



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 14, 2021 REPORT NO. HO-21-022

HEARING DATE: April 28, 2021

SUBJECT: Bakery Sorrento Cannabis Outlet CUP/CDP, Process Three Decision

PROJECT NUMBER: [665588](#)

OWNER/APPLICANT: Gary Rogers, Owner and Bakery Sorrento Inc., Applicant

SUMMARY

Issue(s): Should the Hearing Officer approve a Conditional Use Permit (CUP) and Coastal Development Permit (CDP) to allow the operation of a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building located at 11330 Sorrento Valley Road within the Torrey Pines Community Plan area?

Staff Recommendation: Approve CUP No. 2437097 and CDP No. 2527091.

Community Planning Group Recommendation: On April 15, 2021, the Torrey Pines Community Planning Board voted 9-0-0 to recommend denial of the proposed project due to the Board's opinion that the project does not comply with the Industrial Element of the Torrey Pines Community Plan's policies and concerns with the proposed development plans (Attachment 9).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15301, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 26, 2021, and the opportunity to appeal that determination ended March 12, 2021 (Attachment 6).

BACKGROUND

On March 25, 2014, the City of San Diego adopted Ordinance No O-20356 to implement regulations for Medical Marijuana Consumer Cooperatives (MMCCs), which allowed the sale of medicinal marijuana with the approval of a Conditional Use Permit (CUP). On February 22, 2017, Ordinance No. O-20793 was approved, which included amendments to the Land Development Code and the Local Coastal Program, replacing the MMCC use with a new retail sales use, Marijuana Outlet. On January 8, 2020, the San Diego Municipal Code (SDMC) was amended by Council Ordinance [O-21163](#). The

revision replaced the word “marijuana” with “cannabis”, to reflect consistency with the State of California cannabis regulations. Therefore, Marijuana Outlet was renamed to Cannabis Outlet.

A Cannabis Outlet may be allowed with the approval of a Process Three CUP in specific land use zones of the City; these types of facilities are limited to no more than four per Council District, and 36 City-wide. A Cannabis Outlet is allowed to sell both medicinal and retail cannabis/cannabis products and is subject to State licensing requirements as defined in California Business and Professions Code section 26001. A total of four CUPs for Cannabis Outlets were approved in Council District 1. However, one of the approved CUPs (CUP No. 2038237) was recently cancelled on April 8, 2021 (Attachment 8). Therefore, there are currently three Cannabis Outlets located in Council District 1 and there is capacity for one additional Cannabis Outlet to be approved.

DISCUSSION

Project Description:

This project is a request for a CUP pursuant to SDMC Section 126.0303 to allow the operation of a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building located at 11330 Sorrento Valley Road (Attachment 1). This project also requires a Coastal Development Permit (CDP) pursuant to SDMC Section 126.0704(a)(3) due to the intensification of use resulting from the proposed change in use from office to retail. The 1.4-acre project site is in the IL-3-1 (Industrial Light) Zone, Airport Influence Area (MCAS – Miramar Review Area 1), Airport Safety (MCAS Miramar – Accident Potential Zone 2), Coastal (Non-Appealable Area 1) Overlay Zone, First Public Roadway, Coastal Height Limitation, Fire Brush Management (100-foot Setback), Fire Brush Zone (300 Feet Buffer), Very High Fire Hazard Severity Zone, Special Flood Hazard Area (0.2 PCT Annual Chance Flood Hazard – 500 Year, and Zone AE – 100 Year), Prime Industrial Lands, and Transit Priority Area within the Torrey Pines Community Plan area. The site is identified as Prime Industrial Lands in the Economic Prosperity Element of the General Plan and is designated for Industrial by the Torrey Pines Community Plan (TPCP). The site is currently improved with a one-story commercial structure constructed in 1969 and occupied by offices and machine shops. The existing use of the proposed tenant space is currently an office.

The proposed Cannabis Outlet is required to have 27 parking spaces and the project site currently has 53 existing parking spaces. Pursuant to SDMC 142.0510(d)(2), when a change in use is proposed to a use that requires the same or fewer off-street parking spaces than the previous use, no change in parking spaces is required. The parking requirement for the existing offices within the commercial building and the proposed Cannabis Outlet is the same, therefore, this project will maintain all existing onsite parking spaces. A Vehicle Miles Traveled (VMT) Screening Analysis was prepared to evaluate whether there would be any significant impacts to transportation/circulation in the area due to the project. The VMT Screening Analysis dated March 3, 2021 concluded that the project would be presumed to have a less than significant VMT impact as a locally serving retail use, and no additional VMT analysis is required.

Operation of the Cannabis Outlet will include the retail sale of cannabis/cannabis products. The proposed tenant improvements will comply with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards in effect at the time the building permit is issued, and will be reviewed for conformance during the construction

permit application phase prior to issuance of a change of use/certificate of occupancy. Required landscape improvements as shown on the proposed plans must also comply with landscape regulations and will be included in the building permit scope of work.

General Plan and Community Plan Consistency:

The Torrey Pines Community Plan (TPCP) designates the project site as Industrial. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zones. The proposed Cannabis Outlet is allowed in the IL-3-1 zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. All of the surrounding parcels are in the IL-3-1 Zone and the existing uses are consistent with the Industrial designation of the Community Plan. Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. The market analysis included in the VMT Screening Analysis demonstrated that the proposed Cannabis Outlet would satisfy the locally serving retail criteria per the City of San Diego Transportation Study Manual based on three main elements: 1) the proposed Gross Floor Area is less than 100,000 square feet, 2) market capture area is approximately three miles or less, and 3) the proposed project is estimated to serve a population of less than 25,000 people. Thus, the proposed Cannabis Outlet is a compatible use at this location with a CUP and is consistent with the TPCP land use polices.

Separation Requirements:

The SDMC allows the operation of Cannabis Outlets in specific land use zones of the City and provides regulations for Cannabis Outlets. One of the criteria of the SDMC is the minimum separation requirements between an Outlet and other specified uses. SDMC Section 141.0504 (a) requires a 1,000-foot separation from resource and population-based city parks, other marijuana outlets, churches, childcare centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools. In addition, there is a minimum distance requirement of 100 feet from all residentially zoned properties. City staff has reviewed the 100/1,000-foot radius map and the 100/1,000-foot radius map spreadsheet submitted by the applicant identifying all the existing uses, and determined that the proposed Cannabis Outlet complies with the minimum separation requirements between uses. A sensitive use map exhibit (Attachment 7) was provided by the applicant to summarize this analysis.

Operational and Security Requirements:

The proposed Outlet is subject to specific operational and security requirements and restrictions as set forth in SDMC Section 141.0504(b) through (m), which have also been incorporated as conditions in the CUP including prohibition of consultation by medical professionals on-site; prohibition of the use of specified vending machines except by a responsible person (as defined by the SDMC); provision of interior and exterior lighting, operable cameras, alarms, security guard; restriction of hours of operation to between 7:00 am and 9:00 pm daily; maintenance of area and adjacent public

sidewalks free of litter and graffiti, and removal of graffiti within 24 hours; restriction of signage to business name, two-color signs, and alphabetic characters; and signage advertising cannabis may not be visible from the public right-of-way. Outlets must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

Conclusion:

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The proposed project complies with all development regulations of the IL-3-1 Zone and no deviations are required to approve the project. Staff has provided draft findings (Attachment 4) to support the proposed development and draft conditions of approval (Attachment 5). Staff is recommending the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve CUP No. 2437097 and CDP No. 2527091, with modifications.
2. Deny CUP No. 2437097 and CDP No. 2527091, if the findings required to approve the project cannot be affirmed.

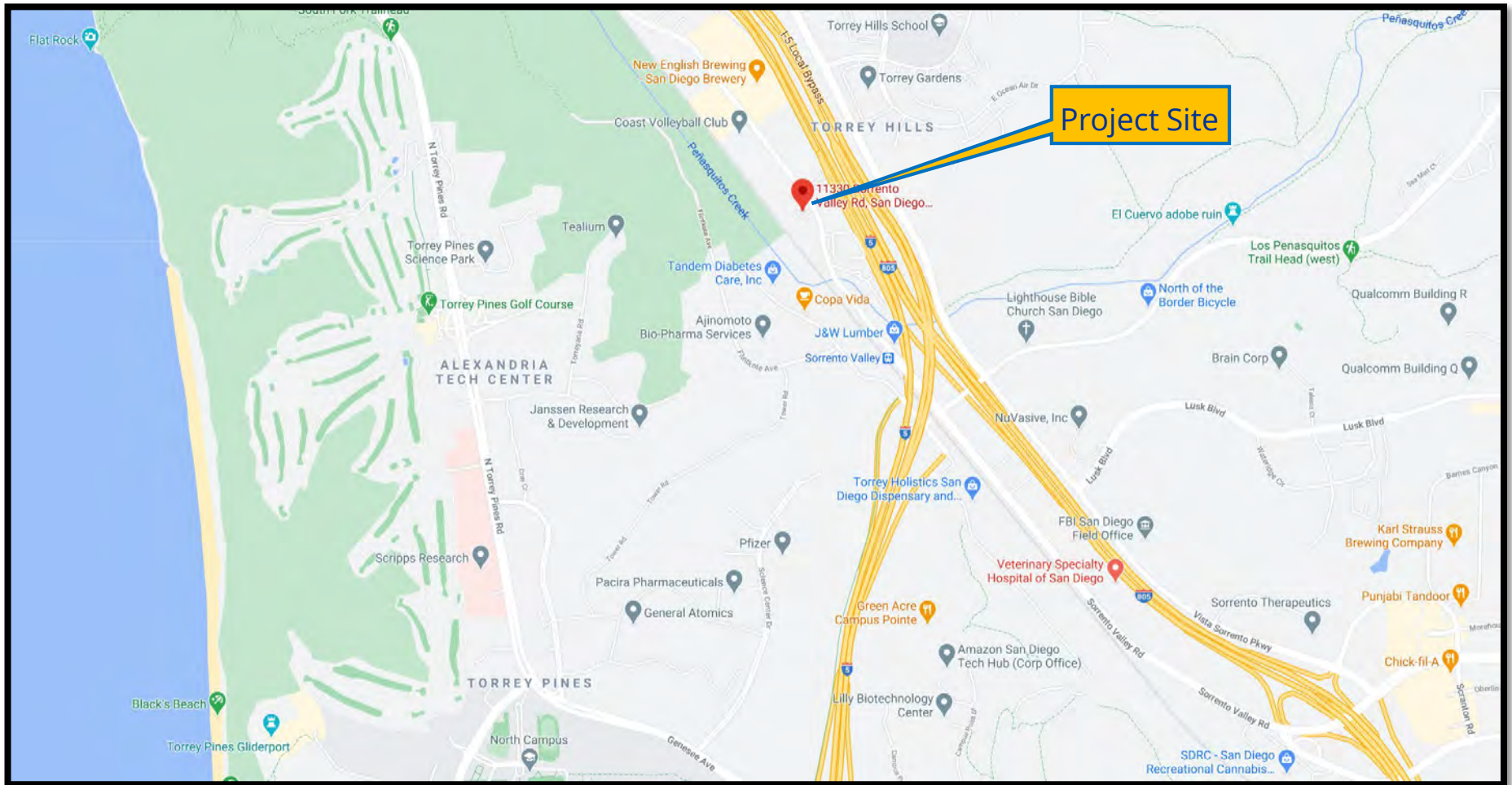
Respectfully submitted,



Sammi Ma, Development Project Manager

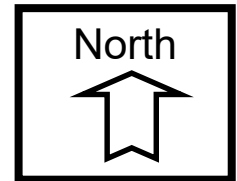
Attachments:

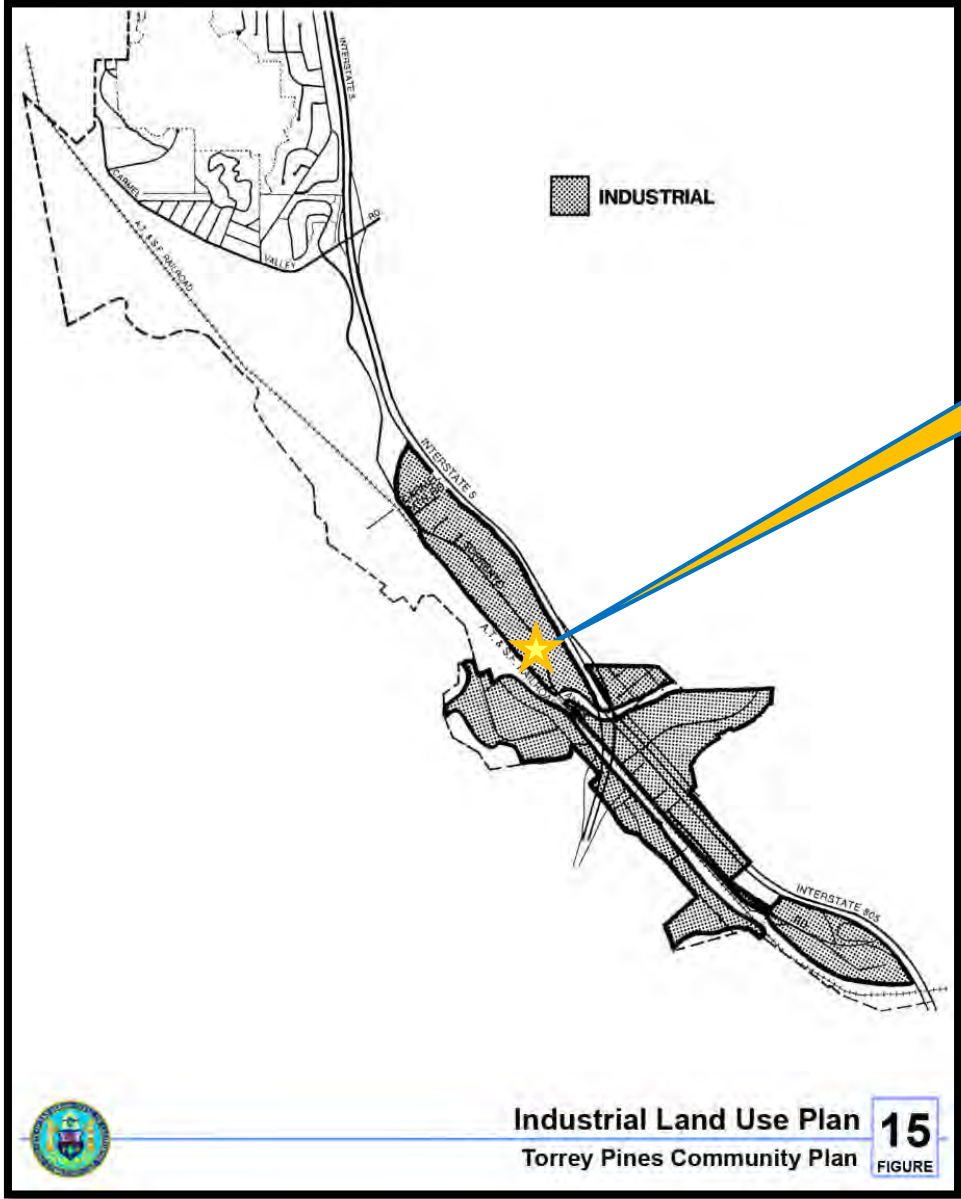
1. Project Location Map
2. Community Plan Land Use
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Sensitive Use Map Exhibit
8. Cancellation of CUP No. 2038237
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans



Project Location Map

Bakery Sorrento Cannabis Outlet CUP / 11330 Sorrento Valley Road
PROJECT NO. 665588





Project Site



Community Plan Land Use Map

Bakery Sorrento Cannabis Outlet CUP / 11330 Sorrento Valley Road
 PROJECT NO. 665588



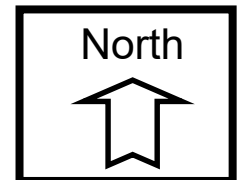
Project Site



Aerial Photo

Bakery Sorrento Cannabis Outlet CUP / 11330 Sorrento Valley Road

PROJECT NO. 665588



HEARING OFFICER
RESOLUTION NO. XXXX
CONDITIONAL USE PERMIT NO. 2437097
COASTAL DEVELOPMENT PERMIT NO. 2527091
BAKERY SORRENTO CANNABIS OUTLET - PROJECT NO. 665588

WHEREAS, GARY ROGERS, Owner and BAKERY SORRENTO INC., a California corporation, Permittee, filed an application with the City of San Diego for a Conditional Use Permit and Coastal Development Permit to allow the operation of a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2437097 and No. 2527091), on portions of a 1.4-acre site;

WHEREAS, the project site is located at 11330 Sorrento Valley Road in the IL-3-1 (Industrial Light) Zone, Airport Influence Area (MCAS – Miramar Review Area 1), Airport Safety (MCAS Miramar – Accident Potential Zone 2), Coastal (Non-Appealable Area 1) Overlay Zone, First Public Roadway, Coastal Height Limitation, Fire Brush Management (100-foot Setback), Fire Brush Zone (300 Feet Buffer), Very High Fire Hazard Severity Zone, Special Flood Hazard Area (0.2 PCT Annual Chance Flood Hazard – 500 Year, and Zone AE – 100 Year), Prime Industrial Lands, and Transit Priority Area within the Torrey Pines Community Plan area;

WHEREAS, the project site is legally described as those portions of Lot "C" of acre Lot 15 and of Sorrento Valley Road, lying between the Southeasterly line of said Lot "C" and the Northeasterly line of the right of way of the Atchison, Topeka and Santa Fe Railway as shown on the Map of Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 488, filed in the Office of the County Recorder of said San Diego County, dated February 9, 1988;

WHEREAS, on February 26, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301, Existing Facilities; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on April 28, 2021, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2437097 and Coastal Development Permit No. 2527091 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2437097 and Coastal Development Permit No. 2527091:

A. CONDITIONAL USE PERMIT FINDINGS [SDMC Section 126.0305]

1. The proposed development will not adversely affect the applicable land use plan.

This project is a request for a Conditional Use Permit (CUP) and Coastal Development Permit (CDP) to allow the operation of a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building located at 11330 Sorrento Valley Road. The 1.4-acre project site is in the IL-3-1 (Industrial Light) Zone, Airport Influence Area (MCAS – Miramar Review Area 1), Airport Safety (MCAS Miramar – Accident Potential Zone 2), Coastal (Non-Appealable Area 1) Overlay Zone, First Public Roadway, Coastal Height Limitation, Fire Brush Management (100-foot Setback), Fire Brush Zone (300 Feet Buffer), Very High Fire Hazard Severity Zone, Special Flood Hazard Area (0.2 PCT Annual Chance Flood Hazard – 500 Year, and Zone AE – 100 Year), Prime Industrial Lands, and Transit Priority Area within the Torrey Pines Community Plan area.

The Torrey Pines Community Plan (TPCP) designates the site as Industrial. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zones. The proposed Cannabis Outlet is allowed in the IL-3-1 zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley

industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. A General Plan goal for identifying PIL is to protect valuable employment land for base sector industries important to the region's economy. An Outlet is not considered a base sector employment. The General Plan allows development or redevelopment of individual properties pursuant to the development regulations and permitted uses of the existing zone and community plan designation provided a site is not critical to base sector employment. The project site is not critical to achieving the City's base sector employment goal. General Plan policies also specifically restrict sensitive receptor land uses such as residential and public assembly in PIL. A Cannabis Outlet is not a sensitive receptor land use.

Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediately Sorrento Valley industrial area. Per the market analysis included in the VMT Screening Analysis, the proposed Cannabis Outlet would satisfy the locally serving retail criteria per the City of San Diego Transportation Study Manual, based on the proximity of competitors limiting the market capture area of this project to less than three miles. Therefore, the proposed Cannabis Outlet is a compatible use at this location with a CUP, it is consistent with the TPCP land use policies and will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes to operate a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building, located at 11330 Sorrento Valley Road. The project proposes interior improvements to an existing tenant space, including a check in area, cannabis retail sales floor, non-cannabis merchandise sales area, offices, restrooms and storage areas. Construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through plan review and building inspections completed by the City's building inspectors.

The proposed development will not be detrimental to the public's health, safety and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large. The operation of the Cannabis Outlet in the IL-3-1 Zone, is allowed with a CUP at this location, and consistent with the goals and policies of the Torrey Pines Community Plan.

Cannabis Outlets are restricted to four per Council District, 36 city-wide, within commercial and industrial zones in order to minimize the impact on the City and residential neighborhoods. Cannabis Outlets require compliance with SDMC Section 141.0504, which requires a 1,000-foot separation, measured in accordance with SDMC sections 141.0504 and 113.0225, from resource and population-based city parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of

learning providing instruction in kindergarten grades 1 to 12. There is also a minimum distance requirement of 100 feet from a residential zone.

The proposed Cannabis Outlet is subject to specific operational and security requirements and restrictions as set forth in SDMC Section 141.0504(b) through (m), which have also been incorporated as conditions in the CUP including prohibition of consultation by medical professionals on-site; prohibition of the use of specified vending machines except by a responsible person (as defined by the SDMC); provision of interior and exterior lighting, operable cameras, alarms, security guard; restriction of hours of operation to between 7:00 am and 9:00 pm daily; maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours; restriction of signage to business name, two-color signs, and alphabetic characters; and signage advertising cannabis may not be visible from the public right-of-way. Outlets must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation. The CUP is valid for five years, however, may be revoked if the use violates the terms, conditions, lawful requirements, or provision of the permit.

Construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through plan review and building inspections completed by the City's building inspectors. Furthermore, this project has been reviewed pursuant to the California Environmental Quality Act, and the environmental analysis did not find any significant impacts to the public health and safety. Based on the above analysis, the proposed development would not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes to operate a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building, located at 11330 Sorrento Valley Road. The project proposes interior improvements to an existing tenant space, including a check in area, cannabis retail sales floor, non-cannabis merchandise sales area, offices, restrooms and storage areas. Building improvements of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through plan review and building inspections completed by the City's building inspectors.

Cannabis Outlets are restricted to four per Council District, 36 city-wide, within commercial and industrial zones in order to minimize the impact on the City and residential neighborhoods. Cannabis Outlets require compliance with SDMC Section 141.0504, which requires a 1,000-foot separation, measured in accordance with SDMC sections 141.0504 and 113.0225, from resource and population-based city parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten grades 1 to 12. There is also a minimum distance requirement of 100 feet from a residential zone.

The permits for the project include various conditions and corresponding exhibits of approval relevant to achieving compliance with the SDMC relative to parking, signage, lighting, security measures, hours of operation, and site maintenance. No variance or deviations are requested as part of this application. Therefore, the proposed development will comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The project is a request for a CUP and CDP to allow the operation of a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building located at 11330 Sorrento Valley Road. The 1.4-acre project site is in the IL-3-1 (Industrial Light) Zone, Airport Influence Area (MCAS – Miramar Review Area 1), Airport Safety (MCAS Miramar – Accident Potential Zone 2), Coastal (Non-Appealable Area 1) Overlay Zone, First Public Roadway, Coastal Height Limitation, Fire Brush Management (100-foot Setback), Fire Brush Zone (300 Feet Buffer), Very High Fire Hazard Severity Zone, Special Flood Hazard Area (0.2 PCT Annual Chance Flood Hazard – 500 Year, and Zone AE – 100 Year), Prime Industrial Lands, and Transit Priority Area within the Torrey Pines Community Plan area.

The site is currently improved with a one-story commercial structure constructed in 1969 and occupied by offices and machine shops. The existing use of the proposed tenant space is currently an office. The SDMC limits Cannabis Outlets to commercial and industrial zones limited to no more than four per Council District, 36 city-wide, in order to minimize the impact on the City and residential neighborhoods. A total of four CUPs for Cannabis Outlets were approved in Council District 1. However, one of the approved CUPs (CUP No. 2038237) was recently cancelled on April 8, 2021. Therefore, there are currently three Cannabis Outlets located in Council District 1 and there is capacity for one additional Cannabis Outlet to be approved. Cannabis Outlet is allowed in the IL-3-1 Zone with a CUP and subject to separation requirements set forth in SDMC Section 141.0504(a) including a 1,000-foot separation, measured in accordance with SDMC sections 141.0504 and 113.0225, from specified uses. There is also a minimum distance requirement of 100 feet from a residential zone.

The TPCP designates the site as Industrial. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zones. The proposed Cannabis Outlet is allowed in the IL-3-1 zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. All of the surrounding parcels are in the IL-3-1 Zone and the existing uses are consistent with the Industrial designation of the Community Plan. Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Based on the market analysis included in the VMT Screening Analysis, the proposed Cannabis Outlet would satisfy the locally serving retail criteria per the City of San Diego Transportation Study Manual, based on the proximity of competitors limiting the market capture area of this

project to less than three miles. Thus, the proposed Cannabis Outlet is a compatible use at this location with a CUP and is consistent with the TPCP land use polices.

The proposed Cannabis Outlet, classified as retail sales use category, is consistent with the underlying IL-3-1 Zone and community plan land use designation and objectives of encouraging a range of commercial goods and services, and with a CUP, is a compatible use with the surrounding development. Therefore, based on the above analysis, the proposed use is appropriate at the proposed location.

B. COASTAL DEVELOPMENT PERMIT FINDINGS [SDMC Section 126.0708]

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project is a request for a CUP and CDP to allow the operation of a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building located at 11330 Sorrento Valley Road. The 1.4-acre project site is in the IL-3-1 (Industrial Light) Zone, Airport Influence Area (MCAS – Miramar Review Area 1), Airport Safety (MCAS Miramar – Accident Potential Zone 2), Coastal (Non-Appealable Area 1) Overlay Zone, First Public Roadway, Coastal Height Limitation, Fire Brush Management (100-foot Setback), Fire Brush Zone (300 Feet Buffer), Very High Fire Hazard Severity Zone, Special Flood Hazard Area (0.2 PCT Annual Chance Flood Hazard – 500 Year, and Zone AE – 100 Year), Prime Industrial Lands, and Transit Priority Area within the Torrey Pines Community Plan area.

The project site is located approximately 1.5 miles from the Pacific Ocean, and it is within the First Public Roadway (1st-PBL-RDWY) pursuant to Ordinance No. O-17071 NS. The proposed development is limited to interior modifications that does not increase the footprint of the existing building and will not encroach upon any existing or proposed physical access to the coast. The site does not contain a public view as identified within the TPCP and Local Coastal Land Use Plan. Therefore, the project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the TPCP and Local Coastal Land Use Plan.

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project proposes to operate a 5,412-square-foot Cannabis Outlet within an existing 6,676-square-foot commercial building, located at 11330 Sorrento Valley Road. The project site is mostly designated for Flood Zone X, and the property near the entrance contains a portion of Environmentally Sensitive Lands (ESL) in the forms of Flood Zone 0.2 PCT Annual Chance Flood Hazard – 500 year and Special Flood Hazard Area Zone AE – 100 year. However, this project is exempt from the permit requirement of the ESL regulations pursuant to SDMC 143.0110(b)(4) and (c)(1) because no encroachment into the ESL is proposed, and the development is limited to interior modifications that does not increase

the footprint of the existing building, will not encroach into any ESL during or after construction. The project proposes a CUP to operate a Cannabis Outlet in one of the existing tenant spaces of an existing building. Therefore, the proposed development will not adversely affect ESL.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed Cannabis Outlet is located at 11330 Sorrento Valley Road in the IL-3-1 Zone within the TPCP area. The project site is located approximately 1.5 miles from the Pacific Ocean, and it is within the First Public Roadway (1st-PBL-RDWY) pursuant to Ordinance No. O-17071 NS. The proposed development is limited to interior modifications that does not increase the footprint of the existing building and will not encroach upon any existing or proposed physical access to the coast. The site does not contain a public view as identified within the Torrey Pines Community Plan and Local Coastal Land Use Plan. The project is proposed within an existing developed site and will not encroach upon any existing or proposed physical access to the coast. The site does not contain a public view as identified within the Torrey Pines Community Plan and Local Coastal Land Use Plan.

The TPCP designates the site as Industrial. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zones. The proposed Cannabis Outlet is allowed in the IL-3-1 zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. All of the surrounding parcels are in the IL-3-1 Zone and the existing uses are consistent with the Industrial designation of the Community Plan. Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Based on the market analysis included in the VMT Screening Analysis, the proposed Cannabis Outlet would satisfy the locally serving retail criteria per the City of San Diego Transportation Study Manual, based on the proximity of competitors limiting the market capture area of this project to less than three miles. Thus, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The proposed 5,412-square-foot Cannabis Outlet is within an existing 6,676-square-foot commercial building located at 11330 Sorrento Valley Road. The project site is located

approximately 1.5 miles from the Pacific Ocean, and it is within the First Public Roadway (1st-PBL-RDWW) pursuant to Ordinance No. O-17071 NS. The proposed development is limited to interior modifications that does not increase the footprint of the existing building and will not encroach upon any existing or proposed physical access to the coast. The public access to the water, public recreation facilities, or public parking would not be adversely affected by the approval of this coastal development because the development is located on an existing developed private property. Therefore, this coastal development is in compliance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the HEARING OFFICER, Conditional Use Permit No. 2437097 and Coastal Development Permit No. 2527091 is hereby GRANTED by the HEARING OFFICER to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2437097 and 2527091, a copy of which is attached hereto and made a part hereof.

Sammi Ma
Development Project Manager
Development Services

Adopted on: April 28, 2021

IO#: 24008641

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008641

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2437097
COASTAL DEVELOPMENT PERMIT NO. 2527091
BAKERY SORRENTO CANNABIS OUTLET - PROJECT NO. 665588
HEARING OFFICER

This Conditional Use Permit No. 2437097 and Coastal Development Permit No. 2527091 ("Permit") is granted by the Hearing Officer of the City of San Diego to Gary Rogers, Owner and Bakery Sorrento Inc., a California corporation, Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0305. The 1.4-acre site is located at 11330 Sorrento Valley Road in the IL-3-1 Zone, Airport Influence Area (MCAS - Miramar Review Area 1), Airport Safety (MCAS Miramar - Accident Potential Zone 2), Coastal (Non-Appealable Area 1) Overlay Zone, First Public Roadway, Coastal Height Limitation, Fire Brush Management (100-foot Setback), Fire Brush Zone (300 Feet Buffer), Very High Fire Hazard Severity Zone, Special Flood Hazard Area (0.2 PCT Annual Chance Flood Hazard - 500 Year, and Zone AE - 100 Year), Prime Industrial Lands, and Transit Priority Area within the Torrey Pines Community Plan area. The project site is legally described as: Those portions of Lot "C" of acre Lot 15 and of Sorrento Valley Road, lying between the Southeasterly line of said Lot "C" and the Northeasterly line of the right of way of the Atchison, Topeka and Santa Fe Railway as shown on the Map of Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 488, filed in the Office of the County Recorder of said San Diego County, dated February 9, 1988.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate a Cannabis Outlet, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 28, 2021, on file in the Development Services Department.

The project shall include:

- a. Operation of a Cannabis Outlet in a 5,412-square-foot tenant space within an existing 6,676-square-foot building located at 11330 Sorrento Valley Road;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 12, 2024.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on May 12, 2026.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA) for the landscape and irrigations located within the City's Right-Of-Way, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

14. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents for right-of-way improvements, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label and dimension a 40-square-foot area around each tree that is unencumbered by hardscape and utilities, unless otherwise approved per SDMC Section 142.0403(b) 6. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

15. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the Public Right-Of-Way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

16. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

17. Lighting shall be provided to illuminate the interior, facade, and the immediate surrounding area of the cannabis outlet, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented to deflect light away from adjacent properties.

18. Security shall be provided at the cannabis outlet which shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.

19. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and system capable of minimizing excessive or offensive odors emanating outside of the permitted cannabis outlet to the satisfaction of the Development Services Department.

20. Signage: Primary signs shall be posted on the outside of the cannabis outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors. Secondary signs advertising cannabis, window signs and any display visible from the public right-of-way, are not permitted. No marketing or advertising for cannabis or cannabis products shall be displayed visible from the public right-of-way. All cannabis licensees, and any person acting on behalf of a licensee, must comply with the State of California statutes and regulations governing commercial cannabis advertising and/or promoting.

21. The name and emergency contact phone number of the designated responsible managing operator shall be posted in a location visible from outside the cannabis outlet in character size at least two inches in height.

22. The cannabis outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.

23. The use of vending machines which allow access to cannabis and cannabis products except by a responsible person, as defined in San Diego Municipal Code Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to cannabis and cannabis products without a human intermediary.

24. An annual operating permit shall be obtained as required pursuant to San Diego Municipal Code Chapter 4, Article 2, Division 15.

25. Deliveries shall be permitted as an accessory use only from cannabis outlets with a valid Conditional Use Permit unless otherwise allowed pursuant to state law.

26. The cannabis outlet, adjacent public sidewalks, and areas under the control of the cannabis outlet, shall be maintained free of litter and graffiti at all times.

27. The cannabis outlet shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.

28. Consultations by medical professionals shall not be a permitted accessory use at a cannabis outlet.

TRANSPORTATION REQUIREMENTS:

29. All on-site parking stalls shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this

discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- Cannabis businesses that operate or provide services within the City of San Diego are liable for a monthly gross receipts tax. As referenced in San Diego Municipal Code Section [34.0103 \(b\)](#), taxable activities include but are not limited to, transporting, manufacturing, cultivating, packaging, or retail sales of cannabis and any ancillary products in the City. For additional information, contact the Office of the City Treasurer at (619) 615-1580.

APPROVED by the Hearing Officer of the City of San Diego on April 28, 2021 and Resolution Number XXXX.

DRAFT

ATTACHMENT 5

Permit Type/PTS Approval No.: Conditional Use Permit No. 2437097
Coastal Development Permit No. 2527091
Date of Approval: April 28, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Sammi Ma
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Gary Rogers
Owner

By _____
NAME
TITLE

Bakery Sorrento Inc.
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

ATTACHMENT 6

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

From: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name/Number: Digital - Bakery Sorrento CO/665588

SCH No.: N/A

Project Location-Specific: 11330 Sorrento Valley Road, San Diego, CA 92121

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Conditional Use Permit for a new Cannabis Outlet within an existing 6,676 square foot building located at 11330 Sorrento Valley Road. The 1.4-acre site is in the IL-3-1 zone, Coastal (NAPP2), Sensitive Coastal, Coastal Height Limit, Airport Land Use Compatibility Overlay Zones, AIA MCAS Rev Area 1, Airport Safety MCAS Zone 2 within the Torrey Pines Community Plan Area.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Gary Rogers 1642 Via La Plaza San Marcos, CA 92078 (714) 272-9213

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268)
 Declared Emergency (Sec. 21080(b)(3); 15269(a))
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: 15301
 Statutory Exemptions:
 Other:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to 15301 (Existing Facilities) Section 15301(a) allows for the Conditional Use Permit for a new Cannabis Outlet within an existing 6,676 square foot building located at 11330 Sorrento Valley Road. Since the proposed project consists of tenant improvements within an existing facility, the exemption is appropriate. The exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment were identified; the project is not adjacent to a scenic highway; and the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: Sara Osborn

Telephone: (619)446-5381

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

ATTACHMENT 6

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title

Senior Planner

3/16/2021

Date

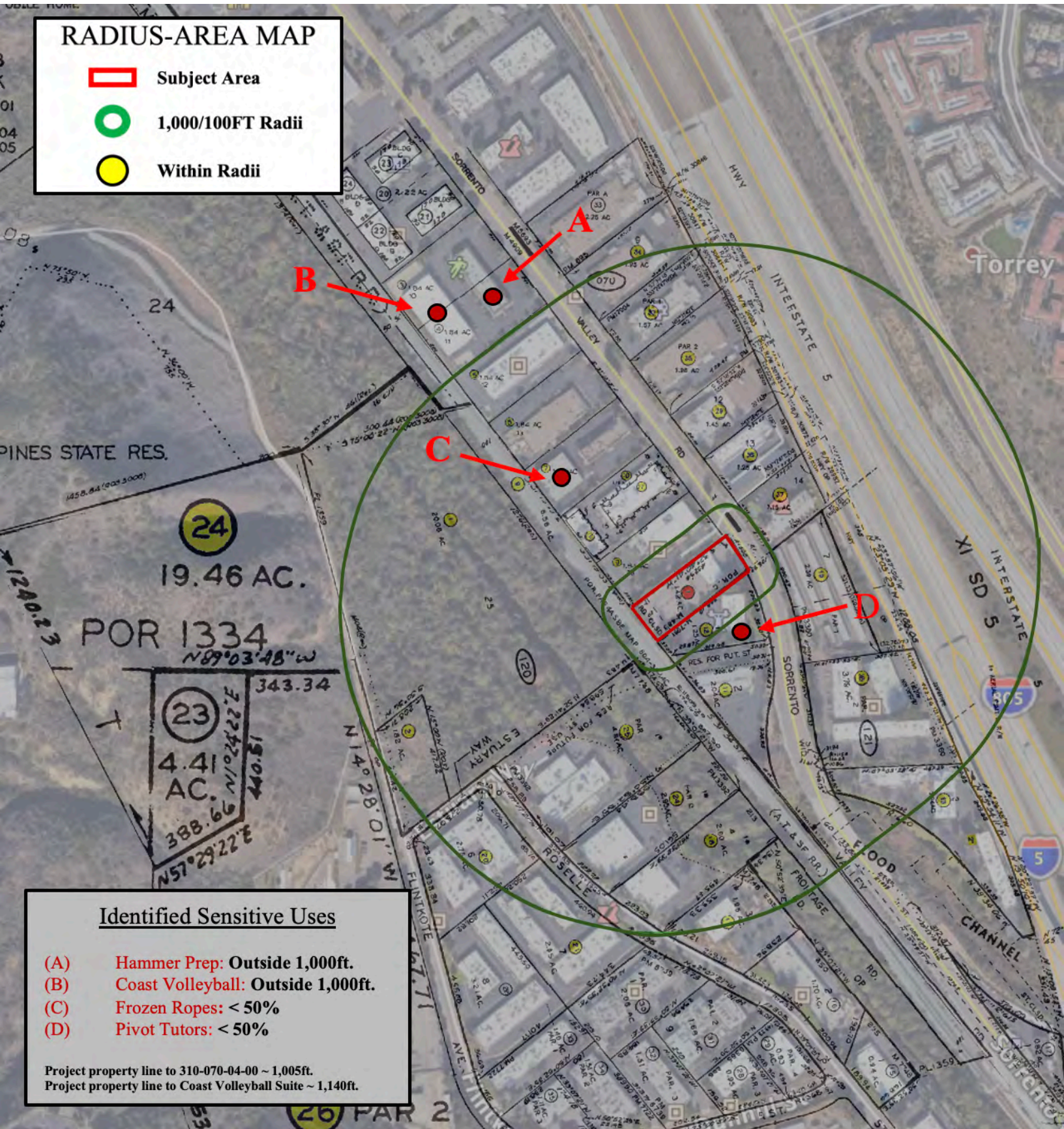
Check One:

- Signed By Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or OPR:

RADIUS-AREA MAP

- ▭ Subject Area
- 1,000/100FT Radii
- Within Radii



Identified Sensitive Uses

- (A) Hammer Prep: Outside 1,000ft.
- (B) Coast Volleyball: Outside 1,000ft.
- (C) Frozen Ropes: < 50%
- (D) Pivot Tutors: < 50%

Project property line to 310-070-04-00 ~ 1,005ft.
 Project property line to Coast Volleyball Suite ~ 1,140ft.

LDR-Planning Notes:

- Del Mar Soccer Club is closed
- Team Touche is not the primary use of the site

RECORDING REQUESTED BY:

City of San Diego
Development Services
Permit Intake, Mail Station 501

WHEN RECORDED RETURN TO:

Project Management
Permit Clerk, Mail Station 501

DOC# 2021-0274778



Apr 08, 2021 04:00 PM

OFFICIAL RECORDS

Ernest J. Dronenburg, Jr.,

SAN DIEGO COUNTY RECORDER
FEES: \$20.00 (SB2 Atkins: \$0.00)

PAGES: 3

SPACE ABOVE THIS LINE FOR RECORDER'S USE**CANCELLATION OF CONDITIONAL USE PERMIT NO. 2038237****MO 11189 Sorrento Valley Road, Unit 103 (PTS #559038)**

WHEREAS, on March 29, 2021, John Kraemer (BEACHWALK PROPERTIES, INC. – PROPERTY OWNER) and Erin Phillips (STWC SORRENTO VALLEY, LLC - APPLICANT), filed a request with the City of San Diego pursuant to San Diego Municipal Code (SDMC) 126.0110 to cancel MO 11189 Sorrento Valley Road Unit 103 Conditional Use Permit No. 2038237 (County Recorder 2020-0093971) from a portion of Lot 3 of Torrey Knolls Park, Map No. 7991; and

WHEREAS, the project site is located at 11189 Sorrento Valley Road, Unit 103, in the IL-3-1 Zone within the Torrey Pines Community Plan, and Council District 1; and

WHEREAS, the project site is legally described as:

UNIT 103 AS SHOWN AND DEFINED ON THAT CERTAIN CONDOMINIUM PLAN VENTURE COMMERCE CENTER SORRENTO, RECORDED AUGUST 21, 2008 AS INSTRUMENT NO. 2008-0449961 OF OFFICIAL RECORDS, TOGETHER WITH AN APPURTENANT UNDIVIDED 3.95%, PERCENTAGE INTEREST IN AND TO THE COMMON AREA, BEING A PORTION OF LOT 3 OF "TORREY KNOLLS PARK", IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7991, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JULY 31, 1974; AND SAID COMMON AREA IS FURTHER DEFINED AND DESCRIBED IN THAT CERTAIN DECLARATION OF COVENANTS AND RESTRICTIONS ESTABLISHING PLAN FOR CONDOMINIUM OWNERSHIP FOR VENTURE COMMERCE CENTER – SORRENTO, RECORDED AUGUST 21, 2008 AS INSTRUMENT NO. 2008-0449962 OF OFFICIAL RECORDS; and

WHEREAS, Conditional Use Permit No. 2038237 was approved by the Hearing Officer of the City of San Diego on November 20, 2019 per Resolution No. HO-7293; and

WHEREAS, Conditional Use Permit No. 2038237 was issued to "BEACHWALK PROPERTIES, INC., A CALIFORNIA CORPORATION, OWNER, AND STWC SORRENTO VALLEY, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, PERMITTEE," to operate a Marijuana Outlet within a 1,767 square-foot-tenant space within an existing five-unit commercial condominium complex described and identified by site,

dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 20, 2019, on file in the Development Services Department; and

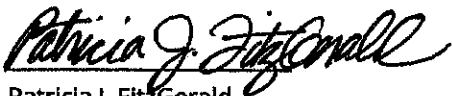
WHEREAS, on April 5, 2021, City of San Diego Development Services Department determined that Conditional Use Permit No. 2038237 has not been utilized; and

WHEREAS, San Diego Municipal Code (SDMC) 126.0110 provides that a permit holder may request cancellation of a development permit at any time before utilization of the permit;

NOW, THEREFORE,

BE IT RESOLVED, by the undersigned that Conditional Use Permit No. 2038237 (MO 11189 Sorrento Valley Road Unit 103) is hereby cancelled and is no longer in effect on the project site herein described.

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT



Patricia J. FitzGerald

Deputy Director, Cannabis Business Division
Development Services Department

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Diego)

On April 8, 2021 before me, Silvia Ybarra-Merrill, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Patricia J. FitzGerald
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies); and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Cancellation of Conditional Use Permit No. 2038237
Document Date: Number of Pages: 2
Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name:
Corporate Officer - Title(s):
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:

Signer's Name:
Corporate Officer - Title(s):
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:



TORREY PINES

COMMUNITY PLANNING BOARD

April 15, 2021

MOTION:

**TO DENY PROJECT BASED ON THE FOLLOWING PRC
RECOMMENDATIONS:**

Unanimously approved.

The project does not comply with the Industrial Element of the Torrey Pines Community Plan as summarized below. Furthermore, four dispensaries allowed within District 1, per current code, are all located within Sorrento Valley. This is inequitable, bad planning, and unfair to the disenfranchised who rely on public transportation. These retail outlets should be distributed within the District such that they are accessible to the maximum number of people that rely on them. The project should also not be located in a highly visible area in proximity to youth-oriented businesses as it will serve as an attractive nuisance.

Industrial Element Goals:

Goal #1: Emphasize the citywide importance of and encourage the location of scientific research, biotechnology, and light manufacturing uses in Sorrento Valley because of its proximity to UCSD and the University and Mira Mesa communities' industrial areas. Ensure adequate transit/transportation facilities are provided.

Response:

Sorrento Valley is home to manufacturing firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and **support** (emphasis added) commercial and retail uses. Allowing additional **NON SUPPORT retail** uses in prime industrial lands negates the importance of this area in relation to UCSD and our Mira Mesa industrial neighbors.

Goal #2: Ensure that industrial land needs as required for a balanced economy and balanced land use are met consistent with environmental considerations.

Response:

Industrial land availability is limited and should be utilized in the best way possible as noted in response above. Furthermore, locating all the allotted dispensaries within Sorrento Valley is bad planning and unfair to the disenfranchised who rely on public transportation. These retail outlets should be located in retail areas, not prime industrial lands, and should be distributed throughout the District such that they are accessible to the maximum number of people who rely on them. They should not be located in prime industrial lands nor should they be located adjacent youth-oriented business, i.e. martial arts studios, youth volleyball, such that they serve as attractive nuisances.



TORREY PINES

COMMUNITY PLANNING BOARD

Project Review Committee: Chair Designee Brad Remy, Project Manager Adam Gevanthor, Dan Jensvold, Jake Mumma, Mike Hastings, Liz Shopes.

Goal #3: Contain industrial development within areas specifically designated for industrial usage.

Response:

[See responses above.](#)

Goal #7: Minimize traffic impacts ...

Response:

[Adding NON-SUPPORT retail uses that draw vehicle trips from outside the subarea will increase traffic rather than minimize traffic impacts as noted by this Goal.](#)

Industrial Element Policies:

Policy #1: Development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area.

Response:

[This project clearly does not comply with this policy. It is a retail use that will draw users from within the entire County. Unless the Community Plan is Amended, this use does not comply with Policy #1 of our Industrial Element.](#)



TORREY PINES

COMMUNITY PLANNING BOARD

Project Review Committee: Chair Designee Brad Remy, Project Manager Adam Gevanthor, Dan Jensvold, Jake Mumma, Mike Hastings, Liz Shopes.

Additional Concerns:

"Land Use Plan" is defined in Chapter 11.3.01.03 of the Municipal Code as follows: "Land use plans means the General Plan and adopted community plans, specific plans, precise plans, and sub-area plans."

In consideration of the above we do not believe that the project complies with Finding #3 required for a Coastal Development Permit which requires that the proposed coastal development is in conformity with the certified Local Coastal Program Land use Plan. As such we believe that an Amendment to the community plan is required to allow non-support retail uses to occur in the Torrey Pines Community Sub-Area Industrial area.

Should an amendment be submitted, cumulatively considerable impacts of allowing non-industrial supporting retail uses to occur in industrial lands will need to be considered with regard to potential impacts to the CPs vision as outlined in the Industrial Element of the CP. And required findings will need to be met.

Site Plan Related:

Parking as viewed from SVR shall be screened from view in accordance with the city's landscape ordinance. Supplement existing landscaping as required to achieve this, Use drought tolerant plant materials that relates to existing landscaping located to the north and south of project. Use a combination of groundcover, shrubs, and trees to do this.

Signage:

Name as proposed is an attractive nuisance. Considering proximity to youth oriented business project should de-emphasize cannabis orientation, minimize and cookies from name, and screen building with parkway landscaping.

Building Façade Etc:

Supplemental landscaping, including street trees, should be added to parkway to buffer building from view, improving visual compatibility with adjacent properties.

Lack of sufficient details regarding building color and material treatment as well as signage and lighting specifics to approve.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h2 style="margin: 0;">Ownership Disclosure Statement</h2>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • **Other** CANNABIS OUTLET

Project Title: 11330 Sorrento Valley Road **Project No. For City Use Only:** _____
Project Address: 11330 Sorrento Valley Road
San Diego, CA 92121

Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. C4534173
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
 Name of Individual: Gary Rogers Owner Tenant/Lessee Successor Agency
 Street Address: 1642 Via La Plaza
 City: San Marcos State: CA Zip: 92078
 Phone No.: (760) 802-8100 Fax No.: _____ Email: gmrogers8@gmail.com
 Signature: *Gary M. Rogers* Date: 4/21/2020
 Additional pages Attached: Yes No

Applicant
 Name of Individual: Bakery Sorrento, Inc. Owner Tenant/Lessee Successor Agency
 Street Address: 4675 MacArthur Ct. Suite 1500
 City: Newport Beach State: CA Zip: 92660
 Phone No.: 714-272-9213 Fax No.: _____ Email: steve@cookiesre.com
 Signature: *Brandon Johnson* (Brandon Johnson) Date: 4/21/2020
 Additional pages Attached: Yes No

Other Financially Interested Persons
 Name of Individual: Cookies Retail, LLC Owner Tenant/Lessee Successor Agency
 Street Address: 2804 Gateway Oaks Drive, Suite #100
 City: Sacramento State: CA Zip: 95833
 Phone No.: 714-272-9213 Fax No.: _____ Email: steve@cookiesre.com
 Signature: *Brandon Johnson* (Brandon Johnson) Date: 4/21/2020
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

Attachment – Ownership Disclosure Statement – DS-318

Individuals who own 10% or more of Bakery Sorrento, Inc.'s shares.

Erin Phillips - Owner
1350 Independence St. Suite #300
Lakewood, CO 80215

John Kraemer – Owner
990 Highland Drive, Suite 301
Solana Beach, CA 92075

Brandon Johnson – Owner
11330 Sorrento Valley Rd.
San Diego, CA 92121



State of California Secretary of State

S

Statement of Information

(Domestic Stock and Agricultural Cooperative Corporations)

FEES (Filing and Disclosure): \$25.00.

If this is an amendment, see instructions.

IMPORTANT - READ INSTRUCTIONS BEFORE COMPLETING THIS FORM

1. CORPORATE NAME

2. CALIFORNIA CORPORATE NUMBER

This Space for Filing Use Only

No Change Statement (Not applicable if agent address of record is a P.O. Box address. See instructions.)

3. If there have been any changes to the information contained in the last Statement of Information filed with the California Secretary of State, or no statement of information has been previously filed, this form must be completed in its entirety.

If there has been no change in any of the information contained in the last Statement of Information filed with the California Secretary of State, check the box and proceed to Item 17.

Complete Addresses for the Following (Do not abbreviate the name of the city. Items 4 and 5 cannot be P.O. Boxes.)

Table with 4 columns: Item number, Street Address, City, State, ZIP Code. Rows 4-6.

Names and Complete Addresses of the Following Officers (The corporation must list these three officers. A comparable title for the specific officer may be added; however, the preprinted titles on this form must not be altered.)

Table with 5 columns: Item number, Title, Address, City, State, ZIP Code. Rows 7-9.

Names and Complete Addresses of All Directors, Including Directors Who are Also Officers (The corporation must have at least one director. Attach additional pages, if necessary.)

Table with 5 columns: Item number, Name, Address, City, State, ZIP Code. Rows 10-12.

13. NUMBER OF VACANCIES ON THE BOARD OF DIRECTORS, IF ANY:

Agent for Service of Process If the agent is an individual, the agent must reside in California and Item 15 must be completed with a California street address, a P.O. Box address is not acceptable. If the agent is another corporation, the agent must have on file with the California Secretary of State a certificate pursuant to California Corporations Code section 1505 and Item 15 must be left blank.

Table with 4 columns: Item number, Name/Address, City, State, ZIP Code. Rows 14-15.

Type of Business

16. DESCRIBE THE TYPE OF BUSINESS OF THE CORPORATION

17. BY SUBMITTING THIS STATEMENT OF INFORMATION TO THE CALIFORNIA SECRETARY OF STATE, THE CORPORATION CERTIFIES THE INFORMATION CONTAINED HEREIN, INCLUDING ANY ATTACHMENTS, IS TRUE AND CORRECT.

DATE TYPE/PRINT NAME OF PERSON COMPLETING FORM TITLE SIGNATURE

REVISION	BY
06-18-2020	OQ
07-28-2020	OQ
08-06-2020	OQ

BAKERY SORRENTO INC.

CANNABIS OUTLET

11330 SORRENTO VALLEY RD, CA. 92121

PARKING TABLE

PREVIOUSLY APPROVED PARKING REQUIREMENTS
 PARKING STANDARD 6,055 / 250 = 24.22 SPACES

EXISTING SITE PARKING: 52 STANDARD SPACE
 1 VAN ACCESSIBLE
 TOTAL EXISTING SITE PARKING: 53 SPACES
 31 GRAVEL SPACES (NOT INCLUDE IN TOTAL)

NO CHANGE IN EXISTING PARKING SPACES PER SDMC 142.0510 (d) (2)

PROPOSED PARKING REQUIREMENTS:
 SDMC TABLE 142.05E, IL-3-1, LA JOLLA
 TRANSIT PRIORITY AREA: 4.3 SPACES PER 1000 SF. FOR RETAIL, 5412 SF.
 = 24 SPACES

TRANSIT PRIORITY AREA: 4.3 SPACES PER 1000 SF. FOR RETAIL, 643 SF.
 = 3 SPACE
 TOTAL SPACES REQUIRED = 27 SPACES

ACCESSIBLE PARKING REQUIREMENTS:
 REQUIREMENT: 1 SPACE PER 25 REQUIRED SPACES: 25/25 = 100% = 1 SPACES
 REQUIRED: 4 SPACES PROVIDED

MOTORCYCLE PARKING REQUIREMENTS:
 PER SDMC 142.0530(2) (g)
 REQUIREMENT: 2% OF REQUIRED PARKING WITH A MINIMUM OF 2 SPACES
 2% OF 27 = 0.54 SPACES 2 REQUIRED/PROVIDED

CAR POOL / ZERO EMISSIONS, VAN PARKING REQUIREMENTS:
 PER CAP STRATEGY ITEM 6 = 4 SPACES REQUIRED
 9 SPACES PROVIDED

ELECTRIC VEHICLE PARKING REQUIREMENTS:
 PER CGBC TABLE 5.106.5.3.3 = 4 SPACES REQUIRED
 9 SPACES PROVIDED (INCLUDING 2 CHARGING STATIONS)

SHORT TERM BIICYCLE:
 PER SDMC 142.0530(e) (1) (A)
 REQUIREMENT: 5% OF REQUIRED PARKING SPACES
 5% OF 27 = 1.35 SPACES REQUIRED: 2 REQUIRED/PROVIDED

LONG TERM BIICYCLE:
 PER SDMC 142.0530(e) (2) (A)
 REQUIREMENT: 5% OF REQUIRED PARKING SPACES
 5% OF 27 = 1.35 SPACES REQUIRED: 2 REQUIRED/PROVIDED

APPLICABLE CODES

THE CURRENT PREVAILING BUILDING AND CONSTRUCTION CODES
 IN THE CITY OF SAN DIEGO ARE:

2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS, AND TITLE 18 OF THE LONG BEACH
 MUNICIPAL CODE

2019 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, PART 1, TITLE 24 C.C.R.
 2019 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, TITLE 24 C.C.R.
 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
 2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.

VICINITY MAP



SHEET INDEX

- C COVER SHEET
- P SITE PLAN
- A-0 EXISTING FLOOR PLAN & DEMO.
- A-1 PROPOSED FLOOR PLAN
- A-1.1 ELEVATIONS
- A-2 SECURITY CAMERA PLAN
- A-3 LIGHTING PLAN
- A-4 EXIT PLAN

SITE DATA

ZONE: IL-3-1 (INDUSTRIAL LIGHT)
 APN: 310-121-01-00
 EXISTING OCCUPANCY: B
 EXISTING USE: OFFICE SPACE
 PROPOSED USE: CANNABIS OUTLET (CO) & EXECUTIVE SUITE
 PROPOSED OCCUPANCY: B, M, A

SITE: 11330 SORRENTO VALLEY ROAD
 SAN DIEGO, CA. 92121
 60,984 SF. (1.4 A.)
 LOT SIZE: 54,632 SF.
 LANDSCAPE AREA: -- SF
 EXISTING FAR: BUILDING 6,055+ CANOPY 621 = 6.676 = 109 FAR
 LOT COVERAGE: BUILDING 6,055+ CANOPY 621 = 6.676 = 109 %

YEAR BUILT: 1969
 TYPE OF CONSTRUCTION: VB
 EXIST. BUILDING SPRINKLERED: YES
 EXIST. CANOPY SPRINKLERED: NO
 CONDITION OF SOIL: UNDISTURBED
 NUMBER OF STORIES: ONE
 EXIST. HEIGHT OF BLDG.: HIGHEST POINT + 13'-0"
 HEIGHT OF CANOPY: HIGHEST POINT + 15'-0"

BUILDING AREA: 6,055 SQ. FT. BUILDING, 621 SQ. FT. CANOPY
 TOTAL = 6,676 SF.

SETBACKS:
 FRONT: 15' / 20'
 SIDES: 10'
 STREET SIDE YARD: 15' / 20'
 REAR YARD: 0' / 10'
 SAFETY ZONE: 2

MCAS MIRAMAR AIRPORT INFLUENCE AREA

REVIEW AREA 1, APZ II TABLE

MAX. PEOPLE PER ACRE 50: SITE AREA 1.4 ACRES = 70 PEOPLE

PER SDMC 132.1515, TABLE 132-15F

OFFICE AREA, 643 SF

PER SDMC 132.1515 (c) (2) (E) (ii)

L / .25 FAR= 15,246 SF, OFFICE AREA IS 10.6 % OF BUILDING

ALLOWABLE FAR FOR 10.6% OF BUILDING = 1616 SF, PROPOSED AREA 643 SF

RETAIL AREA, 5412 SF

PER SDMC 132.1515 (c) (2) (E) (ii)

L / .20 FAR= 12,196.8 SF, RETAIL AREA IS 89.4 % OF BUILDING

ALLOWABLE FAR FOR 89.4% OF BUILDING = 10,904 SF, PROPOSED AREA 5,412 SF

LEGAL DESCRIPTION

THOSE PORTIONS OF LOT 'C' OF ACRE LOT 15 AND OF SORRENTO VALLEY ROAD, LYING BETWEEN THE SOUTHWESTERLY LINE OF SAID LOT 'C' AND THE NORTHEASTERLY LINE OF THE RIGHT OF WAY OF THE ATCHISON, TOPEKA AND SANTA FE RAILWAY AS OILMAN ON THE MAP OF SORRENTO LANDS AND TOWNSITE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 483, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, DATED FEBRUARY 9, 1886, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF SORRENTO VALLEY INDUSTRIAL PARK UNIT 18, ACCORDING TO MAP THEREOF NO. 4909, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE NORTH 52°40'41" EAST ALONG THE SOUTHEASTERLY LINE THEREOF 452.94 FEET TO THE MOST EASTERLY CORNER OF SAID MAP NO. 4909, BEING A POINT IN THE ARC OF A 521 FOOT RADIUS CURVE CONCAVE WESTERLY, A RADIAL LINE OF SAID CURVE BEARS NORTH 52°40'41" EAST TO SAID POINT; THENCE SOUTHERLY ALONG SAID CURVE BEING ALSO ALONG A LINE CONCENTRIC WITH AND 21 FEET EASTERLY FROM THE CENTER LINE OF THE 40 FOOT RIGHT OF WAY OF SORRENTO VALLEY ROAD, AS DESCRIBED IN DEED TO THE CITY OF SAN DIEGO, RECORDED OCTOBER 4, 1950 AS DOCUMENT NO. 198375 OF OFFICIAL RECORDS THROUGH AN ANGLE OF 14°52'40", A DISTANCE OF 135.28 FEET TO THE SOUTHEASTERLY LINE AND THE SOUTHWESTERLY PROLONGATION THEREOF SOUTH 50°52'50" WEST, 434.29 FEET TO THE NORTHEASTERLY LINE OF THE RIGHT OF WAY OF THE ATCHISON, TOPEKA, AND SANTA FE RAILWAY BEING A POINT ON THE ARC OF A 11,409.20 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY, A RADIAL TO SAID POINT BEARS SOUTH 51°44'50" WEST; THENCE NORTHWESTERLY ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE THROUGH AN ANGLE OF 0°44'26", A DISTANCE OF 147.40 FEET TO THE POINT OF BEGINNING.

PROJECT TEAM

PROJECT DESIGNER: ALAN LLOYD AUSTIN
 AUSTIN & ASSOCIATES
 1622 PIONEER WAY
 EL CAJON, CA. 92020
 PH. (619) 440-3624
 EMAIL: AUSTIN@ASSOCIATES1622@GMAIL.COM

ZONING

ZONE: IL-3-1
 OVERLAY ZONES:
 AIRPORT INFLUENCE AREA FOR MIRAMAR REVIEW AREA 1, AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (MCAS MIRAMAR), ACCIDENT POTENTIAL ZONE 2 FOR MIRAMAR COASTAL OVERLAY ZONE (NON-APPEALABLE AREA 1) SPECIAL FLOOD HAZARD AREA A (100 YEAR FLOODWAY AND 100 YEAR FLOODPLAIN) PARKING IMPACT OVERLAY ZONE (COASTAL), FIRST PUBLIC ROADWAY COASTAL HEIGHT LIMITATION, FIRE BRUSH MANAGEMENT- 100 FT. SETBACK, FIRE BRUSH ZONE - 300 FT. BUFFER, FIRE VERY HIGH FIRE HAZARD SEVERITY, PRIME INDUSTRIAL LANDS, AND TPA, WITHIN A TRANSIT PRIORITY AREA (TPA).

SCOPE OF WORK

A CONDITIONAL USE PERMIT (CUP) AND COASTAL DEVELOPMENT PERMIT FOR THE OPERATION OF A CANNABIS OUTLET (5,412 SQ. FT.) WITHIN A PORTION OF AN EXISTING 6,676 SQ. FT. BUILDING LOCATED 11330 SORRENTO VALLEY ROAD ON A 1.4 ACRE SITE. NO GROUND DISTURBANCE IS PROPOSED.

OWNER:

GARY M. ROGERS TRUST
 1642 VIA LA PLAZA
 SAN MARCOS, CA. 92074

TENANT:

BAKERY SORRENTO, INC.
 4675 MACARTHUR CT. STE. #1500
 NEWPORT BEACH, CA. 92660

PROJECT #
 PTS-0665588

ALAN LLOYD AUSTIN
 1622 PIONEER WAY, EL CAJON, CA 92020
 PH. (619) 440-3624
 AUSTIN & ASSOCIATES
 RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
 MEMBER OF AMERICAN INSTITUTE OF BUILDING DESIGN & CALIFORNIA INSTITUTE OF BUILDING DESIGN

BAKERY SORRENTO INC.
 CANNABIS OUTLET (CO)
 11330 SORRENTO VALLEY ROAD, SUITE A SAN DIEGO, CA. 92121

JOB NAME: BAKERY S. INC.
 DATE: 2020
 DR BY: OQ
 CK BY: ALA
 SCALE: AS SHOWN

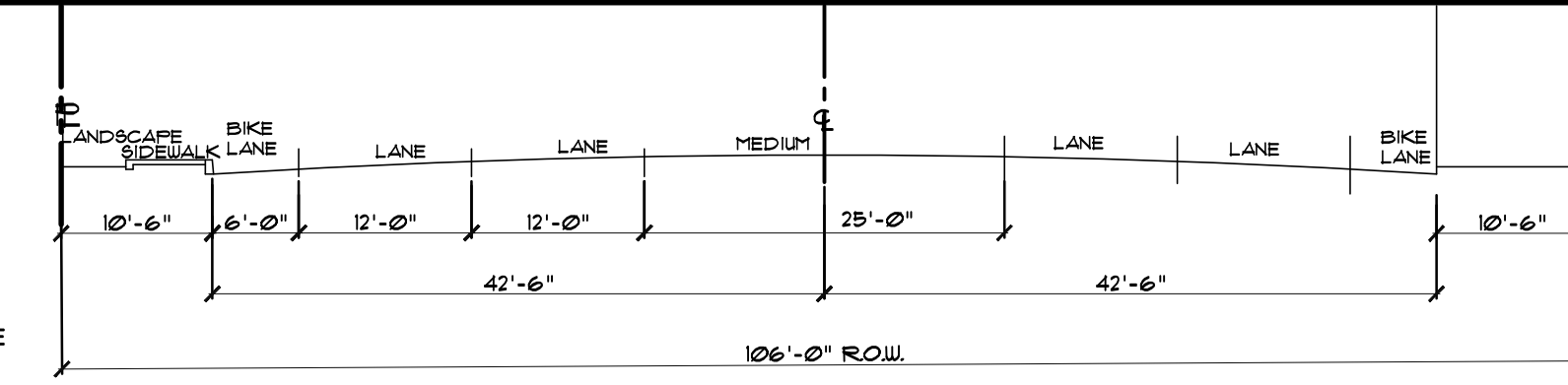
SHEET NUMBER
 C
 OF SHEETS

SITE PLAN NOTE:

- A. TRANSIT STOPS. EXISTING BUS STOP IS 2200 FT. AWAY.
- B. VISIBILITY TRIANGLE. NO PERMITS INCLUDING LANDSCAPING OR SOLID WALL WITHIN THE VISIBILITY AREA SHALL EXCEED 36" HIGH.
- C. THE FACILITY SHALL PROVIDE A SUFFICIENT ODOR ABSORBING VENTILATION AND EXHAUST SYSTEM CAPABLE OF ELIMINATING EXCESSIVE OR OFFENSIVE ODORS CAUSING DISCOMFORT OR ANNOYANCE TO ANY REASONABLE PERSON OF NORMAL SENSITIVITIES STANDING OUTSIDE OF THE STRUCTURAL ENVELOPE OF THE PERMITTED FACILITY IN COMPLIANCE WITH SDMC SECTION 142.0710. CARBON AIR FILTERS WILL BE INSTALLED TO LIMIT THE RELEASE OF ODORS TO ADJACENT USES. ALL MECHANICAL SYSTEMS HAVE FILTERS TO CONTROL ODOR, PER SDMC SECTION 142.0710.
- D. IN ACCORDANCE WITH SDMC 914.0406, SIGN PLANS SHALL BE A REQUIRED ELEMENT OF SAN DIEGO DEVELOPMENT PERMIT APPLICATION SUBMITTALS AND SIGNAGE SHALL BE IN CONFORMANCE WITH LAND DEVELOPMENT CODE CHAPTER 12, ARTICLE 9 DIVISION 8 (SIGN PERMIT PROCEDURES) AND ARTICLE 9 DIVISION 9 (SIGN PERMIT PROCEDURES) AND CHAPTER 14, ARTICLE 2 DIVISION 1, SDMC 1410614 CANNABIS OUTLET (CO) (SIGN REGULATIONS).
- E. ALL USES OF THIS PROPERTY MAY BE ANY USE PERMITTED IN THE IL-3-1 ZONE.
- F. THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENT OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES (BMP).
- G. NO PERMANENT STRUCTURE IS ALLOWED WITHIN THE EASEMENT LIMITS.
- H. NO GRADING IS PROPOSED FOR THIS PROJECT.
- I. SIGNS SHALL BE POSTED ON THE OUTSIDE OF THE CANNABIS OUTLET (CO) AND SHALL ONLY CONTAIN THE NAME OF THE BUSINESS, LIMITED TO TWO COLORS.
- J. SDMC 1410614 STATES THAT THE NAME AND EMERGENCY CONTACT PHONE NUMBER OF AN OPERATOR OR MANAGER SHALL BE POSTED IN A LOCATION VISIBLE FROM OUTSIDE OF THE MARIJUANA DISPENSARY IN CHARACTER SIZE AT LEAST TWO INCHES IN HEIGHT.
- K. SDMC 1410614 LIMITS THE CANNABIS OUTLET (CO) TO OPERATION ONLY BETWEEN THE HOURS OF 7:00 AM AND 9:00 PM, SEVEN DAYS A WEEK THERE WILL BE A CONDITION PROPOSED TO LIMIT THE HOURS OF OPERATION. HOURS OF OPERATION: 7:00 AM TO 9:00 PM, SEVEN DAYS OF WEEK ALLOW ACCESS TO CANNABIS EXCEPT BY A RESPONSIBLE PERSON, AS DEFINED IN SAN DIEGO MUNICIPAL CODE SECTION 42.1502. A VENDING MACHINE IS ANY DEVICE WHICH ALLOWS ACCESS TO CANNABIS WITHOUT A HUMAN INTERMEDIARY.
- M. THE OWNER/PERMITTEE OR OPERATOR SHALL MAINTAIN THE CANNABIS OUTLET (CO) OUTLET (CO), ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE OWNER OR OPERATOR FREE OF LITTER AND GRAFFITI AT ALL TIMES. THE OWNER OR OPERATOR SHALL PROVIDE FOR DAILY REMOVAL OF TRASH, LITTER, AND DEBRIS. GRAFFITI SHALL BE REMOVED WITHIN 24 HOURS.
- N. CANNABIS OUTLET (CO) DISPENSARY SHALL NOT BE CONSUMED ANYWHERE WITHIN THE SITE.
- O. THE OWNER/PERMITTEE OR OPERATOR SHALL POST ANTI-LOITERING SIGNS NEAR ALL ENTRANCES OF THE CANNABIS OUTLET (CO). EXISTING SERVICES WILL REMAIN.
- P. SIGNS SHALL BE POSTED ON THE OUTSIDE OF THE CANNABIS OUTLET AND SHALL ONLY CONTAIN THE NAME OF THE BUSINESS LIMITED TO TWO COLORS.
- R. NO RESTRICTION OR ADDING OF PARKING SPACES PROPOSED.
- S. ALL EQUIPMENT AND STORAGE SHALL BE ALSO LOCATED WITHIN A SECURE STRUCTURE.
- T. SECURITY SHALL BE PROVIDED AT THE CANNABIS OUTLET WHICH SHALL INCLUDE OPERABLE CAMERAS, ALARMS, AND SECURITY GUARD AND BE LICENSED BY THE STATE OF CALIFORNIA AND BE PRESENT ON THE PREMISES DURING BUSINESS HOURS. THE SECURITY GUARD SHALL ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY EXCEPT ON AN INCIDENTAL BASIS.

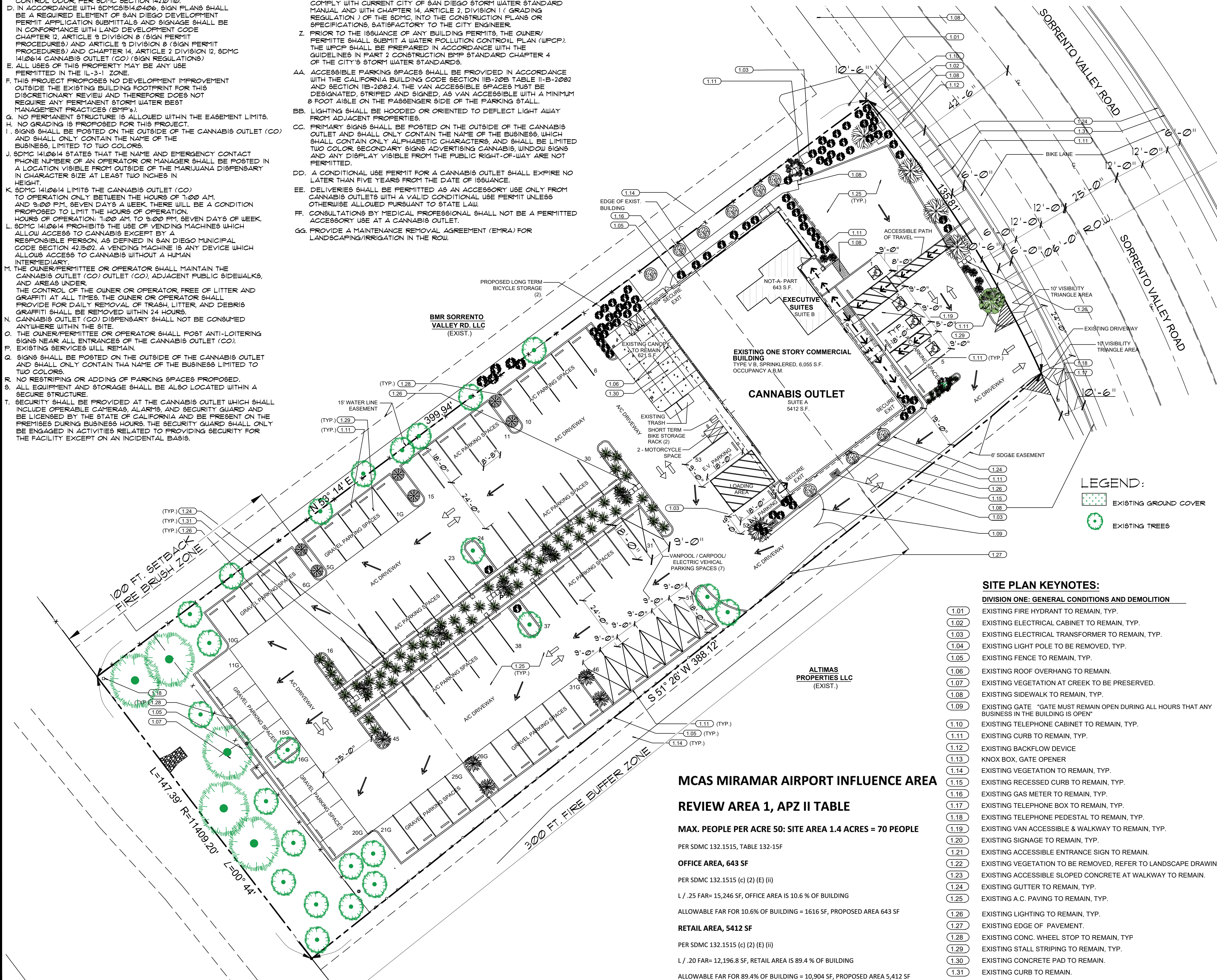
- U. THE SALE OF CANNABIS AND CANNABIS PRODUCTS SHALL ONLY BE CONDUCTED BY A CANNABIS OUTLET IN ACCORDANCE WITH SECTION 1410604. A CANNABIS PRODUCTION FACILITY IS PROHIBITED FROM PROVIDING CANNABIS AND CANNABIS PRODUCTS TO ANY PERSON OTHER THAN ANOTHER CANNABIS PRODUCTION FACILITY, A TESTING LAB, OR A CANNABIS OUTLET.
- V. ALL NEW ROOF EQUIPMENT SHALL BE SCREENED.
- W. ALL ACCESSIBLE PARKING SPACES AND PATH OF TRAVEL SHALL BE RESTRIPPED.
- X. NO LANDSCAPING WILL BE REMOVED.
- Y. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL INCORPORATE CONSTRUCTION AND PERMANENT STORM WATER BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CURRENT CITY OF SAN DIEGO STORM WATER STANDARD MANUAL AND WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATION) OF THE SDMC INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS SATISFACTORY TO THE CITY ENGINEER.
- Z. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARD CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- AA. ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE SECTION 11B-208 TABLE 11B-208.2 AND SECTION 11B-208.2.4. THE VAN ACCESSIBLE SPACES MUST BE DESIGNATED, STRIPPED AND SIGNED AS VAN ACCESSIBLE WITH A MINIMUM 8 FOOT AISLE ON THE PASSENGER SIDE OF THE PARKING SPACED.
- BB. LIGHTING SHALL BE HOODED OR ORIENTED TO DEFLECT LIGHT AWAY FROM ADJACENT PROPERTIES.
- CC. PRIMARY SIGNS SHALL BE POSTED ON THE OUTSIDE OF THE CANNABIS OUTLET AND SHALL ONLY CONTAIN THE NAME OF THE BUSINESS, WHICH SHALL CONTAIN ONLY ALPHABETIC CHARACTERS, AND SHALL BE LIMITED TO TWO COLOR SECONDARY SIGNS ADVERTISING CANNABIS, WINDOW SIGNS AND ANY DISPLAY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY ARE NOT PERMITTED.
- DD. A CONDITIONAL USE PERMIT FOR A CANNABIS OUTLET SHALL EXPIRE NO LATER THAN FIVE YEARS FROM THE DATE OF ISSUANCE.
- EE. DELIVERIES SHALL BE PERMITTED AS AN ACCESSORY USE ONLY FROM CANNABIS OUTLETS WITH A VALID CONDITIONAL USE PERMIT UNLESS OTHERWISE ALLOWED PURSUANT TO STATE LAW.
- FF. CONSULTATIONS BY MEDICAL PROFESSIONAL SHALL NOT BE A PERMITTED ACCESSORY USE AT A CANNABIS OUTLET.
- GG. PROVIDE A MAINTENANCE REMOVAL AGREEMENT (EMRA) FOR LANDSCAPING/IRRIGATION IN THE ROW.

ROADWAY CROSS SECTION



SITE PLAN

SCALE: 1" = 20'-0"



SITE DATA

ZONE:	IL-3-1 (INDUSTRIAL LIGHT)
APN:	310-121-01-00
EXISTING OCCUPANCY:	B
EXISTING USE:	OFFICE SPACE
PROPOSED USE:	CANNABIS OUTLET (CO) + EXECUTIVE SUITE
PROPOSED OCCUPANCY:	B, M, A

SITE: 1330 SORRENTO VALLEY ROAD
SAN DIEGO, CA 92121

LOT SIZE: 60,984 SF. (1.4 A.)
PAVING AREA: 54,632 SF.
LANDSCAPE AREA: -- SF.
EXISTING FAR: BUILDING 6,055 + CANOPY 621 = 6,676 + 109 FAR
LOT COVERAGE: BUILDING 6,055 + CANOPY 621 = 6,676 + 109 %

YEAR BUILT: 1969
TYPE OF CONSTRUCTION: VB
EXIST. BUILDING SPRINKLERED: YES
EXIST. CANOPY SPRINKLERED: NO
CONDITION OF SOIL: UNDISTURBED
NUMBER OF STORIES: ONE
EXIST. HEIGHT OF BLDG.: HIGHEST POINT = 13'-0"
HEIGHT OF CANOPY: HIGHEST POINT = 15'-0"

BUILDING AREA: 6,055 SQ. FT. BUILDING, 621 SQ. FT. CANOPY
TOTAL = 6,676 SF.

SETBACKS: FRONT: 15' / 20'
SIDES: 10'
STREET SIDE YARD: 15' / 20'
REAR YARD: 0' / 10'
SAFETY ZONE: 2

PARKING TABLE

PREVIOUSLY APPROVED PARKING REQUIREMENTS
PARKING STANDARD 6,055 / 250 = 24.22 SPACES

EXISTING SITE PARKING: 52 STANDARD SPACE
1 VAN ACCESSIBLE

TOTAL EXISTING SITE PARKING: 53 SPACES
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NO CHANGE IN EXISTING PARKING SPACES PER SDMC 142.0510 (d) (2)

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SDMC TABLE 142.05E, IL-3-1, ALL ROLLA
TRANSIT PRIORITY AREA: 4.3 SPACES PER 1000 SF. FOR RETAIL, 5,412 SF. = 24 SPACES
TRANSIT PRIORITY AREA: 4.3 SPACES PER 1000 SF. FOR RETAIL, 643 SF. = 3 SPACES
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REQUIREMENT: 1 SPACE PER 25 REQUIRED SPACES: 25/25 = 1.00 = 1 SPACES PROVIDED
4 SPACES PROVIDED

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PER SDMC 142.0530(2) (g)
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PER CAP STRATEGY ITEM 6 = 4 SPACES REQUIRED
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PER CGBC TABLE 5.106.5.3.3 = 4 SPACES REQUIRED
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PER SDMC 142.0530 (e) (2) (A)
REQUIREMENT: 5% OF REQUIRED PARKING SPACES
5% OF 27 = 1.35 SPACES REQUIRED: 2 REQUIRED/PROVIDED

ZONING

ZONE: IL-3-1

OVERLAY ZONES:
AIRPORT INFLUENCE AREA FOR MIRAMAR REVIEW AREA 1, AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (MCAS MIRAMAR), ACCIDENT POTENTIAL ZONE 2 FOR MIRAMAR COASTAL OVERLAY ZONE (NON-APPEALABLE AREA 1), SPECIAL FLOOD HAZARD AREA (100 YEAR FLOODWAY AND 100 YEAR FLOODPLAIN) PARKING IMPACT OVERLAY ZONE (COASTAL), FIRST PUBLIC ROADWAY, COASTAL HEIGHT LIMITATION, FIRE BRUSH MANAGEMENT, 100 FT. SETBACK, FIRE BRUSH ZONE - 300 FT. BUFFER, FIRE VERY HIGH FIRE HAZARD SEVERITY, PRIME INDUSTRIAL LANDS, AND TPA, WITHIN A TRANSIT PRIORITY AREA (TPA).

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OWNER:

GARRY M. ROGERS, TRUST
1642 VIA LA PLAZA
SAN MARCOS, CA 92074

TENANT:

BAKERY SORRENTO, INC.
4615 MACARTHUR CT. STE. # 1500
NEWPORT BEACH, CA 92660

PROJECT #
PTS-0665588

REVISION

REVISION	BY
06-18-2020	QQ
07-28-2020	QQ
08-06-2020	QQ
09-02-2020	QQ

OWNER:
ALAN LYDOD AUSTIN
alanaustinservices@austin.com
1622 PIONEER WAY, EL CAJON, CA 92020
PH. (619) 440-3624

PROJECT #
PTS-0665588

SHEET NUMBER
P

OF SHEETS

AUSTIN & ASSOCIATES
1622 PIONEER WAY, EL CAJON, CA 92020
RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
MEMBER OF AMERICAN INSTITUTE OF BUILDING DESIGN
CALIFORNIA INSTITUTE OF BUILDING DESIGN

BAKERY SORRENTO INC.
CANNABIS OUTLET (CO)
11330 SORRENTO VALLEY ROAD, SUITE A SAN DIEGO, CA. 92121

JOB NAME: BAKERY S. INC.
DATE: 2020
DR BY: QQ
CK BY: ALA
SCALE: AS SHOWN

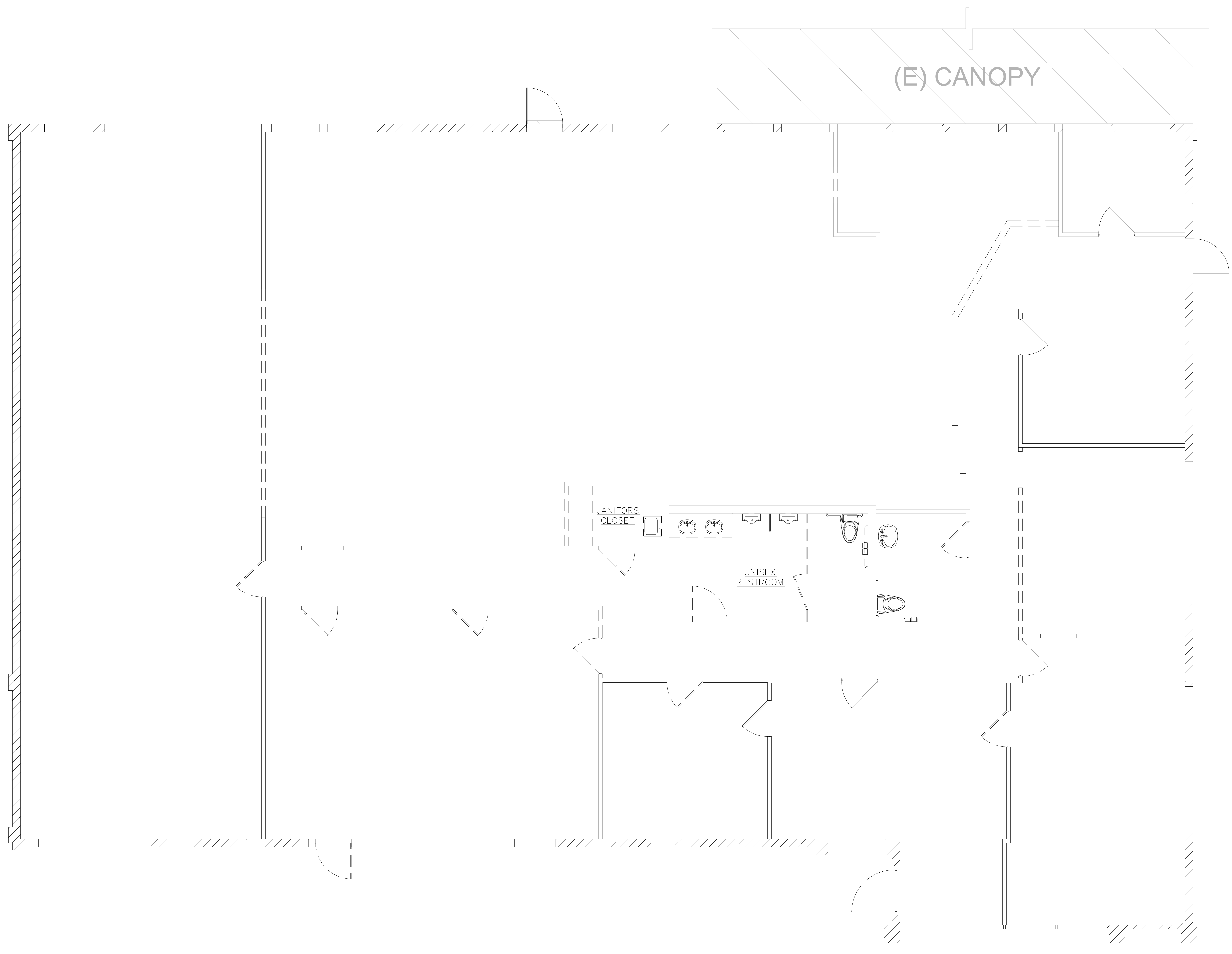
PROJECT #
PTS-0665588

SHEET NUMBER
P

OF SHEETS

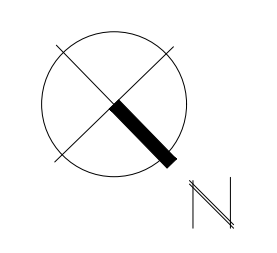
BAKERY SORRENTO INC.

REVISION	BY
08-06-2020	OC



EXISTING FLOOR PLAN & DEMO.

SCALE: 1/4" = 1'-0"



WALL LEGEND:

- 2x4 STUDS @ 16" O/C, NEW WALLS
- EXISTING 2x WALLS TO REMAIN
- WALLS TO BE DEMO
- 8" CMU WALLS

PROJECT #
PTS-0665588

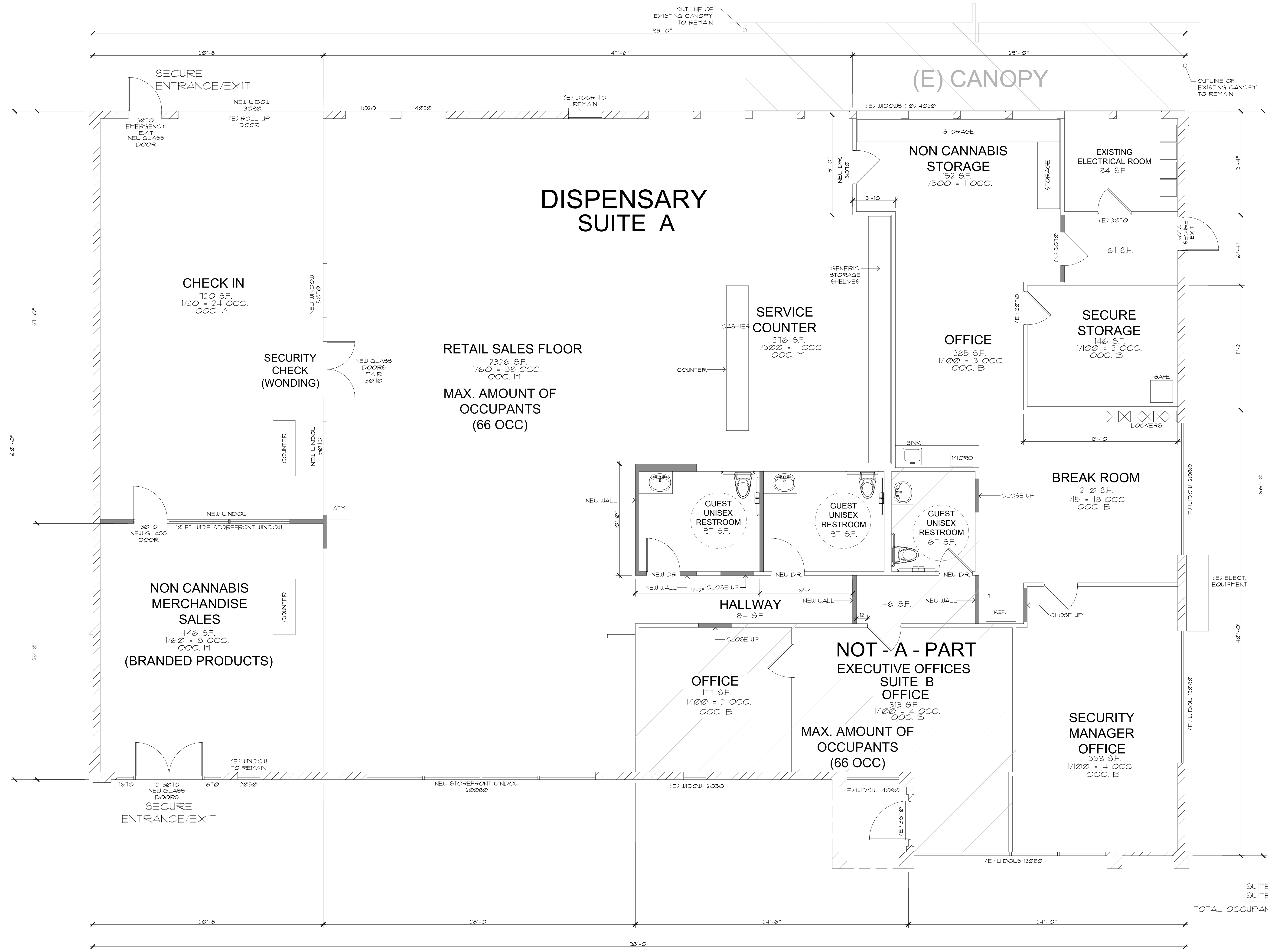
JOB NAME: BAKERY S, INC.
DATE: 2020
DR BY: OC
CK BY: ALA
SCALE: AS SHOWN

SHEET NUMBER
A-0
OF SHEETS

AUSTIN & ASSOCIATES
ALAN LLOYD AUSTIN
austinassociates1623@gmail.com
PH. (619) 440-3624
ABD
1622 PIONEER WAY, EL CAJON, CA 92020
ARCHITECTS AND INTERIORS
MEMBER OF AUSTIN INSTITUTE OF BUILDING DESIGN
CALIFORNIA INSTITUTE OF BUILDING DESIGN

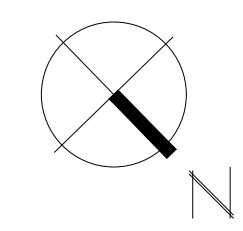
BAKERY SORRENTO INC.
CANNABIS OUTLET (CO)
11330 SORRENTO VALLEY ROAD, SUITE A SAN DIEGO, CA. 92121

REVISION	BY
08-06-2020	OC



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



DISPENSARY SUITE A SIZE = 5412 S.F.
 EXECUTIVE OFFICE SUITE B SIZE (N.A.P.) = 643 S.F.
 TOTAL BLDG. SIZE = 6055 S.F.
 TOTAL PROPOSED OCCUPANTS (70) MAX.

WALL LEGEND:

- 2x4 STUDS @ 16" O/C, NEW WALLS
- EXISTING 2x WALLS TO REMAIN
- WALLS TO BE DEMO
- 8" CMU WALLS

SUITE A = 96 S.F.
 SUITE B = 2 S.F.
 TOTAL OCCUPANTS = 102 S.F.

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AUSTIN & ASSOCIATES
 ALAN LLYOD AUSTIN
 austinassociates1623@gmail.com
 PH. (619) 440-3624
 1622 PIONEER WAY, EL CAJON, CA 92020
 ARCHITECTS, ENGINEERS AND DESIGNERS
 MEMBER OF AIA, ASHRAE, INSTITUTE OF BUILDING DESIGN
 CALIFORNIA INSTITUTE OF BUILDING DESIGN

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JOB NAME: BAKERY S. INC.
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 OF SHEETS



Cookies — SORRENTO VALLEY

Concept Rendering | Exterior View Front
V.1 | 04.17.20



Cookies — SORRENTO VALLEY

Concept Rendering | Exterior View Rear
V.1 | 04.17.20



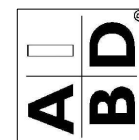
Cookies — SORRENTO VALLEY

Concept Rendering | Exterior View Rear
V.1 | 04.17.20

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08-06-2020	OC

ALAN LLOYD AUSTIN
austinassociates1622@gmail.com
PH. (619) 440-3624



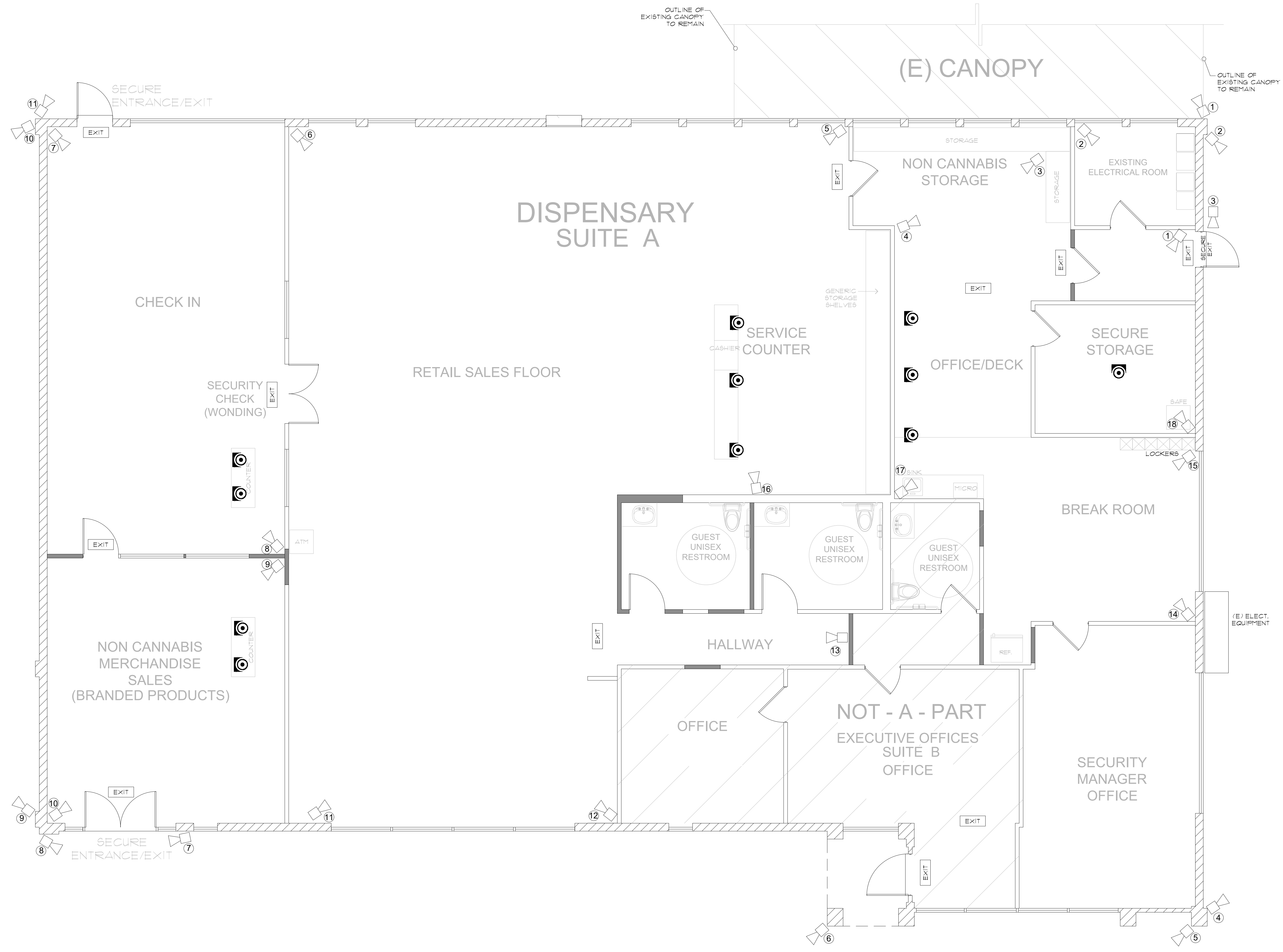
AUSTIN & ASSOCIATES
1622 PIONEER WAY, EL CAJON, CA 92020
ARCHITECTS AND INTERIORS
MEMBER OF AIA AND THE CALIFORNIA INSTITUTE OF BUILDING DESIGN

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JOB NAME	BAKERY S. INC.
DATE	2020
DR BY	OC
CK BY	ALA
SCALE	AS SHOWN

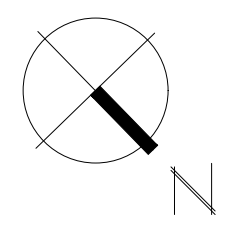
SHEET NUMBER
A-1.1
OF SHEETS

REVISION	BY
08-06-2020	OC



SECURITY CAMERA PLAN

SCALE: 1/4" = 1'



TOTAL INTERIOR CAMERA = 18
 TOTAL EXTERIOR CAMERA = 11

LEGEND:

	CAMERA PLACEMENT AND DIRECTION	TOTAL #28
	OVERHEAD CAMERA PLACEMENT	TOTAL #11

PROJECT #
 PTS-0665588

JOB NAME: BAKERY S. INC.
DATE: 2020
DR BY: OC
CK BY: ALA
SCALE: AS SHOWN
SHEET NUMBER A-2
OF SHEETS

BAKERY SORRENTO INC.
 CANNABIS OUTLET (CO)
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AUSTIN & ASSOCIATES
 1622 PIONEER WAY, EL CAJON, CA 92020
 PH. (619) 440-3624
 CALIFORNIA INSTITUTE OF BUILDING DESIGN

ALAN LYOD AUSTIN
 austinassociates1622@gmail.com
 PH. (619) 440-3624
ABD

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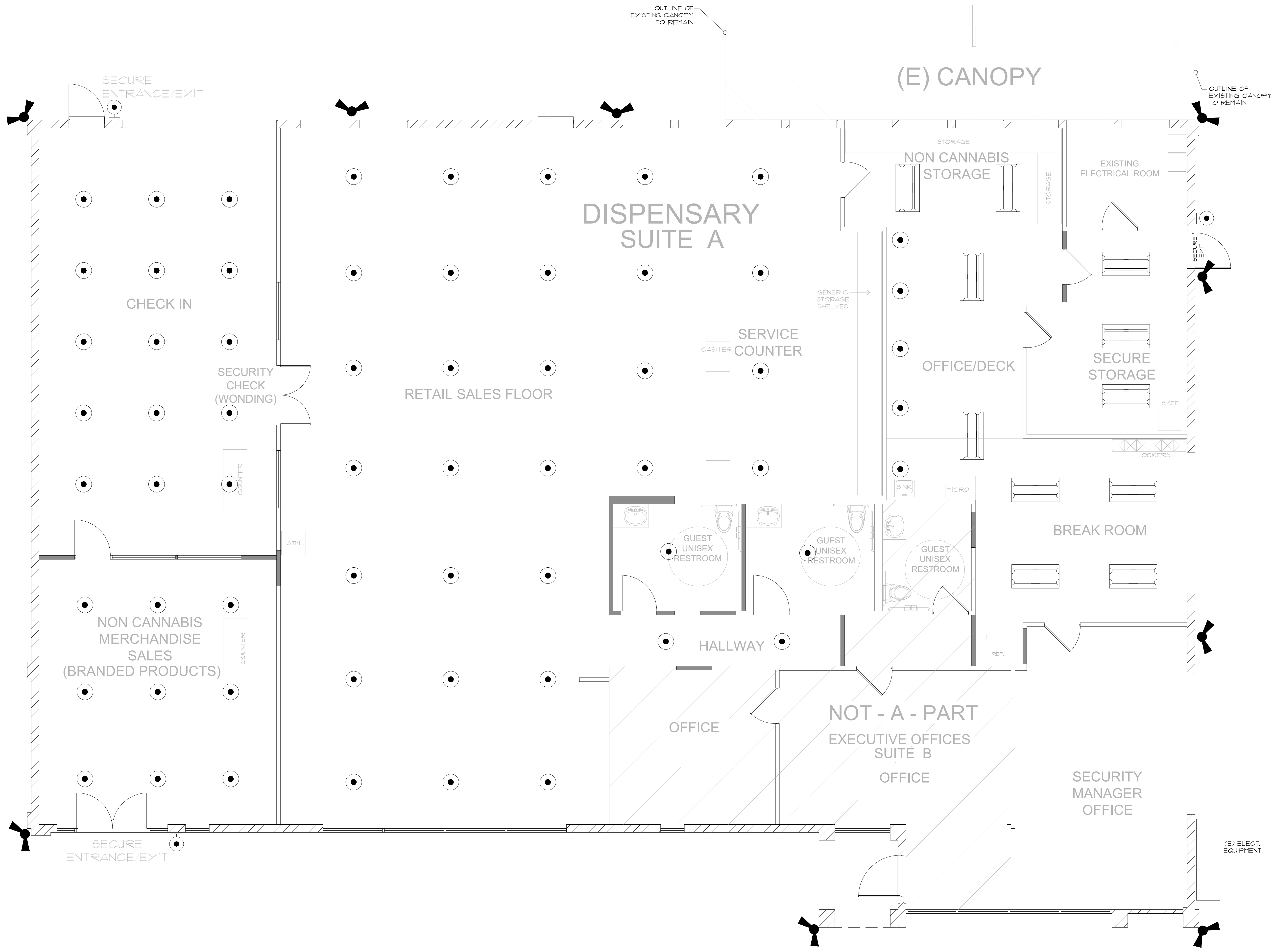
REVISION	BY
08-06-2020	OO

AUSTIN & ASSOCIATES
 ALAN LLYOD AUSTIN
 austinassociates1623@gmail.com
 PH. (619) 440-3624
A B D
 1622 PIONEER WAY, EL CAJON, CA 92020
 INTERIOR ARCHITECTURE AND DESIGN
 MEMBER OF AUSTIN INSTITUTE OF BUILDING DESIGN
 CALIFORNIA INSTITUTE OF BUILDING DESIGN

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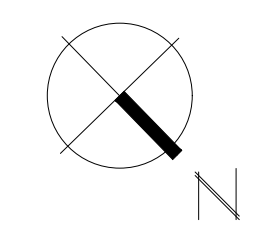
JOB NAME: BAKERY S. INC.
 DATE: 2020
 DR BY: OO
 CK BY: ALA
 SCALE: AS SHOWN

SHEET NUMBER
A-3
 OF SHEETS



LIGHTING PLAN

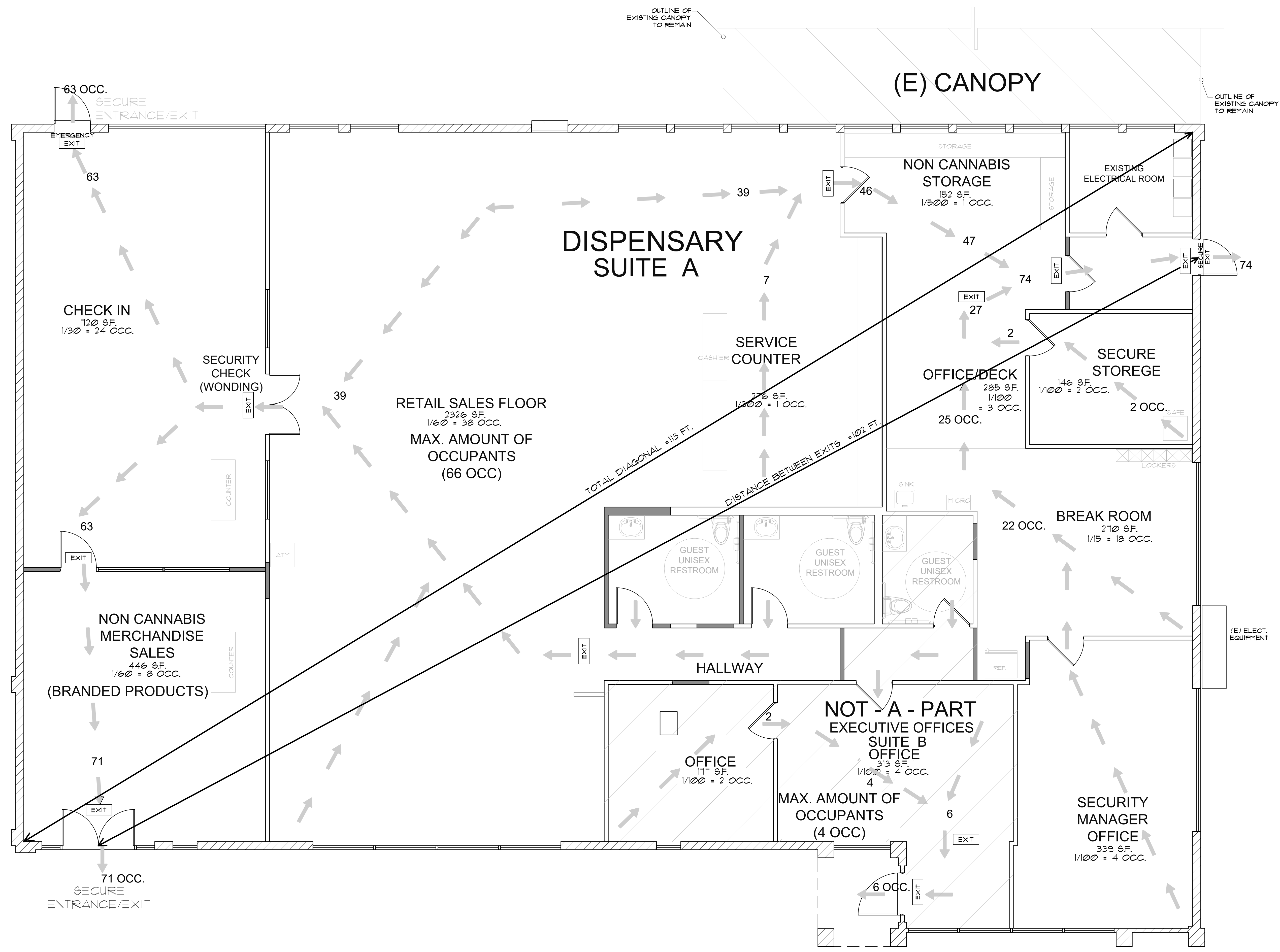
SCALE: 1/4" = 1'-0"



- LEGEND:
- RECESSED CAN / SPOT LIGHT FIXTURE
 - WALL MOUNTED LIGHT FIXTURE
 - MOTION SENSOR LIGHT FIXTURE
 - MOUNTED 2' X FLUORESCENT FIXTURE

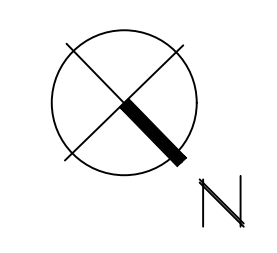
PROJECT #
PTS-0665588

REVISION	BY
08-06-2020	OQ



EXIT PLAN

SCALE: 1/4" = 1'-0"



OCCUPANCIES:
 SUITE A = 96
 SUITE B = 6
 TOTAL OCCUPANCY = 102, = 2 EXITS REQUIRED
 4 EXITS PROVIDED
 TOTAL PROPOSED OCCUPANTS (70) MAX.

LEGEND:
 [EXIT SIGN] EXIT SIGN

PROJECT #
 PTS-0665588

AUSTIN & ASSOCIATES
 ALAN LYOD AUSTIN
 1622 PIONEER WAY, EL CAJON, CA 92020
 PH. (619) 440-3624
 CALIFORNIA INSTITUTE OF BUILDING DESIGN

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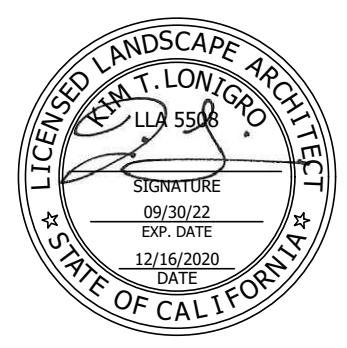
JOB NAME: BAKERY S. INC.
 DATE: 2020
 DR BY: OQ
 CK BY: ALA
 SCALE: AS SHOWN
 SHEET NUMBER
A-4
 OF SHEETS

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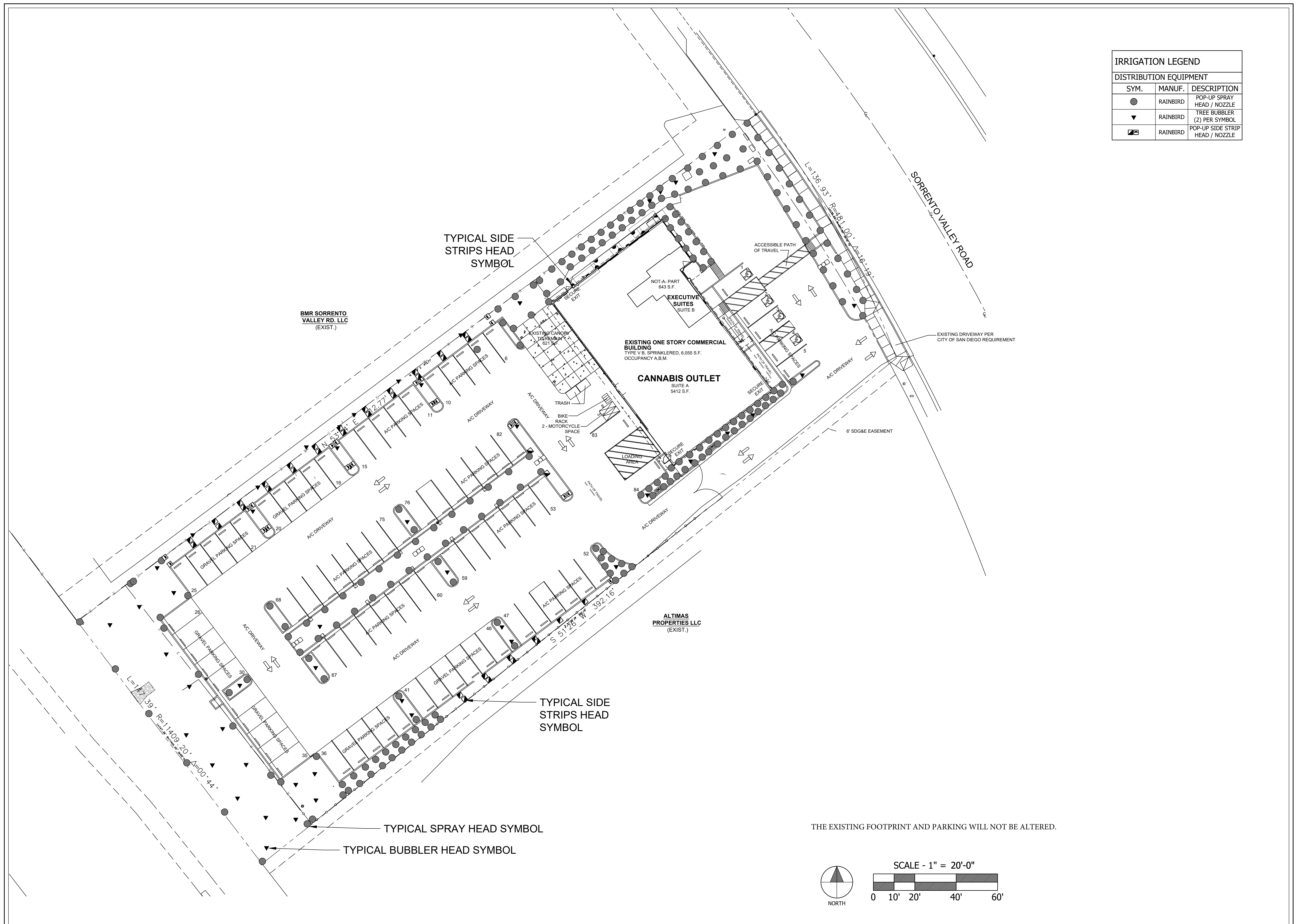
BAKERY SORRENTO, INC
 CANNABIS OUTLET (CO)
 11330 SORRENTO VALLEY ROAD, SUITE A
 SAN DIEGO, CA 92121
 IRRIGATION EXHIBIT

REVISIONS	DATE	BY	MARK	APPD DATE	RCVD



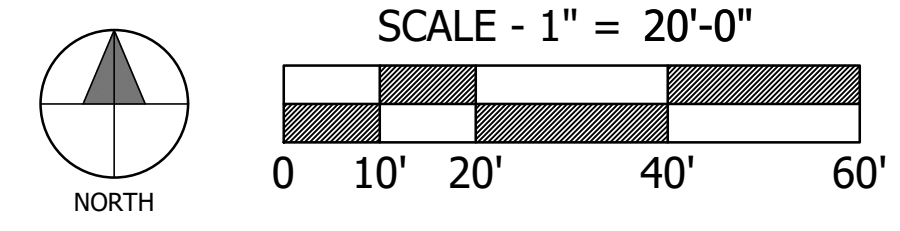
DATE: 12/16/2020
SCALE: SEE SHEET
JOB #: 20-102
DRAWN: KTL/NV
SHEET: LI-01
1 OF 2

PROJECT# - PTS-0665588



IRRIGATION LEGEND		
DISTRIBUTION EQUIPMENT		
SYM.	MANUF.	DESCRIPTION
●	RAINBIRD	POP-UP SPRAY HEAD / NOZZLE
▼	RAINBIRD	TREE BUBBLER (2) PER SYMBOL
▬	RAINBIRD	POP-UP SIDE STRIP HEAD / NOZZLE

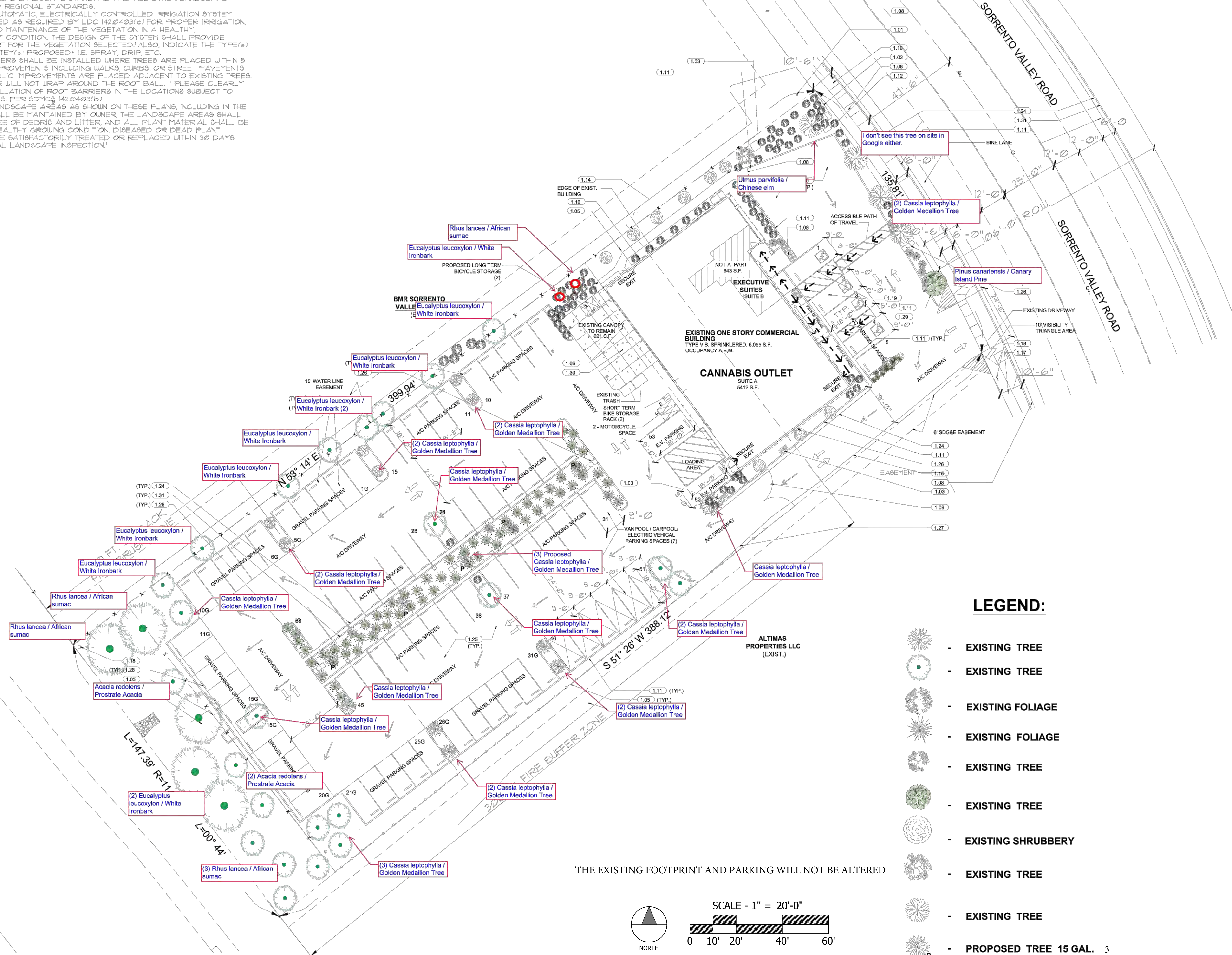
THE EXISTING FOOTPRINT AND PARKING WILL NOT BE ALTERED.





LANDSCAPE NOTE:

- "ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARD OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARD AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS."
- "IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALSO, INDICATE THE TYPE(S) OF IRRIGATION SYSTEM(S) PROPOSED: I.E. SPRAY, DRIP, ETC."
- "TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. PLEASE CLEARLY IDENTIFY THE INSTALLATION OF ROOT BARRIERS IN THE LOCATIONS SUBJECT TO THESE 3 CONDITIONS. PER SDMC 142.0403(b)."
- "ALL REQUIRED LANDSCAPE AREAS AS SHOWN ON THESE PLANS, INCLUDING IN THE RIGHT-OF-WAY, SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED WITHIN 30 DAYS AND PRIOR TO FINAL LANDSCAPE INSPECTION."

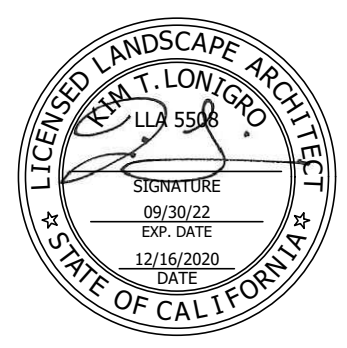


LEGEND:

- EXISTING TREE
- EXISTING TREE
- EXISTING FOLIAGE
- EXISTING FOLIAGE
- EXISTING TREE
- EXISTING TREE
- EXISTING SHRUBBERY
- EXISTING TREE
- PROPOSED TREE 15 GAL. 3

BAKERY SORRENTO, INC
 CANNABIS OUTLET (CO)
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 SAN DIEGO, CA 92121
 IRRIGATION EXHIBIT

REVISIONS	DATE	APPD	RCMD



DATE: 12/16/2020
SCALE: SEE SHEET
JOB #: 20-102
DRAWN: KTL/NV
SHEET: LP-01
2 OF 2

PROJECT# - PTS-0665588