



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 11, 2020 REPORT NO. HO-20-064

HEARING DATE: December 16, 2020

SUBJECT: AC Hotel Live Entertainment CUP, Process Three Decision

PROJECT NUMBER: [653653](#)

REFERENCE: [2006 Downtown FEIR](#)

OWNER/APPLICANT: BLG San Diego, LLC – Owner / Briad Development, LLC - Permittee

SUMMARY

Issue: Should the Hearing Officer approve live entertainment on the rooftop outdoor pool deck and in a 1,200 square-foot (SF) ground floor tenant space at AC Hotel, located at the 11,500 SF site at 743 Fifth Avenue in the Gaslamp neighborhood of the Downtown Community Plan area?

Staff Recommendation: Approve Conditional Use Permit No. 2377256.

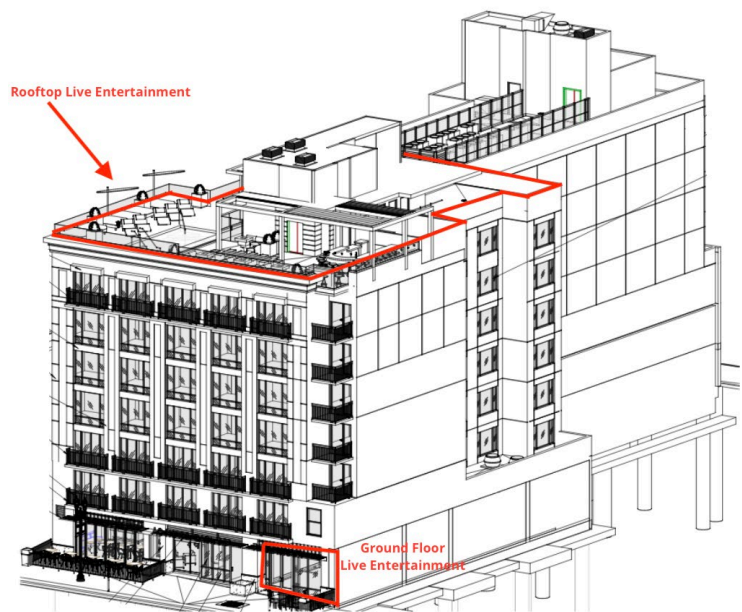
Community Planning Group Recommendation: On May 20, 2020, the Downtown Community Planning Council voted 17-2 to approve the Project with live entertainment on the rooftop no later than 11:00 p.m. Sunday through Thursday and no later than 12:00 a.m. Friday, Saturday, and Sundays followed by an officially recognized Monday holiday.

Environmental Review: The Development Services Department completed a CEQA review for the AC Hotel live entertainment Project. The Environmental Analysis Section (ESA) has determined that the Project is consistent with the previously certified City of San Diego Downtown Environmental Impact Report (SCH# 2003041001). Development within the Downtown Community Planning area is covered under the following documents, all referred to as the "Downtown FEIR": Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Centre City Redevelopment Plan, certified by the former Redevelopment Agency ("Former Agency") and the City Council on March 14, 2006 (Resolutions R-04001 and R-301265, respectively); subsequent addenda to the FEIR certified by the Former Agency on August 3, 2007 (Former Agency Resolution R-04193), April 21, 2010 (Former Agency Resolution R-04510), and August 3, 2010 (Former Agency Resolution R-04544), and certified by the City Council on February 12, 2014 (City Council Resolution R-308724) and July 14, 2014 (City Council Resolution R-

309115); and, the Final Supplemental Environmental Impact Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution R-310561). Development within the Downtown Community Planning area is also covered under the following documents, all referred to as the "CAP FEIR": FEIR for the City of San Diego Climate Action Plan (CAP), certified by the City Council on December 15, 2015 (City Council Resolution R-310176), and the Addendum to the CAP, certified by the City Council on July 12, 2016 (City Council Resolution R-310595). The Downtown FEIR and CAP FEIR are both "Program EIRs" prepared in compliance with California Environmental Quality Act (CEQA) Guidelines Section 15168. The information contained in the Downtown FEIR and the CAP FEIR reflects the independent judgement of the City of San Diego as the Lead Agency. The environmental impacts of the Project were adequately addressed in the Downtown FEIR and CAP FEIR. Therefore, no further environmental documentation is required under CEQA.

BACKGROUND

The AC Hotel development was entitled pursuant to Gaslamp Quarter Development/Permit/Variance /Neighborhood Use Permit No. 2017-27 for the construction of an eight-story (75-foot tall), full-service hotel development containing 147 hotel guest rooms, a restaurant on the ground floor with a sidewalk cafe, and a rooftop pool/bar area with storage area and bathrooms on the eighth floor. Building permits for the hotel were issued on July 9, 2019 under PTS No. 625242, and construction is currently underway. The Applicant is now seeking a Conditional Use Permit (CUP) to allow live entertainment on the premises within the ground-floor tenant space and outdoors at the rooftop pool deck area, as shown in the figure to the right.



The 11,500 SF site (0.26 acres) is located in the Gaslamp Quarter Planned District (GQPD), Transit Area Overlay Zone, Transit Priority Area, Airport Influence Area (San Diego International Airport - Review Area 2) Overlay Zones, and the Federal Aviation Administration (FAA) Noticing Area within the Downtown Community Plan (DCP) area ("Downtown").

Under the Gaslamp Quarter Planned District Ordinance (GQPDO), establishments providing live music, entertainment or dancing, whether or not in conjunction with the sale of alcohol, are required to obtain approval of a CUP. Fully enclosed bars or nightclubs with exclusive access through a hotel lobby are exempt from the CUP requirement; however, the proposed ground-floor live entertainment venue is directly accessible from Fifth Avenue and the rooftop live entertainment is unenclosed. The CUP procedure establishes a review process for the development of uses that may be desirable under appropriate circumstances but are not permitted by right. The intent of these procedures is to review these uses on a case-by-case basis to determine whether and under what conditions such a use may be approved at a given site.

DISCUSSION

Project Description

Outdoor live entertainment is proposed at the 5,214 SF eighth floor rooftop pool deck, accessed via the hotel lobby elevators, and indoor live entertainment is proposed within the 1,200 SF restaurant tenant space on the ground floor of the hotel along Fifth Avenue, with one entrance on Fifth Avenue. The outdoor live entertainment is proposed as a private membership pool deck for hotel guests and paying members only. As proposed, the ground floor venue will be open to the general public, and the use of the space is planned for a restaurant tenant, not managed by the hotel operator. Live entertainment for both venues will consist of amplified disc jockeys, live musicians/bands, and musical performances. There are no dedicated dance floors. The proposed live entertainment hours are from 10:00 a.m. to 1:30 a.m., seven days a week. Made to order food will be available from the hotel kitchen on the ground floor of the hotel. As currently designed, the restaurant tenant space has a 122 SF area dedicated as a kitchen.

Community Plan Analysis,

The Gaslamp neighborhood offers a blend of specialty retail, movie theatres, performance venues and hotels which draws local residents and tourists. The Gaslamp Quarter is San Diego's prime entertainment and celebration destination. Conventioneers, baseball fans, and weekend diners congregate here for its lively mix of restaurants, cafes, nightclubs, and bars. The entertainment uses are served well by the neighborhood's historic buildings, which provide a fine-grained, pedestrian-scaled environment and recall the district's colorful past. The Gaslamp Quarter is a National Register Historic District.

The Gaslamp Quarter will continue to serve both Downtown residents and employees of the region at large, as well as Downtown's significant numbers of tourists and conventioneers, through both the popular outdoor mall and nearby historic walking streets. Petco Park and the Convention Center provide another visitor stream, for southern Gaslamp in particular.

DCP Goals and Policies applicable to the Project include:

- 3.1-G-2: Provide for an overall balance of uses -employment, residential, cultural, government, and destination-as well as a full compendium of amenities and services
- 3.5-G-2: Foster a rich mix of uses in all neighborhoods, while allowing differences in emphasis on uses to distinguish between them
- 6.4-G-1: Maintain the Gaslamp Quarter as an entertainment and shopping district, with broad mix of uses, high activity, and wide-ranging appeal

Project Analysis

Indoor Live Entertainment

As is common in the Gaslamp Quarter, there are several similar establishments in the Project's vicinity that have been granted CUPs for indoor live entertainment including: Andaz at 600 F Street, Gaslamp Tavern at 868 Fifth Avenue, Thirst & Taste at 715 Fourth Avenue, Enzo at 836 Fifth Avenue,

American Comedy Club at 818 6th Avenue, and Barley Mash at 600 Fifth Avenue. Generally, the premises were conditioned to allow live entertainment from 10:00 a.m. to 2:00 a.m. The requested hours for indoor live entertainment, until 1:30 a.m., seven days a week, are consistent with the above-referenced CUPs and, with the recommended conditions of approval, will not adversely impact the surrounding neighborhood.

Outdoor Live Entertainment

Generally, Staff has not supported new requests for outdoor live entertainment for several reasons. First, the City has been discussing revising the City's Noise Ordinance to better evaluate and regulate noise, but this effort has stalled several times and there is currently no active effort. Second, enforcement of violations of the Noise Ordinance is not consistent, as the City's Code Enforcement personnel typically do not work late in the evenings when the entertainment occurs, and the Police Department does not have the capacity to respond to complaints when other priorities are occurring. Additionally, Downtown's rapidly growing residential population creates ever-changing circumstances within neighborhoods, and there are still several undeveloped lots within the Gaslamp Quarter Planned District and surrounding areas that have the potential for residential development. Furthermore, Citywide goals and policies aimed at incentivizing housing have afforded all Gaslamp premises with the potential to be converted or expanded with residential uses, and several development proposals to convert existing commercial buildings in Gaslamp to residential uses have already been submitted. Careful consideration must be made to ensure all existing and potential housing opportunities will provide current and future residents with a pleasant and livable sound environment consistent with the DCP Goal 13.4-G-1.

There have been six outdoor live entertainment venues approved through CUPs over the last 15 years, as listed in the table below.

CUP No.	Business Name	Address	Outdoor Live Entertainment Hours
2002-30A	Andaz	600 F St.	No later than 10:00 p.m. Sun.-Thurs. No later than 12:00 a.m. Fri.-Sat.
2005-47A	Omnia (Stingaree)	454 6 th Ave.	No later than 1:00 a.m. Thurs. & Sun. when Mon. is holiday No later than 1:30 a.m. Fri.-Sat.
2013-31	Silo	753 15 th St.	No later than 10:00 p.m. Sun.-Thurs. No later than 11:00 p.m. Fri.-Sat.
2017-09	Quartyard II	1301 Market	No later than 10:00 p.m. Sun.-Thurs. No later than 11:00 p.m. Fri.-Sat. & Sun. when Mon. is holiday
2017-13	Pendry Hotel Pool Deck	550 J St.	No later than 10:00 p.m. Sun.-Thurs. No later than 11:00 p.m. Fri.-Sat. & Sun. when Mon. is holiday
2018-10	5 th & J Restaurant	437 J St.	11:00 a.m. to 10:00 p.m. Sun-Thurs. 11:00 a.m. to 11:00 p.m. Fri.-Sat & Sun. when Mon. is holiday

The GQPDO requires an acoustical study for live entertainment venues proposed within the same building or immediately adjacent to residential uses. Although not immediately adjacent to

residential uses, there is a four-story residential building, Lofts at 777 6th; therefore, the Applicant provided an Acoustical Analysis Report by ABC Acoustics, Inc., dated September 14, 2020, included as Attachment 6. The acoustical analysis evaluated the potential noise impacts of the outdoor live entertainment to the surrounding neighborhood. The report did not include an analysis of the ground floor live entertainment; however, a condition of approval has been included requiring a second noise study for both venues prior to the commencement of live entertainment on the premises. The City's Noise Ordinance limits commercial zone decibel (dBA) levels to 65 dBA from 7:00 a.m. to 7:00 p.m. and 60 dBA from 7:00 p.m. to 10:00 p.m. The analysis concluded that the noise generated from the proposed use at the pool deck will meet the requirements of the City Noise Ordinance when the recommended noise mitigation measures are implemented. The noise mitigation measures include:

- A 60-inch tall parapet sound barrier;
- specific speaker, subwoofer, and sound equipment locations;
- speaker volume set no louder than 80 dBA;
- specific speaker springs and mounting equipment;
- sound absorptive features and furnishings; and,
- acoustical inspections during the construction phase.

The source of many noise complaints at existing outdoor live entertainment venues has been the addition of supplemental speakers or amplification equipment by bands or DJs. Therefore, Staff is recommending that no supplemental speakers or amplification equipment be allowed in the outdoor pool deck beyond the permanent sound system evaluated in the acoustical study. In addition, the San Diego Police Department reviewed the Project, whose recommended conditions are incorporated into the Draft Permit (Attachment 5).

Staff is recommending hours of outdoor live entertainment on the pool deck be limited to between the hours of 11:00 a.m. and 10:00 p.m. Sunday through Thursday and between the hours of 11:00 a.m. and 11:00 p.m. Friday and Saturday nights, as well as on Sunday when the following Monday is a recognized holiday. The hours are consistent with the recently approved Pendry Hotel and 5th& J Restaurant, which are comparable in land use and size to the proposed live entertainment venues. While Andaz and Omnia were granted later hours years ago, there have been noise complaints at both venues over the years, and the recommended hours for the outdoor live entertainment will ensure noise from the rooftop venue will not adversely affect the health, safety, and welfare of the residential development on the east side of Sixth Avenue (the Lofts at 777 6th Avenue), the surrounding hotel uses, and other uses in the Project's vicinity. It should also be noted that a CUP is currently in process to allow outdoor live entertainment at the Chinese Theater rooftop located at 701 5th Avenue ([PTS No. 656544](#)), immediately adjacent to the north of the premises. Based on the sound system controls as outlined in the acoustical study and its location within the Gaslamp Quarter, Staff limited hours of outdoor live entertainment as recommended and as conditioned on similar CUPs is reasonable at this location. In addition, the CUP also includes conditions that allow members of the public to report excess noise if it becomes a nuisance. The full Draft Permit is included as Attachment 5.

Staff has reviewed the proposed Project within the context of the neighborhood, considered potential impacts resulting from the proposed uses, and reviewed the Project for compliance with the GQPDO, applicable Land Development Code sections, and DCP goals and policies. The proposed

live entertainment use is permitted with the approval of a CUP and with the recommended conditions of approval the Project will meet the goals and policies of the DCP, contribute to the Gaslamp Quarter as Downtown's premier entertainment district, and will not adversely affect the applicable land use plan or be determinantal to the public health, safety or welfare.

Conclusion

The Project complies with the requirements of the GQPDO and all applicable sections of the Land Development Code and advances with the goals and policies of the DCP. Therefore, staff recommends the Hearing Officer adopts the Draft Findings (Attachment 4) and approves the Project, subject to the conditions in the Draft Permit (Attachment 5).

ALTERNATIVES

1. Approve Conditional Use Permit No. 2377256, with modifications.
2. Deny Conditional Use Permit No. 2377256, if the findings required to approve the Project cannot be affirmed.

Respectfully submitted,



Nicole Pare
Program Manager, Urban Division

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Project Data Sheet
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Acoustical Study dated September 14, 2020
7. Community Planning Group Recommendation
8. San Diego Police Department Recommendation
9. Ownership Disclosure Statement
10. Project Plans



Project Location Map
AC Hotel Live Entertainment CUP
PROJECT NO. 653653

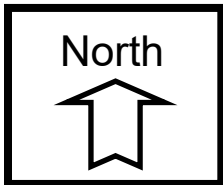
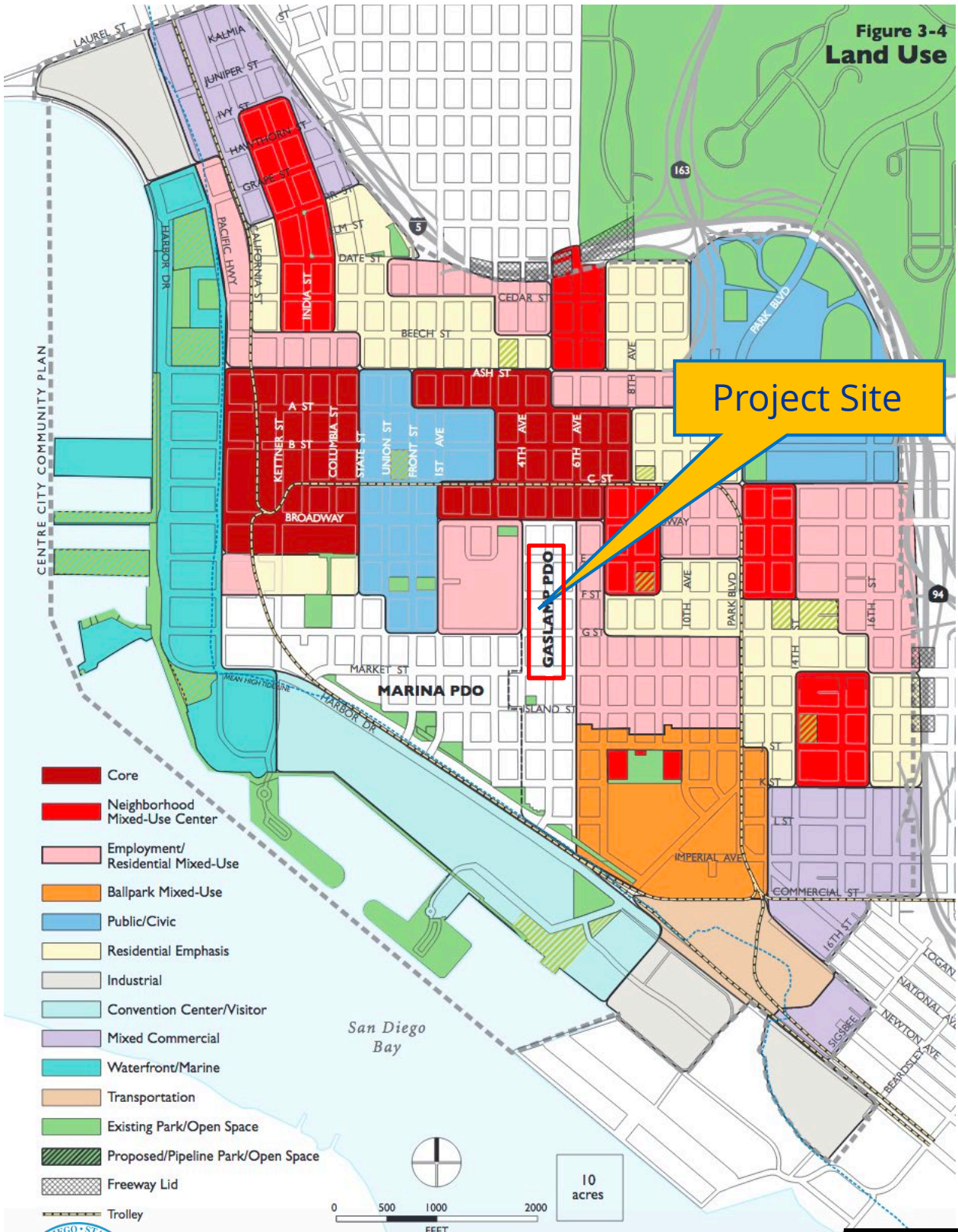


Figure 3-4
Land Use

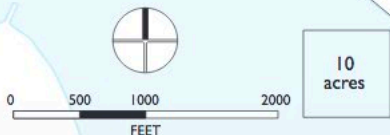


Project Site

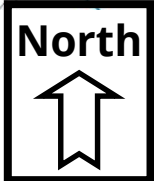
GASLANE PDO

MARINA PDO

- Core
- Neighborhood Mixed-Use Center
- Employment/Residential Mixed-Use
- Ballpark Mixed-Use
- Public/Civic
- Residential Emphasis
- Industrial
- Convention Center/Visitor
- Mixed Commercial
- Waterfront/Marine
- Transportation
- Existing Park/Open Space
- Proposed/Pipeline Park/Open Space
- Freeway Lid
- Trolley



Land Use Map
AC Hotel Live Entertainment CUP
PROJECT NO. 653653



PROJECT DATA SHEET		
PROJECT NAME:	AC Hotel Live Entertainment CUP	
PROJECT DESCRIPTION:	A Conditional Use Permit application to allow indoor live entertainment on the ground floor of the hotel within a 1,200 SF restaurant tenant space and outdoor live entertainment at the 5,000 SF rooftop outdoor pool deck and bar area, at the AC Hotel development located at 743 Fifth Avenue within the Gaslamp neighborhood of the Downtown Community Plan area.	
COMMUNITY PLAN AREA:	Downtown	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Gaslamp Quarter Planned District	
ZONING INFORMATION:		
ZONE: GQPD-GASLAMP-QTR HEIGHT LIMIT: 75 feet LOT SIZE: 11,500 SF FLOOR AREA RATIO: None PARKING: 44 valet parking spaces		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Gaslamp Quarter Planned District	Commercial Services; Hotels, Restaurants, and Nightclubs
SOUTH:	GQPD-GASLAMP-QTR	Commercial Services; Movie Theater, Restaurants, and Nightclubs
EAST:	GQPD-GASLAMP-QTR	Mixed-Use Residential
WEST:	GQPD-GASLAMP-QTR	Commercial Services; Restaurants and Nightclubs
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On May 20, 2020, the Downtown Community Planning Council voted 22-0 to recommend approval of the project, subject to a condition for limiting outdoor live entertainment on rooftop pool deck and bar area to no later than 11:00 p.m. Sunday through Thursday, and no later than 12:00 a.m. Friday and Saturday.	

HEARING OFFICER RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 2377256
AC HOTEL CUP - PROJECT NO. 653653

WHEREAS, BLG San Diego, LLC, Owner, Briad Development, LLC, Permittee, filed an application with the City of San Diego for a permit to allow live entertainment (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 2377256), on portions of a 0.26-acre site;

WHEREAS, the project site is located at 743 Fifth Avenue in the Gaslamp Quarter Planned District of the Downtown Community Plan;

WHEREAS, the project site is legally described as the project site is legally described as: Lot C, the North half of Lot D, and Lot J, excepting the south 10 feet of said Lot J, in Block 70 of Horton's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof, on file in the Office of the County Recorder of San Diego County;

WHEREAS, on December 16, 2020, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2377256 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2377256:

A. [CONDITIONAL USE PERMIT San Diego Municipal Code [SDMC section 126.0305]:

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed use, live entertainment at a 5,214 square-foot (SF) outdoor pool deck and in a 1,200 SF ground floor tenant space at AC Hotel, located at 743 Fifth Avenue in the Gaslamp Quarter Planned District, Transit Area Overlay Zone, Transit Priority Area Overlay Zone, Airport Influence Area (San Diego International Airport - Review

Area 2) Overlay Zone, and the Federal Aviation Administration (FAA) Noticing Area within the Downtown Community Plan (DCP) area and within the Gaslamp neighborhood of the Downtown Community Plan (DCP) area, will not adversely affect the applicable land use plan as live entertainment is allowed in the Gaslamp Quarter Planned District with the approval of a CUP. The live entertainment is proposed at a seven-story hotel development currently under construction. The hotel development was entitled pursuant to Gaslamp Quarter Development Permit/Planned Development Permit/Neighborhood Development Permit/Neighborhood Use Permit (GQDP/PDP/NDP/NUP) No. 2013-35A, and complies with the Transit Area Overlay Zone, Transit Priority Area Overlay Zone, Airport Influence Area Overlay Zone and the FAA Noticing Area and was reviewed and complies with the Gaslamp Quarter Planned District Ordinance (GQPDO) (San Diego Municipal Code (SDMC) Chapter 15, Article 7, divisions 1-4).

The GQPDO Separately Regulated Use Regulations (SDMC 157.0305(a)(3)), state all entertainment establishments must obtain and comply with all applicable permits, including a City of San Diego Police Permit; sound and amplification equipment shall be monitored during business hours to ensure that audible noise remains at acceptable levels in accordance with Chapter 5, Article 9.5 of the San Diego Municipal Code; noise levels shall be in conformance with the noise abatement and control regulations set forth in Chapter 5, Article 9.5 of the San Diego Municipal Code ("Noise Ordinance"); and, if the establishment where live music entertainment or dancing is proposed to occur is within the same building as, or is immediately adjacent to, residential uses, an acoustical study shall be prepared by a qualified acoustical engineer to evaluate potential impacts to the residential occupants. The permit conditions require the live entertainment establishments to obtain a Police Entertainment Permit if required by the San Diego Police Department (SDPD), require sound and amplification equipment to be monitored by the business to ensure that audible noise remains at acceptable levels in accordance with the Noise Ordinance, and a qualified acoustical engineer prepared a noise study evaluating potential impacts to residential occupants. In addition, permit conditions require a second noise study to be conducted prior to live entertainment commencing on the premises.

Lastly, the proposed live entertainment is consistent with the DCP goals and policies to provide an overall balance of uses (3.1-G-2), foster a rich mix of uses in the Gaslamp neighborhood (3.5-G-2), and maintain the Gaslamp Quarter as the entertainment and shopping district, with a broad mix of uses, high activity, and wide-ranging appeal (6.4-G-1). Therefore, the proposed use will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed use, live entertainment at the AC Hotel, will not be detrimental to the public health, safety and welfare of the community when operated with the recommended conditions of approval. The live entertainment will be an ancillary

component of the overall project, which is a seven-story hotel development with 147 hotel guest rooms, a 1,200 square foot ground floor restaurant tenant space, and 5,214 square-foot outdoor rooftop pool deck and bar area. Live entertainment is proposed within the ground floor restaurant tenant space and at the outdoor rooftop pool deck and bar area. Pursuant to the GQPDO, the applicant submitted an acoustical study by a licensed acoustical engineer. The Acoustical Analysis Report by ABC Acoustics, Inc., dated September 14, 2020 concluded that with the recommended noise mitigation measures such as a 60-inch tall parapet sound barrier, specific speaker and sound equipment, equipment settings, mounting specifications, and construction phase noise inspections, the proposed rooftop live entertainment will be within the limits of the Noise Ordinance.

Additionally, the permit is conditioned to allow outdoor live entertainment from 11:00 a.m. and 10:00 p.m. Sunday through Thursday and from 11:00 a.m. and 11:00 p.m. Friday and Saturday and on Sunday when the following Monday is an officially recognized City of San Diego holiday. Indoor live entertainment on the ground floor will be permitted from 11:00 a.m. to 1:30 a.m., seven days a week which is consistent with other indoor live entertainment venues in the vicinity of the project and the permit requires all doors and windows shall remain closed whenever live entertainment is occurring on the ground floor.

The San Diego Police Department reviewed the proposed live entertainment and recommended conditions aimed to address potential adverse impacts of the use on the health, safety, and welfare of the neighborhood which are included in the permit. These conditions include limiting live entertainment to the venues permanent sound system and prohibiting supplemental speakers or amplification equipment, limiting outdoor live entertainment to the hours to no later than 10:00 p.m. Sunday through Thursday and no later than 11:00 p.m. Friday and Saturday, speaker settings and speaker placement as established by the acoustical analysis, and requiring a second acoustical study prior to commencement of live entertainment on the premises.

Furthermore, standard conditions requiring security guards, to limit loitering, and public nuisances in the right of way have been included in the permit. When operated in compliance with the Acoustical Analysis Report by ABC Acoustic Inc. dated September 14, 2020, SDPD's recommended conditions, and the standard conditions of approval for live entertainment venues, all of which have been included in the permit, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed live entertainment at a 5,214 square-foot (SF) outdoor pool deck and in a 1,200 SF ground floor tenant space at AC Hotel, located at 743 Fifth Avenue, complies with all applicable regulations, including those of the Gaslamp Quarter Planned District, and no deviations are proposed. Live entertainment is permitted in

the Gaslamp Quarter Planned District with the approval of a CUP, subject to the Gaslamp Quarter Planned District Ordinance Separately Regulated Use Regulations SDMC Section 157.0305(a)(3). The applicable Separately Regulated Use Regulations for live entertainment include: all entertainment establishments, as defined by Section 33.1502 must obtain and comply with all applicable permits, including a City of San Diego Police permit; sound and amplification equipment shall be monitored during business hours to ensure that audible noise remains at acceptable levels in accordance with Chapter 5, Article 9.5 of the San Diego Municipal Code; noise levels shall be in conformance with the noise abatement and control regulations set forth in Chapter 5, Article 9.5 of the San Diego Municipal Code; and, the establishment where live music entertainment or dancing is proposed to occur is within the same building as, or is immediately adjacent to, residential uses, an acoustical study shall be prepared by a qualified acoustical engineer to evaluate potential impacts to the residential occupants. The proposed development, live entertainment uses at the AC Hotel, complies with the above regulations and an acoustical study has been prepared and recommended mitigation measures are included in the permit. Therefore, the Project will comply with the applicable regulations of the Land Development Code when operated in compliance with the permit conditions and no deviations are proposed.

d. The proposed use is appropriate at the proposed location.

The proposed use, live entertainment at a 5,214 square-foot (SF) outdoor pool deck and in a 1,200 SF ground floor tenant space at AC Hotel, located at 743 Fifth Avenue is in the Gaslamp Quarter Planned District and within the Gaslamp neighborhood of the Downtown Community Plan area. The seven-story hotel development was planned with active commercial uses such as the proposed ground level establishment and rooftop pool deck venue. Further, the Gaslamp/Horton neighborhood is Downtown's premier entertainment district according to the DCP, a broad mix of high activity uses such as live entertainment, are allowed in the Gaslamp Quarter Planned District, and there are no residential uses immediately adjacent to the premises. Therefore, the proposed use is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2377256 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. No. 2377256, a copy of which is attached hereto and made a part hereof.

Nicole Pare
Development Project Manager
Development Services

Adopted on: December 16, 2020

IO#: 24008477

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008477

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2377256
AC HOTEL - PROJECT NO. 653653
HEARING OFFICER

This Conditional Use Permit No. 2377256 is granted by the Hearing Officer of the City of San Diego to BLG San Diego, LLC, Owner, Briad Development, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 0.26-acre site is located at 743 Fifth Avenue in the Gaslamp Quarter Planned District and within the Gaslamp neighborhood of the Downtown Community Plan area. The project site is legally described as: Lot C, the North half of Lot D, and Lot J, excepting the south 10 feet of said Lot J, in Block 70 of Horton's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof, on file in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow live entertainment two restaurant venues: in an interior tenant restaurant space on the ground floor of described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 16, 2020, on file in the Development Services Department.

The project shall include:

- a. Outdoor amplified and non-amplified live entertainment at the 5,214 SF rooftop pool deck, accessed via the hotel lobby elevators only, and indoor live entertainment within a 1,200 square foot restaurant tenant space on the ground floor of a seven-story hotel with 147 hotel guest rooms, 44 off-street parking spaces
- b. Off-street parking;
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 12, 2023.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

10. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of the required Public Improvements per approved Grading and Right-of-Way Permit No. 2235869, DWG 39931-D, PTS#533254, including replacement of sidewalk, curb and gutter, and new curb outlet, adjacent to the site on 5th and 6th Avenue.

PLANNING/DESIGN REQUIREMENTS:

13. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

14. Indoor live entertainment shall be permitted on level one (ground floor) within a 1,200 square-foot tenant space for a restaurant tenant, subject to the following conditions:

- a. Indoor live entertainment shall be limited to between the hours of 11:00 a.m. and 1:30 a.m. seven days per week. All doors and windows shall remain closed whenever live entertainment is occurring.
- b. Live entertainment at the indoor venue shall consist of disc jockeys and acoustic and amplified live musicians. There shall be no dedicated dance floors. Any additional live entertainment shall be reviewed and approved by the City of San Diego Development Services Department.
- c. Made to order food shall be available during all times of live entertainment.

15. Outdoor live entertainment shall be permitted on the rooftop outdoor pool deck for the hotel and subject to the following conditions:

- a. Outdoor live entertainment shall be limited to between the hours of 11:00 a.m. and 10:00 p.m. Sunday through Thursday and between the hours of 11:00 a.m. and 11:00 p.m. Friday and Saturday and on Sunday when the following Monday is an officially recognized City of San Diego holiday.
- b. Made to order food shall be available during all times of live entertainment.
- c. The sound system on the rooftop outdoor deck shall include noise limiting equipment and shall be operated at all times in conformance with the recommended settings and speaker placement outlined in the acoustical study by ABC Acoustics, Inc. dated June 1, 2018. The Permittee shall be in compliance with the City of San Diego Noise Ordinance at all times.
- d. No supplemental speakers or amplification equipment shall be used at any time. Any modifications to the sound system shall be submitted to the City of San Diego Development Services Department for approval prior to installation and an acoustical study will be required at that time to analyze the noise impacts on surrounding residences.
- e. Ambient recorded music shall be permitted in the rooftop outdoor deck anytime that the establishment is open for business. The speakers shall be small, equally distributed, and pointed inward to not become a nuisance to any adjacent uses.

16. The Permittee shall be responsible for implementing the noise mitigation measures to comply with City of San Diego Noise Abatement requirements as recommended in the acoustical study by ABC Acoustics, Inc. dated September 14, 2020 included as "Exhibit A". Prior to the commencement of live entertainment, another noise confirmation test by a certified acoustical engineer shall be conducted and verified by the Development Services Department to ensure that the sound system and noise levels are adequate and are consistent with the acoustical study by ABC Acoustics, Inc. dated September 14, 2020. The Permittee shall be in compliance with the City of San Diego Noise Ordinance at all times.

17. All live entertainment must be conducted in compliance with all applicable SDMC permits and regulations. If required, San Diego Police Department regulatory permits shall be obtained.

18. Sound and amplification equipment shall be monitored during and after business hours to ensure that audible noise remains at acceptable levels. Noise levels shall be in conformance with the Noise Abatement Standards of the SDMC and the City of San Diego Noise Ordinance. In the event that a noise or vibration complaint is filed, the appropriate decision maker shall evaluate the complaints and if it is determined that the business is potentially creating a nuisance to the neighborhood, a duly noticed hearing shall be scheduled. After receiving public testimony, the City of San Diego Hearing Officer may revoke or modify the permit.

19. During the hours of live entertainment, the Permittee shall employ one security officer for every fifty (50) patrons in the premise. The security officers shall wear clothing that identified them as security officers and shall be on duty from the time live entertainment and dancing begins until one-half hour after the live entertainment ceases. Their primary duty shall be to patrol the interior and the

exterior of the premises in order to alleviate police problems, excessive noise, abusive behavior, disturbances, and any other violations of law that occur on or about the licensed premises.

20. Any queuing of patrons outside of the establishment shall be maintained in an orderly manner and shall be so situated as to allow a clear pedestrian path of at least eight (8) feet on all sidewalk areas. Any queuing may not obstruct access to any other business.

21. Patrons awaiting entrance as well as those leaving the establishment shall be monitored so as to not create a nuisance by obstructing the sidewalk in the area of the business or adjacent business or by being publicly inebriated, noisy, or rowdy.

22. No patron shall be permitted to remove a partially consumed bottle or drink of any type of alcoholic beverage from the premises.

23. All servers, security and employees shall be trained and certified in responsible alcoholic beverage service policies and practices. This is to include: strong I.D checking procedures, not serving intoxicated patrons and responsible beverage pricing.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 16, 2020, and [Approved Resolution Number].

ATTACHMENT 5

Conditional Use Permit No. 2377256
Date of Approval: 12/16/2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nicole Pare
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[NAME OF COMPANY]
Owner/Permittee

By _____
NAME
TITLE

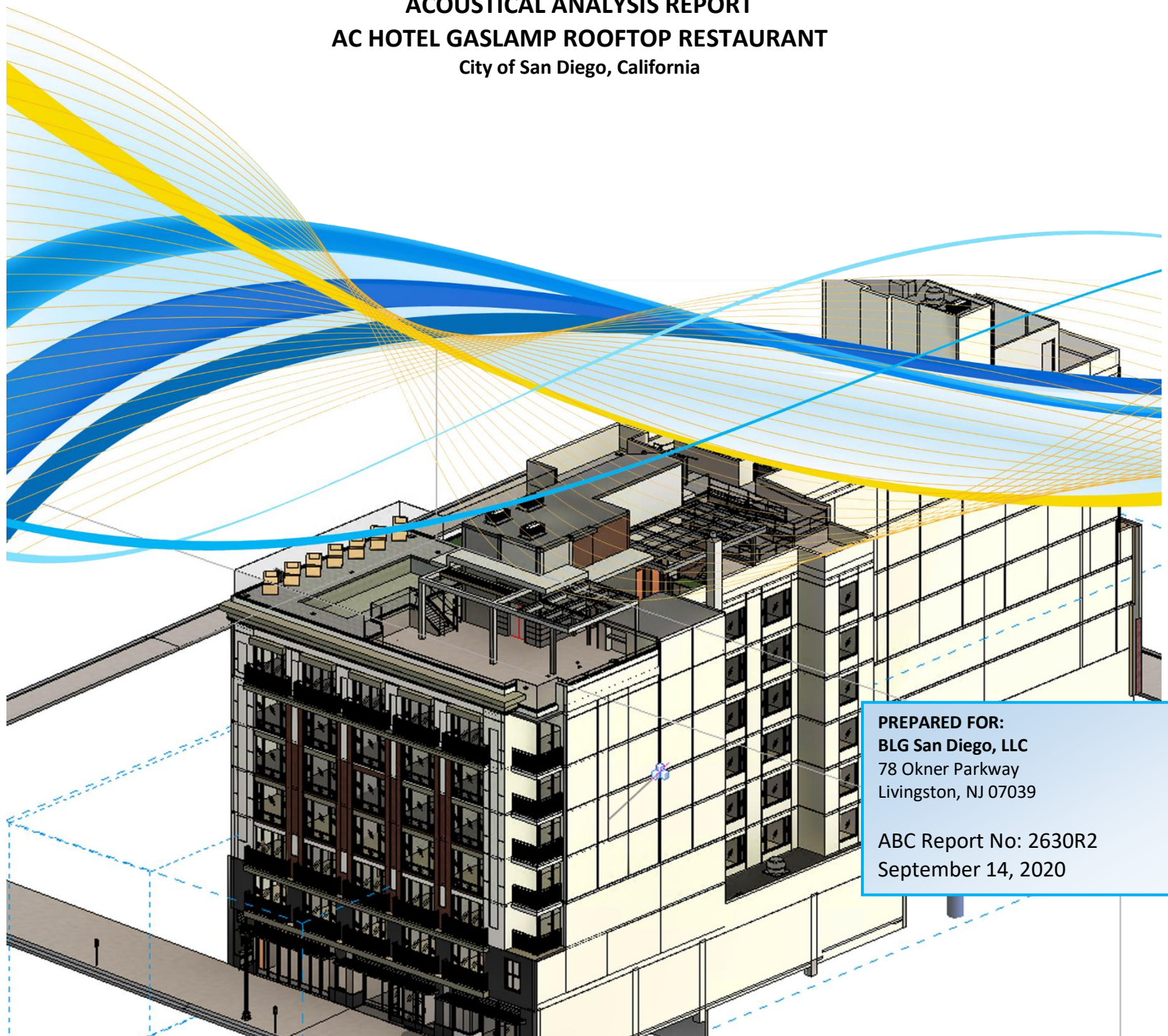
[NAME OF COMPANY]
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



ACOUSTICAL ANALYSIS REPORT
AC HOTEL GASLAMP ROOFTOP RESTAURANT
City of San Diego, California



PREPARED FOR:
BLG San Diego, LLC
78 Okner Parkway
Livingston, NJ 07039

ABC Report No: 2630R2
September 14, 2020

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AC Hotel Gaslamp Rooftop Restaurant, San Diego- Acoustics

1.0 BACKGROUND:

This report addresses acoustical environment of the proposed AC Hotel Gaslamp Rooftop Restaurant/Lounge/Pool (Rooftop Restaurant) project as part of the AC Hotel by Marriott in Downtown San Diego. The project site is located within the Gaslamp District of downtown San Diego. AC Hotel Gaslamp Rooftop Restaurant is applying for a Conditional Use Permit (CUP) to allow live entertainment at the rooftop restaurant on the 7th floor of the AC hotel building. The project is located at 743 5th Avenue, San Diego, CA. Upon approval, AC Hotel Gaslamp Rooftop Restaurant would be one of many entertainment establishments within the Gaslamp District.

This Acoustical Analysis Report is intended to facilitate the CUP process. It includes information as to ambient sound levels at the project site, potential noise impacts from the project to sensitive land uses in the area, and acoustical treatment recommendations to reduce such impacts to acceptable levels. The site is in the boundary of “G” Street to the south, “F” Street to the north, 5th Avenue to the west and 6th Avenue to the east (Figure 1).

As shown in Figure 1, land uses in the immediate vicinity of project site are mixed-use residential and commercial. This report describes the existing acoustical setting of the project site and includes recommendations to minimize potentially significant noise impacts on noise-sensitive uses in the area. It makes use of ambient sound surveys conducted at the project site by ABC Acoustics, Inc., audio equipment data provided by the Sound Investment Audio, project’s architectural plans, and computer modeling programs to generate noise contours and assess shielding effect of noise barriers.

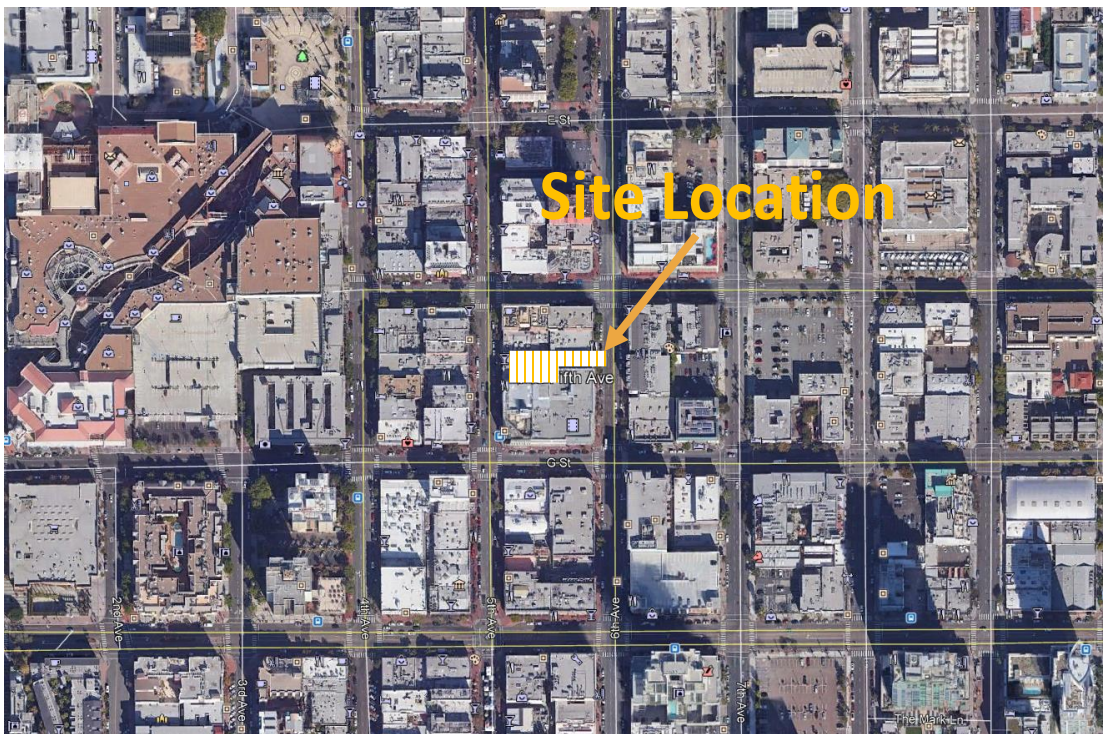


FIGURE 1: AC HOTEL GASLAMP ROOFTOP RESTAURANT - VICINITY MAP

2.0 SOUND, NOISE, AND NOISE ABATEMENT:

Sound is created upon alterations in pressure, normally of air. It travels in waves. Its pressure level, energy level, intensity level... could be measured. Sound level refers to Sound Pressure Level (SPL). Units of sound are expressed as **Decibels (dB)** and the "A"-weighted sound filter is used in this report, as required by the City of San Diego, hence **dBA**.

Noise is defined as unwanted or excessive sound. It is broadly recognized as a form of environmental degradation. Noise and sound are used interchangeably in this report.

Noise abatement refers to the technology of controlling sound impacts to meet acceptable guidelines and regulations.

Average or equivalent sound level (Leq) is the average sound measured during a specific period. **dB, dBA, and decibels** in this report refer to the average sound level or dBA Leq, unless otherwise noted.

Hourly average sound level (Leqh) is the average level of sound measured over a one-hour period.

Maximum sound level (Lmax) is the loudest (instantaneous) sound recorded during a survey period.

Minimum sound level (Lmin) is the sound level during quietest moment of a survey period.

Ambient or Background Noise includes all noise from both near and far but excludes specific sources of interest to this noise study.

Noise Barrier or Screen is any material or system that blocks or reduces sound transmission as it passes from the source to receivers.

Noise Limiter is an electronic device that automatically limits sound level at a preset level.

Sound Transmission Class (STC) is a measure for rating the overall sound blocking performance of a sound wall or barrier system. Higher STCs mean better sound blocking performance.

AC Hotel Gaslamp Rooftop Restaurant, San Diego- Acoustics

3.0 APPLICABLE STANDARDS:

The City of San Diego’s Noise Ordinance, in Section 59.5.0401 of Article 9.5 of the City’s Municipal Codes, includes hourly average sound level (Leqh) limits for various land zones. These limits are included in Table 1.

The project property is zoned mixed-use. The properties in the immediate vicinity are commercial/multiple family residential/mixed-use. As presented in Table 1, the applicable one-hour sound limit for commercial zones is 65 decibels during daytime hours and 60 dB during evening and nighttime hours. Similarly, the applicable one-hour sound limit for mixed-use zones is 60 decibels during daytime hours and 55 dB during evening and 50 dB during nighttime hours. The project site is in the Gaslamp District of the City of San Diego (Figure 2). The applicable sound limit for new projects within the district depend on general sound environment of the specific project. In general, sound impacts at sensitive uses in the area shall not exceed an hourly average of 60 decibels (dBA Leqh). If ambient sound levels at a site exceed 60 decibels, then project-related sound impacts shall not exceed the ambient levels.

It is our understanding that everyday operations at AC Hotel Gaslamp Rooftop Restaurant would be that of ambient music, live performance, DJ and dance music. This report is intended to recommend sound abatement measures such that, during peak operations, the hourly noise levels at existing properties in the area do not exceed 60 dBA Leqh.

TABLE 1		
CITY OF SAN DIEGO NOISE ORDINANCES		
ONE-HOUR AVERAGE SOUND LIMITS		
No.	Zone	Allowable Limit One-Hour Average Sound Level (Decibels)
1.	Residential: R-1	7 a.m. to 7 p.m. 50 7 p.m. to 10 p.m. 45 10 p.m. to 7 a.m. 40
2.	Residential: R-2	7 a.m. to 7 p.m. 55 7 p.m. to 10 p.m. 50 10 p.m. to 7 a.m. 45
3.	Residential: R-3, R-4 and All other Residential	7 a.m. to 7 p.m. 60 7 p.m. to 10 p.m. 55 10 p.m. to 7 a.m. 50
4.	All Commercial	7 a.m. to 7 p.m. 65 7 p.m. to 10 p.m. 60 10 p.m. to 7 a.m. 60
5.	Manufacturing, all other Industrial, including Agricultural and Extractive Industry	Anytime 75

• Source: City of San Diego Municipal Codes, Article 9.5, Section 59.5.0401

AC Hotel Gaslamp Rooftop Restaurant, San Diego- Acoustics

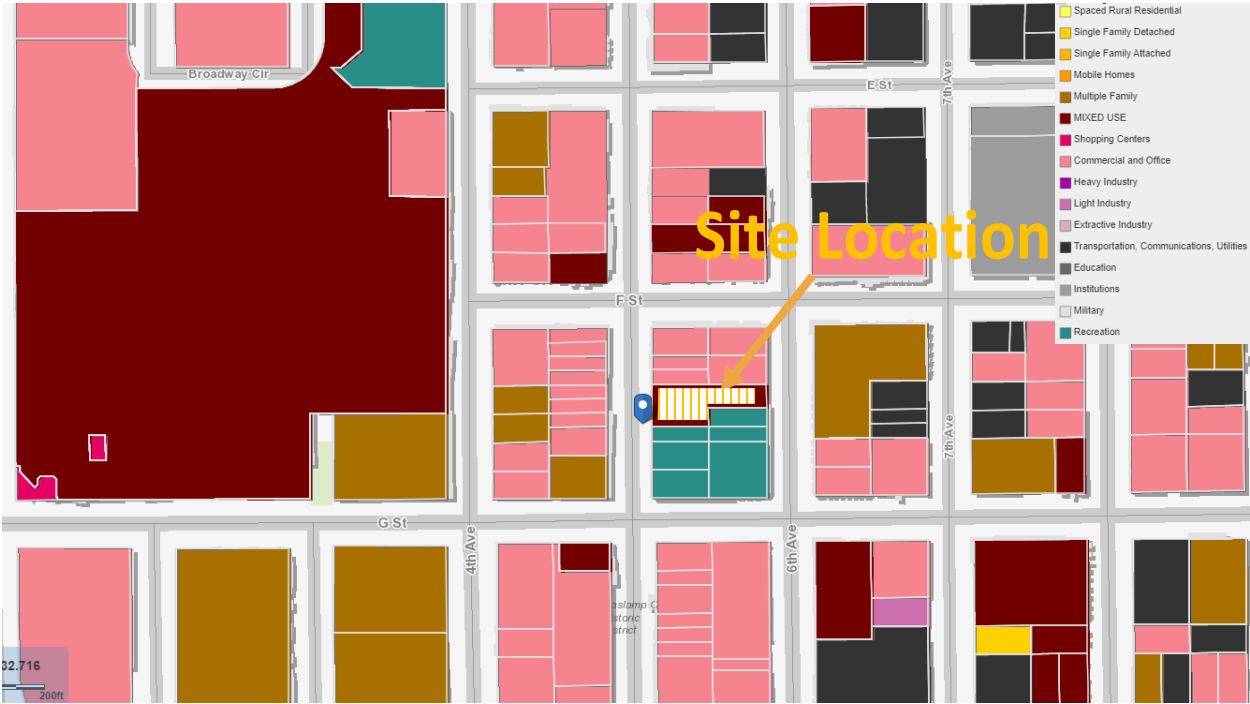


FIGURE 2: AC HOTEL GASLAMP ROOFTOP RESTAURANT - ZONING MAP

AC Hotel Gaslamp Rooftop Restaurant, San Diego- Acoustics

4.0 PROJECT SETTING:

The AC Marriott Gaslamp Hotel Project in San Diego, CA consists of a 7-story building, with 147 guestrooms, rooftop restaurant/pool, lobby, public spaces, dining/buffet area, Love Story Ground Floor Lounge, fitness room, and other hotel amenities. Indoor live entertainment is also proposed at the Love Story ground floor lounge, but this study was focused on the outdoor rooftop entertainment. The Hotel is currently under construction and anticipated to open in Summer 2021. The hotel is located at 743 5th Avenue, San Diego (Figure 3). The proposed AC Hotel Rooftop Restaurant will have a small pool on the rooftop with two service area and open seating with ergonomically placed planters/landscaping, lounge chairs, upscale seating, and fireplace across the space. The rooftop restaurant will be open to hotel guests and public with membership and will operate from 9 am to 1:30 am daily. Entertainment at the rooftop restaurant will consist of combination of ambient music, live performance, DJ music, and some bands for special events/corporate functions and happy hours. There are no adjacent residences to the project boundary so, no sound study was required for indoor entertainment. A site plan and conceptual design for the rooftop restaurant are presented in Figure 3 and Figure 4.

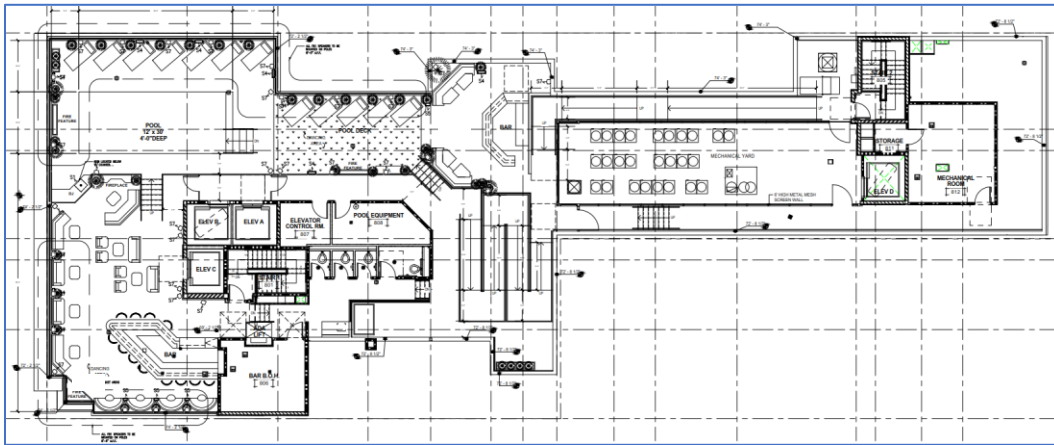


FIGURE 3: AC HOTEL GASLAMP ROOFTOP RESTAURANT - SITE PLAN



FIGURE 4: AC HOTEL GASLAMP ROOFTOP RESTAURANT - CONCEPTUAL DESIGN

AC Hotel Gaslamp Rooftop Restaurant, San Diego- Acoustics

5.0 EXISTING NOISE LEVELS:

Existing noise levels impacting the project site and neighboring land uses are primarily traffic related. Noise levels at the project site were measured during weekday hour. Results of surveys are presented in Table 2. As presented in Table 2, existing noise levels at the project site range between 58 and 63 dBA Leq which is lower than normal since businesses are currently closed due to Covid-19. Prior to Covid-19, ambient noise levels along 5th avenue ranged between 58 and 67 dBA Leq.

TABLE 2						
RESULTS OF SOUND MEASUREMENTS						
AC HOTEL GASLAMP ROOFTOP BAR, SAN DIEGO						
No	Duration	Location	Average Sound Levels (Leq)			
			Day		Night	
			Existing	Pre COVID	Existing	Pre COVID
1	30 Min	Along 5 th Avenue	62	64	58	68*
2	30 Min	Along 6 th Avenue	62	63	58	66*

Notes:

- Surveys were conducted on Monday May 4, 2020.
- Daytime surveys were conducted between 2 and 4 pm.
- Climate condition: typical clear/calm San Diego day.
- Sound Monitoring Equipment: Brüel & Kjaer (B&K) Analyzer Type 2250.

* Data is for the weekend nights

Traffic-related noise levels at the project site were also calculated using the SoundPlan Computer Model and traffic data provided by SANDAG Series 13 traffic model. Results of modeling are presented in Attachment "A" and Figure 5. As presented in Figure 5, existing traffic-related noise levels at the project boundary range between 57 and 64 dBA CNEL which is in agreement with results of on-site noise surveys (Figure 5).

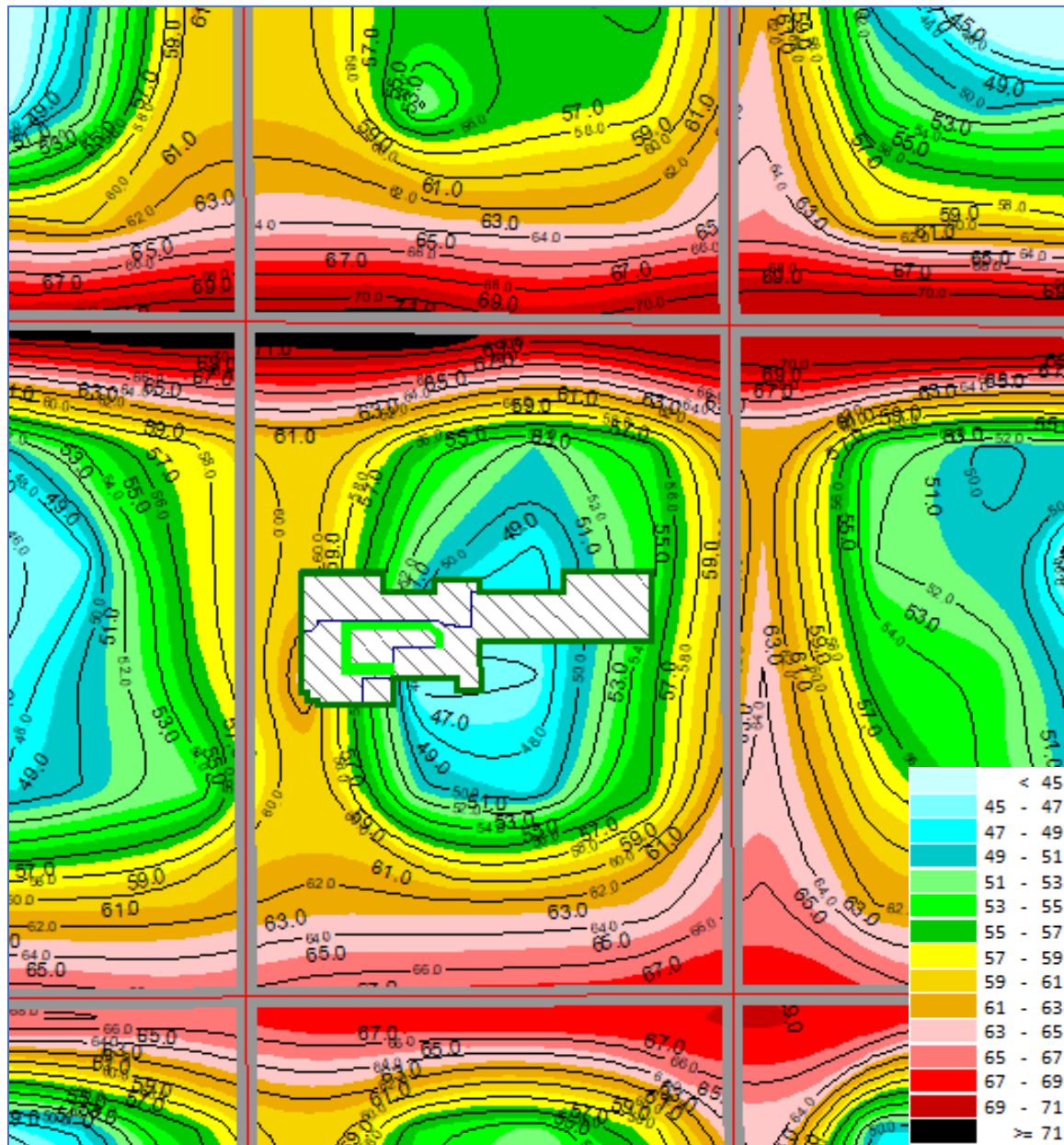


FIGURE 5: AMBIENT NOISE CONTOURS AT THE PROJECT SITE

6.0 PROJECT-RELATED NOISE IMPACTS & ABATEMENT MEASURES:

Operational sounds at AC Hotel Gaslamp Rooftop Restaurant would be highest during nighttime hours, especially weekend nighttime. During peak nighttime operations, sound from the roof deck, if not contained, could be potentially significant at residential and hotel uses in the immediate vicinity. The project's design includes noise abatement features such as parapets, mechanical bay screens, canopies (aka noise shield) and planters (Figure 6) which will help block and absorb sound. In addition, this report recommends a sound limit on speaker volume to minimize noise impacts to sensitive land uses in the vicinity. If noise abatement measures in this report are incorporated, sound levels are anticipated to be contained within the rooftop restaurant.

6.1 Noise Abatement Measures:

The following noise treatment measures are intended to minimize project-related noise impacts at sensitive land uses in the immediate vicinity such that they do not exceed 60 dBA Leqh.

1. The parapet sound wall/barrier shall be constructed of min 60"-high concrete, stucco, Plexiglas, or a combination of these. The sound wall shall be solid and continuous with no openings or gaps within its entirety.
2. The speakers at the roof deck shall be Model F81, F101 and BR118 manufactured by Funktion-One, KV210 subwoofer manufactured by K-array or comparable. Top of speakers shall be at 54 inches above ground or less. Speaker specification is presents in attachment "B".
3. Speaker volume shall not exceed 80 dBA Leqh at 4 feet in front of each speaker.
4. Speakers shall be installed on appropriate springs or otherwise isolated from the structure. Speaker mounting shall be approved by ABC Acoustics.
5. Noise control canopies shall cover the areas shown in Figure 6 and have a Sound Transmission Class (STC) rating of 15 or more.
6. Sound absorptive features such as (leafy or bushy) landscaping, absorptive furnishing or decorative features shall be incorporated to absorb sound and limit echo.
7. Acoustical inspections shall be conducted during construction phase of AC Hotel Gaslamp Rooftop Restaurant by a qualified acoustical engineer.

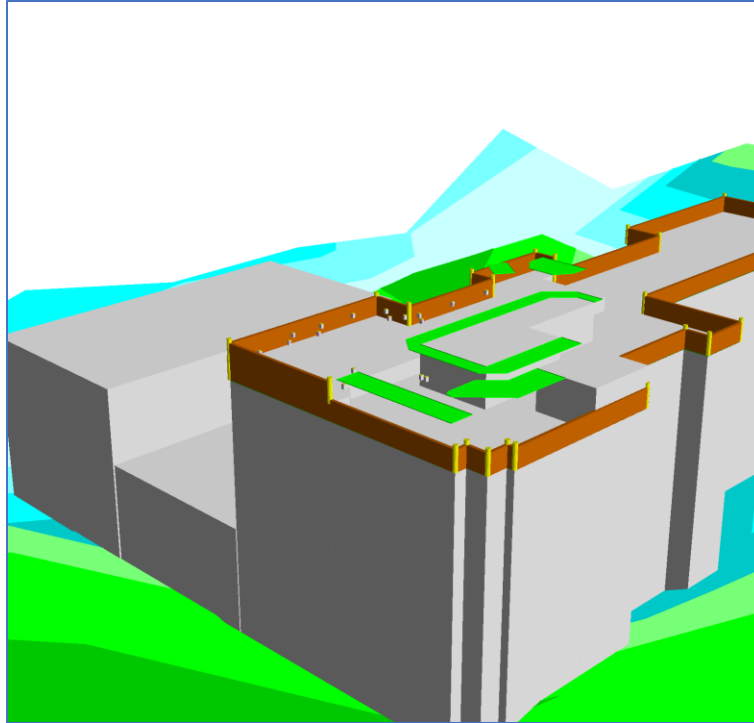


FIGURE 6: AC HOTEL GASLAMP ROOFTOP RESTAURANT 3-D RENDERING

6.2 Attenuated Noise Contours:

The attenuated noise contour maps for peak operations at AC Hotel Gaslamp Rooftop Restaurant were generated using the architectural plans (Figure 3) and the noise abatement recommendations listed in Section 6.1 above. Figure 7 shows the attenuated noise contours at 45 feet above ground (5th floor level of noise-sensitive land uses).

As shown in Figure 7, project-related noise levels at 45' above ground are not expected to exceed 60 dBA Leq_h at neighboring property lines which includes The Lofts at 777 6th across from the project site and William Penn hotel at the corner of 5th Avenue and "F" Street.

Figure 8 shows the attenuated noise contours at 5 feet above ground. As presented in Figure 8, project-related noise levels would be lower at ground level due to distance and line-of-sight protection. Data utilized and results of noise modeling are included in Attachment "A". Audio equipment specifications are presented in Attachment "B".

The above noise abatement recommendations, if incorporated properly, would minimize project-related noise impacts to below a level of significance. It shall be noted that the audio design for the project a Networked Signal Processor (Attachment "B") which, if needed, can control sound levels at various frequencies (i.e., reduce bass volume).

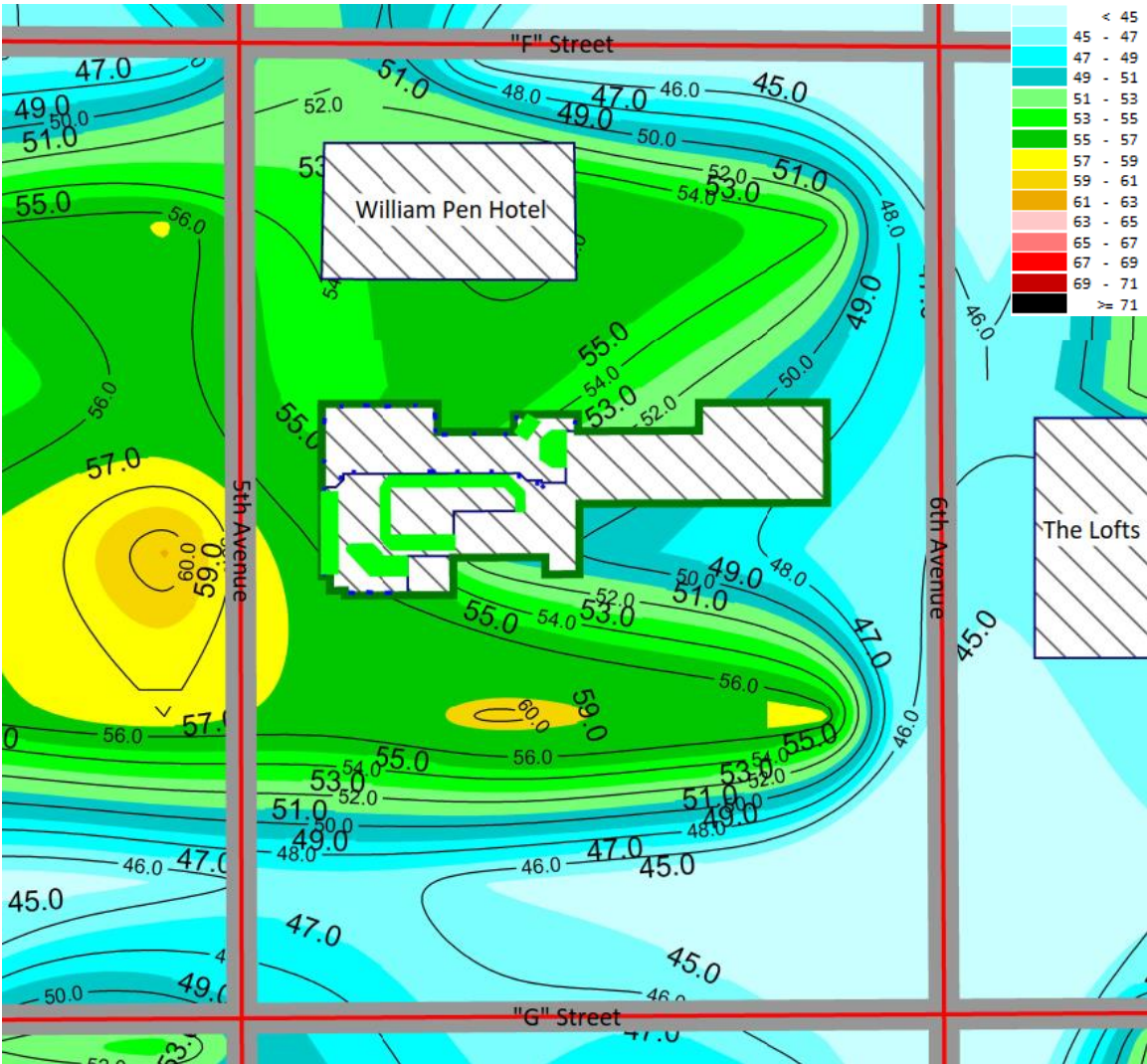


FIGURE 7: AC HOTEL ROOFTOP RESTAURANT-ATTENUATED NOISE CONTOURS @45' ABOVE GROUND

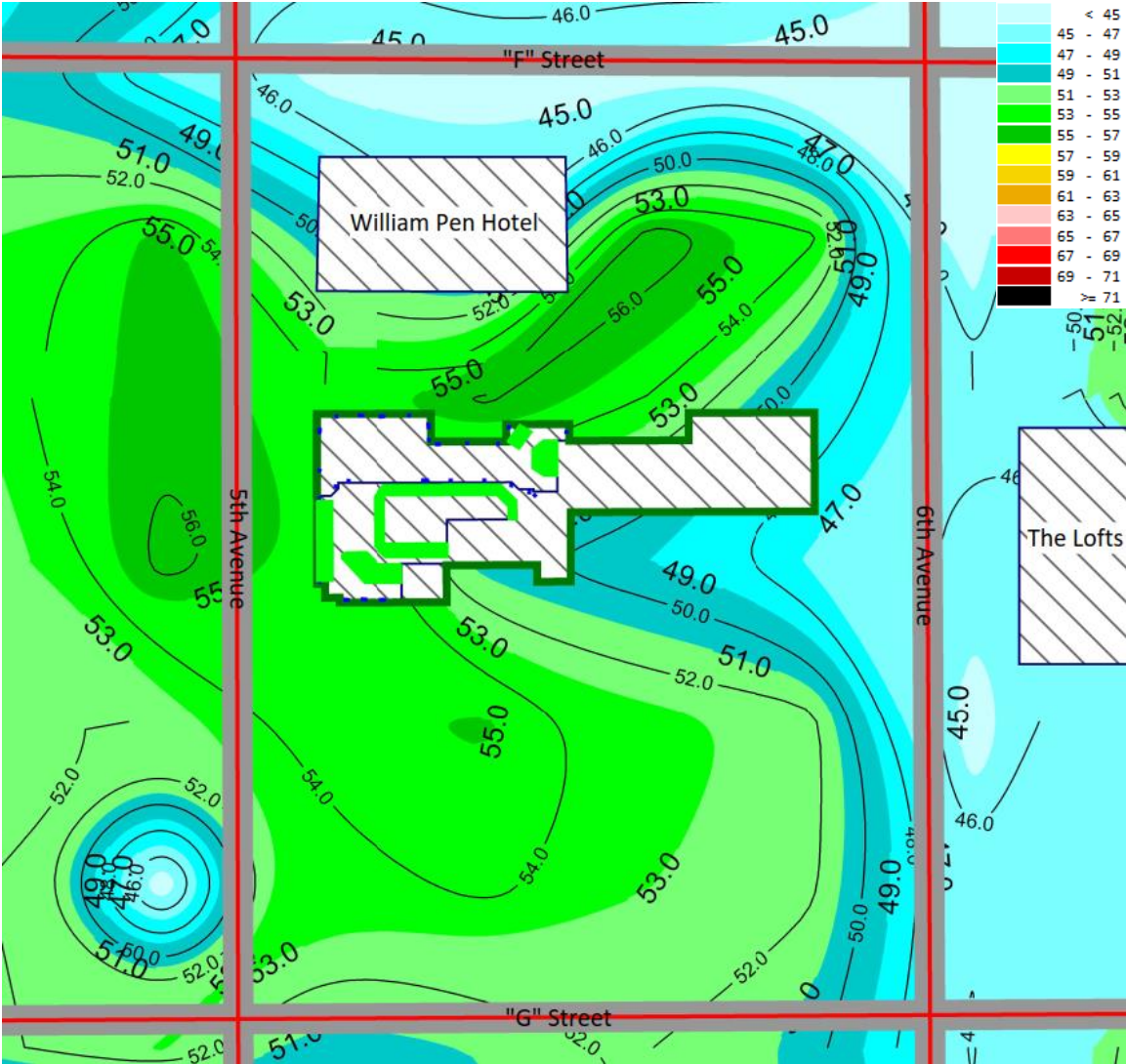


FIGURE 8: AC HOTEL ROOFTOP RESTAURANT-ATTENUATED NOISE CONTOURS @5' ABOVE GROUND

AC Hotel Gaslamp Rooftop Restaurant, San Diego- Acoustics

7.0 CONCLUSION AND CERTIFICATION:

The noise abatement recommendations in this report are based on available information at the time of analysis. Ultimately, sound impacts from operations at AC Hotel Gaslamp Rooftop Bar would depend on management controls which are anticipated to be noise-conscious and responsive to meet all CUP requirements.

There are many factors involved in acoustical performance of a project. ABC Acoustics, Inc. could not be held liable for implementation of recommendations herein or final results of such recommendations.

Please do not hesitate to contact me if you have any questions.

Regards,



Sharo T. Sanavi

Principal

sharo@abcacoustics.com

STS: STS
2630r1

ATTACHMENT "A"

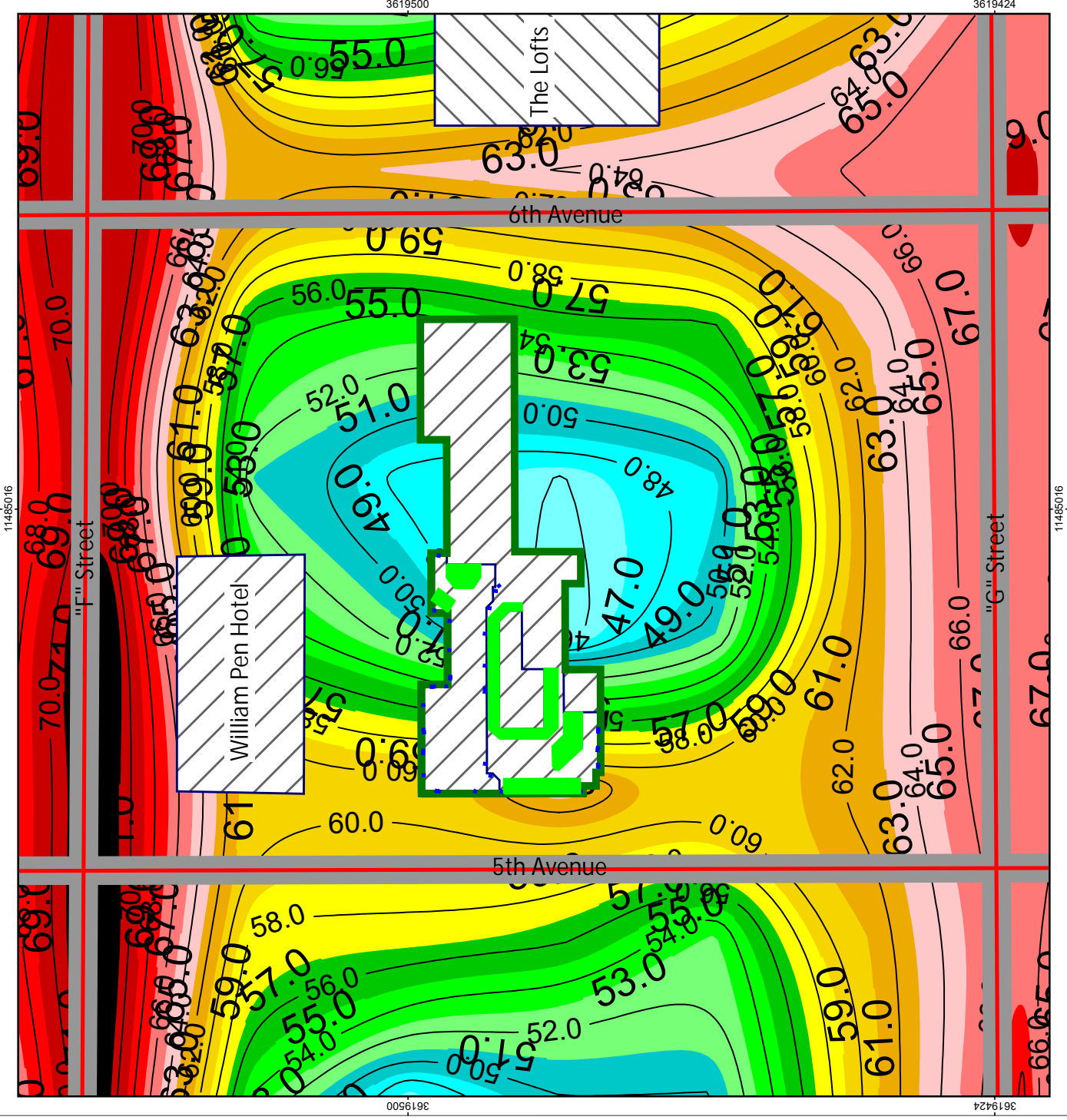
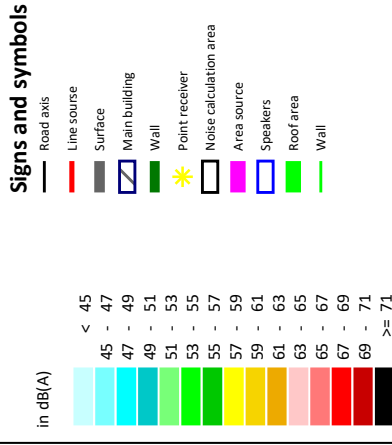
NOISE CALCULATION DATA

ATTACHMENT 6

Client: BLG San Diego, LLC
 Project: AC Hotel Gaslamp, San Diego, CA
 Project-No. 2630

Map
1

Existing
Result number 3
 Calculation in 1.5 m above ground
 Project engineer: Sal Alter
 Created:
 Processed with SoundPLAN 7.3, Update 3/19/2015



11485016

11485016

ATTACHMENT 6

Client: BLG San Diego, LLC
 Project: AC Hotel Gaslamp, San Diego, CA
 Project-No. 2630

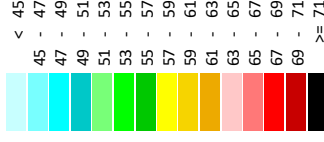
Map
2

Noise contours @ 5 feet
 Result number 12

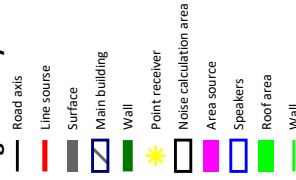
Calculation in 5 feet above ground

Project engineer: Sal Atter
 Created:
 Processed with SoundPLAN 7.3, Update 3/19/2015

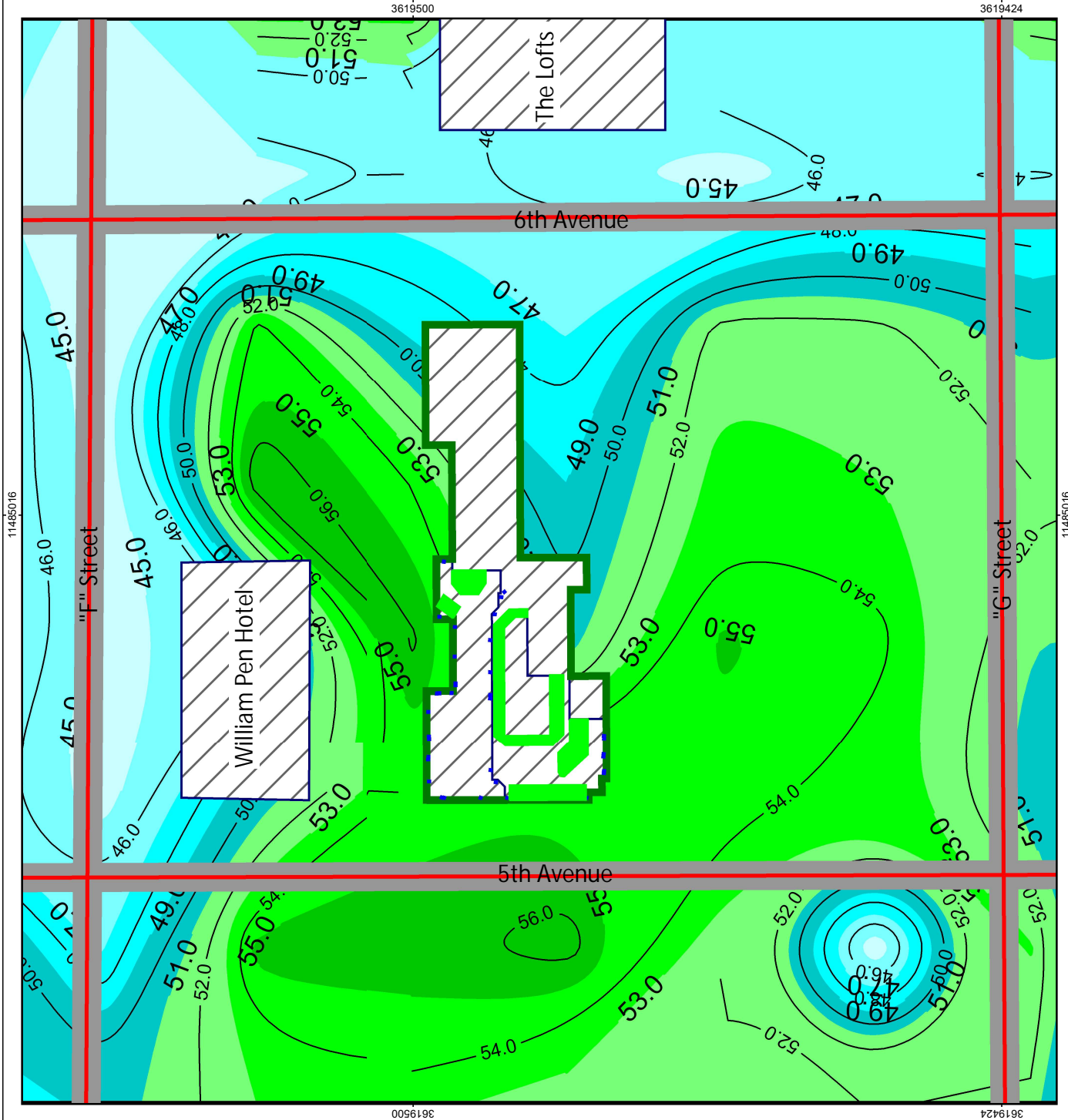
Levels Leq
 in dB(A)



Signs and symbols



Length scale 1:502



ATTACHMENT 6

Client: BLG San Diego, LLC
 Project: AC Hotel Gaslamp, San Diego, CA
 Project-No. 2630

Map
3

Noise contours @ 45 feet
 Result number 8
 Calculation in 45 feet above ground

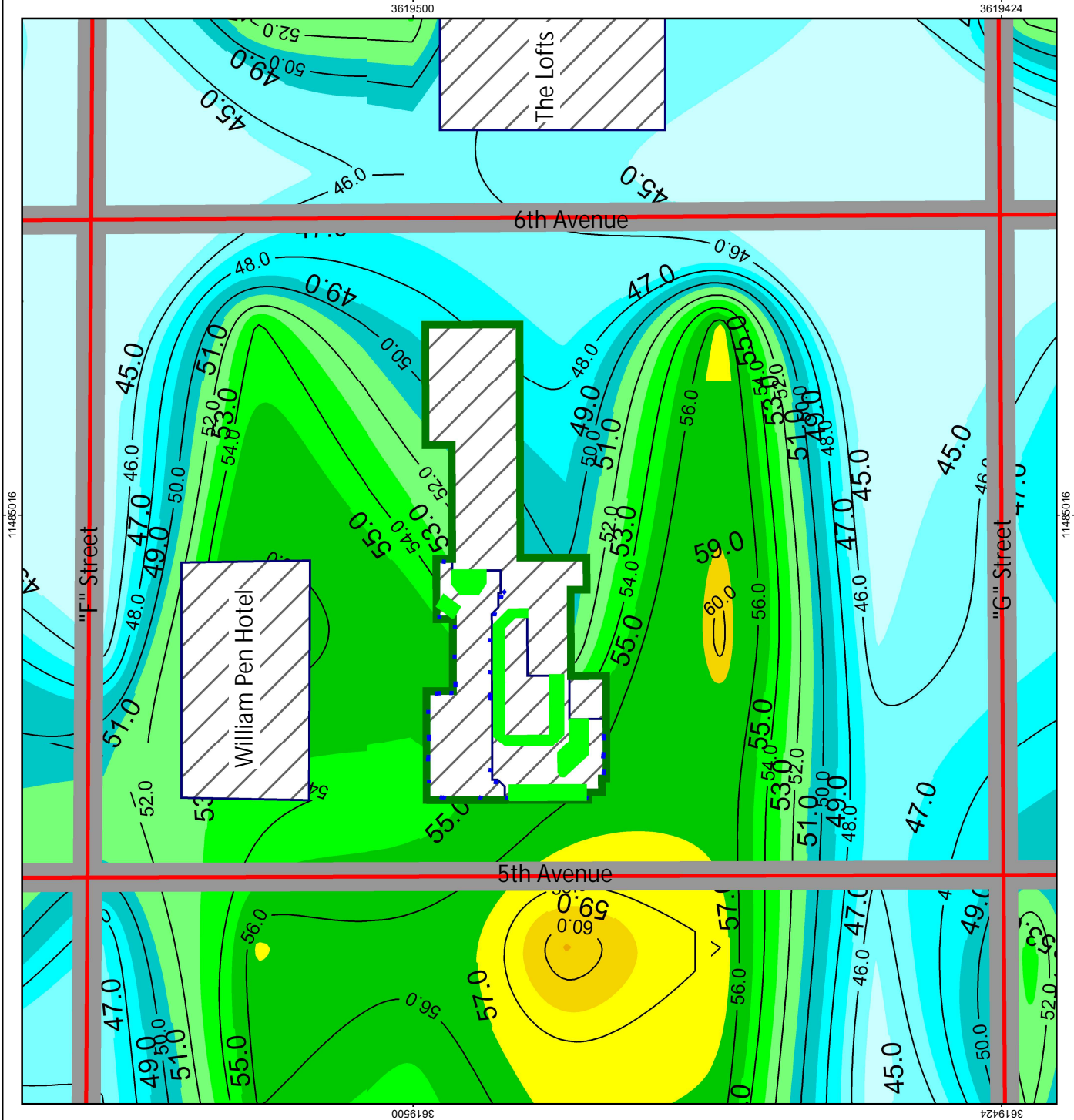
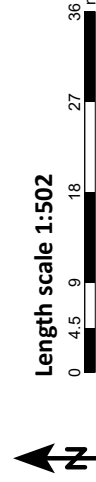
Project engineer: Sal Alter
 Created:
 Processed with SoundPLAN 7.3, update 3/19/2015

Levels Leq_h
 in dB(A)

< 45
45 - 47
47 - 49
49 - 51
51 - 53
53 - 55
55 - 57
57 - 59
59 - 61
61 - 63
63 - 65
65 - 67
67 - 69
69 - 71
>= 71

Signs and symbols

- Road axis
- Line source
- Surface
- Main building
- Wall
- Point receiver
- Noise calculation area
- Area source
- Speakers
- Roof area
- Wall

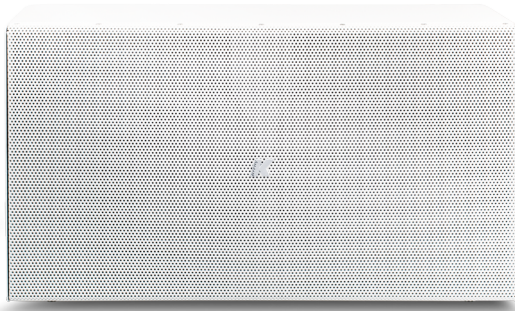


ATTACHMENT "B"

SPEAKERS SPECIFICATIONS

KU210

Ultra-thin, high-power passive subwoofer



KU210W



KU210

DATASHEET

Installed Sound KU210

FEATURES

- Unique performance-to-size ratio
- High power 127 dB SPL (peak)
- 10" long-excursion woofer
- 10" passive radiator
- Extended frequency response
- Selectable impedance (4Ω+16Ω)
- Weather proof, suitable for outdoor installations - IP54

COLORS AVAILABLE

Black



White



Specific RAL code for a customized painted model



Brushed, Polished, Gold Plated and Stainless steel finishes



DESCRIPTION

The KU210 is an ultra-thin, high performance passive subwoofer designed to be the perfect companion to the K-array Installed Sound Series. A combination of extended frequency response with prodigious output and a virtually invisible profile make the KU210 an ideal solution even for the most ambitious projects.

The subwoofer is comprised of a 10" neodymium transducer, combined with a 10" passive transducers, instead of a reflex, which ensures that the device remains completely sealed. The unit is engineered for maximum linear excursion and minimum residual noise. Its neodymium transducer has a double voice coil for two selectable impedance settings, allowing you to combine up to 4 KU210s powered by just one channel of the KA84 amplifier. KU210 is made entirely of steel, making it extremely resistant, even when deployed outside in tough weather conditions. This makes it ideal for marine environments where ordinary bass speakers would corrode. It cannot be penetrated by foreign objects such as dust, sand or water, which over time can ruin a speaker. KA series amplifiers have presets specifically optimized for KU210 applications.

All KU210 components are designed by the K-array R&D department and custom made under the K-array quality control system.

APPLICATIONS

Broadcast/ TV Studio

Club/ DJ Set

Corporate/AV

Hospitality

House of Worship

Large Congregations

Live Concerts

Store

Theatre

Theme Park

ACCESSORIES

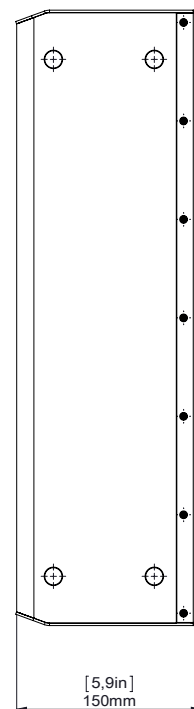
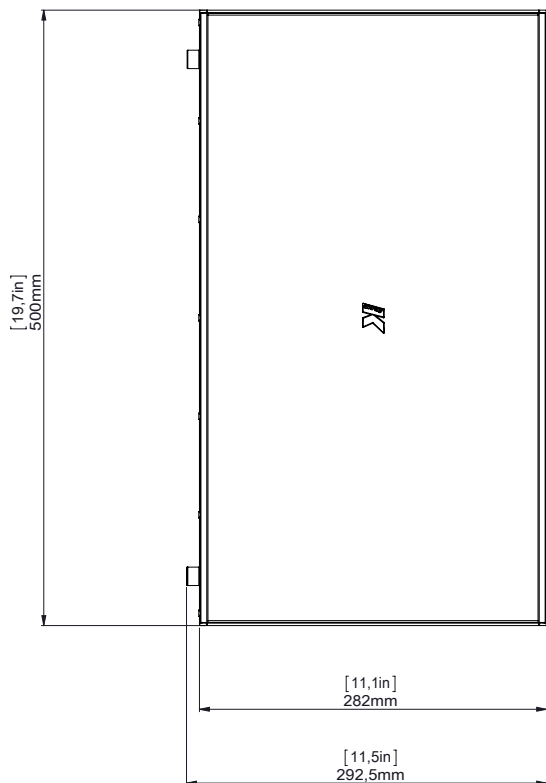
K-2SPK, K-FLY2U, K-JOINT2, K-KUIP, K-WALL2, K-WALL2L

	ACOUSTICS
Power handling	2 x 160 W
Impedance	4 / 16 Ω selectable (2 x 8 Ω)
Frequency range (-10 dB)	40 Hz – 150 Hz ⁽¹⁾
SPL 1W/1mt	94 dB ⁽²⁾
Maximum SPL	121 dB (cont.) – 127 dB (peak) ⁽³⁾
	COVERAGE
Horizontal	omni
Vertical	omni
	CROSSOVER
Type	External crossover required
Frequency	Low pass @ 150 Hz suggested
	TRANSDUCERS
Type	1 x 10" Neodymium magnet with 2" voice coil
Type	1 x 10" passive transducer
	POWER AUDIO IN/OUT
Connectors	1 x 4-pin phoenix connector
	RECOMMENDED AMPLIFIERS
Type	KA24, KA84
	CERTIFICATION
IP	54
	PHYSICAL
Dimensions	50.0 cm x 28.2 cm x 15.0 cm (19.7" x 11.1" x 5.9")
Weight	11 Kg (24.25 lb)

Notes for data

1. With dedicated preset;
2. Measured @4 mt then scaled @1 mt;
3. Measured with musical signal

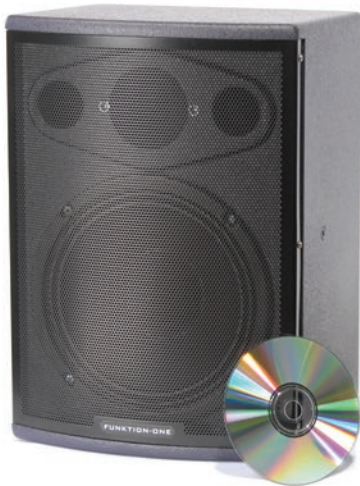
New materials and design are introduced into existing products without previous notice. Present systems may differ in some respects from those presented in this catalogue.



FUNKTION-ONE

F81

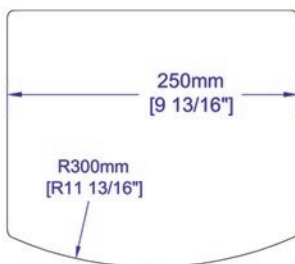
The F81 compact loudspeaker brings Funktion One's unique sound quality and purity of design to a wider audience than ever before, offering a fresh choice to those searching for sonic involvement from a small source. The F81 features excellent bass definition and high vocal intelligibility, attributes not usually present in compact loudspeakers. In common with Funktion One's larger scale systems, this loudspeaker provides excellent imaging detail and clarity. Furthermore, with Funktion One's exceptional enclosure tuning and driver optimisation, no processor or system equalisation is required, maximising the fidelity, performance, natural simplicity and cost effectiveness of this product. Out of operating band low frequency protection is incorporated. The F81 is as ideally suited to use in smaller venues and ancillary zones of larger venues as it is to theatrical, AV and home studio applications. If additional bass reinforcement is required our smaller purpose designed bass enclosures make the perfect complement.



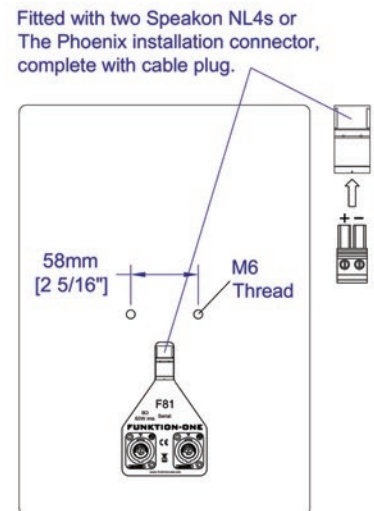
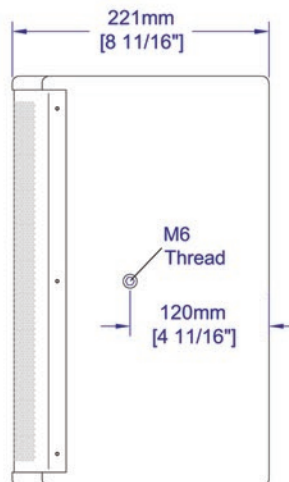
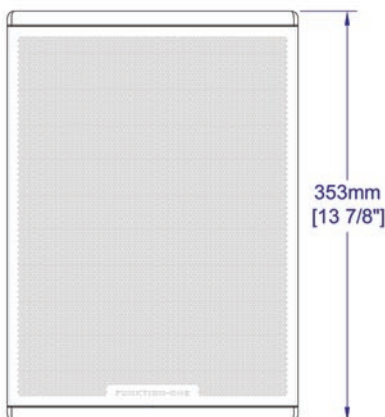
Features:

- Expansive sound from compact and light weight enclosure
- Excellent clarity, vocal projection and imaging
- Wide dispersion
- 8" and 1" drivers optimised to Funktion One specification
- High passive crossover point to HF driver (4.5kHz)
- High sensitivity
- Brilliantly tuned plywood enclosure
- Choice of Speakon or single handed installation connectors
- Threaded mounting and attachment points
- Curved powder-coated mild steel grill

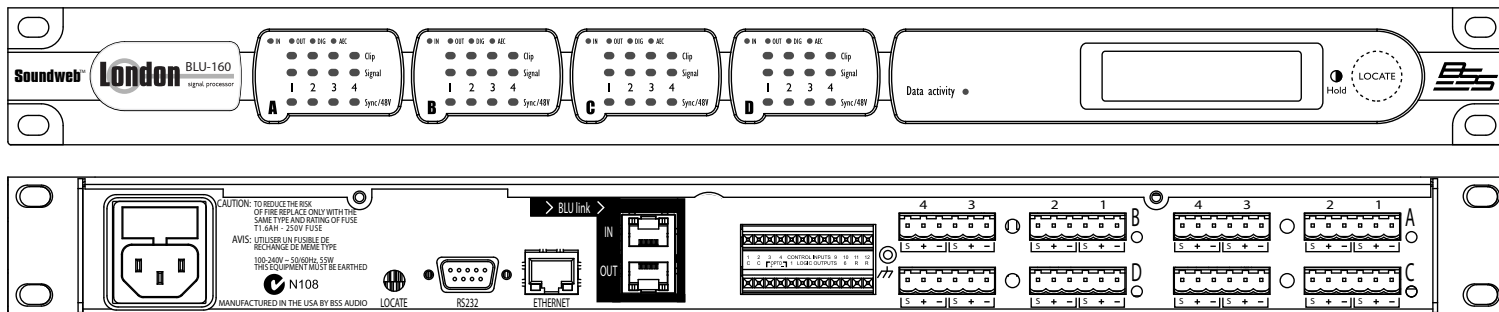
Driver Complement	Sensitivity (1W at 1m)	Power (rms)	Nominal Impedance
8" Loudspeaker 1" Compression Driver	98 dB	100W	8 Ohm



Frequency Response: 95Hz - 19kHz
 Weight: 5.2 kg (11.5 lbs)
 Nominal Dispersion: 90° x 70°
 Connectors: 2 x NL4 Speakon or Phoenix Installation Connector



Soundweb™ London BLU-160



OVERVIEW:

The Soundweb London BLU-160 offers configurable I/O, configurable signal processing and a high bandwidth, fault tolerant digital audio bus.

The BLU-160 has open architecture which is fully configurable through HiQnet™ London Architect. A rich palette of processing and logic objects and a “drag and drop” method of configuration provide a simple and familiar design environment.

This processor features a low latency, fault tolerant digital audio bus of 256 channels which uses standard Category 5e cabling giving a distance of 100m between compatible devices. Fiber media converters can be used to increase the distance between devices to over 40km.

Four card slots which accommodate analog inputs, analog outputs, digital inputs and digital outputs in banks of four facilitate many different device I/O configurations.

Analog Input Cards provide software configurable gain in 6dB steps up to +48dB per channel and software selectable Phantom Power per channel. Digital Input Cards and Digital Output Cards process AES/EBU and/or S/PDIF audio and offer a variety of clocking and syncing options. (Further information about the I/O cards can be found on dedicated datasheets)

Phantom Power, Sync, Signal Present and Clip information per channel is easily accessible, without the requirement for a PC, from clear front panel LED indication. Device-specific information such as Device Name, Device Type, Firmware Version Number, Time, IP Address and Subnet Mask is available from the front panel display. A bi-directional locate function allows devices to be identified both from and within HiQnet London Architect.

12 Control Inputs and 6 Logic Outputs allow the BLU-160 to be integrated with GPIO compatible devices. The Soundweb London Interface Kit, comprehensive documentation which details how Soundweb London systems can be integrated with third party control systems, is included within the installation of HiQnet London Architect.

The BLU-160 and the other members of the Soundweb London family provide the building blocks of the perfectly tailored system solution.

KEY FEATURES:

- Four Input / Output Card Slots
- Configurable Inputs / Outputs
 - Analog Inputs (with Phantom Power per Channel)
 - Analog Outputs
 - Digital Inputs (AES/EBU and S/PDIF)
 - Digital Outputs (AES/EBU and S/PDIF)
- Configurable Signal Processing
- Rich Palette of Processing and Logic Objects
- 256 Channel, Low Latency, Fault Tolerant Digital Audio Bus
- Clear Front Panel LED Indication
- Informative Front Panel Display
- Bi-Directional Locate Functionality
- 12 Control Inputs and 6 Logic Outputs for GPIO Integration
- Soundweb London Interface Kit for Third Party Control System Integration (Documentation)
- HiQnet Device
- Configuration, Control and Monitoring from HiQnet London Architect



Soundweb™ London BLU-160

TECHNICAL SPECIFICATIONS:

Front Panel Led Indicators:

Per Input:	Signal Present, CLIP, SYNC/48V, I/O card type (IN, OUT, DIG, AEC)
Other:	LCD Display, Data Activity

Analog Inputs: Up to 16 electronically balanced on Phoenix Combicon removable screw connectors

Mic/Line Inputs:	Nominal gain 0dB, electronically switchable up to +48dB, in +6dB steps
Input Impedance:	3.5kΩ
Maximum Input Level:	+20dBu with 0dB input gain, +8dBu with 12dB gain
CMRR:	>75dB at 1KHz
Input Noise (E.I.N.):	<-128dBu typical with 150Ω source
Phantom Power:	48V nominal, selectable per input
A/D Latency:	38.7/Fs

Digital Inputs: Up to 16 AES/EBU or S/PDIF on Phoenix/Combicon removable screw connectors

Input Impedance:	110 ohm (AES/EBU), 75 ohm (S/PDIF)
Sample Rate:	48kHz or 96kHz
Sample Rate Conversion:	8kHz-96kHz
THD+N:	<-140dB
Latency:	3/Fso + (56.581/Fsi) + (55.658/Fso)

Analog Outputs: Up to 16 electronically balanced on Phoenix/Combicon removable screw connectors

Maximum Output Level:	+19dBu
Frequency Response:	20Hz-20KHz (+0.5dB/-1dB)
THD:	<0.01% 20Hz to 20KHz, +10dBu output
Dynamic Range:	108dB typical, 22Hz-22KHz unweighted
Crosstalk:	<-75dB
D/A Latency:	28/Fs

Digital Outputs: Up to 16 AES/EBU or S/PDIF on Phoenix/Combicon removable screw connectors

Output Impedance:	110 ohm (AES/EBU), 75 ohm (S/PDIF)
Sample Rate:	48kHz or 96kHz
Sample Rate Conversion:	8kHz-96kHz
THD+N:	<-140dB
Latency:	3/Fso + (56.581/Fsi) + (55.658/Fso)

Control Ports: 12 inputs and 6 outputs

Control Input Voltage:	0 to 4.5v
Control Input Impedance:	4.7kΩ to +5V (2-wire mode), >1MΩ (3-wire mode)
Logic Output Voltage:	0 or +5V unloaded
Logic Output Impedance:	440Ωs
Logic Output Current:	10mA source, 60mA sink

Watchdog Output: Phoenix/Combicon connector for failsafe control

Opto Output Current:	14mA maximum
Withstanding Voltage:	80V maximum (Off)
Series Impedance:	220Ω (isolated)

Control Network:

Connectors:	RJ45 Ethernet connector
Maximum Cable Length:	100m/300ft on Category 5 cable between device and Ethernet switch

Digital Audio Bus:

Connectors:	2 x RJ45 Ethernet connectors
Maximum Cable Length:	100m/300ft on Category 5e cable between devices
Maximum Number of Nodes:	60
Latency Per Node:	4(+/-1)Fs

Power and Dimensions:

Mains Voltage:	100-240V AC, 50/60Hz
Power Consumption:	<35VA
BTU Rating:	<188 BTU/hr
Operating Temperature Range:	0° to 45° C (32° to 113° F)
Dimensions (H(U) x W x D):	1.75" (1U) x 19" x 12.5" (45mm x 483mm x 318mm)
Weight:	9 lbs / 4.1 kgs (estimated)

**DOWNTOWN COMMUNITY PLANNING COUNCIL
MINUTES OF THE MEETING OF MAY 20, 2020
Zoom Meeting 875 0874 8642 (recorded)**

Call to Order: Chair Bill Orabone (President) @ 5:30 pm.

1. **Roll Call:** Noted that 24 of 27 current members were present, constituting a quorum.
 - **Members Present @ Call to Order:** Ahmed, Baker, Barbano, Collin, DiFrancesca, Dion, Duke, Eddy, Egan, Gattley, Hunt, Link, Maliepaard, Moore, Orabone, Pensabene, Priver, Ramos, Russell, Swearingen, Takara, Trimble, Wery, Wilson-Ramon
 - **Late Arrival:** none
 - **Members Absent:** Blair, Meloncelli, Segal
 - **Early Departure:** Hunt, Priver

2. **Public Comments on Non-Agenda Items –**
 - None

3. **Elected Representative Comments**
 - Chevelle Tate (Chevelle.Tate@sen.ca.gov) on behalf of State Senator Toni Atkins.
 - Focusing on COVID. Physical offices open.
 - \$54B budget deficit. Rainy day funds to minimize cuts, details available on line
 - Ahmed question – Restaurants are suffering - Is State evaluating intangible losses? CT - Yes.
 - Randy Wilde (Randy.Wilde@asm.ca.gov) On behalf of State Rep Todd Gloria.
 - Permits are being issued external to normal Restaurant facilities to help with social separating, seating capacity
 - Highlighted Gov Newsom Great Plates Food Delivery for Seniors <https://covid19.ca.gov/restaurants-deliver-home-meals-for-seniors/>
 - Budget available at www.ebudget.ca.gov
 - Trimble questions: 501(c)6 relief in next round – RW – not known
 - Question 2 – RW – No specific known, will reply
 - Brittany Bailey (BNBailey@sandiego.gov) On behalf of City Councilmember Chris Ward
 - City budget Money is available to stabilize expenses
 - Revenues disrupted, e.g TOT from hotels and restaurants
 - Final budget discussions upcoming next two weeks
 - City has some access/flexibility with Federal CAREs act monies Ward proposes \$85M rental subsidy fund
 - \$12.5M round of funding – Ward is looking for examples of best use
 - Board member questions:

- (Egan) Convention Center population plans BB: objective is to move everyone strategically to permanent housing
- (Egan) will failure cause parts of downtown to not open, eg - convention center BB: Intent is not to keep closed.
- (Ahmed) concerned with inappropriate use of convention center BB: realize it needs to be reopened, keenly aware we need to balance County/State orders.

4. Approval of 15 APR 2020 Meeting Minutes

- No questions. Minutes approved unanimously

5. Chairpersons, Subcommittee, Liaison reports

Information Items

6. Project Updates (Brad Richter)

- Brad Provided COW (ZOOM) training 4:30 – 5:30 prior to this evening DCPC meeting
- For alternative on line interactive powerpoint training - Please follow the link for the eCOW training in the Planning department website:
<https://www.sandiego.gov/planning/community/resources>
 - In the middle of the page please follow the instructions for the interactive training and completion form submission instructions:
 - [Electronic Community Orientation Workshop \(E-COW\)](#)
 - [Community Planning Group members can take the !\[\]\(c6a8736a601a632e2c96605cf66055ed_img.jpg\) \[Electronic Community Orientation Workshop\]\(#\) online at their convenience. If you do not already have Adobe Reader, please download \[here\]\(#\) \(This will assist with the E-COW Completion Form\)](#)
- Final Action heard by Civic San Diego is week of 25 May. Following that hearing Civic is out of the Development business
 - Projects to be considered:
 - Park & Broadway
 - 1425 Market highrise
 - Pacific & Grape
 - CA Theater
 - 9th & G
 - 14th Street Promenade at Albertson's has started. Will include Bob Sinclair artifacts
 - Children's Park funded and moving forward (5/20/20 out for bids). 1 year completion
 - EV Green funding and moving forward (6/20/20 out for bids). 2 years completion
 - Campus @ Horton – financing, construction is progressing
 - Downtown Mobility Plan progressing

- Beech & 6th
- C Street cycle track
- Pacific Highway south of Laurel
- Parking Projects
- Board Member Questions
 - (Leah) Excited with absence of Lime Bikes and Scooters. BR: Some companies pulled out due to rules, impound expenses. Unsure when return or new companies
 - (Gatley) Horton Plaza is fenced with signs pointing to Jimbos
 - (Maliepaard) what is going in across from Smart and Final

7. Smart Streets Update (Nicole Burgess, Slow Streets Coalition (12 organizations with the City))

- Safe ways and safe movement for essential workers overview
- (DCPC member Hunt (Bicycle Coalition)) expressed appreciation

Consent Items – None

Action Items

8. Burgeon Beer, 1326 Kettner Ave – CUP for brewer tasting room with the sale of alcoholic beverages for off-site consumption and 400sf street level outdoor patio

- Representing Staff Report – Nicole Pare
- Representing Developer – Matthew Zirpolo
- Bill Orabone referred to Staff Report
- Board Member Ahmed reported that he attempted to visit location and was unsuccessful finding the reported address. Dion offered that City policy is to issue new addresses to locations incorporated with existing complexes. The location is within the Savina High Rise building. No further questions.
- Orabone noted that SDDRG voted in favor of the project.
- There were no further issues.
- **Motion made (Russell) to accept the Staff Report and recommendations and seconded (Ahmed). DCPC unanimous vote in favor, 22-0.**

9. AC Hotel CUP, 743 5th Ave – CUP for live entertainment on 1st floor and roof deck

- Representing Staff Report – Nicole Pare
- Bill Orabone referred to Staff Report
- Supporting Developer – Bill Adams (attorney),
 - i. Replacing TGI Fridays, Deccos, McFaddens

- ii. Marriott Hotel similar to Pendry (upscale)
 - iii. Represented “Love Story” to be upscale lounge experience
 - iv. Commitment not to lease venues
 - v. (Trimble question) Hours of rooftop request consistent with neighborhood, Gaslamp? (Ardizzone) – pushed noise to 5th Ave and other acoustics
 - vi. (Trimble) Outreach to neighbors. Reply – continuing
- Sound Study presentation (Sanavi, History: SDSU Grad, City Noise Advisory Board, Code Enforcement (1980’s))
 - i. Presented Ambient noise results
 - ii. Highlighted noise abatement to 6th including AC equipment, plants, canopies
 - iii. Explained sound level, audio designed for project at various heights, recognized that main control is volume control
 - iv. (Ramos) concern with conflicting noise compared with Theater Box. (Ardizzone reply) AC Hotel is 15-20’ higher, should be user focused sound, not “dueling pianos”.
 - v. (Nicole Pare) clarified that Theater Box has no roof top live entertainment, recorded only.
 - vi. (Link) repeated concern with noise to 6th (Adams reply) – only 4 residences
 - vii. (Orabone) Noted SDDRG asks for standard hours. 10 pm weekdays, 11 weekends
 - viii. (Nicole Pare) recommended additional sound study after construction to verify noise levels
 - ix. (Ardizzone) Amplification Design is directed away from residential
 - x. (Adams) offered that there are no residences within 300’.
 - x.1. None in a straight line.
 - x.2. Roof top design has no history of noise complaints
 - x.3. Smaller than Pendry, Hard Rock
 - x.4. Better operator for this unique site, extra effort to get it right
 - x.5. To 1:30 am limited use permit and require continuous monitoring and record keeping for review period.
- Board Discussion:
 - i. (Wery) Require applicant to pay for enforcement if neighbor noise complaints?
 - ii. (Orabone) continuous monitoring, post approval sound study as offered by applicant
 - iii. (Baker) Is 1:30 opening the door to prior 11:00 approvals to extend their hours?
 - iii.1. (Adams reply) already uneven landscape, some already to 1:30
 - iii.2. (Nicole) – no other to outdoor entertainment to 1:30. Reconfirmed need for second sound study.
- **Motion to Approve requested hours 1st (Gathey), 2nd (DeFrancesca)**
 - i. (Trimble) abstained as Director of Gaslamp Org. but noted in favor

- ii. (Eddy) request for friendly amendment:
 - ii.1. 1:30 live entertainment
 - ii.2. ABC Acoustics conditions
 - ii.3. Continuous Monitoring / Record Keeping
 - ii.4. Review Period
 - ii.5. (Ramos) expressed concern that 1:30 would be precedent setting
 - ii.6. (Wilson-Ramon) concern with lack of code enforcement at 1:30, fact that other venues would ask for 1:30
 - ii.7. (James Alexander) suggested moving entertainment indoors after normal closing hours
 - ii.8. (Link) opposed unless friendly amendment accepted.
 - ii.9. Gattey accepted friendly amendment. Orabone clarified that monitoring period is typically 6 months.
- **Vote called and failed 4-16 with Gattey, DiFrancesca, Maliepaard, Russell voting for, Trimble abstained, Hunt and Priver departed meeting prior to vote.**
- **Second motion presented by 1st (Wery) 2nd (Wilson-Ramon)**
 - i. **To 10pm weekdays, 11 pm weekend**
 - ii. **(Pablo) described both 11 pm and 1:30 am as extremes for Gaslamp Quarter and offered a friendly amendment of Sunday – Thursday 11 pm, Fri, Saturday, Sunday followed by holiday, 12 midnight. Friendly amendment accepted by Wery**
 - iii. **(Eddy) requested clarification that it included ongoing monitoring – yes**
- **Motion with friendly amendment passed 17-2 with no votes by Takara, Ahmed**

10. Cedar Park, 1565 India – PDP, NUP for new restaurant with outdoor seating

- Representing Staff Report – James Alexander (process 4 permit)
- Representing Developer – Marin Gertler
- Bill Orabone referred to Staff Report
- Gertler described as no major design change since 2019 DCPC review/approval
- Sliding doors installed to enclose rooftop deck
- (Barbano) reported that PreDesign is in favor of approval
- No further discussion
- Motion (Barbano), 2nd (Takara) – move in favor of approval of staff report recommendation
 - i. (Eddy) – good addition to design
 - ii. (Orabone) Last revisions cleaned up Cedar encroachment.
 - iii. (Orabone) shared SDDRG concerns re Trash Pickup, Exhaust Fumes, noted no residential in immediate area.

- **Vote called after no further discussion – motion passed unanimously 17-0. Early Departures other than Hunt, Priver not recorded. 5 missing votes noted.**

MISCELLANEOUS

11. Potential Agenda Items and Member Comments –

- (Ahmed) requested Convention Center Item for next meeting re resolution of its use as homeless shelter with deadline for homeless evacuations
 - i. (Ramos) recommended that issue be referred to Social Committee. Orabone concurred and will follow up.

15. Urgent Non-Agenda Items – none noted.

Meeting Adjourned 7:57pm. Next meeting Wednesday 17 JUN 2020 (Zoom)

From: [Mcelroy, Adam](#)
To: [Pare, Nicole](#)
Cc: [Mccurry, Benjamin](#)
Subject: RE: PTS #653653 - AC Hotel Live Entertainment CUP (743 Fifth Ave)
Date: Friday, May 15, 2020 9:54:38 AM

Good Morning Nicole,

Thank you for including your in depth report with this message. I'm going to meet with Sgt. McCurry regarding this CUP on Tuesday the 19th but I concur with your recommendations from the report. These seem to be working well for our downtown rooftop venues. I'll reconnect with you after speaking with Sgt. McCurry.

- Restricting live entertainment to the venues permanent sound system and prohibiting supplemental speakers or amplification equipment;
- Limiting live entertainment hours to between 11:00 a.m. and 10:00 p.m. Sunday through Thursday and 11:00 a.m. to 11:00 p.m. Friday and Saturday (and Sunday when the following Monday is a recognized holiday);
- Requiring noise compressor equipment and operation based on the recommended settings and speaker placement as established by the acoustical analysis;
- Requiring a second acoustical study after the equipment is installed and prior to the commencement of live entertainment on the property.

Thanks,

Adam

Adam McElroy 5505
Police Officer/SDPD Vice
619 531-2435

From: Pare, Nicole [mailto:NPare@sandiego.gov]
Sent: Thursday, May 14, 2020 4:39 PM
To: Mcelroy, Adam <amcelroy@pd.sandiego.gov>
Subject: [EXTERNAL] PTS #653653 - AC Hotel Live Entertainment CUP (743 Fifth Ave)

Hi Officer Mcelroy,

I hope you are doing well. I have a project that was transferred over to me from another project manager and for whatever reason there was not an SDPD cycle review set up initially, so I'm forwarding along the project plans, application, and the applicant's project description to you for your review. It's a CUP application for live entertainment on the rooftop and ground floor lounge/restaurant at the AC Hotel, currently under construction, at 743 Fifth Avenue.

The project is still under review, and probably has a few months before it'll be ready for

hearing, but I wanted to get it over to you ASAP. The project is being presented to the Downtown Community Planning Council next Wednesday, May 20th. Here's the [agenda](#) if you would like to review the staff report I prepared.

Please let me know if you have any questions.

Best regards,

Nicole Paré
Planner, Urban Division
City of San Diego
Smart and Sustainable Communities
401 B Street, Suite 400
San Diego, CA 92101
npare@sanidiego.gov
(619) 533-7180

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	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • **Other** _____

Project Title: AC Hotel **Project No. For City Use Only:** _____

Project Address: 743 5th Ave. & 744 6th Ave. San Diego CA 92101

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? Nevada Corporate Identification No. 83-1999613
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: BLG San Diego, LLC Owner Tenant/Lessee Successor Agency
 Street Address: 78 Okner Parkway
 City: Livingston State: NJ Zip: 07039
 Phone No.: 9735976433 Fax No.: 9735976422 Email: htripathi@briad.com
 Signature: _____ Date: 10/30/19
 Additional pages Attached: Yes No

Applicant

Name of Individual: Briad Development, LLC Owner Tenant/Lessee Successor Agency
 Street Address: 78 Okner Parkway
 City: Livingston State: NJ Zip: 07039
 Phone No.: 973-597-6433 Fax No.: 9735976422 Email: htripathi@briad.com
 Signature: _____ Date: 10/30/19
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

Briad Development, LLC Disclosure Attachment
743 Fifth Avenue, San Diego, CA 92101 (Parcel # 535-093-17-00)

Briad Development, LLC (Applicant) – 78 Okner Parkway, Livingston, NJ 07039

- Brad Honigfeld – Managing Member
(78 Okner Parkway, Livingston, NJ 07039)

BLG San Diego, LLC Ownership Disclosure Attachment
743 Fifth Avenue, San Diego, CA 92101 (Parcel # 535-093-17-00)

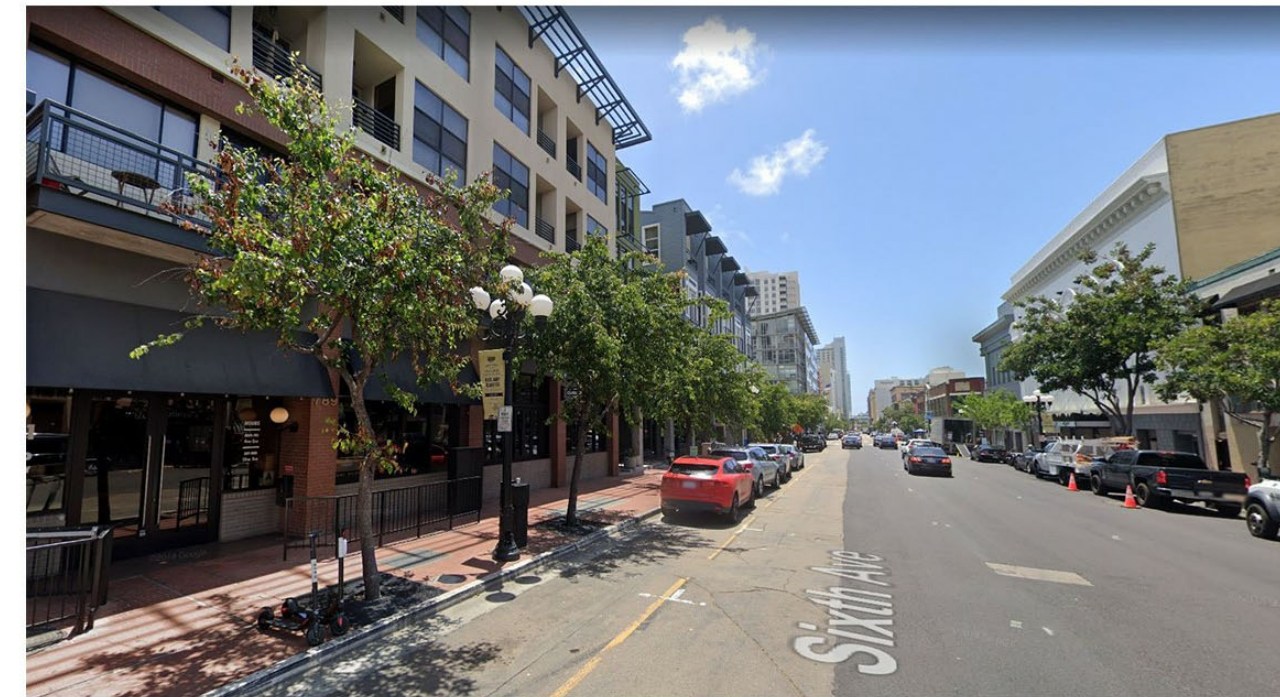
BLG San Diego, LLC (Property Owner) – 78 Okner Parkway, Livingston, NJ 07039

- 75.43% BLG San Diego Owner, LLC – Manager/Member
(78 Okner Parkway, Livingston, NJ 07039)
 - Brad Honigfeld – Member/Manager - 90%
(78 Okner Parkway, Livingston, NJ 07039)

- 24.57% SSHCOF III San Diego, LLC – Member
(3500 Lenox Road, Suite 625, Atlanta, Georgia 30326)

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THE DRAWING ARE OWNED BY AND THE PROPERTY OF TUCKER SADLER ARCHITECTS INC. ARCHITECTS AND PLANNING CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF TUCKER SADLER ARCHITECTS, INC. FILING THESE DRAWINGS OR SPECIFICATIONS WITH ANY PUBLIC AGENCY IS NOT PUBLICATION OR USE THEREOF IS PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF TUCKER SADLER ARCHITECTS, INC.

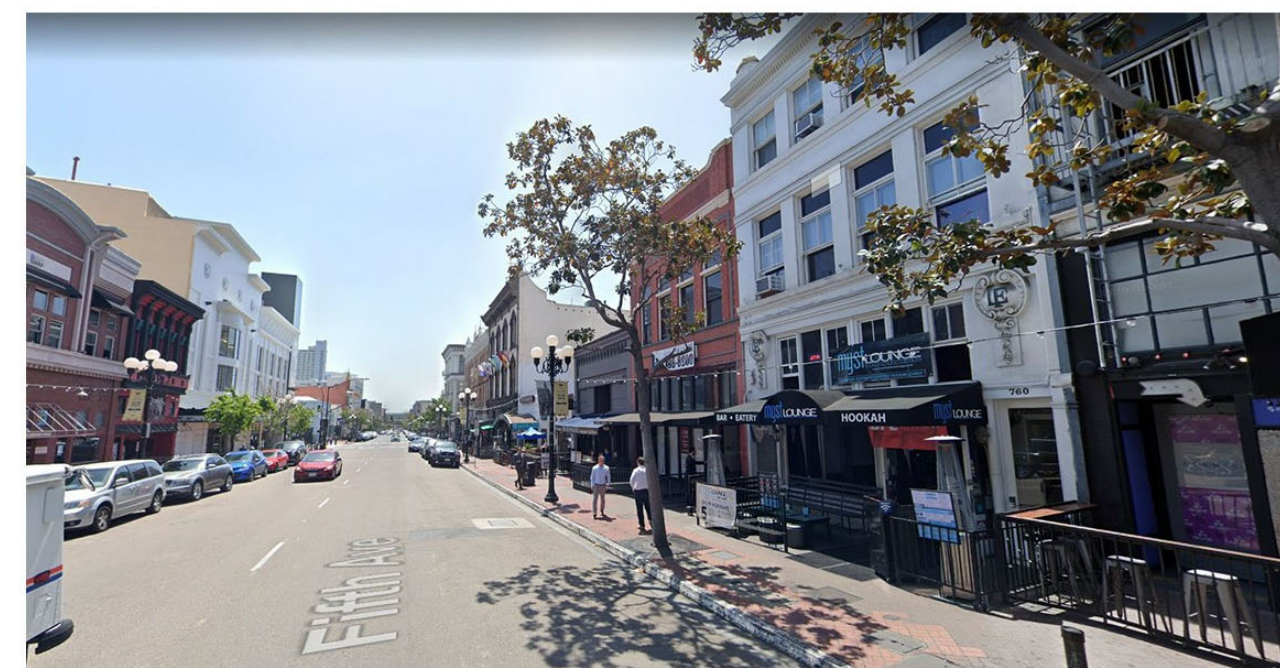
OFF SITE VIEWS



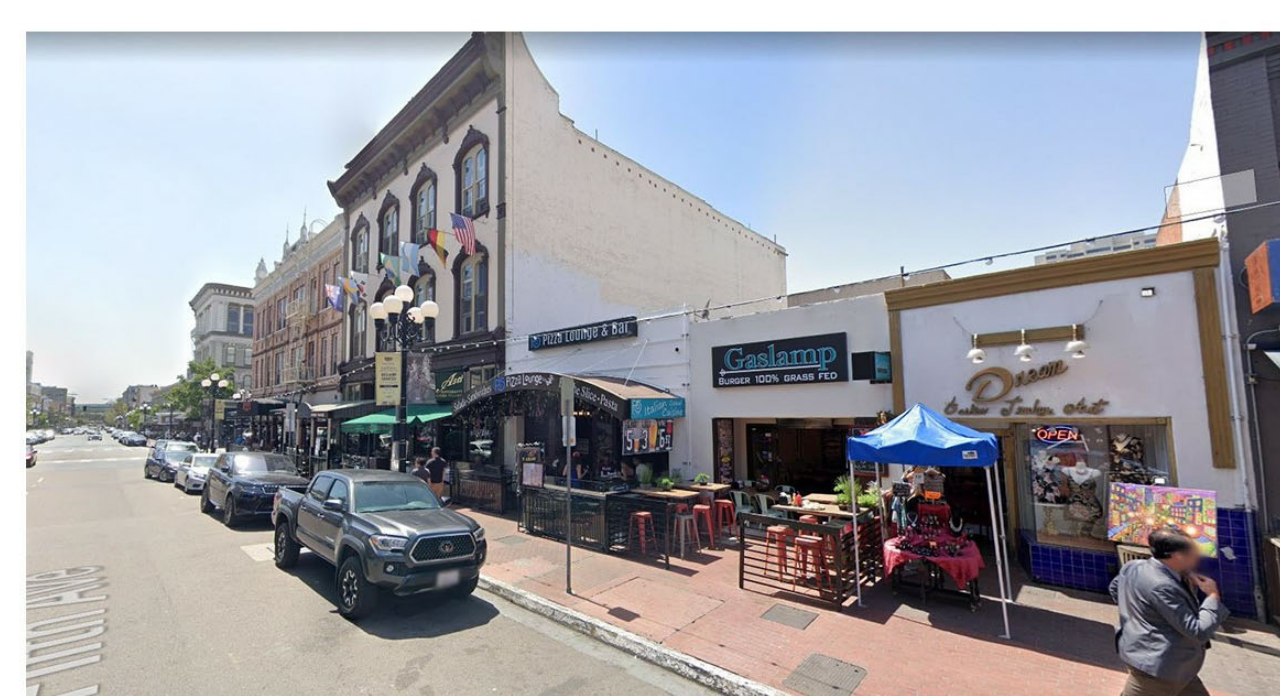
E



F



G



H

ON SITE VIEWS



A



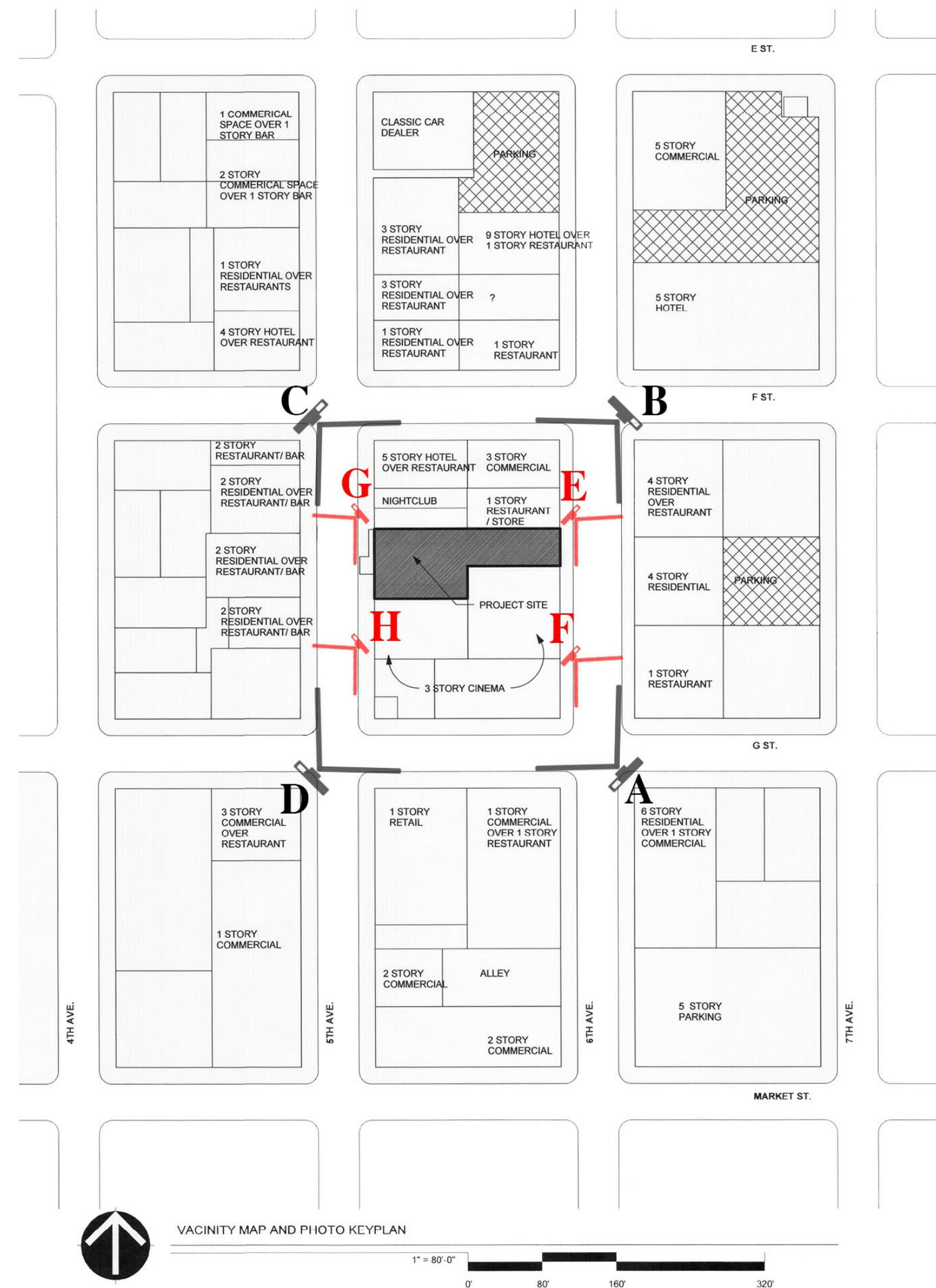
B



D



C



TUCKER SADLER
 1620 5th Ave, Suite 200 San Diego, Ca 92101
 (P) 619 . 236 . 1662 (F) 619 . 236 . 9267

THE BRIA D GROUP

AC HOTELS MARRIOTT

AC Hotel - Gaslamp
 743 5TH AVENUE, SAN DIEGO, CA 92101

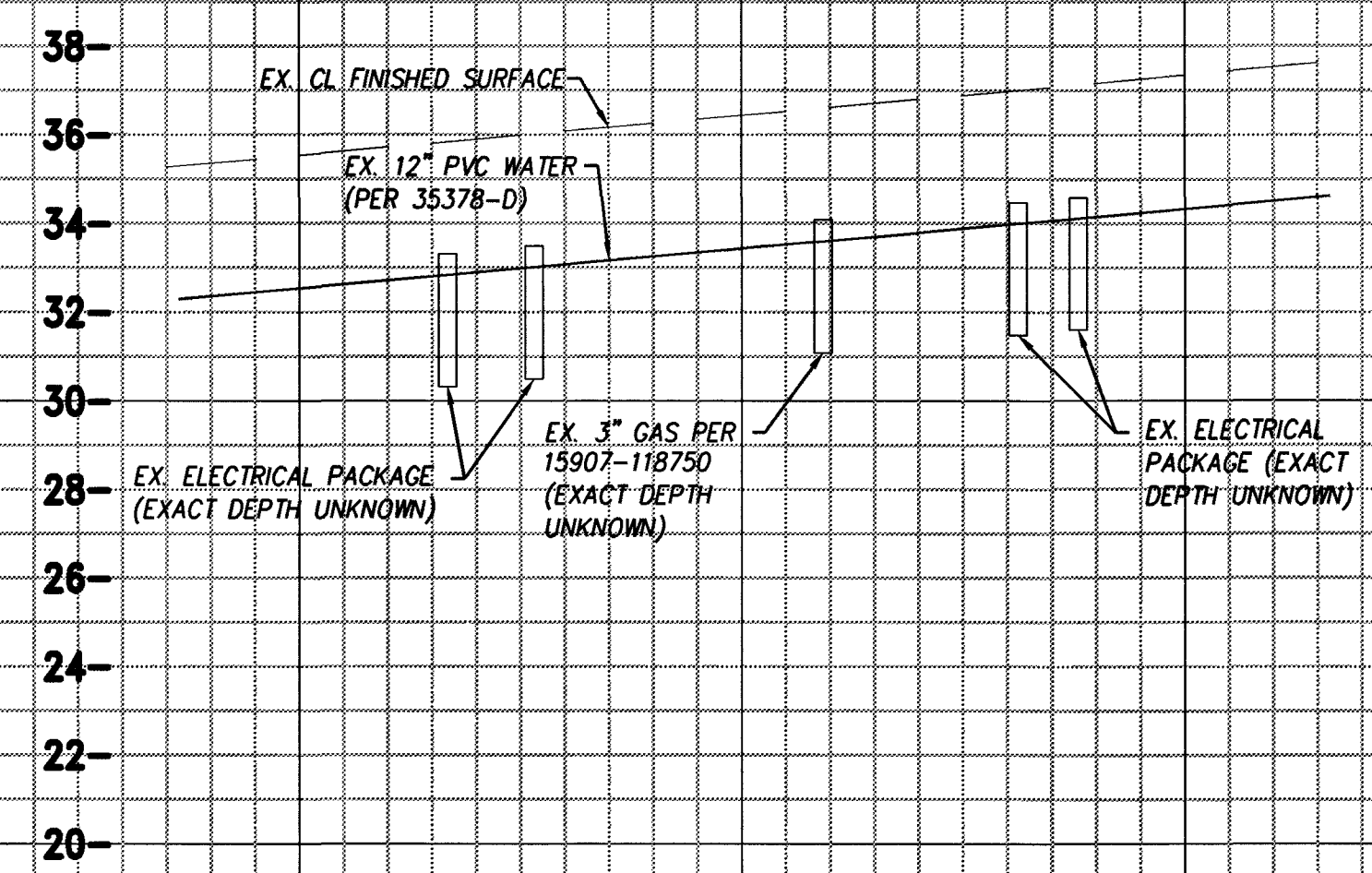
No.	Issued / Revisions	Date
	CUP SUBMITTAL	11/12/2019

CENSUED ARCHITECT
 RUIRO M. CASTRO
 No. C 12036
 Exp. 3/31/21
 STATE OF CALIFORNIA

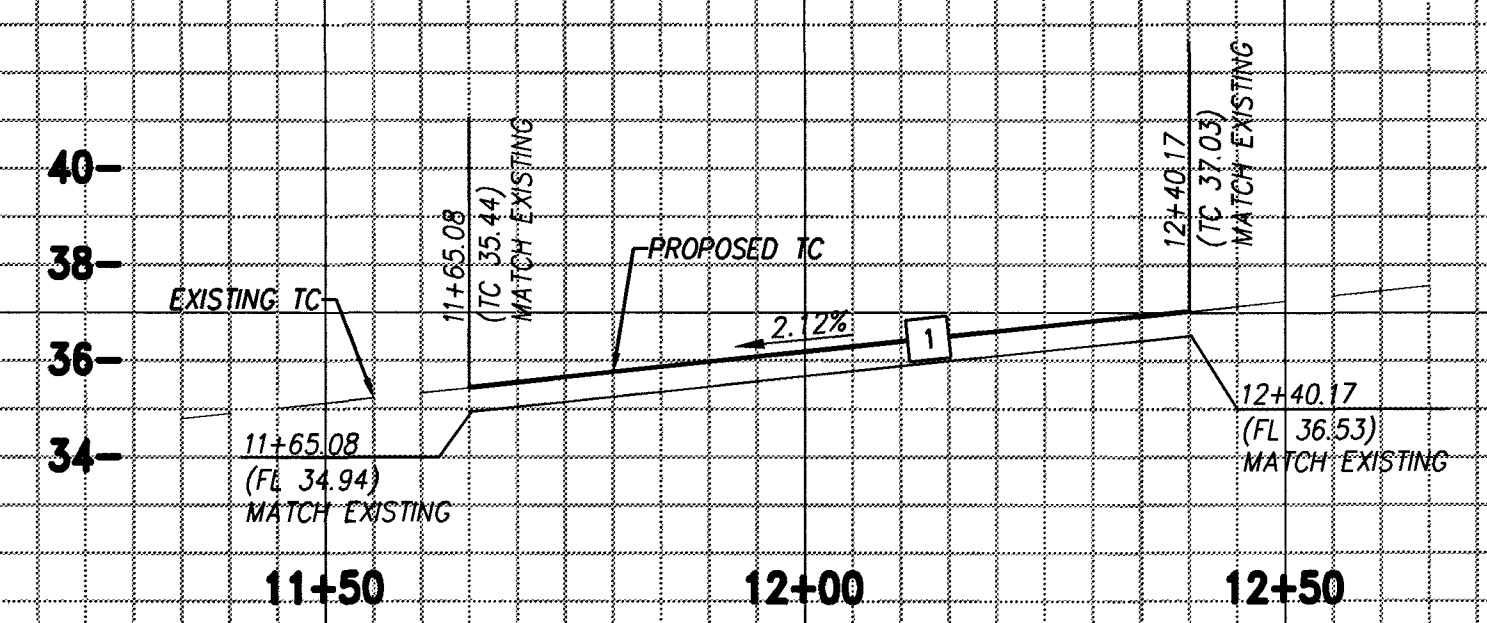
SHEET TITLE:
VACINITY MAP

PROJECT # 21605.00	DRAWN BY: Author
DATE ISSUED: 01/04/2019	CHECKED BY: Checker
DRAWING DWG OF	DRAWING NUMBER A0.0

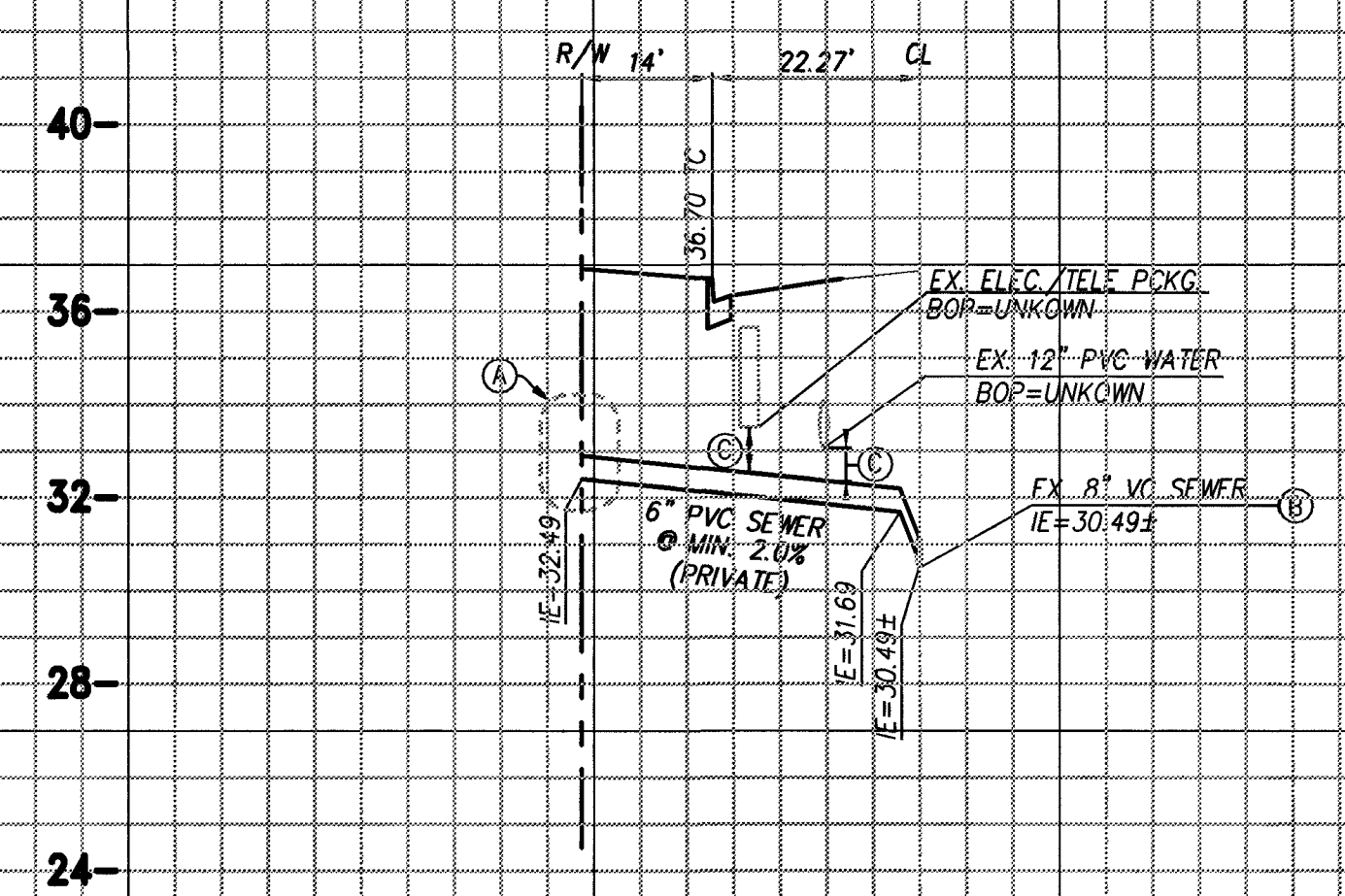
DATE PRINTED:
11/12/2019 4:38:07 PM



CENTERLINE PROFILE: FIFTH AVENUE
 SCALES: 1"=20' HORIZ. 1"=4' VERT.

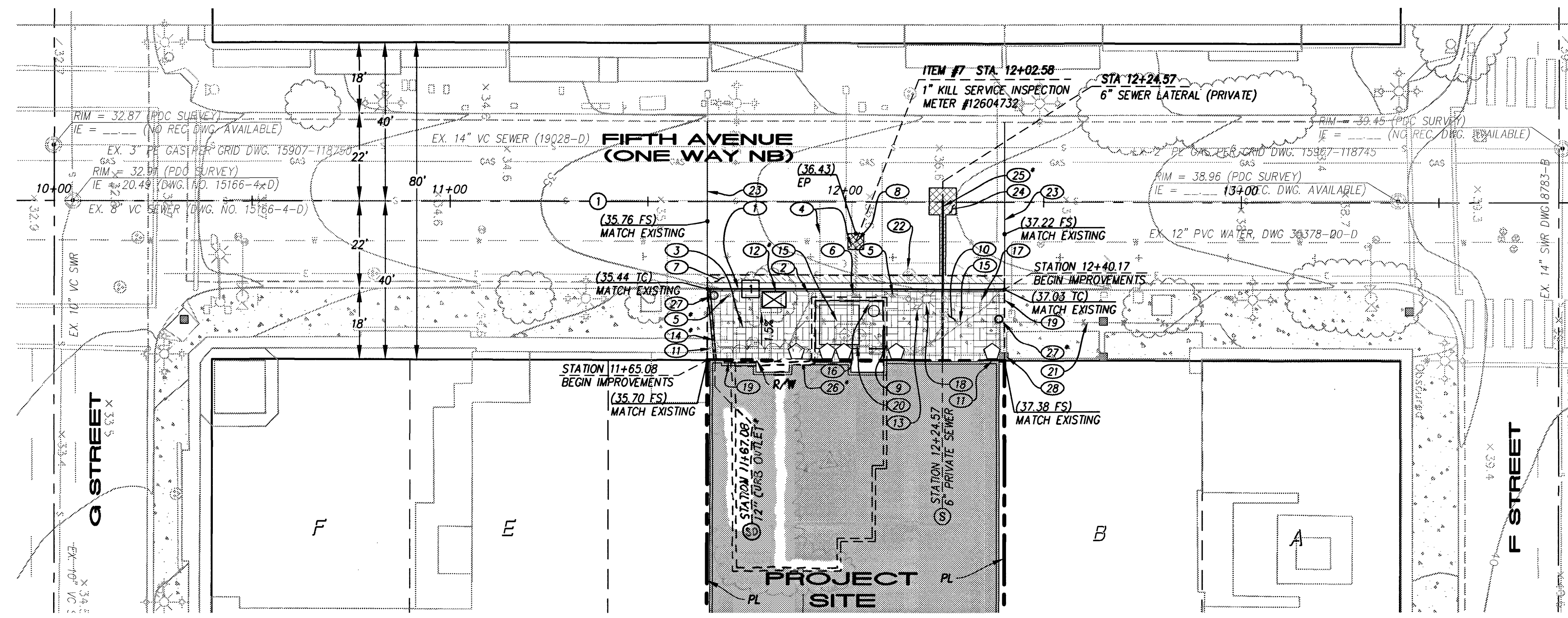


CURB PROFILE: FIFTH AVENUE
 SCALES: 1"=20' HORIZ. 1"=4' VERT.



PROFILE: 6" PVC SEWER LATERAL AT STA. 12+24.57 (PRIVATE)
 SCALES: 1"=20' HORIZ. 1"=4' VERT.

- PROFILE KEY NOTES:**
- (A) CONTRACTOR TO REFER TO BUILDING PLANS PTS. NO. 625242 FOR CONTINUATION OF PROPOSED 6" SEWER LATERAL.
 - (B) EXISTING INVERT PER POTHOLE REPORT BY UNDERGROUND SOLUTIONS, DATED AUGUST 1, 2017.
 - (C) MAINTAIN 1.0-FT. MINIMUM VERTICAL SEPARATION FROM EXISTING UTILITY LINES.



PLAN: FIFTH AVENUE
 SCALE: 1"=20'

KEY NOTES

- 1 EXISTING CURB AND GUTTER TO BE REMOVED AND REPLACED WITH TYPE 'G' CURB AND GUTTER PER SDG-150.
- 2 EXISTING COX HANDHOLE TO BE RELOCATED PER SEPARATE WORK ORDER. CONTRACTOR TO COORDINATE WITH UTILITY OWNER.
- 3 EXISTING SDG&E VAULT TO BE REMOVED UNDER SEPARATE SDG&E WORK ORDER. CONTRACTOR TO COORDINATE.
- 4 EXISTING SEWER LATERAL TO BE CAPPED OUTSIDE SHORING LIMITS PER CITY STANDARD. REMOVE CLEAN OUTS AND PORTIONS OF SEWER LATERAL WITHIN LIMITS OF WORK. CONTRACTOR TO COORDINATE AND PERFORM NECESSARY WORK.
- 5 EXISTING PARKING METER TO BE REMOVED, SALVAGED, AND RETURNED TO THE CITY OF SAN DIEGO. CONTRACTOR TO INSTALL NEW/SALVAGED PARKING METERS AS NECESSARY PER SHEET 8.
- 6 EXISTING WATER METER AND WATER METER BOX REMOVED PER DRAWING NO. 22862-D. THE CONTRACTOR SHALL SALVAGE THE EXISTING WATER METER AND COORDINATE THE DELIVERY OF THE SALVAGED WATER METER TO THE CITY.
- 7 PROPOSED SCHEDULE 'J' PAVEMENT PER SDG-113. (TYP.)
- 8 THE CONTRACTOR SHALL KILL THE EXISTING 1" WATER SERVICE AT THE MAIN PER CITY STANDARDS. THE CONTRACTOR SHALL COORDINATE WITH CITY FORCES FOR THE 1" KILL SERVICE INSPECTION.
- 9 EXTERIOR LIMITS OF PROPOSED SUBTERRANEAN TRANSFORMER VAULT AND ASSOCIATED VAULT ACCESS HATCH. SEE BUILDING PLANS FOR STRUCTURAL DETAIL AND CONTINUATION OF VAULT (PTS #625242).
- 10 EXISTING SIDEWALK TO BE REMOVED AND REPLACED PER SDG-155 AND LANDSCAPING PLANS.
- 11 EXISTING AT&T HANDHOLE TO BE REMOVED AND RELOCATED AS NECESSARY PER SEPARATE WORK ORDER.
- 12 EXISTING TREE AND GRATE TO BE DEMOLISHED AND REMOVED BY CONTRACTOR PER SEPARATE TREE REMOVAL PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT. REPLACE TREE AND TREE GRATE PER LANDSCAPING PLANS.
- 13 EXISTING STREET LIGHT PULL BOX TO REMAIN. THE CONTRACTOR TO PROTECT IN PLACE DURING CONSTRUCTION.
- 14 PROPOSED MODIFIED CURB OUTLET, SEE SHEET 4 FOR DETAILS.* 0=0.63 CFS, V=2.51 FPS.
- 15 EXISTING FENCE, FENCE POSTS, AND FENCE POST FOOTINGS TO BE DEMOLISHED AND REMOVED BY CONTRACTOR PER SEPARATE DEMOLITION PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT.
- 16 EXISTING SDG&E GAS VAULT TO BE REMOVED. GAS LINE TO BE ABANDONED PER SDG&E STANDARDS AND HARDWARE TO BE RETURNED TO SDG&E.
- 17 EXISTING SDG&E ELECTRICAL VAULT TO REMAIN. THE CONTRACTOR TO PROTECT IN PLACE DURING CONSTRUCTION. REPLACE LID WITH NON-METAL LID.
- 18 EXISTING STREET LIGHT TO REMAIN. THE CONTRACTOR SHALL PROTECT IN PLACE DURING CONSTRUCTION, OR REMOVE, STORE AND REINSTALL PRIOR TO THE COMPLETION OF CONSTRUCTION AND WITH THE PERMISSION OF THE CITY RESIDENT ENGINEER.
- 19 EXISTING ROOF DRAIN AND HANDHOLE TO BE DEMOLISHED AND DISPOSED OF BY CONTRACTOR PER SEPARATE DEMOLITION PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT.
- 20 EXISTING GREASE INTERCEPTOR VAULT TO BE DEMOLISHED AND DISPOSED OF BY CONTRACTOR PER SEPARATE DEMOLITION PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT.
- 21 EXISTING FENCE, FENCE POSTS, AND FENCE POST FOOTINGS TO REMAIN. THE CONTRACTOR TO PROTECT IN PLACE DURING CONSTRUCTION AND SHORING OPERATIONS.
- 22 EXISTING AT&T MANHOLE TO REMAIN. THE CONTRACTOR SHALL PROTECT IN PLACE DURING CONSTRUCTION AND SHORING OPERATIONS.
- 23 PROPOSED CURB-TO-CURB SLURRY SEAL PER CITY STANDARDS
- 24 PROPOSED TRENCH RESURFACING PER SDG-107. (TYP.)
- 25 PROPOSED PRIVATE 6" SEWER LATERAL PER SDS-102, SDS-103, SDS-105, & SDS-110. SEE EMRA 1882335.*
- 26 PROPOSED PLANTER PER LANDSCAPING PLANS. (TYP.)*
- 27 PROPOSED TRASH RECEPTACLE PER LANDSCAPING PLANS. (TYP.)*
- 28 EXISTING SURVEY MONUMENT, PER PLAN, TO BE DESTROYED DURING AND REPLACED AFTER CONSTRUCTION.

CURB OUTLET DATA					
CL @ CURB	Δ (")	Q ₁₀₀ (CFS)	V ₁₀₀ (FPS)	FL @ PL	
11+65.42	12" CHANNEL	9"	0.63	2.51	35.28

GENERAL NOTES:
 1. WHERE REQUIRED BY THE CITY RESIDENT ENGINEER, ADDITIONAL AC OVERLAY WILL BE REQUIRED TO JOIN AND MATCH INTO EXISTING PAVEMENT IN ORDER TO OBTAIN A SMOOTH TRANSITION.
 2. ALL EXISTING UNUSED SEWER LATERALS SHALL BE PLUGGED AT PROPERTY LINE BY CONTRACTOR.

CAUTION !!!
 EXACT LOCATION AND DEPTH OF EXISTING UTILITIES IS UNKNOWN. CONTRACTOR TO VERIFY AND PROTECT DURING CONSTRUCTION.

NOTE:
 CONTRACTOR TO ADJUST TO FINAL GRADE ALL EXISTING STRUCTURES, MANHOLE RIMS, GATE VALVE LIDS, ETC. IN ROADWAY.

NOTE TO CONTRACTOR:
 CONTACT ENGINEER OF WORK PRIOR TO INSTALLATION OF ALL BMP'S. INSPECTIONS BY ENGINEER OF WORK DURING AND/OR AFTER INSTALLATION MAY BE REQUIRED.

CAUTION !!!
 EXIST. UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SCHEMATIC IN NATURE. THE PLANS MAY NOT REFLECT ALL EXISTING UTILITIES. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF WORK AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES.

***NOTE:**
 FOR PRIVATE ENHANCED PAVING, TRASH RECEPTACLE, CURB OUTLET, STREET TREES, TREE GRATE, PLANTERS, AND SEWER LATERAL IN PUBLIC RIGHT OF WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT APPROVAL NO. 1882335 (2)

PRIVATE SEWER LATERAL TABLE							
STREET	I.E. AT MAIN	DROP TO MAIN (RISE)	LENGTH IN FEET	SLOPE %	I.E. OF LAT. @ PROP. R/W	STATION #	REMARKS
FIFTH AVENUE	30.49'	1.2'	40.25	2.0	32.49	12+24.57	6" PVC LATERAL

EXISTING WATER METER REMOVAL TABLE			
ITEM NO.	ADDRESS	SERIAL NO.	METER SIZE
7	729 05TH AVE	12604732	1"

CENTER LINE DATA				
NO.	DELTA OR BRG.	RADIUS(I)	LENGTH(I)	REMARKS
(T)	N00°07'36"E	---	391.93	EXISTING CL

CURB DATA				
NO.	DELTA OR BRG.	RADIUS(I)	LENGTH(I)	REMARKS
(L)	N00°07'36"E	---	75.09	6" TYPE 'G' CURB & GUTTER

NOTE:
 ALL VAULT LIDS TO BE NON-METAL UNLESS OTHERWISE SPECIFIED. VAULT LIDS WITHIN SIDEWALK TO BE FILL-TYPE LID TO MATCH PROPOSED SIDEWALK MATERIAL.



PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Survey

701 B Street, Suite 900
 San Diego, CA 92101
 619.238.0471 Fax
 619.234.0549 Fax

Gregory M. Shields, R.C.E. 42951
 DATE REGISTRATION 5-8-19
 EXPIRES 3-31-20

DESIGNED BY: [Signature]
 PM REVIEW: [Signature]
 SURVEY REVIEW: [Signature]

PRIVATE CONTRACT
 IMPROVEMENT PLANS FOR:

FIFTH AVENUE
 BETWEEN F STREET & G STREET

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 5 OF 21 SHEETS

P.T.S. NO. 533254
 V.T.M. NO. N/A

FOR CITY ENGINEER: [Signature] DATE: 5/9/19

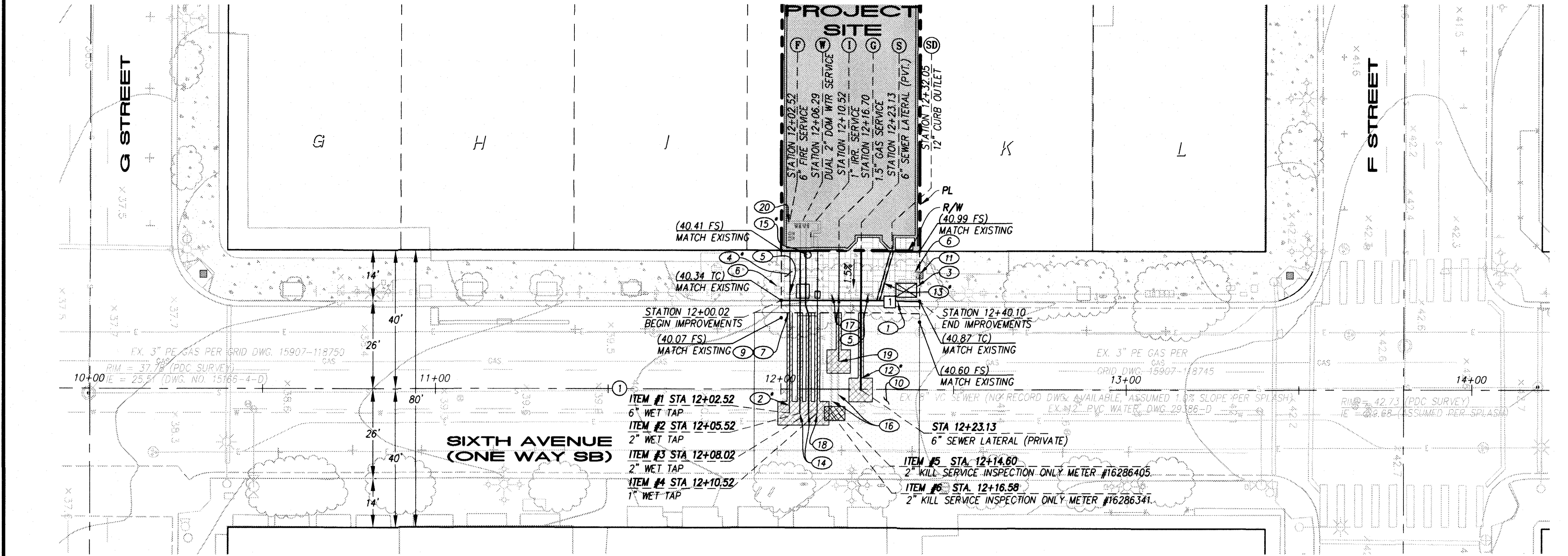
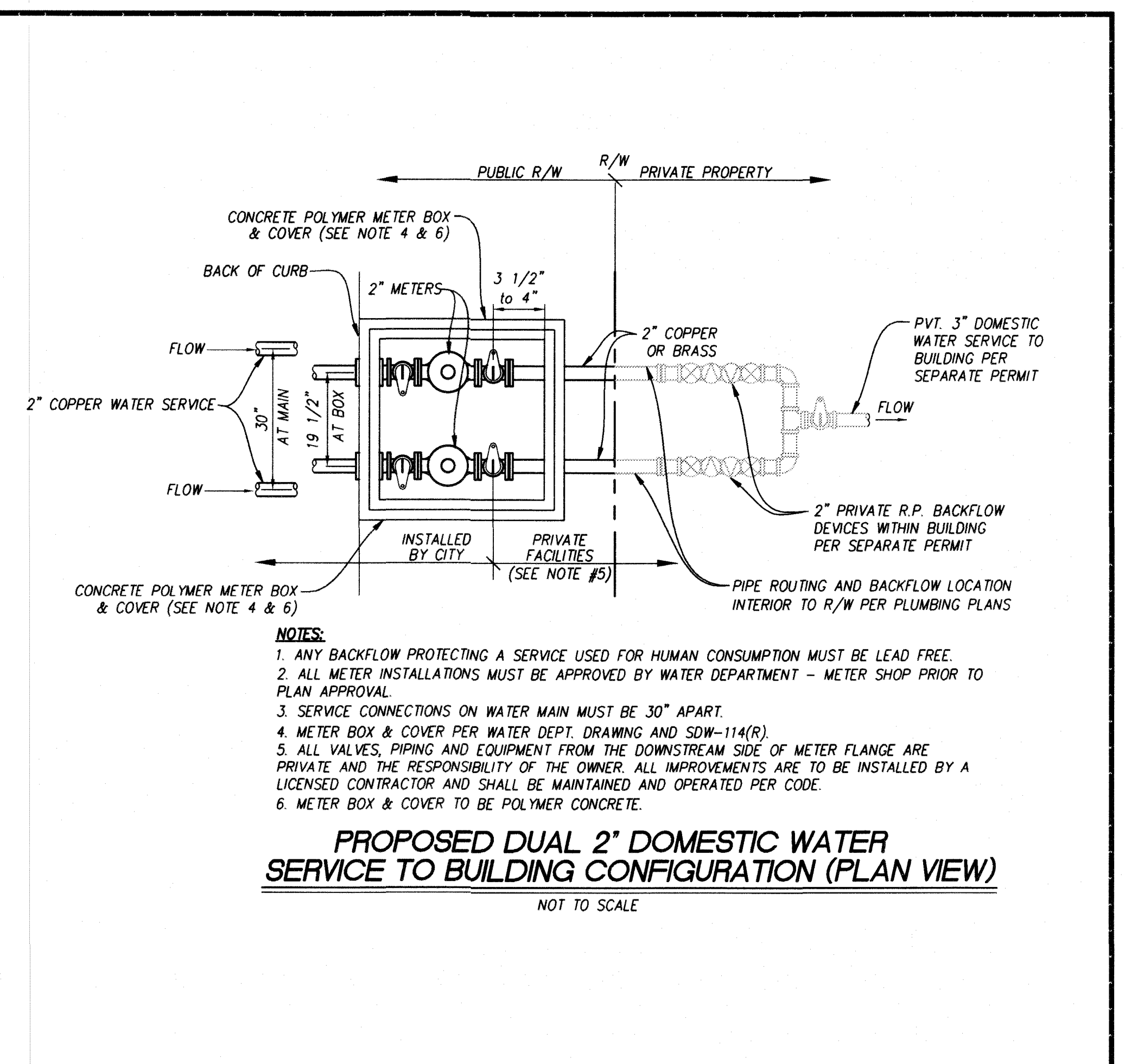
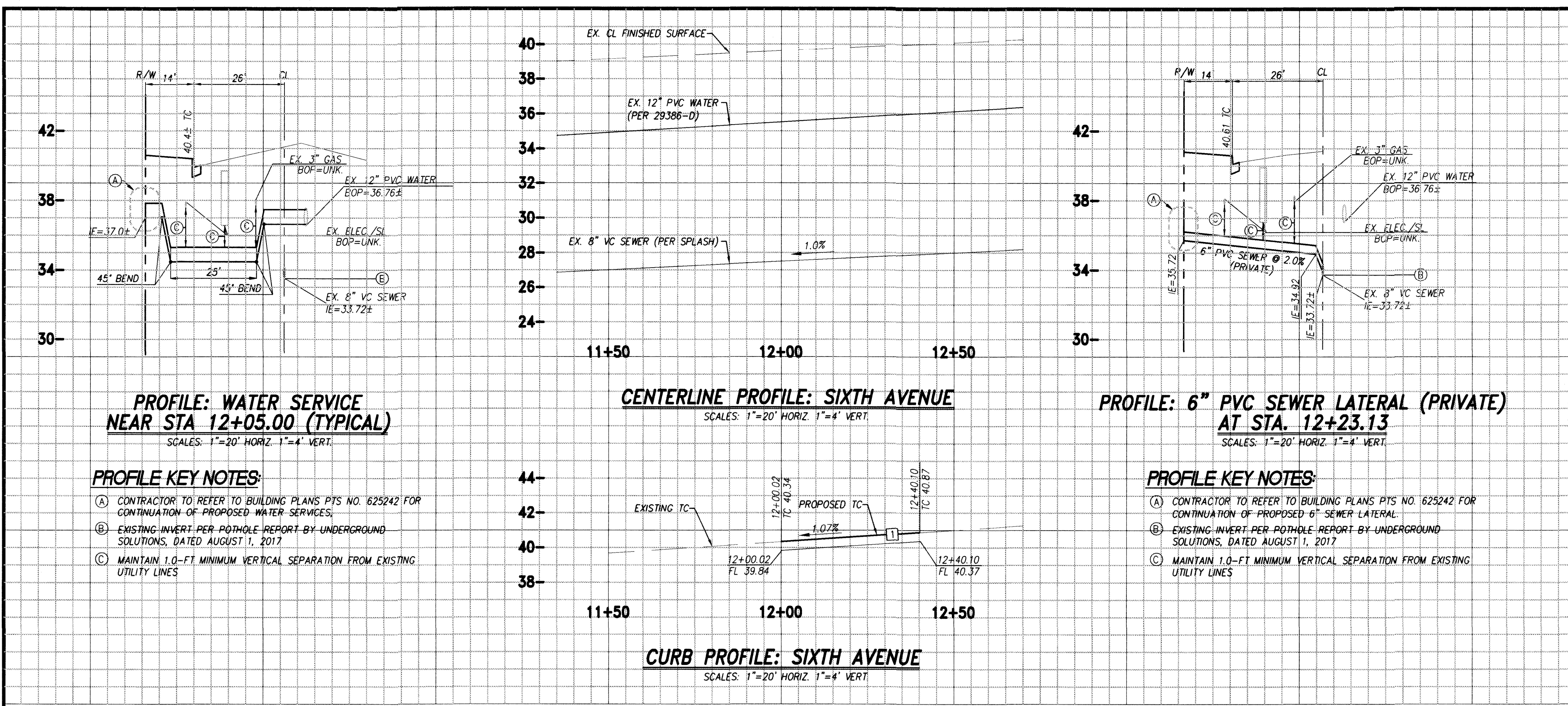
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ORIGINAL	PDC	[Signature]		
AS-BUILTS				

CONTRACTOR: [Signature] DATE STARTED: [Blank] DATE COMPLETED: [Blank]

INSPECTOR: [Signature]

1838-6279
 NAD83 COORDINATES
 198-1719
 LAMBERT COORDINATES

39931- 5-D



KEY NOTES

- EXISTING CURB AND GUTTER TO BE REMOVED AND REPLACED PER SDG-150.
- PROPOSED 6" WATER SERVICE. SEE BUILDING PLANS FOR BACKFLOW DEVICE.
- EXISTING TREE AND GRATE TO BE REMOVED & REPLACED PER LANDSCAPING PLANS.
- EXISTING SIDEWALK TO BE REMOVED AND REPLACED PER SDG-155 AND LANDSCAPING PLANS.
- EXISTING PARKING METER TO BE REMOVED, SALVAGED, AND RETURNED TO THE CITY OF SAN DIEGO. CONTRACTOR TO INSTALL NEW/SALVAGED PARKING METERS AS NECESSARY PER SHEET 8.
- EXISTING ROOF DRAIN AND HANDHOLE TO BE DEMOLISHED AND DISPOSED OF BY CONTRACTOR PER SEPARATE DEMOLITION PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT.
- PROPOSED SCHEDULE "J" PAVEMENT PER SDG-113.
- LIMITS OF PROPOSED GRIND AND OVERLAY AC PER CITY STANDARDS.
- PROPOSED SAWCUT LINE. (TYP.)
- PROPOSED SLURRY SEAL PER CITY STANDARDS
- EXISTING SURVEY MONUMENT, PER PLAN, TO BE DESTROYED DURING AND REPLACED AFTER CONSTRUCTION
- PROPOSED 6" PRIVATE SEWER LATERAL. *SEE EMRA 1882335.
- PROPOSED MODIFIED CURB OUTLET. SEE SHEET 4 FOR ADDITIONAL INFORMATION. Q=0.46 CFS, V=1.84 FPS. *SEE EMRA 1882335.
- PROPOSED DUAL 2" METER DOMESTIC WATER SERVICE. SEE BUILDING PLANS FOR BACKFLOW DEVICE
- PROPOSED TRASH RECEPTACLE PER LANDSCAPING PLANS. *SEE EMRA 1882335.
- KILL SERVICE FOR WATER SERVICE TO METERS 16286405, 16286341.
- REMOVE AND SALVAGE ASSOCIATED WATER METERS TO CITY OF SAN DIEGO (WATER METERS 16286405, 16286341).
- PROPOSED 1" IRRIGATION SERVICE & 3/4" METER WITH NON-METAL LID. CONTRACTOR SHALL COORDINATE WITH CONNECTION AND WATER METER INSTALLATION WITH CITY FORCES. SEE IRRIGATION PLANS FOR CONTINUATION AND BACKFLOW DEVICE.
- PROPOSED 1.5" GAS LINE TO BE COORDINATED WITH AND CONSTRUCTED PER SDG&E STANDARDS.
- PRIVATE BACKFLOW ALCOVE PER BUILDING PLAN, PLS 625242. SEE PLUMBING PLAN SHEET P3.04 FOR DETAIL/CONTINUATION.

BACKFLOW DEVICE TABLE (FOR REFERENCE ONLY)

ITEM NO.	SERVICE TYPE	SIZE	BFP TYPE	MODEL	LOCATION
1	FIRE	6"	RPDA	ZURN 475DAV*	INTERNAL BACKFLOW
2	DOMESTIC	(2) 2"	RP	ZURN 975XL2*	ALCOVE IN SE CORNER OF BLDG*
3	IRRIGATION	3/4"	RP	ZURN 3975XL2*	

*REFER TO PLUMBING PLANS FOR DEVICE MAKE, MODEL, AND LOCATION.

NOTE:
 ALL VAULT LIDS TO BE NON-METAL UNLESS OTHERWISE SPECIFIED. VAULT LIDS WITHIN SIDEWALK TO BE FILL-TYPE LID TO MATCH PROPOSED SIDEWALK MATERIAL.

NOTE TO CONTRACTOR:
 CONTACT ENGINEER OF WORK PRIOR TO INSTALLATION OF ALL BMP'S. INSPECTIONS BY ENGINEER OF WORK DURING AND/OR AFTER INSTALLATION MAY BE REQUIRED.

NOTE:
 CONTRACTOR TO ADJUST TO FINAL GRADE ALL EXISTING STRUCTURES, MANHOLE RIMS, GATE VALVE LIDS, ETC. IN ROADWAY.

CAUTION !!!
 EXIST. UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SCHEMATIC IN NATURE. THE PLANS MAY NOT REFLECT ALL EXISTING UTILITIES. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF WORK AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES.

***EMRA NOTE:**
 FOR PRIVATE ENHANCED PAVING, BICYCLE RACKS, BUILDING STOPS, STORM DRAIN, STREET TREES, TRASH RECEPTACLE, PLANTERS, DRIVEWAY, PLANTING AREAS & IRRIGATION, WATER, FIRE, AND SEWER LATERALS IN PUBLIC RIGHT OF WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT APPROVAL NO. 1882335. (X)*

CAUTION !!!
 EXACT LOCATION AND DEPTH OF EXISTING UTILITIES IS UNKNOWN. CONTRACTOR TO VERIFY AND PROTECT DURING CONSTRUCTION.

PRIVATE SEWER LATERAL TABLE

STREET	I.E. AT MAIN	DROP TO MAIN (RISE)	LENGTH IN FEET	SLOPE %	I.E. OF LAT. @ PROP. R/W	STATION #	REMARKS
SIXTH AVENUE	33.72'	1.2'	40.21	2	35.72	12+23.13	6" PVC LATERAL

CENTER LINE DATA

NO.	DELTA OR BRG.	RADIUS (ft)	LENGTH (ft)	REMARKS
1	N00°06'37"E	---	392.20	EXISTING CL

CURB OUTLET DATA

CL @ CURB	Δ (°)	Q ₁₀₀ (CFS)	V ₁₀₀ (FPS)	FL @ PL
12+28.09	12° CHANNEL	15'	0.46	1.84
				39.97

EXISTING WATER METER REMOVAL TABLE

ITEM NO.	ADDRESS	SERIAL NO.	METER SIZE
6	731 05TH AVE	16286405	1-1/2"
5	743 05TH AVE	16286341	1-1/2"

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Survey

GREGORY M. SHIELDS, R.C.E. 42951
 DATE REGISTRATION EXPIRES 3-31-20

701 B Street, Suite 800
 San Diego, CA 92101
 619.235.6471 Tel
 619.234.0549 Fax

DESIGNED BY: [Signature]
 PM REVIEW: [Signature]
 SURVEY REVIEW: [Signature]

PRIVATE CONTRACT

IMPROVEMENT PLANS FOR:

SIXTH AVENUE
 BETWEEN F STREET & G STREET

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 6 OF 21 SHEETS

P.T.S. NO. 533254
 V.T.M. NO. N/A

FOR CITY ENGINEER: [Signature] DATE: 5/9/19

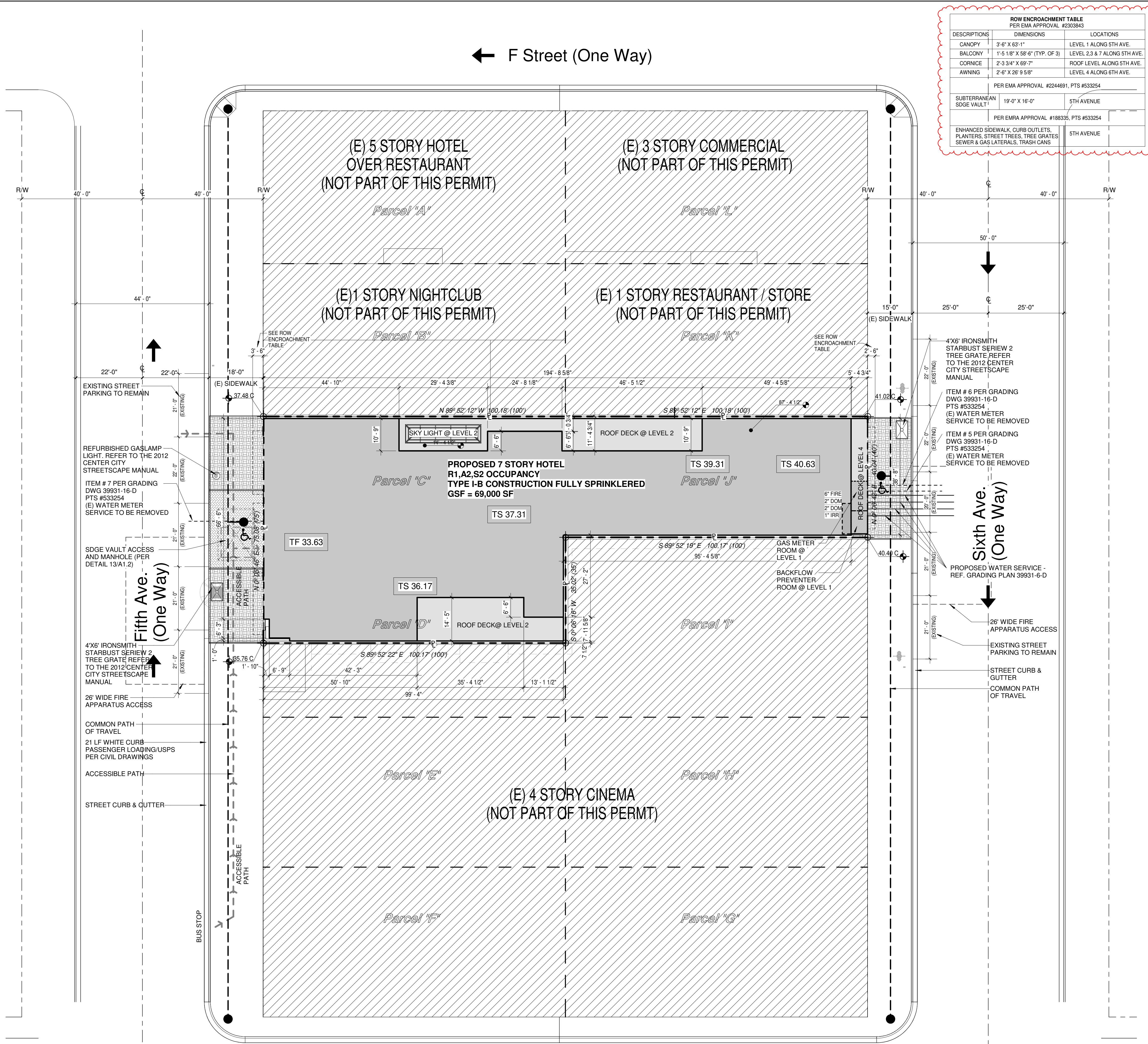
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	PDC			

AS-BUILTS

CONTRACTOR: _____ DATE STARTED: _____
 INSPECTOR: _____ DATE COMPLETED: _____

39931- 6-D

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ROW ENCROACHMENT TABLE PER EMA APPROVAL #2303843		
DESCRIPTIONS	DIMENSIONS	LOCATIONS
CANOPY	3'-6" X 83'-1"	LEVEL 1 ALONG 5TH AVE.
BALCONY	1'-5 1/8" X 58'-6" (TYP. OF 3)	LEVEL 2, 3 & 7 ALONG 5TH AVE.
CORNICE	2'-3 3/4" X 69'-7"	ROOF LEVEL ALONG 5TH AVE.
AWNING	2'-6" X 26' 9 5/8"	LEVEL 4 ALONG 6TH AVE.
PER EMA APPROVAL #2244691, PTS #533254		
SUBTERRANEAN SDGE VAULT	19'-0" X 16'-0"	5TH AVENUE
PER EMA APPROVAL #188335, PTS #533254		
ENHANCED SIDEWALK, CURB OUTLETS, PLANTERS, STREET TREES, TREE GRATES, SEWER & GAS LATERALS, TRASH CANS		5TH AVENUE

SITE PLAN LEGEND:

- PROPERTY LINE
- COMMON PATH OF TRAVEL
- ACCESSIBLE PATH
- ACCESSIBLE ENTRANCE SIGNAGE
- UPPER ROOF (7 STORY)
- LOWER ROOF (LEVEL 2 & LEVEL 4)
- EXISTING ADJACENT PROPERTY BUILDINGS N.I.C. FOR REFERENCE ONLY
- FIRE LANE RED CURBS / WHITE LETTERING "NO PARKING - FIRE LANE" ON PUBLIC STREETS. EXACT LOCATION TO BE DETERMINED BY SAN DIEGO FIRE DEPARTMENT AND TRAFFIC ENGINEERING DIVISION.
- 3 MINUTES VALET ZONE

GENERAL NOTES:

1. THE ADJOINING PRIVATE PROPERTIES SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. PROTECTION SHALL BE PROVIDED FOR FOOTINGS, FOUNDATIONS, EXTERIOR WALLS AND ROOF. WRITTEN NOTICE TO THE OWNERS OF ADJOINING PROPERTIES SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION/CONSTRUCTION WORKS - SEE CBC 3307. 1
2. ALL IMPROVEMENTS WITHIN THE CITY PUBLIC RIGHT OF WAY OR ENCROACHING OVER CITY EASEMENTS REQUIRE A SEPARATE "RIGHT OF WAY PERMIT".
3. BASEMENT LEVEL FLOOR PLAN AND BUILDING'S CROSS SECTIONS SHOW AREAS OF THE NEW PROPOSED STRUCTURES ENCROACHING THE P.L. ON THE NORTH & EAST SIDES OF THE BUILDING. STRUCTURAL REVIEWER WILL NOT SIGNOFF UNTIL ENCROACHMENT RW PERMIT REVIEW IS COMPLETED BY LDR ENGINEERING.
4. ALL PUBLIC IMPROVEMENTS TO BE CONSTRUCTED PER GRADING DWG 39931-D - PTS#533254, ADJACENT TO THE SITE ON 5TH AND 6TH AVENUE.
5. THE PROPOSED BUILDING IS UNDER PERMIT NUMBER 2234124 AND PTS 625242 APPROVED ON 07/09/2019.

	TOTAL	REF	AVERAGE GRADE PLANE
DISTURBANCE AREA (NO CHANGE)	0.34 AC	CIVIL 39931-15-D	41.02
BUILDING FOOTPRINT (LOT SIZE)	11,014 SF		40.40
GRADING AREA (NO CHANGE)	11,500 SF		35.76
SLURRY SEAL (NO CHANGE)	N/A		37.48
LANDSCAPE (SIDEWALK)	2,000 SF		154.66 / 4 = 38.66

IMPERVIOUS AREA	EXISTING	PROPOSED	TOTAL	REF
	11,014 SF	100%	11,014 SF	

	MAX	PROPOSED	TOTAL	REF
CUT QUANTITIES	SLOPE RATIO (2:1MAX)	9.132 [CYD]	9.132 [CYD]	CIVIL 39931-15-D
FILL QUANTITIES	FILL DEPTH	0	0	CIVIL 39931-15-D
EXPORT QUANTITIES		9.132 [CYD]	9.132 [CYD]	CIVIL 39931-15-D
IMPORT QUANTITIES		0	0	CIVIL 39931-15-D

- AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED TO PROTECT COMMERCIAL-TYPE FOOD HEATING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS AND SHALL COMPLY WITH 2016 CFC, CMIC AND 2016 NEPA 17A. REVIEW AND APPROVAL OF A HOOD AND DUCT EXTINGUISHING SYSTEM PLAN IS REQUIRED PRIOR TO INSTALLATION OR USE OF COOKING EQUIPMENT.
- IRRIGATION SYSTEMS SHALL BE DESIGNED AND MAINTAINED TO PREVENT SPRAY ON STRUCTURES.
- IF THIS BUILDING DOES NOT MEET THE SIGNAL STRENGTH REQUIREMENT OF -95dB INTO AND OUT OF THE BUILDING IN 95% OF THE ALL AREAS ON EACH FLOOR OF THE BUILDING, A RADIATING CABLE SYSTEM, A DISTRIBUTED ANTENNA SYSTEM WITH FCC CERTIFIED SIGNAL BOOSTERS, OR OTHER SYSTEM APPROVED BY THE SAN DIEGO FIRE DEPARTMENT WILL BE PROVIDED TO ACHIEVE THE REQUIRED COVERAGE.
- FOR GRADING/PUBLIC IMPROVEMENT APPROVAL PLEASE SEE PTS 533254, 39931-D. PRIOR TO BUILDING PERMIT APPROVAL, THE GRADING/PUBLIC IMPROVEMENT PERMIT MUST BE ISSUED.

"I am the designer/owner in responsible charge of this project and verify that the project will comply fully with the applicable accessibility requirements to the extent required by law.
 Print Name: _____ Date: _____
 Signature: _____ Date: _____

ATTACHMENT 10

TUCKER SADLER
 1620 5th Ave, Suite 200 San Diego, Ca 92101
 (P) 619 . 236 . 1662 (F) 619 . 236 . 9267

AC Hotel - Gaslamp
 743 5TH AVENUE, SAN DIEGO, CA 92101

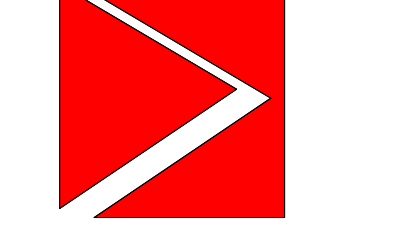
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	CUP SUBMITTAL	11/12/2019



SHEET TITLE:
SITE PLAN

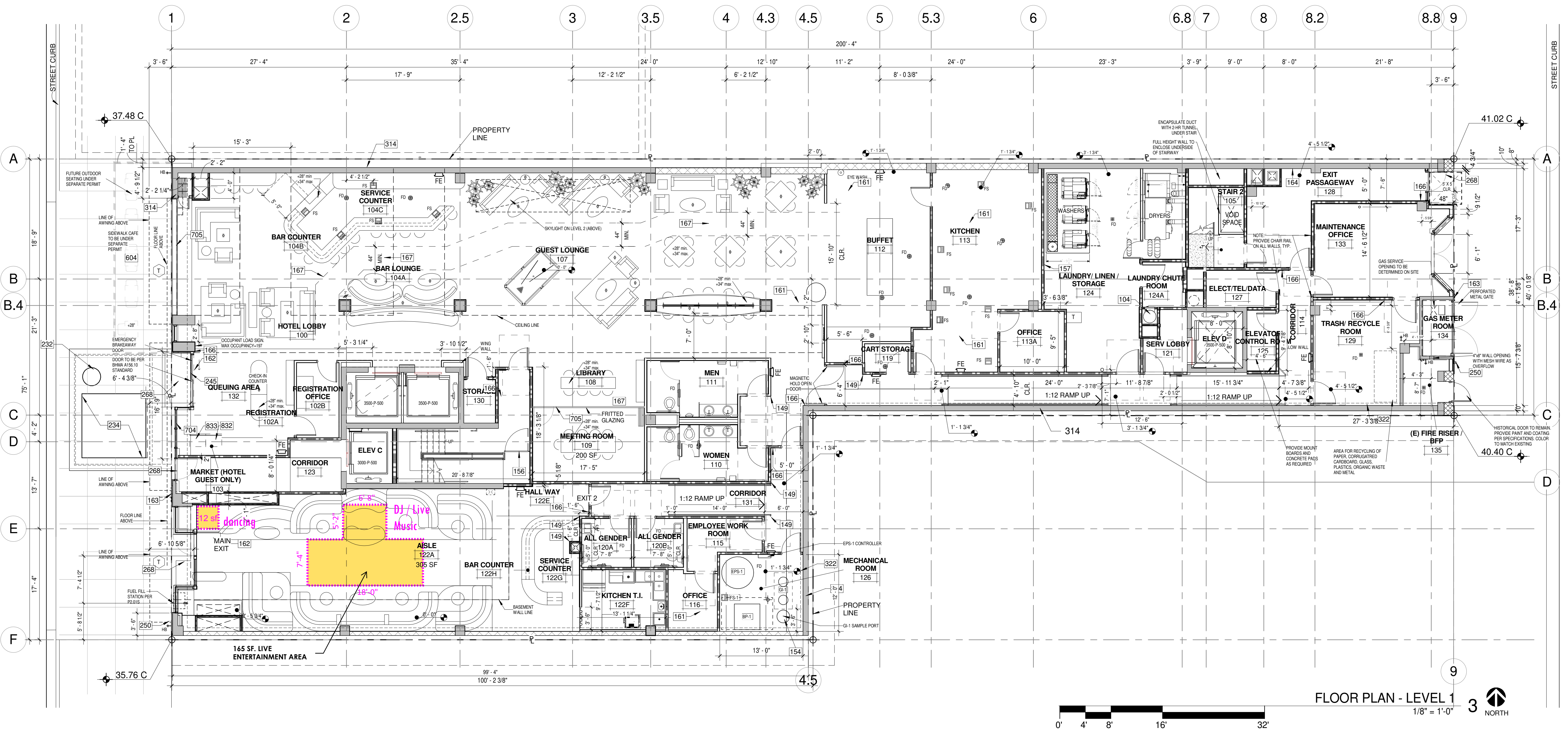
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DATE ISSUED: 01/04/2019	CHECKED BY: DM
DRAWING DWG OF	DRAWING NUMBER A1.0

SITE PLAN
 1/16" = 1'-0"



AC Hotel - Gaslamp
743 5TH AVENUE, SAN DIEGO, CA 92101

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THE DRAWING ARE OWNED BY AND THE PROPERTY OF TUCKER SADLER ARCHITECTS, INC. ARCHITECTS AND PLANNING CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TUCKER SADLER ARCHITECTS, INC. FILING THESE DRAWINGS OR SPECIFICATIONS WITH ANY PUBLIC AGENCY IS NOT PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF TUCKER SADLER ARCHITECTS, INC.



FLOOR PLAN - LEVEL 1
1/8" = 1'-0" NORTH

KEYNOTES - DEFERRED ITEMS

- 704 STOREFRONT/CURTAIN WALLS - DEFERRED ITEM (SEE SHEET T2.0 AND A8.10)
- 705 SLIDING GLASS WALL SYSTEM, PANDA SLIDING GLASS DOOR - DEFERRED ITEM

KEYNOTES - SEPARATE PERMIT

- 604 SIDEWALK CAFE PER SEPARATE PERMIT (SHOWN FOR REFERENCE ONLY)
- 605 LEASED SPACE - TENANT IMPROVEMENT PER SEPARATE PERMIT (FOR REFERENCE ONLY)

KEYNOTES

- 104 2HR RATED SHAFT WALL PER SCHEDULE
- 149 48" HIGH CORNER GUARD
- 150 2"X 4"WHEEL GUARD
- 154 MANHOLE ACCESS TO GREASE INTERCEPTOR (GI-1) PER P2.00
- 156 3'-4" HIGH GATE WITH .NOT AN EXIT- SIGN
- 157 TRAP PRIMER ACCESS PANEL(REFER TO PLUMBING DRAWINGS FOR SIZE REQUIREMENTS)
- 161 36" CLEAR MIN. WIDTH EMPLOYEE WORK AREA ACCESSIBLE ROUTE CONNECTED BY COMMON CIRCULATION PATH
- 162 SIGNAGE "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". NO SMOKING SIGNAGE
- 164 FLOOR IDENTIFICATION SIGN AT THE EXIT DISCHARGE LEVEL, THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR
- 166 TACTILE EXIT SIGNS COMPLYING WITH CBC 11B-703 PER REF. 16/A4.30
- 167 PROVIDE 44" MINIMUM CLEAR WIDTH OF THE AISLES LEADING TO EXITS OR EXIT ACCESS DOORWAYS
- 232 (E) - 34" DIA. MANHOLE WITH PERSONNEL ACCESS
- 234 (E) - 10'-0" x 10'-0" EQUIPMENT OPENING IN SIDEWALK
- 245 AUTOMATIC SLIDING ENTRANCE DOOR WITH EMERGENCY BREAKOUT FEATURE, 120 VAC, 5 AMP POWER REQUIRED
- 250 COW TONGUE DOWNSPOUT NOZZLE - PAINTED BLACK
- 268 EXTERIOR GROUND-FLOOR ENTRANCE/ EXIT DOORS, DOORWAYS, AND GATES TO BUILDING AND FACILITIES, TO COMPLY WITH CBC 11B-404/ CBC 11B-206.4. EXTERIOR LANDING SLOPES NOT TO EXCEED 1:48, PER CBC 1010.1.5. PROVIDE NON-ABSORBENT WALL AND FLOOR FINISHES WITHIN AT LEAST 2 FEET PERPENDICULAR AROUND THE ENTRY, PER CALGREEN 5.407.2.2.1
- 269 PROVIDE PIPE FLUE TERMINATION CAP AND PIPE WALL BRACKET FOR 6" DIAMETER GENERATOR FLUE PIPE PER MECHANICAL
- 314 CONCRETE WALL PER STRUCTURAL
- 322 CONCRETE BEARING WALL BELOW FLOOR (PER STRUCTURAL)
- 832 DISPLAY FREEZER TO COMPLY WITH CBC SECTION 11B-309
- 833 SELF-SERVICE REFRIGERATED MECHANISER TO COMPLY WITH CBC SECTION 11B-309

GENERAL NOTES:

- ALL EXTERIOR WALLS DIMENSIONS ARE TO FACE OF SHEATHING. UNLESS DETAILS SHOW OTHERWISE. ALL INTERIOR DIMENSIONS ARE TO FACE OF DRYWALL, U.O.N.
- PROVIDE HIGH AND LOW LEVEL EXIT SIGNS AT ALL STAIR DOORS.
- PROVIDE INSULATION FOR ALL HOT WATER PIPING, SEE PLUMBING.
- AN ELEVATOR CAPABLE OF ACCOMMODATING AN AMBULANCE STRETCHER OR GURNIEY IS REQUIRED AND SHALL BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL FOR EMERGENCY/MEDICAL SERVICES (STAR OF LIFE) SIGNAGE COMPLYING WITH SECTION 3002.4 OF THE CALIFORNIA BUILDING CODE.
- PROVIDE CURBS, CRICKETS AS REQUIRED TO ENSURE FLOW OF WATER AWAY FROM EQUIPMENTS AND TOWARDS DRAIN.
- THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF INSTALLED HAND-HELD PORTABLE FIRE EXTINGUISHERS SHALL NOT BE LESS THAN 4 INCHES.
- THROUGH PENETRATIONS OF THE FIRE RATED ASSEMBLY OF AN INTERIOR EXIT STAIR ENCLOSURE ARE PROHIBITED.
- THROUGH PENETRATIONS OF THE FIRE RATED ASSEMBLY OF AN EXIT PASSAGEWAY ARE PROHIBITED.

ACCESSIBILITY NOTES:

- HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.
- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINK SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS, PER CBC 11B-606.5.
- OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM, PER CBC 11B-309.4.
- ALL OPERABLE PARTS ON ACCESSIBLE ELEMENTS, ACCESSIBLE ROUTES, AND IN ACCESSIBLE ROOMS AND SPACES, SHALL BE ACCESSIBLE AND COMPLY WITH REQUIREMENTS FOR REACHABLE HEIGHT, FORWARD PARALLEL APPROACH CLEAR FLOOR SPACE, AND OPERATION, PER CBC 11B-205.1, 11B-309

WALL SCHEDULE GENERAL NOTES:

- WHERE FIRE RATED WALL ASSEMBLIES INTERSECT NON-RATED PARTITIONS, THE FIRE RATED WALL ASSEMBLY SHALL BE CONTINUOUSLY CONSTRUCTED THROUGH THE INTERSECTION.
- AT WALL INTERSECTIONS WHERE TWO FIRE-RATED WALLS CROSS, THE HIGHER FIRE-RATED WALL ASSEMBLY SHALL BE CONTINUOUSLY CONSTRUCTED THROUGH THE INTERSECTION.
- IN WET AREAS - RESTROOMS AND SHOWER AREAS, WHERE WALLS REQUIRE TILE FINISH, USE FIBER-MAT "DENSGLASS SHEATHING" IN LIEU OF TYPE "X" GYPSUM BOARD AND MATCH THE FIRE RATINGS AS REQUIRED PER PLAN. SEE RESTROOM ELEVATIONS.
- FOR EXTERIOR WALLS, USE FIBER-MAT "DENSGLASS SHEATHING" IN LIEU OF TYPE "X" GYPSUM BOARD AND MATCH THE FIRE RATINGS AS REQUIRED PER PLAN. SEE EXTERIOR ELEVATIONS.
- REFER TO NEW SHEET A10.5 & A10.6 FOR FIRE RATED DUCT SYSTEM - ALTERNATIVE TO 2HR SHAFT WALL (WALL TYPE S1 & S2)

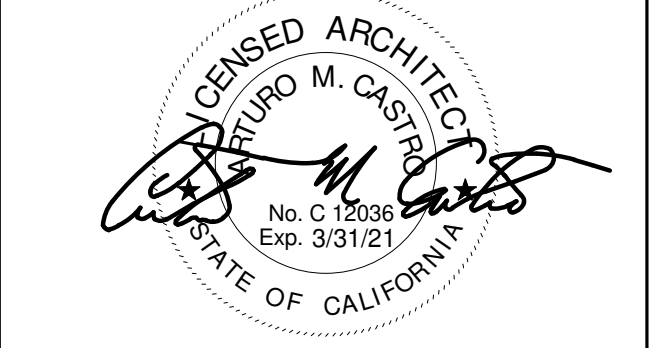
AED LEGEND:

- NOTES:
- AUTOMATED OR AUTOMATIC EXTERNAL DEFIBRILLATORS AED'S SHALL BE ADDED TO NEWLY CONSTRUCTED BUILDINGS, AND NEW TENANT SPACES IN SHELL BUILDINGS, PURSUANT TO THE REQUIREMENTS IN SECTION 145.3910 OF THE MUNICIPAL CODE.
 - AED'S ARE REQUIRED IN NEW BUILDINGS AND TENANT SPACES IN SHELL BUILDINGS WHEN THE OCCUPANT LOAD WITHIN THE BUILDING OR THE OCCUPANT LOAD WITHIN AN OCCUPANCY OR TENANT SPACES EXCEEDS THE OCCUPANT LOADS IN TABLE 145.3910 OF THE MUNICIPAL CODE.
 - WHEN REQUIRED TO BE LOCATED ON A FLOOR LEVEL OF A BUILDING PURSUANT TO SECTION 145.3910 AND TABLE 145.3910, ONE AED SHALL BE PLACED AT THE MAIN ENTRANCE OF EVERY FLOOR REQUIRED TO HAVE ONE OR MORE AEDS. (SEC. 145.3915)
- AED SHALL BE CONSPICUOUSLY PLACED AND READILY ACCESSIBLE IN THE EVENT OF AN EMERGENCY. AEDS SHALL BE MOUNTED SUCH THAT THE TOP OF THE AED IS NO MORE THAN FIVE (5) FEET ABOVE FLOOR LEVEL.
- | OCCUPANCY GROUP | OCCUPANT LOAD PER AED | TOTAL OCCUPANT LOAD | AED'S REQUIRED | AED'S PROVIDED | LEVELS PROVIDED |
|-----------------|-----------------------|---------------------|----------------|----------------|--------------------|
| GROUP A | 300 | 415 | 2 | 2 | LEVEL 1
ROOF |
| GROUP R | 200 | 294 | 2 | 2 | LEVEL 3
LEVEL 5 |

FLOOR PLAN LEGEND:

- 1 HR RATED WALL ASSEMBLY
- 2 HR RATED WALL ASSEMBLY
- NON-RATED PARTITION
- CONCRETE WALL - 2HR TO 4HR
- CMU WALL - 2HR TO 4HR
- 2HR STEEL BRACE FRAME WALL
- 2HR STEEL FRAME WALL - EXTERIOR
- HISTORIC BRICK WALL W/ NEW CONCRETE SUPPORT. SEE TREATMENT PLAN & FACADE STRENGTHENING DRAWINGS.
- GLAZING PER SHEET A8.10
- DOOR PER SCHEDULE PER SHEET A8.1
- 2A-10B-C FIRE EXTINGUISHER
- WALL TYPES PER SHEET A7.2
- INDICATES ADA REQUIREMENTS (SEE SHEET T.2)
- FLOOR DRAIN, VERIFY LOCATIONS PER PLUMBING
- FLOOR SINK, VERIFY LOCATIONS PER PLUMBING
- GUESTROOM WITH COMMUNICATION FEATURES. SEE ELECTL E4.00 FOR VISUAL ALARM LOCATIONS (SEE SHEET T.2 FOR CALCULATIONS AND SHEET A5.22 FOR DEVICES FOR THE HEARING IMPAIRED). FOR SIGNAGE DET. SEE 11/A11.4
- ROOF DRAIN / OVERFLOW DRAIN, VERIFY LOCATIONS PER PLUMBING

No.	Issued / Revisions	Date
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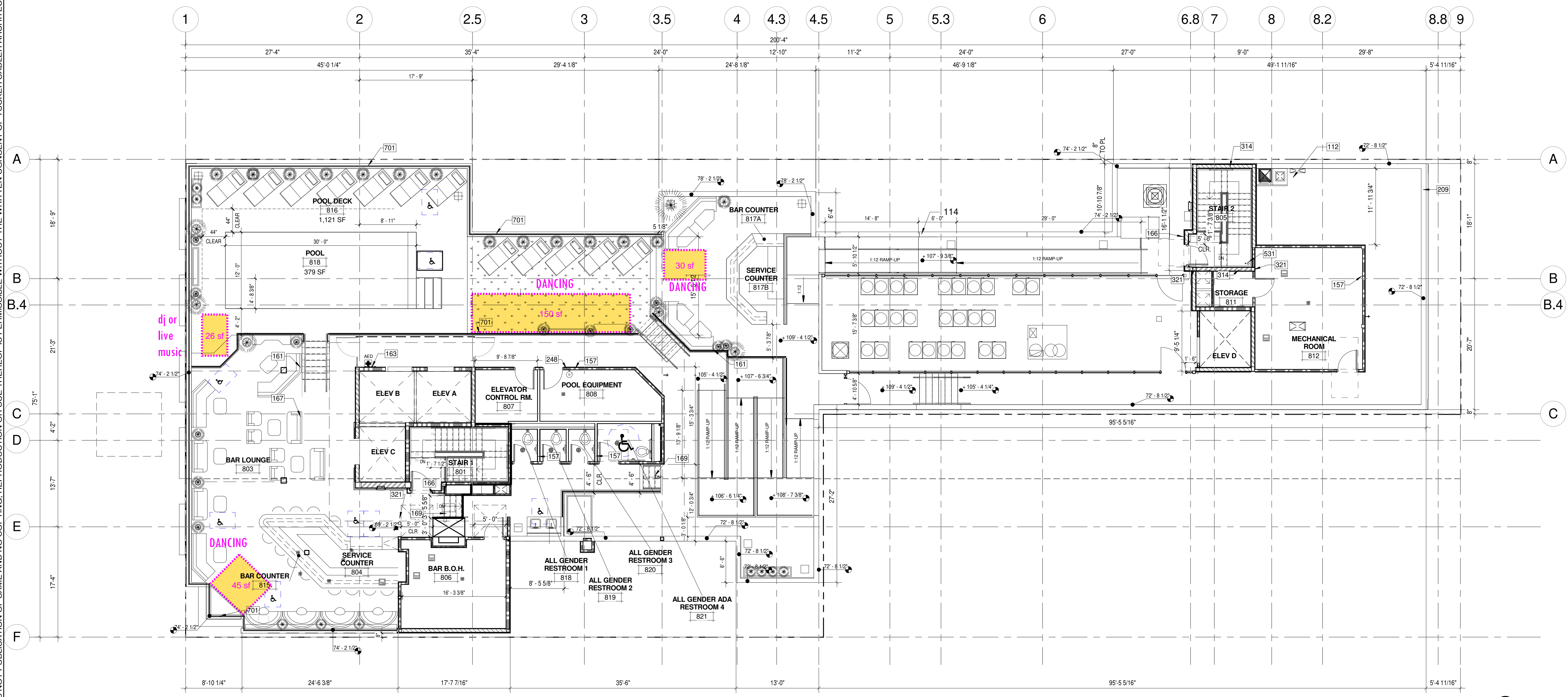


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LEVEL 1 - FLOOR PLAN

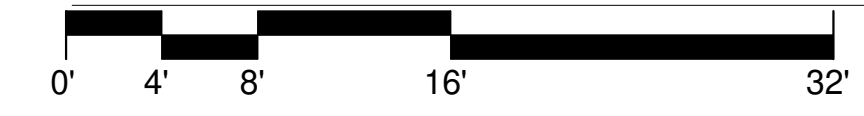
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DATE ISSUED: 01/04/2019	CHECKED BY: DM
DRAWING DWG OF	DRAWING NUMBER A2.1

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ROOF PLAN
 1/8" = 1'-0" 1 NORTH



KEYNOTES

- 112 MECHANICAL DUCTWORK ,EQUIPMENT ,ETC PER MECHANICAL PLANS
- 114 42" HIGH PARAPET WALL, SEE DETAIL #
- 157 TRAP PRIMER ACCESS PANEL(REFER TO PLUMBING DRAWINGS FOR SIZE REQUIREMENTS)
- 161 36" CLEAR MIN. WIDTH EMPLOYEE WORK AREA ACCESSIBLE ROUTE CONNECTED BY COMMON CIRCULATION PATH
- 163 NO SMOKING SIGNAGE
- 166 TACTILE EXIT SIGNS COMPLYING WITH CBC 11B-703 PER REF. 16/A4.30
- 167 PROVIDE 44" MINIMUM CLEAR WIDTH OF THE AISLES LEADING TO EXITS OR EXIT ACCESS DOORWAYS
- 169 TYPICAL CONTRASTING COLOR STRIP AT ALL STEPS
- 209 SMOOTH PLASTER PAINTED, COLOR : SW0023 PEWTER TANKARD
- 248 PROVIDE 6" HIGH CONCRETE CURB AROUND THE ROOM. FLOOR TO BE EPOXY FINISH TO GO 6" UP THE WALL
- 314 CONCRETE WALL PER STRUCTURAL
- 321 HSS 6X6 COLUMN - START ABOVE ROOF SLAB (PER STRUCTURAL), WITH 2-HR RATED FIRE PROTECTION PER SHEET A9.27
- 531 FIRE RISER

GENERAL NOTES:

1. ALL EXTERIOR WALLS DIMENSIONS ARE TO FACE OF SHEATHING. UNLESS DETAILS SHOW OTHERWISE. ALL INTERIOR DIMENSIONS ARE TO BE FACE OF DRYWALL, U.O.N.
2. PROVIDE HIGH AND LOW LEVEL EXIT SIGNS AT ALL STAIR DOORS.
3. PROVIDE INSULATION FOR ALL HOT WATER PIPING, SEE PLUMBING.
4. AN ELEVATOR CAPABLE OF ACCOMMODATING AN AMBULANCE STRETCHER OR GURNEY IS REQUIRED AND SHALL BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE) SIGNAGE COMPLYING WITH SECTION 3002.4 OF THE CALIFORNIA BUILDING CODE.
5. PROVIDE CURBS, CRICKETS AS REQUIRED TO ENSURE FLOW OF WATER AWAY FROM EQUIPMENTS AND TOWARDS DRAIN.
6. THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF INSTALLED HAND-HELD PORTABLE FIRE EXTINGUISHERS SHALL NOT BE LESS THAN 4 INCHES.
7. THROUGH PENETRATIONS OF THE FIRE RATED ASSEMBLY OF AN INTERIOR EXIT STAIR ENCLOSURE ARE PROHIBITED.
8. THROUGH PENETRATIONS OF THE FIRE RATED ASSEMBLY OF AN EXIT PASSAGEWAY ARE PROHIBITED.

ACCESSIBILITY NOTES:

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WALL SCHEDULE GENERAL NOTES:

1. WHERE FIRE RATED WALL ASSEMBLIES INTERSECT NON-RATED PARTITIONS, THE FIRE RATED WALL ASSEMBLY SHALL BE CONTINUOUSLY CONSTRUCTED THROUGH THE INTERSECTION.
2. AT WALL INTERSECTIONS WHERE TWO FIRE-RATED WALLS CROSS, THE HIGHER FIRE-RATED WALL ASSEMBLY SHALL BE CONTINUOUSLY CONSTRUCTED THROUGH THE INTERSECTION.
3. IN WET AREAS - RESTROOMS AND SHOWER AREAS, WHERE WALLS REQUIRE TILE FINISH, USE FIBER-MAT "DENGLASS SHEATHING" IN LIEU OF TYPE "X" GYPSUM BOARD AND MATCH THE FIRE RATING AS REQUIRED PER PLAN. SEE RESTROOM ELEVATIONS.
4. FOR EXTERIOR WALLS, USE FIBER-MAT "DENGLASS SHEATHING" IN LIEU OF TYPE "X" GYPSUM BOARD AND MATCH THE FIRE RATING AS REQUIRED PER PLAN. SEE EXTERIOR ELEVATIONS.
5. REFER TO NEW SHEET A10.5 & A10.6 FOR FIRE RATED DUCT SYSTEM - ALTERNATIVE TO 2HR SHAFT WALL (WALL TYPE S1 & S2)

AED LEGEND :

- NOTES :**
1. AUTOMATED OR AUTOMATIC EXTERNAL DEFIBRILLATORS AED'S SHALL BE ADDED TO NEWLY CONSTRUCTED BUILDINGS, AND NEW TENANT SPACES IN SHELL BUILDINGS, PURSUANT TO THE REQUIREMENTS IN SECTION 145.3910 OF THE MUNICIPAL CODE.
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- AED**
 AEDS SHALL BE CONSPICUOUSLY PLACED AND READILY ACCESSIBLE IN THE EVENT OF AN EMERGENCY. AEDS SHALL BE MOUNTED SUCH THAT THE TOP OF THE AED IS NO MORE THAN FIVE (5) FEET ABOVE FLOOR LEVEL.
- | OCCUPANCY GROUP | OCCUPANT LOAD PER AED | TOTAL OCCUPANT LOAD | AED'S REQUIRED | AED'S PROVIDED | LEVELS PROVIDED |
|-----------------|-----------------------|---------------------|----------------|----------------|---------------------------------------|
| GROUP A | 300 | 415 | 2 | 2 | LEVEL 1
ROOF
LEVEL 3
LEVEL 5 |
| GROUP R | 200 | 294 | 2 | 2 | |

FLOOR PLAN LEGEND :

- 1 HR RATED WALL ASSEMBLY
- 2 HR RATED WALL ASSEMBLY
- NON-RATED PARTITION
- CONCRETE WALL - 2HR TO 4HR
- CMU WALL - 2HR TO 4HR
- 2HR STEEL BRACE FRAME WALL
- 2HR STEEL FRAME WALL - EXTERIOR
- HISTORIC BRICK WALL W/ NEW CONCRETE SUPPORT, SEE TREATMENT PLAN & FACADE STRENGTHENING DRAWINGS.
- GLAZING PER SHEET A8.10
- DOOR PER SCHEDULE PER SHEET A8.1
- 2A-10B/C FIRE EXTINGUISHER
- WALL TYPES PER SHEET A7.2
- INDICATES ADA REQUIREMENTS (SEE SHEET T.2)
- FLOOR DRAIN, VERIFY LOCATIONS PER PLUMBING
- FLOOR SINK, VERIFY LOCATIONS PER PLUMBING
- GUESTROOM WITH COMMUNICATION FEATURES. SEE ELEC'L E4.00 FOR VISUAL ALARM LOCATIONS (SEE SHEET T.2 FOR CALCULATIONS AND SHEET A5.22 FOR DEVICES FOR THE HEARING IMPAIRED). FOR SIGNAGE DET. SEE 11/A11.4
- ROOF DRAIN / OVERFLOW DRAIN, VERIFY LOCATIONS PER PLUMBING

No.	Issued / Revisions	Date
	CUP SUBMITTAL	11/12/2019

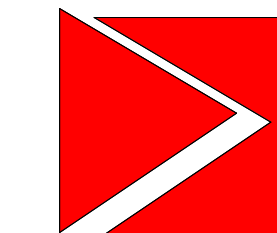


SHEET TITLE:
ROOF PLAN

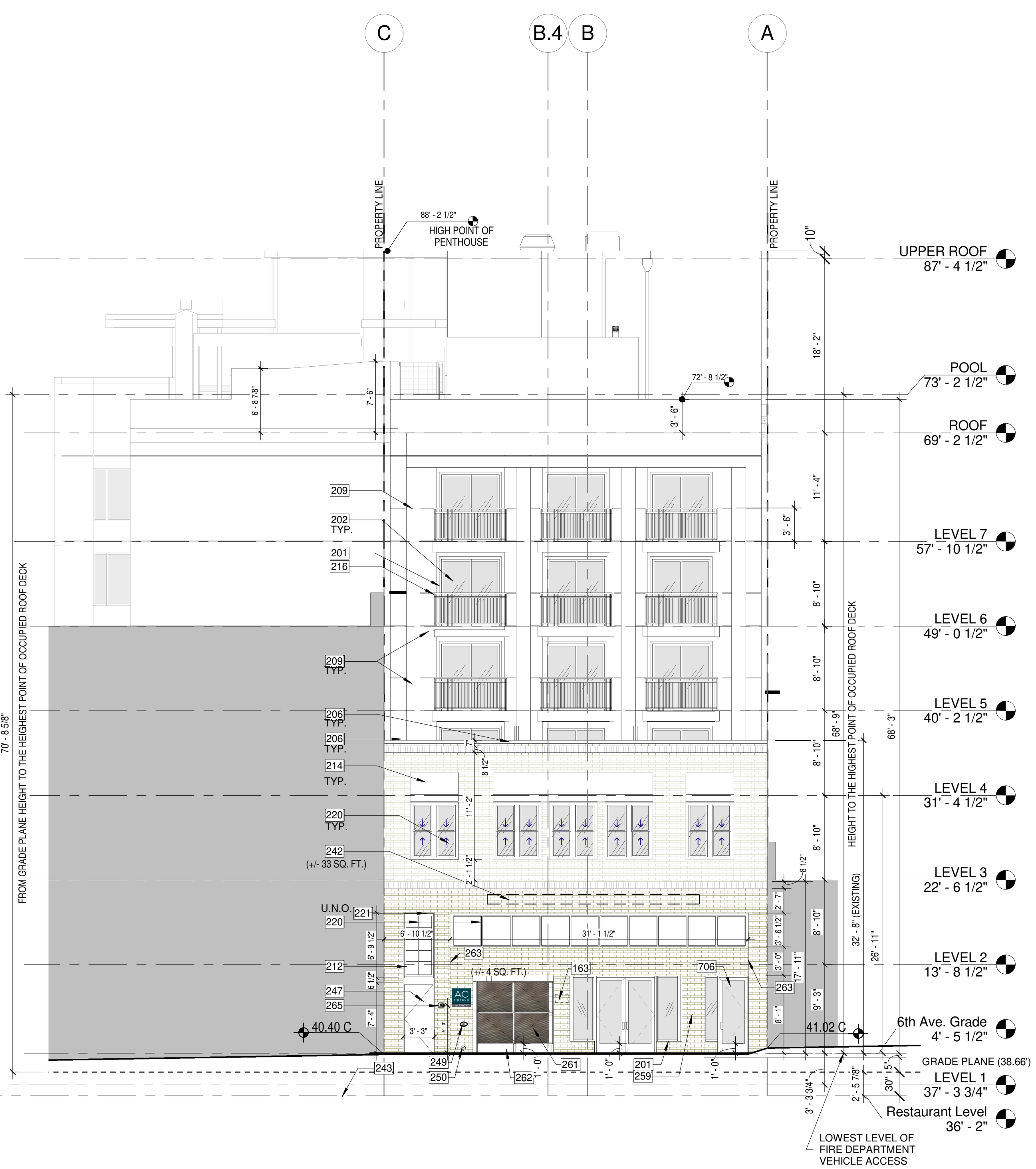
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DRAWING DWG OF	DRAWING NUMBER A2.8

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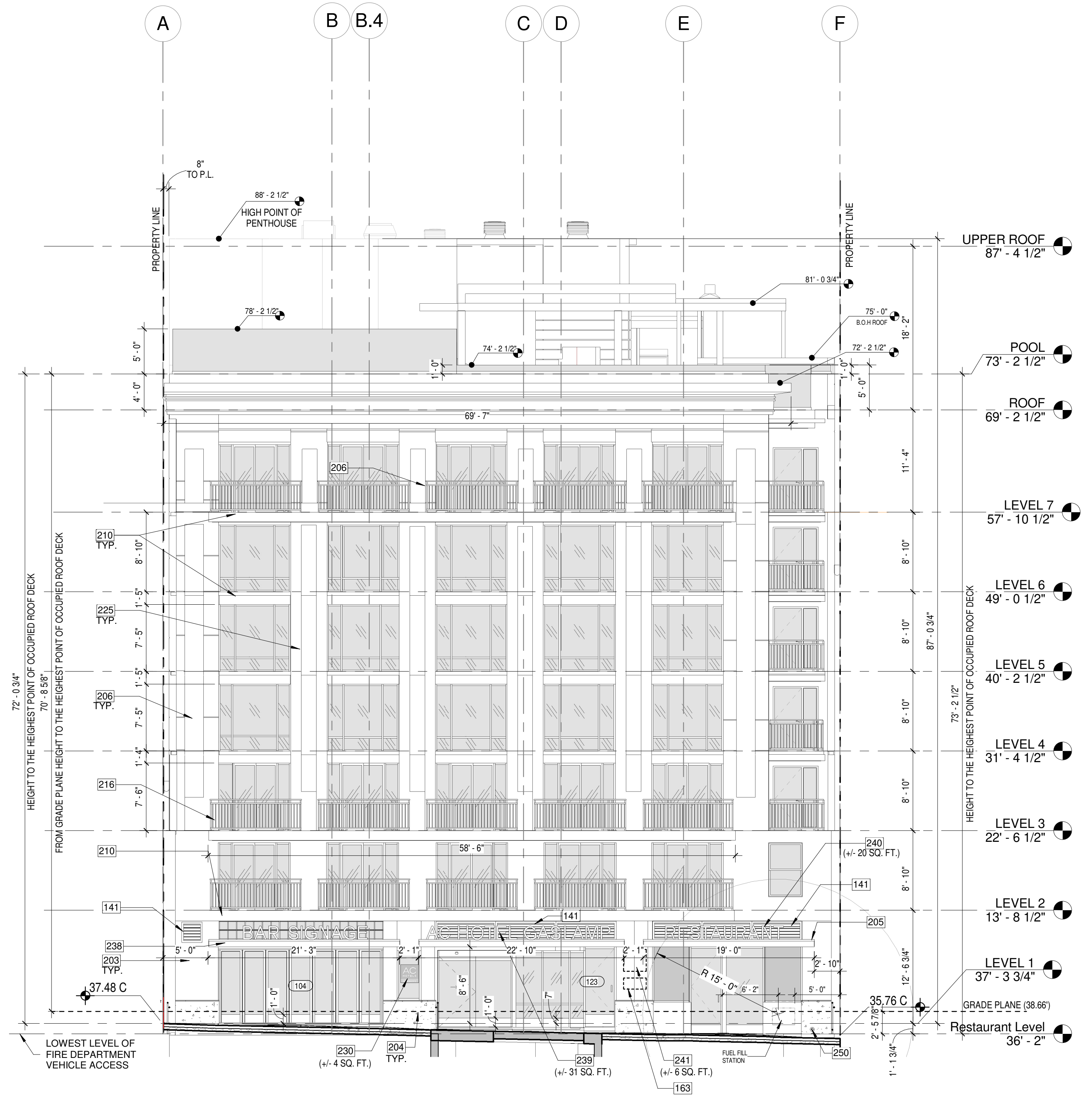
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AC Hotel - Gaslamp
743 5TH AVENUE, SAN DIEGO, CA 92101



EAST ELEVATION (6TH AVE.) 2
 (80 SQ. FT. SIGN TOTAL ALLOWABLE)
 (41 SQ. FT. SIGNAGE PLACEHOLDER SHOWN)
 1/8" = 1'-0"



WEST ELEVATION (5TH AVE.) 1
 (100 SQ. FT. SIGN TOTAL ALLOWABLE)
 (100 SQ. FT. SIGNAGE PLACEHOLDER SHOWN)
 1/8" = 1'-0"

KEYNOTES

- 239 AC HOTEL ILLUMINATED SIGNAGE: APPROX. 31 SF., UNDER SEPARATE PERMIT
- 240 RESTAURANT ILLUMINATED SIGNAGE: APPROX. 20 SF., UNDER SEPARATE PERMIT
- 241 ROOFTOP BAR ILLUMINATED SIGNAGE (BLADE TYPE): APPROX. 6 SF., UNDER SEPARATE PERMIT
- 242 AC HOTEL ILLUMINATED SIGNAGE: APPROX. 33 SF., UNDER SEPARATE PERMIT
- 243 AC MARRIOTT ILLUMINATED ENTRY SIGNAGE: APPROX. 4 SF., UNDER SEPARATE PERMIT
- 247 (E) DOOR TO REMAIN
- 249 6" FIRE DEPARTMENT CONNECTION
- 250 COW TONGUE DOWNSPOUT NOZZLE - PAINTED BLACK
- 259 (NEW) INFILL PER TREATMENT PLAN. BRICK VENEER TO BE DIFFERENT SIZE FROM (E) HISTORICAL BRICK
- 261 GAS METER GATE PERFORATED SHEET METAL PANEL. COLOR: BLACK
- 262 GAS METER GATE 12" HIGH SOLID SHEET METAL PANEL. COLOR: BLACK
- 263 ACCENTUATED VERTICAL TOOLED JOINT TO DIFFERENTIATE HISTORIC (E) BRICK FROM (N) DIFFERENT SIZE INFILL BRICK
- 265 KNOX BOX

KEYNOTES

- 141 METAL SHEET LOUVER TOT MATCH STOREFRONT, SEE MECHANICAL FOR SIZE
- 163 NO SMOKING SIGNAGE
- 201 PAINTED ALUMINIUM STOREFRONT; COLOR : BLACK
- 202 1" CLEAR INSULATED GLAZING
- 203 NATURAL SMOOTH & ROCKED FINISH STONE CLADDING. ARRISCRRAFT, COLOR : GINGER
- 204 LOCALLY SOURCED FLAMED GRANITE BASE
- 205 STEEL CANOPY PAINTED ; ATAS STEEL. COLOR : HARTFORD GREEN
- 206 SMOOTH PLASTER PAINTED, COLOR : SW0050 CLASSIC LIGHT BUFF
- 209 SMOOTH PLASTER PAINTED, COLOR : SW0023 PEWTER TANKARD
- 210 SMOOTH PLASTER PAINTED, COLOR : SW0038 LIBRARY PEWTER
- 212 (E) BRICK FACADE PAINTED, COLOR : SW2853 COLONIAL YELLOW
- 214 NEW CANVAS AWNING, SUNBRELLA, COLOR : HAMLOCK TWEED
- 216 METAL GUARDRAIL PAINTED, TO MATCH 201/BLACK
- 220 HISTORIC (E) WINDOW AND SILL TO BE REFURBISHED, RESTORED AND REPAINTED TO MATCH HISTORIC DESIGN. HISTORIC TREATMENT PLAN SHOULD BE REFERENCED FOR RETENTION AND REPAIR. INSTALL FROSTED/TEMPERED GLASS
- 221 HISTORIC (E) BRICK AND MORTAR TO BE REPAIRED PRIOR TO PAINTING - SEE TREATMENT PLAN
- 225 THIN BRICK VENEER BY CORONADO STONE; COLOR : RICHLAND
- 230
- 238 PRE-FINISHED ALUMINIUM AWNING, 3' DEEP

KEYNOTES - DEFERRED ITEMS

- 706 ALUMINIUM STOREFRONT DOOR, COLOR: BLACK. PROVIDE 12" BOTTOM RAIL - DEFERRED ITEM

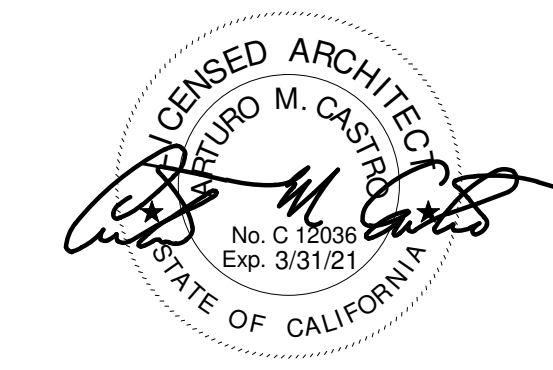
MATERIALS LEGEND:

- THIN BRICK VENEER BY CORONADO STONE ; COLOR : RICHLAND
- NATURAL SMOOTH AND ROCK FINISH STONE CLADDING. ARRISCRRAFT, COLOR : GINGER
- SMOOTH PLASTER PAINTED, COLOR : SW0038 LIBRARY PEWTER
- SMOOTH PLASTER PAINTED, COLOR : SW0050 CLASSIC LIGHT BUFF
- CLEAR INSULATED GLAZING
- FROSTED GLASS
- LOCALLY SOURCED FLAMED GRANITE BASE
- PAINT COLOR BLACK
- SMOOTH PLASTER PAINTED, COLOR : SW0023 PEWTER TANKARD
- EXISTING BRICK FACADE PAINTED, COLOR : SW2813 DOWNING STRAW
- EXISTING BRICK FACADE PAINTED, COLOR : SW2853 COLONIAL YELLOW
- COLOR : HEMLOCK TWEED
- STEEL CANOPY PAINTED. ATAS STEEL, COLOR : HARTFORD GREEN

SIGNAGE NOTES:

1. ALL PROPOSED SIGNAGE SHALL BE PROVIDED VIA SEPARATE SUBMITTAL, PLANS AND SIGNAGE PERMIT APPROVAL/ISSUANCE THROUGH CITY OF SAN DIEGO BUILDING DEPARTMENT.
2. ALL PROPOSED SIGNAGE SHALL MAINTAIN CITY OF SAN DIEGO MUNICIPAL CODE REQUIREMENTS (SECTION 157.0402 OF THE PDO AND LAND DEVELOPMENT CODE, CHAPTER 12, ARTICLE 9, DIV. 8), AND GASLAMP QUARTER PLANNED DISTRICT DESIGN GUIDELINES.
3. ALL PROPOSED SIGNAGE LOCATIONS PER PLAN SHALL BE PROVIDED WITH POWER FROM HOUSE PANEL FOR ILLUMINATION AS NOTED ON PLANS.
4. THE AREA OF ALL SIGNS ON A BUILDING SHALL NOT EXCEED AN AREA OF 2 SQ. FT. FOR EACH FOOT OF STREET FRONTAGE OCCUPIED BY THE BUILDING. IN NO EVENT SHALL EXCEED 100 SQ. FT. ON EACH STREET FRONTAGE : 100 SQ. FT. MAX. AT FIFTH AVENUE FACADE AND 80 SQ. FT. MAX. AT SIXTH AVENUE FACADE.
5. NO ROOF SIGNS SHALL BE PERMITTED.
6. THE TOP OF SIGNS SHALL BE PLACED ENTIRELY BELOW THE TOP OF THE LOWEST CORNICE OR STRONG HORIZONTAL ELEMENT LOCATED ABOVE THE GROUND, BUT IN NO EVENT SHALL SHALL THE SIGN BE HIGHER THAN 3 FT. ABOVE THE TOP OF THE CEILING LEVEL OF THE GROUND STORY. LETTERS MAY BE INTERNALLY ILLUMINATED OR NOT. LOGOS AND GRAPHICS MAY NOT BE INTERNALLY ILLUMINATED.
7. TOTAL COVERAGE OF SIGNS ON THE EXTERIOR OR INTERIOR OF WINDOWS (ANY SIGN WITHIN 1 FT. OF THE INTERIOR SURFACE OF WINDOWS) AT THE GROUND LEVEL SHOULD NOT EXCEED 20% OF THE TOTAL WINDOW AND DOOR AREA VISIBLE FROM THE EXTERIOR OF THE BUILDING. WINDOW SIGNAGE COUNTS TOWARDS TOTAL SIGNAGE LIMIT.

No.	Issued / Revisions	Date
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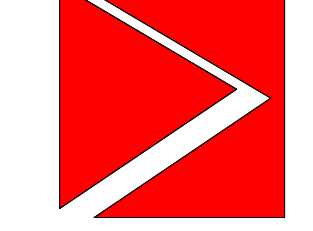


SHEET TITLE:
EXTERIOR ELEVATIONS
- EAST & WEST

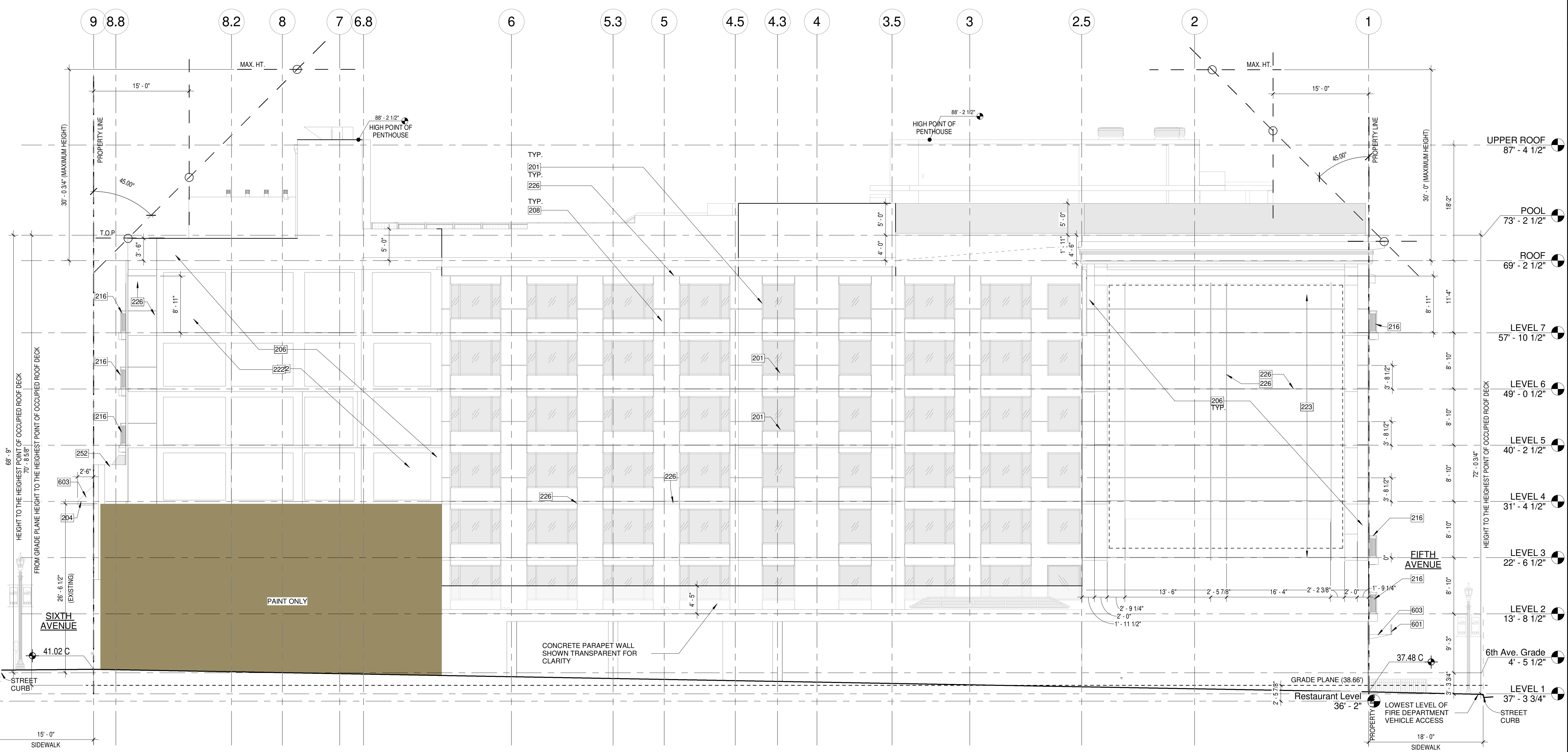
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NORTH ELEVATION
1/8" = 1'-0"



KEYNOTES - SEPARATE PERMIT

- 601 ALL SIGNAGES PER SEPARATE SUBMITTAL/PERMIT (SHOWN FOR REFERENCE ONLY)
- 603 ALL CANOPY/AWNINGS PER SEPARATE SUBMITTAL/PERMIT (SHOWN FOR REFERENCE ONLY)

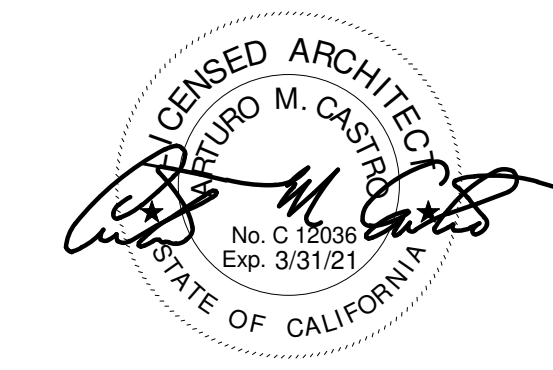
KEYNOTES

- 201 PAINTED ALUMINIUM STOREFRONT; COLOR : BLACK
- 204 LOCALLY SOURCED FLAMED GRANITE BASE
- 206 SMOOTH PLASTER PAINTED, COLOR : SW0050 CLASSIC LIGHT BUFF
- 208 SMOOTH PLASTER PAINTED, COLOR : SW2822 DOWNING SAND
- 216 METAL GUARDRAIL PAINTED, TO MATCH 201/BLACK
- 222 BRICK INFILL, ENDICOTT; COLOR : DESERT LIGHT, WIRECUT
- 223 ARTWORK PAINTED OR ATTACHED TO BUILDING (CURRENT ARTWORK FOR REFERENCE ONLY) - SIZE 32'-0" WIDE X 37'-0" TALL
- 226 2" x 1/2" CHANNEL REVEAL
- 252 GLASS RAILING



KEYNOTE: 223 ARTWORK PAINTED TO WALL BY LOCAL ARTIST IN COORDINATION WITH THE CITY CIVIC ENHANCEMENT PROGRAM

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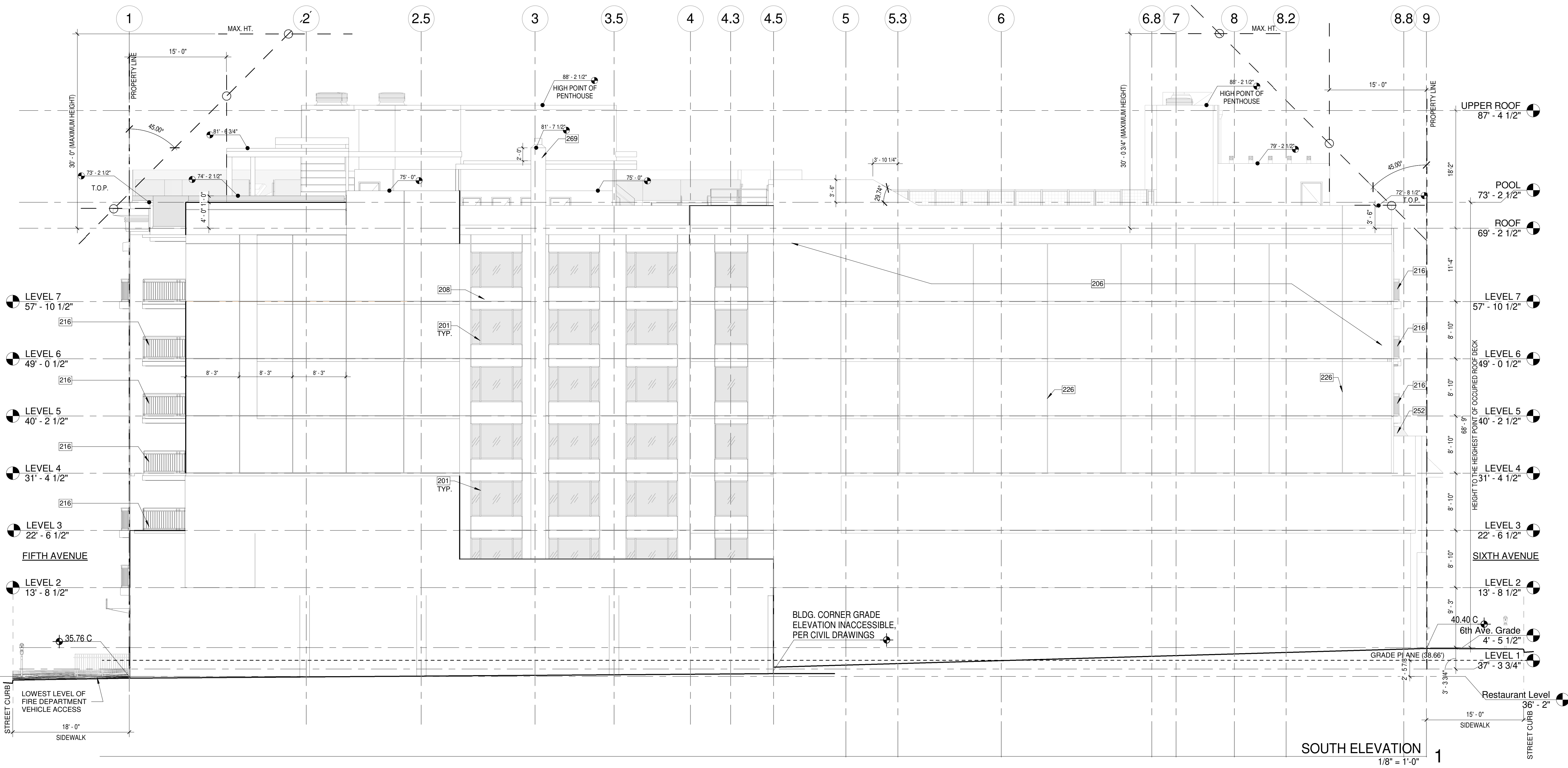
SHEET TITLE:
EXTERIOR ELEVATION - NORTH

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KEYNOTES

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- 206 SMOOTH PLASTER PAINTED, COLOR : SW0050 CLASSIC LIGHT BUFF
- 208 SMOOTH PLASTER PAINTED, COLOR : SW2822 DOWNING SAND
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- 252 GLASS RAILING
- 269 PROVIDE PIPE FLUE TERMINATION CAP AND PIPE WALL BRACKET FOR 6" DIAMETER GENERATOR FLUE PIPE PER MECHANICAL

ATTACHMENT 10

TUCKER SADLER

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 743 5TH AVENUE, SAN DIEGO, CA 92101

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SHEET TITLE:
EXTERIOR ELEVATION - SOUTH

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