



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 13, 2020 REPORT NO. HO-20-023

HEARING DATE: May 20, 2020

SUBJECT: Rau Residence CDP/SDP, Process Three Decision

PROJECT NUMBER: [640816](#)

OWNER/APPLICANT: Andreas Rau, Owner / Island Architects, Applicant

SUMMARY:

Issue: Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to demolish an existing single-family residence and construct a new two-story, 4,007 square-foot single family residence and improvements at a site located at 6515 Neptune Place within the La Jolla Community Plan area?

Staff Recommendation: Approve Coastal Development Permit No. 2309151 and Site Development Permit No. 2415893.

Community Planning Group Recommendation: On November 7, 2019, the La Jolla Community Planning Association voted 11-0-1 to recommend approval of the project (Attachment 6).

Environmental Review: The project was determined to be exempt from the California Environmental Quality Act pursuant to Section 15302 – Replacement or Reconstruction. The environmental exemption determination for this project was made on March 12, 2020, and the opportunity to appeal the determination ended on March 26, 2020. There were no appeals to the environmental determination.

BACKGROUND

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot, single-family residence within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) area (Attachment 1). The site is not located within the First Public Roadway, however is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff). The surrounding properties are fully developed and consists of a well-established residential neighborhood (Attachment 3).

The a 0.12-acre site is in the RM-1-1 Zone, the Coastal (Appealable) Overlay Zone, the Parking Impact Overlay Zone – Coastal Impact, the Transit Area Overlay Zone, the Transit Priority Area, the Residential Tandem Overlay Zone, and the Coastal Height Limitation Overlay Zone. Pursuant to San Diego Municipal Code (SDMC) Sections 126.0702(a) and Section 126.0707(b), a Process Three, Coastal Development Permit is required for all coastal development of a premises within the Coastal Overlay Zone.

In addition, a Process Three, Site Development Permit is required for the development of a single dwelling unit on an individual lot equal to or less than 15,000 square feet that can potentially impact environmentally sensitive lands, per SDMC Section 143.0110. SDMC Section 113.0103 defines a sensitive coastal bluff as meaning a coastal bluff that is designated within Geologic Hazard Category numbers 41 through 47, inclusive on the City's Geologic Hazard Maps, plus the area of an additional 100-foot strip located landward and contiguous to the coastal bluff edge. Since the project is located within Geologic Hazard Category 43, it is considered to be located within a sensitive coastal bluff.

DISCUSSION

The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements. The project site is designated for very low density residential uses (0-5 dwelling units per acre), and the project is consistent with this land use designation. There is no public view or coastal access from the project site, as identified in the Community Plan.

The Residential Land Use Element of the Community Plan recommends addressing transitions between the bulk and scale of new and older development in residential areas, and to maintain the existing 30-foot height limit. In addition, the Community Plan recommends that structures with front and side yard facades that exceed one story should slope or step back additional stories, up to the 30-foot height limit to allow flexibility while maintaining the integrity of the streetscape and providing adequate amounts of light and air. The project conforms with the above-mentioned Community Plan recommendations. In addition, the relationship between the bulk and scale of the project with the adjacent residential development is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. No deviations or variances are required.

The project will not encroach into the coastal bluff or adversely impact any environmentally sensitive lands. In addition, the project will not be detrimental to the public health, safety, and welfare. The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscape improvements, reconstructing the existing curbs with a City standard curb and gutter adjacent to the site on Neptune Place and Vista del Mar, reconstructing the existing driveway with a new 12-foot wide City standard driveway on Vista del Mar, entering into an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscaping along the right-of-way on Neptune Place and Vista Del Mar Avenue, requiring a geotechnical investigation report that addresses the construction plans, and entering into a hold harmless agreement for sensitive coastal bluffs that will be recorded against title to the property.

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration. Staff recommends that the Hearing Officer approve Coastal Development Permit No. 2309151 and Site Development Permit No. 2415893 for the project.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2309151 and Site Development Permit No. 2415893 with modifications.
2. Deny Coastal Development Permit No. 2309151 and Site Development Permit No. 2415893 if the findings required to approve the project cannot be affirmed.

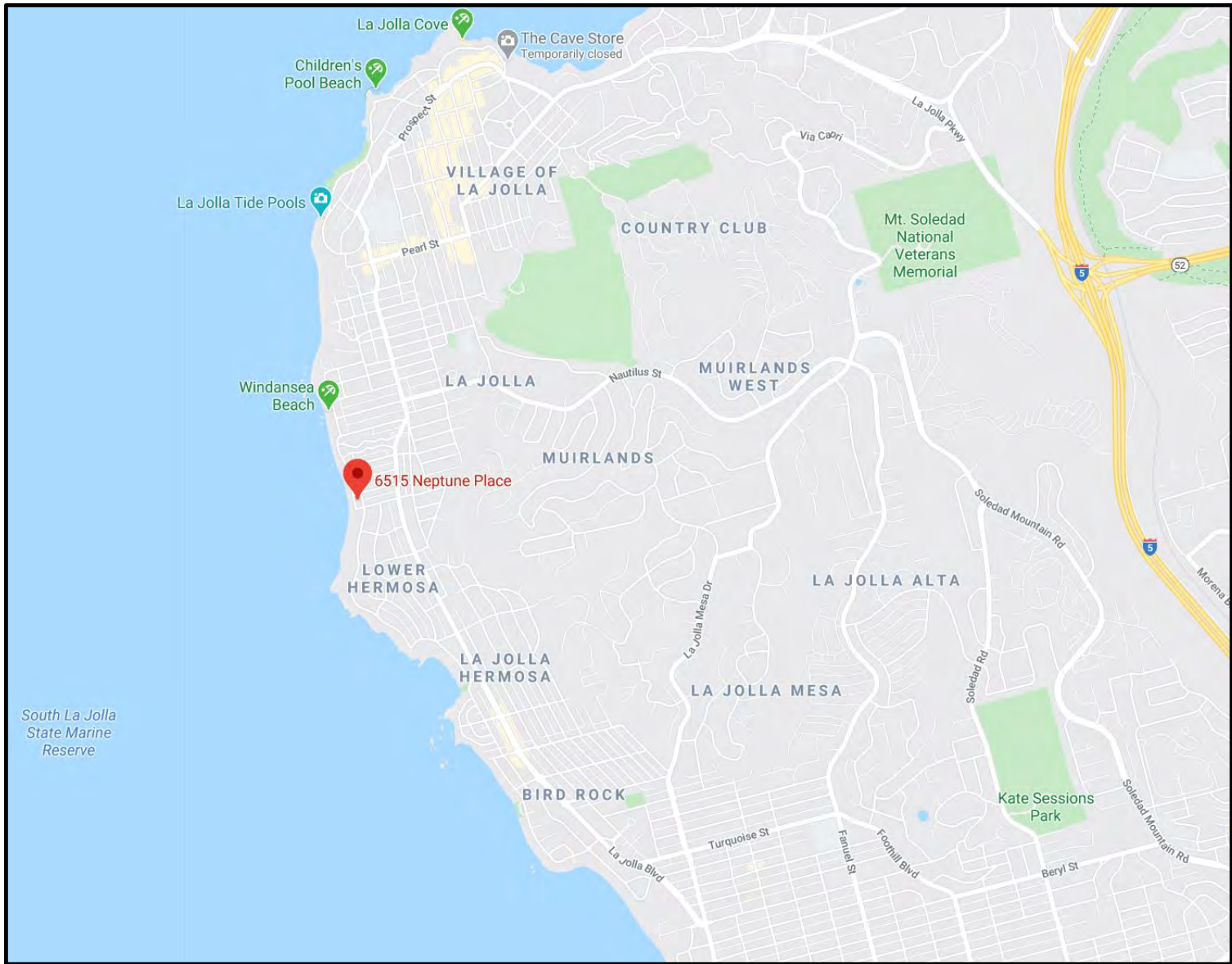
Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Xavier Del Valle", is written over a light blue rectangular background.

Xavier Del Valle, Development Project Manager

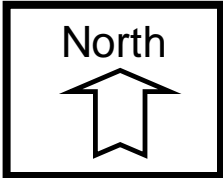
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Association Recommendation
7. Ownership Disclosure Statement
8. Project Plans



Project Location Map

Rau Residence CDP/SDP
Project No. 640816 – 6515 Neptune Place



- Legend
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities

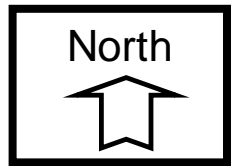


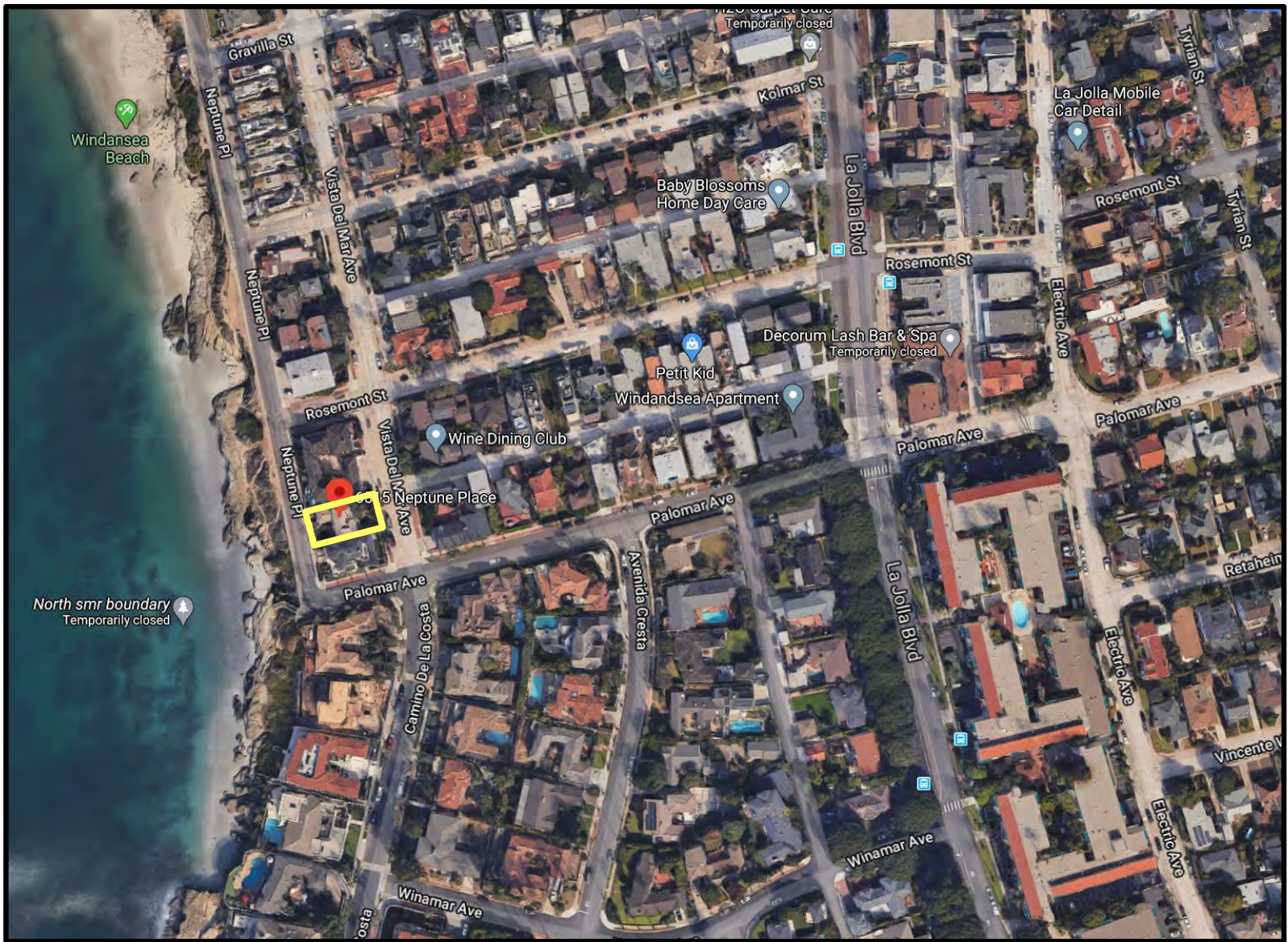
Project Site



Land Use Map

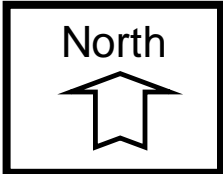
Rau Residence CDP/SDP
 Project No. 640816 – 6515 Neptune Place





Aerial Photograph

Rau Residence CDP/SDP
Project No. 640816 - 6515 Neptune Place



HEARING OFFICER RESOLUTION NO. _____
Coastal Development Permit No. 2309151
Site Development Permit 2415893
RAU RESIDENCE CDP/SDP PROJECT NO. 640816

WHEREAS, ANDREAS RAU, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a new single-family residence over basement (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2309151 and Site Development Permit 2415893), on portions of a 0.12-acre site;

WHEREAS, the project site is located at 6515 Neptune Place and is in the RM-1-1 Zone, the Coastal (Appealable) Overlay Zone, the Sensitive Coastal Overlay Zone (Coastal Bluff), the Parking Impact Overlay Zone – Coastal Impact, the Transit Area Overlay Zone, the Transit Priority Area, the Residential Tandem Overlay Zone, and Coastal Height Limitation Overlay Zone within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lots 3 and 4 in Block 14 of the La Jolla Strand in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1216, filed in the Office of the County Recorder of San Diego County, October 18, 1909, excepting therefrom that portion of said lots, if any, heretofore or now lying below the mean tide line of the Pacific Ocean;

WHEREAS, on March 12, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302, Replacement or Reconstruction and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 20, 2020, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2309151 and Site Development Permit 2415893 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2309151 and Site Development Permit 2415893:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot, single-family residence within a residential area in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements. The site is not located within the First Public Roadway, however is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff).

There are no public views or coastal access from the project site, as identified in the Community Plan. The project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. No deviations or variations are required. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements.

The site is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff), however the project will not encroach into the coastal bluff or adversely impact any environmentally sensitive lands. The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscape improvements, reconstructing the existing curbs with a City standard curb and gutter adjacent to the site on Neptune Place and Vista del Mar, reconstructing the existing driveway with a new 12-foot wide City standard driveway on Vista del Mar, entering into an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscaping along the right-of-way on Neptune Place and Vista Del Mar Avenue, requiring a geotechnical investigation report that addresses the construction plans, and entering into a hold harmless agreement for sensitive coastal bluffs that will be recorded against title to the property.

In addition, the City's environmental review determined the project to be exempt from the California Environmental Quality Act pursuant to Section 15302 – Replacement or Reconstruction. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot, single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements. The site is not located within the First Public Roadway, however is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff).

There are no public views or coastal access from the project site, as identified in the Community Plan. The project site is designated for very low density residential uses (0-5 dwelling units per acre), and the project is consistent with this land use designation. The Residential Land Use Element of the Community Plan recommends addressing transitions between the bulk and scale of new and older development in residential areas, and to maintain the existing 30-foot height limit. In addition, the

Community Plan recommends that structures with front and side yard facades that exceed one story should slope or step back additional stories, up to the 30-foot height limit to allow flexibility while maintaining the integrity of the streetscape and providing adequate amounts of light and air.

The project conforms with the above-mentioned Community Plan recommendations. In addition, the relationship between the bulk and scale of the project with the adjacent residential development is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. No deviations or variances are required. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements. The site is not located within the First Public Roadway, however is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff). There are no public views or coastal access from the project site, as identified in the La Jolla Community Plan. In addition, the project will not encroach into the coastal bluff and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot, single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements. The site is not located within the First Public Roadway, however is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff).

There are no public views or coastal access from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The project site is designated for very low density residential uses (0-5 dwelling units per acre), and the project is consistent with this land use designation. The Residential Land Use Element of the Community Plan recommends addressing transitions between the bulk and scale of new and older development in residential areas, and to maintain the existing 30-foot height limit. In addition, the Community Plan recommends that structures with front and side yard facades that exceed one story should slope or step back additional stories, up to the 30-foot height limit to allow flexibility while maintaining the integrity of the streetscape and providing adequate amounts of light and air.

The project conforms with the above-mentioned Community Plan recommendations. In addition, the relationship between the bulk and scale of the project with the adjacent residential development is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. No deviations or variances are required. Therefore, the project will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot, single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements. The project will not encroach into the coastal bluff or adversely impact any environmentally sensitive lands.

The project will not be detrimental to the public health, safety, and welfare. The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscape improvements, reconstructing the existing curbs with a City standard curb and gutter adjacent to the site on Neptune Place and Vista del Mar, reconstructing the existing driveway with a new 12-foot wide City standard driveway on Vista del Mar, entering into an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscaping along the right-of-way on Neptune Place and Vista Del Mar Avenue, requiring a geotechnical investigation report to address the construction plans, and entering into a hold harmless agreement for sensitive coastal bluffs that will be recorded against title to the property. Therefore, the project will not be detrimental to the public, health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot, single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements. The site is not located in the First Public Roadway, however is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff). The project will not encroach into the coastal bluff or adversely impact any environmentally sensitive lands. In addition, the project complies with all the development standards required by the RM-1-1 Zone, including height, density, building setbacks, lot coverage, and parking. No deviations or variances are requested for the development. Therefore, the project will comply with the regulations of the Land Development Code.

2. Supplemental Findings – Environmentally Sensitive Lands Findings:

- a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements.

The site is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff), however the project will not encroach into the coastal bluff or adversely impact any sensitive environmentally sensitive lands. The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscape improvements, reconstructing the existing curbs with a City standard curb and gutter adjacent to the site on Neptune Place and Vista del Mar, reconstructing the existing driveway with a new 12-foot wide City standard driveway on Vista del Mar, entering into an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscaping along the right-of-way on Neptune Place and Vista Del Mar Avenue, requiring a geotechnical investigation report that addresses the construction plans, and entering into a hold harmless agreement for sensitive coastal bluffs that will be recorded against title to the property.

In addition, the project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. No deviations or variations are required. The City’s environmental review determined the project to be exempt from

the California Environmental Quality Act pursuant to Section 15302 – Replacement or Reconstruction. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements.

The project will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards. Although the site is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff), the project will not encroach into the coastal bluff or adversely impact any environmentally sensitive lands. A Preliminary Geotechnical Investigation prepared for the site concluded that there are no geologic hazards on or near the site that would prohibit the construction of the project. Drainage for the project complies with City’s drainage regulations and standards. Specifically, drainage is directed into the public right of way along Neptune Place through the installation of a curb and gutter. There are no flood hazards at the site, and the project does not require brush management, per SDMC section 142.0412.

In addition, the Project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscape improvements, reconstructing the existing curbs with a City standard curb and gutter adjacent to the site on Neptune Place and Vista del Mar, reconstructing the existing driveway with a new 12-foot wide City standard driveway on Vista del Mar, entering into an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscaping along the right-of-way on Neptune Place and Vista Del Mar Avenue, requiring a geotechnical investigation report that addresses the construction plans, and entering into a hold harmless agreement for sensitive coastal bluffs that will be recorded against title.

The City’s environmental review determined the project to be exempt from the California Environmental Quality Act pursuant to Section 15302 – Replacement or Reconstruction. Therefore, the proposed development will minimize the alteration of natural forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impact on any adjacent environmentally sensitive lands.

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements.

The site is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff), however the project will not encroach into the coastal bluff or adversely impact any environmentally sensitive lands. The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscape improvements, reconstructing the existing curbs with a City standard curb and gutter adjacent to the site on Neptune Place and Vista del Mar, reconstructing the existing driveway with a new 12-foot wide City standard driveway on Vista del Mar, entering into an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscaping along the right-of-way on Neptune Place and Vista Del Mar Avenue, requiring a geotechnical investigation report that addresses the construction plans, and entering into a hold harmless agreement for sensitive coastal bluffs that will be recorded against title to the property.

In addition, the project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. No deviations or variations are required. Therefore, the proposed development will be sited and designed to prevent adverse impact on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements.

The project will not encroach into the coastal bluff or adversely impact any sensitive environmentally sensitive lands. Although not within the Multi-Habitat Planning Area (MHPA), the project abuts Neptune Place, which is located just west of sensitive coastal bluffs. Therefore, the project shall comply with the City's MHPA Land Use Adjacency Guidelines, which is a condition of approval for the project. The project is not subject to the Vernal Pool Habitat Conservation Plan. In addition, the City's environmental review determined the project to be exempt from the California

Environmental Quality Act pursuant to Section 15302 – Replacement or Reconstruction. Therefore, the proposed development will be consistent with the City of San Diego’s Multiple Species Conservation Program (MSCP) Subarea Plan.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements.

The project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply. Although the site is located within 100 feet of the Sensitive Coastal Overlay Zone (coastal bluff), the project will not encroach into the coastal bluff or adversely impact any environmentally sensitive lands. The project is categorized as a standard storm water project and is required to implement low impact development and source control best management practices (BMPs) to treat all water outletting into the public systems. In addition, a Preliminary Geotechnical Investigation prepared for the site concluded that the proposed improvements have a setback of over 40 feet from the bluff edge suitable to preclude erosion of the bluff and that the project will not destabilize or result in settlement of adjacent properties if the recommendations presented in the report are implemented.

In addition, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscape improvements, reconstructing the existing curbs with a City standard curb and gutter adjacent to the site on Neptune Place and Vista del Mar, reconstructing the existing driveway with a new 12-foot wide City standard driveway on Vista del Mar, entering into an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscaping along the right-of-way on Neptune Place and Vista Del Mar Avenue, requiring a geotechnical investigation report that addresses the construction plans, and entering into a hold harmless agreement for sensitive coastal bluffs that will be recorded against title to the property. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonable related to, and calculated to alleviate, negative impacts created by the proposed development.

The project site is located at 6515 Neptune Place, and is developed with a two-story, 2,155 square-foot single-family residence within a residential area in the La Jolla community. The project includes demolishing the existing single-family residence to construct a new two-story, 4,007 square-foot single family residence over basement

ATTACHMENT 4

with a roof terrace, site retaining walls, pool, spa, and site improvements. There is no mitigation required for the project.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2309151 and Site Development Permit 2415893 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2309151 and Site Development Permit 2415893, a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on: March 20, 2020

IO#: 24008317

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008317

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Coastal Development Permit No. 2309151
Site Development Permit No. 2415893
RAU RESIDENCE CDP PROJECT NO. 640816
Hearing Officer

This Coastal Development Permit No. 2309151 and Site Development Permit No. 2415893 is granted by the Hearing Officer of the City of San Diego to ANDREAS RAU, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708 and 126.0505. The 0.12-acre site is located at 6515 Neptune Place and is in the RM-1-1 Zone, the Coastal (Appealable) Overlay Zone, the Sensitive Coastal Overlay Zone (Coastal Bluff), the Parking Impact Overlay Zone – Coastal Impact, the Transit Area Overlay Zone, the Transit Priority Area, the Residential Tandem Overlay Zone, and Coastal Height Limitation Overlay Zone within the La Jolla Community Plan area. The project site is legally described as Lots 3 and 4 in Block 14 of the La Jolla Strand in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1216, filed in the Office of the County Recorder of San Diego County, October 18, 1909, excepting therefrom that portion of said lots, if any, heretofore or now lying below the mean tide line of the Pacific Ocean.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new single-family residence over basement described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 20, 2020, on file in the Development Services Department.

The project shall include:

- a. Demolishing the existing single-family residence and constructing a new two-story, 4,007 square-foot single family residence over basement with a roof terrace, site retaining walls, pool, spa, and site improvements; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 4, 2023.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until the Owner/Permittee signs and returns the Permit to the Development Services Department, and the Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond to reconstruct the existing curb with a City standard curb and gutter adjacent to the site on Neptune Place, in a manner satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond to reconstruct the damaged portions of the existing curb with a City standard curb and gutter, adjacent to the site on Vista Del Mar, in a manner satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the closure of existing driveways with a City standard curb, gutter and sidewalk, adjacent to the site on Neptune Place, in a manner satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the construction of a new City standard 12-foot driveway adjacent to the site on Vista Del Mar Avenue, in a manner satisfactory to the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscape along the Neptune Place and Vista Del Mar Avenue right-of-way, in a manner satisfactory to the City Engineer.

18. The proposed drainage system as shown on the site plan is subject to approval by the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape construction documents. Any improvements shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.

22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long term maintenance of said landscaping shall be the responsibility of a Landscape Maintenance District or approved entity. All required landscaping shall be maintained in a disease, weed and litter free condition at all times consistent with the City of San Diego Landscape regulations and standards.

23. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or final inspection.

GEOLOGY REQUIREMENTS:

24. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
25. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

PLANNING/DESIGN REQUIREMENTS:

26. Prior to the issuance of any construction permits, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement for Sensitive Coastal Bluffs in accordance with SDMC section 143.0143, in a form and content acceptable to the Director of the Development Services Department, or designated representative, which shall provide: (a) that the Owner/Permittee understands that new accessory structures or landscape features customary and incidental to residential uses are prohibited within 5 feet of the Coastal Bluff Edge or on the face of the Bluff, as illustrated on approved plan Exhibit "A;" (b) that the Owner/Permittee understands that the site may be subject to extraordinary hazard from coastal bluff erosion, and the Owner/Permittee assumes all liability from such hazards; and (c) the Owner/Permittee unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify, and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns.
27. Owner/Permittee shall comply with the Multi-Habitat Planning Area (MHPA) Land Use Adjacency Guidelines due to the site abutting Neptune Place, which is located just west of the sensitive coastal bluffs.
28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 20, 2020, and [Approved Resolution Number].

DRAFT

ATTACHMENT 5

Permit Type/PTS Approval No.: Coastal Development Permit No. 2309151
Site Development Permit No. 2415893
Date of Approval: May 20, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Andreas Rau

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: www.lajollacpa.org

info@lajollacpa.org

President: Tony Crisafi

Vice President: Matt Mangano

2nd Vice President: Dave Gordon

Secretary: Suzanne Weissman

Treasurer: Mike Costello

FINAL MINUTES—

Regular Meeting | Thursday, 07 November 2019 – 6 p.m.

1.0 Welcome and Call to Order: Dave Gordon 2nd Vice President

This is a full agenda, recorded meeting therefore, the following rules will be enforced:

- Mobile devices off or on silent mode.
- All public and trustee comment will be addressed to the chair. Public & trustee comment will be limited to 2 minutes.
- Comments will be directed to the project or matter stated in third person for the purpose of respect & clarity
- Chair may ask for member votes. Please keep hands raised until the vote tally is announced.
- Chair will alternate order of trustee comment. Upon consensus, Chair will close discussion and call for a motion.
- Please notify chair of any organized public presentation requests prior to meeting

Quorum present: Brady, Costello, Fitzgerald, Fremdling, Gordon, Ish, Jackson, Kane, Little, Mangano, Neil, Weissman

2.0 Adopt the Agenda

Motion: Adopt agenda, (Jackson/Brady), **Vote:** Unanimous, no abstention. Motion passes

3.0 Meeting Minutes Review and Approval:

3.1 03 October 2019 – Regular meeting minutes

Motion: approve minutes, (Mangano/Fremdling), **Vote:** Unanimous. Chair abstains. Motion passes.

4.0 Consent Agenda – 4.1 – 4.5

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. Projects may be pulled from consent agenda by anyone present. Items will be moved to full review at the present of following regular LJCPA meeting.

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair David Gordon, 3rd Monday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

4.1 – Request for temporary street closure and ‘No Parking’ areas related to the 16th annual La Jolla Historical Society/La Jolla Concours d’Elegance event at Scripps Park on April 18 and 19, 2020

T&T motion to approve 8-0-0

4.2 – Request for temporary street closures and ‘No Parking’ areas related to the 39th annual Kiwanis-sponsored La Jolla half marathon based at Scripps Park on Sunday, April 26, 2020.

T&T motion to approve 8-0-0

4.3 – Request Stop Sign on Arenas St. @ Monte Vista Ave. – city endorsed sign for approaching three-way intersection.

T&T motion to approve City recommendation 8-0-0

4.4 – 6515 Neptune Place – Project No. 640816 Process 3, final review, CDP to demolish an existing single family residence & construct a new 3,960 s.f. two story, single family residence over basement with a roof terrace, site retaining walls, pool & spa and additional site improvements. The .12 acre site is in the RM-1-1 zone and coastal (appealable) overlay zone within the La Jolla Community Plan area council district 1.

DPR motion: Findings can be made to pass 5-2-1

4.5 – 5522 Beaumont St. – Project No. 645977, Process 2, preliminary review, CDP to demolish an existing 1,564 s.f. two story residence and 295 s.f. detached garage and construct a 2,500 s.f. new single family residence with garage and basement located @ 5522 Beaumont Ave. The .10 acre site is in the RS-1-7 and coastal (appealable) overlay zone of the La Jolla Community plan area, council district 1.

DPR motion: Findings can be made to approve 7-0-1

See Committee minutes and/or agenda for description of projects, deliberations, and vote.

Anyone may request a consent item be pulled for full discussion by the LJCPA.

None pulled. **Motion:** approve consent agenda, (Fitzgerald/Brady) **Vote:** unanimous, chair abstains.
Motion passes

5.0 Officer Reports:

5.1 Treasurer - Mike Costello’s report –

La Jolla Community Planning Association

Treasurer’s Report for November 7, 2019 Regular Meeting

Beginning Balance as of October 1, 2019	\$482.33
Income	
Collections, Oct. 3, 2019	\$138.00
CD Sales	\$ 0.00
Total Income	\$138.00
Expenses	
Agenda printing, Oct. 1, 2019	\$67.49

Post Office Box, Oct. 3, 2019	\$154.00
Total Expenses	\$221.49
Net Income/(Loss)	(-) \$83.49
Ending Balance of October 31, 2019	\$398.84

5.2 Secretary -

If you want your attendance recorded today, you should sign in at the back of the room or let me know that you want your attendance recorded. You are welcome to attend without signing in or joining.

LJCPA is a membership organization open to La Jolla residents, property owners and local business and non-profit owners at least 18 years of age.

Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: www.lajollacpa.org/.

We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March.

You can become a Member after completing the application and attending one meeting. You can maintain your membership by documented attendance at one meeting per year. If you do not attend one meeting per year, your membership will expire.

To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at **three** LJCPA meetings in the preceding 12-month period.

We are now in process to update our attendance and membership records and I call on Kathleen Neil to explain the process.

Gordon: One of the reasons we are updating now is that we have a vacancy to fill and will have an election soon.

5.2.1 Membership committee report – Neil.

The Membership committee met on Nov. 5. Our roster was last updated after the Feb. 2019 meeting and will be reviewed again in Feb. 2020.

We are trying to establish practical guidelines for implementing membership requirements according to the bylaws to assist us now and for the benefit of future members of the committee. We expect to post attendance and membership records on the website so that you can monitor your membership status and attendance. We are also an internal audit of membership application and records early in 2020 as part of good organizational practices. Your participation in the planning group helps our voices to be heard at the City and I cannot emphasize enough that your membership here is valuable. Please join if eligible. You will hear about development and city services in our community and will be able to vote in trustee elections happening soon. Applications are available in the back of the room and online.

Gordon: Keep in mind the only way we can keep track of membership is for you to sign in at the back of the room. If you don't want to use the public sign in sheet, let Donna know. We will keep your information private.

6.0 Elected Officials – Information Only

6.1 Council District 1: Councilmember Barbara Bry.

Rep: Mauricio Medina, 619-236-6611, mauriciom@sandiego.gov

Medina:

- o Passed out Bry Bulletin for November.

- The big ticket item in Nov. is the sale of Qualcomm Stadium to SDSU. You are all encouraged to participate in this process.
- An update: the San Diego fire department will inspect the bike path for brush overgrowth. They have issued notice to comply with transportation and storm water requirements and are working on getting a contract out to perform the work.
- Fire safety is important to Council President pro tem, Bry and staff went out with Ready, Set, Go guys from the fire department brush management to checkout areas around Mt. Soledad and LJ Mesa Dr.
- Contact our office for more information.
- This is my last meeting with LJCPA; I will assume a new role as Budget Committee consultant.
- The new 'bow tie' guy will be Steve Hadley.

Kane: I have noticed lots of new slurry seal done, but Hillside Dr. was skipped. I want to make sure that is still on the agenda. The other thing is that I haven't heard any more about signs on Hillside Dr. for truck weight at Soledad and Via Sienna. Don't drop those items off the agenda.

Medina: I will work with Steve to make sure things don't fall through the cracks. Some streets need more substantial treatment and is in process.

Hadley: We have been talking with City Chief Operating officer; they are working with T & T about numerous signs on Torrey Pines Rd. and want to add length of truck to weight restrictions on the signs and to add more signs on the top of the hill. They are also encouraging more tickets.

6.2 78th Assembly District: Assembly member Todd Gloria

Rep: Mathew Gordon 619-645-3090, mathew.gordon@asm.ca.gov Not present

6.3 39th Senate District: State Senator Toni Atkins, Senate President pro Tempore Rep: Miller Saltzman, 619-518-8188, MillerSaltzman@sen.ca.gov

Saltzman: I am the representative from Toni Atkin's office replacing Chevelle Tate. The big legislative issues for the year just completed are:

- The January budget has allocated \$2.5 billion for homelessness, affordable housing and infrastructure including \$100 million here is San Diego plus another \$1.5 million from a bill in 2017 bringing funds to the county for homeless issues.
- Another big item: AB 1482 requiring landlords to provide a just cause for eviction, also rent increases capped at 5% + inflation.
- Also included are millions for disaster relief efforts as fires are now year-round events impacting everyone.
- AB 5 makes independent contractors employees clarifying a 2018 Supreme Court decision.
- College athletes can now be paid and the NCAA has decided to go along with this change.
- Reminder that the "Real ID's" are required in 2020; the Governor has hired new employees at DMV to implement this process.
- Covered California open for enrollment. Flyers in back of room.
- Community College is now free for 2 years.
- The annual pet food drive is held during the 1st half of November.

Costello: The 1970's efforts to reduce fuel for fires, brush clearing have been ignored. What happened to those efforts: **Reply:** a part of the budget included a lot of money for brush management.

Gordon: Would you come back next month with more information?

Kane: Please thank Toni Atkins for the Historic Tax Credit Bill.

7.0 President's Report – Information only unless otherwise noted

7.1 The City Council unanimously approved the Bernate/Ticino Environmental document on October 7, 2019

7.2 The City Council denied the Hershfield Residence Environmental Appeal on October 14, 2019.

7.3 Brown Act Workshop Announcement: Date: November 14, 2019

Little: Is there any news on the CCR's on Prestwick Drive expiring regarding the Hershfield agreement?

Gordon: CCR's are not something we consider. As far as I know all deadlines for extension have passed.

8.0 Public Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

8.1 City of San Diego – Community Planner: Marlon Pangilinan, mpangilinan@sandiego.gov Not present.

Courtney arrives; reflected in vote count

8.2 UCSD - Planner: Anu Delouri, adelouri@ucsd.edu

Delori:

- Introduce assistant: Alyssa Helper, new member of UCSD Community Planning Team.
- Updates available on plandesignbuild@ucsd.edu
- New Design and Innovation Building broke ground last month, located adjacent to new trolley stop on campus in Pepper Canyon. It is a center for design and innovation activities previously distributed across campus and will serve as a unique entrance to campus.
- Planned to open spring 2021 along with the trolley stop later that year.
- Economic Impact recently released available online.

Gordon: I attended the Chancellor's economic impact presentation; a startling fact is that the annual economic impact from UC San Diego to the San Diego area is \$16.5 billion, greater than the entire state of Arizona. UC San Diego does a good job of reaching out to the community. They always listen even if they aren't always able to comply with our requests. I appreciate the efforts of Anu and the University.

8.3 General Public

Brian Curry: I am a long time coastal resident speaking for Barbara Bry. Are you tired of being ignored? Barbara Bry understands; she is tired of being ignored also. She is the best choice for mayor. She believes in and supports Community Planning Groups while some in the City of SD want to end them. She will protect our neighborhoods from STVR's by enforcing the Code; she has called for a temporary moratorium on scooters; demanded transparency. She is a problem solver, not a career politician. It is time for a change; she needs your help. A sign- up sheet is going around.

Sharon Wampler: I am letting you now about 2 projects:

1. 5610 Bellview: a 50% project that is a total tear down. Neighbors have reported all walls removed with some attempt to add fake new walls. A senior building inspector will require a CDP. This will be coming before you.
2. 427 Sea Ridge: blocking public view corridor; the code requires view corridor on ocean front properties. After approval they moved the view corridor to the other side. The city changed after approval. Also the structure is actuals 2 complete living units separated by a wall & door. The building inspector thought this was not proper, but the ADU law has been interpreted to allow an ADU inside the house. Also this is a business; the owner is an LLC.

Ray Weiss: 1228 Park Row was heard once by DPR in Feb. 2019; they were asked to return with more information. Since then nothing has happened. They are building a concrete wall, iron fences within the PROW. There has to be a way for DPR to require and penalize those who are not responsive or don't follow up.

Dave Gordon: PRC project after one presentation the Project Manager said the project was turned off. Now DSD is letting it go through.

John Keys: 7819 Lookout Dr. The permit was issued in 2005 and has expired. Nothing has happened on the property since then – 15 years. Now the project is starting up with no evidence of a new permit. It significantly changed – 22% larger, FAR and lot coverage in excess on neighborhood norms with a pool in the front yard. How can this come to the CPA for review?

Diane Kane: I am also involved with this project and can clarify:

- It is a vacant lot; nothing done since permit in 2005.
- We suspect the permit has expired, but the City is continuing to act on it.
- None of requirements in the municipal code to activate a permit have occurred.
- No progress toward building a home for 15 years; City staff keeps extending the permit.
- We keep getting projects in LJ built years after the permit.
- With each revision the project gets bigger.
- No Substantial Conformance Review required.
- These projects never come back for community review.
- This group needs to raise these issues.
- There is no Project Manager.

Gordon: Will put on agenda for next month

Bill Robbins: The appeal for the Map project was denied, so Map will go on in La Jolla Shores. The rehab of the Rec Center playground will begin Tuesday. First the tree must be torn down to enable the basketball courts to be rebuilt. New base, concrete and surface. Should be done by Christmas Parade. We may lose bathrooms temporarily.

Harid Puentes: Running for San Diego Council District 1 because we need innovative leadership. Formerly a management consultant, did marketing for a start-up using technology to address student loan debt and as an executive with San Diego Connect. District 1 is at the core of innovation with world class research, academia; it needs innovative leadership to maintain that representation at city hall. My platform:

- Create jobs
- Address the environment
- Make the community stronger by investing and supporting groups like yours.

Steve Hadley: If you have development that has come before one of your committees and that has gone dormant and is not proceeding without coming back without finishing its work with your committees, I and the council member need to know that so that we can inquire and demand that the work be finished with due process before it proceeds on. We are strong believers in working with community groups. In establishing and finishing that work we may not be able to get the correct reading you want, but at least, can help you find out who is responsible overseeing the projects and get answers. We may not be able to get projects to move along as fast as you'd like.

Weiss: How about projects that move along faster than they should; things happening without following the code?

Hadley: Please send me the projects you have mentioned tonight so we can follow up.

9.0 Non-Agenda Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less

Jackson: The website will transition within next 24 hours without changing anything. Let me know if you can't find something. The pictures will change.

Costello: Dr. Weiss, please come to DPR, we will consider your requests.

Kane: Follow up on issues raised on Sea Ridge project:

- We have a gap in this community knowing where view corridors across private property that are required for a CDP.
- We collect them; they go to city hall; they are recorded and then fall into the ether.
- I propose to establish a new committee in LJ comprised of membership from the 4 groups that are directly concerned with this issue.
- Bird Rock Community Council: John Newsome is supportive and has provided volunteers.
- La Jolla Parks and Beaches, Ann Dynes will supply Melinda Merryweather.
- La Jolla Shores Association President, Janie Emerson is supportive.
- I am asking this group to be involved. Tony Crisafi has joined the discussion; his concern is indemnification.
- Per Tom Tomlinson, Planning Director, response from City Attorney was that as long as members of the group have attended COW workshops they are indemnified.
- I would like to come back next month with a proposal looking at how other joint committees are structured and see if we can establish this committee.

Neil: Be sure to illustrate how that committee will fit in with the bylaws.

Gordon: Put in writing to get on agenda.

10.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

10.1 Community Planners Committee - Dave Gordon

This committee (CPC) is made up of representatives from every planning group in San Diego. It is an interesting diverse group of people. Things get put on the agenda that we often don't have time to bring back to the local planning groups. At this last meeting we had 2 major items on the agenda: the 12th update to the Land Development Code and a several page list of recommendations from the task force committee, headed by Scott Sherman, addressing an audit by the City and the Grand Jury investigation about planning group reforms.

The update to the LDC was given to the CPC only a few days before the meeting. The Planning Commission asked for a decision on Oct 24, not allowing any time to bring it back to the local groups. The CPC passed a motion to delay the decision to January, but it was denied, the update passed on Oct. 24 with only a few items related to cannabis businesses left open.

The recommendations of the task force were reviewed and commented on by the CPC and the City is moving ahead with these now. One item on the list was that planning group members participate in training workshops, COW plus Brown Act, CEQA, once a year on site, not online. I commented that we are volunteers and have limited time.

Both of these items are available in detail on our website.

10.2 Coastal Access & Parking Board – didn't meet

10.3 UC San Diego advisory Committee – didn't meet.

10.4 Hillside Drive Ad Hoc Committee – Diane Kane, Chair - didn't meet

10.5 Airport Noise Advisory Committee – Matthew Price - not present

10.6 Playa Del Norte Stanchion Committee -

Courtney: Crosswalks shown on diagram requested earlier will be installed.

The following agenda items are ACTION ITEMS unless otherwise noted and may be *de novo* considerations. Prior actions by committees/boards are listed for information only.

11.0 – LCPA Review and Action Matter 11.1 – 11.3

11.1 – Valley Farm Market: Recommendations to CPA committee from PDO: Valley Farm Market – 6902 La Jolla Blvd. Project No. 647767, zone 4, CUP pursuant to SDMC 126.0303(a) for a Type 21 Off-Site General liquor License (no consumption on site) for Valley Farms Market located at 6902 La Jolla Blvd. Full hearing @ applicant’s request.

Russ Murfey: Murfey Co. native La Jollan. I bought the building 2 years ago, renovated it and it is completely leased. For 15 years the community has been asking for a specialty market; we now have Valley Farms here. The permits are almost processed and it is ready for opening. We are requesting approval for Conditional Use Permit for off- site sale of alcohol. It was approved by PDO committee unanimously as well as the ABC, Police and DPR.

Steve Pollock: We have submitted the CUP to the City and are at the final step now. First Assessment letter and 1st Cycle Issues reports were included in trustee packet.

Derek Marso: owner, Valley Farms Market. Valley Farms has been open since 1956; I’m the 3rd generation. It is my goal to be part of the community and give back as much as I can. I previously played professional football. To answer why I chose La Jolla, I had coached little league in Mission Bay, and met several local families. I was already familiar with the area as a surfer as my father lived in LJ. When this spot opened, several families I had remained in contact with suggested I would be a good fit for this community as a hands-on owner. After meeting Russ I believed our like-minded, local, family owned companies would work well together and continued with the plans.

Neil: I attended the PDO meeting and was impressed by the thorough presentation and will support.

Motion: Approve Conditional Use Permit for Valley Farms, (Brady/Mangano) Vote: Unanimous, chair abstains.

11.2 – Beach groins: Misleading advertisement in the San Diego Union Tribune and La Jolla Light calling for support for groins (i.e. breakwaters) to be built along beaches. Included a call to action to send a pre-written letter to government officials. Identity of who placed the ad is mysterious.

Suggested Action: Authorize Chairman to send letters to the Editors and Advertising Directors of the San Diego Union Tribune and La Jolla Light relaying the concerns of the La Jolla Community Planning Association regarding the misinformation and lack of transparency of these ads and request complete disclosure as to who placed the ads, their affiliation and, if necessary since the ad is of a political nature, a disclaimer.

Dave Ish presentation: Showed copies of ads running in San Diego Union Tribune 8 times in Aug/Sept, 2019 and 3 times in the La Jolla Light. Passed out a draft of letter.

This ad has stated erroneously, *“For years the California Coastal Commission has dredged sand and replaced it on our beaches as a way of dealing with beach erosion.”* It appears to be intended to rile up the public. I have traced the Text number included in the ad which led to a webpage asking for personal information and a click to send a letter supporting the building of groins along our coast to political representatives.

I tried to trace each reference in the ad (detailed in the letter) and could not find the source or any information about who is promoting and paying for these ads or what their purpose is.

Brady: Parks & Beaches approved this request to send this letter unanimously.

Mangano: Your extensive research leaves no doubt. Thank you for all your work.

Kane: Asked LJ Light reporter what type of due diligence is done for ads?

Claudia Baranowski: Freelance reporter can’t answer.

Fitzgerald: What are we asking? Misinformation or misleading information is legitimate criticism; a lot of organizations maintain their anonymity. Do these ads have any meaningful impact? **Reply:** There is misinformation here.

Motion: CPA send letter to SD Union and La Jolla Light about the misleading ads about the groins. (Neil/Fremdling) **Vote:** Unanimous, chair abstains. Motion passes

Costello: Put on next month's agenda to send letter to Barbara Bry about CPC items not going to local planning groups.

11.3 - Approve the Children's Pool SCR Appeal to the Coastal Commission

Motion: Approve Children's Pool SCR Appeal to the Coastal Commission: (Mangano/Brady) **Vote:** 10-1-2, Motion Passes

In Favor: Brady, Costello, Courtney, Fremdling, Ish, Kane, Little, Mangano, Neil, Weissman

Opposed: Fitzgerald

Abstain: Jackson, Gordon (chair)

XX. Adjourn at 7:28 pm. to next regular LJCPA Meeting: Thursday, December 5, 2019 at 6:00 pm.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Rau Residence **Project No. For City Use Only:** _____

Project Address: 6515 Neptune PL, La Jolla, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____

Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Andreas Rau Owner Tenant/Lessee Successor Agency

Street Address: 6515 Neptune PL

City: La Jolla State: CA Zip: 92037

Phone No.: 8583452938 Fax No.: _____ Email: rauandreas@me.com

Signature:  Date: 06/10/19

Additional pages Attached: Yes No

Applicant

Name of Individual: Andreas Rau Owner Tenant/Lessee Successor Agency

Street Address: 6515 Neptune PL

City: La Jolla State: CA Zip: 92037

Phone No.: 8583452938 Fax No.: _____ Email: rauandreas@me.com

Signature:  Date: 06/10/19

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: Andreas Rau Owner Tenant/Lessee Successor Agency

Street Address: 6515 Neptune PL

City: La Jolla State: CA Zip: 92037

Phone No.: 8583452938 Fax No.: _____ Email: rauandreas@me.com

Signature:  Date: 06/10/19

Additional pages Attached: Yes No

RAU RESIDENCE COASTAL DEVELOPMENT PERMIT SET

Storm Water Requirements Applicability Checklist DS-560

Project Number: 65018

SECTION 1: Construction Storm Water BMP Requirements

For projects that require a permit for construction storm water discharge, the applicant must submit a Storm Water Pollution Prevention Plan (SWPPP) and a Construction Storm Water BMP Manual.

SECTION 2: Permanent Storm Water BMP Requirements

For projects that require a permit for permanent storm water discharge, the applicant must submit a Storm Water Pollution Prevention Plan (SWPPP) and a Storm Water BMP Manual.

Part 2 of 4 - City of San Diego - Development Services - Storm Water Requirements Applicability Checklist

PART 2: Determine Construction Site Priority

1. **ASIS**

2. **High Priority**

3. **Medium Priority**

4. **Low Priority**

SECTION 3: Permanent Storm Water BMP Requirements

1. **ASIS**

2. **High Priority**

3. **Medium Priority**

4. **Low Priority**

Part 3 of 4 - City of San Diego - Development Services - Storm Water Requirements Applicability Checklist

PART 3: Determine if Project is a Priority Development Project (PDP)

1. **ASIS**

2. **High Priority**

3. **Medium Priority**

4. **Low Priority**

Part 4 of 4 - City of San Diego - Development Services - Storm Water Requirements Applicability Checklist

PART 4: Determine if Project is a Priority Development Project (PDP)

1. **ASIS**

2. **High Priority**

3. **Medium Priority**

4. **Low Priority**

DEVELOPMENT SUMMARY

1. SUMMARY OF REQUEST

DEMO OF EXISTING TWO STORY, SINGLE FAMILY RESIDENCE + CONSTRUCTION OF A NEW 4,007 S.F., TWO STORY DWELLING UNIT OVER A BASEMENT, A ROOF TERRACE, POOL AND SPA, SITE RETAINING WALLS AND ADDITIONAL SITE IMPROVEMENTS ON A 0.12 ACRE LOT.

2. STREET ADDRESS

6515 NEPTUNE PL, LA JOLLA, CA 920337

(Check one) N T S E W

Between PALOMAR AVE and ROSEMONT ST.

3. SITE AREA

Total Site Area (gross): 0.12 Ac. 5,387 SQ. FT. Sq. Ft.

Net Site Area: Ac. Sq. Ft.

(Net site area includes required streets and public dedications)

4. COVERAGE DATA

Total Building Area (ground floor): Ac. 2,073 SQ. FT.

Total Landscape/Open Space Area: Ac. 1,153 SQ. FT.

Total Hardscape/Paved Area: Ac. 2161 SQ. FT.

Allowed Floor Area Ratio (FAR): .75 Gross Floor Area (GFA) 4,007 Sq. Ft.

Proposed Floor Area Ratio (FAR): .744

5. DENSITY (Residential)

Maximum no. dwelling units allowed per zone: 1

Number of existing units to remain on site: 0

Number of proposed dwelling units on site: 1

Total number of units provided on the site: 1

6. YARD/SETBACK

Front Street Yard: Required 15/20 Ft. Proposed Ft.

Side Yard: Required 5/8 Ft. Proposed Ft.

7. PARKING

Parking Criteria: Residential

(Check one) Commercial

Industrial

Mixed Use

Other TANDEM

Total number of spaces provided by zone: 2

Total number of spaces required on-site: 2 spaces

Commercial Development:

SCOPE OF WORK

DEMO OF EXISTING TWO STORY, SINGLE FAMILY RESIDENCE + CONSTRUCTION OF A NEW 4,007 S.F., TWO STORY DWELLING UNIT OVER A BASEMENT, A ROOF TERRACE, POOL AND SPA, SITE RETAINING WALLS AND ADDITIONAL SITE IMPROVEMENTS ON A 0.12 ACRE LOT.

PROJECT INFORMATION

OWNER: ANDREAS RAU

GROSS SITE AREA: 5,387 SQ. FT.

APPROVALS:

SITE ADDRESS: 6515 NEPTUNE PL, LA JOLLA, CA 920337

PARKING REQUIREMENTS: 2

A.P.N.: 351-465-02-00

YEAR BUILT: 1931

ZONE: RM-1-1

BUILDING HEIGHT: 30'-0"

LEGAL DESCRIPTION: LOTS 3 & 4, BLOCK 14, MAP 001216, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN THE OFFICE OF THE CITY TREASURER, OCTOBER 18, 1909.

NUMBER OF STORIES: 2

FAR CALCULATIONS

INCLUDE IN GFA		
MAIN LEVEL		
MAIN LEVEL ENCLOSED SPACE	1640 SF	
GARAGE	415 SF	
UPPER LEVEL		
UPPER LEVEL ENCLOSED SPACE	1952 SF	
TOTAL BUILDING GFA	4,007 SF	
EXCLUDE FROM GFA EXCLUDED PER 113.0234		
LOWER LEVEL		
LL OPEN SPACE	100 SF	
LL CRAWLSPACE	134 SF	
LL ENCLOSED	20 SF	
UPPER LEVEL		
M. BALC	136 SF	
BALC 1	90 SF	
BALC 3	55 SF	
TOTAL EXCLUDED FROM GFA	535 SF	
TOTAL GROSS FLOOR AREA:	4,007 SF	
TOTAL FAR:	.744	
TOTAL HABITABLE:	3592 SF	
TOTAL NON-HABITABLE:	569 SF	
TOTAL BALCONIES:	281 SF	

PARCEL INFORMATION

Base Zone: RM-1-1

Overlays (check all that apply): Transit Priority Area Coastal Height Limit Coastal (City) Parking Impact (Coastal Impact) Residential Tandem Parking Transit Area.

Environmentally Sensitive Lands: Does the project site contain or is it adjacent to any site that contains any of the following Environmentally Sensitive Lands as identified in Municipal Code Section 113.0103? Yes No

Geologic Hazard Categories: 43+53 Earthquake Fault Buffer? Yes No Hazard Category: 12

Airports: FAA Part 77 Notification Area Yes No (If Yes, see Information Bulletin 520, Federal Aviation Administration Notification and Evaluation Process)

PROPOSED DEVELOPMENT RATIOS

BUILDING FOOTPRINT	2,073 SQ. FT.	38.5%
LANDSCAPE RATIO	1,153 SQ. FT.	21.4%
HARDSCAPE RATIO	2161 SQ. FT.	40.1%
LOT TOTAL:	5,387 SQ. FT.	100%

CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

- I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
- I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
- I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT/PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
- MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
- SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW
- IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
- THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4.

RESPONSIBLE CERTIFIED PROFESSIONAL NAME: EDWARD SUTTON

SIGNATURE: *Edward Sutton* DATE: 6/14/19

PLAN ANALYSIS

TYPE OF CONSTRUCTION

TYPE VB

APPLICABLE CODES

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA GREEN BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE

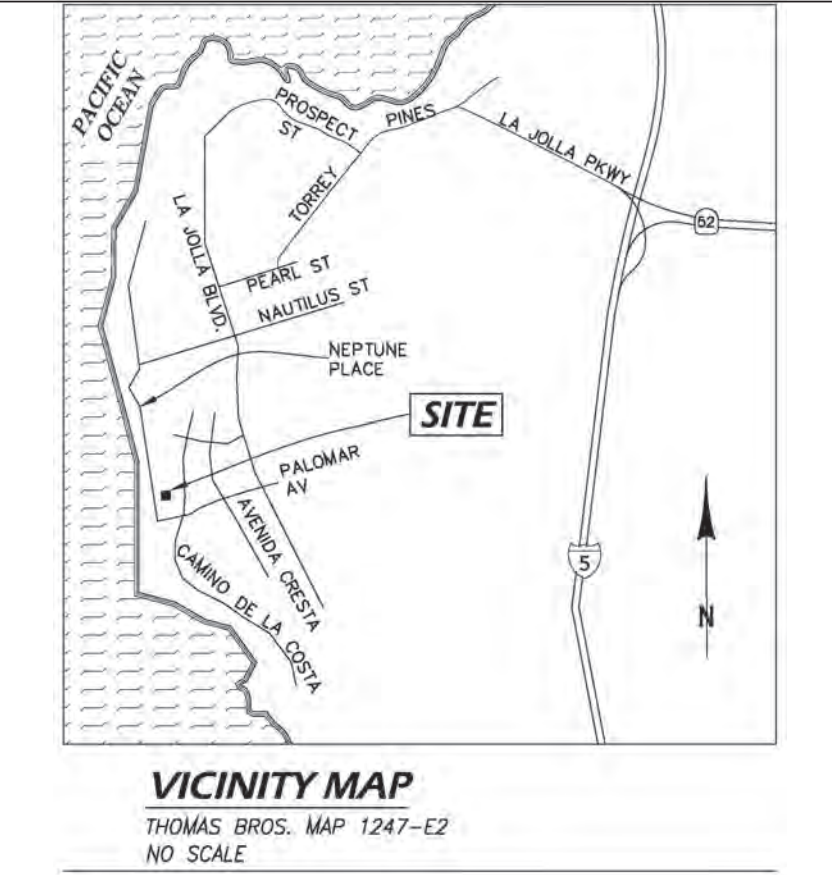
THIS PROJECT SHALL COMPLY WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24), WHICH ADOPTS THE 2015 IBC, 2015 UPC, 2015 UMC, 2014 NEC, 2015 IFC AND IBC.

THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE (ORD. 111333 NS).

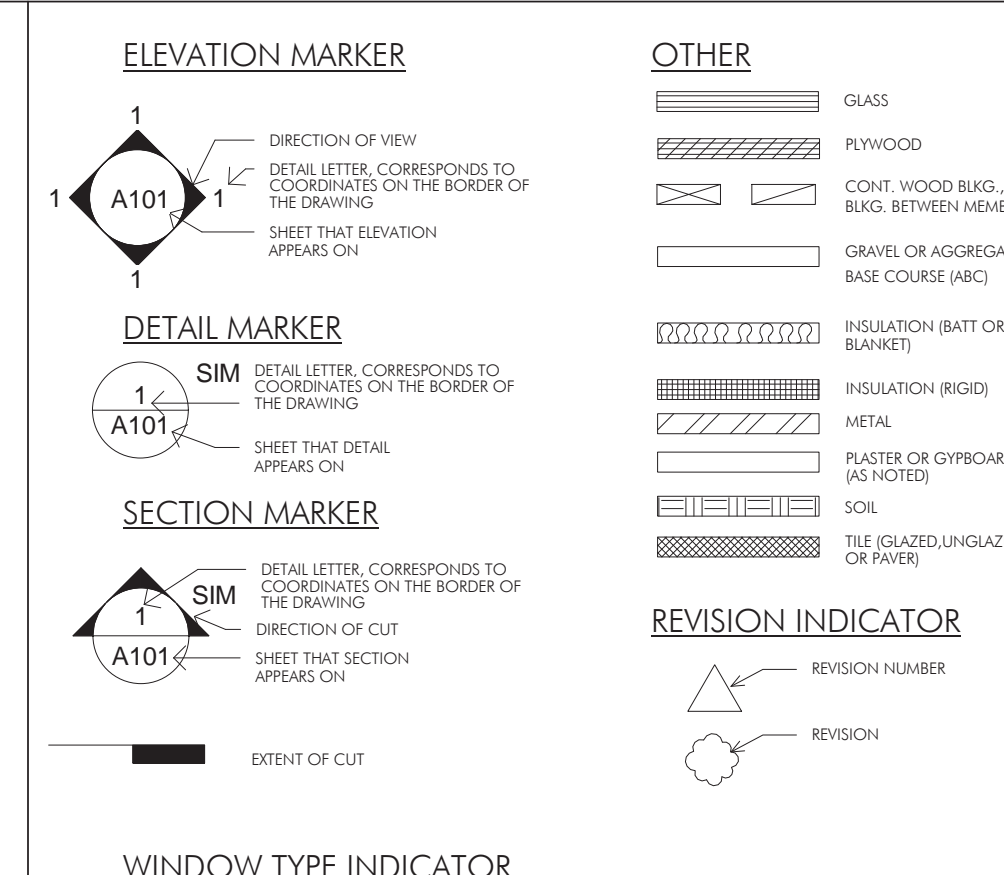
ALL REQ. PERMITS MUST BE OBTAINED FROM FIRE PLAN CHECK BEFORE THE BUILDING IS OCCUPIED.

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24, CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO

VICINITY MAP



SYMBOLS AND LEGEND



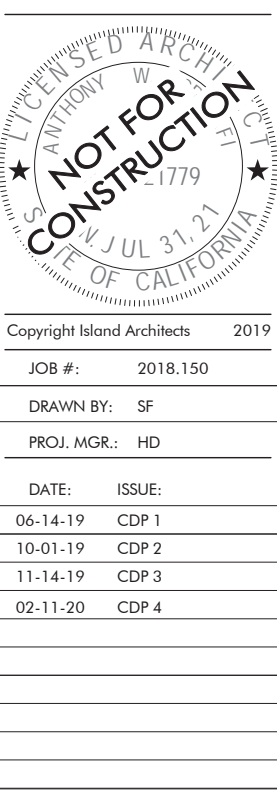
ABBREVIATIONS

GL	GLASS	O.D.	OVERFLOW DRAIN	SHR	SHOWER
GND	GROUND	OFF.	OFFICE	SHT.	SHEET
GR	GRADE	O.H.	OVERHEAD	SMB.	SIMILAR
GYP	GYPSONUM	O.H.C.	OVERHEAD CABINET	SKLT.	SKYLIGHT
GYP. BD.	GYPSONUM BOARD	OPNG.	OPENING	SKL.	SLOPE/SIDER (WINDOW)
H.B.	HOSE BIB	OPP.	OPPOSITE	SLDR.	SLIDING GLASS DOOR
HDWD.	HARDWOOD	PL.	PROPERTY LINE OR PLATE	SPEC.	SPECIFICATIONS
HDWE.	HARDWARE	PL/SH	POLE AND SHELF	SQ.	SQUARE
H.H.	HOLLOW METAL	PL. LAM.	PLASTIC LAMINATE	S.S.	STAINLESS STEEL
HR.	HOUR	PLSTR.	PLASTER	S.T.	STONE
HTR.	HEATING VENTILATING AIR CONDITIONING	PLSTR.	PLASTER	STD.	STANDARD
H.V.A.C.	HVAC	PLNTR.	PLANTER	STL.	STEEL
HORIZ.	HORIZONTAL	PLUMBING	PLUMBING	STR.	STRUCTURE
INT.	INTERIOR	PLYWD.	PLYWOOD	STRUC.TL.	STRUCTURAL
INT.	INTERIOR	P.NL.	PANEL	STRUC.T.	STRUCTURE
INT.	INTERIOR	INSUL.	INSULATION	SUSP.	SUSPENDED
INT.	INTERIOR	INT.	INTERIOR	SYM.	SYMMETRICAL
INT.	INTERIOR	INT.	INTERIOR	T.	TREAD
INT.	INTERIOR	INT.	INTERIOR	T.B.	TOYEL BAR
INT.	INTERIOR	INT.	INTERIOR	T.C.	TRASH COMPACTOR
INT.	INTERIOR	INT.	INTERIOR	T.L.	TELEPHONE
INT.	INTERIOR	INT.	INTERIOR	T.M.P.	TEMPERED GLASS
INT.	INTERIOR	INT.	INTERIOR	T.&G.	TONGUE AND GROOVE
INT.	INTERIOR	INT.	INTERIOR	THK.	THICK
INT.	INTERIOR	INT.	INTERIOR	THR.	THRESHOLD
INT.	INTERIOR	INT.	INTERIOR	T.O.C.	TOP OF CURB
INT.	INTERIOR	INT.	INTERIOR	T.P.D.	TOILET PAPER DISPENSER
INT.	INTERIOR	INT.	INTERIOR	T.V.	TELEVISION
INT.	INTERIOR	INT.	INTERIOR	T.W.	TOP OF WALL
INT.	INTERIOR	INT.	INTERIOR	TYP.	TYPICAL
INT.	INTERIOR	INT.	INTERIOR	UNF.	UNFINISHED
INT.	INTERIOR	INT.	INTERIOR	UNG.	UNDERGROUND
INT.	INTERIOR	INT.	INTERIOR	UNLS.	UNLESS NOTED OTHERWISE
INT.	INTERIOR	INT.	INTERIOR	V.P.	VERTICAL
INT.	INTERIOR	INT.	INTERIOR	V.P.	VAPOR PROOF
INT.	INTERIOR	INT.	INTERIOR	W.	WASHER OR WEST
INT.	INTERIOR	INT.	INTERIOR	W.	WITH
INT.	INTERIOR	INT.	INTERIOR	W.C.	WATER CLOSET
INT.	INTERIOR	INT.	INTERIOR	WD.	WOOD
INT.	INTERIOR	INT.	INTERIOR	W.H.	WATER HEATER
INT.	INTERIOR	INT.	INTERIOR	W/O	WITHOUT
INT.	INTERIOR	INT.	INTERIOR	W.P.	WATERPROOF
INT.	INTERIOR	INT.	INTERIOR	WT.	WEIGHT
INT.	INTERIOR	INT.	INTERIOR	WTR.	WATER

CONSULTANTS

ARCHITECTS	LANDSCAPE ARCHITECT
TONY CRISAFI, LISA KRIEDEMANN ISLAND ARCHITECTS 7626 HERSCHEL AVENUE LA JOLLA, CALIFORNIA 92037 PH: (619) 459-9291 FAX: (619) 456-0351 PROJECT MANAGER:	GREG HERBERT 3153 THIRD AVE SAN DIEGO CA 92103 PH: (619) 283-5083 FAX: (619) 283-5083
CIVIL ENGINEER	ENVIRONMENTAL (BIOLOGY)
LANDMARK CONSULTING 9555 Genesee Ave # 200, San Diego, CA 92121 PH: (858) 587-8070	GEI CONSULTANTS 2141 Palomar Airport Rd # 300, Carlsbad, CA 92011 PH: (760) 795-1960 CONTACT: JAY HEISER
SURVEYOR	
COFFEY ENGINEERING INC. 9666 BUSINESSPARK AVE SUITE 210 SAN DIEGO CA 92131 PH: (619) 831-0111	

ISLAND ARCHITECTS
TONY CRISAFI, LISA KRIEDEMANN, R.A.
7626 HERSCHEL AVENUE
LA JOLLA, CA 92037
TEL: 619-459-9291
FAX: 619-456-0351



REVISIONS

#	DESCRIPTION	DATE
---	-------------	------

RAU RESIDENCE
6515 NEPTUNE PL, LA JOLLA, CA 92037

T1

TITLE SHEET

LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE (RECORD)		$N45^{\circ}45'45"W$
RIGHT OF WAY LINE		- - - ROW - - -
STREET CENTERLINE		— C —
EXISTING CONTOUR		— 90 —
LOT LINE (OFFSITE)		— OH —
OVERHEAD UTILITIES		— OH —
EDGE OF PAVING		— OH —
EXISTING SPOT ELEVATION		100.00
BUILDING FOOTPRINT		[Symbol]
WOOD FENCE		[Symbol]
FREE STANDING WALL		[Symbol]
RETAINING WALL		[Symbol]
POWER POLE		[Symbol]
TREE; PLANT; PALM		[Symbol]
EXISTING BRUSHLINE		[Symbol]

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	GM	GAS METER
A.C.	ASBESTOS CEMENT	GV	GAS VALVE
BLK	BLOCK	H	HIGH
BRK	BRICK	ICV	IRRIGATION CONTROL VALVE
BW	GRADE AT BOTTOM OF WALL	L.P.	LOW PRESSURE
C	CENTER LINE	PLTR	PLANTER
C. CONC	CONCRETE	PVMT	PAVEMENT
C.O.	CLEANOUT	SCO	SEWER CLEANOUT
EL	ELECTRIC	SMH	SEWER MANHOLE
ELEV	ELEVATION	TEL	TELEPHONE
EM	ELECTRIC METER	TW	GRADE AT TOP OF WALL
FL	FLOW LINE	TYP	TYPICAL
F.LD BK	FIELD BOOK	WM	WATER METER

- ### NOTES
- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
 - THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
 - THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

EASEMENTS

THIS TOPOGRAPHIC SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. HOWEVER, EASEMENTS MAY BE PRESENT ON THE SUBJECT PROPERTY.

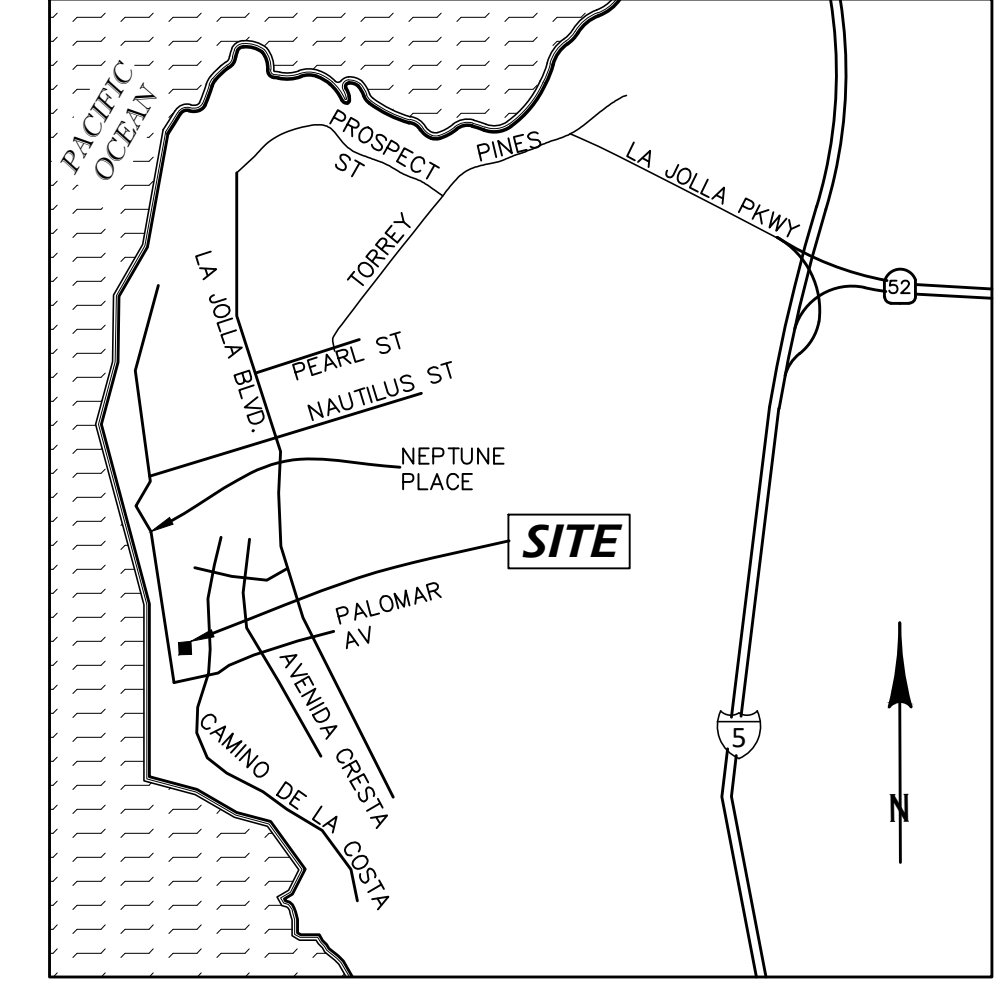
LEGAL DESCRIPTION

LOTS 3 & 4, BLOCK 14, MAP 001216, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN THE OFFICE OF THE CITY TREASURER, OCTOBER 15, 1909.

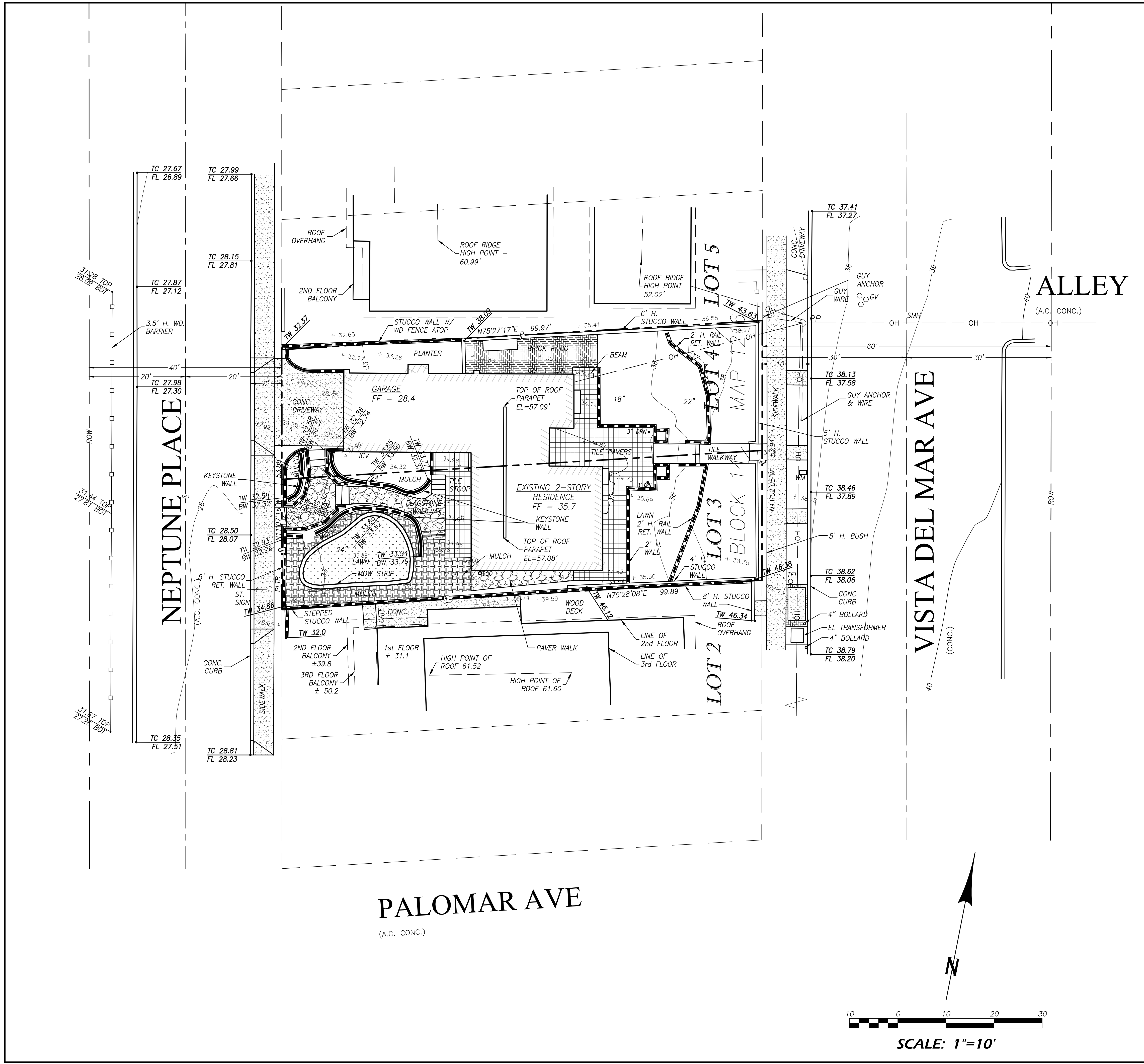
APN: 351-465-02

BENCHMARK

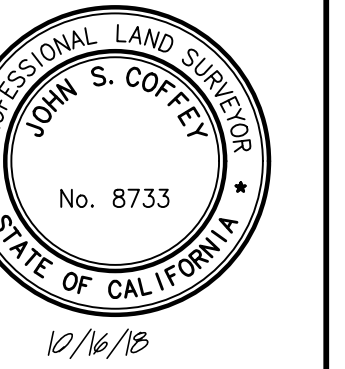
NEBP, NEPTUNE PLACE & ROSEMONT STREET
ELEV = 27.321 ; DATUM: NGVD29; CITY OF SAN DIEGO VERTICAL BENCHMARK BOOK.



VICINITY MAP
THOMAS BROS. MAP 1247-E2
NO SCALE



COFFEY ENGINEERING, INC.
 9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858)831-0111 FAX (858)831-0179



Rau Residence
 6515 Neptune Place
 La Jolla, CA 92037

TOPOGRAPHIC SURVEY

DATE OF SURVEY: 7/16/2018 SURVEY CREW CHIEF: E. Meermans

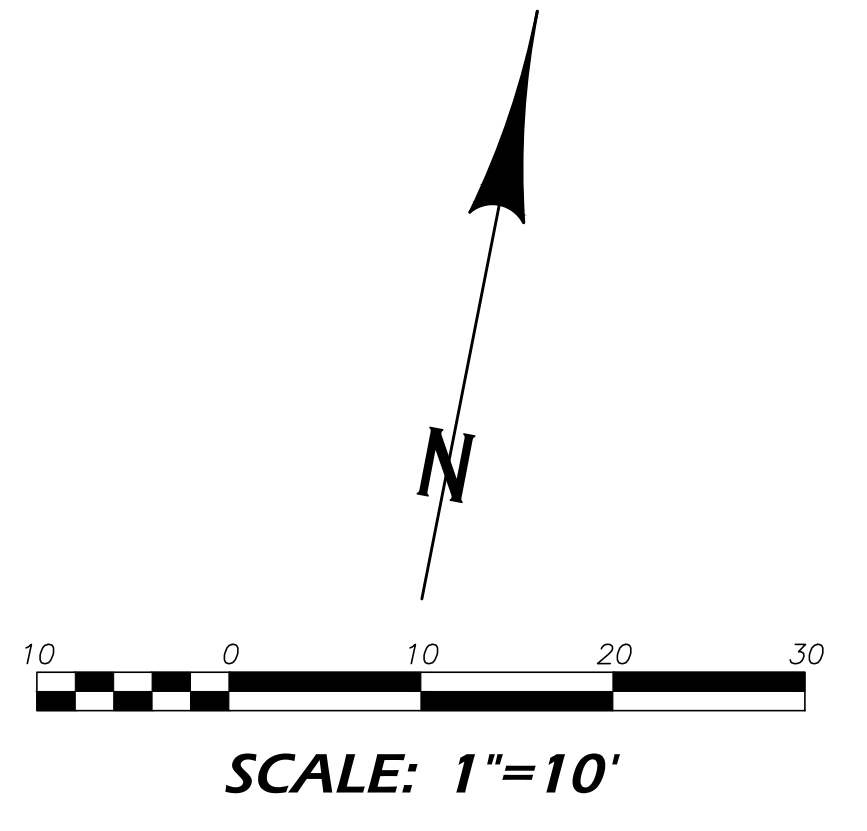
DRAWN BY:	EM/GC
CHECKED BY:	JC
ORIGINAL	10/16/18
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

Topographic Survey

SCALE: 1" = 10'

C.O.

SHT 1 OF 1 SHTS



COASTAL DEVELOPMENT PERMIT 6515 NEPTUNE PLACE

PROJECT DESCRIPTION

DEMO ONE EXISTING SINGLE FAMILY RESIDENCE AND ALL ON-SITE HARDSCAPE AND CONSTRUCT A NEW SINGLE FAMILY RESIDENCE. REQUESTED PERMIT: COASTAL DEVELOPMENT PERMIT

LEGAL DESCRIPTION

LOTS 3 & 4, BLOCK 14, MAP 001216, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN THE OFFICE OF THE CITY TREASURER, OCTOBER 15, 1909.

GENERAL NOTES

DATE OF SURVEY	7-16-18
SOURCE OF TOPOGRAPHY	COFFEY ENGINEERING, INC.
ASSESSOR'S PARCEL NO.	351-465-02
SITE ADDRESS	6515 NEPTUNE PLACE
TOTAL PROJECT AREA	0.12 AC. GROSS (5,376 SF) 0.12 AC. NET (5,376 SF)
TOTAL NO. OF EXIST. LOTS	2
TOTAL NO. OF PROP. LOTS	2
EXISTING EASEMENTS	NONE
PROPOSED EASEMENTS	NONE
NAD 27 COORDINATE	XXX-XXXX
CCS 83 COORDINATE	XXXX-XXXX
EXISTING USE	RESIDENTIAL
PROPOSED USE	RESIDENTIAL
BUILDING HEIGHT	21'
NUMBER OF STORIES	2
YEAR EX. BUILDING CONSTRUCTED	1931
TRANSIT STOPS	NONE ALONG FRONTAGE

ZONING

EXISTING & PROP. ZONE	RM-1-1
COMMUNITY PLAN	LA JOLLA
PLAN DISTRICT	LA JOLLA
OVERLAY ZONES:	COASTAL, TRANSIT AREA, PARKING IMPACT AREA, RESIDENTIAL TANDEM PARKING

PUBLIC UTILITIES

STORM DRAIN	CITY OF SAN DIEGO
WATER	CITY OF SAN DIEGO
SEWER	CITY OF SAN DIEGO
FIRE & POLICE	CITY OF SAN DIEGO
GAS (UNDERGROUND)	SDG&E
ELECTRICITY (OVERHEAD)	SDG&E
CABLE TV (OVERHEAD)	COX CABLE
TELEPHONE (OVERHEAD)	AT&T
SCHOOL DISTRICTS	SAN DIEGO UNIFIED

NOTE: ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND

GRADING DATA

GRADED AREA	0.12 ACRES	MAX. CUT DEPTH	4.7 FEET
CUT QUANTITIES	70 CY	MAX. CUT SLOPE HEIGHT & RATIO	N/A
FILL QUANTITIES	204 CY	MAX. FILL DEPTH	4.9
IMPORT	134 CY	MAX. FILL SLOPE HEIGHT & RATIO	N/A
		IMPERVIOUS AREA	3,899 SF
		RETAINING WALLS	N/A

BENCH MARK

DESCRIPTION: CITY OF SAN DIEGO BRASS PLUG
LOCATION: NEBP, NEPTUNE PLACE & ROSEMONT STREET
ELEVATION: 27.321
DATUM: NGVD29; CITY OF SAN DIEGO VERTICAL BENCHMARK BOOK

ARCHITECT:

ISLAND ARCHITECTS
7626 HERSHEL AVENUE
LA JOLLA, CA 92037
PHONE: (858)459-9291
ATTN: TONY CRISAFI

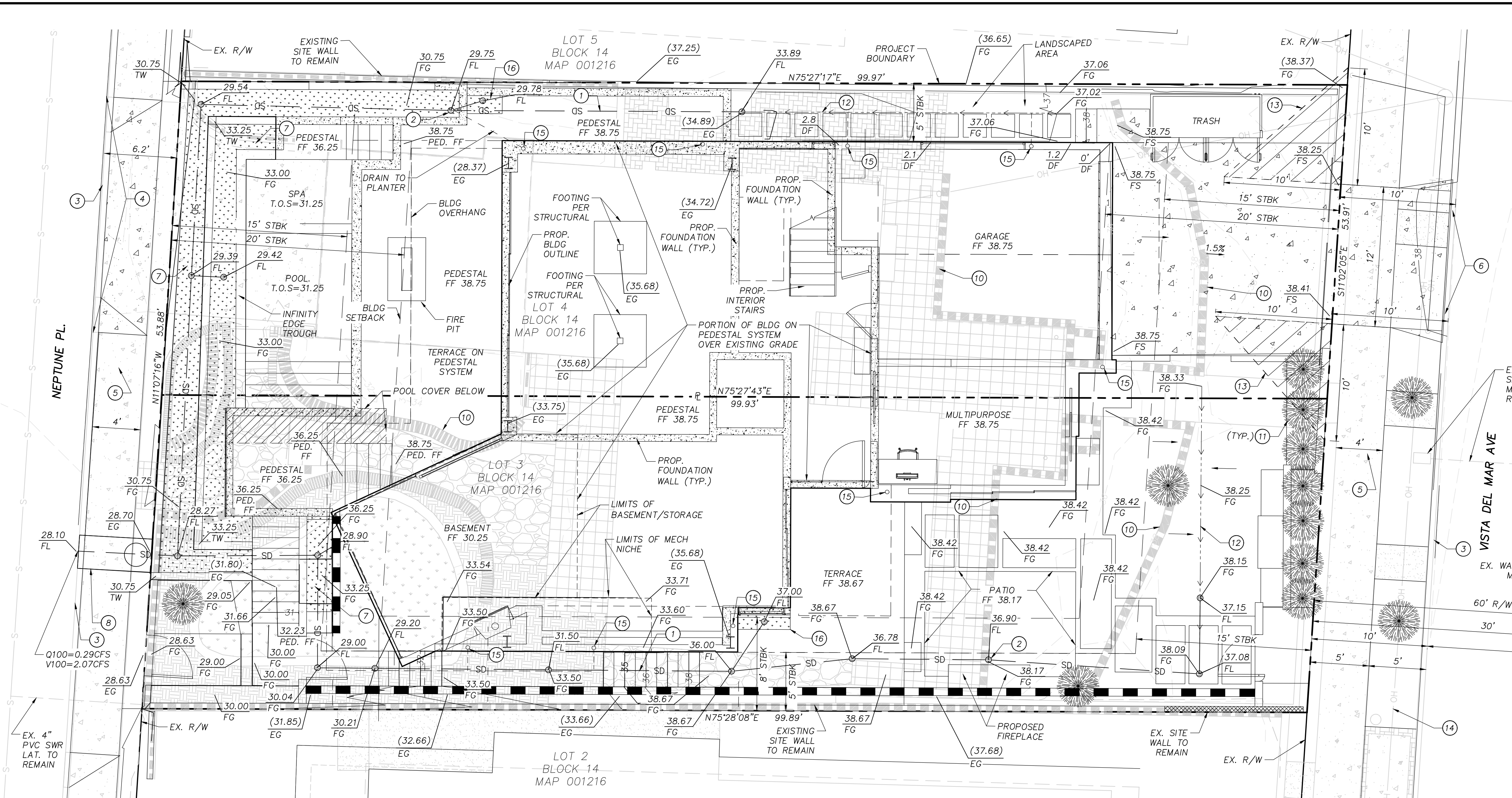
ENGINEER OF WORK/APPLICANT

LANDMARK CONSULTING
9555 GENESEE AVE, STE 200
SAN DIEGO, CA. 92121
PHONE: (858)-587-8070
FAX: (858)-587-8750

OWNER:

ANDREAS RAU
6515 NEPTUNE PLACE
LA JOLLA, CA 92037

DAVID H. YEH	PROJECT NAME: 6515 NEPTUNE PL. CDP	DATE PREPARED: JUNE 10, 2019
	SHEET TITLE: GRADING & DRAINAGE PLAN	SHEET 1 OF 1
	NO. DATE REVISION	P.T.S. NUMBER: 640816
1	06/10/2019 1ST SUBMITTAL	
2	10/1/2019 2ND SUBMITTAL	
3		



LEGEND

ITEM	SYMBOL
PROJECT BOUNDARY	---
RIGHT-OF-WAY	---
DIRECTION OF DRAINAGE	---
EXISTING LOT LINE	---
PROPOSED CONTOUR	101
EXISTING CONTOUR	101
EXISTING BUILDING	---
PROPOSED BUILDING	---
EXISTING CONCRETE	---
EXISTING FENCE	---
SPOT ELEVATION	101.6 FS
CURB AND GUTTER	---
EXISTING WATER METER	WM
EXISTING SEWER MAIN	S
EXISTING WATER MAIN	W
EXISTING OVERHEAD LINE	OH
EXISTING GAS LINE	G
EXISTING TREE	---
EXISTING STREET LIGHT	---
PROPOSED SUPPORTING COLUMN	I
FOUNDATION WALL	---

PROPOSED BMPs

- RUNOFF FROM ROOF DRAINS AND OTHER IMPERVIOUS AREAS WILL BE DIRECTED THROUGH LANDSCAPE AREAS BEFORE LEAVING SITE
- ALL EXPOSED AREAS WILL BE LANDSCAPED TO PREVENT SOIL EROSION AND SEDIMENT GENERATION.
- IMPERVIOUS AREAS (E.G. DRIVEWAYS, HARDSCAPE, ETC.) WILL BE KEPT CLEAN AND FREE OF POLLUTANTS.
- EFFICIENT IRRIGATION SYSTEM (E.G. DRIP IRRIGATION, RAIN SHUT OFF VALVES) SHALL BE UTILIZED.
- LANDSCAPING WILL UTILIZE PEST & DROUGHT TOLERANT SPECIES TO MINIMIZE NEED FOR IRRIGATION & PESTICIDES.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

IMPERVIOUS AREA

TOTAL DISTURBANCE AREA:	5,164 SF
TOTAL IMPERVIOUS AREA:	
EXISTING:	4,076 SF
PROPOSED:	3,899 SF
IMPERVIOUS % DECREASE:	4.9%

NOTES

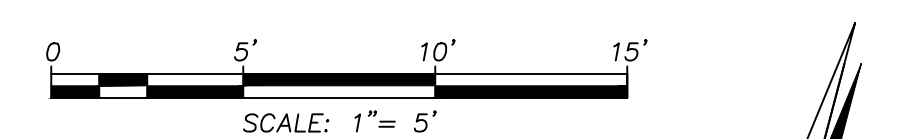
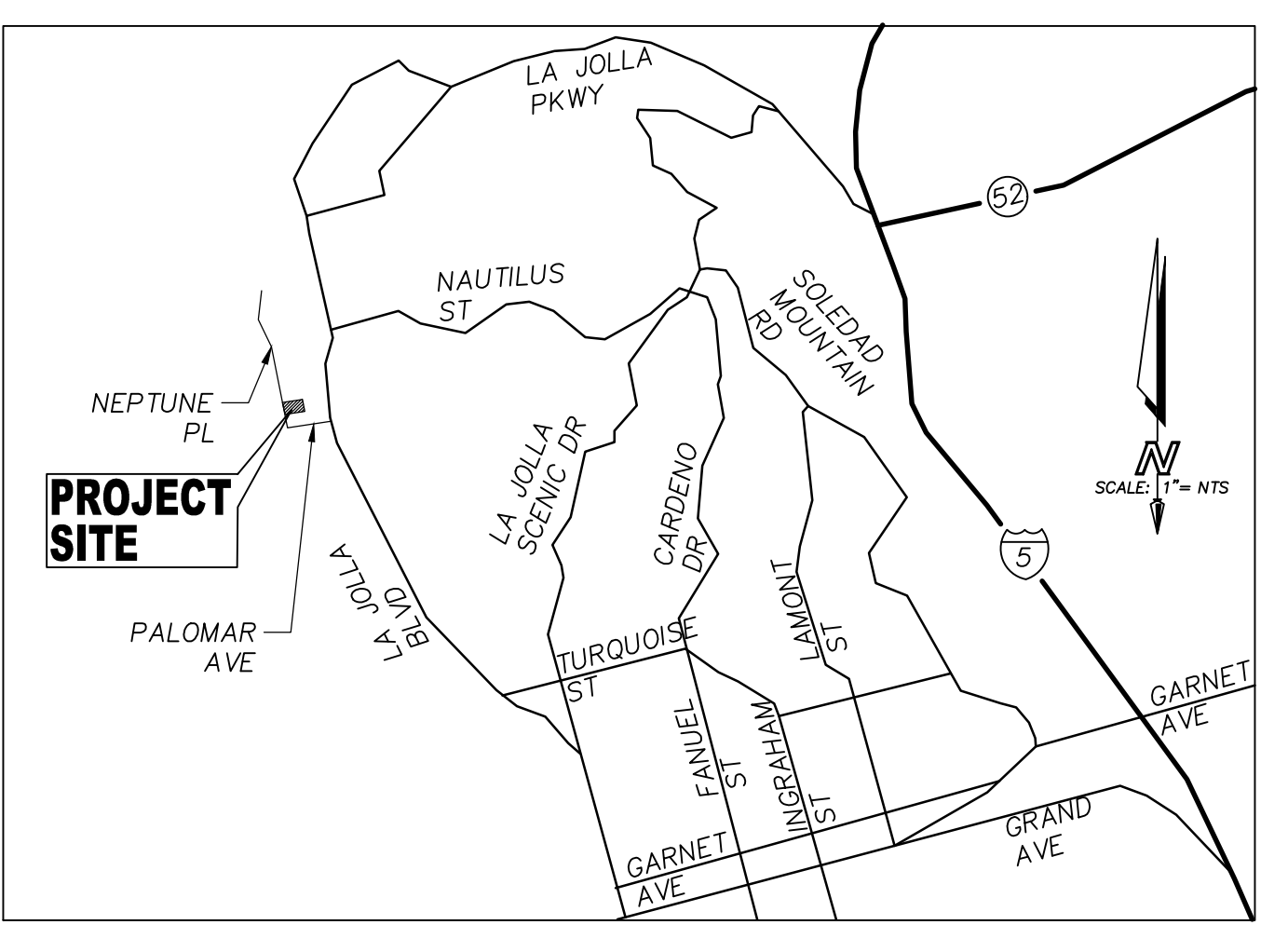
- PVT. STORM DRAIN (TYP.) AT 1% MIN
- 6" AREA DRAIN (TYP.)
- PROPOSED CRUB AND GUTTER PER SDG-151 ALONG ENTIRE FRONTAGE.
- CLOSE OFF EXISTING DRIVEWAY WITH PROPOSED CURB & GUTTER & SWLK TO MATCH ADJACENT PATTERN
- EXISTING SIDEWALK TO REMAIN
- PROPOSED 12' DRIVEWAY PER SDG-160
- PROPOSED. RAISED PLANTER
- MOD. CURB OUTLET PER D-25. MANHOLE TO BE FLUSH WITH ADJACENT GRADE. CURB OUTLET WILL REQUIRE AN EMRA
- PROPOSED PVT. RETAINING WALL
- EXISTING SITE WALL TO BE REMOVED (TYP.)
- PROPOSED TREE (TYP.)
- EARTHEN SWALE @ 1.0% MIN
- SITE VISIBILITY TRIANGLES
- EX. OVERHEAD LINES TO REMAIN
- PROPOSED CONCEALED ROOF DRAIN DOWNSPOUT
- PVT. PLANTER FLUSH WITH TERRACE ELEVATION

ABBREVIATIONS

BLDG	BUILDING
C	CENTERLINE
FF	FINISH FLOOR
FS	FINISH SURFACE
GF	GARAGE FLOOR
H.P.	HIGH PRESSURE
OH	OVERHEAD LINE
P.P.	POWER POLE
R/W	RIGHT-OF-WAY
S/W	SIDEWALK
S	STORAGE
TC	TOP OF CURB
STBK	SETBACK
SWR	SEWER
LAT.	LATERAL
PVT.	PRIVATE
PUB.	PUBLIC

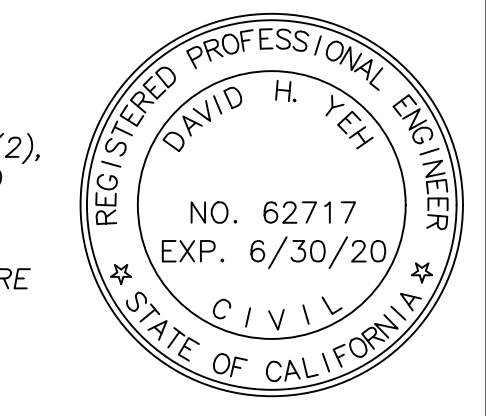
ADDITIONAL NOTES

- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMG SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT OF WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
- THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.



SETBACKS

FRONT (OPT)	15'
FRONT (STD)	20'
SIDEYARD (OPT.)	5'
SIDEYARD (STD)	8'
REAR (OPT.)	15'
REAR (STD)	15'



CONCEPT PLANT SCHEDULE

- STREET TREES - 24" BOX MINIMUM
WULCOLS MODERATE (0.4 - 0.6 ETO)
BAUHINIA X BLAKEANA / HONG KONG ORCHID TREE
METROSIDEROS EXCELSA / NEW ZEALAND CHRISTMAS TREE
ACCENT PALMS
WULCOLS LOW/MODERATE (0.1 - 0.6 ETO)
BISMARCKIA NOBILIS 'SILVER' / SILVER BISMARCK PALM
CHAMAEROPS HUMILIS / MEDITERRANEAN FAN PALM
HOWEA FORSTERIANA / KENTIA PALM (MODERATE WATER)
PHOENIX CANARIENSIS / CANARY ISLAND DATE PALM
RHAPIS EXCELSA / LADY PALM (MODERATE WATER)
ACCENT TREE - 24" BOX MINIMUM
WULCOLS LOW (0.1 - 0.3 ETO)
ALOE X 'HERCULES' / HERCULES ALOE
DRACAENA DRACO / DRAGON TREE
JUNIPERUS CHINENSIS 'TORULOSA' / HOLLYWOOD JUNIPER
OLEA EUROPAEA / OLIVE MULTI-TRUNK
SHRUBS - LARGE - SCREENING - BAMBOO/PALM
WULCOLS MODERATE (0.4 - 0.6 ETO)
BAMBUSA MULTIPLEX 'GOLDEN GODDESS' / GOLDEN GODDESS BAMBOO
PHYLOSTACHYS NIGRA / BLACK BAMBOO
SHRUBS - LARGE - SCREENING
WULCOLS LOW/MODERATE (0.1 - 0.6 ETO)
ADENANTHOS SERICEUS / WOOLLYBUSH
CESTRUM NOCTURNUM / NIGHTBLOOMING JESSAMINE (MODERATE WATER)
EUPHORBIA TRIGONA 'RUBRA' / AFRICAN MILK TREE
LEUCADENDRON X 'JESTER' / JESTER CONEBUSH
PODOCARPUS X 'ICEE BLUE' / ICEE BLUE PODOCARPUS (MODERATE WATER)
STRELITZIA NICOLAI / GIANT BIRD OF PARADISE (MODERATE WATER)
SHRUBS - MEDIUM - BORDER
WULCOLS LOW/MODERATE (0.1 - 0.6 ETO)
CARISSA MACROCARPA 'BOXWOOD BEAUTY' / BEAUTY NATAL PLUM
MONSTERA DELICIOSA / SPLIT-LEAF PHILODENDRON (MODERATE WATER)
STRELITZIA JUNCEA / NARROW-LEAFED BIRD OF PARADISE
SHRUBS - MEDIUM
WULCOLS LOW/MODERATE (0.1 - 0.6 ETO)
COPROSMA REPENS 'PICTURATA' / MIRROR PLANT (MODERATE WATER)
LEUCADENDRON X 'JESTER' / JESTER CONEBUSH
MYRSINE AFRICANA / AFRICAN BOXWOOD
OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE
PITTOSPORUM TOBIRA / MOCK ORANGE
SALVIA LEUCANTHA 'SANTA BARBARA' / MEXICAN BUSH SAGE
STRELITZIA REGINAE 'BIRD OF PARADISE'
TRACHELOSPERMUM JASMINOIDES / CHINESE STAR JASMINE (MODERATE WATER)
WESTRINGIA 'BLUE GEM' / BLUE GEM COAST ROSEMARY
SHRUBS - SMALL
WULCOLS LOW/MODERATE (0.1 - 0.6 ETO)
ARCTOTIS ACAULIS / AFRICAN DAISY (MODERATE WATER)
LAVANDULA STOECCHAS 'OTTO QUAST' / SPANISH LAVENDER
PELARGONIUM PELTATUM / IVY GERANIUM (MODERATE WATER)
SUCCULENTS - LARGE/SCREENING
WULCOLS LOW (0.1 - 0.3 ETO)
AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE
EUPHORBIA INGENS / CANDELABRA TREE
EUPHORBIA TRIGONA 'RUBRA' / AFRICAN MILK TREE
FURCRAEA MACDOUGALII / FALSE AGAVE
LEMAIREOCEREUS MARGINATUS / MEXICAN FENCE POST
PEDILANTHUS MACROCARPUS / SLIPPER
PORTULACARIA AFRA / ELEPHANT BUSH
YUCCA WHIPPLEI / CHAPARRAL YUCCA
SUCCULENTS - MEDIUM
WULCOLS LOW (0.1 - 0.3 ETO)
AGAVE ATTENUATA / AGAVE
AGAVE ATTENUATA 'BOUTIN BLUE' / BOUTIN BLUE AGAVE
AGAVE ATTENUATA 'RAY OF LIGHT' / VARIEGATED FOX TAIL AGAVE
ALOE REITZII / REITZ'S ALOE
ECHINOCACTUS GRUSONII / GOLDEN BARREL CACTUS
KALANCHOE BEHARENSIS / FELT PLANT
OPUNTIA FICUS-INDICA / BARBARY FIG
SUCCULENTS - SMALL
WULCOLS LOW (0.1 - 0.3 ETO)
AEONIUM ARBOREUM 'ZWARTKOP' / BLACK ROSE AEONIUM
AEONIUM URBICUM / DINNER PLATE AEONIUM
AGAVE SPECIES / AGAVE
ALOE CAMERONII / ALOE
ALOE VERA / MEDICINAL ALOE
ALOE X 'BLUE ELF' / ALOE
ALOE X 'DELTA LIGHTS' / DELTA LIGHTS ALOE
ALOE X 'ROOKAPPIE' / ALOE
CRASSULA ARGENTEA 'CROSBY' / MINIATURE JADE PLANT
CRASSULA CAPITELLA 'CAMPFIRE' / CAMPFIRE CRASSULA
ECHINOCACTUS GRUSONII / GOLDEN BARREL CACTUS
EUPHORBIA MILII / CROWN OF THORNS
KALANCHOE LUCIAE / PADDLE PLANT
GRASSES & GRASS-LIKE PLANTS
WULCOLS LOW (0.1 - 0.3 ETO)
BOUTELOUA GRACILIS / BLUE GRAMA
CHONDROPETALUM TECTORUM / CAPE RUSH
DASYLIRION LONGISSIMUM / TOOTHLESS DESERT SPOON
DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY
FESTUCA MAIREI / ATLAS FESCUE
FESTUCA OVINA GLAUCA 'ELIJAH BLUE' / BLUE FESCUE
HESPERALOE PARVIFLORA / RED YUCCA
GROUND COVER
WULCOLS LOW (0.1 - 0.3 ETO)
DYMONDIA MARGARETAE / DYMONDIA
PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS
SENECIO SERPENS / BLUE CHALKSTICKS
LAWN
WULCOLS MODERATE (0.4 - 0.6)
PASPALUM VAGINATUM 'ALOHA' / SEASHORE PASPALUM (MODERATE WATER)

PLANTING NOTES:

- 1. ALL CANOPY TREES SHALL BE PROVIDED 40 SQ.FT. ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET. THIS MINIMUM DIMENSION AND ROOT ZONE AREA MAY BE REDUCED WITH THE USE OF STRUCTURAL SOIL OR WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE HEALTHY TREE GROWTH THAT WILL NOT DAMAGE THE ADJACENT IMPROVEMENTS.
2. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS, INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND ROOT BALL.
3. MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.04111.

DESIGN STATEMENT

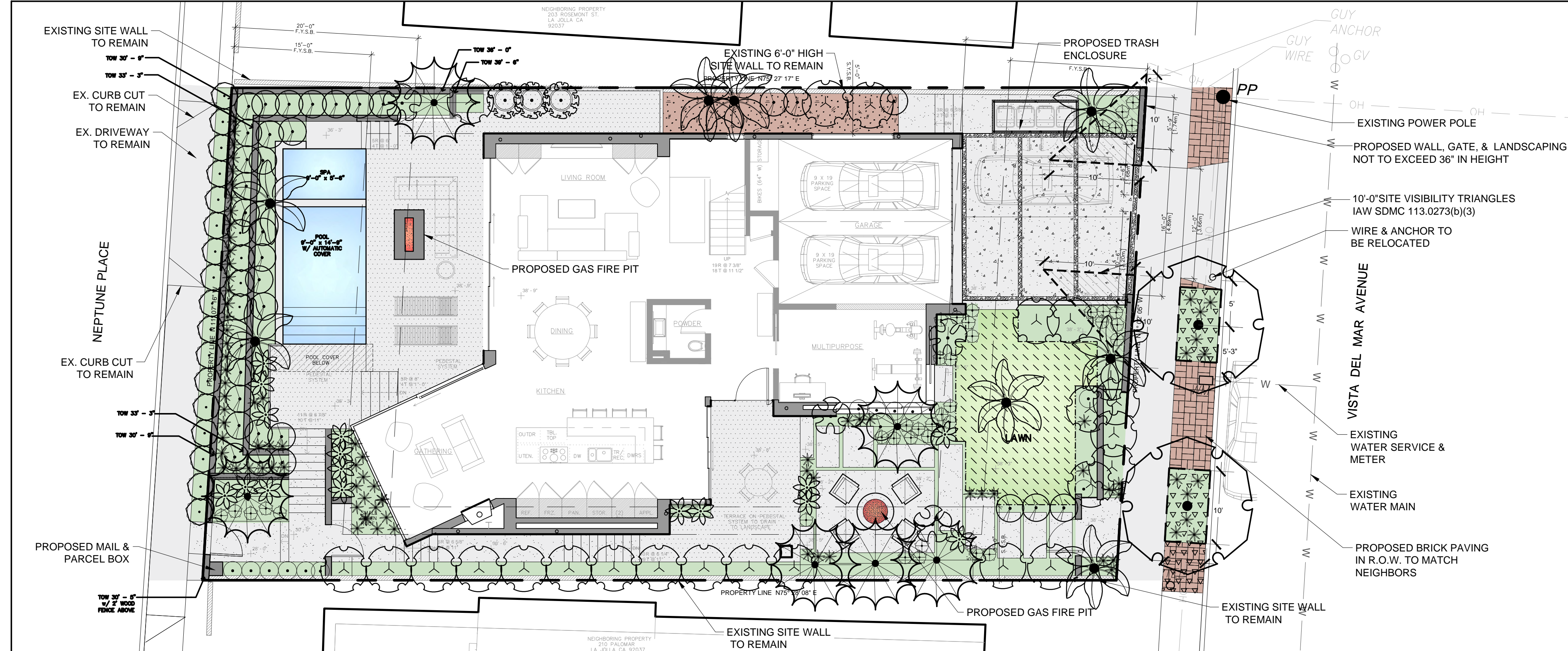
- 1. PLANTS SELECTED TO ENHANCE THE EXPERIENCE OF PEDESTRIANS AND OCCUPANTS, WITH ACCENT AND SHADE TREES, FLOWERING AND SCREENING SHRUBS, AND PRESERVATION OF OCEAN VISTAS, WHERE POSSIBLE.
2. PLANT SPECIES AND HYDROZONES DESIGNED TO BE UNDER THE MAXIMUM ALLOWABLE WATER USAGE STANDARD.

IRRIGATION NOTES:

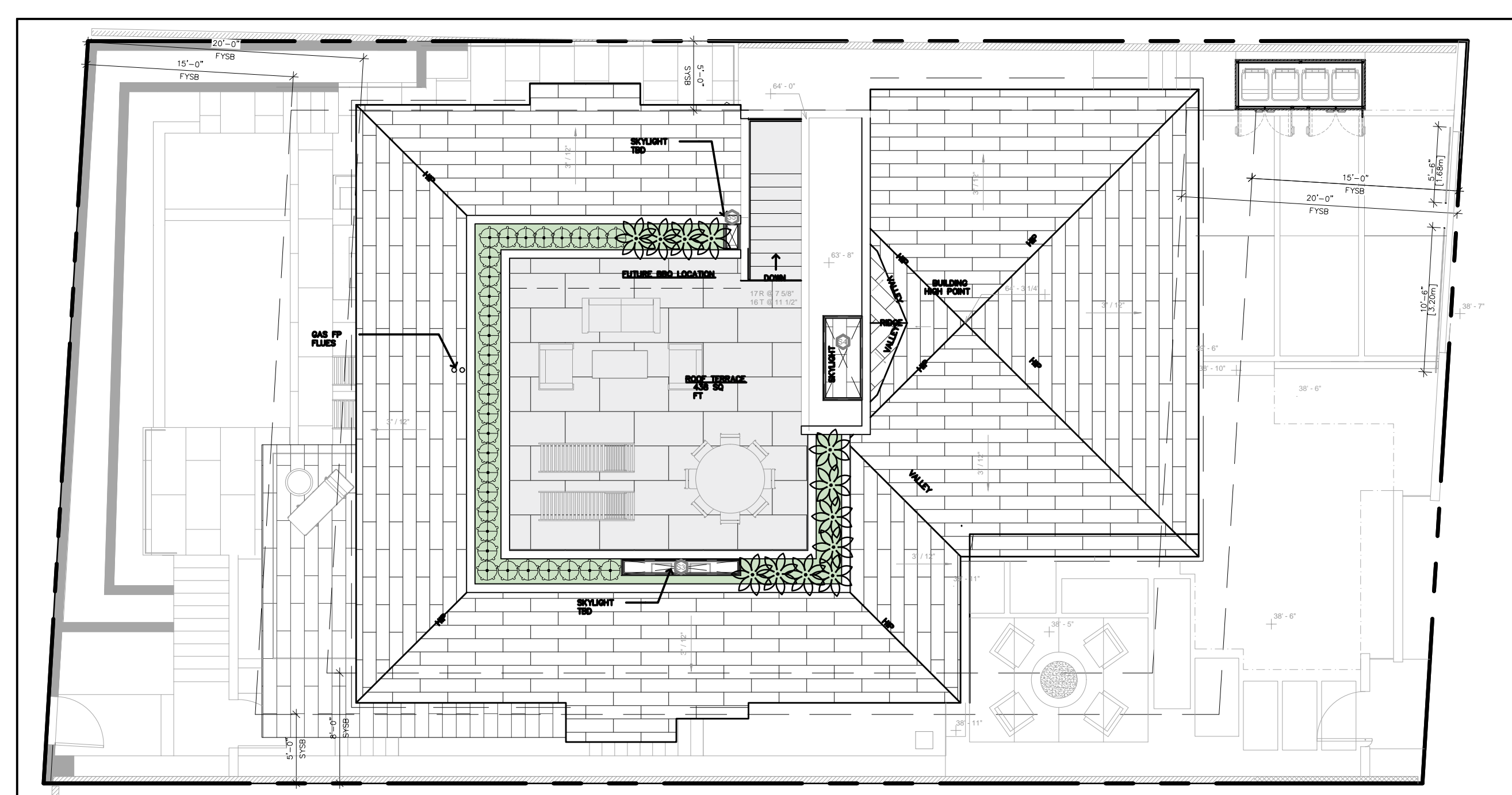
- 1. IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
2. IRRIGATION SYSTEM: COMBINATION OF LOW-WATER EMISSION SPRAY HEADS AND DRIP IRRIGATION SYSTEM.
3. ALL REQUIRED PLANT MATERIAL SHALL BE IRRIGATED WITH A PERMANENT, BELOW-GRADE IRRIGATION SYSTEM UNLESS SPECIFIED OTHERWISE IN THIS DIVISION.
4. ALL REQUIRED IRRIGATION SYSTEMS SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION.
5. IRRIGATION SYSTEMS SHALL MEET THE FOLLOWING DESIGN REQUIREMENTS:
a. NO IRRIGATION RUN-OFF OR OVERSPRAY SHALL CROSS PROPERTY LINES OR PAVED AREAS; THE VELOCITY OF WATER FLOWING IN IRRIGATION SYSTEM PIPING OR SUPPLY PIPES SHALL NOT EXCEED 5 FEET PER SECOND DOWNSTREAM OF THE WATER METER;
c. IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE SYSTEM MAINTENANCE REQUIREMENT AFTER INSTALLATION. ABOVE-GROUND IRRIGATION SYSTEM EQUIPMENT THAT IS EXPOSED TO POTENTIAL DAMAGE SHALL BE DESIGNED TO BE DAMAGE-RESISTANT; AND AN APPROVED RAIN SENSOR SHUT-OFF DEVICE IS REQUIRED FOR ALL SYSTEMS AND A MOISTURE-SENSING DEVICE THAT REGULATES THE IRRIGATION SYSTEM FOR ALL LAWN AREAS IS REQUIRED.

NOTES:

- 1. THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING SHALL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS.
2. 'SINGLE-DWELLING UNIT DEVELOPMENT IN A MULTI-DWELLING UNIT ZONE. NO STREET YARD OR REMAINING YARD REQUIREMENTS. ALL LANDSCAPE SHOWN OUTSIDE OF THE RIGHT-OF-WAY SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.'
3. LIGHTING MUST FOLLOW MUNICIPAL CODE §142.0740 AND BE OUTSIDE OF, DIRECTED AWAY/SHIELDED FROM THE MULTI-HABITAT PLANNING AREA (MHPA) BOUNDARY.
4. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING CONSTRUCTION, THE OWNER/PERMITEE SHALL REPAIR AND/OR REPLACE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
5. ONLY NATIVE OR OTHER DROUGHT-TOLERANT PLANT SPECIES SHALL BE USED IN LANDSCAPED AREAS IN ORDER TO MINIMIZE IRRIGATION REQUIREMENTS AND TO REDUCE POTENTIAL SLIDE HAZARDS DUE TO OVER WATERING OF THE COASTAL BLUFFS.
6. NO INVASIVE NON-NATIVE PLANT SPECIES SHALL BE INTRODUCED INTO AREAS ADJACENT TO THE MHPA.



FIRST FLOOR PLAN SCALE: 1/8" = 1'-0"

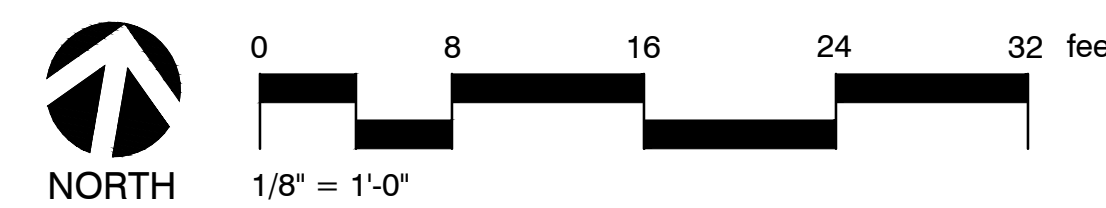


ROOF TERRACE PLAN SCALE: 1/8" = 1'-0"

TABLE 142-04E MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT MINIMUM DISTANCE TO STREET TREE

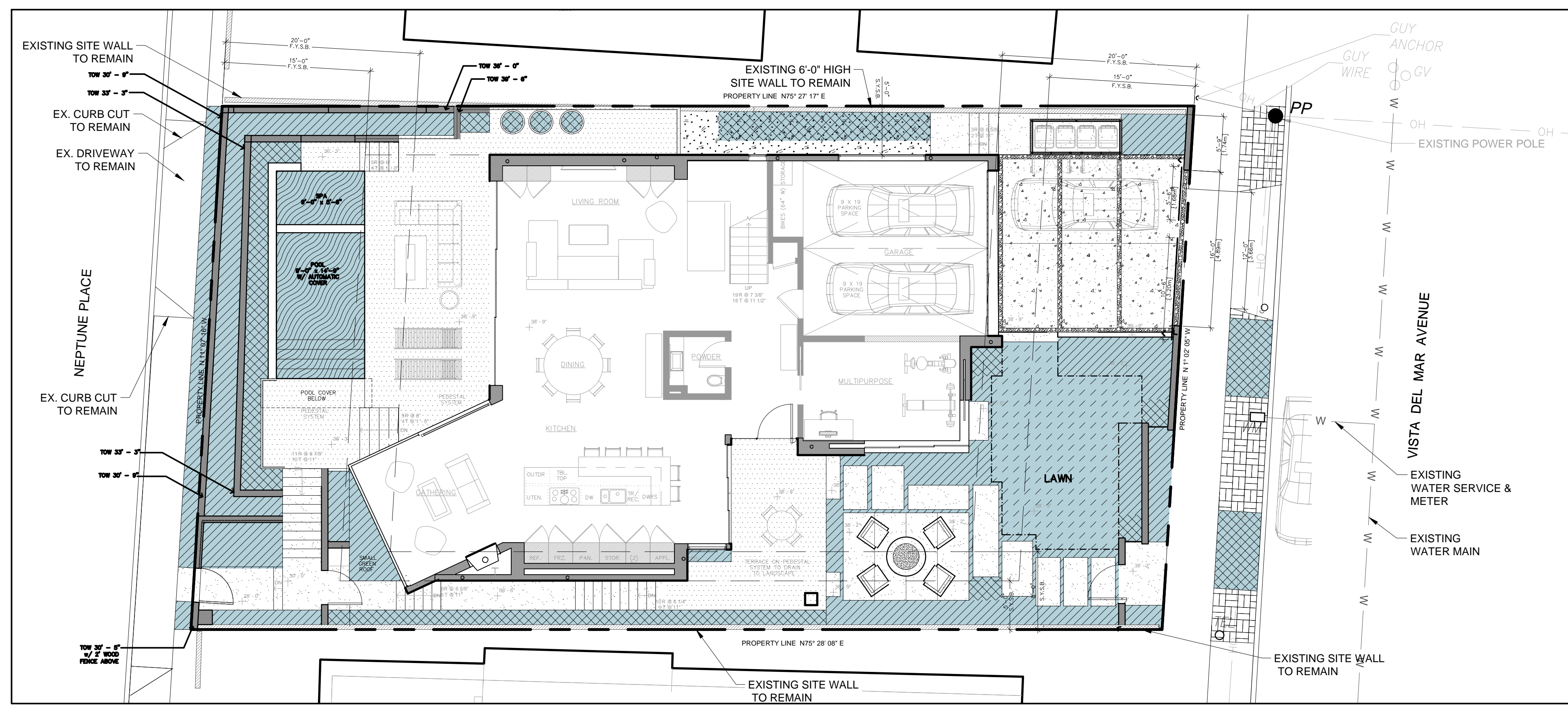
FOOTNOTE FOR TABLE 142-04E FIVE FEET ON RESIDENTIAL LOCAL STREETS WITH DESIGN SPEED OF 25 MILES PER HOUR OR SLOWER.

STREET TREES REQUIRED: PROVIDED: Street Trees (in Public Right-of-Way): Length of Street Frontage (less driveways/curb cuts): Vista Del Mar Avenue 41.91 feet Street Trees 1.4 (1 per every 30 feet) 2

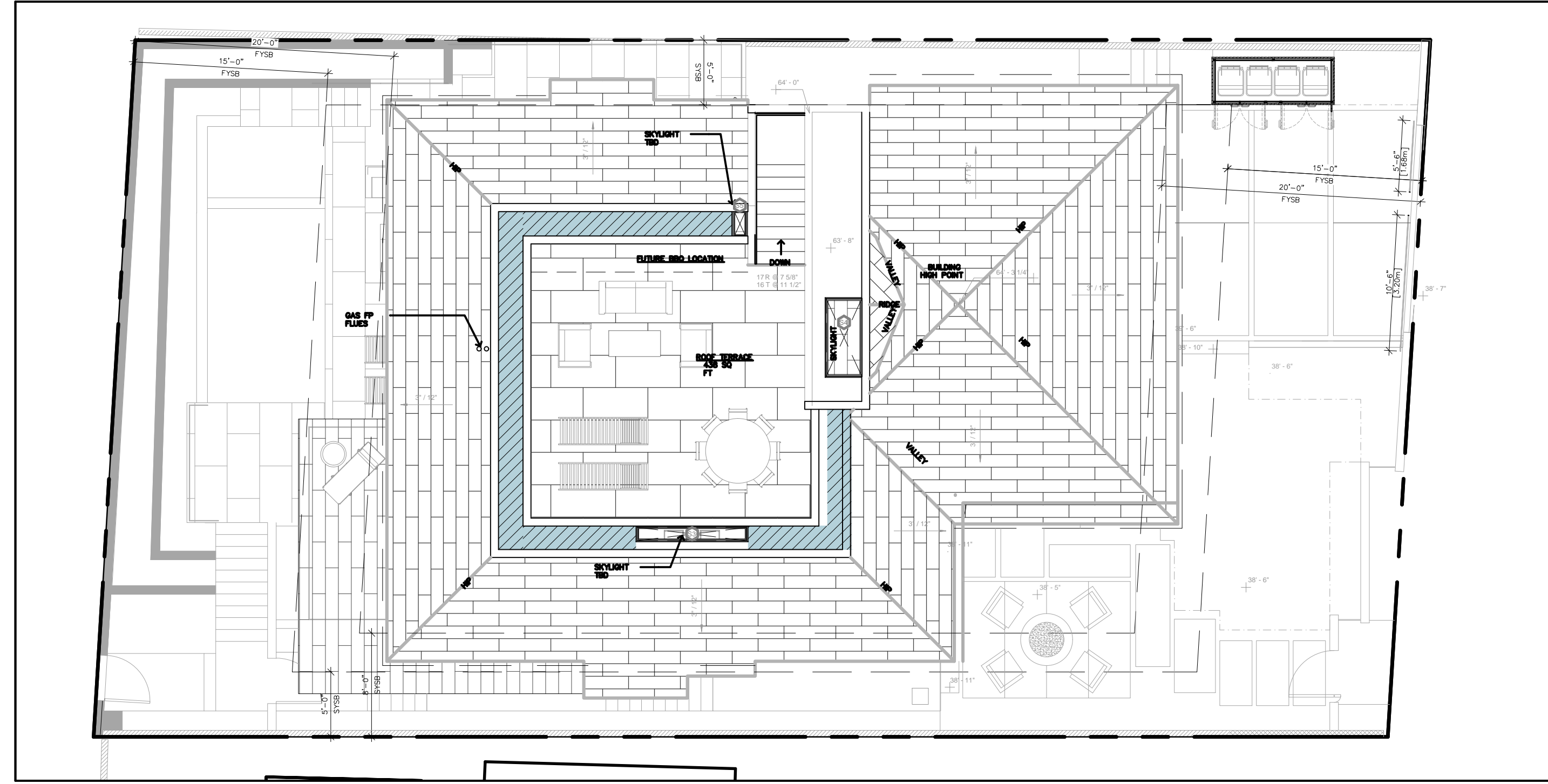


CITY STANDARD TITLEBLOCK

PREPARED BY: Greg Hebert Landscape Architect, 2031 Commercial Street, Office #202, San Diego, CA 92113, Phone: (619) 283-5083, Project Address: 6515 NEPTUNE PLACE, LA JOLLA, CA 92037, Project Name: RAU RESIDENCE, Sheet Title: RAU RESIDENCE, Revision 4: 3/31/2021, Revision 3: 2/3/2020, Revision 2: 2/3/2020, Revision 1: 2/3/2020, Original Date: 2/3/2020, Sheet: 1 of 2, DEP#: 19-20



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



ROOF TERRACE PLAN
 SCALE: 1/8" = 1'-0"

City of San Diego Water Budget Calculations

Project: RAU RESIDENCE
 Date: 2/3/2020

1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA) WATER BUDGET CALCULATION

Residential MAWA = $[(Eto)(0.62)] + [(0.55)(LA) + (0.45)(SLA)]$

Controller No.	Eto	(0.62)	PF	LA	PF	SLA	Result in Gallons per		
							Year	Year	
NA	40	0.62	0.55	1,567.00	0.45	0	21,374		
Total MAWA gallons per year:							21,374		

2. SYSTEM CONTROLLER INFORMATION TABLE

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
NA	1	NA	0.1	782.00	DRIP	0.81	0.50
NA	2	NA	0.4	347.00	DRIP	0.81	0.22
NA	3	NA	0.6	252.00	DRIP	0.81	0.16
NA	4	NA	1	186.00	POOL	1	0.12
				1,567.00	S.F.		100%

3. ESTIMATED TOTAL WATER USE (ETWU) CALCULATIONS

ETWU = $[(Eto)(0.62)] + [(PF \times HA) / IE + SLA]$

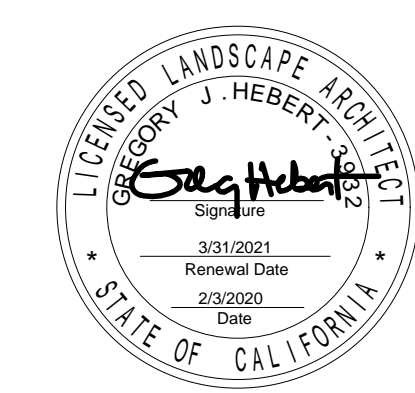
Hydrozone No.	Eto	(0.62)	PF	HA	IE	SLA	Result in Gallons per		
							Year	Year	
1	40	0.62	0.10	782.00	0.81	NA	2,394		
2	40	0.62	0.40	347.00	0.81	NA	4,250		
3	40	0.62	0.60	252.00	0.81	NA	4,629		
4	40	0.62	1.00	186.00	1	NA	4,613		
				T. S.F.: 1,567.00	S.F.		15,886		
Total ETWU gallons per year:							15,886		

HYDROZONE SCHEDULE

<p> HYDROZONE 1 - LOW WATER USE LOW WATER USE, PLANT FACTOR 0.2 - 0.3 DRIP IRRIGATION TAKEOFF: 782 SF</p>	<p> HYDROZONE 2 - MODERATE WATER USE MODERATE WATER USE, PLANT FACTOR 0.4 - 0.6 TAKEOFF: 347 SF</p>	<p> HYDROZONE 3 - MODERATE WATER USE (LAWN) MODERATE WATER USE, PLANT FACTOR 0.4 - 0.6 TAKEOFF: 252 SF</p>	<p> HYDROZONE 4 - HIGH WATER USE HIGH WATER USE, 0.7 - 1.0 POOL/SPA TAKEOFF: 186 SF</p>	<p> LANDSCAPE WATER USE AREA TAKEOFF: 1,567 SF</p>
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CITY STANDARD TITLEBLOCK

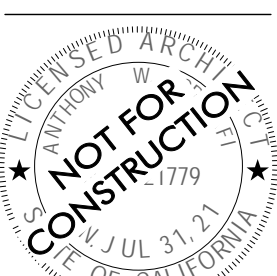
PREPARED BY: Greg Hebert Landscape Architect Sheet Title: _____
 Name: _____
 2031 Commercial Street, Office #202 Revision 4: _____
 San Diego, CA 92113 Revision 3: _____
 Phone: (619) 283-5083 Revision 2: _____
 Project Address: 6515 NEPTUNE PLACE Revision 1: _____
 LA JOLLA, CA 92037 Original Date: _____
 Project Name: RAU RESIDENCE Sheet: _____ of: _____
 DEP#: _____



RAU RESIDENCE
 6515 NEPTUNE PLACE, LA JOLLA, CA 92037

HYDROZONE PLAN

IF THIS DOES NOT MEASURE 1" ACTUAL, THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED, AND ALL LABELED SCALES ARE INCORRECT.



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JOB #:	2018.150
DRAWN BY:	SF
PROJ. MGR:	HD
DATE:	ISSUE:
06-14-19	CDP 1
10-01-19	CDP 2
11-14-19	CDP 3
02-11-20	CDP 4

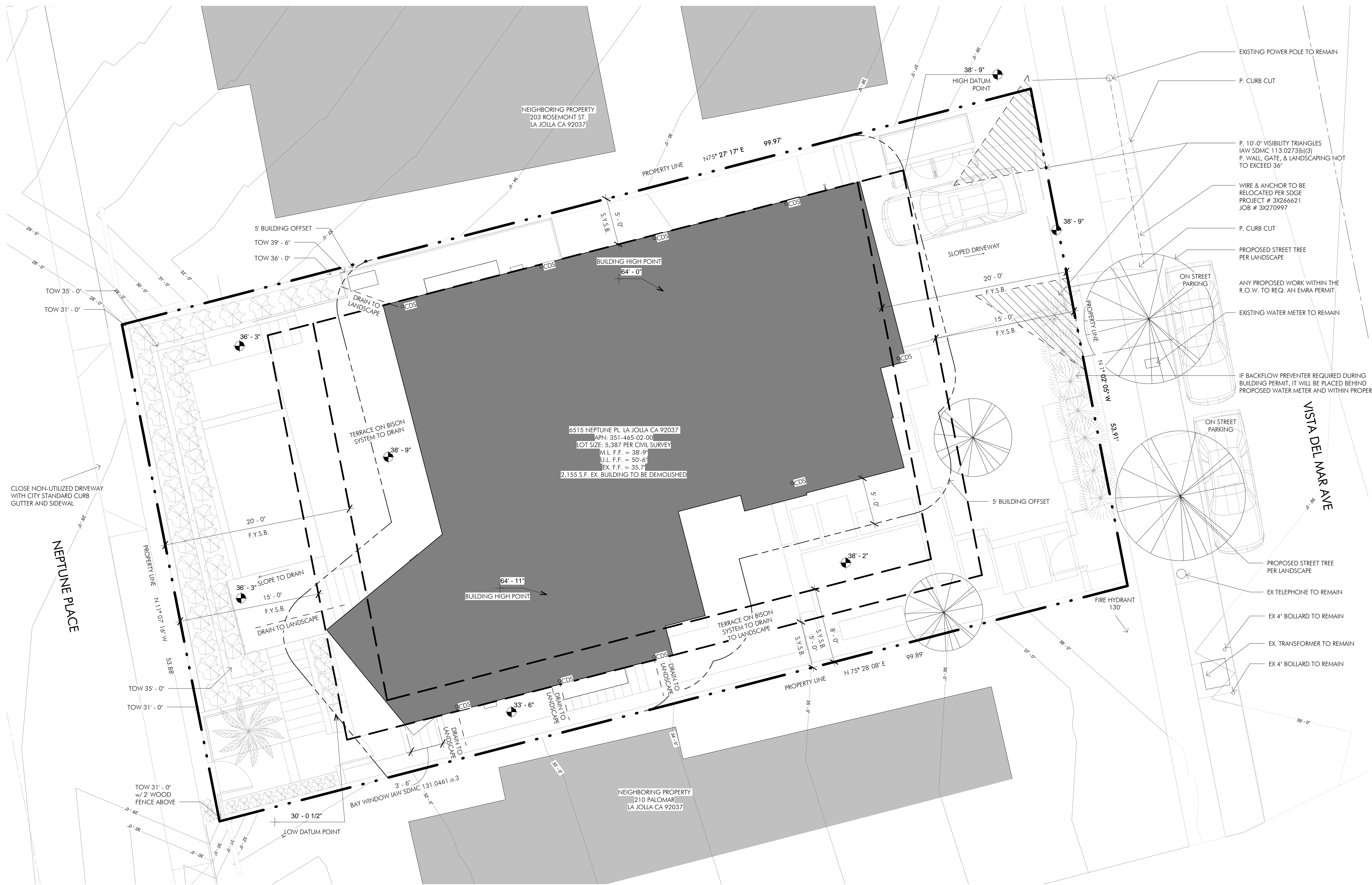
REVISIONS	DESCRIPTION	DATE
#		

SITE NOTES

- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
- ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
- FIRE HYDRANTS, 130'-0" SOUTH WEST FROM PROPERTY SEE SITE PLAN.
- REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPs, AND WPC.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDING OFFICIAL AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
 - Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
- THERE ARE NO EASEMENTS ON THIS PROJECTS SITE.
- THERE ARE NO TRANSIT STOPS ALONG FRONTAGE PROPERTY'S FRONTAGE PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT. THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- PROJECT IS LOCATED WITHIN ASBS. OWNER/PERMITTEE SHALL COMPLY WITH ALL REQUIREMENTS OF ASBS ACCORDINGLY.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
- THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
- THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.

MSCP NOTES

- LAND USE ADJACENCY DUE TO THE SITE BEING FORMERLY WITHIN THE MHPA AND CURRENTLY UPSLOPE ACROSS NEPTUNE AVE FROM THE MHPA (I.E. ADJACENT TO THE MHPA), THE DEVELOPMENT IS REQUIRED TO CONFORM TO ALL APPLICABLE MSCP SUBAREA PLAN REQUIREMENTS, INCLUDING LAND USE ADJACENCY GUIDELINES (SECTION 1.4.3) OF THE MSCP SUBAREA PLAN AS FOLLOWS: LIGHTING - LIGHTING MUST FOLLOW MUNICIPAL CODE §142.0740 AND BE OUTSIDE OF, AND DIRECTED AWAY/SHIELDED FROM THE MHPA BOUNDARY. INVASIVE SPECIES - NO INVASIVE NON-NATIVE PLANT SPECIES SHALL BE INTRODUCED INTO AREAS ADJACENT TO THE MHPA.
- TOXINS/DRAINAGE-BEST MANAGEMENT PRACTICES WILL BE UTILIZED ON-SITE TO AVOID, REDUCE, CONTAIN, AND CLEAN UP TOXIC CHEMICALS AND POLLUTED STORM WATER RUN-OFF AND PREVENT THEM FROM CONTAMINATING ON AND OFF-SITE WETLANDS AND NON-WETLAND WATERS OF THE US.
- STORMWATER/DRAINAGE MUST BE DIRECTED AWAY FROM THE MHPA, OR IF NOT POSSIBLE, MUST NOT DRAIN DIRECTLY INTO THE MHPA. INSTEAD, STORMWATER MUST BE DIVERTED INTO SEDIMENTATION BASINS, LANDSCAPED AREAS/SWALES, OR MECHANICAL TRAPPING DEVICES. IN ADDITION, THE VELOCITY OF STORMWATER RELEASED MUST BE DISSIPATED (I.E. WITH RIP RAP IN THE WITHIN THE APPROVED DEVELOPMENT AREA ONLY) PRIOR TO DRAINING INTO THE MHPA.
- TO REDUCE EDGE EFFECTS TO MSCP COVERED SHORE BIRDS THE USE OF GLASPRO BIRD SAFE GLASS AND/OR 'CHANNEL GLASS' OR EQUIVALENT IS REQUIRED ON THE WEST SIDE OF THE DEVELOPMENT TO PREVENT BIRD STRIKES.



DRAINAGE LEGEND

- CDS = Concealed Downspout
- DS = Downspout
- - - = Substructure/subterranean drain route

*All locations to be reviewed by Contractor.

ALL DOWNSPOUTS TO DRAIN INTO LANDSCAPED AREAS

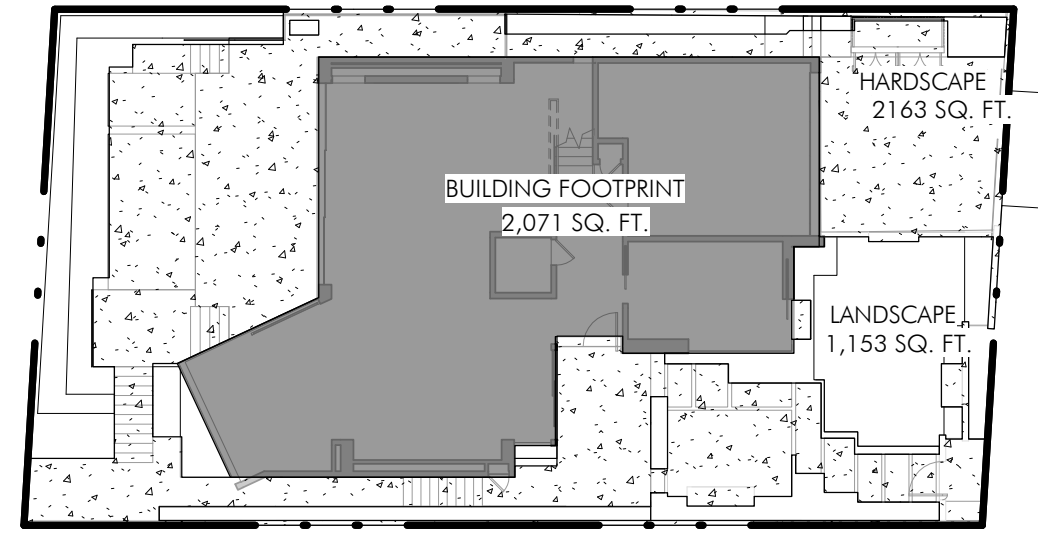
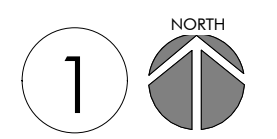
Site Legend

- SETBACK
- PROPERTY LINE
- EX. HARDSCAPE TO REMAIN
- EX. HARDSCAPE TO BE REMOVED
- EX. BUILDING TO BE REMOVED
- 5 FT OFFSET (PROP 'D' & OVERALL)
- BUILDING FOOTPRINT

Area Legend

BUILDING FOOTPRINT	2,071 SQ. FT.	38.4%
LANDSCAPE	1,153 SQ. FT.	21.4%
HARDSCAPE	2,163 SQ. FT.	40.2%
LOT TOTAL:	5,387 SQ. FT.	100%

SITE PLAN 3/16" = 1'-0"



AREA PLAN 1" = 20'-0"



CITY STANDARD TITLE BLOCK

Prepared By: Island Architects

Name: 6515 NEPTUNE PL, LA JOLLA, CA 92037

Contact: Scott Frantz
 7626 Herschel Avenue
 La Jolla, CA 92037

Phone: (858) 459-9291

Street Address: 6515 NEPTUNE PL, LA JOLLA, CA 92037

Project Name: RAU RESIDENCE

Sheet Title: SITE PLAN

Revision 08:	
Revision 07:	
Revision 06:	
Revision 05:	
Revision 04:	
Revision 03:	02-11-20
Revision 02:	11-14-19
Revision 01:	10-01-19
Original Date:	06-14-19
Sheet:	6 of 14
DEP#:	

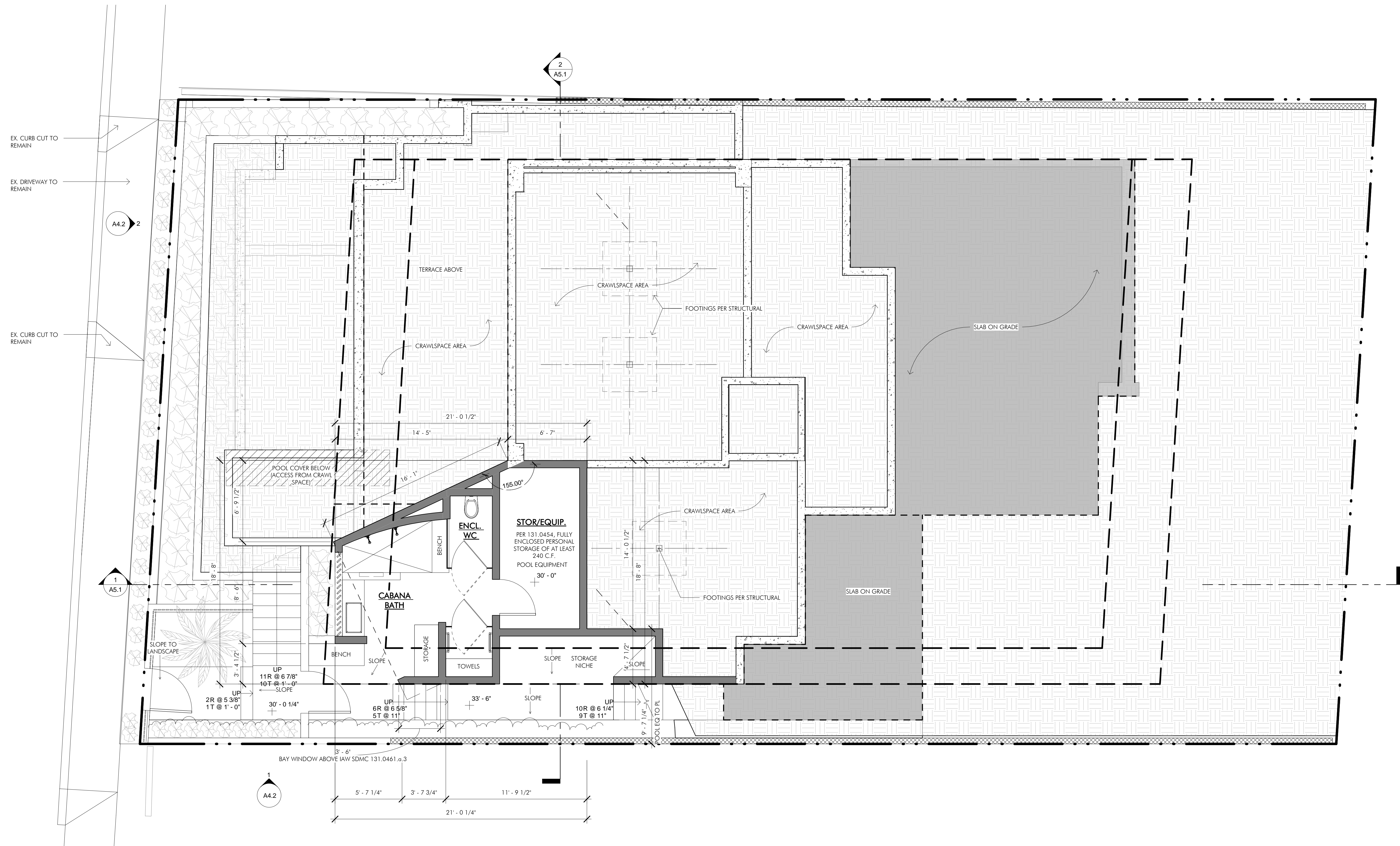
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10-01-19	CDP 2
11-14-19	CDP 3
02-11-20	CDP 4

REVISIONS	
#	DESCRIPTION
5	Revision 5
6	Revision 6



BASEMENT 1/4" = 1'-0" 1

ELECTRIC VEHICLE CHARGING - A TOTAL OF 1 PARKING SPACE WILL BE PROVIDED WITH A LISTED CABINET, BOX, OR ENCLOSURE CONNECTED TO A CONDUIT LINKING THE PARKING SPACES WITH ELECTRICAL SERVICE IN A MANNER APPROVED BY THE BUILDING AND SAFETY OFFICIAL. THIS WILL ALLOW FOR THE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT TO PROVIDE AN ELECTRIC VEHICLE CHARGING STATION FOR USE BY THE RESIDENT.

PLUMBING FIXTURES AND FITTINGS- THE PROJECT WILL USE LOW-FLOW FIXTURES AND APPLIANCES THAT ARE CONSISTENT WITH THE FOLLOWING:

- KITCHEN FAUCETS: MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI;
- STANDARD DISHWASHERS: 4.25 GALLONS PER CYCLE;
- COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE; AND CLOTHES WASHERS: WATER FACTOR OF 6 GALLONS PER CUBIC FEET OF DRUM CAPACITY.

DRAINAGE LEGEND

- CDS = Concealed Downspout
- DS = Downspout
- - - Substructure/subterranean drain route

*All locations to be reviewed by Contractor.

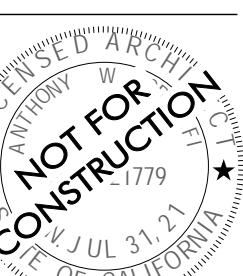
ALL DOWNSPOUTS TO DRAIN INTO LANDSCAPED AREAS

Wall Legend

- NEW CONSTRUCTION WALL
- - - EXISTING WALL TO REMAIN

NOTES:

1. PURSUANT TO SDMC 131.0454 IN ALL RM ZONES, EACH DWELLING UNIT SHALL HAVE A FULLY ENCLOSED, PERSONAL STORAGE AREA OUTSIDE THE UNIT THAT IS AT LEAST 240 CUBIC FEET WITH A MINIMUM 7'-0" HORIZONTAL DIMENSION ALONG ONE PLANE



TONY CRISAFI, LISA KRIEDEMANN, R.A.
7626 HERSCHEL AVENUE
LA JOLLA, CA 92037
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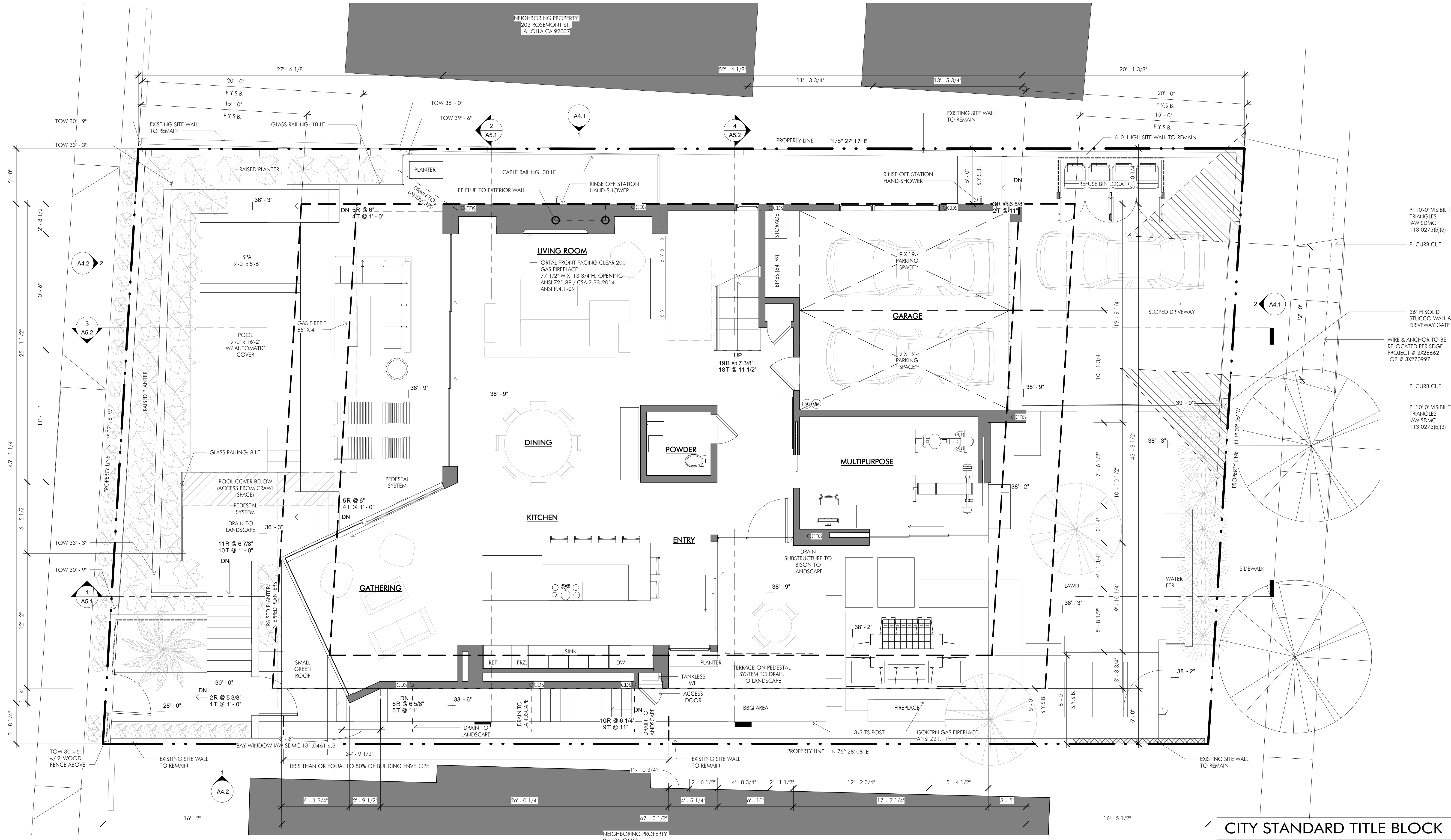
VISTA DEL MAR AVE

RAU RESIDENCE
6515 NEPTUNE PL, LA JOLLA, CA 92037

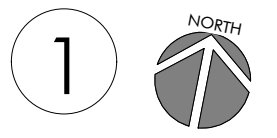
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FIRST FLOOR PLAN

02.11.2020



FIRST FLOOR PLAN 1/4" = 1'-0"



ELECTRIC VEHICLE CHARGING - A TOTAL OF 1 PARKING SPACE WILL BE PROVIDED WITH A LISTED CABINET, BOX, OR ENCLOSURE CONNECTED TO A CONDUIT LINKING THE PARKING SPACES WITH ELECTRICAL SERVICE IN A MANNER APPROVED BY THE BUILDING AND SAFETY OFFICIAL. THIS WILL ALLOW FOR THE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT TO PROVIDE AN ELECTRIC VEHICLE CHARGING STATION FOR USE BY THE RESIDENT.

PLUMBING FIXTURES AND FITTINGS- THE PROJECT WILL USE LOW-FLOW FIXTURES AND APPLIANCES THAT ARE CONSISTENT WITH THE FOLLOWING:

- a. KITCHEN FAUCETS: MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI;
- b. STANDARD DISHWASHERS: 4.25 GALLONS PER CYCLE;
- c. COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE; AND
- d. CLOTHES WASHERS: WATER FACTOR OF 6 GALLONS PER CUBIC FEET OF DRUM CAPACITY.

DRAINAGE LEGEND

- CDS = Concealed Downspout
- DS = Downspout
- - - = Substructure/subterranean drain route

*All locations to be reviewed by Contractor.
ALL DOWNSPOUTS TO DRAIN INTO LANDSCAPED AREAS

Wall Legend

- ▬ NEW CONSTRUCTION WALL
- ▬ EXISTING WALL TO REMAIN

CITY STANDARD TITLE BLOCK

Prepared By:	Island Architects	Revision 08:	
Name:	Contact: Scott Frantz	Revision 07:	
	7626 Herschel Avenue	Revision 06:	
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Street Address:	6515 NEPTUNE PL, LA JOLLA, CA 92037	Revision 03:	02-11-20
		Revision 02:	11-14-19
Project Name:	RAU RESIDENCE	Revision 01:	10-01-19
Sheet Title:	FIRST FLOOR PLAN	Original Date:	06-14-19
		Sheet:	8 of 14
		DEP#:	

NEPTUNE PLACE

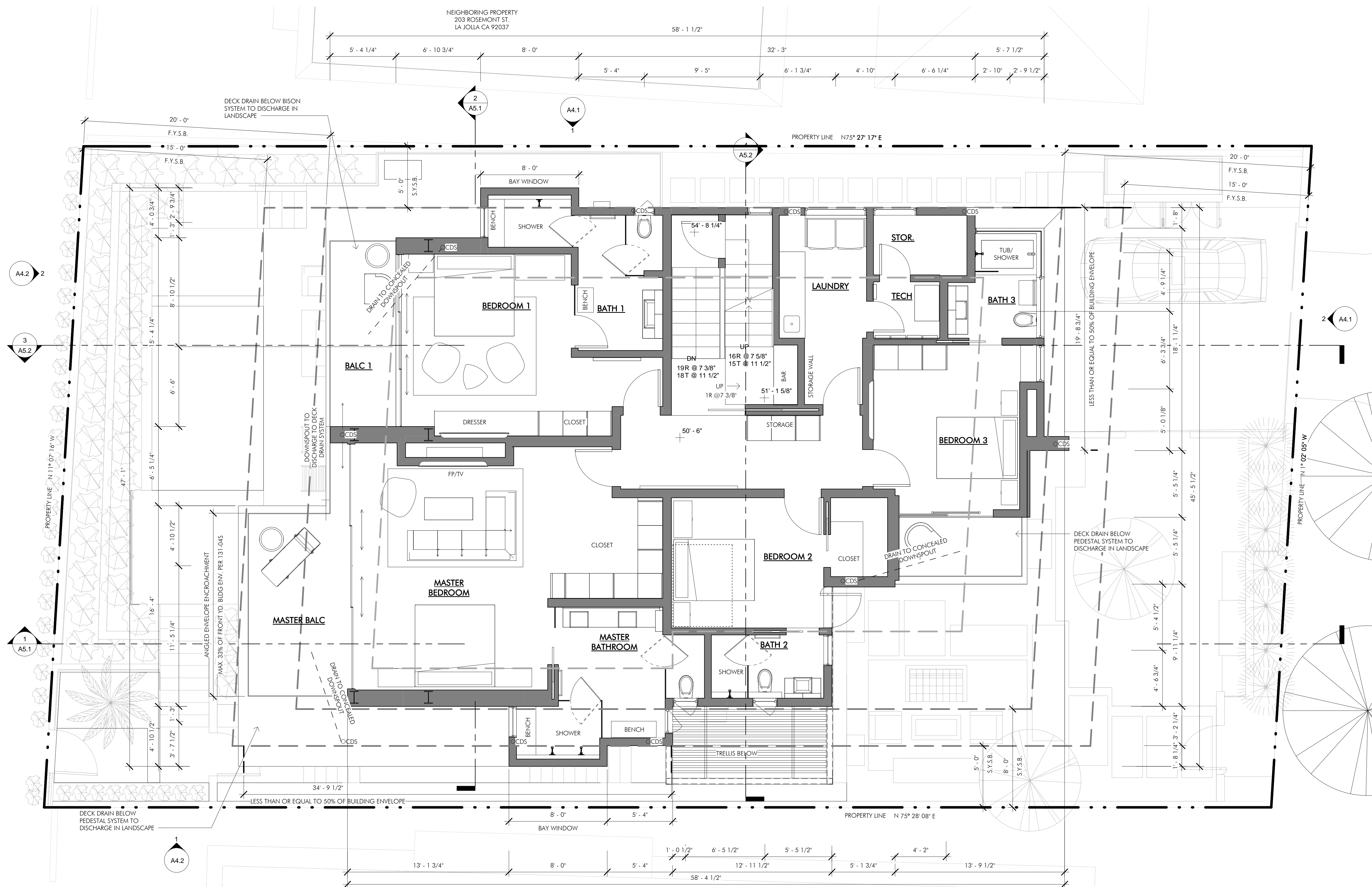
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NEIGHBORING PROPERTY
 210 PALOMAR
 LA JOLLA CA 92037

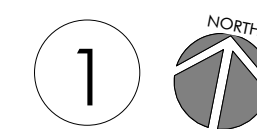
ELECTRIC VEHICLE CHARGING - A TOTAL OF 1 PARKING SPACE WILL BE PROVIDED WITH A LISTED CABINET, BOX, OR ENCLOSURE CONNECTED TO A CONDUIT LINKING THE PARKING SPACES WITH ELECTRICAL SERVICE IN A MANNER APPROVED BY THE BUILDING AND SAFETY OFFICIAL. THIS WILL ALLOW FOR THE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT TO PROVIDE AN ELECTRIC VEHICLE CHARGING STATION FOR USE BY THE RESIDENT.

PLUMBING FIXTURES AND FITTINGS- THE PROJECT WILL USE LOW-FLOW FIXTURES AND APPLIANCES THAT ARE CONSISTENT WITH THE FOLLOWING:

- KITCHEN FAUCETS: MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI;
- STANDARD DISHWASHERS: 4.25 GALLONS PER CYCLE;
- COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE; AND
- CLOTHES WASHERS: WATER FACTOR OF 6 GALLONS PER CUBIC FEET OF DRUM CAPACITY.

SECOND FLOOR PLAN

1/4" = 1'-0"



Wall Legend

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN

DRAINAGE LEGEND

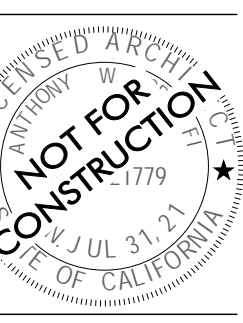
- CDS = Concealed Downspout
- DS = Downspout
- = Substructure/subterranean drain route

*All locations to be reviewed by Contractor.

ALL DOWNSPOUTS TO DRAIN INTO LANDSCAPED AREAS

CITY STANDARD TITLE BLOCK

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Name:	Scott Frantz	Revision 07:	_____
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Phone:	(858) 459-9291	Revision 04:	_____
Street Address:	6515 NEPTUNE PL., LA JOLLA, CA 92037	Revision 03:	02-11-20
		Revision 02:	11-14-19
Project Name:	RAU RESIDENCE	Revision 01:	10-01-19
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		Sheet:	9 of 14
		DEP#:	_____



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08-14-19	CDP1
10-01-19	CDP2
11-14-19	CDP3
02-11-20	CDP4

REVISIONS	DESCRIPTION	DATE
#		

ROOF NOTES:

- ALL RIDGE DIMENSIONS ARE CALLED OUT TO TOP OF SHEATHING
- ALL ELEVATIONS LOCATED AT EDGE OF WALLS ARE TO TOP OF PLATE
- ALL PLATE HTS. ARE TAKEN ABOVE MAIN LEVEL F.F. = 0'-0" (EL. + _____)
- DIMENSIONS SHOWN AT CHIMNEY CAPS ARE TO FINISH MATERIAL
- ALL SKYLIGHTS TO BE FLAT, TINTED GLAZING & BRONZE FRAME SKYLIGHT.
- RADIANT BARRIER SHEATHING TO BE USED OVER INTERIOR & ATTIC SPACES

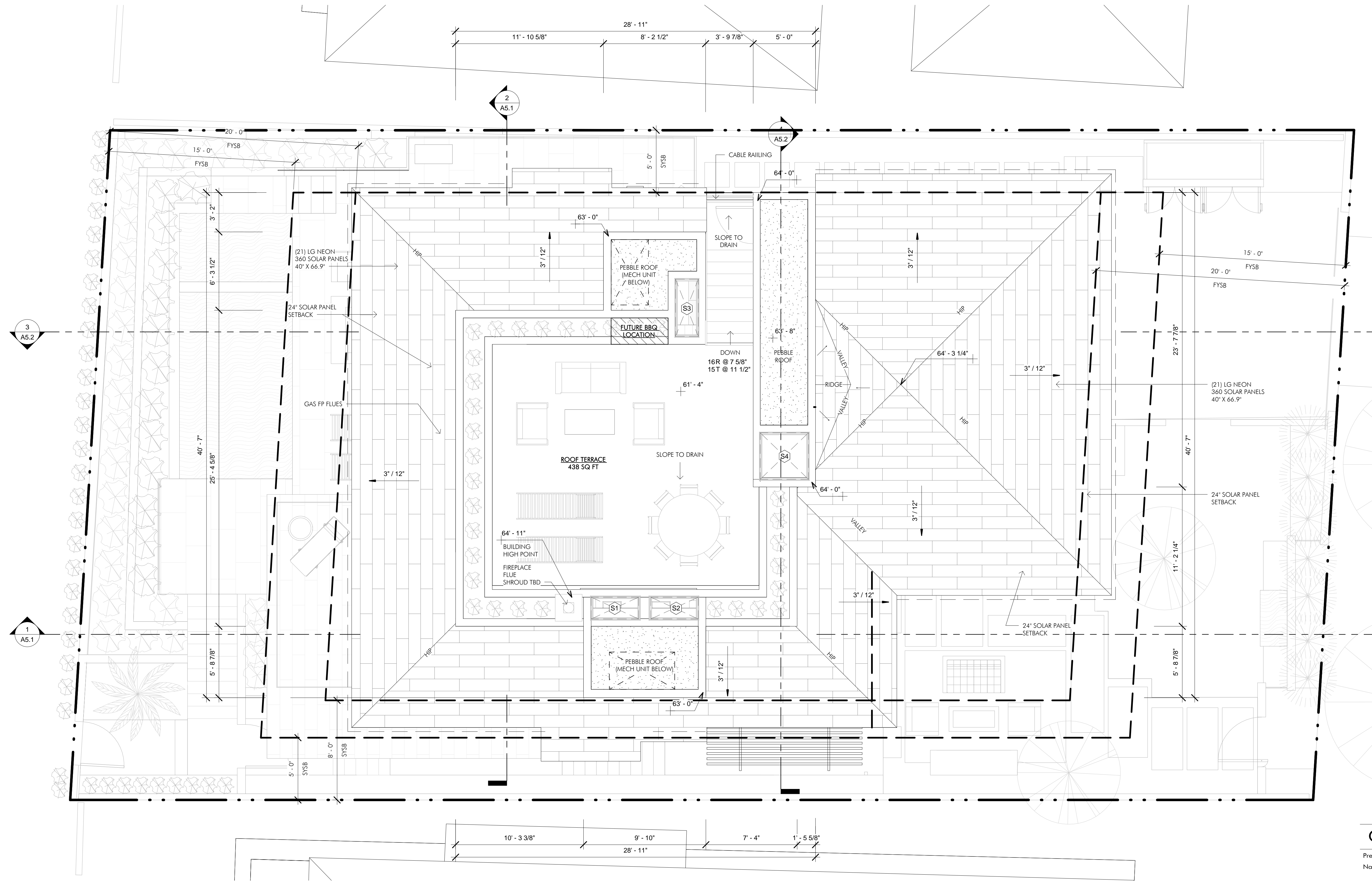
DRAINAGE LEGEND

- CDS = Concealed Downspout
- DS = Downspout
- - - = Substructure/subterranean drain route

*All locations to be reviewed by Contractor.

ALL DOWNSPOUTS TO DRAIN INTO LANDSCAPED AREAS

- COOL/GREEN ROOFS** - THE PROJECT WILL INCLUDE ROOFING MATERIALS WITH A MINIMUM 3-YEAR AGED SOLAR REFLECTION AND THERMAL EMITTANCE OR SOLAR REFLECTION INDEX EQUAL TO OR GREATER THAN THE VALUES SPECIFIED IN THE VOLUNTARY MEASURES UNDER THE CALIFORNIA GREEN BUILDING STANDARDS CODE.



ROOF PLAN 1/4" = 1'-0" **1**

CITY STANDARD TITLE BLOCK

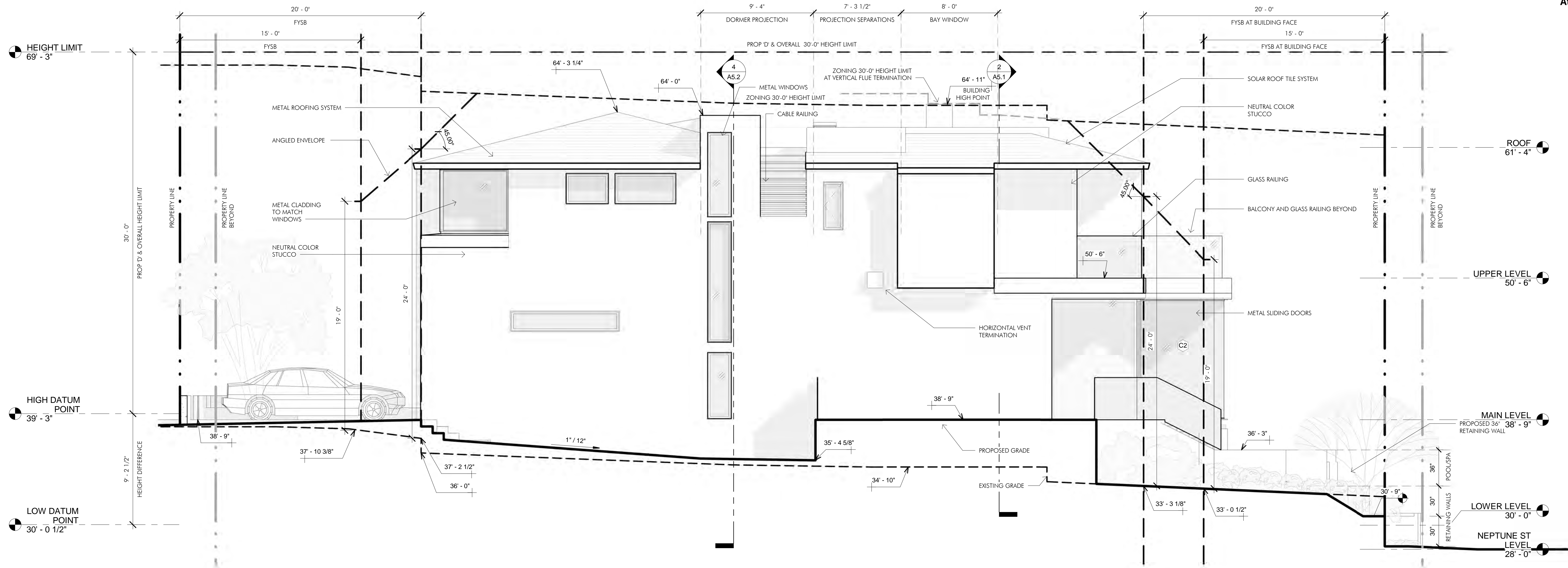
Prepared By:	Island Architects	Revision 08:	_____
Name:	Contact: Scott Frantz 7626 Herschel Avenue La Jolla, CA 92037	Revision 07:	_____
Phone:	(858) 459-9291	Revision 06:	_____
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Project Name:	RAU RESIDENCE	Revision 04:	_____
Sheet Title:	ROOF PLAN	Revision 03:	02-11-20
		Revision 02:	11-14-19
		Revision 01:	10-01-19
		Original Date:	06-14-19
		Sheet:	10 of 14
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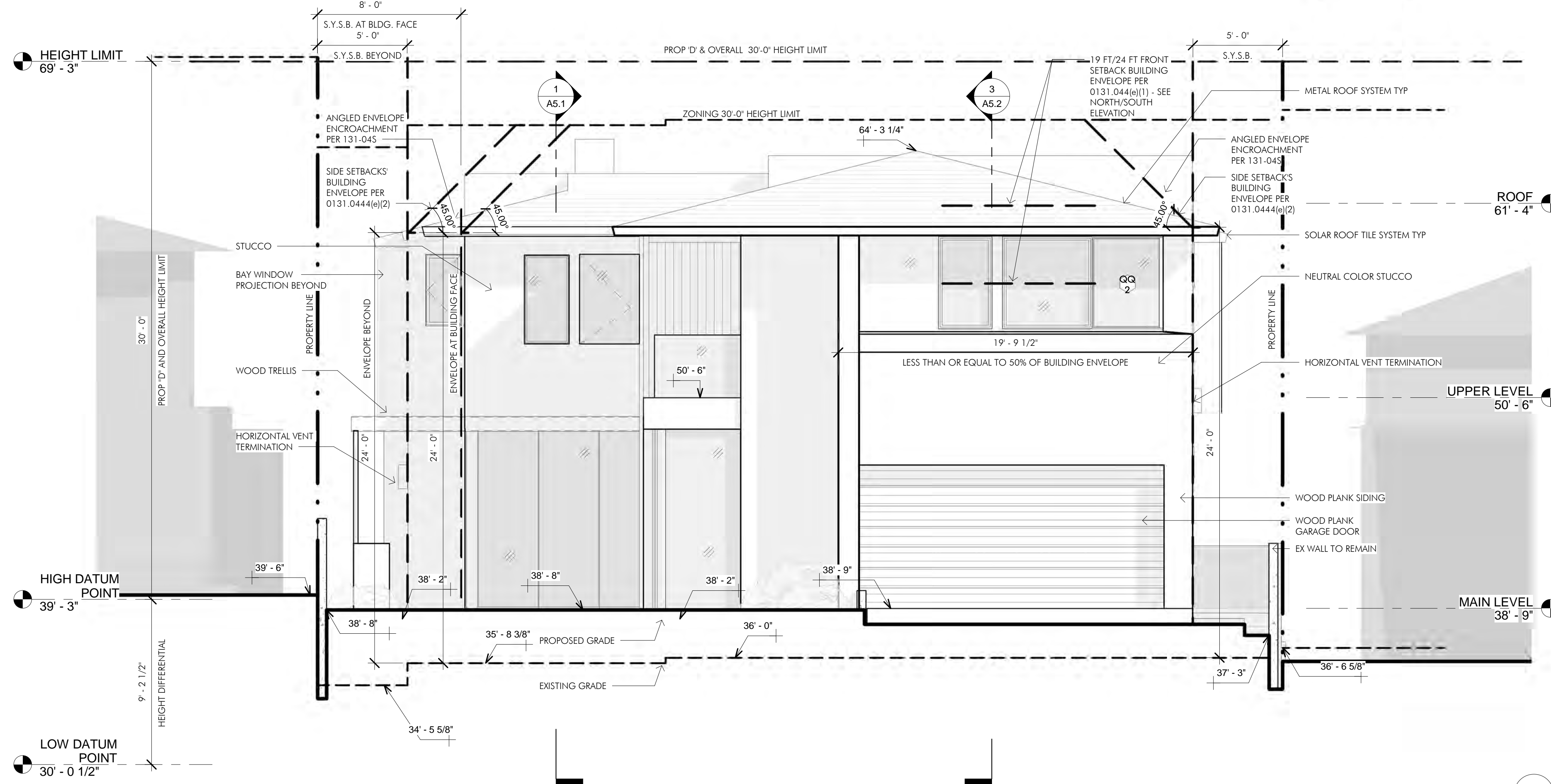


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06-14-19	CDP 1
10-01-19	CDP 2
11-14-19	CDP 3
02-11-20	CDP 4

REVISIONS	DESCRIPTION	DATE



NORTH ELEVATION 1/4" = 1'-0" 1



EAST ELEVATION 1/4" = 1'-0" 2

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		Revision 02:	11-14-19
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Sheet Title:	EXTERIOR ELEVATIONS	Original Date:	06-14-19
		Sheet:	11 of 14
		DEP#:	

RAU RESIDENCE
6515 NEPTUNE PL, LA JOLLA, CA 92037

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EXTERIOR ELEVATIONS
02.11.2020

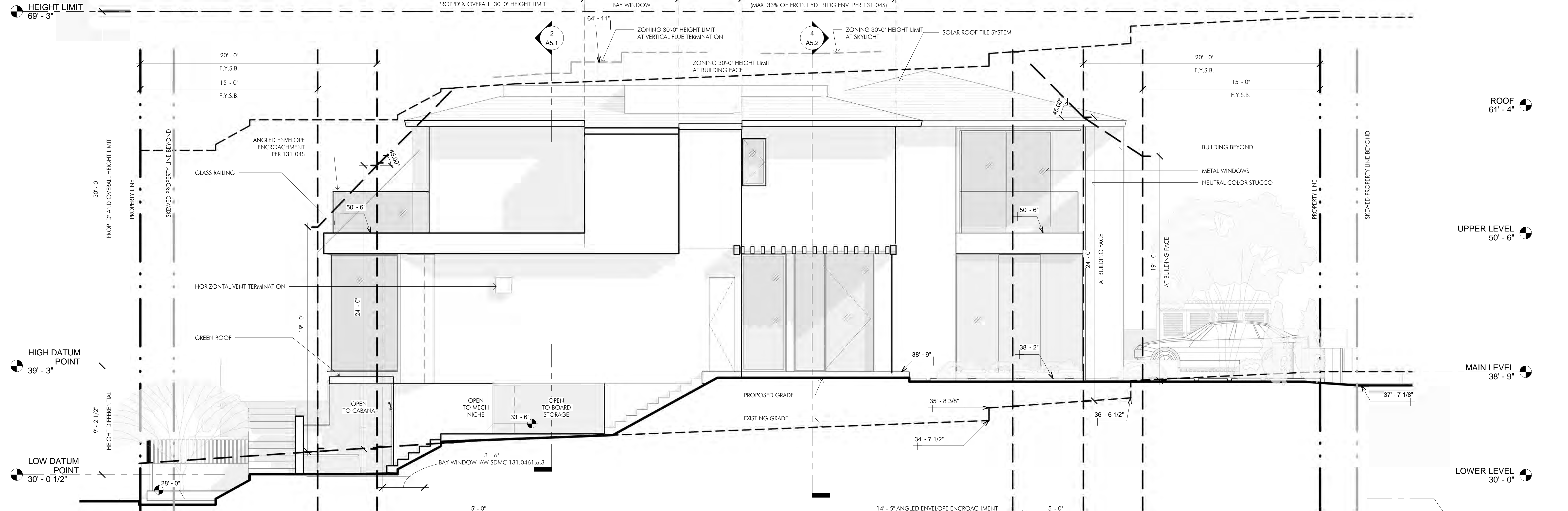
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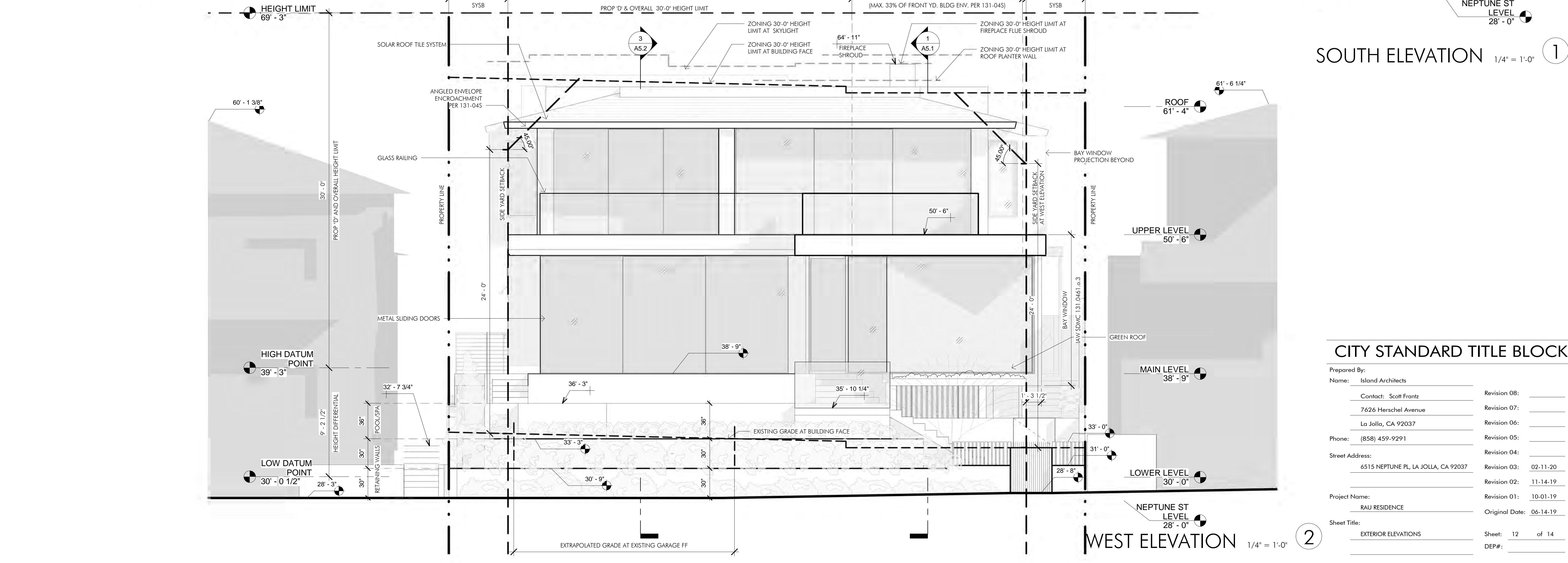
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02-11-20	CDP4

#	REVISIONS	DATE
1	DESCRIPTION	
2	DESCRIPTION	



SOUTH ELEVATION 1/4" = 1'-0" 1



WEST ELEVATION 1/4" = 1'-0" 2

CITY STANDARD TITLE BLOCK

Prepared By: Island Architects

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Phone: (858) 459-9291

Street Address: 6515 NEPTUNE PL., LA JOLLA, CA 92037

Project Name: RAU RESIDENCE

Sheet Title: EXTERIOR ELEVATIONS

Revision 08:	
Revision 07:	
Revision 06:	
Revision 05:	
Revision 04:	
Revision 03:	02-11-20
Revision 02:	11-14-19
Revision 01:	10-01-19
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Sheet:	12 of 14
DEP#:	

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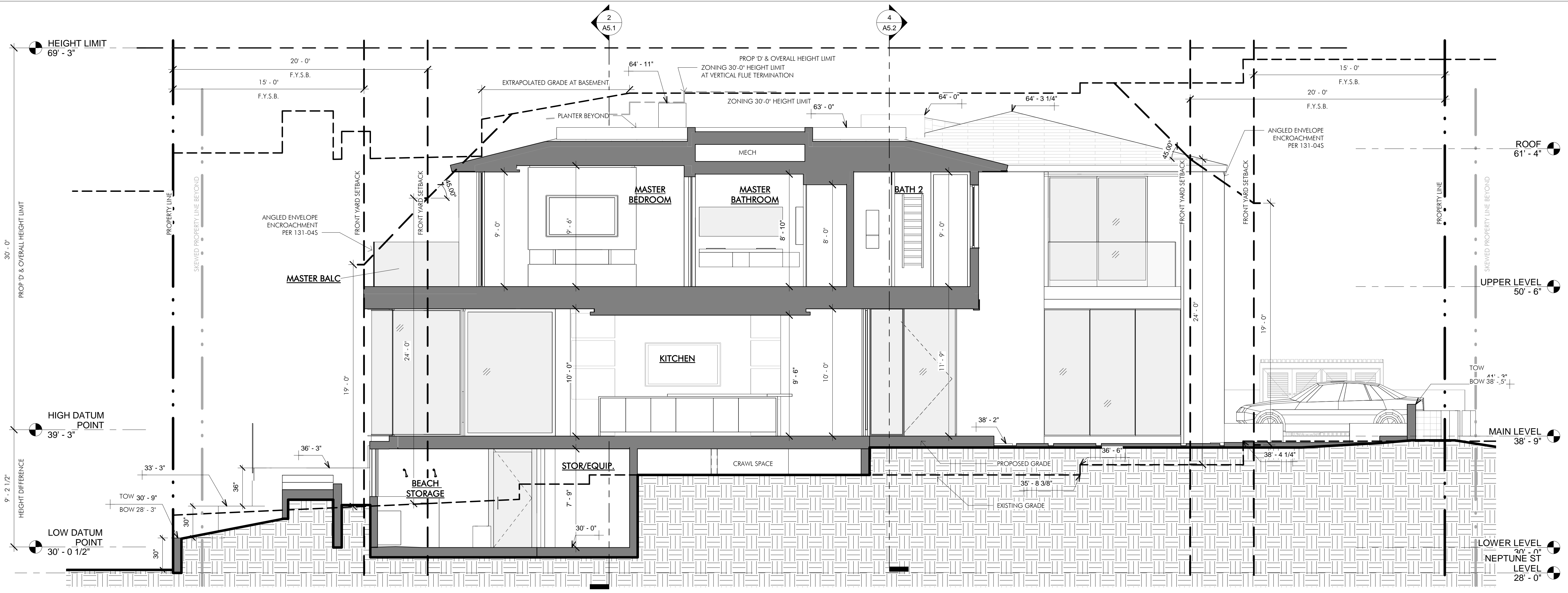
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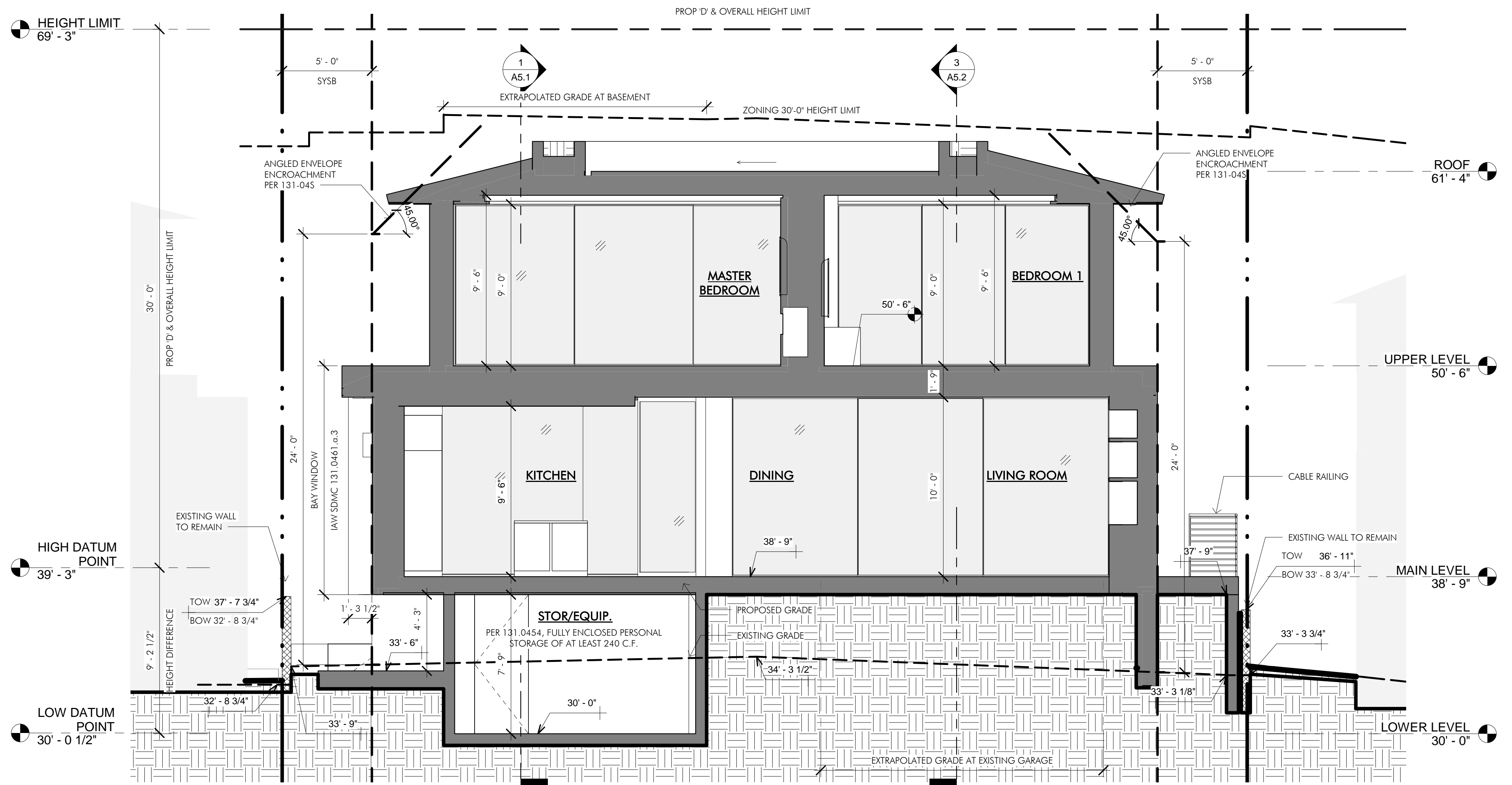


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11-14-19	CDP 3
02-11-20	CDP 4

REVISIONS	DATE



SECTION 1 1/4" = 1'-0" ①



Wall Legend
 ■ NEW CONSTRUCTION WALL
 □ EXISTING WALL TO REMAIN

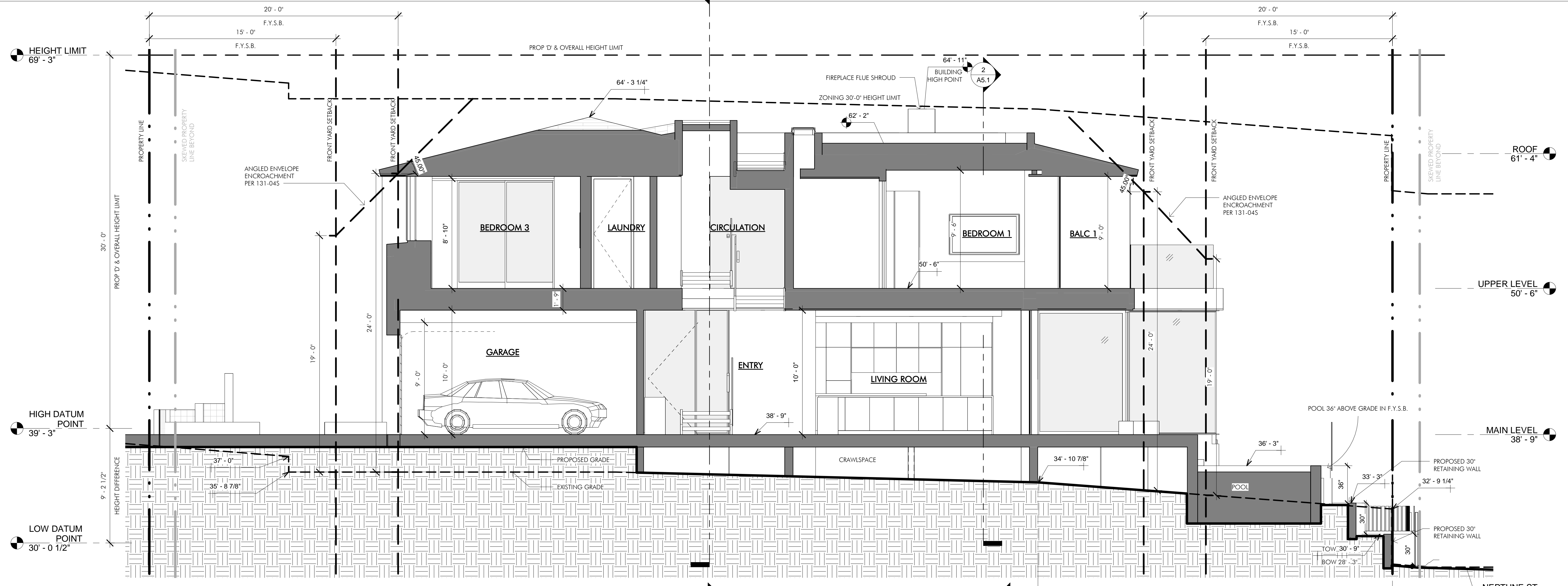
SECTION 2 1/4" = 1'-0" ②

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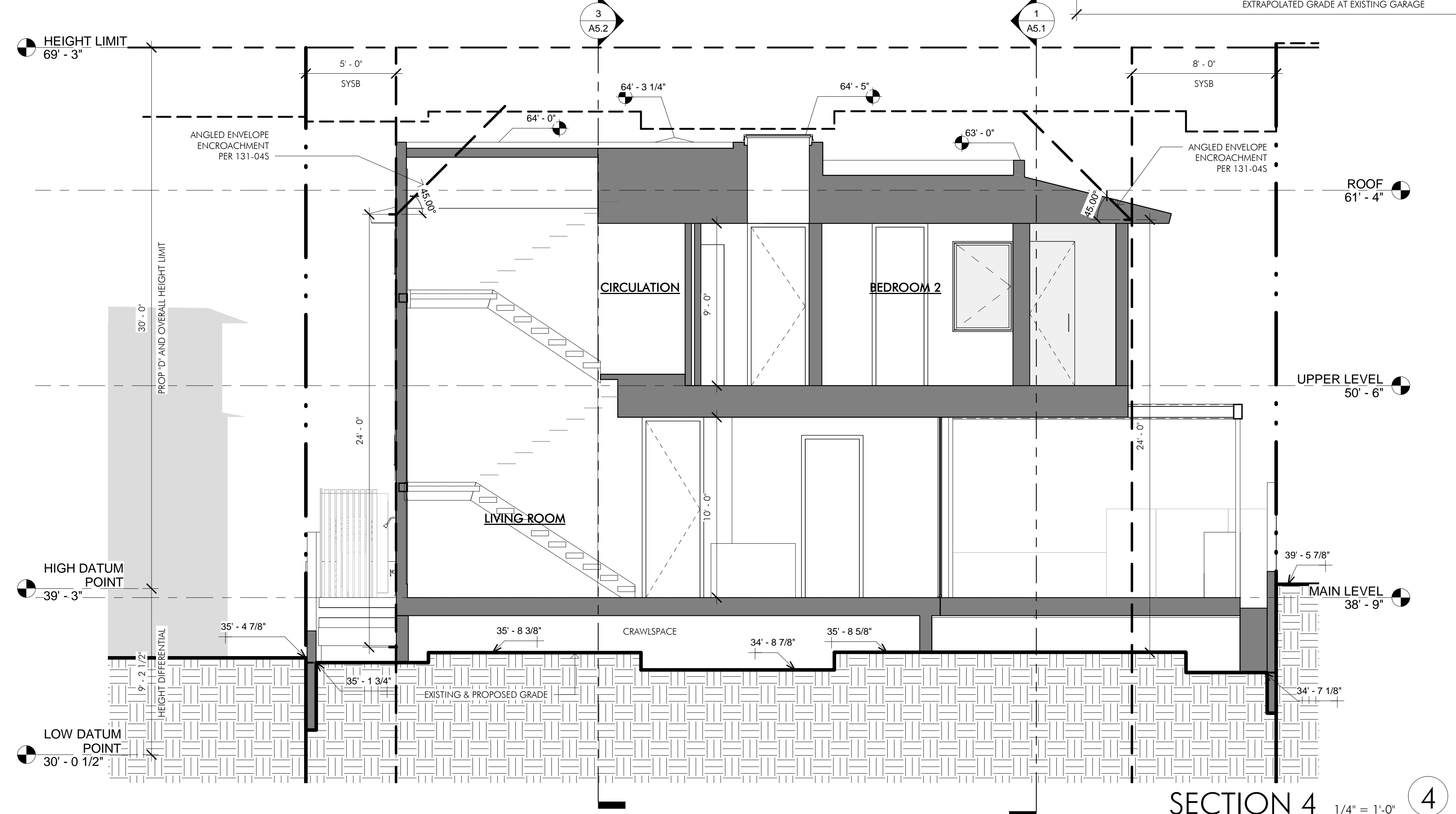


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11-14-19	CDP 3
02-11-20	CDP 4

REVISIONS	
#	DESCRIPTION



SECTION 3 1/4" = 1'-0" 3



SECTION 4 1/4" = 1'-0" 4

Wall Legend

— NEW CONSTRUCTION WALL

- - - EXISTING WALL TO REMAIN

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