Historical Resource Technical Report March 4, 2022

# 550 Washington Street San Diego, CA 92103

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# **Executive Summary**

The Scripps Mercy Hospital CUP Amendment project (Project) involves demolition of existing buildings and construction of new medical offices and hospital buildings at the Scripps Mercy Hospital Campus (Campus) in the Uptown community of the City of San Diego. The Project site is located on approximately 21.07 acres, generally at 4077 Fifth Avenue, and is currently developed with the Scripps Mercy Hospital Campus buildings, surface and structured parking, internal streets and driveways, and landscaping. The Project site is situated north of Washington Street, east of Fourth Avenue, east and west of Sixth Avenue, and south of existing development that is located along Arbor Drive. Regional access to the site is provided by State Route 163 (SR 163), immediately east of the Project site. Local access to the site is via Washington Street, Fifth Avenue, Lewis Street, and Fourth Avenue.

The Project involves a Conditional Use Permit (CUP) to amend existing CUP No. 304755, Site Development Permit (SDP) to amend existing SDP No. 531932, and a Planned Development Permit. Demolition includes multiple buildings and structures: the Facility Building, Generator Building and Cooling Tower, Behavioral Health Clinic, Hospital Building, 550 Washington Building, 550 Washington Parking Structure, Mercy Manor, Parking Lot 4.1, and Emergency Department. Multiple buildings and structures will remain: the Cancer Center and associated parking structure, currently under construction, as well as HRB #397, Mercy Hospital Historic Complex (the College Building, Mercy Gardens, and Mercy Chapel), the Central Energy Plant, and Parking Lot 12. In total, this scope of work encompasses the whole CUP Amendment Project.

The Project's construction includes Hospital I (15 stories, 630,000 square feet), Hospital II (15 stories, 380,000 square feet); Hospital Support Building (three stories with three levels of parking below ground, 65,000 square feet); Medical Office Building (seven stories above-grade, 200,000 square feet) and associated parking (three levels above-grade and two levels below-grade); a Central Energy Plant Expansion (2,400 square feet), and two Utility Yards.

Per the City of San Diego's Land Development Manual's Historical Resources Guidelines Appendix E Part 1.2 (Guidelines), a Historical Resources Technical Report (HRTR) is required for development permits that impact a potentially historic resource and the HRTR must analyze any potential historical resources under local San Diego, State, and National Criteria and evaluate any potential impacts.

The Project requires multiple development permits (an amendment to Conditional Use Permit (CUP) No. 304755, a Site Development Permit (SDP) to amend existing SDP No. 531932, a Planned Development Permit (PDP) to deviate from height and floor area ratios, a Neighborhood Use Permit (NDP) to address a comprehensive sign plan, Tentative Map to adjust property lines, Public Utility Easement Vacation, and Public Street Vacation. In addition, the Project includes demolition of buildings that are over 45-years old; therefore, the Project includes potential impacts to historic resources. The Campus contains four (4) over 45-years-old buildings: the Behavioral Health Clinic, Hospital Building, Mercy Manor, and the 550 Washington Building with a connected Parking Structure.

Prior to preparation of this HRTR, 550 Washington Street was evaluated for historical significance under City of San Diego's Register Criteria in January of 2020. A Historical Resource Research Report was prepared for 550 Washington Street by Nexus Planning and Research. The HRRR concluded that 550 Washington Street was not eligible for historical designation. The City of San Diego's Historical Resources Board Staff (HRB Staff) concurred with the report's conclusion; regardless, HRB Staff referred 550 Washington Street to the San Diego Historic Resources Board (HRB) for historic designation consideration on February 25, 2021. HRB Staff recommended against designation under any HRB criteria. Following public testimony and HRB discussion, Board member Andrew Bowen moved to designate the Property as the *Whitson Company Medical Office Building* under HRB Criterion A as a special element of San Diego's architectural development with a 1964 period of significance. The HRB designated the property per Board member Bowen's motion by a vote of 9-1-0.

Scripps Health Appealed the Historical Designation of the *Whitson Company Medical Office Building* located at 550 Washington Street (HRB #1403) to the City of San Diego City Council. HRB Staff recommended that the Council grant the appeal. On June 29, 2021, the San Diego City Council granted the appeal and reversed the Historical Resources Board's February 25, 2021 historical resource designation of the *Whitson Company Medical Office Building* located at 550 Washington Street on the basis of factual errors in materials or information presented to the Board.<sup>1</sup>

This Historical Resources Technical Report (HRTR) was prepared according to the Guidelines and contains historical analysis of 550 Washington Building. Three (3) buildings: the Behavioral Health Clinic, Hospital Building, and Mercy Manor are analyzed within a separate HRTR as they are located on a separate legal parcel.

This HRTR's form and content are consistent with the Guidelines; therefore, 550 Washington Street is herein assessed in accordance with the City of San Diego's Register Criteria, National Register Criteria, and California Register Criteria.

This HRTR's assessment concludes that the 550 Washington Street does not retain historical and/or architectural significance under any criteria included within the San Diego Register of Historical Resources, National Register of Historic Places, or California Register of Historical Resources and accordingly, 550 Washington Street does not qualify as historical resources under CEQA Guidelines §15064.5(a)(3).

Therefore, the proposed development project which includes demolition of 550 Washington Street will not cause a substantial adverse change in the significance of a historical resource.

Since the development project will not cause a substantial adverse change in the significance of a historical resource, demolition of 550 Washington Street does not require mitigation.

<sup>&</sup>lt;sup>1</sup> Development Services. Segur, Suzanne and Haggerty, Emma. Staff Report to the City Council. June 11, 2021.

# 1 Introduction

# 1.1 Report Organization

This HRTR was prepared to evaluate the potential historical and/or architectural significance of the Property located at 550 Washington Street, which consists of an eight-story medical office building, for the San Diego Register of Historical Resources, California Register of Historical Resources, and National Register of Historic Places.

This HRTR includes the following: Title Page; Table of Contents; Executive Summary; Introduction (Report Organization, Project Area and Project Personnel); Project Setting (Physical Project Setting, Project Area and Vicinity); Historical Overview of the Uptown community); Methods and Results (Archival Research, Field Survey and Description of the Property with photographs); Significance Evaluations; Findings and Conclusions (Impacts Discussion, Location of Research Facilities, Discussion of any consultation with local historical societies, planning agencies, interested individuals, and interviews with knowledgeable individuals); Field Survey (Dates conducted, Participants, Methods used, Department of Parks and Recreation (DPR) Forms completed); Description of Surveyed Resources (Narrative description, character defining features, architectural style, other important features, contemporary color photographs of all elevations in the 4" x 6" size, historic photographs, and references for historic documentation); Significance Evaluations; Findings and Conclusions; Bibliography; and Appendices. The Appendices consist of a specific Building Development Information, Ownership and Occupant Information, Maps, DPR Form, and Preparer's Qualifications.

# 1.2 Project Study Area

The Project Study Area is defined as Assessor's Parcel Number 444-533-25-00 and consists of parcel 2 of parcel map no. 15947 filed in the office of the County Recorder of San Diego County, January 11, 1990, in the City of San Diego, County of San Diego, State of California, as further described in various documents of record.

The Project Study Area is situated south of Interstate 8, north of Washington Street and west of Interstate 163 and it contains the Scripps Mercy Medical Campus (Campus). The Campus's legal description is described as: Parcel 1 of Parcel Map No. 18598, in the City of San Diego, County of San Diego, State of California, filed for record in the office of the county Recorder of Sand Diego County, California on December 8, 2000, as file no. 2000-0669213. See Figures 1 and 2 on the following pages for Project Study Area location.

# 1.3 Project Personnel

Project personnel included Architect and Historical Property Consultant, Jennifer Ayala, RA LEED AP who conducted the field survey, photographed the Property, and prepared the HRTR with its findings and conclusions. Ms. Ayala obtained archive documents, historical photographs and other files from the City of San Diego, County of San Diego, Environmental Data Resources, Inc. (EDR), and the San Diego History Center, and Scripps Mercy Hospital's private archives. Additional archival research was undertaken at the Scripps Mercy Hospital's private archives by Dolores Mellon, M.A. All chain of title research was

conducted by California Lot Book, Inc., and Sanborn Maps and supplemental directory research was obtained online from EDR, the San Diego Library, and the Union Tribune archives.

Ms. Ayala and representatives of the Property's owner visited the Property on September 17, 2019, to evaluate the Property as well as to inspect the surrounding neighborhood. Photographs were taken of the Property. Subsequently, an architectural description of the Property was prepared. Based upon the site survey and the other cited information, the Property was compared to established architectural norms that are currently in use in the United States. Several architectural reference guides were consulted by the author to fully substantiate the architectural details of the Property.

# 2 Project Setting

# 2.1 Physical Project Setting

The Project Study Area is located in the Uptown Community Planning Area of San Diego, California. The Project Study Area is situated south of Interstate 8, north of Washington Street and west of Interstate 163.



Figure 1 Regional Location Map, Map data c.2020 Google INEGI

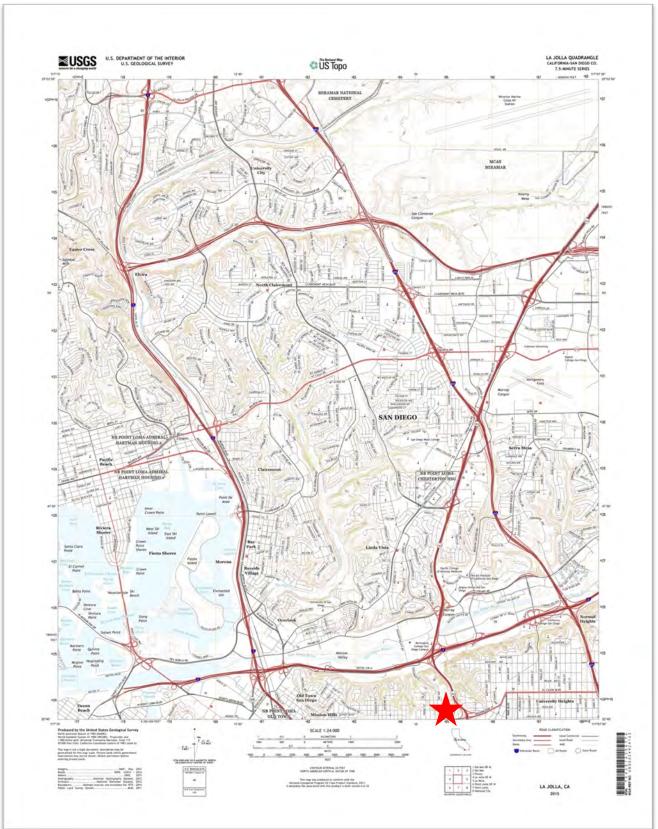


Figure 2 Project Location Map, USGS Point Loma, CA, 2015

## 2.2 Project Area and Vicinity

### 2.3 Historical Overview

#### Historic Context: History of Hillcrest<sup>2</sup>

The first transfer of property located in what is present day Hillcrest occurred in 1870 when the City of San Diego deeded land to Mary Kearney, who sold it in February 1871 to C.D. Arnold and D. Choate, well-known subdividers. The land passed through a succession of hands before it was acquired by the founder of Hillcrest, William Wesley Whitson. During the 1890s, there was slight development in this area, generally typified by several churches and a scattering of residences. In 1904, historical photographs of the general Hillcrest area show small scattered areas of residential homes. Most of these homes appear to be of a Victorian or Craftsman style along dirt streets, consisting of one or two stories, with smaller associated buildings located nearby.

Hillcrest was founded in 1907 by San Diego's first coroner, William Wesley Whitson. With a \$1,000 down payment and \$115,000 loan, Whitson formed the Hillcrest Company and purchased 40 acres of "stony hill" between First (originally Second Avenue) and Sixth Avenues from University Avenue to Lewis Street just above Washington Street, and began to subdivide. Whitson's subdivision map was filed on January 10, 1907, and the deed to the Property was recorded by the Hillcrest Company on August 2, 1907.

#### Historic Context: History of the Hillcrest Company<sup>3</sup>

In 1907, when the Hillcrest Company began to subdivide, there was one church, one chapel, one store, a hospital, and one school in the area to serve a few scattered residents. The area was not paved, nor were there any sidewalks. By 1909, Whitson's Hillcrest Company put in streets and curbs, subdivided property lots, set up a lumber mill and started building houses, usually two-story Craftsman vernacular homes made of wood and stone. Circulating flyers from the Hillcrest Company stated, "THE TRACT BEAUTIFUL...lots of ample size, with alleys. Houses all back a proper distance from the street." Lots were large and roadways were wide. Residential lots in Hillcrest sold for between \$1,400 to \$2,000, while commercial lots were more expensive

#### Historic Context: History of the Medical Complex Neighborhood<sup>4</sup>

Per the Uptown Community Planning document, the Medical Complex Neighborhood is located within the Uptown Community Planning Area of San Diego, the oldest and most urbanized area of the city outside of the historic downtown (excluding prehistoric Native American presence and the neighborhood of Old Town). The Uptown Community is confined to the mesa top north of downtown and the Medical Complex Neighborhood is located in the north central area of the community bounded by Washington Street to the south, I-163 to the east, Dove Street to the west, and a canyon edge along its north boundary. Its neighbors include University Heights to the east, Hillcrest to the south, Mission Hills to the west and Mission Valley to the north. The Medical Complex Neighborhood is dominated by two medical campuses, Scripps Mercy Hospital and Medical Center and the University of California, San Diego Medical Center.

<sup>&</sup>lt;sup>2</sup> From the archives of Marie Burke Lia, Attorney at Law. 1980-2020.

<sup>&</sup>lt;sup>3</sup> Ibid.

 $<sup>^{\</sup>rm 4}$  City of San Diego. Uptown Community Plan 2019. Pages IN 7- IN 8. 2019.

The block pattern of neighboring Hillcrest was carried north into the Medical Complex Neighborhood, but canyons and the early development of medical services disrupted the grid pattern, shifting block dimensions and street geometries allowing for larger multi-family blocks and medical office buildings.

Buildings in this neighborhood are more diverse than other Uptown neighborhoods. They vary in age, massing, style, and use. The oldest buildings date back to turn of the century with representative examples of almost all architectural styles since the 1900s, including early modern and modern styles of architecture. Over forty percent of the neighborhood is occupied by two medical campuses influencing the neighborhood's auto-oriented nature in contrast with the pedestrian and retail orientation of Hillcrest directly to the south or single-family orientation of Mission Hills to the west, resulting in the lowest percentage of single-family homes in the entire Uptown Community.

The greater Uptown Community's development began with speculation by investors motivated by Alonzo Horton's purchase and development success of downtown San Diego. The first wave of development in Uptown, 1885-1909, began closest to downtown and progressively moved northwards. Subdivision and construction occurred through five distinct time periods and historical contexts: the Railroad Boom and Early Residential Development, 1885-1909; the Panama-California Exposition and Streetcar Suburbs, 1909-1929; the Great Depression and World War II, 1929-1948; Postwar Development, Suburbanization, the Automobile & Modernism, 1948- 1970; and Neighborhood Revitalization and the LGBTQ Community, 1970-Present. The Medical Complex Neighborhood has development representing each of the five historical contexts due to the initial development and continued growth of two significant medical campuses which dominate the neighborhood.

UCSD Medical (previously the San Diego County Hospital) and Scripps Mercy Hospital have had a presence in the Uptown Community for over a century. As far back as the 1880's, Dr. William A. Edwards' Sanitarium and Private Hospital (unrelated to both San Diego and St. Joseph's hospitals) was located in Florence Heights, just west of the Medical Complex Neighborhood. In 1904, the San Diego County Hospital constructed its first structure on the north and west side of the neighborhood at the terminus of Front Street overlooking Mission Valley and it had significant expansions in 1910 and 1926. In 1926 St. Joseph's Medical Center (now Scripps Mercy Medical Campus) moved to its new campus on Fifth Avenue also overlooking Mission Valley on the east side of the neighborhood. The original (Scripps) Mercy campus included a six-story hospital, nursing school and convent in 1926.

The intensity of medical uses continued to grow and expand over the decades with major medical hospital and office projects throughout the neighborhood. Both the County Hospital and (Scripps) Mercy constructed new eleven story hospitals in 1965 and 1966, respectively. In 1966, San Diego County contracted with UCSD to operate its County Hospital with final purchase and rebranding in 1980. Modernization and expansion have continued with significant projects in the 1990's and early 2000's for both campuses. More growth and redevelopment are planned through 2030, including high density multi-family housing amongst the medical uses.

Residential buildings include single-story single-family houses, but these are outnumbered by multifamily duplexes, garden apartments, and buildings up to five stories high. Future development of this neighborhood calls for continued medical redevelopment and expansion, as well as high density residential redevelopment. The Medical Complex Neighborhood has seen dramatic changes in scale and intensity of development. The mixed uses have always been present with a near constant growth and intensification of the medical campuses since they first appeared in the neighborhood.

Per the 2016 Uptown Community Plan Historic Preservation element, the Property was constructed during Uptown's Period of Significance called *Postwar Development, Suburbanization, the Automobile & Modernism (1948-1970).* This Period of Significance is described as,

"A property may be significant under this theme for its association with or representation of the postwar development and redevelopment in Uptown, or as the home of an important person in local history. A property may also be significant as a good or rare example of a popular architectural style from the period, primarily Mid-Century Modern. Lastly, a property may be significant if it reflects the notable work of a master builder, architect, or designer. Residential development during the postwar period occurred primarily on undeveloped lots along canyon rims and on lots containing older, smaller homes in communities such as Hillcrest and University Heights, which were demolished to make way for larger homes and apartment buildings in the Mid-Century Modern style. Commercial construction occurred throughout Uptown, but was concentrated primarily on redeveloped lots along Washington Street in Mission Hills, Park Boulevard in Hillcrest, and throughout the Park West area along Fourth, Fifth and Sixth avenues. A number of institutional buildings, including the San Diego City School education center, the County Hospital, and a branch library."<sup>5</sup>

<u>Historic Context: History of 550 West Washington Street, "Hillcrest North Medical Building"</u> William Wesley Whitson purchased 40 acres in the Property's general vicinity, that the family named "Hillcrest." Bounded by First Avenue to the west, Sixth Avenue to the east, Lewis Street on the south and University Avenue to the north, Whitson subdivided, leased and sold his subdivision. <sup>6</sup> By the 1960s, the Whitson Company—Robert Whitson Sr, and Robert Jr, son and grandson of William Whitson were seeking to develop a new medical clinic at Fifth and Washington, near Mercy Hospital. They chose the architectural firm of Deems-Martin Associates the San Diego branch office of the A.C. Martin firm based in Los Angeles. They conceived of the speculative medical building (Hillcrest North Medical Center) and hired the development team. Setting up initial leasing and selling within two years of completion of construction fell to Gynob, Inc., a corporation of doctors.<sup>7, 8</sup>

When Deems-Martin Associates secured the contract to design the Hillcrest North Medical Center for the Whitson Company, they were well-known to Frank L. Hope & Associates who was already designing buildings on the adjacent Mercy Hospital site. The two firms had worked together previously when A.C. Martin & Associates designed the May Company building in San Diego and hired Frank L. Hope & Assoc. to facilitate project submittal and processing.<sup>9</sup> William (Bill) Sperry Lewis was responsible for the Property's design while he was employed as a project architect for A.C. Martin.<sup>10</sup>

Peter Kiewet and Sons' Inc. was Property's the contractor, the construction project manager, Charlie Pankow, advocated for the contractor to be involved in the project before it broke ground. He believed this allowed the construction team the opportunity to integrate cost- and time-saving construction methods, evaluate alternate design configurations, and advise the architect on cost-effective ways to realize his or her aesthetic vision. <sup>11</sup>

<sup>&</sup>lt;sup>5</sup> City of San Diego. Uptown Community Plan 2019. Page HP-168. 2019.

<sup>&</sup>lt;sup>6</sup> San Diego Magazine, 3/1962, "Hillcrest was a 40-acre Subdivision..." The Whitson's have been instrumental in developing Hillcrest for three generations

<sup>&</sup>lt;sup>7</sup> San Diego Union. 3/14/1965. "Medical Group Busy new Hillcrest Center". Page 105.

<sup>&</sup>lt;sup>8</sup> San Diego Union. 10/19/1969. "Realty Roundup: Expensive Dwellings Sold". Page 103.

<sup>&</sup>lt;sup>9</sup> K.A. Crawford, May Company Building, 1702 Camino del Rio North. Department of Parks and Recreation form submitted 12/2015.

<sup>&</sup>lt;sup>10</sup> Bill Lewis, interviewed by Scott A. Moomjian, November 2015.

<sup>&</sup>lt;sup>11</sup> Michael R. Adamson, <u>A Better Way to Build: A History of the Pankow Companies</u>, West Lafayette, IN.: Purdue Press, 2013, p.8. Charlie Pankow neither invented design-build nor was its earliest practitioner in the modern US construction industry.

The Property was designed to accommodate 60 suites and facilities for 85 doctors and dentists. In addition, there would be a pharmacy, pathology and radiology laboratories, coffee shop, and parking of 212 cars. The main tower and side wings encompassed an area of 76,000 square feet. The hexagonal-shaped tracery screens made of aluminum allowed for the liberal use of glass but ensured privacy.<sup>12</sup>

The slipform operation devised by the project engineer to build the central core proved to be unique in the annals of both the building division and the Pankow companies. The core rose out of the foundation, carrying with it a Linden F30-60 tower crane. Its 100-foot horizontal boom could lift 4,400 pounds. Crews used the crane to lift into place both the panels and beams, which crews precast as the slipform operation proceeded. The goal was to save time and money. Once they had topped out the building, crews cast floor slabs in place from the top floor down.<sup>13</sup> Per <u>A Better Way</u>,

"As was the case with all techniques of job site mechanization, the goal was to save time and money. Once they had topped out the building, crews cast floor slabs in place from the top floor down. This approach did not save much money, if any at all, over the more conventional bottom-up approach, in carpenter foreman Red Metcalf's estimation. But the decision to try it reflected the spirit of innovation that Charlie Pankow tried to encourage in his employees." <sup>14</sup>

Described as a new "landmark", by the local media, Bill Lewis' design and construction of the Property garnered attention. Industry publications describe the Property as a combination of unusual beauty and high structural efficiency.

The history of design awards for the Property is limited to two local awards given by the Portland Cement Association and San Diego Magazine. The magazine awarded it, *1964 Building of the Year Award.*<sup>15</sup> Searches for this article were unsuccessful, therefore the basis of this award is not understood. The Portland Cement Association gave the project one of its six *Awards of Honor* in its inaugural year of *Building Awards in Southern California*. The Property was honored as an "outstanding example of the creative use of concrete".<sup>16</sup> Therefore, this award was not in recognition of a structural method of construction.

According to the Portland Cement Association's Los Angeles District Engineer, Warren G. Burres,

"Purpose of the building awards program is to give recognition to architects, engineers and contractors for outstanding projects and to honor and promote progressive architecture, quality construction and new building techniques. The awards are based on good architecture, unusual design ideas, structural innovations and outstanding construction methods."<sup>17</sup>

Not all who viewed the Property were impressed, however. The San Diego AIA did not award the project at the 1964 AIA Awards. Instead, Deems Martin Associates had two other projects honored, the U.S. Navy Facilities Engineering Command and the Rubin, Seltzer, & Solomon Office Building. See Criterion D for more information regarding award AIA Award winning projects by Deems Martin

<sup>&</sup>lt;sup>12</sup> Star-News, 5/23/1963.

<sup>&</sup>lt;sup>13</sup> <u>A Better Way</u>, p. 65

<sup>&</sup>lt;sup>14</sup> <u>A Better Way</u>, pp. 65-66

<sup>&</sup>lt;sup>15</sup> <u>https://www.dlm.com/awards.html</u> web. Accessed 9.13.2020.

<sup>&</sup>lt;sup>16</sup> Knudson, J. San Diego Union. Outstanding Structures in Concrete Win Honors For Builders and Designers. 1.30.1966. web.

<sup>&</sup>lt;sup>17</sup> "Outstanding Structures in Concrete Win Honors for Builders, Designers," San Diego Union, 1/30/66, p. 85.

Associates. And, no less than San Diego's "most distinguished architectural commentator"—James Britton II, snidely dismissed the Hillcrest North Medical Center exterior as "Rockettes of the concrete set."<sup>18</sup>

# 3 Methods and Results

The Property's development and alterations have been documented through examination of historical records and a physical site inspection.

# 3.1 Archival and Historical Research

Determinations of historical and architectural significance require various factors of significance to be considered, including: the Property's history; both construction and use; the history of the surrounding community; the potential for important persons or events to be associated with the Property over its life span; the number of resources associated with the Property; the potential for the Property to be the work of a master craftsman, architect, landscape gardener or artist; what historical, architectural or landscape influences have shaped the design of the Property and its pattern of use; what alterations have taken place over the years and how have any changes affected the historical Integrity of the Property; and the current condition of the Property.

The archival research for this HRTR included, but was not necessarily limited to, obtaining and/ or reviewing the following,

- The Assessor's Building Record from the San Diego County Assessor's/Recorder's Office;
- Chain of Title information prepared by California Lot Book, Inc.;
- Historical and aerial photograph research;
- City of San Diego water and sewer department connection records;
- City of San Diego building permit records at the City of San Diego Development Services Department;
- San Diego City Directories on file at the San Diego Public Library, California Room;
- San Diego City Directories prepared by EDR;
- Sanborn Fire Insurance Maps assembled and archived by <u>www.edrnet.com</u>;
- San Diego Union index and newspaper articles found on <a href="https://www.genealogybank.com/">https://www.genealogybank.com/</a>;
- The San Diego Historical Society archives and photographic collection;
- Local, state, and federal inventories, surveys, and database material;
- Personal research archival material in the office of Nexus Planning & Research, including the Marie Burke Lia archive library;
- Archival material from the Scripps Mercy Hospital archives;
- Standard and authoritative sources related to local history, architecture, and building development information.

The criteria for historical significance were obtained from the City's Guidelines for the Application of Historical Resources Board Designation Criteria; the National Register of Historical Resources Criteria;

<sup>&</sup>lt;sup>18</sup> Biography of James Britton II, Modern San Diego.com; San Diego Union, 6.27.1982, p. F-1.

and the California Environmental Quality Act (CEQA), which uses the California Register of Historical Resources Criteria.

## 3.2 Field Survey

An existing conditions survey was conducted by Jennifer Ayala, Architect. Photographs were taken by Jennifer Ayala. The survey was conducted to understand the existing condition of the site, identify character-defining features, and assess the Property's structural and historical integrity. Analysis focused on the Property's exterior but did not include detailed measurements or assessments of the archaeological, structural, electrical, mechanical systems, or interiors. Following the fieldwork, the Property was recorded on Department of Parks and Recreation 523 Forms, per Office of Historic Preservation, State of California standards. The Property was documented with a digital camera and representative photographs are included in this report and on the DPR 523 forms.

## 3.3 Description of Surveyed Property

The Property is an eight-story medical office building located in the Medical Complex neighborhood of Hillcrest in the Uptown Community Plan Area. It is sited north of Washington Street, west of Interstate 163 and east of 5<sup>th</sup> Avenue. Today, it is owned and managed by the Scripps Mercy Medical campus located to the north and east. The Property was permitted for construction in 1961<sup>19</sup> and was completed in 1964. For the purposes of this Historical Resources Research Report (Report), 1964 will be used as the date of construction.

The Property's primary elevation faces Washington Street to its south. It is surrounded by commercial and medical office buildings in a mix of architectural styles. It sits at street level with shallow set-backs from Washington Street and Fifth Avenue. A surface parking lot, on the north side of the Property, is not included within the subject parcel.

The Property is sited close to its property lines along the street edge on a relatively flat site. The parcel has a mix of landscape treatments. Both street facades, along Washington Street and Fifth Avenue, as well as the narrow side yard along its east elevation are landscaped with a mix of tropical plants, grass, moderately sized trees and concrete pedestrian walkways. There are landscaped concrete planters near the lobby enclosure at the base of the tower. The north elevation includes a landscaped planter area as well as pedestrian walkways and some in-ground grass and tree areas.

Per the Assessor's Building Record, the Property is a medical office building consisting of 67,936 square feet within one tower and two, one-story wings. The Property's tower is rectangular and symmetrical while two one-story medical office-wings are asymmetrical, extending east and west of the tower. The tower has a concrete structure, concrete frame, cast-concrete panels and aluminum tracery. The one-story wings have concrete structures, concrete frames, pre-cast concrete panels and fixed aluminum framed windows. There are stucco accents on the one-story wings, and stucco walled enclosures and building forms under the tower. The Property's windows are a mix of original steel framed fixed

<sup>&</sup>lt;sup>19</sup> San Diego Union. 6/4/1961. "Ground Broken for Medical Center". Page 110.

windows (at the tower and one-story wings) and contemporary dual-glazed aluminum framed fixed windows along the ground floor.

#### **Development Details**

#### Construction per Assessor Building Record (See Appendix A)

1966<sup>20</sup> Assessor's Parcel Number 444-533-25-00 consists of parcel 2 of parcel map no. 15947 filed in the office of the County Recorder of San Diego County, January 11, 1990, in the City of San Diego, County of San Diego, State of California, as further described in various documents of record.

The Assessor's Building Record dates the Project's construction from 1966, and describes it as a medical office building, measuring 67,936<sup>21</sup> square-feet.

#### Notices of Completion (NOC) (See Appendix A)

August 9, 1961	Contractor: R. E. Hazard, Jr. Inc. There is no mention of an architect or a description of the work completed on site.	Based upon historical sources, it is known that R.E. Hazard was not the Property's builder but is associated with construction of a retaining wall.
June 10, 1964	Contractor: Peter Kiewit Sons' Co. There is no mention of an architect or a description of the work completed on site.	Based upon historical sources, Peter Kiewit Sons' Co. is the known contractor of the medical center, therefore this Notice is probably associated with the Property's completion.
February 1, 1982	Contractor: Construction Management Services Company. There is no mention of an architect or a description of the work completed on site. <sup>22</sup>	Permits or other documentation that correlates construction with this Notice of Completion could not be located.
December 5, 1990	Contractor: Don D. Rake & Associates, Inc. There is no mention of an architect. The work was performed in Suite #500.	This is most likely for a limited scope of work within a doctor's office.

#### Water and Sewer Records (See Appendix A)

1982	A water record found on file with the City of San Diego Water and Sewer Department for a 4"
	wet tap. The contractor is listed as Const. Management Services.
1982	A sewer record on file with the City of San Diego Water and Sewer Department documents the Property's sewer service location.

#### Building Permit Records (See Appendix A)

160 individual permits for construction and remodeling were located within the City of San Diego Records Department. The list below represents a limited list of "exterior-only", building permits that were found on file with the City of San Diego.

		Date	Suite	Permit #	Туре	Scope of Work	Exterior	Designer
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<sup>&</sup>lt;sup>20</sup> Historical records, including a Notice of Completion and Union Tribune articles, prove this date of construction to be inaccurate.

<sup>21</sup> The Property's square footage was last amended in 1990 for the Assessor's Building Record and does not include more recent additions of square footage at the ground floor.

<sup>&</sup>lt;sup>22</sup> Timing of NOC is aligned with permitting and construction for the parking garage constructed along the north side of the site.

6/5/78	Lobby	M04239	Building	Glass Enclosure of open lobby area	Yes	James McGraw + Associates
7/22/81	-	S14388	Building	Parking Garage	Yes	Marvin Cohen Arch./Inc.
8/9/85	Grounds	A38728	Building	Crib Retaining walls	Unclear	W. Ryan Wilson
7/21/86	-	A49158	Building	Canopy Addition	Yes	Tucker Sadler & Associates
9/18/90	-	A008491- 90	Building	Seismic Strengthening	Unclear	
5/8/91	lobby	213-1720	Building	Remodel lobby - T.I	Yes	Simpson & Schmidt
7/26/94	Grounds	A105000	Sign	Lighted monument to be installed as per drawings	Yes	Not noted
3/13/97	104	A101852- 97	Not clear	Remodel med office part, electrical, plumb	Unclear	Not noted
3/13/97	104	E501344- 97	Electrical	Relocate lights and door	Unclear	Not noted
9/10/98	-	E504253- 99	Sign	Two sets internally illuminated channel letters with logo	Yes	Not noted
3/16/99	Grounds	213-1720	Sign	One internally illuminated ground sign	Yes	Not noted
3/16/99	Grounds	A102530- 99	Sign	One internally illuminated ground sign	Yes	Not noted
7/29/99	Exterior	A107736- 99	Building	Cell site / antenna & cabinets	Yes	Not noted
5/4/00	Exterior	A104749- 00	Building	Cabinets & Antenna(s) for cell site	Yes	Not noted
9/11/03	Exterior	16332	Structure	Arden screen walls & aesthetic finishes	Yes	Aymono Fox & Associates
9/22/03	300	38742-P	Plumbing/ Mechanical	Installation of new plumbing fixtures	No	Not noted
11/7/03	100	38695	Building? Plumbing?	Surgery Center	Unclear	Not noted
11/20/03	-	A107986- 03	Plumbing/ Mechanical	Install new boiler, chiller, Air handlers, exchange fans, duct work	Unclear	Not noted
8/18/04	100	139593	Mechanical	H.V.A.C Design Build ductwork only TI	Unclear	Not noted

#### Previous Survey Forms

There are no previously completed survey forms available for this property and neither the 2016 Uptown Community Plan's Historic Preservation Element nor the Historic Resources Survey, 2016 mentions or makes recommendations regarding the Property or its parcel.

#### Chain of Title (See Appendix B)

The Property's date of construction is 1961; property owners are listed below for those years from when it was constructed through today.

#### Historical Resource Technical Report for the 550 Washington Street, San Diego, California 92103

Years	Total	Owner
1939	1	Ruth C. Smith, Robert D. Whitson, Helen C. Whitson & Gertrude P. Whitson
1939-1965	26	The Whitson Company
1965-1969	4	Gynob Inc.
1969-1973	5	Gynob Medical Group, Inc.
1973-1973	1	Cyto-Biological Laboratories
1973-1973	1	Carlile-Agee & Associates
1973-1982	10	Northwestern Engineering Company
1982-1982	1	Washington Investors, Ltd.
1982-1982	1	Fifth Avenue Investors, Ltd.
1982-1986	5	Washington Investors, Ltd.
1986-1986	1	Fifth Avenue Investors, Ltd.
1986-1988	3	Tarnkappe Corp.
1988-1990	3	Tarnkappe, Ltd.
1990-1990	1	550 Medical, Ltd.
1990-1990	1	Arpple, Inc.
1990-1990	1	Mission Valley Medical Center, Ltd.
1990-1990	1	University Redmond Corporation
1990-1995	6	Michael Properties
1995-1999	5	Mercy Healthcare San Diego
1999-Today	20	Scripps Health

#### Directory Listing of Occupants (See Appendix B.)

The Property's initial plans called for offices that would accommodate eight stories of multi-tenant spaces. The list of occupants from 1961 through today was compiled from directory archives housed by the City of San Diego Library, California Room Archives.

#### Deed from Date of Construction (See Appendix B.)

Copy of deed to The Whitson Company in 1939 is included in this HRTR's Appendix.

#### Architect: Deems-Martin Associates (See San Diego Register Criterion D discussion.)

Landscape Architect: Wimmer Yamada and Caughey (See San Diego Register Criterion D discussion.)

#### Builder: Peter Kiewit and Sons (See San Diego Register Criterion D discussion.)

#### <u>Alterations</u>

Description of the Property's original 1964 Design:

The completed design contained approximately 69,000 square feet of area within an eight-story tower supported by twelve slender columns around the tower's perimeter. The tower was flanked on its east and west sides by single-story precast concrete paneled buildings. Each single-story flat-roofed wings' elevation contained full height narrow windows framed by vertical fins along their north and south elevations while east and west elevations contained floor to ceiling glass.

The tower was elevated a full story above street level providing an open-air pavilion/ lobby under the tower. The tower's columns were tall, slender, square and oriented at a forty-five-degree angles to the Property's plan. Column bases along the north and south elevations ended in the reflecting pool encircling the lobby's floor. The open-air lobby was designed to allow unobstructed circulation of pedestrian traffic through the site. The open-air quality also provided an unobstructed view through the site in all four directions as the one-story wings were fully glazed on their east and west elevations.

The open-air lobby was framed by the large reflecting pool surrounding the terrazzo finished floor with pedestrian bridges connecting the lobby to the parking lot and public sidewalks. Thin metal handrails lined each pedestrian bridge. Otherwise, there were no railings along the edge of the reflecting pool, instead large raised concrete planters, oriented 45 degrees to the Property's plan, bordered the open-air lobby floor's edge. Low, wide planters bordered the reflecting pool's exterior perimeter, preventing access from outside the lobby. All access into the tower was from this step-less lobby.

The Property's core functions were located in the central core, including HVAC, plumbing, structure, stairwells, and elevators. The tower's exterior was clad in precast concrete wall panels with tall, narrow windows. An anodized aluminum screen ("tracery") with hexagonal shapes covered each of the tower's four elevations. All four tower elevations were treated identically.

Photographs taken in 1964 by renowned architectural photographer, Julius Schulman show a landscape design that included grass, in-ground planters with low curbs and low plantings, large rectangular planters along lobby floor's edge, and medium-sized specimen trees planted at intervals long the north and south elevations.

Articles written about the Property's design (before alterations) repeatedly highlighted the following features:<sup>23, 24, 25, 26</sup>

- 1. Open-air lobby,
- 2. Reflecting pool,
- 3. Pedestrian bridges,
- 4. Terrazzo flooring,
- 5. Polished charcoal brown Italian marble,
- 6. Slender columns,
- 7. Precast concrete panels, and
- 8. Tower covered with anodized aluminum tracery.

#### The Property's Alterations

The Property was altered multiple times and in several locations. Major alterations can be organized by date of alteration and scope of work.

Date	Alteration	Permit / Architect	Notes
1978	Lobby enclosed	Yes / James McGraw + Associates	Drawings recording this addition were not located; it is assumed that the current glass lobby enclosure is the extent of this original alteration.

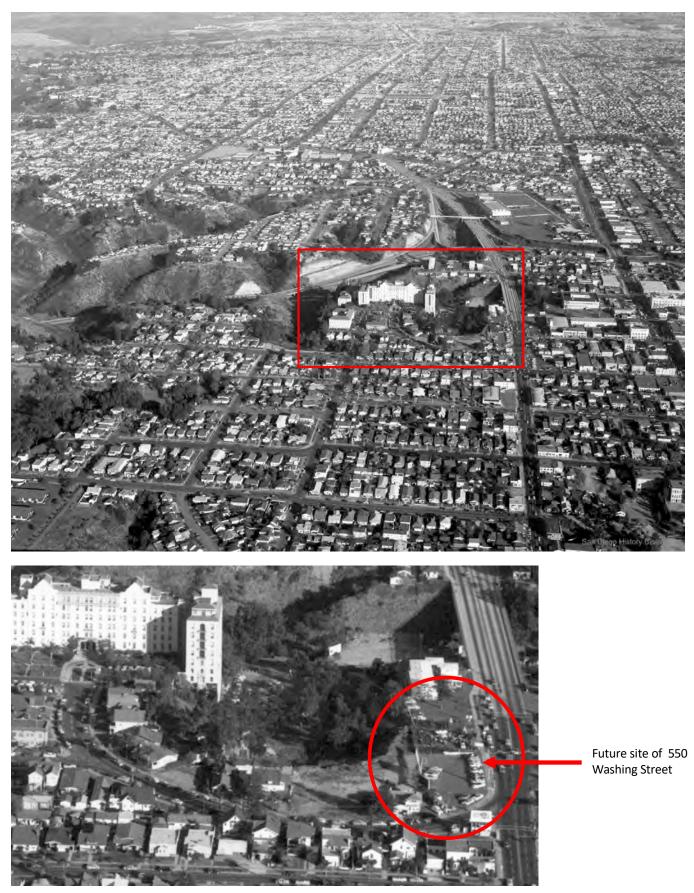
<sup>&</sup>lt;sup>23</sup> San Diego Independent. 2/28/1963. "Construction Set for Hillcrest Med Center".

<sup>&</sup>lt;sup>24</sup> San Diego Union. 6/4/1961. "Realty Roundup: Investors Show Faith in S.D. County".

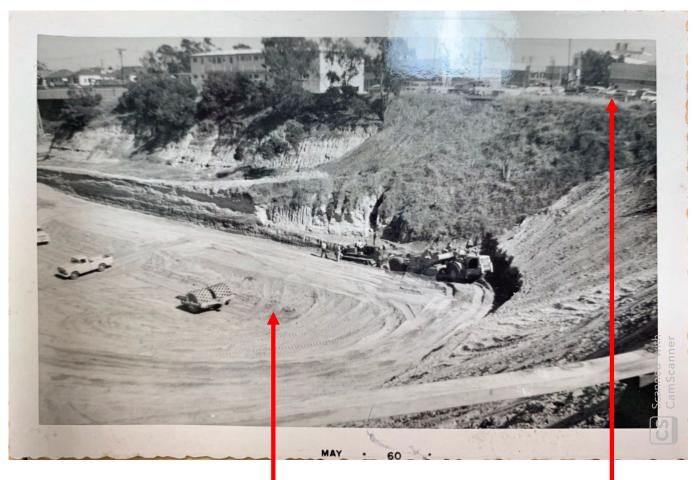
<sup>&</sup>lt;sup>25</sup> San Diego Union. 3/3/1969. "Realty Roundup: Appraisers Plan Work Conference".

<sup>&</sup>lt;sup>26</sup> San Diego Union. 8/9/1964. "Realty Roundup: Innovations Mark New Medical Center".

1981	Parking garage	Yes / Marvin Cohen Architect	Parking garage is below grade, but site and hardscape along north of Property was enlarged.
1986	Canopy	Tucker Sadler	Drawings recording this addition were not located; it is unclear what this addition entailed or if it is present on the Property today.
1990	Seismic Strengthening	Unknown	Drawings recording this addition were not located;
1991	Lobby remodel	Simpson & Schmidt	Drawings recording this addition were not located; extent of alterations are not understood. Permit not required for this work. This could be the time when special marble was removed from elevator core.
2003	Exterior Aesthetics	Aymono Fox Associates	Recorded drawings provided by Scripps Mercy, see Appendix A.5.
2003	Surgery Center	Aymono Fox Associates	Recorded drawings provided by Scripps Mercy, see Appendix A.5.
2004	HVAC	Design Build	Drawings recording this addition were not located.

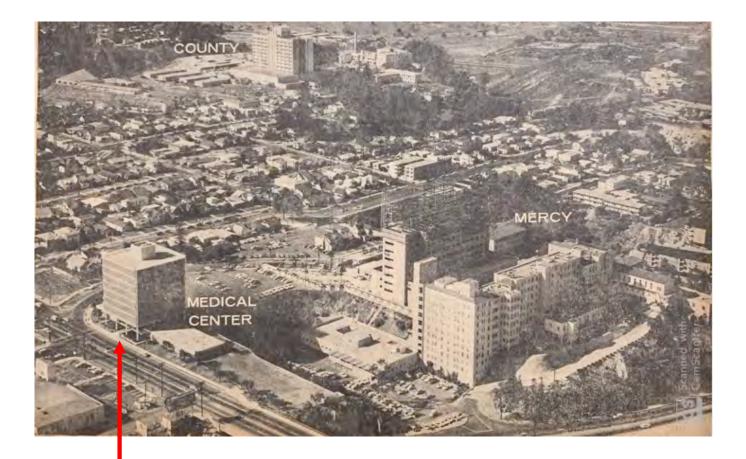


Photograph #1: Historical Aerial Photograph: San Diego History Center, 1964 (per SDHC, but probably before 1960)



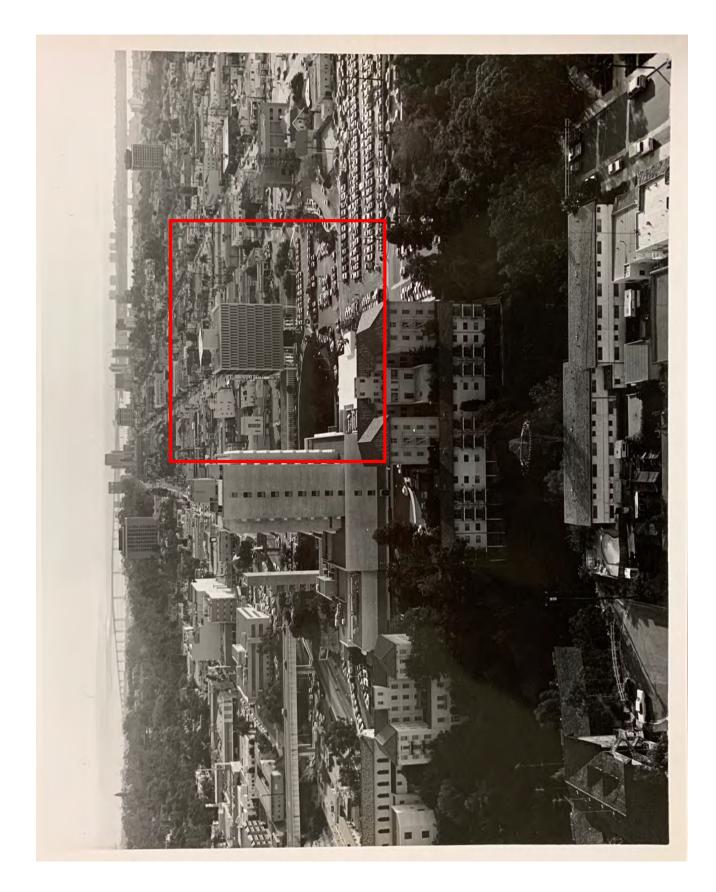
Grading for Mercy Behavioral Health Building, Sister of Guadalupe Clinic

Future site of 550 Washing Street



550 Washing Street, construction complete

Photograph #3: Mercy Medical Archives, undated Union Tribune article, c.1965



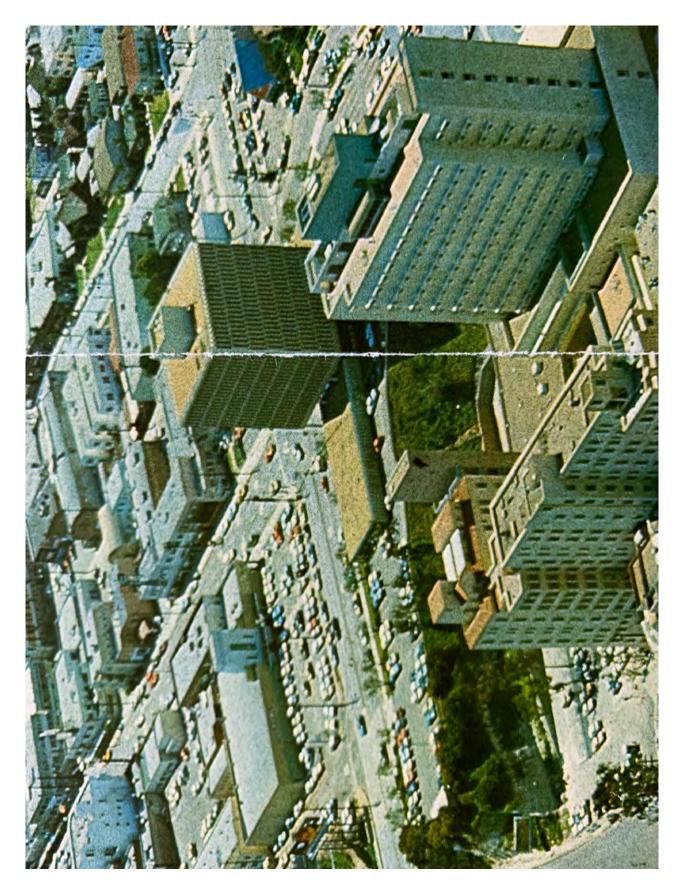
*Photograph #4: Mercy Medical Archives, after 1971 (Old mercy Hospital already demolished). See next page for enlargement.* 

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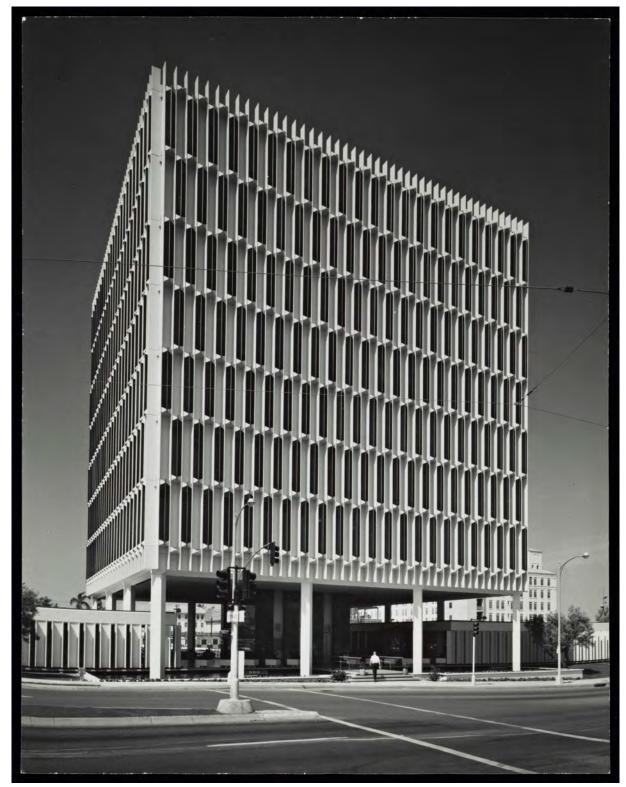


Reflecting pools visible / lobby is completely open and visibility is not impaired

Photograph #5: Mercy Medical Archives, after 1971 (Old mercy Hospital already demolished).



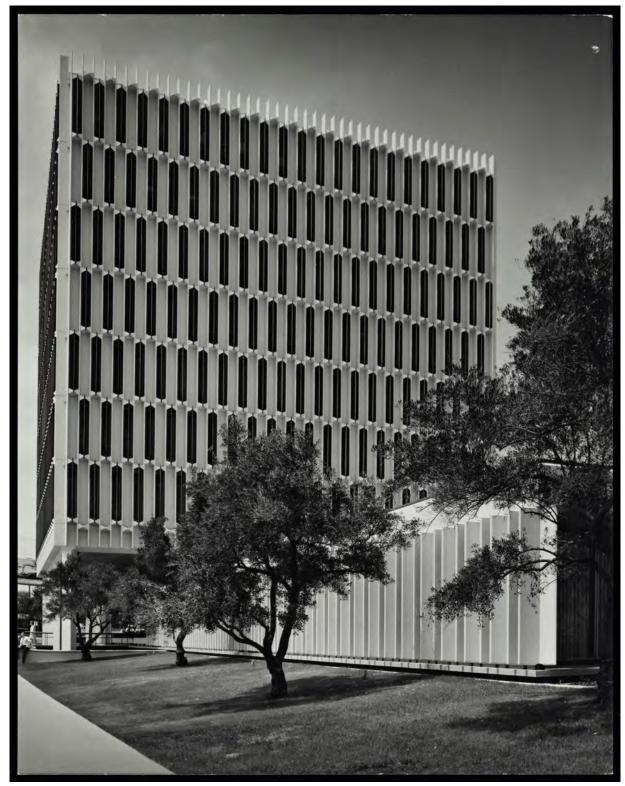
Photograph #6: Mercy Medical Archives, scrap book Union Tribune article, undated but before demolition of old Mercy Hospital in 1970



Photograph #7: Historical Photograph: Getty Images, Julius Shulman Photography, 1964



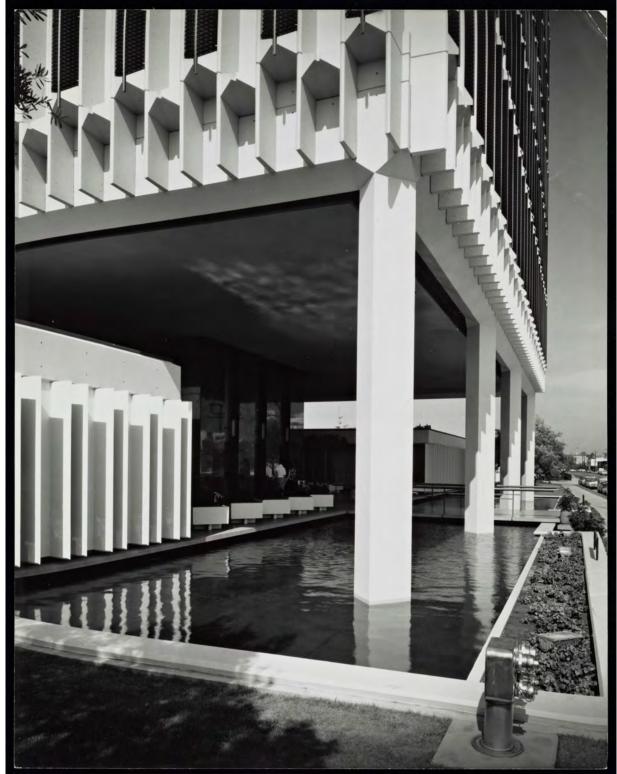
Photograph #8: Historical Photograph: Getty Images, Julius Shulman Photography, 1964



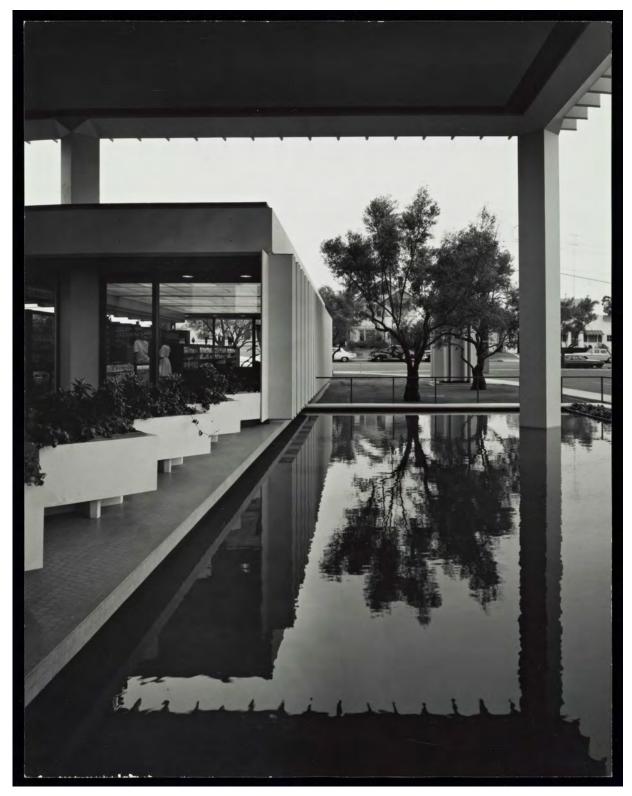
Photograph #9: Historical Photograph: Getty Images, Julius Shulman Photography, 1964



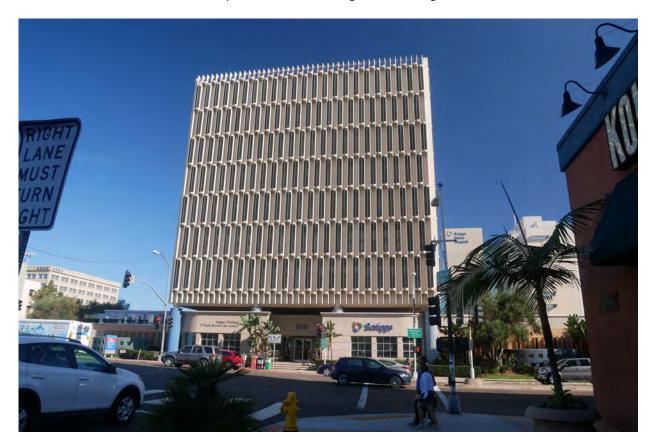
Photograph #10: Historical Photograph: Getty Images, Julius Shulman Photography, 1964



Photograph #11: Historical Photograph: Getty Images, Julius Shulman Photography, 1964



Photograph #12: Historical Photograph: Getty Images, Julius Shulman Photography, 1964



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Photograph #13: Front, South elevation



Photograph #14: Front, South elevation. Changes: Lobby is completely enclosed with stucco walls, aluminum storefront system and round column enclosures. Stucco garden walls block one-story wings. Mechanical additions on top of wings and bridge entry into lobby is gone.



*Photograph #15: Front entry. Original bridge removed and new entry with stairs and guardrails added 2003.* 



Photograph #16: Front entry. Lobby enclosed, 1978. Stucco full height lobby enclosures 2003. Page 31 of 93

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*Photograph #17: South elevation, east wing with stucco garden wall, stucco addition to elevation and mechanical addition on roof.* 



Photograph #18: South elevation, planter wall and lobby enclosure. Page 32 of 93



*Photograph #19: Front, lobby enclosure and column addition, all new in 2003.* 



Photograph #20: Front, Garden wing walls and stucco walls added to one story wings and<br/>mechanical units on roof.Page 33 of 93

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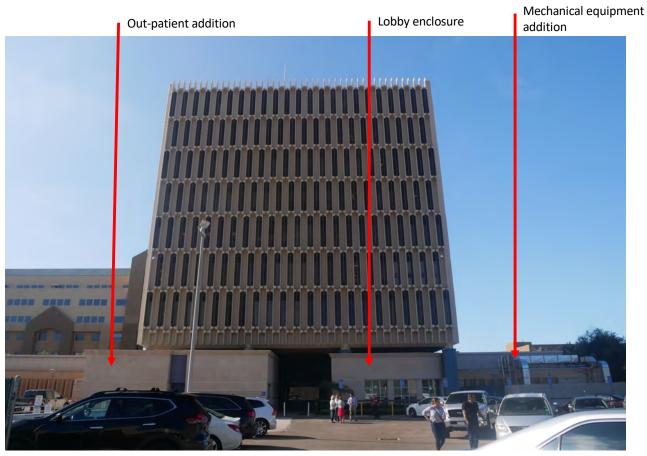


Photograph #21: West elevation.

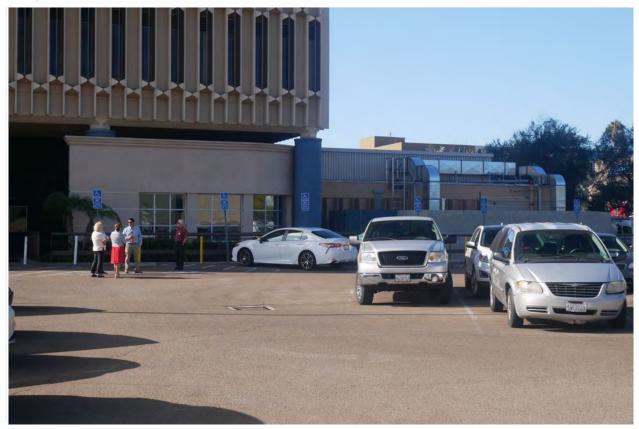


Photograph #22: Rear, north elevation. One-story wing with mechanical units and block wall enclosure for generator, 2003. Page 34 of 93

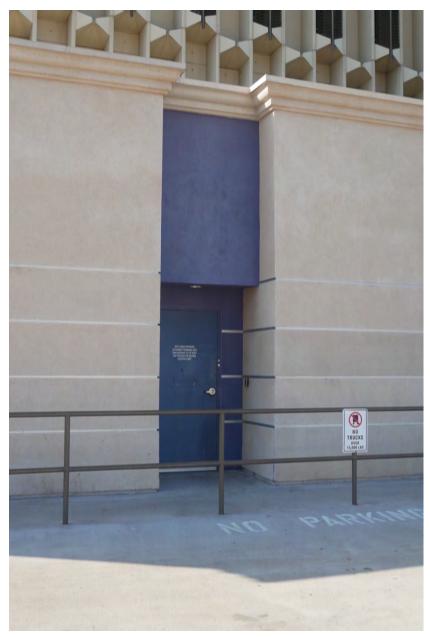
### Historical Resource Technical Report for 550 Washington, San Diego, California 92103



*Photograph #23: Rear, north elevation. Lobby is full enclosed with out-patient surgical suite and lobby enclosure.* 



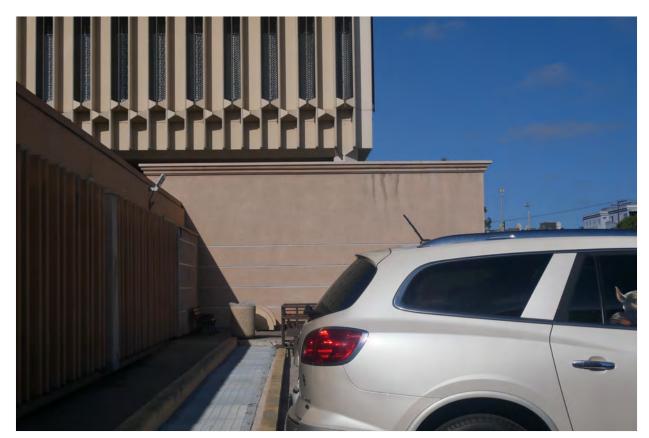
*Photograph #24: North elevation, one-story west wing covered with mechanical equipment and lobby and original columns are enclosed with stucco.* 



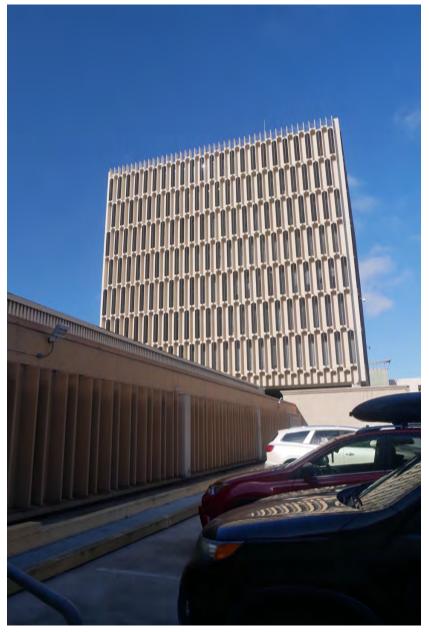
*Photograph #25: North elevation, exit from out-patient surgical suite.* 



Photograph #26: Rear, north elevation. Out-patient surgical pavilion.



*Photograph #27: East elevation, side view of out-patient surgical pavilion.* 



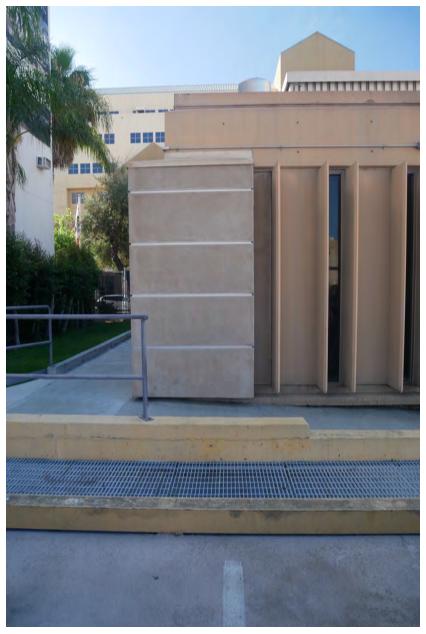
Photograph #28: East elevation of tower and north elevation of one-story wing (east side of parcel) with stucco and mechanical additions.



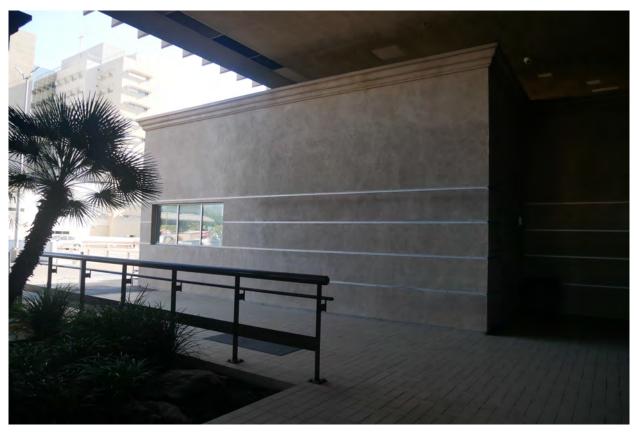
*Photograph #29: Northeast elevation. One-story east wing, with stucco infill at east end and mechanical addition on roof.* 



Photograph #30: East elevation with stucco infill and mechanical addition on roof.



Photograph #31: East end of one-story wing with stucco infill and covering of east elevation.



Photograph #32: Formerly open-air lobby, now enclosed with full height walls and additional enclosed space under tower. Enclosed space is out-patient surgical center.



Photograph #33: Former open-air lobby and reflecting pool. New walkway and landscaping removed original bridge and (4) pools. Columns were enclosed with round stucco enclosures. Stucco infill can be seen on one-story wing with mechanical addition on roof.



Photograph #34: Lobby interior. All original materials – paving and marble (specially ordered charcoal brown marble sourced from Italy) are no longer extant.

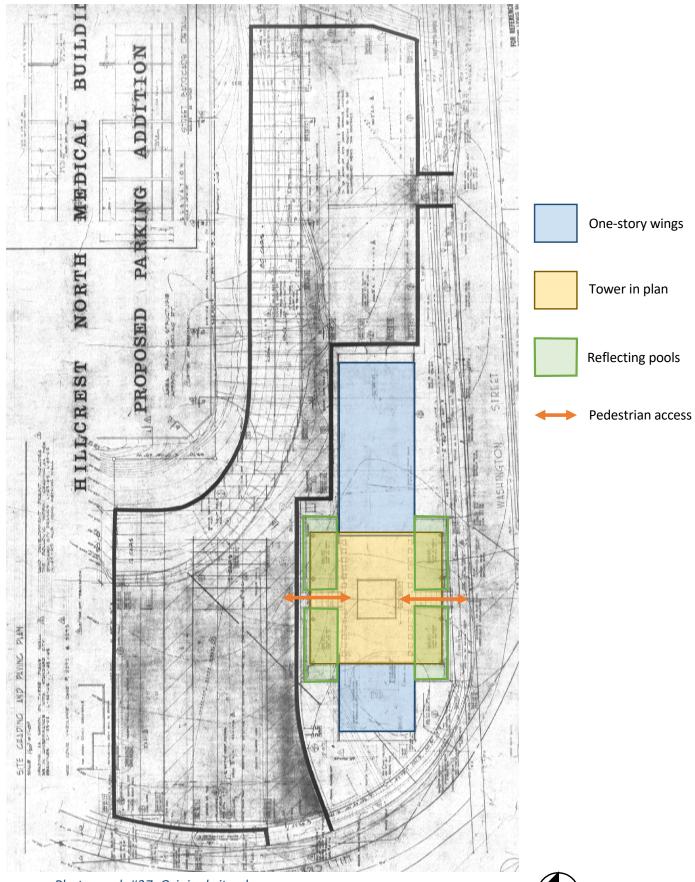


Photograph #35: Former open-air lobby. East elevation of one-story wing with visible mechanical units and stucco infill. Stucco garden wall and aluminum dual glazed windows enclose lobby along north side of lobby.



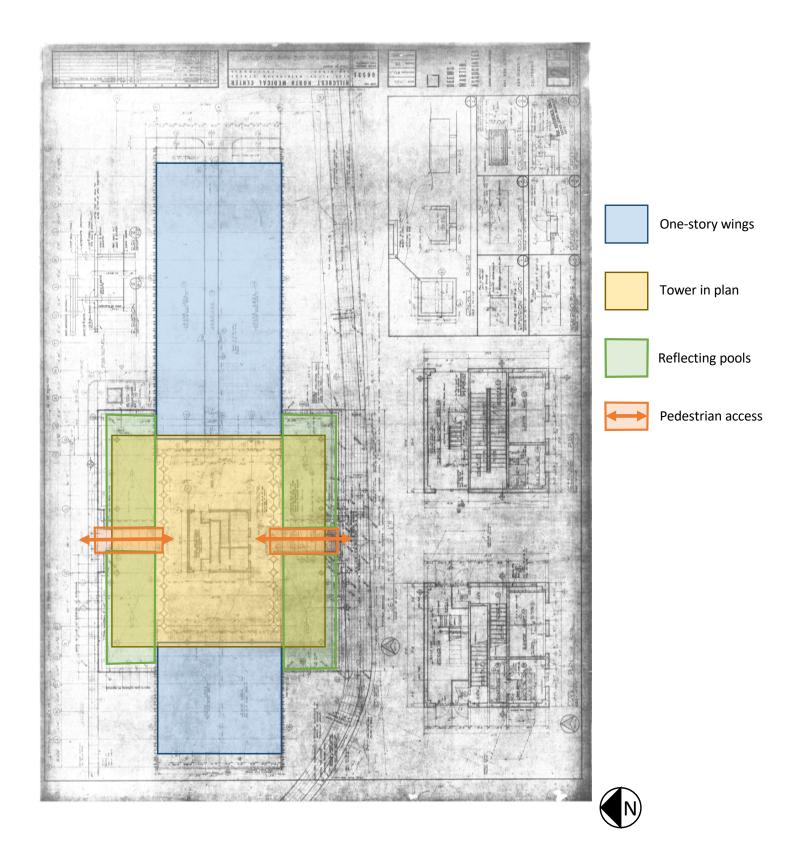


Photograph #36: Current aerial site plan

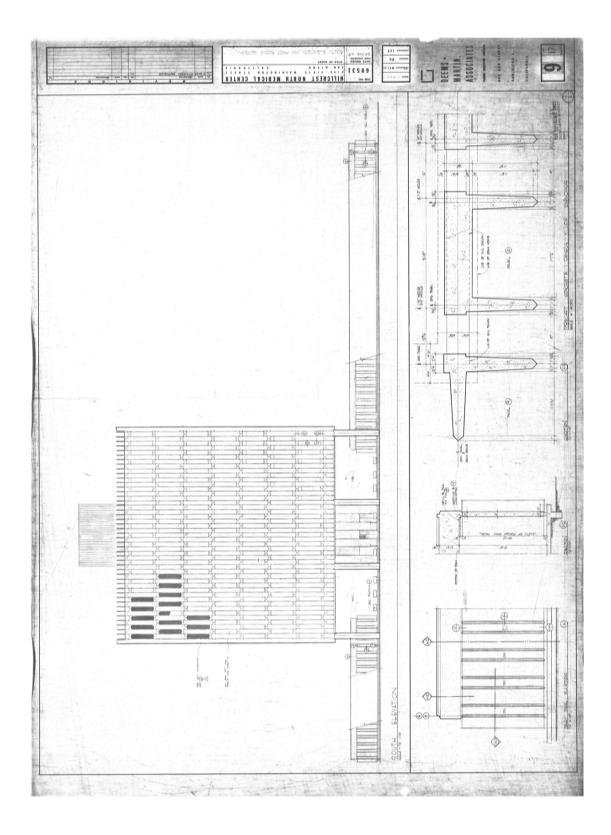


Photograph #37: Original site plan

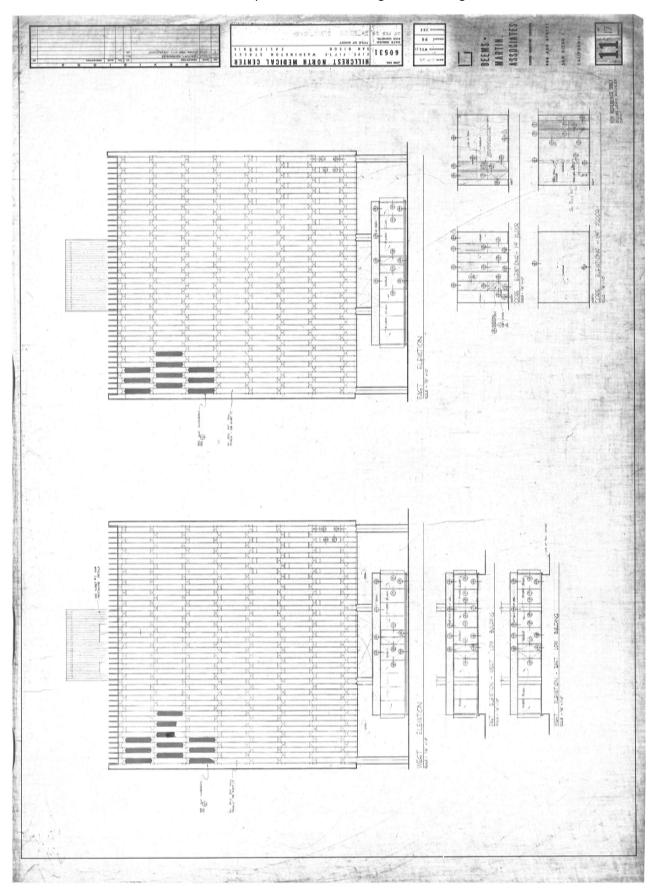




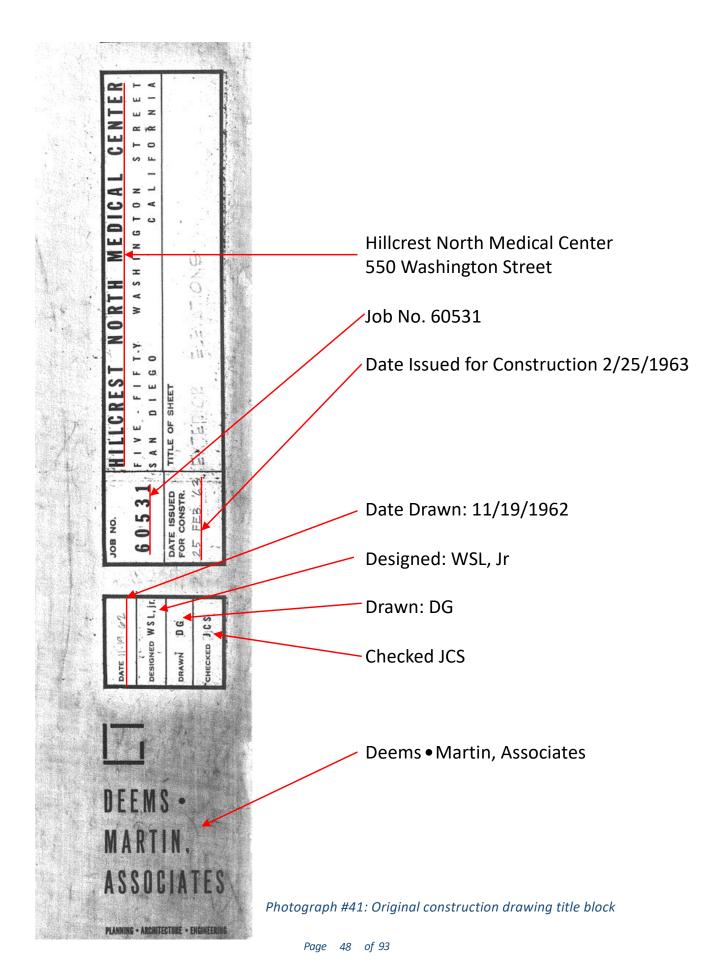
Photograph #38: Original floor plan

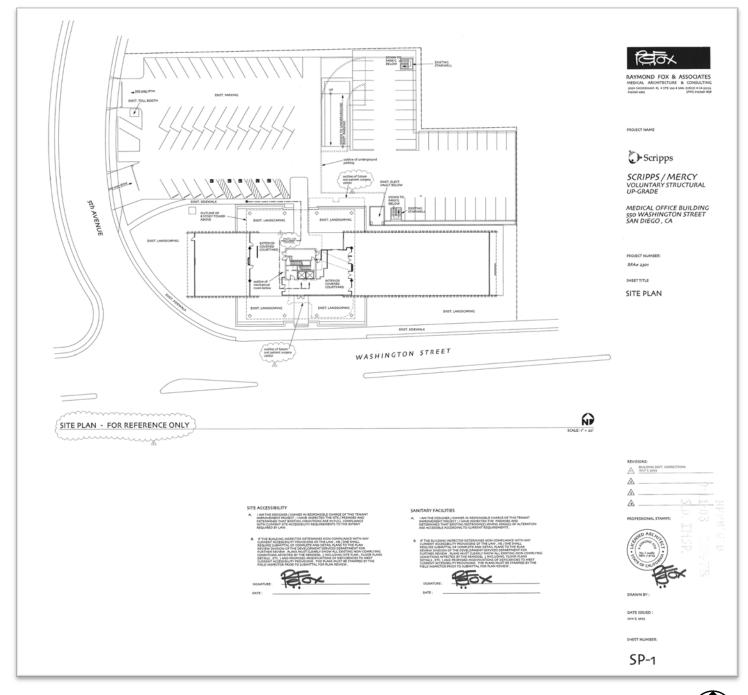


Photograph #39: Original elevation

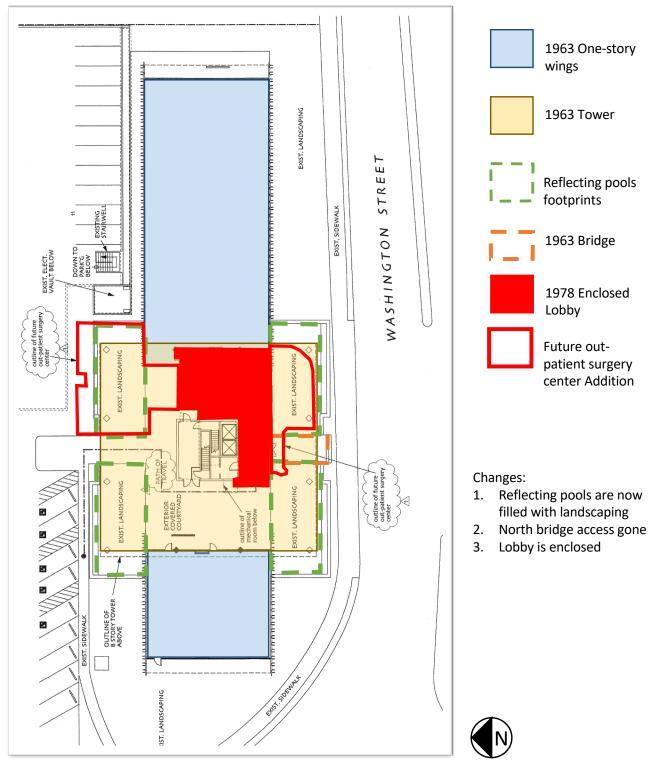


Photograph #40: Original elevation

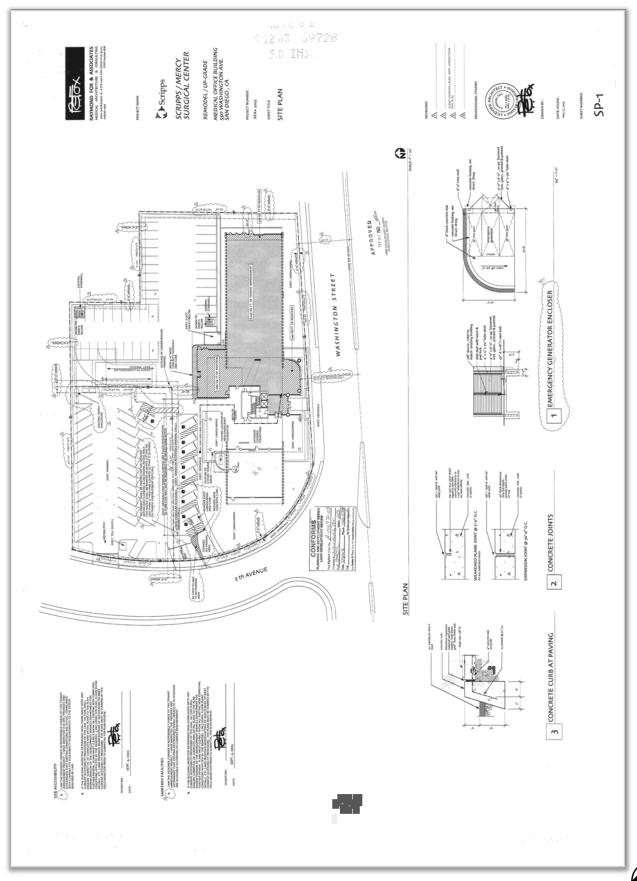




Photograph #42: 2003 construction drawing, site plan

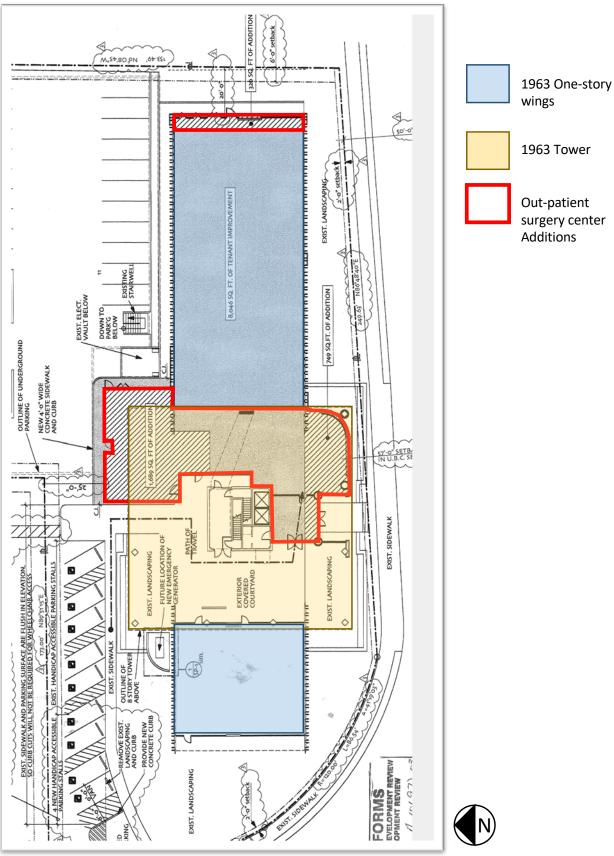


Photograph #43: 2003 construction drawing, site plan

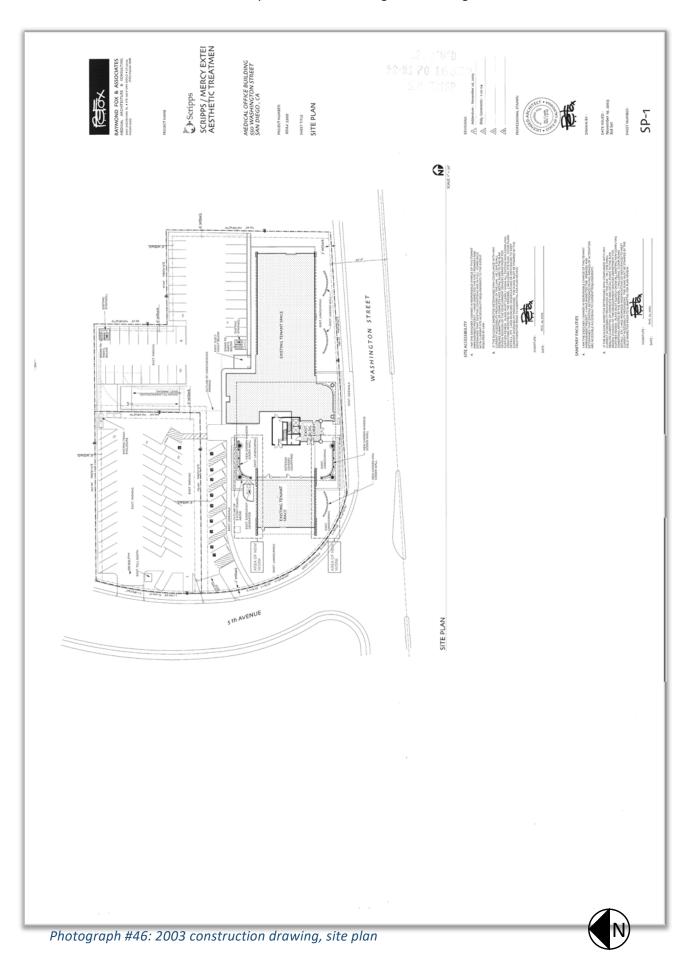


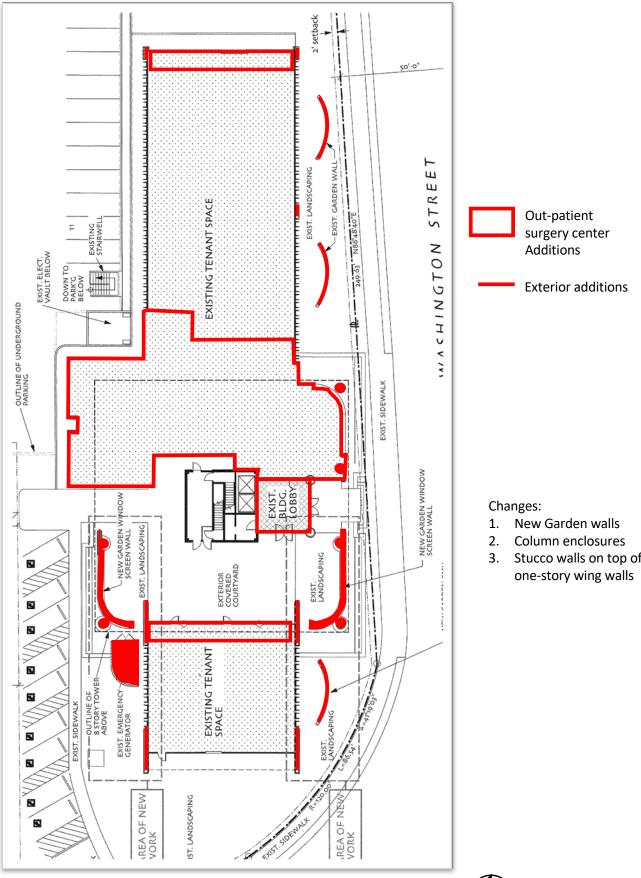
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Photograph #44: 2003 construction drawing, site plan



Photograph #45: 2003 construction drawing, site plan

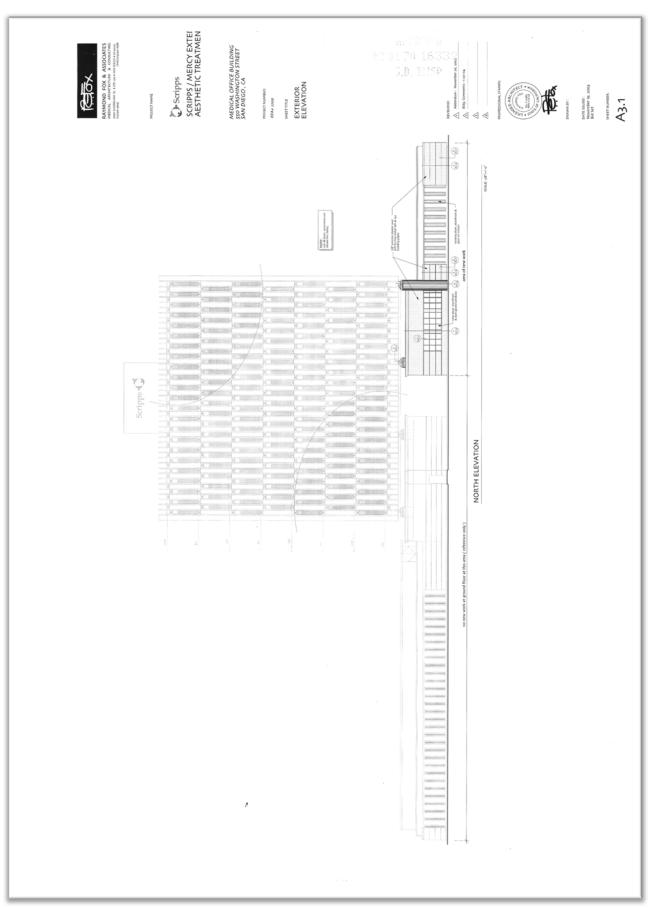




Photograph #47: 2003 construction drawing, floor plan

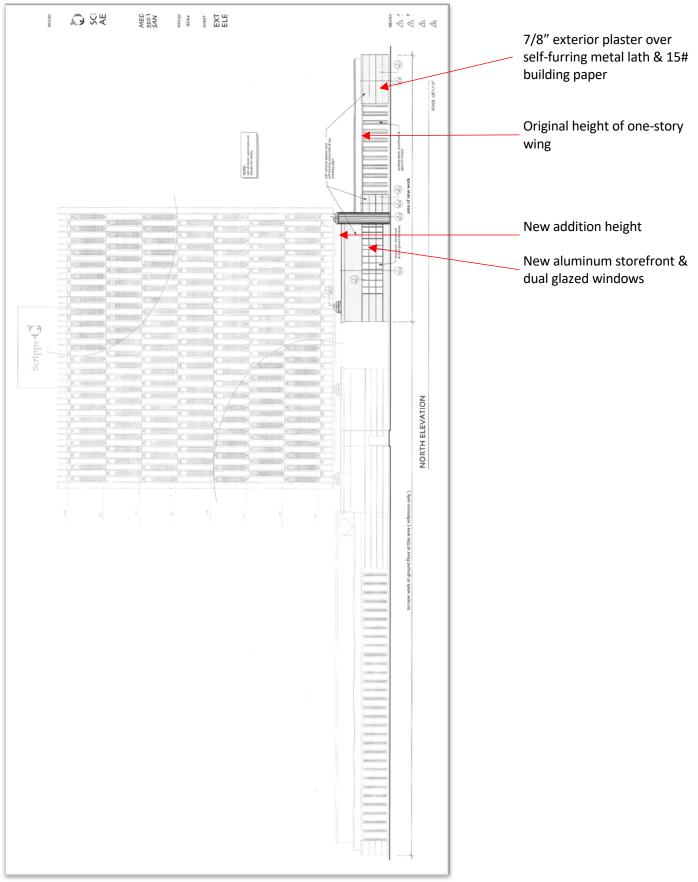


Stucco walls on top of

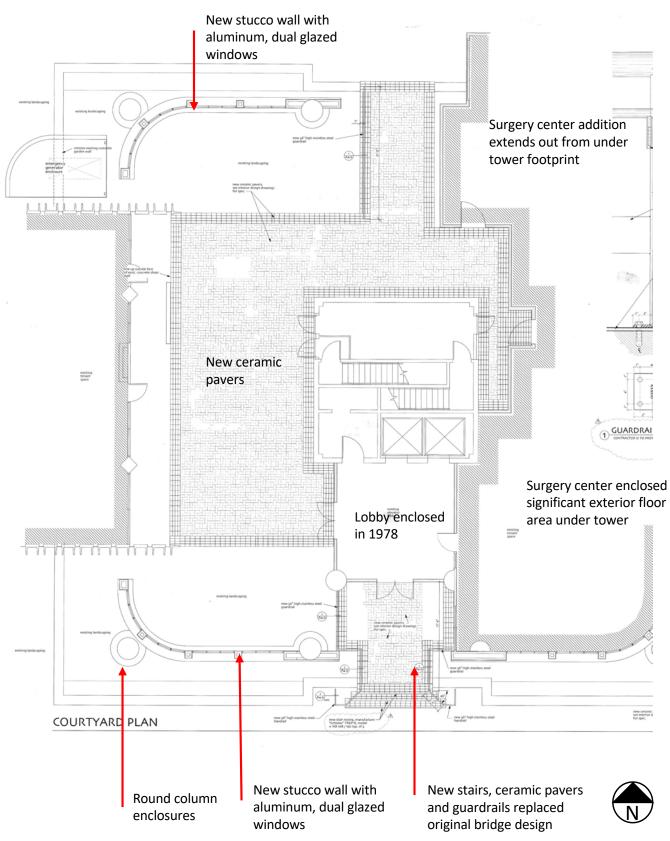


Historical Resource Technical Report for 550 Washington, San Diego, California 92103

Photograph #48: 2003 construction drawing, elevation



Photograph #49: 2003 construction drawing, elevation



Photograph #50: 2003 construction drawing, site plan

# 4 Significance Evaluation

The City of San Diego, State of California, and National Park Service each have historic preservation programs that provide guidance on the evaluation of a property's potential historic significance. Each of these programs have their own criteria for establishing historical significance; however, their criteria are similar and based upon historical contexts and themes. Although each of the three historic preservation programs have multiple criteria upon which to evaluate significance, only one criterion must be met within each respective program to establish historic significance for that agency.

In addition to the evaluation of historical significance, the three aforementioned historic preservation programs require that a property retain sufficient integrity. Integrity refers to the sufficient presence of a property's physical features necessary to retain its historical character. Sufficient retention of historical character is necessary to convey historical significance.

The following sections include evaluations of the Property for:

- Integrity evaluation;
- Historical significance under the City of San Diego's criteria;
- Historical significance under State of California criteria; and
- Historical significance under National criteria.

# 4.1 Integrity Evaluation

In addition to determining the significance of a resource under local, state, and federal criteria, a resource is also assessed for integrity. Integrity is the ability of a resource to convey and maintain its significance. To retain historic integrity, a resource must possess several, and usually a majority, of the seven key aspects of integrity: Location, Design, Setting, Materials, Workmanship, Feeling and Association.

According to the City's Guidelines for the application of the Historical Resources Board Designation Criteria, there are two important principles for understanding Integrity:

Integrity is the authenticity of a historical resource's physical integrity clearly indicated by the retention of characteristics that *existed during the resource's period of significance*.

Integrity relates to the presence or absence of historic materials and character defining features.

Historical resources eligible for designation by the HRB must meet one or more of the designation criteria and retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance.<sup>27</sup>

## Application of the seven aspects of Integrity:

1. Location: Location is the place where a resource was constructed or where an event occurred.

<sup>&</sup>lt;sup>27</sup> Guidelines for the Application of Historical Resources Board Designation Criteria, Pg. 3-4.

The Property remains in its original location. Therefore, it has retained its <u>Location</u> Integrity for its 1964 period of construction.

2. Design: Design results from intentional decisions made during the conception and planning of a resource. Design includes form, plan, space, structure, and style of a property.

The Property's tower maintains the same massing as when it was first constructed; however, the remainder of the Property's design, that portion of the Property that is most visible from street view, was significantly modified through permitted alterations beginning in 1978. These significant alterations removed the Property's authentic representation of its 1964 Modernist design including its form, plan, space, structure, and style; therefore, the Property no longer retains its Design integrity.

3. Setting: Setting applies to the physical environment, the character of a resource's location, and a resource's relationship to the surrounding area.

Initially, the Medical Complex Neighborhood was developed with low and medium density residential buildings and commercial buildings along Washington Street; and the area included typical San Diego landscape features of canyons and hillsides, including a small canyon along the north side of the Property. Over time, these canyons were infilled and developed including construction of a parking garage at the north side of the Property in 1981. In addition, visual and physical access to the Property were impacted due street redesign, addition of the parking garage in 1981 and alterations to the ground floor lobby. These changes to the Property's setting, significantly altered both visual and physical approaches to it; therefore, the integrity of Setting is no longer present.

4. Materials: Materials comprise the physical elements combined or deposited in a particular manner or configuration to form a property.

The Property's original design had a unique and specific arrangement of materials. Significant alterations transformed these materials, changing the configuration of the property. Specifically, the following materials were removed: the iconic open-air pavilion's specially sourced Italian marble, the terrazzo pedestrian bridges, raised planters, and monumental reflecting pool. In addition, the following materials were added: slender rectangular columns were enclosed within circular stucco surrounds and contemporary wall framing, stucco finishes, stucco details and aluminum framed dual-glazed windows were added to both one-story wings and under the tower. The manner in which the Property's physical elements exist today are no longer an authentic representation from its period of significance and the integrity of Materials is no longer present.

5. Workmanship: Workmanship consists of the physical evidence of the crafts employed by a particular culture, people, or artisan, which includes traditional, vernacular and high styles.

Historical photos do display "crafts" employed in the original construction of the 1964 Property. Significant alterations to the Property's entire ground floor in 1978, 1991, and 2003 removed any significant portion of these elements. These alterations transformed the Property from its 1964 highstyled concrete tower. The alterations included the removal of iconic open-air pavilion, removing the structural and visual separation between the tower and both one-story wings. The loss of this

separation and the design change to the Property's original ground floor composition rendered the integrity of Workmanship as no longer present.

6. Feeling: Feeling relies on present physical features to a property to convey and evoke an aesthetic or historic sense of past time and place.

The Property's tower retains its original massing and scale; however, alterations (summarized above) were made to the entire ground floor, completely altering its original design composition. The flow of open space under and around the tower, both physically and visually was integral to the Property's design aesthetic which created unique relationships between the tower and its one-story wings. Without these formal relationships the Property no longer evokes its original Modernism aesthetic; therefore, it no longer retains its Feeling aspect of integrity.

7. Association: Association is the direct link between an important historic event or person and a historic property.

Historical research indicates a historical association between the Property's design and architect William Lewis, considered to be a Master Architect in San Diego. The Property has multiple significant alterations, including: the loss of the majority of the ground floor's massing; windows and door patterns; flooring and wall materials; ornamentation; the tower's column proportions; and the loss of the spatial relationship between the tower and the single-story wings. The Property's iconic tower remains intact, but none of the Property's iconic original features remain today. Per an evaluation under the Guidelines, the Property is no longer a representative example of Master Architect Lewis' body of work, while it retains some basic features conveying massing it has lost the majority of the features that once characterized its style and identified it as the work of a Master. The Property is no longer a representative example of Master Architect William Lewis's work and does not meet the criteria for significance under Criterion D: Master Architect. Therefore, the Property no longer maintains an Associative element of integrity.

#### Integrity Conclusion

Of the seven aspects of integrity, the Property has retained one aspect: Location.

# 4.2 Application of San Diego Historical Resources Board (HRB) Register Significance Criteria

According to the City of San Diego Land Development Manual, Historical Resources Guidelines, Appendix E, Part 2: Any improvement, building, structure, sign, interior element and fixture, site, place, district, area, or object may be designated as a historical resource by the City of San Diego Historical Resources Board if it meets one or more of the following criteria:

Criterion A: Exemplifies or reflects special elements of the City's, a community's, or a neighborhood's, historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development;

Criterion B: Is identified with persons or events significant in local, state or national history;

Criterion C: Embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;

Criterion D: Is representative of the notable work or a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman;

Criterion E: Is listed or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources; or

Criterion F: Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

#### Evaluation of the Property under the City of San Diego's criteria:

#### Criterion A (San Diego Register)

Community Development: The Resource exemplifies or reflects special elements of a city's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

Per Criterion A, a resource that exemplifies or reflects special elements of its development is significant. A "Special elements of development refer to a resource that is distinct among others of its kind or that surpass the usual in significance." <sup>28</sup> For each aspect of development, the resource shall exemplify or reflect a special element of that development which either maintains an established precedent or may itself be the model for development.<sup>29</sup>

In the context of Criterion A and per the Uptown Community Plan's Historic Element: Does the Property reflect a special element of Uptown's development and retain sufficient Integrity to convey this association?

#### History of Mid-century Highrise Design and Construction in San Diego<sup>30</sup>

Most building engineers, inspectors, architects and similar professionals define a high-rise as a building that is at least 75 feet tall. The history of skyscrapers in San Diego begins with the completion of the U.S. Grant Hotel, the first building considered high-rise in San Diego. The U.S. Grant Hotel (211'), designed by Architect Harrison Albright and completed in 1910 stood the tallest for 17 years until exceeded by the El Cortez Hotel. The El Cortez, designed by the architectural firm of Walker & Eisen, measured over 310', and was not surpassed until construction on the Executive Complex was completed in 1963. Situated at 1010 2<sup>nd</sup> Avenue and designed by Raymond Harry Ervin, the 350' building was San Diego's tallest until 1969. In 1969, the Complex was displaced by 530 B street, also known as

<sup>&</sup>lt;sup>28</sup> Guidelines for the Application of Historical Resources Board Designation Criteria, Pg. 7.

<sup>&</sup>lt;sup>29</sup> Guidelines for the Application of Historical Resources Board Designation Criteria, Pg. 8.

 $<sup>^{\</sup>rm 30}$  From the archives of Marie Burke Lia, Attorney at Law. 1980-2020.

the Southern California First National Bank (Union Bank of California Building today), which stood as the tallest building for two decades with its height of 388 feet. 530 B Street was designed by the firm of Tucker, Sadler, and Bennet (Tucker Sadler, today).

Well suited to high-rise buildings, New Formalism emerged as an architectural style in the mid-1950s and was in full swing in the United States by the 1960s. As its name suggests, the designs were meant to evoke Classical architecture - typically Greek or Roman, but sometimes even Gothic. Elements of the style included precast concrete, classical colonnades and marble arcades.

Buildings that were similarly designed and built as the Property include the Chamber Building (13-stories tall)—of slipform construction—and designed by LA Architects Palmer & Krisel in 1961. Situated at 110 West C Street, this building exhibits elements of New Formalism. Like the Property, the Chamber Building features a high-rise tower set atop a podium. A portion of the podium is embellished with decorative concrete.

530 B Street, at 388', also has a 2-story platform including banking, shops, offices and parking. Constructed in 1966, it has precast concrete wall panels. A \$15 million remodel in 1992 focused on the building's interior and included refurbished bathrooms, a redesigned lobby and landscaping the thirdfloor terrace.

The SDG&E Corporate Building (also known as the Sempra Building at 101 Ash Street), at 291.99', was completed in April 1968. A portion of the platform displays tall glass windows facing toward its exterior columns—giving that portion of the ground floor an open-air feel. The building was designed by Richard G. Wheeler.

Also designed by Wheeler, and the firm of Bird, Fujimoto, Fish, is the 19-story Westgate Hotel built in 1970 at 1055 2<sup>nd</sup> Avenue. Most similar to the Property's design, the Westgate Hotel's design encompasses a full city block and includes the character defining features of the New Formalism style. The Westgate Hotel's design includes a podium with two buildings separated by an open-air court between, running east west across the site. The hotel building is on the north side of the court. It rises 20 stories from the street with a lower level for parking and hotel shops. The open-air court is landscaped with above ground planters and lined with colonnades. A two-story office building with ground floor commercial flanks the open-air court. A majority of the entire ground floor is transparent with floor to ceiling glazing and open-air courts.

Each of these San Diego mid-2th -century high-rises exhibited similar elements to the Property and were recognized in the local media. However, the Property was a better, and more innovative example of a mid-century high-rise designed in the New Formalism style among its contemporaries. Its open-air pavilion with reflecting pool, slender columns, separate (but related) one-story wings, concrete panels, and aluminum tracery exemplified the New Formalism ethos. While 530 B Street, SDG&E and the Westgate are significantly taller than the Property, it was the view from street level which made 550 so noteworthy.

## Evaluation of the Property under Criterion A:

1. <u>Historical Development</u> shall exemplify or reflect a special or unique aspect of the City's general historical development; or shall exemplify or reflect a unique aspect of the City's history.

The Property was developed by the Whitson Co. as a speculative medical office building. They sold it soon after it was completed to Gynob Co., Inc. The Property ownership and management has been controlled by Scripps Mercy Hospital since 1995. Medical use development within the Medical Complex neighborhood was initiated with the development of County Hospital (UCSD today) in 1904 and Mercy Hospital (Scripps Mercy today) in 1926. Therefore, the Property reflects an established pattern of the city's <u>Historical Development</u> in the Medical Complex Neighborhood and is not a special or unique aspect.

2. <u>Archaeological Development</u> exemplifies subsurface deposits and features that were part of early human development on the site.

No such deposits or features exist; therefore, the Property does not exemplify or reflect <u>Archaeological</u> <u>Development</u>.

3. <u>Cultural Development</u> exemplifies or reflects development that is associated with a group people linked together by shared values or beliefs, properties associated with significant achievements in the visual and fine arts, or disciplines associated with the public or private institutions of higher learning and/or academic inquiry.

The Property does not possess a Cultural aspect of significance and it does not exemplify or reflect an aspect of San Diego's <u>Cultural Development</u>.

4. <u>Social Development</u> exemplifies or reflects development that is associated with relations or interactions with others.

The Property is not associated with any such relations or interactions of Social Development.

5. <u>Economic Development</u> shall exemplify or reflect development associated with the local, regional, state or national economy or economics, including manufacturing, labor, agriculture, maritime or transportation industries.

The Property represents the speculative expansion of medical office buildings in the Medical Complex neighborhood. While San Diego's economic development was the catalyst for high rise construction in the city, the Property was not San Diego's first high rise and is one of many with this association in San Diego and does not have an association of any greater significance than the usual, therefore, it cannot have an association with the <u>Economic Development</u> aspect of significance.

6. <u>Political Development</u> shall exemplify or reflect development associated politics or the political atmosphere or related movements.

The Property does not have any <u>Political Development</u> associations.

7. Aesthetic Development shall exemplify or reflect development associated with an artistic arrangement in theory or practice.

The Property does exemplify an artistic arrangement in theory or practice.

8. <u>Engineering Development</u> shall exemplify or reflect development associated with Engineering Development.

The Property was constructed by Peter Kiewit and Sons with Charles Pankow leading the project for Kiewit. They were early proponents of design-build construction methods. The firm demonstrated that early collaborative planning and design could lead to extensive cost savings during planning and construction of the iconic Los Angeles American Cement Building, completed in 1961.<sup>31</sup> They then brought these skills to San Diego when Kiewit was hired to build the thirteen-story First and C Building (the Chambers Building today) in 1961. Their involvement on the Property followed these seminal projects.

The design-build construction method and engineering principals employed at the Property were not new, having been developed in other regions of the United States, especially Los Angeles and in downtown San Diego. Other construction and engineering techniques attempted at the Property, including a top-down concrete floor framing technique, did not result in new engineering methodologies. <sup>32</sup> The Chamber building is an earlier example of slipform construction in downtown San Diego, therefore the Property does not reflect a significant <u>Engineering Development</u> aspect of significance.

*9.* <u>Landscape Development</u> shall exemplify or reflect development associated with garden and park design, subdivision design or ecosystem/habitat restoration.

Due to significant alterations, the Property's existing landscaping is no longer representative of Wimmer Yamada and Caughey's iconic minimalist landscape design. Initially, the landscape design included an open-air pavilion on a raised plinth accessed by terrazzo pedestrian bridges, raised planters, four reflecting pools, modernist pavers, geometrically arranged trees and monument signage that complimented the Property's design. Almost nothing of the original landscape design remains. Planters were filled in and the open-air pavilion was enclosed. New stucco landscape walls and tropical plantings infill the site. The landscape that is present today lacks a formal design, and therefore, it no longer has a significant association with Landscape Development.

10. <u>Architectural Development</u> shall exemplify or reflect development associated with the city's built environment, especially that designed and constructed by non-architects, including real estate developers, contractors, speculators, homeowners and others associated with the building industry.

The Property's unique design and large size spurred significant media attention throughout its development, design, and construction. Its completed design exemplified mid-century high-rise architecture in the New Formalism style. However, due to significant permitted and irreversible alterations its key New Formalism features were irreparably changed. New construction removed many

<sup>&</sup>lt;sup>31</sup> <u>A Better Way</u>. p, 54

<sup>&</sup>lt;sup>32</sup> Ibid. pp. 65-66

of the unique architectural design characteristics and features that made the Property notable, therefore it no longer has a significant association with the City's <u>Architectural Development</u>.

The Property was an example of a mid-century high-rise designed in the New Formalism style. Its openair pavilion with reflecting pool, slender columns, separate (but related) one-story wings, concrete panels, and aluminum tracery exemplified the New Formalism ethos and set it apart from its contemporaries. However, its design was not recognized by the architecture community; the American Institute of Architects did not recognize the Property's design at its biannual awards in 1964. (Five other buildings by Deems Martin Associates were honored that year.<sup>33</sup>) The Property's ground floor pavilion received much media attention, but this significant and unusual element was lost when the lobby was enclosed in 2003. Multiple iconic features were lost as a result of successive alterations. Chief among them, the open-air lobby, which was a special element, and differentiated the Property from its other New Formalism high rise contemporaries, is no longer extent. Therefore, under Criterion A, the Property does not qualify under <u>Architectural</u> development.

#### Criterion A (San Diego Register) Conclusion:

No historical evidence was identified regarding the Property to suggest that it currently exemplifies or reflects a special or unique aspect of the City's general historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development; or that it exemplifies or reflects a unique aspect of the City's history. The Property is an altered example of mid-century, high-rise medical office development designed in the New Formalism style and located in the Medical Complex Neighborhood. The Property's expression of the New Formalism style was distinct among others of its kind but due to alterations, it does not surpass the usual for mid-century high-rise New Formalism styled buildings. Therefore, it does not merit designation under Criterion A.

#### Criterion B (San Diego Register) Persons or Events:

The Resource is identified with persons or events significant in local, state, or national history. <sup>34</sup>

#### <u>Owner #1: the Whitson Company (1939 – 1965)</u>

The Whitson Company was a land development company owned by Robert Whitson Sr. and Robert Whitson Jr. (son and grandson of William Whitson, originator of the Hillcrest Company credited with initial development of the Hillcrest neighborhood). Per Chain of Title documents, the Whitson Company purchased the parcel from other Whitson family members. The Whitson Company conceived of a speculative medical office building on the Parcel and hired architects and contractors for its development.<sup>35</sup> It sold the completed Property shortly after construction, partially leased, to GYNOB Inc. Research on the Whitson Company, beyond its development of the Hillcrest North Medical Center is scant. It appears that most of the Whitson family relocated from San Diego to Los Angeles between 1923 and 1940.<sup>36</sup> Robert Whitson Jr. returned to San Diego in 1955 to work for the Whitson Company, developed the Hillcrest North Medical Center and then left for Whitter, California in 1966, but returned to San Diego again in 1968 to work in real estate property management until his retirement in 1978.<sup>37</sup>

<sup>&</sup>lt;sup>33</sup> Deems and Lewis were recognized in the 1964 AIA Awards, but not for Hillcrest North Medical Center. Instead, they won a Merit Award for their design of the office building for Attorneys Rubin, Seltzer and Solomon.

<sup>&</sup>lt;sup>34</sup> Guidelines for the Application of Historical Resources Board Designation Criteria, Pg. 15.

<sup>&</sup>lt;sup>35</sup> San Diego Union, Medical Group Busy New Hillcrest Center. 1965. P. 105.

<sup>&</sup>lt;sup>36</sup> <u>https://www.thewhitsoncompany.com/#our-mission-section</u> Accessed October 2019

<sup>&</sup>lt;sup>37</sup> <u>https://www.thewhitsoncompany.com/#our-mission-section</u> Accessed October 2019

The Hillcrest North Medical Center is the only building found to be credited to the Whitson Company and both Robert Whitson Sr. and Jr.

#### Owner #2: Gynob, Inc. (1965 - 1973)

Available historical information regarding this owner is scant. Per an article in the San Diego Union Tribune in 1965, Gynob, Inc. was a corporation of approximately 20 doctors with headquarters at 525 Hawthorn Street in 1965. The doctors expected to relocate into the Property after its purchase. At the time of purchase, 25 additional doctors, who were not members of the corporation were already operating out of the new medical office building.

#### <u>Owner #3 - #20: (1973 - 2016)</u>

These owners were either outside the period of significance or owned the parcel for less than five years and therefore were not researched.

The Whitson Company's Robert Whitson Sr. and Robert Whitson Jr. conceived of the Property as a speculative development to fulfill a need for modern medical office space conveniently located near a hospital. William Whitson left San Diego around the time of WWII and was no longer a member of the San Diego real estate community at the time of the Property's construction. Robert Whitson Jr. relocated back to San Diego from Los Angeles for the project's development. While William Whitson, father and grandfather to Robert Sr. and Robert Jr., was a significant person in San Diego's history, specifically the development of Hillcrest, neither Robert Sr. nor Robert Jr. are significant within local, state or national history. Neither has made demonstrable achievements or contributions that have historical significance within the City of San Diego.

Gynob Co., Inc. was the second owner and operator of the completed property. They maintained ownership for eight years. Archival research did not yield any information regarding this organization's role within the history of City of San Diego beyond the fact that they owned the property for eight years.

Based upon available research, no person who is significant in local, state or national history, has made demonstrable achievements and contributions to the history of San Diego, the state or the nation has been identified with this property, and therefore the property does not qualify for designation under Criterion B for identification with a person.

In order for a property to qualify for designation under Criterion B for association with an event significant in local, state or national history, the event must be significant in the history of San Diego, the state or the nation. No such event has been identified with this property and therefore, the property does not merit designation under Criterion B.

<u>Criterion B (San Diego Register) Conclusion</u>: The Property is not eligible for local designation under the City's Criterion B as it is not identified with any persons or events as defined in that Criterion.

#### Criterion C (San Diego Register) Architecture:

The Resource embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of indigenous materials or craftsmanship.<sup>38</sup>

<sup>&</sup>lt;sup>38</sup> Guidelines for the Application of Historical Resources Board Designation Criteria, Pg. 20.

Criterion C applies to resources significant for their physical design or method of construction. To embody the distinctive characteristics of a style, type, period or method of construction refers to the way in which a property was conceived, designed, or fabricated by an individual, a group of people, or a culture. Distinctive characteristics are those physical features or traits that commonly recur in individual styles, types, periods or methods of construction. The resource must embody distinctive characteristics of an architectural style, a type of construction, a recognized construction period, or an identifiable method of construction, as established through accepted bodies of scholarly and professional work. Comparison to other resources of the same style, type, period, or method of construction is not required unless scholarly work has not been done on a particular property type or unless surviving examples of a property type are extremely rare.

It is important to note that Criterion C states that a resource embody the distinctive characteristics of a style, type, period, or method of construction. Criterion C does not state that the resource must be a unique or distinguished example of a style, type, period, or method of construction. Resources which do not embody the distinctive characteristics of a style, type, period, or method of construction as supported by established sources do not qualify.

## Architectural Style

Designed in 1961 for the Whitson Company, the original Property's design is credited to William Lewis of Deems-Martin Associates, a San Diego branch of the Los Angeles architecture firm, A. C. Martin. Various publications as well as both Deems and Lewis, described the Property's unusual design,

Deems said the design "borrows from the past to answer a need of the present by use of a tracery on the outside face of the tower." A number of unusual features have been incorporated in the design. The main portion of the tower is on piers and is open a full story at street level. A large reflecting pool will surround the lobby, with pedestrian bridges of terrazzo leading from entries on Washington Street and the parking lot. All entry in the building will be through this stepless lobby.<sup>39</sup>

After a long search of marble supplies in Italy, a special charcoal brown shade specified for facing on the core by the architects, Deems-Martin and Associates [sic] has been located.<sup>40</sup>

Publications right after the completion of construction commented on the new design,

Most immediately noted is the foyer, completely open, surrounded by reflecting pools and lush green plants and centered with an elevator shaft covered by highly polished charcoal-brown Italian marble. It is entered by terrazzo bridges across the pools.<sup>41</sup>

Although widely publicized in San Diego, the 1964 Property is never described as embodying a specific architectural style in any of the publications. In designing the Property, Lewis presented a building representing the architectural style for which he became so well known—Modernism. However, an analysis of its modern style can be made as the design relates to the San Diego Modernism Context Statement. Its initial design (although significantly altered, as discussed in the Alterations section of this report) included characteristics and features common to both the International and Brutalist modern architectural styles as defined by the San Diego Modernism Context Statement. In addition, the Property exhibits characteristics and features related to the New Formalism style of architecture, which is not

<sup>&</sup>lt;sup>39</sup> Union Tribune. June 4, 1961.

<sup>&</sup>lt;sup>40</sup> San Diego Union. June 2, 1963.

<sup>&</sup>lt;sup>41</sup> San Diego Union. August 9, 1964.

included in the San Diego Modernism Context Statement. The Property is evaluated under all three styles in the following sections.

#### International Style

Per the San Diego Modernism Context Statement,

The International style was a major world-wide architectural trend of the 1920s and 30s and reflects the formative decades of Modernism prior to World War II. Although the International style originated in Western Europe, it transcended any national or regional identity because International style architecture made no reference to local vernaculars or traditional building forms. The style quickly migrated to the United States as architects from Europe fled prior to WWII. In Los Angeles, immigrant architects Rudolph Schindler and Richard Neutra were instrumental in popularizing the International style. The emergence of International style architecture in San Diego came later with most examples built after 1935.

*The International style is characterized by a radical simplification of form and a complete rejection of ornament. Common features of International style architecture include square and rectangular building footprints, simple cubic or extruded rectangular forms, horizontal bands of windows, and strong right angles. Predominant building materials include concrete, smooth stucco, brick, and glass.* <sup>42</sup>

#### International style characteristics<sup>43</sup>

Characteristic feature		Expression in the Property
1.	Flat roofs (cantilevered slabs or parapets)	Partial, parapet but exterior detailing is more ornate;
2.	Lack of applied ornament	<b>No</b> , elevations are covered with repeated aluminum tracery at the tower. the one-story wings have contemporary stucco ornament, a later addition;
З.	Horizontal bands of flush windows	No, windows are vertically oriented where they are visible;
4.	Asymmetrical facades	<b>No</b> , the tower is symmetrical. However, one-story wings are now asymmetrically massed.

#### **Primary Characteristics**

#### **Secondary Characteristics**

Characteristic feature		Expression in the Property
5.	Square corners	Partial, exterior ornamentation blurs corners
6.	Common exterior materials include concrete, brick, and stucco	<b>Yes</b> , concrete is present however, stucco features were later added over some sections of concrete.
7.	Steel, sash windows (typically casement)	Yes, but not operable
8.	Corner Windows	No
Total		2 of 8 Primary or Secondary Characteristics with 2 additional features partially expressed

Per the San Diego Modernism Context Statement,

In San Diego, examples of true International style architecture are rare with no great concentrations occurring in any one area. International style buildings in San Diego generally have commercial or

<sup>&</sup>lt;sup>42</sup> City of San Diego. San Diego Modernism Context Statement, p. 58

<sup>&</sup>lt;sup>43</sup> San Diego Modernism, p. 59

institutional uses, such as schools. Residential examples in San Diego are uncommon, but there are some examples of International-inspired tract homes. They were advertised by Dennstedt builders as "Modern" in the late 1930s, and are located in the Rolando Village area.

Examples of this style in San Diego are limited; therefore, retention of good examples is important. Eligible resources should retain the majority of their character defining features, although some impact or loss to character defining features may be acceptable when comparative analysis demonstrates that the resource is a rare example of the type.

Location and setting are particularly relevant for International style resources which are institutional and related to a "campus" environment, and the preservation of the surrounding site may be important to the overall significance of the resource.

*Typically, International style buildings will be significant individually due to their limited number and the rarity of resources gathered in a sufficient concentration to warrant district designation. However, tracts exhibiting an International theme, such as the one in the Rolando Village area, may be eligible for district designation.* <sup>44</sup>

#### Evaluation of International style as applied to the Property

The Property's initial design included a number of the primary and secondary characteristics of the International Style; however, their representation is not strong in this Property. The San Diego Modernism Context Statement does not include the interior and exterior design qualities such as indoor and outdoor connections, rich materials, or structural expression. These were also common to this style and were present in the Property's original design.

Permitted alterations to the entire ground floor removed and/or significantly modified important features of the Property's original International Style to such an extent that the Property is no longer representative of the style.

#### Brutalism Architectural Style

Per the San Diego Modernism Context Statement,

The name "Brutalism" originated from the French béton brut which means "raw concrete". The term refers to the honest expression of materials, not a social attitude toward people. The style was largely inspired by Swiss architect Le Corbusier.

Brutalist buildings are generally strikingly blockish, geometric, and composed of repetitive shapes. The predominant building material is concrete, frequently revealing the intentional textures of the wood formwork. The concrete is intended to be fully expressed as both the primary structural material and finish. Critics of the style argued that it disregarded the social environment, making such structures inhuman, stark, and out of place. <sup>45</sup>

Brutalist style characteristics<sup>46</sup> Primary Characteristics Characteristic

Expression in the Property

<sup>&</sup>lt;sup>44</sup> San Diego Modernism, p. 59

<sup>&</sup>lt;sup>45</sup> San Diego Modernism, p. 78

<sup>&</sup>lt;sup>46</sup> San Diego Modernism, p. 79.

1.	Exposed and expressive structural system	Yes, at Tower, but structural system was replaced at the ground floor.
2.	Monumental massing	Yes.
3.	Angular and rectilinear forms	Yes.
4.	Exposed concrete as building finish	Yes, but significant areas of stucco added to ground floor.

#### Secondary Characteristics

Characteristic		Expression in the Property	
5. Repetitive patterns		<b>Yes</b> , but ground floor repetitive pattern was altered with contemporary additions.	
<ol> <li>Intentional avoidance of traditional elements or ornament</li> </ol>		<b>Partial</b> , traditional ornament was excluded during the Property's initial design and construction, but stucco ornamentation was added in 2003 over top of the Brutalist one story wings.	
Total		5 of 6 Primary or Secondary Characteristics with 1 additional feature partially expressed	

Evaluation of Brutalist examples, per the Modernism Context Statement,

With the exception of the University of California San Diego (UCSD) campus, examples of Brutalism are rare in San Diego. In most cases these massive buildings are associated with the work of a recognized master architect, and would be considered for designation individually. Given the importance of the building form and materials to the expression of Brutalism, modifications which significantly alter or obscure these character defining features may render the building ineligible for designation.

Landscape styles vary dramatically for this sub-style. Location and setting are particularly relevant for Brutalist resources which are institutional and related to a "campus" environment, and the preservation of the surrounding site may be important to the overall significance of the resource.<sup>47</sup>

#### New Formalism Architectural Style

The New Formalism architectural style is most often found in civic and corporate buildings such as banks, college campuses, concert halls, and museums.

#### New Formalism Style Characteristics<sup>48</sup>

Characteristic		Original (1964)	Expression Today
1.	Lines and Geometric shapes dominate elevations (proportion and scale and organized hierarchy of space)	Yes.	<b>Partial</b> . The tower's geometric, rectangular form remains as it was originally constructed. However, the ground floor's alterations covered, impaired, and in some instances removed the ground floor's original geometric design, plan, form, and style.
2.	Typically have symmetrical elevations, including a grand axis	Yes.	<b>Partial.</b> The tower retains its symmetrical form. However, the ground floor is no longer symmetrical due to significant alterations to the once open-air lobby.
3.	Surfaces are always smooth, exterior wall surfaces of cast stone, brick and marble	Yes.	<b>Partial.</b> The tower's metal and concrete surfaces are smooth.

<sup>47</sup> San Diego Modernism, p. 79

<sup>&</sup>lt;sup>48</sup>https://dahp.wa.gov/historic-preservation/historic-buildings/architectural-style-guide/new-formalism

			However, the ground floor now includes significant alterations finished with rough textured stucco which also removed and or covered the lobby's once sleek marble, steel, and concrete form.
4.	Larger urban scale, Interest in relationship parts to whole (proportion and scale)	Yes.	<b>No.</b> Significant alterations enclosed the ground floor lobby which removed the separation originally provided between the tower and its ground floor wings through the void provided by the openair lobby.
5.	Often defined at top by heavy, flat projecting slab (Entablature)	Yes.	<b>No</b> . Enclosure of the lobby removed the top-heavy feeling that was originally created by the open-air lobby and thin columns supporting the tower
6.	Repetition of arch motif is common (Colonnade)	No.	No.
7.	Emphasis is placed on the structure or construction grid of the building. Column supports common along all elevations (Colonnade)	Yes.	<b>No</b> . Original columns are now enclosed within walls or large round columns shielded from view by free-standing stucco screens.
8.	Patterned screens or grilles may appear as decorative features	Yes.	<b>Yes</b> . Aluminum tracery is still present today and it is a decorative feature because although it does provide sun-shading, this function is not necessary on the north elevation and it treats all elevations equally.
9.	Separated from nature by being set upon a raised podium or base	Yes.	No. The original design included a formal landscape design with reflecting pools under and outside of the tower footprint. Significant alterations which removed the open-air lobby also removed and infilled the reflecting pool, an integral and iconic character defining feature.
Tot	tal Characteristics	8/9	1 of 9 Characteristics with 3 additional features partially expressed

## Evaluation of New Formalism style as applied to the Property

The Property's initial completed design illustrates the character defining features of the New Formalism architectural style. Additionally, Deems himself is recorded as saying that his design borrows from the past, which connotes an association with an architectural vocabulary that references classical styles.

Based upon the above evaluation, the Property had a total of eight of nine character defining features from the New Formalism architectural style when it was built and was, therefore, an excellent and representative example of the style. However, as evaluated above, the Property retains only one original character defining feature: its tower with aluminum tracery. While the Property partially retains three character defining features, each of these three features are solely present at the Tower. Permitted alterations removed and/or greatly modified the Property's original New Formalism characteristics at the ground floor. These features, including its formal landscaping design, were integral to its iconic design and without those features the Property is no longer representative of the style.

#### Criterion C: Architectural Style Conclusion

At the time of its construction the Property was an excellent representative example of the New Formalism style. The Property, however, includes significant permitted alterations that removed or significantly impaired its important character defining features of the style. Loss of the Property's openair pavilion lobby, distinct and separate single-story wings, structural support system expression, all four reflecting pools, marble lobby, terrazzo pedestrian bridges and original landscape design is significant, and these alterations are irreversible. Based upon this analysis, the Property no longer embodies essential physical features of the New Formalism architectural style and cannot be representative of the style. Therefore, the Property cannot be eligible for historical designation under this Criterion.

### Evaluation of the Property under Criterion C: Type of Building: Office

Type of construction refers to the way certain properties are related to one another by cultural tradition or function, by dates of construction or style, or by choice or availability of materials and technology. The form and material clearly demonstrate through the presence of essential physical features a specific purpose and/or function.<sup>49</sup>

The Property's type of function can be defined as an office building. It was specifically designed to function as a medical office building and the Property's form and materials were chosen to support this specific purpose. The Property's form included a central ground floor lobby with easy pedestrian access and open floor plans for flexibility of use by tenant. The materials included the use of structural steel and concrete in order to provide large open spaces not possible with wood framed construction.

A building is eligible as an example of its type of construction if it is an important example (within its context) of building practices of a particular time in history.<sup>50</sup>

550 Washington's form (central ground floor lobby and open floor plates) along with materials (steel and concrete) were typical office building design forms and materials available to architects and builders since the first steel office buildings were developed in Chicago during the 1880s.

# Criterion C: Type of Building Conclusion

Office building design and construction using these forms (multi-story, repeated floor plates with open office plans around a central core) and materials (steel and concrete) arrived in San Diego during the early twentieth century when large banks and office buildings were developed in downtown San Diego, such as the seven story Scripps Building at 525 C Street, built in 1907 (HRB #344) and the eleven-story Robinson Building at 903 5<sup>th</sup> Avenue, built in 1913 (HRB #127) and later the fourteen-story Medico-Dental Building at 233 A Street, built in 1927 (HRB #135). Therefore, the office building type was well established locally by the time the Property was designed and built in 1964, and the Property is not eligible for designation as an important example of building practices.

#### Evaluation of the Property under Criterion C: Method of Construction: Slip-form Concrete

Method of construction refers to the manner the procedures and techniques that are used during the construction process in order to build a building. A building is eligible as an example of a method of construction if it is a rare or an important example of building practices, construction innovations or technological advances during a specific time in history.

The Property's construction utilized a common concrete framing technology referred to as "slipform".<sup>51</sup> Slipform is a method of construction in which concrete is poured into the top of a continuously moving formwork. As the concrete is poured, the formwork is raised vertically at a speed which allows the concrete to harden before it is free from the formwork at the bottom. Slip form is most economical for structures over 7 stories high such as bridges and towers, as it is the fastest method of construction for

<sup>49</sup> Guidelines, p.22.

<sup>50</sup> Ibid.

<sup>&</sup>lt;sup>51</sup> San Diego Union. 6/2/1963 "Precasting Speeds Hillcrest Building."

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vertical reinforced concrete structures, but it can also be used for horizontal structures such as roadways.<sup>52</sup>

At 8 stories plus, a 30-foot-tall elevator overrun, the Property was an ideal building height in which to utilize slipform for the Property's core. (The core is at the center of the building and not visible today.) "The concrete core for the eight-story central unit, which was "slip-formed" from 35 feet below street level is now complete. Over 600 channel-shaped columns, each 13 feet long and weighing 3,500 pounds, will be used for the exterior walls of the tower alone. Hundreds of other precast shapes will be needed for floor beams and girders."<sup>53</sup>

# According to Engineer Bruce R. Carter,

"The origin of concrete slipforming is quite obscure, although it is generally accepted that the first use of this technique took place in 1885 when a Texan named Carrico used it to build a smallconcrete raft. No further development apparently took place until 1899 when the Peavey Elevator Company at St. Louis Park, Minnesota performed vertical concrete slipforming on an experimental basis. In general, slipforming was the outgrowth of continued experimentation by contractors to construct multiple reinforced concrete walls of uniform thickness, quickly and economically. Various methods of moving and lifting sectional forms were tried, but all had the same defect of leaving numerous horizontal and vertical joints in the walls."

According to Michael R. Adamson, <u>A Better Way to Build: A History of the Pankow Companies;</u>

"Precasting concrete elements on the job site or on adjacent or nearby lots, rather than casting them in place or using products prefabricated in distant plants, was not unprecedented. California builder and engineer Ernest Ransome...integrated on-site precasting of columns, beams, and girders...before World War I. After World War II, Los Angeles became a particularly active area for precast concrete construction."<sup>54</sup>

The slip-form technique therefore, was in wide use in the United States by the 1950s. Structural engineers continued to perfect this form of construction which lended itself well to Modern architectural design in the mid-1900s. San Diego was perhaps in the most advantageous position for concrete buildings as there was a sand and gravel (elements necessary for the production of concrete) quarry located in Mission Valley. The 225-acre mining site operated for 80 years until it was closed down in the 2010s.

One of the earlier slipform iterations in San Diego was the Chamber Building (1961), that Palmer & Krisel designed at a height of 250' just before the City of San Diego adopted a 13-story height limit on concrete buildings—"a restriction that conformed to the UBC and building codes of other US cities in Seismic Zones 3 and 4."<sup>55</sup>

# Criterion C: Method of Construction Conclusion

In the application of Criterion C, the Hillcrest North Medical Center is not a "rare or an important example of building practices, construction innovations or technological advances." As discussed above, while the Portland Cement Association did honor the Property, this was prior to the major modifications

<sup>&</sup>lt;sup>52</sup> <u>https://www.designingbuildings.co.uk/wiki/Slip\_form\_concrete</u>

<sup>&</sup>lt;sup>53</sup> Mercy Archives. Undated. "Medical Building Boasts San Diego; Structure features Reinforced Concrete".

<sup>54 &</sup>lt;u>A Better Way</u>, pp. 17-20.

<sup>&</sup>lt;sup>55</sup> <u>A Better Way</u>, p. 59.

enclosing the pavilion. Additionally, slipform construction was in use in San Diego well in advance of 500 Washington, thus the Property is not a rare example of slipform construction.

### Criterion C (San Diego Register) Conclusion:

In conclusion, the Property no longer retains sufficient integrity from its 1964 period of significance nor does it embody the essential character defining features of a recognized architectural style to be a representative example of an\_architectural style per the City's Guidelines. The Property is an example of a significantly altered New Formalism styled building. The Property is not a valuable example of a type, period, or method of construction and it did not use indigenous materials or craftsmanship. These facts preclude the Property from being a unique, notable, or unusual example of a recognized style of architecture. The Property does not meet the criteria for significance under Criterion C: Architecture.

### Criterion D (San Diego Register) Work of a Master:

The Resource is representative of the notable work or a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman.

### Architect: Deems–Martin Associates

AC Martin & Associates was a family concern, one of Los Angeles' earliest architectural firms. First headed by Albert C. Martin Sr, sons Albert C. Jr, and John Edward joined the family firm just prior to World War II. The brothers left the organization during the War, returning to ride the wave of a construction boom which followed the conflict.

The 1950s saw the rise of suburbia, and AC Martin responded to the "growing demand for single-family housing by proposing a network of shopping centers to support the population sprawl into the suburbs. Opened in 1952, Lakewood Center would become one of the first of these large-scale centers designed with the features of an urban center and the automobile in mind." <sup>56</sup>

According to the LA Conservancy, the firm never:

"....strayed far from their downtown roots, [wowing] the public with the Los Angeles Department of Water and Power's headquarters in 1964. The sleek, modern design, which conveyed opulence and refinement, contrasted perfectly to Lakewood's enormous physical scale. AC Martin and Associates proved itself as the go-to firm in the region, and they went on to design more structures in downtown Los Angeles than any other firm in the years after World War II." <sup>57</sup>

Ward Deems and William "Bill" Lewis were young architects and former University of Southern California (USC) classmates, working for AC Martin when, in 1959, Deems relocated to San Diego. Lewis was already familiar with the City of San Diego as designer of the May Company Store in Mission Valley. Begun in 1959, the modernist building was completed in 1961, and described by San Diego architectural photographer and historian Darren Bradley as an architectural icon, a "jewel box with a unique texture ... striking architecture ... the cladding all the way around the building ... [is in] a modernist design that plays with light and shadow ... designed to grab attention." <sup>58</sup>

<sup>56</sup> Ibid.

<sup>57</sup> Ibid.

<sup>&</sup>lt;sup>58</sup> https://en.wikipedia.org/wiki/May\_Company\_Building\_(Mission\_Valley,\_San\_Diego) Accessed 9/11/2019. The original building's integrity has been greatly compromised through alterations.

Rather than lose its promising young architects, A.C. Martin saw their move as an opportunity to expand the firm's operation. Together, they all decided to open a San Diego branch office. In April 1959, a corporate agreement was signed to launch "Deems-Martin, Associates. [sic]" <sup>59</sup> Within the firm's first year, it won its first award from the American Institute of Architects for the El Cortez Convention Center, behind the El Cortez Hotel.

According to *Modern San Diego*, Ward Deems was born in November 1929 in Hollywood, California. Raised in Alhambra and Pasadena/Altadena, Deems graduated from Pasadena High School in 1947 and Pasadena Community College in 1949. While in high school, he worked as a carpenter, framer, and home builder; then as a draftsman while attending junior college.

After graduating from USC's School of Architecture in 1953, Deems joined the Martins' Los Angeles firm. Lewis, who graduated from USC's architecture program in 1953, joined the firm shortly thereafter. In 1958, Deems was appointed Associate of the firm, with Lewis serving as lead designer on several projects.

With financial and brand support from the AC Martin firm, Deems and Lewis,

"...opened their office in the El Cortez Building, Ward being responsible for public relations and business development functions, while Bill focused on design and project management. Within a few years, Bill became a co-owner and the firm became Deems Lewis Martin & Associates. [sic] In 1961, the firm was renamed "Deems/Lewis & Partners" and worked its way through their first San Diego recession. Embracing the city-wide motto "Try San Diego First" they and other firms worked to keep clients from heading to Los Angeles to have their projects designed. The firm watched San Diego grow larger and more sophisticated. One important milestone was the shift of retail from downtown to Mission Valley as Walker Scott and Marston's folded (in part because of Lewis' design for Mission Valley shopping center)."<sup>60</sup>

Deems was a member of San Diegans Inc., an influential planning and development organization of business leaders. He was active with the American Institute of Architects, serving as president at both the local and state level. He was inducted as a fellow of the institute, an honor given to a select few, according to Lewis. Of his old friend Ward Deems, Lewis said he was adept at wooing clients. "We started from nothing...Ward was very personable. People liked Ward. He had a lot of drive... he had the ability to communicate well with people, had good design talent and was an organizer."

By the late 1960s, Ward and Bill would break ties with AC Martin. Their new firm was named, quite simply, Deems-Lewis.

Ward Deems played a key role in producing the Embarcadero master plan that revitalized Harbor Drive and shifted San Diego's growth, which was heading east at the time, Lewis said. In a 1992 interview with Deems, he said he was pleased with how the Convention Center turned out. "I'm proud to have been a part of that effort, despite the politics," he said. "Ward was among the cadre of architects who set the whole town in motion to what it is now. They really set the pattern for what San Diego is today," said Wallace Gordon, president of Deems Lewis McKinley, which is now based in San Francisco. "Petco

<sup>59</sup> Modern San Diego

<sup>&</sup>lt;sup>60</sup> http://modernsandiego.com, Accessed 9/14/2019.

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(Park) probably wouldn't have happened without the Convention Center," Gordon said. "I really believe Ward was a citizen architect contributing to the greater good of San Diego." <sup>61</sup>

Deems retired from the firm in the late 1980s and became a consultant. He worked with the Salk Institute in La Jolla for many years, serving as architectural consultant and overseeing additions. Ward Wyatt Deems passed away in September 2009.

After joining the firm of A.C. Martin, Lewis served as lead designer on several projects, including the well-regarded May Company Store located at 1702 Camino del Rio North in San Diego. When, in 1958-59, Deems explored the potential of opening an office in San Diego—then a cheaper, slower-paced city surviving on tourism and military spending—Lewis agreed to join Deems in launching the new venture. Bill focused on design and project management, and within a few years, he became a co-owner in the firm, Deems Lewis Martin & Associates.

According to Modern San Diego Dot Com, one of the firm's earliest,

"...most notable, and visible to the public, projects, the steel screen ensconced Crabtree Building (at 3rd & A Streets) was designed by Robert Jones (who would later join in partnership with Henry Hester). As the firm changed its shingle from Deems-Martin, Associates to Deems Lewis Martin & Associates, then to Deems/Lewis & Partners and subsequently to Deems Lewis McKinley Architects, and grew rapidly in its first few decades, many strong architects cut their teeth in the drafting room. Several of these architects would strike out on their own or join other partnerships to put their stamp on San Diego's built environment." <sup>62</sup>

A partial list of Deems-Lewis San Diego Projects includes the Property, also known as, the Hillcrest North Medical Center (1964), San Diego, CA, Building of the Year, *San Diego Magazine*; Humanities Library-Galbraith Hall (1965) UCSD Revelle College, La Jolla, CA, Building of the Year, *San Diego Magazine*; U.S. Navy Enlisted Men's Barracks (1964) Anti-Submarine Warfare School, Harbor Drive and Nimitz Blvd., AlA Honor Award, AlA San Diego Chapter, and; Torrey Pines High School, among many others.

Lewis became a Fellow of the AlA in 1983. Over the years, Lewis and his firms have been awarded over 60 design awards (most of which were given for his commercial design work). The firm that eventually became Deems Lewis McKinley Architects started as a two-person office and grew to employ about 65 people under the founders' tenure.

According to Glenn Erickson, PhD, AIA, who completed his architectural internship under their tutelage, Ward Deems and Bill Lewis were, "two of Southern California's finest architects." <sup>63</sup> The body of work produced by Deems-Martin Associates has stood the test of time.

A search for architects Ward Deems and William Lewis finds articles regarding their career and association with the design and construction of the Property. See this Report's bibliography for articles sourced in preparation of this Report.

Evaluation under Criterion D Per the Guidelines,

<sup>&</sup>lt;sup>61</sup> Ward Deems, "Architect Helped Influence Direction of Growth in San Diego," Obituary, San Diego Union, 9/26/09

<sup>&</sup>lt;sup>62</sup> http://modernsandiego.com Accessed 9/14/2019

<sup>&</sup>lt;sup>63</sup> https://www.behance.net/gallery/5203979/Deems-Lewis-Partners-AIA-San-Diego-CA Accessed 9/8/2019

A property is not eligible under Criterion D simply because it was designed by a prominent architect, but rather must be the work of a master. Additionally, not all examples of a master's work are eligible. Criterion D requires the resource be representative of the notable work of the Master, as demonstrated in the nomination.<sup>64</sup>

Both Lewis and Deems are included within the San Diego Modernism Context Statement as a *Contributing Designer of Modern San Diego* but they are not identified Master Architects or Builders within the City of San Diego. However, during the recent historical designation of site # 1203, May Company/ William Lewis, Jr. Building, HRB Staff considered Lewis a Master Architect, and the May Company Building was designated as such.

Per the Guidelines, association with a Master must be substantiated through one or more of the following; <sup>65</sup>

As	sociation	Expression in Resource
1.	Construction drawing documentation.	<b>Yes.</b> An enlarged image of the title block from the construction plans confirm Lewis is the design architect.
2.	Specific written accounts describing the individual's association and work on the property.	<b>Yes</b> . There are a number of news articles that associate Lewis with the design of the Property.
3.	Archival information.	<b>Yes</b> . Newspaper archives establish an association between the Property and Lewis.
4.	Design and quality of detailing comparable with other works by the Master, supplemented by documented information establishing the Master's association with the property, and experts on the work of this Master agreeing that the resource in question is the work of this Master.	<b>Yes</b> . See evaluation below for a comparison of the Resource's design and quality of detailing with Lewis' known work.

It can be confirmed that the Property was designed by Lewis, therefore, this HRRR provides an evaluation under Criterion D for eligibility of significance in association with Lewis.

Per the Guidelines, in order to be a notable example of William Lewis' work and establish significance, one or more of the following is required; <sup>66</sup>

Significance	Original Expression	Current
<ol> <li>The scope and excellence of their overall body of work, as it is understood.</li> </ol>	<b>Yes.</b> The Property was considered a premier project for Lewis.	<b>No.</b> Lewis' original concept was significantly altered.
2. Quality of design and detailing excellence.	Yes. See analysis under Criterion C.	<b>No.</b> Lewis' original concept was significantly altered.

<sup>64</sup> Guidelines. Pg. 28-29.

<sup>65</sup> Ibid.

<sup>66</sup> Guidelines. p 28-29.

3. The use of new or traditional materials in a new way resulting in a special or unique design expression.Yes. See analysis under Criterion C. was significantly altered.4. Special attention to work while under construction, basing much of the design refinements on field work and experience.Yes. Per archival news articles, Lewis paid special attention to the Property during its design and construction.Not applicable.5. Publication in trade journals and/or the popular press.Yes. See Appendix.No Change.6. Publication in scholarly journal articles or books.No. Although discussed in a scholarly book, its inclusion was in regards to the career of Charles Pankow who was employed by the contractor at the time.No Change.7. Being the subject of Master's thesis or boctoral dissertations.No. The Property vaes not the subject of a master's thesis or doctoral dissertation;No Change.8. Acknowledgement by design peers through formal awards and citations.Yes. The Property was recognized by San Diego Magazine.No Change.9. Acknowledgement by the general public through formal awards, citation and commendations.No.No.No Change.10. Favorable reviews by professional architecturual critics.No.No.No Change.				
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public through formal awards, citations and commendations.by San Diego Magazine.10. Favorable reviews by professionalNo.No Change.	8.		recognition from the concrete industry for its creative use of	No Change.
	9.	public through formal awards, citations		No Change.
	10.	, ,	No.	No Change.

The following is a list of award-winning projects associated with Lewis from 1960 – 1970.<sup>69</sup> There are twelve projects that meet these criteria. Note, not all of these are attributed to Lewis, but they do represent the firm's quality of work. Note: Prior to 1960, the City of San Diego had not hosted design awards since 1928. Beginning in 1960 design awards were held biannually by the San Diego AIA. The Property would have qualified for the September 1964 AIA Awards given its June 1964 Notice of Completion.

Year	Project	Award	Notes
1960	El Cortez Convention Center Expansion	AIA Award of Merit <sup>70</sup>	Demolished;
1960	Orr Residence	AIA Award of Merit	Found to be not historically significant in 2013, Demolished;
1962	Crabtree Office Building	AIA Honor Award <sup>71</sup>	"Extensive metal grillwork" removed in 2012, design credited to Robert Jones;
1964	San Diego County Welfare Office Building	HHFA First Honor Award <sup>72</sup>	No changes;

<sup>&</sup>lt;sup>67</sup> Knudson, Jack. San Diego Union. 1/30/1966. "Outstanding Structures in Concrete Win Honors for Builders, Designers".

<sup>&</sup>lt;sup>68</sup> San Diego Union. 3/6/1966. "Designers and Builders Honored for Structures".

<sup>&</sup>lt;sup>69</sup> Web. <u>https://www.dlm.com/awards.html</u>. Accessed April 2020.

<sup>&</sup>lt;sup>70</sup> San Diego Union. 6/26/1960. "For Once The Verdict's Against Jury".

<sup>&</sup>lt;sup>71</sup> San Diego Union. 5/13/1962. "San Diego's Architects Earn Praise, Prizes".

<sup>&</sup>lt;sup>72</sup> San Diego Union. 10/25/1964. "Architects Win Design Award".

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1964	U.S. Navy Facilities Engineering Command	AIA Honor Award <sup>73</sup>	No information located;
1964	Church of Jesus Christ of Latter-Day Saints	Ceramic Tile Award <sup>74</sup>	No changes;
1964	Hillcrest North Medical Center	San Diego Magazine Building of the Year <sup>75</sup>	Extensive ground floor modifications;
1964	Rubin, Seltzer, & Solomon Office Bldg	AIA Award of Merit <sup>76</sup>	No changes;
1965	UCSD, Galbraith Hall	San Diego Magazine Building of the Year <sup>77</sup>	Interior modifications;
1966	Hillcrest North Medical Center	Pre-stressed Concrete Institute Honor Award <sup>78</sup>	Extensive ground floor modifications;
1970	LKR Medical Building	AIA Award of Merit <sup>79</sup>	No changes; and
1970	Industrial Indemnity Bldg.	AIA Honor Award <sup>80</sup>	No changes.

Each of these award-winning projects expressed a unique design with quality detailing. The designs then and now (for those that are still extant) express intentional design decision made during their conception with unique forms, plans, spatial relationships, structures, and styles that responded and integrated with their sites.

To date, two resources, attributed to Deems Martin Associates (Lewis), have been nominated for historical significance within the City of San Diego. The Orr Residence (1963) in 2013 and the May Company/William Lewis Jr. Building (1961) in 2016.

The Historical Resource Board decided against designation for the Deems Martin Associates (Lewis) designed 2382 Via Capri Court (Orr Residence). Although recognized for its design in 1960 by the San Diego AIA's Honor Awards, 2382 Via Capri Court no longer embodied the features and characteristics of the Post & Beam architectural style to merit historical designation in 2013. Per the Historical Resource Technical Report prepared by Scott Moomjian, Esq. for 2382 Via Capri Court,

"The structure was constructed as a Modern Post and Beam style residence that was convenient and popular at the time. In its current condition, 550 Washington possesses very few elements which would elevate it to a level above other Modern Post and Beam structures built in La Jolla during the 1960s."<sup>81</sup>

The Historical Resources Board designated the May Company/William Lewis Jr. Building HRB No. 1203 under Criteria A, C, and D. Per Criterion D, it is designated as a notable example of Lewis' body of work per the following, <sup>82</sup>

"The resource is representative of a notable work of Master Architect William Lewis, Jr., a Fellow of the American Institute of Architects recognized and awarded for his large portfolio of distinctive commercial

<sup>73</sup> Ibid.

<sup>&</sup>lt;sup>74</sup> Web. <u>https://www.dlm.com/awards.html</u>. Accessed April 2020.

<sup>&</sup>lt;sup>75</sup> San Diego Magazine. March 1964. "Hillcrest North: brilliant use of four sculpted bearing walls". Pages 36-37 and 130.

<sup>&</sup>lt;sup>76</sup> San Diego Union. 9/21/1964. "Architects Receive Awards For Hotel, Research Buildings".

<sup>&</sup>lt;sup>77</sup> Web. <u>https://www.dlm.com/awards.html</u>. Accessed April 2020.

<sup>&</sup>lt;sup>78</sup> San Diego Union. 10/25/1964. "Architects Win Design Award".

<sup>&</sup>lt;sup>79</sup> San Diego Union. 10/25/1970. "Ten Architects Draw Praise for Distinctive Design".

<sup>&</sup>lt;sup>80</sup> Ibid.

<sup>&</sup>lt;sup>81</sup> Ibid.

<sup>&</sup>lt;sup>82</sup> City of San Diego, Historical Resources Board Report No. HRB 16-001. P 1-2.

architecture, and retains integrity as it relates to the original design. Specifically, the resource was designed early in his architectural career, and established him as a young, popular commercial architect; it represented a new, successful model that changed commercial design work, which ultimately transformed the design of subsequent commercial development in San Diego; and it represented a new phase in the evolution of shopping center design."<sup>83</sup>

Similarly, the Property as originally designed and constructed was a representative notable work of Master Architect William Lewis, Jr.:

- The Property's design contributed to Deems Martin Associates' establishment as a popular commercial architectural firm;
- The Property was well documented in the print media and it appeared to take up much of Lewis' time and attention;
- The Property's design and quality of detailing possessed unique features and design;
- The Property is comparable with other Deems Martin Associates designed buildings which have received design award recognition;
- The Property had multiple citations in popular print media regarding its unique design; and
- The Property, in its original form, was a subject of the famous architectural photographer, Julius Shulman in 1964.

The Property, as original designed and constructed, was a notable example of a Master Architect under Criterion D: specifically, William Lewis Jr. An association between Lewis and the Resource's design is substantiated through established criteria per the Guidelines.

# Integrity under Criterion D

Per the Guidelines,

"A property important as a representative example of the work of a Master must retain most of the physical features and design quality attributable to the Master. A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style and identified it as the work of a Master."<sup>84</sup>

Integrity under Criterion D	Evaluation
<ol> <li>Does the Property retain most of the physical features and design quality attributable to the Master?</li> </ol>	<b>No</b> . The Property's entire ground floor, including the physical features that were discussed in news articles in 1964 are no longer present. Specifically, the Property no longer retains its iconic open-air pavilion lobby, distinct and separate single-story wings, expression of its slender structural support columns, reflecting pool, marble lobby, and terrazzo pedestrian bridges.

<sup>&</sup>lt;sup>83</sup> Ibid.

<sup>&</sup>lt;sup>84</sup> Guidelines. p 32.

2.	Does the Property retain the majority of the features that illustrate its style in terms of massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation?	<b>No</b> . The Property retains its precast concrete tower with aluminum tracery, however its ground floor massing, with a central void is no longer intact; the spatial relationships between the single-story wings and tower is no longer present; original door and window patterns on the ground floor are no longer present; the tower's columns proportions are no longer present; the lobby's marble and terrazzo materials were removed; and the ground floor's ornamentation was replaced.
3.	Does the Property retain the majority of the features that once characterized its style?	<b>No</b> . The Property's New Formalism expression is no longer intact. Per the evaluation under Criterion C, there is only one character defining feature of the New Formalism style intact.
4.	Does the Property retain the majority of the features that identified it as the work of a Master?	<b>No</b> . Per historical research, unusual features, associated with Lewis, included: a tower elevated on piers one full story above street level; lobby area as an open space under the tower; unobstructed circulation of pedestrian traffic through the lobby; a large reflecting pool surrounding the lobby with pedestrian bridges of terrazzo, all supporting the concept of space around a central core of utility services.

Per the Guidelines, the Property is no longer a representative example of Master Architect Lewis' body of work due to significant alterations, and does not meet the criteria for significance under Criterion D: Master Architect.

# Landscape Architect: Wimmer Yamada and Caughey

Wimmer Yamada and Caughey was the first woman-owned commercial landscape architecture firm in San Diego, founded by Stanford alumnus Harriet Barnhart Wimmer in 1954. Joe Yamada, a Berkley graduate, became her partner in 1960. Highly regarded by progressive architects, their expertise included residential garden design and commercial and urban design. Both Wimmer and Caughey were active in the landscape architecture and design community. Wimmer is credited with establishing a chapter of the American Society of Landscape Architects (ASLA) in Southern California, and Wimmer was bestowed with Fellow status within the ASALA in 1976. Yamada was bestowed Fellow status in 1979. Harrier Wimmer died in 1980, but her legacy lives on in the firm she founded. Notable projects include Seaworld, Seaport Village, the Embarcadero Marina Park, La Jolla Village Plaza, Scripps Institution of Oceanography, the Copley Estate, campus planning, and private properties. Pat Caughey joined the firm in 1970, after the Property was completed.<sup>85</sup>

The Property's landscape architect was Wimmer Yamada and Caughey. Historical research regarding their involvement is scant and it is not clear whether Harriet Wimmer or Joseph Yamada led the landscape design effort for 55 the Property's landscape. Wimmer Yamada and Caughey is not a recognized Master Landscape Architect in San Diego. However, both Harrier Wimmer and Joe Yamada, are Fellows within the American Society of Landscape Architects. Significant alterations to the entire ground floor plan incurred the loss of their complete initial design including the open-air pavilion, four reflecting pools and all landscaping. Due to these alterations the design of the landscape is no longer representative of their work.

# Builder: Peter Kiewit and Sons

<sup>&</sup>lt;sup>85</sup> https://www.asla-sandiego.org/art-land-san-diegos-landscape-architecture-pioneers-wimmer-yamada-caughey/ accessed 10/15/2019

The Kiewit Corporation, as it is known today, was originally Kiewit Brothers, a masonry contracting partnership started in 1884 between two brothers, Peter and Andrew in Omaha, Nebraska. By 1900 they began to accept general contracting projects however in 1904, Andrew left the partnership and Peter continued on his own. Peter's sons (George, Ralph, and Peter) worked for and eventually assumed leadership and management of different aspects of the company.<sup>86</sup> Significant contracts continued to support the company's growth including the Nebraska State Capitol Tower, Joslyn Art Museum and Union Station just prior to the Great Depression. Eventually George and Ralph left the family company and Peter Kiewit's youngest son, Peter dissolved the firm and reorganized as Peter Kiewit Sons' Co., which included employee ownership by key managers.<sup>87</sup> This new phase of the company coincided with the Great Depression and the company moved into infrastructure projects including highways and dams. By the mid-1930's the company had projects across multiple western states. The lead up to World War Il brought them government wartime construction projects throughout the west. By the time the war was over, Kiewit had secured a significant number of government contracts that continued through-out the Cold War. In addition, the firm pursued infrastructure projects including highways, dams, canals, and tunnels with great success. Peter Kiewit died in 1979, but the company continues on today as an employee-owned Fortune 500 contractor based in Omaha, Nebraska. It is one of the largest construction and energy organizations in North America. Peter Kiewet and Sons Inc. is not an identified Master Architect or Builder within the City of San Diego; therefore, the Property does not meet the criteria for significance under Criterion D: Master Builder.<sup>88</sup>

# Criterion D (San Diego Register) Conclusion:

In conclusion, the Property no longer retains sufficient integrity from its 1964 period of significance and is no longer representative of a Master Architect's body of work. The Property's landscape architect and builder are not considered Masters in the City of San Diego. The Property does not meet the criteria for significance under Criterion D: Master Architect or Master Builder.

# Criterion E (San Diego Register)

Criterion E: Is listed or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources.

# Criterion E (San Diego Register) Conclusion:

The Property is not listed on either the National Register of Historic Places or the California Register of Historical Resources, and it has not been determined to be eligible for listing on either register by the National Park Service or the State Historic Preservation Office. The property does not qualify under HRB Criterion E (National or California Register Eligible).

# Criterion F (San Diego Register)

Criterion F: Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

<sup>&</sup>lt;sup>86</sup> <u>https://www.kiewit.com/about-us/history/early-years/</u> 10/15/19

<sup>&</sup>lt;sup>87</sup> <u>https://www.kiewit.com/about-us/history/early-years/</u>10/15/19

<sup>&</sup>lt;sup>88</sup> https://www.kiewit.com/about-us/history/early-years/ 10/15/19

# Criterion F (San Diego Register) Conclusion:

The Property is not located within an existing historic district; therefore, it does not qualify under HRB Criterion F Historic District.

# 4.3 Application of National Register of Historic Places Criteria

The National Historic Preservation Act of 1966 (NHPA) established the National Register of Historic Places (NRHP) as the official federal list of cultural resources that have been nominated by state offices for their historical significance at the local, state, or national level. Listing in the NRHP provides recognition that a resource is significant to the nation, the state, or the community and assumes that federal agencies consider historic values in the planning for federal and federally assisted projects. Properties listed in the NRHP, or "determined eligible" for listing, must meet certain criteria for historical significance and possess integrity of form, location, and setting. Structures and features must usually be at least 50 years old to be considered for listing in the NRHP, barring exceptional circumstances. Criteria for listing in the NRHP, which are set forth in Title 26, Part 63 of the Code of Federal Regulations (CFR), are significance in American history, architecture, archaeology, engineering, and culture as present in districts, sites, buildings, and structures; and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association. Individual national criteria and their application to the Property are as follows.

Criterion (A): Associated with events that have made a significant contribution to the broad patterns of our history;

Criterion (B): Associated with the lives of persons significant in our past;

Criterion (C): Embody the distinctive characteristics of a type, period, or method of construction; represent the work of a master; possess high artistic values; or represent a significant and distinguishable entity whose components may lack individual foundation; and

Criterion (D): Has yielded or is likely to yield information important in prehistory or history.

In addition, a resource must also retain integrity. Integrity is "evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association" and it "must be judged with reference to the particular criteria under which a resource is proposed for eligibility."

#### **Evaluation of the Property under the National Register Criteria:**

#### Criterion A (National Register) Event:

Properties can be eligible for the National Register if they are associated with events that have made a significant contribution to the broad patterns of our history.

To be considered for listing on the National Register under Criterion A, a resource must be associated with one or more events important in the defined historic context. Criterion A recognizes properties associated with single events, such as the founding of a town, or a pattern of events, repeated activities, or historic trends, such as the gradual rise of a port city's prominence in trade and commerce. The

event or trends; however, must be clearly important within the associated context: settlement, in the case of the town, or development of maritime economy, in the case of a port city. Moreover, the resource must have an important association with the event or historic trends, and it must retain integrity.<sup>89</sup>

### Criterion A (National Register) Conclusion:

Per the evaluation contained in this HRTR, no historical evidence was found that would support the determination that the Property was associated with events or trends that made a significant contribution to the broad patterns of the nation's history. Therefore, the Property does not qualify as historically significant under the National Register's Criterion A.

### Criterion B (National Register) Person:

Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past.

To be considered for listing on the National Register under Criterion B, a resource must be associated with the lives of persons significant in our past. Criterion B applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons significant in our past refers to individuals whose activities are demonstrably important within a local, state, or national historic context.

### Criterion B (National Register) Conclusion:

Per the evaluation contained in this HRTR, no historical evidence was found that would support the determination that the Property was associated with the lives of persons significant in the nation's past. Therefore, the Property does not qualify as historically significant under the National Register's Criterion B.

# Criterion C (National Register) Design/Construction:

Properties may be eligible for the National Register if they embody the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

Embody distinctive characteristics of a type, period, or method of construction. This requirement refers to the way in which a property was conceived, designed, or fabricated by a people or culture in past periods of history. To be eligible under this portion of the criterion, a property must clearly illustrate, through "distinctive characteristics" the pattern of features common to this particular class of resources, the individuality or variation of features that occurs within this class, the evolution of that class or the transition between classes of resources. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction. A building eligible under the theme of a specific architectural style must have the vertical and picturesque qualities of that style. <sup>90</sup>

<sup>&</sup>lt;sup>89</sup> National Register Bulletin, How to Apply the National Register Criteria for Evaluation, Criterion A: Event

<sup>&</sup>lt;sup>90</sup> National Register Bulletin, How to Apply the National Register Criteria for Evaluation, Criterion C: Design/Construction

As previously discussed under Criterion C, the Property was initially designed and constructed in the New Formalism architectural design aesthetic; however, due to extensive alterations, it is no longer representative example of the New Formalism Style. Therefore, it does not embody distinctive characteristics of a recognized architectural style, specifically any classical revival style of architecture.

<u>Type, Period or Method of Construction</u> refers to the way certain properties are related to one another by cultural tradition or function, by dates of construction or style, or by choice or availability of materials and technology. A building is eligible as a specimen of its type or period of construction if it is an important example of building practices of a particular time in history.<sup>91</sup>

As previously discussed under Criterion C, the Property does not serve as an important example of building practices from 1964 as its design, materials, and workmanship are no longer character defining features of a recognized architectural style due to significant alterations.

<u>Works of a Master</u> recognizes that a Master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. A resource is not eligible as the work of a master, simply because it was designed by a prominent architect. The work of an unidentified craftsman is eligible if it rises above the level of workmanship of other properties encompassed by the historic context. <sup>92</sup>

This aspect of Criterion C does not apply as the Property's architect, while considered a Mater Architect in San Diego, William Lewis's work, expertise, and influence did not extend onto a national level.

<u>High Artistic Values</u> may be expressed in many ways. A resource is eligible for high artistic values if it fully articulates a particular concept of design that expresses an aesthetic ideal. A property is not eligible, however, if it does not express aesthetic ideals or design concepts more fully than other properties of its type. <sup>93</sup>

The Property does not articulate a particular concept of design or aesthetic ideal, therefore, High Artistic Values does not apply.

To be eligible under this Criterion, a property must clearly contain enough of the distinctive characteristics that commonly recur in individual types, periods or methods of construction and clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction. The Property, no longer contains the distinctive characteristics of a recognized architectural style to qualify for listing on the National Register under Criterion C.

# Criterion C (National Register) Conclusion:

Per the evaluation above, the Property does not qualify as historically significant under the National Register's Criterion C.

# Criterion D (National Register): Archeological information

<sup>91</sup> Ibid.

<sup>92</sup> Ibid.

<sup>93</sup> Ibid.

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This criterion applies to properties that have yielded, or may be likely to yield, information important in prehistory or history.

Criterion D (National Register) Conclusion:

Criterion D is intended to address archaeological resources and is not applicable to the Property; therefore, it does not qualify under National Register's Criterion D.

### **National Register Conclusion:**

Per the evaluation herein, the Property is not eligible for inclusion on the National Register.

# 4.4 Application of California Register of Historic Places Criteria

The criteria for listing historical resources in the California Register are consistent with those developed by the National Park Service for listing historical resources in the National Register and have been modified for state use in order to include a range of historical resources which better reflect the history of California. Only resources which meet the criteria as set forth below may be listed in or formally determined eligible for listing in the California Register. (California Code of Regulations §4852.)

Properties that are subject to the California Environmental Quality Act (CEQA), must be evaluated for historical significance under the California Register of Historical Resources.

The criteria for evaluating the significance of historical resources requires that the resource be significant at the local, state or national level under one or more of the following four criteria.

Criterion 1: Associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;

Criterion 2: Associated with the lives of persons important to local, California, or national history;

Criterion 3: Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic value; or

Criterion 4: Has yielded or has the potential to yield information important to the prehistory or history of the local area, California, or the nation.

State Register qualified resources must also retain Integrity to qualify for historical significance.

# **Evaluation of the Property under State Register criteria:**

#### Criterion 1 (State Register) Association with Events:

The property is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

Criterion 1 (State Register) Conclusion:

No historical evidence was found that would support the determination that an event making a significant contribution to the broad patterns of California history, or the cultural heritage of California or the United States, occurred at the Property. Therefore, the Property is not eligible under California Register Criterion (1).

# Criterion 2 (State Register) Association with Persons:

The property is associated with the lives of persons important to local, California or National History.

# Criterion 2 (State Register) Conclusion:

Historical evidence was not found that would support the determination any persons associated with the Property were important to local, California or National History at the level required for the California Register. Therefore, the Property is not eligible under California Register Criterion (2).

# Criterion 3 (State Register): Design/Construction:

The property embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values.

# Criterion 3 (State Register) Conclusion:

As previously discussed in this HRTR, due to significant alterations, the Property is no longer representative of a recognized architectural style and it no longer embodies the distinctive characteristics of a type, period, region or method of construction sufficiently to qualify for the California Register of Historical Resources. Therefore, the Property is not eligible under California Register Criterion (3).

# Criterion 4 (State Register) Archaeology:

The property has yielded or has the potential to yield information important to the prehistory or history of the local area, California or the nation.

# Criterion 4 (State Register) Conclusion:

To be designated under this criterion the Property must have information to contribute to our understanding of human history and prehistory and that information must be important. The Property is not eligible under California Register Criterion (4).

# State Register Conclusion:

Per the evaluation herein, the Property is not eligible for inclusion on the California Register.

# 5 Findings and Conclusion

# 5.1 Findings

This report has determined that the Property is not historically and/or architecturally significant under local, state, and national significance criteria. Therefore, any future project which proposes to remove the Property and develop on site will not impact a historical resource.

# 5.2 Impacts Discussion

#### Application of City of San Diego CEQA Significance Criteria

According to the City of San Diego Land Development Code, *Historical Resources Guidelines* (Adopted September 28, 1999; Amended June 6, 2000; April 30, 2001), the determination of potential significance for historic buildings, structures, and objects, and landscapes is based on age, location, context, association with an important person or event, uniqueness, and integrity.

#### <u>Age</u>

The Property was constructed in 1964. It is approximately 58 years of age.

#### **Location**

The Property has remained in its current location since its original construction.

#### <u>Context</u>

The physical environment surrounding the Property is no longer similar to that when it was developed in 1964 due to development and redevelopment of surrounding properties.

#### Association-Event

Historical research failed to reveal any historically important event(s) at the local, state, or national levels ever having been associated with the Property.

#### Association-Person

Historical research failed to reveal any historically important person(s) at the local, state, or national levels ever having been associated with the Property.

#### Uniqueness–Architecture

The Property was an example of the New Formalism architectural design aesthetic. The Property's expression of this style is no longer unique due to multiple significant alterations.

#### Uniqueness-Use

The Property was designed and constructed as a medical office building. This type of use is not unique.

#### Structural Integrity

The Property appears to be structurally sound and possess a sufficient degree of structural integrity.

#### **Application of CEQA**

#### **Public Resources Code**

California Environmental Quality Act (CEQA) Public Resources Code §21084.1 provides that any project that may cause a substantial adverse change in the significance of an historical resource is a project that

may have a significant effect on the environment. Public Resources Code Section §5020.1(q) defines "substantial adverse change" as demolition, destruction, relocation or alteration such that the significance of the historical resource would be impaired.

According to Public Resources Code Section §5024.1, an historical resource is a resource that is listed in or determined to be eligible for listing in the California Register of Historical Resources. A resource may be listed as an historical resource in the California Register if it meets any of the following National Register of Historic Places criteria:

- 1) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
- 2) Is associated with the lives of persons important in our past;
- 3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- 4) Has yielded, or may likely yield information important in prehistory or history. In addition, an historical resource is a resource that is listed in or determined to be eligible for listing in the California Register of Historical Resources; a resource that is included in a local register of historical resources; or is identified as significant in an historical resource survey if that survey meets specified criteria.

### National Register Assessment

1) Event Association

The Property does not qualify under event association as a resource which is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage. Historical research indicates that the Property was never associated with any event or events that have made a significant contribution to California's history and cultural heritage.

2) Individual Association:

The Property does not qualify under individual association as a resource which is associated with the lives of persons important in our past. Historical research indicates that the Property was never associated with any important or significant individuals.

3) Design/Construction:

The Property does not embody the distinctive characteristics of a type, period, or method of construction. The Property does not represent the work of an important creative individual, or possess high artistic values.

# 4) Information Potential:

The Property does not qualify under information potential as a resource which has yielded, or may likely yield, information important in prehistory or history.

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As a resource which is not historically or architecturally significant, the Property is not eligible for listing in the California Register of Historical Resources, the California Historic Resources Inventory, the National Register of Historic Places, or the San Diego Historical Resources Board Register.

# **CEQA Guidelines**

# **CEQA** Impacts

According to CEQA Guidelines §15064.5(a)(3), a lead agency can find a resource historic if the resource has been determined to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided that the determination is supported by substantial evidence in light of the whole record.

The Property has been determined not to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California. The Property, therefore, does not qualify as a historical resource under CEQA Guidelines §15064.5(a)(3).

The present study has determined that the Property is not historically significant under local, state, and national significance criteria. Therefore, any future project which proposes to remove the Property and develop on site, will not cause a substantial adverse change in the significance of an historical resource or have a significant effect on the environment.

# **Mitigation Measures**

Since any future, development project will not cause a substantial adverse change in the significance of a historical resource, no mitigation is required.

# 5.3 Conclusions

This Historical Resources Technical Report for the Property, located at 550 Washington Street, a 1964 eight-story medical office building, in the Uptown Community Planning Area of the City of San Diego, contains the determination for the Property's overall historical and architectural significance.

This HRTR finds that the Property is not eligible for local designation under any local Criteria due to significant alterations.

This HRTR finds that the Property does not meet the criteria for significance under National Register of Historic Places or California Register of Historical Resources.

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# 7 Appendices

# Appendix A: Building Development Information

San Diego County Assessor's Office Residential Building Records Notice of Completion – none on record Water and Sewer Connection Record – none on record Building/Construction Permits County Lot Block Book Page

# Appendix B: Ownership and Occupant Information

Chain of Title City Directory Listings of Occupants Deed from date of Construction

# Appendix C: Maps

City of San Diego 800:1 Scale Engineering Map United States Geological Survey Map (U.S.G.S. La Jolla Quadrangle) Original Subdivision Map Sanborn Fire Insurance maps

Appendix D: DPR Forms

Appendix E: Preparer's Qualifications

# **Building Development Information**

- A.1 San Diego County Assessor's Building Record
- A.2 Notices of Completion
- A.3 Water/Sewer Connection Records
- A.4 Building Construction Permits
- A.5 County Lot and Block Book Page
- A.6 Previous Survey Form

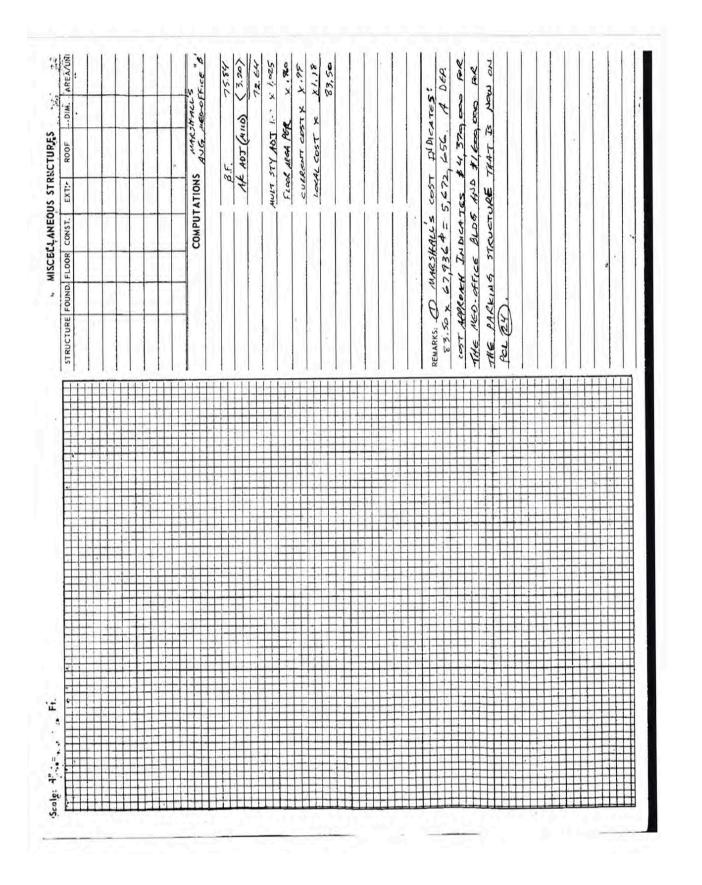
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A.1 San Diego County Assessor's Building Record

APPENDIXA Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 2 of 81 Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center)

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# A.1 San Diego County Assessor's Building Record



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# A.1 San Diego County Assessor's Building Record

APPENDIX A

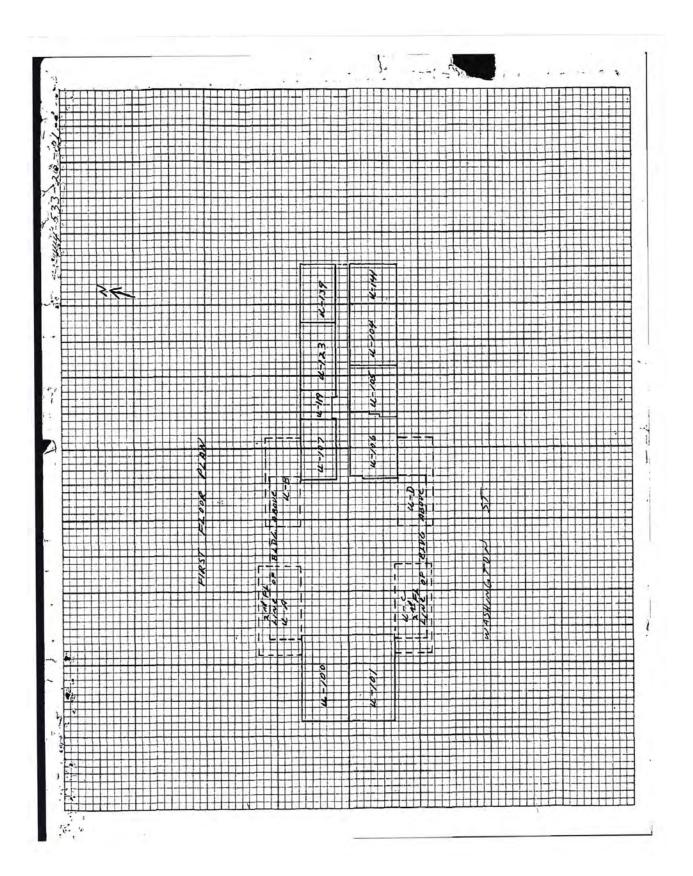
Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center)

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APPENDIX A
Property Name: 550 Washington Street (Hillcrest North Medical Center)

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# A.1 San Diego County Assessor's Building Record



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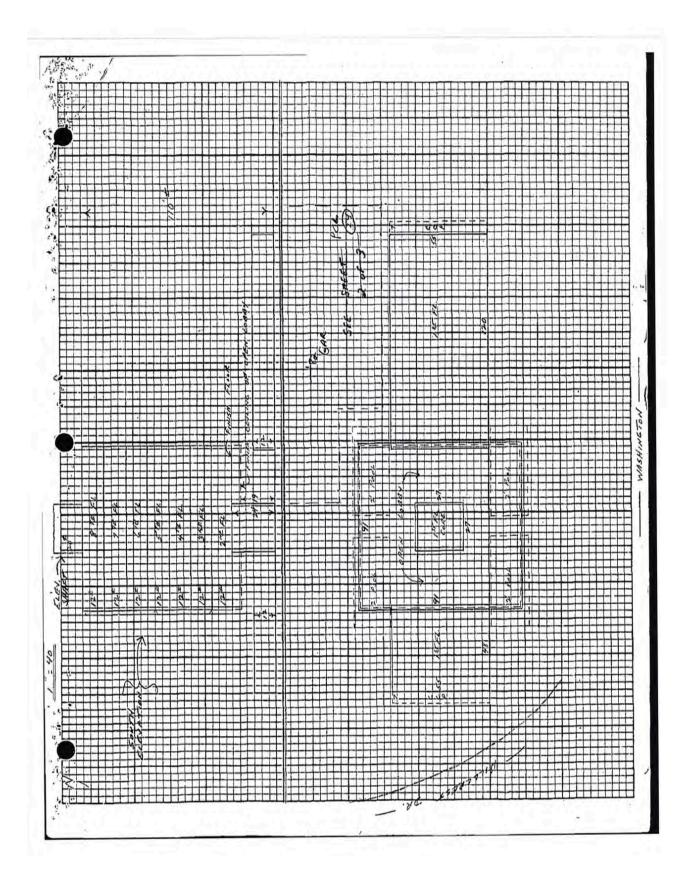
A.1 San Diego County Assessor's Building Record

Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center)

APPENDIX A

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A.1 San Diego County Assessor's Building Record



ŝ Cost PERMIT INFORMATION No. For Amount Date - 533 - 25 Cost Cost Completion Date Appraiser/Date Completion Date Appraiser/Date 5 Area/ Unit Area/ Unit PARCEL NO. 444 -Total Total No. No. S Cost Unit Cost Completion Date Completion Date Appraiser/Date Appraiser/Date Area/ Unit Area/ Unit COMMENTS OFFICE OF THE ASSESSOR COUNTY OF SAN DIEGO TENANT IMPROVEMENT RECORD Total Total No. No. B Cost Cost Cost See Reverse Side for Additional Comments AREA Completion Date Appraiser/Date Completion Date Appraiser/Date ADDITIONAL DATA Area/ Unit COMPUTATION Area/ Unit COMPUTATION UNIT-ID Total Total No. 20 = 13 13 15 15 10 18 19 No. 4/12/99 Ges Cost PERMIT INFORMATION No. For Amount Date 12 000 Unit Cost Completion Date Appraiser/Date Completion Date Appraiser/Date Area/ Unit Area/ Unit Total 71 Total WASHING TON No. No. 426 002 **B** Gest Unit Cost Unit Cost 1,11 Completion Date Appraiser/Date Completion Date Appraiser/Date Area/ Unit Area/ Unit COMMENTS Relince EXSTON Total Total No. No. 550 412-12-12 15/2/e Cost 12 007 Q Cost PROPERTY ADDRESS. Appraiser/Date 9 Unit Cost VAN AREA Cost Completion Date Completion Date Appraiser/Date Area/ Unit Area/ Unit \* 10 F **CI-LIND** rev1-14-88 REA-22 Total Total No. No. e. 9 No 4 00 3 S -

A.1 San Diego County Assessor's Building Record

550 Washington Street (Hillcrest North Medical Center)

of 81

Property Name:

Page 8

Property Name: \_\_\_\_\_550 Washington Street (Hillcrest North Medical Center)

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ECONDING REQUESTED BY	PHE/PAGE NO. 1.1 10:57
Hazard, Jr., Ins. (Contractor)	Contractor
R. E. Hazard, Jr., Inc.	Auc 15 11 35 AM '61
P. O. Box 10761	SERIES 2 NODK 1961 OFFICIAL RECORDS
San Diego 10, California	SAN DIEGO COUTY, CALIF. 2.0 U
305/R H0	SPACE ABOVE THIS LINE FOR RECORDER'S USE
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I. The undersigned is owner of the interest or estate stated bet 2. The FULL NAME of the undersigned is 3945 Fall The FULL MARE of the undersigned is 3945 Fall	tson Company, a Corporation
3. The FULL ADDRESS of the undersigned is 3945 F13 The NATURE OF THE TITLE of the undersigned is in fee.	ter And Interest, the statement, forester using Contrast or Ac transit in common are:
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Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 10 of 81

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Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center)

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1. The 2. The 3. The 4. The 5. The	is hereby given that: undersigned is owner of the interest or as fall some of the undersigned is <u>Mashing</u> full address of the undersigned is <u>265.7</u> . If there thas fee, write "In feet and inner if fall names and full addresses of all personants in common are: "NMMS	Camino del Rio. In fee. A Limiter	South Suite 211 B	an Diego, Ch	
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1	February 3, 1982	Signature of owner named 2 Wash	All Autors	100 prime of	<u>a</u> r
that	Ronald Bachrach	of Wash:	ngton Investors,	being daly sworn, sa Ltd. ni bad nartner shi	ya: Ber
the fai	and the second	Signature of	notice and knows the	contents thereof, and t	hat
SUBSC	RIBED AND SWORN TO before me	mois seined @.10		,	z
Signat	Linia a liss	-	KOTARY P	TICAL SEAL DA A. RIOS UBLIC - CALIFORNIA ca in San Diego Cavady ion Ean July 26, 1945	82- Nº 34797
			Summer and		97
Title	Order No				

Page 12 of 81

RECONDING REQUESTED BY	90 666763
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niversity Redmond Corporation ttention: William Haze	RF 3.00 AR 1.00
2651 High Bluff Drive, Suite 302 an Diego, CA 92130	MG 1.00
Notice	of Completion
26 CA 12 831 Before elecution, refer to tuil	le rompara y requirements staled un revetes side.
Notice is hereby given that: 1. The undersigned is owner of the interest of	or estate stated below in the property hereinatter described.
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4 The nature of the title of the undersurved is	s. In fee:
5 The full names and full addresses of all pe	ersons, if any, who hold title with the undersigned are
Sames	Addresses
NONE	
6. The names of the predecessors in interest	of the undersigned, if the property was transferred subse-
quent to the commencement of the work of Sames	Addresses
NONE	The second s
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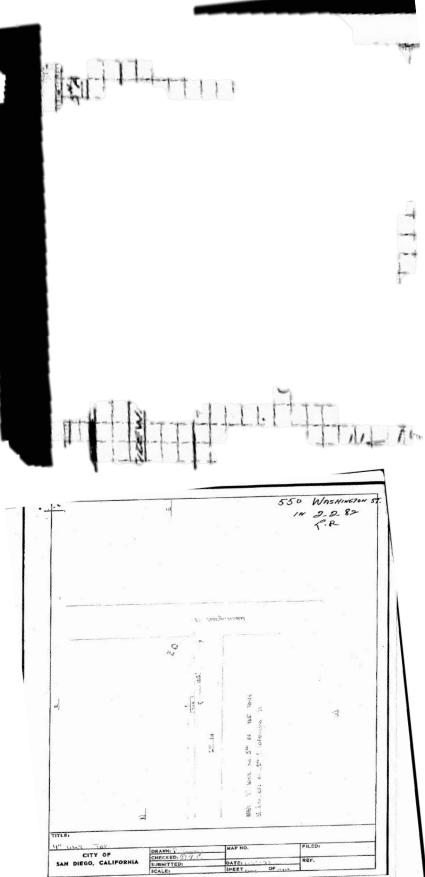
Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 13 of 81

A.3. Water Connection Records:01/23/1982

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A P P E N D I X A Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 14 of 81

A.3. Sewer Connection Records: Sewer connection: 01/23/1982



Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 15 of 81

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# A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Deigo Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
2/26/63	-	A61682		Electrical	Service/rough/outlets/circuits	No	
5/8/63	-	A6416		Electrical	Disconnect	No	
12/2/63	784	A71095		Electrical	784 outlets fixtures	No	
1/13/64	-	A72669		Electrical	service	No	
1/29/64	711	A73211		Electrical	Rough wiring	No	
1/29/64	502	A73212		Electrical	Rough wiring	No	
3/2/64	735	A74445		Electrical	Rough wiring	No	
3/6/64	-	A74667		Plumbing & Gas	Rough	No	
3/17/64	502	A75023		Electrical	Rough wiring	No	
3/17/64	741	A75021		Electrical	Outlets	No	
3/17/64	-	A75022		Electrical	Rough wiring	No	
4/20/64	201	A76300		Plumbing & Gas	Rough	No	
4/28/64	-	A76568		Electrical	Wiring for sprinkler system	No	
7/29/64	601	A80017		Building	Interior suites 601, 611, 625, 229 and		Deems-
,,25,01	001	/////		bunding	extension of mechanical air		Martin ,
					conditioning system		Associates
7/29/64	229	A80031		Plumbing & Gas	Rough	No	
7/29/64	601	A80032		Plumbing & Gas	Rough	No	
8/2/64	611	A81016		Plumbing & Gas	Rough	No	
8/3/64	601	A81010 A80236		Plumbing & Gas	Rough	No	
8/3/64	601	A80235		÷		No	
				Plumbing & Gas	Rough		
8/6/64	-	A80438		Electrical	Outlets	No	
9/4/64	-	A81503		Plumbing & Gas	Rough	No	
9/25/64	609	A82216	14718-A	Building	Office	No	Deems- Martin , Associates
10/2/64	711	A82529		Plumbing & Gas	Rough	No	
10/9/64	609	A82793		Plumbing & Gas	Rough	No	
11/3/64		A		Electrical	-	No	
12/23/64	221	A21321	2565D	Building	Interior Partitions, Dr. Freeman office	No	Deems Lev Martin & Assoc.
5/7/65	635	A01781	9555C	Building	Office	No	Deems Lev Martin & Assoc.
5/21/65	641	M10230		Plumbing & Gas	Rough	No	
6/16/65	721	M11899		Plumbing & Gas	Rough	No	
7/14/65	521	M13607		Plumbing & Gas	Rough	No	
7/21/65	441	M14084		Plumbing & Gas	Rough	No	
7/21/65	541	M14085		Plumbing & Gas	Rough	No	
7/27/65	-	A07742	888D	Building	Interior Partitions, Dr. Flick office	No	Deems Lev Martin & Assoc.
7/29/65	529	A08031		Plumbing & Gas	Rough	No	
7/29/65	541	A08035		Plumbing & Gas	Rough	No	
8/2/65	-	A08351		Plumbing & Gas	Gas outlet	No	
8/3/65	3rd floor	A08407		Electrical	Outlets/lamp holders	No	
8/13/65	-	A09437	1122D	Building	Interior Partitions, Dr. Sabey office	No	Deems Lev Martin &

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 16 of 81

A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Deigo Records

## 9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
8/13/65	321	A09436	1120D	Building	Interior Partitions, Dr. Schmidt office	No	Deems Lewis Martin & Assoc.
8/23/65	329	A10373	1240D	Building	Interior Partitions, Dr. Smith office	No	Deems Lewis Martin & Assoc.
8/23/65	301	A10392		Plumbing & Gas	Rough	No	
8/24/65	739	A10315	12350	Building	Relcoate lights, mech & remove walls	No	Deems Lewis Martin & Assoc.
8/24/65	739	A13334	15650	Building	Interior Partitions, Dr. Sandell office	No	Deems Lewis Martin & Assoc.
8/24/65	739	A10393		Plumbing & Gas	Rough	No	
9/6/65	-	A11493	1377D	Building	Interior Partitions, Dr. Gaelen office	No	Deems Lewis Martin & Assoc.
9/6/65	-	A11492	1378D	Building	Interior Partitions, Dr. Marsden office	No	Deems Lewis Martin & Assoc.
9/6/65	641	A04311	93778C	Building	Suite interior install	No	Deems Lewis Martin & Assoc.
9/8/65	315	A11704		Plumbing & Gas	Rough	No	
9/17/65	-	A12644	1527D	Building	Office Interior - Dr. Gibbings	No	Deems Lewis- Martin & Assoc.
9/22/65	315	A13121		Plumbing & Gas	Rough	No	
9/22/65	Lab	A13123		Plumbing & Gas	Rough	No	
9/22/65	401	A13122		Plumbing & Gas	Rough	No	
9/29/65	301	A13837		Plumbing & Gas	Rough	No	
9/29/65	631	A13838		Plumbing & Gas	Rough	No	
10/13/65	-	A15161	1796D	Building	Interior Partitions, Dr. Barba office	No	Deems Lewis Martin & Assoc.
10/13/65	435	A15358		Plumbing & Gas	Rough	No	
10/13/65	311	A15358		Plumbing & Gas	Rough	No	
10/21/65	411	A16092		Plumbing & Gas	Wash basins/ water closets	No	
12/3/65	715	A19663		Plumbing & Gas	Sinks Wash basins	No	
12/3/65	415	A19664		Plumbing & Gas	Sinks, wash basins, water closets	No	
12/3/65 1/6/66	321 334	A19665 A22255	2663D	Plumbing/Gas Building	Sinks, wash basins, water closets, Interior Partitions, Dr. Hokr office	No No	Deems Lewis Martin & Assoc.
1/7/66	621	A28123		Plumbing & Gas	Wash basin, water closets	No	
1/14/66		A23068		Electrical	Lamp holder/new serivce	No	
3/3/66	331	A27758		Electrical	Outlets	No	
3/7/66	321	A27991		Plumbing & Gas	Wash basin	No	
3/8/66	221	A28124		Plumbing & Gas	Sinks	No	
3/21/66	421	A29460		Plumbing & Gas	gas outlet, sinks, wash basins,	No	
3/28/66	341	A30235		Plumbing & Gas	Sinks, wash basins, water closets,	No	

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 17 of 81

A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Deigo Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
4/11/66	341	A31792	1.000	Electrical	Outlets	No	1.000
4/20/66	229	A32670		Plumbing & Gas	Wash basin, water closets	No	
4/26/66	269	A33129		Electrical	Outlets	No	
4/26/66	LAB	A27759		Electrical	Outlets	No	
4/26/66	621	A27760		Electrical	Outlets	No	
4/26/66		A33128	1.1	Electrical	outlets	No	2
5/26/66	421	A36402		Plumbing & Gas	Sinks	No	1
3/7/68	331	A27990		Plumbing & Gas	Wash basins/ water closets	No	
6/2/68	711	E14271		Building	Relocate partitiona dn install new	no	-
7/5/68	421	E15527		Electrical	Outlets		
7/10/68	421	E15848	13298D	Building	Dr.s Moore, Steelquist, Zorn Suite, Chg Interior Partitions, cabinetry	No.	Deems Lewi Martin & Assoc.
7/17/68	421	E16692		Electrical	Service/rough/outlets/circuits	No	1
7/17/68		E16693		Plumbing & Gas	Sinks/wash basins	No	
7/22/68	711	E17327		Electrical	Outlets	No	-
8/13/68		E20251		Building	Change location of cabinets, build new pass thru window	No	
8/21/68	811	E21386		Electrical	outlets	No	5
12/6/71	141	L01684		Electrical	Festoon lights	No	
9/28/72	- h	M27261		Electrical	Booth	No	
4/24/75		K33164		Electrical	Circuits	No	
9/19/75	The second	K52869	1000	Electrical	Circuits	No	
3/27/78	~	L91780		Electrical	Circuits	No	2
4/11/78	141	L94528		Electrical	Relocate existing outlets	No	
4/18/78		195620	E63735	Building	Relocate walls & doors	No	Hillcrest No. Mecial Ctr.
6/5/78	Lobby	M04239	E62516	Building	Glass Enclosure of open lobby area	Yes	James McGraw + Associates
4/13/79		M58768	A	Electrical	Install 2-60A circuits for hydrolic		1
7/22/81	*	514388	F01809	Building	Parking Garage	Yes	Marvin Cohe Arch./Inc.
12/10/81		N72262		Electrical	Circuits		£
1/27/82	141	N744951	1	Mechanical	Exhaust	1	
6/23/82	229	A07194		Building	Tenant Improvement - convert to		
7/8/82	229	\$19621		Electrical	15 circuits		
7/19/82	229	N81748		Plumbing/Gas	Lav, sink, water closet		-
8/9/85	Grounds	A38728		Building	Crib Retaining walls	5	W. Ryan Wilson
7/21/86	-	A49158	F44748	Building	Canopy Addition	Yes	Tucker Sadle & Associates
9/18/90	?	008491-90	008491-90	Building	Seismic Strengthening	2	
10/17/90	541	009513-90		Combination	Hospital Add. Office	No	
10/29/90	5	008491-90	008491-90	Building	?		
5/8/91	lobby	213-1720		Building	Remodel lobby - T.I	Yes	Simpson & Schmidt
5/14/91	421	009513-90		Building	TI	No	
6/7/91	728	A4264-91		Building	TI	No	
7/10/91	106	004558-91		Plumbing & Gas	Grease Trap	No	

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Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center) Page 18 of 81

A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Deigo Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
7/12/91	Lobby	003274-91	1000	Electrical / Plumbi	New Circuits	No	
7/22/91	723	004922-91		Plumbing	Plumbing System Complete	No	
8/8/91	715	003705-91		Electrical / Plumbi	Remodel	No	
9/25/91	300	003393-91		Plumbing	Add sinks, bathrooms, 1 solid	No	
10/5/92	401	004443-92		Electrical	T.I. Electrical	No	
10/22/92	101	002531-92	11 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	Mechanical	Installation ofduct work only	No	1
3/21/94	2nd floor	101762-94		Building	TI walls , elev, mech, water	No	
3/31/94	201	501381-94	(	Electrical	Elec. TI of existing office space	No	
3/31/94	200	802120-94		Plumbing	Ti - add sinks, bathroom, drinking	No	
4/27/94	201	701198-94		Mechanical	T.I. office duct work only	No	
7/26/94	Grounds	A105000		Sign	Lighted monument to be installed as	Yes	
10/28/94	3rd floor	107572-94	1		Remodel ex dr. office - no change in	No	
11/18/94	801	107572-94		Unreasonable hard	T24 compliance	No	
11/28/94	800	807373-94		Plumbing & Gas	add bathroom, sinks T.I.	No	P
11/28/94	801	A6578		Electrical	Electrical TI	No	
12/7/94	101	107882-94		?	Remodel toilet for handicap	No	
12/10/94	801	703671-94		Mechanical	Comm TI	No	-
1/5/95	400	100122-95		Combination	TI remodel exist dr. office	No	h
1/17/95	400	800284-95		Plumbing/gas	Ti remodel	No	-
1/18/95	400	700166-95	-	Mechanical	Comm TI	No	
1/18/95	400	500236-95		Electrical	Elec TI	No	-
3/13/97	104	801864-97		Plumbing & Gas	Remodel of restroom	No	-
3/13/97	104	101852-97		2	Remodel med office part, electrical,	2	
3/13/97	104	501344-97	_	Electrical	Relocate lights and door	2	-
9/10/98	-	504253-99		Sign	Two sets internally illuminated channel letters with logo	Yes	
3/16/99	Grounds	213-1720		Sign	One internally illuminated ground	Yes	-
3/16/99	Grounds	102530-99	-	Sign	One internally illuminated ground	Yes	1
7/29/99	Exterior	107736-99		Building	Cell site / antenna & cabinets	Yes	
7/30/99	-	111042-99		Electrical	New 200 amp service, mts, genplug,	No	
10/27/99	~	57858	-	Building	Tenant Improvement 1 water closet,	No	
11/12/99		213-1720		Combination	T.I - convert labortory to pharmacy	No	-
12/23/99	?	507288-99		Electrical	Revise susp clg	No	1
3/6/00	341	102292-00			Tenant improvements - partitions, electrical, ductwork, plumbing	No	
5/4/00	Exterior	104749-00	_	Building	Cabinets & Antenna(s) for cell site	Yes	1
5/10/00	Exterior	502978-00		Electrical	Telecommulcations Const. &	No	
6/12/00	341	ES3710-00		Electrical	New outlets and lighting	No	
9/1/00	341	10229200	_	Plumbing/gas	Tenant Improvement 1 water closet,	No	
12/4/02	500	112757-94		2	Renovation of existing suite	No	-
6/17/03	300	505448-94		Building/Combina	Demo, Tl. Elect, Plumbing, Mechanical, No structural	No	
8/1/03	300	not legible	-	Mechanical	HVAC Ductwork	No	
9/3/03	300	33276		Building	Tenant Improvement	No	1
9/11/03	Exterior	16332		Structure	Arden screen walls & aesthetic finishes	Yes	Aymono For & Associate
0/22/02	300	38742-P	-	Plumbing /Mechan		No	a no sociale
		152793		Ci.	Install 7 hand sinks	No	-
9/22/03					Instant / hand shins	1140	
9/22/03 9/30/03 10/1/03	800 300	41521	-		Ductwork & Install fan coil	No	ľ.

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 19 of 81

# A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Deigo Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
11/20/03	4	107986-03			Install new boiler, chiller, Air handlers, exhange fans, duct work	?	1
2/19/04	100	52980		Plumbing/Mechan	Adding gas outlets to permit	No	
6/17/04	Lobby	41739		Building	Partitions, ceiling, plumbing, electrical & ductwork only	No	
7/13/04	100	46347		Electrical	Remodel	No	
8/18/04	100	139593	41739	Mechanical	H.V.A.C Design Build ductwork only	5	

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Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 20 of 81

A.4 Building Permits – 6/5/78, Building

Building Permit Application INSIDE HEAVY UNES SO WASHINGTO AME (OR NAME OF BUSINESS) .00 Northwestern Engineering Co. 550 Washington Street 213-1720 E62516 (STR) 297-3331 SETBACK San Diego 92103 Sog AND James McGraw + Associates FLOOR AREA RATIO ALLOWED HEIGHT (FT.) ALLOWABLE ADDRESS INUMBER) NO, OF BAR SINKS TO LOT SPLIT DATE 654 India Street Dock D C. CODE DWELL ZIP JELEPHONE NUMBER 231-0751 DATE PLANS 15 SIGN TO BE DONE WORK 720 92101 San Diego PLAN CHK. REC ALTER DEMOLISH S 793 NON-RESID Mueller-Glauner Construction Co. REPAR PLAN CHECK NEW ADDRESS (NUMBER) (STREET) ADD PO Box 841 NO UNITS FUND TELEPHONE NUMBER CITY VALUATION OF WORK ACCT. 25,000 25,000 Poway, CA 92064 STATE LICENSE NUMBER | CLASS. NO. 224-3149 92064 PLAN CHECK CITY LICENSE NUM 44 50 100 1 B-1 355-549 SUPPLEMENTAL PLAN CHK, FEE 73421 BIOCH SUBDIVISION 2 thru 1 Hurd Add., Map 4444 UILDING 89 100 PERMIT FEE JOB ADDRESS 320 STATE FEE 550 Washington Street CONDITION OF SOL AT JOB SITE N/A ORIGINAL COMPACTED HA 506 79750 SEWERFEE COOSE FILL 500 79080 WATER FEE One (Medical Center) DESCRIBE WORK TO BE DON 73423 PARK FEE Glass enclosure of open lobby area SPECIAL INSPECTION 9075 TOTAL FEES DUE EXISTING USE OF BUILDING OR PROPERTY Medical Center CONCRETE MASONRY Velding, H.S. BOI Pile Driving IVER OF CONS OCCUP CH RE ZONE 2 PROPOSED USE OF BUILDING OR PROPERTY Medical Center NO. STORIES BLDG AREA scknowledge that ) have read this application; that the spicen is correct; and that I am the owner, or the duly agent of the owner. I agree to comply with city and regulating construction; in the event I do not comply workman's gempensation law, this permit shall be 66 8 DRKMAN'S SOILS I hereby LEOD FO 1 st / an PLAN CHE DIS AP Northwestern Engineering Co. 5 550 Washington Street, SD 92103 APPLICATION APPROVAL THIS PEAKE DOES NOT BECOME VALUE SIGNED BY THE DIRECTOR OF BUILDING P TION, OR HIS DEPUTY, AND FEES ARE PAID RECEIPT IS ACKNOWLEDGED IN SPACE PRO-AFTER SIZE SERVICE SIZE CHECKED 1 WATER (REV. 8/77) REMARKS SIGNATURE OF BUILD. INSP. DEPT. DEPUT CHECKED BY Z YPE CONN CITY O NO ADDITIONAL IN-258 CONNECTIONS REQ'D. TAILE 5

Property Name: \_\_\_\_<u>550 Washington Street (Hillcrest North Medical Center)</u> Page 21 of 81

A.4 Building Permits – 7/22/81, Building

BUILDING PERMIT APPLICATION PROJECT ADDRESS 550 WASHINGTON ST. 550 Washingto Street. CENSUS TRACT NUMBER to 9 Hurd Addition PERMIT 00 \$ 14388 Macu- Course Contract CONDITION O SOIL AT JOB SIT PLAN FILE NO DORIGINAL DECOMPACTED FILL DLOOSE FILL WAS TON EXISTING USE OF BUILDING OR PROPERTY Offices 11300 Season Valley TEL NO Lo, CODE PROPOSED USE OF addition of BUILDING OR PROPERTY parking 4573420 20 2 SUIN 255 San Dieco 12121 DESCRIBE WORK TO BE DONE Proposed Parking Garage TEL NO ZIPCODE 07/22/81 4964 3 1029.00 ipe STATE LIC. NO ATTENT LIC. CITY LIC 07/22/81 4964 3 THIS PERMIT AUTHORIZES ONLY THE .00 Marvin Cohen Arch./Inc. No C -9887 D Q.P. 233 A Street Suite 204 233-5278 SERV METER CREDIT San Diego, Ca. 92101 SEWER CONN. ATT. RECPT. CKD BY LICENSED CONTRACTORS DECLARATIO visions of Chapter 9 (commencing with Sec sions Code, and my license is in full force a hereby affirin that I am licensed up 7000) of Division 3 of the Business COASTAL DYES DEV PERMIT USE 1 Hractor's Signature REVIEW THO DISTRICT VARIANCE NO. AGREEMT mpt inererrom and applie armit subjects the applie of the property, or my em re is not intended or o while Law does not apply NO FUNC SALWARD NA COM ACCT PLAN CHECK 641 54 100 SUPPLEMENTAL as owner of the property, a Sec. 7044. Business and Pro-rty who builds or improve ant to the Contractor's Lico 100 BUILDING PERMIT FEE 63010 9022 STATE FEE 41506 SEWER FEE BATION 41500 WATER FEE AND KIA9900 . 8 73423 PARK FEE HOLD DADER NO SPECIAL UNSPECTION TOTAL FEES DUE DASONAN MASONAN MELDIANI HIS BOLTS TTPE OF CONST NO. STO D STHEAHDENHEY WORK TO BE DON olin Seid WASHINGT IN AREAIN DEMOLISH TAAS 11300 Seveno Valley Lo 9212 BATE PLANS G-19-8 TITL APPLICATION APPROVA 24 148036 TIME DATE 5/11 81 CONTRACTOR NER AGENT FOR CONTRACTOR AGENT FOR O Co NER S IREV. 1-411 FILE and the second second second 

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 22 of 81

A.4 Building Permits – 8/9/85, Building

SAN DIEGO BUILDING PERMIT	PROJECT ADDRESS
550 WARLUNTEN ST	DIST. NO. CENSUS TRACTING LASS AND DIST. NO.
BLOT BLOCK SUBDIVISION NAME UNIT NO.	2 4 88 1 1 1 20 1 20
E B MAD4444	the second and an an and a second
EXISTING LIPHO PROPOSED AT. 80 4 nits	
TEL NO.	
ADDRESS	PROPOSED WORK CRIB RETRINING WIRLS
	17×230 = 3910 4
P.O. Dol 2129	MP25
ZIP CODE Lob	BUILDING MEMOTION CITY TREASURER VALIDATION
STATE 122-0-LIC 1 CITYLIC	
LIC NO 472093 CLASS A CITY LIC 71054264	
ADDRESS NO RCE 2267/	THE PERMIT AUTHORIZES ONLY THE WORK MORED
PRO. Boy 2129	SIZE
92025 49-1108	SEWER CONT OF 37 ATT. RECEPT
Constant of Contractors Oct Amarton I hereby shart had an borned where proved and and a second a sec	CONE ZONE TSUNO NO: SOTO EC COOR DEBUIL
OWNER-BULDER DECLARATION THEN BUT BUT DE LAS	The second s
blowing reason (Sec. 700 TS basiness and holessons Code Adv dry or couldry which inquires a pa struct allow improve demoken or inpair any structure, pror to to issuance allo requires the appro- permit to the approve demokent or inpair any structure, pror to to issuance allo requires the appro-	AGREEMT. VARIANCE NO. NO.
Owners autores to be possible of the provided	Allevention FUND
Las owner of the property or my employees with wages as ther add compensation we do there	ACCT. OFWORK
Law does not apply to an owner of property who builds or inproves thereon, and who does not apply the provided that such improvements are not intended to offset for says if it to building or improvement is and who does not work of the provided that such improvements are not intended to offset for says if it to	HINN CHECK
he do not build or moreove for the purpose of sale.) 1. as owner of the property, an exclusively contracting with licensed convectors to construct the per-	werker ha 273411 SURPL AVAN CHECK FEE open (Sec 100 BUILDING 77412 DERMIT FEE
Bohcard to a conservativity of roll more than line functed dotect (BegD):	d poperty 7412 PERMIT FEE 756 50
I am exempt upder Sec BAPC for this reason	4100 SEWER FEE
Owner's Signature	
MORE TO COMPANY A TION DECLARATION I Instally alimn that I have a contracted of company to sale order as a Women Company of Instally a contract of a contract feed with the Buildery Instally marks (Sec 2000 DDC) 2018940	n Depart 73422 PARK FEE
Policy No WSD 078940 insurance of the MEST	
	S (get goes
CENTRECATE OF DESIGNATION FROM WORKERS CONDUCTION REGRADED ONE	PROVIDED BY MUNICIPAL CODE
Construction a signation A CA A second statement at the second Sec 3087 Cv C 1	WORK TO BE DONE TOTAL C. 26 99
Lander's Name	
Lender's Address N.A.	SPEC, INSP. REOD, FOR
1 - Carlos	CONCRETE MASONITY PARISLASTICO FOR
PO, Boy Example 9702-	DE DATE PLANS
Formity that I have read this application and state that the above information is correct, and that I can the dury anthorized applied the over-() appendic opendic and an application of the state of t	MAN CHECK Chan BIT
become subject to such provident to the worker's Compensation provident of the social subject to such provident and the second subject to such provident to the social second sec	ARCHINA RECEIPT NO. APPLICATION APPLICATIO
monarun Carlothale 7/14/85	HECH AND AND A
DECONTRACTOR DOWNER DARENT FOR CONTRACTOR DAGENT FOR OWNER	OCCUP CARD YES D
58 Rev. 12-63	

A P P E N D I X A Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center)

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A.4 Building Permits -7/21/86, Building

BAN DIEGO DUILUINC	PERMIT APPLICATION	PROJECT		nington	Stree	•	ting.	SUN	re x <sup>11</sup> - 1
550 Washington Street	SUITE	DIST. NO	100 - ST	ENSUS TRACT	1.1.1.1.1	ES I A	110	1501	(*************************************
5 JE LOT BLOCK SUBDIVISION NAME	UNIT NC			4.00		賢しの	<u>. 62 - 1</u>		
E 78 Map 4444		CONDI OF SO		UNDISTURBED		COORD. IN	DINO	TEN:	Ser.
EXISTING Land PROPOSED A	pts. 88 units	PROJE		COMPACTED FILL		213-1	720	79	(PP)
Washington Street Investment	s 488-1031	PROPOSEI	ION OF D WORK	CANO	it	Apo	<u>بار</u>		
Construction Mgmt Services		â 		*******					8.1
6. MOONESS TUrquoise St., Ste 301	488-1031	BUILDIN	G INSPECT	ICITY	REASU	RER VALID	TION		1997 - 19
SinSan Diego, CA. 92105°	······································	6			697	107/21/	86	38.8	o ipė
CITYLIC NO 432673 CLASS B CITYLIC NUMBER	800,81790	Q.	Y		07/	21/86:61 21/86:61	77	31	.50-
E   Tucker Sadler & Associated	C1885	SERV.	E WORK N	METER	0//0	CREDIT	Q		
2411 Second Ave	000 1000	SIZE		SIZE	<u>)</u>	1		CKD	WATER
San Diego, CA. 92101		CONN.	COAST	ATT. RECP	T. DEV. PI	RMIT IN	HO IOF	BY.	24 32 11
CLOSENED CONTINUCTOR DECLARATION: ) Prior stum that ) of Charter 9 (continuenced with Station 1000) of Perior 3 of the Bur prod my Karam as n NR with the of the discu	rendent	USE	ZONE	JECNO .	NO:	C YES	ann annas	7.0	
Overset and Den DECLARATION: L Person aftern has I am earner Decemp resident (Sec. 7011 5, Business and Protessors Code Any c	t from the Contractor's License by or county which requires a p	Law for the terms to con-	AGREE		ISTRICT	TANCE			
Common et a cher DECLOYATION: Thereby altern that I am pear based to mean their 70113 Subtrate and holesans Code Any co- ment of the 2 mean thereby a subtrate production to the period of the 2 mean subtrate of the 2 mean subtrate of the Decommon of the Sector 70001 (2 Demonth of the Bearless and Fry of the Sector 70001 (2 Demonth of the Sector 70001 (2	survey also requires the applications of the Contractor's License lessens Code) or that he is ever	Law (Chaple) not merelicin	NO. FUND		NO UNITS	PERUN	r is	ACCOUNTITE	HTOTAL
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Contractor's Signature CONSTRUCTION LENDING AGENCY: I hereby aftern that mere is a marce of the work tox which this permit is stated (Sec 3097 Cv/C)	construction lending agency le	x the perior	D NEW		MOVE.	FEES DU	ELA	33	SE
marice of the work for which this permit is stued (Sec. 3097. Cv.C.) (ender's Name		-	THES.	OK-RES.	000 CH	BULDING ARE		C M	
Lender's Address			CI CONCE		ASONRY			NC	
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Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 24 of 81

# A.4 Building Permits – 9/18/90, Building

		-1-179
		215-170 C
		С.
	Permit Applica	ation
	City of San Diego Building Inspectio	n Department PCOE "
1. Permit Type	2 First Avenue, MS 301, San Diego, CA	
L Combination X Buildin	J Mobile Home J Electrical J Plus J Relocation J Remove Bu	mbing & Gas J Mechanical J Demolition
2. Project Information		Plan File No. 1008-91-1
Address 550 WASH	INGTON STREET, ST	AN DITES Building or Suite No.
Logal Description Lot No. 10 +11 Block No.	Subdivision Name	Unit No. Map No.
Parcel No. 2	Parcel Map No.	Assessor's Parcel No.
Existing Use	Condition of Soil at Site Und	isturbed Compact Fill J Luose Fill
Description of Work		Total Floor Area
Designer come	STREASTHENING	Address
City EDE ENGIN	State Zip Code	3150 BRISTOL ST
COSTA MESH	CA. 92-6	26 (714) 850-9299
3. Applicant Contractor	Agent for Contractor D Own	Address
UNIVERSITY REA	WUND CERPORMON State Zip Co	Address 2651 HIGH BUTE DRIVE
JAN UHEDD		12031 Harbons - 8810
4. Property Owner Owner	C Lessee or Tenant	Address
MICHINAL PRO	State Zip	12651 HIGH BLUTF DRN
SAN DIEGO	CA	92130 259-8810
5. Contractor	1 00-+ A	Address Accord 2 5
City Trepte Construct	ion (c. 8825 Aero )	telephone
State License No. 502000	Licence Class	123 619 -279-8100 City Business Tax No.
Licensed Contractor's Extension: 1 hereby aftern that (an Jeffer	License Class ed under privators of Chapter & Commercing with Section 7000) of	90008485
Signature	EL Presidet	9-19-90
6. Workers' Compensation		
Workers' Compensation Declaration: I hereov aftern that I (Sec. 1800, Lab. C)		Compensation insurance, or a centried copy thereof field with the Building Inspection Department
Insurance Company	Lideum Policy NoC 5905-	Expiration Date [///9] on is any manner so as to become autoric to the Worker's Compensation Laws of California.
N Signature allef + Satur	President Date	aliabo
7. Owner-Builder Declaration		
Courses Redition Declarations ( hereby affect that ) at a arrow from the	Contractor's Lorenze Law for the following reason [Sec. 7031.5, Busi	ness and Protessions Code: Any city or county which requires a permit to construct, aller, improve
<ul> <li>denotish, or (flage any structure, prior to its security, and requires th 2000, of Division 3% (the Success and Profession - Code) or that he not more sum free hulf legit datase (\$300)).</li> </ul>	e applicant for such permit to the a signed statement that he is scender is alreitipt therestors, and the basis for the alleged exemption. Any v	d pursuant to the provisions of the Contractor's License Law (Chapter B. commencing with Section obsion of Suption 7031.5 by any applicant for a permit subjects the applicant to a civil penalty (
	er sole compensation, will do line work and the structure is not interv	ied or offered for sale (Sec. 7044. Business and Protessions Code: The Contractor's License La sea, provided that such improvements are not intercided or offered for sale. If, however, the buildin
or improvement is sold withintene year of completion, the ow	mer-builder will have the burden of proving they he did not build or in	see, provided that such improvements are not interacted or district for same, in, nowing, the documents prove for the purpose of same.). refeasions Code: The Constantion's Licensa Law does not apply to an owner of property who built
or improves thereon, and contracts for such projects with co	istactoris) licensed pursuant to the Contractor's License Leve)	оневнико соора. Пле солизаски в соотве сам орек покедру во ал омлен о рореку ило соор
Signature	Date	
8. Construction Lending Age		a second a second as a second of second s
I hereby affirm that there is a construction lending agency for the per	formance of the work for which this permit is issued (Sec. 3097. Cw	C)
Lender's Name NONE	Lender's Address	
9. Applicant's Signature	e minimulion a connect and that I am the namer or the duty a division	d agent of the owner. I agree to comply with all pay and state laws relating to building construction
Harvey suit interesting that application are state that for any Harvey automas representatives of the City of San Dago to Cicke I should becompauting toglacity prevents, fivel forth	inder upon the above membored property for inspection purposes. If addicomply in the event I do nue comply with the Worker's Compen	ater majong the Certificate of Examption from the Worker's Compensation provisions of the Later sation Law, this permit shall be deemed revoked.
Signature	1-	Date 9-18-90
	(N-3032 (Rev. 5-89)	

A P P E N D I X A Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 25 of 81

A.4 Building Permits – 5/8/91, Building

C/mocing PC 02 213-1720 **Permit Application** City of SPA Diego Building Inspection Department 1222 First Avenue, MS 301, San Diego, CA 92101 (619) 238-6270 1. Permit Type Combination & Building D Mublle Home D Electrical D Plumbing & Gas D Mechanical Biologia D Relocation D Remove Building Plan Elia No. Plan File No. H0033 2. Project Information Address 550 Washington Block No. Subdivision Na Unit No. Lot No. Addin Parcel No. 44-55 Existing Use Lobby of Wed. Ofice Undisturbed Cor **Description of Work** Total Fi Ramade Lobby Address Passes del Qous City La child 100 3. Applicant G. Contractor O Agent for G Chip 30 11.1 化 中国 Hephone 8529 2150 4. Property Owner Q Owner D Lesses of Fineral Name Sommast Suites HARD City 5. Contractor Neme Data bailt Construction -State Loonag No Signature 15 6. Workers' Compensation She Array Geratura ALON IN THE PLATE Dolivan Sciencia Donies Zunga 5-8-9

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 26 of 81

A.4 Building Permits – 10/26/94

1. Permit Type	: Combination/	Building E. Moode	Home Electrical	Plumbing & Gas			
		ss Include Build		65	Plan F.	A 104	Only
Legal Description		Street,	San Diego,	La.		<u></u>	
Legal Description							
Lat No.	Block No.		ion Name		Unit No		Map 159
Parcel No.		Huro	Addition	Aap No.		Assessor's Par	
2			15947			4444	1
Existing Use				Conditi	on of Soll at Si	te: 🗆 Undisturbe	d Ca
Description of V	Notk				and the second second second		Tot
Lighted	Monumen	t to be	installed.	as per	Drawign: Addres	s (Attach	ed)i
3. Designer n	ame				AUGIOS	¢	
City			State	Zip Code		Telephone	Lice
		Contractor	Agent for Contracto	V C Owner	Anent for C	Owner	
4. Applicant M BIOOKE	L. Rowla	and La	Agent for Contract				
Address			City		State	Zip Coce	Tel
6326 Ri	verdale	St.	San Die	go.	Ca.	92121	21
5. Property O	Toe Gras	sela d/b/	ase check one a/: Sweet	Life Ph	armacy		
			San Di	Alma Alma	State Ca.	321843	Tel
550 Was	shington	St.	san Di	.ego,	ca.	3610 >	
6. Contractor	Name			14 S. 1	1975 - 1975 1975	· · ·	
			17.11				
Neon Li	ght Com	pany	City	<del></del>	State	Zip Cods	
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APPENDIXA Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 27 of 81

A.4 Building Permits – 3/17/97, Building

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APPENDIX A
Property Name: \_\_\_\_\_\_550 Washington Street (Hillcrest North Medical Center)

Page 28 of 81

A.4 Building Permits – 3/13/99, Building

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A fhaw of the wo of the wo of the wo sued. My insurance (This section m c. i. and mission of a section ris, and e Signati waring Falu the cost of 8. Owner-Bu city or county statement th Code) or that of not more t Les owne property v Signati 9. Construct Lender's 1 10. Application the ownet, mentioned ject to such	e and will maintain w y workers' compensa- se Company se of cobe completed if 1 y that in the performance gree that it should be y that in the performance it compensation famage all der Declaration y which requires a pa all the is locansed pur it he is secare the declaration y which requires a pa all the is locansed pur the is secare the declaration of the property dense. It has not the property or my re Locans Law does no- the under Section	the parmit is for one has a of the work for which if you subject to the work meansation privates is as a provided too its work with the construct, at autom to the provide form, and the basis of which is a service of the same of the basis of the second se	Inded dollars (\$100) or le La permit is issued, I sh compareasion provi- sion 3706 of the Labor and the Labor the Labor the Labor to the suboption to the Labor to the Labor to the Labor to the Labor to the Labor to the Labor to the suboption of the Contractors to the singled exam- property who builds or provement is sold with to the reason: the thuse is a construction to the reason: the thuse is a construction to the application a lawn existing to build the event 1 do not con	ess). and not employ any period ident of Section 3790 of fect an employer to other Code, interest, and allow in the Continector's Lic iset, or repair any sign iset, or repair any sign iset, our repair any sign or the Continector's Lic iset, and allow on the Continector's Lic and on the region of the improve thereon, and is improve	Date <u>2</u> Date <u>2</u> anse Law to un idl cours prior to the se- there Law to un idl course prior to the se- piter 9, commencing of Section 7031.5 by and the stucknes is not if the does such work him the does such work him to the Contractor's U Date atemanic of the work for over information is co- ner by authorizer to not the Montan To an the Montan To an Comparisation La Date <u>3</u>	-13-92 as up to one hundred looring reason (Be usance, also requires usance, also requires usance, also requires restriction 700 any applicant for restriction 700 any applicant for Protect, and that I i presentatives of the restriction pro- any applicant and 2-13-92	shoursend dollars (\$10 c. 7031.6, Business the applicant is of Division 3 of 5 a perint " Sects 1 or cale (Sec. 7044, Bu m anjoyees, provid and and build be Carinector's License and (Sec. 2007, Cir. C ans this owner or th be City of Sen Die islons of the Labor all be deemed revi-	0,000), in addition to a and Professions Code: or such permitto fina a sig- he Businees and Professions he applicant to a civil per sinses and Professions Code: al test such improvements an or improve to the purpose of a function of the purpose of a function of the purpose of the Law does not apply to an own
A fhaw of the wo of the wo sued. My insurance (This section of a sued waring Fallu the cost of signatu taisment the Code) or that insunded a Commer-Bu city or county at sement the Code) or that insunded a Les one property Signatu Signatu Signatu Signatu	e and will maintain w y workers' compensa- se Company sed not be completed iff y that in the performance gree that it should be ure to secure worker con- t compensation damage all der Declaration it compensation damage all the is sacensed pun y which requires a pa at the is loansed pun y which requires the the is sacent to set the property for imports provisions, I will for a set to be a part of the provisions, I will for a set to be a set the a set to be a set to be a set to be a set to be a set to be a set to be a set to be a set to be a set to be a set to be a set to be a set to be a set to b	the parmit is for one has a of the work for which if you subject to the work meansation privates is as a provided to in Sac which is the provided on the provided of the provide them, and the basis i ware (\$500)): y employees with means the provided to make to mean and contracting with heaven, and contracts for means, an	Inded dollars (\$100) or le his parent is issued, I sh or on pareasion provin- unised, and shell subject atom 3706 of the Labor Co- mat I am assempt from Rer, improve, demoid unit and assempt from rer, improve, demoid and the Contractor for the mission company and their sole company and their sole company or at the company or at the company is readon: Long or a construction is event 1 do not com- tion is available	ess). and not employ any period internet discrimentary period internet, and allow the contractor's Like internet of the second internet of the second internet of the second internet of the second internet of the second on construct the period (S tractorial Second pursu on leading spency for the p chroses	Date 2 and a second sec	-13-90 as up to one hundred towing reason (Be tabance, also regul with Section 700 any applicant for read of shough his o and to shough his o to burned to color. The consect law). which bis parent is in presentatives of the presentatives of the 2-13-9 some writh dis-	showand dalars (\$10 showand dalars (\$10 c, 7031.5, Bueinae tree the applicant is 0, of Division 3 of 1 a permit - pocts 1 by sale (Sec. 7044, Bu m angloyees, provide up stall the dianat build ap stall the dianat build and (Sec. 2007, Cir. C and (Sec. 2007, C) and (Sec. 2007, C) and (Sec. 2007, C) and (Sec. 2007, C) and (Sec.	0,000), in addition to a and Professions Code: w such permitto fina a significant to a such permitto fina a significant to a christer of the such and professions Code: al that such improvements an or improve tot the such and or represent of the such and or the such and professions Code: a characteristic of the such and or the such and the such and or the such and the such and or the such and the such and the such as the such and the such as the such as the such as the such as the such as the such as the such as the such as the such as the such as the such as the such as th

A P P E N D I X A Property Name: \_\_\_\_\_550 Washington Street (Hillcrest North Medical Center) Page 29 of 81

A.4 Building Permits – 9/10/98, Signs

						Permit
	City of San Diego Development Sen 1222 First Ave. • I San Diego, CA 93	AS-301	CN-LA	213-17	20	Application
	(619) 236-6270					
. Permit Type:	Combination C Bu	lding 🖂 Mobile Home	🗆 Electrical 🗔 Pla	umbing & Gas 🚍 Me	chanical Demolition	Relocation/Remove Building Signs
t. Project Addr 5500	Block No.	g or Sulfe No.	st.,	S. D. Unit	No.	9107984-58 Map No.
Parcel No. 2		0	594	7	444-	333-2500
eeU gnitaix	medico	I Shice	L	Condition of Soil at	Site: C'Undisturt	
Description of y	sets in	ternally	illuri.	. Marma	el lara	M toyo
City		1	State Zip	Code	Telephon	e License Number
any and some the	- Binden offict	Contractor	Agent for Contra	ctor 🖸 Owner	Agent for Owner	
ATAM	ola si	gn Los	DCity /	/ is	· Origoni	11 mongine (2 MA
Z5.56	Fame		Kone Owner	Lessee of Te	nant 71711	165-6600
JOUA	AL HOW	yal tu	Hity A	OSV	o apropa	Telephone
550	Wanne	ton	X.A.	U	9210	3
ZTAM	Brd.A	mio	City /	0.5	te Zid Calie	/ Temportogie / 200
2556	Famu	U.A.	Vill	City Busines	S Tax No.	2405-6/10
State License	№ 6Z06/-	License				ncing with Section 7000) of Division
Licensed Com 3 of the Busine Signature	tractor's Declarations	MAMA.	Title	0 10070	MOVH D	
a. I have	and will maintain a che	ration: Thereby affirm cate of consent to self-in	SUNS TOP WORKERS' CONT	beusanon as hununar		Labor Code, for the perfor-
b. I have sued. My	the work for which this p and will maintain worker workers' complete then Company	ermit is issued. Compensation, as required to the second poly of the s	ed by Section 3700 creativer are: Policy No.	478-9	the performance of the Expi	work for which this permit is is ration Date $4 - 4 - 7 - 7 - 7 - 7 - 7 - 7 - 7 - 7 - $
(This section need	ed not be completed a the pen that in the performance of the	fells for one hundreg dollars ( work to phich this permit is is	\$100) or Res). sued, i shall not employ a	my person in any manner s	o as to become subject to the	Workers' Compensation Laws of Cas- ibose provisions
		MAIN		Date 1	-10.40	
Signatul Warning: Failure	to secure workers' compensa	and the state of t	I the 1 abox Code interest	to criminal penalties, and of antiomey's tees.		housand dollars (\$100,000), in addition
8. Owner-Bui cti, or county statement that Code) or that	Ider Declaration: I h which requires a permit t the is licensed pursuant he is exempt therefrom, a	ereby affirm that I am exe o construct, eller, improve to the provisions of the Co and the basis for the alleg	mpt from the Contract a, demolish, or repair to ontractor's License La ed exemption. Any vice	or's License Law for the any structure, prior to in w (Chapter 9, commen- plation of Section 7031	ncing with Section 7000. .5 by any applicant for a	7031.5, Business and Professions Code: A to the applicant for such permit to fee a sign- of Division 3 of the Business and Professions permit subjects the applicant to a civil penalty
Contractor's	s License Law does not apply offered for sale. If, however,	yees with wages as their sole to an owner of property who the building or improvement is	sold within one year of co	ompletion, the owner-build	er will have the burden of pro	sale (Sec. 7044, Business and Professions Code: Thi n employees, provided that such improvements are no wing that he did not build or improve for the purpose of
. I, as owner	r of the property, am exclusive he builds or improves thereon,	y contracting with licensed con and contracts for such project	tractors to construct the pr ts with contractor(s) licens	oject (Sec. 7044, Busines) ed pursuant to the Contrac	and Professions Code: The tor's License Law).	Contractor's License Law does not apply to an owner o
12 1 am exemp	pt under Section	B.4P.C. for this reason:		Date		
Signatu	ion Lending Agenc	V: i hereby affirm that there is a	construction fer. ing agency		ork for which this permit is issu	ed (Sec. 3097, Civ. C).
Landade N	lamé	Lende	er's Address			
		that I have read this app ity and state laws relating poses. It, alter making th ply, in the event I do not	lication and state that to building construct e Certificate of Exemp comply with the Work	the above information ion. I hereby authorize bion from the Workers ters' Compensation La Date	h is correct, and that I an a representatives of the Compensation provision w, this permit shall be d	n the owner or the duly authorized agent of City of San Diego to enter upon the above- ms of the Labor Code I should become subject eemed revoked.
Signature	To rec	This information is a uest this information	n in alternative for	ative formats for o	ersons with disabilit 6-7703 or (800)735	ies. 2929 (TT)

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 30 of 81

#### A.4 Building Permits – 3/16/99

215-1720, City of San Diego MCFD Permit **Development Services** 1222 First Ave. • MS-301 San Diego CA 92101-4154 (519) 236-6270 Application 1. Permit Type: Combination Building Mop in Home Electrical Plumbing & Gas Demolition/Relocation/Remove Building Mechanical Sign: Project Address: Include, Building or Suite No Plan, File No. For City Use Only LOT NO. Unit No Parcel No. Existing Use Undistu Condition of Soil at Sit Compact Fill Loose Fill Date Total Floor Area 'n. City State Zip Code Telephone License Number 4. Ar Agent for Contractor racto Owner Agent for Owner City ck on Owner Lessee o Add City State Zip Code Telephone City State Lic License Class City Bus Declaration: I hereby affirm that I am licensed under prov Licensed Contractor ons of Cl oter 9 (commencing with Section 7000) of Division ssion Code, and my license is in full force and 3 of the Business and P Signature WW YX Title Date Compensation Declaration: I hereby it Workers affirm under penalty of perjury o a. I have and will maintain a ce If-insura for workers' con ction 3700 of the Labor Code, for the performance of the work for which thus permit is issued. In have and will maintain workers' compensation, as required by Sec Sued. My workers' compensation transe comercant price of the property of the price Section 3700 of the Lat formance of the work for which this ber are: 2 Policy No. Expiration Date C I centy that in the pe forma, and agree that d MMONS 3700 of the La de, I shalt 0 1 Signature Date opurs' compensation coverage is unlawful, and shall subject an employee to criminal ponables silon, damages as provided for in Section 3708 of the Labor Code, interest, and attorney's loce. Warning' Failure in sectire w to the cost of compensa d dollars (\$100,000), in addition B. Owner-Builder Declaration: Thereby aftirm that I am exempt hom the Contractor's License Law for the following reason [Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construid, after, improve, demolish, or repair any structure, prior to its issuence, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter B, commencing with Section 7000, of Division 3 of the Gusiness and Professions Code: Any city or county where the second pursuant to the provisions of the Contractor's License Law (Chapter B, commencing with Section 7000, of Division 3 of the Gusiness and Professions Code; or that he is exempt therefore, and the basis for the alleged exemption. Any violation of Section 7031.5 by any application of permit subjects the applicant to a civil penalty of normer than live hundred doltars (\$500)]: as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through ha own employees, provided that such improvements are not energied or offered for sale. It, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale) I, as owner of the property, an exclusively contracting with licensed contractors to construct the project (Sec. 7644, Business and Professions Code. The Contractor's License Law does not apply to an o property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law). I am exempt under Section \_\_\_\_\_ \_\_\_\_.B.&P.C for this reason: Signature Date 9. Construction Lending Agency: thereby aftern that there is a construction lending age may for the performance of the work for which this permit is assued (Sec 3097, Cer. C). Lender's Name Lender's Address 10. Applicant's Signature: . certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. Lagree to comply with all city and state laws retaining to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Eremption from the Workers' Compensation provisions of the Labor Code I should become subj to such previsions, I = 4 forthywith comply. In the event I do not comply with the Workers' Compensation Law, this permit shall be deemed revoked. The information is available in alternative format, call (619: 236-7703 or (800)735-2:29 (TT) 0 Signature DS-3032 (Rev. 12-96)

A P P E N D I X A Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 31 of 81

# A.4 Building Permits – 3/16/99

Develop	an Diego ment Services st Ave. • MS-301	CN-1A	MCT	$\mathcal{D}$		Pern
San Die (619) 23	go, CA 92101-4154 6-6270		/			Application
1. Permit Type: . Combin	-	Home Electrical	Plumbing & Ga	s Mechanical	Demotition/Re	location/Remove Building Sign
2. Project Address: Inclu 550 WAY Lot No. Block N	unaton x	B. S.	D,	Unit No.	Plan, F	U2536 -99 Map No.
Parcel No. 2		/ Charge Map	No.	1/14	sessor's Parc	10. 25 AA
Existing Use M.g.d.	ical Offic	1.5777	Condition o	1 Joll at Site:	Undisturbed	Compact Fill Loose
Description of Work	math 19	Im. NT	wind,	sign		Total Floor Area
3. Designer/name	1	<i>O</i> r		Address		
City		State	Zip Code		Telephone	License Number
4. Apprilation Name Rieg	check oge Connet	pr 🚍 Agent for Co	ntractor 🖸 Or	wher C Agent	or Owner	
Adeas 556 FO	NTTO AT	City		CSMe (12	1911	Lyeren and 20
5. Projecty Owner/Lease	Tenent Nitre Please	check one Own	ner 🗆 Lessee	or Tenant		n and
Address	1-ursup	City		State Zi	p Code	Telephone
6. Convector Nime	Simil	r	·			
Address FL FO	INTO	()City)	1	n state 9	1911	Zejéphone _ 620
State License No. 67	5617 11	ense Class	45 City B	siness Tax No.	1812	40 -cen
Licensed Contractor's De 3 of the Business and Plot Signature	cleration: I hereby alfin ission Code, and my li	n that 1 am licensed cense is in full force The	and affect	TALAT	(commencing	with Section 7000) of Divis
7. Workers' Compensatio	n Decision tion: I hereby a	firm under penalty of	perjury one of the	following declarat	ions: 1700 of the Labo	Code for the perfor
mance of the work for wh				A THORN STOL	6	
sued. My workers' competing insurance Company	VIAND COUVEN	Policy I	<b>7</b> X1	-99	Expiration	1-1-2000
C. 1 certify that in the performa forma, and agree that if Labour	nce of the work for which this perm		r any person in any m clion 3700 of the Labo	enner so as to become a x Code, I shall forthwith	ubject to the Works	rs' Compensation Laws of Cali-
Signature Warning: Failure to sectire workers'		A PAR State of an angeo	Date rer to oriminal penalter	5-/6-	-77	dollars (\$100,000), in addition
8. Owner-Builder Declarat	mages as provided for in Section 3 ION: I hereby affirm that I am Definit to constitute, after inco	evenue from the Contra		for the following re-	non (Sec. 7031.	5. Business and Professions Code:
statement that he is ficensed p Code) or that he is exempt the	ersuant to the provisions of the solution, and the basis for the solution	e Contractor's License I Reged exemption. Any s	Law (Chapter 9, co riolation of Section	mmencing with Sec 7031.5 by any appl	tion 7000, of Divi Icanil for a permit	policant for such permit to file a signation 3 of the Business and Profess subjects the applicant to a civil per
E Las owner of the property or				ير منبسيا مر و من	allowed for sole (Se	7044 Business and Professions Code
Intended or offered for sale. It, sale.].	owever, the building or improven	of a soil when one year of	completion, the owne	-builder all have the b	adan of proving the	eas, provided that such improvements at the did not build or improve for the purpo
	actuality contracting with Scenese therefor, and contracts for such pr					or's License Law does not apply to an own
Signature	R &P C, for this mann	C. C. L. COLORADOR MARCINE	7 Date			
9. Construction Lending A Lender's Name	ALC: NOT THE OWNER	is a communition having report Indian's Address	Sand Draw Sec. 1945	i de ante los aliste frie p	inet is leaded (Sec. 3	017. CH. C)
10. Applicant's Signature: the owner, I agree to consolve	centily that I have read the i th all oily and state laws re-	exploration and state the	t the above inform tion. I heraby suff	ution is correct, and orize representative	that I am the ow	mer or the duly authorized agent o ian Diego to enter upon the above
10. Applicant's Signature: the owner, I agree to comply a mentioned property for impact to such provisional 1 will be the	on purposes. If, sher making in conficity. In the event 1 do 1	the Certificate of Exemution comply with the Wor	ption from the Wo ters' Companyation	n Law, the permit a	provisions of th	e Labor Code I should become sul evoked.
Signature	XMMOT	(A)	Date	1-16-	74	

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 32 of 81

A.4 Building Permits – 7/29/99, Building

Planning and Development Revi 1222 First Ave. • MS-301 San Diego, CA 92101-4154 (619) 236-6270 1. Permit Type: D Combination D Building D Mobile H 2. Project Address: Include Building or Suite No. SSO Dashington St. Lot No. Block No. Subdivision No. Parcel No.	ome 🗅 Electrical C ame			ocation/Remove Building 🗅 Signs
(619) 236-6270 1. Permit Type: Combination Building Mobile H 2. Project Address: Include Building or Suite No. 550 Dashington St. Lot No. Block No. Subdivision No. Parcel No.	ame			23-17 ocation/Remove Building © Signs
1. Permit Type: Combination Building Mobile H 2. Project Address: Include Building or Suite No. SSO Cashington St. Lot No. Block No. Subdivision No. Parcel No.	ame			ocation/Remove Building 🗅 Signs
2. Project Address: Include Building or Suite No. <u>SSO</u> Lot No. Block No. Subdivision No. Parcel No.	ame			
550 Dashington St. Lat No. Block No. Subdivision N. Parcel No.		Libit N	Plan	I . M. F. Ottelles Oak
Lot No. Block No.' Subdivision Na Parcel No.		Linit N		le No. For City Use Only
Lot No. Block No.' Subdivision Na Parcel No.		Linit N	1	107736-99
		Cont in	0.	Map No.
	Parcel Map	No	Assessor's Parce	a) No.
	·		4	44- 533-25
Existing Use Hospital		Condition of Soil at S	ite: XUndisturbed	Compact Fill C Loose
Description of Work	1	L / ·/		Total Floor Area
3. Designer name	178444 9	Addre		
West Town			1805 Scra	motor Rd., 247
City SD	State 2	Cip Code 92121	LI9-452-0	License Number
4. Applicant Name Please check one Contractor	U Agent for Cor			
tracise talment	City	State	Zip Code	Telephone
Address for them to St. F	ST ST		92103	619-260-8524
5. Property Owner/Lessee Tenant Name Please cf				WFI
Address		Jineles State	Zip Code	Telephone
9805 Scranton Fd.	10 SC	s Ct	92121	619-824-292
6. Contractor Name ord Commication	The			
Address	City	State	Zip Code	Telephone
State License No.	nse Class	City Business T	- 12126	619-695-203
Workers' Compensation Declaration: I hereby affi a. I have and will maintain a certificate of consert to self- of the work for which this permit is issued. b. I have and will maintain workers' compensation, as rec sued. My workers' compensation insurance carrier and po- Insurance Company Screek. A MAT Take (This section need not be completed if the permit it for one hundred data C. I certify that in the performance of the work for subcit this pendit formia, and agree that the bould become subject to the weater com Signature	essure for workers' co paired by Section 370 sky number are <u>Ca</u> . Policy h (\$100 or test) a sound, ( shall not employ persistion providers of Se	I of the Labor Code, for the p to	iction 3700 of the Labor I informance of the work (c SSS Expiration I become subject to the Wetki	or which this permit is is- Date <u>1+1-99</u> etc. Compensation Laws of Cali-
Warning: Failure to secure workers' compensation coverage is unlawful; a	nd shall subject an employ	ver to commal penalties and civil fin	ENDINER A MONTHLE STORES ALL STORES	d dollars (\$100,000), in addition
to the cost of compensation, damages as provided for in Section 370	6 of the Labor Code, intere	est, and allottiey's lees	and the second second	
8. Owner-Builder Declaration: I hereby affirm that I am encly or countly which requires a permit to construct, after, improvident that he is locensed pursuant to the provisions of the Code) or that he is exempt therefrom, and the basis for the which not more than fire hundred dollars (\$500):	Step exemption way			
L as owner of the property, or my employees with espes as they as Contractor's License Law does not apply to an owner of property ef- intended or offend to safe. It, however, the building or improvement safe.).	de compensation, sell do to builds or gapteens frei geweld William one year of	the such and the shruckers is not a pun, and who does such work han completion, the owner-builder said	eended or offered for sale (S self or through his own emplo save the burden of proving th	et: 7044, Business and Professions Code yees, provided that such improvements ar at he did not build or improve for the purpo
I as owner of the property an exclusively contracting with licensed of	ontractors to construct the	project (Sec. 7044, Business and F	tolessions Code: The Contrac	tor's License Law does not apply to an ow
property who builds or improves thereast and contracts for such pro-	ecta (ME) contractor(s) fice	need purpuent to the Convacior's L		
Signaturé	And Street	Date		
9. Construction Lending Agency: Inity and the forms	a construction landing agen	cy for the performance of the work for	which this permit is is used (Sec.	3097, Civ. C).
Lender's Name	ler's Address			
10. Applicant's Signature: I certily that I have read this as the owner. I agree to comply with all day and state laws retain mentioned property for inspection purposes. II, after making to such provisions, will forthwait compty. In the event Long.	opication and state th ng to building constru- he Certificate of Exer	at the above information is co ction. I hereby authorize repr option from the Workers' Com	rrect, and that I am the o resontatives of the City of persation provisions of t permit shall be dealed to	wher or the duly authorized agent of San Diego to enter upori the above he Labor Code I should become su travolved.
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Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 33 of 81

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A.4 Building Permits – 5/4/2000, Building

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A P P E N D I X A Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 34 of 81

A.4 Building Permits - 9/11/03, Structure

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A.4 Building Permits – 9/22/03, Plumbing/Mechanical

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A P P E N D I X A Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 36 of 81

A.4 Building Permits – 11/7/03, Structure

		City of San Dieg Development S	ervices			General
		1222 First Ave.	MS-301			Application
		San Diego. CA (619) 446-5000	92101-4154	t	DB: 286	98
-		www.ci.san-dieg	o.ca.us/development-			
	1. Approval Ty	pe: • Construction	Permits	J Grading J Public Rig	Neighborbood Lies	Le Plumbing/Mechanical
	opment J Site D	Development J Plan	mostuon/kemoval + De	onditional Use D Varian	ce • 3 Other	stal _ Neighborhood Devel-
					A	and Mar Car Chullen Only
		ess: Include Buildin		Scripos W	ercy Surveni	ect No. For City Use Only
	Lot No.	Block No.	Subdivision Name		Unit No. Cert	Map No.
	Existing Use:	7 1	Parcel No	Parcel Map No.	Assessor's Pa	rcel No.
5	Durger	1 Center				Trial Close Area
	Project Descrip	tion:				Total Floor Area
	3. Designer nar	ne	Ac	idress		Fax Number
	City		SI	ale Zip Code	Telephone	License Number
	4. Applicant Na	Me Please check on & SON PLUM	BING. TNC.	int for Contractor D Ow	ner D Agent for Owner	Fax Number 19)449-8702
Ľ	Address	E SUN I LUIL	Ct		State Zip Code	Telephone
ĩ	10740 KEN	NEY STREET	405 SANT		CA 92071	(619)449-8700 Fax Number
•	ECTIONS.	-mercu	Nume Please check ope	enter		
	Address	12.120	- 6618	- Diam	State Zip Code	Telephone
	6. Contractor N	ame (not required fr	or development permits)	- Annon	<u> </u>	Fax Number
		& SON THIN	BING, INC.			19)449-8702
	Address 10740 KH	OWNEY STREET	405 SANTE		State Zip Code CA 92071 (6	Telephone 19)449-8700
	State License No	. 486824	License Clas	C-36 City Bu	siness Tax No. SD740	
		mat	-		Manager Dal	11-7-03
				penalty of perjury one of the penaltion as provided by Saction 37	e following declevetions: 160 of the Labor Code, for the performa	noe of the work for which this permit is
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		d policy number are.				
		JIAID YAND	is for one hundred dollars (\$100) or	Policy No. 0009577		Date_1/1/04_
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 A P P E N D I X A

 Property Name:
 550 Washington Street (Hillcrest North Medical Center)

 Page
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A.4 Building Permits – 11/20/03

	1/24/2003 13:16 1-760-9413.80 SOUTHCOAST PAGE ■ 09/21/03 09:31 CITY_OF SD/DEVELOPMENT SUCS ■ 1760 9413640 1. NO.910
	Bauagoy - 5785 8
1	
	General General General General
	The City of East Diete Wert of SEC dieto. Cl. us/development.esn/cas
	1. Approvel Type: - Genetuction Permits: D Stucture O Grading O Public Right-of-Way: - O Electrical - S Plumbing/Mechanical
	opment O Ska Daustogment O Planed Development O Conditional Use D Variance + O Other
	2. Project Address: Include Building or Sullie Na. Project Tille: 550 LUDGHENGTON ST Surge ENTER
	Lot No. Block No. Subdivision Name Unit No. Map No.
1	Existing Uses Parent No. Parent No. Assessor's Parcel No.
	Project Garden Denter
	TO STALL AFED BOTLES CHTUSE, ATE HAMILES CHIMIS Fres HAMDER FOR ALLE FOR AL
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1	6. Amileant Name Blasse and a second and a second and a second and a second a s
i	\$ ASSIANT THE ATT A AIL 740-141-368
	The state of the s
	Syctops I Mercuit And Andrew Chart one G Owner & Lasses of Tensor Fax Number
	South and the required to development parmite Hick
	State Victo Hicking Den State Zg. Code Tolophone
	Base License No. 940 14 License Dese 6 20 City Business Tax No. B1040 100-041-1002 Licensed Contractor's Declaration: I hereby affirm that I am Reensed under provisions of Chapter 9 (commencing with Section 7000) of Di- Vision 3 of the Business and Professions Code, and my Benne 6 in hull form a first
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APPENDIX A
Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center)

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A.4 Building Permits - 8/18/04, Combination

The	City of San Diego Development Services 1222 First Ave., MS-301 San Diego, CA 92101-4154 (619) 446-5000 Crrv or Sav Eleco WWW.ci.san-diegc (2a.us/development-services Crrv or Sav Eleco
	Approval Type:      Construction Permits:      Distructure      Grading      Divide Right-of-Way:      Distructure      Distructure      Grading      Divide Right-of-Way:      Distructure
	Britering Use: Parcel No. Parcel Map No. Assessor's Parcel No. Project Description: Project Description: P
Part I	City     City     City     City     City     Agent for Owner     Fax Number       4. Applicant Name, Please check one & Contractor     Contractor     Owner     Agent for Owner     Fax Number       1. Description     City     State     Zip 2016     Telephone       Agented for Owner     State     Zip 2016     Telephone
	5. Brogerty Owner/Lesser Tenant Name Please check one     Downer     Please or Tenant     Par Number       Agency Owner/Lesser Tenant Name Please check one     Downer     Please or Tenant     Par Number       Agency Owner/Lesser Tenant Name Please check one     Downer     Please or Tenant     Par Number       Agency Owner/Lesser Tenant Name Please check one     Downer     Please or Tenant     Par Number       Agency Owner     State     Telephone     Fax Number       6. Contractor Name (not required for development permits) A     Fax Number     Fax Number       Address     Application     State     Zip Code
	State License No. 4 79 79 License Class CD City Business Tax No. 50830 3386 Licensed Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Di- vision 3 of the Business and Professions Code, and my license light full force and effect.
	Signature Signature The HESTOLOLI Date D. ( 0-7 . Workers' Compensation Declaration: United a sensity of perform one of the following declarations: a there and ust matching a serificate of causer to reference of the united by Section 3700 of the Labor Code, for the performance of the work for which this permit is found. b. There and will matching workers' compensation, as majored by Section 3700 of the Labor Code, for the performance of the work for which this permit is secure. My workers' compensation insur- ance center and policy workers' compensation, as majored by Section 3700 of the Labor Code, for the performance of the work for which this permit is secure. My workers' compensation insur- ance center and policy workers' compensation, and majored by Section 3700 of the Labor Code, for the performance of the work for which the permit is secure. My workers' compensation insur- insurance Company Station Date LOCI IDY (
Part II	Chie section need and he completed if the performance of the section of the
	Code: Any day to county which requires a period to construct, state, response, semidation or progent any proceeding, phone to prevent or the base of the construction of the semidation or progent any semidation of the section 7000, of Division 3 of the business and Problemations of the base of the seminary division of advectory of the section 7000, of Division 3 of the business and Problemations of the base of the seminary division of the base of the section 7000, of Division 3 of the business and Problemations of the base of the seminary division of the base of the section 7000, of Division 3 of the business and problemations of the base of the section 7000, of Division 3 of the base of the applicant for a period section of the base of the section 7000, of Division 3 of the base of the applicant for a period section 7000, of the base of the section 7000, of Division 3 of the base of the applicant for a construction of the base of the section 7000, of Division 3 of the section 7000, of Division 7000, of Division 3 of the section 7000, of Division 7000, of Division 3 of the section 7000, of Division 700, of Di
	detel.     detel.     i. so const of hy property, an exclusiony connected contractions to baselines the property (See, 7044, Business and Publishers Code: The Contractor's Loanes Lew does not exply it connect of property and builds at improves thereas, and contracts for text presents and contractor's Loanes Lew).     i. Is an example under Socian
Part III	Lender's Name Lender's Address
L	This information is evaluable in atternative formats for persons with disabilities. To request this information in exemption format, call (519) 446-5446 or (600) 735-2929 (1T) D9-3032 (02-01)

Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center) Page 39 of 81

A.6. San Diego County Assessor Lot Block Book Page

Lot Block Book Page not available after for properties developed after 1949.

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 40 of 81

A.7. Previous Survey Form

There are no previously completed survey forms available for this property.

# **Ownership and Occupant Information**

- B.1 Chain of Title
- B.2 Directory Listing of Occupants
- B.3 Deed from Date of Construction

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 42 of 81

B.1 Chain of Title Page 1 of 5

# California Lot Book, Inc.

*dba California Title Search Co.* P.O. Box 9004 Rancho Santa Fe, CA 92067 (858) 278-8797 Fax (858) 278-8393 <u>WWW.LOTBOOK.COM</u>

# **Chain of Title Report**

Nexus Planning & Research 427 C Street, Suite 212 San Diego, CA 92101 Attn: Jennifer Ayala CTS Reference No.: 0819064

Title Search Through:	July 26, 2019
Property Address:	550 Washington Street

**Assessor's Parcel No.:** 444-533-25-00

**Assessed Value:** \$15,037,962

Exemption:

## **Property Characteristics**

San Diego, CA 92103

Welfare

Use: Medical Building

Improvements: 70,694 square feet

## Short Legal Description

PARCEL 2 OF PARCEL MAP NO. 15947 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 11,1990, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS FURTHER DESCRIBED IN VARIOUS DOCUMENTS OF RECORD.

Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center) Page 43 of 81

# B.1 Chain of Title Page 2 of 5

Ruth C. Smith, Robert D. Whitson, Helen C. Whitson and Gertrude Potter Whitson
The Whitson Company
January 3, 1939, #171, Official Records Book 856, Page 353
A portion of the underlying map of Hillcrest
Ruth C. Smith, Robert D. Whitson and Helen C. Whitson
The Whitson Company
January 3, 1939, #172, Official Records Book 850, Page 489 A portion of the underlying map of Hillcrest
A portion of the underlying map of finitest
n
June 17, 1964, Recorders File No. 109459
Deed
The Whitson Company
Gynob, Inc., 78.7% interest; and San Diego Trust & Savings
Bank, Trustee under Trust #PT-478, 21.3% interest April 7, 1965, Recorders File No. 61164
tion - Certificate of Name Change
Gynob, Inc. Gynob Medical Group, Inc.
August 13, 1969, File No. 8556C
ship Merger
Gynob Medical Group, Inc.
Cyto-Biological Laboratories

Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 44 of 81

# B.1 Chain of Title Page 3 of 5

7. Corporation Grant Deed	1
Grantor:	Cyto-Biological Laboratories and San Diego Trust & Savings Bank, Trustee under Trust #PT-478
Grantee:	Carlile-Agee & Associates
Recorded:	October 30, 1973, Recorders File No. 73-304199
8. Grant Deed	
Grantor:	Carlile-Agee & Associates
Grantee:	Northwestern Engineering Company
Recorded:	October 30, 1973, Recorders File No. 73-304203
9. Corporation Grant Deed	
Grantor: Grantee:	Northwestern Engineering Company Washington Investors, Ltd.
Recorded:	January 15, 1982, Recorders File No. 82-012738
10. Partnership Grant Deec Grantor:	l Washington Investors, Ltd.
Grantee:	Fifth Avenue Investors, Ltd.
Recorded:	May 7, 1982, Recorders File No. 82-135097
11. Grant Deed	
Grantor:	Fifth Avenue Investors
Grantee:	Washington Investors, Ltd.
Recorded:	March 24, 1986, Recorders File No. 86-111817
12. Grant Deed	
Grantor:	Washington Investors, Ltd.
Grantee:	Fifth Avenue Investors
Recorded:	September 23, 1986, Recorders File No. 86-420231
13. Grant Deed	
Grantor:	Washington Investors, Ltd. and Fifth Avenue Investors, Ltd.
Grantee:	Tarnkappe Corp.
Recorded:	March 31, 1988, Recorders File No. 88-146942
14. Corporation Grant Deed	
Grantor:	Tarnkappe Corp.
Grantee: Recorded:	Tarnkappe Ltd. March 31, 1988, Recordern File No. 88, 146044
	March 31, 1988, Recorders File No. 88-146944
Please he advised that th	is is not Title Insurance. The information provided herein
reflects matters of publi	c record which impart constructive notice in accordance
with	California Insurance Code 12340.10

Page 3 of 5

Property Name: \_\_\_\_<u>550 Washington Street</u> (Hillcrest North Medical Center) Page 45 of 81

# B.1 Chain of Title Page 4 of 5

15. Quitclaim Deed	
Grantor:	Tarnkappe Ltd.
Grantee:	550 Medical, Ltd.
Recorded:	January 22, 1990, Recorders File No. 90-036709
16. Grant Deed	
Grantor:	550 Medical, Ltd.
Grantee:	Arpple, Inc.
Recorded:	June 20, 1990, Recorders File No. 90-334772
17. Grant Deed	
Grantor:	Arpple, Inc.
Grantee:	Mission Valley Medical Center, Ltd.
Recorded:	June 20, 1990, Recorders File No. 90-334773
18. Assignment of Leases	
Assignor:	550 Medical, Ltd.
Assignee:	Arpple, Inc.
Recorded:	August 16, 1990, Recorders File No. 90-448679
19. Assignment of Leases	
Assignor:	Arpple, Inc.
Assignee:	Mission Valley Medical Center, Ltd.
Recorded:	August 16, 1990, Recorders File No. 90-448680
20. Grant Deed	
Grantor:	Mission Valley Medical Center, Ltd.
Grantee:	University Redmond Corporation
Recorded:	August 16, 1990, Recorders File No. 90-448681
21. Assignment of Leases	
Assignor:	Mission Valley Medical Center, Ltd.
Assignee:	University Redmond Corporation
Recorded:	August 16, 1990, Recorders File No. 90-448682
22. Grant Deed	
Grantor:	University Redmond Corporation
Grantee:	Michael Properties
	August 16, 1990, Recorders File No. 90-450007

## Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10

Page 4 of 5

Property Name: \_\_\_\_<u>550 Washington Street (Hillcrest North Medical Center)</u> Page 46 of 81

## B.1 Chain of Title Page 5 of 5

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Assignor:	University Redmond Corporation
Assignee:	Michael Properties
Recorded:	August 16, 1990, Recorders File No. 90-450008
24. Corporation G	rant Deed
Grantor:	Michael Properties
Grantee:	Mercy Healthcare San Diego
Recorded:	March 24, 1995, Recorders File No. 1995-0121633
25. Quitclaim Deed	đ
Grantor:	Mercy Healthcare San Diego
Grantee:	Scripps Health
Recorded:	November 8, 1999, Recorders File No. 1999-07431
Note:	There is a discrepancy in the legal description of th
	document.

- End of Report -

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10. Note that we are not a Title Insurance Company, and that no express or implied warranty as to the accuracy or completeness of the information provided herein is granted. Our work has been performed under short time constraints with a quick turn around, and is based in part on the use of databases outside of our control. The recipient hereby acknowledges that California Lot Book, Inc. assumes no liability with respect to any errors or omissions related to the information provided herein. Also note that this search has been performed without the benefit of a Statement of Identification from the property owners, and if a search was performed for liens recorded against owner names, we cannot be sure that the information provided relates to the actual property owners, or is complete with respect to the property owners. In any event, our liability is limited to the amount of fees collected for the information provided herein.

#### San Diego City Directory Unit 105 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1000	rears	
1966	1	Anderson Ralph D Jr Phys Hillcrest North Optical
1967 – 1968	2	Anderson Ralph D Jr Phys Franklin Philip R Phys Hillcrest North Optical
1969 - 1970	2	No Return Guiterrez Jas F Optom
1972	1	Hillcrest North Optical
1973	1	Hillcrest North Optical Group Anderson Ralph D Jr phys Thomas Robt M phys
1975	1	Hillcrest North Optical Co Anderson Ralph D Jr phys Thomas Robt M phys Miller Sidney A phys
1976	1	Ophthalmology Medical Group Inc Anderson Ralph D Jr phys Thomas Robt M phys Miller Sidney A phys
1977	1	Hillcrest North Optical Ophthalmology Medical Group Inc Anderson Ralph D Jr phys Thomas Robt M phys
1978 - 1979	2	Ophthalmology Medical Group Inc Thomas Robt M phys
1980	1	Ophthalmology Medical Group Inc Thomas Robt M phys

## San Diego City Directory Unit 119 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Vacant
1967	1	Moore A M Phys Steelquist John H Phys Zorn Geo H Phys
1968	1	Moore A M Phys Vacant Vacant
1969-1971	3	Anderson Ralph D Jr
1972	1	Denison Edw K Phys
1973 - 1974	2	Anderson Ralph D Jr
1975	1	Elrick Harold phys Kelley Donald L phys Kinports Edw B phys
1976 - 1977	2	Santos-Pizarro Priscila R Kelley Donald L phys Kinports Edw B phys
1978-1979	2	Singh Promilla phys Kinports Edw B phys
1980	1	Singh Promilla phys Kinports Edw B phys Schweller Thos phys

Anderson Ralph D Jr = 5 years Kinsport Edw B phys = 6 years

Anderson Ralph D Jr phys = 11 years Thomas Robt M phys = 8 years Hillcrest North Optical Group = 11 years

## San Diego City Directory Unit 107 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation	
1966 - 1980	15	Merchant Geo B Phys	

Merchant Geo B Phys = 15 years

## San Diego City Directory Unit 123 550 Washington Street, San Diego CA 92104

Year(s)	#	Occupant, Owner, and
	Years	Occupation
1966 – 1972	7	Fetter E Minton Phys
1973 - 1974	2	Denison Edw K phys
1975 - 1977	3	Hsieh San C phys
1978 - 1980	3	Madrid Alberto phys

Fetter E Minton Phys = 7 years

## San Diego City Directory Unit 125 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Buff B Hugh Phys

Buff B Hugh Phys = 15 years

## San Diego City Directory Unit 141 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 - 1971	5	Fishburn Geo W Phys
1972 - 1973	2	Vacant
1974 - 1976	3	Hillcrest North Medical Center Hillcrest North Dictation Service pub sten
1977 – 1979	3	Hillcrest North Medical Center
1980	1	Hillcrest North Medical Center Hillcrest North Pharmacy

Fishburn Geo W phys = 5 years

#### San Diego City Directory Unit 133 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Merwin T Keery Phys
1967 – 1971	5	Duff Donals F Phys Merwin T Keery Phys
1972	1	Kelley Donald T Phys Kinports Edw B Phys
1973	1	Kelley Donald T Phys Kinports Edw B Phys Schley Jenkins L phys Elrick Harold phys
1974 - 1980	7	Kelley Donald T Phys Kinports Edw B Phys Elrick Harold phys

Duff Donals F phys = 5 years Merwin T Keery phys = 5 years Kelley Donald T phys = 7 years Kinsport Edw B Phys = 7 years Elrick Harold phys = years

## San Diego City Directory Unit 201 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
L966 – 1974	8	De Santo-Heard Lab
1975	1	De Santo-Heard Lab Candari Cesar D phys Shishido Ralph M phys Tucker Caryln C phys
1976 - 1980	5	Vacant

De Santo-Heard Lab = 8 Years

## San Diego City Directory Unit 139 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 - 1980	15	Jibran Joseph R Phys

Jibran Joseph R phys = 15 years

## San Diego City Directory Unit 211 550 Washington Street, San Diego CA 92104

Year(s)	#	Occupant, Owner, and
	Years	Occupation
1966 – 1971	6	Kaufman James A Phys Storey Clifford F Phys
1972	1	Glass James L Phys Kaufman James A Phys Storey Clifford F Phys
1973	1	Glass James L Phys Kaufman James A Phys
1974 - 1975	2	Glass James L Phys Kaufman James A Phys Thoracic Surgery Associates of San Diego Inc. phys
1976 - 1977	2	Fahlsing Walter C phys Jorgensen Morton C phys
1978 - 1979	2	Fahlsing Walter C phys Jorgensen Morton C phys Hillenbrand Carl M phys
1980	1	Fahlsing Walter C phys Jorgensen Morton C phys

## San Diego City Directory Unit 221 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1977	12	Freeman Gordon R Phys
1978 – 1979	2	Grant James A phys Rauner Thos A phys
1980	1	Vacant

Freeman Gordon R phys = 12 years

Kaufman James A phys = 6 years Storey Clifford F phys = 6 years

## San Diego City Directory Unit 215 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1968	3	Maile Earle J Phys
1969 – 1973	5	Franklin Philip R Phys
1974 - 1979	6	Veinbergs R Julio phys
1980	1	Vacant

Franklin Philip R phys = 5 years Veinbergs R Julio phys = 6 years

## San Diego City Directory Unit 229 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Froeb Herman F Phys
1967	1	Froeb Herman F Phys Laughlin Thos T Phys
968 – 1971	4	Braun Richd M Phys
1972	1	Bradley Paul H Phys Braun Richd M Phys
973 – 1974	2	Bradley Paul H Phys Braun Richd M Phys Subin David M phys
975-1979	5	Goodman John D phys Denison Edw K phys
1980	1	Vacant

Goodman John D phys = 5 years

## San Diego City Directory Unit 241 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1972	7	Radiology Medical Group
1973	1	Vacant
1974 - 1980	7	Radiology Medical Group Inc. phys

Radiology Medical Group = 14 years

## San Diego City Directory Unit 315 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation	
1966 - 1980	15	Sabey Andrew C Phys	

Sabey Andrew C phys = 15 years

## San Diego City Directory Unit 301 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1973	8	Flick Arnold L Phys
1974	1	Vacant Morse John R phys
1975-1980	6	Vacant

Flick Arnold L phys = 8 years

## San Diego City Directory Unit 401 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Smith Walter M Phys
1967 – 1971	5	Masliyah Noory H Phys Smith Walter M Phys
1972 - 1973	2	Vacant
1974 – 1980	8	Martin Smith Crippen & Fahlsing

Masliyah Noory H Phys = 5 years Smith Walter M phys = 5 years Martin Smith Crippen & Fahlsing = 8 years

#### San Diego City Directory Unit 311 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 - 1980	15	Gibbings R J Phys

Gibbings R J Phys = 15 years

#### San Diego City Directory Unit 411 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1975	10	Barba Manuel Phys
1976 - 1980	5	Bouterie Ronald L Phys Trummer Max J phys

Barba Manuel Phys = 10 years Bouterie Ronald L Phys = 5 years Trummer Max J phys = 5 years

## A P P E N D I X B Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center)

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#### B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

#### San Diego City Directory Unit 435 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1976	11	Sandell James E Pys
1977	1	Peters John W Phys Egan Michael D phys
1978 – 1979	2	Von Herzen Josephine L phys
1980	1	Vacant

Sandell James E Pys = 11 years

#### San Diego City Directory Unit 511 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1968	3	Slate Thos A Phys MC Clure Bruce B Phys Kennedy Clyde R Phys
1969 – 1971	3	Slate Thos A Phys MC Clure Bruce B Phys
1972 – 1977	6	Giarratano Robt C Phys Slate Thos A Phys MC Clure Bruce B Phys
1978 – 1979	2	Giarratano Robt C Phys Slate Thos A Phys
1980	1	Giarratano Robt C Phys

Giarratano Robt C Phys = 6 years Slate Thos A Phys = 6 years MC Clure Bruce B Phys = 6 years

#### San Diego City Directory Unit 441 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Hoffman Ralph L Phys MC Iver Robt S Phys
1967 – 1971	5	Hoffman Ralph L Phys
1972 - 1980	9	Sandell James E Phys

Hoffman Ralph L Phys = 5 years Sandell James E Phys = 9 years

#### San Diego City Directory Unit 521 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Dickson J Warner Phys Henderson Wayde B Phys
1967 - 1973	7	Dickson J Warner Phys Fahlsing Edwin L Phys Henderson Wayde B Phys Dickson J Warner Phys
1974	1	Dickson J Warner Phys Henderson Wayde B Phys Gordon Robt T Phys
1975 – 1976	2	Fiorica Benj P Phys Dickson J Warner Phys Gordon Robt T Phys
1977	1	Fiorica Benj P Phys Dickson J Warner Phys Gordon Robt T Phys Lapp L Dale Phys
1978 – 1979	2	Peters John W Phys Egan Michl D Phys
1980	1	Peters John W Phys Egan Michl D Phys Riley Tumothy B Phys

Dickson J Warner Phys = 7 years Fahlsing Edwin L Phys = 7 years Henderson Wayde B Phys = 7 years Dickson J Warner Phys = 7 years

#### B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

#### San Diego City Directory Unit 529 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1968	3	Crippen Kenneth D Phys Martin Purvis L Phys Smith Steward H Phys
1969 – 1971	3	Crippen Kenneth D Phys Martin Purvis L Phys Peters John W Phys
1972 – 1973	2	Crippen Kenneth D Phys Martin Purvis L Phys Fahlsing Edwin L Phys Smith Stewart H Phys
1975	1	Crippen Kenneth D Phys Martin Purvis L Phys Fahlsing Edwin L Phys
1976	1	Crippen Kenneth D Phys Fahlsing Edwin L Phys
1977 - 1980	4	Crippen Kenneth D Phys Martin Ourvis L phys

#### San Diego City Directory Unit 541 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 - 1975	11	Burnier Andrew M Phys Mannino Paul P Phys
1976	1	Mannino Paul P Phys
1977 – 1980	4	Burnier Andrew M Phys

Burnier Andrew M Phys = 11 years Mannino Paul P Phys = 11 years

#### San Diego City Directory Unit 535 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	6	Endocrine Clinic Med Clinic
1972 - 1980	9	Vacant

Endocrine Clinic Med Clinic = 6 years

#### San Diego City Directory Unit 601 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation	
1966 - 1980	15	Simmons Eunice M Phys	

Simmons Eunice M Phys = 15 years

#### B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

#### San Diego City Directory Unit 609 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	6	Assan Sam Phys
1972 - 1973	2	Neurosurgical Medical Clinic
1974	1	Andrews Robt F phys
1975	1	Neurosurgical Medical Clinic
1976	1	Neurosurgical Medical Clinic Assam Sam phys Waltz Thos A phys
1977	1	Neurosurgical Medical Clinic Vacant Waltz Thos A phys Ott Kenneth H phys
1978 - 1980	3	Vacant

#### San Diego City Directory Unit 621 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1973	8	Maurer Esther L Phys
1974	1	Franklin Philip R phys
1975	1	Franklin Philip R phys Phillips WM L optn Pulaski James phys
1976 - 1980	5	Franklin Philip R phys

Maurer Esther L Phys = 8 years

Assan Sam Phys = 6 years

#### San Diego City Directory Unit 611 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Kelley Donald T Phys Kinports Edw B Phys
1967	1	Kelley Donald T Phys Kinports Edw B Phys Pedace Francis J Phys
1968	1	Kelley Donald T Phys Kinports Edw B Phys
1969 - 1971	3	Vacant
1972	1	Elrick Harold Phys
1973 - 1980	8	Vacant

### SAN DIEGO CITY DIRECTORY Unit 625

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	5	De Riemer Robt H Phys Gilman Janet S Phys Gilman Richd A Phys
1972 – 1973	2	Bouterie Ronald L Phys Masliyah Noory H Phys
1974 – 1975	2	Masliyah Noory H Phys
1976 – 1977	2	Vacant
1978 - 1980	3	Masliyah Noory H phys

De Riemer Robt H Phys = 8 years Gilman Janet S Phys = 8 years Gilman Richd A Phys = 8 years

Property Name: \_\_\_\_<u>550 Washington Street</u> (Hillcrest North Medical Center) Page 54 of 81

B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

#### SAN DIEGO CITY DIRECTORY Unit 629 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Gaelen Leslie H Phys
1967 - 1973	7	E E G Laboratory Gaelen Leslie H Phys Russell Allen J
1974 – 1975	2	E E G Laboratory Gaelen Leslie H Phys
1976 – 1979	4	Haynes Vital E Jr phys
1980	1	Weis Andrew J phys

E E G Laboratory = 7 years Gaelen Leslie H Phys = 7 years Russell Allen J = 7 years

#### SAN DIEGO CITY DIRECTORY Unit 641 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Billing Ervin L Phys

Billing Ervin L Phys = 15 years

#### SAN DIEGO CITY DIRECTORY Unit 635 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1967	2	Barron David W Phys Brickman J Brand Phys
1968 - 1971	4	Barron David W Phys Schorr Martin M Physch
1972	1	Barron David W Phys
1973	1	Barron David W Phys Marks Alvin physco therapist
1974 – 1975	2	Barron David W Phys
1976	1	Vacant
1977	1	Masliyah Noory H phys
1978 – 1979	2	Doctor Personnel Agcy
1980	1	Doctor Personnel Agcy Quinci Judith Professional ofc counselor

#### SAN DIEGO CITY DIRECTORY Unit 701

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Meyer Paul G Phys

Meyer Paul G Phys = 15 years

#### B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

#### SAN DIEGO CITY DIRECTORY Unit 711

#### 550 Washington Street, San Diego CA 92104

Year(s)	#	Occupant, Owner, and	
	Years	Occupation	
1966 - 1967	2	Marsden Charles S Phys	
1968	1	Vacant	
1969-1980	12	Yancey WM A Phys	

Yancey WM A Phys = 12 years

#### SAN DIEGO CITY DIRECTORY Unit 721

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 - 1971	5	Roberts Harry L Phys
1972	1	Roberts Harry L Phys Baronafsky Ivan D phys
1973 – 1975	2	Baronafsky Ivan D phys
1976	1	Vacant
1977-1980	4	Am Assn of Sex Educators Counselors & Therapists

Roberts Harry L Phys = 6 years

#### SAN DIEGO CITY DIRECTORY Unit 715

550 Washington Street, San Diego CA 92104				
Year(s)	# Years	Occupant, Owner, and Occupation		
1966 - 1980	15	Johnson Walter L Phys		

Johnson Walter L Phys = 15 years

#### SAN DIEGO CITY DIRECTORY Unit 725

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1967	2	Carson Kath F Phys
1968 – 1971	3	Carson Kath F Phys MC Daniel James W Phys
1972	1	Brooks Donna L Phys Carson Kath F Phys MC Daniel James W Phys
1973	1	Vacant
1974 – 1975	2	Carson Kath F phys
1976	1	Mills Marion C phys
1977	1	Silverman H arth phys
1978 - 1979	2	Arthritis Medical Group Silverman H Arth phys Kaplan Roy A phys
1980	1	Vacant

Property Name: \_\_\_\_<u>550 Washington Street (Hillcrest North Medical Center)</u> Page 56 of 81

B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

## SAN DIEGO CITY DIRECTORY Unit 729

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Hillcrest Vision Center Messerschmidt John C Optom
1967	1	Hillcrest Vision Center Messerschmidt John C Optom Messerschmidt Burt & Associates Optom
1968-1980	13	No Suite Listed

#### SAN DIEGO CITY DIRECTORY Unit 741

#### 550 Washington Street, San Diego CA 92104

Year(s)	#	Occupant, Owner, and
	Years	Occupation
1966	1	Fleischaker Robt J Phys
1967	1	Vacant
1968-1980	13	No Suite Listed

### SAN DIEGO CITY DIRECTORY Unit 735

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Alexander John T Phys Leverich Edw B Phys
1967	1	Alexander John T Phys
1968	1	Alexander John T Phys Kruggel John Phys
1969-1971	3	Alexander John T Phys Kruggel John Phys
1972	1	Alexander John T Phys
1973	1	Hood Peter M phys
1974-1980	7	Brooks Donna L phys

Brooks Donna L phys = 7 years

#### SAN DIEGO CITY DIRECTORY Unit 801

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Bridge Robt A Phys
1967 - 1972	6	Bridge Robt A Phys Roe Craig W Phys
1973	1	Hillcrest Urological Medical Group Bridge Robt A C phys Roe Craig W phys
1974 – 1976	3	Hillcrest Urological Medical Group Bridge Robt A C phys Roe Craig W phys Kessler Warren phys
1977	1	Hillcrest Urological Medical Group Bridge Robt A C phys Roe Craig W phys Vacant
1978 - 1980	3	Hillcrest Urological Medical Group Bridge Robt A C phys Kessler Warren O phys Roe Craig W phys

Bridge Robt A Phys = 6 years Roe Craig W Phys = 6 years

Property Name: \_\_\_\_<u>550 Washington Street</u> (Hillcrest North Medical Center) Page 57 of 81

B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

#### SAN DIEGO CITY DIRECTORY Unit 811 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Garrie Sander Phys Bridge Robt A Phys
1967	1	Barsky Morley Phys Hoyt C Jay Phys
1968-1980	13	No suite listed

#### SAN DIEGO CITY DIRECTORY Unit 831 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 - 1971	6	Gynob Dep. Of Thermogr
1972 – 1980	9	Vacant

Gynob Dep. Of Thermogr = 9 years

#### SAN DIEGO CITY DIRECTORY Unit 821 550 Washington Street, San Diego CA 92104

#### Year(s) # Occupant, Owner, and Occupation Years 1966 - 1967 2 Cyto Biological Lab Hillcrest North Medical Center Blds Ofc 1968 - 1971 Cyto Biological Lab 4 Hillcrest North Medical Center Blds Ofc Gynob Inc Clinic Laby 1972 1 Cyto Biological Lab Fifth Avenue Medical Group Inc Hillcrest North Medical Center Blds Ofc Vacant 1973 1 Cyto Biological Lab Gynob Inc clinical laby Hillcrest North Medical Center Bldg Ofc Roberts Harry L phys Buncher Leslie phys 1974 Roberts Harry L phys 1 Buncher Leslie phys 1976-1980 UCSD Faculty Clinic med 5 Clinic

### SAN DIEGO CITY DIRECTORY

#### Unit 841 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation Haynes Vital E Phys Talbot Blake S Phys					
1966 - 1967	2						
1968 – 1974	7	Haynes Vital E Phys Masters Robt H Phys Talbot Blake S Phys					
1975	1	Roberts Harry L phys Buncher Leslie phys Haynes Vital E Phys					
1976 – 1977	2	Vacant					
1978 - 1979	2	Feren Alan P phys					
1980	1	Feren Alan P phys Mc Cormick Sue A transcriptionist					

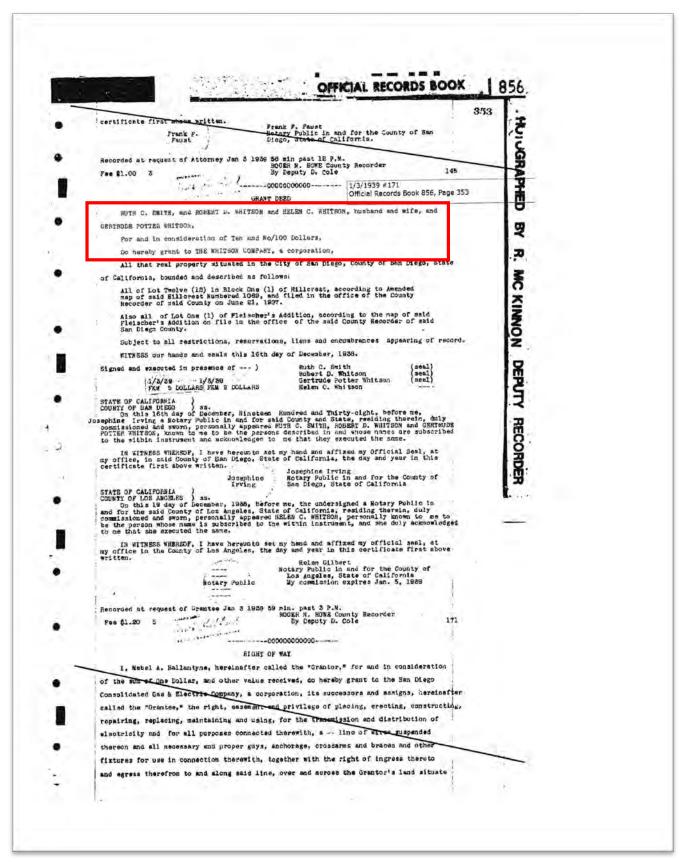
Haynes Vital E Phys = 7 years Masters Robt H Phys = 7 years Talbot Blake S Phys = 7 years

UCSD Faculty Clinic med clinic = 5 years

Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center)

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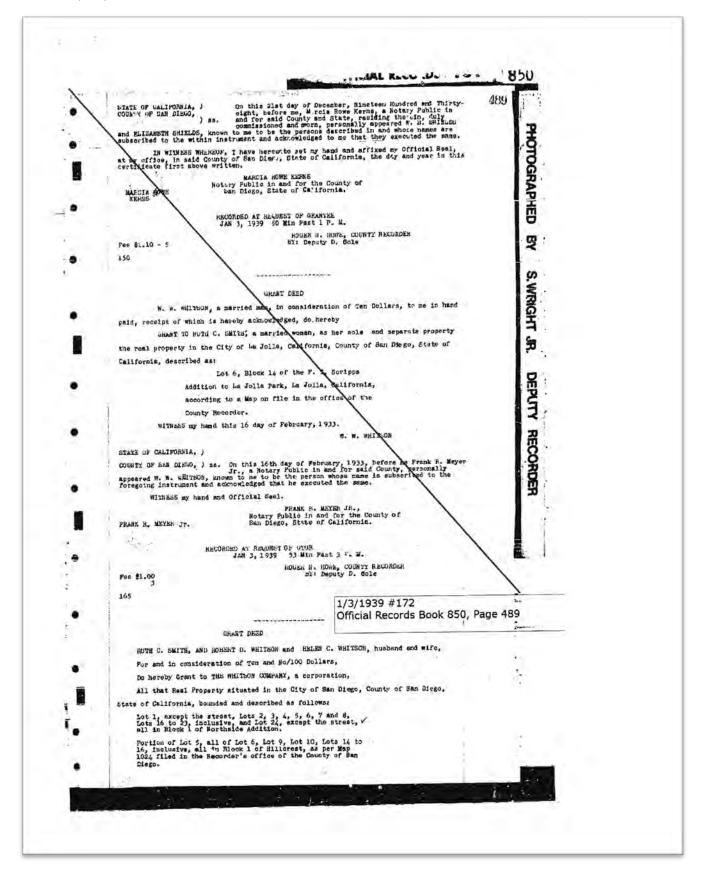
B.3 Property Deeds: Deed from date of construction



Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center)

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B.3 Property Deeds: Deed from date of construction



Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center)

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## B.3 Property Deeds: Deed from date of construction

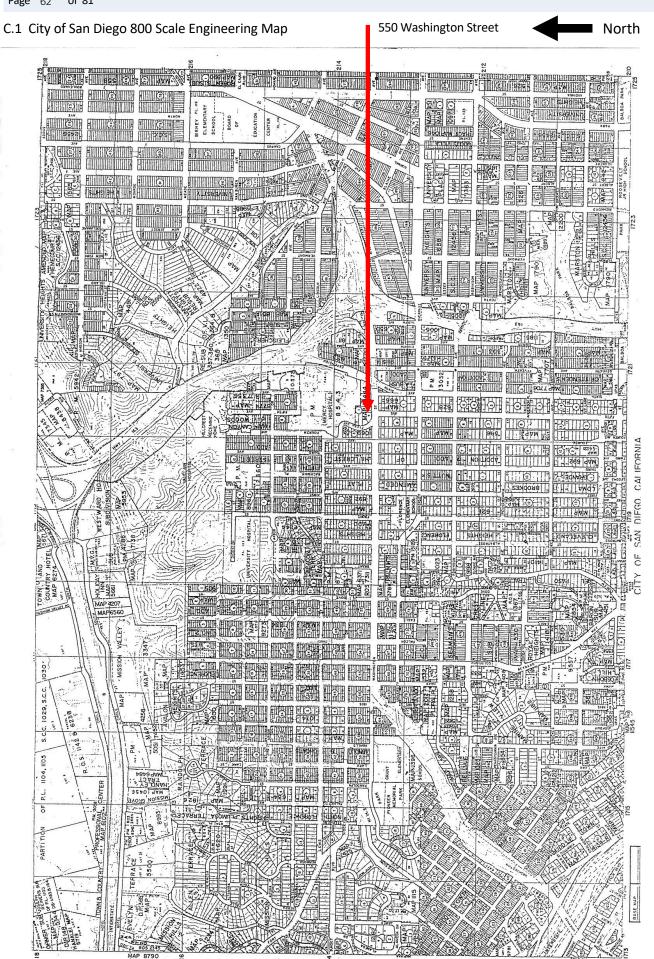
record. 10.0011485 (10.0011485 13.339 1.539 755 812855 our hands and seals	The by the City of Ban Ungo Council or by weithned of o id Sixth Street lying and be tid dicth Street lying and the tid of the County Read. lition; rest of Lot "G", the East 1/ Rorth 35 (set of Lot "b" in set. "" Lot 13, Slock 1 of Hill scorder's Office of the Coun s, reservations, licem and so	ing between ddision to the 2 of Lot Block 12 orest, ss ty of San Diego,	PHOTOGRAPHE
Street and hereisfore stands by resolution of its Common and being that portion of an Lot 16, Block 1, of Hilleros said city and extending Nor Lots 1 to 6 of 0. A. Bush Ad The gast 1/2 of the South 5. "D", and the Bast 1/2 of the South 5. "D", and the Bast 1/2 of the of Norton's Addition. Lot 17 in Block 8 of filler East 48 Feet or Lot 11, Lot per Map 1069 filled in the fa- Nubject to mil restriction record. 10, Commany 10, Commany Fills 200	The by the City of Ban Disco Council or by weithned of o id Sixth Street lying and be tig dict of Pisitheris & theard to the County Road. lition; rest of Lot "C", the East 1/ Rorth 35 feet of Lot "2" in set. "" Lot 13, Block 1 of Hill seconder's Office of the Coun s, reservations, little and su	ing between ddision to the 2 of Lot Block 12 orest, ss ty of San Diego,	PHOTOGRAPHE
The East 1/2 of the South 5 "D", and the East 1/2 of the of Norton's Addition. Lot 17 in Block 8 of Hiller East 48 feet of Lot 11, Lot per Map 1069 filed in the R Hubject to all restriction record. 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS 10.DOLLARIS	rest of Lot "C", the East 1/ Rorth 35 feet of Lot "2" in est. "f" Lot 13, Block 1 of Hill scorder's Office of the Coun s, reservations, licom and so	orest, an ty of San Diego,	TOGRAPHE
of Norton's Andikion. Lot 17 in Block & of Siller East 43 feet of Lot 11, Lot per Map 1069 filed in the R Hubject to all restriction record. 10.0044845 10,0044845 13/39 13/39 File WITHELT our hands and seals	set. ** Lot 13, Block 1 of Hill scorder's Office of the Coun s, reservations, licps and s	orest, an ty of San Diego,	GRAPHE
East 48 Feet of Lot 11, Lot per Map 1069 filed in the R Hubject to mil restriction record. 10.DOLLAND 10.DOLLAND 13/39 13/39 File WITHESt our hands and semis	"Y" Lot 13, Block 1 of Hill scorder's Office of the Coun s, reservations, licon and so		• *
Nubject to mil restriction record. 10.00000000 10.0000000 13/3/39 1/3/39 Fish 2000 WITHELS our hands and seals	s, reservations, licos and w		
10.001LARS 10.001LARS 10.001LARS 1/3/39 1/3/39 Fish 2 EM WITHESS our hands and seals	Thirty Dollars		Ο.
1/3/39 1/3/39 File 2 East WITHESS our hands and seals	489029	Martin Matter	2
	\$30. 1/3/39 Frai	1/3/39 #14	50
stands and submitted	this 16th day of December, 1	938.	1.S
in presence of	NUTH C. SEITH (SHAL) SCHERT D. WHITSON (SHAL) (ELEM C. WHITSON (SHAL)		WRIGHT
STATE OF CALIFORNIA, ) COUNTY OF SAN DIEGO, ) ss. On this 1 before as	6th day of Secenber, Minates Josephine Irving, & Notery	en Sundred and Thirty-eight Public in and for said	5
before an County at porsonally appeared FUHH C. SMITH and descricto in and whose names are sub me that they executed the same.	cribed to the within instru	petri win worodwiesfen in	• 8
IN WITHLDS WHERLOF, I hav at my office, in maid County of San I certificate first above written.	We hereunto set my hand and a Siego, State of California, i NUSEPHINE INVIEG	affixed my Official Seel, the day and year in this	DEPUTY
JOSEPHINE Notary Public JOSEPHINE Sen Diego, INVISG	in and for the County of State of California		•
STATE (E GALIFORMIA, ) DOUBTY UN LOS ABUGLES, ) 53. On thi s Notar Stute of California, residing therein HELSO C. WHITDOM, personally known: within instrument and.he duly acthord	is 19 day of December, 1938, y fublic in and for the said , duly commissioned and aron o me to be the person whose	before me, the undersigned, i County of Los Argeles. rs, personally speared name is subscribed to the	FIECORDER
Within instrument and ne duly accord IN WITHENS REALOF, I have h my office in the County of Los Angels written.	ersunto set my hund and affi	xed my official seal, at	
Notary Publ	LES GILBERT ic in and for the County of goles, State of California.		
Los Angelos By com	ission expires Jan 5,1939		•1.3
HECORDED AT PAS	UEST OF GRANTER		
· · · · · · · · · · · · · · · · · · ·	Win Past 4 P. M.		10
	R N. HOWE, COUNTY RECORDER		•
472			
	***********		
	BY THESE PRISENT: Principal, and CUMMERCIAL C	ABUALT: INCOMMANCE COMPANY	
a composition duly organized and si duly authori i and loansed to the sursty business in the State of dal unto the State of California, in th			
(\$15,000.00) dollars, lawful money of	ine United States of Americ	ta, to be paid to the said.	
State of California, or it's assigns,		and the second	
durselves, our heirs, executors, adm firmly by these presents.	Anaperagors, successors and	enorges lotticil ene enverals	
	n Principal, Albert C. Mayer	was on the 3rd day of	I

## Maps

- C.1 City of San Diego 800 Scale Engineering Map
- C.2 USGS Map (2015)
- C.3 Original Subdivision map
- C.4 Sanborn Fire Insurance Maps

Property Name: 550 Washington Street (Hillcrest North Medical Center)

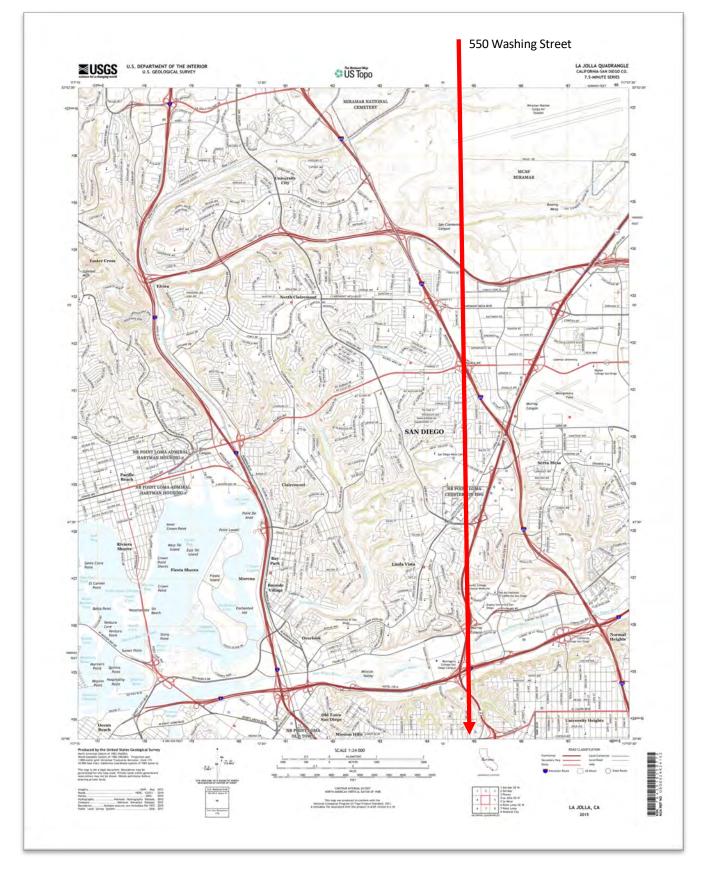
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Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center)

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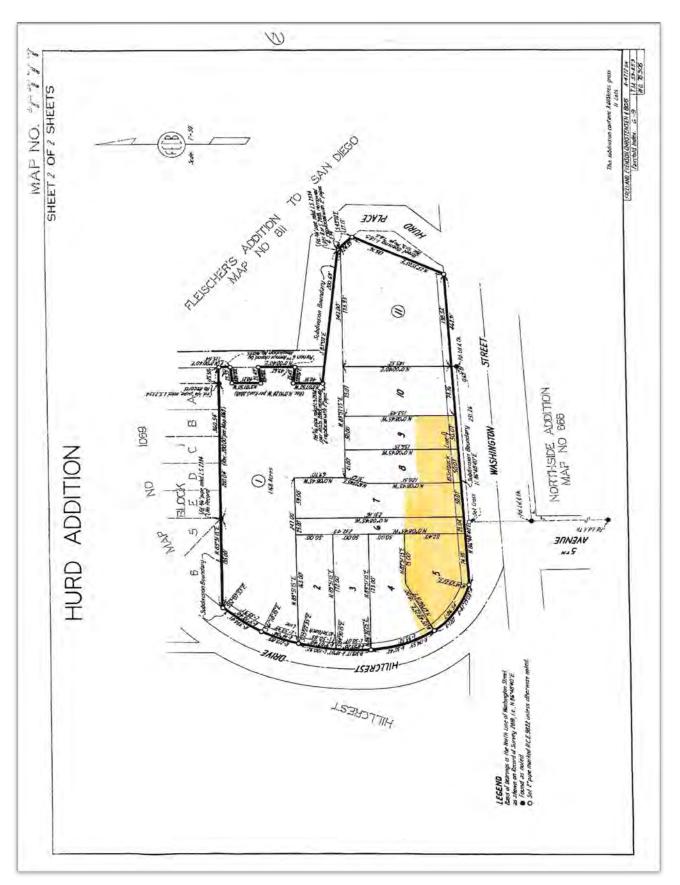
### C.2 USGS Map – 2015 La Jolla Quadrangle, 7.5 Minute



Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 64 of 81

#### C.3 Original Subdivision map

Address

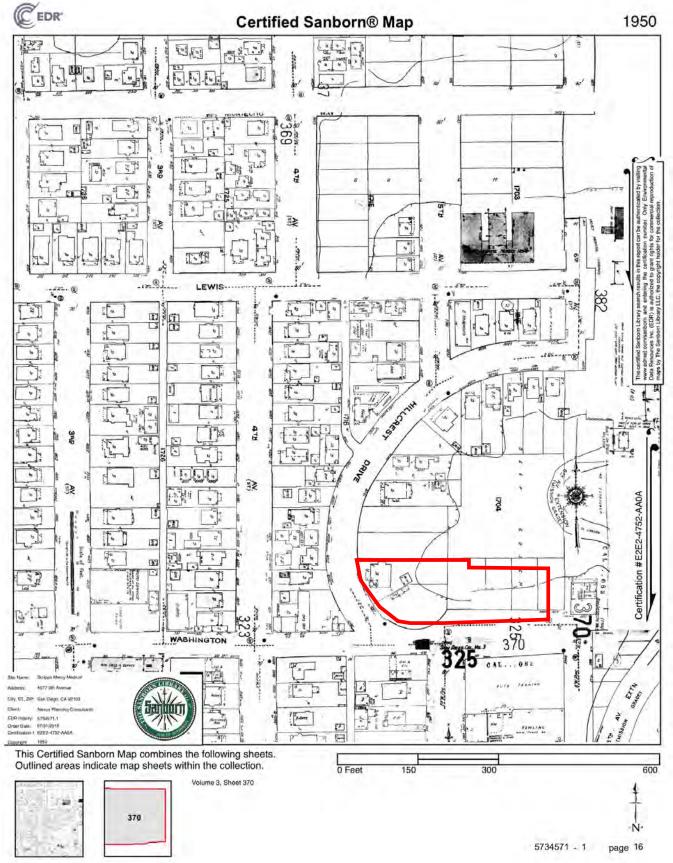


#### C.4 Sanborn Fire Insurance Maps - 1921



5734571 - 1 page 17

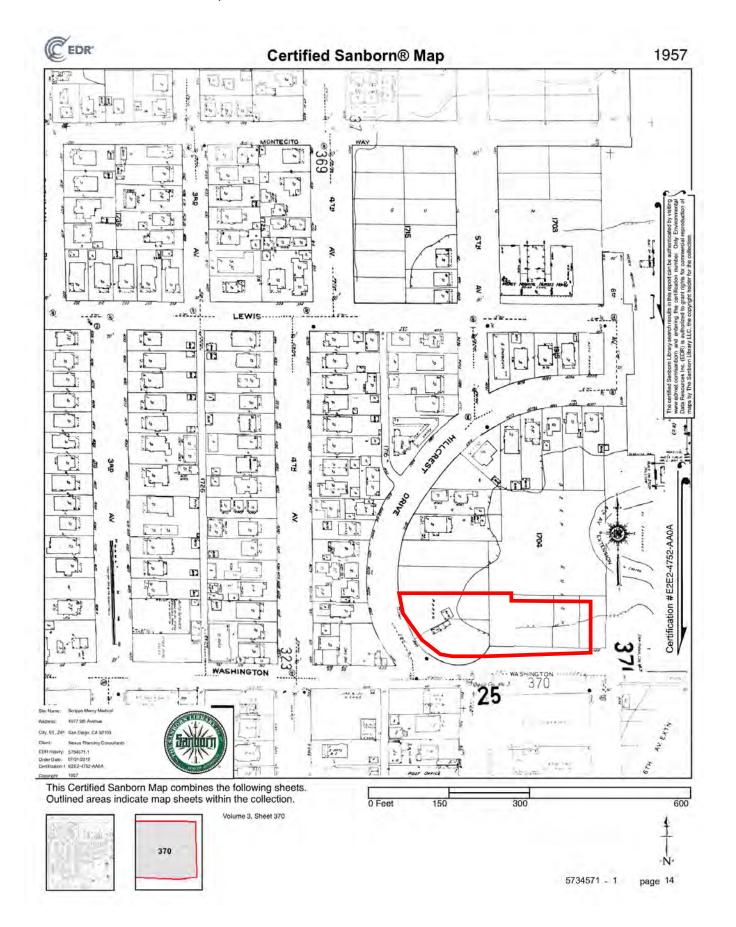
Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 66 of 81



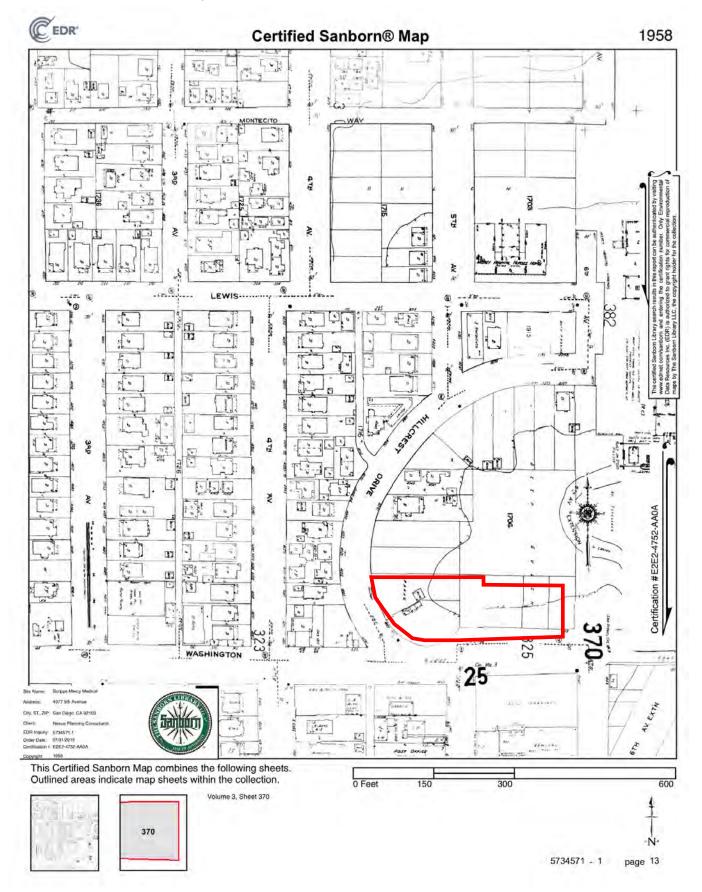
Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 67 of 81



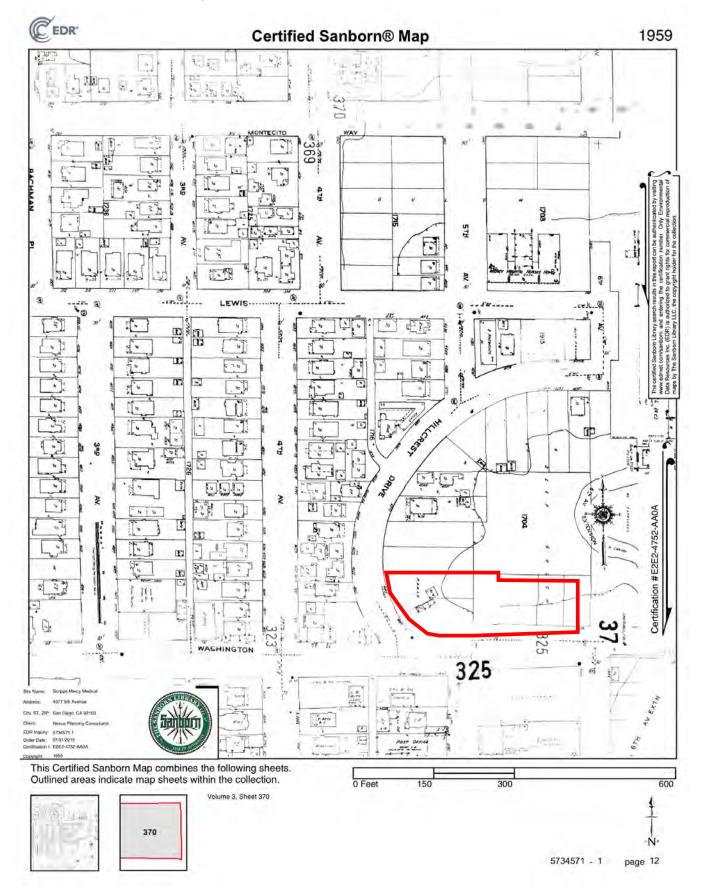
APPENDIXC Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 68 of 81



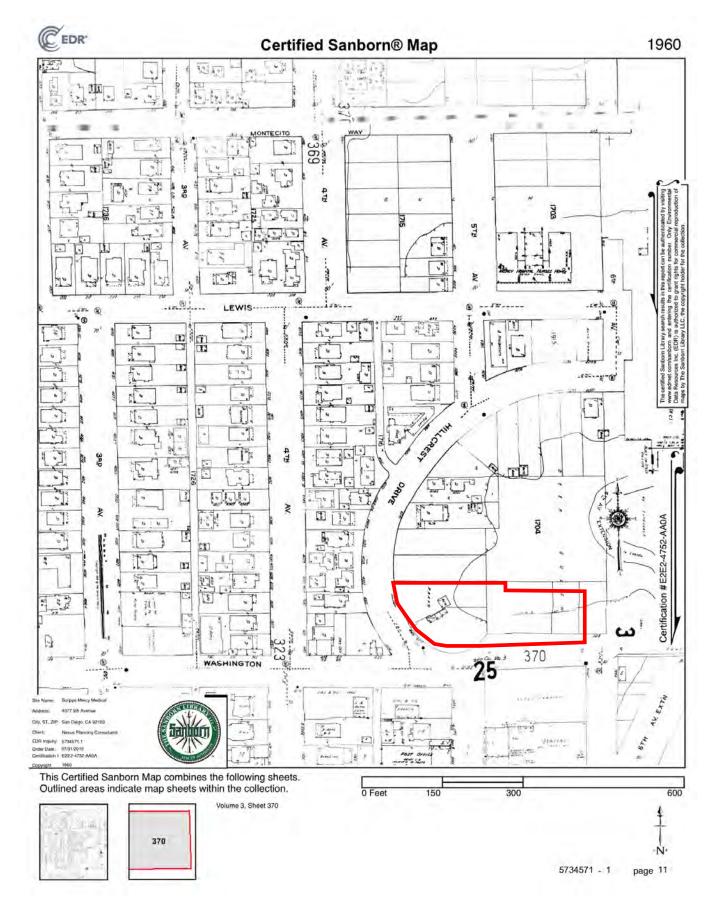
Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center) Page 69 of 81



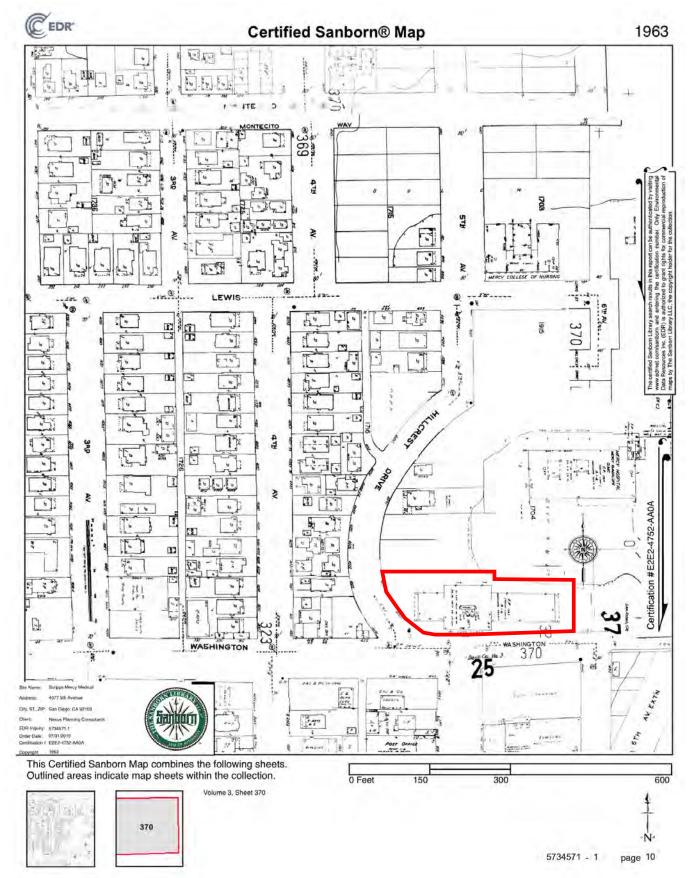
Property Name: \_\_\_\_<u>550 Washington Street</u> (Hillcrest North Medical Center) Page 70 of 81



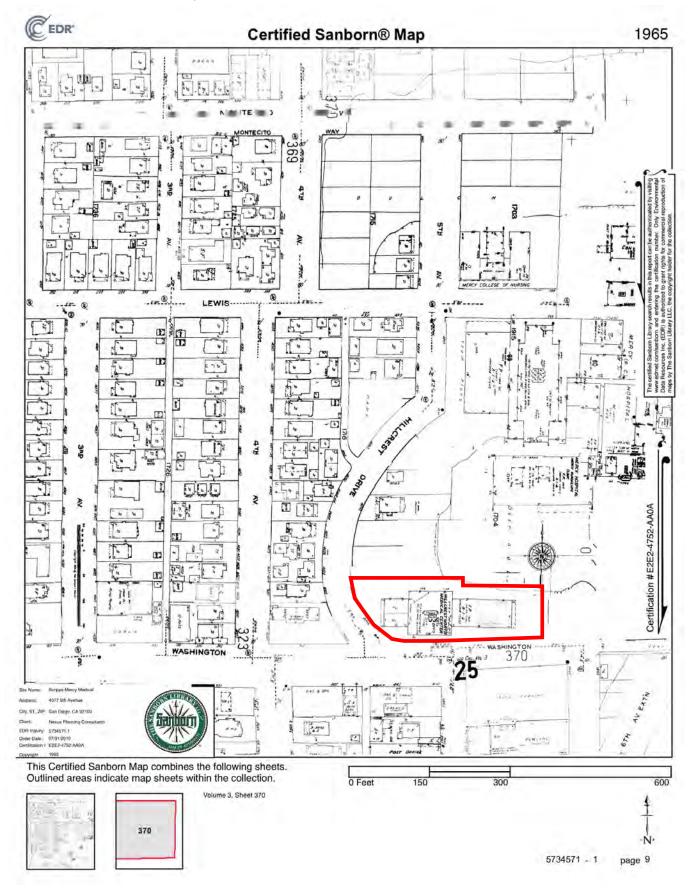
Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 71 of 81



Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center) Page 72 of 81

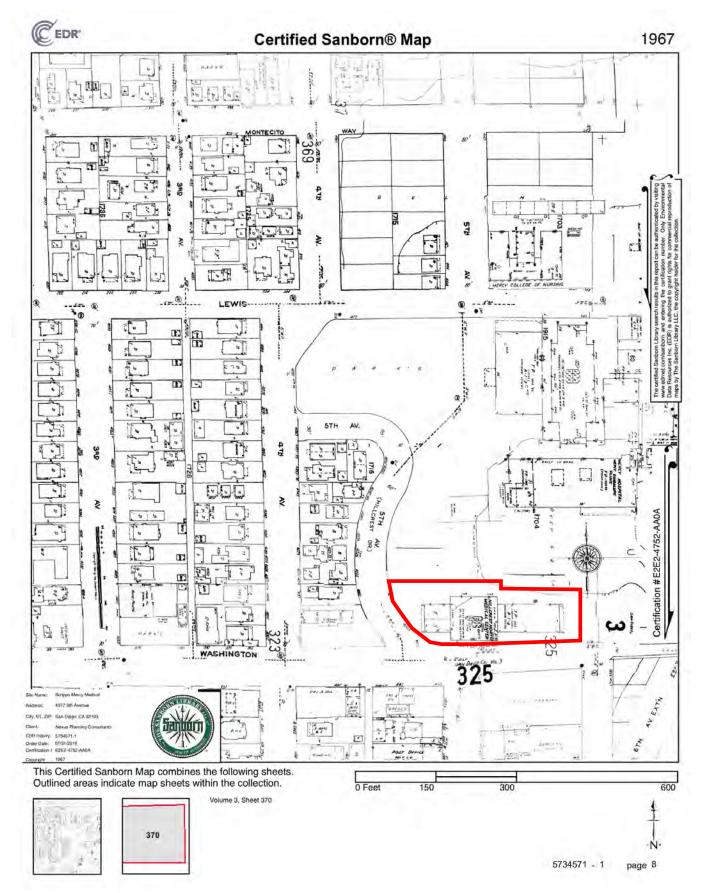


Property Name: \_\_\_\_550 Washington Street (Hillcrest North Medical Center) Page 73 of 81

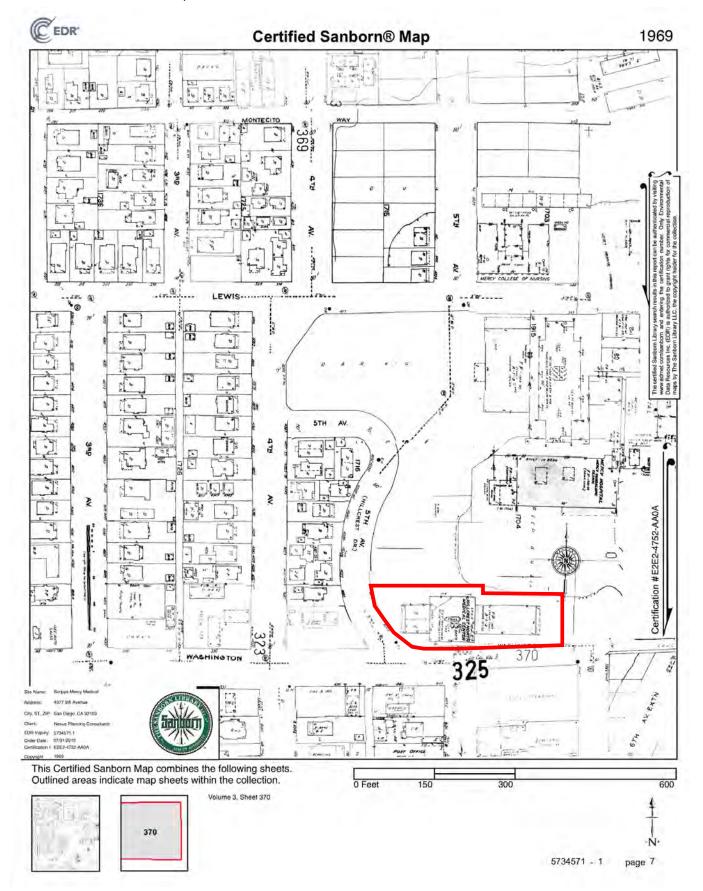


Property Name: \_\_\_\_\_\_550 Washington Street (Hillcrest North Medical Center)

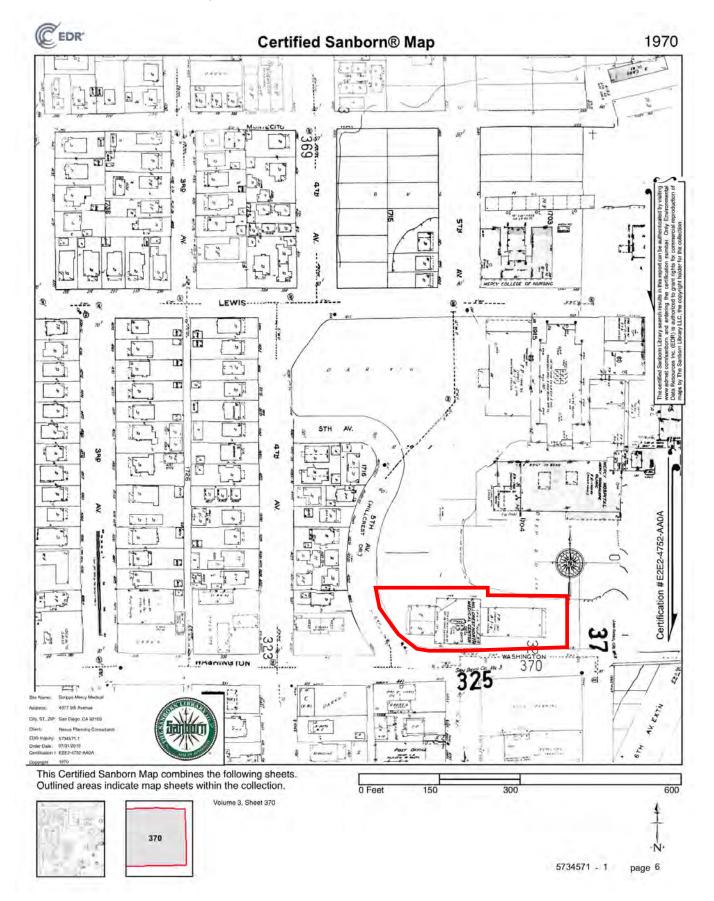
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Property Name: <u>550 Washington Street</u> (Hillcrest North Medical Center) Page 75 of 81



Property Name: \_\_\_\_<u>550 Washington Street</u> (Hillcrest North Medical Center) Page 76 of 81



## APPENDIX D

**DPR FORMS** 

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION **PRIMARY RECORD** 

Devilore

Primary # HRI #

Trinomial NRHP Status Code 6Z Other Listings

Code	V	Reviewer			Date								
Page	1 <b>of</b>	3 *Resource	Name o	or #:	550 Washin	igton St	reet						
1. Othe	er Identifie	er: n/a											
*P2.Loca	ation:	Not for Public	cation	<u>X</u>	Unrestricte	ed .							
*a.	County	San Diego	c		and (P	2c, P2e	e, and	P2b or P2d.	Atta	ich a L	.ocatio	on Map as ne	ecessary.)
*b.	USGS 7.5	<b>' Quad</b> La Jolla	Date	2015	5 <b>T</b>	; R	;	of	of	Sec	;	B.M.	
C.	Address:	550 Washii	ngton St	reet	City: San Die	go		Zip:	9210	3			
d.	UTM: (Giv	ve more than o	ne for la	rge and	d/or linear re	esource	s) Zon	e,	ml	E/ _		mN	
e.	Other Loo	ational Data: (	e.g., par	cel #, c	directions to	resour	ce, ele	evation, dec	imal d	legree	s, etc	., as approp	riate)
				4 - 0		0.00	c	<u> </u>			-		

APN 444-533-25, Parcel 2 of Parcel Map No. 15947 Filed in the Office of the County of San Diego Recorder of San Diego County, January 11, 1990, in the City of San Diego, in the county of San Diego, State of California, as Further Described in Various Documents of Record.

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

550 Washington Street is an eight-story medical office building located in the Medical Complex neighborhood of Hillcrest in the Uptown Community Plan Area just north of Washington Street, west of Interstate 163 and east of 5<sup>th</sup> Avenue. It is part of the Scripps Mercy Medical campus located north and east. It was permitted for construction in 1961 and construction was complete in 1964. It has a rectangular/symmetrical tower and asymmetrical base that encloses the ground floor and extends to the east and west sides of the tower. Its initial architectural style included characteristics and features of both the International and Brutalist architectural styles per the San Diego Modernism Context Statement. It has a concrete structure, concrete frame, cast-concrete panels and aluminum tracery. 550 Washington Street fronts onto Washington Street and is surrounded by commercial and medical office buildings in a mix of architectural styles. It sits at street level with a shallow set-back from Washington Street



and a surface parking lot along its north side.

\*P3b. Resource Attributes: (List attributes and codes) HP2 \*P4. Resources Present: X Building Structure Object Site District Element of District Other (Isolates, etc.) P5b. Description of Photo: (view, date, accession #) Front (south) September 2019 \*P6. Date Constructed/Age and Source: 1964 X Historic Prehistoric Both \*P7. Owner and Address: Scripps Health 10140 Campus Point Ct. San Diego, CA 92121 \*P8. Recorded by: (Name, affiliation, and address) Jennifer Ayala, RA LEED AP | Nexus Planning & Research and Dolores Mellon, Historian | Mellon Consulting \*P9. Date Recorded: September 2019 \*P10. Survey Type: (Describe) Intensive \*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

\*Attachments: NONE Location Map <u>X</u> Continuation Sheet <u>X</u> Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record <u>X</u> Other (List): Attachments A-F 
 State of California
 The Resources Agency
 Primary #

 DEPARTMENT OF PARKS AND RECREATION
 HRI#

 BUILDING, STRUCTURE, AND OBJECT RECORD

\*Resource Name or # 550 Washington Street

\*NRHP Status Code

бZ

#### Page 2 of 3

- B1. Historic Name: Hillcrest North Medical Building and Whitson Company Medical Office Building
- B2. Common Name: 550 Washington Street
- **B3.** Original Use: <u>Commercial/medical-office</u>
- **B4. Present Use:** Commercial/medical-office

**\*B5.** Architectural Style: International Style and Brutalism per the San Diego Modernism Context Statement (New Formalism)

\*B6. Construction History: (Construction date, alterations, and date of alterations)

550 Washington Street's construction was completed in 1964. Significant permitted alterations in 1978, 1991, 2003, and 2004 include the removal of iconic landscape design including four reflecting pools and architectural alterations including the enclosure of the iconic open-air pavilion, enclosure of the slender rectangular columns with circular stucco wraps, the addition of an outpatient surgical unit encroaching into the formerly open-air pavilion, and a landscape and facade aesthetic treatment on and around the one-story wings which added stucco elements to each elevation and further enclosed the open-air ground floor plaza.

\*B7. Moved? X No Yes Unknown Date: Original Location: Yes

\*B8. Related Features: B9a. Architect: Deems Martin and Associates b. Builder: Peter Kiewit Construction Co.

\*B10. Significance: <u>None</u> Area: <u>n/a</u> Period of Significance <u>San Diego Modernism Context Statement</u>: *Postwar Development, Suburbanization, the Automobile & Modernism (1948-1970)* Property Type <u>Commercial/Med office</u> Applicable Criteria: <u>None</u> (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

See Continuation Sheets for evaluation under the Criteria.

B11. Additional Resource Attributes: (List attributes and codes) None

\*B12. References: <u>Published authorities on Vernacular Architecture;</u> City Building Records; County Assessor's records; City Water and Sewer Records; San Diego City Directories;

the Union Tribune archives, and others, see continuation sheets.

**B13. Remarks:** Sketch Not-to-Scale, nearest cross streets are: Fifth Avenue and Interstate 163

\*B14. Evaluator: <u>Nexus Planning & Research: J Ayala, RA, LEED AP</u> \*Date of Evaluation: <u>January 2020</u>



(This space reserved for official comments.)

State of California Natural Resources Agency DEPARTMENT OF PARKS AND RECREATION

## CONTINUATION SHEET

Property Name: 550 Washington Street Page 3 of 3

#### Significance

550 Washington Street (also known as Hillcrest North Medical Building and Whitson Company Medical Office Building) was assessed under The Historical Resources Guidelines of the City of San Diego's Land Development Manual's Criteria for its potential historical significance. 550 Washington Street is not significant with respect to any form of historical development and does not qualify under HRB Criterion A (Community Development). 550 Washington Street is not identified with persons or events significant in local, state or national history and does not qualify under HRB Criterion B (Events/Person). 550 Washington Street originally embodied characteristics and features of modern San Diego architectural styles: International Style and Brutalist, but permitted additions made significant alterations to its primary features and included changes to its composition, massing, form, materials and overall feeling to the effect that it no longer embodies essential characteristics and features of its original modern architectural style. Therefore, 550 Washington Street does not qualify under HRB Criterion C (Architecture) as representative of a recognized architectural style (Architecture). 550 Washington Street's architect was Deems Martin and Associates; with William "Bill" Lewis as the project's designer. Mr. Lewis is considered a Master Architect in the City of San Diego; however, based upon significant alterations to the subject property, including the loss of the ground floor's massing, spatial relationships, proportions, windows, doors, materials, and ornamentation, it is no longer a representative example of Mr. Lewis' work. 550 Washington Street's builder was Peter Kiewit Construction Co.; they are not a Master Builder in the City of San Diego. Therefore, 550 Washington Street does not qualify under HRB Criterion D (Notable Work of a Master). Lastly, 550 Washington Street is not listed in, or deemed eligible for listing in the National or California Registers and is not located within an existing historic district; therefore, it cannot qualify under HRB Criterion E (National or California Register Eligible) or HRB Criterion F (Historic District). (See Continuation Sheets for full analysis for each of the Criteria.)

550 Washington Street was evaluated under California Register criteria in March of 2022 and found not to meet Criterion (1) Association with events, because no historical evidence was found that associated the building with event that made a significant contribution to the broad patterns of local or regional history. It was found not to meet Criterion (2) Association with Persons, because no historical evidence was found that associated the property with the lives of persons important to local, California, or National History. I was found not to meet Criterion (3) Design/Construction because it does not embody the distinctive characteristics of a type, period, region or method of construction and was not the work of a Master Architect due to its 1981 modifications. It was found not to meet Criterion (4) Archaeology because it did not have the potential to yield information important to human history or prehistory.

550 Washington Street was evaluated under National Register criteria of 2017 and found not to meet Criterion A (Event) because no historical evidence was found that would support the determination that the property was associated with events that made a significant contribution to the broad patterns of our history. It was found not to meet Criterion B (Person) because no historical evidence was found that would support the determination that the property was associated with the lives of person significant in our past. It was found no to meet Criterion C: Design/Construction because it did not embody the distinctive characteristics of a type, method or method of construction, it was not an important example of building practices of a particular time in history, it was not a notable work of a Master Architect and it does not express an aesthetic ideal. It was found not to meet Criterion D: Information al Potential las an important archaeological resource.

#### Integrity

550 Washington Street has a low degree of Integrity; it retains only one aspect of Integrity: Location.

Due to significant alterations, 550 Washington Street lacks six of the seven aspects of Integrity: Design, Setting, Materials, Workmanship, Feeling, and Association.

Primary# HRI# Trinomial

# APPENDIX E

**Preparer's Qualifications** 

### JENNIFER AYALA, RA, LEED AP

Firm Name	Nexus Planning & Research
Total Years of Experience	28 Years
Employment History	Founding Partner: Nexus Planning & Research, 2014 - present Founding Principal: Ayala Architecture, Managing Principal: M W Steele Group Designer: Golba Architecture Designer: Perkins and Will
Education	Bachelors of Architecture, University of Cincinnati
Registration	State of California Architect License No. CA28372; November 2000 LEED Accredited Professional, Legacy 2002
Current Affiliation	Lambda Alpha International, A Land Economics Society, San Diego Chapter Board Member Friends of Roosevelt Middle School Board Member Parent Connect Foundation
Past Affiliations	<ul> <li>Ex-Officio Member, Civic San Diego Real Estate Design Review Committee</li> <li>The Friends of Alice Birney Foundation, Past President and board member,</li> <li>Balboa Park Committee, Mayoral Appointee</li> <li>Centre City Advisory Committee for downtown San Diego development, Elected</li> <li>San Diego Commission for Arts and Culture: Public Art Selection Jury Panelist</li> <li>American Institute of Architects: Grassroots Leadership and Legislative Conference</li> <li>Panelist</li> <li>American Institute of Architects: Monterrey Design Conference Committee Member</li> <li>American Institute of Architects: National Convention Committee</li> <li>American Institute of Architects: Board of Directors</li> <li>American Institute of Architects: Lecture Series Committee Chair</li> <li>American Institute of Architects: Wards Committee Member</li> <li>American Institute of Architects: Urban Design Committee Member</li> </ul>