



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 9, 2020 REPORT NO. HO-20-065

HEARING DATE: December 16, 2020

SUBJECT: SAID SDP. - Process Three Decision

PROJECT NUMBER: [646224](#)

OWNER/APPLICANT: Bishoy Said

SUMMARY

Issue: Should the Hearing Office approve a Site Development Permit for the addition to an existing single family residence consisting of 819 square feet to basement, 548 square feet to first floor area, and a new detached 1,200 square-foot companion unit over 908 square feet of basement parking, located at 7834 Esterel Drive within the La Jolla Community Plan area?

Staff Recommendation:

1. Approve Site Development Permit No. 2342062.

Community Planning Group Recommendation: On February 6, 2020, the La Jolla Community Planning Group voted 13-0-1 to recommend approval of the proposed project without recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA pursuant to Sections 15301 and 15303; and where the exceptions listed in Section 15300.2 would not apply. Section 15301 addresses additions to existing facilities. Section 15303 addresses construction of a limited number of new facilities. Since the proposed project is an addition to existing single-family home and the construction of a new companion unit the exemptions are appropriate. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on August 3, 2020 and the opportunity to appeal that determination ended August 17, 2020.

BACKGROUND

The 0.49-acre site is located at 7834 Esterel Drive in the LJSPD-SF (La Jolla Shores Planned District-Single Family) base zone of the La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP&LCP) area, within the La Jolla Community Plan area. The site is in an area of the LJCP&LCP that is designated very low density which allows for 0-5 dwelling units per net residential acre (Attachment 2). The project is surrounded by single-family residences (Attachment 3). The site is currently improved with one single-family residence and detached garage. The existing residence and proposed improvements are consistent with the density allowed in the LJSPD-SF zone. The existing development is also consistent with the General Plan designation and is within the very low-density range in an urbanized core of the City.

Per San Diego Municipal Code (SDMC) Section [1510.0201\(d\)](#) approval of a Site Development Permit is required for any work in the erection of any new building or structure, or remodeling, alteration, addition, or demolition of any existing building or structure within the La Jolla Shores Planned District or any building which is moved into the La Jolla Shores Planned District or any grading or landscaping.

According to SDMC Section [126.0504\(a\)](#) the proposed project requires a Process Three, Hearing Officer decision with appeal rights to the Planning Commission. Per SDMC Section [126.0505\(a\)](#). Findings for a Site Development Permit, the decision maker may approve a Site Development Permit if the decision maker finds that the proposed project complies with the requirements of the SDMC. Staff has reviewed the proposed project and the project complies with the SDMC.

DISCUSSION

Single-family residential development is the primary existing land use of the immediate neighborhood. The project is compatible with the existing land uses in the immediate neighborhood and will not constitute a disruptive element to the neighborhood and community. The LJCP & LCP states that community character should promote good design and visual harmony in transitions between new and existing structures. The project promotes good design and visual harmony between itself and the new development not only within the proposal site, but also with the adjacent properties, by providing a quality new development in the neighborhood.

The current proposal is consistent with the LJSPD-SF development regulations. The La Jolla Shores Planned District applies general conformity that allows for unique design of development, so long as it does not disrupt the architectural unity within 300 feet of the development site. After review of the neighborhood survey of the site, the proposal is in general conformity of the adjacent properties regarding design, lot size, setbacks, and materials used for the remodel and addition.

The project was determined to be exempt from CEQA pursuant to CEQA Guidelines Sections 15301 and 15303; and where the exceptions listed in Section 15300.2 would not apply. Section 15301 addresses additions to existing facilities. Section 15303 addresses construction of a limited number of new facilities. Since the proposed project is an addition to existing single-family home and the construction of a new companion unit the exemptions are appropriate.

The project was reviewed by the Historic and staff and the project is consistent with the U.S. Secretary of the Interior's Standards. The plans have been approved and stamped by Plan-Historic staff. Any and all revisions to the project scope, no matter how minor, will require review and

approval by Plan-Historic staff prior to those changes being carried out. In addition, any future projects submitted will require review by Plan-Historic staff.

COMMUNITY PLANNING GROUP RECOMMENDATION:

On February 6, 2020, the La Jolla Community Planning Group voted 13-0-1 to recommend approval of the proposed project without recommendations.

ALTERNATIVES

1. Approve Site Development Permit No. 2342062, with modifications.
2. Deny Site Development Permit No. 2342062, if the findings required to approve the project cannot be affirmed.

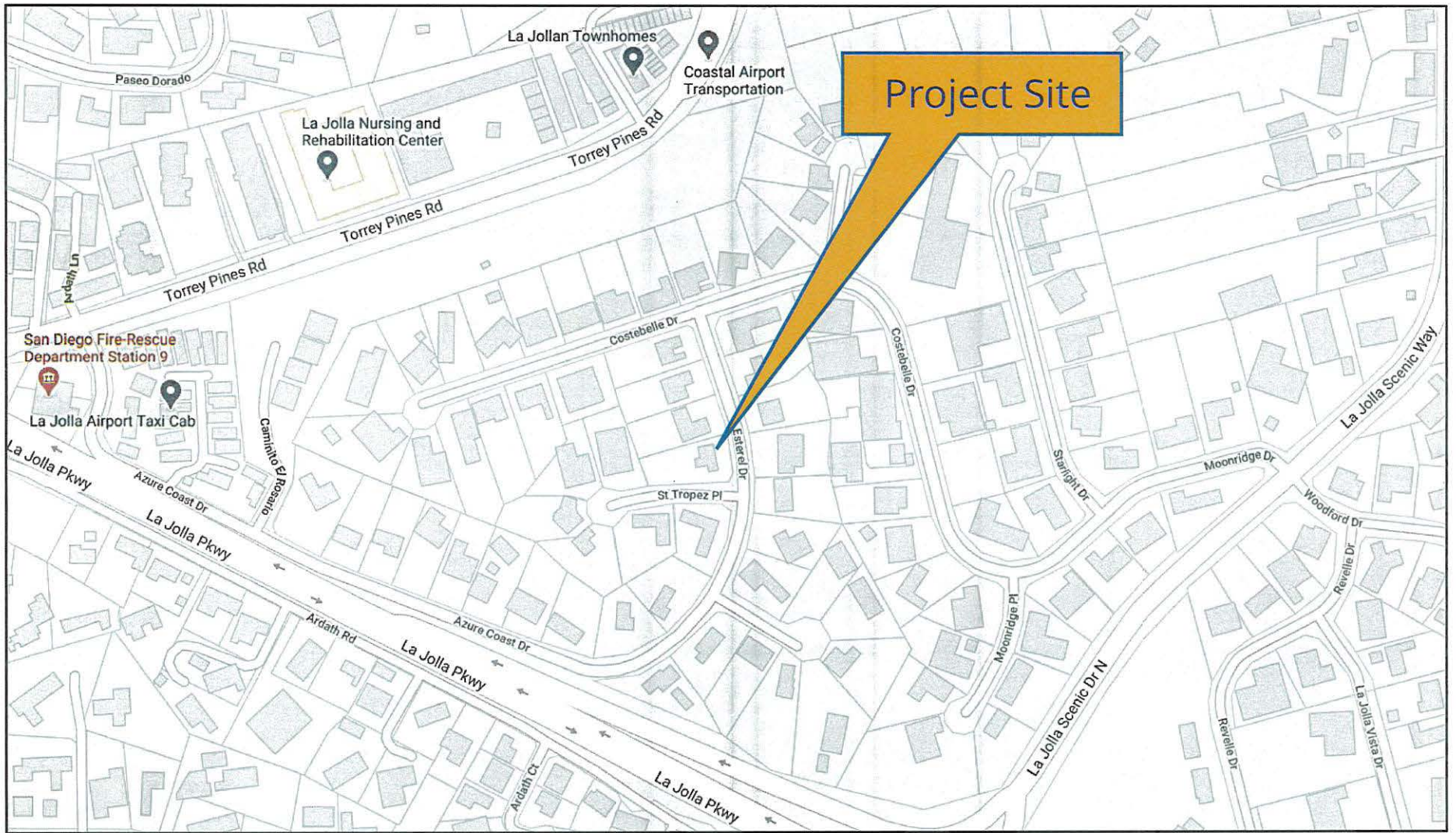
Respectfully submitted,

Derrick Johnson (D.J.)

Derrick Johnson (D.J.) Development Project Manager

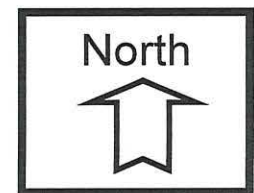
Attachments:


















1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

Said SDP / 7834 Esterel Drive
PROJECT NO. 646224



-  Very Low Density Residential (0-5 DU/AC)
-  Low Density Residential (5-9 DU/AC)
-  Low Medium Residential (9-15 DU/AC)
-  Medium Residential (15-30 DU/AC)
-  Medium High Residential (30-45 DU/AC)
-  Commercial/Mixed Use
-  Parks, Open Space
-  Schools
-  Cultural
-  Community Facilities
-  Elementary School
-  Junior High School
-  High School
-  School
-  Library
-  Fire Station
-  Post Office

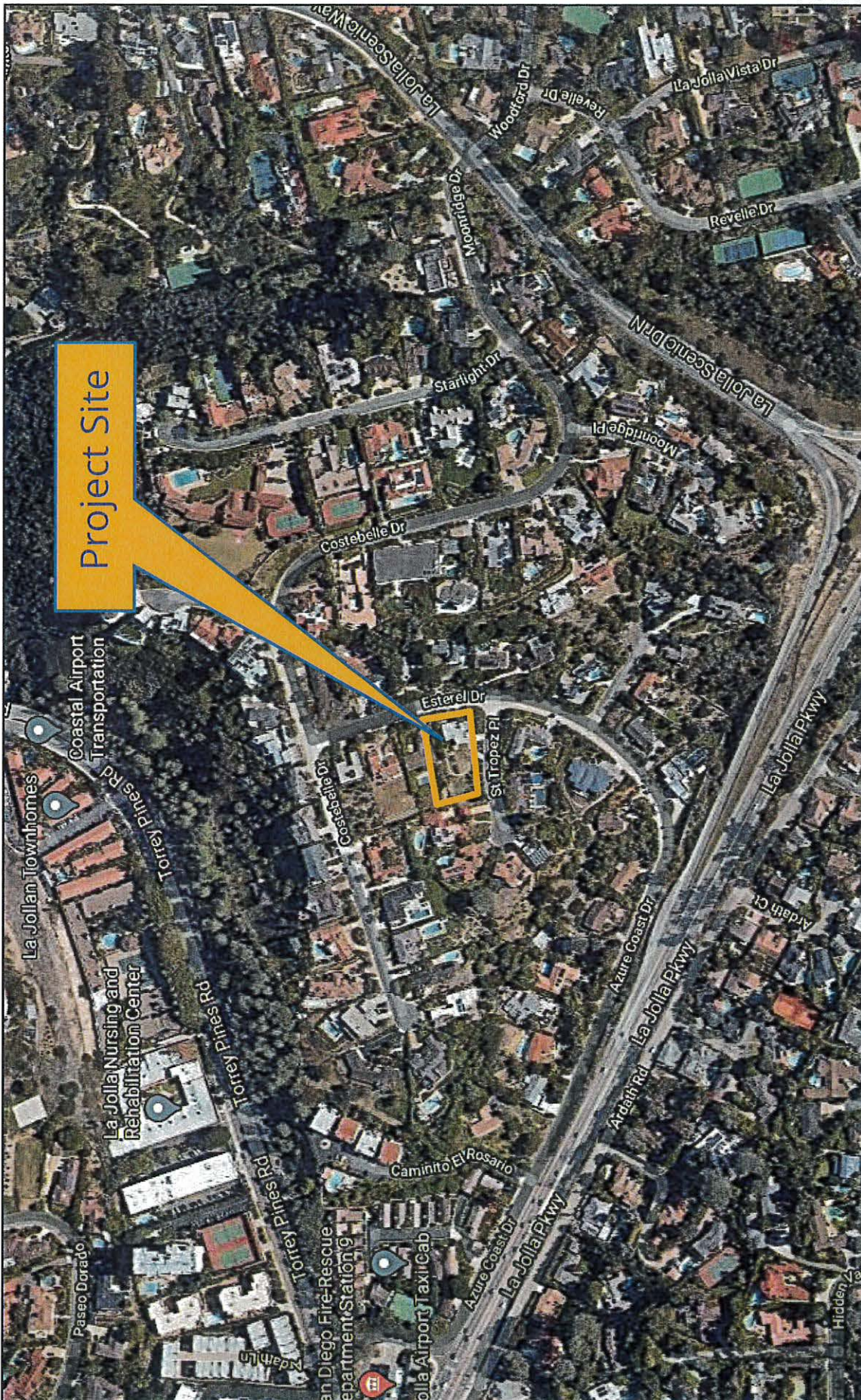
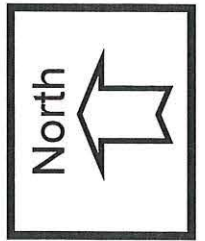
Project Site



Land Use Map

Said SDP / 7834 Esterel Drive
PROJECT NO. 646224





Aerial Photo

Said SDP / 7834 Esterel Drive

PROJECT NO. 646224



HEARING OFFICER
RESOLUTION NO. _____
SAID SDP-PROJECT NO. 646224

WHEREAS, BISHOY SAID, Owner/Permittee, filed an application with the City of San Diego for a permit for an addition to an existing single dwelling unit consisting of 819 square feet to the basement and 548 square feet to first floor area, and to construct a new, detached 1,200-square-foot companion unit over 908 square feet of garage parking space with some storage/laundry room space (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 24008379 on portions of a 0.49-acre site;

WHEREAS, the project site is located at 7834 Esterel Drive in the LJSPD-SF (La Jolla Shores Planned District-Single Family) base zone of the La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP&LCP) area, within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as: Lot 17 in Azure Coast Unit No. 1, City of San Diego, County of San Diego, Map No. 4995, Recorded on June 6, 1962;

WHEREAS, on August 3, 2020 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section Sections 15301 and 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 16, 2020, the Hearing Officer of the City of San Diego considered Site Development Permit No. 24008379 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer] of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 24008379:

SITE DEVELOPMENT PERMIT [SDMC Section 126.05051

1. The proposed development will not adversely affect the applicable land use plan.

The 0.49-acre site is located at 7834 Esterel Drive in the LJSPD-SF (La Jolla Shores Planned District-Single Family) base zone of the La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP & LCP) area, within the La Jolla Community Plan area. The site is in an area of the LJCP & LCP that is designated "very low density", which allows for 0-5 dwelling units per net residential acre. The project is surrounded by single-family residences (Attachment 3). The site is currently improved with one single-family residence and detached garage. The current proposal and the existing single-family residence is consistent with the density allowed for the LJSPD-SF zoned project site, which would result in a density of one dwelling unit per acre.

The existing development is also consistent with the General Plan designation and is within the very low- density range in an urbanized core of the City. As proposed, the project would be consistent with the LJCP & LCP and overall policies for development related to the Land Use and Urban Design, and Density elements contained in the General Plan. The proposed addition to an existing single dwelling unit consisting of 819 square feet to basement, 548 square feet to first floor area, and a new detached 1,200 square-foot companion unit over 908 square feet of basement parking is in compliance with the La Jolla Community Plan, the San Diego Municipal Code. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project site is located in a developed, urban area that is already served by utilities and emergency services. The permit controlling the development contains specific conditions addressing project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls. The safety checks and balances of the proposed project include the review of construction plans by professional staff to determine compliance with all regulations; inspection of construction to assure construction permits are implemented in accordance with the approved plans; and that final construction complied with the approved plans all of which will assure the continued health, safety and general welfare of persons residing or working in the area. Therefore, the proposed project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The 0.49-acre site is located at 7834 Esterel Drive in the LJSPD-SF (La Jolla Shores Planned District-Single Family) base zone of the La Jolla Community Plan and Local Coastal Program Land Use Plan

ATTACHMENT 4

(LJCP&LCP) area, within the La Jolla Community Plan area. The project proposes an addition to an existing single dwelling unit consisting of 819-square-feet to the basement and 548-square-feet to first floor area, and to construct a new, detached 1,200-square-foot companion unit over 908-square feet of garage parking space with some storage/laundry room space. The site is within the Coastal Height Limit Overlay zone and the LJSPD-SF, which both have maximum height requirements of 30 feet. the proposed project meets the height requirements. In addition, the setbacks within La Jolla Shores adheres to general conformity of residences within 300 feet of the subject site and this site has meet the setback requirements. The project complies with all the development standards required by the Land Development Code, including height, density, building setbacks, lot coverage, and parking. No deviations or variances are required. Therefore, the project will comply with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer , Site Development Permit 24008379 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 24008379, a copy of which is attached hereto and made a part hereof.

Derrick Johnson (D.J.)

Derrick Johnson (D.J.)
Development Project Manager
Development Services

Adopted on: December 16, 2020

IO#: 24008104

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008379

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 24008379

SAID SDP-PROJECT NO. 646224

HEARING OFFICER

This Site Development Permit No. 24008370 is granted by the Hearing Officer of the City of San Diego to BISHOY SAID, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 1510.0201(d). The 0.49-acre site is located at 7834 Esterel Drive in the LJSPD-SF (La Jolla Shores Planned District-Single Family) base zone of the La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP&LCP) area, within the La Jolla Community Plan area. The project site is legally described as: Lot 17 in Azure Coast Unit No. 1, City of San Diego, County of San Diego, Map No. 4995, Recorded on June 6, 1962.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee Site Development Permit (SDP) for an addition to an existing single dwelling unit consisting of 819-square-feet to the basement and 548 square feet to first floor area, and to construct a new, detached 1,200-square-foot companion unit over 908-square-feet of garage parking space with some storage/laundry room space, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 16, 2020, on file in the Development Services Department.

The project shall include:

- a. The addition to an existing single dwelling unit consisting of 819- square-feet to the basemen and 548 square feet to first floor area, and to construct a new, detached 1,200-square-foot companion unit over 908 square feet of garage parking space with some storage/laundry room space;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

ATTACHMENT 5

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by January 4, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

ATTACHMENT 5

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, for the curb outlet, landscape, irrigation and walkways in the St. Tropez Place and Esterel Drive Right-of-Way, satisfactory to the City Engineer.

ATTACHMENT 5

13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond, the closure of the non-utilized driveway and non-utilized portion of existing easterly driveway with current city standard curb and gutter and sidewalk/parkway, adjacent to the site on St. Tropez Place, satisfactory to the City Engineer.

14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond, the construction of a new current city standard 14ft wide driveway and reconstruction of existing easterly driveway with a current city standard 14ft wide driveway, adjacent to the site on St. Tropez Place, satisfactory to the City Engineer.

15. The drainage system proposed for this development is subject to approval by the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

17. The project proposes to export 567 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit 'A,' the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during

demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES REQUIREMENTS:

25. Prior to the issuance of any Building Construction Permit, the Owner/Permittee shall have constructed, or ensured the construction of via permit and bond, all proposed public and private water and sewer facilities within the public ROW, and/or public easement, in accordance with the criteria established in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and all applicable City regulations, standards and practices.

26. Prior to any Certificate of Occupancy being issued, all domestic, irrigation, and fire water lines serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD) or include the following note on the site plan:

THIS SINGLE-FAMILY RESIDENTIAL DEVELOPMENT PROJECT WILL HAVE A COMBINED DOMESTIC/FIRE PROTECTION WATER SERVICE WHICH UTILIZES A PASSIVE PURGE STYLE OF DESIGN. IT IS THEREFORE EXEMPT FROM THE REQUIREMENT FOR A BACKFLOW PREVENTION DEVICE.

27. Prior to any Building Construction Permit being issued, any existing sewer lateral to be reused must be videoed and inspected by a California licensed plumber to verify and attest to (via a signed statement on company letterhead) that: all of the following: the lateral has an appropriate cleanout, is in good condition, is free of all debris, is properly connected to a public sewer main, and is suitable for reuse. If the lateral does not meet these requirements, it must be cleaned, repaired if necessary, and re-inspected or abandoned, capped, and replaced with a new permitted lateral.

28. Prior to any Certificate of Occupancy being issued, any private improvements which lie within a public ROW fronting the development, or within a public easement inside the development, which could inhibit the City's right to access, maintain, repair, or replace its public water and sewer facilities must be removed unless the Owner/Permittee has or obtains a City approved/County Recorded Encroachment and Maintenance Removal Agreement (EMRA) specific to that encroachment.

29. Prior to any Certificate of Occupancy being issued, any damages caused to the City of San Diego's public water and/or sewer facilities, which are due to the activities associated with this

development, shall be repaired or reconstructed in a manner satisfactory to the Public Utilities Director and the City Engineer in accordance with San Diego Municipal Code section 142.0607.

ENVIRONMENTAL REQUIREMENTS:

30. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents in "verbatim" as referenced in the City of San Diego Land Development Manual for Paleontological Resources.

31. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC)/Environmental Designee (ED) identifying the Principal Investigator (PI), Monitors, and all persons for the project and the names of all persons involved in the paleontological monitoring program, as identified in City of San Diego Land Development Manual for Paleontological Resources.

32. MMC/ED will provide a letter to the applicant confirming the qualifications of the PI, Monitors, and all persons involved in the paleontological monitoring of the project. Professional Qualifications shall meet the following standards:

a) The Principal Investigator (PI) should have a Ph.D. or M.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Four cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required. Two of the four years must be in a supervisory capacity (crew chief or above).

b) Paleontological Monitors should have a B.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Two cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required.

33. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

ATTACHMENT 5

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to Impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 16, 2020 and Resolution No.

ATTACHMENT 5

SITE DEVELOPMENT PERMIT NO. 24008379
December 16, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Derrick Johnson (D.J.)
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Bishoy Said
Owner/Permittee

By _____
Bishoy Said
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: X Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

 Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Project Name/Number: Said SDP / 646224

SCH No.: N.A.

Project Location-Specific: 7834 Esterel Drive, La Jolla, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit (CDP) to add to an existing single-family residence consisting of 819 square feet to the basement, 548 square feet to the first floor, and a new detached 1,200 square feet companion unit over 908 square feet of basement parking. The 0.498 acre site is located in the LJSPD-SF (La Jolla Shores Planned District-Single Family) base zone of the La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP&LCP) area. The project site is located at 7834 Esterel Drive (APN 346-600-1200) in a LJSPD-SF zone within the LJCP&LCP area in the Coastal Height Limit Overlay Zone. The property sits on a 21,681 square-foot (0.498-acre) site. It is in an area of the LJCP&LCP that is designated "Very Low Density", which allows for 0-5 dwelling units per net residential acre.

Name of Public Agency Approving Project: City of San Diego**Name of Person or Agency Carrying Out Project:** Sara Carpenter, 410 Bird Rock Ave., La Jolla, CA 92307, 858-459-1171**Exempt Status: (CHECK ONE)**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: Section 15301 (Existing Facilities), 15303 (New Construction)
- ☐ Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Sections 15301 and 15303; and where the exceptions listed in Section 15300.2 would not apply. Section 15301 addresses additions to existing facilities. Section 15303 addresses construction of a limited number of new facilities. Since the proposed project is an addition to existing single family home and the construction of a new companion unit the exemptions are appropriate.

Lead Agency Contact Person: C. Holowach

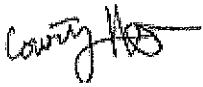
Telephone: 619-446-5187

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

ATTACHMENT 6



Associate Planner

Signature/Title

11/17/20

Date

Check One:

☒ Signed By Lead Agency

☐ Signed by Applicant

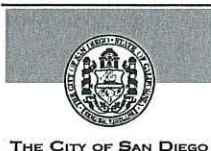
Date Received for Filing with County Clerk or OPR:



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Said Residence SDP		Project Number: 646224		Distribution Date: 1/21/2020	
Project Scope/Location: Project Description: (Process 3) Site Development Permit (SDP) for the addition to an existing single family residence consisting of 945 sq ft to basement, 551 sq ft to first floor and a new detached 1,200 sq ft Companion Unit over 546 sq ft of basement parking located at 7834 Esterel Drive. The 0.49 acre site is located in the La Jolla Shores Planned District Zone (LJSPD-SF) base zone of the La Community Plan Area, Council District 1.					
Applicant Name: Mark Lyon			Applicant Phone Number: 858-459-1171		
Project Manager: Tim Daly		Phone Number: (619) 446-5356	Fax Number: (619) 321-3200	E-mail Address: tpdaly@sandiego.gov	
Project Issues (To be completed by Community Planning Committee for initial review): companion unit setback too close to neighbor to west. Curb cuts needed? Findings can be made: 7-1-1					
Attach Additional Pages If Necessary.			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Said Residence SDP		Project Number: 646224	Distribution Date: 1/21/2020
Project Scope/Location: Project Description: (Process 3) Site Development Permit (SDP) for the addition to an existing single family residence consisting of 945 sq ft to basement, 551 sq ft to first floor and a new detached 1,200 sq ft Companion Unit over 546 sq ft of basement parking located at 7834 Esterel Drive. The 0.49 acre site is located in the La Jolla Shores Planned District Zone (LJSPD-SF) base zone of the La Community Plan Area, Council District 1.			
Applicant Name: Mark Lyon		Applicant Phone Number: 858-459-1171	
Project Manager: Tim Daly	Phone Number: (619) 446-5356	Fax Number: (619) 321-3200	E-mail Address: tpdaly@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 13	Members No 0	Members Abstain 1
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes 13	Members No 0	Members Abstain 1
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes 13	Members No 0	Members Abstain 1
<input type="checkbox"/> Vote to Deny	Members Yes 13	Members No 0	Members Abstain 1
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: approved on consent at regular LJCPA meeting, February 6, 2020			
NAME: Suzanne Weissman		TITLE: Secretary	
SIGNATURE:		DATE: 2/9/2020	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: SAID SDP **Project No. For City Use Only:** _____

Project Address: 7834 Esterel Drive, La Jolla, CA 92037

Specify Form of Ownership/Legal Status (please check):


☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Bishoy Said ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address: 7834 Esterel Drive
City: La Jolla State: CA Zip: 92037
Phone No.: (559) 280-2224 Fax No.: _____ Email: bishoysaid@gmail.com
Signature: _____ Date: 08/28/2019
Additional pages Attached: ☐ Yes ☒ No

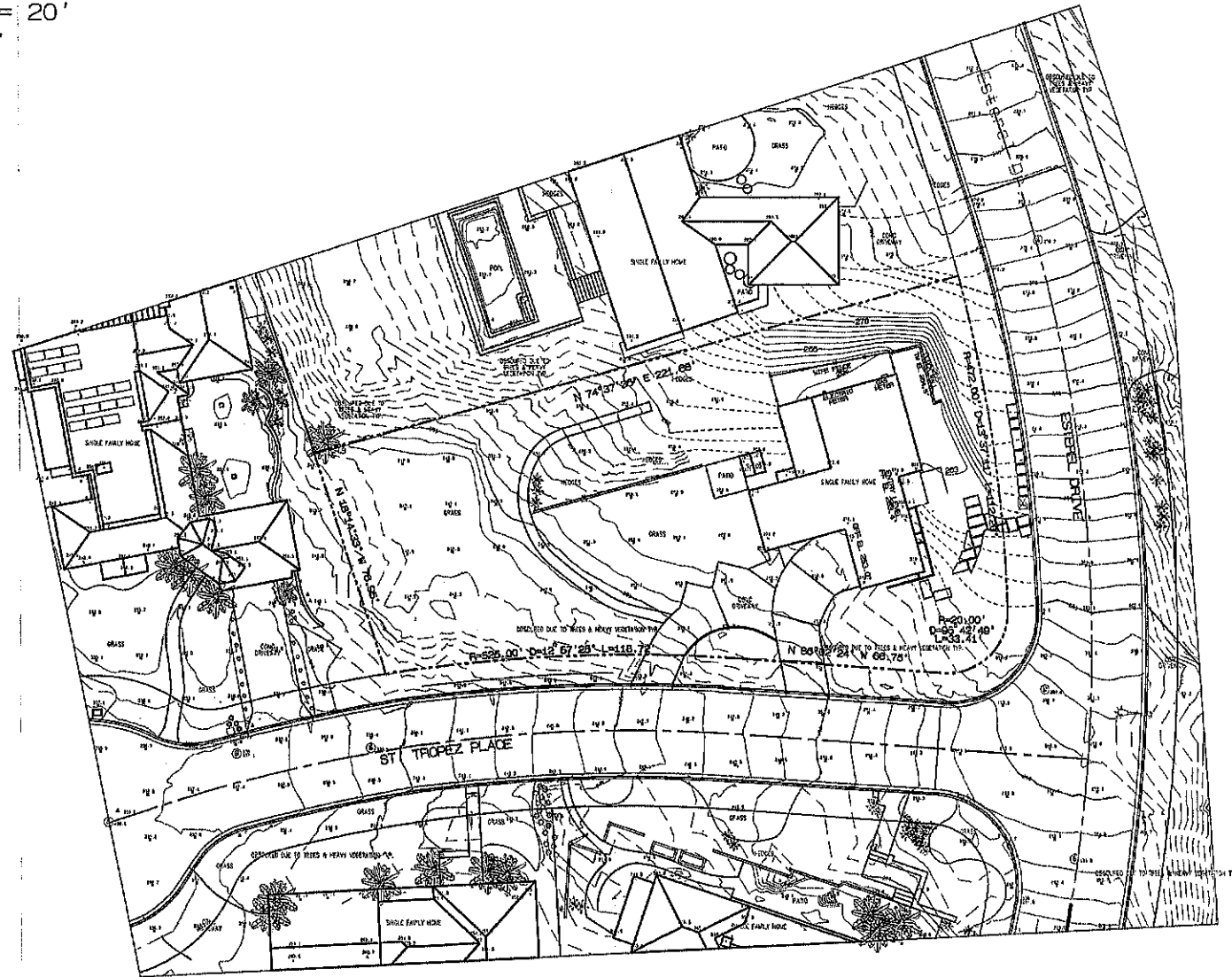
Applicant

Name of Individual: Bishoy Said ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address: 7834 Esterel Drive
City: La Jolla State: CA Zip: 92037
Phone No.: (559) 280-2224 Fax No.: _____ Email: bishoysaid@gmail.com
Signature:  Date: 08/28/2019
Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: ☐ Yes ☐ No

SCALE: 1" = 20'
CONTOUR INTERVAL: 1'



CE & S CHRISTENSEN ENGINEERING & SURVEYING
CIVIL ENGINEERS LAND SURVEYORS PLANNERS
7860 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126
TELEPHONE: (619) 271-9991 EMAIL: CEAN@S&S.COM

LEGAL DESCRIPTION

LOT 17 OF AZURE COAST UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3397, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JUNE 20, 1962.

NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. TITLE REPORT NOT PROVIDED.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 7834 ESTEREL DRIVE, LA JOLLA, CA 92037.
4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 348-600-12.
5. THE TOTAL AREA OF THE SUBJECT PARCEL IS 0.50 ACRES.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK WELL MONUMENT LOCATED WITHIN THE INTERSECTION OF ESTEREL DRIVE AND ST. TROPEZ PLACE, ELEVATION 254.86' MEAN SEA LEVEL (N.G.V.D. 1929).

Patrick F. Christensen 06-07-19
PATRICK F. CHRISTENSEN, P.L.S. 7208 Date



Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7860 SILVERTON AVENUE, SUITE "J"
SAN DIEGO, CA 92126
PHONE (619) 271-9991 EMAIL: CEAN@S&S.COM

Project Address:
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

Revision 5:
Revision 4:
Revision 3: 8-4-19 ADDED TOPO
Revision 2: 6-25-19 ADDED PP'S
Revision 1: 6-6-19 ANNOTATED BODY

Project Name:
SAID RESIDENCE

Original Date: MAY 7, 2019

Sheet Title:
TOPOGRAPHIC MAP

Sheet 1 of 1

DATE

JUN 2019-32

PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (619) 454-1171

PROJECT NAME:
SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

SHEET TITLE:
EXISTING TOPOGRAPHIC MAP

Revision 14:
Revision 13:
Revision 12:
Revision 11:
Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1:
Original Date: 04/30/2018
Sheet 1 of 1
Page 1

**SAID
RESIDENCE**

7834 ESTEREL DRIVE
LA JOLLA, CA 92037

REVISIONS

Revision 5:
Revision 4:
Revision 3: 8-4-19 ADDED TOPO
Revision 2: 6-25-19 ADDED PP'S
Revision 1: 6-6-19 ANNOTATED BODY

SUBMITTAL DATE:
04/20/2019

PROJECT:
SITE DEVELOPMENT PERMIT

PROJECT NUMBER:
1411

RESPONSIBLE BY:
MDL

DRAWN BY:
SEC

DATE:
08/28/2020

SHEET TITLE:
EXISTING TOPOGRAPHIC MAP

SHEET NO.:
C-1

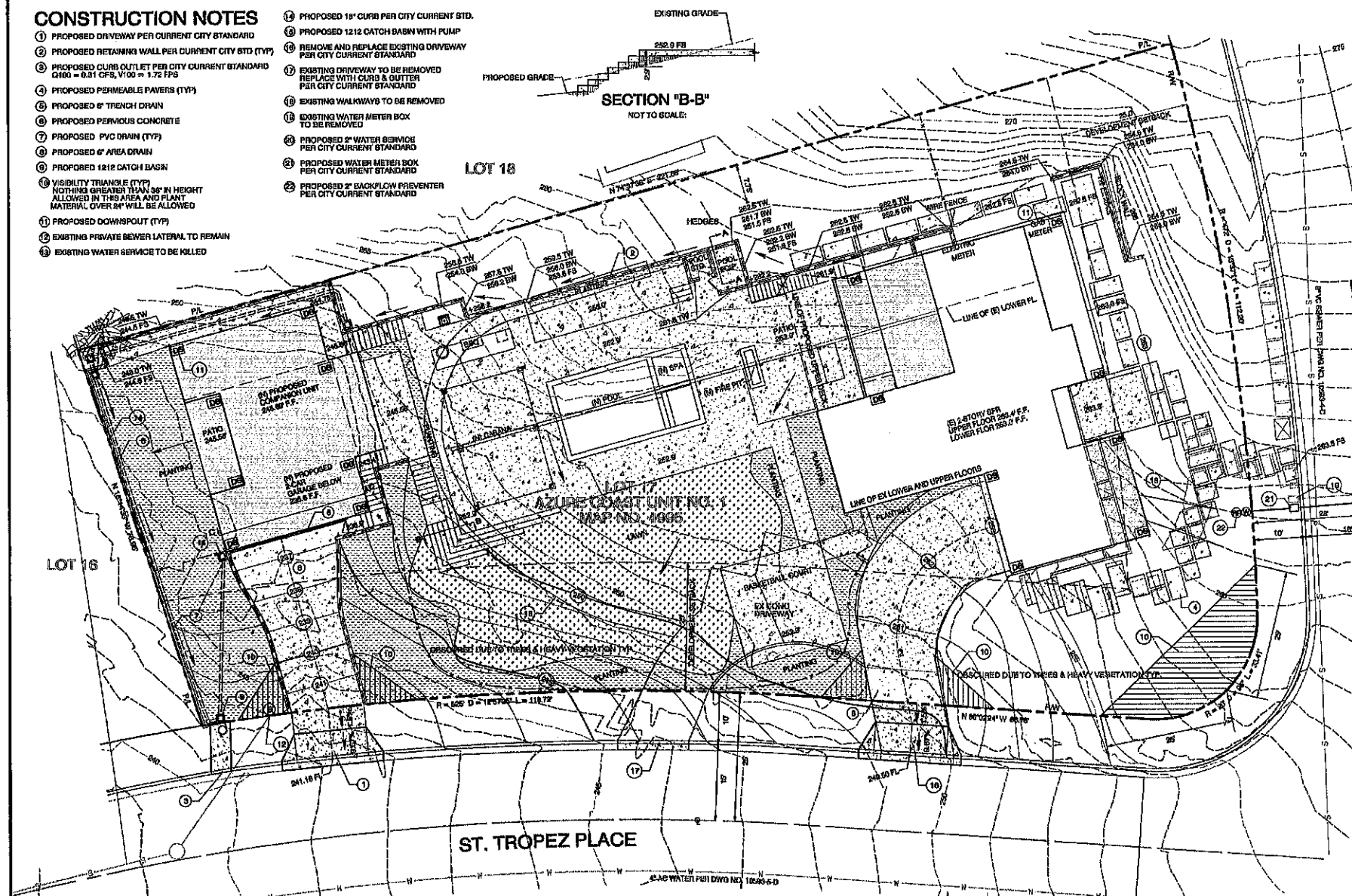
CONSTRUCTION NOTES

- PROPOSED DRIVEWAY PER CURRENT CITY STANDARD
- PROPOSED RETAINING WALL PER CURRENT CITY STD. (TYP)
- PROPOSED CURB OUTLET PER CITY CURRENT STANDARD
Q100 = 0.31 CFS, V100 = 1.72 FPS
- PROPOSED PERMEABLE PAVERS (TYP)
- PROPOSED 6" TRENCH DRAIN
- PROPOSED PERVIOUS CONCRETE
- PROPOSED PVC DRAIN (TYP)
- PROPOSED 6" AREA DRAIN
- PROPOSED 1812 CATCH BASIN
- VISIBILITY TRIANGLE (TYP)
NOTHING GREATER THAN 36" IN HEIGHT
ALLOWED IN THIS AREA AND PLANT
MATERIAL OVER 24" WILL BE ALLOWED
- PROPOSED DOWNSPOUT (TYP)
- EXISTING PRIVATE SEWER LATERAL TO REMAIN
- EXISTING WATER SERVICE TO BE KILLED

- PROPOSED 18" CURB PER CITY CURRENT STD.
- PROPOSED 1212 CATCH BASIN WITH PUMP
- REMOVE AND REPLACE EXISTING DRIVEWAY
PER CITY CURRENT STANDARD
- EXISTING DRIVEWAY TO BE REMOVED
REPLACE WITH CURB & GUTTER
PER CITY CURRENT STANDARD
- EXISTING WALKWAYS TO BE REMOVED
- EXISTING WATER METER BOX
TO BE REMOVED
- PROPOSED 2" WATER SERVICE
PER CITY CURRENT STANDARD
- PROPOSED WATER METER BOX
PER CITY CURRENT STANDARD
- PROPOSED 2" BACKFLOW PREVENTER
PER CITY CURRENT STANDARD

SECTION "B-B"

NOT TO SCALE



SITE DEVELOPMENT PERMIT

LEGAL DESCRIPTION:

LOT 17 OF AZURE COAST UNIT NO. 1, IN THE CITY OF SAN DIEGO,
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP
THEREOF NO. 4206, FILED IN THE OFFICE OF THE COUNTY
RECORDER OF SAN DIEGO COUNTY JUNE 6, 1962.

APN: 946-000-12

BENCHMARK

CITY OF SAN DIEGO BENCHMARK WELL MONUMENT LOCATED WITHIN THE INTERSECTION OF
ESTEREL DRIVE AND ST. TROPEZ PLACE, ELEVATION 254.89 MEAN SEA LEVEL (D.G.V.D. 1929).

NOTES

- THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TOPOGRAPHIC
SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING, DATED MAY 07, 2018.
- THE USE OF PROPOSED LOT IS FOR SINGLE-FAMILY RESIDENCE.
- THE SUBJECT PROPERTY IS SERVED BY PRIVATE SANITARY SEWER LATERAL AND PUBLIC WATER
SERVICE CONNECTED TO CITY OF SAN DIEGO MAIN.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL
INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY
TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (EROSION REGULATIONS) OF
THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- NO EASEMENTS EXIST ON-SITE.
- FOR LANDSCAPE AND HARDSCAPE, SEE SEPARATE LANDSCAPE PLAN.
- THIS PROJECT PROPOSES TO EXPORT 1,684 CUBIC YARDS OF MATERIAL FROM THIS
SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE
APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL.
ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL
SUBMIT A WATER POLLUTION CONTROL PLAN (WPP). THE WPP SHALL BE PREPARED IN
ACCORDANCE WITH THE GUIDELINES IN PART 6 CONSTRUCTION BMP STANDARDS CHAPTER 4
OF THE CITY'S STORM WATER STANDARDS.
- THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE APPLICANT/PERMITTEE WILL BE
REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.
- AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE
IMPROVEMENTS WITHIN RIGHT OF WAY, INCLUDING PRIVATE SEWER LATERAL CONNECTION
(IF APPLICABLE).

LEGEND:

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	EXISTING CONTOUR
- - -	EXISTING SEWER LINE
- - -	EXISTING WATER LINE
- - -	PROPOSED WATER SERVICE
- - -	PROPOSED 1" TRENCH DRAIN
- - -	PROPOSED PVC DRAIN
- - -	PROPOSED DOWNSPOUT
- - -	PROPOSED ON-SITE CURB
- - -	PROPOSED CONCRETE SURFACE
- - -	PROPOSED PERMEABLE PAVERS
- - -	PROPOSED RETAINING WALL
- - -	PROPOSED CATCH BASIN
- - -	PROPOSED AREA DRAIN
- - -	PROPOSED TRENCH DRAIN
- - -	PROPOSED CURB OUTLET PER CITY CURRENT STANDARD
- - -	PROPOSED DRIVEWAY PER CITY CURRENT STANDARD
- - -	PROPOSED NEW WATER METER BOX PER CITY CURRENT STANDARD
- - -	PROPOSED BACKFLOW PREVENTER PER CITY CURRENT STANDARD
- - -	EXISTING SEWER LATERAL

GRADING DATA

AREA OF SITE - 51,401 S.F. (0.50 AC)
AREA OF SITE TO BE GRADED - 14,440 SF
PERCENT OF SITE TO BE GRADED - 28.1%
AMOUNT OF SITE WITH 5% SLOPES OR GREATER - AREA - 3,814 SF
PERCENT OF TOTAL SITE - 7.4%
AMOUNT OF CUT - 1,494 C.Y. (TO FINISH SURFACE)
AMOUNT OF FILL - 497 C.Y.
AMOUNT OF EXPORT - 697 C.Y.
MAXIMUM HEIGHT OF CUT SLOPE - 1'
MAXIMUM HEIGHT OF CUT SLOPE - 1'
MAXIMUM HEIGHT OF VERTICAL CUTS
WITHIN BUILDING FOOTPRINT - 11.4'
OUTSIDE BUILDING FOOTPRINT - 8.0'
MAXIMUM HEIGHT OF VERTICAL FILL
WITHIN BUILDING FOOTPRINT - 0
OUTSIDE BUILDING FOOTPRINT - 2.0'
EXISTING IMPERVIOUS AREA = 5,178 SF (0.119 AC) (23.0%)
PROPOSED CREATED/REPLACED IMPERVIOUS AREA = 7,530 SF (0.160 AC)

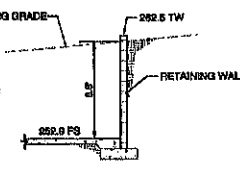
SCALE: 1" = 10'

CONTOUR INTERVAL: 1'

CE & S CHRISTENSEN ENGINEERING & SURVEYING
CIVIL ENGINEERS LAND SURVEYORS PLANNERS
7888 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126
TELEPHONE: (619) 271-8901 FAX: (619) 271-8912

SECTION "A-A"

NOT TO SCALE



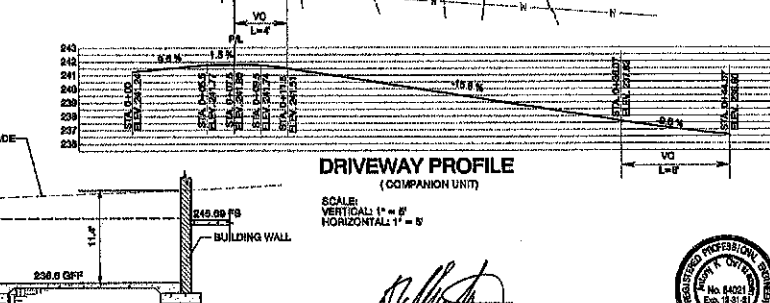
DRIVEWAY PROFILE

(COMPANION UNIT)

SCALE: VERTICAL 1" = 5' HORIZONTAL 1" = 5'

SECTION "C-C"

NOT TO SCALE



Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE "J"
SAN DIEGO, CA 92126
PHONE: (619) 271-8901 FAX: (619) 271-8912

Project Address:
7884 ESTEREL DRIVE
LA JOLLA, CA 92037

Project Name:
S&D RESIDENCE

Sheet Title:

PRELIMINARY GRADING PLAN

Revision 1:
Revision 2:
Revision 3:
Revision 4:
Revision 5:
Revision 6:
Revision 7:
Revision 8:
Revision 9:
Revision 10:
Revision 11:
Revision 12:
Revision 13:
Revision 14:
Revision 15:
Revision 16:
Revision 17:
Revision 18:
Revision 19:
Revision 20:
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Revision 93:
Revision 94:
Revision 95:
Revision 96:
Revision 97:
Revision 98:
Revision 99:
Revision 100:

Original Date: AUGUST 28, 2018

Sheet of Sheets

DEPT

C-2

SAID
RESIDENCE

7884 ESTEREL DRIVE
LA JOLLA, CA 92037

SUBMITTAL DATE:

04/20/2018

PROJECT:

SITE DEVELOPMENT PERMIT

PROJECT NUMBER:

MIL

REVIEWED BY:

MDL

DRAWN BY:

SEC

DATE:

08/26/2020

SHEET TITLE:

PROPOSED GRADING PLAN

SHEET NO.:

C-2

PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (619) 454-1111

PROJECT NAME:

S&D RESIDENCE
7884 ESTEREL DRIVE
LA JOLLA, CA 92037

SHEET TITLE:

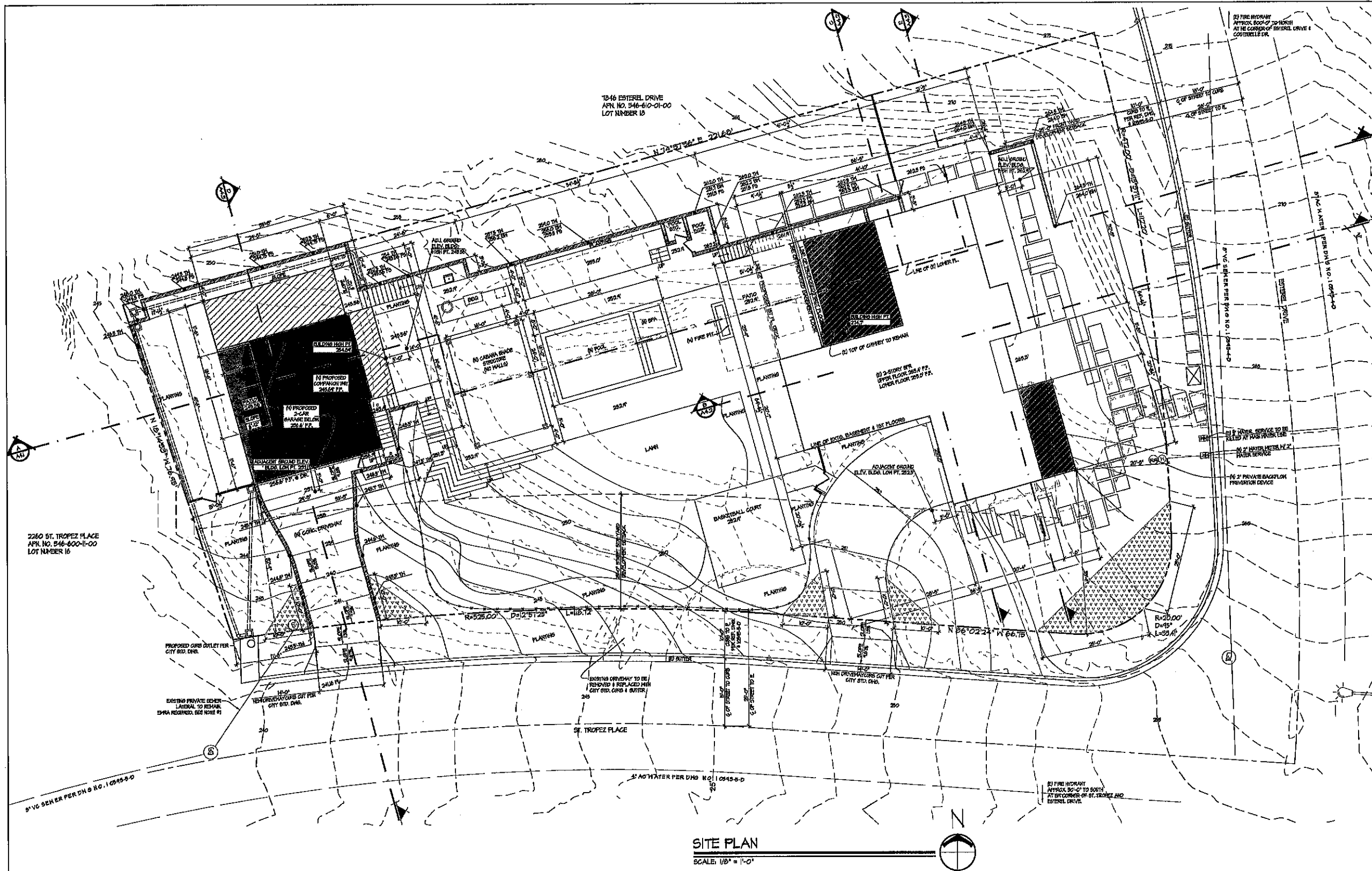
PROPOSED GRADING PLAN

Revision 1:
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Revision 3:
Revision 4:
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Revision 11:
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Revision 96:
Revision 97:
Revision 98:
Revision 99:
Revision 100:

Original Date: 04/20/2018

Sheet 2 of 2

Date



SITE PLAN

SCALE: 1/8" = 1'-0"

NOTES	NOTES CONT'D	SITE LEGEND	IMPERVIOUS AREA & EARTHWORK QUANTITIES
<p>1. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHS POLICY P-00-6 (MFG 901.4.4)</p> <p>2. THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (30' MAX. HEIGHTS 804.4.4 AND 802.2.2.2) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.</p> <p>3. LIGHTING SHALL BE UNOBSTRUCTIVE AND SHIELDED SO AS NOT TO FALL EXCESSIVELY ON ADJACENT PROPERTIES.</p> <p>4. ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 50 PERCENT OF THE TOTAL PARCEL AREA.</p> <p>5. THERE ARE NO TRANSIT STOPS WITHIN 800' OF SITE.</p> <p>6. THERE ARE NO EXISTING OR PROPOSED BASEMENTS ON THE SITE.</p>	<p>6. THE PROJECT IS LOCATED IN THE ASBS WATERSHED. THE APPLICANT/PERMITTEE WILL BE REQUIRED TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS ACCORDINGLY.</p> <p>7. AN EIRMA WILL BE OBTAINED FOR ALL PRIVATE LANDSCAPE IN THE PUBLIC RIGHT OF WAY. NEW CURB CURB OUTLET AND PRIVATE SEWER LATERAL CONNECTION.</p> <p>8. ALL PRIVATE OUTDOOR LIGHTING SHALL BE SHIELDED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED AND IN ACCORDANCE WITH THE APPLICABLE REGULATIONS IN THE SOHC.</p> <p>9. A TOPOGRAPHICAL SURVEY CONFORMING TO THE PROVISIONS OF THE SOHC MAY BE REQUIRED IF IT IS DETERMINED DURING CONSTRUCTION THAT THERE MAY BE A CONFLICT BETWEEN THE BUILDING UNDER CONSTRUCTION AND A CONDITION OF THIS PERMIT OR A REGULATION OF THE UNDERLYING ZONE. THE COST OF ANY SUCH SURVEY SHALL BE BORNE BY THE OWNER/PERMITTEE.</p>	<p>EXISTING BASEMENT & FIRST FLOOR TO REMAIN</p> <p>PROPOSED BASEMENT FLOOR ADDITION</p> <p>PROPOSED GARAGE FLOOR (COMPANION UNIT)</p> <p>PROPOSED FIRST FLOOR ADDITION</p> <p>PROPOSED COMPANION UNIT ADDITION</p> <p>DRIVEWAY VISIBILITY TRIANGLE</p> <p>PROPOSED CHW SITE WALLS</p> <p>EXISTING TOPOGRAPHY</p> <p>DEMIO TOPOGRAPHY</p> <p>PROPOSED TOPOGRAPHY</p>	<p>AREA OF SITE: 21,681 SQ. FT. (50 ACRES)</p> <p>AREA OF SITE TO BE GRADED: 14,440 SQ. FT.</p> <p>PERCENT OF SITE TO BE GRADED: 66.6%</p> <p>AMOUNT OF SITE WITH 2% SLOPES OR GREATER: AREA 5,514 SQ. FT.</p> <p>PERCENT OF TOTAL SITE: 25.4%</p> <p>AMOUNT OF CUT: 1,054 CU. YD. (TO FINISH SURFACE)</p> <p>AMOUNT OF FILL: 467 CU. YD.</p> <p>AMOUNT OF EXPORT: 587 CU. YD.</p> <p>MAX. HEIGHT OF FILL SLOPE: 1'-0"</p> <p>MAX. HEIGHT OF CUT SLOPE: 1'-0"</p> <p>MAX. HEIGHT OF VERTICAL CURB: 11'-8"</p> <p>MIN. BUILDING FOOTPRINT: 8'-7"</p> <p>MAX. HEIGHT OF VERTICAL FILL: 0'-0"</p> <p>MIN. BUILDING FOOTPRINT: 2'-1"</p> <p>EXISTING IMPERVIOUS AREA: 5,118 SQ. FT. (0.114 ACRES) (25.1%)</p> <p>PROPOSED GRATED/REPLACED IMPERVIOUS AREA: 1,650 SQ. FT. (0.038 ACRES) (06.1%)</p> <p>THIS PROJECT PROPOSES TO EXPORT 547 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE 2015 GREENBOOK AND SUPPLEMENTAL AMENDMENTS. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SAL OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.</p> <p>IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT AND RECOMMENDATION OF PLANS TO PLAN CHECK TO VERIFY THAT REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.</p>

PREPARED BY:
 Name: ARCHITECT MARK D. LYON, INC.
 Address: 410 BIRD ROCK AVENUE
 LA JOLLA, CA 92037
 Phone #: (858) 459-1171

PROJECT NAME:
 SAID RESIDENCE
 7834 ESTEREL DRIVE
 LA JOLLA, CA 92037

SHEET TITLE:
 PROPOSED SITE PLAN

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: _____
 Revision 3: _____
 Revision 2: _____
 Revision 1: _____

Original Date: 04/20/2019

Sheet: 4 of 22

DATE: 09/26/2020

DATE: 04/20/2019

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVENUE, LA JOLLA, CA 92037 (858) 459-1171 INFO@MDLA.NET



SAID RESIDENCE
 7834 ESTEREL DRIVE
 LA JOLLA, CA 92037

REVISIONS: _____

SUBMITTAL DATE: 04/20/2019

PERMIT: SITE DEVELOPMENT PERMIT

PROJECT NUMBER: 111

REVIEWER: MCL

DRAWN BY: SEC

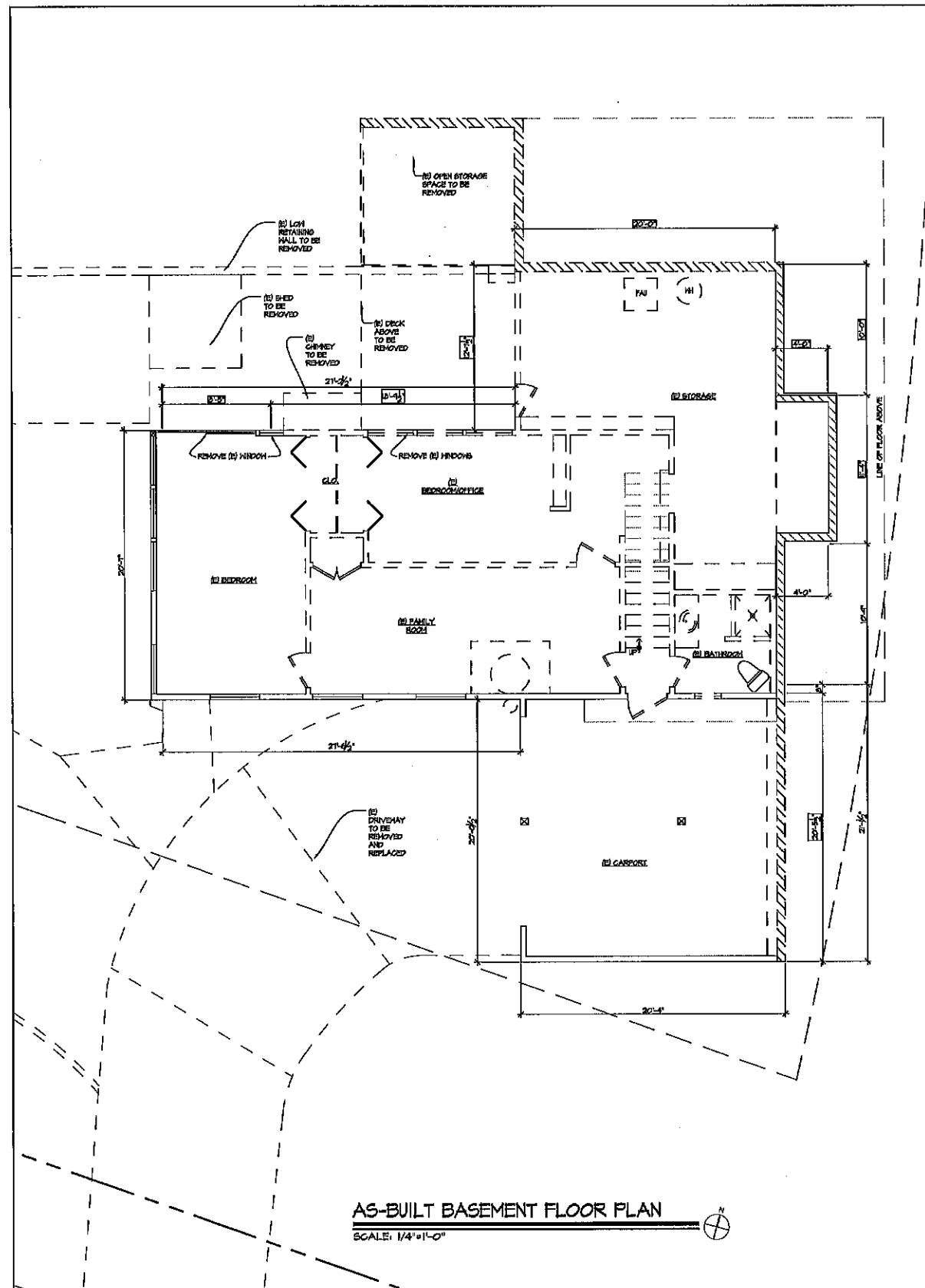
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SHEET TITLE: PROPOSED SITE PLAN

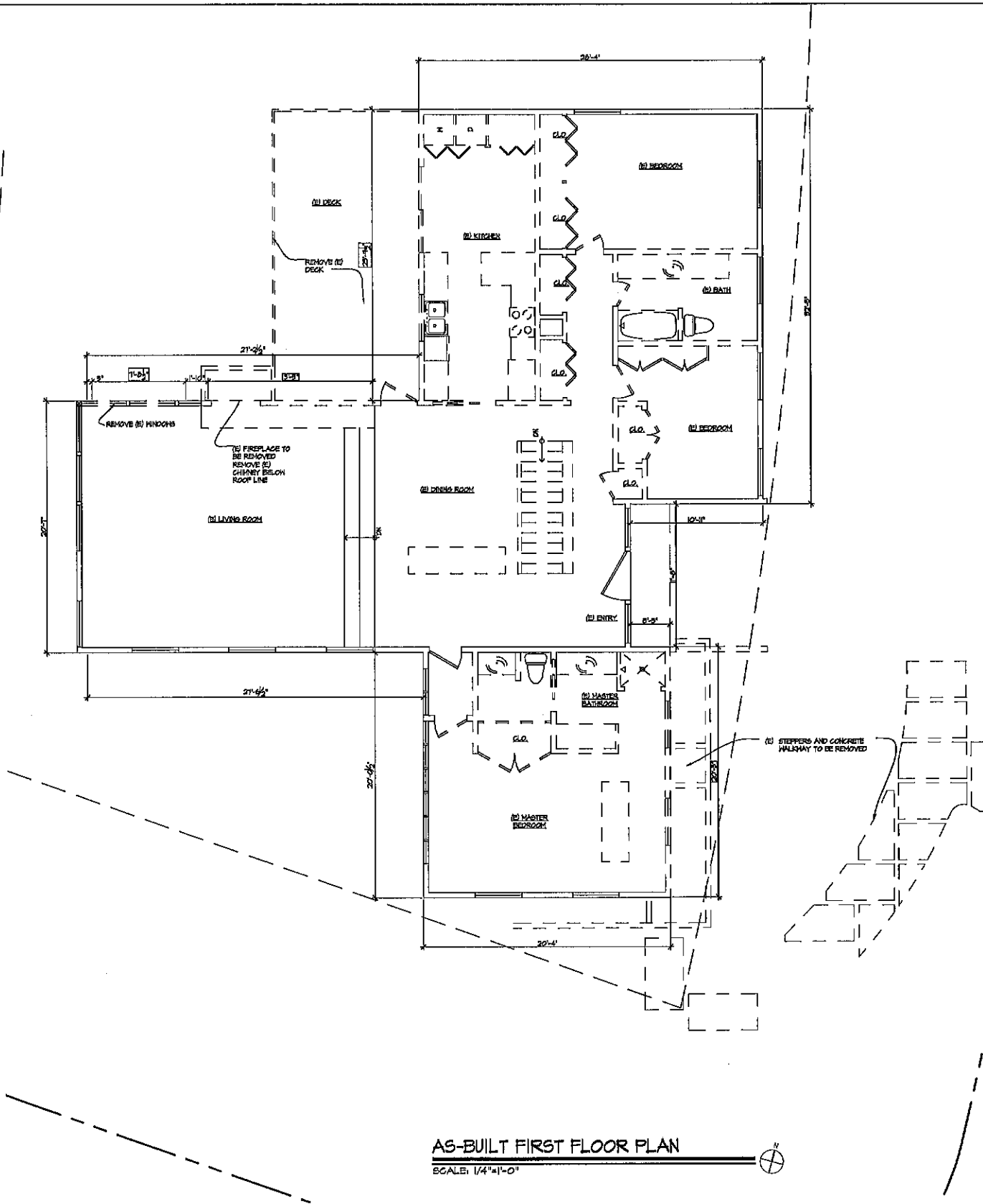
DATE: 04/20/2019

Sheet: 4 of 22

DATE: 04/20/2019



WALL LEGEND	DEMOLITION NOTES
<p>① WALL NUMBER</p> <p>— EXISTING WALL TO REMAIN</p> <p>- - - EXISTING WALL TO BE REMOVED</p> <p>— EXISTING DOOR TO BE REMOVED</p> <p>— EXISTING WINDOW TO BE REMOVED</p> <p>ALL OTHER DASHED LINES REPRESENT ADDITIONAL ITEMS TO BE REMOVED.</p>	<ol style="list-style-type: none"> CONTRACTOR SHALL INVESTIGATE EXISTING FOOTINGS, FOUNDATION WALLS, RAISED FLOORS AND SLABS. CONTRACTOR TO VERIFY FIELD CONDITIONS WITH STRUCTURAL PLANS AND SPECIFICATIONS. CONTRACTOR SHALL ALLOW FOR CONNECTIONS TO EXISTING PLUMBING AND SEWER LOCATIONS. REMOVE ALL LANDSCAPE/HARDSCAPE WHERE INDICATED FOR NEW ADDITION. REMOVE WALLS AS SHOWN. VERIFY IN FIELD WITH ARCHITECT WALLS TO BE REMOVED. REMOVE EXISTING ROOFING AND ROOF FRAMING WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N. REMOVE EXISTING CEILING FRAMING AND FINISH WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N. REMOVE FLOORING TO SUB FLOOR WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N. REMOVE ALL EXISTING WINDOWS AS INDICATED AND PREP OPENING TO RECEIVE NEW UNIT. VERIFY ALL ROUGH OPENING DIMENSIONS. REMOVE EXISTING HARDSCAPE AND PREP FOR NEW HARDSCAPE. ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY OWNER.



<p>PREPARED BY:</p> <p>Name: ARCHITECT MARK D. LYON, INC.</p> <p>Address: 410 BIRD ROCK AVENUE LA JOLLA, CA 92037</p> <p>Phone #: (858)459-1171</p> <p>PROJECT NAME:</p> <p>SAID RESIDENCE</p> <p>7834 ESTERIL DRIVE LA JOLLA, CA 92037</p> <p>SHEET TITLE:</p> <p>AS-BUILT AND DEMO PLANS</p> <p>MAIN HOUSE</p>	<p>Revision 14: _____</p> <p>Revision 13: _____</p> <p>Revision 12: _____</p> <p>Revision 11: _____</p> <p>Revision 10: _____</p> <p>Revision 9: _____</p> <p>Revision 8: _____</p> <p>Revision 7: _____</p> <p>Revision 6: _____</p> <p>Revision 5: _____</p> <p>Revision 4: _____</p> <p>Revision 3: _____</p> <p>Revision 2: _____</p> <p>Revision 1: _____</p> <p>Original Date: 04.20.2019</p> <p>Sheet: 0 of 22</p> <p>DATE: 08.26.2020</p> <p>DATE: 08.26.2020</p> <p>DATE: 08.26.2020</p>
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ARCHITECT MARK D. LYON INC.
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SAID RESIDENCE
7834 ESTERIL DRIVE
LA JOLLA, CA 92037

REVISION:

DATE: 04.20.2019

PHASE: SITE DEVELOPMENT PERMIT

PROJECT NUMBER: M1

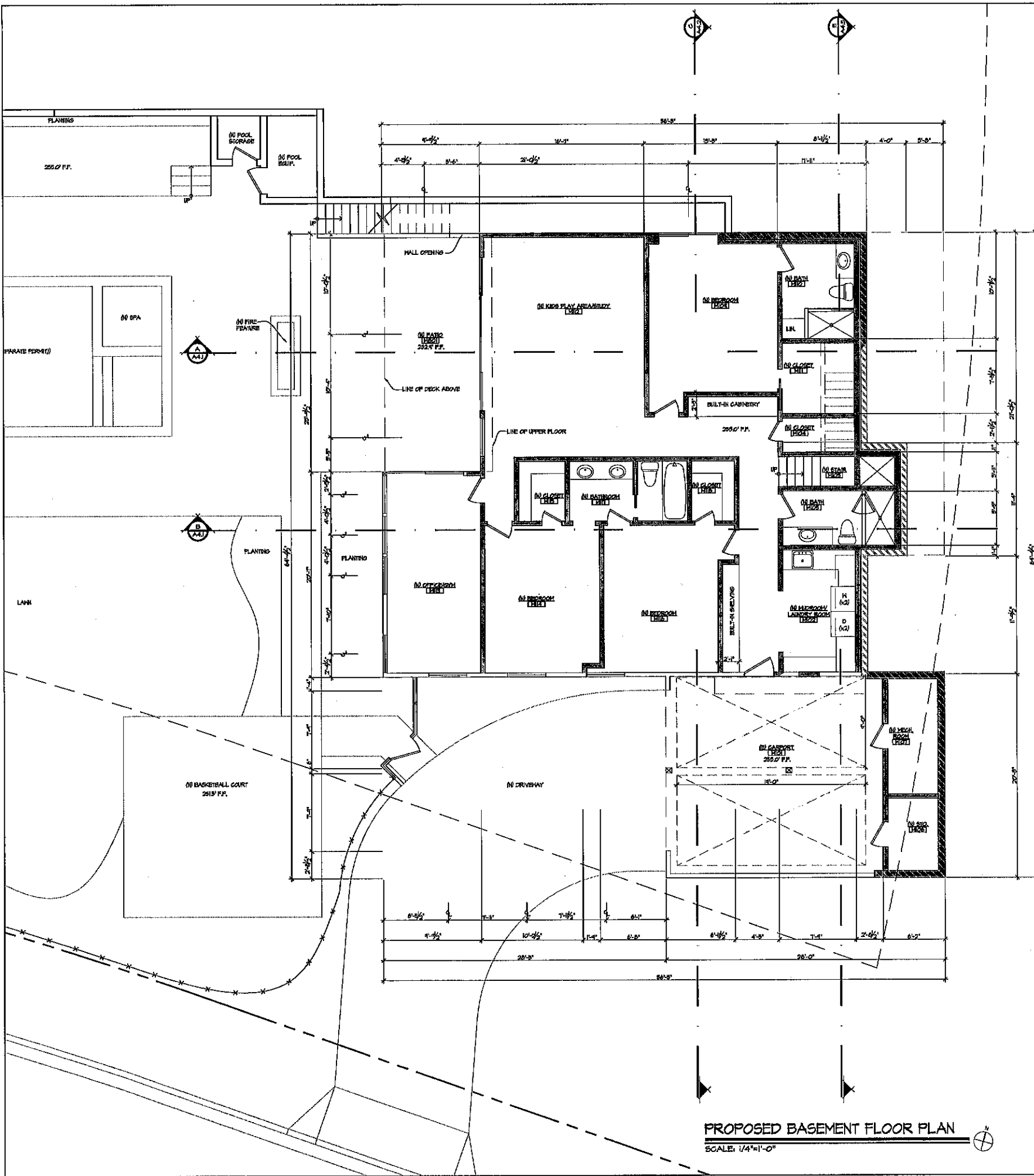
REVIEWED BY: MDL

DESIGNED BY: SEC

DATE: 08.26.2020

SHEET TITLE: AS-BUILT FLOOR PLANS

SHEET NO.: A2.0



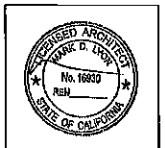
SYMBOL LEGEND
(SCHEDULES ON SHEET A-6.1)

ROOM NUMBER

WALL LEGEND

EXISTING WALL TO REMAIN
EXISTING CMU WALL TO REMAIN
FURNED WALL - EXISTING 2X4 EXTERIOR WALL STUDS DISTANCE 16" O.C.
NEW WALL: 2X4 WOOD STUD @ 16" O.C.
EXTERIOR WALLS: 2X4 CONSTRUCTION
INTERIOR PARTITIONS: 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED
NEW CMU WALL
INTERIOR PARTITIONS: 2X4 CONSTRUCTION
NEW DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
NEW POCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
EXTERIOR WALL DIMENSIONS TO FACE OF STUD/STUD WALL
INTERIOR WALL DIMENSIONS TO FACE OF STUD OR CENTER LINE
SEE SCHEDULE FOR INSULATION SPECIFICATIONS.

ARCHITECT MARK D. LYON INC.
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SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

PREPARED BY:
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Phone #: (858) 559-1171

PROJECT NAME:
SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

SHEET TITLE:
PROPOSED BASEMENT FLOOR PLAN
MAIN HOUSE

Revision Log:

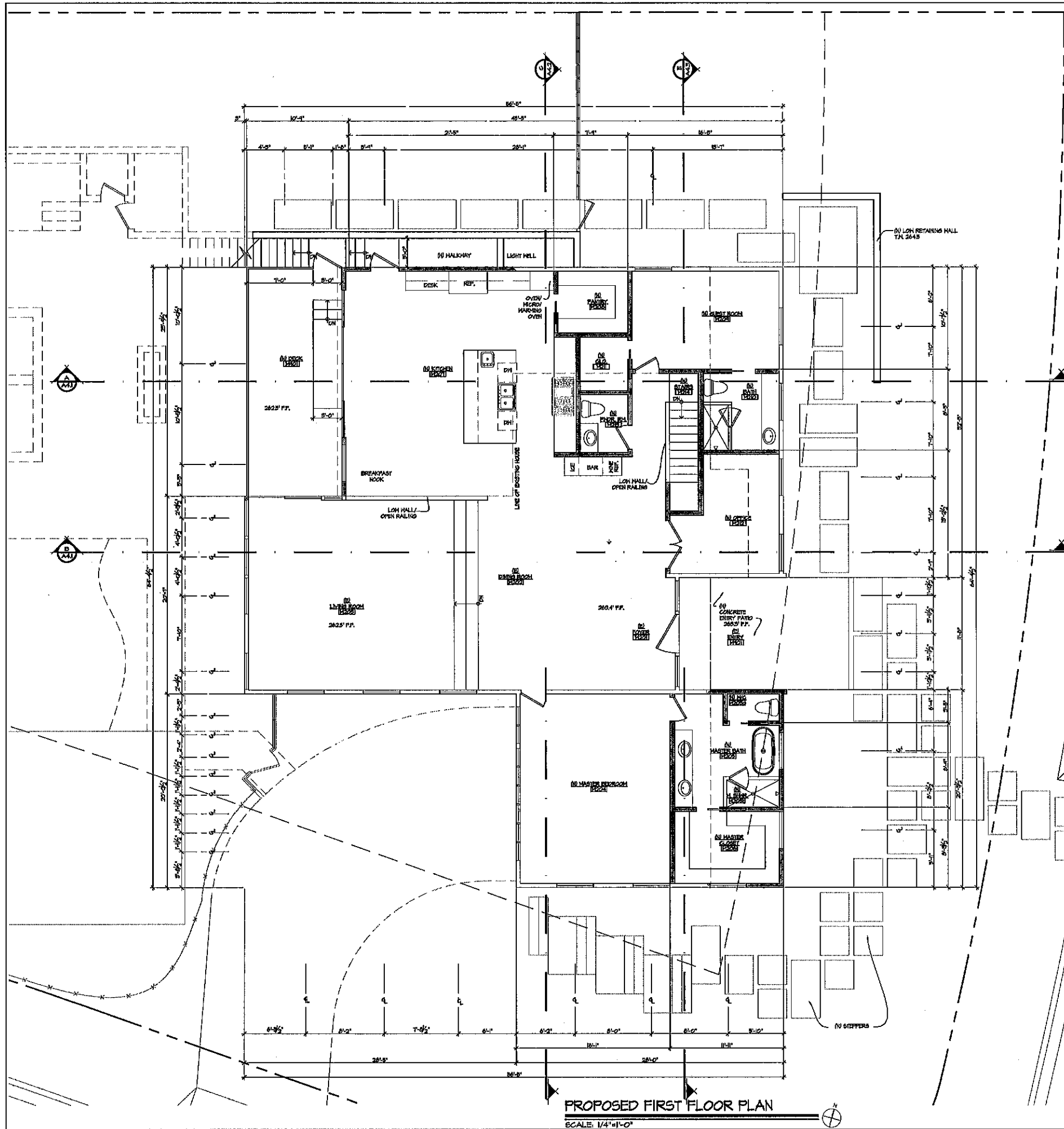
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Revision 100	MDL	08/26/2020

Original Date: 08/26/2020
Sheet: 1 of 21
DWG: 100

REVISIONS:

NO.	DATE	DESCRIPTION
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100	08/26/2020	04/20/2019

PROPOSED BASEMENT FLOOR PLAN
A2.1



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

SYMBOL LEGEND
(SCHEDULES ON SHEET A-6.1)

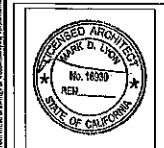
ROOM NUMBER

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING CMU WALL TO REMAIN
- TURNED WALL - EXISTING 2X4 EXTERIOR WALL STUDS BISTRED BY 2X4 STUDS UOIN
- NEW WALL: 2X HOOD STUD @ 16" O.C. EXTERIOR WALLS: 2X4 CONSTRUCTION INTERIOR PARTITIONS: 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED
- NEW CMU WALL
- INTERIOR PARTITIONS: 2X4 CONSTRUCTION NEW DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- NEW POCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- 4" UOIN
- 4" UOIN
- EXTERIOR HALL DIMENSIONS TO FACE OF STUD/PTN. HALL. INTERIOR HALL DIMENSIONS TO FACE OF STUD OR CENTER LINE Q.
- SEE SP-1 FOR INSULATION SPECIFICATIONS.

PREPARED BY:	
ARCHITECT MARK D. LYON, INC.	
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LA JOLLA, CA 92037	
Phone #: (619) 459-1171	
PROJECT NAME:	
SAID RESIDENCE	
7834 ESTEREL DRIVE	
LA JOLLA, CA 92037	
SHEET TITLE:	
PROPOSED UPPER FLOOR PLAN	
MAIN HOUSE	
Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	
Original Date:	04.30.2014
Sheet	8 of 31
DATE:	08.26.2020
DATE:	08.26.2020

ARCHITECT MARK D. LYON, INC.
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(619) 459-1171
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SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

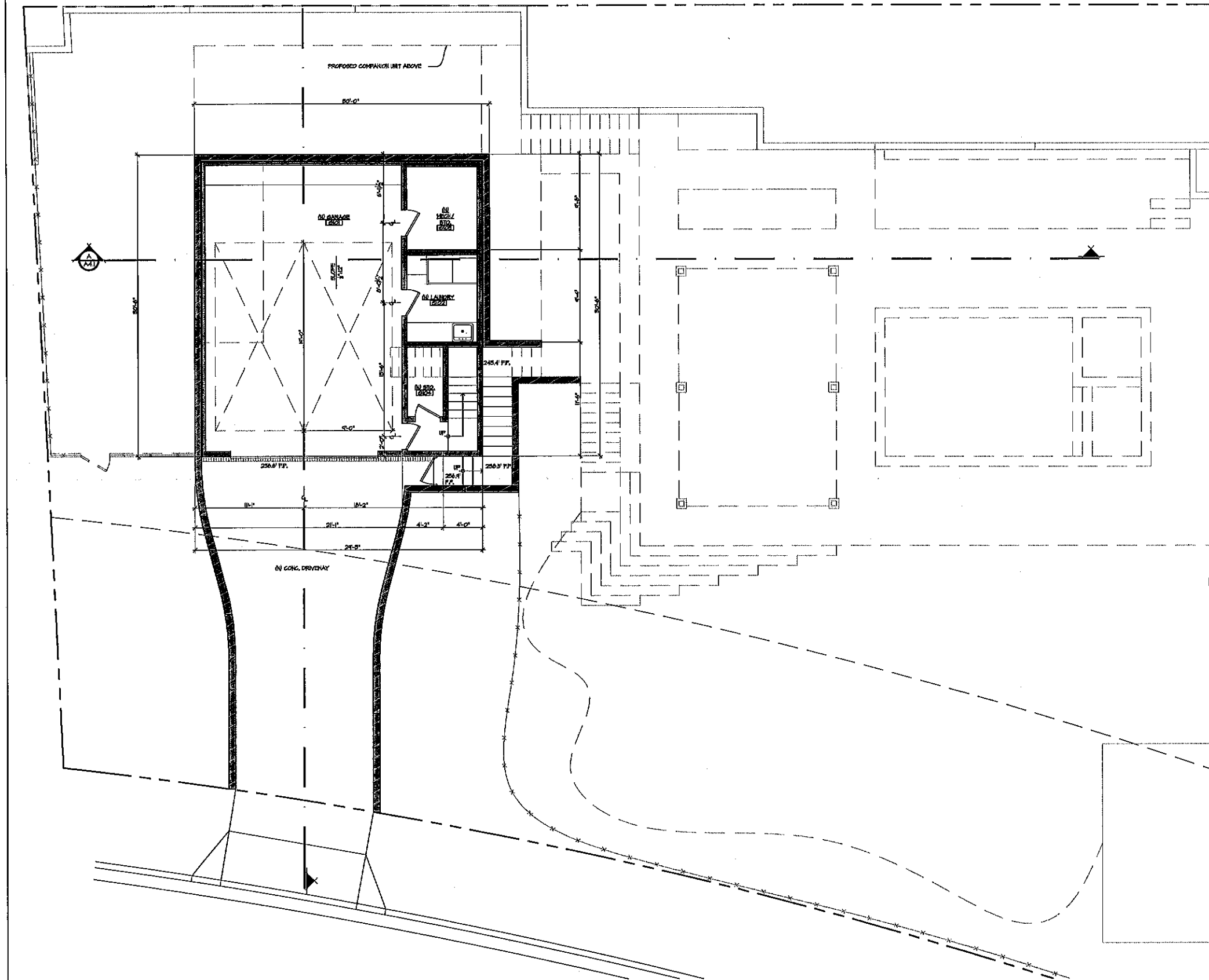
REVISIONS

SUBMITTAL DATE:	04.30.2014
PHASE:	SITE DEVELOPMENT PERMIT
PROJECT NUMBER:	MH
REVIEWED BY:	MDL
DATE:	08.26.2020
DATE:	08.26.2020

SHEET TITLE:
PROPOSED FIRST FLOOR PLAN

CHECKING:

A2.2



SYMBOL LEGEND
(SCHEDULES ON SHEET A-6.1.)

100 ROOM NUMBER

AREA INCLUDED IN F.A.R.

WALL LEGEND

EXISTING WALL TO REMAIN

EXISTING CMU WALL TO REMAIN

FURRED WALL - EXISTING 2X4 EXTERIOR WALL STUDS SISTERED IN 2X6 STUDS

NEW WALL: 2X WOOD STUD @ 16" O.C.

EXTERIOR WALLS: 2X6 CONSTRUCTION

INTERIOR PARTITIONS: 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED

NEW CMU WALL

INTERIOR PARTITIONS: 2X4 CONSTRUCTION

NEW DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED

NEW POCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED

4" BOX

4" BOX

EXTERIOR WALL DIMENSIONS TO FACE OF STUD/PTNL WALL

INTERIOR WALL DIMENSIONS TO FACE OF STUD OR CENTER

SEE SP-1 FOR INSULATION SPECIFICATIONS.

PREPARED BY:
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LA JOLLA, CA 92037
Phone #: (619)459-1171

PROJECT NAME:
SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

SHEET TITLE:
PROPOSED GARAGE FLOOR PLAN
COMPANION UNIT

Original Date: 01/20/2019

Sheet 10 of 22

Page 10

ARCHITECT MARK D. LYON, INC.
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SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE: 01/20/2019

DATE: 08/26/2020

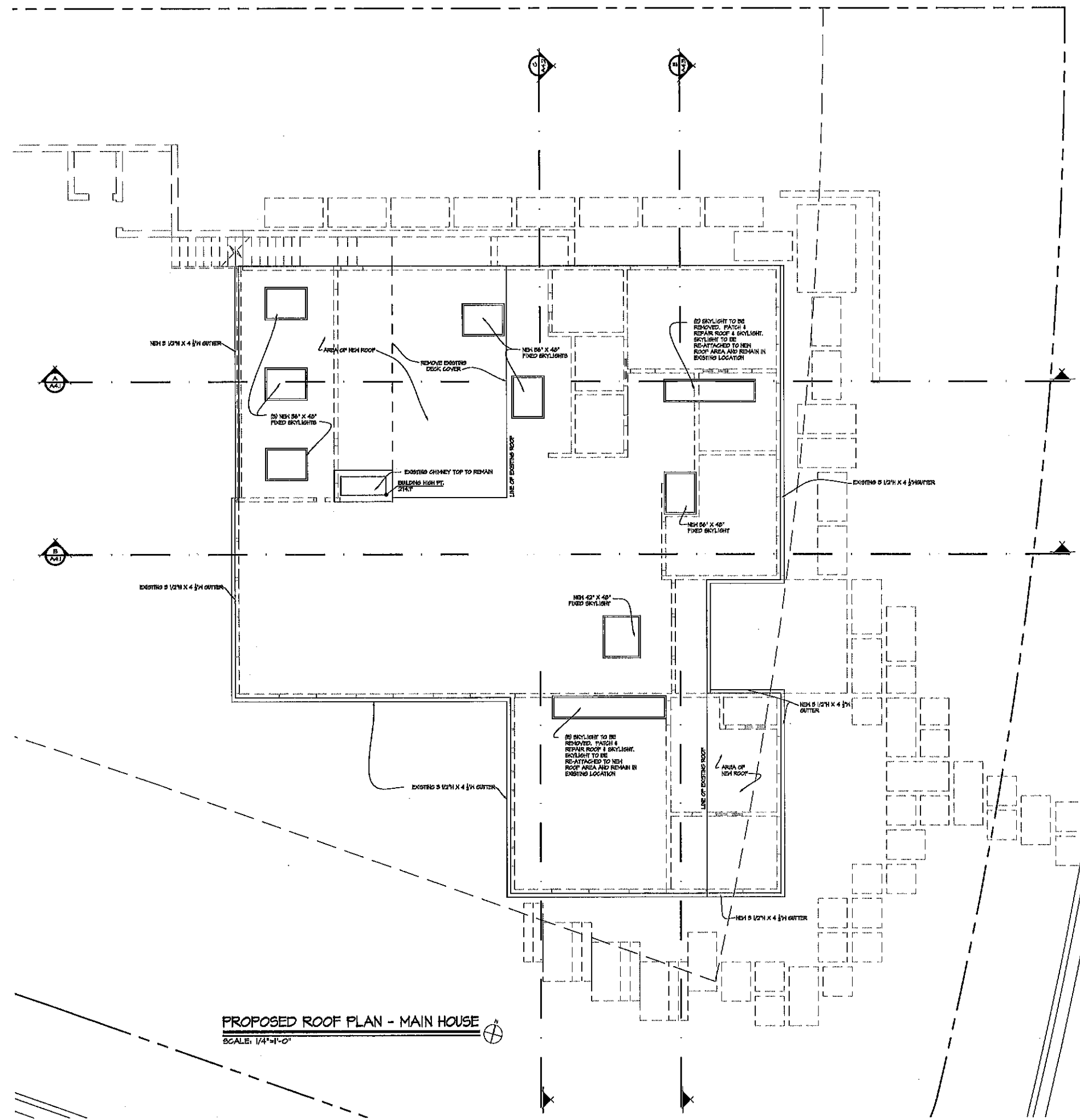
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REVIEWED BY: MDL

DESIGNED BY: SEC

SHEET TITLE: PROPOSED GARAGE FLOOR PLAN

SHEET NO.: A2.4



NOTE
1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 60' ABOVE GRADE.
2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 60 FEET IN HEIGHT PER SDMC SEC 15.0444 & 15.2309

- MATERIAL LEGEND & SPECIFICATIONS:
- EXISTING & PROPOSED ROOFING: TORCH DOWN ROOFING W/ 60# WHITE GAP SHEET GLASS 'A' ROOFING. 40-YEAR MINIMUM WARRANTY
 - EXISTING & PROPOSED GUTTERS: 3 1/2" X 4 1/4" BLACK POWDER COATED ALUMINUM GUTTERS
 - EXISTING SKYLIGHTS: (2) SKYLIGHT TO BE REMOVED. PATCH & REPAIR ROOF. SKYLIGHT TO BE RE-ATTACHED TO NEW ROOF AREA AND REMAIN IN EXISTING LOCATION
 - PROPOSED SKYLIGHTS: GARB MOUNTED FIXED SKYLIGHTS BY VELUX USA OR EQUAL
 - EXISTING STUCCO: INTERIOR COLOR STUCCO WITH #2 SAND FLOAT FINISH TO REMAIN. PATCH AND REPAIR AS NECESSARY, COLOR MATCH.
 - PROPOSED STUCCO: EXPO STUCCO (OR EQUAL). EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER. SEE SHEET SP.2 FOR SPEC. TEXTURE TO BE SMOOTH FINISH. COLOR TO MATCH EXISTING STUCCO.
 - EXISTING STONE VENEER: 2"X4"X8" BRICK VENEER IN A HALF RUNNING BOND PATTERN
 - PROPOSED STONE VENEER: 2"X4"X8" BRICK VENEER TO MATCH EXISTING IN A STACKED BOND PATTERN

PROPOSED ROOF PLAN - MAIN HOUSE
SCALE: 1/4"=1'-0"

PREPARED BY:		Revision 1d:	
Drawn:	ARCHITECT MARK D. LYON, INC.	Revision 1c:	
Address:	410 BIRD ROCK AVENUE	Revision 1b:	
	LA JOLLA, CA 92037	Revision 1a:	
Phone #:	(658)459-1171	Revision 1e:	
PROJECT NAME:		Revision 1f:	
SAID RESIDENCE		Revision 1g:	
7834 ESTEREL DRIVE		Revision 1h:	
LA JOLLA, CA 92037		Revision 1i:	
SHEET TITLE:		Revision 1j:	
ROOF PLAN		Revision 1k:	
MAIN HOUSE		Revision 1l:	
Original Date:		Revision 1m:	
04.20.2019		Revision 1n:	
Sheet		Revision 1o:	
11		Revision 1p:	
of		Revision 1q:	
22		Revision 1r:	
DWG		Revision 1s:	

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA, CA. 92037
(658)459-1171 INFO@MDLIA.NET



SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

REVISIONS:

SUBMIT DATE:	04.20.2019
PHASE:	
SITE DEVELOPMENT PERMIT	
PROJECT NUMBER:	MII
RECEIVED BY:	NDL
REVISION:	SEC
DATE:	08.26.2020
SHEET TITLE:	PROPOSED ROOF PLAN
SHEET NO.:	A2.5

NOTE
1) THE HIGHEST POINT OF THE ROOF, GABLE END, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 20' ABOVE GRADE.
2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER SDMG REG. 151.0444 & 152.0508

MATERIAL LEGEND & SPECIFICATIONS:
PROPOSED ROOFING: TORCH DOWN ROOFING W/ 60# TAN GAP SHEET CLASS 'A' ROOFING, 40-YEAR MINIMUM WARRANTY
PROPOSED GUTTERS: 4" X 4" BLACK POWDER COATED ALUMINUM GUTTERS
PROPOSED STUCCO: EXPO STUCCO (OR EQUAL) EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER, SEE SHEET SP-2 FOR SPEC. TEXTURE TO BE SMOOTH FINISH COLOR TO MATCH EXISTING STUCCO.
PROPOSED STONE VENEER: 2"X4"X8" BRICK VENEER TO MATCH EXISTING IN A THIRD (3) RUNNING BOND PATTERN

ARCHITECT MARK D. LYON INC.
410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858) 459-1171 INFO@MDLI.NET

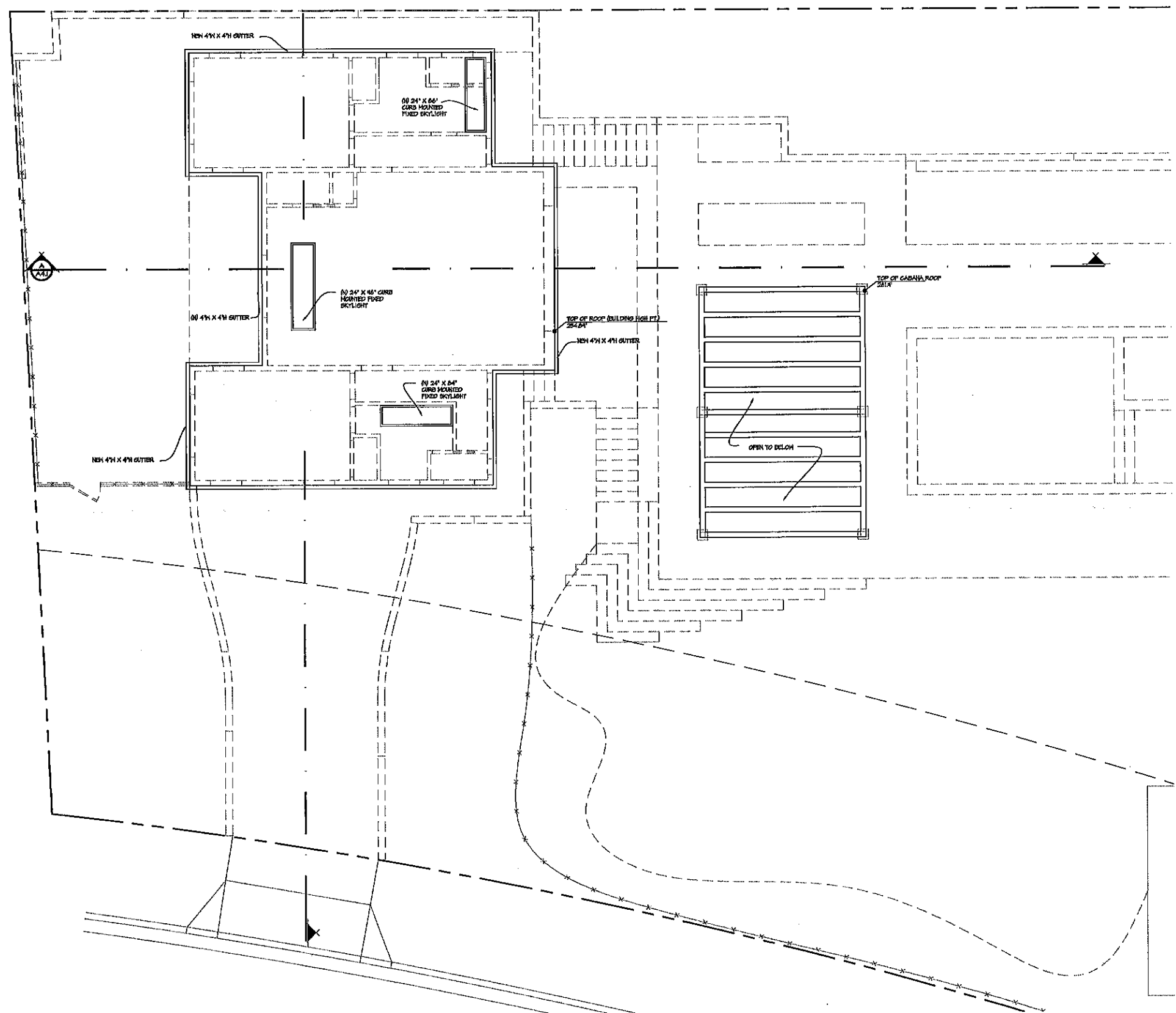


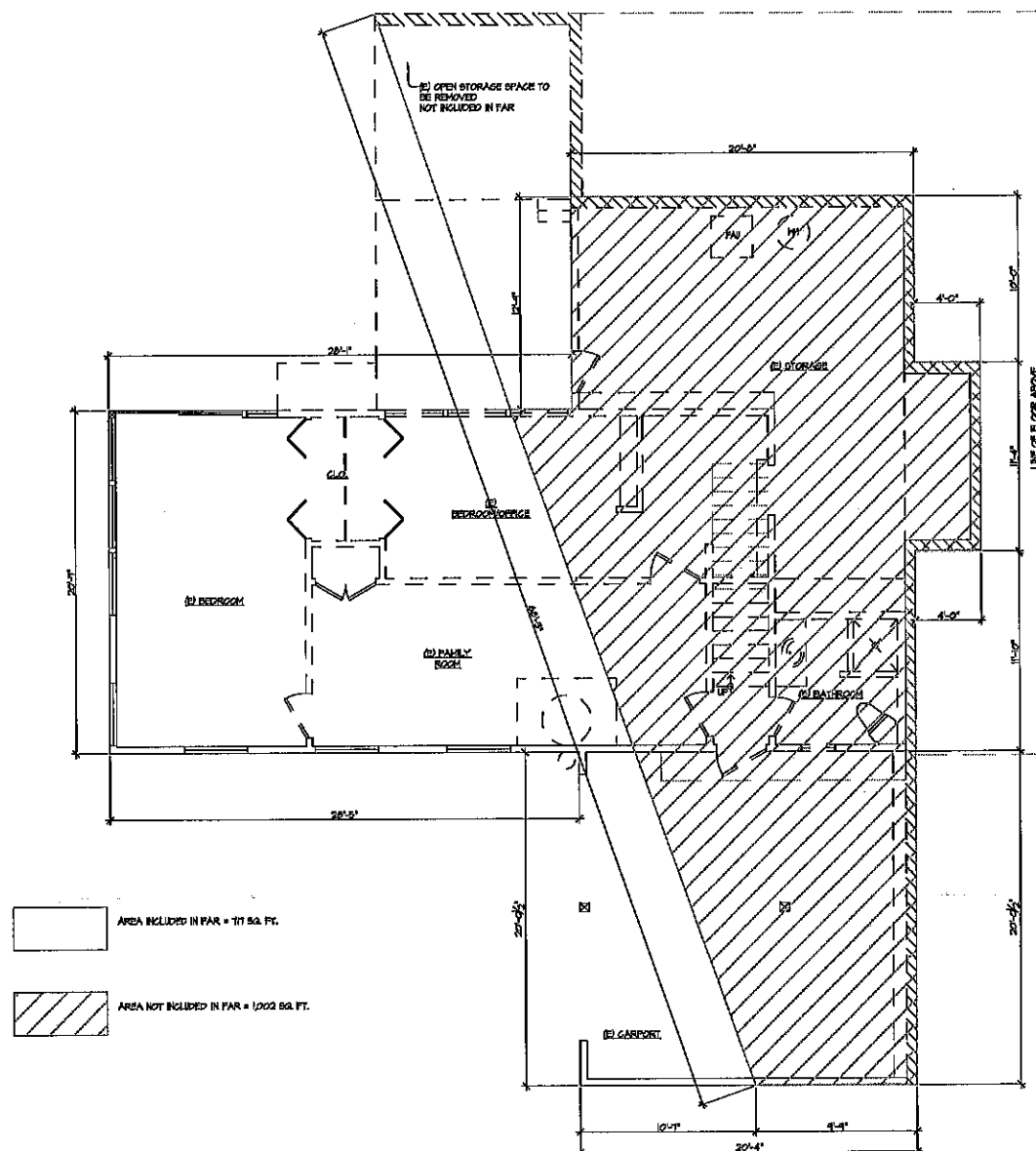
SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

REVISIONS
SUBMITTAL DATE: 01/20/2011
PHASE: SITE DEVELOPMENT PERMIT
PROJECT NUMBER: III
REVIEWED BY: MDL
DRAWN BY: SEC
DATE: 08/26/2020
SHEET TITLE: PROPOSED ROOF PLAN - COMPANION UNIT
SHEET NO.: A2.6

PREPARED BY:	
Name:	ARCHITECT MARK D. LYON, INC.
Address:	410 BIRD ROCK AVENUE LA JOLLA, CA 92037
Phone #:	(858) 459-1171
PROJECT NAME:	
SAID RESIDENCE	
7834 ESTEREL DRIVE	
LA JOLLA, CA 92037	
SHEET TITLE:	
ROOF PLAN	
COMPANION UNIT	
Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	08/26/2020
Revision 3:	01/20/2020
Revision 2:	08/06/2020
Revision 1:	
Original Date:	01/20/2011
Sheet	12 of 22
Drawn	

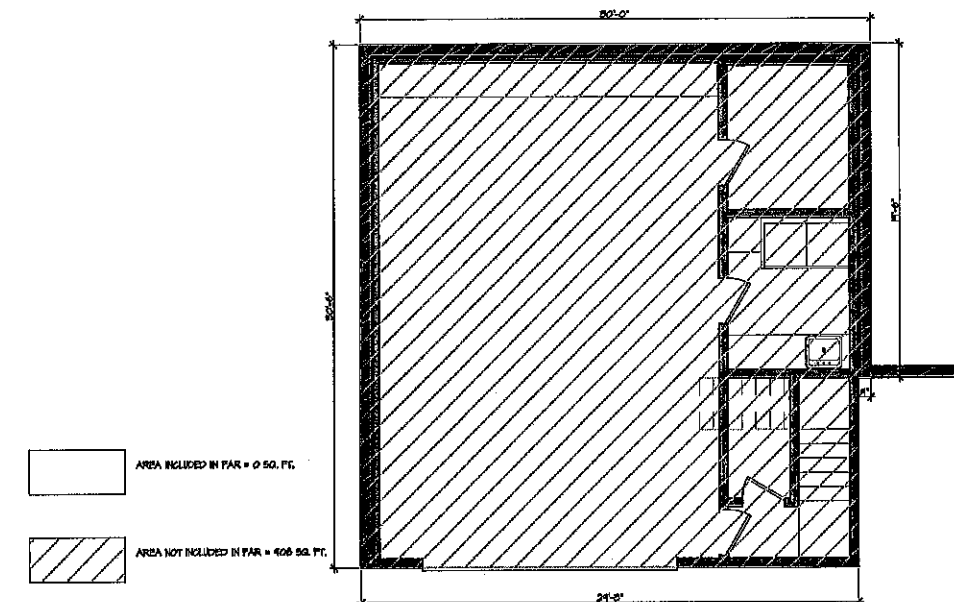
PROPOSED ROOF PLAN - COMPANION UNIT
SCALE: 1/4"=1'-0"





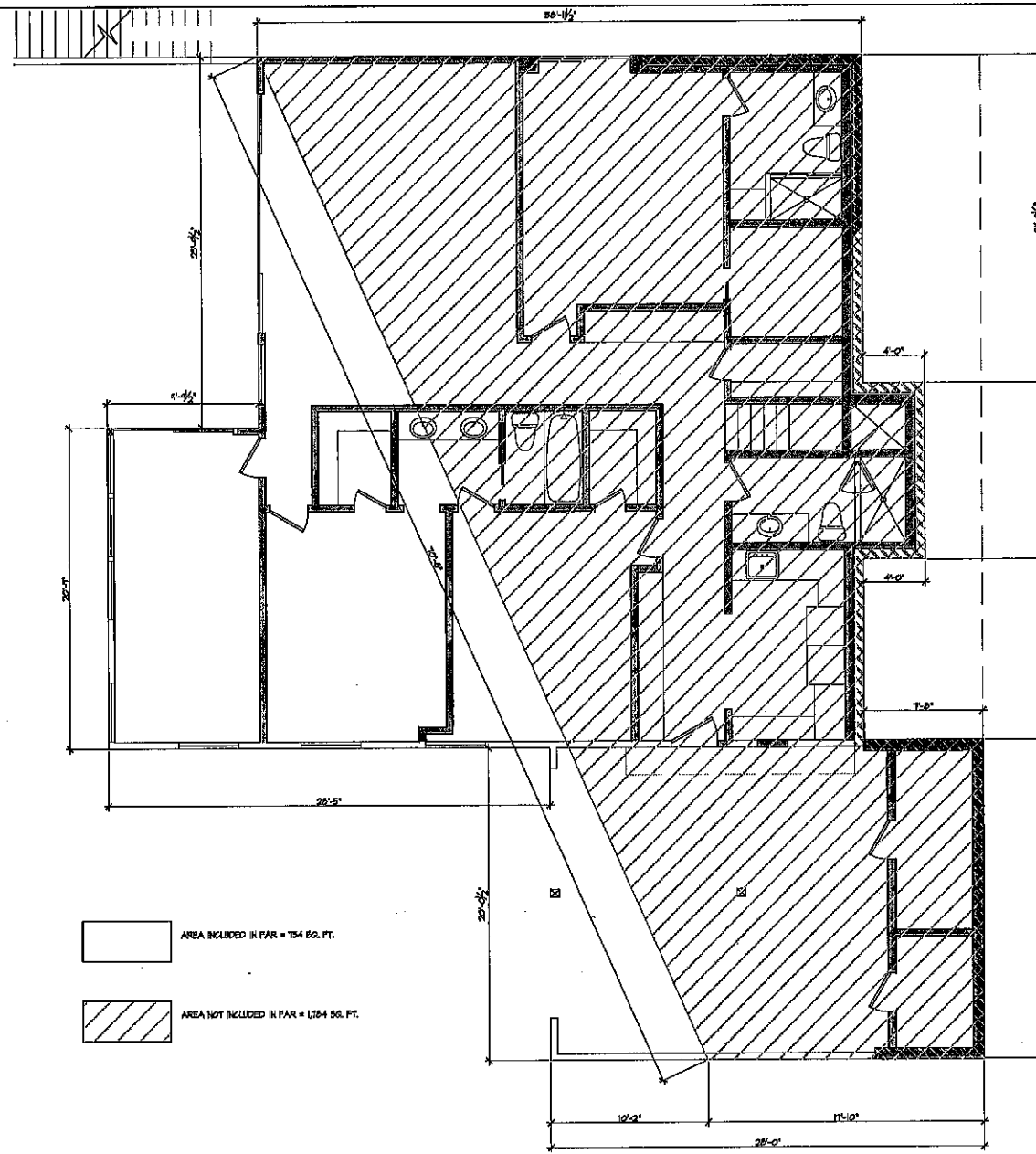
EXTG. BASEMENT FLOOR PLAN - FAR ANALYSIS

SCALE: 1/4"=1'-0"



PROPOSED BASEMENT GARAGE - FAR ANALYSIS

SCALE: 1/4"=1'-0"



PROPOSED BASEMENT FLOOR - FAR ANALYSIS

SCALE: 1/4"=1'-0"

PREPARED BY:
 Name: ARCHITECT MARK D. LYON, INC.
 Address: 410 BIRD ROCK AVENUE
 LA JOLLA, CA 92037
 Phone #: (619) 451-1171

PROJECT NAME:
 SAID RESIDENCE
 7834 ESTEREL DRIVE
 LA JOLLA, CA 92037

SHEET TITLE:
 FAR ANALYSIS
 MAIN HOUSE

Revision 1: _____
 Revision 2: _____
 Revision 3: _____
 Revision 4: _____
 Revision 5: _____
 Revision 6: _____
 Revision 7: _____
 Revision 8: _____
 Revision 9: _____
 Revision 10: _____

Original Date: 01.20.2011
 Sheet: 15 of 22
 Date: 08.26.2020

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVENUE, LA JOLLA, CA 92037
 (619) 451-1171 INFO@MDLA.NET



SAID RESIDENCE
 7834 ESTEREL DRIVE
 LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE: 04.20.2014

PROJECT: SITE DEVELOPMENT PERMIT

PROJECT NUMBER: 111

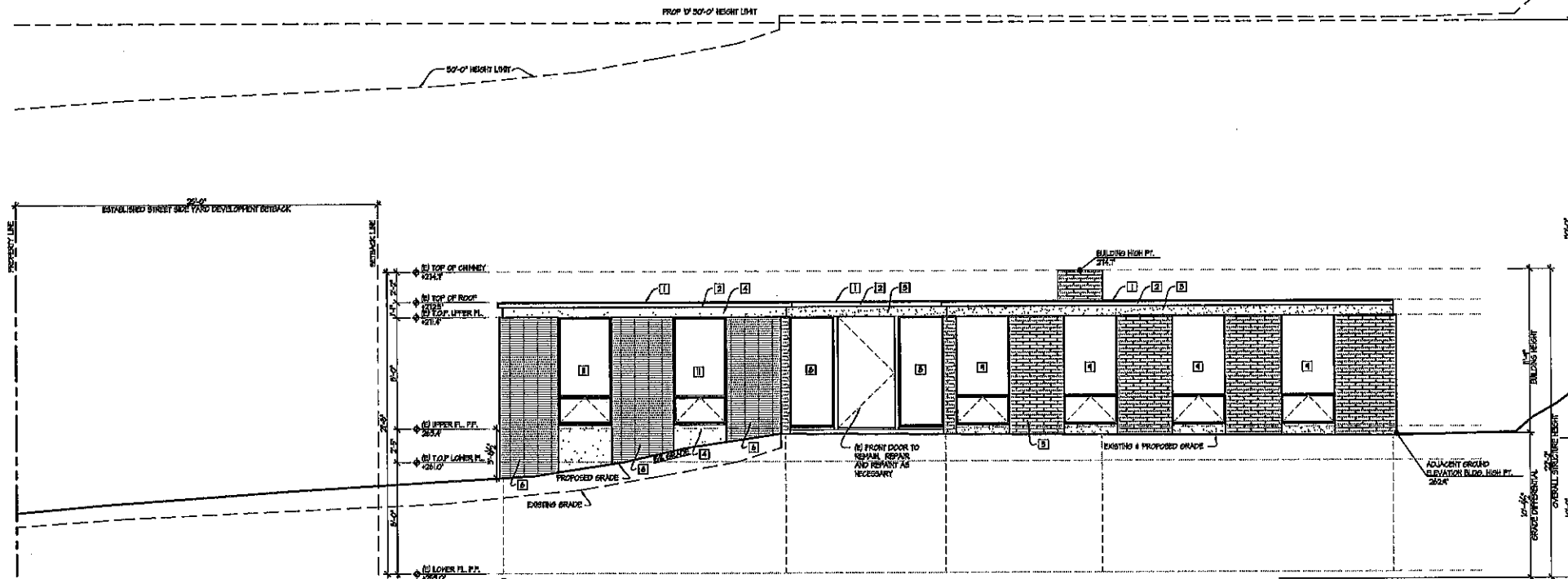
DESIGNED BY: MDL

DRAWN BY: SEC

DATE: 08.26.2020

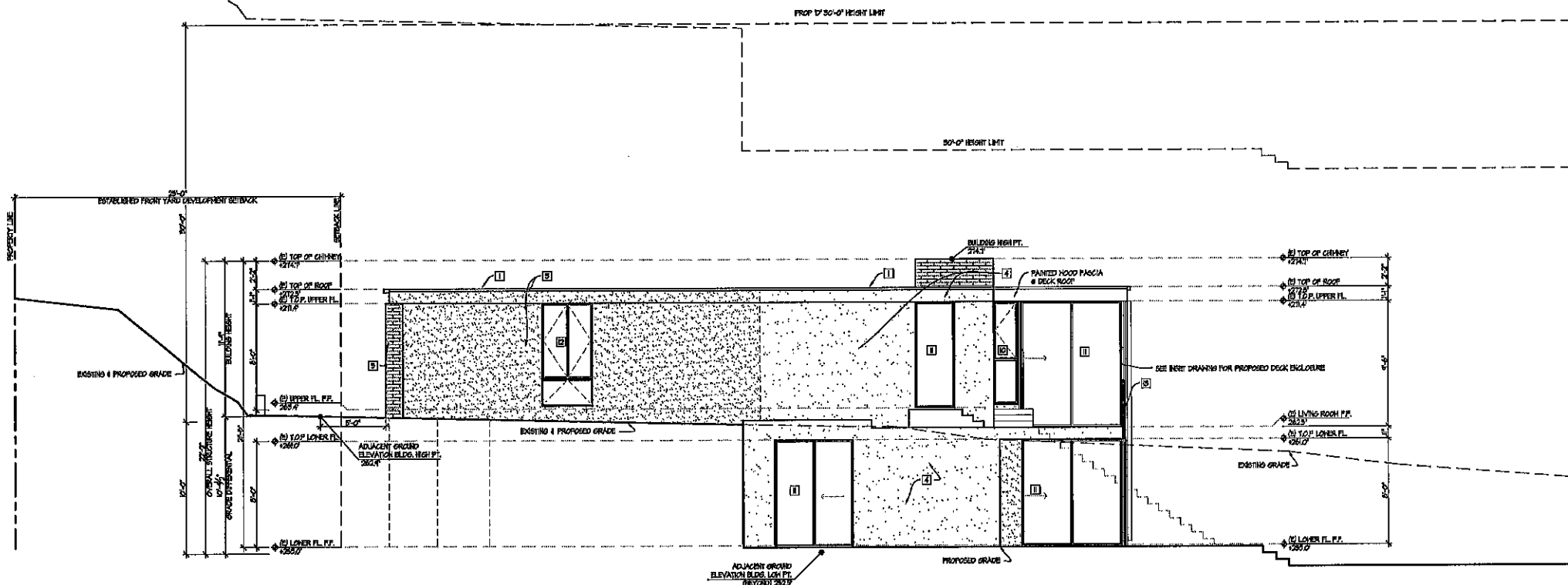
SHEET TITLE: FAR ANALYSIS

SHEET NO.: A2.7



MAIN HOUSE - EAST ELEVATION

SCALE: 1/4"=1'-0"



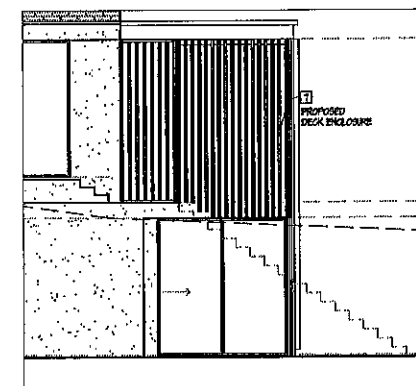
MAIN HOUSE - NORTH ELEVATION

SCALE: 1/4"=1'-0"

NOTES:
 1) THE HIGHEST POINT OF THE ROOF, BARNPITCH, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 50' ABOVE GRADE.
 2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER SCAG SEC 18.0444 & 18.0509

MATERIAL LEGEND & SPECIFICATIONS

- 1) EXISTING & PROPOSED ROOFING: TORCH DOWN ROOFING BY 60# WHITE CAP SHEET GLASS W/ ROOFING, 40-YEAR PERMANENT WARRANTY
- 2) EXISTING & PROPOSED GUTTERS: 5 1/2" X 4 1/2" BLACK POWDER COATED ALUMINUM GUTTERS
- 3) EXISTING STUCCO: INTERIOR COLOR STUCCO WITH NO SAND FLYING FINISH TO REPAIR, PATCH AND REPAIR AS NECESSARY, COLOR MATCH
- 4) PROPOSED STUCCO: EXPO STUCCO (OR EQUAL), EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER, SEE SHEET 8P-2 FOR STUCCO, FINISH TO BE SHOWN FROM COLOR TO MATCH EXISTING STUCCO
- 5) EXISTING STONE VENEER: 2 1/2" X 4" BRICK VENEER IN A HALF RUNNING BOND PATTERN
- 6) PROPOSED STONE VENEER: 2 1/2" X 4" BRICK VENEER TO MATCH EXISTING IN A HALF RUNNING BOND PATTERN
- 7) PROPOSED DECK: 2X12" BLACK POWDER COATED ALUMINUM TUBE STEEL SPACED 4" MAX APART, FINISH TO MATCH
- 8) EXISTING WINDOWS: FIXED PLATE GLASS WITH BR HOOD STOPS, REPLACE GLASS WITH LAMINATE GLASS, REPAIR EXISTING HOOD STOPS AND PAINT TO MATCH EXISTING
- 9) EXISTING WINDOWS: FIXED PLATE GLASS WITH BR HOOD STOPS, REPLACE GLASS WITH LAMINATE GLASS, REPAIR AS NECESSARY AND PAINT TO MATCH EXISTING
- 10) EXISTING/PROPOSED WINDOWS: EXISTING ALUMINUM JALOUSIE WINDOWS TO BE REPLACED WITH ALUMINUM CASEMENT WINDOW OVER FIXED WINDOW
- 11) PROPOSED WINDOWS & DOORS: ALUMINUM GLAZED WINDOWS/DOORS, COLOR TO MATCH EXISTING ALUMINUM WINDOWS/DOORS BY FLEETWOOD OR EQUAL
- 12) EXISTING/PROPOSED WINDOWS: EXISTING FIXED PLATE WINDOWS TO BE REPLACED WITH ALUMINUM CASEMENT WINDOW OVER ALUMINUM JALOUSIE WINDOWS TO PROVIDE EGRESS WINDOW FOR DECK/DOOR
- 13) GLASS RAILING: GLASS RAILING BY CAL LANSBERG, TAPER-LOC DRY GLAZING GLASS RAILING SYSTEM, FINISH TO MATCH



PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.
 Address: 410 BIRD ROCK AVENUE
 LA JOLLA, CA 92037
 Phone #: (619) 459-1171

PROJECT NAME:

SAID RESIDENCE
 7834 ESTEREL DRIVE
 LA JOLLA, CA 92037

SHEET TITLE:

EXTERIOR ELEVATIONS
 MAIN HOUSE

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	08.26.2020
Revision 3:	01.20.2020
Revision 2:	08.06.2020
Revision 1:	
Original Date:	04.20.2019
Sheet:	14 of 32
DATE:	02/29

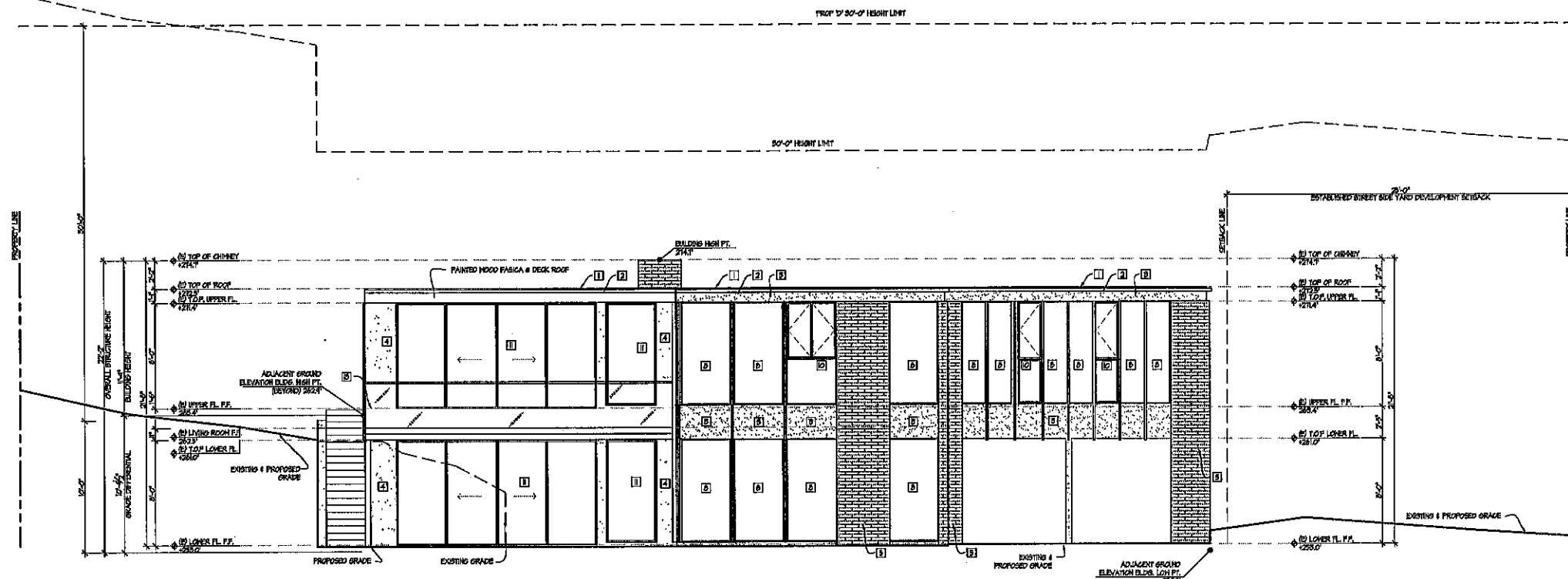
ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVENUE, LA JOLLA, CA 92037 (619) 459-1171 INFO@MDLA.NET



SAID RESIDENCE
 7834 ESTEREL DRIVE
 LA JOLLA, CA 92037

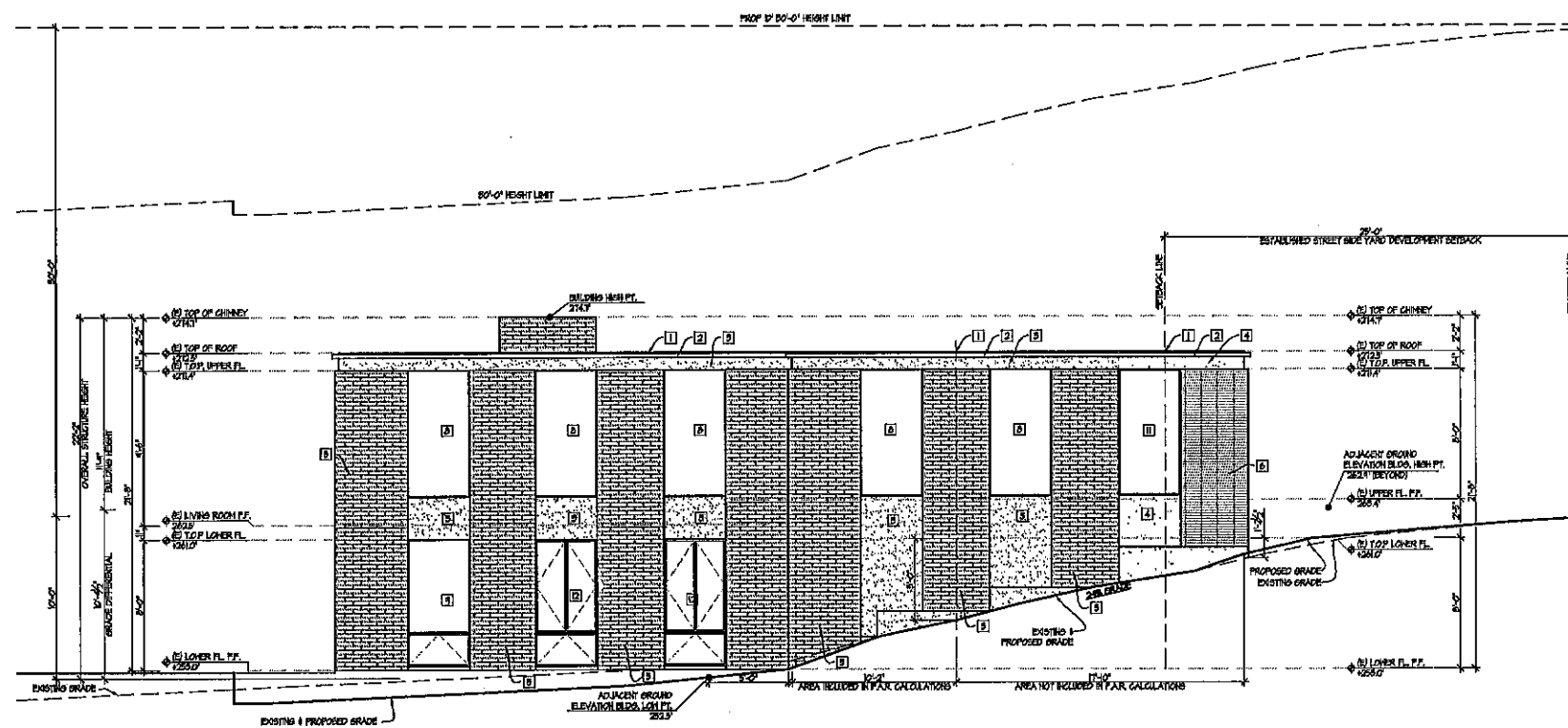
REVISIONS:

REVISION DATE	04.20.2019
REVISION	SITE DEVELOPMENT PERMIT
PROJECT ADDRESS	7834
REVISION BY	MDL
REVISION	SEC
DATE	08.26.2020
SHEET TITLE	PROPOSED EXTERIOR ELEVATIONS
SHEET NO.	A3.1



MAIN HOUSE - WEST ELEVATION

SCALE: 1/4"=1'-0"



MAIN HOUSE - SOUTH ELEVATION

SCALE: 1/4"=1'-0"

NOTE
1) THE HIGHEST POINT OF THE ROOF, GABLETYPED, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 50' ABOVE GRADE.
2) THE MAXIMUM STRUCTURE HEIGHT IN THE CORRELATION OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER SMC SEC 18.0444 & 18.0505

MATERIAL LEGEND & SPECIFICATIONS:

- 1) EXISTING & PROPOSED ROOFING: TORCH DOWN ROOFING W/ 60# WHITE GAF SHEET GLASS W/ ROOFING. 40-YEAR MINIMUM WARRANTY
- 2) EXISTING & PROPOSED GUTTERS: 5 (2IN X 4) WITH BLACK POWDER COATED ALUMINUM GUTTERS
- 3) EXISTING STUCCO: INTEGRAL COLOR STUCCO WITH #12 SAND FLOAT FINISH TO REPAIR, PATCH AND REPAIR AS NECESSARY, COLOR MATCH
- 4) PROPOSED STUCCO: EXTD STUCCO (OR EQUAL) EXTERIOR COLOR COAT OVER PORTLAND CEMENT FLOAT, SEE SHEET 01-2 FOR FINISH. TEXTURE TO BE SMOOTH FINISH COLOR TO MATCH EXISTING STUCCO.
- 5) EXISTING STONE VENEER: 2X6X12WOOD BRICK VENEER IN A HALF RUNNING BOND PATTERN
- 6) PROPOSED STONE VENEER: 2X6X12WOOD BRICK VENEER TO MATCH EXISTING IN A STAKED BOND PATTERN
- 7) PROPOSED DECKING: 2X10" BLACK POWDER COATED ALUMINUM TIER STEEL SPACED 4" MAX APART. PASCIA HUNT.
- 8) EXISTING WINDOWS: FIXED PLATE GLASS WITH 1M WOOD STOPS. REPLACE GLASS WITH LAMINATE GLASS. REPAIR AS NECESSARY AND PAINT TO MATCH EXISTING
- 9) EXISTING WINDOWS: FIXED PLATE GLASS WITH 1M WOOD STOPS / ALUMINUM FINISH WINDOWS. REPLACE GLASS WITH LAMINATE GLASS. REPAIR AS NECESSARY AND PAINT TO MATCH EXISTING
- 10) EXISTING/PROPOSED WINDOWS: EXISTING ALUMINUM JALOUSIE WINDOWS TO BE REPLACED WITH ALUMINUM CASEMENT WINDOW OVER FIXED WINDOW.
- 11) PROPOSED WINDOWS & DOORS: ALUMINUM CLAD WINDOW/DOORS. COLOR TO MATCH EXISTING ALUMINUM WINDOW/DOORS
- 12) EXISTING/PROPOSED WINDOWS: EXISTING FIXED PLATE WINDOWS TO BE REPLACED WITH ALUMINUM CASEMENT WINDOW OVER ALUMINUM FINISH WINDOWS TO PROVIDE EGRESS WINDOW FOR BEDROOM
- 13) GLASS RAILING: GLASS RAILING BY OR LAURENCE. TAPER-LOC DRY GLAZ. GLASS RAILING SYSTEM. PASCIA HUNTED.



SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

PREPARED BY: ARCHITECT MARK D. LYON, INC.
Name: 410 BIRD ROCK AVENUE
Address: LA JOLLA, CA 92037
Phone #: (656)459-1171

PROJECT NAME: SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

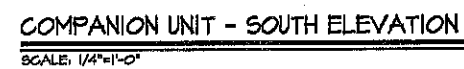
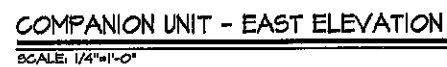
SHEET TITLE: EXTERIOR ELEVATIONS
MAIN HOUSE

REVISIONS:

REVISION NO.	DATE	DESCRIPTION
1	04.20.2014	04.20.2014
2	08.26.2020	08.26.2020
3	07.20.2020	07.20.2020
4	08.06.2020	08.06.2020

Original Date: 04.20.2014
Sheet: 15 of 22
DWG#

A3.2



PROPOSED
ROOFING: TORCH DOWN ROOFING 1/4" 40# T/A GR. GAST
CLASS 'M' ROOFING, 40-YEAR MINIMUM WARRANTY

PROPOSED
GUTTERS: 4" X 4" H BLACK POWDER COATED ALUMINUM GUTTERS

PROPOSED
SIDING: BRN BRGGLG (OR EQUAL), EXTERIOR COLOR COAT OVER
PURLIN CEMENT PLASTER, SEE SPEC FOR SPEC.
TEXTURE TO BE BRN/GRN PINK, COLOR TO MATCH EXISTING BRGGLG.

PROPOSED
INTERIOR VENEER: 2"X2"X10" TO BRICK VENEER TO MATCH EXISTING IN A
THIRD & RUNNING BAND PATTERN

PROPOSED
WINDOVS
& DOORS: ALUMINUM CLAD W/BRN/GRN PINK. COLOR TO MATCH
MAIN HOUSE WINDOVS/DOORS

PROPOSED
GARAGE
DOOR: PAINTED WOOD FINISH PANELLED AUTOMATIC GARAGE DOOR

Revision 14: _____
Revision 10: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: _____

Original Date: 04.20.2020


Sheet 16 of 22

DPSS

**SAID
RESIDENCE**

REVISIONS:
PERMIT EXPIRATION DATE: 04/20/2014
PHASE: SITE DEVELOPMENT PERMIT
PROJECT NUMBER: MI
SUBMITTED BY: MDL
DRAWN BY: SEC
DATE: 08.26.2020
SHEET TITLE: PROPOSED COMPANION UNIT EXTERIOR ELEVATIONS
SHEET NUMBER: A3.3

NOTE
1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 50' ABOVE GRADE.
2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER SONS REG 181.0444 & 183.0505



ARCHITECT MARK D. LYON INC.
410 BIRD ROCK AVE., LA JOLLA, CA 92037 (858)459-1171 INFO@MDLA.NET



SAID RESIDENCE
7834 ESTERIL DRIVE
LA JOLLA, CA 92037

REVISIONS

DATE	09.20.2014
PROJECT	SITE DEVELOPMENT PERMIT
PROJECT NUMBER	1411
REVIEWED BY	MDL
DESIGNED BY	SEC
DATE	09.26.2020
SHEET TITLE	PROPOSED BUILDING SECTIONS
SHEET NUMBER	A4.1

PREPARED BY:

ARCHITECT MARK D. LYON, INC.
Name: 410 BIRD ROCK AVENUE
Address: LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
SAID RESIDENCE
7834 ESTERIL DRIVE
LA JOLLA, CA 92037

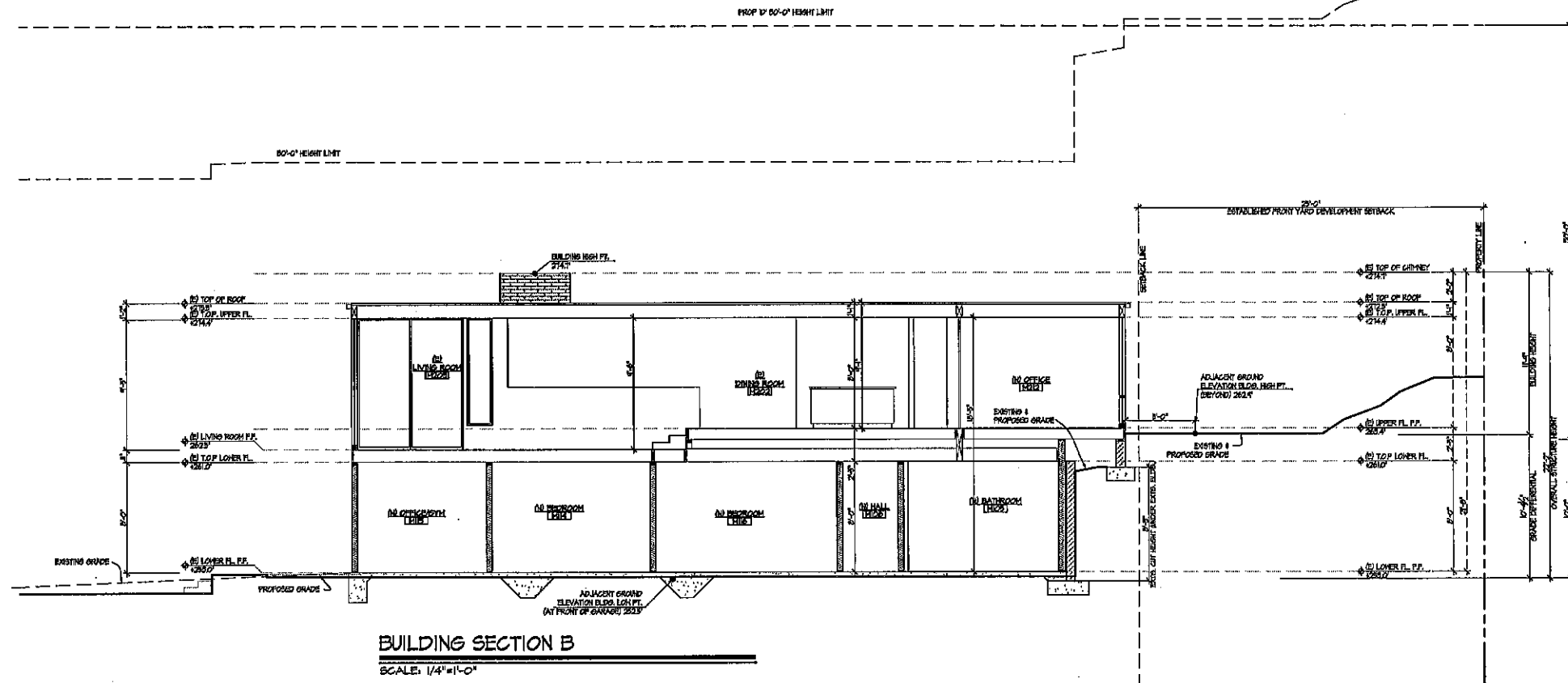
SHEET TITLE:
PROPOSED BUILDING SECTIONS

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: _____

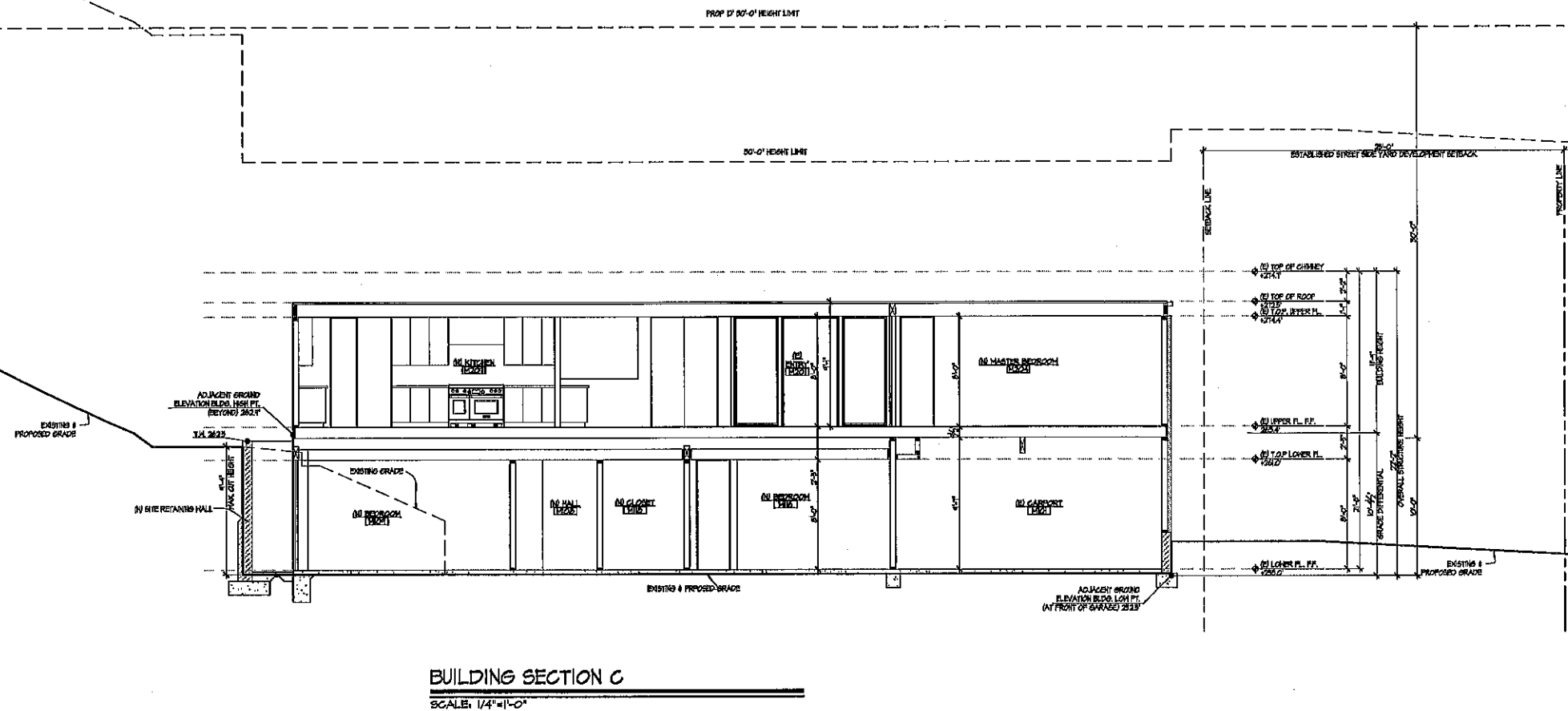
Original Date: 09.20.2014
Sheet 12 of 22
D2P

BUILDING SECTION A (MATCH LINE)
SCALE: 1/4"=1'-0"

BUILDING SECTION A (MATCH LINE)
SCALE: 1/4"=1'-0"



NOTE
1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 50' ABOVE GRADE.
2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER 60MG SEC 151.0444 & 152.0506



PREPARED BY:
Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

SHEET TITLE:
PROPOSED BUILDING SECTIONS

Revision 1:	
Revision 2:	
Revision 3:	
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	
Revision 13:	
Revision 14:	
Revision 15:	
Revision 16:	
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Revision 99:	
Revision 100:	

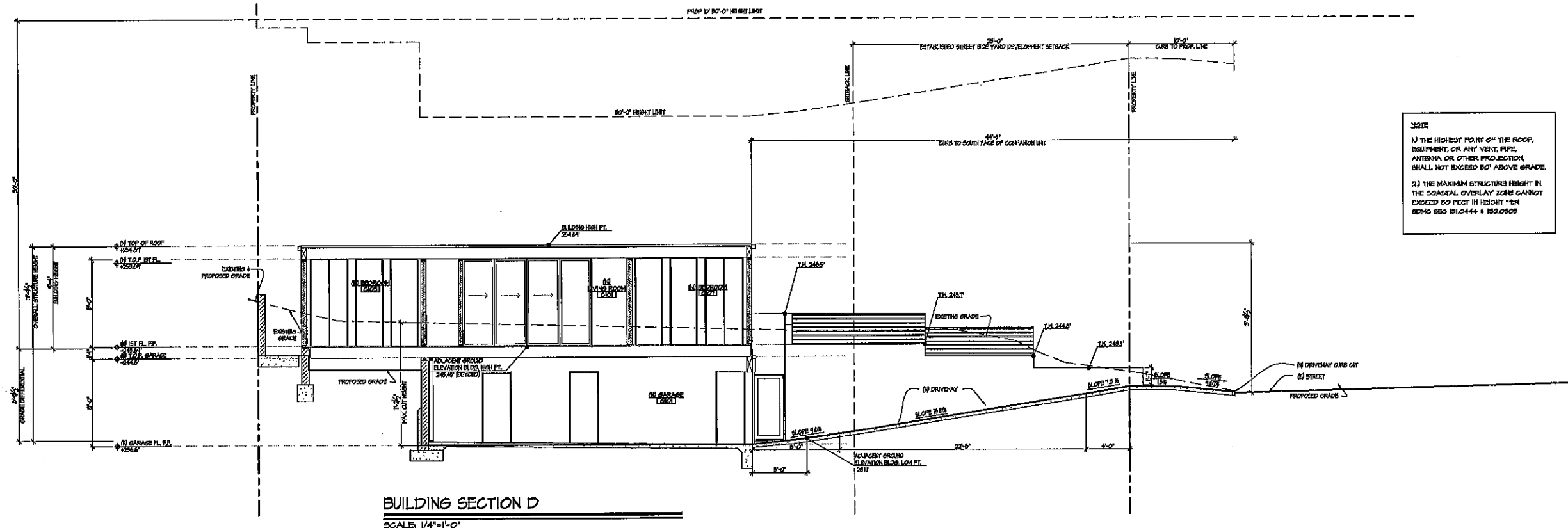


SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037



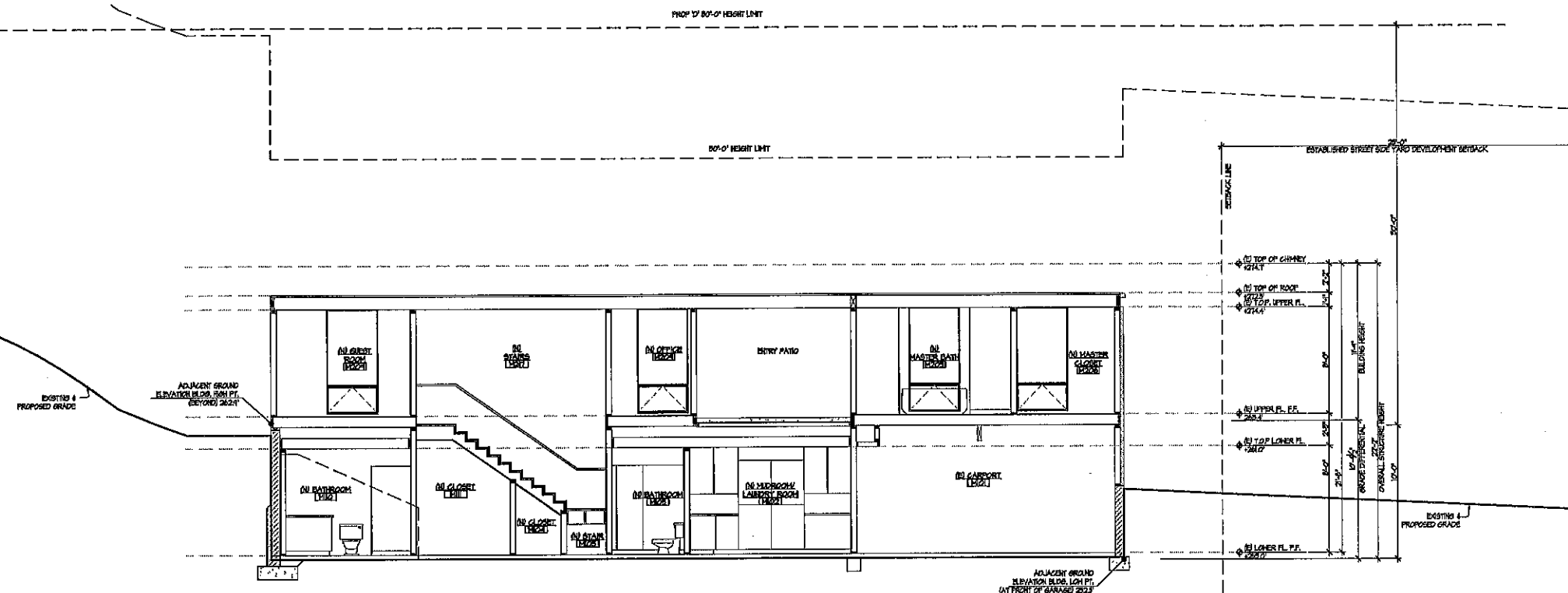
DATE: 04.20.2014
PROJECT: SITE DEVELOPMENT PERMIT
SHEET NUMBER: 111
DESIGNED BY: MDL
DRAWN BY: SEC
DATE: 08.26.2020
SHEET TITLE: PROPOSED BUILDING SECTIONS
SHEET NO.: A4.2

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLIA.NET



NOTE
 1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 50' ABOVE GRADE.
 2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT FROM BEING 500 181.0444 + 152.0505

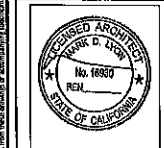
BUILDING SECTION D
 SCALE: 1/4"=1'-0"



BUILDING SECTION E
 SCALE: 1/4"=1'-0"

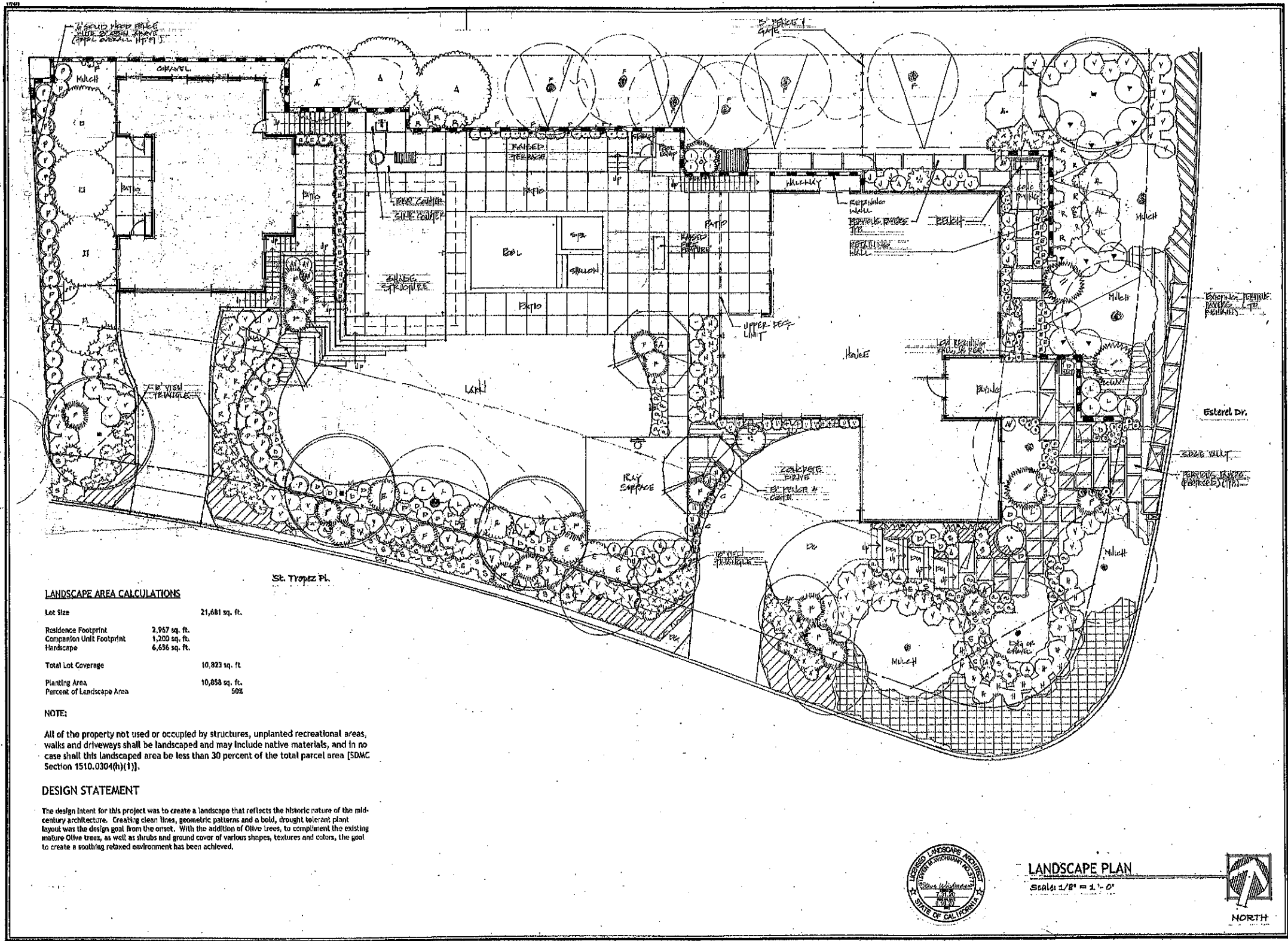
PREPARED BY:	
Name:	ARCHITECT MARK D. LYON, INC.
Address:	410 BIRD ROCK AVENUE LA JOLLA, CA 92037
Phone #:	(858)459-1171
PROJECT NAME:	
SAID RESIDENCE	
7834 ESTEREL DRIVE	
LA JOLLA, CA 92037	
SHEET TITLE:	
PROPOSED BUILDING SECTIONS	
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Revision 4:	05.26.2020
Revision 3:	07.20.2020
Revision 2:	05.06.2020
Revision 1:	
Original Date:	
07.20.2014	
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DATE:	

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA, CA 92037 (858)459-1171 INFO@MDLA.NET



SAID RESIDENCE
 7834 ESTEREL DRIVE
 LA JOLLA, CA 92037

SUBMITTAL DATE:	
04.20.2014	
DATE:	
08.26.2020	
PROJECT NUMBER:	
MIL	
DRAWN BY:	
MDL	
CHECKED BY:	
SEG	
DATE:	
08.26.2020	
SHEET TITLE:	
PROPOSED BUILDING SECTIONS	
DRAWING:	
A4.3	



LANDSCAPE AREA CALCULATIONS

Lot Size	21,681 sq. ft.
Residence Footprint	2,967 sq. ft.
Companion Unit Footprint	1,200 sq. ft.
Hardscape	6,656 sq. ft.
Total Lot Coverage	10,823 sq. ft.
Planting Area	10,858 sq. ft.
Percent of Landscape Area	50%

NOTE:

All of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped and may include native materials, and in no case shall this landscaped area be less than 30 percent of the total parcel area [SDMC Section 1510.0304(h)(1)].

DESIGN STATEMENT

The design intent for this project was to create a landscape that reflects the historic nature of the mid-century architecture. Creating clean lines, geometric patterns and a bold, drought tolerant plant layout was the design goal from the onset. With the addition of Olive trees, to complement the existing mature Olive trees, as well as shrubs and ground cover of various shapes, textures and colors, the goal to create a soothing relaxed environment has been achieved.



LANDSCAPE PLAN

Scale: 1/8" = 1'-0"



SAD RESIDENCE
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La Jolla, CA 92037-3523

WICHMANN
Landscape Architect
405 Via del Norte, Suite 200, La Jolla, CA 92037-0920
(619) 451-0200

Date	08/20/2020
Drawn By	Wichmann
Checked By	Wichmann
Reviewed By	Wichmann
Approved By	Wichmann

Sheet
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Of TWO

PREPARED BY:	ARCHITECT MARK D. LYON, INC.
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City:	LA JOLLA, CA 92037
SHEET TITLE:	PROPOSED LANDSCAPE PLAN

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SUBMITTAL DATE: 08/20/2020	
PROJECT: SITE DEVELOPMENT PERMIT	
PROJECT NUMBER:	MH
REVIEWED BY:	MDL
DESIGNED BY:	SEC
DATE:	08/26/2020
SHEET TITLE: PROPOSED LANDSCAPE PLAN	
SHEET NO: L-1	

26. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED LANDSCAPE PLAN IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
27. MINIMUM TREES SEPARATION DISTANCE:
TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
UNDERGROUND UTILITIES LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTION (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
28. INSTALL SOD AFTER AREAS TO BE SOODED ARE ROTOTILLED. SOIL CONDITIONS INCORPORATED, ROCKS AND DEBRIS LARGER THAN 1 1/2" IN DIAMETER ARE REMOVED.
29. POST FERTILIZATION FOR ALL PLANTING AREAS (16-4-8) SHALL OCCUR 45 DAYS AFTER PLANTING AT A RATE OF 15 LBS. PER 1,000 SQ. FT.
30. THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT AS A PORTION OF THE SUPPORT DOCUMENTATION AS PROVIDED IN THE CONTRACT DOCUMENTS. WICHMANN LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR VERIFYING THE INFORMATION AS SUPPLIED, AND THE INCLUSION ON THESE DRAWINGS DOES NOT IMPLY ANY WARRANTY OF THE ACCURACY OR CORRECTNESS OF THE SUPPORT DOCUMENTATION. THE SUPPORT INFORMATION IS SHOWN FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK.
31. CONTRACTOR SHALL TAG AND PHOTOGRAPHY ALL TREES AND ALL 15 GALLON SHRUBS AT THE NURSERY. PHOTOGRAPHS OF TAGGED TREES AND SHRUBS SHALL BE SUPPLIED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANT MATERIAL BEING SHIPPED AND OR PICKED-UP FROM NURSERY.
32. **NOTICE TO GENERAL CONTRACTOR:** GENERAL CONTRACTOR SHALL COORDINATE PRIOR TO CONSTRUCTION ALL 110 ELECTRICAL SERVICE INCLUDING BUT NOT LIMITED TO SWITCHED AND UNSWITCHED OUTLETS IN THE LANDSCAPE, LOW-VOLTAGE LIGHTING TRANSFORMERS, IRRIGATION CONTROLLERS ETC.

PLANTING NOTES

- PREPARE ALL PLANTING AREAS AS FOLLOWS. ALL QUANTITIES ARE BASED ON 1000 SQ. FT.:
SCAFFY EXISTING SOIL TO A DEPTH OF 8" REMOVE ALL DEBRIS, WEEDS AND ROCKS LARGER THAN 2" DIA.; APPLY 2 CU. YDS. NITROGEN WOOD SHAVINGS, 150 LBS. AGRICULTURAL GYPHUM, 10 LBS. IRON SULPHATE, 50 LBS. TRS-C FERTILIZER AND 15 LBS. 6-20-20 FERTILIZER EXCLUDING SLOPES TO BE HYDROSEDED OR SLOPES EQUAL TO OR GREATER THAN 2:1. ROTOTILL IN TWO DIRECTION ALL AMENDMENTS INTO THE TOP 8" OF EXISTING SOIL, BAKE TO GRADE AND IRRIGATE THOROUGHLY.
- FERTILIZER/SOIL AMENDMENT TREATMENT ABOVE IS FOR BIDDING PURPOSES ONLY. SOILS TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE. ADJUSTMENTS (PLUS OR MINUS) MAY BE NECESSARY. CONTRACTOR SHALL OBTAIN A SOIL ANALYSIS TEST WITH AT LEAST TWO SOIL SAMPLES OF FINAL ROUGH GRADE AT SITE AND SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR INTERPRETATION AND RECOMMENDATIONS. COST OF LAB TEST SHALL BE PAID BY OWNER. SOIL TEST KITS ARE AVAILABLE BY CALLING 1-800-937-3311. CONTRACTOR TO SUBMIT MODIFIED SOIL PREPARATION INFO TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO STARTING SOIL PREPARATION WORK.
- GROUND COVERS INCLUDING BERMUDA GRASS AND OTHER NOODUS WEEDS SHALL BE SPRAYED W/ ROUND-UP. WAIT TWO WEEKS AND SPRAY A SECOND TIME IF NECESSARY AND THEN REMOVE. WEED ERADICATION SHALL TAKE PLACE DURING ACTIVE GROWING PERIOD (JUNE-OCTOBER) AND SHALL BE COMPLETED AT LEAST 10 DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING AND/OR IRRIGATION WORK.
- ALL TREES AND SHRUBS NOT NOTED TO REMAIN ARE TO BE REMOVED.
- ALL OLIVE TREES NOTED TO REMAIN SHALL BE SELECTIVELY PRUNED AND LACED OUT.
- ALL PLANT MATERIAL TO REMAIN SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION WITH A 4" HIGH RAIL SOLID WOOD BARRIER ON ALL SIDES NO CLOSER TO THE TRUNK THAN THE OUTER LIMIT OF THE DRIP LINE. NO CONSTRUCTION MATERIAL SHALL BE STORED OR PLACED INSIDE THE BARRIER.
- CONTRACTOR SHALL MAINTAIN EXISTING PLANT MATERIAL TO REMAIN IN HEALTHY CONDITION FOR THE DURATION OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WATERING, FERTILIZING AND PRUNING.
- ALL NEWLY INSTALLED TREES SHALL HAVE ALL NURSERY STAKES REMOVED AND SHALL BE RESTAKED WITH 2" DIA. LODGE POLES OUTSIDE OF THE ROOTBALL. 15 GAL TREES SHALL BE STAKED WITH (1) LODGE POLE ON THE WINDWARD SIDE OF THE TREE. 24" BOX TREES SHALL HAVE (2) LODGE POLES OPPOSITE OF EACH OTHER. TREES LARGER THAN 24" BOX SHALL BE GUIDED. INSTALL (3) PLASTIC CHAINS PER STAKE WITH ONE TWIST BETWEEN STAKE AND TRUNK.
- EVERY PLANT DELIVERED TO THE JOB SITE SHALL BE IN GOOD CONDITION, WITH A LEGIBLE PLANT TAG IDENTIFYING THE BOTANICAL GENUS, SPECIES AND VARIETY OF PLANT FOR VERIFICATION BY LANDSCAPE ARCHITECT WITH APPROVED PLANS AND OR PLANT LEGEND. PLANT MATERIAL WITHOUT TAGS WILL BE REJECTED AND RETURNED TO THE NURSERY AT THE CONTRACTOR'S COST.
- GROUND COVER IS NOT SHOWN UNDER SHRUBS AND SMALLER TREES FOR GRAPHIC CLARITY. GROUND COVERS ARE TO CONTINUE TO DRIPLINE (AT TIME OF PLANTING) OF ALL SHRUBS AND TO BASE OF TRUNK ON TREES.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.04(1). MULCH SHALL BE 1 1/2" MINUS FOREST FINES FROM AGRI-SERVICE, 760-295-6255.
- TRAIN AND FAN OUT ALL VINES ON WALLS, TRELLISES ETC. W/ DRYWOOD STICK AND TIE AS REQUIRED. REMOVE ALL CONTAINER STAKES.
- ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHOWING SIGNS OF DEFOLIATION, LEANING, CHLOROSIS (YELLOWING), OR SETTLING PRIOR TO, OR AT THE END OF MAINTENANCE SHALL BE REPLACED BY THE CONTRACTOR, INCLUDING GROUND COVER.
- LANDSCAPE CONTRACTOR TO PROVIDE GUARANTEES NORMAL TO THE TRADE FOR LONGEVITY OF ALL PLANT MATERIALS; THREE MONTHS FOR SHRUBS AND GROUND COVERS, AND ONE YEAR FOR TREES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM ONCE A WEEK MAINTENANCE SERVICE FOR A PERIOD OF 90 DAYS (MINIMUM 12 SERVICE DAYS OVERALL) BEGINNING THE FIRST DAY AFTER FINAL APPROVAL OF JOB COMPLETION BY CLIENT AND LANDSCAPE ARCHITECT.
- CONTRACTOR TO INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS.
- PLANT QUANTITIES ARE FOR CONVENIENCE PURPOSES ONLY. CONTRACTOR TO VERIFY PLANT COUNTS AND SUPPLY QUANTITY OF PLANT MATERIAL TO IMPLEMENT THE INTENT OF THE DESIGN AS SHOWN.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- OWNER TO LOCATE AND STAKE PROPERTY LINES. NO DEMOLITION, CONSTRUCTION OR PLANTING SHALL OCCUR OUTSIDE OF PROPERTY LINE WITHOUT PROPERTY OWNERS CONSENT.
- CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ANY AND ALL WORK WITHIN THE RIGHT OF WAY (OUTSIDE THE PROPERTY LINES).
- CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ALL CONSTRUCTION WITHIN THE BOUNDS OF THE PROPERTY.
- OWNER TO INSURE NEWLY INSTALLED PLANT MATERIAL RECEIVES ENOUGH WATER TO MAINTAIN GOOD HEALTH AND VIGOROUS GROWTH WITHOUT OVER WATERING. PLANT MATERIAL SHALL BE WATERED PERIODICALLY AT SUCH TIME JUST PRIOR TO LEAF WITHERS. ADJUST WATERING TO ACCOMMODATE FOR VARIATIONS IN RAIN FALL, TEMPERATURE, SOLAR EXPOSURE AND SEASONAL CHANGES FOR EACH PLANT.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- ALL PLANTING AREAS PREVIOUSLY COVERED WITH CONCRETE, ASPHALT OR ANY OTHER IMPERVIOUS MATERIAL SHALL BE RIPPED TO A DEPTH OF 12", AMENDED AS PER APPROVED SOILS REPORT AND TREATED WITH SARYON SOIL TREATMENT PER MANUFACTURERS SPECIFICATIONS.

1	Rhaphiolepis umbellata 'Minor'	Dwarf Yeddo Hawthorn	11	5 Gal.
2	Rosa 'Icecap'	Icecap Rose	1/4	5 Gal.
3	Rosmarinus officinalis 'Irene'	Irene Rosemary	1/2	1 Gal.
4	Skivia leucantha 'Santa Barbara'	Santa Barbara Mexican Bush Sage	2/3	1 Gal.
5	Tibouchina urvilleana	Princess Flower	2	15 Gal.
VINES/ESPALIER				
6	Clytostoma callistegioides	Violet Trumpet Vine	2	5 Gal.
7	Callitandra hematocephala	Pink Powder Puff - espalier on wall	2	15 Gal.
8	Ficus pumila	Creeping Fig	1/2	1 Gal.
GROUND COVERS				
9	Carex microcarpa 'Green Carpet'	Green Carpet Mat Plant	35' OC	1 Gal.
10	Dymondia margaritae	NCH	3' OC	Flats
11	Echeveria 'Ruffled'	Ruffled Echeveria	6' OC	1 Gal.
12	Festuca idahoensis 'Sisley Blue'	Sisley Blue Fescue	16' OC	1 Gal.
13	Marathon II	Turf	as shown	Sod
14	Ophiopogon japonicus 'Hana'	Dwarf Mondo Grass	3' OC	6' Pots
15	Sanicula serena	Dwarf Blue Sanicula	12' OC	Cuttings
16	Tradescantia pallida	Purple Heart	12' OC	1 Gal.

PLANT LEGEND

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE
EXISTING TREES - To Remain				
1	Ficus microcarpa	Indian Laurel Fig	6	
2	Olea europaea	Olive	7	
TREES				
3	Aloe bainesii or Dracaena draco	NCH or Dragon Tree	1	36" Box
4	Arbutus 'Marina' or Carya leptophylla or Metrosideros excelsa	Marina Strawberry Tree or Gold Medallion Tree or New Zealand Christmas Tree	3	36" Box
5	Cercis canadensis 'Forest Pansy' or Lagerstroemia indica 'Muskegon' or Tabebuia lappaceana	Eastern Redbud or Muskegon Crape Myrtle or Pink Trumpet Tree	4	36" Box
6	Avocado 'Hass'	Hass Avocado	3	24" Box
7	Citrus	Citrus - Lemon, Orange	4	24" Box
8	Olea europaea	Olive - Field grown	4	60" Box
SHRUBS				
9	Agapanthus praecox orientalis 'Variegata'	Variegated Lily of the Nile	2/3	1 Gal.
10	Agapanthus 'Blue Storm'	Blue Storm Agapanthus	12	1 Gal.
11	Agave americana 'Blue'	Blue Century Plant		
12	Agave neubergeri 'Arizona Star' or Furcraea foetida 'Wodjopoka'	Arizona Star Agave or Variegated Furcraea	3	15 Gal.
13	Agave attenuata	Soft Tail Agave	2/2	5 Gal.
14	Agave attenuata 'Variegata'	Variegated Soft Tail Agave	3	5 Gal.
15	Aloe arborescens 'Spiraliss'	Spiraliss Torch Aloe	6	5 Gal.
16	Aloe striata	Coral Aloe	13	1 Gal.
17	Ceanothus green 'Anchor Bay'	Anchor Bay Ceanothus	11	5 Gal.
18	Crassula arborescens	Silver Jade Plant	10	5 Gal.
19	Dianella tasmanica 'Variegata'	Variegated Pile Lily	4	5 Gal.
20	Dietes x 'Molokai'	Katrina African Iris	2/2	1 Gal.
21	Echinus candicans	Pride of Madeira	6	5 Gal.
22	Hesperaloe parviflora 'Brakelight'	Brakelight Red Yucca	19	1 Gal.
23	Kalanchoe tomentosa	Paddle Plant	38	1 Gal.
24	Lantana montevidensis 'New Gold'	New Gold Lantana	12	1 Gal.
25	Muhlenbergia capillaris 'Regal Mist'	Regal Mist Pink Aluffy	17	5 Gal.
26	Handia domestica 'Gulf Screen'	Gulf Stream Heavenly Bamboo	15	5 Gal.
27	Fedanthus bracteatus	Slipper Plant	2	15 Gal.
28	Paeonia atropurpurea 'Blue Spry'	Blue Spry Russian Sage	5	5 Gal.
29	Platanus 'Guardians'	Guardians Plax	18	5 Gal.
30	Pittosporum cressifolium 'Hana'	NCH	9	5 Gal.
31	Pittosporum tobira 'Variegata'	Variegated Mock Orange	77	5 Gal.
32	Podocarpus macrophyllus 'Maki'	Maki Yew Plant (columnar form)	19	15 Gal.
33	Prunus caroliniana 'Bright n Tight'	Bright n Tight Carolans Laurel Cherry	32	15 Gal.



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BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

Sheet
L-2
OF TWO

PREPARED BY:

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PROJECT NAME:

SAID RESIDENCE
7834 ESTEREL DRIVE
LA JOLLA, CA 92037

SHEET TITLE:

PLANTING NOTES & LEGEND

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SHEET NO.: L-2