



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: January 16, 2019 REPORT NO. HO-18-120

HEARING DATE: January 23, 2019

SUBJECT: Alston Duplex, Process Three Decision

PROJECT NUMBER: [556840](#)

OWNER/APPLICANT: Nicolas S. Alston Family Trust; Alston Family Trust; and Anthony D. Alston and Sharon G. Alston, Owners and Daniel Linn, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing residence and the construction of two, three-story residential condominium units at 3816 Bayside Walk within the Mission Beach Precise Plan and Local Coastal Program Addendum area?

Staff Recommendation: Approve an application for Coastal Development Permit No. 1959652 and Tentative Map No. 1959651.

Community Planning Group Recommendation: On May 15, 2018, the Mission Beach Precise Planning Board voted 9-1-0 to recommend approval of the proposed project without conditions (Attachment 9).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 12, 2018, and the opportunity to appeal that determination ended October 29, 2018 (Attachment 8).

BACKGROUND

The Alston Duplex project (Project) site is a 0.103-acre parcel with an existing residential dwelling unit located at 3816 Bayside Walk (Attachment 1) in the Mission Beach Planned District's Residential North (MBPD-R-N) Zone, Coastal Overlay Zone (Appealable), Coastal Height Limitation, First Public Roadway, Geologic Hazards Area 31 and 51, Parking (Beach and Coastal) Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the Mission

Beach Precise Plan and Local Coastal Program Addendum area (Community Plan). The Community Plan designates this site for Residential Land Use with 36 dwelling units per acre (Attachment 2).

The Project site is a developed, flat graded lot 4.22-feet above Mean Sea Level (MSL) at the west side of the site and 6.20 feet at the east side of the site. The site is not located within the 100-year floodplain. The existing dwelling unit on site was developed in 1920. The San Diego Municipal Code (SDMC) Section 143.0212 requires that structures 45 years old or older are reviewed for potentially historic significance and eligible for designation under one or more designation criteria. The structure was reviewed by the City and found to not meet local designation criteria as an individually significant resource under any adopted Historic Resource Board Criteria.

The surrounding residential development within the vicinity of the Project site consists of one-, two-, and three-story structures and a mix of single dwelling unit and multi-dwelling unit structures (Attachment 3). The site is located approximately 65 feet from Mission Bay, 735 feet from the Pacific Ocean, and within the first public roadway paralleling the sea.

On June 16, 2017, the City deemed complete the Project's application for a Coastal Development Permit (CDP) and Tentative Map (TM) for the proposed demolition of the existing residential dwelling unit and the construction of two, three-story residential condominium units, and a waiver to undergrounding utilities. A CDP is required per SDMC section 126.0702 and a TM is required per SDMC section 125.0410.

Project Description

The Project proposes the demolition of an existing residence and the creation of a three-story, 4,926 square-foot, residential condominium duplex with garage areas. The structure is comprised of a 2,504 square-foot north residential condominium unit and a 2,422 square-foot south residential condominium unit. Each unit contains three bedrooms, four bathrooms, laundry, kitchen, family room, decks, shared elevator, and a two-car garage.

The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site. The development will be sited completely on private property and no encroachment or impacts to public access are proposed.

The project will protect public views by maintaining a structure height of 28.22 feet, below the Coastal Height Limitation Overlay Zone maximum of thirty feet. The project will be conditioned to dedicate a deed restricted visual corridor along the south side of the property equal to the structural setback and thereby preserving public views along the setback portion of the Project site out to the bay front.

The Community Plan's Residential Element identifies for the continuation of the existing medium-density character of Mission Beach exemplified by the overall low profile and random mix of housing types and styles. As noted earlier, the Community Plan's land use designation for the site and surrounding area is Residential at a density of 36 dwelling units per acre. The land use would allow one to four units on the 0.103-acre site. Development of two units is consistent with the land use density while allowing the project to meet residential parking standards.

A goal of the Community Plan's Community Amenities Element is the enhancement of the quality of the physical environment of Mission Beach by upgrading the existing community and encouraging attractive development. The Project's proposed architectural style is contemporary with a flat roof planes, east and west facing decks, articulated façade, architectural projections, and stucco and siding building materials to provide interest and break up the structures massing.

Waiver of the requirement to Underground Utilities

The site is served by existing utility services with overhead utility lines located within the Bayside Lane alley abutting the rear of the Project site. The SDMC section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined that the requested waiver of the requirements to underground the existing utilities qualifies under the guidelines of SDMC section 144.0242(c) in that the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. Notwithstanding the requested waiver, the project is required to underground any new service run to any new or proposed structures within the subdivision per the Tentative Map conditions.

CONCLUSION

City staff has reviewed the application for the CDP and TM and has determined that the project complies with all previously approved entitlements and all applicable regulations and policy documents. Staff has provided draft findings and draft conditions to support approval of the project (Attachments 4-7). Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1959652 and Tentative Map No. 1959651, with modifications.
2. Deny Coastal Development Permit No. 1959652 and Tentative Map No. 1959651, if the findings required to approve the project cannot be affirmed.

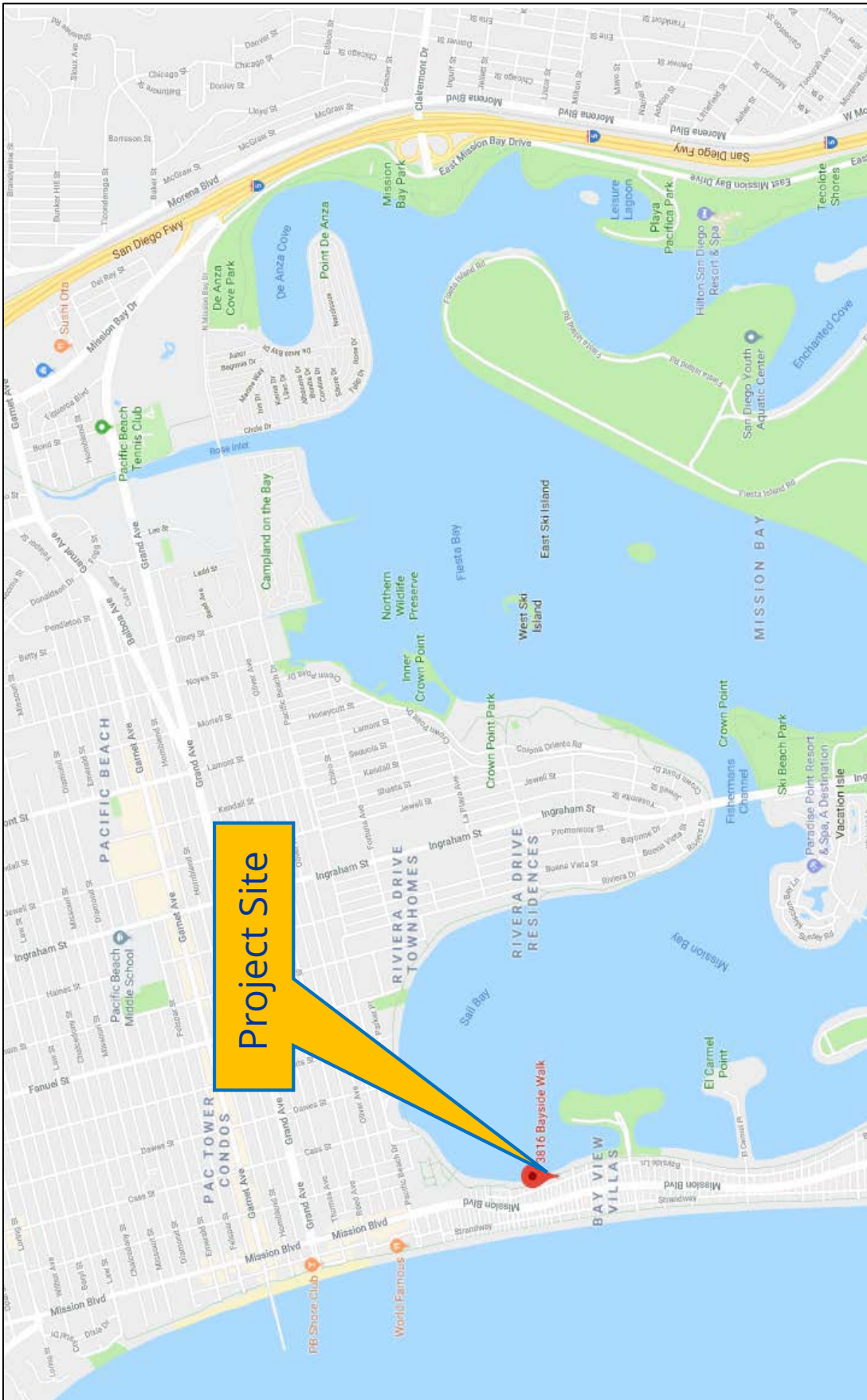
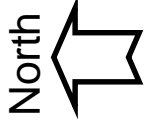
Respectfully submitted,



Tim Daly, Development Project Manager

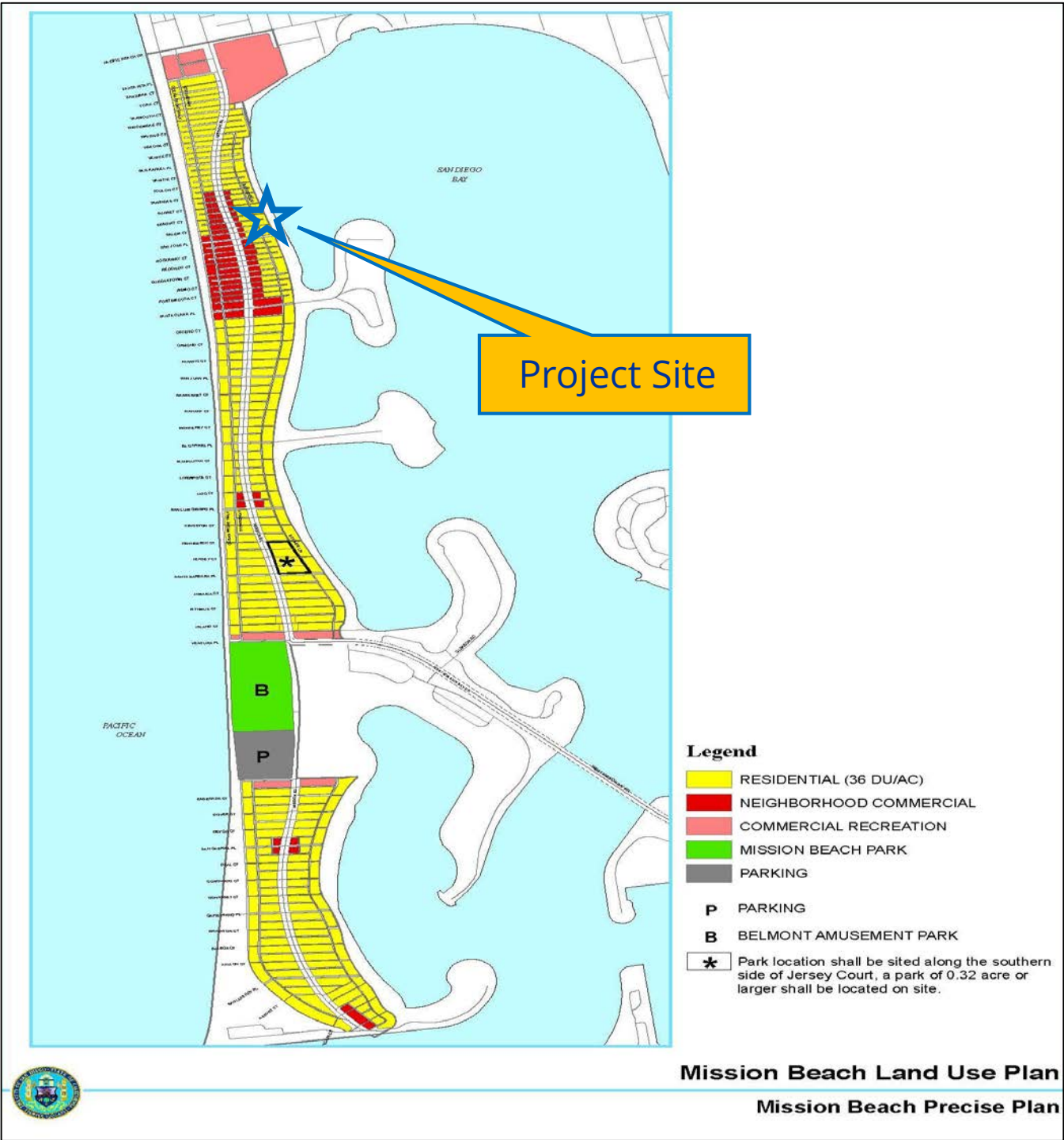
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photo
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Draft Map Resolution
7. Draft Map Conditions
8. Environmental Exemption
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans and Map



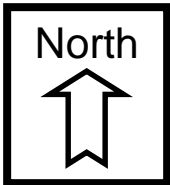
Project Location Map
 Alston Duplex – 3816 Bayside Walk
 PROJECT NO. 556840

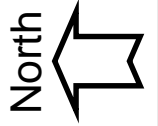




Land Use Map

Alston Duplex - 3816 Bayside Walk
PROJECT NO. 556840





Aerial Photo

Alston Duplex – 3816 Bayside Walk
PROJECT NO. 556840



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007343

SPACE ABOVE THIS LINE FOR RECORDER'S

COASTAL DEVELOPMENT PERMIT NO. 1959652
ALTON DUPLEX - PROJECT NO. 556840
HEARING OFFICER

This Coastal Development Permit [Permit] is granted by the Hearing Officer of the City of San Diego to Nicholas S. Alston Family Trust UTD 3-5-2002, the Alston Family Trust UTD 7-3-1990, and the Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust UTD6-3-2003, Owner and Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0708. The 0.103-acre site is located at 3816 Bayside Walk in the R-N Zone of the Mission Beach Planned District, Coastal (Appealable); Coastal Height Limit; First Public Roadway; Parking Impact (Beach); Residential Tandem Parking; Transit Area, and Transit Priority Area Overlay Zone within the Mission Beach Precise Plan and Local Coastal Program Addendum area. The project site is legally described as: Lots "D" "E" and "F" in block 202 of Mission Beach, in the City of San Diego, County of San Diego, State of California according to the map thereof No. 1651, filed in the office of the County Recorder of San Diego County, December 14, 1914. Together with that portion of Bayside Lane and adjoining said Lot "F" as closed to public use by Resolution No. 92505 by the City Council of the City of San Diego on January 25, 1949.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single dwelling unit and the construct two, attached condominium units described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated January 23, 2019, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single dwelling unit and the construction of two, attached three-story condominium units within a 4,926-square-foot structure (not including garage areas) as follows:
 - The northern unit is 2,504 square feet and consists of three-bedroom, three and a half bathrooms, laundry, kitchen, family room, decks, and two-car garage, and
 - The southern unit is 2,422 square feet and consists of four-bedroom, three-bathrooms, laundry, kitchen, family room, great room, decks, and two-car garage.
- b. Off-street parking; and

- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 7, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The Coastal Development Permit shall comply with all Conditions of the Parcel Map for the Tentative Map No. 1959651.
13. The project proposes to export 65 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

16. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the Mission Beach Planned District Ordinance, the Mission Beach Community Plan, and the Land Development Manual - Landscape Standards.
17. Landscaping located within the required yards for Courts and Places shall protect pedestrian view corridors by emphasizing tall trees with canopy areas and ground cover. Landscaping materials shall not encroach or overhang into the Courts and Places right-of-way below a height of eight (8) feet above the finish surface or finish grade, as measured at the trunk (SDMC section 103.0526.13).
18. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.
20. The Owner/Permittee shall install and maintain all landscaping proposed in public view corridors to not obstruct public views of the ocean as specified in SDMC section 132.0403(e) of the Land Development Code, Coastal Overlay Zone Regulations. Landscaping materials shall not encroach or overhang into the Courts and Places right-of-way below a height of 8-ft. above the finish surface or finish grade, as measured at the trunk [SDMC section 1513.0402(a)(2)].

PLANNING/DESIGN REQUIREMENTS:

21. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

PUBLIC UTILITY REQUIREMENTS:

23. Prior to the issuance of any construction permits, if it is determined during the construction permit review process the existing water and sewer services will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
24. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
25. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
26. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
27. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

ATTACHMENT 4

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on January 23, 2019 and Resolution No. XXXX.

DRAFT

ATTACHMENT 4

Permit Type/PTS Approval No.: Coastal Development Permit No. 1959652
Date of Approval: January 23, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Tim Daly
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Nicholas S. Alston Family Trust,
UTD 3-5-2002**
Owner/Permittee

By _____
Anthony D. Alston
Trustee

Alston Family Trust UTD 7-3-1990
Owner/Permittee

By _____
Lois A. Alston
Trustee

Anthony D. Alston and Sharon G. Alston
2003 Revocable Trust UTD6-3-2003
Owner/Permittee

By _____
Anthony D. Alston
Trustee

Anthony D. Alston and Sharon G. Alston
2003 Revocable Trust UTD6-3-2003
Owner/Permittee

By _____
Sharon G. Alston
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. XXXXXXX
COASTAL DEVELOPMENT PERMIT NO. 1959652
ALSTON DUPLEX CDP/TM - PROJECT NO. 556840

WHEREAS, NICHOLAS S. ALSTON FAMILY TRUST UTD 3-5-2002, THE ALSTON FAMILY TRUST UTD 7-3-1990, AND THE ANTHONY D. ALSTON AND SHARON G. ALSTON 2003 REVOCABLE TRUST UTD6-3-2003, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing residence located at 3816 Bayside Walk and construct a three-story residential condominium duplex with two units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1959652, on portions of a 0.103-acre site;

WHEREAS, the project site is located at 3816 Bayside Walk in the Mission Beach Planned District Residential North (MBPD-R-N) Zone, Coastal Overlay Zone (Appealable area), Coastal Height Limitation, First Public Roadway, Geologic Hazards Area 31 and 51, Parking (Beach and Coastal) Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the Mission Beach Precise Plan and Local Coastal Program Addendum area;

WHEREAS, the project site is legally described as Lots "D" "E" and "F" in block 202 of Mission Beach, in the City of San Diego, County of San Diego, State of California according to map thereof No. 1651, filed in the office of the County Recorder of San Diego County, December 14, 1914. Together with that portion of Bayside Lane adjoining said lot "F" as closed to public use by Resolution No. 92505 by the City Council of the City of San Diego on January 25, 1949;

WHEREAS, on October 29, 2018 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and 15303 (New

Construction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on January 23, 2019 the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1959652 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated January 23, 2019.

COASTAL DEVELOPMENT PERMIT [SDMC SECTION 126.0708(a)]

A. Findings for all Coastal Development Permits:

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The 0.103-acre site is located at 3816 Bayside Walk. The property is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Mission Beach Precise Plan and Local Coastal Program Addendum (Community Plan). Public access to the beach is available from Salem Court, immediately to the south of the site. The development will be sited completely on private property and no encroachment or impacts to public access are proposed.

The Project will protect public views by maintaining a structure height of 28.22 feet, below the Coastal Height Limitation Overlay Zone maximum of thirty-feet. The height, bulk and scale of the project is reduced by articulation of the facades on each side, decks, and predominately flat roofs at various heights to add interest and break up massing. The project will be conditioned to dedicate a deed restricted visual corridor along the south side of the property equal to the structural setback thereby preserving public views along the setback portion of the site out to the bay front.

The Project proposes no deviations or variances from the applicable regulations or policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development has been designed to protect and enhance the public views and would

not affect any existing or proposed physical accessway and/or public views to the Mission Bay, or other scenic coastal areas as specified in the Local Coastal Program.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The 0.103-acre site is located at 3816 Bayside Walk. The property is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site. The development will be sited completely on private property and no encroachment or impacts to public access are proposed.

The site is 4.22 feet above Mean Sea Level (MSL) at the west side of the site and 6.20 feet at the east side of the site and is not located within the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program, Multiple Habitat Planning Area, and does not contain any other type of Environmental Sensitive Lands, as defined in Land Development Code (LDC) Section 113.0103. The project proposes no deviations or variances from the applicable regulations and development standards in effect for this site.

The Environmentally Analysis Section conducted an environmental review of this site, in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15301(Existing Facilities) and 15303 (New Construction). Therefore, it has been determined that the project does not contain environmentally sensitive lands and would not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The 0.103-acre site is located at 3816 Bayside Walk. The property is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site.

The Project site is zoned MBPD-R-N and the Community Plan designates the site as Residential (36 dwelling units per acre). The proposed condominium duplex development is proposed at a density of 20 dwelling units per acre and will be consistent with the medium density residential goal and the Community Plan designation of Residential.

The Community Plan's Residential Element contains three key policies, which relate to the proposed development. These policies state: 1) medium-density character of Mission Beach exemplified by the overall low profile and random mix of housing types and styles; 2) control of height and building bulk so that structures in Mission Beach will not have adverse effects on surrounding property, the beaches, and the community in general; and 3) provision of open space, landscaping and vegetation. The structure height is proposed to be 28.22 feet and the bulk and scale of the project is reduced by articulation of the facades on each side, decks, and predominately flat roofs at various heights to add interest and break up massing. The Project's development setbacks include:

- Front setback from Bayside Walk of 15.3 feet where five feet is required;
- South side setback of 8.5 feet to 11.5 feet (consistent with the MBPD SDMC section 1513.0304(d)(2)(A)(i)) where 10 feet is required;
- North side setback from the alley of eight feet where no setback is required; and
- Rear setback of three feet where three feet is required in conformance with the community plan and zoning.

The setbacks will allow light and air around the duplex as well as landscaping adjacent to Bayside Walk and Salem Court sides. The proposed project is therefore consistent with these Community Plan Residential Elements.

The Project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.103-acre site is located at 3816 Bayside Walk. The property is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site.

A key component of adequate access is the preservation of existing vehicular and pedestrian public accessway. The Project has been conditioned within the tentative map to provide a visual corridor easement designating a visual corridor of not less than the side yard setbacks or more than 10 feet in width and running the full depth

of the premises prior to recording the Project's Parcel Map. Additionally, the Project will maintain all existing public access as follows:

- Front Yard (East) - pedestrian access along Bayside Walk;
- Rear Yard (West) - Alley accessible for vehicular travel and pedestrian use;
- Side Yard (North) - Public Alley; and
- Side Yard (South) - Salem Court which provides unobstructed /pedestrian public access to Mission Bay.

The proposed Project requests no deviations or variances and will comply with all applicable provisions of the community plan and municipal code regulations. Therefore, the proposed development is in conformity with the Community Plan as well as the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1959652 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1959652, a copy of which is attached hereto and made a part hereof.

Tim Daly
Development Project Manager
Development Services

Adopted on: January 23, 2019

IO#: 24007343

RESOLUTION NO. _____
DATE OF FINAL PASSAGE _____

A RESOLUTION OF THE HEARING OFFICER ADOPTING THE FINDINGS
AND APPROVING TENTATIVE MAP NO. 1959651 FOR **ALSTON
DUPLEX –PROJECT NO. 556840**

WHEREAS, Nicholas S. Alston Family Trust UTD 3-5-2002, the Alston Family Trust UTD 7-3-1990, and the Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust UTD6-3-2003, Subdivider, and Metropolitan Mapping, Engineer, submitted an application with the City of San Diego for Tentative Map No. 1959651, for the demolition of an existing single dwelling unit and the construction of two, attached three-story condominium units within a 4,926-square foot structure (not including garage areas), and to waive the requirement to underground existing offsite overhead utilities. The project site is located 3816 Bayside Walk, north of Salem Court and in the Mission Beach Precise Plan and Local Coastal Program Addendum. The property is legally described as The project site is legally described as: Lots "D" "E" and "F" in block 202 of Mission Beach, in the City of San Diego, County of San Diego, State of California according to the map thereof No. 1651, filed in the office of the County Recorder of San Diego County, December 14, 1914. Together with that portion of Bayside Lane and adjoining said Lot "F" as closed to public use by Resolution No. 92505 by the City Council of the City of San Diego on January 25, 1949.; and

Whereas the map proposes the subdivision of a 0.103-acre site into one (1) lot for a two (2) unit residential condominium creation.

WHEREAS, on October 29, 2018 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301(Existing Facilities) and 15303 (New

Construction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code (SDMC) Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and SDMC section 144.0220; and

WHEREAS, the project consists of two (2) units for which Certificates of Occupancy have not been issued; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is two (2); and

WHEREAS, the requested underground waiver of the existing overhead facilities within Bayview Lane qualifies under the guidelines of SDMC Section 144.0242(c)(1)(B) in that: The conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility.

WHEREAS, on January 23, 2018, the Hearing Officer of the City of San Diego considered Tentative Map No. 1959651, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to sections 125.0440 and 144.0240 of the SDMC and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1959651:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The 0.103-acre site is located at 3816 Bayside Walk within the Mission Beach Planned District Residential North (MBPD-R-N) Zone and the Mission Beach Precise Plan and Local Coastal Program Addendum (Community Plan) land use designation of Residential (36 dwelling unit per acre). The site will support up to four dwelling units based on the zone and land use. Development of a duplex is in conformance with the density. The Tentative Map subdivides the property into condominium ownership. One of the Community Plan's Residential Element goals is the continuation of the existing medium-density character of Mission Beach exemplified by the overall low profile and random mix of housing types and styles.

The proposed creation of a duplex condominium units would provide ownership housing opportunities in varied types and architectural styles. The proposed subdivision is consistent with the recommended residential land use and density prescribed in the Community Plan. Therefore, the proposed subdivision and its design or improvement would be consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The 0.103-acre site is located at 3816 Bayside Walk within the MBPD-R-N Zone. The San Diego Municipal Code (SDMC) Section 143.0212 requires that structures 45 years old or older are reviewed for potentially historic significance and eligible for designation under one or more designation criteria. The existing structure to be demolished was reviewed by the City and found to not meet local designation criteria as an individually significant resource under any adopted Historic Resource Board Criteria. The project to demolish the existing single dwelling unit and construct a new duplex unit will observe the required setback and a step back of the structure above the second floor. The structure height is proposed to be 28.22 feet, consistent with the 30-foot Coastal Height Limit. The structure's bulk and scale are reduced by articulation of the facades on each floor any each side and a predominately flat roofs and decks at various heights to add interest and break up massing.

The project proposes no deviations or variances from the applicable regulations and policy documents and is therefore consistent with the recommended zoning and development regulations in effect for this site.

3. The site is physically suitable for the type and density of development.

The 0.103-acre site is located at 3816 Bayside Walk in the MBPD-R-N Zone, which allows for residential development. The property is located approximately 65 feet from the Mission Bay and 735 feet from the Pacific Ocean and between the sea and Bayside Lane, the first public

roadway paralleling the sea. The previously developed site is 4.22-feet above Mean Sea Level at the west side of the site and 6.20 feet at the east side of the site, is not located within the 100-year floodplain, and is served by existing overhead and underground utilities. The property is not within or adjacent to the Multiple Species Conservation Program, Multiple Habitat Planning Area, and does not contain any other type of Environmental Sensitive Lands, as defined in SDMC section 113.0103.

The project proposes no deviations or variances from the applicable regulations and development standards in effect for this site therefore, the site is physically suitable for the type and the density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project proposes the site subdivision for the creation of two residential condominium units. The San Diego Municipal Code (SDMC) Section 143.0212 requires that structures 45 years old or older are reviewed for potentially historic significance and eligible for designation under one or more designation criteria. The existing structure to be demolished was reviewed by the City and found to not meet local designation criteria as an individually significant resource under any adopted Historic Resource Board Criteria.

The Environmental Analysis Section conducted an environmental review of this site, in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15301(Existing Facilities) and 15303 (New Construction). It has been determined that the project does not contain environmentally sensitive lands and would not adversely affect environmentally sensitive lands. Therefore, the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.

The design of the subdivision was reviewed and determined to be in compliance with the Municipal Code and Subdivision Map Act. The San Diego Municipal Code (SDMC) Section 143.0212 requires that structures 45 years old or older are reviewed for potentially historic significance and eligible for designation under one or more designation criteria. The existing structure to be demolished was reviewed by the City and found to not meet local designation criteria as an individually significant resource under any adopted Historic Resource Board Criteria.

The Tentative Map and associated development permit include conditions and corresponding exhibits of approvals relevant to adequate parking, public improvements, undergrounding of utilities and payment of applicable fees in order to achieve compliance with the regulations of the SDMC. The completion of specified improvements, to the satisfaction of the City Engineer, will be required prior to the approval of the parcel map to ensure the public health, safety, and welfare. These improvements include compliance with

required parking, landscape improvement. The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(Existing Facilities) and 15303 (New Construction). Therefore, the design of the subdivision or the type of improvements will not be detrimental to the public, health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The 0.103-acre site is located at 3816 Bayside Walk, is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site. The project proposes no deviations or variances from the applicable regulations and development standards in effect for this site therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The project proposes the site subdivision for the creation of two residential condominium units. The building orientation eastward towards Mission Bay and the design includes balconies and decks to provide cross ventilation air flow and natural cooling opportunities. The design will not impede or inhibit any future passive or natural heating and cooling opportunities. The site includes landscape areas with a selection of plant materials to provide for future passive or natural heating and cooling opportunities. Therefore, the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project proposes creation of two residential condominium units to replace an existing single dwelling unit. The site is conveniently served by existing public transit and a wide range of retail/commercial establishments north of the project site along Mission Boulevard, and public facilities including schools, a recreation center, and a library nearby. The decision maker has reviewed the administrative record including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region. Those regional needs were balanced against the needs for public services and the available fiscal and environmental resources and found that the proposed Tentative Map would not negatively impact the housing needs of the Community Plan area.

No additional demand for public services or available fiscal and environmental resources would be associated with the creation of two residential condominium units.

That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map No. 1959651, including the waiver of the requirement to underground existing offsite overhead utilities, is hereby granted to Nicholas S. Alston Family Trust UTD 3-5-2002, the Alston Family Trust UTD 7-3-1990, and the Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust UTD6-3-2003, Subdivider, and Metropolitan Mapping, Engineer, subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Tim Daly
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24007343

ATTACHMENT 7

HEARING OFFICER
CONDITIONS FOR TENTATIVE MAP NO. 1959651
ALTON DUPLEX - PROJECT NO. 556840
ADOPTED BY RESOLUTION NO. _____ ON _____

GENERAL

1. This Tentative Map will expire February 7, 2022.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map unless otherwise noted.
3. The Parcel Map shall conform to the provisions of Coastal Development Permit No. 1951652.
4. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify the Subdivider of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

5. The Tentative Map shall comply with the conditions of Coastal Development Permit No. 1959652.
6. The Subdivider shall ensure that new all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
7. The Subdivider shall not be required to install street lights, considering the existing street lights are located less than 300 feet from the Project street frontage. Therefore, the Project is in compliance with current street light standards according to the City of San Diego Street Design Manual and Council Policy 200-18.
8. The Subdivider shall obtain a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

ATTACHMENT 7

9. The Subdivider shall prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
10. The Subdivider shall comply with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

PLANNING

11. Prior to the recordation of the Parcel Map, the Subdivider shall record an 8 feet 6 inches-wide View Corridor Easement as shown on Exhibit "A," in accordance with San Diego Municipal Code section 132.0403.

MAPPING

12. Prior to the expiration of the Tentative Map, a Parcel Map to consolidate and subdivide the property into two (2) residential condominium units shall be recorded in the office of the County Recorder of San Diego County.
13. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition.
14. If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.
15. The Parcel Map shall be based on a field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495. All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
16. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
17. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said

ATTACHMENT 7

map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.

- b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. § 1531 *et seq.*).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within 90 days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (SDMC section 142.0607).

Internal Order No. 24007343

NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

☐ Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/ Project No.: Alston Duplex CDP TM / 556840

SCH No.: NA

Project Location-Specific: 3816 BAYSIDE WALK, San Diego CA, 92109

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit (CDP) and Tentative Map (TM) for the demolition of an existing residence and the creation of two 3-story residential duplex condominium units with a combined total of 5,526 square feet. The 0.103-acre site is in the R-N zone of the Mission Beach Planned District, Coastal (Appealable) overlay zone within the Mission Beach Precise Plan area, Council District 2. The proposed project is located at 3816 Bayside Walk (APN 423-576-2700), in the MBPD-R-N zone of the Mission Beach Planned District, within the Mission Beach Precise Plan area on a 4,495-square-foot site. The project site is located within the Coastal Overlay Zone (City Appealable Area), Coastal Height Limit Overlay Zone, First Public Roadway, Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Nick Alston, 3816 Bayside Walk, San Diego, CA, 92109, 619-344-0980

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: Sections 15301 (EXISTING FACILITIES) AND 15303 (NEW CONSTRUCTION)
- ☐ Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) Section 15303 (New Construction). Section 15301 allows for the demolition of individual small structures and Section 15303 allows for construction of a duplex totaling no more than four dwelling units. Since the proposed project is demolition of an existing structures and construction of a new duplex the exemptions are appropriate. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply because no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: Courtney Holowach

Telephone: 619-446-5187

If filed by applicant:

Revised May 2016

ATTACHMENT 8

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title

10/29/18

Date

Check One:

(X) Signed By Lead Agency

() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

**MISSION BEACH PRECISE PLANNING BOARD (“MBPPB”)
Tuesday, May 15, 2018 @ 7 PM
Belmont Park Coaster Terrace - Community Room
Minutes of Meeting**

Board Members Present:

Michelle Baron	Josh Geller	Carole Havlat	Dennis Lynch
Brian McCarthy	John Ready	Brandon Soule	Gernot Trolf
Debbie Watkins	Jenine Whittecar	Gary Wonacott	

Absent: Mike Meyer, Dave Kvederis

OPENING FUNCTIONS (7:06 p.m.)

Meeting was called to order by Debbie Watkins, Chair, at approximately 7:06 PM.

- **Approval of Minutes** for April 17, 2018 Motion by Trolf/Havlat, approves 8/1/1 (Wonacott)
- **Revisions to Agenda**
- **Chair’s Report** (7:23 p.m.)
- **Secretary’s Report**

REPORTS FROM GOVERNMENT OFFICIALS

BUILDING PLAN REVIEW

Action Item:

- **Alston Duplex CDP/TM (3816 Bayside Walk); Project No. 556840 Process 2 SECOND REVIEW: Coastal Development Permit and Tentative Map for the demolition of an existing residence for the creation of two 3-story residential condominium units with a combined total of 5,526 sq. feet; Presenter: Applicant/Architect Daniel Linn**

Mr. Linn made the following changes:

- a) The building offset now goes all of the way up to comply with PDO §1513.0304 (d)(2)(A)(i)
- b) The planned bayfront parking area has been deleted and is now landscape;
- c) There is no tandem parking on the north side of the property because it is an active alley.

Motion #2 was made by Dennis Lynch and seconded by Brandon Soule to approve the project as presented.

Vote: 9/0/1 [Gary Wonacott abstained because he was not given enough time to review the project]

- **Island Court Bayside CDP/SDP; Project No. 600832 Process 3**
- **Casa Hermosa CDP/SDP/Map Waiver: Project No. 560520 Process 3**

NEW BUSINESS (8:51 p.m.)

The next meeting will be held on Tuesday, June 19, 2018

ADJOURNMENT (9:04 p.m.)

	<p>City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000</p> <p>Ownership Disclosure Statement</p>	<p>FORM DS-318</p> <p>October 2017</p>
---	--	--

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☒ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Alston Duplex **Project No. For City Use Only:** _____

Project Address: 3816 Bayside Walk
San Diego, CA 92109

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Nicholas S. Alston Family Trust ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address: 3816 Bayside Walk
City: San Diego State: CA Zip: 92109
Phone No.: 858-243-1610 Fax No.: _____ Email: nsalston@msn.com
Signature: [Signature] Date: 12/7/18
Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address: 24822 Via San Fernando
City: Mission Viejo State: CA Zip: 92692
Phone No.: 949-533-7615 Fax No.: _____ Email: _____
Signature: [Signature] Date: 12/7/2018
Additional pages Attached: ☐ Yes ☒ No

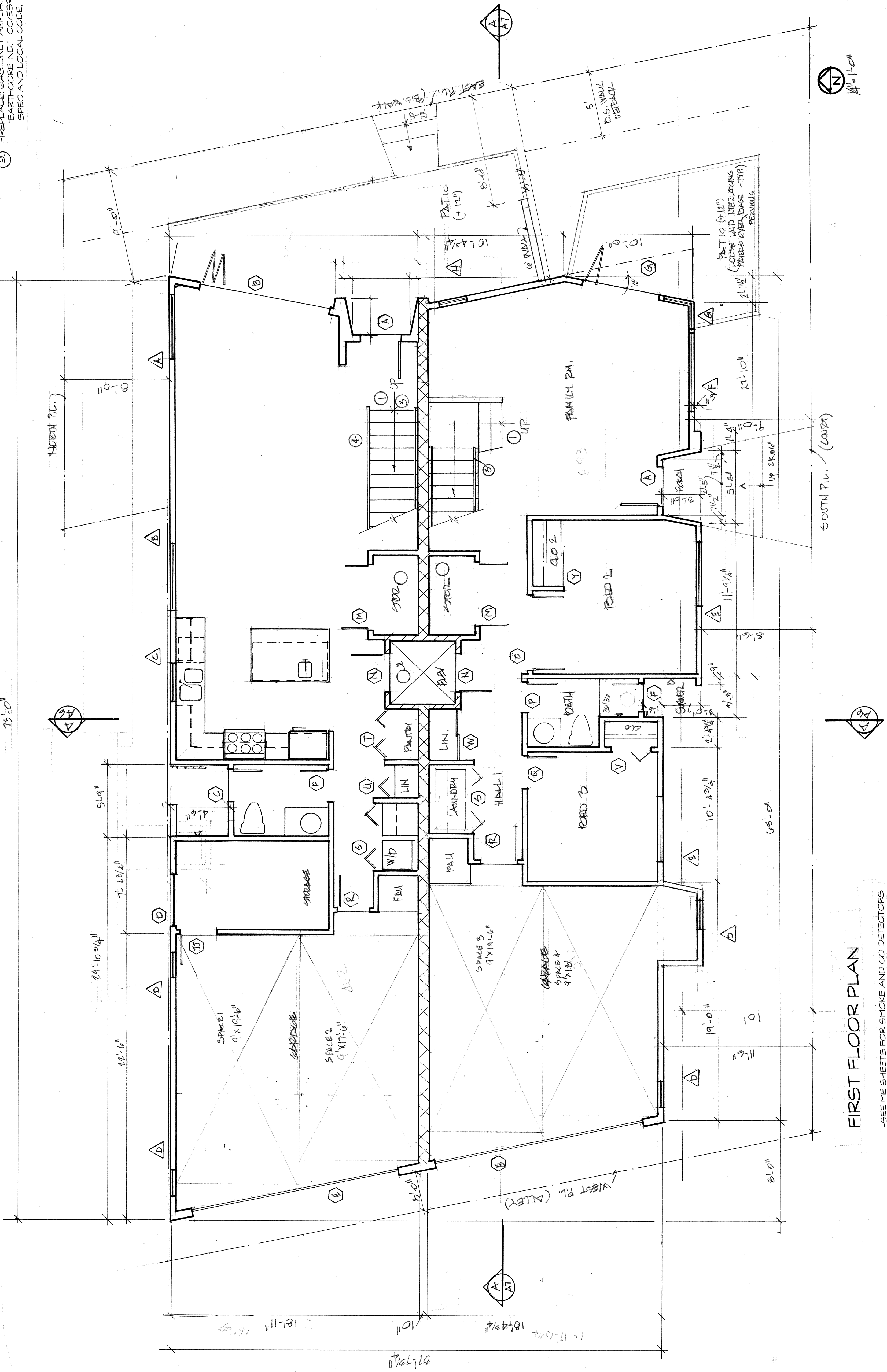
Other Financially Interested Persons

Name of Individual: Alston Family Trust U/A Dtd 07/02/1990 ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address: 309 El Pedregal Drive
City: Solana Beach State: CA 92075 Zip: 92075
Phone No.: 858-755-3712 Fax No.: _____ Email: _____
Signature: [Signature] Date: 12/7/18
Additional pages Attached: ☐ Yes ☒ No

PLAN NOTES (TYP.)

- 1 STAIRS: 16 RISERS @ 7.50" EA. TREADS @ 11" + 1 1/2" NOSE. ALL STAIRS: MIN. 42" WIDE (MAX. RISE = 7.75", MIN. TREAD = 10")
- 2 STAIRS: 2 RISERS @ 6.00" EA. TREADS @ 14"
- 3 HANDRAIL: 36" ABOVE TREAD NOSE, 1 1/2" DIA. GRP, 1 1/2" CLEAR TO WALL. RETURN RAIL TO WALL, SELF OR POST AT ALL ENDS.
- 4 GUARDRAIL: MIN. 42" ABOVE WALK SURFACE, MAX. BALUSTER SPACE OF 3" 15/16" AS OCCURS.
- 5 GUARDRAIL: MIN. 45" ABOVE WALK SURFACE, STUCCO WALL.
- 6 GUARDRAIL: MIN. 42" ABOVE WALK SURFACE TEMP GLASS SYSTEM PER DETAIL.
- 7 PROTECTION: 5/8" TYPE "X" GYP. BD. ON ALL WALLS, CEILINGS AND SOFFITS.
- 8 PROTECTION: 5/8" TYPE "X" GYP. BD. ON GARAGE SIDE OF UNIT WALL AND ON ALL WALLS AND CEILING OF GARAGE.
- 9 FIREPLACE GAS ONLY APPLIANCE, DIRECT VENT MFG BY "EARTHQUAKE IND." (COPESR-2516 OR EQ), INSTALL PER MFG SPEC AND LOCAL CODE.

PARKING SPACE /BACK UP DISTANCE NOTES
THE ADJUTING ALLEY (BAYSIDE LANE) = 16' IN WIDTH
THE PROPOSED SETBACK FROM THE FACE OF THE GARAGES IS 3'-0" TO THE NEAR EDGE ALLEY PL.
THE REQUIRED MINIMUM WIDTH OF EACH GARAGE IS 17' (8'-6" PER SPACE) NO
THIS IS TWO 6' INCREMENTS LARGER THAN REQUIRED
PER THE MC, EACH 6' INCREASE IN WIDTH ALLOWS A ONE FOOT REDUCTION FROM 21' REQUIRED AS THE MINIMUM BACK UP FROM THAT GARAGE TO THE OPPOSITE ALLEY PL.
THUS TWO INCREMENTS OF 6' ALLOWS A TWO FOOT REDUCTION FROM THE 21' REQUIREMENT
THIS EQUALS THE 19' AS SHOWN (3' SETBACK + 16' ALLEY)
THUS THE DISTANCE SHOWN CONFORMS



FIRST FLOOR PLAN

-SEE ME SHEETS FOR SMOKE AND CO DETECTORS

PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVE
SAN DIEGO, CA 92109
PROJECT ADDRESS: 3816 & 3818 BAYSIDE WALK
SAN DIEGO, CA 92109
PROJECT TITLE: ALSTON DUPLEX
SHEET NUMBER: 013/14
SHEET 4 OF 14
REVISION 1: 1/14/10
REVISION 2: 1/14/10
REVISION 3: 1/14/10
REVISION 4: 1/14/10
REVISION 5: 1/14/10

Daniel Linn architect
5732 Bellevue Avenue
San Diego, CA 92109
858 459-8108
858 459-8118

ALSTON DUPLEX
3816 & 3818 BAYSIDE WALK
SAN DIEGO, CALIFORNIA

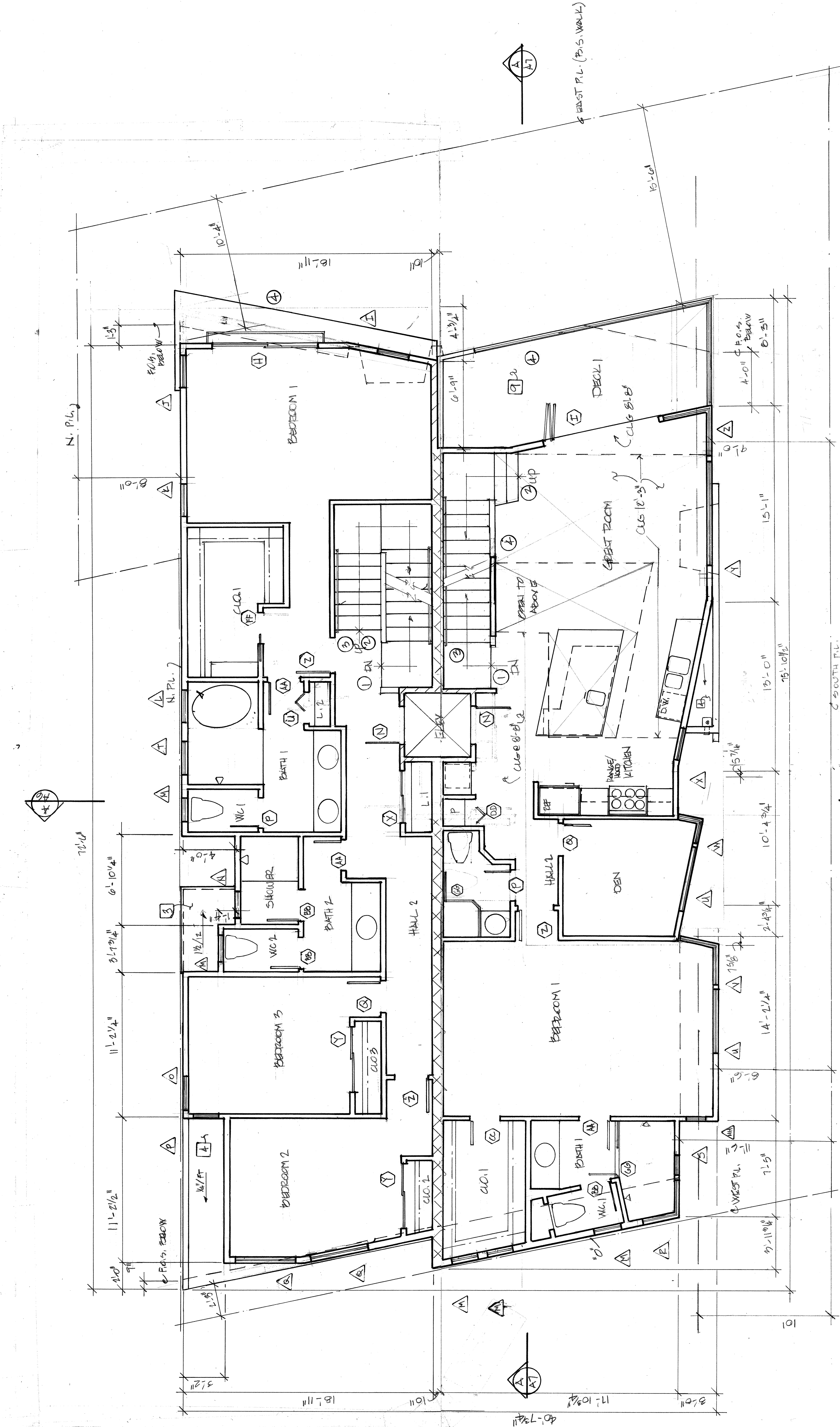
A1

Daniel Linn architect
5732 Bellevue Avenue
La Jolla CA 92037
858 459-8108
858 459-8108

ALSTON DUPLEX
3816 & 3818 BAYSIDE WALK
SAN DIEGO, CALIFORNIA

A2

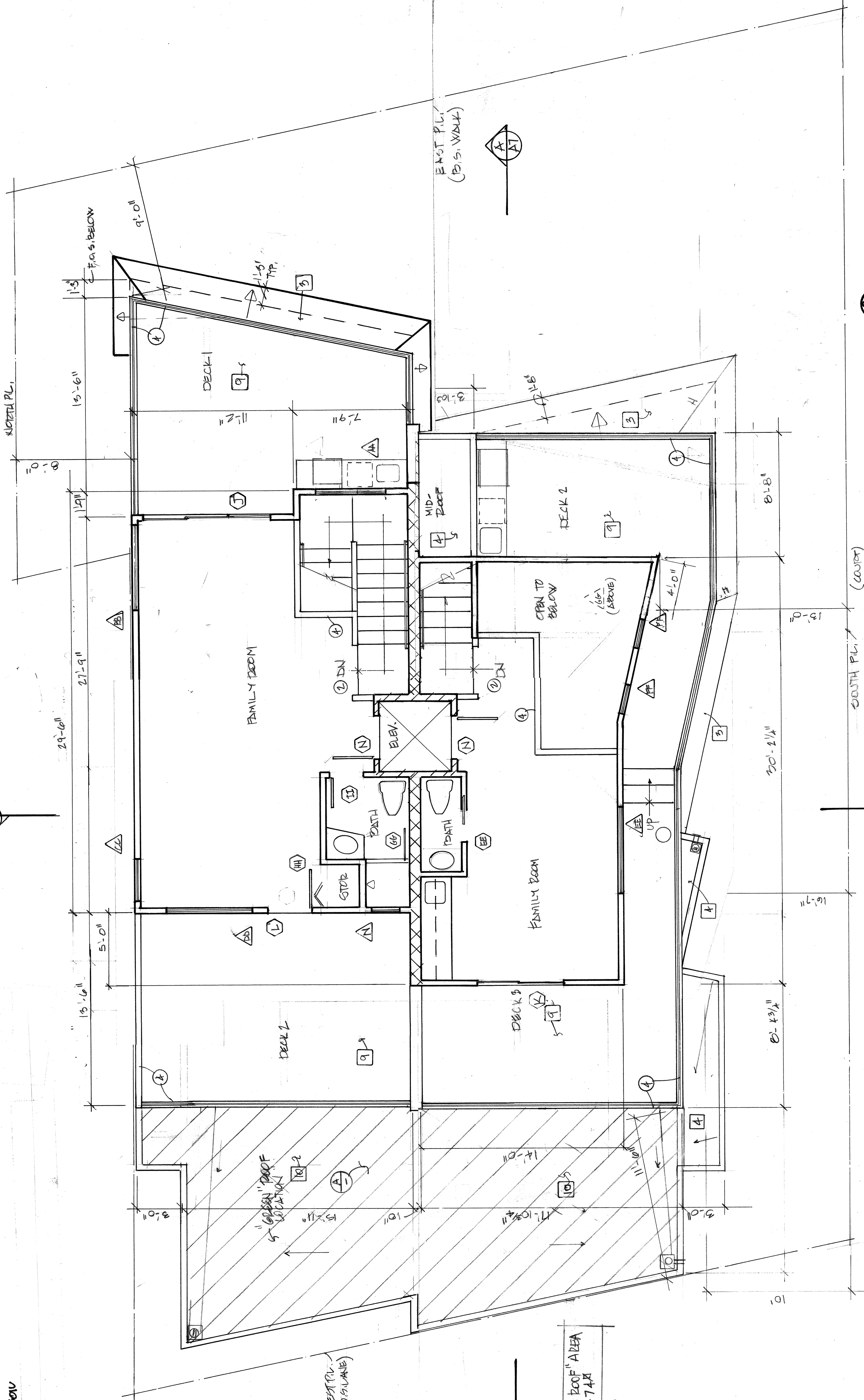
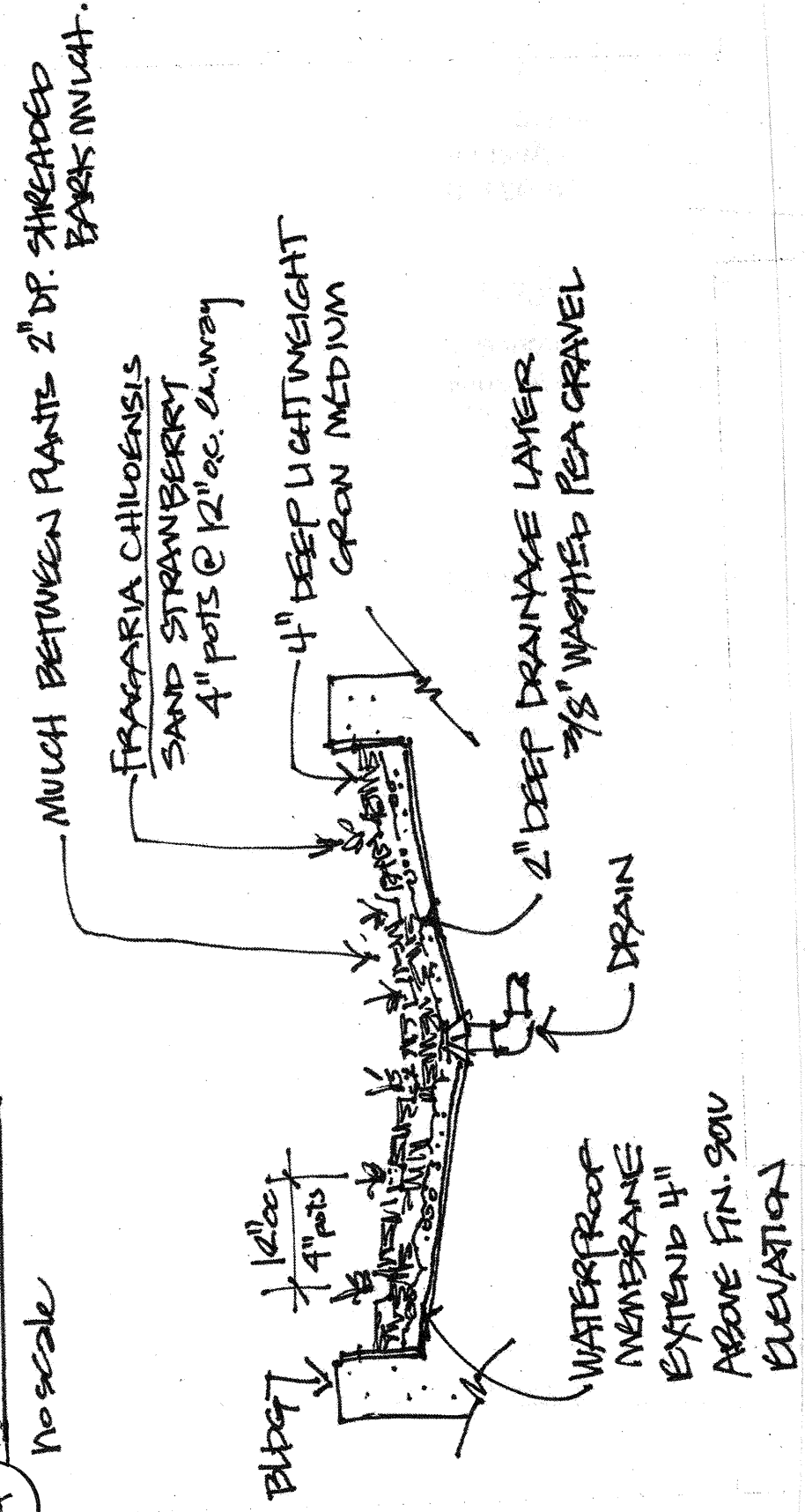
PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVE
LA JOLLA, CA 92037
PROJECT ADDRESS: 3816 & 3818 BAYSIDE WALK
SAN DIEGO, CA 92039
PROJECT TITLE: ALSTON DUPLEX
PROJECT NUMBER: 015119
SHEET 5 OF 12
REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6



SECOND FLOOR PLAN

- SEE A1 FOR WALL LEGEND AND PLAN NOTES [X]
- SEE A4 FOR ROOF AND DECK NOTES [X]
- SEE ME SHEETS FOR SMOKE AND CO DETECTORS

A ROOF TOP PLANTER - SECTION
1/8" = 1'-0"



THIRD FLOOR PLAN

- SEE A1 FOR WALL LEGEND AND PLAN NOTES (X)
- SEE A1 FOR ROOF AND DECK NOTES (X)
- SEE ME SHEETS FOR SMOKE AND CO DETECTORS

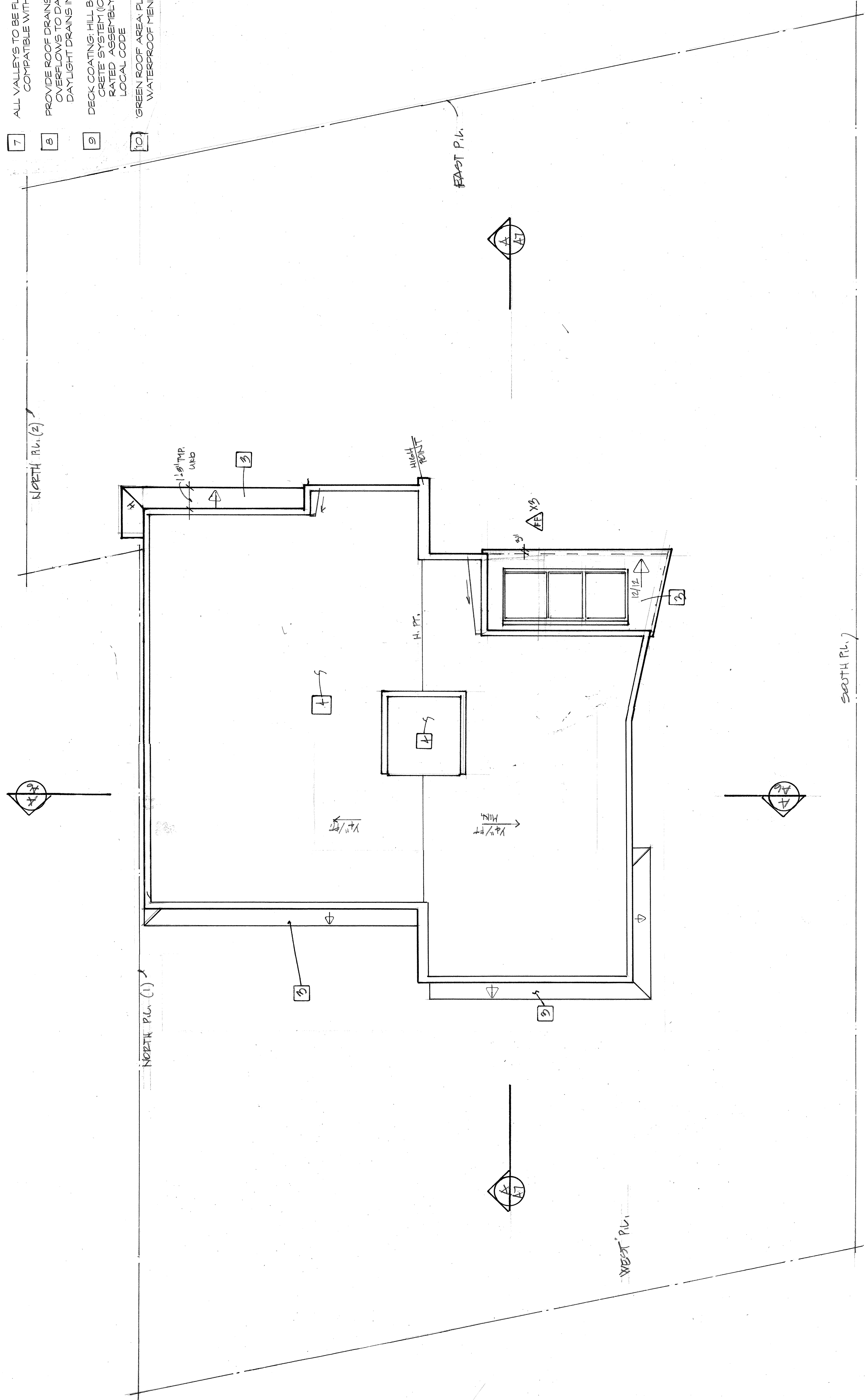
PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVENUE
LA JOLLA, CA 92037
PROJECT ADDRESS: 3816 & 3818 BAYSIDE WALK
SAN DIEGO, CA 92109
PROJECT TITLE: ALSTON DUPLEX
DESIGNED BY: DANIEL LINN
ORIGINAL DATE: 6/19/14
PROJECT NUMBER: 41914
SHEET 4 OF 12
REVISION 1: 1/16/18
REVISION 2:
REVISION 3:
REVISION 4:
REVISION 5:
REVISION 6:

Daniel Linn architect
5732 Bellevue Avenue
La Jolla, CA 92037
658 459-8108
fax 658 459-8118

ALSTON DUPLEX
3816 & 3818 BAYSIDE WALK
SAN DIEGO, CALIFORNIA

1 2 3 4 5 6 7 8 9 10

- 1 SLOPED ROOF (METAL). PITCHES TO BE 1 1/2" / 12" UNDO
- 2 "FLAT" ROOFS TO SLOPE MIN. 1/4" PER FT.
- 3 ROOFING MATERIAL: AT 1 1/2" / 12" ROOFS AND FASCIA PER PLAN: FLAT SEAM METAL CLASS "A" RATED ASSEMBLY. INSTALL PER MFG. SPEC. AND LOCAL CODE. ROOFING OVER 1 LAYER OF 30# BUILDING PAPER OR PER MFG. SPEC.
- 4 "FLAT" ROOFS: 3-PLY BUILT-UP ROOFING, CLASS "A" RATED ASSEMBLY OR SINGLE PLY "TORCH-ON" BUILT-UP ASSEMBLY (ICC ESR-2274 (OR EQUAL) CLASS "A" RATED ASSEMBLY
- 5 ALL PENETRATIONS TO BE TOWARD REAR OF BUILDING
- 6 ALL PENETRATIONS TO BE FULLY FLASHED/COUNTER FLASHED WITH 16 OZ. COPPER OR MATERIAL COMPATIBLE WITH THE ROOFING
- 7 ALL VALLEYS TO BE FLASHED W/ 16 OZ. COPPER OR AS COMPATIBLE WITH THE ROOFING MATERIAL
- 8 PROVIDE ROOF DRAINS TO EXTERNAL DOWNSPOUTS AND OVERFLOWS TO DAYLIGHT AT FLAT AREAS PER PLAN. DAYLIGHT DRAINS INTO LANDSCAPE AREAS
- 9 DECK COATING: HILL BROTHERS' 'DESSERT CRETE' SYSTEM (ICC ESR #1668), OR EQUAL. ONE HOUR RATED ASSEMBLY. INSTALL PER MFG. SPEC. AND LOCAL CODE
- 10 GREEN ROOF AREA: PLANTED AREA PER DETAIL A/A4 (OVER WATERPROOF MEMBRANE)



UPPER ROOF PLAN

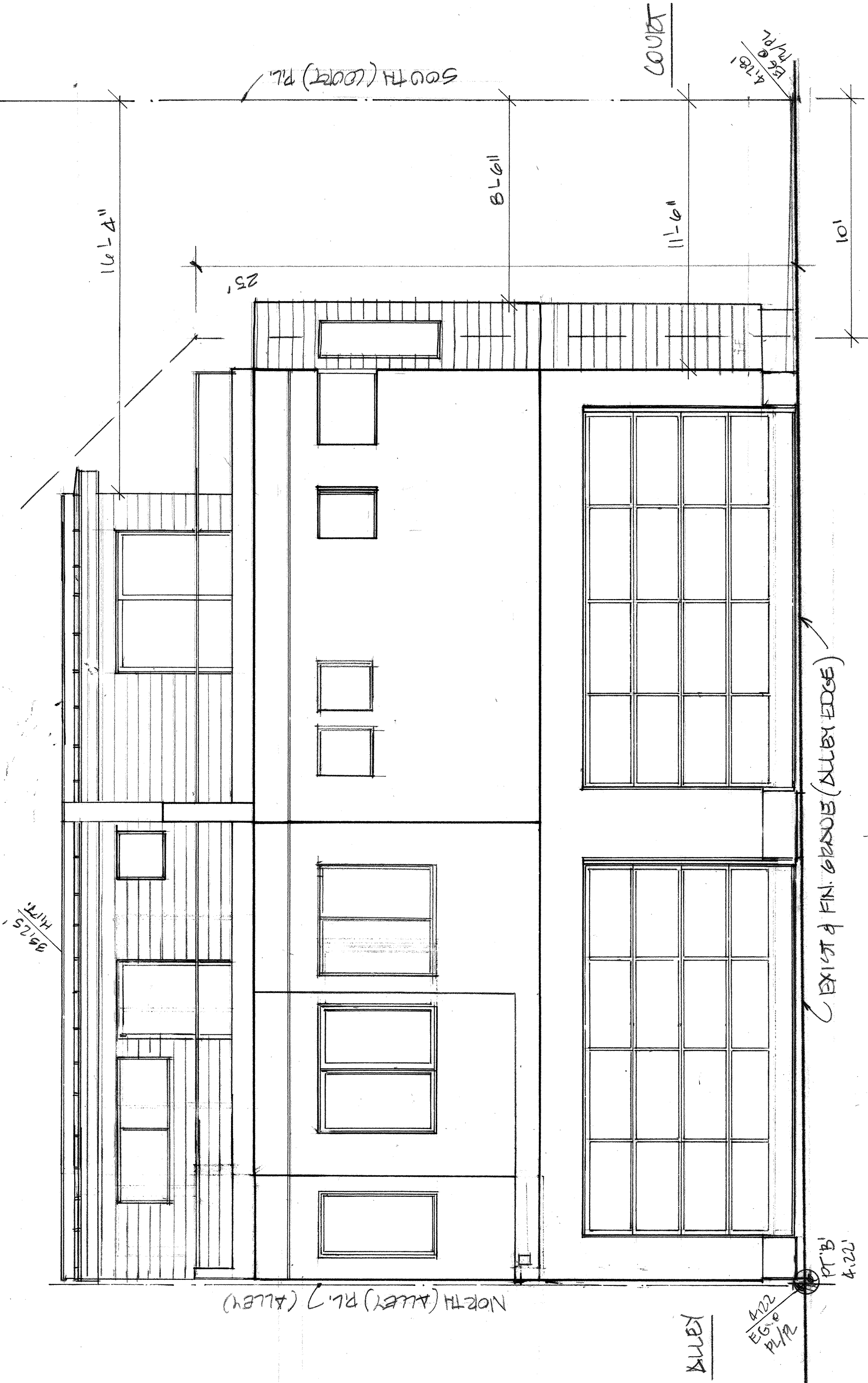
PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVE
LA JOLLA, CA 92037
PROJECT ADDRESS: 3816 E 3816 BAYSIDE WALK
LA JOLLA, CA 92039
PROJECT TITLE: ALSTON COUNTRY PLAZA
SHEET TITLE: ~~1~~ 1001 PLAN
ORIGINAL DATE: 1/15/12
PROJECT NUMBER: 111512
SHEET 1 OF 12
REVISION 4
REVISION 3
REVISION 5
REVISION 6

Daniel Linn architect
5732 Bellevue Avenue
La Jolla, CA 92037
858 459-8108
fax 858 459-8118

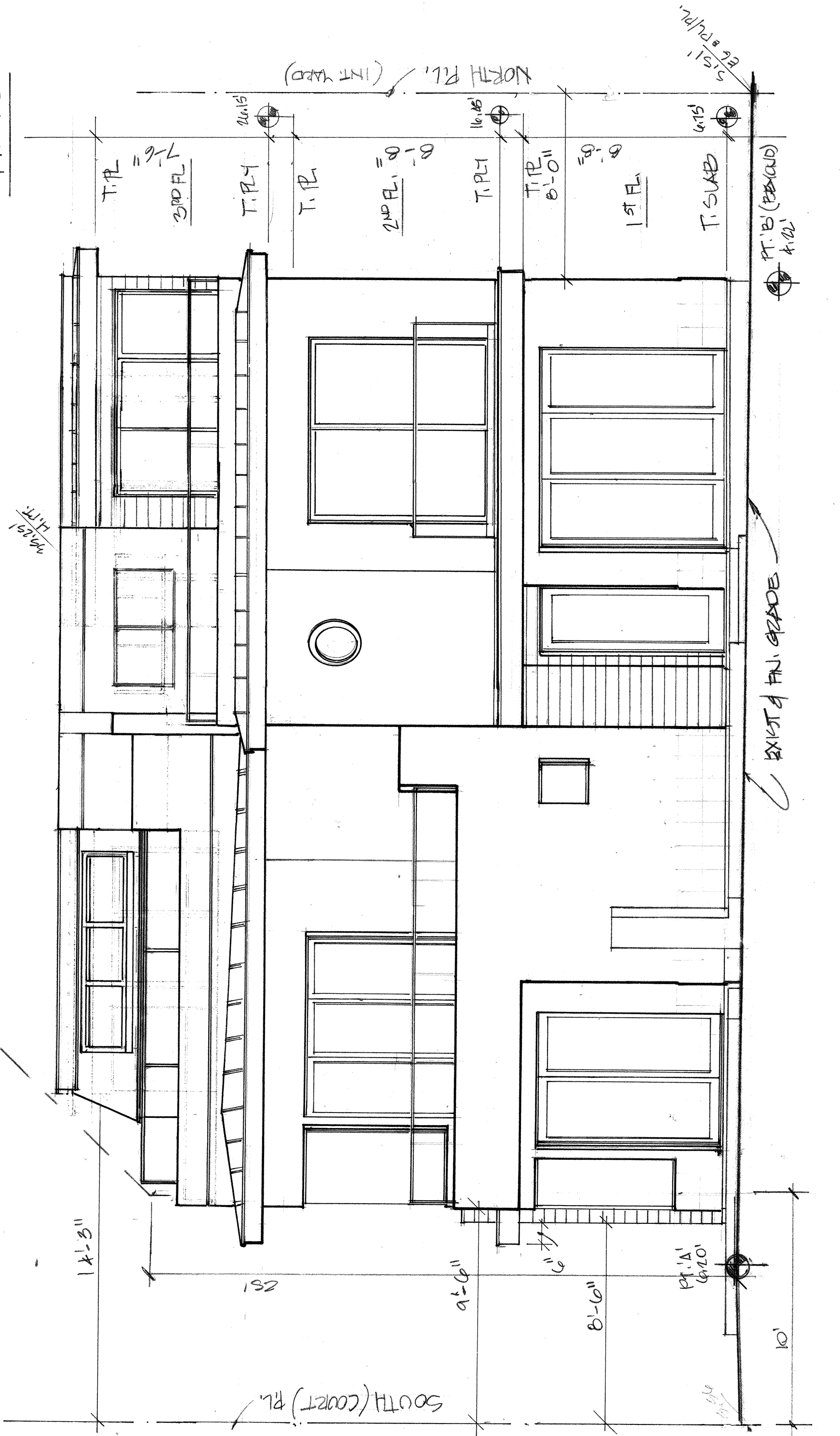
ALSTON DUPLEX
3816 & 3818 BAYSIDE WALK
SAN DIEGO, CALIFORNIA

A5

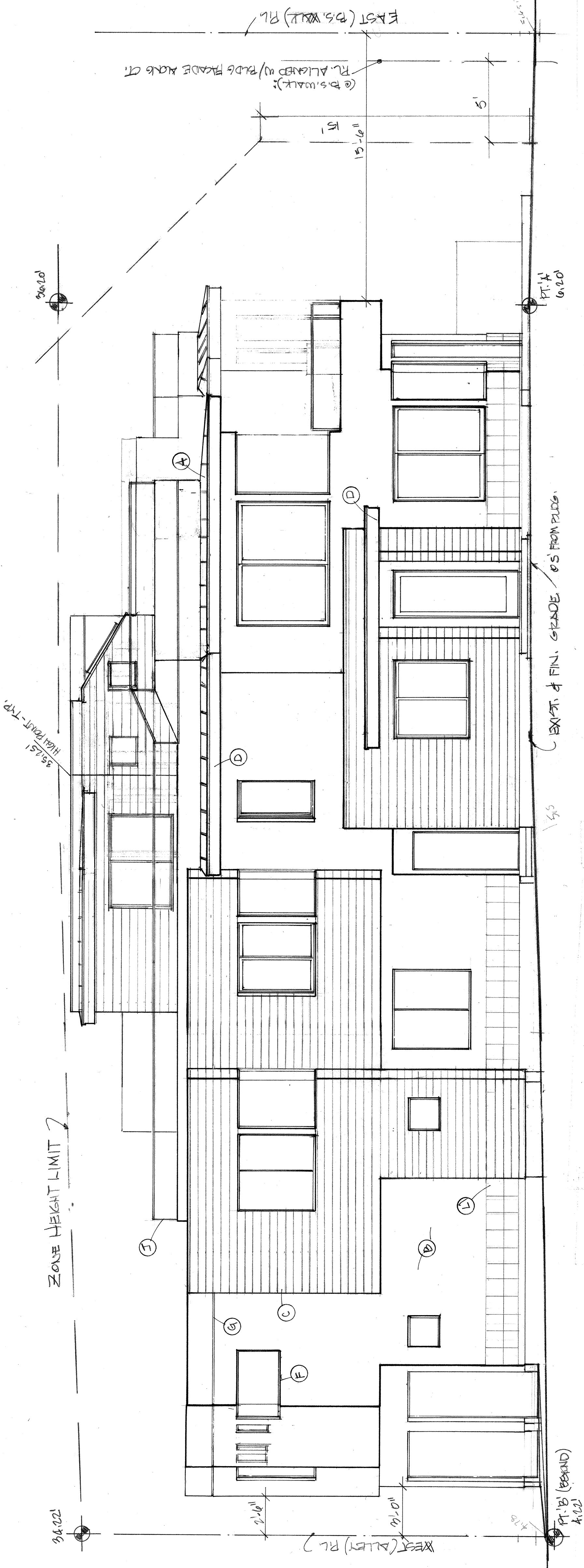
PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVE.
LA JOLLA, CA 92037
PROJECT ADDRESS: 3816 & 3818 BAYSIDE WALK
SAN DIEGO, CA 92108
PROJECT TITLE: ALSTON DUPLEX
SHEET TITLE: EAST (S.WALK) RL
ORIGINAL DATE: 01/13/14
PROJECT NUMBER: 013174
SHEET 6 OF 13
REVISION 1: 11/15/14
REVISION 2:
REVISION 3:
REVISION 4:
REVISION 5:
REVISION 6:



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

ELEVATION LEGEND (TYP.)

- (A) ROOFING: Flat seam metal roofing per plan and notes A4, color per owner
- (B) STUCCO: Sand finished, color per owner, min 7/8" thick
- (C) SIDING: 1 x 6 ship-lap siding, blind-nail installation, install over building paper per mfg. Start/seal
- (D) FASCIA: metal to match roofing (continuous)
- (E) FASCIA: Stucco over wood framing per detail 5/A6
- (F) WINDOWS: Fiberglass frames per schedule.

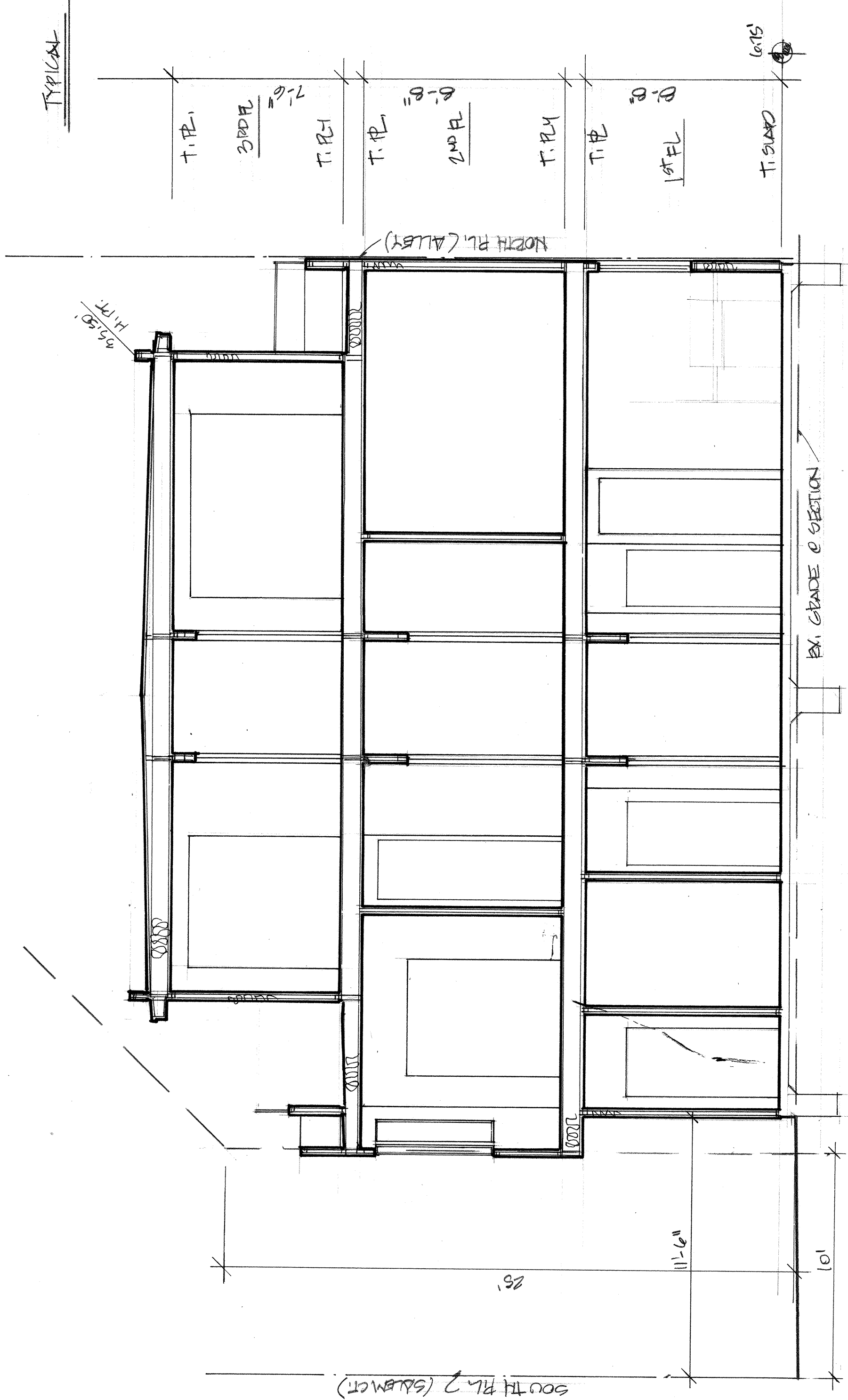
- (G) CONSTRUCTION JOINT: Aluminum register per detail
- (H) FLASHING: 16 oz copper (see notes A4)
- (I) SITE/ FOUNDATION WALLS: Split face CMU or concrete
- (J) RAILING: 18" Temp. glass atop stucco wall min. 42" above deck surface (or full height glass rail per elevation)
- (K) RAILINGS: Stucco wall to min. 42" above deck
- (L) WALL BASE: Tile base course veneer 12" X 12" stone (or sim)

Daniel Linn architect
5732 Bellevue Avenue
La Jolla, CA 92037
858 459-8108
fax 858 459-8118

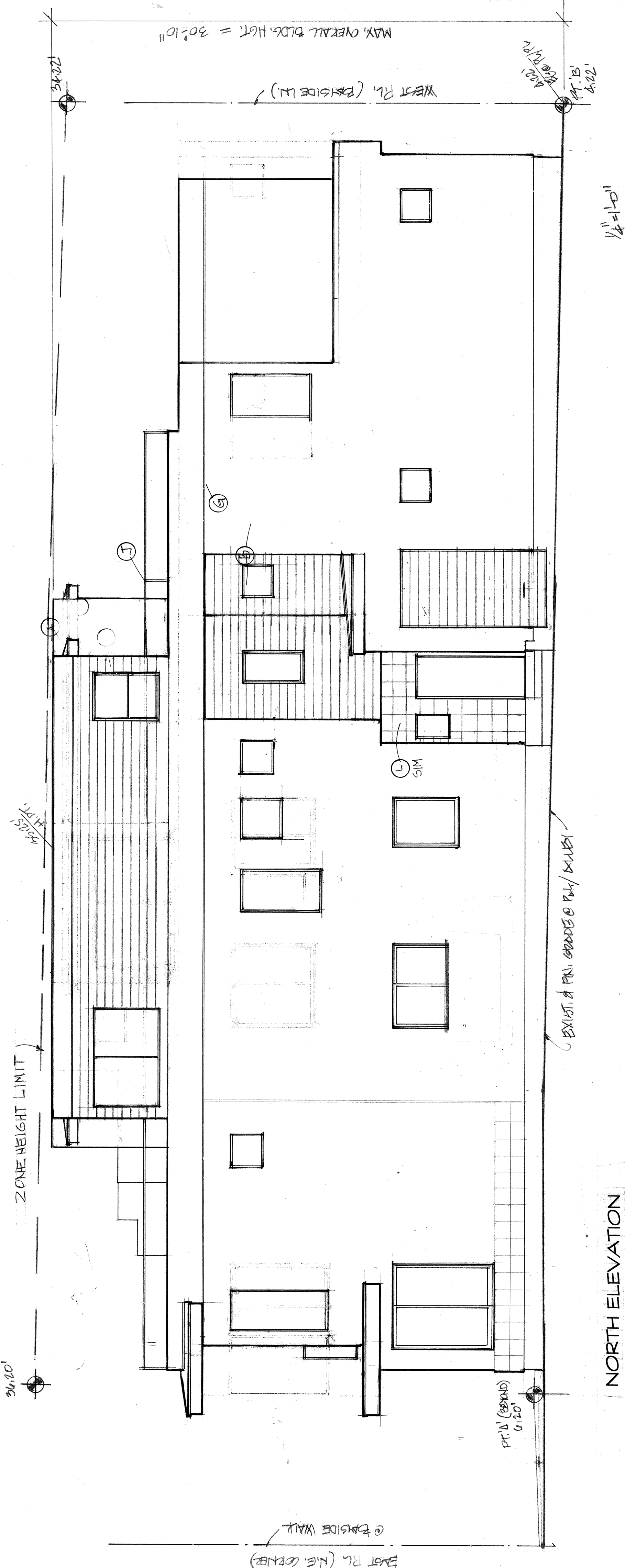
ALSTON DUPLEX
3816 & 3818 BAYSIDE WALK
SAN DIEGO, CALIFORNIA

A6

PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVE
LA JOLLA, CA 92037
PROJECT ADDRESS: 3816 & 3818 BAYSIDE WALK
SAN DIEGO, CA 92038
PROJECT TITLE: ALSTON DUPLEX
SHEET TITLE: NORTH ELEVATION
SHEET NUMBER: 1
PROJECT NUMBER: 2014-01
SHEET OF: 1
REVISION 1: 1/15/16
REVISION 2:
REVISION 3:
REVISION 4:
REVISION 5:
REVISION 6:



A SECTION
1/4" = 1'-0"



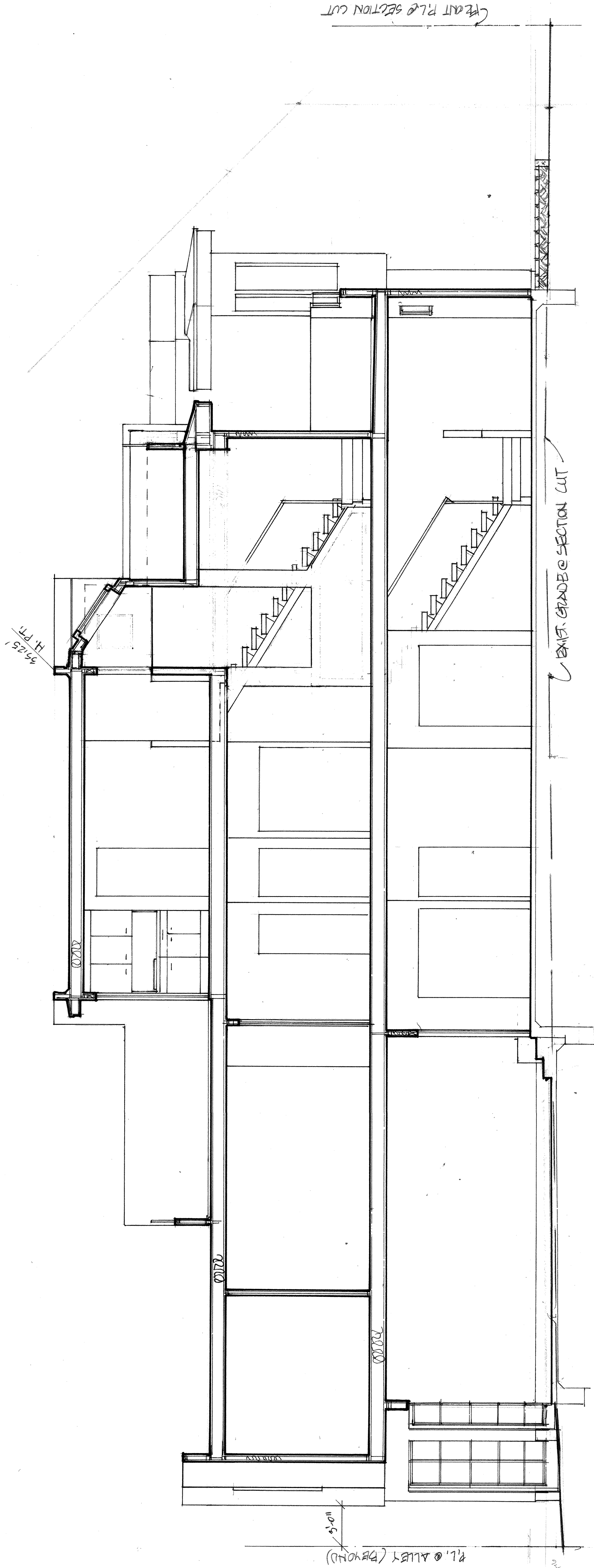
NORTH ELEVATION
- SEE AS PER ELEVATION LEGEND (X)

Daniel Linn architect
5732 Bellevue Avenue La Jolla ca 92037
658 459-8108 fax 658 459-6118

ALSTON DUPLEX
3816 & 3818 BAYSIDE WALK
SAN DIEGO, CALIFORNIA

A7

PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVE
LA JOLLA, CA 92037
PROJECT ADDRESS: 3816 & 3818 BAYSIDE WALK
SAN DIEGO, CA 92037
PROJECT TITLE: ALSTON DUPLEX
SHEET TITLE: ALSTON DUPLEX
ORIGINAL DATE: 6/15/14
PROJECT NUMBER: 688300
SHEET 16 OF 18
REVISION 1: 1/14/16
REVISION 2:
REVISION 3:
REVISION 4:
REVISION 5:
REVISION 6:



SECTION
1/4" = 1'-0"

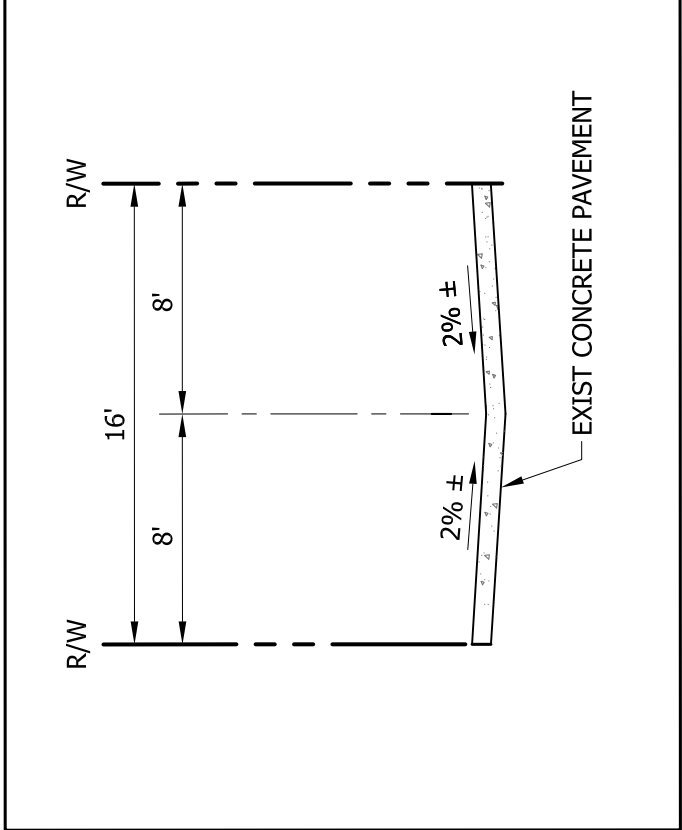
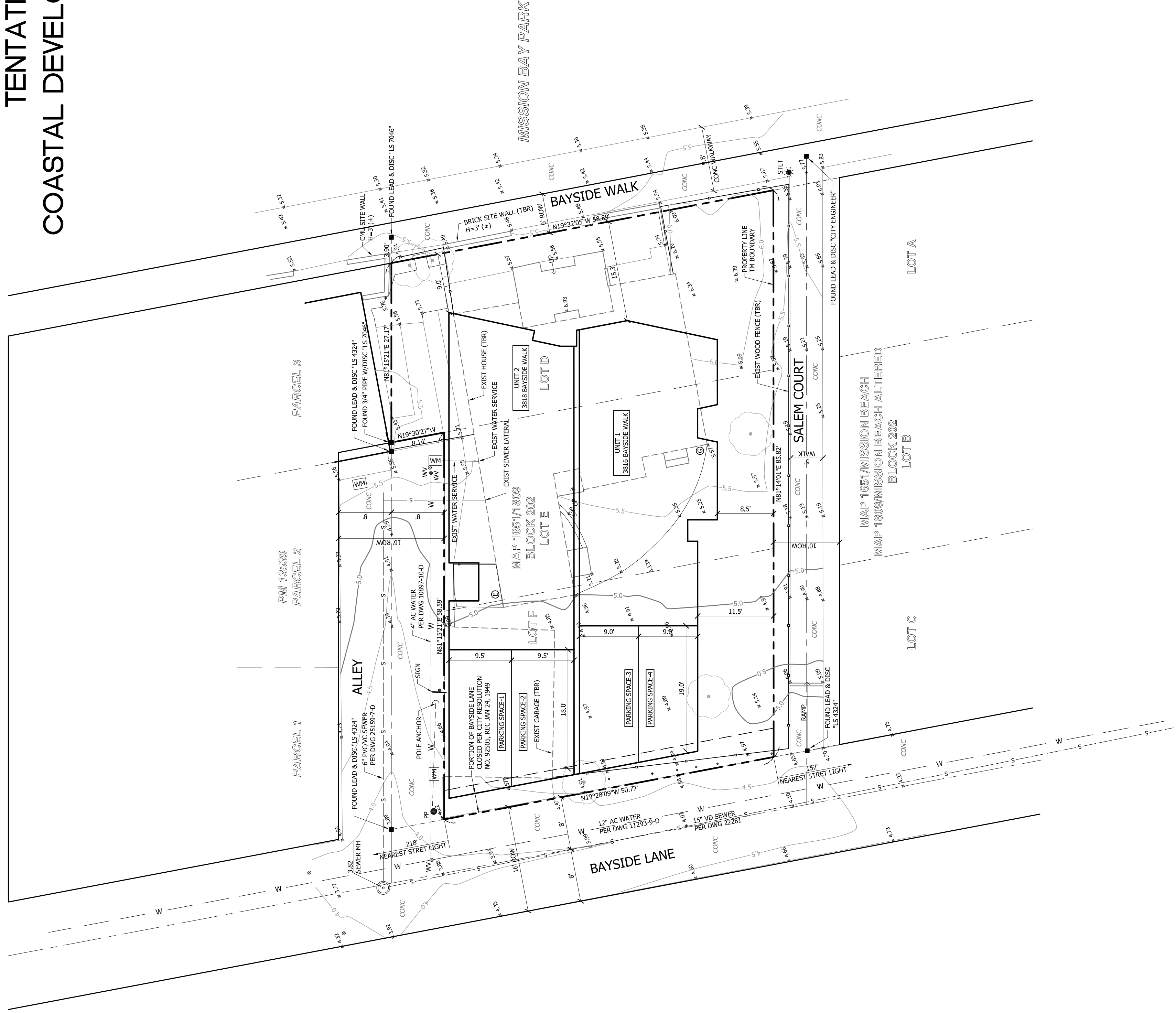
PROJECT SUMMARY
TENTATIVE MAP (FOR CONDOMINIUM PURPOSES)
EXISTING LOTS: 3
PROPOSED LOTS: 1
EXISTING SITE DATA
SITE ADDRESS: 3816 BAYSIDE WALK, SAN DIEGO, CA 92109
ASSESSOR'S PARCEL NUMBER: 423-576-27
SITE AREA: 4,495.75 SF / 0.103 ACRES
EXISTING ZONING
BASE ZONE: MBPD-R-N
MISSION BEACH PLANNED DISTRICT: R-N
OVERLAY ZONES
COASTAL CITY
COASTAL HEIGHT LIMIT
MBPD R-N
BEACH PARKING IMPACT
RESIDENTIAL TANDEM PARKING
TRANSIT AREA
GEOLOGIC HAZARD CATEGORY: S2
BUILDING SETBACKS
FRONT YARD (BAYSIDE WALK): 5'
STREET SIDE YARD: N/A
COURT YARD (SALEM): 10'
INTERIOR YARD (NORTH SIDE): 5'
ALLEY YARDS: NO REQUIREMENT
PROPOSED BUILDING DATA
NUMBER OF RESIDENTIAL CONDOMINIUM UNITS: 2
TOTAL FLOOR AREA OF RESIDENTIAL CONDOMINIUM UNITS: 4,926 SF
NUMBER OF STORIES: 3
NUMBER OF BUILDINGS: 1
OFF-STREET PARKING SPACE REQUIREMENTS
PARKING REQUIRED: 2 UNITS @ 2.0 SPACES PER UNIT=4 SPACES PROVIDED
DEVELOPMENT NOTES
THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 41.25 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM DWELLING UNITS IS 2.
MONUMENTATION NOTES
ALL PROPERTY CORNERS WILL BE SET AND A LOT CONSOLIDATION AND SUBDIVISION PARCEL MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP.
REFERENCE DRAWINGS
MAP 1809 (MISSION BEACH)
ROS 13531
NOTES
1. THE MAINTENANCE OF THE PRIVATE WATER AND SEWER FACILITIES SERVING THIS PROJECT SHALL BE GOVERNED BY PRIVATE COVENANTS, CONDITIONS, AND RESTRICTIONS.
2. EXISTING DRAINAGE PATTERNS: SURFACE FLOW TO BAYSIDE LANE
3. THE SUBDIVIDER SHALL INSTALL APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES ON ALL EXISTING AND PROPOSED WATER SERVICES (DOMESTIC, IRRIGATION, AND FIRE) ADJACENT TO THE PROJECT SITE IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.
4. THERE ARE NO KNOWN EASEMENTS ON THIS SITE.
PROJECT PERMITS REQUIRED
TENTATIVE MAP
SITE DEVELOPMENT PERMIT
LOT CONSOLIDATION PARCEL MAP FOR CONDOMINIUM PURPOSES
PROJECT OWNER
ANTHONY D. ALSTON
3816 BAYSIDE WALK, SAN DIEGO, CA 92109
DATE
LEGAL DESCRIPTION
LOTS D, E AND F, BLOCK 202, MAP 1651 AND 1809 (MISSION BEACH)
TOGETHER WITH THAT PORTION OF BAYSIDE LANE ADJOINING SAID LOT F, AS SHOWN ON MAP 1651, BY RESOLUTION NO. 2305, BY THE CITY COUNCIL OF THE CITY OF SAN DIEGO ON JANUARY 25, 1995.
SOURCE OF TOPOGRAPHY
FIELD SURVEY BY METROPOLITAN MAPPING, APRIL, 2017
BASIS OF ELEVATIONS
CITY OF SAN DIEGO BENCHMARK DESCRIPTION: MON ON ELY 4FT LINE
LOCATION: SALEM COURT & MISSION BLVD
ELEVATION: 5.105 FEET DATUM: MEAN SEA LEVEL (NGVD 29)
BASIS OF BEARINGS
THE EASTERLY ROW OF BAYSIDE LANE AS SHOWN ON ROS 13531
1E, N19°28'09" W
COORDINATES
NAD 27: 226-1691
CCS 83: 1866-6251
PROJECT NAME
BAYSIDE WALK DUPLEX
SHEET TITLE
TENTATIVE MAP NO. 1959651
PTS NO. 556840
I.O. NO. 24007343
SHEET 1 OF 1

TENTATIVE PARCEL MAP NO. 1959651

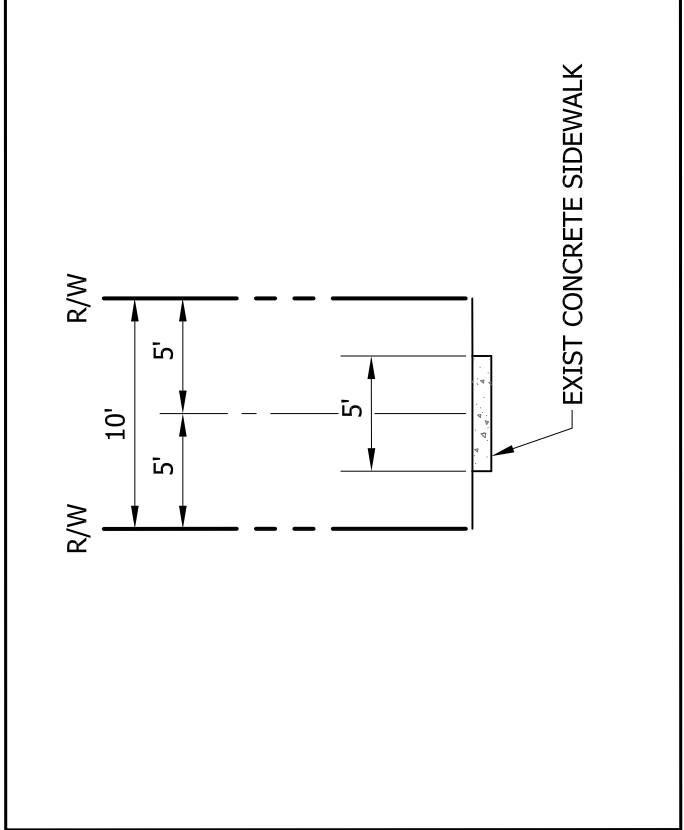
COASTAL DEVELOPMENT PERMIT NO. 1959652

PROJECT NO. 556840

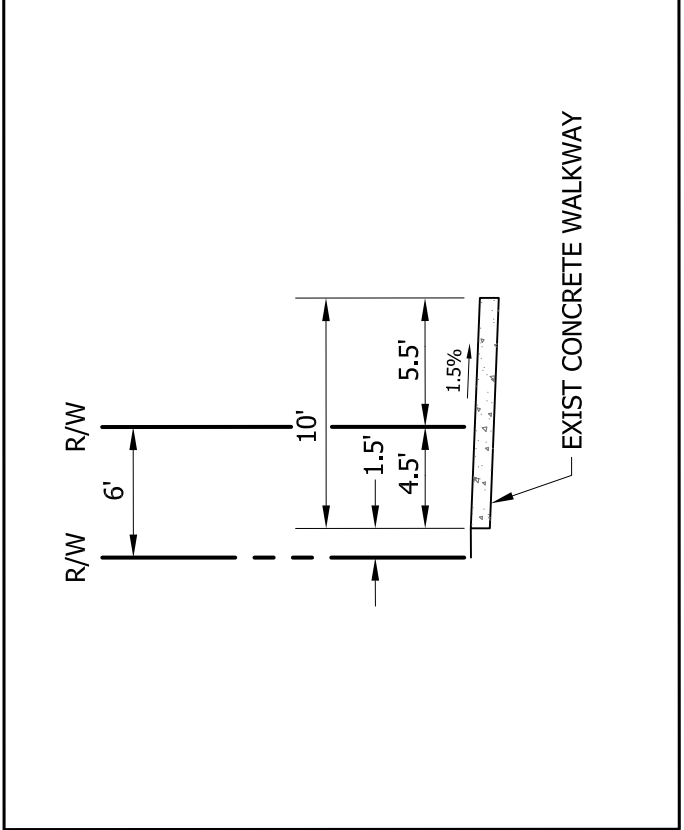
BAYSIDE WALK DUPLEX



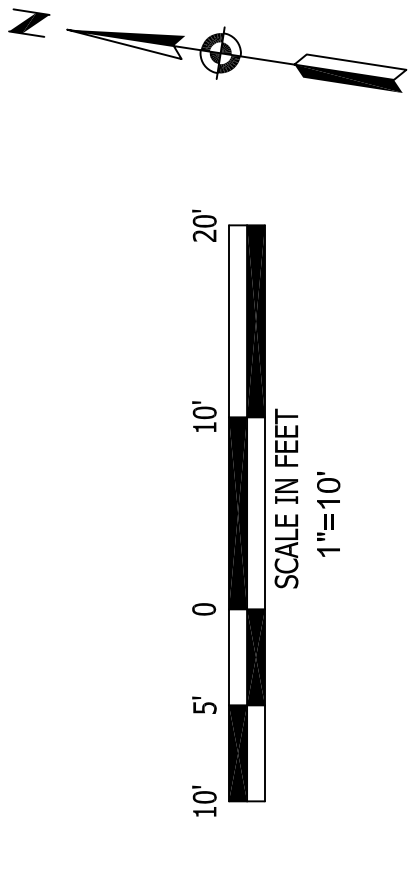
TYPICAL CROSS SECTION
BAYSIDE LANE AND ALLEY
NOT TO SCALE



TYPICAL CROSS SECTION
SALEM COURT
NOT TO SCALE



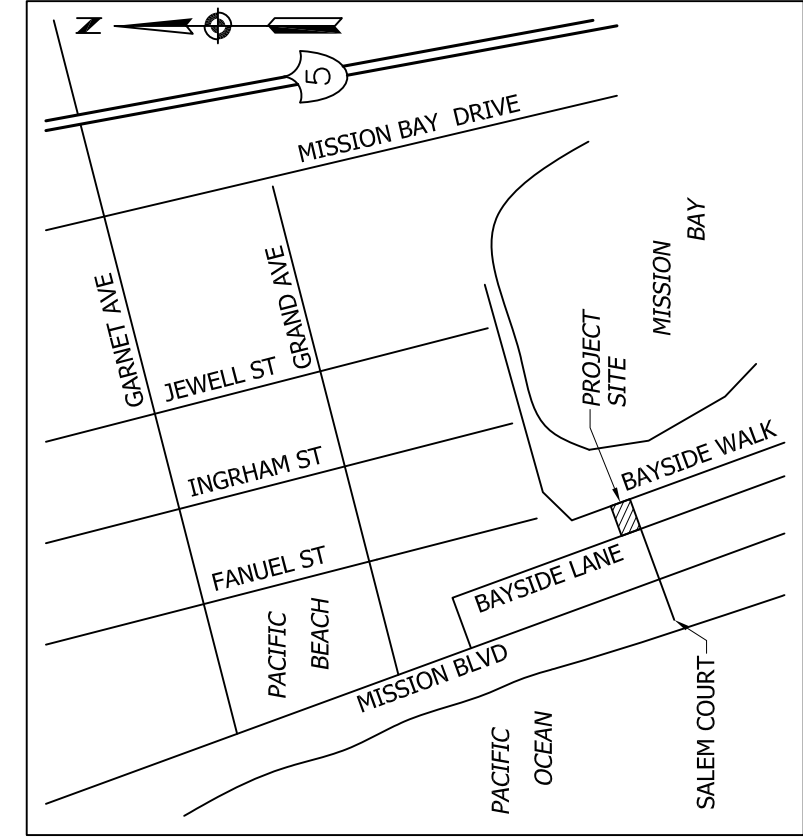
TYPICAL CROSS SECTION
BAYSIDE WALK
NOT TO SCALE



PREPARED BY:
METROPOLITAN MAPPING
3712 30TH STREET
SAN DIEGO, CA 92104
PHONE: 619-594-1800
FAX: 619-594-1830
email: metromap.sdi@gmail.com

VERNON V. FRANCH, PLS 7927

DATE



VICINITY MAP
(NOT TO SCALE)

ABBREVIATIONS	
APPROX.	APPROXIMATE
BLDG	BUILDING
CMU	CONCRETE MASONRY UNIT
CO	CLEANOUT
CONC	CONCRETE
DNAY	CONCRETE DRIVEWAY
EL	ELEVATION
FL	FINISHED FLOOR
FTG	FLOWLINE
GB	FOOTING
GR	GRADE BREAK
PP	UTILITY POLE
TC	TOP OF CURB
TC	TOP OF GRADE (DRAIN)
TYP	TYPICAL
TW	TOP OF WALL
UP	UP (STEP)
WM	WATER METER

LEGEND	
PROPERTY LINE/TM BOUNDARY	
RIGHT OF WAY (ROW)	
CENTER LINE	
CEILING	
FENCE/WOOD	
BUILDING / EXISTING	
BUILDING / PROPOSED	
EDGE OF CONCRETE	
CMU WALL	
CONCRETE SURFACE	
WATER LINE	
SEWER LINE	
SURFACE FLOW	
GROUND CONTOUR (2.5' INTERVAL)	
GROUND CONTOUR (0.5' INTERVAL)	
(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)	
ELECTRIC METER	
GAS METER	
WATER METER	
SPOT ELEVATION	
BOUNDARY LINE DATA	
PROPERTY BOUNDARY MONUMENT AS NOTED	

EXISTING FRANCHISE UTILITY TABLE	
(TYPE)	(STATUS)
ELECTRIC	OVERHEAD
TELEPHONE	OVERHEAD
CABLE TELEVISION	OVERHEAD