



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: November 14, 2018 REPORT NO. HO-18-115

HEARING DATE: November 21, 2018

SUBJECT: MPF 7895 Convoy Court Suite Nos. 15, 16, and 17, Process Three Decision

PROJECT NUMBER: [585404](#)

OWNER/APPLICANT: Arjmand Family Trust, Parvin Mahboubian Trust, Manutcheri Family Trust, and Houshang Arjmand Trust, Owners and Vista Prime Management, LLC, Applicant

SUMMARY

Issue: Should the Hearing Officer deny a Marijuana Production Facility located at 7895 Convoy Court Suite Nos. 15, 16, and 17 in the IL-2-1 Zone of the Kearny Mesa Community Plan?

Staff Recommendation: Deny Conditional Use Permit No. 2065662.

Community Planning Group Recommendation: On September 19, 2018, the Kearny Mesa Community Planning Group voted 5-3-0 to recommend approval of the project with no additional conditions (Attachment 7).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303(c), New Construction or conversion of small structures. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on August 6, 2018, and the opportunity to appeal that determination ended August 20, 2018 (Attachment 6).

BACKGROUND

The Kearny Mesa Community Plan designates the site for industrial development (Attachment 1). The project site is designated for Industrial and Business Parks uses by the Kearny Mesa Community Plan. The Industrial and Business Parks designation is intended to accommodate manufacturing, storage, warehousing, distribution, and similar uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities. The 3.86-acre site, with an existing commercial and light industrial development

comprised of two single-story buildings, was constructed in 1973 and is located at 7875 and 7895 Convoy Court in the IL-2-1 Zone (Attachment 2). The existing 26,675 square-foot Building "A" at 7875 Convoy Court and 38,360 square-foot Building "B" at 7895 Convoy Court are both currently being used for commercial and light industrial uses (Attachment 3). The purpose and intent of the IL-2-1 Zone is to permit light industrial, office, and commercial uses.

Marijuana Production Facilities (MPFs) are restricted to forty City-wide, within light and heavy industrial zones. MPFs require compliance with San Diego Municipal Code (SDMC), section 141.1004, which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPFs also require a minimum distance requirement of 100 feet from a residential zone. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPFs must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

DISCUSSION

Project Description

The MPF 7895 Convoy Court Suite Nos. 15, 16, and 17 Project (Project) proposes a Conditional Use Permit for a MPF to operate within Suites No. 15-17, which consists of 8,351 square feet of floor area, within an existing 38,360 square-foot, one-story building located at 7895 Convoy Court, Suites No. 15-17, in the Kearny Mesa Community Plan area. The Project proposes tenant improvements to the existing building to facilitate operations including the cultivation, manufacturing, storing, and distributing of cannabis products to State of California licensed outlets. Retail sales are prohibited. The 3.86-acre site is designated Industrial and Business Park per the Kearny Mesa Community Plan and is subject to the IL-2-1 Zone requirements.

The Project would utilize approximately 2,684 square feet of the interior area for common areas including a lobby, entry, conference room, offices, vault, break room, hall corridor, electrical room, and unisex locker/restrooms. The remaining approximately 5,667 square feet of the interior area would be utilized for edible production, extraction, processing, packaging and labeling, delivery processing and sorting room, storage, flower room, vegetation room, a chemical storage room, an irrigation room, and a drying and trimming room.

The manufacturing activities that would be associated with this Project includes the extraction, processing, and manufacturing of edible cannabis products, as well as packaging and labeling for distribution. Along with the tenant improvements, the Project would also implement an odor suppression system to control odors produced from the activities within the facility. A combination of carbon filters, space pressurization controls, and air sanitation units would be installed to insure compliance.

The Project proposes interior improvements to organize the interior spaces in the manner required to facilitate the manufacturing process. The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

Public improvements would include the removal and replacement of the two driveways on Convoy Court and the driveway on Mercury Street per current City Standards.

Project Related Issues

On October 25, 2018, the City of San Diego issued the change of use construction permit for the Kairos Christian Church located at 7875 Convoy Court, Suite No. 3 ([Project No. 614896](#)). This church facility is located within the same existing commercial and light industrial development property as the proposed Project and the Project will not meet the 1,000-foot separation distance required between MPFs and churches pursuant to [SDMC sec. 141.1004 \(a\)\(1\)](#). The church facility had previously been operating without the appropriate permit(s) at the location and was subsequently referred to the City's Development Services Department's Code Enforcement Division. A Code Enforcement Case (Record CE 050-1232) was opened regarding the church use and was resolved with the Kairos Christian Church filing an application for their church use and the City's issuance of the change of use. Therefore, the proposed Project does not comply with the minimum separation between uses and City staff cannot support the Project at this location.

Conclusion

City staff has reviewed the proposed Project and determined the project is not in conformance with adopted City Council policies and regulations of the Land Development Code. The design of the proposed Project does not comply with the development regulations for Industrial Use Category – Separately Regulated Uses, Marijuana Production Facilities pursuant to SDMC Chapter 14, Article 1, Division 10. City staff has provided draft findings (Attachment 4) to deny the proposed Project. However, should the Hearing Officer decide to approve the Project, draft conditions of approval have been provided (Attachment 5). Staff is recommending the Hearing Officer deny the Project as presented.

ALTERNATIVES

1. Deny Conditional Use Permit No. 2065662.
2. Approve Conditional Use Permit No. 2065662, if the findings required to deny the project cannot be affirmed.

Respectfully submitted,



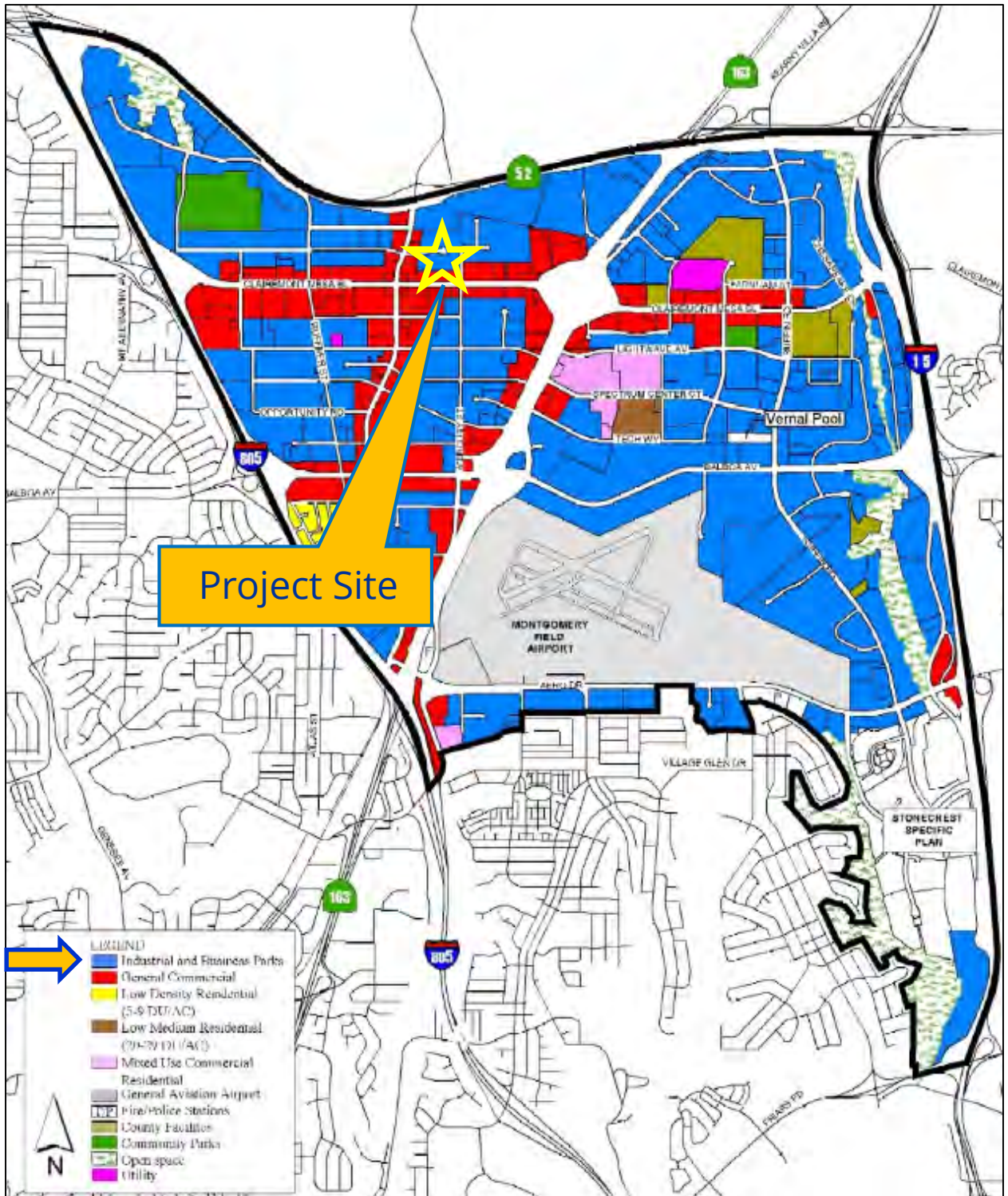
Tim Daly

Development Project Manager

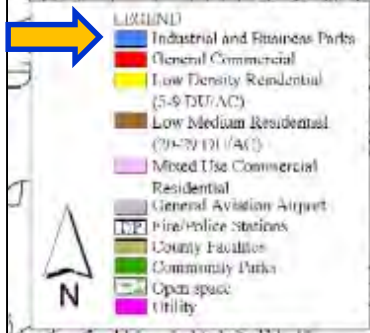
Attachments:

1. Community Plan Land Use Map
2. Project Location Map

3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans

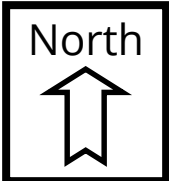


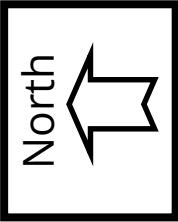
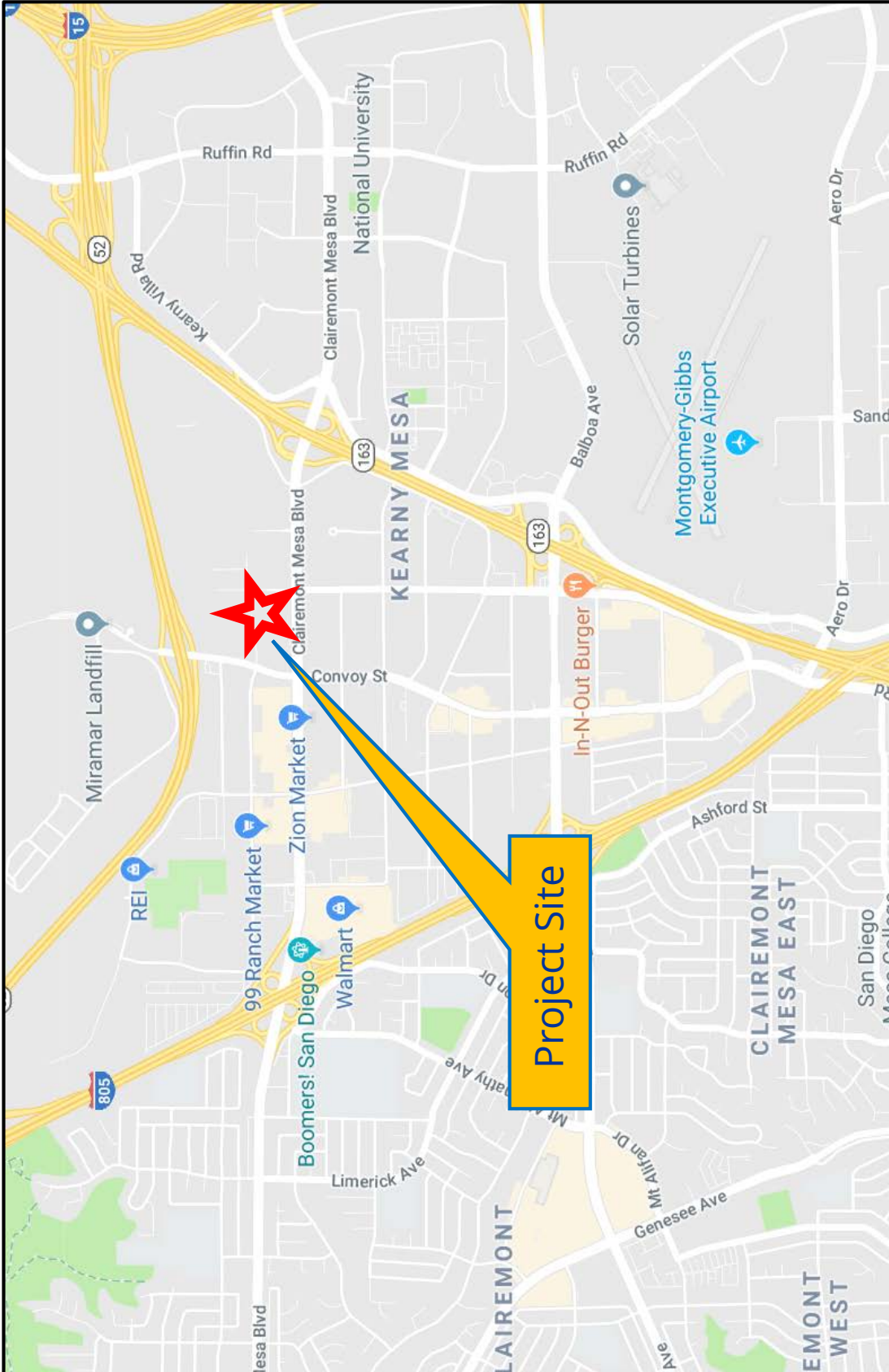
Project Site

 A legend box containing a color key for land use zones, a north arrow, and a yellow arrow pointing to the project site. The legend includes categories such as Industrial and Business Parks, General Commercial, Low Density Residential, Low Medium Residential, Mixed Use Commercial Residential, General Aviation Airport, Fire/Police Stations, County Facilities, Community Parks, Open space, and Utility.

Community Land Use Map

MPF 7895 Convoy Court, Suites 15, 16, and 17
PROJECT NO. 585404

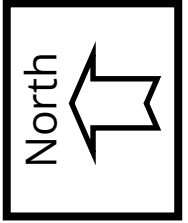




Project Location Map

MPF 7895 Convoy Court, Suites 15, 16, and 17
PROJECT NO. 585404





Aerial Photograph

MPF 7895 Convoy Court, Suites 15, 16, and 17
PROJECT NO. 585404



HEARING OFFICER RESOLUTION NO. HO-XXXX
CONDITIONAL USE PERMIT NO. 2065662
MPF 7895 CONVOY COURT SUITES NO. 15, 16, and 17 - PROJECT NO. 585404

WHEREAS, ARJMAND FAMILY TRUST (07-05-91), PARVIN MAHBOUBIAN TRUST (12-15-88), MANUTCHERI FAMILY TRUST (8-26-02), and HOUSHANG ARJMAND TRUST (6-10-88) Owners, and VISTA PRIME MANAGEMENT, LLC, a California limited liability company, Permittee, filed an application with the City of San Diego for a permit to operate a Marijuana Production Facility within 8,351 square feet of floor area, in an existing 38,360 square-foot building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2065662), on portions of a 3.86-acre site;

WHEREAS, the project site is located at 7895 Convoy Court, Suite Nos. 15, 16, and 17 in the IL-2-1 Zone, FAA Part 77 Noticing Area (MCAS Miramar and Montgomery Field), Airport Influence Area - Review Area 1 (MCAS Miramar and Montgomery Field), Airport Land Use Compatibility Overlay Zone - MCAS Miramar and Montgomery Field, and Very High Fire Hazard Severity Zone of the Kearny Mesa Community Plan;

WHEREAS, the project site is legally described as Lot 50 of Kearny Industrial Park Unit No. 5, in the City of San Diego, County of San Diego, State of California, according the Map No. 6964, filed in the office of the County Recorder of San Diego County on June 10, 1971;

WHEREAS, on November 21, 2018, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2065662 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego that it adopts the following findings with respect to Conditional Use Permit No. 2065662:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. **Findings for all Conditional Use Permits:**

a. **The proposed development will not adversely affect the applicable land use plan.**

The MPF 7895 Convoy Court Suite Nos. 15, 16, and 17 Project (Project) proposes a Conditional Use Permit for a MPF to operate within Suites No. 15-17, which consists of 8,351 square feet of floor area, within an existing 38,360 square-foot, one-story building located at 7895 Convoy Court, Suites No. 15-17, in the IL-2-1 Zone of the Kearny Mesa Community Plan area.

The Community Plan designates the site for industrial development. The Project site is designated for Industrial and Business Parks uses by the Kearny Mesa Community Plan. The Industrial and Business Parks designation is intended to accommodate manufacturing, storage, warehousing, distribution, and similar uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit and is consistent with the community plan, and therefore will not adversely affect the applicable land use plan.

b. **The proposed development will not be detrimental to the public health, safety, and welfare.**

The Project proposes to operate a MPF within an existing Suites No. 15-17, which consists of 8,351 square feet of floor area, within an existing 38,360 square-foot, one-story building located at 7895 Convoy Court, Suites No. 15-17. MPF's are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with San Diego Municipal Code (SDMC), section 141.1004, which require a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also have a minimum distance requirement of 100 feet from a residential zone. An existing church facility at 7875 Convoy Court, Suite No. 3, is located within the same existing commercial and light industrial development property as the proposed Project and the Project will not meet the 1,000-foot separation distance required between MPF's and churches pursuant to SDMC sec. 141.1004 (a)(1).

The proposed development will be detrimental to the public's health, safety and welfare in that the proposed MPF does not comply with the separation requirements as set forth in SDMC Section 141.1004 (a). The referenced regulations have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons patronizing, residing or working within the surrounding area. Therefore, the proposed MPF will be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The Project proposes to operate a MPF within an existing Suites No. 15-17, which consists of 8,351 square feet of floor area, within an existing 38,360 square-foot, one-story building located at 7895 Convoy Court, Suites No. 15-17. MPF's require compliance with SDMC sec. 141.1004, which require a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also have a minimum distance requirement of 100 feet from a residential zone. An existing church facility at 7875 Convoy Court, Suite No. 3, is located within the same existing commercial and light industrial development property as the proposed Project and the Project will not meet the 1,000-foot separation distance required between MPFs and churches pursuant to SDMC sec. 141.1004 (a)(1).

The proposed MPF is not in conformance with adopted City Council policies and regulations of the Land Development Code. The design of the proposed Project does not comply with the development regulations for Industrial Use Category – Separately Regulated Uses, Marijuana Production Facilities pursuant to SDMC Chapter 14, Article 1, Division 10. Therefore, the proposed MPF will not comply with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The Project proposes to operate a MPF within an existing Suites No. 15-17, which consists of 8,351 square feet of floor area, within an existing 38,360 square-foot, one-story building located at 7895 Convoy Court, Suites No. 15-17. MPF's require compliance with SDMC sec. 141.1004, which require a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also have a minimum distance requirement of 100 feet from a residential zone. An existing church facility at 7875 Convoy Court, Suite No. 3, is located within the same existing commercial and light industrial development property as the proposed Project and the Project will not meet the 1,000-foot separation distance required between MPFs and churches pursuant to SDMC sec. 141.1004 (a)(1).

The proposed MPF is not in conformance with adopted City Council policies and regulations of the Land Development Code. The design of the proposed Project does not comply with the development regulations for Industrial Use Category – Separately Regulated Uses, Marijuana Production Facilities pursuant to SDMC Chapter 14, Article 1, Division 10. Therefore, the proposed MPF is not an appropriate use at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2065662 is hereby DENIED by the Hearing Officer to the referenced Owner/Permittee.

Tim Daly
Development Project Manager
Development Services

Adopted on: November 21, 2018

IO#: 24007563

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007591

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2065662
MPF 7895 CONVOY COURT SUITES NO. 15, 16, and 17 - PROJECT NO. 585404
HEARING OFFICER

This Conditional Use Permit No. 2065662 [Permit] is granted by the Hearing Officer of the City of San Diego to Arjmand Family Trust (07-05-91), Parvin Mahboubian Trust (12-15-88), Manutcheri Family Trust (8-26-02), and Houshang Arjmand Trust (6-10-88) Owners, and Vista Prime Management, LLC, a California limited liability company, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 3.86-acre site is located at 7895 Convoy Court, Suites 15, 16, and 17 in the IL-2-1 Zone, FAA Part 77 Noticing Area (MCAS Miramar and Montgomery Field), Airport Influence Area - Review Area 1 (MCAS Miramar and Montgomery Field), Airport Land Use Compatibility Overlay Zone - MCAS Miramar and Montgomery Field, and Very High Fire Hazard Severity Zone within the Kearny Mesa Community Plan area. The project site is legally described as Lot 50 of Kearny Industrial Park Unit No. 5, in the City of San Diego, County of San Diego, State of California, according the Map No. 6964, filed in the office of the County Recorder of San Diego County on June 10, 1971.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate a Marijuana Production Facility within 8,351 square feet of floor area, in an existing 38,360 square-foot building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 21, 2018, on file in the Development Services Department.

The project shall include:

- a. Operation of a Marijuana Production Facility within 8,351 square feet of floor area, in an existing 38,360 square-foot building located at 7895 Convoy Court, Suites 15, 16, and 17. The operation shall include the cultivation, processing, packaging and distribution of marijuana consistent with the requirements of State of California statutes and California Departments of Food and Agriculture, Consumer Affairs and Public Health regulations;
- b. Off-street parking;
- c. Landscaping (planting, irrigation and landscape related improvements); and

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 7, 2021.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on December 7, 2023. Upon expiration of this Permit, the facilities and improvements described herein, excluding any public improvements, shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

BUILDING OFFICIAL REQUIREMENTS:

12. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the two (2) existing 24 feet wide driveways adjacent to the site on Convoy Court, per current City Standards, satisfactory to the City Engineer.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond the reconstruction of the existing 24 feet wide driveway and the existing 14 feet wide driveway adjacent to the site on Mercury Street, per current City Standards, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of new sidewalks along project frontage, per current City Standards adjacent to the site on Convoy Court and Mercury Street, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the trees/landscape over 30-inches and irrigation in the Convoy Court and Mercury Street Right-of-Way.
17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to remove the portion of existing Concrete Masonry Unit block wall in visibility triangle, adjacent to the site on Mercury Street.
18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to remove the existing gate on driveway accessing project's site, adjacent to the site on Mercury Street.
19. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
20. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

21. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
22. All operations shall be conducted indoors within a secured structure. All equipment and storage shall be also located within a secure structure.

23. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented to deflect light away from adjacent properties.
24. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
25. The name and emergency contact telephone number of an operator or manager shall be posted outside the marijuana production facility in a location visible to the public from the public right-of-way in character size at least two inches in height. The permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a marijuana production facility shall limit signage on the exterior of the property visible from the public right-of-way to the address.
26. A permit shall be obtained as required pursuant to SDMC Chapter 4, Article 2, Division 15.
27. The retail sale of marijuana and marijuana products shall only be conducted by a marijuana outlet in accordance with SDMC Section 141.0504. A marijuana production facility is prohibited from providing marijuana and marijuana products to any person other than another marijuana production facility, a testing lab, or a marijuana outlet.
28. The marijuana production facility, adjacent public sidewalks, and areas under the control of the marijuana production facility shall be maintained free of litter and graffiti at all times.
29. The marijuana production facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
30. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility, to the satisfaction of the Development Services Department.

LANDSCAPE REQUIREMENTS:

31. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
32. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the

Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

33. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40 square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC sec. 142.0403(b)5.

34. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

35. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- Cannabis businesses that operate or provide services within the City of San Diego are liable for a monthly gross receipts tax. As referenced in San Diego Municipal Code Section [34.0103 \(b\)](#), taxable activities include but are not limited to, transporting, manufacturing, cultivating, packaging, or retail sales of cannabis and any ancillary products in the City. For additional information, contact the Office of the City Treasurer at 619-615-1580.

APPROVED by the Hearing Officer of the City of San Diego on November 21, 2018 by Resolution No. HO-XXXX.

DRAFT

ATTACHMENT 5

Permit Type/PTS Approval No.: Conditional Use Permit No. 2065662
Date of Approval: November 21, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Tim Daly
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Arjmand Family Trust (07-05-91)
Owner

By _____
Name:
Title:

Parvin Mahboubian Trust (12-15-88)
Owner

By _____
Name:
Title:

Manutcheri Family Trust (8-26-02)
Owner

By _____
Name:
Title:

Houshang Arjmand Trust (6-10-88)
Owner

By _____
Name:
Title:

Vista Prime Management, LLC
a California limited liability company
Permittee

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

DRAFT

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: MPF 7895 Convoy Court, Suites# 15-17 / 585404 **SCH No.:** N.A.

Project Location-Specific: 7895 Convoy Court, Suites# 15-17, San Diego, CA 92111

Project Location-City/County: San Diego / San Diego

Description of nature and purpose of the Project: Conditional Use Permit for a Marijuana Production Facility to operate within Suites #15-17, which consists of 8,351-square-foot of floor area within an existing 38,359-square-foot one-story building located at 7895 Convoy Court, Suites# 15-17. The 3.86-acre site is located within the IL-2-1 zone within the Kearny Mesa Community Plan area. Project operations would include the processing, manufacturing, and distribution of cannabis products to State of California licensed outlets. The 6.56-acre site is designated Industrial and Business Parks and is subject to the IL-2-1 zone requirements. The project is also subject to Airport FAA Part 77 Noticing Area (MCAS Miramar 535'-545' ASML and Montgomery Field 482'-492' - Site Elevation at 440' ASML), Airport Influence Area - MCAS Miramar and Montgomery Field, Airport Review Area 1- MCAS Miramar and Montgomery Field, Airport Land Use Compatibility Overlay Zone - MCAS Miramar and Montgomery Field, Safety Zone 6 - Montgomery Field, Airport Land Use Compatibility Overlay Zone - Noise - 60-65 CNEL - MCAS Miramar, Airport Safety Zone 6, Geologic Hazards Type 52, Transit Priority Overlay Zone, Outdoor Lighting Zone 3, Penasquitos Watershed, Miramar Sub-area Watershed, and Council District 6.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: George Sadler, Vista Prime Management, 7895 Convoy Court, Suite #17, San Diego, CA, 92111, (858) 256-9221

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15303(c) (New Construction or Conversion of Small Structures)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303(c) which allows for the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Furthermore, the site is located an within existing urbanized area, and the exemption also applies to up to four such commercial buildings not exceeding 10,000 square feet in floor area, as is the case for the size of the suites under consideration, and the use does not propose the use of significant amounts of hazardous substances and the site located where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. The exceptions listed in CEQA Section 15300.2 would not apply.

ATTACHMENT 6

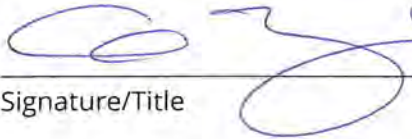
Lead Agency Contact Person: Chris Tracy, AICP Senior Planner

Telephone: (619) 446-5381

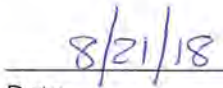
If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA


Signature/Title

CHRIS TRACY, AICP
Senior Planner


Date

Check One:

- (X) Signed By Lead Agency
() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

From: [Jeffrey Sallen/USA](#)
To: [Daly, Tim](#)
Subject: RE: PTS#585404, MPF 7895 Convoy Ct - Did you get recommendation from KM Community Planning Group on 9/19/18
Date: Monday, November 12, 2018 10:06:54 AM
Attachments: [image004.png](#)

On September 19th, the KMPG voted approve the project (5-3-0).

Best,

Jeffrey Sallen
Brokerage Services
CA Lic # 01799957

Direct: 858.546.5443
Mobile: 619.559.5300
Fax: 858.630.6320
jeffrey.sallen@cushwake.com




www.cushmanwakefield.com



From: Daly, Tim [mailto:TPDaly@sandiego.gov]
Sent: Saturday, November 10, 2018 3:24 PM
To: Jeffrey Sallen/USA <Jeffrey.Sallen@cushwake.com>
Subject: RE: PTS#585404, MPF 7895 Convoy Ct - Did you get recommendation from KM Community Planning Group on 9/19/18
Importance: High

Hello Jeffrey,
On Sept. 19, 2018, did your group vote and make recommendation on the Proj. No. 585404, MPF 7895 Convoy Ct.? If so, can you let me know the vote count, recommendation, and any conditions?
Thank you,

Tim Daly
Development Project Manager III
City of San Diego Development Services Dept., MS-501
1222 First Ave., San Diego, CA 92101
☎ 619.446.5356 | ✉ tpdaly@sandiego.gov
Office Hours: 7:30am - 3:30pm, Mon. - Fri.

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	<p>City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000</p>	<p>FORM DS-318</p> <p>October 2017</p>
---	---	---

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title: Convoy Ct MPF **Project No. For City Use Only:** 585404
Project Address: 7895 Convoy Ct., Suites 15, 16 and 17, San Diego, CA 92111

Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? CA Corporate Identification No. 95-3356708
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

1. Name of Individual: Arjmand Family Trust 07-05-91 Owner Tenant/Lessee Successor Agency
 Street Address: 1595 Alta La Jolla Dr.
 City: La Jolla State: CA Zip: 92037
 Phone No.: 858-459-6219 Fax No.: 858-459-9478 Email: tarjmand@gmail.com
 Signature: [Signature] Date: 11-7-17
 Additional pages Attached: Yes No

Applicant

Name of Individual: VISTA PRIME MANAGEMENT Owner Tenant/Lessee Successor Agency
 Street Address: 7895 CONVOY COURT Suite 17
 City: SAN DIEGO State: CA Zip: 92111
 Phone No.: 858-256-9221 Fax No.: Email: vistaprime.management@a4hoo.com
 Signature: [Signature] Date: 11-7-17
 Additional pages Attached: Yes No

Other Financially Interested Persons Owner

2. Name of Individual: Mahboubian, Parvin Trust 12-15-88 Owner Tenant/Lessee Successor Agency
 Street Address: c/o 1595 Alta La Jolla Dr.
 City: La Jolla State: CA Zip: 92037
 Phone No.: Fax No.: Email:
 Signature: P. Mahboubian Date: 11-7-17
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (10-17)


See attached CA Notarial Certificate
 Date: 11/10/2017
 [Signature]

Other property owners at
7895 Convoy court, San Diego, CA 92111

3. Manutchehri Family Revocable Trust
dated 8-26-2002

c/o 1595 Alta La Jolla Dr.
La Jolla, CA 92037


no phone, fax, or email

signature  p.o.a., Date 11-7-17

4. Houshang Arjmand Trust dated 6-10-88

c/o 1595 Alta La Jolla Dr.
La Jolla, CA 92037

no phone, fax, or email

signature  p.o.a., Date 11-7-17

These 4 Trusts have 100% ownership of
Mesa Business Park LLC

Certificate of Acknowledgment

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

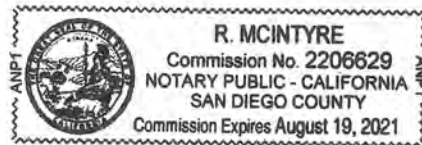
County of San Diego }

On November 10, 2017 before me, R. McIntyre, Notary Public, personally appeared Sohrab Arjmand and Parvin Mahboubian-

_____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) ~~is~~/are subscribed to the within instrument and acknowledged to me that ~~he~~/she/they executed the same in ~~his~~/~~her~~/their authorized capacity(ies), and that by ~~his~~/~~her~~/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal



Signature R. McIntyre (Seal)

Title of Document Attached to: DS-318 ownership Disclosure Statement

7895 ConvoY Ct., Suites 15,16 & 17, San Diego, CA 92111

CONDITIONAL USE PERMIT

Marijuana Production Facility (MPF)



3956 30th Street, San Diego, CA 92104
 techn@techn.us.com sustain@techn.us.com
 619-940-5814 313-595-5814

CONSULTANTS

PROJECT INFORMATION

PROJECT ADDRESS:	7895 ConvoY Ct. #15, 16 & 17 San Diego, CA 92111
ASSASSORS PARCEL NUMBER:	356-060-04-00
LEGAL DESCRIPTION:	Lot: 50 Map Ref: 006964 Abbreviated Description: LOT:50 CITY:SAN DIEGO SUBD:KEARNY INDUSTRIAL PARK UNIT #5 006964 LOT 50 City/Mun/Twp: SAN DIEGO
YEAR BUILT:	1973
EXISTING OCCUPANCY CLASSIFICATION:	F-2 (No Change, F-2 Occupancy)
EXISTING USE:	Office / Medical Marijuana Production Facility
PROPOSED USE:	Marijuana Production Facility
CONSTRUCTION TYPE:	TYPE VN (Per Original Building Permit)
NUMBER OF STORIES:	2
NUMBER OF BUILDINGS:	2
BUILDING HEIGHT:	30'-10 1/2"
LOT AREA:	168,263.3 S.F. 3.86 ACRES
GROSS FLOOR AREA of Project Suites (#15, 16 and 17)	8,351.0 sf (No Change, F-2 Occupancy)
TOTAL GROSS FLOOR AREA BUILDING (Remainder of Build B)	30,008.5 sf
TOTAL GROSS FLOOR AREA BUILDING B (7895 ConvoY Ct.)	38,359.6 sf (F-2 Occupancy)
TOTAL GROSS FLOOR AREA BUILDING A (7875 ConvoY Ct.)	26,675.0 sf (F-2 Occupancy)
TOTAL GROSS FLOOR AREA BUILDINGS A&B (7875 & 7895 ConvoY Ct.)	65,034.6 sf
Existing Landscape Area	23,650.7 sf
	14.06% of Total Lot Area

ZONING INFORMATION

BASE ZONE:	IL-2-1
Overlay Zones:	Airport Influence Area (AIA) (MCAS Miramar and Montgomery Field), FAA Part 77 Noticing Area (MCAS Miramar 535' to 545', and Montgomery Field 482' to 492' - site elevation 440'), Very High Fire Hazard Severity Zone.
Hazards:	Geologic Hazard Category 52
NUMBER OF BUILDINGS:	2
SETBACKS:	FRONT: 15'-0" (min) 20'-0" (std) STREET: 15'-0" (min) 20'-0" (std) SIDE: 10'-0" REAR: 0'-0" (min) 15'-0" (std) No Height Limit
MAX. STRUCTURE HEIGHT:	0.0 N/A sf
MAXIMUM FLOOR AREA RATIO:	0.4
ACTUAL FLOOR AREA RATIO:	65,034.6 sf

PARKING CALCULATION

ConvoY Ct MPF			
San Diego, CA 92111			
PARKING CALCULATIONS			
Uses (Project Suite)	Area (sf)	Ratio(per 1,000sf of GFA)	Parking Stalls
* Cultivation Area	1,772.4	2.50	4.4
* Manufacturing Area	3,152.9	2.50	7.9
Other Light Industrial Uses	3,425.7	2.50	8.6
Total Parking Required (Project Suite)			21
Total Project Suite Gross Floor Area			
	8,351.0		
PARKING CALCULATIONS (Remaining Building Area)			
Existing Uses (7875 & 7895 ConvoY Ct. Suites 1-14 & 18-25)	Area (sf)	Ratio (per 1,000sf of GFA)	Parking Stalls
Remaining Area (Previously Conforming, No Change)	56,683.5	2.55	144.54
Total Parking Required (Suites 1-14 & 18-25)			145
Total Parking Required (Project Suite + Remaining Building Area)			166
Total Gross Floor Area (Project Suite + Remaining Building Area)			
	65,034.6		
Parking Ratios per SDMC SDMC Sec. 142.0530 - Table 142.05E Table 142.05G			
Proposed Carpool / Zero Emission Vehicle Parking (On Site)	Parking Spaces	Ratio	Parking Spaces
SDMC 142.0530(d)(B)(i)	166	151 to 200	16.0
Total Carpool / Zero Emission Vehicle Spaces Required *			16
Proposed Motorcycle Spaces (On site)	Parking Spaces	Ratio	Parking Spaces
	166	0.02	3.3
Total Motorcycle Spaces Required *			3
Proposed Bicycle Spaces (Short Term)	Parking Spaces	Ratio	Bicycle Spaces
5% of Reg. Automobile Parking (Min. Req. = 2)	166	0.05	8.3
Total Short term Bicycle Spaces Required			8
Proposed Bicycle Spaces (Long Term)	Parking Spaces	Ratio	Parking Spaces
5% of Reg. Automobile Parking (Min. Req. = 1)	166	0.05	8.3
Total Long term Bicycle Spaces Required			8
EXISTING PARKING			
Parking Spaces (Previously Conforming)	Parking Spaces / Area (sf)	Ratio	Parking Spaces
Accessible Spaces (Previously Conforming, On Site)	65,034.6	2.55	166
Bicycle Parking (On Site)	166.0	(Unknown)	4
Motorcycle Parking (On site)	0.0	0.0	0
PROPOSED PARKING	Parking Spaces / Area (sf)	Ratio	Parking Spaces
Parking Spaces (Provided On Site)	65,034.6	Varies	169
Accessible Spaces (Required On Site)	166	151-200 per Table 11B-208.2	6
Carpool / Zero Emission Vehicles (Required On Site)	166	151-200	16
Bicycle Parking Long-Term / Short-Term (Required On Site)	166	0.05	16
Motorcycle Parking (Required On site)	166	0.02	3
TOTAL (Includes bicycle and motorcycle)			204
PARKING SUMMARY - Proposed Project			
Standard Automobile Parking Spaces	147.0		
Carpool / Zero Emissions Parking Spaces	16.0		
Accessible Automobile Parking Spaces	6		
Total	169.0		

MARK [DATE] DESCRIPTION

PROJECT NO.:	1726
CAD DWG FILE:	0001-0001 COVER SHEET.DWG
DRAWN BY:	Abhay Schweitzer, B.P., C.G., S.V.
CHK'D BY:	Abhay Schweitzer
COPYRIGHT: TECHN@techn.us.com reserves all copyright and other property rights in this drawing and shall retain all rights in the design and content of this drawing.	

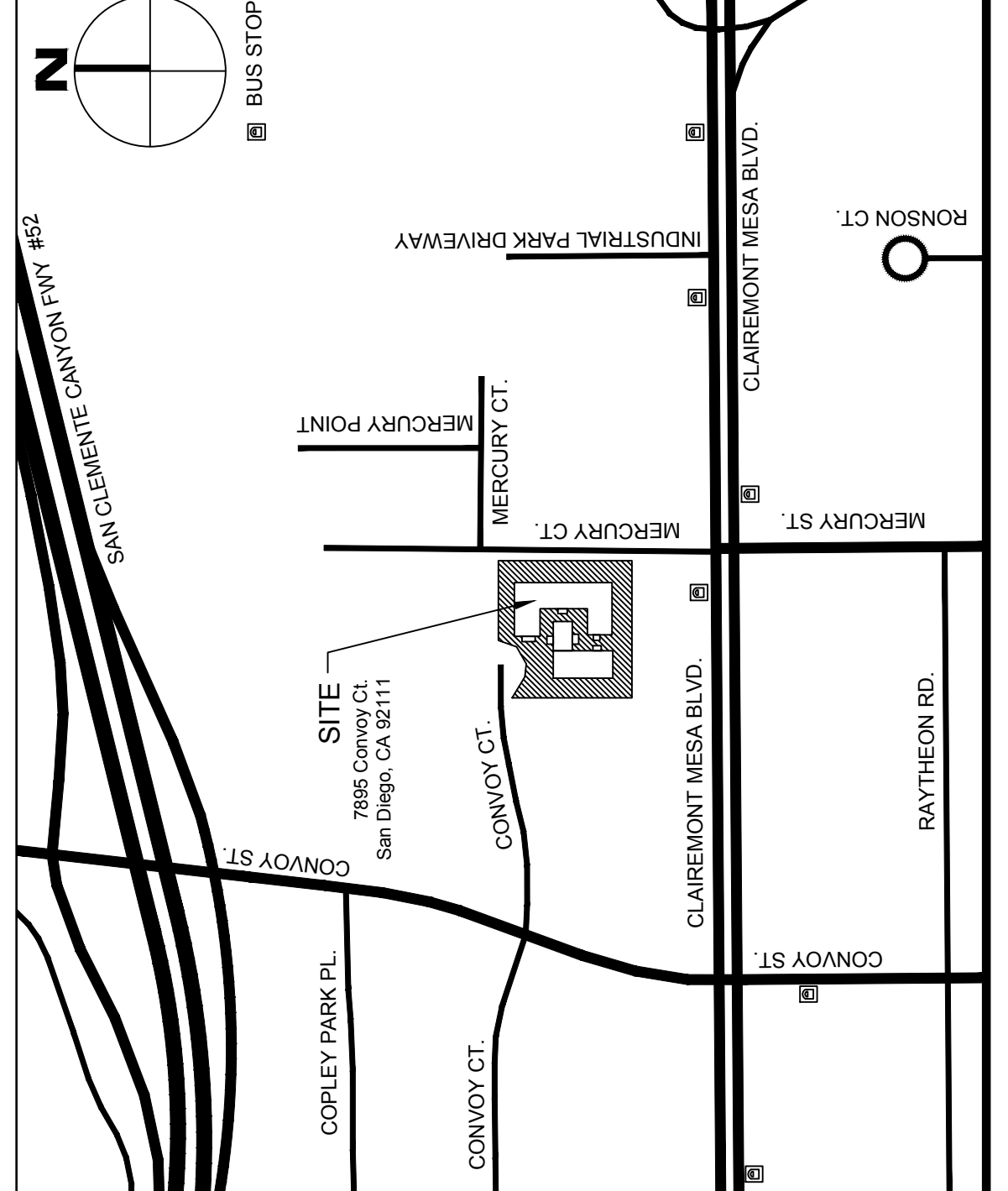
COVER SHEET

SHEET TITLE	COVER SHEET
SHEET NO.	1
SHEET OF	12
G001	

SHEET INDEX

#	SHEET NAME
G001	Cover Sheet
G002	Forms - DS-560 & I-4 / I-5
G003	CUP Conditions
	Topographic Survey
A101	Site Plan - Existing
A101A	Site Plan - Proposed
A101B	BMP - Proposed
A102	First Floor Plan - Existing
A103	Roof Plan - Existing
A104	First Floor Security Plan - Proposed
A105	Accessible Path Enlarged Plan - Proposed
A101	Accessible Path Enlarged Plan - Proposed

VICINITY MAP



PROJECT TEAM

OWNER:
 ARIMAND FAMILY TRUST (07-05-91); MAHBOUBIAN PARVIN TRUST (12-15-88)
 1595 Alta La Jolla Dr., La Jolla, CA 92037

APPLICANT:
 Vista Prime Management, LLC
 Client Contact: Cody Sadler
 vistaprimemangement@yahoo.com

DESIGN FIRM:
 TECHN@techn.us.com
 Project Contact: Abhay Schweitzer - Assoc. AIA
 3956 30th Street, San Diego, CA 92104
 Phone #: 619-940-5814
 email: abhay@techn.us.com

SURVEYOR:
 LG Land Surveying, Inc.
 Contact: John P. Gervais
 30355 Callejo Feliz Ter
 Valley Center, CA 92082
 Phone #: 619-535-1172

CONDITIONS FOR MARIJUANA PRODUCTION FACILITY - CUP

- The Marijuana Production Facility shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.

SCOPE OF WORK

- Project consist of a converting existing suites 15, 16 & 17 with an approximate area of 8,351sf located in Building B, into a Marijuana Production Facility.
- Site Improvements include:
 - Re-striping of existing parking facility
 - Long-term and short-term bicycle parking.
 - Improvement of 4 driveway curb cuts to meet current city standards.
 - Pedestrian access from ROW
- *Request for Conditional Use Permit to operate a Marijuana Production Facility.

APPLICABLE CODES

- City of San Diego Municipal Code
- 2016 California Building Code
- 2016 California Green Code
- 2016 California Plumbing Code
- 2016 California Electrical Code
- 2016 California Mechanical Code

CONSULTANTS

7895 CONVOY Ct., Suites 15, 16 & 17
San Diego, CA 92111

PROPERTY OWNER
ARIMAND FAMILY TRUST (07-05-91);
MAHBOUBIAN PARVIN TRUST
(12-15-88)

31	11/13/21	CDP	Competence Review
32	11/15/21	CDP	Competence Review
33	01/13/22	CDP - Submittal 2	
34	04/24/22	CDP - Submittal 3	
35	05/21/22	CDP - Submittal 4	
36	07/17/22	CDP - Submittal 5	
MARK DATE DESCRIPTION			
PROJECT NO.: 1126			
CAD DWG FILE: 0001-0003 COVER SHEET.DWG			
DRAWN BY: Abhay Schwetzer, B.P., C.G., S.V.			
CHK'D BY: Abhay Schwetzer			
COPYRIGHT: TECHNINE Design reserves all copyright and other proprietary rights in the design and drawings herein. No reproduction or transmission without the express written consent of TECHNINE.			
SHEET TITLE			
FORMS - DS-560 & I-4 / I-5			

Page 2 of 4 City of San Diego - Development Services - Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a high threat to water quality. The State Construction General Permit (CGP) determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

1. **ASBS**
 - a. Projects located in the ASBS watershed.
 2. **High Priority**
 - a. Project 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
 - b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
 3. **Medium Priority**
 - a. Projects 1 acre or more but not subject to an ASBS or high priority designation.
 - b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
 4. **Low Priority**
 - a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.
- SECTION 2. Permanent Storm Water BMP Requirements.**
Additional information for determining the requirements is found in the [Storm Water Standards Manual](#).
- PART C: Determine If Not Subject to Permanent Storm Water Requirements.**
Projects that are considered maintenance, or otherwise not categorized as "new development projects" according to the [Storm Water Standards Manual](#) are not subject to Permanent Storm Water BMPs.
- If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".**
If "no" is checked for all of the numbers in Part C continue to Part D.
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No
 2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No
 3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and replacement of damaged pavement (grading, overlay, and pothole repair). Yes No
- [Clear Page 2](#)

FORM DS-560 Storm Water Requirements Applicability Checklist
October 2016

Project Address: 7895 Convey Ct., Suites 15, 16 & 17, San Diego, CA, 92111 Project Number (for City Use Only):
SECTION 1. Construction Storm Water BMP Requirements:
 All construction sites are required to implement construction BMPs in accordance with the performance standards contained in the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.

For all projects complete PART A. If project is required to submit a SWPPP or WPCP, continue to PART B.

- PART A. Determine Construction Phase Storm Water Requirements.**
1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction (SWDCA) and known as the State Construction General Permit (CGP)? (Typically projects with wind towers are exempt from SWDCA) No; next question
 2. Does the project propose construction or demolition activity, including but not limited to: clearing, grading, grubbing, excavation, or any other activity, resulting in ground disturbance and contact with storm water runoff? Yes; WPCP required, skip 3-4 No; next question
 3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pile/retail/replace/ment) Yes; WPCP required, skip 4 No; next question
 4. Does the project only include the following Permit Types listed below? Yes; WPCP required, skip 4
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Sewer lateral or utility service.
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, right of way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk, and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.

Check one of the boxes below, and continue to PART B:

If you checked "yes" for question 1, a SWPPP is REQUIRED. Continue to PART B.

If you checked "no" for question 1, and checked "yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "no" for all questions 1, 3, and checked "yes" for question 4, PART B does not apply and no document is required. Continue to section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/development-services.
 Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.
 DS-560 (10-16)

[Clear Page 1](#)

City of San Diego - Development Services - Storm Water Requirements Applicability Checklist Page 3 of 4

PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt".**
If "no" was checked for all questions in Part D, continue to Part E.
1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erosible permeable areas? Or
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or
 - Are designed and constructed with permeable pavement in accordance with the design sheets guidance in the [SDGWS Storm Water Standards Manual](#)? Yes; PDP exempt requirements apply No; next question
 2. Does the project ONLY include retrofitting or redeveloping existing paved areas, streets or roads designed and constructed in accordance with the design sheets guidance in the [SDGWS Storm Water Standards Manual](#)? Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if project is a Priority Development Project (PDP).
 Projects that are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for every number in PART E, continue to PART F and check the box labeled "Priority Development Project".
If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
 2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
 3. New development or redevelopment of a restaurant. Facilities that sell prepared foods prepared for consumption (e.g., fast food, cafe, or food truck) and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No
 4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on a natural slope that is twenty-five percent or greater. Yes No
 5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No
 6. New development or redevelopment of streets, roads, highways, freeways, and drive ways that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No
- [Clear Page 3](#)



The City of San Diego | Storm Water Standards
 Form I-5A | January 2018 Edition

Source Control BMP Checklist Form I-5A

All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. **Note: All selected BMPs must be shown on the construction plans.**

Source Control Requirement for Standard Projects	Applied?
4.2.1 Prevention of Illicit Discharges into the MS4	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.2 Storm Drain Stenciling or Signage	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.2.6 BMPs based on Potential Sources of Runoff Pollutants	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
On-site storm drain inlets	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Interior floor drains and elevator shaft sump pumps	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Interior parking garages	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Need for future indoor & structural pest control	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Landscape/Outdoor Residue Use	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Pools, spas, ponds, decorative fountains, and other water features	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Food service	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Refuse areas	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Industrial processes	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Outdoor storage of equipment or materials	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Vehicle/Equipment Repair and Maintenance	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Fuel Dispensing Areas	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Loading Decks	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Fire Sprinkler Test Water	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Miscellaneous Drain or Wash Water	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Plazas, sidewalks, and parking lots	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SC-6a: Large Trash generating Facilities	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SC-6b: Animal Facilities	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SC-6c: Plant Nurseries and Garden Centers	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SC-6d: Automobile Facilities	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

The City of San Diego | Storm Water Standards
 Form I-5A | January 2018 Edition



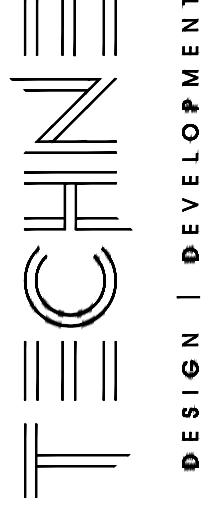
Site Design BMP Checklist Form I-5A

All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. **Note: All selected BMPs must be shown on the construction plans.**

Site Design Requirement	Applied?
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.3 Minimize Impervious Area	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.4 Minimize Soil Compaction	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.5 Impervious Area Dispersion	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.6 Runoff Collection	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4.3.8 Harvest and Use Precipitation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Answer for each source control and site design category shall be pursuant to the following:

- "yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / Justification is not required.
- "no" means the BMP is applicable to the project but it is not feasible to implement. Discussion / Justification must be provided.
- "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / Justification may be provided.



DESIGN | DEVELOPMENT

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CONSULTANTS

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 San Diego, CA 92111

PROPERTY OWNER

ARJAMAND FAMILY TRUST (07-05-91);
 MAHBOUBIAN PARVIN TRUST
 (12-15-88)

02	11.16.17	CUP-Completeness Review
03	11.30.17	CUP-Submittal 1
03	01.31.18	CUP-Submittal 2
04	04.24.18	CUP-Submittal 3
05	06.21.18	CUP-Submittal 4
05	07.17.18	CUP-Submittal 5

MARK DATE DESCRIPTION

PROJECT NO: 1726

CAD DWG FILE: 0001-0003 COVER SHEET.rvt

DRAWN BY: Abby Schwitzer, B.P., C.G., S.V.

CHK'D BY: Abby Schwitzer

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SHEET TITLE

CUP CONDITIONS

SHEET 3

G003

OF 12

CONDITIONS FOR MPF CUP:

PLANNING/DESIGN REQUIREMENTS:

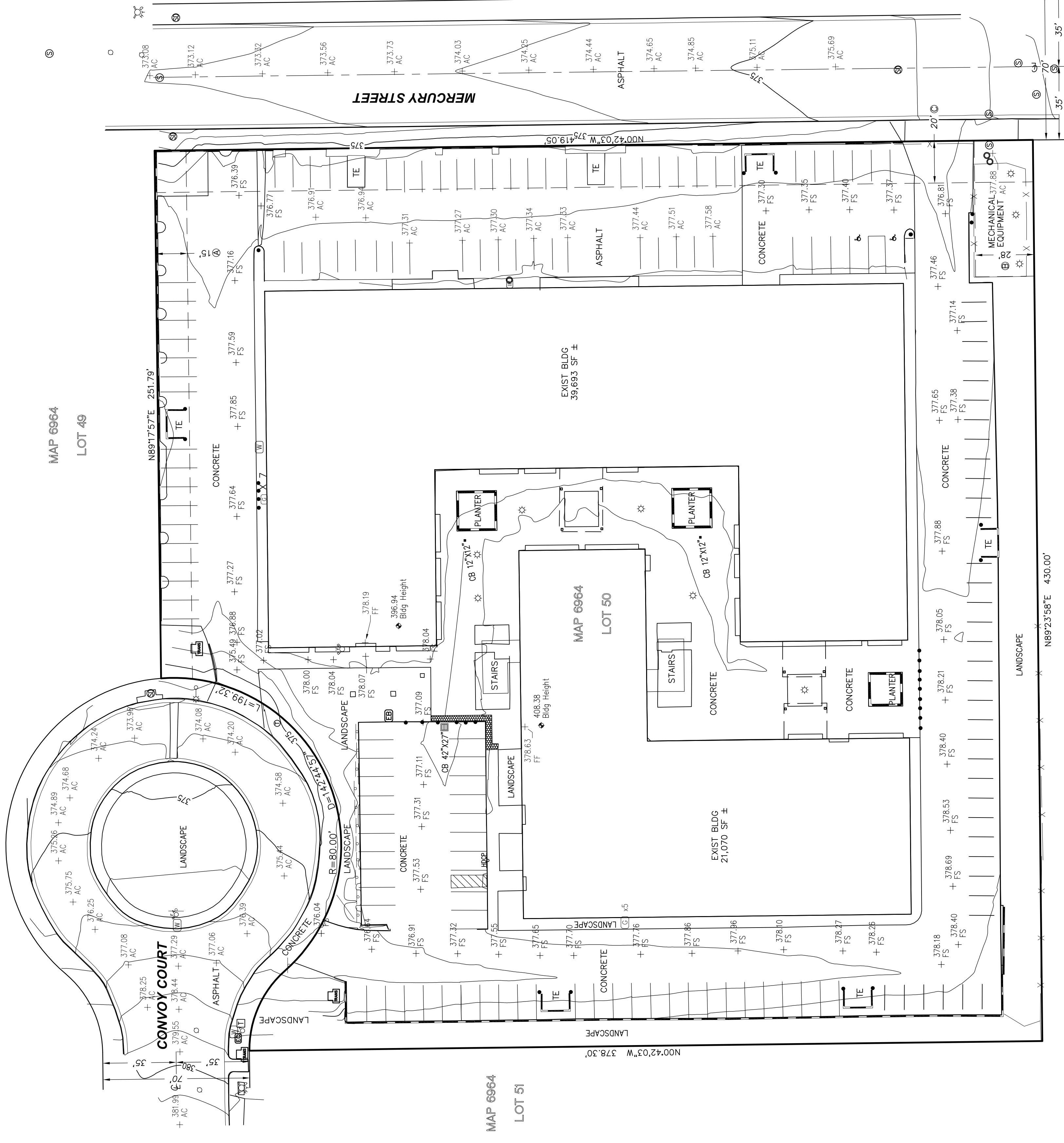
- Lighting shall be provided to illuminate the interior, facade, and the immediate surrounding area of the marijuana production facility, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
- Security shall be provided at the marijuana production facility which shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
- The name and emergency contact phone number of an operator or manager shall be posted in a location visible from outside the marijuana facility in character size at least two inches in height. The permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a marijuana production facility shall limit signage on the exterior of the property visible from the public right-of-way to the address.
- A permit shall be obtained as required pursuant to Chapter 4, Article 2, Division 15.
- A Conditional Use Permit for a marijuana production facility shall expire no later than five (5) years from the date of issuance.
- The marijuana production facility, adjacent public sidewalks, and areas under the control of the marijuana outlet, shall be maintained free of litter and graffiti at all times.
- The marijuana production facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
- The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.
- The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, reception area and vault room.
- The security guards should only be engaged in activities related to providing security for the facility, except on an incidental basis. The cameras shall have and use a recording device that maintains the records for a minimum of 30 days.
- All operations shall be conducted indoors within a secure structure. All equipment and storage shall be also located within a secure structure.
- The sale of marijuana and marijuana products shall only be conducted by a marijuana outlet in accordance with Section 141.0504. A marijuana production facility is prohibited from providing marijuana and marijuana products to any person other than another marijuana production facility, a testing lab, or a marijuana outlet.

CONDITIONS :

- Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the two (2) existing 24' wide driveways adjacent to the site on Convooy Court, per current City Standards, satisfactory to the City Engineer.
- Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing 24' wide driveway and the existing 14' wide driveway adjacent to the site on Mercury Street, per current City Standards, satisfactory to the City Engineer.
- Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new sidewalks along project frontage, per current City Standards adjacent to the site on Convooy Court and Mercury Street, satisfactory to the City Engineer.
- Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the trees/landscape over 30" and irrigation in the Convooy Court and Mercury Street Right-of-Way.
- Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the walls/permanent structures within the public easements on site.
- Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
- Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit a bond, to remove the existing gate on driveway accessing project's site, adjacent to the site on Mercury Street.
- Prior to issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove the portion of existing CMU block wall in visibility triangle, adjacent to the site on Mercury Street.

5 6

TOPOGRAPHIC SURVEY



PROJECT DESCRIPTION:
 TOPOGRAPHIC SURVEY OF 7875 & 7895 CONVOY CT., SAN DIEGO, CA
 DATE OF SURVEY: 10/29/2017

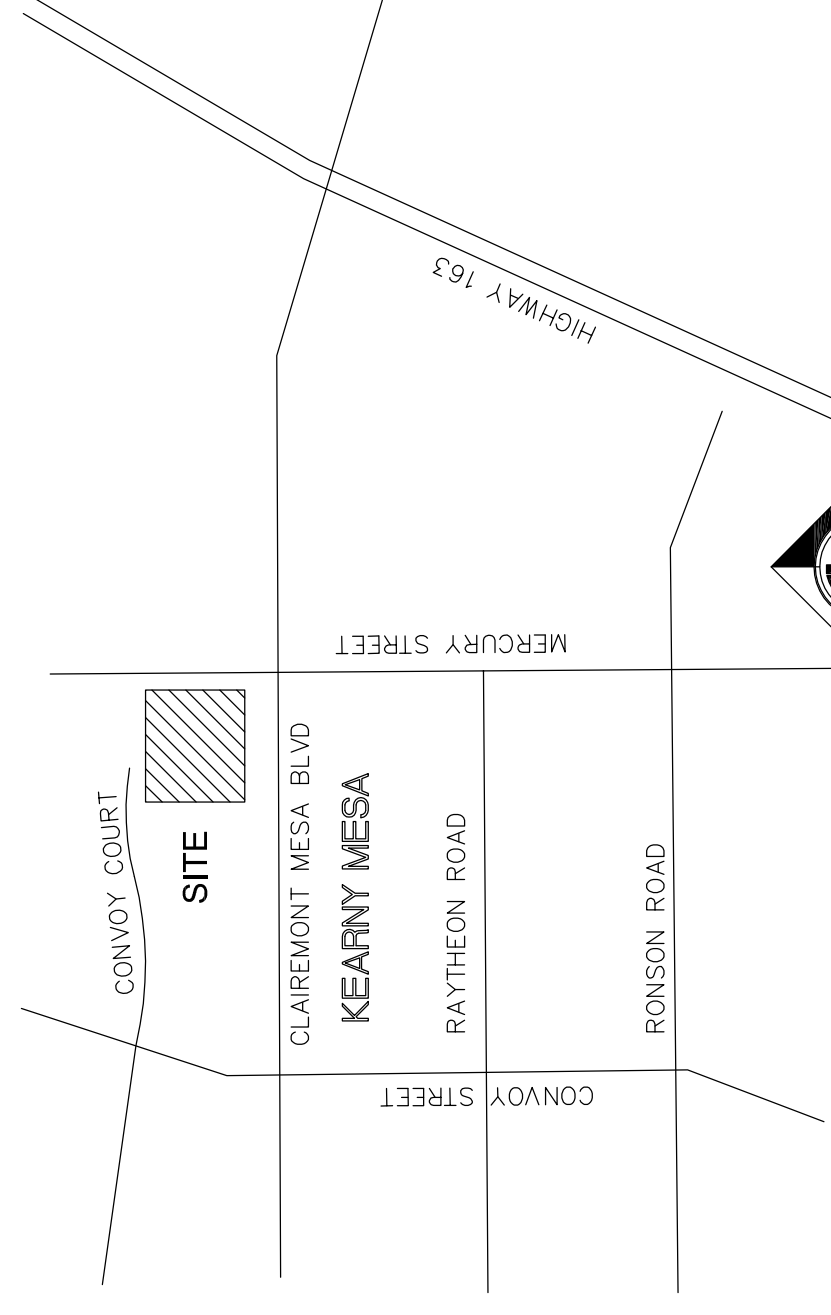
LEGAL DESCRIPTION:
 LOT 50 OF MAP 6964

EASEMENTS:
 15' SEWER EASEMENT PER MAP 6964
 20' DRAINAGE EASEMENT PER MAP 6964

GROSS LAND AREA:
 3,862 AC ±

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SIDELINE OF MERCURY STREET PER MAP 6964, I.E. N0°42'03"W

BASIS OF ELEVATIONS:
 THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE CITY OF SAN DIEGO BRASS PIN AT THE SW CORNER OF CONVOY STREET AND CONVOY COURT. EL = 401.403', DATUM: MSL



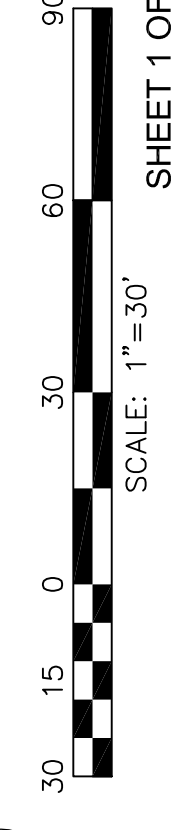
VICINITY MAP
 NOT TO SCALE

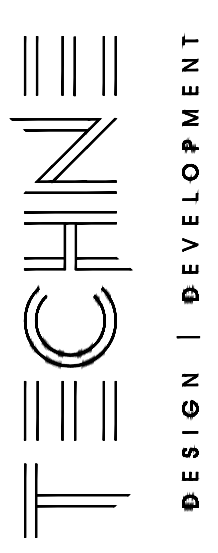


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 F: 619-618-1972
 www.lglsinc.com

LEGEND:

Backflow Assembly	Symbol
Ballard	Symbol
Building Height	Symbol
Chain Link Fence	Symbol
Electric Box	Symbol
Electric Cab	Symbol
Electric Meter	Symbol
Electric Transformer	Symbol
Fire Hydrant	Symbol
Gas Meter	Symbol
Irrigation Box	Symbol
Light Standard	Symbol
Sign HDPC	Symbol
Sign Misc	Symbol
Sewer Cleanout	Symbol
Sewer Manhole	Symbol
Storm Catch Basin	Symbol
Storm Drain Manhole	Symbol
Street Light	Symbol
Telephone Box	Symbol
Telephone Riser	Symbol
Wall	Symbol
Water Meter	Symbol
Water PVB	Symbol
Water Valve	Symbol





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CONSULTANTS

7895 Convoу Ct., Suites 15, 16 & 17
 San Diego, CA 92111
 PROPERTY OWNER
 ARMAND FAMILY TRUST (07-05-91);
 MAHBOUBIAN PARVIN TRUST
 (12-15-88)

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- OUTLINE OF PROPOSED RENOVATION/REMODEL
- AREA OF EXISTING LANDSCAPE
- OUTLINE OF EXISTING PRIVATE SEWER EASEMENT PER MAP NO. 6964
- OUTLINE OF EXISTING PRIVATE DRAINAGE EASEMENT PER MAP NO. 6964
- SITE DRAINAGE PATTERN
- EXISTING FENCE AND GATE
- EXISTING RETAINING WALL
- ACCESSIBLE ROUTE TO PROJECT SUITE

SITE PLAN NOTES

- A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawings until written or verbal instructions are issued by TECHNE.
- D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- E. Coordinate with other tenants the temporary shutoff of any site utilities.
- F. Refer to Topographic Survey for additional information.
- G. If the city Building Inspector determines non-compliance with any accessibility provisions, a complete and detailed revised plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plan, floor plans, details, etc.) will be submitted to the department for review and approval.
- H. TRANSIT STOP: Nearest transit stop is approximately 1/4 mile away from project.

ADDITIONAL SITE PLAN NOTES

1. BUILDING ADDRESS: Building address numbers must be visible and legible from the street or road fronting the property, per FHPS Policy P-00-6 (UFC 901.4.4)
2. If the City Building Inspector determines non-compliance with any accessibility provisions, a complete and detailed revised plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plans, floor plans, details, etc.) will be submitted to the department for review and approval.
3. The existing water and sewer services will remain.
4. No permanent structures allowed within the easements limits.
5. Vehicle access gates shall not swing open into the Public Right-of-Way or cause the waiting vehicle to block any portion of the Public Street.

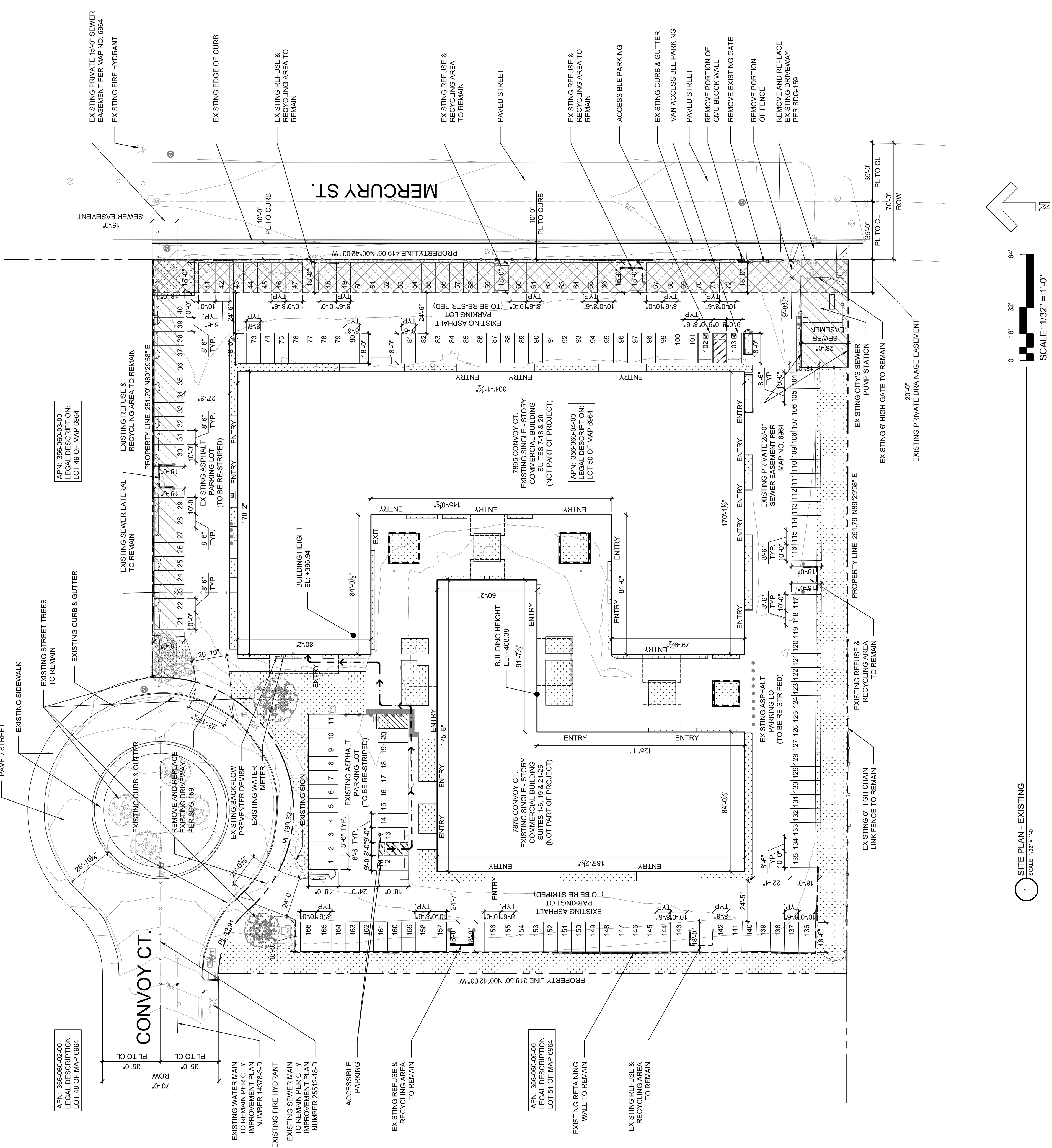
NO.	DATE	DESCRIPTION
01	11.16.17	CIP - Comprehensive Review
02	11.30.17	CIP - Submittal 1
03	01.31.18	CIP - Submittal 2
04	04.24.18	CIP - Submittal 3
05	06.21.18	CIP - Submittal 4
06	07.17.18	CIP - Submittal 5

PROJECT NO: 1726
 CAD DWG FILE: A101 SITE PLAN - EXISTING.DWG
 DRAWN BY: Abby Schweitzer, B.P., C.G., S.V.
 CHK'D BY: Abby Schweitzer

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SHEET TITLE
 SITE PLAN - EXISTING

SHEET 5 OF 12
 A101



1 SITE PLAN - EXISTING
 SCALE: 1/32" = 1'-0"



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 San Diego, CA 92111

PROPERTY OWNER
 ARMAND FAMILY TRUST (07-05-91);
 MAHBOUBIAN PARVIN TRUST
 (12-15-88)

NO.	DATE	DESCRIPTION
01	11.16.17	CIP - Submittal 1
02	11.30.17	CIP - Submittal 2
03	01.31.18	CIP - Submittal 3
04	04.24.18	CIP - Submittal 4
05	06.21.18	CIP - Submittal 5
06	07.17.18	CIP - Submittal 6

PROJECT NO: 1726
 CAD DWG FILE: A101A SITE PLAN - PROPOSED.DWG
 DRAWN BY: Abby Schweitzer, B.P., C.G., S.V.
 CHECK BY: Abby Schweitzer

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SHEET TITLE
SITE PLAN - PROPOSED

A101a OF 12
 SHEET 6

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- OUTLINE OF PROPOSED RENOVATION/REMODEL
- AREA OF PROPOSED HARDSCAPE
- AREA OF EXISTING LANDSCAPE
- OUTLINE OF EXISTING PRIVATE SEWER EASEMENT PER MAP NO. 6964
- OUTLINE OF EXISTING PRIVATE DRAINAGE EASEMENT PER MAP NO. 6964
- SITE DRAINAGE PATTERN
- EXISTING FENCE AND GATE TO REMAIN
- EXISTING RETAINING WALL TO REMAIN
- ACCESSIBLE ROUTE FROM ROW
- ZM4 LED WITH TYPE 15 POLES STREET LIGHT FIXTURE

PROPOSED 24" BOX MAGNOLIA GRANDIFLORA 'LITTLE GEM', 'LITTLE GEM MAGNOLIA', OR RHAPHIOLEPIS 'MAJESTIC BEAUTY', 'MAJESTIC BEAUTY INDIAN HAWTHORN

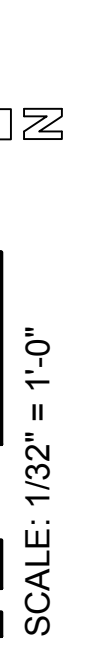
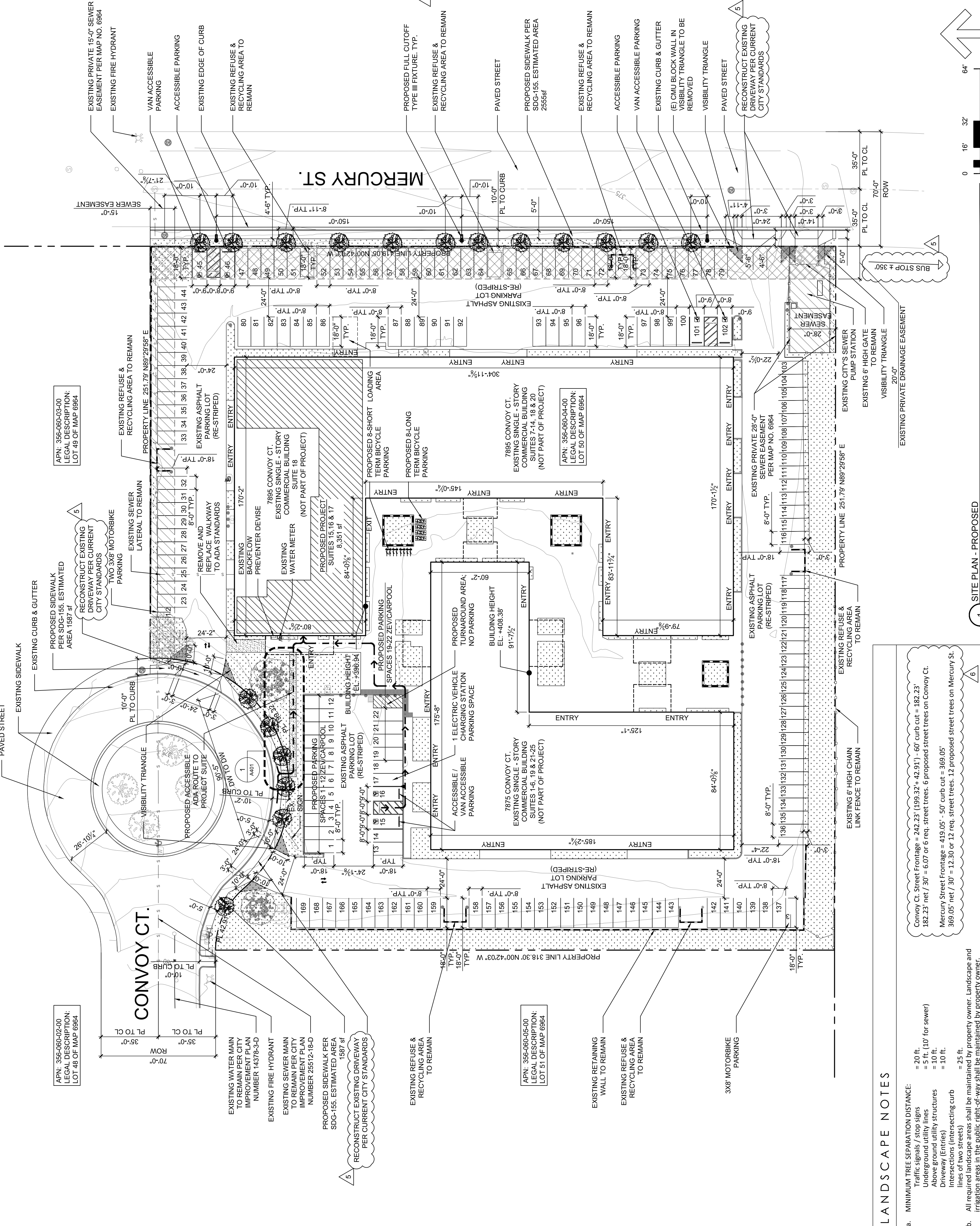
PROPOSED 40sf ROOT BARRIER

SITE PLAN NOTES

- A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- E. Coordinate with other tenants the temporary shut-off or any site utilities.
- F. Refer to Topographic Survey for additional information.
- G. If the City Building Inspector determines non-compliance with any accessibility provisions, a complete and detailed revised plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plan, floor plans, details, etc.) will be submitted to the department for review and approval.
- H. TRANSIT STOP: Nearest transit stop is approximately 350 ft. away from project.
- I. No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb. All obstructions in the visibility triangles shall be removed.

ADDITIONAL SITE PLAN NOTES

1. BUILDING ADDRESS: Building address numbers must be visible and legible from the street or road fronting the property, per FHPs Policy P-00-6 (UFC 901.4.4)
2. If the City Building Inspector determines non-compliance with any accessibility provisions, a complete and detailed revised plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plans, floor plans, details, etc.) will be submitted to the department for review and approval.
3. No permanent structures allowed within the easements limits.
4. Vehicle access gates shall not swing open into the Public Right-of-Way or cause the waiting vehicle to block any portion of the Public Right-of-Way.



1 SITE PLAN - PROPOSED

CONVOCT CT. Street Frontage = 242.23' (199.32' + 42.91') - 60' curb cut = 182.23'
 182.23' net / 30' = 6.07 or 6 req. street trees. 6 proposed street trees on Convoct Ct.
 Mercury Street Frontage = 419.05' - 50' curb cut = 369.05'
 369.05' net / 30' = 12.30 or 12 req. street trees. 12 proposed street trees on Mercury St.

LANDSCAPE NOTES

- a. MINIMUM TREE SEPARATION DISTANCE:
 Traffic signals / stop signs = 20 ft.
 Underground utility lines = 5 ft. (10' for sewer)
 Above ground utility structures = 10 ft.
 Driveway (entries) = 10 ft.
 Intersections (intersecting curb lines of two streets) = 25 ft.
- b. All required landscape areas shall be maintained by property owner. Landscape and plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be removed or replaced per the conditions of the permit.
- c. A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC §142.0403(b)(5).
- d. Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over bicycle travel ways are 10 feet above the walkway grade.
- e. Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring re-vegetation per SDMC §142.0411.
- f. Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. "The root barrier will not wrap around the root zone of trees, but shall be clearly identified by a root barrier in the sidewalk area." per SDMC §142.0403(b).
 If any required landscape indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.
- h. All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulation and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.



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11.16.17	CIP - Comprehensive Review
11.30.17	CIP - Submittal 1
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04.24.18	CIP - Submittal 3
06.21.18	CIP - Submittal 4
07.17.18	CIP - Submittal 5
MARK / DATE / DESCRIPTION	

PROJECT NO: 1726
 CAD DWG FILE: A101BMP.PLAN - PROPOSED.DWG
 DRAWN BY: Abby Schwitzer, B.P., C.G., S.V.
 CHK'D BY: Abby Schwitzer

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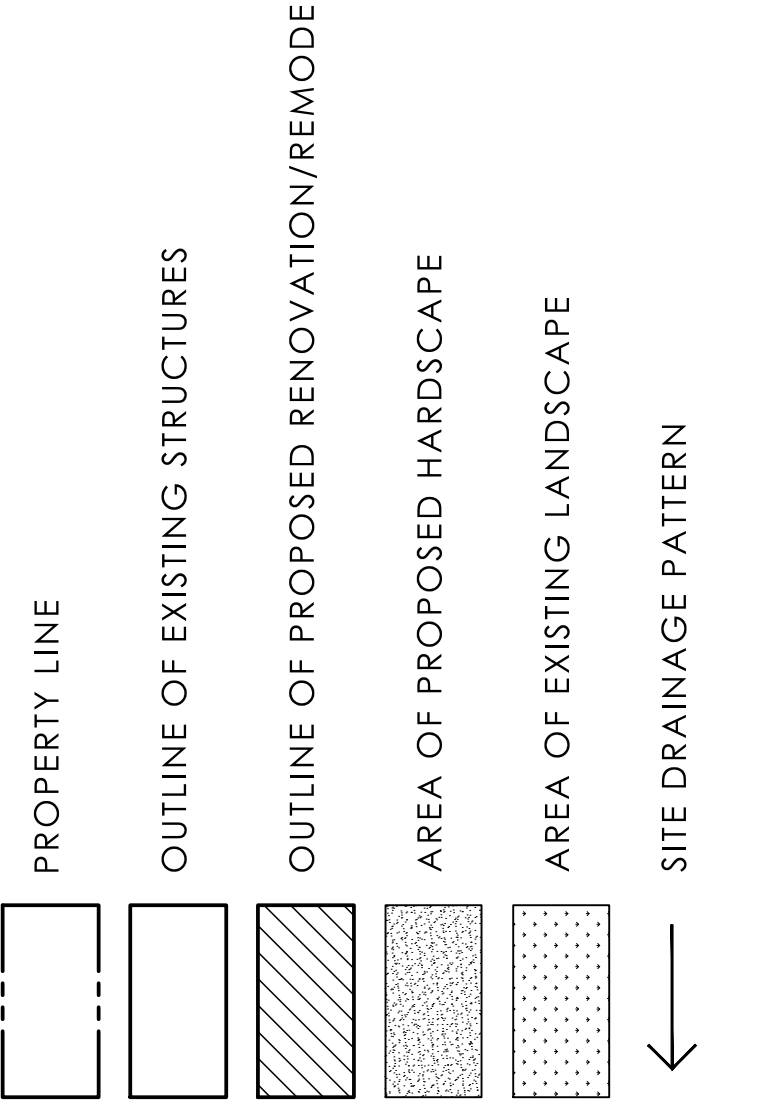
SHEET TITLE
 BMP PLAN - PROPOSED

SHEET 6 OF 12
 A101b

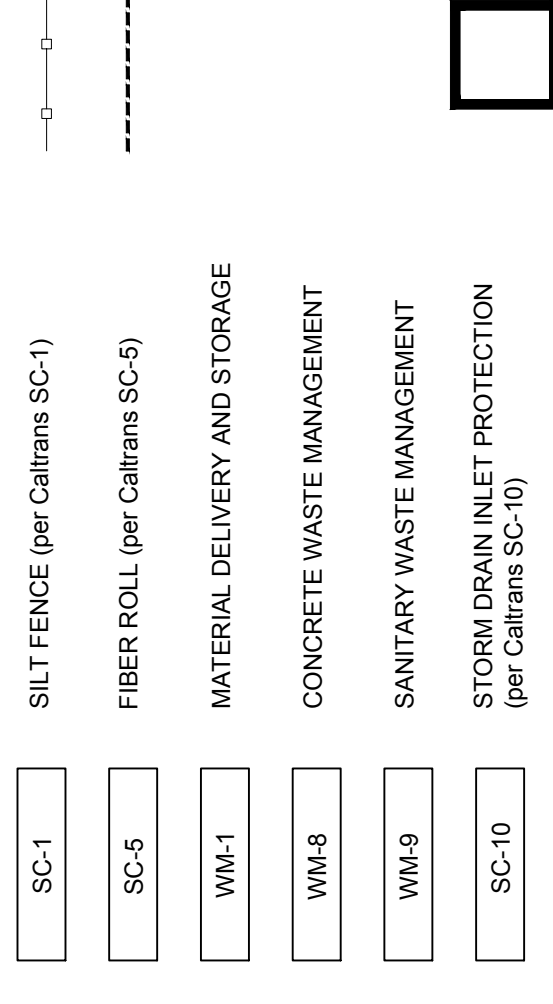
SITE PLAN NOTES

- A. Refer to other construction documents for complete scope of work.
- B. See Proposed Site Plan, sheet A101, for additional information regarding proposed structures.
- C. Refer to title sheet G001 for additional information such as areas, setbacks, zoning and more.

SITE PLAN LEGEND



STORMWATER BMP PLAN LEGEND

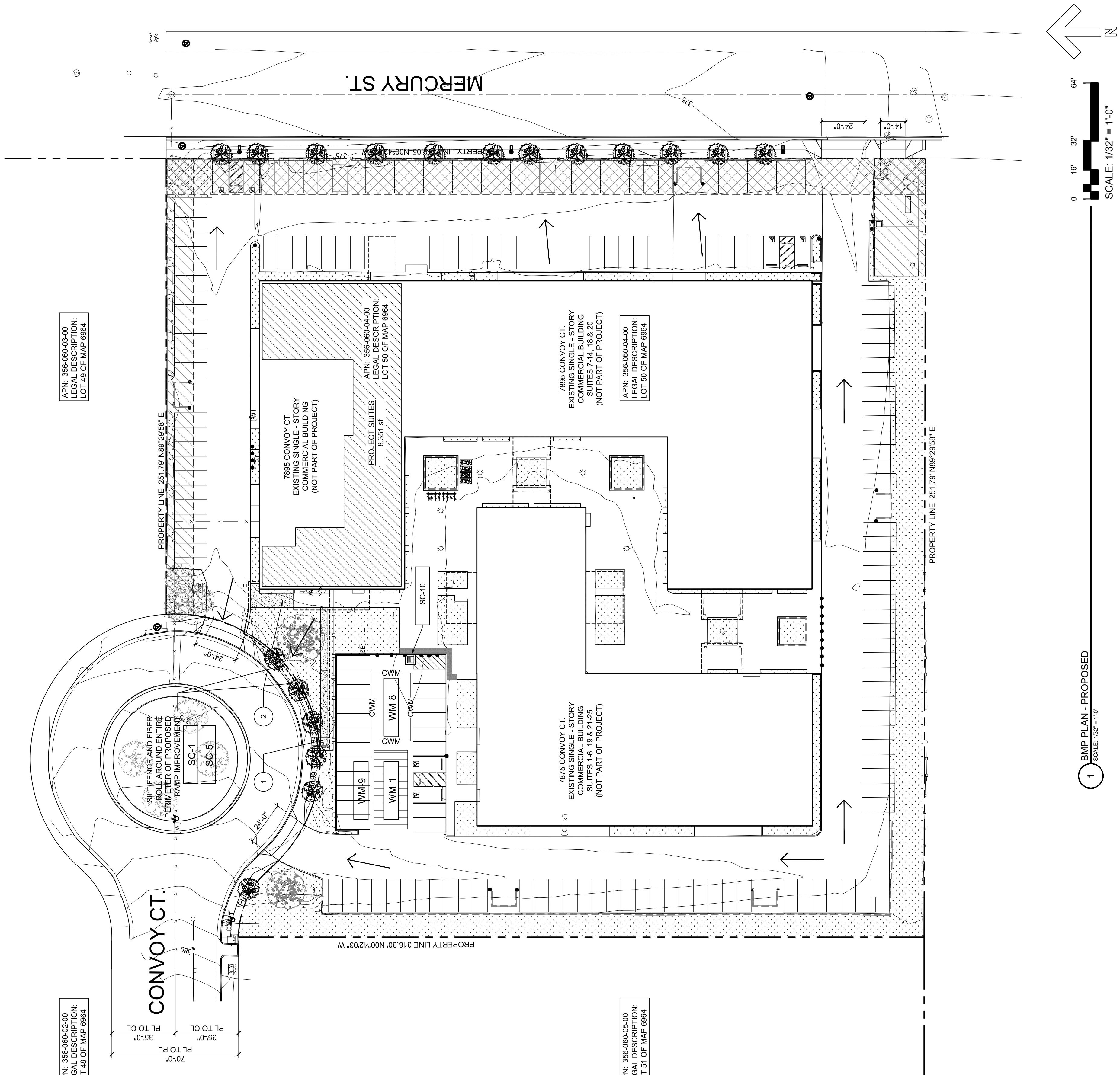


STORMWATER BMP PLAN NOTES

- A. Site Area: 169,263.31 sf (3.86 acres)
- B. Estimated amount of disturbed area: 521,555sf
- C. Existing amount of impervious area: 143,178.70sf
- D. Proposed amount of impervious area: 307,315sf
- E. Total impervious area: 143,486.01sf
- F. Impervious % increase: 0.21%
- G. This site has been previously developed.
- H. This site is a previously developed site.
- I. The Stormwater Management Plan is designed to meet the standards of the City of San Diego.
- J. The General Contractor shall be responsible for inspecting and ensuring that the storm water management measures implemented are maintained and functioning as required by the City of San Diego.

BMP PLAN KEYNOTES

- 1. PROPOSED WALKING SURFACE: ACCESSIBLE STREET ACCESS FROM PUBLIC RIGHT OF WAY.
- 2. REMOVE AND REPLACE WALKWAY TO ADA STANDARDS.



APN: 356-060-03-00
 LEGAL DESCRIPTION:
 LOT 49 OF MAP 6964

7885 CONVOY CT.
 EXISTING SINGLE-STORY
 COMMERCIAL BUILDING
 (NOT PART OF PROJECT)

PROJECT SUITES
 8,351 sf

7885 CONVOY CT.
 EXISTING 3-STORY
 COMMERCIAL BUILDING
 SUITES 7-14, 18 & 20
 (NOT PART OF PROJECT)

APN: 356-060-04-00
 LEGAL DESCRIPTION:
 LOT 50 OF MAP 6964

7875 CONVOY CT.
 EXISTING 3-STORY
 COMMERCIAL BUILDING
 SUITES 1-6, 19 & 21-25
 (NOT PART OF PROJECT)

APN: 356-060-05-00
 LEGAL DESCRIPTION:
 LOT 51 OF MAP 6964



1 BMP PLAN - PROPOSED
 SCALE: 1/32" = 1'-0"

CONSULTANTS

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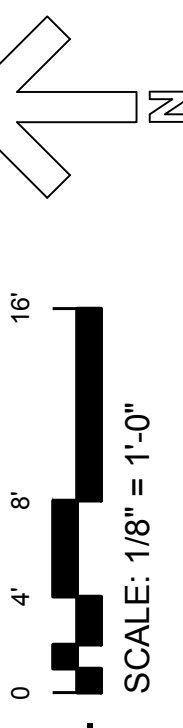
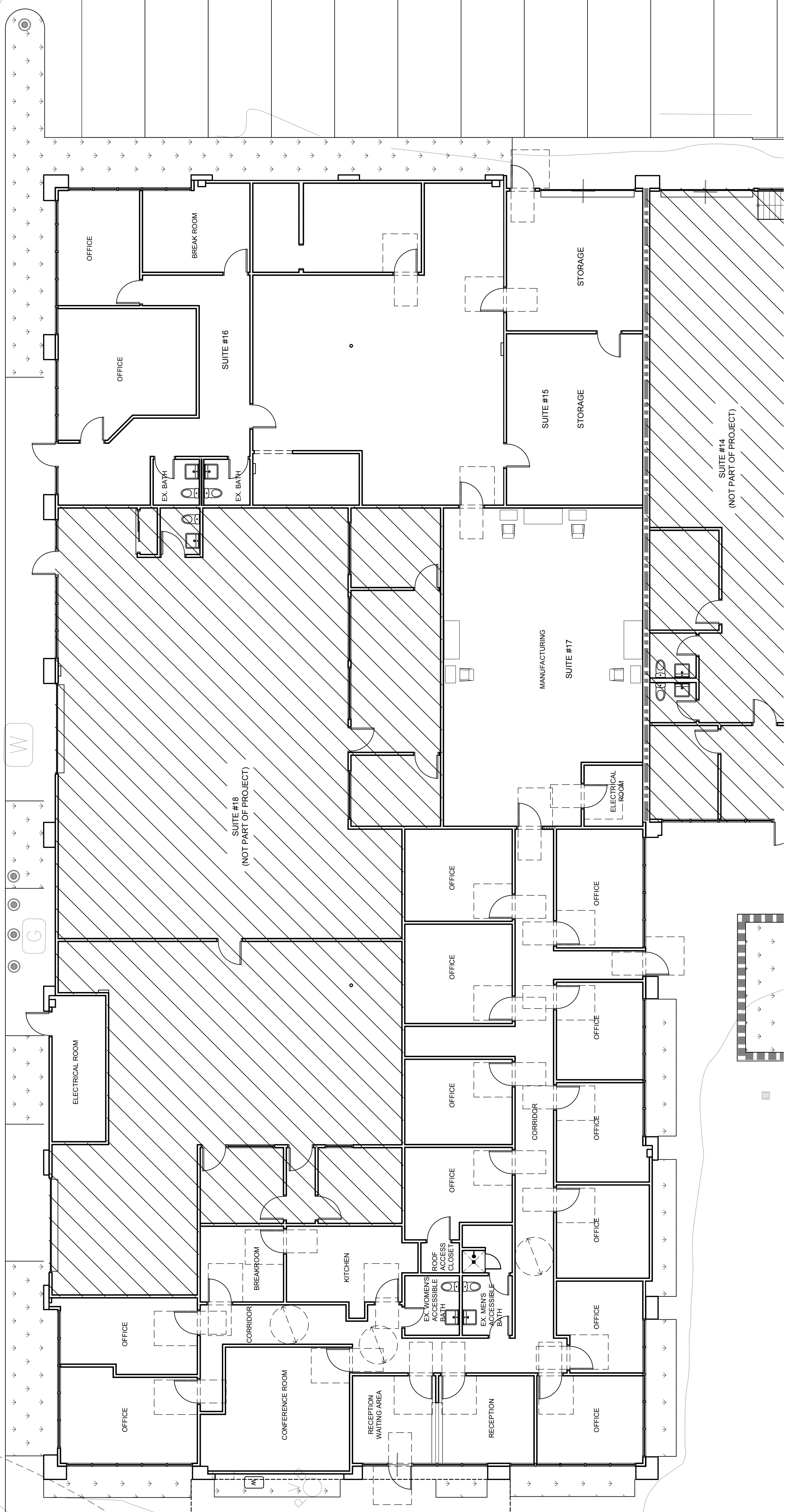
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02	11.30.17	CLIP - Submittal 2	Review
03	01.31.18	CLIP - Submittal 2	Review
04	04.24.18	CLIP - Submittal 3	Review
05	06.21.18	CLIP - Submittal 4	Review
06	07.17.18	CLIP - Submittal 5	Review

PROJECT NO: 1726
CAD DWG FILE: A101 FIRST FLOOR PLAN - EXISTING
DRAWN BY: Abby Schweitzer, B.P., C.G., S.V.
CHK'D BY: Abby Schweitzer

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SHEET TITLE

FIRST FLOOR PLAN -
EXISTING



1 FIRST FLOOR PLAN - EXISTING
SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES

- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs in the field. Discrepancies shall be noted on the drawing and brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

FLOOR PLAN LEGEND

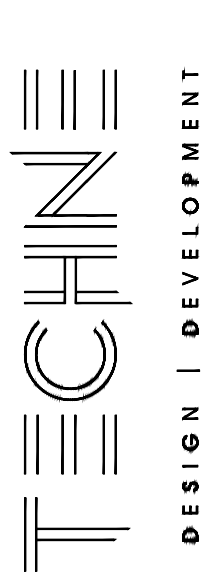
- EXISTING NON-STRUCTURAL INTERIOR WALL
- WALL OPENING: 80" high u.n.o. finished with 5/8" gypsum board with square corners.
- DOOR AND SYMBOL: See door schedule for complete information
- WINDOW AND SYMBOL: See window schedule for complete information

DEMOLITION GENERAL NOTES

- TECHNE shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNE issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to start of demolition.
- Before start of demolition, contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and clearly marked.
- All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent structures.
- Contractor shall notify TECHNE and owner if any removed wood showing evidence of active water leaks, termites or dry rot.
- Prepare existing window and door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Prepare existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.

FLOOR PLAN NOTES

- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
- Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
- Should any portion of the structure being removed produce unstable or unsafe conditions, the contractor shall be responsible for stabilizing the structure.
- Existing FAU & Water Heater shall be turned off to and/or salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or settlements, pier-footing conditions and attachment to framing. Deficiencies, cracks or settlements or lack thereof shall be brought to the attention of TECHNE and structural engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken. Elevation changes between door openings and/or protection measures shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNE to make modifications and/or other corrective measures.



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CONSULTANTS

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San Diego, CA 92111

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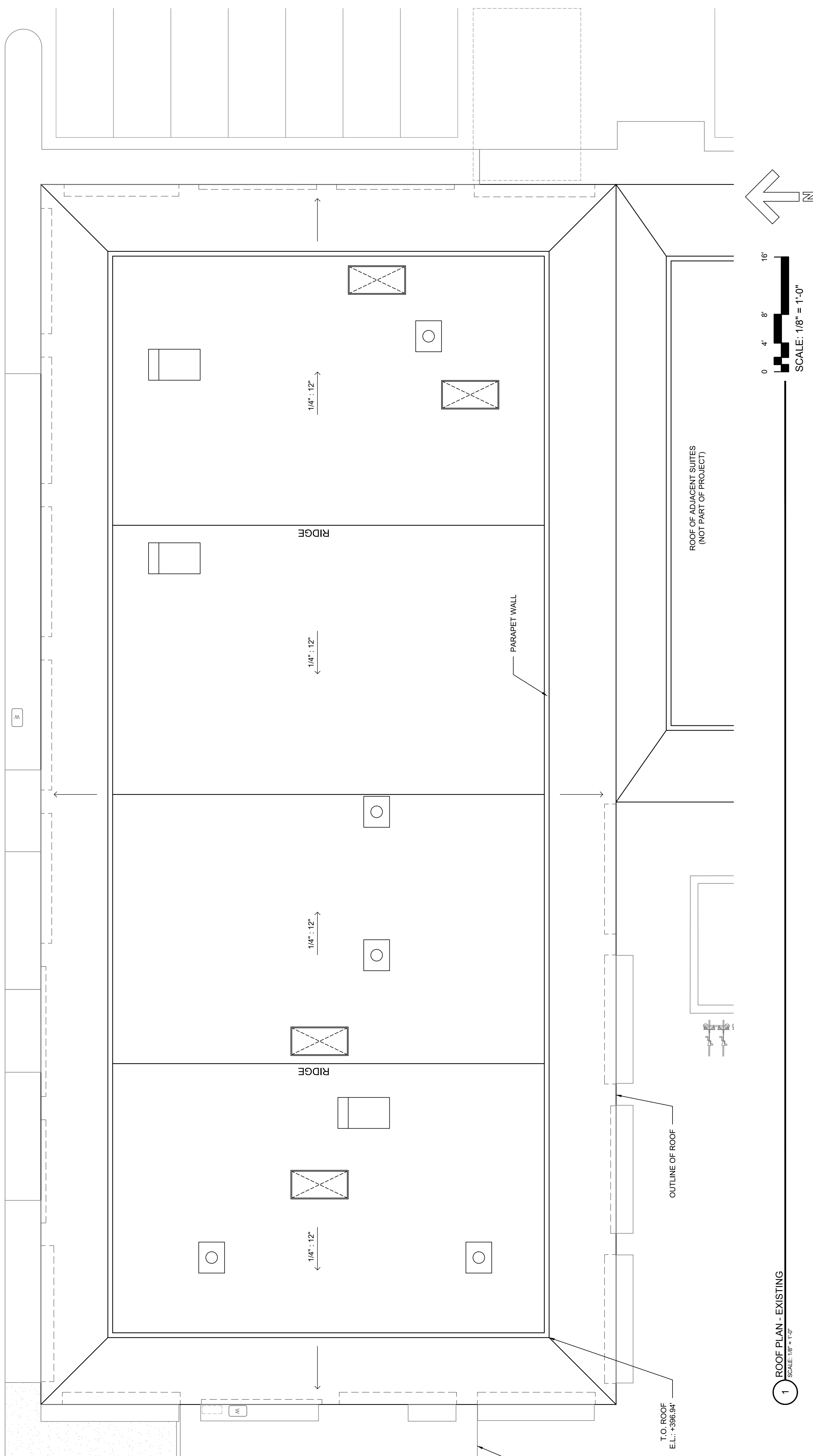
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02	11.30.17	CLP - Submittal 1
03	01.31.18	CLP - Submittal 2
04	04.24.18	CLP - Submittal 3
05	06.21.18	CLP - Submittal 4
06	07.17.18	CLP - Submittal 5
MARK	DATE	DESCRIPTION

PROJECT NO.: 1726
CAD DWG FILE: A103 ROOF PLAN - EXISTING.DWG
DRAWN BY: Abhay Schweitzer, B.P., C.G., S.V.
CHK'D BY: Abhay Schweitzer

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SHEET TITLE

ROOF PLAN - EXISTING



1 ROOF PLAN - EXISTING
SCALE: 1/8" = 1'-0"

ROOF PLAN LEGEND

- SLOPE →
- ROOF SLOPE INDICATOR
- OUTLINE OF EXTERIOR WALLS BELOW
- EXISTING SKYLIGHT 48X96"
- EXISTING ROOF MOUNTED HVAC TYPE 1
- EXISTING ROOF MOUNTED HVAC TYPE 2

CONSULTANTS

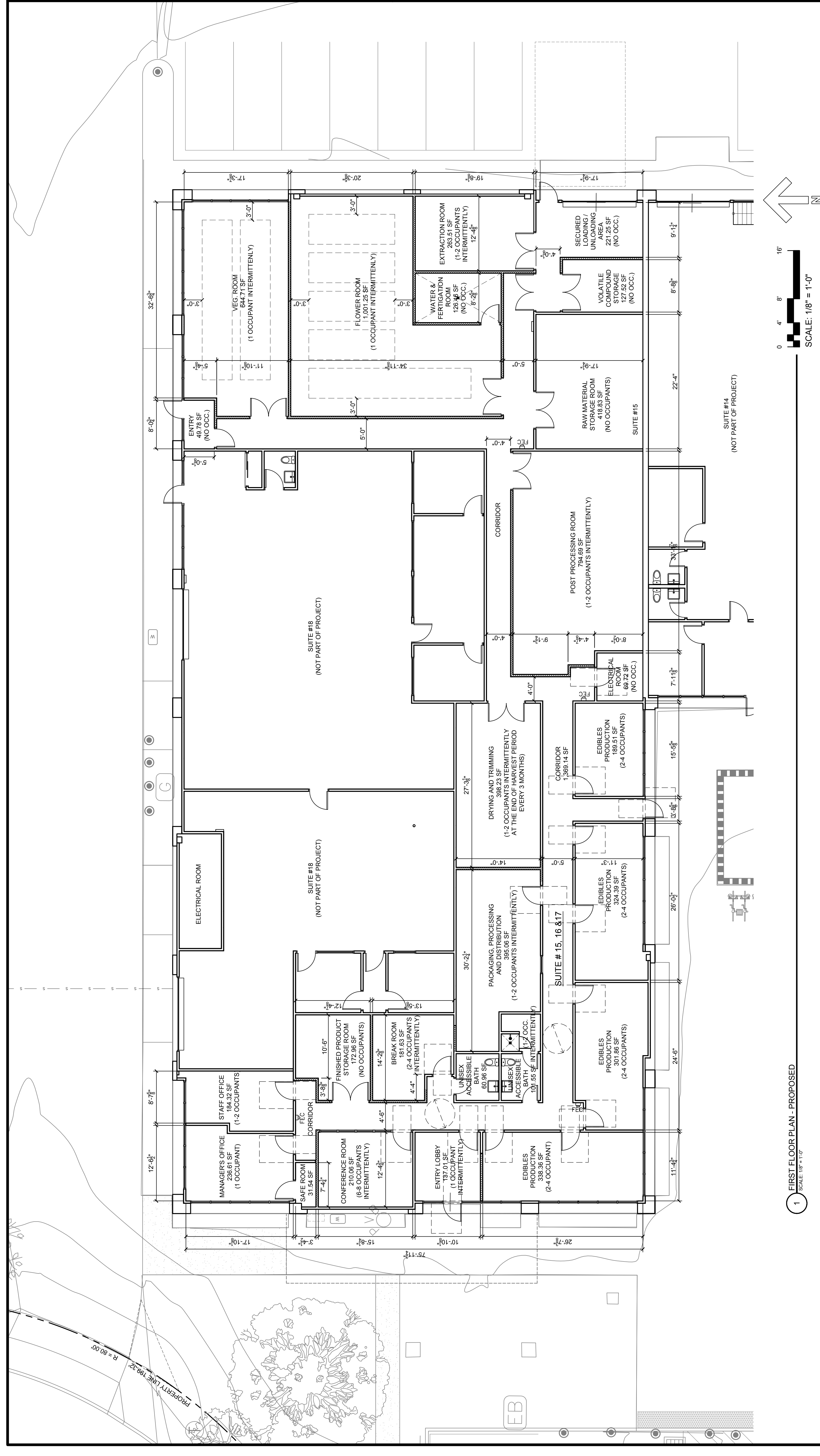
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02	11.30.17	CLP - Complete	Review
03	03.31.18	CLP - Submittal 2	
04	04.24.18	CLP - Submittal 3	
05	06.21.18	CLP - Submittal 4	
06	07.17.18	CLP - Submittal 5	
MARK DATE DESCRIPTION			
PROJECT NO: 1726			
CAD DWG FILE: A104 FIRST FLOOR PLAN - PROPOSED.DWG			
DRAWN BY: Abby Schweitzer, B.P., C.G., S.V.			
CHK'D BY: Abby Schweitzer			

FIRST FLOOR PLAN - PROPOSED

SHEET 10 OF 12
A104 OF



FLOOR PLAN LEGEND

	EXISTING NON-STRUCTURAL INTERIOR WALL TO REMAIN
	PROPOSED NON-STRUCTURAL INTERIOR WALL: 3/8" Light Gauge Steel Stud @ 24" O.C. with 1 layer of 5/8" Gypsum board each side.
	U.N.O.
	DOOR AND SYMBOL - See door schedule for complete information
	WINDOW AND SYMBOL - See window schedule for complete information
	FIRE EXTINGUISHER CABINET

FLOOR PLAN NOTES

- The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- Do not proceed with work until written or verbal instructions are issued by TECHNE.
- Occupant count shown is an estimation based on operational requirements and not calculated using the California Building Code. Occupant count shown should not be used for calculating egress.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTERLINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

ODOR SUPPRESSION MEASURES

- The project will implement a strategy of filtering any exhaust air through a carbon scrubber to mitigate odor and will also design the HVAC system with negative and positive pressure rooms as appropriate, to control the flow of air with others and to prevent it from escaping the building. The carbon scrubber (filtering system) shall be Air Box 4+ Stealth Edition 127. Flange or similar as specified by a qualified licensed design professional.

DETAILED DESCRIPTION OF SPACES

- Entry Lobby - Refer to plans for square footage. This entry is one of two doors used by employees to enter and exit the building. It is also the visitor entrance/exit. The exterior door to the entry lobby is open to visitors. A bell dings alerting staff that a visitor has arrived. The door from the Entry Lobby to the secure area has an electronic key pad entry. All employees have a unique digital electronic key code for entry through this door. There will be approximately 1 occupant in this space intermittently.
- Conference Room - This is a non-secure space for meetings. There will be approximately 6-8 occupants in this space intermittently.
- Manager's Office - This office is locked and only managers are allowed in the manager's office. It has a key lock. There will be approximately 1 occupant in this space.
- Safe Room - This space is located in the Manager's Office and has an additional lock on the door. It is used to store the safe, where, for example, cash is stored. This room also stores all records that are required to be kept secure by the licensing agencies and it stores the video system and backups as required.
- Staff Office - Used by management staff for daily management activities. This room is not separately locked. There will be approximately 1-2 occupants in this space.
- Finished Product Storage Room - Product that has been manufactured, tested, packaged, labeled, and facilities including hand washing sinks. There will be approximately 1-2 occupants in these spaces.
- Break Room - The employee break room is used for breaks, lunches, etc. It is not separately locked. There will be approximately 2-4 occupants at all employees and visitors.
- Unisex Accessible Baths - Available to all employees and visitors. These two rooms have appropriate facilities including hand washing sinks. There will be approximately 1-2 occupants in these spaces intermittently.
- Packaging, Processing, and Distribution - After manufacture, products are moved to this room for packaging, labeling, and distribution. There will be approximately 1-2 occupants in this space.
- Drying and Trimming - Raw cannabis is dried and trimmed in this area. Once drying and trimming of a batch is complete, it is moved to a production room. There will be approximately 1-2 occupants in this space intermittently. The space is only used at the end of the harvest period, which is approximately every 3 months.
- Edibles Production 1 through 4 - Each of these rooms is designated for the production of specific batches of edible products manufactured at this facility. There will be approximately 2-4 occupants in these spaces.
- Electrical Room - This is a locked electrical utility room. There will be no occupants in this space.
- Post Processing Room - This room is where the raw extract is further processed through a variety of methods into a more refined oil or extract. This room is also where batches are stored awaiting the laboratory testing process. The lab testing license performs the sampling of batches in this room. Manufactured product remains in this room until lab test results are returned. If a batch passes testing, it's moved to the Finished Product Storage Room or directly enters the distribution process. There will be approximately 1-2 occupants in this space intermittently.
- Raw Material Storage - When raw cannabis is received, inspected, and accepted from cultivators it is moved to this room. There will be no occupants in this space. There are shelves in this room that allow for separate storage of batches.
- Volatile Compound Storage - This room is where volatile compounds used for various extraction methods are stored. Other extraction compounds may be stored here. There will be no occupants in this space.
- Secure Loading/Unloading Area - Raw cannabis is received in this space. Shipping manifests are reviewed, product is inspected, and shipments are accepted or rejected. After accepting a shipment, the external door is closed and the locking mechanism engages. At this point, raw cannabis is moved to the Raw Material Storage area until the manufacturing facility is ready to use it. Other raw materials are received in this space. There will be no occupants in this space.
- Extraction Room - Cannabisoids are extracted in this room through a variety of processes. Batches are kept separate during the extraction process. There will be approximately 1-2 occupants in this space.
- Water & Fertiligation Room - This room contains the water and fertiligation system to support the cultivation of cannabis. It is mainly comprised of tanks, filters, pumps and other mechanical systems associated with automated irrigation. There will be no occupants in this space.
- Unisex Accessible Bath - This is a unisex accessible bathroom. A cannabis plant is grown in this stage of growth the plants are developing the cannabis flowers and will ultimately be harvested. There will be approximately 1 occupant in this space intermittently.
- Veg Room - This room is mainly comprised of trays where the cannabis plant is grown. In this stage of growth the plants are developing from seedlings into full grown plants before being transferred into the Flower Rooms. There will be approximately 1 occupant in this space intermittently.
- Entry - This door is one of two doors that employees use to enter and exit the building. The outside door has a commercial grade electronic key pad entry system. Each employee has a unique entry code. The interior door is kept locked, but not locked. There will be no occupants in this space.

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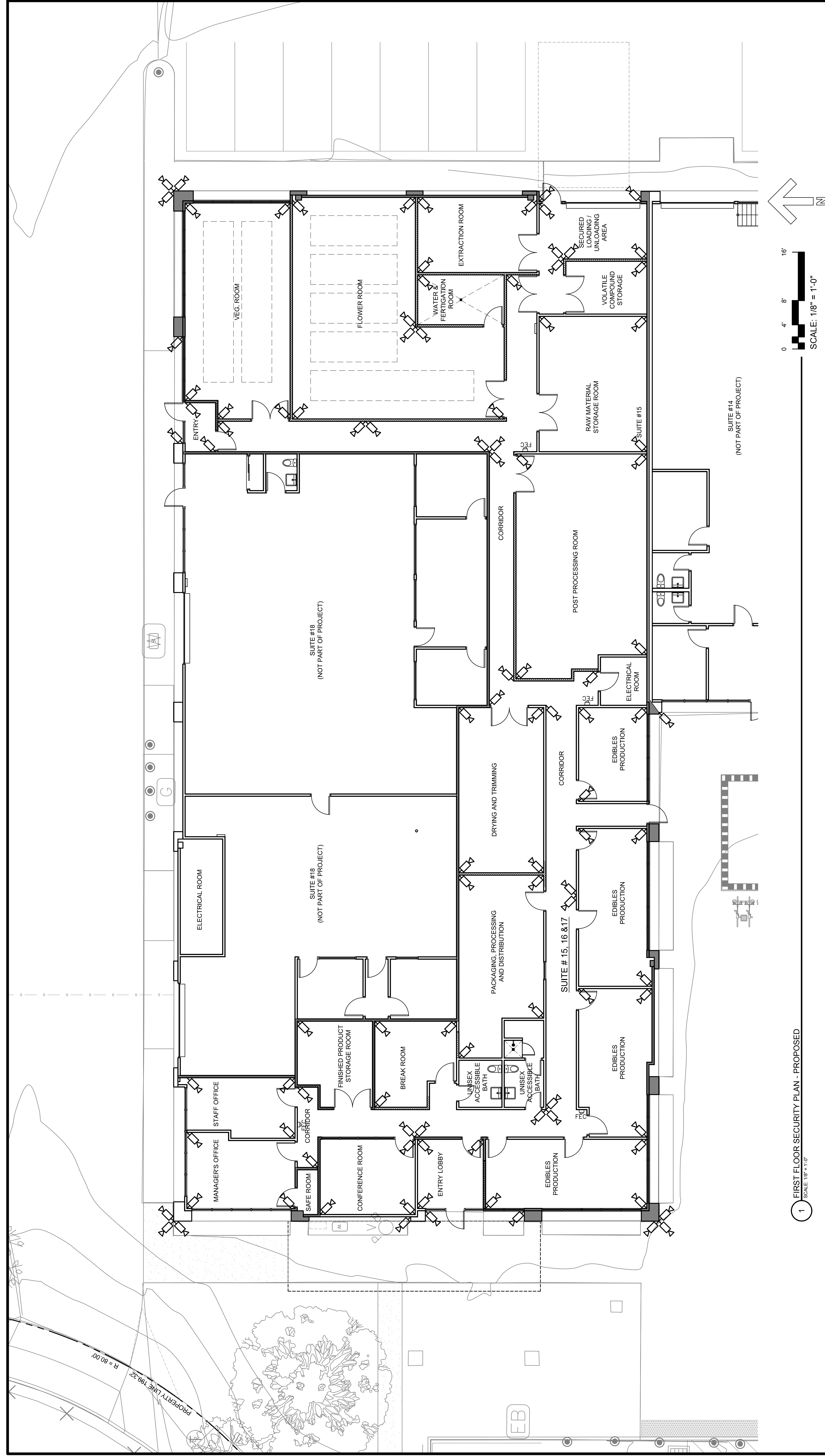
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01	11.16.17	CLIP - Comprehensive Review
02	11.30.17	CLIP - Submittal 1
03	01.31.18	CLIP - Submittal 2
04	04.24.18	CLIP - Submittal 3
05	06.21.18	CLIP - Submittal 4
06	07.17.18	CLIP - Submittal 5
MARK DATE DESCRIPTION		

PROJECT NO: 1726
CAD DWG FILE: A100 SECURITY PLAN - PROPOSED.DWG
DRAWN BY: Abby Schweitzer, B.P., C.G., S.V.
CHK'D BY: Abby Schweitzer

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SHEET TITLE
FIRST FLOOR SECURITY PLAN - PROPOSED
A105
SHEET 11 OF 12



1 FIRST FLOOR SECURITY PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

SECURITY PLAN LEGEND

- SECURITY CAMERA
- 86 - INTERIOR SECURITY CAMERAS
- 17 - EXTERIOR SECURITY CAMERAS
- FULL HEIGHT BULLET RESISTANT GLASS, PLASTIC OR LAMINATE SHIELD OR BULLET RESISTANT ARMOR PANELS (Doors located in bullet resistant walls shall also be bullet resistant)

SECURITY PLAN NOTES

1. REFER TO CONDITIONAL USE PERMIT CONDITIONS FOR ADDITIONAL INFORMATION.
2. LOCATION OF BULLET RESISTANT ASSEMBLIES ARE CONCEPTUAL ONLY. REFER TO CONDITIONAL USE PERMIT CONDITIONS OF APPROVAL FOR ACTUAL LOCATIONS.

FLOOR PLAN LEGEND

- ▬ EXISTING CHU BLOCK WALL
- ▬ EXISTING WALL
- ▬ PROPOSED NON-STRUCTURAL INTERIOR WALL: 3/8" Light Gauge Steel Stud @ 24" O.C. with 1 layer of 5/8" gypsum board each side.
- ▬ WALL OPENING: 80" high u.n.o. Finished with 5/8" gypsum board with square corners.
- ▬ DOOR AND SYMBOL: See door schedule for complete information
- ▬ WINDOW AND SYMBOL: See window schedule for complete information

ACCESSIBLE RAMP KEYNOTES

- 1. PROPOSED ACCESSIBLE PATH (SLOPED WALKING SURFACE) FROM PUBLIC ROW
- 2. LANDING



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01	11.16.17	CIP - Submittal 1
02	11.30.17	CIP - Submittal 2
03	01.31.18	CIP - Submittal 2
04	04.24.18	CIP - Submittal 3
05	06.21.18	CIP - Submittal 4
06	07.17.18	CIP - Submittal 5

PROJECT NO. 1726

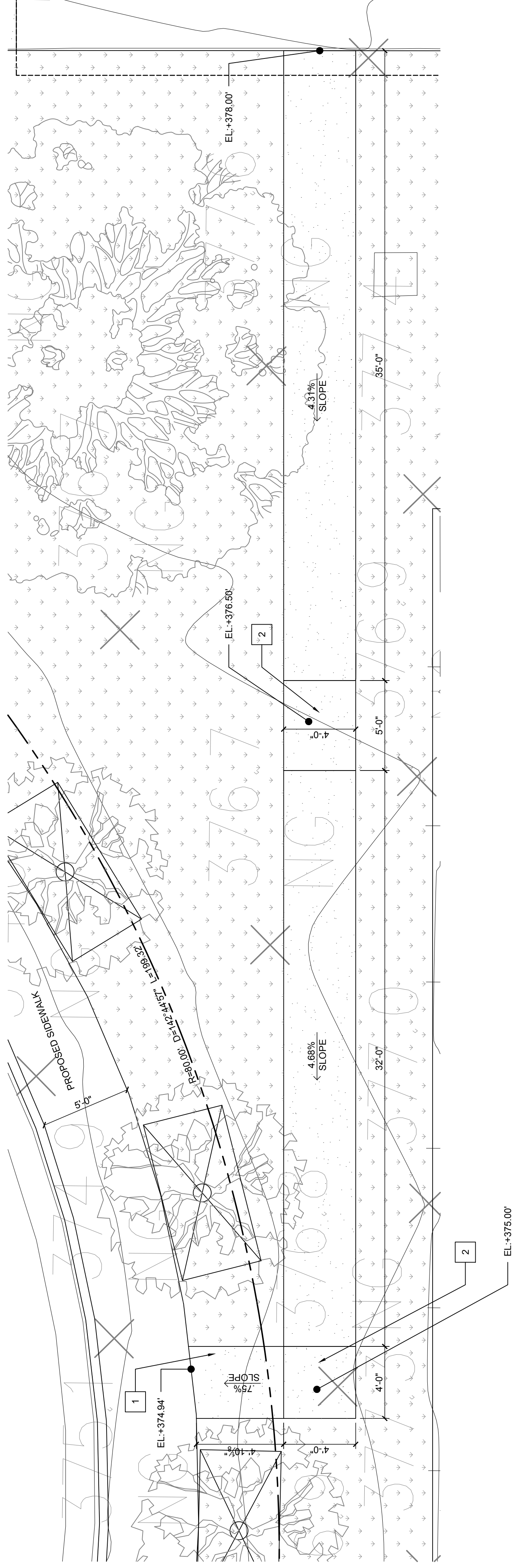
CAD DWG FILE: AMH - ENLARGED ACCESSIBLE RAMP.DWG
 DRAWN BY: Abhay Schweitzer, B.P., C.G., S.V.

CHK'D BY: Abhay Schweitzer

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SHEET TITLE

ACC. PATH ENLARGED
 PLAN - PROPOSED



1 ACCESSIBLE PATH ENLARGED PLAN - PROPOSED
 SCALE: 1/4"=1'-0"