

THE CITY OF SAN DIEGO

### **Report to the Hearing Officer**

DATE ISSUED:	January 16, 2019	REPORT NO. HO-18-120
HEARING DATE:	January 23, 2019	
SUBJECT:	Alston Duplex, Process Three Decision	
PROJECT NUMBER:	<u>556840</u>	
OWNER/APPLICANT:	Nicolas S. Alston Family Trust; Alston Family T Sharon G. Alston, Owners and Daniel Linn, Ap	-

### <u>SUMMARY</u>

<u>Issue</u>: Should the Hearing Officer approve the demolition of an existing residence and the construction of two, three-story residential condominium units at 3816 Bayside Walk within the Mission Beach Precise Plan and Local Coastal Program Addendum area?

<u>Staff Recommendation</u>: Approve an application for Coastal Development Permit No. 1959652 and Tentative Map No. 1959651.

<u>Community Planning Group Recommendation</u>: On May 15, 2018, the Mission Beach Precise Planning Board voted 9-1-0 to recommend approval of the proposed project without conditions (Attachment 9).

<u>Environmental Review</u>: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 12, 2018, and the opportunity to appeal that determination ended October 29, 2018 (Attachment 8).

### BACKGROUND

The Alston Duplex project (Project) site is a 0.103-acre parcel with an existing residential dwelling unit located at 3816 Bayside Walk (Attachment 1) in the Mission Beach Planned District's Residential North (MBPD-R-N) Zone, Coastal Overlay Zone (Appealable), Coastal Height Limitation, First Public Roadway, Geologic Hazards Area 31 and 51, Parking (Beach and Coastal) Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the Mission

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Beach Precise Plan and Local Coastal Program Addendum area (Community Plan). The Community Plan designates this site for Residential Land Use with 36 dwelling units per acre (Attachment 2).

The Project site is a developed, flat graded lot 4.22-feet above Mean Sea Level (MSL) at the west side of the site and 6.20 feet at the east side of the site. The site is not located within the 100-year floodplain. The existing dwelling unit on site was developed in 1920. The San Diego Municipal Code (SDMC) Section 143.0212 requires that structures 45 years old or older are reviewed for potentially historic significance and eligible for designation under one or more designation criteria. The structure was reviewed by the City and found to not meet local designation criteria as an individually significant resource under any adopted Historic Resource Board Criteria.

The surrounding residential development within the vicinity of the Project site consists of one-, two-, and three-story structures and a mix of single dwelling unit and multi-dwelling unit structures (Attachment 3). The site is located approximately 65 feet from Mission Bay, 735 feet from the Pacific Ocean, and within the first public roadway paralleling the sea.

On June 16, 2017, the City deemed complete the Project's application for a Coastal Development Permit (CDP) and Tentative Map (TM) for the proposed demolition of the existing residential dwelling unit and the construction of two, three-story residential condominium units, and a waiver to undergrounding utilities. A CDP is required per SDMC section 126.0702 and a TM is required per SDMC section 125.0410.

### Project Description

The Project proposes the demolition of an existing residence and the creation of a three-story, 4,926 square-foot, residential condominium duplex with garage areas. The structure is comprised of a 2,504 square-foot north residential condominium unit and a 2,422 square-foot south residential condominium unit. Each unit contains three bedrooms, four bathrooms, laundry, kitchen, family room, decks, shared elevator, and a two-car garage.

The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site. The development will be sited completely on private property and no encroachment or impacts to public access are proposed.

The project will protect public views by maintaining a structure height of 28.22 feet, below the Coastal Height Limitation Overlay Zone maximum of thirty feet. The project will be conditioned to dedicate a deed restricted visual corridor along the south side of the property equal to the structural setback and thereby preserving public views along the setback portion of the Project site out to the bay front.

The Community Plan's Residential Element identifies for the continuation of the existing mediumdensity character of Mission Beach exemplified by the overall low profile and random mix of housing types and styles. As noted earlier, the Community Plan's land use designation for the site and surrounding area is Residential at a density of 36 dwelling units per acre. The land use would allow one to four units on the 0.103-acre site. Development of two units in consistent with the land use density while allowing the project to meet residential parking standards. A goal of the Community Plan's Community Amenities Element is the enhancement of the quality of the physical environment of Mission Beach by upgrading the existing community and encouraging attractive development. The Project's proposed architectural style is contemporary with a flat roof planes, east and west facing decks, articulated façade, architectural projections, and stucco and siding building materials to provide interest and break up the structures massing.

### Waiver of the requirement to Underground Utilities

The site is served by existing utility services with overhead utility lines located within the Bayside Lane alley abutting the rear of the Project site. The SDMC section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined that the requested waiver of the requirements to underground the existing utilities qualifies under the guidelines of SDMC section 144.0242(c) in that the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. Notwithstanding the requested waiver, the project is required to underground any new service run to any new or proposed structures within the subdivision per the Tentative Map conditions.

### **CONCLUSION**

City staff has reviewed the application for the CDP and TM and has determined that the project complies with all previously approved entitlements and all applicable regulations and policy documents. Staff has provided draft findings and draft conditions to support approval of the project (Attachments 4-7). Staff recommends the Hearing Officer approve the project as proposed.

### **ALTERNATIVES**

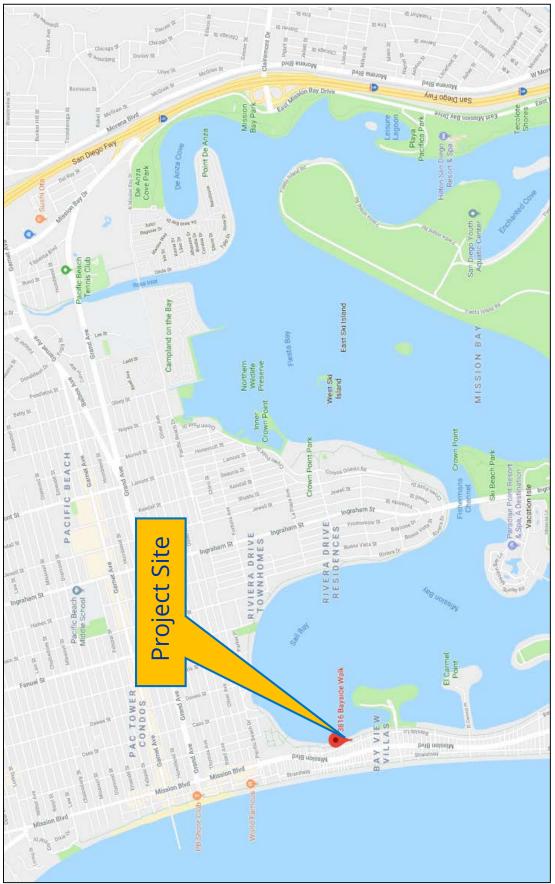
- 1. Approve Coastal Development Permit No. 1959652 and Tentative Map No. 1959651, with modifications.
- 2. Deny Coastal Development Permit No. 1959652 and Tentative Map No. 1959651, if the findings required to approve the project cannot be affirmed.

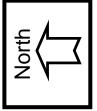
Respectfully submitted, Tim Daly, Development Project Manager

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### Attachments:

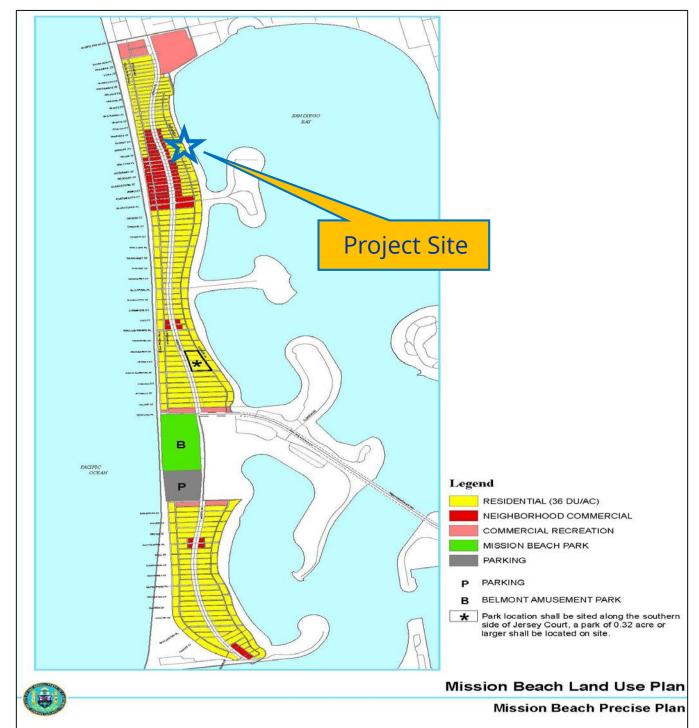
- 1. Project Location Map
- 2. Community Plan Land Use Map
- 3. Aerial Photo
- 4. Draft Resolution with Findings
- 5. Draft Permit with Conditions
- 6. Draft Map Resolution
- 7. Draft Map Conditions
- 8. Environmental Exemption
- 9. Community Planning Group Recommendation
- 10. Ownership Disclosure Statement
- 11. Project Plans and Map





Project Location Map Alston Duplex - 3816 Bayside Walk PROJECT NO. 556840







### Land Use Map

<u>Alston Duplex – 3816 Bayside Walk</u> PROJECT NO. 556840





RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24007343

SPACE ABOVE THIS LINE FOR RECORDER'S

### COASTAL DEVELOPMENT PERMIT NO. 1959652 ALTON DUPLEX - PROJECT NO. 556840 HEARING OFFICER

This Coastal Development Permit [Permit] is granted by the Hearing Officer of the City of San Diego to Nicholas S. Alston Family Trust UTD 3-5-2002, the Alston Family Trust UTD 7-3-1990, and the Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust UTD6-3-2003, Owner and Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0708. The 0.103-acre site is located at 3816 Bayside Walk in the R-N Zone of the Mission Beach Planned District, Coastal (Appealable); Coastal Height Limit; First Public Roadway; Parking Impact (Beach); Residential Tandem Parking; Transit Area, and Transit Priority Area Overlay Zone within the Mission Beach Precise Plan and Local Coastal Program Addendum area. The project site is legally described as: Lots "D" "E" and "F" in block 202 of Mission Beach, in the City of San Diego, County of San Diego, State of California according to the map thereof No. 1651, filed in the office of the County Recorder of San Diego County, December 14, 1914. Together with that portion of Bayside Lane and adjoining said Lot "F" as closed to public use by Resolution No. 92505 by the City Council of the City of San Diego on January 25, 1949.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single dwelling unit and the construct two, attached condominium units described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated January 23, 2019, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single dwelling unit and the construction of two, attached three-story condominium units within a 4,926-square-foot structure (not including garage areas) as follows:
  - The northern unit is 2,504 square feet and consists of three-bedroom, three and a half bathrooms, laundry, kitchen, family room, decks, and two-car garage, and
  - The southern unit is 2,422 square feet and consists of four-bedroom, threebathrooms, laundry, kitchen, family room, great room, decks, and two-car garage.
- b. Off-street parking; and

c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

### STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 7, 2022.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

### **CLIMATE ACTION PLAN REQUIREMENTS:**

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

### **ENGINEERING REQUIREMENTS**:

12. The Coastal Development Permit shall comply with all Conditions of the Parcel Map for the Tentative Map No. 1959651.

13. The project proposes to export 65 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

### LANDSCAPE REQUIREMENTS:

16. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the Mission Beach Planned District Ordinance, the Mission Beach Community Plan, and the Land Development Manual - Landscape Standards.

17. Landscaping located within the required yards for Courts and Places shall protect pedestrian view corridors by emphasizing tall trees with canopy areas and ground cover. Landscaping materials shall not encroach or overhang into the Courts and Places right-of-way below a height of eight (8) feet above the finish surface or finish grade, as measured at the trunk (SDMC section 103.0526.13).

18. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

20. The Owner/Permittee shall install and maintain all landscaping proposed in public view corridors to not obstruct public views of the ocean as specified in SDMC section 132.0403(e) of the Land Development Code, Coastal Overlay Zone Regulations. Landscaping materials shall not encroach or overhang into the Courts and Places right-of-way below a height of 8-ft. above the finish surface or finish grade, as measured at the trunk [SDMC section 1513.0402(a)(2)].

### PLANNING/DESIGN REQUIREMENTS:

21. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

### **PUBLIC UTILITY REQUIREMENTS:**

23. Prior to the issuance of any construction permits, if it is determined during the construction permit review process the existing water and sewer services will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

24. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

25. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

26. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

27. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

#### **INFORMATION ONLY:**

• The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on January 23, 2019 and Resolution No. XXXX.

Permit Type/PTS Approval No.: Coastal Development Permit No. 1959652 Date of Approval: January 23, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Tim Daly Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Nicholas S. Alston Family Trust, UTD 3-5-2002 Owner/Permittee

By \_\_\_\_\_ Anthony D. Alston Trustee

Alston Family Trust UTD 7-3-1990 Owner/Permittee

By \_\_\_\_\_ Lois A. Alston Trustee Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust UTD6-3-2003 Owner/Permittee

Ву \_\_\_\_\_

Anthony D. Alston Trustee

Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust UTD6-3-2003 Owner/Permittee

By\_\_\_\_\_ Sharon G. Alston Trustee

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

### HEARING OFFICER RESOLUTION NO. XXXXXXX COASTAL DEVELOPMENT PERMIT NO. 1959652 ALSTON DUPLEX CDP/TM - PROJECT NO. 556840

WHEREAS, NICHOLAS S. ALSTON FAMILY TRUST UTD 3-5-2002, THE ALSTON FAMILY TRUST UTD 7-3-1990, AND THE ANTHONY D. ALSTON AND SHARON G. ALSTON 2003 REVOCABLE TRUST UTD6-3-2003, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing residence located at 3816 Bayside Walk and construct a three-story residential condominium duplex with two units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1959652, on portions of a 0.103-acre site;

WHEREAS, the project site is located at 3816 Bayside Walk in the Mission Beach Planned District Residential North (MBPD-R-N) Zone, Coastal Overlay Zone (Appealable area), Coastal Height Limitation, First Public Roadway, Geologic Hazards Area 31 and 51, Parking (Beach and Coastal) Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the Mission Beach Precise Plan and Local Coastal Program Addendum area;

WHEREAS, the project site is legally described as Lots "D" "E" and "F" in block 202 of Mission Beach, in the City of San Diego, County of San Diego, State of California according to map thereof No. 1651, filed in the office of the County Recorder of San Diego County, December 14, 1914. Together with that portion of Bayside Lane adjoining said lot "F" as closed to public use by Resolution No. 92505 by the City Council of the City of San Diego on January 25, 1949;

WHEREAS, on October 29, 2018 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and 15303 (New Construction); and there was no appeal of the Environmental Determination filed within the time

period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on January 23, 2019 the Hearing Officer of the City of San Diego considered

Coastal Development Permit No. 1959652 pursuant to the Land Development Code of the City of

San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated January 23, 2019.

### COASTAL DEVELOPMENT PERMIT [SDMC SECTION 126.0708(a)]

### A. <u>Findings for all Coastal Development Permits:</u>

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The 0.103-acre site is located at 3816 Bayside Walk. The property is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Mission Beach Precise Plan and Local Coastal Program Addendum (Community Plan). Public access to the beach is available from Salem Court, immediately to the south of the site. The development will be sited completely on private property and no encroachment or impacts to public access are proposed.

The Project will protect public views by maintaining a structure height of 28.22 feet, below the Coastal Height Limitation Overlay Zone maximum of thirty-feet. The height, bulk and scale of the project is reduced by articulation of the facades on each side, decks, and predominately flat roofs at various heights to add interest and break up massing. The project will be conditioned to dedicate a deed restricted visual corridor along the south side of the property equal to the structural setback thereby preserving public views along the setback portion of the site out to the bay front.

The Project proposes no deviations or variances from the applicable regulations or policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development has been designed to protect and enhance the public views and would not affect any existing or proposed physical accessway and/or public views to the Mission Bay, or other scenic coastal areas as specified in the Local Coastal Program.

## 2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The 0.103-acre site is located at 3816 Bayside Walk. The property is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site. The development will be sited completely on private property and no encroachment or impacts to public access are proposed.

The site is 4.22 feet above Mean Sea Level (MSL) at the west side of the site and 6.20 feet at the east side of the site and is not located within the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program, Multiple Habitat Planning Area, and does not contain any other type of Environmental Sensitive Lands, as defined in Land Development Code (LDC) Section 113.0103. The project proposes no deviations or variances from the applicable regulations and development standards in effect for this site.

The Environmentally Analysis Section conducted an environmental review of this site, in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15301(Existing Facilities) and 15303 (New Construction). Therefore, it has been determined that the project does not contain environmentally sensitive lands and would not adversely affect environmentally sensitive lands.

### 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The 0.103-acre site is located at 3816 Bayside Walk. The property is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site.

The Project site is zoned MBPD-R-N and the Community Plan designates the site as Residential (36 dwelling units per acre). The proposed condominium duplex development is proposed at a density of 20 dwelling units per acre and will be consistent with the medium density residential goal and the Community Plan designation of Residential. The Community Plan's Residential Element contains three key policies, which relate to the proposed development. These policies state: 1) medium-density character of Mission Beach exemplified by the overall low profile and random mix of housing types and styles; 2) control of height and building bulk so that structures in Mission Beach will not have adverse effects on surrounding property, the beaches, and the community in general; and 3) provision of open space, landscaping and vegetation. The structure height is proposed to be 28.22 feet and the bulk and scale of the project is reduced by articulation of the facades on each side, decks, and predominately flat roofs at various heights to add interest and break up massing. The Project's development setbacks include:

- Front setback from Bayside Walk of 15.3 feet where five feet is required;
- South side setback of 8.5 feet to 11.5 feet (consistent with the MBPD SDMC section 1513.0304(d)(2)(A)(i)) where 10 feet is required;
- North side setback from the alley of eight feet where no setback is required; and
- Rear setback of three feet where three feet is required in conformance with the community plan and zoning.

The setbacks will allow light and air around the duplex as well as landscaping adjacent to Bayside Walk and Salem Court sides. The proposed project is therefore consistent with these Community Plan Residential Elements.

The Project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

### 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.103-acre site is located at 3816 Bayside Walk. The property is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site.

A key component of adequate access is the preservation of existing vehicular and pedestrian public accessway. The Project has been conditioned within the tentative map to provide a visual corridor easement designating a visual corridor of not less than the side yard setbacks or more than 10 feet in width and running the full depth

of the premises prior to recording the Project's Parcel Map. Additionally, the Project will maintain all existing public access as follows:

- Front Yard (East) pedestrian access along Bayside Walk;
- Rear Yard (West) Alley accessible for vehicular travel and pedestrian use;
- Side Yard (North) Public Alley; and
- Side Yard (South) Salem Court which provides unobstructed /pedestrian public access to Mission Bay.

The proposed Project requests no deviations or variances and will comply with all applicable provisions of the community plan and municipal code regulations. Therefore, the proposed development is in conformity with the Community Plan as well as the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are

incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing

Officer, Coastal Development Permit No. 1959652 is hereby GRANTED by the Hearing Officer to the

referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.

1959652, a copy of which is attached hereto and made a part hereof.

Tim Daly Development Project Manager Development Services

Adopted on: January 23, 2019

IO#: 24007343

RESOLUTION NO. \_\_\_\_\_ DATE OF FINAL PASSAGE \_\_\_\_\_\_

### A RESOLUTION OF THE HEARING OFFICER ADOPTING THE FINDINGS AND APPROVING TENTATIVE MAP NO. 1959651 FOR **ALSTON DUPLEX** -**PROJECT NO. 556840**

WHEREAS, Nicholas S. Alston Family Trust UTD 3-5-2002, the Alston Family Trust UTD 7-3-1990, and the Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust UTD6-3-2003, Subdivider, and Metropolitan Mapping, Engineer, submitted an application with the City of San Diego for Tentative Map No. 1959651, for the demolition of an existing single dwelling unit and the construction of two, attached three-story condominium units within a 4,926-square foot structure (not including garage areas), and to waive the requirement to underground existing offsite overhead utilities. The project site is located 3816 Bayside Walk, north of Salem Court and in the Mission Beach Precise Plan and Local Coastal Program Addendum. The property is legally described as The project site is legally described as: Lots "D" "E" and "F" in block 202 of Mission Beach, in the City of San Diego, County of San Diego, State of California according to the map thereof No. 1651, filed in the office of the County Recorder of San Diego County, December 14, 1914. Together with that portion of Bayside Lane and adjoining said Lot "F" as closed to public use by Resolution No. 92505 by the City Council of the City of San Diego on January 25, 1949.; and

Whereas the map proposes the subdivision of a 0.103-acre site into one (1) lot for a two (2) unit residential condominium creation.

WHEREAS, on October 29, 2018 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301(Existing Facilities) and 15303 (New

Construction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code (SDMC) Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and SDMC section 144.0220; and

WHEREAS, the project consists of two (2) units for which Certificates of Occupancy have not been issued; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is two (2); and

WHEREAS, the requested underground waiver of the existing overhead facilities within Bayview Lane qualifies under the guidelines of SDMC Section 144.0242(c)(1)(B) in that: The conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility.

WHEREAS, on January 23, 2018, the Hearing Officer of the City of San Diego considered Tentative Map No. 1959651, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to sections 125.0440 and 144.0240 of the SDMC and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following

findings with respect to Tentative Map No. 1959651:

## 1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The 0.103-acre site is located at 3816 Bayside Walk within the Mission Beach Planned District Residential North (MBPD-R-N) Zone and the Mission Beach Precise Plan and Local Coastal Program Addendum (Community Plan) land use designation of Residential (36 dwelling unit per acre). The site will support up to four dwelling units based on the zone and land use. Development of a duplex is in conformance with the density. The Tentative Map subdivides the property into condominium ownership. One of the Community Plan's Residential Element goals is the continuation of the existing medium-density character of Mission Beach exemplified by the overall low profile and random mix of housing types and styles.

The proposed creation of a duplex condominium units would provide ownership housing opportunities in varied types and architectural styles. The proposed subdivision is consistent with the recommended residential land use and density prescribed in the Community Plan. Therefore, the proposed subdivision and its design or improvement would be consistent with the policies, goals, and objectives of the applicable land use plan.

# 2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The 0.103-acre site is located at 3816 Bayside Walk within the MBPD-R-N Zone. The San Diego Municipal Code (SDMC) Section 143.0212 requires that structures 45 years old or older are reviewed for potentially historic significance and eligible for designation under one or more designation criteria. The existing structure to be demolished was reviewed by the City and found to not meet local designation criteria as an individually significant resource under any adopted Historic Resource Board Criteria. The project to demolish the existing single dwelling unit and construct a new duplex unit will observe the required setback and a step back of the structure above the second floor. The structure height is proposed to be 28.22 feet, consistent with the 30-foot Coastal Height Limit. The structure's bulk and scale are reduced by articulation of the facades on each floor any each side and a predominately flat roofs and decks at various heights to add interest and break up massing.

The project proposes no deviations or variances from the applicable regulations and policy documents and is therefore consistent with the recommended zoning and development regulations in effect for this site.

### 3. The site is physically suitable for the type and density of development.

The 0.103-acre site is located at 3816 Bayside Walk in the MBPD-R-N Zone, which allows for residential development. The property is located approximately 65 feet from the Mission Bay and 735 feet from the Pacific Ocean and between the sea and Bayside Lane, the first public

roadway paralleling the sea. The previously developed site is 4.22-feet above Mean Sea Level at the west site of the site and 6.20 feet at the east side of the site, is not located within the 100-year floodplain, and is served by existing overhead and underground utilities. The property is not within or adjacent to the Multiple Species Conservation Program, Multiple Habitat Planning Area, and does not contain any other type of Environmental Sensitive Lands, as defined in SDMC section 113.0103.

The project proposes no deviations or variances from the applicable regulations and development standards in effect for this site therefore, the site is physically suitable for the type and the density of development.

# 4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project proposes the site subdivision for the creation of two residential condominium units. The San Diego Municipal Code (SDMC) Section 143.0212 requires that structures 45 years old or older are reviewed for potentially historic significance and eligible for designation under one or more designation criteria. The existing structure to be demolished was reviewed by the City and found to not meet local designation criteria as an individually significant resource under any adopted Historic Resource Board Criteria.

The Environmental Analysis Section conducted an environmental review of this site, in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15301(Existing Facilities) and 15303 (New Construction). It has been determined that the project does not contain environmentally sensitive lands and would not adversely affect environmentally sensitive lands. Therefore, the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

## 5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.

The design of the subdivision was reviewed and determined to be in compliance with the Municipal Code and Subdivision Map Act. The San Diego Municipal Code (SDMC) Section 143.0212 requires that structures 45 years old or older are reviewed for potentially historic significance and eligible for designation under one or more designation criteria. The existing structure to be demolished was reviewed by the City and found to not meet local designation criteria as an individually significant resource under any adopted Historic Resource Board Criteria.

The Tentative Map and associated development permit include conditions and corresponding exhibits of approvals relevant to adequate parking, public improvements, undergrounding of utilities and payment of applicable fees in order to achieve compliance with the regulations of the SDMC. The completion of specified improvements, to the satisfaction of the City Engineer, will be required prior to the approval of the parcel map to ensure the public health, safety, and welfare. These improvements include compliance with

required parking, landscape improvement. The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(Existing Facilities) and 15303 (New Construction). Therefore, the design of the subdivision or the type of improvements will not be detrimental to the public, health, safety, and welfare.

# 6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The 0.103-acre site is located at 3816 Bayside Walk, is approximately 65 feet from the Mission Bay, 735 feet from the Pacific Ocean, and between the sea and Bayside Lane, the first public roadway paralleling the sea. Bayside Walk is a pedestrian walk between development and the bay. The site is not designated as a physical accessway or view corridor, viewshed or scenic overlooks within the adopted Community Plan. Public access to the beach is available from Salem Court, immediately to the south of the site. The project proposes no deviations or variances from the applicable regulations and development standards in effect for this site therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

## 7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The project proposes the site subdivision for the creation of two residential condominium units. The building orientation eastward towards Mission Bay and the design includes balconies and decks to provide cross ventilation air flow and natural cooling opportunities. The design will not impede or inhibit any future passive or natural heating and cooling opportunities. The site includes landscape areas with a selection of plant materials to provide for future passive or natural heating and cooling opportunities. Therefore, the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

# 8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project proposes creation of two residential condominium units to replace an existing single dwelling unit. The site is conveniently served by existing public transit and a wide range of retail/commercial establishments north of the project site along Mission Boulevard, and public facilities including schools, a recreation center, and a library nearby. The decision maker has reviewed the administrative record including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region. Those regional needs were balanced against the needs for public services and the available fiscal and environmental resources and found that the proposed Tentative Map would not negatively impact the housing needs of the Community Plan area.

No additional demand for public services or available fiscal and environmental resources would be associated with the creation of two residential condominium units.

That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map No. 1959651, including the waiver of the requirement to underground existing offsite overhead utilities, is hereby granted to Nicholas S. Alston Family Trust UTD 3-5-2002, the Alston Family Trust UTD 7-3-1990, and the Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust UTD6-3-2003, Subdivider, and Metropolitan Mapping, Engineer, subject to the attached conditions which are made a part of this resolution by this reference.

Bу

Tim Daly Development Project Manager Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24007343

### HEARING OFFICER CONDITIONS FOR TENTATIVE MAP NO. 1959651 ALTON DUPLEX - PROJECT NO. 556840

ADOPTED BY RESOLUTION NO. \_\_\_\_\_ ON \_\_\_\_\_

### **GENERAL**

- 1. This Tentative Map will expire February 7, 2022.
- 2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map unless otherwise noted.
- 3. The Parcel Map shall conform to the provisions of Coastal Development Permit No. 1951652.
- 4. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify the Subdivider of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

#### ENGINEERING

- 5. The Tentative Map shall comply with the conditions of Coastal Development Permit No. 1959652.
- 6. The Subdivider shall ensure that new all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
- 7. The Subdivider shall not be required to install street lights, considering the existing street lights are located less than 300 feet from the Project street frontage. Therefore, the Project is in compliance with current street light standards according to the City of San Diego Street Design Manual and Council Policy 200-18.
- 8. The Subdivider shall obtain a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

- 9. The Subdivider shall prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
- 10. The Subdivider shall comply with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

#### **PLANNING**

11. Prior to the recordation of the Parcel Map, the Subdivider shall record an 8 feet 6 incheswide View Corridor Easement as shown on Exhibit "A," in accordance with San Diego Municipal Code section 132.0403.

#### **MAPPING**

- 12. Prior to the expiration of the Tentative Map, a Parcel Map to consolidate and subdivide the propertiy into two (2) residential condominium units shall be recorded in the office of the County Recorder of San Diego County.
- 13. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition.
- 14. If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.
- 15. The Parcel Map shall be based on a field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495. All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
- 16. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
- 17. The Parcel Map shall:
  - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said

map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.

b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

### **INFORMATION:**

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. § 1531 *et seq.*).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within 90 days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (SDMC section 142.0607).

Internal Order No. 24007343

(Check one or both)

- TO: <u>X</u> Recorder/County Clerk P.O. Box 1750, MS A-33 1600 Pacific Hwy, Room 260 San Diego, CA 92101-2400
  - \_\_\_\_\_ Office of Planning and Research 1400 Tenth Street, Room 121 Sacramento, CA 95814
- FROM: City of San Diego Development Services Department 1222 First Avenue, MS 501 San Diego, CA 92101

SCH No.: NA

Project Name/ Project No.: Alston Duplex CDP TM / 556840

Project Location-Specific: 3816 BAYSIDE WALK, San Diego CA, 92109

Project Location-City/County: San Diego/San Diego

**Description of nature and purpose of the Project:** Coastal Development Permit (CDP) and Tentative Map (TM) for the demolition of an existing residence and the creation of two 3-story residential duplex condominium units with a combined total of 5,526 square feet. The 0.103-acre site is in the R-N zone of the Mission Beach Planned District, Coastal (Appealable) overlay zone within the Mission Beach Precise Plan area, Council District 2. The proposed project is located at 3816 Bayside Walk (APN 423-576-2700), in the MBPD-R-N zone of the Mission Beach Planned District, within the Mission Beach Precise Plan area on a 4,495-square-foot site. The project site is located within the Coastal Overlay Zone (City Appealable Area), Coastal Height Limit Overlay Zone, First Public Roadway, Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area.

### Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Nick Alston, 3816 Bayside Walk, San Diego, CA, 92109, 619-344-0980

### Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- ( ) Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: Sections 15301 (EXISTING FACILITIES) AND 15303 (NEW CONSTRUCTION)
- () Statutory Exemptions:

**Reasons why project is exempt:** The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) Section 15303 (New Construction). Section 15301 allows for the demolition of individual small structures and Section 15303 allows for construction of a duplex totaling no more than four dwelling units. Since the proposed project is demolition of an existing structures and construction of a new duplex the exemptions are appropriate. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply because no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: Courtney Holowach

Telephone: 619-446-5187

If filed by applicant: Revised May 2016

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? ( ) Yes ( ) No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

10129118

Date

Check One: (X) Signed By Lead Agency ( ) Signed by Applicant

Signature/Title

Date Received for Filing with County Clerk or OPR:

### MISSION BEACH PRECISE PLANNING BOARD ("MBPPB") Tuesday, May 15, 2018 @ 7 PM Belmont Park Coaster Terrace - Community Room Minutes of Meeting

### **Board Members Present:**

Michelle Baron	Josh Geller
Brian McCarthy	John Ready
Debbie Watkins	Jenine Whittecar
Absent: Mike Meyer, I	Dave Kvederis

Carole Havlat Brandon Soule Gary Wonacott Dennis Lynch Gernot Trolf

### **OPENING FUNCTIONS** (7:06 p.m.)

Meeting was called to order by Debbie Watkins, Chair, at approximately 7:06 PM.

- Approval of Minutes for April 17, 2018 Motion by Trolf/Havlat, approves 8/1/1 (Wonacott)
- Revisions to Agenda
- Chair's Report (7:23 p.m.)
- Secretary's Report

### **REPORTS FROM GOVERNMENT OFFICALS BUILDING PLAN REVIEW** Action Item:

• Alston Duplex CDP/TM (3816 Bayside Walk); Project No. 556840 Process 2 SECOND REVIEW: Coastal Development Permit and Tentative Map for the demolition of an existing residence for the creation of two 3-story residential condominium units with a combined total of 5,526 sq. feet; Presenter: Applicant/Architect Daniel Linn

### Mr. Linn made the following changes:

- a) The building offset now goes all of the way up to comply with PDO §1513.0304 (d)(2)(A)(i)
- b) The planned bayfront parking area has been deleted and is now landscape;
- c) There is no tandem parking on the north side of the property because it is an active alley.

Motion #2 was made by Dennis Lynch and seconded by Brandon Soule to approve the project as presented.

**Vote: 9/0/1** [Gary Wonacott abstained because he was not given enough time to review the project]

- Island Court Bayside CDP/SDP; Project No. 600832 Process 3
- Casa Hermosa CDP/SDP/Map Waiver: Project No. 560520 Process 3

### **NEW BUSINESS** (8:51 p.m.)

The next meeting will be held on Tuesday, June 19, 2018

ADJOURNMENT (9:04 p.m.)



City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000

### Ownership Disclosure Statement

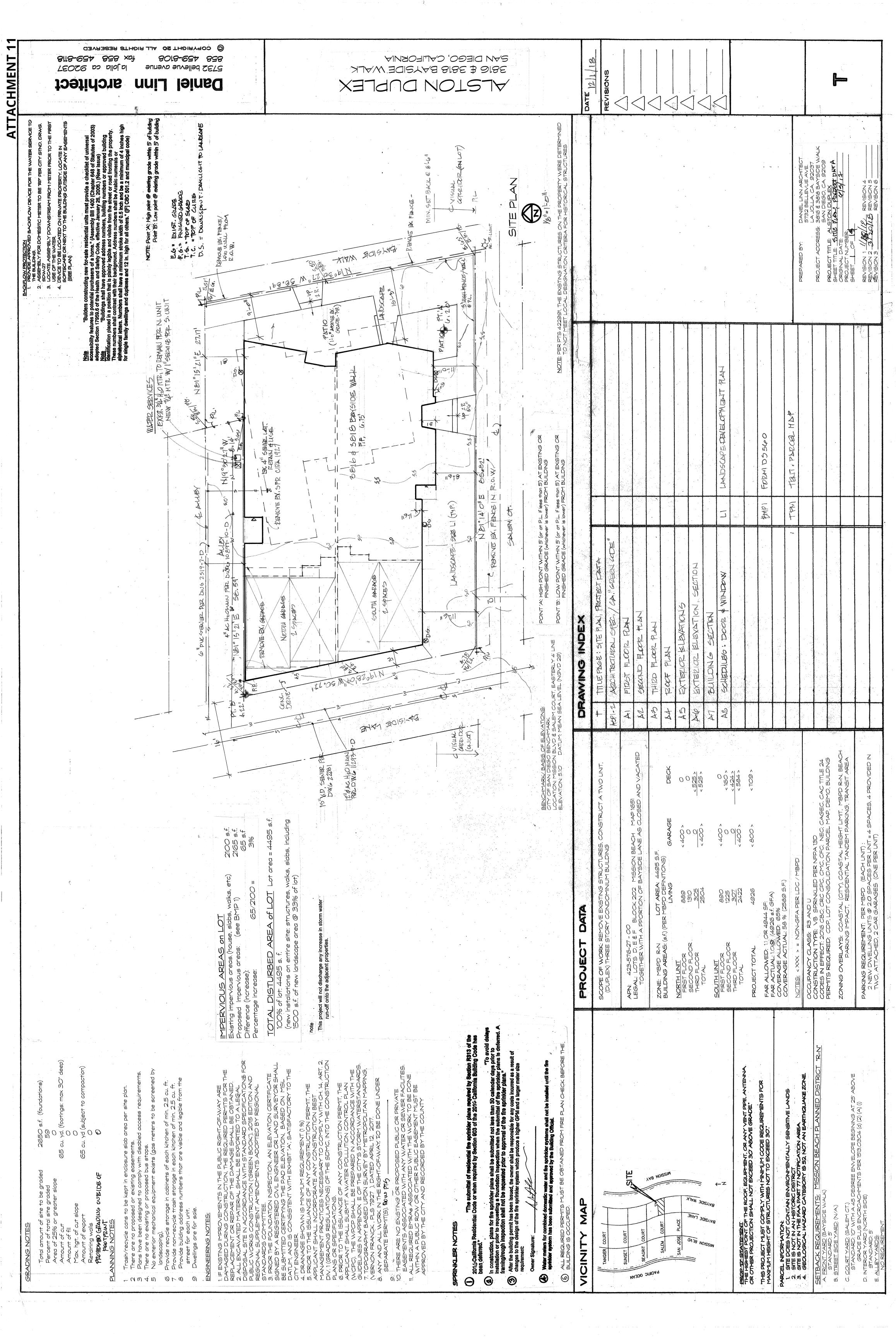
DS-318

FORM

October 2017

🗅 Neighborhood Development Permit 🗅 Site Development Permit 📮 Planned Development Permit 📮 Conditional Use Permit 🗅 Variance Project Title: Alston Duplex Project No. For City Use Only: \_\_\_\_\_ Project Address: 3816 Bayside Walk San Diego, CA 92109 Specify Form of Ownership/Legal Status (please check): 🗅 Corporation 🗅 Limited Liability -or- 🗅 General – What State? \_\_\_\_\_\_Corporate Identification No. \_\_\_\_\_\_ Partnership B Individual By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Property Owner** Name of Individual: Nicholas S. Alston Family Trust \_\_\_\_\_ 🛄 🛄 🔤 🛄 🛄 🛄 🛄 🛄 🛄 🛄 🛄 🛄 🛄 🛄 Street Address: \_3816 Bayside Walk City: San Diego \_\_\_\_\_ State: <u>CA</u> \_\_\_\_ Zip: 92109 Phone No.: <u>858-243-1610</u> Email nsalston@msn.com Fax No.: Truster Date: Signature: \_\_\_\_ 7/18 Additional pages Attached: Yes X No Applicant Name of Individual: Anthony D. Alston and Sharon G. Alston 2003 Revocable Trust 🛛 🖾 Owner 🛛 Tenant/Lessee 🖵 Successor Agency Street Address: 24822 Via San Fernando City: Mission Viejo State: CA Zip: 92692 Phone No.: 949-533-7615 \_\_\_\_ Fax No.: \_\_\_\_\_ \_\_\_\_\_Email: (Alo) (1) Signature: Digitally signed by Anthony D. Alston Date: 2018.12.07 05:31:11.08'00 \_\_\_\_\_ Date: <u>12/7/2018</u> Additional pages Attached: 🛛 Yes X No **Other Financially Interested Persons** Name of Individual: Alston Family Trust U/A Dtd 07/02/1990 🔤 🛛 🖾 🖾 🖾 🖾 🖾 Successor Agency Street Address: 309 El Pedregal Drive City: Solana Beach State: CA 92075 Zip: 92075 Phone No.: 858-755-3712 Fax No.: \_\_\_\_\_\_ Email: \_\_\_\_ Signature: \_\_\_\_\_ Q Celts \_\_\_\_\_ Date: <u>12/7</u> Additional pages Attached: 🛛 Yes 🛛 No

> Printed on recycled paper. Visit our web site at <u>www.sandiego.gov/development-services</u>. Upon request, this information is available in alternative formats for persons with disabilities.



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$\frac{\partial C}{\partial \omega}$ With $\frac{\partial C}{\partial \omega}$ $\frac{\partial C}{\partial $	- All glass shall conform to Federal the UBC. ows and Doors: Double strength "B" c ing Glass Doors: Tempered glass min. ter 24 UBC. ors: 1/4" polished plate glass.	<ul> <li>In The and Shower inclosures: Accattons as Junicaned on Lawingsto be of shatter-resistant material.</li> <li>E. Caulking compound: Gun applied, non-hardening, color to match adjacent work.</li> <li>F. Alumnum windows and uccur, mark groups and related finish (with paintee bronze finish) as gelected by Owner with plastic frame screen and screen frame to match doors unless indicated otherwise.</li> <li>G. All exterior windows and sliding glass doors to be weather stripped and labeled as complying with the air infiltration requirements set forth in the American National Standard Institute Standards Al34.1, Al34.2, Al34.3</li> <li>H. All doors and windows to be fully weather stripped.</li> </ul>	<ul> <li><u>DIVISION 5D - FINISH HARDWARE</u></li> <li>1. <u>Scope</u> - Furnish and install all finish hardware complete including weatherstripping and thresholds (See Division 8B for garage door hardware).</li> <li>2. <u>Finish Hardware</u></li> <li>3. Provide allowance as directed by Owner. All hardware to be selected by Owner unless indicated elsewhere on drawings.</li> <li>b. The hardware shall be fitted prior to the painting and then removed and painting completed before final installation of the hardware (except for painting completed before final installation of the hardware for</li> </ul>	door butts). t <u>herstripping and Thresholds</u> Thresholds. Aluminum (with inte Provide aluminum threshold and a from a garage space to a living	<ol> <li><u>Scope</u> - Furnish and install all plastering work complete, including grounds, screeds and casings.</li> <li><u>Standards</u></li> <li>A All stucco work shall comply with reference specifications published by the California Lathing and Plastering Contractor's Association.</li> <li>All plastering application shall comply with Chapter 47 of the UBC.</li> </ol>	<ul> <li>A. Walls: 3 coat application over 1-1/4" galvanized wire mesh and 15% felt.</li> <li>B. Stucco screed: And base screed at foundation of a type which will allow (NOTE: trapped water to drain from the exterior of the building.</li> <li>C. Finish coat: Filoat texture (unless noted otherwise), color to be selected.</li> <li>D. Metal lath: 3/8" high rib expanded metal lath at eaves and soffits.</li> <li>E. Color(s): As selected and directed by owner.</li> </ul>	DIVISION 9B - GYPSUM DRYMALL 1. Scope - Furnish and install all Gypsum drymall work complete. 2. Standards A. All work shall comply with $\mathcal{EPC} / \mathcal{EDC}$ B. All work and materials shall comply with American Standard Association's "Specification for Gypsum Wallboard Finishes".	<ul> <li>Materials</li> <li>A. Gypsum wallboard: 1/2" thick throughout except as noted.</li> <li>B. Gypsum wallboard: 5/8" thick firecode type "x" where shown on drawings.</li> <li>B. Gypsum wallboard 5/8" thick firecode type "x" where shown on drawings.</li> <li>C. Water resistant gypsum board to be U.S. Gypsum "sheet rock" water resistant on tant or approved equivalent where shown on drawings.</li> <li>D. Standard metal trim at all corners, ends, etc. Metal trim shall be galtant or approved equivalent without splice where possible.</li> <li>B. Joint tape and cement to be of same recommended by manufacturer as gypsum wallboard and of type for best quality work.</li> <li>F. Nails to be 1-7/8" 6d and 1-5/8" 5d cement coated cooler type nails. The</li> </ul>	<ul> <li>Contractor, at his option, may use wailboard screws.</li> <li><u>Norkmanship</u></li> <li>A. All joints in finished surfaces shall be taped and finished with joint cement. Reinforce all corners.</li> <li>B. Trim shall be tight to wallboard edges, plumb, level and true to plan, securely attached.</li> <li>C. Conceal exposed nail or screw heads with joint compound.</li> <li>D. Protect all exposed wood beams, posts, etc.</li> <li>E. Wall and ceilings to be medium-fog texture. Match existing texture where applicable.</li> </ul>	<ul> <li><u>DIVISION 9C - RESILIENT FLOORING</u></li> <li><u>1. Scope</u> - Furnish and install all resilient flooring material complete as scheduled.</li> <li>2. <u>Materials</u></li> <li>A. Vinyl</li> <li>Tile: 12 x 12 x 3/32" thick unless noted otherwise.</li> <li>B. Sheet Vinyl: Cushioned back.</li> <li>C. Adhesives: As recommended by the manufacturer.</li> </ul>	<ul> <li><u>Color and Pattern</u> - To be selected by Owner.</li> <li><u>Workmanship</u></li> <li>A. Subfloors shall be clean, dust free and dry.</li> <li>B. Materials shall be applied per manufacturer's recommendations.</li> <li>C. Set heads of mails of plywood underlayment prior to application of resil- ient floor covering.</li> <li>D. Thoroughly clean and polish upon completion of installation.</li> </ul>	DIVISION 9D - CARBETING 1. Scope - Furnish and install carpeting and padding as scheduled	<ol> <li><u>Materials</u> - To be selected: Provide allowance for carpeting as directed by Owner.</li> <li><u>Installation</u></li> <li>J. <u>Installation</u></li> <li>A. Lay carpeting and padding in accordance with manufacturer's recommendations. Carpeting shall be securely anchored in place and free from all wrinkles and stress lines.</li> <li>B. Provide metal carpet edge strip at line of material change from carpet to other floor finishes.</li> </ol>		

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IN (CM IT UA-SEE SIDUCIURAL DRAUINES) framing clips, straps, and anchors. PENTRY

:: W.C.L.A. "Standard Grading and Dressing Rules #16. All framing members shall be grade marked. rican Plymood Association".

Stud grade or better No. 2 grade or better No. 2 grade or better No. 1 grade No. 1 grade Foundation grade reduc

Foundation grade redwood or No. 1 structural- pressure treated Douglas Fir-1 x 4 unless noted oth

1/2" CDX int. gr. with ext. glue index 24/0) with 8d @ 6" o.c. ed 5/8" underlayment gr. (panel inde: T&G or 2 x 3 flat blkd edges with 6" o.c. edge nailing; glue to fl. Structural II grade unless noted

All plywood diaphrams shall have els.

s detailed or equivalent. With minimum lap splice of 48" with butt joir

iforming to ASTM all be hot-dipped galvanized,

alls more than 8'-0" but less than 16'-0" in height to . ness and of same width as stud and to occur at mid-heigh ted otherwise.

as wood studs with d shall be framed with contin

um height 10'-0" is - maximum height 14'-0" height 20'-0"

 $k \ k$  wood post under all  $k^{w}$  wide beams or heade

wide or less shall have mi saring walls 4°-0" wide or less shall have 1 2-2 x 4 on edge. 1 have a minimum header of 1- 4 x 12 unless

shall be blocked solid as required by CBC (floor joist hickness ratio of 6 or more shall be blocked @ 8'~0" o, shall be blocked as renuired by UBC.

as required by UBC. fters shall have a minimum solid bear

under bearing partitions and posts. \installed at every corner of an exteri ts or blocking studs shall be

rage doors shall be of 3/8" Structural N. and 8d @ 12" o.c. F.N. Provide bolts each end of shear panel with min-Extend plywood onto header. ide of overhead gar with 8d @ 6" o.c E.1 x 10" long anchor bo ?" into concrete.

partitions are covered on the interior with aterial and are subject to moisture, the fra h an approved waterproof paper conforming to

exterior wood posts attached directly to concrete shall be son PB or EFB post base as applicable, unless noted otherwinnecting to wood beams above shall be secured with Simpson  $\mathfrak{D}$  as applicable unless noted otherwise. shall be bolted to concrete with 1/2" diameter x 10" long not less than 7" embedment into concrete @ 72" o.c. unless es th

rafters at supports of floor

g at ridge line and at exterior walls on trussed roofs. nimum clearance between top plate of non-bearing interior bottom chord of trusses or framing nembers. iagonal let-in bracing at each end, and at least every 25 of exterior stud wall and main cross partitions unless no

l pins/anchors shall be "Ramset" "िभीता at 32" o.o. for int. titions and 48" o.c. for all interior non-bearing partition अराधायन तिनार्ठाएडे arted

ting members with crown side up unless noted otherwise. ching or drilling of beams or joists to be permitted only as approved by the Architect. ons or walls containing plumbing, heating or other pipes to be we proper clearance for piping. Where piping requires cutting sills, install metal ties not less than 1/8" thick and 1-1/2" opening with not less than 4-164 nails at each end. ractor shall provide backing as required for all light fixtures, mirobes, etc.

offset t t b terst

partitions perpendicular to joists shall not be by greater distance than the depth of joists. s, floors, furred areas, etc. so that maximum conc r than 10<sup>1</sup>-0". Provide additional fireblocking as tion through which heat or exhaust ducts pass shal

nembers (roof and/or ceiling) which are part of a one-hour fire embly within  $5^{1}-0^{\circ}$  of a two-hour fire rated area separation is spaced at a maximum of 16° o.c. This spacing also applies one-hour protected area located on one side of area. separa-madjacent roofs along wall are of different heights. In adjacent roofs along wall are of different heights. In shall occur through a fire rated ceiling/roof assembly with-heat lamps, etc.) Exception: See CBC is the rated or contaction wall (i.e. exhaust heat lamps, etc.) Exception: See CBC of less than 1-1/2 sq. ft. for each 25 linear feet of exterior gs shall be covered with a corrosion-resistant wire mash of 1/4" nor more than 1/2" in any dimension. % (roof and/or celling) which are part of a one-hour fire within 5'-0" of a two-hour fire rated area separation ed at a maximum of 16" o.c. This spacing also applies hour protected area located on one side of area separa-acent roofs along wall are of different heights. all occur through a fire rated celling/roof assembly with (as applicable) of an area separation wall (i.e. exhaus lamps, etc.) Exception: See CBG

. all finish carpentry complete, including trim, helving, weatherstripping, etc. ish Hardware, bath accessories, cabinet pulls, € . T

rried vertical grain Douglas Fir, "B" or bette set plumb and true, rigidly secured, and prote of construction. g: Clear pine of size detailed. horizontal trim members shall be in longest j

or Holmes counter balanced swing-up hardware with roll andware shall be appropriate to size and weight of door where indicated shall be as selected by Owner.

<u>Workmanship</u> - Doors to be installed oquare in opening, adju balanced for proper operation including automatic functions

Door: 2 x 3 frame clad with 3/8" plywood (exterior grade) with trim ings, etc. per exterior elevations (or as indicated). Hardware: Travert or Holmes counter balanced swing-up hardware with bearing pivots. Hardware shall be appropriate to size and weight of Automatic openers where indicated shall be as selected by Owner.

F. as detailed. as noted on dre

? word shalf at a height of  $6^*-0^{10}$  and a ole at a height of  $5^*-4^{11}$  installed  $10-1/2^{11}$  ess noted otherwise. (Shalf to be solid

clear pine except where indicated otherwise. es in garages which create a glow, spark or flam or shall be located on a 18" high wood platform.

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to ASTN A 307-67, and ASTN

tenings shall conform

chors, bolts and fa

D. .

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seamless.

Grade B and shall be 501-73 or ASTM A 500

M A 53-68, to ASTM A

Materials and workmanship shall comply with A.I.S.C. "Specification for with the Design, Fabrication and Erection of Structural Steel for Buildings".

clear dimension of 30" between top of ceiling framing of roof framing member. Install finish hardware in accordance with mfgr's inst

dorknanship
a Set and countersink nails and screws on exposed surfaces. Fill holes with plastic filler of color and texture to match finish.
B. Accurately fit each door to its frame and hardware with allowance for painters finish. Leave all doors operating freely, but not loosely, without striking or binding, and all hardware properly adjusted and functioning.
C. Wood work shall be accurately scribed to fit adjoining surfaces.
All work shall be machined or hand-sanded, sharp edges and splinters removed and completely prepared for finish.
Full length continuous boards shall be used wherever applicable or specificably noted. റപ്

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DIVISION 6C - CABINETS

<u>Scope</u> - Furnish and instail all cabinet work complete, incl and splashes.

lets to be W.I.C. o <u>Standards</u> - All ca noted otherwise.

therials and Design
All handling, finishing, installation and methods of consing cabinets and fixtures to be per W.I.G. Standards,
Kitchen: Style and comprise selected by wormers(
Baths: D.O.
Idnen: N.A.

Plywood and particle board shall be edge banded on all ey Cabinet work manufacturer/contractor shall verify with ge tor all appliances etc. that are integral with the cabin depend upon proper cabinet work design to insure their ne Cabinet work manufacturer/contractor shall verify all di liances and cabinetwork with general contractor prior to

installation to insure that all items fit properly a tion of all drawers, doors, etc. is maintained. Can contractor shall notify the Architect of any change inet work design prior to fabrication or installatio Underside of kitchen cabinet located directly above be covered with 1/2" thick asbestos mill board.

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ROOFING AND WATERPROOFING NOISIVIO <u>Scope</u> - Furnish and install Roofing and Waterproofing work complete, including cant strips and incorporating other trades flashing, sleeves and jacks.

<u>Materials</u> A. Vall Flashings: at walls, chimeys, etc. as detailed or as per roofing manufacturer's specifications. Flashings provided under Division 73. B. Cant Strips: Fiber as detailed. คื

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wood snakes snall be lald with not less than 18" wide strips of 30# feld shingled between each course. No felt shall be exposed to the weather below shake butts. Provide 1 x + Twat butt-joint sheathing at all exposed areas (1.e. eaves, rakes etc.) and double starter course of shakes at eave Materproof membrane where indicated shall consist of  $\psi$ ? felt 6" up ad-jacent walls with 2 layers 20 x 20 buramesh applied over felt and hot mop-ped in place using 25# 1900 asphalt per 100 sq. ft. Mop in place final layer of 15# asphalt saturated felt.

Plywood crickets to be 5/8" interior plywood with exterior glue Wood shingles and shakes exposure to be per UBC. ONIT Provide clay tile roofing where shown, per Owner and manufactur per UBC.

Install

Built-up roofing with gravel surfacing to be on minimum 3 layers of 15# hot mopped felt. (Use 300# gravel for conventional roofing and 400# gravel if one-hour roofing is required).

Asphalt shingles to be laid over 15# felt, laid horizontally and lapped. 2" beneath shingles laid directly on roof boards. Use hot galvanized or aluminum (10-1/2 to 12 gauge) rooting mails with heads of at least 3/8" diameter. à

<u>Installation</u> - Install roofing and wall flashing per manufacturer's recommutions carefully incorporating G.I. flashing, scuppers, jacks, sleeves, roo drains, divertors etc. supplied by others.

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DIVISION 7B - SHEET METAL

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including flashing, Scope - Furnish and install Sheet Metal work stops, gutters, downspouts, scuppers, misc. 1

Materials - Sheet metal shall be shared in OR STANLEOS AFEL counter-flashings and gravel stops shall be minimum 24 gauge where not spec-ified otherwise.

<u>Workmanship</u> - All work shall conform to the "Architectural Sheet Metal Manual" of the Sheet Metal and Air Conditioning Contractors National Association, Inc. unless otherwise shown or specified. ň

ERMAL INSULATION DIVISION 7C -

Scope - Furnish and install all thermal insulation.

Materials

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Exterior walls of heated and/or cooled interior spaces to be insulated t provide an "R" value of 13.00 minimum, unless noted otherwise. Ceilings of heated and/or cooled interior spaces to be insulated to pro vide an "R" value of 30 minimum, unless noted otherwise. Wood floors of heated and/or cooled interior spaces adjacent to exterio to be insulated to provide an "R" value of 30 i min., unless noted othe లి

Installation - Install between celling joists, roof rafters and joists and bot tom chords of trusses as indicated on drawings and between all studs in exteri walls so as to provide a continuous thermal barrier to the exterior. Install with vapor barrier to the inside.

DOORS DIVISION 8A

Soope - Furnish and deliver all doors complete as scheduled or otherwise indicat-ed by drawings. Finish hardware, installation and painting, where applicable, as specified elsewhere. VEWF4 PER DOC SCHED. ON AG

cials Exterior doors: Solid core, flush panel unless noted otherwise, with applied decorative trim and surface(s) as noted. See schedules for gla ed or paneled doors as required; stain grade. Interior doors: 1-3/8" thick, hollow core, flush panel statin grade. Å

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Carage to house doors: 1-3/4" solid core, hardboard surfaced. Wardrobe doors: 1-3/8" thick, hollow core, hardboard surfaced and/or bi-fold as indicated. Special doors: Special door treatments shall be as indicated

stall garage CARACE DOORS Scope - Fabricate and complete with hardware DIVISION 85

Materials

A. STRUCTUREL WELDS SI B. '. All structural fie ed deputy inspector C. Shop primer for sta tions TT-P-86 Type D. Parts not in conta assembly shall be assembly shall be assembly shall be divis, screws, nails, f	A. Framing lumber: #16. B. Flywood: "American B. Flywood: "American A. All wood framing me Studs (to 8'-0") Studs (to 8'-0") Studs (over 8'-0") St	Floor B. Nailing: Common wi ed or ring shank pl C. Metal connectors: D. All top plates to 1 occuring over stud E. Bolts, nuts and wa A 153-67. F. Blocking at stud wa be 1-1/2" in thick be 1-1/2" in thick of stud, unless no G. Walls laterally um size determined as	<ul> <li>A.1. 2.x.) sur 2.x. 2.x.4 and 2.x. 2.x.4 and 2.x. 6 sthat and 2.x. 2.x.4 or unless noted others.</li> <li>I. All interior openir jumm header of 1-4 J. All exterior openir otherwise.</li> <li>K. All floor joists sthatth a depth to thi I. All roof rafters sh M. All joists, headers of 2. at each end.</li> <li>N. Provide double jois</li> </ul>	<ul> <li>0. Not less than three wall.</li> <li>P. Shear panels at sid I frade plyhood with the subedment of 7 q. Where wood frame wa plaster, tile or sling shall be protected with Simpson S. All wood posts conn PC or EPC post cap "I, Foundation plates si anchor bolts with n noted otherwise.</li> <li>U. Provide blocking at protected with should be blocking at plates si anchor bolts with n noted otherwise.</li> </ul>	<ul> <li>V. Provide blocking at W. Provide 3/4" minimu partitions and bott X. Provide 1 x 4 diago feet of length of a otherwise.</li> <li>Y. All power actuated erior bearing partit (<i>praetice</i> bearing partit (<i>praetice</i> bearing partitions or b. Gutting, notching or detailed or approve of plates or sills, wide across opening D. Framing contractor a cabinets, wardrobes,</li> </ul>	<ul> <li>E. Support of bearing p from such support by F. Fireblock all walls, space is no greater ' d. All floor construction effectively draft stu All framing members resistive assembly wi wall shall be spaced to the 10'-0" on -bo tion wall when adjace tion wall when adjace tion wall when adjace tion wall when adjace tin 5'-0" or 10'-0" ( fans, lights, heat is provide cross ventils net area of not less wall. Openings shall not less than 1/4" no</li> </ul>	<pre>Scope A. Furnish and install she frames, paneling, she B. Installation of Finis Materials A. Door frames: Kiln dr i. Frames shall be s ing the course o B. Door stops and casing 1. All vertical and cable lengths. C. Wood railings: Kiln D. Shelving and Bookcase B. All wardrobes to cont </pre>
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r shall take all nece i the utility lines s ot of record or not s ists of furnishing al g all operations nece ing for the grading J n soil bearing value SF per Soil " below the surface o ng or proposed struct verify locations of	<ul> <li>B. Excavate to lines, grades and elevations as required by drawings or governing ordinances. Level and clean bottom of footing excavations and keep free of standing water. No uncompacted fill is permitted under footings.</li> <li>3. Fill and Backfilling</li> <li>A. Backfill and fill under slabs shall be layered in levels not more than 6" deep, moistened and tamped with mechanical vibrator compacted to a 90% optimum density. Fill material shall be free from debris, vegetable matter and other forsign substances.</li> <li>B. Protect damproofed surfaces against damage while backfilling with one layer of 1/2" gypsum board.</li> <li>4. Slope grade away from building to prevent standing water against building.</li> <li>6. All debris. rocks and other deleterious material shall be transition between points where elevations and there is a start of the standing to provide uniform transition between points where elevations.</li> </ul>		<ul> <li>5. Asphaltic Concrete Pavement</li> <li>A. Redwood headers: minimum 2 x 4 with 2 x 3 x 18" long stakes (2-16d galwanized nails each stake).</li> <li>B. Base course: 6" crushed rock.</li> <li>C. Pavement: 2" thick, 85-100 penetration; minimum 1/2" rock.</li> <li>G. Seal Cost - Apply 2 coats per manufacturer's specifications.</li> <li>6. Seal Cost - Apply 2 coats per manufacturer's specifications.</li> <li>1. Scope - Furnish, install and finish Concrete work complete, including grading under slabs; plastic membrane, formwork, reinforcing, etc. and placement of bolts and inserts supplied by other trades. VED/F-1 PG2 STD.UCD(IPAH. TPZ/VUL).</li> <li>2. Materials</li> <li>3. Portland Coment shall conform to ASTM 0 150 Type I or Type II.</li> </ul>	<ul> <li>B. Aggregates to be normal sand-gravel aggregates conforming to ASTM C 33.</li> <li>C. Water shall be clean and free of deleterious amounts of acids, alkal, elis or organic materials.</li> <li>D. Reinforcing steel bars shall be deformed bars conforming to ASTM A615-68 Grade 40, unless noted cherwise.</li> <li>E. Reinforcing mesh shall be welded wire fabric conforming to ASTM A-185-73.</li> <li>F. Tie wire shall conform to ASTM A 82; 16 gauge black annealed.</li> <li>G. Expansion joint fillers to be 1/2" thick, depth as required, non-bituminous, the Porm materials: lumber to be 1/2" thick, depth as required, non-bituminous, to be 5/8" thick exterior grade BB-13 or better.</li> <li>J. Pesten Mix - Mix shall be composed of 1 part cement, 3 parts sand, 4 parts of it maximum aggregate, and maximum water-cement ratio of 0.55 for minimum compressive strength of</li></ul>	<ul> <li>B. Concrete shall be worked in all forms, around reinforcement and embedded items and into corners.</li> <li>G. Boits, anchors, hold-downs and all inserts shall be accurately located and securely held in place until concrete has hardened.</li> <li>D. Inspect surfaces immediately after removal of forms and before concrete is curred, retch and pour joints, voids, stone pockets, and tile holes in concrete surfaces to be exposed.</li> <li>B. Reinforcing steel shall have a minimum lap distance of 30 diameters in concrete. Unless shown observates of distance of 30 diameters in concrete. Unless shown observates and distance of 30 diameters in concrete. Unless shown observates and distance of 30 diameters in forwards and place, is all footings to keep reinforcing in place, hars at approximately 36" 0.0. in all footings to keep reinforcing in place, hars at approximately 36" 0.0. in all footings to keep reinforcing in place, is in all footings to keep reinforcing in place, is "Winimum concrete cover on reinforced steel! Footings 3", exposed walls 1", walls against earth 2", slabs 3/4", columns 1-1/2".</li> <li>S. Finishing</li> <li>A. Interior and Garage slabs: steel trovel finish; slope to drain where indicated on drawings.</li> <li>B. Exposed exterior flatwork to be broom finish, rock salt finish and/or exposed against posed aggregate finish as indicated. Exterior slabs to slope away from bldg.</li> </ul>	<ol> <li>Scope - Furnish and install all mesonry work complete, including mesonry vencer and mesonry reinforcing.</li> <li>Materials         <ul> <li>Materials</li> <li>Commut mortar mix: One part Fortland Commut, 1/4, part minimum to 1/2 part maximum lime, sand not less than 2-1/2 and not more than 3 times the sum of the volumes of the commut nontrestive strength of 1800 pat.</li> <li>Grout shall be compressive strength of 1800 pat.</li> <li>Grout shall be compressive strength of 1800 pat.</li> <li>Grout shall be compressive strength of 1800 pat.</li> <li>B. Grout shall be compressive strength of 1800 pat.</li> <li>B. Grout shall be compressive strength of 1800 pat.</li> <li>B. Grout shall be compressive strength of 1800 pat.</li> <li>B. Grout stall be compressive strength of 1800 pat.</li> <li>B. Grout stall be compressive strength of 270 wore in either horizontal dimensions. Minimum compressive strength of 2000 psi at 28 days.</li> <li>G. Concrete mesonry unit shall be hollow load-bearing units, conforming to ASTM 600-70. Grade N-1.</li> <li>D. Reinforcing steel shall be deformed bars conforming to ASTM 4 615-68. Grade 40. unless noted otherwise.</li> <li>B. Mortanship</li> </ul> </li> </ol>	<ul> <li>conform to Chapter 3/ of the UBC</li> <li>B. Work shall be plumb, level and true to line.</li> <li>G. Reinforcing shall be accurately placed and held in position top and bottom.</li> <li>D. Reinforcing shall have a minimum distance of 40 diameters in masonry.</li> <li>B. Dampproof masonry below grade with 2 layers 15% felt, secured and sealed by 3 applications of hot asphalt. Seal masonry above grade with Thompson's waterseal or equivalent.</li> <li>DIVISION 5 - METALS</li> <li>1. Scope - Furnish all metal supports, angles, plates, attachments, bolts, lag bolts, gates, radiings, welding, shop priming and include installation as required to complete work.</li> <li>2. Materials</li> <li>3. Structural steel shapes, plates, bars and rolled settions shall conform to ASTM A 36-70.</li> </ul>
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<ul> <li>In parety at exterior were stream or process the method acceptable to the enforcing agency." (CGBSC 4.408.1)</li> <li>"A minimum of 50 percent of the construction waste generated at the site is diverted to regete or selvage per CGBSC Section 4.408.1 and City ordinance.</li> <li>"Before final inspection, a complete operation and maintenance manuel shall be provided to the inspection, a complete operation and maintenance manuel shall be provided to the maintenance manuel shall be provided to the method acceptant or owner. Combactor or owner shell submit an affidavit that confirms the delivery of the "Duct openings and other related at distribution component openings shell be covered duting construction." (CGBSC 4.504.1)</li> <li>"Adhesives, seatants and cauties shell be compliant with VOC and other toxic compound time." (CGBSC 4.504.2.1) (New Issue)</li> <li>"Paints, stains and other costings shell be compliant with VOC time." (CGBSC 4.504.2.2)</li> </ul>	<ul> <li>When toxic compounds. (CGBSC 4.504.2.5.</li> <li>"Thocumentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building inspector." (CGBSC 4.504.2.4)</li> <li>"Used. A letter from the contractor and or the building inspector." (CGBSC 4.504.2.4)</li> <li>"Campliance with the Code must be submitted to the building inspector." (CGBSC 4.504.2.4)</li> <li>"Campliance with the Code must be submitted to the building inspector." (CGBSC 4.504.2.4)</li> <li>"Thy percent of floor area neceiving resilient flooring shall comply with the VOC emission limits automated in the Collaborative for High Performance Schools (CHPS) Low-emitting Matherials List or be certified in the Collaborative for High Performance Schools (CHPS) Low-emitting Matherials List or be certified in the Collaborative for High Performance Schools (CHPS) Low-emitting Matherials List or be certified in the Collaborative for High Performance Schools (CHPS) Low-emitting Matherials List or be certified under the Resilient Floor Covering Institute (ROCF) Floor Score program." (CGBSC 4.504.4)</li> <li>"Particleboard, medium density therboard (MDF), and hardwood phymood used in interfor finith systems shall comply with two formatide has been used and the installent and or the building inspector." (CGBSC 4.604.5)</li> <li>"Particleboard, medium density therboard (MDF), and hardwood phymood used in interfor finith the VOC emitted in the Collaborative and so the building inspector." (CGBSC 4.604.5)</li> <li>"Particleboard, medium density therboard (MDF), and hardwood phymood used in interfor finith and the building inspector." (CGBSC 4.604.5)</li> <li>"Particleboard, medium density therboard (MDF), and hardwood phymood used in interfor finith and matherial has been used and the compliance with the COC emitted and or the building inspector." (CGBSC 4.604.5)</li> <li>"Particleboard, medium density therboard (MDF), and hardwood phymood used in interfor finith and the building inspe</li></ul>	framing shall not be enclosed when framing members exceed 19% motener content. The moisture content of building members used in well and froor framing is checked before encours. Moisture content shall be verified by either a proje type or contact type moisture meter. A certificate of compliance indicating date of test, location and resits issued by the framer subcontact of contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent. Weather-based controllers withhout integral rain sensor which contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent. Weather-based controllers withhout integral rain sensors of communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which contains though the controller(s). Soil moisture-based controllers are not required to have fain the communicates with the controller(s). Soil moisture-based controllers are not required to have fain and the sensor input. "Per 2013 Green Code Sec 4.503.1 Any installed gas fireplace shall be a minect-vent sealed-compusition type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase	<ul> <li>closet shall be certified to the performance oriteria of the U.S. EPA WaterSance Specification for Tark-Wpe Toilets.</li> <li>Toilets.</li> <li>Kitchen faucets shall have a maximum flow rate of 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow rate to a maximum of 2.2 gallons at 60 psi but must default back to the 1.8 gallons per minute. (New Issue)</li> <li>A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing fixture certification must be completed and signed by either a licensed installed. A copy of the certification can be obtained from the development services department. (New Issue)</li> <li>note A certification completed an signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particle board etc comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.</li> <li>Vapor retarder and capillary break is installed at slab on grade foundations. Show one of the following methods</li> </ul>	<ul> <li>on the plans: <ul> <li>a) 4 inch thick base of 1/2 inch or larger clean aggregate shall be provided with a vapor barrier in direct contract with concrete and a concrete mix design which address bleeding, shrinkage, and curing shall be used. For additional information, see ACI 302.2R-02.</li> <li>b) A stab design specified by a licensed design professional. (Section 4.505.2.1)</li> <li>A certification completed and signed by either the general contractor or subcontractor, or the building owner certifying that the paint, stain, and adhesives, complex with the requirements of the California Green Building Code. A copy of the form can be obtained from the development services department.</li> <li>California Green Building Code. A copy of the form can be obtained from the development services department.</li> <li>California Green Building Code. A copy of the form can be obtained from the development services department.</li> <li>California Green Building Code. A copy of the form can be obtained from the development services department.</li> <li>California Green Building Code. A copy of the form can be obtained from the development services department.</li> <li>California Green Building Code. A copy of the form can be obtained from the development services department.</li> <li>California Green Building Code. A copy of the form can be obtained from the development services department.</li> <li>Concernation:</li> <li>Concernation:</li> <li>Contractor or subcontractor.</li> <li>a) VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.</li> <li>Conducts compliant with CHPS criteria certified under the Greenguard Children&amp; School program.</li> <li>Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.</li> <li>Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.</li> <li>Meet the California Department of public Health. "Standard Method for the Testing and formance School program.</li></ul></li></ul>	<ul> <li>A copy of a complete operation and maintenance manual as outlined in the notes above will be delivered to the building owner prior to final inspection. (New Issue)</li> <li>an owner manual certificate should be completed and signed by either a licensed deneral Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certificate should be completed and signed by either a licensed building owner. A copy of the certification form can be obtained from the development services department.</li> <li>Before final inspection, a complete operation and maintenance manual shall be provided to (Section 4.410.1)". A sample of the manual is available on the Housing and community Development (HCD) web site.</li> <li>1) Direction to the building owner or occupant that the followings:</li> <li>2) Operation and maintenance instructions for the followings:</li> </ul>	<ul> <li>a. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.</li> <li>b. Roof and yard drainage, including gutters and downspouts.</li> <li>c. Space conditioning systems, including gutters and downspouts.</li> <li>c. Space conditioning systems, including condensers and air filters.</li> <li>d. Landscape irrigation systems.</li> <li>e. Water re-use systems.</li> <li>f. Formation from local utility, water and waste recovery providers on methods to further reduce resource onsumption, including recycle programs and locations.</li> <li>f. Uandscape irrigation systems.</li> <li>a) Information from local utility, water and waste recovery providers on methods to further reduce resource onsumption, including recycle programs and locations.</li> <li>b) Information from local utility water and waste recovery providers on methods to further reduce resource onsumption, including recycle programs and locations.</li> <li>b) Information from local utility water and waste recovery providers on methods to further reduce. Fesource onsumption, including recycle programs and locations.</li> <li>c) Information and or cargool options available in the area.</li> <li>b) Information about water-conservation landscape and irrigation design and controllers which conserve water.</li> <li>c) Information about water-conservation landscape and irrigation design and controllers which conserve water.</li> <li>f) Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet water.</li> <li>f) Instructions for maintaining gutters and downspouts and irrigation design and controllers which conserve water.</li> <li>f) Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet water.</li> <li>f) Instructions for maintaining gutters and downspouts and irrigation design and controllers which conserve for a state solar energy and incentive programs available.</li> <l< td=""><td></td></l<></ul>	

hall be completed, tested and approved before closing-in with ipes, drains and fittings shall be kept covered during constructio backing for securing fixtures. outs at ends of all linés and where required by Codes. ing not less than 1 inch in 15 feet.	444	note "A listed raceway to note "Raceway shall be n dedicated 208/240-volt branch circuit." note "Raceway shall origi box or other enclosure in close proximi note "Raceway shall be c	facilitate future installation of Electric Vehicle Charger." ot less than trade size 1 (nominal 1-in. diameter) to accommodate a ) nate at the main service or subpanel and terminate into a listed cabin by to the proposed location of the EV charger." ontinuous at enclosed, inaccessible or concealed areas and spaces.	es a
such be such sheel pipe joints shall be made with approved pipe nd. off valves at each fixture.	20	note "The service panel o dedicated branch circuit and space(s) r device."	r subpanel shall provide capacity to install a 40-ampre minimum eserved to permit installation of a branch circuit overcurrent protectiv	ctixe Ctixe
asate line at each $F_{e}A_{e}U_{e}$ location. Jief valve discharge line from water heater(s) to outside. deadening material between pipes and straps on structure and set against each other. um clearance of $24^{\mu}$ in front of and 30 <sup>m</sup> in width for water clo- it.	$\overline{\Omega}$	note "The service panel or a) the overcurrent protective device spa b) the raceway termination location as "	subpanel circuit directory shall identify: ce(s) for future EV charging as "EV CAPABLE" and, EV CAPABLE".	
<u>ND AIR CONDITIONING</u> 1 install heating and/or air conditioning system(s) complete				•
be in compliance with the latest adopted edition of the CA		OF SAN DIEGO GENERA	L PLAN CONSERVATION	
75 degrees inside for cooling. 75 degrees inside for cooling. 76 operate according to best practices of the trade and control operate according to best practices of the building Departments. 78 for supply and submit to the Building Departments as necessary for approval prior to commencing work.			ticable provisions of the CAP as provided. te and appropriately oriented roof areas for solar tion.	2 2 2
equipment installation as per manufacturer's specifications. nd bathroom doors shall be undercut $1/2$ " above finish floor return air.	) 4 n		leatir	
r ducts shall be of incombustable construction. g one-hour fire : rated walls between living unit and garage 6 gauge galvanized sheet metal. aust fans, range hoods, heat or A.C. supply etc. that pierce ction above, shall be of minimum 26 gauge galvanized sheet eu of sheet metal duct, provide a one-hour fire resistive shaft.	ភ្នំហ្វិ ហ្វី ភ្នំហ្វិ ហ្វី	ecity riigh eniclenicy giading ecify occupant sensitive light all fixtures ecify insulation R-values beyc requirements	controls and high efficiency lamps for and T24 calculation minimum	
forced air units: 100 square inches of outside combustion air from vent through duct in attic for F.A.U. sizes of 100M BTU or under. one square inch of outside combustion air from vent through duct in attic for each 1000 BTU for F.A.U. sizes over 100M BTU			conservation and use we and conservative elements of EV charging set-up in	
um of 48 square inches of exhaust vent above all ranges. ough roof assembly shall be located toward the rear of or roof high point where possible.				
tion containing plumbing, heating, electrical or other systems to floor joists, provide double joists spaced and bridged to a of such systems. Where systems are partially or wholly with- ion and require any cutting of the sole or top plates, provide $/8^{\circ}$ thick by $1 + 1/2^{\circ}$ wide, fastened to the plate across and to the opening with not less than $4-160$ nails.			•	
<u>ING AND DUCT WORK</u> 1 install ventilation fans and all duct work complete. To invovide minimum one complete air change every 5 minutes.				
o exterior to be dampered. gauge d.I. with insulation installed on inside. Work shall ir Conditioning Duct Manual - Sheet Netal Industries.				
isters, grilles and vents to match adjacent surfaces. L d install Electrical work complete and operable. All work in conformance with the latest adopted edition of the National			· · · · · · · · · · · · · · · · · · ·	
rvice Underground. equipment shall be U.I. approved. <u>rawings</u> - Contractor to supply and submit to the Building Depart-			•	
fons as necessary for approval prior to commutating work. Vouc- to and pay for all permits and fees necessary for the comple- - Fixtures, Switch plates, covers, etc. as selected by Owner tawings.	• • •			
tent type) and thermostats! Locate 48" above finish floor [xture], (or as wored) V. and electrical convenience outlets shall be secured to a 1 located at 9" (bottom of fixture) above finish floor level otherwise.		· · · · · · · · · · · · · · · · · · ·		
utlets shown on drawings as being above an adjacent counter be installed a minimum of 8" (bottom of fixture) above ad- rtop unless noted otherwise. ets: Single weatherproof type with ground fault interrupter. ull boxes: Galvanized or sherardized. e. wire: Fer code. Circuit breaker type, recessed flush mounted, galvanized and with latch. Provide typewritten card identifying circuits.	•			
all be responsible for coordination with power company, tele- and cable T.V. company for services. These services shall per the requirements of the aforementioned compenies. to be selected by Owner and purchased by Contractor from allo- ixtures to be installed by Contractor (installation is part act and is not to be included as part of allowance). seonnect existing electrical work as required by demolition $\mathcal{E}$ .	•			
ets shall be 1/2 hot. fans: Where permitted by code switch fans separately from	•	•		
•				
exists between the specifications on this and et and notes, etc. other places in the drawings, shall apply. MPLY WITH THE 2016 CBC, CPC, CMC, CFC 今	••••••			

lavatory water connections. Set vertically as close to fixture . Individual chambers 18 inches long, one pipe size larger than

NGC TIV.

NOTE: Wher the

pîpe,

galvanized

be 36" long

shall

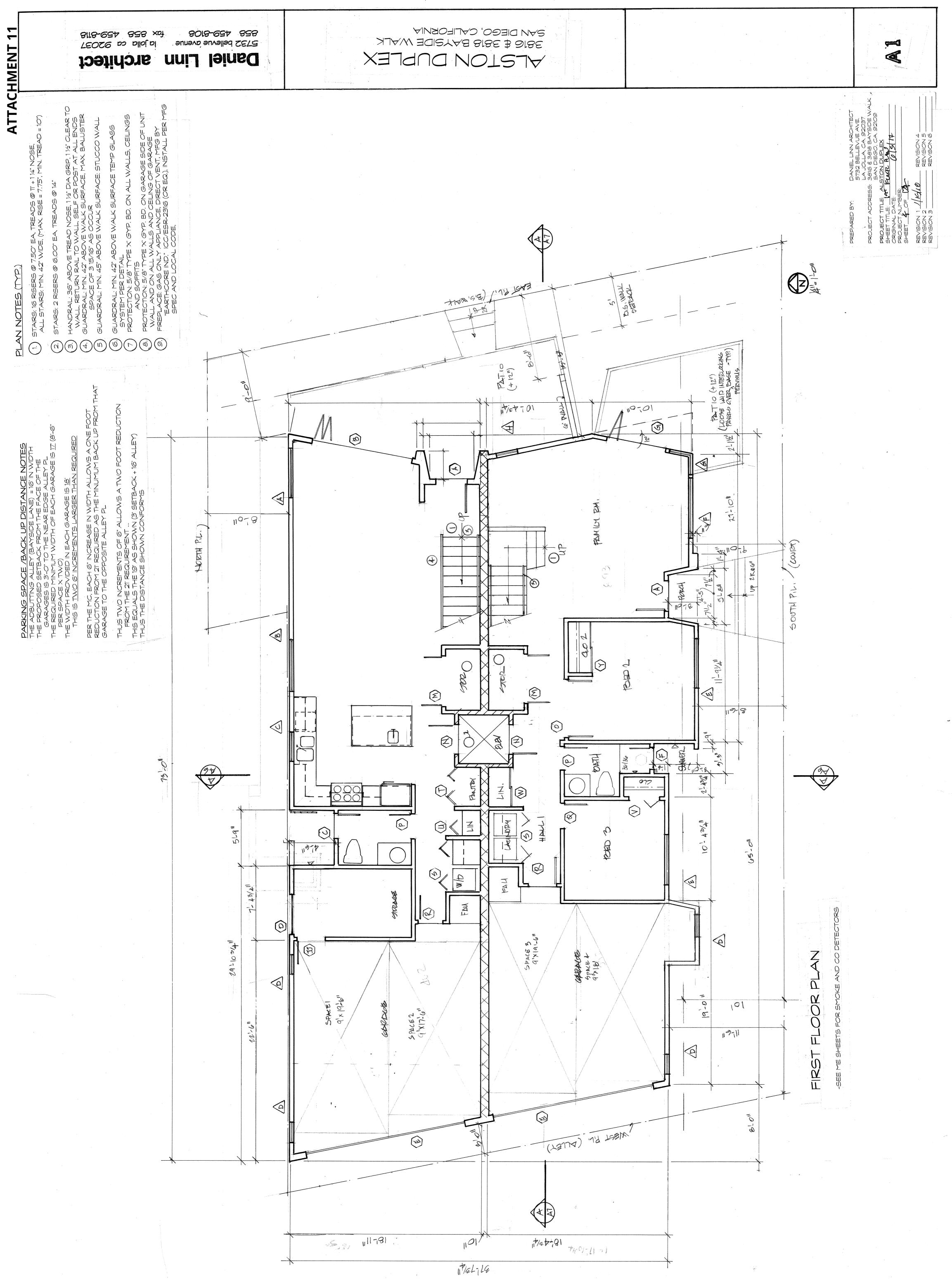
aders, air chamb than header.

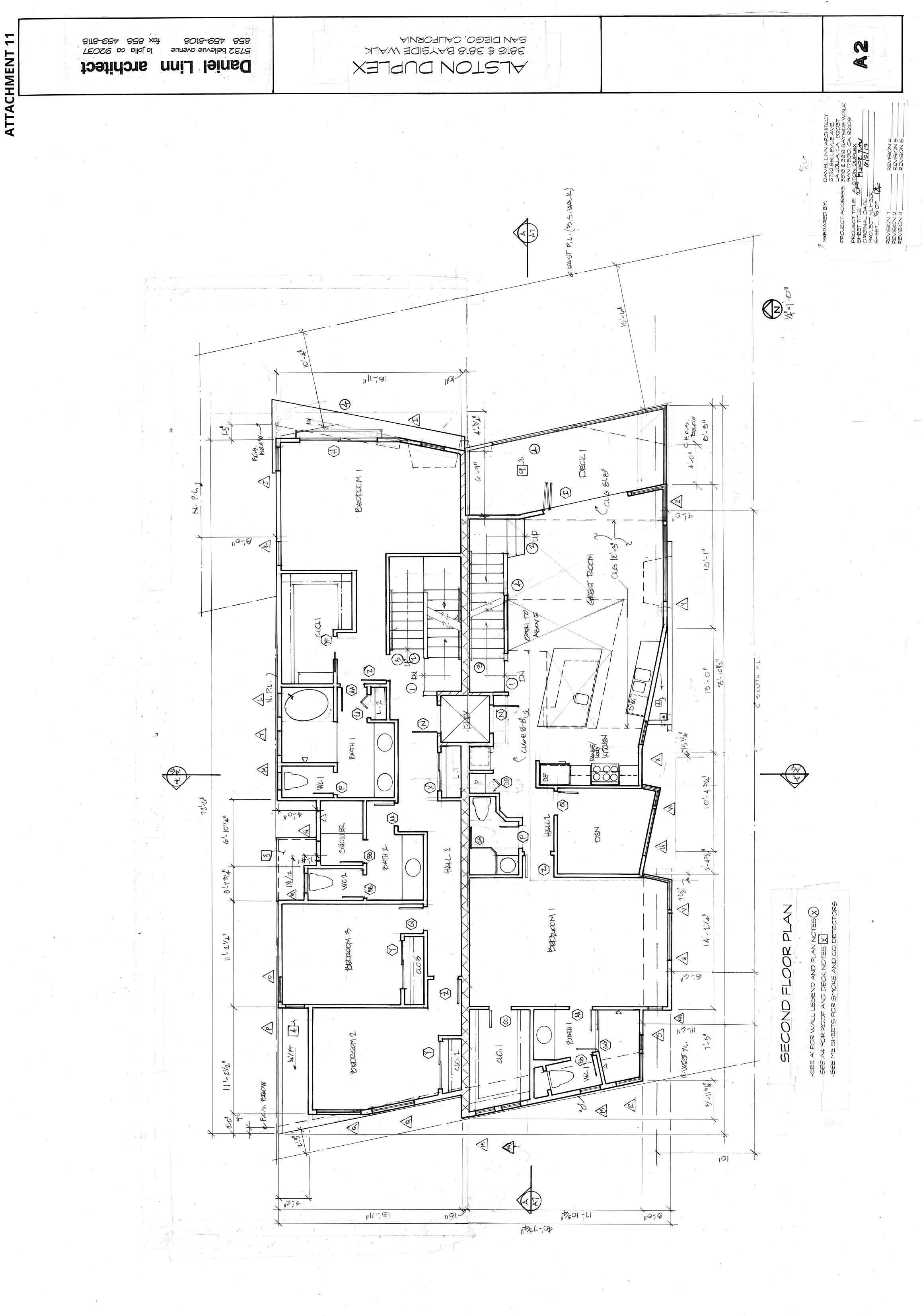
At each en pipe size

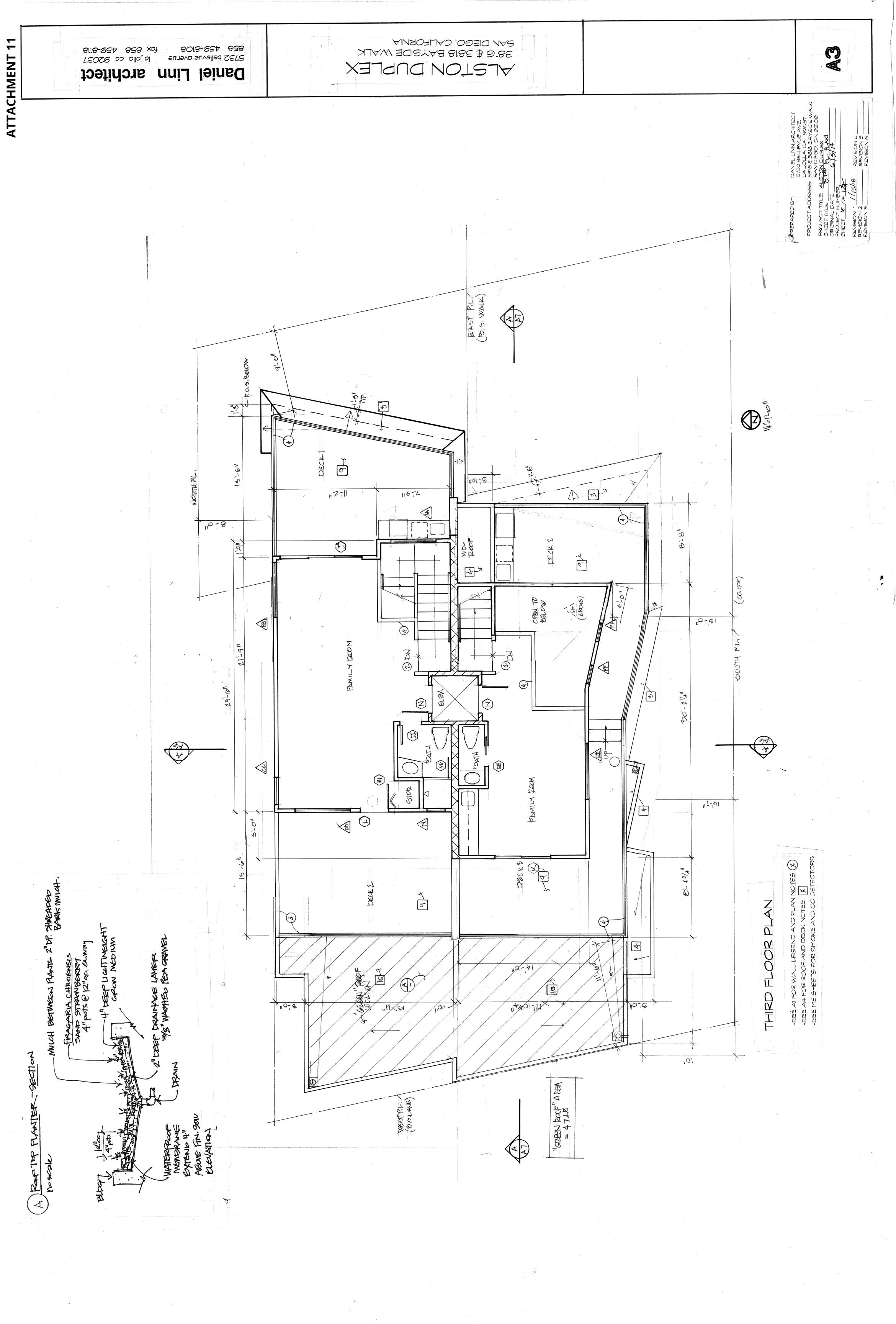
4

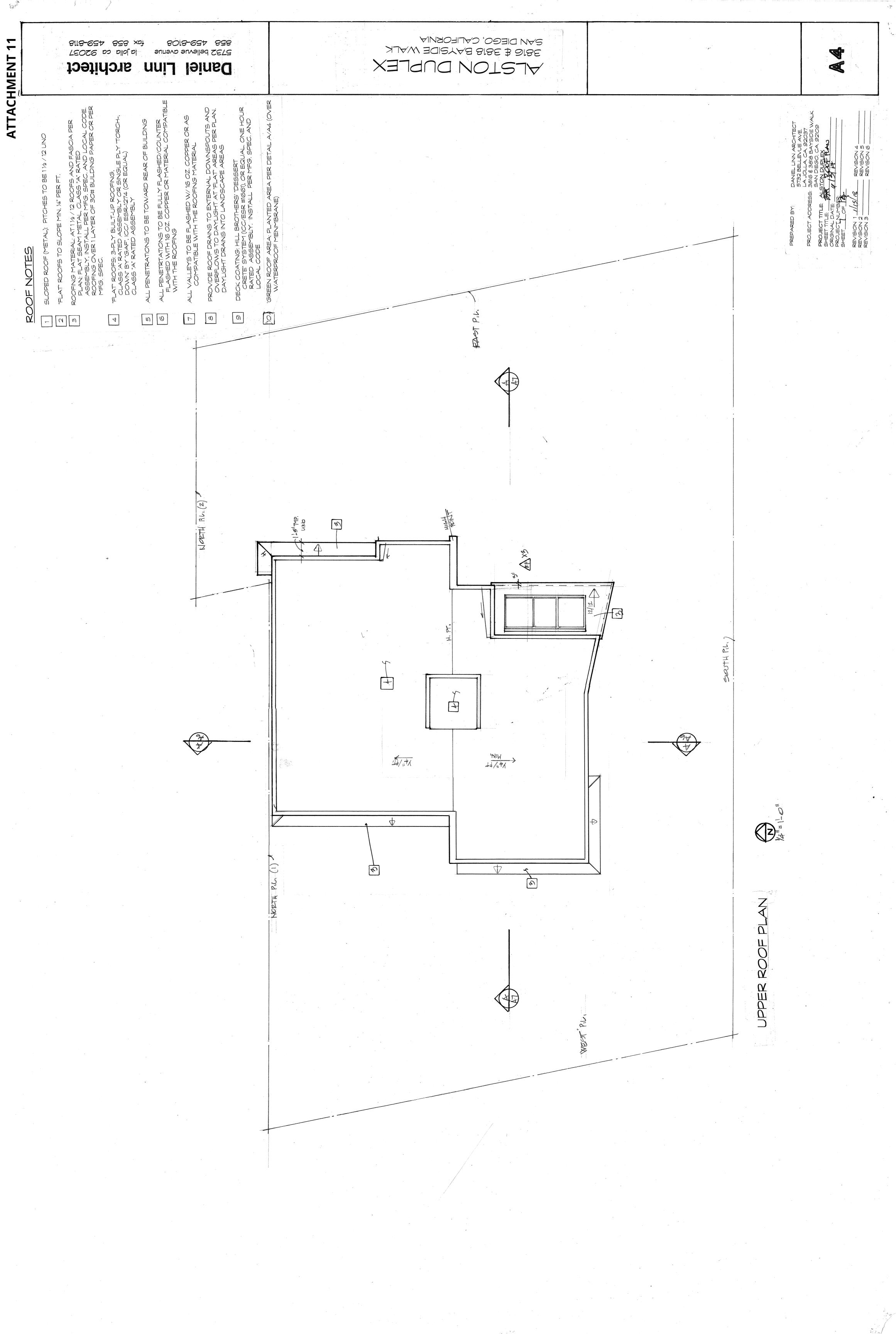
<ul> <li>B. Marken, M. S. Marken, M. Marken</li></ul>	1. Scope - Purn	nish and install all ceramic tile complete including backing and	ห แกงนั้นออกอย่างี่ ห
The first include in plane is he whole of the function of the first include in the sector of the	base grout. 2. <u>Standards</u> - America and	ork to conf current st	A. Roughing-in shall I other work.
gue du a manama hy yonn;       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011       2011     2011     2011     2011     2011<	3. <u>Materials</u> A. Ceramic	<b>11</b>	D. Vpenings in pipes, C. Provide solid backi D. Provide cleanouts a
<ul> <li>W. M. MUMUNI</li> <li>W. MUMUNI<!--</td--><td>B. Grout: 4. Installation</td><td>to be</td><td>E. Grade gas piping no F. Copper tubing shall</td></li></ul>	B. Grout: 4. Installation	to be	E. Grade gas piping no F. Copper tubing shall
<ul> <li>For an interfactor is obtained, in the calculation is obtained and with the calculation is obtained at a mean calculation is obtained at a mean calculation.</li> <li>For a station with a mean calculation is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a mean calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtained at a more calculation.</li> <li>For a station is obtain</li></ul>	nauorook, la DIVISION 9F - PAI	atest edition. INTING. STAINING & FINTSHING	u. Alack iron and galv thread compound. H. Provide shut-off va
<ul> <li>Constantial of the static st</li></ul>	1. Scope - Furn Finishing wo factory nri	ish all labor and materials to complete Painting, Staining and ork including preparation of surfaces other than those that are	I. Frovide condensate J. Frovide P&T relief V Provide cound derie
<ul> <li>a california la via da la maior california construction.</li> <li>a california la via da la maior california construction.</li> <li>a california la via da la maior california construction.</li> <li>a california la via da la maior california construction.</li> <li>a california la via da la maior california construction.</li> <li>a california la via da la maior california.</li> <li>b california la via da la maior california.</li> <li>a california la via da la maior california.</li> <li>b california la via da la maior california.</li> <li>a california la maior california california.</li> <li>b california la maior california.</li> <li>b california la maior california la california.</li> <li>b california la maior california.</li> <li>c california la maior california california.</li> <li>c california la maior california california.</li> <li>c california la maior california california california.</li> <li>c california la maior california california california.</li> <li>c california california california california california california.</li> <li>c california california california california.</li> <li>c california california california california.</li> <li>c california california california california california.</li> <li>c california california california california.</li> <li>c california california california california california.</li> <li>c california california california california california california.</li> <li>c cal</li></ul>	2. <u>Meterials</u> A. Peint a	wel Wî staîn materials shall he se menufertured hu Amonitone. înhot	A. Frovide sound deade Where pipes rest ag I. Provide minimum cle set commertant.
<ul> <li>and a strain of a strain of and a strain of and a strain of a str</li></ul>	Dunn-Ed B. All mat er's co	lands, Frazee, Olympic. Pratt & Lambert, Sinclair or equivalent. berials shall be delivered to the site in sealed original manufactur- ontainers.	DIVISION 15B - HEATING AND AI
<ul> <li>Bender and shall be standard partority and a model, front and shall be standard partority and a model partority and a model and partority and a model and a model partority and a model a</li></ul>	· 3. <u>Preparation</u> A. Surface	of Surfaces es shall be clean and dry, and in suitable condition for finish spec- Remove all oil. grease, bond breaking agents, dust, mill scale and	1. <u>Scope</u> - Furnish and inst and operable. 2. <u>Standards</u> - Shall be in
<ul> <li>Martin Marchan, and Nameler en land, and Land and Carlot and Land L</li></ul>	B. Gracks,	scence. And knots shall be filled, sanded smooth, and sealed. Wood	Nechanical Code and any A. Design temperatures
<ul> <li>Wittendy application with the match of the at these of brain in the stary of a partial of a start of a start of the start</li></ul>		es, except resawn wood, snall de sanded perfectly smooth. Sanding hall be completely removed. re shell be masked or removed prior to painting. nd other finish work shall be backpainted prior to installation.	1. Winter: 70 deg 2. Sunmer: 75 deg B. Design system to op
<ul> <li>understein, Vapalder, wahl breußer, eine auf free of brains.</li> <li>Li be vie abergy to allow. Evolve adjacents warfnees</li> <li>Li be vie abergy to allow. Evolve adjacents warfnees</li> <li>Li be vie abergy to allow. Evolve adjacents warfnees</li> <li>Li be vie abergy to allow. Evolve adjacents warfnees</li> <li>Li be vie abergy to allow. Evolve adjacents warfnees</li> <li>Li be vie abergy to allow. Evolve adjacents warfnees</li> <li>Li be vie abergy to allow. Evolve adjacent warfnees</li> <li>Li be vie abergy to allow. Evolve adjacent warfnees</li> <li>Li be vie aberge aberged evolve.</li> <li>Li be vie aberged aberged aberged aberged evolve.</li> <li>Li be vie aberged ab</li></ul>	늰		3. <u>Calculations and Drawine</u> ment load calculations a
<ul> <li>a field of the standard of the standard states of the s</li></ul>	A. Each of marks, bestart	oat shall be uniformly applied, well brushed out and free of brush runs, sags or skips.	4. <u>Instellation</u> - All equip
<ul> <li>a participation of a distribution of a</li></ul>	c. Mix and G. Mix and struct	inities small be out sharply to line. Frotect adjacent surfaces. d apply paint and stains in accordance with the manufacturer's in- ions.	A. All bedroom and bat material for return b All bedroom and bat
<ul> <li>Determine and a state of a state works, gratitary, effort, other a state of a state works, gratitary works, provided pairs, works, gratitary works, gratitary, gratitary,</li></ul>	5. <u>Exterior Pa</u> A. All ex	<u>inting</u> terior wood, including siding, railings, fascia, trim, exposed beams 2 costs state mlace noted otherwise	B. ALL return air duci C. Ducts piercing one- shall be of 26 gaug
8 could contraction partit over block stiller unlines noted (every elements) i antitude (atling), and balax mat dree work start gives entail. 2. Partit i antit of a start and the start gives entail. 3. Partit i antit and the start gives entail. 3. Partit i antit antit antit antit antit antit i antit antit i antit i antit i antit i antit i antit antit antit antit antit i antit antit i antit antit i antit antit i antit antit i antit antit i antit i antit antit i antit	B. Exposed	<pre>&lt; coars scale writes noted otnerwise, d metal, including vent pipes, exhaust vents, grilles, etc.1 color match adjacent surface. 2 coats exterior paint over primer,</pre>	D. Ducts for exhaust 1 floor construction metal. In lieu of
<ul> <li>(except acountical isother of oilling).</li> <li>consult matter and one out meat-gloss ensual.</li> <li>consult matter and one out meat-gloss ensual.</li> <li>consult matter and one out meat-gloss ensual.</li> <li>consult matter and an out meat-gloss ensual.</li> <li>(correct mathematic)? Fatach are approximate a constraint.</li> <li>(correct mathematic)? Fatach are approximate a constraint.</li> <li>consult matter and inner color existing the matter and an out pain- gloss mathematical interactory.</li> <li>consult matter and inner color and another and an out a pain- gloss mathematical interactory.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and inner color and another and a paint.</li> <li>consult matter and a paint of the another and a paint.</li> <li>consult matter and a paint of the another and a paint.</li> <li>constraint and another and a paint of the another another another another another another another and a paint of the another another another and a paint.</li> <li>constraint and another and a paint of the another another another another another another and a paint of the another and a paint of the another another another another another another another and a paint of the another and another another another another another another and another another another another another another another and another another another an</li></ul>	C. Masonry otherw	y surfaces, 2 coats exterior paint over block filler unless noted fise.	E. For gas fired force 1. Provide 100 m
<ul> <li>and haven and one out fact parts.</li> <li>and haven a fact out fact parts.</li> <li>and haven a fact out out fact parts.</li> <li>(concepts address). Factors are secretate the address for a cost part.</li> <li>(concepts address).</li> <li< td=""><td>6. <u>Interior Pa</u> A. Cellin 1 v</td><td>es and walls (except acoustical textured ceilings).</td><td>2. Provide one square</td></li<></ul>	6. <u>Interior Pa</u> A. Cellin 1 v	es and walls (except acoustical textured ceilings).	2. Provide one square
<ul> <li>(everys entartury): Thurken an expectivat for existant can cost purformant of a cost part of a cost and there is a solution of the interaction of a cost a cost or and there is a solution of the interaction of a cost a cost or and there is a solution of the interaction of a cost a cost or and there is a solution of the interaction of a cost a cost or and there is a solution of the interaction of a cost a cost or and there is a solution of the interaction of a cost a cost or and there is a solution of the interaction of a cost a cost or and the interaction of the intera</li></ul>	i X A	il other rooms: Sealer and one coat flat paint. Mosed posts and beams: 2 coats of stain unless noted otherwise.	F. Provide minimum of G. All vents through I
<ol> <li>Constant and the method of the second spectry inseques seasing which all registers and investors and investors (interaction) is cause onto another, one cost seast- stating (interaction) is cause onto another, one cost seast- stating (interaction) is cause onto another, one cost seast- stating (interaction) is cause onto another, one cost seast- stating (interaction) is cause onto another, one cost seast- stating (interaction) is cause onto another, one cost seast- stating (interaction) is cause onto another, one cost seast- stating (interaction) is cause and/or listed on transition (interaction) is cause on the stating.</li> <li>Patter all Specialities completes and operation.</li> <li>Patter all stating (interaction) is caused of the presentation of the interaction of the presentation of the interaction of the presentation of the interaction of the inte</li></ol>	B. Wardro C. Wood t	pes, closets (except shelving): Finish as specified for adjoining room. rim, paint grade doors, frames, wood base, shelf cleats: one coat pri-	IOWER SIGE OF YOOF . H. Where a partition of
<ul> <li>constructor and investion): a costs endors, ano costs endors.</li> <li>constructors and interaction): a costs endors, ano costs endors.</li> <li>constructors and interaction is constructed and operation.</li> <li>constructors and interaction is constructed and construction.</li> <li>construction and interaction.</li> <li>constructors and interaction.</li> <li>constructors and interaction.</li> <li>construction and interaction.</li> <li>construction and interaction.</li> <li>construction and interaction.</li> <li>construction and operation.</li> <li>construction and interaction.</li> <li>construction and operation.</li> <li>construction and interaction.</li> <li>construction and operation.</li> <li>construction.</li> <l< td=""><td>D. Stain</td><td>me coat semi-gloss enamel. grade doors: 2 coats stain.</td><td>runs parallel to fl permit passage of a in the partition an a metal tie 4/8" th</td></l<></ul>	D. Stain	me coat semi-gloss enamel. grade doors: 2 coats stain.	runs parallel to fl permit passage of a in the partition an a metal tie 4/8" th
<ol> <li>2 costs interfor whin or cent. gloss enset.</li> <li>2 costs interfor whin or cent. gloss enset.</li> <li>2 costs interfor whin or cent. gloss enset.</li> <li>2 costs interformed and over to match or discort.</li> <li>2 costs interformed and over the set of matches.</li> <li>2 costs interformed and over the set of the port.</li> <li>2 costs interformed and over the set of the port.</li> <li>2 costs interformed and over the set of the port.</li> <li>2 costs interformed and over the set of the port.</li> <li>2 costs interformed and over the set of the port.</li> <li>2 costs interformed and control of the set of the port.</li> <li>2 costs interformed and control of the set of the port.</li> <li>2 costs interformed interformed and control of the set of the port.</li> <li>2 costs interformed interformed and control of the set of the port.</li> <li>2 costs interformed interformed and control of the set of the port.</li> <li>2 costs interformed interfored in</li></ol>	E. Hardwo F. Paint gloss	od cabinets (exterior and interior): 2 coats spray lacquer sealer-stain. grade cabinets (exterior and interior): one coat sealer, one coat semi- enamel.	a netat the J/O w each side of the o
<ul> <li>and Specialities complete and operatis.</li> <li>and Specialities complete and operatis.</li> <li>b) All and the set of the</li></ul>	G. Wood h R. Metal	mud railings: 2 coats interior stain or semi-gloss enamel. surfaces: paint all registers, grilles and vents to match adjacent	DIVISION 150 - VENTILATING AN 1. Scope - Furnish and inst
tatl Specialties complete and operaties. 1. Example of the complete and operaties. 2. Event of the complete and operaties. 3. A result of the complete and operaties. 3. A result of the complete and operaties. 3. A result of the complete and operating. 4. A result of the complete and operating. 4. A result of the complete and operating. 5. A result of the complete and operating operating. 6. A result of the complete and operating of the complete and operating operating. 7. A result of the complete and operating of the complete and operating of the complete and operating operating. 8. Close result of the complete and operating. 9. A result of the complete and operating. <td>DIVISION 10A - S</td> <td>Jest</td> <td>2. Bath Exhaust Fans - To I All exhaust fans to exte</td>	DIVISION 10A - S	Jest	2. Bath Exhaust Fans - To I All exhaust fans to exte
<ol> <li>Paraterid by Ounce and/or listed on drawinge,</li> <li>A firstylacy part drawings and details. Provide three of the generation of the spectrum of the law of the law of the law of the spectrum of the law of the spectrum of the law of the spectrum of the law of the law of the law of the spectrum of the law of the spectrum of the law of the law of the law of the spectrum of the law of the law of the law of the spectrum of the law of th</li></ol>	1. <u>Scope</u> - Fur 2. <u>Materials</u>	mish and install Specialties complete and operable.	3. <u>Duct Work</u> A. All ducts, 26 gauge comply with Air Cor
<ul> <li>forth by B( and the govern- <ul> <li>above that part of the root</li> <li>above that and colors to be selected by Owner.</li> <li>and colors to be selected by Ow</li></ul></li></ul>	A. Bathro B. Metal Place	oom accessories as selected by Owner and/or listed on drawings. pre-fabricated fireplace per drawings and details. Provide fire- complete with flue, chimney, roof flashing, chase top and chase cap.	B. Paint all register
the building within 10'-0" Z. Situada or comply with CWC Z. Z. Situada a decimal by Owner. Z. Situada declore to be selected by Owner. The set ment 1 manual models and colores to be and manues in colores to be and manues to be selected by Owner. 4, 000000 a min colores to be selected by Owner. 5, <u>Materia</u> laws, models and colores to be and colores to be selected by Owner. 5, <u>Materia</u> laws, models and colores to be and colores to be selected by Owner. 5, <u>Materia</u> laws, models edition of funiform while colores to be selected by Owner. 6, <u>100000</u> for address dittion of funiform while codes. The function of the form of the selected by Owner. 6, <u>100000</u> for address docuted by Conternance. 5, <u>100000</u> for galvanized steel. Conform with ASTM A74 or for gala. 6, <u>1000000000000000000000000000000000000</u>	Instal ing du 1. (	ll in accordance with requirements set forth by BC and the govern- uilding inspection department. Chimneys shall extend a minimum of 2°-0" above that part of the roof	<u>DIVISION 16 - ELECTRICAL</u> 1. <u>Scope</u> - Furnish and inst shall he performed in or
<ul> <li>A. H. H. M. A. M. M.</li></ul>	c. Skyli	through which it passes or any point of the building within 10'-0" of the point of chimney/roof intersection. ghts: ICL #(**Wer),All construction to comply with Cart	Electrical Code and any 2. Standards
<pre>d colors to be selected by Onnex.</pre>	D. Kitch	en Built-Inst	A. Electrical Service B. Materials and equi
and colores to be selected by Owner. I colores to be selected by Owner. a colore to be selected by Owner. a correction of Uniform a adopted edition of Uniform and operable, including trench- t adopted edition of Uniform and operable, including trench- a dopted edition of Uniform and operable, including trench- t adopted edition of Uniform adopted edition of Uniform as indicated on drawings). as indicated on drawings). a didicated on drawings). a didicated on drawings). a didicated on drawings).	า ถ้ ต้	Disposal: See iloor plans, models and color to be selected by Owner. Disposal: See floor plans, models and colors to be selected by Owner. Range-Oven and/or cooktop: See floor plans, models and colors to be	3. <u>Calculations and Drawin</u> ment load calculations a ractor shall secure and tion of hts work.
<ul> <li>S. <u>Material</u></li> <li>and operable, including trench- it adopted edition of Uniform</li> <li>abbing codes.</li> <li>abbing codes.</li> <li>curve in the ASTM A74 or</li> <li>curve in conform with ASTM A74 or</li> <li>curve in conform with ASTM G13.</li> <li>future in comparison with as a standian in the pro- in liverior walls shall be pro- in liverior walls shall be pro- in liverior walls shall be pro- all intervior walls shall be pro- in an intervior wall be pro- in an intervior wall</li></ul>		Betected by UMMET. Exhaust hood: See floor plans, models and colors to be selected by Ommer. Compactor: See floor plans, models and colors to be selected by Ommer.	4. <u>Uclors and Design</u> - Fix or scheduled on drawing
<pre>unbing codes. Iron; conform with ASTM A74 or sed, conform with ASTM A13. End, conform with ASTM C13. D, End fing. Fittingwrought copper D, End with copper fittings for below grade. End selectric unions. End submit to the Building Depart- as indicated on drawings). End submit to the Building Depart- as indicated on drawings).</pre>	DIVISION 15A - 1 1. <u>Scope</u> - Fu ing and ba	<u>PLUNBING</u> urnish and install Plumbing work complete and operable, including trench- uckfilling. Work shall conform to latest adopted edition of Uniform	<ol> <li>Materials</li> <li>Switches (silent t (bottom of fixture</li> <li>Telephone, T.V. an</li> </ol>
<ul> <li>sed, conform with ASTM G13.</li> <li>ng. Fittingwrought copper</li> <li>Soldered joints for above above above above active or above active walls shall be pro- in interior walls sh</li></ul>	Plumbing C 2. <u>Materials</u> A. Waste	lode and any other adopted governing plumbing codes. A and soil nime: Sarvice waight, cast income conform with ASUM AND. or	wall stud and loca unless noted other
<ol> <li>Gamouter Acom or approved equal.</li> <li>Domestic water giving: "Yr or with 97-08 coldered (ontrees and pulle consetts to water giving: "We opper tubing with wrought opper grade. Use type W' copper tubing with wrought opper fittings for below grade.</li> <li>Dialectric isolators: Byoo Type W, FB, or GX dialectric unions.</li> <li>Dialectric isolators: Byoo Type W, FB, or GX dialectric unions.</li> <li>Dialectric isolators: Byoo Type W, FB, or GX dialectric unions.</li> <li>Went piping (Crean semigration) with Semicon of the low grade.</li> <li>Went piping (Crean semicons) istandard weight galvantaed steel. Onform grade.</li> <li>Went piping (Crean semicons) istandard weight galvantaed steel. Onform Gamma (The Market Mark</li></ol>	B. Vitri	wed plastic pipe. Ified clay pipe: First grade, salt glazed, conform with ASTM C13.	u, conventence outleu surface shall be in jacent countertop 1
<ul> <li>grade. Use type "W" corper thinking with wrought corper fittings for below grade.</li> <li>G. Famel boxes: Use type "W" corper thinking with wrought corper fittings for below grade.</li> <li>F. Vent piping (2," and smaller): Standard weight galvanized steel. Contorn the second shall all standard weight galvanized steel. Contorn the second stall standard weight galvanized steel.</li> <li>G. Vent piping (1," and smaller): Standard weight galvanized steel. Contorn the second stall standard weight galvanized steel. Contorn the second stall standard weight galvanized steel.</li> <li>G. Vent piping (100-000 PrANC): Standard weight cast iron. Or APPROVED PLASTIC.</li> <li>G. Vent piping (100-000 Prantised iron.</li> <li>H. Valves, stops, clocks: Chlock or approved equal.</li> <li>G. Sandiard weight on the second iron.</li> <li>G. Sandiard weight on the second stoel.</li> <li>G. Sandiard weight on the second in the store.</li> <li>G. Sandiard weight on the second in the store.</li> <li>G. Ras piping to be Schedule 40 black steel.</li> <li>G. Ras piping to be Schedule 40 black steel.</li> <li>G. Ras piping to be Schedule 40 black steel.</li> <li>G. Ras piping to be schedule 40 black steel.</li> <li>G. Ras piping to be schedule 40 black steel.</li> <li>G. Ras piping to be schedule 40 black steel.</li> <li>G. Ras piping to be schedule 40 black steel.</li> <li>G. Ras piping to be schedule 40 black steel.</li> <li>R. Fritures and sinks.</li> <li>R. Fritures and stutting.</li> <li>R. Fritures and stutting.</li> <li>R. Fritures and stutes.</li> <li>R. Fritures and</li></ul>	G. Clean D. Domes Or ca	louts: Acorn or approved equal. stic water piping: Type "L" copper tubing. Fittingwrought copper ast bronze (or galvanized iron) with 50-50 soldered joints for above	D. Exterior outlets: E. Outlets and pull b F. Conduit. cable. Wi
<ul> <li>with ASTW ALZO. ** Preproved Present</li> <li>G. Tent piping (over 2"): Standard weight cast iron. <i>Cle. Arthology PlaSTUC</i></li> <li>H. Valves, stops, clocks: Ohicago or approved equal.</li> <li>H. Valves, stops, clocks: Ohicago or approved equal.</li> <li>I. Roof flashings: 24 gauge galvarised iron.</li> <li>I. Roof flashings: 24 gauge galvarised iron.</li> <li>J. Gas piping to be Schedule 40 black steel.</li> <li>J. Gas piping to be Schedule 40 black steel.</li> <li>K. Re-circulating hot water piping in atticos, garages, crawl spaces or unheated spaces other than between floors or in interior walls shall be provide squees to vided with 1/2" insulation.</li> <li>L. Root flashings is ("Set: Norte of MESLERF")</li> <li>L. Provide Paucety that restrict water floor to all shower heads, lave attor and sinks.</li> <li>C. Provide Pauces of Statings.</li> <li>R. Rittungs</li> <li>R. Rittungs</li> <li>R. Switched outlets</li> <li>R. Provide and sinks.</li> <li>S. Provide hog gallom water for each living unit unless noted otherwise.</li> <li>Provide and maines.</li> <li>Provide and minum of two hose bibbs (or as indicated on drawings).</li> <li>R. Provide and minum of two hose bibbs (or as indicated on drawings).</li> </ul>	grade E. Diele F. Vent	e. Use type "K" copper tubing with wrought copper fittings for below grade. ectric isolators: Epco Type FX, FB, or CK dielectric unions. winime (2" and smaller): Standard weight galvanized steel. Conform	G. Panel boxes: Ulro prime coated with ]
<ul> <li>H. Valves, stops, clocks: Chicago or approved equal,</li> <li>I. Roof flashings: 24 gauge galvanized iron.</li> <li>J. Gas piping to be Schedule 40 black steel.</li> <li>J. Gas piping hot water piping in attics, garages, crawl spaces or un- deated spaces other than between floors or in interfor walls shall be pro- heated spaces other than between floors or in interfor walls shall be pro- vided with 1/2" insulation.</li> <li>L. Provide fluckty that restrict water flow to stories and sinks. (Set NOTES OI ME SHERE).</li> <li>L. Provide fluckty that restrict water flow to attories and sinks.</li> <li>L. As selected by Owner or noted on drawings.</li> <li>R. As selected by Owner or noted on drawings.</li> <li>R. Provide Hongalion water heater for each living unit unless noted otherwise.</li> <li>R. Provide minimum of two hose bibbs (or as indicated on drawings).</li> <li>R. Provide minimum of two hose bibbs (or as indicated on drawings).</li> </ul>	G. Vent	ASTN A120. # APPENDED PLATIC ASTN A120. # APPENDED PLATIC piping (over 2"): Standard weight cast iron. OR APPRONED PLASTIC	6. <u>Installation</u> A. Contractor shall b
<ol> <li>das piping to be Schedule 40 black steel.</li> <li>Re-circulating hot water piping in attics, garages, crawl spaces or unheated spaces other than between floors or in interior walls shall be provide spaces other than between floors or in interior walls shall be provide spaces other than between floors or in interior walls shall be provide spaces other than between floors or in interior walls shall be provide spaces other than between floors or in interior walls shall be provide spaces other than between floors or in interior walls shall be provide spaces other than between floors or in interior walls shall be provide spaces other that restrict water floor to interval of the provide space and sinke.</li> <li>I. As selected by Owner or noted on drawings.</li> <li>I. As selected by Owner or noted on drawings.</li> <li>Provide splor water heater for each living unit unless noted otherwise.</li> <li>B. Provide minimum of two hose bibbs (or as indicated on drawings).</li> <li>Provide minimum of two hose bibbs (or as indicated on drawings).</li> </ol>	H. Valve I. Roof	es, stops, clocks: Chicago or approved equal. flashings: 24 gauge galvanized iron.	phone company and ( be installed per th B. All flatures to be
<ul> <li>vided with 1/2" insulation.</li> <li>I. Provide fauce is that restrict water flow to all shower heads, lav-</li> <li>D. Provide separate at a sinks. (SEE NORE ON ME SHERE).</li> <li>M. Fixtures and fittings: <ol> <li>As selected by Owner or noted on drawings.</li> <li>As selected by Owner or noted on drawings.</li> <li>Provide will and a sinks.</li> </ol> </li> <li>2. Provide minimum of two hose bibbs (or as indicated on drawings).</li> <li>3. Provide minimum of two hose bibbs (or as indicated on drawings).</li> </ul>	J. Gas I K. Re-ci heate	piping to be Schedule 40 black steel. irculating hot water piping in attics, garages, crawl spaces or un- ed spaces other than between floors or in interior walls shall be pro-	wance. All fluture of base contract ar G. Remove and disconne
<ul> <li>M. Fixtures and fittings:</li> <li>As selected by Owner or noted on drawings.</li> <li>I. As selected by Owner or noted on drawings.</li> <li>Provide 40 galion water heater for each living unit unless noted otherwise.</li> <li>Provide minimum of two hose bibbs (or as indicated on drawings).</li> <li>Provide minimum of two hose bibbs (or as indicated on drawings).</li> </ul>	vided L. Provi atori	d with 1/2" insulation. ide faucets that restrict water flow to all shower heads, lav- ies and sinks. (SEE NOTES ON ME.SHETE).	and remodeling. D. Provide separate ci washer shall be swi
3. Provide minimum of two hose bibbs (or as indicated on drawings).	M. Fixti 1. 2.	ures and fittings: As selected by Owner or noted on drawings. Provide 40 gallon water heater for each living unit unless noted otherwise.	. R. Switched outlets st F. Bath exhaust fans: 128hts.
	3. 2. 2. 2. 2. 2.	Provide minimum of two hose bibbs (or as indicated on drawings).	

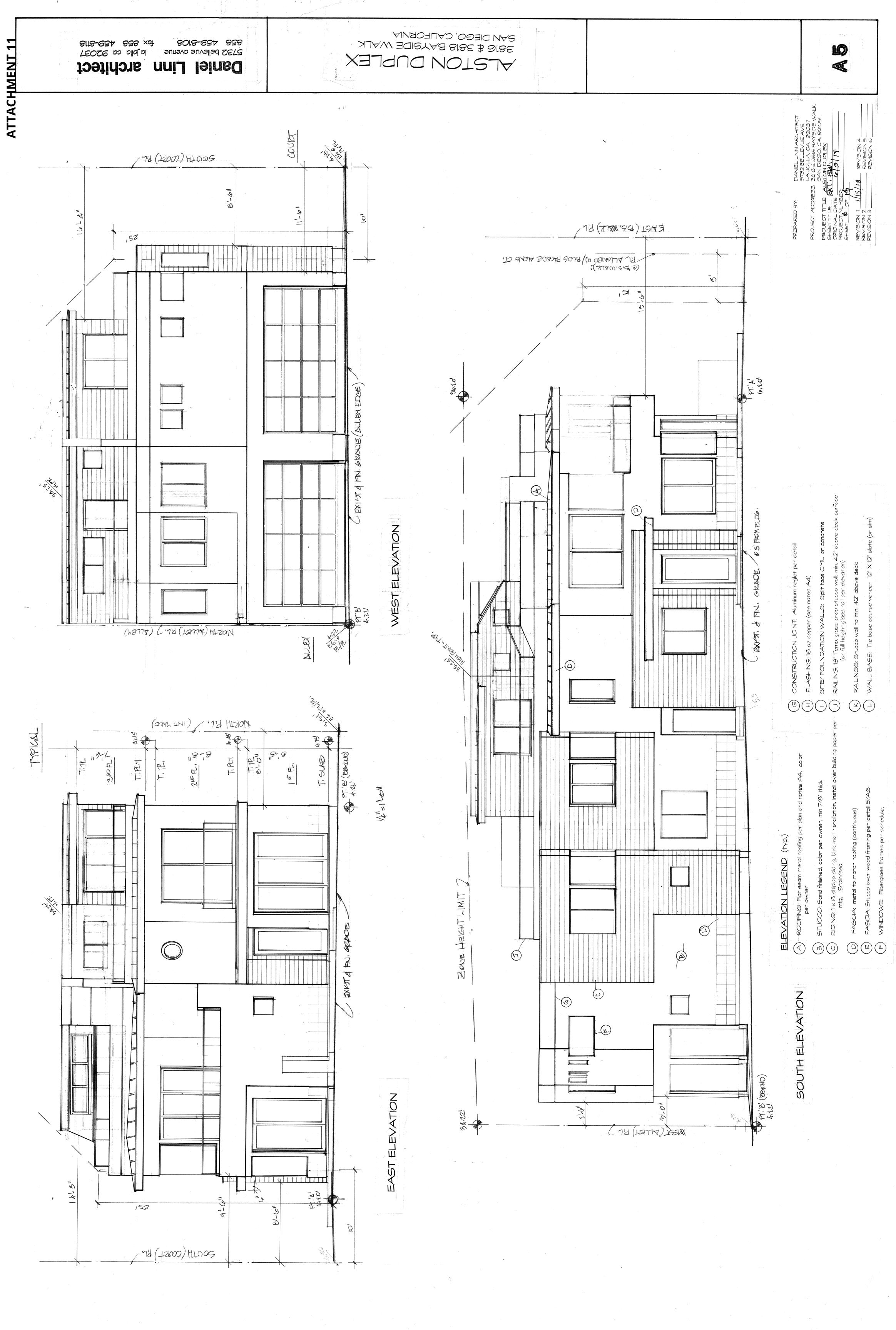
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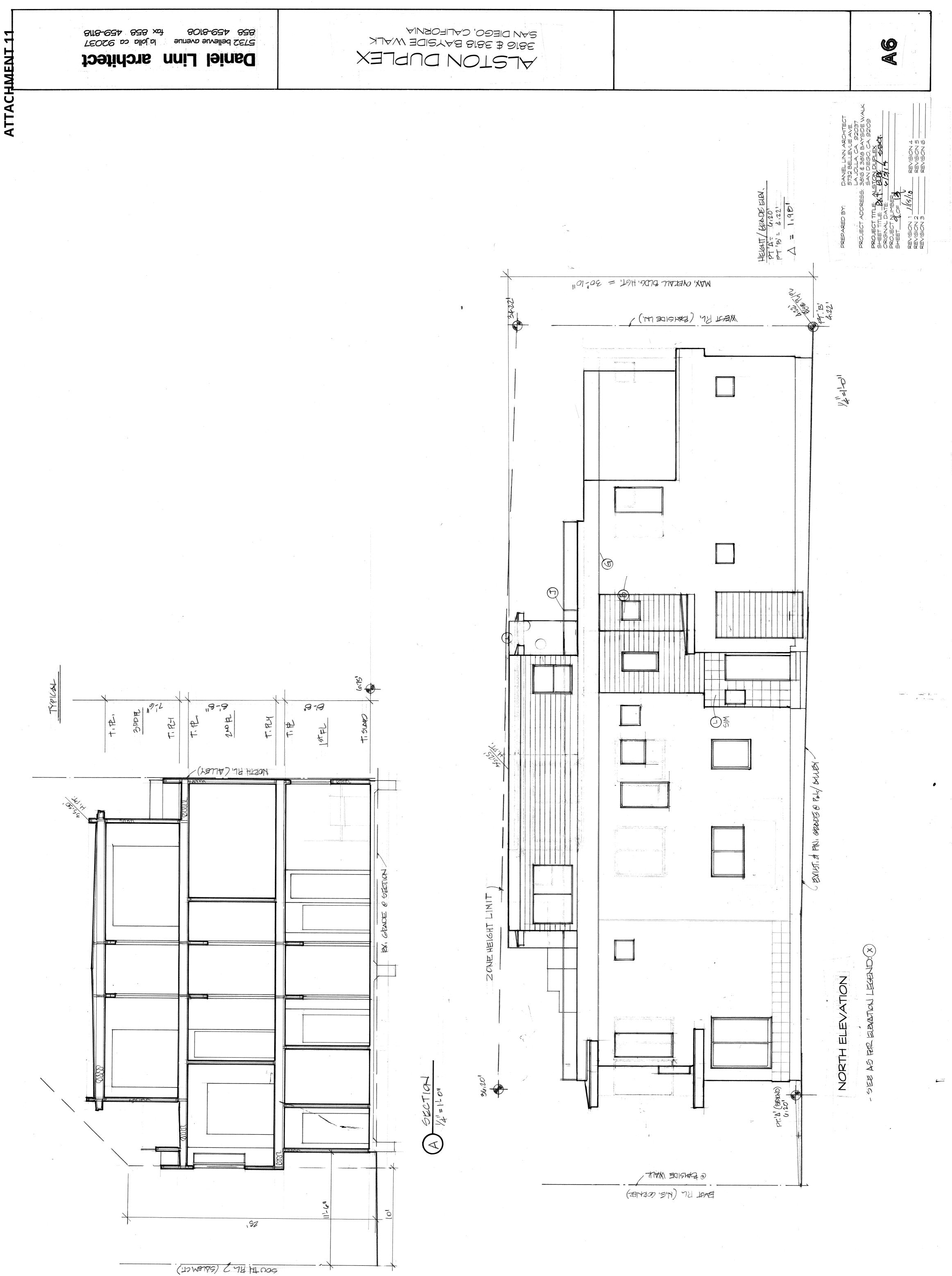


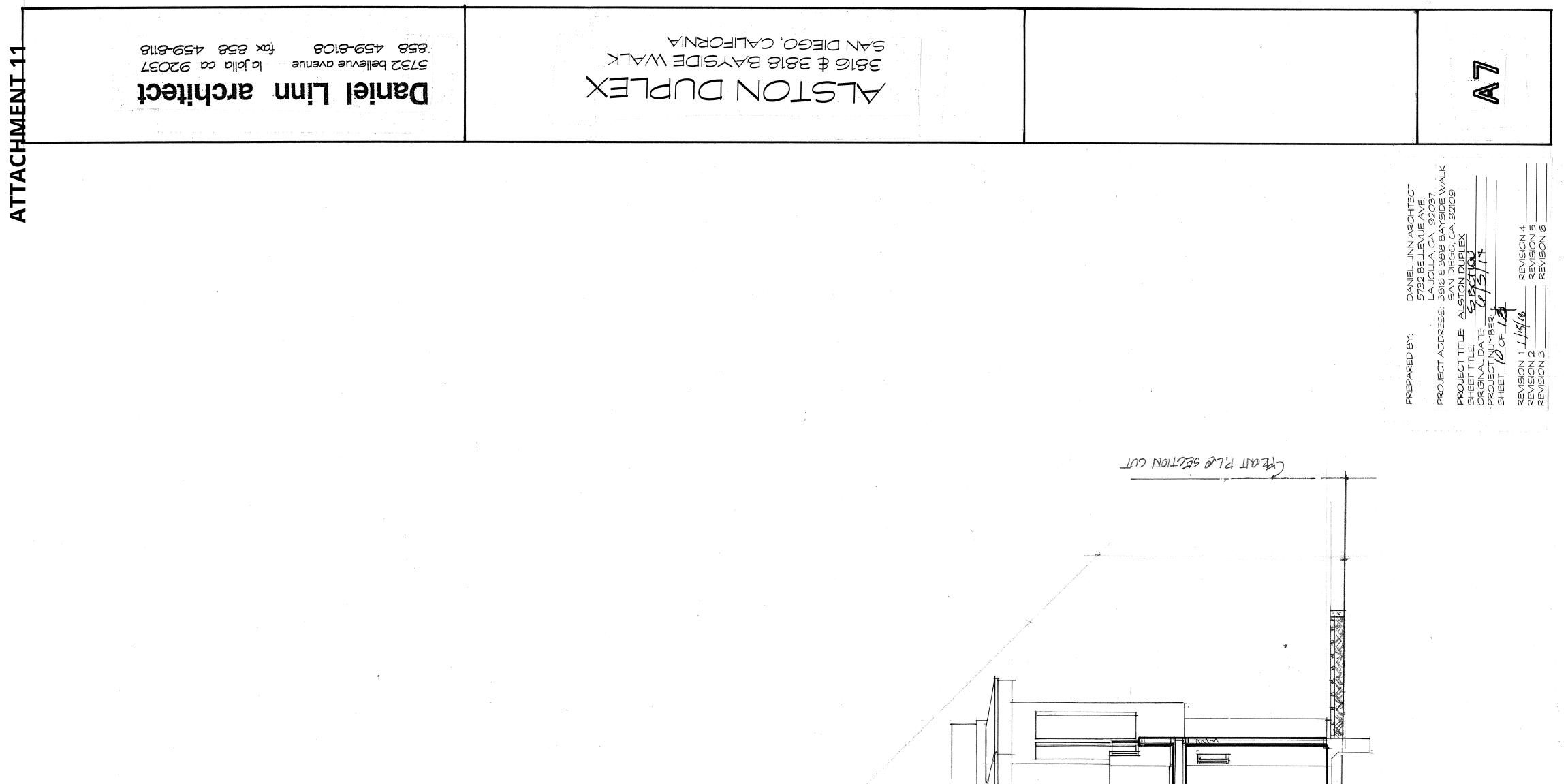


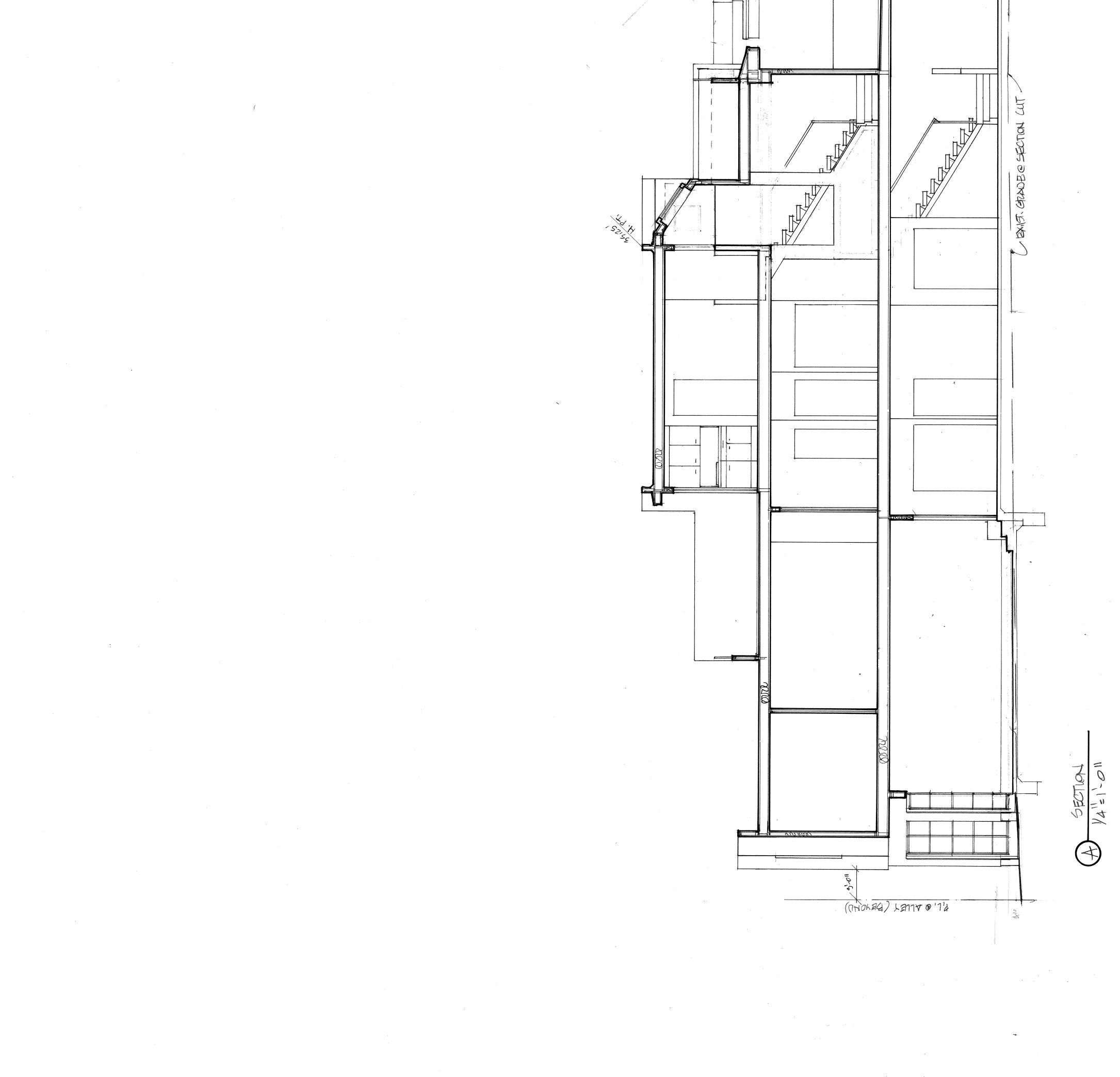












NOTES FINISH ROOM

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# Daniel Linn architect

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EAN DIEGO' CALIFORNIA 3816 & 3818 BAYSIDE WALK XEION DUPLEX

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ğ	TYPE	NOM. SIZE WIDTH X HGT.	HEAD HGT. A. FIN. FLOOR	REMARKS	王
	F.G. 2000	50/60	° B		
-	<b>}</b>	5°/30	000		
1	F.G. S.H.	30/40	° B		
	F.G. ANE	20/20		043C	
1	F.6. SUDO	50/50			
1		00/00			
10	FIG. FIVED/ PULTED CONDA	20/60 \$.		DULL/TEMP	
	FIXD FIG.	2°6		", BTOH LARL,	
1	2				
1	the case	20/50			
1	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	20/26			
	F. 6. FIXED	50/00	oL	TEMP/0650.	· · · ·
	F. CALER		(8° @ 210° 1)	0650.	
		02/02	>	TEMP/DBSC:	
	FIC. 5H.	26/50	000		
1		20150			1
	F.C. SLDC	40/40			
1	F. G. FIXED/ BUTTED COLAVED	\$ 26/26	102	TEM P/065C.	
	FLG. CASE	20/26			
1		26/26		TEMP/OBSC.	, 
5	416, SLD6	50/50	80		
	F.G. FIXED /	26/50			·
A	>	\$ 10/50			
	たん、CASE	2 6/5°			
5	5.6. SUDG	80/60			
N	F.G. FINED BUTTED LOPUED	30/60 \$ 30/60	~>	にする	
AA	FIG. SLDG	50/26	8.9	TEMP	
		60/40	- <b>b</b>	TEMP	

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6 SHALL HAVE A MINIMUM NET MUM NET CLEAR OPENING FOR 15 5 S.F. 5 SHALL HAV PE AND RESCL

BE 5 S.F. S SHALL HAVE THE EAR OPENING HEIGHT EAR WIDTH DIMENSION SHALL HALL BE THE RESULT OF

JE OPENINGS SHALL HAVE THE BOTTOM EATER THAN 44" MEASURED FROM THE

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Ž	WINDOW SCHEDULE (CONT.)	HEDULE	(CONT.)		
NND V		NOM. SIZE HEAD HGT. WIDTH X HGT, A. FIN. FLOOR	HEAD HGT. A. FIN. FLOOR	REMARKS	光
	F.6. S.H	30/40	63		
	Fer SUD 6	60/20		AWELL	
REE V		60/40	~		4
FF	FIG. FIXED	02/02	ALLEN HD.W/	×	
<u>(66)</u>	VELUX SWILLONT 3) 30/36		1	THAP / T INTED	
	F.C. S.H.	16/50			

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	LOOR	ť									:		÷		•	•				and a second					
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<b>TOINIT</b>	$10 \vdash$		ĺ							-														÷	
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	l a				.																				

ROOM FINISH LEGEND Philoster Madary LINIT CEMENT BOARD Philoster Madary LINIT CEMENT BOARD Philoster Madary LINIT CEMENT BOARD Philoster Philoster

CEMENT BOORD BACKING

Z Z O L O L O F

FEALIENT TILE sheet vinvl cappet & Pad Quarepy the Cereanic the Viood ELASTOMERIC CODTING 31320NOT

	SCHEUULE				T
ЧП	SIZE	HARDWARE	<b>FINGH</b>	REMARKS	Ľ.
WD, 5.C.	170/8°×12/4"	エロゴ	Percenter		
File, GUNGO	4) 50 (800			TEMP/DUDL GLZ	
たら、ら、し、	26/68 × 12/21	C D H		DUNL/TEMP/OTSSC SINGLE LITE	
O.H. BOLL - UP	04/04				
	0 6 /001			TEMP.	-
the series	2*/6°×13%	197		temp/dual 612/0850	
FG. CLASS FOLDING	. 2) 30/80		,	TEMP/DUAL GLZ.	
o SUDG	8/80				
FG. GLASS FOLDING	3/30/80				
to sub	3) 3%/60			(TRIPLE TRACK)	
	60/60				
FIG. SC	1 30/68× 13/01	CDT		$\rightarrow$	
WD.5.C.	1,9/1 × 89/17 (24	A, H	e -		
	14/2 × 20/02	工本MFG、		24 HR RWARD, INTEG. LOCIL W/BLOV ROCMFL	
	PL) 30/8°× 12/6"	Þ, H			
the state of the second s	24/ 8°× (36)	Ð	•		
	194 × 08/17	A			
	"Sel × 8/82	C.D.T.J		SBF- CLOSE	
WD.5.C.	"3/21×39/22 (24			\$1-FRUD, FULL LOUVER	
	10/12/20/02 (2d				
	20/00×1261	• • •		→	
WDISIC:	3% 1 28 1 28 1			C104-19	
		-			
-					
			· -		

R. - RAISED PANEL | FIG: FIBUE GLASS DOOR HARDWARE LEGEND/SCHEDUL

KURANCE LOCK:

בם קוור (E) KEVEN

INTEGEDAL LOCKING HANDLE BY TOOR MEG. W/CYLINDAR LOCK W/ HOR TYPE DEADEDT PLOOR 4 HEAD BOLTS ON INACTIVE LEAF STRIKE EDGE

SELF- CLOSER

DOOR NOTES Anomule kuloe:
Anomule kuloe:
Atmander Lock:
Preve Hole
Preve

• ALL DOORS-DOR FULLY WEATHER OFED (AT EXTERIOR) • ALL MANUFACTURED FOORS GIALL MEET APPLICABLE A.N.S. C. N.W.M.A. STANDEDS AND MUST BE SO LADELED. • ALL DOOR OPGUINES - DER FLIGHTER SO LADELED. • THRESHOLDS: MAXIMUM THRESHOLD HEIGHT AT SLIDING DOORS TO BE 34" • MAXIMUM HEIGHT OF THRESHOLDS AT OTHER DOORS TO BE 34"

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Ior Standard Projects         All development projects must implement source control BMPs. Refer to Chapter 4 and         Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.         Note: All selected BMPs must be shown on the construction plans.         8.2.1 Prevention of Illicit Discharges into the MS4         4.2.1 Prevention of Illicit Discharges into the MS4         4.2.2 Storm Drain Stenciling or Signage	ojects to Chap s showi	ter 4 an 1 in this	4 and his checklist	
Appendix E of the BMP Design Manual for information to implement BMP: Note: All selected BMPs must be shown on the construction plans. Source Control Requirement 4.2.1 Prevention of Illicit Discharges into the MS4 4.2.2 Storm Drain Stenciling or Signage	s showi	n in this	rharkli	
Source Control Requirement 4.2.1 Prevention of Illicit Discharges into the MS4 4.2.2 Storm Drain Stenciling or Signage			רוופראוי	ŗ,
4.2.1 Prevention of Illicit Discharges into the MS4 4.2.2 Storm Drain Stenciling or Signage		Applied <sup>(1)</sup> ?	40	
4.2.2 Storm Drain Stenciling or Signage	Mes	N N		A
	DYes	on D	XN/A	A
e Areas from Rainfall, Run-	」 文字 の	°N D		A
ו Outdoor Work Areas from Rainfall, פרכםו	<b>V</b> es	on D		
om Rainfall, Run-On, Runoff,	<b>W</b> res	°N D		◄
1.2.6 BMPs based on Potential Sources of Runoff Pollutants				
On-site storm drain inlets	Dyes	on D	N/A	
Interior floor drains and elevator shaft sump pumps	Dyes	oN D	ANK	A
	□ Yes	on D	N/N N/A	A
Need for future indoor & structural pest control	<b>K</b> Ves	°N D		A
	XYes	°N D		A
Pools, spas, ponds, decorative fountains, and other water features	□ Yes	2 □	ANA VIA	$\triangleleft$
Food service	L Yes	°N N	<b>NNA</b>	
Refuse areas	X Ves	2 	A/N	$\triangleleft$
Industrial processes	L Yes	2 [	N/N R	A
Outdoor storage of equipment or materials	LYes	°2 □	<b>NNN</b>	$\triangleleft$
Vehicle/Equipment Repair and Maintenance	, Kes	²:	ANN X	$\triangleleft$
Fuel Dispensing Areas	LIYes		A IN/A	$\triangleleft$
Loading Docks	L Yes	2 	ANN NA	$\triangleleft$
Hire Sprinkler Lest Water	LYes		A N/A	$\langle \cdot \rangle$
Miscellaneous Drain or Wash Water	Yes			$\mathbf{A}$
Plazas, sidewalks, and parking lots	Nes			∢ .
SC-6A: Large Trash Generating Facilities	L Yes			∢ .
SC-OB: Animal Facilities	L Yes		2	₹.
SC-6C: Plant Nurseries and Garden Centers	Lyes	2	N/N/N/N/N/N/N/N/N/N/N/N/N/N/N/N/N/N/N/	
SC-6D: Automotive Facilities	Yes	0N L	KIN/A	$\triangleleft$
Discussion / Justification for <u>all</u> "No" answers shown above: $\sqrt{A}$				
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The City of San Diego | Storm Water Standards Form I-4A | January 2018 Edition

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Site Design BMP Checklist for Standard Projects	<ul> <li>Checklist</li> <li>d Projects</li> </ul>		Form I-5A	*******
All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E	Chapter 4	and Appe	endix E	
of the BMP Design Manual for information to implement BMPs shown in this checklist.	hown in thi	s checkli	st.	
Note: All selected BMPs must be shown on the construction plans.			•	
Site Design Requirement		Applied <sup>(1)</sup> ?	<u>i</u>	1:00
4.3.1 Maintain Natural Drainage Pathways and Hydrologic	X Yes	Ves DNO DN/A		
Features				
4.3.2 Conserve Natural Areas, Soils, and Vegetation	X Yes	oN D		
4.3.3 Minimize Impervious Area	۲УYes	oN D		·
4.3.4 Minimize Soil Compaction	XYes	on D		· · · ·
4.3.5 Impervious Area Dispersion	МYes	on D		
4.3.6 Runoff Collection	□ Yes	No No	N/A	
4.3.7 Landscaping with Native or Drought Tolerant Species	<b>M</b> Yes	on D		- [
4.3.8 Harvest and Use Precipitation	DYes	°N D	X N/A	
Discussion / justification for <u>all</u> "No" answers shown above: $\mathcal{N} \triangleright$			ana tamén na ang tang tang tang tang tang tang t	ليستم

472 ZAMQ! SEE(b)

Щ Control BMPs 3LE TO THIS P 3.1 Source

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torage Areas to Reduce Pollutio Recycle area contains these design 0 10 3.1.7 Design Trash 9 Response: Trasi enciosure, lids on ti

ō الله الله الله الله aterial by I d d 1+ 0101 0  $\mathcal{D}$ nance and ob 10 8 3.1.10 Emplo Respon plant mat maintenar manager

Feasible ciples: me lêre prin these 3.1.14 Use Non-Toxic Roofing Mat Response: design specs accommod

ctices an Dra Impact Development Des ABLE TO THIS PROUECT 3.2 Low-1 (APPLICA

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Layout antire sl it possil 1. Optimize the Site La Response: N/A, en pattern to the extent

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Daniel Linn architect

5732 bellevue avenue la jolla ca 95 856 459-8108 fax 858 459 859 459-8108 tax 856 459 859 459-8108 75020 is allo a 8118-021 828 xd

ATTACHMENT

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City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist Page 3 of 4 PART D: PDP Exempt Requirements.	If "yes" was checked for any questions in Part D, continue to Part F and check the box la- beled "PDP Exempt." If "no" was checked for all questions in Part D, continue to Part E. 1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:	<ul> <li>Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;</li> <li>Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;</li> <li>Are designed and constructed with permeable pavements or surfaces in accordance with the street of the pavements or surfaces in accordance with the street street of the pavements or surfaces in accordance with the street street of street street of the pavements or surfaces in accordance with the street street of street street of street streets or surfaces in accordance with the street street street of street streets or surfaces in accordance with the street street street street of street streets or street street street street street streets or street streets or street streets or street streets or street street</li></ul>	en oureeus gundantee in un ss; PDP exempt requireme he project ONLY include i nstructed in accordance w	Tes; PDP exempt requirements apply A No; project not exempt. PDP requirements apply PART E: Determine if Project is a Priority Development Project (PDP). Projects that match one of the definitions below are subject to additional requirements including preparation of a	If "yes" is checked for any number in PART E, continue to PART F. If "no" is checked for every number in PART E, continue to PART F and check the box la- heled "Standard Development Project".	<ol> <li>New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.</li> <li>Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious</li> </ol>	ential, mixed-use, and public rant. Facilities that sell prepared foods th counters and refreshment stands selling a (SIC 5812), and where the land	elopment creates and/or replace 5,000 square feet or more of impervious si w development or redevelopment on a hillside. The project creates a 00 square feet or more of impervious surface (collectively over the project s development will grade on any natural slope that is twenty-five percent of	<ul> <li>5. New development or redevelopment of a parking lot that creates and/or replaces</li> <li>5,000 square feet or more of impervious surface (collectively over the project site). A research of the project streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes A No</li> </ul>				Bare 4 of 4 City of San Dience • Development Services Department • Storm Water Requirements Applicability Checklist	7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance	A (i.e. not comi <b>jects of a reta</b> of impervious square feet or j chicles per day	velopment projects of an automotive repair shops that 000 square feet or more of impervious surfaces. Development te of Standard Industrial Classification (SIC) codes 5013, 5014, 9.		with pervious surfaces of if they sheet flow to surrounding pervious surfaces. LA Yes A No PART F: Select the appropriate category based on the outcomes of PART C through PART E.	<ol> <li>The project is NOT SUBJECT TO STORM WATER REQUIREMENTS.</li> <li>The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.</li> </ol>	roject is PDP EXEMPT. Site design and source control BMP requirements apply. In Storm Water Standards Manual for guidance. Toject is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and much collistent control RMP requirements amoly. See the Storm Water Standards Manual	for guidance on determining if project requires a hydromodification plan management	Name of Owner or Agent Please Print): 7.17 CUI theory	Signature: Date: 1/5/18					
Sign City of San Diego Development Services San Diego, CA 92101 (619) 446-5000 (619) 446-5000 San Diego, CA 92101 Applicability Checklist Ocrosse 2016	Project Address: うるしや そうのほど アンサイトレビー・シスムリー DI GGO SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP) <sup>1</sup> , which is administered by the State Water Resources Control Board.	required Water Re	de Gel acre.	<ol> <li>Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and contact with storm water runoff?</li> <li>Yes; WPCP required, skip.3-4</li> <li>Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original</li> </ol>		<ul> <li>First of the formit, First Narm Permit, First Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit, First National Right of Way Permits that exclusively include only ONE of the following activities: water service, sever lateral, or utility service.</li> <li>Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: under any ONE of the following activities: water service, rendered on the following activities: under any ONE of the following activities: under any ONE of the following activities: water service, and service is the following activities: water service, the following activities: water activities: and service is sever lateral.</li> </ul>	<ul> <li>Tes; no document required</li> <li>Check one of the boxes below, and continue to PART B:</li> </ul>		a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. <b>Continue to PART B</b> . If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B <b>does not apply and no document is required. Continue to Section 2.</b>	<ol> <li>More information on the City's construction BMP requirements as well as CGP requirements can be found at: <u>www.sandiego.gow/stormwater/regulations/index.shtml</u>         Printed on recycled paper. Visit our web site at <u>www.sandiego.gow/development.services</u>. Upon request, this information is available in alternative formats for persons with disabilities. Doon request, this information is available in alternative formats for persons with disabilities.     </li> </ol>			Pace 2 of 4 City of San Diedo • Development Services Department • Storm Water Requirements Applicability Checklist	PART B: Determine Construction Site Priorit This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City	has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Signifi- cance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.	Complete PART B and continued to Section 2 1.		d not located in the ASBS watershed. d not located in the ASBS watershed.	a. Frojects 1 acre or more but not surject to all ADD of their provide using the form of the but in the ASBS watershed.	a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation. SECTION 2. Permanent Storm Water BMP Requirements.	tion for determining the requirements is found nine if Not Subject to Permanent Storn msidered maintenance, or otherwise not categor "according to the <u>Storm Water Standards Manu</u>	If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements". If "no" is checked for all of the numbers in Part C continue to Part D.	nor and of the numbers in tarts of continue of an up.	es? ies? in maintenance? Examples include, but are not limited to: ce replacement, resurfacing or reconfiguring surface parking ut expanding the impervious footprint, and routine eut exinding, werlay, and pothole repair).				
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age	Page 4 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist		
		on 🕅	
A O DA	New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.	No.	1
K 0 210	New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.	o'N 🗗	
	<b>Other Pollutant Generating Project.</b> The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built Uses with pervious surfaces of it they sheet flow to surrounding pervious surfaces.	°N X	
2	PART F: Select the appropriate category based on the outcomes of PART C through PART E.	L E.	
in the second se	The project is NOT SUBJECT TO STORM WATER REQUIREMENTS.		
IH PA	The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance.		
IE-00	The project is <b>PDP EXEMPT</b> . Site design and source control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance.		
12 2 2 2	The project is a <b>PRIORITY DEVELOPMENT PROJECT</b> . Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management		
1			
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e	Name of Owner or Agent Please Print): Title: などの いってん ひょうしょう アンシン ひょうしょう ひょう ひょう ひょう ひょう ひょう ひょう ひょう ひょう ひょう ひ	- 	
	Signature: Date: 1/5/18		
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351       PROJECT SUMMARY         TENTATIVE MAP (FOR CONDOMINIUM PURPOSES)         EXISTING LOTS: 3         PROPOSED LOTS: 1         PROPOSED LOTS: 1         STE ADDRESS: 3816 BAYSIDE WALK, SAN DIEGO, CA 92109         ASSESSOR'S PARCEL NUMBER: 423-576-27		STREET SIDE YARD: N/A COURT YARD (SALEM): 10' INTERIOR YARD (NORTH SIDE): 5' ALLEY YARDS: NO REQUIREMENT ALLEY YARDS: NO REQUIREMENT PROPOSED BUILDING DATA NUMBER OF RESIDENTIAL CONDOMINIUM UNITS: 4,926 SF NUMBER OF STORIES: 3 NUMBER OF STORIES: 3 NUMBER OF BUILDINGS: 1 OFF-STREET PARKING SPACE REQUIREMENTS NUMBER OF BUILDINGS: 1 OFF-STREET PARKING SPACE REQUIREMENTS PROFING REQUIRED: 2 UNITS @ 2.0 SPACES PER UNIT=4 SPACES PROVIDED PARKING REQUIRED: 2 UNITS @ 2.0 SPACES PER UNIT=4 SPACES PROVIDED PARKING REQUIRED: 2 UNITS @ 2.0 SPACES PER UNIT=4 SPACES PROVIDED THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALFORNIA AND IS FILED PURSUANT OF THE CIVIL CODE OF THE STATE OF CALFORNIA AND IS FILED PURSUANT OF THE CIVIL CODE OF THE STATE OF CALFORNIA AND IS FILED PURSUANT OF THE CIVIL CODE OF THE STATE OF CALFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDMINIUM DWELLING UNITS IS 2. MONUMENTATION NOTES ALL PROPERTY CORNERS WILL BE SETA AND ALOT CONSOLIDATION AND	<ul> <li>SUBDIVISION PARCEL MAP WILL BE FILED. A DETALLED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP.</li> <li>REFFERENCE DRAWINGS MAP 1809 (MISSION BEACH) ROS 13531</li> <li>MOTES</li> <li>In THE MAINTENANCE OF THE PRIVATE WATER AND SEWER FACILITIES SERVING THIS PROJECT SHALL BE GOVERNED BY PRIVATE COVENANTS, CONDITIONS, AND RESTRICTIONS.</li> <li>In EXISTING DRAINAGE PATTERNS: SURFACE FLOW TO BAYSIDE LANE</li> <li>THE SUBDIVIDER SHALL INSTALL APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES ON ALL EXISTING AND PROPOSED WATER SERVICES (DOMESTIC, IRRIGATION, AND FIRE) ADJACENT TO THE PROJECT SITE IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.</li> <li>THER ARE NO KNOWN EASEMENTS ON THIS SITE.</li> </ul>	PROJECT PERMITS REQUIRED TENTATIVE MAP TENTATIVE MAP TENTATIVE MAP TENTATIVE MAP TENTATIVE MAP TENTATIVE MAP TENTATIVE MAP TENTATIVE MAP TOT CONSOLIDATION PARCEL MAP FOR CONDOMINIUM PURPOSES TOT CONSOLIDATION	TY TABLE       TY TABLE         TY TABLE       TY TABLE         TY TABLE       SOURCE OF TOPOGRAPHY         TY TABLE       SOURCE OF TOPOGRAPHY         THE CITY OF SAN DIEGO ON JANUARY 25, 1949         O       SOURCE OF TOPOGRAPHY         FIELD SURVEY BY METROPOLITAN MAPPING, APRIL 2017         AD       SOURCE OF TOPOGRAPHY         FIELD SURVEY BY METROPOLITAN MAPPING, APRIL 2017         BASIS OF ELEVATIONS         COTTO OF SAN DIEGO BENCHMARK DESCRIPTION: MON ON ELY 4FT LINE         COTTO OF SALEM COURT & MISSION BLVD         COTTON: SALEM COURT & MISSION BLVD         BASIS OF BEARINGS         THE EASTERLY ROW OF BAYSIDE LANE AS SHOWN ON ROS 13531         I.E., N19°28'09"W         OORDINATES         NAD 27: 226-1691         COORDINATES         NAD 27: 226-1691         PROJECT NAME         BAYSIDE WALK DUPLEX         SHEET TITLE
rative parcel map no. 1959651         /elopment permit no. 1959652         PROJECT NO. 556840	BAYSIDE WALK DUPL	LARK			Result of the surface flow     Surf

**ATTACHMENT** 

