



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: November 25, 2020 REPORT NO. HO-20-059

HEARING DATE: December 2, 2020

SUBJECT: PEREZ RESIDENCE, PROCESS THREE DECISION

PROJECT NUMBER: [662163](#)

OWNER/APPLICANT: Playa Del Norte Investment, Inc.

SUMMARY

Issue: Should the Hearing Officer approve an addition and remodel to an existing single-dwelling unit at 8433 Prestwick Drive in the La Jolla Community Planning Area?

Staff Recommendation: APPROVE Site Development Permit No. 2478944.

Community Planning Group Recommendation: On October 2, 2020, the La Jolla Community Planning Association voted 14-0 to recommend approval of the proposed project.

Environmental Review:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15301, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 5, 2020, and the opportunity to appeal that determination ended November 20, 2020.

BACKGROUND

The project is located at [8433 Prestwick Drive](#) in the [La Jolla](#) Community Planning Area. The site and all surrounding properties are zoned [LJSPD-SF](#) (Single Family) within the La Jolla Shores Planned District and are designated Very Low Density Residential (0-5 du/ac) in the La Jolla Community Plan. The site and adjacent properties on the east side of Prestwick Drive back up to the right-of-way of Torrey Pines Road, where City maps indicate the presence of Coastal Sage Scrub habitat, which is considered a sensitive biological resource, and therefore subject to the Environmentally Sensitive Lands regulations in the Coastal Zone per [SDMC 143.0110](#).

The project also requires a La Jolla Shores Planned District Permit (processed as a Process Three Site Development Permit) per [SDMC 1510.0201](#), and is exempt from the requirement to obtain a Coastal Development Permit per [SDMC 126.0704\(a\)](#).

DISCUSSION

The Perez Residence project proposes a 1,536-square-foot addition and 96-square-foot demolition to an existing 3,553 sf single-dwelling unit at 8433 Prestwick Drive. The existing house is two stories, and the two-story addition is to the north end of the house. The addition creates additional bedrooms on the first floor and expands common area on the second floor.

The project provides additional building articulation by stepping back the structure's walls. The proposed building additions do not disturb any environmentally sensitive lands because all construction takes place entirely within an already-developed building pad, toward the front of the property at the street.

Community Plan Analysis

The La Jolla Community Plan identifies the land use as Very Low Density Residential (0-5 du/ac). This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed development is an addition to an existing single dwelling unit and does not increase the density.

The La Jolla Community Planning Association and the La Jolla Shores Planned District Ordinance Board both approved the project unanimously in October 2020.

The project follows Community Plan Residential Recommendations, including:

1. 2.a.1: "...preserve bulk and scale with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space."
2. 2.b: "Apply minimum side and rear yard setback requirements that separate structures from adjacent properties in order to prevent a wall effect along the street face as viewed from the public right-of-way."
3. 2.c. "...create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements."

CONCLUSION

The project meets all applicable sections of the San Diego Municipal Code and will be developed in accordance with the La Jolla Community Plan and Local Coastal Program. Staff recommends that the Hearing Officer approve Site Development Permit No. 2478944.

ALTERNATIVES

1. Approve Site Development Permit No. 2478944, with modifications.

2. Deny Site Development Permit No. 2478944 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Travis Cleveland", is written over a horizontal line.

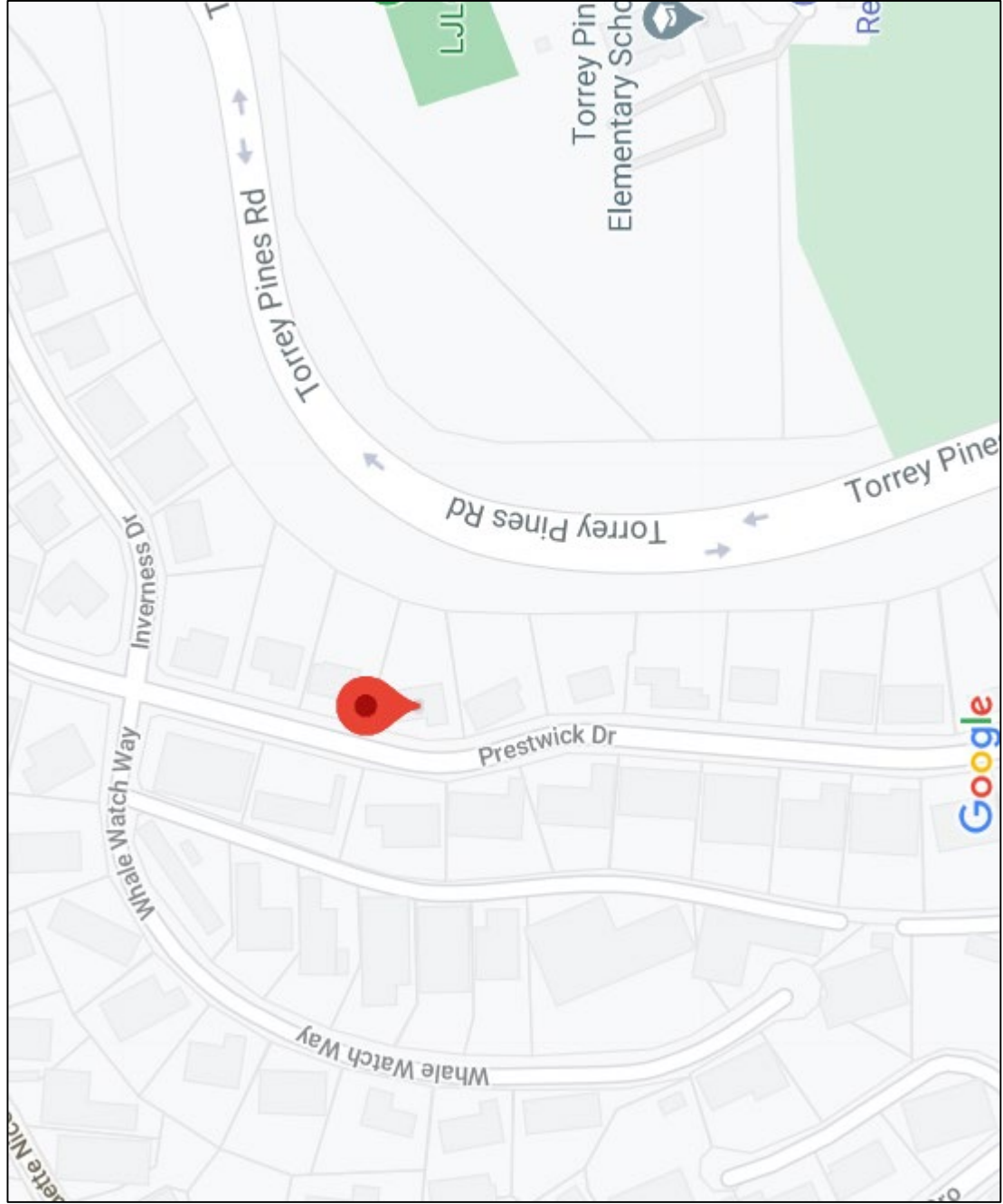
Travis Cleveland, Development Project Manager

Attachments:

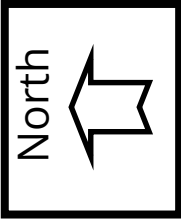
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Project Plans



Project Location Map



Perez Residence, Project Number 662163
8433 Prestwick Drive





Community Plan

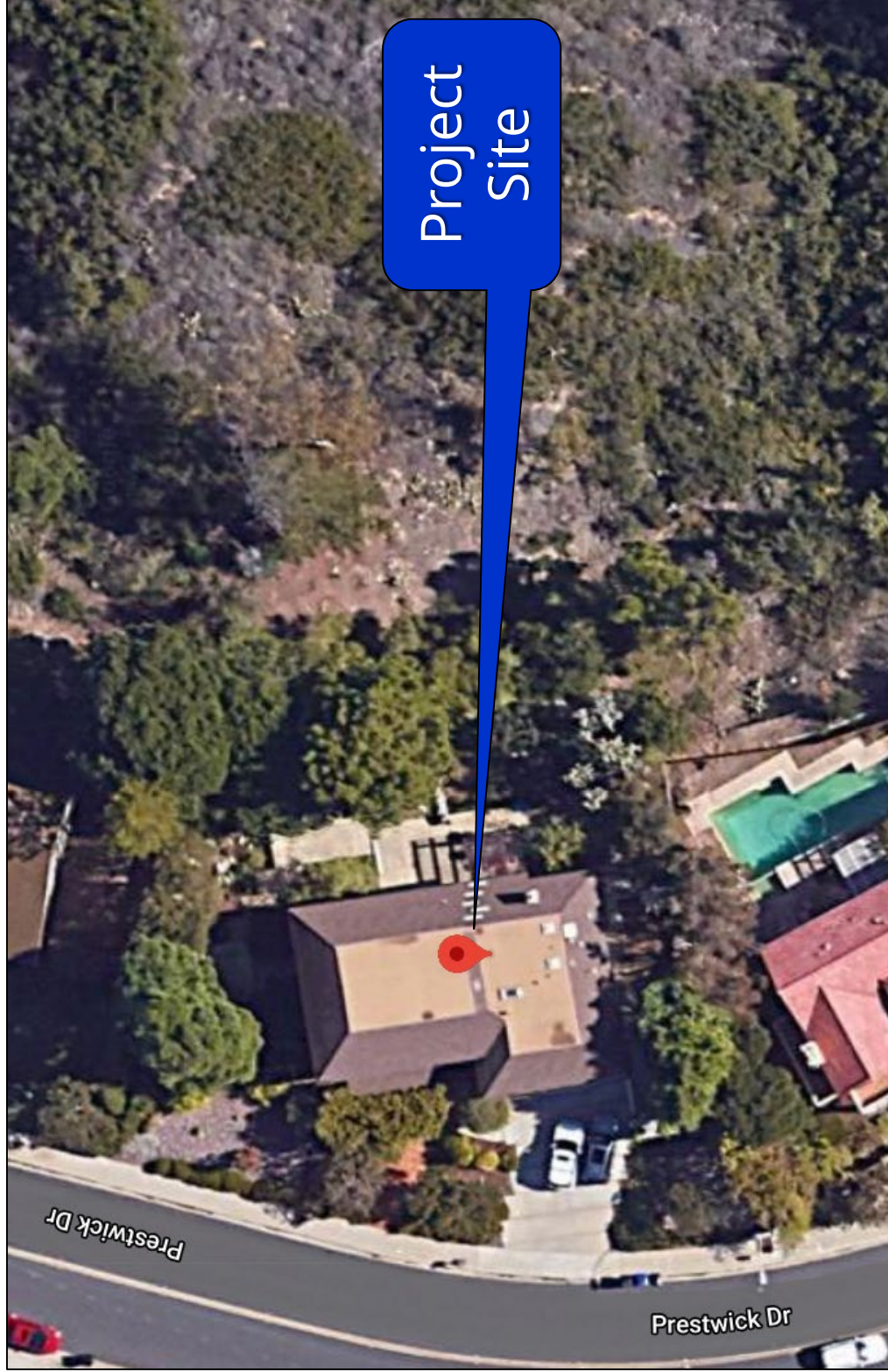


Perez Residence, Project Number 662163
8433 Prestwick Drive

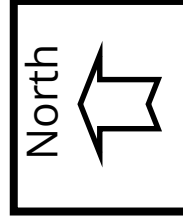
North



Aerial Photo



Perez Residence, Project Number 662163
8433 Prestwick Drive



HEARING OFFICER RESOLUTION NO. [REDACTED]
SITE DEVELOPMENT PERMIT NO. 2478944
PEREZ RESIDENCE PROJECT NO. 662163

WHEREAS, PLAYA DEL NORTE INVESTMENT, INC., Owner/Permittee, filed an application with the City of San Diego for a permit to an addition and remodel to an existing single-dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 247894, on portions of a 0.46-acre site;

WHEREAS, the project site is located at 8433 Prestwick Drive in the LJSPD-Sf zone of the La Jolla Community Plan;

WHEREAS, the project site is legally described as LOT 46 OF PRESTWICK ESTATES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNT OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392 FILED IN THE OFFICE OF THE RECORDER OF SAID SAN DIEGO COUNTY NOVEMBER 13, 1959;

WHEREAS, on November 5, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 2, 2020, the Hearing Officer of the City of San Diego considered Site Development Permit No. 2478944 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2478944:

SDMC 126.0505 (a) Findings for all Site Development Permits

(1) The proposed development will not adversely affect the applicable land use plan.

The proposed project is located at 8433 Prestwick Drive in the La Jolla Community Planning Area. The La Jolla Community Plan identifies the land use as Very Low Density Residential (0-5 du/ac). This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed development is an addition to an existing single dwelling unit and does not increase the density.

The project follows several Community Plan Residential Recommendations, including (but not limited to):

1. 2.a.1: "...preserve bulk and scale with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space."

The project maintains the bulk and scale of the existing house and remains in scale with the surrounding neighborhood based on photo surveys.

2. 2.b: "Apply minimum side and rear yard setback requirements that separate structures from adjacent properties in order to prevent a wall effect along the street face as viewed from the public right-of-way."

The project maintains side yard setbacks, avoiding a wall effect and it is not located near the rear yard setback line. Project design includes articulations to break up wall planes and provide visual interest.

3. 2.c. "...create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements."

The addition creates visual relief through offsetting planes and building articulation, and also modifies the building façade to create further visual interest.

Therefore, the proposed development will not adversely affect the applicable land use plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

The project was determined categorically exempt from the California Environmental Quality Act (CEQA) per Section 15301 (Existing Facilities) of the state CEQA Guidelines. Section 15301 provides for CEQA exemptions for projects that involve negligible or no expansion of an existing or former use. Exempt projects have been determined not to have a significant effect on the environment per Section 15300 of the CEQA Guidelines.

In addition, the project has been determined to comply with existing Community Plan Recommendations for residential projects [see finding (1) above]. During and after

construction, the project will be required to comply with all relevant ministerial codes designed to protect the public health, safety, and welfare, including the California Building Code, stormwater regulations, and air quality regulations.

Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project has been reviewed against all relevant provisions of the Land Development Code, including the La Jolla Shores Planned District, and was determined in compliance. No deviations are proposed. The construction and operation of the site will also be required to comply.

Therefore, the proposed development will comply with the regulations of the Land Development Code.

SDMC 126.0505(b) Supplemental Findings--Environmentally Sensitive Lands

(1) The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project site at 8433 Prestwick Drive is physically suitable for the design and siting of the proposed development because it has been previously developed with a single-dwelling unit on a landscaped, flat pad at the top of a hill. The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to environmentally sensitive lands, resulting in the minimum of disturbance to environmentally sensitive lands. No grading or mapping actions are required for the proposed development, and all drainage is routed away from environmentally sensitive lands.

Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

(2) The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed project is an addition to an existing single-dwelling unit, with no grading of natural landforms proposed. The addition takes place entirely on an existing, landscaped building pad, with all drainage routed according to accepted engineering practices. The project's brush management plan meets City standards and will minimize the risk of fire.

Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

(3) The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The proposed project is an addition and remodel that takes place entirely on an existing pad and does not bring the structure any closer to environmentally sensitive lands. Drainage will be routed according to accepted engineering practices. No adverse impacts are anticipated beyond those which may have already occurred during the construction of the existing house.

Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

(4) The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

Neither of these plans is applicable to the project site, which does not contain vernal pools or Multi-Habitat Planning Area (MHPA).

(5) The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project is located approximately 0.5 miles from the nearest shoreline. It does not drain directly to a beach or shoreline. Site drainage has been designed according to best engineering practices and is not anticipated to negatively affect beaches or shorelines.

Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply

(6) The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

This project was determined exempt from the California Environmental Quality Act (CEQA) per Section 15301 (Existing Facilities) of the State CEQA Guidelines. Therefore, no mitigation is required, and this finding does not apply.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

ATTACHMENT 4

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 2478944 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2478944, a copy of which is attached hereto and made a part hereof.

Travis Cleveland
Development Project Manager
Development Services

Adopted on: December 2, 2020

IO#: 11004543

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004543

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2478944
PEREZ RESIDENCE PROJECT NO. 662163
HEARING OFFICER

This considered Site Development Permit No. 2478944 is granted by the Hearing Officer of the City of San Diego to Playa Del Norte Investment, Inc., Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0505, 143.0110, and 1510.0201. The 0.46-acre site is located at 8433 Prestwick Drive in the La Jolla Community Planning Area. The project site is legally described as:

LOT 46 OF PRESTWICK ESTATES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNT OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392 FILED IN THE OFFICE OF THE RECORDER OF SAID SAN DIEGO COUNTY NOVEMBER 13, 1959.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct an addition to an existing 3,553 sf single-dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 2, 2020, on file in the Development Services Department.

The project shall include:

- a. A 1,536-square-foot addition and 96-square-foot demolition to an existing 3,553-square-foot house;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 16, 2023.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the

discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

10. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the mailbox, walkway, landscape and irrigation located within the City's right-of-way, satisfactory to the City Engineer.

11. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the driveway, with a 12 feet wide standard driveway, adjacent to the site, on Prestwick Drive, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

13. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

14. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease,

weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

15. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

16. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

17. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

18. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

19. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

20. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 2, 2020 and [Approved Resolution Number].

ATTACHMENT 5

Permit Type/PTS Approval No.: Site Development Permit No. 2478944
Date of Approval: December 2, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Travis Cleveland
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Playa Del Norte Investment, Inc.
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

☐ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name/Number: Perez Residence Remodel SDP / 662163

SCH No.: N.A.

Project Location-Specific: 8433 Prestwick Drive San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project A SITE DEVELOPMENT PERMIT for La Jolla Shores and for Environmentally Sensitive Lands (sensitive biological resources) for a 1,536 sf addition and 96 sf demolition to an existing 3,553 sf single-family residence at 8433 Prestwick Drive. The 0.46-acre site is in the Single-Family zone of the La Jolla Shores Planned District (LJSPD-SF), Coastal (Non-Appealable Area 2) Overlay Zone, Coastal Height Limitation Overlay Zone, and Parking Impact Overlay Zone within the La Jolla Community Plan in CD 1. Project is exempt from a Coastal Development Permit per SDMC 126.0704(a). (LEGAL DESCRIPTION: Lot 46, Map No. 4392; APN 346-151-04-00)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Brian Yamagata, Golba Architecture, Inc. 1940 Garnet Ave. San Diego, CA 92109

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- ☒ Categorical Exemption: **15301**
- ☐ Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 Existing Facilities - additions to existing structures where the addition will not increase more than 50 percent of the floor area of the structure before the addition. Since the proposed project is an addition to an existing home and will not increase the structure more than 50 percent, the exemption is appropriate. Furthermore, the exceptions listed in Section 15300.2 do not apply.

Lead Agency Contact Person: Sara Osborn

Telephone: (619)446-5381

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

ATTACHMENT 6

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Senior Planner

Signature/Title


Date

Check One:

(X) Signed By Lead Agency

() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Page 3		City of San Diego • Information Bulletin 620		May 2020						
		City of San Diego Development Services		Community Planning Committee Distribution Form						
Project Name: 8433 Prestwick Dr.			Project Number: 662163							
Community: La Jolla										
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>										
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny										
# of Members Yes 14		# of Members No 0		# of Members Abstain 1						
Conditions or Recommendations:										
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)										
NAME: Suzanne Weissman										
TITLE: Secretary, LJCPA			DATE: October 02, 2020							
<i>Attach additional pages if necessary (maximum 3 attachments).</i>										

PROPRIETARY DESIGN. THE DRAWINGS, DESIGN, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF GOLBA ARCHITECTURE, AND ARE DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT, AND ARE DISCLOSED IN CONFIDENCE AND SHALL NOT BE COPIED, REPRODUCED, PUBLISHED, OR OTHERWISE USED, DIRECTLY OR INDIRECTLY, IN WHOLE OR IN PART TO PROVIDE INFORMATION TO PROVIDE, CONTRACT, OR MANUFACTURE DRAWINGS, PRINTS, APPARATUS, PARTS, OR ASSEMBLIES WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF GOLBA ARCHITECTURE. THIS DRAWING IS PROTECTED BY COPYRIGHT LAW. ALL PATENTABLE MATERIAL CONTAINED HEREIN AND ORIGINATING WITH GOLBA ARCHITECTURE SHALL BE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO ROYALTY PAYMENTS TO GOLBA ARCHITECTURE.

PEREZ RESIDENCE REMODEL

8433 PRESTWICK DRIVE
LA JOLLA, CA 92037



ARTISTIC RENDERING - CONCEPT ONLY

SITE DEVELOPMENT PERMIT SET

Prepared By:
Golba Architecture
1940 Garnet Ave., Suite 100
San Diego, CA 92109
phone: (619) 231-9905
fax: (858) 750-3471
contact: Brian Yamagata

Project Addresses:
8433 Prestwick Drive
La Jolla, CA 92037

Project Name:
Perez Residence Remodel

Sheet Title:
COVER

Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: 08-24-20
Revision 1: 06-19-20

Original Date:
08-28-20

Sheet | Of 14

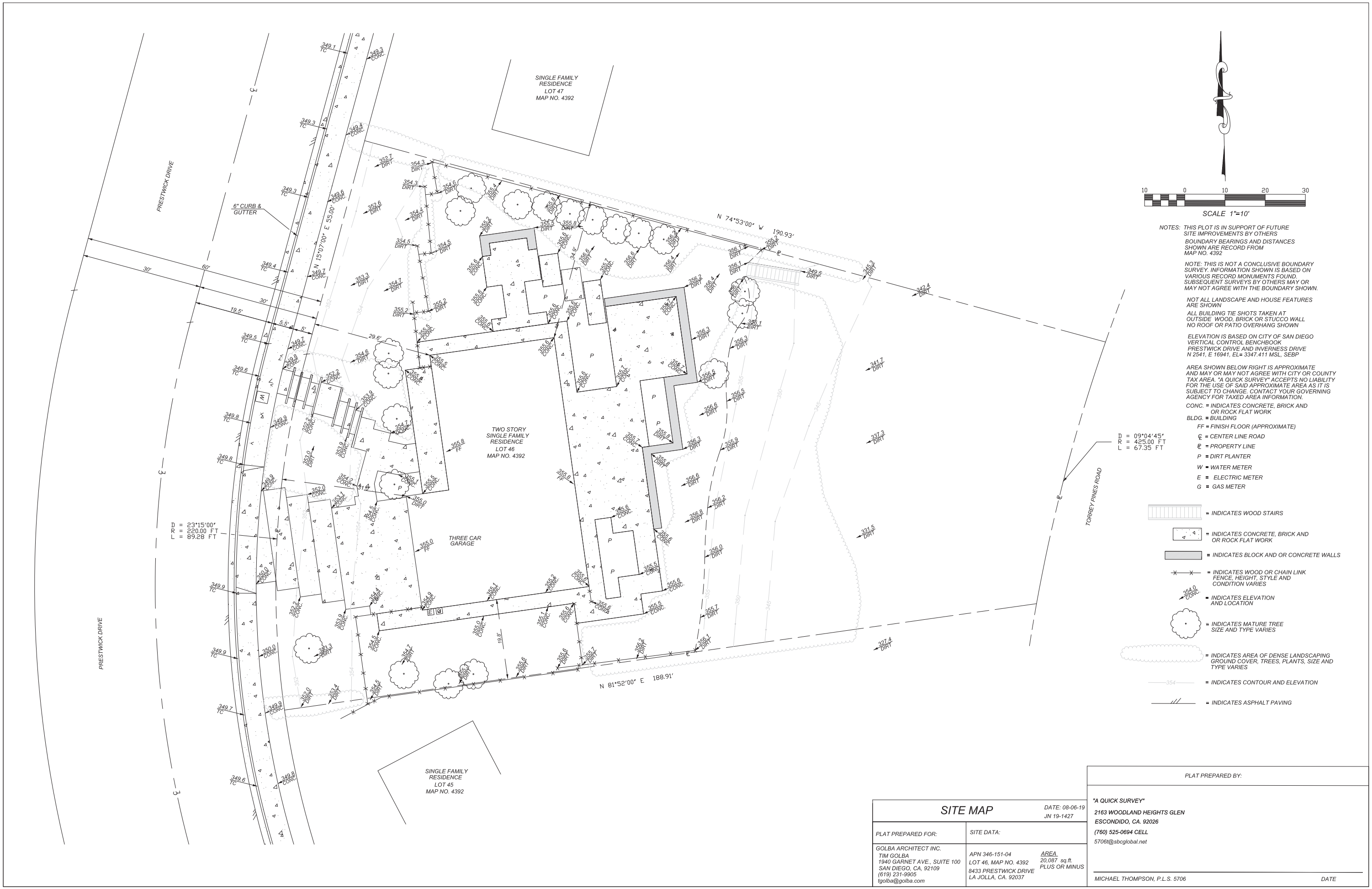
GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave., #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

PEREZ RESIDENCE REMODEL
8433 PRESTWICK DRIVE
LA JOLLA, CA



golba
inc.
T 1.0

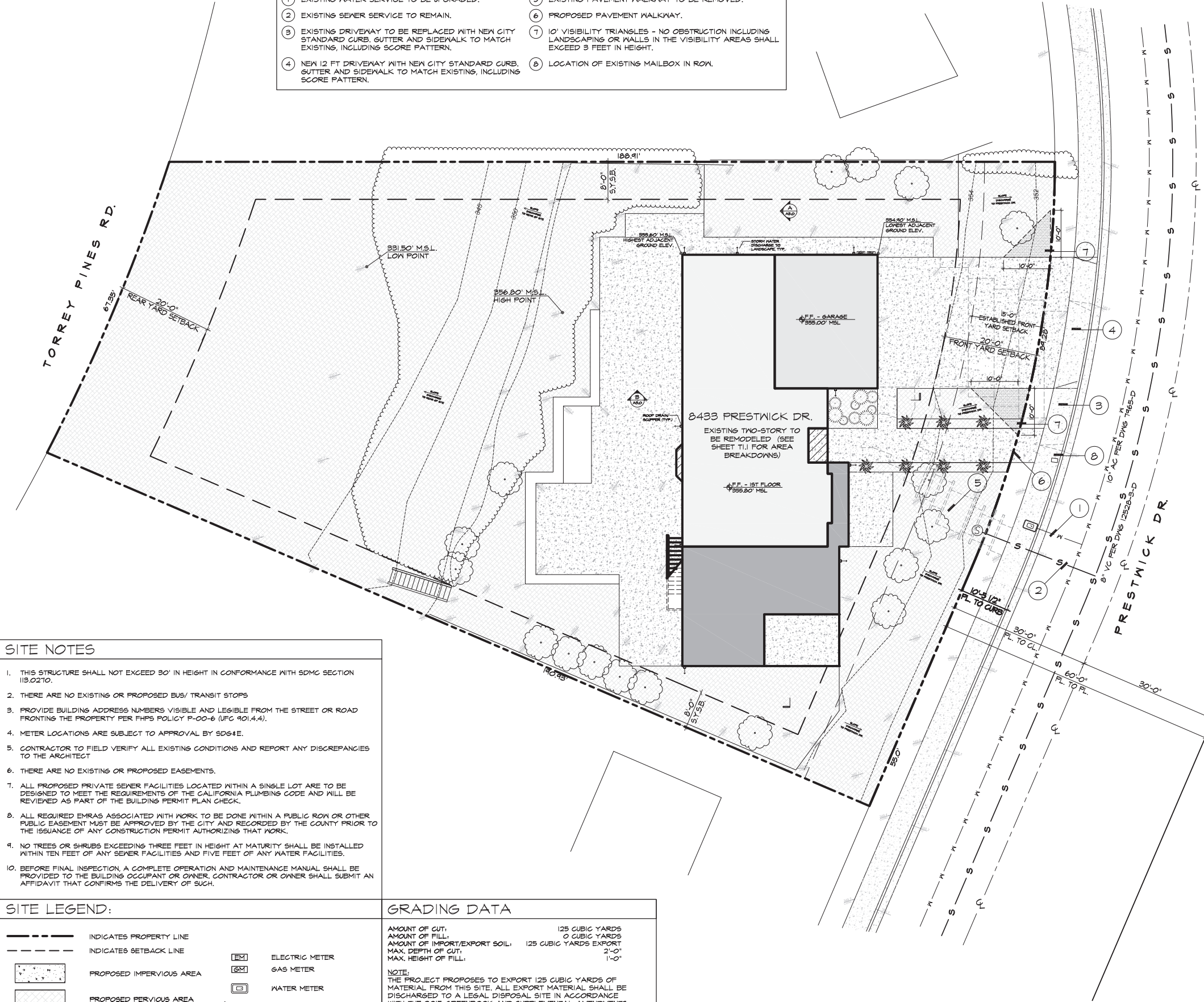
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SITE PLAN KEYNOTES

- | | |
|---------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| 1 EXISTING WATER SERVICE TO BE UPGRADED. | 5 EXISTING PAVEMENT WALKWAY TO BE REMOVED. |
| 2 EXISTING SEWER SERVICE TO REMAIN. | 6 PROPOSED PAVEMENT WALKWAY. |
| 3 EXISTING DRIVEWAY TO BE REPLACED WITH NEW CITY STANDARD CURB, GUTTER AND SIDEWALK TO MATCH EXISTING, INCLUDING SCORE PATTERN. | 7 10' VISIBILITY TRIANGLES - NO OBSTRUCTION INCLUDING LANDSCAPING OR WALLS IN THE VISIBILITY AREAS SHALL EXCEED 3 FEET IN HEIGHT. |
| 4 NEW 12 FT DRIVEWAY WITH NEW CITY STANDARD CURB, GUTTER AND SIDEWALK TO MATCH EXISTING, INCLUDING SCORE PATTERN. | 8 LOCATION OF EXISTING MAILBOX IN ROW. |

ELEVATION IS BASED ON CITY OF SAN DIEGO
VERTICAL CONTROL BENCHMARK:
PRESTWICK DRIVE AND INVERNESS DRIVE
N:2541, E:16941, ELEV. 3347.411 M.S.L., SEBP



SITE NOTES

- THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMC SECTION 13.0210.
- THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFG 901.4.4).
- METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
- THERE ARE NO EXISTING OR PROPOSED EASEMENTS.
- ALL PROPOSED PRIVATE SEWER FACILITIES LOCATED WITHIN A SINGLE LOT ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- ALL REQUIRED EMRAS ASSOCIATED WITH WORK TO BE DONE WITHIN A PUBLIC ROW OR OTHER PUBLIC EASEMENT MUST BE APPROVED BY THE CITY AND RECORDED BY THE COUNTY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT AUTHORIZING THAT WORK.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.
- BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH.

SITE LEGEND:

INDICATES PROPERTY LINE			
INDICATES SETBACK LINE			
PROPOSED IMPERVIOUS AREA		ELECTRIC METER	
PROPOSED PERVIOUS AREA		GAS METER	
EXISTING CONCRETE PAVING		WATER METER	
AREA OF NEW FOOTPRINT		DIRECTION OF DRAINAGE	
		ROOF DRAIN: DISCHARGE INTO LANDSCAPE AREA	
		EXISTING CONTOURS	
		PROPOSED CONTOURS	

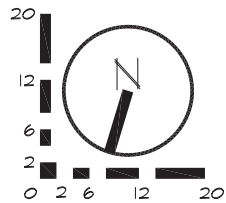
GRADING DATA

AMOUNT OF CUT: 125 CUBIC YARDS
AMOUNT OF FILL: 0 CUBIC YARDS
AMOUNT OF IMPORT/EXPORT SOIL: 125 CUBIC YARDS EXPORT
MAX. DEPTH OF CUT: 2'-0"
MAX. HEIGHT OF FILL: 1'-0"

NOTE:
THE PROJECT PROPOSES TO EXPORT 125 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE 2015 GREENBOOK AND SUPPLEMENTAL AMENDMENTS. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

SITE DISTURBANCE DATA:

TOTAL DISTURBANCE AREA:	4526 S.F.
EXISTING IMPERVIOUS AREA:	5852 S.F.
PROPOSED IMPERVIOUS AREA:	6128 S.F.
TOTAL IMPERVIOUS AREA:	6128 S.F.
IMPERVIOUS % INCREASE:	18.3%



SCALE: 3/32"=1'-0"

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Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 06-19-20

Project Addresses:
8433 Prestwick Drive
La Jolla, CA 92037

Original Date:
03-23-20

Project Name:
Perez Residence Remodel

Sheet 4 Of 14

Sheet Title:
PROPOSED
SITE/GRADING PLAN

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Architecture ■ Space Planning ■ Interior Design
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Phone: (619) 231-9905 Fax: (858) 750-3471

PEREZ RESIDENCE REMODEL

8433 PRESTWICK DRIVE
LA JOLLA, CA



Golba inc

A0.0

DEMOLITION NOTES:

1. THE CONTRACTOR IS TO USE EVERY PRECAUTION TO PREVENT DAMAGE TO ADJOINING AREAS. WHERE APPLICABLE, THE CONTRACTOR IS TO PATCH AND REPAIR DRYWALL, STUCCO OR SIMILAR ADJOINING MATERIAL AFTER DEMOLITION OR REPLACEMENT OF WALLS, WINDOWS OR DOORS.
2. THE CONTRACTOR IS TO REFERENCE THE NEW FLOOR PLANS AND SITE PLANS FOR PRECISE LIMITS OF DEMOLITION. CONSULT ARCHITECT OR OWNER IN AREA OF UNCERTAINTY OR DISCREPANCY.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACINGS, SHORINGS AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY OF ANY DISCREPANCIES. IN NO CASE SHALL DIMENSIONS BE SCALED FROM PLANS, ELEVATIONS, SECTIONS OR DETAILS OF THESE DRAWINGS.

WALL DEMO BREAKDOWN

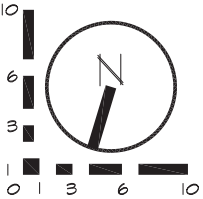
WALL	WALL LENGTH TO REMAIN	WALL LENGTH TO DEMOLISH	TOTAL WALL LENGTH
A	41'-7 3/4"	0'-0"	41'-7 3/4"
B	28'-6"	0'-0"	28'-6"
C	1'-8"	32'-0 3/4"	33'-8 3/4"
D	10'-7 3/4"	0'-0"	10'-7 3/4"
E	0'-3 1/2"	30'-8 1/2"	31'-0"
F	13'-10 1/4"	0'-0"	13'-10 1/4"
G	0'-0"	1'-4 1/2"	1'-4 1/2"
H	0'-0"	5'-6"	5'-6"
I	0'-0"	1'-4 1/2"	1'-4 1/2"
J	33'-11"	6'-5 1/4"	40'-4 1/4"
K	32'-0 1/2"	4'-7 1/4"	41'-7 3/4"
L	0'-0"	28'-6"	28'-6"
M	1'-8"	32'-0 3/4"	33'-8 3/4"
N	2'-1 3/4"	8'-6"	10'-7 3/4"
O	0'-3 1/2"	30'-8 1/2"	31'-0"
P	18'-4 1/4"	16'-10 1/2"	35'-2 3/4"
Q	2'-7"	0'-0"	2'-7"
R	12'-7 1/4"	0'-0"	12'-7 1/4"
S	2'-7"	0'-0"	2'-7"
T	13'-11 3/4"	0'-0"	13'-11 3/4"
TOTAL	217'-2 1/4"	204'-6 1/2"	421'-8 3/4"

COASTAL EXEMPTION SUMMARY

BUILDING PERIMETER LENGTH:	421'-8 3/4"
50% OF BUILDING PERIMETER LENGTH:	210'-10 3/8"
LENGTH OF WALLS TO REMAIN	217'-2 1/4"
LENGTH OF WALLS TO DEMO:	204'-6 1/2"

204'-6 1/2" < 50% MAX. DEMO ALLOWED (210'-10 3/8")
48.5% TO BE DEMOLISHED

NOTE:
GENERAL CONTRACTOR ASSUMES ALL RISK AND LIABILITY TO COMPLY WITH THE CITY OF SAN DIEGO COASTAL PERMIT EXEMPTION POLICY. GENERAL CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL REQUIREMENTS TO PRESERVE 50.1% OF THE EXISTING WALLS AND REPORT ANY DISCREPANCIES OR ISSUES TO THE ARCHITECT UPON DISCOVERY.



SCALE: 3/16"=1'-0"

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Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 06-19-20

Project Addresses:
8433 Prestwick Drive
La Jolla, CA 92037

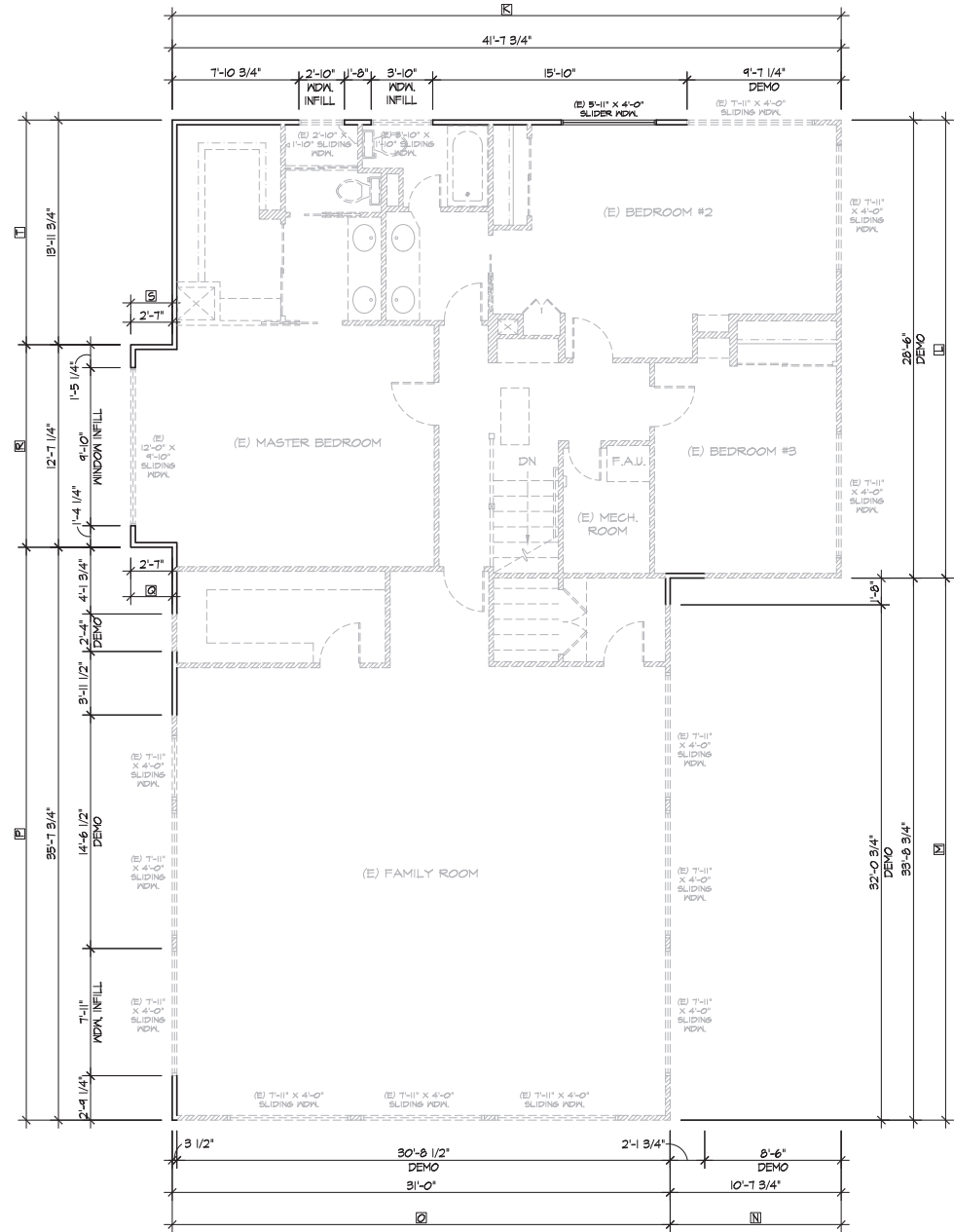
Original Date:
03-23-20

Project Name:
Perez Residence Remodel

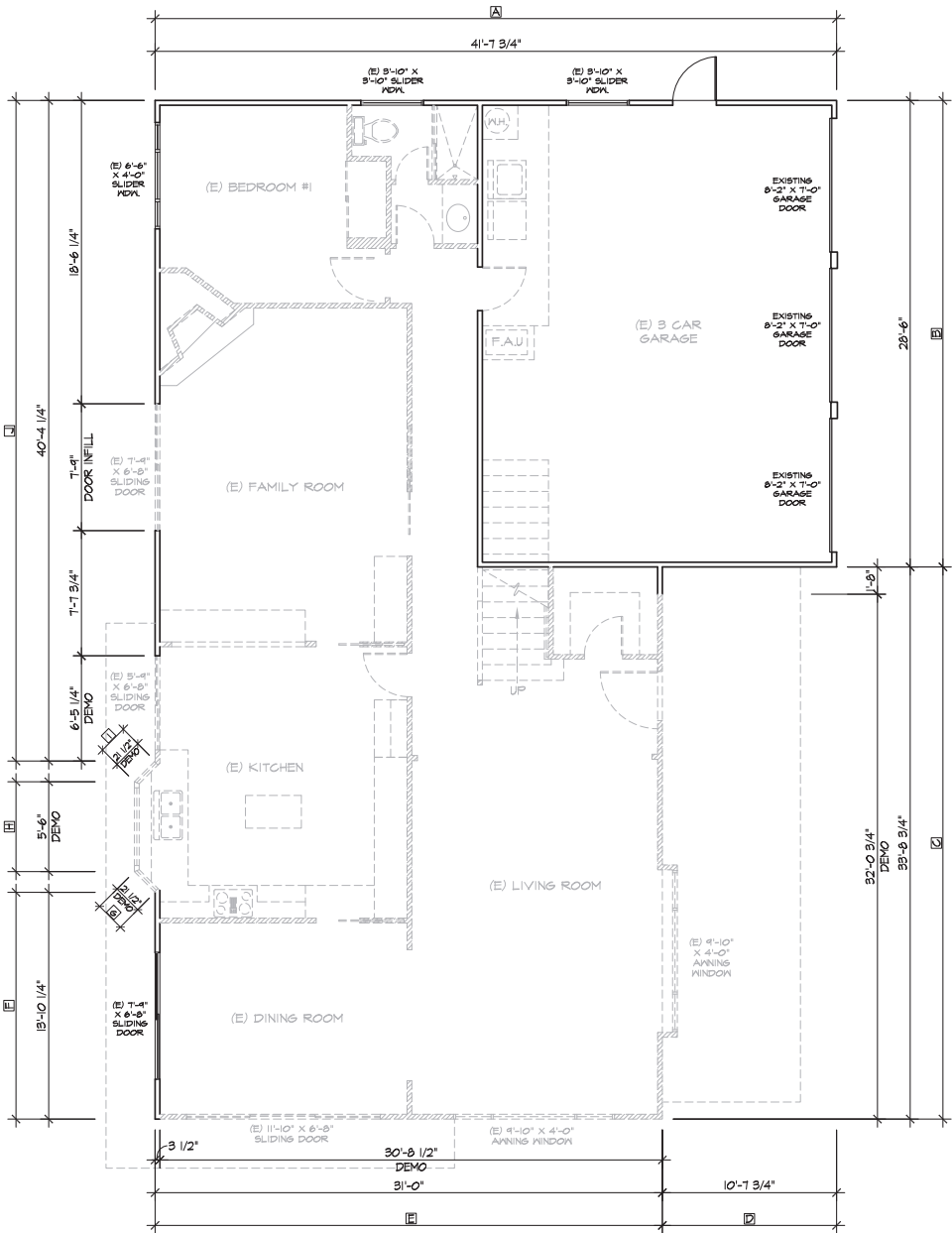
Sheet 5 Of 14

Sheet Title:

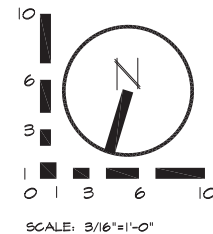
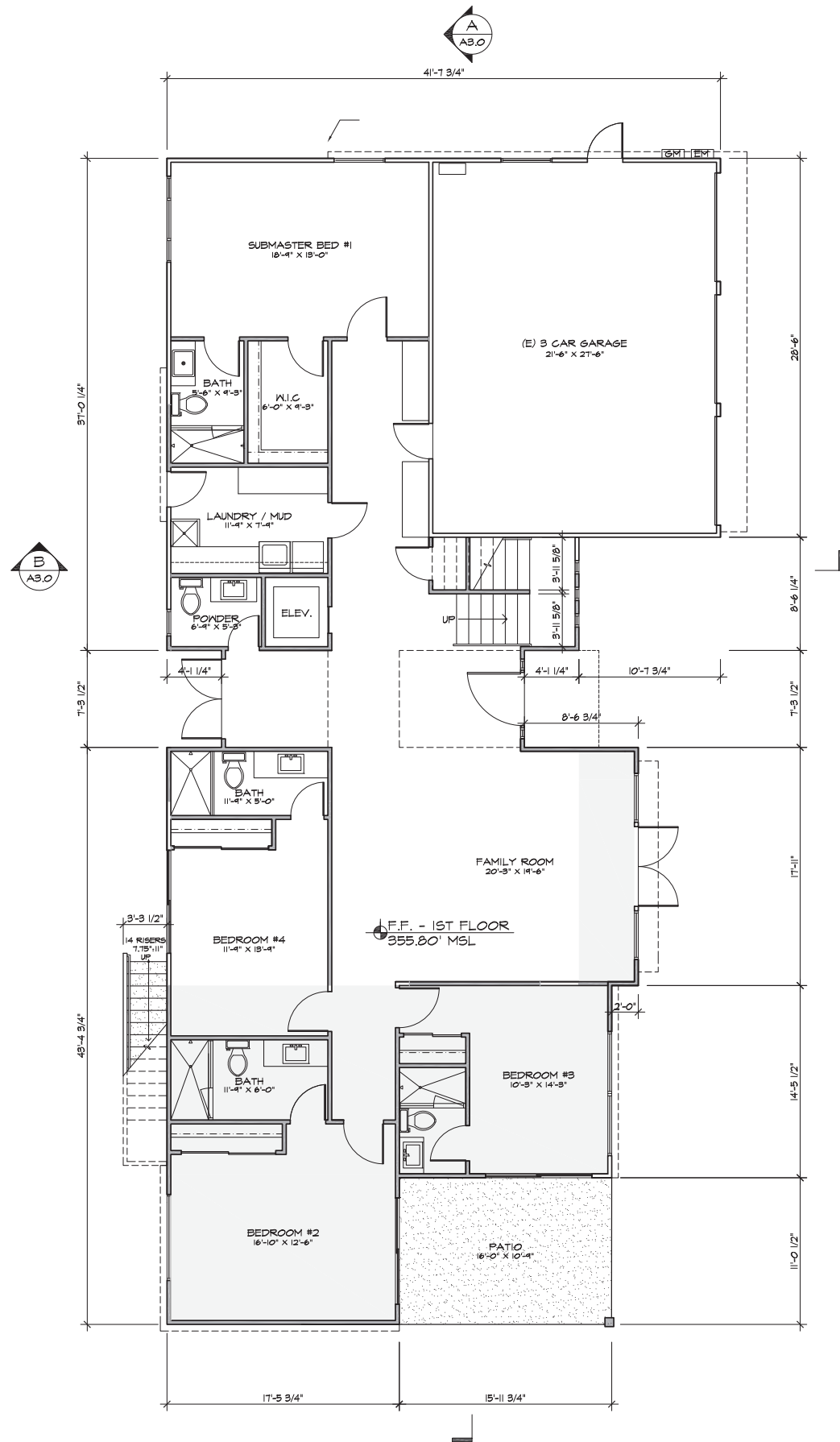
DEMOLITION PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



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Revision 2: X
Revision 1: 06-19-20

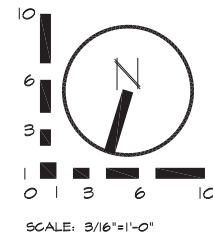
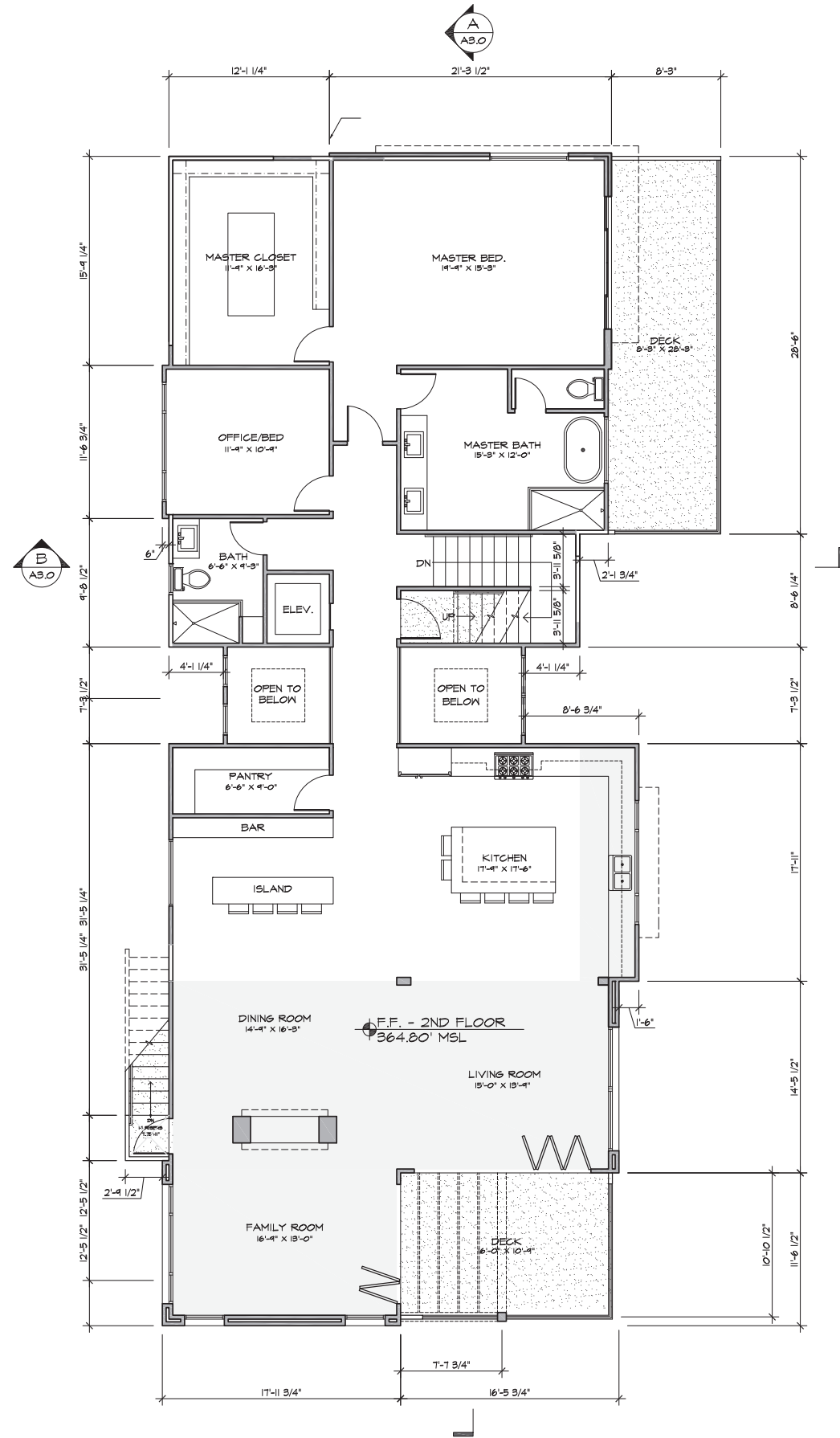
Project Addresses:
8433 Prestwick Drive
La Jolla, CA 92037

Original Date:
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Project Name:
Perez Residence Remodel

Sheet 6 of 14

Sheet Title:
PROPOSED 1ST
FLOOR PLAN



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Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: 08-24-20
Revision 1: 06-19-20

Project Addresses:
8433 Prestwick Drive
La Jolla, CA 92037

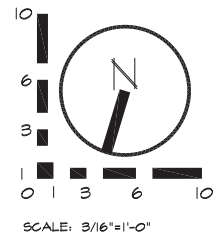
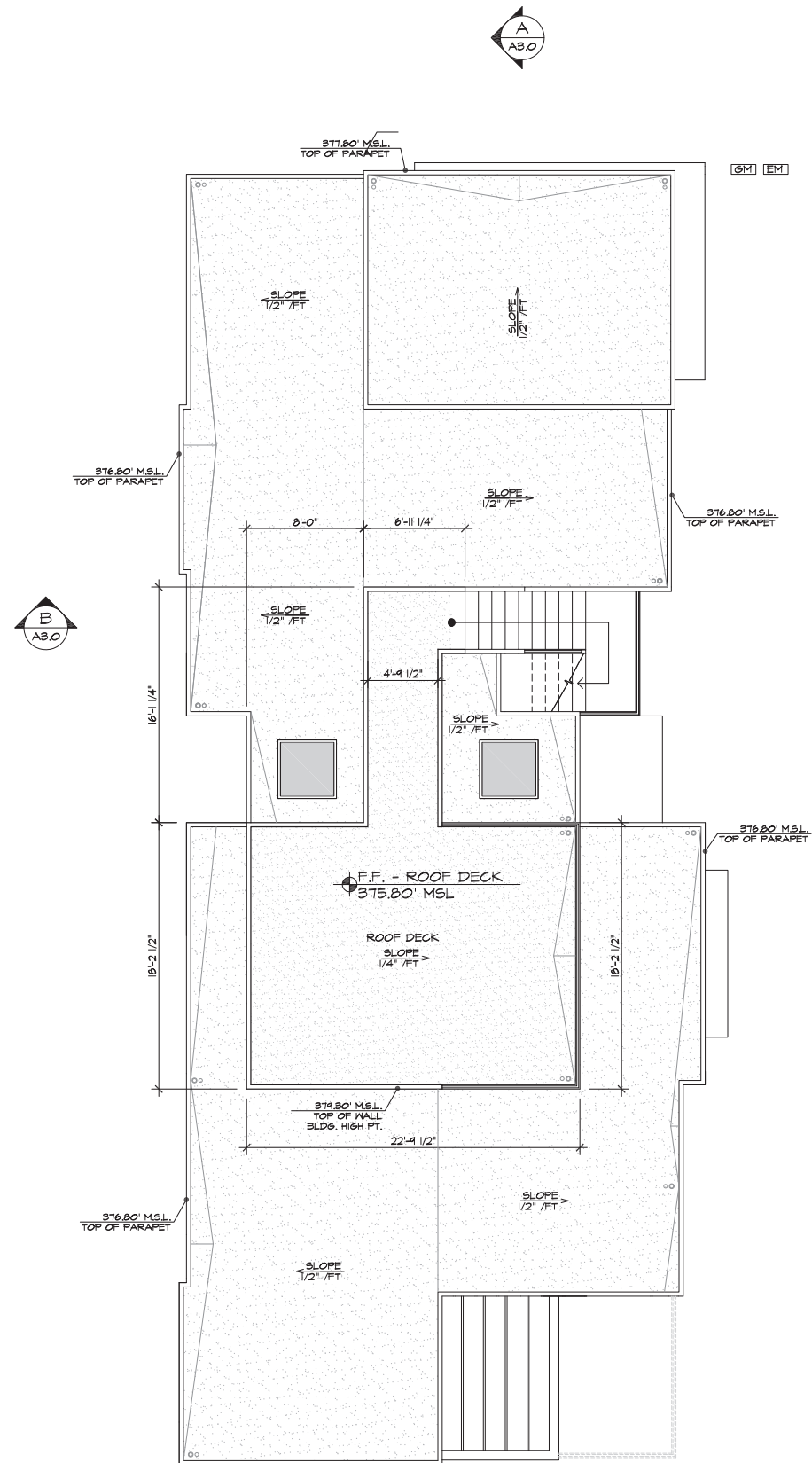
Original Date:
03-23-20

Project Name:
Perez Residence Remodel

Sheet 7 of 14

Sheet Title:
**PROPOSED 2ND
FLOOR PLAN**

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Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: 08-24-20
Revision 1: 06-19-20

Project Addresses:
8433 Prestwick Drive
La Jolla, CA 92037

Original Date:
03-23-20

Project Name:
Perez Residence Remodel

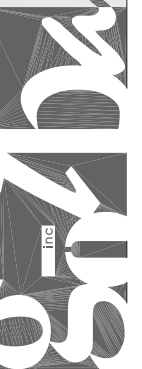
Sheet 8 Of 14

Sheet Title:

PROPOSED ROOF
PLAN

GOLBA ARCHITECTURE
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Phone: (619) 231-9905 Fax: (858) 750-3471

PEREZ RESIDENCE REMODEL
8433 PRESTWICK DRIVE
LA JOLLA, CA



A 1.2

NOTE:
THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (SDMC 132.0505(a))

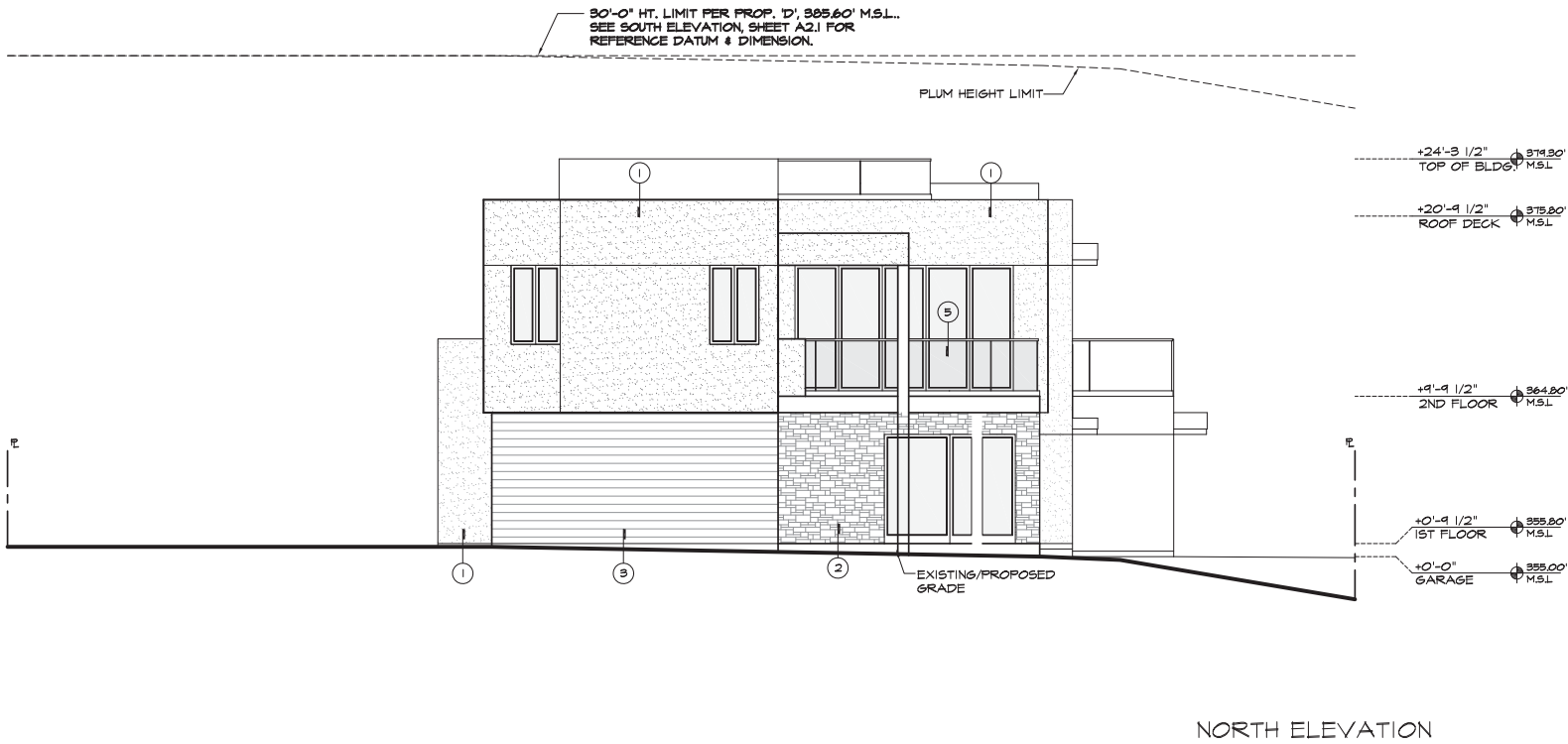
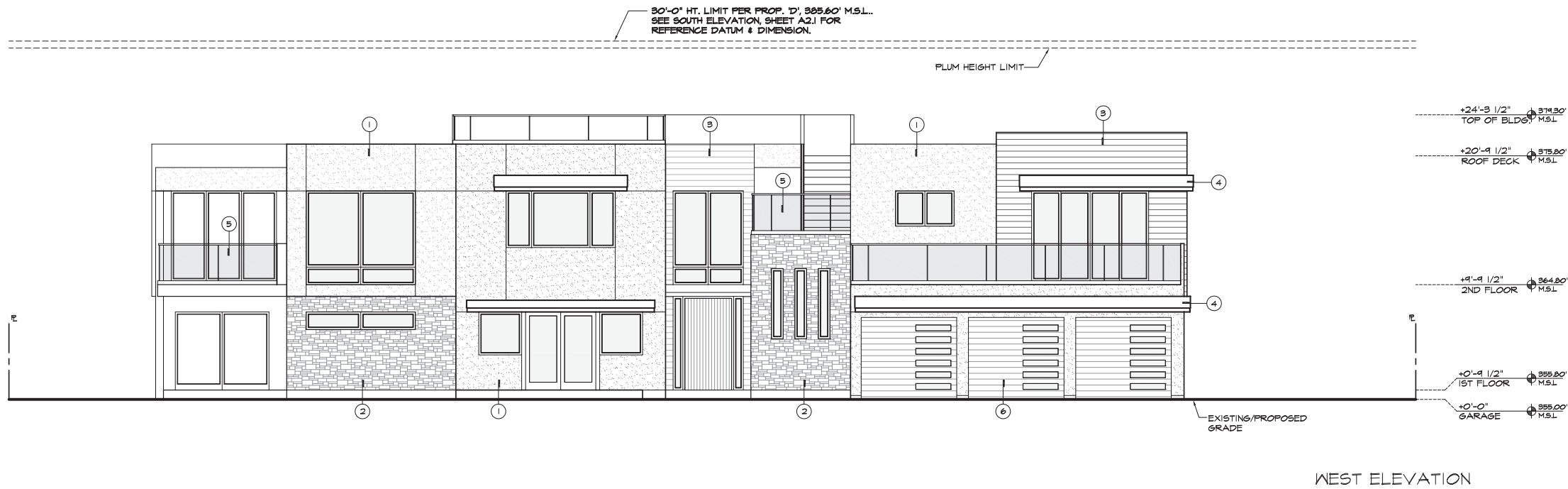
NOTE:
NO DECK PARAPET, GUARDRAIL, WALL OR FENCE TO EXCEED AN AVERAGE OF 42" IN HEIGHT FROM THE FINISHED FLOOR OF THAT DECK, NOR SHALL THEY EXCEED 54" IN HEIGHT AT ANY POINT.

ELEVATION NOTES:

- 1) 7/8" EXT. CEMENT STUCCO W/ENERGY[®] ACRYLIC FINISH COATING, COLOR PER OWNER/ ARCHITECT APPROVAL, (TYP.)
- 2) STONE TILE VENEER PER OWNER APPROVAL, INSTALLED PER MANUF. SPECS, (TYP.)
- 3) LAP SIDING PER OWNER APPROVAL INSTALLED PER MANUF. SPECS, (TYP.)
- 4) COPPER FLASHING/COPING @ ROOF EDGE (TYP.)
- 5) CUSTOM RAILING PER OWNER APPROVAL (TYP.)
- 6) ROLL-UP GARAGE DOOR PER OWNER APPROVAL INSTALLED PER MANUF. SPECS, (TYP.)

COLOR PALETTE:

STUCCO:	EARTHTONES
SIDING:	EARTHTONES
STONE TILE:	EARTHTONES
FLASHING/COPING:	COPPER



0 3 6 10

SCALE: 3/16"=1'-0"

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Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: 08-24-20
Revision 1: 06-19-20

Project Addresses:
8433 Prestwick Drive
La Jolla, CA 92037

Original Date:
03-23-20

Project Name:
Perez Residence Remodel

Sheet 9 of 14

Sheet Title:

EXTERIOR
ELEVATIONS

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

PEREZ RESIDENCE REMODEL
8433 PRESTWICK DRIVE
LA JOLLA, CA



GOLBA inc.
A2.0

NOTE:
THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (SDMC 182.0505(a))

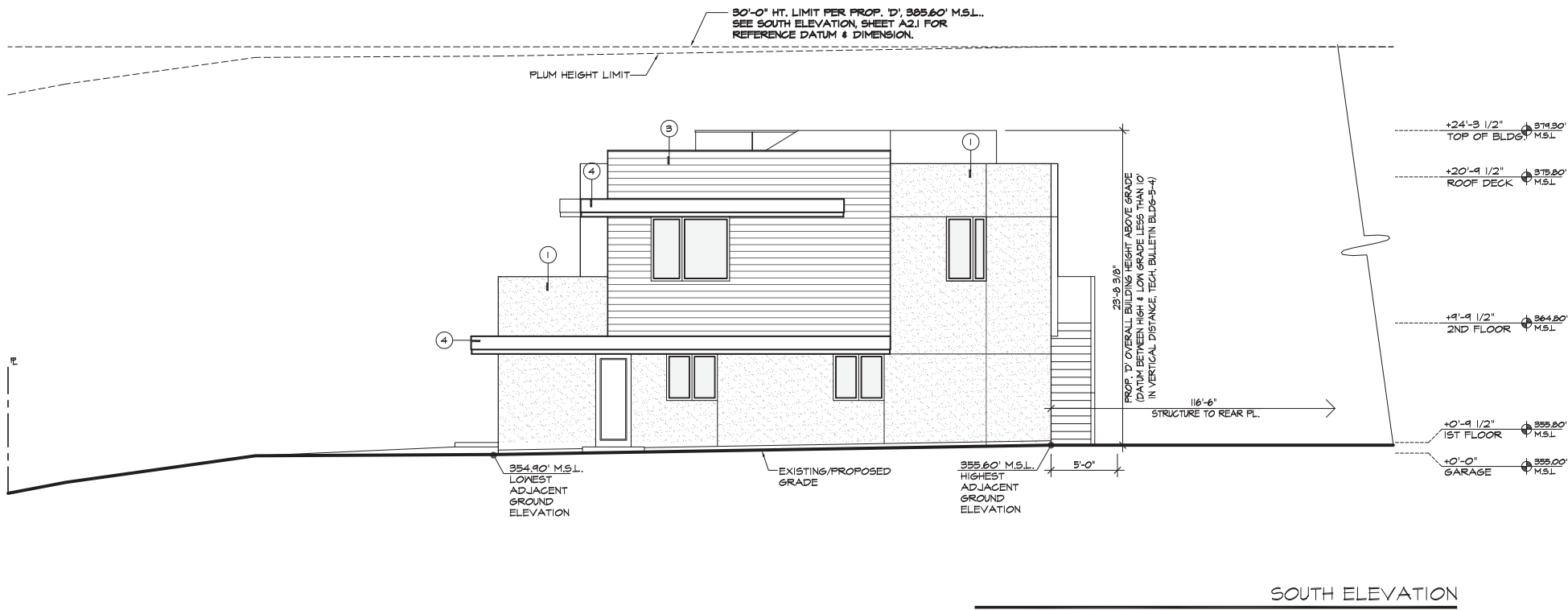
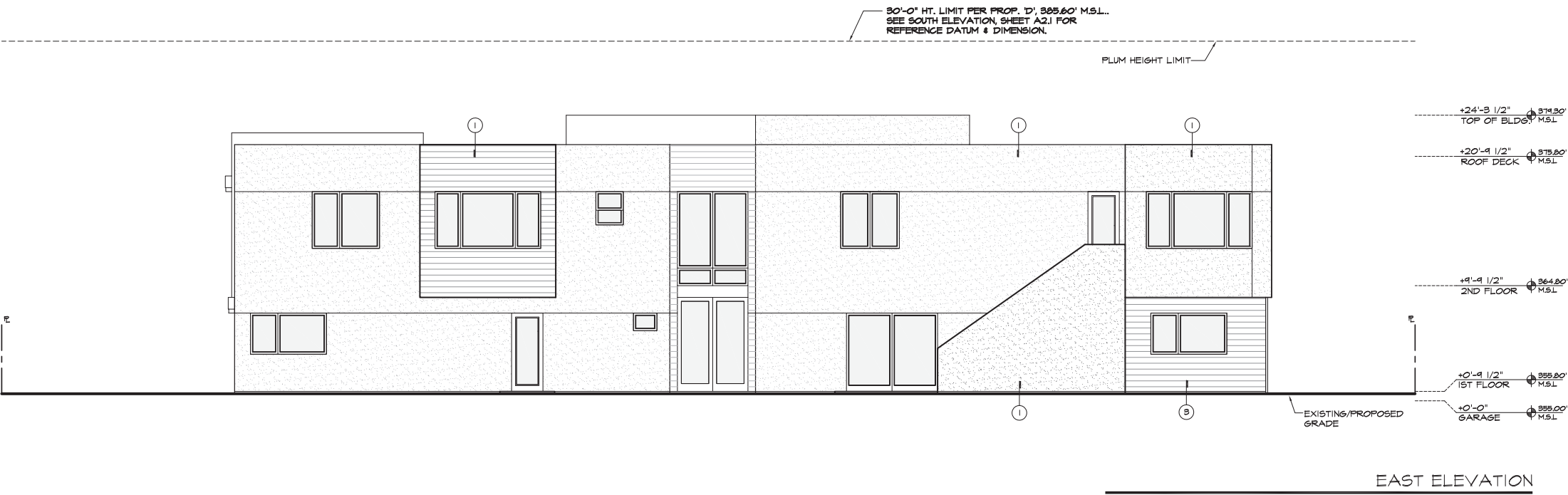
NOTE:
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ELEVATION NOTES:

- 1 7/8" EXT. CEMENT STUCCO W/ENERGY[®] ACRYLIC FINISH COATING, COLOR PER OWNER/ ARCHITECT APPROVAL, (TYP.)
- 2 STONE TILE VENEER PER OWNER APPROVAL, INSTALLED PER MANUF. SPECS, (TYP.)
- 3 LAP SIDING PER OWNER APPROVAL INSTALLED PER MANUF. SPECS, (TYP.)
- 4 COPPER FLASHING/COPING @ ROOF EDGE (TYP.)
- 5 CUSTOM RAILING PER OWNER APPROVAL (TYP.)
- 6 ROLL-UP GARAGE DOOR PER OWNER APPROVAL INSTALLED PER MANUF. SPECS, (TYP.)

COLOR PALETTE:

STUCCO:	EARTHTONES
SIDING:	EARTHTONES
STONE TILE:	EARTHTONES
FLASHING/COPING:	COPPER



SCALE: 3/16"=1'-0"

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Revision 3: X
Revision 2: X
Revision 1: 06-19-20

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8433 Prestwick Drive
La Jolla, CA 92037

Original Date:
03-23-20

Project Name:
Perez Residence Remodel

Sheet 10 Of 14

Sheet Title:

EXTERIOR
ELEVATIONS

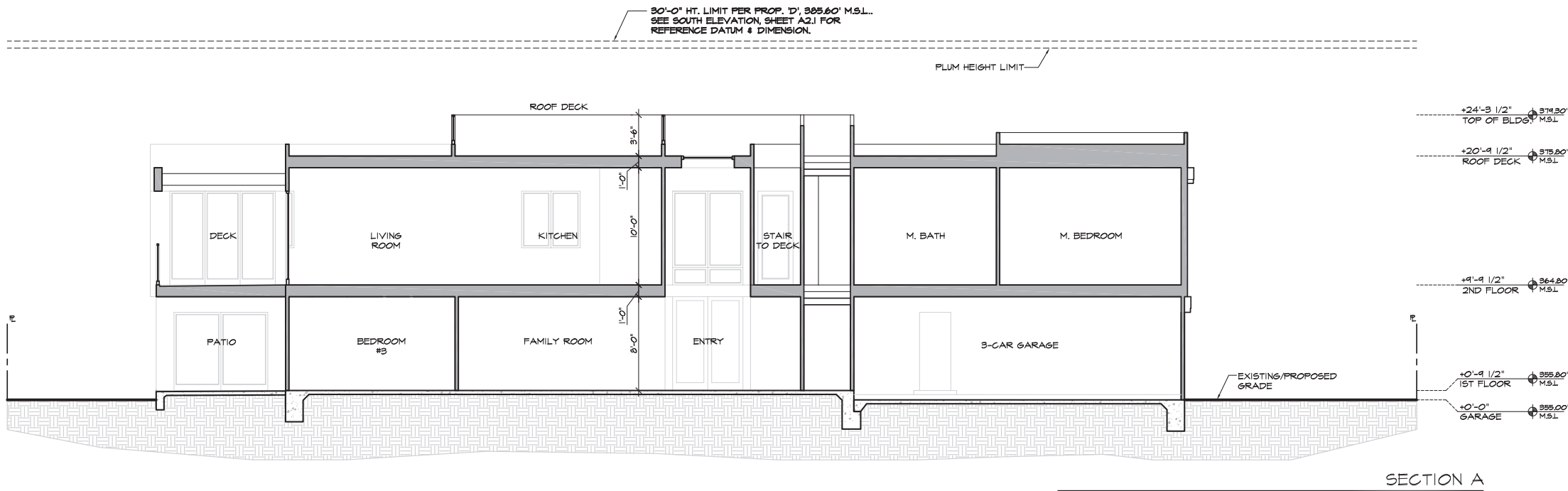
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PEREZ RESIDENCE REMODEL
8433 PRESTWICK DRIVE
LA JOLLA, CA

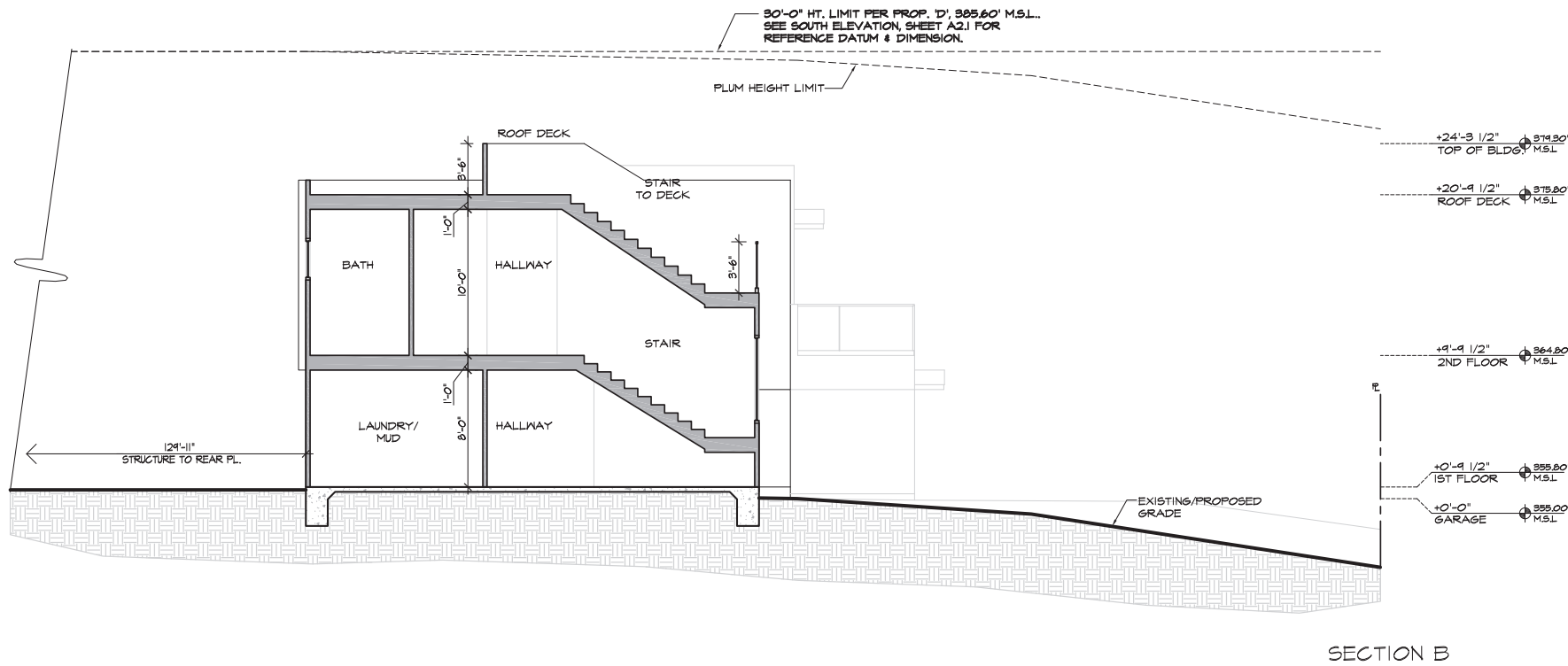


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- NOTE:
- 1) NO DECK PARAPET, GUARDRAIL, WALL OR FENCE TO EXCEED AN AVERAGE OF 42" IN HEIGHT FROM THE FINISHED FLOOR OF THAT DECK, NOR SHALL THEY EXCEED 54" IN HEIGHT AT ANY POINT.
 - 2) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN BLDG-5-4.
 - 3) A VAPOR RETARDER AND CAPILLARY BREAK ARE REQUIRED AT SLAB ON GRADE FOUNDATIONS.
 - 4) 4" THICK BASE OF 3/4" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH ADDRESS BLEEDING, SHRINKAGE, AND CURING SHALL BE USED, PER ACI 302.2R-06



0 3 6 10

SCALE: 3/16"=1'-0"

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Revision 2: X
Revision 1: 06-19-20

Project Addresses:
8433 Prestwick Drive
La Jolla, CA 92037

Original Date:
03-23-20

Project Name:
Perez Residence Remodel

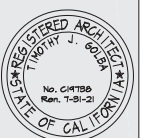
Sheet 11 Of 14

Sheet Title:

SECTIONS

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-9905 Fax: (858) 750-3471

PEREZ RESIDENCE REMODEL
8433 PRESTWICK DRIVE
LA JOLLA, CA

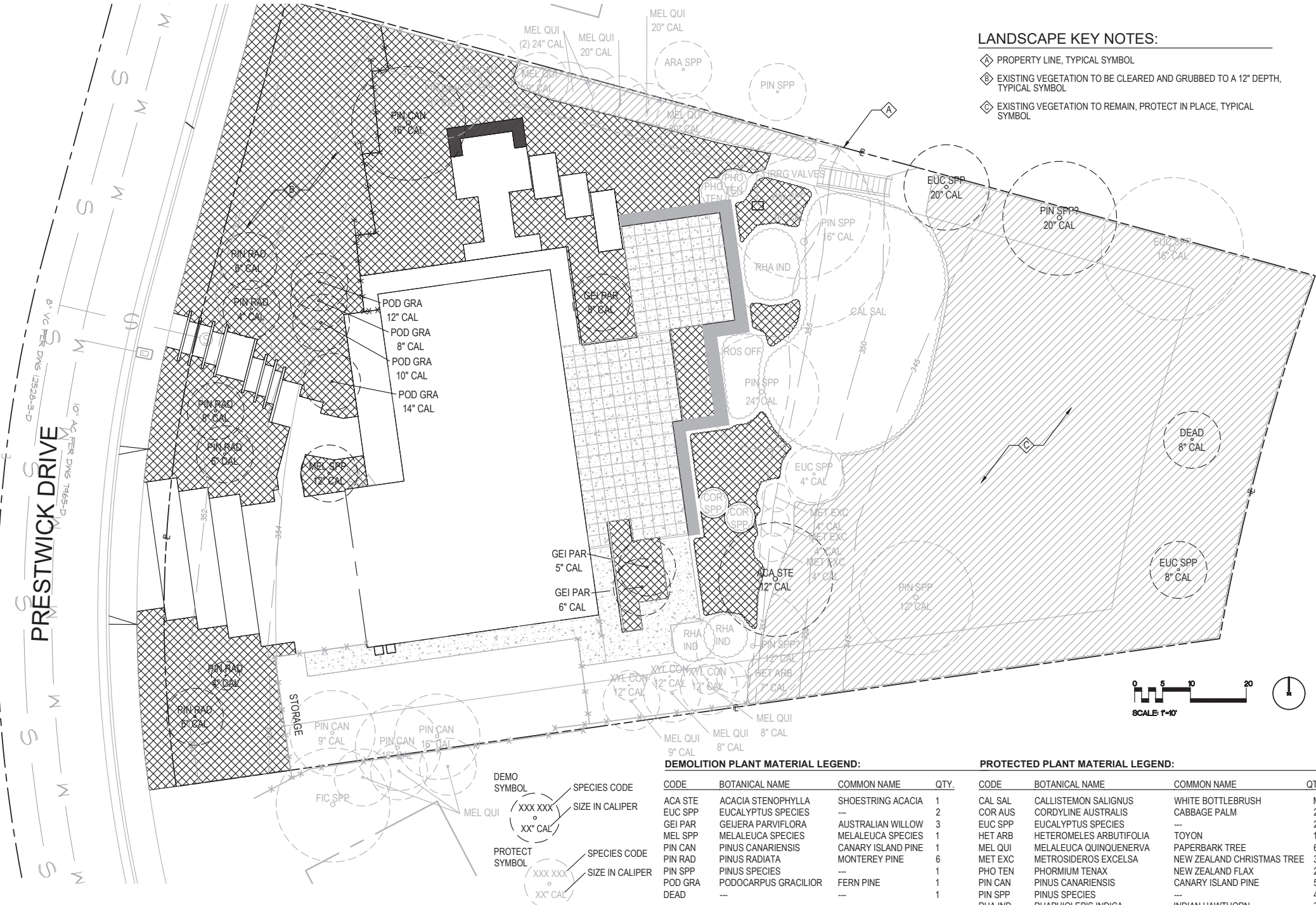


Golba
inc

A 3.0

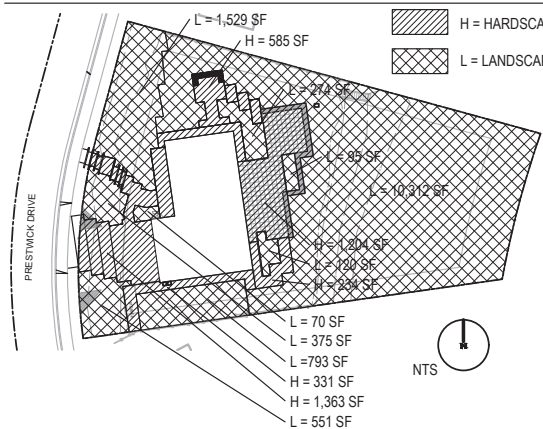
ALL PLANS, DESIGNS AND IDEAS SHOWN ON THIS DRAWING ARE THE PROPERTY OF NERI LANDSCAPE ARCHITECTURE AND SHALL NOT BE USED, DISCLOSED OR REPRODUCED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN CONSENT FROM NERI LANDSCAPE ARCHITECTURE

EXISTING SITE DEMOLITION PLANTING:

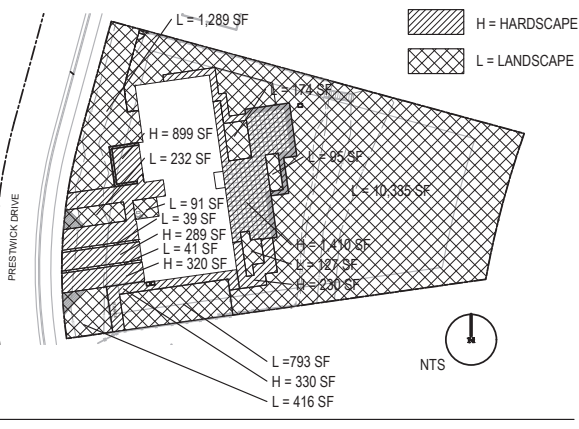


LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS:

SINGLE FAMILY LANDSCAPE REQUIREMENTS:
LA JOLLA SHORES PLANNED DISTRICT ORDINANCE ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE [SDMC 1510.0303(a)(8)(h)(1)]



EXISTING	
TOTAL PARCEL AREA:	20,087 S.F.
PLANTING AREA REQUIRED:	6,026 S.F. (30%)
PLANTING AREA PROVIDED:	14,119 S.F. (70%)
EXCESS AREA PROVIDED:	8,093 S.F.
BUILDING AREA:	2,251 S.F.
HARDSCAPE AREA:	3,717 S.F.
PROPOSED	
TOTAL PARCEL AREA:	20,087 S.F.
PLANTING AREA REQUIRED:	6,026 S.F. (30%)
PLANTING AREA PROVIDED:	13,652 S.F. (68%)
EXCESS AREA PROVIDED:	7,626 S.F.
BUILDING AREA:	2,959 S.F.
HARDSCAPE AREA:	3,476 S.F.



LANDSCAPE KEY NOTES:

- PROPERTY LINE, TYPICAL SYMBOL
- EXISTING VEGETATION TO BE CLEARED AND GRUBBED TO A 12" DEPTH, TYPICAL SYMBOL
- EXISTING VEGETATION TO REMAIN, PROTECT IN PLACE, TYPICAL SYMBOL

PROTECTED PLANT MATERIAL LEGEND:

CODE	BOTANICAL NAME	COMMON NAME	QTY.
CAL SAL	CALLISTEMON SALIGNUS	WHITE BOTTLEBRUSH	MULTIPLE
COR AUS	CORDYLINE AUSTRALIS	CABBAGE PALM	2
EUC SPP	EUCALYPTUS SPECIES	---	2
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	1
MEL QUI	MELALEUCA QUINQUENVERVA	PAPERBARK TREE	6
MET EXC	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	3
PHO TEN	PHORMIUM TENAX	NEW ZEALAND FLAX	2
PIN CAN	PINUS CANARIENSIS	CANARY ISLAND PINE	5
PIN SPP	PINUS SPECIES	---	4
RHA IND	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	3
ROS OFF	ROSMARINUS OFFICINALIS	ROSEMARY	1

LA JOLLA SHORES PDO NOTES:

- IN THE SINGLE FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
- ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
- ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

GENERAL NOTES:

- THE LANDSCAPE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
- GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS AND LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
- LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS TO BE PLANTED WITH GROUND COVER PER SDMC §142.0411. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET. ALL PROPOSED STREET TREE PALMS SHALL HAVE A MINIMUM OF 10' BROWN TRUNK HEIGHT (BTH).
- PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
- PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND MAINTENANCE PERIOD. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE LA JOLLA SHORES PLANNED DISTRICT STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
- ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
- ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL AS SHOWN ON THE APPROVED EXHIBIT "A", LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR STRUCTURES, THE OWNER PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. THE CONSTRUCTION DOCUMENTS SHALL BE CONSISTENT WITH APPROVED EXHIBIT 'A', THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE, THE LA JOLLA COMMUNITY PLAN, AND THE LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS.
- THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED CONSISTENT WITH THE LANDSCAPE STANDARDS IN A DISEASE, WEED, AND LITTER FREE CONDITIONS AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLAN IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES WITHIN 30 DAYS OF DAMAGE.

IRRIGATION NOTE:

- ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
- EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY A HOMEOWNER-FUNDED AND MAINTAINED, DEEP-WATERING, LOW-VOLUME BUBBLER.

DRAINAGE NOTES:

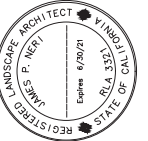
- THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
- ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

EXISTING TREE NOTES:

- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
- A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIPLINE.
 - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

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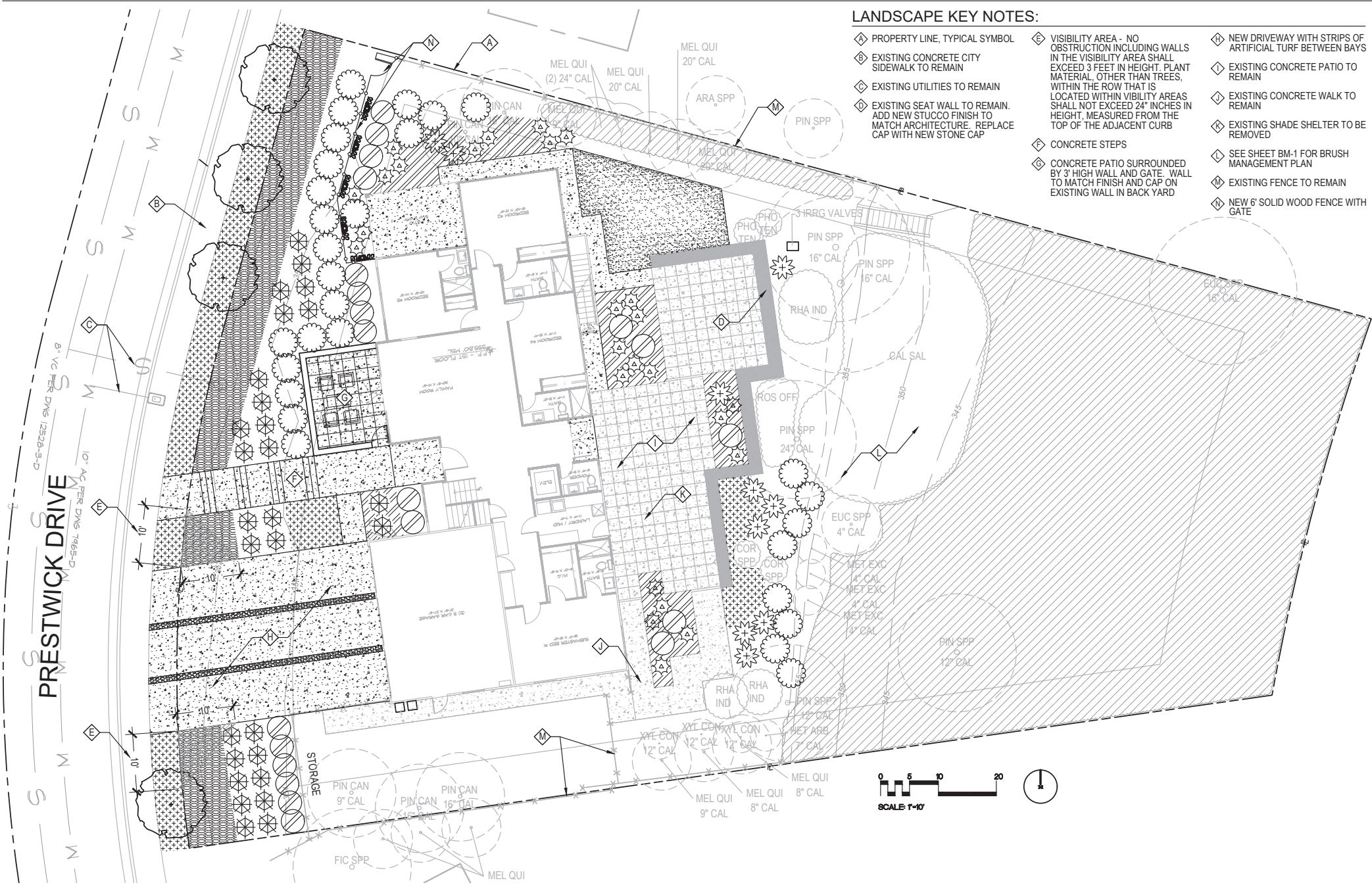
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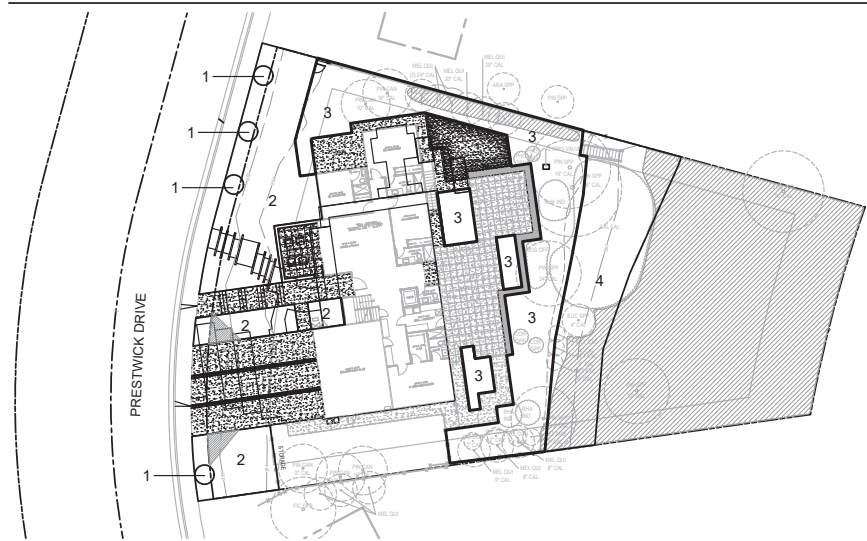
PROPOSED SITE:



LANDSCAPE KEY NOTES:

- PROPERTY LINE, TYPICAL SYMBOL
- EXISTING CONCRETE CITY SIDEWALK TO REMAIN
- EXISTING UTILITIES TO REMAIN
- EXISTING SEAT WALL TO REMAIN. ADD NEW STUCCO FINISH TO MATCH ARCHITECTURE. REPLACE CAP WITH NEW STONE CAP
- VISIBILITY AREA - NO OBSTRUCTION INCLUDING WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE ROW THAT IS LOCATED WITHIN VIBILITY AREAS SHALL NOT EXCEED 24" INCHES IN HEIGHT. MEASURED FROM THE TOP OF THE ADJACENT CURB
- CONCRETE STEPS
- CONCRETE PATIO SURROUNDED BY 3' HIGH WALL AND GATE. WALL TO MATCH FINISH AND CAP ON EXISTING WALL IN BACK YARD
- NEW DRIVEWAY WITH STRIPS OF ARTIFICIAL TURF BETWEEN BAYS
- EXISTING CONCRETE PATIO TO REMAIN
- EXISTING CONCRETE WALK TO REMAIN
- EXISTING SHADE SHELTER TO BE REMOVED
- SEE SHEET BM-1 FOR BRUSH MANAGEMENT PLAN
- EXISTING FENCE TO REMAIN
- NEW 6' SOLID WOOD FENCE WITH GATE

HYDROZONE DIAGRAM



WATER BUDGET CALCULATIONS:

TOTAL LANDSCAPE AREA (LA) = 7,660 SF
SPECIAL LANDSCAPE AREA (SLA) = 0 SF
ETO = 40
ETAF = .55

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):

MAWA = (ETO)(0.62)(ETAF x (LA+SLA)) + ((1-ETAF) x SLA)
(40)(0.62) [(.55 x 7,660) + (0.45 x 0)] = 104,482 GAL/YR

ETWU = (ETO)(0.62) [(PF/IE x HA/IE) + (SLA)]

ESTIMATED TOTAL WATER USE (ETWU): 97,840 GAL/YR

ESTIMATED TOTAL WATER USE

HYD.	PLANT FACTOR	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	HYDROZONE AREA IN S.F.	ETAF x HA	RESULT IN GAL/ YR.
1	0.3	DRIP	.81	0.370	113	41.852	1,038
2	0.4	SPRAY	.75	0.533	2,562	1366.400	33,887
3	0.4	DRIP	.81	0.494	3,082	1521.975	37,745
4	0.4	SPRAY	.75	0.533	1,903	1014.933	25,170
TOTAL					7,660		97,840

LANDSCAPE DESIGN COMPLIANCE STATEMENT:

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

James P. Neri

JAMES P. NERI
NERI LANDSCAPE ARCHITECTURE
LICENSED LANDSCAPE ARCHITECT, RLA#3321

PLANTING LEGEND

PROPOSED PLANT MATERIAL LEGEND:	QTY / % / SIZE
* Denotes Preferred Species	
STREET TREES Medium scale tree - 30' tall x 20' wide, such as: * <i>Olea europaea</i> 'Skylark Dwarf'	4 / 100% / 24" BOX "Skylark Dwarf Olive"
SCREENING SHRUB Medium scale shrub - 5' tall x 5' wide, such as: <i>Coprosma repens</i> <i>Hebe</i> spp. * <i>Rhamnus californica</i> 'Little Sur'	21 / 100% / 1 GAL "Mirror Plant" "Hebe" "Little Sur Coffeeberry"
EVERGREEN FLOWERING SHRUB (SUN) Medium scale shrub - 3' tall x 3' wide, such as: <i>Galvezia speciosa</i> 'Firecracker' <i>Grevillea noellii</i> * <i>Westringia fruticosa</i> 'Wynabbie Gem'	29 / 100% / 1 GAL "Bush Snapdragon" "Noell Grevillea" "Coast Rosemary"
BOLD TEXTURE PERENNIAL Medium scale shrub - 3' tall x 3' wide, such as: * <i>Agave desmettiana</i> * <i>Phormium tenax</i> 'Pink Stripe' <i>Leymus condensatus</i> 'Canyon Prince'	10 / 100% / 1 GAL "NCN" "New Zealand Flax" "Canyon Prince Wild Rye"
ACCENT PERENNIAL Medium scale shrub - 3' tall x 3' wide, such as: * <i>Dianella tasmanica</i> 'Variegata' <i>Liriope muscari</i> 'Variegata' <i>Phormium</i> 'Tom Thumb'	26 / 100% / 1 GAL "Tasman Flax Lily" "Variegated Big Blue Lily Turf" "Tom Thumb New Zealand Flax"
ACCENT SUCCULENT Medium scale shrub - 3' tall x 3' wide, such as: <i>Agave desmettiana</i> * <i>Aloe striata</i> * <i>Hesperaloe parviflora</i> 'Brakelights'	28 / 100% / 1 GAL "NCN" "Coral Aloe" "Red Yucca"
EVERGREEN VINE Medium scale vine - 10' tall x 3' wide, such as: <i>Bignonia capreolata</i> <i>Trachelospermum jasminoides</i> <i>Rhoicissus capensis</i>	5 / 100% / 1 GAL "Crossvine" "Star Jasmine" "Evergreen Grape"
FLOWERING GROUNDCOVER (SHADE) Medium scale shrub - 3' tall x spreading wide, such as: * <i>Cerastium tomentosum</i> * <i>Pelargonium peltatum</i> 'Red' <i>Vinca minor</i>	419 SF / 100% / FLAT @ 12" O.C. "Snow in Summer" "Red Ivy Geranium" "Common Periwinkle"
FLOWERING GROUNDCOVER (SUN) Medium scale shrub - 3' tall x spreading wide, such as: * <i>Lantana montevidensis</i> 'Alba' <i>Rosa</i> 'Floral Carpet' * <i>Cistus x pulverulentus</i> 'Sunset'	726 SF / 100% / 1 GAL @ 4' O.C. "White Trailing Lantana" "Carpet Rose" "Rockrose"
EVERGREEN GROUNDCOVER (SUN) Medium scale shrub - 3' tall x spreading wide, such as: <i>Baccharis pilularis</i> 'Pigeon Point' <i>Coprosma kirkii</i> * <i>Westringia fruticosa</i> 'Mundi'	762 SF / 100% / 1 GAL @ 4' O.C. "Coyote Brush" "NCN" "Mundi Coast Rosemary"

HARDSCAPE LEGEND

PROPOSED HARDSCAPE MATERIAL LEGEND:	
EXISTING PAVING Existing concrete	1,458 SF
HARDSCAPE PAVING 'A' Non-porous paving such as: "Integral Color Concrete" "Integral Color Concrete with Exposed Aggregate Finish" "Uncolored Concrete with Enhanced Finish"	2,048 SF
HARDSCAPE PAVING 'B' Porous paving such as: "Artificial Turf over Drivable Structural Base"	80 SF
ARTIFICIAL TURF "Artificial Turf over Compacted Porous Base"	357 SF

MAWA NOTE:

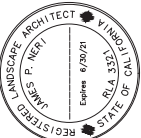
THE APPLICANT AGREES TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IN ACCORDANCE WITH STATE LAW AND LAND DEVELOPMENT CODE SECTION 142.0413(H), AND WILL PROVIDE THE RECORD OWNER AT THE TIME OF FINAL INSPECTION WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

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