



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: October 31, 2018 REPORT NO. HO-18-105

HEARING DATE: November 7, 2018

SUBJECT: ISLAND COURT BAYSIDE CDP/TM - Process Three Decision

PROJECT NUMBER: [600832](#)

OWNER/APPLICANT: Anil K. Dutta

SUMMARY

Issues: Should the Hearing Officer approve Coastal Development Permit No. 2124341 and Tentative Map No. 2164319 to demolish two existing residential units and construct a new, three-story, four-dwelling-unit building with roof deck, for a total of 5,096 square feet, located at 821-827 Island Court in the Mission Beach Planned District Residential-Southern (MBPD-R-S) Zone, Coastal Overlay (appealable area), Beach Impact Area of the Parking Impact Overlay, Residential Tandem Parking Overlay, and Transit Overlay zone within the Mission Beach Community Plan?

Staff Recommendations:

1. Approve Tentative Map No. 2164319.
2. Approve Coastal Development Permit No. 2124341.

Community Planning Group Recommendation: On July 29, 2018, the Mission Beach Community Planning Board voted 11-0-0 to recommend approval of the proposed project, without conditions.

Environmental Review:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New construction or conversion of small structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 10, 2018, and the opportunity to appeal that determination ended October 24, 2018, (Attachment 9).

BACKGROUND

The 0.11-acre site is located at 821-827 Island Court in the Mission Beach Planned District Residential-Southern (MBPD-R-S), Coastal Overlay (appealable area), Beach Impact Area of the Parking Impact Overlay, Residential Tandem Parking Overlay, and Transit Overlay zone of the Mission Beach Community Plan area (Attachment 1). The proposed project is in an area identified as low medium density (36 Dwelling Units per acre) residential in the Mission Beach Community Plan and is consistent with that land use (Attachment 2). The project is surrounded by both single-family and multi-family residential development (Attachment 3). The project site is designated Multiple Use in the General Plan and is consistent with existing General Plan designations by providing single family residential housing within a medium-low density range within a coastal urbanized core of the City. The project complies with all required Subdivision Map Act Requirements and all San Diego Municipal Code regulations.

The existing residences located at 821-827 Island Court are not historically designated resources and are not located within a designated historical district. However, the San Diego Municipal Code requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. Staff determined the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

DISCUSSION

The applicant is requesting the approval of a Tentative Map per San Diego Municipal Code (SDMC) Section [125.0410](#) to allow the subdivision of a 0.11-acre site into one parcel. The project also requires approval of a Coastal Development Permit (CDP) per SDMC Section [126.0702\(a\)](#), to demolish two existing residential units and construct a new, three-story, four-dwelling-unit building with roof deck, for a total of 5,096-square-feet. The project site is designated Multiple Use in the General Plan and is consistent with existing General Plan designations by providing housing within a low medium density range within a coastal urbanized core of the City.

The Mission Beach Community Plan does not provide specific recommendations regarding development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. The project design incorporates balconies, glazing area, multiple offsetting planes, and materials and finishes that will provide visual interest and reduce the perceived bulk and scale of the existing residences. The project will be compatible with existing land uses in the immediate neighborhood and will not constitute a disruptive element to the neighborhood and community. Architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.

In addition, the proposed project will provide an opportunity for home ownership which is consistent with the General Plan, Housing Element, Goal No. 4: "to provide affordable housing opportunities consistent with a land use pattern which promotes infill development and socioeconomic equity; and facilitate compliance with all applicable federal, state, and local laws and regulations". The new residential development is a use that is compatible with Multi-Family Residential uses expected to be found in the Mission Beach area community.

The Transportation Element of the Community Plan recommends that off-street parking should be screened from the public right-of-way and adjacent residences. Of the eight total parking spaces provided all are accessed via the alley and are partially covered. The project was reviewed by staff and determined to be in conformance with the Mission Beach Planned District Residential-Southern (MBPD-R-S) Zone development regulations.

The proposed lot size is consistent with the required Mission Beach Planned District Residential-Southern (MBPD-R-S) Zone minimum lot size of 5,000-square-feet and has adequate width and depth and are conditioned to install adequate public improvements prior to the recordation of a parcel map (Attachment 4).

All necessary public improvements are included as project conditions, and all public utilities required to service the site are available. The project was determined to be exempt from CEQA pursuant to CEQA Guidelines Section 15303 (New construction or conversion of small structures), and there was no appeal of the environmental determination filed within the time period provided by San Diego Municipal Code Section [112.0520](#). The proposed Coastal Development permit includes conditions of approval and exhibits to achieve compliance with the SDMC regulations applicable to this project. Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area (Attachment 6).

The San Diego Municipal Code (SDMC) Section [144.0240](#) allows the subdivider to apply for a waiver from the requirement to underground existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined that the requested waiver of the requirements to underground privately owned utility systems and services facilities qualifies under the guidelines of SDMC Section [144.0242\(c\) \(1\) \(B\)](#) as follows: The conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. Notwithstanding the requested waiver, the project is required to underground any new service run to any new or proposed structures within the subdivision per Condition No. 8 of the Tentative Map. The City's Undergrounding Master Plan list an estimated date for undergrounding for this in the year 2022, under [Project ID No. UU982](#).

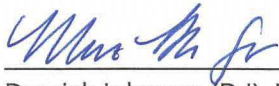
CONCLUSION

City staff has reviewed the application for a Coastal Development Permit and Tentative Map to the allow subdivision of a 0.11-acre site into one (1) lot for a four-unit residential condominium development and has determined that the subdivision application is consistent with the land use designation and development regulations in effect for this site per the State Map Act and the San Diego Municipal Code. Staff recommends that the Hearing Officer approve Tentative Map No. 2164319 and Coastal Development Permit No. 2124341.

ALTERNATIVES

1. Approve Tentative Map No. 2164319 and Coastal Development Permit No. 2124341, with modifications.
2. Deny Tentative Map No. 2164319 and Coastal Development Permit No. 2124341, if the findings required to approve the project cannot be affirmed.

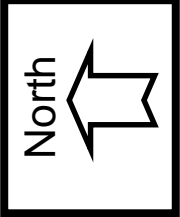
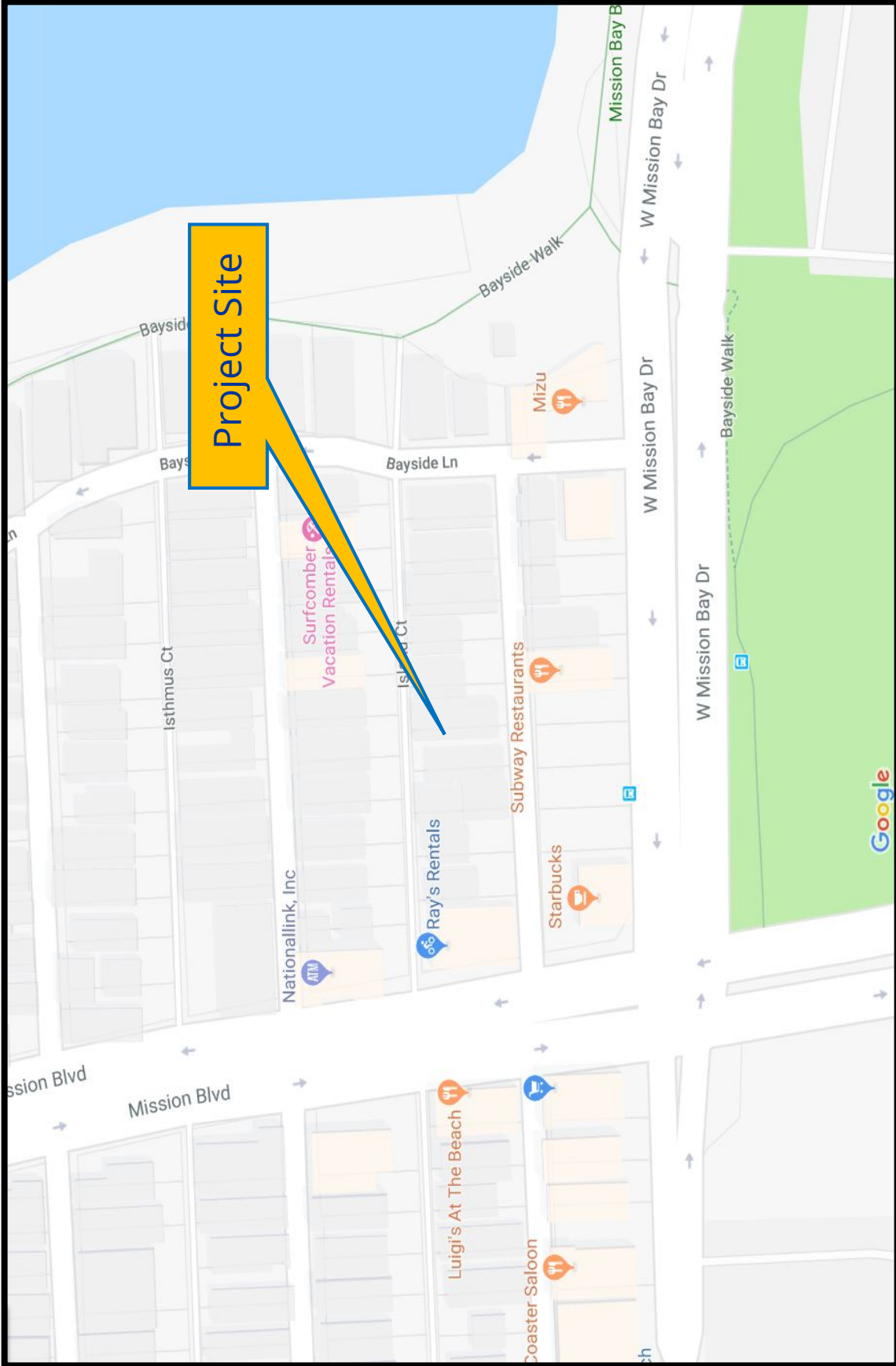
Respectfully submitted,



Derrick Johnson (D.J), Development Project Manager

Attachments:

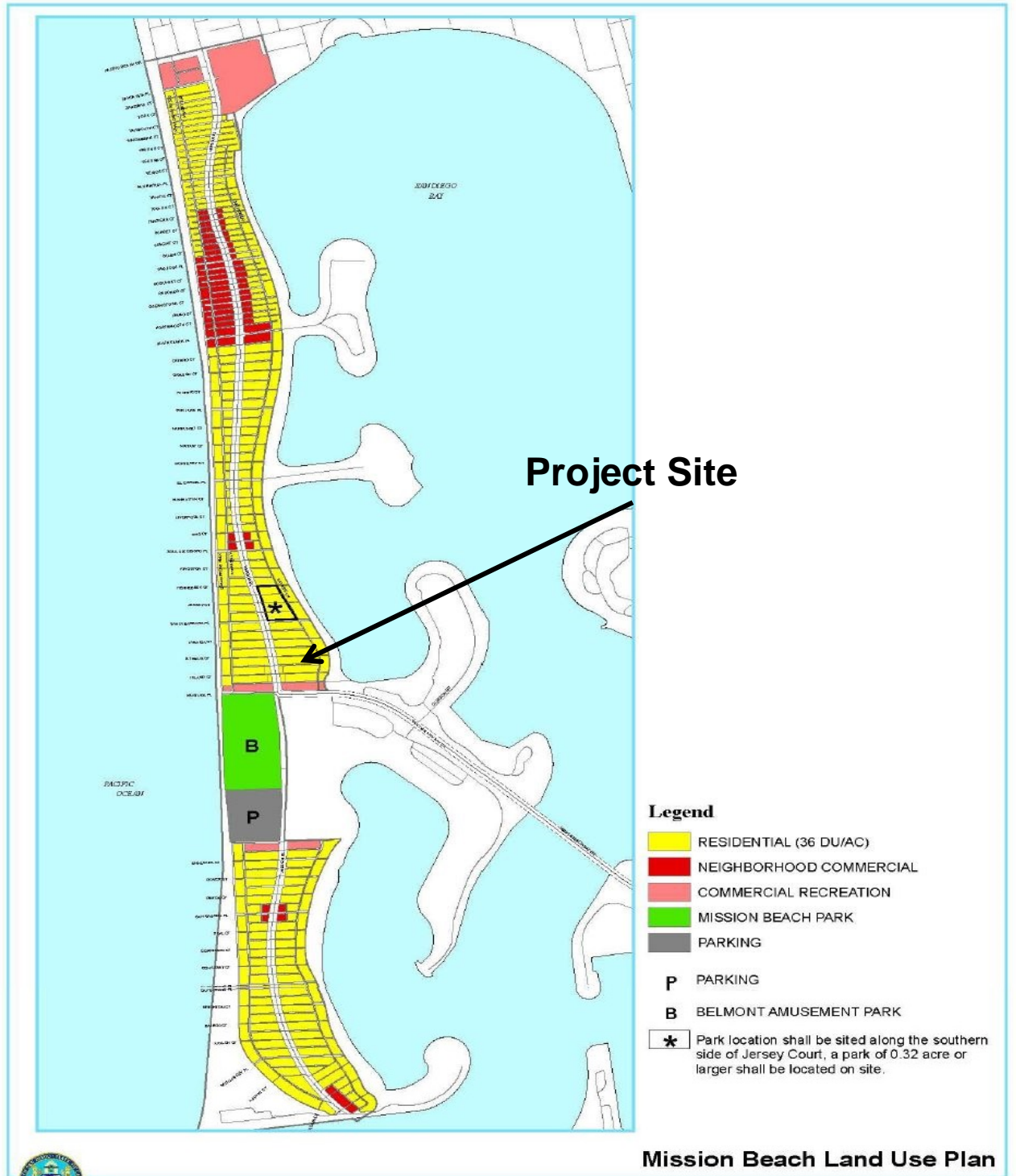
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Draft Map Resolution
8. Draft Map Conditions
9. Environmental Exemption
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans
13. Map Exhibit-Tentative Map



Project Location Map

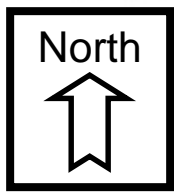
Island Court Bayside – CDP TM / 821 – 827 Island Court
 PROJECT NO. 600832

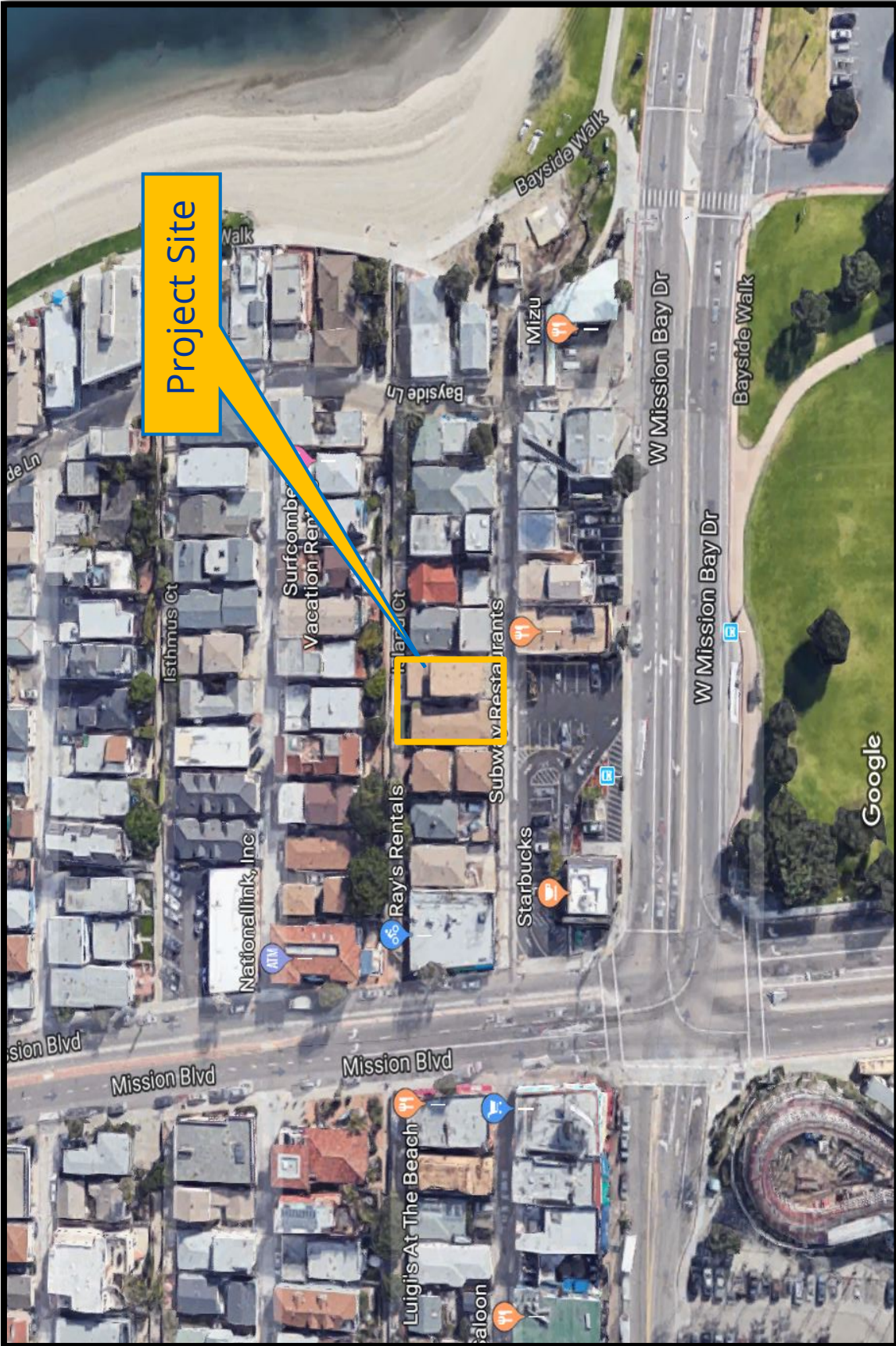
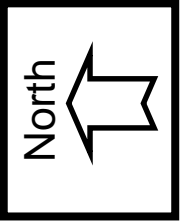




Land Use Map

Island Court Bayside - CDP TM / 821 - 827 Island Court
 PROJECT NO. 600832





Aerial Photo

Island Court Bayside - CDP TM / 821 - 827 Island Court

PROJECT NO. 600832



ATTACHMENT 4

PROJECT DATA SHEET		
PROJECT NAME:	Island Court Bayside	
PROJECT DESCRIPTION:	MISSION BEACH - (Process 3) Coastal Development Permit, Tentative Map for the demolition of two existing residences and construction of a new three-story with roof deck, four-unit multi-family residential building, totaling 5,096-square-feet, located at 821-827 Island Court. The 0.11 acre site is located in the MBPD-R-S zone in the Coastal Overlay zone (Appealable) within the Mission Beach Community Plan area. Council District 2.	
COMMUNITY PLAN AREA:	Mission Beach	
DISCRETIONARY ACTIONS:	CDP & Tentative Map – Process 3	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential	
<u>ZONING INFORMATION:</u>		
<p>ZONE: Residential; MBPD-R-S</p> <p>HEIGHT LIMIT: 30-Foot maximum height limit</p> <p>LOT SIZE: 2,400 square-foot minimum lot size (2 existing lots totaling 4,708 SF)</p> <p>FLOOR AREA RATIO: 1.10 maximum (5,280 SF), 1.06 (5,160 SF Provided)</p> <p>FRONT SETBACK: 15 feet (Additional 45* angle setback at 20' above grade)</p> <p>SIDE SETBACK: 6 ft minimum</p> <p>STREETSIDE SETBACK: N/A</p> <p>REAR SETBACK: 0 required</p> <p>PARKING: 8 spaces required</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; MBPD-R-S	Residential
SOUTH:	Mixed Commercial; MBPD-VC-S	Commercial (Parking Lot of drive thru)
EAST:	Residential; MBPD-R-S	Residential
WEST:	Residential; MBPD-R-S	Residential
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Mission Beach Community Planning Group Voted 11-0-0 to approve the project. on July 29, 2018.	

HEARING OFFICER
RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT No. 2124341
ISLAND COURT BAYSIDE CDP/TM -PROJECT NO. 600832

WHEREAS, Anvil K Dutta, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish two existing residential units and construct a new, three-story, four-dwelling-unit building with roof deck, for a total of 5,096 square feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2124341 on portions of a 0.11-acre site;

WHEREAS, the project site is located at 821-827 Island Court in the Mission Beach Planned District Residential-Southern (MBPD-R-S), Coastal Overlay (appealable area), Beach Impact Area of the Parking Impact Overlay, Residential Tandem Parking Overlay, and Transit Overlay zone, within the Mission Beach Community Plan area;

WHEREAS, the project site is legally described as Lot H, Block 97 Mission Beach, Map No 1651, County of San Diego, recorded on December 14, 1914;

WHEREAS, on October 10, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New construction or conversion of small structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on November 7, 2018, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2124341, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2124341:

COASTAL DEVELOPMENT PERMIT FINDINGS – SDMC SECTION 126.0701

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to demolish two existing residential units and construct a new, three-story, four-dwelling-unit building with roof deck, for a total of 5,096-square-feet. The Mission Beach Community Plan does not identify any existing or proposed physical access way from this site to any coastal resource and there are no public access easements recorded on the title of the property. No physical access routes are identified through the property in the Mission Beach Community Plan or Local Coastal Program Land Use Plan. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan. Furthermore, the Mission Beach Community Plan, the adopted Local Coastal Program land use plan, does not identify any public views from this private property to and along the ocean which is approximately several blocks westerly of the site or other scenic coastal areas of which there are none. In addition, the proposed coastal development will not degrade and will not remove, eliminate, or detract any protected public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan from this site.

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The subject site does not contain nor is it adjacent to any environmentally sensitive lands. The project is within an urbanized area and is not located in or adjacent to the Multi Habitat Planning Area. Both single-family and multi-residential development are the primary existing land uses of the immediate neighborhood and the proposed residential development maintains that development pattern. In addition, the majority of the site's runoff will be treated by flowing over landscaping, then it will be collected in a catch basin at the rear and will be pumped to the curb outlet at the front of the residence to the alley. The project has been designed to ensure all drainage from unimproved areas will be appropriately collected and discharged to reduce, control, or mitigate erosion. The proposed coastal development will not adversely affect environmentally sensitive lands, as no such resources exist on the project site.

- 3. The proposed coastal Development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The Mission Beach Community Plan designates the site for residential development. The City of San Diego Progress Guide and General Plan, the Mission Beach Community Plan and Local Coastal Program designate the site for medium low-density residential with regulations for minimum lot size and dimensional criteria. The project proposes to demolish two existing residential units and construct a new, three-story, four-dwelling-unit building with roof deck, for a total of 5,096-square-feet. Both multi-family and single-family residential development are the primary existing land uses in the immediate neighborhood. The project will be compatible with the appearance of the existing neighborhood and will incorporate façade, articulation, and architectural details similar in scale, color and appearance of the existing neighborhood.

The project will not conflict with the relevant land use plans and will be developed in accordance with the policies of the Mission Beach Community Plan. The project does not conflict with the relevant land use plans. Therefore, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is not located between the nearest public road and the shoreline of a body of water. The site does not contain a physical public access way and is not within or adjacent to any public recreation area. The project does not propose to encroach into any public access way to the ocean which is approximately several blocks westerly of the site. The project is a private development on privately owned land. The Mission Beach Community Plan and Local Coastal Program do not designate any coastal access to the beach. Therefore, the development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2124341, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2124341, a copy of which is attached hereto and made a part hereof.

Derrick Johnson (D.J.)
Development Project Manager
Development Services

Adopted on: November 7, 2018

IO#: 24007777

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007777

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2124341
ISLAND COURT BAYSIDE NO. 600832
HEARING OFFICER

This Coastal Development Permit No. 2124341 is granted by the Hearing Officer of the City of San Diego to Anil K, Dutta Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.11-acre site is located at 821-827 Island Court in the Mission Beach Planned District Residential-Southern (MBPD-R-S), Coastal Overly (appealable area), Beach Impact Area of the Parking Impact Overlay, Residential Tandem Parking Overlay, and Transit Overlay zone, within the Mission Beach Community Plan area. The project site is legally described as; Lot H, Block 97 Mission Beach, Map No 1651, County of San Diego, recorded on December 14, 1914; and

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish two existing residential units and construct a new, three-story, four-dwelling-unit building with roof deck, for a total of 5,096-square-feet, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 7, 2018, on file in the Development Services Department.

The project shall include:

- a. A three-story, four-unit residential building, totaling 5,096 square feet with roof deck;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 23, 2021.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

13. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

14. The Coastal Development Permit No. 2124341 shall comply with all Conditions of the Final Map for the Tentative Map No. 2164319.
15. The project proposes to export 38 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
16. The drainage system proposed for this development is private and subject to approval by the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the removal of the existing encroaching fence adjacent to site in the Island Court right of way, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the damaged asphalt concrete alley with a City Standards Concrete Pavement Full Width Alley, in the alley adjacent to the site, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the improvement of the unimproved portion of Island Court, adjacent to site, satisfactory to the City Engineer

LANDSCAPE REQUIREMENTS:

22. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit 'A,' the Mission Beach Planned District Ordinance, the Mission Beach Community Plan, and the Land Development Manual - Landscape Standards.
23. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

25. The Owner/Permittee shall install and maintain all landscaping proposed in public view corridors to not obstruct public views of the ocean as specified in §132.0403(e) of the Land Development Code, Coastal Overlay Zone Regulations. Landscaping materials shall not encroach or overhang into the Courts and Places right-of-way below a height of 8-ft. above the finish surface or finish grade, as measured at the trunk [§1513.0402(a)(2)].

PLANNING/DESIGN REQUIREMENTS:

26. Owner/Permittee shall maintain a minimum of eight off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

29. All automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

GEOLOGY REQUIREMENTS:

30. Prior to the issuance of any construction permits (either grading or building permits), the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addressed the proposed construction plans and includes a site-specific liquefaction analysis. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of Development services prior to the issuance of any construction permit.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 7, 2018, and Resolution No.____

ATTACHMENT 6

COASTAL DEVELOPMENT PERMIT NO. 2124341
November 7, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Derrick Johnson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Anil K, Dutta
Owner/Permittee

By _____
Anil K, Dutta
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO.
TENTATIVE MAP NO. 2164319
ISLAND COURT BAYSIDE CDP/TM - PROJECT NO. 600832

WHEREAS, Anil K, Dutta, Subdivider, and San Diego Land Surveying and Engineering, Land Surveyors, submitted an application to the City of San Diego for a Tentative Map No. 2164319, for the subdivision of a 0.11-acre site into one (1) lot for a four-unit residential condominium, Island Court Bayside Tentative Map, and to waive the requirement to underground existing offsite overhead utilities. The project site is located 821-827 Island Court in the Mission Beach Planned District Residential South Subdistrict (MBPD-R-S), Coastal Overlay zone (Appealable), Coastal Height Limitation Overlay zone (Prop D), Residential Tandem Parking Overlay zone, Transit Priority Area Overlay zone, Parking Impact Overlay zone (Beach & Coastal), within the Mission Beach Community Plan area. The property is legally described as: Lot H, Block 97 Mission Beach, Map No. 1651 recorded on December 14, 1914, County of San Diego; and

WHEREAS, the Map proposes the Subdivision of a 0.11-acre-site into one lot; and

WHEREAS, on October 10, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New construction or conversion of small structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the request to waive the underground of existing overhead utilities has been determined to be appropriate pursuant to the San Diego Municipal Code Section 144.0242(c)(1)(B) based on a short span of overhead facility (less than a full block in length), and that the span does not represent a logical extension to an underground facility and;

WHEREAS, on October November 7, 2018, the Hearing Officer of the City of San Diego considered Tentative Map No. 2164319, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section 125.0440, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 216431:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The applicant is requesting the approval of a Tentative Map, to allow for the subdivision of a 0.11-acre site into one lot for a four-unit residential condominium development. The site is located at 821-821 Island Court in the Mission Beach Planned District Residential South Subdistrict (MBPD-R-S), Coastal Overlay zone (appealable), Coastal Height Limitation Overlay zone (Prop D), Residential Tandem Parking Overlay zone, Transit Priority Area Overlay zone, Parking Impact Overlay zone (Beach & Coastal), within the Mission Beach Community Plan area. The proposed project is in an area identified as low medium density (36 Dwelling Units per acre) residential in the Mission Beach Community Plan and is consistent with that land use. The project is surrounded by both single-family and multi-family residential development.

The project site is designated Multiple Use in the General Plan and is consistent with existing General Plan designations by providing single family residential housing within a medium low - density range within an urbanized core of the City. As proposed, the subdivision would be consistent with the Mission Community Plan and overall policies for development related to the Land Use and Urban Design, and Density elements contained in the General Plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The applicant is requesting the approval of a Tentative Map, to allow for the subdivision of a 0.11-acre site into one lot for a four-unit residential condominium development. The site is located at 821-821 Island Court in the Mission Beach Planned District Residential South Subdistrict (MBPD-R-S), Coastal Overlay zone (appealable), Coastal Height Limitation Overlay zone (Prop D), Residential Tandem Parking Overlay zone, Transit Priority Area Overlay zone, Parking Impact Overlay zone (Beach & Coastal), within the Mission Beach Community Plan. The site is consistent with the required minimum lots size of 5,000-square-feet. The project is in compliance with the Municipal Code and the Subdivision Map Act and includes conditions and exhibits to ensure the provision of adequate parking and public improvements.

The project includes a request to waive the requirement to underground the existing offsite overhead utilities. The requested waiver of the requirement to underground the existing overhead utilities facilities in the public right-of-way qualifies under the guidelines of Municipal Code Section 144.0242(1)(b). Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities, in that the project involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. The project has been conditioned to underground any new service run to any new or proposed structures within the subdivision. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code and the State Map Act.

3. The site is physically suitable for the type and density of development.

The applicant is requesting the approval of a Tentative Map, to allow for the subdivision of a 0.11-acre site into one lot for a four-unit residential condominium development. The site is located at 821-821 Island Court in the Mission Beach Planned District Residential South Subdistrict (MBPD-R-S), Coastal Overlay zone (appealable), Coastal Height Limitation Overlay zone (Prop D), Residential Tandem Parking Overlay zone, Transit Priority Area Overlay zone, Parking Impact Overlay zone (Beach & Coastal), within the Mission Beach Community Plan. The proposed project is located in an area identified as medium low density (36-dwelling units per acre) residential in the Mission Beach Community Plan and is consistent with that land use. The project is surrounded by both single-family and multi-family residential developments and the project site has a community plan designation for residential development. The project has been conditioned to construct public improvements, as shown on Exhibit A, including the reconstruction of the damaged asphalt concrete alley with a City Standards Concrete Pavement Full Width Alley, in the alley adjacent to the site. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The developed project site is located in a coastal urban infill area and does not contain nor is it adjacent to any sensitive resources, Multi Habitat Planning Area lands, Environmentally Sensitive Lands or existing fish or wildlife habitats.

Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The applicant is requesting the approval of a Tentative Map, to allow for the subdivision of a 0.11-acre site into one lot for a four-unit residential condominium development. The site is located at 821-821 Island Court in the Mission Beach Planned District Residential South Subdistrict (MBPD-R-S), Coastal Overlay zone (appealable), Coastal Height Limitation Overlay zone (Prop D), Residential Tandem Parking Overlay zone, Transit Priority Area Overlay zone, Parking Impact Overlay zone (Beach & Coastal), within the Mission Beach Community Plan. The subdivision conforms to the development regulations of Municipal Code and Subdivision Map Act.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code and other regulations governing construction, continued operation and health/life/safety requirements apply to this project. The project complies with with the Municipal Code and the Subdivision Map Act and includes conditions and exhibits to ensure the provision of adequate parking, public improvements and compliance with the Land Development Code. The City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New construction or conversion of small structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520. The Subdivider shall construct the required Public Improvements. As such, the design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

There are no existing easements acquired by the public at large for access through or use of property located within the project boundaries, as shown on Tentative Map No. 2164319. As such, no conflict would occur with the recording of the subdivision, and there would be no conflicts with any easements acquired by the public at large for access through or use of the property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The applicant is requesting the approval of a Tentative Map, to allow for the subdivisions of a 0.11-acre site into one lot. The site is located at 821-821 Island Court in the Mission Beach Planned District Residential South Subdistrict (MBPD-R-S), Coastal Overlay zone (appealable), Coastal Height Limitation Overlay zone (Prop D), Residential Tandem Parking Overlay zone, Transit Priority Area Overlay zone, Parking Impact Overlay zone (Beach & Coastal), within the Mission Beach Community Plan area. The proposed subdivision will not impede or inhibit any future passive or natural heating and cooling opportunities. The project has been designed to be exposed on two sides (north and south) to ensure passive cooling through cross-ventilation of the interior spaces. With the independent design of the proposed subdivision each unit will have the opportunity through building material, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible or future passive or natural heating and cooling opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project site is surrounded by existing development, consisting primarily of both single-family and multi-family residences. The Mission Beach Community Plan encourages a wide variety of housing types for all age, income and social groups.

The project would provide an additional lot for future development. All applicable Developer Impact Fees (DIF), school fees, water/sewer connection fees and other impact fees, will be paid at construction permit issuance in accordance with the City's Public Facilities Financing Plan and Impact Fee Schedule. The project site is served by existing public infrastructure, including, water, sewer, electrical and gas lines.

The decision maker has reviewed the administrative record including the project plans, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and the subdivision is consistent with the housing needs anticipated for the Mission Beach Community Plan area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map No. 2164319, including the waiver of the requirement to underground

existing offsite overhead utilities, is hereby granted to Konstantin Dubinin, Subdiver, subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Derrick Johnson (D.J.)
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24007777

HEARING OFFICER
TENTATIVE MAP NO. 2164319
ISLAND COURT BAYSIDE CDP/TM - PROJECT NO. 600832
ADOPTED BY RESOLUTION NUMBER ___ ON NOVEMBER 7, 2018

GENERAL

1. This Tentative Map will expire November 23, 2021.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide lots shall be recorded in the office of the County Recorder.
4. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

7. The Tentative Map shall comply with the conditions of Coastal Development Permit No. 2124341.
8. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.

MAPPING

9. Prior to the expiration of the Tentative Map, if approved, a Parcel Map to consolidate and subdivide the properties into four (4) residential condominium units shall be recorded to the County Recorder's office.
10. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition. If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.
11. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495. All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
12. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
13. "Basis of Bearing" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
14. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
15. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

PUD WATER & SEWER

16. Prior to the issuance of any construction permits, the Subdivider shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
17. Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
18. The Subdivider shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
19. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required

ATTACHMENT 8

permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24007777

NOTICE OF EXEMPTION

ATTACHMENT 9

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 600832

PROJECT TITLE: Island Bay Courtside

PROJECT LOCATION-SPECIFIC: The project is located at 821-827 Island Court, SD CA 92109

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Coastal Development Permit (CDP) and Tentative Map (TM) for the demolition of two existing residences and the construction of a new three-story, four-unit multi-family residential building, totaling 5,096-square-feet. The existing 0.11 acre site is made of two legal parcels with two duplex structures, which would be demolished. Other improvements consist of new water meters, new sewer connections, fire suppression systems, landscaping improvements and a roof deck. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with the public utilities in place to serve the development. The project is located in the MBPD-R-S zone in the Coastal Overlay zone (Appealable) within the Mission Beach Community Plan area.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Bay Park Capital, Brandon Soule- 5663 Balboa Avenue #495., San Diego CA 92111. (760) 547-3941

EXEMPT STATUS: (CHECK ONE)

- () MINISTERIAL (SEC. 21080(b)(1); 15268);
() DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
() EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
(X) CATEGORICAL EXEMPTIONS: 15303 (NEW CONSTRUCTION)
() STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined that since the project would be located within a previously developed site lacking sensitive resources that environmental impacts would not occur. Therefore, the project would qualify to be categorically exempt from CEQA pursuant to 15303(b) (New Construction) which allows for the construction of up to six residential units in urbanized areas. The project site lacks sensitive environmental resources and the exceptions listed in CEQA Section 15300.2 do not apply.

LEAD AGENCY CONTACT PERSON: JEFF SZYMANSKI

TELEPHONE: (619) 446-5324

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

[Handwritten Signature] / SENIOR PLANNER

October 25, 2018
DATE

CHECK ONE:

- (X) SIGNED BY LEAD AGENCY
() SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

**Community Planning
Committee
Distribution Form Part 1**

Project Name: Island Court Bayside - CDP/SDP	Project Number: 000632	Distribution Date: 3/27/2018
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Project Scope/Location:

MISSION BEACH - (Process 3) Coastal Development Permit and Site Development Permit for demolition of 2 existing dwellings and construction of new 3 story with roof deck, 4-unit multi-family residential structure measuring 5,096-square-foot, located at 821-827 Island Court. The 0.11 acre site is located in the MBPD-R-S zone in the Coastal Overlay zone (Appealable) within the Mission Beach Community Plan area. Council District 2.

Applicant Name:

Soule, Brandon

Applicant Phone Number:

760-547-3941

Project Manager:

Johnson, Denick

Phone Number:

(619) 446-5477

Fax Number:

(619) 321-3200

E-mail Address:

DNJohnson@sandiego.gov

Project Issues (To be completed by Community Planning Committee for initial review):

THIS PROJECT WAS DISCUSSED AT OUR JUNE 17, 2018 MEETING. THE OWNER AND THE ARCHITECTURAL REPRESENTATIVE WERE PRESENT. THE PROJECT CONSISTS OF 4 UNITS NOT GREATER THAN 5280 SQ. FT. TO BE CONSTRUCTED ON A COMBINATION OF TWO LOTS AS ALLOWED PURSUANT TO OUR PDO, § 1513.0304 (a)(2); § 1513.0304 (a)(3). THE PROJECT PROVIDES 7 1/2 FOOT INTERIOR SIDE YARD SETBACKS WHERE ONLY 6 FEET IS REQUIRED, THUS ADDING MORE OPEN SPACE BETWEEN ADJACENT STRUCTURES, § 1513.0304 (a)(3)(B)(iv). IN ADDITION THIS PROJECT PROVIDES 75% VEGETATION LANDSCAPING. IN THE ISLAND COURT 15 FOOT FRONT YARD SETBACK WHERE 50% IS REQUIRED, § 1513.0402 (a)(1). THE BOARD FOUND THIS PROJECT TO MEET THE RELEVANT REQUIREMENTS OF OUR PDO AND VOTED UNANIMOUSLY TO APPROVE THE PROJECT.

Attach Additional Pages if Necessary.

Please return to:
Project Management Division
City of San Diego
Development Services Department
1222 First Avenue, MS 302
San Diego, CA 92101

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Island Court Bayside - CDP/SDP		Project Number: 600832	Distribution Date: 3/27/2018
Project Scope/Location: MISSION BEACH - (Process 3) Coastal Development Permit and Site Development Permit for demolition of 2 existing dwellings and construction of new 3 story with roof deck, 4-unit multi-family residential structure measuring 5,096-square-feet, located at 821-827 Island Court. The 0.11 acre site is located in the MBPD-R-S zone in the Coastal Overlay zone (Appealable) within the Mission Beach Community Plan area. Council District 2.			
Applicant Name: Soule, Brandon		Applicant Phone Number: 760-547-3941	
Project Manager: Johnson, Denick	Phone Number: (619) 446-5477	Fax Number: (619) 321-3200	E-mail Address: DNJohnson@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 11	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: DENNIS LYNCH		TITLE: PLAN REVIEWER	
SIGNATURE: <i>Dennis Lynch</i>		DATE: JULY 29, 2018	
<i>Attach Additional Pages if Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Island Court Bayside **Project No. For City Use Only:** _____
Project Address: 821 - ⁸²³Island Court

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner


Name of Individual: Anil K Dutta, Dutta Solo 401k VINITA DUTTA Owner Tenant/Lessee Successor Agency
Street Address: 745 Island Court
City: San Diego State: CA Zip: 92109
Phone No.: 858-361-8258 Fax No.: _____ Email: adutta@san.rr.com
Signature: [Signature] Date: 3/6/2018
Additional pages Attached: Yes No

Applicant

Name of Individual: Brandon Soule, Bay Park Capital Owner Tenant/Lessee Successor Agency
Street Address: 5663 Balboa Avenue #495
City: San Diego State: CA Zip: 92111
Phone No.: 760-547-3941 Fax No.: _____ Email: BKSoule@gmail.com
Signature: _____ Date: 3/6/2018
Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: Yes No

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: Island Court Bayside **Project No. For City Use Only:** _____
Project Address: 825-827 ISLAND CT

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. FIN: 46-0634848
 Partnership Individual SOLO 401K

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Anil K. Dutta, Dutta Solo 401k ANIL K. DUTTA, TRUSTEE Owner Tenant/Lessee Successor Agency
 Street Address: 745 Island Court
 City: San Diego State: CA Zip: 92109
 Phone No.: 858-361-8258 Fax No.: _____ Email: adutta@san.rr.com
 Signature: [Signature] Date: 3/6/2018
 Additional pages Attached: Yes No

Applicant

Name of Individual: Brandon Soule, Bay Park Capital Owner Tenant/Lessee Successor Agency
 Street Address: 5663 Balboa Avenue #495
 City: San Diego State: CA Zip: 92111
 Phone No.: 760-547-3941 Fax No.: _____ Email: BKSoule@gmail.com
 Signature: _____ Date: 3/6/2018
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

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 Upon request, this information is available in alternative formats for persons with disabilities.



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TERMS OF USE

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Island Court Condominiums



BUILDING DATA

ADDRESS
821-827 ISLAND COURT
SAN DIEGO, CA 92109

BUILDING AREA:
1ST FLOOR UNIT A: 528 GSF
1ST FLOOR UNIT C: 464 GSF
1ST FLOOR TOTAL: 992 GSF

2ND FLOOR UNIT A: 578 GSF
2ND FLOOR UNIT B: 549 GSF
2ND FLOOR UNIT C: 578 GSF
2ND FLOOR UNIT D: 485 GSF
2ND FLOOR TOTAL: 2170 GSF

3RD FLOOR UNIT A: 340 GSF
3RD FLOOR UNIT B: 680 GSF
3RD FLOOR UNIT C: 378 GSF
3RD FLOOR UNIT D: 580 GSF
3RD FLOOR TOTAL: 1978 GSF

TOTAL BUILDING AREA: 5160 GSF

CONSTRUCTION TYPE: V UNPROTECTED

USE GROUP: I1IB

OCCUPANCY TYPE: RESIDENTIAL

ZONE: MBPD-R-5

LOT SIZE: 4,808.4 SQUARE FEET

NUMBER OF STORIES: 3

FLOOR AREA RATIO
MAX ALLOW: 1:1 (SHALL NOT EXCEED 5,280 SF)
PROPOSED F.A.R.: 1.06 (5160 GSF)

MAXIMUM BUILDING HEIGHT: 30'

REQUIRED SET BACKS:
FRONT: 15'
SIDE: 6'
REAR: 0'

(ADDITIONAL 45° ANGLE SETBACK AT 20' ABOVE GRADE)

ENCROACHMENTS: UP TO 18 INCHES FOR A VERTICAL OFFSET EXTENDING FULL HEIGHT OF BUILDING THAT IS A MAXIMUM OF 3 FEET IN DEPTH AND NOT LESS THAN 45 DEGREES FOR AT LEAST 50 PERCENT OF BUILDING.

PROJECT TEAM

OWNER/PERMIT HOLDER:
BAY PARK CAPITAL
5663 BALBOA AVENUE #495
SAN DIEGO CA 92111

GENERAL CONTRACTOR:
BRANDON SOULE
BAY PARK CAPITAL
4141 JUTLAND DRIVE #10
SAN DIEGO, CA 92117
760.547.3941

ARCHITECT:
ONE WORLD ARCHITECTURE
KEN PAREL-SEWELL, PRINCIPAL
9826 OGRAM DRIVE
LA MESA, CA 91941
619.567.7545

RESPONSIBLE FOR PREPARATION OF PLANS

STRUCTURAL ENGINEER:
CHRISTOPHER J. TURNER, PE
LOVELACE ENGINEERING
5930 CORNERSTONE COURT, SUITE 100
SAN DIEGO, CA 92121
858.535.9111 x308

RESPONSIBLE FOR STRUCTURAL CALCULATIONS

TITLE 24 COMPLIANCE
VIRANCHI SHAH
MPA ARCHITECTES, INC.
3578 30TH STREET
SAN DIEGO, CA 92121
714.888.4736

FIRE SPRINKLER NOTES

- THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED.
- TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF THE FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING/ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.

CODE COMPLIANCE

PROJECT DESIGNED TO COMPLY WITH THE FOLLOWING CODES:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

STORMWATER BMP NOTES

STORMWATER QUALITY NOTES
CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S)

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO, ORDER NO. R9-2007-001, NPDES, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND STORM WATER STANDARDS MANUAL.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
- ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY IF WHEN THE FIVE-DAY RAIN PROBABILITY EXCEEDS 40%.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED INTO PLACE ON SITE.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

LEGAL DESCRIPTION

LOTS H & I, BLOCK 97, MAP 1809
APN: 423-675-05-00

SCOPE OF WORK

PROPOSED WORK INCLUDES:
NEW CONSTRUCTION OF A FOUR-UNIT, THREE STORY CONDOMINIUM BUILDING. REQUIRED PERMITS INCLUDE BUILDING, PLUMBING, ELECTRICAL, MECHANICAL.

821-827 ISLAND COURT
DEVELOPMENT SUMMARY
THE EXISTING SITE IS TWO LEGAL PARCELS WITH TWO DUPLEX STRUCTURES. THE PROPOSED SITE WILL BE ONE LEGAL PARCEL WITH TWO ATTACHED STRUCTURES, EACH BUILDING 3 STORIES, EACH UNIT 3 BEDROOM AND 2 1/2 BATHROOMS. THE EXISTING BUILDINGS WILL BE DEMOLISHED TWO ALLOW FOR THE NEW CONSTRUCTION OF THE NEW BUILDINGS. PROJECT INCLUDES A TENTATIVE MAP.
IMPROVEMENT WILL INCLUDE NEW WATER METERS, NEW SEWER CONNECTIONS, FIRE SUPPRESSION SYSTEM IN EACH UNIT AND LANDSCAPING.
THE EXISTING BUILDINGS WERE BUILT IN 1945.
OVERLY ZONES: COASTAL OVERLAY, COASTAL HEIGHT LIMIT, AIRPORT INFLUENCE.

DEFERRED SUBMITTALS

- ROW - ENGINEERING PLAN
- FIRE ALARM
- FIRE SUPPRESSION SYSTEM

VICINITY MAP



Island Court
 Client Contact: Brandon Soule
 821-827 Island Court
 San Diego, CA 92109
 APN: 423-675-05-00

PRINT DATE: AUGUST 20, 2018
PROJECT PHASE: PERMIT SET

rev.	date.	remark
△	JUNE 12, 2018	Plan check revisions
△	AUG 20, 2018	Plan check revisions

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.

DATE



COVER SHEET

C0.1

17.28



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Island Court

Client Contact: Brandon Soule
821-827 Island Court
San Diego, CA 92109

APN: 423-675-05-00

PRINT DATE: JUNE 12, 2018

PROJECT PHASE: PERMIT SET

rev.	date.	remark
▲	JUNE 12, 2018	Plan check revisions

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.



NOTES & DRAWING STANDARDS

C0.2
17.28

ABBREVIATIONS

@ &	AT AND ABOVE	GFI. GYP/GYP BD	GROUND FAULT INTERRUPTER BD. GYPSUM WALLBOARD	SECT. S.W. SHT. SHLVS. SHWR. SIM. SD' SC. SPECS. SPLR. SF SQ. S.S. STD. STL SDR. STOR. STRUCT. SUSP.	SECTION SHEARWALL SHEET SHELVES SHOWER SIMILAR SMOKE DETECTOR SOLID CORE SPECIFICATIONS SPRINKLER SQUARE FOOT/FEET SQUARE STAINLESS STEEL STANDARD STEEL STORM DRAIN STORAGE STRUCTURE/STRUCTURAL SUSPENDED
ABV. A/C ACT. AD ADJ. AFF. AGG. ALUM. ALT. ANOD. APPD. APPROX. AVG.	AIR CONDITIONING ACOUSTICAL AREA DRAIN ADJACENT ABOVE FINISH FLOOR AGGREGATE ALUMINUM ALTERNATE ANODIZED APPROVED APPROXIMATELY AVERAGE	HDWR. HDWD. HTG. HVAC	HARDWARE HARDWOOD HEATING HEATING/VENTILATION/AIR CONDITIONING	TEL. TV TEMP. TPO T&G T/ T. TYP.	TELEPHONE TELEVISION TEMPORARY THERMOPLASTIC POLYOLEFIN TONGUE & GROOVED TOP TREAD TYPICAL
BD. BLDG. BLK. BLK.G. BLW B/ OR BOT	BOARD BUILDING BLOCK BLOCKING BELOW BOTTOM	INCL. INFO. INF. ID. INSUL. INT. JT. JB.	INCLUDED INFORMATION INFRARED INSIDE DIAMETER INSULATION INTERIOR JOINT JUNCTION BOX	UNO	UNLESS NOTED OTHERWISE
CAB./CABT. CBC CCR CEC CF CFC CLG. CJ. CLR. CL. CMC CMU CNTR. C.O. COL. CW. COMP. CONC. CONN. CONSTR. CONT. CONTR. COORD. CPC CT.	CABINET CALIFORNIA BUILDING CODE CALIFORNIA CODE OF REGULATIONS CALIFORNIA ELECTRIC CODE CUBIC FEET CALIFORNIA FIRE CODE CEILING CONTROL JOINT CLEAR CENTERLINE CALIFORNIA MECHANICAL CODE CONCRETE MASONRY UNIT COUNTER CASED OPENING COLUMN COLD WATER COMPOSITION CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR COORDINATE CALIFORNIA PLUMBING CODE CERAMIC TILE	LAM. LVL. LT./LTG. LF. MH. MFR. MATL. MAX. MECH. MTL. MWK. MIN. MIR. MISC. MOD. MTD. (N) NEC NIC. N/A NTS.	MAN HOLE MANUFACTURER MATERIAL MAXIMUM MECHANICAL METAL MILLWORK MINIMUM MIRROR MISCELLANEOUS MODIFY MOUNTED NEW NATIONAL ELECTRIC CODE NOT IN CONTRACT NOT APPLICABLE NOT TO SCALE	V.B. VENT. VNR. VERT. VIF. VCT W. WC. WH. WP. W/ W/O WD. YD.	VAPOR BARRIER VENTILATION VENEER VERTICAL VERIFY IN FIELD VINYL COMPOSITION TILE WASHER WATER CLOSET WATER HEATER WATERPROOF WITH WITHOUT WOOD YARD
DB. DEMO. DEPT. DIA. DIM. DIV. DW. DR. DO. DBL. DNL. DWG. EA. ELEC. ELEV. EMER. EQ. or = EQUIP. EXH. EK/EXIST. EJ. EXT. EIFS. FRP. FA. FACP. FF. FG. FIXT. FEC. FH. FIREPPG. FIN. FLR. FD. FLUOR. FC. FAU. GA. GALV. GC. GL. GLB.	DECIBEL DEMOLITION DETAIL DEPARTMENT DIAMETER DIMENSION DIVISION DISHWASHER DOOR DOOR OPENING DOUBLE DOWN DRAWING EACH ELECTRIC/ELECTRICAL ELEVATION EMERGENCY EQUAL EQUIPMENT EXHAUST EXH. EXISTING EXPANSION JOINT EXTERIOR EXTERIOR INSUL. FINISH SYSTEM FIBERGLASS REINFORCED PNL FIRE ALARM FIRE ALARM CONTROL PANEL FINISHED FLOOR FIXED GLASS FIXTURE FIRE EXTINGUISHER CABINET FIRE HYDRANT FIREPROOFING FINISH FLOOR FLOOR DRAIN FLUORESCENT FOOT CANDLE FORCED AIR UNIT GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GLUED LAMINATED BEAM	O.C. O.A. OPNG. OPP. O.D. O/ OFD. OH. PNT. PNL. PR. PART. PVMT. PERF. PLAM. PLB. PLYWD PVC. LB. PSF. PP. PREFAB. PREP. PT. QTY. QT. RAD. RTD. RECPT. REF. REFR. REINF. REQ'D REQ' MNTS. RET. REV. R. RD. RM. RO. SAN. SCHED.	ON CENTER OUTSIDE AIR OPENING OPPOSITE OUTSIDE DIAMETER OVER OVERFLOW DRAIN OVERHEAD PAINT PANEL PAIR PARTITION PAVEMENT PERFORATED PLASTIC LAMINATE PLUMBING PLYWOOD POLY VINYL CHLORIDE POUND POUNDS PER SQUARE FOOT POWER POLE PREFABRICATED PREPARE PRESSURE TREATED QUANTITY QUARRY TILE RADIUS RATED RECEPTACLE REFERENCE OR REFER REFRIGIERATOR REINFORCING REQUIRED REQUIREMENTS RETAINING REVISE, REVISION RISER ROOF DRAIN ROOM ROUGH OPENING SANITARY SCHEDULE		

SYMBOLS LEGEND

1 DRAWING TITLE

SCALE :: 1/4" = 1'-0"

ELEVATION

CENTER LINE

NORTH ARROW

EXISTING WALL TO REMAIN

EXISTING WALL TO BE DEMO'D

NEW EXTERIOR WALL OR UNIT SEPARATION WALL

NEW INTERIOR WALL

NEW EXTERIOR CLADDING

WINDOW

DOOR

KEYNOTE

WALL TAG

FIRE PROTECTION NOTES

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87.
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B-C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR ORTION THEREOF ON EACH FLOOR (CFC SECT.1002, UFC STANDARD 10-1, CCR TITLE 19 SECT.3.29)
- COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, FIRE EXTINGUISHER SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND OTHER FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT, SUCH AS STANDPIPES, SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE PREVENTION BUREAU BEFORE THIS EQUIPMENT IS INSTALLED.
- FIRE AND/OR SMOKE DAMPER ASSEMBLIES, INCLUDING SLEEVES, AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. [CFC 901.4.4 FHPS POLICY P-00-6]
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. [CAL CODE OF REGS. TITLE 19, § 08, 3.21 CFC 2501.5]

SMOKE DETECTOR NOTES

SMOKE ALARMS IN EXISTING AREAS NEED TO BE INTERCONNECTED AND HARD WIRED WHERE THE ALTERATIONS OR REPAIR DOES NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE. UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FIR HARD WIRING AND INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES (SECTION R314.3.1)

EXISTING SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD WILL BE REPLACED.

CARBON MONOXIDE ALARMS IN EXISTING AREAS NEED TO BE INTERCONNECTED AND HARD WIRED WHERE THE ALTERATIONS OR REPAIR DOES NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE. UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR HARD WIRING AND INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES (SECTION R315.2)

ATTIC VENTILATION OPENING SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/4" MAXIMUM OPENINGS.

2016 CALGREEN MANDATORY MEASURES

SITE DEVELOPMENT (4.106):
STORM WATER DRAINAGE MANAGEMENT PLAN SHALL BE IMPLEMENTED DURING CONSTRUCTION

INDOOR WATER USE (4.303):
MAXIMUM PLUMBING FIXTURE FLOW REQUIREMENTS SHALL BE AS FOLLOWS:
SHOWER HEADS: 2GPM
LAVATORY FAUCETS: 1.5 GPM
KITCHEN FAUCETS: 1.8 GPM
WATER CLOSETS: 1.28 GALLONS/FLUSH

WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI.

OUTDOOR WATER USE (4.304):
AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BASED.

ENHANCED DURABILITY AND REDUCED MAINTENANCE (4.406):
ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (4.408):
A MINIMUM OF 60% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED BY USING COUNTY CERTIFIED LAND FILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE APPROVED BY ENVIRONMENTAL SERVICES DIVISION.

BUILDING MAINTENANCE AND OPERATION (4.410):
AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE OCCUPANT OR OWNER.

FIREPLACES (4.503):
ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT VENT SEALED COMBUSTION TYPE.

POLLUTANT CONTROL (4.504):
1. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

2. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. PAINTS, STAINS AND OTHER COMPONENTS SHALL BE COMPLIANT WITH VOC LIMITS. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MANUFACTURER LIMITS FOR VOC AND OTHER TOXIC COMPOUND LIMITS.

3. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMIT DEFINED IN THE COLLABORATION FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.

4. PARTICLE BOARD, MEDIUM DENSITY FIBER BOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH THE LOW FORMALDEHYDE STANDARDS.

INTERIOR MOISTURE CONTROL (4.505):
VAPOR RETARDERS AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED IN ONE OF THREE METHODS SPECIFIED IN CGC SECTION 4.504.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION.

ENVIRONMENTAL COMFORT (4.507):
DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
1. SIZE DUCT SYSTEMS ACCORDING TO ACCA 29-D (MANUAL D) OR EQUIVALENT.
2. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S (MANUAL S) OR EQUIVALENT.

INDOOR AIR QUALITY AND EXHAUST (4.506):
1. UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS SHALL BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT (CGC 4.506.1)
2. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.

QUALIFICATIONS (702):
HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE INSTALLATION OF HVAC EQUIPMENT.

VERIFICATIONS (703):
1. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

2. PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR, ARCHITECT, OR ENGINEER RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPT. OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. (CGC 102.3)



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414 Baxter Ave., Ste 101 Louisville, KY 40204
T: 502.212.2056

San Diego Office:
9826 Ogram Dr., La Mesa, CA 91941
T: 619.567.7545

oneworldarchitecture.com

TERMS OF USE

- CONTRACTOR TO VERIFY ALL PROPOSED & EXISTING DIMENSIONS, QUANTITIES, & FIELD CONDITIONS AS REQUIRED FOR PROPER COMPLETION OF WORK. CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.
- UNDER NO CIRCUMSTANCES ARE DRAWINGS TO BE SCALED.
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- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR, THE PROJECT MANUAL (IF ANY), ALL GENERAL NOTES, SHEETS, DRAWINGS, ADDENDA, CHANGES ORDERS, AND OTHER APPROVED MODIFICATIONS TO THE CONTRACT.
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ZONING INFO

PROPOSED STRUCTURE
MULTIFAMILY RESIDENCE

ADDRESS
821-827 ISLAND COURT
SAN DIEGO, CA 92109

LEGAL DESCRIPTION
LOTS H & I, BLOCK 97, MAP 1809

APN: 423-675-05-00

BUILDING AREA:
1ST FLOOR UNIT A: 528 GSF
1ST FLOOR UNIT C: 464 GSF
1ST FLOOR TOTAL: 992 GSF

2ND FLOOR UNIT A: 578 GSF
2ND FLOOR UNIT B: 549 GSF
2ND FLOOR UNIT C: 578 GSF
2ND FLOOR UNIT D: 485 GSF
2ND FLOOR TOTAL: 2,190 GSF

3RD FLOOR UNIT A: 340 GSF
3RD FLOOR UNIT B: 680 GSF
3RD FLOOR UNIT C: 378 GSF
3RD FLOOR UNIT D: 580 GSF
3RD FLOOR TOTAL: 1,978 GSF

TOTAL BUILDING AREA: 5,160 GSF

CONSTRUCTION TYPE: V UNPROTECTED

USE GROUP: IIB

OCCUPANCY TYPE: RESIDENTIAL

ZONE: MBPD-R-S

LOT SIZE: 4,708.4 SF

BUILDING FOOTPRINT:
2,602 SF (INCLUDING PARKING AREA)

LOT COVERAGE:
MAX ALLOWABLE: 60%
PROPOSED: 55%

FLOOR AREA
MAX ALLOW: 1.1 (SHALL NOT EXCEED 5,280 SF)
PROPOSED F.A.R.: 1.06 (5,096 GSF)

MAXIMUM BUILDING HEIGHT: 30'
PROPOSED BUILDING HEIGHT: 30'

MAXIMUM BUILDING WIDTH: 25'
PROPOSED BUILDING WIDTH: 23'-5 1/2"
ON EACH SIDE OF VERTICAL OFFSET

REQUIRED SET BACKS:
FRONT: 15'
SIDE: 6'
ALLEY: 0'

ENCROACHMENTS: UP TO 18 INCHES FOR A VERTICAL OFFSET EXTENDING FULL HEIGHT OF BUILDING THAT IS A MAXIMUM OF 3 FEET IN DEPTH AND NOT LESS THAN 45 DEGREES FOR AT LEAST 50 PERCENT OF BUILDING.

PARKING REQUIREMENTS:
REQUIRED: 2 SPACES PER DWELLING UNIT
PROVIDED: 8 SPACES TOTAL (2 PER DWELLING UNIT)

PARKING NOTE:
ALL AUTOMOBILE PARKING SPACES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE S.D.C. ALL ON-SITE PARKING STALLS AND AISLE WIDTHS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE CITY'S LAND DEVELOPMENT CODES AND SHALL NOT BE CONVERTED AND/OR UTILIZED FOR ANY OTHER PURPOSE, UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE APPROPRIATE CITY DECISION MAKER IN ACCORDANCE WITH THE SDMC

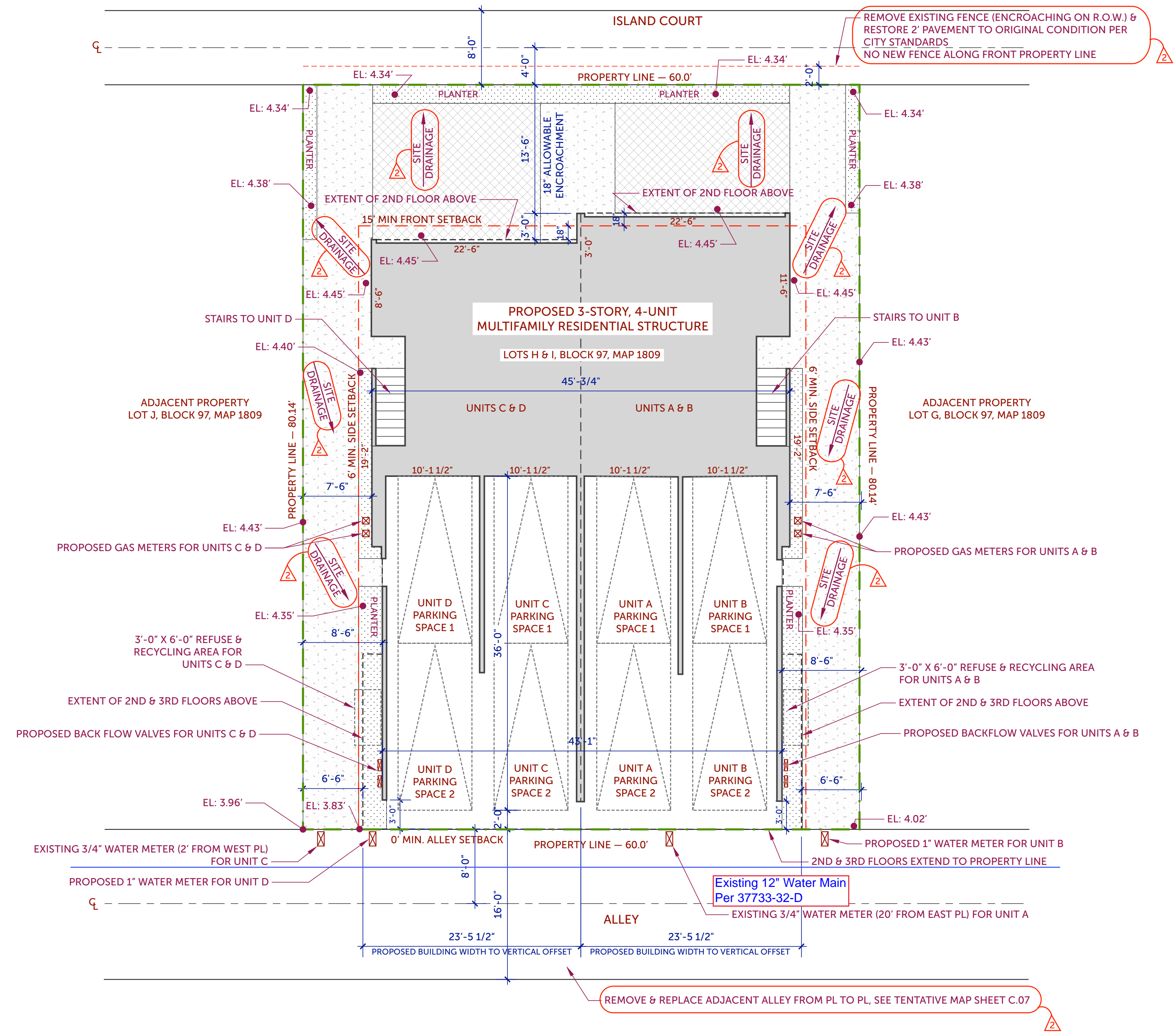
BUILDING ADDRESS NUMBERS:
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0209
PROVIDE ALL ADDRESS NUMBER ON FRONT & ALLEY SIDE OF BUILDING

PLAN LEGEND

- PROPERTY LINE
- REQ. SETBACK LINE
- BUILDING FOOTPRINT
- IMPERVIOUS / PAVED SURFACE (CONCRETE, ASPHALT, ETC)
- PLANTERS W/ DROUGHT TOLERANT SUCCULENTS
- GRASSCRETE

NOTE: SEE C0.8 LANDSCAPE PLAN FOR INFO & AREA CALCULATIONS OF PERVIOUS & IMPERVIOUS SURFACES.

GEOLOGY REQUIREMENTS:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS (EITHER GRADING OR BUILDING PERMITS), THE OWNER/PERMITTEE SHALL SUBMIT A GEOTECHNICAL INVESTIGATION REPORT OR UPDATE LETTER THAT SPECIFICALLY ADDRESSED THE PROPOSED CONSTRUCTION PLANS AND INCLUDES A SITE SPECIFIC LIQUEFACTION ANALYSIS. THE GEOTECHNICAL INVESTIGATION SHALL BE REVIEWED FOR ADEQUACY BY THE GEOLOGY SECTION OF DEVELOPMENT SERVICES PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT.



1 PROPOSED SITE PLAN
SCALE :: 1/8" = 1'-0"

Island Court
Client Contact: Brandon Soule
821-827 Island Court
San Diego, CA 92109
APN: 423-675-05-00

PRINT DATE: AUGUST 20, 2018
PROJECT PHASE: PERMIT SET

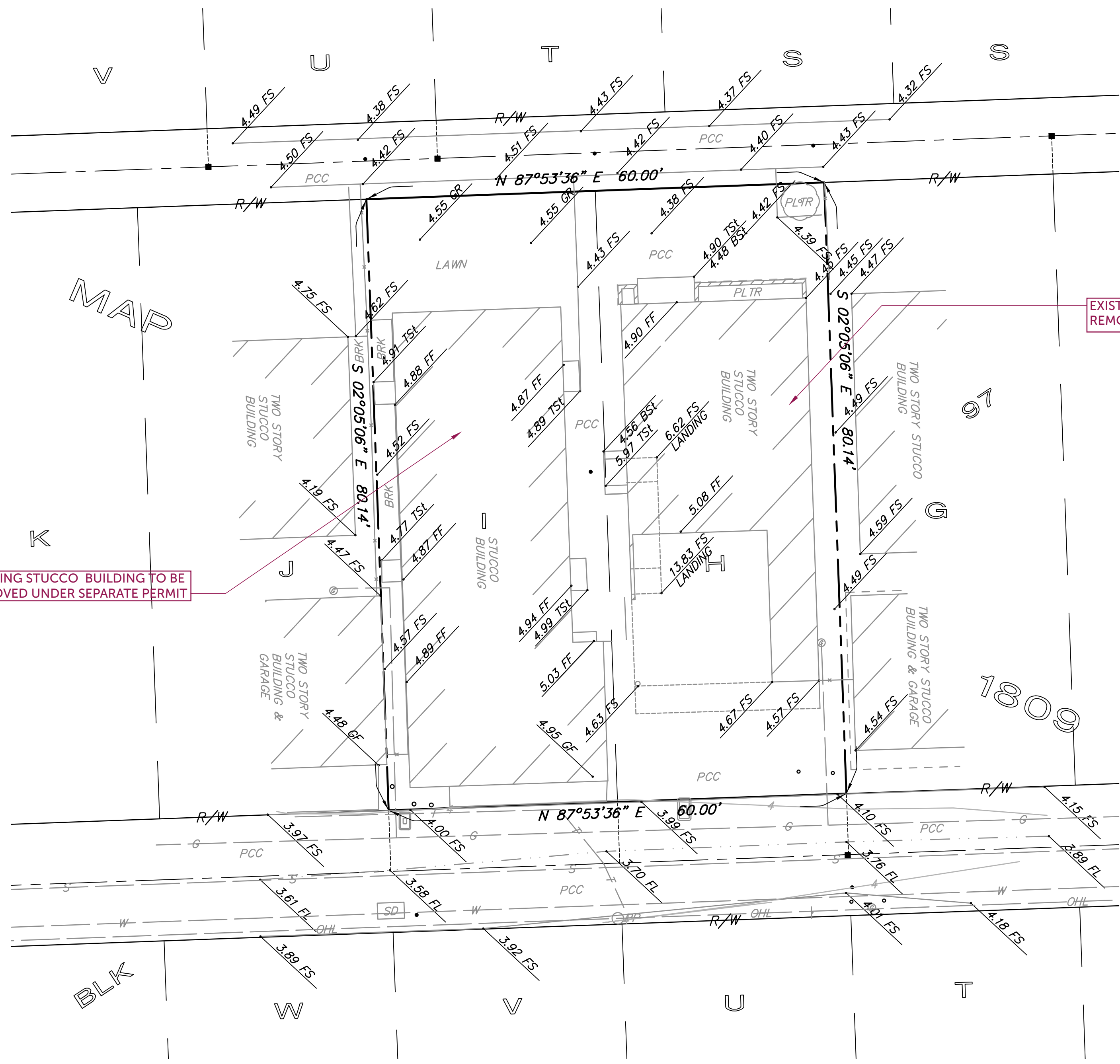
rev.	date	remark
△	JUNE 12, 2018	Plan check revisions
△	AUG 20, 2018	Plan check revisions

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.



PLOT PLAN
SITE PLAN
C0.3
17.28

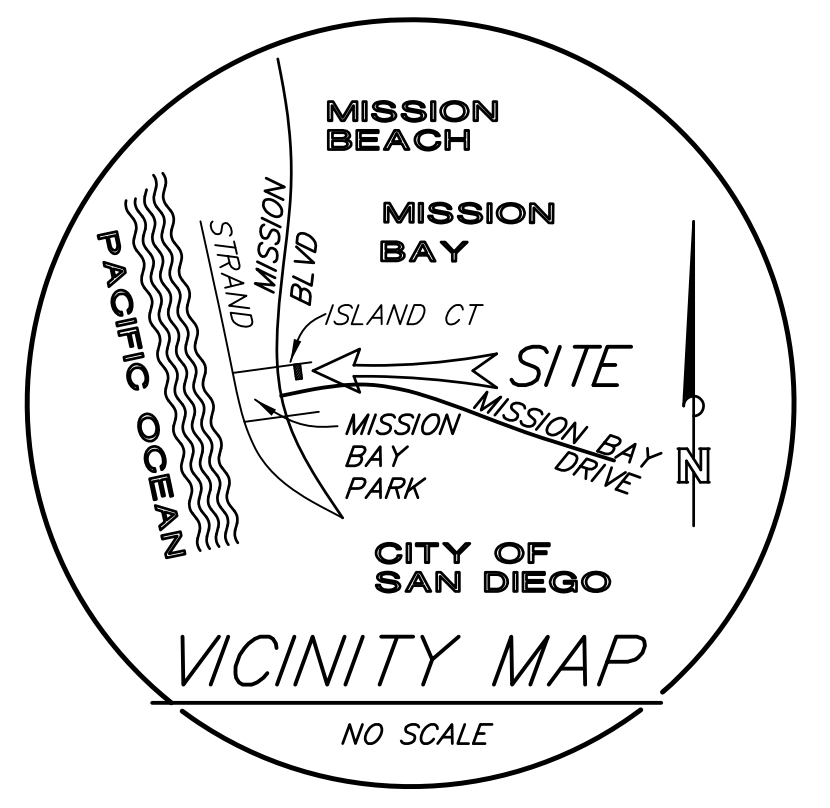


LEGEND

RECORD DESCRIPTION	N 78°48'15" E 48.25'
PROPERTY BOUNDARY	---
RIGHT OF WAY	-R/W-
EASEMENT	---
CENTER LINE STREET	---
TELEPHONE CABLE	-OHL-
ELECTRICAL	-G-
GAS MAIN	-W-
WATER MAIN (SIZE AS SHOWN)	-S-
SEWER (SIZE AS SHOWN)	-TV-
CABLE TV	-TV-
RETAINING WALL / WALL	▨
EXISTING CONTOUR	50

LEGAL

LOTS H & I, BLOCK 97, MAP 1809



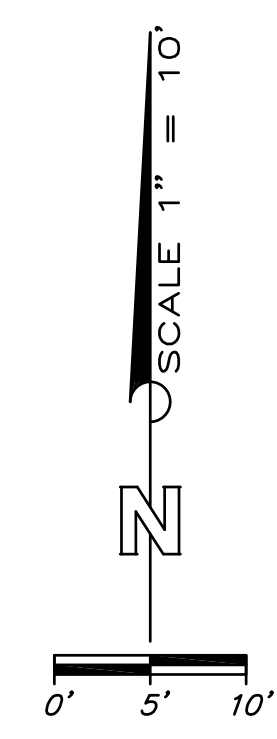
NOTE

THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGN OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OR EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY AND REPRESENTS ONLY AVAILABLE INFORMATION RELATING TO THE BOUNDARY OF THE PARCEL AND/OR EASEMENTS LINES WHICH ARE INCLUDED TO SHOW THE APPROXIMATE RELATIVE LOCATION OF THESE LINES TO THE TOPOGRAPHIC FEATURES. THE LOCATION OF THE PARCEL AND THE BEARING AND DISTANCES SHOWN ARE BASED ON FOUND MONUMENTS, CORNER RECORD 2066 AND MAP 1809 AND MAY VARY FROM THE DEED OR MAP DESCRIPTION. THE ACTUAL LOCATION OF THE BOUNDARY MUST BE DETERMINED BY A BOUNDARY SURVEY. NO MONUMENTS WERE FOUND EXCEPT AS SHOWN AND NO MONUMENTS WERE SET. BECAUSE OF THE APPARENT ENCROACHMENTS AND LACK OF SUFFICIENT LOT MONUMENTATION, IT IS RECOMMENDED THAT THE BOUNDARY BE SURVEYED TO DETERMINE THE LOCATION OF PARCEL BOUNDARIES AND/OR EASEMENTS.

NO TITLE REPORT WAS AVAILABLE FOR THE PARCEL AND NO EASEMENTS ARE SHOWN OTHER THAN THOSE ON RECORDED SUBDIVISION MAPS.

LOCATION OF UTILITIES SHOWN ON THIS PLAN IS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES AND/OR FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE EXACT LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION. PLEASE CONTACT THESE COMPANIES DIRECTLY FOR MARK-OUT AND LOCATIONS PRIOR TO EXCAVATION.



EXISTING STUCCO BUILDING TO BE REMOVED UNDER SEPARATE PERMIT

EXISTING STUCCO BUILDING TO BE REMOVED UNDER SEPARATE PERMIT

RINEHART ENGINEERING
 6431 CLEEVE WAY SAN DIEGO, CA 92117
 FDR@RINEHART-ENGINEERING.COM
 (658) 268-8401

**TOPOGRAPHIC MAP OF
 LOTS H & I, BLOCK 97
 OF MAP 1809**
 821-823 & 825-827 ISLAND COURT

BENCH MARK	
DESCRIPTION:	BRASS PLAQ. MONUMENT WELL
LOCATION:	ELY 4' OS LINE JAMICA CT
RECORD FROM:	CITY OF SAN DIEGO VERTICAL CONTROL
ELEVATION:	4.885 DATUM: SAN DIEGO MEAN SEA LEVEL



DATE OF SURVEY:	SEPT 1, 2017
SURVEYOR:	F. DAN RINEHART
DRAWN BY:	FDR
SCALE:	1"=10'
JOB NUMBER:	17212TOA.DWG
SHEET:	1 OF 1



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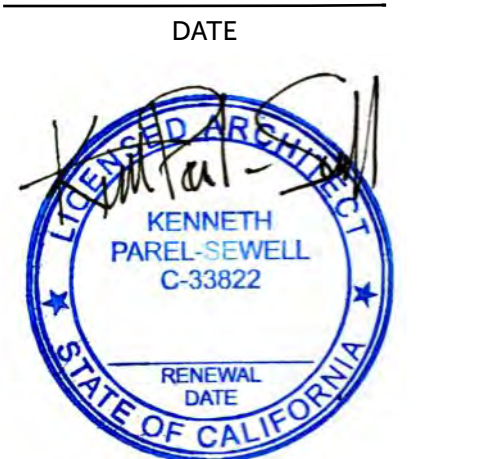
Island Court
Client Contact: Brandon Soule
821-827 Island Court
San Diego, CA 92109
APN: 423-675-05-00

PRINT DATE: JUNE 12, 2018
PROJECT PHASE: PERMIT SET

rev.	date.	remark
▲	JUNE 12, 2018	Plan check revisions

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.



STORMWATER
BMP FORMS
C0.5
1728

<p>City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000</p>	<p>Storm Water Requirements Applicability Checklist</p>	<p>FORM DS-560 October 2016</p>
Project Address: _____		Project Number (for City Use Only): _____
<p>SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the <i>Storm Water Standards Manual</i>. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.</p> <p>For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.</p> <p>PART A: Determine Construction Phase Storm Water Requirements.</p> <p>1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.) <input type="checkbox"/> Yes; SWPPP required, skip questions 2-4 <input checked="" type="checkbox"/> No; next question</p> <p>2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and contact with storm water runoff? <input checked="" type="checkbox"/> Yes; WPCP required, skip 3-4 <input type="checkbox"/> No; next question</p> <p>3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement) <input type="checkbox"/> Yes; WPCP required, skip 4 <input type="checkbox"/> No; next question</p> <p>4. Does the project only include the following Permit types listed below? • Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit. • Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service. • Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot hole, curb and gutter replacement, and retaining wall encroachments. <input type="checkbox"/> Yes; no document required</p> <p>Check one of the boxes below, and continue to PART B:</p> <p><input type="checkbox"/> If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B</p> <p><input checked="" type="checkbox"/> If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.</p> <p><input type="checkbox"/> If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.</p> <p><small>1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (10-16)</small></p>		

City of San Diego • Development Services • Storm Water Requirements Applicability Checklist Page 3 of 4	
<p>PART D: PDP Exempt Requirements. PDP Exempt projects are required to implement site design and source control BMPs. If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt." If "no" was checked for all questions in Part D, continue to Part E.</p> <p>1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that: • Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or; • Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or; • Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? <input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; next question</p> <p>2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual? <input type="checkbox"/> Yes; PDP exempt requirements apply <input checked="" type="checkbox"/> No; project not exempt.</p> <p>PART E: Determine if Project is a Priority Development Project (PDP). Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).</p> <p>If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project". If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".</p> <p>1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist	
<p>PART B: Determine Construction Site Priority This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.</p> <p>Complete PART B and continued to Section 2</p> <p>1. <input type="checkbox"/> ASBS a. Projects located in the ASBS watershed.</p> <p>2. <input type="checkbox"/> High Priority a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed. b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.</p> <p>3. <input type="checkbox"/> Medium Priority a. Projects 1 acre or more but not subject to an ASBS or high priority designation. b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.</p> <p>4. <input checked="" type="checkbox"/> Low Priority a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.</p> <p>SECTION 2. Permanent Storm Water BMP Requirements. Additional information for determining the requirements is found in the <i>Storm Water Standards Manual</i>.</p> <p>PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the <i>Storm Water Standards Manual</i> are not subject to Permanent Storm Water BMPs.</p> <p>If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements". If "no" is checked for all of the numbers in Part C continue to Part D.</p> <p>1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist	
<p>7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>9. New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>PART F: Select the appropriate category based on the outcomes of PART C through PART E.</p> <p>1. The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS. <input type="checkbox"/></p> <p>2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the <i>Storm Water Standards Manual</i> for guidance. <input checked="" type="checkbox"/></p> <p>3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the <i>Storm Water Standards Manual</i> for guidance. <input type="checkbox"/></p> <p>4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the <i>Storm Water Standards Manual</i> for guidance on determining if project requires a hydromodification plan management <input type="checkbox"/></p> <p>Brandon Soule Developer Name of Owner or Agent (Please Print) Title Signature Date 05/29/2018</p>	



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Source Control BMP Checklist for Standard Projects Form I-4A. All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.

The City of San Diego | Storm Water Standards Form I-4A | January 2018 Edition



Source Control BMP Checklist for PDPs Form I-4B. All development projects must implement source control BMPs where applicable and feasible. See Chapter 4 and Appendix E of the BMP Design Manual (Part 1 of the Storm Water Standards) for information to implement source control BMPs shown in this checklist.

The City of San Diego | Storm Water Standards Form I-4B | January 2018 Edition



Form I-4B Page 2 of 2. Source Control Requirement. 4.2.6 Additional BMPs Based on Potential Sources of Runoff Pollutants (must answer for each source listed below).

The City of San Diego | Storm Water Standards Form I-4B | January 2018 Edition



Site Design BMP Checklist for Standard Projects Form I-5A. All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.

The City of San Diego | Storm Water Standards Form I-5A | January 2018 Edition



Site Design BMP Checklist for PDPs Form I-5B. All development projects must implement site design BMPs where applicable and feasible. See Chapter 4 and Appendix E of the BMP Design Manual (Part 1 of Storm Water Standards) for information to implement site design BMPs shown in this checklist.

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Form I-5B Page 2 of 4. Site Design Requirement. 4.3.3 Minimize Impervious Area. Discussion / justification if 4.3.3 not implemented: Project to maximize previous surfaces and area.

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Form I-5B Page 3 of 4. Site Design Requirement. 4.3.6 Runoff Collection. Discussion / justification if 4.3.6 not implemented: Roof deck run off to planters.

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Form I-5B Page 4 of 4. Insert Site Map with all site design BMPs identified:

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Island Court

Client Contact: Brandon Soule 821-827 Island Court San Diego, CA 92109

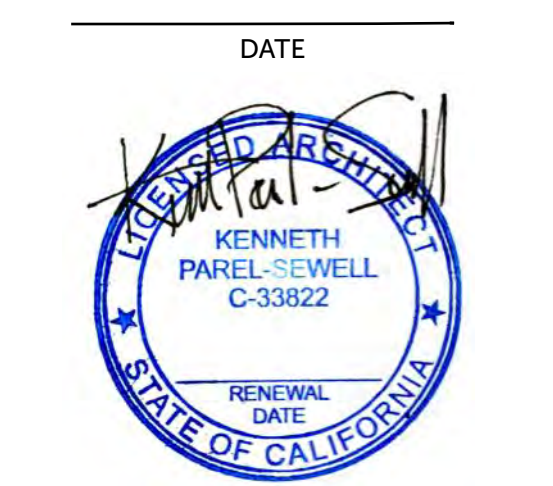
APN: 423-675-05-00

PRINT DATE: JUNE 12, 2018 PROJECT PHASE: PERMIT SET

Table with 3 columns: rev., date, remark. Row 1: JUNE 12, 2018, Plan check revisions

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.



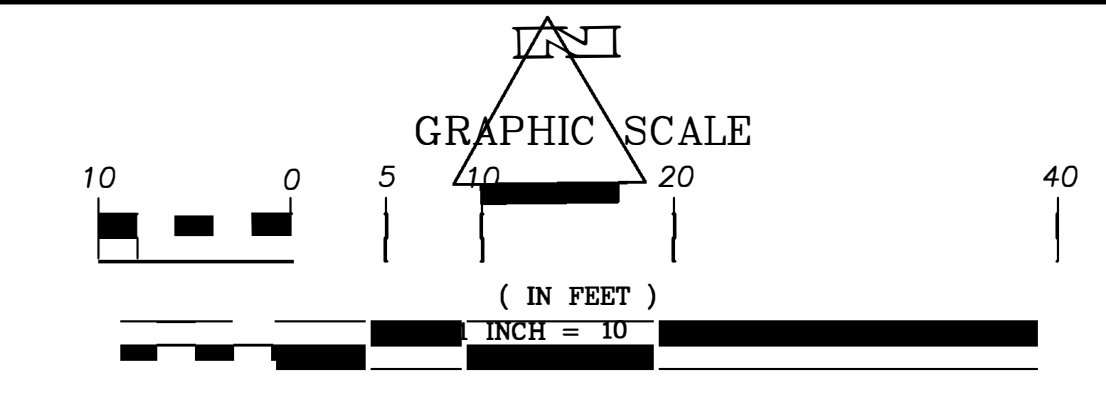
IMP CHECKLIST FORMS C0.6 17.28

821, 823, 825, & 827 ISLAND COURT

TENTATIVE MAP No. 2164319 Project No. 600832

CDP No. 2124341

ZONING INFORMATION
 EXISTING AND PROPOSED ZONE: MBPD-R-S
 COMMUNITY PLAN NAME: MISSION BEACH
 OVERLAY ZONES: RESIDENTIAL TANDEM PARKING
 TRANSIT PRIORITY AREA OVERLAY ZONE
 PARKING IMPACT OVERLAY ZONE
 COASTAL OVERLAY ZONE



CITY OF SAN DIEGO
DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:**
TENTATIVE MAP TO CREATE 4 RESIDENTIAL CONDOMINIUM UNITS
- STREET ADDRESS:** 821, 823, 825, & 827 ISLAND COURT
 N S E W SIDE
 BETWEEN MISSION BOULEVARD AND BAYSIDE LANE
- SITE AREA:**
 TOTAL SITE AREA: (4,817.14 SF) (0.111 ACRE)
 NET SITE AREA: (4,817.14 SF) (0.111 ACRE)
- DENSITY: (RESIDENTIAL)**
 MAXIMUM NO. DWELLING UNITS ALLOWED PER ZONE: 4
 NUMBER OF EXISTING UNITS TO REMAIN ON SITE: 0
 NUMBER OF PROPOSED DWELLING UNITS ON SITE: 4
 TOTAL NUMBER OF UNITS PROVIDED ON THE SITE: 4
- YARD/SETBACK**
 FRONT STREET FRONTAGE: 15'
 SIDE: 5'
 REAR: 0'
- PARKING:**
 PARKING CRITERIA:
 RESIDENTIAL COMMERCIAL INDUSTRIAL
 MIXED USE OTHER

TYPE OF UNIT	NUMBER OF TYPE	PARKING REQUIRED PER UNIT	TOTAL PER TYPE
3 BR UNIT	3	2.0	8.0
2 BR UNIT	1	2.0	8.0
TOTAL REQUIRED BY ZONE			8.0
TOTAL PROVIDED ON-SITE			8.0

UTILITY TABLE:

UTILITY	OVERHEAD	UNDERGROUND
CATV	X	
ELECTRIC	X	
GAS		X
TELEPHONE	X	

- DEVELOPMENT NOTES:**
- THIS SUBDIVISION IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE NUMBER OF CONDOMINIUM DWELLING UNITS IS 4.
 - NUMBER OF EXISTING LOTS = 2
NUMBER OF PROPOSED LOTS = 1
 - ADJACENT ALLEY HAS NO STORM DRAINS, NEAREST IS ON MISSION BOULEVARD.

MONUMENTATION & MAPPING
 A PARCEL MAP WILL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS WILL BE SET.

PERVIOUS/IMPERVIOUS AREAS
 EXISTING IMPERVIOUS AREA: 1,564 SQUARE FEET
 NEW IMPERVIOUS AREA: 1,120 SQUARE FEET
 EXISTING PERVIOUS AREA: 412 SQUARE FEET
 NEW PERVIOUS AREA: 829 SQUARE FEET

EXISTING & PROPOSED EASEMENTS:
 THERE ARE NO EXISTING EASEMENTS ON SITE
 THERE ARE NO PROPOSED EASEMENTS ON SITE

OWNER/DEVELOPER:
 DUTTA SOLO 401K QUALIFIED RETIREMENT PLAN
 ANIL K. DUTTA AND VINITA DUTTA
 4141 JUTLAND DRIVE, SUITE 110
 SAN DIEGO, CA 92117

ANIL K. DUTTA
 VINITA DUTTA

- LEGEND:**
- PROPERTY LINE/TM BOUNDARY
 - DIRECTION OF DRAINAGE
 - EXISTING WATER METER
 - FIRE HYDRANT
 - EXISTING LIGHT POLE
 - STREET LIGHT VAULT
 - SIGN
 - UTILITY POLE
 - PARKING SPACE
 - TOP OF CURB
 - FLOW LINE
 - SEWER CLEAN OUT
 - FINISH FLOOR
 - EXISTING SEWER LATERAL
 - EXISTING WATER SERVICE
 - INDICATES TRASH STORAGE AREA
 - INDICATES RECYCLING STORAGE AREA
 - INDICATES IMPERVIOUS/CONCRETE
 - INDICATES PLANTERS/DROUGHT TOLERANT
 - INDICATES GRASS

PROFESSIONAL LAND SURVEYOR:
 SAN DIEGO LAND SURVEYING & ENGINEERING, INC.
 9665 CHESAPEAKE DRIVE, SUITE 445
 SAN DIEGO, CALIFORNIA 92123 (858) 565-8362
 PROJECT NO. 423-675-05 Island Ct 821-827 TM.dwg

ROBERT J. BATEMAN, P.L.S. 7046
 09/19/2018 DATE

Prepared By:
 SAN DIEGO LAND SURVEYING AND ENGINEERING, INC.
 9665 CHESAPEAKE DRIVE, SUITE 445
 SAN DIEGO, CA 92123-1354
 PHONE: 858-565-8362
 FAX: 858-565-4354 EMAIL: rbateman@sdlse.com

Consultants:
 Basis of Bearings:
 THE BASIS OF BEARINGS FOR THIS MAP IS THE NAD 83 ZONE 6, GRID BEARING BETWEEN POINT 190 AND POINT 191 PER RECORD OF SURVEY 14492. I.E. N 67°44'13" W

Benchmark:
 MONUMENT ON EASTERLY 4' OFFSET LINE JAMAICA COURT AND MISSION BOULEVARD ELEVATION = 4.885 M.S.L.

Project Legal Description:
 LOT "H" & "I" IN BLOCK 97 OF MISSION BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 1651, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, DECEMBER 14, 1914.

Project Soil Condition: Existing developed site.

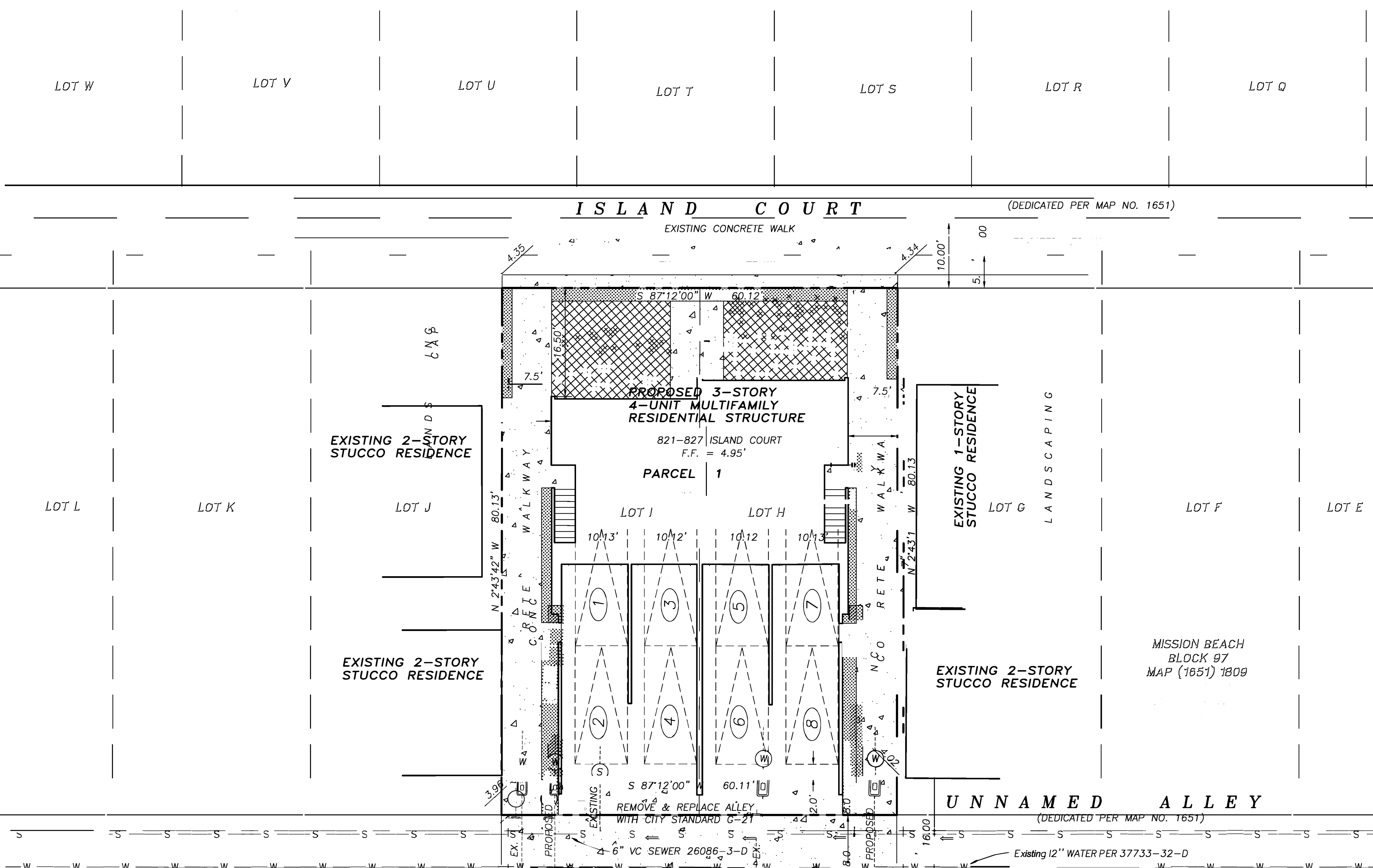
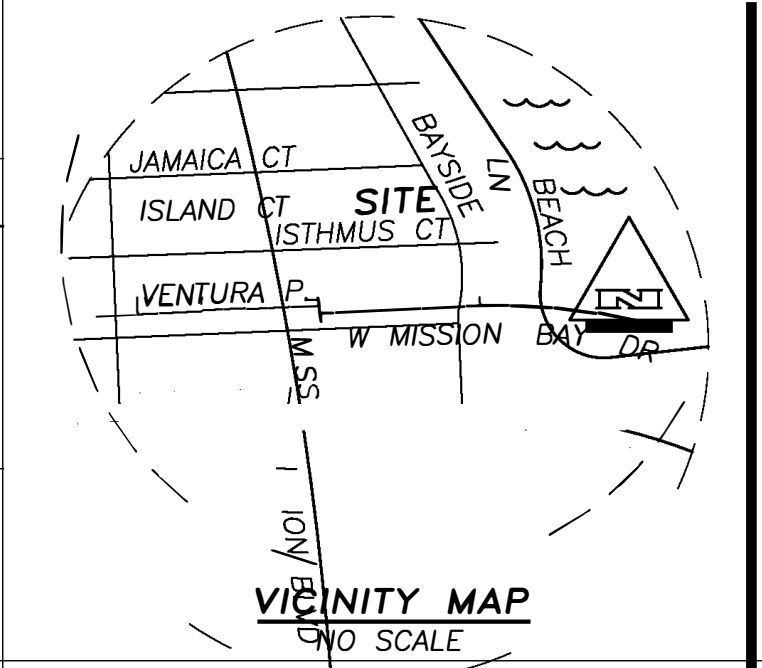
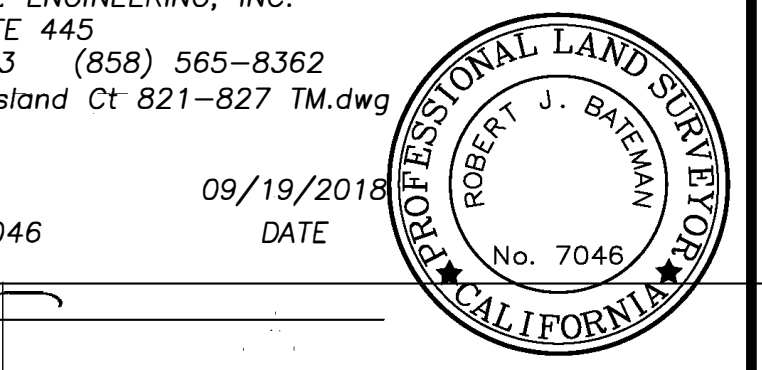
Source of Topography: Field survey by San Diego Land Surveying on 05-11-2018

Project Permits Required:
 TENTATIVE MAP
 COASTAL DEVELOPMENT PERMIT

Project Data:
 Number of Stories: 3
 Proposed use: Residential
 Zone Designation: MBPD-R-S
 Community Planning Group: Mission Beach
 Year of Construction: New

LAMBERT COORDINATES:
 NAD 27 = 220-1691 NAD 83 = 1860-6251
 A.P.N. 423-675-05 & 06

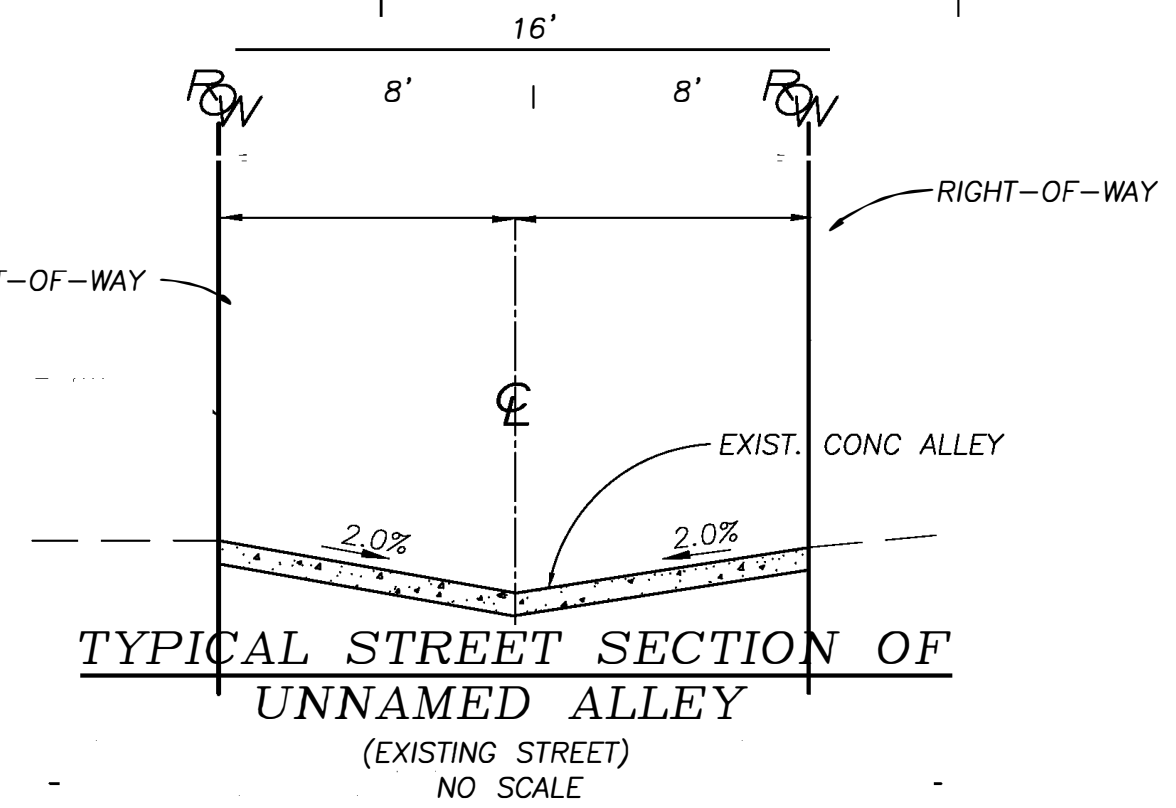
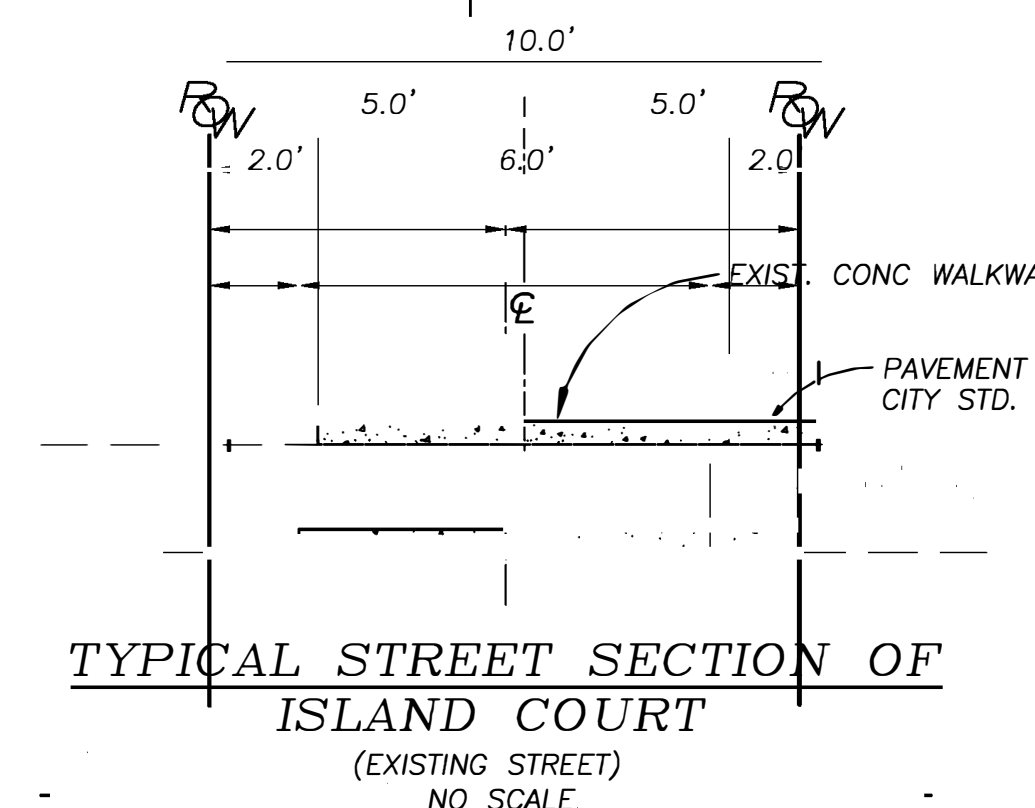
Project Name: 821, 823, 825, & 827 ISLAND COURT
Project Address: 821, 823, 825, & 827 Island Ct San Diego, CA 92109
Project Owner: Anil & Vinita Dutta 4141 Jutland Drive, #110 San Diego, CA 92117



EARTHWORK QUANTITIES:
 DISTURBED AREA 0.1102 [ACRES]
 GRADED AREA 0.1102 [ACRES]
 CUT QUANTITIES 44 [CYD] MAX. CUT DEPTH 1' & SLOPE RATIO N/A
 FILL QUANTITIES 6 [CYD] MAX. FILL DEPTH 1' & SLOPE RATIO N/A
 EXPORT 38 [CYD]

THE QUANTITIES ABOVE ARE THE ENGINEER'S ESTIMATE AND FOR BONDING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF WORK BEFORE STARTING WORK.

THIS PROJECT PROPOSES TO EXPORT 38 CUBIC YARDS OF MATERIAL FROM THE PROJECT SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED INTO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.





Louisville Office:
414 Baxter Ave., Ste 101 Louisville, KY 40204
T: 502.212.2056

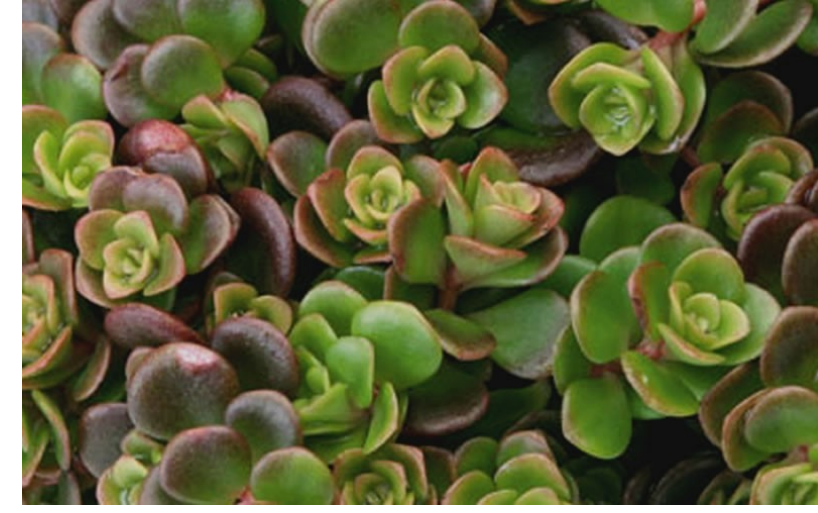
San Diego Office:
9826 Ogram Dr., La Mesa, CA 91941
T: 619.567.7545

oneworldarchitecture.com

TERMS OF USE

- CONTRACTOR TO VERIFY ALL PROPOSED & EXISTING DIMENSIONS, QUANTITIES, & FIELD CONDITIONS AS REQUIRED FOR PROPER COMPLETION OF WORK. CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.
- UNDER NO CIRCUMSTANCES ARE DRAWINGS TO BE SCALED.
- ALL DESIGNS © COPYRIGHT 2018 KEN PAREL-SEWELL ARCHITECTS INC. (DBA ONE WORLD ARCHITECTURE). ALL RIGHTS RESERVED.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR, THE PROJECT MANUAL (IF ANY), ALL GENERAL NOTES, SHEETS, DRAWINGS, ADDENDA, CHANGES ORDERS, AND OTHER APPROVED MODIFICATIONS TO THE CONTRACT.
- CONTRACTOR SHALL MAKE AVAILABLE TO EACH SUBCONTRACTOR, PRIOR TO SIGNING SUBCONTRACTS, COMPLETE COPIES OF THE CONTRACT DOCUMENTS AND KEEP ALL CONTRACTORS UP TO DATE WITH ALL REVISIONS AND CHANGES TO THE CONTRACT DOCUMENTS THROUGHOUT THE PROJECT.
- SUBCONTRACTORS ARE BOUND TO GENERAL NOTES AND CONDITIONS AND PROJECT MANUAL TERMS THAT MAY BE SHOWN ON PAGES OTHER THAN WHERE THEIR WORK IS INDICATED.
- ARCHITECTURAL DRAWINGS ARE INTENDED TO SHOW CONFIGURATION, QUANTITY, AND GENERAL TYPES OF CONSTRUCTION SYSTEMS. SPECIFIC PRODUCTS ARE TO BE SELECTED BY CONTRACTOR AND OWNER. NOTIFY ARCHITECT OF ANY CONFLICT BETWEEN SYSTEMS OR PRODUCTS SELECTED AND DESIGN DOCUMENTS. SCOPE INCLUDES ARCHITECTURAL WORK ONLY.

Succulent Examples



LANDSCAPE NOTES

- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
IRRIGATION SYSTEM PROPOSED: DRIP SYSTEM.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING THE DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREA WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SMDCF 142.0411

LANDSCAPE AREA CALCS

FRONT YARD:
TOTAL NON-BUILDING AREA - 920 SF
TOTAL LANDSCAPE AREA - 629 SF (75%)
PLANTERS - 136 SF
GRASS - 493 SF

TOTAL HARDSCAPE AREA - 292 SF (25%)

ALL PLANTER BOXES TO BE ON GRADE AND LEVEL WITH ADJACENT SURFACE.

PLANTS TO BE A MIX OF DROUGHT TOLERANT SUCCULENTS 1-5 GALLON

GROUND COVER IN PLANTER BOXES TO BE A MIX OF 1-2" BEACH ROCK

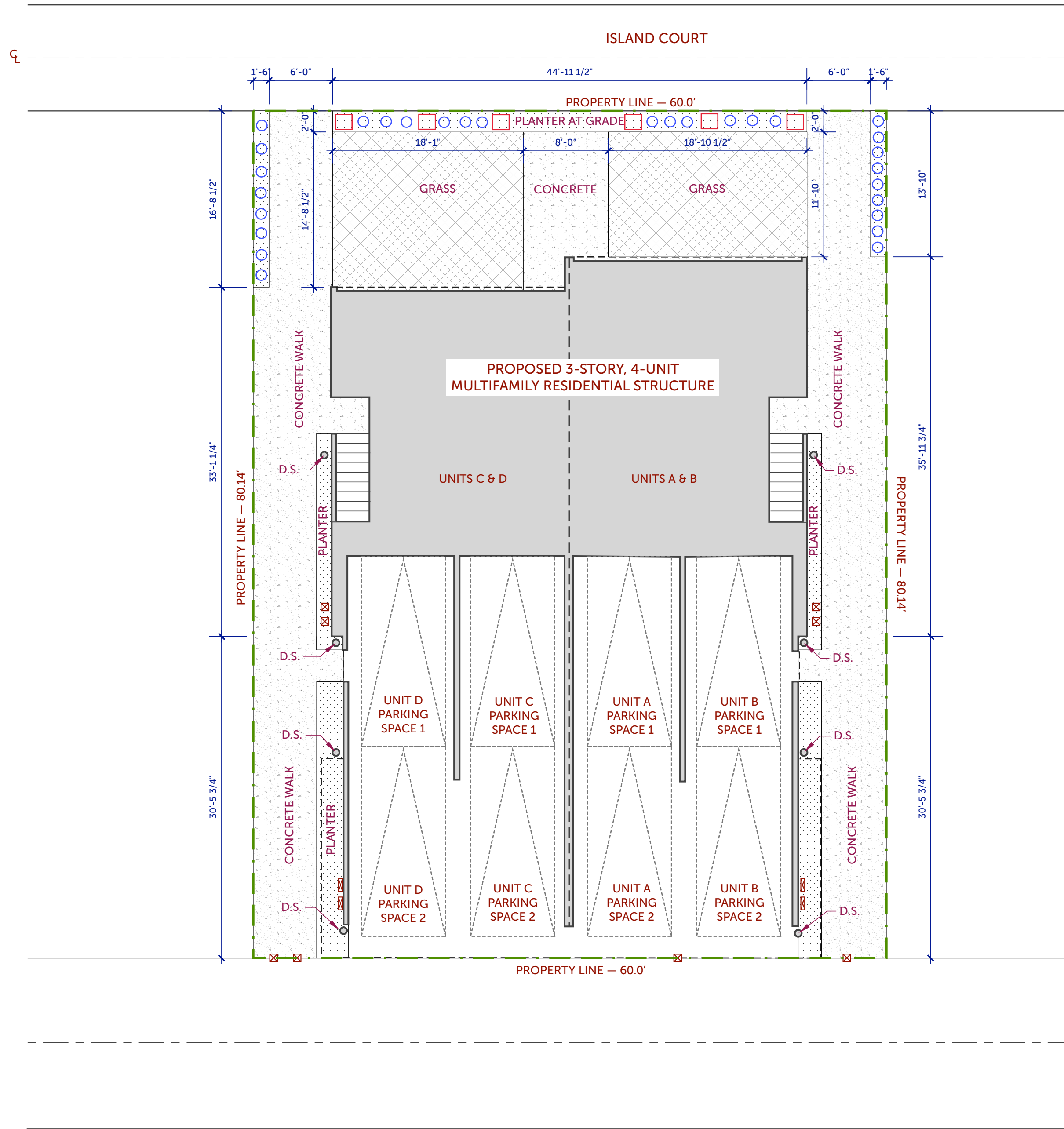
PLANTERS TO INCLUDE THE FOLLOWING SUCCULENT TYPES:
• ECHEVERIA
• SEDUM (STONECROP)
• AEONIUM

• DUDLEYA
• ALOE
• COTYLEDON
• CRASSULA
• SEMPERVIVUM
• GRAPTOPETALUM
• KALANCHOE
• SENECIO

- 5 Gallon Succulent Varietal
- 1 Gallon Succulent Varietal

PLAN LEGEND

- PROPERTY LINE
- REQ. SETBACK LINE
- BUILDING FOOTPRINT
- IMPERVIOUS / PAVED SURFACE (CONCRETE, ASPHALT, ETC)
- PLANTERS W/ DROUGHT TOLERANT SUCCULENTS
- GRASS



Island Court
Client Contact: Brandon Soule
821-827 Island Court
San Diego, CA 92109
APN: 423-675-05-00

PRINT DATE: JUNE 12, 2018
PROJECT PHASE: PERMIT SET

rev.	date.	remark
△	JUNE 12, 2018	Plan check revisions

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LANDSCAPE PLAN
C0.8
17.28



Louisville Office:
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T: 502.212.2056

San Diego Office:
9826 Ogram Dr., La Mesa, CA 91941
T: 619.567.7545

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TERMS OF USE

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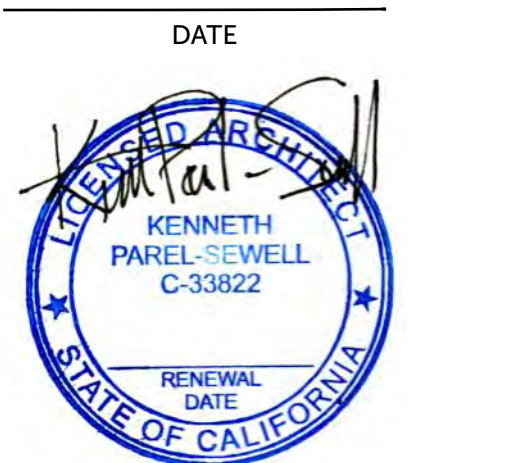
Island Court
Client Contact: Brandon Soutle
821-827 Island Court
San Diego, CA 92109
APN: 423-675-05-00

PRINT DATE: JUNE 12, 2018
PROJECT PHASE: PERMIT SET

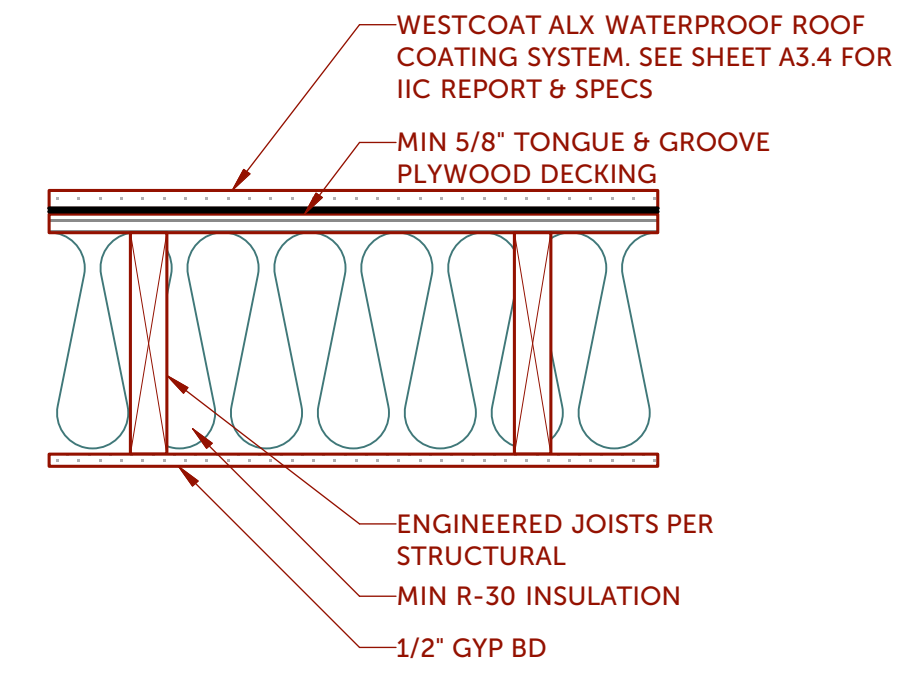
rev.	date	remark
△	JUNE 12, 2018	Plan check revisions

CERTIFICATION

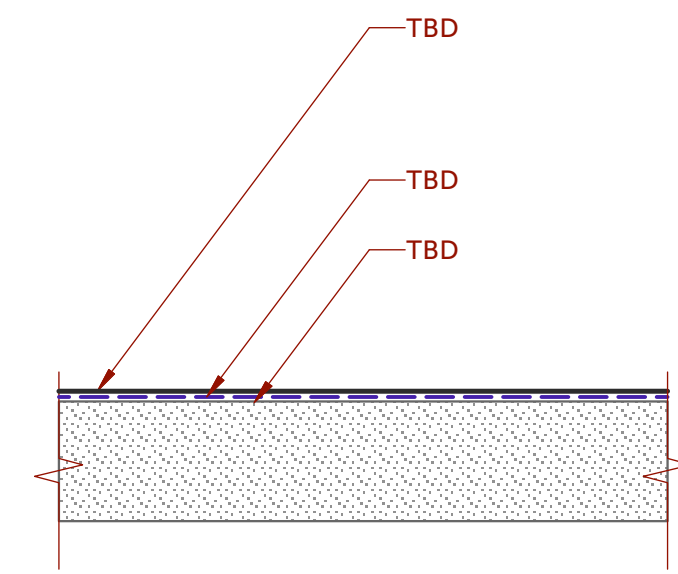
I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.



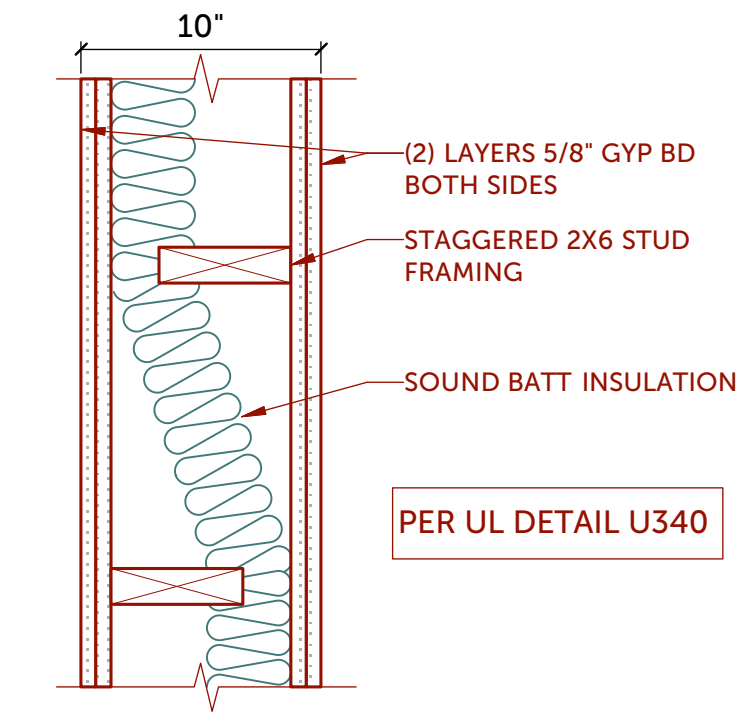
WALL, FLOOR, & ROOF TYPES
A0.1
17.28



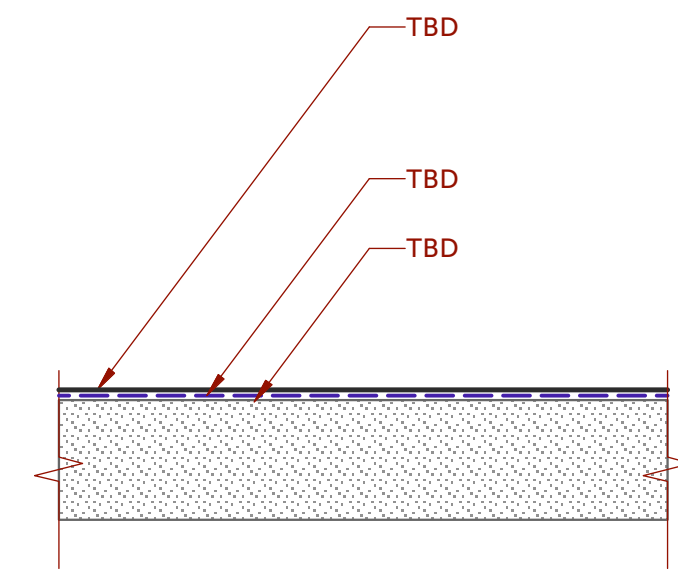
K ROOF DECK
SCALE :: 1 1/2" = 1'-0"



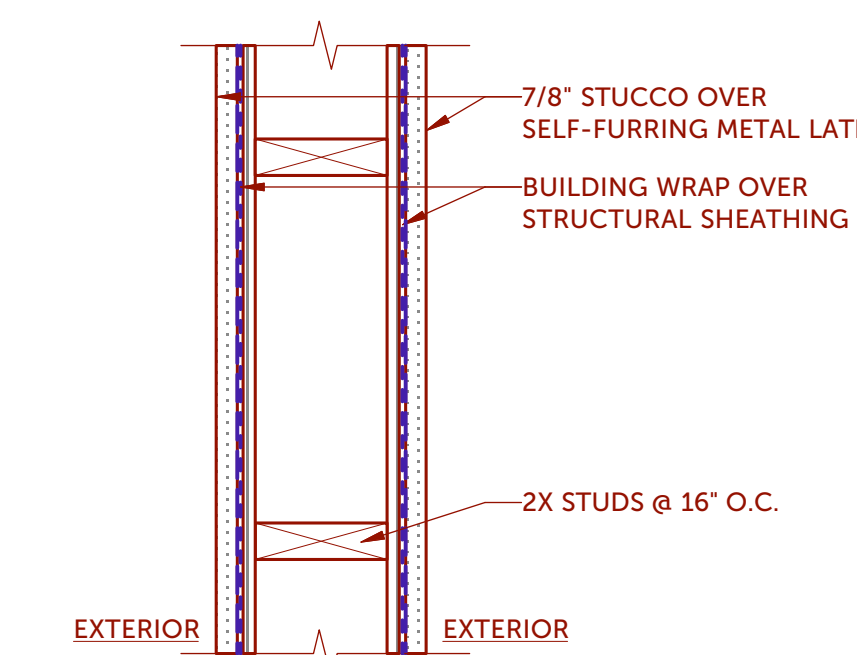
H SLAB W/O FINISH FLOOR
SCALE :: 1 1/2" = 1'-0"



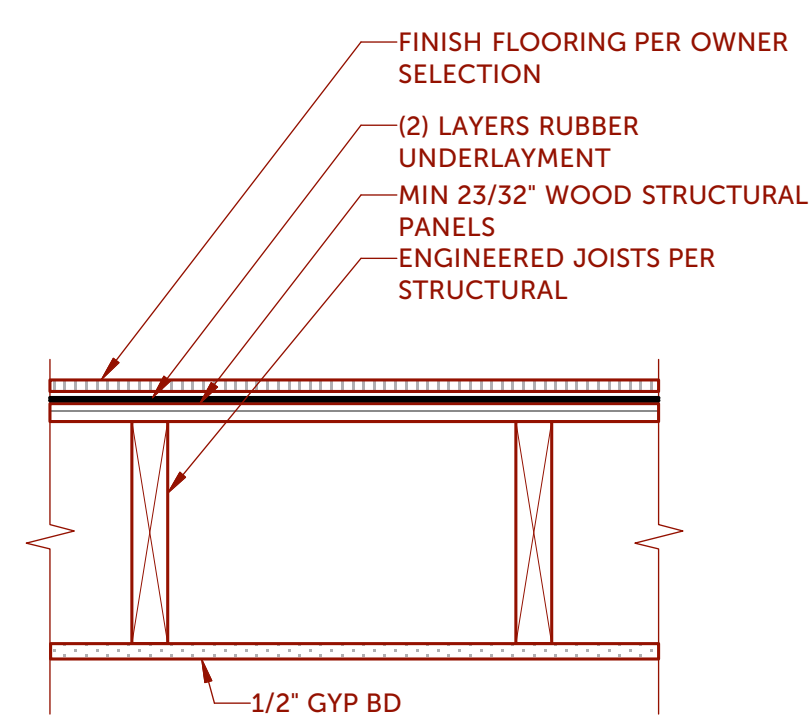
D 1-HOUR RATED UNIT SEPARATION WALL
SCALE :: 1 1/2" = 1'-0"



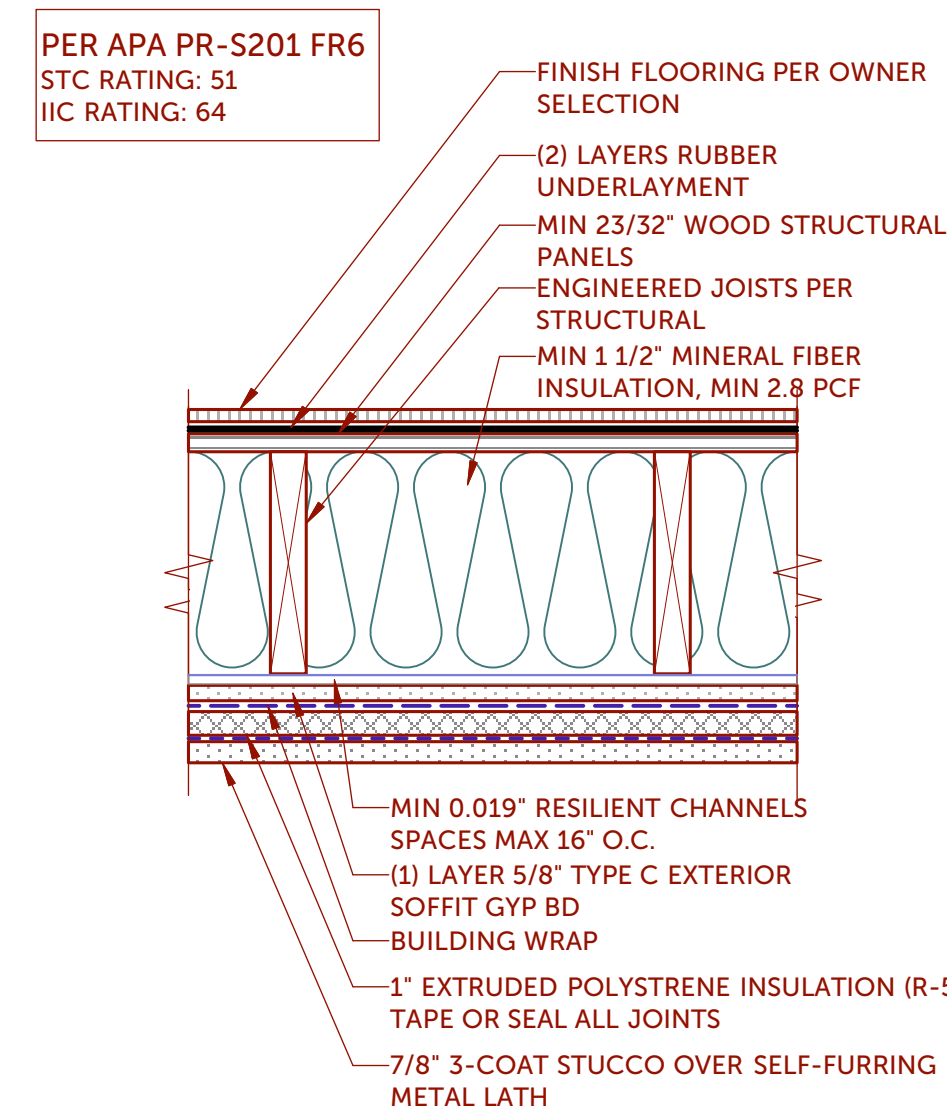
G SLAB W/ FINISH FLOOR
SCALE :: 1 1/2" = 1'-0"



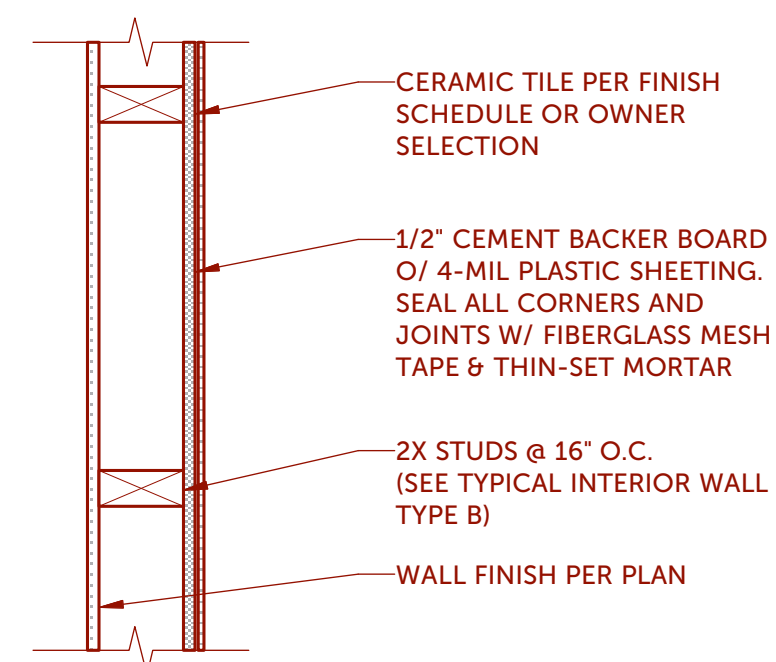
C EXTERIOR WALL W/ STUCCO (NO CONT. INSULATION)
SCALE :: 1 1/2" = 1'-0"



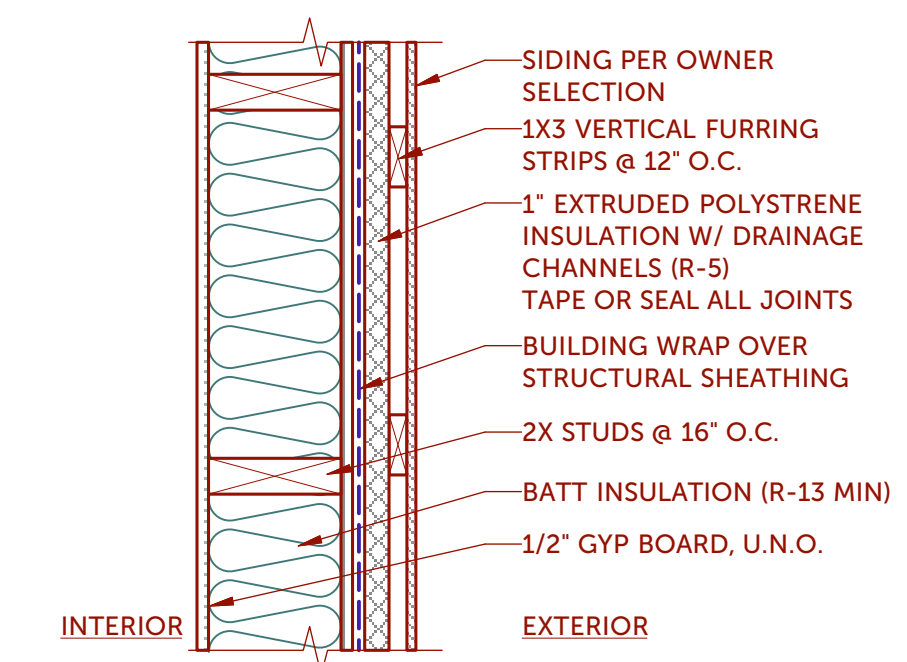
M NON-RATED FLOOR / CEILING
SCALE :: 1 1/2" = 1'-0"



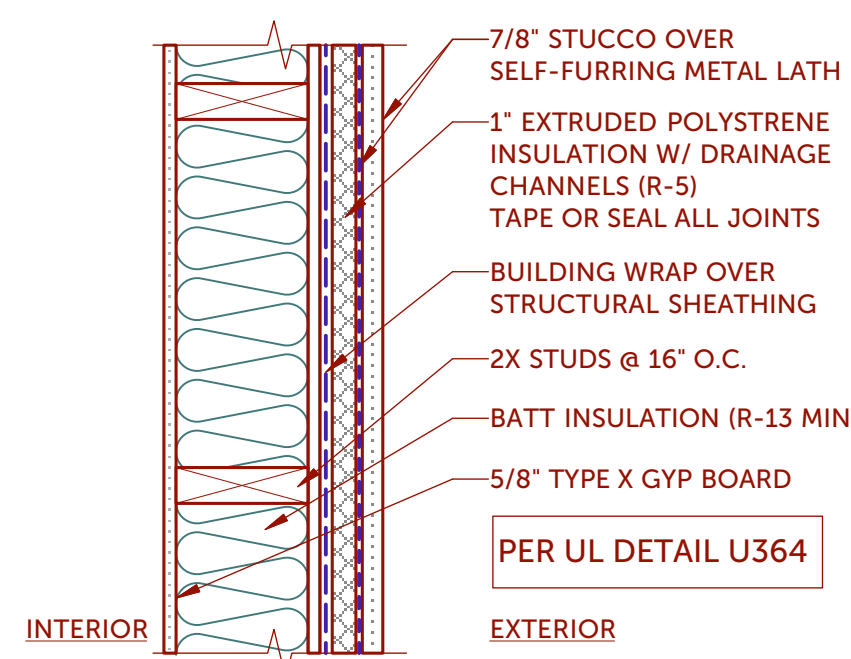
J 1-HR RATED FLOOR / EXTERIOR CEILING
SCALE :: 1 1/2" = 1'-0"



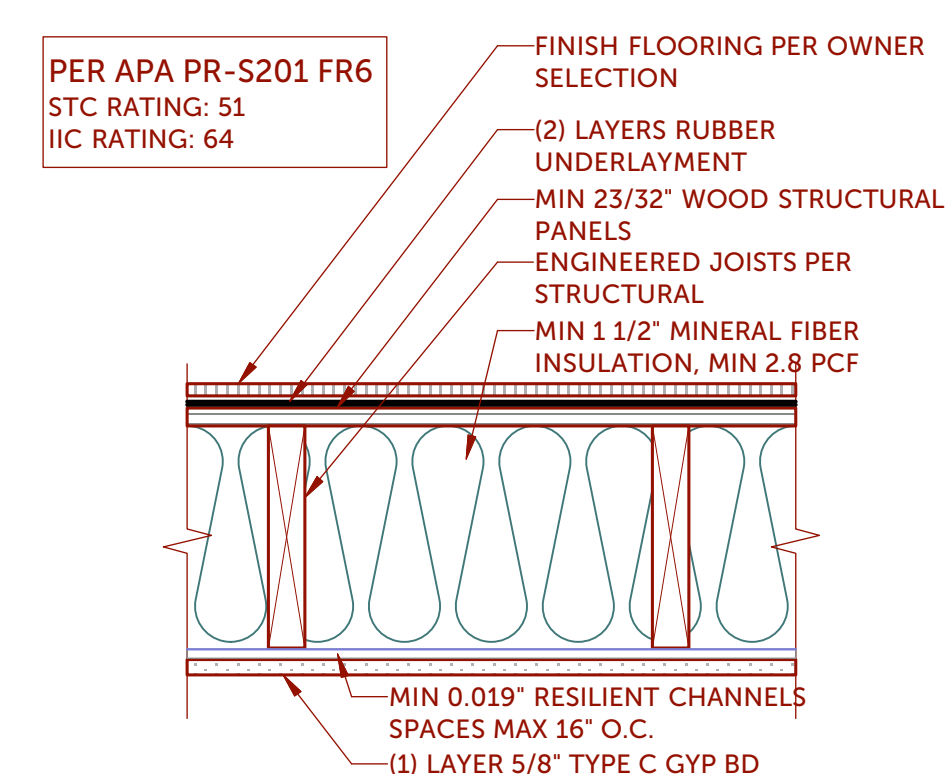
F INTERIOR WALL W/ TILE
SCALE :: 1 1/2" = 1'-0"



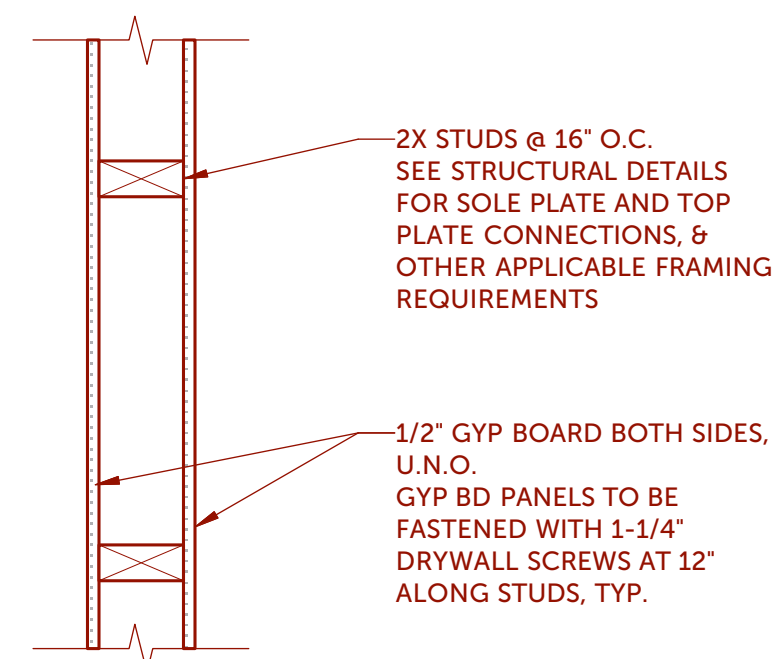
B EXTERIOR WALL W/ SIDING & CONT. INSULATION
SCALE :: 1 1/2" = 1'-0"



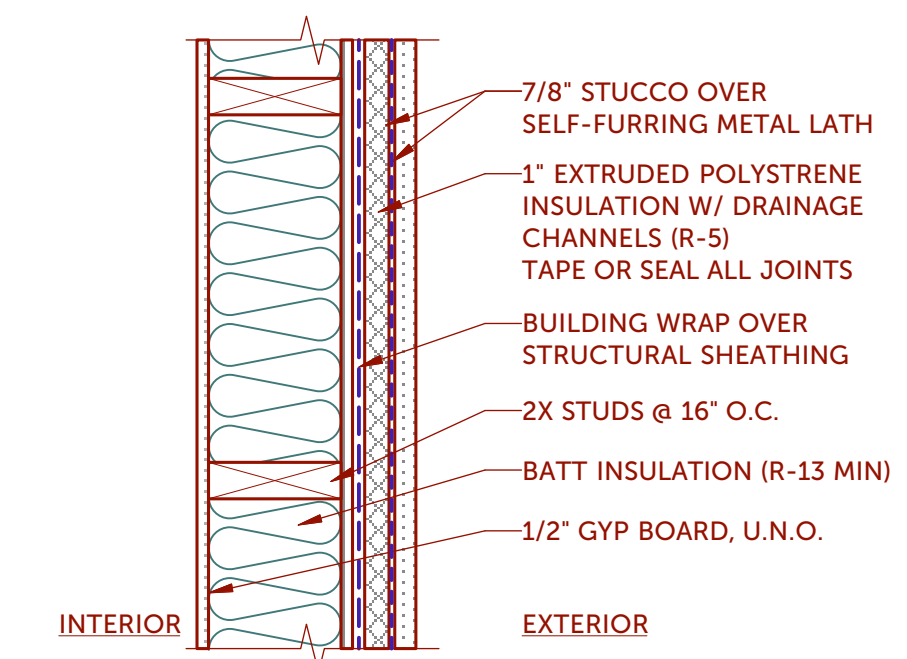
L 1-HOUR RATED EXTERIOR WALL
SCALE :: 1 1/2" = 1'-0"



I 1-HOUR RATED FLOOR / CEILING
SCALE :: 1 1/2" = 1'-0"



E INTERIOR PARTITION
SCALE :: 1 1/2" = 1'-0"



A EXTERIOR WALL W/ STUCCO & CONT. INSULATION
SCALE :: 1 1/2" = 1'-0"



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TERMS OF USE

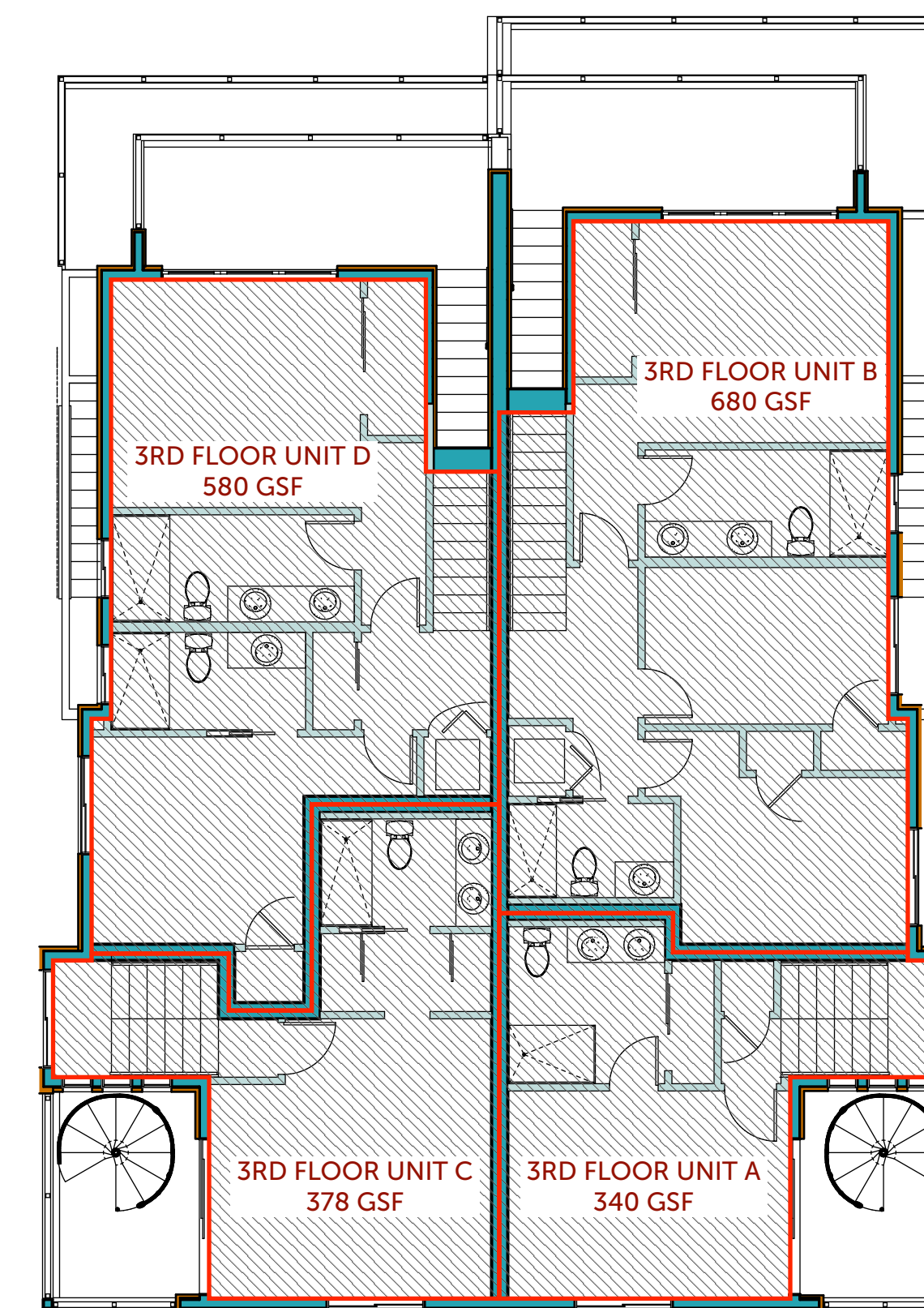
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PLAN LEGEND

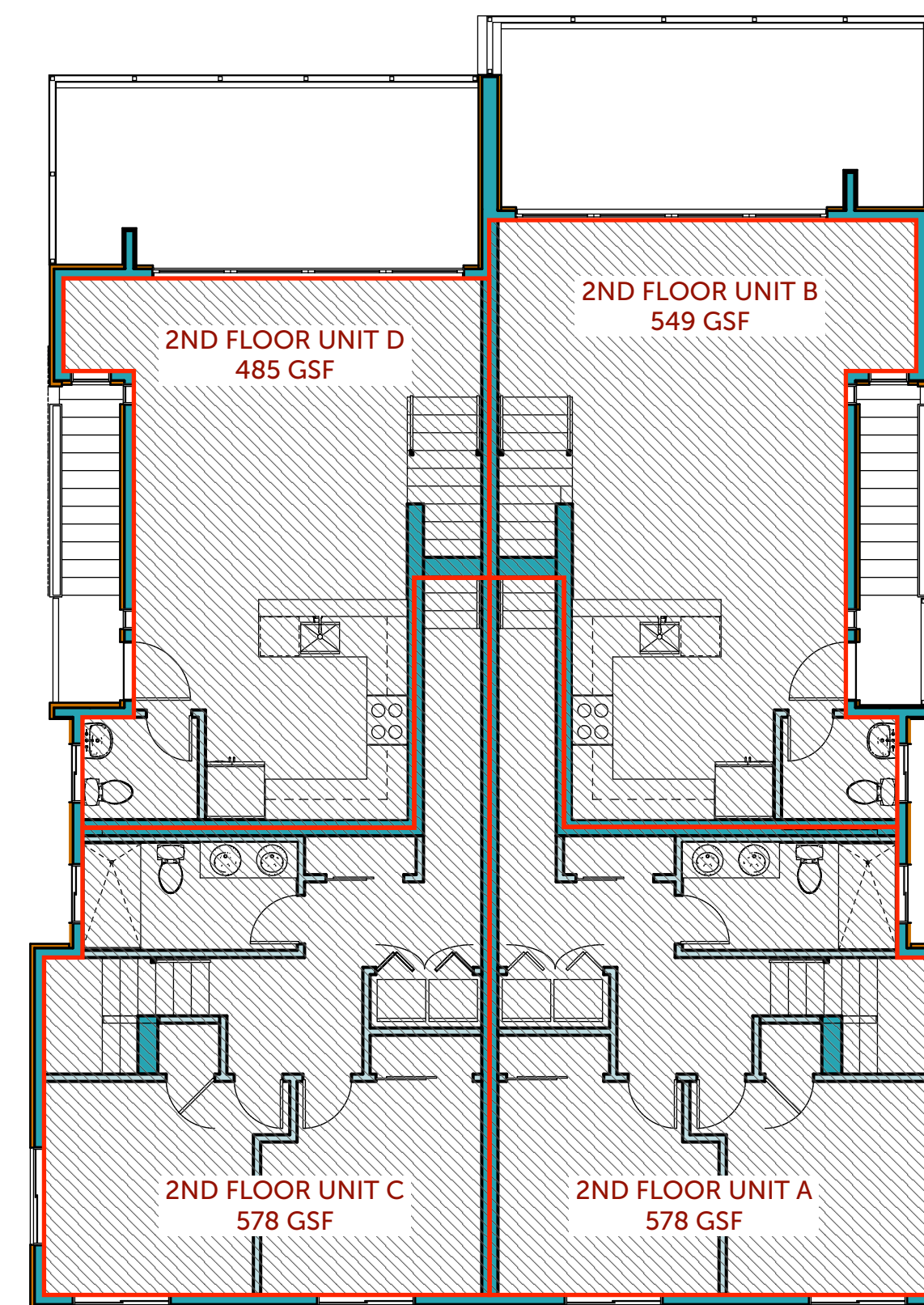
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMO'D
- NEW EXTERIOR WALL OR UNIT SEPARATION WALL
- NEW INTERIOR WALL
- NEW EXTERIOR CLADDING
- F.A.R. BOUNDARY

F.A.R. TOTALS

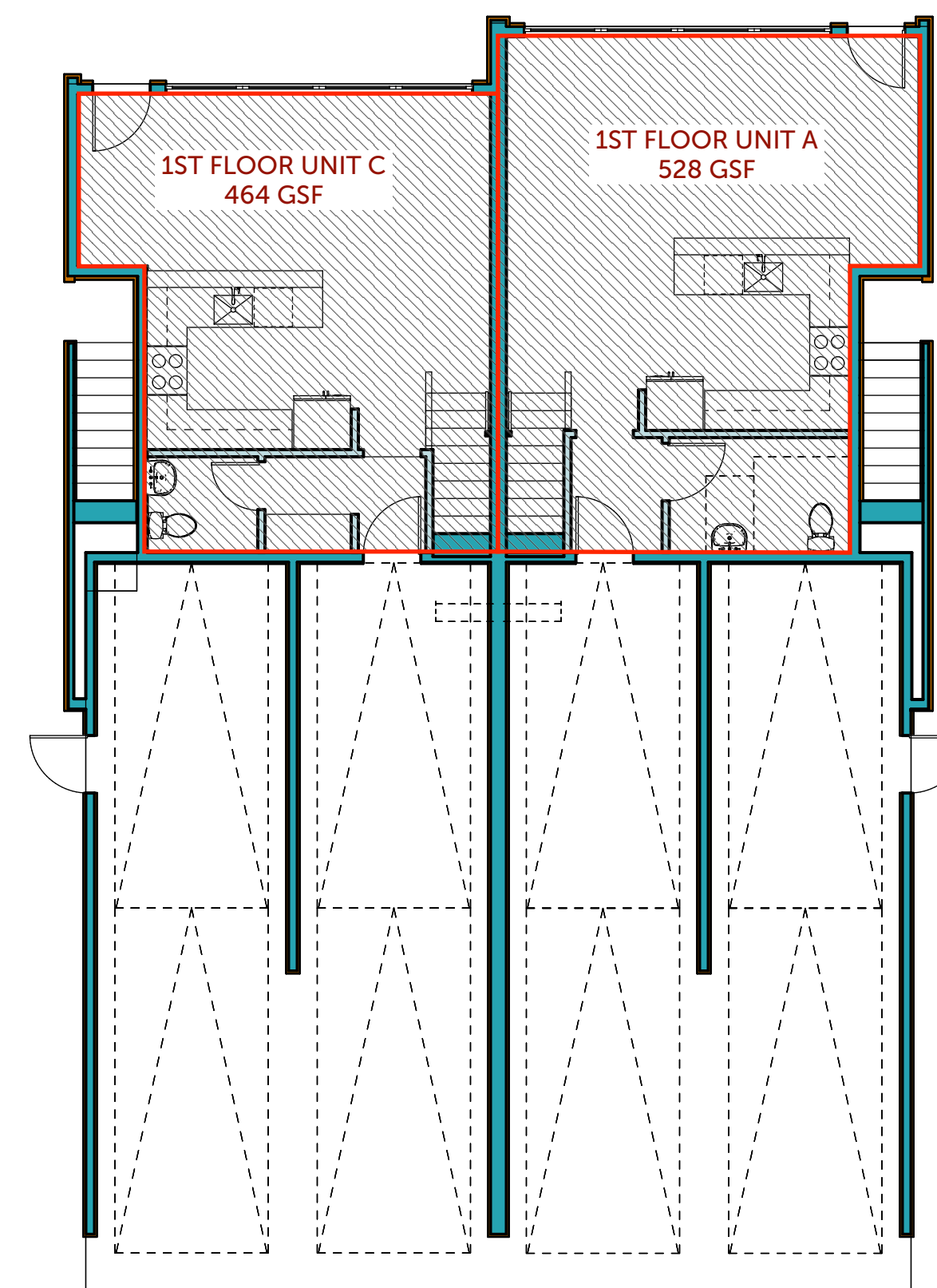
BUILDING AREA:	
1ST FLOOR UNIT A:	528 GSF
1ST FLOOR UNIT C:	464 GSF
1ST FLOOR TOTAL:	992 GSF
2ND FLOOR UNIT A:	578 GSF
2ND FLOOR UNIT B:	549 GSF
2ND FLOOR UNIT C:	578 GSF
2ND FLOOR UNIT D:	485 GSF
2ND FLOOR TOTAL:	2190 GSF
3RD FLOOR UNIT A:	340 GSF
3RD FLOOR UNIT B:	680 GSF
3RD FLOOR UNIT C:	378 GSF
3RD FLOOR UNIT D:	580 GSF
3RD FLOOR TOTAL:	1978 GSF
TOTAL BUILDING AREA:	5160 GSF



3 THIRD FLOOR F.A.R. PLAN | SCALE :: 1/8" = 1'-0"



2 SECOND FLOOR F.A.R. PLAN | SCALE :: 1/8" = 1'-0"



1 FIRST FLOOR F.A.R. PLAN | SCALE :: 1/8" = 1'-0"

Island Court
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APN: 423-675-05-00

PRINT DATE: JUNE 12, 2018
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rev.	date	remark
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F.A.R. DIAGRAMS

A0.3
17.28



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FIRST FLOOR PROPOSED PLAN

A1.1
1728

PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMO'D
- NEW EXTERIOR WALL OR UNIT SEPARATION WALL
- NEW INTERIOR WALL
- NEW EXTERIOR CLADDING
- WINDOW
- DOOR
- KEYNOTE

WALL & FLOOR TYPES

SEE SHEET A0.1 FOR WALL, FLOOR, & ROOF DETAILS

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TYPICAL PLAN NOTES

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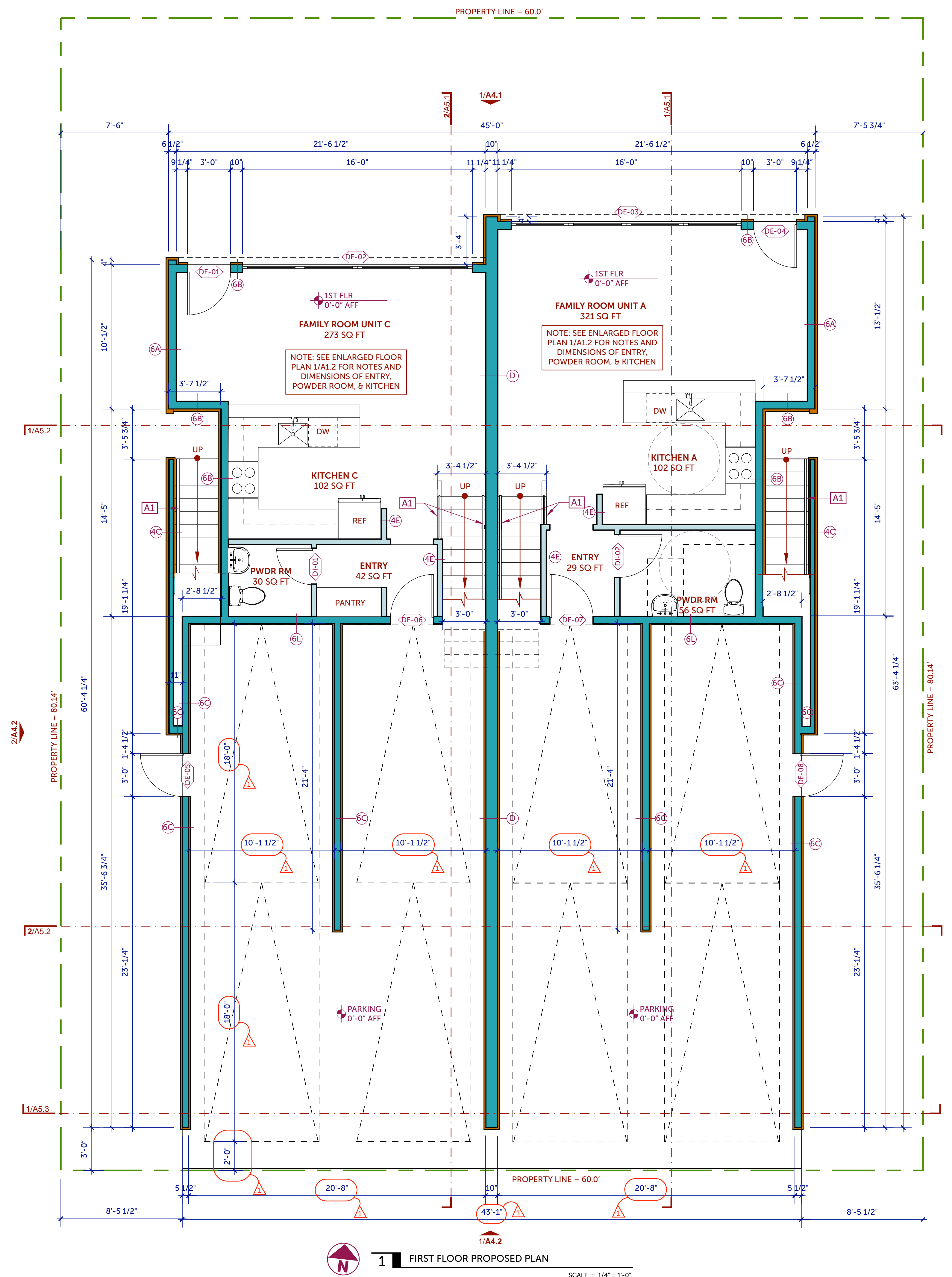
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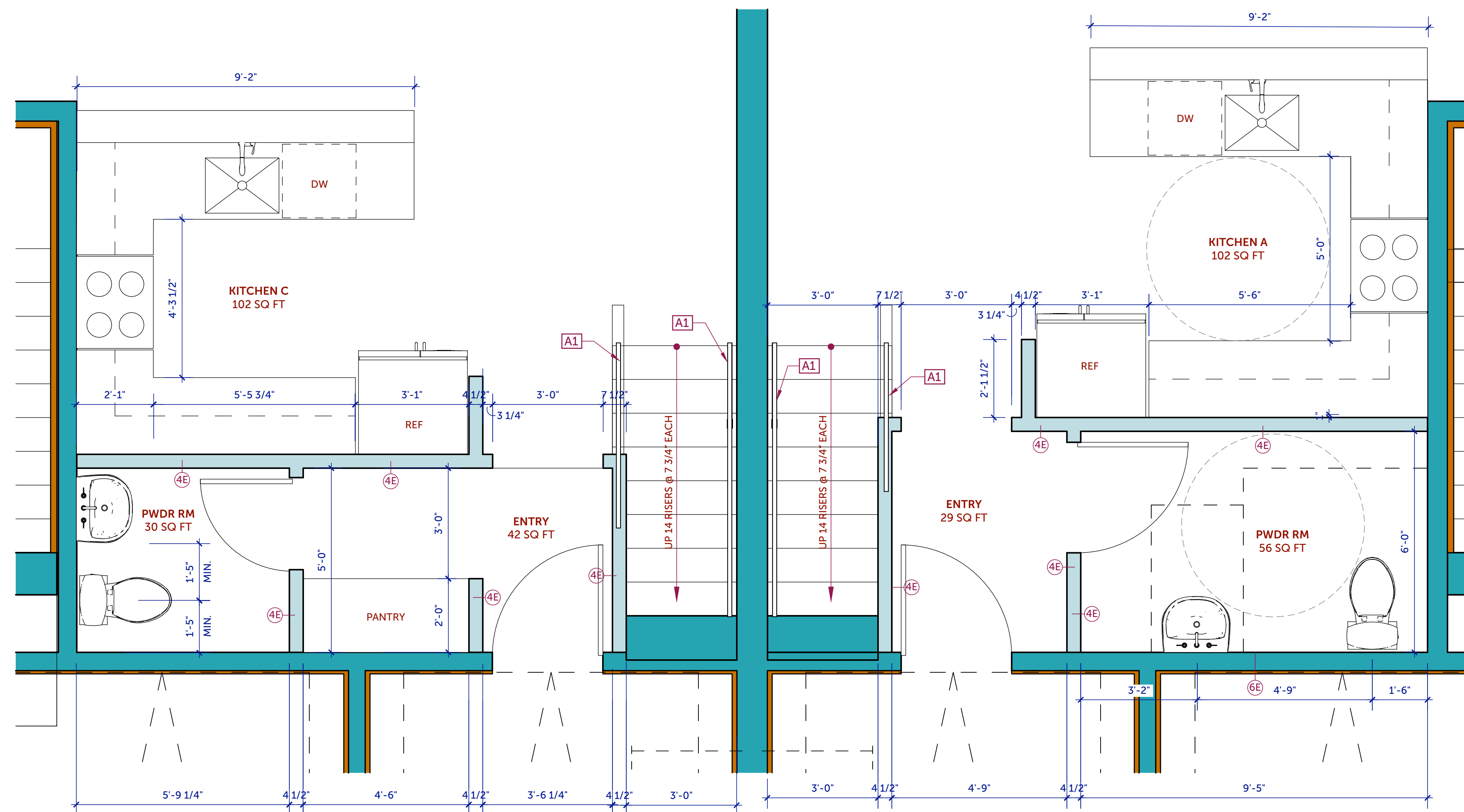
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1 FIRST FLOOR ENLARGED PLANS

SCALE :: 1/2" = 1'-0"

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FIRST FLOOR ENLARGED PLANS

A1.2
17.28



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SECOND FLOOR PLAN

A2.1
17.28

PLAN LEGEND

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- KEYNOTE

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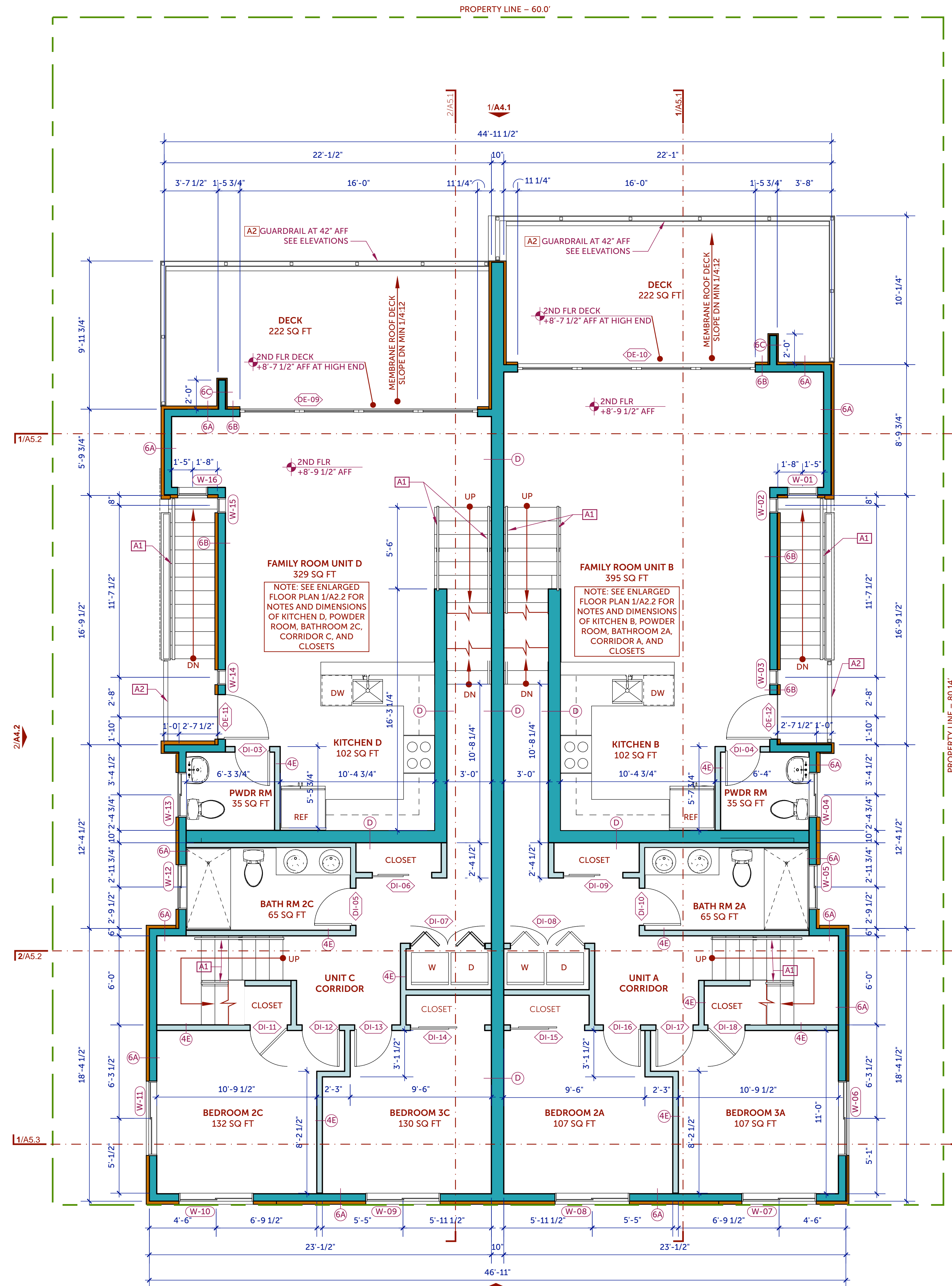
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SECOND FLOOR ENLARGED PLANS

A2.2
17.28

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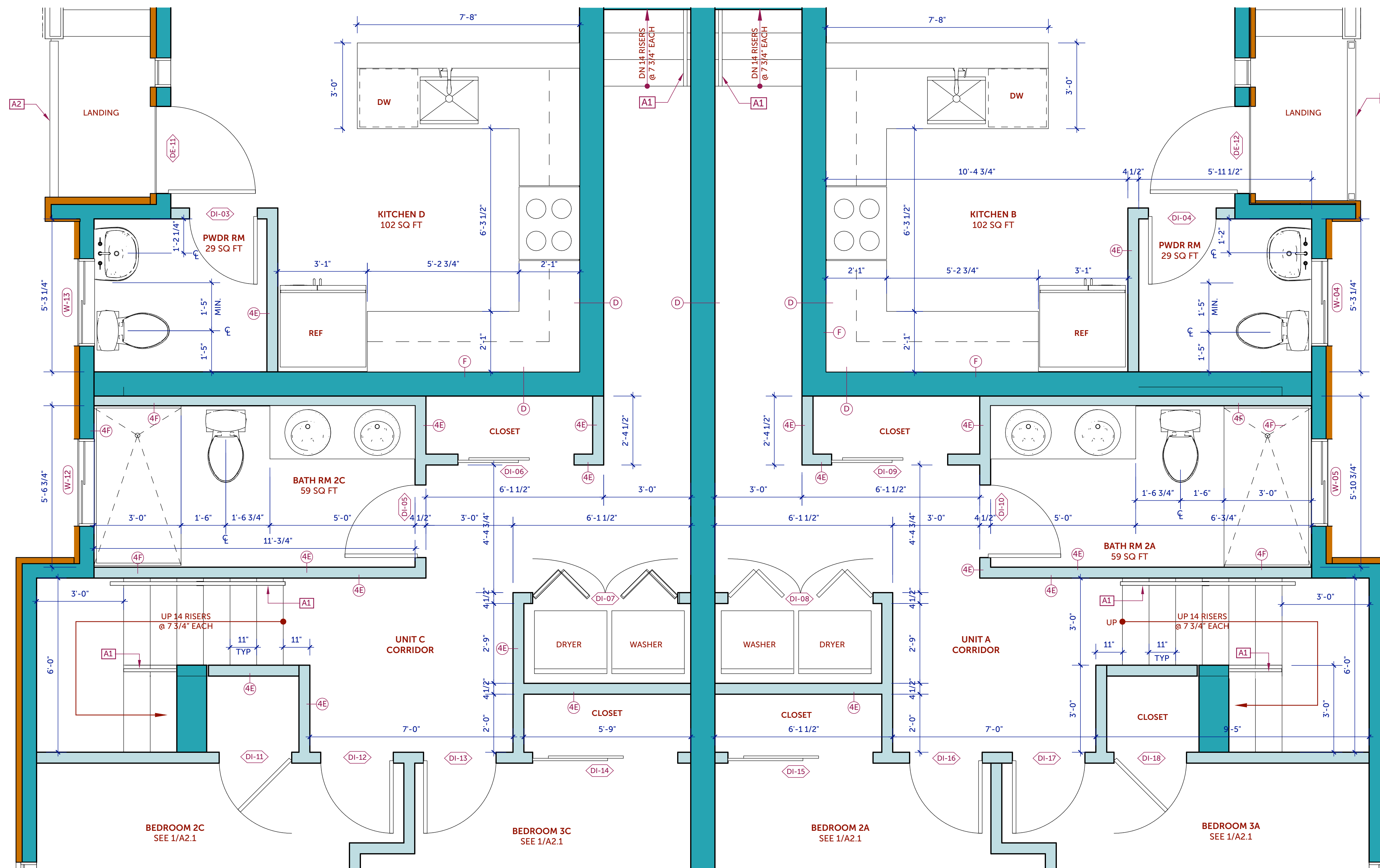
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1 SECOND FLOOR ENLARGED PLANS

SCALE :: 1/2" = 1'-0"



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A3.1
1728

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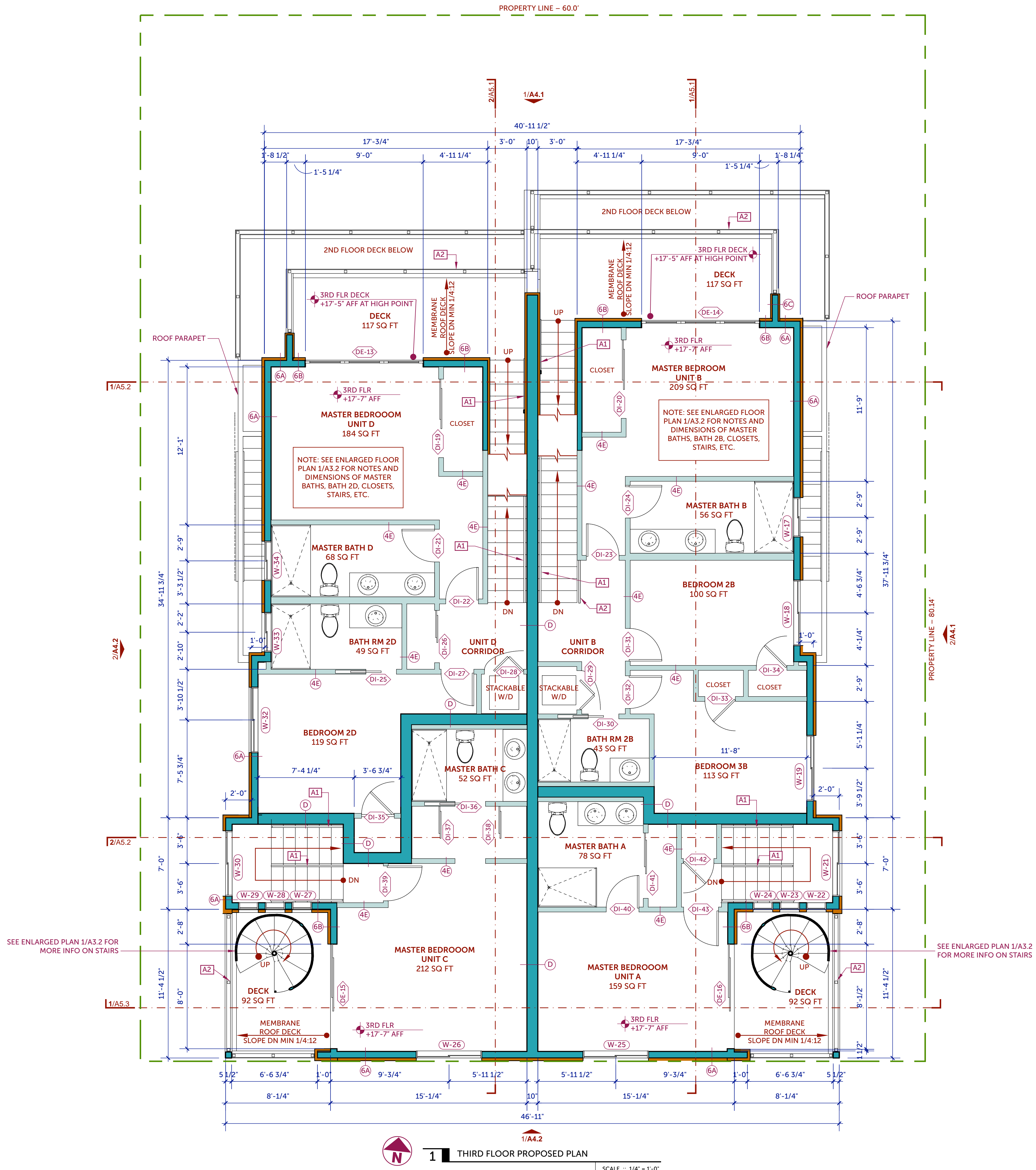
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Island Court

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APN: 423-675-05-00

PRINT DATE: JUNE 12, 2018
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▲	JUNE 12, 2018	Plan check revisions

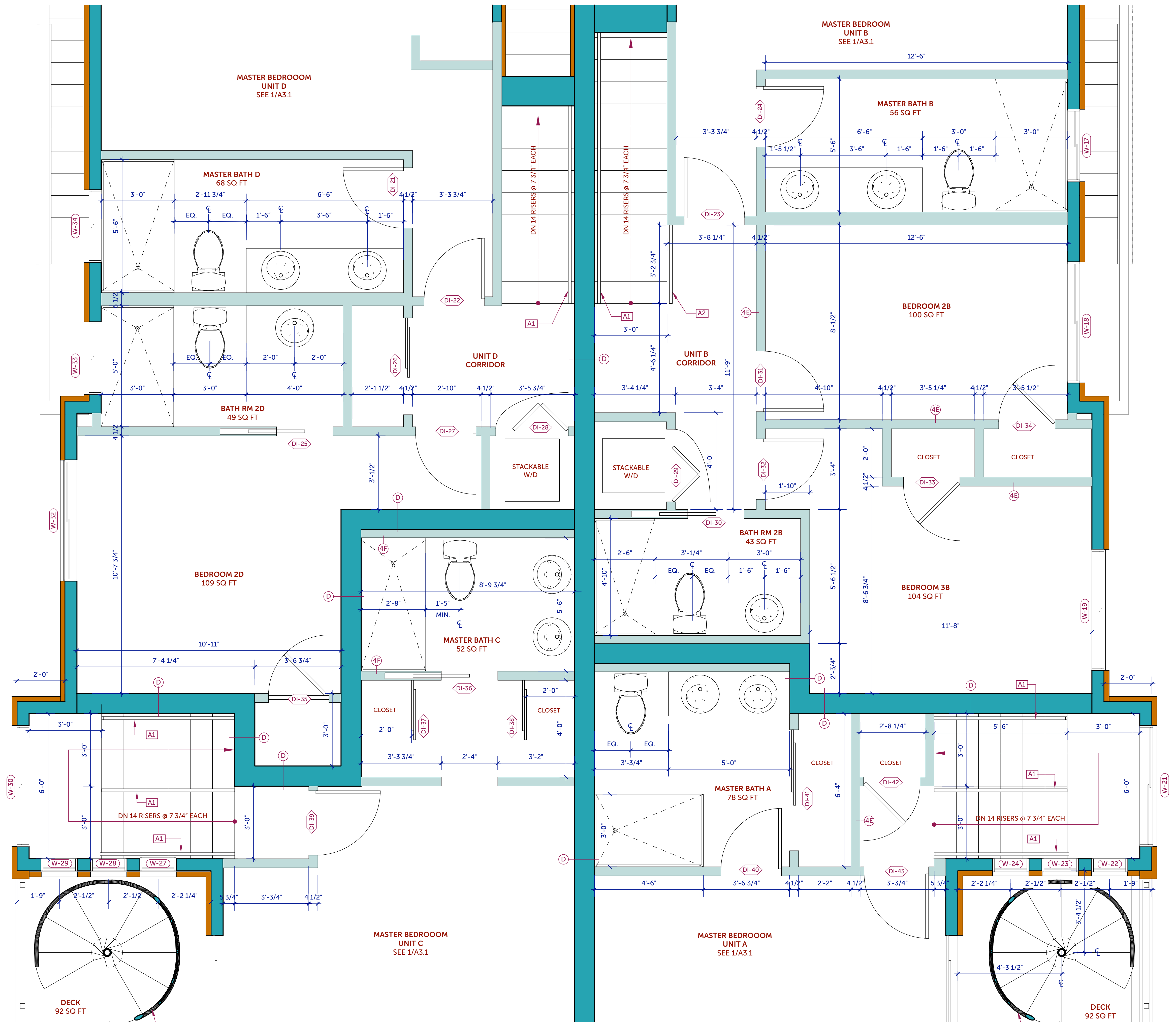
CERTIFICATION

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THIRD FLOOR ENLARGED PLANS

A3.2
17.28



PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMO'D
- NEW EXTERIOR WALL OR UNIT SEPARATION WALL
- NEW INTERIOR WALL
- NEW EXTERIOR CLADDING
- (W-01) WINDOW
- (DE-01) DOOR
- (A1) KEYNOTE

WALL & FLOOR TYPES

- SEE SHEET A0.1 FOR WALL, FLOOR, & ROOF DETAILS
- NOTE: NUMBERS ON WALL TAGS DENOTE FRAMING SIZE (EG.: 6 FOR 2X6 STUD FRAMING)
- (A) EXTERIOR WALL W/ CONTINUOUS INSULATION & STUCCO CLADDING
 - (B) EXTERIOR WALL W/ CONTINUOUS INSULATION & SIDING
 - (C) EXTERIOR WALL W/ STUCCO CLADDING (NO CONT. INSUL)
 - (D) 1-HR RATED UNIT SEPARATION WALL
 - (E) INTERIOR PARTITION
 - (F) INTERIOR WALL W/ TILE
 - (G) SLAB W/ FINISH FLOOR
 - (H) SLAB W/O FINISH FLOOR
 - (I) 1-HR RATED FLOOR/CEILING
 - (J) 1-HR RATED EXTERIOR CEILING
 - (K) ROOF DECK
 - (L) 1-HR RATED EXTERIOR WALL
 - (M) UNRATED FLOOR/CEILING

TYPICAL PLAN NOTES

- MINIMUM ROOM DIMENSIONS (R304 & R305):
- AT LEAST ONE HABITABLE ROOM SHALL HAVE NOT LESS THAN 120 S.F. AND OTHER HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 S.F.
 - HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FT IN ANY HORIZONTAL DIRECTION.
 - HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FT.
- LIGHT (R303): ALL ROOMS REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS MIN 8% OF THE FLOOR AREA OF THE ROOM.

FLOOR PLAN KEYNOTES

- (A1) HANDRAIL AT 36" AFF. SEE DETAIL 4/A5.4 FOR MORE INFO
- (A2) GUARDRAIL AT 42" AFF. SEE DETAIL 3/A5.4 FOR MORE INFO



SPIRAL STAIRCASE:
5'-0" DIAMETER EXTERIOR METAL W/
HANDRAIL @ 36" AFF
PREFAB SPIRAL STAIR KIT MANUF
BY THE IRON SHOP OR APPROVED EQ.

SPIRAL STAIRCASE:
5'-0" DIAMETER EXTERIOR METAL W/
HANDRAIL AT 36" AFF
PREFAB SPIRAL STAIR KIT MANUF
BY THE IRON SHOP OR APPROVED EQ.



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TERMS OF USE

- CONTRACTOR TO VERIFY ALL PROPOSED & EXISTING DIMENSIONS, QUANTITIES, & FIELD CONDITIONS AS REQUIRED FOR PROPER COMPLETION OF WORK. CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.
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ROOF PROPOSED PLAN

A3.3
17.28

PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMO'D
- NEW EXTERIOR WALL OR UNIT SEPARATION WALL
- NEW INTERIOR WALL
- NEW EXTERIOR CLADDING
- WINDOW
- DOOR
- KEYNOTE

WALL & FLOOR TYPES

SEE SHEET A0.1 FOR WALL, FLOOR, & ROOF DETAILS

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TYPICAL PLAN NOTES

MINIMUM ROOM DIMENSIONS (R304 & R305):
1. AT LEAST ONE HABITABLE ROOM SHALL HAVE NOT LESS THAN 120 S.F. AND OTHER HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 S.F.

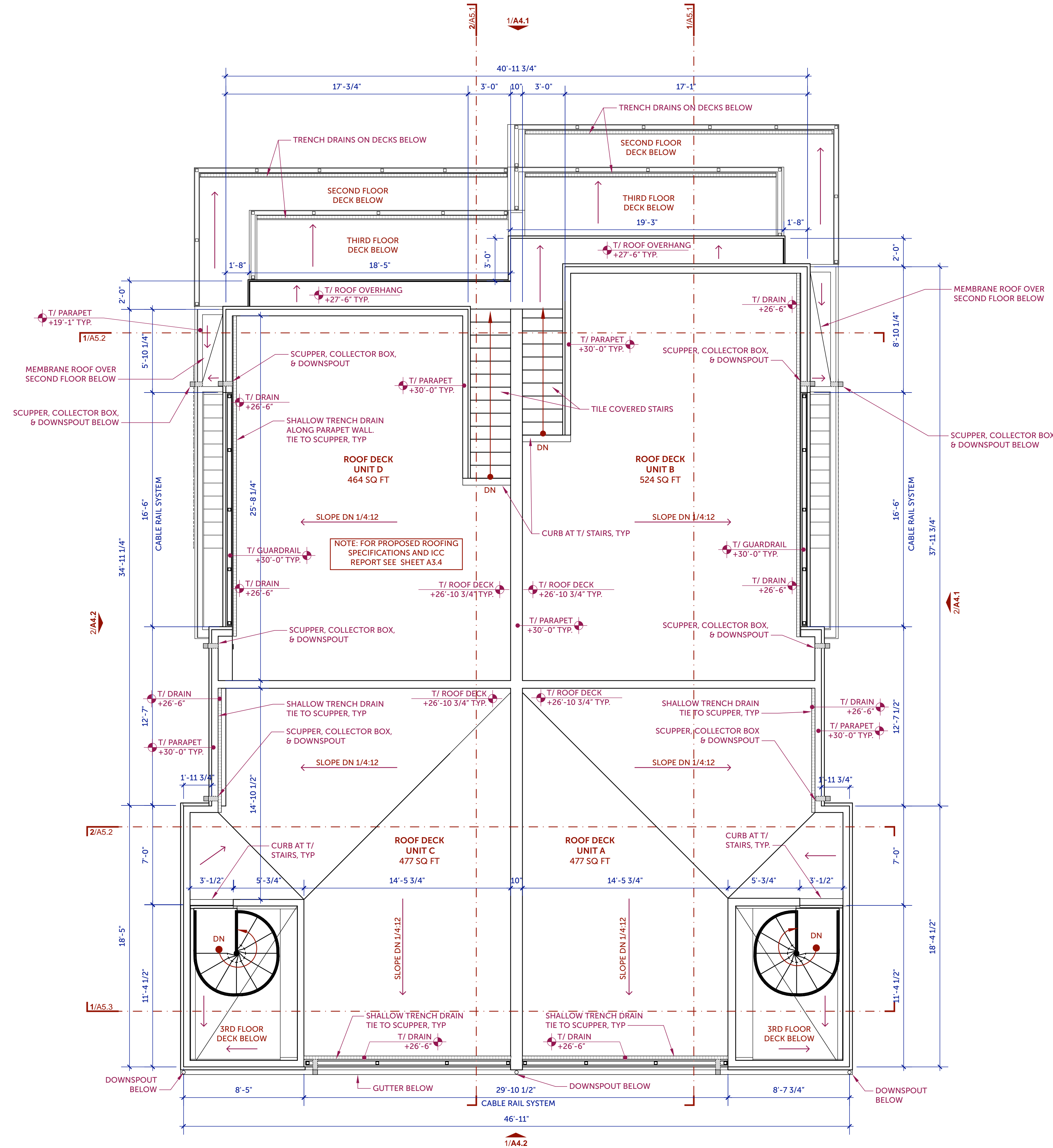
2. HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FT IN ANY HORIZONTAL DIRECTION.

3. HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FT.

LIGHT (R303):
ALL ROOMS REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS MIN 8% OF THE FLOOR AREA OF THE ROOM.

FLOOR PLAN KEYNOTES

- A1 HANDRAIL AT 36" AFF. SEE DETAIL 4/A5.4 FOR MORE INFO
- A2 GUARDRAIL AT 42" AFF. SEE DETAIL 3/A5.4 FOR MORE INFO



1 ROOF PROPOSED PLAN
SCALE: 1/4" = 1'-0"



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PRINT DATE: MARCH 05, 2018

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DATE



ROOFING SPEC & REPORT

A3.4
17.28

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ESR-2201
Reissued 07/2018
This report is subject to renewal 07/2018.

DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
SECTION: 07 18 13—PEDESTRIAN TRAFFIC COATINGS

REPORT HOLDER:

WESTCOAT

4007 LOCKRIDGE STREET
SAN DIEGO, CALIFORNIA 92102

EVALUATION SUBJECT:

WESTCOAT ALX STANDARD, ALX CUSTOM, ALX PRO STANDARD, AND ALX PRO CUSTOM SYSTEMS



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ESR-2201
Reissued July 2016
Revised October 2017
This report is subject to renewal July 2018.

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DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
SECTION: 07 18 13—Pedestrian Traffic Coatings

REPORT HOLDER:

WESTCOAT
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SAN DIEGO, CALIFORNIA 92102
(800) 250-4519
www.westcoat.com

EVALUATION SUBJECT:

WESTCOAT ALX STANDARD, ALX CUSTOM, ALX PRO STANDARD, AND ALX PRO CUSTOM SYSTEMS

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2015, 2012, 2009 and 2006 International Building Code® (IBC)
- 2015, 2012, 2009 and 2006 International Residential Code® (IRC)
- 2013 Abu Dhabi International Building Code (ADIBC)¹

¹The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

For evaluation for compliance with codes adopted by the Los Angeles Department of Building and Safety (LADBS), see ESR-2201 LABC and LARC Supplement.

Properties evaluated:

- Durability
- Wind resistance
- Fire classification
- Fire resistance

2.0 USES

Westcoat ALX Standard, ALX Custom, ALX Pro Standard and ALX Pro Custom Systems are cementitious coating systems for use as walking deck and classified roof covering systems over plywood substrates. The systems, as described in Section 4.4 of this report, provide a Class A roof covering fire classification. The systems, as described in Section 4.5 of this report, are used as a component of a one-hour fire-resistance-rated assembly.

3.0 DESCRIPTION

3.1 General:

The ALX Standard, ALX Custom, ALX Pro Standard, and ALX Pro Custom Systems are walking deck and roof

covering systems applied over plywood. The ALX Standard and ALX Pro Standard Systems consist of the materials described in Section 4.2 and the ALX Custom and ALX Pro Custom Systems consist of the material described in Section 4.3.

3.2 Materials:

3.2.1 **Plywood Substrate:** Plywood substrates must be exterior grade, 7/8-inch-thick (15.9 mm) plywood complying with U.S. DOC PS-1 or PS-2.

3.2.2 **Metal Lath:** The metal lath must be 2.5 lb/yd² (1.36 kg/m²), hot-dipped galvanized, expanded metal lath, complying with ASTM C847. The Westcoat part number is WP-25 Metal Lath.

3.2.3 **Staples:** Staples must be corrosion-resistant, minimum No. 16 gauge staples with 1-inch-wide (25 mm) crowns and 3/4-inch-long (15.9 mm) legs, complying with ASTM F1667. The Westcoat part number is WP-10 Staples.

3.2.4 **WP-40 Sheet Membrane:** The WP-40 Sheet Membrane is a self-adhering, nominally 40-mil-thick (0.04 inch (1.02 mm)) membrane recognized in ESR-3585.

3.2.5 **WP-47H Fiberlath** (For use with ALX Pro Standard and ALX Pro Custom Systems only): WP-47H Fiberlath is a glass fiber lath reinforcing mesh with 5.4 per inch wrap and 6 per inch welf huro leno weave with a nominal 0.019-inch thickness (0.48 mm) and a nominal weight of 5.8 ounces/square yard (195 gm²). The product comes in rolls measuring 38 inches (965 mm) wide by 150 feet (45.7 m) in length.

3.2.6 **WP-81 Cement Modifier:** The WP-81 Cement Modifier is a liquid admixture that is used with TC-1 Basecoat Cement, TC-2 Smooth Texture Cement, TC-3 Medium Texture Cement, and TC-5 Grout Texture Cement. Shelf life is two years when stored at temperatures between 40°F and 100°F (4.4°C and 37.8°C) and in a dry place.

3.2.7 **WP-90 Waterproofing Resin** (For use with ALX Pro Standard and ALX Pro Custom Systems only): The WP-90 Waterproofing Resin is a blend of acrylic resins that are formulated to be used as an admixture with TC-1 Basecoat Cement. Shelf life is two years when stored at temperatures between 40°F and 100°F (4.4°C and 37.8°C) in a dry place.

3.2.8 **TC-1 Basecoat Cement:** The TC-1 Basecoat Cement is a proprietary dry-blend mixture including portland cement and silica sand. The product is packaged in 50-pound (22.5 kg) bags. Shelf life is one year when stored in dry conditions.

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DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
SECTION: 07 18 13—Pedestrian Traffic Coatings

REPORT HOLDER:

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EVALUATION SUBJECT:

WESTCOAT ALX STANDARD, ALX CUSTOM, ALX PRO STANDARD, AND ALX PRO CUSTOM SYSTEMS

1.0 REPORT PURPOSE AND SCOPE

Purpose:

The purpose of this evaluation report supplement is to indicate that Westcoat ALX Standard, ALX Custom, ALX Pro Standard, and ALX Pro Custom Systems, described in ICC-ES master evaluation report ESR-2201, have also been evaluated for compliance with the codes noted below as adopted by the Los Angeles Department of Building and Safety (LADBS).

Applicable code editions:

- 2017 City of Los Angeles Building Code (LABC)
- 2017 City of Los Angeles Residential Code (LARC)

2.0 CONCLUSIONS

The Westcoat ALX Standard, ALX Custom, ALX Pro Standard, and ALX Pro Custom Systems, described in Sections 2.0 through 7.0 of the master evaluation report ESR-2201, comply with the LABC, and the LARC, and are subjected to the conditions of use described in this supplement.

3.0 CONDITIONS OF USE

The Westcoat ALX Standard, ALX Custom, ALX Pro Standard, and ALX Pro Custom Systems described in this evaluation report must comply with all of the following conditions:

- All applicable sections in the master evaluation report ESR-2201.
- The design, installation, conditions of use and identification of the Westcoat ALX Standard, ALX Custom, ALX Pro Standard, and ALX Pro Custom Systems are in accordance with the 2015 International Building Code® (2015 IBC) provisions noted in the master evaluation report ESR-2201.
- The design, installation and inspection are in accordance with additional requirements of LABC Chapters 16 and 17, as applicable.
- The installation of Westcoat ALX Standard, ALX Custom, ALX Pro Standard, and ALX Pro Custom Systems must comply with the City of Los Angeles Information Bulletin P/BC 2014-16, "Dwellings in High Wind Velocity Areas (HWA)."
- The Westcoat ALX Standard, ALX Custom, ALX Pro Standard, and ALX Pro Custom Systems have not been evaluated under the LABC Chapter 7A or the LARC Section R337 for use in the exterior design and construction of new buildings located in any Fire Hazard Severity Zone within State Responsibility Areas or any Wildland-Urban Interface Area.

This supplement expires concurrently with the master report, reissued July 2016 and revised October 2017.

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3.2.9 **TC-2 Smooth Texture Cement:** The TC-2 Smooth Texture Cement is a proprietary dry-blend mixture including portland cement and silica sand. The product is packaged in 50-pound (22.5 kg) bags. Shelf life is one year when stored in dry conditions.

3.2.10 **TC-3 Medium Texture Cement:** The TC-3 Medium Texture Cement is a proprietary dry-blend mixture including portland cement and silica sand. The product is packaged in 50-pound (22.5 kg) bags. Shelf life is one year when stored in dry conditions.

3.2.11 **TC-5 Grout Texture Cement:** The TC-5 Grout Texture Cement is a proprietary dry-blend mixture including portland cement and silica sand. The product is packaged in 50-pound (22.5 kg) bags. Shelf life is one year when stored in dry conditions.

3.2.12 **SC-10 Acrylic Topcoat:** The SC-10 Acrylic Topcoat is a proprietary, water-based liquid sealant used as the topcoat of the Westcoat ALX system. This product is packaged in 1- or 5-gallon pails (3.78 or 18.9 L). Shelf life is two years when stored at temperatures between 40°F and 100°F (4.4°C and 37.8°C) and in a dry place.

3.2.13 **SC-35 Water-Based Stain:** The SC-35 Water-Based Stain is a proprietary blend of water-based acrylic and pigments, used to stain the TC-2 Smooth Texture Cement. The product is packaged in 1- or 5-gallon pails (3.78 or 18.9 L). Shelf life is three years when stored in dry conditions.

3.2.14 **TC-40 Liquid Colorant:** TC-40 Liquid Colorant is a proprietary iron oxide slurry formulated with high pigment levels used in the ALX Custom system to integrally color the TC-2 Smooth Texture Cement. The product is packaged in 16-ounce bottles. The shelf life is one year when stored at temperatures between 40°F and 100°F (4.4°C and 37.8°C) in a dry place.

3.2.15 **SC-70 Acrylic Lacquer Sealer:** The SC70 Acrylic Lacquer is a proprietary acrylic lacquer sealant. The product is packaged in 1- or 5-gallon pails (3.78 or 18.9 L). The shelf life is five years when stored at temperatures between 40°F and 100°F (4.4°C and 37.8°C) in a dry place.

4.0 INSTALLATION

4.1 General:

Installation of the Westcoat ALX Standard, ALX Custom, ALX Pro Standard and ALX Pro Custom Systems must be in accordance with the manufacturer's published installation instructions, the applicable code and this report. The manufacturer's installation instructions must be available on the jobsite during application. The system must be installed only when the ambient temperature is between 55°F and 90°F (13°C and 32°C). Materials must not be applied if precipitation is occurring or expected.

4.1.1 **Preparation of Plywood Substrate:** Plywood must be clean, dry, and free from dirt or foreign materials that may prevent adhesion of the base coat, and must be installed to framing in accordance with the requirements of the applicable code at a maximum framing spacing of 16 inches (406 mm) on center. All plywood edges must be blocked with nominally 2-by-4 wood members, or panel edges must be tongued and grooved. All through-penetrations and terminations of the sheathing must be protected with metal flashing in accordance with the applicable code. Adequate drainage must be provided in accordance with the applicable code.

4.1.2 **WP-40 Sheet Membrane:** The WP-40 Sheet Membrane must be applied over all plywood joints in 6-inch-wide (152 mm) strips or may be applied over the

entire plywood deck with the sheet membrane roll measuring 36 inches by 75 feet (914.4 mm by 22.9 m).

4.1.3 **Metal Lath:** The metal lath, as described in Section 3.2.2, must be installed with lath edges parallel to plywood substrate joints and offset from the substrate joints by a minimum of 2 inches (51 mm). The lath must be held back 1/2 inch (12.7 mm) from all deck edges and stapled to the plywood substrate with no less than 16 staples per square foot (174 staples per square meter). Lath must be lapped 1 to 2 inches (25 to 51 mm) at seams and stapled to the plywood substrate every 1 to 2 inches (25.4 to 50.8 mm).

4.1.4 **Base Coat:** The base coat mixture consists of one 50-pound (22.5 kg) bag of TC-1 Basecoat Cement combined with 1 1/4 gallons (4.73 L) of WP-81 Cement Modifier and up to 1 quart of water (946.4 mL), then mixed until uniform consistency is achieved. The mixture results in a 4.5-gallon (17 L) batch. The base coat mixture must be applied onto the lath at a rate of 40 square feet (3.7 square meters) per 4.5-gallon (17 L) batch. The minimum dry thickness of the base coat must be 0.142 inch (3.6 mm). Prior to the application of the slurry coat, the base coat must be smoothed with a trowel and allowed to cure until firm.

4.1.5 **ALX Pro Standard and ALX Pro Custom Systems (Optional):** To upgrade from the ALX Standard or ALX Custom System to the ALX Pro Standard or ALX Pro Custom System, lay out WP-47H Fiberlath reinforcing mesh on the dried Base Coat (applied as specified in Section 4.1.4 of this report) overlapping the seams approximately 2 inches (51 mm). Combine one bag of TC-1 Basecoat Cement with 5 gallons of WP-90 Waterproofing Resin. Mix with a mechanical mixer until uniform. Pour the mixture onto the WP-47H Fiberlath. Trowel thin and smooth at an approximate coverage rate of 225 to 250 square feet (20.9 to 23.2 m²) per batch. Use a paintbrush to spread the base coat on the flashing, making sure to get the mixture into the seams and corners. Using a brush, wet with water and feather all outside edges. Allow surface to dry for 1-4 hours at 70°F (21.1°C). Scrape off any high spots or ridges that may inhibit application of a smooth texture coat. Trim any mesh that is showing on perimeters after the material has hardened.

4.1.6 **Slurry Coat:**

The slurry coat mixture consists of one bag of TC-1 Basecoat Cement, 1 gallon (3.78 L) of WP-81 Cement Modifier, and up to 1/2 gallon (1.89 L) of water, mixed until uniform consistency is achieved. The slurry coat mixture must be applied onto the cured base coat at a rate of 100 to 150 square feet (9.3 to 13.9 m²) per 4.5-gallon (17.0 L) batch, to result in a minimum dry thickness of the slurry coat of 0.063 inch (1.60 mm). The slurry coat must be smoothed with a trowel and allowed to cure until firm.

4.2 **ALX Standard and ALX Pro Standard Systems (Following installation in accordance with Section 4.1):**

4.2.1 **Texture Coat:** The texture coat mixture consists of one bag of TC-3 Medium Texture Cement, 1 gallon (3.78 L) of WP-81 Cement Modifier and up to 1/2 gallon (1.89 L) of water, mixed until uniform consistency is achieved. The texture coat must be applied with a hopper gun onto the slurry coat at a rate of 150 to 200 square feet (13.9 to 18.6 m²) per batch, to result in a minimum dry thickness of 0.047 inch (1.2 mm). The texture coat must be leveled with a trowel and allowed to cure until firm.

4.2.2 **Top Coat:** The SC-10 Acrylic Topcoat must be applied over the cured texture coat with a roller in one or two applications, for a total coverage rate of 125 square feet per gallon (3.04 m²/L), to a minimum thickness of

westcoat SPECIALTY COATING SYSTEMS
WP WATERPROOF RELIABLE MOISTURE BARRIERS
ALX-PRO Standard Finish

Description

Westcoat ALX-PRO is a waterproof walking deck system. This bonded system is reinforced with metal lath, a fiberlath reinforced membrane, features a series of polymer-modified cementitious applications and is sealed with Westcoat's SC-10 Acrylic Topcoat. The finished product weighs approximately 2 1/2 lbs per square foot. This system gives plywood the look and feel of concrete with a decorative appeal.

Uses

ALX-PRO is designed for use on plywood. It is recommended for the discriminating architect, contractor or building owner that demands the greatest in strength and durability. ALX-PRO is ideal for decks with ten foot or larger spans and in cases where additional crack resistance and flexibility is essential. ALX-PRO has been designed for balconies, corridors and landings. It is regularly specified for hotels, condominiums, apartments and office buildings. ALX-PRO can be stapled through most old deck systems to provide an excellent method for the rehabilitation of problem surfaces.

Advantages

- Unmatched Strength and Durability
- Quick Access After Installation
- Waterproof
- Excellent Sound Reduction Qualities
- Tough Final Coat is UV Resistant
- Fiberlath Reinforced Membrane
- Skid-resistant Finish
- Decorative Finishes Available
- Cost-effective

Packaging

- WP-26 Flashing
- WP-10 Staples
- WP-25 Metal Lath (2 1/2 ft. x 8 ft. each, hot dipped galvanized metal lath 2.5 lbs per sq yard)
- WP-40 Sheet Membrane (6'x75' & 36'x25')
- WP-47 Fiberlath (475 sq ft per roll, 38 in. x 150 ft.)
- WP-51 Polyurethane Sealant (10.3 oz. tubes)
- WP-81 Cement Modifier (1 and 5 gallon pails)
- WP-90 Waterproofing Resin (1 and 5 Gallon pails)
- SC-10 Acrylic Topcoat (1 and 5 gallon pails)
- TC-1 Basecoat Cement (50 lb. bags)
- TC-3 Medium Texture Cement (50 lb. bags)

INSPECTION / PREPARATION

Inspection

For installation of the ALX-PRO system, plywood must be a minimum of 3/8 inch (7/8 inch preferred) CDX or exterior grade. Slope must be a minimum of 1/4 inch per linear foot to allow for proper drainage. Decks should meet local building codes. The deck shall be tongue and groove, completely blocked and nailed (glued and screwed is best). Plywood shall have a maximum joist span of 16 inches. Deflection should be less than L/360. OSB is not a suitable substrate for this material.

Preparation

Be sure the surface is clean, dry and free of grease, paint, oil, dust or any foreign material that may prevent proper adhesion. Do not apply to wet plywood.

APPLICATION

Plywood Seam Treatment

WP-40 6" Sheet Membrane must be applied to all plywood seams for reinforcement. WP-40 may also be installed behind or on top of the flashing as a backup waterproofing measure. WP-40 may not be left exposed to the sun for more than 7 days. See Sheet Membrane Product Specification Sheet.

Flashing

Westcoat requires a minimum of 26-gauge bondersized sheet metal. Use 4 x 4 inch "L" flashing at the junction of the wall and deck. Use 2 x 4 inch drip edge flashing for fascia edge. Overlap all ends at least four inches. Apply two beads of WP-51 Polyurethane Sealant to all seams. Nail flashing in a staggered pattern every 4-6 inches. (Note: If the flashing is not bondersized, it must be etched in order for the coating to adhere properly).



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Island Court

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APN: 423-675-05-00

PRINT DATE: AUGUST 20, 2018
PROJECT PHASE: PERMIT SET

rev.	date.	remark
△	JUNE 12, 2018	Plan check revisions
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DATE



EXTERIOR ELEVATIONS
A4.1
17.28

PLAN LEGEND

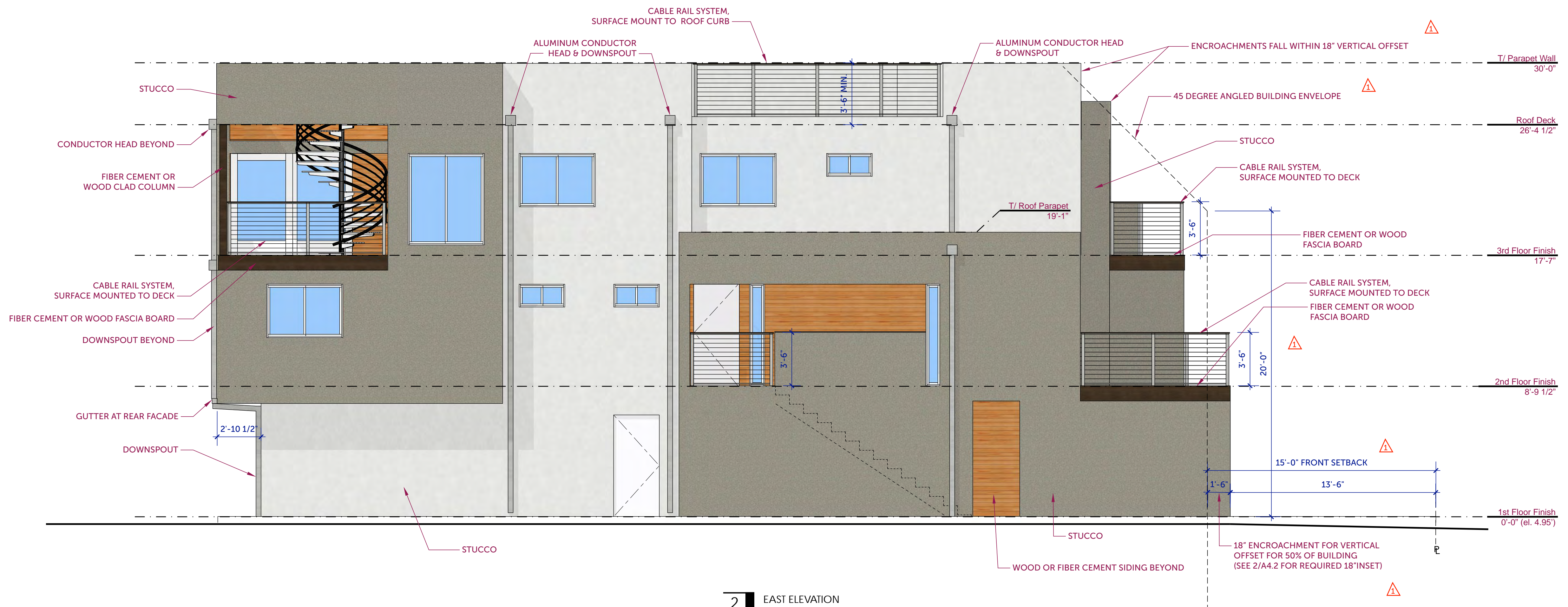
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- KEYNOTE

WALL & FLOOR TYPES

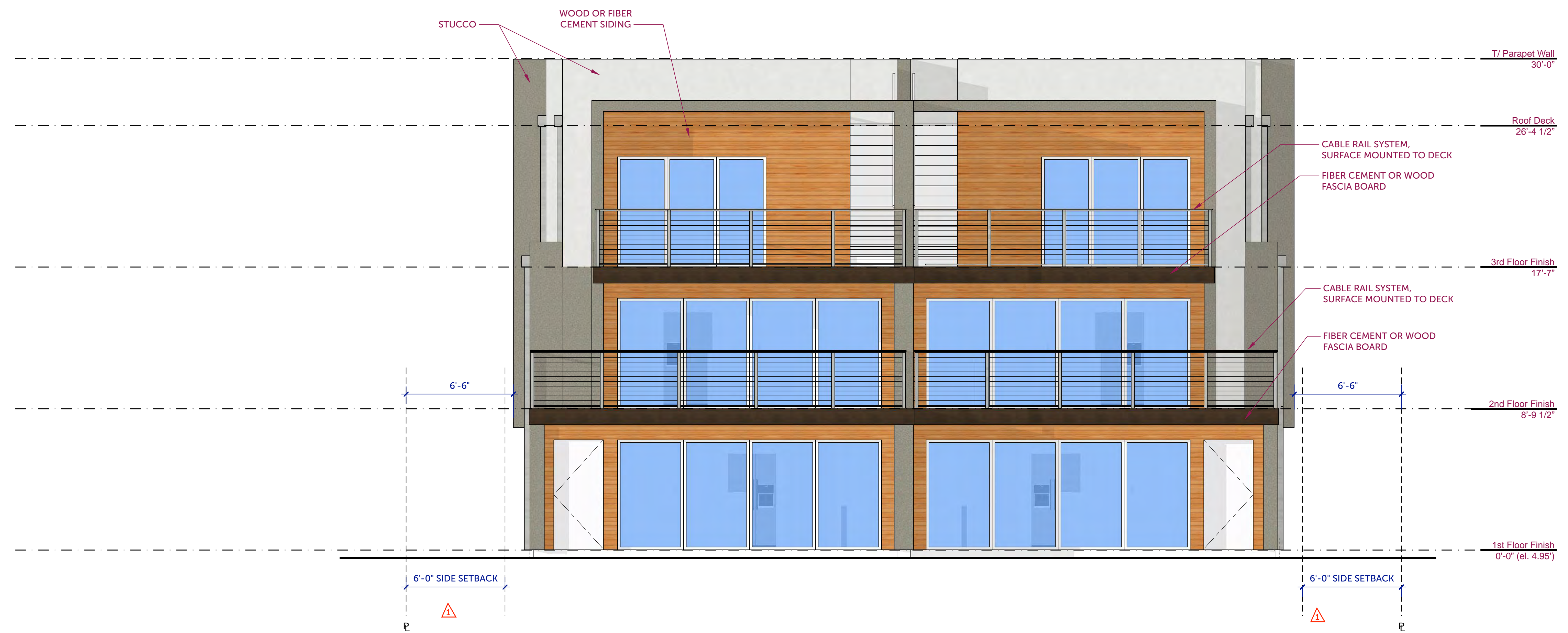
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2 EAST ELEVATION
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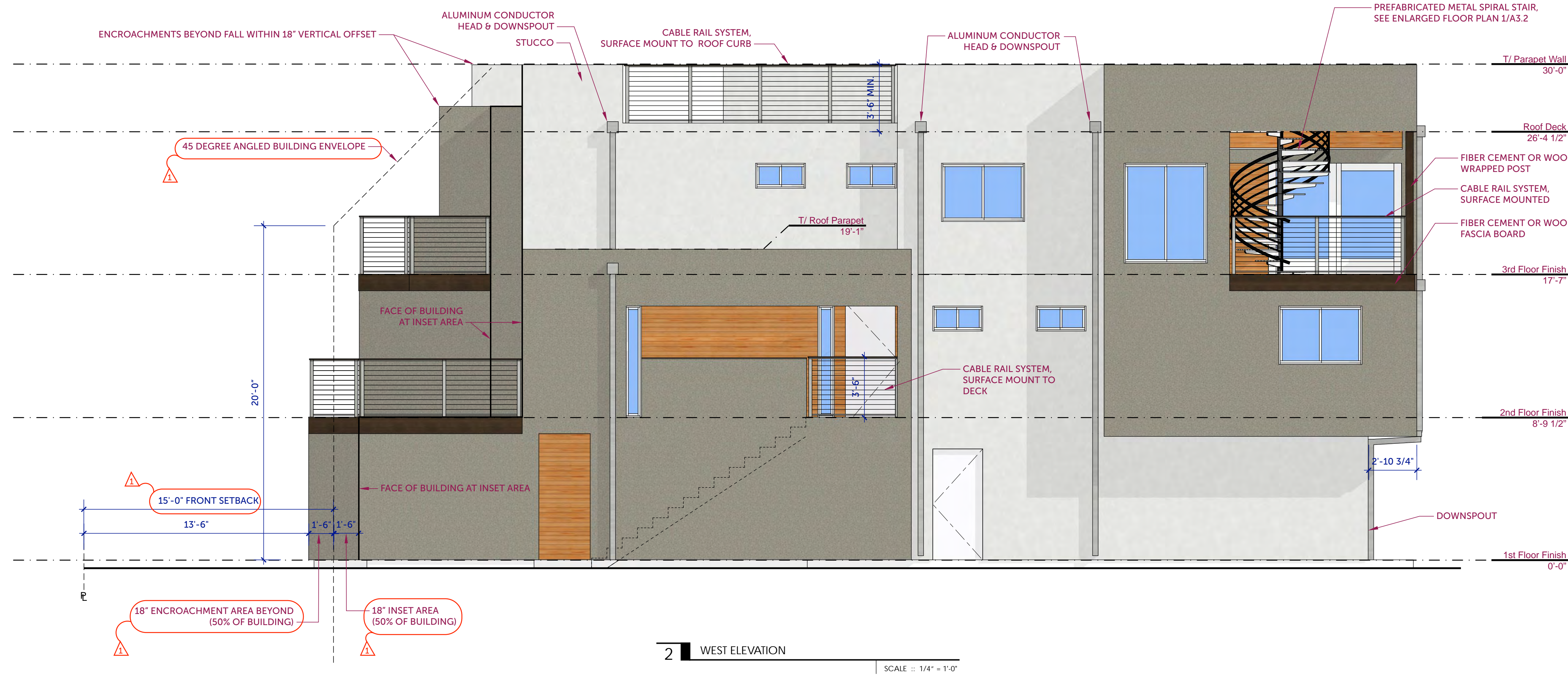
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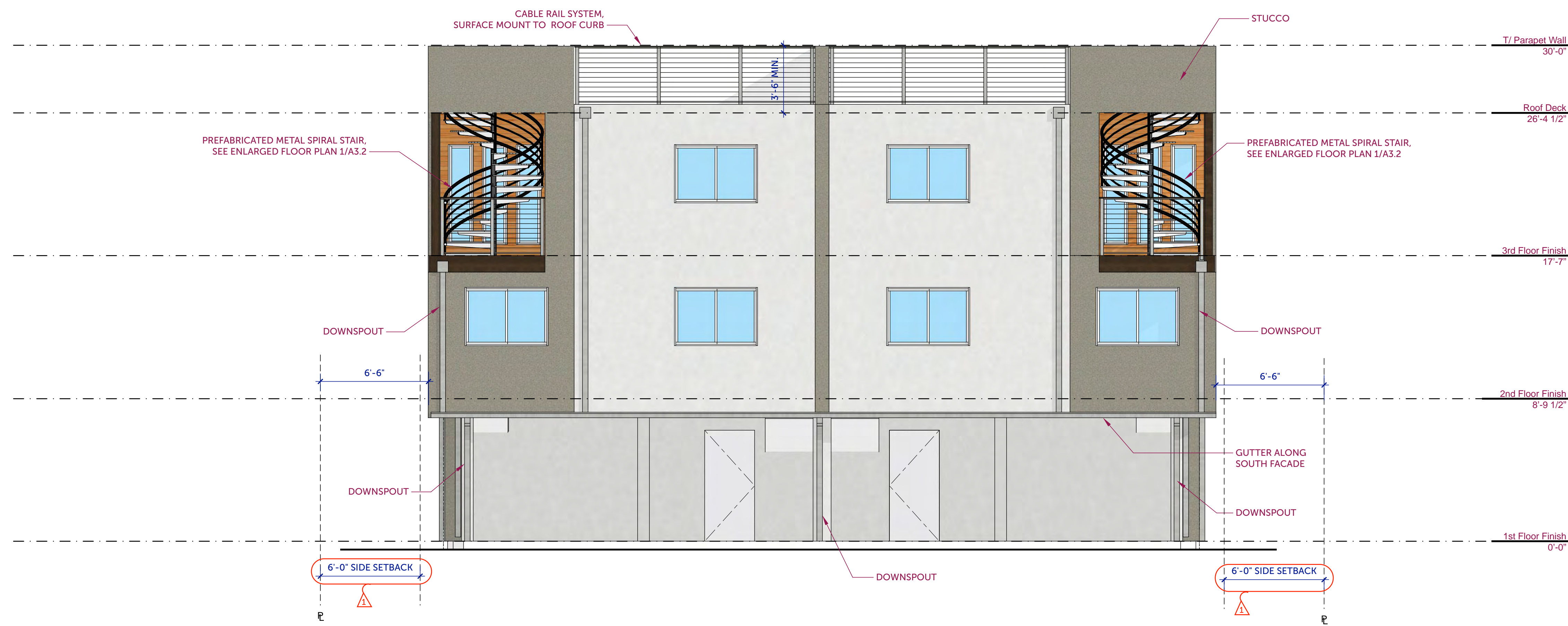
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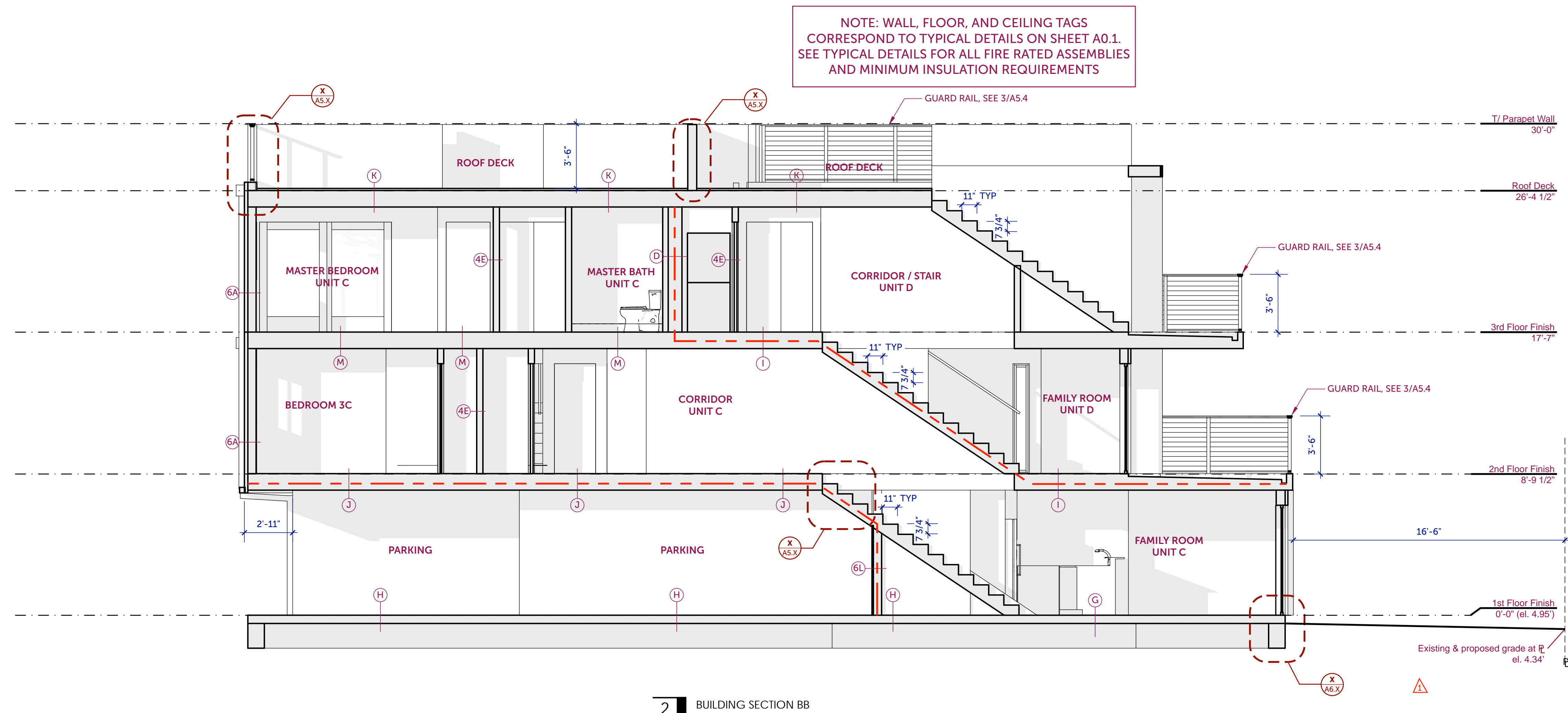
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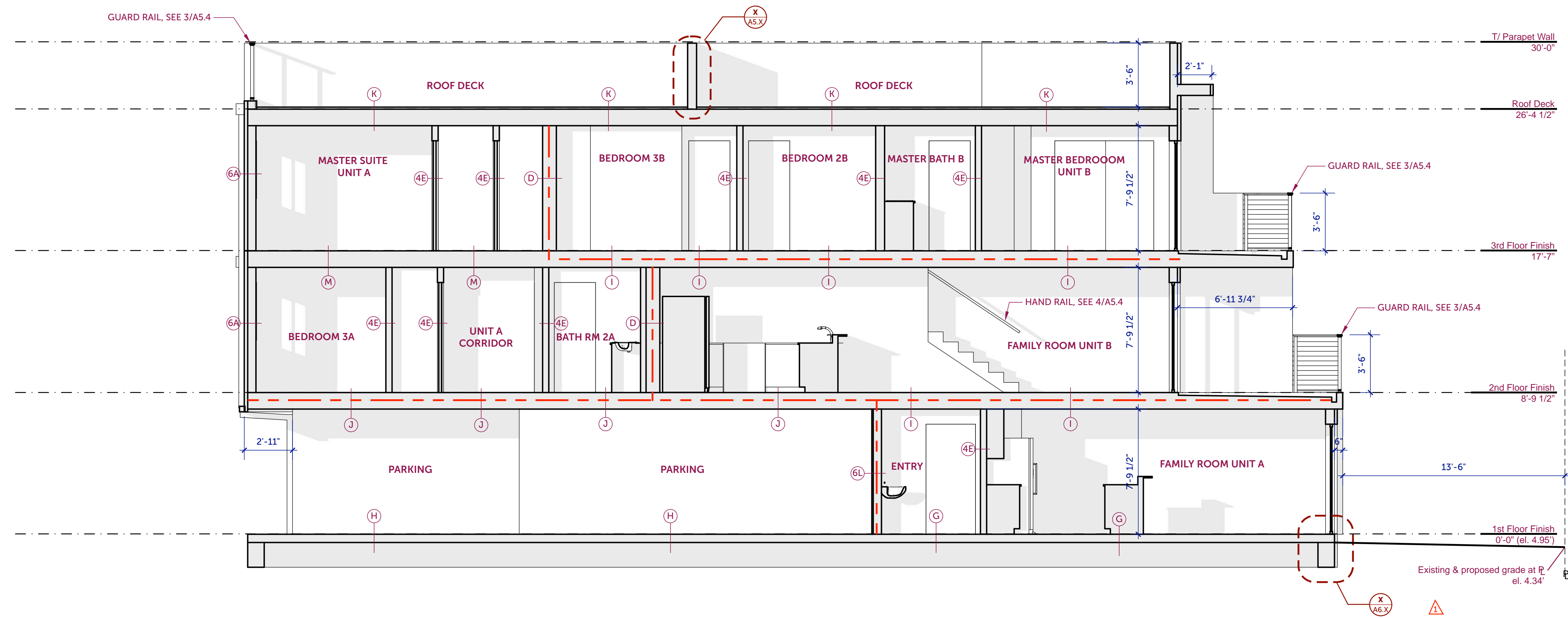
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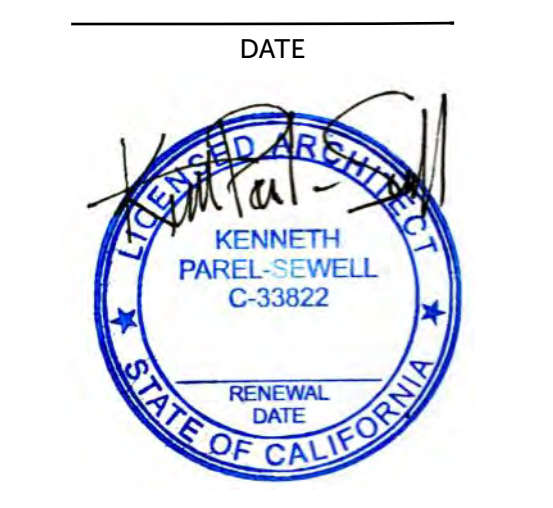
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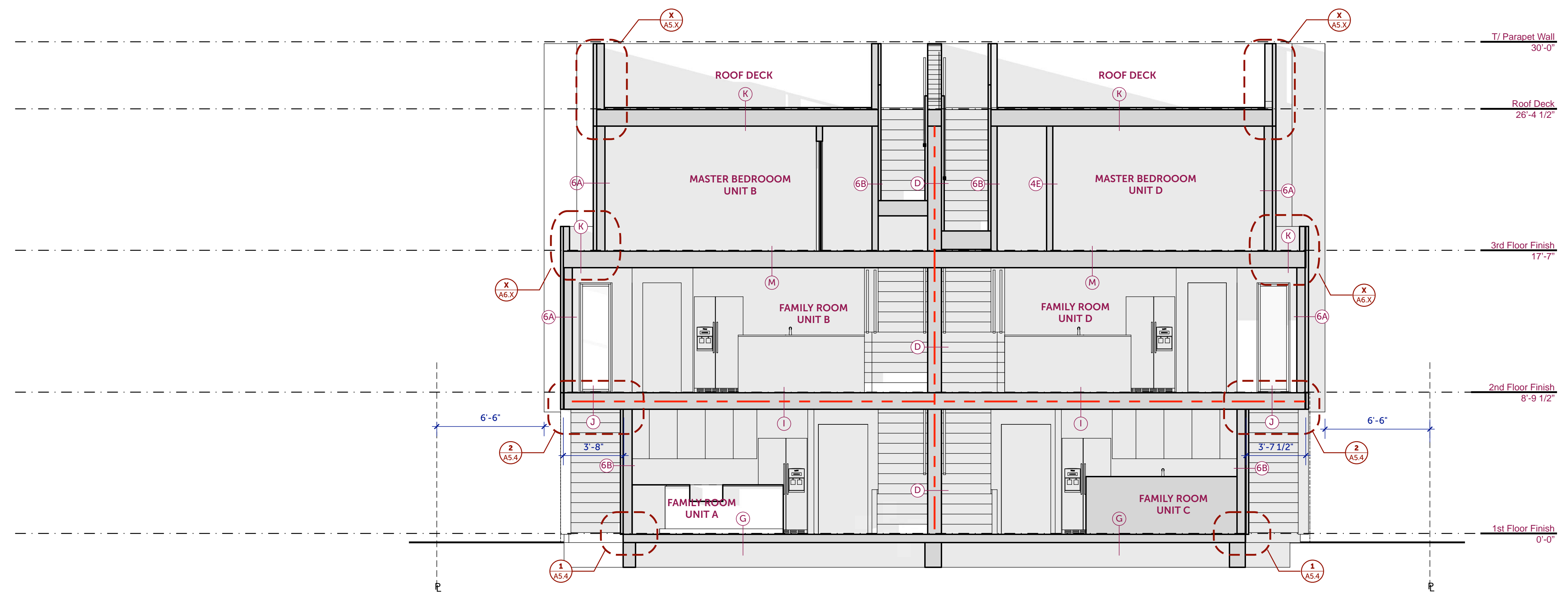
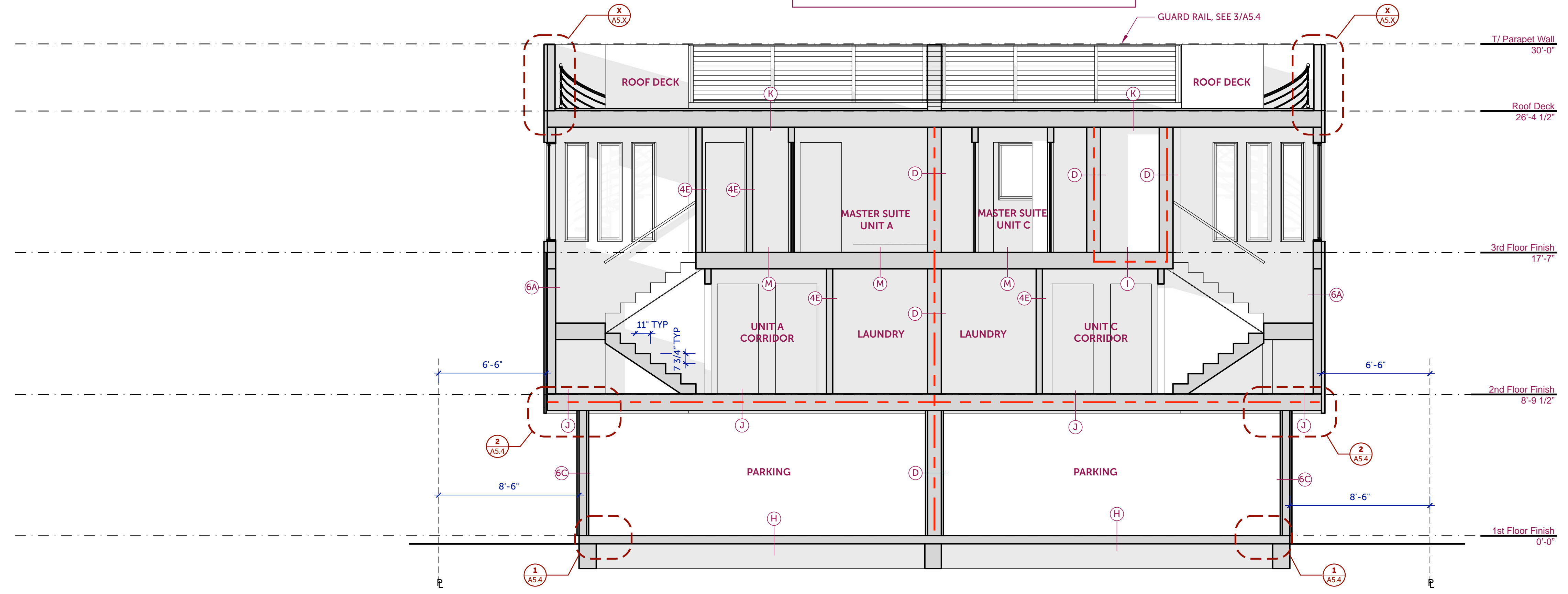
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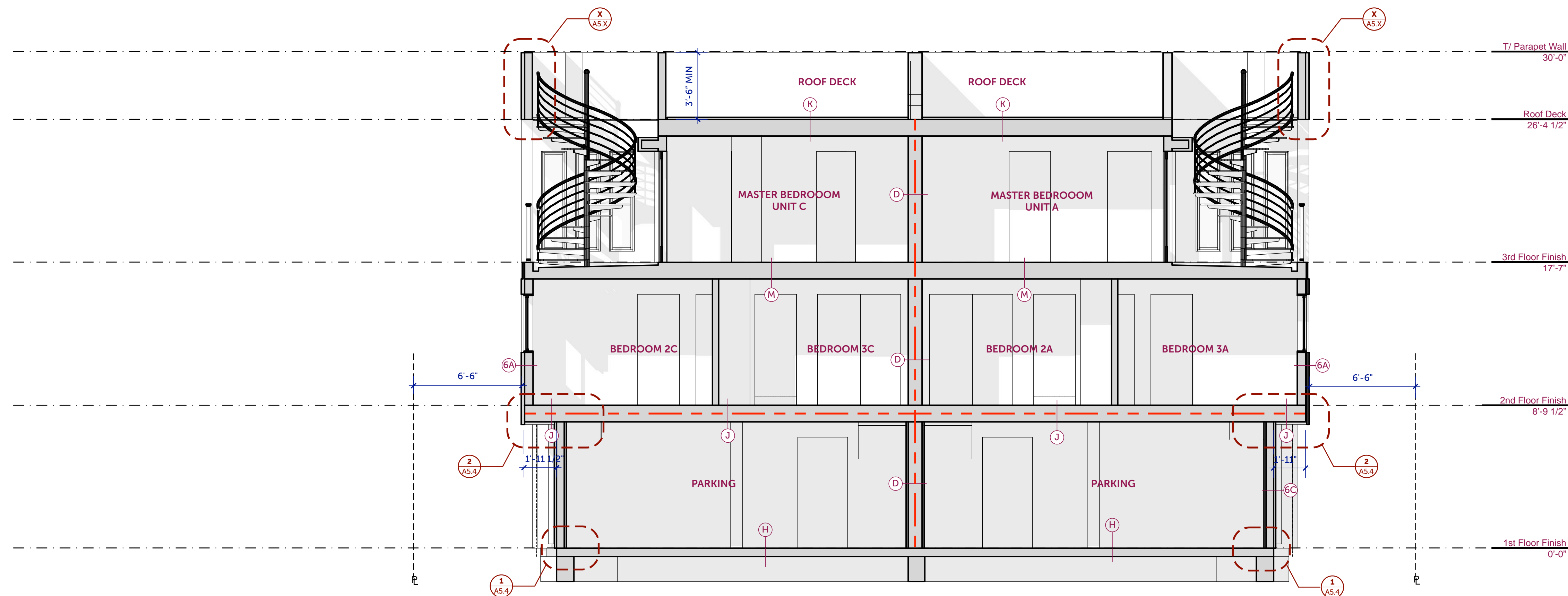
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RENEWAL DATE

BUILDING SECTIONS
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WINDOW SCHEDULE & DETAILS

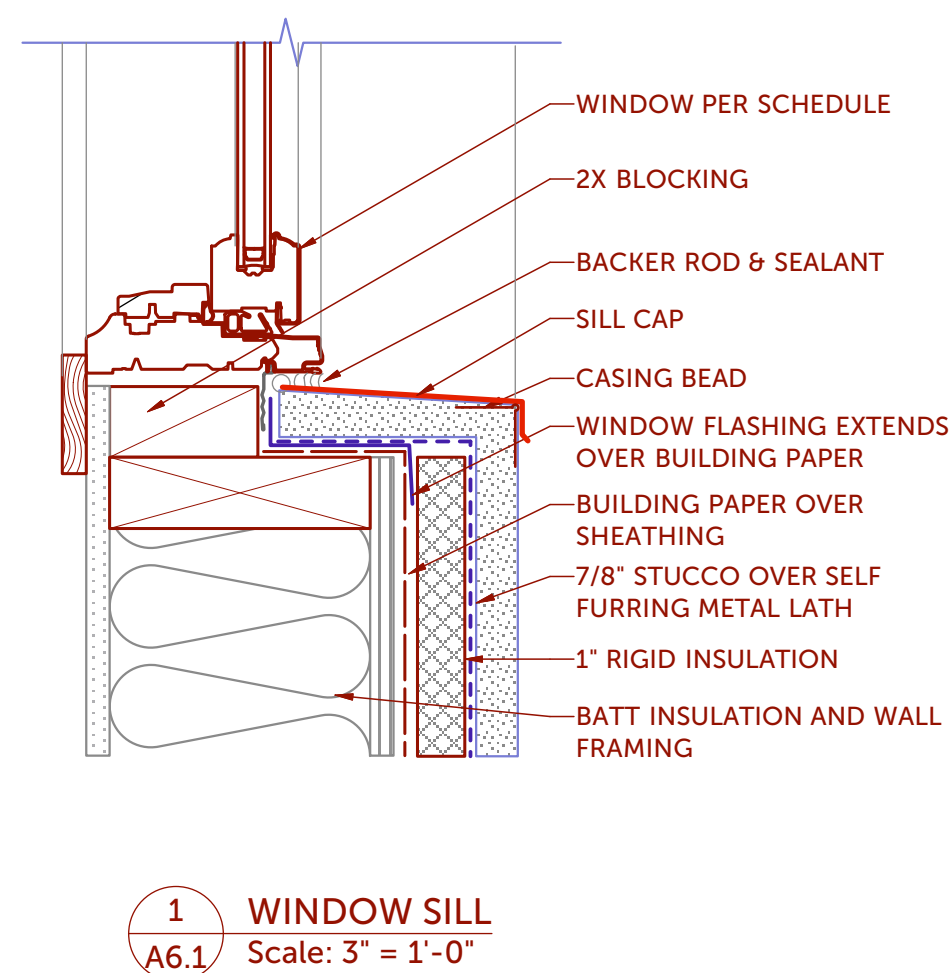
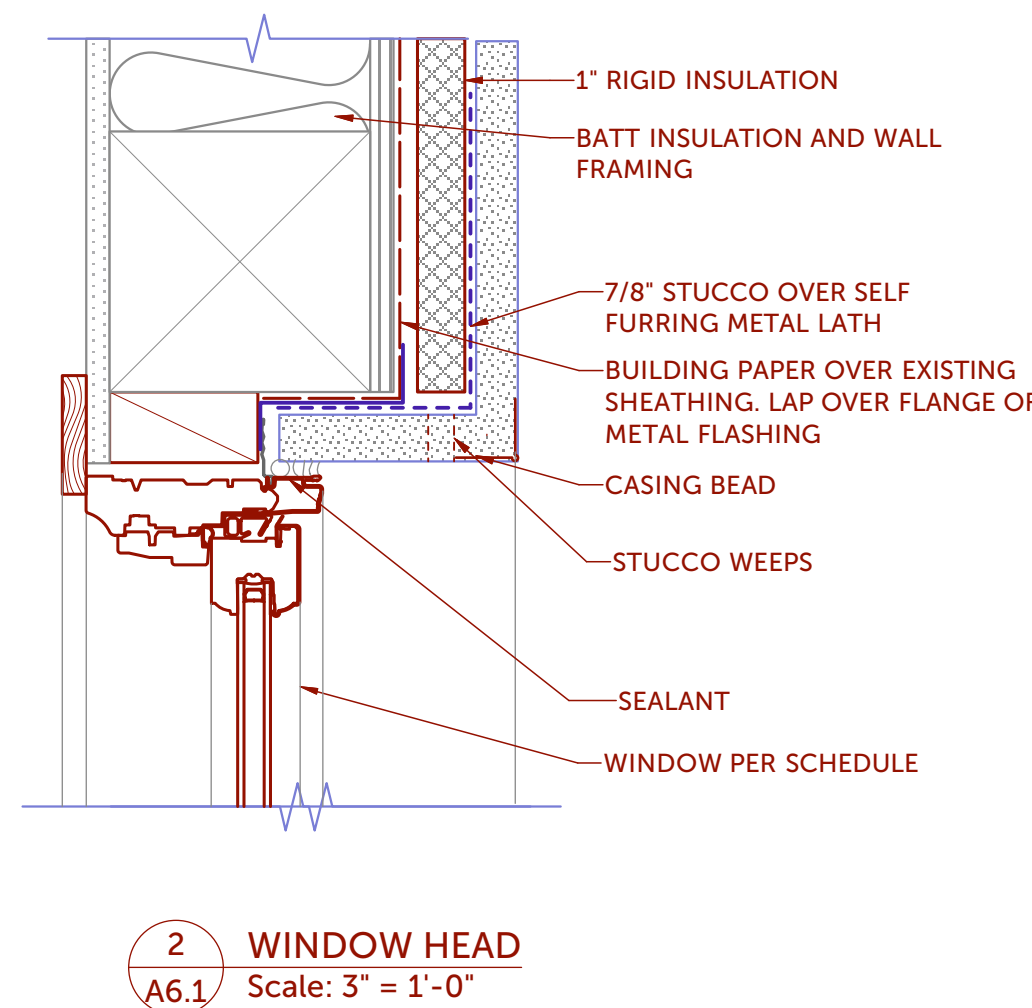
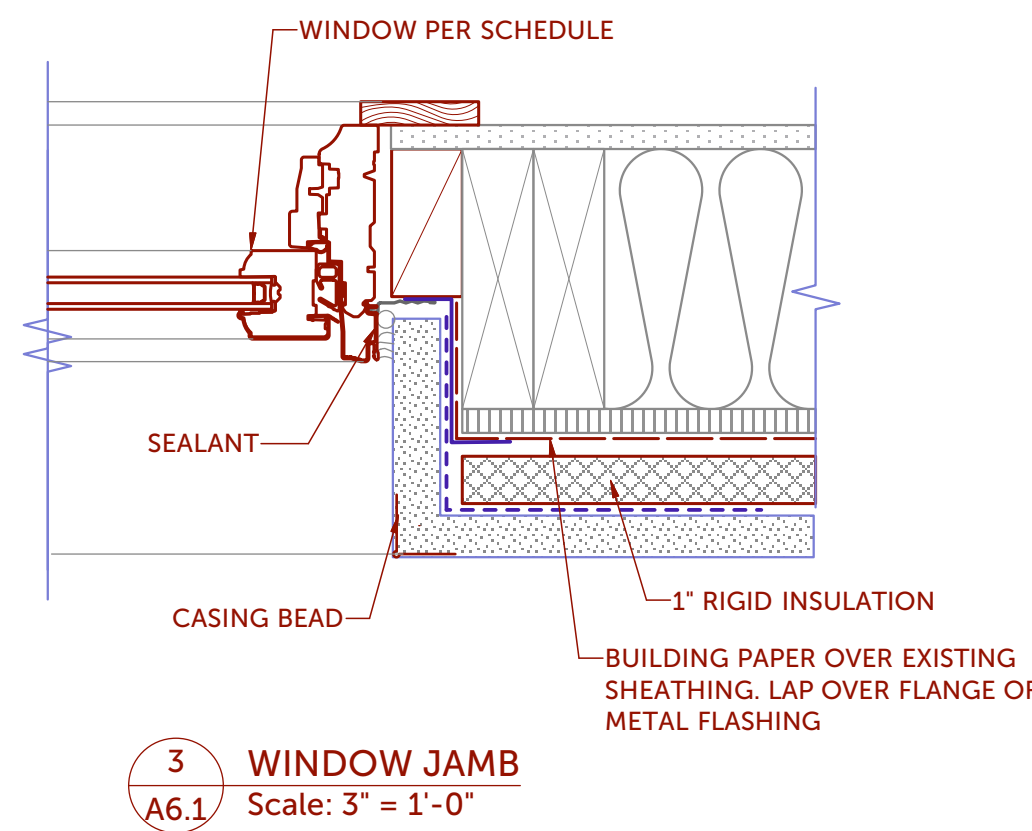
A6.1
1728

ID#	TYPE	LOCATION	WINDOW				FRAME		DETAILS			GLAZING		COMMENTS			
			Manufacturer	Series/Model	Width	Height	T/Frame	Material	Finish	Sill	Head	Jamb	GLASS		Fenestration area		
W-01	Fixed	Family Room 'B'	Milgard	Montecito	2'-0"	6'-8"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	13.3 sq ft	T
W-02	Fixed	Family Room 'B'	Milgard	Montecito	1'-0"	6'-8"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	6.7 sq ft	
W-03	Fixed	Entry 'B'	Milgard	Montecito	1'-0"	6'-8"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	6.7 sq ft	T
W-04	Slider	Powder Rm 'B'	Milgard	Montecito	3'-0"	1'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	4.5 sq ft	
W-05	Slider	Bath 2 'A'	Milgard	Montecito	3'-0"	1'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	4.5 sq ft	
W-06	Slider	Bedroom 3 'A'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-07	Slider	Bedroom 3 'A'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-08	Slider	Bedroom 2 'A'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-09	Slider	Bedroom 3 'C'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-10	Slider	Bedroom 2 'C'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-11	Slider	Bedroom 2 'C'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-12	Slider	Bath 2 'C'	Milgard	Montecito	3'-0"	1'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	4.5 sq ft	
W-13	Slider	Powder Rm 'C'	Milgard	Montecito	3'-0"	1'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	4.5 sq ft	
W-14	Fixed	Entry 'C'	Milgard	Montecito	1'-0"	6'-8"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	6.7 sq ft	T
W-15	Fixed	Family Room 'C'	Milgard	Montecito	1'-0"	6'-8"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	6.7 sq ft	
W-16	Fixed	Family Room 'C'	Milgard	Montecito	2'-0"	6'-8"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	13.3 sq ft	T
W-17	Slider	Master Bath 'B'	Milgard	Montecito	3'-0"	1'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	4.5 sq ft	
W-18	Slider	Bedroom 2 'B'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-19	Slider	Bedroom 3 'B'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-20	Fixed	Stairs 'A'	Milgard	Montecito	1'-6"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	9 sq ft	NOT USED
W-21	Slider	Stairs 'A'	Milgard	Montecito	5'-0"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	30 sq ft	
W-22	Fixed	Stairs 'A'	Milgard	Montecito	1'-6"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	9 sq ft	
W-23	Fixed	Stairs 'A'	Milgard	Montecito	1'-6"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	9 sq ft	T
W-24	Fixed	Stairs 'A'	Milgard	Montecito	1'-6"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	9 sq ft	T
W-25	Slider	Master Bed 'A'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-26	Slider	Master Bed 'C'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	Egress
W-27	Fixed	Stairs 'C'	Milgard	Montecito	1'-6"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	9 sq ft	T
W-28	Fixed	Stairs 'C'	Milgard	Montecito	1'-6"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	9 sq ft	T
W-29	Fixed	Stairs 'C'	Milgard	Montecito	1'-6"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	9 sq ft	
W-30	Slider	Stairs 'C'	Milgard	Montecito	5'-0"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	30 sq ft	
W-31	Fixed	Stairs 'C'	Milgard	Montecito	1'-6"	6'-0"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	9 sq ft	NOT USED
W-32	Slider	Bedroom 2 'D'	Milgard	Montecito	5'-0"	3'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	17.5 sq ft	
W-33	Slider	Bath 2 'D'	Milgard	Montecito	3'-0"	1'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	4.5 sq ft	
W-34	Slider	Master Bath 'D'	Milgard	Montecito	3'-0"	1'-6"	6'-8" AFF	Vinyl				1/A6.1	2/A6.1	3/A6.1	G-01	4.5 sq ft	

NOTES
1 T DENOTES TEMPERED GLASS

GLAZING TYPES & PERFORMANCE INFO

ID#	GLAZING						PERFORMANCE	
	MANUF.	PRODUCT/SERIES	THICKNESS	PANES	FILL	SPACERS	U-FACTOR (0.32 MAX)	SGHC (0.25 MAX)
G-01	Milgard	SunCoat / i89	1/8"	Dual	Air	EdgeGard	0.26	0.24
G-02	Milgard	SunCoatMAX / i89 (Door)	1/8"	Dual	Air	EdgeGard	0.32	0.23





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- CONTRACTOR SHALL MAKE AVAILABLE TO EACH SUBCONTRACTOR, PRIOR TO SIGNING SUBCONTRACTS, COMPLETE COPIES OF THE CONTRACT DOCUMENTS AND KEEP ALL CONTRACTORS UP TO DATE WITH ALL REVISIONS AND CHANGES TO THE CONTRACT DOCUMENTS THROUGHOUT THE PROJECT.
- SUBCONTRACTORS ARE BOUND TO GENERAL NOTES AND CONDITIONS AND PROJECT MANUAL TERMS THAT MAY BE SHOWN ON PAGES OTHER THAN WHERE THEIR WORK IS INDICATED.
- ARCHITECTURAL DRAWINGS ARE INTENDED TO SHOW CONFIGURATION, QUANTITY, AND GENERAL TYPES OF CONSTRUCTION SYSTEMS. SPECIFIC PRODUCTS ARE TO BE SELECTED BY CONTRACTOR AND OWNER. NOTIFY ARCHITECT OF ANY CONFLICT BETWEEN SYSTEMS OR PRODUCTS SELECTED AND DESIGN DOCUMENTS. SCOPE INCLUDES ARCHITECTURAL WORK ONLY.

DOOR SCHEDULE																
ID#	TYPE	LOCATION	DOOR					FRAME		DETAILS			GLAZING (IF APPLICABLE)		HARDWARE	COMMENTS
			Manufacturer	Series/Model	Width	Height	Material	Material	Finish	Threshold	Head	Jamb	ID#	Fenestration area	Set	
EXTERIOR																
DE-01	Swing Simple	Family Room 'C'	Milgard	Montecito	3'-0"	6'-8"	Vinyl	Vinyl								
DE-02	Slider	Family Room 'C'	Milgard	Montecito	16'-0"	6'-8"	Vinyl	Vinyl				G-02	106.7 sq ft			T
DE-03	Slider	Family Room 'A'	Milgard	Montecito	16'-0"	6'-8"	Vinyl	Vinyl				G-02	106.7 sq ft			T
DE-04	Swing Simple	Family Room 'A'	Milgard	Montecito	3'-0"	6'-8"	Vinyl	Vinyl								
DE-05	Swing Simple	Parking	Milgard	Montecito	3'-0"	6'-8"	Vinyl	Vinyl								
DE-06	Swing Simple	Entry 'C'	Milgard	Montecito	3'-0"	6'-8"	Vinyl	Vinyl								
DE-07	Swing Simple	Entry 'A'	Milgard	Montecito	3'-0"	6'-8"	Vinyl	Vinyl								
DE-08	Swing Simple	Parking	Milgard	Montecito	3'-0"	6'-8"	Vinyl	Vinyl								
DE-09	Slider	Family Room 'D'	Milgard	Montecito	16'-0"	6'-8"	Vinyl	Vinyl				G-02	106.7 sq ft			T
DE-10	Slider	Family Room 'B'	Milgard	Montecito	16'-0"	6'-8"	Vinyl	Vinyl				G-02	106.7 sq ft			T
DE-11	Swing Simple	Entry 'D'	Milgard	Montecito	3'-0"	6'-8"	Vinyl	Vinyl								
DE-12	Swing Simple	Entry 'B'	Milgard	Montecito	3'-0"	6'-8"	Vinyl	Vinyl								
DE-13	Slider	Master Bed 'D'	Milgard	Montecito	9'-0"	6'-8"	Vinyl	Vinyl				G-02	60 sq ft			T
DE-14	Slider	Master Bed 'B'	Milgard	Montecito	9'-0"	6'-8"	Vinyl	Vinyl				G-02	60 sq ft			T
DE-15	Slider	Master Bed 'C'	Milgard	Montecito	8'-0"	6'-8"	Vinyl	Vinyl				G-02	53.3 sq ft			T
DE-16	Slider	Master Bed 'A'	Milgard	Montecito	8'-0"	6'-8"	Vinyl	Vinyl				G-02	53.3 sq ft			T
INTERIOR																
DI-01	Swing Simple	Powder Rm 'C'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-02	Swing Simple	Powder Rm 'A'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-03	Swing Simple	Powder Rm 'D'	TBD	TBD	2'-4"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-04	Swing Simple	Powder Rm 'B'	TBD	TBD	2'-4"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-05	Swing Simple	Bath 2 'C'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-06	Sliding Doors	Closet 'C'	TBD	TBD	4'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-07	Bi-fold	Laundry 'C'	TBD	TBD	5'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-08	Bi-fold	Laundry 'A'	TBD	TBD	5'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-09	Sliding Doors	Closet 'A'	TBD	TBD	4'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-10	Swing Simple	Bath 2 'A'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-11	Swing Simple	Closet 'C'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-12	Swing Simple	Bedroom 2 'C'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-13	Swing Simple	Bedroom 3 'C'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-14	Sliding Doors	Closet 'C'	TBD	TBD	5'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-15	Sliding Doors	Closet 'A'	TBD	TBD	5'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-16	Swing Simple	Bedroom 2 'A'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-17	Swing Simple	Bedroom 3 'A'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-18	Swing Simple	Closet 'A'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-19	Sliding Doors	Closet 'D'	TBD	TBD	6'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-20	Sliding Doors	Closet 'B'	TBD	TBD	6'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-21	Swing Simple	Master Bath 'D'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-22	Swing Simple	Master Bed 'D'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-23	Swing Simple	Master Bed 'B'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-24	Swing Simple	Master Bath 'B'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-25	Pocket	Bath 2 'D'	TBD	TBD	2'-4"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-26	Sliding Doors	Closet 'D'	TBD	TBD	4'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-27	Swing Simple	Bedroom 2 'D'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-28	Bi-fold	Laundry 'D'	TBD	TBD	3'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-29	Bi-fold	Laundry 'B'	TBD	TBD	3'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-30	Pocket	Powder Rm 'B'	TBD	TBD	2'-4"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-31	Swing Simple	Bedroom 2 'B'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-32	Swing Simple	Bedroom 3 'B'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-33	Swing Simple	Closet 'B'	TBD	TBD	2'-4"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-34	Swing Simple	Closet 'B'	TBD	TBD	2'-4"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-35	Swing Simple	Closet 'D'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-36	Pocket	Master Bath 'C'	TBD	TBD	2'-4"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-37	Sliding Doors	Closet 'C'	TBD	TBD	3'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-38	Sliding Doors	Closet 'C'	TBD	TBD	3'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-39	Swing Simple	Master Bed 'C'	TBD	TBD	2'-8"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-40	Swing Simple	Master Bath 'A'	TBD	TBD	2'-6"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-41	Sliding Doors	Closet 'A'	TBD	TBD	5'-0"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-42	Swing Simple	Closet 'A'	TBD	TBD	2'-4"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
DI-43	Swing Simple	Master Bed 'A'	TBD	TBD	2'-8"	6'-8"	Wood	Wood	Paint	N/A		N/A	N/A			
NOTES																
1	T	DENOTES TEMPERED GLASS														

GLAZING TYPES & PERFORMANCE INFO								
ID#	GLAZING						PERFORMANCE	
	MANUF.	PRODUCT/SERIES	THICKNESS	PANES	FILL	SPACERS	U-FACTOR (0.32 MAX)	SGHC (0.25 MAX)
G-01	Milgard	SunCoat / i89	1/8"	Dual	Air	EdgeGard	0.26	0.24
G-02	Milgard	SunCoatMAX / i89 (Door)	1/8"	Dual	Air	EdgeGard	0.32	0.23

Island Court

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San Diego, CA 92109

APN: 423-675-05-00

PRINT DATE: JUNE 12, 2018
PROJECT PHASE: PERMIT SET

rev.	date.	remark
△	JUNE 12, 2018	Plan check revisions

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CURRENTLY ADOPTED BUILDING CODES OF SAN DIEGO, CALIFORNIA.

DATE



DOOR SCHEDULE & DETAILS
A6.2
17.28