



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 21, 2021 REPORT NO. HO-21-031

HEARING DATE: July 28, 2021

SUBJECT: Katz SDP/CDP, Process Three Decision

PROJECT NUMBER: [646977](#)

OWNER/APPLICANT: Howard Ian Katz and Ann Lesley Katz, Owners / Jorge Rico, Applicant

SUMMARY

Issues: Should the Hearing Officer approve a Site Development Permit and Coastal Development Permit for the addition of 4,013 square feet and remodel to an existing two-story 3,263 square foot single-family dwelling unit and attached garage totaling 7,276 square feet on a 0.4-acre site located at 2702 Bordeaux Avenue within the La Jolla Community Plan area?

Staff Recommendation: Approve Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087.

Community Planning Group Recommendation: On June 4, 2020, the La Jolla Community Planning Association voted 15-0-2 to support the project with no conditions (Attachment 8).

La Jolla Shores Planned District Advisory Board Recommendation: On August 26, 2020, the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend approval of the project if City determines the building does not violate the height limit (Attachment 9).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, New Construction or Conversion of Small Structures, which allows for the construction and location of limited numbers of new, small facilities or structures. More specifically, 15303 (a), allows new construction of an addition to one single-family residence in a residential zone. The project proposes an addition and remodel to an existing single-family dwelling unit on a previously developed site. No environmental impacts were identified for the proposed project. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 22, 2021, and the opportunity to appeal that determination ended July 7, 2021.

BACKGROUND

The 0.4-acre project site is located at 2702 Bordeaux Avenue (Attachments 1 & 3). The triangular lot is at the end of a cul-de-sac 2 blocks west of Torrey Pines Road and approximately 0.9 miles west of Interstate 5. The site has one existing lot with frontage on Bordeaux Avenue. It is currently developed with one single-family dwelling unit constructed in 1969. The existing structure is more than 45 years old, requiring City staff to evaluate the proposal for historic significance in accordance with San Diego Municipal Code (SDMC) Section [143.0212](#). The buildings were evaluated, and staff determined that the existing residence does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The site is in a developed, urban, residential neighborhood. Surrounding development includes single-family dwelling units to the north, east and south and designated open space and a canyon to the west followed by the Scripps Institute of Oceanography visitor parking lot. The Pacific Ocean is approximately half a mile to the west.

The La Jolla Community Plan and Local Coastal Program Land Use Plan designates the site for Very Low Density Residential with 0 to 5 dwelling units per acre (DU/AC) (Attachment 2). The La Jolla Shores Planned District Ordinance zones the site in the La Jolla Shores Planned District–Single Family Zone (LJSPD-SF) which continues to the east and south. RS-1-7 and RS-1-5 for single-family zoning is to the north and west of the property (Attachment 4). The site is also located within the Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact – Campus, Parking Standards Transit Priority Area, and Transit Priority Area and Geologic Hazard Category 53.

The topography of the site ranges from the elevations of approximately 285 feet above mean sea level on the canyon side to 350 feet above mean sea level on Bordeaux Avenue. An existing 4-foot public sewer easement is located along the east and south side yard of the property and an existing 8-foot storm drain easement is located along the west side yard of the property both to remain. The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA). The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the Environmentally Sensitive Lands (ESL) regulations in the Coastal Zone per SDMC [143.0110](#). The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to ESL, resulting in the minimum of disturbance to ESL. The project is not proposing any cut and fill or grading that would require a grading permit per SDMC Section [129.0602](#).

DISCUSSION

Project Description:

The proposed project requests a Site Development Permit and Coastal Development Permit for the addition of 4,013 square feet and remodel to an existing two-story 3,263 square foot single-family dwelling unit totaling 7,276 square feet and attached garage. The single lot would remain at 17,424 square feet in size and the remodel and addition would be developed with ministerial building permits after project approval in accordance with LJSPD-SF Zone requirements.

Vehicular access to the attached garage and 3 off-street parking spaces will be provided via driveway from Bordeaux Avenue. The two-story development will continue to include an upper main entry floor and attached garage at street level totaling 4,837 square feet, and a lower level totaling 2,627 square feet. In accordance with SDMC Section [1510.0304\(d\)](#), no building or structure shall be erected, constructed, altered, moved in or enlarged to cover more than 60 percent of the lot or parcel. The 17,424 square foot lot multiplied by 0.60% = 10,454 square foot maximum lot coverage, therefore, the lot coverage area for the project complies with the LJSPD-SF Zone requirements. The following setbacks are in general conformity with those in the vicinity, per the LJSPD-SF Zone requirements and include: 5-foot Front Yard Setback, 4-foot Side Yard Setbacks and 25-foot Rear Yard Setback. The addition and remodel will include a building height at street level of approximately 13 feet which is almost two feet lower than the existing height.

The project is conditioned to include reconstruction of the existing driveway and the existing damaged/unaligned sidewalk panels an Encroachment Maintenance Removal Agreement for the existing retaining walls, planters, storm drain system and concrete walkways in the city easements and the water meter in the Bordeaux Avenue right of way; implementation of storm water construction best management practices (BMPs); a Water Pollution Control Plan (WPCP); implementation of a Brush Management Program; and landscaping and irrigation.

Height Analysis

The addition and remodel to the existing single-family dwelling unit will take place on the existing grade which slopes down at the rear of the property and proposes a max building height at street level of approximately 13 feet, (almost two feet lower than the existing building height to be demolished), which is below the maximum allowable 30 feet Coastal Height Limit in accordance with SDMC Section [132.0505](#). Due to the height differential of the existing slope from the front elevation measured at 352.6 feet above sea level to the rear elevation measured at 326.6 feet above sea level, the rear portion of the building's proposed height is 40 feet when measured from the lowest adjoining surface which does not exceed the 30-foot maximum height by more than 10 feet pursuant to SDMC Section [113.0270\(a\)\(2\)\(B\)](#). The proposed height will also be verified during building permit review.

Required Approvals

- Site Development Permit (SDP) - In accordance with SDMC Section [1510.0201\(a\)](#), a Process Three SDP is required for remodeling, alteration, addition, or demolition of any existing building or structure within the La Jolla Shores Planned District . Additionally, the project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the Environmentally Sensitive Lands regulations in the Coastal Zone per SDMC [143.0110](#), which also requires an SDP. The project does not propose any impacts to this habitat and therefore, no mitigation is required.
- Coastal Development Permit (CDP) - In accordance with SDMC Section [126.0707\(a\)](#), a Process Two CDP is required for the proposed development as the site is located in the non-appealable area of the Coastal Overlay Zone.

- Pursuant to SDMC Section [112.0103](#), when an applicant applies for more than one permit, map or other approval for a single development, the applications shall be consolidated for processing and shall be reviewed by a single decision maker. The decision maker shall act on the consolidated application at the highest level of authority for that development as set forth in SDMC Section [111.0105](#). In this instance, all the above approvals are consolidated and processed according to Process Three, with the Hearing Officer as the decision maker.

Community Plan Analysis:

The La Jolla Shores Planned District Ordinance zones the site LJSPD-SF, which conforms with the [La Jolla Community Plan and Local Coastal Program Land Use Plan](#) and [General Plan](#) (Attachment 4). The project proposes an addition of 4,013 square feet to an existing two-story 3,263 square foot single-family dwelling unit totaling 7,276 square feet on a 17,424 square foot lot. The project is consistent with the La Jolla Community Plan and Local Coastal Program Land Use Plan which designates the site as Very Low Density Residential with a density of 0-5 DU/AC. The proposed two-story, 7,276 square-foot single-family dwelling unit on a 0.4-acre site is consistent with the underlying land-use designation.

The project is not located within the First Public Roadway, and there are no public view corridors, or physical access routes from the project site, as identified in the La Jolla Community Plan and Local Coastal Program Land Use Plan ([Figure 9, Pages 35-36](#)). The west side of Bordeaux Avenue has been designated a "Scenic Overlook" which is defined as a view over private property from a public right of way. The proposed improvements will take place on the existing grade which slopes down at the rear of the property and will not cause any obstruction of existing scenic views.

Community Planning Group and La Jolla Shores Planned District Advisory Board Recommendation:

On June 4, 2020, the La Jolla Community Planning Association voted, on consent, 15-0-2 to recommend approval of the project with no conditions (Attachment 8).

On August 26, 2020, the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend approval of the project if City determines building does not violate height limit (Attachment 9) [see Height Analysis above and incorporated herein by reference]. As addressed above, the project's proposed height from lowest adjacent grade to the highest point of building complies with the maximum Coastal Height Limit. The proposed height will also be verified during building permit review.

CONCLUSION

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and General Plan and the adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings and conditions (Attachment 5 & 6) and recommends the Hearing Officer APPROVE Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087 for the project.

ALTERNATIVES

1. Approve Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087, with modifications.
2. Deny Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Carrie Lindsay', is written over a horizontal line.

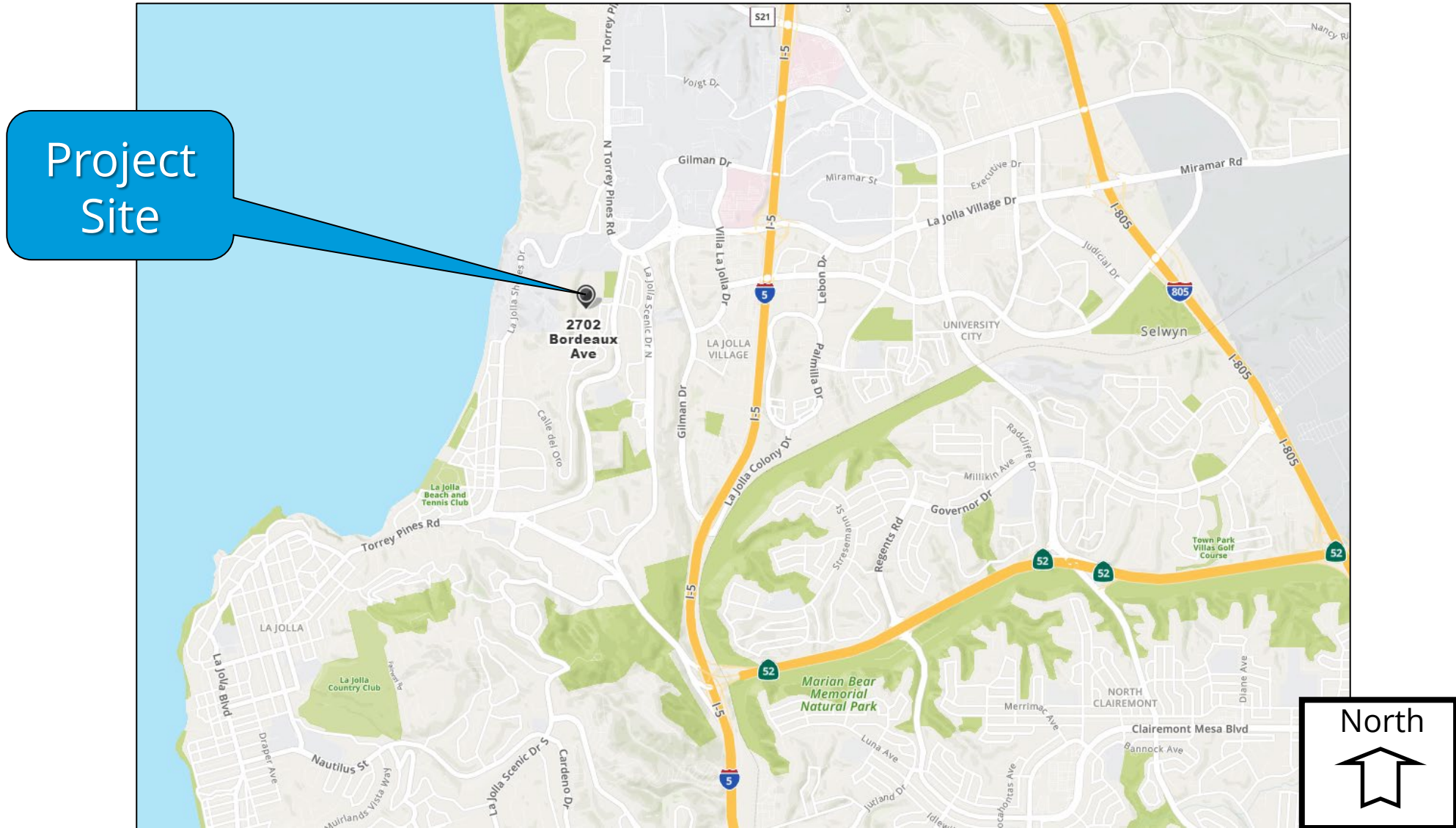
Carrie Lindsay, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Existing Zoning Map
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal Environmental Determination
8. Community Planning Group Recommendation
9. La Jolla Shores Advisory Board Recommendation
10. Ownership Disclosure Statement
11. Project Plans



Project Location Map

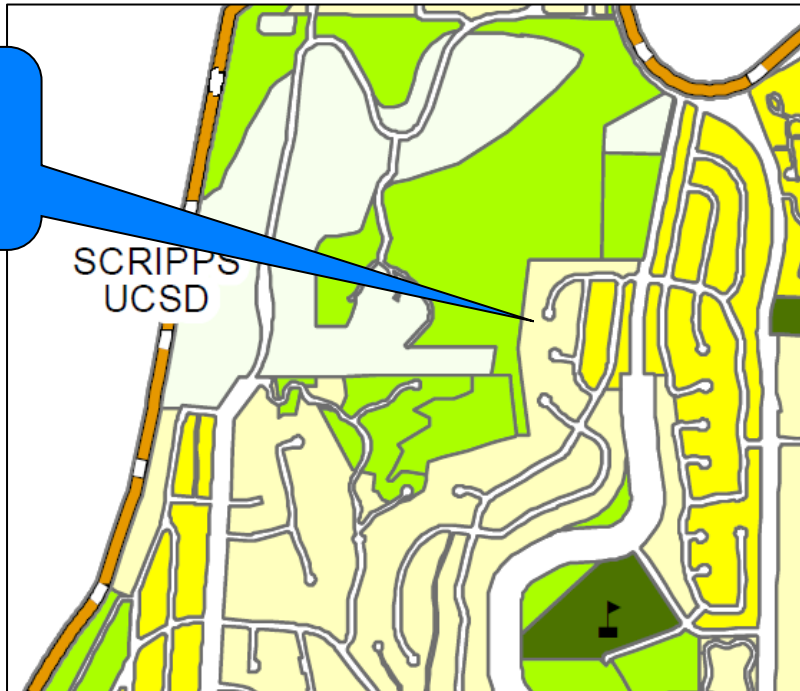


Katz Residence Addition, Project Number 646977
2702 Bordeaux Avenue



Community Plan

Project Site



Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities



Community Land Use Map



La Jolla Community Plan
City of San Diego · Planning Department

North

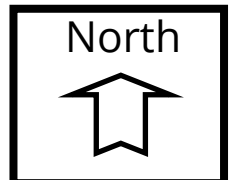
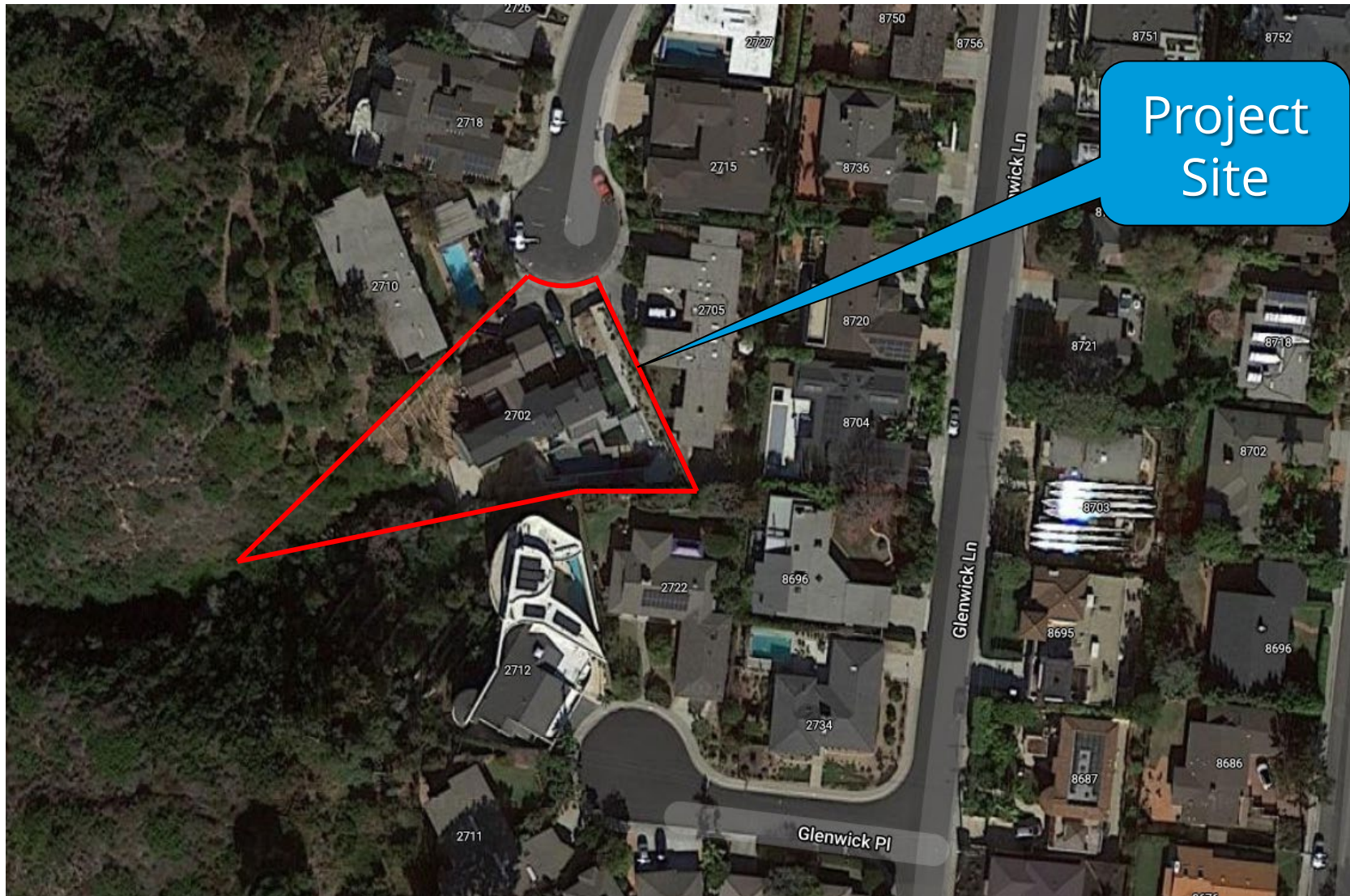


ATTACHMENT 2

Katz Residence Addition, Project Number 646977
2702 Bordeaux Avenue



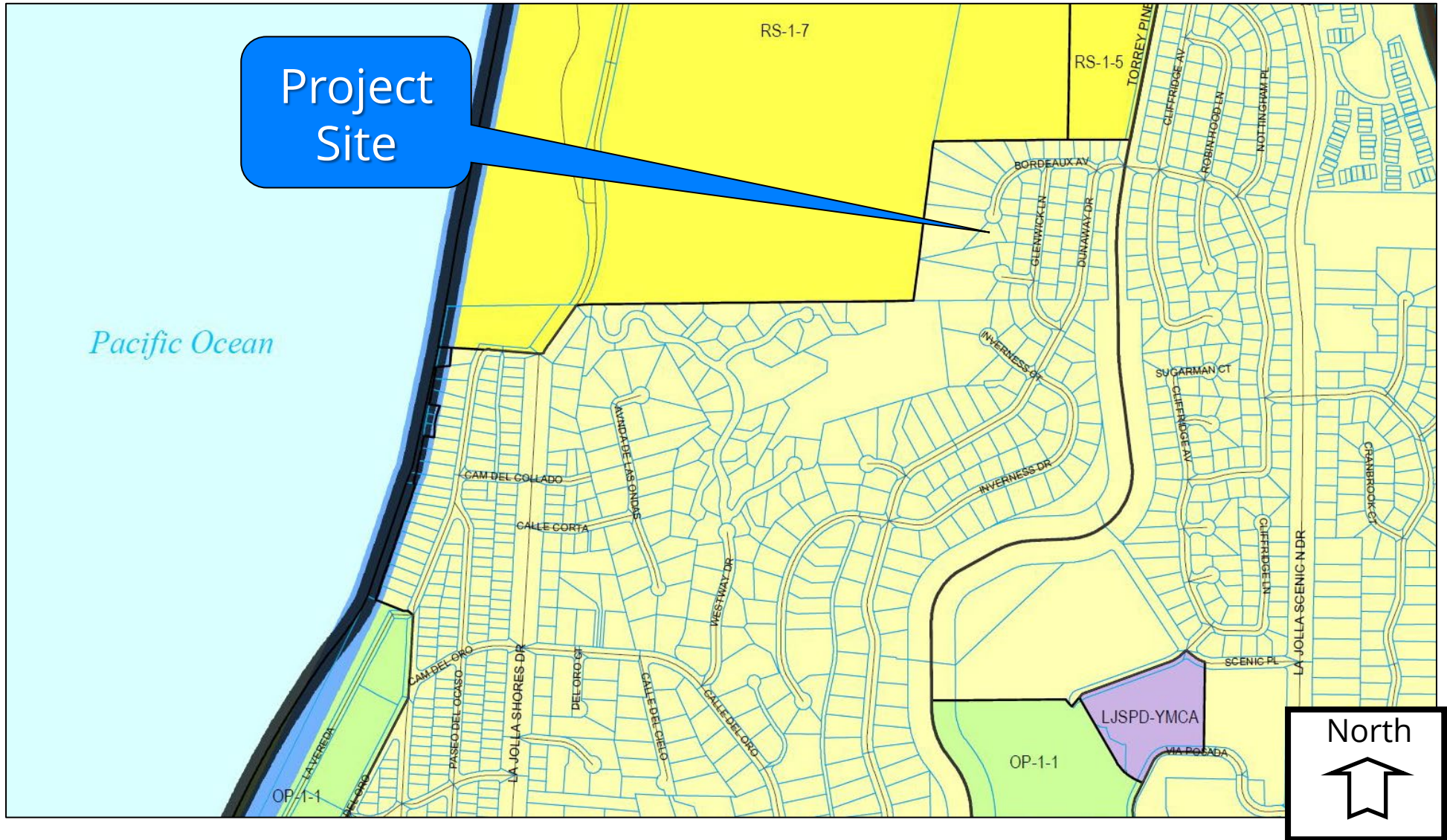
Aerial Photo



Katz Residence Addition, Project Number 646977
2702 Bordeaux Avenue



Existing Zone Map (LJSPD-SF)



Katz Residence Addition, Project Number 646977
2702 Bordeaux Avenue

HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT, PERMIT NO. 2345086
COASTAL DEVELOPMENT PERMIT, PERMIT NO. 2345087
KATZ SDP/CDP - PROJECT NO. 646977

WHEREAS, HOWARD IAN KATZ & ANN LESLEY KATZ, Co-Trustees of THE HOWARD & ANN KATZ FAMILY TRUST DATED JULY 31, 2000, Owner/Permittee, filed an application with the City of San Diego for a permit for an addition and remodel to an existing two-story single-family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087), on portions of a 0.4-acre site;

WHEREAS, the project site is located at 2702 Bordeaux Avenue, La Jolla, CA 92037 in the La Jolla Shores Planned District Single-Family Zone (LJSPD-SF), the Coastal (Non-Appealable Area 2) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone, Campus, Parking Standards Transit Priority Area, Transit Priority Area, and Geologic Hazard 53 Zone of the La Jolla Community Plan and Local Coastal Land Use Plan area;

WHEREAS, the project site is legally described as Lot 54 of La Jolla Highlands, Unit No. 2, according to Map thereof No. 3361, filed in the Office of the County Recorder of San Diego County, January 27, 1956; Also Known as: 2702 Bordeaux Avenue, La Jolla, CA 92037; AP#: 344-100-11-00;

WHEREAS, on June 22, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303, New Construction or Conversion of Small Structures. There was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on July 28, 2021, the Hearing Officer of the City of San Diego considered Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087:

A. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

(a) Findings for all Site Development Permits

(1) The proposed development will not adversely affect the applicable land use plan.

The project site is located at 2702 Bordeaux Avenue on a 0.4-acre parcel lot in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) and is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage. The project proposes the addition of 4,013 square feet and remodel to the existing single-family dwelling unit totaling 7,276 square feet.

The Community Plan designates the site for Very Low Density Residential (0-5 DU/AC) which conforms with the General Plan. This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed development is an addition to an existing single-family dwelling unit on a 17,424 square-foot lot and does not increase the density.

The project is consistent with the Community Plan's Residential Recommendations including, but not limited to:

- 2.a.1: "...preserve bulk and scale with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space."
- 4. 2.d. "For large lots in single dwelling unit areas, apply development regulations that will limit the perceived bulk and scale differences relative to surrounding lots. Apply a sliding scale for floor area ratios that will decrease building scale as the lot size increases."

The proposed project is an addition and remodel that takes place entirely on the existing pad and will be situated in approximately the same location as the existing single-family dwelling unit, with the exemption of a few extensions of square footage. An open courtyard on the east side (side yard), reduces the massing and modifications to the building façade will create further visual interest, all of which, will improve the aesthetics of the home.

Based on a submitted neighborhood survey of the existing development, the proposed addition and remodel will be visually compatible with the architectural materials and varied design themes of existing one and two-story single-family residential developments in the surrounding area including but not limited to a new flat roof design, a stucco exterior finish, glass railings, and eyebrow offset details.

Vehicular access to the attached garage and three off-street parking spaces will be provided via driveway from Bordeaux Avenue. The two-story development will continue to include an upper main entry floor and attached garage at street level and a lower level. The proposed building will not cover more than 60 percent of the 17,424 square-foot lot and the addition and remodel will include a building height at street level of approximately 13 feet which is slightly lower than the existing height to be demolished.

The project proposes no deviations or variances from the applicable regulations and complies with the development standards required by the underlying LJSPD-SF Zone. Therefore, the proposed development will not adversely affect the applicable land use plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, New Construction or Conversion of Small Structures, which allows for the construction and location of limited numbers of new, small facilities or structures. More specifically in 15303 (a), allows new construction of an addition to a single-family residence. The project proposes an addition of 4,013 square feet and remodel to an existing 3,263 square-foot single-family dwelling unit on a previously developed site. Exempt projects have been determined not to have a significant effect on the environment per Section 15300 of the CEQA Guidelines.

The proposed project is an addition and remodel to an existing single-family dwelling unit, with no grading of natural landforms proposed. All drainage is routed according to accepted engineering practices. The project is conditioned to include implementation of a Brush Management Program, landscaping and irrigation which meets City standards and will minimize the risk of fire.

In addition, the project has been determined to comply with existing Community Plan Recommendations for residential projects [see Finding 1. (a) (1) above and incorporated herein by reference]. During and after construction, the project will be required to comply with all relevant ministerial codes designed to protect the public health, safety, and welfare, including the California Building Code, stormwater regulations, and air quality regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 2702 Bordeaux Avenue within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas within an established residential area. The site is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage. The project proposes the addition of 4,013 square feet and remodel to the existing single-family dwelling unit totaling 7,276 square feet.

The project site is located approximately a half a mile to the east of the Pacific Ocean and is situated approximately 350 feet above mean sea level and is not located with the First Public Roadway or within a Visual Access corridor, as identified within the Community Plan. The west side of Bordeaux Avenue has been designated a "Scenic Overlook" which is defined as a view over private property from a public right of way. The proposed improvements will take place on the existing grade which slopes down at the rear of the property and the roof height will be decreased slightly from the existing structure, therefore, there will be no obstruction of existing scenic views.

The project has been reviewed and has been designed in conformance with all applicable development regulations of the San Diego Municipal Code (SDMC), including the LJSPD-SF Zone and the Coastal Overlay Zone. The project conforms to the maximum 30-foot height limit, setbacks, and 60 percent coverage requirements. The project does not require any deviations or variances. Therefore, the proposed development complies with the applicable regulations of the SDMC.

2. Supplemental Findings--Environmentally Sensitive Lands [SDMC Section 126.0505(b)]

(1) The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project site at 2702 Bordeaux Avenue is physically suitable for the design and siting of the proposed development because it has been previously

developed with a single-family dwelling unit on a landscaped, flat pad level with and adjacent to Bordeaux Avenue. The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the Environmentally Sensitive Lands (ESL) regulations in the Coastal Zone per SDMC 143.0110. The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to ESL, resulting in the minimum of disturbance to ESL. No grading or mapping actions are required for the proposed development, and runoff increase will be insignificant and will also be dissipated by proposed riprap that will mimic the existing drainage pattern.

Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

(2) The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed project is an addition and remodel to an existing single-family dwelling unit, with no grading of natural landforms proposed and will not result in undue risk from geologic and erosional forces. The addition takes place entirely on an existing building pad and is not proposing any cut and fill or grading that would require a grading permit. All drainage will be routed according to accepted engineering practices. The project's brush management plan meets City standards and will minimize the risk of fire.

Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

(3) The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the ESL regulations in the Coastal Zone per SDMC 143.0110. The proposed project is an addition and remodel that takes place entirely on an existing pad and does not bring the structure any closer to ESL. Drainage will be routed according to accepted engineering practices. No adverse impacts are anticipated beyond those which may have already occurred during the construction of the existing single-family dwelling unit.

Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

(4) The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), the Multiple Habitat Planning Area (MHPA), or within Vernal Pool Habitat Conservation Plan (VPHCP) areas. The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area, but the site currently contains an existing single-family dwelling unit and proposes an addition and remodel which would not impact resources that are towards the rear of the property and no impacts to biological resources are expected. Therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

(5) The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project is located approximately a half a mile from the nearest shoreline. It does not drain directly to a beach or shoreline. Site drainage has been designed according to best engineering practices and is not anticipated to negatively affect beaches or shorelines. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

(6) The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the ESL regulations in the Coastal Zone per SDMC 143.0110. The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to ESL, resulting in the minimum of disturbance to ESL. In addition, and consistent with the City of San Diego's Biological Guidelines, project impacts to less than 0.1-acre are not considered significant and do not require mitigation. This project was determined exempt from the California Environmental Quality Act (CEQA) per Section 15303 (a) (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. No mitigation is required for this project and therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

B. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]**1. Findings for all Coastal Development Permits:****(a) Findings for all Coastal Development Permits**

(1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project site is located at 2702 Bordeaux Avenue on a 0.4-acre parcel lot in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) and is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage. The project proposes the addition of 4,013 square feet and remodel to the existing single-family dwelling unit totaling 7,276 square feet.

The project site is located approximately a half a mile to the west of the Pacific Ocean and is situated approximately 350 feet above mean sea level. The La Jolla Community Plan and Local Coastal Program Land Use Plan (Figure 9, Pages 35-36) does not identify the project site as within the First Public Roadway, and there are no public view corridors, or physical access routes from the project site. The west side of Bordeaux Avenue has been designated a "Scenic Overlook" which is defined as a view over private property from a public right of way. The proposed improvements will take place on the existing grade which slopes down at the rear of the property. The proposed additional square footage will be constructed within the existing developed legal lot and will not encroach into the established front, side, or rear yards and the roof height will be decreased slightly from the existing structure, therefore, there will be no obstruction of existing scenic views.

Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan and will not degrade, remove, eliminate, or detract from any protected public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

(2) The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site was previously graded and is currently developed with a single-family dwelling unit and attached garage built in 1969. The proposed

addition and remodel are in approximately the same location on the lot as the existing single-family dwelling unit.

The project site does not contain and is not adjacent to any sensitive coastal bluffs, or special flood hazard areas. The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA). The project site contains less than a 0.1-acre of sensitive habitat located upon the western portion of the premise within the canyon area and is subject to the ESL regulations in the Coastal Zone per SDMC 143.0110. The proposed project is an addition and remodel that takes place entirely on the existing pad and does not bring the structure any closer to ESL, resulting in the minimum of disturbance to ESL. The project is not proposing any cut and fill or grading that would require a grading permit and runoff increase will be insignificant and will also be dissipated by proposed riprap that will mimic the existing drainage pattern.

The project was determined to be categorically exempt from CEQA pursuant to CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures, which allows for the construction and location of limited numbers of new, small facilities or structures. More specifically in 15303 (a), allows new construction of an addition to a single-family residence. The project proposes an addition of 4,013 square feet and remodel to an existing 3,263 square-foot single-family dwelling unit on a previously developed site. Exempt projects have been determined not to have a significant effect on the environment per Section 15300 of the CEQA Guidelines. Therefore, the project will not adversely affect environmentally sensitive lands.

(3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 2702 Bordeaux Avenue on a 0.4-acre parcel lot in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) and is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage. The project proposes the addition of 4,013 square feet and remodel to the existing single-family dwelling unit totaling 7,276 square feet.

The Community Plan designates the site for Very Low Density Residential at a rate of 0-5 dwelling units per acre (DU/AC) which conforms with the General Plan. This density range is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square-foot parcels with steep slopes and/or open space areas. The proposed development is an addition to an existing single-family dwelling unit on a 17,424 square-foot lot and does not increase the density.

The project is consistent with the Community Plan's Residential Recommendations including, but not limited to:

- 2.a.1: "...preserve bulk and scale with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space."
- 4. 2.d. "For large lots in single dwelling unit areas, apply development regulations that will limit the perceived bulk and scale differences relative to surrounding lots. Apply a sliding scale for floor area ratios that will decrease building scale as the lot size increases."

The proposed project is an addition and remodel that takes place entirely on the existing pad and will be situated in approximately the same location as the existing single-family dwelling unit, with the exemption of a few extensions of square footage. An open courtyard on the east side (side yard), reduces the massing and modifications to the building façade will create further visual interest, all of which, will improve the aesthetics of the home.

Based on a submitted neighborhood survey of the existing development, the proposed addition and remodel will be visually compatible with the architectural materials and varied design themes of existing one and two-story single-family residential developments in the surrounding area including but not limited to a new flat roof design, a stucco exterior finish, glass railings, and eyebrow offset details.

Vehicular access to the attached garage and three off-street parking spaces will be provided via driveway from Bordeaux Avenue. The two-story development will continue to include an upper main entry floor and attached garage at street level and a lower level. The proposed building will not cover more than 60 percent of the 17,424 square-foot lot and the addition and remodel will include a building height at street level of approximately 13 feet which is slightly lower than the existing height to be demolished.

The project site is located approximately a half a mile to the east of the Pacific Ocean and is situated approximately 350 feet above mean sea level. The Community Plan does not identify the project site as within the First Public Roadway, and there are no public view corridors, or physical access routes from the project site. The west side of Bordeaux Avenue has been designated a "Scenic Overlook" which is defined as a view over private property from a public right of way. The proposed improvements will take place on the existing grade which slopes down at the rear of the property and the roof height will be decreased slightly from the existing structure, therefore, there will be no obstruction of existing scenic views.

The proposed addition and remodel to the existing single-family dwelling unit was found to comply with the allowed density, identified public access, identified public views, and all applicable regulations adopted by the

Community Plan. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

(4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 2702 Bordeaux Avenue and is currently developed with an existing two-story, 3,263 square-foot single-family dwelling unit and attached garage and is located within a well-developed residential neighborhood. The project site is not located between the first public road and the sea or the shoreline of any water body located within the Coastal Overlay Zone. No public access or public recreation facilities exist on or adjacent to the site. The project will be developed entirely within private property and will not adversely impact any public recreation opportunities or adversely affect any public access. Therefore, the project is in conformance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087, a copy of which is attached hereto and made a part hereof.

Carrie Lindsay
Development Project Manager
Development Services

Adopted on: July 28, 2021

IO#: 24008388

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008388

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2345086
COASTAL DEVELOPMENT PERMIT NO. 2345087
KATZ SDP/CDP - PROJECT NO. 646977
HEARING OFFICER

This Site Development Permit No. 2345086 and Coastal Development Permit No. 2345087 is granted by the Hearing Officer of the City of San Diego to Howard Ian Katz & Ann Lesley Katz, Co-Trustees of The Howard & Ann Katz Family Trust Dated July 31, 2000, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0502 and 126.0702. The 0.4-acre site is located at 2702 Bordeaux Avenue and is in the La Jolla Shore Planned District SF Zone (LJSPD-SF) and Coastal (Non-Appealable Area 2) Overlay Zone of the La Jolla Community Plan area. The Project site is legally described as: Lot 54 of La Jolla Highlands, Unit No. 2, according to Map thereof No. 3361, filed in the Office of the County Recorder of San Diego County, January 27, 1956; Also Known as: 2702 Bordeaux Avenue, La Jolla, CA 92037; AP#: 344-100-11-00;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to remodel and construct an addition of 4,013 square feet to an existing two-story single-family dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] [Approval Date], on file in the Development Services Department.

The project shall include:

- a. The remodel and addition of 4,013 square feet to an existing two-story, 3,263 square-foot, single-family dwelling unit for a new total of 7,276 square feet on a 0.4-acre site;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 11, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond, the closure of existing driveway and construction of a new 12-foot-wide city standard driveway, adjacent to the site on Bordeaux Avenue, satisfactory to the City Engineer.

13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond, the reconstruction of the existing damaged/unaligned sidewalk panels per current city standards, adjacent to the site on Bordeaux Avenue, satisfactory to the City Engineer.
14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the existing retaining walls, planters, storm drain system and concrete walkways in the city easements and the water meter in the Bordeaux Avenue right of way, satisfactory to the City Engineer.
15. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate an additional 7-foot easement to the existing storm drain easement, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.
19. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

21. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

22. The Brush Management Program shall be based on a standard Zone One of 35-ft. in width and a Zone Two of 65-ft. in width. Zone One shall range from 19-ft. to 35-ft. in width with a corresponding Zone Two of 65-ft. to 81-ft. in width, extending out from the habitable structures towards the native/naturalized vegetation as shown on Exhibit "A." Where the full brush management zones cannot be provided, alternative compliance measures shall apply, consistent with FPB Policy B-18-01.

23. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

24. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

25. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

26. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

27. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on [Approval Date] and [Approved Resolution Number].

DRAFT

ATTACHMENT 6

Site Development Permit No. 2345086
Coastal Development Permit No. 2345087
Date of Approval: July 28, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Carrie Lindsay
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

The Howard & Ann Katz Family Trust
Owner/Permittee

By _____
Howard Ian Katz
Trustee of the Howard & Ann Katz Family
Trust Dated July 31, 2000

The Howard & Ann Katz Family Trust
Owner/Permittee

By _____
Ann Lesley Katz
Trustee of the Howard & Ann Katz Family
Trust Dated July 31, 2000

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: June 22, 2021

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION DEVELOPMENT SERVICES DEPARTMENT

SAP or I.O. No. 24008388

PROJECT NAME / NUMBER: Katz SDP / 646977

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 2702 Bordeaux Avenue, San Diego, CA 92037

PROJECT DESCRIPTION: The Project requests a Site Development Permit (SDP) and Coastal Development Permit (CDP) for the addition of 4,013-square-feet to an existing two-story, 3,263-square-foot single-family dwelling unit to total 7,276-square-feet, located at 2702 Bordeaux Ave. The 0.40-acre site is designated Very-Low Density Residential pursuant to the La Jolla Community Plan and Local Coastal Program and is subject to the La Jolla Shore Planned District Ordinance (LJSPDO) Single-Family Zone (LJSPD-SF). The project is also subject to the Coastal Height Limitation Overlay Zone, Coastal Zone - Non-appealable Area 2, Parking Impact Overlay Zone - Campus, Parking Standards Transit Priority Area, Transit Priority Area, and Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (a), NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15303 (a), which allows for the construction and location of limited numbers of new, small facilities or structures. More specifically in 15303(a) which allows new construction of an addition to a single-family residence. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

DEVELOPMENT PROJECT MANAGER: Carrie Lindsay
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 446-5220 / CLindsay@sandiego.gov

On June 22, 2021 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determinations to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 7, 2021). During the Statewide "Safer-at-Home" directive to reduce the spread of COVID-19, beginning March 19, 2020, appeals to the City Clerk must be filed by email or US Mail as follows:


- 1) Appeals filed via E-mail: [The Development Permit/Environmental Determination Appeal Application Form DS-3031](https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>.

Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00pm. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.

- 2) Appeals filed in person: [The Development Permit/Environmental Determination Appeal Application Form DS-3031](https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>.

Deposit the fully completed appeal application [DS-3031](https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf) (including grounds for appeal and supporting documentation) in a sealed envelope, into the Drop-Off Box located under the Public Notice Kiosk to the left of the public entrance to the City Administration Building, 202 "C" Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The Drop-Off Box is available from 8:00am to 5:00pm Monday through Friday (excluding City-approved holidays). The completed appeal package must include the required appeal fee per this bulletin in the form of a check or money order payable to the "City Treasurer." Please include the project number on the memo line of the check/money order. This Drop-Off Box is checked daily, and payments are processed the following business day.

This information will be made available in alternative formats upon request.

Page 3		City of San Diego • Information Bulletin 620		May 2020						
		City of San Diego Development Services		Community Planning Committee Distribution Form						
Project Name: 2702 Bordeaux			Project Number: 646977							
Community: La Jolla										
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>										
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny										
# of Members Yes 15		# of Members No 0		# of Members Abstain 2						
Conditions or Recommendations: Approved on consent 6/4/2020										
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)										
NAME: Suzanne Weissman										
TITLE: Secretary, LJCPA			DATE: June 19, 2020							
<i>Attach additional pages if necessary (maximum 3 attachments).</i>										

June 4, 2020 Regular Meeting Final Minutes

Please note rearranged agenda and early starting time: 5pm

Due to the COVID-19 public health emergency, LJCPA meetings currently are online only. Instructions for registering, attending, or making written comments are at <https://gregj.us/2LslG68> (copy and paste the URL into your browser if clicking on it doesn't work). **Those who wish to attend (including viewing, listening, and possibly speaking at the meeting) must register in advance.** Supplemental materials: <https://gregj.us/3bD0YuQ>

Quorum Present: Ahern, Boyden, Brady, Costello, Courtney, Davidson, Fitzgerald, Ish, Jackson, Kane, Little, Mangano, Neil, Shannon, Steck, Weiss, Weissman, **Absent:** Manno

Call to Order (5:01pm)

This is a recorded meeting with a full agenda. Please make sure mobile or otherwise noisy **devices are off** or silent, and in online meetings keep microphones muted except when called on. Please **address the chair** and refer to projects or issues, not to applicants or opponents. If special facilities or access are required (for example, to display presentations), please notify the Chair one week prior to meeting. Chair calls on public and then trustees, closes discussion upon consensus, and calls for motions. Trustees vote by roll call or show of hands as appropriate.

1.1. Approve Agenda (action item)

Motion: Approve agenda as presented: unanimous vote; no objections

1.2. Approve Minutes (action item)

Motion: Approve Minutes for May 7, 2020 meeting:

Boyden: one correction: under Public comment, Bren s/b Brennan

Unanimous vote; no objections

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA:

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Vice Chair, Andy Fotsch, 3rd Monday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

2. Project Reviews (action items)

The following are ACTION ITEMS and may be de novo considerations. Prior actions by committees are for information only. The Chair may call for motion and vote after a specified allotment of time to applicants and opponents.

Supporting materials, if any: <https://lajollacpa.org/ljcpa-6-4-2020-materials-comments/>

2.1. 304-306 Kolmar (Whitney)

(Process 2) Coastal Development Permit to demolish a single-dwelling unit and to construct two (2) two-story, single-dwelling units located at 304-306 Kolmar St. Unit 1: 1,859 sf. Unit 2: 1,875 sf. The 0.11-acre site is in the RM-1-1 Zone, Coastal Overlay (N-APP-2) Zone within the La Jolla Community Plan area CD1.

DPR: **Findings CANNOT be made** (excessive bulk/scale vis à vis nearby homes, awkward transitions, carports, design inconsistent with historical neighborhood character), passes 6-0-1

Tim Golba, architect for applicant, presentation: Showed aerial view of street and project site, several shots of existing house and neighboring houses, context shots of several 25' lots in area, views of un-permitted living unit above garage on existing property, other structures in alley, numerous roof decks in area. Explained underlying 25' lots in original subdivision; showed details of changes made to the project as a result of neighbors' concerns for privacy and DPR committee recommendations. Showed overlay of proposed structure with existing, a shadow study and explained conformity with the Municipal Code. Emphasized that a large amount of the available building envelope was not used and the height of bulk of building was only 20'10" in a 30' zone.

Public Comment

Julie Reuf, neighbor to east: The long-time residents are feeling the domino effect of new development. Will this development tip the scales away from the existing character of the neighborhood? The character of the neighborhood is being lost for the following reasons:

- Bulk and scale of new compared to older homes shown in slides.
- City staff in reviewing permits do not recognize individual character of the many different neighborhoods in SD.
- Impact of loss of privacy and greenery.
- New structures are not following permitted requirements during and after construction.

Tom Miller, neighbor: La Jolla Community Plan calls for development compatible with existing residential scale, avoid extreme and intrusive changes to scale of neighborhood, harmonious transitions between new and older structures, front and side yard facades that exceed one story should slope or step back up to 30' height limit to allow flexibility while maintaining integrity of street scape and to provide adequate amounts of light and air. This project does not meet any of these requirements because of obvious intent to circumvent

the Municipal Code. The area of the carport is not counted in the FAR according to the code but garages are included. New large houses out of scale of the neighborhood are built with carports. This allows the houses to be built 400' to 800' over what is allowed. Later the carport is enclosed which becomes a code violation. We are asking applicant to enclose the carport and remove 400' from each house. Several pictures of houses that were built with carports that were later enclosed to become a garage were shown.

Shannon Reuf: The concessions have not changed the excessive scale. They are following the letter, not the intent of the law. Large grey boxes using every allowable square foot does not maintain the character of the area.

Megan Heine: Concerned about veiled threat of what could be built; what is legally allowed with FAR, etc. with no concern for what will fit into the neighborhood. We all need to be more active in this effort to preserve these neighborhoods.

Donna Blackmond: Prior projects in the neighborhood have not turned out as presented including the one on the corner that has un-permitted changes. This has caused a lack of trust among the neighbors and they fear that this project will also have unwanted consequences after the fact.

Trustee Comment

Costello: If garage put in same location as carport, would it be allowed to go into the setback? **Golba:** A garage is an accessory structure and the same rules will apply. **Costello:** If garage, would the structure be over FAR. **Golba:** yes

Neil: this does not comply with the Community Plan with regards to neighborhood character and transitions so I will not support.

Davidson:

- Were these originally 2 lots and never combined? **Golba:** Yes, two lots were created in the original subdivision and never legally tied
- No common area between the two houses? **Golba:** Each is a fee simple lot; no shared access ways, easements.
- What is separation between houses? **Golba:** 6', 3' for each lot
- Can you see side yards from street? **Golba:** Depends on what is planted. We plan to keep vegetation low to provide view for neighbor.
- How many open sides on carport? **Golba:** Code provides for two sides to be open. 75% minimum. The two side yard sides will be 90% open, a garage door by alley for security and side facing house closed, nothing above it.
- How far from house? **Golba:** 10'.
- How do you compute 75% open? **Golba:** 75% open means % of each side open, not the % of all 4 sides. 2 sides can be 100% closed; the other 2 sides need to be 75% open not cumulative of entire perimeter.

Boyden: Is the plan presented today identical to the one approved by DSD? How would you insure that the City will approve the what you have shown today? **Golba:** This plan is same in terms of the footprint, changes are on exterior for removal and/or raising windows. Since today's changes are less than original presentation to DPR, the City won't have a problem.

Ish: I believe the Municipal Code section on carports means 75% of whole structure; I disagree with Golba's interpretation of carport rules. FAR is total amount of built space and including carport space will leave only 10% of lot space open. Having carport is to the advantage of developer; it does not consider cost and aggravation to new homeowner who attempts to enclose carport and has to deal with Code Enforcement. Make garage and decrease size of house.

Fitzgerald: How many new non-traditional houses on that street: **Golba:** Showed several on aerial views of area ~ 40%.

Shannon: Need to change building code to address carport enclosure problems.

Ahern: Fits upcoming character with narrow lots and taller buildings. It seems to comply with Municipal Code.

Weiss: It is difficult to make decisions based on the fact that regulations are often ignored. What are requirements for landscaping? **Golba:** We are nowhere near coverage maximum; we comply or exceed all front and side setback requirements leaving plenty of room for planting. Slide showing spaces available for greenery.

Jackson: The applicant is trying to maximize something different than what neighborhood would maximize which is often the root of deep tension that will never go away. Would have been better to maximize harmony with neighborhood rather than maximize use of space.

Costello: It bothers me that the Notice of Decision came out from DSD two days after DPR made its recommendations that findings could not be made. Golba should have brought process to CPA before going to City staff for NOD.

Motion: Affirm DPR motion that findings cannot be made and we cannot support carport since it is obvious mechanism to add garage at later date. We object to City practice of giving NOD before CPA has had opportunity to hear and vote on projects that involve Coastal Development Permits. (Costello/Neil)

Weiss: I urge Costello to remove the part about carport. It is a problem, but not illegal. Motion will be stronger without carport part.

Costello: I don't want to amend. I want City to recognize reality that carport is a structure in transition to garage and overrule it anyway.

Jackson: We want to oppose how City handles carports, but we won't get anywhere voting against projects because of that. It will cause them to think we are trying to change the code and ignore the rest of the motion. I would be happier with a clean motion that speaks to our issues with this project. Then I would vote for a separate motion encouraging the City to no longer approve projects that exceed FAR when carport enclosed.

Neil: Because it has been seconded, unless this motion is amended by maker, it has to be voted on.

Boyden: Point of order: A motion for an amendment can be made and seconded and if passed it will be struck from the motion and we will vote on amended motion. If motion for amendment is defeated the original motion will be voted on.

Costello undecided

Motion: Amend Costello's motion by striking any mention of carports. (Jackson/Boyden)

Vote: 13-3-1 Motion carries

In favor: Ahern, Boyden, Brady, Courtney, Davidson, Fitzgerald, Ish, Jackson, Mangano, Shannon, Steck, Weiss, Weissman,

Opposed: Costello, Little, Neil

Abstain: Kane (chair)

Motion [restated]: Affirm DPR motion that findings cannot be made. The CPA opposes City staff issuing a Notice of Decision before a project involving a CDP is heard by the CPA. (Costello/Ish)

Findings stated in DPR motion: Failure to meet community plan, no transition between new and old, no visual articulation and offsetting planes, open garage still adds to bulk and scale, does not adhere to rhythm of 50' street frontages which is character on neighborhood, lack of vegetation.

Vote: 11-5-1: Motion carries

In favor: Brady, Costello, Courtney, Davidson, Ish, Jackson, Little, Neil, Shannon, Steck, Weiss,

Opposed: Ahern, Boyden, Fitzgerald, Mangano, Weissman

Abstain: Kane (chair)

Motion: We formally request that City cease approving carports that would cause a project to exceed the allowable FAR if counted as garages. (Jackson/Weiss) **Vote: unanimous, chair abstains. Motion carries.**

3. **Consent Agenda (single grouped action item)**

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees or boards in a single vote, upon which those recommendations become the recommendation of the LJCPA. The public may comment on consent items, but there is no presentation or debate. Anyone may request a consent item be pulled for full discussion by the LJCPA at a future meeting.

Supporting materials, if any: <https://lajollacpa.org/ljcpa-6-4-2020-materials-comments/>

3.1. 1136 Muirlands (Carraher)

(Process 2) Coastal Development Permit for a new 7,166 square-foot two-story single-family residence with a basement, attached 3 car garage, and new site retaining walls located at

1136 Muirlands Drive. The 0.49-acre site is in RS-1-2 and Coastal Overlay (Non-Appealable) Zone within the La Jolla Community Plan area. Council District 1.

DPR: **Findings CAN be made**, passes 6-0-1

3.2. 411 Sea Ridge (Salvagio)

(Process 3) Coastal Development Permit and Site Development Permit to demo an existing residence and construct a new two-story, 5,067 square foot residence, including garage, carport, decks, balconies and site improvements at a site located at 411 Sea Ridge Rd. The 0.21-acre site is in the RS-1-7 Zone, SCOZ-CB, FP 100, and the Coastal (Appealable) Overlay Zone within the La Jolla Community Plan area, and Council District 1.

DPR: **Findings CAN be made**, passes 4-3 (chair breaks tie)

3.3. 2702 Bordeaux (Katz)

(Process 3) Coast Development permit CDP and Site Development permit SDP for remodel and additions to an existing two-story 3263 square foot single dwelling unit for a new total of 7276 square feet on a Lot size of 0.4 acres located at 2702 Bordeaux Avenue in the La Jolla Shores Planned District (LJSPD) SF Zone, Coastal Height Limitation, Coastal Zone, Non Appeal Area 2, Parking Impact - Campus Parking Standards Transit Priority Area, and Transit Priority Area overlay zones within La Jolla Community Plan Area.

PRC: **Findings CAN be made**, passes 4-0-1

3.4. 7306 Draper (Bellava)

(Process 3) Tentative Map, Site Development Permit, and Coastal Development Permit for demolition of an existing single-family residence, subdivision of existing lot into two single lots, and construction of a new 3,615-sq-ft. residence on the south lot and a new 3,470-sq-ft residence on the north lot located at 7306 Draper Avenue. The 0.14-acre site is in RM-1-1 and Coastal Overlay (Non-Appealable) Zone within the La Jolla Community Plan area. Council District 1.

DPR: **Findings CAN be made**, passes 6-0-1

3.5. 7388 Eads (Keshavarzi)

(Process 2) Coastal Development Permit to convert a portion of an existing 2,670 square foot, two-story dwelling unit into a two-story, 894 square-foot companion unit at a site located at 7388 Eads Avenue. The 0.11-acre site is in the RM-1-1 Zone and Coastal (Non-Appealable Area) Overlay Zone within the La Jolla Community Plan, and Council District 1.

DPR: **Findings CAN be made**, passes 6-0-1

Item 3.2, 411 Sea Ridge pulled by Peter Fait

Mark Lyon, architect for Sea Ridge project: When was our project removed from consent because you sent a document this morning scratching it out prior to this meeting?

Jackson: Mr. Fait told me he was going to pull it. As courtesy to people coming to this meeting expecting it to be heard, I sent a note with strikethrough with a note that it was expected to be pulled.

Lyon: Pulling a project prior to the meeting is a violation of the Brown Act. All communication between public and trustees should occur during the meeting. I am not objecting, just trying to show trustees that you need to follow the rules.

Further discussion that CPA bylaws and Brown Act allows officers to meet privately to consider procedural matters and setting of agenda. Notifying chair of intent to pull has been done in past and that procedure was followed in this instance with approval of City Planner and agreement of applicant to hear this item next month due to full agenda with Covid limitations.

Motion: Adopt Consent Agenda items 3.1, 3.3, 3.4, 3.5. (Boyden/Fitzgerald) **Vote:** 15-0-2:

Motion carries. Unanimous, 2 abstentions: Kane (chair) Courtney abstain.

4. Non-Agenda Public Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less

Emerson: La Jolla Shores Association meeting next Wednesday, 6:00 pm on Zoom. We will discuss outside dining on one block of Avenida de la Playa, new logo and branding for LJA. We encourage ideas for logo. We will also bring you up to date on status of things with UCSD.

LaCava: I am running for City Council. Things are moving rapidly; the City proposal to change Community Review Board on Police Practices to independent board much like the independent auditor and budget analyst. Mayor, Police Chief and Police Union on board so you will see it on Nov. Ballot. I encourage you to vote yes. Also we are seeing discussions about changes to police policy and additional items to allow police to do their job more effectively and make sure all San Diegans are treated fairly and equitably. I encourage your participation in a student led protest from Cove to Windansea next week.

Rasmussen: City has installed crosswalks at foot of Playa del Norte as recommended last year.

5. Officer Reports

Information only unless otherwise noted

5.1. Treasurer

La Jolla Community Planning Association	
Treasurer's Report for June 4, 2020 Regular Meeting	
Beginning Balance as of May 1, 2020	\$851.21
Income	
Collections, May 2020	\$00.00
CD Sales	\$00.00

Total Income	<u>\$00.00</u>
Expenses	
Agenda printing	\$00.00
Rec Center	\$00.00
Zoom Meeting Expenses	\$00.00
Total Expenses	<u>\$00.00</u>
Net Income/(Loss)	\$00.00
Ending Balance of May 31, 2020	<u>\$851.21</u>

We expect a bill for \$150 next month for the post office box.

Donations can be made by mailing a check made out to the LJ CPA. Email the Treasurer at EMSMIKE@SAN.RR.COM for instructions and address.

5.2. Secretary

If you register and attend an online meeting your attendance will count towards your meeting attendance requirement. LJCPA is a membership organization open to La Jolla residents, property owners and local business and non-profit owners at least 18 years of age. Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: www.lajollacpa.org/. We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March. You can become a Member after completing the application and attending one meeting. You can maintain your membership by documented attendance at **one** meeting per year. If you do not attend one meeting per year, your membership will expire. To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at **three** LJCPA meetings in the preceding 12-month period.

Kane: Thanks to Suzanne for preparing the Annual Report required by CP 600-24 that compiles our activities for last year and includes all the projects we reviewed and the outcome of the votes. Go to our website to check out the report.

5.3. President

5.3.1. Ratification of committee appointees (action item)

List of proposed appointees will be on the Materials & Comments page (<https://lajollacpa.org/ljcpa-6-4-2020-materials-comments/>) addendum to this report

Ratification of appointments to joint and ad hoc committees of LJCPA and other community groups that are having their membership in these various organizations indemnified by the City. An update to the attached matrix: add to Coastal Access and Parking Board: Anne Kerr Bache, Toni Harris.

Motion: Accept appointments as presented with addition of two additional names from LJTC to Coastal Access and Parking Board. (Boyden/Ahern) **Vote:** Unanimous: 17-0-0 **Motion carries**

6. Non-Project Issues (action items)

The following are ACTION ITEMS unless otherwise noted and may be de novo considerations. Prior actions by committees/boards are listed for information only. Supporting materials from applicants or other interested parties, if any, are available via <https://lajollacpa.org/ljcpa-6-4-2020-materials-comments/>.

6.1. Parks Master Plan update

Kane: Parks Master Plan Update is a 3 year process initiated by the Mayor to look at the Parks and Beaches for the entire city. It has not been updated since 1956. It is important for us to weigh in now because the outcome of this plan will affect us for a long time. The Plan proposes some major changes to how the park system will be implemented. La Jolla Parks and Beaches was asked to prepare a response from LJ. Several LJ community groups and residents met and prepared a letter to send to the City by the May 25, deadline outlining issues important to La Jolla. We could not sign on to this letter by the deadline without trustee approval at a meeting. Since many community groups were also unable to respond by the deadline, the deadline has now been extended to June 11. We now have an opportunity to endorse this letter and/or add comments.

Claudia Baranowski: Presentation of slides showing an overview of Parks Master Plan, with explanation of new city parks standard. The parts of the Plan affecting LJ were then discussed with comments from the La Jolla Working Groups. (see P&B letter and draft endorsement on Materials & Comments page on LJCPA website)

Ahern: the normal features that give points in the new point system such as food concession areas, performance spaces are different for LJ. We want a special consideration for shoreline parks to keep them open and natural and the need for maintenance, funding and approval of projects. This is key for LJ.

Costello: LJ has not gotten as much city funding for our parks as other areas. The idea for private foundation funding mentioned by Claudia would help enhance many small parks throughout LJ.

Neil: I cannot support the paragraph on 2nd page of letter dated May 22, titled Updated Community Plan. I don't want the City to initiate a plan change to our CP considering what they have done to Morena. Most of these changes, including the Master Park Plan, are incorporated into the City's "Complete Communities Plan," which will negatively affect LJ. I recommend we support this letter with the removal of the paragraph asking the City to change the CP.

Ahern: OK to withdraw that paragraph now, but let's keep focused on altering the CP as a win/win for everyone.

Kane: Complete Communities Plan is highly controversial. At CPC meeting this was sprung on us by City staff as ready to go to City Council. It is a blunt force approach to make major changes to all community plans and was defeated by CPC. I support the Parks Master Plan generally. Undeveloped land that can be converted to parks is unavailable and City will need to make existing parks work harder to provide more activities. Funding sources from

development impact fees and other sources are problematic for some communities. Linking parks using hiking or biking trails will entail converting streets and sidewalks. Open space will be lost.

Fitzgerald: Parks in La Jolla have greater intensity of use because of use by many non-residents and therefore, require more maintenance which is not addressed in the Plan's point system.

Further discussion about problems of City updating CP and how to support the letter. It was agreed that a letter with support from unified LJ community would be most effective.

A suggestion was made that all groups revise the letter since deadline was extended.

It was clarified that the 4 groups would agree to revise the letter by removing the final sentence from paragraph titled Updated Community Plan and the word 'Updated' from the title of the paragraph. Then the LJCPA would sign the letter. It was confirmed that the LJCPA would be the fifth signer with that one amendment.

Motion: Ask the four original groups to revise the letter to remove word 'Updated' from the heading of that section and remove the second sentence from the paragraph. (Boyden/Neil)

Vote: unanimous. **Motion carries**

6.2. Slow Streets Program

Hadley: A slow street would only be open to traffic that lived or had business on the street. Through traffic would be on an honor system not to flow through. It would create more bicycle, pedestrian friendly streets slowed by less traffic and would connect to public facilities like parks, open space, rec centers, libraries. Council member asked Diane and the LJCPA to collect and vet suggestions to bring back to her with a recommended, prioritized list. A separate issue is to completely close some streets.

Kane: A map was presented on screen showing the streets that were chosen by a committee consisting of leaders of various LJ community groups. The map of La Jolla showed one continuous street – Coast Blvd. -- from the Cove to various shoreline neighborhoods down to Bird Rock. One segment beginning in LJ Shores, then another long segment from the Cove on Coast Blvd. to the Childrens' Pool to South Casa Beach, past the museum to Neptune along Camino de la Costa. A section on La Jolla Hermosa would be a good place for recreation and as a feeder into the bike trail. A portion of Wall St. was recommended for closure to support restaurants. This was submitted to City traffic engineers to determine if feasible. Another request for the 1000 block of Prospect was not included because Prospect needed to be open for through traffic. Hillside Drive was another suggestion for slowing because of construction projects clogging the street; it is noted for its scenic views and is a popular bike route that connects with Mt Soledad Park and open space. Through traffic trying to avoid Torrey Pines Rd. also causes serious problems on Hillside.

Boyden: Are slow streets only for the time of Covid restrictions? What change in Covid restrictions would cause this program to end? **Repy:** Perhaps when stay at home order is lifted. Some would like this to continue indefinitely.

Meredith Barratz: Consider Soledad Ave. if there is a possibility to expand.

Shannon: How would parking on Coast Blvd. work? Would businesses be hurt?

Costello: Consider going along Chelsea

Little: Close intersection of Linda Rosa St. and La Jolla Mesa. This will close entire area between Turquoise and Mission Blvd. to the school.

The plan and suggestions were approved by acclimation and will be forwarded to Councilmember Bry.

Other announcements

Hadley: Black Lives Matter March on Friday, June 12, starting at the Cove to Windansea beginning at noon. This march is supported by the Village Merchants Assn., Town Council and Councilmember Bry who will participate. Police are aware of event. We want to accommodate the student's free speech and support the event.

Mangano: At the Community Planners meeting the Complete Communities proposal was presented. I urge you to view the report from the CPC meeting. <https://lajollacpa.org/wp-content/uploads/2020/06/Complete-Communities-Housing-and-Mobility-Program.pdf> , go to the City's website for more information then contact the CPA with your comments.

Kane: UCSD presentation on their new plan will be postponed until after the Regents meet in July because we do not have room on the July agenda.

Meeting adjourned: 8:32 pm

Next meeting July 2, 2020 -- 6:00 pm



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

APPROVED Meeting Minutes for August 26, 2020

615 Prospect Street

La Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Jane Potter	Present	Herbert Lazerow	Present
Andrea Moser	Present	Susanne Weissman	Present

1. **Call to Order:** 10:00 a.m.

Potter called the meeting to order at 10:00 a.m. Planning Department staff in attendance included: Marlon Pangilinan, Senior Planner and Tony Kempton, Association Planner as well as project applicants: Nick Wilson, Tony Crisafi, and Howard Katz.

2. **Approval of the Agenda:**

Lazerow moved to approve, Weissman seconded. Motion passed 4-0-0.

3. **Approval of the July 20, May 18 Minutes, June 15:**

Moser moved to approve July 20 minutes, Lazerow seconded. Approved 4-0-0. Lazerow said May and June still needed to be approved. However, Marlon Pangilinan, Senior Planner, mentioned that May and June minutes were previously approved.

4. **Public Comment:**

Marlon Pangilinan, made two announcements:

- Office of Boards and Commission is switching to a Zoom meeting format for future meetings. This will be the platform for the La Jolla Shores Advisory Board going forward.
- Regarding pulling agenda items by the Board for concerns over improper noticing, Pangilinan said the only noticing required for advisory bodies, such as La Jolla Shores Advisory Board, is regarding the 72 hours noticing for the Brown Act. Noticing for project neighbors within 300 feet of projects and hearing notices on project sites are not within the purview of the board.

5. Project Review:

ACTION ITEM A - Development Process Determinations (*Continued from July 20th, 2020*)

The Advisory Board is proposing to forward a letter to the Development Services Department discussing issues with recent development approvals and requesting an explanation as why some projects have bypassed consideration by the Board.

Board Comment:

- The Board Members discussed how many projects listed on Open DSD were approved by staff without going to LJSPDAB and that Process level 2 projects should not be allowed in the PDO.
- The Board Members also noted that the project on 8430 Clifford Lane should be included in list of projects questioned

Motion:

Lazerow moved to approve letter. Potter seconded. Motion approved 4-0-0

ACTION ITEM B- Hicks Residence (*Continued from July 20th, 2020*)

Project: 560839 – 8405 Paseo Del Ocaso CDP/SDP

Location: 8405 Paseo Del Ocaso

APN: 346-082-0100

Presented by: Nick Wilson, Tony Crisafi, NWilson@islandarch.com 858-459-9291

Description: Proposal to construct a new 4,680 sf two-story, single-family residence on a 0.14- acre site. Applicant is seeking a recommendation of approval for a Site Development Permit (SDP)/Coastal Development Permit (CDP)

Presentation

- Applicant sent notice of open house to neighbors for their feedback
- Seven neighbors attended an open house on September 17, 2019
- In 2019 the La Jolla Planning Committee, Project Review Committee reviewed the garage addition and approved
- In July, 2020 the La Jolla Shores Advisory Board denied the project due to insufficient noticing
- In August, 2020 the architect mailed 100 notice letters to neighbors
- Driveway was moved to be conforming to Municipal Code.
- All setbacks have been increased with the new design
- The project is for 4,200 sf at .77 FAR
- The project driveway is 20 feet with 4 off-street parking spaces
- Project will use natural material including Santa Barbara stucco and wood timbers
- Proposed project won't affect public views
- Living area sf is similar to neighboring properties

- A new notice will be posted on-site
- Setbacks are conforming to neighborhood, which include some zero setbacks

Board Comment:

Comment from the Board mentioned that the setbacks were small but not enough to deny project and expressed a different interpretation of the view corridor than the applicant. A request was made by the board to set the garage back by an and additional 2 feet, to which the Applicant agreed.

Motion:

Moser moved to approve as presented with recommendation to adjust setback on kitchen by an additional 1 foot. Potter seconded. Motion failed 3-1-0. Lazerow moved to approve with front set back at 21 feet and kitchen setback by another 2 feet. No second. No additional motions were offered resulting in no action by the Advisory Board on this project.

ACTION ITEM C — PTS 646977 - Katz Remodel and Addition CDP/SDP

Project: PTS 646977

Location: 2701 Bordeaux Avenue

APN: 344=100-1100

Presented by: Howard Katz, Hkatz@hotmail.com, (858) 245-6888

Description: Proposed remodel and addition to an existing 3,263 sf single-family residence on a 0.40-acre site. Applicant is seeking a recommendation of approval for a Site Development Permit (SDP)/Coastal Development Permit (CDP).

Presentation

- Applicant met with all neighbors within 300 feet of project
- FAR is .40
- Square footage is 7,275
- Eight-foot easement for storm and sewer
- No variance requested
- No view issues
- Roof height has been decreased. Lowest on street
- Garage setback 20 feet to accommodate 7 off-street parking
- Quality material used, cedar, stucco

Public Comment:

Letter from Phillip Merten read by Marlon Pangilinan expressing that the project exceeds maximum structure height (southwest corner is 40 feet in height)

Motion:

Potter moved to approve the project. Weissman opined that 40-foot height is a problem. Applicant said the house was built in 1969 and the only change is to actually

reduce the height. Lazerow in agreement with building height in violation of Municipal Code. Motion restated by Lazerow to approve if City determines building does not violate height limit. Weissman seconded. Motion passed 4-0-0.

Next meeting date: September – Date TBD

Adjournment: 12:15 p.m.

Minutes taken by Tony Kempton, Associate Planner, Planning Department



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☒ Other

Project Title: Katz Remodel and Addition

Project No. For City Use Only: 646977

Project Address: 2702 Bordeaux Avenue, La Jolla CA 92037

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☒ General - What State? CA Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Howard and Ann Katz Family Trust ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 2702 Bordeaux Avenue,

City: La Jolla State: CA Zip: 92037

Phone No.: 8582456888 Fax No.: 8587541990 Email: hkatz4@hotmail.com

Signature: _____ Date: 9/28/2019

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: Howard Katz ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 2702 Bordeaux Avenue

City: La Jolla State: CA Zip: 92037

Phone No.: 8582456888 Fax No.: 8587541990 Email: hkatz4@hotmail.com

Signature:  Date: 9/28/2019

Additional pages Attached: ☐ Yes ☐ No


Other Financially Interested Persons

Name of Individual: Ann Katz ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 2702 Bordeaux Avenue

City: La Jolla State: CA Zip: 92037

Phone No.: 8582456887 Fax No.: _____ Email: annkatz@yahoo.com

Signature:  Date: 9.28.19

Additional pages Attached: ☐ Yes ☐ No

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Upon request, this information is available in alternative formats for persons with disabilities.

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
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JORGE M. RICO
DESIGNER / PROJECT
COORDINATOR
2557 J Street
San Diego CA 92102

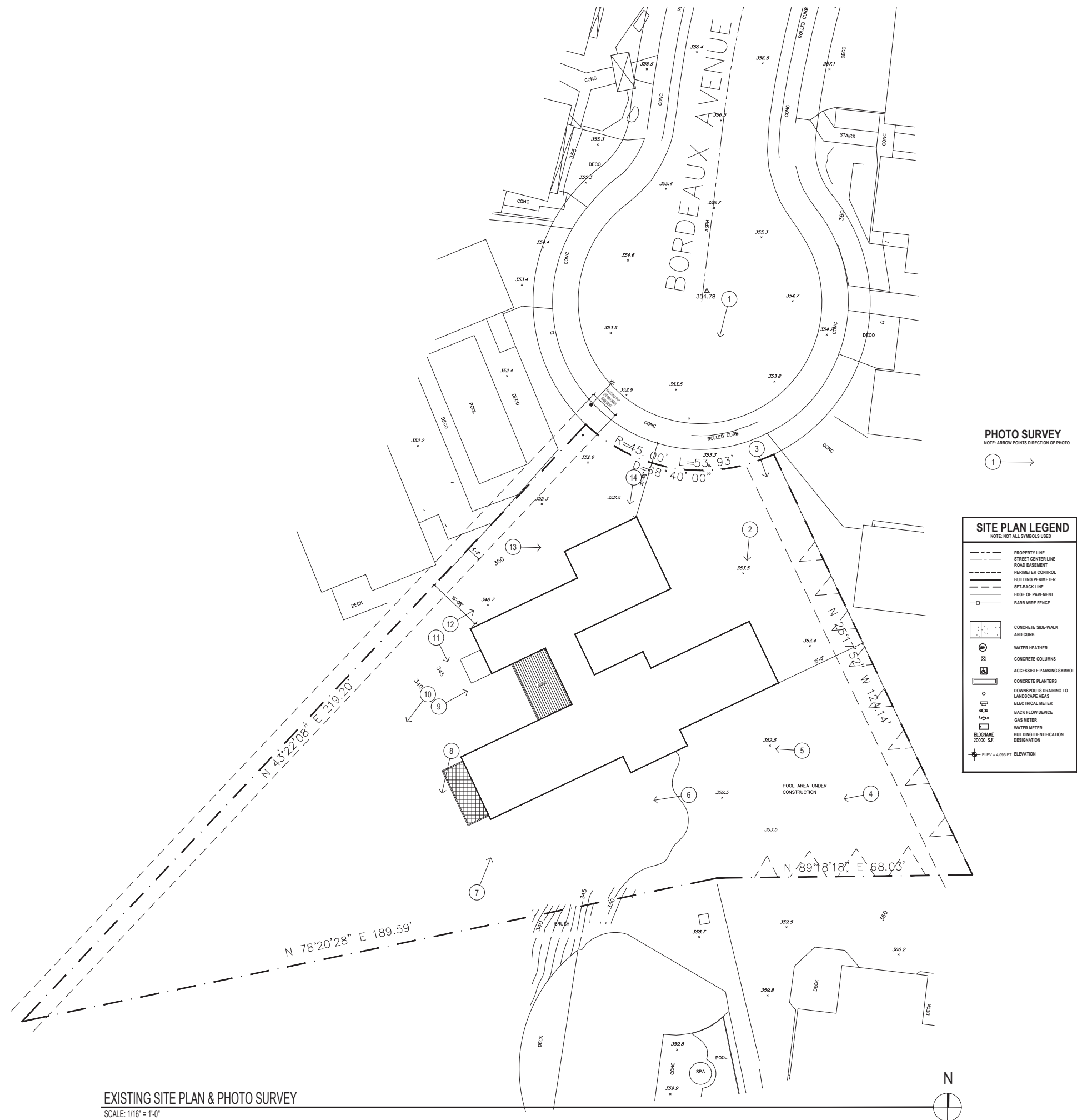
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REVISIONS :	DATE :
	
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START DATE:	02-27-2019
1st SUBMIT DATE:	09-05-2019
2nd SUBMIT DATE:	
DRAWN BY:	JORGE RICO
APPROVED BY:	H. KATZ
PROJECT NO.:	01-0219

SHEET NO. _____

SITE PLAN
PHOTO
SURVEY
SP



EXISTING SITE PLAN & PHOTO SURVEY
SCALE: 1/16" = 1'-0"

**MODERN
FORM
DESIGNS**

RESIDENTIAL &
COMMERCIAL
DESIGN



JORGE M. RICO
DESIGNER / PROJECT
COORDINATOR
2557 J Street
San Diego CA 92102

MOBILE: 619-508-7039
 jorgerico@modernformdesigns.com
 www.modernformdesigns.com

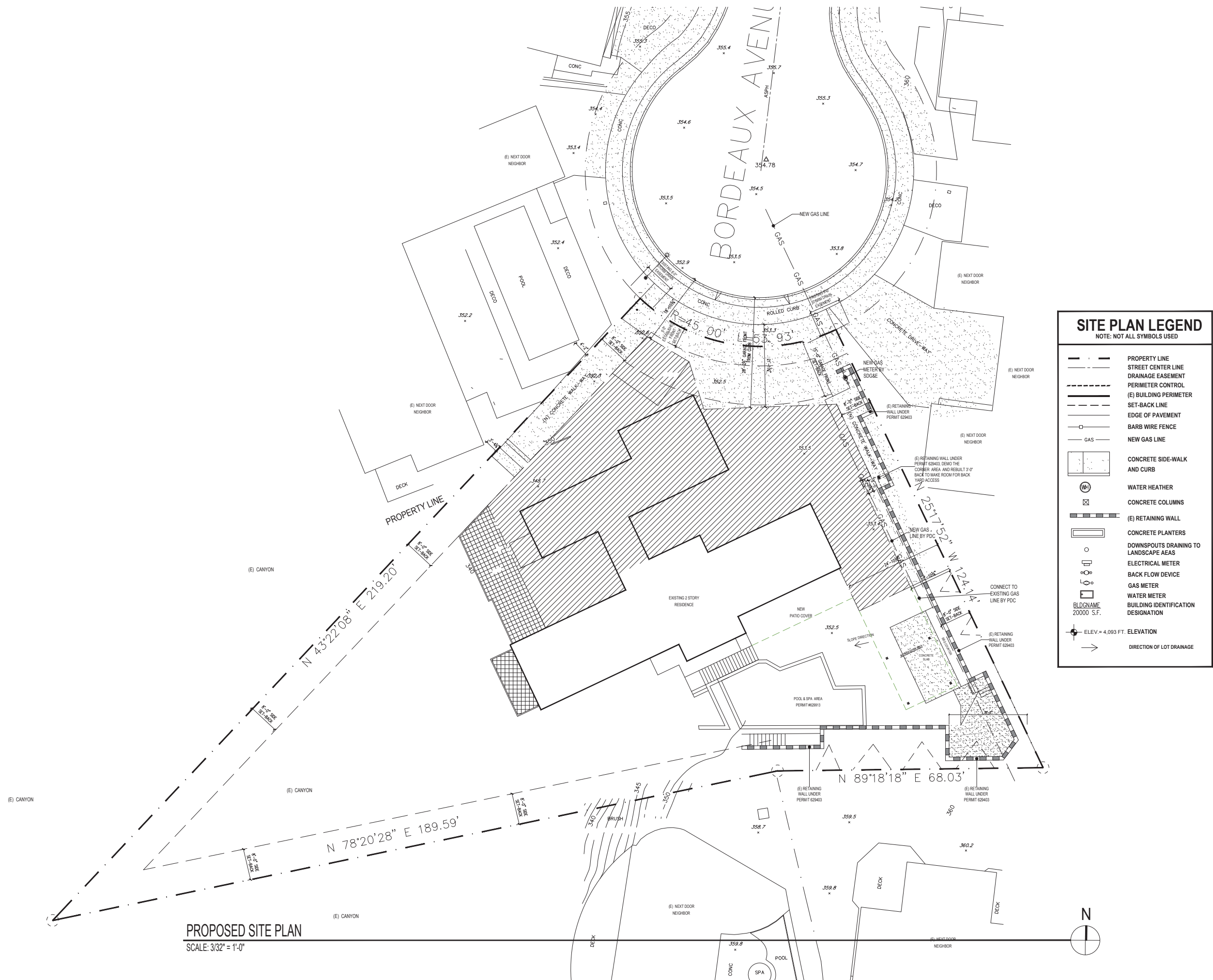
NEW ROOM
ADDITION &
REMODEL
2702
BORDEAUX
AVE. LA JOLLA
CA 92037

[illegible]

SHEET NO. _____

SITE PLAN

SP2



GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
2. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
7. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
8. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
9. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (858) 627-3200.
10. CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
11. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
12. CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
13. AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE REDLINE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED TO AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 9573 CHESAPEAKE DRIVE, SAN DIEGO, CA 92123.
14. "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
15. MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
16. CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.
18. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.
19. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
20. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
21. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

MONUMENT PRESERVATION CERTIFICATION

THE PERMITTEE SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ALL SURVEY MONUMENTS DESTROYED BY CONSTRUCTION. IF A VERTICAL CONTROL MONUMENT IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION SHALL BE NOTIFIED IN WRITING AT LEAST 7 DAYS PRIOR TO DEMOLITION/CONSTRUCTION.

- ☐ THE TYPE OF CONSTRUCTION WILL NOT AFFECT ANY SURVEY MONUMENTS (THIS LINE IS FOR PROJECTS THAT ARE PROPOSING NO DEMOLITION, TRENCHING, ASSOCIATED WITH A CIP, ETC)

NAME

DATE

PRIOR TO PERMIT ISSUANCE, THE PERMITTEE SHALL RETAIN THE SERVICE OF A PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING WHO WILL BE RESPONSIBLE FOR MONUMENT PRESERVATION AND SHALL PROVIDE A CORNER RECORD OR RECORD OF SURVEY TO THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, IF APPLICABLE. (SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA)

I HAVE INSPECTED THE SITE AND DETERMINED THAT:

- ☐ NO SURVEY MONUMENTS WERE FOUND WITHIN THE LIMITS OF WORK
- ☐ SURVEY MONUMENTS EXISTING IN OR NEAR LIMITS OF WORK WILL BE PROTECTED IN PLACE
- ☐ SURVEY MONUMENTS HAVE BEEN TIED OUT AND A FINAL OR PARCEL MAP WILL BE FILED (NO CORNER RECORD OR RECORD OF SURVEY WILL BE REQUIRED)
- ☐ OTHER AGENCY SURVEY MONUMENT (CORNER RECORD OR RECORD OF SURVEY MAY NOT BE REQUIRED). AGENCY HAS BEEN NOTIFIED OF POSSIBLE MONUMENT DESTRUCTION AND A LETTER PROVIDED TO CITY
- ☐ A PRE-CONSTRUCTION CORNER RECORD (OR RECORD OF SURVEY) FOR SURVEY MONUMENTS FOUND WITHIN THE LIMITS OF WORK HAS BEEN FILED.

CORNER RECORD #_____ OR RECORD OF SURVEY #_____

NAME

P.L.S. / R.C.E. NO. XXXXX

EXP. XX-XX-XX

DATE

POST CONSTRUCTION CORNER RECORD (AS-BUILT ITEM)

- ☐ POST CONSTRUCTION CORNER RECORD FOR SURVEY MONUMENTS DESTROYED DURING CONSTRUCTION AND REPLACED AFTER CONSTRUCTION.

CORNER RECORD #_____ OR RECORD OF SURVEY #_____

NAME

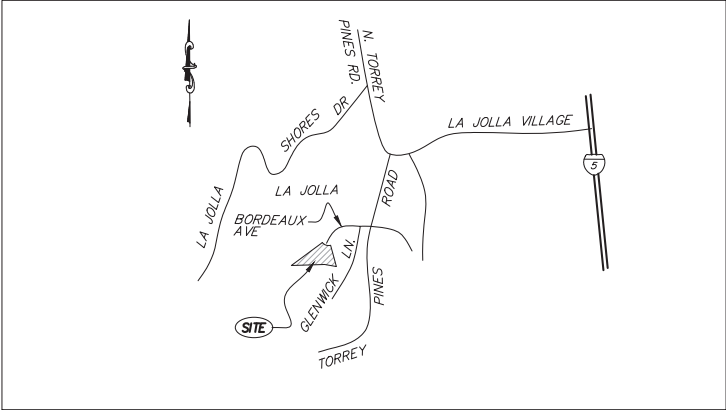
P.L.S. / R.C.E. NO. XXXXX

EXP. XX-XX-XX

DATE

GRADING PLANS FOR:

2702 BORDEAUX AVENUE



VICINITY MAP

NO SCALE

GRADING + GEOTECHNICAL SPECIFICATIONS

1. ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEOTECHNICAL INVESTIGATION REPORT(S) ENTITLED:

REPORT TITLE, PROJECT NAME, PROJECT LOCATION, PREPARED BY (COMPANY NAME), DATED (THEIR COMPANY PROJECT NO.)

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS.

2. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.

3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT SHALL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR GEOTECHNICAL REPORT(S), THE FINAL "AS-GRADED" GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.

4. THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEOTECHNICAL CONSULTANT(S) OF RECORD. IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEOTECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.

5. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

(SIGNATURE)
ENGINEER'S NAME

P.E. OR G.E.

DATE

(SIGNATURE)
GEOLOGIST'S NAME

P.G. OR C.E.G.

DATE

COMPANY NAME*
ADDRESS
TELEPHONE NUMBER

*IF THE PROFESSIONAL ENGINEER (P.E. OR G.E.) AND PROFESSIONAL GEOLOGIST (P.G. OR C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

NAME

R.C.E. NO. 36543

EXP. XX-XX-XX

DATE

OWNER/APPLICANT

MR. AND MRS. HOWARD KATZ
8654 NOTTINGHAM PLACE, LA JOLLA, CA 92037
PHONE: (XXX) XXX-XXXX

SITE ADDRESS

2702 BORDEAUX AVENUE, LA JOLLA, CA 92037

TOPOGRAPHY SOURCE

KAPPA SURVEYING & ENGINEERING, INC.
8402 N. MAGNOLIA AVENUE SUITE C, SANTEE, CA 92071
DATE: FEBRUARY 16, 2021

ASSESSORS PARCEL NUMBER

344-100-11-00

EXISTING LEGAL DESCRIPTION

LOT 54 OF LA JOLLA HIGHLANDS, UNIT NO. 2, ACCORDING TO MAP THEREOF NO. 3361, FILED IN THE OFFICE OF THE COUNTY OF RECORDER OF SAN DIEGO COUNTY, JANUARY 27, 1956.

SHEET INDEX

TITLE SHEET	C1
EXISTING TOPOGRAPHY	C2
GRADING AND DRAINAGE PLAN	C3
EROSION CONTROL PLAN	C4

GRADING QUANTITIES

GRADED AREA _____ XXXX [ACRES]	MAX. CUT DEPTH _____ [FT]
CUT QUANTITIES _____ XXXX [CYD]	MAX CUT SLOPE RATIO (2:1MAX) _____
FILL QUANTITIES _____ XXXX [CYD]	MAX. FILL DEPTH _____ [FT]
IMPORT/EXPORT _____ XXXX [CYD]	MAX FILL SLOPE RATIO (2:1MAX) _____

THIS PROJECT PROPOSES TO EXPORT _____ CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

CONSTRUCTION STORM WATER PROTECTION NOTES

1. TOTAL SITE DISTURBANCE AREA (ACRES) _____
WATERSHED: _____
HYDRAULIC SUB AREA NAME AND NUMBER: _____
2. THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE
☐ WPCP
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS.
☐ SWPPP
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWQ AS AMENDED BY ORDER 2010-0014 DWQ AND 2012-0006-DWQ

TRADITIONAL: RISK LEVEL ☐ 1 ☐ 2 ☐ 3
LUP RISK LEVEL ☐ 1 ☐ 2 ☐ 3
WDID NO: _____
3. CONSTRUCTION SITE PRIORITY
☐ ASBS ☐ HIGH ☐ MEDIUM ☐ LOW



General Notes

KATZ
RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

TITLE SHEET

No.	Revision/Issue	Date

Firm Name and Address

KAPPA SURVEYING AND ENGINEERING, INC.
8402 N. MAGNOLIA AVE, SUITE C
SANTEE, CA 92071

TEL: (619) 449-2600
FAX: (619) 449-2602

Project Name and Address

KATZ RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

Project	376920	Sheet C1
Date	05/19/2021	
Scale	As Noted	

376920.DWG/CIVIL3D/TOPOGRAPHY.DWG

TOPOGRAPHIC SURVEY OF
2702 BORDEAUX AVENUE

LA JOLLA, CA 92037
FEBRUARY 16, 2021

LEGEND

	SPOT ELEVATION
	FINISH SURFACE
	EXISTING GRADE
	EXISTING
	FINISH FLOOR
	TOP OF CURB
	FLOW LINE
	RIGHT OF WAY
	WATER METER
	GAS METER
	ELECTRIC METER
	SEWER CLEANOUT
	SEWER MANHOLE
	PROPERTY LIN
	EXISTING RETAINING WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING CHAINLINK FENCE
	EXISTING WOODEN FENCE
	EXISTING OVERHEAD ELECTRICAL LINES
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	EXISTING POWER POLE W/LIGHT
	CONCRETE PAVING
	AREA DRAIN
	4" PVC DRAIN PIPE
	18" SD PIPE
	CONC HEADWALL

PREPARED FOR:

HOWARD KATZ
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

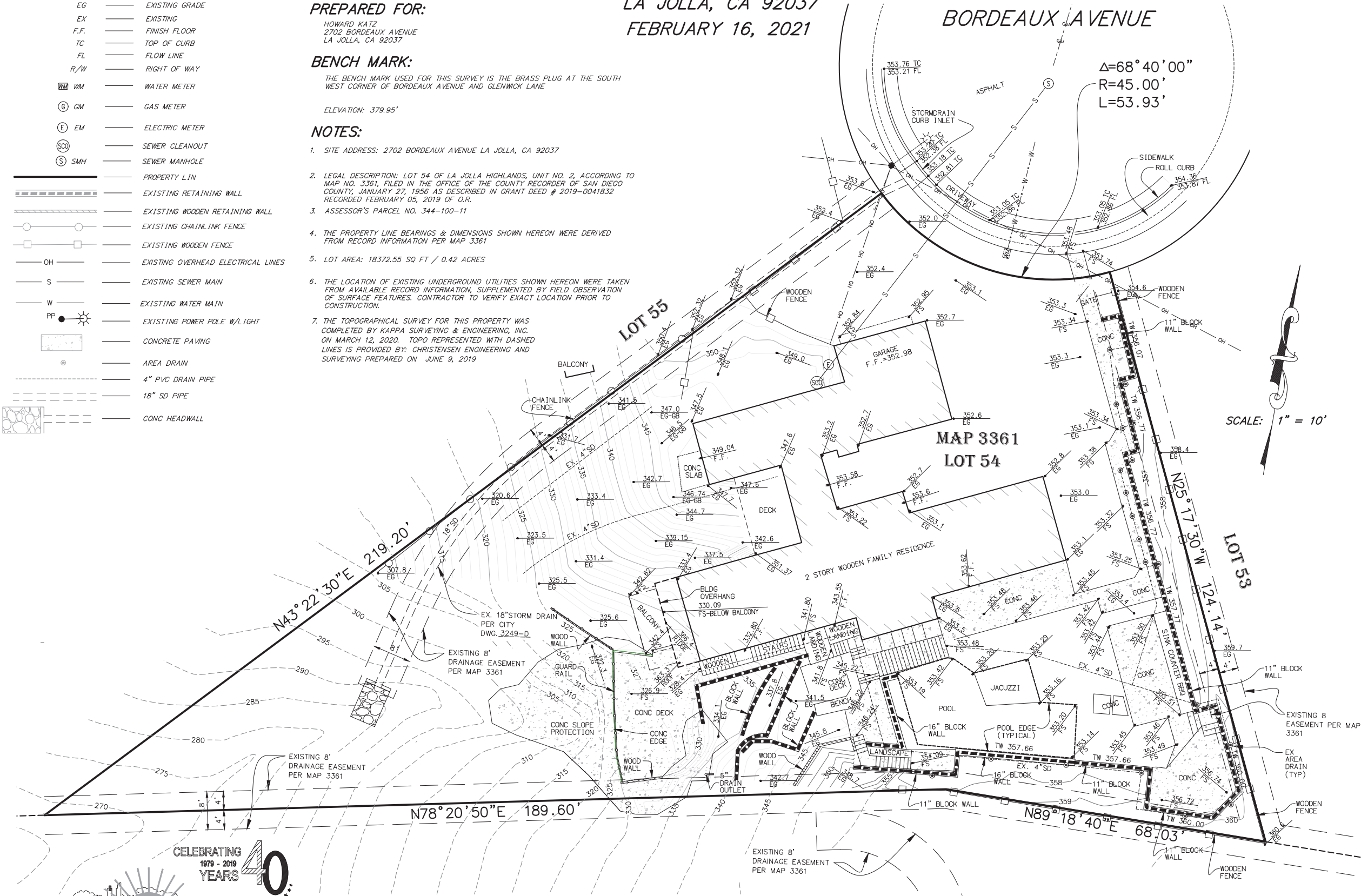
BENCH MARK:

THE BENCH MARK USED FOR THIS SURVEY IS THE BRASS PLUG AT THE SOUTH
WEST CORNER OF BORDEAUX AVENUE AND GLENWICK LANE

ELEVATION: 379.95'

NOTES:

1. SITE ADDRESS: 2702 BORDEAUX AVENUE LA JOLLA, CA 92037
2. LEGAL DESCRIPTION: LOT 54 OF LA JOLLA HIGHLANDS, UNIT NO. 2, ACCORDING TO MAP NO. 3361, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 27, 1956 AS DESCRIBED IN GRANT DEED # 2019-0041832 RECORDED FEBRUARY 05, 2019 OF O.R.
3. ASSESSOR'S PARCEL NO. 344-100-11
4. THE PROPERTY LINE BEARINGS & DIMENSIONS SHOWN HEREON WERE DERIVED FROM RECORD INFORMATION PER MAP 3361
5. LOT AREA: 18372.55 SQ FT / 0.42 ACRES
6. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM AVAILABLE RECORD INFORMATION, SUPPLEMENTED BY FIELD OBSERVATION OF SURFACE FEATURES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
7. THE TOPOGRAPHICAL SURVEY FOR THIS PROPERTY WAS COMPLETED BY KAPPA SURVEYING & ENGINEERING, INC. ON MARCH 12, 2020. TOPO REPRESENTED WITH DASHED LINES IS PROVIDED BY: CHRISTENSEN ENGINEERING AND SURVEYING PREPARED ON JUNE 9, 2019



General Notes

KATZ
RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

EXISTING
TOPOGRAPHY

No.	Revision/Issue	Date
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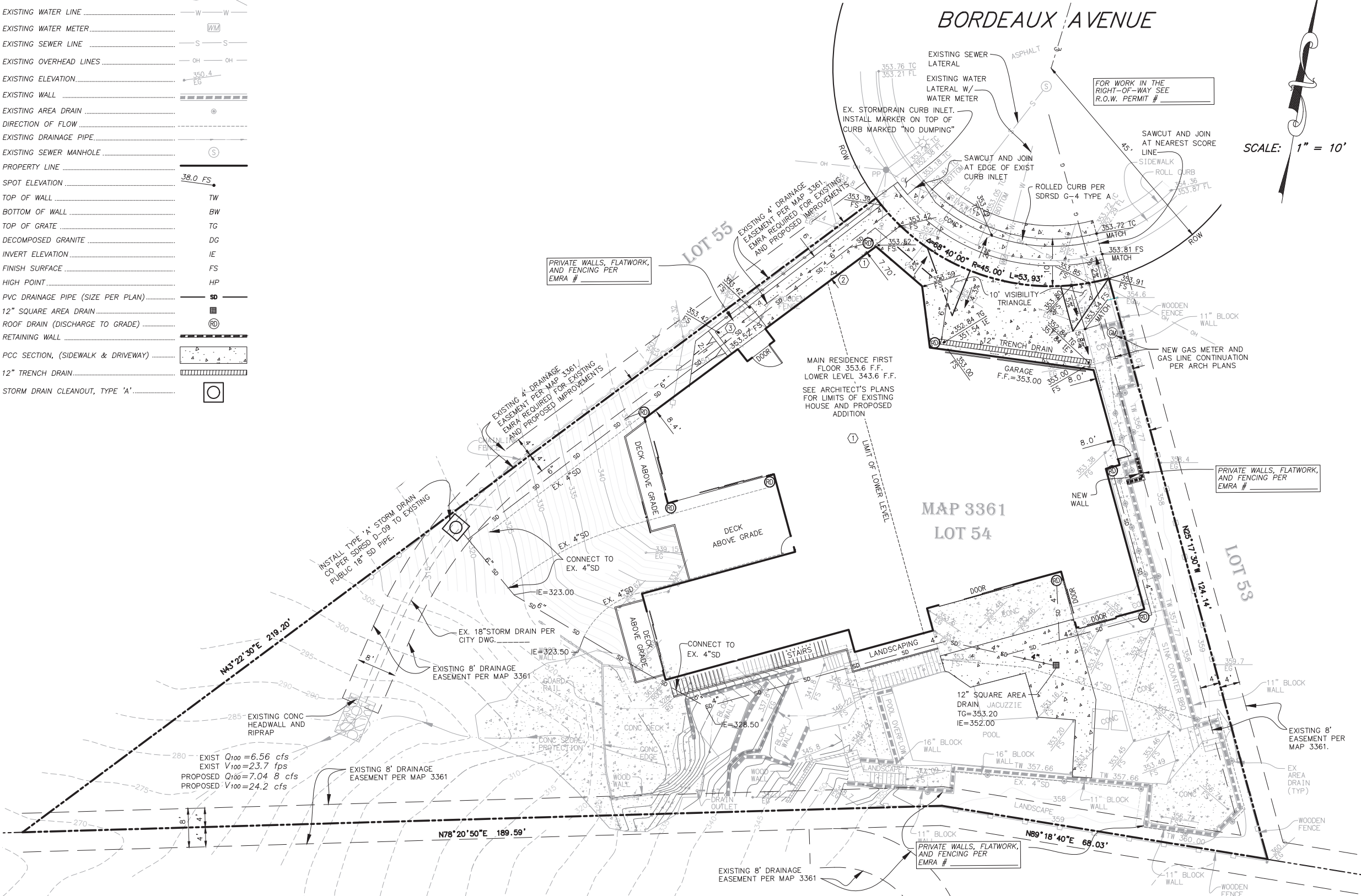
Firm Name and Address
KAPPA SURVEYING AND ENGINEERING, INC.
8402 N. MAGNOLIA AVE, SUITE C
SANTEE, CA 92071
TEL: (619) 449-2600
FAX: (619) 449-2602

Project Name and Address
KATZ RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

Project	376920	Sheet	C2
Date	05/19/2021		
Scale	As Noted		

LEGEND

ITEM	SYMBOL
EXISTING CONTOUR LINE	40
EXISTING WATER LINE	W W
EXISTING WATER METER	WM
EXISTING SEWER LINE	S S
EXISTING OVERHEAD LINES	OH OH
EXISTING ELEVATION	350.4 EG
EXISTING WALL	---
EXISTING AREA DRAIN	○
DIRECTION OF FLOW	---
EXISTING DRAINAGE PIPE	---
EXISTING SEWER MANHOLE	Ⓢ
PROPERTY LINE	---
SPOT ELEVATION	38.0 FS
TOP OF WALL	TW
BOTTOM OF WALL	BW
TOP OF GRATE	TG
DECOMPOSED GRANITE	DG
INVERT ELEVATION	IE
FINISH SURFACE	FS
HIGH POINT	HP
PVC DRAINAGE PIPE (SIZE PER PLAN)	SD
12" SQUARE AREA DRAIN	■
ROOF DRAIN (DISCHARGE TO GRADE)	Ⓡ
RETAINING WALL	---
PCC SECTION, (SIDEWALK & DRIVEWAY)	---
12" TRENCH DRAIN	---
STORM DRAIN CLEANOUT, TYPE 'A'	Ⓢ



CELEBRATING
1979 - 2019
YEARS 40

KAPPA SURVEYING & ENGINEERING, INC.
8402 N. MAGNOLIA AVE, SUITE C, SANTEE, CA 92071 (619) 449-2600 FAX: (619) 449-2602

IMPERVIOUS TABLE:

A. TOTAL DISTURBANCE AREA:	9,730 SF
B. EXISTING AMOUNT OF IMPERVIOUS AREA:	4,950 SF
C. PROPOSED AMOUNT OF IMPERVIOUS AREA:	4,780 SF
D. AMOUNT OF REPLACED IMPERVIOUS AREA:	0
E. TOTAL IMPERVIOUS AREA:	9,730 SF
F. IMPERVIOUS % INCREASE:	97%

NOTE: IMPERVIOUS AREA SHALL INCLUDE:
ROOF, SIDEWALK, PARKING

EARTHWORK QUANTITIES:

CUT:	0 CY	MAX CUT DEPTH:	BENEATH BUILDING: 9.7' ①
FILL:	< 5 CY	OUTSIDE OF BUILDING: 0' N/A	
IMPORT:	< 5 CY	MAX FILL DEPTH:	BENEATH BUILDING: 1.3' ②
EXPORT:	NO SOIL EXPORT FROM THIS SITE		OUTSIDE OF BUILDING: 3.5' ③

(EXCLUDES EXISTING HARDSCAPE & BUILDING BASEMENT SLABS/FOUNDATION)

LOCATION SHOWN ON PLAN

VISIBILITY OBSTRUCTION NOTE
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24" IN HEIGHT FROM THE TOP OF THE ADJACENT CURB.

GRADING PERMIT NOTE
THIS PROJECT IS NOT PROPOSING ANY CUT AND FILL OR GRADING THAT REQUIRES A GRADING PERMIT PER SDMC SECTION 129.0602

STORMDRAIN SYSTEM
ALL STORM DRAIN PIPING IS PRIVATE UNLESS NOTED OTHERWISE

General Notes

KATZ RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

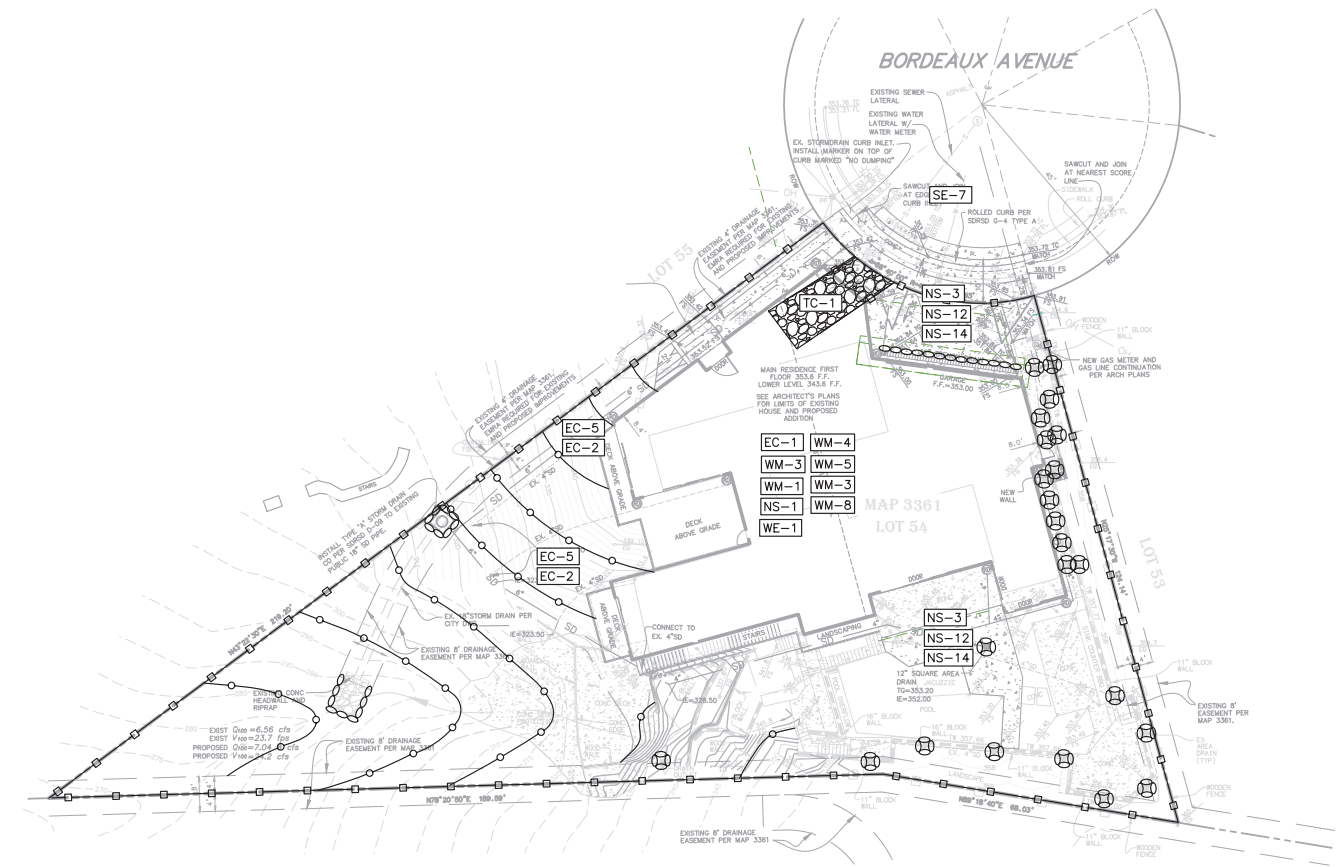
GRADING AND DRAINAGE PLAN

No.	Revision/Issue	Date

Firm Name and Address
KAPPA SURVEYING AND ENGINEERING, INC.
8402 N. MAGNOLIA AVENUE, SUITE C
SANTEE, CA 92071
TEL: (619) 449-2600
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Project Name and Address
KATZ RESIDENCE
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LA JOLLA, CA 92037

Project	376920	Sheet	C3
Date	05/19/2021		
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EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
- FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION:** ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/8 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES:** DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/8 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING:** POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE

PERMANENT POST-CONSTRUCTION BMP NOTES

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWDMCA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

SPECIAL RAINY SEASON PROVISIONS

DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

- THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO MAY 1ST.
- ALL EROSION CONTROL FEATURES (BMPs) SHALL BE INSPECTED AT LEAST ONCE EACH WEEK.
- SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED.



EROSION CONTROL LEGEND

THE FOLLOWING EROSION CONTROL BMP'S WILL BE USED ON THIS PROJECT, ALONG WITH ALL ELEMENTS OF THE PROJECT'S WATER POLLUTION CONTROL PROGRAM (WPCP) WHICH ARE INCLUDED HEREIN BY REFERENCE.

TEMPORARY BMP NAME	BMP DWG NO	SYMBOL
GENERAL EROSION CONTROL BMP'S		
SCHEDULING/PHASING CONSTRUCTION	EC-1	N/A
MANAGE SOIL STOCKPILES	WM-3	N/A
PHYSICAL STABILIZATION BMP'S		
SOIL BINDERS	EC-5	N/A
VEGETATION STABILIZATION BMP'S		
PRESERVE EXISTING VEGETATION	EC-2	N/A
ESTABLISH PERMANENT LANDSCAPING	--	N/A
PERIMETER CONTROL BMP'S		
SILT FENCING	SE-1	
FIBER ROLLS	SE-5	
GRAVEL BAG BARRIERS	SE-6	
SEDIMENT CAPTURE BMP'S		
STORM DRAIN INLET PROTECTION	SE-10	
OFF-SITE SEDIMENT TRACKING BMP'S		
TEMPORARY CONSTRUCTION ENTRANCE	TC-1	
STREET SWEEPING & VACUUMING	SE-7	N/A
SPILL CONTROL BMP'S		
SPILL PREVENTION & CONTROL	WM-4	N/A
WASTE MANAGEMENT BMP'S		
SOLID WASTE MANAGEMENT	WM-5	N/A
STOCKPILED WASTE MANAGEMENT	WM-3	N/A
CONCRETE WASTE MANAGEMENT	WM-8	N/A
LIQUID WASTE MANAGEMENT	WM-10	N/A
MATERIAL STORAGE & HANDLING BMP'S		
MATERIAL STORAGE	WM-1	N/A
PAVING & GRINDING OPERATIONS	NS-3	N/A
CONCRETE CURING	NS-12	N/A
CONCRETE FINISHING	NS-14	N/A
NON-STORM WATER MANAGEMENT BMP'S		
WATER CONSERVATION PRACTICES	NS-1	N/A
PARTICULATE & DUST CONTROL BMP'S		
WIND EROSION CONTROL	WE-1	N/A
FINAL STABILIZATION BMP'S		
FINAL STABILIZATION	--	N/A

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS FORM I-4A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SOURCE CONTROL REQUIREMENT	APPLIED?			
4.2.1 PREVENTION OF ILLEGAL DISCHARGES INTO THE MSA	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.2.2 STORM DRAIN STENCILING OR SIGNAGE	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.2.3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.2.6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
INTERIOR PARKING GARAGES	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
FOOD SERVICE	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
REFUSE AREAS	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
INDUSTRIAL PROCESSES	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
FUEL DISPENSING AREA	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
LOADING DOCKS	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
FIRE SPRINKLER TEST WATER	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:				

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS FORM I-5A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SITE DESIGN REQUIREMENT	APPLIED?			
4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.3 MINIMIZE IMPERVIOUS AREA	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.6 RUNOFF COLLECTION	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/>	YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:				

General Notes

KATZ
RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

EROSION
CONTROL PLAN

No. Revision/Issue Date

Firm Name and Address

KAPPA SURVEYING AND ENGINEERING, INC.
8402 N. MAGNOLIA AVENUE, SUITE C
SANTEE, CA 92071

TEL: (619) 449-2600
FAX: (619) 449-2602

Project Name and Address

KATZ RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

Project 376920 Sheet

Date 05/19/2021

Scale AS NOTED

C4



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
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Michael Morton AIA
Claude Anthony Marengo DESA



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KATZ RESIDENCE
FIRE ACCESS PLAN
2702 Bordeaux Ave.
La Jolla, CA 92037

REVISIONS	PROJECT START
9/25/2020	



PHASE FEASIBILITY

PROJECT NO. 2020-35

REVIEWED BY CAM

DRAWN BY AP

DATE 12/2/2020

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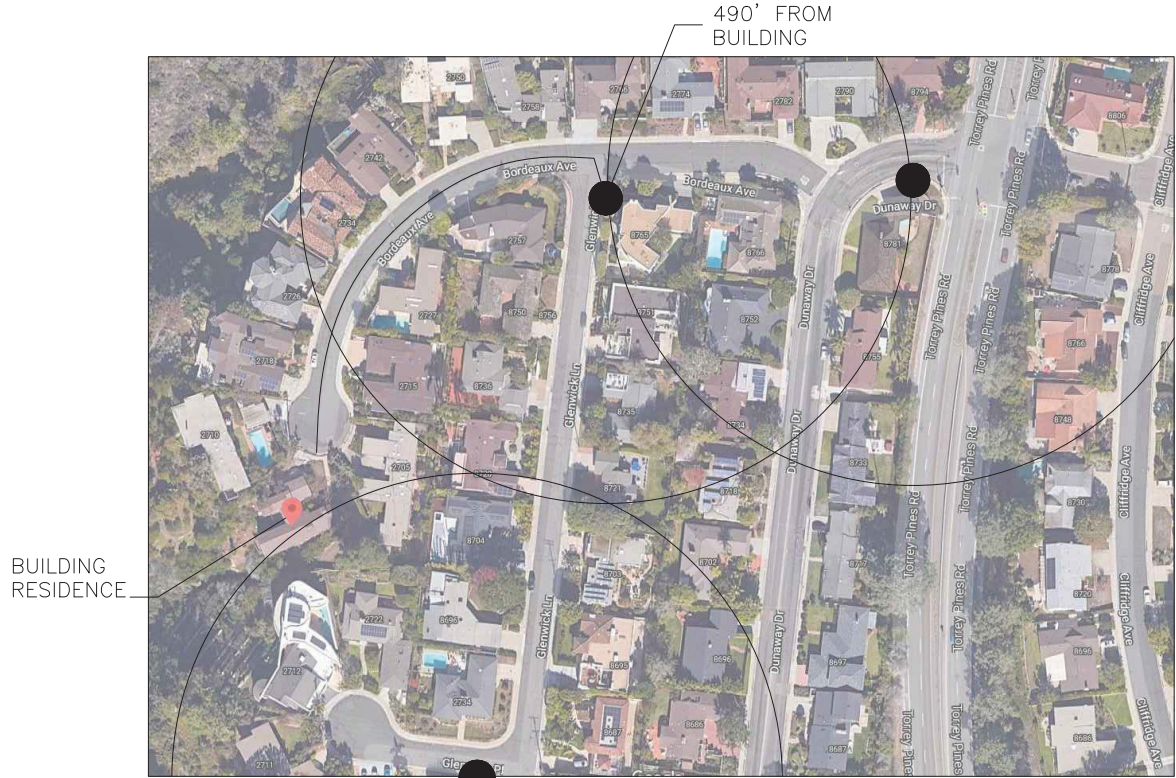
SHEET TITLE
PROPOSED
FIRE ACCESS PLAN

A-1.1.1

FIRE NOTES

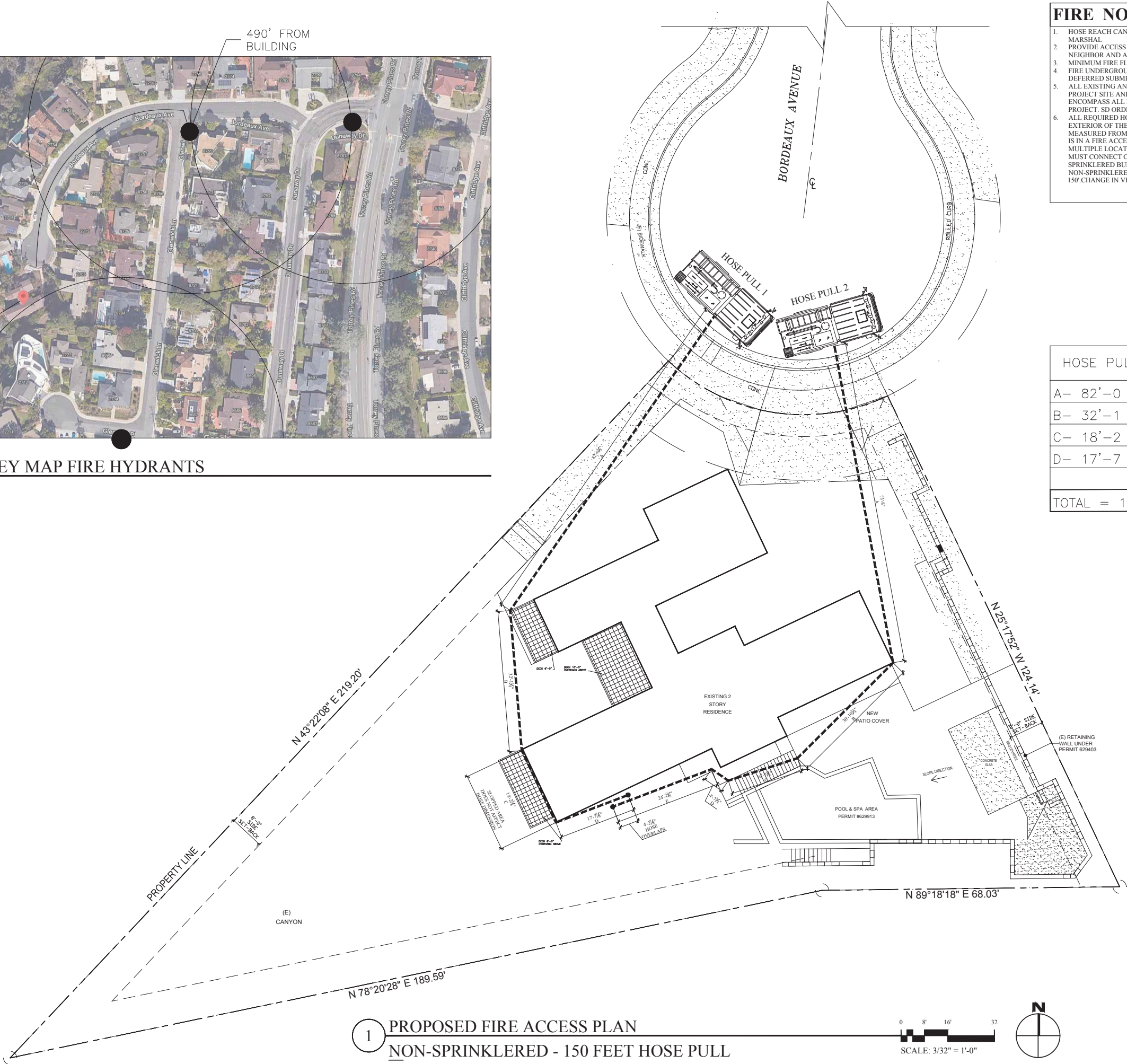
1. HOSE REACH CAN BE INCREASED TO 200 FT. BY NEGOTIATING WITH FIRE MARSHAL
2. PROVIDE ACCESS TO SITE FROM BORDEAUX AVE. WITH EASEMENT BY NEIGHBOR AND ACCESS GATE
3. MINIMUM FIRE FLOW IS 1500 GPM @ 20 PSI
4. FIRE UNDERGROUND LINES, FIRE SPRINKLERS, AND FIRE ALARMS WILL BE DEFERRED SUBMITTALS TO THE ESCONDIDO FIRE DEPARTMENT.
5. ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927
6. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14.1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 200' FOR NON-SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 150' CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR

HOSE PULL 1	HOSE PULL 2
A- 82'-0 1/8"	A- 73'-8"
B- 32'-1 5/8"	B- 30'-10 3/4"
C- 18'-2 3/8"	C- 16'-7 3/8"
D- 17'-7 7/8"	D- 4'-7 3/4"
	E- 24'-2 1/8"
TOTAL = 150'	TOTAL = 150'



BUILDING RESIDENCE

2 KEY MAP FIRE HYDRANTS



1 PROPOSED FIRE ACCESS PLAN
NON-SPRINKLERED - 150 FEET HOSE PULL

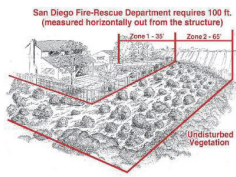
0 8' 16' 32'
SCALE: 3/32" = 1'-0"



San Diego Municipal Code
§142.0412 - Brush Management

Table 142-04H

	Standard Width	Provided Width
Zone One	35-feet	
Zone Two	65-feet	



THE OWNER/PERMITTEE SHALL SCHEDULE A PRE-CONSTRUCTION MEETING ON SITE WITH THE CONTRACTOR AND THE DEVELOPMENT SERVICES DEPARTMENT TO DISCUSS AND OUTLINE THE IMPLEMENTATION OF THE BRUSH MANAGEMENT PROGRAM.

BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASON OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.

OFFSITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNERS. FOR FUEL-LOAD MAINTENANCE ISSUES, CONTACT THE FIRE-RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR - BRUSH/WEED COMPLIANT LINE AT: (619)-533-4444

ALL LANDSCAPING / BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONE(S) AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE OWNER. THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.

IF IN THE VERY HIGH FIRE SEVERITY ZONE; 35' OF ZONE 1 AND 65' OF ZONE 2 (DEFENSIBLE SPACE = 100' TOTAL; ZONE 1 SHALL NOT BE LESS THAN 35' WITHOUT ADDITIONAL MITIGATION(S)) DEFENSIBLE SPACE REDUCES THE RISK THAT FIRE WILL SPREAD FROM THE SURROUNDINGS TO THE STRUCTURE AND PROVIDES FIREFIGHTERS ACCESS/ABILITY TO DEFEND THE STRUCTURE. REDUCED ZONES WILL JEOPARDIZE THE STRUCTURE AND INHIBIT FIREFIGHTERS DEFENSIBLE SPACE.

R337.1.3 APPLICATION, EXCEPTION 4., WITH THE REFERENCE DATE FROM R337.1.3.1 APPLICATION DATE AND WHERE REQUIRED, JULY 8, 2008; SHALL NOT APPLY WHEN ANY PORTION OF ADDITION/REMODEL CAUSES THERE TO BE LESS THAN THE REQUIRED MINIMUM 100'. MITIGATION IS WHAT IS REQUIRED BY CODE: IF LOCATED IN THE HIGH SEVERITY FIRE ZONE, YOU ARE REQUIRED TO COMPLY WITH CRC 337/CBC 7A. SPRINKLERS FOR NEW BUILDINGS ARE ALSO REQUIRED. THESE REQUIREMENTS DO NOT PROVIDE "ADDITIONAL" MITIGATION. FOR ADDITIONAL MITIGATION(S); SEE FPB POLICY B-18-01, SECT. V, SUBSECTION C.

"MITIGATION FOR REDUCED ZONES IS COMPLIANCE WITH CRC 337" (ADDITIONAL MITIGATION) "WHEN THE ZONE 1 BOUNDARY ENCROACHES WITHIN <10' FROM ANY PORTION OF THE STRUCTURE(S), THEN A 6' BLOCK WALL ACROSS THE ENTIRE BRUSH SIDE(S) SHALL BE REQUIRED OR PROVIDE A TECH REPORT."

MITIGATION FOR ADDITION: CLASS A ROOFING, EAVES PROTECTED, ATTACHMENTS/PROJECTIONS-IGNITION RESISTANT, WINDOWS DUAL PANE/SINGLE TEMPER - IF VINYL WELDED CORNERS/METAL REINFORCEMENT-INDUSTRY STANDARD, EXTERIOR WALLS NON COMBUSTIBLE WALL SURFACES, NON-COMBUST EXTERIOR DOORS, GUTTERS PREVENT DEBRIS ACCUMULATION, SKYLIGHTS TEMPERED, WIRE MESH FOR VENT OPENINGS-PROHIBITED WHERE EMBERS MOST LIKELY TO ACCUMULATE, 1/8TH - 1/16TH" WHERE ALLOWED, SPARK ARRESTOR FOR CHIMNEYS, UNDERFLOOR ENCLOSED AS REQUIRED FOR EXT. WALLS. VERIFY WITH STRUCTURAL REVIEW BEFORE RESCHEDULING WITH FIRE REVIEW.

ALL CRC337/CBC7A MITIGATION REQUIREMENTS AND ALL FPB POLICY B-18-01 ADDITIONAL MITIGATION REQUIREMENTS SHALL BE REVIEWED BY STRUCTURAL OR IAS COMBINED. ONCE STRUCTURAL/IAS HAS APPROVED/SIGNED OFF, THEN THE FIRE PLAN REVIEWER CAN APPROVE/SIGN OFF.

- (f) The Zone Two width may be decreased by 1½ feet for each 1 foot of increase in Zone One width.
- (g) Zone One Requirements
- The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
 - Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or heavy timber construction.
 - Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant.
 - Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
 - Permanent irrigation is required for all planting areas within Zone One except as follows:
 - When planting areas contain only species that do not grow taller than 24 inches in height, or
 - When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
 - Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
 - Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- (h) Zone Two Requirements
- The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure, to the edge of undisturbed vegetation.
 - No structures shall be constructed in Zone Two.
 - Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
 - Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
 - The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - All new plant material for Zone Two shall be native, low-fuel, and fire-resistant. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
 - New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistant native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
 - All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallonage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

San Diego Landscape Standards
Section III - Brush Management

1 BRUSH MANAGEMENT - DESCRIPTION

Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

2 BRUSH MANAGEMENT- REQUIREMENTS

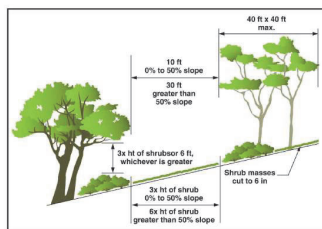
3.2-1 Basic requirements - All Zones

3.2-1.01 For zone two, plants shall not be cut below six inches.

3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.

3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.

Figure 3-1
Pruning Trees to Provide Clearance for Brush Management



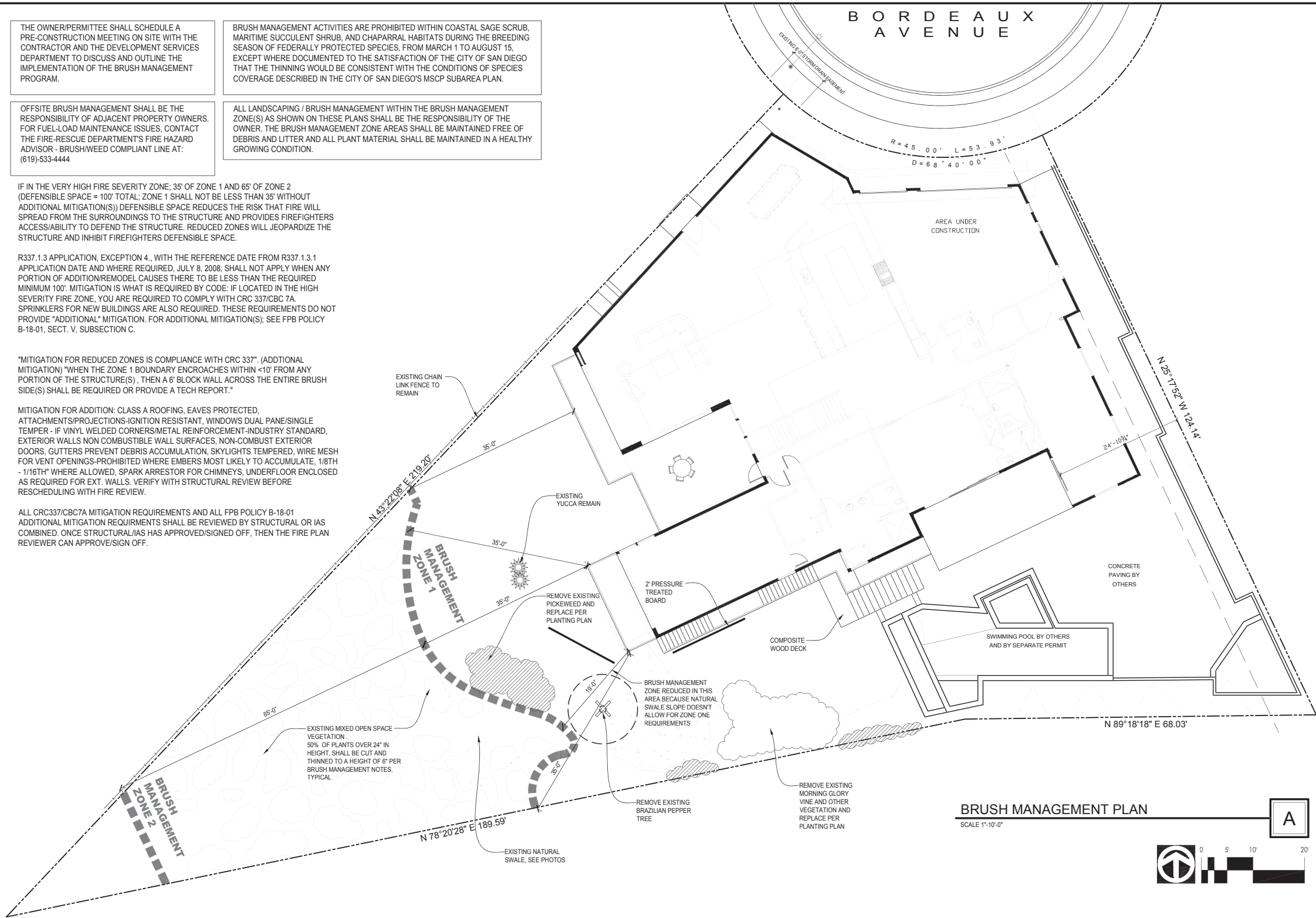
- 3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).
- 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).
- 3.2-2 Zone 1 Requirements - All Structures
- 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").
- 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
- 3.2-2.03 Maintain all plantings in a succulent condition.
- 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.
- 3.2-3 Zone 2 Requirements - All Structures
- 3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

- General Maintenance - Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance; Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
- Brush Management Zone 1 - This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
- Brush Management Zone 2 - Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since

minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.

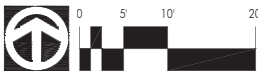
4. Long-term Maintenance Responsibility - All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of THE OWNER. [please Specify, e.g. Owner, I.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.



BRUSH MANAGEMENT PLAN

SCALE 1"=10'-0"

A



sotelo
LANDSCAPE ARCHITECTS

2643 4th Avenue
San Diego, CA 92103
phone 619.544.1977
angelina@sotelo.com
www.sotelo.com



KATZ
RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA, CA 92037

SUBMIT TO CLIENT 09.03.19

BRUSH
MANAGEMENT
PLAN

SHEET
L1.0

PLANTING NOTES

1. LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE WITHIN PLUS OR MINUS .10 FEET OF FINISH GRADE.
2. THE PLANTING PLANS ARE DIAGRAMMATIC. MINOR ADJUSTMENTS IN PLANT LOCATIONS AND TYPE MAY BE MADE AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND REPLACED UPON REQUEST BEFORE OR AFTER THE PLANTING.
4. THE LANDSCAPE CONTRACTOR WILL COORDINATE HIS WORK WITH THE OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION.
5. PLANT QUANTITIES AND AREAS SHOWN ON LEGENDS ARE FOR CONTRACTORS' CONVENIENCE IN ESTIMATING ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIALS TO COVER ALL AREAS AS SHOWN ON PLANS.
6. TREE AND SHRUB PITTS 5 GALLONS AND SMALLER SHALL BE TWO TIMES ROOTBALL DIAMETER WIDE AND 1-1/2 TIMES CONTAINER DEPTH.
7. DO NOT DAMAGE PLANT ROOTBALL DURING TRANSPORTATION OR PLANTING.

COASTAL SAGE SCRUB HYDROSEED MIX

SPECIES	COMMON NAME	BULK #\$/ACRE	MIN % PL'S*
ACMISPON AMERICANUS	PURSHING LOTUS	2.00	20
ACMISPON GLABER	DEERWEED	2.00	81
ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	2.00	18
CALYPSOGRAPHS CHEIRANTHIFOLIA	BEACH EVENING PRIMROSE	1.00	83
COLLINSIA HETEROPHYLLA	CHINESE HOUSES	2.00	86
ENCELIA CALIFORNICA	BUSH SUNFLOWER	4.00	21
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	8.00	10
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	2.00	83
FESTUCA MICROSTACHYIS	SMALL RESCUE	6.00	90
SOCOMMA MENZIESII	COAST GOLDENBELL	3.00	10
LASTHENIA CALIFORNICA	DWARF GOLDFIELDS	1.00	68
LUPINUS SUCCULENTUM	ARROYO LUPINE	2.00	83
MIMULUS AURANTIACUS PUNICEUS	MISSION RED MONKEYFLOWER	2.00	3
SALVIA APIANA	WHITE SAGE	2.00	35
SALVIA MELLIFERA	BLACK SAGE	2.00	60
SISYRINCHUM BELLUM	BLUE-EYED GRASS	2.00	78
STIPA PULCHRA	PURPLE NEEDLE GRASS	4.00	73
		51.00	

* MIN % PLS (PURE LIVE SEED) = SEED PURITY X GERMINATION RATE

SEED:	51 LBS PER ACRE
HEIGHT:	12-54 INCHES
EMERGENCE:	10-20 DAYS
ESTABLISHMENT:	50-70 DAYS TO 90% COVER AFTER EMERGENCE

PLANT LIST

ABBR	SIZE	QTY	SCIENTIFIC NAME	COMMON NAME	H/W
SHRUBS					
ART. CAL.	5 GAL.	12	ARTEMISIA CALIFORNICA	COASTAL SAGEBRUSH	2-5'x4-7'
BAC. PIL.	1 GAL.	38	BACCHARIS PILULARIS PIGEON POINT	DWARF COYOTE BRUSH	2-3'x9"
CEA. G.H.		3			
MUH. RIG.	1 GAL.	10	MUHLNBERGIA RIGENS	DEER GRASS	4'x4'
SAL. CLE.	5 GAL.	14	SALVIA CLEVELANDII	CLEVELAND SAGE	3-5'x5-8"
SAL. J.C.	5 GAL.	3	SALVIA MELLIFERA 'JADE CARPET'	JADE CARPET SAGE	1-2' / 1-5'
YUC. WHI.	5 GAL.	13	CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	2-3'x8-10"
GROUNDCOVERS					
			HYDROSEED MIX PER TABLE BELOW		

MAINTENANCE

1. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A CONDITION FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
2. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED WITHIN 30 DAYS WITH MATERIAL OF AN EQUIVALENT POINT VALUE.



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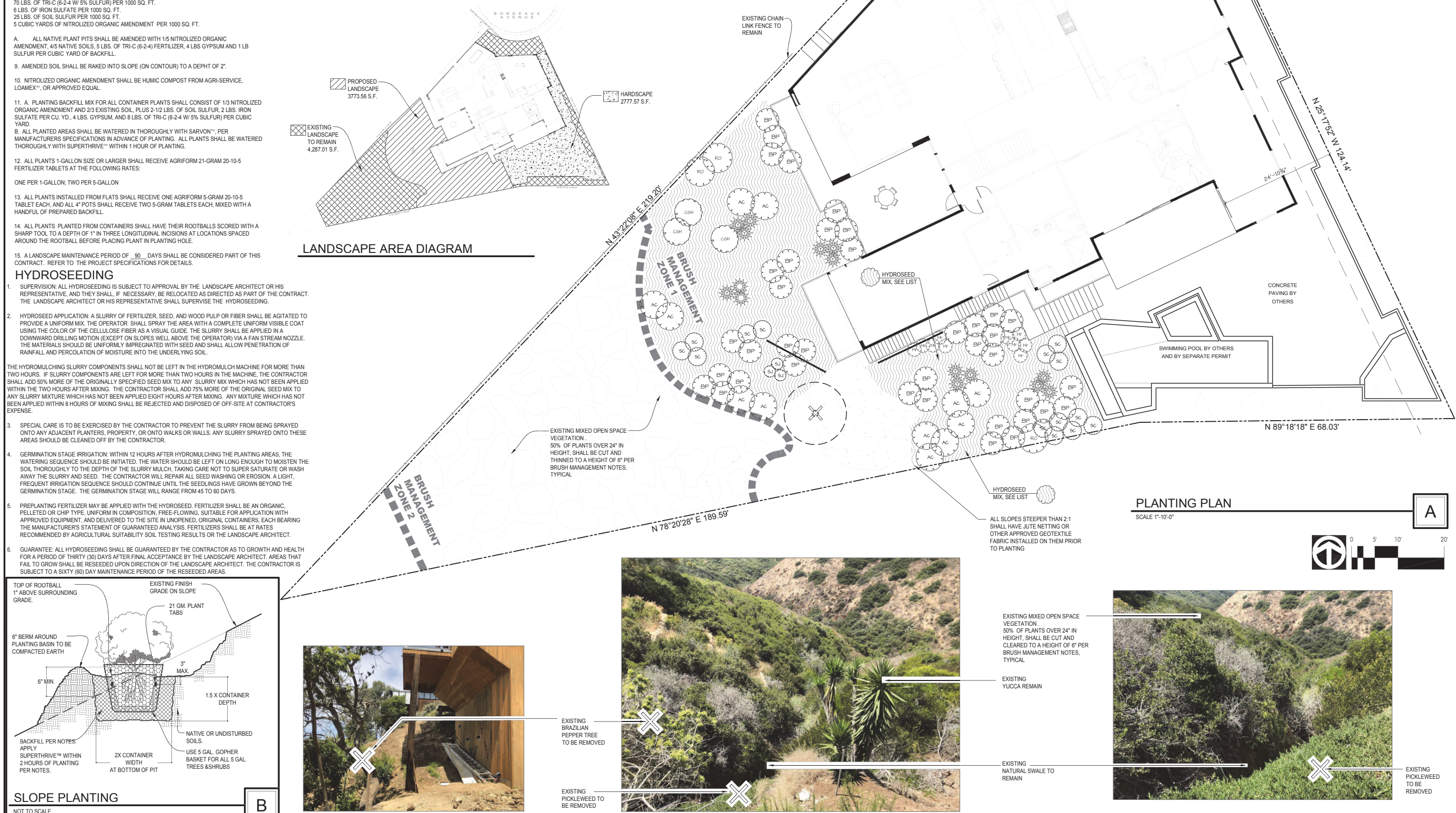
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RESIDENCE
2702 BORDEAUX AVENUE
LA JOLLA CA 92037

SUBMIT. TO CLIENT 09.03.19

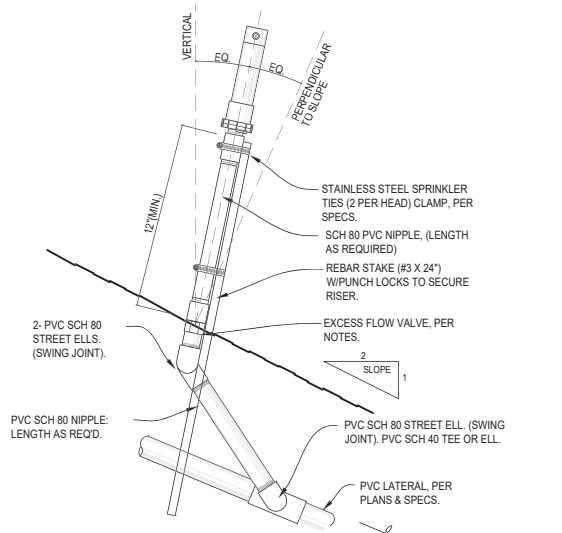
PLANTING PLAN

SHEET

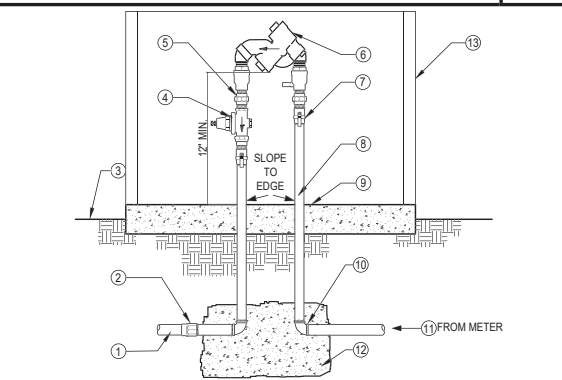
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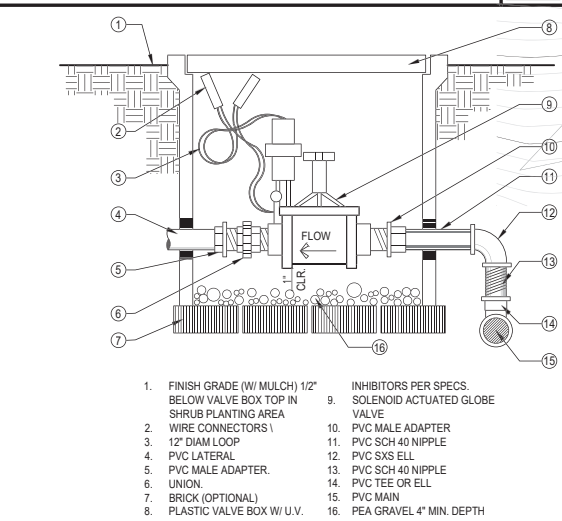
SHRUB BODY SPRAY HEAD ON SLOPE
NOT TO SCALE



1. PVC IRRIGATION MAINLINE
2. SCH. 80 PVC FEMALE ADAPTER
3. FINISH GRADE
4. PRESSURE REGULATOR PER LEGEND SET @ 75 PSI
5. COPPER UNION, TYP.
6. FEBCO YA REDUCED PRESSURE BACKFLOW PREVENTER DEVICE ASSEMBLY SIZE PER LEGEND
7. BALL VALVE AS REQ'D BY AGENCY WILKINS 850 C SERIES, TYPICAL LINE
8. SIZE
9. SOLDERED COPPER RISER WRAPPED IN POLYETHYLENE
10. CONCRETE PAD, 2" ABOVE GRADE, SIZE PER ENCLOSURE DIMENSIONS & NOTES
11. SXT COPPER ELL (90°)
12. FLOW DIRECTION
13. 18"X12"X12" CONCRETE THRUST BLOCK BACKFLOW ENCLOSURE

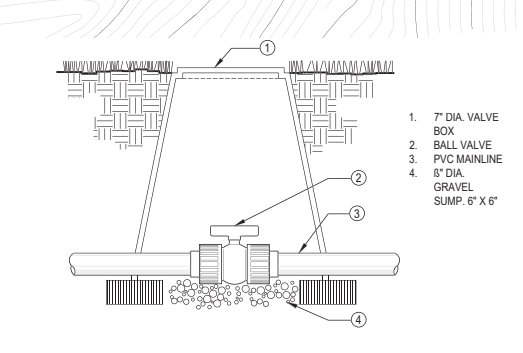
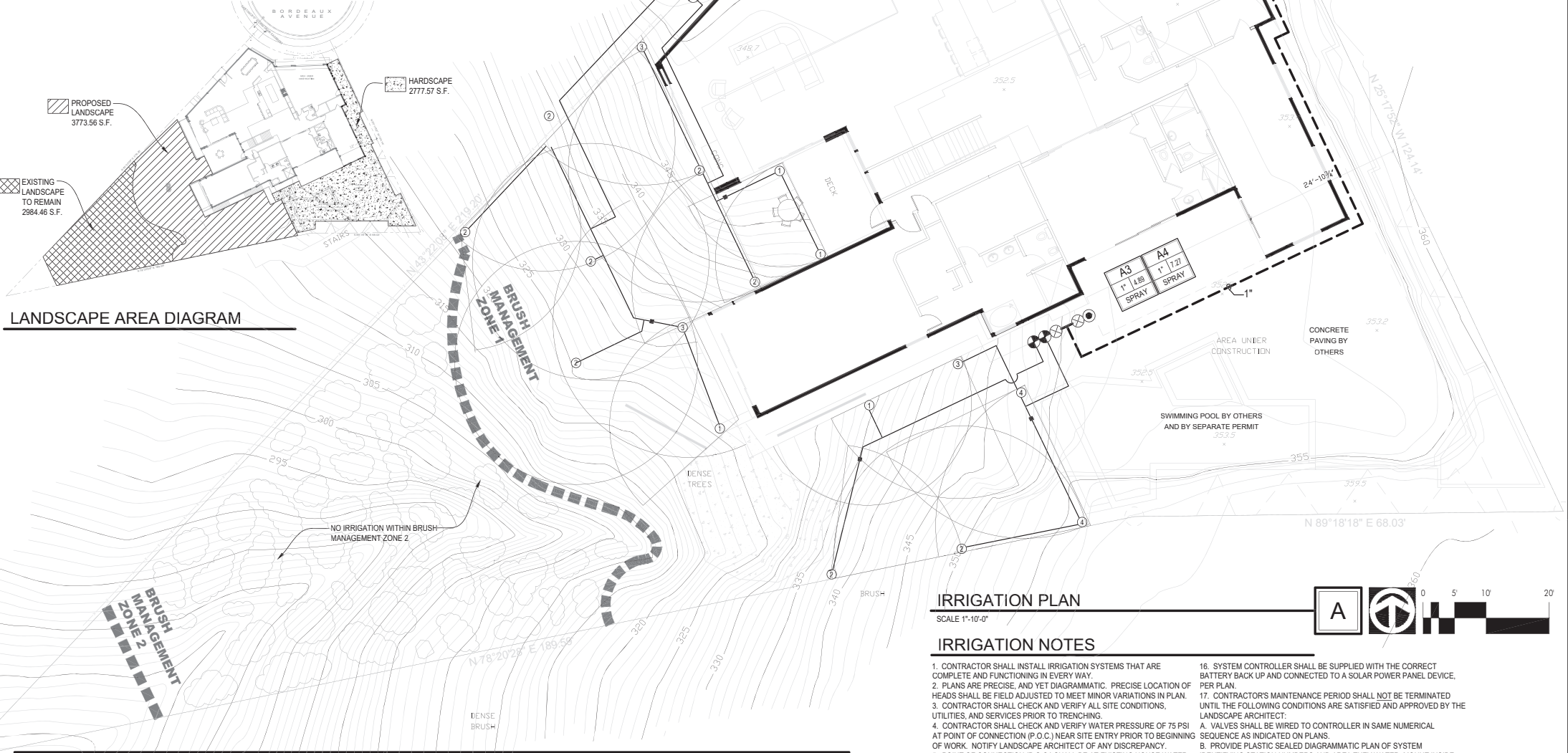
- NOTES:**
- ALL PIPING FROM THE METER THROUGH THE BACKFLOW PREVENTER SHALL BE TYPE M OR L COPPER WITH SOLDERED JOINTS.
 - CLOSE NIPPLES SHALL NOT BE USED.
 - TEFLON TAPE 8" WIDE SHALL BE USED ON ALL THREADED CONNECTIONS.
 - CONCRETE PAD SHALL BE 26" WIDE & 5" THICK (520-C-2500).
 - ALL PIPE BELOW GRADE SHALL BE WRAPPED AS REQ'D BY AGENCY.
 - INLET FITTINGS TYPICAL TO OUTLET FITTINGS.
 - BACKFLOW PREVENTER ASSEMBLY SHALL BE TESTED UPON INSTALLATION BY A CERTIFIED BACKFLOW DEVICE TESTER. CONTRACTOR TO PROVIDE THE ENGINEER WITH WRITTEN TEST RESULTS COMPLETED BY A CERTIFIED BACKFLOW DEVICE TESTER PRIOR TO THE BACKFLOW PREVENTER ASSEMBLY'S ACCEPTANCE BY THE ENGINEER.

REDUCED PRESSURE BACKFLOW PREVENTER
NOT TO SCALE

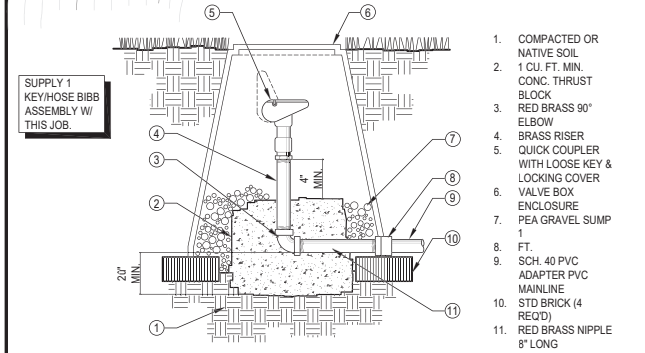


REMOTE CONTROL VALVE
NOT TO SCALE

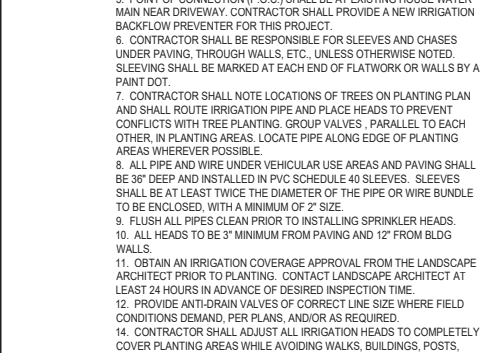
IRRIGATION LEGEND						
RAINBIRD	SYM.	NOZZLE MODEL	PSI	RAD	GPM	NOTES
3500	1	0.75	45	17	.77	USE 3500-S-PC-SAM FOR SHRUB BODY ON RISER, PER DETAIL
SERIES	2	1.0	45	21	1.06	
NOZZLE	3	1.5	45	24	1.48	
	4	2.0	45	27	1.93	
SYM.	MFGR	DESCRIPTION	MODEL	NOTES		DETAIL
RAINBIRD		SHRUB BODY ON RISER	3500-S-SAM	12" ABOVE FINISH GRADE. INSTALL 12" AWAY FROM WALLS, FENCES ETC.		A
RAINBIRD		REMOTE CONTROL VALVE	100-PEB-PRS	SIZE PER PLAN, INSTALL IN PLASTIC VALVE BOX, PER DETAIL		D
KBI		BALL VALVE	BTU SERIES	MANFOLD MAINLINE SIZE: 1" SIZE FOR QUICK COUPLER. INSTALL IN PLASTIC VALVE BOX PER DETAIL		E
HUNTER		QUICK COUPLER	HD-33-DLRC	3/4 SIZE AND 3/4 SUPPLY LINE, PER DETAIL		F
FEBCO		REDUCED PRESSURE BACKFLOW PREVENTER	LF-825-YA	1" SIZE. INSTALL WILKINS 5000-XL PRESSURE REGULATOR IF EXISTING WATER PRESSURE AT POINT OF CONNECTION IS MORE THAN 85 PSI		B
RAINBIRD		AUTOMATIC CONTROLLER AND WEATHER SENSOR	ESPSMTEUPG	UPGRADED MODEL KIT INCLUDING WEATHER SENSOR. CONTRACTOR TO PROVIDE 120V ELECTRIC POWER		
ANY APPROVED		PVC LATERAL LINE	PVC SCH. 40	USE PVC PIPE "SCH. 40" FOR 1" OR SMALLER. INSTALL LATERAL LINES 18" DEEP UNDER PLANTING, 30" DEEP IN SLEEVE UNDER PAVEMENT 36" DEEP IN SLEEVE UNDER DRIVEWAY PAVING		
ANY APPROVED		PVC SLEEVE	SCH. 40	MIN 2 X DIA. OF PIPES OR WIRE BUNDLE, EXTEND 12" BEYOND EDGE OF PAVEMENT AND PER IRRIGATION NOTES 9 & 11		
			A1	CONTROL VALVE		
			1" 12.0	SPRINKLER ZONE #		
			1" 12.0	DRIIP		
			1" 12.0	GALLONS PER MINUTE		



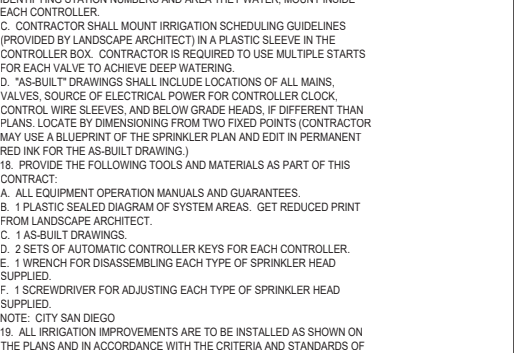
BALL VALVE
NOT TO SCALE



QUICK COUPLER VALVE IN BOX
NOT TO SCALE



REMOTE CONTROL VALVE
NOT TO SCALE



REMOTE CONTROL VALVE
NOT TO SCALE

NOTE: PLAN IS DIAGRAMMATIC. LOCATE MAIN, LATERAL LINE AND VALVES INSIDE PLANTED AREA. SLEEVE ALL IRRIGATION PIPE AND WIRING WHICH RUNS UNDER ANY PAVEMENT, TYPICAL.

NOTE: ALL LATERAL LINES MAINLINES SHALL BE 3/4" UNLESS OTHERWISE NOTED.

MOUNT WEATHER SENSOR ON BLDG EAVE (INCLUDED IN AUTOMATIC CONTROLLER KIT)

IRRIGATION AUTOMATIC CONTROLLER. CONTRACTOR TO PROVIDE 120V ELECTRIC POWER

AREA UNDER CONSTRUCTION

CONCRETE PAVING BY OTHERS

SWIMMING POOL BY OTHERS AND BY SEPARATE PERMIT

AREA UNDER CONSTRUCTION

AREA UNDER CONSTRUCTION

AREA UNDER CONSTRUCTION

AREA UNDER CONSTRUCTION

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SUBMIT. TO CLIENT	08.31.20

IRRIGATION
PLAN

SHEET
L3.0



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WALL LEGEND

(E) 2X4 WALL
TO BE DEMOLISH OR REMOVED

DEMOLITION NOTES:
1) ALL EXISTING FOUNDATIONS AND FLOOR
TO REMAIN AND BE REUSED AND RETROFIT WHERE
APPLICABLE. SEE STRUCTURAL FOR DETAILS.
2) CONTRACTOR TO SHORE ALL EXISTING ROOF, CEILING
AND WALL FRAMING TO REMAIN DURING THE DEMOLITION
AND RECONSTRUCTION PROCESS.

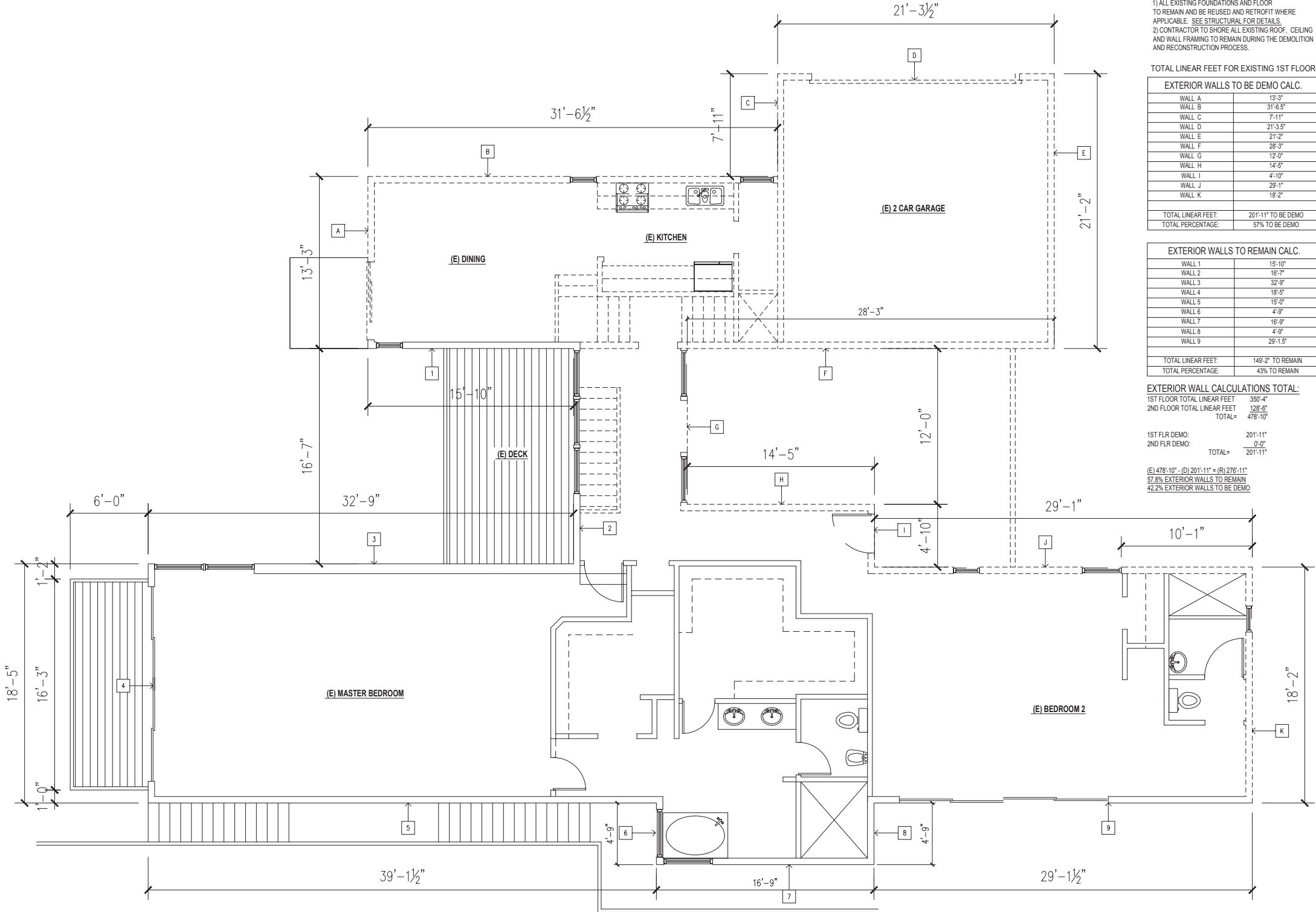
TOTAL LINEAR FEET FOR EXISTING 1ST FLOOR 350'-4"

EXTERIOR WALLS TO BE DEMO CALC.	
WALL A	13'-3"
WALL B	31'-6.5"
WALL C	7'-11"
WALL D	21'-3.5"
WALL E	21'-2"
WALL F	28'-3"
WALL G	12'-0"
WALL H	14'-5"
WALL I	4'-10"
WALL J	29'-1"
WALL K	18'-2"
TOTAL LINEAR FEET:	201'-11" TO BE DEMO
TOTAL PERCENTAGE:	57% TO BE DEMO

EXTERIOR WALLS TO REMAIN CALC.	
WALL 1	15'-10"
WALL 2	16'-7"
WALL 3	32'-9"
WALL 4	18'-5"
WALL 5	15'-0"
WALL 6	4'-9"
WALL 7	16'-9"
WALL 8	4'-9"
WALL 9	29'-1.5"
TOTAL LINEAR FEET:	149'-2" TO REMAIN
TOTAL PERCENTAGE:	43% TO REMAIN

EXTERIOR WALL CALCULATIONS TOTAL:	
1ST FLOOR TOTAL LINEAR FEET	350'-4"
2ND FLOOR TOTAL LINEAR FEET	128'-6"
TOTAL=	478'-10"
1ST FLR DEMO:	201'-11"
2ND FLR DEMO:	0'-0"
TOTAL=	201'-11"

(E) 478'-10" - (D) 201'-11" = (R) 276'-11"
57.8% EXTERIOR WALLS TO REMAIN
42.2% EXTERIOR WALLS TO BE DEMO



EXISTING AND DEMOLITION 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

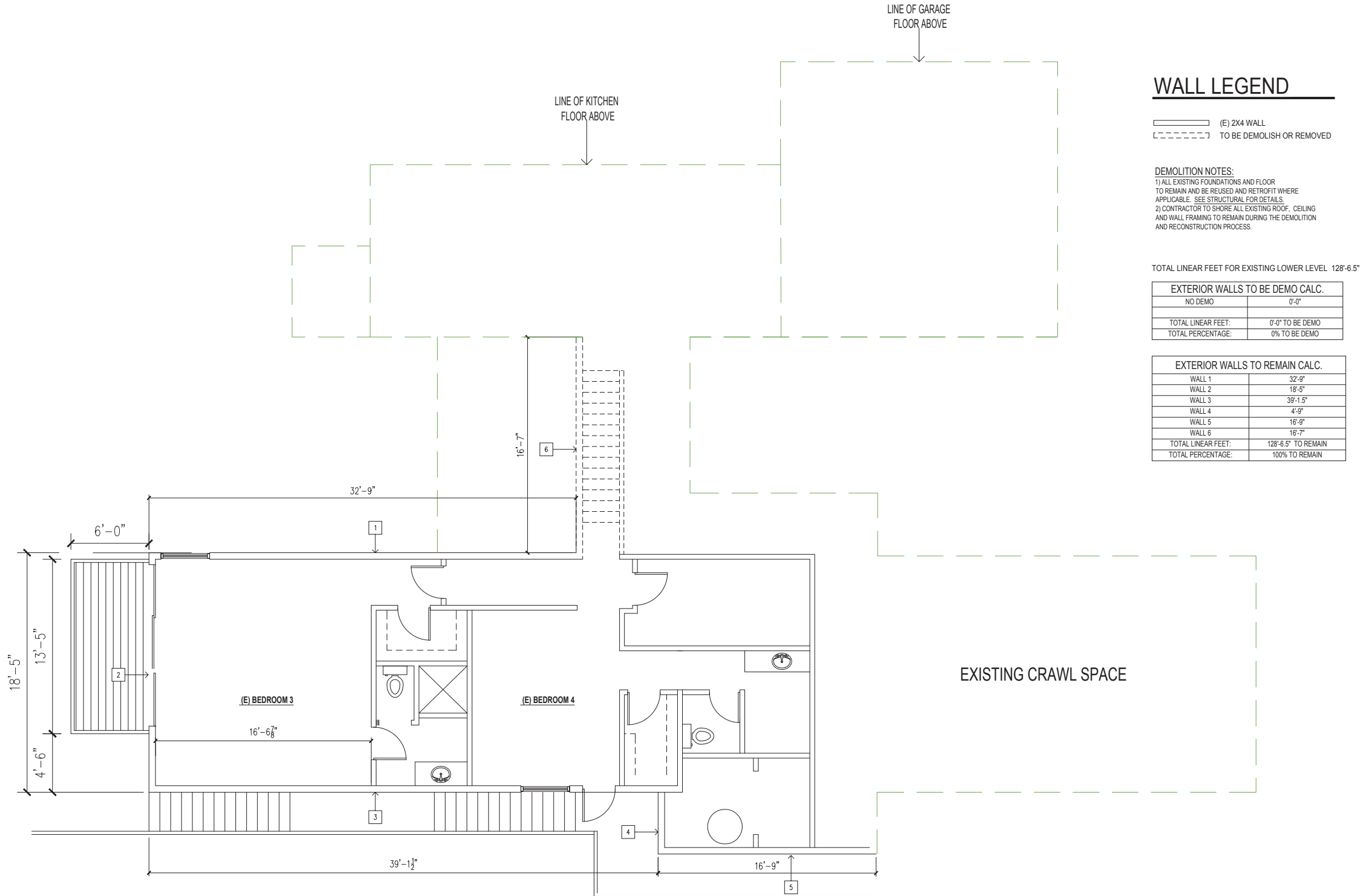
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1	
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START DATE:	02-27-2019
1st SUBMIT DATE:	09-05-2019
2nd SUBMIT DATE:	
DRAWN BY:	JORGE RICO
APPROVED BY:	H. KATZ
PROJECT NO.:	01-0219

SHEET NO.

EXISTING 1ST
FLOOR PLAN



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EXISTING AND DEMOLITION LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"




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START DATE:	02-27-2019
1st SUBMIT DATE:	09-05-2019
2nd SUBMIT DATE:	
DRAWN BY:	JORGE RICO
APPROVED BY:	H. KATZ
PROJECT NO.:	01-0219

SHEET NO.

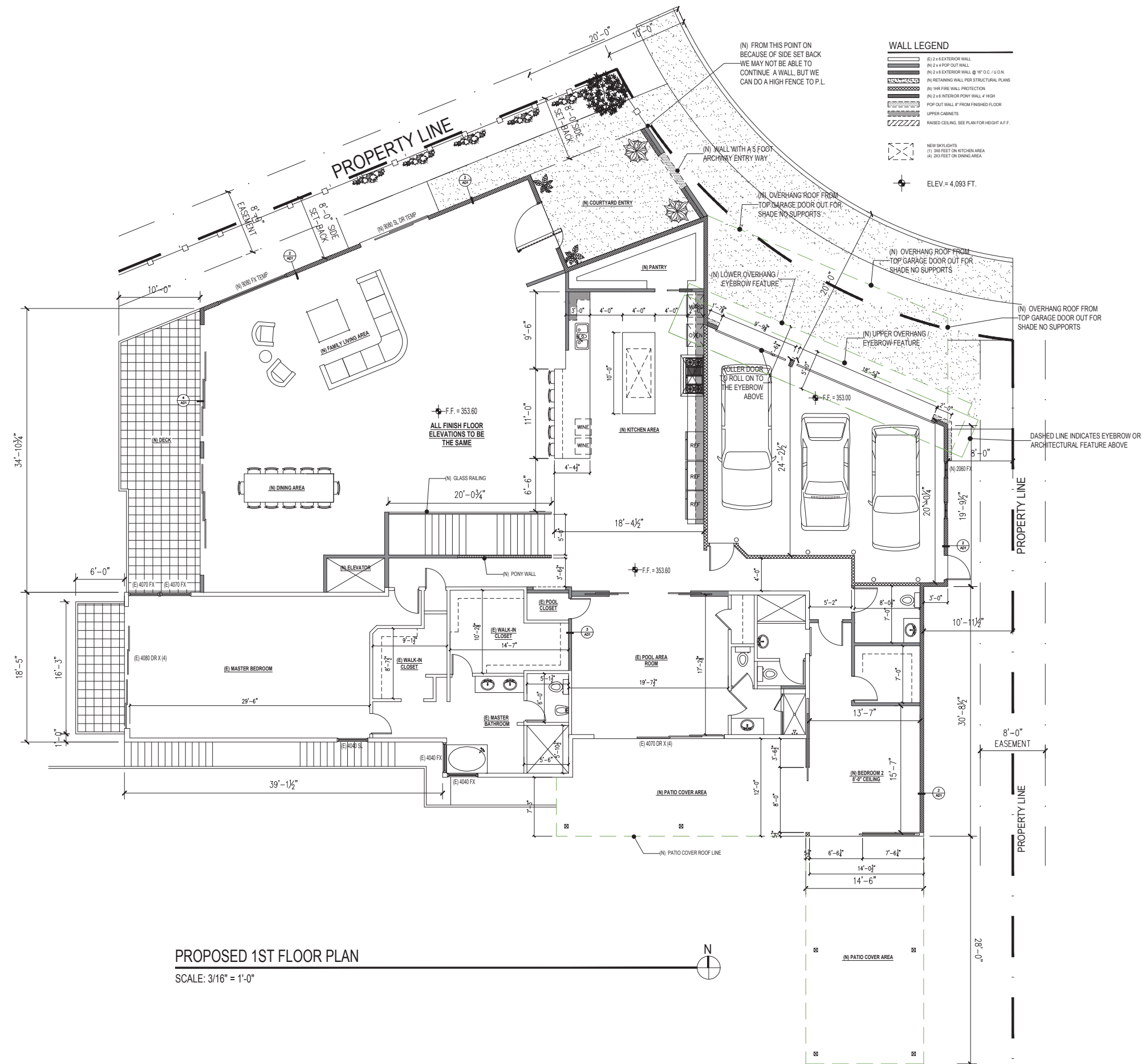
EXISTING 2ND
FLOOR PLAN

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MODERN FORM DESIGNS / Jorge Rico / 2004-2019.	
START DATE:	02-27-2019
1st SUBMIT DATE:	09-05-2019
2nd SUBMIT DATE:	
DRAWN BY:	JORGE RICO
APPROVED BY:	H. KATZ
PROJECT NO.:	01-0219

GENERAL CONSTRUCTION NOTES

- [illegible]



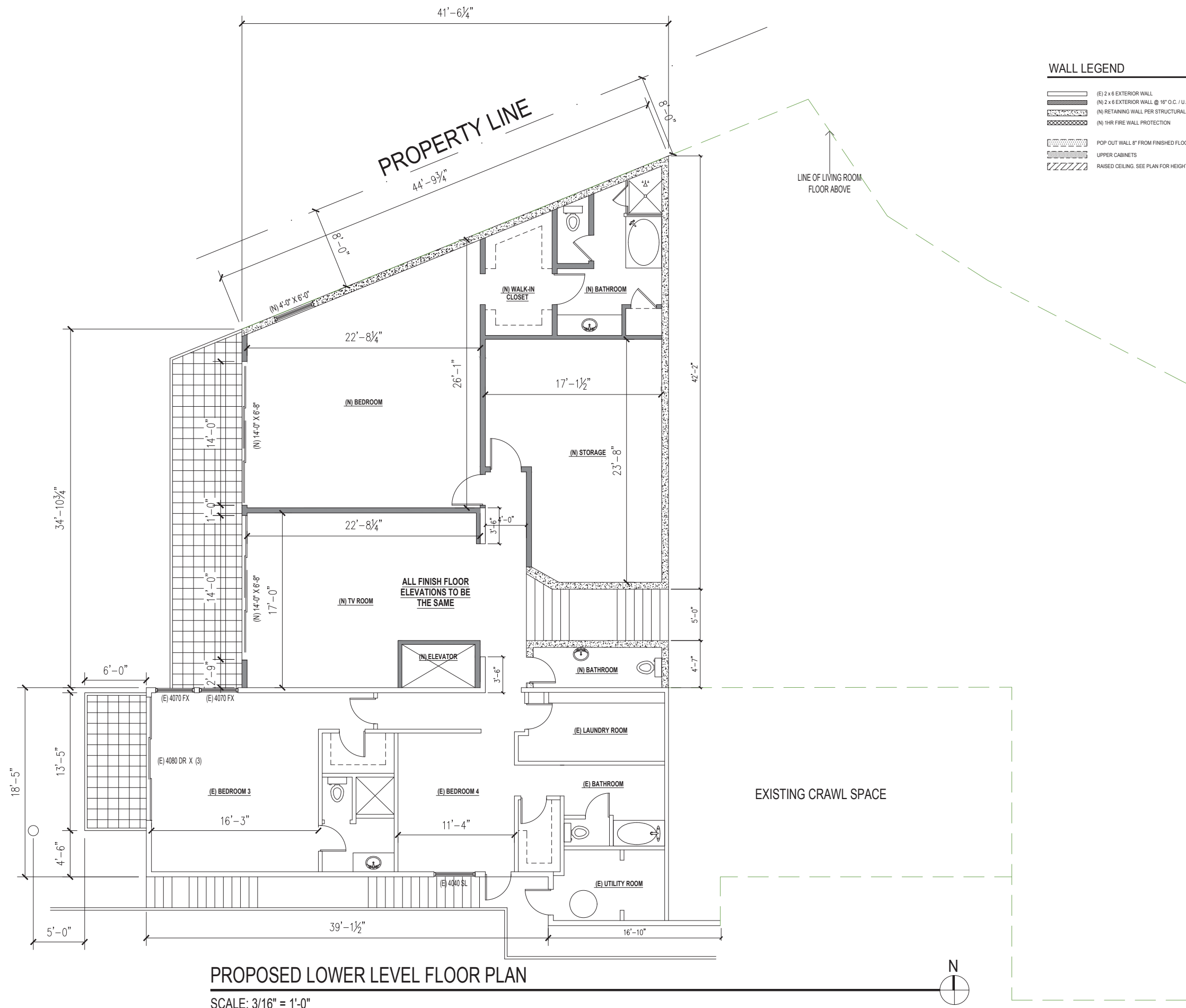
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SHEET NO.

PROPOSED
LOWER
FLOOR PLAN

A-4



NEW ROOM
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[illegible]

SHEET NO. _____

EAST
ELEVATION

A-5.1

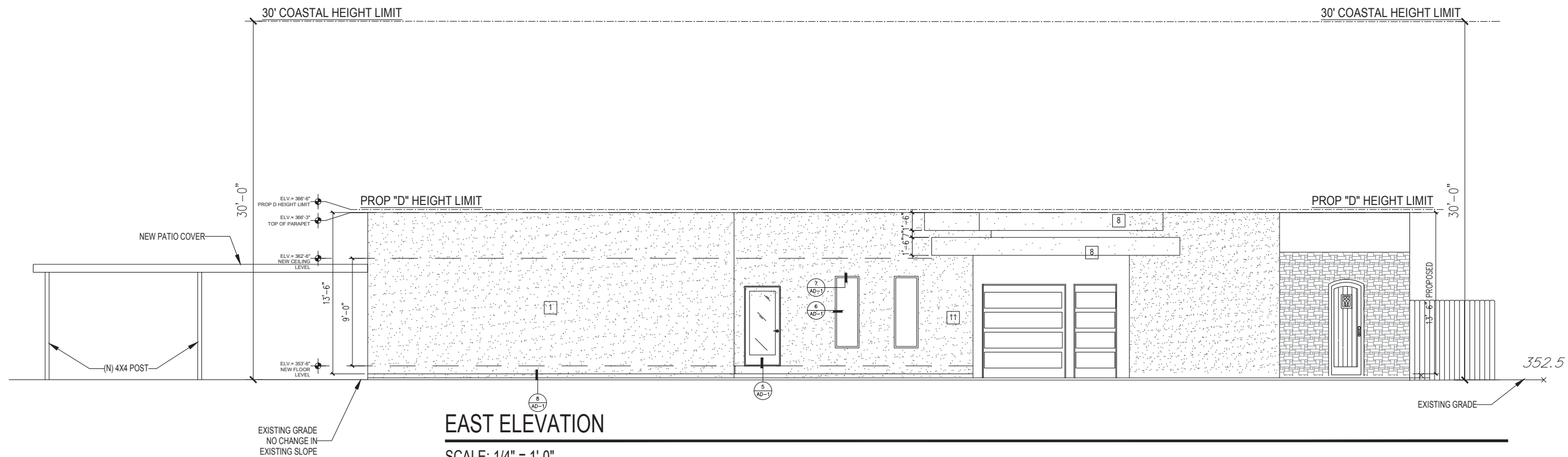
ELEVATIONS KEY NOTES:

NOTE: NOT ALL KEY NOTES ARE USE

- | | |
|----|---|
| 1 | NEW STUCCO EXTERIOR FINISH |
| 2 | NEW ROOF OVERHANG ON TOP OF MAIN DOOR |
| 3 | NEW PARAPET ROOF |
| 4 | (E) GLASS RAILING |
| 5 | SLAB ON GRADE CONCRETE |
| 6 | NEW PATIO COVER |
| 7 | NEW ENTRY DOOR |
| 8 | NEW EYEBROW OFF-SET DETAILS |
| 9 | NEW RETAINING WALL |
| 10 | NEW PATIO DECK ROOF |
| 11 | NEW WALL POP OUT WALL |
| 12 | NEW NICHE DETAIL ON FRONT WALL WITH LIGHTING 30" WIDE |
| 13 | NEW ROOF AT MAIN ENTRY DOOR |

COASTAL HEIGHT LIMIT NOTE:

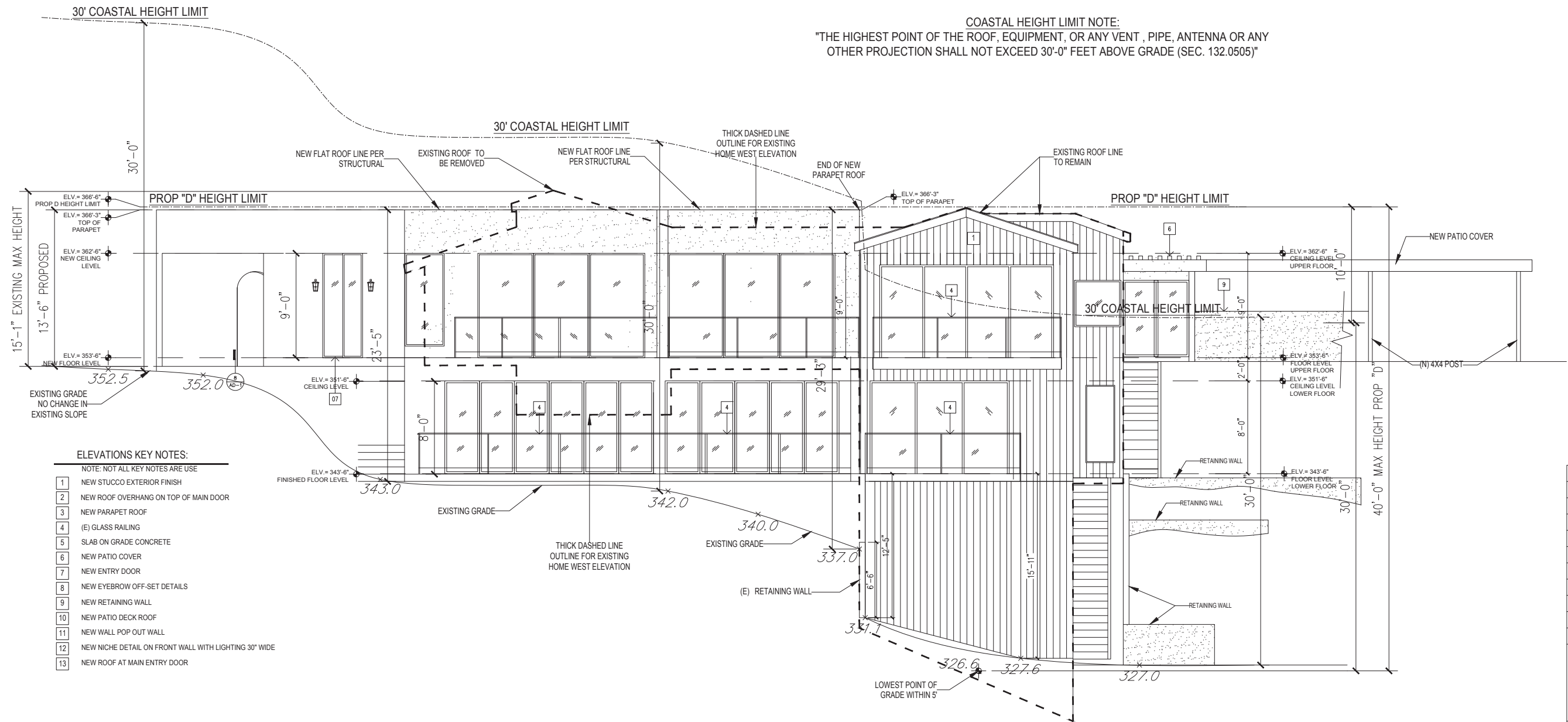
"THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT , PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30'-0" FEET ABOVE GRADE (SEC. 132.0505)"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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REMODEL
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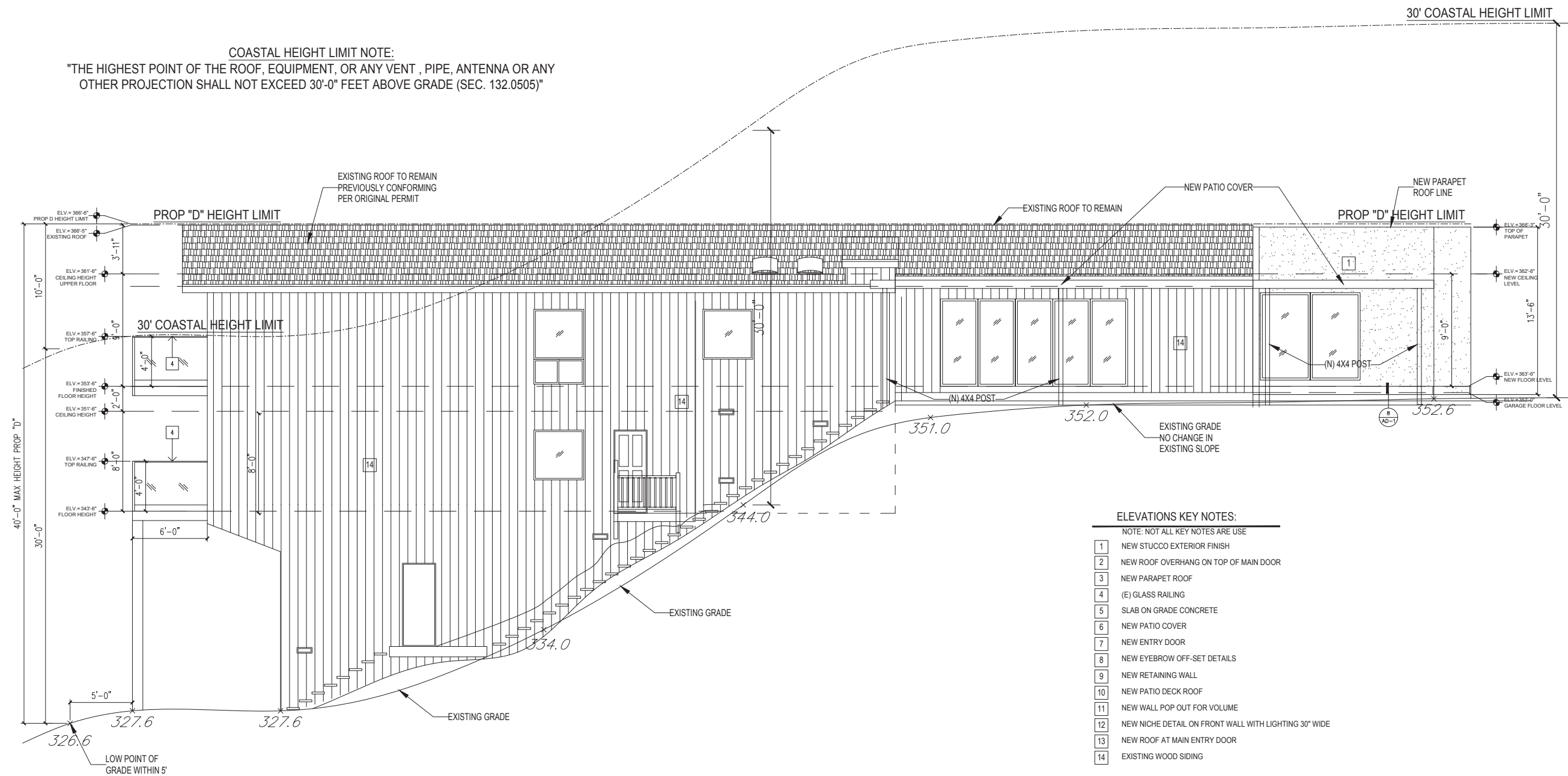


WEST ELEVATION

SCALE: 1/4" = 1'-0"

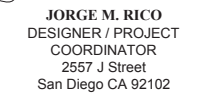
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REMODEL
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
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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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REMODEL
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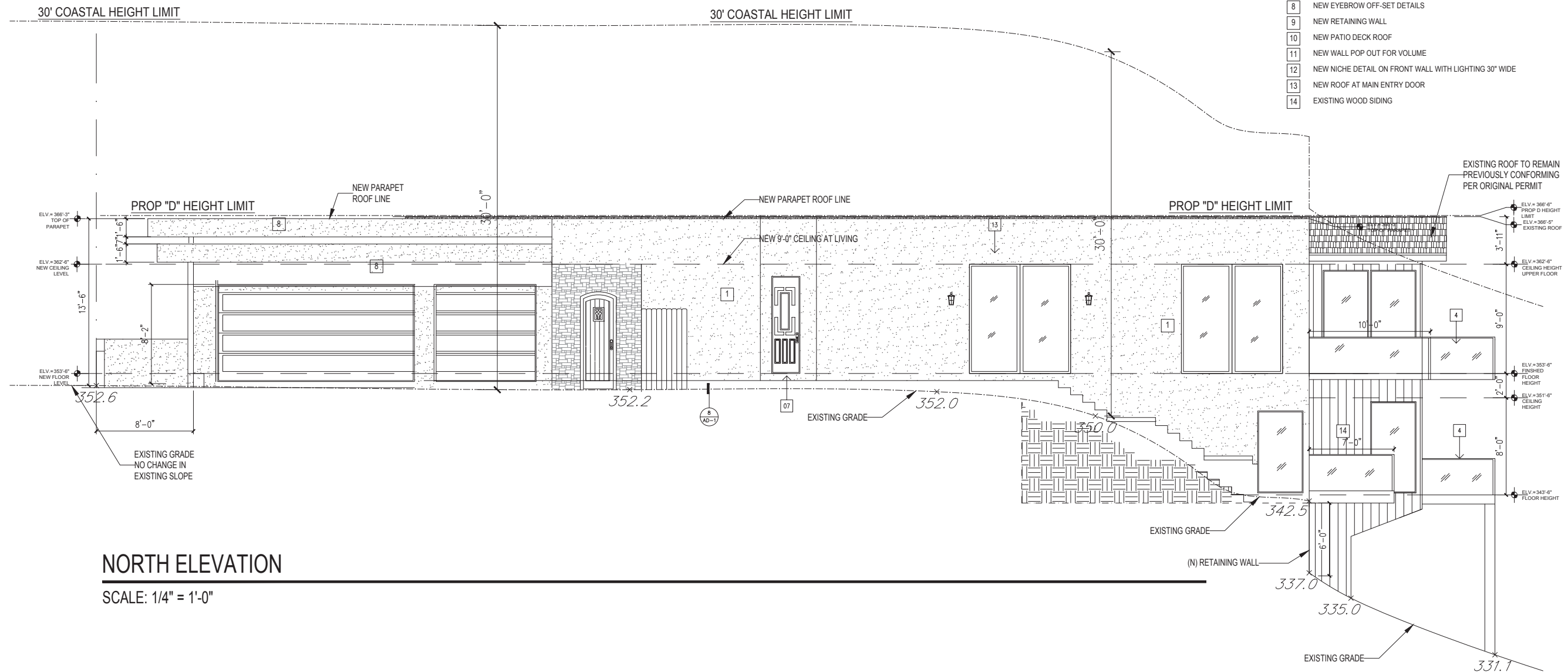
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TART DATE:	02-27-2019
st SUBMIT DATE:	09-05-2019
nd SUBMIT DATE:	
DRAWN BY:	JORGE RICO
PPROVED BY:	H. KATZ
PROJECT NO.:	01-0219

NORTH
ELEVATION
A-5.4

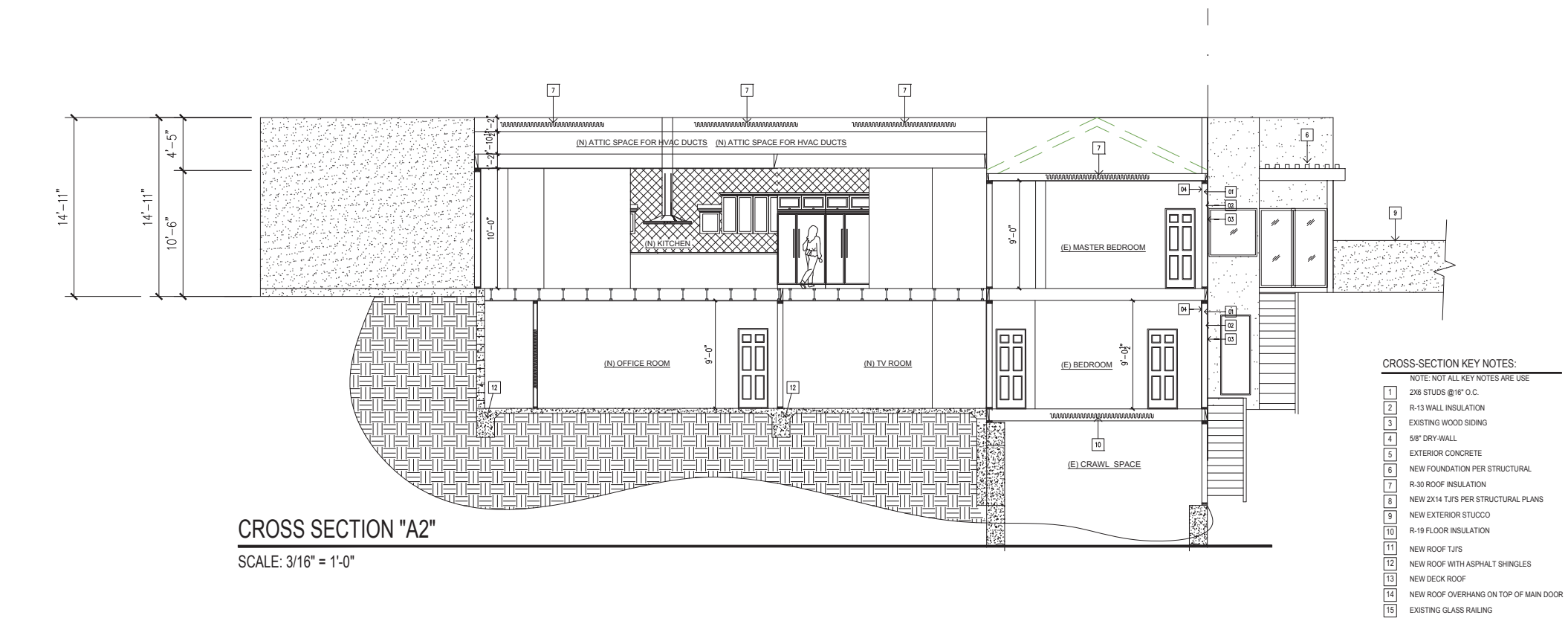
ELEVATIONS KEY NOTES:

NOTE: NOT ALL KEY NOTES ARE USE

- | | |
|----|---|
| 1 | NEW STUCCO EXTERIOR FINISH |
| 2 | NEW ROOF OVERHANG ON TOP OF MAIN DOOR |
| 3 | NEW PARAPET ROOF |
| 4 | (E) GLASS RAILING |
| 5 | SLAB ON GRADE CONCRETE |
| 6 | NEW PATIO COVER |
| 7 | NEW MAIN ENTRY DOOR |
| 8 | NEW EYEBROW OFF-SET DETAILS |
| 9 | NEW RETAINING WALL |
| 10 | NEW PATIO DECK ROOF |
| 11 | NEW WALL POP OUT FOR VOLUME |
| 12 | NEW NICHE DETAIL ON FRONT WALL WITH LIGHTING 30" WIDE |
| 13 | NEW ROOF AT MAIN ENTRY DOOR |
| 14 | EXISTING WOOD SIDING |

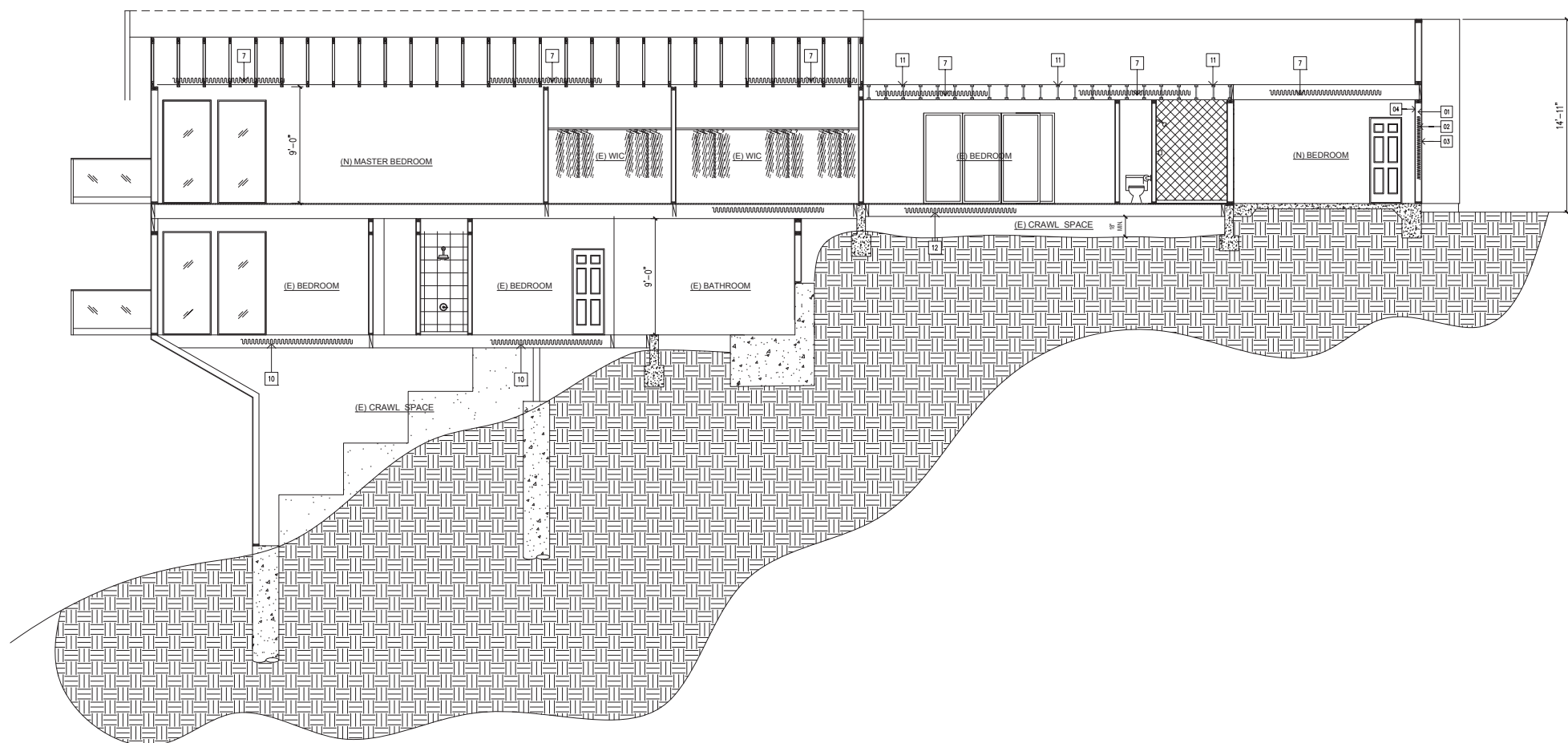


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CROSS SECTION "A2"

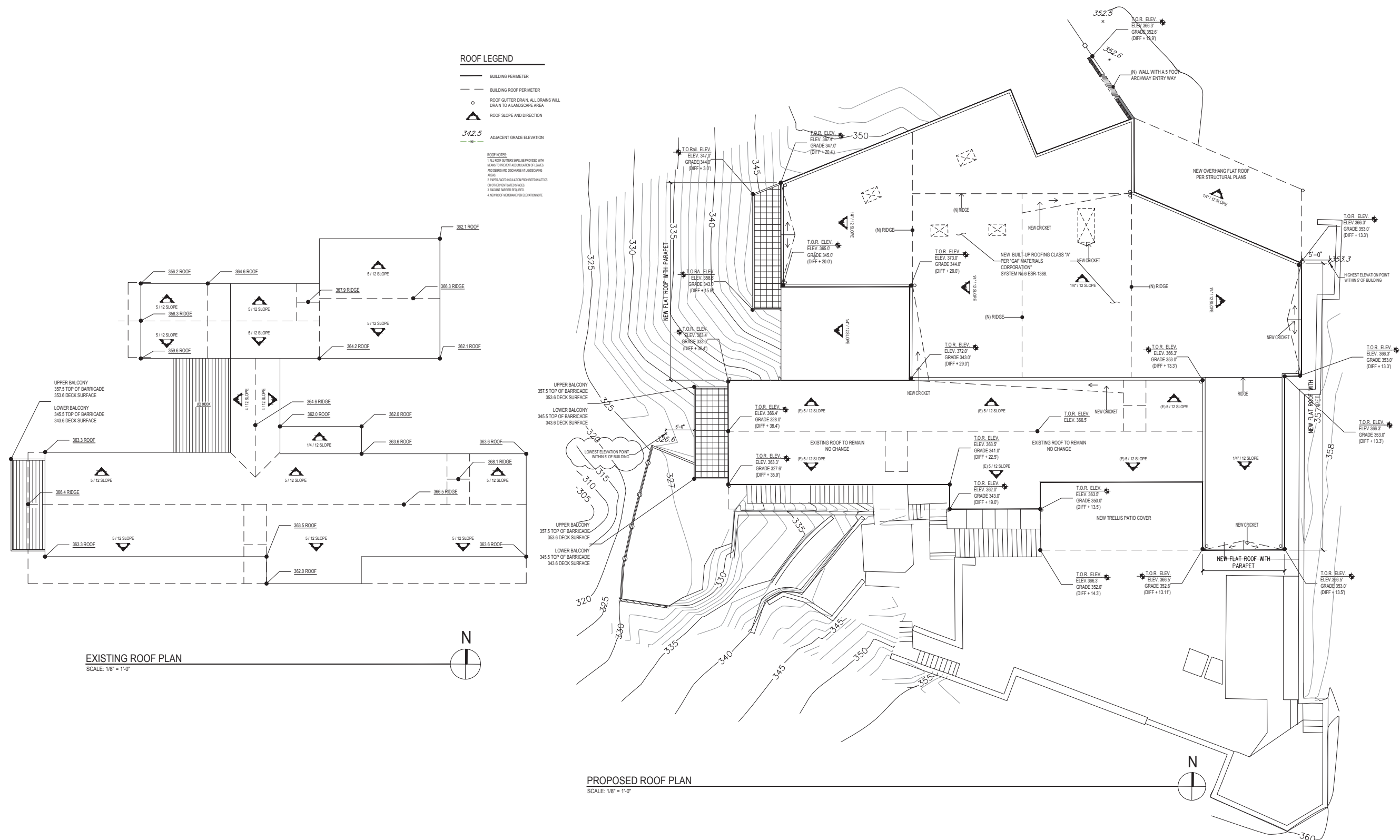
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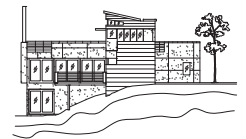
CROSS SECTION "B"

SCALE: 3/16" = 1'-0"

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[illegible]

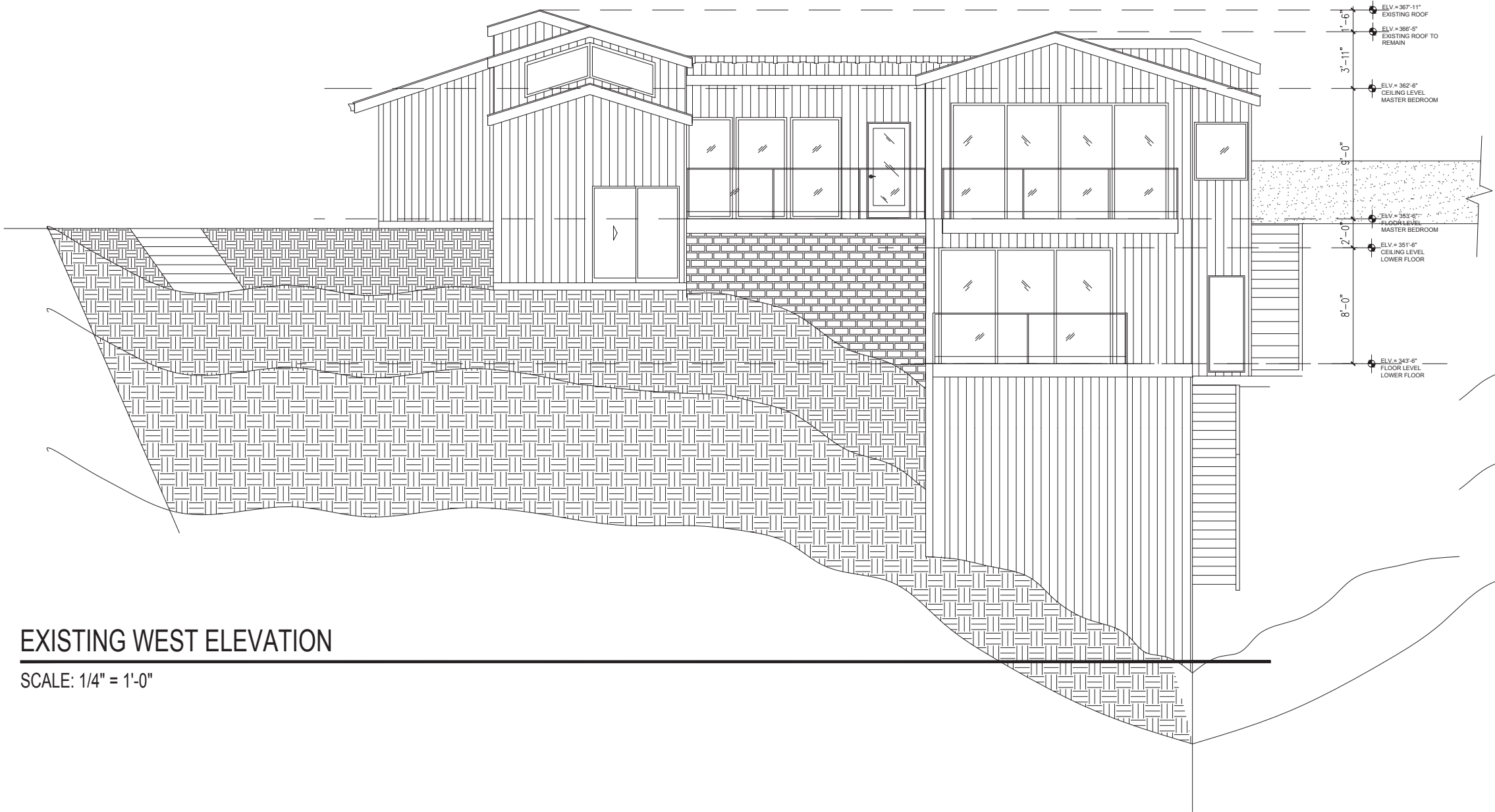
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2702
BORDEAUX
AVE. LA JOLLA
CA 92037



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS :	DATE :
1	
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START DATE:	02-27-2019
1st SUBMIT DATE:	09-05-2019
2nd SUBMIT DATE:	
DRAWN BY:	JORGE RICO
APPROVED BY:	H. KATZ
PROJECT NO.:	01-0219

SHEET NO

EXISTING
ELEVATION
A-8