

THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 21, 2021

REPORT NO. HO-21-031

HEARING DATE: July 28, 2021

SUBJECT: Katz SDP/CDP, Process Three Decision

PROJECT NUMBER: <u>646977</u>

OWNER/APPLICANT: Howard Ian Katz and Ann Lesley Katz, Owners / Jorge Rico, Applicant

SUMMARY

<u>Issues</u>: Should the Hearing Officer approve a Site Development Permit and Coastal Development Permit for the addition of 4,013 square feet and remodel to an existing twostory 3,263 square foot single-family dwelling unit and attached garage totaling 7,276 square feet on a 0.4-acre site located at 2702 Bordeaux Avenue within the La Jolla Community Plan area?

<u>Staff Recommendation</u>: Approve Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087.

<u>Community Planning Group Recommendation</u>: On June 4, 2020, the La Jolla Community Planning Association voted 15-0-2 to support the project with no conditions (Attachment 8).

<u>La Jolla Shores Planned District Advisory Board Recommendation</u>: On August 26, 2020, the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend approval of the project if City determines the building does not violate the height limit (Attachment 9).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, New Construction or Conversion of Small Structures, which allows for the construction and location of limited numbers of new, small facilities or structures. More specifically, 15303 (a), allows new construction of an addition to one single-family residence in a residential zone. The project proposes an addition and remodel to an existing single-family dwelling unit on a previously developed site. No environmental impacts were identified for the proposed project. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 22, 2021, and the opportunity to appeal that determination ended July 7, 2021.

BACKGROUND

The 0.4-acre project site is located at 2702 Bordeaux Avenue (Attachments 1 & 3). The triangular lot is at the end of a cul-de-sac 2 blocks west of Torrey Pines Road and approximately 0.9 miles west of Interstate 5. The site has one existing lot with frontage on Bordeaux Avenue. It is currently developed with one single-family dwelling unit constructed in 1969. The existing structure is more than 45 years old, requiring City staff to evaluate the proposal for historic significance in accordance with San Diego Municipal Code (SDMC) Section <u>143.0212</u>. The buildings were evaluated, and staff determined that the existing residence does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The site is in a developed, urban, residential neighborhood. Surrounding development includes single-family dwelling units to the north, east and south and designated open space and a canyon to the west followed by the Scripps Institute of Oceanography visitor parking lot. The Pacific Ocean is approximately half a mile to the west.

The La Jolla Community Plan and Local Coastal Program Land Use Plan designates the site for Very Low Density Residential with 0 to 5 dwelling units per acre (DU/AC) (Attachment 2). The La Jolla Shores Planned District Ordinance zones the site in the La Jolla Shores Planned District–Single Family Zone (LJSPD-SF) which continues to the east and south. RS-1-7 and RS-1-5 for single-family zoning is to the north and west of the property (Attachment 4). The site is also located within the Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact – Campus, Parking Standards Transit Priority Area, and Transit Priority Area and Geologic Hazard Category 53.

The topography of the site ranges from the elevations of approximately 285 feet above mean sea level on the canyon side to 350 feet above mean sea level on Bordeaux Avenue. An existing 4-foot public sewer easement is located along the east and south side yard of the property and an existing 8-foot storm drain easement is located along the west side yard of the property both to remain. The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA). The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the Environmentally Sensitive Lands (ESL) regulations in the Coastal Zone per SDMC <u>143.0110</u>. The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to ESL, resulting in the minimum of disturbance to ESL. The project is not proposing any cut and fill or grading that would require a grading permit per SDMC Section <u>129.0602</u>.

DISCUSSION

Project Description:

The proposed project requests a Site Development Permit and Coastal Development Permit for the addition of 4,013 square feet and remodel to an existing two-story 3,263 square foot single-family dwelling unit totaling 7,276 square feet and attached garage. The single lot would remain at 17,424 square feet in size and the remodel and addition would be developed with ministerial building permits after project approval in accordance with LJSPD-SF Zone requirements.

Vehicular access to the attached garage and 3 off-street parking spaces will be provided via driveway from Bordeaux Avenue. The two-story development will continue to include an upper main entry floor and attached garage at street level totaling 4,837 square feet, and a lower level totaling 2,627 square feet. In accordance with SDMC Section <u>1510.0304(d)</u>, no building or structure shall be erected, constructed, altered, moved in or enlarged to cover more than 60 percent of the lot or parcel. The 17,424 square foot lot multiplied by 0.60% = 10,454 square foot maximum lot coverage, therefore, the lot coverage area for the project complies with the LJSPD-SF Zone requirements. The following setbacks are in general conformity with those in the vicinity, per the LJSPD-SF Zone requirements and include: 5-foot Front Yard Setback, 4-foot Side Yard Setbacks and 25-foot Rear Yard Setback. The addition and remodel will include a building height at street level of approximately 13 feet which is almost two feet lower than the existing height.

The project is conditioned to include reconstruction of the existing driveway and the existing damaged/unaligned sidewalk panels an Encroachment Maintenance Removal Agreement for the existing retaining walls, planters, storm drain system and concrete walkways in the city easements and the water meter in the Bordeaux Avenue right of way; implementation of storm water construction best management practices (BMPs); a Water Pollution Control Plan (WPCP); implementation of a Brush Management Program; and landscaping and irrigation.

Height Analysis

The addition and remodel to the existing single-family dwelling unit will take place on the existing grade which slopes down at the rear of the property and proposes a max building height at street level of approximately 13 feet, (almost two feet lower than the existing building height to be demolished), which is below the maximum allowable 30 feet Coastal Height Limit in accordance with SDMC Section <u>132.0505</u>. Due to the height differential of the existing slope from the front elevation measured at 352.6 feet above sea level to the rear elevation measured at 326.6 feet above sea level, the rear portion of the building's proposed height is 40 feet when measured from the lowest adjoining surface which does not exceed the 30-foot maximum height by more than 10 feet pursuant to SDMC Section <u>113.0270(a)(2)(B)</u>. The proposed height will also be verified during building permit review.

Required Approvals

- <u>Site Development Permit (SDP) -</u> In accordance with SDMC Section <u>1510.0201(a)</u>, a Process Three SDP is required for remodeling, alteration, addition, or demolition of any existing building or structure within the La Jolla Shores Planned District . Additionally, the project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the Environmentally Sensitive Lands regulations in the Coastal Zone per SDMC <u>143.0110</u>, which also requires an SDP. The project does not propose any impacts to this habitat and therefore, no mitigation is required.
- <u>Coastal Development Permit (CDP)</u> In accordance with SDMC Section <u>126.0707(a)</u>, a Process Two CDP is required for the proposed development as the site is located in the nonappealable area of the Coastal Overlay Zone.

• Pursuant to SDMC Section <u>112.0103</u>, when an applicant applies for more than one permit, map or other approval for a single development, the applications shall be consolidated for processing and shall be reviewed by a single decision maker. The decision maker shall act on the consolidated application at the highest level of authority for that development as set forth in SDMC Section <u>111.0105</u>. In this instance, all the above approvals are consolidated and processed according to Process Three, with the Hearing Officer as the decision maker.

Community Plan Analysis:

The La Jolla Shores Planned District Ordinance zones the site LJSPD-SF, which conforms with the La Jolla Community Plan and Local Coastal Program Land Use Plan and General Plan (Attachment 4). The project proposes an addition of 4,013 square feet to an existing two-story 3,263 square foot single-family dwelling unit totaling 7,276 square feet on a 17,424 square foot lot. The project is consistent with the La Jolla Community Plan and Local Coastal Program Land Use Plan which designates the site as Very Low Density Residential with a density of 0-5 DU/AC. The proposed two-story, 7,276 square-foot single-family dwelling unit on a 0.4-acre site is consistent with the underlying land-use designation.

The project is not located within the First Public Roadway, and there are no public view corridors, or physical access routes from the project site, as identified in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Figure 9, Pages 35-36). The west side of Bordeaux Avenue has been designated a "Scenic Overlook" which is defined as a view over private property from a public right of way. The proposed improvements will take place on the existing grade which slopes down at the rear of the property and will not cause any obstruction of existing scenic views.

Community Planning Group and La Jolla Shores Planned District Advisory Board Recommendation:

On June 4, 2020, the La Jolla Community Planning Association voted, on consent, 15-0-2 to recommend approval of the project with no conditions (Attachment 8).

On August 26, 2020, the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend approval of the project if City determines building does not violate height limit (Attachment 9) [see Height Analysis above and incorporated herein by reference]. As addressed above, the project's proposed height from lowest adjacent grade to the highest point of building complies with the maximum Coastal Height Limit. The proposed height will also be verified during building permit review.

CONCLUSION

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and General Plan and the adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings and conditions (Attachment 5 & 6) and recommends the Hearing Officer APPROVE Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087 for the project.

ALTERNATIVES

- 1. Approve Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087, with modifications.
- 2. Deny Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Carrie Lindsay, Development Project Manager

Attachments:

- 1. Project Location Map
- 2. Community Plan Land Use Map
- 3. Aerial Photograph
- 4. Existing Zoning Map
- 5. Draft Resolution with Findings
- 6. Draft Permit with Conditions
- 7. Notice of Right to Appeal Environmental Determination
- 8. Community Planning Group Recommendation
- 9. La Jolla Shores Advisory Board Recommendation
- 10. Ownership Disclosure Statement
- 11. Project Plans



Project Location Map



<u>Katz Residence Addition, Project Number 646977</u> 2702 Bordeaux Avenue

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Development Services Department



Katz Residence Addition, Project Number 646977

2702 Bordeaux Avenue

North



Aerial Photo



<u>Katz Residence Addition, Project Number 646977</u> 2702 Bordeaux Avenue ATTACHMENT 3

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North



Existing Zone Map (LJSPD-SF)



<u>Katz Residence Addition, Project Number 646977</u> 2702 Bordeaux Avenue

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ATTACHMENT 5

HEARING OFFICER RESOLUTION NO. _____ SITE DEVELOPMENT PERMIT, PERMIT NO. 2345086 COASTAL DEVELOPMENT PERMIT, PERMIT NO. 2345087 KATZ SDP/CDP - PROJECT NO. 646977

WHEREAS, HOWARD IAN KATZ & ANN LESLEY KATZ, Co-Trustees of THE HOWARD & ANN KATZ FAMILY TRUST DATED JULY 31, 2000, Owner/Permittee, filed an application with the City of San Diego for a permit for an addition and remodel to an existing two-story single-family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087), on portions of a 0.4-acre site;

WHEREAS, the project site is located at 2702 Bordeaux Avenue, La Jolla, CA 92037 in the La Jolla Shores Planned District Single-Family Zone (LJSPD-SF), the Coastal (Non-Appealable Area 2) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone, Campus, Parking Standards Transit Priority Area, Transit Priority Area, and Geologic Hazard 53 Zone of the La Jolla Community Plan and Local Coastal Land Use Plan area;

WHEREAS, the project site is legally described as Lot 54 of La Jolla Highlands, Unit No. 2, according to Map thereof No. 3361, filed in the Office of the County Recorder of San Diego County, January 27, 1956; Also Known as: 2702 Bordeaux Avenue, La Jolla, CA 92037; AP#: 344-100-11-00;

WHEREAS, on June 22, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303, New Construction or Conversion of Small Structures. There was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; WHEREAS, on July 28, 2021, the Hearing Officer of the City of San Diego considered Site

Development Permit No. 2345086 and Coastal Development Permit No. 2345087 pursuant to the

Land Development Code of the City of San Diego; NOW, THERFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following

findings with respect to Site Development Permit No. 2345086 and Coastal Development Permit No.

2345087:

A. <u>SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]</u>

1. <u>Findings for all Site Development Permits:</u>

(a) Findings for all Site Development Permits

(1) The proposed development will not adversely affect the applicable land use plan.

The project site is located at 2702 Bordeaux Avenue on a 0.4-acre parcel lot in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) and is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage. The project proposes the addition of 4,013 square feet and remodel to the existing single-family dwelling unit totaling 7,276 square feet.

The Community Plan designates the site for Very Low Density Residential (0-5 DU/AC) which conforms with the General Plan. This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed development is an addition to an existing single-family dwelling unit on a 17,424 square-foot lot and does not increase the density.

The project is consistent with the Community Plan's Residential Recommendations including, but not limited to:

- 2.a.1: "...preserve bulk and scale with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space."
- 4. 2.d. "For large lots in single dwelling unit areas, apply development regulations that will limit the perceived bulk and scale differences relative to surrounding lots. Apply a sliding scale for floor area ratios that will decrease building scale as the lot size increases."

The proposed project is an addition and remodel that takes place entirely on the existing pad and will be situated in approximately the same location as the existing single-family dwelling unit, with the exemption of a few extensions of square footage. An open courtyard on the east side (side yard), reduces the massing and modifications to the building façade will create further visual interest, all of which, will improve the aesthetics of the home.

Based on a submitted neighborhood survey of the existing development, the proposed addition and remodel will be visually compatible with the architectural materials and varied design themes of existing one and twostory single-family residential developments in the surrounding area including but not limited to a new flat roof design, a stucco exterior finish, glass railings, and eyebrow offset details.

Vehicular access to the attached garage and three off-street parking spaces will be provided via driveway from Bordeaux Avenue. The two-story development will continue to include an upper main entry floor and attached garage at street level and a lower level. The proposed building will not cover more than 60 percent of the 17,424 square-foot lot and the addition and remodel will include a building height at street level of approximately 13 feet which is slightly lower than the existing height to be demolished.

The project proposes no deviations or variances from the applicable regulations and complies with the development standards required by the underlying LJSPD–SF Zone. Therefore, the proposed development will not adversely affect the applicable land use plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, New Construction or Conversion of Small Structures, which allows for the construction and location of limited numbers of new, small facilities or structures. More specifically in 15303 (a), allows new construction of an addition to a single-family residence. The project proposes an addition of 4,013 square feet and remodel to an existing 3,263 square-foot single-family dwelling unit on a previously developed site. Exempt projects have been determined not to have a significant effect on the environment per Section 15300 of the CEQA Guidelines.

The proposed project is an addition and remodel to an existing single-family dwelling unit, with no grading of natural landforms proposed. All drainage is routed according to accepted engineering practices. The project is conditioned to include implementation of a Brush Management Program, landscaping and irrigation which meets City standards and will minimize the risk of fire. In addition, the project has been determined to comply with existing Community Plan Recommendations for residential projects [see Finding 1. (a) (1) above and incorporated herein by reference]. During and after construction, the project will be required to comply with all relevant ministerial codes designed to protect the public health, safety, and welfare, including the California Building Code, stormwater regulations, and air quality regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 2702 Bordeaux Avenue within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas within an established residential area. The site is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage. The project proposes the addition of 4,013 square feet and remodel to the existing single-family dwelling unit totaling 7,276 square feet.

The project site is located approximately a half a mile to the east of the Pacific Ocean and is situated approximately 350 feet above mean sea level and is not located with the First Public Roadway or within a Visual Access corridor, as identified within the Community Plan. The west side of Bordeaux Avenue has been designated a "Scenic Overlook" which is defined as a view over private property from a public right of way. The proposed improvements will take place on the existing grade which slopes down at the rear of the property and the roof height will be decreased slightly from the existing structure, therefore, there will be no obstruction of existing scenic views.

The project has been reviewed and has been designed in conformance with all applicable development regulations of the San Diego Municipal Code (SDMC), including the LJSPD-SF Zone and the Coastal Overlay Zone. The project conforms to the maximum 30-foot height limit, setbacks, and 60 percent coverage requirements. The project does not require any deviations or variances. Therefore, the proposed development complies with the applicable regulations of the SDMC.

2. <u>Supplemental Findings--Environmentally Sensitive Lands [SDMC Section</u> <u>126.0505(b)]</u>

(1) The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project site at 2702 Bordeaux Avenue is physically suitable for the design and siting of the proposed development because it has been previously developed with a single-family dwelling unit on a landscaped, flat pad level with and adjacent to Bordeaux Avenue. The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the Environmentally Sensitive Lands (ESL) regulations in the Coastal Zone per SDMC 143.0110. The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to ESL, resulting in the minimum of disturbance to ESL. No grading or mapping actions are required for the proposed development, and runoff increase will be insignificant and will also be dissipated by proposed ripraps that will mimic the existing drainage pattern.

Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

(2) The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed project is an addition and remodel to an existing single-family dwelling unit, with no grading of natural landforms proposed and will not result in undue risk from geologic and erosional forces. The addition takes place entirely on an existing building pad and is not proposing any cut and fill or grading that would require a grading permit. All drainage will be routed according to accepted engineering practices. The project's brush management plan meets City standards and will minimize the risk of fire.

Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

(3) The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the ESL regulations in the Coastal Zone per SDMC 143.0110. The proposed project is an addition and remodel that takes place entirely on an existing pad and does not bring the structure any closer to ESL. Drainage will be routed according to accepted engineering practices. No adverse impacts are anticipated beyond those which may have already occurred during the construction of the existing single-family dwelling unit.

Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

(4) The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), the Multiple Habitat Planning Area (MHPA), or within Vernal Pool Habitat Conservation Plan (VPHCP) areas. The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area, but the site currently contains an existing single-family dwelling unit and proposes an addition and remodel which would not impact resources that are towards the rear of the property and no impacts to biological resources are expected. Therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

(5) The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project is located approximately a half a mile from the nearest shoreline. It does not drain directly to a beach or shoreline. Site drainage has been designed according to best engineering practices and is not anticipated to negatively affect beaches or shorelines. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

(6) The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the ESL regulations in the Coastal Zone per SDMC 143.0110. The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to ESL, resulting in the minimum of disturbance to ESL. In addition, and consistent with the City of San Diego's Biological Guidelines, project impacts to less than 0.1-acre are not considered significant and do not require mitigation. This project was determined exempt from the California Environmental Quality Act (CEQA) per Section 15303 (a) (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. No mitigation is required for this project and therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

B. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. <u>Findings for all Coastal Development Permits:</u>

(a) Findings for all Coastal Development Permits

(1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project site is located at 2702 Bordeaux Avenue on a 0.4-acre parcel lot in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) and is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage. The project proposes the addition of 4,013 square feet and remodel to the existing single-family dwelling unit totaling 7,276 square feet.

The project site is located approximately a half a mile to the west of the Pacific Ocean and is situated approximately 350 feet above mean sea level. The La Jolla Community Plan and Local Coastal Program Land Use Plan (Figure 9, Pages 35-36) does not identify the project site as within the First Public Roadway, and there are no public view corridors, or physical access routes from the project site. The west side of Bordeaux Avenue has been designated a "Scenic Overlook" which is defined as a view over private property from a public right of way. The proposed improvements will take place on the existing grade which slopes down at the rear of the property. The proposed additional square footage will be constructed within the existing developed legal lot and will not encroach into the established front, side, or rear yards and the roof height will be decreased slightly from the existing structure, therefore, there will be no obstruction of existing scenic views.

Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan and will not degrade, remove, eliminate, or detract from any protected public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

(2) The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site was previously graded and is currently developed with a single-family dwelling unit and attached garage built in 1969. The proposed

addition and remodel are in approximately the same location on the lot as the existing single-family dwelling unit.

The project site does not contain and is not adjacent to any sensitive coastal bluffs, or special flood hazard areas. The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA). The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the ESL regulations in the Coastal Zone per SDMC 143.0110. The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to ESL, resulting in the minimum of disturbance to ESL. The project is not proposing any cut and fill or grading that would require a grading permit and runoff increase will be insignificant and will also be dissipated by proposed ripraps that will mimic the existing drainage pattern.

The project was determined to be categorically exempt from CEQA pursuant to CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures, which allows for the construction and location of limited numbers of new, small facilities or structures. More specifically in 15303 (a), allows new construction of an addition to a single-family residence. The project proposes an addition of 4,013 square feet and remodel to an existing 3,263 square-foot single-family dwelling unit on a previously developed site. Exempt projects have been determined not to have a significant effect on the environment per Section 15300 of the CEQA Guidelines. Therefore, the project will not adversely affect environmentally sensitive lands.

(3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 2702 Bordeaux Avenue on a 0.4-acre parcel lot in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) and is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage. The project proposes the addition of 4,013 square feet and remodel to the existing single-family dwelling unit totaling 7,276 square feet.

The Community Plan designates the site for Very Low Density Residential at a rate of 0-5 dwelling units per acre (DU/AC) which conforms with the General Plan. This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed development is an addition to an existing single-family dwelling unit on a 17,424 square-foot lot and does not increase the density.

The project is consistent with the Community Plan's Residential Recommendations including, but not limited to:

- 2.a.1: "...preserve bulk and scale with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space."
- 4. 2.d. "For large lots in single dwelling unit areas, apply development regulations that will limit the perceived bulk and scale differences relative to surrounding lots. Apply a sliding scale for floor area ratios that will decrease building scale as the lot size increases."

The proposed project is an addition and remodel that takes place entirely on the existing pad and will be situated in approximately the same location as the existing single-family dwelling unit, with the exemption of a few extensions of square footage. An open courtyard on the east side (side yard), reduces the massing and modifications to the building façade will create further visual interest, all of which, will improve the aesthetics of the home.

Based on a submitted neighborhood survey of the existing development, the proposed addition and remodel will be visually compatible with the architectural materials and varied design themes of existing one and twostory single-family residential developments in the surrounding area including but not limited to a new flat rood design, a stucco exterior finish, glass railings, and eyebrow offset details.

Vehicular access to the attached garage and three off-street parking spaces will be provided via driveway from Bordeaux Avenue. The two-story development will continue to include an upper main entry floor and attached garage at street level and a lower level. The proposed building will not cover more than 60 percent of the 17,424 square-foot lot and the addition and remodel will include a building height at street level of approximately 13 feet which is slightly lower than the existing height to be demolished.

The project site is located approximately a half a mile to the east of the Pacific Ocean and is situated approximately 350 feet above mean sea level. The Community Plan does not identify the project site as within the First Public Roadway, and there are no public view corridors, or physical access routes from the project site. The west side of Bordeaux Avenue has been designated a "Scenic Overlook" which is defined as a view over private property from a public right of way. The proposed improvements will take place on the existing grade which slopes down at the rear of the property and the roof height will be decreased slightly from the existing structure, therefore, there will be no obstruction of existing scenic views.

The proposed addition and remodel to the existing single-family dwelling unit was found to comply with the allowed density, identified public access, identified public views, and all applicable regulations adopted by the Community Plan. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

(4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 2702 Bordeaux Avenue and is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage and is located within a well-developed residential neighborhood. The project site is not located between the first public road and the sea or the shoreline of any water body located within the Coastal Overlay Zone. No public access or public recreation facilities exist on or adjacent to the site. The project will be developed entirely within private property and will not adversely impact any public recreation opportunities or adversely affect any public access. Therefore, the project is in conformance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are

incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing

Officer, Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087 is

hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits,

terms and conditions as set forth in Site Development Permit No. 2345086 and Coastal

Development Permit No. 2345087, a copy of which is attached hereto and made a part hereof.

Carrie Lindsay Development Project Manager Development Services

Adopted on: July 28, 2021

IO#: 24008388

RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24008388

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2345086 COASTAL DEVELOPMENT PERMIT NO. 2345087 KATZ SDP/CDP - PROJECT NO. 646977 HEARING OFFICER

This Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087 is granted by the Hearing Officer of the City of San Diego to Howard Ian Katz & Ann Lesley Katz, Co-Trustees of The Howard & Ann Katz Family Trust Dated July 31, 2000, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0502 and 126.0702. The 0.4-acre site is located at 2702 Bordeaux Avenue and is in the La Jolla Shore Planned District SF Zone (LJSPD-SF) and Coastal (Non-Appealable Area 2) Overlay Zone of the La Jolla Community Plan area. The Project site is legally described as: Lot 54 of La Jolla Highlands, Unit No. 2, according to Map thereof No. 3361, filed in the Office of the County Recorder of San Diego County, January 27, 1956; Also Known as: 2702 Bordeaux Avenue, La Jolla, CA 92037; AP#: 344-100-11-00;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to remodel and construct an addition of 4,013 square feet to an existing two-story single-family dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] [Approval Date], on file in the Development Services Department.

The project shall include:

- a. The remodel and addition of 4,013 square feet to an existing two-story, 3,263 square-foot, single-family dwelling unit for a new total of 7,276 square feet on a 0.4-acre site;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 11, 2024.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, 10. and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond, the closure of existing driveway and construction of a new 12-foot-wide city standard driveway, adjacent to the site on Bordeaux Avenue, satisfactory to the City Engineer.

13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond, the reconstruction of the existing damaged/unaligned sidewalk panels per current city standards, adjacent to the site on Bordeaux Avenue, satisfactory to the City Engineer.

14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the existing retaining walls, planters, storm drain system and concrete walkways in the city easements and the water meter in the Bordeaux Avenue right of way, satisfactory to the City Engineer.

15. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate an additional 7-foot easement to the existing storm drain easement, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

19. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

21. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

22. The Brush Management Program shall be based on a standard Zone One of 35-ft. in width and a Zone Two of 65-ft. in width. Zone One shall range from 19-ft. to 35-ft. in width with a corresponding Zone Two of 65-ft. to 81-ft. in width, extending out from the habitable structures towards the native/naturalized vegetation as shown on Exhibit "A." Where the full brush management zones cannot be provided, alternative compliance measures shall apply, consistent with FPB Policy B-18-01.

23. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

24. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

25. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

26. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

27. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

• The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on [Approval Date] and [Approved Resolution Number].

ATTACHMENT 6

Site Development Permit No. 2345086 Coastal Development Permit No. 2345087 Date of Approval: July 28, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Carrie Lindsay Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

The Howard & Ann Katz Family Trust Owner/Permittee

By_

Howard Ian Katz Trustee of the Howard & Ann Katz Family Trust Dated July 31, 2000

The Howard & Ann Katz Family Trust Owner/Permittee

Ву _____

Ann Lesley Katz Trustee of the Howard & Ann Katz Family Trust Dated July 31, 2000

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



THE CITY OF SAN DIEGO

Date of Notice: June 22, 2021 NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION DEVELOPMENT SERVICES DEPARTMENT

SAP or I.O. No. 24008388

PROJECT NAME / NUMBER: Katz SDP / 646977
COMMUNITY PLAN AREA: La Jolla
COUNCIL DISTRICT: 1
LOCATION: 2702 Bordeaux Avenue, San Diego, CA 92037

PROJECT DESCRIPTION: The Project requests a Site Development Permit (SDP) and Coastal Development Permit (CDP) for the addition of 4,013-square-feet to an existing two-story, 3,263-square-foot single-family dwelling unit to total 7,276-square-feet, located at 2702 Bordeaux Ave. The 0.40-acre site is designated Very-Low Density Residential pursuant to the La Jolla Community Plan and Local Coastal Program and is subject to the La Jolla Shore Planed District Ordinance (LJSPDO) Single-Family Zone (LJSPD-SF). The project is also subject to the Coastal Height Limitation Overlay Zone, Coastal Zone - Non-appealable Area 2, Parking Impact Overlay Zone - Campus, Parking Standards Transit Priority Area, Transit Priority Area, and Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (a), New CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15303 (a), which allows for the construction and location of limited numbers of new, small facilities or structures. More specifically in 15303(a) which allows new construction of an addition to a single-family residence. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Carrie Lindsay 1222 First Avenue, MS 501, San Diego, CA 92101-4153 (619) 446-5220 / CLindsay@sandiego.gov

On June 22, 2021 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determinations to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 7, 2021). During the Statewide "Safer-at-Home" directive to reduce the spread of COVID-19, beginning March 19, 2020, appeals to the City Clerk must be filed by email or US Mail as follows:

 Appeals filed via E-mail: <u>The Development Permit/Environmental Determination Appeal Application</u> <u>Form DS-3031</u> can be obtained at <u>https://www.sandiego.gov/sites/default/files/legacy/development-</u> <u>services/pdf/industry/forms/ds3031.pdf</u>.

Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to <u>Hearings1@sandiego.gov</u> by 5:00pm. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.

 Appeals filed in person: The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained at https://www.sandiego.gov/sites/default/files/legacy/developmentservices/pdf/industry/forms/ds3031.pdf.

Deposit the fully completed appeal application <u>DS-3031</u> (including grounds for appeal and supporting documentation) in a sealed envelope, into the Drop-Off Box located under the Public Notice Kiosk to the left of the public entrance to the City Administration Building, 202 "C" Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The Drop-Off Box is available from 8:00am to 5:00pm Monday through Friday (excluding City-approved holidays). The completed appeal package must include the required appeal fee per this bulletin in the form of a check or money order payable to the "City Treasurer." Please include the project number on the memo line of the check/money order. This Drop-Off Box is checked daily, and payments are processed the following business day.

This information will be made available in alternative formats upon request.

Page 3	City of San Diego · Information Bulletin 620 May 202			
SD	City of San Diego Development Services	Comn Committ	nunity Planning ee Distribution Form	
Project Name: 2702 Bordeaux	ect Name: Project Number: Bordeaux 646977			
Community: La Jolla				
For project scope and contact information (project manager and applicant), log into OpenDSD at <u>https://aca.accela.com/SANDIEGO</u> . Select "Search for Project Status" and input the Project Number to access project information.				
Vote to Approve Vote to Approve with Conditions Listed Below Vote to Approve with Non-Binding Recommendations Listed Below Vote to Deny				
# of Members Yes 15	; # of Membe	rs No 0	# of Members Abstain 2	
Conditions or Recommendations: Approved on consent 6/4/2020				
No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				
NAME: Suzanne Weissman				
TITLE: Secretary, LJCPA			DATE: June 19, 2020	
Attach additional pages if necessary (maximum 3 attachments).				

June 4, 2020 Regular Meeting Final Minutes

Please note rearranged agenda and early starting time: 5pm

Due to the COVID-19 public health emergency, LJCPA meetings currently are online only. Instructions for registering, attending, or making written comments are at https://gregj.us/2LslG68 (copy and paste the URL into your browser if clicking on it doesn't work). Those who wish to attend (including viewing, listening, and possibly speaking at the meeting) must register in advance. Supplemental materials: https://gregj.us/3bD0YuQ

Quorum Present: Ahern, Boyden, Brady, Costello, Courtney, Davidson, Fitzgerald, Ish, Jackson, Kane, Little, Mangano, Neil, Shannon, Steck, Weiss, Weissman, **Absent**: Manno

Call to Order (5:01pm)

This is a recorded meeting with a full agenda. Please make sure mobile or otherwise noisy **devices are off** or silent, and in online meetings keep microphones muted except when called on. Please **address the chair** and refer to projects or issues, not to applicants or opponents. If special facilities or access are required (for example, to display presentations), please notify the Chair one week prior to meeting. Chair calls on public and then trustees, closes discussion upon consensus, and calls for motions. Trustees vote by roll call or show of hands as appropriate.

1.1. Approve Agenda (action item)

Motion: Approve agenda as presented: unanimous vote; no objections

1.2. Approve Minutes (action item)

Motion: Approve Minutes for May 7, 2020 meeting:

Boyden: one correction: under Public comment, Bren s/b Brennan

Unanimous vote; no objections

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA:

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Vice Chair, Andy Fotsch, 3rd Monday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

2. Project Reviews (action items)

The following are ACTION ITEMS and may be de novo considerations. Prior actions by committees are for information only. The Chair may call for motion and vote after a specified allotment of time to applicants and opponents.

Supporting materials, if any: <u>https://lajollacpa.org/ljcpa-6-4-2020-materials-comments/</u>

2.1. 304-306 Kolmar (Whitney)

(Process 2) Coastal Development Permit to demolish a single-dwelling unit and to construct two (2) two-story, single-dwelling units located at 304-306 Kolmar St. Unit 1:1,859 sf. Unit 2: 1,875 sf. The 0.11-acre site is in the RM-1-1 Zone, Coastal Overlay (N-APP-2) Zone within the La Jolla Community Plan area CD1.

DPR: **Findings CANNOT be made** (excessive bulk/scale vis à vis nearby homes, awkward transitions, carports, design inconsistent with historical neighborhood character), passes 6-0-1

Tim Golba, architect for applicant, presentation: Showed aerial view of street and project site, several shots of existing house and neighboring houses, context shots of several 25' lots in area, views of un-permitted living unit above garage on existing property, other structures in alley, numerous roof decks in area. Explained underlying 25' lots in original subdivision; showed details of changes made to the project as a result of neighbors' concerns for privacy and DPR committee recommendations. Showed overlay of proposed structure with existing, a shadow study and explained conformity with the Municipal Code. Emphasized that a large amount of the available building envelope was not used and the height of bulk of building was only 20'10" in a 30' zone.

Public Comment

Julie Reuf, neighbor to east: The long-time residents are feeling the domino effect of new development. Will this development tip the scales away from the existing character of the neighborhood? The character of the neighborhood is being lost for the following reasons:

- \circ $\;$ Bulk and scale of new compared to older homes shown in slides.
- City staff in reviewing permits do not recognize individual character of the many different neighborhoods in SD.
- Impact of loss of privacy and greenery.
- New structures are not following permitted requirements during and after construction.

Tom Miller, neighbor: La Jolla Community Plan calls for development compatible with existing residential scale, avoid extreme and intrusive changes to scale of neighborhood, harmonious transitions between new and older structures, front and side yard facades that exceed one story should slope or step back up to 30' height limit to allow flexibility while maintaining integrity of street scape and to provide adequate amounts of light and air. This project does not meet any of these requirements because of obvious intent to circumvent

the Municipal Code. The area of the carport is not counted in the FAR according to the code but garages are included. New large houses out of scale of the neighborhood are built with carports. This allows the houses to be built 400' to 800' over what is allowed. Later the carport is enclosed which becomes a code violation. We are asking applicant to enclose the carport and remove 400' from each house. Several pictures of houses that were built with carports that were later enclosed to become a garage were shown.

Shannon Reuf: The concessions have not changed the excessive scale. They are following the letter, not the intent of the law. Large grey boxes using every allowable square foot does not maintain the character of the area.

Megan Heine: Concerned about veiled threat of what could be built; what is legally allowed with FAR, etc. with no concern for what will fit into the neighborhood. We all need to be more active in this effort to preserve these neighborhoods.

Donna Blackmond: Prior projects in the neighborhood have not turned out as presented including the one on the corner that has un-permitted changes. This has caused a lack of trust among the neighbors and they fear that this project will also have unwanted consequences after the fact.

Trustee Comment

Costello: If garage put in same location as carport, would it be allowed to go into the setback? **Golba**: A garage is an accessory structure and the same rules will apply. **Costello**: If garage, would the structure be over FAR. **Golba**: yes

Neil: this does not comply with the Community Plan with regards to neighborhood character and transitions so I will not support.

Davidson:

- Were these originally 2 lots and never combined? **Golba**: Yes, two lots were created in the original subdivision and never legally tied
- No common area between the two houses? **Golba**: Each is a fee simple lot; no shared access ways, easements.
- What is separation between houses? **Golba**: 6', 3' for each lot
- Can you see side yards from street? **Golba:** Depends on what is planted. We plan to keep vegetation low to provide view for neighbor.
- How many open sides on carport? Golba: Code provides for two sides to be open.
 75% minimum. The two side yard sides will be 90% open, a garage door by alley for security and side facing house closed, nothing above it.
- How far from house? **Golba** 10'.
- How do you compute 75% open? Golba: 75% open means % of each side open, not the % of all 4 sides. 2 sides can be 100% closed; the other 2 sides need to be 75% open not cumulative of entire perimeter.

Boyden: Is the plan presented today identical to the one approved by DSD? How would you insure that the City will approve the what you have shown today? **Golba:** This plan is same in terms of the footprint, changes are on exterior for removal and/or raising windows. Since today's changes are less than original presentation to DPR, the City won't have a problem.

Ish: I believe the Municipal Code section on carports means 75% of whole structure; I disagree with Golba's interpretation of carport rules. FAR is total amount of built space and including carport space will leave only 10% of lot space open. Having carport is to the advantage of developer; it does not consider cost and aggravation to new homeowner who attempts to enclose carport and has to deal with Code Enforcement. Make garage and decrease size of house.

Fitzgerald: How many new non-traditional houses on that street: **Golba:** Showed several on aerial views of area ~ 40%.

Shannon: Need to change building code to address carport enclosure problems.

Ahern: Fits upcoming character with narrow lots and taller buildings. It seems to comply with Municipal Code.

Weiss: It is difficult to make decisions based on the fact that regulations are often ignored. What are requirements for landscaping? **Golba**: We are nowhere near coverage maximum; we comply or exceed all front and side setback requirements leaving plenty of room for planting. Slide showing spaces available for greenery.

Jackson: The applicant is trying to maximize something different than what neighborhood would maximize which is often the root of deep tension that will never go away. Would have been better to maximize harmony with neighborhood rather than maximize use of space.

Costello: It bothers me that the Notice of Decision came out from DSD two days after DPR made its recommendations that findings could not be made. Golba should have brought process to CPA before going to City staff for NOD.

Motion: Affirm DPR motion that findings cannot be made and we cannot support carport since it is obvious mechanism to add garage at later date. We object to City practice of giving NOD before CPA has had opportunity to hear and vote on projects that involve Coastal Development Permits. (Costello/Neil)

Weiss: I urge Costello to remove the part about carport. It is a problem, but not illegal. Motion will be stronger without carport part.

Costello: I don't want to amend. I want City to recognize reality that carport is a structure in transition to garage and overrule it anyway.

Jackson: We want to oppose how City handles carports, but we won't get anywhere voting against projects because of that. It will cause them to think we are trying to change the code and ignore the rest of the motion. I would be happier with a clean motion that speaks to our issues with this project. Then I would vote for a separate motion encouraging the City to no longer approve projects that exceed FAR when carport enclosed.

Neil: Because it has been seconded, unless this motion is amended by maker, it has to be voted on.

Boyden: Point of order: A motion for an amendment can be made and seconded and if passed it will be struck from the motion and we will vote on amended motion. If motion for amendment is defeated the original motion will be voted on.

Costello undecided

Motion: Amend Costello's motion by striking any mention of carports. (Jackson/Boyden)

Vote: 13-3-1 Motion carries

In favor: Ahern, Boyden, Brady, Courtney, Davidson, Fitzgerald, Ish, Jackson, Mangano, Shannon, Steck, Weiss, Weissman, **Opposed:** Costello, Little, Neil

Abstain: Kane (chair)

Motion [restated]: Affirm DPR motion that findings cannot be made. The CPA opposes City staff issuing a Notice of Decision before a project involving a CDP is heard by the CPA. (Costello/Ish)

Findings stated in DPR motion: Failure to meet community plan, no transition between new and old, no visual articulation and offsetting planes, open garage still adds to bulk and scale, does not adhere to rhythm of 50' street frontages which is character on neighborhood, lack of vegetation.

Vote: 11-5-1: Motion carries

In favor: Brady, Costello, Courtney, Davidson, Ish, Jackson, Little, Neil, Shannon, Steck, Weiss,

Opposed: Ahern, Boyden, Fitzgerald, Mangano, Weissman

Abstain: Kane (chair)

Motion: We formally request that City cease approving carports that would cause a project to exceed the allowable FAR if counted as garages. (Jackson/Weiss) **Vote: unanimous, chair abstains. Motion carries.**

3. **Consent Agenda (single grouped action item)**

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees or boards in a single vote, upon which those recommendations become the recommendation of the LJCPA. The public may comment on consent items, but there is no presentation or debate. Anyone may request a consent item be pulled for full discussion by the LJCPA at a future meeting.

Supporting materials, if any: <u>https://lajollacpa.org/ljcpa-6-4-2020-materials-comments/</u>

3.1. 1136 Muirlands (Carraher)

(Process 2) Coastal Development Permit for a new 7,166 square-foot two-story single-family residence with a basement, attached 3 car garage, and new site retaining walls located at

1136 Muirlands Drive. The 0.49-acre site is in RS-1-2 and Coastal Overlay (Non-Appealable) Zone within the La Jolla Community Plan area. Council District 1.

DPR: Findings CAN be made, passes 6-0-1

3.2. 411 Sea Ridge (Salvagio)

(Process 3) Coastal Development Permit and Site Development Permit to demo an existing residence and construct a new two-story, 5,067 square foot residence, including garage, carport, decks, balconies and site improvements at a site located at 411 Sea Ridge Rd. The 0.21-acre site is in the RS-1-7 Zone, SCOZ-CB, FP 100, and the Coastal (Appealable) Overlay Zone within the La Jolla Community Plan area, and Council District 1.

DPR: Findings CAN be made, passes 4-3 (chair breaks tie)

3.3. 2702 Bordeaux (Katz)

(Process 3) Coast Development permit CDP and Site Development permit SDP for remodel and additions to an existing two-story 3263 square foot single dwelling unit for a new total of 7276 square feet on a Lot size of 0.4 acres located at 2702 Bordeaux Avenue in the La Jolla Shores Planned District (LJSPD) SF Zone, Coastal Height Limitation, Coastal Zone, Non Appeal Area 2, Parking Impact - Campus Parking Standards Transit Priority Area, and Transit Priority Area overlay zones within La Jolla Community Plan Area.

PRC: Findings CAN be made, passes 4-0-1

3.4. 7306 Draper (Bellava)

(Process 3) Tentative Map, Site Development Permit, and Coastal Development Permit for demolition of an existing single-family residence, subdivision of existing lot into two single lots, and construction of a new 3,615-sq-ft. residence on the south lot and a new 3,470-sq-ft residence on the north lot located at 7306 Draper Avenue. The 0.14-acre site is in RM-1-1 and Coastal Overlay (Non-Appealable) Zone within the La Jolla Community Plan area. Council District 1.

DPR: Findings CAN be made, passes 6-0-1

3.5. 7388 Eads (Keshavarzi)

(Process 2) Coastal Development Permit to convert a portion of an existing 2,670 square foot, two-story dwelling unit into a two-story, 894 square-foot companion unit at a site located at 7388 Eads Avenue. The 0.11-acre site is in the RM-1-1 Zone and Coastal (Non-Appealable Area) Overlay Zone within the La Jolla Community Plan, and Council District 1.

DPR: Findings CAN be made, passes 6-0-1

Item 3.2, 411 Sea Ridge pulled by Peter Fait

Mark Lyon, architect for Sea Ridge project: When was our project removed from consent because you sent a document this morning scratching it out prior to this meeting?

Jackson: Mr. Fait told me he was going to pull it. As courtesy to people coming to this meeting expecting it to be heard, I sent a note with strikethrough with a note that it was expected to be pulled.

Lyon: Pulling a project prior to the meeting is a violation of the Brown Act. All communication between public and trustees should occur during the meeting. I am not objecting, just trying to show trustees that you need to follow the rules.

Further discussion that CPA bylaws and Brown Act allows officers to meet privately to consider procedural matters and setting of agenda. Notifying chair of intent to pull has been done in past and that procedure was followed in this instance with approval of City Planner and agreement of applicant to hear this item next month due to full agenda with Covid limitations.

Motion: Adopt Consent Agenda items 3.1, 3.3, 3.4, 3.5. (Boyden/Fitzgerald) Vote: 15-0-2: Motion carries. Unanimous, 2 abstentions: Kane (chair) Courtney abstain.

4. Non-Agenda Public Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less

Emerson: La Jolla Shores Association meeting next Wednesday, 6:00 pm on Zoom. We will discuss outside dining on one block of Avenida de la Playa, new logo and branding for LJSA. We encourage ideas for logo. We will also bring you up to date on status of things with UCSD.

LaCava: I am running for City Council. Things are moving rapidly; the City proposal to change Community Review Board on Police Practices to independent board much like the independent auditor and budget analysist. Mayor, Police Chief and Police Union on board so you will see it on Nov. Ballot. I encourage you to vote yes. Also we are seeing discussions about changes to police policy and additional items to allow police to do their job more effectively and make sure all san Diegans are treated fairly and equitable. I encourage your participation in a student led protest from Cove to Windansea next week.

Rasmussen: City has installed crosswalks at foot of Playa del Norte as recommended last year.

5. Officer Reports

Information only unless otherwise noted

5.1. Treasurer

La Jolla Community Planning Association Treasurer's Report for June 4, 2020 Regular Meeting

\$851.21
\$00.00
\$00.00
Total Income

Expenses
Agenda printing
Rec Center
Zoom Meeting Expenses
Total Expenses
Net Income/(Loss)
Ending Balance of May 31, 2020

We expect a bill for \$150 next month for the post office box.

Donations can be made by mailing a check made out to the LJ CPA. Email the Treasurer at <u>EMSMIKE@SAN.RR.COM</u> for instructions and address.

5.2. Secretary

If you register and attend an online meeting your attendance will count towards your meeting attendance requirement. LJCPA is a membership organization open to La Jolla residents, property owners and local business and non-profit owners at least 18 years of age. Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: www.lajollacpa.org/. We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March. You can become a Member after completing the application and attending one meeting. You can maintain your membership by documented attendance at **one** meeting per year. If you do not attend one meeting per year, your membership will expire. To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at **three** LJCPA meetings in the preceding 12-month period.

Kane: Thanks to Suzanne for preparing the Annual Report required by CP 600-24 that compiles our activities for last year and includes all the projects we reviewed and the outcome of the votes. Go to our website to check out the report.

5.3. President

5.3.1. Ratification of committee appointees (action item)

List of proposed appointees will be on the Materials & Comments page (<u>https://lajollacpa.org/ljcpa-6-4-2020-materials-comments/</u>) addendum to this report

Ratification of appointments to joint and ad hoc committees of LJCPA and other community groups that are having their membership in these various organizations indemnified by the City. An update to the attached matrix: add to Coastal Access and Parking Board: Anne Kerr Bache, Toni Harris.

Motion: Accept appointments as presented with addition of two additional names from LJTC to Coastal Access and Parking Board. (Boyden/Ahern) **Vote:** Unanimous: 17-0-0 **Motion carries**

6. Non-Project Issues (action items)

The following are ACTION ITEMS unless otherwise noted and may be de novo considerations. Prior actions by committees/boards are listed for information only. Supporting materials from applicants or other interested parties, if any, are available via https://lajollacpa.org/ljcpa-6-4-2020-materials-comments/.

6.1. Parks Master Plan update

Kane: Parks Master Plan Update is a 3 year process initiated by the Mayor to look at the Parks and Beaches for the entire city. It has not been updated since 1956. It is important for us to weigh in now because the outcome of this plan will affect us for a long time. The Plan proposes some major changes to how the park system will be implemented. La Jolla Parks and Beaches was asked to prepare a response from LJ. Several LJ community groups and residents met and prepared a letter to send to the City by the May 25, deadline outlining issues important to La Jolla. We could not sign on to this letter by the deadline without trustee approval at a meeting. Since many community groups were also unable to respond by the deadline, the deadline has now been extended to June 11. We now have an opportunity to endorse this letter and/or add comments.

Claudia Baranowski: Presentation of slides showing an overview of Parks Master Plan, with explanation of new city parks standard. The parts of the Plan affecting LJ were then discussed with comments from the La Jolla Working Groups. (see P&B letter and draft endorsement on Materials & Comments page on LJCPA website)

Ahern: the normal features that give points in the new point system such as food concession areas, performance spaces are different for LJ. We want a special consideration for shoreline parks to keep them open and natural and the need for maintenance, funding and approval of projects. This is key for LJ.

Costello: LJ has not gotten as much city funding for our parks as other areas. The idea for private foundation funding mentioned by Claudia would help enhance many small parks throughout LJ.

Neil: I cannot support the paragraph on 2nd page of letter dated May 22, titled Updated Community Plan. I don't want the City to initiate a plan change to our CP considering what they have done to Morena. Most of these changes, including the Master Park Plan, are incorporated into the City's "Complete Communities Plan," which will negatively affect LJ. I recommend we support this letter with the removal of the paragraph asking the City to change the CP.

Ahern: OK to withdraw that paragraph now, but let's keep focused on altering the CP as a win/win for everyone.

Kane: Complete Communities Plan is highly controversial. At CPC meeting this was sprung on us by City staff as ready to go to City Council. It is a blunt force approach to make major changes to all community plans and was defeated by CPC. I support the Parks Master Plan generally. Undeveloped land that can be converted to parks is unavailable and City will need to make existing parks work harder to provide more activities. Funding sources from development impact fees and other sources are problematic for some communities. Linking parks using hiking or biking trails will entail converting streets and sidewalks. Open space will be lost.

Fitzgerald: Parks in La Jolla have greater intensity of use because of use by many nonresidents and therefore, require more maintenance which is not addressed in the Plan's point system.

Further discussion about problems of City updating CP and how to support the letter. It was agreed that a letter with support from unified LJ community would be most effective.

A suggestion was made that all groups revise the letter since deadline was extended.

It was clarified that the 4 groups would agree to revise the letter by removing the final sentence from paragraph titled <u>Updated Community Plan</u> and the word 'Updated' from the title of the paragraph. Then the LJCPA would sign the letter. It was confirmed that the LJCPA would be the fifth signer with that one amendment.

Motion: Ask the four original groups to revise the letter to remove word 'Updated' from the heading of that section and remove the second sentence from the paragraph. (Boyden/Neil)

Vote: unanimous. Motion carries

6.2. Slow Streets Program

Hadley: A slow street would only be open to traffic that lived or had business on the street. Through traffic would be on an honor system not to flow through. It would create more bicycle, pedestrian friendly streets slowed by less traffic and would connect to public facilities like parks, open space, rec centers, libraries. Council member asked Diane and the LJCPA to collect and vet suggestions to bring back to her with a recommended, prioritized list. A separate issue is to completely close some streets.

Kane: A map was presented on screen showing the streets that were chosen by a committee consisting of leaders of various LJ community groups. The map of La Jolla showed one continuous street – Coast Blvd. -- from the Cove to various shoreline neighborhoods down to Bird Rock. One segment beginning in LJ Shores, then another long segment from the Cove on Coast Blvd. to the Childrens' Pool to South Casa Beach, past the museum to Neptune along Camino de la Costa. A section on La Jolla Hermosa would be a good place for recreation and as a feeder into the bike trail. A portion of Wall St. was recommended for closure to support restaurants. This was submitted to City traffic engineers to determine if feasible. Another request for the 1000 block of Prospect was not included because Prospect needed to be open for through traffic. Hillside Drive was another suggestion for slowing because of construction projects clogging the street; it is noted for its scenic views and is a popular bike route that connects with Mt Soledad Park and open space. Through traffic trying to avoid Torrey Pines Rd. also causes serious problems on Hillside.

Boyden: Are slow streets only for the time of Covid restrictions? What change in Covid restrictions would cause this program to end? **Repy:** Perhaps when stay at home order is lifted. Some would like this to continue indefinitely.

Meredith Barratz: Consider Soledad Ave. if there is a possibility to expand.

Shannon: How would parking on Coast Blvd. work? Would businesses be hurt?

Costello: Consider going along Chelsea

Little: Close intersection of Linda Rosa St. and La Jolla Mesa. This will close entire area between Turquoise and Mission Blvd. to the school.

The plan and suggestions were approved by acclimation and will be forwarded to Councilmember Bry.

Other announcements

Hadley: Black Lives Matter March on Friday, June 12, starting at the Cove to Windansea beginning at noon. This march is supported by the Village Merchants Assn., Town Council and Councilmember Bry who will participate. Police are aware of event. We want to accommodate the student's free speech and support the event.

Mangano: At the Community Planners meeting the Complete Communities proposal was presented. I urge you to view the report from the CPC meeting. <u>https://lajollacpa.org/wp-content/uploads/2020/06/Complete-Communities-Housing-and-Mobility-Program.pdf</u>, go to the City's website for more information then contact the CPA with your comments.

Kane: UCSD presentation on their new plan will be postponed until after the Regents meet in July because we do not have room on the July agenda.

Meeting adjourned: 8:32 pm

Next meeting July 2, 2020 -- 6:00 pm



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

APPROVED Meeting Minutes for August 26, 2020 615 Prospect Street La Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Jane Potter	Present	Herbert Lazerow	Present
Andrea Moser	Present	Susanne Weissman	Present

1. Call to Order: 10:00 a.m.

Potter called the meeting to order at 10:00 a.m. Planning Department staff in attendance included: Marlon Pangilinan, Senior Planner and Tony Kempton, Association Planner as well as project applicants: Nick Wilson, Tony Crisafi, and Howard Katz.

2. Approval of the Agenda:

Lazerow moved to approve, Weissman seconded. Motion passed 4-0-0.

3. Approval of the July 20, May 18 Minutes, June 15:

Moser moved to approve July 20 minutes, Lazerow seconded. Approved 4-0-0. Lazerow said May and June still needed to be approved. However, Marlon Pangilinan, Senior Planner, mentioned that May and June minutes were previously approved.

4. Public Comment:

Marlon Pangilinan, made two announcements:

- Office of Boards and Commission is switching to a Zoom meeting format for future meetings. This will be the platform for the La Jolla Shores Advisory Board going forward.
- Regarding pulling agenda items by the Board for concerns over improper noticing, Pangilinan said the only noticing required for advisory bodies, such as La Jolla Shores Advisory Board, is regarding the 72 hours noticing for the Brown Act. Noticing for project neighbors within 300 feet of projects and hearing notices on project sites are not within the purview of the board.

5. Project Review:

ACTION ITEM A - Development Process Determinations (*Continued from July 20th*, 2020)

The Advisory Board is proposing to forward a letter to the Development Services Department discussing issues with recent development approvals and requesting an explanation as why some projects have bypassed consideration by the Board.

Board Comment:

- The Board Members discussed how many projects listed on Open DSD were approved by staff without going to LJSPDAB and that Process level 2 projects should not be allowed in the PDO.
- The Board Members also noted that the project on 8430 Clifford Lane should be included in list of projects questioned

Motion:

Lazerow moved to approve letter. Potter seconded. Motion approved 4-0-0

ACTION ITEM B- Hicks Residence (Continued from July 20th, 2020) Project: 560839 – 8405 Paseo Del Ocaso CDP/SDP

Location:8405 Paseo Del OcasoAPN: 346-082-0100Presented by:Nick Wilson, Tony Crisafi, NWilson@islandarch.com858-459-9291

Description: Proposal to construct a new 4,680 sf two-story, single-family residence on a 0.14- acre site. Applicant is seeking a recommendation of approval for a Site Development Permit (SDP)/Coastal Development Permit (CDP)

Presentation

- Applicant sent notice of open house to neighbors for their feedback
- Seven neighbors attended an open house on September 17, 2019
- In 2019 the La Jolla Planning Committee, Project Review Committee reviewed the garage addition and approved
- In July, 2020 the La Jolla Shores Advisory Board denied the project due to insufficient noticing
- In August, 2020 the architect mailed 100 notice letters to neighbors
- Driveway was moved to be conforming to Municipal Code.
- All setbacks have been increased with the new design
- The project is for 4,200 sf at .77 FAR
- The project driveway is 20 feet with 4 off-street parking spaces
- Project will use natural material including Santa Barbara stucco and wood timbers
- Proposed project won't affect public views
- Living area sf is similar to neighboring properties

- A new notice will be posted on-site
- Setbacks are conforming to neighborhood, which include some zero setbacks

Board Comment:

Comment from the Board mentioned that the setbacks were small but not enough to deny project and expressed a different interpretation of the view corridor than the applicant. A request was made by the board to set the garage back by an and additional 2 feet, to which the Applicant agreed.

Motion:

Moser moved to approve as presented with recommendation to adjust setback on kitchen by an additional 1 foot. Potter seconded. Motion failed 3-1-0. Lazerow moved to approve with front set back at 21 feet and kitchen setback by another 2 feet. No second. No additional motions were offered resulting in no action by the Advisory Board on this project.

ACTION ITEM C — PTS 646977 - Katz Remodel and Addition CDP/SDP Project: PTS 646977

Location: 2701 Bordeaux AvenueAPN: 344=100-1100Presented by: Howard Katz, Hkatz@hotmail.com, (858) 245-6888

Description: Proposed remodel and addition to an existing 3,263 sf single-family residence on a 0.40-acre site. Applicant is seeking a recommendation of approval for a Site Development Permit (SDP)/Coastal Development Permit (CDP).

Presentation

- Applicant met with all neighbors within 300 feet of project
- FAR is .40
- Square footage is 7,275
- Eight-foot easement for storm and sewer
- No variance requested
- No view issues
- Roof height has been decreased. Lowest on street
- Garage setback 20 feet to accommodate 7 off-street parking
- Quality material used, cedar, stucco

Public Comment:

Letter from Phillip Merten read by Marlon Pangilinan expressing that the project exceeds maximum structure height (southwest corner is 40 feet in height

Motion:

Potter moved to approve the project. Weissman opined that 40-foot height is a problem. Applicant said the house was built in 1969 and the only change is to actually

reduce the height. Lazerow in agreement with building height in violation of Municipal Code. Motion restated by Lazerow to approve if City determines building does not violate height limit. Weissman seconded. Motion passed 4-0-0.

Next meeting date: September – Date TBD

Adjournment: 12:15 p.m.

Minutes taken by Tony Kempton, Associate Planner, Planning Department

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Name of Individual: How	ard Katz		🛛 Owner		□ Successor Agency
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ABBREVIATIONS

BD. BITUM. BLDG. BLK. BLKG. BM. BTM. B.R. BRKT. BSMNT B/S B.U.R.

D. D.A. DBL. DEPT. D.F. DIA. DIM. DISP. D.O. DN. DR. D.S.P. DWG. DWR.

EA. E.F. EIFS

E.J. EL.

ELEC. ELEV. EMER. ENCL. E.O.S. E.P. EQ. EQPT. ETS E.W. EXW. EXH. EXIST. EXPO. EXT.

F.A. F.B. F.D. FDN. F.E.

F.E.C. F.F. F.F.EL. FIN. F.H.C. FLR. FLASH. FLOG. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. FR.

F.S. FT. FTG. FURN. FURR. FUT.

GA. GALV. G.B. GC. G.I. GL. GND. GR. GYP. BD. GYP.

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BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOTTOM BEDROOM BRACKET BASEMENT

CEMENT CERAMIC CAST IRON

CAST IRON CAST IRON PIPI CONTROL JOIN CHAIN LINK CEILING CAULKING CLOSET CLEAR CONC. MASON COUNTER

CLEAN OUT COLUMN

CONCRETE CONDITION CONNECTIO

ORRIDOF

CARPET

CEMENT PLASTER

CERAMIC TILE CENTER

COLD WATER

DEEP, DEPTH

DOUBLE

DETAIL

DOUBLE ACTIN

DISPENSER DOOR OPENIN DOWN DOOR

DOWNSPOUT DRY STAND PIF

EAS EAC

ELECTRICAL

ENCLOSURE EDGE OF SLAB

EQUAL EQUIPMENT

ELECTRIC V

FIRE ALARM FLAT BAR FLOOR DRAI

FIRE EXTINGUISHER FACTORY FINISH FINISH FLOOR ELEVA FINISH FIRE HOSE CABINET FLOOR

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FUCDING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUDS FIREPROOF(ING) FRAME

FULL SIZE FOOT OR FOOTING FURNISH FURRING FUTURE

GAUGE

GALVANIZEE GRAB BAR GLAZED COA

GALVANIZED IRO GLASS, GLAZING GROUND GRADE

FIRE EX

KATZ RESIDENCE ADDITION



1ST FLOOR SCOPE OF WORK: NEW BEDROOM ADDITION, NEW LIVING ROOM ADDITION, NEW KITCHEN ADDITION, NEW 3 CAR GARAGE, NEW DECK, PATIO COVER,

2ND FLOOR SCOPE OF WORK: NEW TV ROOM, NEW HOME OFFICE.

THE PROJECT SITE IS WITHIN THE CITY OF SAN DIEGO JURISDICTION. ALL THIS WILL BE DONE FOLLOWING ALL CITY CODES AND REQUIREMENTS. THIS PROJECT SHALL COMPLY WITH THE CITY OF SAN DIEGO CODES AND

DESIGNER: MODERN FORM DESIGNS SAN DIEGO, CALIFORNIA TEL: (619) 508-7039 CONTACT: JORGE M. RICO EMAIL: JORGERICO@MODERNFORMDESIGNS.COM WEB PAGE: WWW.MODERNFORMDESIGNS.COM

ENERGY REPORT / T-24: TIMOTHY CARSTAIRS CAL-CERTS INC. TEL: (805) 904-9048 CONTACT: TIM CARSTAIRS EMAIL: TITLE24@YAHOO.COM

KAPPA ENGINEERING INC. BILL DICK PE. SL. TEL: (619) 465-8948 CONTACT: BILL DICK EMAIL: BILLD@KAPPAINC.COM

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2.622 SO FT

) 2ND FLOOR:	1,049 SQ.FT.
) TOTAL SQ.FT. :	3,671 SQ.FT.
) 1ST FLOOR ADDITION:	2,215 SQ.FT.
) 2ND FLOOR ADDITION:	1,741 SQ.FT.
EW TOTAL ADDITIONS:	3,956 SQ.FT.
) 1ST FLOOR TOTAL:	4,837 SQ.FT.
P) 2ND FLOOR TOTAL:	2,790 SQ.FT.
EW HOME TOTAL SQ.FT. :	7,627 SQ.FT.

LEGAL DESCRIPTION

3361-LA JOLLA HIGHLANDS UNIT NO.2

2702 BORDEAUX AVE LA JOLLA CA 92037 2702 BORDEAUX AVE. LA JOLLA CA 92037 SAN DIEGO BUILDING DEPARTMENT SAN DIEGO, CA. 92109 INFO: 619-446-5000 TWO STORY SINGLE FAMILY DWELLING ROOM ADDITION / REMODEL

LJSPD-SF FRONT 5' FROM PROPERTY LINE SIDE 4' FROM PROPERTY LINE REAR 25' FROM PROPERTY LINE 17,424 SQ.FT. = 0.4 ACRES 0.60% 17,424 X 0.60% = 10,454 S.F. MAX.

OTHER POTENTIAL POLILITANTS ONTO PAVE SURFACES AND TRAVELED WAYS WIDTH SHALL BE 10FEFT OR THE MIN NECESSARY TO ACCOMMODATE EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (A) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3. "STORM WATER

UPDATED: 10/1/2018

NOT TO SCALE MANAGEMENT AND DISCHARGE CONTROL®

JOB SITE

SCOPE OF WORK

EXISTING TWO STORY HOME

CONSULTANTS DIRECTORY

LANDSCAPE ARCHITECT: ANGELINA SOTELO RLA5254 2643 4TH AVE. SAN DIEGO CA 92103 TE: (619)-544-1977 CONTACT: ANGELINA@ASOTELO.COM WEB-PAGE: WWW.ASOTELO.COM

STRUCTURAL ENGINEERING

LUIS LABRADA P.E. LAMAR ENGINEERING TEL: (619) 370-9515 CONTACT: LUIS LABRADA EMAIL: LLABRADA@LAMARENG.COM

FIRE ACCESS CONSULTANT: MARENGO MORTON ARCHITEC 7724 GIRARD AVE. LA JOLLA, CALIFORNIA 92037 TEL: (858) 459-376 CONTACT: MICHAEL MORTON

CODE COMPLIANCE

OMPLY WITH THE FOLLOWING CODES:

ALIFORNIA BUILDING CODE

ALIFORNIA RESIDENTIAL CODE ALIFORNIA MECHANICAL CODE

ALIFORNIA PLUMBING CODE

LIFORNIA ELECTRICAL CODE ALIFORNIA FIRE CODE

ALIFORNIA GREEN BUILDING STANDARDS CODE

ALIFORNIA ENERGY CODE

RESERVE FOR APPROVAL STAMPS

ATTACHMENT 11

MODERN FORM

DESIGNS RESIDENTIAL & COMMERCIAI DESIGN



IORGE M RICO DESIGNER / PROJECT COORDINATOR 2557 J Street San Diego CA 92102

MOBILE: 619-508-7039 orgerico@modernformdesigns.com www.modernformdesigns.com

NEW ROOM **ADDITION &** REMODEL 2702 BORDEAUX AVE. LA JOLLA CA 92037





A. General Applicable codes. All projects shall comply with the 2016 California Building Code (CBC) and/or California Residential Code (CRC), 2016 California Green Building Standards Code (Califoreia). 2016 California Electricato Code (CEC), 2016 California Mechanical Code (MC), 2016 California Plumbing Code (CPC), 2016 California Arenaical Code (MC), 2018 California Plumbing Code (CPC), 2016 California Fire Code (CFC), 2016 California Building Energy Efficiency Standards (CBEES), and all County of San Diego amendments.

A. Electrical, Plumbing, and Mechanical

- 1. Exterior lighting. All projects shall comply with the County of San Diego lighting
- 2. GFCI outlets, Ground Fault Circuit Interrupter (GFCI) outlets are required in bathrooms
- at kitchen countertops, at laundry and wet bar sinks, in garages, in crawlspaces, in unfinished basements, and outdoors. (CEC 210.8) AFCI outlets. Electrical circuits in bedrooms, living rooms, dining rooms, dens, closets hallways, or similar rooms must be protected by Arc Fault Circuit Interrupters (AFCI).
- (CEC 210 12) Luminaire requirements. Installed luminaires shall meet the efficacy and fixture requirements of CBEES 150.0(k).
- requirements of CBEES 150.0(k). 5. Smoke detectors in building remodels. Smoke detectors are required in each existing sleeping room, outside each separate sleeping area in the immediate vicinity of eleoping rooms, and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in atterations not resulting in removal of interior wall or celling finishes and without access via an attic, crawl space, of basement. (CRC RS14.3)
- Carbon monoxide detectors in building remodels. Carbon monoxide detectors are required outside each separate sleeping area in the immediate vicinity of sleeping rooms and on each story of a dwelling including basement. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceining finishes and without access via an attic, craw space, or basement. (CRC R315.3)
- Gram space, in baselineir, (CHC PG 10.5) Water heater seismic strapping, Minimum two 3/4-inch-by-24-gauge straps required around water heaters, with 1/4-inch-by-3-anch lag bolts attached directly to framing. Straps shall be at points within upper third and lower third of water heater vertical dimension. Lower connection shall occur minimum 4 inches above controls. (CPC 507.2)
- Gas appliances in garages. Water heaters and heating/cooling equipment capable of igniting flammable vapors shall be placed on minimum 18-inch-high platform unless listing report number provided showing ignition-resistant appliance. (CPC 507.13 and igniting flamm listing report CMC 305.1)
- Impact protection of appliances. Water heaters and heating/cooling equipment subject to vehicular impact shall be protected by bollards or an equivalent measure. (CPC 507.13.1 and CMC 305.11)
- 10. Water closet clearance. Minimum 30-inch-wide by 24-inch-deep clearance required at ront of water closets. (CPC 402.5)
- Shower size. Shower compartments shall have minimum area of 1024 square inches and be able to encompass a 30-inch-diameter circle. Shower doors shall have a minimum 22-inch unobstructed width. (CPC 408.5 and CPC 408.6)
- Fireplace appliances. Fireplaces with gas appliances are required to have the flue damper permanently fixed in the open position and fireplaces with LPG appliances have no 'pit' or 'sump' configurations. (CMC 303.7.1)
- Chimney clearance. Minimum 2-foot chimney clearance required above building within 10-foot horizontally of chimney. The chimney shall extend minimum 3 feet above highest point where chimney passes through roof. (CRC R1003.9)

C. Mechanical Ventilation and Indoor Air Quality (ASHRAE 62.2-2010)

- Transfer air. Ventilation air shall be provided directly from the outdoors and not as transfer air from adjacent dwelling units or other spaces, such as garages, unconditioned crawlspaces, or unconditioned attics. (CBEES 150.0(o))
- Instructions and labeling. Ventilation system controls shall be labeled and the home
 owner shall be provided with instructions on how to operate the system. (CBEES
- Combustion and solid-fuel burning appliances. Combustion appliances shall be properly vented and air systems shall be designed to prevent back drafting. (CBEES
- 4. Garages. The wall and openings between occupiable spaces and the garage shall be sealed. HVAC systems that include air handlers or return ducts located in garages shall have total air leakage of no more than 6% of total fan flow when measured at 0.1 in. w.c. using California Title 24 or equivalents. (CBEES 150.0(o))
- Minimum filtration. Mechanical systems supplying air to occupiable space through ductwork shall be provided with a filter having a minimum efficiency of MERV 6 or better. (CREES 150.0(o))
- Air inlets. Air inlets (not exhaust) shall be located away from known contaminants. 7. Air moving equipment. Air moving equipment used to meet either the whole-building
- ventilation requirement or the local ventilation exhaust requirement shall be rated it terms of airflow and sound. (CBEES 150.0(o))
- a. All continuously operating fans shall be rated at a maximum of 1.0 sone Intermittently operated whole-building ventilation fans shall be rated at a maximum of 1.0 sone.
- c. Intermittently operated local exhaust fans shall be rated at maximum of 3.0 sone.
- d. Remotely located air-moving equipment (mounted outside of habitable spaces) nee not meet sound requirements if at least 4 feet of ductwork between fan and intake of

D. Foundation and Underfloor

- Foundation reinforcement. Continuous footings and stem walls shall be provided with a minimum two longitudinal No. 4 bars, one at the top and one at the bottom of the footing. (CRC R403.13.3)
- Shear wall foundation support. Shear walls shall be supported by continuous foundations. (CRC 403.1.2)
- Concrete slabs-on-grade. Slabs-on-grade shall be minimum 3-1/2-inches thick. (CRC DCC0 1)
- 4. Vapor retarder. A 6-mil polyethylene or approved vapor retarder with joints lapped ninimum 6 inches shall be placed between a concrete slab-on-grade and the base course or subgrade. (CRC 506.2.3)
- Anchor bolts and sills. Foundation plates or sills shall be bolted or anchored to the foundation or foundation wall per the following (CRC R403.1.6 and CRC R602.11.1):
- Minimum 1/2-inch-diameter steel bolts
- b. Bolts embedded at least 7 inches into concrete or masonry c. Bolts spaced maximum 6 feet on center
- d. Minimum two bolts per plate/sill piece with one bolt located maximum 12 inches and minimum 7 bolt diameters from each end of each sill plate/piece Minimum 3-inch by 3-inch by 0.299-inch steel plate washer between sill and nut on each bolt
- 6. Hold-downs. All hold-downs must be tied in place prior to foundation inspection Protection of wood against decay. Naturally durable or preservative-treated wood shall be provided in the following locations (CRC R317.1):
- All wood in contact with ground, embedded in concrete in direct contact with ground, or embedded in concrete exposed to weather
- h Wood joists within 18 inches and wood airders within 12 inches of the exposed around crawl spaces shall be of naturally durable or preservative-treated wood
- Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from exposed earth shall be of naturally durable or
- d. Wood framing, sheathing, and siding on the exterior of the building and having clearance less than 6 inches from the exposed ground or less than 2 inches vertically from concrete steps, porch slabs, patio slabs, and similar horizontal surface exposed
- e. Sills and sleepers on concrete or masonry slab in direct contact with ground unless separated from such slab by impervious moisture barrier

D. Foundation and Underfloor (Continued)

- Ends of wood girders entering masonry or concrete walls with clearances less than 1/2 inch on tops, sides, and ends
- Wood structural members supporting moisture-permeable floors or roofs exposed to weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier
- roofs by an impervious moisture barrier Wood furring strips or other wood framing members attached directly to interior of exterior concrete or masonry walls below grade except where vapor relarder applied between wall and furring strips or framing members
- Underfloor ventilation. Underfloor areas shall have ventilation openings through foundation walls or exterior walls, with minimum net area of ventilation openings a square foot for each 150 square feet of underfloor area. On such ventilating open shall be within 3 feet of each corner of the building. (CRC R408.1)
- Underfloor access. Underfloor areas shall be provided with a minimum 18-inch by 24-inch access opening. (CRC R408.4)

E. Wood Framing

- Fastener requirements. The number, size, and spacing of fasteners connecting woor members/elements shall not be less than that set forth in CRC Table R602.3(1). (CRC R502.9, CRC R602.3, and CRC R802.2)
- Stud size, height, and spacing. The size, height, and spacing of studs shall be in accordance with CRC Table R602.3(5). (CRC R602.3.1)
- Sill plate. Studs shall have full bearing on nominal 2-inch thick or larger sill plate with width at least equal to stud width. (CRC R602.3.4)
- Bearing studs. Where joists, trusses, or afters are spaced more than 16 inches on center and the bearing studs below are spaced 24 inches on center, such members shall bear within 5 inches of the studs beneath, (CRC R602.3.3)
- 5. Drilling and notching of studs. Any stud in an exterior wall or bearing partition may be Drilling and notching of studs. Any stud in an exterior wall or bearing partition may b cut or notched to a depth not to exceed 40% of a single stud with. Studs in nonbearing partitions may be notched to a depth not to exceed 40% of a single stud with. Any stud may be bored or drilled, provided the diameter of the resulting hole is no more than 60% of the stud width, the edge of the hole is no more than 50% inch to the edge of the stud, and th hole is not located in the same section as a cut or notch. Studs located in exterior wall bearing partitions drilled over 40% and up to 60% shall also be doubled with no more than two successive studs bored. (CRC R602.6)
- Top plate. Nood stud valle shall be capeed with a double top plate installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates shall be offset at least 24 unless. Joints in plates need not occur over studs. Plates shall be minimum rominal 2 inches thick and have width at least equal to width of
- studs. (CRC R602.3.2) Top plate splices. Top plate lap splices shall be face-nailed with minimum 8 16d nails on each side of splice. (CRC R602.10.8.1)
- Drilling and notching of top plate. When piping or ductwork is placed in or partly in an beinning wird inclusing for pages mixel, people 30 occurs to signed, and the page of the p
- R602 6 1) Cripple walls. Foundation cripple walls shall be framed of studs not less in size than the studding above. Cripple walls more than 4 feet in height shall have studs sized as required for an additional story. Cripple walls with stud height less than 14 inches shall be sheathed on at least one side with a wood structural panel fastened to both the top and bottom plates in accordance with Table R602.3(1), or the cripple walls shall be structed of solid blocking. Cripple walls shall be supported on continuous dations. (CRC R602.9)
- Wall bracing. Buildings shall be braced in accordance with the methods allowed per CRC R602.10.2, CRC R602.10.4, and/or CRC R602.10.5.
- Braced wall line spacing. Spacing between braced wall lines shall not exceed 20 feet or alternate provisions of CRC R602.10.1.3. Shear wall cumulative length. The cumulative length of shear walls within each braced wall line shall meet the provisions of CRC Table R602.10.3(1) for wind loads and CRC Table R602.10.3(2) for seismic loads. (CRC R602.10.1.1)
- 13. Shear wall spacing. Shear walls shall be located not more than 25 feet on center. (CRC R602 10 2 2
- Shear wall offset. Shear walls may be offset out-of-plan not more than 4 feet from the designated braced wall line and not more than 8 feet from any other offset wall considered part of the same braced wall line. (CRC R602.10.1.2)
- Shear wall location. Shear walls shall be located at the ends of each braced wall line or meet the alternate provisions of CRC R602.10.2.2.
- 16. Individual shear wall length. Shear walls shall meet minimum length requirements of CRC R602 10 6 5 1
- 17. Cripple wall bracing. Cripple walls shall be braced per CRC R602.10.11. Shear wall and diaphragm nailing. All shear walls, roof diaphragms, and floor diaphragms shall be nailed to supporting construction per CRC Table R602.3(1). (CRC
- R604.3) 9. Shear wall joints. All vertical joints in shear wall sheathing shall occur over, and be fastened to, common studs. Horizontal joints in shear walls shall occur over, and be fastened to, minimum 1-1/2-inch-thick blocking. (CRC R602.10.10)
- Framing over openings. Headers, double joists, or trusses of adequate size to transfet oads to vertical members shall be provided over window and door openings in oad-bearing walls and partitions. (CBC 2304.3.2)
- 10. Joists under bearing partitions. Joists under parallel bearing partitions shall be of adequate size to support the load. Double joists, sized to adequately support the load, that are separated to permit the installation of piping or verts shall be full-depth solid-blocked with minimum 2-inch nominal lumber spaced at maximum 4 feet on center. Bearing partitions prependicular to joists shall not be offset from supporting girders, wals, or partitions more than the joist depth unless such joists are of sufficient size to
- carry the additional load. (CRC R502.4)
- Carry me adoutional load. (PRC R022.4) J obists above or belows hear walls. Where joists are perpendicular to a shear wall above or below, arim joist, band joist, or blocking shall be provided along the entrine length of the shear wall. Where joists are parallel to a shear wall above or below, a rim joist, end joist, or other parallel framing shall be provided directly above and/or below the shear wall. Where a parallel framing member cannot be located directly above and/or below the shear wall, fluid-epth blocking at 16-inn spacing shall be provided between the parallel framing members to each side of the shear wall. (CRC R602.10.8) Experiments with beam er advices with beam ereading with the member and the block with beam.
- 23. Floor member bearing. The ends of each floor joist, beam, or girder shall have From memory beams, the risks of each nod just, beam, or grote shall have minimum 1-1/2 inches of bearing on wood or metal and minimum 3 inches of bearing on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjoining stud or by the use of approved joist hangers. (CRC R502.6)
- 24. Floor joist Iap. Floor joists framing opposite sides over a bearing support shall lap minimum 3 inches and shall be nailed together within minimum 3 10d face nails. A wood or metal splice with strength equal to or greater than that provided by the Iap is permitted. (CRC R502.6.1)
- 25. Floor joist-to-girder support. Floor joists framing into the side of a wood girder shall be
- supported by approved framing anchors or on ledger strips minimum nominal 2 inches by 2 inches. (CRC R502.6.2)
- 2. Floor joist lateral restraint. Floor joists shall be supported laterally at ends and each intermediate support by minimum 2-inch full-depth blocking, by attachment to full-depth header, band joist, or rim joist, to an adjoining stud, or shall be otherwise provided with lateral support to prevent rotation. (CRC RS02.7)
- Floor joist bridge, Floor joist bridge, Floor (seeding normal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continu 1-inch-by-3-inch strip naled across the bottom of joists perpendicular to joists at maximum 8-dool intervals. (CRC R502.7.1)
- maximum 8-foot intervals. (CRC R502.7.1) **5.** Framing of floor openings. Openings in floor framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the floor joist. Single trimmer joists bearing. When the header joist span exceeds 4 feet, the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joist and header joist shall be doubled and of sufficient cross section to support the floor joists framing into the header. Approved hangers shall be used for the header-joist-torimmer joist conscitons when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by framing anchors or on ledger strips minimur 21 cnites by 2 herds. (CRC R622.0)

E. Wood Framing (Continued)

29. Girders. Girders for single-story construction or girders supporting loads from a single floor shall not be less than 4 inches by 6 inches for spans 6 feet or less, provided that girders are spaced not more than 8 feet on center. Other girders shall be designed to support the loads specified in the CBC. Girder end joints shall occur over supports. When a girder is spliced over a support, an adequate tie shall be provided. The ends of beams or girders supported on masonry or concrete shall not have less than 3 inches of bearing. (CBC 2308.7)

30. Ridges, hips, and valleys. Rafters shall be framed to a ridge board or to each other with a gusset plate as a tie. Ridge boards shall be minimum 1-inch nominal thickness and not less in depth than the cut end of the rafter. At all valley and hips, there shall be a valley tess in output tual the cucle to bit the rates. As a valuey and thus, there shall be a valuey or hip rafter not tess than 2-inch normal thickness and not less in deplit than the cut den of the rafter. Hip and valuey rafters shall be supported at the ridge by a brace to a bearing partition or be designed to carry and distribute the specific load at that point. Where the roof pitch is less than 3.12 slope (25% gradient), structural members that support rafters and cellings joists, such as ridges, hips, and valleys, shall be designed as beams. (CRC R002.3)

E. Wood Framing (Continued)

a. Ceiling is suspended under the floor framing

F General Material Specifications

R1003.19)

Frebocking of chimneys and fireplaces. All spaces between chimneys and floors and ceilings through which chimneys pass shall be freblocked with noncombustible material securely distenein (in place. The freblocking of spaces between chimneys and wood joists, beams, or headers shall be self-supporting or be placed on strips of metal or metal tah lial across the spaces between combustible material and the chimney. (CRC

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Draftstopping. In combustble construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1000 square feet. Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a loor membrane above, and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assembles under the following drcumstances (CRC R20:12):

Floor framing is constructed of truss-type open-web or perforated members

Draftstopping materials. Draftstopping shall not be less than 1/2-inch gypsum board

3/8-inch wood structural panels, or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of draftstops shall be maintained. (CR

52. Combustible insulation clearance. Combustible insulation shall be separated minimum

3 inches from recessed luminaires, fan motors, and other heat-producing devices. (CRC

Lumber. All joists, rafters, beams, and posts 2-inches to 4-inches thick shall be No. 2 grade Douglas Fir-Larch or better. All posts and beams 5 inches and thicker shall be No. 1 grade Douglas Fir-Larch or better. Studs ont more than 6 test (org shall be stud-grade Douglas Fir-Larch or better when supporting not more than one floor, roof, and ceiling. Studs longer than 8 feet shall be No. 2 grade Douglas Fir-Larch or better.

Concrete. Concrete shall have a minimum compressive strength of 2,500 psi at 28 days and shall consist of 1 part cement, 3 parts sand, 4 parts 1-inch maximum size rock, and not more than 7-1/2 gallons of water per sack of cement. (CRC R402.2)

walls shall conform to ASTM C 270 and shall consist of 1 part portland cement. 2-1/4 to 3

/10 part hydrated lime, 2-1/4 to 3 parts sand, and 1 to 2 parts gravel. Grout shall attair minimum compressive strength of 2,000 psi at 28 days. (CBC 2103.3)

Mortar. Mortar used in construction of masonry walls foundation walls and retainin

Grout Grout shall conform to ASTM C 476 and shall consist of 1 part portland ceme

Reinforcing steel. Reinforcing steel used in construction of reinforced masonry or concrete structures shall be deformed and comply with ASTM A 615. (CBC 2103.4)

Fasteners for preservative-treated wood. Fasteners for preservative-treated and fire-retardant-treated wood - including nuts and washers -- shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or cooper, ICRC R31

Exception: Fasteners other than nails and timber rivets may be of mechanica deposited zinc-coated steel with coating weights in accordance with ASTM I

Exception: Plain carbon steel fasteners acceptable in SBX/DOT and zinc borate preservative-treated wood in an interior, dry environment

Fasteners for fire-retardant-treated wood. Fasteners for fire-retardant-treated wood used in exterior applications or wet or damp locations shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.3)

Roof covering. All roof covering shall be installed per applicable requirements of CBC 1507. Roof coverings shall be at least Class A rated in accordance with ASTM E 108 or UL 790, which shall include covering of state. day or concrete roof tile, exposed concrete roof deck, ferrous or copper shingles or sheets. (County Building Code on 4 state-4.

Roof flashing. Flashing shall be installed at wall and roof intersections, at gutters,

wherever there is a change in roof slope or direction, and around roof openings. flashing is of metal, the metal shall be corrosion-resistant with a thickness of not than 0.019 inch (No. 26 galvanized sheet). (CRC R903.2.1)

Crickets and saddles. A cricket or saddle shall be installed on the ridge side of any chimney or penetration more than 30 inches wide as measured perpendicular to the slope. Cricket or saddle covering shall be sheet metal or the same material as the roc covering. (CRC R903.2.2)

Water-resistive barrier. A minimum of one layer of No. 15 asphalt felt shall be attached

to studs or sheathing of all exterior walls. Such feit or material shall be applied horizontaly, with the upper layer lapped over the lower layer minimum 2 inches. Where joints court, feit shall be lapped minimum 6 inches. The feit shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to maintain a waterher-resistant exterior wall envelope. (CRC R703.2)

Wall flashing. Approved corrosion-resistant flashing shall be applied shingle fashion at the following locations to prevent entry of water into the wall cavity or penetration of water to the building structural framing components (CRC R703.8):

Exterior door and window openings, extending to the surface of the exterior wall finish
or to the water-resistive barrier for subsequent drainage

Weep screed. A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed with a minimum vertical attachment flange of 3-1/2 inches shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 92. The weep screed shall be place

a minimum 4 inches above the earth or 2 inches above paved areas and shall be of a type allowing trapped water to drain to the exterior of the building. (CRC R703.7.2.1)

Grading permit. Grading permit required if volume of earth moved exceeds 200 cubic yards or if any cuts or fills exceed 8 feet in height/depth. (County Grading Ordinance 202)

Compaction report. Compaction report required for fill material 12 inches or more in

or surface of the wall, and shall ex

b. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings

e. Where exterior porches, decks, or stairs attach to a wall or floor assembly of

c. Under and at the ends of masonry, wood, or metal copings and sills

Dampproofing. Dampproofing materials for foundation walls end below grade shall be installed on the exterior surface of the wall,

Green Building Standards Code (CALGreen) Requirements

Applicability. CalGreen residential mandatory measures shall apply to every constructed building or structure and within any addition or alteration increasi

building's conditioned area, volume, or size. (CalGreen 101.3, CalGreen 301.1.1

Exception: All residential buildings undergoing permitted alterations, additi improvements shall replace noncompliant plumbing fixtures with water-con plumbing fixtures per CalGreen 301.1.1 and CalGreen 4.303.1

the top of the footing to finished grade. (CRC R406.1)

d. Continuously above all projecting wood trim

vood-frame construction

f. At wall and roof intersections

g. At built-in gutters

H. Grading and soils

ienth (CBC 1803 5 8)

Structural steel. Steel used as structural shapes such as wide-flange sections, channels, plates, and angles shall comply with ASTM A36. Pipe columns shall o with ASTM A53. Structural tubes shall comply with ASTM A500, Grade B.

Masonry. Masonry units shall comply with ASTM C 90 for load-bearing com masonry units. (CBC 2103.1)

parts sand, and 1/4 to 1/2 part hydrated lime. (CBC 2103.2)

Exception: 1/2-inch diameter or greater steel bolts

Class 55 minimum

G. Roofing and Weatherproofing

92 1 1505 1)

31. Ceiling joist and rafter connections. Ceiling joists and rafters shall be nailed other per CRC Table R802.5.1(9), and the rafter shall be nailed to the wall top. CRC Table R602.3(1). Ceiling joists shall be continuous or securely joined per Table R802.5.1(9) where they meet over interior partitions and are nailed to at the security of the term of the security of the securi afters to provide a continuous tie across the building when such joists are parallel rafters to provide a continuous tie across the bidding when such joists are parallel to rafters. Where ceiling joists are not ending the area the wait to palate, joists connected higher in the attic shall be installed as rafter ties, or rafter ties shall be installed to provide a continuous tie. Where ceiling joists are not parallel to rafter, rafter ties shall be be installed. Rafter ties shall be minimum 21 inches by 4 inches nominal, installed per CRS Table ROSS 1(8), or connections of equivalent capacities shall be provided. Where ceilings joists or rafter ties are not provided, the ridge formed by these rafters shall be supported by a wait or engineer ceising equider. (CRC RROS 23.1)

- 22. Ceiling joists tapped. Ends of ceiling joists shall be tapped minimum 3 inches or butted over bearing partitions or beams and toenailed to the bearing element. Where ceiling joists provide resistance to rafter thrust, lapped joists shall be nailed together per CRC Table R802.3(1) and butted joists shall be tied together in a manner to resist such thrust. (CRC R802.3.2)
- 33. Collar ties. Collar ties or ridge straps to resist wind uplift shall be connected in the upper third of the attic space. Collar ties shall be a minimum 1 inch by 4 inches nominal and spaced at maximum 4 feet on center. (CRC R802.3.1)
- spaced at inadiation; it ends of center, ICAC PROC 31, J 9, Purlins, Purlins installed to reduce the span of raffers shall be sized not less than th required size of the raffers they support. Purlins shall be continuous and shall be supported by 2-inch-by-4-inch normalia braces installed to bearing walls at a minimu 45-degree slope from horizontal. The braces shall be spaced maximum 4 feet on or with a maximum 8-four turbraced length. (CRC R020.5.1)
- Roof/ceiling member bearing. The ends of each rafer or ceiling joist shall have not less than 1-1/2 inches of bearing on wood or metal and not less than 3 inches of bearing on masonry or concrete. (CRC R802.6)
- Roof/ceiling member lateral support. Roof framing members and ceiling joists with a nominal depth-to-thickness ratio exceeding 5:1 shall be provided with lateral support at points of bearing to prevent rotation. (CRC R802.8)
- 7. Roof/ceiling bridging. Rafters and ceiling joists with a nominal depth-to-thickness ratio exceeding 6:1 shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch wood strip nailed across the rafters or ceiling joists at maximum 8-foot intervals. (CRC R802.8.1)

38. Framing of roof/ceiling openings. Openings in roof and ceiling framing shall be frame with a header and trimmer joists. When the header joist span does not exceed 4 feet the header joist may be a single member the same size as the ceiling joist or rafter. Single timmer joist may be used to carry a single header joist located within 3 feet of the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joist and header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafters framing into the header. Approved hangers shall be used for the deder joist-bortimmer-joist connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by framing anchors or on ledge strips minimum 2 inches by 2 inches. (CRC R502.10)

Roof framing above shear walls. Rafters or roof trusses shall be connected to top plates of shear walls with blocking between the rafters or trusses. (CRC R602.10.8)

- 40. Roof diaphragm under fill framing. Roof plywood shall be continuous under California
- 41. Roof diaphragm at ridges. Minimum 2-inch nominal blocking required for roof diaphragm nailing at ridge
- Blocking of roof trusses. Minimum 2-inch nominal blocking required between trusses a ridge lines and at points of bearing at exterior walls.
- Truss clearance. Minimum 1/2-inch clearance required between top plates of interior non-bearing partitions and bottom chords of trusses.
- 44. Drilling, cutting, and notching of roof/floor framing. Notches in solid lumber joists, rafters, blocking, and beams shall not exceed one-sixth the member depth, shall be not longer than one-third the member depth, and shall not be located in the middle one-third longer than one-timic the member depth, and shall not be located in the model one-time of the span. Nothers at member ends shall not exceed one-fourth the member depth. The tension side of members 4 inches or greater in nominal thickness shall not be notched except at member ends. The diameter of holes bored or cut into member shall not exceed one-third the member depth. Holes shall not be closer than 2 inches to the top or bottom of the member or loary other hole located in the member. Where the member is also notched, the hole shall not be closer than 2 inches to the notor. (CRC R502 8 1)
- Exterior landings, decks, balconies, and stairs. Such elements shall be positive anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails r nails subject to withdrawal. (CRC R311.3)

Horizontally at intervals not exceeding 10 fee

At chimneys and fireplaces per item E.49

a. Two-inch nominal lumber

wood structural panel

1/2-inch gypsum board

1/4-inch cement-based millboard

- 46. Fireblocking. Fireblocking shall be provided in the following locations (CRC R302.11
- a. In concealed spaces of stud walls and partitions, including furred spaces, and parallel ows of studs or staggered studs, as follows i. Vertically at the ceiling and floor levels

At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings

d. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion

One thickness of 23/32-inch wood structural panel with joints backed by 23/32-inch

Batts or blankets of mineral or glass fiber of other approved materials installed in such

Latts of balances of mineral or glass fiber of other approved materials installed in such a manner as to be securely retained in place. Batts or blankets of mineral or glass fiber or other approved non-rigid materials shall be permitted for compliance with the 10-loot hirtzontal interloloxing in values constructed using parallel rows of study or staggered studs. Unfaced fiberglass batt insulation used as fireblocking shall fill the entire cross-section of the wall carry to a minimum height of 16 infered on the measured values with teplops, concluding and the study of the section of the wall carry to be any section of the wall carry to be an infered on the section of the wall carry to be values with the plops, concluding as the study of the formation moment labeled in the anal notice.

be used as a fireblock unless specifically tested in the form and manner intended for use to demonstrate its ability to remain in place and to retard the spread of fire and hot

48. Fireblocking at openings around vents, pipes, ducts, cables, and wires at ceiling

and floor level. Such openings shall be fireblocked with an approved material to resis the free passage of flame and products of combustion. (CRC R302.11)

One thickness of 3/4-inch particleboard with joints backed by 3/4-inch partic

c. In concealed spaces between stair stringers at the top and bottom of the run

Cornices of a two-family dwelling at the line of dwelling-unit separation

Two thicknesses of one-inch nominal lumber with broken lap joints

17. Fireblocking materials. Except as otherwise specified in items E.48 and E.49, fireblocking shall consist of the following materials with the integrity maintained

I. (CALGreen) Requirements (Continued) Water conserving plumbing fixtures and fittings. Plumbing fixtures and fittings shall comply with the following per CalGreen 4.303.1:

I. (CALGreen) Requirements (Continued)

Water closets: Maximum 1.28 gallons per flush

ot required to have rain sensor input.

Exception: Excavated soil and land-clearing debris.

(C&D) Facilities Guide is online at:

demolition waste generated

the life cycle of the structure

Water reuse systems

imidity level in that range.

NSF/ANSI 140 at the Gold level.

Hardwood plywood veneer core

b Hardwood plywood composite core

d. Medium-density fiberboard (MDF)

Thin MDF (5/16 inch or less)

Particle board

Schools program

Scientific Certifications Systems Indoor Advantage™ Gold

which conserve water

Operation and maintenance instructions for the following:

Space conditioning systems, including condensers and air filt
 Landscape irrigation systems.

Roof and yard drainage, including gutters and dow

(CRC R317 3 1)

the enforcing agency

(CALGreen 4.408.1)

Urinals: Maximum 0.5 gallons per flush Single showerheads: Maximum flow rate of 2.0 gallons per minute at 80 ps

Kitchen faucets: Maximum flow rate of 1.8 gallons per minute at 60 psi

Multiple showerheads serving on shower: Maximum combined flow rate of 2.0 galons per minute at 80 psi Lavatory fauces: Maximum flow rate of 1.2 galons per minute at 60 psi, minimum flow rate of 0.8 galons per minute at 20 psi

Exception: Temporary increase allowed to maximum 2.2 gallons per minute at 60 psi if faucet defaults back to maximum 1.8 gallons per minute at 60 psi

Irrigation controllers. Automatic irrigation system controllers for landscaping shall comply with the following (CalGreen 4.304.1):

comply with the following (call/siden 4.304.1): Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change. Weather-based controllers without integral rain a sensors or communication systems that account for local rainfail shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are

Joints and openings. Openings in the building envelope separating conditioned space

Exception: Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such opening with cement mortar, concrete masonry or a similar method acceptable to

Construction waste reduction, disposal, and recycling. Reduce and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition debris.

Exception: Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite

at: 1g/Files/Construction_Guide_SJ8_Pgs_1-27.pdf.

The County of San Diego, Department of Public Works, Construction & Demolition

The provide the second seco

Identify the construction and demoliton waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale

Identify diversion facilities where the construction and demolition waste materials will

d. Identify construction methods employed to reduce the amount of construction and

e. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both

Decatculated by weight or volume, but not by both Operation and maintenance manual. Prior to final inspection, a manual, compact disc, web-based reference, or other acceptable media which includes all of the following shal be placed in the building (CALGreen 4.410.1):

Directions to owner or occupant that manual shall remain with the building throughout

Equipment and appliances, including water-saving devices and systems, HVAC system, photovoltaic systems, water-heating systems and other major appliances and

Information from local utility, water, and waste recovery providers on methods to

Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative

Information about water-conserving landscape and irrigation design and controllers

Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.

water at least 5 feet away from the foundation. h. Information on required routine maintenance measures, including, but not limited to, cauking, painting, grading around the building, etc. I. Information about state solar energy and incentive programs available. j. A copy of all special inspection verifications required by the enforcing agency or code. Covering of duct openings and protection of mechanical equipment during construction. At the time to routing installactions graphenetic during the construction. At the time to routing adjustment of the other or the other vertices are distribution component openings shall be covered with tage, plastic, sheetmeetal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system. (CALGreen 4.504.1) Arthesives seatants caults paints and restings nonlitation control. Afrikesives

which may collect in the system. (CALGreen 4.504.1)
9. Adhesives, sealants, caulks, paints, and coatings pollutant control. Adhesives (including carpet adhesives), sealants, caulks, paints, and coatings shall comply with VOC limits per CALGreen 4.564.2. Verification of compliance shall be provided at the request of the enforcing agency. (CALGreen 4.504.2.1)
10. Carpet systems, All carpet installed in the building initration shall meet the testing and product requirements of one of the following (CALGreen 4.504.3):

Carpter and Rug Institute's Green Label Plus Program (all carpet cushion must meet the requirements of this program).
 California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350).

Resilient flooring systems. At least 80 percent of the floor area receiving resilient flooring shall comply with one of or more of the following (CALGreen 4.504.4):

a. VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database

b. Products compliant with CHPS criteria certified under the Greenquard Children &

Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program

12. Composite wood products. Hardwood plywood, particleboard and medium density

Meet the California Department of Public Health, "Standard Method for the Tesling and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification

fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARPs Air Toxics Control Measure for Composite Wood (17 CCR 3920 et eac) by or boftere thad dess specified in those sections, as shown in CalGreen Table 4.504.5. The following limits are in parts per million (CALGreen 4.504.5):

0.05

0.11

0.13

further reduce resource consumption, including recycle programs and locations. Public transportation and/or carpool options available in the area.

Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream)

rom unconditioned space needed to accommodate utility and other penetri sealed in compliance with the California Energy Code. (CALGreen 4.406.1)

- Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following (CALGreen 4.505.3):
- Moisture content shall be determined with either a probe-type or contact-type moisture meter b. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade
- stamped end of each piece to be ver c. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency p time of approval to enclose the wall and floor framing.
- Inte of approva to enclose the wait and noon natining. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavilies. Wet-applied insulation products shall follow the manufacturers' drying ecommendations prior to enclosure
- 14. Bathrooms with a bathrub and/or shower shall be mechanically ventilated per the following (CalGreen 4.506.1):
- a. Fans shall be ENERGY STAR compliant and ducted to terminate outside
- Unless functioning as a component of a whole-house ventilation system, fans shall have humidity controls capable of adjustment manually or automaticall -- between a relative humidity range of 50% to 80%.
- Heating and air-conditioning system design. Heating and air-conditi systems shall be sized, designed, and have their equipment selected u following methods (CALGreen 4.507.2):
- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J, ASHRAE handbooks, or other equivalent design software or methods.
- b. Duct systems are sized according to ANSI/ACCA 1 Manual D 2009, ASHRAE handbooks, or other equivalent design software or methods.
- Select heating and cooling equipment according to ACCA 36-S Manual S or other equivalent design software or methods

ATTACHMENT 11

MODERN FORM

DESIGNS RESIDENTIAL &

COMMERCIAL DESIGN



JORGE M. RICO DESIGNER / PROJECT COORDINATOR 2557 J Street San Diego CA 92102

MOBILE: 619-508-7039 formdesigns.cor rgerico@modernformdesigns.con www.modernformdesigns.com

NFW ROOM **ADDITION &** REMODEL 2702 BORDEAUX AVE. LA JOLLA CA 92037

REVISIONS :	DATE :
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START DATE: 1st SUBMIT DATE: 2nd SUBMIT DATE:	02-27-2019 09-05-2019
DRAWN BY:	JORGE RICO
APPROVED BY:	H. KATZ
PROJECT NO .:	01-0219
SHEEL	NO





M O D E R N FORM D E S I G N S RESIDENTIAL & COMMERCIAL DESIGN



JORGE M. RICO DESIGNER / PROJECT COORDINATOR 2557 J Street San Diego CA 92102

MOBILE: 619-508-7039 jorgerico@modernformdesigns.com www.modernformdesigns.com

NEW ROOM ADDITION & REMODEL 2702 BORDEAUX AVE. LA JOLLA CA 92037

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START DATE: 1st SUBMIT DATE: 2nd SUBMIT DATE:	02-27-2019 09-05-2019
DRAWN BY:	JORGE RICO
APPROVED BY:	H. KATZ
PROJECT NO.:	01-0219
SHEET	NO.

SITE PLAN PHOTO SURVEY SP

PHOTO SURVEY

	AN LEGEND
	PROPERTY LINE STREET CENTER LINE ROAD EASEMENT PERIMETER CONTROL BULLDNO PERIMETER SET-BACK LINE EDGE OF PAVEMENT BARB WIRE FENCE
	CONCRETE SIDE-WALK AND CURB
Ð	WATER HEATHER
2	CONCRETE COLUMNS
5	ACCESSIBLE PARKING SYMBO
	CONCRETE PLANTERS
0	LANDSCAPE AEAS
-	ELECTRICAL METER
O⊧ ⊐∘	BACK FLOW DEVICE
-	GAS METER
<u>) NAME</u> 10 S.F.	WATER METER BUILDING IDENTIFICATION DESIGNATION
ELEV.= 4,093 FT	ELEVATION



M O D E R N FORM D E S I G N S RESIDENTIAL & COMMERCIAL DESIGN



JORGE M. RICO DESIGNER / PROJECT COORDINATOR 2557 J Street San Diego CA 92102

MOBILE: 619-508-7039 jorgerico@modernformdesigns.com www.modernformdesigns.com

NEW ROOM ADDITION & REMODEL 2702 BORDEAUX AVE. LA JOLLA CA 92037

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	7-2019 5-2019
DRAWN BY: JORGE	ERICO
APPROVED BY: H	. KATZ
PROJECT NO.: 0	1-0219
SHEET NO.	

SITE PLAN

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	AN LEGEND
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()	WATER HEATHER
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	(E) RETAINING WALL
	CONCRETE PLANTERS
0	DOWNSPOUTS DRAINING TO LANDSCAPE AEAS
	ELECTRICAL METER
eO≈ ∟⇔₀	BACK FLOW DEVICE
	GAS METER
	WATER METER
<u>BLDGNAME</u> 20000 S.F.	BUILDING IDENTIFICATION DESIGNATION
- ELEV.= 4,093 FT.	ELEVATION
\rightarrow	DIRECTION OF LOT DRAINAGE



GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.

2. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMEN

3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.

4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.

ONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT

6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY

7. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.

8. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.

9. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (858) 627-3200.

10 CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND LITULTY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING

11. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD

12. CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.

13. AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE REDUNE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED TO AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 9573 CHESAPEAKE DRIVE, SAN DIEGO, CA 92123.

14. "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.

15. MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.

16 CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-54 OF THE WHITEBOOK "RED-LINES AND RECORD DOCUMENTS"

17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.

18. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALLY AVAILABLE FOR THAT USE. NEW BOXES AND LIDS SHALL BE INSTALLED.

19 THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT 19. THE ARCA WHICH IS DEFINED AS A NOW GRADING ARCA AND WHICH IS NOT DO BE DISIDATED BYTAIL DE STARLE DE STARLE D'ANTAL OF THE MENTOR. THE FERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL NOT RELIEVE THE APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS FROM APPLICABLE ACENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY ACENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY ACENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF TISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.

20. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR

21. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

MONUMENT PRESERVATION CERTIFICATION

THE PERMITTEE SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ALL SURVEY MONUMENTS DESTROYED BY CONSTRUCTION. IF A VERTICAL CONTROL MONUMENT IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION SHALL BE NOTIFIED IN WRITING AT LEAST 7 DAYS PRIOR TO DEMOLITION/CONSTRUCTION.

THE TYPE OF CONSTRUCTION WILL NOT AFFECT ANY SURVEY MONUMENTS (THIS LINE IS FOR PROJECTS THAT ARE PROPOSING NO DEMOLITION, TRENCHING, ASSOCIATED WITH A CIP, ETC)

DATE

PRIOR TO PERMIT ISSUANCE, THE PERMITTEE SHALL RETAIN THE SERVICE OF A PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING WHO WILL BE RESPONSIBLE FOR MONUMENT PRESERVATION AND SHALL PROVIDE A CORNER RECORD OR RECORD OF SURVEY TO THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF APPLICABLE, (SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA)

I HAVE INSPECTED THE SITE AND DETERMINED THAT:

NAME

NAME

- □ NO SURVEY MONUMENTS WERE FOUND WITHIN THE LIMITS OF WORK □ SURVEY MONUMENTS EXISTING IN OR NEAR LIMITS OF WORK WILL BE PROTECTED IN PLACE □ SURVEY MONUMENTS HAVE BEEN TIED OUT AND A FINAL OR PARCEL MAP WILL BE FILED
- (NO CORNER RECORD OR RECORD OF SURVEY WILL BE REQUIRED)
- □ OTHER AGENCY SURVEY MONUMENT (CORNER RECORD OF RECORD OF SURVEY MAY NOT BE REQUIRED). AGENCY HAS BEEN NOTIFIED OF POSSIBLE MONUMENT DESTRUCTION AND A LETTER PROVIDED TO CITY
- □ A PRE-CONSTRUCTION CORNER RECORD (OR RECORD OF SURVEY) FOR SURVEY MONUMENTS FOUND WITHIN THE LIMITS OF WORK HAS BEEN FILED.

CORNER RECORD #_____ OR RECORD OF SURVEY #_____

EXP. XX-XX-XX DATE P.L.S. / R.C.E. NO. XXXXX NAME

POST CONSTRUCTION CORNER RECORD (AS-BUILT ITEM)

D POST CONSTRUCTION CORNER RECORD FOR SURVEY MONUMENTS DESTROYED DURING CONSTRUCTION AND REPLACED AFTER CONSTRUCTION

CORNER RECORD #_____ OR RECORD OF SURVEY #_____

EXP. XX-XX-XX DATE P.L.S. / R.C.E. NO. XXXXX

GRADING PLANS FOR:

2702 BORDEAUX AVENUE



VICINITY MAP

NO SCALE

GRADING + GEOTECHNICAL SPECIFICATIONS

 ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEOTECHNICAL INVESTIGATION REPORT(S) ENTITLED:

REPORT TITLE, PROJECT NAME, PROJECT LOCATION, PREPARED BY (COMPANY NAME), DATED (THEIR COMPANY PROJECT NO.)

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS.

2. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.

3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE SAN THROUGH THE CITY OF SAN DIEGO GUIDELINES FOR CENTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT SHALL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHN 30 DAYS OF THE COMPLETION OF GRADING, WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR COTECHNICAL VERPORT(S), THE INAL "AS-GRADED" GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.

4. THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEOTECHNICAL CONSULTANT(5) OF RECORD. IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTI. THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEOTECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIEV THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.

5. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT

P.E. OR G.E.	DATE
P.G. OR C.E.G.	DATE

R.C.E. NO. 36543

ADDRESS TELEPHONE NUMBER

NAME

"IF THE PROFESSIONAL ENGINEER (P.E. OR G.E.) AND PROFESSIONAL GEOLOGIST (P.G. OR C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT TI DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A

REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

EXP. XX-XX-XX

DATE



PHONE: (XXX) XXX-XXXX

SITE ADDRESS

2702 BORDEAUX AVENUE, LA JOLLA, CA 92037

KAPPA SURVEYING & ENGINEERING; INC 8402 N. MAGNOLIA AVENUE SUITE C, SANTEE, CA 92071

DATE: FEBRUARY 16, 2021

344-100-11-00

SHEET INDEX

TITLE SHEET	C1
EXISTING TOPOGRAPHY	C2
GRADING AND DRAINAGE PLAN	C3
EROSION CONTROL PLAN	C4

GRADING QUANTITIES

GRADED AREA	XXXX [ACRES]	MAX. CL
CUT QUANTITIES	XXXX [CYD]	MAX CU
FILL QUANTITIES	XXXX [CYD]	MAX. FIL
IMPORT/EXPORT	XXXX [CYD]	MAX FIL

PROTECTION NOTES

1. TOTAL SITE DISTURBANCE AREA (ACRES) WATERSHED: _____ HYDRAULIC SUB AREA NAME AND NUMBER: ____

3. CONSTRUCTION SITE PRIORITY □ ASBS □ HIGH □ MEDIUM









EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S. THE WATER QUALITY TECHNICAL REPORT (WOTR) IF APPLICABLE.

2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS

3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS. THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.

4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.

5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.

6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.

7. FOUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE A REGIMENT WITH THE TRANSPORT OF THE AT CONTRACT OF THE DE TRANSPORT OF THE AT CONTRIBUTION FOR THE AT CONTRIBUTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.

9. THE CONTRACTOR SHALL INSTALL ADDITIONAL FROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED. BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISI

10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.

12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.

13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.

14 THE CONTRACTOR SHALL ONLY GRADE INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.

THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER I OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ½ INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.

2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ½ INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN

3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE

PERMANENT POST-CONSTRUCTION BMP NOTES

OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SUMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.

2. ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE EVIGNMERE OF OWER, APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

SPECIAL RAINY SEASON PROVISIONS

DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

- THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO MAY
- 2. ALL EROSION CONTROL FEATURES (BMPs) SHALL BE INSPECTED
- AT LEAST ONCE EACH WEEK.
- SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED. 3.

CELEBRATING 1979 - 2019 YEARS KAPPA SURVEYING & ENGINEERING, INC. 8402 N. MAGNOLIA AVE, SUITE C, SANTEE, CA 92071 PHONE: (619) 449-2600

EROSION CONTROL LEGEND

THE FOLLOWING EROSION CONTROL BMPs WILL BE USED ON THIS PROJECT, ALONG WITH ALL ELEMENTS OF THE PROJECT'S WATER POLLUTION CONTROL PROGRAM (WPCP) WHICH ARE INCLUDED HEREIN BY REFERENCE.

TEMPORARY BMP NAME	BMP DWG NO
<u>GENERAL EROSION CONTROL BMPS</u> SCHEDULING/PHASING CONSTRUCTION MANAGE SOIL STOCKPILES	EC-1 WM-3
PHYSICAL STABILIZATION BMPS SOIL BINDERS	EC-5
<u>VEGETATION STABILIZATION BMPS</u> PRESERVE EXISTING VEGETATION ESTABLISH PERMANENT LANDSCAPING	EC-2
<u>PERIMETER CONTROL BMPS</u> SILT FENCING FIBER ROLLS GRAVEL BAG BARRIERS	SE-5 SE-6
<u>SEDIMENT CAPTURE BMPS</u> STORM DRAIN INLET PROTECTION	SE-10
<u>OFF-SITE SEDIMENT TRACKING BMPS</u> TEMPORARY CONSTRUCTION ENTRANCE STREET SWEEPING & VACUUMING	TC-1 SE-7
SPILL CONTROL BMPS SPILL PREVENTION & CONTROL WASTE MANAGEMENT BMPS SOLID WASTE MANAGEMENT STOCKPILED WASTE MANAGEMENT CONCRETE WASTE MANAGEMENT LIQUID WASTE MANAGEMENT	WM-4 WM-5 WM-3 WM-8 WM-10
MATERIAL STORAGE & HANDLING BMPS MATERIAL STORAGE PAVING & GRINDING OPERATIONS CONCRETE CURING CONCRETE FINISHING	WM-1 NS-3 NS-12 NS-14
<u>NON-STORM WATER MANAGEMENT BMPS</u> WATER CONSERVATION PRACTICES	NS-1
<u>PARTICULATE & DUST CONTROL BMPS</u> WIND EROSION CONTROL	WE-1
FINAL STABILIZATION BMPS FINAL STABILIZATION	

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMPS SHOWN IN THIS CHECKLIST NOTE: ALL SELECTED BMPS MUST BE SHOWN ON THE CONSTRUCTION PLANS

SOURCE CONTROL REQUIREMENT

1		
	REVENTION OF ILLICIT DISCHARGES INTO THE MS4	\boxtimes
	TORM DRAIN STENCILING OR SIGNAGE	\boxtimes
4.2.3 PI	ROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON,	
RUNOF	F, AND WIND DISPERSAL	
4.2.4 PI	ROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON,	
RUNOF	F, AND WIND DISPERSAL	
4.2.5 PI	ROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	\boxtimes
4.2.6 Bl	MPS BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	
ON-S	SITE STORM DRAIN INLETS	\boxtimes
INTER	RIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	
INTER	RIOR PARKING GARAGES	
NEED	FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	\boxtimes
	ISCAPE/OUTDOOR PESTICIDE USE	\boxtimes
POOL	S, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	\boxtimes
FOOD	SERVICE	
REFU	ISE AREAS	
INDU.	STRIAL PROCESSES	
OUTD	DOOR STORAGE OF EQUIPMENT OR MATERIALS	
VEHIC	CLE/EQUIPMENT REPAIR AND MAINTENANCE	
FUEL	DISPENSING AREA	
LOAD	ING DOCKS	
	SPRINKLER TEST WATER	\boxtimes
MISCI	ELLANEOUS DRAIN OR WASH WATER	
PLAZ	AS, SIDEWALKS, AND PARKING LOTS	\boxtimes
SC-E	SA: LARGE TRASH GENERATING FACILITIES	
SC-E	B: ANIMAL FACILITIES	
SC-E	SC: PLANT NURSERIES AND GARDEN CENTERS	
00.4	5D: AUTOMOTIVE-RELATED USES	П

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMPS SHOWN IN THIS CHECKLIST NOTE: ALL SELECTED BMPS MUST BE SHOWN ON THE CONSTRUCTION PLANS

SITE DESIGN REQUIREMENT

4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	\boxtimes
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	\boxtimes
4.3.3 MINIMIZE IMPERVIOUS AREA	\boxtimes
4.3.4 MINIMIZE SOIL COMPACTION	\times
4.3.5 IMPERVIOUS AREA DISPERSION	\boxtimes
4.3.6 RUNOFF COLLECTION	
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	\boxtimes
4.3.8 HARVESTING AND USING PRECIPITATION	
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:	



	APPLIED?			
YES	□ <i>NO</i>		N/A	
YES	$\square NO$		N/A	
YES	$\square NO$		N/A	
YES	$\square NO$		N/A	
YES	$\square NO$		N/A	
YES	$\square NO$	\boxtimes	N/A	
YES	D NO		N/A	
YES	$\square NO$	\boxtimes	N/A	





SE PULL 1	HOSE PULL 2
82'-0 1/8"	A- 73'-8"
32'-1 5/8"	B- 30'-10 3/4"
18'-2 3/8"	C- 16'-7 3/8"
17'-7 7/8"	D- 4'-7 3/4"
	E- 24'-2 1/8"
L = 150'	TOTAL = 150'

Marengo Morton Architects 7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3768 Michael Morton AIA Claude Anthony Marengo Des. C-19371 RENEWAL 04/30/2021 KATZ RESIDENCE FIRE ACCESS PLAN 2702 Bordeaux Ave. La Jolla, CA 92037 9/25/2020 PROJECT START Δ \triangle PHASE FEASIBILITY PROJECT NO. 2020-35 REVIEWED BY CAM DRAWN BY AP DATE 12/2/2020

PROPOSED FIRE ACCESS PLAN

A-1.1.1

San Diego Municipal Code §142.0412 - Brush Management

Table 142-04H Standard Width Provided Width
35-feet



The Zone Two width may be decreased by $1\frac{1}{2}$ feet for each 1 foot of increase in Zone One width. (f)

Zone One Requ (g)

- (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
- (2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustibl construction that provides a means for transmitting fire to the habitable tructures. Structures such as fences, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or heavy
- Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and free resistive (3)
- (4) Trees within Zone One shall be located away from structures to a num distance of 10 feet as measured from the str drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
 - (A) Whe When planting areas contain only species that do not grow taller than 24 inches in height, or
 - (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- (6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation
- (7) Zone One shall be maintained on a regular basis by pruning and nning plants, controlling weeds, and maintaining irrigation systems
- (h) Zone Two Requirements
 - The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habita *structure*, to the edge of undisturbed vegetation.
 - (2) No structures shall be constructed in Zone Two.
 - (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
 - (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landsceape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
 - (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - (A) All new plant material for Zone Two shall be native, low-fuel and fire-resistive. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological
 - (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistive native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fuelne.
 - All new Zone Two plantings shall irrigated tempor (C) An use Zone i wo pantings snai irrigated temporarily until established to the satisfaction of the City Manger. Only low-flow, low-gallonage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall no drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two. allowed in Zone Two.

San Diego Landscape Standards Section III - Brush Management

-1 BRUSH MANAGEMENT - DESCRIPTION

Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

- -2 BRUSH MANAGEMENT- REQUIREMENTS
- 3.2-1 Basic requirements All Zones
 - 3.2-1.01 For zone two, plants shall not be cut below six inches.
 - 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
 - 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.

THE OWNER/PERMITTEE SHALL SCHEDULE A PRE-CONSTRUCTION MEETING ON SITE WITH THE CONTRACTOR AND THE DEVELOPMENT SERVICES DEPARTMENT TO DISCUSS AND OUTLINE THE IMPLEMENTATION OF THE BRUSH MANAGEMENT PROGRAM.

OFESITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNERS FOR FUEL-LOAD MAINTENANCE ISSUES. CONTACT THE FIRE-RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR - BRUSH/WEED COMPLIANT LINE AT: (619)-533-4444

IF IN THE VERY HIGH FIRE SEVERITY ZONE: 35' OF ZONE 1 AND 65' OF ZONE 2 (DEFENSIBLE SPACE = 100' TOTAL; ZONE 1 SHALL NOT BE LESS THAN 35' WITHOUT ADDITIONAL MITIGATION(S)) DEFENSIBLE SPACE REDUCES THE RISK THAT FIRE WILL SPREAD FROM THE SURROUNDINGS TO THE STRUCTURE AND PROVIDES FIREFIGHTERS ACCESS/ABILITY TO DEFEND THE STRUCTURE. REDUCED ZONES WILL JEOPARDIZE THE

R337.1.3 APPLICATION. EXCEPTION 4., WITH THE REFERENCE DATE FROM R337.1.3.1 APPLICATION DATE AND WHERE REQUIRED, JULY 8, 2008; SHALL NOT APPLY WHEN ANY PORTION OF ADDITION/REMODEL CAUSES THERE TO BE LESS THAN THE REQUIRED MINIMUM 100'. MITIGATION IS WHAT IS REQUIRED BY CODE: IF LOCATED IN THE HIGH SEVERITY FIRE ZONE, YOU ARE REQUIRED TO COMPLY WITH CRC 337/CBC 7A. SPRINKLERS FOR NEW BUILDINGS ARE ALSO REQUIRED. THESE REQUIREMENTS DO NOT PROVIDE "ADDITIONAL" MITIGATION. FOR ADDITIONAL MITIGATION(S); SEE FPB POLICY B-18-01, SECT. V, SUBSECTION C.

"MITIGATION FOR REDUCED ZONES IS COMPLIANCE WITH CRC 337" (ADDITIONAL MITIGATION) "WHEN THE ZONE 1 BOUNDARY ENCROACHES WITHIN <10' FROM ANY PORTION OF THE STRUCTURE(S), THEN A 6' BLOCK WALL ACROSS THE ENTIRE BRUSH SIDE(S) SHALL BE REQUIRED OR PROVIDE A TECH REPORT."

MITIGATION FOR ADDITION: CLASS A ROOFING, EAVES PROTECTED ATTACHMENTS/PROJECTIONS-IGNITION RESISTANT, WINDOWS DUAL PANE/SINGLE TEMPER - IF VINYL WELDED CORNERS/METAL REINFORCEMENT-INDUSTRY STANDARD, EXTERIOR WALLS NON COMBUSTIBLE WALL SURFACES, NON-COMBUST EXTERIOR DOORS, GUTTERS PREVENT DEBRIS ACCUMULATION, SKYLIGHTS TEMPERED, WIRE MESH FOR VENT OPENINGS-PROHIBITED WHERE EMBERS MOST LIKELY TO ACCUMULATE, 1/8TH - 1/16TH" WHERE ALLOWED, SPARK ARRESTOR FOR CHIMNEYS, UNDERFLOOR ENCLOSED. AS REQUIRED FOR EXT. WALLS. VERIFY WITH STRUCTURAL REVIEW BEFORE RESCHEDULING WITH FIRE REVIEW.

ALL CRC337/CBC7A MITIGATION REQUIREMENTS AND ALL FPB POLICY B-18-01 ADDITIONAL MITIGATION REQUIRMENTS SHALL BE REVIEWED BY STRUCTURAL OR IAS COMBINED. ONCE STRUCTURAL/IAS HAS APPROVED/SIGNED OFF, THEN THE FIRE PLAN REVIEWER CAN APPROVE/SIGN OFF.

.

1

Figure 3-1 Pruning Trees to Provide Cleareance for Brush Management

ax ht of shrub

E.

BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASON OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.

ALL LANDSCAPING / BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONE(S) AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE OWNER THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.

REMAIN

STRUCTURE AND INHIBIT FIREFIGHTERS DEFENSIBLE SPACE.

N83218428 12

> XISTING MIXED OPEN SPACE VEGETATION . 50% OF PLANTS OVER 24" IN HEIGHT, SHALL BE CUT AND THINNED TO A HEIGHT OF 6" PER BRUSH MANAGEMENT NOTES TYPICAL

> > 3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-for shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).

- 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).
- 3.2-2 Zone 1 Requirements All Structures 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see
- Appendix "B"). 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
- 3.2-2.03 Maintain all plantings in a succulent condition.
- 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.
- 3.2-3 Zone 2 Requirements All Structures
- 3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

1. General Maintenance ~ Regular inspections and landscape maintenance are necessary to minimiz Cuerera winnermee ~ Regular inspections and undescape maintenance are recessive to minime the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round aintenance, Zone 2: Seasonal mainte ance. Brush management activities are prohibited within maintenance, Zone 2: Seasonal maintenance. Bruis management activities are promoted within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.

2. Brush Management Zone 1 ~ This is the most critical area for fire and watershed safety. All a priori romangement zone 1 = ruis is the most critical area for me and vanetsized sately. An commental planning should be kept vell vanced and any irrigition run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting particularly non-rigitized natives and large trees should be regularly pruned to ellminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.

3. Brush Management Zone 2 ~ Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should by pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should by plants perfuris event years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since

R=45.00 L=53 D=68°40'00 AREA UNDER CONSTRUCTION EXISTING CHAIN LINK FENCE TO YUCCA REMAIN REMOVE EXIST BOARD REPLACE PER PLANTING PLAN VIMMING POOL BY OTHERS COMPOSITE AND BY SEPARATE PERMI WOOD DECK BRUSH MANAGEMEN ZONE REDUCED IN THIS AREA BECAUSE NATURAL SWALE SLOPE DOESN" ALLOW FOR ZONE ONE REQUIREMENTS A MARK -REMOVE EXISTING MORNING GLORY -REMOVE EXISTING VINE AND OTHER BRAZILIAN PEPPER TREE VEGETATION AND 189.59 REPLACE PER SCALE 1"-10'-PLANTING PLAN N 78°20'28' -EXISTING NATURAL SWALE SEE PHOTOS

AVENUE









SHEET

L3.0

SCALE: 1/4" = 1'-0"

EXISTING AND DEMOLITION 1ST FLOOR PLAN



WALL LEGEND

(E) 2X4 WALL

LTTO BE DEMOLISH OR REMOVED

EXTERIOR WALLS TO BE DEMO CALC.	
WALL A	13'-3"
WALL B	31'-6.5"
WALL C	7'-11"
WALL D	21'-3.5"
WALL E	21'-2"
WALL F	28'-3"
WALL G	12'-0"
WALL H	14'-5"
WALL I	4'-10"
WALL J	29'-1"
WALL K	18'-2"
TOTAL LINEAR FEET:	201'-11" TO BE DEMO
TOTAL PERCENTAGE:	57% TO BE DEMO

WALL 1	15'-10"
WALL 2	16'-7"
WALL 3	32'-9"
WALL 4	18'-5"
WALL 5	15'-0"
WALL 6	4'-9"
WALL 7	16'-9"
WALL 8	4'-9"
WALL 9	29'-1.5"
TOTAL LINEAR FEET:	149'-2" TO REMAIN



ATTACHMENT 11

MODERN FORM

DESIGNS RESIDENTIAL & COMMERCIAL DESIGN



JORGE M. RICO DESIGNER / PROJECT COORDINATOR 2557 J Street San Diego CA 92102

MOBILE: 619-508-7039 jorgerico@modernformdesigns.com www.modernformdesigns.com

NEW ROOM **ADDITION &** REMODEL 2702 BORDEAUX AVE. LA JOLLA CA 92037

REVISIONS :	DATE :
$\widehat{\Lambda}$	
MODERN FORM DESIGN / JOINT PERFORMANCE AND COMPACT RELATES AND AND AND COMPACT RELATES AND	20PYRIGHT AND OTHER NS. THESE PLANS AND UCED, CHANGE OR COPY DEVER WITHOUT FIRST SION AND CONSENT OF : IS/Jorge Rico. VS, CAN LEGALLY RESULT CTION AND MONETARY M DESIGNS / Jorge Rico.
START DATE: 1st SUBMIT DATE: 2nd SUBMIT DATE:	02-27-2019 09-05-2019
DRAWN BY:	JORGE RICC
APPROVED BY:	H. KATZ
PROJECT NO .:	01-0219

EXISTING 1ST FLOOR PLAN

A-1



EXISTING AND DEMOLITION LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

ATTACHMENT 11

MODERN FORM

DESIGNS

RESIDENTIAL & COMMERCIAL DESIGN



JORGE M. RICO DESIGNER / PROJECT COORDINATOR 2557 J Street San Diego CA 92102

MOBILE: 619-508-7039 jorgerico@modernformdesigns.com www.modernformdesigns.com

WALL LEGEND

DEMOLITION NOTES: 1) ALL EXISTING FOLIDATIONS AND FLOOR TO REMAIN AND BE RELISED AND RETROFT WHERE APPLICABLE. <u>SEE STRUCTURAL FOR DETAILS</u>. 2) CONTRACTOR TO SHORE ALL EXISTING ROOF. CEILING AND WALL REMAINS TO REMAIN DURING THE DEMOLITION AND RECONSTRUCTION PROCESS.

TOTAL LINEAR FEET FOR EXISTING LOWER LEVEL 128'-6.5"

EXTERIOR WALLS TO BE DEMO CALC.		
NO DEMO 0'-0"		
TOTAL LINEAR FEET:	0'-0" TO BE DEMO	
TOTAL PERCENTAGE:	0% TO BE DEMO	

EXTERIOR WALLS TO REMAIN CALC.	
WALL 1	32'-9"
WALL 2	18'-5"
WALL 3	39'-1.5"
WALL 4	4'-9"
WALL 5	16'-9"
WALL 6	16'-7"
TOTAL LINEAR FEET:	128'-6.5" TO REMAIN
TOTAL PERCENTAGE:	100% TO REMAIN

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EXISTING 2ND FLOOR PLAN









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WALL LEGEND

 (E) 2 x 6 EXTERIOR WALL

 (N) 2 x 6 EXTERIOR WALL @ 16° O.C. / U.O.N.

 (N) RETAINING WALL PER STRUCTURAL PLANS
 (N) 1HR FIRE WALL PROTECTION

POP OUT WALL 8" FROM FINISHED FLOOR UPPER CABINETS RAISED CEILING. SEE PLAN FOR HEIGHT A.F.F.

ATTACHMENT 11

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	ELEVATIONS KEY NOTES:
	NOTE: NOT ALL KEY NOTES ARE USE
1	NEW STUCCO EXTERIOR FINISH
2	NEW ROOF OVERHANG ON TOP OF MAIN DOOR
3	NEW PARAPET ROOF
4	(E) GLASS RAILING
5	SLAB ON GRADE CONCRETE
6	NEW PATIO COVER
7	NEW ENTRY DOOR
8	NEW EYEBROW OFF-SET DETAILS
9	NEW RETAINING WALL
10	NEW PATIO DECK ROOF
11	NEW WALL POP OUT WALL
12	NEW NICHE DETAIL ON FRONT WALL WITH LIGHTING 30" WIDI
13	NEW ROOF AT MAIN ENTRY DOOR

COASTAL HEIGHT LIMIT NOTE: "THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT , PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30'-0" FEET ABOVE GRADE (SEC. 132.0505)"

ATTACHMENT 11

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EAST ELEVATION

A-5.1



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SCALE: 1/4" = 1'-0"

ATTACHMENT 11

M O D E R N FORM D E S I G N S

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30' COASTAL HEIGHT LIMIT

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SOUTH ELEVATION A-5.3



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ELEVATIONS KEY NOTES:

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PROJECT NO .:	01-0219

NORTH ELEVATION

A-5.4



CROSS-SECTION KEY NOTES:

- NOTE: NOT ALL KEY NOTES ARE 1 2X6 STUDS @16" O.C. 2 R-13 WALL INSULATION 3 EXISTING WOOD SIDING 5/8* DRY-WALL EXTERIOR CONCRETE NEW FOUNDATION PER STRUCTURAL R-30 ROOF INSULATION NEW 2X14 TJI'S PER STRUCTURAL PLANS NEW EXTERIOR STUCCO R-19 FLOOR INSULATION NEW ROOF TJI'S NEW ROOF WITH ASPHALT SHINGLES
- NEW ROOF OVERHANG ON TOP OF MAIN DOOR EXISTING GLASS RAILING

ATTACHMENT 11

MODERN FORM DESIGNS

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EXISTING & PROPOSED ROOF PLAN

A-7

360





A-8