

# Historical Resource Technical Report

March 4, 2022

550 Washington Street  
San Diego, CA 92103

*Prepared by:*



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*Submitted to:*

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## Executive Summary

The Scripps Mercy Hospital CUP Amendment project (Project) involves demolition of existing buildings and construction of new medical offices and hospital buildings at the Scripps Mercy Hospital Campus (Campus) in the Uptown community of the City of San Diego. The Project site is located on approximately 21.07 acres, generally at 4077 Fifth Avenue, and is currently developed with the Scripps Mercy Hospital Campus buildings, surface and structured parking, internal streets and driveways, and landscaping. The Project site is situated north of Washington Street, east of Fourth Avenue, east and west of Sixth Avenue, and south of existing development that is located along Arbor Drive. Regional access to the site is provided by State Route 163 (SR 163), immediately east of the Project site. Local access to the site is via Washington Street, Fifth Avenue, Lewis Street, and Fourth Avenue.

The Project involves a Conditional Use Permit (CUP) to amend existing CUP No. 304755, Site Development Permit (SDP) to amend existing SDP No. 531932, and a Planned Development Permit. Demolition includes multiple buildings and structures: the Facility Building, Generator Building and Cooling Tower, Behavioral Health Clinic, Hospital Building, 550 Washington Building, 550 Washington Parking Structure, Mercy Manor, Parking Lot 4.1, and Emergency Department. Multiple buildings and structures will remain: the Cancer Center and associated parking structure, currently under construction, as well as HRB #397, Mercy Hospital Historic Complex (the College Building, Mercy Gardens, and Mercy Chapel), the Central Energy Plant, and Parking Lot 12. In total, this scope of work encompasses the whole CUP Amendment Project.

The Project's construction includes Hospital I (15 stories, 630,000 square feet), Hospital II (15 stories, 380,000 square feet); Hospital Support Building (three stories with three levels of parking below ground, 65,000 square feet); Medical Office Building (seven stories above-grade, 200,000 square feet) and associated parking (three levels above-grade and two levels below-grade); a Central Energy Plant Expansion (2,400 square feet), and two Utility Yards.

Per the City of San Diego's Land Development Manual's Historical Resources Guidelines Appendix E Part 1.2 (Guidelines), a Historical Resources Technical Report (HRTR) is required for development permits that impact a potentially historic resource and the HRTR must analyze any potential historical resources under local San Diego, State, and National Criteria and evaluate any potential impacts.

The Project requires multiple development permits (an amendment to Conditional Use Permit (CUP) No. 304755, a Site Development Permit (SDP) to amend existing SDP No. 531932, a Planned Development Permit (PDP) to deviate from height and floor area ratios, a Neighborhood Use Permit (NDP) to address a comprehensive sign plan, Tentative Map to adjust property lines, Public Utility Easement Vacation, and Public Street Vacation. In addition, the Project includes demolition of buildings that are over 45-years old; therefore, the Project includes potential impacts to historic resources. The Campus contains four (4) over 45-years-old buildings: the Behavioral Health Clinic, Hospital Building, Mercy Manor, and the 550 Washington Building with a connected Parking Structure.

Prior to preparation of this HRTR, 550 Washington Street was evaluated for historical significance under City of San Diego's Register Criteria in January of 2020. A Historical Resource Research Report was prepared for 550 Washington Street by Nexus Planning and Research. The HRRR concluded that 550 Washington Street was not eligible for historical designation. The City of San Diego's Historical Resources Board Staff (HRB Staff) concurred with the report's conclusion; regardless, HRB Staff referred

550 Washington Street to the San Diego Historic Resources Board (HRB) for historic designation consideration on February 25, 2021. HRB Staff recommended against designation under any HRB criteria. Following public testimony and HRB discussion, Board member Andrew Bowen moved to designate the Property as the *Whitson Company Medical Office Building* under HRB Criterion A as a special element of San Diego's architectural development with a 1964 period of significance. The HRB designated the property per Board member Bowen's motion by a vote of 9-1-0.

Scripps Health Appealed the Historical Designation of the *Whitson Company Medical Office Building* located at 550 Washington Street (HRB #1403) to the City of San Diego City Council. HRB Staff recommended that the Council grant the appeal. On June 29, 2021, the San Diego City Council granted the appeal and reversed the Historical Resources Board's February 25, 2021 historical resource designation of the *Whitson Company Medical Office Building* located at 550 Washington Street on the basis of factual errors in materials or information presented to the Board.<sup>1</sup>

This Historical Resources Technical Report (HRTR) was prepared according to the Guidelines and contains historical analysis of 550 Washington Building. Three (3) buildings: the Behavioral Health Clinic, Hospital Building, and Mercy Manor are analyzed within a separate HRTR as they are located on a separate legal parcel.

This HRTR's form and content are consistent with the Guidelines; therefore, 550 Washington Street is herein assessed in accordance with the City of San Diego's Register Criteria, National Register Criteria, and California Register Criteria.

This HRTR's assessment concludes that the 550 Washington Street does not retain historical and/or architectural significance under any criteria included within the San Diego Register of Historical Resources, National Register of Historic Places, or California Register of Historical Resources and accordingly, 550 Washington Street does not qualify as historical resources under CEQA Guidelines §15064.5(a)(3).

Therefore, the proposed development project which includes demolition of 550 Washington Street will not cause a substantial adverse change in the significance of a historical resource.

Since the development project will not cause a substantial adverse change in the significance of a historical resource, demolition of 550 Washington Street does not require mitigation.

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<sup>1</sup> Development Services. Segur, Suzanne and Haggerty, Emma. Staff Report to the City Council. June 11, 2021.

## 1 Introduction

### 1.1 Report Organization

This HRTR was prepared to evaluate the potential historical and/or architectural significance of the Property located at 550 Washington Street, which consists of an eight-story medical office building, for the San Diego Register of Historical Resources, California Register of Historical Resources, and National Register of Historic Places.

This HRTR includes the following: Title Page; Table of Contents; Executive Summary; Introduction (Report Organization, Project Area and Project Personnel); Project Setting (Physical Project Setting, Project Area and Vicinity); Historical Overview of the Uptown community); Methods and Results (Archival Research, Field Survey and Description of the Property with photographs); Significance Evaluations; Findings and Conclusions (Impacts Discussion, Location of Research Facilities, Discussion of any consultation with local historical societies, planning agencies, interested individuals, and interviews with knowledgeable individuals); Field Survey (Dates conducted, Participants, Methods used, Department of Parks and Recreation (DPR) Forms completed); Description of Surveyed Resources (Narrative description, character defining features, architectural style, other important features, contemporary color photographs of all elevations in the 4" x 6" size, historic photographs, and references for historic documentation); Significance Evaluations; Findings and Conclusions; Bibliography; and Appendices. The Appendices consist of a specific Building Development Information, Ownership and Occupant Information, Maps, DPR Form, and Preparer's Qualifications.

### 1.2 Project Study Area

The Project Study Area is defined as Assessor's Parcel Number 444-533-25-00 and consists of parcel 2 of parcel map no. 15947 filed in the office of the County Recorder of San Diego County, January 11, 1990, in the City of San Diego, County of San Diego, State of California, as further described in various documents of record.

The Project Study Area is situated south of Interstate 8, north of Washington Street and west of Interstate 163 and it contains the Scripps Mercy Medical Campus (Campus). The Campus's legal description is described as: Parcel 1 of Parcel Map No. 18598, in the City of San Diego, County of San Diego, State of California, filed for record in the office of the county Recorder of Sand Diego County, California on December 8, 2000, as file no. 2000-0669213. See Figures 1 and 2 on the following pages for Project Study Area location.

### 1.3 Project Personnel

Project personnel included Architect and Historical Property Consultant, Jennifer Ayala, RA LEED AP who conducted the field survey, photographed the Property, and prepared the HRTR with its findings and conclusions. Ms. Ayala obtained archive documents, historical photographs and other files from the City of San Diego, County of San Diego, Environmental Data Resources, Inc. (EDR), and the San Diego History Center, and Scripps Mercy Hospital's private archives. Additional archival research was undertaken at the Scripps Mercy Hospital's private archives by Dolores Mellon, M.A. All chain of title research was

conducted by California Lot Book, Inc., and Sanborn Maps and supplemental directory research was obtained online from EDR, the San Diego Library, and the Union Tribune archives.

Ms. Ayala and representatives of the Property’s owner visited the Property on September 17, 2019, to evaluate the Property as well as to inspect the surrounding neighborhood. Photographs were taken of the Property. Subsequently, an architectural description of the Property was prepared. Based upon the site survey and the other cited information, the Property was compared to established architectural norms that are currently in use in the United States. Several architectural reference guides were consulted by the author to fully substantiate the architectural details of the Property.

## 2 Project Setting

### 2.1 Physical Project Setting

The Project Study Area is located in the Uptown Community Planning Area of San Diego, California. The Project Study Area is situated south of Interstate 8, north of Washington Street and west of Interstate 163.



Figure 1 Regional Location Map, Map data c.2020 Google INEGI



Historical Resource Technical Report for the 550 Washington Street, San Diego, California 92103

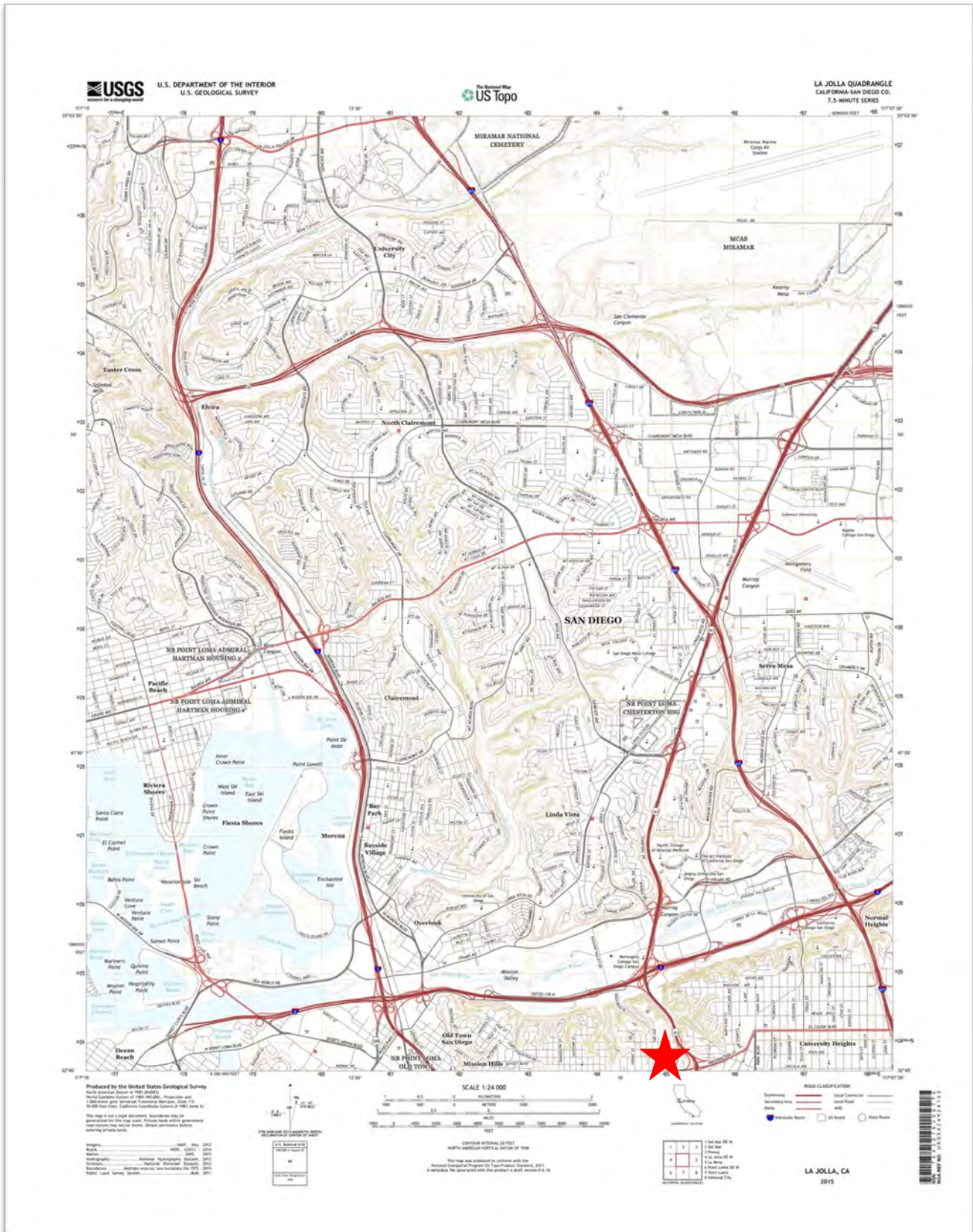


Figure 2 Project Location Map, USGS Point Loma, CA, 2015



## 2.2 Project Area and Vicinity

## 2.3 Historical Overview

### Historic Context: History of Hillcrest<sup>2</sup>

The first transfer of property located in what is present day Hillcrest occurred in 1870 when the City of San Diego deeded land to Mary Kearney, who sold it in February 1871 to C.D. Arnold and D. Choate, well-known subdividers. The land passed through a succession of hands before it was acquired by the founder of Hillcrest, William Wesley Whitson. During the 1890s, there was slight development in this area, generally typified by several churches and a scattering of residences. In 1904, historical photographs of the general Hillcrest area show small scattered areas of residential homes. Most of these homes appear to be of a Victorian or Craftsman style along dirt streets, consisting of one or two stories, with smaller associated buildings located nearby.

Hillcrest was founded in 1907 by San Diego's first coroner, William Wesley Whitson. With a \$1,000 down payment and \$115,000 loan, Whitson formed the Hillcrest Company and purchased 40 acres of "stony hill" between First (originally Second Avenue) and Sixth Avenues from University Avenue to Lewis Street just above Washington Street, and began to subdivide. Whitson's subdivision map was filed on January 10, 1907, and the deed to the Property was recorded by the Hillcrest Company on August 2, 1907.

### Historic Context: History of the Hillcrest Company<sup>3</sup>

In 1907, when the Hillcrest Company began to subdivide, there was one church, one chapel, one store, a hospital, and one school in the area to serve a few scattered residents. The area was not paved, nor were there any sidewalks. By 1909, Whitson's Hillcrest Company put in streets and curbs, subdivided property lots, set up a lumber mill and started building houses, usually two-story Craftsman vernacular homes made of wood and stone. Circulating flyers from the Hillcrest Company stated, "THE TRACT BEAUTIFUL...lots of ample size, with alleys. Houses all back a proper distance from the street." Lots were large and roadways were wide. Residential lots in Hillcrest sold for between \$1,400 to \$2,000, while commercial lots were more expensive

### Historic Context: History of the Medical Complex Neighborhood<sup>4</sup>

Per the Uptown Community Planning document, the Medical Complex Neighborhood is located within the Uptown Community Planning Area of San Diego, the oldest and most urbanized area of the city outside of the historic downtown (excluding prehistoric Native American presence and the neighborhood of Old Town). The Uptown Community is confined to the mesa top north of downtown and the Medical Complex Neighborhood is located in the north central area of the community bounded by Washington Street to the south, I-163 to the east, Dove Street to the west, and a canyon edge along its north boundary. Its neighbors include University Heights to the east, Hillcrest to the south, Mission Hills to the west and Mission Valley to the north. The Medical Complex Neighborhood is dominated by two medical campuses, Scripps Mercy Hospital and Medical Center and the University of California, San Diego Medical Center.

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<sup>2</sup> From the archives of Marie Burke Lia, Attorney at Law. 1980-2020.

<sup>3</sup> Ibid.

<sup>4</sup> City of San Diego. Uptown Community Plan 2019. Pages IN 7- IN 8. 2019.

The block pattern of neighboring Hillcrest was carried north into the Medical Complex Neighborhood, but canyons and the early development of medical services disrupted the grid pattern, shifting block dimensions and street geometries allowing for larger multi-family blocks and medical office buildings.

Buildings in this neighborhood are more diverse than other Uptown neighborhoods. They vary in age, massing, style, and use. The oldest buildings date back to turn of the century with representative examples of almost all architectural styles since the 1900s, including early modern and modern styles of architecture. Over forty percent of the neighborhood is occupied by two medical campuses influencing the neighborhood's auto-oriented nature in contrast with the pedestrian and retail orientation of Hillcrest directly to the south or single-family orientation of Mission Hills to the west, resulting in the lowest percentage of single-family homes in the entire Uptown Community.

The greater Uptown Community's development began with speculation by investors motivated by Alonzo Horton's purchase and development success of downtown San Diego. The first wave of development in Uptown, 1885-1909, began closest to downtown and progressively moved northwards. Subdivision and construction occurred through five distinct time periods and historical contexts: the Railroad Boom and Early Residential Development, 1885-1909; the Panama-California Exposition and Streetcar Suburbs, 1909-1929; the Great Depression and World War II, 1929-1948; Postwar Development, Suburbanization, the Automobile & Modernism, 1948- 1970; and Neighborhood Revitalization and the LGBTQ Community, 1970-Present. The Medical Complex Neighborhood has development representing each of the five historical contexts due to the initial development and continued growth of two significant medical campuses which dominate the neighborhood.

UCSD Medical (previously the San Diego County Hospital) and Scripps Mercy Hospital have had a presence in the Uptown Community for over a century. As far back as the 1880's, Dr. William A. Edwards' Sanitarium and Private Hospital (unrelated to both San Diego and St. Joseph's hospitals) was located in Florence Heights, just west of the Medical Complex Neighborhood. In 1904, the San Diego County Hospital constructed its first structure on the north and west side of the neighborhood at the terminus of Front Street overlooking Mission Valley and it had significant expansions in 1910 and 1926. In 1926 St. Joseph's Medical Center (now Scripps Mercy Medical Campus) moved to its new campus on Fifth Avenue also overlooking Mission Valley on the east side of the neighborhood. The original (Scripps) Mercy campus included a six-story hospital, nursing school and convent in 1926.

The intensity of medical uses continued to grow and expand over the decades with major medical hospital and office projects throughout the neighborhood. Both the County Hospital and (Scripps) Mercy constructed new eleven story hospitals in 1965 and 1966, respectively. In 1966, San Diego County contracted with UCSD to operate its County Hospital with final purchase and rebranding in 1980. Modernization and expansion have continued with significant projects in the 1990's and early 2000's for both campuses. More growth and redevelopment are planned through 2030, including high density multi-family housing amongst the medical uses.

Residential buildings include single-story single-family houses, but these are outnumbered by multifamily duplexes, garden apartments, and buildings up to five stories high. Future development of this neighborhood calls for continued medical redevelopment and expansion, as well as high density residential redevelopment. The Medical Complex Neighborhood has seen dramatic changes in scale and intensity of development. The mixed uses have always been present with a near constant growth and intensification of the medical campuses since they first appeared in the neighborhood.



Per the 2016 Uptown Community Plan Historic Preservation element, the Property was constructed during Uptown's Period of Significance called *Postwar Development, Suburbanization, the Automobile & Modernism (1948-1970)*. This Period of Significance is described as,

"A property may be significant under this theme for its association with or representation of the postwar development and redevelopment in Uptown, or as the home of an important person in local history. A property may also be significant as a good or rare example of a popular architectural style from the period, primarily Mid-Century Modern. Lastly, a property may be significant if it reflects the notable work of a master builder, architect, or designer. Residential development during the postwar period occurred primarily on undeveloped lots along canyon rims and on lots containing older, smaller homes in communities such as Hillcrest and University Heights, which were demolished to make way for larger homes and apartment buildings in the Mid-Century Modern style. Commercial construction occurred throughout Uptown, but was concentrated primarily on redeveloped lots along Washington Street in Mission Hills, Park Boulevard in Hillcrest, and throughout the Park West area along Fourth, Fifth and Sixth avenues. A number of institutional buildings, including the San Diego City School education center, the County Hospital, and a branch library."<sup>5</sup>

#### Historic Context: History of 550 West Washington Street, "Hillcrest North Medical Building"

William Wesley Whitson purchased 40 acres in the Property's general vicinity, that the family named "Hillcrest." Bounded by First Avenue to the west, Sixth Avenue to the east, Lewis Street on the south and University Avenue to the north, Whitson subdivided, leased and sold his subdivision.<sup>6</sup> By the 1960s, the Whitson Company—Robert Whitson Sr, and Robert Jr, son and grandson of William Whitson were seeking to develop a new medical clinic at Fifth and Washington, near Mercy Hospital. They chose the architectural firm of Deems-Martin Associates the San Diego branch office of the A.C. Martin firm based in Los Angeles. They conceived of the speculative medical building (Hillcrest North Medical Center) and hired the development team. Setting up initial leasing and selling within two years of completion of construction fell to Gynob, Inc., a corporation of doctors.<sup>7, 8</sup>

When Deems-Martin Associates secured the contract to design the Hillcrest North Medical Center for the Whitson Company, they were well-known to Frank L. Hope & Associates who was already designing buildings on the adjacent Mercy Hospital site. The two firms had worked together previously when A.C. Martin & Associates designed the May Company building in San Diego and hired Frank L. Hope & Assoc. to facilitate project submittal and processing.<sup>9</sup> William (Bill) Sperry Lewis was responsible for the Property's design while he was employed as a project architect for A.C. Martin.<sup>10</sup>

Peter Kiewit and Sons' Inc. was Property's the contractor, the construction project manager, Charlie Pankow, advocated for the contractor to be involved in the project before it broke ground. He believed this allowed the construction team the opportunity to integrate cost- and time-saving construction methods, evaluate alternate design configurations, and advise the architect on cost-effective ways to realize his or her aesthetic vision.<sup>11</sup>

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<sup>5</sup> City of San Diego. Uptown Community Plan 2019. Page HP-168. 2019.

<sup>6</sup> *San Diego Magazine*, 3/1962, "Hillcrest was a 40-acre Subdivision..." The Whitson's have been instrumental in developing Hillcrest for three generations

<sup>7</sup> San Diego Union. 3/14/1965. "Medical Group Busy new Hillcrest Center". Page 105.

<sup>8</sup> San Diego Union. 10/19/1969. "Realty Roundup: Expensive Dwellings Sold". Page 103.

<sup>9</sup> K.A. Crawford, May Company Building, 1702 Camino del Rio North. Department of Parks and Recreation form submitted 12/2015.

<sup>10</sup> Bill Lewis, interviewed by Scott A. Moomjian, November 2015.

<sup>11</sup> Michael R. Adamson, *A Better Way to Build: A History of the Pankow Companies*, West Lafayette, IN.: Purdue Press, 2013, p.8. Charlie Pankow neither invented design-build nor was its earliest practitioner in the modern US construction industry.



The Property was designed to accommodate 60 suites and facilities for 85 doctors and dentists. In addition, there would be a pharmacy, pathology and radiology laboratories, coffee shop, and parking of 212 cars. The main tower and side wings encompassed an area of 76,000 square feet. The hexagonal-shaped tracery screens made of aluminum allowed for the liberal use of glass but ensured privacy.<sup>12</sup>

The slipform operation devised by the project engineer to build the central core proved to be unique in the annals of both the building division and the Pankow companies. The core rose out of the foundation, carrying with it a Linden F30-60 tower crane. Its 100-foot horizontal boom could lift 4,400 pounds. Crews used the crane to lift into place both the panels and beams, which crews precast as the slipform operation proceeded. The goal was to save time and money. Once they had topped out the building, crews cast floor slabs in place from the top floor down.<sup>13</sup> Per A Better Way,

*“As was the case with all techniques of job site mechanization, the goal was to save time and money. Once they had topped out the building, crews cast floor slabs in place from the top floor down. This approach did not save much money, if any at all, over the more conventional bottom-up approach, in carpenter foreman Red Metcalf’s estimation. But the decision to try it reflected the spirit of innovation that Charlie Pankow tried to encourage in his employees.”*<sup>14</sup>

Described as a new “landmark”, by the local media, Bill Lewis’ design and construction of the Property garnered attention. Industry publications describe the Property as a combination of unusual beauty and high structural efficiency.

The history of design awards for the Property is limited to two local awards given by the Portland Cement Association and San Diego Magazine. The magazine awarded it, *1964 Building of the Year Award*.<sup>15</sup> Searches for this article were unsuccessful, therefore the basis of this award is not understood. The Portland Cement Association gave the project one of its six *Awards of Honor* in its inaugural year of *Building Awards in Southern California*. The Property was honored as an “outstanding example of the creative use of concrete”.<sup>16</sup> Therefore, this award was not in recognition of a structural method of construction.

According to the Portland Cement Association’s Los Angeles District Engineer, Warren G. Burres,

*“Purpose of the building awards program is to give recognition to architects, engineers and contractors for outstanding projects and to honor and promote progressive architecture, quality construction and new building techniques. The awards are based on good architecture, unusual design ideas, structural innovations and outstanding construction methods.”*<sup>17</sup>

Not all who viewed the Property were impressed, however. The San Diego AIA did not award the project at the 1964 AIA Awards. Instead, Deems Martin Associates had two other projects honored, the U.S. Navy Facilities Engineering Command and the Rubin, Seltzer, & Solomon Office Building. See Criterion D for more information regarding award AIA Award winning projects by Deems Martin

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<sup>12</sup> *Star-News*, 5/23/1963.

<sup>13</sup> A Better Way, p. 65

<sup>14</sup> A Better Way, pp. 65-66

<sup>15</sup> <https://www.dlm.com/awards.html> web. Accessed 9.13.2020.

<sup>16</sup> Knudson, J. *San Diego Union*. Outstanding Structures in Concrete Win Honors For Builders and Designers. 1.30.1966. web.

<sup>17</sup> “Outstanding Structures in Concrete Win Honors for Builders, Designers,” *San Diego Union*, 1/30/66, p. 85.

Associates. And, no less than San Diego's "most distinguished architectural commentator"—James Britton II, snidely dismissed the Hillcrest North Medical Center exterior as "Rockettes of the concrete set."<sup>18</sup>

### 3 Methods and Results

The Property's development and alterations have been documented through examination of historical records and a physical site inspection.

#### 3.1 Archival and Historical Research

Determinations of historical and architectural significance require various factors of significance to be considered, including: the Property's history; both construction and use; the history of the surrounding community; the potential for important persons or events to be associated with the Property over its life span; the number of resources associated with the Property; the potential for the Property to be the work of a master craftsman, architect, landscape gardener or artist; what historical, architectural or landscape influences have shaped the design of the Property and its pattern of use; what alterations have taken place over the years and how have any changes affected the historical Integrity of the Property; and the current condition of the Property.

The archival research for this HRTR included, but was not necessarily limited to, obtaining and/ or reviewing the following,

- The Assessor's Building Record from the San Diego County Assessor's/Recorder's Office;
- Chain of Title information prepared by California Lot Book, Inc.;
- Historical and aerial photograph research;
- City of San Diego water and sewer department connection records;
- City of San Diego building permit records at the City of San Diego Development Services Department;
- San Diego City Directories on file at the San Diego Public Library, California Room;
- San Diego City Directories prepared by EDR;
- Sanborn Fire Insurance Maps assembled and archived by [www.edrnet.com](http://www.edrnet.com);
- San Diego Union index and newspaper articles found on <https://www.genealogybank.com/>;
- The San Diego Historical Society archives and photographic collection;
- Local, state, and federal inventories, surveys, and database material;
- Personal research archival material in the office of Nexus Planning & Research, including the Marie Burke Lia archive library;
- Archival material from the Scripps Mercy Hospital archives;
- Standard and authoritative sources related to local history, architecture, and building development information.

The criteria for historical significance were obtained from the City's Guidelines for the Application of Historical Resources Board Designation Criteria; the National Register of Historical Resources Criteria;

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<sup>18</sup> Biography of James Britton II, Modern San Diego.com; San Diego Union, 6.27.1982, p. F-1.

and the California Environmental Quality Act (CEQA), which uses the California Register of Historical Resources Criteria.

## 3.2 Field Survey

An existing conditions survey was conducted by Jennifer Ayala, Architect. Photographs were taken by Jennifer Ayala. The survey was conducted to understand the existing condition of the site, identify character-defining features, and assess the Property's structural and historical integrity. Analysis focused on the Property's exterior but did not include detailed measurements or assessments of the archaeological, structural, electrical, mechanical systems, or interiors. Following the fieldwork, the Property was recorded on Department of Parks and Recreation 523 Forms, per Office of Historic Preservation, State of California standards. The Property was documented with a digital camera and representative photographs are included in this report and on the DPR 523 forms.

## 3.3 Description of Surveyed Property

The Property is an eight-story medical office building located in the Medical Complex neighborhood of Hillcrest in the Uptown Community Plan Area. It is sited north of Washington Street, west of Interstate 163 and east of 5<sup>th</sup> Avenue. Today, it is owned and managed by the Scripps Mercy Medical campus located to the north and east. The Property was permitted for construction in 1961<sup>19</sup> and was completed in 1964. For the purposes of this Historical Resources Research Report (Report), 1964 will be used as the date of construction.

The Property's primary elevation faces Washington Street to its south. It is surrounded by commercial and medical office buildings in a mix of architectural styles. It sits at street level with shallow set-backs from Washington Street and Fifth Avenue. A surface parking lot, on the north side of the Property, is not included within the subject parcel.

The Property is sited close to its property lines along the street edge on a relatively flat site. The parcel has a mix of landscape treatments. Both street facades, along Washington Street and Fifth Avenue, as well as the narrow side yard along its east elevation are landscaped with a mix of tropical plants, grass, moderately sized trees and concrete pedestrian walkways. There are landscaped concrete planters near the lobby enclosure at the base of the tower. The north elevation includes a landscaped planter area as well as pedestrian walkways and some in-ground grass and tree areas.

Per the Assessor's Building Record, the Property is a medical office building consisting of 67,936 square feet within one tower and two, one-story wings. The Property's tower is rectangular and symmetrical while two one-story medical office-wings are asymmetrical, extending east and west of the tower. The tower has a concrete structure, concrete frame, cast-concrete panels and aluminum tracery. The one-story wings have concrete structures, concrete frames, pre-cast concrete panels and fixed aluminum framed windows. There are stucco accents on the one-story wings, and stucco walled enclosures and building forms under the tower. The Property's windows are a mix of original steel framed fixed

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<sup>19</sup> San Diego Union. 6/4/1961. "Ground Broken for Medical Center". Page 110.

windows (at the tower and one-story wings) and contemporary dual-glazed aluminum framed fixed windows along the ground floor.

Development Details

Construction per Assessor Building Record (See Appendix A)

1966<sup>20</sup> Assessor’s Parcel Number 444-533-25-00 consists of parcel 2 of parcel map no. 15947 filed in the office of the County Recorder of San Diego County, January 11, 1990, in the City of San Diego, County of San Diego, State of California, as further described in various documents of record.

The Assessor’s Building Record dates the Project’s construction from 1966, and describes it as a medical office building, measuring 67,936<sup>21</sup> square-feet.

Notices of Completion (NOC) (See Appendix A)

August 9, 1961	Contractor: R. E. Hazard, Jr. Inc. There is no mention of an architect or a description of the work completed on site.	Based upon historical sources, it is known that R.E. Hazard was not the Property’s builder but is associated with construction of a retaining wall.
June 10, 1964	Contractor: Peter Kiewit Sons’ Co. There is no mention of an architect or a description of the work completed on site.	Based upon historical sources, Peter Kiewit Sons’ Co. is the known contractor of the medical center, therefore this Notice is probably associated with the Property’s completion.
February 1, 1982	Contractor: Construction Management Services Company. There is no mention of an architect or a description of the work completed on site. <sup>22</sup>	Permits or other documentation that correlates construction with this Notice of Completion could not be located.
December 5, 1990	Contractor: Don D. Rake & Associates, Inc. There is no mention of an architect. The work was performed in Suite #500.	This is most likely for a limited scope of work within a doctor’s office.

Water and Sewer Records (See Appendix A)

1982	A water record found on file with the City of San Diego Water and Sewer Department for a 4” wet tap. The contractor is listed as Const. Management Services.
1982	A sewer record on file with the City of San Diego Water and Sewer Department documents the Property’s sewer service location.

Building Permit Records (See Appendix A)

160 individual permits for construction and remodeling were located within the City of San Diego Records Department. The list below represents a limited list of “exterior-only”, building permits that were found on file with the City of San Diego.

Date	Suite	Permit #	Type	Scope of Work	Exterior	Designer
------	-------	----------	------	---------------	----------	----------

<sup>20</sup> Historical records, including a Notice of Completion and *Union Tribune* articles, prove this date of construction to be inaccurate.

<sup>21</sup> The Property’s square footage was last amended in 1990 for the Assessor’s Building Record and does not include more recent additions of square footage at the ground floor.

<sup>22</sup> Timing of NOC is aligned with permitting and construction for the parking garage constructed along the north side of the site.

Historical Resource Technical Report for the 550 Washington Street, San Diego, California 92103

6/5/78	Lobby	M04239	Building	Glass Enclosure of open lobby area	Yes	James McGraw + Associates
7/22/81	-	S14388	Building	Parking Garage	Yes	Marvin Cohen Arch./Inc.
8/9/85	Grounds	A38728	Building	Crib Retaining walls	<i>Unclear</i>	W. Ryan Wilson
7/21/86	-	A49158	Building	Canopy Addition	Yes	Tucker Sadler & Associates
9/18/90	-	A008491-90	Building	Seismic Strengthening	<i>Unclear</i>	
5/8/91	lobby	213-1720	Building	Remodel lobby - T.I	Yes	Simpson & Schmidt
7/26/94	Grounds	A105000	Sign	Lighted monument to be installed as per drawings	Yes	Not noted
3/13/97	104	A101852-97	Not clear	Remodel med office part, electrical, plumb	<i>Unclear</i>	Not noted
3/13/97	104	E501344-97	Electrical	Relocate lights and door	<i>Unclear</i>	Not noted
9/10/98	-	E504253-99	Sign	Two sets internally illuminated channel letters with logo	Yes	Not noted
3/16/99	Grounds	213-1720	Sign	One internally illuminated ground sign	Yes	Not noted
3/16/99	Grounds	A102530-99	Sign	One internally illuminated ground sign	Yes	Not noted
7/29/99	Exterior	A107736-99	Building	Cell site / antenna & cabinets	Yes	Not noted
5/4/00	Exterior	A104749-00	Building	Cabinets & Antenna(s) for cell site	Yes	Not noted
9/11/03	Exterior	16332	Structure	Arden screen walls & aesthetic finishes	Yes	Aymono Fox & Associates
9/22/03	300	38742-P	Plumbing/ Mechanical	Installation of new plumbing fixtures	No	Not noted
11/7/03	100	38695	Building? Plumbing?	Surgery Center	<i>Unclear</i>	Not noted
11/20/03	-	A107986-03	Plumbing/ Mechanical	Install new boiler, chiller, Air handlers, exchange fans, duct work	<i>Unclear</i>	Not noted
8/18/04	100	139593	Mechanical	H.V.A.C Design Build ductwork only TI	<i>Unclear</i>	Not noted

Previous Survey Forms

There are no previously completed survey forms available for this property and neither the 2016 Uptown Community Plan's Historic Preservation Element nor the Historic Resources Survey, 2016 mentions or makes recommendations regarding the Property or its parcel.

Chain of Title (See Appendix B)

The Property's date of construction is 1961; property owners are listed below for those years from when it was constructed through today.

Years	Total	Owner
1939	1	Ruth C. Smith, Robert D. Whitson, Helen C. Whitson & Gertrude P. Whitson
1939-1965	26	The Whitson Company
1965-1969	4	Gynob Inc.
1969-1973	5	Gynob Medical Group, Inc.
1973-1973	1	Cyto-Biological Laboratories
1973-1973	1	Carlile-Agee & Associates
1973-1982	10	Northwestern Engineering Company
1982-1982	1	Washington Investors, Ltd.
1982-1982	1	Fifth Avenue Investors, Ltd.
1982-1986	5	Washington Investors, Ltd.
1986-1986	1	Fifth Avenue Investors, Ltd.
1986-1988	3	Tarnkappe Corp.
1988-1990	3	Tarnkappe, Ltd.
1990-1990	1	550 Medical, Ltd.
1990-1990	1	Arpple, Inc.
1990-1990	1	Mission Valley Medical Center, Ltd.
1990-1990	1	University Redmond Corporation
1990-1995	6	Michael Properties
1995-1999	5	Mercy Healthcare San Diego
1999-Today	20	Scripps Health

Directory Listing of Occupants (See Appendix B.)

The Property’s initial plans called for offices that would accommodate eight stories of multi-tenant spaces. The list of occupants from 1961 through today was compiled from directory archives housed by the City of San Diego Library, California Room Archives.

Deed from Date of Construction (See Appendix B.)

Copy of deed to The Whitson Company in 1939 is included in this HRTR’s Appendix.

Architect: Deems–Martin Associates (See San Diego Register Criterion D discussion.)

Landscape Architect: Wimmer Yamada and Caughey (See San Diego Register Criterion D discussion.)

Builder: Peter Kiewit and Sons (See San Diego Register Criterion D discussion.)

Alterations

Description of the Property’s original 1964 Design:

The completed design contained approximately 69,000 square feet of area within an eight-story tower supported by twelve slender columns around the tower’s perimeter. The tower was flanked on its east and west sides by single-story precast concrete paneled buildings. Each single-story flat-roofed wings’ elevation contained full height narrow windows framed by vertical fins along their north and south elevations while east and west elevations contained floor to ceiling glass.

The tower was elevated a full story above street level providing an open-air pavilion/ lobby under the tower. The tower’s columns were tall, slender, square and oriented at a forty-five-degree angles to the Property’s plan. Column bases along the north and south elevations ended in the reflecting pool encircling the lobby’s floor. The open-air lobby was designed to allow unobstructed circulation of pedestrian traffic through the site. The open-air quality also provided an unobstructed view through the site in all four directions as the one-story wings were fully glazed on their east and west elevations.

The open-air lobby was framed by the large reflecting pool surrounding the terrazzo finished floor with pedestrian bridges connecting the lobby to the parking lot and public sidewalks. Thin metal handrails lined each pedestrian bridge. Otherwise, there were no railings along the edge of the reflecting pool, instead large raised concrete planters, oriented 45 degrees to the Property’s plan, bordered the open-air lobby floor’s edge. Low, wide planters bordered the reflecting pool’s exterior perimeter, preventing access from outside the lobby. All access into the tower was from this step-less lobby.

The Property’s core functions were located in the central core, including HVAC, plumbing, structure, stairwells, and elevators. The tower’s exterior was clad in precast concrete wall panels with tall, narrow windows. An anodized aluminum screen (“tracery”) with hexagonal shapes covered each of the tower’s four elevations. All four tower elevations were treated identically.

Photographs taken in 1964 by renowned architectural photographer, Julius Schulman show a landscape design that included grass, in-ground planters with low curbs and low plantings, large rectangular planters along lobby floor’s edge, and medium-sized specimen trees planted at intervals long the north and south elevations.

Articles written about the Property’s design (before alterations) repeatedly highlighted the following features:<sup>23, 24, 25, 26</sup>

1. Open-air lobby,
2. Reflecting pool,
3. Pedestrian bridges,
4. Terrazzo flooring,
5. Polished charcoal brown Italian marble,
6. Slender columns,
7. Precast concrete panels, and
8. Tower covered with anodized aluminum tracery.

The Property’s Alterations

The Property was altered multiple times and in several locations. Major alterations can be organized by date of alteration and scope of work.

Date	Alteration	Permit / Architect	Notes
1978	Lobby enclosed	Yes / James McGraw + Associates	Drawings recording this addition were not located; it is assumed that the current glass lobby enclosure is the extent of this original alteration.

<sup>23</sup> San Diego Independent. 2/28/1963. “Construction Set for Hillcrest Med Center”.

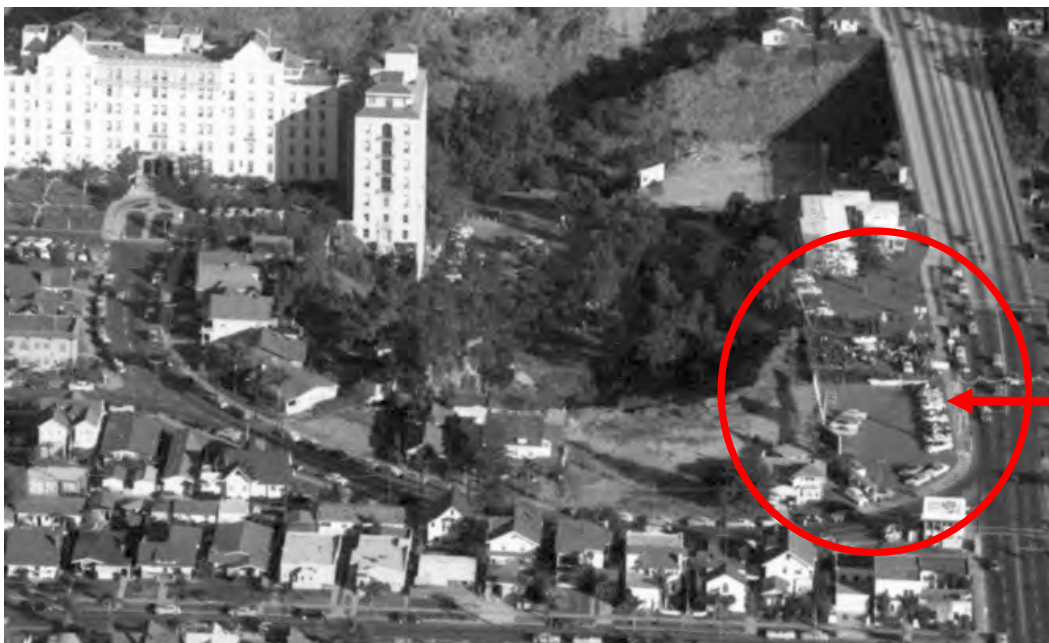
<sup>24</sup> San Diego Union. 6/4/1961. “Realty Roundup: Investors Show Faith in S.D. County”.

<sup>25</sup> San Diego Union. 3/3/1969. “Realty Roundup: Appraisers Plan Work Conference”.

<sup>26</sup> San Diego Union. 8/9/1964. “Realty Roundup: Innovations Mark New Medical Center”.

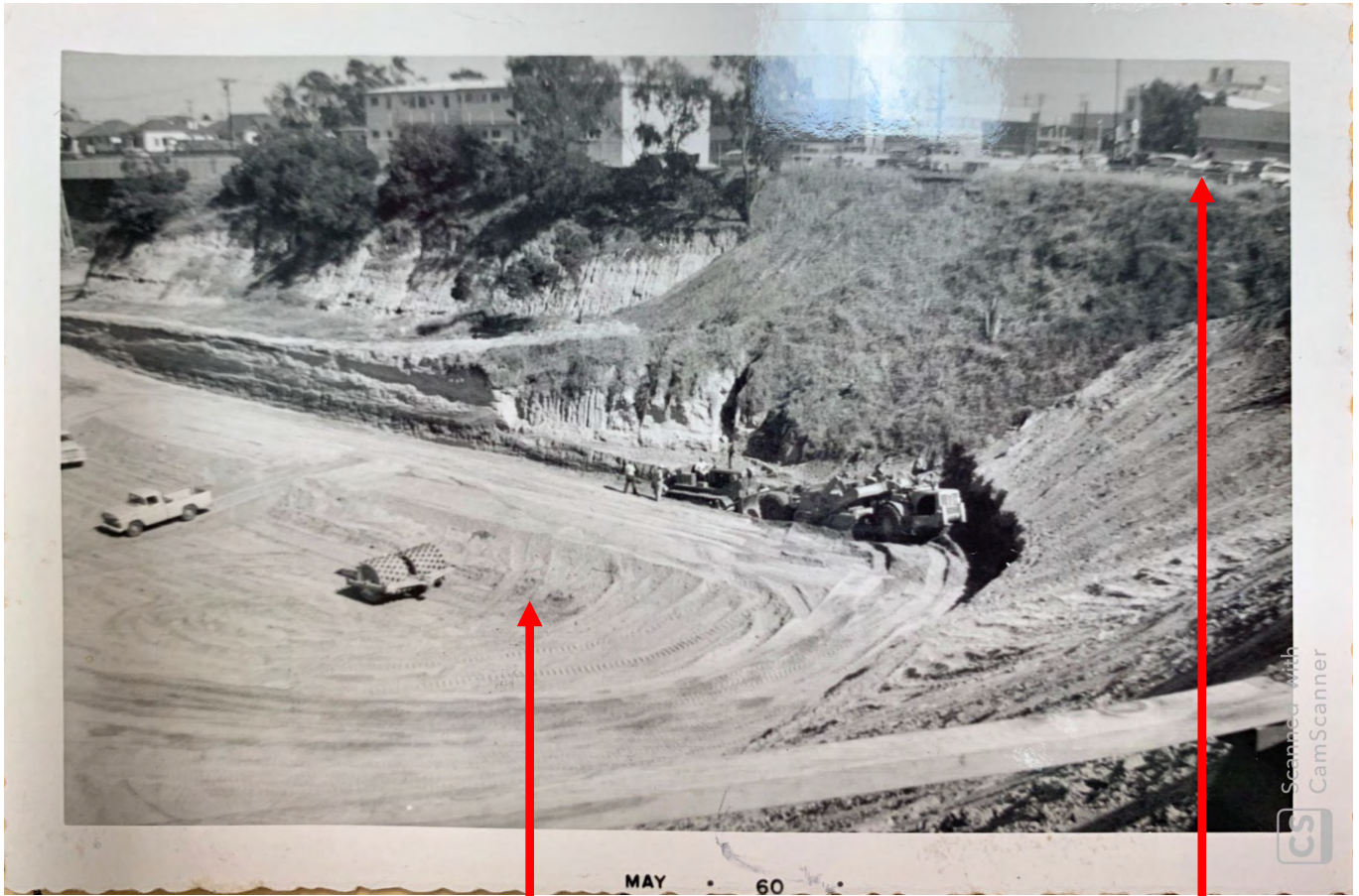
1981	Parking garage	Yes / Marvin Cohen Architect	Parking garage is below grade, but site and hardscape along north of Property was enlarged.
1986	Canopy	Tucker Sadler	Drawings recording this addition were not located; it is unclear what this addition entailed or if it is present on the Property today.
1990	Seismic Strengthening	Unknown	Drawings recording this addition were not located;
1991	Lobby remodel	Simpson & Schmidt	Drawings recording this addition were not located; extent of alterations are not understood. Permit not required for this work. This could be the time when special marble was removed from elevator core.
2003	Exterior Aesthetics	Aymono Fox Associates	Recorded drawings provided by Scripps Mercy, see Appendix A.5.
2003	Surgery Center	Aymono Fox Associates	Recorded drawings provided by Scripps Mercy, see Appendix A.5.
2004	HVAC	Design Build	Drawings recording this addition were not located.





Future site of 550  
Washington Street

*Photograph #1: Historical Aerial Photograph: San Diego History Center, 1964 (per SDHC, but probably before 1960)*



Grading for Mercy Behavioral Health Building, Sister of Guadalupe Clinic

Future site of 550 Washing Street

*Photograph #2: Mercy Medical Archives, May 1960*

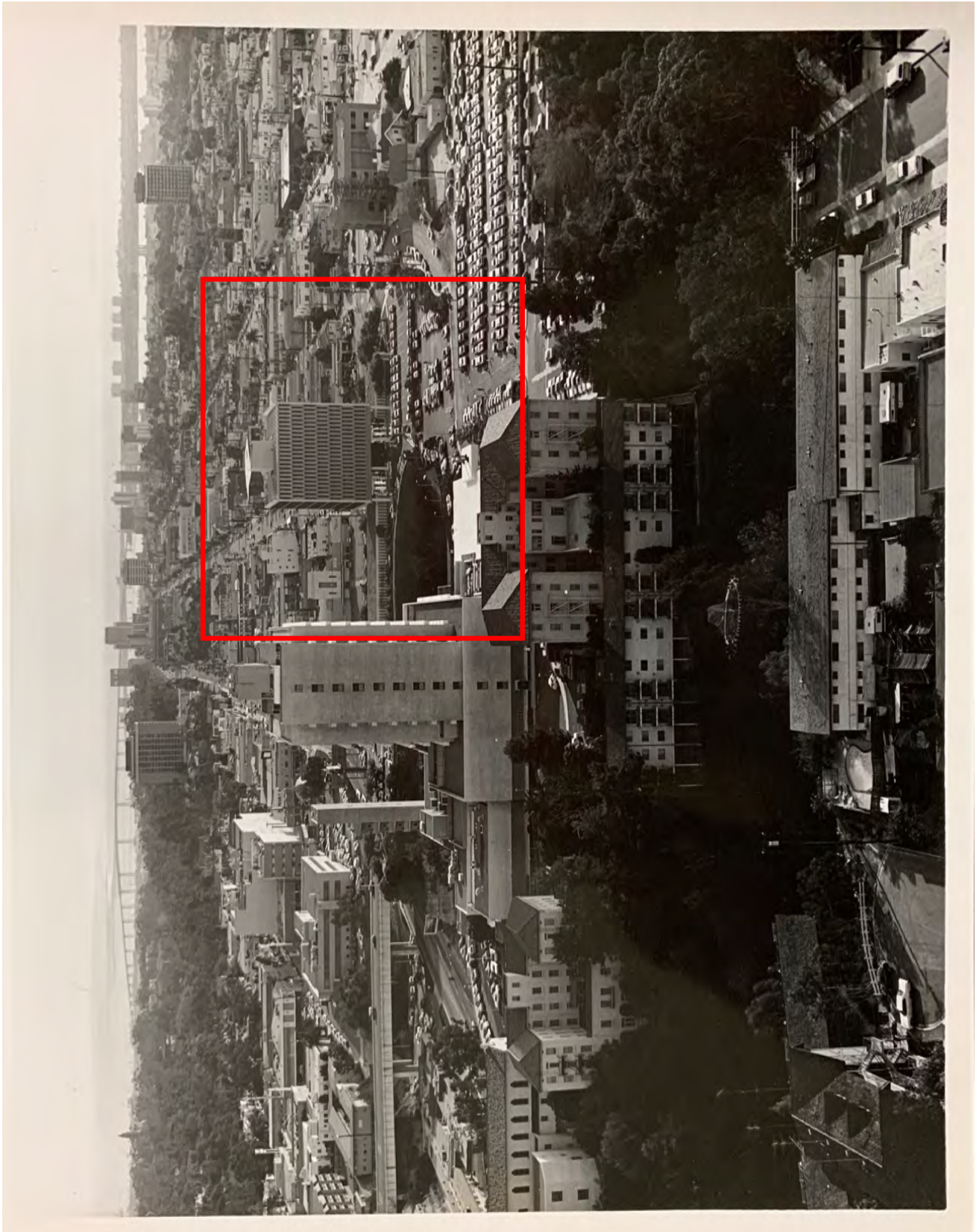




550 Washing Street, construction complete

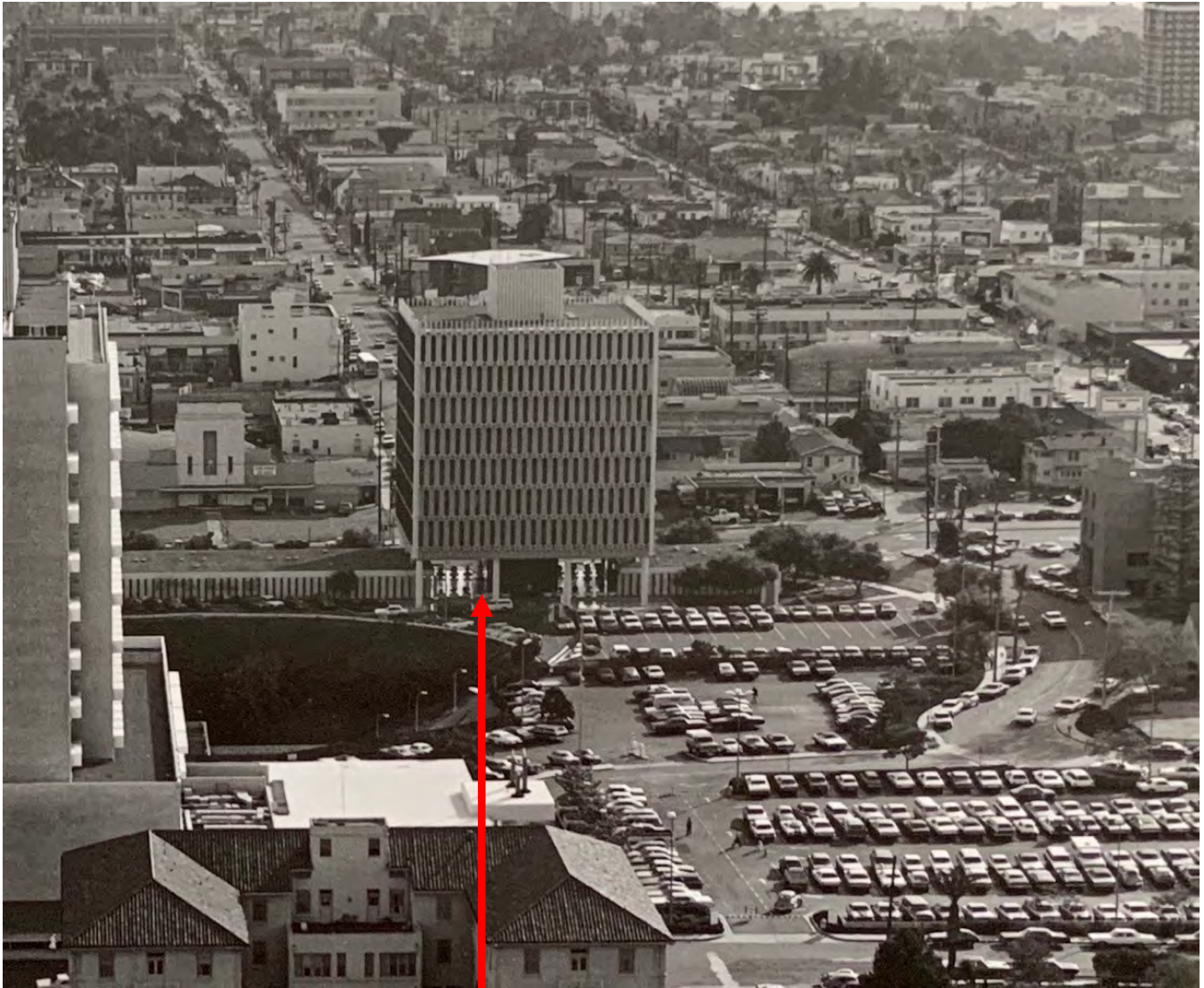
*Photograph #3: Mercy Medical Archives, undated Union Tribune article, c.1965*





*Photograph #4: Mercy Medical Archives, after 1971 (Old mercy Hospital already demolished). See next page for enlargement.*

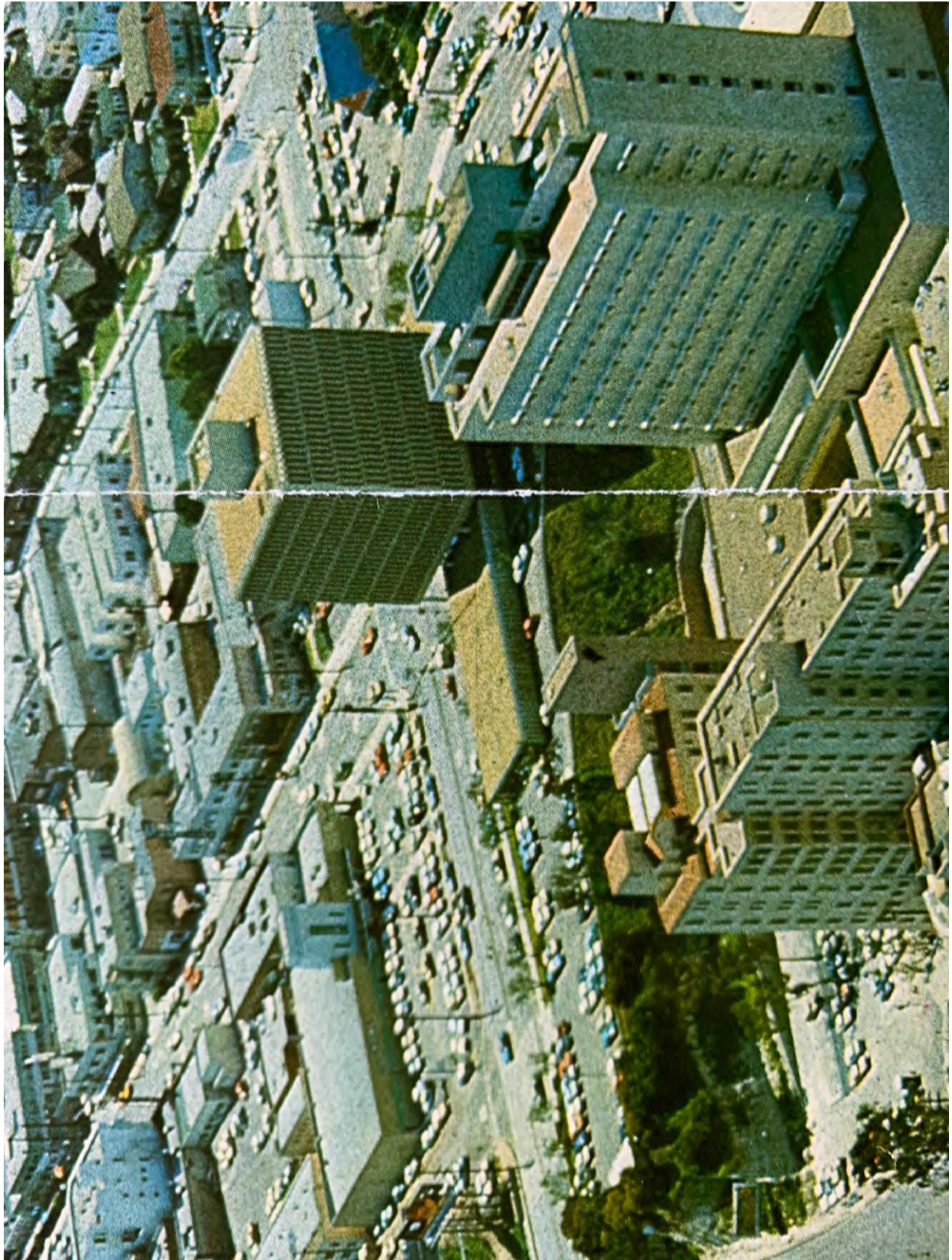




Reflecting pools visible / lobby is completely open and visibility is not impaired

*Photograph #5: Mercy Medical Archives, after 1971 (Old mercy Hospital already demolished).*





*Photograph #6: Mercy Medical Archives, scrap book Union Tribune article, undated but before demolition of old Mercy Hospital in 1970*





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*Photograph #7: Historical Photograph: Getty Images, Julius Shulman Photography, 1964*



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*Photograph #8: Historical Photograph: Getty Images, Julius Shulman Photography, 1964*





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*Photograph #9: Historical Photograph: Getty Images, Julius Shulman Photography, 1964*



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*Photograph #10: Historical Photograph: Getty Images, Julius Shulman Photography, 1964*





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*Photograph #11: Historical Photograph: Getty Images, Julius Shulman Photography, 1964*



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*Photograph #12: Historical Photograph: Getty Images, Julius Shulman Photography, 1964*





*Photograph #13: Front, South elevation*



*Photograph #14: Front, South elevation. Changes: Lobby is completely enclosed with stucco walls, aluminum storefront system and round column enclosures. Stucco garden walls block one-story wings. Mechanical additions on top of wings and bridge entry into lobby is gone.*



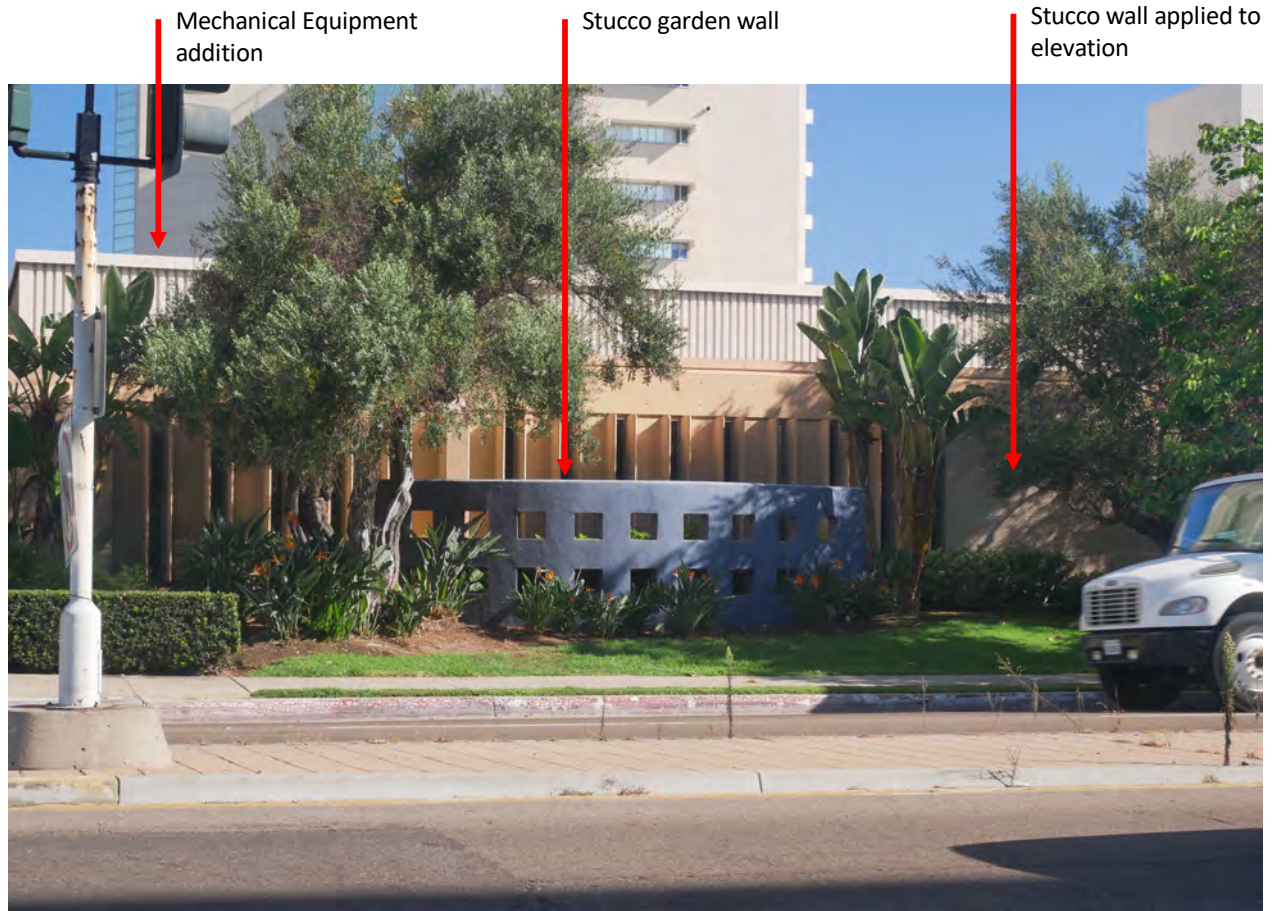


*Photograph #15: Front entry. Original bridge removed and new entry with stairs and guardrails added 2003.*



*Photograph #16: Front entry. Lobby enclosed, 1978. Stucco full height lobby enclosures 2003.*





Mechanical Equipment addition

Stucco garden wall

Stucco wall applied to elevation

*Photograph #17: South elevation, east wing with stucco garden wall, stucco addition to elevation and mechanical addition on roof.*



*Photograph #18: South elevation, planter wall and lobby enclosure.*





Photograph #19: Front, lobby enclosure and column addition, all new in 2003.



Photograph #20: Front, Garden wing walls and stucco walls added to one story wings and mechanical units on roof.

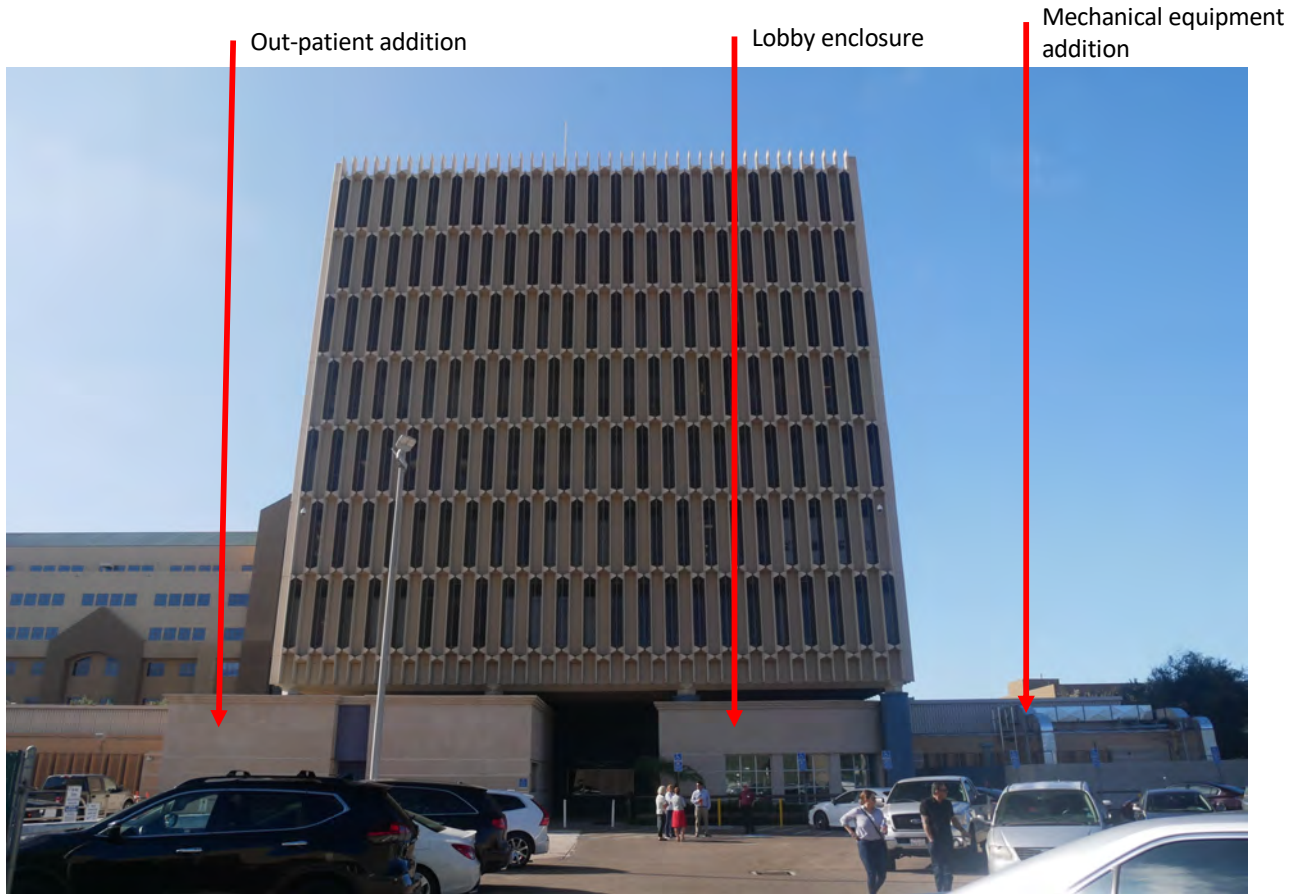




*Photograph #21: West elevation.*



*Photograph #22: Rear, north elevation. One-story wing with mechanical units and block wall enclosure for generator, 2003.*

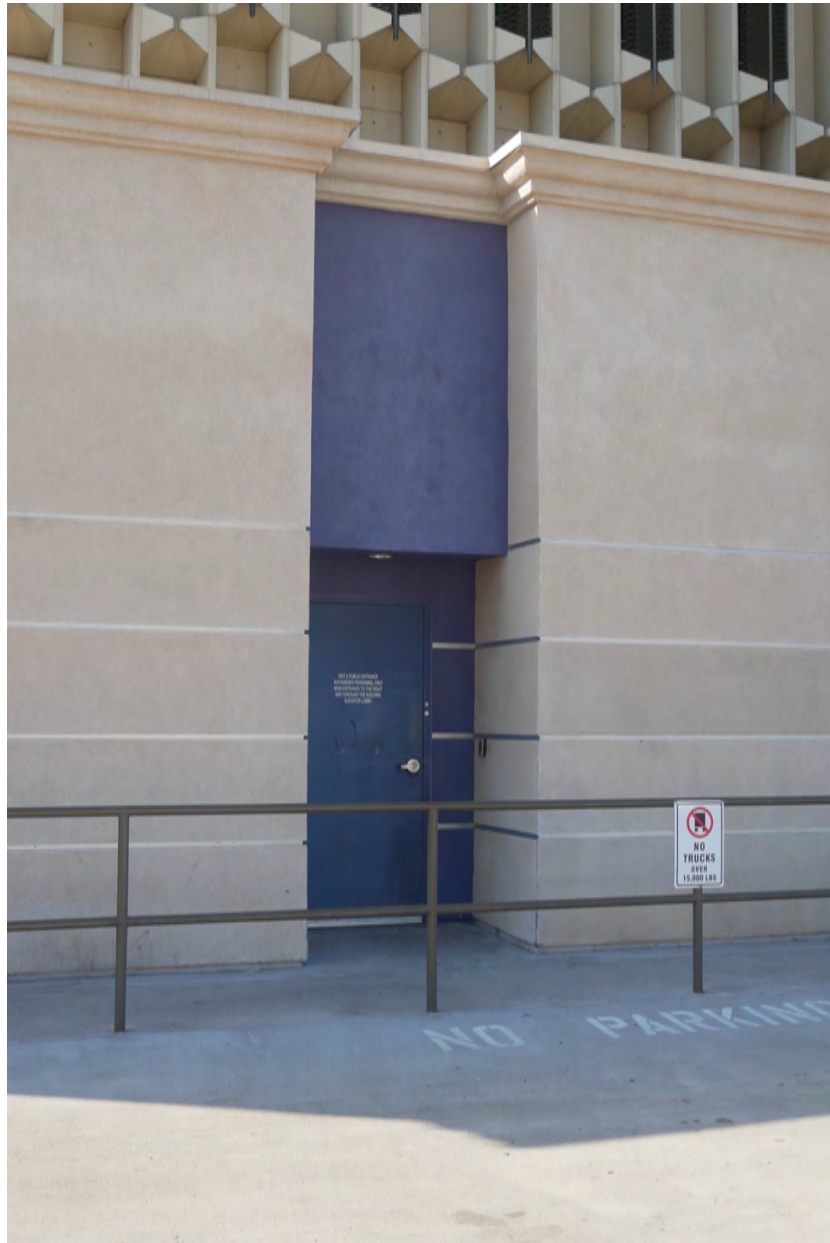


*Photograph #23: Rear, north elevation. Lobby is full enclosed with out-patient surgical suite and lobby enclosure.*



*Photograph #24: North elevation, one-story west wing covered with mechanical equipment and lobby and original columns are enclosed with stucco.*

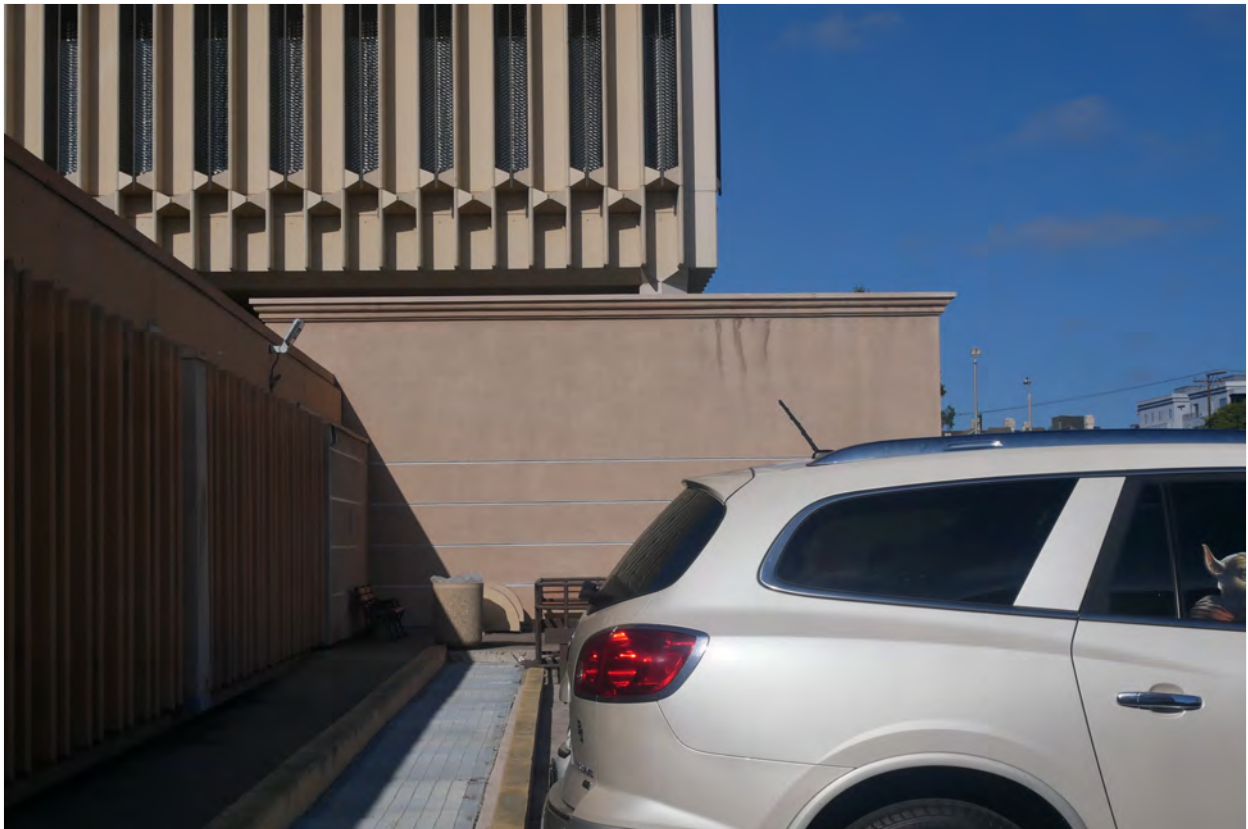




*Photograph #25: North elevation, exit from out-patient surgical suite.*



*Photograph #26: Rear, north elevation. Out-patient surgical pavilion.*



*Photograph #27: East elevation, side view of out-patient surgical pavilion.*



*Photograph #28: East elevation of tower and north elevation of one-story wing (east side of parcel) with stucco and mechanical additions.*

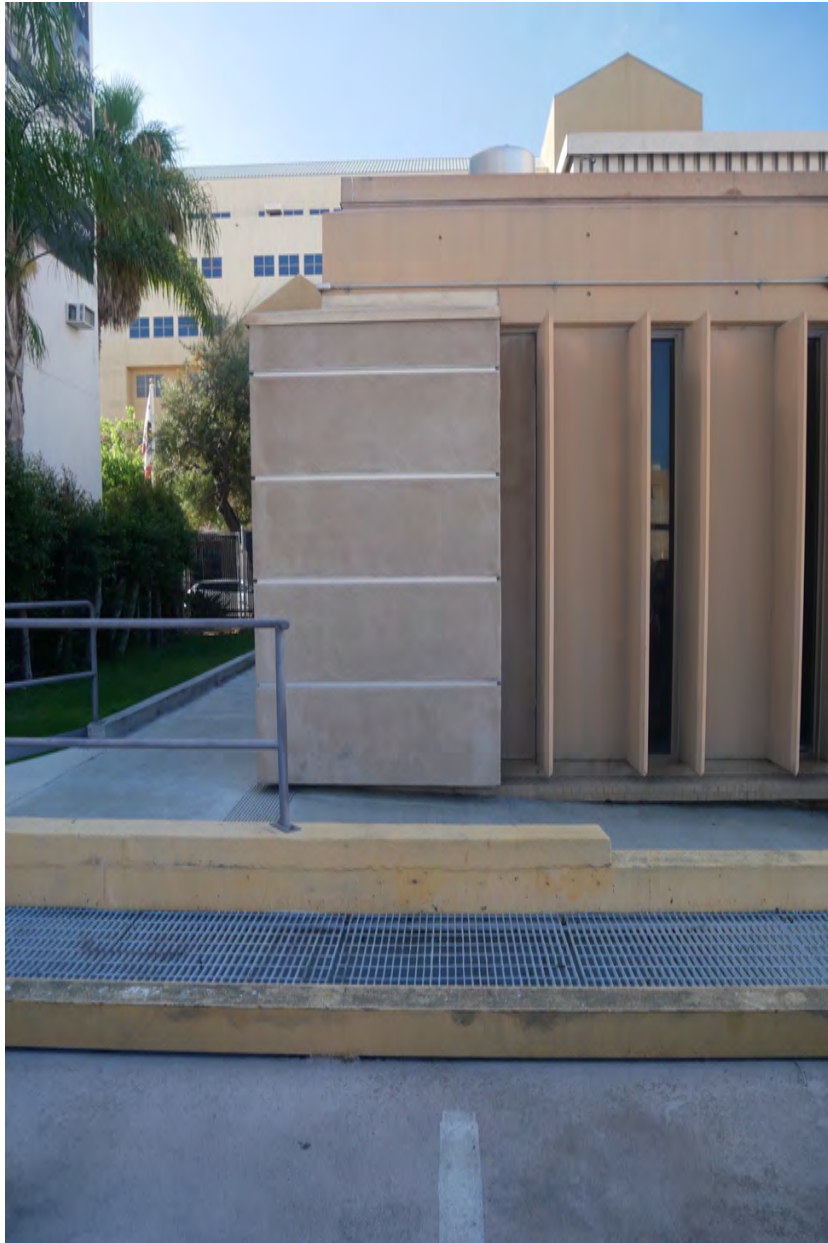




*Photograph #29: Northeast elevation. One-story east wing, with stucco infill at east end and mechanical addition on roof.*



*Photograph #30: East elevation with stucco infill and mechanical addition on roof.*



*Photograph #31: East end of one-story wing with stucco infill and covering of east elevation.*





*Photograph #32: Formerly open-air lobby, now enclosed with full height walls and additional enclosed space under tower. Enclosed space is out-patient surgical center.*



*Photograph #33: Former open-air lobby and reflecting pool. New walkway and landscaping removed original bridge and (4) pools. Columns were enclosed with round stucco enclosures. Stucco infill can be seen on one-story wing with mechanical addition on roof.*





*Photograph #34: Lobby interior. All original materials – paving and marble (specially ordered charcoal brown marble sourced from Italy) are no longer extant.*

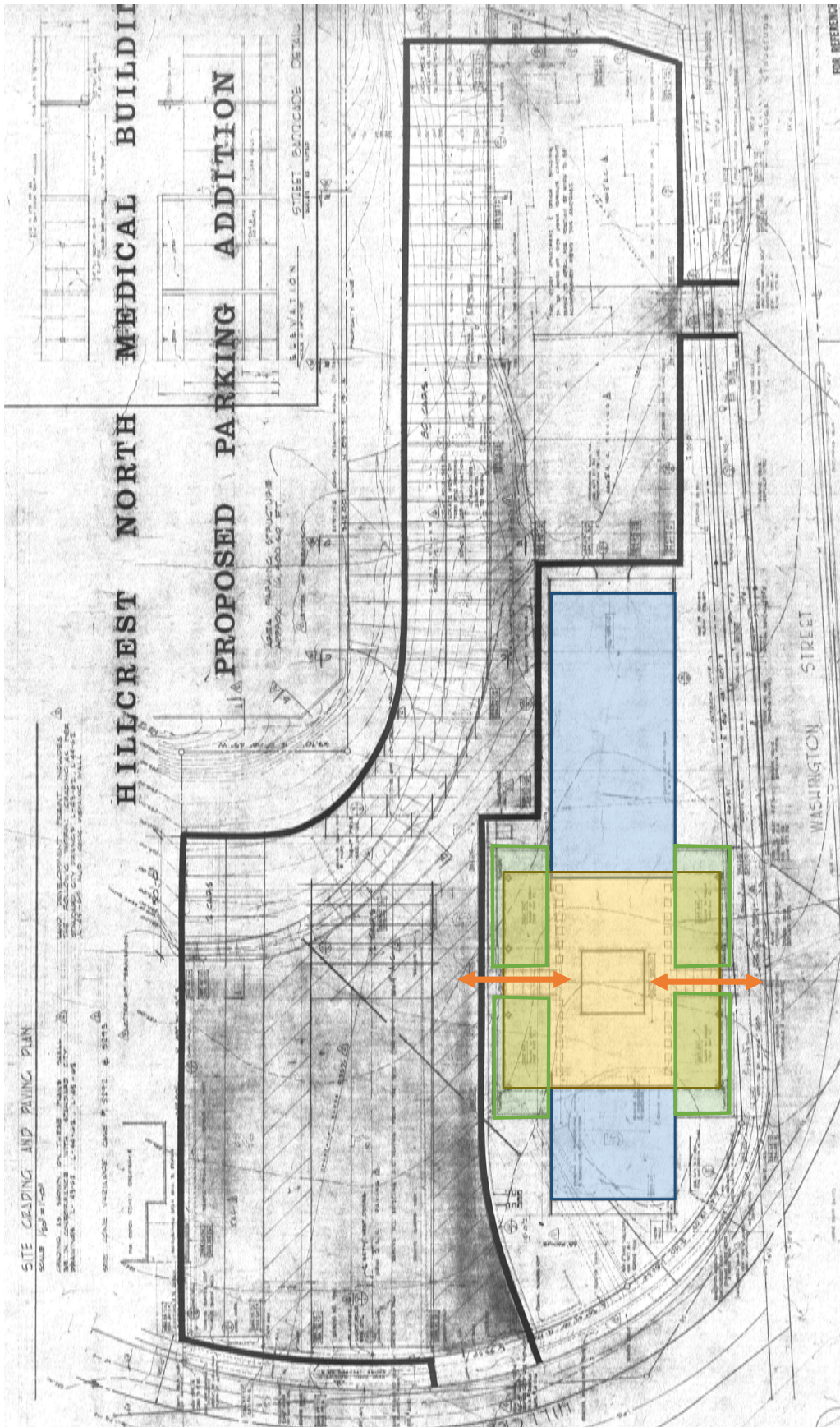


*Photograph #35: Former open-air lobby. East elevation of one-story wing with visible mechanical units and stucco infill. Stucco garden wall and aluminum dual glazed windows enclose lobby along north side of lobby.*



*Photograph #36: Current aerial site plan*



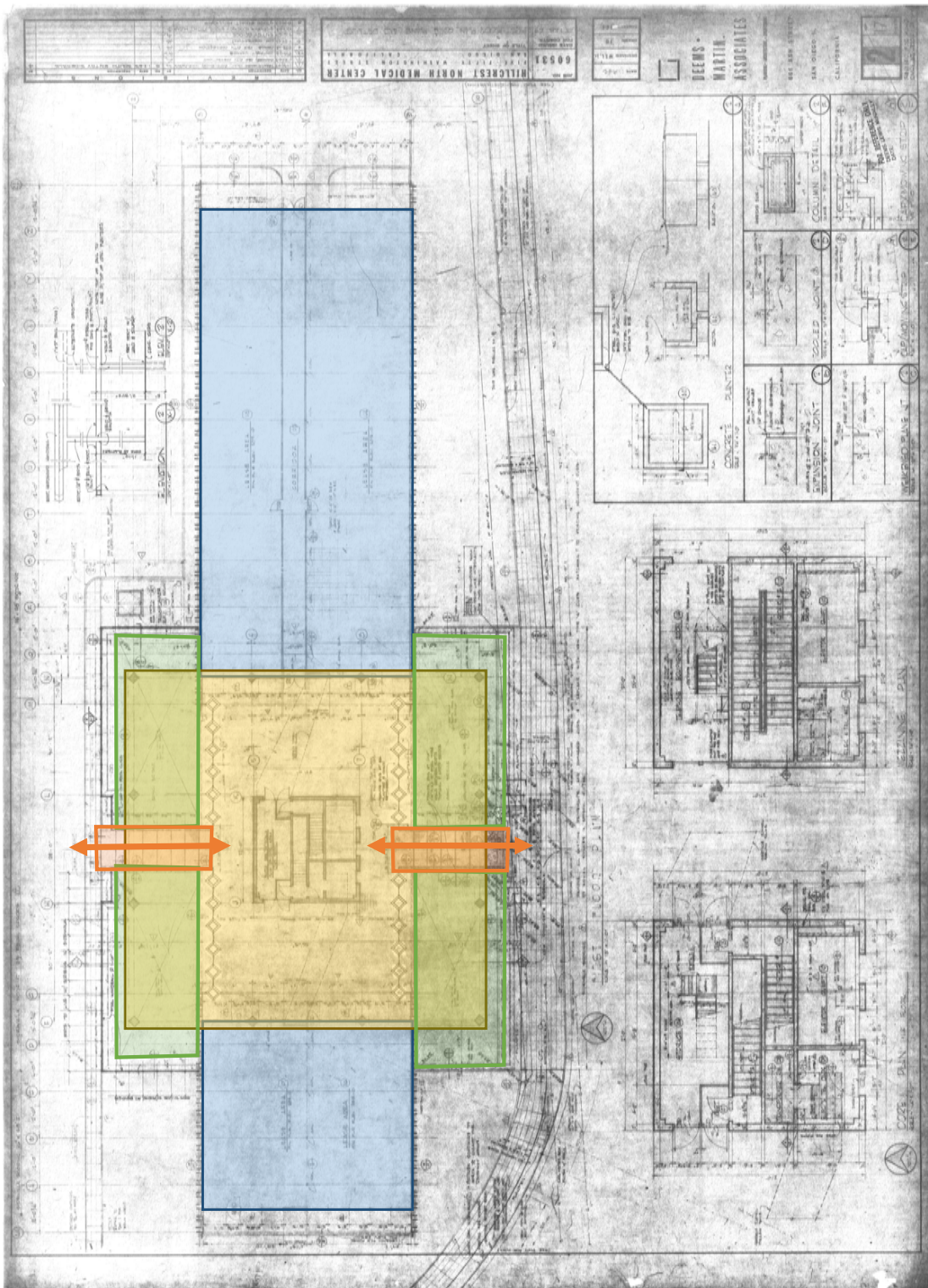






-  One-story wings
-  Tower in plan
-  Reflecting pools
-  Pedestrian access

Photograph #37: Original site plan



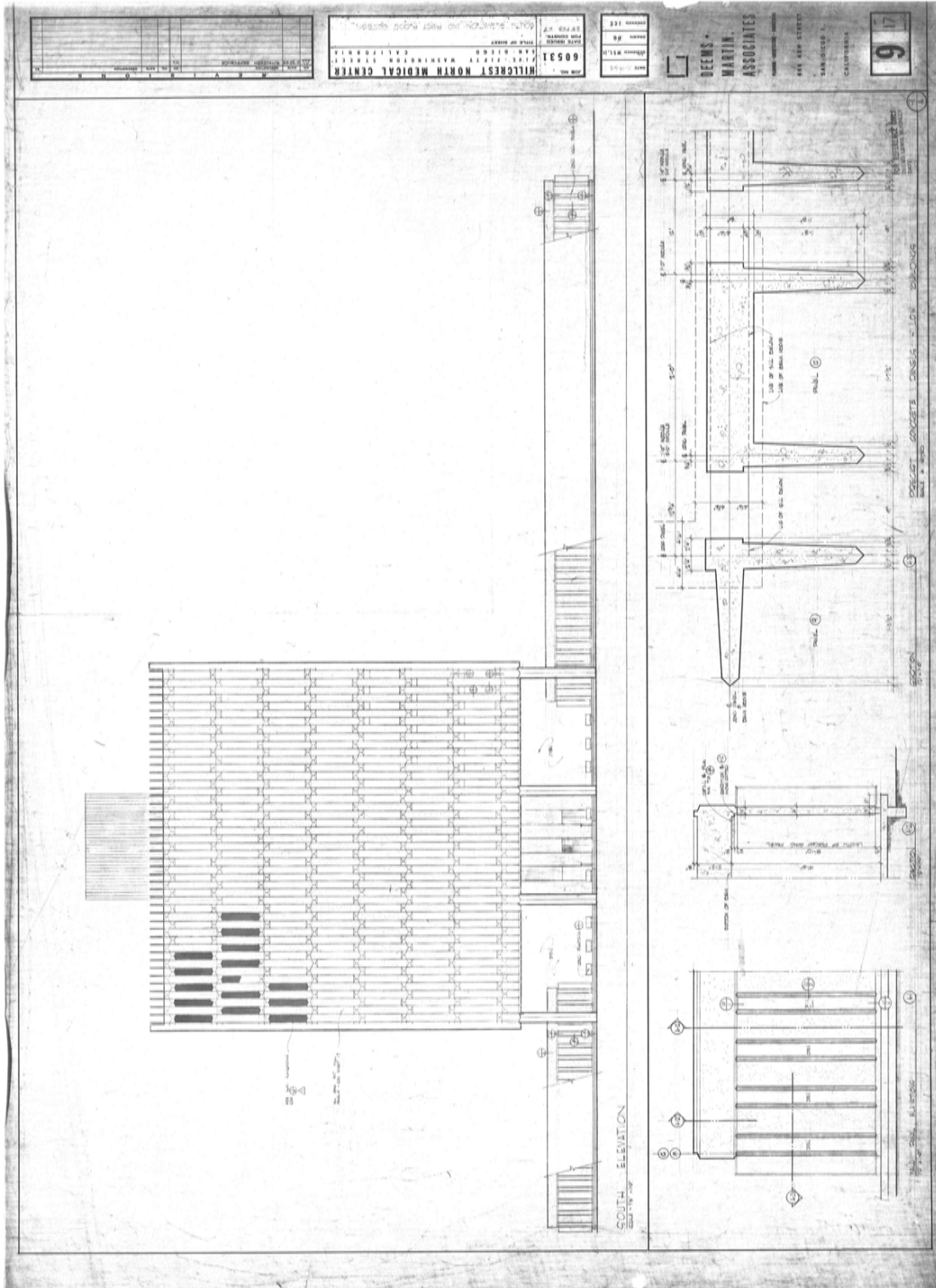




-  One-story wings
-  Tower in plan
-  Reflecting pools
-  Pedestrian access

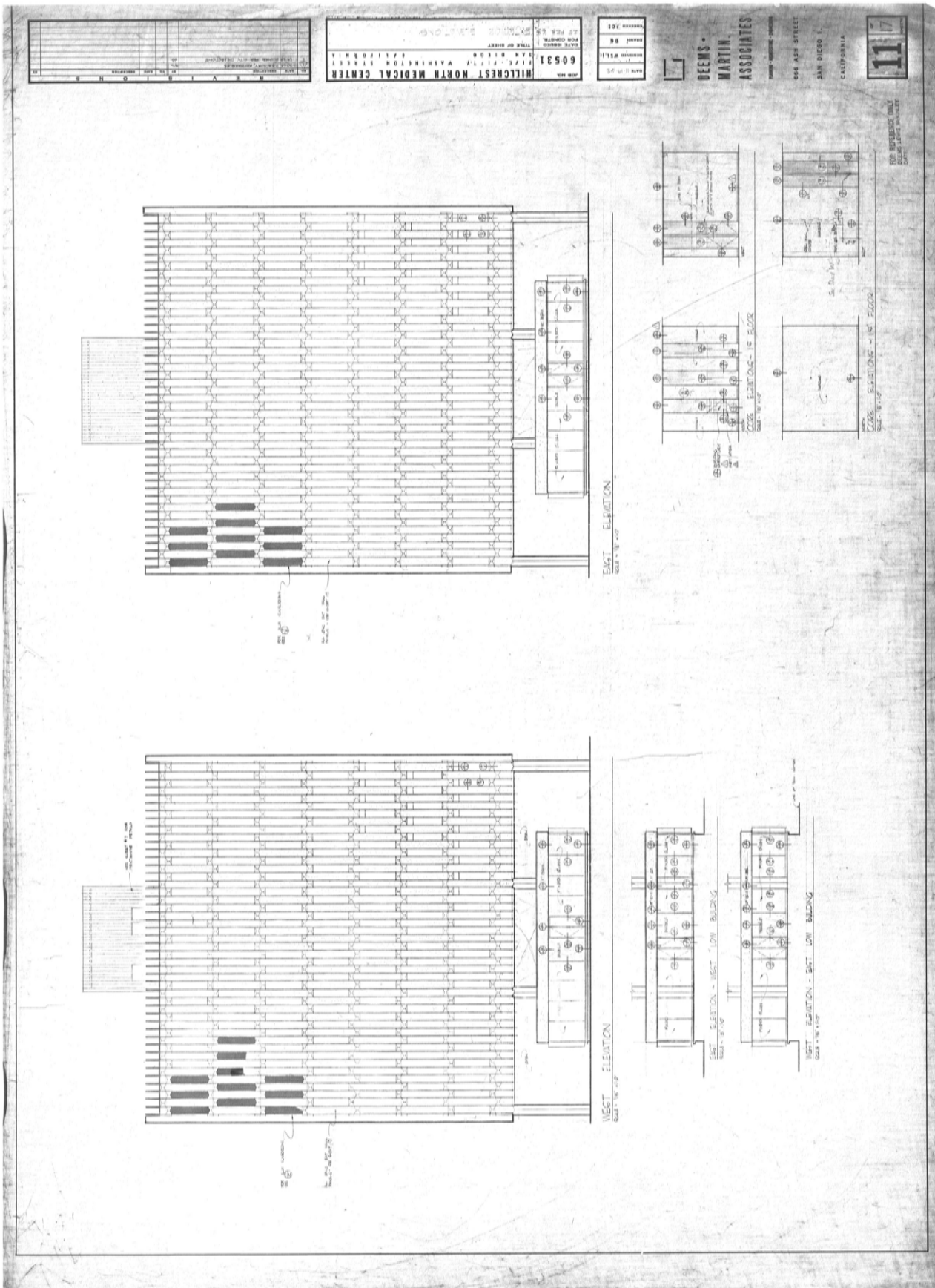


Photograph #38: Original floor plan



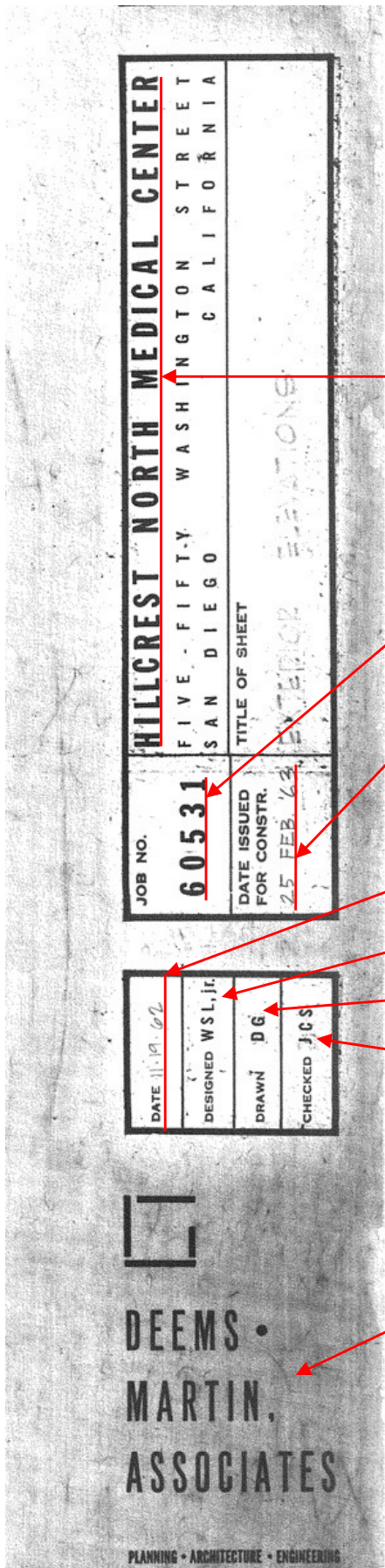
Photograph #39: Original elevation





Photograph #40: Original elevation





Hillcrest North Medical Center  
550 Washington Street

Job No. 60531

Date Issued for Construction 2/25/1963

Date Drawn: 11/19/1962

Designed: WSL, Jr

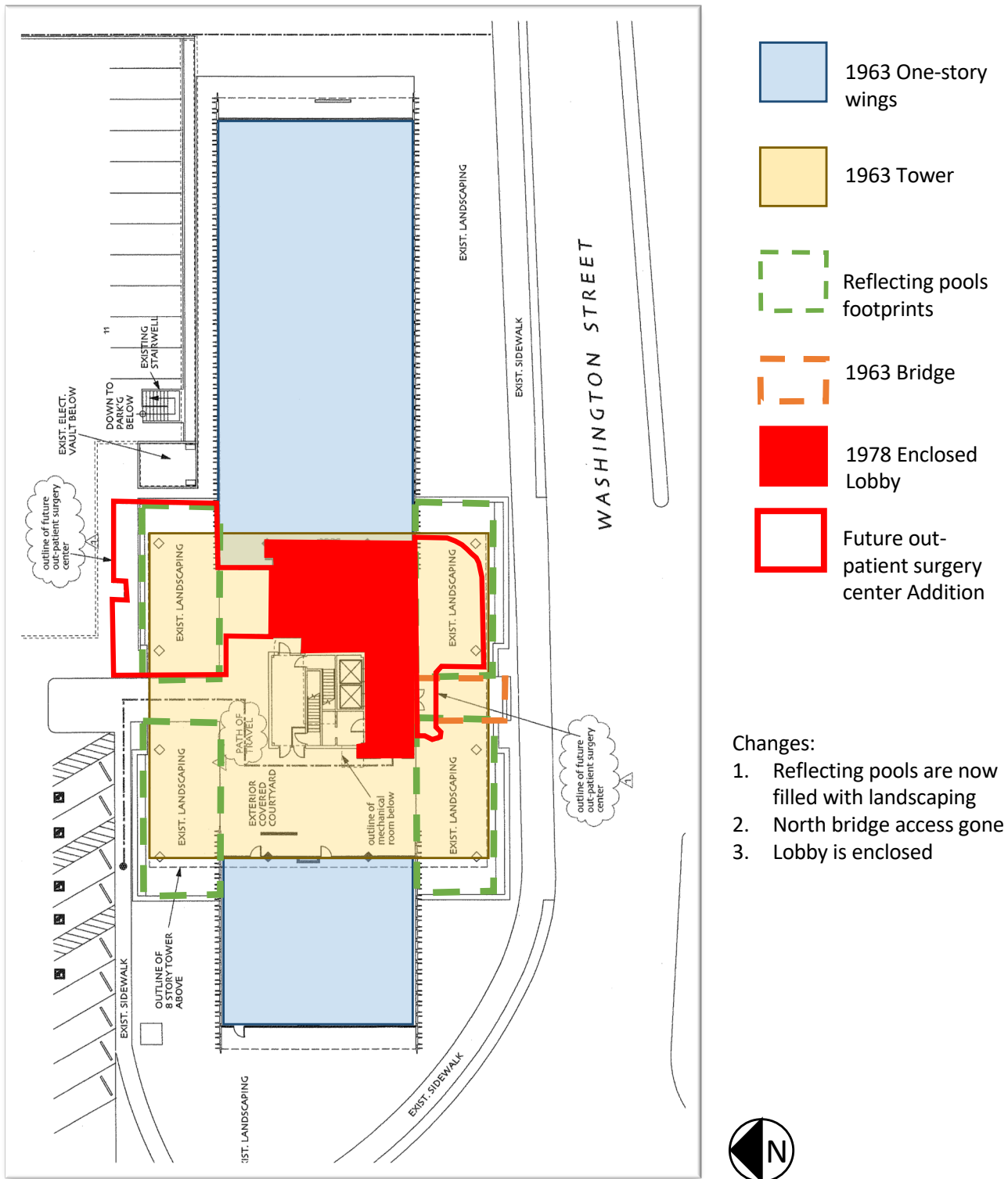
Drawn: DG

Checked JCS

Deems • Martin, Associates

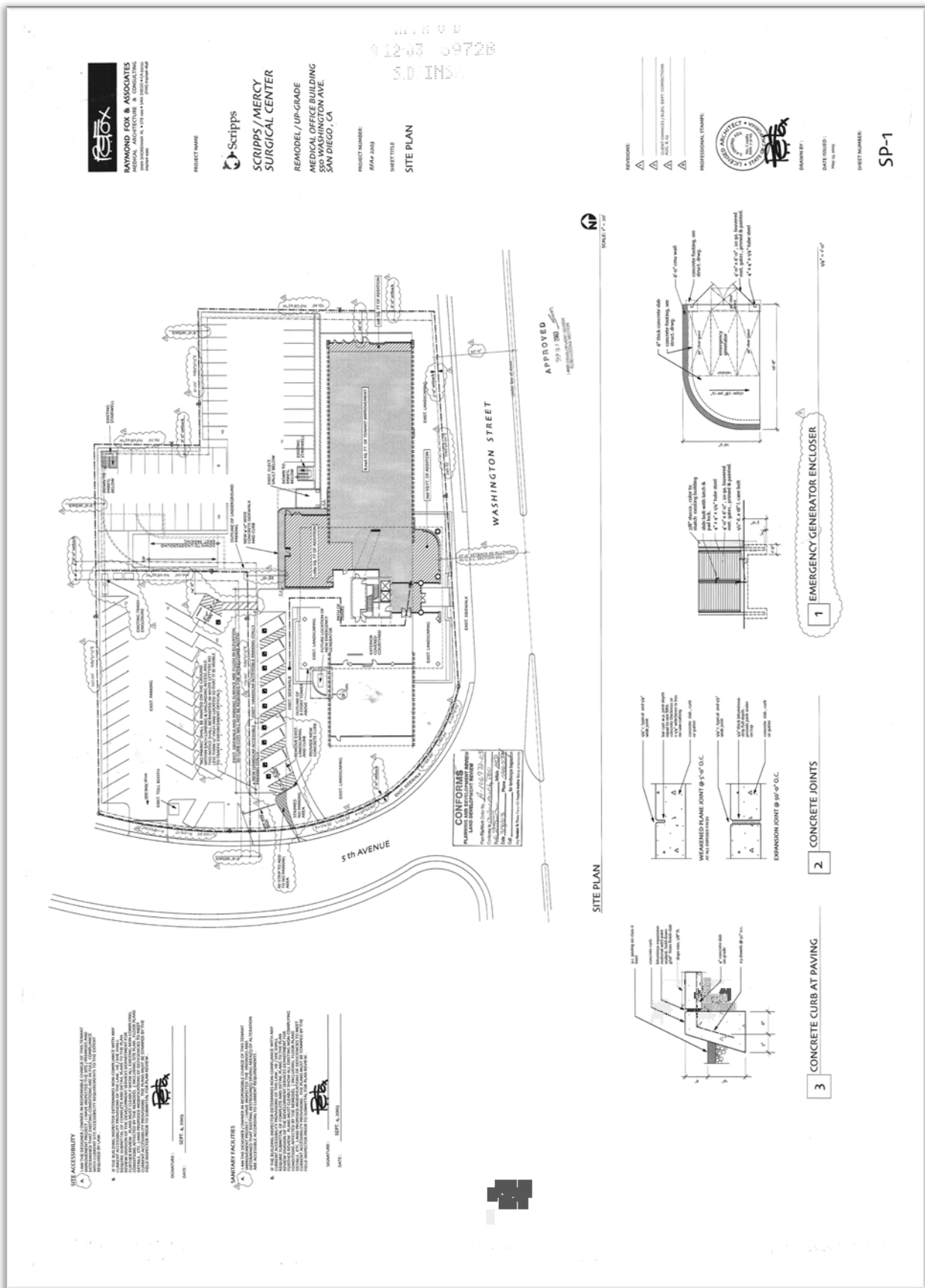
Photograph #41: Original construction drawing title block





Photograph #43: 2003 construction drawing, site plan





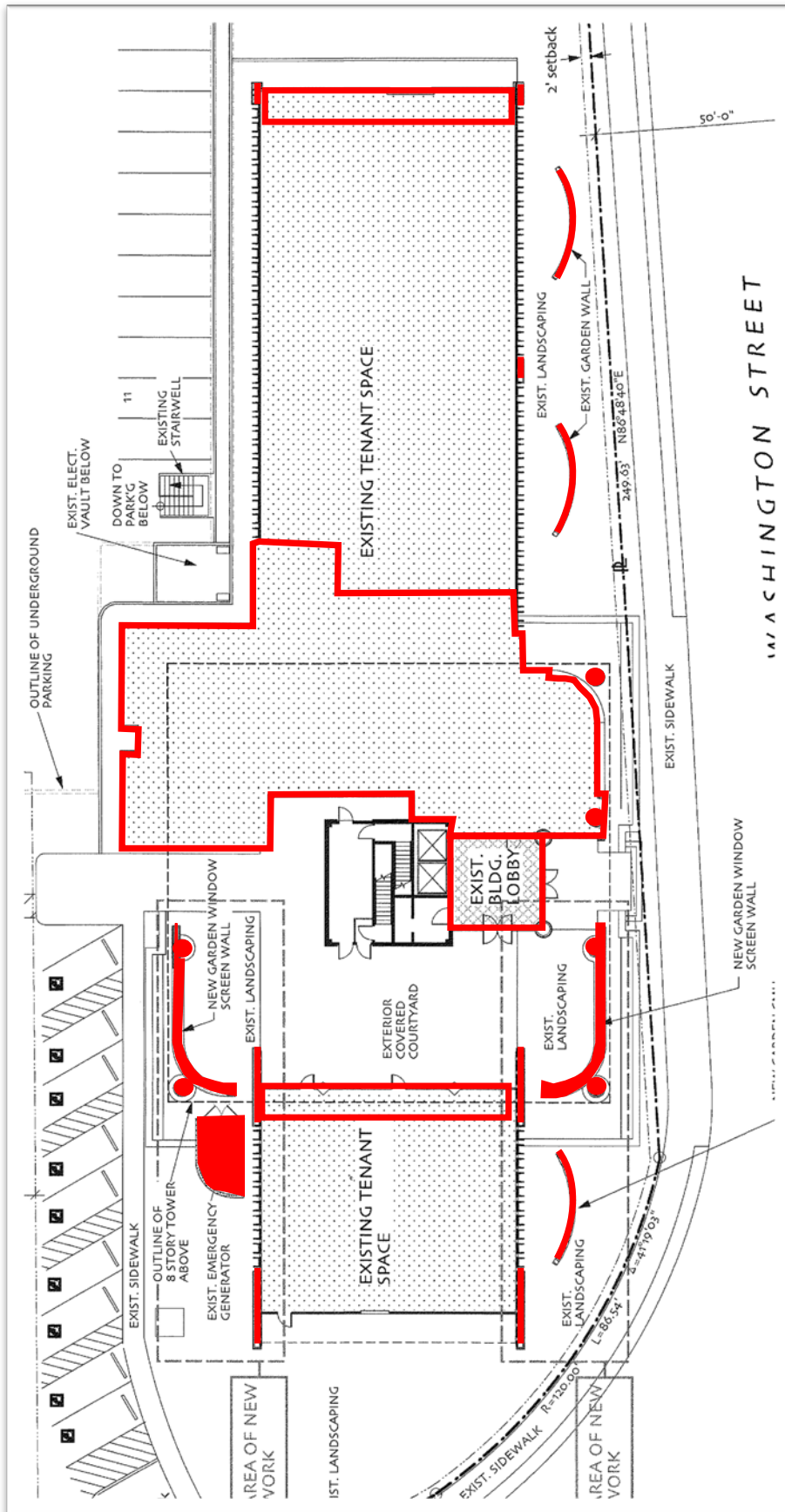
Photograph #44: 2003 construction drawing, site plan











- Out-patient surgery center Additions
- Exterior additions

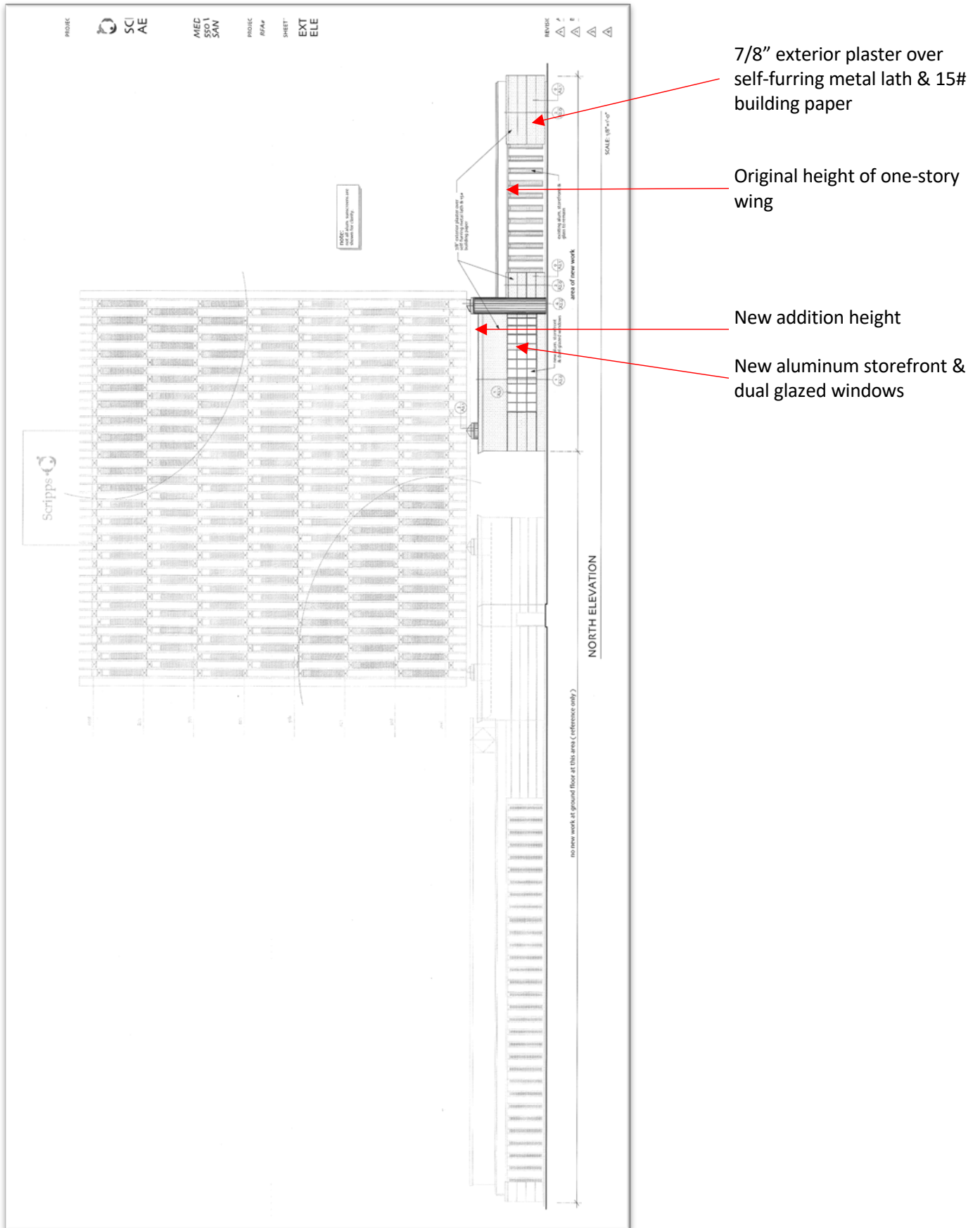
Changes:

1. New Garden walls
2. Column enclosures
3. Stucco walls on top of one-story wing walls

Photograph #47: 2003 construction drawing, floor plan

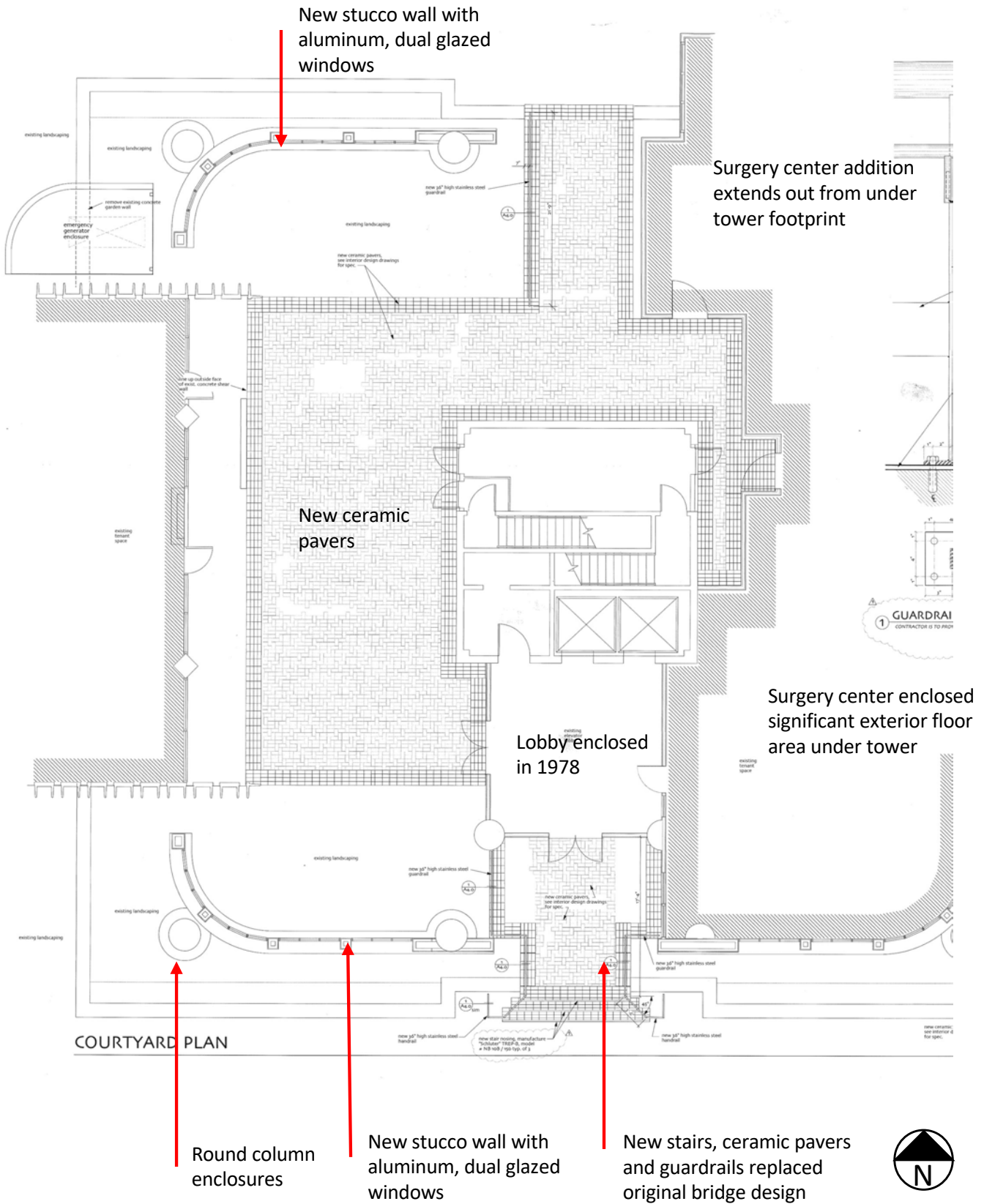






Photograph #49: 2003 construction drawing, elevation





Photograph #50: 2003 construction drawing, site plan

## 4 Significance Evaluation

The City of San Diego, State of California, and National Park Service each have historic preservation programs that provide guidance on the evaluation of a property's potential historic significance. Each of these programs have their own criteria for establishing historical significance; however, their criteria are similar and based upon historical contexts and themes. Although each of the three historic preservation programs have multiple criteria upon which to evaluate significance, only one criterion must be met within each respective program to establish historic significance for that agency.

In addition to the evaluation of historical significance, the three aforementioned historic preservation programs require that a property retain sufficient integrity. Integrity refers to the sufficient presence of a property's physical features necessary to retain its historical character. Sufficient retention of historical character is necessary to convey historical significance.

The following sections include evaluations of the Property for:

- Integrity evaluation;
- Historical significance under the City of San Diego's criteria;
- Historical significance under State of California criteria; and
- Historical significance under National criteria.

### 4.1 Integrity Evaluation

In addition to determining the significance of a resource under local, state, and federal criteria, a resource is also assessed for integrity. Integrity is the ability of a resource to convey and maintain its significance. To retain historic integrity, a resource must possess several, and usually a majority, of the seven key aspects of integrity: Location, Design, Setting, Materials, Workmanship, Feeling and Association.

According to the City's Guidelines for the application of the Historical Resources Board Designation Criteria, there are two important principles for understanding Integrity:

Integrity is the authenticity of a historical resource's physical integrity clearly indicated by the retention of characteristics that *existed during the resource's period of significance*.

Integrity relates to the *presence or absence of historic materials and character defining features*.

Historical resources eligible for designation by the HRB must meet one or more of the designation criteria and retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance.<sup>27</sup>

#### Application of the seven aspects of Integrity:

1. Location: Location is the place where a resource was constructed or where an event occurred.

---

<sup>27</sup> Guidelines for the Application of Historical Resources Board Designation Criteria, Pg. 3-4.

The Property remains in its original location. Therefore, it has retained its Location Integrity for its 1964 period of construction.

2. **Design:** Design results from intentional decisions made during the conception and planning of a resource. Design includes form, plan, space, structure, and style of a property.

The Property's tower maintains the same massing as when it was first constructed; however, the remainder of the Property's design, that portion of the Property that is most visible from street view, was significantly modified through permitted alterations beginning in 1978. These significant alterations removed the Property's authentic representation of its 1964 Modernist design including its form, plan, space, structure, and style; therefore, the Property no longer retains its Design integrity.

3. **Setting:** Setting applies to the physical environment, the character of a resource's location, and a resource's relationship to the surrounding area.

Initially, the Medical Complex Neighborhood was developed with low and medium density residential buildings and commercial buildings along Washington Street; and the area included typical San Diego landscape features of canyons and hillsides, including a small canyon along the north side of the Property. Over time, these canyons were infilled and developed including construction of a parking garage at the north side of the Property in 1981. In addition, visual and physical access to the Property were impacted due street redesign, addition of the parking garage in 1981 and alterations to the ground floor lobby. These changes to the Property's setting, significantly altered both visual and physical approaches to it; therefore, the integrity of Setting is no longer present.

4. **Materials:** Materials comprise the physical elements combined or deposited in a particular manner or configuration to form a property.

The Property's original design had a unique and specific arrangement of materials. Significant alterations transformed these materials, changing the configuration of the property. Specifically, the following materials were removed: the iconic open-air pavilion's specially sourced Italian marble, the terrazzo pedestrian bridges, raised planters, and monumental reflecting pool. In addition, the following materials were added: slender rectangular columns were enclosed within circular stucco surrounds and contemporary wall framing, stucco finishes, stucco details and aluminum framed dual-glazed windows were added to both one-story wings and under the tower. The manner in which the Property's physical elements exist today are no longer an authentic representation from its period of significance and the integrity of Materials is no longer present.

5. **Workmanship:** Workmanship consists of the physical evidence of the crafts employed by a particular culture, people, or artisan, which includes traditional, vernacular and high styles.

Historical photos do display "crafts" employed in the original construction of the 1964 Property. Significant alterations to the Property's entire ground floor in 1978, 1991, and 2003 removed any significant portion of these elements. These alterations transformed the Property from its 1964 high-styled concrete tower. The alterations included the removal of iconic open-air pavilion, removing the structural and visual separation between the tower and both one-story wings. The loss of this



separation and the design change to the Property's original ground floor composition rendered the integrity of Workmanship as no longer present.

6. Feeling: Feeling relies on present physical features to a property to convey and evoke an aesthetic or historic sense of past time and place.

The Property's tower retains its original massing and scale; however, alterations (summarized above) were made to the entire ground floor, completely altering its original design composition. The flow of open space under and around the tower, both physically and visually was integral to the Property's design aesthetic which created unique relationships between the tower and its one-story wings. Without these formal relationships the Property no longer evokes its original Modernism aesthetic; therefore, it no longer retains its Feeling aspect of integrity.

7. Association: Association is the direct link between an important historic event or person and a historic property.

Historical research indicates a historical association between the Property's design and architect William Lewis, considered to be a Master Architect in San Diego. The Property has multiple significant alterations, including: the loss of the majority of the ground floor's massing; windows and door patterns; flooring and wall materials; ornamentation; the tower's column proportions; and the loss of the spatial relationship between the tower and the single-story wings. The Property's iconic tower remains intact, but none of the Property's iconic original features remain today. Per an evaluation under the Guidelines, the Property is no longer a representative example of Master Architect Lewis' body of work, while it retains some basic features conveying massing it has lost the majority of the features that once characterized its style and identified it as the work of a Master. The Property is no longer a representative example of Master Architect William Lewis's work and does not meet the criteria for significance under Criterion D: Master Architect. Therefore, the Property no longer maintains an Associative element of integrity.

#### Integrity Conclusion

Of the seven aspects of integrity, the Property has retained one aspect: Location.

## 4.2 Application of San Diego Historical Resources Board (HRB) Register Significance Criteria

According to the City of San Diego Land Development Manual, Historical Resources Guidelines, Appendix E, Part 2: Any improvement, building, structure, sign, interior element and fixture, site, place, district, area, or object may be designated as a historical resource by the City of San Diego Historical Resources Board if it meets one or more of the following criteria:

Criterion A: Exemplifies or reflects special elements of the City's, a community's, or a neighborhood's, historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development;

Criterion B: Is identified with persons or events significant in local, state or national history;

Criterion C: Embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;

Criterion D: Is representative of the notable work or a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman;

Criterion E: Is listed or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources; or

Criterion F: Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

Evaluation of the Property under the City of San Diego's criteria:

Criterion A (San Diego Register)

Community Development: The Resource exemplifies or reflects special elements of a city's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

Per Criterion A, a resource that exemplifies or reflects special elements of its development is significant. A "Special elements of development refer to a resource that is distinct among others of its kind or that surpass the usual in significance."<sup>28</sup> For each aspect of development, the resource shall exemplify or reflect a special element of that development which either maintains an established precedent or may itself be the model for development.<sup>29</sup>

In the context of Criterion A and per the Uptown Community Plan's Historic Element: Does the Property reflect a special element of Uptown's development and retain sufficient Integrity to convey this association?

History of Mid-century Highrise Design and Construction in San Diego<sup>30</sup>

Most building engineers, inspectors, architects and similar professionals define a high-rise as a building that is at least 75 feet tall. The history of skyscrapers in San Diego begins with the completion of the U.S. Grant Hotel, the first building considered high-rise in San Diego. The U.S. Grant Hotel (211'), designed by Architect Harrison Albright and completed in 1910 stood the tallest for 17 years until exceeded by the El Cortez Hotel. The El Cortez, designed by the architectural firm of Walker & Eisen, measured over 310', and was not surpassed until construction on the Executive Complex was completed in 1963. Situated at 1010 2<sup>nd</sup> Avenue and designed by Raymond Harry Ervin, the 350' building was San Diego's tallest until 1969. In 1969, the Complex was displaced by 530 B street, also known as

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<sup>28</sup> *Guidelines for the Application of Historical Resources Board Designation Criteria*, Pg. 7.

<sup>29</sup> *Guidelines for the Application of Historical Resources Board Designation Criteria*, Pg. 8.

<sup>30</sup> From the archives of Marie Burke Lia, Attorney at Law. 1980-2020.

the Southern California First National Bank (Union Bank of California Building today), which stood as the tallest building for two decades with its height of 388 feet. 530 B Street was designed by the firm of Tucker, Sadler, and Bennet (Tucker Sadler, today).

Well suited to high-rise buildings, New Formalism emerged as an architectural style in the mid-1950s and was in full swing in the United States by the 1960s. As its name suggests, the designs were meant to evoke Classical architecture - typically Greek or Roman, but sometimes even Gothic. Elements of the style included precast concrete, classical colonnades and marble arcades.

Buildings that were similarly designed and built as the Property include the Chamber Building (13-stories tall)—of slipform construction—and designed by LA Architects Palmer & Krisel in 1961. Situated at 110 West C Street, this building exhibits elements of New Formalism. Like the Property, the Chamber Building features a high-rise tower set atop a podium. A portion of the podium is embellished with decorative concrete.

530 B Street, at 388', also has a 2-story platform including banking, shops, offices and parking. Constructed in 1966, it has precast concrete wall panels. A \$15 million remodel in 1992 focused on the building's interior and included refurbished bathrooms, a redesigned lobby and landscaping the third-floor terrace.

The SDG&E Corporate Building (also known as the Sempra Building at 101 Ash Street), at 291.99', was completed in April 1968. A portion of the platform displays tall glass windows facing toward its exterior columns—giving that portion of the ground floor an open-air feel. The building was designed by Richard G. Wheeler.

Also designed by Wheeler, and the firm of Bird, Fujimoto, Fish, is the 19-story Westgate Hotel built in 1970 at 1055 2<sup>nd</sup> Avenue. Most similar to the Property's design, the Westgate Hotel's design encompasses a full city block and includes the character defining features of the New Formalism style. The Westgate Hotel's design includes a podium with two buildings separated by an open-air court between, running east west across the site. The hotel building is on the north side of the court. It rises 20 stories from the street with a lower level for parking and hotel shops. The open-air court is landscaped with above ground planters and lined with colonnades. A two-story office building with ground floor commercial flanks the open-air court. A majority of the entire ground floor is transparent with floor to ceiling glazing and open-air courts.

Each of these San Diego mid-20th -century high-rises exhibited similar elements to the Property and were recognized in the local media. However, the Property was a better, and more innovative example of a mid-century high-rise designed in the New Formalism style among its contemporaries. Its open-air pavilion with reflecting pool, slender columns, separate (but related) one-story wings, concrete panels, and aluminum tracery exemplified the New Formalism ethos. While 530 B Street, SDG&E and the Westgate are significantly taller than the Property, it was the view from street level which made 550 so noteworthy.

#### Evaluation of the Property under Criterion A:

1. Historical Development shall exemplify or reflect a special or unique aspect of the City's general historical development; or shall exemplify or reflect a unique aspect of the City's history.



The Property was developed by the Whitson Co. as a speculative medical office building. They sold it soon after it was completed to Gynob Co., Inc. The Property ownership and management has been controlled by Scripps Mercy Hospital since 1995. Medical use development within the Medical Complex neighborhood was initiated with the development of County Hospital (UCSD today) in 1904 and Mercy Hospital (Scripps Mercy today) in 1926. Therefore, the Property reflects an established pattern of the city's Historical Development in the Medical Complex Neighborhood and is not a special or unique aspect.

2. Archaeological Development exemplifies subsurface deposits and features that were part of early human development on the site.

No such deposits or features exist; therefore, the Property does not exemplify or reflect Archaeological Development.

3. Cultural Development exemplifies or reflects development that is associated with a group people linked together by shared values or beliefs, properties associated with significant achievements in the visual and fine arts, or disciplines associated with the public or private institutions of higher learning and/or academic inquiry.

The Property does not possess a Cultural aspect of significance and it does not exemplify or reflect an aspect of San Diego's Cultural Development.

4. Social Development exemplifies or reflects development that is associated with relations or interactions with others.

The Property is not associated with any such relations or interactions of Social Development.

5. Economic Development shall exemplify or reflect development associated with the local, regional, state or national economy or economics, including manufacturing, labor, agriculture, maritime or transportation industries.

The Property represents the speculative expansion of medical office buildings in the Medical Complex neighborhood. While San Diego's economic development was the catalyst for high rise construction in the city, the Property was not San Diego's first high rise and is one of many with this association in San Diego and does not have an association of any greater significance than the usual, therefore, it cannot have an association with the Economic Development aspect of significance.

6. Political Development shall exemplify or reflect development associated politics or the political atmosphere or related movements.

The Property does not have any Political Development associations.

7. Aesthetic Development shall exemplify or reflect development associated with an artistic arrangement in theory or practice.

The Property does exemplify an artistic arrangement in theory or practice.

8. Engineering Development shall exemplify or reflect development associated with Engineering Development.

The Property was constructed by Peter Kiewit and Sons with Charles Pankow leading the project for Kiewit. They were early proponents of design-build construction methods. The firm demonstrated that early collaborative planning and design could lead to extensive cost savings during planning and construction of the iconic Los Angeles American Cement Building, completed in 1961.<sup>31</sup> They then brought these skills to San Diego when Kiewit was hired to build the thirteen-story First and C Building (the Chambers Building today) in 1961. Their involvement on the Property followed these seminal projects.

The design-build construction method and engineering principals employed at the Property were not new, having been developed in other regions of the United States, especially Los Angeles and in downtown San Diego. Other construction and engineering techniques attempted at the Property, including a top-down concrete floor framing technique, did not result in new engineering methodologies.<sup>32</sup> The Chamber building is an earlier example of slipform construction in downtown San Diego, therefore the Property does not reflect a significant Engineering Development aspect of significance.

9. Landscape Development shall exemplify or reflect development associated with garden and park design, subdivision design or ecosystem/habitat restoration.

Due to significant alterations, the Property's existing landscaping is no longer representative of Wimmer Yamada and Caughey's iconic minimalist landscape design. Initially, the landscape design included an open-air pavilion on a raised plinth accessed by terrazzo pedestrian bridges, raised planters, four reflecting pools, modernist pavers, geometrically arranged trees and monument signage that complimented the Property's design. Almost nothing of the original landscape design remains. Planters were filled in and the open-air pavilion was enclosed. New stucco landscape walls and tropical plantings infill the site. The landscape that is present today lacks a formal design, and therefore, it no longer has a significant association with Landscape Development.

10. Architectural Development shall exemplify or reflect development associated with the city's built environment, especially that designed and constructed by non-architects, including real estate developers, contractors, speculators, homeowners and others associated with the building industry.

The Property's unique design and large size spurred significant media attention throughout its development, design, and construction. Its completed design exemplified mid-century high-rise architecture in the New Formalism style. However, due to significant permitted and irreversible alterations its key New Formalism features were irreparably changed. New construction removed many

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<sup>31</sup> A Better Way, p. 54

<sup>32</sup> Ibid. pp. 65-66

of the unique architectural design characteristics and features that made the Property notable, therefore it no longer has a significant association with the City's Architectural Development.

The Property was an example of a mid-century high-rise designed in the New Formalism style. Its open-air pavilion with reflecting pool, slender columns, separate (but related) one-story wings, concrete panels, and aluminum tracery exemplified the New Formalism ethos and set it apart from its contemporaries. However, its design was not recognized by the architecture community; the American Institute of Architects did not recognize the Property's design at its biannual awards in 1964. (Five other buildings by Deems Martin Associates were honored that year.<sup>33</sup>) The Property's ground floor pavilion received much media attention, but this significant and unusual element was lost when the lobby was enclosed in 2003. Multiple iconic features were lost as a result of successive alterations. Chief among them, the open-air lobby, which was a special element, and differentiated the Property from its other New Formalism high rise contemporaries, is no longer extant. Therefore, under Criterion A, the Property does not qualify under Architectural development.

Criterion A (San Diego Register) Conclusion:

No historical evidence was identified regarding the Property to suggest that it currently exemplifies or reflects a special or unique aspect of the City's general historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development; or that it exemplifies or reflects a unique aspect of the City's history. The Property is an altered example of mid-century, high-rise medical office development designed in the New Formalism style and located in the Medical Complex Neighborhood. The Property's expression of the New Formalism style was distinct among others of its kind but due to alterations, it does not surpass the usual for mid-century high-rise New Formalism styled buildings. Therefore, it does not merit designation under Criterion A.

Criterion B (San Diego Register) Persons or Events:

The Resource is identified with persons or events significant in local, state, or national history.<sup>34</sup>

Owner #1: the Whitson Company (1939 – 1965)

The Whitson Company was a land development company owned by Robert Whitson Sr. and Robert Whitson Jr. (son and grandson of William Whitson, originator of the Hillcrest Company credited with initial development of the Hillcrest neighborhood). Per Chain of Title documents, the Whitson Company purchased the parcel from other Whitson family members. The Whitson Company conceived of a speculative medical office building on the Parcel and hired architects and contractors for its development.<sup>35</sup> It sold the completed Property shortly after construction, partially leased, to GYNOB Inc. Research on the Whitson Company, beyond its development of the Hillcrest North Medical Center is scant. It appears that most of the Whitson family relocated from San Diego to Los Angeles between 1923 and 1940.<sup>36</sup> Robert Whitson Jr. returned to San Diego in 1955 to work for the Whitson Company, developed the Hillcrest North Medical Center and then left for Whitter, California in 1966, but returned to San Diego again in 1968 to work in real estate property management until his retirement in 1978.<sup>37</sup>

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<sup>33</sup> Deems and Lewis were recognized in the 1964 AIA Awards, but not for Hillcrest North Medical Center. Instead, they won a Merit Award for their design of the office building for Attorneys Rubin, Seltzer and Solomon.

<sup>34</sup> *Guidelines for the Application of Historical Resources Board Designation Criteria*, Pg. 15.

<sup>35</sup> San Diego Union, Medical Group Busy New Hillcrest Center. 1965. P. 105.

<sup>36</sup> <https://www.thewhitsoncompany.com/#our-mission-section> Accessed October 2019

<sup>37</sup> <https://www.thewhitsoncompany.com/#our-mission-section> Accessed October 2019



The Hillcrest North Medical Center is the only building found to be credited to the Whitson Company and both Robert Whitson Sr. and Jr.

Owner #2: Gynob, Inc. (1965 – 1973)

Available historical information regarding this owner is scant. Per an article in the San Diego Union Tribune in 1965, Gynob, Inc. was a corporation of approximately 20 doctors with headquarters at 525 Hawthorn Street in 1965. The doctors expected to relocate into the Property after its purchase. At the time of purchase, 25 additional doctors, who were not members of the corporation were already operating out of the new medical office building.

Owner #3 - #20: (1973 – 2016)

These owners were either outside the period of significance or owned the parcel for less than five years and therefore were not researched.

The Whitson Company's Robert Whitson Sr. and Robert Whitson Jr. conceived of the Property as a speculative development to fulfill a need for modern medical office space conveniently located near a hospital. William Whitson left San Diego around the time of WWII and was no longer a member of the San Diego real estate community at the time of the Property's construction. Robert Whitson Jr. relocated back to San Diego from Los Angeles for the project's development. While William Whitson, father and grandfather to Robert Sr. and Robert Jr., was a significant person in San Diego's history, specifically the development of Hillcrest, neither Robert Sr. nor Robert Jr. are significant within local, state or national history. Neither has made demonstrable achievements or contributions that have historical significance within the City of San Diego.

Gynob Co., Inc. was the second owner and operator of the completed property. They maintained ownership for eight years. Archival research did not yield any information regarding this organization's role within the history of City of San Diego beyond the fact that they owned the property for eight years.

Based upon available research, no person who is significant in local, state or national history, has made demonstrable achievements and contributions to the history of San Diego, the state or the nation has been identified with this property, and therefore the property does not qualify for designation under Criterion B for identification with a person.

In order for a property to qualify for designation under Criterion B for association with an event significant in local, state or national history, the event must be significant in the history of San Diego, the state or the nation. No such event has been identified with this property and therefore, the property does not merit designation under Criterion B.

Criterion B (San Diego Register) Conclusion: The Property is not eligible for local designation under the City's Criterion B as it is not identified with any persons or events as defined in that Criterion.

Criterion C (San Diego Register) Architecture:

The Resource embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of indigenous materials or craftsmanship.<sup>38</sup>

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<sup>38</sup> *Guidelines for the Application of Historical Resources Board Designation Criteria*, Pg. 20.

Criterion C applies to resources significant for their physical design or method of construction. To embody the distinctive characteristics of a style, type, period or method of construction refers to the way in which a property was conceived, designed, or fabricated by an individual, a group of people, or a culture. Distinctive characteristics are those physical features or traits that commonly recur in individual styles, types, periods or methods of construction. The resource must embody distinctive characteristics of an architectural style, a type of construction, a recognized construction period, or an identifiable method of construction, as established through accepted bodies of scholarly and professional work. Comparison to other resources of the same style, type, period, or method of construction is not required unless scholarly work has not been done on a particular property type or unless surviving examples of a property type are extremely rare.

It is important to note that Criterion C states that a resource embody the distinctive characteristics of a style, type, period, or method of construction. Criterion C does not state that the resource must be a unique or distinguished example of a style, type, period, or method of construction. Resources which do not embody the distinctive characteristics of a style, type, period, or method of construction as supported by established sources do not qualify.

#### Architectural Style

Designed in 1961 for the Whitson Company, the original Property's design is credited to William Lewis of Deems-Martin Associates, a San Diego branch of the Los Angeles architecture firm, A. C. Martin. Various publications as well as both Deems and Lewis, described the Property's unusual design,

*Deems said the design "borrows from the past to answer a need of the present by use of a tracery on the outside face of the tower." A number of unusual features have been incorporated in the design. The main portion of the tower is on piers and is open a full story at street level. A large reflecting pool will surround the lobby, with pedestrian bridges of terrazzo leading from entries on Washington Street and the parking lot. All entry in the building will be through this stepless lobby.<sup>39</sup>*

*After a long search of marble supplies in Italy, a special charcoal brown shade specified for facing on the core by the architects, Deems-Martin and Associates [sic] has been located.<sup>40</sup>*

Publications right after the completion of construction commented on the new design,

*Most immediately noted is the foyer, completely open, surrounded by reflecting pools and lush green plants and centered with an elevator shaft covered by highly polished charcoal-brown Italian marble. It is entered by terrazzo bridges across the pools.<sup>41</sup>*

Although widely publicized in San Diego, the 1964 Property is never described as embodying a specific architectural style in any of the publications. In designing the Property, Lewis presented a building representing the architectural style for which he became so well known—Modernism. However, an analysis of its modern style can be made as the design relates to the San Diego Modernism Context Statement. Its initial design (although significantly altered, as discussed in the Alterations section of this report) included characteristics and features common to both the International and Brutalist modern architectural styles as defined by the San Diego Modernism Context Statement. In addition, the Property exhibits characteristics and features related to the New Formalism style of architecture, which is not

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<sup>39</sup> *Union Tribune*. June 4, 1961.

<sup>40</sup> *San Diego Union*. June 2, 1963.

<sup>41</sup> *San Diego Union*. August 9, 1964.

included in the San Diego Modernism Context Statement. The Property is evaluated under all three styles in the following sections.

International Style

Per the San Diego Modernism Context Statement,

*The International style was a major world-wide architectural trend of the 1920s and 30s and reflects the formative decades of Modernism prior to World War II. Although the International style originated in Western Europe, it transcended any national or regional identity because International style architecture made no reference to local vernaculars or traditional building forms. The style quickly migrated to the United States as architects from Europe fled prior to WWII. In Los Angeles, immigrant architects Rudolph Schindler and Richard Neutra were instrumental in popularizing the International style. The emergence of International style architecture in San Diego came later with most examples built after 1935.*

*The International style is characterized by a radical simplification of form and a complete rejection of ornament. Common features of International style architecture include square and rectangular building footprints, simple cubic or extruded rectangular forms, horizontal bands of windows, and strong right angles. Predominant building materials include concrete, smooth stucco, brick, and glass.*<sup>42</sup>

International style characteristics<sup>43</sup>

Primary Characteristics

Characteristic feature	Expression in the Property
1. Flat roofs (cantilevered slabs or parapets)	<b>Partial</b> , parapet but exterior detailing is more ornate;
2. Lack of applied ornament	<b>No</b> , elevations are covered with repeated aluminum tracery at the tower. the one-story wings have contemporary stucco ornament, a later addition;
3. Horizontal bands of flush windows	<b>No</b> , windows are vertically oriented where they are visible;
4. Asymmetrical facades	<b>No</b> , the tower is symmetrical. However, one-story wings are now asymmetrically massed.

Secondary Characteristics

Characteristic feature	Expression in the Property
5. Square corners	<b>Partial</b> , exterior ornamentation blurs corners
6. Common exterior materials include concrete, brick, and stucco	<b>Yes</b> , concrete is present however, stucco features were later added over some sections of concrete.
7. Steel, sash windows (typically casement)	<b>Yes</b> , but not operable
8. Corner Windows	<b>No</b>
<b>Total</b>	<b>2 of 8 Primary or Secondary Characteristics with 2 additional features partially expressed</b>

Per the San Diego Modernism Context Statement,

*In San Diego, examples of true International style architecture are rare with no great concentrations occurring in any one area. International style buildings in San Diego generally have commercial or*

<sup>42</sup> City of San Diego. *San Diego Modernism Context Statement*, p. 58  
<sup>43</sup> *San Diego Modernism*, p. 59



*institutional uses, such as schools. Residential examples in San Diego are uncommon, but there are some examples of International-inspired tract homes. They were advertised by Dennstedt builders as “Modern” in the late 1930s, and are located in the Rolando Village area.*

*Examples of this style in San Diego are limited; therefore, retention of good examples is important. Eligible resources should retain the majority of their character defining features, although some impact or loss to character defining features may be acceptable when comparative analysis demonstrates that the resource is a rare example of the type.*

*Location and setting are particularly relevant for International style resources which are institutional and related to a “campus” environment, and the preservation of the surrounding site may be important to the overall significance of the resource.*

*Typically, International style buildings will be significant individually due to their limited number and the rarity of resources gathered in a sufficient concentration to warrant district designation. However, tracts exhibiting an International theme, such as the one in the Rolando Village area, may be eligible for district designation.<sup>44</sup>*

#### Evaluation of International style as applied to the Property

The Property’s initial design included a number of the primary and secondary characteristics of the International Style; however, their representation is not strong in this Property. The San Diego Modernism Context Statement does not include the interior and exterior design qualities such as indoor and outdoor connections, rich materials, or structural expression. These were also common to this style and were present in the Property’s original design.

Permitted alterations to the entire ground floor removed and/or significantly modified important features of the Property’s original International Style to such an extent that the Property is no longer representative of the style.

#### Brutalism Architectural Style

Per the San Diego Modernism Context Statement,

*The name “Brutalism” originated from the French béton brut which means “raw concrete”. The term refers to the honest expression of materials, not a social attitude toward people. The style was largely inspired by Swiss architect Le Corbusier.*

*Brutalist buildings are generally strikingly blockish, geometric, and composed of repetitive shapes. The predominant building material is concrete, frequently revealing the intentional textures of the wood formwork. The concrete is intended to be fully expressed as both the primary structural material and finish. Critics of the style argued that it disregarded the social environment, making such structures inhuman, stark, and out of place.<sup>45</sup>*

#### Brutalist style characteristics<sup>46</sup>

##### Primary Characteristics

Characteristic	Expression in the Property
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<sup>44</sup> *San Diego Modernism*, p. 59

<sup>45</sup> *San Diego Modernism*, p. 78

<sup>46</sup> *San Diego Modernism*, p. 79.

1. Exposed and expressive structural system	<b>Yes</b> , at Tower, but structural system was replaced at the ground floor.
2. Monumental massing	<b>Yes</b> .
3. Angular and rectilinear forms	<b>Yes</b> .
4. Exposed concrete as building finish	<b>Yes</b> , but significant areas of stucco added to ground floor.

Secondary Characteristics

Characteristic	Expression in the Property
5. Repetitive patterns	<b>Yes</b> , but ground floor repetitive pattern was altered with contemporary additions.
6. Intentional avoidance of traditional elements or ornament	<b>Partial</b> , traditional ornament was excluded during the Property’s initial design and construction, but stucco ornamentation was added in 2003 over top of the Brutalist one story wings.
<b>Total</b>	<b>5 of 6 Primary or Secondary Characteristics with 1 additional feature partially expressed</b>

Evaluation of Brutalist examples, per the Modernism Context Statement,

*With the exception of the University of California San Diego (UCSD) campus, examples of Brutalism are rare in San Diego. In most cases these massive buildings are associated with the work of a recognized master architect, and would be considered for designation individually. Given the importance of the building form and materials to the expression of Brutalism, modifications which significantly alter or obscure these character defining features may render the building ineligible for designation.*

*Landscape styles vary dramatically for this sub-style. Location and setting are particularly relevant for Brutalist resources which are institutional and related to a “campus” environment, and the preservation of the surrounding site may be important to the overall significance of the resource.<sup>47</sup>*

New Formalism Architectural Style

The New Formalism architectural style is most often found in civic and corporate buildings such as banks, college campuses, concert halls, and museums.

New Formalism Style Characteristics<sup>48</sup>

Characteristic	Original (1964)	Expression Today
1. Lines and Geometric shapes dominate elevations (proportion and scale and organized hierarchy of space)	<b>Yes</b> .	<b>Partial</b> . The tower’s geometric, rectangular form remains as it was originally constructed. However, the ground floor’s alterations covered, impaired, and in some instances removed the ground floor’s original geometric design, plan, form, and style.
2. Typically have symmetrical elevations, including a grand axis	<b>Yes</b> .	<b>Partial</b> . The tower retains its symmetrical form. However, the ground floor is no longer symmetrical due to significant alterations to the once open-air lobby.
3. Surfaces are always smooth, exterior wall surfaces of cast stone, brick and marble	<b>Yes</b> .	<b>Partial</b> . The tower’s metal and concrete surfaces are smooth.

<sup>47</sup> San Diego Modernism, p. 79

<sup>48</sup> <https://dahp.wa.gov/historic-preservation/historic-buildings/architectural-style-guide/new-formalism>

		However, the ground floor now includes significant alterations finished with rough textured stucco which also removed and or covered the lobby's once sleek marble, steel, and concrete form.
4. Larger urban scale, Interest in relationship parts to whole (proportion and scale)	<b>Yes.</b>	<b>No.</b> Significant alterations enclosed the ground floor lobby which removed the separation originally provided between the tower and its ground floor wings through the void provided by the open-air lobby.
5. Often defined at top by heavy, flat projecting slab (Entablature)	<b>Yes.</b>	<b>No.</b> Enclosure of the lobby removed the top-heavy feeling that was originally created by the open-air lobby and thin columns supporting the tower
6. Repetition of arch motif is common (Colonnade)	<b>No.</b>	<b>No.</b>
7. Emphasis is placed on the structure or construction grid of the building. Column supports common along all elevations (Colonnade)	<b>Yes.</b>	<b>No.</b> Original columns are now enclosed within walls or large round columns shielded from view by free-standing stucco screens.
8. Patterned screens or grilles may appear as decorative features	<b>Yes.</b>	<b>Yes.</b> Aluminum tracery is still present today and it is a decorative feature because although it does provide sun-shading, this function is not necessary on the north elevation and it treats all elevations equally.
9. Separated from nature by being set upon a raised podium or base	<b>Yes.</b>	<b>No.</b> The original design included a formal landscape design with reflecting pools under and outside of the tower footprint. Significant alterations which removed the open-air lobby also removed and infilled the reflecting pool, an integral and iconic character defining feature.
<b>Total Characteristics</b>	<b>8/9</b>	<b>1 of 9 Characteristics with 3 additional features partially expressed</b>

Evaluation of New Formalism style as applied to the Property

The Property's initial completed design illustrates the character defining features of the New Formalism architectural style. Additionally, Deems himself is recorded as saying that his design borrows from the past, which connotes an association with an architectural vocabulary that references classical styles.

Based upon the above evaluation, the Property had a total of eight of nine character defining features from the New Formalism architectural style when it was built and was, therefore, an excellent and representative example of the style. However, as evaluated above, the Property retains only one original character defining feature: its tower with aluminum tracery. While the Property partially retains three character defining features, each of these three features are solely present at the Tower. Permitted alterations removed and/or greatly modified the Property's original New Formalism characteristics at the ground floor. These features, including its formal landscaping design, were integral to its iconic design and without those features the Property is no longer representative of the style.

Criterion C: Architectural Style Conclusion

At the time of its construction the Property was an excellent representative example of the New Formalism style. The Property, however, includes significant permitted alterations that removed or significantly impaired its important character defining features of the style. Loss of the Property's open-air pavilion lobby, distinct and separate single-story wings, structural support system expression, all four reflecting pools, marble lobby, terrazzo pedestrian bridges and original landscape design is significant, and these alterations are irreversible. Based upon this analysis, the Property no longer embodies



essential physical features of the New Formalism architectural style and cannot be representative of the style. Therefore, the Property cannot be eligible for historical designation under this Criterion.

#### Evaluation of the Property under Criterion C: Type of Building: Office

Type of construction refers to the way certain properties are related to one another by cultural tradition or function, by dates of construction or style, or by choice or availability of materials and technology. The form and material clearly demonstrate through the presence of essential physical features a specific purpose and/or function.<sup>49</sup>

The Property's type of function can be defined as an office building. It was specifically designed to function as a medical office building and the Property's form and materials were chosen to support this specific purpose. The Property's form included a central ground floor lobby with easy pedestrian access and open floor plans for flexibility of use by tenant. The materials included the use of structural steel and concrete in order to provide large open spaces not possible with wood framed construction.

A building is eligible as an example of its type of construction if it is an important example (within its context) of building practices of a particular time in history.<sup>50</sup>

550 Washington's form (central ground floor lobby and open floor plates) along with materials (steel and concrete) were typical office building design forms and materials available to architects and builders since the first steel office buildings were developed in Chicago during the 1880s.

#### Criterion C: Type of Building Conclusion

Office building design and construction using these forms (multi-story, repeated floor plates with open office plans around a central core) and materials (steel and concrete) arrived in San Diego during the early twentieth century when large banks and office buildings were developed in downtown San Diego, such as the seven story Scripps Building at 525 C Street, built in 1907 (HRB #344) and the eleven-story Robinson Building at 903 5<sup>th</sup> Avenue, built in 1913 (HRB #127) and later the fourteen-story Medico-Dental Building at 233 A Street, built in 1927 (HRB #135). Therefore, the office building type was well established locally by the time the Property was designed and built in 1964, and the Property is not eligible for designation as an important example of building practices.

#### Evaluation of the Property under Criterion C: Method of Construction: Slip-form Concrete

Method of construction refers to the manner the procedures and techniques that are used during the construction process in order to build a building. A building is eligible as an example of a method of construction if it is a rare or an important example of building practices, construction innovations or technological advances during a specific time in history.

The Property's construction utilized a common concrete framing technology referred to as "slipform".<sup>51</sup> Slipform is a method of construction in which concrete is poured into the top of a continuously moving formwork. As the concrete is poured, the formwork is raised vertically at a speed which allows the concrete to harden before it is free from the formwork at the bottom. Slip form is most economical for structures over 7 stories high such as bridges and towers, as it is the fastest method of construction for

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<sup>49</sup> *Guidelines*, p.22.

<sup>50</sup> *Ibid.*

<sup>51</sup> San Diego Union. 6/2/1963 "Precasting Speeds Hillcrest Building."

vertical reinforced concrete structures, but it can also be used for horizontal structures such as roadways.<sup>52</sup>

At 8 stories plus, a 30-foot-tall elevator overrun, the Property was an ideal building height in which to utilize slipform for the Property's core. (The core is at the center of the building and not visible today.) "The concrete core for the eight-story central unit, which was "slip-formed" from 35 feet below street level is now complete. Over 600 channel-shaped columns, each 13 feet long and weighing 3,500 pounds, will be used for the exterior walls of the tower alone. Hundreds of other precast shapes will be needed for floor beams and girders."<sup>53</sup>

According to Engineer Bruce R. Carter,

*"The origin of concrete slipforming is quite obscure, although it is generally accepted that the first use of this technique took place in 1885 when a Texan named Carrico used it to build a small concrete raft. No further development apparently took place until 1899 when the Peavey Elevator Company at St. Louis Park, Minnesota performed vertical concrete slipforming on an experimental basis. In general, slipforming was the outgrowth of continued experimentation by contractors to construct multiple reinforced concrete walls of uniform thickness, quickly and economically. Various methods of moving and lifting sectional forms were tried, but all had the same defect of leaving numerous horizontal and vertical joints in the walls."*

According to Michael R. Adamson, A Better Way to Build: A History of the Pankow Companies;

*"Precasting concrete elements on the job site or on adjacent or nearby lots, rather than casting them in place or using products prefabricated in distant plants, was not unprecedented. California builder and engineer Ernest Ransome...integrated on-site precasting of columns, beams, and girders...before World War I. After World War II, Los Angeles became a particularly active area for precast concrete construction."<sup>54</sup>*

The slip-form technique therefore, was in wide use in the United States by the 1950s. Structural engineers continued to perfect this form of construction which lended itself well to Modern architectural design in the mid-1900s. San Diego was perhaps in the most advantageous position for concrete buildings as there was a sand and gravel (elements necessary for the production of concrete) quarry located in Mission Valley. The 225-acre mining site operated for 80 years until it was closed down in the 2010s.

One of the earlier slipform iterations in San Diego was the Chamber Building (1961), that Palmer & Krisel designed at a height of 250' just before the City of San Diego adopted a 13-story height limit on concrete buildings—"a restriction that conformed to the UBC and building codes of other US cities in Seismic Zones 3 and 4."<sup>55</sup>

#### Criterion C: Method of Construction Conclusion

In the application of Criterion C, the Hillcrest North Medical Center is not a "rare or an important example of building practices, construction innovations or technological advances." As discussed above, while the Portland Cement Association did honor the Property, this was prior to the major modifications

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<sup>52</sup> [https://www.designingbuildings.co.uk/wiki/Slip\\_form\\_concrete](https://www.designingbuildings.co.uk/wiki/Slip_form_concrete)

<sup>53</sup> Mercy Archives. Undated. "Medical Building Boasts San Diego; Structure features Reinforced Concrete".

<sup>54</sup> A Better Way, pp. 17-20.

<sup>55</sup> A Better Way, p. 59.

enclosing the pavilion. Additionally, slipform construction was in use in San Diego well in advance of 500 Washington, thus the Property is not a rare example of slipform construction.

Criterion C (San Diego Register) Conclusion:

In conclusion, the Property no longer retains sufficient integrity from its 1964 period of significance nor does it embody the essential character defining features of a recognized architectural style to be a representative example of an architectural style per the City's Guidelines. The Property is an example of a significantly altered New Formalism styled building. The Property is not a valuable example of a type, period, or method of construction and it did not use indigenous materials or craftsmanship. These facts preclude the Property from being a unique, notable, or unusual example of a recognized style of architecture. The Property does not meet the criteria for significance under Criterion C: Architecture.

Criterion D (San Diego Register) Work of a Master:

The Resource is representative of the notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman.

Architect: Deems–Martin Associates

AC Martin & Associates was a family concern, one of Los Angeles' earliest architectural firms. First headed by Albert C. Martin Sr, sons Albert C. Jr, and John Edward joined the family firm just prior to World War II. The brothers left the organization during the War, returning to ride the wave of a construction boom which followed the conflict.

The 1950s saw the rise of suburbia, and AC Martin responded to the "growing demand for single-family housing by proposing a network of shopping centers to support the population sprawl into the suburbs. Opened in 1952, Lakewood Center would become one of the first of these large-scale centers designed with the features of an urban center and the automobile in mind."<sup>56</sup>

According to the LA Conservancy, the firm never:

"...strayed far from their downtown roots, [wowing] the public with the Los Angeles Department of Water and Power's headquarters in 1964. The sleek, modern design, which conveyed opulence and refinement, contrasted perfectly to Lakewood's enormous physical scale. AC Martin and Associates proved itself as the go-to firm in the region, and they went on to design more structures in downtown Los Angeles than any other firm in the years after World War II."<sup>57</sup>

Ward Deems and William "Bill" Lewis were young architects and former University of Southern California (USC) classmates, working for AC Martin when, in 1959, Deems relocated to San Diego. Lewis was already familiar with the City of San Diego as designer of the May Company Store in Mission Valley. Begun in 1959, the modernist building was completed in 1961, and described by San Diego architectural photographer and historian Darren Bradley as an architectural icon, a "jewel box with a unique texture ... striking architecture ... the cladding all the way around the building ... [is in] a modernist design that plays with light and shadow ... designed to grab attention."<sup>58</sup>

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<sup>56</sup> Ibid.

<sup>57</sup> Ibid.

<sup>58</sup> [https://en.wikipedia.org/wiki/May\\_Company\\_Building\\_\(Mission\\_Valley,\\_San\\_Diego\)](https://en.wikipedia.org/wiki/May_Company_Building_(Mission_Valley,_San_Diego)) Accessed 9/11/2019. The original building's integrity has been greatly compromised through alterations.



Rather than lose its promising young architects, A.C. Martin saw their move as an opportunity to expand the firm's operation. Together, they all decided to open a San Diego branch office. In April 1959, a corporate agreement was signed to launch "Deems-Martin, Associates. [sic]"<sup>59</sup> Within the firm's first year, it won its first award from the American Institute of Architects for the El Cortez Convention Center, behind the El Cortez Hotel.

According to *Modern San Diego*, Ward Deems was born in November 1929 in Hollywood, California. Raised in Alhambra and Pasadena/Altadena, Deems graduated from Pasadena High School in 1947 and Pasadena Community College in 1949. While in high school, he worked as a carpenter, framer, and home builder; then as a draftsman while attending junior college.

After graduating from USC's School of Architecture in 1953, Deems joined the Martins' Los Angeles firm. Lewis, who graduated from USC's architecture program in 1953, joined the firm shortly thereafter. In 1958, Deems was appointed Associate of the firm, with Lewis serving as lead designer on several projects.

With financial and brand support from the AC Martin firm, Deems and Lewis,

"...opened their office in the El Cortez Building, Ward being responsible for public relations and business development functions, while Bill focused on design and project management. Within a few years, Bill became a co-owner and the firm became Deems Lewis Martin & Associates. [sic] In 1961, the firm was renamed "Deems/Lewis & Partners" and worked its way through their first San Diego recession. Embracing the city-wide motto "Try San Diego First" they and other firms worked to keep clients from heading to Los Angeles to have their projects designed. The firm watched San Diego grow larger and more sophisticated. One important milestone was the shift of retail from downtown to Mission Valley as Walker Scott and Marston's folded (in part because of Lewis' design for Mission Valley shopping center)."<sup>60</sup>

Deems was a member of San Diegans Inc., an influential planning and development organization of business leaders. He was active with the American Institute of Architects, serving as president at both the local and state level. He was inducted as a fellow of the institute, an honor given to a select few, according to Lewis. Of his old friend Ward Deems, Lewis said he was adept at wooing clients. "We started from nothing...Ward was very personable. People liked Ward. He had a lot of drive. . . he had the ability to communicate well with people, had good design talent and was an organizer."

By the late 1960s, Ward and Bill would break ties with AC Martin. Their new firm was named, quite simply, Deems-Lewis.

Ward Deems played a key role in producing the Embarcadero master plan that revitalized Harbor Drive and shifted San Diego's growth, which was heading east at the time, Lewis said. In a 1992 interview with Deems, he said he was pleased with how the Convention Center turned out. "I'm proud to have been a part of that effort, despite the politics," he said. "Ward was among the cadre of architects who set the whole town in motion to what it is now. They really set the pattern for what San Diego is today," said Wallace Gordon, president of Deems Lewis McKinley, which is now based in San Francisco. "Petco

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<sup>59</sup> *Modern San Diego*

<sup>60</sup> <http://modernsandiego.com>, Accessed 9/14/2019.

(Park) probably wouldn't have happened without the Convention Center," Gordon said. "I really believe Ward was a citizen architect contributing to the greater good of San Diego."<sup>61</sup>

Deems retired from the firm in the late 1980s and became a consultant. He worked with the Salk Institute in La Jolla for many years, serving as architectural consultant and overseeing additions. Ward Wyatt Deems passed away in September 2009.

After joining the firm of A.C. Martin, Lewis served as lead designer on several projects, including the well-regarded May Company Store located at 1702 Camino del Rio North in San Diego. When, in 1958-59, Deems explored the potential of opening an office in San Diego—then a cheaper, slower-paced city surviving on tourism and military spending—Lewis agreed to join Deems in launching the new venture. Bill focused on design and project management, and within a few years, he became a co-owner in the firm, Deems Lewis Martin & Associates.

According to Modern San Diego Dot Com, one of the firm's earliest,

"...most notable, and visible to the public, projects, the steel screen ensconced Crabtree Building (at 3rd & A Streets) was designed by Robert Jones (who would later join in partnership with Henry Hester). As the firm changed its shingle from Deems-Martin, Associates to Deems Lewis Martin & Associates, then to Deems/Lewis & Partners and subsequently to Deems Lewis McKinley Architects, and grew rapidly in its first few decades, many strong architects cut their teeth in the drafting room. Several of these architects would strike out on their own or join other partnerships to put their stamp on San Diego's built environment."<sup>62</sup>

A partial list of Deems-Lewis San Diego Projects includes the Property, also known as, the Hillcrest North Medical Center (1964), San Diego, CA, Building of the Year, *San Diego Magazine*; Humanities Library-Galbraith Hall (1965) UCSD Revelle College, La Jolla, CA, Building of the Year, *San Diego Magazine*; U.S. Navy Enlisted Men's Barracks (1964) Anti-Submarine Warfare School, Harbor Drive and Nimitz Blvd., AIA Honor Award, AIA San Diego Chapter, and; Torrey Pines High School, among many others.

Lewis became a Fellow of the AIA in 1983. Over the years, Lewis and his firms have been awarded over 60 design awards (most of which were given for his commercial design work). The firm that eventually became Deems Lewis McKinley Architects started as a two-person office and grew to employ about 65 people under the founders' tenure.

According to Glenn Erickson, PhD, AIA, who completed his architectural internship under their tutelage, Ward Deems and Bill Lewis were, "two of Southern California's finest architects."<sup>63</sup> The body of work produced by Deems-Martin Associates has stood the test of time.

A search for architects Ward Deems and William Lewis finds articles regarding their career and association with the design and construction of the Property. See this Report's bibliography for articles sourced in preparation of this Report.

#### Evaluation under Criterion D Per the Guidelines,

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<sup>61</sup> Ward Deems, "Architect Helped Influence Direction of Growth in San Diego," Obituary, *San Diego Union*, 9/26/09

<sup>62</sup> <http://modernsandiego.com> Accessed 9/14/2019

<sup>63</sup> <https://www.behance.net/gallery/5203979/Deems-Lewis-Partners-AIA-San-Diego-CA> Accessed 9/8/2019

*A property is not eligible under Criterion D simply because it was designed by a prominent architect, but rather must be the work of a master. Additionally, not all examples of a master’s work are eligible. Criterion D requires the resource be representative of the notable work of the Master, as demonstrated in the nomination.*<sup>64</sup>

Both Lewis and Deems are included within the San Diego Modernism Context Statement as a *Contributing Designer of Modern San Diego* but they are not identified Master Architects or Builders within the City of San Diego. However, during the recent historical designation of site # 1203, May Company/ William Lewis, Jr. Building, HRB Staff considered Lewis a Master Architect, and the May Company Building was designated as such.

Per the Guidelines, association with a Master must be substantiated through one or more of the following;<sup>65</sup>

Association	Expression in Resource
1. Construction drawing documentation.	<b>Yes.</b> An enlarged image of the title block from the construction plans confirm Lewis is the design architect.
2. Specific written accounts describing the individual's association and work on the property.	<b>Yes.</b> There are a number of news articles that associate Lewis with the design of the Property.
3. Archival information.	<b>Yes.</b> Newspaper archives establish an association between the Property and Lewis.
4. Design and quality of detailing comparable with other works by the Master, supplemented by documented information establishing the Master's association with the property, and experts on the work of this Master agreeing that the resource in question is the work of this Master.	<b>Yes.</b> See evaluation below for a comparison of the Resource’s design and quality of detailing with Lewis’ known work.

It can be confirmed that the Property was designed by Lewis, therefore, this HRRR provides an evaluation under Criterion D for eligibility of significance in association with Lewis.

Per the Guidelines, in order to be a notable example of William Lewis’ work and establish significance, one or more of the following is required;<sup>66</sup>

Significance	Original Expression	Current
1. The scope and excellence of their overall body of work, as it is understood.	<b>Yes.</b> The Property was considered a premier project for Lewis.	<b>No.</b> Lewis’ original concept was significantly altered.
2. Quality of design and detailing excellence.	<b>Yes.</b> See analysis under Criterion C.	<b>No.</b> Lewis’ original concept was significantly altered.

<sup>64</sup> Guidelines. Pg. 28-29.

<sup>65</sup> Ibid.

<sup>66</sup> Guidelines. p 28-29.



3. The use of new or traditional materials in a new way resulting in a special or unique design expression.	<b>Yes.</b> See analysis under Criterion C.	<b>No.</b> Lewis' original concept was significantly altered.
4. Special attention to work while under construction, basing much of the design refinements on field work and experience.	<b>Yes.</b> Per archival news articles, Lewis paid special attention to the Property during its design and construction.	<b>Not applicable.</b>
5. Publication in trade journals and/or the popular press.	<b>Yes.</b> See Appendix.	No Change.
6. Publication in scholarly journal articles or books.	<b>No.</b> Although discussed in a scholarly book, its inclusion was in regards to the career of Charles Pankow who was employed by the contractor at the time.	No Change.
7. Being the subject of Master's thesis or Doctoral dissertations.	<b>No.</b> The Property was not the subject of a master's thesis or doctoral dissertation;	No Change.
8. Acknowledgement by design peers through formal awards and citations.	<b>Yes.</b> The Property received recognition from the concrete industry for its creative use of concrete in 1966. <sup>67, 68</sup>	No Change.
9. Acknowledgement by the general public through formal awards, citations and commendations.	<b>Yes.</b> The Property was recognized by San Diego Magazine.	No Change.
10. Favorable reviews by professional architectural critics.	<b>No.</b>	No Change.

The following is a list of award-winning projects associated with Lewis from 1960 – 1970.<sup>69</sup> There are twelve projects that meet these criteria. Note, not all of these are attributed to Lewis, but they do represent the firm's quality of work. Note: Prior to 1960, the City of San Diego had not hosted design awards since 1928. Beginning in 1960 design awards were held biannually by the San Diego AIA. The Property would have qualified for the September 1964 AIA Awards given its June 1964 Notice of Completion.

Year	Project	Award	Notes
1960	El Cortez Convention Center Expansion	AIA Award of Merit <sup>70</sup>	Demolished;
1960	Orr Residence	AIA Award of Merit	Found to be not historically significant in 2013, Demolished;
1962	Crabtree Office Building	AIA Honor Award <sup>71</sup>	"Extensive metal grillwork" removed in 2012, design credited to Robert Jones;
1964	San Diego County Welfare Office Building	HHFA First Honor Award <sup>72</sup>	No changes;

<sup>67</sup> Knudson, Jack. San Diego Union. 1/30/1966. "Outstanding Structures in Concrete Win Honors for Builders, Designers".

<sup>68</sup> San Diego Union. 3/6/1966. "Designers and Builders Honored for Structures".

<sup>69</sup> Web. <https://www.dlm.com/awards.html>. Accessed April 2020.

<sup>70</sup> San Diego Union. 6/26/1960. "For Once The Verdict's Against Jury".

<sup>71</sup> San Diego Union. 5/13/1962. "San Diego's Architects Earn Praise, Prizes".

<sup>72</sup> San Diego Union. 10/25/1964. "Architects Win Design Award".

1964	U.S. Navy Facilities Engineering Command	AIA Honor Award <sup>73</sup>	No information located;
1964	Church of Jesus Christ of Latter-Day Saints	Ceramic Tile Award <sup>74</sup>	No changes;
1964	Hillcrest North Medical Center	San Diego Magazine Building of the Year <sup>75</sup>	Extensive ground floor modifications;
1964	Rubin, Seltzer, & Solomon Office Bldg	AIA Award of Merit <sup>76</sup>	No changes;
1965	UCSD, Galbraith Hall	San Diego Magazine Building of the Year <sup>77</sup>	Interior modifications;
1966	Hillcrest North Medical Center	Pre-stressed Concrete Institute Honor Award <sup>78</sup>	Extensive ground floor modifications;
1970	LKR Medical Building	AIA Award of Merit <sup>79</sup>	No changes; and
1970	Industrial Indemnity Bldg.	AIA Honor Award <sup>80</sup>	No changes.

Each of these award-winning projects expressed a unique design with quality detailing. The designs then and now (for those that are still extant) express intentional design decision made during their conception with unique forms, plans, spatial relationships, structures, and styles that responded and integrated with their sites.

To date, two resources, attributed to Deems Martin Associates (Lewis), have been nominated for historical significance within the City of San Diego. The Orr Residence (1963) in 2013 and the May Company/William Lewis Jr. Building (1961) in 2016.

The Historical Resource Board decided against designation for the Deems Martin Associates (Lewis) designed 2382 Via Capri Court (Orr Residence). Although recognized for its design in 1960 by the San Diego AIA’s Honor Awards, 2382 Via Capri Court no longer embodied the features and characteristics of the Post & Beam architectural style to merit historical designation in 2013. Per the Historical Resource Technical Report prepared by Scott Moomjian, Esq. for 2382 Via Capri Court,

“The structure was constructed as a Modern Post and Beam style residence that was convenient and popular at the time. In its current condition, 550 Washington possesses very few elements which would elevate it to a level above other Modern Post and Beam structures built in La Jolla during the 1960s.”<sup>81</sup>

The Historical Resources Board designated the May Company/William Lewis Jr. Building HRB No. 1203 under Criteria A, C, and D. Per Criterion D, it is designated as a notable example of Lewis’ body of work per the following,<sup>82</sup>

“The resource is representative of a notable work of Master Architect William Lewis, Jr., a Fellow of the American Institute of Architects recognized and awarded for his large portfolio of distinctive commercial

<sup>73</sup> Ibid.

<sup>74</sup> Web. <https://www.dlm.com/awards.html>. Accessed April 2020.

<sup>75</sup> San Diego Magazine. March 1964. “Hillcrest North: brilliant use of four sculpted bearing walls”. Pages 36-37 and 130.

<sup>76</sup> San Diego Union. 9/21/1964. “Architects Receive Awards For Hotel, Research Buildings”.

<sup>77</sup> Web. <https://www.dlm.com/awards.html>. Accessed April 2020.

<sup>78</sup> San Diego Union. 10/25/1964. “Architects Win Design Award”.

<sup>79</sup> San Diego Union. 10/25/1970. “Ten Architects Draw Praise for Distinctive Design”.

<sup>80</sup> Ibid.

<sup>81</sup> Ibid.

<sup>82</sup> City of San Diego, Historical Resources Board Report No. HRB 16-001. P 1-2.

architecture, and retains integrity as it relates to the original design. Specifically, the resource was designed early in his architectural career, and established him as a young, popular commercial architect; it represented a new, successful model that changed commercial design work, which ultimately transformed the design of subsequent commercial development in San Diego; and it represented a new phase in the evolution of shopping center design.”<sup>83</sup>

Similarly, the Property as originally designed and constructed was a representative notable work of Master Architect William Lewis, Jr.:

- The Property’s design contributed to Deems Martin Associates’ establishment as a popular commercial architectural firm;
- The Property was well documented in the print media and it appeared to take up much of Lewis’ time and attention;
- The Property’s design and quality of detailing possessed unique features and design;
- The Property is comparable with other Deems Martin Associates designed buildings which have received design award recognition;
- The Property had multiple citations in popular print media regarding its unique design; and
- The Property, in its original form, was a subject of the famous architectural photographer, Julius Shulman in 1964.

The Property, as original designed and constructed, was a notable example of a Master Architect under Criterion D: specifically, William Lewis Jr. An association between Lewis and the Resource’s design is substantiated through established criteria per the Guidelines.

Integrity under Criterion D  
Per the Guidelines,

“A property important as a representative example of the work of a Master must retain most of the physical features and design quality attributable to the Master. A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style and identified it as the work of a Master.”<sup>84</sup>

Integrity under Criterion D	Evaluation
1. Does the Property retain most of the physical features and design quality attributable to the Master?	<b>No.</b> The Property’s entire ground floor, including the physical features that were discussed in news articles in 1964 are no longer present. Specifically, the Property no longer retains its iconic open-air pavilion lobby, distinct and separate single-story wings, expression of its slender structural support columns, reflecting pool, marble lobby, and terrazzo pedestrian bridges.

<sup>83</sup> Ibid.  
<sup>84</sup> Guidelines. p 32.



<p>2. Does the Property retain the majority of the features that illustrate its style in terms of massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation?</p>	<p><b>No.</b> The Property retains its precast concrete tower with aluminum tracery, however its ground floor massing, with a central void is no longer intact; the spatial relationships between the single-story wings and tower is no longer present; original door and window patterns on the ground floor are no longer present; the tower’s columns proportions are no longer present; the lobby’s marble and terrazzo materials were removed; and the ground floor’s ornamentation was replaced.</p>
<p>3. Does the Property retain the majority of the features that once characterized its style?</p>	<p><b>No.</b> The Property’s New Formalism expression is no longer intact. Per the evaluation under Criterion C, there is only one character defining feature of the New Formalism style intact.</p>
<p>4. Does the Property retain the majority of the features that identified it as the work of a Master?</p>	<p><b>No.</b> Per historical research, unusual features, associated with Lewis, included: a tower elevated on piers one full story above street level; lobby area as an open space under the tower; unobstructed circulation of pedestrian traffic through the lobby; a large reflecting pool surrounding the lobby with pedestrian bridges of terrazzo, all supporting the concept of space around a central core of utility services.</p>

Per the Guidelines, the Property is no longer a representative example of Master Architect Lewis’ body of work due to significant alterations, and does not meet the criteria for significance under Criterion D: Master Architect.

Landscape Architect: Wimmer Yamada and Caughey

Wimmer Yamada and Caughey was the first woman-owned commercial landscape architecture firm in San Diego, founded by Stanford alumnus Harriet Barnhart Wimmer in 1954. Joe Yamada, a Berkley graduate, became her partner in 1960. Highly regarded by progressive architects, their expertise included residential garden design and commercial and urban design. Both Wimmer and Caughey were active in the landscape architecture and design community. Wimmer is credited with establishing a chapter of the American Society of Landscape Architects (ASLA) in Southern California, and Wimmer was bestowed with Fellow status within the ASALA in 1976. Yamada was bestowed Fellow status in 1979. Harrier Wimmer died in 1980, but her legacy lives on in the firm she founded. Notable projects include Seaworld, Seaport Village, the Embarcadero Marina Park, La Jolla Village Plaza, Scripps Institution of Oceanography, the Copley Estate, campus planning, and private properties. Pat Caughey joined the firm in 1970, after the Property was completed.<sup>85</sup>

The Property’s landscape architect was Wimmer Yamada and Caughey. Historical research regarding their involvement is scant and it is not clear whether Harriet Wimmer or Joseph Yamada led the landscape design effort for 55 the Property’s landscape. Wimmer Yamada and Caughey is not a recognized Master Landscape Architect in San Diego. However, both Harrier Wimmer and Joe Yamada, are Fellows within the American Society of Landscape Architects. Significant alterations to the entire ground floor plan incurred the loss of their complete initial design including the open-air pavilion, four reflecting pools and all landscaping. Due to these alterations the design of the landscape is no longer representative of their work.

Builder: Peter Kiewit and Sons

<sup>85</sup> <https://www.asla-sandiego.org/art-land-san-diegos-landscape-architecture-pioneers-wimmer-yamada-caughey/> accessed 10/15/2019

The Kiewit Corporation, as it is known today, was originally Kiewit Brothers, a masonry contracting partnership started in 1884 between two brothers, Peter and Andrew in Omaha, Nebraska. By 1900 they began to accept general contracting projects however in 1904, Andrew left the partnership and Peter continued on his own. Peter's sons (George, Ralph, and Peter) worked for and eventually assumed leadership and management of different aspects of the company.<sup>86</sup> Significant contracts continued to support the company's growth including the Nebraska State Capitol Tower, Joslyn Art Museum and Union Station just prior to the Great Depression. Eventually George and Ralph left the family company and Peter Kiewit's youngest son, Peter dissolved the firm and reorganized as Peter Kiewit Sons' Co., which included employee ownership by key managers.<sup>87</sup> This new phase of the company coincided with the Great Depression and the company moved into infrastructure projects including highways and dams. By the mid-1930's the company had projects across multiple western states. The lead up to World War II brought them government wartime construction projects throughout the west. By the time the war was over, Kiewit had secured a significant number of government contracts that continued through-out the Cold War. In addition, the firm pursued infrastructure projects including highways, dams, canals, and tunnels with great success. Peter Kiewit died in 1979, but the company continues on today as an employee-owned Fortune 500 contractor based in Omaha, Nebraska. It is one of the largest construction and energy organizations in North America. Peter Kiewit and Sons Inc. is not an identified Master Architect or Builder within the City of San Diego; therefore, the Property does not meet the criteria for significance under Criterion D: Master Builder.<sup>88</sup>

Criterion D (San Diego Register) Conclusion:

In conclusion, the Property no longer retains sufficient integrity from its 1964 period of significance and is no longer representative of a Master Architect's body of work. The Property's landscape architect and builder are not considered Masters in the City of San Diego. The Property does not meet the criteria for significance under Criterion D: Master Architect or Master Builder.

Criterion E (San Diego Register)

Criterion E: Is listed or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources.

Criterion E (San Diego Register) Conclusion:

The Property is not listed on either the National Register of Historic Places or the California Register of Historical Resources, and it has not been determined to be eligible for listing on either register by the National Park Service or the State Historic Preservation Office. The property does not qualify under HRB Criterion E (National or California Register Eligible).

Criterion F (San Diego Register)

Criterion F: Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

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<sup>86</sup> <https://www.kiewit.com/about-us/history/early-years/> 10/15/19

<sup>87</sup> <https://www.kiewit.com/about-us/history/early-years/> 10/15/19

<sup>88</sup> <https://www.kiewit.com/about-us/history/early-years/> 10/15/19

Criterion F (San Diego Register) Conclusion:

The Property is not located within an existing historic district; therefore, it does not qualify under HRB Criterion F Historic District.

### 4.3 Application of National Register of Historic Places Criteria

The National Historic Preservation Act of 1966 (NHPA) established the National Register of Historic Places (NRHP) as the official federal list of cultural resources that have been nominated by state offices for their historical significance at the local, state, or national level. Listing in the NRHP provides recognition that a resource is significant to the nation, the state, or the community and assumes that federal agencies consider historic values in the planning for federal and federally assisted projects. Properties listed in the NRHP, or “determined eligible” for listing, must meet certain criteria for historical significance and possess integrity of form, location, and setting. Structures and features must usually be at least 50 years old to be considered for listing in the NRHP, barring exceptional circumstances. Criteria for listing in the NRHP, which are set forth in Title 26, Part 63 of the Code of Federal Regulations (CFR), are significance in American history, architecture, archaeology, engineering, and culture as present in districts, sites, buildings, and structures; and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association. Individual national criteria and their application to the Property are as follows.

Criterion (A): Associated with events that have made a significant contribution to the broad patterns of our history;

Criterion (B): Associated with the lives of persons significant in our past;

Criterion (C): Embody the distinctive characteristics of a type, period, or method of construction; represent the work of a master; possess high artistic values; or represent a significant and distinguishable entity whose components may lack individual foundation; and

Criterion (D): Has yielded or is likely to yield information important in prehistory or history.

In addition, a resource must also retain integrity. Integrity is “evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association” and it “must be judged with reference to the particular criteria under which a resource is proposed for eligibility.”

#### **Evaluation of the Property under the National Register Criteria:**

Criterion A (National Register) Event:

Properties can be eligible for the National Register if they are associated with events that have made a significant contribution to the broad patterns of our history.

To be considered for listing on the National Register under Criterion A, a resource must be associated with one or more events important in the defined historic context. Criterion A recognizes properties associated with single events, such as the founding of a town, or a pattern of events, repeated activities, or historic trends, such as the gradual rise of a port city’s prominence in trade and commerce. The



event or trends; however, must be clearly important within the associated context: settlement, in the case of the town, or development of maritime economy, in the case of a port city. Moreover, the resource must have an important association with the event or historic trends, and it must retain integrity.<sup>89</sup>

Criterion A (National Register) Conclusion:

Per the evaluation contained in this HRTR, no historical evidence was found that would support the determination that the Property was associated with events or trends that made a significant contribution to the broad patterns of the nation's history. Therefore, the Property does not qualify as historically significant under the National Register's Criterion A.

Criterion B (National Register) Person:

Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past.

To be considered for listing on the National Register under Criterion B, a resource must be associated with the lives of persons significant in our past. Criterion B applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons significant in our past refers to individuals whose activities are demonstrably important within a local, state, or national historic context.

Criterion B (National Register) Conclusion:

Per the evaluation contained in this HRTR, no historical evidence was found that would support the determination that the Property was associated with the lives of persons significant in the nation's past. Therefore, the Property does not qualify as historically significant under the National Register's Criterion B.

Criterion C (National Register) Design/Construction:

Properties may be eligible for the National Register if they embody the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

Embody distinctive characteristics of a type, period, or method of construction. This requirement refers to the way in which a property was conceived, designed, or fabricated by a people or culture in past periods of history. To be eligible under this portion of the criterion, a property must clearly illustrate, through "distinctive characteristics" the pattern of features common to this particular class of resources, the individuality or variation of features that occurs within this class, the evolution of that class or the transition between classes of resources. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction. A building eligible under the theme of a specific architectural style must have the vertical and picturesque qualities of that style.<sup>90</sup>

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<sup>89</sup> National Register Bulletin, How to Apply the National Register Criteria for Evaluation, Criterion A: Event

<sup>90</sup> National Register Bulletin, How to Apply the National Register Criteria for Evaluation, Criterion C: Design/Construction

As previously discussed under Criterion C, the Property was initially designed and constructed in the New Formalism architectural design aesthetic; however, due to extensive alterations, it is no longer representative example of the New Formalism Style. Therefore, it does not embody distinctive characteristics of a recognized architectural style, specifically any classical revival style of architecture.

Type, Period or Method of Construction refers to the way certain properties are related to one another by cultural tradition or function, by dates of construction or style, or by choice or availability of materials and technology. A building is eligible as a specimen of its type or period of construction if it is an important example of building practices of a particular time in history.<sup>91</sup>

As previously discussed under Criterion C, the Property does not serve as an important example of building practices from 1964 as its design, materials, and workmanship are no longer character defining features of a recognized architectural style due to significant alterations.

Works of a Master recognizes that a Master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. A resource is not eligible as the work of a master, simply because it was designed by a prominent architect. The work of an unidentified craftsman is eligible if it rises above the level of workmanship of other properties encompassed by the historic context.<sup>92</sup>

This aspect of Criterion C does not apply as the Property's architect, while considered a Mater Architect in San Diego, William Lewis's work, expertise, and influence did not extend onto a national level.

High Artistic Values may be expressed in many ways. A resource is eligible for high artistic values if it fully articulates a particular concept of design that expresses an aesthetic ideal. A property is not eligible, however, if it does not express aesthetic ideals or design concepts more fully than other properties of its type.<sup>93</sup>

The Property does not articulate a particular concept of design or aesthetic ideal, therefore, High Artistic Values does not apply.

To be eligible under this Criterion, a property must clearly contain enough of the distinctive characteristics that commonly recur in individual types, periods or methods of construction and clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction. The Property, no longer contains the distinctive characteristics of a recognized architectural style to qualify for listing on the National Register under Criterion C.

Criterion C (National Register) Conclusion:

Per the evaluation above, the Property does not qualify as historically significant under the National Register's Criterion C.

Criterion D (National Register): Archeological information

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<sup>91</sup> Ibid.

<sup>92</sup> Ibid.

<sup>93</sup> Ibid.

This criterion applies to properties that have yielded, or may be likely to yield, information important in prehistory or history.

Criterion D (National Register) Conclusion:

Criterion D is intended to address archaeological resources and is not applicable to the Property; therefore, it does not qualify under National Register's Criterion D.

**National Register Conclusion:**

Per the evaluation herein, the Property is not eligible for inclusion on the National Register.

#### 4.4 Application of California Register of Historic Places Criteria

The criteria for listing historical resources in the California Register are consistent with those developed by the National Park Service for listing historical resources in the National Register and have been modified for state use in order to include a range of historical resources which better reflect the history of California. Only resources which meet the criteria as set forth below may be listed in or formally determined eligible for listing in the California Register. (California Code of Regulations §4852.)

Properties that are subject to the California Environmental Quality Act (CEQA), must be evaluated for historical significance under the California Register of Historical Resources.

The criteria for evaluating the significance of historical resources requires that the resource be significant at the local, state or national level under one or more of the following four criteria.

Criterion 1: Associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;

Criterion 2: Associated with the lives of persons important to local, California, or national history;

Criterion 3: Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic value; or

Criterion 4: Has yielded or has the potential to yield information important to the prehistory or history of the local area, California, or the nation.

State Register qualified resources must also retain Integrity to qualify for historical significance.

**Evaluation of the Property under State Register criteria:**

Criterion 1 (State Register) Association with Events:

The property is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

Criterion 1 (State Register) Conclusion:



No historical evidence was found that would support the determination that an event making a significant contribution to the broad patterns of California history, or the cultural heritage of California or the United States, occurred at the Property. Therefore, the Property is not eligible under California Register Criterion (1).

Criterion 2 (State Register) Association with Persons:

The property is associated with the lives of persons important to local, California or National History.

Criterion 2 (State Register) Conclusion:

Historical evidence was not found that would support the determination any persons associated with the Property were important to local, California or National History at the level required for the California Register. Therefore, the Property is not eligible under California Register Criterion (2).

Criterion 3 (State Register): Design/Construction:

The property embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values.

Criterion 3 (State Register) Conclusion:

As previously discussed in this HRTR, due to significant alterations, the Property is no longer representative of a recognized architectural style and it no longer embodies the distinctive characteristics of a type, period, region or method of construction sufficiently to qualify for the California Register of Historical Resources. Therefore, the Property is not eligible under California Register Criterion (3).

Criterion 4 (State Register) Archaeology:

The property has yielded or has the potential to yield information important to the prehistory or history of the local area, California or the nation.

Criterion 4 (State Register) Conclusion:

To be designated under this criterion the Property must have information to contribute to our understanding of human history and prehistory and that information must be important. The Property is not eligible under California Register Criterion (4).

**State Register Conclusion:**

Per the evaluation herein, the Property is not eligible for inclusion on the California Register.

## 5 Findings and Conclusion

### 5.1 Findings

This report has determined that the Property is not historically and/or architecturally significant under local, state, and national significance criteria. Therefore, any future project which proposes to remove the Property and develop on site will not impact a historical resource.

## 5.2 Impacts Discussion

### **Application of City of San Diego CEQA Significance Criteria**

According to the City of San Diego Land Development Code, *Historical Resources Guidelines* (Adopted September 28, 1999; Amended June 6, 2000; April 30, 2001), the determination of potential significance for historic buildings, structures, and objects, and landscapes is based on age, location, context, association with an important person or event, uniqueness, and integrity.

#### Age

The Property was constructed in 1964. It is approximately 58 years of age.

#### Location

The Property has remained in its current location since its original construction.

#### Context

The physical environment surrounding the Property is no longer similar to that when it was developed in 1964 due to development and redevelopment of surrounding properties.

#### Association–Event

Historical research failed to reveal any historically important event(s) at the local, state, or national levels ever having been associated with the Property.

#### Association–Person

Historical research failed to reveal any historically important person(s) at the local, state, or national levels ever having been associated with the Property.

#### Uniqueness–Architecture

The Property was an example of the New Formalism architectural design aesthetic. The Property's expression of this style is no longer unique due to multiple significant alterations.

#### Uniqueness–Use

The Property was designed and constructed as a medical office building. This type of use is not unique.

#### Structural Integrity

The Property appears to be structurally sound and possess a sufficient degree of structural integrity.

### **Application of CEQA**

#### Public Resources Code

California Environmental Quality Act (CEQA) Public Resources Code §21084.1 provides that any project that may cause a substantial adverse change in the significance of an historical resource is a project that

may have a significant effect on the environment. Public Resources Code Section §5020.1(q) defines “substantial adverse change” as demolition, destruction, relocation or alteration such that the significance of the historical resource would be impaired.

According to Public Resources Code Section §5024.1, an historical resource is a resource that is listed in or determined to be eligible for listing in the California Register of Historical Resources. A resource may be listed as an historical resource in the California Register if it meets any of the following National Register of Historic Places criteria:

- 1) Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;
- 2) Is associated with the lives of persons important in our past;
- 3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
- 4) Has yielded, or may likely yield information important in prehistory or history. In addition, an historical resource is a resource that is listed in or determined to be eligible for listing in the California Register of Historical Resources; a resource that is included in a local register of historical resources; or is identified as significant in an historical resource survey if that survey meets specified criteria.

#### National Register Assessment

##### 1) Event Association

The Property does not qualify under event association as a resource which is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage. Historical research indicates that the Property was never associated with any event or events that have made a significant contribution to California’s history and cultural heritage.

##### 2) Individual Association:

The Property does not qualify under individual association as a resource which is associated with the lives of persons important in our past. Historical research indicates that the Property was never associated with any important or significant individuals.

##### 3) Design/Construction:

The Property does not embody the distinctive characteristics of a type, period, or method of construction. The Property does not represent the work of an important creative individual, or possess high artistic values.

##### 4) Information Potential:

The Property does not qualify under information potential as a resource which has yielded, or may likely yield, information important in prehistory or history.



As a resource which is not historically or architecturally significant, the Property is not eligible for listing in the California Register of Historical Resources, the California Historic Resources Inventory, the National Register of Historic Places, or the San Diego Historical Resources Board Register.

### **CEQA Guidelines**

#### CEQA Impacts

According to CEQA Guidelines §15064.5(a)(3), a lead agency can find a resource historic if the resource has been determined to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided that the determination is supported by substantial evidence in light of the whole record.

The Property has been determined not to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California. The Property, therefore, does not qualify as a historical resource under CEQA Guidelines §15064.5(a)(3).

The present study has determined that the Property is not historically significant under local, state, and national significance criteria. Therefore, any future project which proposes to remove the Property and develop on site, will not cause a substantial adverse change in the significance of an historical resource or have a significant effect on the environment.

#### Mitigation Measures

Since any future, development project will not cause a substantial adverse change in the significance of a historical resource, no mitigation is required.

### 5.3 Conclusions

This Historical Resources Technical Report for the Property, located at 550 Washington Street, a 1964 eight-story medical office building, in the Uptown Community Planning Area of the City of San Diego, contains the determination for the Property's overall historical and architectural significance.

This HRTR finds that the Property is not eligible for local designation under any local Criteria due to significant alterations.

This HRTR finds that the Property does not meet the criteria for significance under National Register of Historic Places or California Register of Historical Resources.

## 6 Bibliography

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## 7 Appendices

### [Appendix A: Building Development Information](#)

San Diego County Assessor's Office Residential Building Records  
Notice of Completion – none on record  
Water and Sewer Connection Record – none on record  
Building/Construction Permits  
County Lot Block Book Page

### [Appendix B: Ownership and Occupant Information](#)

Chain of Title  
City Directory Listings of Occupants  
Deed from date of Construction

### [Appendix C: Maps](#)

City of San Diego 800:1 Scale Engineering Map  
United States Geological Survey Map (U.S.G.S. La Jolla Quadrangle)  
Original Subdivision Map  
Sanborn Fire Insurance maps

### [Appendix D: DPR Forms](#)

### [Appendix E: Preparer's Qualifications](#)

# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## APPENDIX A

### **Building Development Information**

A.1 San Diego County Assessor's Building Record

A.2 Notices of Completion

A.3 Water/Sewer Connection Records

A.4 Building Construction Permits

A.5 County Lot and Block Book Page

A.6 Previous Survey Form

# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.1 San Diego County Assessor's Building Record

Parcel No. 444-533-25

SHEET 1 OF 3

### COMMERCIAL-INDUSTRIAL BUILDING RECORD

ASSESSOR, SAN DIEGO COUNTY

NAME HILLCREST MEDICAL CENTER ADDRESS 550 WASHINGTON ST.

CLASS & SHAPE	FRAME		TRUSSES		EXT. FINISH		ROOF		LIGHTING		FRONT		NUMBER OF ROOMS				INTERIOR CONSTRUCTION							
	Wood	Concrete Reinf.	Light	Heavy	Stucco	Metal	Shed	Arch	Standard	Below Standard	Type	Desc.	B	M	I	2	3	FLOORS	GD	WALLS	GD	CEILING	GD	
Stories																								
Basement																								
USE	DESIGN	WALLS	FLOORS	CONCRETE	WOOD	GLASS	UNFINISHED	WOOD	METAL	CONCRETE	QUALITY	QUANTITY	ROOF COVER	COMPOSITION	PLUMBING	FIXTURES	QUALITY							
Garage																								
Store																								
Office																								
Factory																								
Warehouse																								

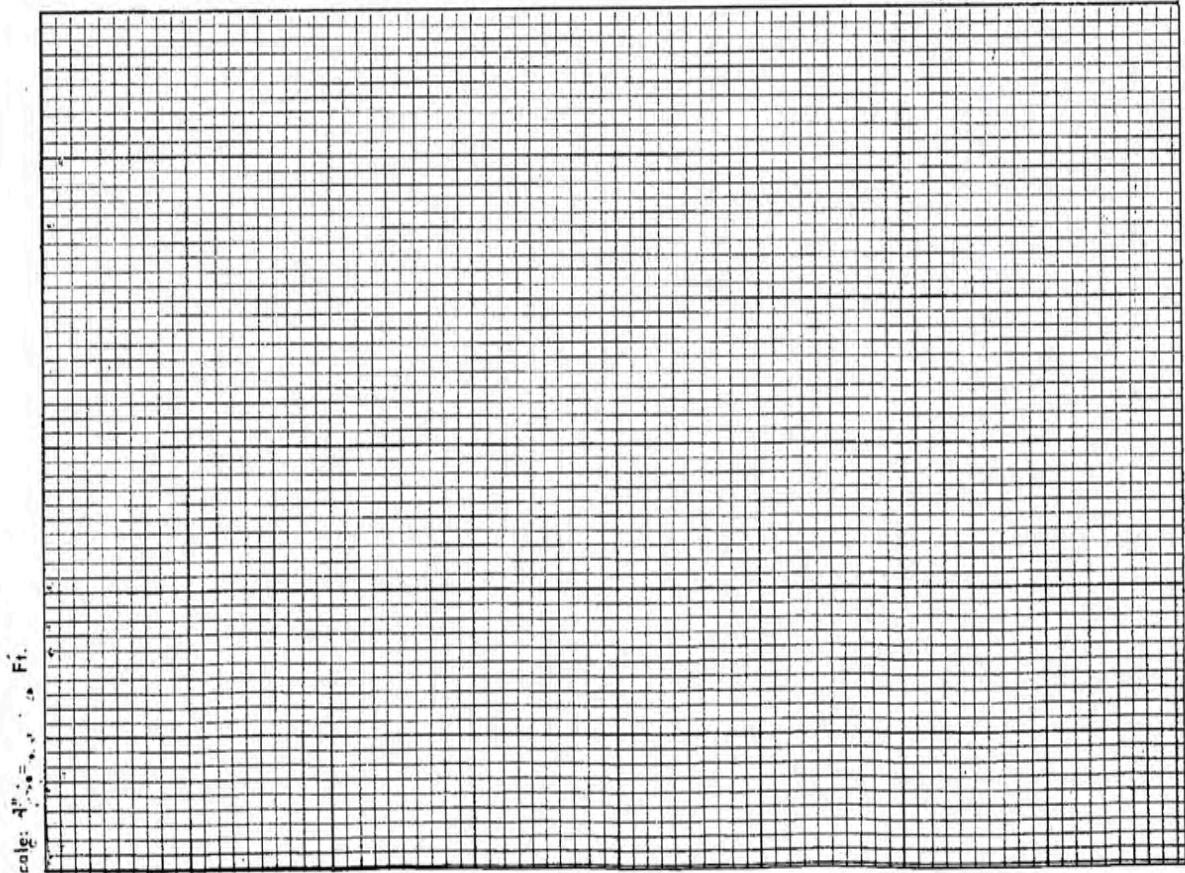
# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

Page 3 of 81

## A.1 San Diego County Assessor's Building Record

MISCELLANEOUS STRUCTURES					
STRUCTURE FOUND:	FLOOR	CONST.	EXT.	ROOF	DIM. AREA/UNIT
COMPUTATIONS MARSHALL'S ANG. MED-OFFICE					
					B.F. 75.84
					AF ADT (1110) < 3.20 >
					72.64
					MULT STY ADT 1.0 x 1.025
					FLOOR AREA PER x 1.80
					SUBTRACT COST x .99
					LOCAL COST x 1.18
					83,50
REMARKS: MARSHALL'S COST INDICATES: 83.50 x 67,936 = 5,672,656. A DEP. COST APPROX INDICATES \$4,379,000 FOR THE MED-OFFICE BLDG AND \$1,600,000 FOR THE PARKING STRUCTURE THAT IS NEW ON PLOT 24.					





# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.1 San Diego County Assessor's Building Record

COUNTY ASSESSOR SAN DIEGO CO. CALIFORNIA HILLCREST MEDICAL CENTER ADDRESS: 550 WASHINGTON ST.													
PARCEL 444-533-25 SHEET OF SHEET													
DESCRIPTION OF BUILDINGS													
Bldg. No.	Structure	Size	Found.	Wall & Exterior	Roof		Floor & Interior Detail	2nd Story or Loft	Year Built	Effec. Year			
					Type	Cover							
COMPUTATION													
Appraiser - Date	Area	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.
Total													
Appraiser - Date	Area	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.
Total													





# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.1 San Diego County Assessor's Building Record

**SAN DIEGO COUNTY ASSESSOR**  
**SAN DIEGO, CALIFORNIA**  
**HILLCREST MEDICAL CENTER**

**MISCELLANEOUS BUILDING RECORD**  
**ADDRESS 550 WASHINGTON ST.**

650457

PARCEL 444-533-821  
 SHEET 3 OF 3 BX 3

Bldg. No.	Structure	Size	Found.	Wall & Exterior	Roof		Floor & Interior Detail	2nd Story or Loft	Year Built	Effic Table Year
					Type	Cover				
				(PLAT)						

COMPUTATION										
Appraiser - Date	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost
<b>Total</b>										

Appraiser - Date	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost
<b>Total</b>										

A-15 8-56









APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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A.2 Notice of Completion -

887

RECORDING REQUESTED BY  
R. E. Hazard, Jr., Inc. (Contractor)

WHEN RECORDED MAIL TO  
R. E. Hazard, Jr., Inc.  
P. O. Box 10761  
San Diego 10, California

ORDER NO.  
ESCROW NO.

FILE/PAGE NO. 1-110257  
RECORDED REQUEST OF  
*CRITCHEM*  
AUG 15 11 35 AM '61  
SERIES 2 BOOK 1961  
OFFICIAL RECORDS  
SAN DIEGO COUNTY, CALIF.  
A. S. GRAY, RECORDER 200

SPACE ABOVE THIS LINE FOR RECORDER'S USE

ADD 12-22

**NOTICE OF COMPLETION** (REPORT EXECUTION, REFER TO REQUIREMENTS STATED ON REVERSE SIDE.)  
THIS FORM FURNISHED COURTESY OF UNION TITLE INSURANCE COMPANY

Notice is hereby given that:

- The undersigned is owner of the interest or estate stated below in the property hereinafter described.
- The FULL NAME of the undersigned is The Whitson Company, a Corporation
- The FULL ADDRESS of the undersigned is 3945 Fifth Avenue, San Diego 3, California
- The NATURE OF THE TITLE of the undersigned is: In fee.
- The FULL NAMES and FULL ADDRESSES OF ALL PERSONS, if any, who hold title with the undersigned as joint tenants or as tenants in common are:  
NAME ADDRESS
- The names of the PREDECESSORS in interest of the undersigned, if the property was transferred subsequent to the commencement of the work of improvement herein referred to are: (If no transfer made, insert "none")  
NAME ADDRESS
- A work of improvement on the property hereinafter described was COMPLETED on August 9, 1961
- The name of the CONTRACTOR, if any, for such work of improvement was: (If no contractor for work of improvement as a whole, insert "none".)  
R. E. Hazard, Jr., Inc.
- The property on which said work of improvement was completed is in the City of San Diego  
County of San Diego State of California, and is described as follows: Lots 2 through 11 inclusive of Ward Addition in the City of San Diego, County of San Diego, State of California, according to map thereof No. 14441 filed January 13, 1960 in the office of the Recorder of San Diego County
- The street address of said property is: (If no street address has been assigned, insert "none".)  
618 Washington Street San Diego, California

Date: August 14 1961  
By The Whitson Company  
Robert Whitson, Jr. Vice Pres.  
PRESIDENT OF UNDERSIGNED IN PARAGRAPH 8 ALSO SIGN

SUBSCRIBER SWORN TO BEFORE ME  
19 61  
THOMAS C. ACKERMAN, J.P.

State of California } ss.  
County of San Diego }  
The undersigned, being duly sworn, says that he is the owner of the aforesaid interest or estate in the property described in the foregoing Notice; that he has read the same, and knows the contents thereof, and that the facts stated therein are true.

State of California } ss.  
County of San Diego }  
The undersigned, being first duly sworn, says: That he is an officer, to wit,  
The Whitson Company, a Corporation  
a corporation, which is the owner of the aforesaid interest or estate in the foregoing Notice executed by said corporation, that he has read the foregoing Notice and knows the contents thereof, and that the facts therein stated are true of said corporation; that he is the authorized officer of said corporation, and on behalf of said Corporation.

Robert Whitson, Jr. Vice Pres.  
SIGNATURE OF OWNER NAMED IN PARAGRAPH 8 ABOVE



APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

Page 10 of 81

A.2 Notice of Completion -

RECORDING REQUESTED BY  
First National Bank of San Diego

WHEN RECORDED MAIL TO  
First National Bank of San Diego  
1007 Fifth Avenue  
San Diego, California  
Real Estate Loan Department

ORDER NO. 767629  
 ESCROW NO. \_\_\_\_\_

FILE/PAGE NO. 109459  
 RECORDED REQUEST OF  
TITLE INSURANCE AND TRUST COMPANY 1203

JUN 17 3 05 PM '64

\$2.00

SERIES 5 BOOK 1964  
 OFFICIAL RECORDS  
 SAN DIEGO COUNTY, CALIF.  
 A. S. GRAY, RECORDER

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NOTICE OF COMPLETION

(BEFORE EXECUTION, REFER TO REQUIREMENTS STATED ON REVERSE SIDE.)

THIS FORM FURNISHED COURTESY OF UNION TITLE INSURANCE COMPANY

Notice is hereby given that:

- The undersigned is owner of the interest or estate stated below in the property hereinafter described.
- The FULL NAME of the undersigned is THE WHITSON COMPANY
- The FULL ADDRESS of the undersigned is 550 Washington Street, San Diego, California
- The NATURE OF THE TITLE of the undersigned is: In fee.  
(IF OTHER THAN FEE, STRIKE "IN FEE" AND INSERT, FOR EXAMPLE, "PURCHASER UNDER CONTRACT OF PURCHASE" OR LEASE.)
- The FULL NAMES AND FULL ADDRESSES OF ALL PERSONS, if any, who hold title with the undersigned as joint tenants or as tenants in common are:  
NAMES ADDRESS  
None
- The names of the PREDECESSORS in interest of the undersigned, if the property was transferred subsequent to the commencement of the work of improvement herein referred to are: (If no transfer made, insert "none")  
NAMES ADDRESS  
None

- A work of improvement on the property hereinafter described was COMPLETED on June 10, 1964
- The name of the CONTRACTOR, if any, for such work of improvement was: (If no contractor for work of improvement as a whole, insert "none")  
Peter Kiewit Sons' Co.
- The property on which said work of improvement was completed is in the City of San Diego  
 County of San Diego, State of California, and is described as follows:  
Lots 2 through 11 inclusive in Hurd Addition, in the City of San Diego,  
County of San Diego, State of California, according to Map No. 4444,  
filed in the Office of the County Recorder of San Diego County, January 13, 1960.

10. The street address of said property is: (If no street address has been assigned, insert "none")  
550 Washington Street  
San Diego, California  
 Dated June 17, 1964

State of California }  
 County of San Diego } ss. (VERIFICATION)

The undersigned, being duly sworn, says: That ... he is the owner of the aforesaid interest or estate in the property described in the foregoing Notice; that ... he has read the same, and knows the contents thereof, and that the facts stated therein are true.

THE UNDERSIGNED COMPLETES:

X (SIGNATURE OF OWNER NAMED IN PARAGRAPH 2 ABOVE)

State of California }  
 County of San Diego } ss. (IF THIS NOTICE IS EXECUTED BY A CORPORATION USE FORM BELOW AND AFFIX CORPORATE SEAL)

The undersigned, being first duly sworn, says: That he is an officer, to wit,  
President

THE WHITSON COMPANY

a corporation, which is the owner of the aforesaid interest or estate in the property described in the foregoing Notice executed by said corporation; that he has read the same and knows the contents thereof, and that the facts therein stated are true of his own knowledge, that he makes this verification for and on behalf of said Corporation.

THE WHITSON COMPANY

By [Signature]  
 (SIGNATURE OF OWNER NAMED IN PARAGRAPH 2 ABOVE, IF A CORPORATION)  
President

SUBSCRIBED AND SWORN TO BEFORE ME

On June 17,

(SEAL)

[Signature]  
 (NOTARY'S SIGNATURE)  
CAROLE B. HOWELL  
 (TYPE OR PRINT) My Commission Expires Nov. 4, 1964  
 NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE





APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

Page 11 of 81

A.2 Notice of Completion -

2882

RECORDING REQUESTED BY **1767**

TITLE INSURANCE AND TRUST

AND WHEN RECORDED MAIL TO

Washington Investors, Ltd.  
2667 Camino Del Rio So. Ste 211  
San Diego, CA 92108

82-034797

RECORDED BY  
OFFICIAL PUBLIC CLERK  
OF SAN DIEGO COUNTY

1982 FEB -3 PM 11:22  
1982 FEB 8 AM 11:22

RF 3  
MG 7  
LF 1

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**Notice of Completion**

Before execution, refer to title company requirements stated on reverse side. A.P.N. 444-533-20

Notice is hereby given that:

- The undersigned is owner of the interest or estate stated below in the property hereinafter described.
- The full name of the undersigned is Washington Investors, Ltd.
- The full address of the undersigned is 2667 Camino Del Rio South Suite 211 San Diego, CA
- The nature of the title of the undersigned is: In fee, A limited partnership  
(If other than fee, write "in fee" and insert, for example, "purchaser under contract of purchase," or "lease.")
- The full names and full addresses of all persons, if any, who hold title with the undersigned as joint tenants or as tenants in common are:

NAME	ADDRESSES

- The names of the predecessors in interest of the undersigned, if the property was transferred subsequent to the commencement of the work of improvement herein referred to:

NAME	ADDRESSES
<u>Northwestern Engineering Company, a South Dakota Corporation</u>	

- A work of improvement on the property hereinafter described was completed on February 1, 1982
- The name of the contractor, if any, for such work of improvement was Construction Management Services Company  
(If no contractor for work of improvement as a whole, insert "none".)

- The property on which said work of improvement was completed is in the City of San Diego, County of San Diego, State of California, and is described as follows:  
Lots 2 through 11, inclusive, of Hurd Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4444, filed in the Office of the County Recorder of San Diego County, January 13, 1960.

This instrument filed for record by Title Insurance and Trust Company as an accommodation only, if fee not been assumed on its behalf, is to be filed upon the date of recording.

- The street address of said property is 550 Washington Street San Diego, CA 92101  
(If no street address has been officially assigned, insert "none".)

Dated: February 3, 1982

Signature of owner named in paragraph 1: Washington Investors, Ltd. (Corporate Seal)  
Ronald Bachrach (Also sign verification below as X)

STATE OF CALIFORNIA } ss.  
COUNTY OF San Diego  
Ronald Bachrach being duly sworn, says that he is the General Partner of Washington Investors, Ltd.

foregoing notice as owner of the aforesaid interest or estate in the property therein described; that he makes this verification on behalf of said Washington Investors, Ltd. the responsibility that he has read said notice and knows the contents thereof, and that the facts therein stated are true.

SUBSCRIBED AND SWORN TO before me  
on February 3, 1982

Signature of Notary Public: Linda A. Rios  
Notary Public in and for said State

Signature of Ronald Bachrach above named

OFFICIAL SEAL  
LINDA A. RIOS  
NOTARY PUBLIC - CALIFORNIA  
Pres. Off. Office in San Diego County  
My Commission Exp. July 26, 1985

Title Order No. \_\_\_\_\_  
Escrow or Loan No. \_\_\_\_\_  
SEE REVERSE SIDE FOR TITLE COMPANY REQUIREMENTS AS TO NOTICE OF COMPLETION

No 34797

APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

Page 12 of 81

A.2 Notice of Completion -

RECORDING REQUESTED BY

RECORDING REQUESTED BY SURVIVOR TITLE

AND WHEN RECORDED MAIL TO

Name: University Redmond Corporation  
 Attention: William Haze  
 Street Address: 12651 High Bluff Drive, Suite 302  
 City & State: San Diego, CA 92130

RF 3.00  
AR 1.00  
MG 1.00

CORPORATION FORM  
 CAT. NO. N400588  
 TO 1026 CA 12 831

410 90 666763  
 1990 DEC 14 PM 12:43

SPACE ABOVE THIS LINE FOR RECORDER'S USE

### Notice of Completion

Before execution, refer to title company requirements stated on reverse side.

Notice is hereby given that:

- The undersigned is owner of the interest or estate stated below in the property hereinafter described.
- The full name of the undersigned is MICHAEL PROPERTIES
- The full address of the undersigned is c/o Mercy Services, 3900 Fifth Ave #310, S.D., CA 92103
- The nature of the title of the undersigned is. In fee Simple  
 (If other than fee, strike "in fee" and insert, for example, "purchaser under contract of purchase," or "lessee")
- The full names and full addresses of all persons, if any, who hold title with the undersigned are:

Names	Addresses
NONE	

- The names of the predecessors in interest of the undersigned, if the property was transferred subsequent to the commencement of the work of improvement herein referred to:

Names	Addresses
NONE	

(If no transfer made, insert "none")

A work of improvement on the property hereinafter described was completed on December 5, 1990  
 The name of the contractor, if any, for such work of improvement was DON D. RAKE & ASSOCIATES, INC.  
 (If no contractor for work of improvement as a whole, insert "none".)

The property on which said work of improvement was completed is in the City of San Diego  
 County of San Diego, State of California, and is described as follows:  
Suite #500

The street address of said property is 550 Washington Street  
 (If no street address has been officially assigned insert "none")

Dated 12/12/90

Signature of owner named in paragraph 2 MICHAEL PROPERTIES  
*Michael K. Minnehan* (Corporate Seal)  
 (Also sign Verification below at X)

STATE OF CALIFORNIA,  
 COUNTY OF SAN DIEGO

JANICE K. MINNEHAN being duly sworn, says that he is the SECRETARY of MICHAEL PROPERTIES, the corporation that executed the foregoing notice as owner of the aforesaid interest or estate in the property therein described, that he makes this verification on behalf of said corporation, that he has read said notice and knows the contents thereof, and that the facts therein stated are true.

Signature of corporate officer above named *Janice K. Minnehan*

SUBSCRIBED AND SWORN TO before me on 12/12/90  
 Signature Janice K. Minnehan  
 Notary Public in and for said State

OFFICIAL SEAL  
 JANICE K. MINNEHAN  
 Notary Public-California  
 SAN DIEGO COUNTY  
 My Comm. Exp. July 14, 1993

Title Order No. \_\_\_\_\_  
 Escrow or Loan No. \_\_\_\_\_

(This area for official notarial seal)

# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.3. Water Connection Records:01/23/1982

UTILITIES DEPARTMENT										DISTRIBUTION										SER. NO.	
SEWER SERVICE ORDER																				59271	
OWNER										CUSTOMER NAME (PAGE 123)											
TENANT										Const. Management Services											
11300 Sorrento Valley Rd										San Diego										CA	
4-9										500										Hurd Addition	
212-1719										11-19-81										PL-kk	
FOR BILLING PURPOSES ONLY										Owner 457-3420										11-18-81	
SPECIAL INSTRUCTIONS:										SPECIAL INSTRUCTIONS:										SEWER	
PD \$240 for 4" VENT TOP RCPT #58220																					
DT 11-18-81 PIP #24257 JAO# 32878																					
SERVICE ENTERS PROPERTY										LATERAL TAPS MAIN											
L/LS FT. N OP L/L Fire Hydrant										FT. FROM											
The course of Washington St 5th Av										LATERAL ENTERS PROPERTY											
METER										CLEANOUT LOCATION											
10" Y 3'										SEWER DEPTH											
DATE INSTALLED										DATE INSTALLED											
1-25-82																					
FOREMAN										FOREMAN											
Bernard W. Conrad																					



# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.3. Sewer Connection Records: Sewer connection: 01/23/1982



550 WASHINGTON ST.  
IN 2.2.82  
P.R.

11' 14'

MANHOLE NO. 214 IS 108" DIAM.  
AS SHOWN ON 550 WASHINGTON ST.

TITLE: 11' 14' JWB			
CITY OF SAN DIEGO, CALIFORNIA		MAP NO.	FILED:
DRAWN: JWB	CHECKED: JWB	DATE: 2/2/82	REF.
SUBMITTED:	SCALE:	SHEET 1 OF 1	

FORM CE-987

# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Diego Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
2/26/63	-	A61682		Electrical	Service/rough/outlets/circuits	No	
5/8/63	-	A6416		Electrical	Disconnect	No	
12/2/63	784	A71095		Electrical	784 outlets fixtures	No	
1/13/64	-	A72669		Electrical	service	No	
1/29/64	711	A73211		Electrical	Rough wiring	No	
1/29/64	502	A73212		Electrical	Rough wiring	No	
3/2/64	735	A74445		Electrical	Rough wiring	No	
3/6/64	-	A74667		Plumbing & Gas	Rough	No	
3/17/64	502	A75023		Electrical	Rough wiring	No	
3/17/64	741	A75021		Electrical	Outlets	No	
3/17/64	-	A75022		Electrical	Rough wiring	No	
4/20/64	201	A76300		Plumbing & Gas	Rough	No	
4/28/64	-	A76568		Electrical	Wiring for sprinkler system	No	
7/29/64	601	A80017		Building	Interior suites 601, 611, 625, 229 and extension of mechanical air conditioning system	No	Deems-Martin , Associates
7/29/64	229	A80031		Plumbing & Gas	Rough	No	
7/29/64	601	A80032		Plumbing & Gas	Rough	No	
8/2/64	611	A81016		Plumbing & Gas	Rough	No	
8/3/64	601	A80236		Plumbing & Gas	Rough	No	
8/3/64	601	A80235		Plumbing & Gas	Rough	No	
8/6/64	-	A80438		Electrical	Outlets	No	
9/4/64	-	A81503		Plumbing & Gas	Rough	No	
9/25/64	609	A82216	14718-A	Building	Office	No	Deems-Martin , Associates
10/2/64	711	A82529		Plumbing & Gas	Rough	No	
10/9/64	609	A82793		Plumbing & Gas	Rough	No	
11/3/64	-	A-----		Electrical	-	No	
12/23/64	221	A21321	2565D	Building	Interior Partitions, Dr. Freeman office	No	Deems Lewis-Martin & Assoc.
5/7/65	635	A01781	9555C	Building	Office	No	Deems Lewis-Martin & Assoc.
5/21/65	641	M10230		Plumbing & Gas	Rough	No	
6/16/65	721	M11899		Plumbing & Gas	Rough	No	
7/14/65	521	M13607		Plumbing & Gas	Rough	No	
7/21/65	441	M14084		Plumbing & Gas	Rough	No	
7/21/65	541	M14085		Plumbing & Gas	Rough	No	
7/27/65	-	A07742	888D	Building	Interior Partitions, Dr. Flick office	No	Deems Lewis-Martin & Assoc.
7/29/65	529	A08031		Plumbing & Gas	Rough	No	
7/29/65	541	A08035		Plumbing & Gas	Rough	No	
8/2/65	-	A08351		Plumbing & Gas	Gas outlet	No	
8/3/65	3rd floor	A08407		Electrical	Outlets/lamp holders	No	
8/13/65	-	A09437	1122D	Building	Interior Partitions, Dr. Sabey office	No	Deems Lewis-Martin & Assoc.

# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Deigo Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
8/13/65	321	A09436	1120D	Building	Interior Partitions, Dr. Schmidt office	No	Deems Lewis-Martin & Assoc.
8/23/65	329	A10373	1240D	Building	Interior Partitions, Dr. Smith office	No	Deems Lewis-Martin & Assoc.
8/23/65	301	A10392		Plumbing & Gas	Rough	No	
8/24/65	739	A10315	12350	Building	Relcoate lights, mech & remove walls	No	Deems Lewis-Martin & Assoc.
8/24/65	739	A13334	15650	Building	Interior Partitions, Dr. Sandell office	No	Deems Lewis-Martin & Assoc.
8/24/65	739	A10393		Plumbing & Gas	Rough	No	
9/6/65	-	A11493	1377D	Building	Interior Partitions, Dr. Gaelen office	No	Deems Lewis-Martin & Assoc.
9/6/65	-	A11492	1378D	Building	Interior Partitions, Dr. Marsden office	No	Deems Lewis-Martin & Assoc.
9/6/65	641	A04311	93778C	Building	Suite interior install	No	Deems Lewis-Martin & Assoc.
9/8/65	315	A11704		Plumbing & Gas	Rough	No	
9/17/65	-	A12644	1527D	Building	Office Interior - Dr. Gibbings	No	Deems Lewis-Martin & Assoc.
9/22/65	315	A13121		Plumbing & Gas	Rough	No	
9/22/65	Lab	A13123		Plumbing & Gas	Rough	No	
9/22/65	401	A13122		Plumbing & Gas	Rough	No	
9/29/65	301	A13837		Plumbing & Gas	Rough	No	
9/29/65	631	A13838		Plumbing & Gas	Rough	No	
10/13/65	-	A15161	1796D	Building	Interior Partitions, Dr. Barba office	No	Deems Lewis-Martin & Assoc.
10/13/65	435	A15358		Plumbing & Gas	Rough	No	
10/13/65	311	A15358		Plumbing & Gas	Rough	No	
10/21/65	411	A16092		Plumbing & Gas	Wash basins/ water closets	No	
12/3/65	715	A19663		Plumbing & Gas	Sinks Wash basins	No	
12/3/65	415	A19664		Plumbing & Gas	Sinks, wash basins, water closets	No	
12/3/65	321	A19665		Plumbing/Gas	Sinks, wash basins, water closets,	No	
1/6/66	334	A22255	2663D	Building	Interior Partitions, Dr. Hokr office	No	Deems Lewis-Martin & Assoc.
1/7/66	621	A28123		Plumbing & Gas	Wash basin, water closets	No	
1/14/66		A23068		Electrical	Lamp holder/new service	No	
3/3/66	331	A27758		Electrical	Outlets	No	
3/7/66	321	A27991		Plumbing & Gas	Wash basin	No	
3/8/66	221	A28124		Plumbing & Gas	Sinks	No	
3/21/66	421	A29460		Plumbing & Gas	gas outlet, sinks, wash basins,	No	
3/28/66	341	A30235		Plumbing & Gas	Sinks, wash basins, water closets,	No	



# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Diego Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
4/11/66	341	A31792		Electrical	Outlets	No	
4/20/66	229	A32670		Plumbing & Gas	Wash basin, water closets	No	
4/26/66	269	A33129		Electrical	Outlets	No	
4/26/66	LAB	A27759		Electrical	Outlets	No	
4/26/66	621	A27760		Electrical	Outlets	No	
4/26/66		A33128		Electrical	outlets	No	
5/26/66	421	A36402		Plumbing & Gas	Sinks	No	
3/7/68	331	A27990		Plumbing & Gas	Wash basins/ water closets	No	
6/2/68	711	E14271		Building	Relocate partitiona dn install new	no	
7/5/68	421	E15527		Electrical	Outlets		
7/10/68	421	E15848	13298D	Building	Dr.s Moore, Steelquist, Zorn Suite, Chg Interior Partitions, cabinetry	No	Deems Lewis-Martin & Assoc.
7/17/68	421	E16692		Electrical	Service/rough/outlets/circuits	No	
7/17/68		E16693		Plumbing & Gas	Sinks/wash basins	No	
7/22/68	711	E17327		Electrical	Outlets	No	
8/13/68		E20251		Building	Change location of cabinets, build new pass thru window	No	
8/21/68	811	E21386		Electrical	outlets	No	
12/6/71	141	L01684		Electrical	Festoon lights	No	
9/28/72	-	M27261		Electrical	Booth	No	
4/24/75		K33164		Electrical	Circuits	No	
9/19/75	-	K52869		Electrical	Circuits	No	
3/27/78	-	L91780		Electrical	Circuits	No	
4/11/78	141	L94528		Electrical	Relocate existing outlets	No	
4/18/78	-	195620	E63735	Building	Relocate walls & doors	No	Hillcrest No. Meclal Ctr.
6/5/78	Lobby	M04239	E62516	Building	Glass Enclosure of open lobby area	Yes	James McGraw + Associates
4/13/79		M58768		Electrical	Install 2-60A circuits for hydrolic		
7/22/81	-	S14388	F01809	Building	Parking Garage	Yes	Marvin Cohen Arch./Inc.
12/10/81	-	N72262		Electrical	Circuits		
1/27/82	-	N744951		Mechanical	Exhaust		
6/23/82	229	A07194		Building	Tenant Improvement - convert to		
7/8/82	229	S19621		Electrical	15 circuits		
7/19/82	229	N81748		Plumbing/Gas	Lav, sink, water closet		
8/9/85	Grounds	A38728		Building	Crib Retaining walls	?	W. Ryan Wilson
7/21/86	-	A49158	F44748	Building	Canopy Addition	Yes	Tucker Sadler & Associates
9/18/90	?	008491-90	008491-90	Building	Seismic Strengthening	?	
10/17/90	541	009513-90		Combination	Hospital Add. Office	No	
10/29/90	?	008491-90	008491-90	Building	?		
5/8/91	lobby	213-1720		Building	Remodel lobby - T.I	Yes	Simpson & Schmidt
5/14/91	421	009513-90		Building	TI	No	
6/7/91	728	A4264-91		Building	TI	No	
7/10/91	106	004558-91		Plumbing & Gas	Grease Trap	No	

# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Deigo Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
7/12/91	Lobby	003274-91		Electrical / Plumbi	New Circuits	No	
7/22/91	723	004922-91		Plumbing	Plumbing System Complete	No	
8/8/91	715	003705-91		Electrical / Plumbi	Remodel	No	
9/25/91	300	003393-91		Plumbing	Add sinks, bathrooms, 1 solid	No	
10/5/92	401	004443-92		Electrical	T.I. Electrical	No	
10/22/92	101	002531-92		Mechanical	Installation of duct work only	No	
3/21/94	2nd floor	101762-94		Building	TI walls , elev, mech, water	No	
3/31/94	201	501381-94		Electrical	Elec. TI of existing office space	No	
3/31/94	200	802120-94		Plumbing	TI - add sinks, bathroom, drinking	No	
4/27/94	201	701198-94		Mechanical	T.I. office duct work only	No	
7/26/94	Grounds	A105000		Sign	Lighted monument to be installed as	Yes	
10/28/94	3rd floor	107572-94		Combination/Build	Remodel ex dr. office - no change in	No	
11/18/94	801	107572-94		Unreasonable hard	T24 compliance	No	
11/28/94	800	807373-94		Plumbing & Gas	add bathroom, sinks T.I.	No	
11/28/94	801	A6578		Electrical	Electrical TI	No	
12/7/94	101	107882-94		?	Remodel toilet for handicap	No	
12/10/94	801	703671-94		Mechanical	Comm TI	No	
1/5/95	400	100122-95		Combination	TI remodel exist dr. office	No	
1/17/95	400	800284-95		Plumbing/gas	TI remodel	No	
1/18/95	400	700166-95		Mechanical	Comm TI	No	
1/18/95	400	500236-95		Electrical	Elec TI	No	
3/13/97	104	801864-97		Plumbing & Gas	Remodel of restroom	No	
3/13/97	104	101852-97		?	Remodel med office part, electrical,	?	
3/13/97	104	501344-97		Electrical	Relocate lights and door	?	
9/10/98	-	504253-99		Sign	Two sets internally illuminated channel letters with logo	Yes	
3/16/99	Grounds	213-1720		Sign	One internally illuminated ground	Yes	
3/16/99	Grounds	102530-99		Sign	One internally illuminated ground	Yes	
7/29/99	Exterior	107736-99		Building	Cell site / antenna & cabinets	Yes	
7/30/99	-	111042-99		Electrical	New 200 amp service, mts, genplug,	No	
10/27/99	-	57858		Building	Tenant Improvement 1 water closet,	No	
11/12/99	-	213-1720		Combination	T.I - convert labortory to pharmacy	No	
12/23/99	?	507288-99		Electrical	Revise susp clg	No	
3/6/00	341	102292-00		Construction Perm	Tenant improvements - partitions, electrical, ductwork, plumbing	No	
5/4/00	Exterior	104749-00		Building	Cabinets & Antenna(s) for cell site	Yes	
5/10/00	-	502978-00		Electrical	Telecommunications Const. &	No	
6/12/00	341	ES3710-00		Electrical	New outlets and lighting	No	
9/1/00	341	P10229200		Plumbing/gas	Tenant Improvement 1 water closet,	No	
12/4/02	500	112757-94		?	Renovation of existing suite	No	
6/17/03	300	505448-94		Building/Combina	Demo, TI, Elect, Plumbing, Mechanical, No structural	No	
8/1/03	300	not legible		Mechanical	HVAC Ductwork	No	
9/3/03	300	33276		Building	Tenant Improvement	No	
9/11/03	Exterior	16332		Structure	Arden screen walls & aesthetic finishes	Yes	Aymono Fox & Associates
9/22/03	300	38742-P		Plumbing/Mechan	Installation of new plumbing fixtures	No	
9/30/03	800	152793		Plumbing/Mechan	Install 7 hand sinks	No	
10/1/03	300	41521		Plumbing/Mechan	Ductwork & Install fan coil	No	
11/7/03	100	38695		Building? Plumbi	Surgery Center	?	

# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – Index

550 West Washington Permit Record, per City of San Deigo Records

9/5/19

Date	Suite	Permit #	Plan file	Permit Type	Scope of Work	Exterior change	Architect
11/20/03	-	107986-03		Plumbing/Mechan	Install new boiler, chiller, Air handlers, exchange fans, duct work	?	
2/19/04	100	52980		Plumbing/Mechan	Adding gas outlets to permit	No	
6/17/04	Lobby	41739		Building	Partitions, ceiling, plumbing, electrical & ductwork only	No	
7/13/04	100	46347		Electrical	Remodel	No	
8/18/04	100	139593	41739	Mechanical	H.V.A.C Design Build ductwork only	?	



# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 6/5/78, Building

Building Permit Application		APPLICANT FILL INSIDE HEAVY LINES	
NAME (OR NAME OF BUSINESS)		JOB ADDRESS	
Northwestern Engineering Co.		550 WASHINGTON ST	
MAILING ADDRESS (NUMBER) (STREET)		GENERAL TRACT NUMBER	
550 Washington Street		4.00 MD4239	
CITY	ZIP	TELEPHONE NUMBER	PLAN FILE NO.
San Diego	92103	297-3331	E62516
NAME		USE ZONE	COORD. INDEX
James McGraw + Associates		C	2131720
ADDRESS (NUMBER) (STREET)		REAR YD	(INT) (STR) NAME OF STREET
654 India Street Dock D			
CITY	ZIP	TELEPHONE NUMBER	ALLOWABLE COVERAGE
San Diego	92101	231-0751	FLOOR AREA RATIO % ALLOWED
NAME		NO. OF BAR SINKS	CURB TO P.L.
Mueller-Glauner Construction Co.			
ADDRESS (NUMBER) (STREET)		DATE PLANS SUBMITTED	WORK TO BE DONE
PO Box 841		2/16/78	SIGN <input type="checkbox"/> MOVE <input type="checkbox"/> ALTER <input type="checkbox"/> DEMOLISH <input type="checkbox"/> REPAIR <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADD <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/>
CITY	ZIP	TELEPHONE NUMBER	B.C. CODE DWELL UNITS
Poway, CA	92064	224-3149	220
STATE LICENSE NUMBER	CLASS. NO.	CITY LICENSE NUMBER	
355-549	B-1	73954	
LOT	BLOCK	SUBDIVISION	UNII
2 thru 1		Hurd Add., Map 4444	
JOB ADDRESS			
550 Washington Street			
CONDITION OF SOIL AT JOB SITE			
<input type="checkbox"/> ORIGINAL <input type="checkbox"/> COMPACTED FILL <input checked="" type="checkbox"/> N/A <input type="checkbox"/> LOOSE FILL			
NO. OF EXISTING BUILDINGS ON LOT AND USE			
One (Medical Center)			
DESCRIBE WORK TO BE DONE			
Glass enclosure of open lobby area			
EXISTING USE OF BUILDING OR PROPERTY		TOTAL FEES DUE	
Medical Center		90.75	
PROPOSED USE OF BUILDING OR PROPERTY		FIRE ZONE 2	
Medical Center		TYPE OF CONST. 1	
I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction. In the event I do not comply with the Workmen's Compensation law, this permit shall be deemed revoked.			
SIGNATURE (OWNER OR AGENT)		DATE	
<i>[Signature]</i>		3/30/78	
AGENT FOR:		DATE	
Northwestern Engineering Co.		6/5/78	
ADDRESS		DATE	
550 Washington Street, SD 92103		6/5/78	
METER SIZE	SERVICE SIZE	CREDIT	CHECKED BY
REMARKS			
NO. ADDITIONAL CONNECTIONS REQ'D	TYPE CONN	CHECKED BY	
REMARKS			
SPECIAL INSPECTION REQUIRED FOR			
<input type="checkbox"/> CONCRETE <input type="checkbox"/> MASONRY <input checked="" type="checkbox"/> WELDING, H.S. BOLTS <input type="checkbox"/> PILE DRIVING <input type="checkbox"/> SOILS <input type="checkbox"/> OTHER (IDENTIFY)			
PLANS CHECKED		DATE	
Peter A. Lopez		3/30/78	
PLANS APPROVED		DATE	
C.H. Steyers		6/5/78	
PLOT PLAN CHK'D & APPROV'D		DATE	
APPLICATION APPROVAL			
THIS PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE DIRECTOR OF BUILDING INSPECTION, OR HIS DEPUTY, AND FEES ARE PAID, AND RECEIPT IS ACKNOWLEDGED IN SPACE PROVIDED.			
SIGNATURE OF BLDG. INSP. DEPT. DEPUTY			
C.H. Steyers			
DATE			
6/5/78			
FILE			

NATIONAL ICATE 2-28777 EXPIRATION DATE  
 DESIGNER'S INSURANCE CL  
 IN-288 (REV. 8/77)  
 SEWER WATER



INSPECTION ZONING APPROVAL  
 HEALTH DEPT. APPROVAL



APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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A.4 Building Permits – 7/22/81, Building

**BUILDING PERMIT APPLICATION**

PROJECT ADDRESS: 550 WASHINGTON ST.

CENSUS TRACT NUMBER: 4.00 PERMIT NUMBER: S 14388

OWNER: COLIN SEID - GENERAL CONTRACTOR, WASHINGTON INVESTORS LTD, 11300 SERRANO VALLEY RD, SUITE 255, SAN DIEGO, 92121

DESIGNER: Marvin Cohen Arch./Inc., 233 A Street Suite 204, San Diego, Ca. 92101

PROPOSED USE OF BUILDING OR PROPERTY: addition of parking

DESCRIBE WORK TO BE DONE: Proposed Parking Garage

CITY TREASURER VALIDATION: 07/22/81 4964 3 1029.00

CONTRACTOR SIGNATURE: Colin Seid, DATE: 5/11/81

APPLICANT SIGNATURE: Colin Seid, DATE: 5/11/81

WORK TO BE DONE:
 

- REMOVE
- ALTER
- REPAIR
- NEW
- EXC. CHG.
- DEMOLISH
- ADD
- RESIDENTIAL

DATE PLANS SUBMITTED: 5-15-81

PLAN CHECK RECEIPT: 148036

DATE: 7/22/81

FILE



# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 8/9/85, Building

CITY OF SAN DIEGO BUILDING PERMIT APPLICATION		PROJECT ADDRESS	
ADDRESS: 550 WASHINGTON ST		550 WASHINGTON ST	
PROJECT LEGAL DESCRIPTION: LOT 11, BLOCK HURD ADDITION, UNIT NO. MAP 4444	DIST. NO. 2	CENSUS TRACT NO. 400	PERMIT NUMBER: A 38128
EXISTING USE: LAND	PROPOSED USE: AP. 04 UNITS	COORD. I.P.E. NO. 213-1720	213-1720
OWNER NAME: WASHINGTON STREET INVESTMENT	ADDRESS: 1010 TURQUOISE ST. STE 301 SD	DESCRIPTION OF PROPOSED WORK: CRIB RETAINING WALLS	
CONTRACTOR NAME: RETAINING WALLS Co.	ADDRESS: P.O. Box 2129	17 x 230 = 3910 sq ft	
CITY: ESCONDIDO 92025	ZIP CODE: 92025	MFR 25	
STATE LIC. NO. 472093	LIC. CLASS A	BUILDING INSPECTION DEPARTMENT CITY TREASURER VALIDATION	
DESIGNER NAME: W. RYAN WILSON	LIC. NO. RCE 72671	THE PERMIT AUTHORIZES ONLY THE WORK NOTED	
ADDRESS: P.O. Box 2129	TEL. NO. 619/489-1108	SERV. SIZE	METER SIZE
CITY: ESCONDIDO 92025	ZIP CODE: 92025	SEWER CONN. 0837	CREDIT
LICENSED CONTRACTORS DECLARATION: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.		COASTAL ZONE	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7015, Business and Professions Code):		HILLSIDE REVIEW	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
I am exempt under Sec. BAPC for this reason: N.A.		AGREEMENT NO.	VARIANCE NO.
WORKERS COMPENSATION DECLARATION: I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof filed with the Building Inspection Department (Sec. 3800, Lab.C).		FUND & ACCT. VALUATION OF WORK	
APPLICANT'S SIGNATURE: [Signature]		PLAN-CHECK FEE: 100	
CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE: I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.		SUPPL. PLAN CHECK FEE: 73411	
CONSTRUCTION LENDING AGENCY: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Ch.C).		BUILDING PERMIT FEE: 100	
Lender's Name: N.A.		STATE FEE: 63010	
Lender's Address: N.A.		SEWER FEE: 41506	
NAME: P.O. Box ESCONDIDO 92025		WATER FEE: 41500	
ADDRESS: P.O. Box ESCONDIDO 92025		PARK FEE: 73423	
I certify that I have read this application and state that the above information is correct, and that I am the duly authorized agent of the owner, I agree to comply with all city and state laws relating to building construction. I hereby agree after making the Certificate of Exemption, from the Workers' Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workers' Compensation law, this permit shall be deemed revoked.		TOTAL FEES DUE: 26.99	
SIGNATURE: [Signature]		WORK TO BE DONE: NEW <input checked="" type="checkbox"/> ALTER <input type="checkbox"/> MOVE <input type="checkbox"/> ADDN. <input type="checkbox"/> REPAIR <input type="checkbox"/> DEMO. <input type="checkbox"/> RES. <input type="checkbox"/> K-RES. <input type="checkbox"/> OCC. CH.	
DATE: 7/16/85		SPEC. INSP. REQ'D. FOR: CONCRETE <input type="checkbox"/> MASONRY <input type="checkbox"/> WELD. HS BOLTS <input type="checkbox"/> SOILS <input type="checkbox"/> PILE DRIVE <input type="checkbox"/> OTHER <input type="checkbox"/>	
APPLICANT: [Signature]		DATE PLANS SUBMITTED: [Signature]	
CONTRACTOR <input type="checkbox"/> OWNER <input type="checkbox"/> AGENT FOR CONTRACTOR <input type="checkbox"/> AGENT FOR OWNER <input type="checkbox"/>		PLANS APPROVED: [Signature]	
INSPECTOR		APPLICATION APPROVAL: [Signature]	



# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits - 7/21/86, Building

CITY OF SAN DIEGO BUILDING PERMIT APPLICATION				PROJECT ADDRESS		SUITE					
ADDRESS 550 Washington Street				550 Washington Street							
PROJECT LEGAL DESCRIPTION	LOT	BLOCK	SUBDIVISION NAME	DIST. NO.	CENSUBTRACT NO.	PERMIT NUMBER	COORD. IND. NO.				
	11		Hurd Addition	1	4.00			A49158	110158		
EXISTING USE	PROPOSED USE	CONDITION OF SOIL AT PROJECT		INDISTURBED COMPACTED FILL		LOOSE FILL					
Land	Apts. 88 units					213-1720 F44748					
OWNER NAME	TEL NO.	DESCRIPTION OF PROPOSED WORK		CANYON APP'N							
Washington Street Investments 488-1031											
ADDRESS	CITY	STATE	ZIP CODE	BUILDING INSPECTION DEPARTMENT							
1010 Turquoise, Ste. 301, SD, CA. 92109	San Diego, CA.	92109	92109	CITY TREASURER VALIDATION							
CONTRACTOR NAME	TEL NO.	CITY TREASURER VALIDATION		6977/07/21/86 33.00							
Construction Mgmt Services	488-1031			07/21/86:6977 33.00							
ADDRESS	CITY	STATE	ZIP CODE	07/21/86:6977 .00							
1010 Turquoise St., Ste 301	San Diego, CA.	92109	92109								
DESIGNER NAME	TEL NO.	SERV. SIZE		METER SIZE		CREDIT					
Tucker Sadler & Associates C1886	236-1662										
ADDRESS	CITY	STATE	ZIP CODE	SEWER CONN.		WATER SEWER					
2411 Second Ave	San Diego, CA.	92101	92101								
LICENSED CONTRACTOR'S DECLARATION: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.				USE ZONE				COASTAL ZONE			
Contractor's Signature: <i>[Signature]</i>				E				NO			
OWNER-BUILDER DECLARATION: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7044.5, Business and Professions Code): Any city or county which requires a permit to construct, reconstruct, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7044.5 by any applicant for a permit subjects the applicant to a fine, penalty, or not more than five hundred dollars (\$500).				HILLSIDE REVIEW				DEV. PERMIT NO.			
I, as owner of the property, or my employees with wages as their sole compensation will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale if however the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.				AGREEMENT NO.				VARIANCE NO.			
I am a builder of the property, an exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.				FUND & ACCT.				VALUATION OF WORK			
I am exempt under Sec. _____ B & P for this reason.				41300				PLAN CHECK FEE			
Owner's Signature: <i>[Signature]</i>				73421				SUPPL. PLAN CHECK FEE			
WORKER'S COMPENSATION DECLARATION: I hereby affirm that I have a certificate of consent from the State of California, or a certified copy thereof filed with the Building Inspector's Office (Sec. 3900, Labor Code). Policy No. 018665 Insurance Company: Robt. Driver Co. Expiration: 10/1/86				41300				BUILDING PERMIT FEE			
Certificate of Exemption from Workers' Compensation Insurance: I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.				63010				STATE FEE			
CONSTRUCTION LENDING AGENCY: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. Code). Lender's Name: Lender's Address: Construction Mgmt. Services, 1010 Turquoise St., Ste. 301 S.D. CA. 92109				41508				SEWER FEE			
APPLICANT NAME: Construction Mgmt. Services				41500				WATER FEE			
ADDRESS: 1010 Turquoise St., Ste. 301 S.D. CA. 92109				73422				PARK FEE			
I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Worker's Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Worker's Compensation law, this permit shall be deemed revoked.				HOLD ORDER				PENALTY FEE(S) ADDED AS PROVIDED BY MUNICIPAL CODE			
SIGNATURE: <i>[Signature]</i> DATE: 7/1/86				NEW				TOTAL FEES DUE: 33.50			
CONTRACTOR				ALTER				WORK TO BE DONE			
				REPAIR				ADDN.			
				K-RES.				M			
				MASONRY				BUILDING AREA: NC			
				SOILS				TOTAL FLOOR AREA: NC			
				OTHER				PLANS CHECKED: J. Churchill			
				DATE PLANS SUBMITTED: 7/15/86				DATE PLANS APPROVED: 7-20-86			
				PLANS CHECK RECEIPT: NO				APPLICATION APPROVAL: <i>[Signature]</i> 7/21/86			
				SIGNATURE OF BLDG. INSP. DEPT. DEPUTY: <i>[Signature]</i>				DATE: 7/21/86			



# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 9/18/90, Building



### Permit Application

City of San Diego Building Inspection Department  
1222 First Avenue, MS 301, San Diego, CA 92101 (619) 236-6270

213-170  
C  
PC02

#### 1. Permit Type

- Combination  Building  Mobile Home  Electrical  Plumbing & Gas  Mechanical  Demolition  
 Relocation  Remove Building

#### 2. Project Information

Plan File No. **A008491-90**

Address **550 WASHINGTON STREET, SAN DIEGO** Building or Suite No.

Legal Description

Lot No. **10811** Block No. Subdivision Name Unit No. Map No.

Parcel No. **2** Parcel Map No. **15947** Assessor's Parcel No.

Existing Use **MEDICAL OFFICE BLDG** Condition of Soil at Site  Undisturbed  Compact Fill  Loose Fill

Description of Work **SEISMIC STRENGTHENING** Total Floor Area **N/A**

Designer name **EDE ENGINEERING** Address **3150 BRISTLE ST**

City **COSTA MESA** State **CA** Zip Code **92626** Telephone **(714) 850-9299** License Number

#### 3. Applicant

- Contractor  Agent for Contractor  Owner  Agent for Owner

Name **UNIVERSITY REDWOOD CORPORATION** Address **12651 HIGH BLUFF DRIVE**

City **SAN DIEGO** State **CA** Zip Code **92130** Telephone **259-8810**

#### 4. Property Owner

- Owner  Lessee or Tenant

Name **MICHAEL PROPERTIES** Address **12651 HIGH BLUFF DRIVE**

City **SAN DIEGO** State **CA** Zip Code **92130** Telephone **259-8810**

#### 5. Contractor

Name **Trepte Construction Co.** Address **8825 Aero Dr., Suite 305**

City **San Diego** State **CA** Zip Code **92123** Telephone **619-279-8100**

State License No. **592080** License Class **AB** City Business Tax No. **90000405**

Licensed Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 2 of the Business and Professions Code, and my license is in full force and effect.

Signature **Albert Sabel** Title **President** Date **9-19-90**

#### 6. Workers' Compensation

Workers' Compensation Declaration: I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof filed with the Building Inspection Department (Sec. 3800, Lab. C)

Insurance Company **Industrial Indemnity** Policy No. **CS905-7248** Expiration Date **11/1/91**

Certificate of Exemption: I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.

Signature **Albert Sabel, President** Date **9/19/90**

#### 7. Owner-Builder Declaration

Owner-Builder Declaration: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 2 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractors licensed pursuant to the Contractor's License Law)

I am exempt under Section \_\_\_\_\_ of P.C. for the reason:

Signature \_\_\_\_\_ Date \_\_\_\_\_

#### 8. Construction Lending Agency

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name **NONE** Lender's Address \_\_\_\_\_

#### 9. Applicant's Signature

I certify that I have read the application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Worker's Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Worker's Compensation Law, this permit shall be deemed revoked.

Signature **Albert Sabel** Date **9-18-90**



APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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A.4 Building Permits - 5/8/91, Building

C/1002  
MIDCITY 213-1720

### Permit Application

City of San Diego Building Inspection Department  
1222 First Avenue, MS 301, San Diego, CA 92101 (619) 238-6270

**1. Permit Type**  
 Combination  Building  Mobile Home  Electrical  Plumbing & Gas  Mechanical  Demolition  
 Relocation  Remove Building

**2. Project Information** Plan File No. A003393-71

Address 550 Washington Building Suite No. (Lobby)

Legal Description \_\_\_\_\_

Lot No. 2-11 Block No. \_\_\_\_\_ Subdivision Name Huro Addn Unit No. \_\_\_\_\_ Map No. 444

Parcel No. \_\_\_\_\_ Parcel Map No. 15947 Assessor's Parcel No. 444-55-1 + =

Existing Use Lobby of Med Office Bldg Condition of Soil at Site  Undisturbed  Compact Fill  Loose Fill

Description of Work Remodel Lobby - T.I. Total Floor Area 1070

Designer name Simpson & Schulnik Address 3100 Paseo del Oeste

City La Jolla State CA Zip Code 92037 Telephone 454-4024 License Number \_\_\_\_\_

**3. Applicant**  Contractor  Agent for Contractor  Owner Agent for Owner

Name Prose Permits Address P.O. 80861

City SD State CA Zip Code 92130 Telephone 200-8524

**4. Property Owner**  Owner  Lessee or Tenant

Name Somerset Suites Hotel Address 2287 Camino

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ Telephone \_\_\_\_\_

**5. Contractor**

Name Databuilt Construction Co Address 2500 Miramar Mall (412)

City SD State CA Zip Code 92161 Telephone 453-6500

State License No. 477542 License Class \_\_\_\_\_ City Business Tax No. \_\_\_\_\_

I, the undersigned, being duly sworn, hereby certify that I am the duly authorized agent of the contractor named above, and my authority is in full force and effect.

Signature Donna Chung Title Agent Date 5-8-91

**6. Workers Compensation**

Workers Compensation Insurance (Under Section 3800 of the Labor Code) is being provided to all employees of the contractor named above, and is in full force and effect.

Insurance Company \_\_\_\_\_ Policy No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

Certificate of Insurance (Form 101) is being provided to all employees of the contractor named above, and is in full force and effect.

Signature \_\_\_\_\_ Date \_\_\_\_\_

**7. Owner-Builder Declaration**

I, the undersigned, being duly sworn, hereby certify that I am the owner of the property named above, and that I am the duly authorized agent of the contractor named above, and my authority is in full force and effect.

I, the undersigned, being duly sworn, hereby certify that I am the owner of the property named above, and that I am the duly authorized agent of the contractor named above, and my authority is in full force and effect.

I, the undersigned, being duly sworn, hereby certify that I am the owner of the property named above, and that I am the duly authorized agent of the contractor named above, and my authority is in full force and effect.

Signature \_\_\_\_\_ Date \_\_\_\_\_

**8. Construction Lending Agency**

Name of Lender \_\_\_\_\_ Address \_\_\_\_\_

**9. Applicant's Signature**

I, the undersigned, being duly sworn, hereby certify that I am the duly authorized agent of the contractor named above, and my authority is in full force and effect.

Signature Donna Chung Date 5-8-91

SI-3032 (Rev. 5-89)



# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 10/26/94



Permit Center • 1222 First Ave. • MS-301  
San Diego, CA 92101  
(619) 236-6270

A 6875

1. Permit Type: <input type="checkbox"/> Combination/Building <input type="checkbox"/> Mobile Home <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing & Gas <input type="checkbox"/> Mechanical <input type="checkbox"/> Demolition/Relocation/Removal					
2. Project Information: Address include Building or Suite No. <u>550 Washington Street, San Diego, Ca.</u>				Plan File No. For City Use Only <u>A104600</u>	
Legal Description					
Lot No. <u>5</u>	Block No.	Subdivision Name <u>Hurd Addition</u>	Unit No.	Map No. <u>1594</u>	
Parcel No. <u>2</u>	Parcel Map No. <u>15947</u>	Assessor's Parcel No. <u>4444</u>			
Existing Use			Condition of Soil at Site: <input type="checkbox"/> Undisturbed <input type="checkbox"/> Contaminated		
Description of Work <u>Lighted Monument to be installed as per Drawings (Attached)</u>					Total
3. Designer name			Address		
City	State	Zip Code	Telephone	License	
4. Applicant Name <input type="checkbox"/> Contractor <input checked="" type="checkbox"/> Agent for Contractor <input type="checkbox"/> Owner <input type="checkbox"/> Agent for Owner					
<u>Brooke L. Rowland</u>					
Address <u>6326 Riverdale St.</u>		City <u>San Diego,</u>	State <u>Ca.</u>	Zip Code <u>92129</u>	Telephone <u>284</u>
5. Property Owner/Lessee Tenant Name Please check one <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Lessee or Tenant					
<u>John &amp; Joe Grasela d/b/a/: Sweet Life Pharmacy</u>					
Address <u>550 Washington St.</u>		City <u>San Diego,</u>	State <u>Ca.</u>	Zip Code <u>92103</u>	Telephone
6. Contractor Name <u>Neon Light Company</u>					
Address <u>6326 Riverdale St.</u>		City <u>San Diego,</u>	State <u>Ca.</u>	Zip Code <u>92120</u>	Telephone <u>284</u>
State License No. <u>552777</u>		License Class <u>C-45</u>	City Business Tax No. <u>88000375</u>		
Licensed Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 26000) of the Business and Professions Code, and my license is in full force and effect.					
Signature <u>[Signature]</u>		Title <u>Owner</u>		Date <u>7/26</u>	
7. Workers' Compensation					
<input type="checkbox"/> Workers' Compensation Declaration: I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation certified copy thereof filed with the Development Services Department (Sec. 3800, Lab. C).					
Insurance Company		Policy No.		Expiration Date	
<input checked="" type="checkbox"/> Certificate of Exemption: I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner come subject to the Workers' Compensation Laws of California.					
Signature <u>[Signature]</u>		Date <u>July 26, 1994</u>			
8. Owner-Builder Declaration: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects him to a fine of not more than five hundred dollars (\$500):					
<input type="checkbox"/> I, as owner of the property, or my employees with wages at their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business Code).					
<input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve the property.					
<input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law.					
<input type="checkbox"/> I am exempt under Section _____ B.P.C. for the reason: _____					
Signature		Date			
9. Construction Lending Agency: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Ch. C).					
Lender's Name		Lender's Address			
10. Applicant's Signature: I certify that I have read the application and state that the above information is correct, and that I am the owner of the property. I agree to comply with all City and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to inspect the project for inspection purposes. If, after making the Certificate of Exemption from the Workers' Compensation provisions of the Labor Code, I do not comply with the Workers' Compensation Law, this permit shall be deemed revoked.					
Signature <u>[Signature]</u>		Date <u>July 26, 1994</u>			

This information is available in alternative formats for persons with disabilities.  
To request this information in alternative format, call (619) 236-7703 or (619) 236-8978 (TDD)  
DS-3032 (Rev. 6-94)


# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 3/17/97, Building

4002



City of San Diego  
**Permit Services Division**  
 Development Services Department  
 Permit Center • 1222 First Ave. • MS-301  
 San Diego, CA 92101  
 (619) 236-6270

### Permit Application

ES0134497 57.75

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1. **Permit Type:**  Combination  Building  Mobile Home  Electrical  Plumbing & Gas  Mechanical  Demolition/Relocation/Remove Building  Signs

2. **Project Address:** Include Building or Suite No. Plan File No. For City Use Only

550 Washington ST Subdivision Name Unit No. #104 Map No.

Lot No. Block No. Subdivision Name Unit No. Map No.

Parcel No. Parcel Map No. Assessor's Parcel No.

Existing Use: Comm Condition of Soil at Site:  Undisturbed  Compact Fill  Loose Fill

Description of Work: Relocate lights & power Total Floor Area

3. **Designer name** Address City State Zip Code Telephone License Number

4. **Applicant Name** Please check one  Contractor  Agent for Contractor  Owner  Agent for Owner  
 MATZNAUER ELECTRIC 21 Address City State Zip Code Telephone  
 12115 Lakeside Ave Lakeside CA 92040 390-4570

5. **Property Owner/Lessee/Tenant Name** Please check one  Owner  Lessee or Tenant  
 SCRIPPS MEMORIAL Address City State Zip Code Telephone  
 9834 Genesee Ave La Jolla CA 92037

6. **Contractor Name** Address City State Zip Code Telephone  
 MATZNAUER ELECTRIC 21 12115 Lakeside Ave Lakeside CA 92040 390-4570  
 State License No. 703768 License Class E10 City Business Tax No.

**Licensed Contractor's Declaration:** I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
 Signature D-T Title PLS Date 3-17-97

7. **Workers' Compensation Declaration:** I hereby affirm under penalty of perjury one of the following declarations:  
 a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  
 b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:  
 Insurance Company EPLC Policy No. HC1500300-2 Expiration Date 2/98  
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)  
 c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.  
 Signature D-T Date 3-17-97  
 Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3700 of the Labor Code, interest, and attorney's fees.

8. **Owner-Builder Declaration:** I hereby affirm that I am exempt from the Contractor's License Law for the following reason [Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for that alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):  
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within 300 days of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).  
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law).  
 I am exempt under Section \_\_\_\_\_ B.P.C. for this reason:  
 Signature \_\_\_\_\_ Date \_\_\_\_\_

9. **Construction Lending Agency:** I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3067, Civ. C).  
 Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

10. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Workers' Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workers' Compensation Law, this permit shall be deemed revoked.  
 Signature D-T Date 3-17-97

This information is available in alternative formats for persons with disabilities.  
 To request this information in alternative format, call (619) 236-7703 or (800) 735-2929 (TT)  
 DS-3032 (1-96)




# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 3/13/99, Building

		<b>City of San Diego</b> <b>Permit Services Division</b> Development Services Department Permit Center • 1222 First Ave. • MS-301 San Diego, CA 92101 (619) 236-6270		<h1>Permit Application</h1>	
<b>1. Permit Type:</b> <input type="checkbox"/> Combination <input type="checkbox"/> Building <input type="checkbox"/> Mobile Home <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing & Gas <input type="checkbox"/> Mechanical <input type="checkbox"/> Demolition/Relocation/Remove Building <input type="checkbox"/> Signs					
<b>2. Project Address: Include Building or Suite No.</b> 550 WASHINGTON ST SUITE # 104				Plan File No. For City Use Only A101852-92	
Lot No. 2-11	Block No.	Subdivision Name HURD ADDITION	Unit No.	Map No. 4444	
Parcel No.			Parcel Map No.	Assessor's Parcel No. 444-533-25426	
Existing Use MED. OFFICE		Condition of Soil at Site: <input checked="" type="checkbox"/> Undisturbed <input type="checkbox"/> Compact Fill <input type="checkbox"/> Loose Fill			
Description of Work REMODEL MED OFFICE PART, ELECT, PLUMB					Total Floor Area 540 sq ft
3. Designer name JENNIFER NEIL		Address 12688 AUTO PARK WAY # 2000			
City ESCONDIDO	State CA	Zip Code 92029	Telephone (619) 46-2151	License Number	
<b>4. Applicant Name Please check one</b> <input type="checkbox"/> Contractor <input type="checkbox"/> Agent for Contractor <input type="checkbox"/> Owner <input type="checkbox"/> Agent for Owner SUNSHINE PERMIT SERVICE					
Address 6678 SKY RM DR.		City LAKESIDE	State CA	Zip Code 92040	Telephone (619) 443-8716
<b>5. Property Owner/Lessee Tenant Name Please check one</b> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Lessee or Tenant UNILAB					
Address 550 WASHINGTON ST		City S.D.	State CA	Zip Code 92123	Telephone (619) 694-0536
<b>6. Contractor Name</b> P. I. S.					
Address 6364 FERRIS SQUARE		City S.D.	State CA	Zip Code 92121	Telephone (619) 552-0600
State License No. 50298		License Class B	City Business Tax No.		
<b>Licensed Contractor's Declaration:</b> I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.					
Signature <i>[Signature]</i>		Title agent		Date 3-13-99	
<b>7. Workers' Compensation Declaration:</b> I hereby affirm under penalty of perjury one of the following declarations:					
<input type="checkbox"/> a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.					
<input checked="" type="checkbox"/> b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:					
Insurance Company		Policy No.		Expiration Date	
<small>(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)</small>					
<input type="checkbox"/> c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.					
Signature <i>[Signature]</i>		Date 3-13-99			
<b>Warning:</b> Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, interest, and attorney's fees.					
<b>8. Owner-Builder Declaration:</b> I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500)):					
<input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, any building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).					
<input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law).					
<input type="checkbox"/> I am exempt under Section _____ B.P.C. for the reason:					
Signature		Date			
<b>9. Construction Lending Agency:</b> I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 2077, Civ. C.).					
Lender's Name N/A		Lender's Address			
<b>10. Applicant's Signature:</b> I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Workers' Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workers' Compensation Law, this permit shall be deemed revoked.					
Signature <i>[Signature]</i>		Date 3-13-99			
This information is available in alternative formats for persons with disabilities. To request this information in alternative format, call (619) 236-7703 or (800) 735-2928 (TT)					




# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 9/10/98, Signs



City of San Diego  
Development Services  
1222 First Ave. • MS-301  
San Diego, CA 92101-4154  
(619) 236-6270

213-1720

213-1720

### Permit Application

CN-1A

<b>1. Permit Type:</b> <input type="checkbox"/> Combination <input type="checkbox"/> Building <input type="checkbox"/> Mobile Home <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing & Gas <input type="checkbox"/> Mechanical <input type="checkbox"/> Demolition/Relocation/Remove Building <input checked="" type="checkbox"/> Signs				
<b>2. Project Address:</b> <i>Include Building or Suite No.</i> 550 Washington St., S.D.			<b>Plan File No. For City Use Only</b> A107984-98	
Lot No.	Block No.	Subdivision Name	Unit No.	Map No.
Parcel No.	2 <i>159477</i>		444-533-2500	
Existing Use	medical offices		Condition of Soil at Site: <input type="checkbox"/> Undisturbed <input type="checkbox"/> Compact Fill <input type="checkbox"/> Loose Fill	
Description of Work	Two sets internally illum. channel ltr. w/ logs			
<b>3. Designer name</b>				
City	State	Zip Code	Telephone	License Number
<b>4. Applicant Name:</b> Please check one: Contractor <input checked="" type="checkbox"/> Agent for Contractor <input type="checkbox"/> Owner <input type="checkbox"/> Agent for Owner				
Stanford Sign Co.				
Address	City	State	Zip Code	Telephone
3558 Fawcett St.	CIV.	CA	91911	423-6200
<b>5. Property Owner/Leasee/Tenant Name:</b> Please check one: Owner <input type="checkbox"/> Lessee or Tenant <input checked="" type="checkbox"/>				
Stanford Hospital				
Address	City	State	Zip Code	Telephone
550 Washington St.	S.D.	CA	92105	
<b>6. Contractor Name</b>				
Stanford Sign Co.				
Address	City	State	Zip Code	Telephone
2556 Fawcett St.	CIV.	CA	91911	423-6200
State License No.	License Class	City Business Tax No.		
620617	C-45	286240		
<b>Licensed Contractor's Declaration:</b> I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.				
Signature	Title		Date	
<i>J. L. Symons</i>	OPERATIONAL		9-10-98	
<b>7. Workers' Compensation Declaration:</b> I hereby affirm under penalty of perjury one of the following declarations:				
<input type="checkbox"/> a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.				
<input checked="" type="checkbox"/> b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance policy and policy number are:				
Insurance Company	Policy No.		Expiration Date	
StanComp Ins.	478-98		4-1-99	
<input type="checkbox"/> c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall comply with those provisions.				
Signature	Date			
<i>J. L. Symons</i>	9-10-98			
Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, interest, and attorney's fees.				
<b>8. Owner-Builder Declaration:</b> I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: A city, or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):				
<input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).				
<input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law).				
<input type="checkbox"/> I am exempt under Section _____ B.&P.C. for this reason:				
Signature	Date			
<b>9. Construction Lending Agency:</b> I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).				
Lender's Name		Lender's Address		
<b>10. Applicant's Signature:</b> I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Workers' Compensation provisions of the Labor Code I should become subject to such provisions, I will comply with them. In the event I do not comply with the Workers' Compensation Law, this permit shall be deemed revoked.				
Signature	Date			
<i>J. L. Symons</i>	9-10-98			

This information is available in alternative formats for persons with disabilities.  
 To request this information in alternative format, call (619) 236-7703 or (800)735-2929 (TT)

DS-3032 (Rev. 12-96)


# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 3/16/99

212-1720  
CN-1A / MCPD



City of San Diego  
Development Services  
1222 First Ave. • MS 301  
San Diego CA 92101-4154  
(619) 236-6270

## Permit Application

---

**1. Permit Type:**  Combination  Building  Mobile Home  Electrical  Plumbing & Gas  Mechanical  Demolition/Relocation/Remove Building  Sign

**2. Project Address:** 550 Washington St., S.D. **Plan, File No. For City Use Only**  
A-102530-99

Lot No. 2 Block No. 15947 Subdivision Name 15947 Unit No. 444-533-25-00 Map No. 25-00

Parcel No. 2 Existing Use medical office Condition of Soil at Site:  Undisturbed  Compact Fill  Loose Fill

Description of Work: Sign, internally illum. ground-sign Total Floor Area \_\_\_\_\_

**3. Designer/Name:** \_\_\_\_\_ Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ Telephone \_\_\_\_\_ License Number \_\_\_\_\_

**4. Applicant Name:** Please check one:  Contractor  Agent for Contractor  Owner  Agent for Owner

Stanford Sign Co. Address: 2556 Fawcett St. City, CA 91911 Telephone: 423-6200

**5. Property Owner/Lessee/Tenant Name:** Please check one:  Owner  Lessee or Tenant

Stanford Health Address: \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ Telephone \_\_\_\_\_

**6. Contractor Name:** Stanford Sign Co. Address: 2556 Fawcett St. City, CA 91911 Telephone: 423-6200

State License No. 620617 License Class C-45 City Business Tax No. 286240

**Licensed Contractor's Declaration:** I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: J. H. Symons Title: Operations Date: 3-16-99

**7. Workers' Compensation Declaration:** I hereby affirm under penalty of perjury one of the following declarations:

a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Insurance Company State Comp - Inc Policy No. 229-99 Expiration Date 1-1-2000

(This section need not be completed if the premium for one hundred dollars (\$100) or less.)

c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Law of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature: J. H. Symons Date: 3-16-99

Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, interest, and attorney's fees.

**B. Owner-Builder Declaration:** I hereby affirm that I am exempt from the Contractor's License Law for the following reason [Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt under Section \_\_\_\_\_ B.&P.C. for this reason: \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

**9. Construction Lending Agency:** I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**10. Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Workers' Compensation provisions of the Labor Code I should become subject to such provisions, I shall comply with the Workers' Compensation Law, this permit shall be deemed revoked.

Signature: J. H. Symons Date: 3-16-99

This information is available in alternative formats for persons with disabilities.  
To request this information in alternative format, call (619) 236-7703 or (800)735-2329 (TT)

DS-3032 (Rev. 12-96)




# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 3/16/99

218-1720  
CN-1A/MCPD



City of San Diego  
Development Services  
1222 First Ave. • MS-301  
San Diego, CA 92101-4154  
(619) 236-6270

Permit  
Application

1. Permit Type: <input type="checkbox"/> Combination <input type="checkbox"/> Building <input type="checkbox"/> Mobile Home <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing & Gas <input type="checkbox"/> Mechanical <input type="checkbox"/> Demolition/Relocation/Remove Building <input type="checkbox"/> Signs				
2. Project Address: <u>550 Washington St, S.D.</u>				Plan, File No. For City Use Only <u>A102530-99</u>
Lot No.	Block No.	Subdivision Name	Unit No.	Map No.
Parcel No. <u>2</u>	Parcel Map No. <u>15947</u>	Assessor's Parcel No. <u>444-533-25-00</u>		
Existing Use <u>medical office</u>		Condition of Soil at Site: <input type="checkbox"/> Undisturbed <input type="checkbox"/> Compact Fill <input type="checkbox"/> Loose Fill		
Description of Work <u>Sign, internally illum. ground-sign</u>				Total Floor Area
3. Designer Name _____ Address _____ City _____ State _____ Zip Code _____ Telephone _____ License Number _____				
4. Applicant Name: Please check one <input checked="" type="checkbox"/> Contractor <input type="checkbox"/> Agent for Contractor <input type="checkbox"/> Owner <input type="checkbox"/> Agent for Owner				
Address <u>2556 Fairview</u>		City <u>CIV</u>	State <u>CA</u>	Zip Code <u>91911</u> Telephone <u>423-6200</u>
5. Property Owner/Tenant Name: Please check one <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Lessee of Tenant				
Address <u>2556 Fairview</u>		City _____	State _____	Zip Code _____ Telephone _____
6. Contractor Name <u>Standard Sign Co.</u>				
Address <u>2556 Fairview</u>		City <u>CIV</u>	State <u>CA</u>	Zip Code <u>91911</u> Telephone <u>423-6200</u>
State License No. <u>620617</u>	License Class <u>C-45</u>	City Business Tax No. <u>286240</u>		
Licensed Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.				
Signature <u>J. H. Symons</u>		Title <u>Operations</u>	Date <u>3-16-99</u>	
7. Workers' Compensation Declaration: I hereby affirm under penalty of perjury one of the following declarations:				
<input type="checkbox"/> a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.				
<input checked="" type="checkbox"/> b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation certificate number and policy number are:				
Insurance Company <u>State Comp Ins</u>		Policy No. <u>229-99</u>	Expiration Date <u>1-1-2000</u>	
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)				
<input type="checkbox"/> c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with these provisions.				
Signature <u>J. H. Symons</u>		Date <u>3-16-99</u>		
Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3708 of the Labor Code, interest, and attorney's fees.				
8. Owner-Builder Declaration: I hereby affirm that I am exempt from the Contractor's License Law for the following reason [Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):				
<input type="checkbox"/> I, as owner of the property, or my employees with respect to their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder still has the burden of proving that he did not build or improve for the purpose of sale.).				
<input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law).				
<input type="checkbox"/> I am exempt under Section _____ B.P.C. for this reason: _____ Date _____				
9. Construction Lending Agency: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).				
Lender's Name _____		Lender's Address _____		
10. Applicant's Signature: I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Workers' Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workers' Compensation Law, this permit shall be deemed revoked.				
Signature <u>J. H. Symons</u>		Date <u>3-16-99</u>		

(This information is available in alternative formats for persons with disabilities.  
 To request this information in alternative format, call (619) 236-7703 or (800)735-2929 (TT)  
 DS-3032 (Rev. 12-96)



APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)


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A.4 Building Permits - 7/29/99, Building

5D014A

B203087

**Permit Application**  
213-1720



City of San Diego  
Planning and Development Review  
1222 First Ave. • MS-301  
San Diego, CA 92101-4154  
(619) 236-6270

**1. Permit Type:**  Combination  Building  Mobile Home  Electrical  Plumbing & Gas  Mechanical  Demolition/Relocation/Remove Building  Signs

**2. Project Address:** *Include Building or Suite No.*  
550 Washington St. **Plan File No. For City Use Only**  
A107736-99

Lot No. Block No. Subdivision Name Unit No. Map No.

Parcel No. Parcel Map No. Assessor's Parcel No.  
444-533-25

Existing Use: *Hospital* Condition of Soil at Site:  Undisturbed  Compact Fill  Loose Fill

Description of Work: *Cell site / Antenna & cabinets* Total Floor Area

**3. Designer name:** *West Town* Address: *9805 Scranton Rd., 247*

City: *SD* State: *CA* Zip Code: *92121* Telephone: *619-435-0132* License Number: *C3001*

**4. Applicant Name:** Please check one  Contractor  Agent for Contractor  Owner  Agent for Owner  
*Precise Permits*

Address: *4026 Hawk St., F* City: *SD* State: *CA* Zip Code: *92103* Telephone: *619-260-8324*

**5. Property Owner/Lessee/Tenant Name:** Please check one  Owner  Lessee or Tenant  
*Motorola Hospital AT&T Wireless Service % WFI*

Address: *9805 Scranton Rd., 100* City: *SD* State: *CA* Zip Code: *92121* Telephone: *619-824-2929*

**6. Contractor Name:** *Cord Communication, Inc*

Address: *7940 Silvestri Ave, 101* City: *SD* State: *CA* Zip Code: *92126* Telephone: *619-695-2038*

State License No.: *760331* License Class: City Business Tax No.

**Licensed Contractor's Declaration:** I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: *Donald Eung* Title: *agent* Date: *7-29-99*

**7. Workers' Compensation Declaration:** I hereby affirm under penalty of perjury one of the following declarations:

a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:  
Insurance Company: *Supers Nat Ins Co* Policy No.: *478BD14055* Expiration Date: *11-1-99*

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code. I shall forthwith comply with those provisions.

Signature: *Donald Eung* Date: *7-29-99*

Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, arrest, and attorney's fees.

**8. Owner-Builder Declaration:** I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law)

I am exempt under Section *B&P.C.* for this reason:

Signature: Date:

**9. Construction Lending Agency:** I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name: *unk* Lender's Address:

**10. Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Workers' Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workers' Compensation Law, this permit shall be deemed revoked.

Signature: *Donald Eung* Date: *7-29-99*

This information is available in alternative formats for persons with disabilities.  
To request this information in alternative format, call (619) 236-7703 or (507) 725-2821 (TDD).  
DS-3032 (5-99)




# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 5/4/2000, Building

 <b>City of San Diego Planning and Development Review</b> 1222 First Ave. • MS-301 San Diego, CA 92101-4154 (619) 446-5000		<b>Permit Application</b>	
THE CITY OF SAN DIEGO <u>B202136-00</u>			
<b>1. Permit Type:</b> <input type="checkbox"/> Combination <input checked="" type="checkbox"/> Building <input type="checkbox"/> Mobile Home <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing & Gas <input type="checkbox"/> Mechanical <input type="checkbox"/> Demolition/Relocation/Remove Building <input type="checkbox"/> Signs			
<b>2. Project Address: Include Building or Suite No.</b> <u>550 Washington St.</u>		<b>Plan File No. For City Use Only</b> <u>A104749-00</u>	
Lot No.	Block No.	Subdivision Name	Map No.
Parcel No.	Parcel Map No.	Assessor's Parcel No.	
<u>2</u>	<u>13947</u>	<u>444-533-23</u>	
Existing Use <u>Hospital</u>		Condition of Soil at Site: <input checked="" type="checkbox"/> Undisturbed <input type="checkbox"/> Compact Fill <input type="checkbox"/> Loose Fill	
Description of Work <u>Cabinets &amp; Antenna (s) for cell site</u>			Total Floor Area
<b>3. Designer name</b> <u>Colborn Purrier Noil</u> Address <u>10675 Treana St. 101</u>			
City	State	Zip Code	Telephone License Number
<u>SD</u>	<u>CA</u>	<u>92131</u>	<u>858-695-1111 C11875</u>
<b>4. Applicant Name</b> Please check one <input type="checkbox"/> Contractor <input type="checkbox"/> Agent for Contractor <input type="checkbox"/> Owner <input type="checkbox"/> Agent for Owner <input checked="" type="checkbox"/> Precise Permit			
Address <u>4026 Hawk St. F</u> City <u>SD</u> State <u>CA</u> Zip Code <u>92103</u> Telephone <u>619-260-8521</u>			
<b>5. Property Owner/Lessee Tenant Name</b> Please check one <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Lessee or Tenant <u>AT&amp;T Fixed Wireless</u>			
Address <u>6010 Cornerstone Ct., 110</u> City <u>SD</u> State <u>CA</u> Zip Code <u>92121</u> Telephone <u>858-535-9880</u>			
<b>6. Contractor Name</b> <u>J &amp; M Telecom Inc.</u>			
Address <u>P.O. Box 5344</u> City <u>San Luis Obispo</u> State <u>CA</u> Zip Code <u>93403</u> Telephone <u>805-545-5588</u>			
State License No. <u>TT6549</u> License Class <u>B</u> City Business Tax No.			
<b>Licensed Contractor's Declaration:</b> I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. Signature <u>[Signature]</u> Title <u>agent</u> Date <u>5-30-00</u>			
<b>7. Workers' Compensation Declaration:</b> I hereby affirm under penalty of perjury one of the following declarations: <input type="checkbox"/> a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. <input checked="" type="checkbox"/> b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Insurance Company <u>American Home Assurance</u> Policy No. <u>4550737</u> Expiration Date <u>7-22-00</u> <small>(This section need not be completed if the permit is for one hundred dollars (\$100) or less).</small> <input type="checkbox"/> c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature <u>[Signature]</u> Date <u>5-30-00</u> Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, interest, and attorney's fees.			
<b>8. Owner-Builder Declaration:</b> I hereby affirm that I am exempt from the Contractor's License Law for the following reason [Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500)]: <input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale). <input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law). <input type="checkbox"/> I am exempt under Section _____ B & P C. for this reason: Signature _____ Date _____			
<b>9. Construction Lending Agency:</b> I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.) Lender's Name <u>unk</u> Lender's Address _____			
<b>10. Applicant's Signature:</b> I certify that I have read this application and state that the above information is correct, and that I am the owner or the duly authorized agent of the owner. I agree to comply with all city and state laws relating to building construction. I hereby authorize representatives of the City of San Diego to enter upon the above-mentioned property for inspection purposes. If, after making the Certificate of Exemption from the Workers' Compensation provisions of the Labor Code I should become subject to such provisions, I will forthwith comply. In the event I do not comply with the Workers' Compensation Law, this permit shall be deemed revoked. Signature <u>[Signature]</u> Date <u>5-4-00</u>			

This information is available in alternative formats for persons with disabilities.  
 To request this information in alternative format, call (619) 446-5446 or (800) 735-2929 (TT)  
 DS-3032 (11-99)

APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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A.4 Building Permits – 9/11/03, Structure

1372084 10.19 0 RAY FOX FACILITY SOL PAGE 01/02

**City of San Diego Development Services**  
 1222 First Ave., MS-301  
 San Diego, CA 92101-4154  
 (619) 441-5000  
 www.ci.san-diego.ca.us/development-services

**General Application**

Approval Type:  Construction Permits:  Structure  Grading  Public Right-of-Way,  Electrical  Plumbing  Mechanical  Sign  Subdivision  Demolition/Removal  Development Permits:  Neighborhood Use  Coastal  Neighborhood Development  Site Development  Planned Development  Conditional Use  Variance  Other

Project Address: 550 WASHINGTON STREET Project Title: EXT. AESTHETIC TREATMENT Project No. For City Use Only: NEW 16332

Block No. 1 Subdivision Name 1 Unit No. 012457 Map No. 02

Listing Use: ED OFFICE BLDG Parcel No. 441 602 Assessor's Parcel No. 441 602 02

Project Description: ARDEN SCREEN WALLS & AESTHETIC FINISHES Total Floor Area 1538

Designer name: RAYMOND FOX & ASSOC. 6090 SHOREHAM PL. STE. 100 SAN DIEGO CA 92122 Telephone: 619-296-4595 Fax Number: 619-296-1838

Applicant Name: RAYMOND FOX & ASSOCIATES License No. 21583 City: SAN DIEGO CA State: CA Zip Code: 92122 Telephone: 619-296-4595 Fax Number: 619-296-1838

Property Owner/Lessee: RIPPS / MERRILL Name: RAYMOND FOX & ASSOCIATES City: SAN DIEGO CA State: CA Zip Code: 92122 Telephone: 619-296-4595 Fax Number: 619-296-1838

Contractor Name: Raymon Contracting Co. City: Rancho Santa Fe CA State: CA Zip Code: 92067 Telephone: 856-256-0302 License No. 758944 License Class B1 City Business Tax No.

Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature: Steph J... Title: President Date: 7-17-04

Contractor's Compensation Declaration: I hereby affirm under penalty of perjury one of the following declarations:  
 1. I have and will maintain a certificate of workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  
 2. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance policy number is: Victoria Surety Co. Policy No. 005-00014661 Expiration Date 1-01-05  
 3. I certify that the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Law of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.  
 Signature: Steph J... Date: 2-17-04

Builder Declaration: I hereby certify that I am exempt from the Contractor's License Law for the following reason (Sec. 7061.5, Business and Professions Code): Builder Declaration: I hereby certify that I am exempt from the Contractor's License Law for the following reason (Sec. 7061.5, Business and Professions Code):

Owner of the property, or any of its agents, will require that the contractor, who does such work himself or through his own employees, provide that such improvements are not made or altered for sale, if, however, the building or improvement is sold within one year of completion, the contractor will have the burden of proving that he did not build or improve for the purpose of resale of the property, or for resale to a third party.

Continued on reverse side

This information is available in alternative formats for persons with disabilities. To request this information in alternative format, call (619) 446-5446 or (800) 735-2929 (TT)



# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

Page 35 of 81

## A.4 Building Permits – 9/22/03, Plumbing/Mechanical

Received: 9/22/03 11:56AM; > Development Services & Permits; Page 2

SEP-22-03 10:28AM FROM:Fick & Son Plumbing

T-817 P 007/002 F-433



City of San Diego  
Development Services  
1222 First Ave., MS-301  
San Diego, CA 92101-4164  
(619) 448-6000

### General Application

The City of San Diego [www.ci.san-diego.ca.us/development-services](http://www.ci.san-diego.ca.us/development-services)

1. Approval Type: • Construction Permits:  Structure  Grading  Public Right-of-Way •  Mechanical •  Plumbing/Mechanical  
 Sign •  Subdivision •  Demolition/Removal • Development Permits:  Neighborhood Use  Coastal  Neighborhood Development  
 Site Development  Planned Development  Conditional Use  Variance  Other \_\_\_\_\_

2. Project Address: Include Building or Suite No. 550 Washington Street #300 Project Title: Children's Healthcare Project No. For City Use Only: 38742-P  
 Lot No. \_\_\_\_\_ Block No. 0 Subdivision Name \_\_\_\_\_ Unit No. \_\_\_\_\_ Map No. \_\_\_\_\_

Existing Use: Office Bldg Parcel No. \_\_\_\_\_ Parcel Map No. \_\_\_\_\_ Assessor's Parcel No. \_\_\_\_\_  
 Project Description: Installation of new Plumbing fixtures Total Floor Area \_\_\_\_\_  
 3. Designer name \_\_\_\_\_ Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ Telephone \_\_\_\_\_ License Number \_\_\_\_\_

4. Applicant Name Please check one  Contractor  Agent for Contractor  Owner  Agent for Owner Fax Number \_\_\_\_\_  
R.L. FICK & SON PLUMBING, INC. City SANTEE State CA Zip Code 92071 Telephone (619)449-8700  
 Address 10740 KENNEY STREET #405 City SANTEE State CA Zip Code 92071 Telephone (619)449-8700

5. Property Owner/Lessee/Tenant Name Please check one  Owner  Lessee or Tenant Fax Number \_\_\_\_\_  
Children's Healthcare City San Diego State CA Zip Code 92108 Telephone \_\_\_\_\_  
 Address 550 Washington Street City San Diego State CA Zip Code 92108 Telephone \_\_\_\_\_

6. Contractor Name (not required for development permits) Fax Number \_\_\_\_\_  
R.L. FICK & SON PLUMBING, INC. City SANTEE State CA Zip Code 92071 Telephone (619)449-8700  
 Address 10740 KENNEY STREET #405 City SANTEE State CA Zip Code 92071 Telephone (619)449-8700  
 State License No. 486824 License Class C-36 City Business Tax No. SD74002971

Licensed Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
 Signature Josh Fick Title Admin Asst Date 9/22/03

7. Workers' Compensation Declaration: I hereby affirm under penalty of perjury one of the following declarations:  
 a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  
 b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:  
 Insurance Company STATE FUND Policy No. 0009577-003 Expiration Date 1/1/04  
 (This section need not be completed if the permit is for use funded dollars (\$100 or less).)  
 c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with these provisions.  
 Signature Josh Fick Date 9/22/03  
 Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand (\$100,000), in addition to the cost of compensation benefits as provided for in Section 3708 of the Labor Code, interest, and attorney's fees.

8. Owner-Builder Declaration: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):  
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code; The Contractor's License Law does not apply to an owner of property who builds or improves himself, or who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)  
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code; The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with licensed contractors pursuant to the Contractor's License Law).  
 I am exempt under Section \_\_\_\_\_ S.B.P.C. for this reason: \_\_\_\_\_ Date \_\_\_\_\_  
 Signature \_\_\_\_\_

9. Construction Lending Agency: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3007, Cr. C).  
 Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

10. Applicant's Signature: Josh Fick Date 9/22/03  
 Signature \_\_\_\_\_ Date \_\_\_\_\_

CONTINUED ON REVERSE SIDE

This information is available in alternative formats for persons with disabilities. To request this information in alternative format, call (619) 448-8448 or (800) 735-2929 (TT)


DS-3032 (02-01)

# APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## A.4 Building Permits – 11/7/03, Structure

 <p>City of San Diego  <b>Development Services</b>          1222 First Ave., MS-301          San Diego, CA 92101-4154          (619) 446-5000          www.ci.san-diego.ca.us/development-services</p>		<h3>General Application</h3>	
<p><i>TOP: 38695</i></p>			
<p>1. Approval Type: • Construction Permits <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Grading <input type="checkbox"/> Public Right-of-Way • <input type="checkbox"/> Electrical • <input checked="" type="checkbox"/> Plumbing/Mechanical          • <input type="checkbox"/> Sign • <input type="checkbox"/> Subdivision • <input type="checkbox"/> Demolition/Removal • Development Permits: <input type="checkbox"/> Neighborhood Use <input type="checkbox"/> Coastal <input type="checkbox"/> Neighborhood Development <input type="checkbox"/> Site Development <input type="checkbox"/> Planned Development <input type="checkbox"/> Conditional Use <input type="checkbox"/> Variance • <input type="checkbox"/> Other _____</p>			
2. Project Address: <i>Include Building or Suite No.</i>		Project Title:	Project No. For City Use Only
<u>550 Washington Ave</u>		<u>Scripps Mercy Surgical Center</u>	
Lot No.	Block No.	Subdivision Name	Map No.
Existing Use: <u>Surgery Center</u>		Parcel No.	Assessor's Parcel No.
Project Description:			Total Floor Area
3. Designer name		Address	Fax Number
City	State	Zip Code	Telephone License Number
4. Applicant Name <i>Please check one</i> <input type="checkbox"/> Contractor <input type="checkbox"/> Agent for Contractor <input type="checkbox"/> Owner <input type="checkbox"/> Agent for Owner		Fax Number	
<u>R.L. FICK &amp; SON PLUMBING, INC.</u>		<u>(619)449-8702</u>	
Address		City	State Zip Code Telephone
<u>10740 KENNEY STREET #405</u>		<u>SANTEE</u>	<u>CA 92071 (619)449-8700</u>
5. Property Owner/Lessee/Tenant Name <i>Please check one</i> <input type="checkbox"/> Owner <input type="checkbox"/> Lessee or Tenant		Fax Number	
<u>Scripps-Mercy Surgical Center</u>			
Address		City	State Zip Code Telephone
<u>550 Washington Ave</u>		<u>San Diego</u>	<u>CA</u>
6. Contractor Name <i>(not required for development permits)</i>		Fax Number	
<u>R.L. FICK &amp; SON PLUMBING, INC.</u>		<u>(619)449-8702</u>	
Address		City	State Zip Code Telephone
<u>10740 KENNEY STREET #405</u>		<u>SANTEE</u>	<u>CA 92071 (619)449-8700</u>
State License No. <u>486824</u>		License Class <u>C-36</u>	City Business Tax No. <u>SD74002971</u>
Licensed Contractor's Declaration: I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 7 of the Business and Professions Code, and my license is in full force and effect.			
Signature <u>[Signature]</u>		Title <u>office manager</u>	Date <u>11-7-03</u>
7. Workers' Compensation Declaration: I hereby affirm under penalty of perjury one of the following declarations:			
<input type="checkbox"/> a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. <input type="checkbox"/> b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Insurance Company <u>STATE FUND</u> Policy No. <u>0009577-003</u> Expiration Date <u>1/1/04</u> <i>WJC</i> (This section need not be completed if the permit is for one hundred dollars (\$100) or less). <input type="checkbox"/> c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner as to become subject to the Workers' Compensation Laws of California, and I shall secure workers' compensation coverage for all employees as required by Section 3700 of the Labor Code, and I shall forthwith comply with those provisions. Signature <u>[Signature]</u> Date <u>11-7-03</u> Warning: Failure to secure workers' compensation coverage is unlawful and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, interest, and attorney's fees.			
8. Owner-Builder Declaration: I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 7 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):			
<input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale; if, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale). <input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law). <input type="checkbox"/> I am exempt under Section _____ B.&P.C. for this reason: Signature _____ Date _____			
9. Construction Lending Agency: I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, C.R.C.).			
Lender's Name		Lender's Address	
10. Applicant's Signature:		Date	
<u>[Signature]</u>		<u>11-7-03</u>	

CONTINUED ON REVERSE SIDE

This information is available in alternative formats for persons with disabilities. To request this information in alternative format, call (619) 446-8446 or (600) 735-2929 (TT)

05-3032 (02-01)



APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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A.4 Building Permits – 11/20/03

Received: 11/24/03 1:51PM; -> Development Services & Permits; Page 1  
 11/24/2003 13:16 1-760-9413880 SOUTHCOAST PAGE 01  
 08/21/03 09:31 CITY OF SD/DEVELOPMENT SUCS - 1 760 9413880 NO. 918 003

B202904-03 51858

**City of San Diego**  
 Development Services  
 1222 First Ave., MS-301  
 San Diego, CA 92101-4154  
 (619) 445-8000

www.ci.san-diego.ca.us/development-services

**General Application**

FAXED

**1. Approval Type:** Construction Permits:  Structure  Grading  Public Right-of-Way;  Electrical  Plumbing/Mechanical  
 Sign  Subdivision  Demolition/Removal  Development Permits:  Neighborhood Use  Coastal  Neighborhood Development  
 Site Development  Planned Development  Conditional Use  Variance  Other

**2. Project Address:** 550 WASHINGTON ST **Project Title:** SURGERY CENTER **Project No. For City Use Only:** \_\_\_\_\_  
 Lot No. \_\_\_\_\_ Block No. \_\_\_\_\_ Subdivision Name \_\_\_\_\_ Unit No. \_\_\_\_\_ Map No. \_\_\_\_\_  
**Existing Use:** Surgery Center **Parcel No.:** \_\_\_\_\_ **Parcel Map No.:** \_\_\_\_\_ **Assessor's Parcel No.:** \_\_\_\_\_  
**Project Description:** INSTALL NEW BOILER, CHILLER, AIR HANDLERS, EXHAUST FANS **Estimated Total Floor Area:** \_\_\_\_\_  
**3. Designer name:** NIA **Address:** \_\_\_\_\_ **City:** \_\_\_\_\_ **State:** \_\_\_\_\_ **Zip Code:** \_\_\_\_\_ **Telephone:** \_\_\_\_\_ **License Number:** \_\_\_\_\_  
**4. Applicant Name:** Please check one:  Contractor  Agent for Contractor  Owner  Agent for Owner **City:** San Diego **State:** CA **Zip Code:** 92103 **Telephone:** 760-941-3680  
**5. Property Owner/Lessor/Tenant Name:** Please check one:  Owner  Lessor or Tenant **City:** San Diego **State:** CA **Zip Code:** 92103 **Telephone:** 760-941-7000  
**6. Contractor Name:** (not required for development permits) Southwest Heating & Air **City:** Oceanside **State:** CA **Zip Code:** 92056 **Telephone:** 760-941-7000  
**7. Licensed Contractor's Declaration:** I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
**Signature:** Shelly Rose **Date:** 11-20-03

**7. Workers' Compensation Declaration:** I hereby affirm under penalty of perjury and of the following declarations:  
 I have and will maintain workers' compensation, as required by Section 2780 of the Labor Code, for the performance of the work for which this permit is issued.  
 I have and will maintain workers' compensation, as required by Section 2780 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:  
Insurance Company Zurich Am Ins **Policy No.:** WC 2958649 **Expiration Date:** 1/1/06  
 (The option need not be completed if the permit is for one hundred dollars (\$100) or less.)  
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 2780 of the Labor Code, I shall strictly comply with those provisions.  
**Signature:** Shelly Rose **Date:** 11-20-03  
 Warning: Failure to obtain workers' compensation coverage is unlawful, and may subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 2780 of the Labor Code, interest, and attorney's fees.

**8. Owner/Builder Declaration:** I hereby affirm that I am exempt from the Contractor's License Law for the following reasons (Sec. 7031.5, Business and Professions Code):  
 In a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the books for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit is a misdemeanor and shall be punished by imprisonment in the county jail not exceeding one year or by a fine not exceeding one thousand dollars (\$1,000), or both.  
 In a statement of the property, or my employees with respect to their sole occupation, will do the work and the structure is not intended or altered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves the structure, and who does such work through his own employees, provided that such improvements are not intended or altered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.  
 In a statement of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves the structure, and contracts for such projects with (contractors) licensed pursuant to the Contractor's License Law.  
 I am exempt under Section \_\_\_\_\_ B.P.C. for the reason: \_\_\_\_\_  
**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**9. Construction Lending Agency:** I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 2017, Ch. C).  
**Lender's Name:** \_\_\_\_\_ **Lender's Address:** \_\_\_\_\_

**10. Applicant's Signature:**  
**Signature:** Shelly Rose **Date:** 11-20-03

**CONTINUED ON REVERSE SIDE**

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 CE-3032 (02-01)



APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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A.4 Building Permits – 8/18/04, Combination

**Plan File 4 1739** P156 \$215.00

**General Application**

**1-17612**

**City of San Diego Development Services**  
 1222 First Ave., MS-301  
 San Diego, CA 92101-4154  
 (619) 446-5000  
 www.ci.san-diego.ca.us/development-services

**1. Approval Type:** • Construction Permits:  Structure  Grading  Public Right-of-Way; •  Electrical •  Plumbing/Mechanical  
 •  Sign •  Subdivision •  Demolition/Removal • Development Permits:  Neighborhood Use  Coastal  Neighborhood Development  
 Site Development  Planned Development  Conditional Use  Variance •  Other \_\_\_\_\_

**2. Project Address:** 550 WASHINGTON, #100 S.D. **Project Title:** Sammy's Deli **Project No. For City Use Only:** 139593  
 Lot No. Block No. Subdivision Name 1<sup>st</sup> Floor Suite 100

**Existing Use:** Commercial **Parcel No.** \_\_\_\_\_ **Parcel Map No.** \_\_\_\_\_ **Assessor's Parcel No.** \_\_\_\_\_

**3. Designer name:** H.V.A.C. Design-Build PLUMBING ONLY **Address:** \_\_\_\_\_ **City:** \_\_\_\_\_ **State:** \_\_\_\_\_ **Zip Code:** \_\_\_\_\_ **Telephone:** \_\_\_\_\_ **License Number:** \_\_\_\_\_

**4. Applicant Name:** Please check one  Contractor  Agent for Contractor  Owner  Agent for Owner **City:** S.D. **State:** CA **Zip Code:** 92123 **Telephone:** \_\_\_\_\_

**5. Property Owner/Leasee:** Please check one  Owner  Lessee or Tenant **City:** SD **State:** CA **Zip Code:** 92103 **Telephone:** \_\_\_\_\_

**6. Contractor Name (not required for development permits):** Same as applicant **City:** \_\_\_\_\_ **State:** \_\_\_\_\_ **Zip Code:** \_\_\_\_\_ **Telephone:** \_\_\_\_\_

**State License No.:** 479879 **License Class:** C20 **City Business Tax No.:** SD83013386

**Licensed Contractor's Declaration:** I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

**Signature:** \_\_\_\_\_ **Title:** President **Date:** 8/18/04

**7. Workers' Compensation Declaration:** I hereby affirm under penalty of perjury one of the following declarations:  
 a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  
 b. I have and will maintain workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: State Comp Ins Policy No. 349-2003 Expiration Date 12/1/04  
(This section need not be completed if the permit is for civil engineer duties (B 100) or Real Estate.)  
 c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall comply with these provisions.

**Signature:** \_\_\_\_\_ **Date:** 8/18/04  
 Warning: Failure to secure workers' compensation coverage, if any, shall render an employer liable to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3700 of the Labor Code, interest, and attorney's fees.

**8. Owner-Builder Declaration:** I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than two hundred dollars (\$200):  
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).  
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law).  
 I am exempt under Section \_\_\_\_\_ B.P.C. for this reason: \_\_\_\_\_

**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**9. Construction Lending Agency:** I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3087, Ch. C).  
**Lender's Name:** \_\_\_\_\_ **Lender's Address:** \_\_\_\_\_

**10. Applicant's Signature:** \_\_\_\_\_ **Date:** 8/18/04

**CONTINUED ON REVERSE SIDE**

This information is available in alternative formats for persons with disabilities.  
 To request this information in alternative format, call (619) 446-5446 or (800) 735-2929 (T1)  
 D9-3032 (02-01)

## APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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### A.6. San Diego County Assessor Lot Block Book Page

Lot Block Book Page not available  
after for properties developed  
after 1949.

## APPENDIX A

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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### A.7. Previous Survey Form

There are no previously completed survey forms available for this property.



# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## APPENDIX B

### Ownership and Occupant Information

B.1 Chain of Title

B.2 Directory Listing of Occupants

B.3 Deed from Date of Construction

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.1 Chain of Title Page 1 of 5

**California Lot Book, Inc.**  
*dba California Title Search Co.*  
P.O. Box 9004  
Rancho Santa Fe, CA 92067  
(858) 278-8797 Fax (858) 278-8393  
[WWW.LOTBOOK.COM](http://WWW.LOTBOOK.COM)

### Chain of Title Report

Nexus Planning & Research  
427 C Street, Suite 212  
San Diego, CA 92101  
Attn: Jennifer Ayala

CTS Reference No.: 0819064

**Title Search Through:** July 26, 2019  
**Property Address:** 550 Washington Street  
San Diego, CA 92103  
**Assessor's Parcel No.:** 444-533-25-00  
**Assessed Value:** \$15,037,962  
**Exemption:** Welfare

#### Property Characteristics

**Use:** Medical Building  
**Improvements:** 70,694 square feet

#### Short Legal Description

PARCEL 2 OF PARCEL MAP NO. 15947 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 11, 1990, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS FURTHER DESCRIBED IN VARIOUS DOCUMENTS OF RECORD.

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.1 Chain of Title Page 2 of 5

**California Lot Book, Inc., dba California Title Search Co.**  
**CTS Reference No.: 0819064**

Chain of Title  
(January 3, 1939 through July 26, 2019)

1. Grant Deed

Grantor: Ruth C. Smith, Robert D. Whitson, Helen C. Whitson and Gertrude Potter Whitson  
Grantee: The Whitson Company  
Recorded: January 3, 1939, #171, Official Records Book 856, Page 353  
Relates to: A portion of the underlying map of Hillcrest

2. Grant Deed

Grantor: Ruth C. Smith, Robert D. Whitson and Helen C. Whitson  
Grantee: The Whitson Company  
Recorded: January 3, 1939, #172, Official Records Book 850, Page 489  
Relates to: A portion of the underlying map of Hillcrest

3. Notice of Completion

Recorded: June 17, 1964, Recordors File No. 109459

4. Corporation Grant Deed

Grantor: The Whitson Company  
Grantee: Gynob, Inc., 78.7% interest; and San Diego Trust & Savings Bank, Trustee under Trust #PT-478, 21.3% interest  
Recorded: April 7, 1965, Recordors File No. 61164

5. Articles of Incorporation - Certificate of Name Change

Changing from: Gynob, Inc.  
Changing to: Gynob Medical Group, Inc.  
Filed: August 13, 1969, File No. 8556C

6. Certificate of Ownership Merger

Merging from: Gynob Medical Group, Inc.  
Merging to: Cyto-Biological Laboratories  
Recorded: October 30, 1973, Recordors File No. 73-304198

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**



## APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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### B.1 Chain of Title Page 3 of 5

#### 7. Corporation Grant Deed

Grantor: Cyto-Biological Laboratories and San Diego Trust & Savings Bank, Trustee under Trust #PT-478  
Grantee: Carlile-Agee & Associates  
Recorded: October 30, 1973, Recordors File No. 73-304199

#### 8. Grant Deed

Grantor: Carlile-Agee & Associates  
Grantee: Northwestern Engineering Company  
Recorded: October 30, 1973, Recordors File No. 73-304203

#### 9. Corporation Grant Deed

Grantor: Northwestern Engineering Company  
Grantee: Washington Investors, Ltd.  
Recorded: January 15, 1982, Recordors File No. 82-012738

#### 10. Partnership Grant Deed

Grantor: Washington Investors, Ltd.  
Grantee: Fifth Avenue Investors, Ltd.  
Recorded: May 7, 1982, Recordors File No. 82-135097

#### 11. Grant Deed

Grantor: Fifth Avenue Investors  
Grantee: Washington Investors, Ltd.  
Recorded: March 24, 1986, Recordors File No. 86-111817

#### 12. Grant Deed

Grantor: Washington Investors, Ltd.  
Grantee: Fifth Avenue Investors  
Recorded: September 23, 1986, Recordors File No. 86-420231

#### 13. Grant Deed

Grantor: Washington Investors, Ltd. and Fifth Avenue Investors, Ltd.  
Grantee: Tarnkappe Corp.  
Recorded: March 31, 1988, Recordors File No. 88-146942

#### 14. Corporation Grant Deed

Grantor: Tarnkappe Corp.  
Grantee: Tarnkappe Ltd.  
Recorded: March 31, 1988, Recordors File No. 88-146944

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

## APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

Page 45 of 81

### B.1 Chain of Title Page 4 of 5

#### 15. Quitclaim Deed

Grantor: Tarnkappe Ltd.  
Grantee: 550 Medical, Ltd.  
Recorded: January 22, 1990, Recorders File No. 90-036709

#### 16. Grant Deed

Grantor: 550 Medical, Ltd.  
Grantee: Arpple, Inc.  
Recorded: June 20, 1990, Recorders File No. 90-334772

#### 17. Grant Deed

Grantor: Arpple, Inc.  
Grantee: Mission Valley Medical Center, Ltd.  
Recorded: June 20, 1990, Recorders File No. 90-334773

#### 18. Assignment of Leases

Assignor: 550 Medical, Ltd.  
Assignee: Arpple, Inc.  
Recorded: August 16, 1990, Recorders File No. 90-448679

#### 19. Assignment of Leases

Assignor: Arpple, Inc.  
Assignee: Mission Valley Medical Center, Ltd.  
Recorded: August 16, 1990, Recorders File No. 90-448680

#### 20. Grant Deed

Grantor: Mission Valley Medical Center, Ltd.  
Grantee: University Redmond Corporation  
Recorded: August 16, 1990, Recorders File No. 90-448681

#### 21. Assignment of Leases

Assignor: Mission Valley Medical Center, Ltd.  
Assignee: University Redmond Corporation  
Recorded: August 16, 1990, Recorders File No. 90-448682

#### 22. Grant Deed

Grantor: University Redmond Corporation  
Grantee: Michael Properties  
Recorded: August 16, 1990, Recorders File No. 90-450007

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.1 Chain of Title Page 5 of 5

### 23. Assignment of Leases

Assignor: University Redmond Corporation  
Assignee: Michael Properties  
Recorded: August 16, 1990, Recordors File No. 90-450008

### 24. Corporation Grant Deed

Grantor: Michael Properties  
Grantee: Mercy Healthcare San Diego  
Recorded: March 24, 1995, Recordors File No. 1995-0121633

### 25. Quitclaim Deed

Grantor: Mercy Healthcare San Diego  
Grantee: Scripps Health  
Recorded: November 8, 1999, Recordors File No. 1999-0743189  
Note: There is a discrepancy in the legal description of this document.

– End of Report –

\*\*\*\*\*

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10. Note that we are not a Title Insurance Company, and that no express or implied warranty as to the accuracy or completeness of the information provided herein is granted. Our work has been performed under short time constraints with a quick turn around, and is based in part on the use of databases outside of our control. The recipient hereby acknowledges that California Lot Book, Inc. assumes no liability with respect to any errors or omissions related to the information provided herein. Also note that this search has been performed without the benefit of a Statement of Identification from the property owners, and if a search was performed for liens recorded against owner names, we cannot be sure that the information provided relates to the actual property owners, or is complete with respect to the property owners. In any event, our liability is limited to the amount of fees collected for the information provided herein.

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# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### San Diego City Directory

#### Unit 105

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Anderson Ralph D Jr Phys Hillcrest North Optical
1967 – 1968	2	Anderson Ralph D Jr Phys Franklin Philip R Phys Hillcrest North Optical
1969 - 1970	2	No Return Guitierrez Jas F Optom
1972	1	Hillcrest North Optical
1973	1	Hillcrest North Optical Group Anderson Ralph D Jr phys Thomas Robt M phys
1975	1	Hillcrest North Optical Co Anderson Ralph D Jr phys Thomas Robt M phys Miller Sidney A phys
1976	1	Ophthalmology Medical Group Inc Anderson Ralph D Jr phys Thomas Robt M phys Miller Sidney A phys
1977	1	Hillcrest North Optical Ophthalmology Medical Group Inc Anderson Ralph D Jr phys Thomas Robt M phys
1978 - 1979	2	Ophthalmology Medical Group Inc Thomas Robt M phys
1980	1	Ophthalmology Medical Group Inc Thomas Robt M phys

Anderson Ralph D Jr phys = 11 years  
Thomas Robt M phys = 8 years  
Hillcrest North Optical Group = 11 years

### San Diego City Directory

#### Unit 107

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Merchant Geo B Phys

Merchant Geo B Phys = 15 years

### San Diego City Directory

#### Unit 119

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Vacant
1967	1	Moore A M Phys Steelquist John H Phys Zorn Geo H Phys
1968	1	Moore A M Phys Vacant Vacant
1969-1971	3	Anderson Ralph D Jr
1972	1	Denison Edw K Phys
1973 - 1974	2	Anderson Ralph D Jr
1975	1	Elrick Harold phys Kelley Donald L phys Kinports Edw B phys
1976 - 1977	2	Santos-Pizarro Priscila R Kelley Donald L phys Kinports Edw B phys
1978-1979	2	Singh Promilla phys Kinports Edw B phys
1980	1	Singh Promilla phys Kinports Edw B phys Schweller Thos phys

Anderson Ralph D Jr = 5 years  
Kinsport Edw B phys = 6 years

### San Diego City Directory

#### Unit 123

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1972	7	Fetter E Minton Phys
1973 - 1974	2	Denison Edw K phys
1975 - 1977	3	Hsieh San C phys
1978 - 1980	3	Madrid Alberto phys

Fetter E Minton Phys = 7 years

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### San Diego City Directory Unit 125 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Buff B Hugh Phys

Buff B Hugh Phys = 15 years

### San Diego City Directory Unit 141 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 - 1971	5	Fishburn Geo W Phys
1972 - 1973	2	Vacant
1974 - 1976	3	Hillcrest North Medical Center Hillcrest North Dictation Service pub sten
1977 – 1979	3	Hillcrest North Medical Center
1980	1	Hillcrest North Medical Center Hillcrest North Pharmacy

Fishburn Geo W phys = 5 years

### San Diego City Directory Unit 133 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Merwin T Keery Phys
1967 – 1971	5	Duff Donals F Phys Merwin T Keery Phys
1972	1	Kelley Donald T Phys Kinports Edw B Phys
1973	1	Kelley Donald T Phys Kinports Edw B Phys Schley Jenkins L phys Elrick Harold phys
1974 - 1980	7	Kelley Donald T Phys Kinports Edw B Phys Elrick Harold phys

Duff Donals F phys = 5 years  
Merwin T Keery phys = 5 years  
Kelley Donald T phys = 7 years  
Kinsport Edw B Phys = 7 years  
Elrick Harold phys = years

### San Diego City Directory Unit 201 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1974	8	De Santo-Heard Lab
1975	1	De Santo-Heard Lab Candari Cesar D phys Shishido Ralph M phys Tucker Caryln C phys
1976 - 1980	5	Vacant

De Santo-Heard Lab = 8 Years

### San Diego City Directory Unit 139 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Jibran Joseph R Phys

Jibran Joseph R phys = 15 years

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### San Diego City Directory

#### Unit 211

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	6	Kaufman James A Phys Storey Clifford F Phys
1972	1	Glass James L Phys Kaufman James A Phys Storey Clifford F Phys
1973	1	Glass James L Phys Kaufman James A Phys
1974 - 1975	2	Glass James L Phys Kaufman James A Phys Thoracic Surgery Associates of San Diego Inc. phys
1976 - 1977	2	Fahlsing Walter C phys Jorgensen Morton C phys
1978 - 1979	2	Fahlsing Walter C phys Jorgensen Morton C phys Hillenbrand Carl M phys
1980	1	Fahlsing Walter C phys Jorgensen Morton C phys

Kaufman James A phys = 6 years

Storey Clifford F phys = 6 years

### San Diego City Directory

#### Unit 221

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1977	12	Freeman Gordon R Phys
1978 – 1979	2	Grant James A phys Rauner Thos A phys
1980	1	Vacant

Freeman Gordon R phys = 12 years

### San Diego City Directory

#### Unit 215

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1968	3	Maile Earle J Phys
1969 – 1973	5	Franklin Philip R Phys
1974 - 1979	6	Veinbergs R Julio phys
1980	1	Vacant

Franklin Philip R phys = 5 years

Veinbergs R Julio phys = 6 years

### San Diego City Directory

#### Unit 229

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Froeb Herman F Phys
1967	1	Froeb Herman F Phys Laughlin Thos T Phys
1968 – 1971	4	Braun Richd M Phys
1972	1	Bradley Paul H Phys Braun Richd M Phys
1973 – 1974	2	Bradley Paul H Phys Braun Richd M Phys Subin David M phys
1975-1979	5	Goodman John D phys Denison Edw K phys
1980	1	Vacant

Goodman John D phys = 5 years



# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### San Diego City Directory

#### Unit 241

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1972	7	Radiology Medical Group
1973	1	Vacant
1974 - 1980	7	Radiology Medical Group Inc. phys

Radiology Medical Group = 14 years

### San Diego City Directory

#### Unit 315

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Sabey Andrew C Phys

Sabey Andrew C phys = 15 years

### San Diego City Directory

#### Unit 301

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1973	8	Flick Arnold L Phys
1974	1	Vacant
		Morse John R phys
1975-1980	6	Vacant

Flick Arnold L phys = 8 years

### San Diego City Directory

#### Unit 401

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Smith Walter M Phys
1967 – 1971	5	Masliyah Noory H Phys Smith Walter M Phys
1972 - 1973	2	Vacant
1974 – 1980	8	Martin Smith Crippen & Fahlsing

Masliyah Noory H Phys = 5 years

Smith Walter M phys = 5 years

Martin Smith Crippen & Fahlsing = 8 years

### San Diego City Directory

#### Unit 311

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Gibbings R J Phys

Gibbings R J Phys = 15 years

### San Diego City Directory

#### Unit 411

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1975	10	Barba Manuel Phys
1976 - 1980	5	Bouterie Ronald L Phys Trummer Max J phys

Barba Manuel Phys = 10 years

Bouterie Ronald L Phys = 5 years

Trummer Max J phys = 5 years

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### San Diego City Directory Unit 435 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1976	11	Sandell James E Pys
1977	1	Peters John W Phys Egan Michael D phys
1978 – 1979	2	Von Herzen Josephine L phys
1980	1	Vacant

Sandell James E Pys = 11 years

### San Diego City Directory Unit 511 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1968	3	Slate Thos A Phys MC Clure Bruce B Phys Kennedy Clyde R Phys
1969 – 1971	3	Slate Thos A Phys MC Clure Bruce B Phys
1972 – 1977	6	Giarratano Robt C Phys Slate Thos A Phys MC Clure Bruce B Phys
1978 – 1979	2	Giarratano Robt C Phys Slate Thos A Phys
1980	1	Giarratano Robt C Phys

Giarratano Robt C Phys = 6 years

Slate Thos A Phys = 6 years

MC Clure Bruce B Phys = 6 years

### San Diego City Directory Unit 441 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Hoffman Ralph L Phys MC Iver Robt S Phys
1967 – 1971	5	Hoffman Ralph L Phys
1972 - 1980	9	Sandell James E Phys

Hoffman Ralph L Phys = 5 years

Sandell James E Phys = 9 years

### San Diego City Directory Unit 521 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Dickson J Warner Phys Henderson Wayde B Phys
1967 - 1973	7	Dickson J Warner Phys Fahlsing Edwin L Phys Henderson Wayde B Phys Dickson J Warner Phys
1974	1	Dickson J Warner Phys Henderson Wayde B Phys Gordon Robt T Phys
1975 – 1976	2	Fiorica Benj P Phys Dickson J Warner Phys Gordon Robt T Phys
1977	1	Fiorica Benj P Phys Dickson J Warner Phys Gordon Robt T Phys Lapp L Dale Phys
1978 – 1979	2	Peters John W Phys Egan Michl D Phys
1980	1	Peters John W Phys Egan Michl D Phys Riley Tumothy B Phys

Dickson J Warner Phys = 7 years

Fahlsing Edwin L Phys = 7 years

Henderson Wayde B Phys = 7 years

Dickson J Warner Phys = 7 years

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### San Diego City Directory

#### Unit 529

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1968	3	Crippen Kenneth D Phys Martin Purvis L Phys Smith Steward H Phys
1969 – 1971	3	Crippen Kenneth D Phys Martin Purvis L Phys Peters John W Phys
1972 – 1973	2	Crippen Kenneth D Phys Martin Purvis L Phys Fahlsing Edwin L Phys Smith Stewart H Phys
1975	1	Crippen Kenneth D Phys Martin Purvis L Phys Fahlsing Edwin L Phys
1976	1	Crippen Kenneth D Phys Fahlsing Edwin L Phys
1977 - 1980	4	Crippen Kenneth D Phys Martin Ourvis L phys

### San Diego City Directory

#### Unit 541

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1975	11	Burnier Andrew M Phys Mannino Paul P Phys
1976	1	Mannino Paul P Phys
1977 – 1980	4	Burnier Andrew M Phys

Burnier Andrew M Phys = 11 years  
Mannino Paul P Phys = 11 years

### San Diego City Directory

#### Unit 535

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	6	Endocrine Clinic Med Clinic
1972 - 1980	9	Vacant

Endocrine Clinic Med Clinic = 6 years

### San Diego City Directory

#### Unit 601

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Simmons Eunice M Phys

Simmons Eunice M Phys = 15 years



# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### San Diego City Directory Unit 609 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	6	Assan Sam Phys
1972 - 1973	2	Neurosurgical Medical Clinic
1974	1	Andrews Robt F phys
1975	1	Neurosurgical Medical Clinic
1976	1	Neurosurgical Medical Clinic Assam Sam phys Waltz Thos A phys
1977	1	Neurosurgical Medical Clinic Vacant Waltz Thos A phys Ott Kenneth H phys
1978 - 1980	3	Vacant

Assan Sam Phys = 6 years

### San Diego City Directory Unit 621 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1973	8	Maurer Esther L Phys
1974	1	Franklin Philip R phys
1975	1	Franklin Philip R phys Phillips WM L optn Pulaski James phys
1976 - 1980	5	Franklin Philip R phys

Maurer Esther L Phys = 8 years

### San Diego City Directory Unit 611 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Kelley Donald T Phys Kinports Edw B Phys
1967	1	Kelley Donald T Phys Kinports Edw B Phys Pedace Francis J Phys
1968	1	Kelley Donald T Phys Kinports Edw B Phys
1969 - 1971	3	Vacant
1972	1	Elrick Harold Phys
1973 - 1980	8	Vacant

### SAN DIEGO CITY DIRECTORY Unit 625 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	5	De Riemer Robt H Phys Gilman Janet S Phys Gilman Richd A Phys
1972 – 1973	2	Bouterie Ronald L Phys Masliyah Noory H Phys
1974 – 1975	2	Masliyah Noory H Phys
1976 – 1977	2	Vacant
1978 - 1980	3	Masliyah Noory H phys

De Riemer Robt H Phys = 8 years

Gilman Janet S Phys = 8 years

Gilman Richd A Phys = 8 years

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### SAN DIEGO CITY DIRECTORY

#### Unit 629

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Gaelen Leslie H Phys
1967 - 1973	7	E E G Laboratory Gaelen Leslie H Phys Russell Allen J
1974 – 1975	2	E E G Laboratory Gaelen Leslie H Phys
1976 – 1979	4	Haynes Vital E Jr phys
1980	1	Weis Andrew J phys

E E G Laboratory = 7 years  
Gaelen Leslie H Phys = 7 years  
Russell Allen J = 7 years

### SAN DIEGO CITY DIRECTORY

#### Unit 641

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Billing Ervin L Phys

Billing Ervin L Phys = 15 years

### SAN DIEGO CITY DIRECTORY

#### Unit 635

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1967	2	Barron David W Phys Brickman J Brand Phys
1968 - 1971	4	Barron David W Phys Schorr Martin M Physch
1972	1	Barron David W Phys
1973	1	Barron David W Phys Marks Alvin physco therapist
1974 – 1975	2	Barron David W Phys
1976	1	Vacant
1977	1	Masliyah Noory H phys
1978 – 1979	2	Doctor Personnel Agcy
1980	1	Doctor Personnel Agcy Quinci Judith Professional ofc counselor

### SAN DIEGO CITY DIRECTORY

#### Unit 701

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Meyer Paul G Phys

Meyer Paul G Phys = 15 years

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### SAN DIEGO CITY DIRECTORY

#### Unit 711

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 - 1967	2	Marsden Charles S Phys
1968	1	Vacant
1969-1980	12	Yancey WM A Phys

Yancey WM A Phys = 12 years

### SAN DIEGO CITY DIRECTORY

#### Unit 721

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	5	Roberts Harry L Phys
1972	1	Roberts Harry L Phys Baronafsky Ivan D phys
1973 – 1975	2	Baronafsky Ivan D phys
1976	1	Vacant
1977-1980	4	Am Assn of Sex Educators Counselors & Therapists

Roberts Harry L Phys = 6 years

### SAN DIEGO CITY DIRECTORY

#### Unit 715

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1980	15	Johnson Walter L Phys

Johnson Walter L Phys = 15 years

### SAN DIEGO CITY DIRECTORY

#### Unit 725

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1967	2	Carson Kath F Phys
1968 – 1971	3	Carson Kath F Phys MC Daniel James W Phys
1972	1	Brooks Donna L Phys Carson Kath F Phys MC Daniel James W Phys
1973	1	Vacant
1974 – 1975	2	Carson Kath F phys
1976	1	Mills Marion C phys
1977	1	Silverman H arth phys
1978 - 1979	2	Arthritis Medical Group Silverman H Arth phys Kaplan Roy A phys
1980	1	Vacant



# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### SAN DIEGO CITY DIRECTORY

#### Unit 729

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Hillcrest Vision Center Messerschmidt John C Optom
1967	1	Hillcrest Vision Center Messerschmidt John C Optom Messerschmidt Burt & Associates Optom
1968-1980	13	No Suite Listed

### SAN DIEGO CITY DIRECTORY

#### Unit 741

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Fleischaker Robt J Phys
1967	1	Vacant
1968-1980	13	No Suite Listed

### SAN DIEGO CITY DIRECTORY

#### Unit 735

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Alexander John T Phys Leverich Edw B Phys
1967	1	Alexander John T Phys
1968	1	Alexander John T Phys Kruggel John Phys
1969-1971	3	Alexander John T Phys Kruggel John Phys
1972	1	Alexander John T Phys
1973	1	Hood Peter M phys
1974-1980	7	Brooks Donna L phys

Brooks Donna L phys = 7 years

### SAN DIEGO CITY DIRECTORY

#### Unit 801

#### 550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Bridge Robt A Phys
1967 - 1972	6	Bridge Robt A Phys Roe Craig W Phys
1973	1	Hillcrest Urological Medical Group Bridge Robt A C phys Roe Craig W phys
1974 - 1976	3	Hillcrest Urological Medical Group Bridge Robt A C phys Roe Craig W phys Kessler Warren phys
1977	1	Hillcrest Urological Medical Group Bridge Robt A C phys Roe Craig W phys Vacant
1978 - 1980	3	Hillcrest Urological Medical Group Bridge Robt A C phys Kessler Warren O phys Roe Craig W phys

Bridge Robt A Phys = 6 years

Roe Craig W Phys = 6 years

# APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## B.2 Directory Listing of Occupants, City of San Diego, on File at San Diego Library, California Room

### SAN DIEGO CITY DIRECTORY

#### Unit 811

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966	1	Garrie Sander Phys Bridge Robt A Phys
1967	1	Barsky Morley Phys Hoyt C Jay Phys
1968-1980	13	No suite listed

### SAN DIEGO CITY DIRECTORY

#### Unit 831

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1971	6	Gynob Dep. Of Thermogr
1972 – 1980	9	Vacant

Gynob Dep. Of Thermogr = 9 years

### SAN DIEGO CITY DIRECTORY

#### Unit 821

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1967	2	Cyto Biological Lab Hillcrest North Medical Center Blds Ofc
1968 – 1971	4	Cyto Biological Lab Hillcrest North Medical Center Blds Ofc Gynob Inc Clinic Laby
1972	1	Cyto Biological Lab Fifth Avenue Medical Group Inc Hillcrest North Medical Center Blds Ofc Vacant
1973	1	Cyto Biological Lab Gynob Inc clinical laby Hillcrest North Medical Center Bldg Ofc Roberts Harry L phys Buncher Leslie phys
1974	1	Roberts Harry L phys Buncher Leslie phys
1976-1980	5	UCSD Faculty Clinic med Clinic

UCSD Faculty Clinic med clinic = 5 years

### SAN DIEGO CITY DIRECTORY

#### Unit 841

550 Washington Street, San Diego CA 92104

Year(s)	# Years	Occupant, Owner, and Occupation
1966 – 1967	2	Haynes Vital E Phys Talbot Blake S Phys
1968 – 1974	7	Haynes Vital E Phys Masters Robt H Phys Talbot Blake S Phys
1975	1	Roberts Harry L phys Buncher Leslie phys Haynes Vital E Phys
1976 – 1977	2	Vacant
1978 - 1979	2	Feren Alan P phys
1980	1	Feren Alan P phys Mc Cormick Sue A transcriptionist

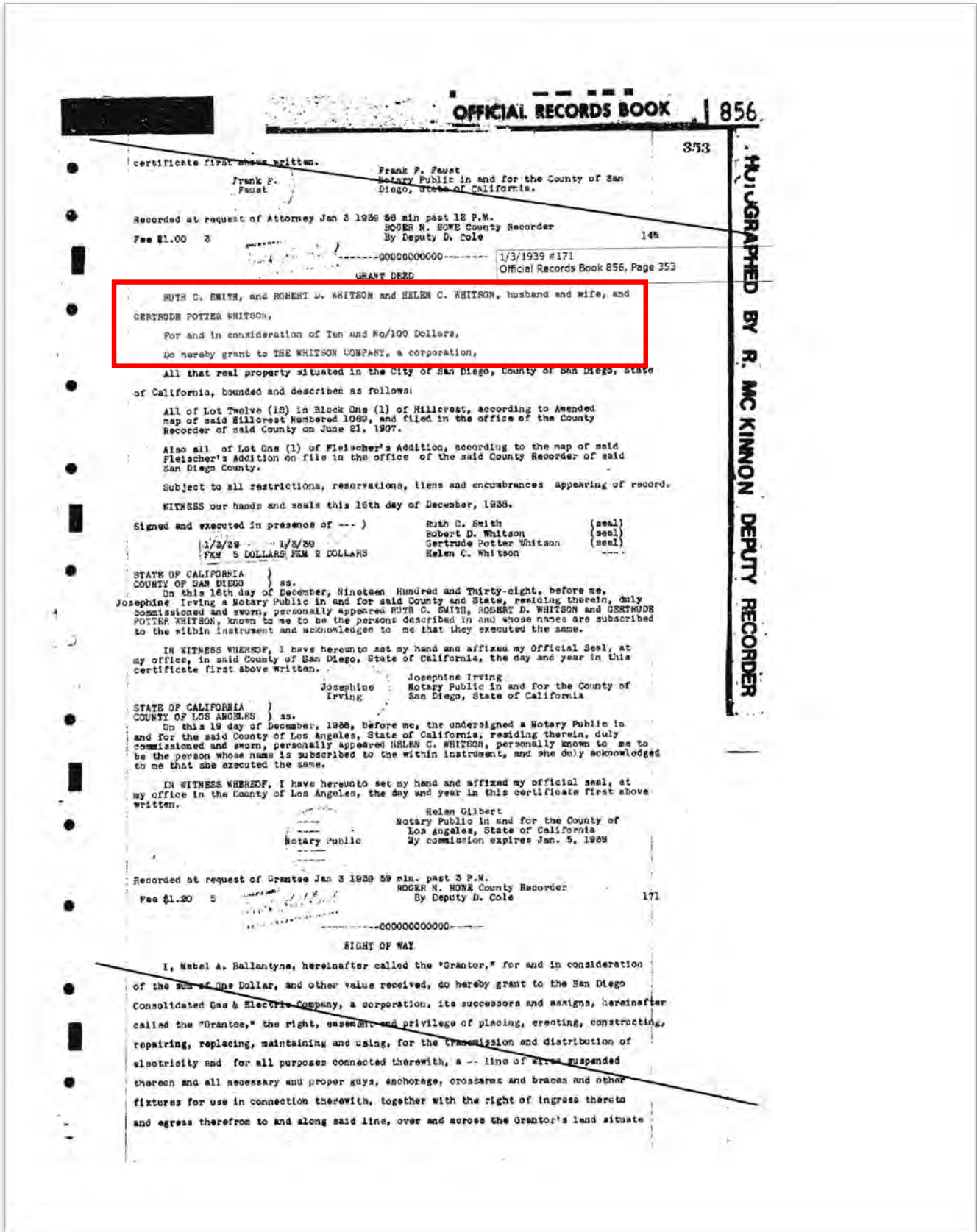
Haynes Vital E Phys = 7 years  
Masters Robt H Phys = 7 years  
Talbot Blake S Phys = 7 years

APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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B.3 Property Deeds: Deed from date of construction



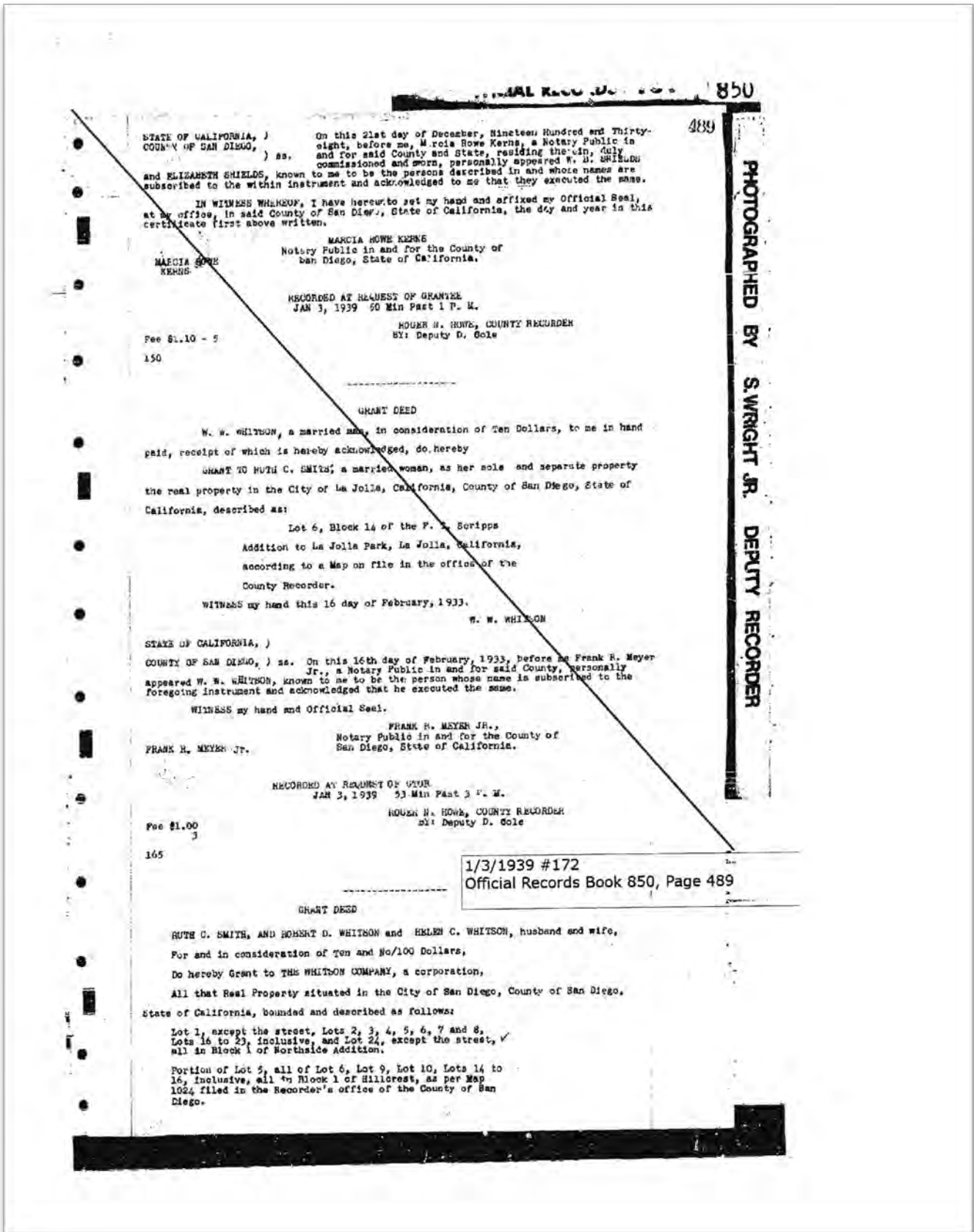


APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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B.3 Property Deeds: Deed from date of construction



STATE OF CALIFORNIA, )  
COUNTY OF SAN DIEGO, ) ss.

On this 21st day of December, Nineteen Hundred and Thirty-eight, before me, Marcia Howe Kerns, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared W. B. SHIELDS and ELIZABETH SHIELDS, known to me to be the persons described in and whose names are subscribed to the within instrument and acknowledged to me that they executed the same.

489

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal, at my office, in said County of San Diego, State of California, the day and year in this certificate first above written.

MARCIA HOWE KERNS  
Notary Public in and for the County of San Diego, State of California.

RECORDED AT REQUEST OF GRANTEE  
JAN 3, 1939 50 Min Past 1 P. M.

ROGER H. HOWE, COUNTY RECORDER  
By: Deputy D. Cole

Fee \$1.10 - 5  
150

GRANT DEED

W. W. WHITSON, a married man, in consideration of Ten Dollars, to me in hand paid, receipt of which is hereby acknowledged, do hereby

GRANT TO RUTH C. SMITH, a married woman, as her sole and separate property the real property in the City of La Jolla, California, County of San Diego, State of California, described as:

Lot 6, Block 14 of the P. S. Scripps Addition to La Jolla Park, La Jolla, California, according to a Map on file in the office of the County Recorder.

WITNESS my hand this 16 day of February, 1933.

W. W. WHITSON

STATE OF CALIFORNIA, )  
COUNTY OF SAN DIEGO, ) ss.

On this 16th day of February, 1933, before me Frank R. Meyer Jr., a Notary Public in and for said County, personally appeared W. W. WHITSON, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same.

WITNESS my hand and Official Seal.

FRANK R. MEYER JR.  
Notary Public in and for the County of San Diego, State of California.

RECORDED AT REQUEST OF GRANTOR  
JAN 3, 1939 53 Min Past 3 P. M.

ROGER H. HOWE, COUNTY RECORDER  
By: Deputy D. Cole

Fee \$1.00  
3  
165

1/3/1939 #172  
Official Records Book 850, Page 489

GRANT DEED

RUTH C. SMITH, AND ROBERT D. WHITSON and HELEN C. WHITSON, husband and wife,

For and in consideration of Ten and No/100 Dollars,

Do hereby Grant to THE WHITSON COMPANY, a corporation,

All that Real Property situated in the City of San Diego, County of San Diego, State of California, bounded and described as follows:

Lot 1, except the street, Lots 2, 3, 4, 5, 6, 7 and 8, Lots 16 to 23, inclusive, and Lot 24, except the street, all in Block 1 of Northside Addition.

Portion of Lot 5, all of Lot 6, Lot 9, Lot 10, Lots 14 to 16, inclusive, all in Block 1 of Hillcrest, as per Map 1024 filed in the Recorder's office of the County of San Diego.

PHOTOGRAPHED BY S. WRIGHT JR. DEPUTY RECORDER

APPENDIX B

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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B.3 Property Deeds: Deed from date of construction

850

PHOTOGRAPHED BY S. WRIGHT JR. DEPUTY RECORDER

Also all that portion of Sixth Street as it formerly existed, lying North of the North line of Washington Street and heretofore abandoned by the City of San Diego by resolution of its Common Council or by ordinance or otherwise, and being that portion of said Sixth Street lying and being between Lot 16, Block 1, of Hillcrest and Lot 1 of Plöschner's Addition to the said city and extending Northward to the County Road.

Lots 1 to 6 of O. A. Bush Addition;

The East 1/2 of the South 5 feet of Lot "C", the East 1/2 of Lot "D", and the East 1/2 of the North 35 feet of Lot "2" in Block 42 of Horton's Addition.

Lot 17 in Block 8 of Hillcrest.

East 48 feet of Lot 11, Lot "F" Lot 13, Block 1 of Hillcrest, as per Map 1069 filed in the Recorder's Office of the County of San Diego.

Subject to all restrictions, reservations, liens and encumbrances appearing of record.

10 DOLLARS	10 DOLLARS	Thirty Dollars	Thirty Dollars
1/3/39	1/3/39	489028	489028
FRM	FRM	\$30	\$30
		1/3/39 FRM	1/3/39 FRM

WITNESS our hands and seals this 16th day of December, 1938.

Signed and executed  
in presence of -----

RUTH C. SMITH (SEAL)  
ROBERT L. WHITSON (SEAL)  
HELEN C. WHITSON (SEAL)

STATE OF CALIFORNIA,  
COUNTY OF SAN DIEGO, ) ss. On this 16th day of December, Nineteen Hundred and Thirty-eight before me Josephine Irving, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared RUTH C. SMITH and ROBERT L. WHITSON, known to me to be the persons described in and whose names are subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal, at my office, in said County of San Diego, State of California, the day and year in this certificate first above written.

JOSEPHINE IRVING  
Notary Public in and for the County of  
San Diego, State of California

JOSEPHINE IRVING

STATE OF CALIFORNIA,  
COUNTY OF LOS ANGELES, ) ss. On this 19 day of December, 1938, before me, the undersigned, a Notary Public in and for the said County of Los Angeles, State of California, residing therein, duly commissioned and sworn, personally appeared HELEN C. WHITSON, personally known to me to be the person whose name is subscribed to the within instrument and he duly acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, at my office in the County of Los Angeles, the day and year in this certificate first above written.

LEE GILBERT  
Notary Public in and for the County of  
Los Angeles, State of California.

Los Angeles My commission expires Jan 5, 1939

RECORDED AT REQUEST OF GRANTEE  
JAN 3, 1939 -- Min Past 4 P. M.  
ROGER N. HOWE, COUNTY RECORDER  
BY: Deputy D. COLE

Fee \$1.20  
6

172

KNOW ALL MEN BY THESE PRESENTS:

THAT We, ALBERT C. MEYER as Principal, and COMMERCIAL CASUALTY INSURANCE COMPANY, a corporation duly organized and existing under the laws of the State of New Jersey and duly authorized and licensed by the laws of the State of California to do a general surety business in the State of California, as Surety, are held and firmly bound unto the State of California, in the sum of FIFTEEN THOUSAND & NO/100 (\$15,000.00) dollars, lawful money of the United States of America, to be paid to the said State of California, or its assigns, for which payment, well and truly to be made we bind ourselves, our heirs, executors, administrators, successors and assigns jointly and severally, finally by these presents.

WHEREAS, the above bounden Principal, Albert C. Meyer was on the 3rd day of

# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## APPENDIX C

### Maps

C.1 City of San Diego 800 Scale Engineering Map

C.2 USGS Map (2015)

C.3 Original Subdivision map

C.4 Sanborn Fire Insurance Maps



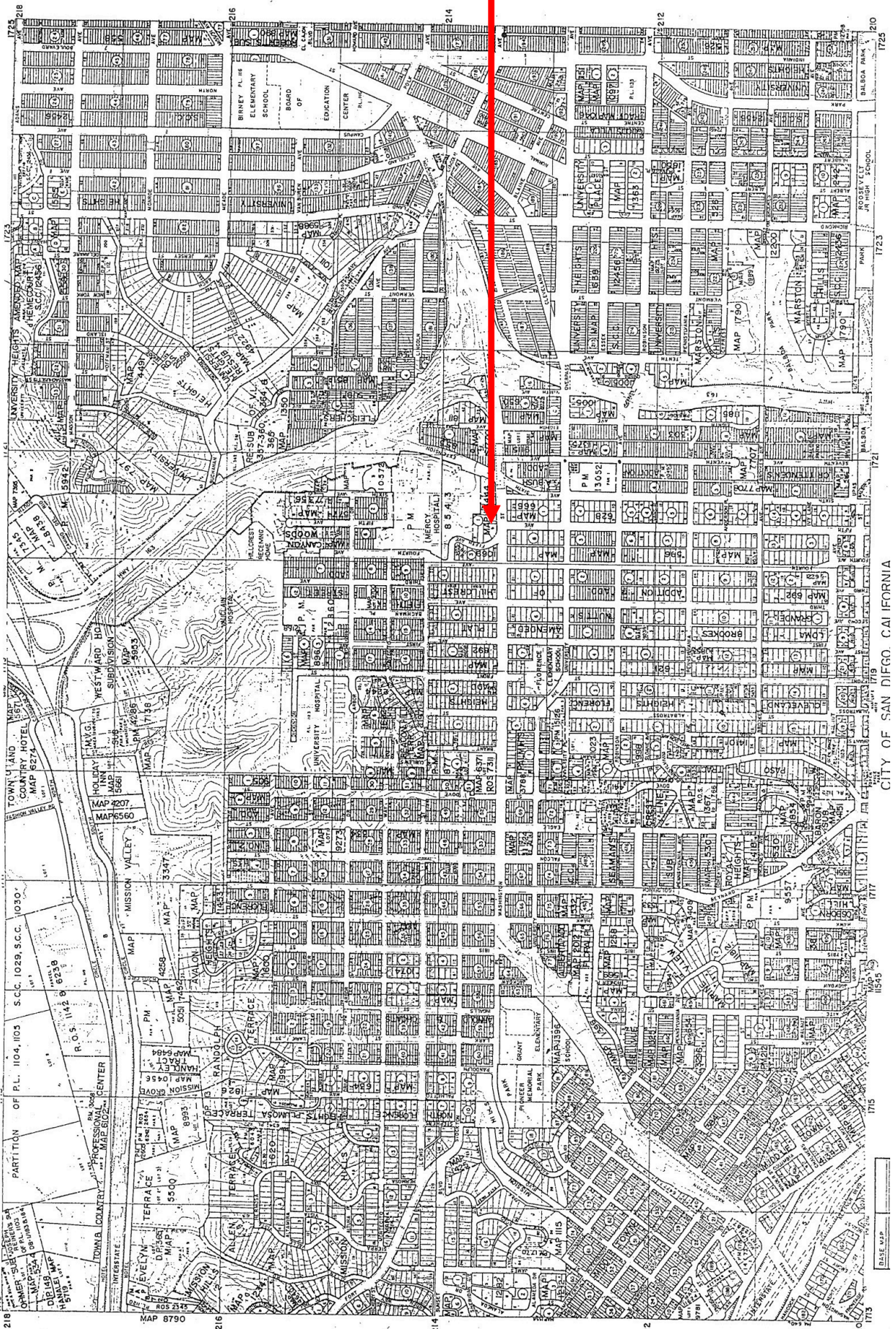
# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.1 City of San Diego 800 Scale Engineering Map

550 Washington Street



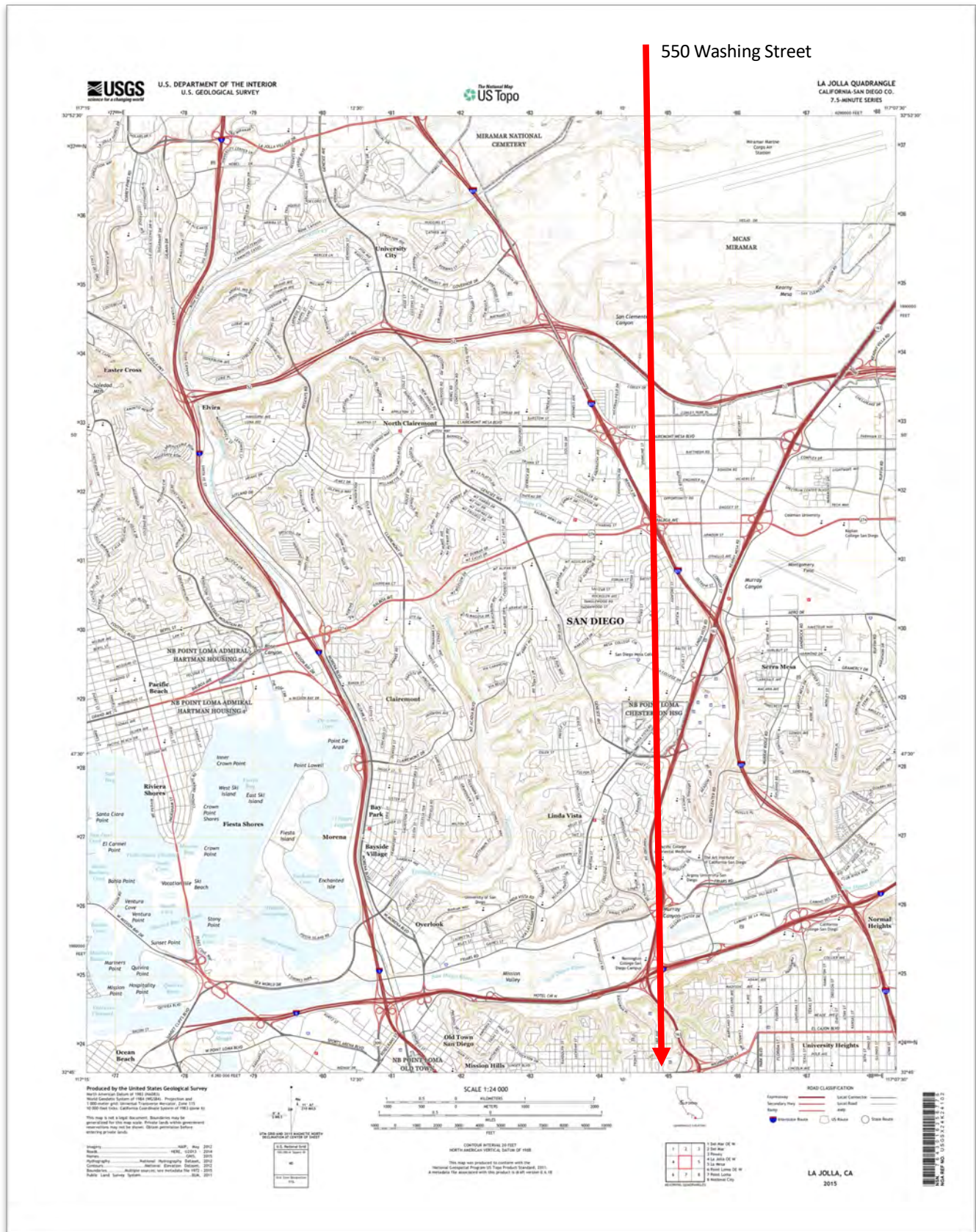


# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.2 USGS Map – 2015 La Jolla Quadrangle, 7.5 Minute



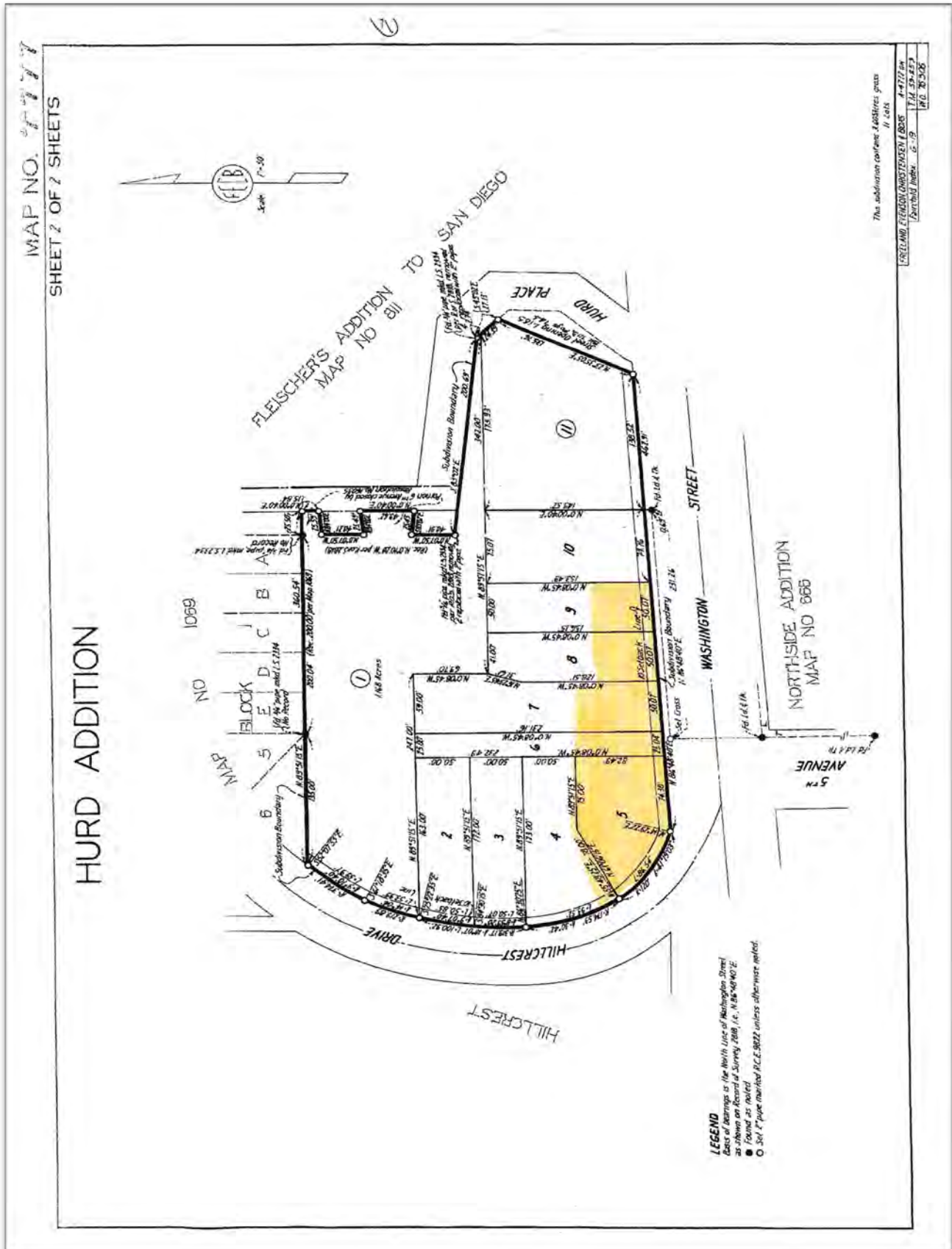
# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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C.3 Original Subdivision map

Address





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Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.4 Sanborn Fire Insurance Maps - 1921

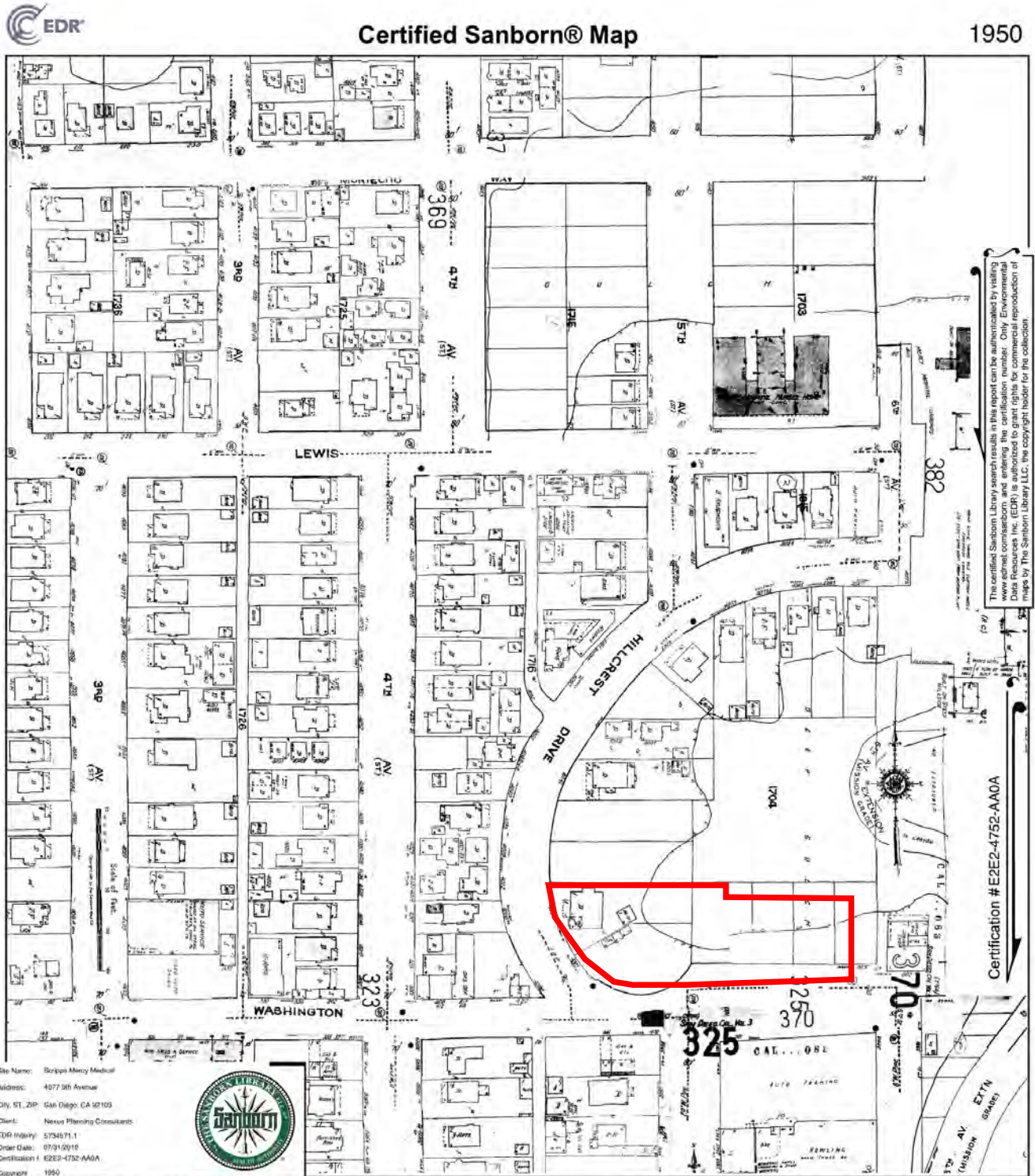


# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.4 Sanborn Fire Insurance Maps - 1950



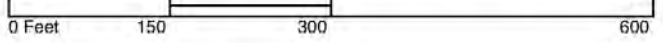
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Certification # E2E2-4752-AA0A

Site Name: Scripps Mercy Medical  
 Address: 4077 9th Avenue  
 City, ST, ZIP: San Diego, CA 92103  
 Client: Nexus Planning Consultants  
 EDR Inquiry: 5734571.1  
 Order Date: 07/31/2019  
 Certification: E2E2-4752-AA0A  
 Copyright: 1950



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 Outlined areas indicate map sheets within the collection.



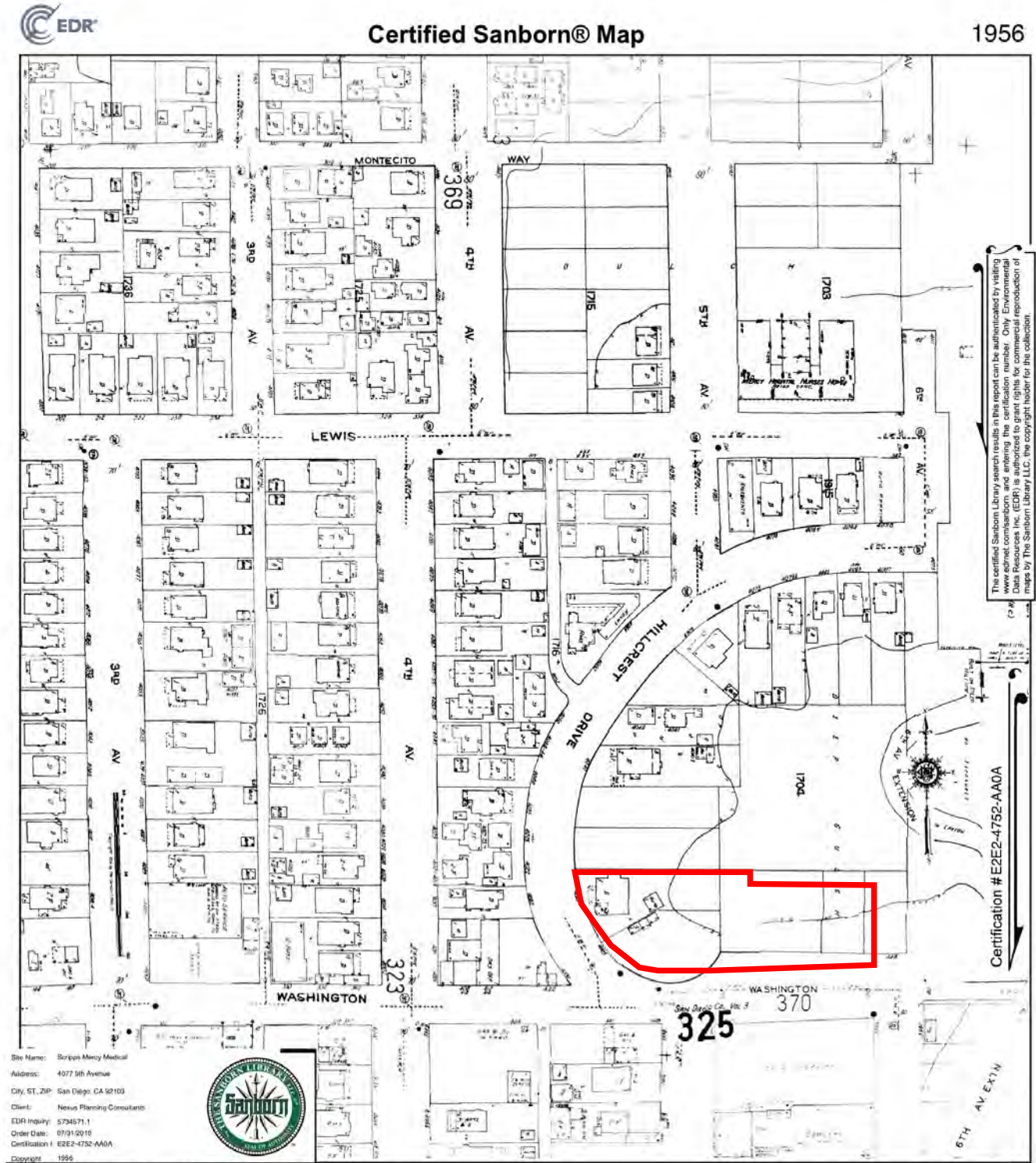


# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.4 Sanborn Fire Insurance Maps - 1956



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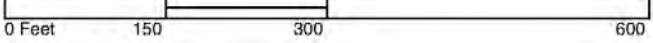
Site Name: Scripps Mercy Medical  
Address: 4077 5th Avenue  
City, ST, ZIP: San Diego, CA 92103  
Client: Nexus Planning Consultants  
EDR Inquiry: 5734571.1  
Order Date: 07/31/2018  
Certification: E2E2-4752-AA0A  
Copyright: 1996



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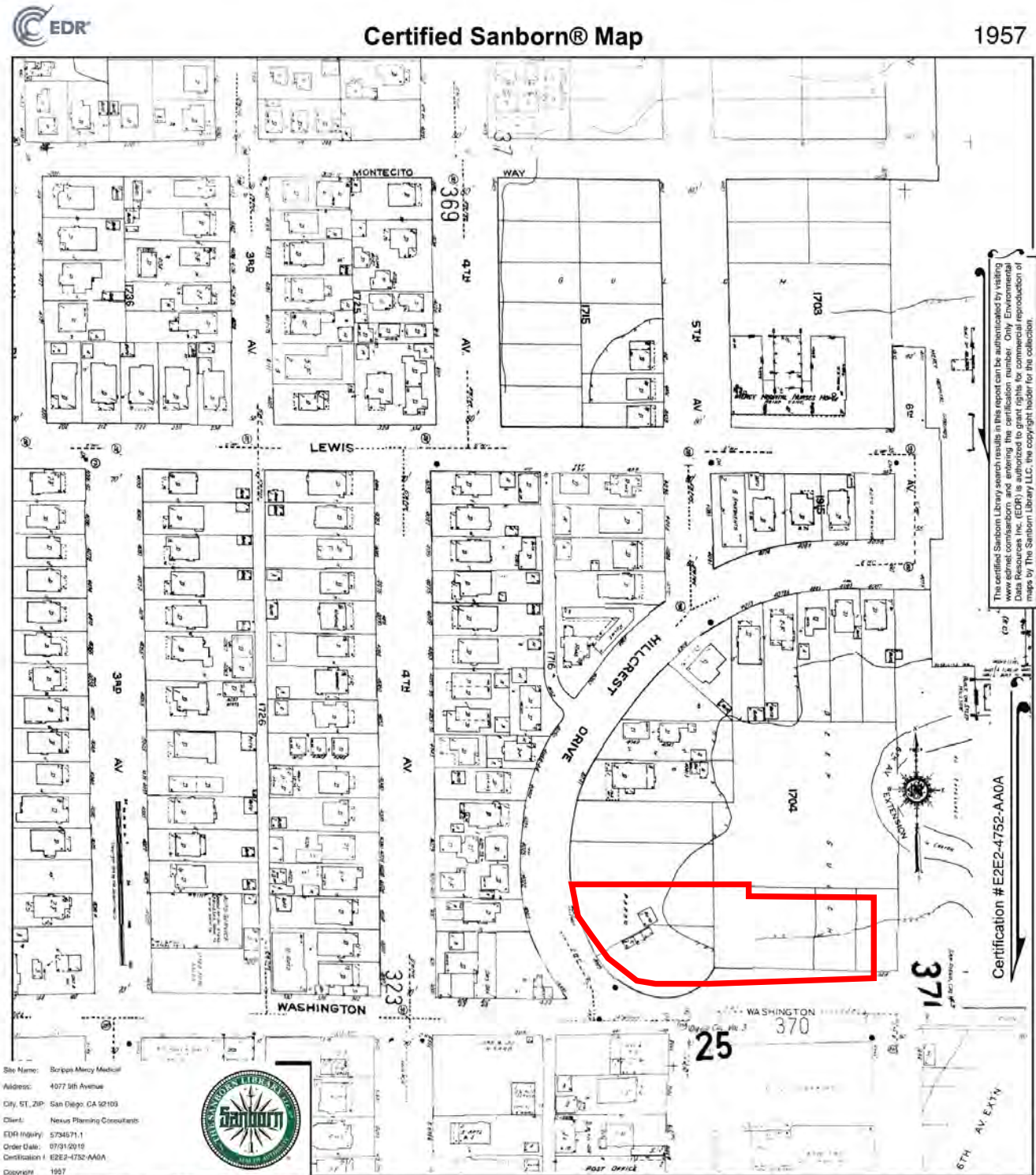


# APPENDIX C

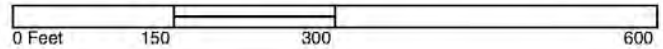
Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.4 Sanborn Fire Insurance Maps - 1957



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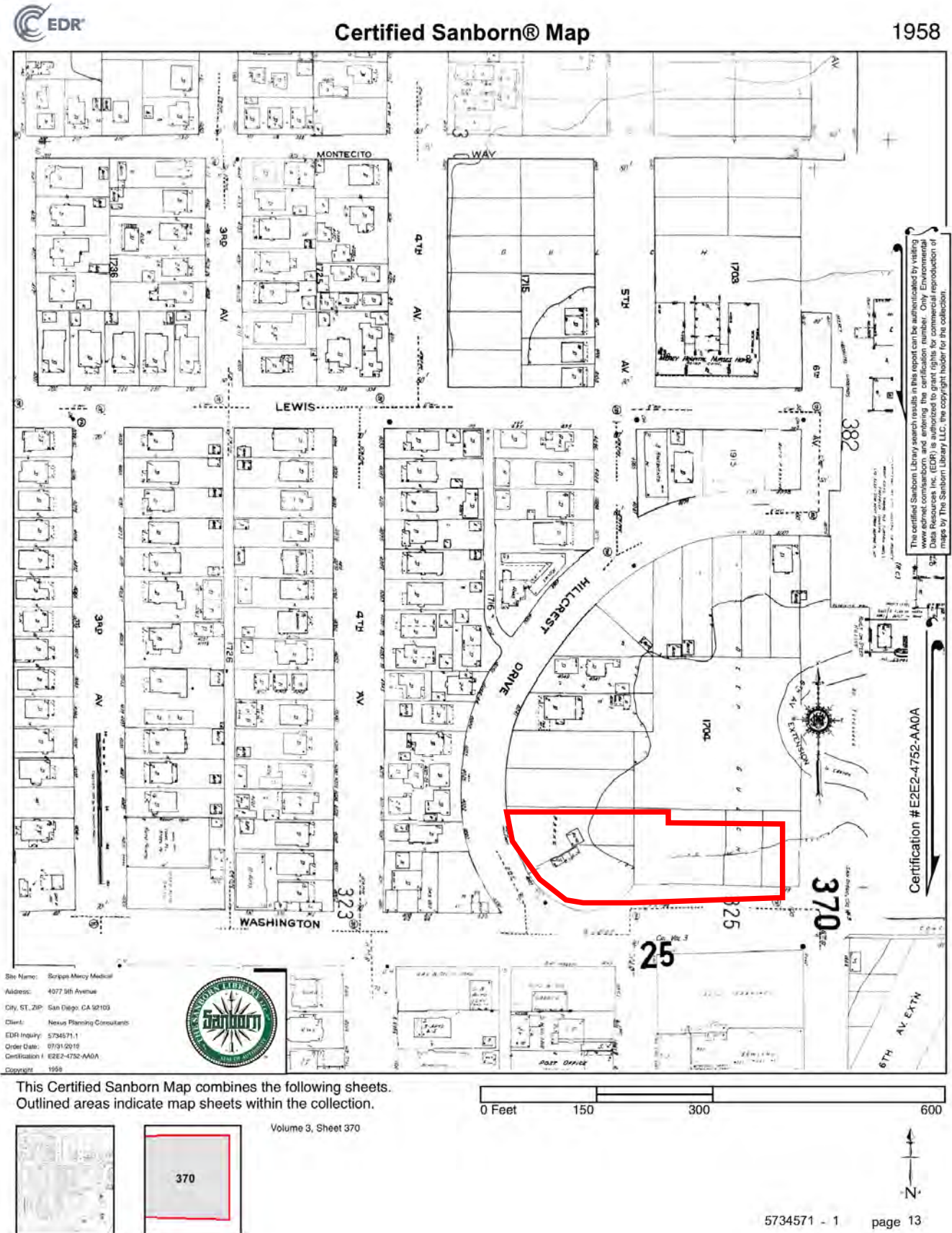
Volume 3, Sheet 370

# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.4 Sanborn Fire Insurance Maps - 1958



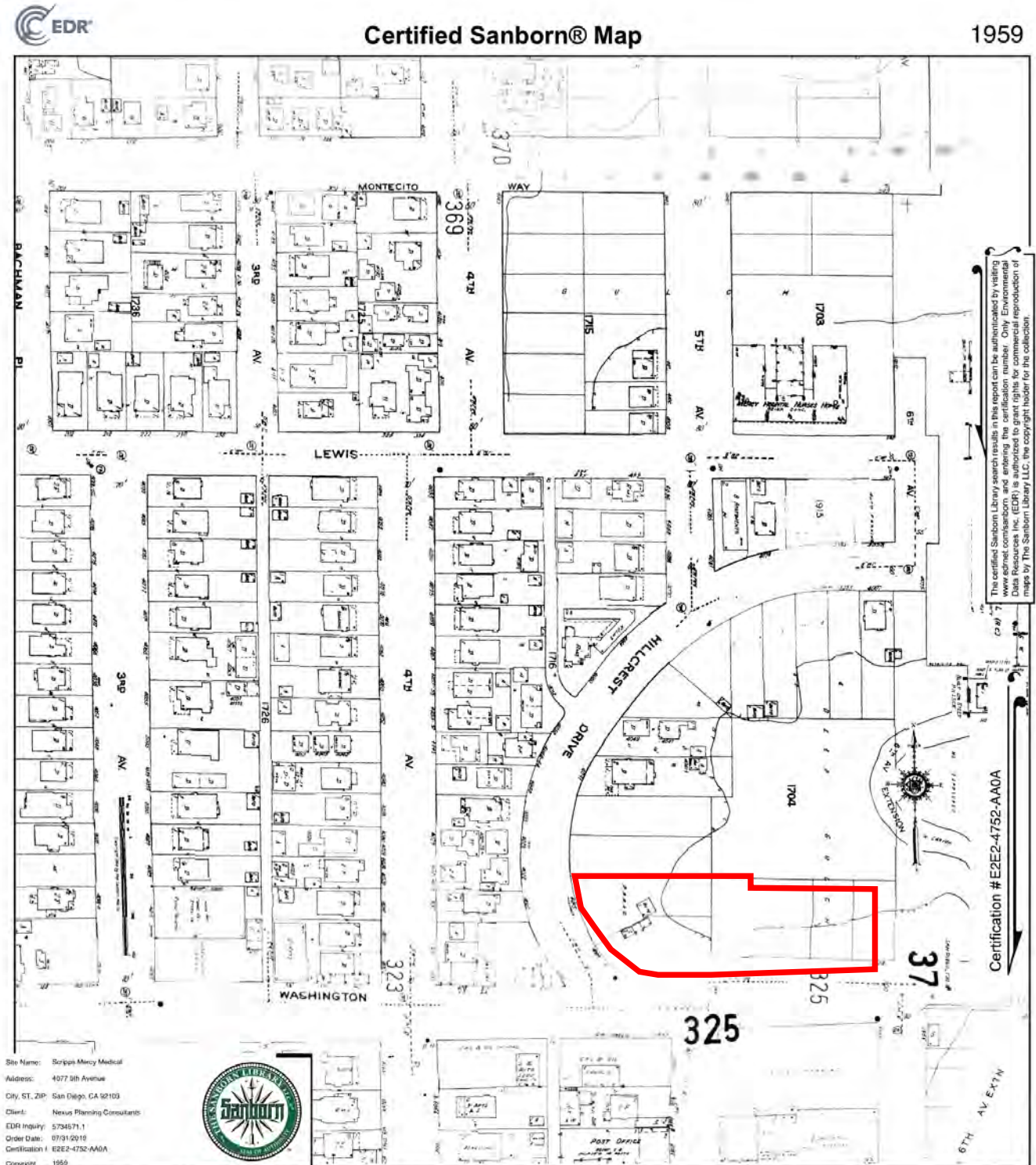


# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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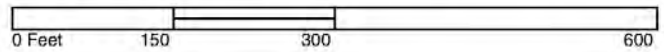
## C.4 Sanborn Fire Insurance Maps - 1959



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Outlined areas indicate map sheets within the collection.



Volume 3, Sheet 370



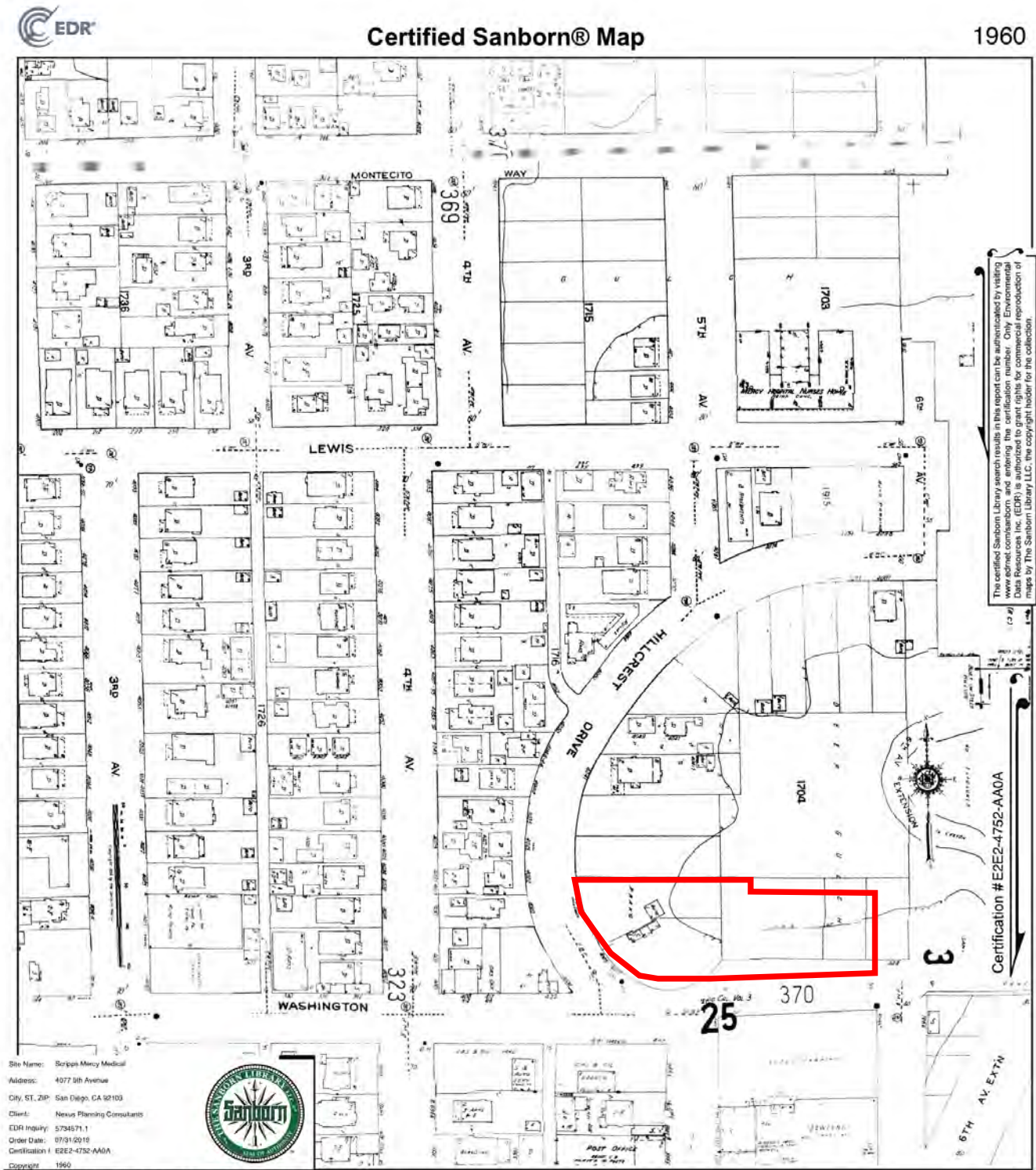


# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.4 Sanborn Fire Insurance Maps - 1960



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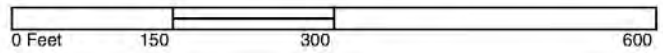
Site Name: Scripps Mercy Medical  
 Address: 4577 9th Avenue  
 City, ST, ZIP: San Diego, CA 92103  
 Client: Nexus Planning Consultants  
 EDR Inquiry: 5734571.1  
 Order Date: 07/31/2018  
 Certification I: E2E2-4752-AA0A  
 Copyright: 1960



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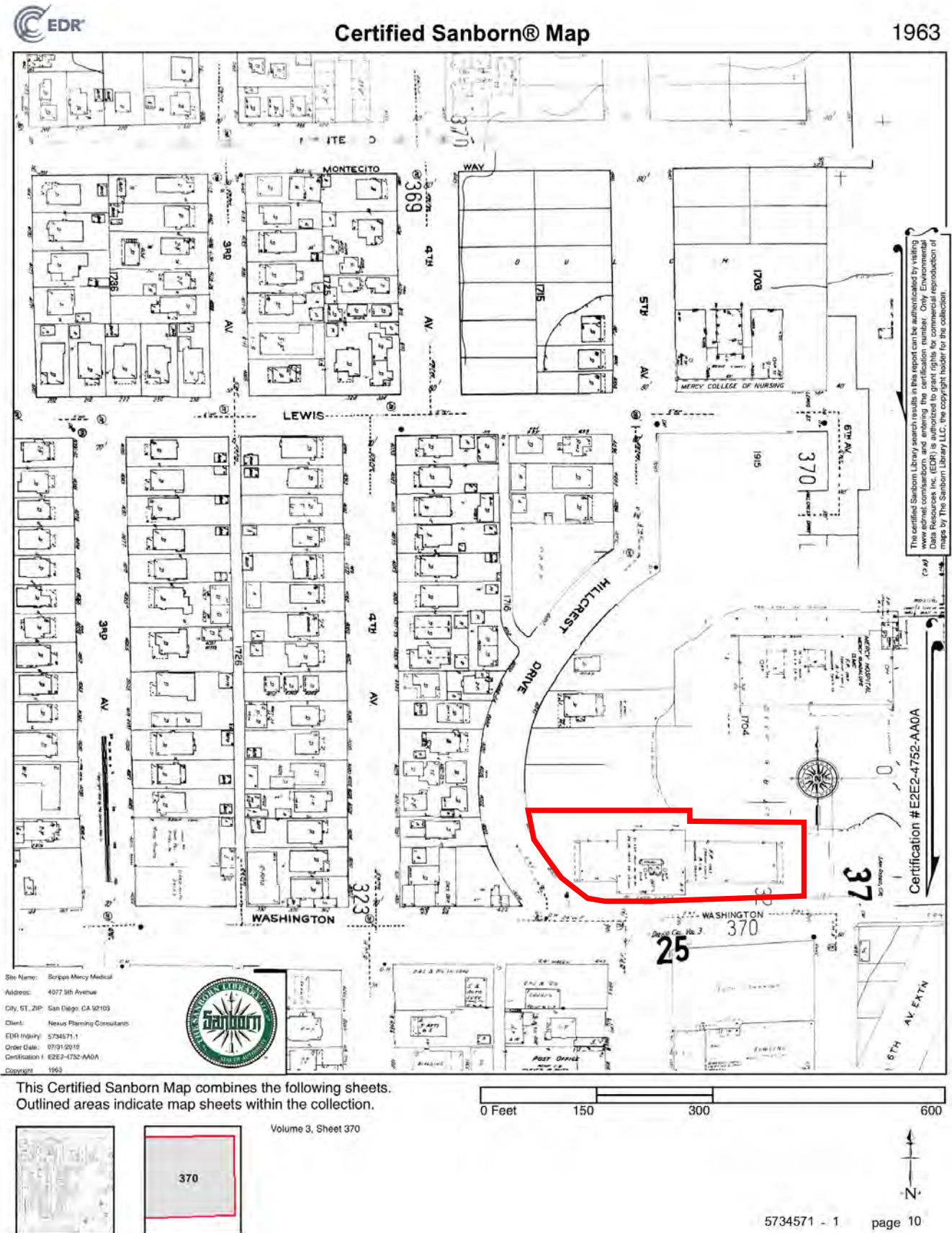


# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.4 Sanborn Fire Insurance Maps - 1963









# APPENDIX C

Property Name: 550 Washington Street (Hillcrest North Medical Center)

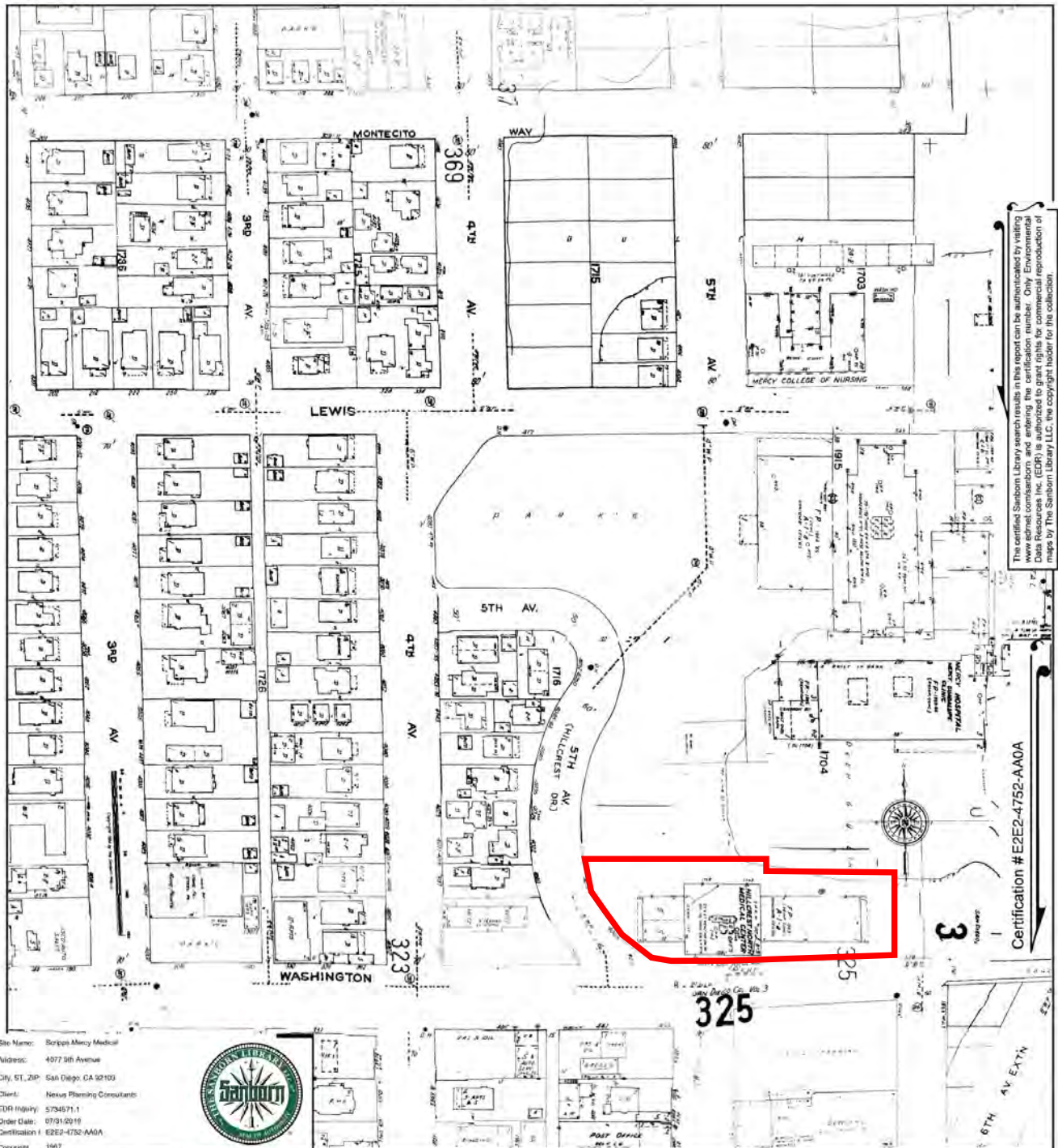
Page 74 of 81

## C.4 Sanborn Fire Insurance Maps - 1967



### Certified Sanborn® Map

1967



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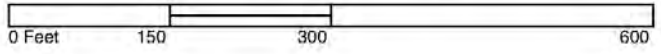
Site Name: Scripps Mercy Medical  
Address: 4077 5th Avenue  
City, ST, ZIP: San Diego, CA 92103  
Client: Nexus Planning Consultants  
EDR Inquiry: 5734571.1  
Order Date: 07/31/2019  
Certification: E2E2-4752-AA0A  
Copyright: 1967



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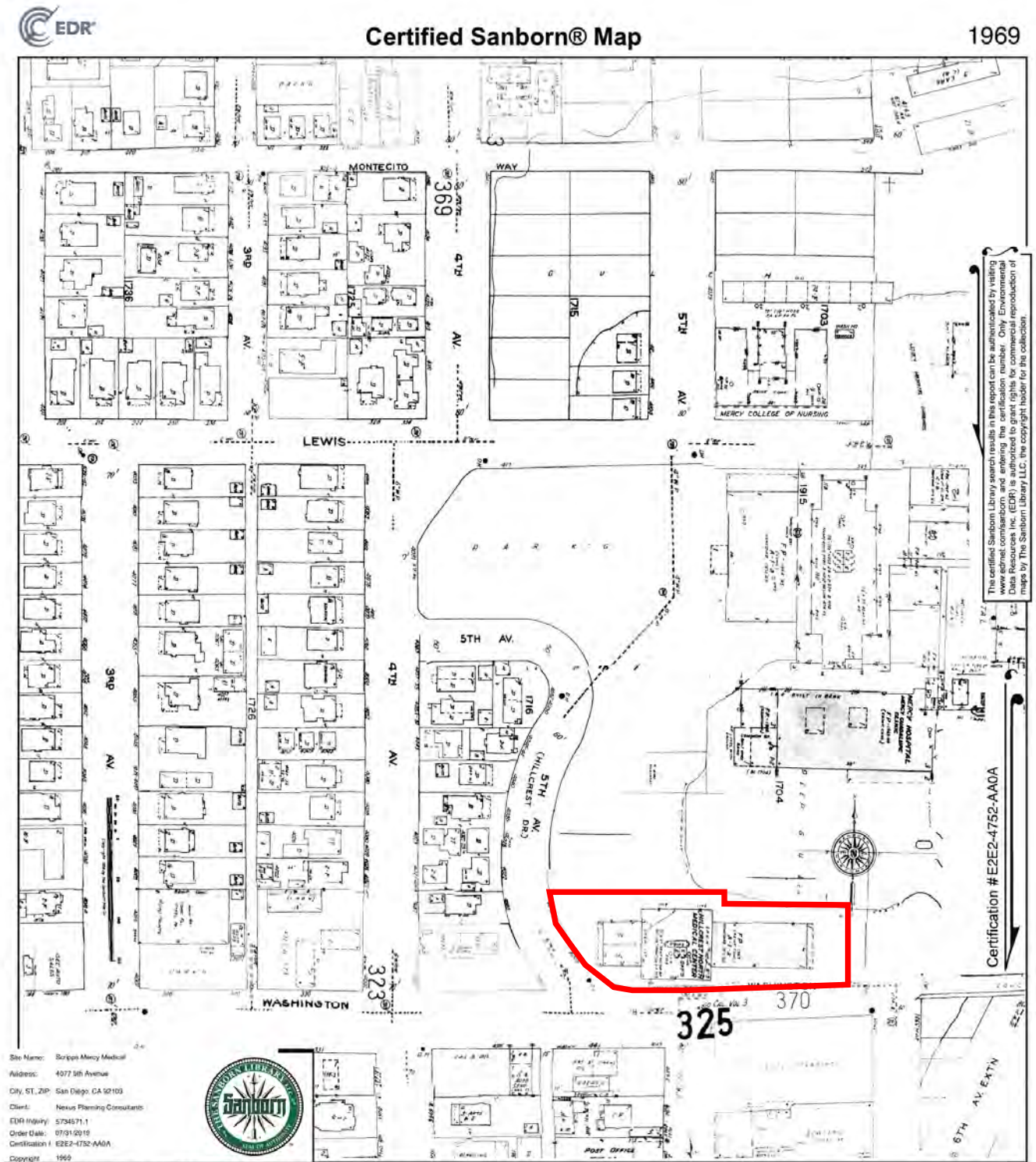


# APPENDIX C

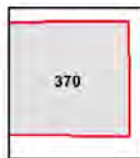
Property Name: 550 Washington Street (Hillcrest North Medical Center)

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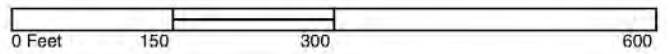
## C.4 Sanborn Fire Insurance Maps - 1969



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Volume 3, Sheet 370



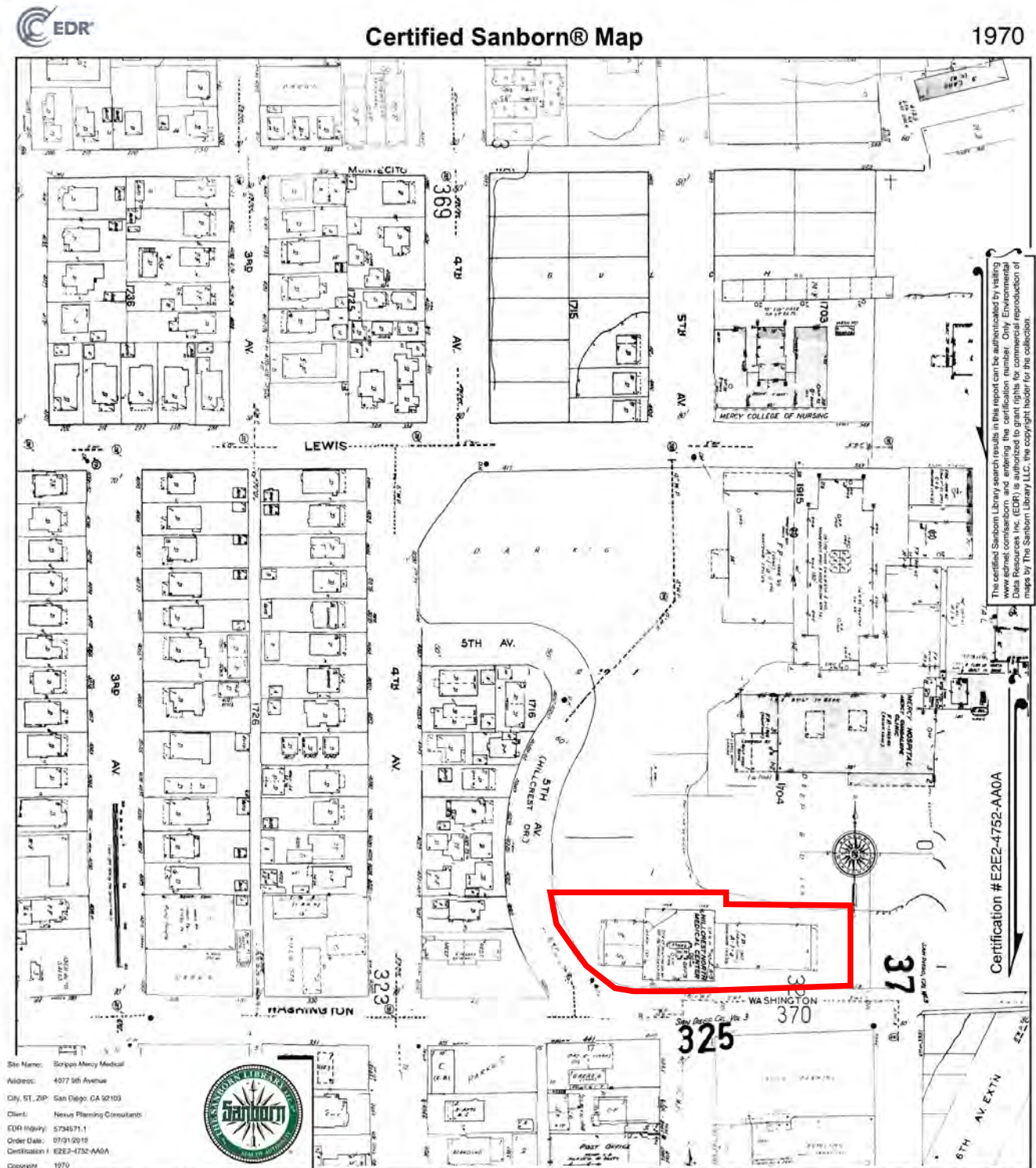


# APPENDIX C

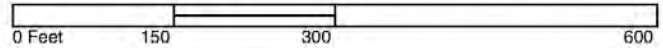
Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## C.4 Sanborn Fire Insurance Maps - 1970



This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.





# APPENDIX D

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## APPENDIX D

### DPR FORMS

# PRIMARY RECORD

Primary #  
HRI #  
Trinomial  
NRHP Status Code 6Z  
Other Listings

Review Code	Reviewer	Date
-------------	----------	------

Page 1 of 3 \*Resource Name or #: 550 Washington Street

P1. Other Identifier: n/a

\*P2. Location:  Not for Publication  Unrestricted

\*a. County San Diego and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad La Jolla Date 2015 T ; R ;  of  of Sec ; B.M.

c. Address: 550 Washington Street City: San Diego Zip: 92103

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_, \_\_\_\_ mE/ \_\_\_\_ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN 444-533-25, Parcel 2 of Parcel Map No. 15947 Filed in the Office of the County of San Diego Recorder of San Diego County, January 11, 1990, in the City of San Diego, in the county of San Diego, State of California, as Further Described in Various Documents of Record.

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

550 Washington Street is an eight-story medical office building located in the Medical Complex neighborhood of Hillcrest in the Uptown Community Plan Area just north of Washington Street, west of Interstate 163 and east of 5<sup>th</sup> Avenue. It is part of the Scripps Mercy Medical campus located north and east. It was permitted for construction in 1961 and construction was complete in 1964. It has a rectangular/symmetrical tower and asymmetrical base that encloses the ground floor and extends to the east and west sides of the tower. Its initial architectural style included characteristics and features of both the International and Brutalist architectural styles per the San Diego Modernism Context Statement. It has a concrete structure, concrete frame, cast-concrete panels and aluminum tracery. 550 Washington Street fronts onto Washington Street and is surrounded by commercial and medical office buildings in a mix of architectural styles. It sits at street level with a shallow set-back from Washington Street and a surface parking lot along its north side.

P5a. Photograph



\*P3b. Resource Attributes: (List attributes and codes) HP2

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) Front (south) September 2019

\*P6. Date Constructed/Age and Source: 1964  Historic  Prehistoric  Both

\*P7. Owner and Address:

Scripps Health  
10140 Campus Point Ct.  
San Diego, CA 92121

\*P8. Recorded by: (Name, affiliation, and address) Jennifer Ayala, RA LEED AP | Nexus Planning & Research and Dolores Mellon, Historian | Mellon Consulting

\*P9. Date Recorded: September 2019

\*P10. Survey Type: (Describe) Intensive

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological

Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other (List): Attachments A-F

# BUILDING, STRUCTURE, AND OBJECT RECORD

\*Resource Name or # 550 Washington Street \*NRHP Status Code 6Z

Page 2 of 3

B1. Historic Name: Hillcrest North Medical Building and Whitson Company Medical Office Building

B2. Common Name: 550 Washington Street

B3. Original Use: Commercial/medical-office

B4. Present Use: Commercial/medical-office

\*B5. Architectural Style: International Style and Brutalism per the San Diego Modernism Context Statement (New Formalism)

\*B6. Construction History: (Construction date, alterations, and date of alterations)

550 Washington Street's construction was completed in 1964. Significant permitted alterations in 1978, 1991, 2003, and 2004 include the removal of iconic landscape design including four reflecting pools and architectural alterations including the enclosure of the iconic open-air pavilion, enclosure of the slender rectangular columns with circular stucco wraps, the addition of an outpatient surgical unit encroaching into the formerly open-air pavilion, and a landscape and facade aesthetic treatment on and around the one-story wings which added stucco elements to each elevation and further enclosed the open-air ground floor plaza.

\*B7. Moved?  No  Yes  Unknown Date: Original Location: Yes

\*B8. Related Features: B9a. Architect: Deems Martin and Associates b. Builder: Peter Kiewit Construction Co.

\*B10. Significance: None Area: n/a Period of Significance San Diego Modernism Context Statement: Postwar Development, Suburbanization, the Automobile & Modernism (1948-1970) Property Type Commercial/Med office Applicable Criteria: None (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

See Continuation Sheets for evaluation under the Criteria.

B11. Additional Resource Attributes: (List attributes and codes) None

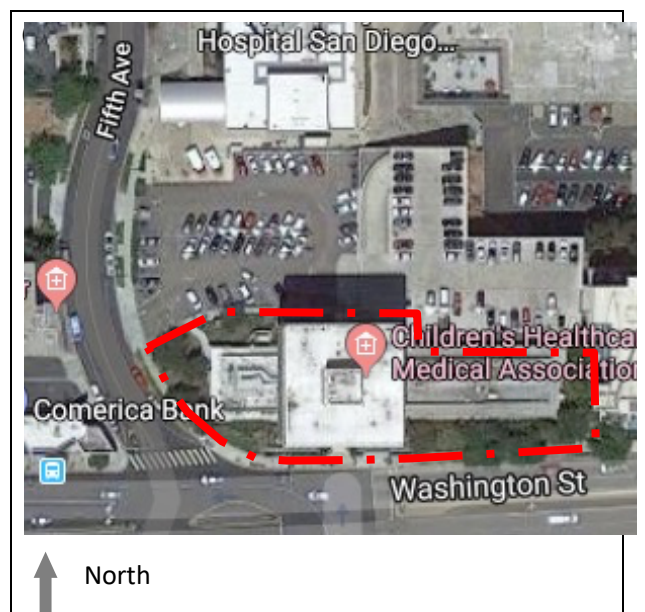
\*B12. References: Published authorities on Vernacular Architecture; City Building Records; County Assessor's records; City Water and Sewer Records; San Diego City Directories; the Union Tribune archives, and others, see continuation sheets.

B13. Remarks: Sketch Not-to-Scale, nearest cross streets are: Fifth Avenue and Interstate 163

\*B14. Evaluator: Nexus Planning & Research: J Ayala, RA, LEED AP

\*Date of Evaluation: January 2020

(This space reserved for official comments.)





## CONTINUATION SHEET

Property Name: 550 Washington Street

Page 3 of 3

### Significance

550 Washington Street (also known as Hillcrest North Medical Building and Whitson Company Medical Office Building) was assessed under *The Historical Resources Guidelines of the City of San Diego's Land Development Manual's* Criteria for its potential historical significance. 550 Washington Street is not significant with respect to any form of historical development and does not qualify under HRB Criterion A (Community Development). 550 Washington Street is not identified with persons or events significant in local, state or national history and does not qualify under HRB Criterion B (Events/Person). 550 Washington Street originally embodied characteristics and features of modern San Diego architectural styles: International Style and Brutalist, but permitted additions made significant alterations to its primary features and included changes to its composition, massing, form, materials and overall feeling to the effect that it no longer embodies essential characteristics and features of its original modern architectural style. Therefore, 550 Washington Street does not qualify under HRB Criterion C (Architecture) as representative of a recognized architectural style (Architecture). 550 Washington Street's architect was Deems Martin and Associates; with William "Bill" Lewis as the project's designer. Mr. Lewis is considered a Master Architect in the City of San Diego; however, based upon significant alterations to the subject property, including the loss of the ground floor's massing, spatial relationships, proportions, windows, doors, materials, and ornamentation, it is no longer a representative example of Mr. Lewis' work. 550 Washington Street's builder was Peter Kiewit Construction Co.; they are not a Master Builder in the City of San Diego. Therefore, 550 Washington Street does not qualify under HRB Criterion D (Notable Work of a Master). Lastly, 550 Washington Street is not listed in, or deemed eligible for listing in the National or California Registers and is not located within an existing historic district; therefore, it cannot qualify under HRB Criterion E (National or California Register Eligible) or HRB Criterion F (Historic District). (See Continuation Sheets for full analysis for each of the Criteria.)

550 Washington Street was evaluated under California Register criteria in March of 2022 and found not to meet Criterion (1) Association with events, because no historical evidence was found that associated the building with event that made a significant contribution to the broad patterns of local or regional history. It was found not to meet Criterion (2) Association with Persons, because no historical evidence was found that associated the property with the lives of persons important to local, California, or National History. It was found not to meet Criterion (3) Design/Construction because it does not embody the distinctive characteristics of a type, period, region or method of construction and was not the work of a Master Architect due to its 1981 modifications. It was found not to meet Criterion (4) Archaeology because it did not have the potential to yield information important to human history or prehistory.

550 Washington Street was evaluated under National Register criteria of 2017 and found not to meet Criterion A (Event) because no historical evidence was found that would support the determination that the property was associated with events that made a significant contribution to the broad patterns of our history. It was found not to meet Criterion B (Person) because no historical evidence was found that would support the determination that the property was associated with the lives of person significant in our past. It was found no to meet Criterion C: Design/Construction because it did not embody the distinctive characteristics of a type, method or method of construction, it was not an important example of building practices of a particular time in history, it was not a notable work of a Master Architect and it does not express an aesthetic ideal. It was found not to meet Criterion D: Informational Potential as an important archaeological resource.

### Integrity

550 Washington Street has a low degree of Integrity; it retains only one aspect of Integrity: *Location*.

Due to significant alterations, 550 Washington Street lacks six of the seven aspects of Integrity: *Design, Setting, Materials, Workmanship, Feeling, and Association*.

# APPENDIX E

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## APPENDIX E

### Preparer's Qualifications

# APPENDIX E

Property Name: 550 Washington Street (Hillcrest North Medical Center)

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## JENNIFER AYALA, RA, LEED AP

Firm Name	Nexus Planning & Research
Total Years of Experience	28 Years
Employment History	Founding Partner: Nexus Planning & Research, 2014 - present Founding Principal: Ayala Architecture, Managing Principal: M W Steele Group Designer: Golba Architecture Designer: Perkins and Will
Education	Bachelors of Architecture, University of Cincinnati
Registration	State of California Architect License No. CA28372; November 2000 LEED Accredited Professional, Legacy 2002
Current Affiliation	Lambda Alpha International, A Land Economics Society, San Diego Chapter Board Member Friends of Roosevelt Middle School Board Member Parent Connect Foundation
Past Affiliations	Ex-Officio Member, Civic San Diego Real Estate Design Review Committee The Friends of Alice Birney Foundation, Past President and board member, Balboa Park Committee, Mayoral Appointee Centre City Advisory Committee for downtown San Diego development, Elected San Diego Commission for Arts and Culture: Public Art Selection Jury Panelist American Institute of Architects: Grassroots Leadership and Legislative Conference Panelist American Institute of Architects: Monterrey Design Conference Committee Member American Institute of Architects: National Convention Committee American Institute of Architects: Board of Directors American Institute of Architects: Lecture Series Committee Chair American Institute of Architects: Awards Committee Member American Institute of Architects: Urban Design Committee Member