



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: February 12, 2020 REPORT NO. HO-20-006

HEARING DATE: February 19, 2020

SUBJECT: BENAVENTE RESIDENCE SDP, Process Three Decision

PROJECT NUMBER: [614175](#)

OWNER/APPLICANT: Adriana Lorena Benavente Mora, Owner / Siller Group Corporation, Applicant

### SUMMARY

Issue: Should the Hearing Officer approve an application to construct a 1,575 square-foot, second-story addition, and a 240 square-foot roof deck at a site located at 8516 La Jolla Shores Drive within the La Jolla Community Plan area?

Staff Recommendation: Approve Site Development Permit No. 2199044.

Community Planning Group Recommendation: On April 4, 2019, the La Jolla Community Planning Association voted 15-0-1 to recommend approval of the project (Attachment 7).

La Jolla Shores Planned District Advisory Board Recommendation: On February 20, 2019, the La Jolla Shores Planned District Advisory Board voted 4-1-1 to recommend approval of the project (Attachment 8).

Environmental Review: The project was determined to be exempt from the California Environmental Quality Act pursuant to Section 15301 - Existing Facilities. The environmental exemption determination for this project was made on January 15, 2020, and the opportunity to appeal the determination ended on January 30, 2020. There were no appeals to the environmental determination.

### BACKGROUND

The project is located at 8516 La Jolla Shores Drive and is developed with a 1,616 square-foot, one-story, single-family residence within the La Jolla Community Plan (Community Plan) area. The site is more than 300 feet from the average mean high tide line and is not within the first public roadway. The surrounding properties are fully developed in a well-established single family residential neighborhood (Attachment 3). The 0.13-acre site is in the La Jolla Shores Planned District Single Family Zone, the Coastal (Non-Appealable Area 2) Overlay Zone, the Coastal Height Limitation

Overlay Zone, the Parking Impact Overlay Zone (Beach-Impact, PIOZ-Coastal-Impact, PIOZ-Campus-Impact), and the Residential Tandem Parking Overlay Zone.

Pursuant to San Diego Municipal Code (SDMC) Section 1510.0201, a Process Three, Site Development Permit is required for the construction of the project within the La Jolla Shores Planned District. In addition, the project will not demolish or remove 50% or more of the exterior walls of the existing structure. Therefore, the project is exempt from a Coastal Development Permit pursuant to SDMC Section 126.0704(a)(5).

### DISCUSSION

The project includes the construction of a 1,575 square-foot, second-story addition, and a 240 square-foot roof deck. The site is designated by the La Jolla Community Plan (Community Plan) for low density residential uses (5-9 dwelling units/acre), and the project is consistent with this land use designation. There are no public view corridors, vantage points, or physical access routes from the project site.

The Community Plan's Residential Element recommends that to maintain and enhance the existing neighborhood character and ambiance, the project shall address bulk and scale as viewed from the public right-of-way. The project complies with this recommendation since the project was designed to comply with all of the development standards required by the La Jolla Shores Planned District Single Family Zone, including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the design and building materials (i.e., white siding) of the project complements the varied architecture, design and character of the surrounding single-family neighborhood. Deviations or variances are not required.

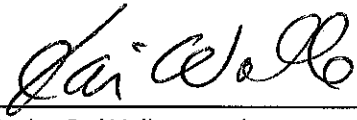
The project will not be detrimental to the public health, safety, and welfare. The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include reconstructing the existing northerly driveway along La Jolla Shores Drive to current City Standards, implementing storm water construction best management practices, and requiring maintenance of all landscape improvements. In addition, the project site does not contain any sensitive biological resources or environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area.

City staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration. Staff recommends that the Hearing Officer approve Site Development Permit No. 2199044 for the project.

### ALTERNATIVES

1. Approve Site Development Permit No. 2199044, with modifications.
2. Deny Site Development Permit No. 2199044, if the findings required to approve the project cannot be affirmed.

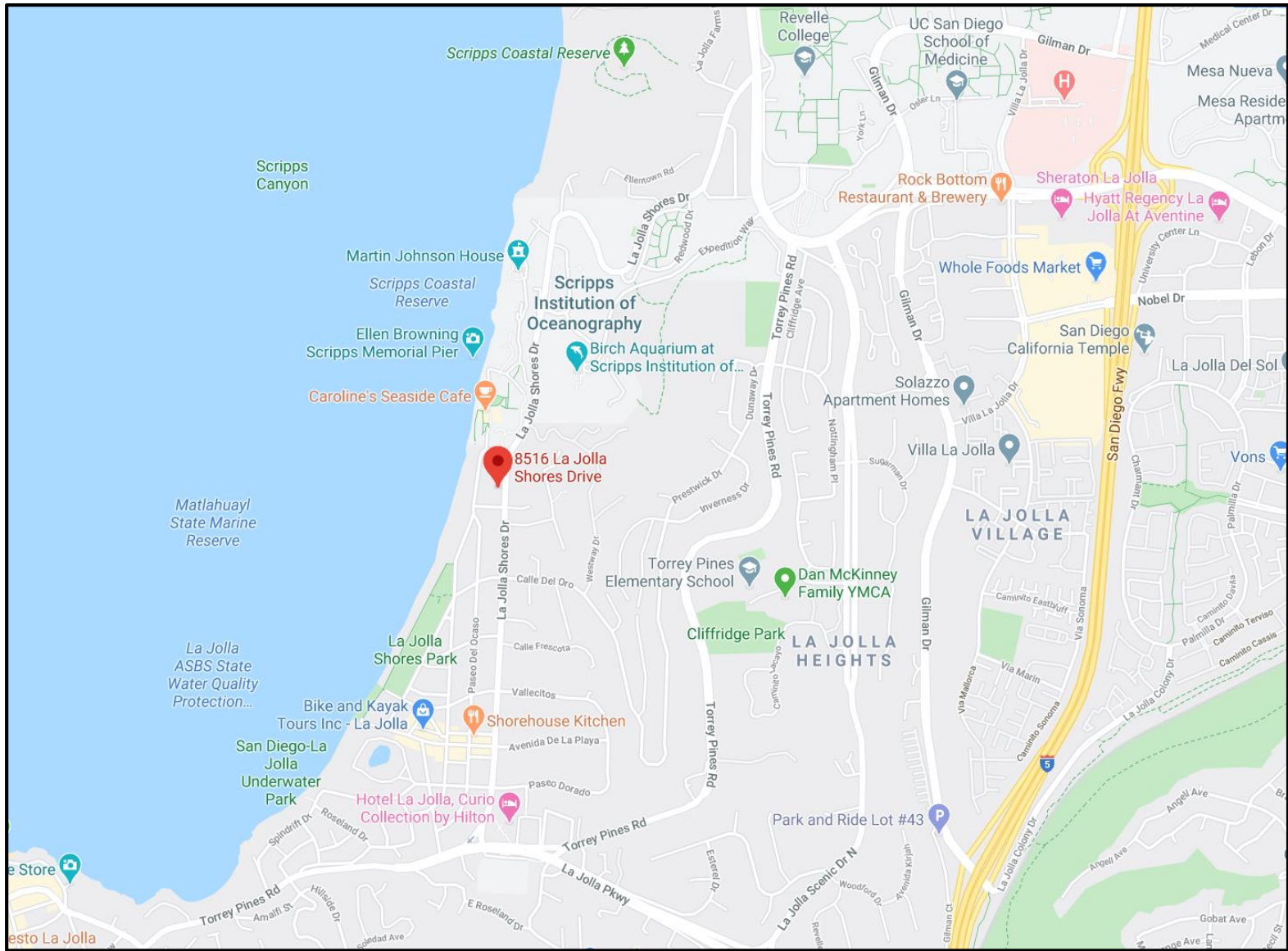
Respectfully submitted,

A handwritten signature in black ink, appearing to read "Xavier Del Valle", written in a cursive style. The signature is positioned above a horizontal line.

Xavier Del Valle, Development Project Manager

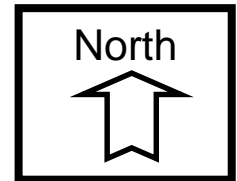
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. NORA Environmental Determination
7. Community Planning Association Recommendation
8. La Jolla Shores Planned District Advisory Board Recommendation
9. Ownership Disclosure Statement
10. Project Plans

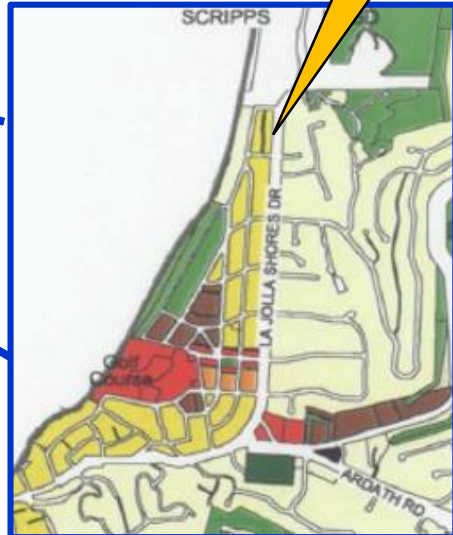
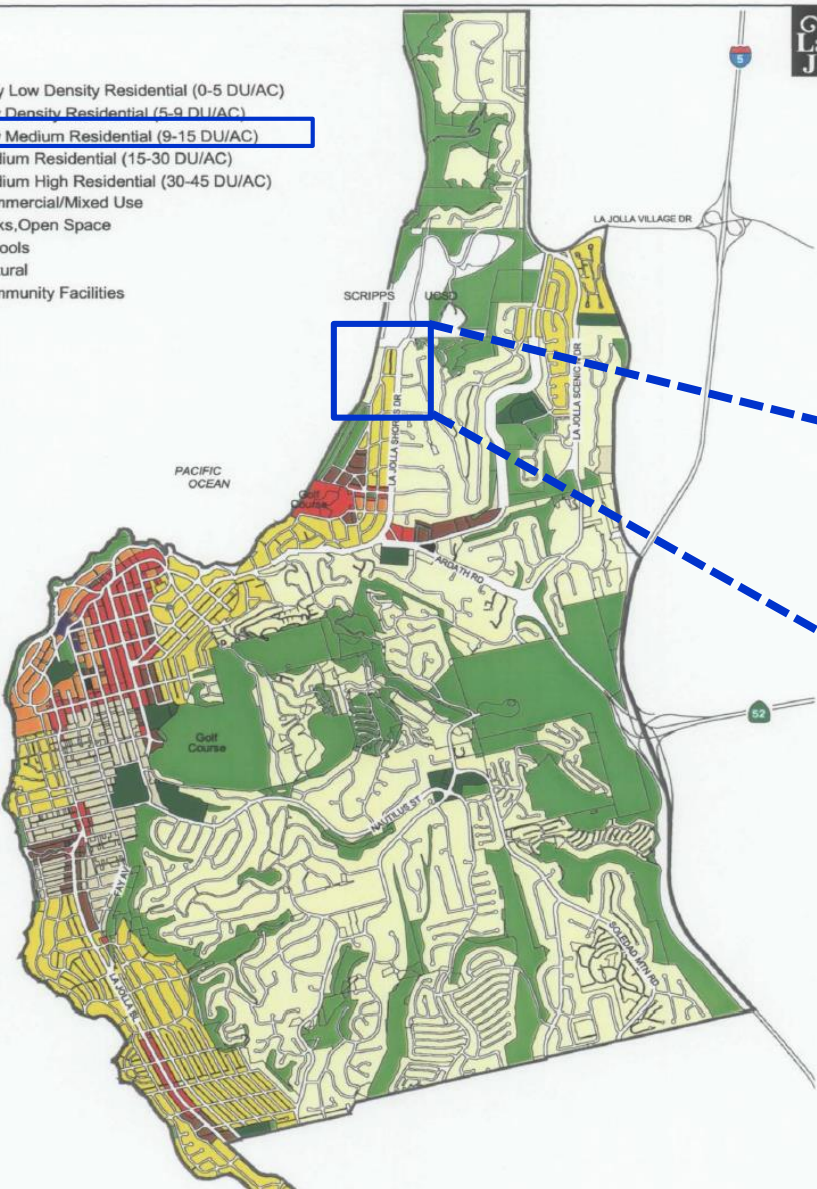


## Project Location Map

Benavente Residence SDP  
Project No. 614175 - 8516 La Jolla Shores Drive



- Legend
- Very Low Density Residential (0-5 DU/AC)
  - Low Density Residential (5-9 DU/AC)
  - Low Medium Residential (9-15 DU/AC)**
  - Medium Residential (15-30 DU/AC)
  - Medium High Residential (30-45 DU/AC)
  - Commercial/Mixed Use
  - Parks, Open Space
  - Schools
  - Cultural
  - Community Facilities

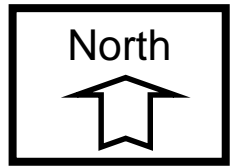


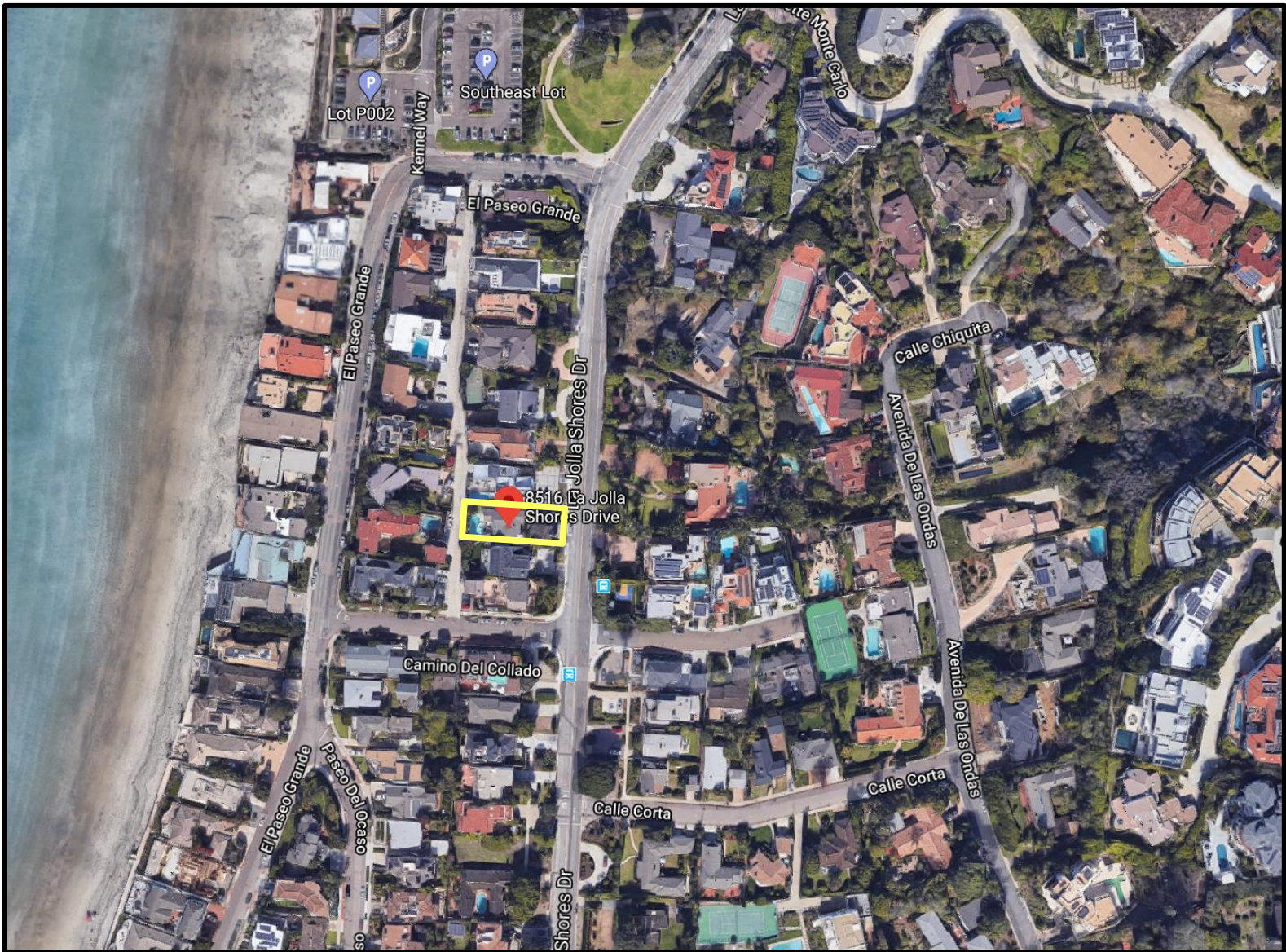
**Project Site**



# Land Use Map

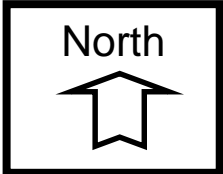
Benavente Residence SDP  
 Project No. 614175 - 8516 La Jolla Shores Drive





# Aerial Photograph

Benavente Residence SDP  
Project No. 614175 - 8516 La Jolla Shores Drive



HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
SITE DEVELOPMENT PERMIT NO. 2199044  
**BENAVENTE RESIDENCE SDP - PROJECT NO. 614175**

WHEREAS, ADRIANA LORENA BENAVENTE MORA, Owner/Permittee, filed an application with the City of San Diego for a permit to construct an addition to an existing 1,616 square-foot, one-story single-family residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 2199044), on portions of a 0.13-acre site;

WHEREAS, the project site is located at 8516 La Jolla Shores Drive and is within the La Jolla Shores Planned District Single Family Zone, the Coastal (Non-Appealable Area 2) Overlay Zone, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Beach-Impact, PIOZ-Coastal-Impact, PIOZ-Campus-Impact), and the Residential Tandem Parking Overlay Zone within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 2 in Block 18 of La Jolla Shores Unit No. 1, according to Map thereof No. 1913, filed in the Office of the County Recorder of San Diego County, June 3, 1926;

WHEREAS, on January 15, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301, Existing Facilities;

WHEREAS, on February 19, 2020, the Hearing Officer of the City of San Diego considered Site Development Permit No. 2199044 pursuant to the Land Development Code of the City of San Diego;  
NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2199044:

**A. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]**

**1. Findings for all Site Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The project is located at 8516 La Jolla Shores Drive and is developed with a 1,616 square-foot, one-story, single-family residence within an urbanized area in the La Jolla Community Plan (Community Plan) area. The site is more than 300 feet from the average mean high tide line and is not within the first public roadway. The project includes the construction of a 1,575 square-foot, second-story addition, and a 240 square-foot roof deck. The 0.13-acre site is designated by the Community Plan for low density residential uses (5-9 dwelling units/acre), and the project is consistent with this land use designation. In addition, there are no public view corridors, vantage points, or physical access routes from the project site.

The Community Plan's Residential Element recommends that to maintain and enhance the existing neighborhood character and ambiance, the project shall address bulk and scale as viewed from the public right-of-way. The project complies with this recommendation since the project was designed to comply with all of the development standards required by the La Jolla Shores Planned District Single Family Zone, including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the design and building materials (i.e., white siding) of the project complements the varied architecture, design and character of the surrounding single-family neighborhood. No deviations or variances are required. Therefore, the project will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public, health, safety, and welfare.**

The project is located at 8516 La Jolla Shores Drive and is developed with a 1,616 square-foot, one-story single-family residence within the La Jolla community. The project includes the construction of a 1,575 square-foot, second-story addition, and a 240 square-foot roof deck.

The project will not be detrimental to the public health, safety, and welfare. The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include reconstructing the existing northerly driveway along La Jolla Shores Drive to current City Standards, implementing storm water construction best management practices, and requiring maintenance of all landscape improvements. In addition, the project site does not contain any sensitive biological resources or environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area.



Therefore, the project will not be detrimental to the public, health, safety, and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project is located at 8516 La Jolla Shores Drive and is developed with a 1,616 square-foot, one-story single-family residence within the La Jolla community. The project includes the construction of a 1,575 square-foot, second-story addition, and a 240 square-foot roof deck. The project site is not located within the first public roadway, and there are no public view corridors, vantage points, or physical access routes from the project site. In addition, the project complies with all the development standards required by the La Jolla Shores Plan District Single Family Zone, including height, density, building setbacks, lot coverage, and parking. No deviations or variances are required. Therefore, the project will comply with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 2199044 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 2199044, a copy of which is attached hereto and made a part hereof.

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Xavier Del Valle  
Development Project Manager  
Development Services

Adopted on: February 19, 2020

IO#: 24007978

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION ASH-16**

INTERNAL ORDER NUMBER: 24007978

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2199044  
**BENAVENTE RESIDENCE SDP - PROJECT NO. 614175**  
HEARING OFFICER

This Site Development Permit No. 2199044 is granted by the Hearing Officer of the City of San Diego to Adriana Lorena Benavente Mora, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0505. The 0.13-acre site is located at 8516 La Jolla Shores Drive and is in the La Jolla Shores Planned District Single Family Zone, the Coastal (Non-Appealable Area 2) Overlay Zone, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Beach-Impact, PIOZ-Coastal-Impact, PIOZ-Campus-Impact), and the Residential Tandem Parking Overlay Zone within the La Jolla Community Plan area. The project site is legally described as Lot 2 in Block 18 of La Jolla Shores Unit No. 1, according to Map thereof No. 1913, filed in the Office of the County Recorder of San Diego County, June 3, 1926.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct an addition to an existing 1,1616 square-foot, one-story, single-family residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 19, 2020, on file in the Development Services Department.

The project shall include:

- a. Construction of a 1,575 square-foot, second-story addition, and a 240 square-foot roof deck; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1

of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 4, 2023.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until the Owner/Permittee signs and returns the Permit to the Development Services Department, and the Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in

the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

12. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond, the reconstruction of the existing northerly driveway with the current City Standards driveway, adjacent to the site on La Jolla Shores Drive, in a manner satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the two driveways, curbs, fence, landscape and irrigation in La Jolla Shores Drive right-of-way (ROW), and for the retaining wall and portion of drainage system in the alley's public right of way, in a manner satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code (SDMC).

15. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**LANDSCAPE REQUIREMENTS:**

16. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with the approved Exhibit A, the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

17. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements as shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

18. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and in an equivalent size within 30 days, per the approved documents and to the satisfaction of the Development Services Department.

**PLANNING/DESIGN REQUIREMENTS:**

19. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

20. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 19, 2020 and [Approved Resolution Number].

DRAFT

Permit Type/PTS Approval No.: Site Development Permit No. 2199044  
Date of Approval: February 19, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Xavier Del Valle  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Owner/Permittee**

By \_\_\_\_\_  
Adriana Lorena Benavente Mora

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: January 15, 2020

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007978

**PROJECT NAME / NUMBER:** Benavente Residence SDP / 614175

**COMMUNITY PLAN AREA:** La Jolla

**COUNCIL DISTRICT:** 1

**LOCATION:** 8516 La Jolla Shores Drive, La Jolla, CA 92037

**PROJECT DESCRIPTION:** The project requests a Site Development Permit (SDP) for the construction of a 1,575-square-foot second story addition and a 240-square-foot roof deck addition to an existing 1,616-square-foot one-story single-family residence. The 0.13-acre site is designated Low Density Residential pursuant to the La Jolla Shores Community Plan and Local Coastal Program and is subject to the La Jolla Shores Planned District Single Family Zone (LJSPD-SF), Coastal Overlay Zone (Non-Appealable-2), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (PIOZ-Beach-Impact, PIOZ-Coastal-Impact, PIOZ-Campus-Impact), the Residential Tandem Parking Overlay Zone, and Council District 1.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego, Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301, Existing Facilities.

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301, Existing Facilities. The project, as described in the Project Description section of this notice, meets the criteria set forth in CEQA Section 15301 which addresses permitting of existing facilities involving negligible or no expansion of existing of former use. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply because no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

**DEVELOPMENT PROJECT MANAGER:** Xavier Del Valle

**MAILING ADDRESS:** 101 Ash Street, MS ASH16, San Diego, CA 92101-4153

**PHONE NUMBER / EMAIL:** (619) 557-7941 / xdelvalle@sandiego.gov



On January 15, 2020 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (January 30, 2020). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



## La Jolla Community Planning Association

May 21, 2019

To: Xavier Del Valle  
email: XDelValle@sandiego.gov

RE: Benevente Residence - 8516 La Jolla Shores Drive (Project # 614175)

On April 4, 2019, at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed the Benevente Residence (Project # 614175) as an Action Item on the Consent Agenda.

10.5 Coastal Development Permit & Site Development Permit to construct a second story addition and roof deck to an existing one story single family residence totaling 3,961 square feet.

PRC Motion: Findings can be made for a CDP & SDP as presented. Vote: 5-2-1.

The LJCPA voted on consent to accept the recommendation of the PRC: 15-0-1

Sincerely,

Tony Crisafi  
President, LJCPA



THE CITY OF SAN DIEGO

## La Jolla Shores Planned District Advisory Board

Meeting Minutes for February 20<sup>th</sup>, 2019

615 Prospect Street

La Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Dolores Donovan	Present	Herbert Lazerow	Present
Dan Goese, Chair	Present	Jane Potter	Present
Andrea Moser	Present	Susanne Weissman	Present

1. **Call to Order:** 11:00 a.m.
2. **Approval of the Agenda**  
Donovan moved to approve the agenda. Potter seconded. Approved unanimous 5-0-1.
3. **Approval of the Minutes**  
Weissman said she did not abstain on Item A but voted no. – Lazerow mentioned that on p. 3, line 3 should read Goese moved, not moved to continue project. Donovan moved to approve as amended, Lazerow seconded, motion passed 5-0-1.
4. **Public Comment:**  
None.
5. **Project Review**

### ACTION ITEMS

#### ITEM A

**Project:** 614175 – Benavente Residence

**Location:** 8516 La Jolla Shores Drive

APN: 346-090-3000

**Presented by:** Jennifer Siller, [jeniffer@sillergroupcorp.com](mailto:jeniffer@sillergroupcorp.com) (619) 399-8296

**Description:** Proposed addition of second floor for existing single family residence. The proposal would increase existing FAR from 0.29 to 0.58 and existing sf from 1,623 to 3,179. See ATTACHMENT 1 for additional details.

#### **Presentation**

- Presenter summarized the project by stating they are processing a site development permit for a second story addition over the existing footprint of the house. No modification of front or rear setback. Front setback is 19 feet

from curb. Side setbacks are 2'6" on south side and 5'3" on north side. An 18' addition to the ground floor is the exception to the north side setback, resulting in a 3'3" setback to accommodate a stairway and bath.

- FAR of .59 is less than neighboring FAR's.
- The exterior finish includes white siding with black trim.
- A large tree in front of the house will block the view of it from the street. No public views will be impacted. A small roof deck will not be visible from the street.
- The landscaping coverage requirement of thirty percent is being met. The building height is 25'6".
- The homeowners have spoke to the neighbors about the project and the neighbors had no issues and even signed a letter. Applicant has not heard of any issues from anyone.
- 

#### Comments

- Goese asked for a north elevation drawing. He questioned how the reduced setback on the north side yard to 3'3" compared with other side setbacks in the area. The presenter mentioned a 300' survey they prepared that verified there are other 3' setbacks in the area. Moser asked about the south side set back. Presenter said it is existing 2'6" and is to remain.
- Donovan asked about the north setback for a neighbor, which the presenter said was 15' or 20'. She then asked about the side setback for a house on the other side of the subject site. Presenter said it was 3' compared to subject property setback of 2'6". Donovan was concerned about view corridors and fire hazard due to the small side setbacks. Presenter said setbacks and landscaping comply with the building code. Donovan requested presenter to step back on the sides of the second story to preserve views, especially since neighboring houses go up two stories without any step backs. Presenter said the subject site is one of the narrowest lots in the area, which needs to be considered. Goese interjected that this is not a public view corridor, which are protected. Weissman said the PDO has language discouraging a walled-off look and having the two, two-story structures next to each other would create a walled effect. Donovan asked what was being done at 8508 La Jolla Shores Dr., as no notice has been posted. She requested information from staff. Weissman questioned lack of articulation on the sides, though front and rear and articulated because of decks. Presenter responded that if the second story were stepped back 2-3' it would create a gap between the wall and the chimney, which would not improve the view significantly.

**Motion:** Board member Potter moved to approve project as presented as a Process 3. Moser seconded. Motion passed 4-1-1 with Donovan denying and Goese abstaining.

**ITEM B**

**Project:** 621184 – Glenister Residence

**Location:** 7777 Lookout Drive

APN: 352-012-0100

**Presented by:** Trip Bennett, [tripb@balajolla.com](mailto:tripb@balajolla.com) (858) 445-4545

**Description:** Proposed addition of second floor master suite and studio plus garage addition. The proposal would increase existing FAR from 0.32 to 0.50. and existing sf from 3,303 to 5,007. *See ATTACHMENT 2 for additional details.*

**Presentation:**

- Project proposed two adjustments to preserve the neighbor’s view. The whole two-story addition was pulled back a full 16’ on the street elevation, preserving the view of the neighboring two-story house. An additional reduction of four feet on the south elevation would further preserve neighbor views, though a neighbor with a roof deck would still be impacted.
- The second story was also stepped back in the interest of view preservation.
- Applicant described the modifications as ‘seamless’ to the extent that they are undetectable. Applicant further clarified that, although approximately 1,400 sf are to be added and FAR increased to .50 there would be very little impact in terms of building footprint and bulk/scale.
- Applicant mentioned that they had a dialogue with neighbors and made changes as a result.

**Comments:**

- Donovan asked if applicant purchased the air rights from the neighbors to the west, as coastal views would be lost once they added a second story, to which applicant responded that they hadn’t. An offer not to build was extended to a neighbor in return for their promise not to expand but was declined.
- Goese said it was commendable to redesign as a result of input from a neighbor.

**Motion:** Board member Weissman moved to approve the project as presented. Lazerow seconded. Lazerow said that the charge of the LJSAB was to judge conformity with the neighborhood but he couldn’t see any pattern in the neighborhood to conform to. Motion passed 5-0-1.

**ITEM C**

**Project:** 623331 – Castagnola Remodel

**Location:** 8204 Prestwick Drive

APN: 346-333-0200

**Presented by:** Matin Taraz, [mtaraz@san.rr.com](mailto:mtaraz@san.rr.com) (858) 775-0505

**Description:** Proposed remodel and addition to an existing one-story single family residence with an attached garage. Existing FAR 0.18, proposed 0.21. Existing sf 3,768, proposed 4,458. *See ATTACHMENT 3 for additional details.*

**Presentation:**

- Presenter said he is returning to present the project as a Process 3 major based on the vote by the LJSAB to continue at last month's meeting. Presenter said his client does not wish to be processed as a Site Development Permit. He said he discussed with a neighbor to see if they could redesign the project to be acceptable to them and if the LJSAB could consider it as a Process one.
- The addition is 690sf for a garage and closet. Front setback is 15', north and south setbacks are 8', rear is unchanged.
- Applicant showed videos portraying the effect of the redesign on coastal views. The reduction of the ridgeline by a third, from 4' to 16", had a significant effect on the coastal view of the cove. Pictures from the second floor of neighbors across the street were utilized.
- There were no public views impacted by the proposal.

**Comment:**

- Goese commended the applicant for rigorous redesign in the interest of view preservation.
- A visitor from the neighborhood said that the redesign incorporated much of the original design intent for Prestwick of sixty years ago. Donovan agreed.
- Potter commended the applicant on the redesign and video.

**Motion:** Potter moved to approve project as presented as a Process one. Seconded by Weissman. Lazerow said he would support except for the two-foot extension on the south which impacts the view from a public place, the street (though not a public view). Motion passed 4-1-1 with Lazerow denying and Goese abstaining.

**ITEM D**

**Project:** - PTS N/A - Moyi-Mani Exercise Pavilion

**Location:** 2621 Calle Del Oro

APN: 346-431-0100

**Presented by:** Edward Sutton, [lawrencearch@cox.net](mailto:lawrencearch@cox.net) (619) 743-8406

**Description:** Proposed 600sf single story accessory structure (Exercise Pavilion) with 895sf of covered deck. PV system and solar pool heater array to be relocated to roof of new structure. Existing structure is 8,173sf with .41 FAR, proposed structure is 8.773 sf with .44 FAR. *See ATTACHMENT 4 for additional details.*

**Presentation:**

- Presenter said the original design for the structure was for a trellis with solar panels below on the hillside. They changed that to move the panels onto a solid roof of the exercise pavilion. Eighty percent of the 825sf deck would be covered.
- Neighbors requested story poles be erected, though no views would be impacted, due to the steep terrain.

- In response to Lazerow the applicant said the height of the exercise pavilion is 18' and 21' at the edge of the slope.
- The plan is not for a guesthouse, though the structure could be converted to one but would not have a kitchen. A guesthouse would be a Process 3.
- Donovan said a consideration is that an accessory dwelling unit would not be allowed under current CCRs, though allowed by the state.
- Access would be by staircases on either side of the property.
- As the proposal would not be enclosed more than 40% it is not considered habitable space and would not count toward FAR.

**Comments:**

- Lazerow expressed concern about the height of the proposal.
- Weissman expressed concern about the scale of the retaining wall(s) looking up from Calle Del Cielo.
- Goese requested LJSAB staff call a straw vote to give applicant some indication of whether they view project as major or minor.
- Lazerow suggested stepping back the roof.
- Donovan requested state regulations on accessory dwelling units from staff.
- Goese asked if any LJSAB members thought it could be a minor.
- Donovan was concerned that a future applicant could turn the pavilion into an accessory dwelling unit.
- Goese said that LJSAB could not currently offer a decisive impression of minor or major to the applicant.

**Motion:** None

**6. Next meeting date:** Monday, March 18, 2019.

**7. Adjournment:** 12:50 p.m.

Minutes taken by Tony Kempton, Associate Planner, City of San Diego

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	<b>FORM</b>
			<b>DS-318</b>
			<b>October 2017</b>

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** BENAVENTE RESIDENCE **Project No. For City Use Only:** 614175  
**Project Address:** 8516 La Jolla Shores Drive.

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Adriana Lorena Benavente-Mora  Owner  Tenant/Lessee  Successor Agency  
 Street Address: 8516 La Jolla Shores Drive  
 City: La Jolla State: CA Zip: 92037  
 Phone No.: (858) 900-2011 Fax No.: \_\_\_\_\_ Email: adriana-bena@msn.com  
 Signature: [Signature] Date: 06-17-18  
 Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: Adriana Lorena Benavente-Mora  Owner  Tenant/Lessee  Successor Agency  
 Street Address: 8516 La Jolla Shores Drive  
 City: La Jolla State: CA Zip: 92037  
 Phone No.: (858) 900-2011 Fax No.: \_\_\_\_\_ Email: adriana-bena@msn.com  
 Signature: [Signature] Date: 06-17-18  
 Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached:  Yes  No





925 B STREET STE. 401-K  
SAN DIEGO, CA 92101  
TEL: (619) 399-8296  
jeniffer@sillergroupcorp.com

# BENAVENTE RESIDENCE

8516 LA JOLLA SHORES DRIVE  
LA JOLLA, CALIFORNIA 92037



**BENAVENTE RESIDENCE**  
 SITE DEVELOPMENT PERMIT  
 8516 LA JOLLA SHORES DRIVE  
 LA JOLLA, CALIFORNIA 92037

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF WIDE OPEN DESIGN AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SILLER GROUP CORP.

VICINITY MAP	DIRECTORY	SHEET INDEX	PROJECT INFO:																																						
	<p><b>OWNER:</b> ADRIANA BENAVENTE 8516 LA JOLLA SHORES DR. LA JOLLA, CA. 92037 +52 686-221-3141</p> <p><b>DESIGNER:</b> JENIFFER C. SILLER SILLER GROUP CORP 925 B STREET SUITE 401K SAN DIEGO, CA 92101 TEL: (619) 399-8296</p> <p><b>LOCATION SURVEY:</b> MATT SAWYER SAWYER LAND SURVEYING, INC. RANCHO PENASQUITOS TEL: (858) 692-6922</p> <p><b>TOPO MAP:</b> ROB RUSSELL ACCURATE LAND SURVEYS 2514 ALPINE BLVD. SUITE 4 ALPINE, CA 91901 TEL: (619) 445-0110</p> <p><b>EROSION CONTROL PLAN:</b> SERGIO SALINAS ARC CONSTRUCTION ENGINEERING 10948 ELDERWOOD LANE SAN DIEGO, CA 92131 TEL: (858) 722-7785</p> <p>A) TOTAL AREA: 7,215 SQFT B) TOTAL DISTURBANCE AREA: 1,295 SQFT C) EXISTING AMOUNT OF PERVIOUS AREA: 2,106 SQFT D) EXISTING AMOUNT OF IMPERVIOUS AREA: 5,109 SQFT E) PROPOSED AMOUNT OF PERVIOUS AREA: 2,808 SF F) PROPOSED AMOUNT OF IMPERVIOUS AREA: 4,407 SQFT G) TOTAL IMPERVIOUS AREA: 4,407 SQFT H) IMPERVIOUS AREA DECREASE: 14% I) CREATED AND/OR REPLACED IMPERVIOUS AREA: 4,407 SQFT</p> <p>CUT QUANTITIES: 0 CYD FILL QUANTITIES: 0 CYD IMPORT/EXPORT: 0 CYD MAX CUT DEPTH: 0 FT MAX FILL DEPTH: 0 FT</p> <p>THE PROJECT PROPOSED TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE 2015 GREENBOOK AND SUPPLEMENTAL AMENDMENTS. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.</p>	<table border="1"> <tr><td>AG100</td><td>COVER SHEET</td></tr> <tr><td>A100</td><td>SITE PLAN</td></tr> <tr><td>A110</td><td>CONCEPTUAL LANDSCAPE PLAN</td></tr> <tr><td>A120</td><td>SITE SECTIONS</td></tr> <tr><td>A200</td><td>EXISTING FLOOR PLAN</td></tr> <tr><td>A210</td><td>COASTAL DEMO PLAN</td></tr> <tr><td>A220</td><td>PROPOSED FLOOR PLAN -1ST FLOOR</td></tr> <tr><td>A240</td><td>PROPOSED FLOOR PLAN -2ND FLOOR</td></tr> <tr><td>A300</td><td>EXISTING ROOF PLAN</td></tr> <tr><td>A320</td><td>PROPOSED ROOF PLAN</td></tr> <tr><td>A400</td><td>EXTERIOR ELEVATIONS 1 OF 4</td></tr> <tr><td>A420</td><td>EXTERIOR ELEVATIONS 2 OF 4</td></tr> <tr><td>A440</td><td>EXTERIOR ELEVATIONS 3 OF 4</td></tr> <tr><td>A460</td><td>EXTERIOR ELEVATIONS 4 OF 4</td></tr> <tr><td>C100</td><td>LOCATION SURVEY</td></tr> <tr><td>C200</td><td>TOPO MAP</td></tr> <tr><td>C300</td><td>EROSION CONTROL PLAN 1 OF 2</td></tr> <tr><td>C400</td><td>EROSION CONTROL PLAN 2 OF 2</td></tr> </table>	AG100	COVER SHEET	A100	SITE PLAN	A110	CONCEPTUAL LANDSCAPE PLAN	A120	SITE SECTIONS	A200	EXISTING FLOOR PLAN	A210	COASTAL DEMO PLAN	A220	PROPOSED FLOOR PLAN -1ST FLOOR	A240	PROPOSED FLOOR PLAN -2ND FLOOR	A300	EXISTING ROOF PLAN	A320	PROPOSED ROOF PLAN	A400	EXTERIOR ELEVATIONS 1 OF 4	A420	EXTERIOR ELEVATIONS 2 OF 4	A440	EXTERIOR ELEVATIONS 3 OF 4	A460	EXTERIOR ELEVATIONS 4 OF 4	C100	LOCATION SURVEY	C200	TOPO MAP	C300	EROSION CONTROL PLAN 1 OF 2	C400	EROSION CONTROL PLAN 2 OF 2	<p><b>SCOPE OF WORK:</b> PROPOSED 2 STORY ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE, NEW BALCONIES AND ROOF DECK.</p> <p><b>PROJECT ADDRESS:</b> 8516 LA JOLLA SHORES DRIVE LA JOLLA, CA. 92037</p> <p><b>HISTORICAL LANDMARK NO.:</b> NOT APPLICABLE</p> <p><b>CODE ENFORCEMENT PROJECT #:</b> NOT APPLICABLE</p> <p><b>LEGAL DESCRIPTION:</b> MAP: 001913, BLK 18 LOT 2</p> <p><b>PARCEL NUMBER:</b> 346-090-30-00</p> <p><b>ZONE:</b> LA JOLLA SHORES PLANNED DISTRICT (LJSPD-SF)</p> <p><b>COMMUNITY PLAN:</b> LA JOLLA</p> <p><b>OVERLAY ZONES:</b> COASTAL HEIGHT LIMITATION OVERLAY (CHLOZ) CITY COASTAL OVERLAY (COZ) -N-APP-2 RESIDENTIAL TANDEM OVERLAY (RTPOZ) PARKING IMPACT OVERLAY (PIOZ)</p> <p><b>GEOLOGICAL HAZARD CATEGORY:</b> 52</p> <p><b>YEAR OF CONSTRUCTION:</b> 1980</p> <p><b>TYPE OF CONSTRUCTION:</b> VB NON RATED</p> <p><b>(E) OCCUPANCY CLASSIFICATION:</b> R-3</p> <p><b>(N) OCCUPANCY CLASSIFICATION:</b> R-3</p>	<p><b>LOT SIZE:</b> 5,500 SF</p> <p><b>LANDSCAPE AREA:</b> PROPOSED 30% (1,669 SF)</p> <p><b>EXISTING HABITABLE AREA:</b> 1,616 SF</p> <p><b>PROPOSED ADDITION:</b> 1,575 SF</p> <p><b>PROPOSED ROOF DECK:</b> 240 SF</p> <p><b>PROPOSED BALCONIES:</b> 542 SF</p> <p><b>LOT COVERAGE:</b> EXISTING: 0.29 (1,616 SF) PROPOSED: 0.32 (1,743 SF)</p> <p><b>FLOOR AREA RATIO:</b> EXISTING: 0.29 (1,616 SF) PROPOSED: 0.58 (3,191 SF)</p> <p><b>HEIGHT:</b> EXISTING: 14' PROPOSED: 25'-4" 26'-6" (CHIMNEY)</p> <p><b>FRONT SETBACK:</b> EXISTING: 18'-11" PROPOSED: 18'-11"</p> <p><b>INTERIOR SIDE SETBACK:</b> NORTH EXISTING : 5'-3" PROPOSED: 5'-3" &amp; 3'-3" (NO WINDOWS ALLOWED AT 3'-3" SETBACK) SOUTH EXISTING : 2'-6" PROPOSED: 2'-6"</p> <p><b>REAR YARD SETBACK:</b> EXISTING : 27'-0" PROPOSED: 27'-0" &amp; 24'-0" (BALCONY)</p>	<p><b>SIGNATURE:</b> <i>JCS</i></p> <p><b>PLAN CHANGES:</b></p> <hr/> <p><b>JOB NO:</b> 18177_BENAVENTE RESIDENCE</p> <p><b>DATE:</b> 9-Dec-19</p> <p><b>SHEET:</b> 1 OF 18</p>
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PERSON RESPONSIBLE FOR PREPARATION OF PLANS, PER CALIFORNIA BUSINESS AND PROFESSIONS CODE:

Jeniffer C. Siller

SIGNATURE: *JCS*

PLAN CHANGES:

JOB NO:

18177\_BENAVENTE RESIDENCE

DATE:

9-Dec-19

SHEET:

1 OF 18

COVER SHEET

AG100



925 B STREET STE. 401-K  
SAN DIEGO, CA 92101  
TEL: (619) 399-8296  
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PREPARATION OF PLANS, PER  
CALIFORNIA BUSINESS AND  
PROFESSIONS CODE:  
Jennifer C. Siller

SIGNATURE:  
*JCS*

PLAN CHANGES:

JOB No:  
18177\_BENAVENTE RESIDENCE

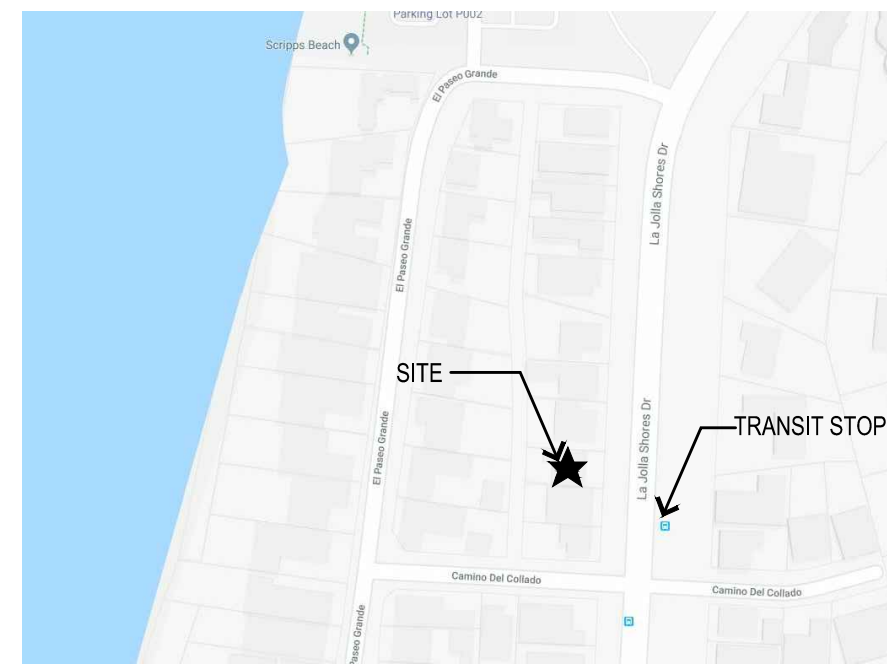
DATE:  
9-Dec-19

SHEET:  
2 OF 18

SITE PLAN

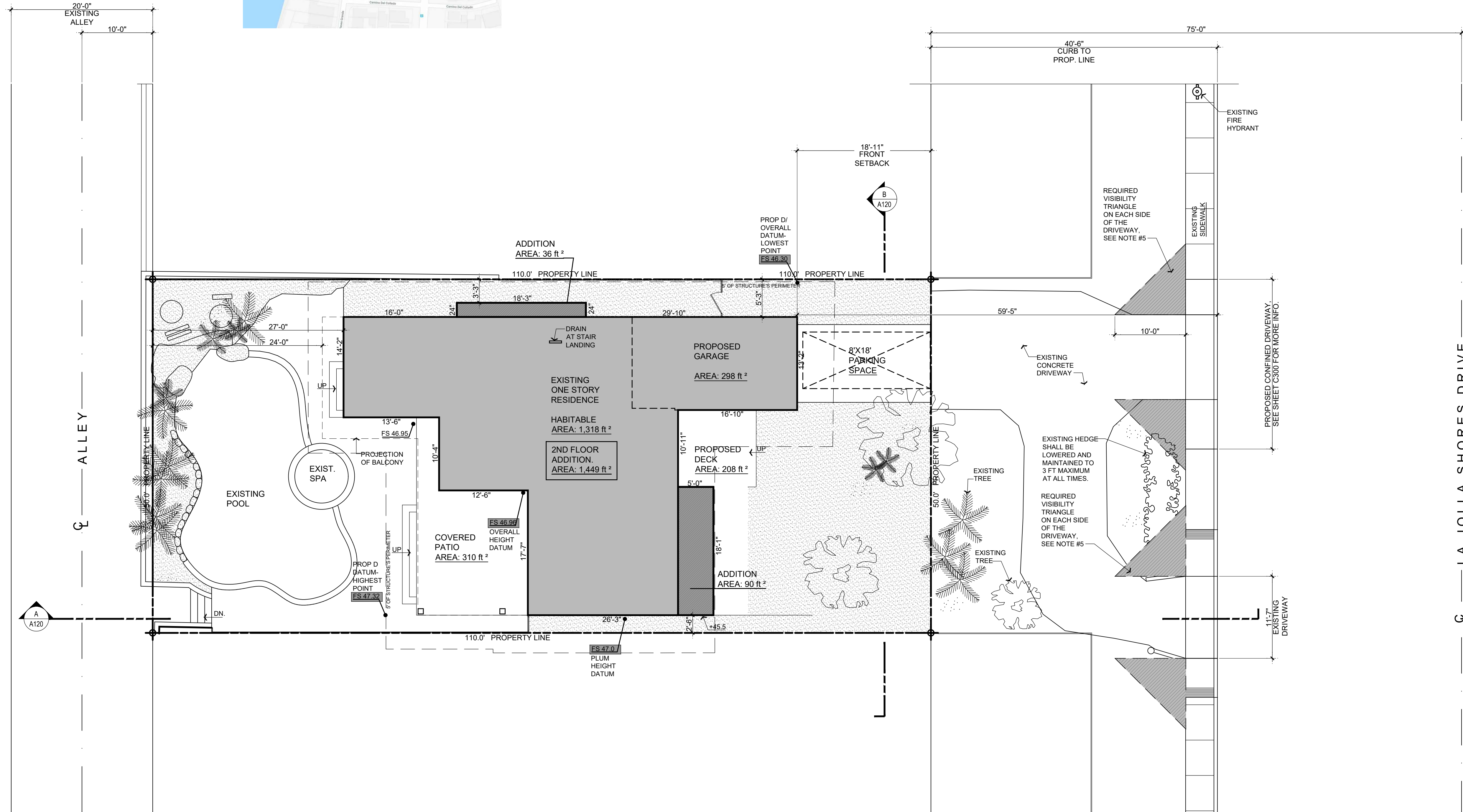
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF WISE OPEN DESIGN AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SILLER GROUP CORP.

KEY MAP



SITE PLAN NOTES:

1. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.
2. BUILDING ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
3. THIS PROJECT IS LOCATED WITHIN AN AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS) WATERSHED. THE OWNER/PERMITTEE IS RESPONSIBLE FOR COMPLYING WITH ALL ASBS REQUIREMENTS ACCORDINGLY.
4. THE EXISTING SERVICES WILL REMAIN.
5. VISIBILITY TRIANGLE- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

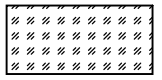
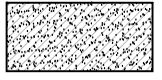
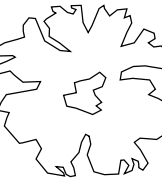
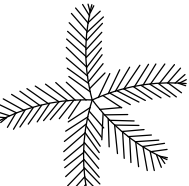
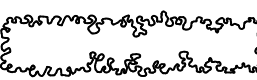


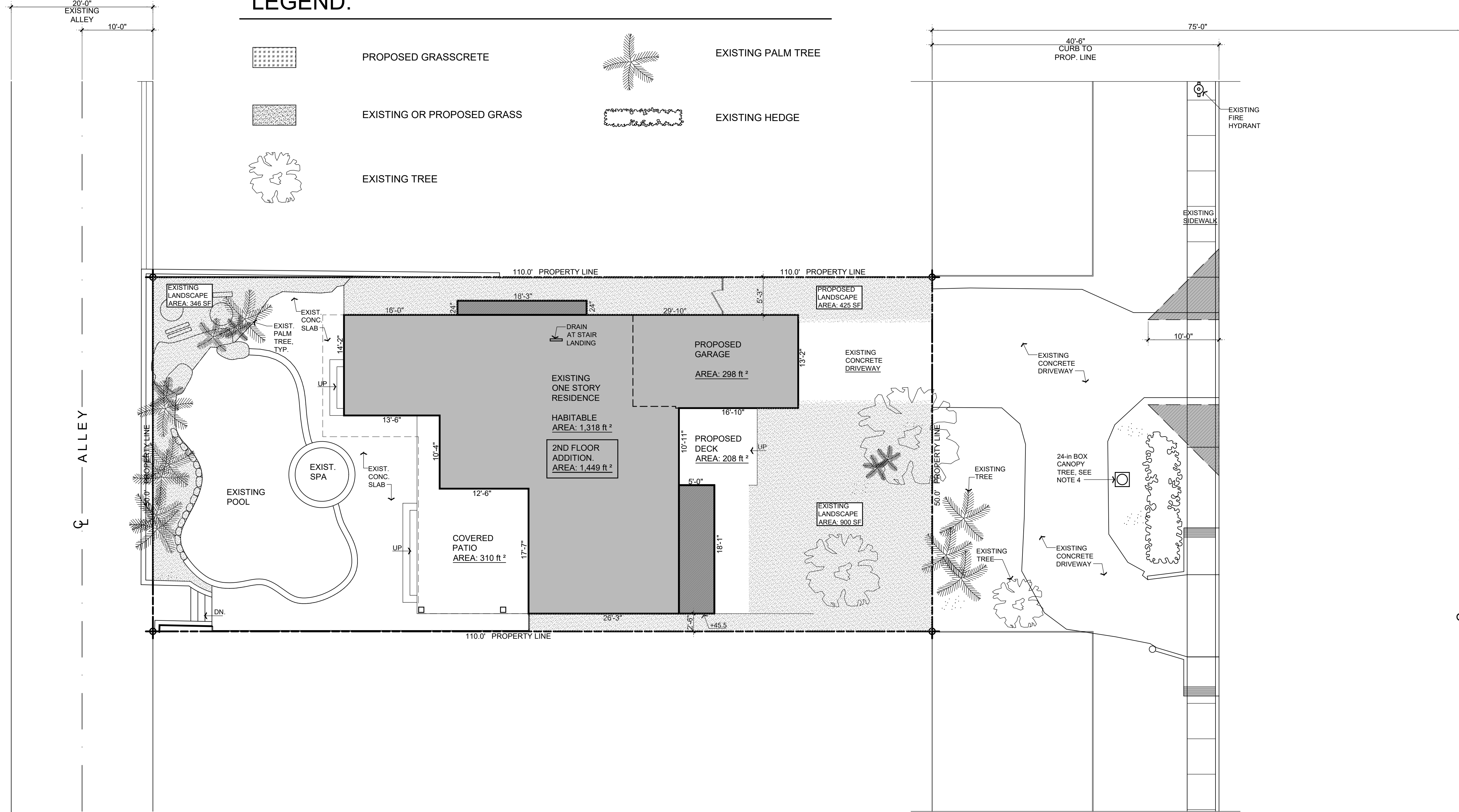
**NOTES:**

1. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY ADRIANA BENAVENTE (OWNER). LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY ADRIANA BENAVENTE. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
2. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
3. ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE [LDC 1510.0304(h)] PRIOR TO FINAL INSPECTION.
4. SELECT FROM ONE OF THE FOLLOWING APPROVED TREES:  
Archontophoenix cunninghamiana (King Palm)  
Arecastrum romanzoffianum (Queen Palm)  
Bauhinia blakeana (Orchid Tree)  
Cassia leptophylla (Gold Medallion)  
Jacaranda mimosifolia (Jacaranda)  
Melaleuca quinquenervia (Cajuput Tree)  
Metrosideros excelsus (New Zealand Christmas Tree)  
Palm Species  
Tabebuia avellanedae (Trumpet Tree)  
Tristania conferta (Brisbane Box)

PROPOSED LANDSCAPE AREA: 1,671 SF

**LEGEND:**

-  PROPOSED GRASSCRETE
-  EXISTING OR PROPOSED GRASS
-  EXISTING TREE
-  EXISTING PALM TREE
-  EXISTING HEDGE



**CONCEPTUAL LANDSCAPE PLAN**

SCALE: 1/8" = 1'-0"



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**BENAVENTE RESIDENCE**  
SITE DEVELOPMENT PERMIT  
8516 LA JOLLA SHORES DRIVE  
LA JOLLA, CALIFORNIA 92037

PERSON RESPONSIBLE FOR PREPARATION OF PLANS, PER CALIFORNIA BUSINESS AND PROFESSIONS CODE:  
Jennifer C. Siller

SIGNATURE:  
*JCS*

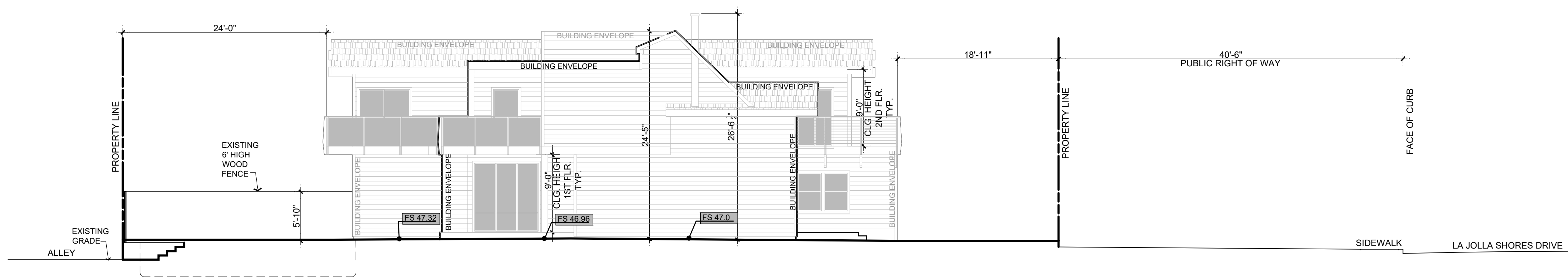
PLAN CHANGES:

JOB No:  
18177\_BENAVENTE RESIDENCE

DATE:  
9-Dec-19

SHEET:  
4 OF 18

SITE SECTIONS



**SECTION**  
SCALE: 1/8"=1'-0"

A



**SECTION**  
SCALE: 1/8"=1'-0"

B

**SITE SECTIONS**  
SCALE: 1/8"=1'-0"

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF WISE OPEN DESIGN AND WHERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SILLER GROUP CORP.



925 B STREET STE. 401-K  
SAN DIEGO, CA 92101  
TEL: (619) 399-8296  
jeniffer@sillergroupcorp.com

**BENAVENTE RESIDENCE**  
SITE DEVELOPMENT PERMIT  
8516 LA JOLLA SHORES DRIVE  
LA JOLLA, CALIFORNIA 92037

PERSON RESPONSIBLE FOR PREPARATION OF PLANS, PER CALIFORNIA BUSINESS AND PROFESSIONS CODE:  
Jeniffer C. Siller

SIGNATURE:  
*JCS*

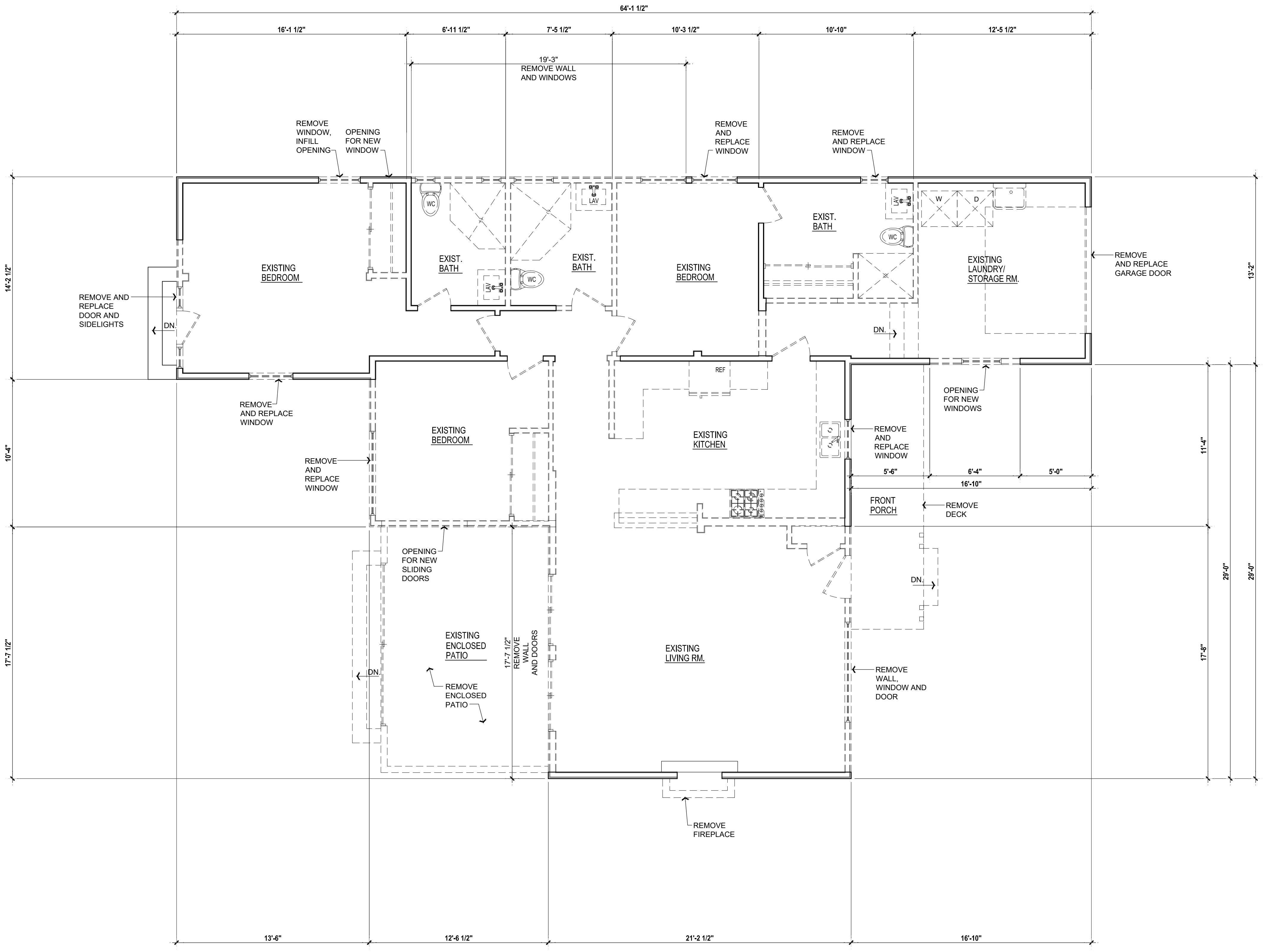
PLAN CHANGES:  
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JOB No:  
18177\_BENAVENTE RESIDENCE

DATE:  
9-Dec-19  
SHEET:  
5 OF 18

EXISTING FLOOR PLAN

A200



**EXISTING FLOOR PLAN**  
SCALE: 1/4"=1'-0"



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DATE:  
9-Dec-19

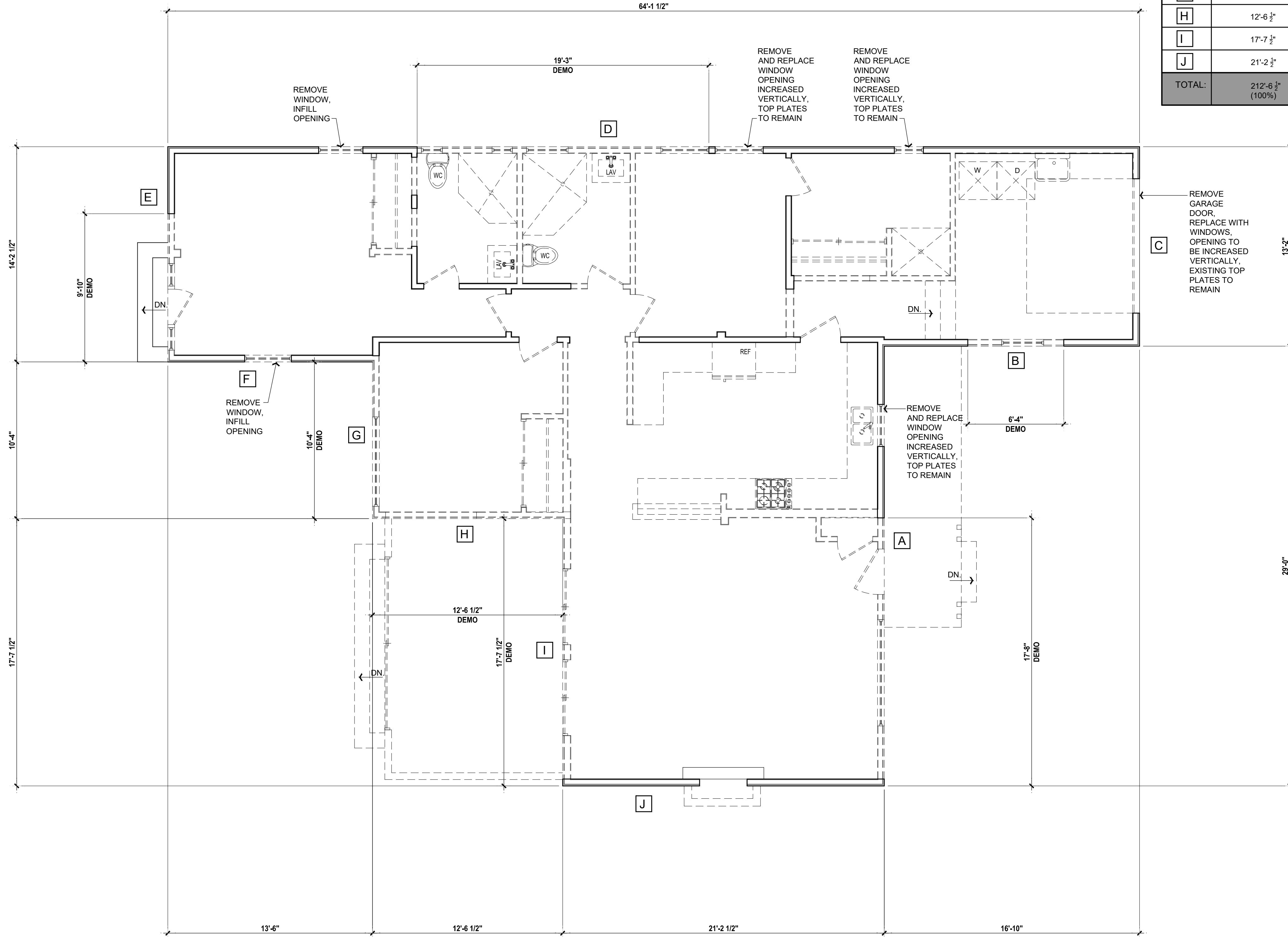
SHEET:  
6 OF 18

COASTAL DEMOLITION PLAN

A210

**WALL DEMOLITION ANALYSIS**

TYPE	EXISTING	DEMOLISHED	REMAINING	REMARKS
A	29'-0"	17'-8"	11'-4"	
B	16'-10"	6'-4"	10'-6"	
C	13'-2"	-	13'-2"	
D	64'-1 1/2"	19'-3"	44'-10 1/2"	
E	14'-2 1/2"	9'-10"	4'-4 1/2"	
F	13'-6"	-	13'-6"	
G	10'-4"	10'-4"	0	
H	12'-6 1/2"	12'-6 1/2"	0	
I	17'-7 1/2"	17'-7 1/2"	0	
J	21'-2 1/2"	-	21'-2 1/2"	
<b>TOTAL:</b>	<b>212'-6 1/2"</b> (100%)	<b>93'-7"</b> (44%)	<b>118'-11 1/2"</b> (56%)	



**COASTAL DEMO PLAN**  
SCALE: 1/4"=1'-0"



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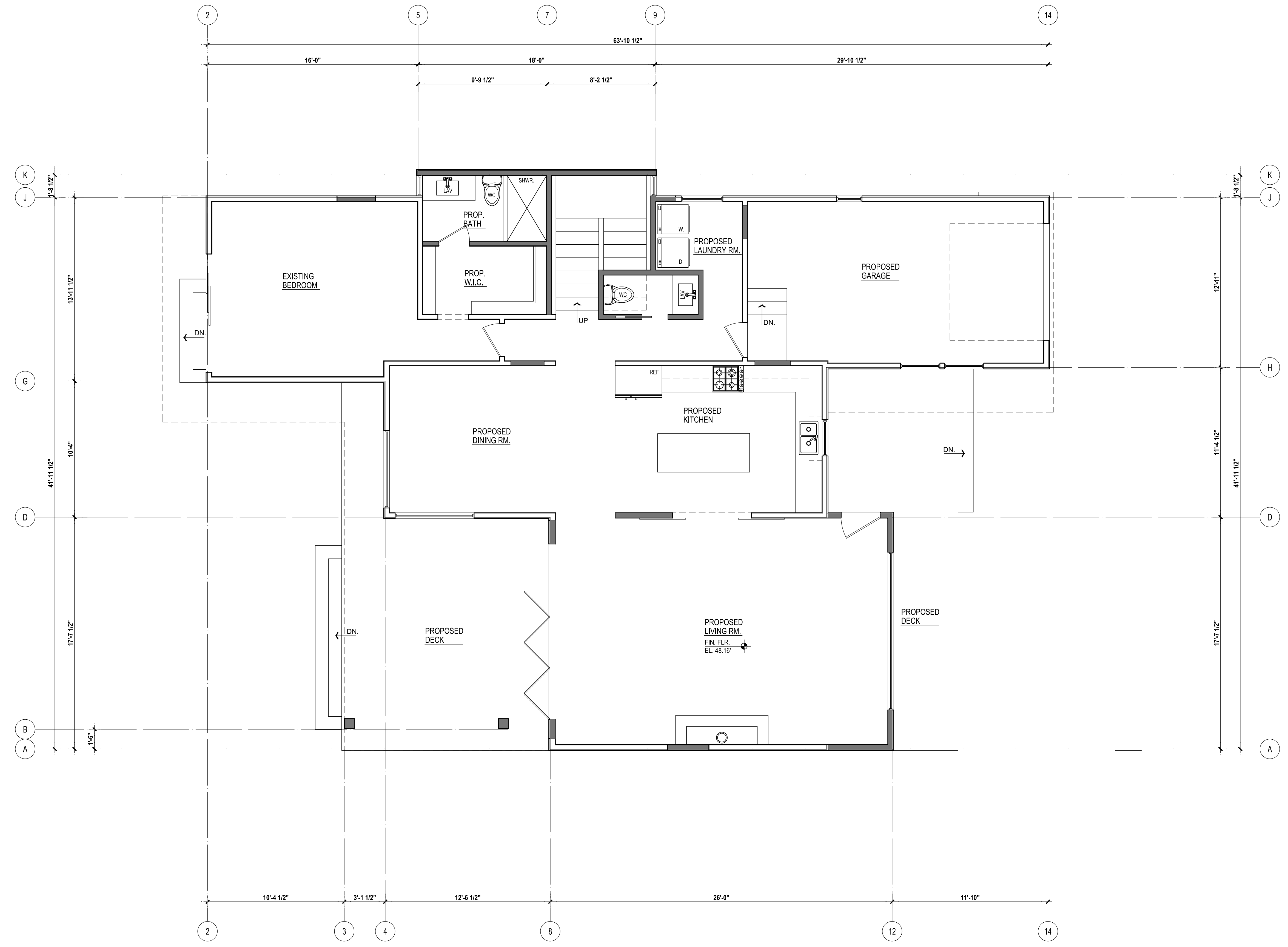
DATE:  
9-Dec-19

SHEET:  
7 OF 18

PROPOSED FLOOR PLAN  
1ST FLOOR

A220

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF WISE OPEN DESIGN AND WHERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SILLER GROUP CORP.



**PROPOSED FLOOR PLAN - 1ST FLOOR**  
SCALE: 1/4"=1'-0"





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SIGNATURE:  
*JCS*

PLAN CHANGES:  
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JOB No:  
18177\_BENAVENTE RESIDENCE

DATE:  
9-Dec-19

SHEET:  
8 OF 18

PROPOSED FLOOR PLAN  
2ND FLOOR

A240

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF WISE OPEN DESIGN AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SILLER GROUP CORP.



**PROPOSED FLOOR PLAN - 2ND FLOOR**  
SCALE: 1/4"=1'-0"







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JOB No: 18177\_BENAVENTE RESIDENCE

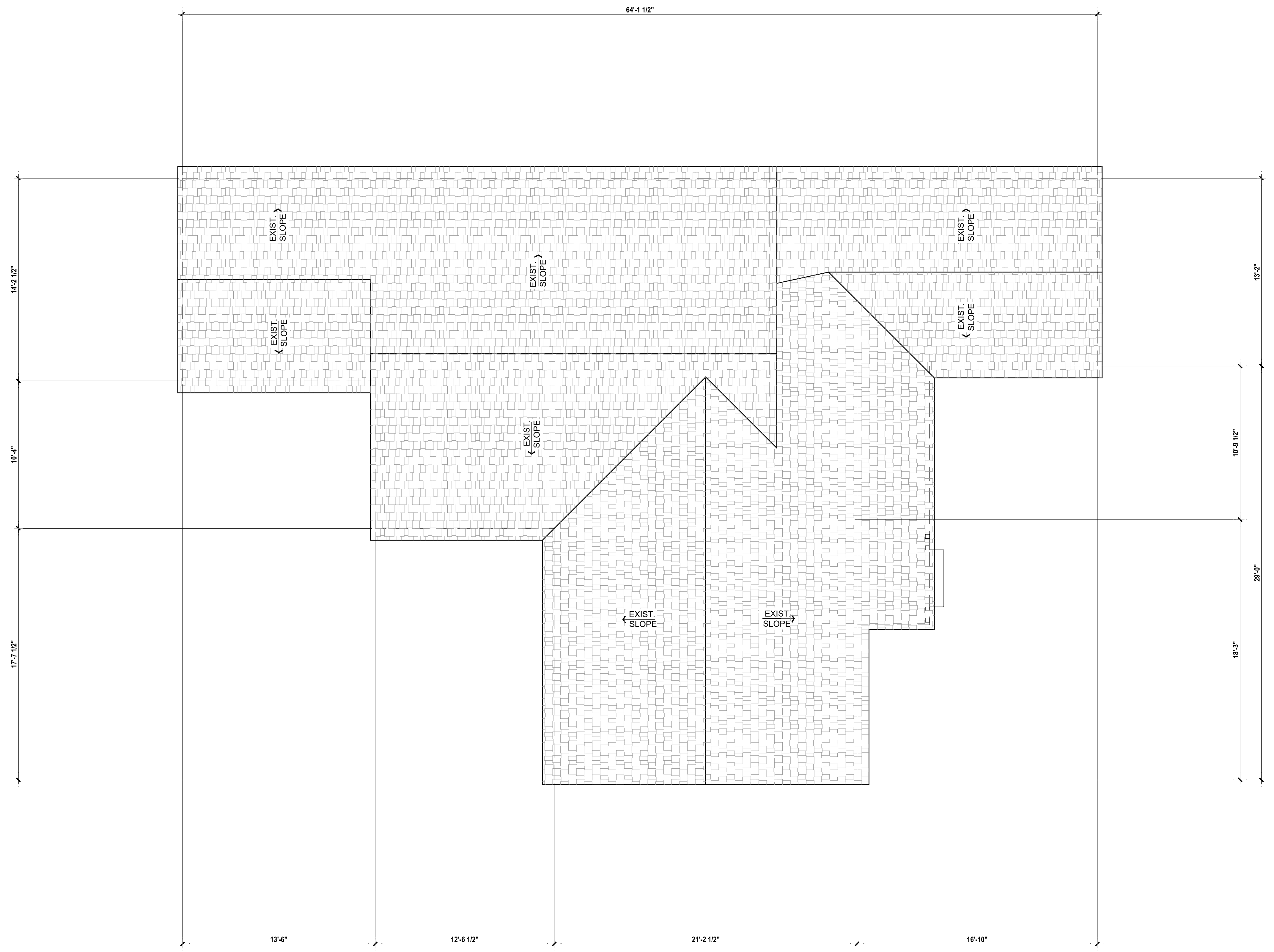
DATE: 9-Dec-19

SHEET: 9 OF 18

EXISTING ROOF PLAN

A300

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF WISE OPEN DESIGN AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SILLER GROUP CORP.



**EXISTING ROOF PLAN**  
SCALE: 1/4"=1'-0"





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PLAN CHANGES:  
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JOB No:  
18177\_BENAVENTE RESIDENCE

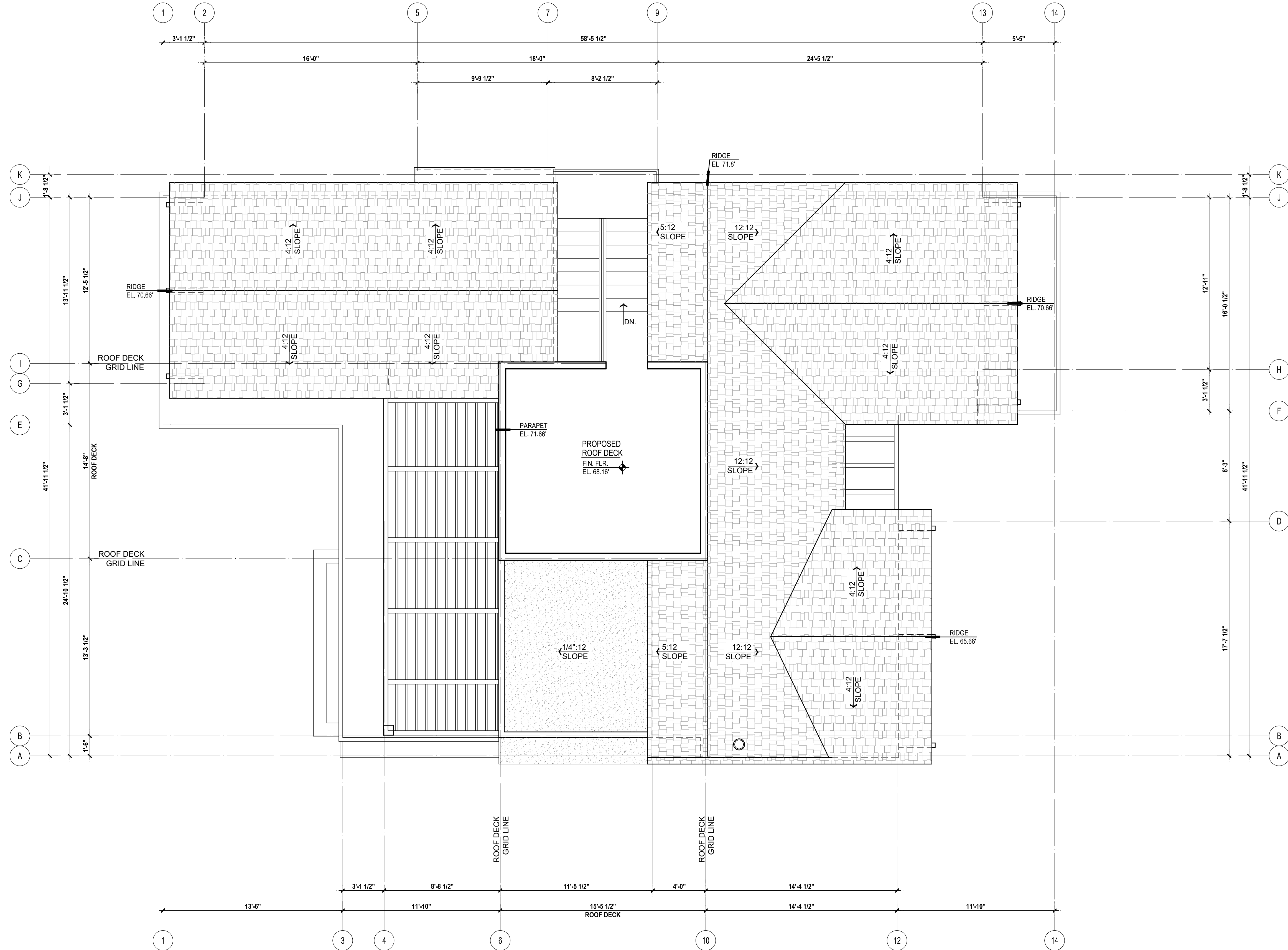
DATE:  
9-Dec-19

SHEET:  
10 OF 18

PROPOSED  
ROOF PLAN

A320

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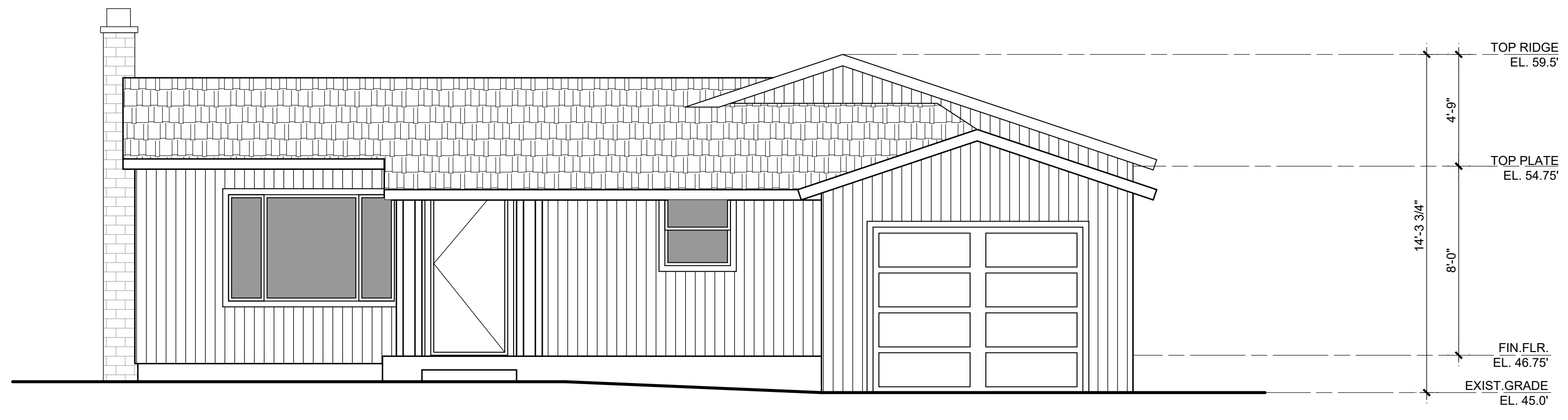


**PROPOSED ROOF PLAN**  
SCALE: 1/4"=1'-0"

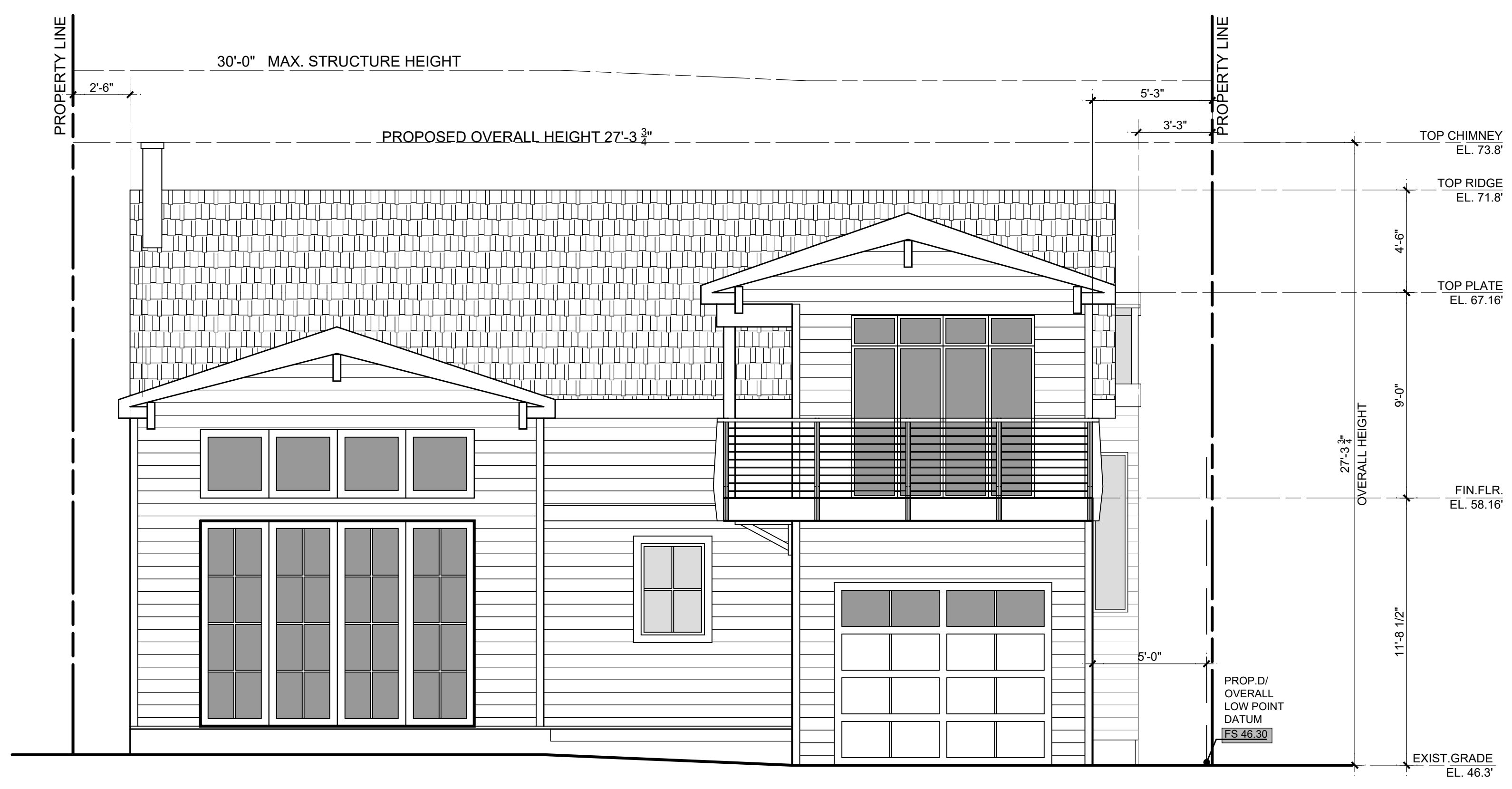


**NOTE:**  
HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMITS AS OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4

**DATUM POINTS**  
**\*PLUM HEIGHT**  
DATUM: 47.0  
PROPOSED PLUM HEIGHT: 26'-6 3/4"  
SHOWN ON SOUTH ELEVATION.  
**\*PROP. D HEIGHT**  
LOW POINT DATUM: 46.30  
HIGH POINT DATUM: 47.32  
PROPOSED PROP. D HEIGHT: 26'-6"  
SHOWN ON WEST AND SOUTH ELEVATION.  
**\*OVERALL HEIGHT**  
LOW POINT DATUM: 46.30  
HIGH POINT DATUM: 48.96  
PROPOSED OVERALL HEIGHT: 27'-3 3/4"  
SHOWN ON NORTH AND EAST ELEVATION.



**EAST - EXISTING**



**EAST - PROPOSED**

**EXTERIOR ELEVATIONS**

SCALE: 1/4"=1'-0"

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**BENAVENTE RESIDENCE**  
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8516 LA JOLLA SHORES DRIVE  
LA JOLLA, CALIFORNIA 92037

PERSON RESPONSIBLE FOR PREPARATION OF PLANS, PER CALIFORNIA BUSINESS AND PROFESSIONS CODE:

Jeniffer C. Siller

SIGNATURE:

PLAN CHANGES:

JOB No:  
18177\_BENAVENTE RESIDENCE

DATE:  
9-Dec-19

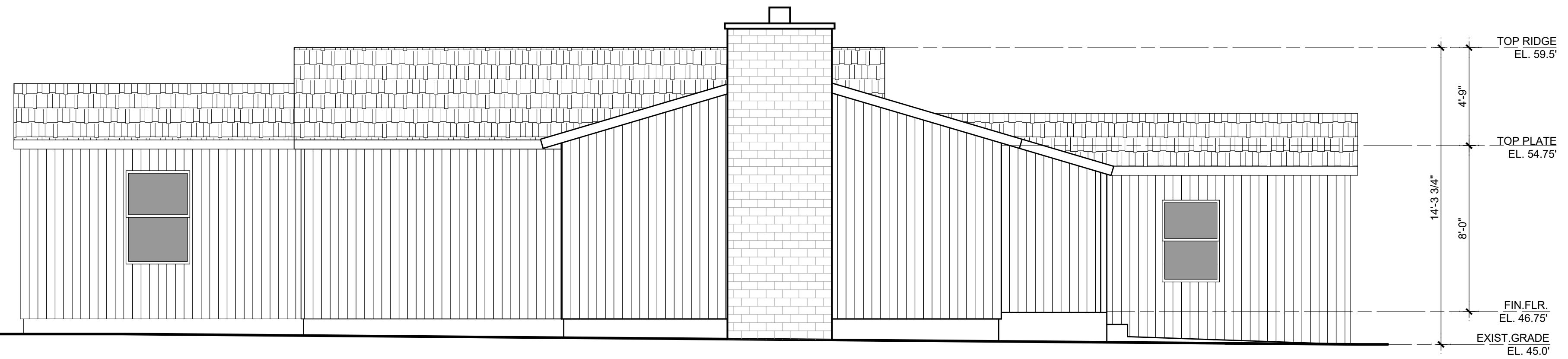
SHEET:  
12 OF 18

EXTERIOR ELEVATIONS  
2 OF 4

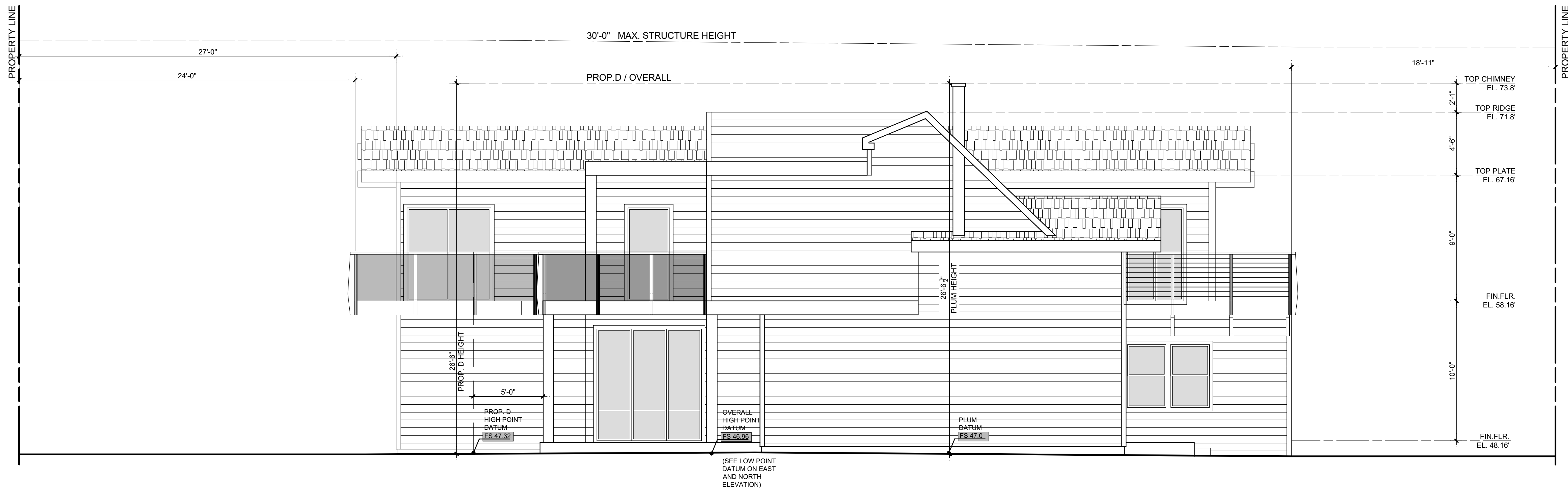
A420

**NOTE:**  
HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMITS AS OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4

**DATUM POINTS**  
**\*PLUM HEIGHT**  
DATUM: 47.0  
PROPOSED PLUM HEIGHT: 26'-6 3/4"  
SHOWN ON SOUTH ELEVATION.  
**\*PROP. D HEIGHT**  
LOW POINT DATUM: 46.30  
HIGH POINT DATUM: 47.32  
PROPOSED PROP. D HEIGHT: 26'-6"  
SHOWN ON WEST AND SOUTH ELEVATION.  
**\*OVERALL HEIGHT**  
LOW POINT DATUM: 46.30  
HIGH POINT DATUM: 46.96  
PROPOSED OVERALL HEIGHT: 27'-3 3/4"  
SHOWN ON NORTH AND EAST ELEVATION.



**SOUTH - EXISTING**



**SOUTH - PROPOSED**

**EXTERIOR ELEVATIONS**

SCALE: 1/4"=1'-0"

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PERSON RESPONSIBLE FOR PREPARATION OF PLANS, PER CALIFORNIA BUSINESS AND PROFESSIONS CODE:  
Jennifer C. Siller

SIGNATURE:  
*JCS*

PLAN CHANGES:

JOB No:  
18177\_BENAVENTE RESIDENCE

DATE:  
9-Dec-19

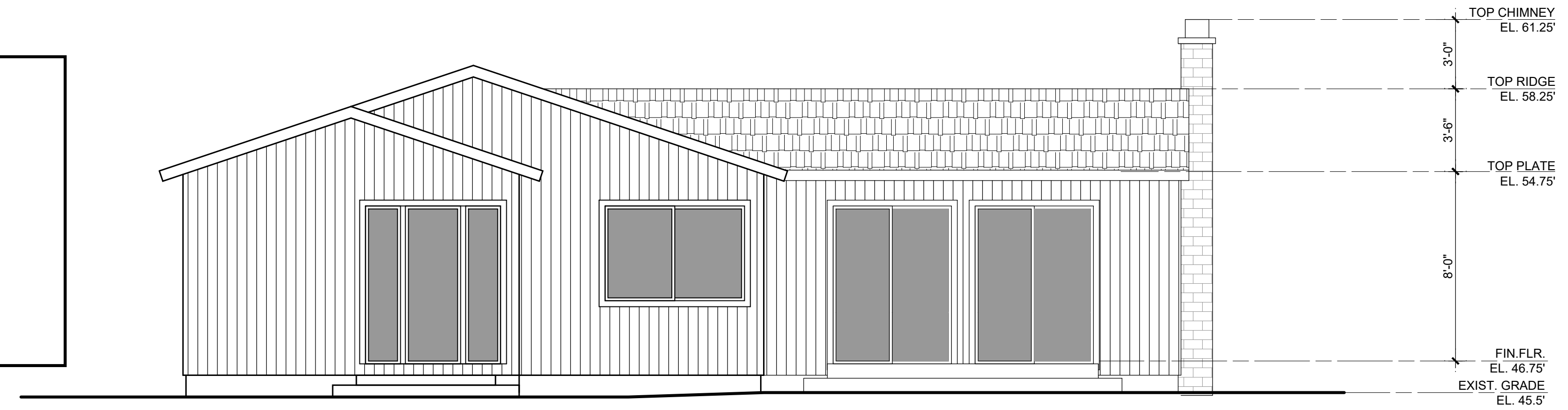
SHEET:  
13 OF 18

EXTERIOR ELEVATIONS  
3 OF 4

A440

**NOTE:**  
HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMITS AS OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4

**DATUM POINTS**  
**\*PLUM HEIGHT**  
DATUM: 47.0  
PROPOSED PLUM HEIGHT: 26'-6 1/2"  
SHOWN ON SOUTH ELEVATION.  
**\*PROP. D HEIGHT**  
LOW POINT DATUM: 46.30  
HIGH POINT DATUM: 47.32  
PROPOSED PROP. D HEIGHT: 26'-6"  
SHOWN ON WEST AND SOUTH ELEVATION.  
**\*OVERALL HEIGHT**  
LOW POINT DATUM: 46.30  
HIGH POINT DATUM: 46.98  
PROPOSED OVERALL HEIGHT: 27'-3 3/4"  
SHOWN ON NORTH AND EAST ELEVATION.



WEST -  
EXISTING



WEST -  
PROPOSED

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

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9-Dec-19

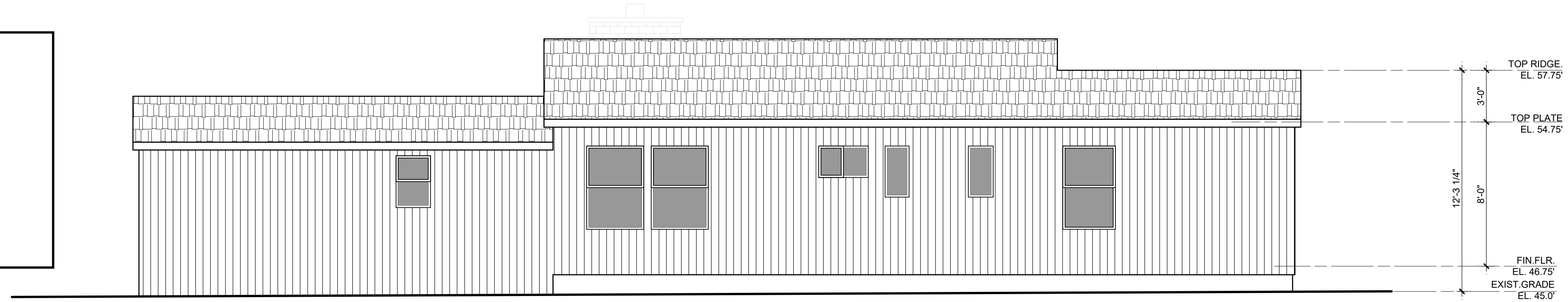
SHEET:  
14 OF 18

EXTERIOR  
ELEVATIONS  
4 OF 4

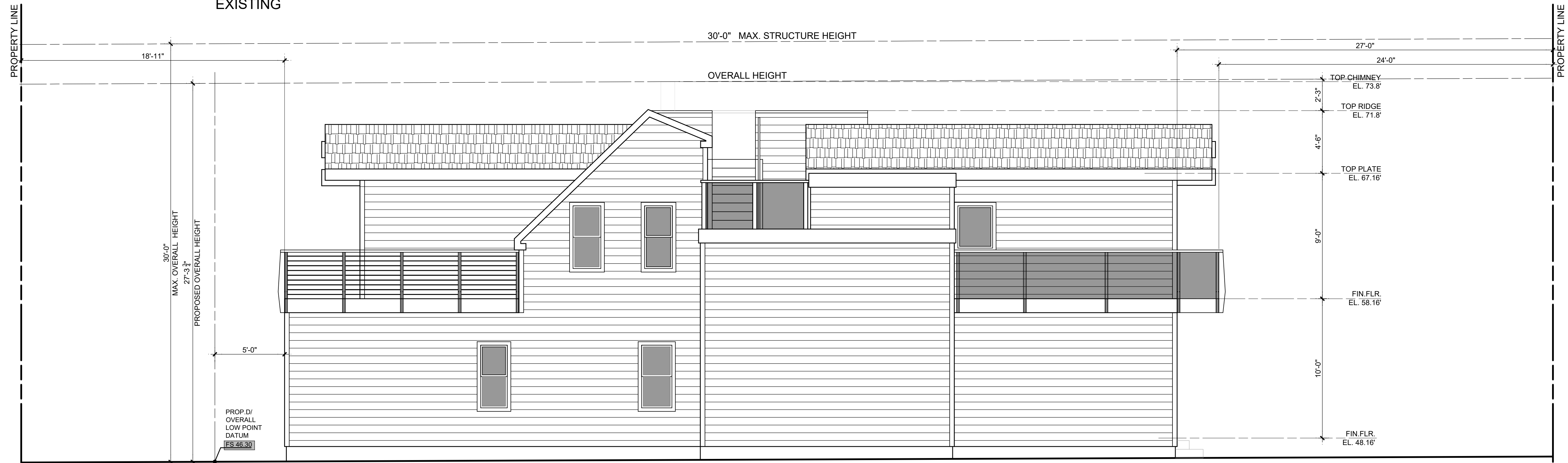
A460

**NOTE:**  
HEIGHT SHALL COMPLY WITH PROPOSITION D HEIGHT LIMITS AS  
OUTLINED IN CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4

**DATUM POINTS**  
**\*PLUM HEIGHT**  
DATUM: 47.0  
PROPOSED PLUM HEIGHT: 28'-6 1/2"  
SHOWN ON SOUTH ELEVATION.  
**\*PROP. D HEIGHT**  
LOW POINT DATUM: 46.30  
HIGH POINT DATUM: 47.32  
PROPOSED PROP. D HEIGHT: 28'-6"  
SHOWN ON WEST AND SOUTH ELEVATION.  
**\*OVERALL HEIGHT**  
LOW POINT DATUM: 46.30  
HIGH POINT DATUM: 46.96  
PROPOSED OVERALL HEIGHT: 27'-3 3/4"  
SHOWN ON NORTH AND EAST ELEVATION.



**NORTH -  
EXISTING**



**NORTH -  
PROPOSED**

**EXTERIOR ELEVATIONS**

SCALE: 1/4"=1'-0"

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8516 LA JOLLA SHORES DRIVE  
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SIGNATURE:

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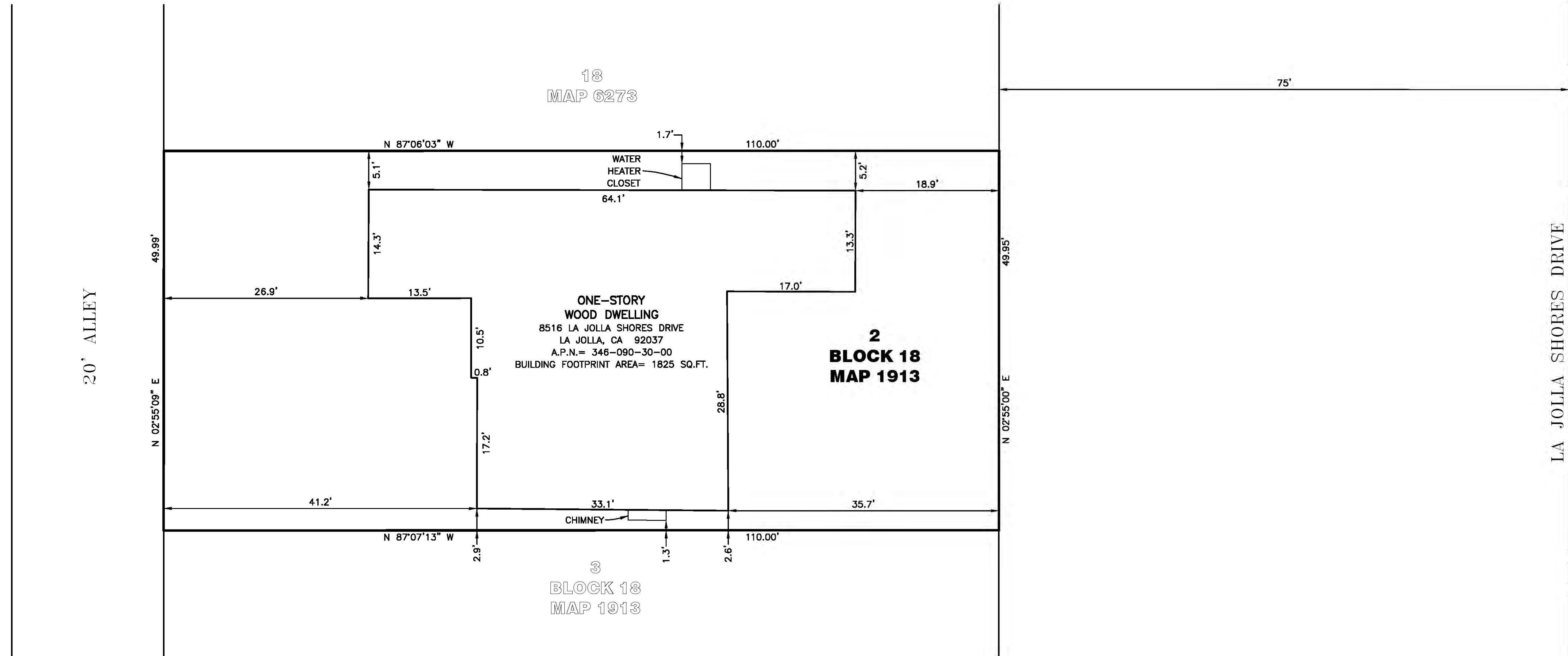
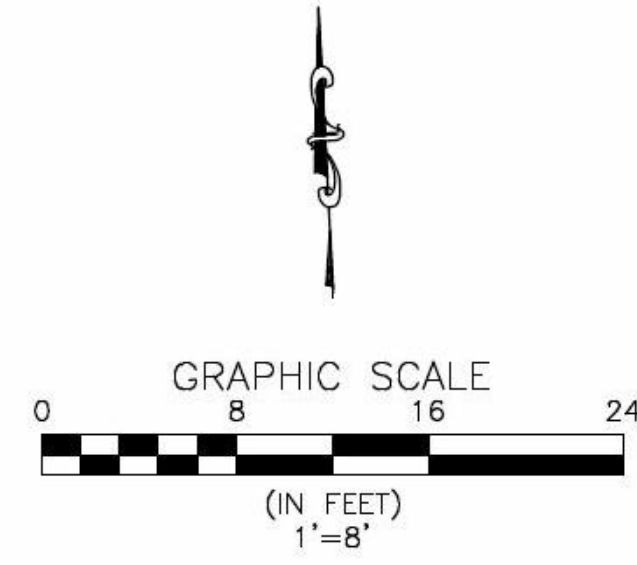
JOB No: 18177\_BENAVENTE RESIDENCE

DATE: 9-Dec-19

SHEET: 15 OF 18

LOCATION SURVEY

C100



Mathew Sawyer  
MATHEW S. SAWYER, P.L.S. 8739

LOCATION SURVEY		
For the exclusive use of <b>ADRIANA BENAVENTE</b> 8516 LA JOLLA SHORES DRIVE LA JOLLA, CALIFORNIA 92037		
<b>Sawyer Land Surveying, Inc.</b> 8427 Hovenweep Ct., San Diego, California 92129 (858) 692-6922, EMAIL: msawyerpls@yahoo.com		
Date: 4-2-18	Revised:	Revised:
Scale: 1"=8'	Drawn by: M.S.S.	Sheet 1 of 1
Drawing: 8516LaJollaShoresDrlS.dwg	A.P.N.: 346-090-30-00	

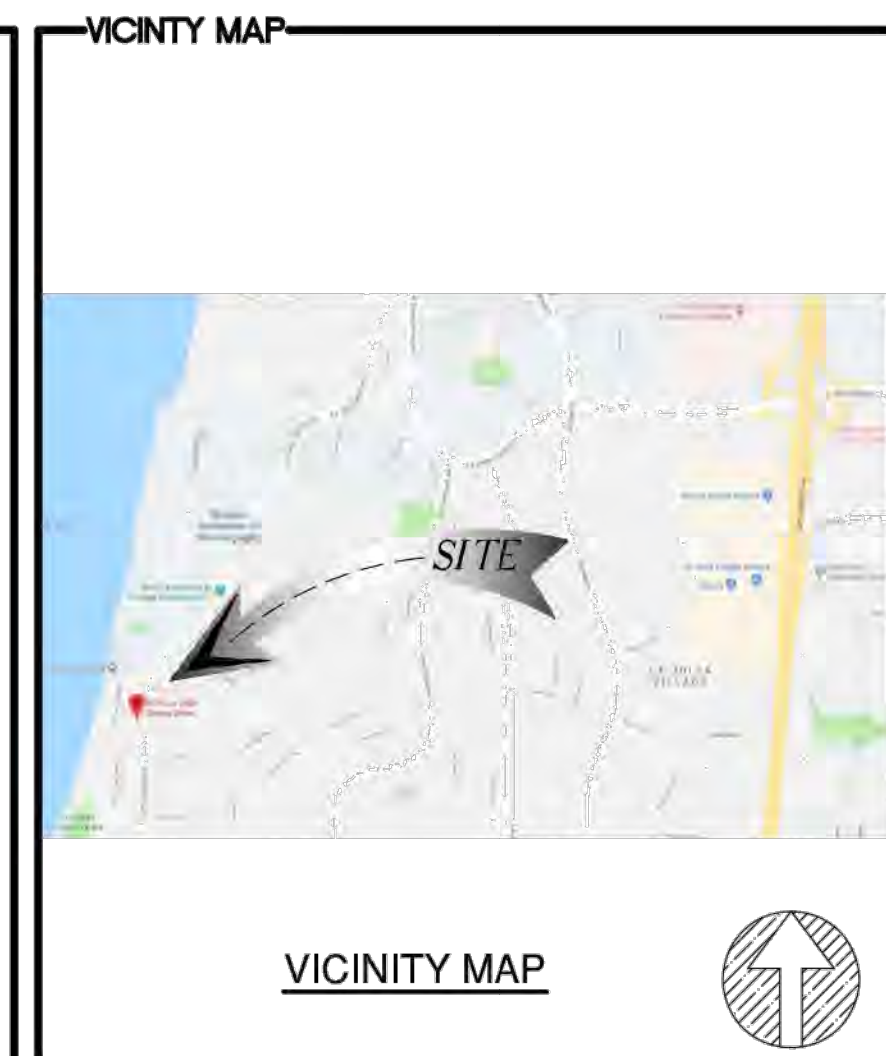
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**SILLER GROUP CORP.**

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**BENCHMARK**  
THE BENCHMARK FOR THIS SURVEY IS A CITY OF SAN DIEGO VERTICAL CONTROL MONUMENT, A BRASS PLUG, IN TOP OF CURB, LOCATED AT THE NORTHWEST CORNER OF LA JOLLA SHORES DRIVE AND CAMINO DEL COLLADO.  
ELEVATION = 48.758 (NGVD '29)

**SITE INFORMATION**  
**8516 LA JOLLA SHORES DRIVE**  
**LEGAL DESCRIPTION**  
LOT 2, IN BLOCK 18, OF LA JOLLA SHORES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1913, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1926, BEING DESCRIBED IN DOCUMENT NO. 2012-0267393, RECORDED MAY 7, 2012.  
**APN: 346-090-30**  
**GROSS AREA - 0.126 ACRES**  
**5,496.79 SQ. FT.**  
THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED FROM A FIELD SURVEY OF SURFACE FEATURES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.  
THE PROPERTY LINES, BEARINGS AND DIMENSIONS, SHOWN HEREON, ARE ESTABLISHED FROM AVAILABLE RECORD INFORMATION AND ARE SUBJECT TO VERIFICATION BY A COMPLETE FIELD BOUNDARY RETRACEMENT SURVEY.

**PLAN PREPARED BY**  
**ACCURATE LAND SURVEYS**  
2514 ALPINE BLVD. SUITE #4, ALPINE, CA 91901  
PH: 619-445-0110

**SEAL**  
PROFESSIONAL LAND SURVEYOR  
ROBERT J. RUSSELL  
EXP. MAR 31 19  
NO. 8211  
STATE OF CALIFORNIA  
*RJR*

**SHEET TITLE**  
**TOPOGRAPHIC MAP**

**DATE**  
**12/12/2018**

**SHEET NUMBER**  
**SHEET 1 OF 1**

PERSON RESPONSIBLE FOR PREPARATION OF PLANS, PER CALIFORNIA BUSINESS AND PROFESSIONS CODE:

Jeniffer C. Siller

SIGNATURE:  
*JCS*

PLAN CHANGES:

JOB No:  
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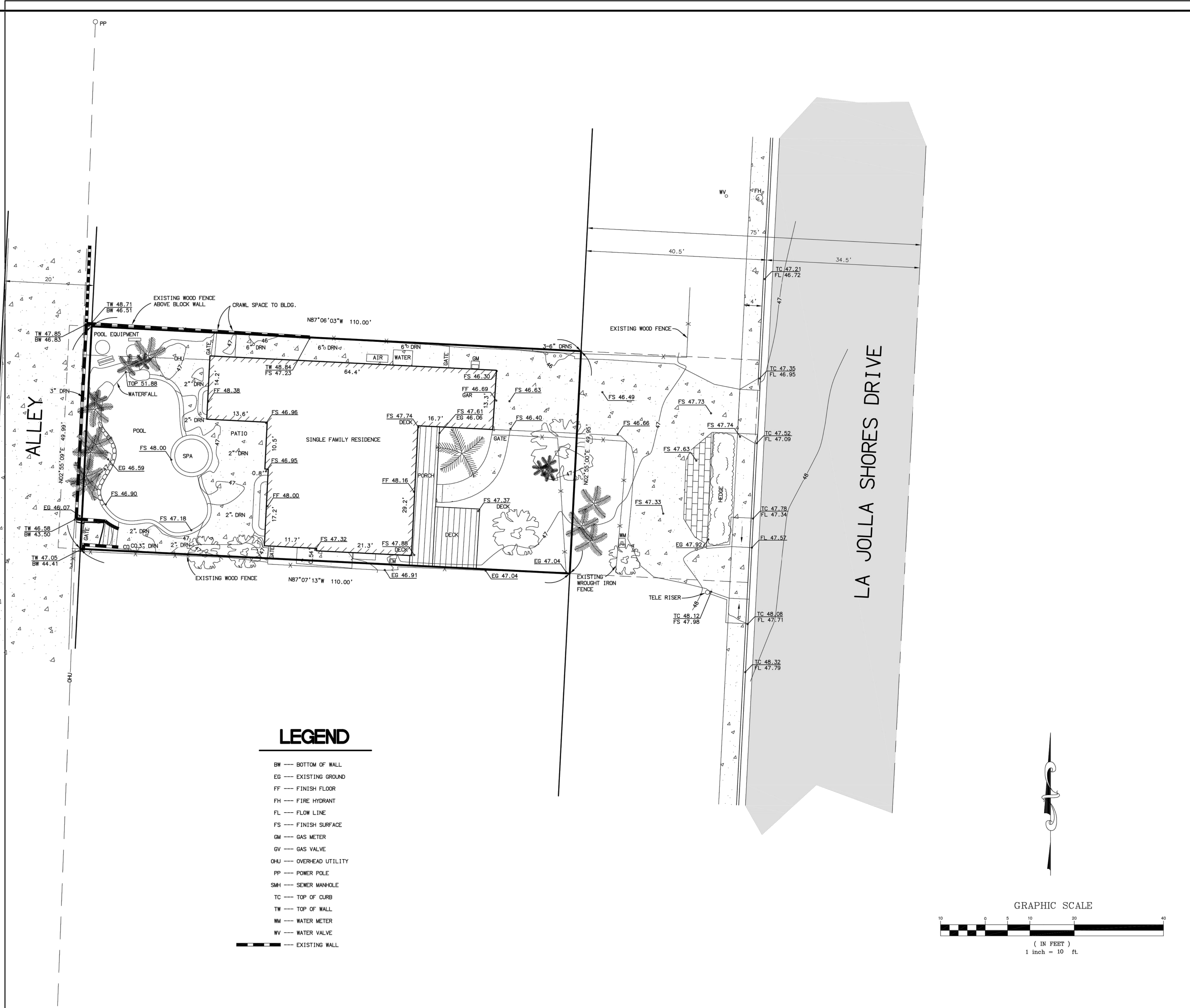
DATE:  
9-Dec-19

SHEET:  
16 OF 18

TOPOGRAPHIC MAP

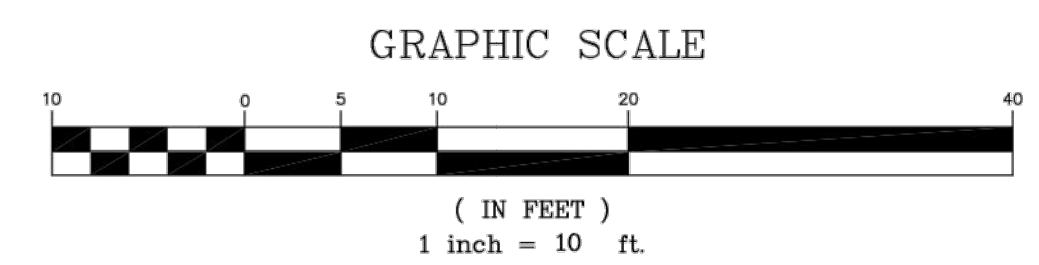
C200

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF WISE OPEN DESIGN AND WHERE CREATED, EVALUATED AND DEVELOPPED FOR USE IN THE PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SILLER GROUP CORP.

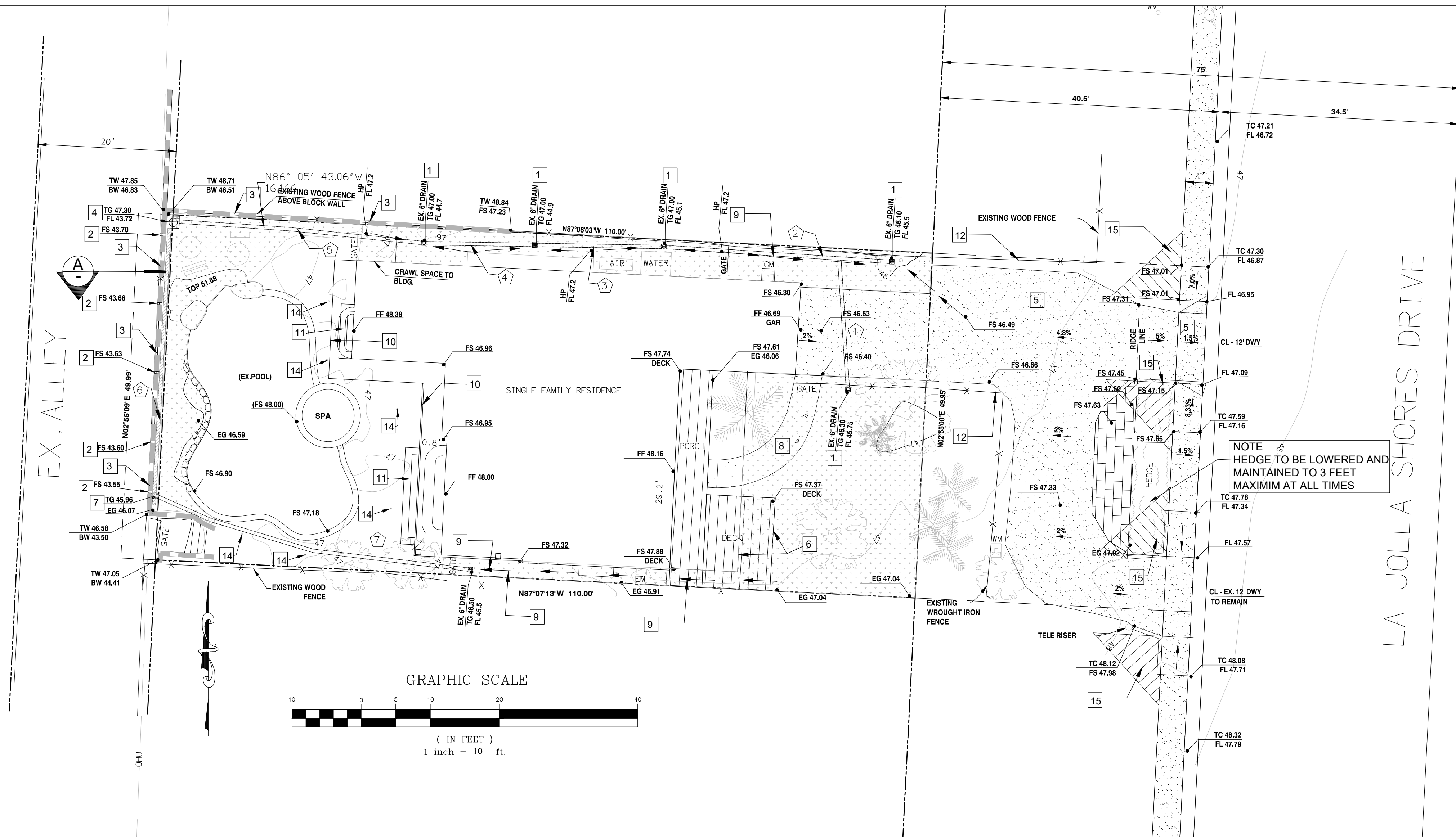


**LEGEND**

- BW --- BOTTOM OF WALL
- EG --- EXISTING GROUND
- FF --- FINISH FLOOR
- FH --- FIRE HYDRANT
- FL --- FLOW LINE
- FS --- FINISH SURFACE
- GM --- GAS METER
- GV --- GAS VALVE
- OHU --- OVERHEAD UTILITY
- PP --- POWER POLE
- SMH --- SEWER MANHOLE
- TC --- TOP OF CURB
- TW --- TOP OF WALL
- WM --- WATER METER
- WV --- WATER VALVE
- EXISTING WALL



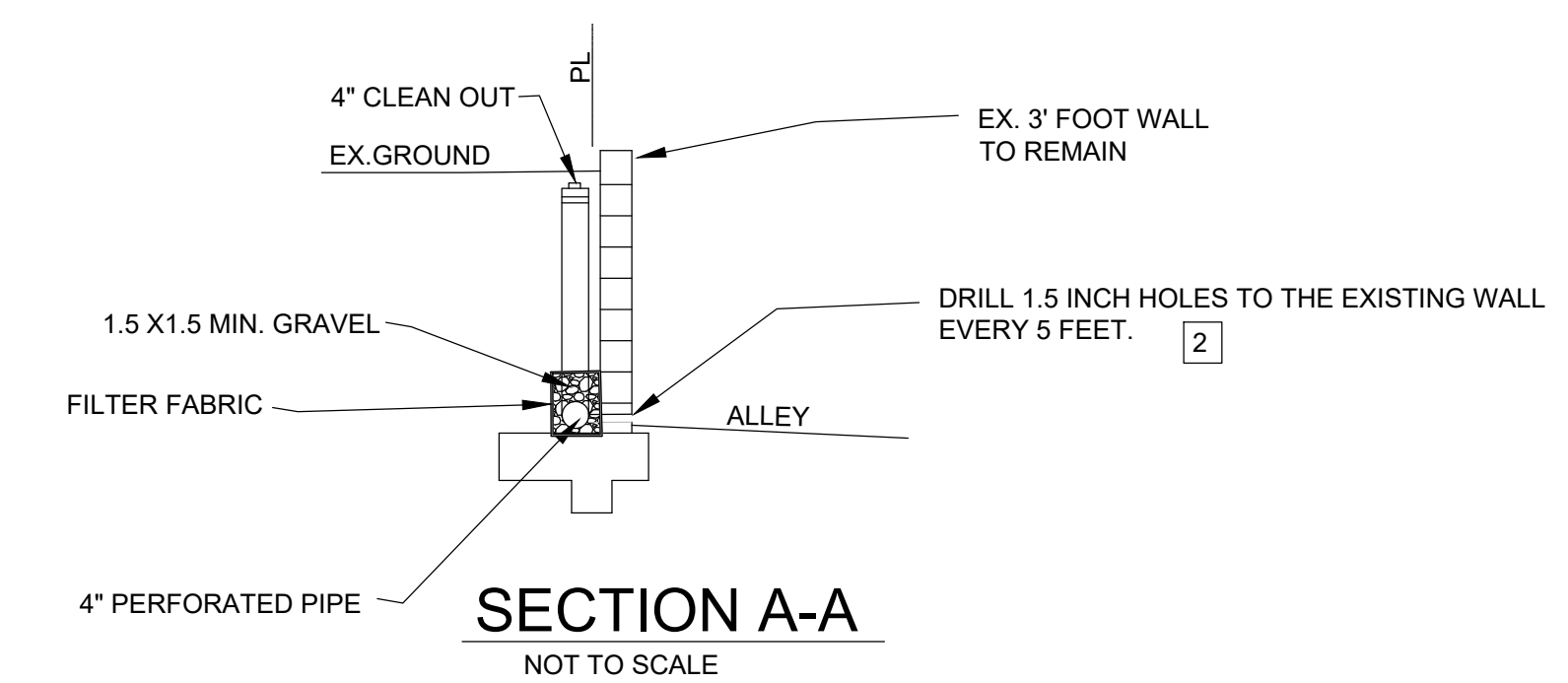




PRIVATE STORM DRAIN DATA TABLE

NO.	DELTA/BRG.	RADIUS	LENGTH	REMARKS
1	N03°45'18"E	-	18.34'	EX. 4" PVC PIPE
2	N86°13'07"W	-	32.40'	EX. 4" PVC PIPE
3	N86°06'03"W	-	17.93'	EX. 4" PVC PIPE
4	N86°06'03"W	-	15.63'	12" PVC PIPE
5	N84°01'37"W	-	48.63'	EX. 4" PVC PIPE
6	N03°43'12"E	-	40.30'	NEW 4" PVC PIPE
7	N83°05'03"W	-	47.32'	EX. 4" PVC PIPE

NOTE  
HEDGE TO BE LOWERED AND  
MAINTAINED TO 3 FEET  
MAXIMUM AT ALL TIMES



**LEGEND**

- BW --- BOTTOM OF WALL
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- WV --- WATER VALVE
- EXISTING WALL

**CONSTRUCTION NOTES:**

- 1 EXISTING 6 INCH DRAIN TO BE ADJUST TO GRADE.
- 2 DRILL 1.5 INCH HOLES TO THE EXISTING WALL EVERY 10 FEET.
- 3 EX. RETAINING WALLS TO REMAIN IN PLACE
- 4 12"x 12" CATCH BASIN
- 5 12' NEW DRIVEWAY PER SDG 162
- 6 REMOVE EXISTING PORTION OF DECK
- 7 STORMDRAIN CLEANOUT
- 8 REMOVE EXISTING CONCRETE
- 9 EARTH GRADED SWALE AT 2.0% MIN.
- 10 NEW ADDITION SEE ARCHITECT PLANS
- 11 NEW STAIRS PER ARCHITECT PLANS
- 12 EX. FENCE TO REMAIN
- 13 DOWNSPOUT SHALL BE DIRECTED TO LANDSCAPE
- 14 EX. 2" DRAIN TO REMAIN IN PLACE
- 15 SIGHT TRIANGLES

**TOTAL AREAS IMPERVIOUS AND PERVIOUS**

- (A) TOTAL AREA = 7,215 SQFT
- (B) TOTAL DISTURBANCE AREA = 1,295 SQFT
- (C) EXISTING AMOUNT OF PERVIOUS AREA: 2,106 SQFT
- (D) EXISTING AMOUNT OF IMPERVIOUS AREA: 5,109 SQFT
- (E) PROPOSED AMOUNT OF PERVIOUS AREA: 2,808 SQFT
- (F) PROPOSED AMOUNT OF IMPERVIOUS AREA: 4,407 SQFT
- (G) TOTAL IMPERVIOUS AREA: 4,407 SQFT
- (H) IMPERVIOUS % DECREASE: 14%
- (I) CREATED AND OR/REPLACED IMPERVIOUS AREA: 4,407 SQFT

**EARTHWORK QUANTITIES:**

CUT QUANTITIES: 0 CY  
 FILL QUANTITIES: 0 CY  
 IMPORT: 0CY  
 EXPORT 0 CY  
 MAX CUT DEPTH: 0 FEET  
 MAX FILL DEPTH : 0 FEET

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL, ALL SUCH ACTIVITIES REQUIRE SEPARATE CONDITIONAL USE PERMIT.

NOTE : RIGHT OF WAY PERMIT MUST BE OBTAINED PRIOR TO APPROVAL OF THE BUILDING PERMIT. NON-STANDARD AND PRIVATE IMPROVEMENT REQUIRE AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA).

NOTE TO CONTRACTOR:  
 WORK IN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER SEPARATE RIGHT OF WAY PERMIT.



**ARC CONSTRUCTION ENGINEERING INC.**  
 CIVIL ENGINEERING • LAND PLANNING • SURVEYING  
 10948 ELDERWOOD LANE, San Diego, California, 92131 • 858-722-7785  
*sergio salinas*  
 SERGIO SALINAS RCE NO. 81026

Prepared By:  
 Name: ARC CONSTRUCTION & ENGINEERING INC.  
 Address: 10948 ELDERWOOD LANE  
SAN DIEGO, CA 92131  
 Phone #: (858) 722-7785  
 E-MAIL: SERG.SALINAS@ATT.NET

Project Address:  
8516 LA JOLLA DRIVE  
LA JOLLA, CA 92037

Project Name:  
BENAVENTE

Sheet Title:  
GRADING PLAN

Revision 3: \_\_\_\_\_  
 Revision 2: 12/07/19  
 Revision 1: 7/16/19  
 Original Date: 3/28/2019  
 Sheet C-300  
 PTS NO. 614175

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS	FORM I-4
<small>ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S SC-1 THROUGH SC-6. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS</small>	
SOURCE CONTROL REQUIREMENT	APPLIED?
SC-1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-2 STORM DRAIN STENCILING OR SIGNAGE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
INTERIOR PARKING GARAGES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
FOOD SERVICE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
REFUSE AREAS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
INDUSTRIAL PROCESSES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
FUEL DISPENSING AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
LOADING DOCKS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
FIRE SPRINKLER TEST WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:	

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS	FORM I-5
<small>ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S SD-1 THROUGH SD-8. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS</small>	
SITE DESIGN REQUIREMENT	APPLIED?
SD-1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-3 MINIMIZE IMPERVIOUS AREA	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-6 RUNOFF COLLECTION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:	

Prepared By:  
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Revision 3: \_\_\_\_\_  
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 Revision 1: 7/16/19  
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Sheet Title:  
EROSION CONTROL PLAN

Sheet C-400

PTS NO. 614175



**ARC CONSTRUCTION ENGINEERING INC.**  
 CIVIL ENGINEERING • LAND PLANNING • SURVEYING  
 10948 ELDERWOOD LANE, San Diego, California, 92131 • 858-722-7785  
*sergio salinas*  
 SERGIO SALINAS 8-2-2019 RCE NO. 81026