



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 9, 2020 REPORT NO. HO-20-057

HEARING DATE: December 16, 2020

SUBJECT: VERIZON TOWNSGATE EL CAMINO Process Three Decision

PROJECT NUMBER: [651464](#)

OWNER/APPLICANT: City of San Diego/Verizon Wireless

SUMMARY

Issue: Should the Hearing Officer approve a Wireless Communication Facility (WCF) located at 3700 Townsgate Drive in the CVPD-EP zone of the Carmel Valley Planned District within the Carmel Valley Community Planning Area?

Staff Recommendation: Approve Site Development Permit No. 2486648, Neighborhood Use Permit No. 2490471, and Neighborhood Development Permit No. 2490464.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New construction) of the State CEQA Guidelines). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made November 6, 2020 and the opportunity to appeal that determination ended November 20, 2020.

BACKGROUND

Verizon is proposing a new Wireless Communication Facility (WCF) integrated into two new athletic field light poles located on a city-owned baseball field at the Carmel Valley Recreation Center located at 3700 Townsgate Drive. The site is within the Carmel Valley Planned District EP (Educational and Park) zone and designated Neighborhood Park in the Carmel Valley Community Plan. Land uses surrounding the project site include commercial development to the north, office development to the west, residential development to the south and schools to the east (Attachments 1, 2, and 3).

[Council Policy 600-43](#) assigns preference levels to WCFs proposed on different land uses. This site is considered a Preference Two location due to its location within a public park where the antennas are a minimum of 100 feet away from the property line of a premises with a dwelling unit, child care center, or school with children enrolled in any grade kindergarten through grade 8. This

corresponds with a Neighborhood Use Permit (NUP), however, pursuant to San Diego Municipal Code (SDMC) Section 153.0201, the Carmel Valley Planned District requires all new development to obtain a Site Development Permit (SDP), Process Three. Sites proposed in Preference Two locations must explain why higher preference sites (Preference 1 sites) were not utilized. In this case The Carmel Valley Recreation Center site was the preferred location as the site addresses Verizon's need to provide coverage to the surrounding residential and commercial developments. Verizon explored alternative locations in the nearby commercial and office developments, but these locations were either too close to other WCFs or the property owners were not amenable to the antenna installation. The project also requires a Process Two Neighborhood Development Permit (NDP) pursuant to SDMC Section 141.0420(g)(2). All permits are consolidated under Process Three per SDMC 112.0103(a).

DISCUSSION

The project proposes the removal of two existing 60'-5" athletic light standards to be replaced with two new 60'-5" light standards supporting six panel antennas (four on light standard "A" and two on light standard "B"), six Remote Radio Units (RRUs) and three surge suppressors, screened by a cylindrical shroud measuring 15'-1" in length and 36" in diameter near the top of the light standards (Figure 1). The connections to and from the antennas in addition to the mounting apparatus are concealed within the pole minimizing all visual impacts. The associated equipment is located on the ground below the poles and will be stored in a 200 square-foot enclosure with a trellis roof. The Carmel Valley Recreation Center accommodates a variety of sports including softball, baseball, soccer and swimming. The new athletic light standards will comply with City Parks and Recreation Department standards to illuminate athletic fields.

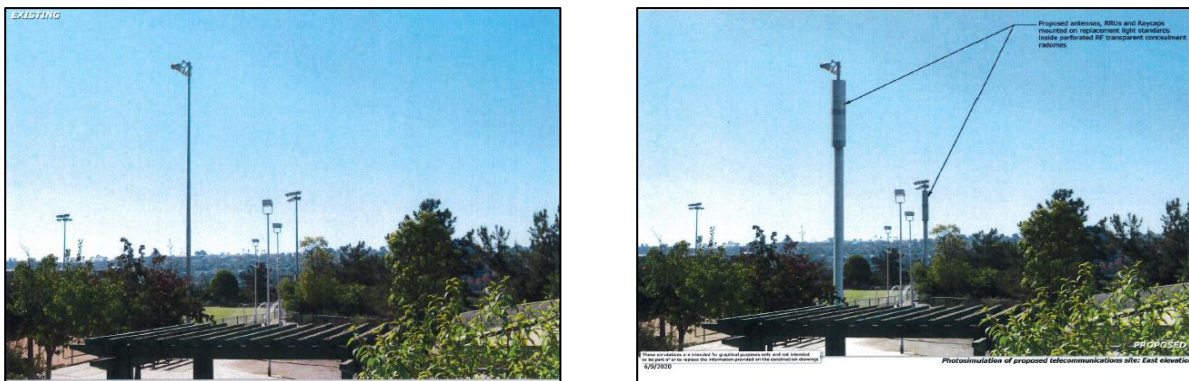


Figure 1: Photosimulation of Proposed Light Standards

Community Plan:

The Carmel Valley Community Plan does not contemplate WCFs. However, the City's General Plan addresses WCFs in the Urban Design Element (UD-A.15), which requires that the visual impact of wireless facilities be minimized by concealing them in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

Because athletic field lights are an expected component of athletic fields, the proposed light poles will replace existing light standards at the same height and will not represent a visual impact. Adjacent buildings and topography help to screen the site from view, and a shroud is used to conceal pole-mounted equipment. the proposed WCF complies with the City's San Diego Municipal Code, Section 142.0420, the Wireless Communication Facility Guidelines, and the design requirements in accordance with the City's General Plan.

ALTERNATIVES

1. Approve Site Development Permit No. 2486648, Neighborhood Development Permit No. 2490464 and Neighborhood Use Permit No. 2490471, with modifications.
2. Deny Site Development Permit No. 2486648, Neighborhood Development Permit No. 2490464 and Neighborhood Use Permit No. 2490471, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,

William Zounes

William Zounes, Development Project Manager

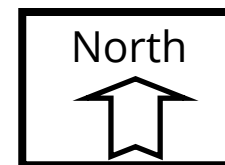
Attachments:

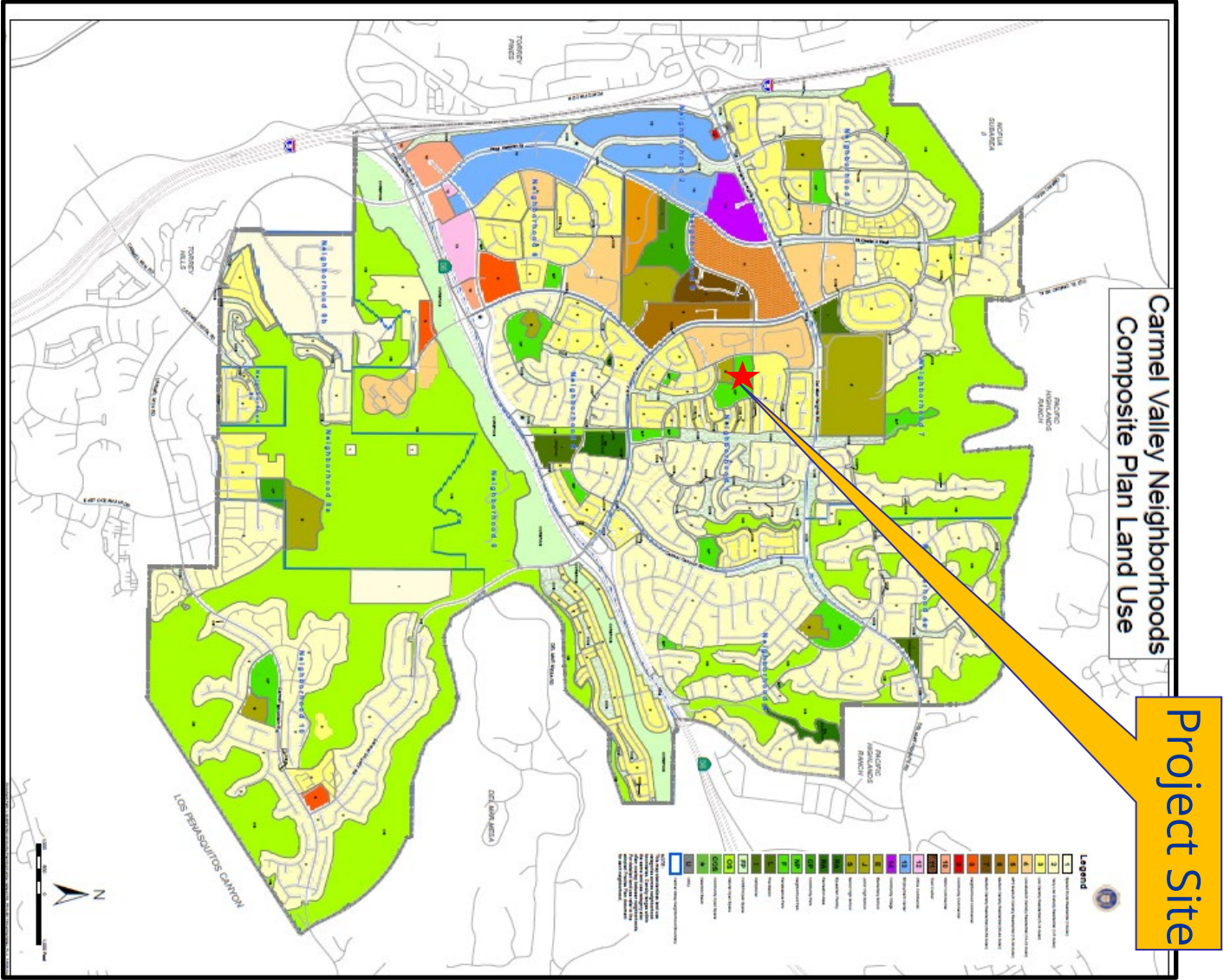
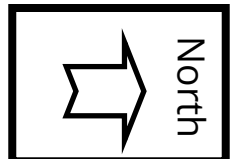
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Photo Survey
10. Community Planning Group Recommendation
11. Ownership Disclosure
12. Photosimulations
13. Project Plans



Aerial Photograph

Verizon Townsgate El Camino Project No. 651464
3777 Townsgate Drive





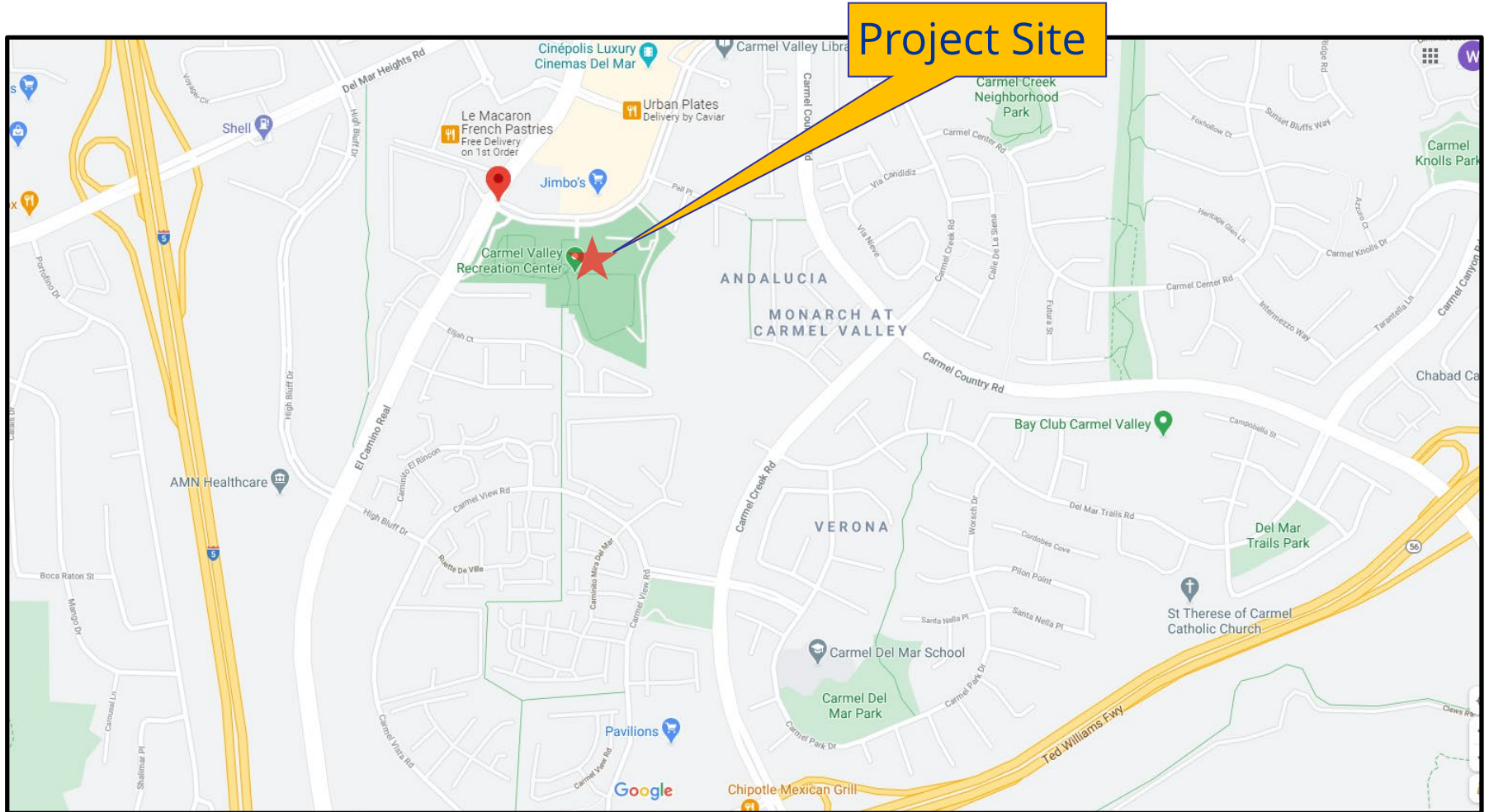
Project Site

Carmel Valley Neighborhoods
Composite Plan Land Use

Carmel Valley Community Land Use Map

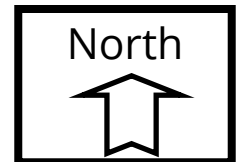
Verizon Townsgate El Camino Project No. 651464
3777 Townsgate Drive





Project Location Map

Verizon Townsgate El Camino Project No. 651464
3777 Townsgate Drive



PROJECT DATA SHEET		
PROJECT NAME:	Verizon Townsgate El Camino	
PROJECT DESCRIPTION:	The project proposes the removal of two existing 60'-5" athletic light standards to be replaced with two new 60'-5" light standards supporting six panel antennas	
COMMUNITY PLAN AREA:	Carmel Valley	
DISCRETIONARY ACTIONS:	Site Development Permit/Neighborhood Development Permit/Neighborhood Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Neighborhood Park	
<u>ZONING INFORMATION:</u> ZONE: CVPD-EP HEIGHT LIMIT: N/A LOT SIZE: 16-acres FLOOR AREA RATIO: N/A FRONT SETBACK: N/A SIDE SETBACK: N/A STREETSIDE SETBACK: N/A REAR SETBACK: N/A PARKING: N/A		
	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Town Center; CVPD-TC	Commercial Center
SOUTH:	Industrial/Median Density Residential; CVSP	multi-family residential dwelling units/Light Industrial
EAST:	Medium Density Residential/Junior Highschool; CVPD-EP/CVPD-MF4	multi-family residential dwelling units
WEST:	Employment Center; CDPD-EC\	Light Industrial
DEVIATIONS OR VARIANCES REQUESTED (INCENTIVES):	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 22, 2020 the Carmel Valley Community Planning Group voted 9-0-0 to recommend approval of the project.	

**HEARING OFFICER
RESOLUTION NO. [REDACTED]
SITE DEVELOPMENT PERMIT NO. 2486648
NEIGHBORHOOD USE PERMIT NO. 2490471
NEIGHBORHOOD DEVELOPMENT PERMIT No. 2940464
VERIZON TOWNSGATE EL CAMINO PROJECT NO. 651464**

WHEREAS, CITY OF SAN DIEGO, Owner, and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a wireless communications facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No 2486648, 2940464 and 2940471), on portions of a 19-acre site;

WHEREAS, the project site is located at 3700 Townsgate Drive in the CVPD-EP zone of the Carmel Valley Planned District within the Carmel Valley Community Planning Area;

WHEREAS, the project site is legally described as all portions of the northeast quarter of the northwest quarter of section 19 and a portion of the southeast quarter of the southwest quarter of section 18, all in township 14 south, range 3, west, San Bernardino meridian, in the City of San Diego, County of San Diego, State of California;

WHEREAS, on November 6, 2020 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 16, 2020, the Hearing Officer of the City of San Diego considered Site Development Permit NO. 2486648, Neighborhood Development Permit No. 2940464 and Neighborhood Use Permit No. 2490471 pursuant to the San Diego Municipal Code (SDMC) Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit NO. 2486648 and Neighborhood Development Permit No. 2490471:

A. Site development PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes a Wireless Communication Facility (WCF) to include the replacement of two 60'-5" tall athletic light standards supporting six panel antennas, six Remote Radio Units (RRUs) and three surge suppressors concealed within a (add dimensions) shroud. Associated equipment will be located within a 200 square-foot enclosure. The project is located within the Carmel Valley Recreation Center Park at 3700 Townsgate Drive in the CVPD-EP zone of the Carmel Valley Planned District within the Carmel Valley Community Planning Area.

The Carmel Valley Community Plan does not contemplate WCFs. However, the City's General Plan addresses WCFs in the Urban Design Element (UD-A.15), which requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The Carmel Valley Recreation Center accommodates a variety of sports including softball, baseball, soccer and swimming. The replacement athletic light standards will be installed in accordance with City Parks and Recreation Department standards to illuminate athletic fields. The antennas and associated components will be mounted on the pole but concealed within 36-inch diameter shroud. The overall appearance of the athletic field light will not change significantly, as the slim line profile will remain.

Due to the location within a community park where athletic field lights are commonly found and the integration of the antennas and associated components, the project complies with the WCF regulations and Guidelines. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes a Wireless Communication Facility (WCF) consisting of the replacement of two 60'-5" light standards supporting six panel antennas (four on light standard "A" and two on light standard "B"). The WCF is located on the sports field at the Carmel Valley Recreation Center at 3700 Townsgate Drive. The project site is within the Carmel Valley Planned District EP (Educational and Park) zone. Connections to and from the antennas in addition to the mounting apparatus are concealed within shrouds to minimize any visual impacts. The associated 200 square-foot equipment shelter is located at grade near light standard "B", and requires a Neighborhood Development Permit pursuant to SDMC Section 141.0420(g)(2).

The project was determined to be exempt from CEQA pursuant to Section 15303 (New construction or conversion of small structures) of the State CEQA Guidelines.. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare to include but not limited to height limitation, concealment requirements, and electromagnetic fields controls. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located within the CVPD- EP zone of the Carmel Valley Community Planning Area. The project meets all applicable requirements of this zone. The WCF Regulations (SDMC Section 141.0420) contain design requirements for Wireless Communication Facilities (WCF), which include the requirement to utilize the smallest, least visually intrusive antennas, components and other necessary equipment. It further requires that all reasonable means to conceal or minimize visual impacts be achieved through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

The replacement light standards will have the same appearance as a standard athletic light pole but are slightly larger in diameter to accommodate the required

cables and antennas. The equipment enclosure is proposed at grade near “light standard B” and is designed to replicate other buildings on site.

The project requires a Neighborhood Use Permit in accordance with SDMC Section 142.0420(b)(2) as the WCF is located on dedicated parkland, where the antennas are more than 100 feet from the property line of a premises with a dwelling unit, a child care center or school with children enrolled in any grade kindergarten through grade 8. A Neighborhood Development Permit is required for a WCF with an at-grade equipment enclosure within a public park. Additionally, a Site Development Permit in accordance with SDMC Section 153.0201 is required for any new development located within the Carmel Valley Planned District. The Carmel Valley Recreation Center site was the preferred location as the site addresses Verizon’s need to provide coverage to the surrounding residential and commercial developments. Verizon explored alternative locations in the nearby commercial and office developments, but these locations were either too close to other WCF’s or the property owners were not amenable to the antenna installation.

The design is consistent with the City’s WCF regulations and the WCF Guidelines and it complies with the CVPD-EP zone requirements. As demonstrated by both Verizon’s justification analysis and the design, the WCF is appropriate at the proposed location. Therefore, the proposed development will comply with the regulations of the Land Development Code and there are no proposed deviations.

B. Neighborhood Use Permit [SDMC Section 126.0205]

2. Findings for all Neighborhood Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

As outlined in Site Development Permit Finding No. (1)(a) listed above, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in Site Development Permit Finding No. (1)(b) listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code

As outlined in Site Development Permit Finding No. (1)(c) listed above, the proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code

C. **Neighborhood Development Permit [SDMC Section 126.0404]**

3. **Findings for all Neighborhood Use Permits:**

- a. **The proposed development will not adversely affect the applicable land use plan.**

As outlined in Site Development Permit Finding No. (1)(a) listed above, the proposed development will not adversely affect the applicable land use plan.

- b. **The proposed development will not be detrimental to the public health, safety, and welfare.**

As outlined in Site Development Permit Finding No. (1)(b) listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. **The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code**

As outlined in Site Development Permit Finding No. (1)(c) listed above, the proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No 2486648, Neighborhood Development Permit No. 2940464 and Neighborhood Use Permit No. 2490471 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos.2486648, 2940464, and 2490471, a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: December 16, 2020

IO#: 11003679

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003639 SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2486648
NEIGHBORHOOD USE PERMIT NO. 2490471
NEIGHBORHOOD DEVELOPMENT PERMIT No. 2940464
VERIZON TOWNSGATE EL CAMINO PROJECT NO. 651464
HEARING OFFICER

This Site Development Permit No. 2486648/Neighborhood Use Permit No. 2490471/Neighborhood Development Permit No. 2940464 is granted by the Hearing Officer of the City of San Diego to CITY OF SAN DIEGO, Owner, and VERIZON WIRELESS, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 142.0420 and 153.0201. The 19-acre site is located at 3700 Townsgate Drive in the CVPD-EP zone of the Carmel Valley Planned District within the Carmel Valley Community Planning Area. The project site is legally described as: all portions of the northeast quarter of the northwest quarter of section 19 and a portion of the southeast quarter of the southwest quarter of section 18, all in township 14 south, range 3, west, San Bernardino meridian, in the City of San Diego, County of San Diego, State of California;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 16, 2020, on file in the Development Services Department.
The project shall include:

- a. The removal of two 60'-5" athletic light standards to be replaced with two new 60'-5" light standards supporting six panel antennas (four on light standard "A" and two on light standard "B" with a dimension of 72" tall x7") with six Remote Radio Units (RRUs) and three surge suppressors, screened by two cylindrical antenna shrouds measuring 15'-1" in length and 36" in diameter;
- b. A 200 square-foot enclosure with a trellis roof housing equipment cabinets and associated components;
- c. Every aspect of this project is considered an element of concealment including (but not limited to) the dimensions, build and scale, color, materials and texture. Any future modifications to this permit/project must not defeat concealment. (Delete if necessary)

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 30, 2023.
2. This permit and corresponding use of this site shall expire on **December 30, 2035**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
13. If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
14. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto,

including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

16. No visible cabling is permitted.

17. The WCF shall conform to the approved construction plans.

18. Photo simulations shall be printed in color on the construction plans.

19. The City may require the Permittee to provide a topographical survey conforming to the provisions of the SDMC may be required if the City determines during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

20. The Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

21. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.

22. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.

23. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

24. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

25. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PARKS AND RECREATION DEPARTMENT REQUIREMENTS:

27. The Permittee shall ensure that Park & Recreation Department review and approve construction plans prior to building permit issuance.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below via email at wzounes@sanidiego.gov to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 16, 2020.

ATTACHMENT 6

Permit Type/PTS Approval No.: 2486648/2940464/2940471

Date of Approval: December 16, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

City of San Diego
Owner

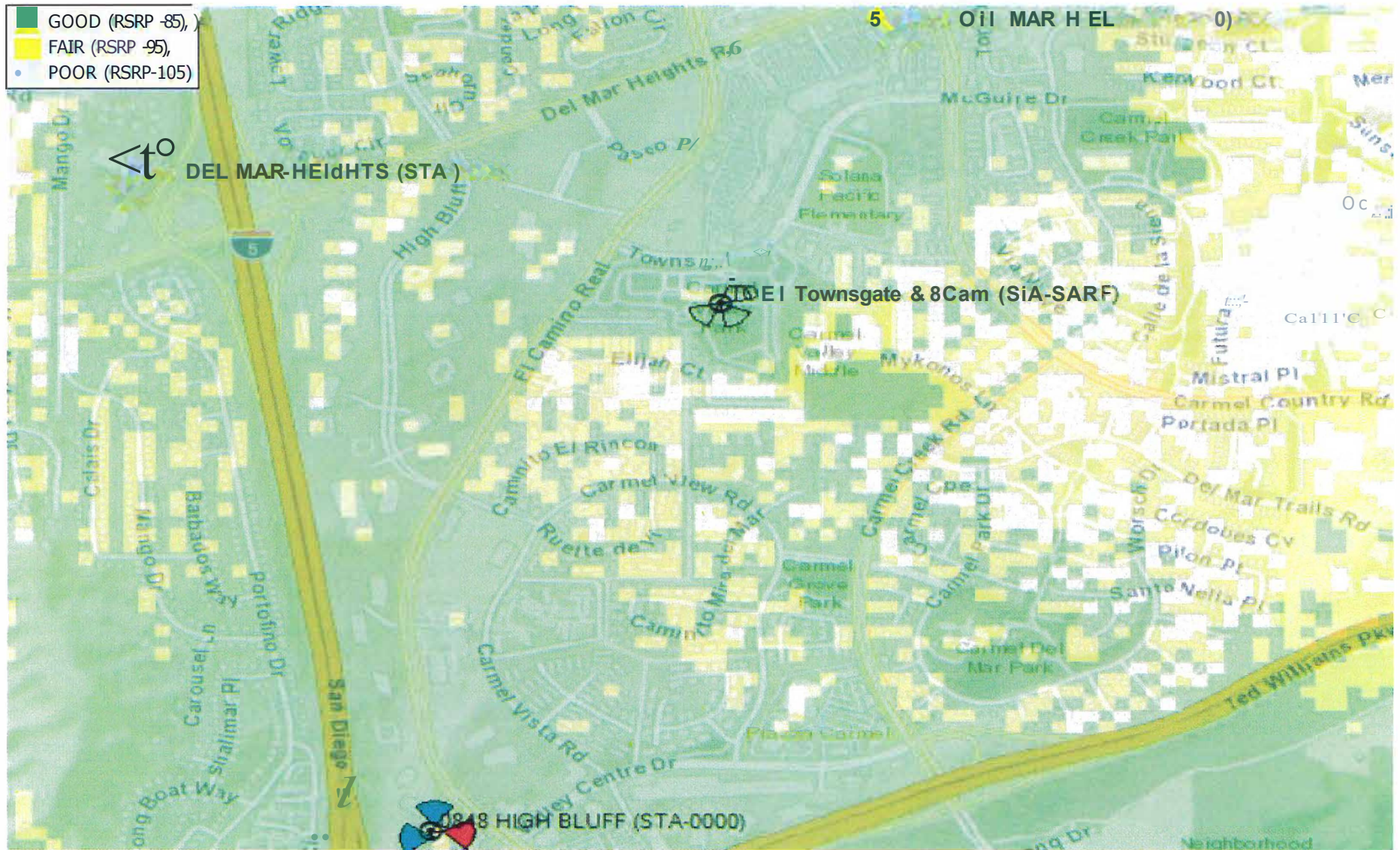
By _____
NAME
TITLE

Verizon
Owner/Permittee

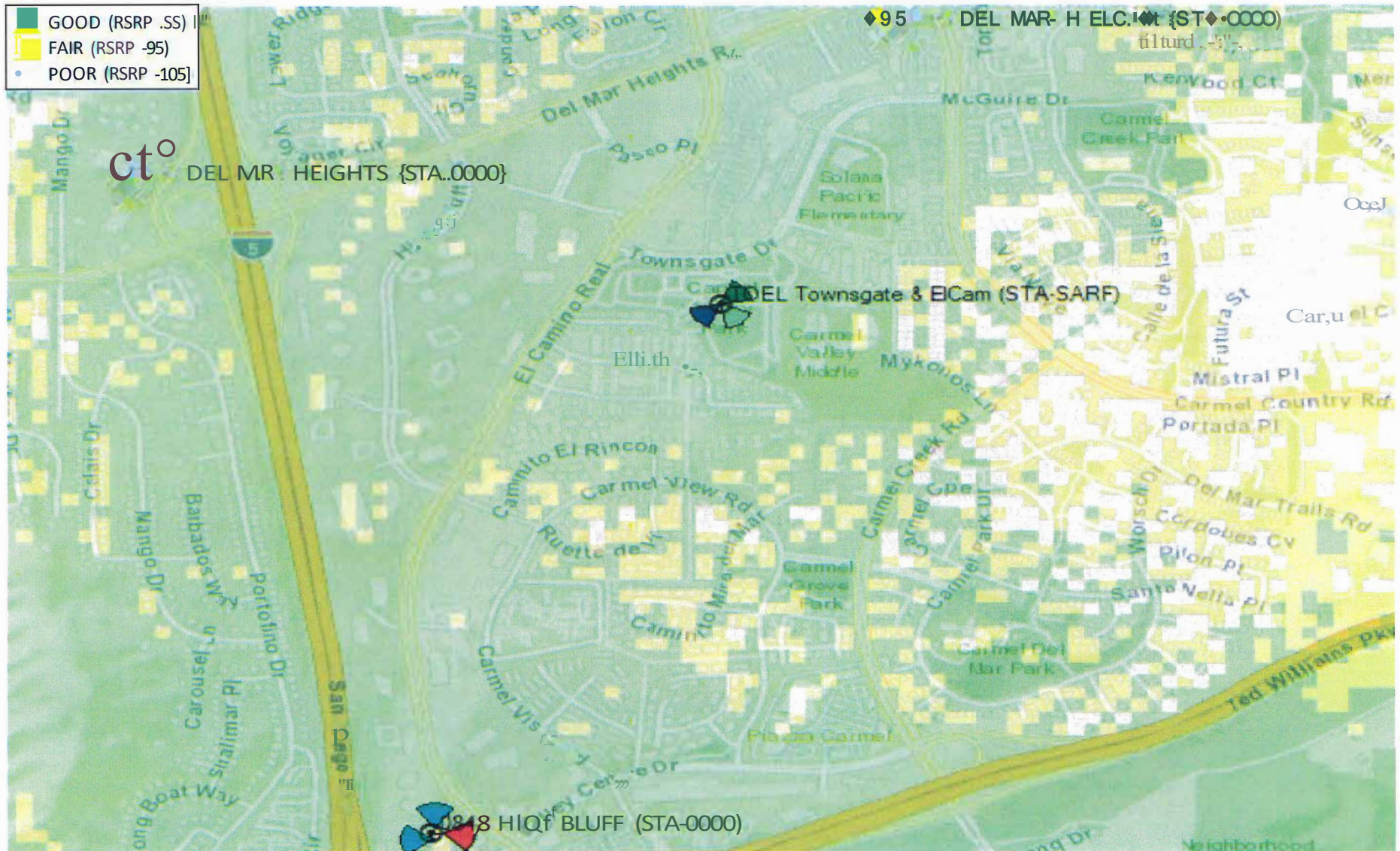
By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Townsgate And ElCam 700 Existing RSRP Coverage



Townsgate And EICam 700 Proposed RSRP Coverage 6FT Antenna



NOTICE OF EXEMPTION**ATTACHMENT 8***(Check one or both)*

TO: ☒ RECORDER/COUNTY CLERK
P.O. Box 1750, MSA-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

☐ OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 651464

Project Title: Verizon Townsgate B Camino

PROJECT LOCATION-SPECIFIC: 3777 Townsgate Drive, San Diego, CA 92130

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A Site Development Permit (SOP) and Neighborhood Use Permit (NUP) application for a new Wireless Communication Facility (WCF). The WCF would consist of the replacement of two athletic field light poles with two new poles, one supporting four antennas, four remote radio units and two raycaps and the other supporting two antennas, two radios and one raycap. A 200-square-foot equipment enclosure is also included. The NUP is required because the proposed shroud is twenty-two feet long, which is seven feet longer than what is permitted. The SDP is required because the development is within the Carmel Valley Planned District. The project is located at the developed Carmel Valley Community Park within the Carmel Valley Planned District-EP zone. The WCF is unmanned and technicians would visit the site only as required for routine maintenance and repairs.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Plan Com Inc., Shelly Kilbourn- 302 State Place, Escondido CA, 92029(619)208-4685

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269(b)(c)).
- ☒ CATEGORICAL EXEMPTION: Exemption 15303 (New Construction)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction). The exemption allows for the construction and location of limited numbers of new, small facilities or structures where only minor modifications are made. Since the project would build one unmanned WCF within an existing developed site without substantially altering the park it was determined that the exemption was appropriate, and the exceptions listed in CEQA Section 15300.2 would not apply.

ATTACHMENT 8

LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () No

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

 **Slo "!!!!" —**
(!) Gr T RE I LE

11/30/2020
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY
CLERK OR OPR:

DATE RECEIVED FOR FILING WITH COUNTY

verizon



North Elevation



South Elevation



East Elevation



West Elevation

verizon



View North



View South



View East



View West

verizon



Equipment Location/South Elevation



Page 3		City of San Diego • Information Bulletin 620		May 2020						
		City of San Diego Development Services		Community Planning Committee Distribution Form						
Project Name: Verizon Townsgate El Camino			Project Number: 651464							
Community: Carmel Valley										
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>										
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny										
# of Members Yes 9		# of Members No 0		# of Members Abstain 0						
Conditions or Recommendations:										
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)										
NAME: Frisco White										
TITLE: Chair			DATE: October 22, 2020							
<i>Attach additional pages if necessary (maximum 3 attachments).</i>										

SD.) Real Estate Assets
City Consent Application

For installation / modification of Telecommunication antenna facility on City owned property

11/20/18

Date

The City of San Diego
 Real Estate Assets Department
 1200 Third Avenue, Suite 1700
 San Diego, California 92101

RE: Site Name: Townsgate & ElCam Project# [t_0_.l4_Lo_-C\
 site Address: 3777 Townsgate Drive San Diego (the "Property")
 Agreement: Agreement dated _____ (the "agreement") between The City of San
 Diego ("City") and _____ ("Lessee" or "Permittee").

Verizon Wireless is seeking consent from the City to perform the following to the above
 referenced site:

☒ **D** Modify, upgrade or changes to existing equipment or Site as describe in the attached plans/
 photos.

☐ installation of a New Wireless Communication Facility on City owned property.

☒ **D** Apply for new Permit/New Agreement on existing facility - NO modifications or changes to
 Existing equipment or site.

Describe proposed project below:

Replace two (2) existing stadium light standards at the Carmel Valley Community Park. Verizon to flush mount six (6) antennas in three sectors of two (2) antennas each sector on each new light standard. Two light standards will be replaced for a total of twelve (12) antennas. Equipment to be enclosed within a CMU block wall and placed in a landscaped area adjacent to the light pole. Equipment location can be adjusted subject to input from Parks Dept.

Pursuant to Improvements and Alterations, section of the above referenced agreement "Lessee / Permittee shall not construct any improvements, structures or installations of the Premises or make any alterations to the Premises (with the exception of equipment replacement or repairs) without City's prior written approval."

In order to comply with such requirements, _____ would like to request City's consent to submit to Development Services Department for review of the proposed items above.

Sincerely, Jody Bitterlin, agent for Verizon Wireless.

Applicant Signature: 

DA one-time, **non-refundable Processing Fee** (\$4,920 for long term agreements - \$980 for Short term or ROE Permits) payable to City Treasures, MUST be paid at the time of application. This fee applies even if the agreement is never executed.

city Parks & Rec Department has provided its consent and approval to allow applicant to submit application for Required Permits needed for the proposed items listed herein, **with the understanding that the Department will be allowed to review the improvement plans prior to any permits being issued** and that a pre-construction meeting will be conducted with *staff* before any work begins, if required.

_____ Date	_____ Print Name & Title	_____ Signature
---------------	-----------------------------	--------------------

City of San Diego, acknowledgement and consent for _____
Site Location

_____ Date	Cybele L. Thompson, Director READ _____ Print Name & Title	_____ Signature
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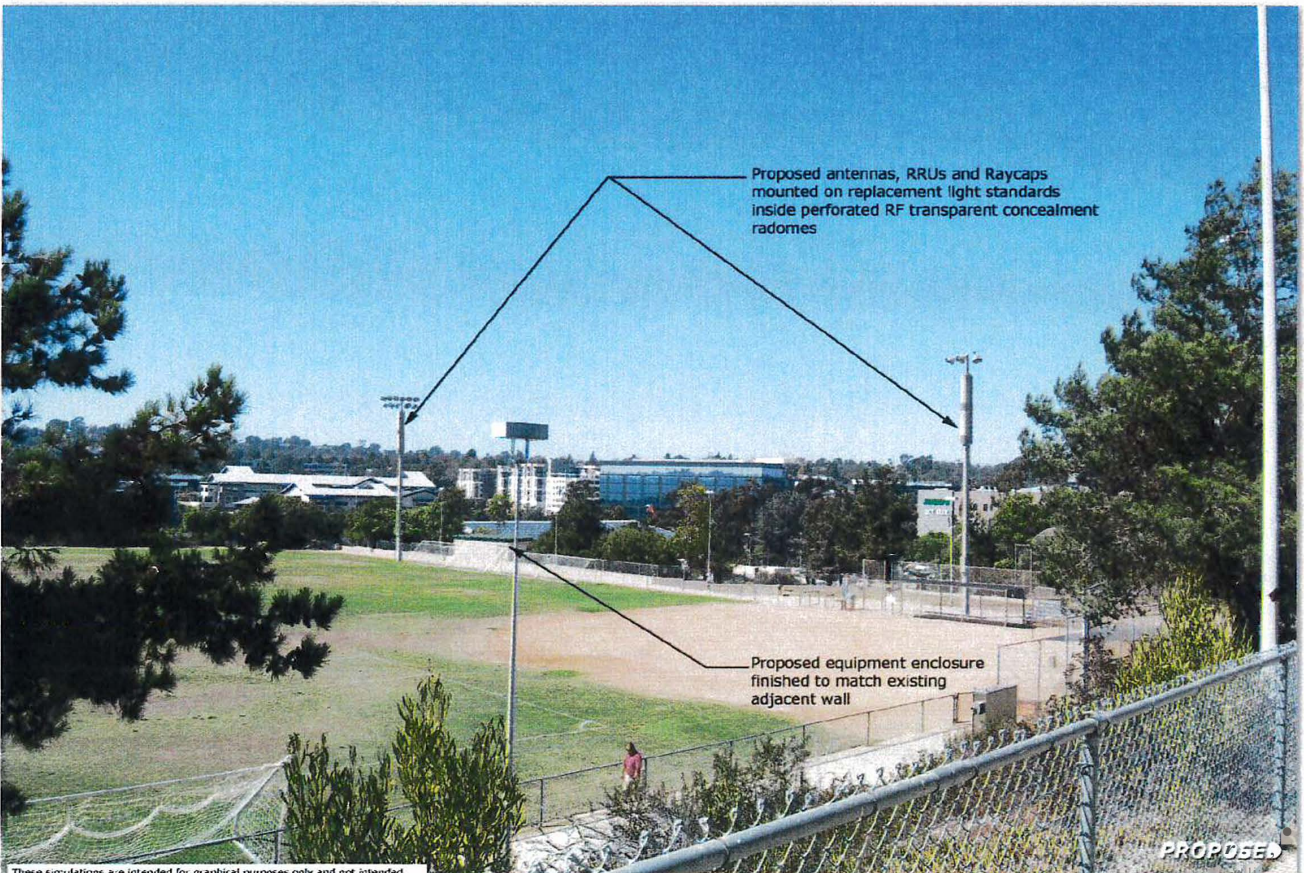
For READ ONLY

O Approved and Stamped plans received and attached
B Scan as Amendment to Agreement when executed
Processing fee received

SDJ

**Real Estate
Assets**

EXISTING



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings
6/9/2020

Photosimulation of proposed telecommunications site: Southeast elevation

ATTACHMENT 12
Verizon

EXISTING

A wide-angle photograph of an existing sports field under a clear blue sky. The field is green with some dry patches. In the background, there are trees, a fence, and a few buildings. A tall stadium light pole is visible on the left side of the field.

Proposed antennas, RRUs and Raycaps
mounted on replacement light standards
Inside perforated RF transparent concealment
radomes

Proposed equipment enclosure
finished to match existing
adjacent wall

PROPOSED

PROPOSED

Photomontage of proposed telecommunications site: Southwest elevation



EXISTING



Proposed antennas, RRUs and Raycaps mounted on replacement light standards inside perforated RF transparent concealment radomes

Proposed equipment enclosure finished to match existing adjacent wall

PROPOSED

TMTM



PROPOSED





PROJECT DESCRIPTION

VICINITY MAP



DRIVING DIRECTIONS

GENERAL CONTRACTOR NOTES

PROJECT TEAM

CODE COMPLIANCE

[illegible]

ZONING DRAWINGS

tn TtcE
BEFORE You EXCAVATE

ISSUE STATUS

PLANcowl
TELECOMMUNICATIONS PROJECT MANAGEMENT

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS
IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO
VERIZON WIRELESS IS STRICTLY PROHIBITED

1500 CANOVA COURT, SUITE 200
SAN JOSE, CA 95128



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SHEET TITLE:

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T-1

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
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1	12/12/19	100% ZD	FD
2	02/11/20	100% ZD	RO
3	05/03/20	100% ZD	FD

PLANcOMI
TELECOMMUNICATIONS PROJECT MANAGEMENT

302 STATE PLACE,
ESCONDIDO, CALIFORNIA 92029

PROPRIETARY INFORMATION

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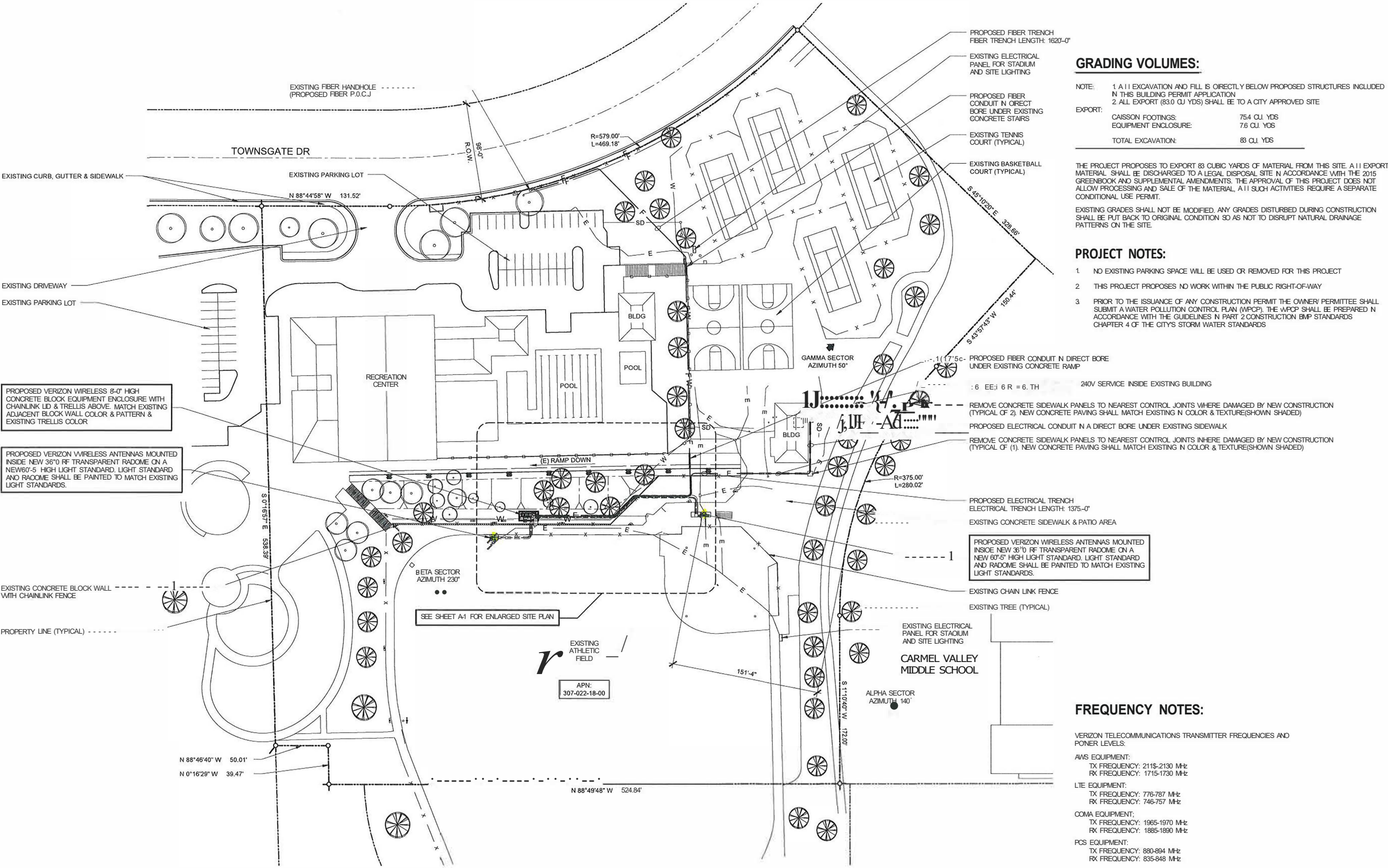
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SHEET TITLE:

SITE PLAN

A-0



GRADING VOLUMES:

NOTE: 1. ALL EXCAVATION AND FILL IS DIRECTLY BELOW PROPOSED STRUCTURES INCLUDED IN THIS BUILDING PERMIT APPLICATION
2. ALL EXPORT (83.0 CU YDS) SHALL BE TO A CITY APPROVED SITE

EXPORT:	
CAISSON FOOTINGS:	75.4 CU YDS
EQUIPMENT ENCLOSURE:	7.6 CU YDS
TOTAL EXCAVATION:	83 CU YDS

THE PROJECT PROPOSES TO EXPORT 83 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE 2015 GREENBOOK AND SUPPLEMENTAL AMENDMENTS. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

EXISTING GRADES SHALL NOT BE MODIFIED. ANY GRADES DISTURBED DURING CONSTRUCTION SHALL BE PUT BACK TO ORIGINAL CONDITION SO AS NOT TO DISRUPT NATURAL DRAINAGE PATTERNS ON THE SITE.

PROJECT NOTES:

- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED FOR THIS PROJECT
- THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/ PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS

FREQUENCY NOTES:

VERIZON TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:

AMS EQUIPMENT:
TX FREQUENCY: 2115-2130 MHz
RX FREQUENCY: 1715-1730 MHz

LTE EQUIPMENT:
TX FREQUENCY: 776-787 MHz
RX FREQUENCY: 746-757 MHz

COMA EQUIPMENT:
TX FREQUENCY: 1965-1970 MHz
RX FREQUENCY: 1885-1890 MHz

PCS EQUIPMENT:
TX FREQUENCY: 880-894 MHz
RX FREQUENCY: 835-848 MHz

BOUNDARY NOTE:
THE PROJECT BOUNDARY SHOWN ON THIS DRAWING IS APPROXIMATE AND IS SHOWN FOR REFERENCE ONLY. A COMPLETE BOUNDARY SURVEY WAS NOT PERFORMED.

EASEMENTS:
NO EASEMENTS ARE SHOWN REFLECTING PRELIMINARY RESEARCH OF RECORDED PARCEL MAPS & TITLE REPORT. A CITY OF SAN DIEGO SENIOR MAIN EASEMENT AFFECTS A PORTION OF SAID LAND BUT DOES NOT AFFECT THE SUBJECT PARCEL & THEREFORE IS NOT PLOTTED HEREON. EASEMENTS ARE SUBJECT TO REVIEW OF TITLE REPORT. SEE SHEET LS1 FOR MORE INFORMATION ON EASEMENTS.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	08/20/19	90% ZD REVIEW	RD
1	12/12/19	100% ZD	RD
2	02/11/20	100% ZD	RD
3	06/03/20	100% ZD	RD

PLANcowl

TELECOMMUNICATIONS PROJECT MANAGEMENT
302 STATE PLACE,
ESCONDIDO, CALIFORNIA 92029

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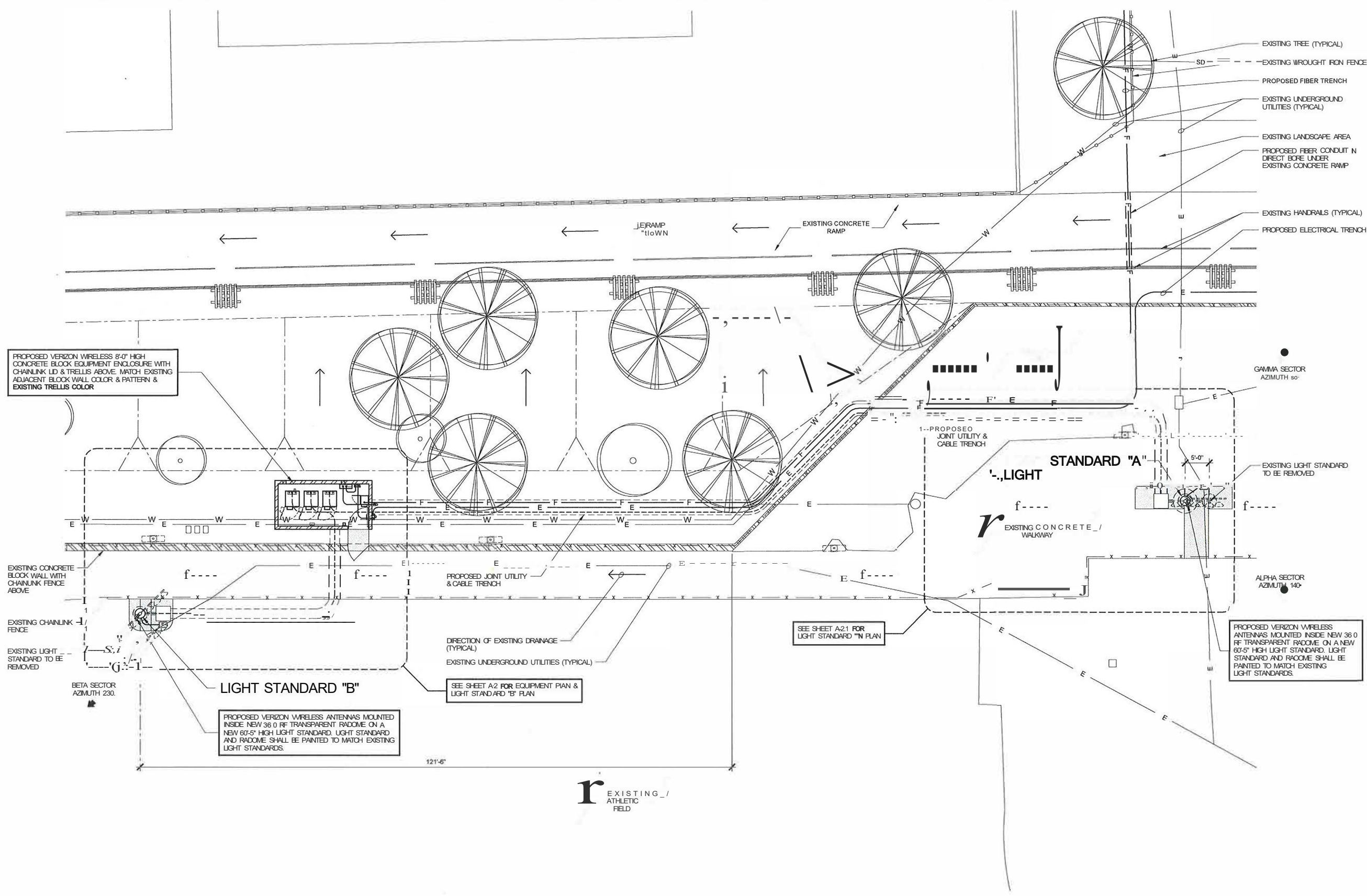
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WILLIAM H. SMITH
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
No. C 11978
Exp. 4-30-19

SHEET TITLE:
ENLARGED
SITE PLAN

A-1



ENLARGED SITE PLAN
SCALE: 1" = 10'-0"
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PLANcowl
TELECOMMUNICATIONS PROJECT MANAGEMENT

302 STATE PLACE,
ESCONDIDO, CALIFORNIA 92029

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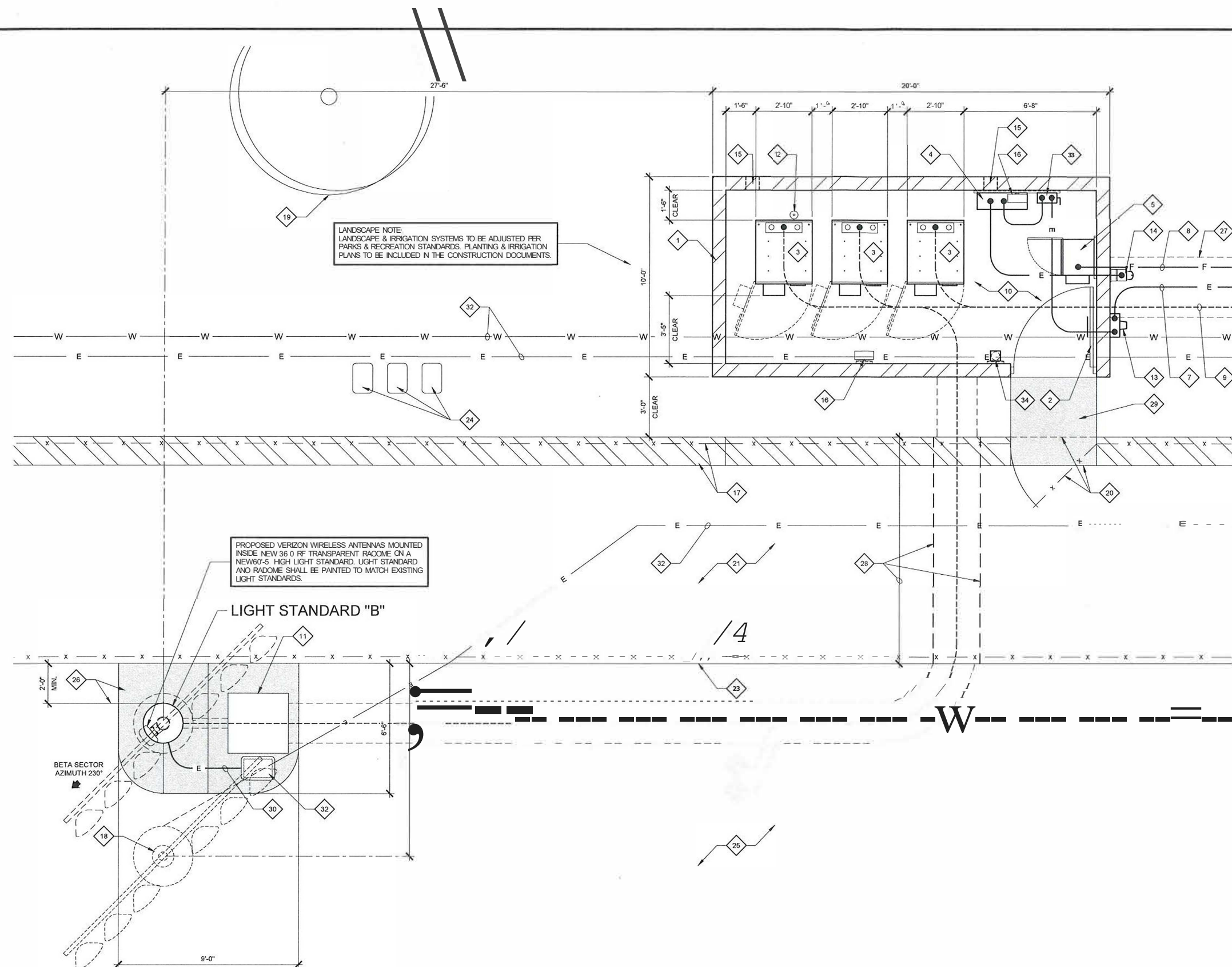
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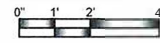
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SHEET TITLE:
EQUIPMENT PLAN & LIGHT
STANDARD "B" PLAN

A-2



§Q IPMENT PLAN & LIGHT STANDARD "B" PLAN



0 NEW VERIZON WIRELESS 10'-0" x 20'-0" x 8'-0" NEW CONCRETE BLOCK EQUIPMENT ENCLOSURE AT GRADE WITH CHAINLINK LID & TRELIS ABOVE EQUIPMENT ENCLOSURE SHALL MATCH EXISTING ADJACENT BLOCK WALL COLOR & PATTERN. TRELIS COLOR SHALL MATCH EXISTING TRELIS ON SITE

0 NEW 4'-0" WIDE CORRUGATED STEEL GATE WITH VERIZON WIRELESS SIGNAGE. SEE DETAILS @

0 NEW VERIZON WIRELESS EQUIPMENT CABINET ON A CONCRETE PAO INSIDE EQUIPMENT ENCLOSURE AT GRADE LEVEL. TOTAL OF (3) CABINETS. SEE DETAIL

4 NEW VERIZON WIRELESS STANDARD LOAD CENTER (ILC) ON UNISTRUT MOUNTED TO WALL

5 NEW VERIZON WIRELESS FIBER CABINET ON UNISTRUT MOUNTED TO WALL

6 NEW VERIZON WIRELESS TRENCH FOR CABLE CONDUITS

7 NEW VERIZON WIRELESS POWER SERVICE CONDUIT. SEE SITE PLAN SHEET A-0 FOR FULL ROUTE.

8 NEW VERIZON WIRELESS FIBER SERVICE CONDUIT. SEE SITE PLAN SHEET A-0 FOR FULL ROUTE.

9 NEW VERIZON WIRELESS HYBRID CABLE IN NEW CONDUIT IN A NEW TRENCH

10 NEW CONCRETE PAO

11 NEW 36" x 36" x 36" CABLE PULL BOX

12 NEWVER911 GPS ANTENNA MOUNTED TO (N) EQUIPMENT CABINET (TYPICAL OF 1)

13 NEW VERIZON METER BASE

14 NEW EMERGENCY GENERATOR RECEPTACLE

15 PROVIDE (2) 4" X 8" OPENINGS IN BASE OF WALL FOR DRAINAGE

16 NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE (TYPICAL OF 2)

17 EXISTING CONCRETE BLOCK WALL WITH CHAINLINK FENCE

18 EXISTING 18"0 x 80.5" HIGH LIGHT STANDARD TO BE REMOVED, RELOCATE LIGHT FIXTURES AND BALLAST BOXES TO NEW LIGHT STANDARD. DEMO EXISTING CONCRETE FOOTING 24" BELOW GRADE

19 EXISTING TREE

20 CUT OPENING IN EXISTING CONCRETE BLOCK WALL & CHAINLINK FENCE TO INSTALL NEW 4'-0" WIDE CHAINLINK GATE WITH LOCKABLE ACCESS

21 EXISTING CONCRETE SIDEWALK

22 EXISTING CHAINLINK FENCE

23 EDGE OF EXISTING CONCRETE SIDEWALK

24 EXISTING WATER METERS

25 EXISTING ATHLETIC FIELD

26 LIGHT POLE PAD PER SAN DIEGO STANDARD DRAWINGS DL-105 (TYPE B) (SHOWN SHADED). CONCRETE PAD TO BE 9'-0" WIDE BY 6'-0" DEEP TO ACCOMMODATE CABLE PULL BOX

27 NEW VERIZON WIRELESS JOINT UTILITY & CABLE TRENCH

28 NEW CABLE CONDUITS IN A DIRECT BORE UNDER EXISTING CONCRETE SIDEWALK & RETAINING WALL

29 NEW CONCRETE LANDING (SHOWN SHADED)

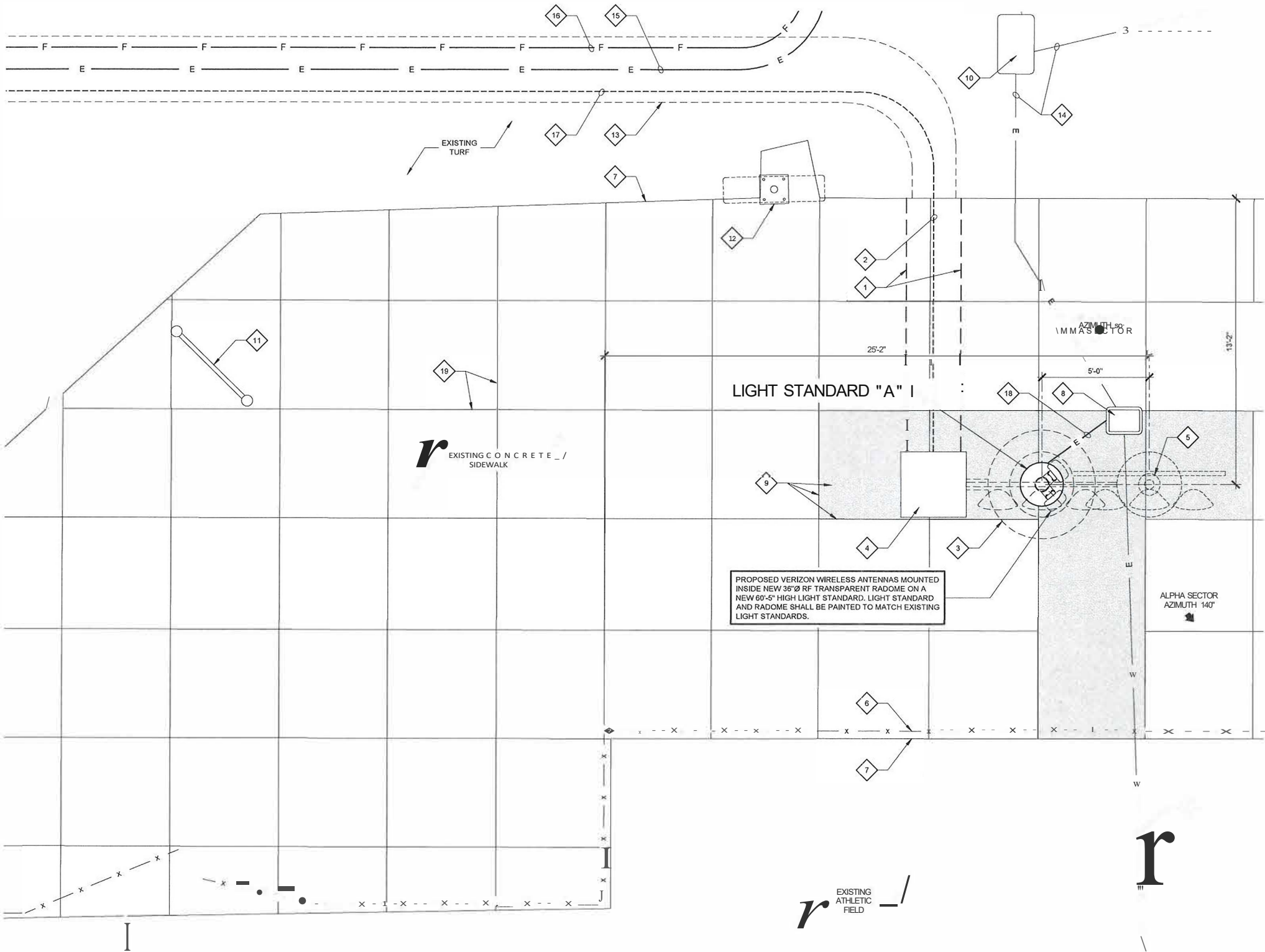
30 NEW STADIUM LIGHT ELECTRICAL FEED FROM NEW ELECTRICAL HANDHOLE

31 NEW STADIUM LIGHT ELECTRICAL HANDHOLE. INTERCEPT EXISTING STADIUM LIGHT ELECTRICAL CONDUIT

32 EXISTING UNDERGROUND UTILITIES (TYPICAL)

33 NEW VERIZON WIRELESS FUSED DISCONNECT SWITCH ON UNISTRUT MOUNTED TO WALL

34 INSTALL (1) WALL MOUNTED CLASS 4A-40B:C FIRE EXTINGUISHER IN A NEMA 3R ENCLOSURE ON UNISTRUT MOUNTED TO WALL



EQUIPMENT PLAN NOTES:

- NEW CABLE CONDUITS IN A DIRECT BORE UNDER EXISTING CONCRETE SIDEWALK & RETAINING WALL.
- NEW VERIZON WIRELESS HYBRID CABLE IN NEW CONDUIT IN PROPOSED BORING
- NEW CONCRETE FOOTING FOR LIGHT STANDARD (BELOW) (SHOWN DASHED)
- NEW 36"x 36" x 36" CABLE PULL BOX
- EXISTING 12'0" x 60'-5" HIGH LIGHT STANDARD TO BE REMOVED. RELOCATE LIGHT FIXTURES AND BALLAST BOX TO NEW LIGHT STANDARD. DEMO EXISTING CONCRETE FOOTING 24" BELOW GRADE & PATCH CONCRETE WALKWAY ABOVE
- EXISTING CHAINLINK FENCE
- EDGE OF EXISTING CONCRETE PAVING
- EXISTING STADIUM LIGHT ELECTRICAL HANDHOLE TO REMAIN
- REMOVE CONCRETE SIDEWALK PANELS TO NEAREST CONTROL JOINTS WHERE DAMAGED BY NEW CONSTRUCTION (TYPICAL OF 4). NEW CONCRETE PAVING SHALL MATCH EXISTING IN COLOR & TEXTURE (SHOWN SHADED)
- EXISTING ELECTRICAL HANDHOLE TO REMAIN
- EXISTING BICYCLE RACK TO REMAIN
- EXISTING WALKWAY LIGHT STANDARD TO REMAIN
- NEW VERIZON WIRELESS JOINT UTILITY & CABLE TRENCH
- EXISTING UNDERGROUND UTILITIES (TYPICAL)
- NEW VERIZON WIRELESS POWER SERVICE CONDUIT. SEE SITE PLAN SHEET A-0 FOR FULL ROUTE.
- NEW VERIZON WIRELESS FIBER SERVICE CONDUIT. SEE SITE PLAN SHEET A-0 FOR FULL ROUTE.
- NEW VERIZON WIRELESS HYBRID CABLE IN NEW CONDUIT IN A NEW JOINT UTILITY & CABLE TRENCH
- NEW STADIUM LIGHT ELECTRICAL FEED FROM EXISTING ELECTRICAL HANDHOLE
- EXISTING CONCRETE CONTROL JOINT (TYPICAL)

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	08/20/19	90% 2D REVIEW	RD
1	12/12/19	100% 2D	RD
2	02/11/20	100% 2D	RD
3	06/03/20	100% 2D	RD

PLANcowl

TELECOMMUNICATIONS PROJECT MANAGEMENT

302 STATE PLACE,
ESCONDIDO, CALIFORNIA 92029

PROPRIETARY INFORMATION

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15505 S. VERBENA AVE., SUITE 200
TUSTIN, CA 92680
TEL: 714.261.2200
WWW.PLANCOWL.COM



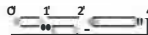
WILLIAM M. SMITH
ARCHITECT
15505 S. VERBENA AVE., SUITE 200
TUSTIN, CA 92680
TEL: 714.261.2200
WWW.PLANCOWL.COM

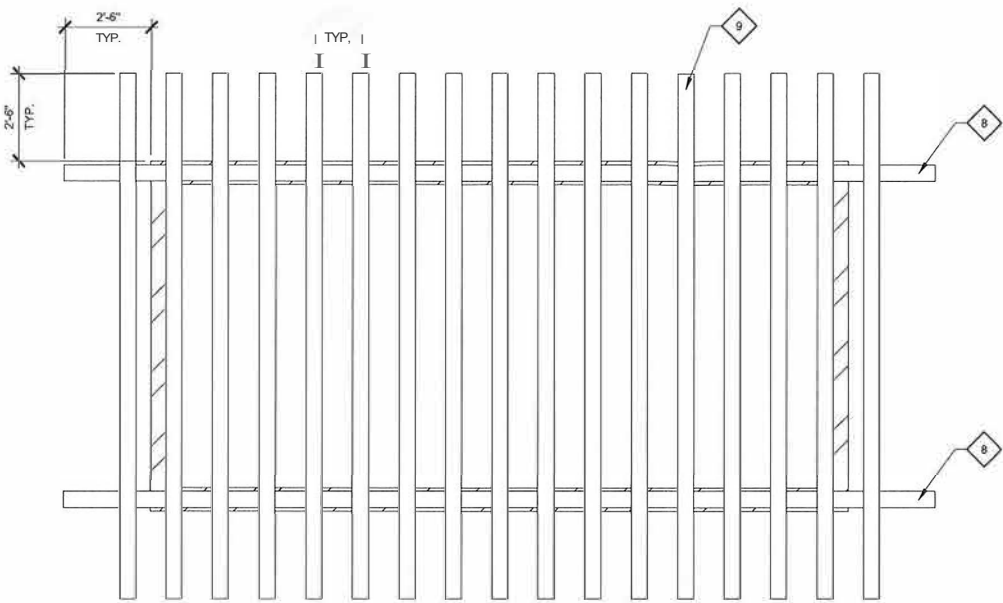
SHEET TITLE:
LIGHT STANDARD "A"
PLAN

A-2.1

LIGHT STANDARD "A" PLAN

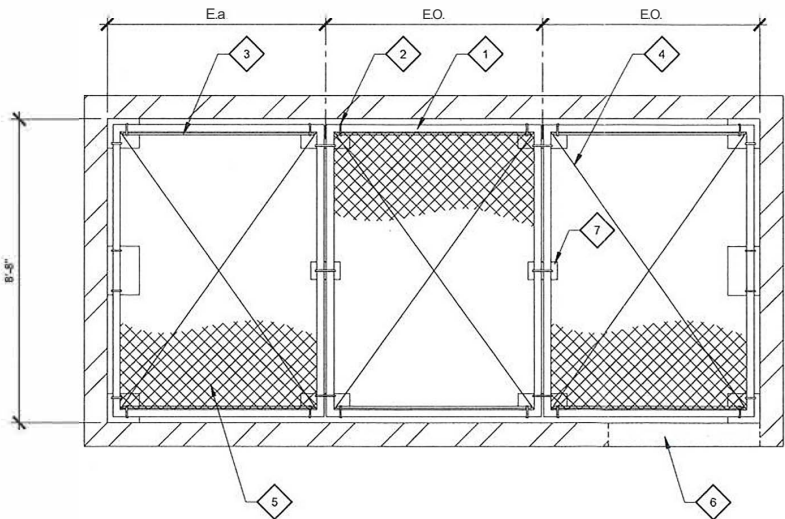
SCALE: 3/8" = 1'-4"





TRELLIS PLAN

SCALE: 3/8" = 1'-0"



CHAINLINK LID PLAN

SCALE: 3/8" = 1'-0"



CHAINLINK LID & TRELLIS PLAN NOTES:

- 1. PROPOSED 3"0 SCHEDULE 40 GALVANIZED STANDARD PIPE FRAME (TYPICAL)
- 2. PROPOSED GALVANIZED STEEL PIPE CLAMPS FOR CHAINLINK LID
- 3. PROPOSED GALVANIZED TENSIONER STRIP (TYPICAL)
- 4. x- INDICATES A SINGLE PANEL OF THE CHAINLINK LID
- 5. PROPOSED GALVANIZED CHAINLINK MESH PARTIALLY REMOVED FOR CLARITY. PROVIDE STANDARD WIRE TIES TO FRAME@ 12" O.C. WITH DOUBLE KNOTS ON BOTTOM SIDE OF FRAME
- 6. OPENING IN CONCRETE WALL BELOW (SHOWN SHADED)
- 7. PROPOSED BRACKET SUPPORT CLAMP FOR CHAINLINK LID AT 4'-0" O.C. MAX. 2 EACH PANEL MINIMUM
- 8. PROPOSED 6x12 ROUGH SAWN REDWOOD BEAM PAINTED TO MATCH EXISTING ON-SITE TRELLIS (TYPICAL)
- 9. PROPOSED 6x6 ROUGH SAWN REDWOOD PURLINS PAINTED TO MATCH EXISTING ON-SITE TRELLIS (TYPICAL)

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	08/20/19	90% ZD REVIEW	RD
1	12/12/19	100% ZD	RD
2	02/11/20	100% ZD	RD
3	06/03/20	100% ZD	RD

PLANcowl

TELECOMMUNICATIONS PROJECT MANAGEMENT
302 STATE PLACE,
ESCONDIDO, CALIFORNIA 92029

PROPRIETARY INFORMATION

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ver 2.0
SAN JOSE, CA 95128
18 JUNE, 2020

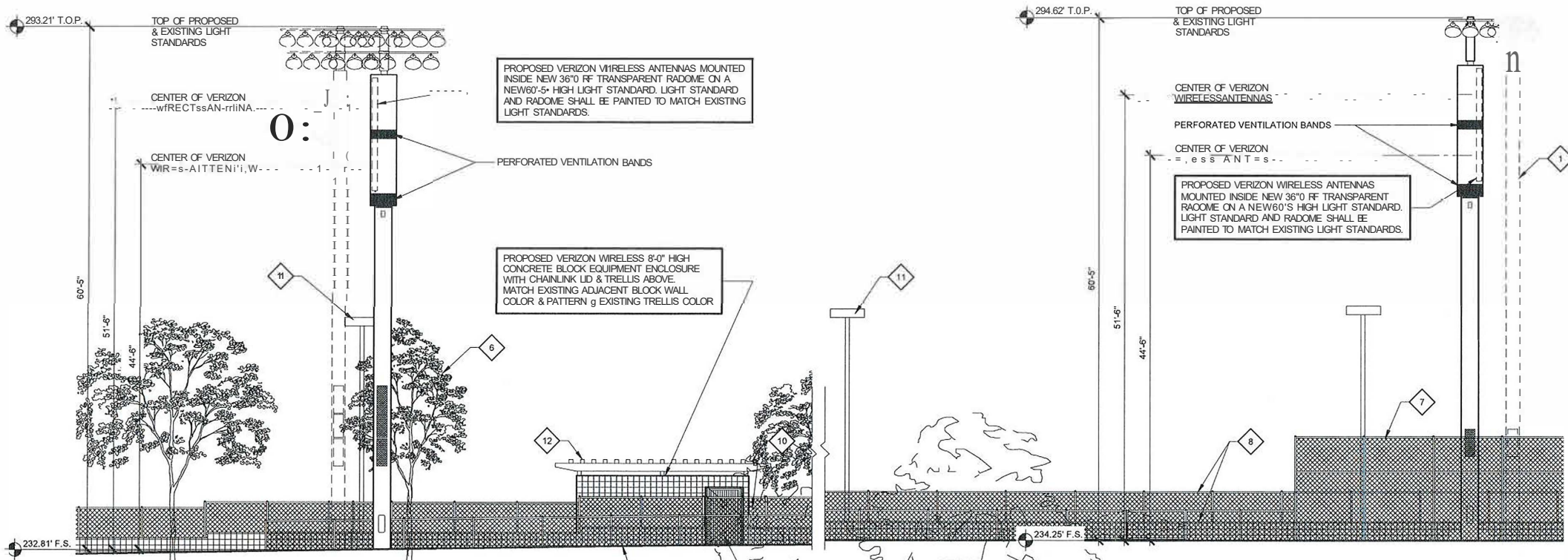


WILSON
3777 TOWNSGATE DR.
SAN DIEGO, CA 92130

SHEET TITLE:

CHAINLINK LID & TRELLIS PLANS

A-3



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE NEW 36" 0" RF TRANSPARENT RADOME ON A NEW 60'-5" HIGH LIGHT STANDARD. LIGHT STANDARD AND RADOME SHALL BE PAINTED TO MATCH EXISTING LIGHT STANDARDS.

PERFORATED VENTILATION BANDS

PROPOSED VERIZON WIRELESS 8'-0" HIGH CONCRETE BLOCK EQUIPMENT ENCLOSURE WITH CHAINLINK FENCE & TRELLIS ABOVE. MATCH EXISTING ADJACENT BLOCK WALL COLOR & PATTERN TO EXISTING TRELLIS COLOR.



WEST ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

- REMOVE EXISTING 60'-5" HIGH LIGHT STANDARD AND RELOCATE LIGHT FIXTURE ASSEMBLY TO NEW 50'-5" LIGHT STANDARD (SHOWN DASHED)
- (N) 4'-0" WIDE CORRUGATED STEEL GATE WITH VERIZON WIRELESS SIGNAGE. SEE DETAILS
- EXISTING FINISH GRADE
- EXISTING SIDEWALK
- EXISTING LANDSCAPED HILLSIDE
- EXISTING TREE (TYPICAL)
- EXISTING CHAINLINK FENCE
- EXISTING CONCRETE BLOCK WALL WITH CHAINLINK FENCE ABOVE
- CUT OPENING IN EXISTING CONCRETE BLOCK WALL & CHAINLINK FENCE TO INSTALL NEW 4'-0" WIDE CHAINLINK GATE WITH LOOKABLE ACCESS
- NEW VERIZON METER BASE
- EXISTING LIGHT STANDARD TO REMAIN (TYPICAL)
- PROPOSED WOOD TRELLIS. PAINT TRELLIS GREEN TO MATCH EXISTING ON-SITE TRELLIS COLOR

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	08/20/19	90% 2D REVIEW	FD
1	12/12/19	100% 2D	FD
2	02/11/20	100% 2D	FD
3	06/03/20	100% 2D	FD

PLANcowl

TELECOMMUNICATIONS PROJECT MANAGEMENT
302 STATE PLACE,
ESCONDIDO, CALIFORNIA 92029

PROPRIETARY INFORMATION

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1000 S. CANBY AVE. #200
ESCONDIDO, CA 92029



TOWNSGATE
& EL CAM

1000 S. CANBY AVE. #200
ESCONDIDO, CA 92029

SHEET TITLE:

EXTERIOR ELEVATIONS

A-4

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TELECOMMUNICATIONS PROJECT MANAGEMENTh

PROPRIETARY INFORMATION

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LIGHT STANDARD "A"
ELEVATION & DETAILS

A-5

ANTENNA AND COAXIAL CABLE SCHEDULE ②											
SECTOR ANTENNA	DIRECTION	AZIMUTH	MODEL ①	DOWNTILT ④	R/R'S UNITS ⑤	RAYCAP UNITS ⑥	SIZE	NUMBER OF CABLES PER SECTOR	COAX CABLE LENGTH (+/-5') ⑧	JUMPER LENGTH (+/-3') ⑨	COAX SIZE
ALPHA1	SOUTHEAST	140°	COMMSCOPE: NHH-65B-R28	0°	2	1	72.0" L x 11.9" W x 7.1" O	3 HYBRID CABLES	135'-0"	8'-0"	1.5 COAX TRADITIONAL HYBRID
ALPHA2			COMMSCOPE: NHH-65B-R28	0°	2	1	72.0" L x 11.9" W x 7.1" O	3 HYBRID CABLES	125'-0"	8'-0"	1.5 COAX TRADITIONAL HYBRID
GAMMA1	NORTHEAST	50°	COMMSCOPE: NHH-65B-R28	0°	2	1	72.0" L x 11.9" W x 7.1" O	3 HYBRID CABLES	135'-0"	8'-0"	1.5 COAX TRADITIONAL HYBRID
GAMMA2			COMMSCOPE: NHH-65B-R28	0°	2	1	72.0" L x 11.9" W x 7.1" O	3 HYBRID CABLES	125'-0"	8'-0"	1.5 COAX TRADITIONAL HYBRID

ANTENNA DATA:
INSTALL NEW ANTENNAS: COMMSCOPE NIH-658-R2B; 7' T LENGTH x 11.9" WIDE x 7.1" DEEP, 11.8 EIGHT: 43.7 LBS

(2) INSTALL THREE (3) NEW 8/8 78.0 HYBRID FIBER OPT CABLES FOR EACH SECTOR.

(2) INSTALL ONE (1) DEMARCATION JUNCTION BOX (RAYCAP SURGE SUPPRESSOR) -
FOR EACH SECTOR (TOTAL OF 2) ADJACENT TO ANTENNAS.

(C) INSTALL FOUR (4) RRUS UNITS MOUNTED BEHIND ANTENNAS. TWO (2) BEHIND EACH PAIR OF
ANTENNAS. SEE DETAIL 131.

Alpha

UPPER RAD SO.SIT

LOWER RAD 41IT

Beta

UPPER RAD SO.SIT

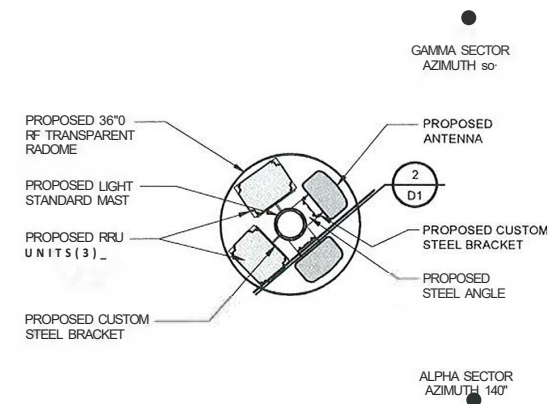
LOWER RAD 41IT

Gamma

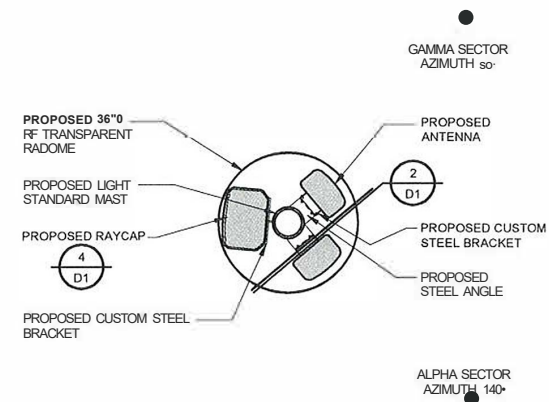
OPPE'ARAO'SO..

LOWER RAD 41IT

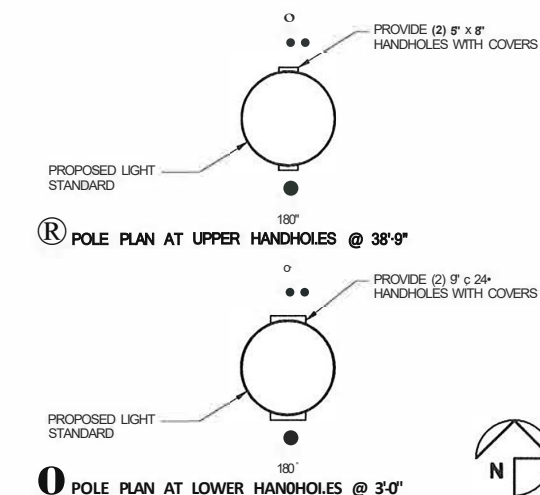
NOTE:
FOR LIGHT STAIRS
SEE SHEET A-6



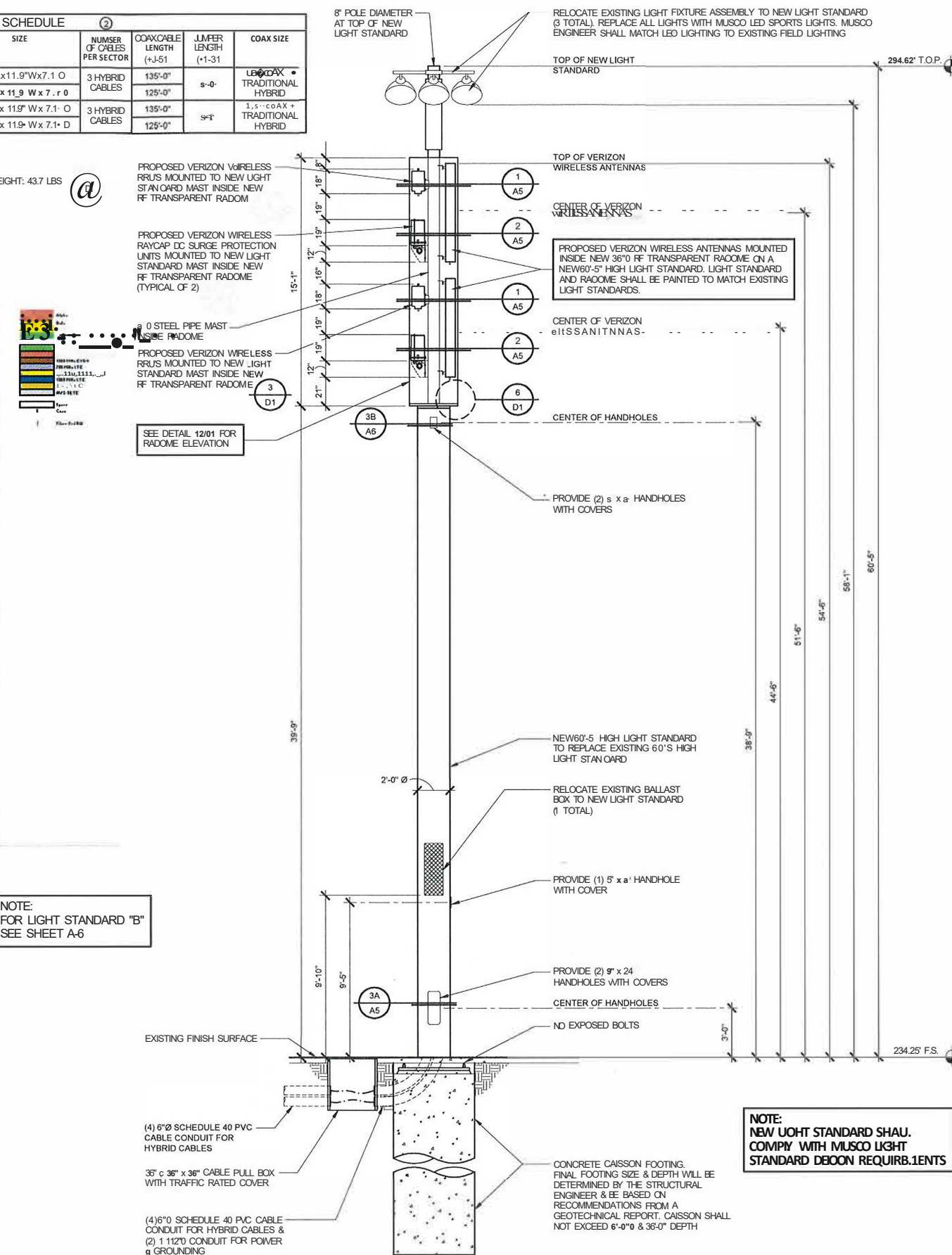
SCALE: N.T.S.	1
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SCALE: N.T.S.	2
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SCALE: N.T.S.	3
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NOTE:
NEW UOHT STANDARD SHAU.
COMPLY WITH MUSCO LIGHT
STANDARD DECOON REQUIRB.1ENTS

LIGHT STANDARD "A" ELEVATION

REV.	DATE	DESCRIPTION	BY
0	06/20/19	90% ZO REVIEW	RD
1	12/12/19	100% ZO	RD
2	02/11/20	100% ZO	RD
3	06/03/20	100% ZO	RD

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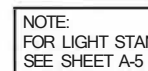


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A-6

ANTENNA AND COAXIAL CABLE SCHEDULE ②											
SECTOR ANTENNA	DIRECTION	AZIMUTH	MODEL ①	DOWNTILT ④	RRUS UNITS ③	RAYCAP UNITS	SE	NUMBER OF CABLES PER SECTOR	COAXIAL CABLE LENGTH ⑤ 1-51	JUMPER LENGTH (⑥-③)	COAX SIZE
BETA1	SOUTHWEST	230°	COMMSCOPE: NHH-658-R28	0	2	1	72.0" L x 11.9 Wx 7.1" D	3 HYBRID CABLES	275'-0"	5'-0"	7/8" COAX+ TRADITIONAL HYBRID
BETA2			COMMSCOPE: NHH-658-R2B				72.0" L x 11.9"W(7.1" D		265'-0"		

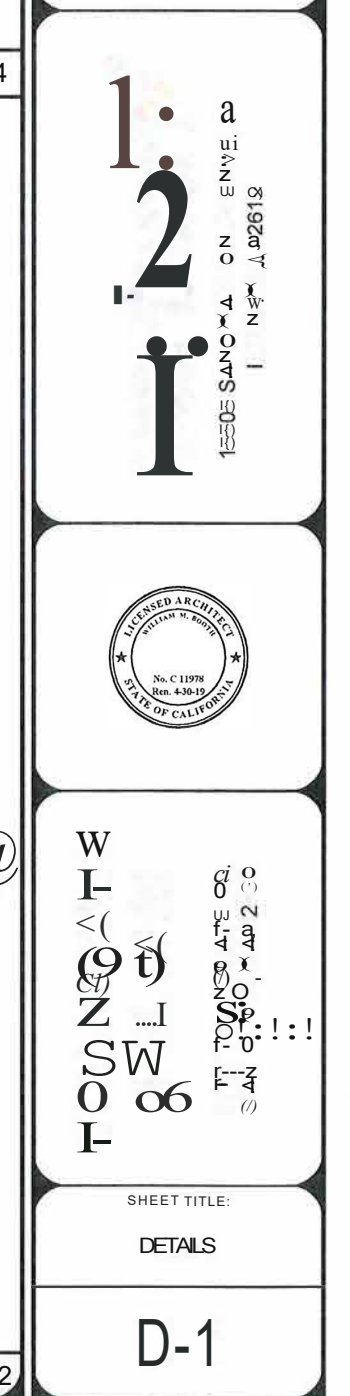
© INSTALL TWO (2) RRU'S UNITS MOUNTED BEHIND ANTENNAS. ONE (1) BEHIND EACH ANTENNA.
SEE DETAIL

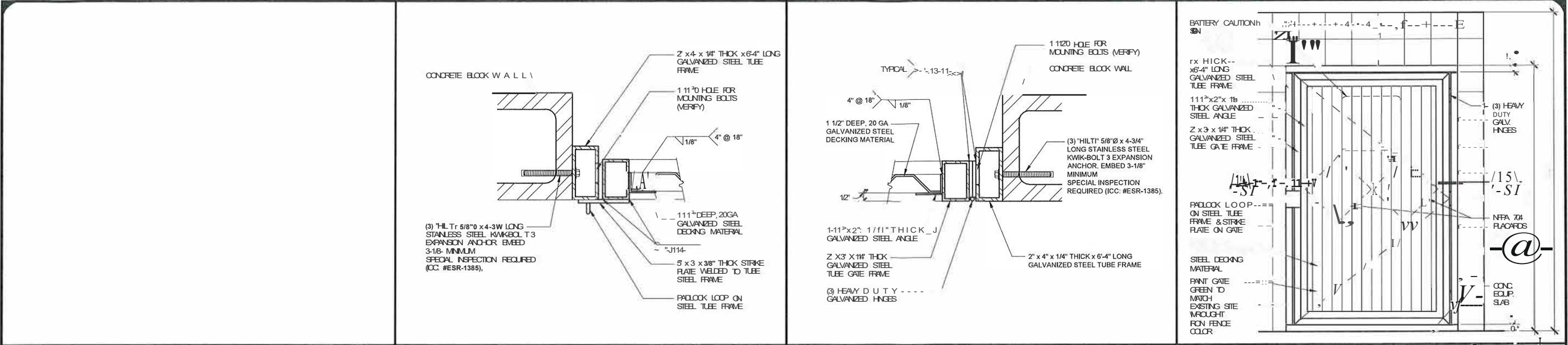


NOTE:
NEW UC3HT STANDARD SHAU.
COMPLY WITH MU800 UOKT
STANDARD DESIGN REQUIREMENTS

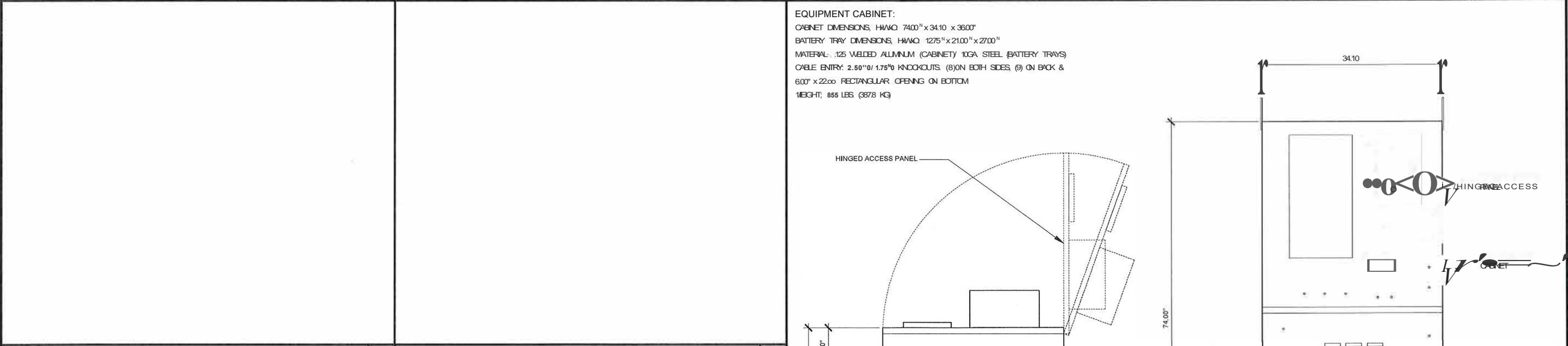
LIGHT STANDARD "B" ELEVATION

II CI, I. 2114°•1'-4"

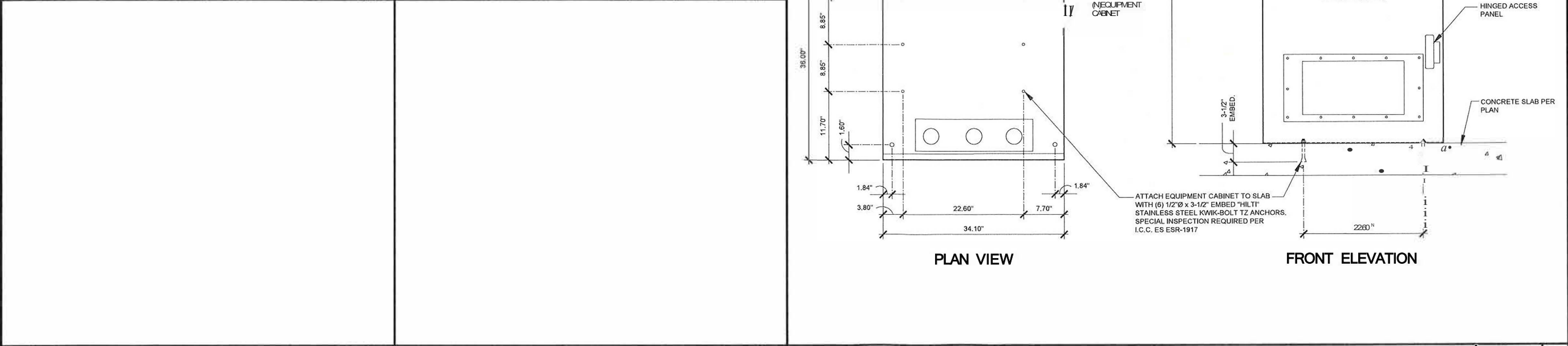




NOT USED	13	GATE JAMB (STRIKE)	SCALE: N.T.S.	14	GATE JAMB (HINGE)	SCALE: N.T.S.	15	METAL GATE	SCALE: N.T.S.	16
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NOT USED	17	NOT USED	18
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NOT USED	21	NOT USED	22	EQUIPMENT CABINET	SCALE: N.T.S.	24
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ISSUE STATUS			
REV	DATE	DESCRIPTION	BY
0	08/20/19	90% D REVISED	RD
1	12/12/19	100% D	RD
2	02/11/20	100% D	RD
3	09/03/20	100% D	RD

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TELECOMMUNICATIONS PROJECT MANAGEMENT
302 STATE PLACE,
ESCONDIDO, CALIFORNIA 92029

PROPRIETARY INFORMATION
TELECOM CO. NO. 115 SAN JOSE
SECURITY SCREENING (ON FILE)
MULTICOPY/REUSE OTHER THAN MI/ASD
UNCLASSIFIED/NOFORN (UNCLASSIFIED)

11505 SAN JOSE
21000 402619
11505 SAN JOSE
21000 402619



WILLIAM M. SMITH
PROFESSIONAL ENGINEER
3777 TOWN OF SAN JOSE
SAN JOSE, CA 95128

SHEET TITLE:
DETAILS

D-2