



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 21, 2021 REPORT NO. HO-21-020

HEARING DATE: April 28, 2021

SUBJECT: 3856 BAYSIDE WALK CDP, Process Three Decision

PROJECT NUMBER: [651186](#)

OWNER/APPLICANT: Marian Knight Turner (Owner and Applicant)

SUMMARY

Issue: Should the hearing officer approve the demolition of four dwelling units and the construction of a 4,715 square-foot multi-family development with three dwelling units, within the Mission Beach Community Plan area?

Staff Recommendation:

1. Approve Coastal Development Permit No. 2363476

Community Planning Group Recommendation: On February 16, 2021, the Mission Beach Precise Planning Board voted 11-0-0 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA sections 15301 (Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 1, 2021, and the opportunity to appeal that determination ended March 13, 2021.

BACKGROUND

The 0.09-acre site (4,288 square-foot) project site is located at 3856 Bayside Walk, 829 Tangiers Court, and 833 Tangiers Court, directly between Tangiers Court to the North and Sunset Court to the South; Bayside Lane to the West and Bayside Walk to the East (Attachment 1). The site is in the Residential Northern Zone (MBPD-R-N) of the Mission Beach Planned District Ordinance (MBPDO) and designated residential development at a maximum of 36 dwelling units per acre (DU/AC) with the Mission Beach Precise Plan (MBPP) and Local Coastal Program Addendum (LCPA) (Attachment 2).

The project site is also located within the Coastal (Appealable), Coastal Height Limit, Beach and Coastal Parking Impact, Residential Tandem Parking and Transit Area Overlay Zones, and the Transit Priority Area. Surrounding properties are developed with mostly two- to three-story multifamily residential development and some single-family dwelling units, all designated Residential (max. 36 DU/AC) in the MBPP. Properties directly to the North, South, and West of the project site are also zoned MPBD-R-N.

The project site has been previously graded and developed with two existing one-story single dwelling units and one existing two-story duplex, all built in 1939. The existing structures on the site are not designated as a historical resource and are not located within a designated historic district. On August 19, 2019, City Staff determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resource Board Criteria.

DISCUSSION

The project requires a Process Three Coastal Development Permit for the proposed demolition of the four existing dwelling units, and the construction of a 4,715 square-foot multi-family development with three dwelling units within the appealable area of the Coastal Overlay Zone pursuant to San Diego Municipal Code (SDMC) [section 126.0708\(a\)](#).

Project Description:

The project proposes to demolish four existing dwelling units and construct a three-story multi-family development with three dwelling units. The proposed gross floor area (GFA) for the three dwelling units are 1,554 square feet, 1,560 square feet, and 1,601 square feet, totaling 4,715 square feet of GFA for the proposed building. Each unit includes four-bedrooms, three-full bathrooms, a family room, kitchen, living room, washer and dryer, and balcony/deck area. The project proposes six surface parking stalls, with access to these through the Alley to the South of the site. The project also proposes a new concrete driveway to match the existing alley. The landscaping is designed to maximize outdoor use, while still creating functional spaces. Entry courtyards with low walls, surrounded by succulents, grasses and flowering shrubs provide privacy and correspond with the neighborhood landscaping. The plant material chosen is salt tolerant and low maintenance. Outdoor amenities include and outdoor shower, bike and board corral, and various gathering spaces.

The project complies with all required regulations in the SDMC, MBPP and LCPA, and the MBPDO. The project site is in the MBPD-R-N, which is a residential zone that allows a maximum density of 36 DU/AC. Based on the calculation method outlined in SDMC [section 1513.0304\(a\)](#), 3.57 dwelling units are allowed on the 0.09-acre site, and therefore, the proposed three dwelling units are consistent with the prescribed density of the site. The total proposed floor area ratio (FAR) of 1.1 complies with the maximum allowed FAR of 1.1. Furthermore, the project's lot coverage of 30% is far below the maximum allowed lot coverage of 65%. The proposed six surface parking spaces meet the required parking for the site. The project has been designed in conformance with all required R-N Subdistricts setbacks, including the 5-foot standard setback from Bayside Walk, the 10-foot standard setback for Tangiers Court, and additional setback starting at 20-feet above existing grade at a 45-degree angle. Yards abutting Bayside Lane and Alleys are not required. Additionally, the project's proposed height of 29-feet, 7.88 inches complies with the 30-foot maximum Coastal Height Limit.

Community Plan Consistency:

The MBPP designated the site and surrounding areas to the North, South, and West as Residential at a maximum density of 36 DU/AC. The proposed three-story, multi-family development with three dwelling units (30 DU/AC) is consistent with the underlying land-use designation, as the MBPP states that the density within Mission Beach shall be limited to an average of 36 dwelling units per net residential acre. The [Housing Element of the MBPP](#) includes goals for the continuation of a variety of housing types, including single-family, multi-family, townhouses, garden apartments and condominiums (page 25.) The neighborhood is developed with mostly two- to three-story multi-family residential development and some single-family dwelling units, and the proposed multi-family development would serve to maintain the present diverse housing type character of the surrounding area.

The project site is located approximately 43 feet from Mission Bay, on Bayside Lane, which is identified as the first public roadway paralleling the sea. Due to its location, the development would not block views to and along the shoreline from public areas, as identified under the Visual Resources and Special Communities section of the MBPP and LCAP ([page 14.](#)) The project would not impact public view of Mission Bay from the boardwalk, as the project is observing all required setbacks. There are existing structures on the project site which currently encroach into Bayside Walk and Tangiers Court, which include existing walls and steps. The project will remedy this by removing the encroaching items as part of the scope. Therefore, the project will not impede upon any existing or proposed physical accessway that is legally used by the public identified in the MBPP and LCAP Land Use Plan. Additionally, the [MBPP Residential Element](#) recommends permanent control of height and building bulk so that structures in Mission Beach will not have adverse effects on surrounding property, the beaches and the community in general (page 17.) The plan calls out for a basic height limitation of 35 feet with a three-story maximum. The proposed three-story multi-family development height of 29 feet, 7.88 inches is in keeping with the existing character of the community, is consistent with the goals of the MBPP and LCAP and contributes to preserving and improving the physical appearance and character of the Mission Beach community.

Conclusion:

City Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the Land Development Code. Staff has provided draft findings (Attachment 5) to support the proposed development, and draft conditions of approval (Attachment 6). Staff recommends that the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2363476, with modifications.
2. Deny Coastal Development Permit No. 2363476, the findings required to approve the project cannot be affirmed.

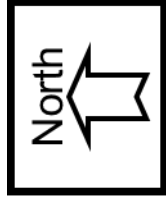
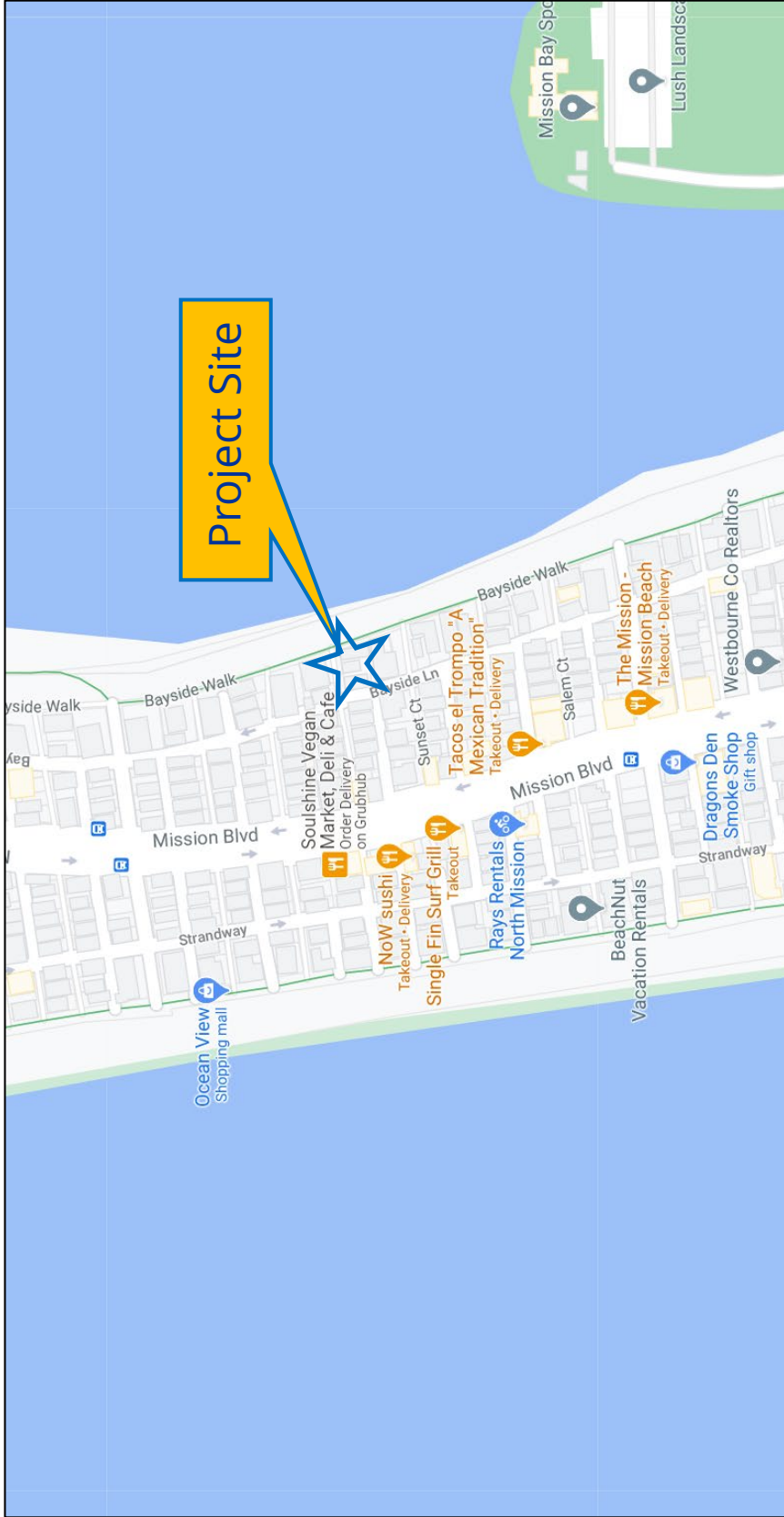
Respectfully submitted,



Elisa Flores, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



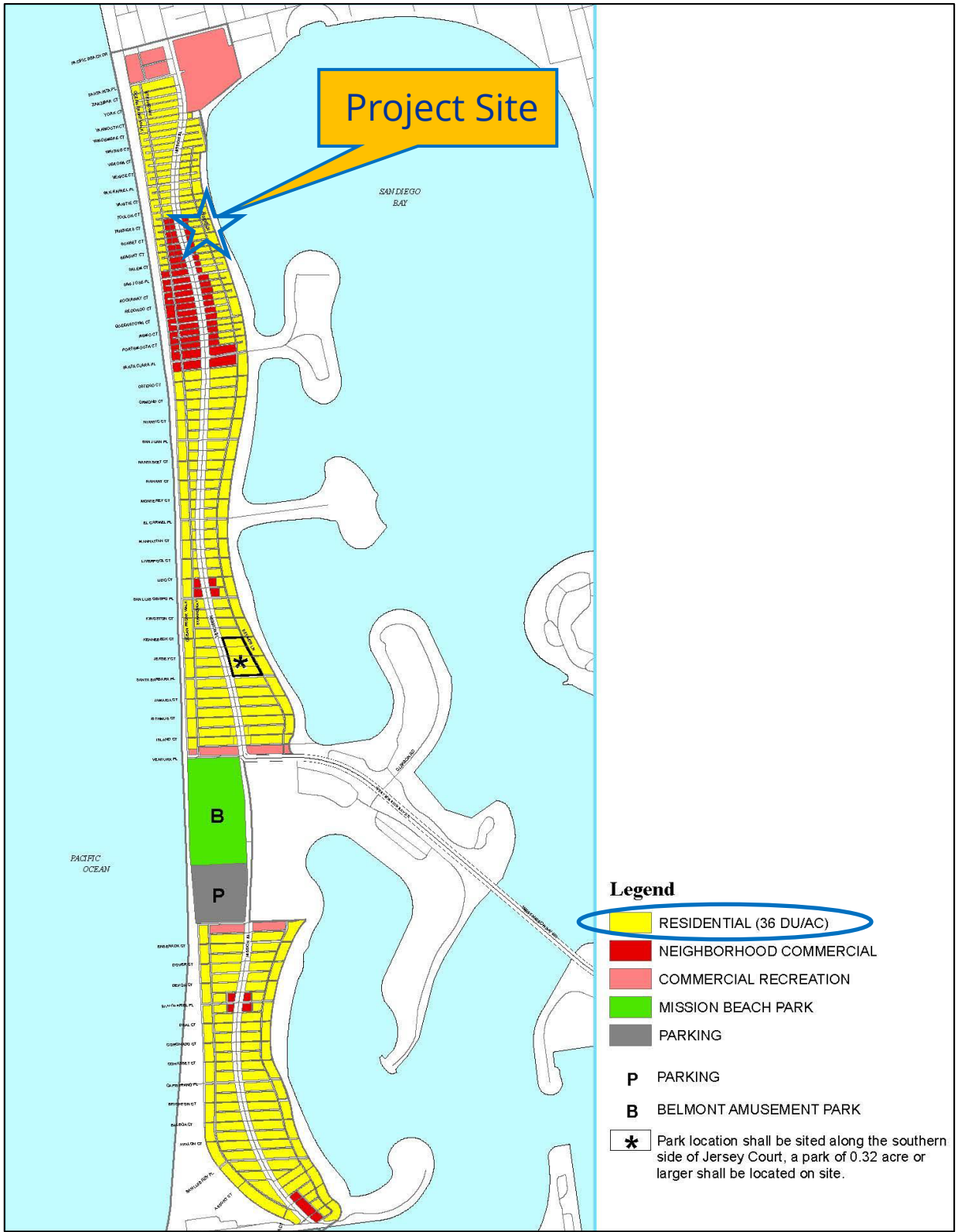
Project Location Map

3856 Bayside Walk CDP / 3856 Bayside Walk, 829 Tangiers Court,

and 833 Tangiers Court

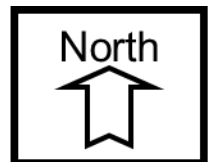
PROJECT NO. 651186

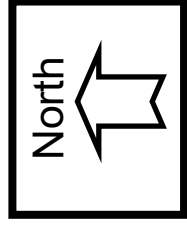




Land Use Map

3856 Bayside Walk CDP / 3856 Bayside Walk,
829 Tangiers Court, and 833 Tangiers Court
PROJECT NO. 651186





Aerial Photo

3856 Bayside Walk CDP / 3856 Bayside Walk, 829 Tangiers Court, and
833 Tangiers Court

PROJECT NO. 651186



PROJECT DATA SHEET

PROJECT NAME:	3856 Bayside Walk CDP	
PROJECT DESCRIPTION:	Coastal Development Permit for the demolition of four dwelling units and the construction of a 4,715 square-foot multi-family development with three dwelling units.	
COMMUNITY PLAN AREA:	Mission Beach Community Plan	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential (maximum of 36 dwelling units per acre)	
ZONING INFORMATION:		
<p style="text-align: center;"> ZONE: MBPD-R-N HEIGHT LIMIT: 30 feet LOT SIZE: 0.09 FLOOR AREA RATIO: 1.1 BAYSIDE WALK SETBACK: 5 feet COURTS SETBACK: 10 feet INTERIOR SETBACK: 5 feet BAYSIDE LANE SETBACK: 0 feet REAR SETBACK: 0 feet PARKING: 6 </p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; MBPD-R-N	Residential
SOUTH:	Residential; MBPD-R-N	Residential
EAST:	N/A; RM-4-10	Open Space; Mission Bay
WEST:	Residential; MBPD-R-N	Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 16, 2021, the Mission Beach Precise Planning Board voted 11-0-0 to recommend approval of the project without conditions.	

HEARING OFFICER RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT NO. 2363476
3856 BAYSIDE WALK CDP - PROJECT NO. 651186

WHEREAS, MARIAN KNIGHT TURNER, trustee of the Survivor's Trust of The Walter and Marian Turner Family Trust dated June 11, 1980, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish four existing dwelling units and construct a three-story, three-dwelling unit multi-family development (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 651186), on portions of a 0.09-acre site;

WHEREAS, the project site is located at 3856 Bayside Walk, 829 Tangiers Court and 833 Tangiers Court in the Mission Beach Planned District Residential-Northern (MBPD-R-N) Zone and the Coastal (Appealable), Coastal Height Limit, Beach and Coastal Parking Impact, Residential Tandem Parking and Transit Area Overlay Zones, and the Transit Priority Area of the Mission Beach Community Plan;

WHEREAS, the project site is legally described as Lots A, B and C in Block 210 of Mission Beach, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1651, filed in the Office of the County Recorder of San Diego County, December 14, 1914. Excepting therefrom those portions thereof lying below the ordinary high tide line of the waters of Mission Bay, formerly False Bay, if any;

WHEREAS, on March 1, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and section 15303

(New Construction), and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on April 28, 2021, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2363476 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2363476:

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to demolish four existing dwelling units and construct a three-story multi-family development with three dwelling units and six surface parking spots. The proposed gross floor area (GFA) for the three dwelling units are 1,554 square feet, 1,560 square feet, and 1,601 square feet, totaling 4,715 square-feet of GFA for the proposed building. The 0.09-acre site is located at 3856 Bayside Walk, 829 Tangiers Court, and 833 Tangiers Court, in the MBPD-R-N Zone, Coastal (Appealable), Coastal Height Limit, Beach and Coastal Parking Impact, Residential Tandem Parking and Transit Area Overlay Zones, and the Transit Priority Area.

The Mission Beach Precise Plan (MBPP) designated the site and surrounding areas to the North, South, and West as Residential at a maximum density of 36 dwelling units per net acre (DU/AC). The proposed three-story, multi-family development with three dwelling units (30 DU/AC) is consistent with the underlying land-use designation, as the MBPP states that the density within Mission Beach shall be limited to an average of 36 dwelling units per net residential acre. The housing element of the MBPP includes goals for the continuation of a variety of housing types, including single-family, multi-family, townhouses, garden apartments and condominiums (page 25.) The neighborhood is developed with mostly two- to three-story multi-family residential development and some single-family dwelling units, and the proposed multi-family development would serve to maintain the present diverse housing type character of the surrounding area.

The project site is located approximately 43 feet from Mission Bay, on Bayside Lane, which is identified as the first public roadway paralleling the sea. Due to its location, the development would not block views to and along the shoreline from public areas, as identified under the Visual Resources and Special Communities section of the MBPP and LCPA (page 14.) The project would not impact public view of Mission Bay from the boardwalk, as the project is observing all required setbacks. There are existing structures on the project site which currently encroach into Bayside Lane and Tangiers Court, which include existing walls and steps. The project will remedy this by removing the encroaching items as part of the scope. Therefore, the project will not impede upon any existing or proposed physical accessway that is legally used by the public identified in the MBPP and LCPA Land Use Plan. Additionally, the MBPP Residential Element recommends permanent control of height and building bulk so that structures in Mission Beach will not have adverse effects on surrounding property, the beaches and the community in general (page 17.) The plan calls out for a basic height limitation of 35 feet with a three-story maximum. The proposed three-story multi-family development height of 29 feet, 7.88 inches is in keeping with the existing character of the community, is consistent with the goals of the MBPP and LCPA and contributes to preserving and improving the physical appearance and character of the Mission Beach community.

Therefore, the proposed development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program land use plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located at 3856 Bayside Walk, 829 Tangiers Court, and 833 Tangiers Court and is currently developed with four dwelling units within the MBPP area. The project proposes to demolish the existing four dwelling units and to construct a three-story, three-unit multi-family development with a total of 4,715 square-feet of GFA, on a 0.09-acre site. The project site was a previously graded and developed site located within an urbanized area and is located approximately 43 feet away from the bay. However, the project does not contain or is adjacent to any steep hillsides, sensitive biological resources, sensitive costal bluffs, or Special Flood Hazard Areas. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes to demolish four existing dwelling units and construct a three-story multi-family development with three dwelling units and six surface parking spots. The proposed gross floor area (GFA) for the three dwelling units are 1,554 square feet, 1,560 square feet, and 1,601 square feet, totaling 4,715 square-feet of

GFA for the proposed building. The 0.09-acre site is located at 3856 Bayside Walk, 829 Tangiers Court, and 833 Tangiers Court, in the MBPD-R-N Zone, Coastal (Appealable), Coastal Height Limit, Beach and Coastal Parking Impact, Residential Tandem Parking and Transit Area Overlay Zones, and the Transit Priority Area.

The project site is in the MBPD-R-N Zone, which is a residential zone described in the Mission Beach Planned District Ordinance (MBPDO) as intended for small scale and low-profile developed area with a maximum residential density of approximately 36 dwelling units per net residential acre. A maximum of 3.57 dwelling units are allowed on the 0.09-acre site pursuant to SDMC section 1513.0304(a), and therefore, the proposed multi-family development with three dwelling units is compliant with the prescribed density. The project's proposed height of 29 feet, 7.88 inches is below the maximum 30-foot Coastal Height Limit. The total proposed floor area ratio (FAR) of 1.1 complies with the maximum allowed FAR of 1.1. Furthermore, the project's lot coverage of 30% is far below the maximum allowed lot coverage of 65%. The proposed six surface parking spaces meet comply with the required parking for the site. The project has been designed in conformance with all required R-N Subdistricts setbacks, including the 5-foot standard setback from Bayside Walk, the 10-foot standard setback for Tangiers Court, and additional setback starting at 20-feet above existing grade at a 45-degree angle. Yards abutting Bayside Land and Alleys are not required.

The project site is located approximately 43 feet from Mission Bay, on Bayside Lane, which is identified as the first public roadway paralleling the sea. Due to its location, the development would not block views to and along the shoreline from public areas, as identified under the Visual Resources and Special Communities section of the MBPP and LCPA (page 14.) The project would not impact public view of Mission Bay from the boardwalk, as the project is observing all required setbacks. There are existing structures on the project site which currently encroach into Bayside Lane and Tangiers Court, which include existing walls and steps. The project will remedy this by removing the encroaching items as part of the scope. Therefore, the project will not impede upon any existing or proposed physical accessway that is legally used by the public identified in the MBPP and LCPA Land Use Plan. Additionally, the MBPP Residential Element recommends permanent control of height and building bulk so that structures in Mission Beach will not have adverse effects on surrounding property, the beaches and the community in general (page 17.) The plan calls out for a basic height limitation of 35 feet with a three-story maximum. The proposed three-story multi-family development height of 29 feet, 7.88 inches is in keeping with the existing character of the community, is consistent with the goals of the MBPP and LCPA and contributes to preserving and improving the physical appearance and character of the Mission Beach community.

The project has been designed in compliance with all the applicable provisions of the MBPP and LCPA, the MBPDO, and the San Diego Municipal Code (SDMC) and does not require or request any deviations. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. **For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposed to demolish four existing dwelling units and to construct a three-story multi-family development with three dwelling units and a total of 4,715 square-feet of GFA on a 0.09-acre site.

The project site is located approximately 43 feet from Mission Bay, on Bayside Lane, which is identified as the first public roadway paralleling the sea. Although the proposed development is along the First Public Roadway and within 43-feet of Mission Bay, there is no existing or proposed public access to the beach on the project site as identified in the MBPP and LCPA. The development is proposed on private property located east of Bayside Lane, directly adjacent to Bayside Walk (the boardwalk), and designed in conformance with all applicable development regulations. Due to its location, the development would not block view to and along the shoreline from public areas, as identified under the Visual Resources and Special Communities section of the MBPP and LCPA (page 14.) The project would not impact public view of Mission Bay from the boardwalk as the project is observing all required setbacks and does not impede on any existing or proposed physical accessway that is legally used by the public identified in the MBPP and LCPA Land Use Plan. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2363476 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2363476, a copy of which is attached hereto and made a part hereof.

Elisa Flores
Development Project Manager
Development Services

Adopted on: April 28, 2021

IO#: 24008451

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008451

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2363476
3856 BAYSIDE WALK CDP - PROJECT NO. 651186
HEARING OFFICER

This Coastal Development Permit No. 2363476 is granted by the Hearing Officer of the City of San Diego to Marian Knight Turner, trustee of the Survivor's Trust of The Walter and Marian Turner Family Trust dated June 11, 1980, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.09-acre site is located at 3856 Bayside Walk, 829 Tangiers Court and 833 Tangiers Court in the Mission Beach Planned District Residential-Northern (MBPD-R-N) Zone and the Coastal (Appealable), Coastal Height Limit, Beach and Coastal Parking Impact, Residential Tandem Parking and Transit Area Overlay Zones, and the Transit Priority Area of the Mission Beach Community Plan. The project site is legally described as: Lots A, B and C in Block 210 of Mission Beach, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1651, filed in the Office of the County Recorder of San Diego County, December 14, 1914. Excepting therefrom those portions thereof lying below the ordinary high tide line of the waters of Mission Bay, formerly False Bay, if any;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish four existing dwelling units and construct a three-story multi-family development with three dwelling units, as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 28, 2021, on file in the Development Services Department.

The project shall include:

- a. The project proposes to demolish four existing dwelling units and construct a three-story multi-family development with three dwelling units and six surface parking spots. The proposed gross floor area (GFA) for the three dwelling units are 1,554 square feet, 1,560 square feet, and 1,601 square feet, totaling 4,717 square-feet of GFA for the proposed building.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Removal of existing encroachments into the right-of-way at Tangiers Court and Bayside Walk; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 13, 2021.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted

within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the walkway, planters, landscape, and irrigations located within the City's right-of-way, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

15. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the Mission Beach Planned District Ordinance, the Mission Beach Community Plan, and the Land Development Manual - Landscape Standards.

16. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

17. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

18. The Owner/Permittee shall install and maintain all landscaping proposed in public view corridors to not obstruct public views of the ocean as specified in §132.0403(e) of the Land Development Code, Coastal Overlay Zone Regulations. Landscaping materials shall not encroach or overhang into the Courts and Places right-of-way below a height of 8-ft. above the finish surface or finish grade, as measured at the trunk [§1513.0402(a)(2)].

PLANNING/DESIGN REQUIREMENTS:

19. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

21. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

22. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

23. Prior to the issuance of any Building Construction Permit, the Owner/Permittee shall have constructed, or ensured the construction of via permit and bond, all proposed public and private water and sewer facilities within the public right-of-way, and/or public easement, in accordance with the criteria established in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and all applicable City regulations, standards and practices.

24. Prior to any Certificate of Occupancy being issued, all domestic, irrigation, and fire water lines serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD) or include the following note on the site plan: THIS SINGLE-FAMILY RESIDENTIAL DEVELOPMENT PROJECT WILL HAVE A COMBINED DOMESTIC/FIRE PROTECTION WATER SERVICE WHICH UTILIZES A PASSIVE PURGE STYLE OF DESIGN. IT IS THEREFORE EXEMPT FROM THE REQUIREMENT FOR A BACKFLOW PREVENTION DEVICE.

25. Prior to any Building Construction Permit being issued, any existing sewer lateral to be reused must be videoed and inspected by a California licensed plumber to verify (via a signed statement on company letterhead) all of the following: the lateral has an appropriate cleanout, is in good condition, is free of all debris, is properly connected to a public sewer main, and is suitable for reuse. If the lateral does not meet these requirements, it must be cleaned, repaired if necessary, and re-inspected or abandoned, capped, and replaced with a new permitted lateral.

26. Prior to any Building Construction Permit being issued, any private improvements which lie within a public ROW fronting the development, or within a public easement inside the development, which could inhibit the City's right to access, maintain, repair, or replace its public water and sewer facilities must be removed unless the Owner/Permittee has or obtains a City approved/County Recorded Encroachment and Maintenance Removal Agreement (EMRA) specific to that encroachment.

27. Prior to any Certificate of Occupancy being issued, any damages caused to the City of San Diego's public water and/or sewer facilities, which are due to the activities associated with this development, shall be repaired or reconstructed in a manner satisfactory to the Public Utilities Director and the City Engineer in accordance with Municipal Code section 142.0607.

28. Prior to any Certificate of Occupancy being issued, the Owner/Permittee is required to ensure that any and all separately titled units which share private water and/or sewer service connections to the City's public water and/or sewer systems have their titles encumbered by CC&Rs. The CC&Rs must be written to ensure (to the satisfaction of the Public Utilities Director) that the operation and maintenance of the private water and/or sewer services will be provided for in perpetuity.

GEOLOGY REQUIREMENTS:

29. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 28, 2021 and [Approved Resolution Number].

Permit Type/PTS Approval No.: Coastal Development Permit No. 2363476
Date of Approval: April 28, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Elisa Flores
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Marian Knight Turner
Trustee of the Survivor's Trust of The
Walter and Marian Turner Family Trust
dated June 11, 1980

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
 P.O. Box 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

____ OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

Project No.: 651186

Project Title: Bayside Walk

PROJECT LOCATION-SPECIFIC: The project is located at 3856 Bayside Walk, San Diego CA.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Coastal Development Permit (CDP) to construct a new 4,717-square-foot three-story, three-unit multi-family residential building. Work will include demolition of two single family residences and one duplex, located at 3856 Bayside Walk. The .09 acre site is in the MBPD-R-N and Coastal Overlay (Appealable) Zone, within the Mission Beach Plan area. The proposed project complies with all height and bulk regulations and can accommodate the public utilities to serve the proposed residence.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Marian Turner, 6568 Sunny Brae Drive San Diego CA 92119. (619) 641-7851.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: 15301 (Existing Facilities) and 15303 (New Construction)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined that the project would qualify to be exempt from CEQA pursuant to CEQA Sections 15303 and 15301. Section 15303 applies to projects that consist of the construction of a limited number of new small facilities or structures; including the construction of up to four single family units in residential zones. In addition, CEQA Section 15301 allows for the demolition of single-family residences and other small structures. Since the project would construct new residences on a previously developed site lacking sensitive resources it was determined that the CEQA exemptions were appropriate and the exceptions listed in CEQA Section 15300.2 would not apply.

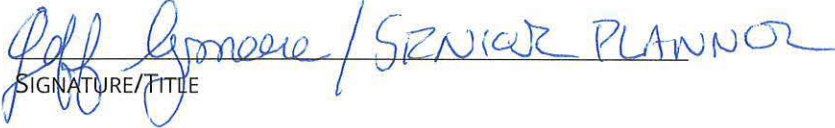
LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

 / SENIOR PLANNER
SIGNATURE/TITLE

3/30/2021
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY
CLERK OR OPR:

DATE RECEIVED FOR FILING WITH COUNTY



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 1

Project Name: 3856 Bayside Walk CDP		Project Number: 651186		Distribution Date: 1/17/2020	
Project Scope/Location: MISSION BEACH (Process 3) Coastal Development Permit to construct a new 4,717-square-foot three story, 3 unit multi-family residential building. Work to include demolition of (2) single family residences, (1) duplex, located at 3856 Bayside Walk. The .09 acre site is in the MBPD-R-N and Coastal Overlay (Appealable) Zone, within the Mission Beach Plan area. Council District 2.					
Applicant Name: Thaxton, Jeff			Applicant Phone Number: (949) 683-5380		
Project Manager: Mendez, Martin		Phone Number: (619) 446-5309	Fax Number: (619) 321-3200	E-mail Address: MRMendez@sandiego.gov	
Project Issues (To be completed by Community Planning Committee for initial review):					
<p>The Mission Beach Precise Planning Board (“MBPPB”) reviewed this proposed project at its February 16, 2021 Meeting via Zoom Conference. The MBPPB voted unanimously to APPROVE this proposed project as presented.</p>					
<i>Attach Additional Pages If Necessary.</i>			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 2

Project Name: 3856 Bayside Walk CDP		Project Number: 651186	Distribution Date: 1/17/2020
Project Scope/Location: MISSION BEACH (Process 3) Coastal Development Permit to construct a new 4,717-square-foot three story, 3 unit multi-family residential building. Work to include demolition of (2) single family residences, (1) duplex, located at 3856 Bayside Walk. The .09 acre site is in the MBPD-R-N and Coastal Overlay (Appealable) Zone, within the Mission Beach Plan area. Council District 2.			
Applicant Name: Thaxton, Jeff		Applicant Phone Number: (949) 683-5380	
Project Manager: Mendez, Martin	Phone Number: (619) 446-5309	Fax Number: (619) 321-3200	E-mail Address: MRMendez@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 11	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: <i>Deborah Watkins</i>		TITLE: <i>Chair</i>	
SIGNATURE: <i>Deborah Watkins</i>		DATE: <i>2/22/21</i>	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318
October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: 3856 BAYSIDE LANE Project No. For City Use Only: _____
 Project Address: 3856 BAYSIDE LANE, SD. CA 92109

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: MARIAN K. TURNER Owner Tenant/Lessee Successor Agency
 Street Address: 6568 SUNNY BRAE DR.
 City: SAN DIEGO State: CA Zip: 92119
 Phone No.: 619.641.7851 Fax No.: N/A Email: mkturnd@cox.net
 Signature: Marian K. Turner Date: 12.19.19
 Additional pages Attached: Yes No

Applicant

Name of Individual: SAME AS PROPERTY OWNER Owner Tenant/Lessee Successor Agency
 Street Address: ABOVE
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: N/A Owner Tenant/Lessee Successor Agency
 Street Address: N/A
 City: N/A State: _____ Zip: _____
 Phone No.: N/A Fax No.: N/A Email: N/A
 Signature: N/A Date: N/A
 Additional pages Attached: Yes No

BAYSIDE WALK

3856 BAYSIDE WALK
 SAN DIEGO, CA 92109

COASTAL DEVELOPMENT PERMIT
 BACK CHECK #2



PROJECT STATUS
 COASTAL
 DEVELOPMENT PERMIT

BAYSIDE WALK
 3856 BAYSIDE WALK
 SAN DIEGO, CA 92109

REVISIONS		
#	Description	Date
1	COASTAL BACK CHECK 1	7/6/2020
2	COASTAL SET 2	11/2/2020

DATE
 8/6/2020

SHEET TITLE
**TITLE
 SHEET**

SHEET NUMBER
A001

NOT FOR CONSTRUCTION

APPLICABLE APPROVALS

HISTORIC SCREENING: PROJECT #642170 COMPLETED 8/30/2019 (PROPERTY DOES NOT MEET LOCAL DESIGNATION CRITERIA AS AN INDIVIDUALLY SIGNIFICANT RESOURCE).

PRELIMINARY REVIEW: PROJECT #642164 COMPLETED 7/18/2019

HOUSING ACCESSIBILITY

BUILDING NOT REQUIRED TO BE SUBJECT TO HOUSING ACCESSIBILITY PER CBC CHAPTER 11A. PROJECT DOES NOT CONTAIN 4 OR MORE CONDOMINIUM DWELLING UNITS (CBC 1102A.1.2).

OVERLAY DISTRICTS

THE SUBJECT PREMISES IS LOCATED AT 3856 BAYSIDE WALK, 829 TANGIERS COURT, AND 833 TANGIERS COURT (APN: 423-573-0700). IT IS WITHIN THE FOLLOWING ZONING AND OVERLAY DESIGNATIONS:

- MISSION BEACH PLANNED DISTRICT - SUBDISTRICT R-N (MBPD-R-N)
- FIRST PUBLIC ROADWAY
- COASTAL HEIGHT LIMITATION OVERLAY ZONE
- COASTAL OVERLAY ZONE (APPEALABLE)
- PARKING IMPACT OVERLAY ZONE (BEACH AND COASTAL)
- RESIDENTIAL TANDEM PARKING OVERLAY ZONE
- TRANSIT AREA OVERLAY ZONE
- GEOLOGICAL HAZARD CATEGORY 31
- TRANSIT PRIORITY AREA
- IT IS WITHIN THE MISSION BEACH PRECISE PLAN AREA.

DEVELOPMENT SUMMARY

PROJECT ADDRESS 3856 BAYSIDE WALK
SAN DIEGO, CA 92109

OWNER ANDY TURNER

ASSESSOR PARCEL NUMBER 423-573-07-00

LEGAL DESCRIPTION BLOCK 210, LOTS A, B & C

LOT AREA 4,288 SQUARE FEET

ZONING MBPD-R-N (MISSION BEACH PLANNED DISTRICT: R-N)

CONSTRUCTION TYPE TYPE V

OCCUPANCY TYPE R-2 (MULTI FAMILY RESIDENTIAL)

DENSITY 1 DU PER 1,200 SF LOT AREA

FLOOR AREA RATIO 1.1

MAX FLOOR AREA (1.1 x 4,288) = 4,717 SF

PROPOSED FLOOR AREA 4,717 SF

MAX LOT COVERAGE 65%
(.65 x 4,288) = 2,787 SF

PROPOSED LOT COVERAGE 1,294 SF (30%)

DENSITY CALCULATION ONE (1) DWELLING UNIT PER 1,200 SF OF LOT AREA; (4,288 SF / 1,200) = 3.6 = **3 DWELLING UNITS**

GOVERNING CODE 2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA GREEN BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

EXISTING AREAS (GROSS) - STRUCTURES TO BE DEMOLISHED

EXISTING LOT A HOUSE	867 SF
EXISTING LOT B HOUSE	529 SF
EXISTING LOT C DUPLEX	1,594 SF
TOTAL	2,990 SF

YEAR ALL BUILDING BUILT 1939

NUMBER OF EXISTING STORIES

EXISTING LOT A HOUSE	1
EXISTING LOT B HOUSE	1
EXISTING LOT C DUPLEX	2

EXISTING USE RESIDENTIAL

PROPOSED USE RESIDENTIAL

NUMBER OF PROPOSED STORIES 3

PROPOSED BUILDING AREAS (GROSS) - PROPOSED BUILDING

RESIDENCE 1	1,554 SF
RESIDENCE 2	1,560 SF
RESIDENCE 3	1,601 SF
TOTAL	4,717 SF

MINIMUM SETBACKS FRONT (COURTSIDE): 10' **
SIDE (BAYSIDE WALK): 5' **
SIDE (BAYSIDE LANE): N/A
ALLEY: N/A

MAXIMUM STRUCTURE HEIGHT 30'

PARKING REQUIRED 6 (2 PER DWELLING UNIT)

PARKING PROVIDED 6

*Per SDMC 1513.0304(2)(C)(i) Buildings on the south side of a Court or Place shall observe an additional setback beginning at 20 feet above existing grade or proposed grade, whichever is lower, at the standard setback and sloping back at a 45 degree angle on the north facing facade.

**Per SDMC 1513.0304(3)(c)(D)(i) In the R-N Subdistrict, buildings abutting Bayside Walk shall observe an additional setback beginning at 15 feet above existing grade or proposed grade, whichever is lower, at the standard setback and sloping back at a 45 degree angle.

SCOPE OF WORK

- DEMOLISH ALL THREE (3) EXISTING STRUCTURES.
- CONSTRUCT THREE (3) 3-STORY TOWNHOME (CONDOMINIUM) UNITS.

REQUIRED PERMITS

- COASTAL DEVELOPMENT PERMIT
- DEMOLITION PERMIT
- BUILDING PERMIT (RESIDENTIAL MULTI-UNIT DWELLINGS)
- EMRA FOR ANY WORK IN RIGHT-OF-WAY

PROJECT TEAM

OWNER ANDY TURNER
3856 BAYSIDE LANE
SAN DIEGO, CA 92109

ARCHITECT GARRETT VAN LEEUWEN
1729 WILLOW ST.
SAN DIEGO, CA 92106

STRUCTURAL ENGINEER: --

CIVIL ENGINEER: RON HOLLOWAY
BHA, INC.
5115 AVENIDA ENCINAS, SUITE L
CARLSBAD, CA 92008
760-931-8700
RHolloway@bhainsd.com

LANDSCAPE ARCHITECT: JULIE HOWARD
HOWARD ASSOCIATES
2442 SECOND AVE
SAN DIEGO, CA 92101
619-718-9660
julie@howardassoc.com

TITLE 24 CONSULTANT: --

SHEET INDEX

A001	TITLE SHEET
A002	PROJECT INFORMATION
A003	SYMBOLS & ABBRVTNS
A004	GENERAL NOTES
A009	SOURCE CONTROL BMP
A050	EXISTING SITE PLAN
A051	TOPOGRAPHIC SURVEY
A052	SITE DEMOLITION PLAN
A100	PROPOSED SITE PLAN
A101	FIRE HYDRANT LOCATION
C-01	CIVIL PRELIMINARY GRADING PLAN
L-1	LANDSCAPE PLAN
A110	LEVEL 1 PLAN
A111	LEVEL 2 PLAN
A112	LEVEL 3 PLAN
A113	ROOF PLAN
A115	BUILDING AREAS
A300	EXTERIOR ELEVATIONS
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS
A303	EXTERIOR ELEVATIONS

VICINITY MAP



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS		
#	Description	Date
1	COASTAL BACK CHECK	7/6/2020
1		

DATE
8/6/2020

SHEET TITLE
PROJECT INFORMATION

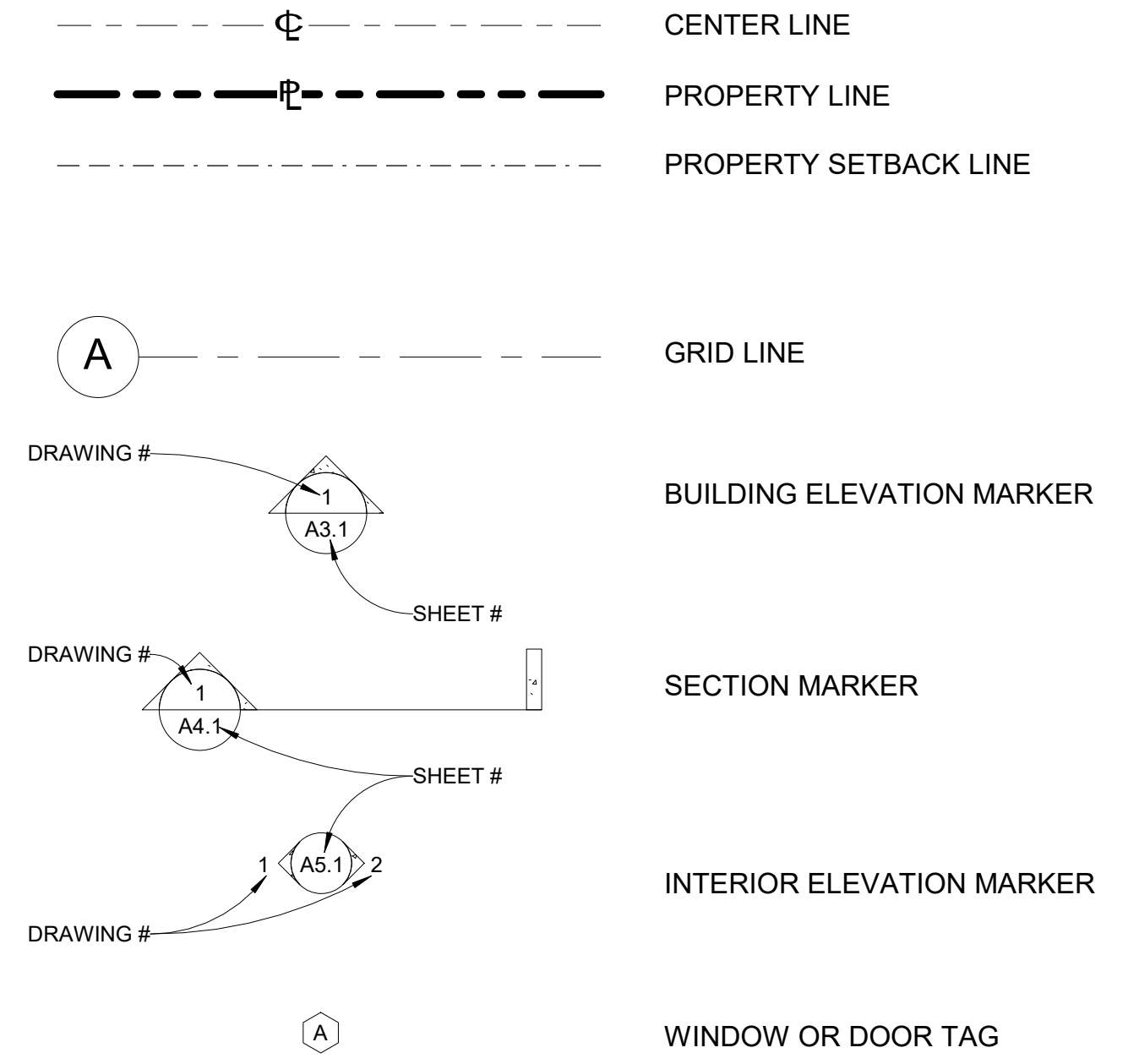
SHEET NUMBER
A002

NOT FOR CONSTRUCTION

ABBREVIATIONS

"	INCHES	FTG	FOOTING
'	FEET	GA	GAUGE
(E)	EXISTING	GAL	GALLON
(N)	NEW	GC	GENERAL CONTRACTOR
A.F.F.	ABOVE FINISH FLOOR	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
ABV	ABOVE	GPM	GALLONS PER MINUTE
AC	AIR CONDITIONING	GWB	GYPSON WALL BOARD
ADD'L	ADDITIONAL	GYP	GYPSON
ADJ	ADJACENT	HDWR	HARDWARE
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, & AIR CONDITIONING
B.O.	BOTTOM OF	INT	INTERIOR
B/T	BETWEEN	LAV	LAVATORY SINK
BDRM	BEDROOM	LVL	LEVEL
BLDG	BUILDING	M_	MASTER (BEDROOM, ETC)
BLKG	BLOCKING	MAT	MATERIAL
BLW	BELOW	MAX	MAXIMUM
BOT	BOTTOM	MIN	MINIMUM
CAB	CABINET	MN	MINUTE
CBC	CALIFORNIA BUILDING CODE	MTD	MOUNTED
CFC	CALIFORNIA FIRE CODE	MTL	METAL
CGBSC	CALIFORNIA GREEN BUILDING STANDARDS CODE	N	NORTH
CL	CENTER LINE	N/A	NOT APPLICABLE
CLG	CEILING	No	NUMBER
CLO	CLOSET	O.C.	ON CENTER
CLR	CLEAR	O/A	OVERALL
CMC	CALIFORNIA MECHANICAL CODE	OH	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	P.H.	PLATE HEIGHT
COL	COLUMN	PL	PROPERTY LINE
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONST	CONSTRUCTION	PT	PRESSURE TREATED
CONT	CONTINUOUS	REQ	REQUIRED
CPT	CARPET	RET	RETAINING
CRC	CALIFORNIA RESIDENTIAL CODE	RM	ROOM
CTR	COUNTER	RMV	REMOVE
CY	CUBIC YARDS	ROW	RIGHT OF WAY
DBL	DOUBLE	S	SOUTH
DEMO	DEMOLISH	SDMC	SAN DIEGO MUNICIPAL CODE
DEM'D	DEMOLISHED	SF	SQUARE FEET
DIA	DIAMETER	SGL	SINGLE
DR	DOOR	SPEC	SPECIFICATION, SPECIFY
DTL	DETAIL	T.I.	TENANT IMPROVEMENT
DWR	DRAWER	T.O.	TOP OF
E	EAST	T/O	THROUGHOUT
EA	EACH	TH	THICKNESS
ELEV	ELEVATION	TYP	TYPICAL
ENC	ENCLOSED	U.N.O.	UNLESS NOTED OTHERWISE
EXG	EXISTING	V.I.F.	VERIFY IN FIELD
EXT	EXTERIOR	W	WEST
F.F.	FINISH FLOOR	W/	WITH
F.O.	FACE OF...	W/O	WITHOUT
FDN	FOUNDATION	WD	WOOD
FF	FINISH FLOOR	WDW	WINDOW
FIN	FINISH		
FLR	FLOOR		
FRMG	FRAMING		

DRAWING SYMBOLS



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS		
#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

SHEET TITLE
SYMBOLS & ABBRV'TNS

SHEET NUMBER
A003

NOT FOR CONSTRUCTION

GENERAL NOTES

- 1 ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE CODE(S) REFERENCED ON THE TITLE SHEET OF THIS DRAWING SET AND ANY STANDARDS REFERENCED THEREIN. ANYTHING SHOWN ON THESE DRAWINGS NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK
- 2 UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHOWN ARE FROM CENTER LINE TO CENTERLINE, CENTERLINE TO FACE OF WALL, OR FACE OF WALL TO FACE OF WALL.
- 3 UNLESS OTHERWISE NOTED, ALL GRID LINES ALIGN WITH FACE OF FRAMING.
- 4 ALL NEW MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS' LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
- 5 ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. MECHANICAL AND ELECTRICAL FIXTURES, FITTINGS, OUTLETS, ETC., WHEN SHOWN ON THE ARCHITECTURAL DRAWINGS, ARE FOR LOCATION INFORMATION ONLY. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECT'S AND CONSULTING ENGINEERS' DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND AT NO EXPENSE TO THE OWNER.
- 6 WORKING DIMENSIONS SHALL NOT BE SCALED FROM THESE DRAWINGS.
- 7 ALL LARGER SCALE DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER THOSE OF SMALLER SCALE.
- 8 FOR STRUCTURAL SPECIFICATIONS, FRAMING PLANS, FOUNDATION PLANS, ROOF FRAMING, STRUCTURAL DETAILS, AND ANY OTHER STRUCTURAL INFORMATION REFER TO STRUCTURAL ENGINEER'S PLANS.
- 9 PROVIDE WEATHERSTRIPPING COMPLETELY AROUND EXTERIOR SWINGING DOORS, SLIDING DOORS, AND WINDOWS.
- 10 ANY INDIVIDUAL PANE OF GLAZING THAT IS GREATER THAN 9 SF AND HAS A SILL LESS THAN 18" A.F.F. AND HAS A TOP EDGE GREATER THAN 36" A.F.F. SHALL BE SAFETY GLAZING.
- 11 ANY GLAZING WITHIN A DOOR OR WITHIN 60" OF A TUB OR SHOWER SHALL BE SAFETY GLAZING.
- 12 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS THEY SHALL BE REPORTED TO THE ARCHITECT SO THAT THE PROPER REVISIONS MAY BE MADE.

GENERAL CONTRACTOR NOTES

- 1 GENERAL CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, OSHA REQUIREMENTS, AND LAWS AND REGULATIONS.
- 2 GENERAL CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD OWNER, ARCHITECT, AND DESIGN CONSULTANTS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ARCHITECT, OR CONSULTANTS.
- 3 GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PROPERTIES ADJACENT TO THE CONSTRUCTION AREA FROM BUILDUP OF DUST, DEBRIS, AND FROM DAMAGES OR DISRUPTION INCLUDING THOSE DUE TO INCLEMENT WEATHER OR EXCESSIVE NOISE.
- 4 GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO BIDDING THE WORK AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE PROJECT.
- 5 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULT OF ANY ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT OF BEFORE COSTRUCTION AND/OR FABRICATION OF THE WORK.
- 6 GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK BY ALL TRADES, INCLUDING THOSE PROVIDED AND DIRECTED BY THE OWNER.
- 7 GENERAL CONTRACTOR IS RESPONSIBLE FOR INSURING THE SUBCONTRACTORS ARE BIDDING FROM A COMPLETE SET OF DRAWINGS. NO ADDS WILL BE APPROVED BY THE ARCHITECT DUE TO ANY SUBCONTRACTOR'S FAILURE TO COORDINATE BETWEEN ALL DRAWINGS.

- 9 GENERAL CONTRACTOR SHALL, AS PART OF THIS CONTRACT, FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION, AND INSURANCE NECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE INTENT OF THE PLANS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL VERIFY ALL REQUIREMENTS FOR EXACT SIZE AND QUANTITY OF EQUIPMENT FURNISHED, INCLUDING REQUIREMENTS FOR MECHANICAL AND ELECTRICAL SERVICES, AND BE RESPONSIBLE FOR ALL ROUGH-IN CONNECTIONS.
- 10 GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- 11 GENERAL CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY TRAFFIC ENGINEERING DEPARTMENT FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.
- 12 GENERAL CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO ENSURE THAT ALL UTILITY SERVICES WILL REMAIN FUNCTIONAL DURING THE CONSTRUCTION PERIOD.
- 13 MODIFICATIONS TO THE DESIGN OR TO THE DETAILS OF CONSTRUCTION AS DESCRIBED IN THESE DRAWINGS SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, WHERE THERE IS A DISCREPANCY, OR THERE APPEARS TO BE AN ERROR BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AS SOON AS REASONABLY POSSIBLE.

CALIFORNIA GREEN BUILDING CODE NOTES

- 1 WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. 4.303.1.1.
- 2 SHOWER HEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI. 4.303.1.3.
- 3 LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. 4.303.1.4.
- 4 KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI AS A DEFAULT AND SHALL NOT EVER EXCEED 2.2 GPM AT 60 PSI. 4.303.1.4.4.
- 5 A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGED FOR REUSE. 4.408.1.
- 6 ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. 4.504.2.1.
- 7 CARPET, CARPET SYSTEMS, PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS SET IN SECTION 4.504.2.2 AND TABLE 4.504.3.
- 8 EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING SHALL BE PROVIDED IN EVERY BATHROOM THAT CONTAINS A SHOWER OR TUB AND SHALL COMPLY WITH THE FOLLOWING: 1) FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2) UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80%. 4.506.1.
- 9 DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. 4.504.1.
- 10 AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. 4.504.2.3.
- 11 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. 4.504.2.4.
- 12 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) FLOOR SCORE PROGRAM. 4.504.4.
- 13 PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. PRODUCT CERTIFICATIONS AND SPECIFICATIONS SHALL BE PROVIDED. 4.504.5.
- 14 ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2016 CGBSC.
- 15 PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
- 16 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC. 4.303.2.
- 17 OUTDOOR SHOWER DRAINS AND ARE NOT PERMITTED TO CONNECT TO THE PUBLIC SEWER SYSTEM UNLESS EQUIPPED WITH AN APPROVED COVER. COLD WATER CONNECTION ONLY.
- 18 AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED. 4.304.1.

- 19 JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 4.406.1.
- 20 BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH. 4.410.1.
- 21 BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- 22 THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER. A CERTIFICATE OF COMPLIANCE INDICATING DATE OF TEST, LOCATION, AND RESULTS ISSUED BY THE FRAMING SUBCONTRACTOR OR GENERAL CONTRACTOR MUST BE SUBMITTED TO THE BUILDING INSPECTOR. 4.505.3.
- 23 ALL NEW RESIDENTIAL BUILDINGS (SINGLE FAMILY, DUPLEXES OR TOWNHOMES) SHALL BE CONSTRUCTED TO INCLUDE EASTE PIPING TO DISCHARGE GRAY WATER FROM CLOTHES WASHERS TO A PLACE WHERE IT MAY BE USED FOR OUTDOOR IRRIGATION. IN COMPLIANCE WITH SECTION 1602 OF THE CALIFORNIA PLUMBING CODE.

ENERGY/TITLE 24 NOTES

- 1 OTHER ROOMS: ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.

MECHANICAL & PLUMBING NOTES

- 1 SHOWER COMPARTMENTS & BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR. CRC R307.2.
- 2 EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
- 3 EXHAUST DUCTS SHALL TERMINATE MIN 3' FROM PROPERTY LINE AND FROM OPERABLE WINDOWS OR AIR INTAKES.

ELECTRICAL NOTES

- 1 SEE SHEET A302 FOR ELECTRICAL NOTES

FIRE SEVERITY NOTES

- 1 ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
- 2 GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSIAAMA/NWWDA 10111.S.2 STRUCTURAL REQUIREMENTS.
- 3 WINDOW AND GLAZED DOOR ASSEMBLIES SHALL EITHER BE 1) CONSTRUCTED OF MULTIPANE GLAZING WITH A MIN OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF CBC 2406 FOR SAFETY GLAZING. 2) HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR 3) BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2. CRC R327.8.2.1.
- 4 EXTERIOR DOORS SHALL EITHER 1) HAVE EXTERIOR SURFACE OR CLADDING OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, 2) HAVE A MIN 20 MINUTE FIRE-RESISTANCE RATING, 3) BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1, OR 4) BE CONSTRUCTED OF SOLID CORE WOOD WITH STILES AND RAILS NOT LESS THAN 1 3/8" AND RAISED PANELS NOT LESS THAN 1 1/4" THICK WITH EXT PERMIETER OF RAISED PANEL TAPERING TO A TONGUE NOT LESS THAN 3/8" THICK. CRC R327.8.3.
- 5 WALKING SURFACES OF DECKS, PORCHES, BALCONIES, OR EXT STAIRS THAT ARE WITHIN 10' OF THE BUILDING SHALL BE CONSTRUCTED WITH EITHER 1) IGNITION-RESISTANT MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND SFM STANDARD 12-7A-5, 2) EXTERIOR FIRE RETARDANT TREATED WOOD, 3) NONCOMBUSTIBLE MATERIAL, 4) ANY MATERIAL THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-4A WHEN THE ATTACHED EXTERIOR WALL COVERING IS ALSO EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. CRC R327.9.
- 6 DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE. SDMC 145.0705(B)

- 7 VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CBC 705A.3
- 8 SHOW THE VENT OPENINGS ARE PROTECTED BY NONCOMBUSTIBLE, CORROSION RESISTANT MESH AND MEETS ALL THE FOLLOWING REQUIREMENTS. CBC 706A.2; SDMC 145.0706(A):
- 9 ALL EXTERIOR WINDOW AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS CBC 708A.2.1:
- 10 ALL EXTERIOR DOORS COMPLY WITH ONE OF THE FOLLOWING CBC 708A.3:
- 11 THE WALKING SURFACE OF THE DECKS/PORCH/BALCONY/STAIRS WITHIN 10 FEET OF THE BUILDING SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS CBC 709A.3:

FIRE NOTES

- 1 DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1
- 2 BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.
- 3 ADDRESSING IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2. CFC 505
- 4 WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.11 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.
- 5 DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3
- 6 OPEN FLAMES, FIRE AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.

CONSTRUCTION NOTES

- 1 PROVIDE BACKING AS REQ FOR WALL MTD FIXTURES.

PROJECT STATUS

COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS

#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE

8/6/2020

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

A004

NOT FOR CONSTRUCTION

Source Control BMP Checklist for Standard Projects		Form I-4A	
All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.			
Source Control Requirement	Applied ⁽¹⁾		
4.2.1 Prevention of Illicit Discharges into the MS4	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.2 Storm Drain Stenciling or Signage	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.6 BMPs based on Potential Sources of Runoff Pollutants			
On-site storm drain inlets	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Interior floor drains and elevator shaft sump pumps	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Interior parking garages	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Need for future indoor & structural pest control	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Landscape/Outdoor Pesticide Use	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Pools, spas, ponds, decorative fountains, and other water features	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Food service	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Refuse areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Industrial processes	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Outdoor storage of equipment or materials	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Vehicle/Equipment Repair and Maintenance	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Fuel Dispensing Areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Loading Docks	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Fire Sprinkler Test Water	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Miscellaneous Drain or Wash Water	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Plazas, sidewalks, and parking lots	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-6A: Large Trash Generating Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6B: Animal Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6C: Plant Nurseries and Garden Centers	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6D: Automotive Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Discussion / Justification for all "No" answers shown above:			



Site Design BMP Checklist for Standard Projects		Form I-5A	
All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.			
Site Design Requirement	Applied ⁽¹⁾		
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.3.3 Minimize Impervious Area	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.4 Minimize Soil Compaction	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.5 Impervious Area Dispersion	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.6 Runoff Collection	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.8 Harvest and Use Precipitation	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
Discussion / Justification for all "No" answers shown above: Harvesting is not proposed, storm water will runoff to landscaping.			

⁽¹⁾ Answer for each source control and site design category shall be pursuant to the following:

- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / Justification is not required.
- "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / Justification must be provided.
- "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / Justification may be provided.



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

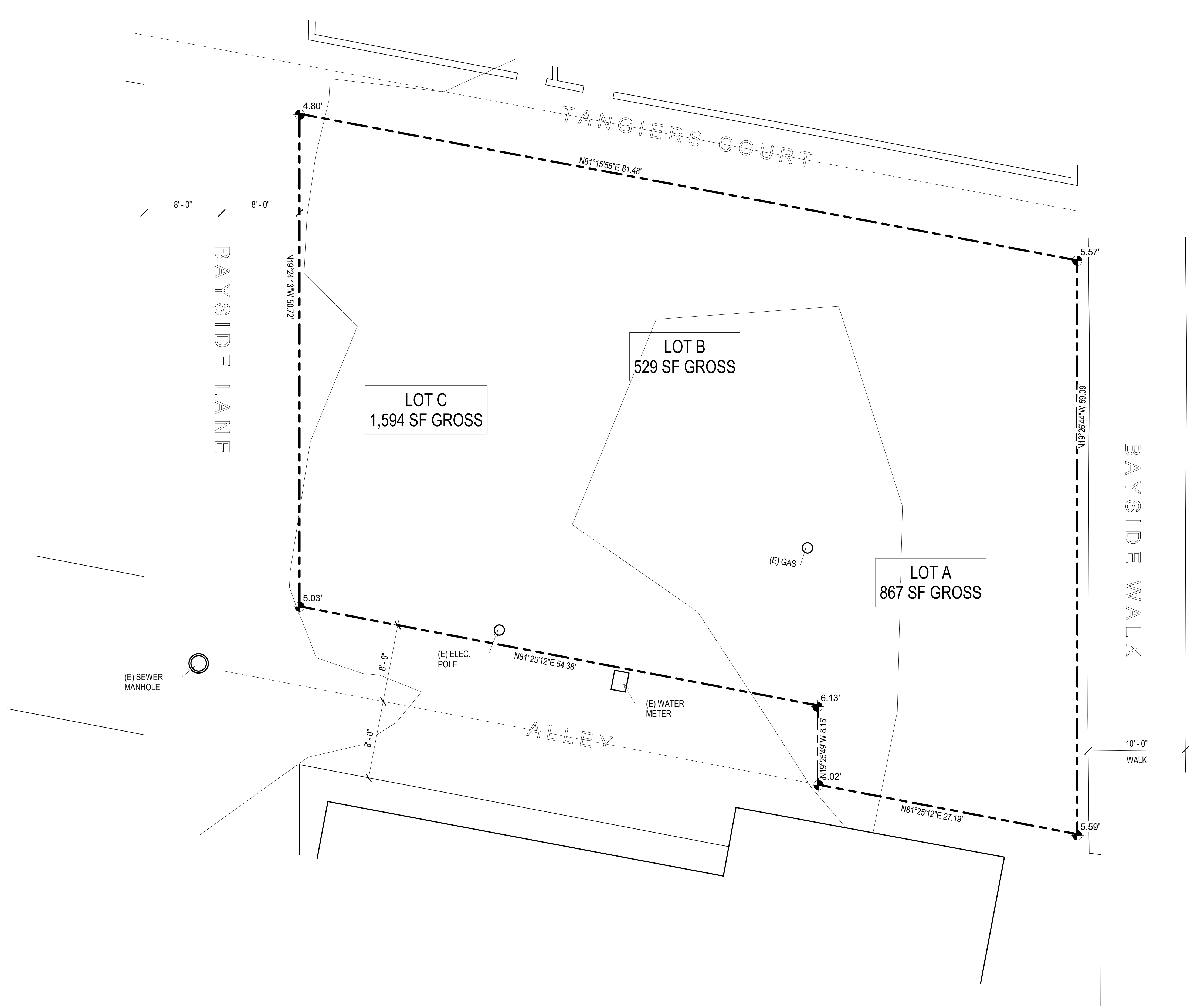
REVISIONS		
#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

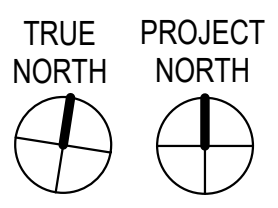
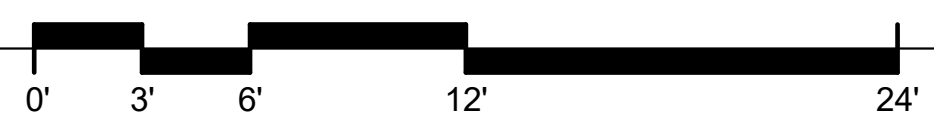
SHEET TITLE
SOURCE CONTROL BMP

SHEET NUMBER
A009

NOT FOR CONSTRUCTION



① SITE - EXISTING
3/16" = 1'-0"



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS		
#	Description	Date
1	COASTAL BACK CHECK	7/6/2020
1		

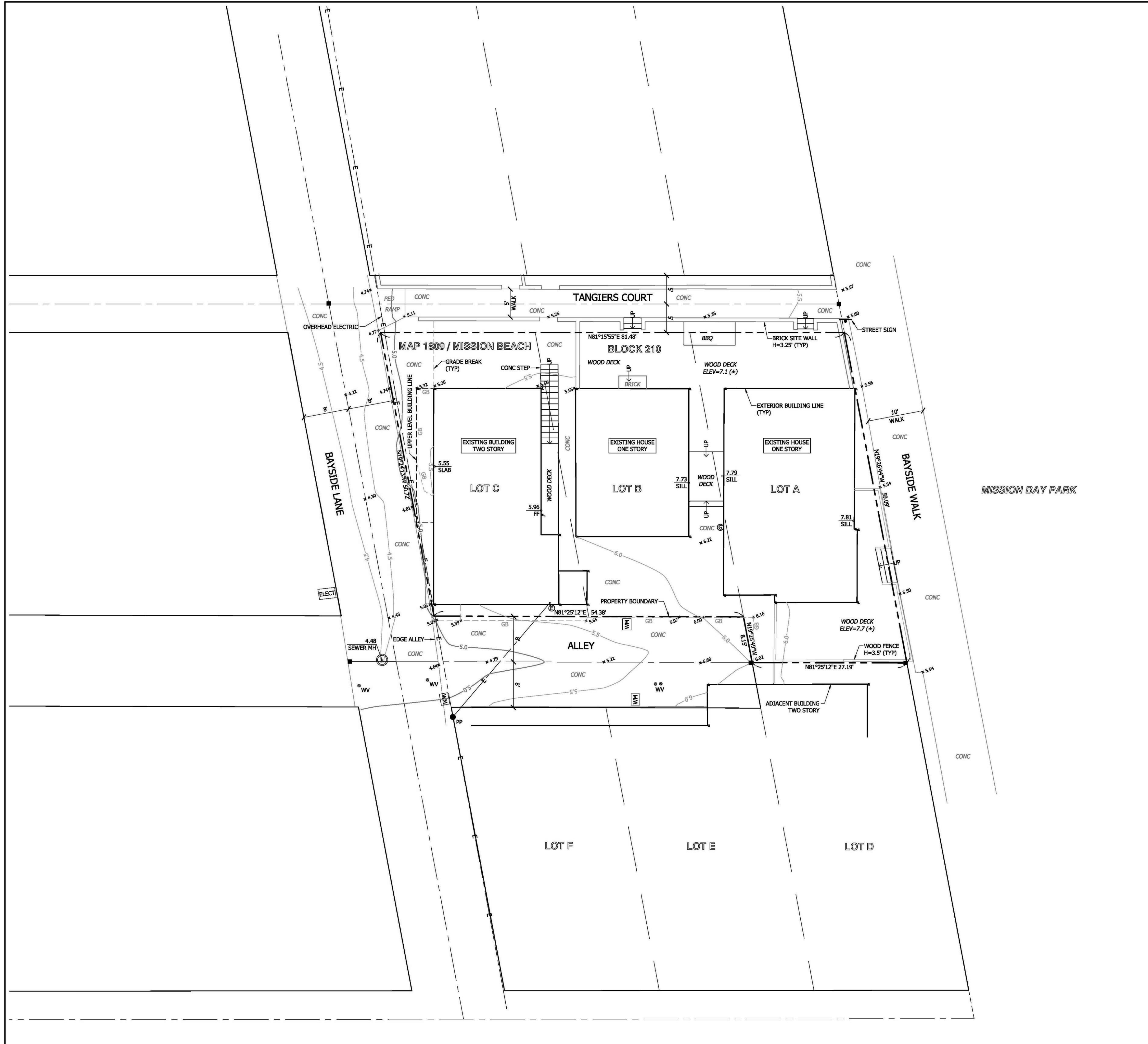
DATE
8/6/2020

SHEET TITLE
EXISTING SITE PLAN

SHEET NUMBER

A050

NOT FOR CONSTRUCTION



PROPERTY LEGAL DESCRIPTION
 LOTS A, B AND C, BLOCK 210, MAP 1809 (MISSION BEACH)

ASSESSORS PARCEL NUMBER
 423-573-07

BASIS OF ELEVATIONS
 CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
 MONUMENT DESCRIPTION: LAED & DISC ON EASTERLY 4' OFFSET LINE
 LOCATION: NORTHWEST CORNER OF MISSION BLVD AND TANGIERS COURT
 DATUM: MEAN SEA LEVEL (NGVD 29)
 ELEVATION: 5.18 FEET

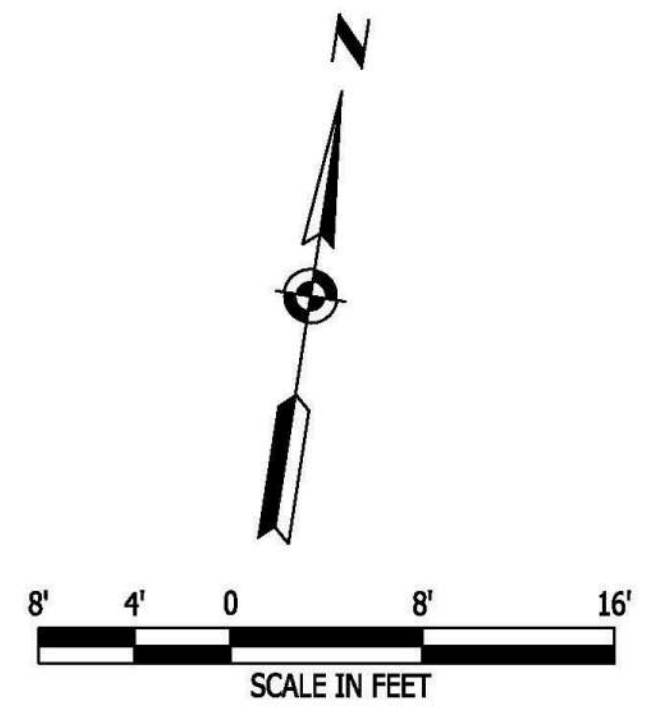
NOTE
 THIS MAP OF EXISTING IMPROVEMENTS WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING.

THE BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE RETRACEMENT OF THE PROPERTY BOUNDARY DESCRIBED ABOVE. A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND SURVEY MONUMENT
	EDGE OF CONCRETE
	GRADE BREAK
	CMU OR BRICK SITE WALL
	CONCRETE SURFACE
	FENCE: WOOD
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
	(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)

ABBREVIATIONS			
AP	ANGLE POINT	GRND	GROUND
ASPH	ASPHALT	MH	MANHOLE
BLDG	BUILDING	PP	UTILITY POLE
CIP	CAST IN PLACE	(R)	RADIAL BEARING
CMU	CONCRETE MASONRY UNIT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE (DRAIN)
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
FNC	FENCE	WM	WATER METER
GB	GRADE BREAK	WV	WATER VALVE



METROPOLITAN MAPPING
 3712 30TH STREET
 SAN DIEGO, CA 92104
 (619) 431-5250
 metromap.sd@gmail.com

REVISIONS:

TOPOGRAPHIC SURVEY
 3856 BAYSIDE WALK
 SAN DIEGO, CA 92109

NOT FOR CONSTRUCTION

SURVEY DATE
 MAY 9, 2019

MAP/DRAWING DATE
 MAY 28, 2019

SCALE: 1/8"=1'-0"

DRAWN BY: VF

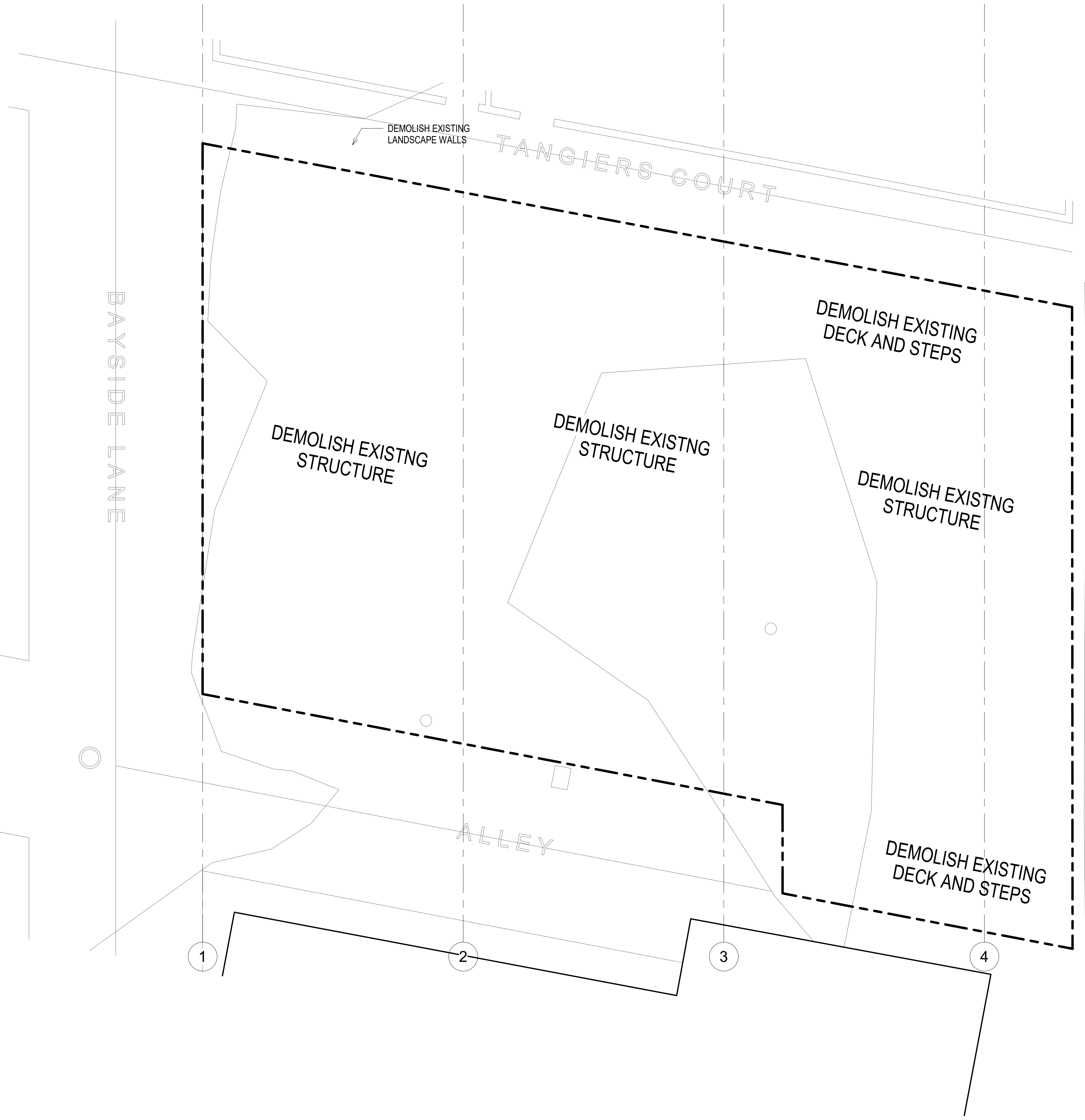
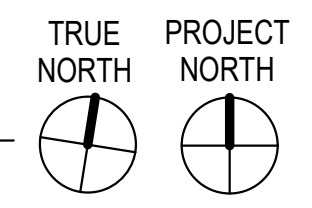
JOB No:

SHEET TITLE:

A051

8/6/2020 5:05:21 PM

① SITE - DEMOLITION PLAN
3/16" = 1'-0"



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS		
#	Description	Date
1	COASTAL BACK CHECK	7/6/2020
1		

DATE
8/6/2020

SHEET TITLE
SITE DEMOLITION PLAN

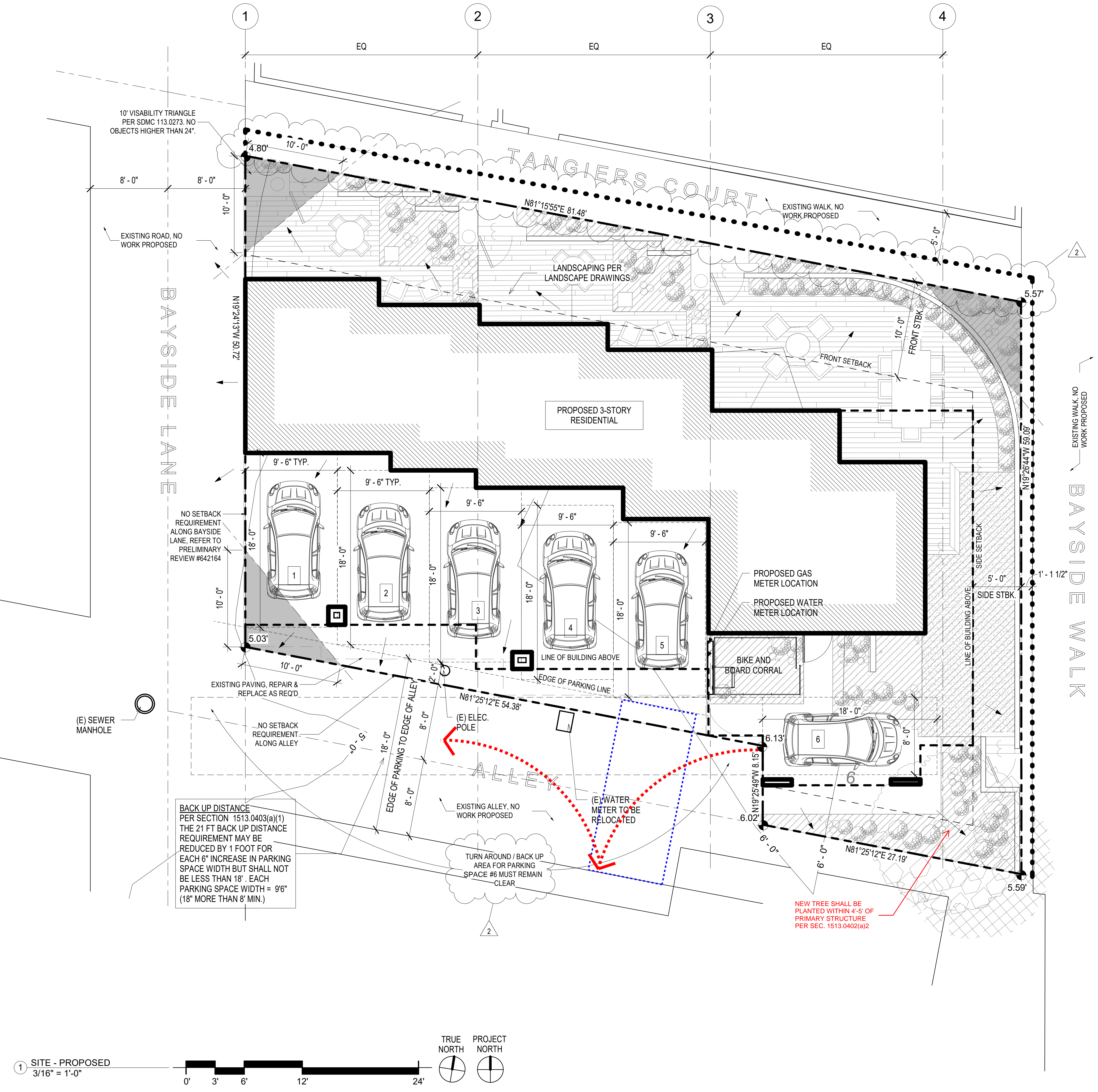
SHEET NUMBER

A052

NOT FOR CONSTRUCTION

SITE PLAN NOTES

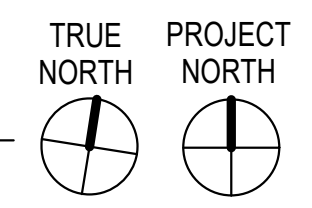
1. BUILDING ADDRESS: PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
2. NO BUILDING OR ADDITION TO A BUILDING SHALL BE CONSTRUCTED WITH A HEIGHT IN EXCESS OF 30 FEET WITHIN THE COASTAL ZONE OF THE CITY OF SAN DIEGO, PER PROP D.
3. THERE ARE NO KNOWN EASEMENTS ON THE SITE.
4. THERE ARE NO EXISTING OR PROPOSED TRANSIT STOPS DIRECTLY ADJACENT TO THE SITE.
5. BUILDING ADDRESS NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
6. ALL WORK DONE IN PUBLIC RIGHT OF WAY WILL REQUIRE 'EMRA' PERMIT
7. PROP D: NO PART OF THIS PROJECT SHALL EXTEND ABOVE 30FT IN HEIGHT ABOVE GRADE



LEGEND

- LIMIT OF WORK LINE
- PROPERTY LINE
- ← DRAINAGE PATTERN

① SITE - PROPOSED
3/16" = 1'-0"



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE LANE
3856 BAYSIDE LANE
SAN DIEGO, CA 92109

REVISIONS

#	Description	Date
1	COASTAL BACK CHECK 1	7/6/2020
2	COASTAL SET 2	11/2/2020

DATE
12/18/2019

SHEET TITLE
PROPOSED SITE PLAN

SHEET NUMBER

A100

NOT FOR CONSTRUCTION



① FIRE HYDRANT LOCATIONS
1" = 50'-0"

PROJECT STATUS
COASTAL
DEVELOPMENT PERMIT

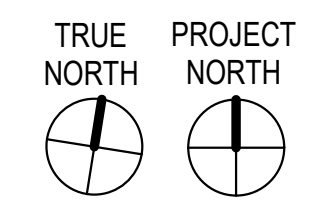
BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

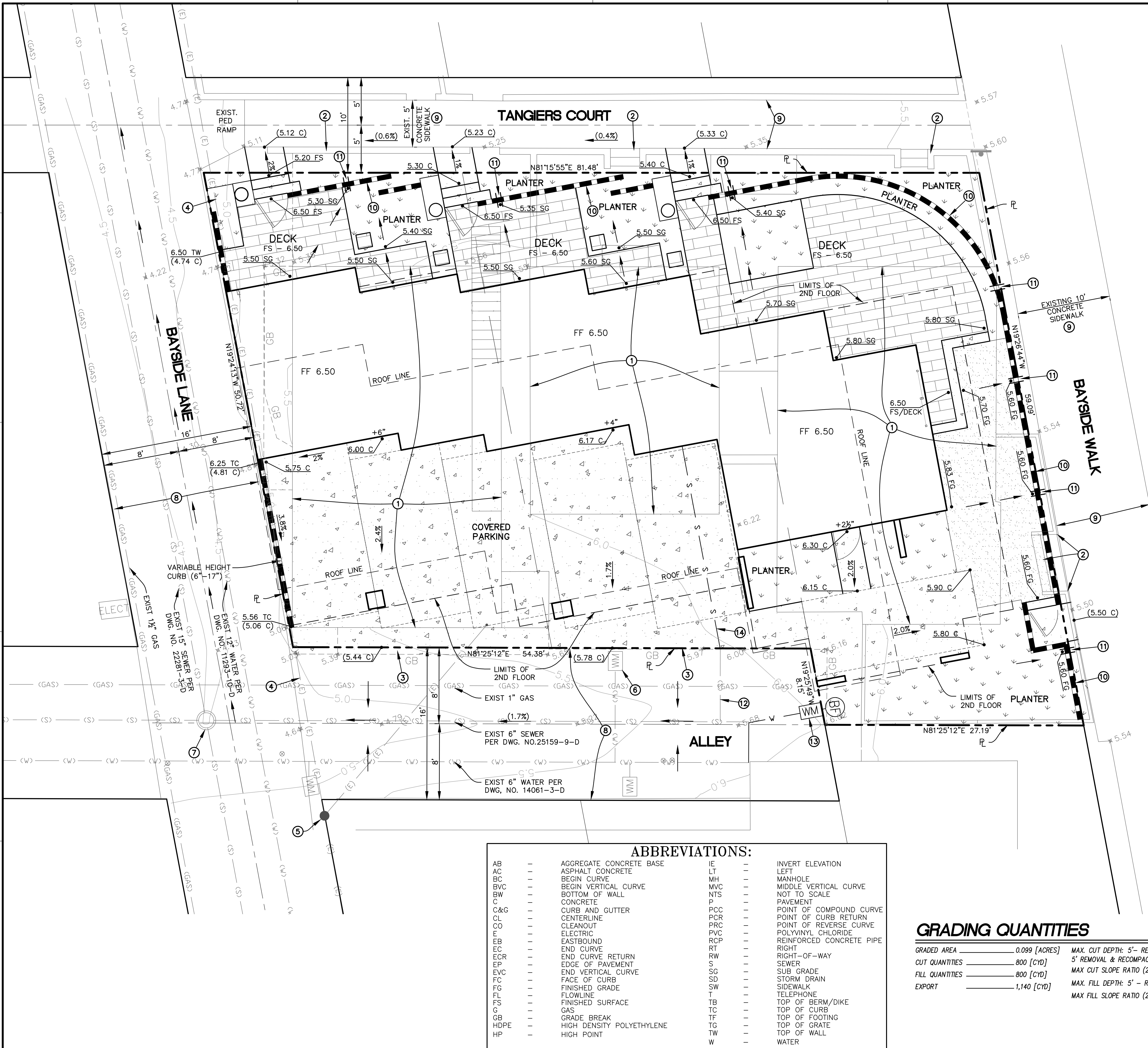
DATE
8/6/2020

SHEET TITLE
**FIRE
HYDRANT
LOCATION**

SHEET NUMBER
A101



NOT FOR CONSTRUCTION



LEGEND

- PROJECT BOUNDARY
- RIGHT-OF-WAY
- EXISTING WATER LINE (W) (W)
- EXISTING SEWER LINE (S) (S)
- EXISTING GAS LINE (GAS) (GAS)
- EXISTING CENTER LINE
- EXISTING CURB & GUTTER
- EX. CONTOUR MAJOR 55
- EX. CONTOUR MINOR
- EXISTING STORM DRAIN
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT
- PROPOSED SPOT ELEVATION 543.2 (543.2)
- EXISTING SPOT ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE SURFACE
- PROPOSED DECK
- PROPOSED ARTIFICIAL TURF
- PROPOSED LANDSCAPE/PLANTERS

- ### CONSTRUCTION NOTES
- 1 REMOVE EXISTING BUILDINGS.
 - 2 REMOVE EXISTING WALLS & STEPS.
 - 3 NEW CONCRETE DRIVEWAY TO MATCH EXISTING ALLEY.
 - 4 EXISTING OVERHEAD UTILITY LINES - PROTECT IN PLACE & RELOCATE WHERE IN CONFLICT WITH NEW STRUCTURE.
 - 5 EXISTING UTILITY POLE - PROTECT IN PLACE.
 - 6 EXISTING 1" WATER SERVICE & 3/4" WATER METER - PROTECT IN PLACE UNTIL NEW METER IS INSTALLED, THEN KILL WATER SERVICE AT MAIN.
 - 7 EXISTING SEWER MANHOLE - PROTECT IN PLACE.
 - 8 EXISTING CONCRETE PAVEMENT - PROTECT IN PLACE.
 - 9 EXISTING CONCRETE SIDEWALK - PROTECT IN PLACE.
 - 10 PROPOSED COURTYARD WALL
 - 11 PROVIDE OPENING IN COURTYARD WALL FOR DRAINAGE.
 - 12 EXISTING SEWER LATERAL TO BE RETAINED- PROTECT IN PLACE & RECONNECT TO NEW LATERAL FROM BUILDING. PRIVATE SEWER MAIN-EMRA REQUIRED.
 - 13 PROPOSED 2" WATER SERVICE W/ 1-1/2" MASTER WATER METER(WM) W/ CONC. LID AND BACKFLOW PREVENTER(BF).
 - 14 PROPOSED PRIVATE SEWER MAIN - PRIVATE PLUMBING PERMIT REQUIRED.

ALL PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

EMRA REQUIRED FOR PRIVATE IMPROVEMENTS LOCATED WITHIN THE PUBLIC RIGHT OF WAY.

bHA Inc.
 Land Planning, Civil Engineering, Surveying
 5115 AVENIDA ENCINAS
 SUITE "L"
 CARLSBAD, CA. 92008-4387
 (760) 931-8700

PROJECT STATUS
 COASTAL DEVELOPMENT PERMIT

BAYSIDE LANE
 3856 BAYSIDE LANE
 SAN DIEGO, CA 92109

REVISIONS		
#	Description	Date

DATE
10/30/2020

SHEET TITLE
PRELIMINARY GRADING PLAN

SHEET NUMBER

C-01

NOT FOR CONSTRUCTION

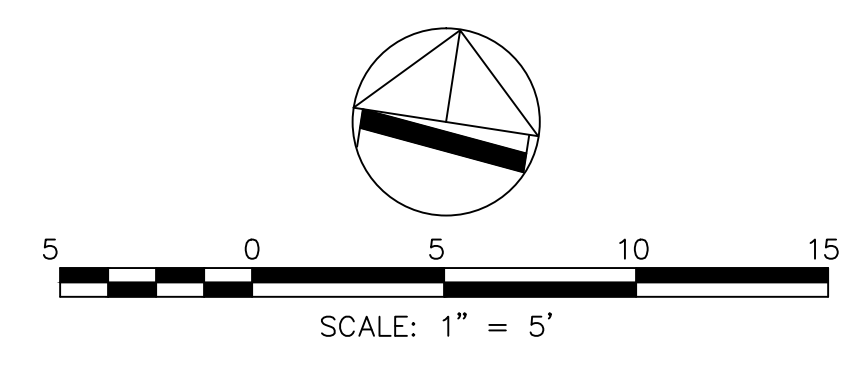
10/30/2020 4:21PM

ABBREVIATIONS:

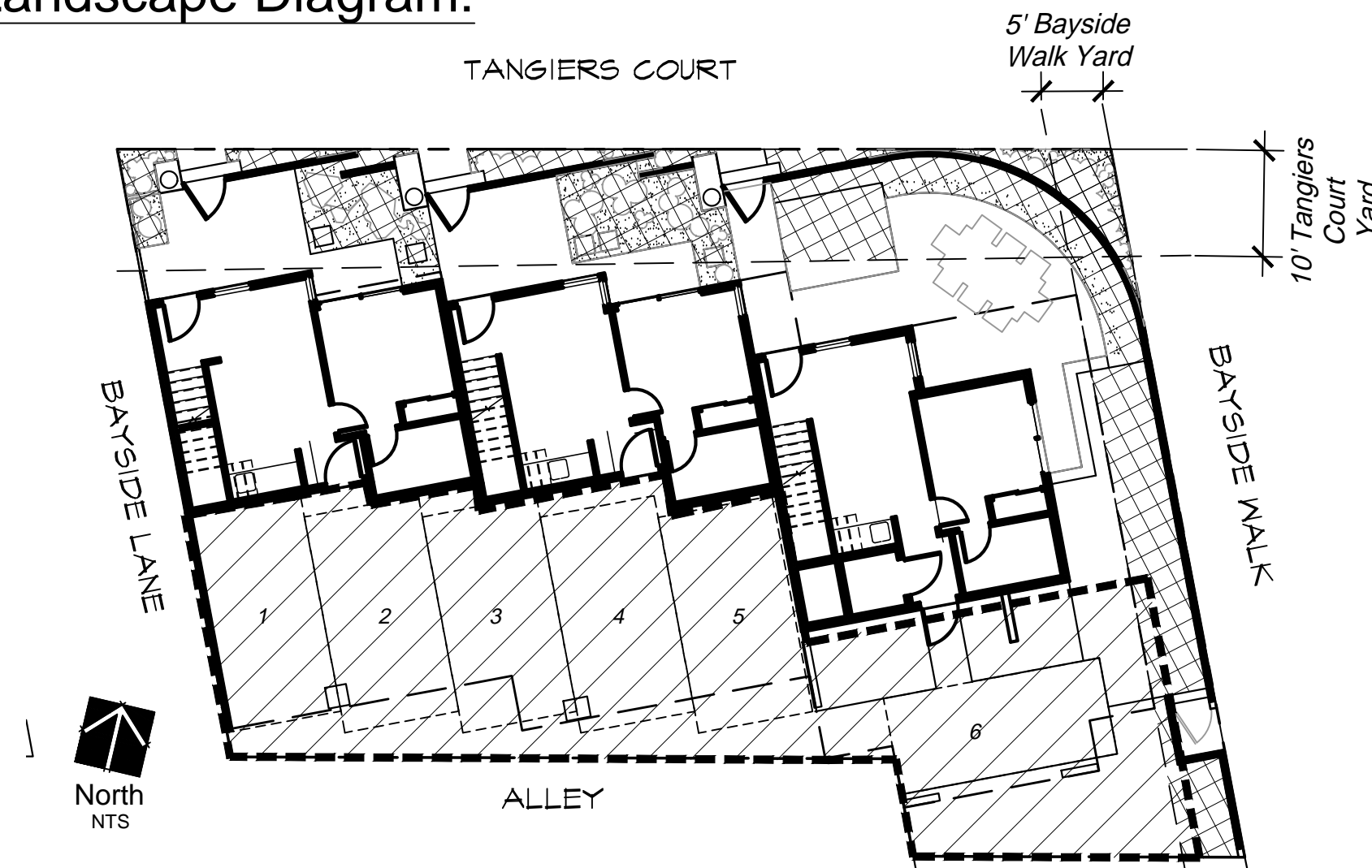
AB	AGGREGATE CONCRETE BASE	IE	INVERT ELEVATION
AC	ASPHALT CONCRETE	LT	LEFT
BC	BEGIN CURVE	MH	MANHOLE
BVC	BEGIN VERTICAL CURVE	MVC	MIDDLE VERTICAL CURVE
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
C	CONCRETE	P	PAVEMENT
C&G	CURB AND GUTTER	PCC	POINT OF COMPOUND CURVE
CL	CENTERLINE	PCR	POINT OF CURB RETURN
CO	CLEANOUT	PRC	POINT OF REVERSE CURVE
E	ELECTRIC	PVC	POLYVINYL CHLORIDE
EB	EASTBOUND	RCP	REINFORCED CONCRETE PIPE
EC	END CURVE	RT	RIGHT
ECR	END CURVE RETURN	RW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	S	SEWER
EVC	END VERTICAL CURVE	SG	SUB GRADE
FC	FACE OF CURB	SD	STORM DRAIN
FG	FINISHED GRADE	SW	SIDEWALK
FL	FLOWLINE	T	TELEPHONE
FS	FINISHED SURFACE	TB	TOP OF BERM/DIKE
G	GAS	TC	TOP OF CURB
GB	GRADE BREAK	TF	TOP OF FOOTING
HDPE	HIGH DENSITY POLYETHYLENE	TG	TOP OF GRATE
HP	HIGH POINT	TW	TOP OF WALL
		W	WATER

GRADING QUANTITIES

GRADED AREA	0.099 [ACRES]	MAX. CUT DEPTH: 5'- REMEDIAL GRADING
CUT QUANTITIES	800 [CYD]	5' REMOVAL & RECOMPACTION
FILL QUANTITIES	800 [CYD]	MAX CUT SLOPE RATIO (2:1MAX) - NO SLOPES
EXPORT	1,140 [CYD]	MAX. FILL DEPTH: 5' - REMEDIAL GRADING
		MAX FILL SLOPE RATIO (2:1MAX) - NO SLOPES



Landscape Diagram:



VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]

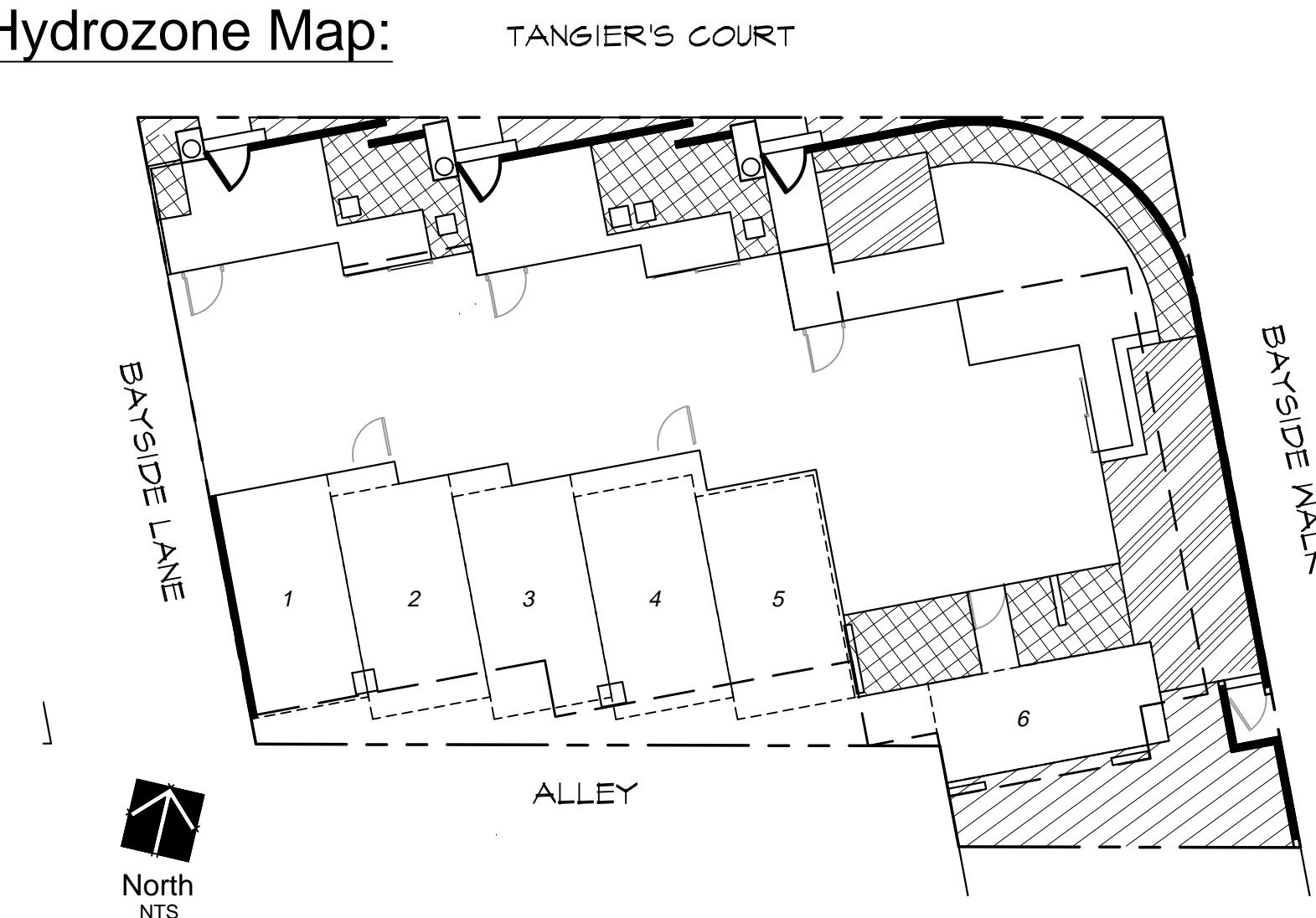
Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: 1,582 sq. ft. x 0.05 = 80 points	80 points	0 points
Points achieved through trees (at least half): 50 points		

Landscape Areas: (MIN. 50% LANDSCAPE REQ'D)

Tangiers Court Yard: 811 Total SF	406 SF Landscape Provided	50%
Bayside Walk Yard: 292 Total SF	233 SF Landscape Provided	80%

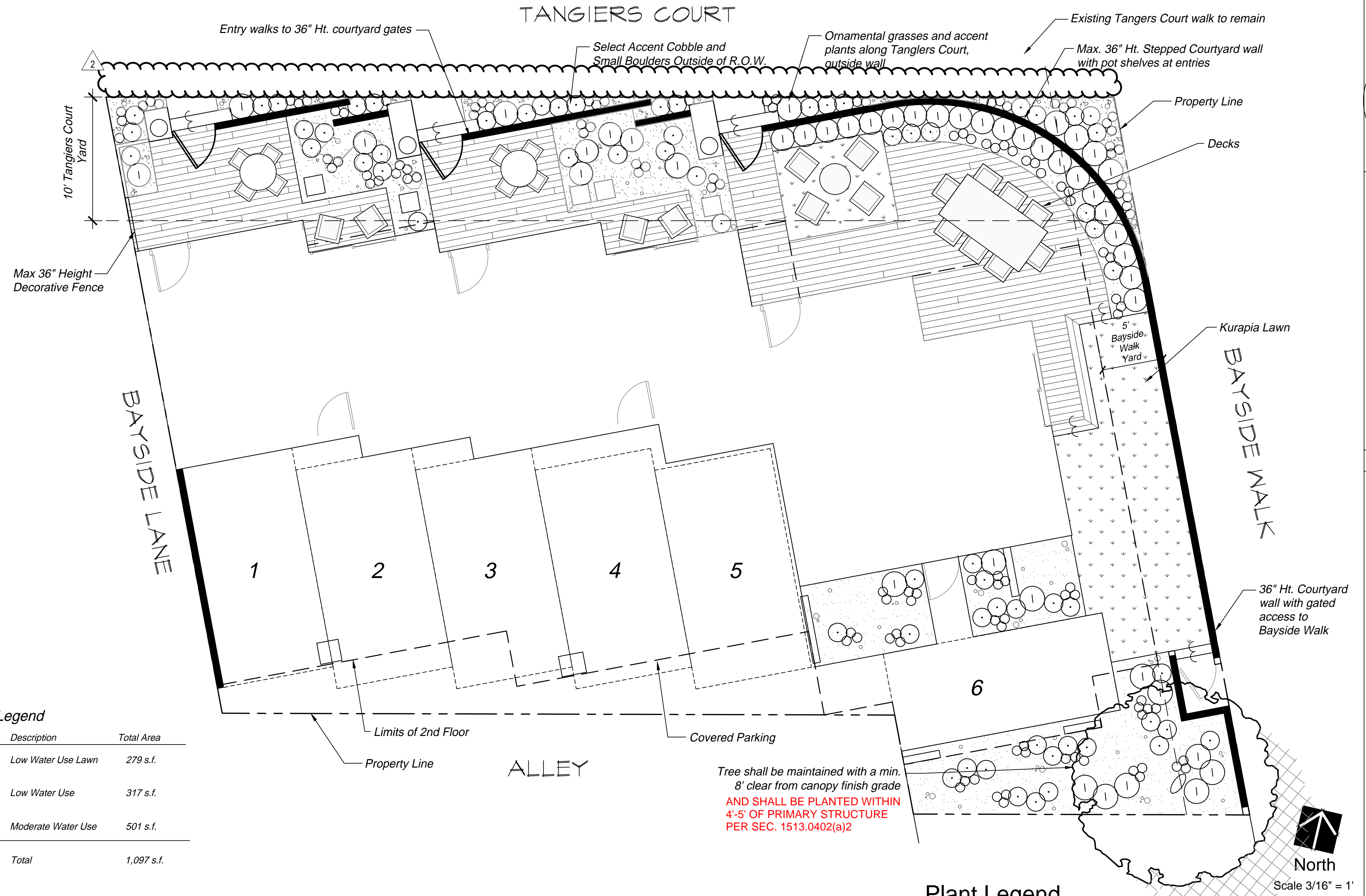
Hydrozone Map:



Hydrozone Legend

Symbol	Description	Total Area
[Diagonal lines]	Low Water Use Lawn	279 s.f.
[Horizontal lines]	Low Water Use	317 s.f.
[Cross-hatch]	Moderate Water Use	501 s.f.
	Total	1,097 s.f.

Landscape Concept Plan:



Plant Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS ZONE 3
[Tree symbol]	GEIGERA PARVIFLORA	AUSTRALIAN WILLOW	36" BOX	L
[Tree symbol]	LAURUS NOBILIS	SWEET BAY	36" BOX	L
[Shrub symbol]	AEONIUM SPP.	AEONIUM SPECIES	1 GAL.	L
[Shrub symbol]	CALAMAGROSTIS SPP.	REED GRASS	1 GAL.	M
[Shrub symbol]	CAREX SPP.	COASTAL SEDGE GRASS	1 GAL.	M
[Shrub symbol]	CARISSA 'GREEN CARPET'	NATAL PLUM	5 GAL.	L
[Shrub symbol]	CRASSULA SPP.	JADE SPECIES	1 GAL.	L
[Shrub symbol]	DIANELLA SPP.	BLUE FLAX LILY	1 GAL.	L
[Shrub symbol]	JUNCUS SPP.	COMMON RUSH	1 GAL.	L
[Shrub symbol]	LAURUS 'LITTLE RAGU'	LITTLE RAGU SWEET BAY	5 GAL.	L
[Shrub symbol]	LOMANDRA SPP.	DWARF MAT RUSH	1 GAL.	L
[Shrub symbol]	METROSIDEROS 'TAHITI'	DWARF POHUTUKAWA	5 GAL.	M
[Shrub symbol]	ROSA 'ICEBERG'	ROSE	5 GAL.	M
[Shrub symbol]	SENECIO SPP.	SENECIO SPECIES	1 GAL.	L
[Shrub symbol]	TECOMA 'O.J.'	ORANGE JUBILEE	5 GAL.	L
[Shrub symbol]	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL.	M
[Shrub symbol]	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL.	L
[Groundcover symbol]	DYMONDIA MARGARETAE	SILVER CARPET	FLATS- 1 GAL	L
[Groundcover symbol]	SEDUM SPP.	SEDUM		L
[Groundcover symbol]	ARMEIA MARITIMA	SEA THRIFT		M
[Groundcover symbol]	GISTUS 'LITTLE MISS SUNSHINE'	SUNSHINE ROCK ROSE		L
[Groundcover symbol]	LIPPIA NODIFLORA	KURAPIA	SOD	L

Standard Landscape Notes:

- All landscape and irrigation shall conform to the standards of the county-wide landscape regulations and the 'City of San Diego Land Development Manual Landscape Standards', and all other landscape related City and regional standards.
- The irrigation system will be designed to afford optimum coverage for the support of plant growth. The coverage will meet the water requirements for the selected plant material and within the given planting areas. The design will take into consideration the type of exposure the system will have. The irrigation system will be designed with respect to water conservation. The irrigation system shall be a fully automatic system utilizing all subsurface drip irrigation and as maintenance-free as possible. The materials for the system will be of an extremely durable nature, and will have been selected for wear resistance and long life. The overall system shall be designed for ease of maintenance.
- Maintenance: All landscape shown on this plan shall be maintained by the homeowner.
- All plant material shall be drought tolerant, WUCOLS low or moderate.
- All planting areas shall have a 3" layer of bark mulch.

Minimum Street Tree Separation Distance

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS AND STOP SIGNS	20'
UNDERGROUND UTILITY LINES	5'
SEWER LINES	10'
ABOVEGROUND UTILITY STRUCTURES	10'
DRIVEWAY ENTRIES	10'
INTERSECTIONS	25'

Mission Beach Planned District

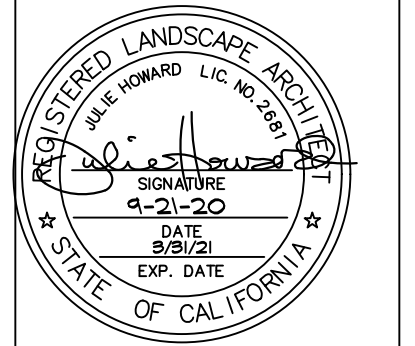
Landscape Area:
Landscape Coverage of Yard Area: 51%
Landscape Coverage of Total Lot: 20%

Landscape Concept Statement:

Creating beautiful, useable outdoor space which complements the architecture is a priority for the homeowners. The landscape is designed to maximize outdoor use, while still creating intimate, functional spaces. Entry courtyards with low walls, surrounded by succulents, grasses and flowering shrubs, help to give privacy and provide an attractive amenity for the neighborhood. The plant material chosen is salt tolerant and low maintenance.

City of San Diego Water Efficient Landscape Worksheet

Evapotranspiration Rate										
ET ₀	[in]									
Yearly	47.00									
Maximum Applied Water Budget										
LA (Total Landscape Area) =	1,097									
SLA (Special Landscape Area) =										
Maximum Applied Gallons / Year = Eto(0.62) [(0.7)(LA) + (0.3)(SLA)]										
Maximum Applied Gallons / Year =	22,377									
Design Case Table										
A	B	C	F	G	E	H	D	I	J	K
Cont-roller #	Hydrozone #	Valve Circuit #	Hydrozone Area (HA) [SF]	% of Total Landscaped Area [SF]	Plant Factor (PF) [(WUCOLS)]	HA x PF	Irrigation Method	IE	PFxHA/IE	ETWU (Eto)(PFxHA/IE) [gal]
	Drip- Kurapia Lawn Low Water Use		279	25.4%	Low 0.3	84	Drip	0.80	105	3,049
	Drip- Low water use		317	28.9%	Low 0.3	95	Drip	0.80	119	3,464
	Drip- Moderate water use		501	45.7%	mod 0.5	251	Drip	0.80	313	9,124
	Total:		1,097	100.0%	Low 0.3	329	Drip	0.80	411	11,987
							Total Estimated Water Use (ETWU):			11,987



HOWARD ASSOCIATES
Landscape Architecture
san diego, ca 92101 619 718 9880

PROJECT STATUS

BAYSIDE LANE
3856 BAYSIDE LANE
SAN DIEGO, CA 92109

REVISIONS

DATE
10/25/2019

SHEET TITLE
LANDSCAPE CONCEPT PLAN

SHEET NUMBER

L-1

NOT FOR CONSTRUCTION



TANGIERS COURT

FAMILY ROOM

BEDROOM

FAMILY ROOM

BEDROOM

FAMILY ROOM

BEDROOM

PARKING STALL 1

PARKING STALL 2

PARKING STALL 3

PARKING STALL 4

PARKING STALL 5

PARKING STALL 6

BATHROOM

BATHROOM

BATHROOM

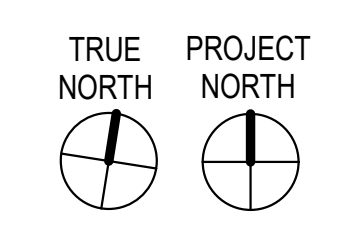
MECH.

ELEVATOR

BIKE AND BOARD CORRAL

OUTDOOR SHOWER

CLO.



NOT FOR CONSTRUCTION

PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

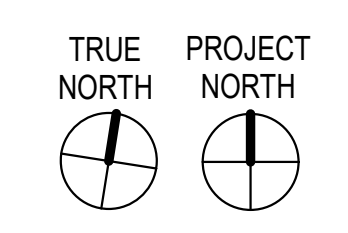
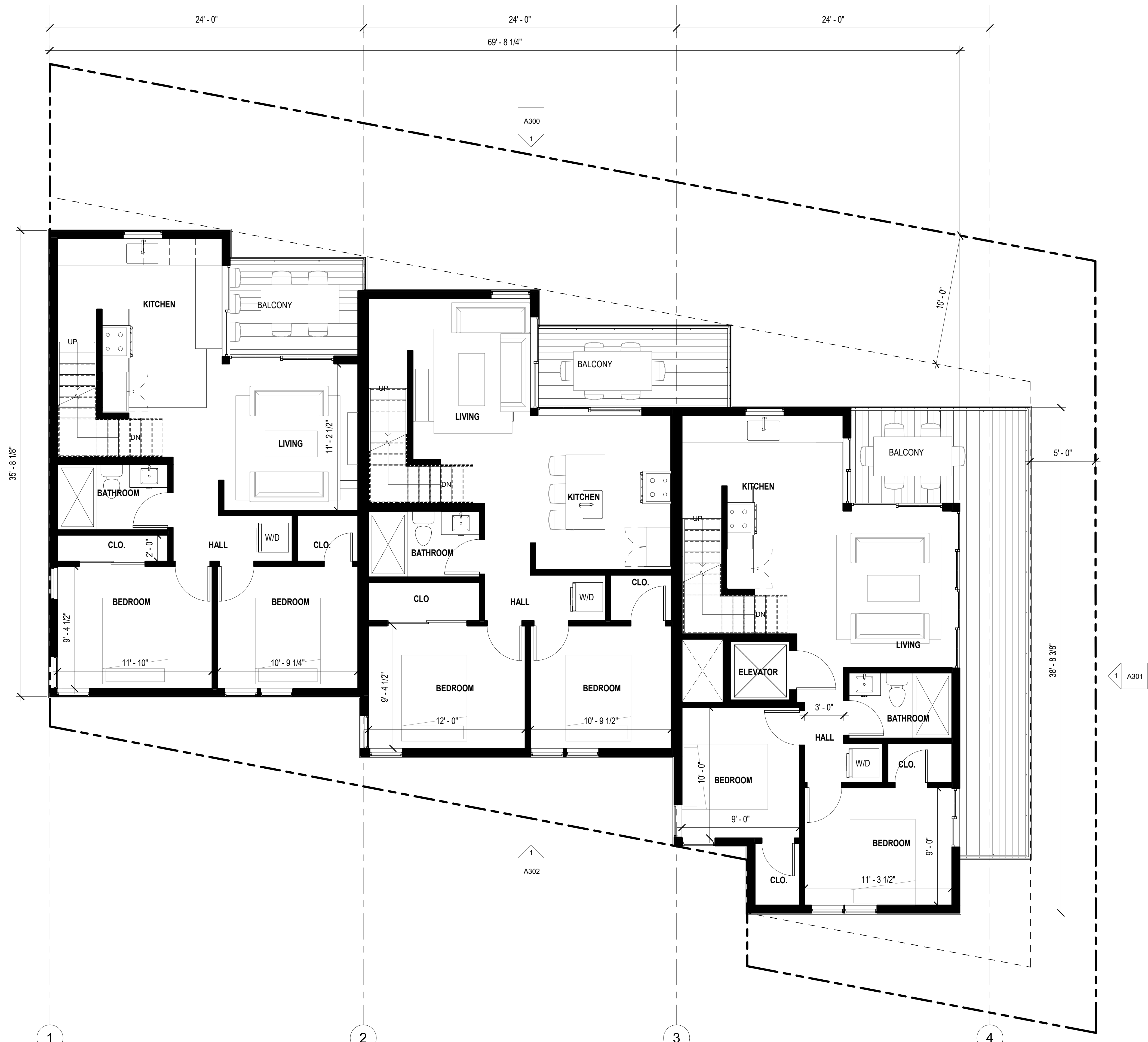
#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

SHEET TITLE
LEVEL 1 PLAN

SHEET NUMBER
A110

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NOT FOR CONSTRUCTION

PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

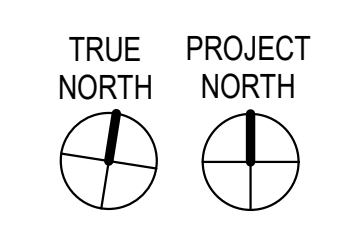
BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

SHEET TITLE
LEVEL 2 PLAN

SHEET NUMBER
A111



NOT FOR CONSTRUCTION

PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS		
#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

SHEET TITLE
LEVEL 3 PLAN

SHEET NUMBER
A112

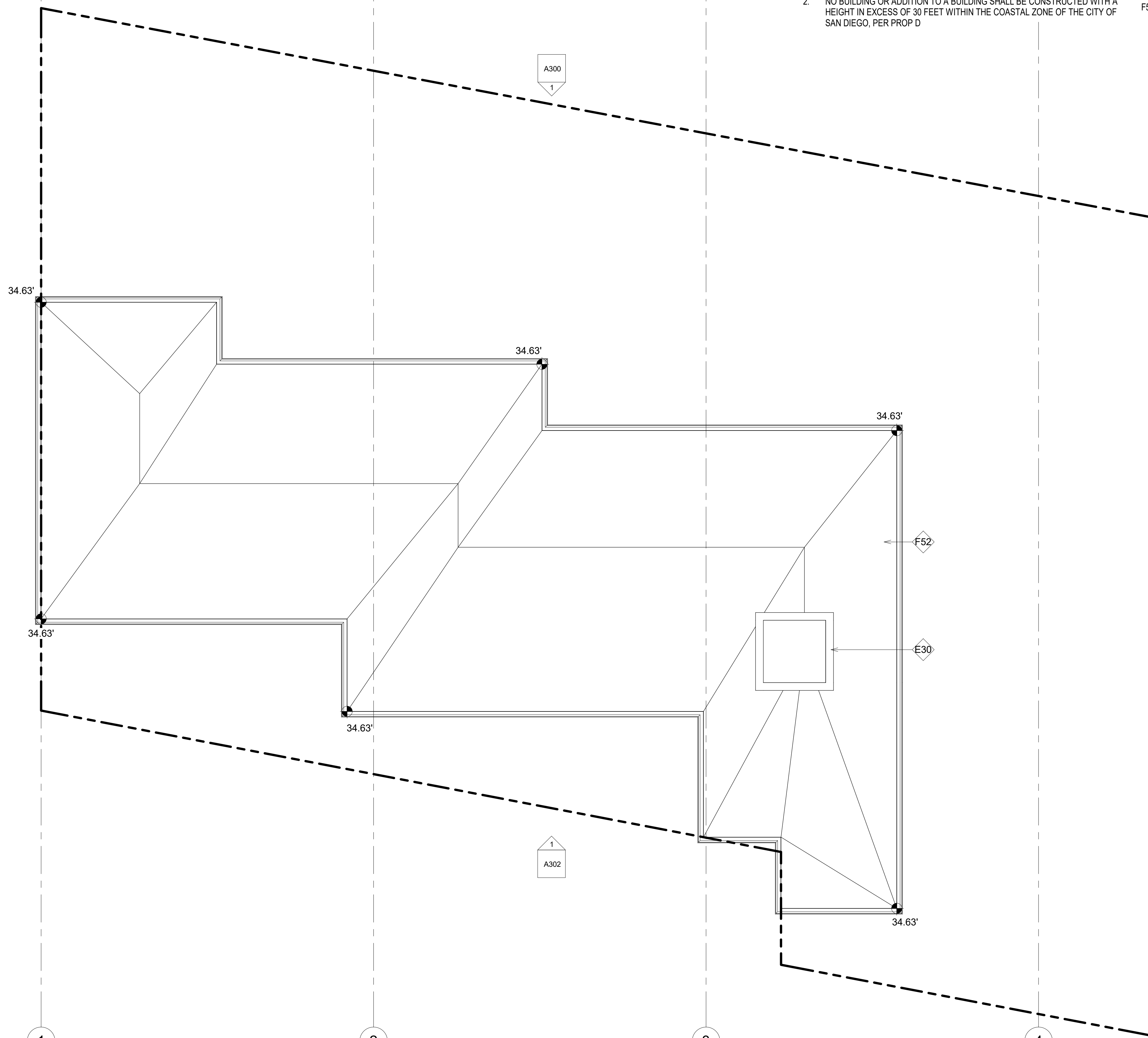
8/6/2020 5:05:39 PM

ROOF PLAN NOTES:

- ELEVATION MARKERS SHOWN ARE HEIGHT ABOVE SEA LEVEL, SEE ELEVATIONS FOR ZONING HEIGHT LIMIT.
- NO BUILDING OR ADDITION TO A BUILDING SHALL BE CONSTRUCTED WITH A HEIGHT IN EXCESS OF 30 FEET WITHIN THE COASTAL ZONE OF THE CITY OF SAN DIEGO, PER PROP D

KEY NOTES & EQUIPMENT LEGEND

- ◆#> SYMBOL INDICATES KEY NOTE, # INDICATES NOTE NUMBER BELOW
- E30 ELEVATOR OVERRUN
 F52 CLASS A ROOF ASSEMBLY



PROJECT STATUS
 COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
 3856 BAYSIDE WALK
 SAN DIEGO, CA 92109

REVISIONS

#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

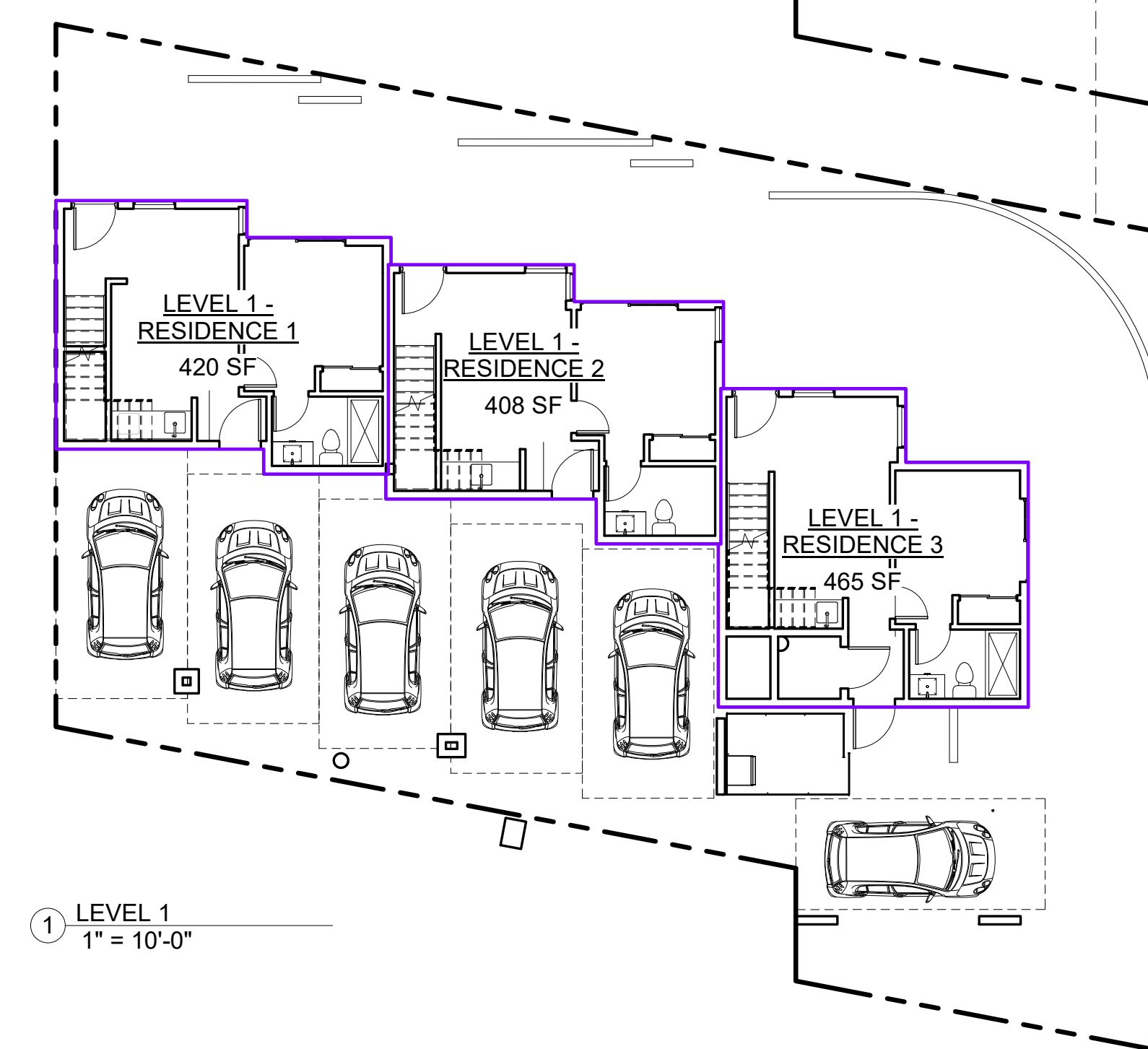
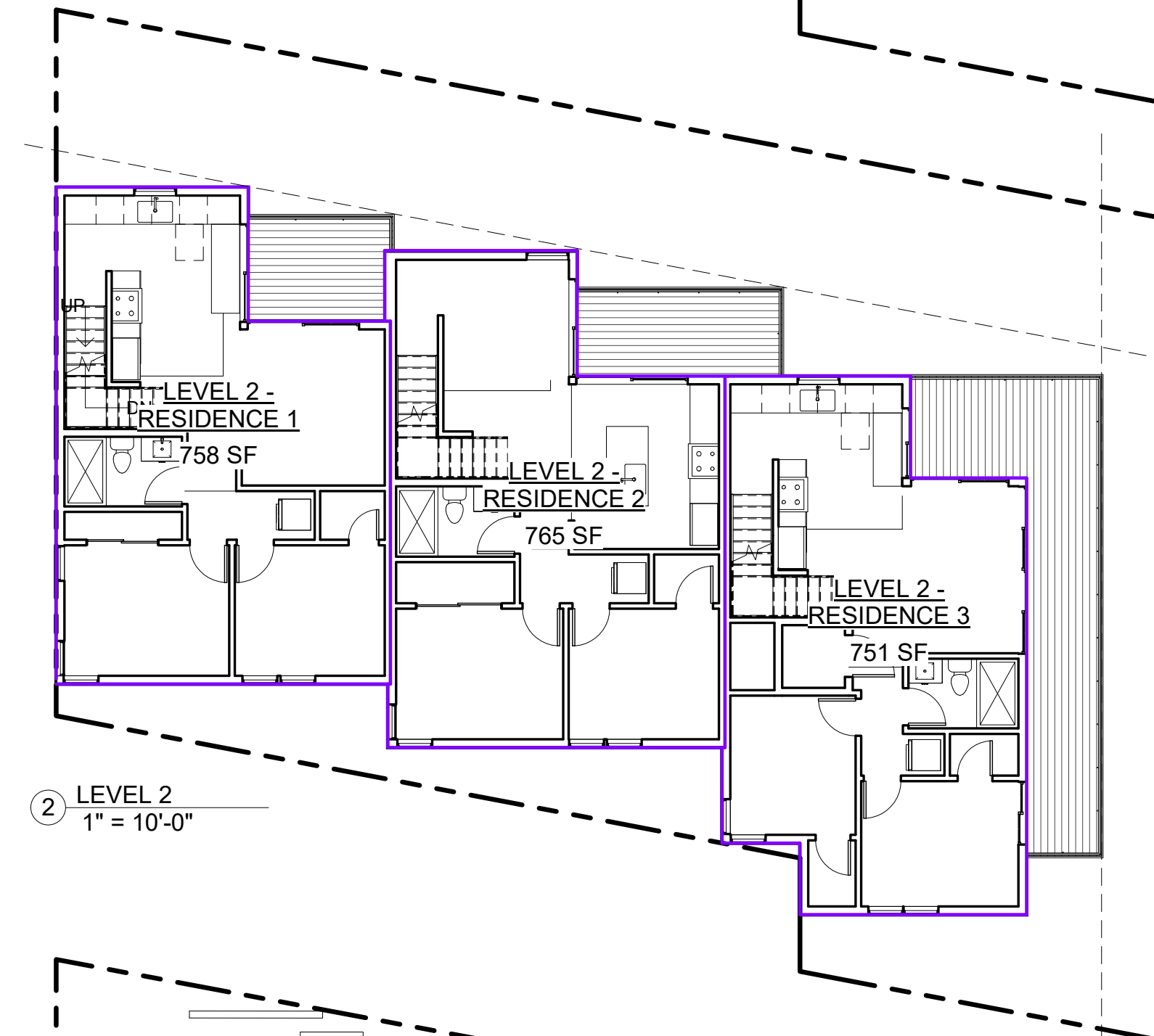
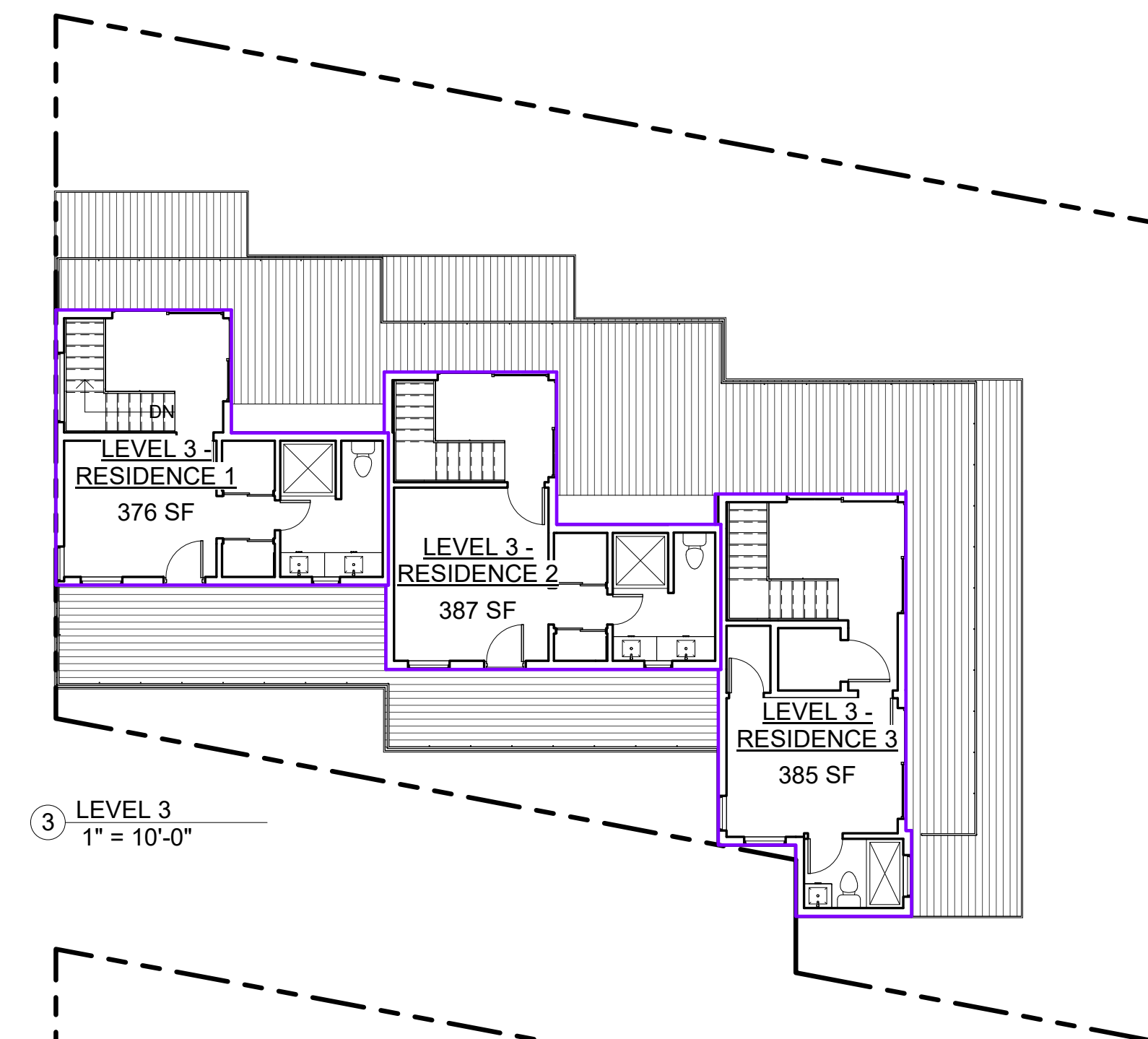
DATE
 8/6/2020

SHEET TITLE
ROOF PLAN

SHEET NUMBER
A113

NOT FOR CONSTRUCTION

Area Schedule (Gross Building)	
Name	Area
LEVEL 1 - RESIDENCE 1	420 SF
LEVEL 1 - RESIDENCE 2	408 SF
LEVEL 1 - RESIDENCE 3	465 SF
LEVEL 2 - RESIDENCE 1	758 SF
LEVEL 2 - RESIDENCE 2	765 SF
LEVEL 2 - RESIDENCE 3	751 SF
LEVEL 3 - RESIDENCE 1	376 SF
LEVEL 3 - RESIDENCE 2	387 SF
LEVEL 3 - RESIDENCE 3	385 SF
4717 SF	



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS		
#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

SHEET TITLE
BUILDING AREAS

SHEET NUMBER
A115

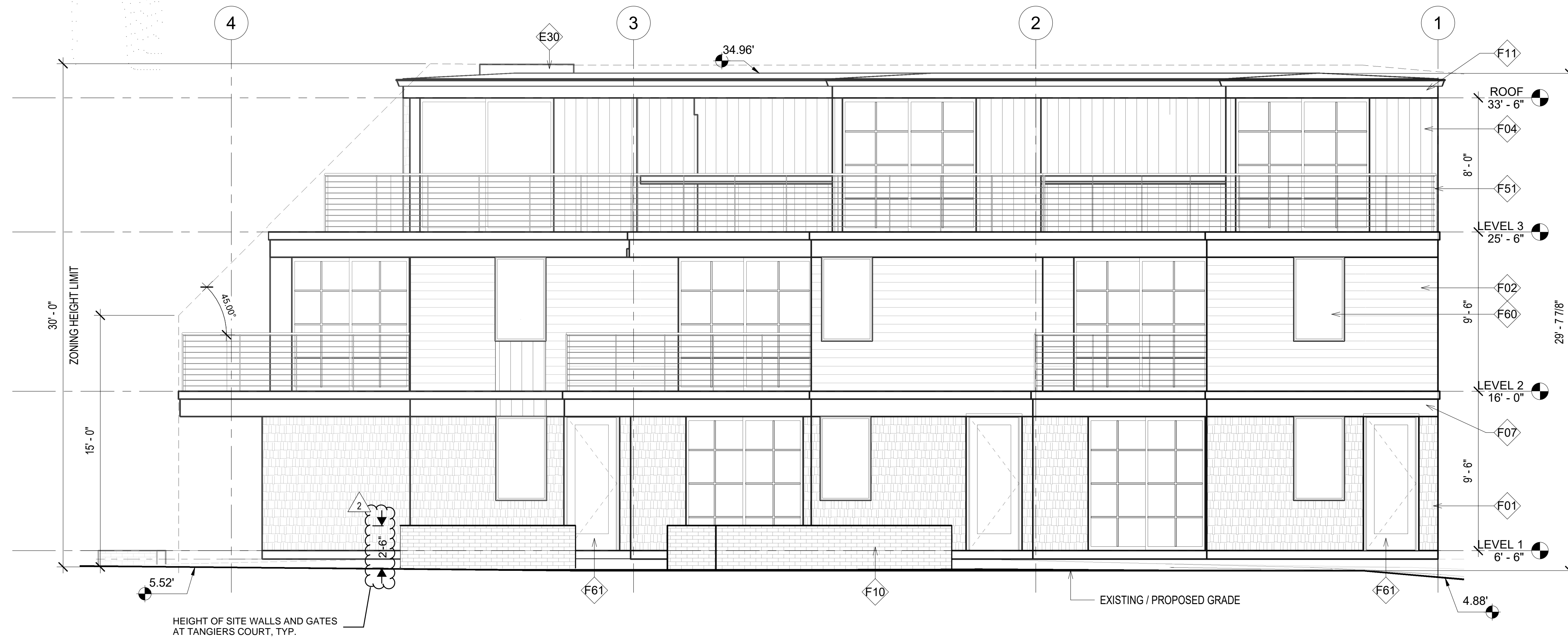
NOT FOR CONSTRUCTION

ELEVATION NOTES:

- ELEVATION MARKERS SHOWN ARE HEIGHT ABOVE SEA LEVEL.
- NO BUILDING OR ADDITION TO A BUILDING SHALL BE CONSTRUCTED WITH A HEIGHT IN EXCESS OF 30 FEET WITHIN THE COASTAL ZONE OF THE CITY OF SAN DIEGO, PER PROP D

KEY NOTES & EQUIPMENT LEGEND

- ## SYMBOL INDICATES KEY NOTE, # INDICATES NOTE NUMBER BELOW
- E30 ELEVATOR OVERRUN
 - F01 SHAKE & SHINGLE COMPOSITE SIDING, COLOR: WHITE
 - F02 6" HORIZONTAL LAP SIDING, COLOR: WHITE
 - F04 VERTICAL BOARD & BATTEN COMPOSITE SIDING, COLOR: GREY/BLUE
 - F07 FLAT TRIM BOARD, COLOR: WHITE
 - F10 BRICK VENEER SITE WALL, COLOR: WHITE
 - F11 PRE-FINISHED SHEET METAL FASCIA
 - F51 STAINLESS STEEL CABLE GUARDRAIL
 - F60 ALUMINUM FRAMED WINDOW SYSTEM, DARK BRONZE FRAME
 - F61 CUSTOM WOOD ENTRY DOOR



① NORTH ELEVATION
1/4" = 1'-0"

PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A300

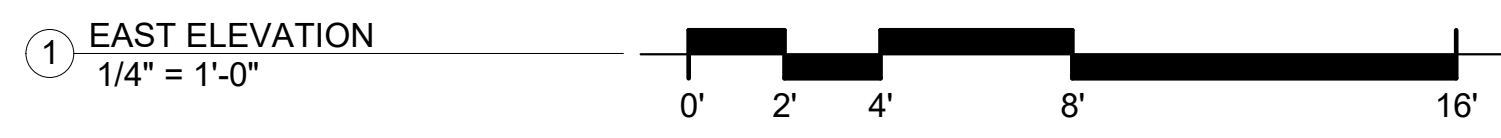
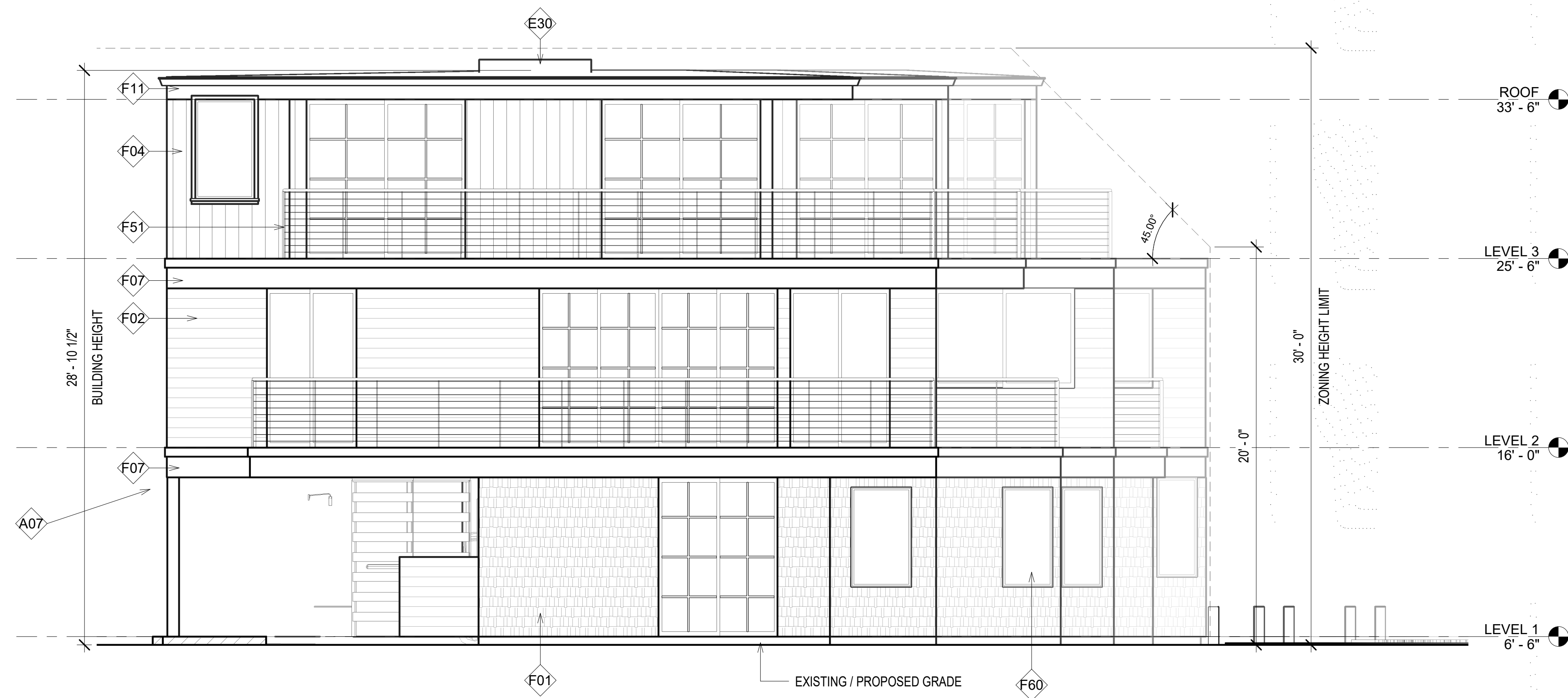
NOT FOR CONSTRUCTION

ELEVATION NOTES:

- ELEVATION MARKERS SHOWN ARE HEIGHT ABOVE SEA LEVEL.
- NO BUILDING OR ADDITION TO A BUILDING SHALL BE CONSTRUCTED WITH A HEIGHT IN EXCESS OF 30 FEET WITHIN THE COASTAL ZONE OF THE CITY OF SAN DIEGO, PER PROP D

KEY NOTES & EQUIPMENT LEGEND

- ## SYMBOL INDICATES KEY NOTE, # INDICATES NOTE NUMBER BELOW
- A07 FREE STANDING TRELLIS
 - E30 ELEVATOR OVERRUN
 - F01 SHAKE & SHINGLE COMPOSITE SIDING, COLOR: WHITE
 - F02 6" HORIZONTAL LAP SIDING, COLOR: WHITE
 - F04 VERTICAL BOARD & BATTEN COMPOSITE SIDING, COLOR: GREY/BLUE
 - F07 FLAT TRIM BOARD, COLOR: WHITE
 - F11 PRE-FINISHED SHEET METAL FASCIA
 - F51 STAINLESS STEEL CABLE GUARDRAIL
 - F60 ALUMINUM FRAMED WINDOW SYSTEM, DARK BRONZE FRAME



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS

#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A301

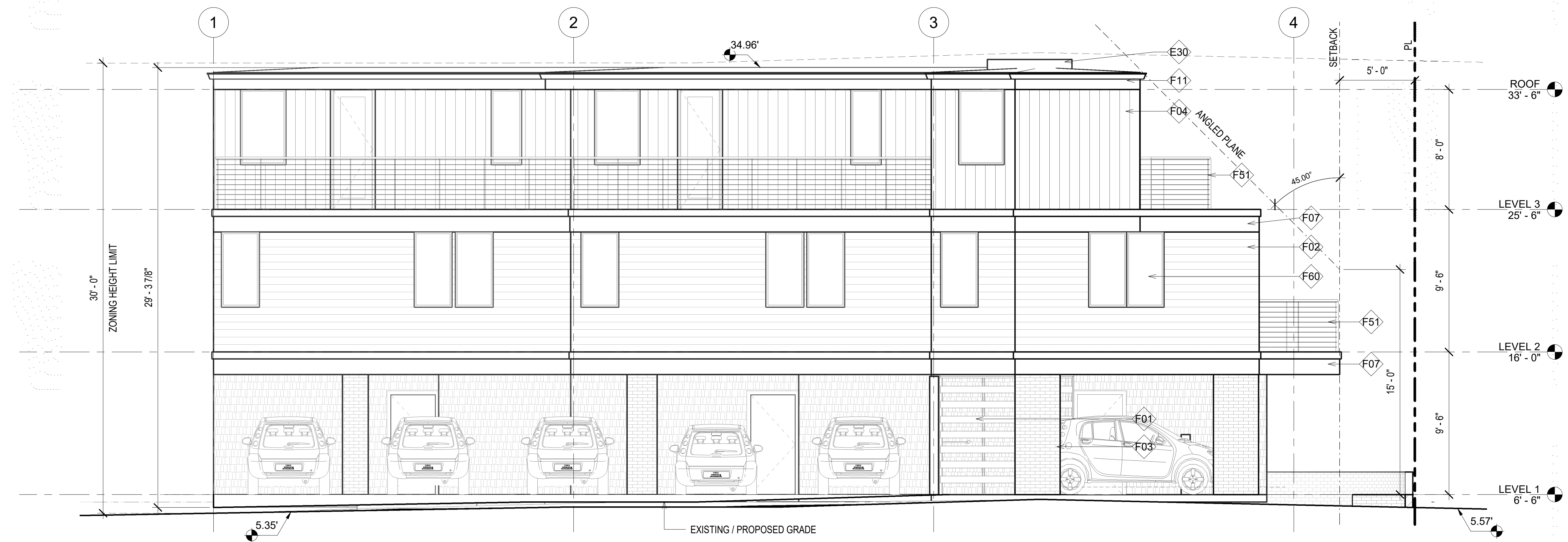
NOT FOR CONSTRUCTION

ELEVATION NOTES:

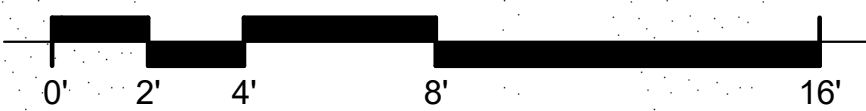
- ELEVATION MARKERS SHOWN ARE HEIGHT ABOVE SEA LEVEL.
- NO BUILDING OR ADDITION TO A BUILDING SHALL BE CONSTRUCTED WITH A HEIGHT IN EXCESS OF 30 FEET WITHIN THE COASTAL ZONE OF THE CITY OF SAN DIEGO, PER PROP D

KEY NOTES & EQUIPMENT LEGEND

- ## SYMBOL INDICATES KEY NOTE, # INDICATES NOTE NUMBER BELOW
- E30 ELEVATOR OVERRUN
 - F01 SHAKE & SHINGLE COMPOSITE SIDING, COLOR: WHITE
 - F02 6" HORIZONTAL LAP SIDING, COLOR: WHITE
 - F03 BRICK VENEER, COLOR: WHITE
 - F04 VERTICAL BOARD & BATTEN COMPOSITE SIDING, COLOR: GREY/BLUE
 - F07 FLAT TRIM BOARD, COLOR: WHITE
 - F11 PRE-FINISHED SHEET METAL FASCIA
 - F51 STAINLESS STEEL CABLE GUARDRAIL
 - F60 ALUMINUM FRAMED WINDOW SYSTEM, DARK BRONZE FRAME



① SOUTH ELEVATION
1/4" = 1'-0"



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

#	Description	Date
1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A302

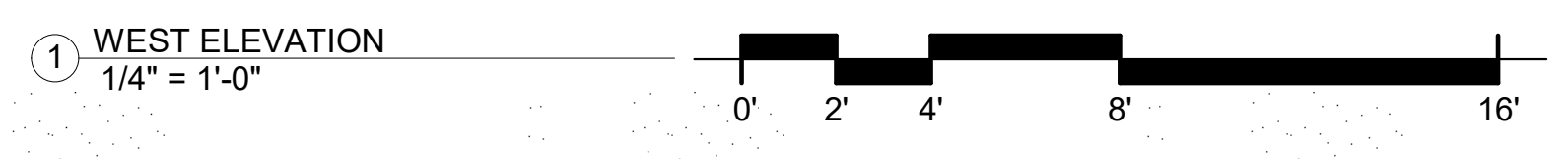
NOT FOR CONSTRUCTION

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KEY NOTES & EQUIPMENT LEGEND

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 - F51 STAINLESS STEEL CABLE GUARDRAIL



PROJECT STATUS
COASTAL DEVELOPMENT PERMIT

BAYSIDE WALK
3856 BAYSIDE WALK
SAN DIEGO, CA 92109

REVISIONS

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1	COASTAL BACK CHECK	7/6/2020

DATE
8/6/2020

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SHEET NUMBER
A303

NOT FOR CONSTRUCTION