3262

5255 ACACIA UNFINISHED & PATIO
FURNITURE 582-0588

5257 DETROITER TAVERN 582-9855
AINSWORTH GLORIA 582-9855

5259 PONDELICK ALBERT •
5261 REDWOOD HALL 582-0588

5263 STANLEY HOME PRODUCTS
583-5585

5295 UNIVERSITY U-DRIVE TRUCK
RENTAL CO 582-8882

5296 JOHNSON'S TEXACO SERVICE GAS
STA 583-6678

5303 VACANT
5348 PALOMAR MORTGAGE CO 583-6373

5360 EILEEN FEATHER FIGURE SALON
286-3710

5368 ECON-O-WASH LAUNDRY SELF
SERV

5370 LE MANS MINIATURES CAR
RACERS & SUPS 286-3177

5382 TOP VALUE ENTERPRISES INC
STAMP REDEMPTION CENTER
583-5354

128

---54TH ST INTERSECTS
5405 UNIVERSITY FRAME & AXLE AUTO
REPR 582-0111

5429 MC GRATH C W MATERIAL CO
BLOCKS & TOP SOIL 582-6363

MC GRATH J C GARDEN SUPPLY
582-6363

5430 CREST VIEW TRAILER PARK
582-9953

RUEGG RALPH J 583-9953
WOODMANSEE RAYMOND M
582-9953

5447 VACANT

5450 APARTMENTS
1 HELM LOIS MRS 286-3196

2 KANUHA LOUIS
3 DAVIS GERRY

4 NO RETURN
5 BOUVIER C ARTH
6 CLARK PAUL
7 VACANT
8 PATINO DOUGLAS X 276-3503
9 VACANT

REAR VACANT

5450A HOUSE OF CURL 582-9831
5450B VACANT

5450C PEASE C C LWYR 266-0872
5450D SUZANNE OF SAN DIEGO INC
WIGS

5460 VACANT
5465 BLACK ANGUS FREEZER MEATS
286-1411

5466 EZCO FURNISHINGS FURN
582-9598

5466½ VACANT
5467 DRAPERY CORNER 582-5608

5485 FARMERS INSURANCE GROUP
583-0221

WEBSTER DONALD E GENL INS
583-0221

5493 MC KEE CABINET SHOP 582-1333
MC KEE CONSTRUCTION CO
582-1333

5494 NIK'S GARAGE AUTO REPR
286-1252

5502 VACANT
5502½ HAWKINS HERMAN H 286-1022

5504 NO RETURN
5504½ TURNER EDW

5506 FRANK'S CLOUD NINE TAVERN
286-1125

WILSON DUKE FLOOR CO CONTRS
582-8616

5506½ WILSON DECKORAY • 582-8616
5520 FAST PRINT PRNTR 583-9591

5538 SAN DIEGO DON'S REALTY
582-1414

SCHLEHUBER EDWIN W CO (GENL
CONTR 582-1414

KELLY BOB BUILDING DESIGN
DRFTSMN 286-3242

5550 VILLA VIEW GENERAL HOSPITAL
(EMERGENCY ENT)

5555 BATTERY EXCHANGE BATTERY
REBLDRS 583-5029

SECURITY AUTO STORAGE CO
582-8231

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5556 GOMEZ MARY M MRS • 583-4310

5570 VACANT
5572 VACANT

5576 MASTER CLEANERS (STGE)
5578 VACANT

5586 MASTER CLEANERS INC 582-2278
5590 SHURIG CARL 582-5159

5591 MARKOV LOUIS SHEET METAL
WORKS 582-4094

5592 HUBBICH WM C • 582-8653

5599 COLLEGE SECRETARIAL SERVICE
PUB STEN 582-5755

METAL MASTERS PHOTO
EQUIPMENT MFG 582-2155

5602 DEL CAPRI TERRACE INC
CONVALESCENT HOSP 583-1993

UNIVERSITY TERRACE
APARTMENTS 582-6304

1 VACANT
2 VACANT

3 BROTHERTON JAMES
4 TAYLOR ALICE K MRS

5 PISCOTTA SAML
6 VACANT

7 ANDERSON KURT
8 CASEY THOS

9 LOSO DALE
10 O'HARA GARRETT

11 MC MILLAN NORMAN
12 GLOSKY GERALD

13 FOWLER DONALD
14 HESPEN VIRGINIA

15 MOORE JACK
16 FRIED NAT

17 LEE SHIRLEY N
18 WILLENS LARRY

19 DEPUTY HARRY
20 ABELSON AL

21 FRANK MANUEL JR
22 GILLIAM WAYOE

23 BLUNDELL FRED JR
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25 NO RETURN
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4522½ COLTRAIN FLORA MRS 284-0046
4526 CAREY THOS
4528 NELSON ESTHER MRS
4529 BROWN BETSY CLEANING TOWN CLO
281-7282
4532 PRICE PHILLIP J
4534 HENDERSON MILLIE MRS
4536 BIDDLE MABLE V MRS 284-9139
4537 LITTLE ROUND UP CAFE RESTP
284-9308
4538 U-DO-LAUNDRY 284-8968
---CHAMOUNE AV INTERSECTS
4555 SAN DIEGO U-DRIVE RENTAL CO
INC 284-9292
4560 UNION OIL CO 281-7678
4573 A & B ANTIQUE SHOP 283-2594
4580 DUNN-EDWARDS CORP PNT RET
222-2123
4581 BROOKOFF EVELYN MRS
4583 VACANT
4587 EAST SAN DIEGO REALTY 283-2061
KILSBY TUBESUPPLY PLMB SUP
284-5001
---46TH ST INTERSECTS
4601 WINTERROWD GLEN E USED FURN
284-1911
4604 STATE DEPT OF AGRICULTURE
COUNCIL OF CAL 281-6648
4611 RUSSELL'S PLUMBING & HARDWARE
283-5844
4619 GOLD DOOR THE COCKTAILS
284-9373
4626 BULL HORACE W DENTIST 284-9261
4634 DOT LINE GADGET DISTRIBUTORS
HSEWARE WHOL 284-4046
4640 MC ELHINNEY SALES INC COML
WASHERS 283-3128
4647 NATIONAL LIFE & ACCIDENT
INSURANCE CO (BR) 284-9212
4651 MENLO DOUGLAS SERVICE GAS STA
281-1311
4652 GOODWILL INDUSTRIES OF SAN
DIEGO COUNTY 282-8454
4666 SELECT CLEANERS & LAUNDRY
282-7438
4672 HAROLD'S BARBER SHOP 281-2082
4674 IDEAL FLORIST & GIFT SHOP
282-7760
4675 KENNY'S PUBLIC MARKET GRO
284-1868
4676 VACANT
4678 BALBOA BAKING CO
4680 BALBOA BAKING CO (THRIFT SHOP)
4681 JOE'S BARBER SHOP 281-3422
4686 BALBOA BAKING CO 281-2264
4689 RICCARDI'S ITALIAN RESTAURANT
284-9558
4693 HACIENDA DANIELAND CABARET
282-7786
---47TH ST INTERSECTS
4701 KIRBYS SILVER MIRROR BEAUTY
SALON 284-2115
4702 SAN DIEGO ELECTRIC CONTR
283-7031
4703 HARRISON'S CARD ROOM 282-2559
4705 HART PAUL H REAL EST 583-9201
WESTIN BART REALTY 583-7231
4711 LOG CABIN CAFE TAVERN 284-9520
4714 L & M FURNITURE 281-6958
4715 VACANT
4716 APARTMENTS
1 TRAYNER RUTH MRS 283-4917
2 BECKER JOHN C
3 ABBOTT PEGGY MRS
4 EADS WM
4717 PACIFIC ANTENNA SLS & SERV
283-7091
4718 L & M FURNITURE DLR 281-6958
4726 RED LION SHOP THE UPHOL
281-2434
4727 FRIENDLY INN TAVERN 284-9346
4730 LOUIE'S PADDOCK TAVERN
284-9359
4734 BENOIT CLEANERS 284-2111
E & H GIFT SHOP 284-2111
4736 C-ME-CAFE 281-1817
4737 BRECKENRIDGE ROBT H ACCT
284-0448
4741 BISHOPS' VACUUM SALES 281-5429
4743 EZCO FURNISHING FURN RENTAL
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4744 UNIVERSITY AUTO REPAIR
281-8532
4745 LEISURE TIME HOBBY SHOP
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BEEVEEGEO L COIN DLR &
LOCKSMITH 281-5710
---EUCLID AV INTERSECTS
4749 BIG CITY LIQUOR 284-2836
---REND DR INTERSECTS
4751 STAAB RALPH L
4752 SILVERADO BALLROOM 284-9544

4757 TOWER THE COCKTAIL LOUNGE
284-0158
4770 MC BURNIE'S FLYING A SERVICE
284-7137
4771 LITTLE FRENCH TOUCH THE BEAUTY
SHOP 284-5880
4779 BUDGE-IT HOME REMODELING INC
GENL CONTR 282-0582
BUDGE-IT HOME FURNISHINGS FURN
282-0582
4781 BECK IRIS A REAL EST 283-4727
---48TH ST INTERSECTS
4804 BAKER'S PLUMBING CONTR
284-2947
BAKER W DON 284-2947
4809 WASKE CLEM A
4809½ WASKE C SIGNS SIGN PNTR
283-4266
4811 VACANT
4813 VACANT (4813-15)
4819 SIMMONS JAMES
4830 WHEAT WM L 281-7408
4834 MILLER GEO E • 282-2317
4836 MILLER GEO E REAL ESTATE •
284-9224
MILLER PIANDS • 284-9224
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4844 A-1 WESTERN INC MFRS •
281-7727
4849 DEAN'S PHOTO SERVICE PROCESS
FILM • 283-5811
4852 SOFSRA CAR WASH SELF SERV
4881 LARRY'S WHITE SERVICE 281-8788
---49TH ST INTERSECTS
4914 MINNIS VACATION RENTALS
TRAILER RENTALS 281-3158
4918 COLBY'S TRAILER SUPPLY SERV &
REPR TRAILERS
4925 GEORGE'S GARAGE AUTO PEPR
284-6992
---WINONA AV INTERSECTS
4969 SALERNO'S MUSIC STUDIO MUS
TCHR AT2-7333
PARENT GRACE MRS
4973 THOMAS FURNITURE CO
4979 TILE MARBLE & TERRAZZO HELPERS
LOCAL NO 28 284-6151
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4983 MICKEY'S BEAUTY SALON 281-7138
---50TH ST INTERSECTS
5045 MOORE WILSON K 281-4897
---OAKCREST DR BEGINS
5047 KROMAN JACK B
5049 NEWMAN GRACE L MRS
5051 HINKLE VIRGINIA L MRS
5053 CARROLL RALPH A
5055 GRIMES BEATRICE A 282-2238
5057 REILLY MICHL J 281-8541
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5109 CRAIG'S UPHOLSTERY 283-8861
5111 REGENCY PLMB SUP MFRS 284-5777
5113 VACANT
5150 SAN DIEGO PIPE & SUPPLY CO INC
282-8154
---52D ST INTERSECTS
5221 WAVE LABS CO ELECTRONICS MFRS
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5231 LIMA AMERICAN-ITALIAN MARKET
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5241 GEORGE'S BILL HOUSE OF
FURNITURE 582-1616
5255 ACACIA UNFINISHED & PATIO
FURNITURE 582-0586
5257 WHIPS TAVERN 582-9931
5263 STANLEY HOME PRODUCTS 583-5585
5295 UNIVERSITY U-DRIVE TRUCK
RENTAL CO 582-8882
5296 JOHNSON'S TEXACO SERVICE GAS
STA 583-6678
5303 VACANT
5348 PALOMAR MORTGAGE CO 583-6373
5360 VACANT
5368 ECON-O-WASH LAUNDRY SELF SERV
5370 LE MANS MINIATURES CAR RACERS
& SUPS 286-3177
5382 VACANT
---54TH ST INTERSECTS
5429 MC GRATH C W MATERIAL CO
BLOCKS & TOP SOIL 582-6363
MC GRATH J C GARDEN SUPPLY
582-6363
5430 CREST VIEW TRAILER PARK
582-9953
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5447 VACANT
5450 APARTMENTS
1 VACANT
2 DE KIRBY VAUGHN
3 VACANT
4 MONTGOMERY JO ANN

6 CLAPK PAUL
7 VACANT
8 PATINO DOUGLAS X 284-9292
9 VACANT
REAR VACANT
5450A HOUSE OF CURL 582-9431
5450B VACANT
5450C PEASE C C LWYR 286-0179
5450D VACANT
5460 VACANT
5465 BLACK ANGUS FREEZER 286-1411
5466 DALE MOTORS USED CARS 286-1411
5466½ VACANT
5467 DRAPERY CORNER 582-2141
5485 FARMERS INSURANCE GROUP
583-0221
WEBSTER DONALD E GENL 583-0221
5493 MC KEE CABINET SHOP 583-0221
MC KEE CONSTRUCTION CO
582-1333
5494 NIK'S GARAGE AUTO REPR
286-1252
5502 VACANT
5502½ VACANT
5504 VACANT
5504½ TURNER EDW
5506 FRANK'S CLOUD NINE TAYLOR
286-1125
WILSON DUKE FLOOR CO 582-8616
5506½ WILSON DECKORAY • 582-8616
5510 UNDER CONSTN
5520 FAST PRINT PRNTR 583-0221
5538 SAN DIEGO ODN'S REALTY
582-1414
SCHLEHUBER EDWIN • CO 582-1414
CONTR 582-1414
KELLY BOB BUILDING DEPR
DRFTSMN 286-3242
5550 VILLA VIEW GENERAL MODR
(EMERGENCY ENT)
5555 U F A TOWING
BATTERY EXCHANGE BATTERY
REBLDRS 583-5020
SECURITY AUTO STORAGE
582-8231
5556 GOMEZ MARY M MRS • 582-8231
5570 VACANT
5572 VACANT
5576 MASTER CLEANERS (STEEL)
5578 VACANT
5586 MASTER CLEANERS INC 582-8231
5590 SHURIG CARL 582-5159
5591 MARKOV LOUIS SHEET METL
582-4094
5592 HUBRICH WM C • 582-8231
5599 COLLEGE SECRETARIAL SERV
PUB STEN 582-5755
METAL MASTERS PHOTO ENR
MFG 582-2155
5602 DEL CAPRI TERRACE INC
CONVALESCENT HOSP 582-8231
---ZIP CODE 92115
572 UNIVERSITY TERRACE APARTMENTS
582-6304
1 FAIRCHILD DONALD
2 INDERMILL ROSE 582-8231
3 BROTHESON JAMES
4 TAYLOR ALICE K MRS
5 TOBEY JAMES
6 ASHMORE VERONICA MRS
7 VACANT
8 VACANT
9 LOZO DALE
10 TUCCIO DOMINIC
11 SCHULMAN ESTHER • 286-0839
12 FORD G
13 FOWLER DONALD
14 HESPER VIRGINIA
15 MC CREARY JAMES D 582-8231
16 MC DADE JOHN
17 KNOLL RICHARD 582-8231
18 VACANT
19 GLECK SIDNEY
20 MALINE C RALES
21 FRANK MANUEL JR
22 LOGAN RONALD 582-8231
23 FRIEBEL HARRY
24 VACANT
25 SHELTON CHARLES 582-8231
26 O'CONNOR PATK
27 BRUTAN H KAMPER
28 HOOPER DOLORES MRS
29 PAMBO REX H 582-8231
30 STINGER JACK JR 582-8231
31 ROTH DAVID 582-8231
32 WOLFE JOSEPH
33 GODDRICH ANDREW
34 ENGELBERG RICHARD C
35 BURDET JAMES
36 SOLOMON HERBERT
37 VACANT
38 LINDENMUTH GEO
39 CORVART DAVID
40 COX BETH MRS
---58TH ST INTERSECTS
5801 TERRACE APTS--
5801 MARCEL J
5802 JOSEPH
5803 MOE
5804 CHERYL
5805 JOSEPH M
5806 MARTHA
5807 THOS JR 583-0221
5808 SUSAN
5809 MARY
5810 STANLEY
5811 CARL
5812 MICHL C 583-0221
5813 CONTINUED
5814 DONALD
5815 SADIE K MRS
5816 HENRI W 583-0221
5817 INTERSECTS
5818 INN PANCAKE
5819 582-6500
5820 PROPERTY
5821 CENTER AP
5822 SOUTHERN
5823 CO 286-1
5824 CENTER CO
5825
5826 CENTER IN
5827 286-1445
5828 STEVE
5829 P 582-4
5830 RUSSELL N 58
5831 K • 58
5832 J JR 58
5833 DENNIS
5834 HENRY III
5835 RUTH MRS
5836 MELBA MRS
5837 DOROTHY 583-0221
5838 MARKETS 583-0221
5839 CENTER LAI
5840 SERV
5841 LAUNDRY & CL
5842
5843 MARGT
5844 APLENE 58
5845 RICH V
5846 RALPH
5847 HELEN MISS
5848 RANDY
5849 BETTY MRS
5850 MADGE MRS
5851 EDIE W
5852 ELEANOR R MR
5853 PATTI
5854 SALVADOR
5855 FRED B
5856 PAULINE MRS
5857 RAYMOND M
5858 RAMON F
5859 CONTINUED
5860 AMERICA NATI
5861 ASSN 294-
5862
5863 ANDREW 5
5864 583-6855
5865 REYNOLDS J
5866 JACKIE A MRS
5867 PETER
5868 RICH L
5869 ROGER N
5870 DAVID W
5871 CONTINUED
5872 HAIR STYLIS
5873 BARBER SHI
5874 CREDIT COI
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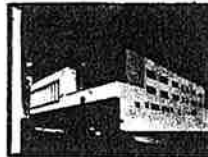
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5465 VACANT

5466 ADVANCE CARPET CLEANERS 286-3863

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5485 FARMERS INSURANCE GROUP. 583-0221

WEBSTER DONALD E GENL INS 583-0221

5493 MC KEE CABINET SHOP 582-1333

MC KEE CONSTRUCTION CO 582-1333

5494 NIK'S GARAGE 286-1252

5502 VACANT

5502½ FRAZIER NINA M MRS

5504 RAWLINSON RAMONA 583-9341

5504½ TURNER EDW

5506 CLOUD NINE TAVERN 286-1125

WILSON DUKE FLOOR CO CONTRS 582-8616

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5506½ WILSON DECKORAY • 582-8616

5520 FAST PRINT PRNTR 583-9591

5530 COLINA VETERINARY HOSPITAL 286-3360

5538 J & J CARPET SALES 582-5171

ROSE JOHN K

SAN DIEGO DON'S REALTY 582-1414

SCHLEHUBER EDWIN W CO GENL CONTR 582-1414

ROSE INSURANCE AGENCY 582-5171

5550 VILLA VIEW GENERAL HOSPITAL (EMERGENCY ENT)

5555 RALPH'S TWENTY FOUR HOUR TOWING 582-8231

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SECURITY AUTO STORAGE CO 582-8231

5556 GOMEZ MARY M MRS • 583-4310

5570 MASTER CLEANERS INC (PLANT)

5586 MASTER CLEANERS INC 582-2278

5590 SHURIG CARL 582-5159

5591 MARKOV LOUIS SHEET METAL WORKS 582-4094

5592 HUBRICH WM C • 582-8653

5599 COLLEGE SECRETARIAL SERVICE PUB STEN 582-5755

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5722 UNIVERSITY TERRACE APARTMENTS 582-6304

1 SCHAUF CLAUDE L 286-1159

2 FAIRCHILD DONALD

3 BROTHERRSON JAMES N 583-1384

4 CINGCADE VERA MRS 583-2894

5 TOBEY JOHN S 286-0869

6 RYDER OWEN

7 BOONE JAMES

8 HUGHES A E 295-1325

9 BEATY ELIZ MRS 582-3871

10 TUCCIO DOMINIC 582-8238

11 SCHULMAN ESTHER K MRS 286-0839

12 SCHEI GARY

13 LINES L J

14 BUESING KARL

15 MC GUIRE MOLLY A MRS 582-2718

16 WOZUTAK DONALD R 286-7529

17 SCHEIDEL JERI B MRS 286-3552

18 ERFORD J

19 ROBINSON EDYTHE MRS 583-0511

20 PETERSON EDW A

21 PEHLING ROBT E 583-5286

22 LOGAN RONALD 582-0193

23 ROTH LUCILLE B MRS

24 BORG ELIZ MRS 286-7083

25 GIANNANGELI PASQUALE

26 O'CONNOR PATRICK

27 BRUTON H KAMPER

28 HOOPER DOLORES A MRS 286-0286

29 RAMBO REX H 286-2594

30 SINGER JACK JR 583-8396

31 ROTH DAVID 583-7257

32 CALHOUN HARRY C JR 286-2339

33 JOHNSON RONALD

34 ENGELBERG RICHDO C 583-8430

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39 KNOLL EDW

40 RODGERS SONI 286-2691

41 SNIDER JAMES G 583-8527

42 HETU MARCEL J 583-2815

43 NIESEN THOS M 286-2392

44 SHANER FRANK N 286-7068

45 THOMPSON CARL

46 COSCARELLI C

47 SLOAN PAUL

48 JOHNSTON FRANK

49 OLSON CAROL M 286-1871

50 GUY THOS JR 583-3590

51 NO RETURN

52 IRVINE MARY F MRS 286-3682

53 MARGOLIS STANLEY 583-7025

54 WILCOXON MARY L 582-9385

56 YARBROUGH ROBERTA MRS 286-2542

STREET CONTINUED

5794 APARTMENTS

1 CARTWRIGHT DONALD L 582-2329

2 LEVINE SADIE K MRS 582-6750

3 LOMBARDO NICK

4 SIMONS HENRI W 582-5937

---80TH ST INTERSECTS

5801 HANEY'S LES SHAMROCK RESTAURANT 582-6500

5802 BELLEVUE PROPERTIES INC APT 582-8588

BELLEVUE CENTER APARTMENTS 582-8588

5805 WESTERN & SOUTHERN LIFE INSURANCE CO 286-1800

5807 BELLEVUE CENTER CO REAL EST 286-1445

BELLEVUE CENTER INSURANCE AGENCY 286-1445

5810 APARTMENTS

1 VACANT

2 VACANT

3 WATTS DORIS MRS 583-5383

4 SCOTT RUSSELL N 583-0686

5820 APARTMENTS

1 TRYON RICHDO K 582-7334

2 NEMETH GEO J JR 583-0947

3 NO RETURN

5830 APARTMENTS

1 ROBERTSON CHARLES

2 GODING RUTH MRS

3 TATE WELCA MRS 582-8269

4 SHARKEY DOROTHY

5833 MAYFAIR MARKETS 583-4363

5837 BELLEVUE CENTER LAUNDROMAT SELF SERV 582-9704

5840 APARTMENTS

1 HASHEM JOHN W

2 VACANT

3 MARSHALL PATRICIA

4 HURST JAMES D

5850 APARTMENTS

1 MYERS ROBT J

2 BURNS THOS

3 VARGAS VIRGINIA MRS

4 BREWER CHARLES

5855 BAKER'S DRIVE IN RESTR 286-0748

5870 APARTMENTS

1 DENTON WM A

2 GIBSON HOMER L

3 SCHMIDT BETTY MRS 583-5229

4 LIBERTO BEVERLY MRS

5 SHRUM EDDIE W

6 KOMAND ELEANOR R MRS

7 HILL LETA R MRS

8 RAMIREZ SALVADOR 286-3383

9 MILLER FRED B 583-7780

10 JHUL CHARLES

11 GREEN MICHL

12 TENCZA WALTER

STREET CONTINUED

5877 BANK OF AMERICA NATIONAL TRUST & SAVINGS ASSN 294-2345

5880 APARTMENTS

1 VACANT

2 MITCHELL WOODY

3 DUNBAR WM

4 BRADY JOHN

5 BUTLER JOHN

6 CURTIS RALPH

7 ATKIN WM

8 WAPLES JOHN

9 MINKLER ESTRELLA T MRS

10 STARKMAN GARY

11 VACANT

12 THAYER BETH

5885 VARSITY BARBER

5887 COMMERCIAL CREB COMMERCIAL CREB 583-3953

5889 CINERAMA THEATRE

5890 APARTMENTS

1 LEFEVRE JESSE

2 PALENSKY PATR

3 GILL JOAN A

4 BISCHOF MOR

5 DRYSDALE EDWIN

JONES GARY L

7 DAGGETT PATR

8 MITCHELL ALBER

9 MOSS WILGORE

10 HAGAN MARTIN

11 O'NEAL LYNN

12 DAVIS KENNETH

STREET CONTINUED

5902 APARTMENTS

1 FLORES PATR

2 VACANT

3 MORRISON FLOYD

4 SWARTWOOD JANE

5 SANCHEZ MAR

6 MANN JAMES

7 ASHBY ROBT

8 VON BORSTEL JR

9 GONZALES JOSE

10 LEWELLYN RAY

11 MAC CLEARY

12 VACANT

STREET CONTINUED

5909 LEGAULT PETE STA 286-1150

5910 APARTMENTS

1 KAPLAN KERRY

2 MC COLLOM SHEL

3 VACANT

4 PARKS BOBBY

5 PAWLING MARY W

6 HERRING CHARLE

7 VACANT

8 KANYR WM R

9 MC CUE DAVID

10 PATEL SUMMIT

11 SNYDER W

12 WHEELER ROBT

STREET CONTINUED

5920 APARTMENTS

1 SKAGGS DAVID

2 FISHER HAROLD

3 SHIELDS DAN

4 SALAS FRANK

5 PATAGSIL PRIDE

6 ROSE ROGER

7 GANDER GARY

8 ROMERO JOANNE

9 SIMMONS ROGER

10 VANDERPOOL JR

11 JOHNSON LARRY

12 SCHMITZ EDW

STREET CONTINUED

5930 APARTMENTS

1 ROBERTSON CHAR

2 RICHESIN MICHL

3 BROWN BERNICE

4 VACANT

5 KUTSCH LARRY

6 STANLEY ROBT

7 SHIRLEY DONALD

8 CHASTAIN PHIL

9 FISHER JOHN

10 VACANT

11 JILLARD WM

12 JILLSON HARRY

STREET CONTINUED

5933 UNIVERSITY LANE ALLEY 583-5444

UNIVERSITY LANE 583-5444

UNIVERSITY LANE BOWLING SUP

RED COAT INN

5940 APARTMENTS

1 MOSER JOAN

2 HEFFNER LEONAR

3 MUDGE WM J JR

4 DAVIS WALLY

5 VACANT

6 BRANDT WM R

7 HARRIS JOE

8 PAINTER JAMES

9 FUNK MICHL

903

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4852 SOFSRA CAR WASH SELF SERV
4881 VAN & RED'S HANCOCK SERVICE
STATION 283-9663
4884 TED'S MOTORS AUTO REPR 281-6251
---49TH ST INTERSECTS
4914 VACANT
4918 COLBY'S TRAILER SUPPLY SERV &
REPR TRAILERS
4920 JESSE'S PLACE RESTR 283-5636
4925 GEORGE'S GARAGE AUTO REPR
284-6992
---WINONA AV INTERSECTS
4969 SALERNO'S MUSIC STUDIO MUS TCHR
282-7333
PARENT GRACE MRS
4973 THOMAS FURNITURE CO 283-5212
4977 TILE MARBLE & TERRAZZO HELPERS
LOCAL NO 28 284-6151
4979 WOOD WIRE & METAL LATHERS UNION
LOCAL 260 281-6654
4983 MICKEY'S BEAUTY SALON 281-7138
---50TH ST INTERSECTS
5027 APARTMENTS
1 HARFORD ROLAND M
2 FINLEY GREG T 283-4093
3 GUSKE L A
4 DOWDING DORIS M MRS 282-8674
5 BROWNING JANICE MRS
6 MOSKINS ANN E 281-4979
7 JOHNSON SUE A
8 BROOKS CHARLES W 281-7875
9 CUMMINGS L A
10 VACANT
11 GARCIA TONI MRS
12 WOLFER JAMES R 283-9470
5045 MOORE WILSON K 281-4897
---OAKCREST DR BEGINS
5047 BARKHURST WM L 284-5547
5049 VACANT
5051 HINKLE VIRGINIA L MRS
5053 JACKSON ARTH M 283-1608
5055 HARDEN SANDRA L MRS
5057 REILLY MICHL J 281-8541
5067 NO RETURN
5085 HEINKEL ANNE MRS •
5109 VACANT
5111 REGENCY PLMB SUP MFRS 284-5777
5113 ANTOFTE STUDIOS STAINED GLASS
284-6717
5150 SAN DIEGO PIPE & SUPPLY CO INC
282-8154
208
---520 ST INTERSECTS
5219 TREND HAIRSTYLING 286-4470
5221 VACANT
5231 LIMA AMERICAN-ITALIAN MARKET
GRD 583-7850
5241 GEORGE'S BILL HOUSE OF
FURNITURE 582-1616
5255 ACACIA UNFINISHED & PATIO
FURNITURE 582-0588
5257 DUKE & DOTTIE'S TAVERN 582-9931
5263 RANDALL H T 286-2417
5295 UNIVERSITY TRUCK RENTALS
582-8882
5296 JOHNSON'S TEXACO SERVICE
583-6678
5303 VACANT
5348 PALOMAR MORTGAGE CO 583-6373
FEDERATED LIFE INSURANCE GENL
INS 583-6678
5360 EILEEN FEATHER FIGURE SALON
REDUCING 286-3710
5368 ECON-D-WASH LAUNDRY SELF SERV
5370 VACANT
5382 VACANT
128
---54TH ST INTERSECTS
5401 AMERICAN OIL CO GAS STA
5405 K-MART DEPT STORE 286-9733
5415 K-MART FOODS GRO-MEATS-RET
286-7877
5430 CREST VIEW TRAILER PARK
582-9953
RUEGG RALPH J 583-9953
WOODMANSEE RAYMOND M 582-9953
5450 APARTMENTS
1 COLEMAN M
2 SCHUPP BETTY L MRS 286-4137
3 SINGLETON GEORGETTE MRS
286-7455
4 MC GRAW DOROTHY C MRS 583-6390
5 BOUVIER H AUGUSTA MRS
6 LEDINGHAM HELEN J MRS 283-9973
7 VACANT
8 WESTFALL RICH D 582-3975
9 KEKIS ENDRES I

REAR VACANT
5450A HOUSE OF CURL 582-9831
5450B WEBSTER DON AGENCY GENL INS
583-0221
FARMERS INSURANCE GROUP
583-0221
5450C WALKER D N CO GENL CONTR
286-8066
5450D ETERNAL STAINLESS STEEL CORP
(SLS OFC) COOKWARE SLS-RET
5450F KANUHA LOUIS A
5466 HAMILTON'S AUTO RADIATOR & AIR
CONDITION SERVICE REPR
286-9450
5466½ VACANT
5494 NIK'S GARAGE 286-1252
5502 SEALEY JAMES
5502½ FRAZIER NINA M MRS
5504 LAXSON GEO
5504½ TURNER HARRIS E
5506 CLOUD NINE TAVERN 286-1125
5506A VACANT
5506½ WILSON DECKDRAY • 582-8616
5520 FAST PRINT PRNTR 583-9591
5530 COLINA-VETERINARY-HOSPITAL
286-3360
5538 J & J CARPET SALES 582-5171
ROSE JOHN K
SAN DIEGO DON'S REALTY 582-1414
SCHLEUBER EDWIN W CO GENL
CONTR 582-1414
ROSE INSURANCE AGENCY 582-5171
5550 VILLA VIEW GENERAL HOSPITAL
(EMERGENCY ENT)
5555 RALPH'S TWENTY FOUR HOUR TOWING
582-8231
RALPH'S GARAGE 582-8231
SECURITY AUTO STORAGE CO
582-8231
5556 GOMEZ MARY M MRS • 583-4310
5570 MASTER CLEANERS INC (PLANT)
5586 MASTER CLEANERS INC 582-2278
5590 SHURIG CARL 582-5159
5591 MARKOV LOUIS SHEET METAL WORKS
582-4094
5592 HUBRICH WM C • 582-8653
5599 COLLEGE SECRETARIAL SERVICE PUB
STEN 582-5755
METAL MASTERS PHOTO EQUIPMENT
MFG 582-2755
5602 DEL CAPRI TERRACE INC
CONVALESCENT HOSP 583-1993
---ZIP CODE 92115
5722 UNIVERSITY TERRACE APARTMENTS
582-6304
1 VILES R
2 ALTFEST PHILIP 286-8357
3 BROTHERRSON JAMES N 583-1384
4 CINGCADE VERNA MRS 583-2894
5 CHAVEZ T
6 HETU MAURICE J 283-2815
7 BOONE JAMES
8 HUGHES A E
9 BERNARD RICH D J 286-9832
10 GRIFFITH L D
11 SCHULMAN ESTHER K MRS
286-0839
12 SCHEI GARY 582-6151
13 TOFF D
14 KRALL V
15 MC GUIRE MOLLY A MRS 582-2718
16 WITT DONALD 281-7041
17 SCHEIDEL JERI B MRS 286-3552
18 COTTRELL WM
19 COMBS H
20 BARBIE W
21 PEHLING ROBT E 583-5286
22 LOGAN RONALD 582-0193
23 NO RETURN
24 TURLEY ARLENE 281-2614
25 GIANNANGELI PASQUALE
26 AMES J
27 WOODS CARLIN
28 HOOPER DOLORES A MRS 286-0286
29 CAPODICE JOSEPH A 286-8974
30 SINGER JACK JR 583-8396
31 ROTH DAVID 583-7257
32 CALHOUN HARRY C JR 286-2339
33 JOHNSON RONALD
34 GIULANI RACHELLE L 582-6696
35 NELSON ROBT C
36 FRIEDEN DENNIS 286-4724
37 POTTER RICH D 582-6004
38 PALMER THOS A JR 583-8392
39 MC PIKE RICH D
40 NICOLAY R L
41 LOWERY WM D 583-3317
42 LOCH RANDY 283-9855
43 NIESEN THOS M 286-2392

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5550 Villa View Hospital (Emergency Ent)
5555 Payless Self Service Shoes 582-0898

5556 Gomez Mary M Mrs @ 583-4310

5570 Tuxedo Rentals 583-1871

5586 Master Cleaners Inc 582-2278

5590 Shurig Carl 582-5159

5591 Markov Louis Sheet Metal Works
582-4094

5592 Hubrich Wm C @ 582-8653

5595 College Copy & Steno pub sten &
printers 582-2755

5599 Metal Masters stainless steel &
aluminum 582-2755

ZIP CODE 92115

5602 Del Capri Terrace Inc convalescent hosp
583-1993

ZIP CODE 92115

5722 University Terrace Apartments 582-6304

1 Naughton Dennis

2 Coppa Al 286-8357

3 Brotherson Shirley Mrs 583-1384

4 Tooman Roger

5 Fleenor Lee

6 Hetu Maurice J 283-2815

7 Boone James

8 Hughes A E

9 Watson Richd

10 Butts Roger

11 Schulman Esther K Mrs 286-0839

12 Mortlock David

13 Lawrence Kenneth

14 Krall Virginia

15 Hayfordhanna Neil

16 Peterson S C

17 Scheidel Jerry 286-3552

18 Johnson Roy

19 Phillips Susan

20 Dettenborn Wm

21 Pehling Robt E 583-5286

22 Pierce Bobbie

23 Reed Ronald

24 Logan J W

25 Ingraham Violet Mrs

26 Gonzales Edna

27 Edwards Harold C

28 Luebben Roger

29 Capodice Joseph A 286-8974

30 Montalvo Ron 286-2285

31 Roth Pauline Mrs 583-7257

32 Permoda Donald J 287-0894

33 Fusselman Donna 583-2517

34 Kennedy Richd 582-6296

35 Boise April

36 Lottermoser Dennis R 582-0685

37 Vacant

38 Teuber Warren

39 Holdgrafer Lester 583-2059

40 Vacant

41 Campbell Ruth

42 Mc Campbell Chris

43 Kay Wm

44 Richards Dennis

45 Haddow Keith

46 Castro L

47 Nelson Mickey

48 Baxter Dean

49 Hetu Joe

50 Nunally Peggy

51 Cress Frank

52 Irvine Mary F Mrs 286-3682

53 Hurtubise Nicole

54 Wilcoxon Mary L 582-9385

55 Greenberg Sue 582-3319

56 Dennis Burt

5757 Aegean Apartments 286-1179

1 Ragole Paul J 582-7513

2 Roberts Lorraine

3 Jackson Jack 286-8694

11 Erickson Diane

12 Fletcher Stanley

13 Duggan Helen K

14 Vacant

15 Tramdachs Imants

16 Gatling Anthony L

17 Gallion Kenneth

18 Rickman Tom

19 Rabinowitch Mark

20 Steinberg Leo L 286-7296

21 Calvin Tim C

22 Vacant

23 Vacant

24 Gardner Darral 286-4811

1 Don Danl 582-7689

2 Porter Calvert 583-8448

3 Kelly Robt C

4 Meyers Andrew J 582-1727

5 Winters Charles

6 Mc Kee Richd A 463-4926

7 Rasmussen Christopher

8 Glass Bernard

9 Maxwell Sam

10 Noyes Gene

11 Cole C Allen

12 Antell Judith

13 Odmark Dwight

14 Cirillo Paulette

15 Duty Dallis

16 Vacant

17 Smith Wm C

18 Vacant

19 Sterling Kent

20 Dixon Cary E 286-9934

21 Wilson Floyd

22 Vesey James

23 Jamison Jerry

24 Alsop Clara

25 Preiss Joyce

26 Baker Jeff

1 Ladue Gregory

2 Castleton Michl

3 Brown John

4 Tillery Robt

5 Reynolds Tom

6 Batson Michl W

7 Imhoff Martin

8 Lipman David

9 Skinner Susan

10 Wasson Linda

11 Carr Linda

12 Osborne Juanita

5794 Apartments

1 Paton Beuford

2 Levine Sadie K Mrs

3 Moore Lawrence W

4 Simons Henri W

58TH ST INTERSECTS

5801 Sheng Haw Low restr 583-1166

5802 Belleview Properties Inc apt 582-8588

Belleview Center Apartments 582-8588

5805 Western & Southern Life Insurance Co

286-1800

5807 Belleview Center Co real est 286-1445

Belleview Center Insurance Agency

286-1445

5810 Apartments

1 Mc Dermott James J 286-8559

2 Vacant

3 Watts Doris Mrs 583-5383

4 Scott Russell N 583-0686

5820 Apartments

1 Jardin Anthony

2 Pedermann Edw

3 Bailey C C

4 Fisher Dorothy Mrs

5830 Apartments

1 Gabaldon Frank

2 Goding Ruth Mrs

3 Tate Welra Mrs 582-8260

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- 4681 Joe's Barber Shop 281-3422
- 4686 Balboa Baking Co 283-2293
- 4689 Anthony's Pizza House 283-8211
- 4693 Hacienda Danceland 282-2530
- 47TH ST INTERSECTS
- 4701 Kirby's Silver Mirror Beauty Salon 294-4592
- 4702 San Diego Electric contr 283-7031
- 4703 Harrison's Card Room 282-2559
- 4705 Westin Bart Realty 583-7231
- 4711 Sundown Club tavern 284-9320
- 4714 Vacant
- 4715 J & J Appliances washer & dryer sls & serv 281-7626
- 4716 Apartments
 - 1 Trayner Ruth E Mrs 283-4917
 - 2 Van Hoose Geo
 - 3 Manners David
 - 4 Eade Wm R Jr 282-8276
- 4717 Pacific Antenna sls & serv 283-7091
- 4718 Vacant
- 4726 Red Lion Shop The uphol 281-2434
- 4727 Poorhouse tavern 280-1481
- 4730 Paddock Cafe The 284-9359
- 4734 Synthetic Trips electro-psychedelicart 282-1445
- 4736 H & M Cafe
- 4737 Breckenridge Robt H acct 284-0448
- 4741 No Return
- 4743 Ezco Furnishing furn rental 582-9596
- 4744 American International Driveway trucking 280-5454
- Jerry's Auto Radio & Speedometer Service radio repr 283-9680
- Tudor Motors used cars 280-5430
- 4745 Thompson's Antiques 283-7237
- EUCLID AV INTERSECTS
- 4749 Big City Liquor 284-2836
- RENO DR INTERSECTS
- 4750 Benoit's Cleaners clo 284-2233
- 4752 Silverado Ballroom 284-9544
- 4757 Tower The cocktail lounge 284-0158
- 4760 Huntington Tile Supply contr 281-8163
- 4770 Van Etten's Phillips 66 Service 281-6011
- Van Etten Robt
- 4771 Aero Electric Signs Co 284-5891
- 4774 Tudor Motors used auto sls 280-5430
- 4779 Mister T's auto repr 281-0055
- Mourning T Warner
- 48TH ST INTERSECTS
- 4804 Baker's Plumbing Inc contr 284-2947
- Baker W Don 284-2947
- 4809 Masse Odias 281-3111
- 4809 1/2 Hayward's T V Rentals 283-1731
- 4811 Leon Mary A Mrs 281-2181
- 4813 Hope Roy
- 4815 Powell Geraldine F Mrs
- 4830 No Return
- 4832 Balse Ajit 281-7145
- 4834 Miller Geo E @ 282-2317
- 4836 Spr-Rite Appliance Refinishing 284-2288
- 4844 A-1 Western Inc mattress mfrs 281-7727
- 4849 Dean's Photo Service photog equip 283-5811
- ESTRELLA AV INTERSECTS
- 4852 Sofspira Car Wash self serv
- 4881 White Gas Service Station 284-6501
- 4884 Ted's Motors auto repr 281-6251
- 49TH ST INTERSECTS
- 4905 George's Garage 284-6992
- 4918 Professional Tire Co 284-2123
- 4920 Roberto's Place restr 283-5636
- 4925 George's Garage 284-6992
- WINONA AV INTERSECTS
- 4950 Michael's Drive-In Cleaning Center Indry-self serv
- 4969 Salerno's Music Studio mus tchr 282-7333
- Salerno Louis @ 282-7333
- 4973 Mission Carpet Distributors fl coverings 283-7109
- 4977 San Diego Lather's Trust Funds 281-7729
- Tile Marble & Terrazzo Helpers Local No 28 284-6151
- Wood Wire & Metal Lathers Union Local 260 281-6654
- 4979 Thomas Furniture Co 283-7109
- 4981 Vacant
- 4983 Mickey's Beauty Salon 281-7138

- 10 Kohl Chris Mrs
- 11 Frump Randall G 284-7952
- 12 Wolfer James R 283-9470
- 5045 Moore Wilson K 281-4897
- 5047 Haarberg Kent E 282-2391
- 5049 Johnson Sue A
- 5051 Gale Henry G 281-1783
- 5053 Cullins Kath
- 5055 Kenny Kath
- 5057 Reilly Michl J 281-8541
- 5085 Heinkel Anne Mrs @
- 5109 Vacant
- 5111 Vacant
- 5113 Antofte Studios stained glass 284-6717
- 5150 San Diego Pipe & Supply Co Inc 282-8154
- 52D ST INTERSECTS
- 5202 County Dept Pub Health (east s d health center) 582-6433
- 5219 Severin Garzenelli & Stenbeck Inc real est 583-6050
- 5221 Mexicali Restaurant restr 583-4965
- 5227 Ralph's Towing Service 582-8231
- Walker Hydraulic Jack Service 286-0522
- 5231 Lima American-Italian Market 583-7850
- 5241 George's Bill House Of Furniture 582-1616
- 5255 Acacia Unfinished & Patio Furniture 582-0588
- 5257 Vacant
- 5263 Fancy That Massage 287-5771
- Willey's Gym health conditioning 287-1822
- 5295 University U-Drive Truck Rental Co 582-8882
- 5296 Vacant
- 5303 Simpson Joseph E trailer storage
- 5348 Palomar Financial Co 583-6371
- Standard Life & Accident Co Of Cal ins co 583-8584
- 5360 Eileen Feather Figure Salon reducing salon 286-3710
- 5362 Los Angeles School Of Massage 286-3714
- Mark Roy Corp sch for massage 286-3714
- 5368 Circus Maximus massage 286-3714
- 5370 United Remodeling Systems contr genl 287-1011
- 5380 Independent Order Of Foresters (Sub Ofc) 286-8560
- 5382 Centracom Computer School 583-6980
- 54TH ST INTERSECTS
- 5401 Ross William C American Service gas sta 582-9703
- 5405 K-Mart dept store 286-9733
- 5415 Cal Bazar Inc gro & meats ret
- K-Mart Foods gro-meats-ret 582-9273
- Van De Kamp Bakeries Inc
- 5422 Villa Verde Apartments 267-4565
- 1 Vacant (apts 1 Thru 7)
- 8 Goode Lucy K Mrs
- 9 Vacant
- 10 Vacant
- 11 Bishop Colleen
- 12 Goodwill Charles Jr
- 13 Vacant
- 14 Vacant
- 15 Vacant
- 5424 Villa Verde Apartments (Ofc)
- 16 Phelan Patricia Mrs 287-5286
- 17 Vacant (apts 17 Thru 24)
- 5426 Apartments
- 25 Loizeaux Inez Mrs 287-5915
- 26 Vacant
- 27 Foster Kathleen Mrs
- 28 Vacant
- 29 Vacant
- 30 Hensell Beverly
- 31 Vacant
- 32 Vacant
- 33 Wilson Charles 287-5441
- 34 Vacant
- 35 Switala Bonnie Mrs 582-1275
- 36 Henson Donald 287-4604
- 37 Hammack Henry D 582-7554
- 47 Campbell Duane
- 48 Vacant
- 49 Vacant
- 50 Vacant
- 5428 Apartments
- 51 Vacant (apts 51 Thru 55)

- 66 Sigona M Dennis
- 67 Vacant
- 68 Vacant
- 5430 Apartments
- 69 Vacant (apts 69 Thru 79)
- 80 Mc Daniel Patricia
- 81 Vacant
- 82 Vacant
- 83 Vacant
- 84 Pinchem Albert
- 85 Vacant
- 86 Vacant
- 5450 Apartments
- 1 Garlough Robt 287-2649
- 2 Ledingham Helen J Mrs
- 3 Matthews Tanya
- 4 Mc Graw Dorothy C Mrs 583-6390
- 5 Bennett Roger L
- 6 Westfall John F mus tchr 287-0687
- 7 Kanuha Louis
- 8 Westfall Richd D 582-3975
- 9 Kekis Endres
- 5450a House Of Curl 582-5601
- 5450b Webster Don Agency genl ins 583-0221
- Farmers Insurance Group 583-0221
- 5450c Vacant
- 5450d Vacant
- 5466 Hamilton's Auto Radiator & Air Condition Service 286-9450
- 5466 1/2 Vacant
- 5494 Nik's Garage 286-1252
- 5498 Pit Stop The self serv gas sta 286-9754
- Speedway Cleaners clo clnrs 286-9754
- 5502 Barrow James R
- 5502 1/2 Claypool Mary R Mrs
- 5504 Quint Ramona E Mrs 583-0332
- 5504 1/2 Turner Harris E
- 5506 Cloud Nine tavern 286-3938
- 5506a Andersen's Carpets 287-2930
- Wilson Deckoray @
- 5506 1/2 Proff Robt
- 5520 Fast Print prntr 583-9591
- 5530 Colina Veterinary Hospital 286-3360
- 5538 San Diego Don's Realty 582-1414
- Schlehuber Edwin W Co genl contr 582-1414
- 5550 Villa View Hospital (Emergency Ent)
- 5555 Payless Self Service Shoes 582-0898
- 5556 Gomez Mary M Mrs @ 583-4310
- 5565 Vacant
- 5570 Master Cleaners clo clnr 583-1871
- Tuxedo Rentals 583-1871
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- 5602 Del Capri Terrace convalescent hosp 583-1993
- CHOLLAS PARKWAY INTERSECTS
- 5722 University Terrace Apartments 582-6304
- 1 Raquet Robt
- 2 Coppa Al 286-8357
- 3 Brotherson Shirley Mrs 583-1384
- 4 Slane Pauline
- 5 Wilkinson O
- 6 Hetu Maurice J 283-2815
- 7 Boone James
- 8 Hughes A E
- 9 Vacant
- 10 Butts Roger
- 11 Schulman Esther K Mrs 286-0839
- 12 Walker Thos 287-2645
- 13 Johnson Carl 583-3879
- 14 Zuchowski John M 583-1795
- 15 Pong I
- 16 Peterson S C
- 17 Scheidel Jerry 286-3552
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- 19 Mc Nally Danl M
- 20 Holdgrafer Les 583-2059
- 21 Pehling Robt E 583-5286
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- 23 Reed Ronald P 583-6741
- 24 Logan James W 582-4342
- 35 Nelson
- 36 Lotter
- 37 O'Gra
- 38 Nicho
- 39 Lau J
- 40 Fricht
- 41 Roy I
- 42 Stein
- 43 Kay V
- 44 Richa
- 45 Koher
- 46 Shern
- 47 Measi
- 48 Barte
- 49 Hetu
- 50 Nunn
- 51 Rachr
- 52 Irvine
- 53 Hurth
- 54 Wilco
- 55 Greet
- 56 Vacat
- 5757 Aegean
- 1 Ragole
- 2 Robert
- 3 Robert
- 4 Jacksc
- 5 Hedrick
- 6 Vacan
- 7 Johnsa
- 8 Vacan
- 9 Helme
- 10 Vaca
- 11 Erick
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- 24 Gard
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- 2 Allen
- 3 Kelly
- 4 Meyer
- 5 Vaca
- 6 Mc K
- 7 Rasm
- 8 Jacob
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- 10 Noy
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Jan Linda Mrs 284-3489
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Rogers Betty Mrs
Cutler Edw
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ite Douglas
son Sue A
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287-3350
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17*Preciado Frank Jr 582-1914
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20*Lueken La Vaughn Mrs 583-9331
21 Vacant
22*Kvandal Scott C 582-2544
23*Parker Jeff 583-9357
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5426 Apartments
25 Loizeaux Inez Mrs 287-5915
26*Killacky Kevin M 582-6004
27 Foster Kathleen M Mrs
28*Concepcion Dan 286-9825
29*Gordon Eliz Mrs
30*Gish Wm F 287-0923
31*Carter Randy 583-6272
32*Uster Angela Mrs 286-0202
33*Rebert Jay 583-5631
34*Malone Harry
35*Escalante Carmen Mrs 286-3454
36 Vacant
37*Mc Bride Alvin
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39*Green Bob
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41*Ulak Joan 583-3474
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43 Vacant
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46*Chavis Norman 583-8447
47*Morris Herbert A III 582-3278
48*Murdock Dale R 582-5951
49*Fox Margt A 583-4634
50*Goldin Robt S 583-1771

5428 Apartments
51*Effenberger Linda 287-1820
52*Johnson Geo
53 Vacant
54*Carter Bob
55*Neuman Carol A Mrs 583-8215
56*Arrow Dennis W 287-1647
57*Bussey Evelyn
58*Erenberg Herbert 286-9258
59*Johnson Larry
60*Miller James
61*Kane John A 286-4563
62*De La Pena Robt M 286-8786
63*Hansen Susan 286-3147
64*Saylor Otis
65*Thrallkill Homer
66 Sigona M Dennis
67*Budner Thos J 582-7045
68*Hawkes Earl L 286-9173

5430 Apartments
69*Ector David
70*Schutts Barbara Mrs 287-1077
71*Bailey Robt A 583-1934
72*Donovan Neal
73*Nelson Ellis R 287-0797
Sebring Judy L 287-3583
75*Conrad Moyra L 583-9672
76*Grossberg Mitze 583-8973
77*Monroe Brad 287-0397
78 Vacant
79*Senning Larry 287-2667
80*Cutler Matt
81*Dew James C III 286-2533
82*Gatty Ellison E 286-2747
83*Willoughby Clara Mrs
84*Morrison Walt K 582-4718
85*Rose Lillie Mrs
86*Davis Pat

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1*Carpenier Orval
2*Parks Kenneth R 286-0176
3*Ledingham Jean H Mrs 286-4966
4 No Return
5*Stewart Saml E 287-3923
6 Westfall John F mus tchr 287-0687
7*Coleman Harriett Mrs
8 Westfall Richd D 582-3975
9*Keksis Andy I 286-0458
5450a House Of Curl 582-5601
5450b Webster Don Agency genl ins
583-0221
Farmers Insurance Group 583-0221
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Rear*Hammond James
5506 1/2 *Lassiter Dick
5520 Fast Print prntr 583-9591
5530 Colina Veterinary Hospital 286-3360
5538 San Diego Don's Realty 582-1414
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5550 Villa View Hospital (Emergency Ent)
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7522 Phomin Income Tax & Bookkeeping
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5722*Phomin Isaac I 582-7844
3 Brotherson Shirley Mrs 583-1384
4 Slane Pauline L 286-2292
5*Burkett Danl E 583-2815
6 Hetu Maurice J 283-2815
7 Boone James A 583-2673
8*Freeman Edgar
9*Baxter Lodi Mrs
10*Muñoz Phoebe Mrs 582-1490
11*Blackstone James
12*Killefer Robt 583-4715
13*Kruger Betty M Mrs 286-9366
14*Shepard Steven L 582-2361
15*Gruenbaum Lawnece
16*Krasne Viola Mrs
17*Vinocor Harry 582-5490
18*Alter Raymond L 286-7569
19*Recount Alvis
20 Holdgrafer Les 583-2059
21 No Return
22 Smith Thos R 287-3158
23*Gassaway Edith Mrs
24 Logan James W 582-4342
25 Ingraham Violet M Mrs 582-5553
26 Gonzales Edna
27 Edwards Harold C 582-6304
28*Mitchell Robt D
29*Silberzweig Thelma Mrs 582-5339
30*Sowell Christina Mrs
31 Roth Pauline Mrs 583-7257
32 Permoda Donald J 287-0894
33 Fusselman Donna E 583-2517
34 Kennedy Richd 582-6296
35*Inman Carl
36*Schulman Esther K Mrs 286-0839
37*De Perna Mary A 286-3982
38*Zegart Joseph 583-7192
39*Nolan Dick 287-3346
40*Mc Ewan Jack 287-3722
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42 No Return
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44*Kuster Marian Mrs 287-4927
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50 Nunnally Peggy Mrs 287-0061
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54*Johnson John L 287-2768
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3*Loveless Maurice
4*Shertzer Paul W
5 No Return
6*Chappell Thomas R 282-7469
7 Vacant
8 No Return
9 No Return
10 Vacant
11*Gamboa John
12*Thompson Alice B Mrs 282-0620
5045 Moore Wilson K 281-4897
5047*Hench M 280-7120
5049*Mitchell Karen 281-1783
5051 Gale Henry V 281-1783
5053 No Return
5055*Kenny Kathy 282-3296
5057 Reilly Michl J
5085 No Return
5109 Vacant
5111 Vacant
5113 Vacant
5150 San Diego Pipe & Supply Co Inc
282-8154
52D ST INTERSECTS
5202 County Dept Pub Health (east s d

5*Porter Carroll
6*Davelos Mary Mrs
7*Secoy Debbie 583-5558
8 Goode Lucy K Mrs 287-4807
9 Schrieber Diana Mrs 286-7601
10 Ornelas Albert D 287-4491
11 Cerwinski Robt 289-3972
12*Goodwell Charles
5424 Apartments
13 Green H Lee 582-7047
14*Sproul Scott J 287-8696
15*Robinson Paul
16*Armijo Richard
17*Anderson Bruce
18 Davy Geo L 286-7659
19*Valletta Robert J
20*Negrete John 287-7265
21*Dudley James
22 Kvandal Scott C 582-2544
23*Burkhart Winton 582-0796
24*Boath Ann 286-4397
5426 Apartments
25 Loizeaux Inez Mrs 287-5915
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29*Young Ronald
30*Logan Ward 583-9068
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46 Chavis Norman 583-8447
47*Rudd James C 286-3138
48 Vacant
49 Fox Margt A 583-4634
50 Goldin Robt S 583-1771
5428 Apartments
51*Kler Michael 287-7096
52*Kerr Geraldine M Mrs
53*Martin Nancy
54*Millman Diane 582-6478
55 Neuman Carol A Mrs 583-8215
56*Rosenthal Esther M Mrs 287-4967
57*Donnell La Salle 287-8763
58*James Tim
59 No Return
60*Hight Gordon R 286-6919
61 Kane John A 286-4563
62*Brayile Josephine
63*Sinclair Jean
64*Hull David W 287-7256
65*Reddell Marty 286-8352
66*Robinson Frank

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5530 Colina Veterinary Hospital
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5556 Vacant
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1 Raquet Robt 287-1046
2 Phomin Income Tax & Bookkeeping
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3 Phomin Isaac I 582-7844
3 Brotherson Shirley Mrs 583-1344
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5*Dunse Barbara Jo 286-7244
6 Hetu Maurice J 283-2815
7 Boone James A 583-2674
8 No Return
9 No Return
10 Munz Phoebe Mrs 582-1440
11*Fiske Thos M 287-8766
12 No Return
13 Kruger Betty M Mrs 286-4444
14 Vacant
15*Pons Ignacio N 287-3356
16*Ridgway Harry F 287-4384
17 Vinocor Harry 582-5490
18*Stone Olga Mrs 583-2240
19*Merriman W
20*Easton Wilbur H 286-4382
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22 Smith Thos R 287-3155
23*Eisenberg Henry 582-5344
24 Logan James W 582-5344
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26 Gonzales Edna
27 Edwards Harold C 582-6304
28*Combs N
29 Silberzweig Thelma Mrs 286-1144
30*Leider Sarah 286-1144
31 Roth Pauline Mrs 583-7192
32*Zegart Joseph 583-7192
33*Jackson Ernest L 583-7192
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50 No Return
51*John 287-2995
52 Vandenberg Gerald D 582-6934
53 No Return
54 Vacant
55 Banks Q E
56 Sweetser Ethel T 287-4367
57 Cohen Michl I 287-8676
58 Estrada M
59 Mejia L D 287-8549
60 Vacant
61 Storck W G 582-1195
62 Leung M K 287-5368
63 Piccolo A
64 Mason Allan M
65 Mosby Regie R 287-0580
66 Vacant
67 Green John S 287-0697
68 Greene Charles M 582-9242
69 Reid Charles E 583-8467
70 Anderson James R 583-9585
71 Brackett J C
72 Saunders Russell P 286-1993
73 Eggers Ruby
74 Brown Robert
75 Kallas Cath A Mrs 287-2679
76 Dakey W
77 Ruble Peter H 582-7042
78 Morgan E M 287-4928
79 Osborne Jannita 582-5389
80 Mesa Glass & Shower Door Co
582-2393
81 Apartments
82 No Return
83 Mendoza Harriett Mrs 286-3557
84 No Return
85 Dada Paul 582-5245
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87 Haw Low restr 583-1166
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93 Apartments
94 Dermott James J 286-8559
95 Vacant
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98 Apartments
99 Highly Lydia M Mrs 286-2112
100 Schmunn Eduardo 582-8899
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221
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INTERSECTS
Shell Service gas sta 583-8803
t dept store 286-9733
zar Inc gro & meats ret
105
t Foods gro-meats-ret
105
erde Apartments 286-7220
John F 286-9315
r John E
r Wm
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or Ronald 287-4550
es James 287-9075
Lucy K Mrs 287-4807
ber Diana Mrs 286-7601
Charles D 287-0449
inski Robt 289-3972
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son Carolyn E 287-6168
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Norman 583-8447
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ichael 287-7096
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Josephine
ty John
ple Mary H 286-0671
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e Peter 583-3644
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ts

280★Sulcer Edw
81 Vacant
82★Dowl David
83 Willoughby Katherine Mrs
84★Maisei Jeffrey
85★Corvin F
86 Vacant
5450 Apartments
1★Westfall Frank J
2★Tull Maria C
3 Ledingham Jean H Mrs 286-4966
4 Bell Lyman G 287-0774
5 Vacant
6★Jenkins Marvin
5450a House Of Curl 582-5601
5450b Webster Don Agency genl ins
583-0221
Farmers Insurance Group 583-0221
Webster Donald E real est 583-0221
5450c Arrow Hart Inc electrical equip
mfrs 287-1300
5450d Vacant
5466 Poodle Haven The dog grooming
286-0942
5466½ Fox Photo (Br) photog finishing
582-1392
5494 Nik's Garage 286-1252
5498 Pit Stop The self serv gas sta
286-9754
5502★Thomas Charles R 583-3809
5502½★Commiso Jerome J
5504 No Return
5504½ Turner Harris E 287-2256
5506 Cloud Nine tavern 583-0080
5506½ Vacant
5520 M & G Offset Lithographers Inc
prntre 583-9591
5530 Colina Veterinary Hospital 286-3360
5538 M & G Offset Lithographers Inc
(Ofc) 583-9591
5555 Payless Self Service Shoes 582-0898
5556★Romeo John 287-7546
5570 Campus Tuxedos rentals 583-1871
5571 Gap The clo ret 286-2271
5586 Humphrey Appliance refrg-frezzer
sla 286-8501
John's T V & Appl telev-radios sla
& serv 582-7878
5590 Shurig Clara F Mrs 582-5159
5591 Baker Electricians contrs 287-8760
5592 Hubrich Wm C © 582-0110
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5599 Metal Masters stainless steel &
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5722 University Terrace Apartments
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1 Raquet Robt 287-1046
2 Phomin Income Tax & Bookkeeping
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3 Brotherson Shirley Mrs 583-1384
4★Hynes Louise 287-5891
5 Dunse Barbara Jo 286-7226
6 Hetu Maurice J 283-2815
7 Boone James A 583-2673
8 No Return
9★Baker E M 287-4361
10★Jackson Annie
11 Fiske Thos M 287-8766
12★Kalmanson Mark A 286-9647
13 Kruger Betty M Mrs 286-9366
14 Vacant
15 Vacant
16 Ridgway Harry F 287-6384
17 Vinocor Harry 582-5490
18 Stone Olga Mrs 583-2949
19★Nelson Roe J 582-1472
20★Swan C
21 Pehling Robt E 583-5286
22★Weingarten S 287-8519
23 Eisenberg Henry 582-5361
24 Logan James W 582-4342
25 Ingraham Violet M Mrs 582-5553
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27 Edwards Harold C 582-6304
28 Combs N
29 Silberzweig Thelma Mrs 582-5339
30★Ferrari L
31 Roth Pauline Mrs 583-7257
32 Zegart Joseph 583-7192
33★Memeroff M
34★Reyna R
35 Snouffer Lydia Mrs
36 Schulman Esther K Mrs 286-0839
37★Koehn M
38 Sherman Sarah R Mrs
39★Barclay R
40★Vazzana M
41 Hopkins Robt

52 Irvine Mary F Mrs
53 Matthews James F 582-0300
54★Mark R 286-1298
55 Chapman Clara Mrs 287-3069
56 Spahn Eliz Mrs 583-4864
5757 Aegean Apartments 286-2917
1 Ross Albert 582-0043
2★Parks Edw
3★Fair Harold
4★Childers John
5 Illife Joseph C
6 Pisalyaput Piyapote 287-1730
7★Ullmann Charles A 287-4029
8 Murren Mark
9 Fox Robt L 583-4328
10★French S L
11★Smith Patricia G 287-6818
12★Walters Robt E 287-7611
13 Calkins James
14★Gomez Dolores M 582-0751
15★Chacon K
16★Bakowski Zygnaint 287-5039
17 Fritsen Leonard 583-2335
18 Waters Norma Mrs
19 Rickman Thos
20 Rinzler B
21 Curry John T 287-6389
22 Vacant
23 Vacant
24★Unger Kathy E 286-7567
1★Bellon Linda
2★Lockhard Luther M 286-2736
3★Kalmanson James 286-7073
4 Vacant
5★Hancock Y
6 Worrell Robt L 582-3367
7 Vacant
8★Johnson Linda
9★Bullion Fredk
10★Vin Coli R J
11★Shorter Tyrone
12★Riley G
13 Banks Q E
14 Sweetser Ethel T 287-4367
15 Cohen Michl I 287-8675
16 Estrada M
17★Slezak Karen J
18★Kelly Jennifer
19 Vacant
20★Kelley R E
21★Murillo Edw V 583-1137
22★Polk L
23★Saifer Sean 582-5372
24 Vacant
25 Green John S 287-0697
26★Wetstone M
1★Short S
2★Gassaway R H
3 Vacant
4 Vacant
5★Levin David
6★Blais Philip L 287-7854
7 Kallas Cath A Mrs 287-2579
8 Vacant
9★Welles Cal
10 Morgan E M 287-4928
11 Osborne Juanita 582-5389
Rear La Mesa Glass & Shower Door Co
582-2393
5794 Apartments
1 Vacant
2 Mendoza Harriett Mrs 286-3557
3 Vacant
4★Newton Merlin
58TH ST INTERSECTS
5801 Sheng Haw Low restr 583-1166
5802 Belleview Properties Inc apts
582-8588
Belleview Center Apartments
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5805 Western & Southern Life Insurance
Co 286-1800
5807 Belleview Center Co real est
developers 286-1445
Benson Allen G Insurance Agency
286-1445
5810 Apartments
1 Mc Dermott James J 286-8559
2 Vacant
3★Tormo Manuel
4★Hall Patricia
5820 Apartments
1 Leighty Lydia M Mrs 286-2112
2 Pidermann Eduardo 582-8899
3 Vacant
4 Fisher Dorothy L Mrs
5830 Apartments
1 Gabaldon Frank
2 Bucholtz Irvn M 287-7218
3 Tate Welca Mrs 582-8269
4 Vacant
5833 Mayfair Markets (Dist Ofc) 287-3140
Mayfair Markets 583-4363
Van De Kamp's Holland Dutch
Bakery 583-2555

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0201 ruggies rub tavern 583-8000
5259 Vacant
5263 Vacant
5265 Gemini Adult Books No 2 287-7711
5295 Vacant
5296 George's Garage 284-5992
5303 University Wood Yard flower 282-8081
5348 San Diego Community College District 583-6422
5350 S D Community College District Educ (Admn Ofc) 280-7818
5354 Alcala Travel travel agency
5360 Transamerica Title Insurance 583-7221
5362 Weight Watchers health club 286-0120
5364 Ad-Visor The weekly adv 286-9800
5366 Vacant
5368 Kirby Co Of Pacific Coast 583-8070
5372 Vacant
5380 Vacant
5382 Vacant
54TH ST INTERSECTS
5401 Ed's Self Service Shell gas 287-5221
5405 K-Mart dept store 286-9735
5415 K-Mart (Stge)
5422 Villa Verde Apartments 284-1112
1*Daniels B
2*Crenshaw L
3*O'Rourke Lawrence W 287-4161
4*Gotch K
5 Lipson Betty 583-8226
6*Stein Irving 582-6455
7*Abdel-Messah E
8 Goode Lucy K Mrs
9*Solley L 287-3717
10 Newman David 582-9714
11 Ehrlich Theo 583-3108
12*Press Sam 582-7428
5424 Apartments
13 Smith Billie J 286-8481
14*Leadbitter C
15*Ramirez Danl Jr 286-4535
16*Landesman Louis 287-3546
17*Pich D
18*Fuller Ruby E 583-4627
19 Valletta Robert J
20 Jacobs Harry G 287-9187
21*Marlbrough Kenny E
22 Palumbo Mary 582-9616
23 No Return
24*Royal Ronald L 287-2270
5426 Apartments
25 Loizeaux Inez Mrs 287-5401
26*Rietz Steven J 287-3900
27 Kotthoff Jeanette Mrs 583-3780
28 Bills Geraldine Mrs
29*Chennell Irene 583-3780
30*Grassel J 286-1196
31*Hoffman Ernst K 287-6700
32*Kaufman Louis 287-0686
33 Harrer Robt 287-9277
34*Jacobsen Fredk J 582-9228
35 No Return
36*Davis J 787-4277
37 Orter June M 287-6167
38*Ogren Herbert W Jr 287-6167
39*Burnett Wm A 583-6878

Ernst K 287-6764
Fodi Mrs
D
Mary E 583-7944
Robt F
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James 286-7073
Clemmin R 286-9064
David W 286-8165
Gao L 287-9514
Michl L
Kanneth R 287-9081
Jean H Mrs 286-4966
S 287-0774
Jos L 583-4383
Joseph C
Of Carl 582-5601
Limousine renting &
583-0221
Hinds electrical equip mfrs
Haven The dog grooming
Orange 286-1252
The self serv gas sta
The 286-9754
Marie
Harris E 287-2256
tavern 583-0080
Nina Massage 583-0880
Grace E
Offset Lithographers Inc
582-7816
Veterinary Hospital 286-3360
Offset Lithographers Inc
583-9591
Frank
Self Service Shoes
Used cars 287-7546
John 287-7546
Tuxedo Shop rentals
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583-5011
X & Appl telev-radios sls
582-7878
Electricians contrs 287-8760
Wm C © 582-0110
Jim
Copy & Steno pub sten &
582-2755
Masters stainless steel &
582-2755
Terrace convalescent hosp
Cordia Mrs
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Terrace Apartments
M J 582-7930
Bill
Shirley J Mrs 583-1384
Mary 286-1985
Harry 582-5410
Maurice J 283-2815

45 Conry Kathryn A Mrs 287-1862
46*Butzke L
47 Pedermann Alina 582-0523
48 Rolfeon Jerry G 583-8636
49 Hetu Joe
50*Fuks Israel 287-0478
51*Jackson Jack 287-0221
52 Irvine Mary F Mrs
53 Matthews James F 582-0300
54 Mark R 286-1298
55*Fletcher Craig C 287-2268
56 Spahn Eliz Mrs 583-4864
5754 Apartments
1*Green
2*Sonntag
3*May Ronald T 583-8262
5757 Aegean Apartments 286-2917
1*Cornwell Dale T 286-0393
2 Argow T W
3 Blais Philip L 287-7854
4 Van Brunt Godwin A Jr 286-1438
5 Iliffe Joseph C 286-2917
6 Marquez Lupe
7*Johnson L
8*Ezell Eva
9*Crawford Richd 287-1824
10 Fieden Howard 287-0259
11 Mc Kain Martha
12*Jones P
13 Calkins John
14*Marcus K
15*Kallas G M 583-6808
16 Bakowski Zygncent 287-5039
17 French Stanley L 287-1692
18 Waters Norma Mrs
19 Rickman Tom
20 Rinzler Betty
21 Morris L M 286-7822
22*Reynolds P
23*Van Waldick David 287-3343
24*Mortazvi B 582-7918
1 Westbrook R A
2 Krumholz E C 286-8177
3 Flakes D S
4*Eckert Kevin W 287-6705
5 Hancock L E
6*Worrell L
7*Norman Myrtle M
8*Provost Jerry E 582-1368
9 King Mary A 286-3394
10*Bass Michl J 286-7528
11*Atwood Lillian M 287-8003
12 Acosta S R
13*Padilla E
14 Sweetser Ethel T 287-4367
15*Lamb D S
16*King A
17*Adler Saml 582-1209
18*Delgado Jose L 286-0122
19 Vander Linden Ruth 287-8282
20*Butcheck Larry 287-3604
21*Sharp S W
22 Allen Jamo 287-4039
23*Smith Mike
24*Gaywood Ernest L 583-9330
25*Lagerquist J
26 Austin Gene A
1*Scherer Douglas F 287-1189
2 Gassaway Roy H
3*Fahey Pat W 287-3042
4*Wang John C 287-8475
5*Cooper Chas H 582-8609
6*Sanchez A M 286-2398
7*White Ferris G 582-6327
8*Green B 583-7505
9 No Return
10 Morgan E M 287-4928

3 Stevenson Lou V 287-5964
4*Wagner John 58-2490
5841 Universal Television And Stereo Repair 287-2750
5843 Commercial Credit Corp collateral loans 583-3953
5845 Vacant
5850 Apartments
1 Camps Juan
2 Echeverria Orlando J 286-4028
3 Diaz Hilda Mrs
4 Marin Otilio 582-9316
5853 Vacant
5855 Take-A-Break restr 286-0748
5865 University Avenue Florist 582-8300
5870 Apartments
1 No Return
2 Cole Walter J 287-6048
3*Miller Thos
4 Mc Intire Kenneth
5*Pham Linh Van 583-7733
6*Williams Jodi V
7 Eccles Michl D 287-6627
8*Shober Michl R 583-8298
9 Richline Stewart W
10 Phillips Robt E 287-2553
11 Wayne Alf R
12 Brown Thos A 582-6784
5871 Sav-On Drug Store 583-6961
5877 Bank Of Am Natl Tr & Savs Assn (Ofc) 294-2185
5880 Apartments
1 Stanley Sandy
2 Vacant
3*Patterson Cassanora 287-2840
4 Vacant
5*Brandy Bertha L 286-3664
6*Ayre Chas
7*Rosemeyer Dorothy R 286-4872
8 Northway Larry P 583-3427
9*Marshall Jan 287-4516
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5883 International Hair & Beauty 582-7171
5885 Fuzzy Richards mens-womens hair styling 286-8404
5887 Fitting Room The women's clo 287-9160
5889 Cinerama Theatre 583-6201
5890 Apartments
1 Burruss Rudy L 286-7043
2 Vacant
3*Johnson Joan S 286-2526
4 Smart Juanita 286-1533
5*Coon John
6*Oates Saml W 582-0965
1*Ajou M 287-9366
8 No Return
9 Moss Mildred Mrs 286-8049
10*Everett Grace
11 Zimmer Kathleen Mrs
12*Weatherford Damon 853-8631
5902 Apartments
1 Vacant
2*Welsack Bruce
3 Street G M 286-7991
4 Brisk Michael A 286-9276
5*Lawson Joann
6*Nguyen Tin Dahl 287-5911
7 Vacant
8*Fugate Donald R 583-4892
9*Chanthavisouk Tien Chi 582-1465
10*Watkins Doris 583-2718
11*Beebe Mike J
12*Isaacs Elsworth J Jr 582-4553

11 Bailey Isiah 583-0905
12 Reyes Linda R 582-8467
5833 University Lanes Inc bowling alley 583-5444
Leisure Time Catering 583-1715
University Lanes Coffee Shop 583-5444
Nashville Country cocktail lounge 583-6670
5940 Apartments
1*Davis V
2*Chelton Ernest B
3*Liu Theresa
4*Quinn Mike
5*Haberstroh Phil J
6 Vacant
7 Vacant
8*Tsai Saml W 583-9144
9*Vogle Don M 287-4653
10 Marsili Mike 583-6330
11 Jordan Jane 583-6956
12 Valez Sherry
5950 Apartments
1*Etal Chuck
2 Baughn Kath A 582-7509
3 Mc Duff Marsha Mrs 287-6198
4 Vacant
5*Huizenga Donna J 582-0873
7*Rodriguez Tony 286-0158
8 Gilmore Geo 582-6423
9 Salsedo Valerie
10 Brown M L
11 Kidd Peggy A
12 Hearn Olivia 286-9991
5960 Apartments
1*Frye Chas M 286-9188
2*Taylor Laruth
3*Norwood Will H 286-9831
4 Vacant
5*Avila Sylvia
6*Jones Zachary B
7*Medina Raul P
8*Bradley Eunice M
9*Bourque Bob 287-4309
10*Ngo Van Thi 582-0070
11*Angel Diane L 265-1661
12*Kuhl L 583-0087
5970 Apartments
1 La Fountain Jo Anne 583-6224
2 Carbaugh Roger 286-2379
3*Buccella Anne M
4 Hippel Geo C 287-6026
5980 Apartments
1*Mills Clifford V
2 Thompson E Juanita 582-2869
3*Proffer Bruce
4 Alvarez Luis G 286-1216
5985 College Car Wash 583-8760
5990 Apartments
1 Constater Judith K 287-6236
2*Watson Thelma V 583-5944
3*Wilson Chas D 583-8170
4*Thaung Mye 582-9432
60TH ST INTERSECTS
6000 Madam Ruth Spiritual Psychic Palm Reader 232-0351
6002 Vacant
6035 College Plaza Office Building ROOMS
1 Kriston Jhnara marriage counselor 286-3444
3 Shelter Island Financial Inc property mgmnt 287-1872
3 Emerald Investment Co real est investments 287-1875
5 Mohling F Co collns med 582-0757

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4979b Fashion Carpets & Drapes 282-9487
4981 Finch Cookie Co baked gds distrs
280-2042
4983 Mickey's Beauty Salon 281-7138
50TH ST INTERSECTS
5027 Apartments
1*Boone Leon
2*Dunn Edw J
3*Ladd Thelma Mrs
4 Simons Alvin J
5*Hall Paul
6 Nelson Bernard
7 Colio Dolores Mrs 283-1988
8 No Return
9*Houle Benj
10*Gaines Melvin R
11*Harper Douglas N
12 Pulley Frances Mrs 282-4147
5045 Moore Wilson K 281-4897
5047 Capps Dora Mrs
5049*Martin Keith E 283-9570
5051*Hall Heidi S Mrs 283-4531
5053*Alberts Gary 283-1187
j Helm Kenneth 284-8056
5057 Reilly Michl J 281-8541
5085 Hienkel Janice @ 281-9826
5109 P T S Electronics (Work Shop)
5111 P T S Electronics telev sups whol
280-7070
5150 San Diego Pipe & Supply Co Inc
282-8154
52D ST INTERSECTS
5202 County Dept Pub Health (east s d
health center) 582-6433
5211 S G S Real Estate Co Inc 583-6050
5219 J M Electric contr 583-4021
Action Plumbing sup 583-2442
5221 Mexicali Restaurant 287-8470
5227 Antofte Studios stained glass
286-2892
5229 Geo's Custom Jewelry mfrs 583-0413
5231 Milano Restaurant & Italian
Delicatessen 583-7850
5241 George's Bill House Of Furniture
582-1616
5255 Acacia Unfinished & Patio Furniture
582-1616
5257 Puggie's Pub tavern 583-9925
5259 Vacant
5263 Vacant
5265 Southern California Books 583-9746
5295 Transaitner truck rentals 287-4860
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5348 San Diego Community College
District 583-6422
5350 S D Community Colleges Dist Adult
Educ (Admn Ofcs) 280-7610
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5360 Transamerica Title Insurance Co
583-7221
5362 Weight Watchers health salon
286-0120
5364 Ad-Visor The weekly adv publ
286-9800
5366 Vacant
5368 Kirby Co Of Pacific Coast vacuum
clns 583-8070
5372 Vacant
54TH ST INTERSECTS
5401 Ed's Self Service Shell gas sta
287-5221
5405 K-Mart dept store 286-9733
5415 K-Mart (Stge)
5422 Villa Verde Apartments 286-7220
1 Guintini James 286-8836
2 Stoner John E
3 Vacant
4 Stein Kath Mrs 287-8182
5*Lipson Betty 583-8226
6*Knutson James R 582-7643
7*Horton John A 583-9075
8 Goode Lucy K Mrs 287-4807
9*Finch Shirley A
10*Newman David 582-9274
11*Ehrlich Theo 583-3108
12 Vacant
29 Vacant
30*Nicholson Geoffrey 583-5390
31*Shure Irving 287-7328
32*Goldman Leonora
33*Harrer Robt 287-8277
34*Clayton Phillip C
35 Escalante Carmen Mrs 286-3454
36*Burkes James C
37 Orter June M 287-6167
38 Vacant
39 No Return
40*Yip Chas Y 287-4509
41*Torrison John R 287-8478
42 Hassan Beverly J 287-6457
43*Baker P D 286-7795
44*Torrison Leonard L 583-2371
45*Wilson Pamela A 287-7541
46 No Return
47*Linsk Steven 583-7258
48*Woolery K S 287-9788
49 Vacant
50 Goldin Robt S 583-1771
5428 Apartments
51 Kler Michael 287-7096
52 Vacant
53*Geiger Debbie A 582-8326
54*Schoff P J 287-5895
55*Brady Robt P 286-4629
56 No Return
57 Brienzo Barbara 583-1947
58*U'Ren Stuart C 582-1976
59*Walton Wip 286-4183
60*Blitstein R 582-6785
61 Vacant
62 Riley Jerry D 287-3616
63 Moriarty John J III 287-9409
64 Geus Harold F 287-0256
65 Dries Nancy 286-4602
66 Eldridge Peter 583-3644
67*Kalman Helene B Mrs 286-9900
68*Rapay Elmer D 287-6079
5430 Apartments
69 Maloney James D
70*Gardiner Emory 287-3640
71*Bulgin R G
72 No Return
73 Vacant
74*Shap Linda C
75 Hoffmann Ernst K 287-6764
76 Bates Lodi Mrs
77*Phillips Lisa 583-6772
78*Mulroy Mary E 583-7944
79 Sexual Freedom League 582-5143
80*Berg Michl D 582-1979
81 Thompson Mary Mrs 286-7933
82*Kalman James 286-7073
83 No Return
84*Parks David W 286-8165
85 Vacant
86*Rubin Michl L
5450 Apartments
1 Parks Kenneth R 287-9081
2 Vacant
3 Ledingham Jean H Mrs 286-4966
4 Bell Ruth S 287-0774
5*Mokhtarian Farnaz
6*Barta Joseph C
5450a House Of Curl 582-5301
5450b Webster Don Agency genl ins
583-0221
Farmers Insurance Group 583-0221
5450c Arrow Hart Inc electrical equip
mfrs 287-1300
5450d Vacant
5466 Poodle Haven The dog grooming
286-0942
5494 Nik's Garage 286-1252
5498 Pit Stop The self serv gas sta
286-9754
Pop Place The 286-9754
5502 Thomas Charles R 583-3809
5502 1/2*Briscoe James
5504*Clark Harry A
5504 1/2 Turner Harris E 287-2256
5506 Cloud Nine tavern 583-0080
5506a Cloud Nine Massage 583-0880
5506 1/2*Marks Grace E
5508 Vacant
5520 M & G Offset Lithographers Inc
pntrs 582-7816
5530 Colina Veterinary Hospital 286-3360
5538 M & G Offset Lithographers Inc
(Ofc) 583-9591
Rear*Schlehuber Edward W
5555 Pay-Less Self Service Shoes
582-0898
5556 Automart used cars 287-7546

- 5002 Del Capri Terrace convalescent hosp
583-1993
Horton Cordia Mrs
CHOLLAS PARKWAY INTERSECTS
5722 University Terrace Apartments
582-6304
*Flahide Richd A 287-4274
2 Vacant
3 Brotherson Shirley Mrs 583-1384
4*Howlett Susan D 286-1928
5*Dussman Harry 582-5410
6 Hetu Maurice J 283-2815
7 Boone James A 583-2673
8 No Return
9*Mc Mickle Ernest C 287-1935
10 Vacant
11 Jones J L 583-0356
12 Crockett Mary Mrs 287-9920
13 Kruger Betty M Mrs 286-9366
14*Matthews Albert
15 Vacant
16*Krauth Robert 286-4826
17 Rosenberg Bryan D
18*Kidd Bruce S 287-6490
19 Vacant
20 No Return
21 Pehling Robt E
22*Abell Harry M 583-6733
23 Eisenberg Henry 582-5361
24 No Return
25 Vacant
26 Gonzales Edna
27*De Water Susan
28 Winget Gerald
29 Silberzweig Thelma Mrs 582-5339
30*Dupont Barbara 287-2911
31 Roth Pauline Mrs 583-7257
32 Zegart Joseph 583-7192
33 Nemeroff Max 287-3912
34 Ortega Alicia Mrs
35 Snouffer Lydia Mrs
36 Vacant
37 Ten Broek Howard 582-4471
38*Sherbondy Mark A
39 No Return
40 Vacant
41 Hopkins Robt
42*Rainne Larry W 287-7466
43*Williams Stanley 286-2434
44 Vacant
45 Conry Clare A Mrs 287-1862
46*Sukramule Choosak 582-1455
47*Pedermann Alina 582-0523
48*Rollefson Jerry G 583-8636
49 Hetu Joe
50 Vacant
51 Vacant
52 Irvine Mary F Mrs
53 Matthews James F 582-0300
54 Mark R 286-1298
55 Chapman Clara Mrs 287-3069
56 Spahn Eliz Mrs 583-4864
5757 Aegean Apartments 286-2917
1*Clarke C A 286-7877
2*Argow T W
3 Blais Philip L 287-7854
4 Van Brunt Godwin A Jr 286-1438
5 Iliffe Joseph C 286-2917
6*Marquez Linda
7*Mitchell Karen
8*Jones P L
9*Juhl J A
10 Fieden Howard 287-0259
11*Mc Kain Martha
12*Lamb Phyllis A 286-4048
13*Calkins John
14*Chung Daniel
15*Nelson Arth D 583-6808
16 Bakowski Zygncint 287-5039
17 French Stanley L 287-1692
18 Waters Norma Mrs
19*Rickman Tom
20*Rinzler Betty
21*Morris L M 286-7822
22*Parsons N J
23*Chandler R M
24*Raciti Frank 582-7918
1*Westbrook R A
2*Krumholz E C 286-8177
3*Flakes D S
4*Lee Terry D 286-2923
5*Hancock L E
6 Vacant
7 Gruder Amos
8 Vacant
9*King Mary A 286-3394
10*Manaus C T
11*Shorter Tyrone 287-1517

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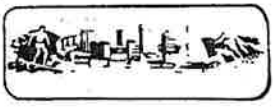
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4919 Seven-Eleven Food Store 281-4020
4920 San Ysidro Taco Shop No 5 restr
283-5636
- WINONA AV INTERSECTS**
4950 Spotless Cleaners clo 284-2928
Boyles Coin-Op self serv laundromat
Rug Doctor Rents carpet clnrs
284-2928
- 4961 Certified Janitor & Chem Sup sls
280-3603
- 4961a Community Service Center For The
Disabled social serv 283-5901
- 4969 Salerno's Music Studio mus tchr
282-7333
Salerno Louis @ 282-7333
- 4973 Friently T V & Appliances sls & serv
280-9335
- 4977 San Diego Lather's Trust Funds
281-7729
Tile Marble & Terrazzo Shopmn &
Fnshrs Local No 28 284-6151
Wood Wire & Metal Lathers Intl
Union Local 260 281-6654
- 4979 Bob's Carpet Service layers 282-2041
- 4979a Thomas Furniture Co 283-7109
- 4979b Fashion Carpets & Drapes 282-9487
- 4981 Finch Cookie Co baked gds distrs
280-2042
- 4983 Mickey's Beauty Salon 281-7138
- 50TH ST INTERSECTS**
5027 Apartments
1*Boone Leon
2*Dunn Edw J
3*Ladd Thelma Mrs
4 Simons Alvin J
5*Hall Paul
6 Nelson Bernard
7 Colio Dolores Mrs 283-1988
8 No Return
9*Houle Benj
10*Gaines Melvin R
11*Harper Douglas N
12 Pulley Frances Mrs 282-4147
- 5045 Moore Wilson K 281-4897
- 5047 Capps Dora Mrs
- 5049*Martin Keith E 283-9570
- 5051*Hall Heidi S Mrs 283-4531
- 5053*Alberts Gary 283-1187
j Helm Kenneth 284-8056
- 5057 Reilly Michl J 281-8541
- 5085 Hienkel Janice @ 281-9826
- 5109 P T S Electronics (Work Shop)
- 5111 P T S Electronics telev sups whol
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- 52D ST INTERSECTS**
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- 5219 J M Electric contr 583-4021
- Action Plumbing sup 583-2442
- 5221 Mexicali Restaurant 287-8470
- 5227 Antofte Studios stained glass
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- 5229 Geo's Custom Jewelry mfrs 583-0413
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- 5241 George's Bill House Of Furniture
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582-1616
- 5257 Puggie's Pub tavern 583-9925
- 5259 Vacant
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- 5350 S D Community Colleges Dist Adult
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- 5362 Weight Watchers health salon
286-0120
- 5364 Ad-Visor The weekly adv publi
286-9800
- 5366 Vacant
- 5368 Kirby Co Of Pacific Coast vacuum
cle 583-8070

- 5424 Apartments
13*Smith Billie J 286-8481
14 Vacant
15*Zywanoski Robt J 287-4756
16 Garrett Sam 287-7624
17*Hagenbauth Daniel 582-2826
18*Penaloza Carlos J 286-8401
19 Valletta Robert J
20*Jacobs Harry G 287-9187
21*Nix D M 286-8642
22*Palumbo Mary 582-9616
23 No Return
24 Vacant
- 5426 Apartments
25 Loizeaux Inez Mrs 287-5915
26 Manganiello G L 583-2559
27 Kotthoff Jeanette Mrs 583-3925
28 Bills Geraldine Mrs
29 Vacant
30*Nicholson Geoffrey 583-5390
31*Shure Irving 287-7328
32*Goldman Leonora
33*Harrer Robt 287-8277
34*Clayton Phillip C
35 Escalante Carmen Mrs 286-3454
36*Burkes James C
37 Orter June M 287-6167
38 Vacant
39 No Return
40*Yip Chas Y 287-4509
41*Torrison John R 287-8478
42 Hassan Beverly J 287-6457
43*Baker P D 286-7795
44*Torrison Leonard L 583-2371
45*Wilson Pamela A 287-7541
46 No Return
47*Linolt Steven 583 7358
48*Woolery K S 287-9788
49 Vacant
50 Goldin Robt S 583-1771
- 5428 Apartments
51 Kler Michael 287-7096
52 Vacant
53*Geiger Debbie A 582-8326
54*Schoff P J 287-5895
55*Brady Robt P 286-4629
56 No Return
57 Brienzo Barbara 583-1947
58*U'Ren Stuart C 582-1976
59*Walton Wip 286-4183
60*Blitstein R 582-6785
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63 Moriarty John J III 287-9409
64 Geus Harold F 287-0256
65 Dries Nancy 286-4602
66 Eldridge Peter 583-3644
67*Kalman Helene B Mrs 286-9900
68*Rapay Elmer D 287-6079
- 5430 Apartments
69 Maloney James D
70*Gardiner Emory 287-3640
71*Bulgin R G
72 No Return
73 Vacant
74*Shap Linda C
75 Hoffmann Ernst K 287-6764
76 Bates Lodi Mrs
77*Phillips Lisa 583-6772
78*Muroy Mary E 583-7944
79 Sexual Freedom League 582-5143
80*Berg Michl D 582-1979
81 Thompson Mary Mrs 286-7933
82*Kalman James 286-7073
83 No Return
84*Parks David W 286-8165
85 Vacant
86*Rubin Michl L
- 5450 Apartments
1 Parks Kenneth R 287-9081
2 Vacant
3 Ledingham Jean H Mrs 286-4966
4 Bell Ruth S 287-0774
5*Mokhtarian Farnaz
6*Barta Joseph C
- 5450a House Of Curl 582-5301
- 5450b Webster Don Agency genl ins
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Farmers Insurance Group 583-0221
- 5450c Arrow Hart Inc electrical equip
mfrs 287-1300
- 5450d Vacant
- 5466 Poodle Haven The dog grooming
286-0942
- 5494 Nik's Garage 286-1252
- 5498 Pit Stop The self serv gas etc

- Romeo John 287-7546
- 5570 University Tuxedo Shop
286 3030
- 5571 Gap The clo ret 286-227
- 5586 Humphrey Appliance rel
sls 286-8501
John's T V & Appl telev
& serv 582-7878
- 5590 No Return
- 5591 Baker Electricians contrs
- 5592 Hubrich Wm C @ 582-0
- 5592½ O'Donnell Jim
- 5595 College Copy & Steno p
printers 582-2755
- 5599 Metal Masters stainless
aluminum 582-2755
- ZIP CODE 92115
- 5602 Del Capri Terrace conva
583-1993
- Horton Cordia Mrs
CHOLLAS PARKWAY INT
- 5722 University Terrace Apar
582-8304
- *Flahide Richd A 287-47
- 2 Vacant
- 3 Brotherson Shirley Mrs
- 4*Howlett Susan D 286-1
- 5*Dussman Harry 582-54
- 6 Hetu Maurice J 283-28
- 7 Boone James A 583-267
- 8 No Return
- 9*Mc Mikle Ernest C 28
- 10 Vacant
- 11 Jones J L 583-0356
- 12 Crockett Mary Mrs 28
- 13 Kruger Betty M Mrs
- 14*Matthews Albert
- 15 Vacant
- 16*Krauth Robert 286-46
- 17 Rosenberg Bryan D
- 18*Kidd Bruce S 287-649
- 19 Vacant
- 20 No Return
- 21 Pehling Robt E
- 22*Abell Harry M 583-67
- 23 Eisenberg Henry 582-
- 24 No Return
- 25 Vacant
- 26 Gonzales Edna
- 27*De Water Susan
- 28 Winget Gerald
- 29 Silberzweig Thelma W
- 30 Dupont Barbara 287-
- 31 Roth Pauline Mrs 583
- 32 Zegart Joseph 583-711
- 33 Nemeroff Max 287-39
- 34 Ortega Lydia Mrs
- 35 Snouffer Lydia Mrs
- 36 Vacant
- 37 Ten Broek Howard 5
- 38*Sherbondy Mark A
- 39 No Return
- 40 Vacant
- 41 Hopkins Robt
- 42*Rainne Larry W 287
- 43*Williams Stanley 286
- 44 Vacant
- 45 Conry Clare A Mrs 2
- 46*Sukramule Chooasak
- 47*Pedermann Alina 58
- 48*Rollefson Jerry G 58
- 49 Hetu Joe
- 50 Vacant
- 51 Vacant
- 52 Irvine Mary F Mrs
- 53 Matthews James F 5
- 54 Mark R 286-1298
- 55 Chapman Clara Mrs
- 56 Spahn Eliz Mrs 583-
- 5757 Aegean Apartments 28
- 1*Clarke C A 286-7877
- 2*Argow T W
- 3 Blais Philip L 287-785
- 4 Van Brunt Godwin A
- 5 Iliffe Joseph C 286-29
- 6*Marquez Linda
- 7*Mitchell Karen
- 8*Jones P L
- 9*Juhl J A
- 10 Fieden Howard 287-
- 11*Mc Kain Martha
- 12*Lamb Phyllis A 286
- 13*Calkins John
- 14*Chung Daniel
- 15*Nelson Arth D 583-
- 16 Rakowski Zigmint S

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- 4871 Isana Beauty Salon 282-4711
- 4875 Saigon Jewelry Repairing 282-4161
- 4877 Mekong Market gro 282-1112
- 4879 Mekong Market (Whse)
- 4881 Ron's White Service serv sta 281-6011
- 4888 Fotomat Corporation photog finishers 280-8994
- 49TH ST INTERSECTS
- 4919 Seven-Eleven Food Store 281-4020
- 4920 Roberto's Taco Shop No 5 restr 283-5636
- WINONA AV INTERSECTS
- 4950 Spotless Cleaners clo 284-2928
- Rug Doctor Rents rental rug clns 284-2928
- Rear Faure Eug J priv ofc
- 4950a Peter Pan Laundromat coin-operated
- 4961 Certified Janitor & Chemical Sup sls 280-3603
- 4961a Certified Janitor & Chem Sup (Stge)
- 4969 Salerno's Music Studio mus tchr 282-7333
- Salerno Louis @ 282-7333
- 4973 Friendly T V & Appliances sls & serv 280-9335
- 4977 Tile Layers Marble Masons Terrazzo Local No 17 283-0704
- Tile Marble & Terrazzo Shopmn & Fnshrs Local No 28 284-6151
- Wood Wire & Metal Lathers Intl Union Local 260 281-6654
- 4979a Thomas Furniture Co 283-7109
- 4979b Mission Carpet 58-2703
- 4981 Bob's Carpet Serv 282-2041
- 4983 Mickey's Beauty Salon 281-7138
- 50TH ST INTERSECTS
- 5027 Apartments
- 1*Sanchez Luis 283-9657
- 2*Garcia Jose
- 3*Rupert John M
- 4 Biedenbender Geo A 280-6697
- 5 Welch Jacqueline 281-4645
- 6 Coleo Delores
- 7*Colin Helen 563-4741
- 8*Cuenca Delores Mrs
- 9*Albrecht Dennis 563-4725
- 10 Ortiz Debbie
- 11*Miller Leland B 280-9267
- 12 Pulley Frances Mrs 282-4147
- 5045 Moore Wilson K @ 281-4897
- 5047 Capps Dora Mrs
- 5049*Johnson Craig 563-6429
- 5051 Appenzeller Danl J
- 5053 Alberts Gary E 283-1187
- 5057 Reilly Michl J 281-8541
- 5085 Hienkel Janice @ 281-9826
- 5109 P T S Electronics (Work Shop)
- 5111 P T S Electronics telev sups whol 280-7070
- 5150 San Diego Pipe & Supply Co Inc A T F I Co 282-8154
- 52D ST INTERSECTS
- 5202 County Dept Pub Health (east s d health center) 582-6433
- 5211 S G S Real Estate Co Inc 583-6050
- 5219 J M Electric contr 583-4021
- Action Plumbing sup 583-2442

- 5366 Breckenridge Bookkeeping & Income Tax Serv 287-8401
- 5368 Kirby Co Of Pacific Coast vacuum clns 583-8070
- 5372 Vacant
- 5380 Cho Dong Duong restr 287-5760
- 5382 Prem's Chop Stix food mkt 287-5760
- 5384 Vacant
- 54TH ST INTERSECTS
- 5401 Ed's Self Service Shell gas sta 287-5221
- 5405 K-Mart dept store 286-9733
- 5415 K-Mart (Stge)
- 5422 Villa Verde Apartments 286-7220
- 1 Daniels B
- 2 Crenshaw L
- 3 O'Rourke Lawrence W 287-6496
- 4*Negrete Richd
- 5 Lipson Betty 583-8226
- 6*Ingram Gordon
- 7 Abdelmessih Ezzat F 286-4941
- 8 Goode Lucy K Mrs
- 9 Solley L 287-3717
- 10*Kutthoff Jeanette Mrs 583-1925
- 11 Ehrlich Theo 583-3108
- 12 Press Sam 582-7428
- 5424 Apartments
- 13 Smith Billie J 286-8481
- 14*Shorter Lea Mrs 287-2368
- 15 Ramirez Danl Jr 286-4533
- 16 Landesman Louis 287-5345
- 17*Irwin Theo
- 18*Fuller Ruby E 583-4627
- 19 Valletta Robert J
- 20 Jacobs Harry G 287-9187
- 21*Nix D M 286-8642
- 22*Martin James 582-0885
- 23*King Joseph 582-9464
- 24 Royal Ronald L 287-2207
- 5426 Apartments
- 25 Loizeaux Inez Mrs 287-5915
- 26 Rietz Steven J 287-3900
- 27*Shrahkic Halla Mrs
- 28 Bills Geraldine Mrs
- 29 Chennell Irene 583-3780
- 30*Cho Choi Oy
- 31 Hoffman Ernst K 287-6764
- 32 Kaufman Louis 287-0886
- 33 Harrer Robt 287-8277
- 34*Watson R A 583-2022
- 35*Escalante C 286-3454
- 36*Talal Kianoosh 286-4751
- 37*Hampton Sylvia Mrs
- 38*Foster Carl E II 287-7352
- 39*Badal-Chamaki Phillip 286-7830
- 40*Drabek Thos
- 41*Lindert Walter
- 42 Hassan Beverly J 287-6457
- 43 Roberts Gary J 287-4077
- 44*Johnson A Lucille Mrs 285-0740
- 45*Main Robt 287-0864
- 46*Clay Imogene Mrs
- 47*Van Den Akker Sonnia Mrs 286-8797
- 48 Biton Chas 287-6922
- 49 Gasulla Thos
- 50*Sresthadatta Vichit 286-8976
- 5428 Apartments
- 51*Kler Michl A
- 52*Ottabini Bryan 282-3162
- 53 Geiger Debbie A 582-8326
- 54 Paden Wm 286-4705
- 55 Brady Robt P 286-4629
- 56 Tauterbaum Rana Mrs

- 1 Parks Kenneth R 287-9081
- 2 No Return
- 3 Ledingham Jean H Mrs 286-4962
- 4 Bell Ruth S 287-0774
- 5*Carpenter Ellen Mrs
- 6 Barta Joseph C
- 5450a House Of Curl 582-5601
- 5450b San Diego Limousine renting & leasing 583-0221
- 5450c Crouse-Hinds electrical equip mfrs 287-1300
- 5450d Vacant
- 5466 Poodle Haven The dog grooming 286-0942
- 5494 Nik's Garage 286-1252
- 5498 Pit Stop The self serv gas sta 286-9754
- Pop Place The 286-9754
- Speedway Cleaners dry clns 286-9754
- 5502*Joplin Leroy
- 5502½*Arnoldson Victor
- 5504 Carson L
- 5504½ Turner Harris E 287-2256
- 5506 Cloud Nine tavern 583-0080
- 5506a Vacant
- 5506½ Marks Grace E
- 5508*Hoppwell Daisy Mrs
- 5520 M & G Offset Lithographers Inc prntrs 582-7816
- 5530 Colina Veterinary Hospital 286-3360
- Colina Spray Clinic pet clinic 287-7729
- 5538 M & G Offset Lithographers Inc (Ofc) 583-9591
- Rear Wong Frank
- 5550 Villa View Community Hospital 582-3516
- Villa View Community Hospital Laboratory Inc 582-3516
- Mid-City Senior Day House med clinic 287-6420
- 5555 Pay-Less Self Service Shoes 582-089A
- 5556 Automart used cars 287-7546
- Romeo John 287-7546
- 5570 University Tuxedo Shop rentals 286-3030
- 5571 Gap The clo ret 286-2271
- 5586 Humphrey Appliance refig-freezer sls 286-8501
- John's T V & Appl telev-radios sls & serv 582-7878
- 5590 No Return
- 5591 Baker Electricians contrs 287-8760
- 5592 Hubrich Wm C @ 582-0110
- 5592½ O'Donnell Jim
- 5595 College Copy & Steno pub sten & printers 582-2755
- Rear Perricone Joseph P Jr used car sls 265-1395
- 5599 Metal Masters stainless steel & aluminum 582-2755
- ZIP CODE 92115
- 5602 Del Capri Terrace convalescent hosp 583-1993
- Horton Cordia Mrs
- CHOLLAS PARKWAY INTERSECTS
- 5722 University Terrace Apartments 582-6304
- 1*Schmidt C L
- 2*Kursuo Roberto 287-8069
- 3 Brotherson Shirley J Mrs 583-1384
- 4*Tauterbaum Rana Mrs

1980

| | | | |
|------|----------------|--------------------|---|
| 5556 | University Ave | Sportscar Emporium | (Stge) used car |
| 5570 | “ | “ | Tuxedo Junction rentals |
| 5580 | “ | “ | Not listed |
| 5586 | “ | “ | Humphrey Appliance refgr-freezer sls John's TV & Appliance |
| 5590 | “ | “ | Vacant |
| 5592 | “ | “ | Not listed |

1984

| | | | |
|--------|----------------|---------------------|--------------------------------------|
| 5556 | University Ave | Two Guys Auto Sales | used cars |
| 5570 | “ | “ | Tuxedo Junction c/o rentals |
| 5570 ½ | “ | “ | Mc Bride Electric Inc contr |
| 5586 | “ | “ | Humphrey Appliance refgr-freezer sls |
| 5590 | “ | “ | Vacant |
| 5592 | “ | “ | Vacant |

Appendix B

Building Permits

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINESPLAN FILE
NUMBERBUILDING
PERMIT
NUMBER

A06391

OWNER'S
NAME CORNITZ DIV. PACIFIC OUTDOOR ADV. CO.MAIL
ADDRESS 11500 Alvarado Freeway

CITY San Diego 20, TEL. NO. AT 4-9266

ARCHITECT or
ENGINEER SameSTREET
ADDRESS SameSTATE
LICENSE NO. SameBUILDING
CONTRACTOR SameSTREET
ADDRESS Same

CITY Same TEL. NO. Same

STATE
LICENSE NO.

JOB DESCRIPTION

LESSON DESCRIPTION (Attach Memo & Bounds)

LOCATION 20 BLOCK TRACT

BUILDING
ADDRESS 11500 Alvarado FreewayNEW ☒ ALTER ☐ DEMOLISH ☐
ADD ☐ REPAIR ☐ MOVE ☐RESIDENTIAL ☐ NUMBER OF
NON-RESIDENTIAL ☒ STORIES NUMBER OF
DWELLING UNITSCOUNTY SANITATION DISTRICT PRIVATE DISPOSAL APPROVAL
RECEIPT NO.

STATEMENT OF PROPOSED USE

Single poster panel

I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner, or the duly authorized agent of the owner, I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE OF
OWNER or AGENT John Cornitz

ADDRESS 11500 Alvarado Freeway San Diego 20,

EVIDENCE OF AGENCY NOTED *OK*PLOT PLAN CHECK & APPROVED *OK*

HEALTH DEPT. APPROVAL

JOB
ADDRESS 5590/92 UniversitySIDE
YARD 0' SET
BACK 20' REAR
YARD 0'USE
ZONE C MAP
NO. 3-111 VACANT YES ☐
SITE NO ☐BLS
CODE 036 ECONOMIC LOCATION
EA. LBD. TAX CENSUS
TRACT F-27BUILDING
AREA 105' LOT
AREA VARIANCE NO.Encroachment Yes ☐ PERMIT NUMBER ST. GRADE
Permit Req'd. No ☐ CHECKMETER
SIZE CLEARANCE CHECKED BY:REQUESTED
METER
LOCATION EXISTING ☐ CENTER LINE ☐ OTHER
OF PROPERTYTYPE OF
CONNECTION BOOK
PAGE VERIFIED BYFIRE ZONE Type of Construction STREET YES
1 2 3 I II III IV V IMPROVED NO ☒SPECIAL INSPECTOR REQ'D. YES ☐ OCCUPANCY GROUP
NO ☒ A B C D E F G H I JPLAN CHECKED BY PLAN CHECK
RECEIPT NO.BUILDING
VALUATION 300.00BUILDING
PERMIT FEE 2.50LESS
PLAN-CHECK FEE

SEWER FEE

AMOUNT
DUE 2.50

ATTENTION:

THIS PERMIT
AUTHORIZES
ONLY THE
WORK NOTEDINSPECTION
DEPARTMENTCITY OF
SAN DIEGO

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY; AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

By: *OK*

Date: 8/15/58

INSPECTOR

Building Permit Application

APPLICANT FILL
INSIDE HEAVY LINES

PLAN FILE
NUMBER

19700

02 15 2003
BUILDING
PERMIT
NUMBER
C129

OWNER'S
NAME

W. E. Hubrich

MAIL
ADDRESS

5592 UNIVERSITY AVE.

CITY

San Diego

TEL. NO.

5-2-8653

ARCHITECT or
ENGINEER

Edm. Schlehuber

STREET
ADDRESS

5538 University

STATE
LICENSE NO.

TEL. NO.

BUILDING
CONTRACTOR

Ed Schlehuber

STREET
ADDRESS

5538 University

CITY

TEL. NO.

STATE
LICENSE NO.

JOB DESCRIPTION

LEGAL DESCRIPTION: (Attach Metes & Bounds if Necessary)

LOT 28

BLOCK

TRACT

BUILDING
ADDRESS

5538 University

NEW ☐
ADD ☒

ALTER ☐
REPAIR ☐

DEMOLISH ☐
MOVE ☐

RESIDENTIAL ☐
NON-RESIDENTIAL ☐

NUMBER OF
STORIES

NUMBER OF
DWELLING UNITS

COUNTY SANITATION DISTRICT

PRIVATE DISPOSAL APPROVAL
RECEIPT NO.

STATEMENT OF PROPOSED USE

Don & Betty Hubrich Res

I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction; and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE OF
OWNER or AGENT

ADDRESS

W. E. Hubrich

EVIDENCE OF AGENCY NOTED

PLOT PLAN CHECK & APPROVED

HEALTH DEPT. APPROVAL

JOB

ADDRESS

PLAN FILE

NUMBER

19700

SIDE
YARD

51

SET
BACK

15'0"

REAR
YARD

25

USE
ZONE

R1

MAP
NO.

111

VACANT
SITE

YE
NK

BLS
CODE

25

ECONOMIC LOCATION
EA. LBD. TAX

CENSUS
TRACT

F2

BUILDING
AREA

240 H

LOT
AREA

1

VARIANCE NO.

2462

Encroachment Yes ☐
Permit Req'd No ☐

PERMIT NUMBER

ST. GRADE
CHECK

6

METER
SIZE

CLEARANCE

CHECKED BY:

REQUESTED
METER
LOCATION

EXISTING ☐

CENTER LINE ☐

OTHER

OF PROPERTY

TYPE OF
CONNECTION

BOOK
PAGE

VERIFIED BY

FIRE ZONE

1 2 3

Type of Construction

I II III IV V

STREET
IMPROVED

N

SPECIAL
INSPECTOR REQ'D.

YES ☐
NO ☐

OCCUPANCY GROUP
A B C D E F G H J

PLAN CHECKED BY

PLAN CHECK
RECEIPT NO.

BUILDING
VALUATION

2232.00

BUILDING
PERMIT FEE

2232.00

LESS

PLAN-CHECK FEE

SEWER FEE

AMOUNT
DUE

14.00

ATTENTION:

APPLICATION APPRO

THIS PERMIT
AUTHORIZES
ONLY THE
WORK NOTED

INSPECTION
DEPARTMENT



CITY OF
SAN DIEGO

THIS PERMIT DOES NOT BECOME
UNTIL SIGNED BY THE DIRECTOR
BUILDING INSPECTION, OR HIS DE
AND FEES ARE PAID, AND RECEI
ACKNOWLEDGED IN SPACE PROVIDED

By: *[Signature]*
Date: 5-8-59

INSPECTOR

FORM NO. 1

29586

| | | |
|---|---|---|
| JOB ADDRESS 5586 OLIVE AVE | | PLAN FILE NO. |
| HOUSE NO. 5586 | STREET OLIVE AVE | 2175 |
| | | NO PLAN FILE NO. <input type="checkbox"/> |
| APPLICATION FOR BUILDING PERMIT BUILDING INSPECTION DEPARTMENT - CITY OF SAN DIEGO | | |
| APPLICANT: PRINT WITHIN HEAVY LINES ONLY | | |
| COMPLETE LEGAL DESCRIPTION OF PROPERTY | | |
| LOT | BLOCK | ADDITION OR SUBDIVISION |
| Por. 29 | | Lemon Villa |
| TYPE OF BUILDING TO BE CONSTRUCTED | | |
| DWELLING <input type="checkbox"/> | OTHER Retaining Wall & roofed area | |
| GARAGE <input type="checkbox"/> | | |
| NUMBER OF FAMILIES | IS THERE AN EXISTING BUILDING NOW ON THIS SITE? | |
| | YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> | |
| NUMBER OF STORIES | IF "YES" IS IT | |
| | RESIDENTIAL <input type="checkbox"/> | |
| | COMMERCIAL <input type="checkbox"/> | |
| | OTHER <input type="checkbox"/> | |
| CLASS OF WORK | | FLOOR SPACE IN SQ. FT. |
| NEW <input type="checkbox"/> | REPAIR <input checked="" type="checkbox"/> | VALUATION OF JOB |
| ADDITION <input type="checkbox"/> | MOVE <input type="checkbox"/> | |
| ALTERATION <input type="checkbox"/> | DEMOLISH <input type="checkbox"/> | |
| NAME AND MAILING ADDRESS | | |
| OWNER | Dominic Cipriani 5151 34th ST. | |
| | TEL. NO. 4437 | |
| NAME AND ADDRESS | | |
| CONTRACTOR | | |
| | STATE LICENSE NO. | TEL. NO. |
| I HEREBY CERTIFY THAT THE ABOVE APPLICATION IS CORRECT, THAT CONSTRUCTION WILL COMPLY WITH ALL LAWS AND I WILL NOT EMPLOY ANY PERSON IN VIOLATION OF THE STATE OF CALIFORNIA LABOR CODE RELATING TO WORKMAN'S COMPENSATION INSURANCE. | | |
| SIGNATURE OF APPLICANT | | DATE |
| Dominic Cipriani | | 9-2-54 |
| FOR PLANNING COMMISSION USE ONLY | | |
| BLD. CODE 34 | USE ZON 7 | DATE 9/8/54 |
| FOR BUILDING INSPECTION DEPARTMENT USE ONLY | | |
| TYPE OF CONSTRUCTION I II III IV V | | VALUATION OF JOB \$1850.00 |
| FIRE RESISTANCE 1 NR N | | |
| OCCUPANCY GROUP A B C D E F G H I J | | |
| DIVISION 1 2 3 4 | | |
| FIRE ZONE 1 2 3 | DATE 9-10-54 | BY M. Prante |

| Building Permit Application | | | | APPLICANT FILL INSIDE HEAVY LINES | | PARCEL NO. | PLAN FILE NUMBER | PERMIT NUMBER | E27899 | |
|---|---|-------|-------------|--------------------------------------|--|---|------------------|---|--------|--|
| OWNER | NAME (OR NAME OF BUSINESS) | | | | | JOB ADDRESS | | | | |
| | Master Cleaners | | | | | 5586 University Ave. | | | | |
| | MAILING ADDRESS (NUMBER) (STREET) | | | | | SIDE Y. (INT.) SIDE YARD (ST.) SET BACK AV. OF BLK. REAR YARD | | | | |
| ARCHITECT | 5586 University Ave. | | | | | 0 0 0 | | | | |
| | CITY TELEPHONE NUMBER | | | | | USE ZONE MAP NUMBER VACANT SITE | | | | |
| | San Diego 582-2278 | | | | | E 212-1746 <input type="checkbox"/> YES <input type="checkbox"/> NO | | | | |
| CONTRACTOR | NAME | | | | | LOT AREA SQ. FT. ALLOWED LOT COVERAGE TOTAL LOT AREA COVERED SQ. FT. | | | | |
| | ADDRESS (NUMBER) (STREET) | | | | | B.I.S. CODE CENSUS TRACT VARIANCE NUMBER CURB TO P.L. | | | | |
| | CITY TELEPHONE NUMBER | | | | | 22 F-278 F. S. | | | | |
| JOB LOCATION | NAME | | | | | ENCROACHMENT PERMIT REQ'D. STREET IMPROVED GRADE CHECK | | | | |
| | Valley Roofing Co. | | | | | <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO | | | | |
| | ADDRESS (NUMBER) (STREET) | | | | | METER SIZE SERVICE SIZE CHECKED BY | | | | |
| PROPOSED WORK | 1348 Vandever Ave. | | | | | REMARKS | | | | |
| | CITY TELEPHONE NUMBER | | | | | NO. OF ADDITIONAL CONNECTIONS REQUIRED | | | | |
| | San Diego 26-5732 | | | | | VERIFIED BY | | | | |
| JOB LOCATION | STATE LICENSE NUMBER | | CLASS. NO. | CITY LICENSE NUMBER | | REMARKS | | | | |
| | 132198 | | E-39 | 3468 | | | | | | |
| | LOT | BLOCK | SUBDIVISION | UNIT | | FIRE ZONE TYPE OF CONST. OCCUP. GROUP TOTAL FLOOR AREA | | | | |
| PROPOSED WORK | JOB ADDRESS | | | | | SPECIAL INSPECTOR REQ'D. FOR | | | | |
| | 5586 University Ave. | | | | | <input type="checkbox"/> CONCRETE <input type="checkbox"/> MASONRY | | | | |
| | LOCATION OF SOIL AT JOB SITE | | | | | <input type="checkbox"/> WELDING <input type="checkbox"/> PIPE DRIVING | | | | |
| PROPOSED WORK | <input type="checkbox"/> ORIGINAL <input type="checkbox"/> COMPACTED FILL <input type="checkbox"/> LOOSE FILL | | | | | NUMBER OF PLAN CHECK RECEIPT NO. | | | | |
| | WORKED IN SOILS | | | | | STORIES | | | | |
| | Built up to roof | | | | | BUILDING VALUATION NO. OF BLDGS. PER BLDG. TOTAL | | | | |
| PROPOSED WORK | <input type="checkbox"/> MOVE <input type="checkbox"/> ALTER <input type="checkbox"/> DEMOLISH <input checked="" type="checkbox"/> REPAIR | | | | | BUILDING PERMIT FEE FUND & ACCOUNT | | | | |
| | NUMBER OF DWELLING UNITS | | | | | LESS PLAN CHECK FEE | | | | |
| | | | | | | SUB-TOTAL | | | | |
| PROPOSED WORK | <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> NON-RESIDENTIAL | | | | | SEWER PERMIT FEE | | | | |
| | | | | | | SEWER FEE | | | | |
| | | | | | | WATER FEE | | | | |
| I hereby acknowledge that I have read this application, that the information given is correct, and that I am the owner, or the duly authorized agent of the owner, I agree to comply with city and state laws regulating construction, and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance. | | | | | | ATTENTION | | TOTAL FEES DUE | | |
| SIGNATURE OF OWNER OR AGENT: | | | | | | THIS PERMIT AUTHORIZES ONLY THE WORK NOTED | | 5.00 | | |
| AGENT FOR: | | | | | | INSPECTION DEPARTMENT | | APPLICATION APPROVAL | | |
| Valley Roofing Co. | | | | | | CITY OF SAN DIEGO | | THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED. | | |
| ADDRESS | | | | | | 1348 Vandever Ave. | | SIGNATURE OF DEPT. OF INSP. DEPUTY | | |
| COUNTY SANITATION DISTRICT PRIVATE DISPOSAL APPROVAL RECEIPT NO. | | | | | | 10-11-68 | | DATE | | |
| HEALTH DEPT. APPROVAL PLOT PLAN CHECK & APPROV LOT SPLIT DATE | | | | | | FORM IN-255 (4-68) | | INSPECTOR | | |

| | |
|---|--|
| LOCATION OF JOB 5530 University BLVD. | INSPECTION DEPT. <i>N</i> CITY OF SAN DIEGO |
| C. J. Spinati | APPLICATION FOR PERMIT |
| Charles W. Schuchman | NO. 15074 |
| 515 | \$ 50 |
| University Blvd. & 16th | \$ 435 |
| 3' 6" x 4' 6" | \$ 435 |
| LOT 20 | \$ 435 |
| I hereby certify that the above is a true and correct copy of the above stated work and that the building or construction will conform with the rules and regulations of the work authority of the city of San Diego and that in violation of the provisions of the rules and regulations relating to workmanship or quality of work. | \$ 435 |
| SIGNED: Charles W. Schuchman FORM 11 | PAID CLERK N. J. 5002 P. C. LINDSEY CITY ENGINEER |

| CITY OF SAN C. INSPECTION DEPARTMENT | | BUILDING PERMIT APPLICATION FORM | |
|--|--|----------------------------------|-------------------------------------|
| FEE: \$100.00 (NON-REFUNDABLE) | | FEE: \$100.00 (NON-REFUNDABLE) | |
| 1. NAME OF OWNER | 2. ADDRESS (ENTER ONLY STREET NO. & STREET NAME, DO NOT ENTER HOUSE NO.) | 3. NAME OF CONTRACTOR | 4. PRESENT MAILING ADDRESS OF OWNER |
| D. J. [illegible] | UNIV AVE. | E. M. [illegible] | [illegible] |
| 5. APPLICANT'S TELEPHONE NUMBER | 6. TYPE OF CONSTRUCTION (CHECK ONE: NEW, ALTER, REPAIR, ETC.) | 7. LOCATION OF WATER METER | 8. SIZE OF WATER METER DESIRED |
| 7-8114 | NEW | UNDER FLOOR | 1/2" |
| 9. COMPLETE LIST OF MATERIALS TO BE USED (SEE LIST OF MATERIALS ON PAGE 2) | 10. VALUATION OF BUILDING | 11. SIGNATURE OF APPLICANT | 12. DATE |
| FOR [illegible] | \$21,000.00 | [illegible] | 1-15-03 |

| | | | |
|--|---|---|--------------------------------|
| JOB ADDRESS | | PLAN FILE NO. | |
| HOUSE NO. | STREET | 1335 | |
| 5570 | Univ. Ave | NO PLAN FILE NO. <input type="checkbox"/> | |
| APPLICATION FOR BUILDING PERMIT BUILDING INSPECTION DEPT. - CITY OF SAN DIEGO | | | |
| APPLICANT: PRINT WITHIN HEAVY LINES ONLY | | | |
| COMPLETE LEGAL DESCRIPTION OF PROPERTY LOT 29 BLOCK ADDITION OR SUBDIVISION Lemon Villa | | | |
| TYPE OF BUILDING TO BE CONSTRUCTED DWELLING <input type="checkbox"/> STABLE <input type="checkbox"/> GARAGE <input checked="" type="checkbox"/> Boiler rm. - garage. | | | |
| NUMBER OF FLOORS | IS THERE AN EXISTING BUILDING NOW ON THIS SITE? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> | | |
| NUMBER OF STORIES | IS "YES" IS IT RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> OTHER <input type="checkbox"/> | | |
| CLASS OF WORK NEW <input type="checkbox"/> REPAIR <input type="checkbox"/> ADDITION <input type="checkbox"/> MOVE <input type="checkbox"/> ALTERATION <input type="checkbox"/> DEMOLISH <input type="checkbox"/> | | FLOOR SPACE IN SQ. FT. 1600 | VALUATION OF JOB See # 1077 |
| OWNER | NAME AND MAILING ADDRESS Dominic Spinali 5151 34th TEL. AT 12427 | | |
| CONTRACTOR | NAME AND ADDRESS SH Lehuber STATE LICENSE NO. 10061414 TEL. 10061414 | | |
| I HEREBY CERTIFY THAT THE ABOVE APPLICATION IS CORRECT, THAT CONSTRUCTION WILL COMPLY WITH ALL LAWS, AND I WILL NOT EMPLOY ANY PERSON IN VIOLATION OF THE STATE OF CALIFORNIA LABOR CODE RELATING TO WORKMAN'S COMPENSATION INSURANCE. | | | |
| SIGNATURE OF APPLICANT Dominic Spinali | | | DATE 6/22 |
| FOR PLANNING COMMISSION USE ONLY | | | |
| DIST CODE 11 | DEPARTMENT F27 | USE ZONE C M P 2 4 a b c | DATE 6/22/04 |
| FOR BUILDING INSPECTION DEPARTMENT USE ONLY | | | |
| TYPE OF CONSTRUCTION I II III IV V III | | | VALUATION OF JOB \$6900.00 |
| FIRE RESISTANCE 1 NH M | | | |
| OCCUPANCY GROUP A B C D E F G H I J E | | | |
| FIRE ZONE 1 2 3 3 | | | DATE 6-22-04 BY Marsat |

BUILDING INSPECTION RECORD

PAID
DEPARTMENT

| INSPECTION | DATE OF APPROVAL | INSPECTOR'S SIGNATURE |
|-------------------------|---|-----------------------|
| 1. ALL SETBACKS | 7/9/54 | CH Malls |
| 2. EXCAVATION & FORMS | 7/9/54 | CH Malls |
| 3. CONCRETE | | |
| 4. REINFORCED STEEL | 8/27/54 | CH Malls |
| 5. BRICK BLOCKS | | |
| 6. BOND BEAM | | |
| 7. FRAME | 10-10-54 | |
| 8. ROOFING | | |
| 9. ROOM VENTILATION | | |
| 10. KITCHEN VENT | | |
| 11. BATHROOM VENT | | |
| 12. FOUNDATION W/T | | |
| 13. ACCESS HOLE | | |
| 14. ATTIC | | |
| 15. INSIDE FIREPROOFING | | |
| 16. FIREPLACE | | |
| 17. HEATER VENTS | | |
| 18. BATH | 8-10-54 | CH Malls |
| 19. | | |
| 20. | | |
| 21. | | |
| 22. | | |
| 23. | | |
| 24. | | |
| 25. FINAL | 8-23-54 | CH Malls |
| NO. ABOVE | REPORT OF SPECIAL OR UNUSUAL CONDITIONS | |
| 1 | Ch. Malls Engineer before pouring | |
| 2 | inspector - 100% please as found | |
| 3 | and - check later | |
| 4 | 8/20/54 - 100% please as found | |
| 5 | 10/10/54 - 100% please as found | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

02 15 20

| ELECTRICAL PERMIT APPLICATION | | JOB ADDRESS | |
|---|--|---|-----------------------------|
| APPLICANT NAME Baker Electricians | | 5556 University Ave | |
| ADDRESS 5591 University Ave | | CENSUS TRACT NUMBER 27.03 | PERMIT NUMBER N42181 |
| JOB ADDRESS 5556 University Ave | | UNIT NUMBERS | METER SHEET NO |
| LEGAL DESCR | | N42181 | |
| LOT | | RES | |
| BLOCK | | COM | |
| SURVEY | | THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION OR HIS DEPUTY AND FEES ARE PAID AND RECEIPT IS ACKNOWLEDGED IN THE SPACE PROVIDED | |
| OWNER NAME William L. Baker | | NEW <input checked="" type="checkbox"/> RES <input type="checkbox"/> TEMP <input type="checkbox"/> PERM <input type="checkbox"/> | |
| OWNER ADDRESS 5591 University Ave | | RES <input type="checkbox"/> COM <input type="checkbox"/> | |
| OWNER CITY San Diego | | 7.00 IPER | |
| OWNER PHONE 619-292-1025 | | 3.00-CH | |
| CONTRACTOR NAME Baker Electricians | | 0.00-BA | |
| CONTRACTOR ADDRESS 5591 University | | | |
| CONTRACTOR CITY San Diego | | | |
| CONTRACTOR CITY LIC NUMBER 11784 | | | |
| CONTRACTOR STATE CA | | | |
| CONTRACTOR LIC NUMBER 384534 | | | |
| CONTRACTOR CLASS CH | | | |
| CONTRACTOR ZIP CODE 92105 | | | |
| CONTRACTOR TEL NO 619-297-8750 | | | |
| DESIGNER NAME | | TYPE OF STRUCTURE <input type="checkbox"/> ONE OR TWO FAMILY <input type="checkbox"/> OTHER <input type="checkbox"/> | |
| DESIGNER ADDRESS | | USE APPROPRIATE FEE SCHEDULE | |
| DESIGNER CITY | | A. NEW RESIDENTIAL CONSTRUCTION ONLY | |
| | | NEW SINGLE FAMILY <input type="checkbox"/> | |
| | | NEW MULTIFAMILY <input type="checkbox"/> | |
| | | S. ALL OTHER WIRING INSTALLATIONS | |
| | | THIS PERMIT AUTHORIZES ONLY THE WORK NOTED | |
| | | 2.00 | |
| | | 7.50 | |
| | | 9.50 | |
| | | TOTAL FEE DUE | |
| | | 12.00-80 | |
| | | DATE | |
| | | SIGNATURE | |
| | | INSPECTION | |

LICENSED CONTRACTOR'S DECLARATION: I hereby certify that I am a duly licensed contractor under the provisions of the California Electrical Code and the California Building Code, and that I am the owner of the business in which I am engaged. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm.

OWNER-BUILDER DECLARATION: I hereby certify that I am the owner of the property on which the work is to be done, and that I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm.

WORKER'S COMPENSATION DECLARATION: I hereby certify that I am a duly licensed contractor under the provisions of the California Electrical Code and the California Building Code, and that I am the owner of the business in which I am engaged. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm.

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE: I hereby certify that I am a duly licensed contractor under the provisions of the California Electrical Code and the California Building Code, and that I am the owner of the business in which I am engaged. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm.

CONSTRUCTION LENDING AGENCY: I hereby certify that I am a duly licensed contractor under the provisions of the California Electrical Code and the California Building Code, and that I am the owner of the business in which I am engaged. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm. I am not a partner, agent, or employee of any other person or firm.

APPLICANT'S SIGNATURE: **William L. Baker**

OWNER: ☐ **AGENT:** ☐

DATE: **12-12-80**

ELECTRICAL Permit Application

SEPARATE APPLICATION
REQUIRED FOR EACH
BUILDING

| | | | |
|------------------------------------|---|-------------------------|-------------------------------------|
| OWNER | NAME (OR NAME OF BUSINESS) <i>John Romero</i> | | |
| | MAILING ADDRESS (NUMBER) (STREET) <i>5556 University Ave</i> | | |
| CONTRACTOR | (CITY) <i>SAN DIEGO CA</i> | ZIP <i>92123</i> | TELEPHONE NUMBER <i>462-1096</i> |
| | NAME <i>Pacific Engineers</i> | | |
| | ADDRESS (NUMBER) (STREET) <i>8971 B Complex DR</i> | | |
| | (CITY) <i>S.D.</i> | ZIP <i>92123</i> | TELEPHONE NUMBER <i>242-5042</i> |
| STATE LICENSE NO. <i>260235</i> | | CLASS NO. <i>C10</i> | CITY LICENSE NUMBER <i>19147</i> |

JOB ADDRESS

5556 University Ave

CENSUS TRACT NUMBER *27.02* PERMIT NUMBER *187293*

UNIT
NUMBERS

METER SHEET N

NEW

RESET

TEMP.
METERTEMP.
POLE

PERM.

RES.
CGM.

PAID 1-7-03 1051320 + 45 = 1051365

JOB ADDRESS

5556 University Ave

TYPE OF STRUCTURE — ONE OR TWO FAMILY ☐ OTHER ☒

FEE SCHEDULES Check appropriate block

A USE FEE SCHEDULE A FOR NEW RESIDENTIAL CONSTRUCTION ONLY RES ☐ APT ☐

B USE FEE SCHEDULE B FOR NEW TOWN AND ALL REMODELS NEW ☐ REMODEL ☐ RES ☐ COM ☐ APT ☐ NC ☐

Enter the number of circuits, feeders, and/or services to be installed in the left-hand column by the correct size.

CIRCLE THE AMOUNT IN THE APPROPRIATE COLUMN

DESCRIPTION OF WORK TO BE DONE

Upgrade to 200A

Grounding Conversion

Change in Service

I hereby acknowledge that I have read this application, that the information given is correct, and that I, as the owner or the duly authorized agent of the owner, agree to comply with city and state laws regulating construction. In the event I do not comply with the Workmen's Compensation Law, this permit shall be deemed revoked.

SIGNATURE OF OWNER OR AGENT

John Romero DATE *6-1-03*

FOR *Pacific Engineers*

8971 B Complex DR SD

NOTE: CONTRACTORS ARE AUTHORIZED TO CONSTRUCT ONLY WORK RECOGNIZED BY THE STATE CONTRACTORS LICENSE BOARD AS BEING WITHIN THEIR CLASSIFICATION.

CALL 236-6256 FOR INSPECTION

APPLICATION APPROVAL

DATE

PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION OR HIS DEPUTY. FEES ARE PAID, AND RECEIPT IS FURNISHED IN SPACE PROVIDED.

TYPE OF BLDG

DEPUTY

REV 3-78

ATTENTION
DIRECTOR
OF BUILDING
INSPECTION

RECEIVED
CITY OF
SAN DIEGO

CITY OF
SAN DIEGO

Min. Fee \$5.00
NOT REFUNDABLE
SUB-TOTAL (SINGLE UNIT)

NO. OF
UNITSSINGLE UNIT
FEE

TOTAL FEE DUE

FUND 100

REVENUE ACCT 7344

Fees

For New Residential
Construction Only

No Amps

10

x \$.25

For each ampere of service
fuse or breaker size

30

x \$.45

| Circuit Size Amperes | 115-230V 120-208V | Voltage 277-480 | Over 600 V |
|-------------------------|----------------------|--------------------|---------------|
| 0-20A 1 to 100 incl | \$ 1.50 | \$ 3.00 | \$ 6.00 |
| 0-20A More than 100 | .75 | 1.50 | 6.00 |
| 25 - 35A | 2.00 | 4.00 | 8.00 |
| 40 - 45A | 3.00 | 6.00 | 12.00 |
| 50 - 99A | 4.00 | 8.00 | 16.00 |
| 100 - 199A | 5.00 | 10.00 | 20.00 |
| 200 - 399A | 6.00 | 12.00 | 24.00 |
| 400 - 599A | 7.00 | 14.00 | 28.00 |
| 600 - 799A | 8.00 | 16.00 | 32.00 |
| 800 - 999A | 9.00 | 18.00 | 36.00 |
| 1000A & Larger | 10.00 | 20.00 | 40.00 |

TEMPORARY SERVICE

0-200 Amperes
Fee—5.00

TEMPORARY POLE CONST

Over 200A
Fee—25.00

5.00

5556 UNIVERSITY AVENUE

THE CITY OF SAN DIEGO

NOTICE OF OCCUPANCY APPROVAL



The building described below, located at the above address, is approved for the following use or occupancy:

One-story, wood frame residence used as an office
for used car sales (300 sq. ft. floor area).

This is a LIMITED APPROVAL for the specific occupancy described and is based on a maximum combustible loading of 10 lbs. per sq. ft. of floor area and a maximum occupant load of 10 or less. Any addition to the building or change in the character of the occupancy will void this approval.

G. W. CURTIS, DIRECTOR
INSPECTION DEPARTMENT

7 ISSUED: September 10, 1971

BY: _____

Plumbing and Gas

PERMIT APPLICATION INSIDE HEAVY LINES

PERMIT NO.

C28582

OWNER'S NAME

ART CUFFO

MAIL ADDRESS

A15695

CITY

TELE NO.

AT 16353

PLUMBING CONTRACTOR ADDRESS

Paul J. Ruff

CITY

TELE NO.

STATE LICENSE NO.

73980

NEW SEWER

☐

EXISTING SEWER

☐

SEPTIC TANK

☐

USE OF BLDG.

RES. COLAM'L

☐

NO. OF FAMILIES

PERMIT FEES

| TYPE | NO. | FEE | TYPE | NO. | FEE |
|-------------------|-----|-----|------------------|-----|------|
| GARIBORS | | | SHOWER DRAINS | | |
| RENTAL CUP DORS | | | SINKS - KITCHEN | | |
| DISHWASHERS | | | SINKS - OTHER | | |
| DRINK FOUNTAINS | | | URINALS | | |
| FLOOR GRAB | | | WASH BASINS | | |
| GARBAGE GRINDER | | | WASH MACH. DRAIN | | |
| HOUSE SEWERS | | | WATER CLOSETS | | |
| INTERSEPTORS | | | WATER HEATERS | | |
| LAUNDRY TUBS | | | WATER SOFTENERS | | |
| RECEPTORS | | | PERMIT, GAS | | 2.00 |
| GAS OUTLET (GRIP) | | | PERMIT, PLUMB. | | |
| GAS OUTLET (RSE) | | | TOTAL FEE | | 2.00 |

I hereby acknowledge that I have read this application; that the information is correct; and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction; and in doing the work authorized thereby, no person will be employed in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

SIGNATURE OF PERMITTEE

Paul J. Ruff

JOB ADDRESS

5556 University

INSPECTION APPROVAL

| INSPECTION | DATE | INSPECTOR |
|----------------------------|---------|-----------|
| PLUMBING — | | |
| 1. GROUND WORK | | |
| 2. VENTS | | |
| 3. BATH W & O | | |
| 4. CLOSET RING | | |
| 5. HOUSE SEWER | | |
| 6. PROPERTY LINE CLEAN OUT | | |
| 7. ROUGH COMPLETE | | |
| 8. FINAL | | |
| GAS — (over) | | |
| 1. PIPE SIZE AND/OR COVER | 9-29-60 | W |
| 2. AIR TEST | 9-29-60 | W |
| 3. VENTS & CAPS | 9-29-60 | W |
| 4. UNITS | 9-29-60 | W |
| 5. VALVES | 9-29-60 | W |
| 5. FINAL | 9-29-60 | W |

DATE OF: SEWER RELEASE

453 GAS RELEASE

9-28-60

NO GAS METERS

USE ZONE

1800 weather A15695

3-3900

ATTENTION

THIS PERMIT AUTHORIZES ONLY THE WORK LISTED

INSPECTION DEPARTMENT

CITY OF SAN DIEGO

APPLICATION APPROVAL

THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY DIRECTOR OF INSPECTION DEPARTMENT OR HIS DEPUTY, AND FEES ARE PAID AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.

By:

Date:

INSPECTOR

Legacy BPIS Permits



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

9/21/17 1:47 pm

Page 1 of 1

Y41-920-01

Project Information

Legacy PMT ID: 1635137
Plan File: A-112676-02
Contractor Info:
License: Phone:
Expires:
Status: A
Worker's Comp. Ins: UNK
Policy:
Expires:
OTC: ☐
Submitted: 09/30/2002
Owner Builder: ☐
CLS:
BTC:

Purpose of Permit

Address: 005556 UNIVERSITY AV
Permit Num:
Comments:
Address ID:
Status: E
Issued:
Expires:
Finaled:
APN: 472-410-0500
Structure: 001
BC Code: 0101
BC Desc: VARIANCE PROCESS 2
Desc. of Work: SINGLE DISCIPLINE PRELIM REVIEW FOR PLANNING REVIEW
FOR RESIDENTIAL CARE FACILITY **PTS # 5252 **

Structure Information

| | | | | |
|-----------|-------------|---------------------|------------------|-------|
| Lot: | Model/Desc: | Type of Constr: | Insp Cat: S | Soil: |
| Bedrooms: | | Stories: | OCC Group: | |
| Studio: 0 | | Permitted: Units: 0 | OCC Load: | |
| 1: 0 | | Fir Area: | | |
| 2: 0 | | | | |
| 3: 0 | | Total: Units: 0 | Plan Chech Fee: | |
| 4: 0 | | Fir Area: | Valuation: Init: | |
| 5: 0 | | Bldg Area: | Final: | |

Project Fee Calculation

| Qty | Description | Fee | Fund | Account | Paid | Key |
|-----|------------------------|----------|-------|---------|----------|------|
| 1 | SINGLE DISC PRELIM REV | \$300.00 | 41300 | 77124 | \$300.00 | PR60 |

Project Fee Summary

| Invoice No | Amount | Printed | Init | Payment Time | Cashier | ST | Revenue Date |
|-----------------------------|----------|------------|-----------------------------|------------------|----------|----|--------------|
| 0038390 02 | \$300.00 | 09/30/2002 | CPW | 09/30/2002 09:07 | LLC | S | 10/01/2002 |
| Total Fees Incurred: | | \$300.00 | Amount Paid To Date: | | \$300.00 | | |



Appendix C

Assessor's Building Records

RESIDENTIAL BUILDING RECORD

ADDRESS 5556 Broadway Ave

PARCEL 472-410-5
SHEET 1 OF 1 SHEET

DESCRIPTION OF BUILDING

| CLASS & SHAPE | | CONSTRUCTION | STRUCTURAL | EXTERIOR | ROOF | LIGHTING | AIR CONDITION | ROOM AND FINISH DETAIL | | | | |
|---------------|--------------------|--------------------|--------------------|---------------|---------------|------------------|---------------|------------------------|--------|--------------|------|-----------------|
| ARCHITECTURE | Stories | Light | Foundation | Stucco on c/w | Pitch | Wiring | Heating | Rooms | Floors | Floor Finish | Trim | Interior Finish |
| 2-5H | 1 | Sub-Standard | Concrete Block | Siding "A" | Hip | B.X. Cable | Wall Unit | All | | | | |
| Use | Design | Foundation | Brick | Shingle | Cut Up | Few | Zone Unit | Ent Hall | | | | |
| Double | Reinforced | Brick | Shake | Shingle | Roof. "A" | Many | Floor Unit | Living | | | | |
| Duplex | 2m "A" "A" | Brick | B.A.D. T.A.G. | Shake | Gutters | Plumbing | Central | Dining | | | | |
| Apartment | Wood | Sub-Floor | Stone | Shake | Tile | Sink | Oil Burner | Bed | | | | |
| Flah. Court | Piers | Concrete Floor | Windows | Shake | Tile Trim | Laundry | M-B.T.U. | Bed | | | | |
| Motel | Insulated Ceilings | Insulated Ceilings | Metal Sash | Shake | Tile Trim | Water Hth. Aqua. | Fireplace | Kitchen | | | | |
| 1 Units | Light | Heavy | Insulated Ceilings | Screens | Comp. Shingle | Water-Softner | | Drain Bd. | | | | |

| CONSTRUCTION RECORD | | EFFEC. YEAR | APPR. YEAR | NORMAL % GOOD | RATING (E, G, A, F, P) | BATH DETAIL | | | | SPECIAL FEATURES | | | | | | |
|---------------------|----------|-------------|------------|---------------|------------------------|-------------|-----|-------|-------------------|------------------|-----------|---------|--------|----------|--------|---|
| No. | For | Amount | Date | Age | Remaining | Table | % | Cond. | Arch. Func. Coor. | Storage Space | Work-Shop | Fl. No. | Finish | Fixtures | Shower | |
| 55808 | Building | 5300 | 10/61 | 1951 | 7 | 48 | 858 | 93 | A | F | A | A | 1 | 1 | 1 | 1 |
| | | | | 1951 | 1466 | 15 | 46 | 89 | | | | | | | | |
| | | | | 1951 | 1972 | 21 | 35 | 77 | -A | | | | | | | |

| Appraiser & Date | | Area | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost |
|------------------|-----|------|-----------|------|-----------|------|-----------|------|-----------|------|-----------|------|-----------|------|-----------|------|
| OFFICE | 672 | 79 | 5309 | | 10.20 | 6854 | | | | | | | | | | |
| APPV | 144 | 300 | 288 | | | 288 | | | | | | | | | | |
| 11.20 | | | 1.20 | | | 1.20 | | | | | | | | | | |
| TOTAL | | | 5717 | | 5717 | 7222 | | | | | | | | | | |
| NORMAL % GOOD | | | 93 | | 89 | 77 | | | | | | | | | | |
| R.C.L.N.D | | | 5317 | | 5088 | 5592 | | | | | | | | | | |

MISCELLANEOUS STRUCTURES

| Structure | Found | Cons. | Ext. | Roof | Floor | Int. | Size, etc. |
|-----------|-------|-------|------|------|-------|------|------------|
|-----------|-------|-------|------|------|-------|------|------------|

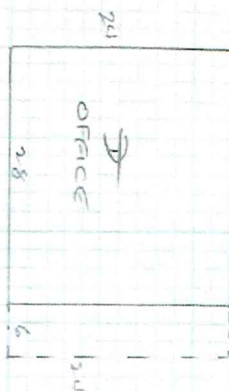
COMPUTATIONS

24x28 672

131 790

1972 27

10.20

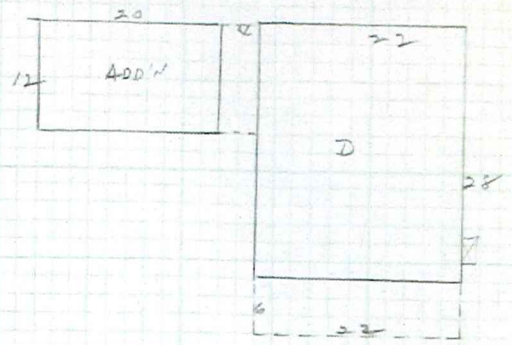


USED CAR LOT

" GULFSTREAM
AUTO SALES

Handwritten area

Remarks: 40.4. 31.



| MISCELLANEOUS STRUCTURES | | | | |
|--------------------------|------|------|-------|-----|
| Cons. | Ext. | Roof | Floor | Ln. |

[illegible]

~~COMPUTATIONS~~

$$32 \times 27 = 704$$

pt 780

1972 BF

990

Remarks:

| CLASS & SHAPE | CONSTRUCTION |
|---------------|--------------|
| 1 | 1 |
| 2 | 2 |
| 3 | 3 |
| 4 | 4 |
| 5 | 5 |
| 6 | 6 |
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| 97 | 97 |
| 98 | 98 |
| 99 | 99 |
| 100 | 100 |

[illegible]

COMPUTATION

[illegible]

| | |
|-----|-------|
| 41- | 7965 |
| 2- | 6799 |
| | <hr/> |
| | 14764 |
| | |
| | <hr/> |
| | 7089 |
| | 5915 |
| | <hr/> |
| | 13004 |

MISCELLANEOUS STRUCTURES

| Structure | Found | Cons. | Ext. | Roof | Floor | Int. | Size, etc. |
|-----------|-------|-------|------|------|-------|------|------------|
|-----------|-------|-------|------|------|-------|------|------------|

4

22x25x 616 ~~COMPUTATIONS~~

PER 100 ~~8.20~~

1972 BP 10.20

Remarks: 4 in. x 22 in. 1.82 ft. 34.84

as with 4 in. x 22 in. 1.82 ft. 34.84

about 1000 lbs. from a 1000

RESIDENTIAL BUILDING RECORD

ADDRESS: 5570 UNIVERSITY AVE

PARCEL: 472-112-070 TTY
SHEET 4 OF 5 SHEET

DESCRIPTION OF BUILDING

| CLASS & SHAPE CONSTRUCTION | | STRUCTURAL | | EXTERIOR | | ROOF | | LIGHTING | | AIR CONDITION | | ROOM AND FINISH DETAIL | | | |
|----------------------------|-----------|--------------------|-----------------|----------------|----------------|------------------|----------|------------|------------|---------------|------------------|------------------------|-----------------|----------|--|
| ARCHITECTURE | Light | Frame | Stucco on L.V. | For | Pitch | Wiring | Heating | Cooling | Rooms | Floors | Floor Finish | Trim | Interior Finish | | |
| Stories | Standard | 2" x 4" - 16" | Siding | Hip | Shed | K.T. | Conduit | Forced | Clean | All | Material | Grade | Walls | Ceilings | |
| Use | Design | Foundation | Brick | Shingle | Stone | Shingle | Roof | Chimney | Floor Unit | Zone Unit | Control | Bed | Living | Dining | |
| Single | Double | Reinforced | 2nd | 3rd | 4th | 5th | 6th | 7th | 8th | 9th | 10th | 11th | 12th | 13th | |
| Duplex | Apartment | Wood | Sub-Floor | Concrete Floor | Stone | Shingle | Shake | Tile | Sink | Laundry | Water Hth. Auto. | Fireplace | Kitchen | Material | |
| Hotel | Hotel | Insulated Ceilings | Insulated Walls | Screens | Compo. Shingle | Water - Softener | M-B.T.U. | Oil Burner | Bed | Bed | Bed | Bed | Bed | Bed | |
| 82513 | CONV. | 21000 | 1852 | 1952 | 1966 | 6 | 44 | 60 | 91 | P | F | F | F | F | |
| 70 | STOCKS | 1952 | 1966 | 14 | 41 | 855 | 88 | P | F | F | F | F | F | F | |
| | | 1952 | 1970 | - | 41 | 855 | 88 | P | F | F | F | F | F | F | |
| | | 1952 | 1972 | 20 | 25 | 445 | 73 | F | F | F | F | F | F | F | |

| CONSTRUCTION RECORD | | | | EFFECT. APPR. YEAR | | | | NORMAL % GOOD | | | | RATING (E, G, A, F, P) | | | | FINISH | | | | BATH DETAIL | | | | | | | |
|---------------------|-----|--------|------|--------------------|------|-----|------|---------------|---|-------|-------|------------------------|------|---------|-------|--------|---------|--------|-------|-------------|-------|-------|-------|-------|-------|-------|-------|
| Permit | For | Amount | Date | YEAR | YEAR | Age | Life | Table | % | Cond. | Arch. | Pure. | Can. | Storage | Space | Work. | Fl. No. | Floors | Walls | Walls | Walls | Walls | Walls | Walls | Walls | Walls | Walls |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| SPECIAL FEATURES | | | |
|------------------|----------|-----------|-----------------|
| Book Cases | Shutters | Vent. Fan | Venetian Blinds |
| | | | |

COMPUTATION

| Appraiser & Date | Unit | Area | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost |
|------------------|------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|
| Unit | Area | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost | Cost | Unit Cost |
| STOCKS | 1920 | 8.00 | 15320 | 500 | 7600 | | | | | | | | | | | | | |
| Heating | 320 | 200 | 640 | | | | | | | | | | | | | | | |
| TOTAL | | | 17680. | | 17680 | | 10240 | | 10240 | | | | | | | | | |
| NORMAL % GOOD | | | 91 | | 88 | | 86 | | 73 | | | | | | | | | |
| R.C.L.N.D | | | 16089 | | 15558 | | 8806 | | 7975 | | | | | | | | | |

| Structure Found | Cons. | Ext. | Roof | Figur. | Int. | Size, etc. |
|-----------------|-------|------|------|--------|------|------------|
|-----------------|-------|------|------|--------|------|------------|

[illegible]

COMPUTATIONS

D.F =

20

142

14 15
16 0

50.

Remarks: ① APTS Ground Lovers Life Due to

LATICIZATION IN CONJUNCTION WITH CLEANING BUS. 6-7-50 am

Ed good for spouses to remain in state with retirement on parcel 8-21-69

COMMERCIAL-INDUSTRIAL BUILDING RECORD

Account No. 1505296

ASSESSOR, SAN DIEGO COUNTY

Parcel No. 4121-2410-4413

NAME ADDRESS 5870 UNIVERSITY AVE SHEET 3 OF 5

| CLASS & SHAPE | | FRAME | | TRUSSES | | EXT. FINISH | | ROOF | | LIGHTING | | FRONT | | INTERIOR CONSTRUCTION | | | | | |
|--|--|--|---|--|---|--|--|---|--|--|--|--|---|--|--|---|--|--|--|
| Zoned 1400 | | <input checked="" type="checkbox"/> Wood | <input checked="" type="checkbox"/> Concrete Reinf. | <input checked="" type="checkbox"/> Light Wood | <input checked="" type="checkbox"/> Heavy Steel | <input checked="" type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Flat | <input checked="" type="checkbox"/> Shed | <input checked="" type="checkbox"/> Standard | <input checked="" type="checkbox"/> Below Standard | <input checked="" type="checkbox"/> Type | NUMBER OF ROOMS | | FLOORS | | GD WALLS | | GD CEILING | |
| Stories 1 | | <input checked="" type="checkbox"/> Steel | <input checked="" type="checkbox"/> No Frame | Span Spaced | | <input checked="" type="checkbox"/> Metal | <input checked="" type="checkbox"/> Veneer | <input checked="" type="checkbox"/> Arch | <input checked="" type="checkbox"/> Gable | FIXTURES | | <input checked="" type="checkbox"/> Glass In | <input checked="" type="checkbox"/> Wood | <input checked="" type="checkbox"/> All | <input checked="" type="checkbox"/> 1 | <input checked="" type="checkbox"/> 2 | <input checked="" type="checkbox"/> 3 | <input checked="" type="checkbox"/> 4 | <input checked="" type="checkbox"/> 5 |
| USE DESIGN | | <input checked="" type="checkbox"/> Garage | <input checked="" type="checkbox"/> Warehouse | <input checked="" type="checkbox"/> Wood | <input checked="" type="checkbox"/> Concrete | <input checked="" type="checkbox"/> Wood | <input checked="" type="checkbox"/> Glass | <input checked="" type="checkbox"/> Metal | <input checked="" type="checkbox"/> Wood | <input checked="" type="checkbox"/> Fluorescent | <input checked="" type="checkbox"/> Incandescent | <input checked="" type="checkbox"/> Metal | <input checked="" type="checkbox"/> Glass Doors | <input checked="" type="checkbox"/> Auto No. | <input checked="" type="checkbox"/> Bulkhead | <input checked="" type="checkbox"/> Back Trim | <input checked="" type="checkbox"/> Lighting | <input checked="" type="checkbox"/> Drop Ceiling | <input checked="" type="checkbox"/> Restroom |
| <input checked="" type="checkbox"/> Office | | <input checked="" type="checkbox"/> Brick | <input checked="" type="checkbox"/> Conc. Blk | <input checked="" type="checkbox"/> Sub-Floor | <input checked="" type="checkbox"/> Elevation | <input checked="" type="checkbox"/> Unfinished | <input checked="" type="checkbox"/> Concrete | <input checked="" type="checkbox"/> Composition | <input checked="" type="checkbox"/> Built-Up | <input checked="" type="checkbox"/> 2-3 Fixtures | <input checked="" type="checkbox"/> Quality | <input checked="" type="checkbox"/> Bulkhead | <input checked="" type="checkbox"/> Office | <input checked="" type="checkbox"/> Lobby | <input checked="" type="checkbox"/> Hall | <input checked="" type="checkbox"/> Bath | <input checked="" type="checkbox"/> Restroom | <input checked="" type="checkbox"/> Elevator | <input checked="" type="checkbox"/> Skylines |
| FOUNDATION | | Tilt Up | | Concrete Reinf. | | WOOD | | ROOF COVER | | PLUMBING | | QUALITY | | DISP. PLATFORM | | RESTROOM | | ELEVATOR | |
| PARTY | | Masonry | | Wood | | Metal | | Metal | | Metal | | Metal | | Metal | | Metal | | Metal | |
| CONSTRUCTION RECORD | | | | | | | | | | | | | | | | | | | |
| Permit | | Amount | | Date | | EFFECT. YEAR | | APPR. YEAR | | Age | | Rem. Life | | Table | | % | | COND. ATTR. | |
| No. | | For | | Date | | YEAR | | YEAR | | Age | | Rem. Life | | Table | | % | | COND. ATTR. | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
| 21003 | | 21000 | | 1987 | | 1987 | | 1987 | | 6 | | 34 | | 0000 | | 93 | | D F | |
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COMPUTATIONS

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ADDRESS 5782 24th St.

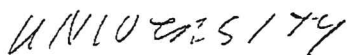
DESCRIPTION OF BUILDINGS

65E 5296

| Bldg. No | Structure | Size | Found | Wall & Exterior | Roof | | Floor & Interior Detail | 2nd Story or Loft | Year Built | Effec. Year | Table |
|----------|-----------------|---------|-------|-----------------|------|-------|-------------------------|-------------------|------------|-------------|-------|
| | | | | | Type | Cover | | | | | |
| 1 | Wood-G. Trusses | 1-1000 | | | | | | | 1974 | 1976 | OR 20 |
| 2 | " " | 1-2000 | | | | | | | 1974 | 1976 | OR 20 |
| 3 | " " | 2-2500 | | | | | | | 1974 | 1976 | OR 20 |
| 4 | " " | 1-2000 | | | | | | | 1974 | 1976 | OR 20 |
| 5 | Roof End | 3-2000 | | | | | | | 1974 | 1976 | OR 20 |
| 6 | Roof End | | | | | | | | 1974 | 1976 | OR 20 |
| 7 | Roof End | 21 x 17 | Roof | Wood | Roof | | | | 1943 | 1943 | OR 20 |
| 8 | Roof End | 79 x 22 | " | 10 BV & 10 " | Roof | | | | 1943 | 1943 | OR 20 |

COMPUTATION

[illegible]



65-296

ASSESSOR, SAN DIEGO COUNTY

Parcel No.

23-240-6

NAME Master Francis

ADDRESS 5582

SHEET 2 OF 5

[illegible]

| STRUCTURE | FOUND. | FLOOR | CONST. | EXT. | ROOF | DIN. | AREA/INI |
|-----------|--------|-------|--------|------|------|------|----------|
|-----------|--------|-------|--------|------|------|------|----------|

[illegible]
$$40 \times 88 = 3520$$

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$$40 \times 88 = 3520$$

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pre 216
Hofme 18702824 36

EXPRESS FILE 16

P1B5 .20

ELECTRIC 240

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1. The first step in the process of creating a new product is to identify a market need. This involves conducting market research to understand the target audience's preferences and pain points. Once a need is identified, the next step is to develop a concept that addresses this need. This stage often involves brainstorming and prototyping to refine the idea. The third step is to create a business plan, which outlines the financial aspects of the product, including costs, pricing, and revenue projections. Finally, the product is developed and launched into the market. Throughout this process, continuous feedback from customers and stakeholders is essential for making adjustments and improving the product.

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REMARKS:

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COMMERCIAL-INDUSTRIAL BUILDING RECORD

Parcel No. 4122, 4110, 4084, 13

23-560-6

Account No. 65-5296

ASSESSOR, SAN DIEGO COUNTY

NAME MASTER PLANNERS

ADDRESS 5582 UNIVERSITY AVE

SHEET 1 OF 5

CLASS & SHAPE C5H 2 Stories 2 USE DESIGN FLOOR WALLS

FRAME Wood Concrete Reinf. TRUSSES Light Heavy Steel

EXT. FINISH Stucco Metal Veneer Glass Unfinished

ROOF Flat Shed Arch Gable Wood Metal Concrete

LIGHTING Standard Below Standard

FRONT Type Desc. 8 1 1 2 3 FLOORS GD WALLS GD CEILING GD

INTERIOR CONSTRUCTION MATERIALS

Garage X Store X Office X Factory Warehouse

Plasterers Party

FOUNDATION Concrete Reinf. METAL

WINDOWS Wood

ROOF COVER Composition Built-Up Metal

PLUMBING Quantity 100 Fixtures

SPECIAL FEATURES

ITEM NO. CAPACITY MATERIAL OR TYPE QUAL.

Appraiser and Date

UNIT AREA/ UNIT UNIT COST UNIT COST UNIT COST UNIT COST UNIT COST UNIT COST

Store 1680 8.60 14448

Office Over 1680 8.20 13776

Mezzanine 360 3.20

TOTAL 28904

NORMAL % GOOD 98

R.C.L.N.D. 28326

CHECKED 25146

REVIEWED 27222

33608

81

27222

1

Appendix D

Master Property Records

MASTER PROPERTY RECORD

ASSESSOR'S DEPARTMENT, COUNTY OF SAN DIEGO, CALIFORNIA

TAX CODE AREA
8001 802

MAP PARCEL NO. 472 110 5
23 260 5

| 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 |
|-----------|------|--------|-------------|------------------------------|----------|----------------------|------------|-----------|--------------------|----------|----------------------------|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|
| REFERENCE | DATE | LAND | BLOGS, ETC. | IMPROVEMENTS TREES, VINES | FIXTURES | PERSONAL PROPERTY | EXEMPTIONS | NET TOTAL | SOLVENT CREDITS | TAX SALE | REMARKS CROSS REFERENCE | | | | | | | | | | | | | | | | | | | | |
| | 1950 | \$ 340 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1952 | | 1300 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1953 | | 1560 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1955 | 1230 | | | | 160 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1961 | 1510 | 1260 | | | 130 | | 2900 | | | | | | | | | | | | | | | | | | | | | | | |
| | 1962 | | | | | 130 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1963 | | | | | 130 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1964 | | | | | 130 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1965 | | | | | 120 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1966 | 2250 | 1000 | | | 110 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1967 | | | | | 110 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1968 | | | | | 110 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1951 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1952 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1953 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1954 | 3443 | 880 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1955 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1962 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 1966 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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OWNER
Schoenhoff, Sam & Martha Fern (Jr)

ADDRESS
1734 Trout St., S.D. 1

4044 South Ave. S.D. 5
4352 1/2 Hamilton St. S.D. 4 East H
5556 University Ave. S.D. 5
3952 33rd St. S.D. 1
3940 33rd St. S.D. 1
4560 60th St. Apt 23, San Diego, Ca 92115

MASTER PROPERTY RECORD ASSESSOR'S DEPARTMENT, COUNTY OF SAN DIEGO, CALIFORNIA

TAX CODE AREA

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| REFERENCE | DATE | LAND | BLDGS. ETC. | IMPROVEMENTS TREES-VINES | FIXTURES | PERSONAL PROPERTY | EXEMPTIONS | NET TOTAL | SOLVENT CREDITS | TAX SALE | REMARKS GROSS REFERENCE NU. UNITS |
|-----------|------------|-----------------------------------|-------------|---|----------|----------------------|------------|-----------|--------------------|----------|---|
| 1965 | | \$ 1870 | \$ 9370 | | | \$ 200 | | | | | |
| 1966 | | \$ 5000 | \$ 8880 | | | \$ 190 | | | | | |
| 1967 | | | | | | \$ 170 | | | | | |
| DATE | TRANS. NO. | ADDRESS | OWNER | ADDRESS | | | | | | | |
| 1965 | C5296 | Spinal 1, Dominic & Beatrice (JT) | | 5586 University Ave., San Diego, Calif. 92105 | | | | | | | |

MASTER PROBLEM RECORD
ASSESSOR'S DEPARTMENT, COUNTY OF SAN DIEGO, CALIFORNIA

MAP PARCELI No. 1164 7/3 T-4

8013 8007

1.72 1.70 0

| NO. | UNITS | REMARKS | CROSS REFERENCE |
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[illegible]

Appendix E

Notice of Completion

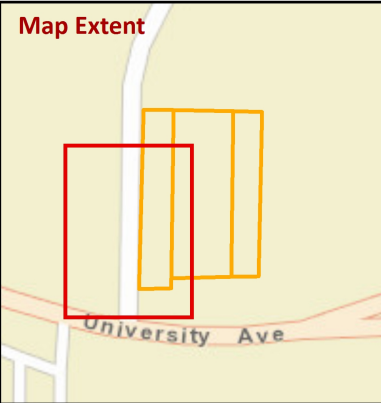
September 21, 2017

Notices of Completion could not be located.

Appendix F

Site Map and Photograph Key

Map Extent



Parcel Boundary

Building Number

Photo Point Location

0 17.5 35 Feet

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