



DOROTHY COTTAGE RELOCATION AND REHABILITATION AND HARRIET COTTAGE REHABILITATION

TREATMENT PLAN

January 27, 2022

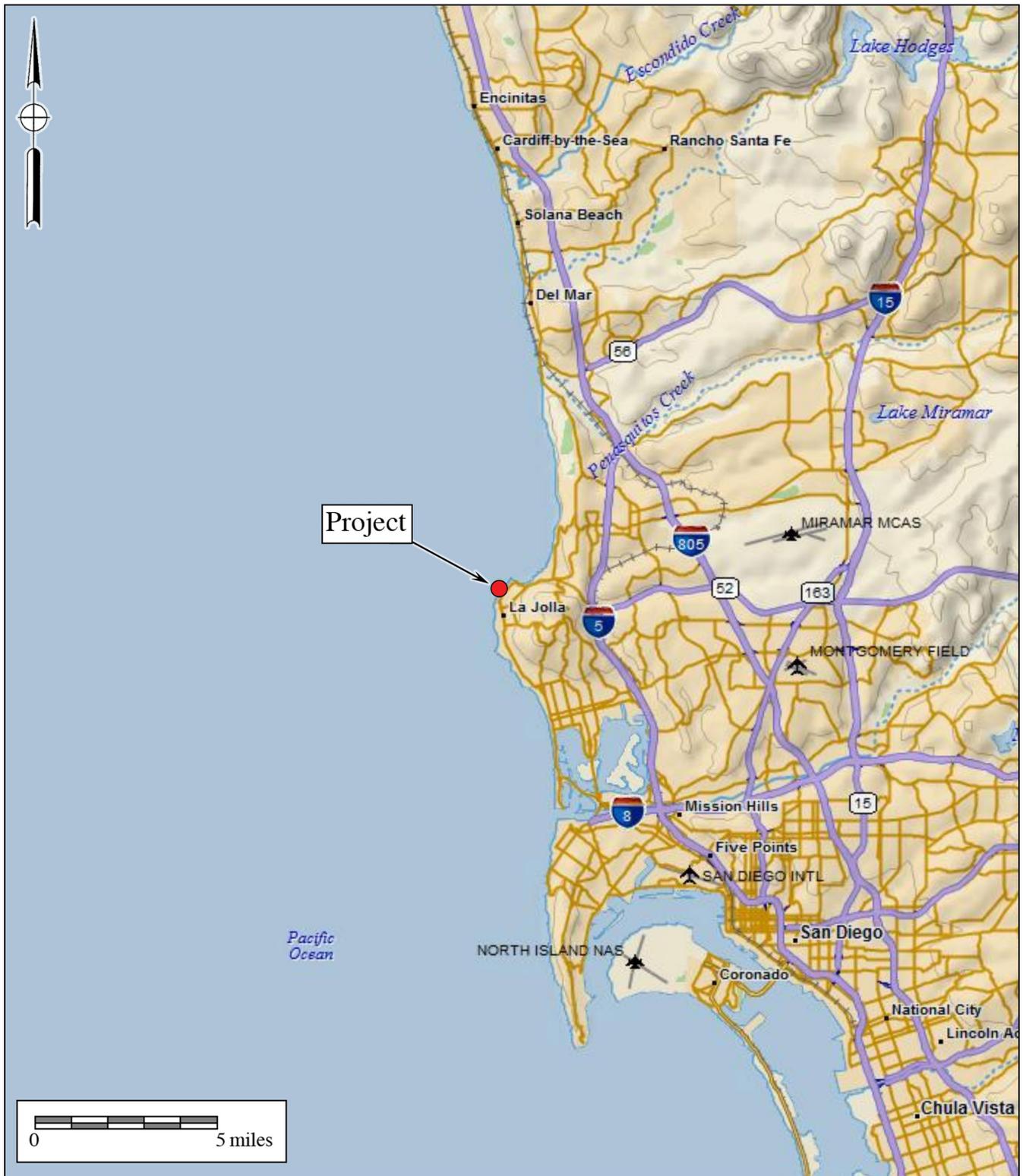
PROJECT DESCRIPTION

The Dorothy Cottage is a one-story, Queen Anne Free Classic-style La Jolla Beach Cottage that was constructed circa 1904 and is currently located at 827 Coast Boulevard South (Assessor's Parcel Number [APN] 350-070-10) in the La Jolla neighborhood of the city of San Diego, California (Figures 1 and 2). The owner, 800 Coast, LLC, is proposing to relocate the building, which is one of two La Jolla Beach Cottages that were designated as City of San Diego HRB Site No. 1375 (the other being located at 825 Coast Boulevard South). The Dorothy Cottage building has recently been used as a rental property.

The Dorothy Cottage will be moved and placed on top of the existing garage of the building located at 821 Coast Boulevard South, which is within the parcel immediately south, at APN 350-070-011 (Figure 3). The building currently located at 821 Coast Boulevard South will be completely demolished except for the garage level. Once relocated, the Dorothy Cottage will undergo an exterior rehabilitation per *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (SOI's Standards for Historic Properties) and will be mothballed to await interior improvements by 800 Coast, LLC.

The Harriet Cottage is a one-story, Craftsman-style La Jolla Beach Cottage that was constructed in 1921 and is currently located at 825 Coast Boulevard South (Assessor's Parcel Number [APN] 350-070-10) in the La Jolla neighborhood of the city of San Diego, California (see Figures 1 and 2). The owner, 800 Coast, LLC, is proposing to rehabilitate the building, which is one of two La Jolla Beach Cottages that were designated as City of San Diego HRB Site No. 1375 (the other being located at 827 Coast Boulevard South). The Harriet Cottage building has recently been used as a rental property.

The Harriet Cottage will undergo an exterior rehabilitation per the SOI's Standards for Historic Properties and will be mothballed to await interior improvements by 800 Coast, LLC.



Project

Figure 1

General Location Map

The Dorothy Cottage Relocation and
 Rehabilitation and Harriet Cottage Rehabilitation Project

DeLorme (1:250,000)



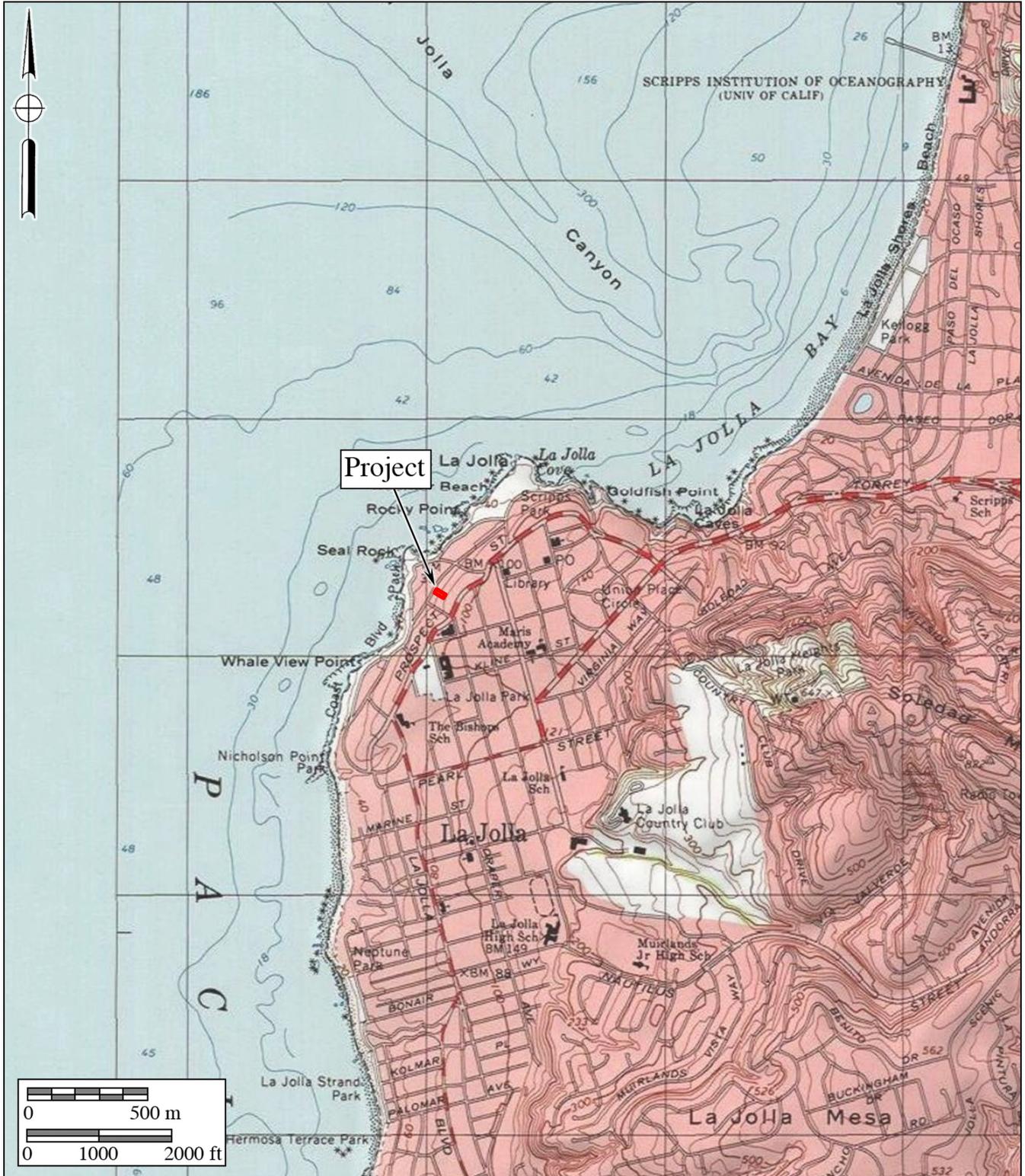
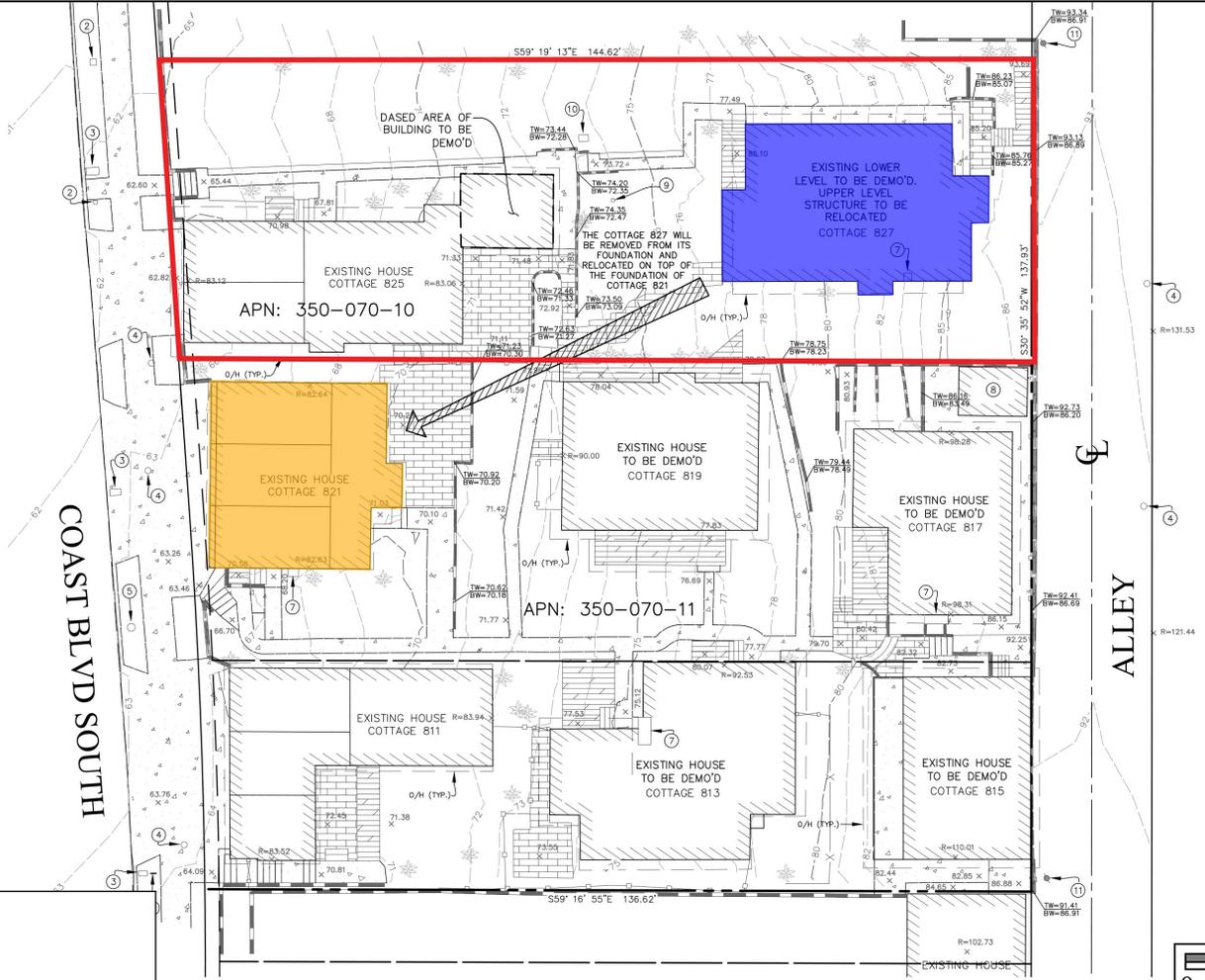
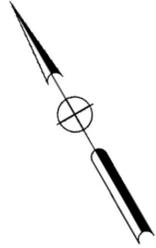


Figure 2
Project Location Map
 The Dorothy Cottage Relocation and
 Rehabilitation and Harriet Cottage Rehabilitation Project
 USGS *La Jolla* Quadrangle (7.5-minute series)





Legend

- Project Boundary
- 827 Coast Boulevard South (Site A)
- 821 Coast Boulevard South (Site B)

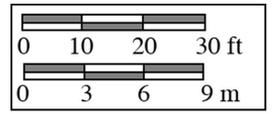


Figure 3
Project Relocation Map Showing Existing Topography and Demolition Plan
 The Dorothy Cottage Relocation and Rehabilitation and Harriet Cottage Rehabilitation Project



INTRODUCTION

The implementation of this Treatment Plan for the relocation and exterior rehabilitation of the Dorothy Cottage will be facilitated by a qualified historic structure mover. Construction observation services will be provided by the project architect, Will & Fotsch Architects, and the architectural historian/monitor, Brian F. Smith and Associates, Inc. The project will be completed in accordance with the Mitigation Monitoring and Reporting Program for this project. This Treatment Plan is accompanied by Historic American Buildings Survey drawings, which depict the current floorplan and exterior elevations of the house. The proposed rehabilitation of the Dorothy Cottage will include placing the relocated building on top of the existing foundation/garage of the 821 Coast Boulevard South building, removal of the 1948 to 1952 rear addition, construction of an approximately 128-square-foot addition along the north and east façades, and an interior remodel (attached). The proposed rehabilitation of the Harriet Cottage will include removal of the 1972 addition, construction of an approximately 22x30-foot addition. The addition will attach to the Harriet Cottage on the eastern portion of the north façade via a hyphenated entryway that will be enclosed with glass, allowing the original north façade of the Harriet Cottage to be viewed from the street (attached).

RELOCATION/REHABILITATION PROCEDURES

The Dorothy Cottage will be moved approximately 100 feet southwest to 821 Coast Boulevard South. The mover shall outline the details of the route, schedule, and sequence of the move, as well as the means by which the house will be secured for the relocation. The architectural historian and city staff shall approve the plan prior to the relocation date. Construction monitoring shall be provided during the relocation process. Following each site visit, the monitor shall provide a Consultant Site Visit Record (CSVR) form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Historic Properties.

After the completion or preparation of the foundation/garage located at 821 Coast Boulevard South, the Dorothy Cottage will be moved. The orientation of the house will match its current orientation, with the front door facing west. The move of the Dorothy Cottage will consist of the following steps:

1. The house can be moved in one piece, so no cutting or dismantling above the foundation walls will occur.
2. Exterior door and window openings will not need to be braced.
3. The front steps will need to be dismantled prior to the relocation.
4. The front steps will be transported to the new site for later restoration and reconstruction.



5. Steel beams will be used under the house to raise and support the structure during relocation. The final number and configuration of beams will depend upon the existing floor joists and if they are full length or spliced.
6. The moving company will use rolling dollies. Once the house has been raised and can be weighed, the exact number of dollies will be determined. The method used to transport the house is currently undetermined.

The future use of the rehabilitated buildings will be rental properties. As designated resources, modifications to the cottages must be in compliance with the SOI's Standards, specifically those for rehabilitation. Additional review and approval by the City of San Diego Development Services Department and the Historical Resources Board will be required for the proposed exterior alterations.

The owner, 800 Coast, LLC, will be responsible for future interior improvements (attached). If feasible, representative examples of character-defining interior features will be preserved and reused in the rehabilitated buildings, such as paneled doors, decorative woodwork, and built-in cabinetry. The interior is not included in the local designation.

PREPARATION, RELOCATION, AND REHABILITATION REQUIREMENTS

1. Preparation of the Structure Prior to Relocation

- a. Coordination Meeting and Monitoring: Prior to the start of any work, the project architect and architectural historian/monitor shall meet on-site with the moving contractor to review the scope of demolition, removal, salvage, temporary shoring, and relocation. Through the course of all work, the moving contractor shall notify the architectural historian/monitor of the discovery of any architectural elements on the site. The architectural historian/monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with the SOI's Standards for Historic Properties.

All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located on-site, adjacent to the Dorothy Cottage. Construction monitoring shall be provided prior to preparation of the building for relocation. The construction monitor shall provide a CSV form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Historic Properties.

- b. Temporary Shoring: The moving contractor shall provide and maintain



necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur only after review by the architectural historian/monitor. The mover shall outline any proposed attachment points for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to the installation of shoring and then cataloged, labeled, and securely stored.

- c. Doors and Windows: All doors and windows shall be protected by three-fourth-inch, exterior grade plywood prior to relocation. The plywood will be installed without causing damage to the existing historic doors and windows, frames, and trim.
- d. Front Steps and Railing: Prior to relocation, the wood front steps and railing will be salvaged to facilitate the relocation. Prior to disassembly, the steps and railing shall be measured and photographed. All documentation will be submitted to the City of San Diego for review and approval prior to removal.

2. Protection Measures at the New Site

- a. Security: As the Dorothy Cottage will not be used as a rental property at the new site until the north and east façade additions and interior remodel have been completed, security measures will need to be implemented to ensure that the building is not vandalized or damaged by the elements. The plywood installed over the doors and windows prior to relocation should remain. Monitoring and visual inspection of the exterior of the building will be provided by 800 Coast, LLC until the house is reoccupied. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located on-site, adjacent to the Dorothy Cottage.
- b. Mothballing: During temporary storage, and until the building is successfully rehabilitated, it shall be securely mothballed. Mothballing essentially means temporarily closing up the building to protect it from weather and vandalism. Mothballing would include adequately eliminating and controlling pests, protecting the interior from moisture, providing adequate security, ensuring adequate interior ventilation, and following a maintenance and monitoring plan to ensure that the house is adequately secured and routinely inspected. Mothballing will follow the recommendations in *National Park Service Preservation Brief 31: Mothballing Historic Buildings*.



The owner, 800 Coast, LLC, will have the building mothballed at the conclusion of the rehabilitation work. They will then be responsible for all maintenance, monitoring, and inspections of the Dorothy Cottage.

- c. Monitoring: Construction monitoring shall be provided to ensure that the building is securely stored and adequately mothballed at the new site. The monitor shall complete a CSV form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Historic Properties.

3. Dorothy Cottage Rehabilitation

Following the relocation of the Dorothy Cottage, the exterior of the structure will be rehabilitated and repaired in accordance with *The Secretary of the Interior's Standards for Rehabilitation* (SOI's Standards for Rehabilitation).

- a. Construction Monitoring: Periodic construction monitoring shall be provided during the rehabilitation process. Following periodic site visits, the construction monitor shall provide a CSV form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Rehabilitation (see Dorothy Cottage Relocation and Rehabilitation Monitoring Plan).
- b. Alteration and Rehabilitation Design: The future rehabilitation and any additions made to the building shall be completed in accordance with the SOI's Standards for Rehabilitation. The design team includes an architectural historian that meets the SOI's Professional Qualifications Standards. The rehabilitation design will require review and approval by the City of San Diego's Development Services Department and the Historical Resources Board and/or Design Assistance Subcommittee.

4. Harriet Cottage Rehabilitation

The exterior of the structure will be rehabilitated and repaired in accordance with the SOI's Standards for Rehabilitation.

- a. Mothballing: During temporary storage, and until the building is successfully rehabilitated, it shall be securely mothballed. Mothballing essentially means temporarily closing up the building to protect it from weather and vandalism. Mothballing would include adequately eliminating and controlling pests,



protecting the interior from moisture, providing adequate security, ensuring adequate interior ventilation, and following a maintenance and monitoring plan to ensure that the house is adequately secured and routinely inspected. Mothballing will follow the recommendations in *National Park Service Preservation Brief 31: Mothballing Historic Buildings*.

- b. Alteration and Rehabilitation Design: The future rehabilitation and any additions made to the building shall be completed in accordance with the SOI's Standards for Rehabilitation. The design team includes an architectural historian that meets the SOI's Professional Qualifications Standards. The rehabilitation design will require review and approval by the City of San Diego's Development Services Department and the Historical Resources Board and/or Design Assistance Subcommittee.

REHABILITATION RECOMMENDATIONS

The following is a list of the general rehabilitation recommendations for the Dorothy and Harriet Cottages in compliance with the SOI's Standards for Rehabilitation:

- Roof
 - Dorothy Cottage: The current roof is in good condition and does not require immediate replacement.
 - Harriet Cottage: The current roof is in good condition and does not require immediate replacement.
- Exterior Walls
 - Dorothy Cottage: Holes need to be patched, deteriorated wood siding needs to be retained and repaired, and the building needs to be primed and repainted using the historic color scheme or a scheme appropriate to the home's period and style.
 - Harriet Cottage: Holes need to be patched, deteriorated wood siding needs to be retained and repaired, and the building needs to be primed and repainted using the historic color scheme or a scheme appropriate to the home's period and style.
- Foundation Walls
 - Dorothy Cottage: The building relocation will require the dismantling of the existing foundation and placement of the building on the existing garage/foundation of the 821 Coast Boulevard South building.



- Windows
 - Dorothy Cottage: Existing historic windows need to be restored to working condition and weather stripping needs to be added.
 - Harriet Cottage: Existing historic windows need to be restored to working condition and weather stripping needs to be added.

- Doors
 - Dorothy Cottage: Existing historic doors need to be retained.
 - Harriet Cottage: As part of the proposed plan the door on the north façade will be removed and infilled.

- Interior: While the interior is not part of the current scope of work, the recommendations below are provided to guide the owners once they are able to proceed with restoration/rehabilitation.
 - Historic doors should be retained and restored.
 - Original wood flooring should be restored and refinished.
 - Existing lath and plaster wall and ceiling finishes should be maintained where feasible. Where new walls are required, the existing plaster should be matched where feasible.
 - Existing historic lighting and switches should be restored and reused where feasible.
 - Historic features such as stairs, guardrails, posts, benches, fireplaces, beams, built-ins, trim, and finishes should be restored and reused.
 - On wood features, non-historic overpaint should be removed and the original stain and varnish finish should be restored.

- Mechanical, Plumbing, and Electrical Systems
 - Not in the current scope. Remaining fixtures will be retained pending future upgrades.

- Additions
 - In accordance with the SOI's Standards for Rehabilitation, new additions shall not destroy historic materials, features, and spatial relationships that characterize the property. They should be differentiated from the historic construction and compatible in materials, features, size, scale, proportions, and massing. They should also be constructed in such a manner that, if removed in the future, the essential form and integrity of the building would be unimpaired. The proposed



additions to the Dorothy and Harriet Cottages meet the SOI's Standards for Rehabilitation.

SUMMARY OF EXISTING HISTORIC FEATURES

The Dorothy Cottage is a representative example of a La Jolla Beach Cottage constructed within the late 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme and retains a high degree of historic integrity. Remaining historic features that should be preserved and restored per the SOI's Standards for Rehabilitation include:

- Exterior
 - Hipped roof with lower, front-facing gable
 - Horizontal wood siding
 - Wood-framed, double-hung windows with multiple lites in the upper window and a single pane in the lower
 - Partial-width, modest front porch
 - Balanced exterior proportions

- Interior
 - Wood floors and baseboards
 - Wood panel doors
 - Wood built-in cabinets in the dining room
 - Brick fireplace with hearth and wood mantle

The Harriet Cottage is a representative example of a La Jolla Beach Cottage constructed within the late 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme and retains a high degree of historic integrity. Remaining historic features that should be preserved and restored per the SOI's Standards for Rehabilitation include:

- Exterior
 - One story
 - Low, sloping, front-gabled roof
 - Exposed rafters and beams
 - Balanced exterior proportions
 - Wood shingle siding
 - Double-hung windows



- Interior
 - Wood floors and baseboards
 - Wood panel doors

SUMMARY OF APPLICABLE STANDARDS AND GUIDELINES

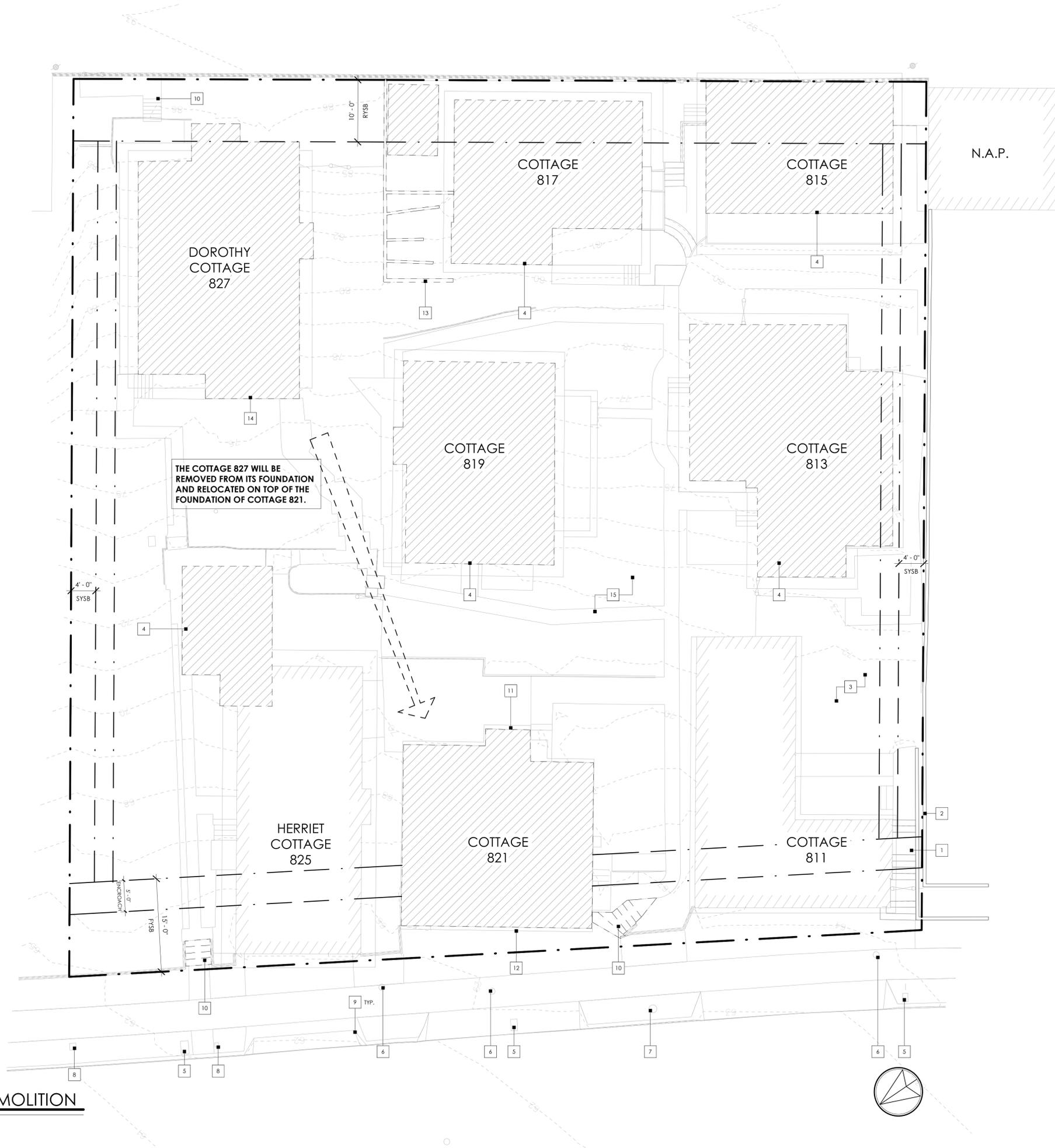
Any work undertaken on the historic Dorothy and Harriet Cottages, including the proposed relocation and subsequent rehabilitation, shall be completed in compliance with the SOI's Standards for Historic Properties. There are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration, and reconstruction. Rehabilitation has been identified as the appropriate treatment for the Dorothy and Harriet Cottages. Rehabilitation is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values." The 10 standards for rehabilitation are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and



- preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The City of San Diego will use the SOI's Standards for Historic Properties and Rehabilitation as a guideline for confirming the appropriateness of proposed rehabilitation work for the buildings. Rehabilitation work and proposed alterations and modifications to the buildings will also need to comply with the current (2013) California Building Code and the Americans with Disabilities Act. Additionally, since the Dorothy and Harriet Cottages are designated historic resources, the provisions of the California Historical Building Code are also applicable to all future relocation and rehabilitation work.



WALL LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

PLEASE REFER TO SHEETS A0.1, A0.2 AND A0.3 FOR FURTHER INFORMATION REGARDING DEMOLITION WORK FOR EXISTING COTTAGES

- KEYNOTES**
- 1 EXISTING STAIR TO REMAIN
 - 2 EXISTING RETAINING WALL TO BE REMAIN
 - 3 EXISTING HARDSCAPE/EARTH TO REMOVE TO RECEIVE NEW CONCRETE SLAB
 - 4 DASHED BUILDINGS TO BE DEMOLISHED
 - 5 EXISTING WATER METER
 - 6 EXISTING SEWER CLEANOUT
 - 7 EXISTING CATV PEDESTAL
 - 8 PACIFIC BELL PEDESTAL
 - 9 EXISTING CURB CUT AND DRIVEWAYS TO REMAIN AS IS. TYP.
 - 10 EXISTING STAIR AND HARDSCAPE TO BE REMOVED
 - 11 DASHED UPPER LEVEL 821 TO BE REMOVED
 - 12 GARAGE LEVEL TO REMAIN
 - 13 REMOVE ALL SITE WORK U.O.N. TYP.
 - 14 FOUNDATION TO BE REMOVED
 - 15 DEMOLISHED COMPLETELY. PREP SITE FOR NEW PROPOSED WORD



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1 SITE PLAN DEMOLITION

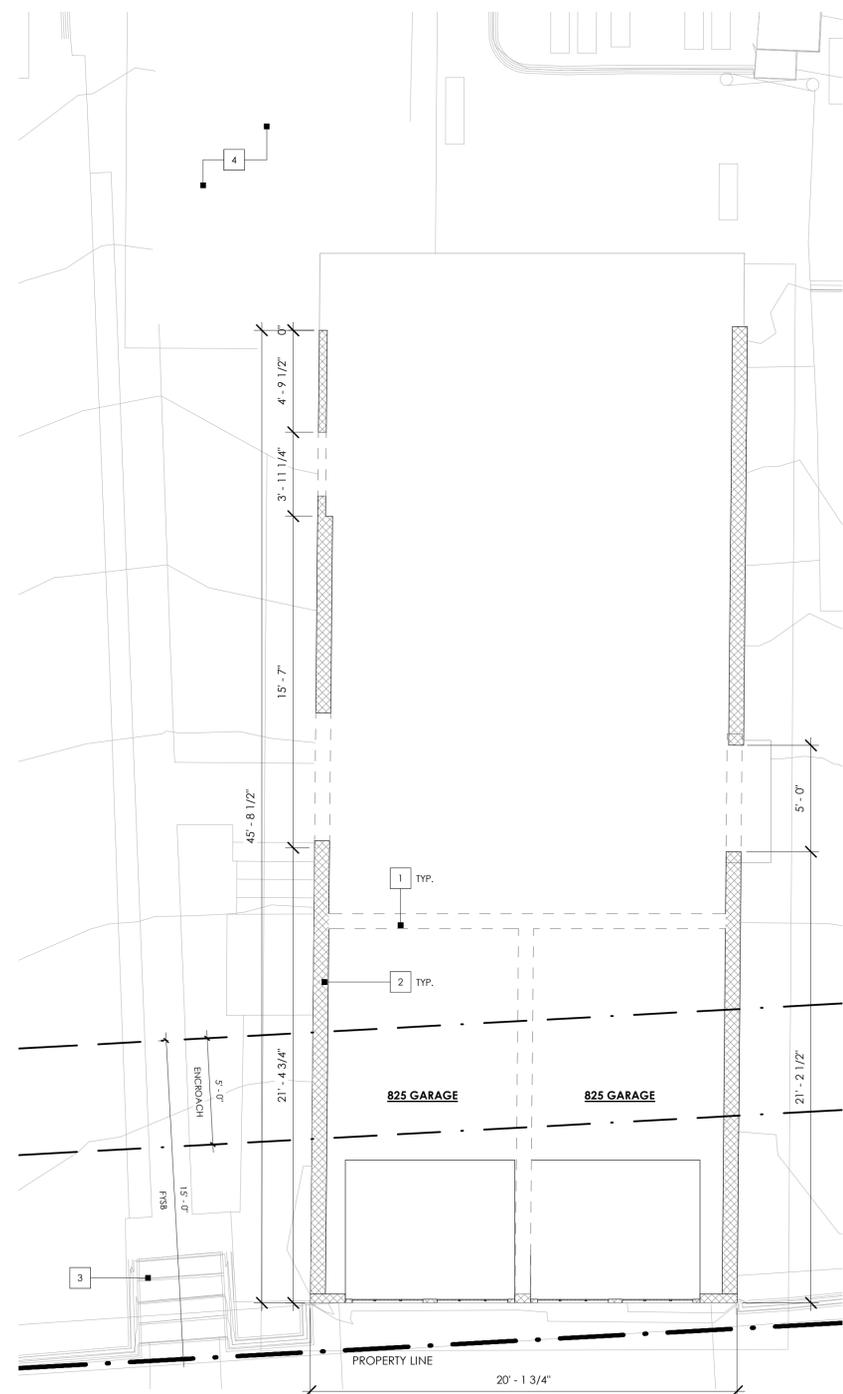
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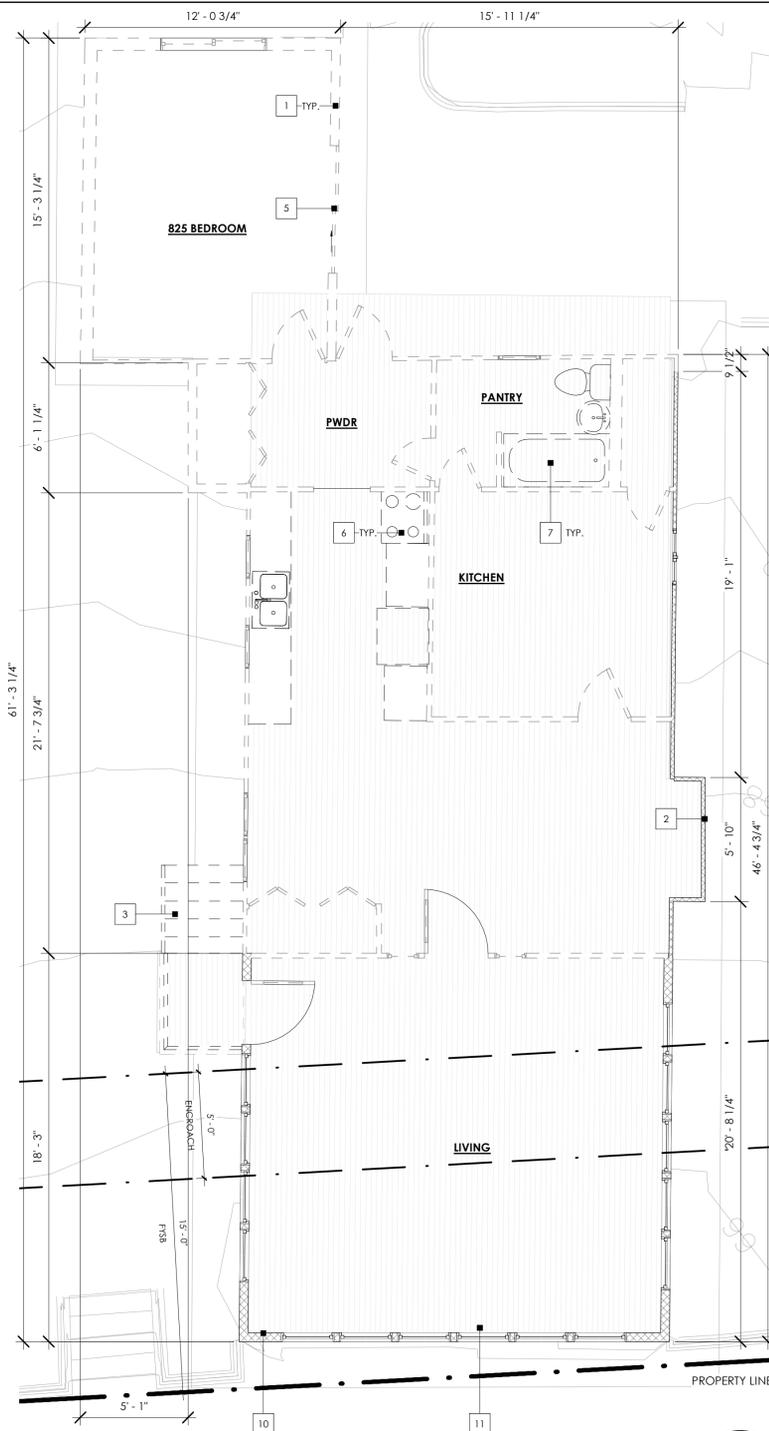
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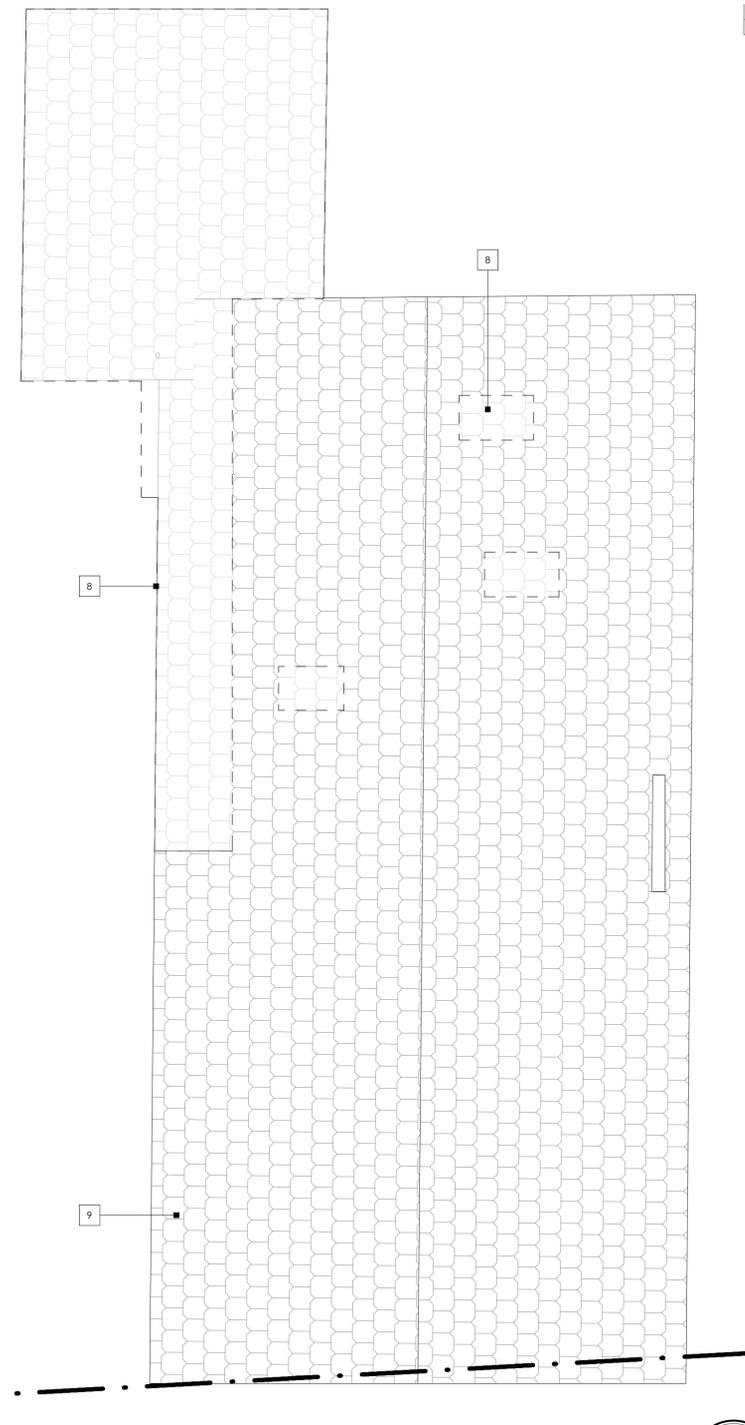
1 COTTAGE 825 LOWER LEVEL - DEMO

SCALE = 1/4" = 1'-0"



2 COTTAGE 825 MAIN LEVEL - DEMO

SCALE = 1/4" = 1'-0"



3 COTTAGE 825 ROOF PLAN - DEMO

SCALE = 1/4" = 1'-0"



WALL LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

KEYNOTES

- 1 EXISTING INTERIOR/EXTERIOR WALL TO BE REMOVED PROVIDE TEMPORARY SHORING AS REQUIRED
- 2 EXISTING INTERIOR/EXTERIOR WALL TO REMAIN, PROTECTED IN PLACE.
- 3 EXISTING WOOD STAIR TO BE REMOVED
- 4 EXISTING HARDSCAPE/EARTH TO REMOVE TO RECEIVE NEW CONCRETE SLAB
- 5 EXISTING DOOR / WINDOW TO BE REMOVED
- 6 EXISTING EQUIPMENT/APPLIANCE TO BE REMOVED
- 7 EXISTING PLUMBING TO BE REMOVED
- 8 EXISTING ROOF TO BE REMOVED
- 9 EXISTING ROOF TO REMAIN
- 10 HOLES IN EXTERIOR WALLS TO BE PATCHED, DETERIORATED WOOD SIDING REPAIRED AND BUILDING TO BE PRIMED AND REPAINTED USING HISTORIC COLOR SCHEME
- 11 EXISTING HISTORIC WINDOWS TO BE RESTORED / WEATHER STRIPPING ADDED



LEGEND

- PROPOSED NEW BUILDING AREA (TOWNHOMES)
- AREA OF EXISTING RESIDENCE
- AREA TO BE DEMOLISH
- AREA OF ADDITION

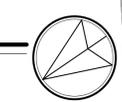
SITE NOTES

1. ADDRESS NUMBERS; STREET NUMBERS; APPROVED NUMBERS AND/OR ADDRESSES SHALL BE PLACES ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH, SAID NUMBERS SHALL CONTRACT WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MIN. STANDARDS AS TO SIZE; 4" HIGH WITH A 12' STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 12' STROKE FOR COMMERCIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS, 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY FIRE MARSHAL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS AND ENTRANCES TO COMMERCIAL CENTERS.
2. AUTOMATIC FIRE SPRINKLERS SYSTEMS: ONE AND TWO FAMILY DWELLINGS: STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT.
3. SMOKE DETECTORS/ CARBON MONOXIDE ALARMS/ FIRE SPRINKLER SYSTEMS: SMOKE DETECTORS/ CARBON MONOXIDE ALARMS/FIRE SPRINKLERS SHALL BE INSPECTED BY THE CITY OF SAN DIEGO FIRE DEPARTMENT
4. CLASS "A" ROOF: ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO SATISFACTION OF THE CITY OF SAN DIEGO FIRE DEPARTMENT.
5. WALKING DISTANCE TO NEAREST BUS STOP: 1,170 FEET
6. SEPARATE BUILDING PERMITS MUST BE OBTAINED FOR THE FOLLOWING PROPOSED WORK WRITTEN BELOW UNLESS EXEMPTED BY SECTION 129.0203 AND 129.0303 AND 129.0403 AND 129.0404 OF THE SAN DIEGO MUNICIPAL CODE. -ADDITION, REMODEL, RELOCATION OF THE EXISTING BUILDINGS/COTTAGES - NEW BUILDINGS
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITIES STORM WATER STANDARDS.
8. IF THERE ARE NO PUBLIC OR PRIVATE WATER, SEWER, OR GENERAL UTILITY EASEMENTS ON THE PROPERTY ASSOCIATED WITH THIS DEVELOPMENT, PLEASE SO STATE ON THE SITE PLAN.

KEYNOTES

- 1 LINE OF PROPOSED LOWER LEVEL
- 2 LINE OF PROPOSED MAIN LEVEL
- 3 LINE OF PROPOSED UPPER LEVEL
- 4 POWER POLE
- 5 EXISTING RETAINING WALL
- 6 EXISTING SEWER CLEANOUT
- 7 EXISTING CATV PEDESTAL
- 8 EXISTING WATER VALVE
- 9 CENTER LINE OF THE STREET
- 10 LIGHTWELL
- 11 PLANTER PER LANDSCAPE
- 12 EXISTING STAIRS TO REMAIN - REFINISH AS REQUIRED
- 13 NEW FENCE
- 14 NEW SITE STAIR AND LANDINGS AT GRADE
- 15 DECK WALKWAY AT TOWNHOME LEVEL
- 16 ADJACENT MAP, TYP.
- 17 PROPOSED WOOD GATE AND FENCE

1 SITE PLAN
SCALE = 1/8" = 1'-0"



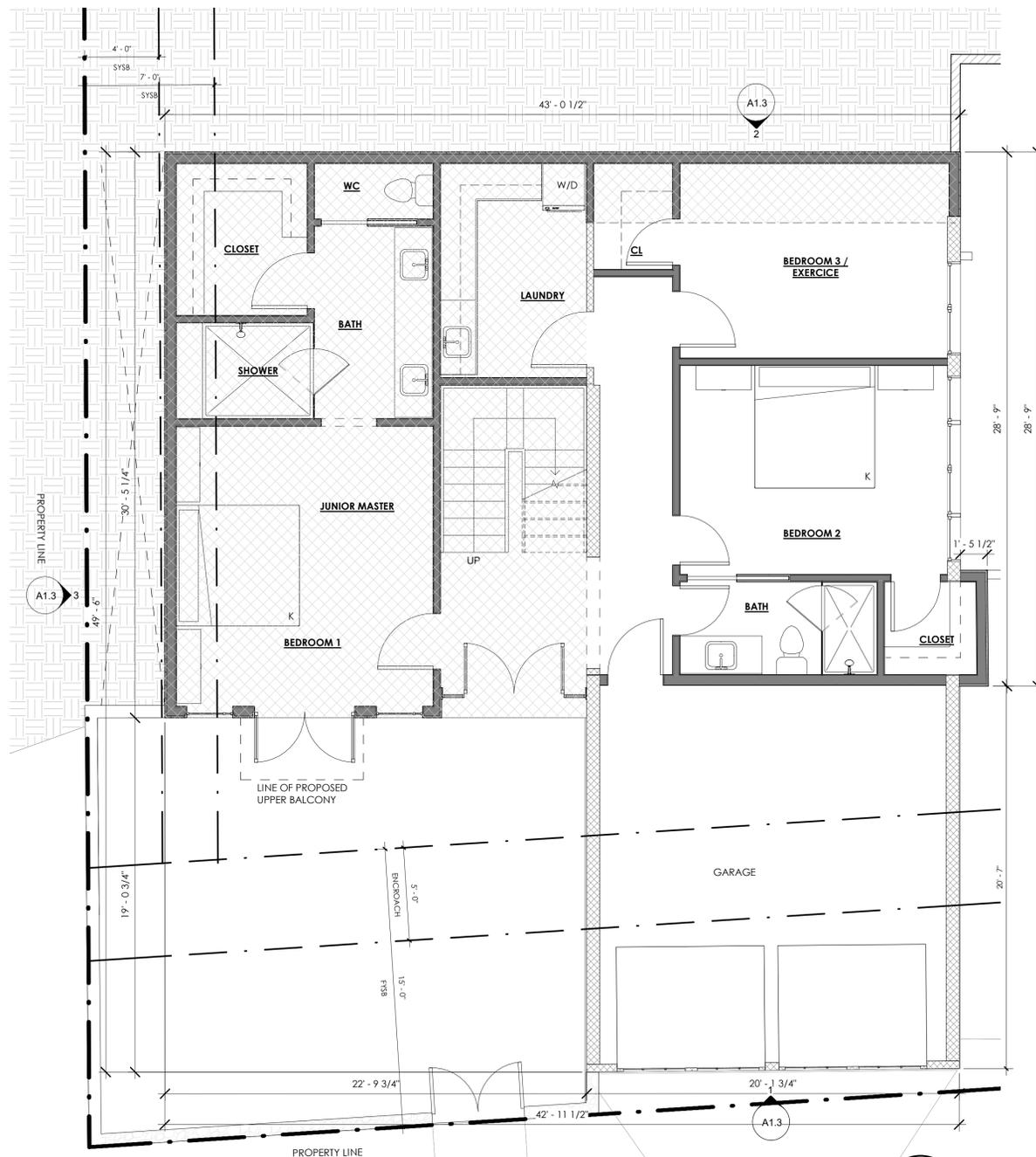
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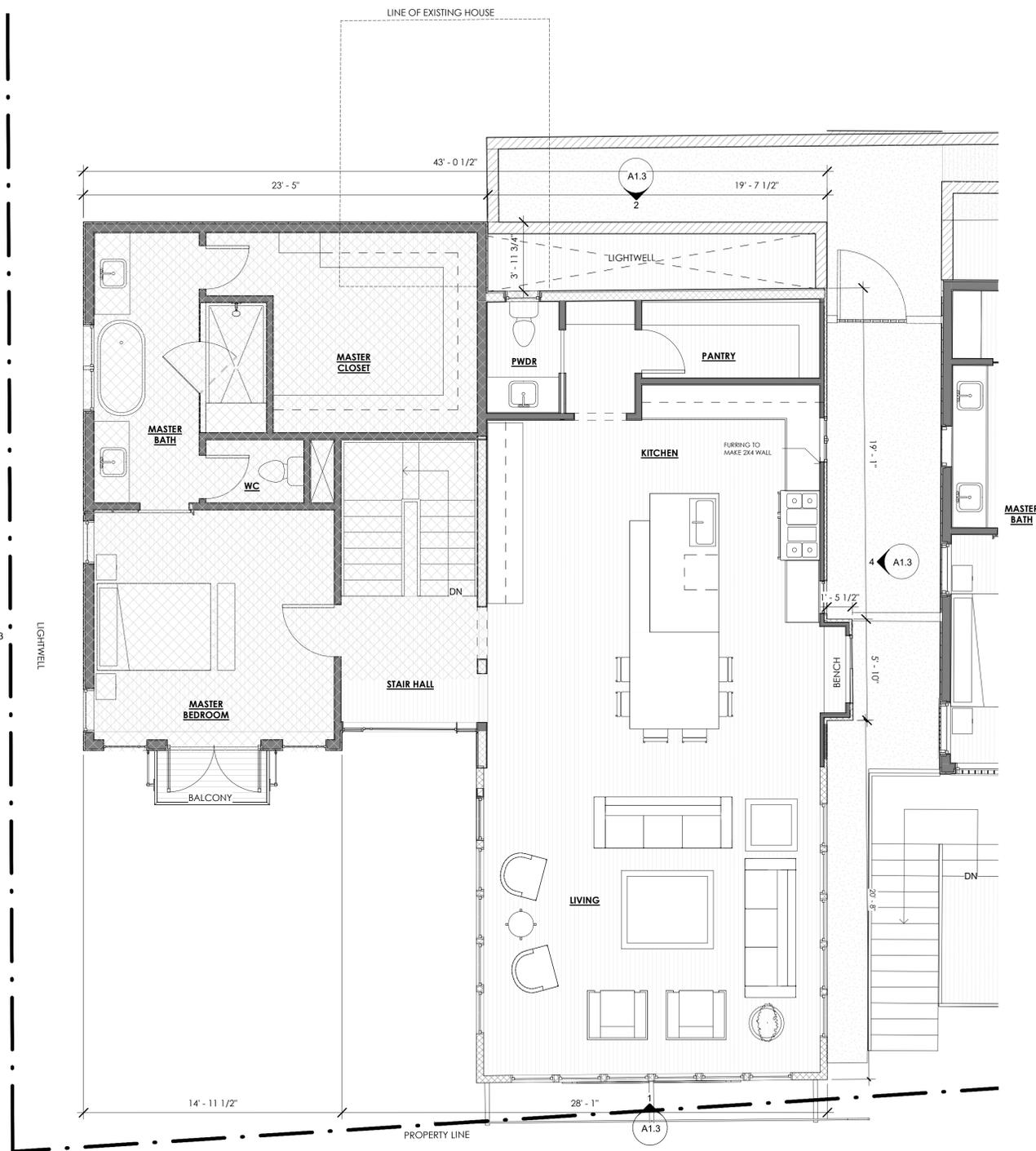


1 COTTAGE 825 LOWER LEVEL

SCALE = 1/4" = 1'-0"

2 COTTAGE 825 MAIN LEVEL

SCALE = 1/4" = 1'-0"

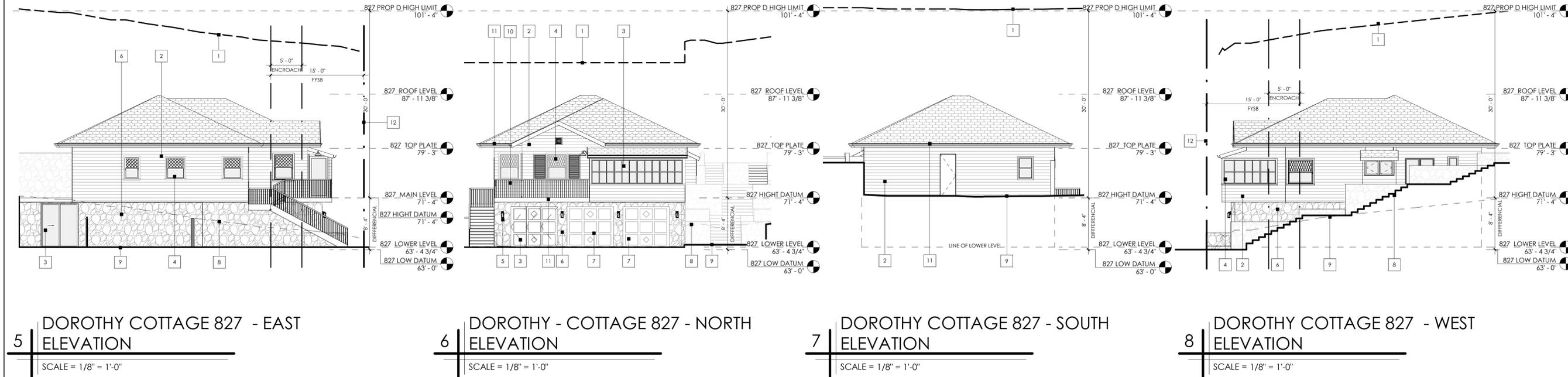
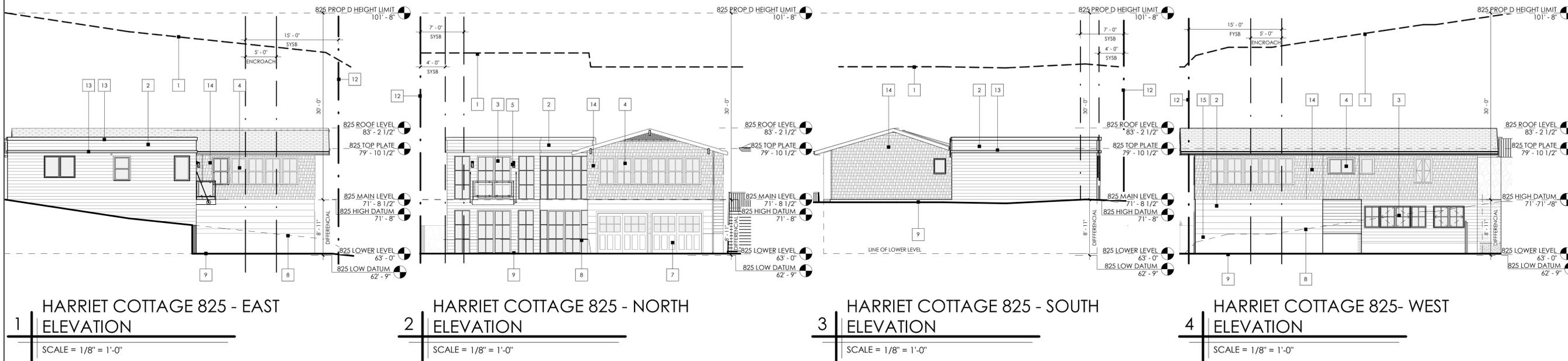


WALL LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED



JOB #: 1811



KEYNOTES	
1	LINE OF 30'-0" HEIGHT LIMIT
2	WOOD CLADDING
3	(N) WIN/DOOR PER SCHEDULE
4	(E) WIN/DOOR TO REMAIN
5	LIGHT FIXTURE PER RCP
6	COBBLE STONE FINISH PER ARCHITECT
7	(E) GARAGE DOOR TO REMAIN
8	LINE OF EXISTING GRADE AT BUILDING LINE
9	LINE OF PROPOSED GRADE AT BUILDING LINE
10	VERTICAL PICKET RAILING
11	METAL GUTTER
12	PROPERTY LINE
13	STUCCO MOLDING
14	WOOD SHINGLE FINISH
15	PAINTED WHITE BRICK TYP.

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A1.3
COTTAGES
EXTERIOR
ELEVATIONS
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