

Report to the Hearing Officer

DATE ISSUED: February 1, 2023 REPORT NO. HO-23-007

HEARING DATE: February 8, 2023

SUBJECT: ONE ALEXANDRIA NORTH, Process Three Decision

PROJECT NUMBER: 691942

REFERENCE: Coastal Development Permit (CDP) No. F7919, issued by the California

Coastal Commission on May 2, 1979.

OWNER/APPLICANT: ARE-SD REGION NO. 68, LLC, a Delaware Limited Liability Company, Owner;

and RICK ENGINEERING COMPANY, Applicant

SUMMARY

Issues: Should the Hearing Officer approve a Neighborhood Development Permit (NDP), a Coastal Development Permit (CDP), a Tentative Map (TM), and a Multiple Habitat Planning Area (MHPA) Boundary Line Correction (BLC) for: the demolition of two existing two-story buildings with underground parking, two tennis courts, a swimming pool and hot tub, two amenity buildings, a private helipad, and associated site improvements; and the construction of a research and development (R&D) campus consisting of two lab and office space buildings, two amenity space buildings, a central utility plant building, a parking structure, and associated site improvements; on a 11.4-acre site located at 11255 and 11355 North Torrey Pines Road within the University Community Plan area?

Staff Recommendations:

- 1. ADOPT <u>Tiered Mitigated Negative Declaration (MND) No. 691942/State Clearinghouse</u> (SCH) No. 2019060003, and ADOPT a Mitigation Monitoring and Reporting Program; and
- 2. APPROVE Neighborhood Development Permit (NDP) No. 2570684 and Coastal Development Permit (CDP) No. 2570682; and
- 3. APPROVE Tentative Map (TM) No. 2570686 with a Multiple Habitat Planning Area (MHPA) Boundary Line Correction (BLC).
- 4. RESCIND Conditional Use Permit (CUP) No. 83-0600 for the construction and operation of

a ground level helistop for private use issued August 21, 1984, and CUP No. 16506 for the installation of 16 tennis court lights (22-feet high) in effect as of February 24, 1980 (Filed in the office of the City Clerk, February 13, 1980).

<u>Community Planning Group Recommendation</u>: On March 8, 2022, the University Community Planning Group voted 11-0-0 to recommend approval of the Project. The University Community Planning group did not indicate any comments or conditions for the proposed Project (Attachment 14).

Environmental Review: Tiered Mitigated Negative Declaration (MND) No. 691942/State Clearinghouse (SCH) No. 2019060003, has been prepared for the Project in accordance with Section 15152 and 15168 of the California Environmental Quality Act (CEQA) State Guidelines. The environmental analysis is tiered from the *Complete Communities: Housing Solutions and Mobility Choices Program EIR* which was prepared pursuant to Section 15168 of the CEQA Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared for this Project for impacts to Biological Resources and Transportation/Circulation. The MMRP will be implemented for the project, which would reduce, to below a level of significance, any potential impacts identified in the environmental review process.

<u>Fiscal Impact Statement</u>: None with this action. The processing of the Project is funded by a deposit account maintained by the applicant.

<u>Housing Impact Statement</u>: The Project site is designated for Scientific Research use by the University Community Plan and the Project does not propose any housing.

BACKGROUND

The 11.4-acre site is located at 11255 and 11355 North Torrey Pines Road in the IP-1-1 Zone within the Torrey Pines Subarea of the University Community Plan (UCP) area, Prime Industrial Lands as identified in the General Plan's Economic Prosperity Element (Figure EP-1), Community Plan Implementation Overlay Zone-B (CPIOZ-B), Coastal Height Limitation Overlay Zone (CHLOZ), Coastal Overlay Zone (Non-Appealable Area 1), First Public Roadway Overlay Zone (Coastal), Very High Fire Hazard Severity Zones(VHFHSZ)/Fire Brush Zone 30-foot Buffer, Parking Impact Overlay Zone (PIOZ) for Coastal and Beach Impact, Environmentally Sensitive Lands (ESL), the City's Multi-Habitat Planning Area (MHPA), Multiple Species Conservation Program (MSCP) Subarea; and the following overlay zones for Marine Corps Air Station (MCAS) Miramar: Airport Land Use Compatibility Overlay Zone (ALUCOZ) Airport Influence Area (AIA) Review Area 1, and the Accident Potential Zone II (APZ-II). The IP-1-1 zone allows for research and development (R&D) uses with some limited manufacturing and the UCP designates the site as Industrial, and the Industrial Element of the plan more specifically identifies the site for Scientific Research. Most of the surrounding properties are also zoned IP-1-1 and developed with research and development uses. The UCP designates the land use for the project site and the surrounding properties as Industrial (UCP Figure 4, page 20, see Attachment 3).

The Project site is an L-shaped site comprised of two legal lots with access driveways from North Torrey Pines Road. The Project site contains Environmentally Sensitive Lands (ESL) in the form of biological resources and brush management. The site is currently developed with the National University – La Jolla, California Academic Headquarters which includes two existing buildings and several accessory buildings with a total gross floor area (GFA) of 157,500 square feet (SF), exterior tennis courts with lighting, a swimming pool, a private helipad and associated site improvements.

The project site was previously approved for development in accordance a CDP approval issued by the California Coastal Commission. CDP No. F7919 was issued on May 2, 1979, for the subdivision of an approximate 93-acre parcel into four lots: Lot 13 (67-acres); Lot 14 (14.5-acres); Lot 15 (8.7-acres); Lot 16 (2.7-acres); demolition and removal of the abandoned Torrey Pines Reservoir; widening of North Torrey Pines Road by approximately 20 feet creating one additional northbound lane and installation of two signalized intersections; public improvements including extensions of sewer mains, water mains, storm drains into proposed subdivisions; and grading involving approximately 15,000 cubic yards of earth movement with no import or export.

Additionally, two Conditional Use Permits (CUPs) were issued consisting of the following:

- CUP No. 83-0600 for the construction and operation of a ground level helistop for private use issued August 21, 1984; and
- CUP No. 16506 for the installation of 16 tennis court lights (22-feet high) in effect as of February 24, 1980 (Filed in the office of the City Clerk, February 13, 1980).

The two CUP's listed above will be rescinded as part of this project due to the fact that the purpose for the issuance of the two CUP's will be part of the demolition scope of work associated with the project development. CDP No. F7919 has been satisfied for the development associated with the two subject lots of this development (Lots 15 and 16) but staff has determined that the permit shall remain in effect for the site. (See Attachment 21 for copies of the previously issued permits).

The project site is located within the Coastal Zone, within the boundary of the City's Multiple Species Conservation Plan (MSCP) Subarea, and a portion of the Multi-Habitat Planning Area (MHPA) is located along the eastern property lines of the project site (See Attachment 18). The property is located approximately 0.7 miles from the Pacific Ocean (directly west across North Torrey Pines Road and the Torrey Pines Municipal Golf Course) and located within the First Public Roadway Overlay Zone which extends east of the Pacific Ocean to Sorrento Valley Road, just west of Interstate 5. North Torrey Pines Road is the nearest public road from the Pacific Ocean shoreline within the Coastal Zone. The project site is located on the east side of North Torrey Pines Road and is not located between the nearest public road and the ocean or shoreline for any body of water within the Coastal Zone. Therefore, the proposed development will not encroach upon any existing physical accessway that is legally used by the public to access the coast, or any proposed public accessway as identified in the UCP and the Local Coastal Program Land Use Plan.

DISCUSSION

The Project site consists of two contiguous lots totaling 11.4-acres with two existing buildings used for the La Jolla, California Academic Headquarters for National University. The Project site is being redeveloped for a R&D campus with associated site improvements to landscaping, hardscape, parking and will include a MHPA boundary line correction (BLC).

Project Description:

The One Alexandria North project (Project) application was deemed complete on September 23, 2021, and the project is utilizing the Affordable/In-Fill Housing and Sustainable Buildings Expedite program (Expedite Program) qualifications and San Diego Municipal Code (SDMC) regulations that were in effect when the project application was deemed complete. The proposed development will include sustainable design features consistent with the requirements of the Voluntary Tier 1 and Tier 2 Measures of Title 24, Part 11 California Green Building Standards Code (CGBSC) in effect at the time the building permit application is deemed complete per SDMC 143.0915(c).

The Project shall include demolition of the existing structures, accessory buildings and site improvements to allow redevelopment of the site for the construction of an R&D Campus which would include six structures and associated site improvements.

The following is a detailed scope of work:

- 1. The demolition of approximately 269,667 square-feet (SF) of building and parking garage space at the site consisting of a 76,993 SF building at 11255 North Torrey Pines Road and its 43,958 SF underground parking garage; the 91,183 SF building at 11355 North Torrey Pines Road and its 50,628 SF underground parking garage; and the 6,905 SF amenity building; and demolition of existing site amenities which include tennis courts, a pool, a private helistop and associated accessory structures and improvements.
- 2. Subdivision of the 11.4-acre site from two contiguous lots to three lots as illustrated in the proposed tentative parcel map.
- 3. The construction of six structures for a total of 454,609 SF. The following table (Table 1) provides the building number, the use of the building and the size of each building:

Table 1
PROJECT SUMMARY

Building	Use	Total Building Square Footage
B1	R&D	127,008
B2	R&D	115,501
B3	R&D Amenity Village	3,358
B4	R&D Amenity Village	10,632
CUP	Central Utility Plant	10,755
P-1	Parking Structure	187,355
Total		454,609

- 4. On-site and off-site improvements related to the overall development of an R&D campus, including improved grading, pedestrian paths, and reconfiguration of vehicular circulation and parking. The project proposes to reconstruct the three existing project driveways to current standards per City of San Diego Standard Drawings. The main signalized project driveway at North Torrey Pines Road and N.U. System driveway intersection will remain as a full access driveway.
- 5. An MHPA boundary line correction to address the current MHPA boundary which overlaps areas within the project boundary that were entirely cleared and graded in 1980 during the initial property development (CDP F7919, C-16506, and CUP 83-0600), approximately 17 years prior to the adoption, mapping, and implementation of the MHPA.

Permits Required:

- 1. Process Two Neighborhood Development Permit (NDP) for the following:
 - a. Development within the Community Plan Implementation Overlay Zone Type B (CPIOZ-B) per <u>SDMC Table 132.14B</u>, <u>Footnote 1</u> and <u>SDMC 132.1402(b)</u>, that does not comply with the development standards in the applicable community plan and is an affordable housing, an in-fill project and/or a sustainable building as described in <u>SDMC Section 143.0915(c)</u>. The following deviation from the applicable development regulation is being requested:
 - i. A deviation from the University Community Plan (UCP), Community Plan Implementation Overlay Zone (CPIOZ-B) setback requirement from North Torrey Pines Road (page 175 of the UCP). A 50-foot landscaped setback is required along North Torrey Pines Road, while a variable setback ranging from 25-feet to 50-feet is proposed.
 - b. Development that proposes deviations from applicable Land Development Code (LDC) regulations in accordance with <u>SDMC Section 126.0602(b)(1)</u> and per <u>SDMC 143.0920(a)</u>, for affordable housing, in-fill projects, and sustainable buildings as described in <u>SDMC Section 143.0915(c)</u>, where process level may be reduced from a Process 4 Planned Development Permit (PDP) to a Process 2 NDP. The following deviation from the applicable development regulations is being requested:
 - i. A deviation from <u>SDMC Section 142.0560(j)(1)</u>, <u>Table 142-05M</u> for the maximum driveway width permitted within a Parking Impact Area, where a maximum 25-foot-wide driveway is permitted, while a 30-foot-wide driveway is proposed from North Torrey Pines Road at three locations. The project proposes to reconstruct three existing driveways to current City standards. The reconstructed existing northernmost driveway is proposed as emergency access only driveway to

provide a fire access loop at N. Torrey Pines Road on the northern end of the project site.

- Non-residential development where alternative compliance is requested to demonstrate compliance with the maximum intensity (50 people per acre) in accordance with <u>SDMC Section 132.1515(d)</u> within the Accident Potential Zone-II (APZ-II) for Marine Corps Air Station (MCAS) Miramar;
- d. Development of a premises that contains environmentally sensitive lands (ESL), as described in <u>SDMC Section 143.0110</u>, <u>SDMC Table 143-01A</u>, where <u>footnote 6</u>, allows the process level to be reduced from a Process 4 SDP to a Process 2 NDP for projects that qualify as an affordable housing, an in-fill project, and/or a sustainable building project as described in <u>SDMC Section 143.0915(c)</u>; and
- e. The subdivision of a premise containing ESL, as described in SDMC Section 126.0502(d)(3), and in SDMC Table 143-01A where footnote 6 allows the process level to be reduced from a Process 4 SDP to a Process 2 NDP for projects that qualify as an affordable housing, an in-fill project, and/or a sustainable building as described in SDMC Section 143.0915(c); and
- 2. Process Two Coastal Development Permit (CDP): Required for development in the non-appealable area of the Coastal Overlay Zone per SDMC Section 126.0707(a).
- 3. Process Three Tentative Map (TM) for a subdivision, as described in SDMC Section 125.0430.

These permits are consolidated for processing per <u>SDMC Section 112.0103</u>, with the Hearing Officer as the decision-maker.

With the exception of the requested deviations, the project would comply with the development requirements of the San Diego Municipal Code, including required setbacks, floor area ratio (FAR), building height, refuse and recycling areas, outdoor amenities, parking requirements, and circulation. The Project meets the requirements of the Coastal Height Limitation Overlay Zone with a maximum building height of 30-feet above grade.

Project Related Issues:

1. CPIOZ-B:

The Project site is within and subject to the applicable regulations of the Community Plan Implementation Overlay Zone, Type B within the University Community Plan, Torrey Pines Subarea. As shown in "Community Plan Analysis" below, the Project implements the requirements of the Community Plan at this location, which is the intent of the Community Plan Implementation Overlay Zone. A deviation from the setback requirement from North Torrey Pines is requested as described above.

2. Airport Land Use Compatibility:

The site is located within Accident Potential Zone II (APZ II) for MCAS Miramar. In accordance with San Diego Municipal Code (SDMC) Table 132-15G, the research and development use is a "limited use" within APZ II and is conditionally compatible if development is limited to a floor area ratio (FAR) of 0.34. The intent of this regulation is to limit the intensity (people per acre) in the APZ II to 50 people per acre in accordance with the MCAS Miramar ALUCP, and the SDMC acknowledges that the FAR may not accurately predict the intensity for certain land uses. To accommodate this, the SDMC allows for alternative methods of calculation to demonstrate compliance with the maximum intensity (people per acre) through a NDP in accordance with, SDMC 132.1515(d). The NDP includes conditions of approval that set building occupancy limits and maximum parking spaces that are intended to limit the number of people on-site to 50 people per acre (Attachments 8 and 10).

The applicant demonstrated alternative compliance by using an employee vehicle occupancy rate of 1.08 people per parking space per the MCAS Miramar Airport Land Use Compatibility Plan, Appendix D. Therefore, limiting the allowable number of employees and parking spaces to a total of 570, as shown on Exhibit "A", achieves compliance with the required 50 people/acre.

3. Deviations:

The proposed development is requesting deviations from the San Diego Municipal Code (SDMC) and the UCP CPIOZ-B regulations as described above. These deviations will be processed through a Process 2 NDP. The proposed development is eligible for a reduced process level, from a Process 4 PDP to a Process 2 NDP, because it will implement the Voluntary Tier I and Tier II Measures of Title 24, Part 11 California Green Building Standards Code in effect at the time the building permit application is deemed complete per SDMC 143.0915(c).

With approval of the requested deviations, the project would conform to the goals, themes and intent of the UCP including the enhancement of landscaping along North Torrey Pines Road, particularly in areas where the setback would be reduced. Landscape enhancements would include planting 30 additional public street trees consisting of Brisbane Box and Torrey Pine trees, streetscape plantings and the establishment of a perimeter transition planting zone which would include a plant palette that would be consistent with the landscape requirements of the UCP. In addition, enhancements would be extended beyond the current setback distance in non-building areas to create more screening opportunities within the proposed site development. This enhanced landscaping would ensure that the landscape theme and aesthetic along North Torrey Pines Road would remain. The requested driveway width deviation would allow for improved vehicular circulation including emergency vehicle access than would be available if designed in strict conformance with the applicable regulations. The deviations are being requested to create an accessible and cohesive campus and enhance the proposed R&D use of the property.

Each of the requested deviations have been reviewed as they relate to the proposed project and the impact to the surrounding community. The requested deviations are appropriate and will result in a project that efficiently utilizes the subject property and provides a use consistent with the Scientific/Research designation of the UCP.

4. MHPA Boundary Line Correction:

The project site is located within the City's MSCP Subarea Plan and sections of the eastern portion of the project site abut or encompass portions of the MHPA (See Attachment 16). The project was designed to avoid and limit impacts to environmentally sensitive lands, including the MHPA, and sensitive biological resources; however, a small portion of the proposed project footprint near the eastern project boundary will encroach into the existing MHPA boundary. The original MHPA boundary for this site was established as part of the regional MSCP mapping efforts, which became effective in March 1997. A MHPA boundary line correction (BLC), is proposed for two areas within the project site totaling 0.3-acre (See Attachment 16 for BLC areas). These areas were entirely graded and cleared in 1980 during the initial property development, approximately 17 years prior to the adoption and implementation of the MSCP and MHPA. A review of aerial imagery from 1980 through 1993 (See Attachment 17) indicates that these areas remained relatively devoid of vegetation until the installation of landscaping in 1990 and 1993. In addition, an existing concrete water quality basin and a v-ditch were installed in 1980 along the property boundary (currently within the mapped MHPA). The proposed Project would include renovations in these areas, including the replacement of the current concrete v-ditch outfall with an underground pipe for approximately 118 feet before daylighting into the portion of the concrete v-ditch to remain. The area that will be temporarily impacted during pipe installation will be revegetated following the completion of construction.

The MHPA BLC will rectify and correct minor mapping inaccuracies related to pre-MHPA grading and clearing of on-site areas in 1980 during the initial property development, approximately 17 years prior to the adoption, mapping and implementation of the MSCP and MHPA. Approximately 0.1-acre of sensitive species habitat (southern maritime chaparral) would be removed from the MHPA as a result of the BLC. Due to the small size, the proposed MHPA BLC is not anticipated to have a negative effect on habitat linkages, wildlife corridors, or the management efficiency of the preserve. The project would not expand the current footprint of the property, and the proposed BLC area is located immediately adjacent to an open and contiguous MHPA habitat more suitable for wildlife movement. Furthermore, the proposed BLC would not increase the likelihood of a significant impact to a non-covered species or result in an impact to a rare or sensitive species.

Staff reviewed the BLC and determined the loss of MHPA does not represent a significant impact to the MHPA because the proposed BLC area is within the limits of the existing property, and these areas were cleared and impacted in 1980, prior to the adoption of the regional MSCP mapping efforts, which became effective in March 1997.

5. Public Water and Sewer Easement Vacation:

The project site has an encumbrance in the form of a 15-foot-wide public water and sewer easement which was recorded within Lot 15, The project proposes to realign the public water and sewer utilities located within portions of the existing easement and providing a new easement for the realigned public water and sewer which would vary in width, 35-feet or greater as shown in the Exhibit "A" documents. After recordation of the realigned easement for public water and sewer utilities the Owner/Permittee shall be required as part of the development permit conditions to process a partial easement vacation for the portion of the existing on-site public water and sewer easement that will no longer be utilized as shown on the Exhibit "A" documents.

Community Plan Analysis:

The 11.4-acre Project site is located at 11255 and 11355 North Torrey Pines Road, in the IP-1-1 zone which allows for research and development (R&D) uses with some limited manufacturing; and the UCP designates the site as "Scientific Research" within the Torrey Pines Subarea of the UCP and Local Coastal Program and the site is located within the Community Plan Implementation Overlay Zone, Type B (CPIOZ-B). Page 174, Section B of the UCP outlines the specific issues to be addressed in CPIOZ-B. These include, but are not limited to, architecture, materials, site design, grading, bulk and scale, and pedestrian scale as well as all requirements of the Urban Design Element of the UCP. The Project uses natural color palettes, preserves existing mature trees, provides additional trees and landscaping consistent with the surrounding Torrey Pines Area context, provides pedestrian paths and improved pedestrian connectivity, and uses variation in wall planes, all of which are required by the Urban Design Element. Building design and materials have been selected to integrate into the context of the surrounding area.

Staff has determined that the project is consistent with the Scientific/Research designation, and supports the design requirements, goals, and policies of the UCP. The proposed project would assist in meeting the following goals and objectives of the UCP:

- 1) Create a physical, social, and economic environment complementary to UCSD and its environs and the entire San Diego metropolitan area (UCP Page 16).
- 2) Promote job opportunities within the University community (UCP Page 17).
- 3) Minimize the impact of aircraft noise and the consequences of potential aircraft accidents (UCP Page 19).
- 4) Provide for the needs of pedestrians in all future design and development decisions (UCP Page 44).
- 5) Ensure that San Diego's climate and the community's unique topography and vegetation influence the planning and design of new projects (UCP Page 44).
- 6) Protect and take maximum advantage of the Torrey Pines Subarea's topography and unique natural vegetation (UCP Page 99).
- 7) Preserve existing mature trees (UCP Page 100).

A detailed description of how the project meets the aforementioned goals and objectives of the UCP can be found in the permit and tentative map resolutions (See Attachments 7 and 9). The site is included in the General Plan's Economic Prosperity Element as Prime Industrial land on Figure EP-1 which identifies areas that support export-oriented base sector activities such as warehouse distribution, heavy or light manufacturing, research and development uses. These areas are part of even larger areas that provide a significant benefit to the regional economy and meet General Plan goals and objectives to encourage a strong economic base. The General Plan provides several policies which are intended to protect base sector industrial uses and those areas identified as prime industrial lands. Policies EP-A.1 through EP-A.5 and EP-A.12 aim to encourage growth and protect base sector uses that provide quality job opportunities, encourage expansion of existing industrial uses to facilitate retention in the area in which they are located, mitigate any environmental impacts to adjacent land and be adequately served by existing and planned infrastructure.

The Industrial Element of the UCP emphasizes the city-wide importance of and encourages the retention and growth of Scientific Research use in the community because of its proximity to UCSD. Increased proposed redevelopment from an Academic Headquarters to an R&D Campus would be consistent with this emphasis and the community plan policies regarding retention and growth of Scientific Research in areas designated for industrial development.

ENVIRONMENTAL ANALYSIS:

During the environmental review of the Project, City Staff determined that based on the environmental analysis and information, a <u>TIERED MITIGATED NEGATIVE DECLARATION (MND) No. 691942/SCH No. 2019060003</u> was the appropriate environmental document to be prepared for the project which would include a Mitigation, Monitoring and Reporting Program (MMRP). The MND identified potentially significant impacts to Biological Resources and Transportation related to the proposed development which would be mitigated through implementation of the proposed MMRP.

To address transportation related impacts, the project proposes the implementation of VMT Reduction Measures which would achieve 10.0 points required by the Mobility Choices Ordinance.

The proposed VMT reduction measures would include the following:

- 1. Provide short-term bicycle parking spaces that are available to the public, at least 20% beyond the minimum requirements.
 - Short-term bicycle parking required = 30 spaces
 - Short-term bicycle parking provided = 36 spaces (3.0 points)
- 2. Provide long-term bicycle parking spaces at least 20% beyond the minimum requirements.
 - Long-term bicycle parking required = 30 spaces
 - Long-term bicycle parking provided = 36 spaces (4.0 points)

- 3. Provide on-site showers/lockers at least 10% beyond the minimum requirements.
 - Showers/lockers required = 3 showers/12 lockers
 - Showers/lockers provided = 8 showers/40 lockers (2.0 points)
- 4. Provide low cost amenities/upgraded features to an existing transit stop (above existing conditions), e.g. addition of bench, public art, static schedule with route display, or trash receptable.
 - Project will install a bus shelter, bench and trash receptacle for the existing bus stop located approximately 65 feet north of N.U. System Driveway adjacent to the project. (1.0 point)

The project site is located within the City's MSCP Subarea Plan. Sections of the eastern portion of the project site abut or encompass portions of the MHPA. The MSCP establishes specific guidelines that limit activities that occur within the MHPA. In general, activities occurring within the MHPA must conform to these guidelines and, wherever feasible, should be located in the least sensitive areas. The project was designed to avoid and limit impacts to environmentally sensitive lands, including the MHPA, and sensitive biological resources; however, a small portion of the proposed project footprint near the eastern project boundary will encroach into the existing MHPA boundary. A MHPA boundary line correction (BLC) is proposed for two areas within the project site totaling 0.3-acre. These areas were entirely graded and cleared in 1980 during the initial property development, approximately 17 years prior to the adoption and implementation of the MSCP and MHPA. The MHPA BLC will rectify and correct minor mapping inaccuracies related to pre-MHPA grading and clearing of on-site areas in 1980 during the initial property development, approximately 17 years prior to the adoption, mapping and implementation of the MSCP and MHPA. Approximately 0.1-acre of sensitive species habitat (southern maritime chaparral) would be removed from the MHPA as a result of the BLC. Due to the small size, the proposed MHPA BLC is not anticipated to have a negative effect on habitat linkages, wildlife corridors, or the management efficiency of the preserve.

Impacts to biological resources include impacts to less than 0.1 acre of southern maritime chaparral, 0.3 acre of disturbed southern maritime chaparral, less than 0.1 acre of non-native vegetation, and 10.0 acres of developed area. No impacts will occur within the Multiple Habitat Planning Area (MHPA). All impacts to southern maritime chaparral (including disturbed) would be significant and would require mitigation. Three special status plant species were observed in the project site during project surveys: wart-stemmed ceanothus, Nuttall's scrub oak, and Torrey pine. The proposed development has been designed to occur within the previously disturbed and developed portions of the site and would avoid impacts to sensitive biological resources; however, portions of the proposed project footprint would impact sensitive upland habitats where special status plant species have been documented. The proposed project would result in impacts to a small portion of Tier I southern maritime chaparral and a wart-stemmed ceanothus individual located on-site (outside the MHPA). Project impacts to one wart-stemmed ceanothus would not jeopardize the continued viability of the species within the region, as wart-stemmed ceanothus would continue to persist both within the project site and within the surrounding preserved habitat. Mitigation for impacts to sensitive upland habitats and special status plan species would be accomplished through

replacement on site (for wart-stemmed ceanothus) and at an off-site mitigation site owned by the property owner (3.2-acre Callan Road mitigation site). Impacts to Tier I southern maritime chaparral will be mitigated at a minimum 2:1 ratio. Impact to one wart stemmed ceanothus located outside the MHPA will also occur. Mitigation of wart stemmed ceanothus will occur at a 2:1 ratio within undeveloped portions of the property. In addition, 23 wart-stemmed ceanothus would be preserved within the 3.2-acre off-site Callan Road mitigation site.

The project has been designed to avoid direct impacts to naturally-occurring Torrey pine trees, and no removals of naturally-occurring Torrey pine trees are expected. Tree protection and general measures to avoid and minimize impacts to naturally-occurring Torrey pines would also be implemented as a condition of approval. Tree protection zones (TPZs) for each naturally-occurring Torrey pine tree on, and immediately adjacent to, the site would be established. A TPZ would help ensure that a tree is protected during construction, has enough space for root and branch growth, and would receive adequate supplies of soil nutrients, air, and water. The project will preserve approximately one-third of the existing mature trees onsite.

As a condition of permit approval, a covenant of easement will be recorded against the title of the property to preserve the Callan Road mitigation site in perpetuity. The project as designed, and with the implementation of the MMRP, would comply with the City's MSCP Subarea Plan (City 1997), City's Biology Guidelines (City 2018), and ESL Regulations. Additionally, a portion of the project site lies within the City's MHPA, and therefore, is subject to MHPA Land Use Adjacency Guidelines (LUAGs) to minimize indirect impacts to sensitive resources contained in the MHPA. Projects within or adjacent to the MHPA must demonstrate compliance with the LUAGs. Project impacts to sensitive vegetation communities will be mitigated in accordance with the ratios provided in the City's Biology Guidelines (City 2018).

No special status animal species were detected within the project site during project surveys; however, the project would result in impacts to sensitive uplands habitats where special status animal species have the potential to occur. Three animal species were determined to have a high potential to occur: Belding's orange whiptail, San Diego tiger whiptail, and Cooper's hawk. None of these species are federally or state listed species, or City narrow endemic species. However, these species are protected by the Migratory Bird Treaty Act and the California Fish and Game Code. Belding's orange-throated whiptail and Cooper's hawk are CDFW Watch List species and MSCP covered species. San Diego tiger whiptail is a CDFW Species of Special Concern. Implementation of mitigation measure BIO-3 of the Project's MMRP shall be implemented and included as conditions of project approval to ensure compliance with the City's Biology Guidelines (City 2018) and MSCP Subarea Plan (City 1997), and to prevent inadvertent impacts to sensitive biological resources adjacent to the project footprint including potential impacts to the above-mentioned species. Therefore, the MMRP, as detailed within the Tiered MND, would be required. With implementation of the MMRP, potential impacts on biological resources would be reduced to less than significant.

CONCLUSION:

Staff has reviewed project plans and documents, and all the necessary findings can be made to approve the Project as discussed in depth above and demonstrated in the resolutions of approval

(Attachment 7 and 9). Staff recommends that the Hearing Officer APPROVE Neighborhood Development Permit No. 24570684, Coastal Development Permit No. 2570682, Tentative Map No. 2570686, and a MHPA boundary line correction; and ADOPT Tiered Mitigated Negative Declaration (MND) No. 691942/SCH No. 2019060003; and ADOPT the Mitigation Monitoring and Reporting Program.

ALTERNATIVES

- 1. ADOPT Tiered Mitigated Negative Declaration (MND) No. 691942/SCH No. 2019060003; and ADOPT the Mitigation Monitoring and Reporting Program; and APPROVE Neighborhood Development Permit No. 2570684, Coastal Development Permit No. 2570682, Tentative Map No. 2570686, and a MHPA Boundary Line Correction, with modifications.
- 2. DO NOT ADOPT Tiered Mitigated Negative Declaration (MND) No. 691942/SCH No. 2019060003; and DO NOT ADOPT the Mitigation Monitoring and Reporting Program; and DENY Neighborhood Development Permit No. 2570684, Coastal Development Permit No. 2570682, Tentative Map No. 2570686, and a MHPA Boundary Line Correction, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

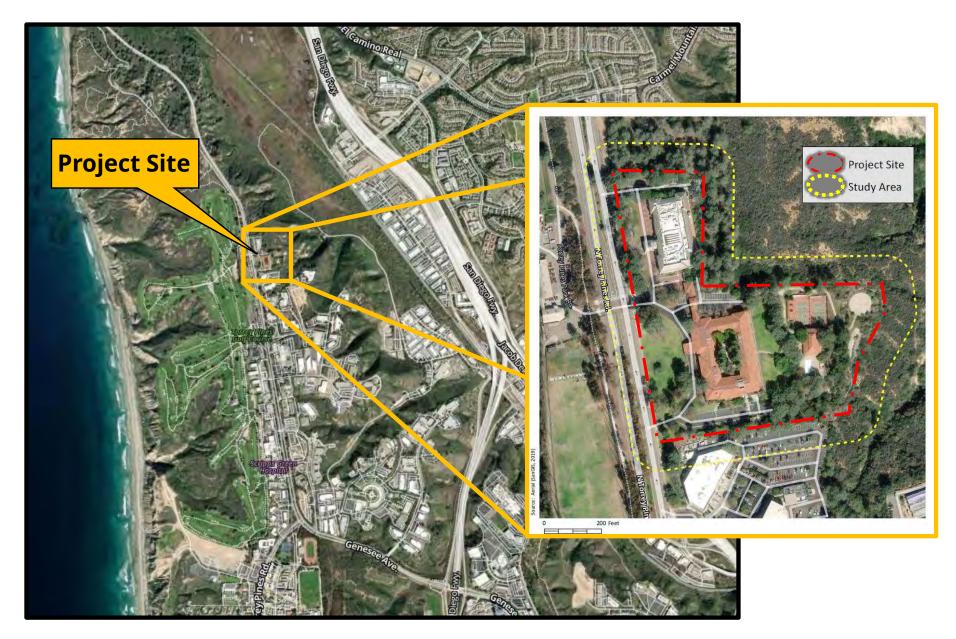
Martin R. Mendez

Development Project Manager Development Services Department

Attachments:

- 1. Aerial Photographs
- 2. Project Location Map
- 3. Community Plan Land Use Map
- 4. Figure 26, Land Use and Development Intensity Subarea Map, University Community Plan
- 5. Table 3, Land Use and Development Intensity, University Community Plan
- 6. Overall Proposed Site Plan
- 7. Draft Permit Resolution with Findings
- 8. Draft Permit with Conditions
- 9. Draft Tentative Map Resolution with Findings
- 10. Draft Tentative Map Conditions
- 11. Draft Environmental Resolution with MMRP
- 12. Copy of Prior Discretionary Approvals
- 13. Project Plans

- 14. Community Planning Group Recommendation
- 15. Ownership Disclosure Statement
- 16. Multi-Habitat Planning Area Map
- 17. 1980 Aerial
- 18. Brush Management Exhibit

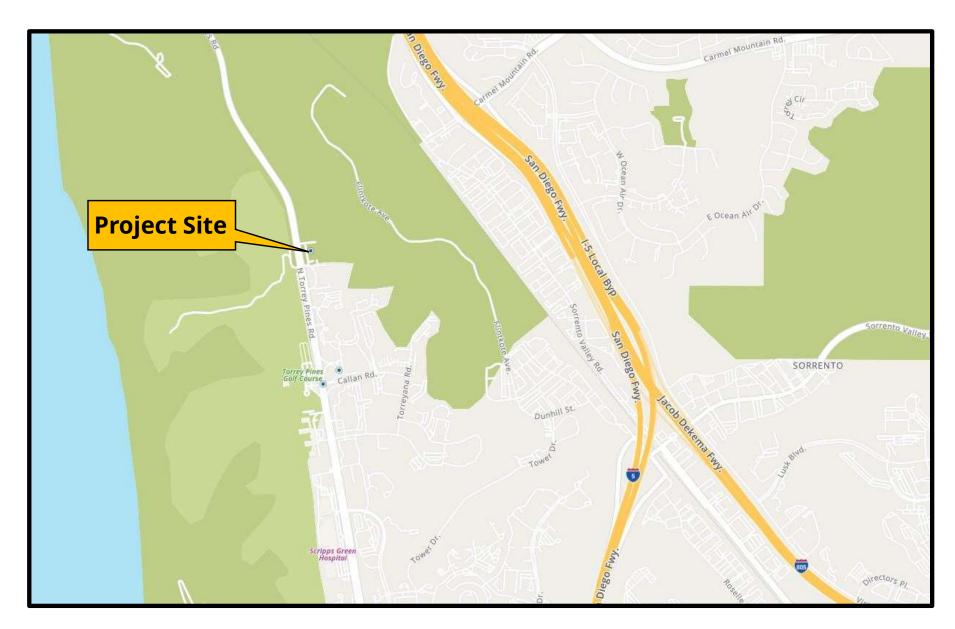




Aerial Map

One Alexandria North / 11255 and 11355 North Torrey Pines Road PROJECT NO. 691942







Project Location Map

One Alexandria North / 11255 and 11355 North Torrey Pines Road PROJECT NO. 691942



ATTACHMENT 3 Project Site LAND USE CATEGORIES RESIDENTIAL COMMERCIAL INDUSTRIAL BUSINESS PARK PUBLIC/SEMI-PUBLIC PARK OPEN SPACE s SCHOOL PUBLIC FACILITIES/INSTITUTIONAL COMMUNITY BOUNDARY U.C.S.D. BOUNDARY COASTAL ZONE BOUNDARY PACIFIC OCEAN UCSD



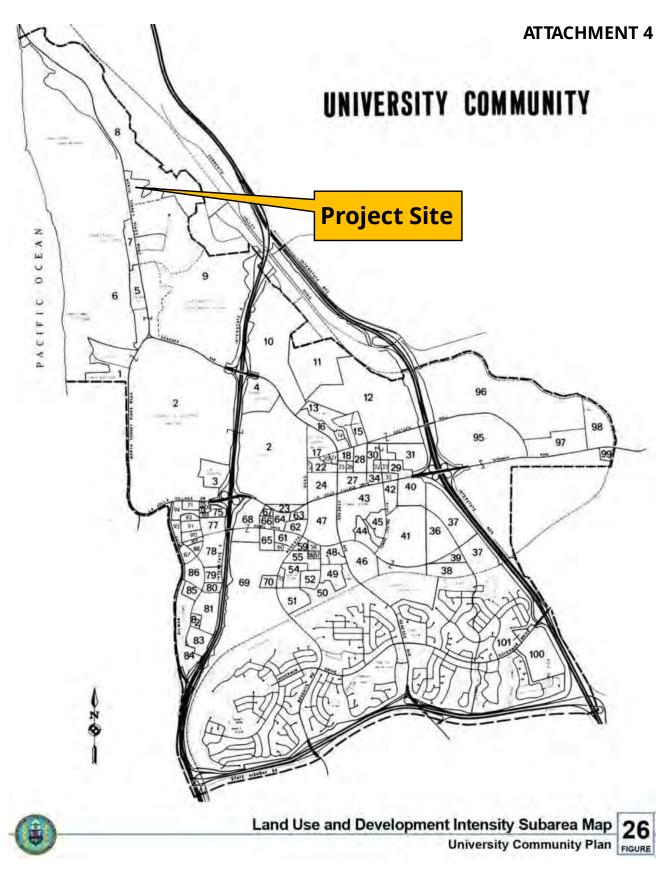
Community Land Use Map

One Alexandria North
11255 and 11355 North Torrey Pines Road
PROJECT NO. 691942



Generalized Land Use Plan

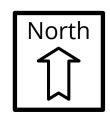
University Community Plan FIGURE





UCP Fig. 26. Land Use Development Intensity Subarea

One Alexandria North
11255 and 11355 North Torrey Pines Road
PROJECT NO. 691942



LAND USE AND DEVELOPMENT INTENSITY

Any changes to this table for properties in the Coastal Zone

	Subarea/Name	Gross Acres	Land Use and Development Intensity
1.	Salk Institute	26.88	500,000 SF - Scientific Research
2.	UCSD	915.00	UCSD Long Range Development Plan (110,000 ADT)
3.	VA Hospital	29.95	725 Beds
4.	Scripps Memorial Hospital Medical Offices	41.38	682 Beds 31,500 SF - Scientific Research 793,580 SF - Medical Office
5.	Scripps Clinic	25.17	320 Beds 567,000 SF - Scientific Research 404,000 SF - Medical Office 52,000 SF - Aerobics Center
6.	Torrey Pines Golf Course/ City Park/State Reserve	728.05 (1)	
7.	Sheraton Hotel	11.38	400 Rooms - Hotel
	Lodge at Torrey Pines	6.00 (1)	175 Rooms - Hotel
8.	Torrey Pines State Reserve	233.92	
	Chevron Scallop Nuclear (Gentry) Torrey Pines Science Park Signal/Hutton Torrey Pines Business and Research Park La Jolla Cancer Research State Park	303.60 56.41 145.74 25.79 15.89 4.87 14.25	20,000 SF/AC - Scientific Research (2) Existing or approved development, Exceptions: Spin Physics - 550,000 SF Lot 10B (2.7 AC) - 15,500 SF/AC 23,000 SF/AC (2) Scientific Research Open Space
10.	Campus Point	158.78	Existing or approved development, Exceptions: Alexandria (10290-10300 Campus Point Drive and SAIC – 30,000 SF/AC (3) and Lot 7 (3.6 AC) -18,000 SF/AC - Scientific Research 25.00 Open Space
11.	Private Ownership City Ownership	55.93 47.48	18,000 SF/AC - Scientific Research (4) (Development intensity transferred from Subarea 37 for all of Subarea 11)
10	Eastgate Technology Park (PID) (4a)(4b)	218.50	2,472,025 SF - Scientific Research

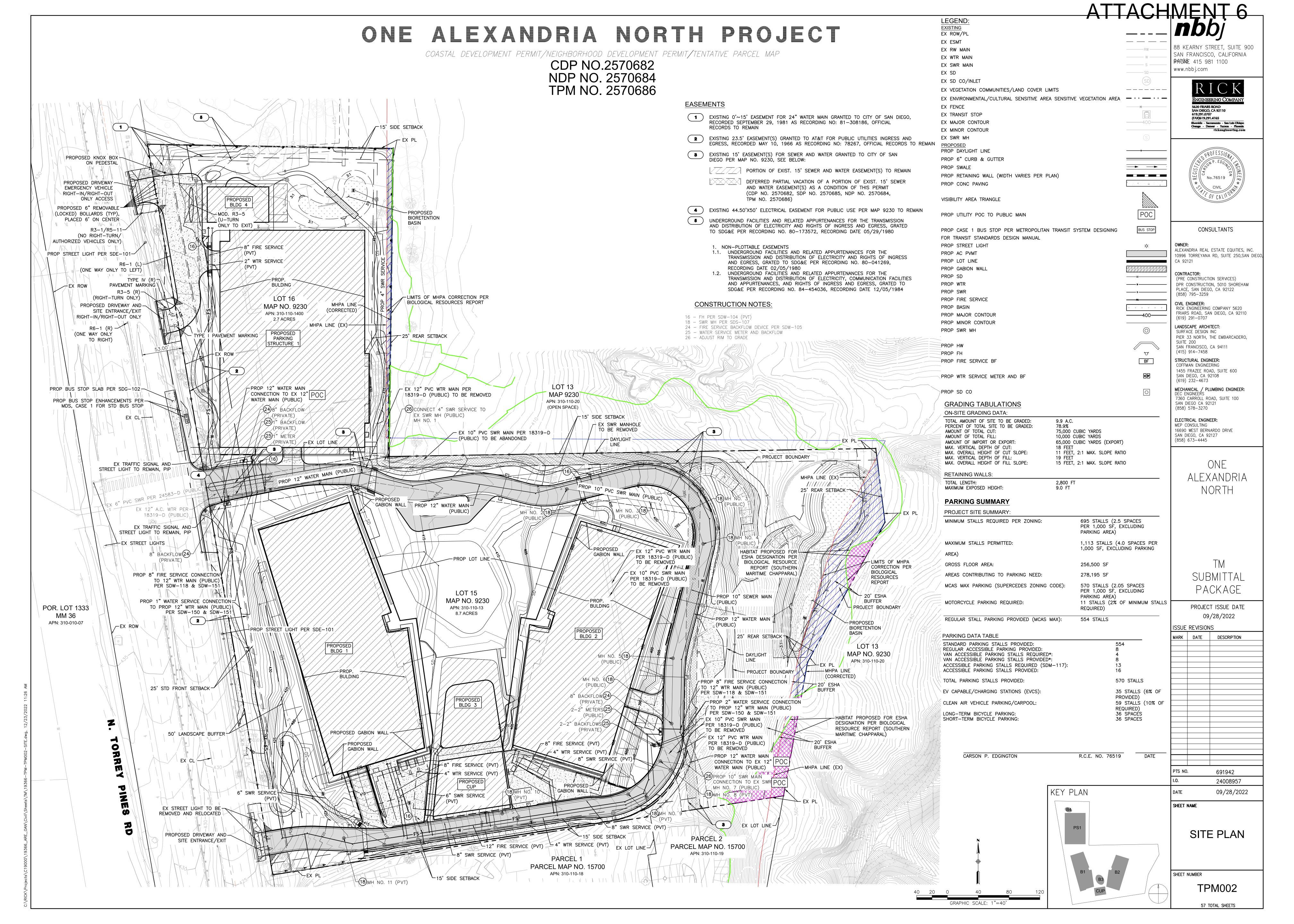
- (1) A minimum of 187 public parking spaces is to be retained on public land for golf course uses; in addition, at the adjacent Lodge at Torrey Pines, there are 40 parking spaces reserved daily for golfers and 94 parking spaces reserved during tournaments.
- (2) Chevron, Scallop Nuclear, and La Jolla Cancer Research Foundation shall be required to mitigate their peak-hour trip generation rate to a level equal to or less than that which would be generated by a project of 18,000 SF/AC. Mitigation shall be achieved through a Transportation System Management (TSM) program to be approved by the City Council and the California Coastal Commission as a Local Coastal Program amendment. The proposed TSM program must specify the maximum development intensity of the project site and include supported findings. This Plan encourages the development of these parcels through a master plan.
- (3) SAIC shall be required to mitigate its peak-hour trip generation rate to a level equal to or less than that which would be generated by a project of 18,000 SF/AC. Alexandria shall be required to mitigate its peak-hour trip generation rate to a level equal to or less than that which would be generated by a project of 20,000 SF/AC. Mitigation shall be achieved through a Transportation System management (TSM) program to be approved by the City Council.
- (4) This Plan encourages the development of this subarea through a master plan
- (4a) ADT's from Irvine Company owned parcels 343-122-40-43, 45-52, & 60-64 Subarea 12 (PID) 90-0892) have been shifted to La Jolla Centre III Subarea 29 APN 345-012-10.
- (4b) 7.635 square feet is transferred from Eastgate Acres PID 96-7756 in Subarea 11 to Lot 6A in Subarea 12. 18,878 square feet is being transferred to Lot 6A from within PID 90-0892. In addition to transferrs, the project on Lot 6A shall implement Transportation Demand Management (TDM) measures targeting a reduction in project trips during peak hours.



Development Intensity

One Alexandria North 11255 and 11355 North Torrey Pines Road PROJECT NO. 691942





HEARING OFFICER

RESOLUTION NO.	

NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2570684 COASTAL DEVELOPMENT PERMIT NO. 2570682 MULTIPLE HABITAT PLANNING AREA BOUNDARY LINE CORRECTION

ONE ALEXANDRIA NORTH - PROJECT NO. 691942 [MMRP]

WHEREAS, ARE-SD Region No. 68, LLC, a Delaware Limited Liability Company,

Owner/Permittee, filed an application with the City of San Diego for a Neighborhood Development

Permit (NDP), a Coastal Development Permit (CDP), and a Multiple Habitat Planning Area (MHPA)

boundary line correction (BLC), for the demolition of two existing two-story buildings with

underground parking, two tennis courts, a swimming pool and hot tub, two amenity buildings, a

private helipad, and associated site improvements and for the construction of a research and

development (R&D) campus consisting of two lab and office space buildings, two amenity space

buildings, a central utility plant building, a parking structure, and associated site improvements; as

further described below and identified on the approved exhibits (Exhibit A) known as the One

Alexandria North project (Project), located at 11255 and 11355 North Torrey Pines Road; and

WHEREAS, the Project site is legally described as Lots 15 and 16 according to Map No. 9230 – Torrey Pines Science Park Unit 3, in the City of San Diego, filed as File No. 79-216842 in the office of the County Recorder of San Diego County, in the State of California, on May 25th, 1979; is located in the Torrey Pines Subarea of the University Community Plan (UCP) area; in the IP-1-1 base zone, Prime Industrial Lands as identified in the General Plan's Economic Prosperity Element, and within the following overlay zones: Community Plan Implementation Overlay Zone Type B (CPIOZ-B), Coastal Overlay Zone (Non-Appealable Area 1), Coastal Height Limit Overlay Zone (CHLOZ), First Public Roadway Overlay Zone (Coastal), Very High Fire Hazard Severity Zones (VHFHSZ)/Fire Brush

Zone 30-foot Buffer, Parking Impact Overlay Zone (PIOZ) for Coastal and Beach Impact,

Environmentally Sensitive Lands (ESL), the City's Multi-Habitat Planning Area (MHPA), Multiple

Species Conservation Program (MSCP) Subarea; and the following overlay zones for Marine Corps

Air Station (MCAS) Miramar: Airport Land Use Compatibility Overlay Zone (ALUCOZ) Airport Influence

Area (AIA) Review Area 1, and the Accident Potential Zone II (APZ-II); and

WHEREAS, on February 8, 2023, the Hearing Officer of the City of San Diego considered Neighborhood Development Permit No. 2570684, Coastal Development Permit No. 2570682, and an MHPA Boundary Line Correction, pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Neighborhood Development Permit No. 2570684 and Coastal Development Permit No. 2570682:

A. NEIGHBORHOOD DEVELOPMENT PERMIT - SDMC Section 126.0404

- 1. Findings for all Neighborhood Development Permits:
 - a. The proposed development will not adversely affect the applicable land use plan.

The approximately 11.4-acre site is located at 11255 and 11355 North Torrey Pines Road, on the east side of North Torrey Pines Road, west of Interstate 5 (I-5), south of the Torrey Pines State Natural Reserve, and north of Callan Road, in the IP-1-1 base zone and within the University Community Plan (UCP) area, Torrey Pines Subarea 1, which designates the site as Scientific/Research. The project proposes the redevelopment of an existing developed site previously identified as the National University – La Jolla, California Academic Headquarters, for a R&D Campus, further described below. Most of the surrounding properties are also zoned IP-1-1 and developed with research and development uses. The proposed project is consistent with the Scientific/Research designation which allows for R&D uses with some limited manufacturing and the project as proposed supports the design requirements, goals, and policies of the UCP, including:

1) Create a physical, social, and economic environment complementary to UCSD and its environs and the entire San Diego metropolitan area (UCP Page 16).

The project will develop new buildings that complement the existing development pattern of the general area, include new landscaping consistent with the surrounding Torrey Pines Area context, and include enhanced pedestrian and vehicular connectivity in conformance with the goals of the UCP.

2) Promote job opportunities within the University community (UCP Page 17).

The project facilitates the construction of 256,500 square feet (SF) of gross floor area (GFA) for R&D uses and supporting amenity uses consisting of retail and food and beverage uses, which will contribute to the goal of generating job opportunities within the University community at a variety of income levels to range from professional life sciences job opportunities to supporting service job opportunities.

3) Minimize the impact of aircraft noise and the consequences of potential aircraft accidents (UCP Page 19).

The project is not located within the noise contours of any airport; however, it is located in the Airport Safety Zone – Accident Potential Zone II (APZ II) of MCAS Miramar. The proposed project would conform with the development intensity requirements for APZ II through alternative compliance as specified in SDMC Section 132.1515(d). The project would be conditioned to restrict the site to 570 people and parking spaces. Therefore, the project would be in conformance to the alternate method of calculation and would be consistent with the goal of minimizing the consequences of potential aircraft accidents.

4) Provide for the needs of pedestrians in all future design and development decisions (UCP Page 44).

The project enhances pedestrian connectivity in the area by providing and improving pedestrian paths with canopy, shade-producing, trees along the paths adjacent to North Torrey Pines Road. Additionally, the project will provide pedestrian connectivity within the site throughout the campus that connects to the pedestrian paths along the public right of way.

5) Ensure that San Diego's climate and the community's unique topography and vegetation influence the planning and design of new projects (UCP Page 44).

The project site is located within the City's MSCP Subarea Plan. Sections of the eastern portion of the project site abut or encompass portions of the MHPA. The MSCP establishes specific guidelines that limit activities that occur within the MHPA. In general, activities occurring within the MHPA must conform to these guidelines and, wherever feasible, should be located in the

least sensitive areas. The project was designed to avoid and limit impacts to environmentally sensitive lands, including the MHPA, and sensitive biological resources; however, a small portion of the proposed project footprint near the eastern project boundary will encroach into the existing MHPA boundary.

The original MHPA boundary for this site was established as part of the regional MSCP mapping efforts, which became effective in March 1997. A MHPA boundary line correction (BLC), is proposed for two areas within the project site totaling 0.3-acre. These areas were entirely graded and cleared in 1980 during the initial property development, approximately 17 years prior to the adoption and implementation of the MSCP and MHPA. A review of aerial imagery from 1980 through 1993 indicates that these areas remained relatively devoid of vegetation until the installation of landscaping in 1990 and 1993. In addition, an existing concrete water quality basin and a v-ditch were installed in 1980 along the property boundary (currently within the mapped MHPA). The proposed Project would include renovations in these areas, including the replacement of the current concrete v-ditch outfall with an underground pipe for approximately 118 feet before daylighting into the portion of the concrete v-ditch to remain. The area that will be temporarily impacted during pipe installation will be revegetated following the completion of construction.

The MHPA BLC will rectify and correct minor mapping inaccuracies related to pre-MHPA grading and clearing of on-site areas in 1980 during the initial property development, approximately 17 years prior to the adoption, mapping and implementation of the MSCP and MHPA. Approximately 0.1-acre of sensitive species habitat (southern maritime chaparral) would be removed from the MHPA as a result of the BLC. Due to the small size, the proposed MHPA BLC is not anticipated to have a negative effect on habitat linkages, wildlife corridors, or the management efficiency of the preserve. The project would not expand the current footprint of the property, and the proposed BLC area is located immediately adjacent to an open and contiguous MHPA habitat more suitable for wildlife movement. Furthermore, the proposed BLC would not increase the likelihood of a significant impact to a non-covered species or result in an impact to a rare or sensitive species.

The project site would be subject to Land Use Adjacency Guidelines (LUAGs) designed to minimize indirect impact from drainage, toxins, lighting, noise, barriers, invasive species, brush management, and grading to sensitive resources contained in the MHPA and thus maintain the value of the preserve. Projects within or adjacent to the MHPA must demonstrate compliance with the LUAGs. Project impacts to sensitive vegetation communities will be mitigated in accordance with the ratios provided in the City's Biology Guidelines (City 2018).

Three special status plant species were observed within the project site during project surveys: wart-stemmed ceanothus, Nuttall's scrub oak, and

Torrey pine. The proposed development has been designed to occur within the previously disturbed and developed portions of the site and would avoid impacts to sensitive biological resources; however, portions of the proposed project footprint would impact sensitive upland habitats where special status plant species have been documented. The proposed project would result in impacts to a small portion of Tier I southern maritime chaparral and a wartstemmed ceanothus individual located on-site (outside the MHPA). Project impacts to one wart-stemmed ceanothus would not jeopardize the continued viability of the species within the region, as wart-stemmed ceanothus would continue to persist both within the project site and within the surrounding preserved habitat. Mitigation for impacts to sensitive upland habitats and special status plan species would be accomplished through replacement on site (for wart-stemmed ceanothus) and at an off-site mitigation site owned by the property owner (3.2-acre Callan Road mitigation site). Impacts to Tier I southern maritime chaparral will be mitigated at a minimum 2:1 ratio. Impact to one wart stemmed ceanothus located outside the MHPA will also occur. Mitigation of wart stemmed ceanothus will occur at a 2:1 ratio within undeveloped portions of the property. In addition, 23 wart-stemmed ceanothus would be preserved within the 3.2-acre off-site Callan Road mitigation site.

The project has been designed to avoid direct impacts to naturally-occurring Torrey pine trees, and no removals of naturally-occurring Torrey pine trees are expected. Tree protection and general measures to avoid and minimize impacts to naturally-occurring Torrey pines would also be implemented as a condition of approval. Tree protection zones (TPZs) for each naturally-occurring Torrey pine tree on, and immediately adjacent to, the site would be established. A TPZ would help ensure that a tree is protected during construction, has enough space for root and branch growth, and would receive adequate supplies of soil nutrients, air, and water. The project will preserve approximately one-third of the existing mature trees onsite.

As a condition of permit approval, a covenant of easement will be recorded against the title of the property to preserve the Callan Road mitigation site in perpetuity. New landscaping will use vegetation consistent with the surrounding Torrey Pines Area context, including Torrey Pines, Coast Live Oaks, Toyon, Catalina Cherry as well as other low water use regionally adapted species, non-invasive species, that will thrive in the coastal environment of the Torrey Pines Area and are common to local Coastal Sage Scrub and Chapparal communities. There will be no encroachment into, or impacts on, any other sensitive vegetation located on the site. Furthermore, placement of the proposed buildings and the overall associated site improvements have been designed to respect the local topography to the greatest extent possible by incorporating building designs and site access that follow and take advantage of the contours of the site. This is accomplished by using the site's topography to dictate the placement of buildings and to add interest to the campus by tiering the building pads to

follow the contours of the site thus respecting the natural topography while minimizing the alteration of the natural slopes.

6) Protect and take maximum advantage of the Torrey Pines Subarea's topography and unique natural vegetation (UCP Page 99).

The project protects and takes maximum advantage of the Torrey Pines Subarea's topography and unique natural vegetation as set out in finding A.1.a.5) above, incorporated herein by reference.

7) Preserve existing mature trees (UCP Page 100).

The project would not result in the loss of any distinctive or landmark trees or stand of mature trees. The project has been designed to avoid direct impacts to naturally-occurring Torrey pine trees, and no removals of naturally-occurring Torrey pine trees are expected. Tree protection and general measures to avoid and minimize impacts to naturally-occurring Torrey pines would also be implemented as a condition of approval. Tree protection zones (TPZs) for each naturally-occurring Torrey pine tree on, and immediately adjacent to, the site would be established. A TPZ would help ensure that a tree is protected during construction, has enough space for root and branch growth, and would receive adequate supplies of soil nutrients, air, and water. The project will preserve approximately one-third of the existing mature trees onsite. Additionally, the project will plant approximately 225 additional trees.

The site is currently developed with the National University – La Jolla, California Academic Headquarters which includes two existing buildings and several accessory buildings with a total gross floor area (GFA) of 157,500 square feet (SF), exterior tennis courts with lighting, a swimming pool, a private helipad and associated site improvements. The project proposes to demolish all existing buildings on site and site amenities for the construction a R&D Campus which would include two R&D buildings totaling approximately 242,509 SF GFA (consisting of a three-story building totaling 127,008 SF GFA and a three-story building totaling 115,501 SF GFA); construction of two amenity buildings totaling 13,990 GFA; construction of a Central Utility Plant building; and the construction of a four-level parking garage including a below grade level for an overall site total of 256,500 SF GFA.

The project site is identified in the General Plan's Economic Prosperity Element as Prime Industrial Land. Prime Industrial Lands are areas that support export-oriented base sector activities such as warehouse distribution, heavy or light manufacturing, and R&D uses. These areas are part of even larger areas that provide a significant benefit to the regional economy and meet General Plan goals and objectives to encourage a strong economic base. The proposed project is located within the Torrey Pines Subarea of the UCP and is designated for scientific research. The development of 256,500 SF of R&D would help provide quality job opportunities including middle-income jobs and provide secondary employment and supporting uses. Retention and growth of scientific research use in this area would also provide

greater opportunities for collaboration with other scientific research uses in the immediate vicinity, in the Torrey Pines Mesa area of the community as well as the University of California San Diego (UCSD). The project will also provide accessory uses and spaces to serve the tenants of the campus, thereby implementing the goals and policies of the UCP to provide amenities and support services to the primary scientific research and other industrial uses in industrial areas. The site is also subject to CPIOZ-B regulations. The purpose of the CPIOZ is to provide supplemental development regulations that are tailored to specific sites within community plan areas of the City to ensure that new development is consistent with the goals, objectives, and proposals of the community plan or compatible with surrounding development. The CPIOZ-B regulations address specific issues, including but not limited to, land use intensity, bulk and scale, and architectural design of buildings, structures and signs. The site is also located within the Coastal Height Limit Overlay Zone (CHLOZ) which regulates the maximum height limit allowed within the Coastal zone. The project's Exhibit "A" provides building section exhibits that demonstrate that the structures and projections will not exceed the maximum 30-feet above grade height limit allowed by the CHLOZ.

The project has been determined to be in conformance with Table 3 of the Land Use and Development Intensity Element of the UCP, which calls for Scientific Research use. As discussed at 3) above, the proposed project conforms with the development intensity requirements for APZ II through alternative compliance as specified in SDMC Section 132.1515(d). Additionally, in order to ensure consistency with the goals, objectives, and proposals of the UCP, the development plans have been designed to address height, bulk and scale, materials, colors and signs in conformance with the CPIOZ-B regulations. Therefore, the proposed development and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes the development of a R&D Campus as described in finding A.1.a above, incorporated herein by reference. Tiered Mitigated Negative Declaration (MND) No. 691942/State Clearinghouse (SCH) No. 2019060003, which incorporates associated technical studies, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. The MND determined that the project would result in potentially significant impacts to Biological Resources and Transportation. Implementation of the Mitigation, Monitoring and Reporting Program (MMRP) would mitigate impacts to Biological Resources and Transportation to below a level of significance. The following are areas within the MND that may have potential impacts to public health, safety and welfare:

Sustainability and Greenhouse Gas Emissions:

The project will implement the Voluntary Tier 1 and Tier 2 Measures of Title 24, Part 11 California Green Building Standards Code (CGBSC) in effect at the time

the building permit application is deemed complete per SDMC 143.0915(c). Sustainability features to be provided by the project include, but are not limited to:

- Bicycle Facilities: Storage and changing facilities for bike riders, as well as providing connectivity to an established bicycle network.
- Green Vehicles: A percentage of preferred parking stalls shall be dedicated for electric vehicles (EV), low emission, and Carpool vehicles.
- Light Pollution: Exterior light fixtures that limit light pollution and are directed downward and contained within the site per Building Code requirements.
- Indoor Water use: Low flow plumbing fixtures that exceed the baseline Building Code requirements.
- Outdoor Water Use: A plant palette which includes native, non-invasive and drought tolerant landscaping that requires less watering than more conventional landscaping.
- Material and Resource Credits: Construction using building materials that have a low life cycle impact, are composed of recycled materials, and that are sourced, and manufactured in a way that prioritizes sustainability.
- Low-Emitting Materials: Building materials that emit low amounts of Volatile Organic Compounds (VOCs).
- Daylight and Views: Building designs that provide access to natural daylight as well as views to the exterior environment.

The aforementioned features will be in conformance with the requirements of the CGSBC and will assist in meeting the goals and policies of the City of San Diego's Climate Action Plan (CAP) for the reduction of greenhouse gas (GHG) emissions. Additionally, the project would implement vehicle miles traveled (VMT) reduction measures to mitigate transportation impacts related to the development of the project.

Airport Safety:

The project is located within the Airport Influence Area (AIA) and APZ II of the Airport Land Use Compatibility Plan (ALUCP) for MCAS Miramar. The MCAS Miramar ALUCP limits the development intensity of the site to 50 people per acre. As discussed above in finding A.1.a.3) (incorporated herein by reference), the proposed project conforms with the development intensity requirements for APZ II through alternative compliance as specified in SDMC Section 132.1515(d). Additionally, the proposed development is located outside 60dB Community Noise Equivalent Level (CNEL) noise contour of the MCAS Miramar Air Installations Compatible Use Zone (AICUZ) noise criteria overlay zone. Therefore, the project would not conflict with an ALUCP or result in a safety hazard for people residing or working at the project site.

Fire Protection:

The project will provide fire access roads, aerial truck fire access, and three fire hydrants where required in order to ensure continued fire protection and fire access service to the overall project site. The project would be required to comply with all applicable City codes and policies related to emergency access including the California Fire Code, the San Diego Municipal Code Chapter 5, Article 5, Division 87: Appendix D – Fire Apparatus Access Roads, and City Fire Policies A-14-1 Fire Access Roadways, A-14-9 Access Roadways: Modified Roadway Surface, and A-14-10 Fire Apparatus Access Road for Existing Public Streets. The project did not include any requirements that would result in inadequate emergency access. According to the California Department of Forestry and Fire Protection's (CAL FIRE's) map of Very High Fire Hazard Severity Zones (VHFHSZ) prepared for the City of San Diego, the project site and the majority of the surrounding area is located within a Local Responsibility Area VHFHSZ (CALFIRE 2009). However, implementation of the project would not increase wildland fire risk at the site over existing conditions.

Portions of the proposed project where habitable premises are located within 100 feet of a structure and contain native or naturalized vegetation are subject to brush management. No brush management is required in locations where habitable premises are located more than 100 feet from native or naturalized vegetation as discussed in the City Brush Management Regulations (SDMC 142.0412). The standard width for brush management zones are 35 feet for Zone 1, and 65 feet for Zone 2; however, discussions with City Staff have determined that Zone 2 is not required as the property is currently in a Zone 1 condition. At the narrowest, the northern portion of the project will implement a 44-foot-wide Zone 1, with a minimum 10-foot space from the proposed structures and the adjacent Torrey pine canopies. Alternative compliance measures, such as tempered windows, additional sprinklers, fire walls, and increased fire resistance rating of walls, will be implemented in locations where adequate brush management zones are not achievable as permitted in the City Brush Management Regulations. The parking structure in the northern half of the project is not subject to brush management, as the structure is not habitable; however, the habitable structure at the north end of the structure will comply with brush management regulations as outlined in the Brush Management Plan made a part of the Exhibit "A."

The project would install standard fire safety features and construct buildings in compliance with the fire regulations in the City Brush Management Regulations, California Fire Code and California Building Code (CBC). Therefore, the project would not expose people or structures to a significant risk of loss, injury, or death involving wildland fires.

Hazardous Materials:

The project, as a research and development facility, will include laboratory uses that could involve the use of acutely hazardous materials. However, chemicals would be located in separate containers and incompatible chemicals would be

separated as specified by the International Fire Code. Operations using materials that could involve the emission of vapors would be performed under fume hoods that would function to capture emissions at the source, dilute the emissions in the hood, and then expel the emissions where they can disperse in the atmosphere. Waste streams, if determined to be hazardous, would be organized to be disposed of as a hazardous material at a State-permitted treatment or disposal facility. The delivery and disposal of chemicals to and from the project site would occur in full accordance with all applicable federal, state, and local regulations. Therefore, the project would not create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials. Impacts would be less than significant.

Construction activities associated with the project would require transportation and use of limited quantities of fuel, oil, sealants, and other hazardous materials related to construction. The use of hazardous materials and substances during construction would be subject to federal, state, and local health and safety requirements for handling, storage, and disposal. As a result, hazardous material impacts related to construction activities would be less than significant.

The proposed project was reviewed by City Staff and determined to be in compliance with the SDMC. The project must satisfy conditions of approval of Tentative Map No. 2570686 with a MHPA BLC, NDP No. 2570684, and CDP No. 2570682, to achieve compliance with the regulations of the SDMC. Project Conditions include various conditions and referenced exhibits of approval relevant to achieving compliance with applicable regulations of the SDMC in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. Prior to issuance of any building permit, grading permit, and public improvement permit, for the proposed project, the plans shall be reviewed by City staff to ensure compliance with all building, electrical, mechanical, plumbing and fire code requirements, and the Owner/Permittee shall be required to obtain grading and public improvement permits. Compliance with these regulations during and after construction would be enforced through building inspections completed by the City's building inspectors. Therefore, the design of the project or the type of improvement would not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed project is described in NDP Findings A.1.a, and A.1.b above, incorporated by reference herein. The project would comply with the development regulations of the Land Development Code (LDC) with the exception of the requested deviations to the driveway width requirements of the SDMC and the UCP CPOIZ-B regulations for the required setback from North Torrey Pines Road, these deviations are processed through the approval of a NDP in accordance with SDMC Section 143.0920, and further described below:

- 1. A deviation from the UCP CPIOZ-B regulations for the required setback from North Torrey Pines Road. Where a 50-foot setback is required by the UCP CPIOZ regulations from North Torrey Pines Road, a variable setback ranging from 25-feet to 50-feet is proposed.
- 2. A deviation from San Diego Municipal Code (SDMC) Section 142.0560 (J)(1), Table 142-05M for the maximum driveway width permitted. Where a 25-foot-wide driveway is the maximum permitted, a 30-foot-wide driveway is proposed at three locations.

With approval of the requested deviations, the project will conform to the goals, themes and intent of the UCP by enhancing the landscaping along North Torrey Pines Road, particularly in areas where the setback would be reduced. Landscape enhancements would include planting 30 additional public street trees consisting of Brisbane Box and Torrey Pine trees, streetscape plantings and the establishment of a perimeter transition planting zone which would include a plant palette that would be consistent with the landscape requirements of the UCP. In addition, landscape enhancements would be extended beyond the current setback distance in nonbuilding areas to create more screening opportunities within the proposed development areas and shall provide a park-like sense of place. The enhanced landscaping would ensure that the landscape theme and aesthetic along North Torrey Pines Road would remain. The driveway width deviation would allow for improved vehicular circulation including emergency vehicle access than would be available if designed in strict conformance with the applicable regulations. The deviations are being requested to create an accessible and cohesive campus and enhance the proposed R&D use of the property.

Each of the requested deviations have been reviewed as they relate to the proposed project and the impact to the surrounding community. The requested deviations are appropriate and will result in a project that efficiently utilizes the subject property and provides a use consistent with the Scientific/Research designation of the UCP. Therefore, with the requested deviations, the proposed development would comply with the applicable zoning and development regulations of the LDC, including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, pursuant to the LDC.

2. <u>Supplemental Findings SDMC Section 126.0504(b) – Environmentally Sensitive Lands</u>

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project is described in NDP Finding A.1.a, A.1.b and A.1.c above, incorporated by reference herein. A description of project related impacts to environmentally sensitive lands (ESL) and impact mitigation measures are provided in NDP Finding

A.1.a.5) above, incorporated by reference herein. Impacts to ESL are in the form of biological resources and brush management. Description of brush management measures are further described in NDP Finding A.1.b (Fire Protection) above, incorporated by reference herein. Additionally, development footprints have been located to minimize erosion, flood, and the buildings have been designed to meet the Coastal Height Limit regulations.

A Tiered Mitigated Negative Declaration (MND) No. 691942/State Clearinghouse (SCH) No. 2019060003 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared as part of the final environmental document, which will reduce the potential impacts to below a level of significance. The project as designed, and with the implementation of the MMRP, would comply with the City's MSCP Subarea Plan (City 1997), City's Biology Guidelines (City 2018), and ESL Regulations. Additionally, a portion of the project site lies within the City's MHPA, and therefore, is subject to MHPA Land Use Adjacency Guidelines to minimize indirect impacts to sensitive resources contained in the MHPA as described in NDP Finding A.1.a.5) above, incorporated by reference herein. Therefore, the proposed development would not adversely affect ESL.

 The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The project is described in NDP Finding A.1.a, A.1.b and A.1.c above, incorporated by reference herein. The project proposes development generally within footprint of the previously developed areas of the site. The proposed site and building designs take advantage of the existing site contours and landforms. The project does not propose significant grading alterations to the existing steep slopes and terrain. The Geotechnical Investigation Report prepared by Geocon Inc, dated August 24, 2021, identified that their exploration of soil and geologic conditions did not encounter conditions that would preclude the proposed development, provided the recommendations presented in the report are followed and implemented during design and construction.

Development footprints have been located to minimize erosion, flood, and fire hazards. The project would be required to utilize proper engineering design and utilization of standard construction practices, to be verified at the grading permit stage. The project would include brush management zones which reduce fire hazards around structures by providing an effective fire break between all structures and contiguous areas of native or naturalized vegetation. Brush management Zone One is the area adjacent to the structure and shall be the least flammable. It shall consist of pavement and permanently irrigated ornamental planting and tree canopies no closer than 10-feet from the habitable structures. The project would implement the City of San Diego's Brush Management Regulations found in Section 142.0412 of the Land Development Code, which establishes a means of providing fire safety in the landscape for public or privately-owned premises that are within 100 feet of a structure and contain native or naturalized vegetation. Additionally, a

portion of the project site lies within the City's MHPA, and therefore, is subject to MHPA Land Use Adjacency Guidelines to minimize indirect impacts to sensitive resources contained in the MHPA. Overall, the project is consistent with the City's MSCP guidelines and will include mitigation measures to address any significant impacts.

The proposed project includes the repair and expansion of an existing water quality basin along the eastern portion of the project. The water quality basin will capture water quality runoff from the site. In addition, the project would replace a portion of the existing, above ground concrete v-ditch outfall with a buried pipe, which would outfall into the remaining concrete v-ditch. Development of the project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities. A Stormwater Quality Management Plan (SWQMP) that includes storm water construction best management practices (BMPs), ongoing permanent BMP maintenance, and on-site biofiltration and hydromodification features, has been developed to maintain natural drainage features and minimize potential impacts to storm drain facilities. Any short-term erosion and sedimentation impacts associated with project development would be addressed through conformance with applicable elements of the City's storm water program and related National Pollutant Discharge Elimination System (NPDES) standards. Additionally, the project would implement an approved SWPPP and related plans, and BMPs, including appropriate measures, to address erosion and sedimentation.

Each building will include fire protection measures and will be designed in conformance to the requirements of the LDC and the requirements of the CBC and Fire Code. The project is not located within any flood hazard areas (100-year Flood Plain), therefore, will not be subject to flooding. The project site is not underlain by any known active, potentially active, or inactive fault traces. The Geotechnical Investigation Report did not identify any evidence of previous or incipient slope instability at the site, although mapped landslide areas are at least 300 feet easterly and north easterly of the project site. The proposed project would be designed in accordance with the CBC adopted by the City of San Diego, which would minimize potential risks associated with landslides and seismic activity. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The proposed project as described in NDP Finding A.1.a, A.1.b and A.1.c above, incorporated by reference herein, has been specifically designed to occur within the

existing developed and disturbed areas associated with previous development and would avoid significant impacts to sensitive biological resources to the greatest extent possible. However, small portions of the proposed project footprint, totaling 0.3 acre, would impact sensitive upland habitats where special status plant species have been detected and where special status animal species have potential to occur, further described in finding A.1.a.5) and supplemental finding A.2.a above, incorporated by reference herein. Tiered MND No. 691942/SCH No. 2019060003 has been prepared for the project in accordance with CEQA Guidelines and a MMRP has been prepared, which includes mitigation measures which would reduce the potential impacts to below a level of significance. Therefore, the proposed development would not adversely affect environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The project site is located outside of the VPHCP Preserve. Furthermore, the project site does not contain any vernal pools nor do any VPHCP covered species occur within the project site, therefore, the VPHCP Avoidance and Minimization Measures are not applicable to the project.

The project site is located within the City's MSCP Subarea Plan. Sections of the eastern portion of the project site abut or encompass portions of the MHPA. The MSCP establishes specific guidelines that limit activities that occur within the MHPA. In general, activities occurring within the MHPA must conform to these guidelines and, wherever feasible, should be located in the least sensitive areas. The project was designed to avoid and limit impacts to environmentally sensitive lands, including the MHPA, and sensitive biological resources; however, a small portion of the proposed project footprint near the eastern project boundary will encroach into the MHPA. Impacts within the MHPA are required to expand the capacity of the existing water quality basin and prevent the discharge of toxins, chemicals, and other pollutants into the MHPA; therefore, impacts within the MHPA cannot be avoided. An MHPA boundary line correction (BLC), will be required to ensure that the project is consistent with the MSCP. The MHPA BLC will rectify and correct minor mapping inaccuracies related to pre-MHPA grading and clearing of on-site areas in 1980 during the initial property development, approximately 17 years prior to the adoption, mapping and implementation of the MSCP and MHPA.

The project site is subject to Land Use Adjacency Guidelines (LUAGs) designed to minimize indirect impacts from drainage, toxins, lighting, noise, barriers, invasive species, brush management, and grading to sensitive resources contained in the MHPA and thus maintain the value of the preserve. Projects within or adjacent to the MHPA must demonstrate compliance with the LUAGs. Project impacts to sensitive vegetation communities will be mitigated in accordance with the ratios provided in the City's Biology Guidelines (City 2018). Therefore, the proposed project will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

e. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

Tiered MND No 691942/SCH No. 2019060003 has been prepared for the project in accordance with CEQA Guidelines. The project has been specifically designed to minimize impacts to biological resources. However, the project would impact sensitive upland habitats (0.3 acre of southern maritime chapparal) where special status plant species have been detected and special status animal species have a potential to occur. Implementation of mitigation measures listed in the MMRP prepared for the project would ensure that impacts to sensitive species are alleviated. The project is also subject to the City's MHPA LUAGs designed to minimize edge effects to sensitive resources contained in the MHPA. Compliance with the MHPA LUAGs is a condition of project approval. Therefore, the MMRP and conditions of approval will alleviate negative impacts to sensitive biological resources further further in NDP Findings A.1.a.5) and A.2.a above, incorporated by reference herein.

Additionally, the proposed project would have a significant Vehicle Miles Traveled (VMT) impact based on exceeding the significance threshold for a commercial employment project of 15-percent below the regional mean VMT per Employee. The project would mitigate its significant VMT impact to the extent feasible by opting in to the City's Complete Communities Mobility Choices program and relying upon the Findings and SOCs from the Complete Communities: Housing Solutions and Mobility Choices Final PEIR. The mitigation proposed will alleviate any impacts created by the proposed development consistent with these prior Findings and SOCs. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

- 3. <u>Supplemental Findings SDMC Section 126.0404(f) Affordable Housing, In-Fill</u>
 Projects, or Sustainable Buildings Deviation
 - a. The development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings opportunities.

The project is proposed as a non-residential sustainable building project for the development of a R&D campus, in coformance with regulations of SDMC Section 143.0915. The project will implement the Voluntary Tier 1 and Tier 2 Measures of Title 24, Part 11 CGBSC in effect at the time the building permit application is deemed complete per SDMC 143.0915(c). Sustainability features to be provided are described in finding A.1.b above, incorporated by reference herein. Therefore, with the aforementioned sustainability features, this project accomplishes the goal of providing sustainable building opportunities in San Diego.

b. Any proposed deviations are appropriate for the proposed location.

The proposed project is described in NDP Findings A.1.a, and A.1.b above, incorporated herein by reference. The project would comply with the development regulations of the Land Development Code (LDC) with the exception of the requested deviations described in NDP Finding A.1.c above, incorporated herein by reference.

With approval of the requested deviations, the project will conform to the goals, themes and intent of the UCP by enhancing the landscaping along North Torrey Pines Road, particularly in areas where the setback would be reduced. Landscape enhancements would include planting 30 additional public street trees consisting of Brisbane Box and Torrey Pine trees, streetscape plantings and the establishment of a perimeter transition planting zone which would include a plant palette that would be consistent with the landscape requirements of the UCP. In addition, landscape enhancements would be extended beyond the current setback distance in nonbuilding areas to create more screening opportunities within the proposed development areas and shall provide a park-like sense of place. The enhanced landscaping would ensure that the landscape theme and aesthetic along North Torrey Pines Road would remain. The driveway width deviation would allow for improved vehicular circulation including emergency vehicle access than would be available if designed in strict conformance with the applicable regulations. The deviations are being requested to create an accessible and cohesive campus and enhance the R&D use of the property.

Each of the requested deviations have been reviewed as they relate to the proposed project and the impact to the surrounding community. The requested deviations are appropriate and will result in a project that efficiently utilizes the subject property and provides a use consistent with the Scientific/Research designation of the UCP. With the requested deviations, the proposed development would comply with the applicable zoning and development regulations of the LDC, including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the LDC. Therefore, the requested deviations are appropriate for the proposed project and its location.

B. COASTAL DEVELOPMENT PERMIT - SDMC Section 126.0708

1. Findings for all Coastal Development Permits:

a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan. As set out in findings A.1.a, incorporated herein by reference, the project site is located approximately 0.7-miles from the Pacific Ocean, on the east side of North Torrey Pines Road. The proposed development would not encroach upon any existing or proposed physical accessway as identified in the UCP or the Local Coastal Program (LCP) Land Use Plan.

The site ranges from approximately 440 feet above mean sea level (AMSL) at the highest elevation of the property to 330 feet AMSL at the lowest elevation of the property and is located above the 100-year floodplain. The topography of the site creates various building heights. However, the proposed structures and any projections will not exceed to the maximum 30-feet above grade height limit allowed by the Coastal Height Limit Overlay Zone (CHLOZ). The project's location relative to coastal resources and the building heights proposed would not obscure public views to and along the ocean, and other scenic coastal areas as specified in the UCP and LCP land use plan.

In addition, the project proposes site, building and landscape designs that will enhance public views of the project site by contributing to the public realm and street livability as outlined in the Overall Urban Design Goals of the UCP. The proposed site grading, building designs and site access will follow and take advantage of the contours of the site to respect the local topography as much as possible. The proposed landscape design will incorporate vegetation consistent with the surrounding Torrey Pines Area context, including Torrey Pines, Coast Live Oaks, Toyon, Catalina Cherry, as well as other low water use regionally adapted species, non-invasive species, that will thrive in the Coastal Environment of the Torrey Pines Area and are common to local Coastal Sage Scrub and Chapparal communities.

Therefore, the proposed development would not encroach upon any existing or proposed physical access ways that are legally used by the public identified by the University Community Plan and Local Coastal Program Land Use Plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the University Community Plan and Local Coastal Program Land Use Plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

Impacts to ESL are described in NDP findings A.1.a., A.2.a., .c. and .d. above, incorporated herein by reference. The proposed project has been specifically designed to occur within existing developed and disturbed areas associated with previous development and avoid impacts to sensitive biological resources to the greatest extent possible. However, small portions of the proposed project footprint, totaling 0.3 acre, would impact sensitive upland habitats where special status plant species have been detected and where special status animal species have a potential to occur. With implementation of the MMRP and MHPA LUAGs, potential impacts to ESL will be reduced to below a level of significance. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed development is located 0.7-miles east of the Pacific Ocean shoreline. The on-site development is unlikely to contribute to erosion of public beaches or adversely impact shoreline and sand supply. Moreover, biofiltration basins and an underground detention basin vault shall be provided on-site to reduce surface water runoff and reduce water runoff velocities which would meet the recommendation of the North City Local Coastal Program (LCP) to avoid impacts that would degrade the adjacent hillsides and the downstream Los Peñasquitos Lagoon, as well as the bluffs, hillsides and canyon areas associated with the Torrey Pines State Reserve and the Torrey Pines City Park and Golf Course.

Additionally, the North City LCP identifies that development should provide a drainage system which would limit the rate of runoff and resulting erosion to that which occurs naturally accomplished by such means as on-site catchment basins, desilting basins, subsurface storm drains and energy dissipating measures at the terminus of the subsurface storm drains. As such, development of the project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities. A Stormwater Quality Management Plan (SWQMP) that includes storm water construction best management practices (BMPs), ongoing permanent BMP maintenance, on-site biofiltration and hydromodification features, has been developed to maintain natural drainage features and minimize potential impacts to storm drain facilities. Any short-term erosion and sedimentation impacts associated with project development would be addressed through conformance with applicable elements of the City's storm water program and related National Pollutant Discharge Elimination System (NPDES) standards. Additionally, the project would implement an approved SWPPP and related plans, and BMPs, including appropriate measures, to address erosion and sedimentation.

The proposed development is requesting two deviations from the San Diego Municipal Code (SDMC) and the UCP CPOIZ-B regulations which will be processed through an NDP in accordance with SDMC Section 143.0920. These deviations will not adversely affect coastal policies, resources or the Implementation Program. The requested deviations are described in finding A.1.c above, incorporated by reference herein.

The proposed project complies with all relevant policies of the UCP, the Local Coastal Program as provided for in the UCP, and complies with regulations of the certified Implementation Program and Land Development Code, including intensity, floor area, parking, grading, landscaping and other regulations. The project has also been

designed to address height, bulk and scale, materials, colors, sustainable features and signs as required through application of CPIOZ-B regulations and comply with applicable overly zones, including the maximum height limit prescribed in the CHLOZ. Conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and incorporated into Neighborhood Development Permit No. 2570684, Coastal Development Permit No. 2570682, and Tentative Map No. 2570686.

There are no existing or proposed public accessway on the project site and there are no public views across the site as identified in the UCP and Local Coastal Program. Therefore, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program with exception to the requested deviations.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

As set out in findings A.1.a and B.1.c., incorporated herein by reference, the project site is located approximately 0.7-mile east of the Pacific Ocean. The project site is located within the First Public Roadway Overlay Zone which extends east of the Pacific Ocean towards Sorrento Valley Road, just west of I-5. North Torrey Pines Road is the nearest public road from the Pacific Ocean shoreline within the Coastal Zone. The Site is within the First Public Road and the sea but not on the shoreline of any body of water. Therefore, the project will not affect public access nor the public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that based on these findings adopted by the Hearing Officer, Neighborhood Development Permit No. 2570684 and Coastal Development Permit No. 2570682, is GRANTED by the Hearing Officer to ARE-SD Region No. 68 Holding, LLC, Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2570684 and 2570682, a copy of which are attached hereto and made a part hereof.

BE IT FURTHER RESOLVED, that the Multi-Habitat Planning Area boundary line correction as shown on Tentative Map No. 2570686 is approved.

ATTACHMENT 7

Martin R. Mendez

Development Project Manager Development Services Department

Adopted on: February 8, 2023

Internal Order No. 24008570



RECORDING REQUESTED BY

CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24008957

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2570684
COASTAL DEVELOPMENT PERMIT NO. 2570682
MULTIPLE HABITAT PLANNING AREA BOUNDARY LINE ADJUSTMENT
ONE ALEXANDRIA NORTH PROJECT NO. 691942 [MMRP]
HEARING OFFICER

Neighborhood Development Permit No. 2570684 and Coastal Development Permit No. 2570682 are granted by the Hearing Officer of the City of San Diego to ARE-SD Region No.68 Holding, LLC, a Delaware Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections, 126.0702 and 126.0402. The 11.4-acre site is located at 11255 and 11355 North Torrey Pines Road in the IP-1-1 zone within the Torrey Pines Subarea of the University Community Plan area. The site is designated Industrial-Scientific Research within the University Community Plan, and within the following overlay zones: Airport Land Use Compatibility Overlay Zone for Marine Corps Air Station (MCAS) Miramar, Airport Influence Area (MCAS Miramar-Review Area 1), Airport Safety Zone MCAS Miramar (Accident Potential Zone II), the Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Appealable and Non-Appealable Area 1), Community Plan Implementation Overlay Zone Type B (CPIOZ-B), Very High Fire Hazard Severity Zone, Parking Impact Overlay Zone (Beach and Campus Impact), First Public Roadway, and Prime Industrial Lands Overlay Zone as identified in the General Plan's Economic Prosperity Element. The project site is legally described as: Lots 15 and 16 according to Map No. 9230 – Torrey Pines Science Park Unit 3, in the City of San Diego, filed as File No. 79-216842 in the office of the County Recorder of San Diego County, in the State of California, on May 25, 1979.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a Research and Development (R&D) campus including four buildings, supporting amenity uses, a central utility plant building, and a parking structure as further described below and identified on the approved exhibits (Exhibit "A") dated February 8, 2023, on file in the Development Services Department.

The project shall include:

a. The demolition of two institutional/office buildings totaling approximately 157,500-square-feet (SF) of gross floor area (GFA), a standalone amenity building, underground parking,

tennis courts, a swimming pool and hot tub, a private helicopter pad and associated site improvements.

- b. Construction of the following:
 - i. Two R&D buildings totaling approximately 326,804 SF (242,509 SF GFA), each with basement spaces and below-grade parking, consisting of a 171,185 SF (127,008 SF GFA) three-story building (B1) and a 155,619 SF (115,501 SF GFA) three-story building (B2);
 - ii. Two amenity buildings totaling approximately 13,990 SF, consisting of a 5,014 SF one-story building (B3) and an 8,976 SF (10,632 SF GFA) two-story building with 1,330 SF of outdoor terrace space (B4);
 - iii. A 10,755 SF central utility plant building with a basement; and
 - iv. A 187,355 SF three-level parking garage over a subterranean parking level.
- c. Deviations from San Diego Municipal Code (SDMC) and the University Community Plan (UCP):
 - i. UCP CPIOZ-B Setback: A deviation from the CPIOZ-B regulations for a required setback from North Torrey Pines Road, where a 50-foot setback is required, a variable setback ranging from 25-feet to 50-feet is proposed.
 - ii. Driveway Width: A deviation from SDMC Section 142.0560(J)1, Table 142-05M for the maximum driveway width permitted, where a 25-foot wide driveway is the maximum permitted, a 30-foot wide driveway is proposed at three locations.
- d. An associated subdivision for the creation of three lots where two lots currently exist.
- e. Landscaping (planting, irrigation and landscape related improvements);
- f. Off-street parking;
- g. Sustainable building design measures incorporating the Mandatory and Voluntary Tier I and Tier II Measures of Title 24, Part 11 California Green Building Standards Code (CGBSC) in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program (SDMC Section 143.0915(c)); and
- h. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 23, 2026.
- 2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
- 7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
- 8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
- 9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, 10. and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AIRPORT REQUIREMENTS

11. The project site is located within Accident Potential Zone (APZ) II of the MCAS Miramar Airport Land Use Compatibility Plan (ALUCP) and is limited to an occupancy of 50 people per acre, which equates to 570 people, and the number of parking spaces shall be limited to 570 spaces pursuant to SDMC Section 132.1515(d). Any future development that would exceed the maximum intensity specified herein shall require an amendment to this permit in accordance with SDMC Section 126.0114.

ENVIRONMENTAL/MITIGATION REQUIREMENTS

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] as outlined in TIERED MITIGATED NEGATIVE DECLARATION NO. 691942/SCH NO. 2019060003 shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

- 13. Prior to the issuance of any construction permits, including but not limited to, the first grading permit, demolition plans/permits and building plans/permits, the mitigation measures specified in the MMRP and outlined in TIERED MITIGATED NEGATIVE DECLARATION NO. 691942/SCH NO. 2019060003 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
- 14. The Owner/Permittee shall comply with the MMRP as specified in TIERED MITIGATED NEGATIVE DECLARATION NO. 691942/SCH NO. 2019060003, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:
 - Biological Resources
 - Transportation/Circulation
- 15. Prior to the issuance of any construction permits, including but not limited to, the first grading permit, demolition plans/permits and building plans/permits, mitigation for direct impacts to 0.3-acre of Tier I southern maritime chaparral (including disturbed) shall be occur at a minimum 2:1 ratio, resulting in a total mitigation requirement of 0.6-acre. Mitigation ratios are in accordance with the City's Biology Guidelines (City 2018) and assume all mitigation will occur outside of the MHPA.
- 16. Prior to the issuance of any construction permits, including but not limited to, the first grading permit, demolition plans/permits and building plans/permits, the Owner/Permittee shall execute and record a Covenant of Easement, recorded against the title of the property which ensures the preservation of the Callan Road mitigation site in perpetuity. The project proponent shall act as the resource manager to ensure the property is managed and monitored in a manner consistent with Section 1.5 of the Preserve Management of the City's MSCP Subarea Plan and area-specific management directives.
- 17. Prior to the issuance of any construction permits, including but not limited to, the first grading permit, demolition plans/permits and building plans/permits, mitigation for impacts to the 0.3-acre southern maritime chaparral habitat shall occur at a 2:1 ratio through the off-site preservation of 1.6-acres of existing southern maritime chaparral habitat at the Callan Road mitigation site (APN 340-010-45). Of the 1.6-acres of southern maritime chaparral, only 1.2-acres remains available for use. The remaining excess mitigation of 0.6-acre of southern maritime chaparral and 0.4-acre of Diegan coastal sage scrub shall be preserved in excess of the project's mitigation obligation and would remain unassigned and available for future mitigation opportunities, subject to City review and approval on a project-by-project basis.
- 18. Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, replacement of wart-stemmed ceanothus at a 2:1 ratio shall occur within undeveloped portions of the property. In addition, 23 wart-stemmed ceanothus shall be preserved within the 3.2-acre off-site Callan Road mitigation site.
- 19. Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the project requirements specified in BIO-3 of the MMRP shall be shown on the construction plans and specifications in accordance with

the City's Biology Guidelines (City 2018) and MSCP Subarea Plan (City 1997), and to prevent inadvertent impacts to sensitive biological resources adjacent to the project footprint.

CLIMATE ACTION PLAN REQUIREMENTS

20. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS

- 21. This Permit shall comply with all conditions for the Parcel Map per Tentative Map No. 2570686.
- 22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct three (3) 30-foot driveways per current City Standards, adjacent to the site on North Torrey Pines Road, satisfactory to the City Engineer.
- 23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct non-contiguous sidewalk with current City Standard sidewalk, adjacent to the site on North Torrey Pines Road, as shown on Exhibit "A," satisfactory to the City Engineer.
- 24. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct two (2) current City Standard curb ramps at the signalized intersection at North Torrey Pines Road, per Exhibit "A," satisfactory to the City Engineer.
- 25. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of one (1) City standard Bus Pad, adjacent to the site on North Torrey Pines Road as shown on Exhibit "A", satisfactory to the City Engineer.
- 26. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for all landscape, street trees, and irrigation located in the City's right-of-way, satisfactory to the City Engineer.
- 27. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
- 28. Prior to the issuance of any building permits, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
- 29. Prior to the issuance of any building permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

GEOLOGY REQUIREMENTS

- 30. Prior to the issuance of any construction permits (either grading or building permit), the Owners/Permittees shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
- 31. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The asgraded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

LANDSCAPE REQUIREMENTS

- 32. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
- 33. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
- 34. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.
- 35. In the event that a "foundation only" permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

- 36. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
- 37. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS

- 38. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department (subject to review and approval by the Deputy Fire Marshal):
 - The Brush Management Program shall consist of a modified Zone One, with no Zone Two, as follows:
 - Buildings B1 and B2 shall have an expanded Zone One measuring between 80-feet to 100-feet, providing the full equivalency of Brush Management with no Zone Two required as per SDMC Section 142.0412(f).
 - Building B4 shall implement, provide an expanded Zone One measuring 53-feet-6-inches to 100-feet with alternative compliance per SDMC Section 142.0412(i).

MULTIPLE HABITAT PLANNING AREA [MHPA] LAND USE ADJACENCY REQUIREMENTS

- 39. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall depict the following requirements on the construction documents and plans for the Project Site:
 - Grading/Land Development/MHPA Boundaries -Within or adjacent to the MHPA, all
 manufactured slopes associated with site development shall be included within the
 development footprint.
 - Drainage All staging and developed/paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved temporary and permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.
 - Toxics/Project Staging Areas/Equipment Storage Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other

substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Provide a note in/on the CD's that states: "All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."

- **Lighting** -All lighting within or adjacent to the MHPA is directed away/shielded from the MHPA or limited to the immediate area and is in compliance with City Outdoor Lighting Regulations per LDC Section 142.0740.
- Barriers Existing fences/walls; and/or signage along the MHPA boundaries shall remain
 and or be added to direct public access to appropriate locations, reduce domestic animal
 predation, protect wildlife in the preserve, and provide adequate noise reduction where
 needed.
- Invasives No invasive, non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- **Brush Management** -Brush management zones will not be greater in size that is currently required by the City's regulations (this includes use of approved alternative compliance). Within Zone 2 the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with City standards and shall avoid/minimize impacts to covered species to the maximum extent possible. For all new development, regardless of the ownership, the brush management in the Zone 2 area will be the responsibility of a home-owner's association or other private party.

PLANNING/DESIGN REQUIREMENTS:

- 40. The project shall comply with sustainable development design measures incorporating the Mandatory and Voluntary Tier 1 and Tier 2 Measures of Title 24, Part 11 California Green Building Standards Code (CGBSC) in effect at the time the ministerial permit application for the construction of buildings is deemed complete. Construction documents shall note all criteria included in the design and construction of the project as identified in the CALGreen Verification Guidelines Mandatory Measures Checklist in effect at the time the ministerial permit application for the construction of buildings is deemed complete in accordance with the applicable regulations in the SDMC.
- 41. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

- 42. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
- 43. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
- 44. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

- 45. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond the design and construction of all public water and sewer facilities as required in the accepted water and sewer studies for this project in a manner satisfactory to the Public Utilities Department and the City Engineer. Water and sewer facilities, as shown on the approved Exhibit "A", may require modification based on final engineering.
- 46. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.
- 47. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-ofway.
- 48. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
- 49. The Owner/Permittee shall grant water easement for the proposed above ground water meters as shown on the approved Exhibit "A", in a manner satisfactory to the Public Utilities Department and the City Engineer.
- 50. The Owner/Permittee shall grant sewer and water access easements as shown on the approved Exhibit "A", satisfactory to the Public Utilities Department and the City Engineer.
- 51. Prior to issuance of the first building permit, the Owner/Permittee shall process a postentitlement, partial easement summary vacation for the portion of the unutilized existing on-site public water and sewer easement area, as shown on the approved Exhibit "A," in a manner

satisfactory to the Public Utilities Department and the City Engineer. No development or improvement is proposed within the unutilized existing easement area.

- 52. No approved improvements or landscaping, including private water facilities, grading and enhanced paving, shall be installed in or over any easement prior to the applicant obtaining an Encroachment Maintenance and Removal Agreement.
- 53. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

TRANSPORTATION REQUIREMENTS

- 54. Prior to first occupancy, the Owner/Permittee shall provide and maintain the following Vehicle Miles Traveled (VMT) Reduction measures, satisfactory to the City Engineer:
 - a. Short-term bicycle parking spaces at least 20-percent beyond the minimum requirements (36 bicycle parking spaces), as shown on the approved Exhibit "A";
 - b. Long-term bicycle parking spaces at least 20-percent beyond the minimum requirements (36 bicycle parking spaces), as shown on the approved Exhibit "A"; and
 - c. On-site showers and two-tier lockers at least 10-percent beyond the minimum requirements (8 showers and 40 lockers), as shown on the approved Exhibit "A"
- 55. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond, the installation of the following bus stop amenities for the transit bus stop located adjacent to the Project site along northbound North Torrey Pines Road approximately 65 feet north of the signalized intersection of North Torrey Pines Road and N.U. System Driveway, in coordination with NCTD/MTS and satisfactory to the City Engineer:
 - a. A bus shelter;
 - b. A bus bench; and
 - c. A trash receptable

WASTE MANAGEMENT PLAN REQUIREMENTS

56. The Owners/Permittees shall comply with the Waste Management Plan dated June 2022 prepared by Helix Environmental, and the Owners/Permittees' implementation shall be enforced and implemented to the satisfaction of the Environmental Services Department.

INFORMATION ONLY:

• The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this

ATTACHMENT 8

discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 8, 2023 [Approved Resolution Number].



ATTACHMENT 8

Neighborhood Development Permit No. 2570684 Coastal Development Permit No. 2570682 Date of Approval: February 8, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Martin R. Mendez
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ARE-SD Region No. 68, LLC, a Delaware Limited Liability Company

Owner/Permittee

By ______

Gary Dean Executive Vice President Real Estate Legal Affairs

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



HEARING OFFICER

RESOLUTION NUMBER R-_____

TENTATIVE MAP NO. 2570686

ONE ALEXANDRIA NORTH - PROJECT NO. 691942 [MMRP]

WHEREAS, ARE-SD Region No. 68 Holding, LLC, a Delaware Limited Liability Company, Subdividers, and RICK ENGINEERING COMPANY, Engineer, submitted an application to the City of San Diego for a Tentative Map (Tentative Map No. 2570686) for the One Alexandria North project (Project), consisting of the demolition of two existing two-story buildings with underground parking, two tennis courts, a swimming pool and hot tub, two amenity buildings, a private helipad, and associated site improvements; for the construction of a research and development (R&D) campus consisting of two lab and office space buildings, two amenity space buildings, a central utility plant building, a parking structure, associated site improvements and a Multi-Habitat Planning Area (MHPA) boundary line correction. The 11.4-acre site is located at 11255 and 11355 North Torrey Pines Road, in the IP-1-1 base zone, within the Torrey Pines Subarea of the University Community Plan (UCP) area, Prime Industrial Lands as identified in the General Plan's Economic Prosperity Element, and within the following overlay zones: Community Plan Implementation Overlay Zone Type B (CPIOZ-B), Coastal Overlay Zone (Non-Appealable Area 1), Coastal Height Limit Overlay Zone (CHLOZ), First Public Roadway Overlay Zone (Coastal), Very High Fire Hazard Severity Zones (VHFHSZ)/Fire Brush Zone 30-foot Buffer, Parking Impact Overlay Zone (PIOZ) for Coastal and Beach Impact, Environmentally Sensitive Lands (ESL), Multi-Habitat Planning Area (MHPA), Multiple Species Conservation Program (MSCP) Subarea; and the following overlay zones for Marine Corps Air Station (MCAS) Miramar: Airport Land Use Compatibility Overlay Zone (ALUCOZ) Airport Influence Area (AIA) Review Area 1, and the Accident Potential Zone II (APZ-II); and

WHEREAS, the property is legally described as: Lots 15 and 16 according to Map No. 9230 – Torrey Pines Science Park Unit 3, in the City of San Diego, filed as File No. 79-216842 in the office of the County Recorder of San Diego County, in the State of California, on May 25th, 1979; and

WHEREAS, the Map proposes the Subdivision of a 11.4-acre site from two (2) lots into three (3) lots for the development of a R&D Campus; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act, Government Code sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on February 8, 2023, the Hearing Officer of the City of San Diego considered Tentative Map No. 2570686, and pursuant to San Diego Municipal Code section(s) 125.0440, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 2570686:

A. Findings for a Tentative Map - San Diego Municipal Code (SDMC) Section 125.0440

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The project proposes the subdivision of an approximately 11.4-acre site from two lots into three lots located at 11255 and 11355 North Torrey Pines Road, on the east side of North Torrey Pines Road, west of Interstate 5 (I-5), south of the Torrey Pines State Natural Reserve, and north of Callan Road, in the IP-1-1 base zone and within the University Community Plan (UCP) area, Torrey Pines Subarea 1, which designates the site as Scientific/Research. The project proposes the redevelopment of an existing developed site previously identified as the National University

- La Jolla, California Academic Headquarters, for a R&D Campus, further described below. Most of the surrounding properties are also zoned IP-1-1 and developed with research and development uses. The proposed project is consistent with the Scientific/Research designation which allows for R&D uses with some limited manufacturing and the project as proposed supports the design requirements, goals, and policies of the UCP, including:
 - a) Create a physical, social, and economic environment complementary to UCSD and its environs and the entire San Diego metropolitan area (UCP Page 16).
 - The project will develop new buildings that complement the existing development pattern of the general area, includes new landscaping consistent with the surrounding Torrey Pines Area context, and includes enhanced pedestrian and vehicular connectivity in conformance with the goals of the UCP.
 - b) Promote job opportunities within the University community (UCP Page 17).
 - The subdivision would facilitates the construction of 256,500 square-feet (SF) of gross floor area (GFA) for R&D uses and supporting amenity uses consisting of retail and food and beverage uses, which will contribute to the goal of generating job opportunities within the University community at a variety of income levels to range from professional life sciences job opportunities to supporting service job opportunities.
 - c) Minimize the impact of aircraft noise and the consequences of potential aircraft accidents (UCP Page 19).
 - The subdivision is not located within the noise contours of any airport; however, it is located in the Airport Safety Zone Accident Potential Zone II (APZ II) of MCAS Miramar. The proposed project would conform with the development intensity requirements for APZ II through alternative compliance as specified in SDM Section 132.1515(d). The project would be conditioned to restrict the site to 570 people and parking spaces. Therefore, the project would be in conformance to the alternate method of calculation and would be consistent with the goal of minimizing the consequences of potential aircraft accidents.
 - d) Provide for the needs of pedestrians in all future design and development decisions (UCP Page 44).
 - The project enhances pedestrian connectivity in the area by providing and improving pedestrian paths with canopy, shade-producing, trees along the paths adjacent to North Torrey Pines Road. Additionally, the project will provide pedestrian connectivity within the site throughout the campus that connects to the pedestrian paths along the public right of way.
 - e) Ensure that San Diego's climate and the community's unique topography and vegetation influence the planning and design of new projects (UCP Page 44).

The project site is located within the City's MSCP Subarea Plan. Sections of the eastern portion of the project site abut or encompass portions of the MHPA. The MSCP establishes specific guidelines that limit activities that occur within the MHPA. In general, activities occurring within the MHPA must conform to these guidelines and, wherever feasible, should be located in the least sensitive areas. The project was designed to avoid and limit impacts to environmentally sensitive lands, including the MHPA, and sensitive biological resources; however, a small portion of the proposed project footprint near the eastern project boundary will encroach into the existing MHPA boundary.

The original MHPA boundary for this site was established as part of the regional MSCP mapping efforts, which became effective in March 1997. A MHPA boundary line correction (BLC) is proposed for two areas within the project site totaling 0.3-acre. These areas were entirely graded and cleared in 1980 during the initial property development, approximately 17 years prior to the adoption and implementation of the MSCP and MHPA. A review of aerial imagery from 1980 through 1993 indicates that these areas remained relatively devoid of vegetation until the installation of landscaping in 1990 and 1993. In addition, an existing concrete water quality basin and a v-ditch were installed in 1980 along the property boundary (currently within the mapped MHPA). The proposed Project would include renovations in these areas, including the replacement of the current concrete v-ditch outfall with an underground pipe for approximately 118 feet before daylighting into the portion of the concrete v-ditch to remain. The area that will be temporarily impacted during pipe installation will be revegetated following the completion of construction.

The MHPA BLC will rectify and correct minor mapping inaccuracies related to pre-MHPA grading and clearing of on-site areas in 1980 during the initial property development, approximately 17 years prior to the adoption, mapping and implementation of the MSCP and MHPA. Approximately 0.1-acre of sensitive species habitat (southern maritime chaparral) would be removed from the MHPA as a result of the BLC. Due to the small size, the proposed MHPA BLC is not anticipated to have a negative effect on habitat linkages, wildlife corridors, or the management efficiency of the preserve. The project would not expand the current footprint of the property, and the proposed BLC area is located immediately adjacent to an open and contiguous MHPA habitat more suitable for wildlife movement. Furthermore, the proposed BLC would not increase the likelihood of a significant impact to a non-covered species or result in an impact to a rare or sensitive species.

The project site would be subject to Land Use Adjacency Guidelines (LUAGs) designed to minimize indirect impact from drainage, toxins, lighting, noise, barriers, invasive species, brush management, and grading to sensitive resources contained in the MHPA and thus maintain the value of the preserve. Projects within or adjacent to the MHPA must demonstrate compliance with the LUAGs. Project impacts to sensitive vegetation communities will be mitigated in accordance with the ratios provided in the City's Biology Guidelines (City 2018).

Three special status plant species were observed within the project site during project surveys: wart-stemmed ceanothus, Nuttall's scrub oak, and Torrey pine. The proposed development has been designed to occur within the previously disturbed and developed portions of the site and would avoid impacts to sensitive biological resources; however, portions of the proposed project footprint would impact sensitive upland habitats where special status plant species have been documented. The proposed project would result in impacts to a small portion of Tier I southern maritime chaparral and a wart-stemmed ceanothus individual located on-site (outside the MHPA). Project impacts to one wartstemmed ceanothus would not jeopardize the continued viability of the species within the region, as wart-stemmed ceanothus would continue to persist both within the project site and within the surrounding preserved habitat. Mitigation for impacts to sensitive upland habitats and special status plan species would be accomplished through replacement on site (for wart-stemmed ceanothus) and at an off-site mitigation site owned by the property owner (3.2-acre Callan Road mitigation site). Impacts to Tier I southern maritime chaparral will be mitigated at a minimum 2:1 ratio. Impact to one wart stemmed ceanothus located outside the MHPA will also occur. Mitigation of wart stemmed ceanothus will occur at a 2:1 ratio.

The project has been designed to avoid direct impacts to naturally-occurring Torrey pine trees, and no removals of naturally-occurring Torrey pine trees are expected. Tree protection and general measures to avoid and minimize impacts to naturally-occurring Torrey pines would also be implemented as a condition of approval. Tree protection zones (TPZs) for each naturally-occurring Torrey pine tree on, and immediately adjacent to, the site would be established. A TPZ would help ensure that a tree is protected during construction, has enough space for root and branch growth, and would receive adequate supplies of soil nutrients, air, and water. The project will preserve approximately one-third of the existing mature trees onsite.

As a condition of permit approval, a covenant of easement will be recorded against the title of the property to preserve the Callan Road mitigation site in perpetuity. New landscaping will use vegetation consistent with the surrounding Torrey Pines Area context, including Torrey Pines, Coast Live Oaks, Toyon, Catalina Cherry as well as other low water use regionally adapted species, non-invasive species, that will thrive in the coastal environment of the Torrey Pines Area and are common to local Coastal Sage Scrub and Chapparal communities. There will be no encroachment into, or impacts on, any other sensitive vegetation located on the site. Furthermore, placement of the proposed buildings and the overall associated site improvements have been designed to respect the local topography to the greatest extent possible by incorporating building designs and site access that follow and take advantage of the contours of the site. This is accomplished by using the site's topography to dictate the placement of buildings and to add interest to the campus by tiering the building pads to follow the contours of the site thus respecting the natural topography while minimizing the alteration of the natural slopes.

- f) Protect and take maximum advantage of the Torrey Pines Subarea's topography and unique natural vegetation (UCP Page 99).
 - The project protects and takes maximum advantage of the Torrey Pines Subarea's topography and unique natural vegetation as set out in finding 1.e above, incorporated herein by reference.
- g) Preserve existing mature trees (UCP Page 100).

The project would not result in the loss of any distinctive or landmark trees or stand of mature trees. The project has been designed to avoid direct impacts to naturally-occurring Torrey pine trees, and no removals of naturally-occurring Torrey pine trees are expected. Tree protection and general measures to avoid and minimize impacts to naturally-occurring Torrey pines would also be implemented as a condition of approval. Tree protection zones (TPZs) for each naturally-occurring Torrey pine tree on, and immediately adjacent to, the site would be established. A TPZ would help ensure that a tree is protected during construction, has enough space for root and branch growth, and would receive adequate supplies of soil nutrients, air, and water. The project will preserve approximately one-third of the existing mature trees onsite. Additionally, the project will plant approximately 225 additional trees.

Currently, the site has two existing buildings and several accessory buildings with a total gross floor area (GFA) of 157,500 square feet (SF). The project proposes to demolish all existing buildings on site and site amenities for the construction of two research and development (R&D) buildings totaling approximately 242,509 SF GFA (consisting of a three-story building totaling 127,008 SF GFA and a three-story building totaling 115,501 SF GFA); construction of two amenity buildings totaling 13,990 GFA; construction of a Central Utility Plant building; and the construction of a four-level parking garage including a below grade level for an overall site total of 256,500 SF GFA.

The project site is identified in the General Plan's Economic Prosperity Element as Prime Industrial Land. Prime Industrial Lands are areas that support export-oriented base sector activities such as warehouse distribution, heavy or light manufacturing, and R&D uses. These areas are part of even larger areas that provide a significant benefit to the regional economy and meet General Plan goals and objectives to encourage a strong economic base. The proposed project is located within the Torrey Pines Subarea of the UCP and is designated for scientific research. The development of 256,500 SF of R&D would help provide quality job opportunities including middle-income jobs and provide secondary employment and supporting uses. Retention and growth of scientific research use in this area would also provide greater opportunities for collaboration with other scientific research uses in the immediate vicinity, in the Torrey Pines Mesa area of the community as well as the University of California San Diego (UCSD). The project will also provide accessory uses and spaces to serve the tenants of the campus, thereby implementing the goals and policies of the UCP to provide amenities and support services to the primary scientific research and other industrial uses in industrial areas. The site is also subject to CPIOZ-B regulations. The purpose of the CPIOZ is to provide

supplemental development regulations that are tailored to specific sites within community plan areas of the City to ensure that new development is consistent with the goals, objectives, and proposals of the community plan or compatible with surrounding development. The CPIOZ-B regulations address specific issues, including but not limited to, land use intensity, bulk and scale, and architectural design of buildings, structures and signs. The site is also located within the Coastal Height Limit Overlay Zone (CHLOZ) which regulates the maximum height limit allowed within the Coastal zone. The projects Exhibit "A" provides building section exhibits that demonstrate that the structures and projections will not exceed the maximum 30-feet above grade height limit allowed by the CHLOZ.

The project has been determined to be in conformance with Table 3 of the Land Use and Development Intensity Element of the UCP, which calls for Scientific Research use. As discussed above, the proposed project conforms with the development intensity requirements for APZ II through alternative compliance as specified in SDMC Section 132.1515(d). Additionally, in order to ensure consistency with the goals, objectives, and proposals of the UCP, the development plans have been designed to address height, bulk and scale, materials, colors and signs in conformance with the CPIOZ-B regulations. Therefore, the proposed development and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed project is described in Findings 1 above, incorporated by reference herein. The project would comply with the development regulations of the Land Development Code (LDC) with the exception of the requested deviations to the driveway width requirements of the SDMC and the UCP CPOIZ-B regulations for the required setback from North Torrey Pines Road, these deviations are processed through the approval of an NDP in accordance with SDMC Section 143.0920, and further described below:

- I. A deviation from the UCP CPIOZ-B regulations for the required setback from North Torrey Pines Road. Where a 50-foot setback is required from North Torrey Pines Road by the UCP CPIOZ regulations, a variable setback ranging from 25-feet to 50-feet is proposed.
- II. A deviation from San Diego Municipal Code (SDMC) Section 142.0560 (J) 1, Table 142-05M for the maximum driveway width permitted. Where a 25-foot-wide driveway is the maximum permitted, a 30-foot-wide driveway is proposed at three locations.

With approval of the requested deviations, the project will conform to the goals, themes and intent of the UCP by enhancing the landscaping along North Torrey Pines Road, particularly in areas where the setback would be reduced. Landscape enhancements would include planting 30 additional public street trees consisting of Brisbane Box and Torrey Pine trees, streetscape plantings and the establishment of a perimeter transition planting zone which would include a

plant palette that would be consistent with the landscape requirements of the UCP. In addition, landscape enhancements would be extended beyond the current setback distance in non-building areas to create more screening opportunities within the proposed development areas and shall provide a park-like sense of place. The enhanced landscaping would ensure that the landscape theme and aesthetic along North Torrey Pines Road would remain. The driveway width deviation would allow for improved vehicular circulation including emergency vehicle access than would be available if designed in strict conformance with the applicable regulations. The deviations are being requested to create an accessible and cohesive campus and enhance the proposed R&D use of the property.

Each of the requested deviations have been reviewed as they relate to the proposed project and the impact to the surrounding community. The requested deviations are appropriate and will result in a project that efficiently utilizes the subject property and provides a use consistent with the Scientific/Research designation of the UCP. Therefore, with the requested deviations, the proposed subdivision would comply with the applicable zoning and development regulations of the LDC, including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, pursuant to the LDC.

3. The site is physically suitable for the type and density of development.

As outlined in Finding 1 listed above, incorporated by reference herein, the proposed Project has been determined to be in conformance with Table 3 of the Land Use and Development Intensity Element of the UCP, which calls for Scientific/Research use. The proposed project would conform to the development intensity requirements for APZ II through alternative compliance as specified in SDMC Section 132.1515(d). Project conditions will limit occupancy and parking on the property to 570 people and parking spaces and would ensure consistency with the goals, objectives, and proposals of the UCP. The development plans have been designed to address height, bulk and scale, materials, colors and signs as required through application of CPIOZ-B regulations of the UCP and the development regulations of the LDC with the exception of the requested deviations described in Finding 2 above, incorporated by reference herein. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The proposed project is described in Finding 1 above, incorporated by reference herein. Portions of the proposed project footprint would impact biological resources in the form of sensitive upland habitats (0.3 acre of southern maritime chapparal) where special status plant species have been detected and special status animal species have the potential to occur as described in the Biological Technical Report, dated December 2022, prepared by Helix Environmental Planning, Inc.

A Tiered Mitigated Negative Declaration (MND) No. 691942 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared as part of the final environmental document and implementation of mitigation measures listed in the MMRP prepared for the project would reduce the potential impacts to biological resources to below a level of significance. The project is also subject to the City's MHPA LUAGs designed to minimize edge effects to sensitive resources contained in the MHPA. Compliance with the MHPA LUAGs is a condition of project approval. Therefore, the MMRP and conditions of approval will alleviate negative impacts to sensitive biological resources.

The project would also be required to comply with the City's Storm Water Standards which require the implementation of appropriate best management practices (BMPs) for construction and post construction impacts. Grading activities associated with construction would be required to comply with the City of San Diego Grading Ordinance as well as the Storm Water Standards, which would ensure soil erosion and topsoil loss is minimized to less than significant levels. Therefore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The Project proposes the subdivision of an 11.4-acre site and development of a R&D Campus as described in finding A.1. above, incorporated herein by reference. Tiered Mitigated Negative Declaration (MND) No. 691942/State Clearinghouse (SCH) No. 2019060003, which incorporates associated technical studies, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. The MND determined that the project would result in potentially significant impacts to Biological Resources and Transportation. Implementation of the Mitigation, Monitoring and Reporting Program (MMRP) would mitigate impacts to Biological Resources and Transportation to below a level of significance. The following are areas within the MND that may have potential impacts to public health, safety and welfare:

Sustainability and Greenhouse Gas Emissions:

The Project will implement the Voluntary Tier 1 and Tier 2 Measures of Title 24, Part 11 California Green Building Standards Code (CGBSC) in effect at the time the building permit application is deemed complete per SDMC 143.0915(c). Sustainability features to be provided by the Project include, but are not limited to:

- Bicycle Facilities: Storage and changing facilities for bike riders, as well as providing connectivity to an established bicycle network.
- Green Vehicles: A percentage of preferred parking stalls shall be dedicated for electric vehicles (EV), low emission, and Carpool vehicles.
- Light Pollution: Exterior light fixtures that limit light pollution and are directed downward and contained within the site per Building Code requirements.

- Indoor Water use: Low flow plumbing fixtures that exceed the baseline Building Code requirements.
- Outdoor Water Use: A plant palette which includes native, non-invasive and drought tolerant landscaping that requires less watering than more conventional landscaping.
- Material and Resource Credits: Construction using building materials that have a low life cycle impact, are composed of recycled materials, and that are sourced, and manufactured in a way that prioritizes sustainability.
- Low-Emitting Materials: Building materials that emit low amounts of Volatile Organic Compounds (VOCs).
- Daylight and Views: Building designs that provide access to natural daylight as well as views to the exterior environment.

The aforementioned features will be in conformance with the requirements of the CGSBC and will assist in meeting the goals and policies of the City of San Diego's Climate Action Plan (CAP) for the reduction of greenhouse gas (GHG) emissions. Additionally, the project would implement vehicle miles traveled (VMT) reduction measures to mitigate transportation impacts related to the development of the project.

Airport Safety:

The Project is located within the Airport Influence Area (AIA) and APZ II of the Airport Land Use Compatibility Plan (ALUCP) for MCAS Miramar. The MCAS Miramar ALUCP limits the development intensity of the site to 50 people per acre. As discussed above in finding A.1.a.3 (incorporated herein by reference), the proposed project conforms with the development intensity requirements for APZ II through alternative compliance as specified in SDM Section 132.1515(d). Additionally, the proposed development is located outside 60dB Community Noise Equivalent Level (CNEL) noise contour of the MCAS Miramar Air Installations Compatible Use Zone (AICUZ) noise criteria overlay zone. Therefore, the project would not conflict with an ALUCP or result in a safety hazard for people residing or working at the project site.

Fire Protection:

The project will provide fire access roads, aerial truck fire access, and three fire hydrants where required in order to ensure continued fire protection and fire access service to the overall project site. The project would be required to comply with all applicable City codes and policies related to emergency access including the California Fire Code, the San Diego Municipal Code Chapter 5, Article 5, Division 87: Appendix D – Fire Apparatus Access Roads, and City Fire Policies A-14-1 Fire Access Roadways, A-14-9 Access Roadways: Modified Roadway Surface, and A-14-10 Fire Apparatus Access Road for Existing Public Streets. The project did not include any requirements that would result in inadequate emergency access. According to the California Department of Forestry and Fire Protection's (CAL FIRE's) map of Very High Fire Hazard Severity Zones (VHFHSZ) prepared for the city of San Diego, the project site and the majority of the surrounding area is located within a Local Responsibility Area VHFHSZ (CALFIRE 2009). However,

implementation of the project would not increase wildland fire risk at the site over existing conditions.

Portions of the proposed project where habitable premises are located within 100 feet of a structure and contain native or naturalized vegetation are subject to brush management. No brush management is required in locations where habitable premises are located more than 100 feet from native or naturalized vegetation as discussed in the City Brush Management Regulations (SDMC 142.0412). The standard width for brush management zones are 35 feet for Zone 1, and 65 feet for Zone 2; however, discussions with City Staff have determined that Zone 2 is not required as the property is currently in a Zone 1 condition. At the narrowest, the northern portion of the project will implement a 44-foot-wide Zone 1, with a minimum 10-foot space from the proposed structures and the adjacent Torrey pine canopies. Alternative compliance measures, such as tempered widows, additional sprinklers, fire walls, and increased fire resistance rating of walls, will be implemented in locations where adequate brush management zones are not achievable as permitted in the City Brush Management Regulations. The parking structure in the northern half of the project is not subject to brush management, as the structure is not habitable; however, the habitable structure at the north end of the structure will comply with brush management regulations as outlined in the Brush Management Plan made a part of the Exhibit "A."

The project would install standard fire safety features and construct buildings in compliance with the fire regulations in the City Brush Management Regulations, California Fire Code and California Building Code (CBC). Therefore, the project would not expose people or structures to a significant risk of loss, injury, or death involving wildland fires.

Hazardous Materials:

The project, as a research and development facility, include laboratory uses that could involve the use of acutely hazardous materials. However, chemicals would be located in separate containers and incompatible chemicals would be separated as specified by the International Fire Code. Operations using materials that could involve the emission of vapors would be performed under fume hoods that would function to capture emissions at the source, dilute the emissions in the hood, and then expel the emissions where they can disperse in the atmosphere. Waste streams, if determined to be hazardous, would be organized to be disposed of as a hazardous material at a State-permitted treatment or disposal facility. The delivery and disposal of chemicals to and from the project site would occur in full accordance with all applicable federal, state, and local regulations. Therefore, the project would not create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials. Impacts would be less than significant.

Construction activities associated with the project would require transportation and use of limited quantities of fuel, oil, sealants, and other hazardous materials related to construction. The use of hazardous materials and substances during construction would

be subject to federal, state, and local health and safety requirements for handling, storage, and disposal. As a result, hazardous material impacts related to construction activities would be less than significant.

The proposed Project was reviewed by City Staff and determined to be in compliance with the SDMC. The Project must satisfy conditions of approval of Tentative Map No. 2570686 with a MHPA BLC, NDP No. 2570684, and CDP No. 2570682, to achieve compliance with the regulations of the SDMC. Project conditions include various conditions and referenced exhibits of approval relevant to achieving compliance with applicable regulations of the SDMC in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. Prior to issuance of any building permit, grading permit, and public improvement permit, for the proposed project, the plans shall be reviewed by City staff to ensure compliance with all building, electrical, mechanical, plumbing and fire code requirements, and the Owner/Permittee shall be required to obtain grading and public improvement permits. Compliance with these regulations during and after construction would be enforced through building inspections completed by the City's building inspectors. Therefore, the design of the subdivision or the type of improvement would not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)). There are four public easements on this project site consisting of two existing lots referred to as Lots 15 and 16. The existing four public easements are further described below:

- I. The first easement is for a 24-inch water main, which is located at the northwest corner of existing Lot 16.
- II. The second easement is for public utilities, ingress and egress, which is located along North Torrey Pines Road over both existing Lots 15 and 16.
- III. The third easement is an electrical easement, which is located at the northwest corner of existing Lot 15.
- IV. The fourth easement is a water and sewer easement, which is located along the northern property lines of Lot 15 and makes a 90-degree turn in the southerly direction bisecting Lot 15. The project proposes to realign the public water and sewer utilities located within portions of the existing easement and providing a new easement for the realigned public water and sewer which would vary in width, 35-feet or greater as shown in the proposed Tentative Map. After recordation of the realigned easement for public water and sewer utilities the Owner/Permittee shall be required as part of the development permit conditions to process a partial easement vacation for the portion of the existing on-site public water and sewer easement that will no longer be utilized as shown on the proposed Tentative Map.

These four easements are providing public access through or across the site for utility maintenance and repair, however they will not provide pedestrian access for the public at large to access the property. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed subdivision of a 11.4-acre parcel into three lots for commercial development will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and preserve environmentally sensitive lands. The project includes design guidelines and development standards that shall be implemented. These guidelines and standards provide for thoughtful building siting, massing, and planting in a manner that will enable the project to take advantage of, to the extent possible, natural heating and cooling opportunities. Additionally, the project includes sustainability features that per the requirements of the Expedite Program for non-residential sustainable buildings propose Tier I and Tier II Voluntary Measures of Title 24, Part 11 CGBSC in effect at the time the building permit application is deemed complete per SDMC 143.0915(c)

Site design and building orientation will reduce energy use by taking advantage of sunshade patterns, prevailing winds, landscaping, and sunscreens, allowing levels of non-essential lighting, cooling, and heating to be reduced. Trees will be a combination of evergreen and deciduous to provide shade while also allowing sunlight during winter months. Low Impact Development (LID) principles and best management practices (BMPs) will be utilized in all phases of the project's planning, design, and development to promote sustainability. With the design of the proposed subdivision, each structure will have the opportunity through building materials, site orientation, architectural treatments, placement, and selection of plant materials, to provide to the extent feasible for future passive or natural heating and cooling opportunities in conformance with San Diego Municipal Code Section 125.0440(g) and Subdivision Map Act Section 66473.1(a).

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project site is located in an urban area developed with non-residential uses; and is surrounded by similar development. The site currently receives water and sewer service from the City, and no extension of infrastructure to new areas would be required. There are no residential uses; therefore, no replacement housing would be necessary. Additionally, the project site is designated Industrial (Scientific Research) pursuant to the UCP and is zoned IP-1-1 (Industrial Park). The project proposes to demolish existing structures and the construction of new structures for a total GFA of 256,500.

The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region; and based on the project information, the project would not induce population growth as the site is located in an urban area developed with non-residential uses with existing infrastructure. Therefore, the proposed subdivision and associated project would not decrease or increase the amount of land designated for residential use and would therefore, have a neutral impact on housing needs of the region.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on these Findings adopted by the Hearing Officer,

Tentative Map No. 2570686 is hereby granted to ARE-SD Region No. 68 Holding, LLC, a Delaware

limited liability company subject to the attached conditions which are made a part of this resolution by this reference.

By

Martin R. Mendez
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24008570

HEARING OFFICER CONDITIONS FOR TENTATIVE MAP NO. 2570686 ONE ALEXANDRIA NORTH - PROJECT NO. 691942 [MMRP] ADOPTED BY RESOLUTION NO. R-______ ON FEBRUARY 8, 2023

GENERAL

- 1. This Tentative Map will expire February 23, 2026.
- 2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
- 3. Prior to the Tentative Map expiration date, a Final Map to consolidate and subdivide the 11.4-acre properties into three lots shall be recorded in the Office of the San Diego County Recorder.
- 4. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
 - If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Final Map.
- 5. Tentative Map No. 2570686 shall conform to the provisions of Neighborhood Development Permit No. 2570684 and Coastal Development Permit No. 2570682.
- 6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING REQUIREMENTS

7. The Tentative Map shall comply with all Conditions of the Neighborhood Development Permit No. 2570684 and Coastal Development Permit No. 2570682.

- 8. Compliance with all conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
- 9. The Subdivider shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
- 10. The drainage system for this project, per approved Exhibit "A," will be subject to approval by the City Engineer.
- 11. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
- 12. The Subdivider will be required to install new streetlights, per approved Exhibit "A", adjacent to the site on North Torrey Pines Road, satisfactory to the City Engineer.
- 13. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
- 14. The Subdivider shall submit a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

ENVIRONMENTAL REQUIREMENTS

- 15. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program (MMRP) as outlined in MITIGATED NEGATIVE DECLARATION NO. 691942/SCH NO. 2019060003 shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
- 16. The mitigation measures specified in the MMRP and outlined in the MITIGATED NEGATIVE DECLARATION (MND) 691942/STATE CLEARINGHOUSE (SCH) No. 2019060003, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
- 17. The Subdivider shall comply with the MMRP as specified in the MND 691942/SCH NO. 2019060003, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be

adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Transportation/Circulation
- 18. Prior to the issuance of a Notice to Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the Mitigation, Monitoring and Reporting Program (MMRP) requirements are incorporated into the design.

GEOLOGY REQUIREMENTS

- 19. Prior to the issuance of any construction permits (either grading or building), the Subdivider shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
- 20. The Subdivider shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The asgraded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

LANDSCAPE/BRUSH MANAGEMENT REQUIREMENTS

21. Prior to recordation of the Final/Parcel Map, the Owner/Subdivider shall identify on a separate sheet titled 'Non-title Sheet' the brush management areas in substantial conformance with Exhibit "A." These brush management areas shall be identified with a hatch symbol with no specific dimensions or zones called out. The following note shall be provided on the 'Non-Title Sheet' to identify the hatched areas: "Indicates fire hazard zone(s) per Section §142.0412 of the Land Development Code.'

MAPPING REQUIREMENTS

- 22. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
- 23. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."

- 24. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide the 11.4 acres properties into three (3) Parcels shall be recorded at the San Diego County Recorder's Office.
- 25. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the Office of the San Diego County Recorder, must be provided to satisfy this condition. If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.
- 26. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.
 - All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
- 27. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
- 28. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.
- 29. All proposed sewer and water easements as shown on the approved Tentative Map shall be granted to the City of San Diego on the Parcel Map.

MULTIPLE HABITAT PLANNING AREA [MHPA] LAND USE ADJACENCY REQUIREMENTS

30. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall

depict the following requirements on the construction documents and plans for the Project Site:

- Grading/Land Development/MHPA Boundaries -Within or adjacent to the MHPA, all
 manufactured slopes associated with site development shall be included within the
 development footprint.
- **Drainage** All staging and developed/paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved temporary and permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.
- Toxics/Project Staging Areas/Equipment Storage Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Provide a note in/on the CD's that states: "All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."
- **Lighting -**All lighting within or adjacent to the MHPA is directed away/shielded from the MHPA or limited to the immediate area and is in compliance with City Outdoor Lighting Regulations per LDC Section 142.0740.
- Barriers Existing fences/walls; and/or signage along the MHPA boundaries shall remain and or be added to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.
- **Invasives** No invasive, non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- **Brush Management** -Brush management zones will not be greater in size that is currently required by the City's regulations (this includes use of approved alternative compliance). Within Zone 2 the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with City standards and shall avoid/minimize impacts to covered species to the maximum extent possible. For all new development, regardless of the ownership, the brush management in the Zone 2 area will be the responsibility of a home-owner's association or other private party.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS

- 31. The Subdivider shall grant adequate sewer and water easements, including vehicular access to each appurtenance for all public sewer and water facilities that are not located within fully improved public right-of-ways, satisfactory to the Public Utilities Department.
- 32. The Subdivider shall process encroachment maintenance and removal agreements (EMRA), for all acceptable encroachments into the sewer and water easements, including but not limited to structures, enhanced paving, or landscaping. No structures or landscaping of any kind shall be installed in or over any vehicular access roadway.
- 33. The Subdivider shall provide a 10-foot minimum (edge to edge) separation between the water and sewer mains.
- 34. Prior to the recording of the Final Map, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Department and the City Engineer.
- 35. Prior to issuance of the first building permit, the Owner/Permittee shall process a postentitlement, partial easement summary vacation for the portion of the unutilized existing on-site public water and sewer easement area, as shown on the approved Exhibit "A," in a manner satisfactory to the Public Utilities Department and the City Engineer. No development or improvement is proposed within the unutilized existing easement area.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.

• Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.

Internal Order No. 24008957





DECOLUTION	ALLINADED D
RESOLUTION	NUMBER K-

ADOPTED ON FEBRUARY 8, 2023

A RESOLUTION OF THE HEARING OFFICER OF THE CITY OF SAN DIEGO ADOPTING TIERED MITIGATED NEGATIVE DECLARATION NO. 691942 TO PROGRAM ENVIRONMENTAL IMPACT REPORT SCH NO. 2019060003, AND THE MITIGATION MONITORING AND REPORTING PROGRAM;

ONE ALEXANDRIA NORTH – PROJECT NO. 691942

WHEREAS, City of San Diego Planning Department analyzed the amendments to the San Diego Municipal Code and Land Development Manual to adopt two new ordinances, and associated discretionary actions, collectively referred to as Complete Communities: Housing Solutions and Mobility Choices (Complete Communities); and

WHEREAS, on July 28, 2020, the San Diego City Council adopted Resolution No. R-313279, certifying the Program Environmental Impact Report SCH No. 2019060003, and adopting the Findings and Statement of Overriding Considerations, copies of which are on file in the Office of the City Clerk in accordance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.); and

WHEREAS, on September 23, 2021, ARE-SD Region No.68 Holding, LLC, a Delaware Limited Liability Company, submitted an application to the Development Services Department for approval of a Neighborhood Development Permit (NDP), Coastal Development Permit (CDP), Tentative Map (TM), and a Multiple Habitat Planning Area (MHPA) boundary line correction (BLC), for the One Alexandria North project (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on February 8, 2023; and

WHEREAS, State CEQA Guidelines Section 15152 allows for a lead agency to prepare a tiered environmental document to a broader Environmental Impact Report and concentrating the later tiered environmental document solely on the issues specific to the later project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer of the City of San Diego as follows:

1. That the information contained in the final Program Environmental Impact Report SCH No. 2019060003, along with the Tiered Mitigated Negative Declaration (MND) No. 691942 thereto, including any comments received during the public review process, has been reviewed and considered by this San Diego Hearing Officer prior to making a decision on the Project.

- 2. That there are no substantial changes proposed to the Project and no substantial changes with respect to the circumstances under which the Project is to be undertaken that would require major revisions in the Program Environmental Impact Report No. 2019060003 for the Project.
- 3. That no new information of substantial importance has become available showing that the Project would have any significant effects not discussed previously in the Program Environmental Impact Report SCH No. 2019060003 or that any significant effects previously examined will be substantially more severe than shown in the Program Environmental Impact Report SCH No. 2019060003.
- 4. That no new information of substantial importance has become available showing that mitigation measures or alternatives previously found not to be feasible are in fact feasible which would substantially reduce any significant effects, but that the Project proponents decline to adopt, or that there are any considerably different mitigation measures or alternatives not previously considered which would substantially reduce any significant effects, but that the Project proponents decline to adopt.
- 5. That pursuant to State CEQA Guidelines Section 15164, only minor technical changes or additions are necessary, and therefore, the San Diego Hearing Officer adopts Tiered Mitigated Negative Declaration No. 691942 to Program Environmental Impact Report No. SCH No. 2019060003 with respect to the Project, a copy of which is on file in the office of the City Clerk.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the San Diego Hearing Officer adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this the San Diego Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Development Services Department is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPRC	OVED:
Ву:	
	Martin R. Mendez
	Development Project Manager

ATTACHMENT: Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2570684
COASTAL DEVELOPMENT PERMIT NO. 2570682
MULTIPLE HABITAT PLANNING AREA BOUNDARY LINE CORRECTION
TENTATIVE MAP NO. 2570686

PROJECT NO. 691942

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Development Services Department, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Tiered Mitigated Negative Declaration No. 691942 shall be made conditions of Neighborhood Development Permit (NDP) No. 2570684, Coastal Development Permit (CDP) No. 2570682, Tentative Map (TM No. 2570686, and a Multiple Habitat Planning Area (MHPA) boundary line correction (BLC), as may be further described below.

A. GENERAL REQUIREMENTS: PART I – Plan Check Phase (prior to permit issuance)

- Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
- 2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
- 2. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

http://www.sandiego.gov/development-services/industry/standtemp.shtml

- 4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
- 5. **SURETY AND COST RECOVERY –** The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs.

The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS: PART II – Post Plan Check (After permit issuance/Prior to start of construction)

 PRE-CONSTRUCTION MEETING: Required ten (10) working days prior to beginning any work on this project. The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent, and the following consultants:

Qualified Biologist

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division**, **858-627-3200**.
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE** and MMC at 858-627-3360.
- 2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) No. 691942 and/or Environmental Document No. 691942 shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

2. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency:

Not Applicable (N/A).

4. MONITORING EXHIBITS: All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

MMRP Document Submittal/Inspection Checklist			
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes	
General	Consultant Qualification Letters	Prior to Preconstruction Meeting	
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting	
Land Use	Land Use Adjacency Issues CVSRs	Land Use Adjacency Issue Site Observations	
Biology	Biologist Limit of Work Verification	Limit of Work Inspection	
Biology	Biology Reports	Biology/Habitat Restoration Inspection	
Landscape	Tree Protection Arborist Verification	Tree Protect Fence Inspection	
Traffic	VMT Reports	Traffic Features Site Observation	
Waste Management	Waste Management Reports	Waste Management Inspections	
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter	

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Biological Resources

BIO-1 Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, mitigation for

direct impacts to 0.3 acre of Tier I southern maritime chaparral (including disturbed) shall be occur at a minimum 2:1 ratio, resulting in a total mitigation requirement of 0.6 acres. Mitigation ratios are in accordance with the City's Biology Guidelines (City 2018) and assume all mitigation will occur outside of the MHPA.

Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, a covenant of easement shall be recorded against the title of the property to preserve the Callan Road mitigation site in perpetuity. The project proponent shall act as the resource manager to ensure the property is managed and monitored in a manner consistent with Section 1.5 of the Preserve Management of the City's MSCP Subarea Plan and area-specific management directives.

Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, mitigation for impacts to the 0.3-acre southern maritime chaparral habitat shall occur at a 2:1 ratio through the offsite preservation of 1.6 acres of existing southern maritime chaparral habitat at the Callan Road mitigation site (APN 340-010-45). Of the 1.6 acres of southern maritime chaparral, only 1.2 acres remains available for use. The remaining excess mitigation of 0.6 acre of southern maritime chaparral and 0.4 acre of Diegan coastal sage scrub shall be preserved in excess of the project's mitigation obligation and would remain unassigned and available for future mitigation opportunities, subject to City review and approval on a project-by-project basis.

- **BIO-2** Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, replacement of wart-stemmed ceanothus at a 2:1 ratio shall occur within undeveloped portions of the property. In addition, 23 wart-stemmed ceanothus shall be preserved within the 3.2-acre off-site Callan Road mitigation site.
- BIO-3 The following avoidance and minimization project requirements shall be implemented and included as conditions of project approval to ensure compliance with the City's Biology Guidelines (City 2018) and MSCP Subarea Plan (City 1997), and to prevent inadvertent impacts to sensitive biological resources adjacent to the project footprint.

Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Environmental Designee shall verify that the following project requirements are shown on the construction plans:

I. Prior to Construction

A. Biologist Verification – The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2018), has been retained to implement the project's biological monitoring program. The

letter shall include the names and contact information of all persons involved in the biological monitoring of the project.

- **B. Pre-construction Meeting –** The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow-up mitigation measures and reporting, including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. Biological Documents The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports, including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program, Environmentally Sensitive Lands Ordinance, project permit conditions; California Environmental Quality Act; endangered species acts; and/or other local, state or federal requirements.
- D. Biological Construction Mitigation/Monitoring Exhibit The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, it will include restoration/revegetation plans, wart-stemmed ceanothus salvage, TPZ avoidance areas, avian or other wildlife surveys/survey schedules (including general avian nesting), timing of surveys, avian construction avoidance areas/noise buffers/barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City Assistant Deputy Director (ADD)/MMC. The BCME shall include a site plan, a written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. Special Status Plant Avoidance Prior to the removal of vegetation, a Qualified Biologist shall conduct a pre-construction survey for special status plant species within a 20-foot buffer of all anticipated project impacts to identify the location and number of any individuals present. Construction activities shall avoid impacts to special status plant species found within the impact area to the extent feasible. If impacts to newly identified sensitive status plant species cannot be completely avoided, then efforts shall be made to trim any individual shrubs and limit root disturbance, which will allow for individuals to resprout from the base. If construction activities can avoid root disturbance, no additional mitigation would be required.
- **F. Resource Delineation** Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats, the tree protection zone, and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora and fauna species) during

- construction. Appropriate steps/care should be taken to minimize the attraction of nest predators to the site.
- **G. Education** Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, keep equipment and materials clean and free of debris and mud, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- **A. Monitoring –** All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities, as needed, to ensure that construction activities do not encroach into biologically sensitive areas, the tree protection zone, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- **B. Subsequent Resource Identification –** The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna on-site (e.g., flag plant specimens for avoidance during access, etc.). If active nests for Cooper's hawk or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species-specific local, state, or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, environmentally sensitive lands (ESL) and MSCP, State CEQA, and other applicable local, state, and federal laws. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

Transportation/Circulation

MM-TRA-1 Transportation/Circulation (Vehicle Miles Traveled)

Prior to first occupancy, the project shall implement the following VMT Reduction Measures which would achieve 10.0 points required by the Mobility Choices Ordinance, satisfactory to

the City Engineer. Implementation of these measures would minimize VMT impacts to the extent feasible.

- 1. Provide short-term bicycle parking spaces that are available to the public, at least 20% beyond the minimum requirements.
 - Short-term bicycle parking required = 30 spaces
 - Short-term bicycle parking provided = 36 spaces (3.0 points)
- 2. Provide long-term bicycle parking spaces at least 20% beyond the minimum requirements.
 - Long-term bicycle parking required = 30 spaces
 - Long-term bicycle parking provided = 36 spaces (4.0 points)
- 3. Provide on-site showers/lockers at least 10% beyond the minimum requirements.
 - Showers/lockers required = 3 showers/12 lockers
 - Showers/lockers provided = 8 showers/40 lockers (2.0 points)
- 4. Provide low cost amenities/upgraded features to an existing transit stop (above existing conditions), e.g., addition of bench, public art, static schedule with route display, or trash receptable.
 - Project will install a bus shelter, bench and trash receptacle for the existing bus stop located approximately 65 feet north of N.U. System Driveway adjacent to the project. (1.0 point)





MEMORANDUM

TO: Martin Mendez

FROM: Rick Engineering Company (Carlos Avila, Hannah Wong)

DATE: June 28, 2021

SUBJECT: One Alexandria North – Prior Discretionary Approval Memo (PTS-0691942)

During the records research process for the underlying (prior) development permits, the Client and consultant team was able to find the following documents:

- CUP case no. 16506, dated 2/28/1980 for 16 tennis court lights and a 14' retaining wall west of the courts.
- CUP 83-0600, City resolution Number R-261434 for the Signal Helistop Project, see the attached plans; and a letter addressed to the US Navy (Miramar Airbase), dated 10/28/1983 for the construction of the helistop/helipad.

The above referenced documents were located during the research and review of the current Title Report. The Original documents were also pulled by the public information clerks of the City's DSD Records Division, specifically two files were located by Marlene Portilla for C-16506 and 83-0600; and Carlos Avila with Rick Engineering scheduled an appointment to review them. No additional documentation was located, we were hoping to find additional files related to Torrey Pines Science Park Unit 3 (i.e. the underlying Development Permit, including the Exhibit A, or Hillside Review Plan or Master Plan). At this point, we believe that there are no recorded development permits encumbering the Property, except for the Conditional Use Permits for ancillary uses described above.

With regards to the existing Coastal Development Permit, CDP F7919:

It is referenced in an "Agreement Restricting Real Property" between the City and the California Coastal Commission executed and recorded in 1979. The Applicant's land use attorney requested the Coastal Commission's project file on 6/17/2020, but they were not located by the Coastal Commission staff.

RECOIDING REQUESTED DY AND MAIL TO SAN DIEGO COAST 2170 NAME REGIONAL COMMISSION STREET 6154 Mission Gorge Rd., Suite 220 crry San Diego, CA. 92120

following described development:

S.W. Coast Reg. Commit FILE/PAGE NO. ..

Jun 15 10 53 AM 179

OFFICIAL RECORDS RECORDER SAN DIEGO COUNTY, CALIF.

NO FEE

ATTACHMENT 12

REAL PROPERTY This agreement is made this 2nd day of May CITY OF SAN DIEGO , hereinafter referred to as "Permittee," and tho San Diego Coast Regional Commission: WHEREAS, Permittee is the owner (or describe other interest of Permittee) of the following described real property in the County of San Diego:____ Lot No. 16 of Torrey Pines Science Park, Unit No. 3 and according to Map thereof No. recorded with San Diego County Recorder on 5.25.79. WHEREAS, pursuant to the California Coastal Act of 1976 (Public Resources Code

SAN DIFGO COAST RESTONAL COMMISSION

AGREEMENT IMPOSING RESTRICTIONS ON

Subdivision of approx. 93-acre parcel into four lots: Lot 13 - 67 acres; Lot 14 - 14.5 acres; Lot 15 - 8.7 acres; Lot 16 - 2.7 acres. Also, demolition and removal of abandoned Torrey Pines Reservoir. Also, widening of No. Torrey Pines Road by approx. 20 feet creating one additional northbound lane and installation of two signalized intersections. Public improvements will include extensions of sewer mains, water mains and storm drains into proposed subdivisions. Grading will involve approx. 15,000 cu. yds. of earth movement with no import or export.

WHEREAS, the San Diego Coast Regional Commission has determined to issue a permit for this development subject to conditions which are imposed for the benefit of the public and surrounding landowners, and without agreement to which by Permittee no permit could be issued;

30000 et sea) Permittee has sought in Application No. F7919 a permit for the

NOW THEREFORE, in consideration of the issuance of the development permit and of the benefit conferred thereby on the subject property, Permittee hereby covenants and and agrees with the San Diego Coast Regional Commission to the following restriction upon the possession, use, and enjoyment of the subject property, which restriction shall be

Prior to the issuance of a constal development permit for any construction on Lots 14, 15 and 16, the developer Shall submit a runoff control plan, designed by a licensed engineer qualified in hydrology and hydraulies, which would assure no ingresse in peak runoff rate from the fully developed site over runoff that would occur from the existing undeveloped site as a result of the greatest intensity of rainfall expected during & one-hour period ence every 20 years (20 year one-hour rainstorm). Methods employed within the runoff control plan to control increase in runoff are at the discretion of the engineer, and could include check dams, energy dissipators/segimentation basins. The ranoff control plan shall also include soil or sand filtration or its equivalent sufficient to trap oils and suspended solids and prevent them from entering the lagoon. The runoff control plan including supporting calculations shall be submitted to and determined adequate in writing by the Executive Director.

> Permittee acknowledges that any violation of this deed restriction will constitute a violation of the California Constal Act of 1976 and of Penalt Ko. F7919, and will subject Penaltico or any other person violating the deed restriction to suit as provided by the Countal Act.

IT IS FURTHER RECOGNIZED that this agreement and deed restriction is a covenant running with the land and shall bind Permittee, and all successors and assigns of Permittee.

If any portion of the subject property should hereafter be conveyed, the conveyence shall contain the restriction crouted by this agreement.

Executive Hirector San Diego Const Regional Commission

San Diego Deputy City Manager

(If the Permitter is other than the Conser Paralthee must also here and the Carior most plan abovo)

- 2171

PROJECT NO. F 7919
STATE OF CALIFORNIA CITY OF SAN DIEGO
COUNTY OF SAN DIEGO
Permittee
On May 10, , 19 ⁷⁹ , before me, the undersigned Notary
Public, personally appeared John P. Fowler, City of San Diego Deputy City Manager
known to me to be the persons whose names are subscribed to the foregoing instrument and
acknowledged to me that they executed the same.
Witness my hand and official scal the day and year in the certificate first
above written. County of San Diego County of San Diego State of California
TO BE-FILLED IN BY COMMISSION_
This is to certify that the deed restriction set forth above, dated May 2 ,
19 79 , and signed by CITY OF SAN DIEGO
Permittee, is hereby accepted by order of the San Diego Coast Regional Commission on
May 2, 1979 and said Commission consents to recordation thereof by its
Executive Director, its duly authorized officer.
Date May 2, 1979
Executive Director
San Diego Coast Regional Commission
STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO
•
On this 2nd day of May, 19 79, before me, the
undersigned Notary Public, personally appeared
known to me to be the Executive Director of the San Diego Coast Regional Commission
and known to me to be the person who executed the foregoing instrument on behalf of
said Commission, and acknowledged to me that such Commission executed the same.
Witness my hand and official seal the day and year in the certificate first

above written.



OFFICIAL SEAL
RENEE N. KROLIKOWSKI
NOTARY PUBLIC - CALIFORNIA
PRINCIPAL OFFICE IN SAN DIEGO COUNTY My Commission Expires August 16, 1982

State of California

79-248730

SAN DIEGO COAST REGIONAL COMMISSION 2168

STREET 6154 Mission Gorge Rd., Ste. 220

San Diego, CA. 92120

following described development:

CITY

FILE/PAGE NO. 79-248729

RECORDED REQUEST OF

S. O. Coast Deg. Comm.

Jun 15 18 53 AM *79

OFFICIAL RECORDS
RECORDER
SAN DIEGO COUNTY, CALIF.

NO FEE

ACREEMENT IMPOSING RESTRICTIONS ON REAL PROPERTY

SAN DIFGO COAST REVITONAL COMMISSION

Subdivision of approx. 93-acre parcel into four lots: Lot 13 - 67 acres; Lot 14 - 14.5 acres; Lot 15 - 8.7 acres; Lot 16 - 2.7 acres. Also, demolition and removal of abandoned Torrey Pines Reservoir. Also, widening of No. Torrey Pines Road by approx. 20 feet creating one additional northbound lane and installation of two signalized intersections. Public improvements will include extensions of sewer mains, water mains and storm drains into proposed subdivisions. Grading will involve approx. 15,000 cu. yds. of earth movement with no import or export.

WHEREAS, the San Diego Coast Regional Commission has determined to issue a permit for this development subject to conditions which are imposed for the benefit of the public and surrounding landowners, and without agreement to which by Permittee no permit could be issued;

NOW THEREFORE, in consideration of the issuance of the development permit and of the benefit conferred thereby on the subject property, Permittee hereby covenants and and agrees with the San Diego Coast Regional Commission to the following restriction upon

Prior to the issuance of a coastal development permit for any construction on Lots 14, 15 and 16, the developer Shall submit a runoff control plan, designed by a licensed engineer qualified in hydrology and hydraulies, which would assure no <u>increase</u> in peak runoff rate from the fully developed site over runoff that would occur from the existing undeveloped site as a result of the greatest intensity of rainfall expected during a one-hour period once every 20 years (20 year one-hour rainstorm). Methods employed within the runoff control plan to control increase in runoff are at the discretion of the engineer, and could include check dams, energy dissipators/sedimentation basins. The runoff control plan shall also include soil or sand filtration or its equivalent sufficient to trap oils and suspended solids and prevent them from entering the adequate in writing by the Executive Director.

Permitted acknowledges that any violation of this deed restriction will constitute a violation of the California Constal Act of 1976 and of Fermit No. F7919, and will subject Permitted or any other person violating the deed restriction to suit as provided by the Constal Act.

IT IS FUNTHER RECOGNIZED that this agreement and deed restriction is a covenant running with the land and shall bind Permittee, and all successors and assigns of Permittee.

If any portion of the subject property should hereafter be conveyed, the conveyence shall contain the restriction created by this percement.

San Diego Coast Regional Commission

San Diego Deputy City Manager

(If the Permitter is other than the Caser Permittee must styr here and the Gener must plyr above)

79-248729

				Restrictions
	on	lical	Property	
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PROJECT	NO.	F	7919	
LWOROT	TACO	-		

	•
TATE OF CALIFORNIA \ 85.	CITY OF SAN DIEGO
OUNTY OF SAN DIEGO	
	Permittee
And the state of t	fore me, the undersigned Notary
blic, personally appeared John P. Fowler, City o	of San Diego Deputy City Manager,
nown to me to be the persons whose names are subsci	·
knowledged to me that they executed the same.	•
Witness my hand and official seal the day a	and year in the certificate first
bove written.	
OFFICIAL SEAL EDWARD J. RICCIO NOTARY PUBLIC - CALIFORNIA Principal Office in San Diego County My Commission Exp. Jan. 31, 1983	Notary Public, in and for the County of San Diego State of California
TO BE-FILLED IN BY COMMISSION_	
This is to certify that the deed restrict	ion set forth above, dated May 2,
9 79 , and signed byCITY OF SAN DIEGO	
Permittee, is hereby accepted by order of the San D	Diego Coast Regional Commission on
roma maid formand and command	
	nts to recordation thereof by its
Executive Director, its duly authorized officer.	
Executive Director, its duly authorized officer.	ats to recordation thereof by its
Executive Director, its duly authorized officer.	
Executive Director, its duly authorized officer.	By Executive Director
May 2, 1979 and said Commission consent executive Director, its duly authorized officer. Date May 2, 1979	By Executive Director
Executive Director, its duly authorized officer. Date May 2, 1979	By Executive Director
Executive Director, its duly authorized officer. Date May 2, 1979 STATE OF CALIFORNIA	By Executive Director San Diego Coast Regional Commission
Executive Director, its duly authorized officer. Date May 2, 1979 STATE OF CALIFORNIA COUNTY OF SAN DIEGO SSAN DIEGO	By Executive Director San Diego Coast Regional Commission
Executive Director, its duly authorized officer. Date May 2, 1979 STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May	By Executive Director San Diego Coast Regional Commission
Executive Director, its duly authorized officer. Date May 2, 1979 STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May undersigned Notary Public, personally appeared	By Executive Director San Diego Coast Regional Commission Tom Crandall
STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May undersigned Notary Public, personally appeared known to me to be the Executive Director of the San	Executive Director San Diego Coast Regional Commission Tom Crandall n Diego Coast Regional Commission
Executive Director, its duly authorized officer. Date May 2, 1979 STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May undersigned Notary Public, personally appeared hown to me to be the Executive Director of the San	Executive Director San Diego Coast Regional Commission Tom Crandall n Diego Coast Regional Commission
STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May undersigned Notary Public, personally appeared known to me to be the Executive Director of the Saland known to me to be the person who executed the	By Executive Director San Diego Coast Regional Commission Tom Crandall In Diego Coast Regional Commission foregoing instrument on behalf or
STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May undersigned Notary Public, personally appeared known to me to be the Executive Director of the Saland known to me to be the person who executed the said Commission, and acknowledged to me that such	By Executive Director Sam Diego Coast Regional Commission Tom Crandall In Diego Coast Regional Commission foregoing instrument on behalf or Commission executed the same.
STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May undersigned Notary Public, personally appeared known to me to be the Executive Director of the Sal and known to me to be the person who executed the said Commission, and acknowledged to me that such Witness my hand and official seal the de	By Executive Director Sam Diego Coast Regional Commission Tom Crandall In Diego Coast Regional Commission foregoing instrument on behalf or Commission executed the same. ay and year in the certificate first
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STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May undersigned Notary Public, personally appeared known to me to be the Executive Director of the Sa and known to me to be the person who executed the said Commission, and acknowledged to me that such Witness my hand and official seal the day above written OFFICIAL SEAL RENEE N. KROLIKOWSKI	By Executive Director Sam Diego Coast Regional Commission Tom Crandall In Diego Coast Regional Commission foregoing instrument on behalf or Commission executed the same. ay and year in the certificate first
STATE OF CALIFORNIA COUNTY OF SAN DIEGO On this 2nd day of May undersigned Notary Public, personally appeared known to me to be the Executive Director of the Sa and known to me to be the person who executed the said Commission, and acknowledged to me that such Witness my hand and official seal the de	By Executive Director San Diego Coast Regional Commission Tom Crandall In Diego Coast Regional Commission foregoing instrument on behalf or Commission executed the same. By and fear in the certificate first Notary Public in and ldr the county of

Page 2 of 2

RETURN TO:

1616

ZONING ADMINISTRATION
(Mail Station 300)
City Operations Building
1222 First Avenue
San Dic to, California 92101

FILE /PAGE NO. 1980
RECORDED REQUEST OF

ADDRESSEE

FEB 28 8 06 AM "RN

OFFICIAL LEGURDS
SAN DIEGO COUNTY, CALIF.
VERA L. L'ILE
RECORDER

NO FEE

CITY OF SAN DIEGO - DECISION OF THE ZONING ADMINISTRATOR

CONDITIONAL USE PERMIT - CASE NO. 16506

The Zoning Administrator has considered the request of THE SIGNAL COMPANIES, INC., to erect 16 tennis court lights 22' high where lights for illuminating tennis courts are permitted only by Conditional Use Permit on Lot 15, Torrey Pines Science Park, Unit No. 3, Map 9230, at 11255 North Torrey Pines Road, Zone SR; and after consideration of the following Finding of Facts has APPROVED the request, subject to the following condition:

That the project meet all requirements of the Building Inspection Department.

FINDING OF FACTS

A. Subject property is in a regular lot containing 8.68 acres, located on the east side of North Torrey Pines Road, north of Science Park Avenue. Currently the property is being developed with the headquarter's offices for the Signal Companies, Inc. The proposed tennis court is for the use of persons who will be employed at this facility.

The property slopes down from North Torrey Pines Road and in the location of the proposed tennis courts the grade is approximately 38' lower than at the street grade. The facility will be served by two private cul-de-sacs coming off a circular driveway from North Torrey Pines Road.

To the north and east is vacant property owned by the City of San Diego. To the south is a Life insurance Company office and to the west across North Torrey Pines Road is City-owned property developed with the Torrey Pines Golf Course. Due to the location of the court, it does not appear that these lights will have any effect on the adjoining properties.

Due to the location of the tennis court lights and their relationship to surrounding properties, this project is not viewed as having an adverse impact on the surrounding neighborhood, the Community Plan or General Plan.

B. This project will comply with all regulations pertaining to tennis court lights.

No 67196

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This Conditional Use Permit is not a permit or license and any permits and licenses required by law must be obtained from the proper department. Furthermore, if any condition of this Grant is violated, or if the same be not complied with in every respect, then this Conditional Use Permit shall be subject to revocation; provided, however, that after being notified in writing by the City that a condition has been violated and that subject permit is null and void within ten (10) days, an appeal may be filed with the Board of Zoning Appeals to show cause why subject permit should be reinstated.

Failure to utilize such Conditional Use Permit within the eighteen (18) month period will automatically void the same, in accordance with Municipal Code. Section 101.0508. Except as provided in Section 101.0509, during the eighteen (18) month period referred to in this Section, the property covered by a conditional use permit granted by the Zoning Administrator shall not be used for any purpose other than that authorized by the permit.

The permission granted by this Conditional Use Permit shall become effective and final on the eleventh day after it is filed in the Office of the City Clerk; said appeal to be filed in Zoning Administration, Third Floor, City Operations Building, 1222 First Avenue. An appeal from any decision of the Zoning Administrator may be taken to the Board of Zoning Appeals by the applicant, any governmental body or agency, by any owner of real property located within the City or by any resident of the City. See Municipal Code Section 101.0504.

CITY PLANNING DEPARTMENT

C-16506 JTF:JER:CG

oseph T. Flynn, Zoning Administrator

FILED IN OFFICE OF CITY CLERK

FEB 1 3 1980

RIGHT OF APPEAL expires
10 DAYS
after the above date.

THIS IS NOT A BUILDING PERMIT

Non-Order Search
Doc: SD:1980 00067196

- 2 -

This Conditional Use Permit is not a permit or license and any permits and licenses required by law must be obtained from the proper department. Furthermore, if any condition of this Grant is violated, or if the same be not complied with in every respect, then this Conditional Use Permit shall be subject to revocation; provided, however, that after being notified in writing by the City that a condition has been violated and that subject permit is null and void within ten (10) days, an appeal may be filed with the Board of Zoning Appeals to show cause why subject permit should be reinstated.

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CITY PLANNING DEPARTMENT

C-16506 JTF:JER:CG oseph T. Flynn, Zoning Administrator

filed in office Of Gity Clerk Nº 67196

(CC 1191) PUBLIC AGENCY	1618
STATE OF CALIFORNIA) COUNTY OF	1010
on <u>February 22, 1980</u> b	efore me, the undersigned, a Notary Public in
and for said State, personally appeared	
to me to be theZONING ADMINISTRATO	
and known to me to be the person who ex	ecuted the within instrument on behalf of said
CITY OF SAN DIEGO	, and acknowledged to me that such
AGENT exe	cuted the same.
Signature Mand and official seal.	OFFICIAL SEAL MADELYN L. LEIBOLD NOTARY PUBLIC • CALIFORNIA SAN DIEGO COUNTY MY COMPT DESIGN COUNTY
Madelyn I. Leibold	My comm. expires MAR 4, 1983

(Official Seal)

Applicant shall have agreed to each and every condition hereof by having this conditional use permit signed within thirty (30) days of the decision of the Zoning Administrator.

The undersigned Permittee by execution hereof agrees to each and every condition of this conditional use permit and promises to perform each and every obligation of Permittee hereunder.

THE SIGNAL COMPANIES, INC.

R. C. Wedemeyer
Special Attorney in Fact

STATE OF CALIFORNIA } ss.

On February 19, 1980 before me, the undersigned, a Notary Public in and for said State, personally appeared R. C. Wedemeyer, known to me to be the person whose name is subscribed to the within instrument, as the Special Attorney in Fact of The Signal Companies, Inc., and acknowledged to me that he subscribed the name of The Signal Companies, Inc. thereto as principal and his own name as Special Attorney in Fact.

WITNESS my hand and official seal.

Signature Charleto M & Doies

Name (Typed or Printed)

OFFICIAL SEAL

CHARLOTTE M. Davis

NOTARY PUBLIC - CALIFORNIA

PRINCIPAL OFFICE IN

ORANGE COUNTY

My Commission Expires September 30, 1982

Nº 67196

¥80-

1,00 1651



CONDITIONAL USE PERMIT NO. 83-0600 1984 OCT-1 AM 8:53
CITY COUNCIL SAN DIEGO, CALIF.

This Conditional Use Permit is granted by the City Council of The City of San Diego to THE SIGNAL COMPANIES, a Delaware corporation, Owner/Permittee, for the purposes and under the terms and conditions as set out herein, pursuant to the authority contained in Section 101.0507 of the San Diego Municipal Code.

- 1. Permission is hereby granted to Owner/Permittee to construct and operate a ground level helistop for private use on an 8.7-acre site located easterly of North Torrey Pines Road, between Callan Road and Torrey Pines State Reserve, described as Lot 15, Torrey Pines Science Park, Unit No. 3, Map No. 9230, in the SR Zone of the University North Community Plan area.
 - 2. The facility shall consist of the following:
 - a. A helipad to be used in conjunction with tusiness activities and for emergency hospital, police and fire department evacuation procedures; and
 - b. Accessory uses as may be determined incidental and approved by the Planning Director.
- 3. In order to avoid conflicts with NAS Miramar Seawolf Departure, the applicant will insure that:
 - a. All helicopter operations to and from the helistop maintain an altitude at or below 1,300 feet MSL within the Seawolf Departure Corridor and within the terminal corridor area (TCA); and

DOCUMENT NO. 83-0600

OFFICE OF THE CITY CLERK
SAN DIEGO. CALIFORNIA

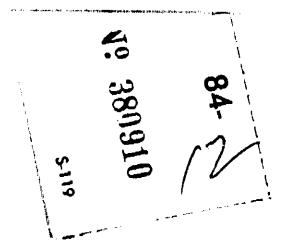
PAGE 4 OF 9

R- 251434

84- 27 40 380910 5-116 N. 1652

- b. Pilots utilizing the Signal Companies' helistop are thoroughly briefed on the helistop's proximity to the Seawolf Departure Corridor and the NAS Miramar traffic area.
- 4. In order to mitigate potential biological impacts associated with the adjacent Torrey Pines State Reserve, the following conditions shall be implemented:
 - a. Pampas grass, which occurs within a 1,500-foot radius from the center of the helipad shall be removed. (The applicant shall consult with the State Department of Parks and Recreation prior to removing pampas grass which occurs within the Torrey Pines State Reserve.) Routine landscape maintenance shall include continual removal of pampas grass which occurs on the Signal Companies' property for the lifetime of the Conditional Use Permit.
 - b. Relandscaping of the helistop site shall be with a native plant seed mixture and/or native plant species approved by the Deputy Director of the Environmental Quality Division.
- 5. The applicant shall provide access to the helistop in a manner satisfactory to the Fire Department.
 - 6. No refueling will be permitted at the helistop.
- 7. The design of the helistop shall be such that it will retain any fuel spillage in a manner satisfactory to the Fire Department.

PAGE 5 OF 9

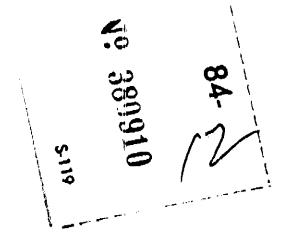


- 8. Flight operations are limited to an average of three times per week during the day and one nighttime operation per month.
- 9. No permit for construction or operation of the helistop facility shall be granted nor shall any activity authorized by this permit be conducted on the premises until:
 - a. The Permittee signs and returns the permit to the Planning Department;
 - b. The Conditional Use Permit is recorded in the office of the County Recorder.

If the signed permit is not received by the Planning Department within 90 days of the Planning Commission decision or within 30 days of a City Council decision, the permit shall be void.

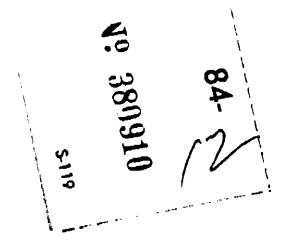
- 10. Before issuance of any construction or operation permits, complete grading and building plans shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," on file in the office of the Planning Department. No change, modifications or alterations shall be made unless appropriate applications for amendment of this permit shall have been granted.
- 11. This Conditional Use Permit must be used within 36 months after the date of City approval or the permit shall be void. An Extension of Time may be granted as set forth in Sections 101.0506 and 101.0507 of the San Diego Municipal Code.
- 12. Construction and operation of the approved use shall comply at all times with the regulations of this or any other governmental agencies.

PAGE 6 OF 9



- 13. After establishment of the project, the property shall not be used for any other purpose unless:
 - a. Authorized by the Planning Commission; or
 - b. The proposed use meets every requirement of the zone existing for the property at the time of conversion; or
 - c. The permit has been revoked by the City.
- 14. This Conditional Use Permit may be revoked by the City if there is a material breach or default in any of the conditions of this permit.
- 15. This Conditional Use Permit is a covenant running with the lands and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out.
- 16. This permit is contingent upon the applicant receiving approval from The City of San Diego General Services Department, Airports Division, of a helistop permit/license.
- 17. The helistop is to be marked and lighted in accordance with the Federal Aviation Administration's Advisory Circular Section, 150/5390-1B, and the letters "PVT" or "PRIVATE" marked on the pad to preclude unauthorized use of the facility (excepting emergency use by public vehicles).
- 18. Lights shall be adjusted or screened so as not to create glare or shine upon adjacent streets or properties.
- 19. Development of the subject property shall be in substantial conformance to Exhibit "A," including the approach and departure corridor.

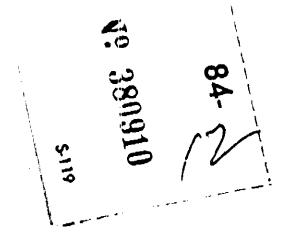
PAGE 7 OF 9



- 20. This Conditional Use Permit is contingent upon a letter of agreement between the helistop operator, NAS Miramar and San Diego TRACON, defining the ingress/egress routes, terminal code control area clearances and other specific flight procedures.
- 21. A weekly log shall be maintained by the Permittee indicating the usage (number of passengers, flight pattern utilized, type of aircraft and time of day) of the heliport at all times during the duration of the permit. This log shall be reviewed by the Planning Commission at a noticed public hearing one year after commencement of heliport operations.
- 22. The Permittee shall name The City of San Diego, its officers and employees as an additional named insured in a public liability insurance policy in a form and amount to be determined by the office of the City Attorney. This policy shall be in full force and effect at all times during the duration of this permit.
- 23. Noise levels for aircraft using the heliport shall not exceed those which emanate from a Sikorsky S-76 helicopter at any time during the term of the permit except for emergency use by public vehicles or aircraft.

ADOPTED BY THE COUNCIL OF THE CITY OF SAN DIEGO ON AUGUST 21, 1984.

PAGE 8 OF 9



AUTHENTICATED BY:

Mayor of The City of San Diego

Gity of San Diego Clerk of The

STATE OF CALIFORNIA

COUNTY OF SAN DIEGO

day of September, 1984, before me, the undersigned, a notary public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared ROGER HEDGECOCK, known to me to be the Mayor, and CHARLES G. ABDELNOUR, known to me to be the City Clerk of The City of San Diego, the municipal corporation that executed the within instrument, and known to me to be the persons who executed the within instrument on behalf of the municipal corporation therein named, and acknowledged to me that such municipal corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal in the County of San Diego, State of California, the day and year in this certificate first above written.

PRINCIPAL OFFICE IN NOTARY Public in and for the County Notary Public in and for the County of San Diego, State of California

The undersigned Permittee, by execution hereof, agrees to each and every condition of this Conditional Use Permit and promises to perform each and every obligation of Permittee hereunder.

THE SIGNAL COMPANIES, a Delaward corporation

 $\mathbf{B}\mathbf{y}_{_}$

MARC I. STERN

SENIOR VICE PRESIDENT, ADMINISTRATION NOTARY ACKNOWLEDGEMENTS MUST BE ATTACHED PER CIVIL CODE, NOTE:

SEC. 1180 et seq.

Form=ACK

PAGE 9 OF 9

R_ 26:1434

AUTHENTICATED BY:

Roger Hedgecock

Mayor of The City of San Diego

Vity of San Diego

STATE OF CALIFORNIA

COUNTY OF SAN DIEGO

On this 28 day of September, 1984, before me, the undersigned, a notary public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared ROGER HEDGECOCK, known to me to be the Mayor, and CHARLES G. ABDELNOUR, known to me to be the City Clerk of The City of San Diego, the municipal corporation that executed the within instrument, and known to me to be the persons who executed the within instrument on behalf of the municipal corporation therein named, and acknowledged to me that such municipal corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal in the County of San Diego, State of California, the day and year in this dertificate first above written.

RUTH E. KLAUER NOTARY PUBLIC - CALIFORNIA

PRINCIPAL OFFICE IN
SAN DIECO COUNTY
Notary Public in and for the County
of San Diego, State of California

The undersigned Permittee, by execution hereof, agrees to each and every condition of this Conditional Use Permit and promises to perform each and every obligation of Permittee hereunder.

THE SIGNAL COMPANIES,

STATE OF CALIFORNIA

1657 SS.

COUNTY OF San Diego On this the 18th day of September me, the undersigned Notary Public, in and for said County and State

personally appeared MARC I. STERN

resolution of it's board of directors.

proved to me on the basis of satisfactory evidence to be the President, Administration

proved to me on the basis of satisfactory evidence to be SECRETARY of the corporation that executed the within instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the within instrument pursuant to its by-laws or a

FOR NOTARY SEAL OR STAMP

OFFICIAL SEAL Nancy Mullane Lechien

NGTARY PUBLIC-CALIFORNIA PRINCIPAL OFFICE IN SAN DIEGO COUNTY My Commission Expires May 21, 1985

Rev. 6-82) Cal-374 Ack. Corporation (I

(R-85-347)

RESOLUTION NUMBER R- 261434

ADOPTED ON AUG 21 1984

WHEREAS, THE SIGNAL COMPANIES, a Delaware corporation,
"Owner/Permittee," filed an application for a Conditional Use
Permit to construct and operate a ground level helistop for
private use on an 8.7-acre site located easterly of North Torrey
Pines Road, between Callan Road and Torrey Pines State Reserve,
described as Lot 15, Torrey Pines Science Park, Unit No. 3, Map
No. 9230, in the SR Zone of the University North Community Plan
area; and

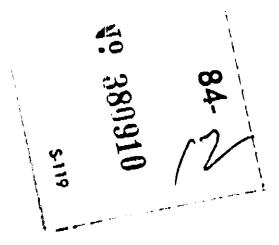
WHEREAS, on June 21, 1984, the Planning Commission of The City of San Diego made its findings of fact, approved Conditional Use Permit No. 83-066, and filed said decision in the office of the City Clerk on June 29, 1984; and

WHEREAS, said Conditional Use Permit No. 83-0600, pursuant to Section 101.0507 of the San Diego Municipal Code, was set for public hearing on August 21, 1984, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego as follows:

All of the following facts exist with respect to Conditional Use Permit No. 83-0600:

PAGE 1 OF 9



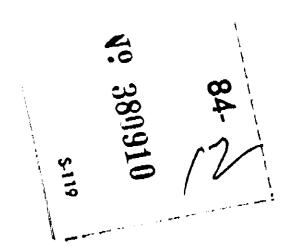
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- 1. The proposed helistop would not be detrimental to the health, safety and general welfare of persons residing or working in the vicinity, nor injurious to property or investments in the area. All appropriate state and federal agencies have reviewed the proposal and have not indicated objection to the proposed use. This Council believes that the facility would provide a service to the industrial community and would enhance the health, safety and general welfare by providing emergency transportation services when needed.
- 2. The proposed use will comply with all the relevant regulations in the Municipal Code. Section 101.0507A.1 of the San Diego Municipal Code grants this Council, following Planning Commission recommendation, authority to approve a helistop in any zone by a Conditional Use Permit. This Council believes that appropriate conditions exist in this case to grant the permit for such helistop.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that this Council does hereby grant to THE SIGNAL COMPANIES, a Delaware corporation, Owner/Permittee, Conditional Use Permit No. 83-0600 in the form and with the terms and conditions as set forth in the permit attached hereto and made a part hereof.

PAGE 2 OF 9



APPROVED: John W. Witt, City Attorney

Frederick C. Conrad

Chief Deputy City Attorney

FCC:ib:632 08/23/84 Or.Dept:Clerk R-85-347

Form=r.helipadCUP

PAGE 3 OF 9

			,	ATTACHMI
	·	661		
Passed and ad	opted by the (Council of T	he City of San Dego	on AUG 21 198
by the following v			, , , , , , , , , , , , , , , , , , , ,	
YEAS: Mitchel	1, Cleator, M	1cColl, Jor	nes, Struiksma, Got	ch, Murphy,
Mayor H	edgecock.	**		
NAYS: None.			•	
NOT PRESENT:	Martinez.			· .
	. · · · · · · · · · · · · · · · · · · ·			
	AUTHENTIC	CATED BY:		
·	•	F	ROGER HEDGECOCK	
		•	The City of San Diego	o, California
		СНД	RLES G. ABDELNOUR	•
·			The City of San Die	go, California
/6± 41 \				
(SEAL)	By:	MAYDELL	L. PONTECORVO	D
	~,· <u> </u>			, Deputy
copy of RESOLUT	ion no. K -	_ 261	passe.	d and adopted by
the Council of The	City of San Di	ego, Califor	rnia on AU	<u>3 21 1984</u> .
			·	
			RLES G. ABDELNOUR	
·	Ci	ty Clerk of	The City of San Dieg	o, California
(SEAL)	By: //	Rayleec	L. Portuon	. Deputy
·	- 	//		

84-380910

FILED October

1984

OFFICE OF THE CITY CLERK

DOCUMENT NO.

83-0600

154 OCT -8 M 15 15

AUCHOUNTA MEDONATE

SAN DIEGO, CALIFORNIA Approved by R-261434 on Aug. 21,

(PERM CUP-83-0600-0)

The Signal Companies, a Delaware Corporation, Owner/Permittee - Conditional Use Permit - CUP Easterly of North Torrey Pines Road, between Callan Road and Torrey Pines State Reserve - Lot 15, Torrey Pines Science Park, Unit No. 3, Map No. 9230. Callan Road and Torrey

NO FEE

• 84

Zoning 390
Bldg Inspection 301
The Signal Companies
11255 N. Torrey Pine Planning 4A

Non-Order Search Doc: SD:1984 00380910 Torrey Pines Road CA 92037

The Signal Companies, Inc.
11255 North Torrey Pines Road
La Jolla, CA 92037
Attn: B. L. Azns

776

865268-2

RECORD ING REQUESTED BY
RECORDED REQUEST OF FIRST AMERICAN TITLE CO.
And When Recorded Mail To

Mail Tax Statements To

Same as Above Apr 310-110-14 GRANT DEED

84-080833

RECORDED IN OFFICIAL RECORDS OF SAN DIEGO COUNTY, CA.

1984 MAR 6 AM 8:00

VERA L. LYLE COUNTY RECORDER

RF ()

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, the City of San Diego, California, a municipal corporation, herein called "Grantor," hereby grants to SIGNAL COMPANIES, INC., herein called "Grantee," the following described real property, hereinafter referred to as the "Property:"

Lot 16, Torrey Pines Science Park No. 3 in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 9230, filed in the Office of the County Recorder of said County.

subject to all covenants, conditions, restrictions, rights of way, agreements, and easements of record, including but not limited to that certain agreement between Grantor and Grantee, dated December 12, 1983, relating to the property of which a memorandum relating to City Document RR2598212 is recorded in the Office of the County Recorder of the County of San Diego on March & 1984, File/Page No. 1983; the provisions whereof are hereby incorporated by reference in this Grant Deed.

EXCEPTING THEREFROM in favor of Grantor (to the extent now or hereafter validly excepted and reserved by parties named in deeds, leases and other documents of record), all oil, gas, hydrocarbon substances and minerals of every kind and character lying more than 500 feet below the surface, together with the right to drill into, through, and to use and occupy all parts of the SITE lying more than 500 feet below the surface thereof for any and all purposes incidential to the exploration for and production of oil, gas, hydrocarbon, substances or mineral from the SITE, but without, however, any right to use or disturb either the surface of the SITE or any portion thereof within 500 feet of the surface for any purpose or purposes whatsoever.

GRANTOR:

THE CITY OF SAN DIEGO

By Roya Deligent

Mayor of Said City

ATTEST

City Clerk of Said City

Grantee hereby accepts the foregoing grant, subject to all of the matters hereinabove set forth and referred to.

GRANTEE:

THE SIGNAL COMPANIES, INC.

Senior Vice President

Secretary

[ATTACH ACKNOWLEDGEMENTS]

And

EXHIBIT B

STATE OF CALIFORNIA) SS.

On this 1st day of March 1984, before me, the undersigned, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared ROGER HEDGECOCK, known to me to be the Mayor, and CHARLES G. ABDELNOUR, known to me to be the City Clerk of The City of San Diego, the municipal corporation that executed the within instrument, and known to me to be the persons who executed the within instrument on behalf of the municipal corporation therein named, and acknowledged to me that such municipal corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal in the County of San Diego, State of California, the day and year in this certificate first above written.

OFFICIAL SEAL

BARBARA J. BERRIDGE

NOTARY PUBLIC - CALIFORNIA

PRINCIPAL OFFICE IN

SAN DIEGO COUNTY

My Commission Expires March 29, 1985

| 数度(注)製度 | 注意機能を経済され、こ

Notery Public in and for the County of San Diego, State of California

FFICIAL RECORDS, SAN DIEGO COUNTY, VERA L. LYLE, RECORDE

STATE OF CALIFORNIA 88. COUNTY OF SAN DIEGO

On March 1, 1984 before me, the undersigned, a Notary Public in and for said County and State, appeared B. L. ARMS and C. NEIL ASH personally known to me to be the Senior Vice President and Secretary respectfully of THE SIGNAL COMPANIES, INC., a Delaware corporation, that executed the within instrument and acknowledged to me that said corporation executed the same.

WITNESS my hand and official seal the day and year first above written.

OFFICIAL SEAL JEANS CLARK PY PUBLIC CALIFORNIA FRINCIPAL OFFICE IN SAN CIEGO COUNTY My Commission Cubres October 1 1984

(SEAL)

Notary Public in and for said County and State

00127775-450

Recording Requested By CHICAGO TITLE COMPANY COMMERCIAL DIVISION When Recorded Mail To:

ARE-SD Region No. 68 Holding, LLC c/o Alexandria Real Estate Equities, Inc. 26 North Euclid Avenue Pasadena, California 91101 Attention: Corporate Secretary

Mail Tax Statement To:

ARE-SD Region No. 68 Holding, LLC c/o Alexandria Real Estate Equities, Inc. 26 North Euclid Avenue Pasadena, California 91101 Attention: Corporate Secretary

Space Above For Recorder's Use

APN: 310-110-13-00 and 310-110-14-00

DOCUMENTARY TRANSFER TAX \$ 107, 250.00

[X] Computed on full value of property conveyed; or [] Computed on full value less liens & encumbrances remaining thereon at the time of sale.

Signature of declarant or agent determining tax - firm name

Exempt from fee per GC 27388.1 (a) (2); recorded concurrently in connection with a transfer subject to the imposition of documentary transfer tax

DOC# 2020-0401034

Jul 23, 2020 04:59 PM

OFFICIAL RECORDS Ernest J. Dronenburg, Jr.,

PCOR: AFNF

SAN DIEGO COUNTY RECORDER FEES: \$107,299.00 (SB2 Atkins: \$0.00)

PAGES: 6

GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, National University, a Non-Profit Public Benefit California Corporation ("Grantor"), hereby GRANTS to ARE-SD Region No. 68 Holding, LLC, a Delaware limited liability company ("Grantee"), the real property in the City of San Diego, County of San Diego, State of California, more particularly described on Exhibit A attached hereto, together with all improvements thereon and appurtenances thereto ("Property").

THIS GRANT DEED is made and accepted upon all covenants, conditions, restrictions, reservations, easements and exceptions of record.

Date: 7, 21, 20

National University,

a Non-Profit Public Benefit California Corporation

Its VICE CHANGE OF FINANCE

SMRH:4838-5733-3955.1 070120

.

Order: 150980 Doc: SD:2020 00401034 -1-

0100-922173

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego

On July 21, 2020, before me, Lisa Michale Harris, a Notary Public, personally appeared Dave Lawrence, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



SMRH:4838-5733-3955.1 070120

0100-922173

Order: 150980 Doc: SD:2020 00401034

EXHIBIT A TO GRANT DEED

11255 N. Torrey Pines Road:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A1:

LOT 15, TORREY PINES SCIENCE PARK NO. 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 9230, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL A2:

NON-EXCLUSIVE EASEMENTS FOR INGRESS, EGRESS, FOR VEHICULAR AND PEDESTRIAN ACCESS, AS DESCRIBED IN THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND EASEMENT AGREEMENT, DATED JUNE 7, 1996, EXECUTED BY AND BETWEEN M&S BALANCED PROPERTY FUND, L.P., A CALIFORNIA LIMITED PARTNERSHIP AND NATIONAL UNIVERSITY, A CALIFORNIA NON-PROFIT PUBLIC BENEFIT CORPORATION, SUBJECT TO THE TERMS AND PROVISIONS CONTAINED THEREIN, RECORDED JUNE 12, 1996 AS FILE NO. 1996-0294055 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA.

APN:310-110-13-00

11355 N. Torrey Pines Road:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL B1:

LOT 16, TORREY PINES SCIENCE PARK NO. 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 9230, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM, ALL OIL, GAS, HYDROCARBON SUBSTANCES AND MINERALS OF EVERY KIND AND CHARACTER LYING MORE THAN 500 FEET BELOW THE SURFACE, TOGETHER WITH THE RIGHT TO DRILL INTO, THROUGH, AND TO USE AND OCCUPY ALL PARTS OF THE PROPERTY LYING MORE THAN 500 FEET BELOW THE SURFACE THEREOF FOR ANY AND ALL PURPOSES INCIDENTAL TO THE EXPLORATION FOR AND PRODUCTION OF OIL, GAS, HYDROCARBON, SUBSTANCES OR MINERALS FROM THE PROPERTY, BUT WITHOUT, HOWEVER, ANY RIGHT TO USE OR DISTURB EITHER THE SURFACE OF THE PROPERTY OR ANY PORTION THEREOF WITHIN 500 FEET OF THE SURFACE FOR ANY PURPOSE OR PURPOSES WHATSOEVER, AS RESERVED IN GRANT DEED RECORDED MARCH 6, 1984 AS INSTRUMENT NO. 84-8088330F OFFICIAL RECORDS.

PARCEL B2:

NON-EXCLUSIVE EASEMENTS FOR INGRESS, EGRESS, FOR VEHICULAR AND PEDESTRIAN ACCESS, AS DESCRIBED IN THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND EASEMENT AGREEMENT, DATED JUNE 7, 1996, EXECUTED BY AND

SMRH:4838-5733-3955.1 070120 -1-

0100-922173

Order: 150980 Doc: SD:2020 00401034 BETWEEN M&S BALANCED PROPERTY FUND, L.P., A CALIFORNIA LIMITED PARTNERSHIP AND NATIONAL UNIVERSITY, A CALIFORNIA NON-PROFIT PUBLIC BENEFIT CORPORATION, SUBJECT TO THE TERMS AND PROVISIONS CONTAINED THEREIN, RECORDED JUNE 12, 1996 AS FILE NO. 1996-0294055 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA.

APN: 310-110-14-00

SMRH:4838-5733-3955.1 070120 -2.

0100-922173

CERTIFICATE PURSUANT TO CALIFORNIA CORPORATIONS CODE SECTION 5912

The undersigned being duly sworn does hereby declare and certify under oath that the following statements are true and correct:

- 1. The undersigned is the duly elected and currently serving Secretary of National University, a California nonprofit public benefit corporation (the "Corporation").
- 2. This Certificate is attached to and being recorded along with that certain Grant Deed (the "Deed") from the Corporation, as Grantor, to ARE-SD Region No. 68 Holding, LLC, as Grantee, dated July ___, 2020, conveying the real estate described in the Deed (the "Property"). The transfer of the Property pursuant to the Deed is in furtherance of a concurrent sale transaction between the Grantor and Grantee (hereafter the "Transfer").
- 3. The Transfer has been validly approved by the Board of Directors of the Corporation.
- 4. The Transfer has been validly approved by all persons whose approval is required by the Corporation's Articles and Bylaws, including without limitation the Shareholders and Members of the Corporation. Additionally, the Transfer is duly authorized by virtue of the existence of one or the other of the following facts: The Property constitutes less than substantially all of the assets of the Corporation.
- 5. The Property is not and the Corporation does not operate or control a "health facility" (as defined in California Health and Safety Code §1250), and therefore no notice is required to the Attorney General pursuant to CCC Section 5914.
- 6. The Transfer is not pursuant to or in furtherance of a plan of dissolution adopted by the Corporation.

This sworn certification is being executed pursuant to and in conformity with the provisions of California Corporations Code Section 5912.

Date: July 21, 2020

National University,

a Non-Profit Public Benefit California Corporation

DAVE VAWRENCE

. FINANIT

Page 1 of 2

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California County of San Diego

On July 21, 2020, before me, Lisa Michelle Tarris, a Notary Public, personally appeared Laurence, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



Cal Corp Code §5912 Cert

Page 2 of 2

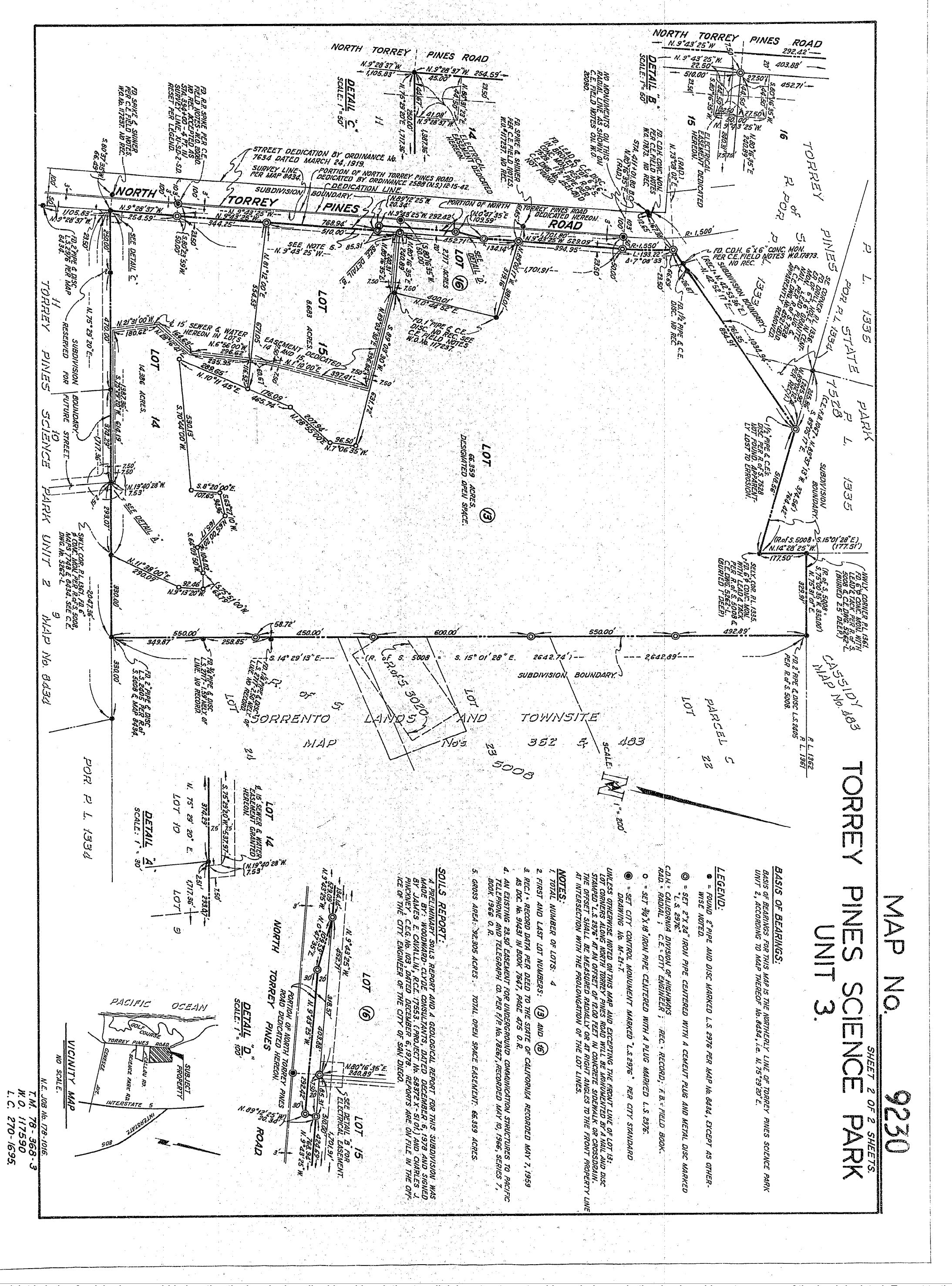
D 1361 OF THE CALIFORNIA, A FILED IN THE NO. 36.

THE CITY OF SAM SIEDA A PRINCIPAL CORPORATION, BY.

LOSS PRESEND ATTEMNED THE SUBCRISTION TO BE COMM TO THE CONTROL OF THE COMM TO THE STREET OF THE STREET

BY A B would DATED:

This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

Order: 150980 Doc: SD:M 9230

WATER NOTES ALL CONNECTIONS TO EXISTING WATER MAINS ARE TO BE DONE BY THE CITY'S WATER UTILITIES DEPARTMENT FOR WHICH THE FOLLOWING FEES WILL BE CHARGED: IF THE CONNECTIONS ARE NOT READY TO BE MADE AND THE FEES PAID BEFORE OCTOBER 1, 1985, THE CITY RESERVES THE RICHT TO ADJUST THE FEES ACCORDING TO THE FEE SCHEDULE IN EFFECT AT THE TIME THE CONNECTION IS MADE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXPOSE THE EXISTING MAIN AT THE CONNECTION POINT AND TO INSTALL THE NEW MAIN AT THE ALIGNMENT AND GRADE WHICH WILL PERMIT THE CITY TO MAKE A "STRAIGHT IN" CONNECTION WITHOUT USING MORE THAN 10 LINEAL FEET OF PIPE. CONNECTION NO. 1 - \$240.00 - 4" WET TAP 24 ALL VALVES ARE TO BE FLANGED TO TEES & CROSSES. ALL DUCTILE AND GRAY CAST IRON FITTINGS, VALVES, AND APPURTE-NANCES DIRECTLY BURIED IN THE GROUND SHALL BE WRAPPED WITH POLYETHYLENE FILM IN CONFORMANCE WITH SECTION 5.4 OF AWWA C105.

GRADING SPECIFICATIONS:

- 1. ALL GRADING SHALL BE DONE UNDER THE OBSERVATION OF A QUALIFIED SOILS ENGINEER AND ENGINEERING GEOLOGIST, AND IN ACCORDANCE WITH THE RECOMMENDATION AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT ENTITLED PRELIM. SOIL INVESTIGATION & GEOLOGIC RECONNAISSANCE PROJECT NO. 58372X-SID1 ALSO SEE UPDATE SOIL STUDY PROJECT NO. 52152N-UD01 WOODHARD-CLYDE CONSULTANTS
- 2. ALL FILL MATERIAL SHALL BE COMPACTED TO 90% OR BETTER AND 95% WHERE REQUIRED BY SOILS REPORT. REPORTS TO BE SUBMITTED TO THE CITY'S RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF WORK.
- 3. AT THE COMPLETION OF THE GRADING OPERATIONS, AN AS-GRADED SOILS REPORT WILL BE PREPARED. ONE COPY OF THIS REPORT WILL BE SUBMITTED TO THE FIELD INSPECTION OF THE CITY ENGINEER'S OFFICE WITHIN 15 DAYS OF THE COMPLETION OF GRADING.
- 4. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFI-CATIONS OUTLINED IN THE REPORT OF SOILS INVESTIGATION PREPARED FOR THIS DEVELOPMENT.

Joseph 9 Krischen R.C.E. NO. 23060 DATE 10-17-54

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

> NASLAND ENGINEERING 4855 RUFFNER ST. SAN DIEGO, CALIF. 24" X 24" ACCESS PANEL HITH HATER TIGHT GASKET 92111

> > TES:
> > TANK WILL HOLD 471 GAL OF
> > HATER AT ALL TIMES EXCEPT
> > WHEN THERE IS A FUEL/OIL
> > SPILL

PAD DRAIN

- PAD EL. 360.00

FINISH ELEVATION

REV 11-29-84 S.D.N.

2. THERE IS 314 GAL OF FUEL RETENTION

SAFFLES 1/4" PLATE HELD ALL AROUND

TYPICAL HOUNTING BRACKET. WELD TO TANK AND BOLT TO CONC. PAD WITH (2) 3/4" DIA. BOLTS. TANK TO BE STEEL PLATE GALVANIZED id. I want of the second HELD STUDS TO TANK OR HELD NUTS INSIDE TO REC. CAP SCRENS (TYP. 18 PLACES) O 6" INLET WELD-8" X 8" ACCESS WITH WATER TIGHT 8" X 8" ACCESS WITH GASKET HELD 3/4" NIP. FOR FLOAT VALVE

PLAN 1/2" NATER SUPPLY FROM BACKFLON PREVENTOR ABOVE 1/2" GATEVALVE BAFFLE 1/4" PLATE WELD ALL AROUND LEVEL I.E. 362.42 6" OUTLET

> FUEL/OIL SEPARATOR FOR HELISTOP PAD NO SCALE

SECTION

NOTES:

- 1. GRADING AS SHOWN ON THESE PLANS AND IN CONFORMANCE WITH CITY STANDARD DRAWINGS SDL-101 & SDL-102, CURRENT STANDARD SPECIFICATION AND DIVISION 4, SECTION 62 OF THE SAN DIECO MUNICIPAL CODE.
- 2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY DIVISION 4, SECTION 62, OF THE SAN DIEGO MUNICIPAL CODE AND ACCORDING TO CITY ENGINEER'S SPECIFICATION FOR LANDSCAPING AND IRRIGATION FOR LAND DEVELOPMENT, DOCUMENT 746395, FILED FEBRUARY 20, 1974.
- 3. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR INFORMATION ONLY. SEPARATE BUILDING PERMIT AND INSPECTION WILL BE REQUIRED FROM THE BUILDING INSPECTION DEPARTMENT FOR THEIR CONSTRUCTION.

SPECIAL NOTES:

THE FOLLOWING NOTES ARE PROVIDED TO CIVE DIRECTIONS TO THE CONTRACTOR BY THE ENCINEER OF WORK. THE CITY ENGINEER'S SIGNATURE ON THUSE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE HOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.

- 1. ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTLEY THE CITY OF SAN DIEGO 48 HOURS EEFORE BECINNING OF WORK AND TO CALL FOR INSPECTION 24 HOURS IN ADVANCE. ANY WORK PERFORMED WITHOUT INSPECTION WILL BE SUBJECT TO REJECTION AND REMOVAL.
- ALL ON-SITE WORK, OTHER THAN GRADING, IS FOR REFERENCE ONLY, SEPARATE BUILDING PERMITS WILL BE REQUIRED.
- 4. UNPAVED AREAS TO SLOPE AT NOT LESS THAN 1%.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSE BILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN THE CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- EARTHWORK QUANTITIES TO BE VERIFIED BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, MAINTAINING, RE-LOCATING AND/OR REMOVAL OF EXISTING UTILITIES.
- LALL OPERATIONS CONDUCTED ON PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHNOVING EQUIPMENT AND OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 AM AND 6:00 PM FOR EACH MANDAY THROUGH SATURDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.

BEFORE EXCAVATION, VERIFY LOCATION OF UNDERGROUND UTILITIES CONTACT:

TELEPHONE COMPANY.....800-422-4133 COMMUNICATIONS DIVISION.....236-5505

EXCAVATION: 196 CU. YDS.

EMBANKMENT: 428 CU. YDS.

IMPORT/EXPORT: 232 CU. YDS. MINPORT

U.S.C.&G.S. "HIWAY" MONUMENT.

PRIOR TO THE ACCEPTANCE OF THE HYDROGEEDED AREAS BY THE CITY'S RESIDENT ENGLHEER, A CERTIFICATION REPORT MUST BE SUBMITTED BY A RECISTERED LANDSCAPE ARCHITECT, STAVING THAT THE HYDROGEEDING WAS DONE ACCORDING TO THE PROJECT SPECIFICATION AND THAT ITS GROWTH IS ADEQUATELY ESTABLISHED TO PREVENT EROSION.

ALA GRADED AREAS WILL BE LANDSCAPED AND IRRIGATED TO STABILIZE SURFACE UNDER SEPARATE CONTRACT AND BUILDING DEPARTMENT PERMIT. PROVIDE TEMPORARY EROSION CONTROL BY HYDROSEED ING IMMEDIATELY AFTER LOT 15 OF TORREY PINES SCIENCE PARK UNIT 3 GRADING WITH 900 POUNDS OF WOOD FIBER PER ACRE AND 250 POUNDS OF ANNUAL RYE GRASS PER ACRE.

116.66 FEET WEST OF CURB, STATION 370+10.78

shall not be used on any other projects, for addition

to this project, or for completion of this project

appropriate compensation for Nasland Engineering.

others, except with an agreement in writing and wit

LEGAL DESCRIPTION:

ACCORDING TO MAP THEREOF NO. 9230

SITE ADDRESS: 11255 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037

PROJECT ENGR: CR NOLAND

DESIGNED BY: S D NASLAND

DRAWN BY: S D NASLAND

DATE PRINTED PED 12 1985

ENGINEERING PERMIT NO GRADING PLAN FOR OF TORREY PINES SCIENCE PARK UNIT 3 MAP NO. 9230

CITY OF SAN DIEGO, CALIFORNIA

ENGINEERING DEPARTMENT SHEET / OF 2 SHEETS

그렇게 하다 그는 그는 이 사람들이 가장 되었다. 그는 사람들은 사람들이 되었다. 그는 사람들이 가장 그를 모든 것이 되었다. 그는 사람들이 살아	NASLAND ENGINEERING	7.
ELEVATION = 439,50 M.S.L.	CIVIL ENGINEERING SURVEYING LAND PLANNING 4855 RUFFNER STREET, SAN DIEGO, CALIFORNIA, 92111 292-7770	
Drawings and Specifications as instruments of services are and shall remain the property of Nasland Engineering whether the project for which they are made	9-5-84	- Z
is executed or not. The Drawings and Specifications	CURT R. NOLAND / R.C.E. 35205 DATE	

DATE: MAY 1984

SCALE: AS SHOWN

JOB NO: 183 - 1136

NASLAND NASLAND CAJULA 2-8-85 A CHANGE DATE COMPLETED_

PRIVATE CONTRACT

STANDARD SPECIFICATIONS

- 1. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (1982 ED.)
- 2. STANDARD SPECIAL PROVISIONS, AND
- 3. CITY OF SAN DIEGO STANDARD SPECIAL PROVISIONS, DOCUMENT NO. 768688, FILED MAY 5, 1983.
- 4. STANDARD SPECIAL PROVISIONS ADDENDUM PERTAINING TO STREET LIGHTING, DOCUMENT NO. 768664, FILED APRIL 8, 1983.
- 5. CALLFORNER DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROLS, WARNING SIGNS, LIGHTS AND DEVICES FOR USE IN PERFORMANCE OF WORK UPON HIGHWAYS", (1977 ED.), DOCUMENT NO. 767526, FILED JANUARY 1, 1980.

STANDARD DRAWENCS:

LEGEND:

- 1 SAN DIEGO REGIONAL STANDART BRAWLINGS (1982 ED.) AND
- 2. CITY OF SAN DIEGO STANDARD DRAWINGS, DOCUMENT NO. 768710, FILED * 1 - JUNE 22, 1983.

EXISTING CONTOUR. 1 (TYPICAL)	——360——
EXISTING RETAINING WALL	367 50
FINISH SPOT ELEVATION	- Jei
EXISTING TREES	
EXISTING STORM URAIN	
XXISTING BROW DITCH	
EXISTING ENERGY DISSIPATOR	
EXISTING PRIVATE CATCH BASUN	
EXISTING TRENCH DRAIN	
경기를 보고 있다. 그는 사람들은 사람들이 되는 것이 되었다. 그는 사람들은 사람들이 되었다. 그는 사람들이 되었다. 1987년 - 1988년	
PROPOSED PRIVATE DRAIN (6" P.V.C.)	
PROPOSED PRIVATE CLEANOUT DETAIL SHT 2	
PROPOSED BROW DITCH (REINFORCED)D-75.1	$\Rightarrow \Rightarrow$
PROPOSED 8' CONCRETE SIDEWALK (PRIVATE).G-7.1	1 4 0 4
PROPOSED 81' DIAMETER CONCRETE PAD G-20	
PROPOSED CONC. PAD & FIRE HOSE REEL	
PROPOSED CONC. PAD & BLADDER TANK	
PROPOSED CONC. PAD & FUEL SEPARATOR	
PROPOSED SURFACE FLOODEIGHT	
수는 발표하는 경기 기계를 가장하는 것이 되었다. 그는 사람들이 되었다. 그는 사람들이 되었다. 사람들은 사람들은 사람들은 사람들은 사람들은 사람들은 사람들이 되었다. 그는 사람들은 사람들은 사람들은 사람들은 사람들은 사람들은 사람들은 사람들은	
PROPOSTE FIRE-FOAM LINE	
PROPOSED 6' HIGH RETAINING WALL	CONTRACTOR OF THE CONTRACTOR O
PROPOSED 4" P.V.C. FIRE MAIN	W

A CHANGE; REVISED PAD ELEV., SHOWED RETAINING WALL

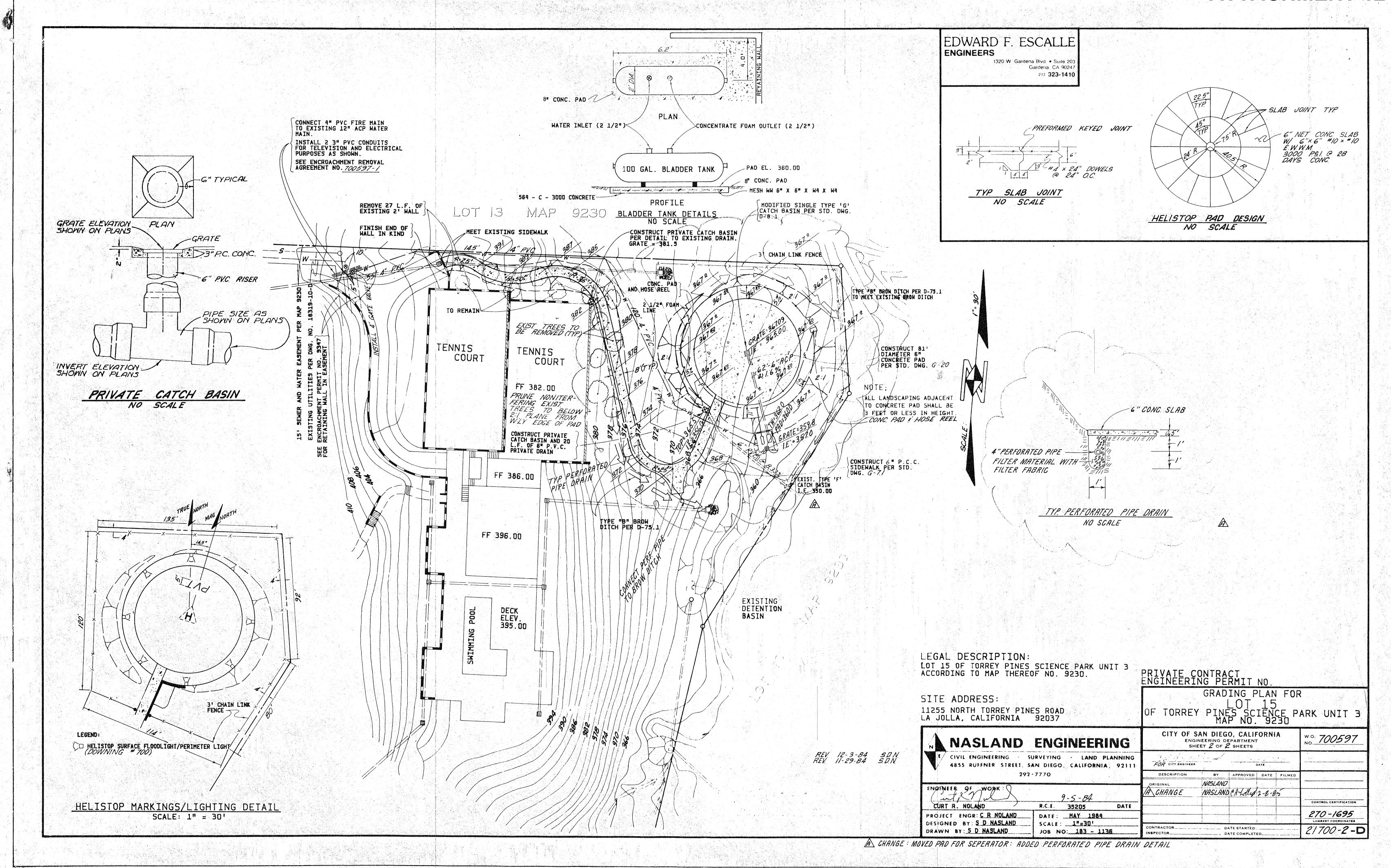
APPROVED DATE FILMED

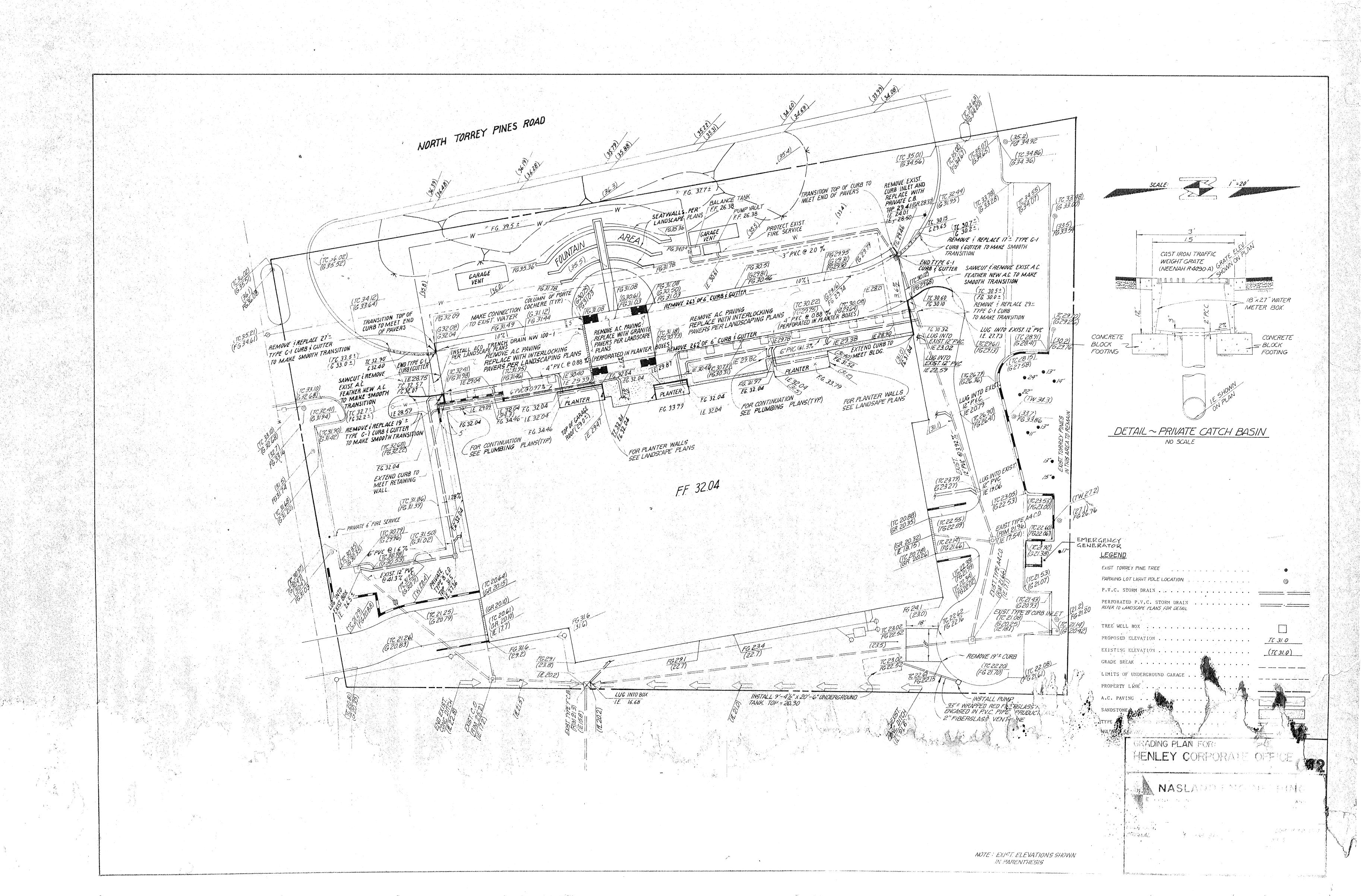
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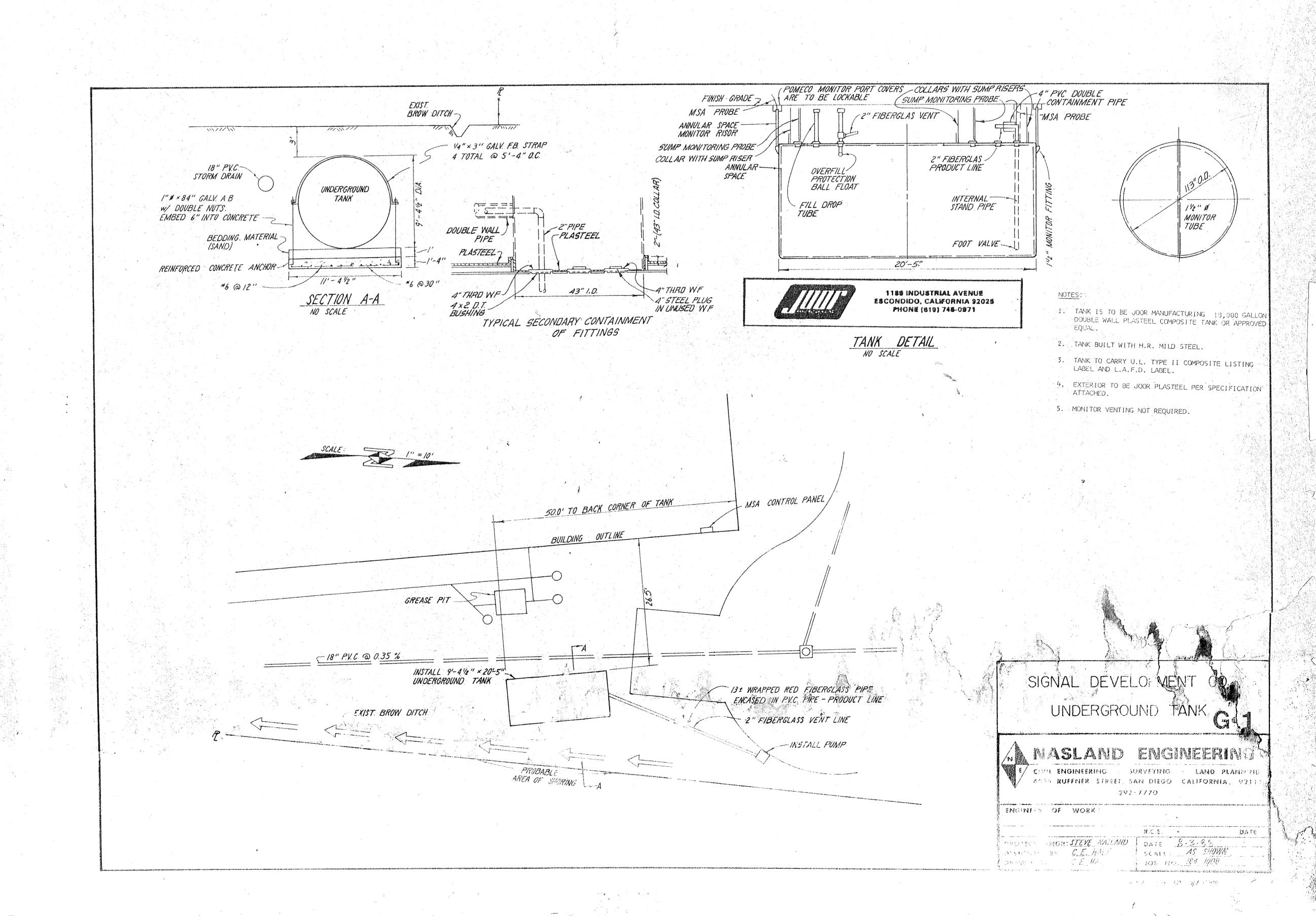
CONTROL CERTIFICATION

21700-1-1

270-1695









ATTACHMENT 13

10996 Torreyana Road

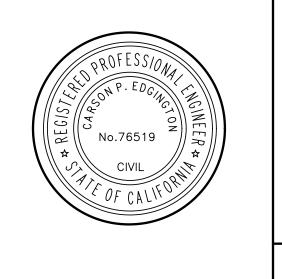
5620 FRIARS ROAD SAN DIEGO, CA 92110 619.291.0707

(619)325-1990

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS, INC.
1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108 (619)232-4673

MECHANICAL / PLUMBING ENGINEER:
DEC ENGINEERS, INC.
7360 CARROLL ROAD, SUITE 100, SAN DIEGO
CA 92121
(858)578-3270

ELECTRICAL ENGINEER:
MPE CONSULTING
10807 THORNMINT ROAD, SUITE 200, SAN (858)673-4445



ONE ALEXANDRIA NORTH

> Issue Date 09/28/2022

MARK DATE DESCRIPTION

691942 24008957 SHEET ISSUE DATE 09/28/2022

SHEET NUMBER

57 TOTAL SHEETS

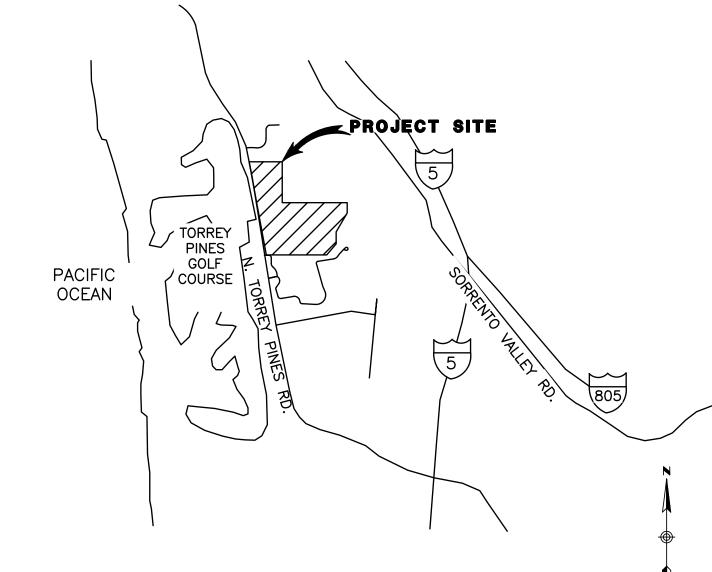
ONE ALEXANDRIA NORTH

11255 AND 11355 NORTH TORREY PINES ROAD, SAN DIEGO, CA 92121 COSTAL DEVELOPMENT PERMIT/NEIGHBORHOOD DEVELOPMENT PERMIT/TENTATIVE PARCEL MAP CDP NO. 2570682/NDP NO. 2570684/TPM NO. 2570686





VICINITY MAP



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GROSS AREA PLANS AND TABLES

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ISSUE DATE | SHEET NO. |

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SAN FRANCISCO, CA 94108 PHONE (415) 981-1100 www.nbbj.com

ALEXANDRIA 10996 Torreyana Road San Diego, CA 92121

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5620 FRI	ARS RC)AD	
SAN DIEC	GO, CA	92110	
619.291.0			
(FAX)619.			

ALEXANDRIA REAL ESTATE EQUITIES, INC 10996 TORREYANA RD. SUITE 250, SAN DIEGO, CA 92121 12626 HIGH BLUFF DRIVE, SUITE #250, SAN

(858)939-9780 88 KEARNY STREET, SUITE 900, SAN FRANCISCO, CA 94108 15)981-1100 620 FRIARS ROAD, SAN DIEGO, CA 92110 (619)291-0707

IEGO, CA 92130

LANDSCAPE ARCHITECT: ROUNDLEVEL LANDSCAPE ARCHITECTURE, 605 STATE STREET, SUITE B SAN DIEGO. (619)325-1990 STRUCTURAL ENGINEER: OFFMAN ENGINEERS, INC. 1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108

IECHANICAL / PLUMBING ENGINEER: C ENGINEERS INC. 360 CARROLL ROAD, SUITE 100, SAN DIEGO A 92121 (858)578-3270 ECTRICAL ENGINEER 10807 THORNMINT ROAD, SUITE 200, SAN

(619)232 - 4673

DIEGO, CA 92127

(858)673-4445

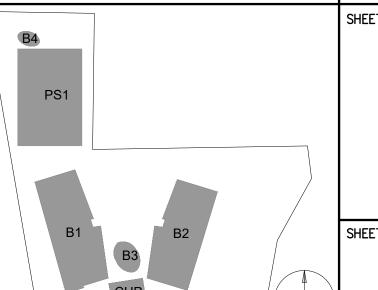
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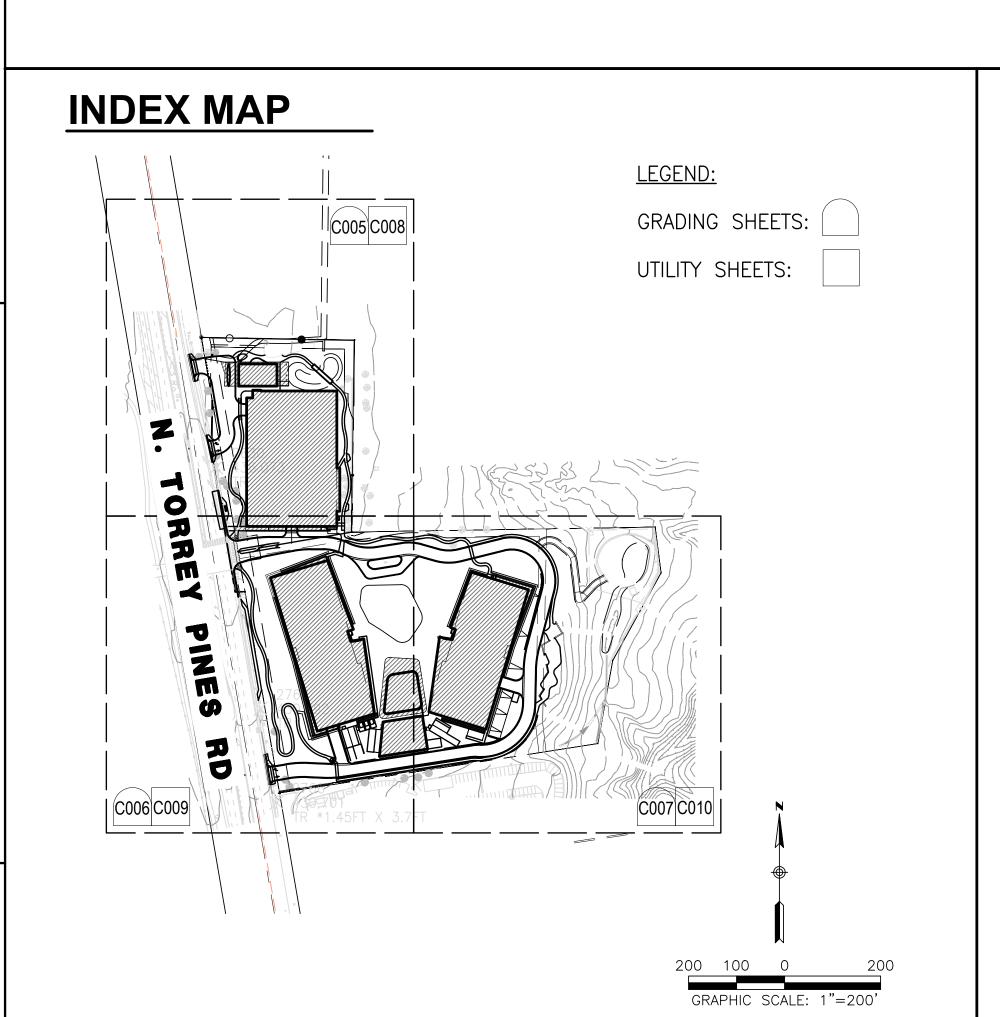
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TITLE SHEET

ONE ALEXANDRIA NORTH

11255 & 11355 NORTH TORREY PINES ROAD, SAN DIEGO, CA 92037 ENTITLEMENT PERMIT SUBMITTAL



DEVELOPMENT SUMMARY ARE ONE ALEXANDRIA NORTH IS A RESEARCH AND DEVELOPMENT SITE LOCATED ON NORTH TORREY PINES ROAD. THE DEVELOPMENT

 B1: 127.008 GSF BUILDING CONTAINING LAB AND OFFICE SPACE • B2: 115,501 GSF BUILDING CONTAINING LAB AND OFFICE SPACE • B3: 3,358 GSF BUILDING CONTAINING AMENITY SPACE • B4: 10,632 GSF BUILDING CONTAINING AMENITY SPACE • P1: PARKING STRUCTURE

PROJECT SITE INFORMATION: SITE ADDRESS: 11255 & 11355 NORTH TORREY PINES ROAD, ASSESSOR'S PARCEL NUMBER: 310-110-13-00 & 310-110-14-00

SITE AREAS: GROSS SITE AREA 11.4 ACRES LANDSCAPE AREA 3.8 ACRES HARDSCAPE AREA 2.4 ACRES ZONING: IP-1-1

• CUP: CENTRAL UTILITY PLANT

-COASTAL HEIGHT LIMIT OVERLAY

-MULTI HABITAT PLANNING AREA (MHPA)

PROPOSED USE: RESEARCH AND DEVELOPMENT

-MCAS MIRAMAR-ACCIDENT POTENTIAL ZONE 2 (MCAS MIRAMAR APZ II) -COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ-B) -COASTAL OVERLAY ZONE

-FIRST PUBLIC ROADYWAY (COASTAL) -VERY HIGH FIRE HAZARD SEVERITY ZONES/FIRE BRUSH ZONE 30' BUFFER -PRIME INDUSTRIAL LANDS ENVIRONMENTALLY SENSITIVE LANDS (ESL'S)

PARKING IMPACT OVERLAY ZONE (PIOZ-COASTAL-IMPACT & PIOZ-BEACH-IMPACT) **COMMUNITY PLAN:** UNIVERSITY COMMUNITY PLAN **EXISTING USE:** NATIONAL UNIVERSITY HEADQUARTERS OFFICE

SOURCE OF TOPOGRAPHY: TOPOGRAPHIC INFORMATION COMPILED BY PHOTOGRAMMETRIC METHODS AND SHOWN ON THE A.L.T.A. SURVEY, DATED 04/03/2020, PREPARED BY FUSCOE ENGINEERING; AND SUPPLEMENTED BY A LIMITED FIELD SURVEY OBTAINED ON 03/31/2021 AND 05/21/2021 BY RICK ENGINEERING COMPANY.

THE BENCHMARK FOR THIS SURVEY IS THE NORTH BRASS PLUG AT THE INTERSECTION OF INDUSTRIAL COURT AND SORRENTO VALLEY ROAD ELEVATION: 17.112, MSL, BASED ON NGVD 29 FEET DATUM AS SHOWN IN

THE CITY OF SAN DIEGO BENCHMARK BOOK NAD-27 COORDINATE: 270-1695 **NAD-83 COORDINATE:** 1912-6255 **GEOLOGIC HAZARD CATEGORY:** 51 & 53 LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS LOT 15, TORREY PINES SCIENCE PARK UNIT 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 9230, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID

[APN: 310-110-14-00] LOT 16, TORREY PINES SCIENCE PARK UNIT 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 9230, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID

Basis of Bearings and Coordinates: the Bearings and Coordinates

SHOWN HEREON ARE BASED UPON CONTROL POINTS 584 AND 618 AS LISTED IN THE RECORD OF SURVEY FILED AS R.O.S. MAP NO. 14492 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY. CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE V (1991.35 EPOCH) EXISTING BUILDING INFORMATION:

ADDRESS: 11255 NORTH TORREY PINES ROAD, SAN DIEGO, CA 92037

YEAR CONSTRUCTED: OCTOBER 1979 BUILDING TO BE DEMOLISHED ADDRESS: 11355 NORTH TORREY PINES ROAD, SAN DIEGO, CA 92037 YEAR CONSTRUCTED: MAY 1990

BUILDING TO BE DEMOLISHED PROPOSED UTILITIES:

THERE ARE NO OVERHEAD UTILITIES PROPOSED FOR THIS PROJECT.

PROPOSED ENTITLEMENTS: COASTAL DEVELOPMENT PERMIT (CDP) NO. 2570682 NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) NO. 2570684 TENTATIVE PARCEL MAP (TPM) NO. 2570686

PARKING SUMMARY

PROJECT SITE SUMMARY MINIMUM STALLS REQUIRED PER ZONING: 695 STALLS (2.5 SPACES PER 1,000 SF, EXCLUDING 1,113 STALLS (4.0 SPACES PER 1,000 SF, EXCLUDING PARKING MAXIMUM STALLS PERMITTED: GROSS FLOOR AREA: 256,500 SF AREAS CONTRIBUTING TO PARKING NEED: 278,195 SF 570 STALLS (2.05 SPACES PER 1,000 SF, EXCLUDING MCAS MAX PARKING (SUPERCEDES ZONING CODE): PARKING AREA) MOTORCYCLE PARKING REQUIRED: 11 STALLS (2% OF MINIMUM STALLS

REGULAR STALL PARKING PROVIDED (MCAS MAX): 554 STALLS PARKING DATA TABLE STANDARD PARKING STALLS PROVIDED: REGULAR ACCESSIBLE PARKING PROVIDED: VAN ACCESSIBLE PARKING STALLS REQUIRED* VAN ACCESSIBLE PARKING STALLS PROVIDED* ACCESSIBLE PARKING STALLS REQUIRED (SDM-117): ACCESSIBLE PARKING STALLS PROVIDED 570 STALLS TOTAL PARKING STALLS PROVIDED: EV CAPABLE/CHARGING STATIONS (EVCS): 35 STALLS (6% OF PROVIDED) CLEAN AIR VEHICLE PARKING/CARPOOL 59 STALLS (10% OF REQUIRED) 36 SPACES 36 SPACES LONG-TERM BICYCLE PARKING

GRADING TABULATIONS

ON-SITE GRADING DATA: TOTAL AMOUNT OF SITE TO BE GRADED: PERCENT OF TOTAL SITE TO BE GRADED: 75,000 CUBIC YARDS AMOUNT OF TOTAL CUT: 10.000 CUBIC YARDS AMOUNT OF TOTAL FILL: 65,000 CUBIC YARDS (EXPORT) AMOUNT OF IMPORT OR EXPORT: MAX. VERTICAL DEPTH OF CUT: MAX. OVERALL HEIGHT OF CUT SLOPE: 11 FEET, 2:1 MAX. SLOPE RATIO MAX. VERTICAL DEPTH OF FILL: 15 FEET, 2:1 MAX. SLOPE RATIO MAX. OVERALL HEIGHT OF FILL SLOPE: **RETAINING WALLS:** MAXIMUM EXPOSED HEIGHT:

SHORT-TERM BICYCLE PARKING:

THE PROPOSED DEVELOPMENT IS REQUESTING THE FOLLOWING SETBACK DEVIATIONS FROM THE SAN DIEGO MUNICIPAL CODE (SDMC) AND THE UCP CPOIZ-B, WHICH WILL BE PROCESSED THROUGH THE NDP. • 30' COMMERCIAL DRIVEWAY PER SDG-163 (DEVIATION FROM 25' MAX PER THE

MCAS MIRAMAR ALUCP MAXIMUM INTENSITY ALLOWED WITHIN APZ II
PROJECT AREA = 11.4 ACRES 50 PEOPLE PER ACRE X 11.4 ACRES = 570 PEOPLE (NTG) SQUARE FOOTAGE, NOT TO EXCEED 10% OF TOTAL

TERNATIVE CALCULATION (METHOD USED) SAN DIEGO MUNICIPAL CODE SECTION 132.1515(D) ALLOWS WITH AN NDP: ALTERNATIVE METHOD OF CALCULATION BASED UPON THE PROPOSED NUMBER OF PARKING SPACES ASSOCIATED WITH THE DEVELOPMENT OR AN ESTIMATE BASED ON A SURVEY OF SIMILAR

RESEARCH & DEVELOPMENT PARKING RATIO: 2.06 SPACES/1,000 SF = 1 SPACE/485 SF

= 450 SF/PERSON (EQUIVALENT LOAD FACTOR)

FAR = 0.52

450 SF/PERSON X 570 PERSONS = 256,500 SF

SAN DIEGO MUNICIPAL CODE SECTION 142.0560 (J) TABLE 142-05M) • ENCROACHMENT INTO 50' LANDSCAPE BUFFER ALONG NORTH TORREY PINES ROAD.

DEVELOPMENT INTENSITY SUMMARY

MAXIMUM FAR WITHIN APZ II = 0.34 (WITH AREA EXEMPTION FOR NON -TRIP GENERATING

496,584 SF X 0.34 = 168,838 SF

485 SF/PERSON (OCCUPANCY BY USE) / 1.08 PERSONS (ASSUMED VEHICLE OCCUPANCY)

SUBMITTED TO THE CITY

APPLICABLE CODES

FOLLOWING DOCUMENTS:

2021 CALIFORNIA ELECTRIC CODE

GENERAL NOTES

• 2021 CALIFORNIA FIRE CODE

2021 CALIFORNIA MECHANICAL CODE

CALIFORNIA BUILDING CODE, CHAPTER 11.

AMERICANS WITH DISABILITIES ACT GUIDELINES, AS

AMENDED, 28 CFR PART 36 AND 36 CFR 1911.

OF PUBLIC UTILITIES AND THE CITY ENGINEER.

AND CITY REGULATIONS, STANDARDS AND PRACTICES.

TRANSMISSION FACILITIES

CAMINO REAL RIGHT-OF-WAY

DRIVE, SATISFACTORY TO THE CITY ENGINEER

MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER

WITH THE COMMENCEMENT OF GRADING ACTIVITIES

STATE AND LOCAL BUILDING CODES AND ORDINANCES TO

INCLUDE BUT NOT LIMITED TO THE MOST CURRENT VERSION OF

ACCESSIBILITY REGULATIONS AS PRESCRIBED BY THE 2016

ALL LOCAL CODES AND ORDINANCES ADOPTED BY THE CITY

PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE

PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE

ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL

NEW WATER AND SEWER SERVICE(S), IF REQUIRED, OUTSIDE OF ANY DRIVEWAY,

ADJACENT TO THE PROJECT SITE, IN A MANNER SATISFACTORY TO THE DIRECTOR

SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE

DIRECTOR OF PUBLIC UTILITIES, FOR SIZING OF THE PROPOSED SEWER LATERAL

PRIOR TO THE ISSUANCE OF ANY CERTIFICATED OF OCCUPANCY. ALL PUBLIC

WATER AND SEWER FACILITIES SHALL BE COMPLETE AND OPERATIONAL IN A

6. THE OWNER/PERMITTEE SHALL DESIGN AND CONSTRUCT ALL PROPOSED PUBLIC

7. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE

CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A

GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE

OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER

PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT

THE APPLICANT MUST SECURE "SUBORDINATION AGREEMENTS" FOR MINOR

DISTRIBUTION FACILITIES AND/OR "JOINT-USE AGREEMENTS" FOR MAJOR

9. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE

10. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS. THE OWNER/PERMITTEE

12. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE

RIGHT-OF-WAY FREE AND CLEAR OF ALL ENCUMBRANCES AND PRIOR EASEMENTS.

SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT FOR THE

PRIVATE PAVERS, PRIVATE DRAINAGE PIPES, LANDSCAPE AND IRRIGATION IN THE EL

SHALL ASSURE. BY PERMIT AND BOND, THE CONSTRUCTION OF A CURRENT CITY

STANDARD, CURB RAMP, DRIVEWAYS, SIDEWALK, CURB AND GUTTER, ADJACENT TO THE SITE ON EL CAMINO REAL AND TOWNSGATE DRIVE, SATISFACTORY TO THE CITY

STREET DESIGN MANUAL-STREET LIGHT STANDARDS, AND COUNCIL POLICY 200-18,

SHALL OBTAIN A BONDED GRADING PERMIT FOR THE GRADING PROPOSED FOR THIS

PROJECT. ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF

SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY

TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF

SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE CITY ENGINEER

13. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL

ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP

14. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE

THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR

EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE 16. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER

15. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT. THE APPLICANT SHALL

SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND

APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN

ORDER NO. 2009-0009DWQ, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM

ACCORDANCE WITH ORDER NO. 2009-0009DWQ, OR SUBSEQUENT ORDER, A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER

POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY

17. PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WDID#) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PROOF OF ENROLLMENT

UNDER THE CONSTRUCTION GENERAL PERMIT. WHEN OWNERSHIP OF THE ENTIRE

FERMINATION (NOT), A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE

SITE OR PORTIONS OF THE SITE CHANGES PRIOR TO FILING OF THE NOTICE OF

STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET

FORTH IN SECTION II.C OF ORDER NO. 2009-0009-DWQ AND A COPY SHALL BE

18. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT. THE OWNER/PERMITTEE SHALL ENTER INTO AN AGREEMENT TO INDEMNIFY PROTECT AND HOLD HARMLESS THE

CITY, ITS OFFICIALS AND EMPLOYEES FROM ANY AND ALL CLAIMS, DEMANDS,

CAUSES OR ACTION. LIABILITY OR LOSS ARISING OUT OF SURFACE DRAINAGE

ENTERING INTO THE PROPERTY FROM THE RIGHT-OF-WAY

CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT,

WATER PERMIT, ORDER NO. R9-2013-0001, OR SUBSEQUENT ORDER. IN

THE OWNER/PERMITTEE SHALL ASSURE, BY PERMIT AND BOND TO INSTALL NEW STREET LIGHTS ADJACENT TO THE SITE ON EL CAMINO REAL AND TOWNSGATE

11. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, PER THE CITY OF SAN DIEGO

8. IT IS THE RESPONSIBILITY OF THE OWNER/PERMITTEE TO PROVIDE THE

WATER AND SEWER FACILITIES IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE

CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES

PRIVATE BACK FLOW PREVENTION DEVICE(S), ON EACH WATER SERVICE (DOMESTIC

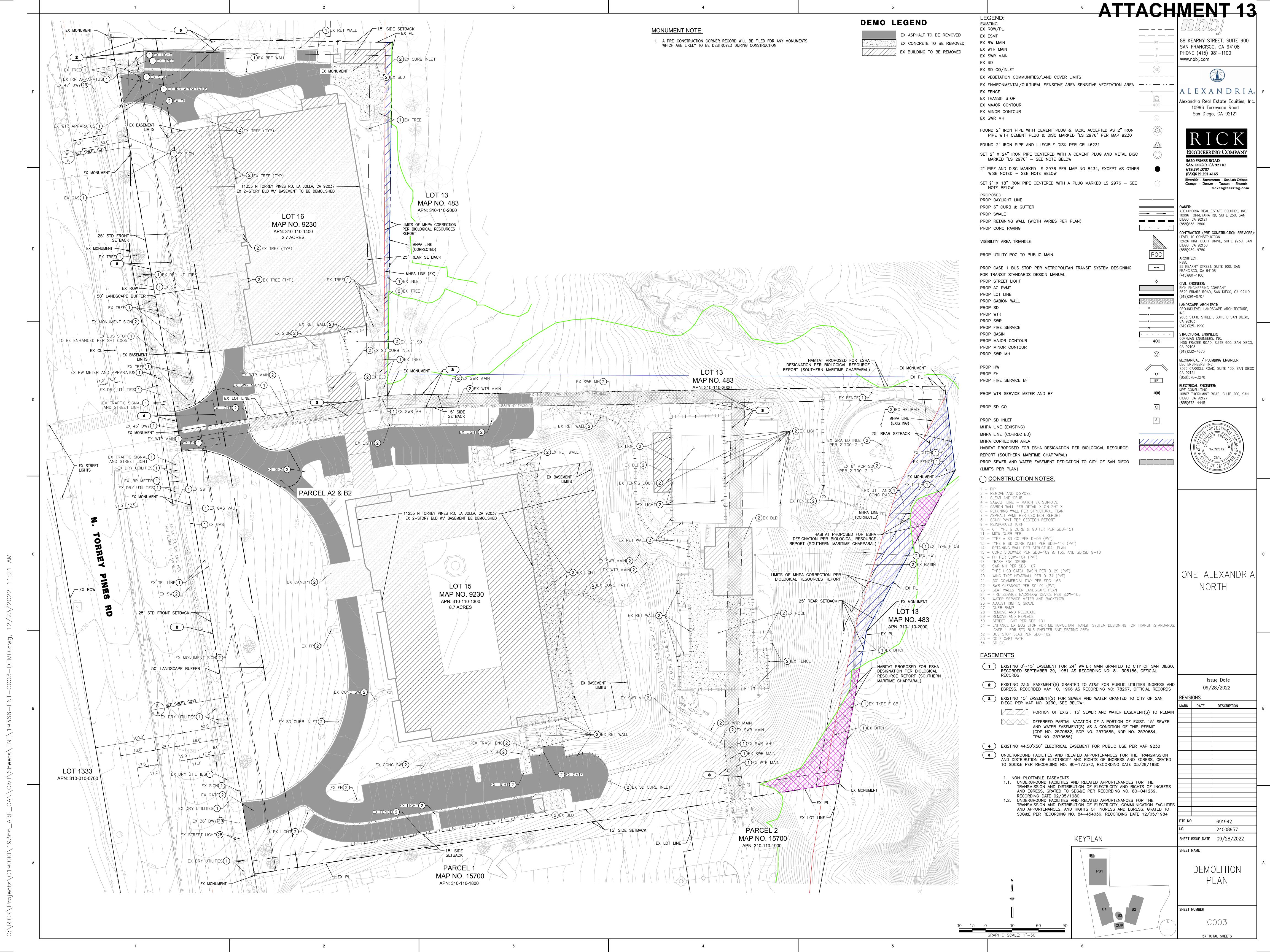
MOD MODIFIED		AB AC BB OR CUP CO DG DWY ELEC EX FC FF FGBW FSFW FSFW FF FL GB HELIPAD HORIZ IRR IE L/SX MDS MH MISC MAX MISC	CENTRAL UTILITY PLANT CLEANOUT DECOMPOSED GRANITE DRAWING DRIVEWAY ELECTRICAL ENCLOSURE EXISTING FACE OF CURB FINISH FLOOR FINISH GRADE FINISH GRADE FACE OF WALL FINISH GRADE FACE OF WALL FINISH SURFACE/FIRE SERVICE FINISH SURFACE FACE OF WALL FIRE HYDRANT FLAG POLE FLOW LINE GRADE BREAK HEADWALL HELICOPTER LANDING PAD HORIZONTAL IRRIGATION INVERT ELEVATION LANDSCAPE MAXIMUM MTS DESIGN STANDARDS MANHOLE MINIMUM MISCELLANEOUS	PL PVT PROP RW RET ROW RD SDRSD SW SWR STD TC TCO TF TG TP TW TYP UTIL VERT	PROPERTY LINE PRIVATE PROPOSED RECYCLED WATER RETAINING RIGHT—OF—WAY ROAD SAN DIEGO REGIONAL STAN DRAWINGS SIDEWALK SEWER STANDARD(S) STORM DRAIN THRUST BLOCK TOP OF CURB TOP OF CLEANOUT TOP OF GRATE TOP OF PIPE TOP OF WALL TYPICAL UTILITY VERTICAL
MIN MINIMUM					
MH MANHOLE MIN MINIMUM	MH MANHOLE				
MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	MDS MTS DESIGN STANDARDS MH MANHOLE				
MÁAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	MÁAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE		INVERT ELEVATION	W/	WIIH
L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE		IRRIGATION		
IE INVERT ELEVATION W/ WITH L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	IE INVERT ELEVATION W/ WITH L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE				
IRR IRRIGATION WTR WATER IE INVERT ELEVATION W/ WITH L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	IRR IRRIGATION WTR WATER IE INVERT ELEVATION W/ WITH L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE	HELIPAD	HELICOPTER LANDING PAD		
HORIZ HORIZONTAL VERT VERTICAL IRR IRRIGATION WTR WATER IE INVERT ELEVATION W/ WITH L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	HORIZ HORIZONTAL VERT VERTICAL IRR IRRIGATION WTR WATER IE INVERT ELEVATION W/ WITH L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE		HEADWALL		
HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE		GRADE BREAK		
HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE				· · · · · · · · · · · · · · · · · · ·
FL FLOW LINE GB GRADE BREAK HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	FL FLOW LINE GB GRADE BREAK HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE TP TOP OF PIPE TW TOP OF WALL TYP				
FP FLAG POLE FL FLOW LINE GB GRADE BREAK HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	FP FLAG POLE FL FLOW LINE GB GRADE BREAK HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE TOP OF GRATE TP TOP OF GRATE TOP OF GRA				
FH FIRE HYDRANT FP FLAG POLE FL FLOW LINE GB GRADE BREAK HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	FH FIRE HYDRANT FP FLAG POLE FL FLOW LINE GB GRADE BREAK HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE TR TOP OF FOOTING TG TOP OF FOOTING TG TOP OF FOOTING TOP OF TOP OF VALE TOP OF FOOTING TOP OF TOP OF VALE TOP OF FOOTING TOP OF				
FSFW FINISH SURFACE FACE OF WALL TO TOP OF CLEANOUT FH FIRE HYDRANT TF TOP OF FOOTING TO TOP OF GRATE TOP OF GRATE TOP OF GRATE TOP OF PIPE TOP OF PIPE TOP OF WALL TYP TYPICAL UTIL UTILITY HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL WTR WATER WATER IRRIGATION WTR WATER WATER IE INVERT ELEVATION W/ WITH L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM	FSFW FINISH SURFACE FACE OF WALL TO TOP OF CLEANOUT FH FIRE HYDRANT TF TOP OF FOOTING TG TOP OF GRATE TO FLAG POLE TG TOP OF GRATE TO FLAG POLE TD TOP OF PIPE TOP OF PIPE TOP OF WALL TYP TYPICAL UTIL UTILITY WERT VERTICAL WITH WATER IRRIGATION WATER WATER IRRIGATION WITH WATER WATER WAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE	FS	FINISH SURFACE/FIRE SERVICE		
FSFW FINISH SURFACE FACE OF WALL FH FIRE HYDRANT FP FLAG POLE FL FLOW LINE GB GRADE BREAK HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IRR IRRIGATION L/S MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE MIN MINIMUM TOP OF FOOTING TG TOP OF FOOTING TTF TOP OF FOOTING TTP TOP OF PIPE TOP OF FOOTING TOP OF CLEANOUT TF TOP OF FOOTING TOP OF CLEANOUT TRATE TOP OF FOOTING TOP OF CLEANOUT TRATE TOP OF FOOTING TOP OF CLEANOUT TRATE TOP OF FOOTING TOP OF CLEANOUT TF TOP OF CLEANOUT TO	FSFW FINISH SURFACE FACE OF WALL FH FIRE HYDRANT FP FLAG POLE FL FLOW LINE GB GRADE BREAK HW HEADWALL HELIPAD HELICOPTER LANDING PAD HORIZ HORIZONTAL IRR IRRIGATION IE INVERT ELEVATION L/S LANDSCAPE MAX MAXIMUM MDS MTS DESIGN STANDARDS MH MANHOLE TCO TOP OF CLEANOUT TF TOP OF FOOTING TG TOP OF FOOTING TF TOP OF FOOTING TOP OF CLEANOUT TF TOP OF CLEANOUT TF TOP OF FOOTING TOP OF CLEANOUT TF TOP OF FOOTING TOP OF CLEANOUT TF TOP OF CLEANOUT TOP OF CLEAN		FINISH GRADE FACE OF WALL		
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ABBREVIATIONS

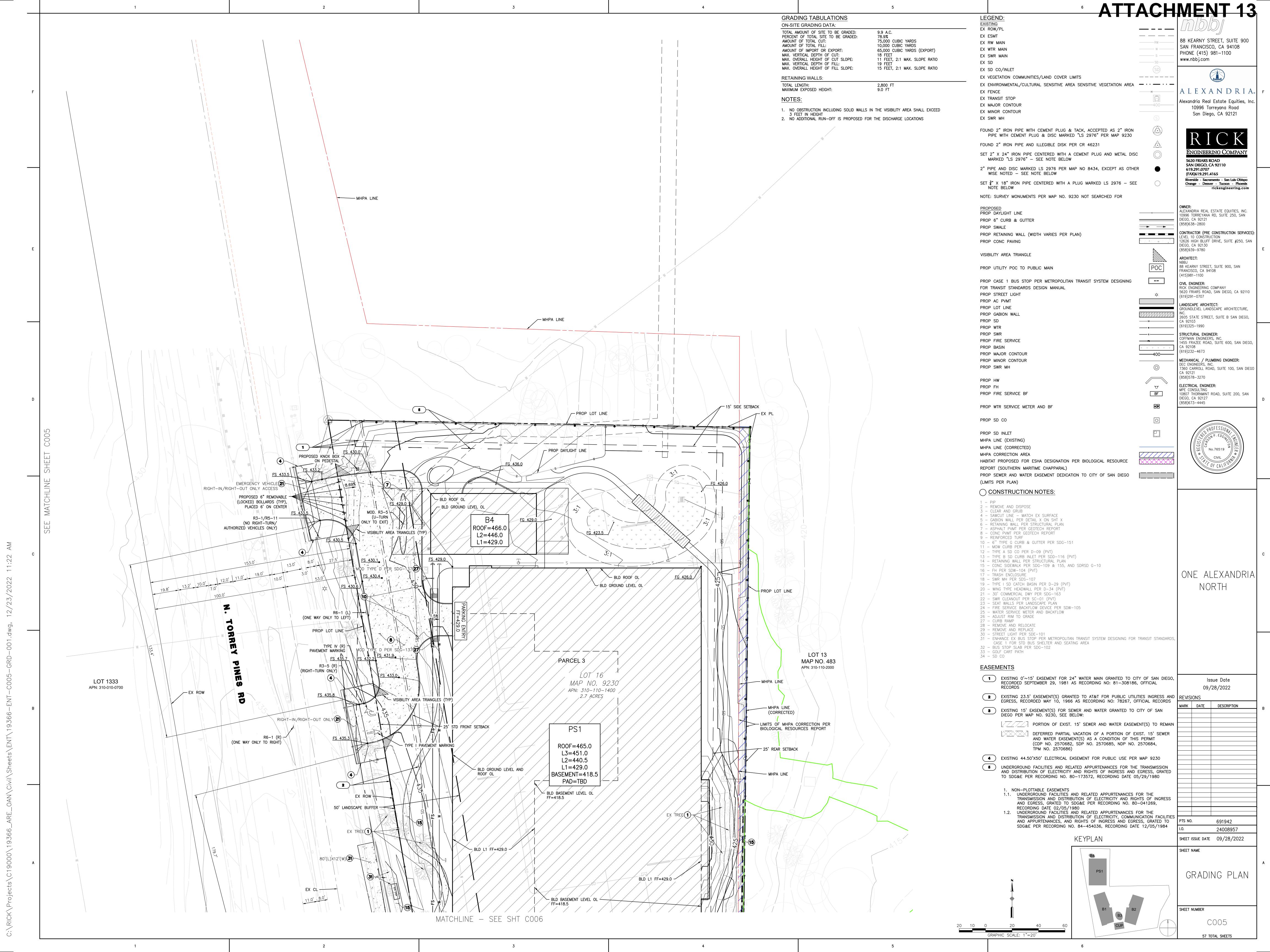
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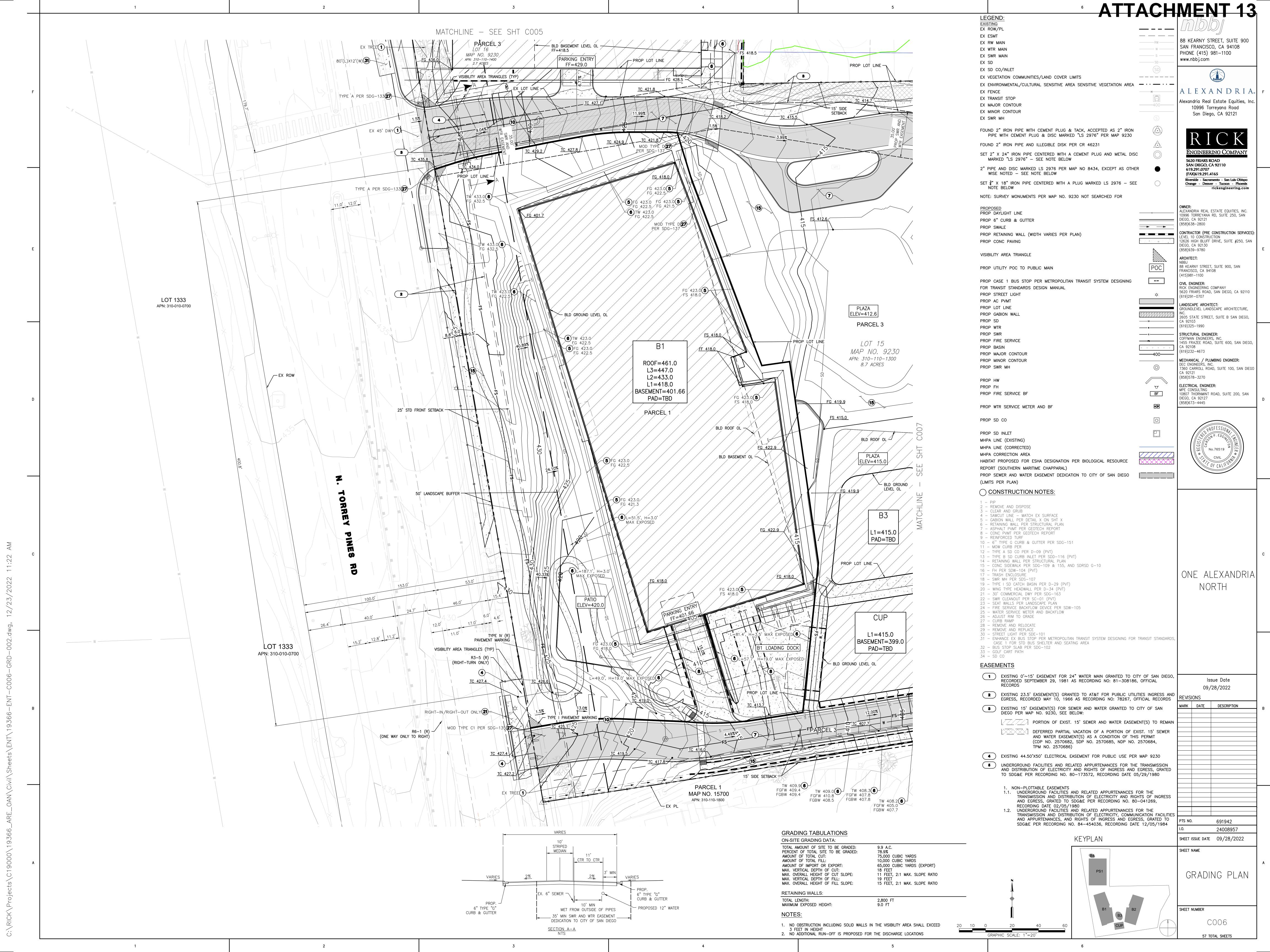
57 TOTAL SHEETS

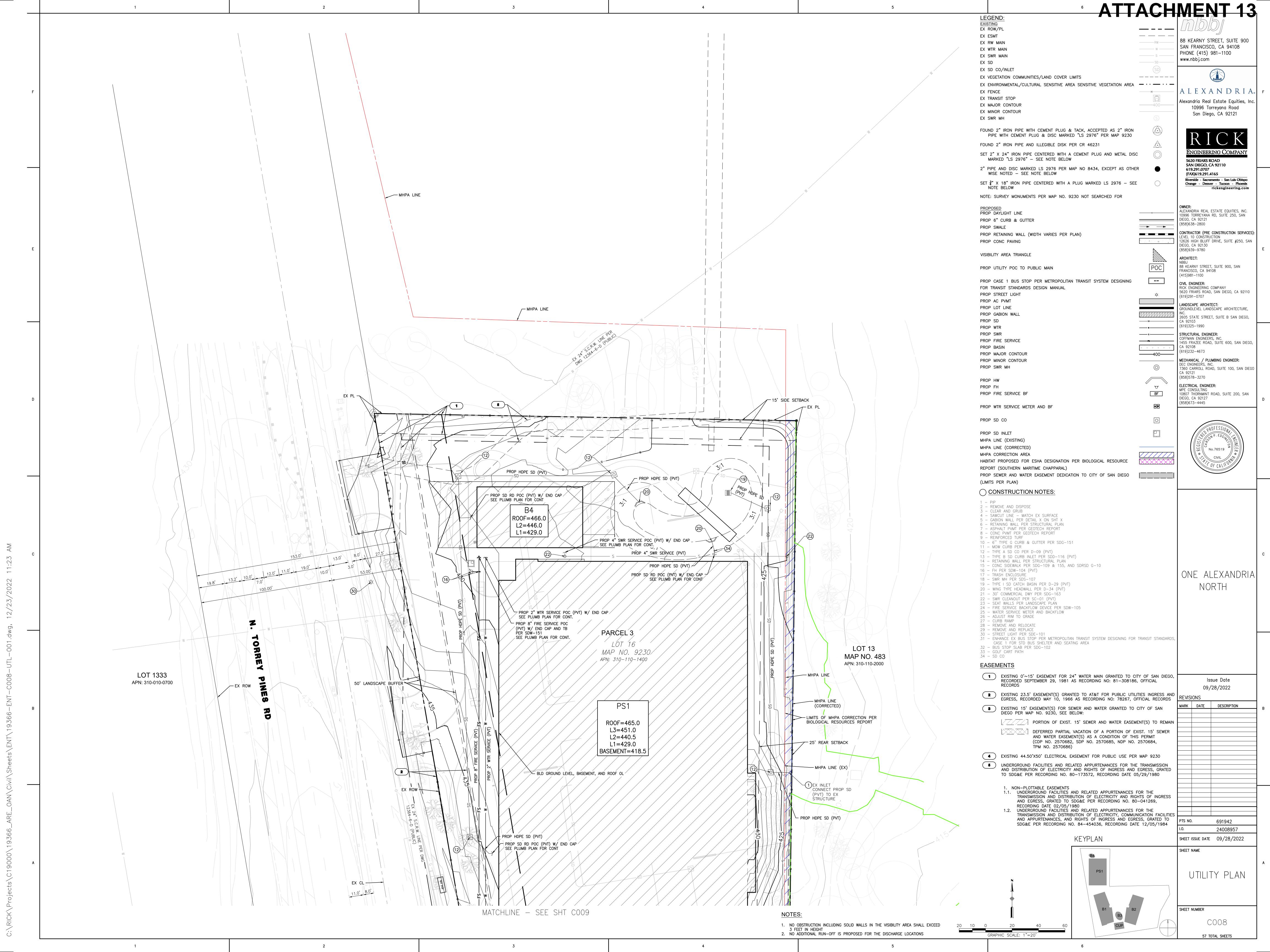
SHEET NUMBER

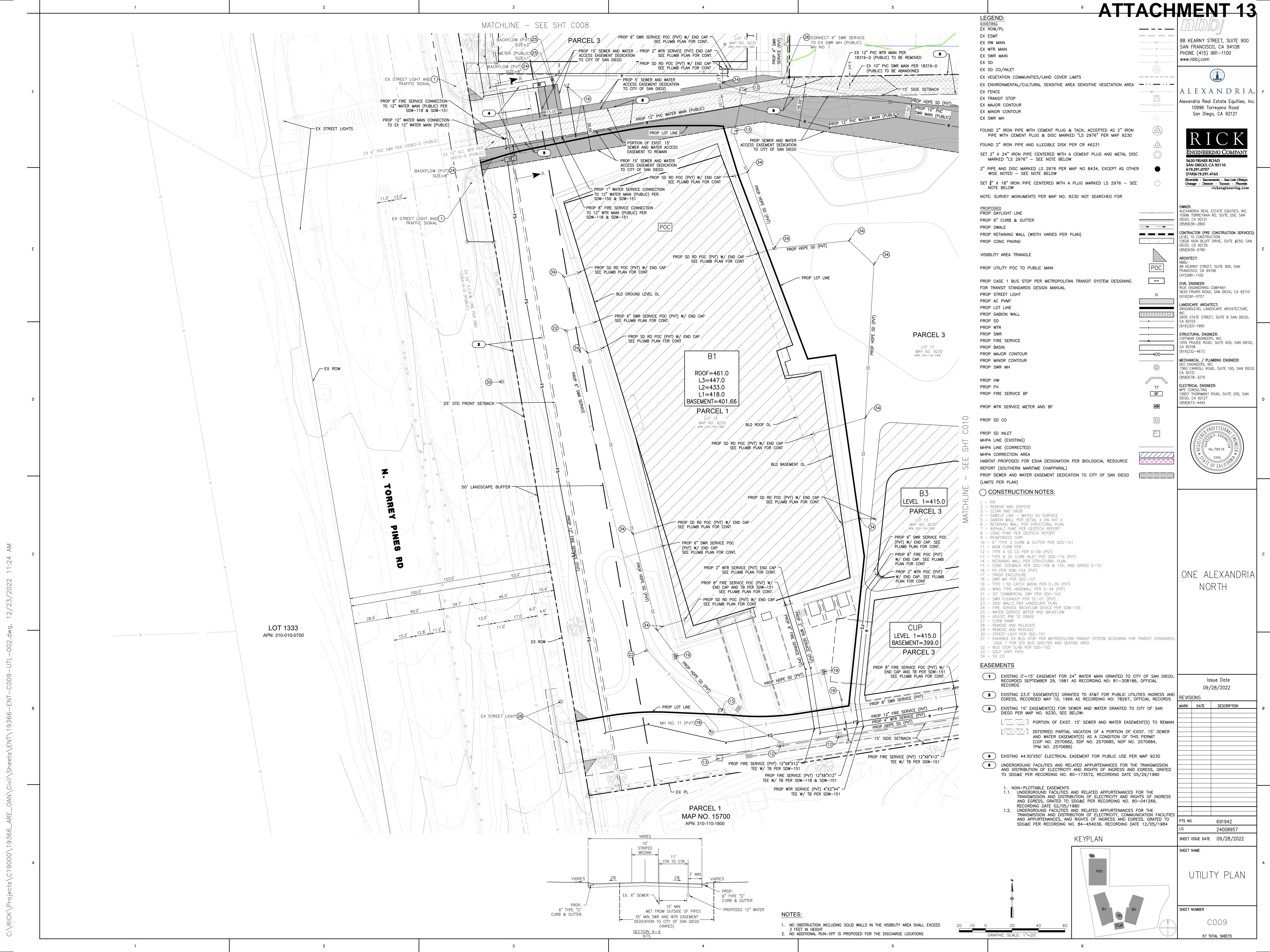


88 KEARNY STREET, SUITE 900 SAN FRANCISCO, CA 94108 ← 15' SIDE SETBACK LEGEND: PHONE (415) 981-1100 www.nbbj.com ACCESSIBLE PATH MAINTENANCE ACCESS **EASEMENTS** EXISTING 0'~15' EASEMENT FOR 24" WATER MAIN GRANTED TO CITY OF SAN DIEGO, RECORDED SEPTEMBER 29, 1981 AS RECORDING NO: 81-308186, OFFICIAL Alexandria Real Estate Equities, Inc 2 EXISTING 23.5' EASEMENT(S) GRANTED TO AT&T FOR PUBLIC UTILITIES INGRESS AND EGRESS, RECORDED MAY 10, 1966 AS RECORDING NO: 78267, OFFICIAL RECORDS 10996 Torreyana Road San Diego, CA 92121 ROOF=466.0 3 EXISTING 15' EASEMENT(S) FOR SEWER AND WATER GRANTED TO CITY OF SAN DIEGO PER MAP NO. 9230, SEE BELOW: L2=446.0 PORTION OF EXIST. 15' SEWER AND WATER EASEMENT(S) TO REMAIN L1 = 429.0DEFERRED PARTIAL VACATION OF A PORTION OF EXIST. 15' SEWER AND WATER EASEMENT(S) AS A CONDITION OF THIS PERMIT **ENGINEERING COMPANY** (CDP NO. 2570682, SDP NO. 2570685, NDP NO. 2570684, TPM NO. 2570686) 5620 FRIARS ROAD R3-1/R5-11-SAN DIEGO, CA 92110 (NO RIGHT-TURN/ 4 EXISTING 44.50'X50' ELECTRICAL EASEMENT FOR PUBLIC USE PER MAP 9230 619.291.0707 AUTHORIZED VEHICLÉS (FAX)619.291.4165 5 UNDERGROUND FACILITIES AND RELATED APPURTENANCES FOR THE TRANSMISSION Riverside - Sacramento - San Luis Obispo Orange - Denver - Tucson - Phoenix AND DISTRIBUTION OF ELECTRICITY AND RIGHTS OF INGRESS AND EGRESS, GRATED TO SDG&E PER RECORDING NO. 80-173572, RECORDING DATE 05/29/1980 rickengineering.com (ONE WAY ONLY TO LEFT) /PARCEL 3 1. NON-PLOTTABLE EASEMENTS 1.1. UNDERGROUND FACILITIES AND RELATED APPURTENANCES FOR THE TYPE IV (R) -TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND RIGHTS OF INGRESS ALEXANDRIA REAL ESTATE EQUITIES, INC. PAVEMENT MARKING LOT 13 10996 TORREYANA RD, SUITE 250, SAN AND EGRESS, GRATED TO SDG&E PER RECORDING NO. 80-041269, DIEGO, CA 92121 RECORDING DATE 02/05/1980 R3-5 (R) -MAP NO. 483 1.2. UNDERGROUND FACILITIES AND RELATED APPURTENANCES FOR THE (858)638-2800 (RIGHT-TURN ONLY) LOT 16 APN: 310-110-2000 TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATION FACILITIES CONTRACTOR (PRE CONSTRUCTION SERVICES): AND APPURTENANCES, AND RIGHTS OF INGRESS AND EGRESS, GRATED TO MAP NO. 9230/ LEVEL 10 CONSTRUCTION SDG&E PER RECORDING NO. 84-454036, RECORDING DATE 12/05/1984 12626 HIGH BLUFF DRIVE, SUITE #250, SAN APN: 310-110-1400 DIEGO, CA 92130 2.7 ACRES (858)939-9780 25' STD FRONT ARCHITECT: SETBACK 88 KEARNY STREET, SUITE 900, SAN (ONE WAY FRANCISCO, CA 94108 ONLY TO RIGHT) TYPE I PAVEMENT MARKING ; (415)981-1100 25' REAR SETBACK CIVIL ENGINEER: RICK ENGINEERING COMPANY 5620 FRIARS ROAD, SAN DIEGO, CA 92110 ROOF=465.0 (619)291-0707 L3 = 451.0LANDSCAPE ARCHITECT: L2 = 440.5EX ROW GROUNDLEVEL LANDSCAPE ARCHITECTURE, L1 = 429.02605 STATE STREET, SUITE B SAN DIEGO, BASEMENT=418.5 CA 92103 50' LANDSCAPE BUFFER (619)325-1990 STRUCTURAL ENGINEER:
COFFMAN ENGINEERS, INC.
1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108 (619)232-4673 MECHANICAL / PLUMBING ENGINEER:
DEC ENGINEERS, INC.
7360 CARROLL ROAD, SUITE 100, SAN DIEGO
CA 92121
(858)578-3270 EX CL ELECTRICAL ENGINEER:
MPE CONSULTING
10807 THORNMINT ROAD, SUITE 200, SAN
DIEGO, CA 92127 - MAINTENANCE ACCESS 15' SIDE SETBACK (858)673-4445 25' REAR SETBACK — MAINTENANCE ACCESS L MAINTENANCE ACCESS ONE ALEXANDRIA - MAINTENANCE ACCESS NORTH PARCEL 3 ROOF=461.0 MAP NO. 9230 L3 = 447.0APN: 310-110-1300 25' REAR SETBACK L2 = 433.08.7 ACRES L1 = 418.025' STD FRONT SETBACK BASEMENT=401.66 ROOF=446.0 L3=432.0 PARCEL 1 L2=418.0 L1 = 403.0BASEMENT=389.0 PARCEL 2 Issue Date 09/28/2022 REVISIONS MARK DATE DESCRIPTION L1=415.0 LOT 13 MAP NO. 483 APN: 310-110-2000 L1 = 415.0BASEMENT=399.0 691942 24008957 (RIGHT-TURN ONLY) KEYPLAN SHEET ISSUE DATE 09/28/2022 PAVEMENŤ PARCEL 2 EX LOT LINE 15' SIDE SETBACK SHEET NAME MAP NO. 15700 EX LOT LINE APN: 310-110-1900 ACCESSIBILITY 15' SIDE SETBACK PARCEL - MAINTENANCE ACCESS PLAN MAP NO. 15700 SHEET NUMBER GRAPHIC SCALE: 1"=30' 57 TOTAL SHEETS

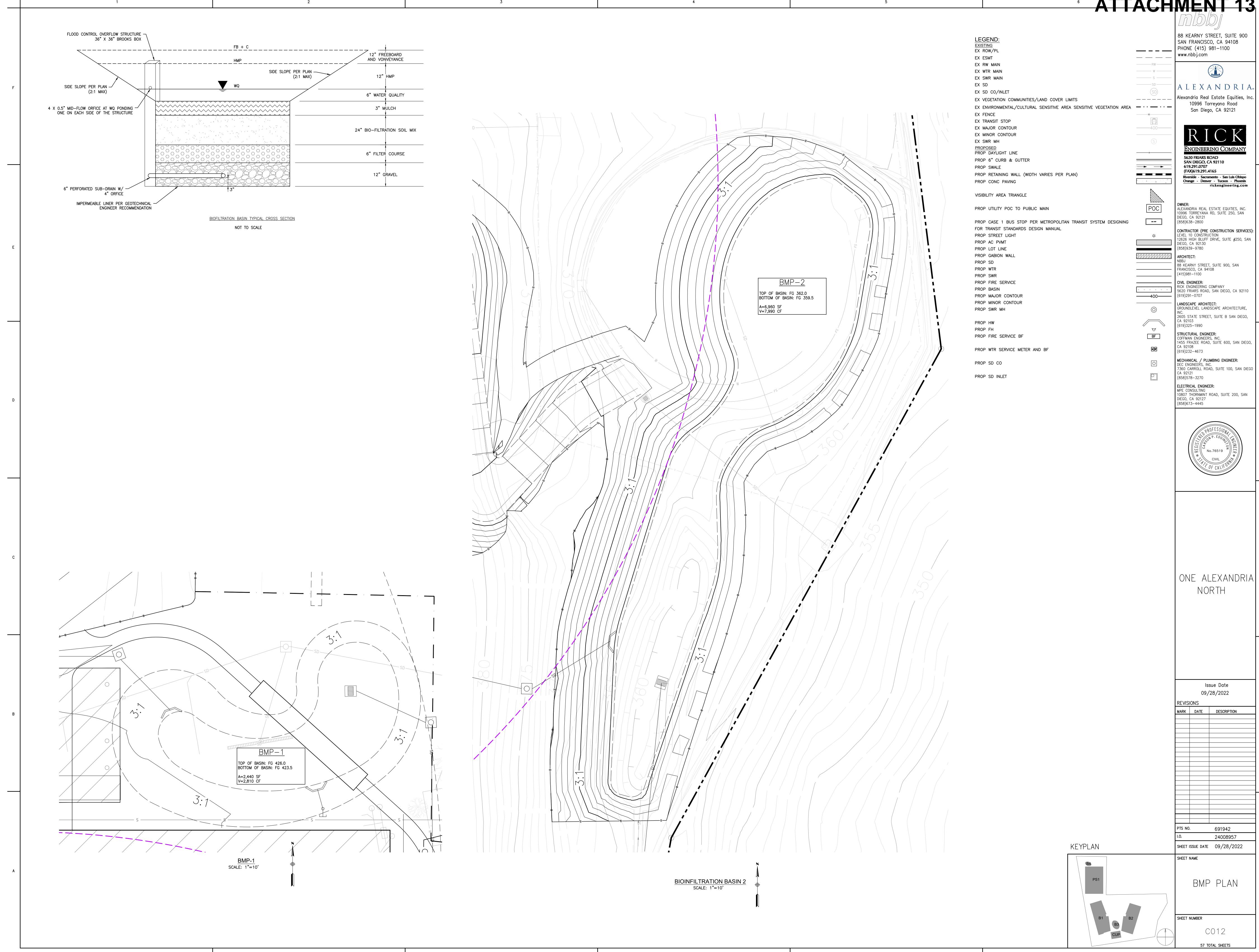


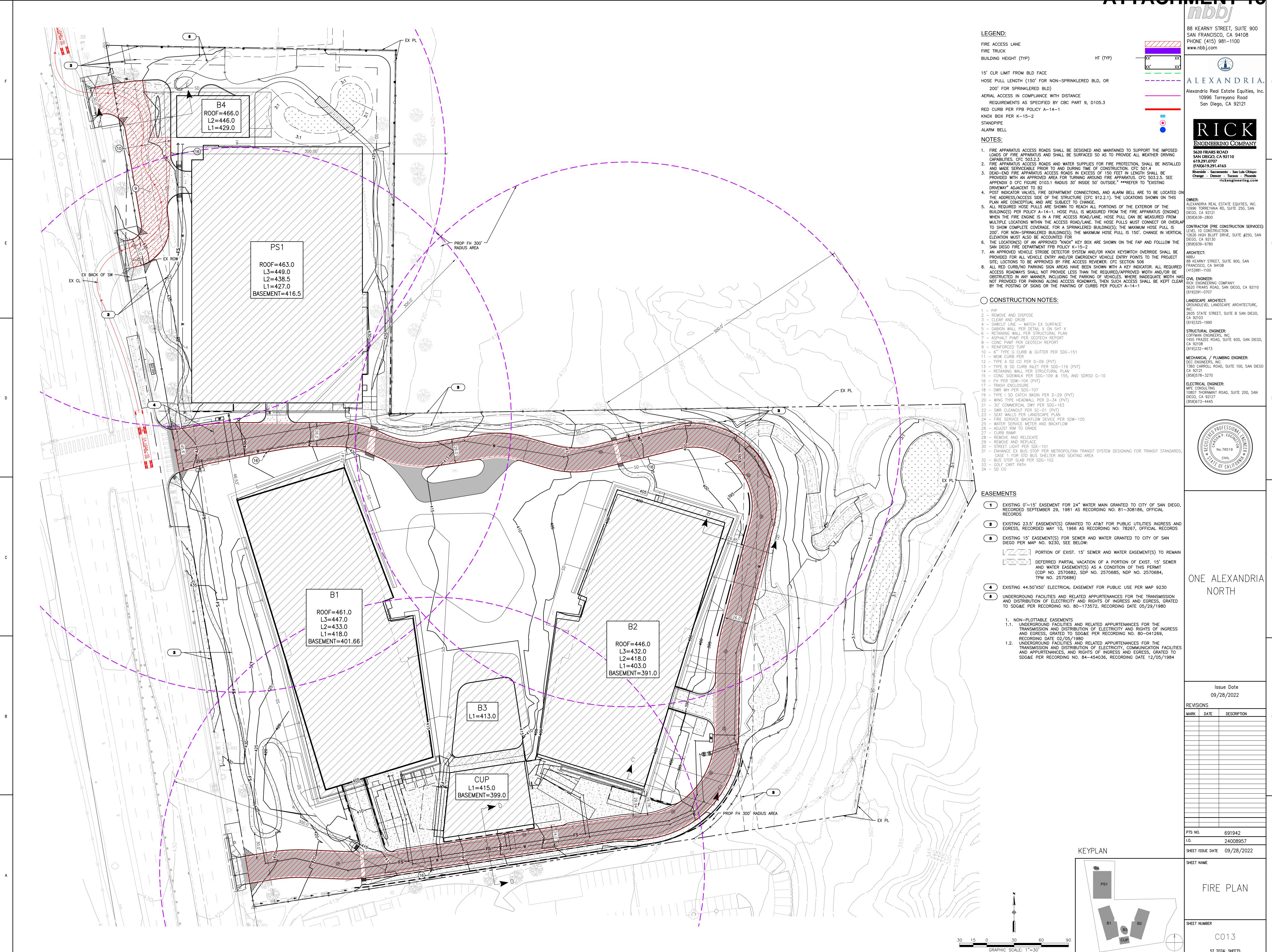




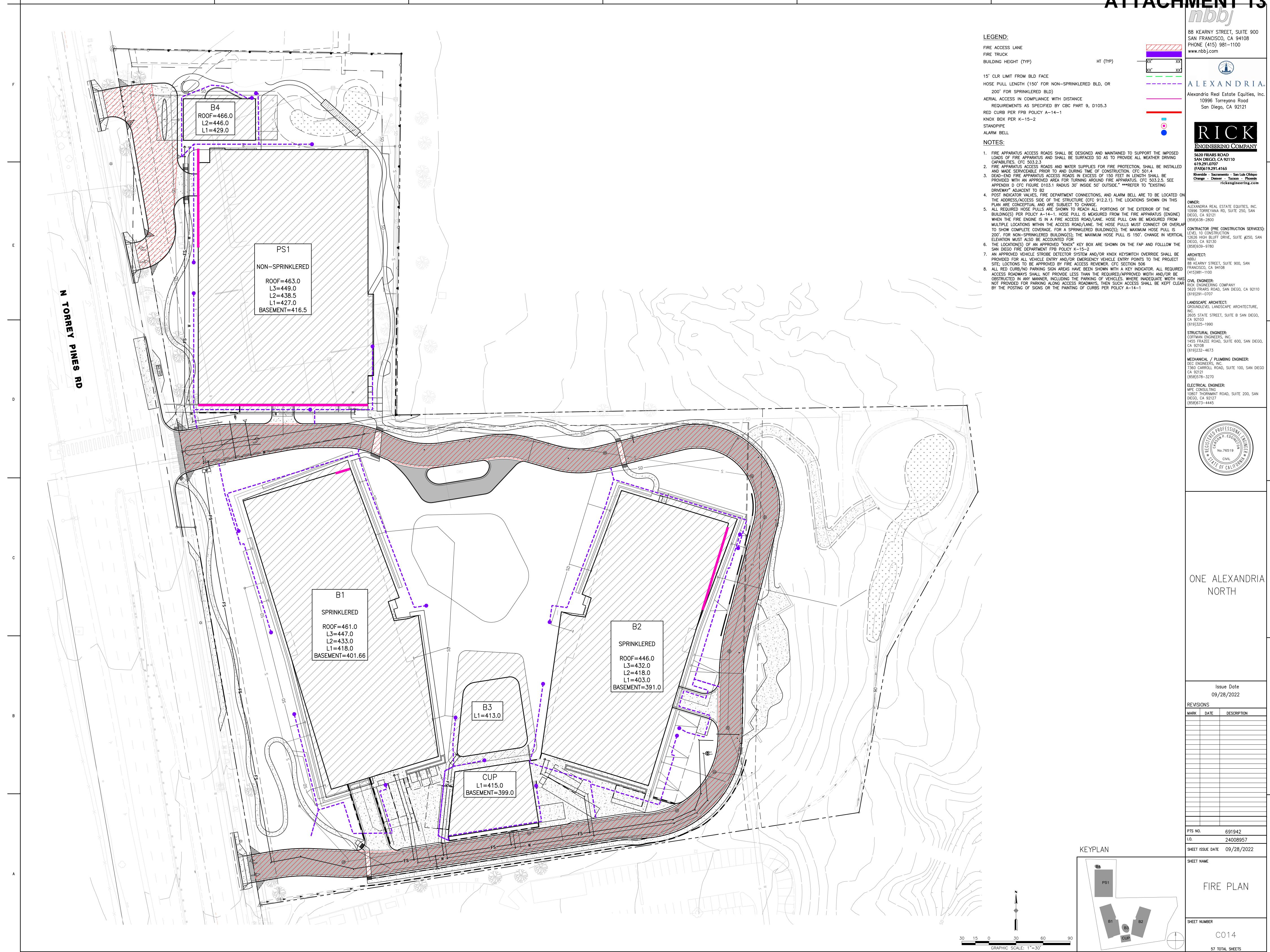


7360 CARROLL ROAD, SUITE 100, SAN DIEGO 10807 THORNMINT ROAD, SUITE 200, SAN





57 TOTAL SHEETS

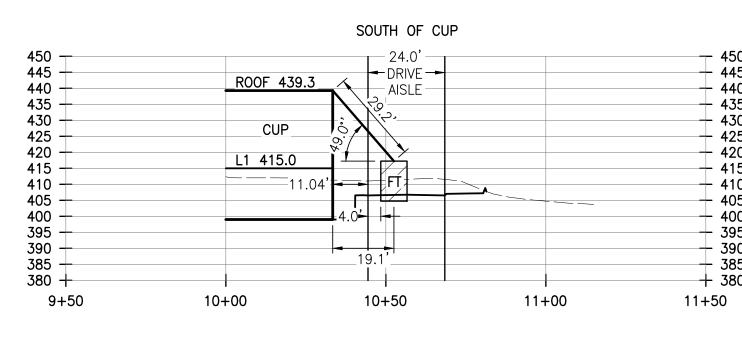


NE CORNER OF B1 470 — 465 — B1 ROOF 461.0 460 — B1 L3 447.0 __B1 L2 433.0 B1 L1 418.0 —31.5'—-│ 405 B1 BASEMENT 401.66 + 400

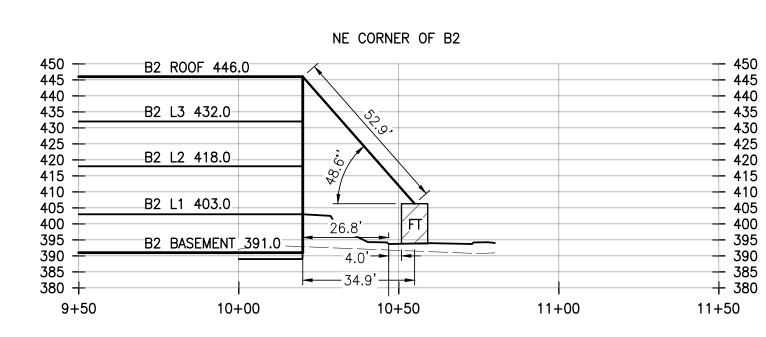
10+50

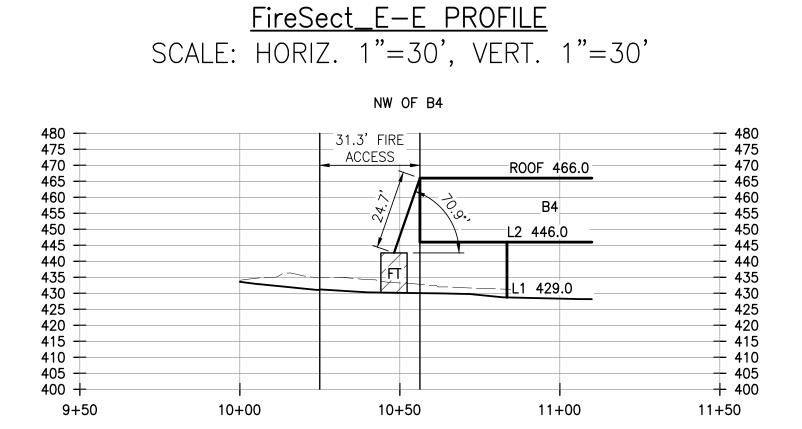
11+50

<u>FireSect_D-D_PROFILE</u> SCALE: HORIZ. 1"=30', VERT. 1"=30'



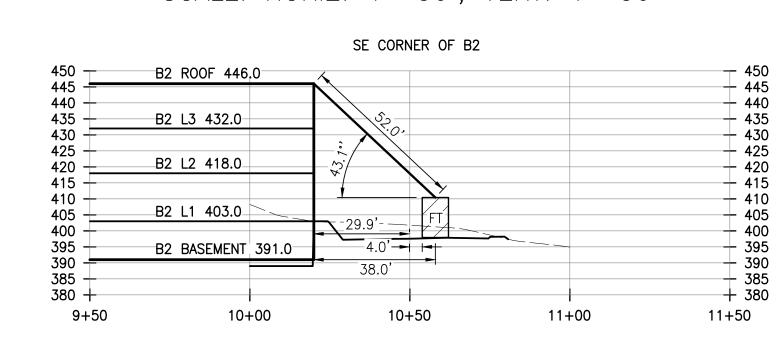
<u>FireSect_B-B_PROFILE</u> SCALE: HORIZ. 1"=30', VERT. 1"=30'





FireSect_C-C PROFILE

SCALE: HORIZ. 1"=30', VERT. 1"=30'



ATTACHMENT 13

88 KEARNY STREET, SUITE 900 SAN FRANCISCO, CA 94108 PHONE (415) 981-1100 www.nbbj.com

ALEXANDRIA. Alexandria Real Estate Equities, Inc 10996 Torreyana Road

San Diego, CA 92121 ENGINEERING COMPANY 5620 FRIARS ROAD SAN DIEGO, CA 92110 619.291.0707 (FAX)619.291.4165

OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10996 TORREYANA RD, SUITE 250, SAN
DIEGO, CA 92121
(858)638-2800

Riverside - Sacramento - San Luis Obispo Orange - Denver - Tucson - Phoenix rickengineering.com

CONTRACTOR (PRE CONSTRUCTION SERVICES):
LEVEL 10 CONSTRUCTION
12626 HIGH BLUFF DRIVE, SUITE #250, SAN DIEGO, CA 92130 (858)939-9780

ARCHITECT: 88 KEARNY STREET, SUITE 900, SAN FRANCISCO, CA 94108 (415)981-1100

CIVIL ENGINEER: RICK ENGINEERING COMPANY 5620 FRIARS ROAD, SAN DIEGO, CA 92110 (619)291-0707

LANDSCAPE ARCHITECT: GROUNDLEVEL LANDSCAPE ARCHITECTURE, 2605 STATE STREET, SUITE B SAN DIEGO, (619)325-1990

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS, INC.
1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108 (619)232-4673

MECHANICAL / PLUMBING ENGINEER: DEC ENGINEERS, INC. 7360 CARROLL ROAD, SUITE 100, SAN DIEGO CA 92121 (858)578-3270

ELECTRICAL ENGINEER:
MPE CONSULTING
10807 THORNMINT ROAD, SUITE 200, SAN DIEGO, CA 92127 (858)673-4445



ONE ALEXANDRIA NORTH

> Issue Date 09/28/2022

MARK DATE DESCRIPTION

691942 24008957

SHEET ISSUE DATE 09/28/2022 SHEET NAME

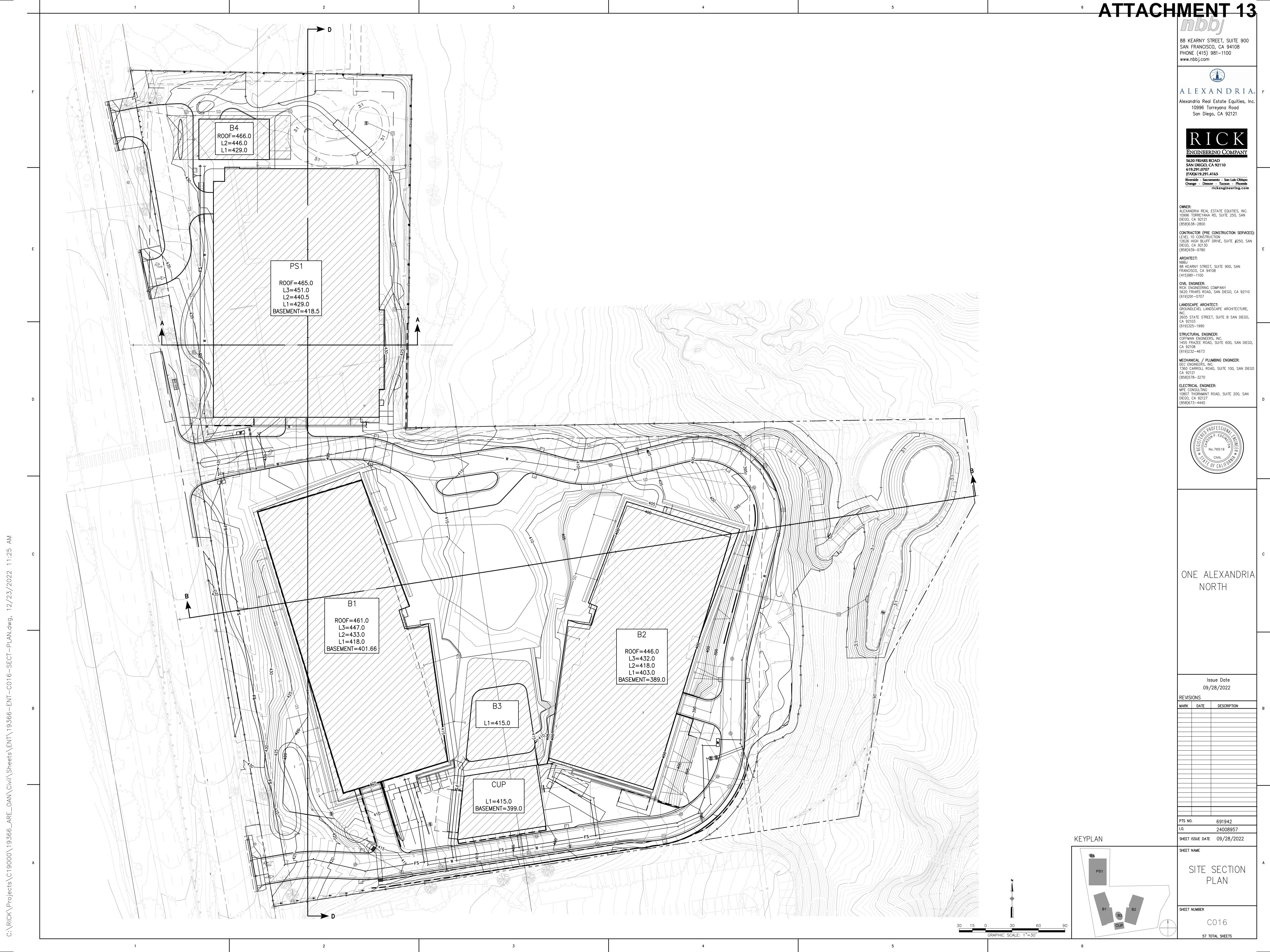
FIRE PLAN

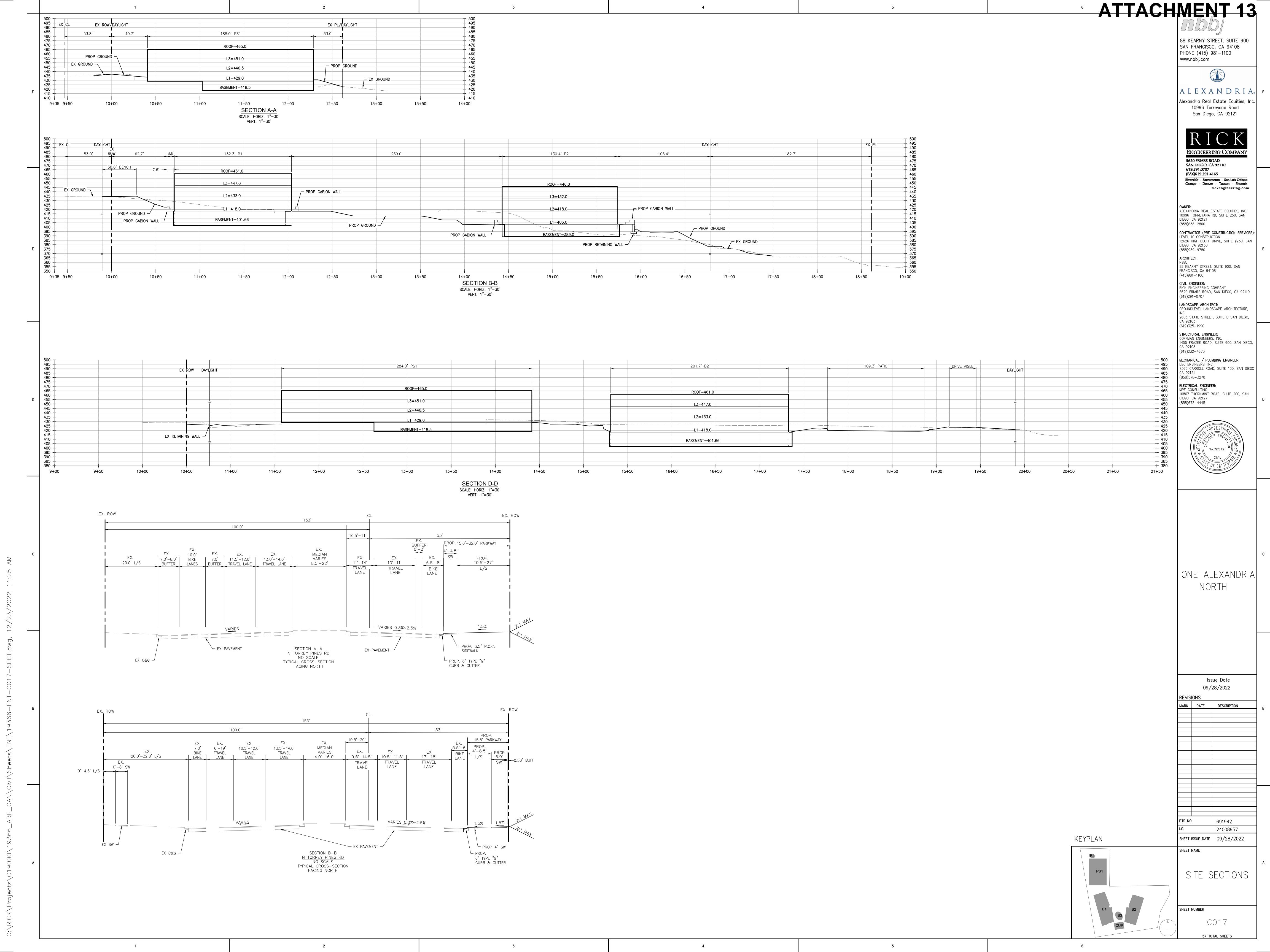
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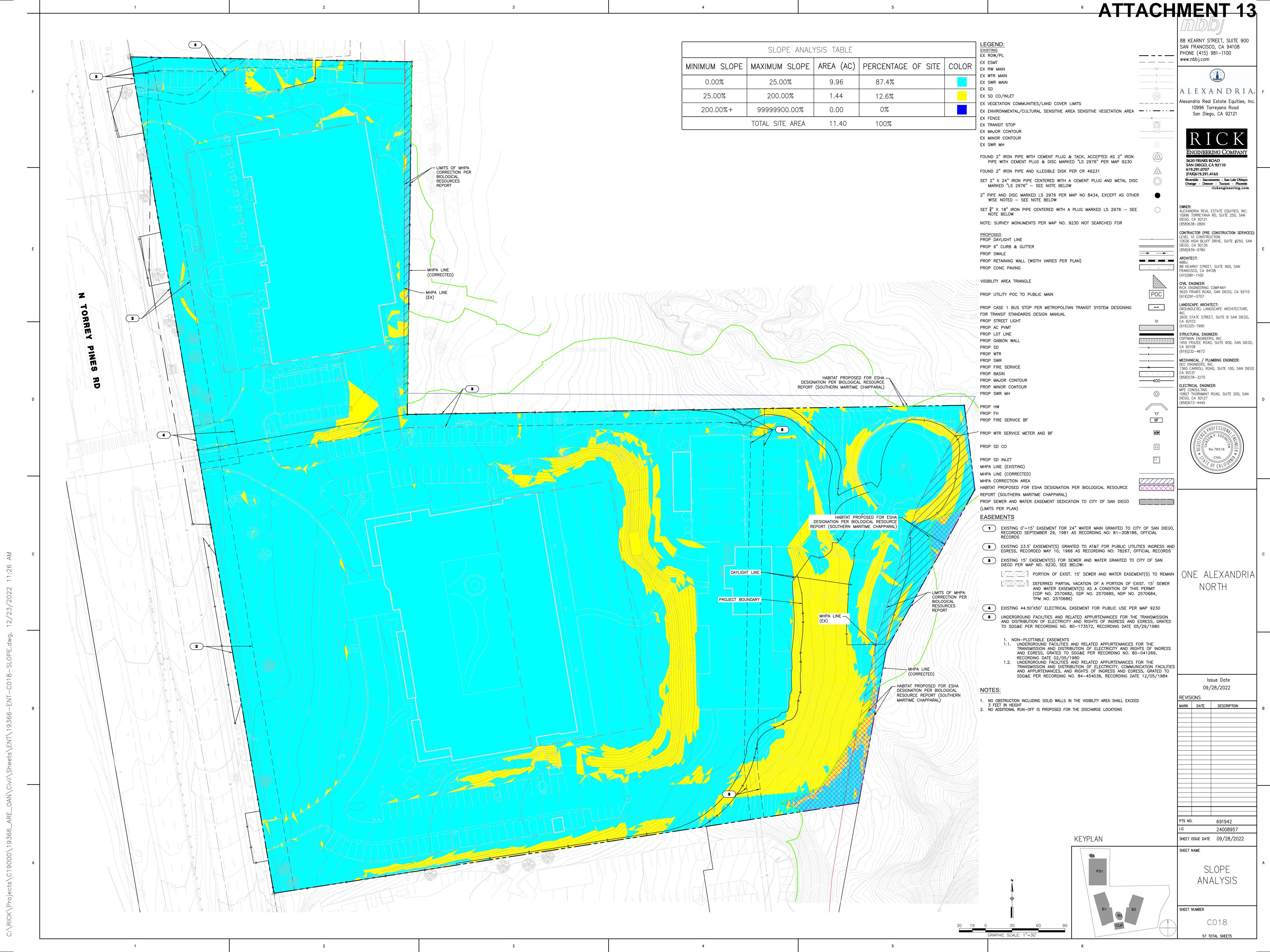
57 TOTAL SHEETS

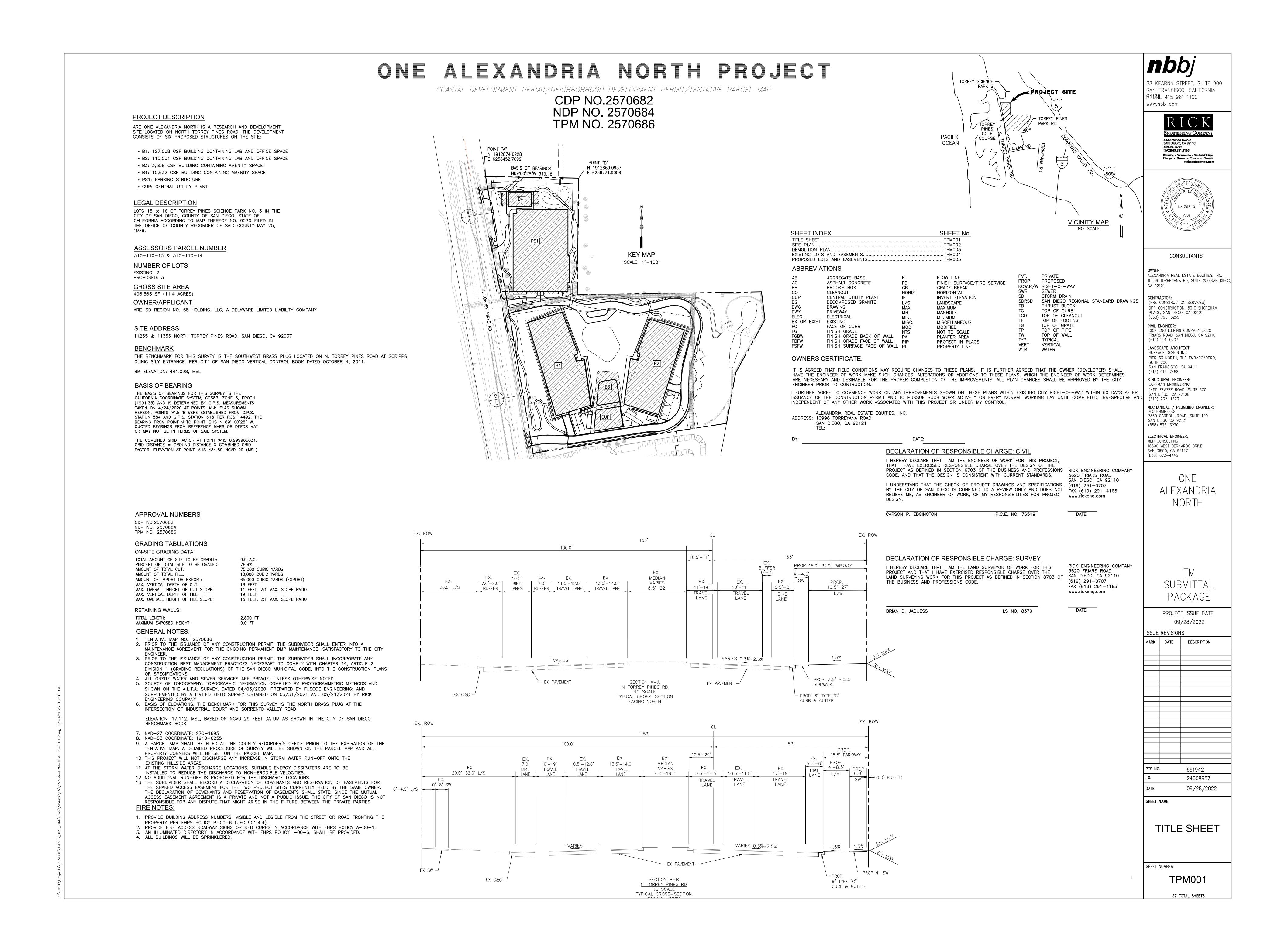
KEYPLAN

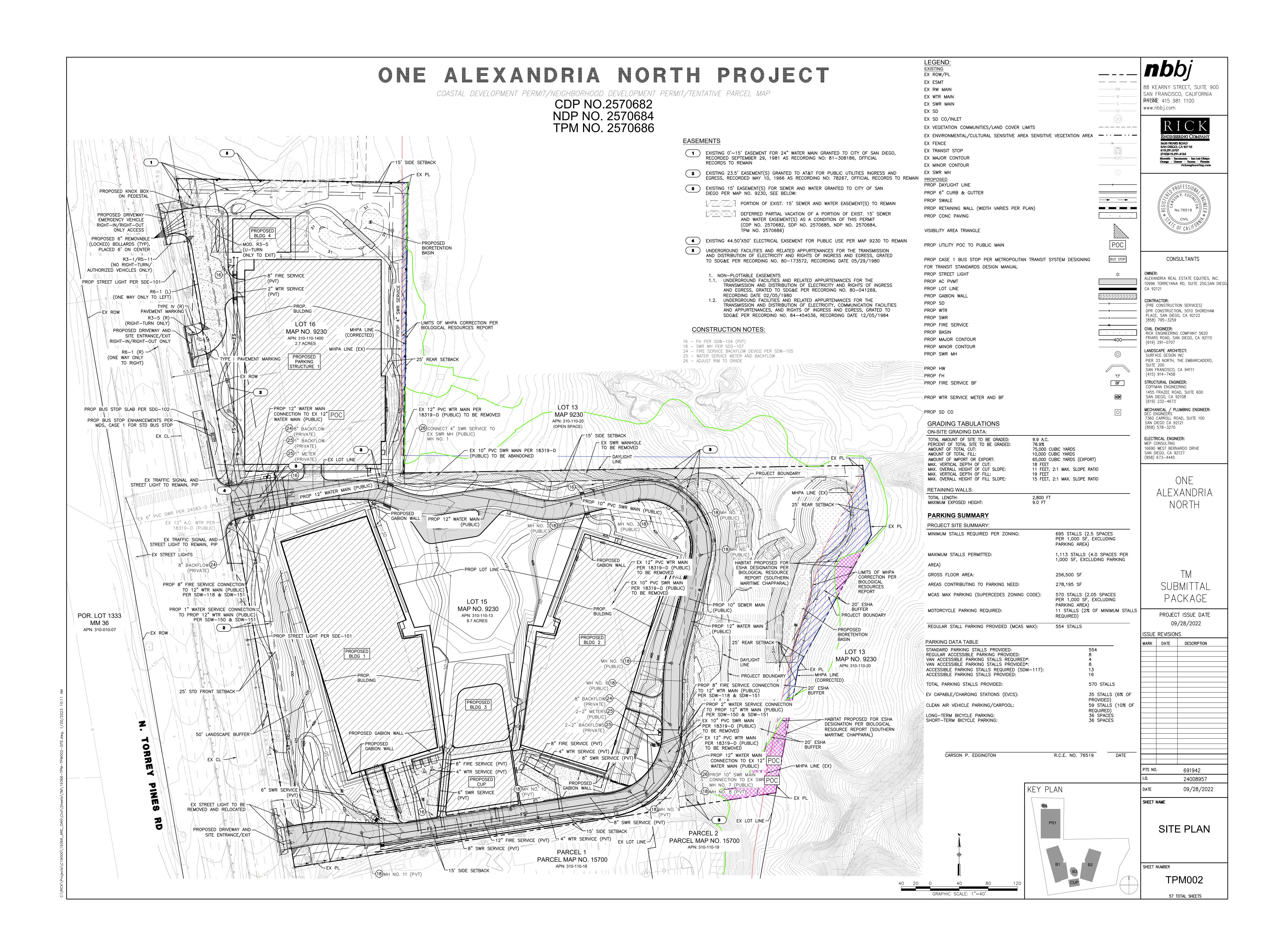
GRAPHIC SCALE: 1"=30"

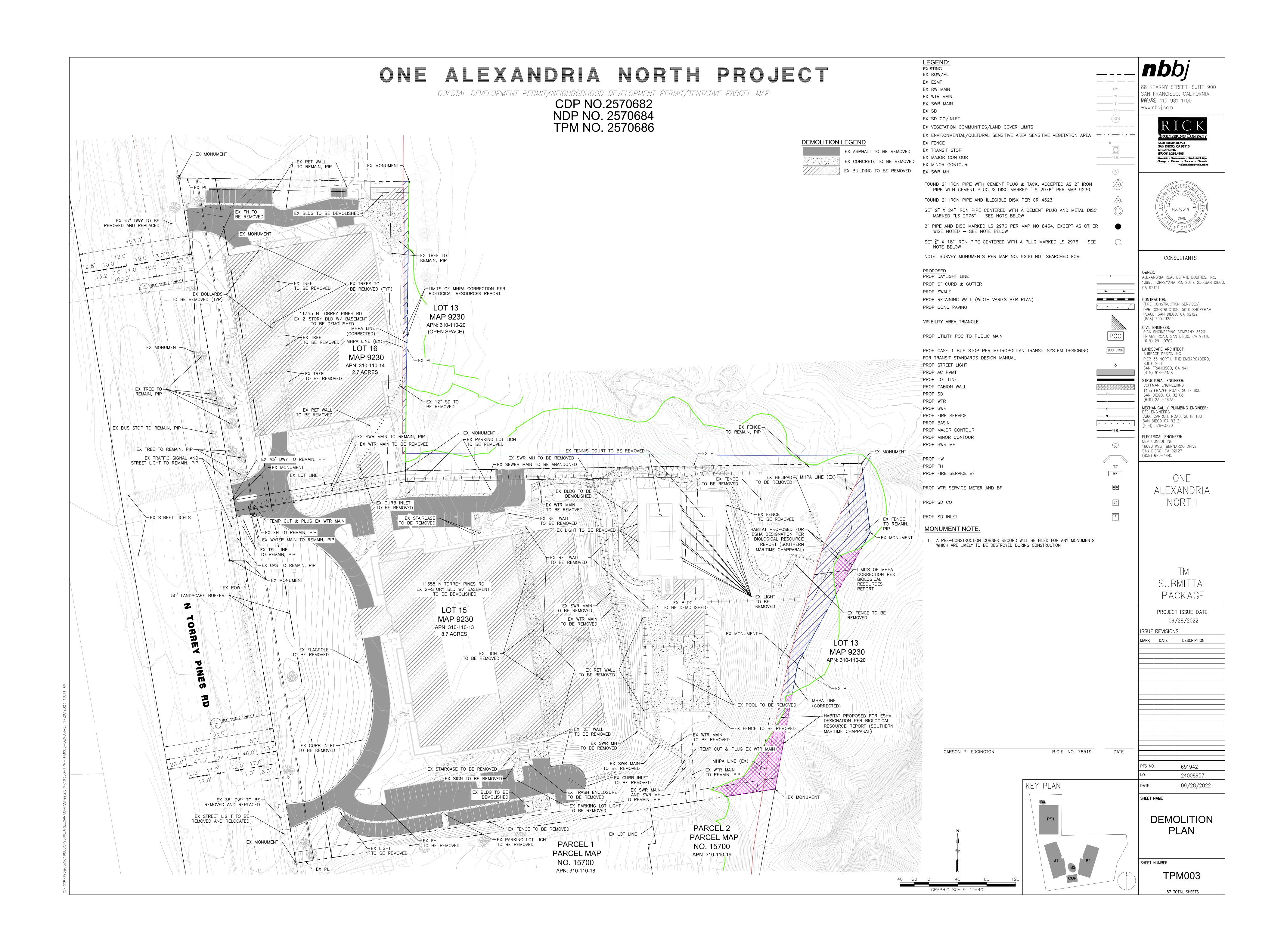


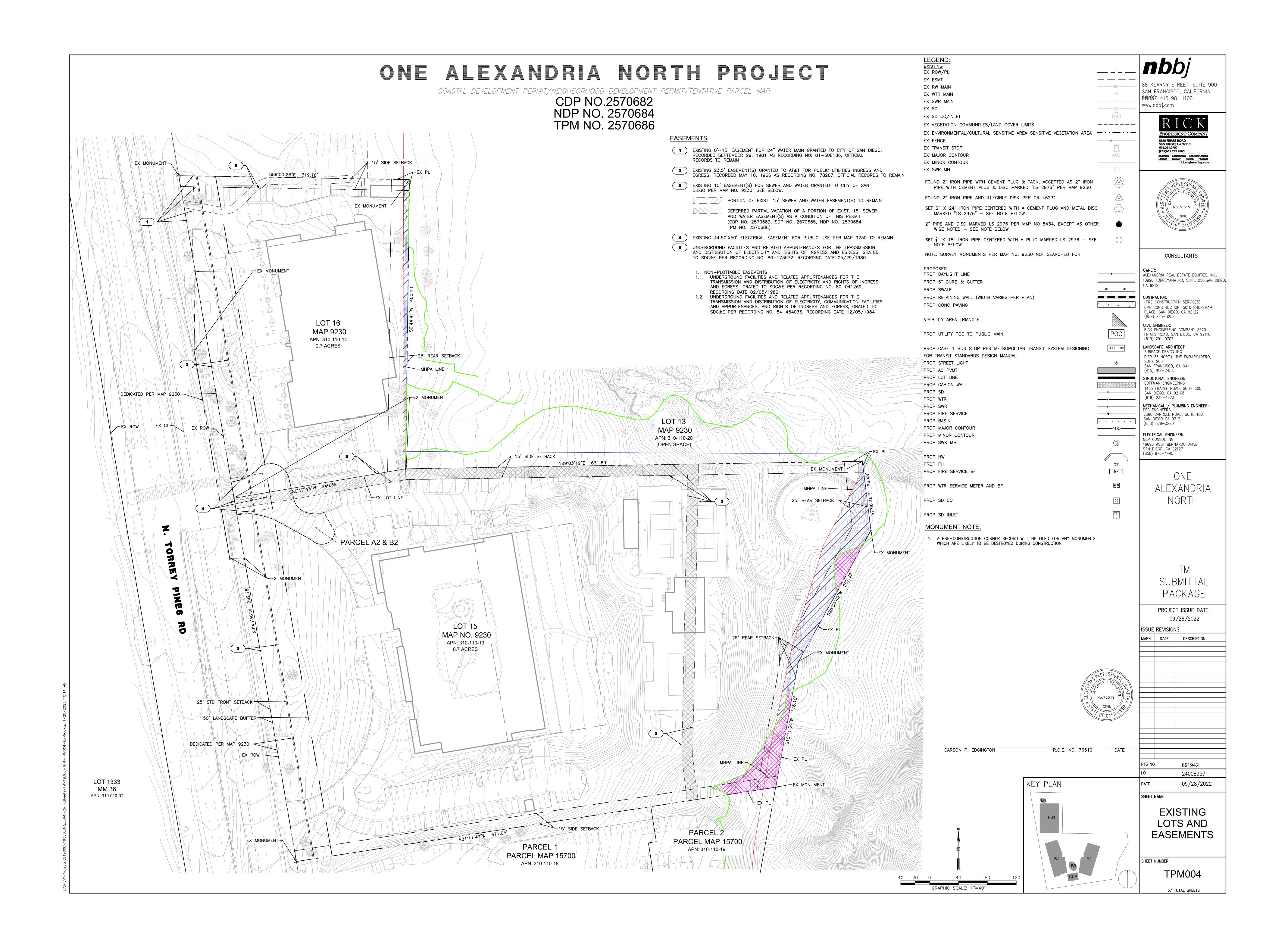


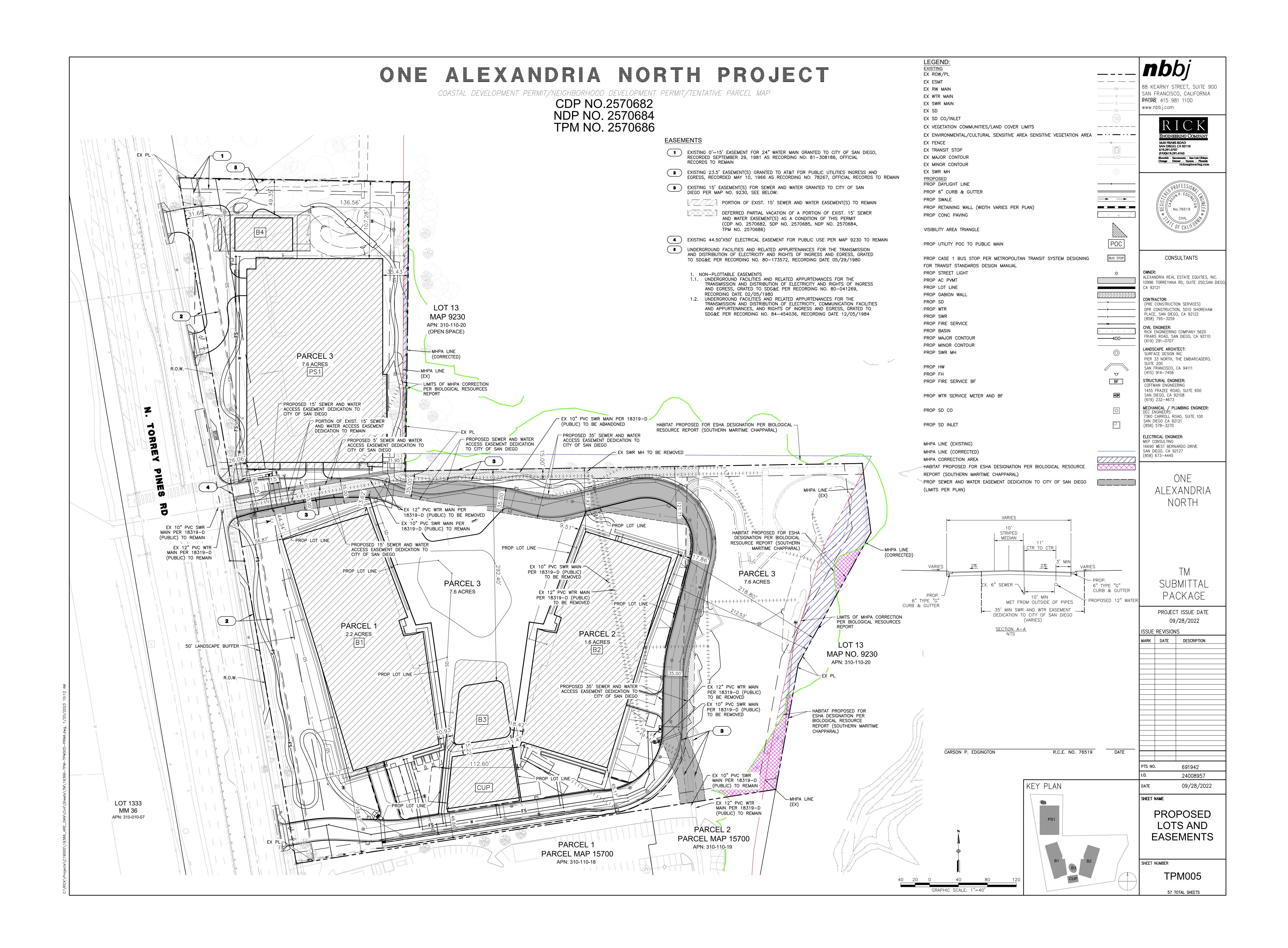


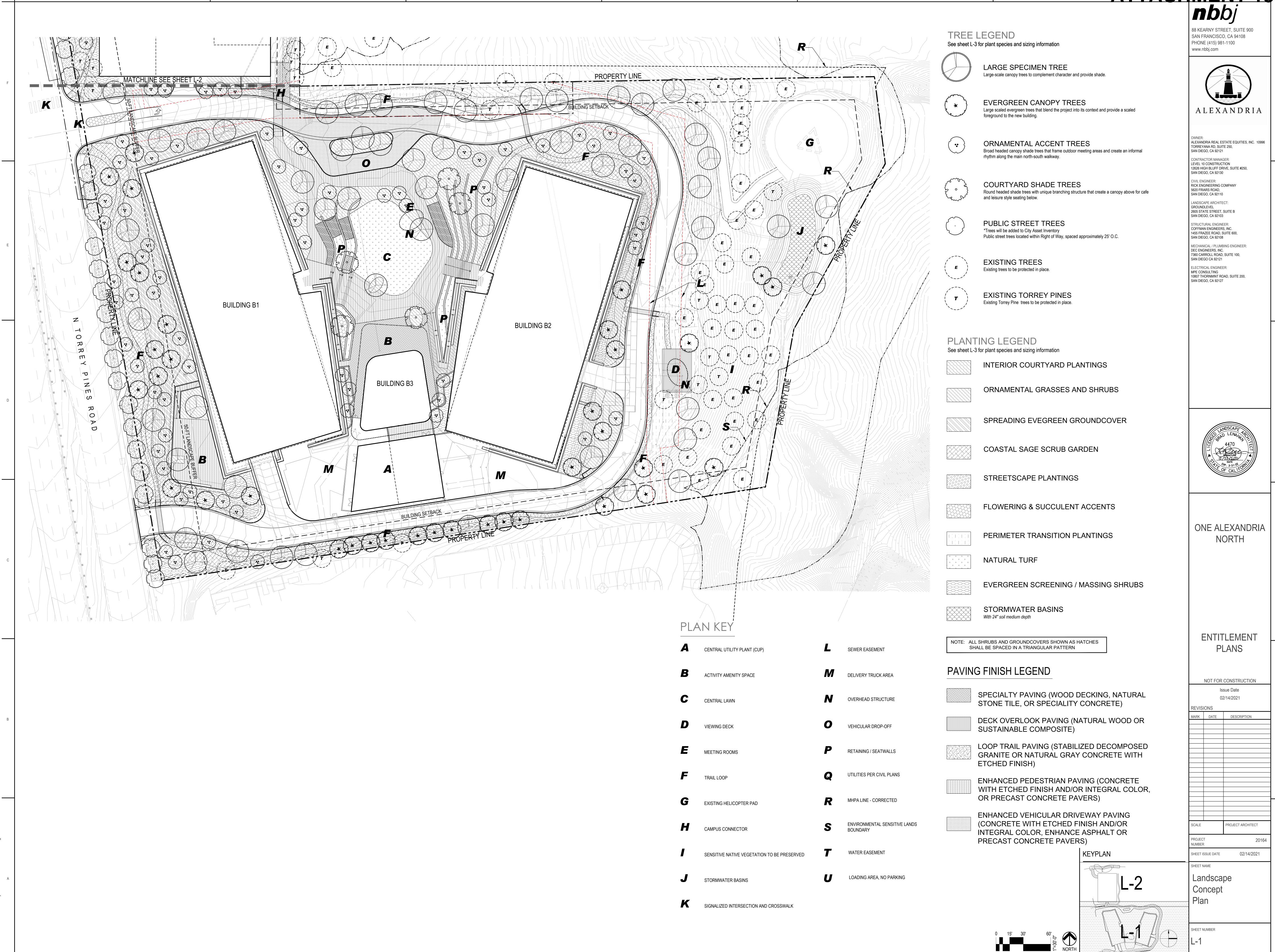












ATTACHMENT 13

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COFFMAN ENGINEERS, INC. 1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108 MECHANICAL / PLUMBING ENGINEER DEC ENGINEERS, INC. 7360 CARROLL ROAD, SUITE 100, SAN DIEGO CA 92121

MPE CONSULTING 10807 THORNMINT ROAD, SUITE 200, SAN DIEGO, CA 92127

ONE ALEXANDRIA NORTH

ENTITLEMENT

PLANS NOT FOR CONSTRUCTION

Issue Date 02/14/2021 REVISIONS

MARK DATE DESCRIPTION

PROJECT ARCHITECT NUMBER

SHEET ISSUE DATE SHEET NAME

Landscape Plant Palette

02/14/2021

LEVEL 10 CONSTRUCTION 12626 HIGH BLUFF DRIVE, SUITE #250, SAN DIEGO, CA 92130

CONTRACTOR MANAGER

2605 STATE STREET, SUITE B SAN DIEGO, CA 92103 STRUCTURAL ENGINEER:

ECTRICAL ENGINEER:

NATURAL TURF 100% SOD

Marathon II Agrostis pallens (Seashore Bentgrass)

EVERGREEN SCREENING / MASSING SHRUBS 100% 1 gallon size @ 24" o.c. average spacing

FLOWERING & SUCCULENT ACCENTS

50% 1 gallon size; 50% 5 gallon size @ 24" O.C. average spacing

PERIMETER TRANSITION PLANTINGS

75% 1 gallon size, average spacing 48" o.c.

Agrostis pallens (Seashore Bentgrass)

Achillea millefolium (Common Yarrow)

Artemisia californica (California Sagebrush)

Baccharis pilularis (Coyote Brush), spreading

Carex praegracilis (San Diego Field Sedge)

Carex pansa (California Meadow Sedge)

Eschscholzia californica (California Poppy)

Eriogonum crocatum (Saffron Buckwheat)

Epilobium californica (California Fuschia)

Festuca microstachys (Small Fescue)

Leymus triticoides (Creeping Wild Rye)

Mimulus puniceus (Red Monkey Flower)

Muhlenbergia Dubia (Pine Muhly)

Rhus integrifolia (Lemonade Berry)

Salvia spp.(Sage)

MIMULUS AURANTIACUS

ERIOGONUM FASCICULATUM

CAMISSONIA CHEIRANTHIFOLIA

ERIOPHYLLUM CONFERTIFLORUM

LOTUS SCOPARIUS

ACMISPON GLABER

LUPINUS BICOLOR

ISOCOMA MENZIESII

LASTHENIA CALIFORNICA

ARTEMSIA CALIFORNICA

ENCELIA CALIFORNICA

Ribes viburnifolium (Evergreen Currant)

Mimulus aurantiacus (Orange Monkey Flower)

Rhamnus californica 'Little Sur' (Little Sur Coffeeberry)

LBS/ACRE

20.75 LBS/ACRE

0.25

Heteromeles arbutifolia (Toyon)

Iva hayesiana (Poverty Weed)

Ceanothus spp. (California Lilac)

Aeonium spp. (Dinner Plate Aeonium)

Leonotus leonurus (Lion's Ear)

Rosa californica (California Rose)

Agave spp. (Agaves)

Aloe spp. (Aloes)

Salvia spp. (Sage)

Chondropetalum tectorum (Small Cape Rush) Dodonaea v. 'Atropurpurea' (Purple Hopbush) Laurus nobilis (Sweet Bay)

Prunus c. 'Bright n Tight' (Carolina Cherry Laurel) Rhaphiolepis indica 'Clara' (Clara Indian Hawthorn) Rhaphiolepis indica 'Pink Lady' (Pink Indian Hawthorn) Rhaphiolepis indica 'Jack Evans' (Jack Evans Indian Hawthorn) Senecio decaryi (Madagascar Senecio)

50% 1 gallon size @ 24" o.c. average spacing / 50% Hydroseed Carex spp. (Sedge)

STORMWATER BASINS

With 24" soil medium depth

Chondropetalum tectorum (Small Cape Rush) Elymus condensatus (Ginat Wildrye) Iva hayesiana (San Diego Marsh-elder) Juncus patens (California Grey Rush) Lomandra longiflora 'Breeze' (Dwarf Mat Rush)

INTERIOR COURTYARD PLANTINGS

60% 1 gallon size; 40% 5 gallon size @ 24" O.C. average spacing Aloe spp. (Aloe) Agave spp. (Agave) Carex praegracilis (California Field Sage) Carex tumulicola (Foothill Sedge)

Chondropetalum tectorum (Cape Thatching Reed) Ceanothus spp. (Ceanothus) Crassula ovata (Jade Plant)

Dianella spp. (Flax Lily) Heuchera spp. (Corral Bells) Lantana cultivars (Lantana)

Leonotus leonurus (Lion's Tale) Leymus c. 'Canyon Prince' (Canyon Prince Wild Rye) Lomandra longifolia Breeze (Dwarf Mat Rush)

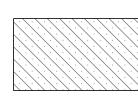
Macfadyena unguis-cacti (Catclaw Vine) Miscanthus tranmorrissonensis (Evergreen Maiden Grass)

Muhlenbergia dubia (Pine Muhly Grass) Muhlenbergia rigens (Deer Grass) 'No Mow' Fescue Mix

 Festuca occidentalis (Western Mokelumne Fescue) Festuca idahoensis (Idaho Fescue)

 Festuca rubra (Creeping Red Fescue) Pittosporum sp. and cultivars (Pittosporum) Salvia spp. (Sage)

Senecio decaryi (Madagascar Senecio) Senecio mandraliscae (Kleinia) Sesleria autumnalis (Autumn Moor Grass) Trachelospermum jasminoides (Star Jasmine) Westringia cultivars (Coast Rosemary)



ORNAMENTAL GRASSES AND SHRUBS

100% 1 gallon size @ 24" O.C. average spacing Anigozanthos flavidus varieties (Kangaroo Paw) Dianella tasmanlca varieties (Flax Lily) Hesperaloe parviflora (Red Yucca) Lomandra spp. (Matt Rush) Muhlenbergia dubia (Pine Muhly) Sesleria autumnalis (Autumn Moor Grass) Buchloe dactyloides (Buffalo Grass) Carex pansa (California Meadow sedge) Elymus condensatus (Ginat Wildrye) Festuca occidentalis (Western Mokelumne Fescue) Festuca idahoensis (Idaho Fescue) Iva hayesiana (San Diego Marsh-elder) Leymus triticoides 'Lagunita' (Wild-Rye) Muhlenbergia rigens (Deer Grass) Salvia spp. (Sage)



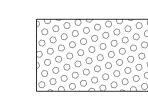
SPREADING EVEGREEN GROUNDCOVER

100% 5 gallon size @ 36" O.C. average spacing Carissa m. 'Emerald Carpet' (-) Ceanothus 'Joyce Coulter' (Joyce Coulter Ceanothus) Cistus salvifolius (Rock Rose) Festuca rubra (Red Fescue) Grevillea I. 'Coastal Gem' (Coastal Gem Grevillea) Lantana cultivars (Lantana)

Westringia f. 'Mundi' (Coast Rosemary)



COASTAL SAGE SCRUB GARDEN 100% 5 gallon size @ 36" O.C. average spacing Achillea millefolium (Common Yarrow) Artemisia spp. (Sagewort) Arctostaphylos 'Emerald Carpet' (Carpet Manzanita) Carex praegracilis (San Diego Field Sedge) Carex pansa (California Meadow Sedge) Ceanothus spp. (California Lilac) Cistus spp.(Rockrose) Eschscholzia californica (California Poppy) Epilobium californica (California Fuschia) Eriogonum crocatum (Saffron Buckwheat) Festuca microstachys (Small Fescue) Festuca mairei (Atlas Fescue) Iris douglasiana (Pacific Coast Iriis) Leymus triticoides (Creeping Wild Rye) Ribes viburnifolium (Evergreen Currant) Salvia clevelandii 'Winnifred Gilman' (Blue Sage)



STREETSCAPE PLANTINGS

Sedum 'Matrona' (Matrona Tall Stonecrop)

Salvia spathacea (Hummingbird Sage)

100% 1 gallon size @ 24" o.c. average spacing Carex praegracilis (California Field Sage) Carex tumulicola (Foothill Sedge) Chondropetalum tectorum (Cape Thatching Reed) Ceanothus spp. (Ceanothus) Leymus c. 'Canyon Prince' (Canyon Prince Wild Rye) Leonotus leonurus (Lion's Ear) Lomandra I. 'Breeze' (Matt Rush) Muhlenbergia dubia (Pine Muhly) Muhlenbergia rigens (Deer Grass) 'No Mow' Fescue Mix

Festuca occidentalis (Western Mokelumne Fescue)

Festuca idahoensis (Idaho Fescue)

 Festuca rubra (Creeping Red Fescue) Sesleria autumnalis (Autumn Moore Grass)

SHEET NUMBER

52 TOTAL SHEETS

LARGE SPECIMEN TREE Large-scale canopy trees to expand adjacent forest and provide shade. 100% 48" box size, 30' high x 30' wide

Plant sizes are indicated for general reference by height x width.

Pinus torreyana (Torrey Pine) Quercus engelmannii (Engelman Oak) Quercus virginiana (Southern Live Oak) Platanus racemosa (California Sycamore)

(62) IN TOTAL

EVERGREEN CANOPY TREES

Large scaled evergreen trees that blend the project into its context and provide a scaled foreground to the new building. 100% 36" box size, 35' high x 25' wide

PROJECT PLANT MATERIAL LEGEND

Lophostemon confertus (Brisbane Box)

Quercus virginiana (Southern Live Oak) Quercus agrifolia (Coast Live Oak) Quercus ilex (Holly Oak)

ORNAMENTAL ACCENT TREES

Small-scale trees with visual interest such as colored foliage, flowering or unique branching structure.

100% 24" box size, 20' high x 20' wide Arbutus 'Marina' (Marina Strawberry Tree) Cercis Occidentalis (Western Redbud)

Cercis canadensis 'Forest Pansy' (Forest Pansy Redbud) Heteromeles arbutifolia (Toyon) Lagestroemia indica (Crape Myrtle) Malosma laurina (Laurel Sumac) Rhus integrifolia (Lemonade Berry)

COURTYARD SHADE TREES Shade trees with unique branching structure that create a canopy above for seating & circulation below.

100% 48" box size, 30' high x 25' wide Quercus agrifolia (Coast Live Oak) Quercus engelmannii (Engelman Oak) Quercus virginiana (Southern Live Oak)

Platanus racemosa (California Sycamore)

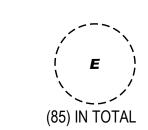
Prosopis chilensis (Chilean Mesquite)

(30) IN TOTAL

PUBLIC STREET TREES

*Trees will be added to City Asset Inventory Public street trees located within Right of Way, spaced approximately 25' O.C.

Lophostemon Confertus (Brisbane Box) Pinus torreyana (Torrey Pine)



EXISTING TREES Existing trees to be protected in place.

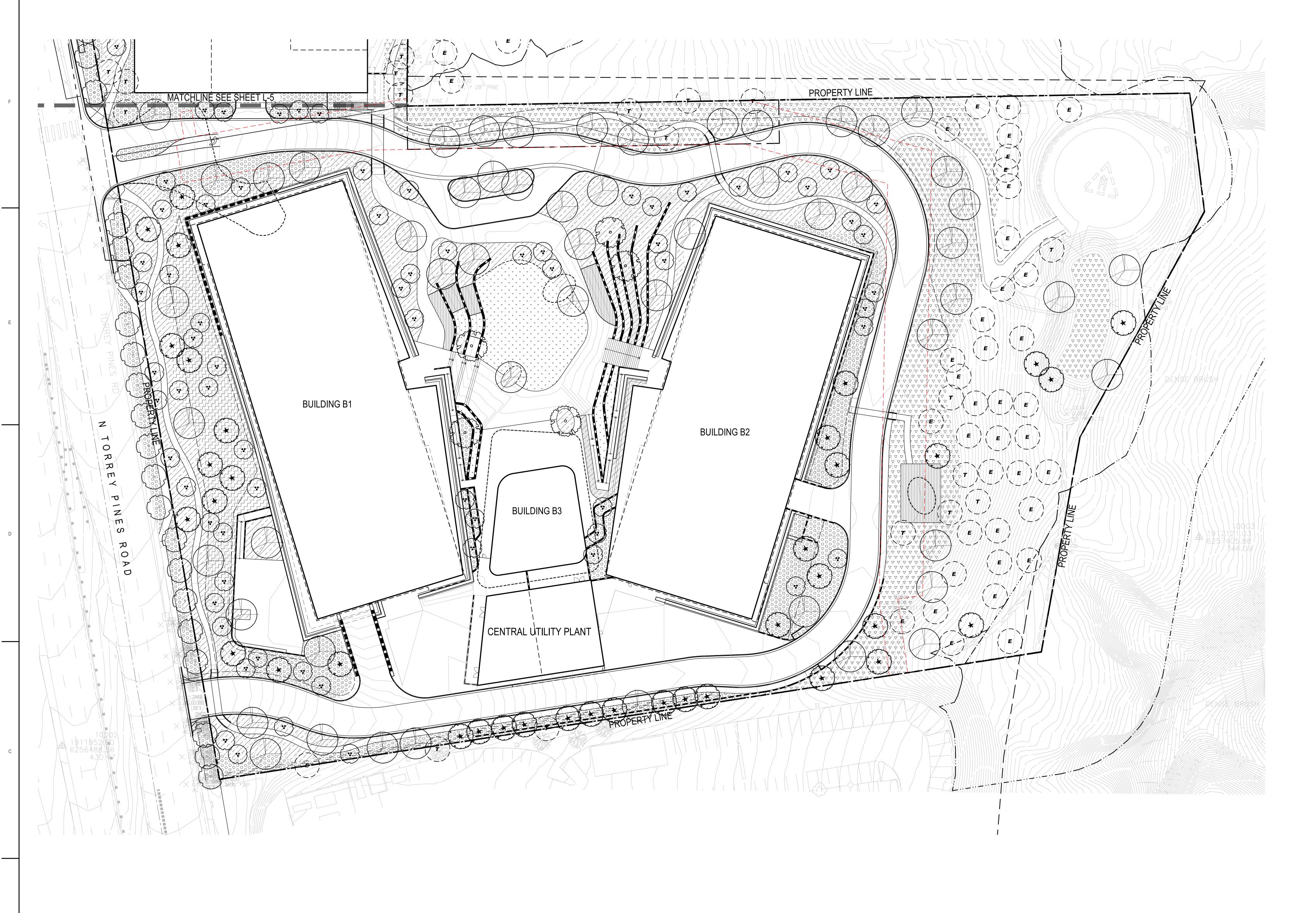
TREE COVERAGE CALCULATION

TOTAL EXISTING TREES REMOVED: 171 **TOTAL NEW TREES: 225'** QUANTITY OF STREET TREES = 32 (963' LF OF APPLICABLE STREET FRONTAGE)

TREE REPLACEMENT

INCREASE IN BUILDING FOOTPRINT.

IN ACCORDANCE WITH THE URBAN FORESTRY PROGRAM, (2) NEW TREES SHALL BE PLANTED FOR EVERY (1) TREE REMOVED, AS ALLOWED - TAKING INTO CONSIDERATION THE



IRRIGATION WATER BUDGET CALCULATION

MAWA WATER BUDGET: (ETo)(0.62)[(ETAF)(LA) + (1-ETAF)(SLA)]

(40)(0.62)[(0.45)(149,741) + (0.55)(8,275)] = 1,783,980.56 GAL./YR.

[(ETo)(0.62)][(PF x HA / IE) + SLA] HYDROZONE 1: $[(40)(0.62)][(0.3 \times 12,577 / 0.75) + 0] = 124,764 \text{ GAL./YR.}$

ETWU ESTIMATED TOTAL WATER USE:

HYDROZONE 2: [(40)(0.62)] [(0.5 x 44,416 / 0.81) + 0] = 679,949 GAL./YR

HYDROZONE 3: $[(40)(0.62)][(0.3 \times 40,476 / 0.81) + 0] = 371,780GAL./YR.$

HYDROZONE 4: [(40)(0.62)] [(0.3 x 52,272 / 0.75) + 0] = 0* GAL./YR.

HYDROZONE 5: [(40)(0.62)] [(0.8 x 0 / 0.75) + 8,275] = 205,220 GAL./YR.

TOTAL ESTIMATED WATER USE = 1,381,712 GAL./YR.

	IRRIGATI	ON HYDROZO	NES	
	HYDROZONE	PLANT FACTOR	AREA (SF)	AREA % OF TOT
	#1 LOW (SPRAY)	0.3	12,577 SF	7.96 %
	#2 MEDIUM (DRIP)	0.5	44,416 SF	28.11 %
	#3 LOW (DRIP)	0.3	40,476 SF	25.62 %
	#4 LOW (TEMP. SPRAY)*	0.3	52,272 SF	33.08 %
* * * * * * * * * * * * * * * * * * *	#5 HIGH (ROTORS)	0.8	8,275 SF	5.24 %
		TOTAL IRRIGATED AREA	158,016 SF	100 %

IRRIGATION NOTES

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.THIS SYSTEM WILL BE CONTROLLED BY A DUAL PROGRAM ELECTRONIC TIME CLOCK AND REMOTE CONTROL VALVES POP-UP TYPE HEADS WILL BE USED ADJACENT TO WALKWAYS AND ROADWAYS. BUBBLER HEADS WILL BE USED FOR LANDSCAPED AREAS LESS THAN 6' WIDE. DRIP IRRIGATION OR LOW-FLOW BUBBLERS SHALL BE USED IN PARKING AREAS AND ADJACENT TO LOW-LEVEL BUILDING GLASS. THE SYSTEM WILL BE INSTALLED AS SOON AS POSSIBLE AFTER CONSTRUCTION AND PRIOR TO PLACEMENT OF PLANT MATERIALS.

*TEMPORARY IRRIGATION WILL BE FOR ESTABLISHMENT ONLY

A DEDICATED LANDSCAPE IRRIGATION METER WILL BE PROVIDED.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

88 KEARNY STREET, SUITE 900 SAN FRANCISCO, CA 94108

PHONE (415) 981-1100

www.nbbj.com

ATTACHMENT 13
nbbj

ALEXANDRIA

ALEXANDRIA REAL ESTATE EQUITIES, INC. 10996 TORREYANA RD, SUITE 250, SAN DIEGO, CA 92121

CONTRACTOR MANAGER: LEVEL 10 CONSTRUCTION 12626 HIGH BLUFF DRIVE, SUITE #250, SAN DIEGO, CA 92130

CIVIL ENGINEER: RICK ENGINEERING COMPANY 5620 FRIARS ROAD,

SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT: GROUNDLEVEL 2605 STATE STREET, SUITE B

SAN DIEGO, CA 92103 STRUCTURAL ENGINEER:

COFFMAN ENGINEERS, INC. 1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108 MECHANICAL / PLUMBING ENGINEER:

DEC ENGINEERS, INC.

SAN DIEGO, CA 92127

7360 CARROLL ROAD, SUITE 100, SAN DIEGO CA 92121 ELECTRICAL ENGINEER: MPE CONSULTING 10807 THORNMINT ROAD, SUITE 200,

ONE ALEXANDRIA NORTH

ENTITLEMENT **PLANS**

NOT FOR CONSTRUCTION Issue Date

02/14/2021 MARK DATE DESCRIPTION

PROJECT ARCHITECT

02/14/2021 SHEET ISSUE DATE

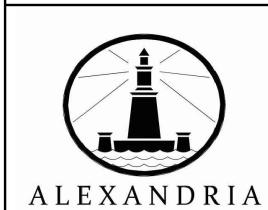
Hydrozone Diagram & Water Analysis

KEYPLAN



ATTACHMENT 13 nbbj

88 KEARNY STREET, SUITE 900 SAN FRANCISCO, CA 94108 PHONE (415) 981-1100 www.nbbj.com



ALEXANDRIA REAL ESTATE EQUITIES, INC. 10996

CONTRACTOR MANAGER: LEVEL 10 CONSTRUCTION 12626 HIGH BLUFF DRIVE, SUITE #250, SAN DIEGO, CA 92130

TORREYANA RD, SUITE 250, SAN DIEGO, CA 92121

CIVIL ENGINEER: RICK ENGINEERING COMPANY 5620 FRIARS ROAD, SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT: GROUNDLEVEL 2605 STATE STREET, SUITE B SAN DIEGO, CA 92103

STRUCTURAL ENGINEER: COFFMAN ENGINEERS, INC. 1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108 MECHANICAL / PLUMBING ENGINEER:

DEC ENGINEERS, INC.

SAN DIEGO, CA 92127

7360 CARROLL ROAD, SUITE 100, SAN DIEGO CA 92121 ELECTRICAL ENGINEER: MPE CONSULTING

10807 THORNMINT ROAD, SUITE 200,

IRRIGATION NOTES

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.THIS SYSTEM WILL BE CONTROLLED BY A DUAL PROGRAM ELECTRONIC TIME CLOCK AND REMOTE CONTROL VALVES POP-UP TYPE HEADS WILL BE USED ADJACENT TO WALKWAYS AND ROADWAYS. BUBBLER HEADS WILL BE USED FOR LANDSCAPED AREAS LESS THAN 6' WIDE. DRIP IRRIGATION OR LOW-FLOW BUBBLERS SHALL BE USED IN PARKING AREAS AND ADJACENT TO LOW-LEVEL BUILDING GLASS. THE SYSTEM WILL BE INSTALLED AS SOON AS POSSIBLE

IRRIGATION WATER BUDGET CALCULATION

HYDROZONE 1: [(40)(0.62)] $[(0.3 \times 12,577 / 0.75) + 0] = 124,764$ GAL./YR.

HYDROZONE 2: [(40)(0.62)] [(0.5 x 44,416 / 0.81) + 0] = 679,949 GAL./YR

HYDROZONE 3: [(40)(0.62)] [(0.3 x 40,476 / 0.81) + 0] = 371,780GAL./YR.

HYDROZONE 5: [(40)(0.62)] [(0.8 x 0 / 0.75) + 8,275] = 205,220 GAL./YR.

HYDROZONE PLANT FACTOR AREA (SF) AREA % OF TOTAL

TOTAL IRRIGATED AREA | 158,016 SF

*TEMPORARY IRRIGATION WILL BE FOR ESTABLISHMENT ONLY

TOTAL ESTIMATED WATER USE = 1,381,712 GAL./YR.

12,577 SF

44,416 SF

40,476 SF

52,272 SF

8,275 SF

7.96 %

28.11 %

25.62 %

33.08 %

5.24 %

HYDROZONE 4: [(40)(0.62)] [(0.3 x 52,272 / 0.75) + 0] = 0* GAL./YR.

(40)(0.62)[(0.45)(149,741) + (0.55)(8,275)] = 1.783,980.56 GAL./YR.

MAWA WATER BUDGET:

」 #1 LOW (SPRAY)

 $\stackrel{\sim}{\circ}$ #2 MEDIUM (DRIP)

#3 LOW (DRIP)

SPRAY)*

#5 HIGH (ROTORS)

(ETo)(0.62)[(ETAF)(LA) + (1-ETAF)(SLA)]

ETWU ESTIMATED TOTAL WATER USE:

[(ETo)(0.62)][(PF x HA / IE) + SLA]

IRRIGATION HYDROZONES

A DEDICATED LANDSCAPE IRRIGATION METER WILL BE PROVIDED.

AFTER CONSTRUCTION AND PRIOR TO PLACEMENT OF PLANT MATERIALS.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



ONE ALEXANDRIA NORTH

> ENTITLEMENT **PLANS**

NOT FOR CONSTRUCTION Issue Date 02/14/2021

MARK DATE DESCRIPTION

PROJECT ARCHITECT

02/14/2021 SHEET ISSUE DATE

Hydrozone Diagram & Water Analysis

KEYPLAN

ATTACHMENT 13 nbbj

LANDSCAPE CALCULATIONS LEGEND

STREET YARD

REMAINING YARD AREA

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.

Industrial and Commercial Development (except Auto Service Stations—see below)

At least one-half of the required planting points shall be achieved with trees.
 If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

22 First Ave., MS-501

Planting Area Required

Total Area (a) 65,288 sq. ft. x 25% = (b) 16,322 sq. ft.

Plant Points Required

Total Area (a) $65,288 \text{ sq. ft.} \times 0.05 \text{ = (ch. 3,264 points)}$

Planting Area Required [§142.0405(c)(2)]

Total Area N/A sq. ft. x 15% = N/A sq. ft.

Plant Points Required

Total Area N/A sq. ft. x 0.03 = N/A points

Planting Area Required

Total Area 48,990 sq. ft. x 30% = 14,697 sq. ft.

Plant Points Required

Total Area 48,990 sq. ft. x 0.05 = 2,450 points

City of San Diego

VEHICULAR USE AREA (<6,000 sf) [§142.0406 - §142.0407]

Planting Area Required

40 sq. ft. per tree.

Plant Points Required

Total Area 57,699 sq. ft. x 0.05 = 2,885 points

REMAINING YARD [\$142.0404 - \$142.0405]

STREET YARD [§142.0404 - §142.0405]

Auto Service Stations Only

VEHICULAR USE AREA (OUTSIDE THE STREET YARD)

VEHICULAR USE AREA (WITHIN THE STREET YARD)

Landscape Calculations

Commercial Development in All Zones
Industrial Development in RM and C Zones
Commercial Components of Mixed-Use Development

Planting Area Provided Excess Area Provided

Plant Points Provided | Excess Points Provided

Plant Points Achieved with Trees (50%)

Planting Area Provided Excess Area Provided

Plant Points Achieved with Trees (50%)

N/A points

Planting Area Provided Excess Area Provided

Plant Points Achieved with Trees (50%)

14,150 points

Worksheet DS-5

Vehicular Use Area (VUA) August 2020

Plant Points Provided Excess Points Provided

Plant Points Achieved with Trees (50%)

620 points

3,694 points

Landscape Calculations FORM

(c-b) 26,382 sq. ft.

(e-d) 9,358 points

N/A sq. ft.

Excess Points Provided

N/A points

10,929 sq. ft.

Excess Points Provided

15,425 points

42,704 sq. ft.

(e) 12,622 points

N/A sq. ft.

Plant Points Provided

N/A points

25,626 sq. ft.

Plant Points Provided

17,874 points

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities.

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code, Refer to §142,0403 Table 142-04B for proposed and existing plant point schedule.

At least one-half of the required planting points shall be achieved with trees.
 If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

DS-4 (08-20)

88 KEARNY STREET, SUITE 900 SAN FRANCISCO, CA 94108 PHONE (415) 981-1100 www.nbbj.com



ALEXANDRIA

OWNER: ALEXANDRIA REAL ESTATE EQUITIES, INC. 10996 TORREYANA RD, SUITE 250, SAN DIEGO, CA 92121

LEVEL 10 CONSTRUCTION 12626 HIGH BLUFF DRIVE, SUITE #250, SAN DIEGO, CA 92130 CIVIL ENGINEER:

RICK ENGINEERING COMPANY 5620 FRIARS ROAD, SAN DIEGO, CA 92110

CONTRACTOR MANAGER:

LANDSCAPE ARCHITECT: GROUNDLEVEL 2605 STATE STREET, SUITE B SAN DIEGO, CA 92103

SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS, INC.

1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108

MECHANICAL / PLUMBING ENGINEER:

MPE CONSULTING

SAN DIEGO, CA 92127

DEC ENGINEERS, INC.
7360 CARROLL ROAD, SUITE 100,
SAN DIEGO CA 92121

ELECTRICAL ENGINEER:

10807 THORNMINT ROAD, SUITE 200,



ONE ALEXANDRIA NORTH

ENTITLEMENT

PLANS

NOT FOR CONSTRUCTION

Issue Date

02/14/2021

REVISIONS

MARK DATE DESCRIPTION

PROJECT
NUMBER

SHEET ISSUE DATE 02/14/20

SHEET NAME

Landscape Diagram & Calculations

PROJECT ARCHITECT

SHEET NUMBER
L-6

0 20' 40' 80' 0-0-1-1-1 NORTH





		5					6	AL	LA
	Species	Health	Action	Notes	160	Eucalyptus globulus			
1 2 3	Eucalyptus Spp. Eucalyptus Spp. Erythrina spp.				161 162 163	Eucalyptus globulus Not used Not used			
4 5	Eucalyptus globulus Eucalyptus globulus				164 165	Not used Not used			
6 7 8	Eucalyptus sideroxylon Pinus torreyana Pinus torreyana				166 167 168	Pinus spp. Pinus spp. Pinus torreyana			
9	Pinus torreyana Erythrina spp.				169 170	Washingtonia robusta Platanus racemosa			
2	Platanus racemosa Platanus racemosa				171 172	Pinus spp. Pinus spp.			
3 4 5	Pinus torreyana Pinus torreyana Magnolia grandiflora				173 174 175	Platanus racemosa Pinus spp. Pinus spp.			
6 7	Schinus molle Pinus torreyana				175 176 177	Pinus spp. Pinus spp. Pinus spp.			
9	71				178 179	Pinus spp. Pinus spp.			
0 1 2	Eucalyptus globulus Eucalyptus globulus Pinus torreyana				180 181 182	Pinus spp. Pinus spp. Pinus spp.			
3 4	Erythrina spp. Erythrina spp.				183 184	Pinus torreyana Pinus torreyana			
5 6	Erythrina spp. Liquidambar styraciflua				185 186	Pinus torreyana Eucalyptus globulus			
<u>/</u> 8 9	Platanus racemosa Erythrina spp. Liquidambar styraciflua				187 188 189	Eucalyptus globulus Not used Ficus benjamina			
0	Liquidambar styraciflua Ficus benjamina				190 191	Pinus spp. Pinus spp.			
2	Ficus benjamina Ficus benjamina				192 193	Pinus spp. Pinus spp.			
4 5 6	Rhaphiolepis x 'Montic' Liquidambar styraciflua Liquidambar styraciflua				194 195 196	Pinus spp. Pinus spp. Pinus spp.			
78	Liquidambar styraciflua Liquidambar styraciflua				197 198	Pinus torreyana Pinus torreyana			
9	Liquidambar styraciflua Liquidambar styraciflua				199 200	Pinus torreyana Pinus torreyana			
1 2	Liquidambar styraciflua Liquidambar styraciflua Liquidambar styraciflua				201 202 203	Pinus torreyana Pinus torreyana Forthring con			
<u>4</u> 5	Chamaerops humilis Chamaerops humilis			Multi-trunk (5) Multi-trunk (5)	203	Erythrina spp. Pinus torreyana Pinus torreyana			
6 7	Pinus torreyana Pinus torreyana				206 207	Pinus torreyana Pinus torreyana			
8 9	Pinus torreyana Liquidambar styraciflua Liquidambar styraciflua				208	Pinus torreyana Pinus torreyana			
<u>1</u>	Liquidambar styraciflua Pinus torreyana				210 211 212	Pinus spp. Pinus spp. Pinus spp.			
3 4	Pinus torreyana Liquidambar styraciflua				213 214	Pinus spp. Pinus spp.			
5 6	Liquidambar styraciflua Liquidambar styraciflua				215 216	Pinus spp. Pinus spp.			
/ 8 9	Liquidambar styraciflua Eucalyptus globulus Eucalyptus globulus				217 218 219	Pinus spp. Pinus spp. Pinus spp.			
0	Liquidambar styraciflua Liquidambar styraciflua				220 221	Pinus spp. Pinus spp.			
2	Liquidambar styraciflua Liquidambar styraciflua				222 223	Washingtonia robusta Pinus torreyana			
4 5	Liquidambar styraciflua Liquidambar styraciflua Liquidambar styraciflua				224 225 226	Pinus torreyana Syagrus romanzoffiana Syagrus romanzoffiana			
78	Eucalyptus globulus Liquidambar styraciflua				227 228	Syagrus romanzoffiana Not used			
9	Liquidambar styraciflua Liquidambar styraciflua				229 230	Not used Platanus racemosa			
1 2	Liquidambar styraciflua Liquidambar styraciflua Liquidambar styraciflua				231 232 233	Platanus racemosa Not used Not used			
4 5	Liquidambar styraciflua Liquidambar styraciflua				234	Not used Not used			
6 7	Liquidambar styraciflua Liquidambar styraciflua				236 237	Syagrus romanzoffiana Syagrus romanzoffiana			
8 9 0	Pinus torreyana Pinus torreyana Pinus torreyana				238 239 240	Pinus torreyana Pinus torreyana Pinus torreyana			
1 2	Chamaerops humilis Chamaerops humilis			Multi-trunk (3) Multi-trunk (3)	241	Phoenix roebelenii Ficus benjamina			
3 4	Liquidambar styraciflua Liquidambar styraciflua				243 244	Phoenix roebelenii			
5 6 7	Liquidambar styraciflua Liquidambar styraciflua Chamaerops humilis			Multi-trunk (5)	245 246 247	Schefflera spp. Pinus torreyana Pinus torreyana			
<u>'</u> 8 9				Multi-trunk (3)	248 249	Pinus torreyana Arbutus unedo			
0	Liquidambar styraciflua Liquidambar styraciflua				250 251	Arbutus unedo Platanus racemosa			
2 3 1	Liquidambar styraciflua Erythrina spp. Podocarpus gracilior				252 253 254	Platanus racemosa Podocarpus gracilior Platanus racemosa			
5 6	Podocarpus gracilior				255 256	Platanus racemosa Platanus racemosa			
7 8	' '				257 258	Platanus racemosa Pinus torreyana			
9 0 1	<u>'</u>			Multi-trunk (4)	259 260 261	Pinus torreyana Platanus racemosa Jacaranda mimosifolia			
2 3	Chamaerops humilis Podocarpus gracilior			Multi-trunk (3)	262 263	Jacaranda mimosifolia Pinus spp.			
<u>4</u>	Pinus torreyana Pinus torreyana				264 265	Pinus spp. Pinus spp.			
6 7 8	Pinus torreyana				266 267 268	Pinus spp. Pinus spp. Pinus spp.			
9	,				269 270	Pinus spp. Quercus agrifolia			
2	Pinus torreyana Pinus torreyana				271 272	Pinus spp. Pinus spp.			
<u>3</u> 4 5	Pinus torreyana Pinus torreyana Pinus torreyana				273 274 275	Prunus spp. Pinus spp. Pinus spp.			
6 7	Pinus torreyana					. жас орр			
8 9	Pinus torreyana								
<u>0</u> 1 2	Pinus torreyana Pinus torreyana Pinus torreyana				-				
2 3 4	Pinus torreyana Pinus torreyana								
5 6	Pinus torreyana Liquidambar styraciflua				-				
7 8 9	·				-				
0	Pinus torreyana Pinus torreyana]				
2 3	Pinus torreyana Pinus torreyana				_				
<u>4</u> 5 6	Pinus torreyana Platanus racemosa Platanus racemosa				-				
78	Platanus racemosa Platanus racemosa]				
9	Platanus racemosa				_				
1 2	Platanus racemosa Platanus racemosa Platanus racemosa				-				
<u>3</u> 4	Platanus racemosa				1				

ATTAC	HMEN
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	88 KEARNY STREET, SUI SAN FRANCISCO, CA 941 PHONE (415) 981-1100 www.nbbj.com
	ALEXANI
	OWNER: ALEXANDRIA REAL ESTATE EQUI TORREYANA RD, SUITE 250, SAN DIEGO, CA 92121
	CONTRACTOR MANAGER: LEVEL 10 CONSTRUCTION 12626 HIGH BLUFF DRIVE, SUITE ; SAN DIEGO, CA 92130
	CIVIL ENGINEER: RICK ENGINEERING COMPANY 5620 FRIARS ROAD, SAN DIEGO, CA 92110 LANDSCAPE ARCHITECT:
	GROUNDLEVEL 2605 STATE STREET, SUITE B SAN DIEGO, CA 92103 STRUCTURAL ENGINEER: COFFMAN ENGINEERS, INC. 1455 FRAZEE ROAD, SUITE 600,
	SAN DIEGO, CA 92108 MECHANICAL / PLUMBING ENGINI DEC ENGINEERS, INC. 7360 CARROLL ROAD, SUITE 100, SAN DIEGO CA 92121
	ELECTRICAL ENGINEER: MPE CONSULTING 10807 THORNMINT ROAD, SUITE 2 SAN DIEGO, CA 92127
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	LANDSCAPE QUANDSCAPE QUAND LENAX
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NOT FOR CONSTRUCTION Issue Date

02/14/2021 REVISIONS MARK DATE DESCRIPTION

PROJECT ARCHITECT

02/14/2021 SHEET ISSUE DATE SHEET NAME

Existing Tree Map

SHEET NUMBER

52 TOTAL SHEETS

ATTACHMENT 13
nbbj

BRUSH MANAGEMENT ZONES:

ZONE 2 REDUCTIONS:

BRUSH MANAGEMENT ZONE 1

*SEE SHEET L-3 FOR PLANTING LEGEND

BRUSH MANAGEMENT ZONE 2

*SEE SHEET L-3 FOR PLANTING LEGEND.

BRUSH MANAGEMENT ZONE 2 HAS BEEN REDUCED/REMOVED BASED UPON THE EXISTING

CONDITIONS MAINTAINED ON THIS PROPERTY. THESE AREAS CURRENTLY EXIST IN A ZONE 1

CONDITION. BRUSH MANAGEMENT ZONE 1 HAS BEEN MAINTAINED AT ALL AREAS WHERE A

HABITABLE STRUCTURE IS WITHIN 100' OF THE PROPERTY LINE. ALTERNATIVE COMPLIANCE

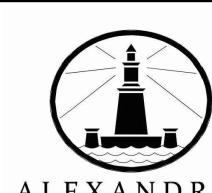
SHALL BE IMPLEMENTED AT THE DISCRETION OF THE FIRE MARSHALL.

ALL SALVAGEABLE PLANT MATERIAL BEYOND THE LIMIT OF GRADING

WILL BE PRESERVED AND MAINTAINED IN A ZONE-2 CONDITION.

88 KEARNY STREET, SUITE 900 SAN FRANCISCO, CA 94108 PHONE (415) 981-1100

www.nbbj.com



ALEXANDRIA

TORREYANA RD, SUITE 250, SAN DIEGO, CA 92121 CONTRACTOR MANAGER: LEVEL 10 CONSTRUCTION 12626 HIGH BLUFF DRIVE, SUITE #250,

OWNER: ALEXANDRIA REAL ESTATE EQUITIES, INC. 10996

SAN DIEGO, CA 92130

CIVIL ENGINEER:
RICK ENGINEERING COMPANY
5620 FRIARS ROAD,

SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL

2605 STATE STREET, SUITE B SAN DIEGO, CA 92103

STRUCTURAL ENGINEER: COFFMAN ENGINEERS, INC. 1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108

ELECTRICAL ENGINEER:

SAN DIEGO, CA 92127

MECHANICAL / PLUMBING ENGINEER: DEC ENGINEERS, INC. 7360 CARROLL ROAD, SUITE 100, SAN DIEGO CA 92121

MPE CONSULTING 10807 THORNMINT ROAD, SUITE 200,

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CAP. 3-31-22

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CAP. 3-31-22

ONE ALEXANDRIA NORTH

ENTITLEMENT PLANS

NOT FOR CONSTRUCTION

Issue Date

02/14/2021
REVISIONS
MARK DATE DESCRIPTION

SCALE PROJECT ARCHITECT

NUMBER

SHEET ISSUE DATE 02/

SHEET NAME

Brush Management Plan

SHEET NUMBER

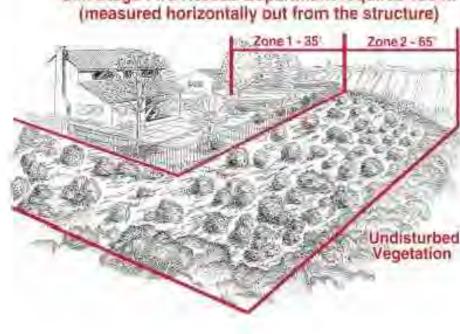
L-8

San Diego Municipal Code §142.0412 - Brush Management

Table 142-04H

	Standard Width	Provided Width
Zone One	35-feet	
Zone Two	65-feet	

San Diego Fire-Rescue Department requires 100 ft.



- The Zone Two width may be decreased by 11/2 feet for each 1 foot of increase in Zone One width.
- Zone One Requirements
 - (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
 - (2) Zone One shall contain no habitable *structures*, *structures* that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or heavy timber construction.
 - Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and
 - Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
 - Permanent irrigation is required for all planting areas within Zone One except as follows:
 - (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
 - When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
 - Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
 - Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.

(h) Zone Two Requirements

- The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure, to the edge of undisturbed vegetation.
- (2) No structures shall be constructed in Zone Two.
- (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
- Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
- (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistive. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological
 - New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistive native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder
 - All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only lowflow, low-gallonage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

San Diego Landscape Standards Section III - Brush Management

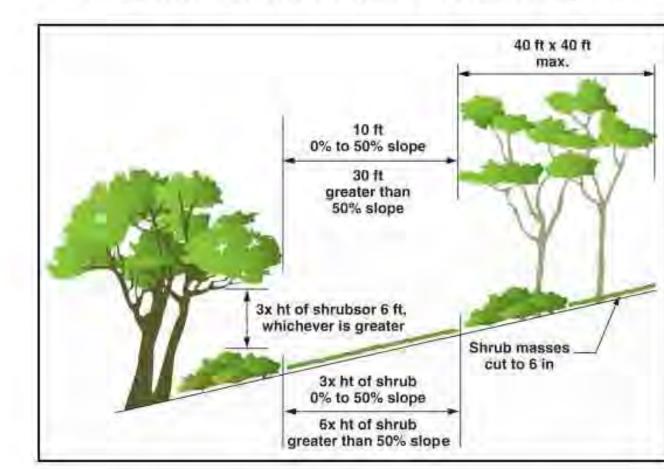
3-1 BRUSH MANAGEMENT - DESCRIPTION

Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

3-2 BRUSH MANAGEMENT- REQUIREMENTS

- 3.2-1 Basic requirements All Zones
 - 3.2-1.01 For zone two, plants shall not be cut below six inches.
 - 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
 - 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.

Figure 3-1 Pruning Trees to Provide Cleareance for Brush Management



- 3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).
- 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and
- 3.2-2 Zone 1 Requirements All Structures
 - 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").
 - 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
 - 3.2-2.03 Maintain all plantings in a succulent condition.
 - 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.

3.2-3 Zone 2 Requirements - All Structures

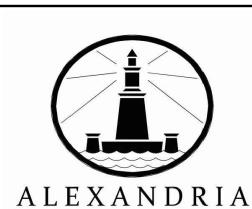
3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

- 1. General Maintenance Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance, Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
- 2. Brush Management Zone 1 This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
- 3. Brush Management Zone 2 ~ Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.
- 4. Long-term Maintenance Responsibility ~ All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.



88 KEARNY STREET, SUITE 900 SAN FRANCISCO, CA 94108 PHONE (415) 981-1100 www.nbbj.com



ALEXANDRIA REAL ESTATE EQUITIES, INC. 10996 TORREYANA RD, SUITE 250, SAN DIEGO, CA 92121

CONTRACTOR MANAGER: LEVEL 10 CONSTRUCTION 12626 HIGH BLUFF DRIVE, SUITE #250, SAN DIEGO, CA 92130

IVIL ENGINEER: RICK ENGINEERING COMPANY 5620 FRIARS ROAD, SAN DIEGO, CA 92110 ANDSCAPE ARCHITECT

GROUNDLEVEL 2605 STATE STREET, SUITE B SAN DIEGO, CA 92103 STRUCTURAL ENGINEER:

COFFMAN ENGINEERS, INC. 1455 FRAZEE ROAD, SUITE 600, SAN DIEGO, CA 92108 MECHANICAL / PLUMBING ENGINEER DEC ENGINEERS, INC. 7360 CARROLL ROAD, SUITE 100,

SAN DIEGO CA 92121 LECTRICAL ENGINEER: MPE CONSULTING 10807 THORNMINT ROAD, SUITE 200, SAN DIEGO, CA 92127



ONE ALEXANDRIA NORTH

ENTITLEMENT PLANS

NOT FOR CONSTRUCTION

Issue Date 02/14/2021 REVISIONS

MARK DATE DESCRIPTION

PROJECT ARCHITECT

NUMBER 02/14/2021 SHEET ISSUE DATE

SHEET NAME **Brush Management**

SHEET NUMBER

Notes

52 TOTAL SHEETS

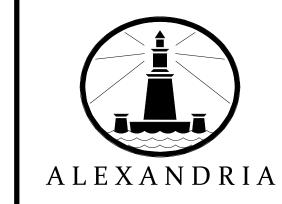








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ALEXANDRIA REAL ESTATE EQUITIES, INC. 10996 TORREYANA ROAD, SUITE 250 SAN DIEGO, CA 92121 CONSTRUCTION MANAGER: LEVEL10 12626 HIGH BLUFF DRIVE, SUITE 250 SAN DIEGO, CA 92130 CIVIL ENGINEER:

> 5620 FRIARS ROAD SAN DIEGO, CA 92110 LANDSCAPE ARCHITECT: GROUNDLEVEL 2605 STATE STREET B SAN DIEGO, CA 92103 STRUCTURAL ENGINEER:

RICK ENGINEERING

COFFMAN ENGINEERS 1455 FRAZEE ROAD, SUITE 600 SAN DIEGO, CA 92108 MECHANICAL & PLUMBING ENGINEER: DEC ENGINEERS 7360 CARROLL ROAD, SUITE 100 SAN DIEGO, CA 92121

> **ELECTRICAL ENGINEER:** MPE CONSULTING

SAN DIEGO, CA 92127

10807 THORNMINT RD SUITE 200

ONE ALEXANDRIA

NORTH

DEVELOPMENT **PERMIT**

NOT FOR CONSTRUCTION

IONS	
DATE	DESCRIPTION

PROJECT ARCHITECT NBBJ PROJECT 102706.00 NUMBER

SHEET ISSUE DATE SHEET NAME

DEVELOPMENT DATA, ZONING

CODE ANALYSIS & GENERAL NOTES

SHEET NUMBER GC002

PARKING REQUIRED PER BLDG / PARKING PROVIDED PER BLDG

OAN GFA & PARKING SUMMARY

TOTAL OF LOCKES AND SHOWERS FOR THE ENTIRE PREMISE.

MOTORCYCLE SPACES ARE PROVIDED IN THE PARKING AREAS

EMPLOYEE COUNT IS BASED ON MCAS- MIRIMAR ALUCP

LONG TERM BIKE STORAGE @ 5% OF

PARKING STALLS CALC

UILDING NAME

UILDING NAME

LONG TERM BIKE CALCS ONLY USES THE 5% OF TOTAL PARKING, WHICH UTLIZES THE BLUE TABLE.

AREA COUNTS TOWARDS PARKING

GROSS FLOOR PERSONS

AREA @1/450 SF

127,008 SF

5,014 SF

8,976 SF

127,008 SF

115,501 SF

5,014 SF

8,976 SF

256,500 SF

115,501 SF

GFA EXEMPT Grand Total

256,500 SF 20,527 SF 277,027 SF

MCAS MAX

282.2

256.7

11.1

19.9

20,527 SF 147,535 SF

115,501 SF

5,014 SF

8,976 SF

BUILDING	LAB, R&D, CREATIVE OFFICE, RETAIL AND ACCESSORY GFA	LAB, R&D, CREATIVE OFFICE, RETAIL AND ACCESSORY AREA CONTRIBUTING TO PARKING NEED		MIN PARKING REQUIRED PER ZONING	MAX PARKING RATIO (STALL/1000 SF	MAX ALLOWED	ALTERNATE CALC PER MCAS LIMITS OF 50 PERSON PER ACRE	MCAS MAX PARKING ALLOWED (SUPERSEDES ZONING CODE	MOTORCYCLE PARKING @2% OF MIN REQUIRED [SDMC Section 142.0530(g)]	REGULAR STALL PARKING PROVIDED (MCAS Maximum)	ACCESSIBLE PARKING REQ'D PER SDM-117 (9/17/18)	VAN ACCESSIBLE PARKING REQUIRED*	REGULAR ACCESSIBLE PARKING PROVIDED	VAN ACCESSIBLE PARKING PROVIDED	ADA Stalls provided	TOTAL PARKING PROVIDED	LOADING AREA REQUIRED 0.2/10,000 SF for R&D BLDGS ABOVE 50,000 SF OF GFA	LOADING AREAS	6% OF PROVIDE S EV CAPABLE / CHARGING STATIONS (EVCS	AIR VECHILE PARKING/	CALCs 5% of p
B1	127,008 SF	147,535 SF	2.5	368.8	4.0	590.1	450 sf/person	282.2	5.6	13	1	1	1	1	2	15	2.5	3.0	1.0	2.0	15.0
B2	115,501 SF	115,501 SF	2.5	288.8	4.0	462.0	450 sf/person	256.7	5.1	39	2	1	1	2	3	42	2.3	2.0	3.0	5.0	13.0
В3	3,358 SF	3,358 SF	2.5	12.5	4.0	20.1	450 sf/person	11.1	0.2												1.0
B4	10,632 SF	10,632 SF	2.5	22.4	4.0	35.9	450 sf/person	19.9	0.4												1.0
PS1										502	10	2	6	5	11	513			31.0	52.0	
TOTAL	256,500 SI	277,026 SF	F	693		1,108		570	11	554	13	4	8	8	16	570	5	5	35	59	30
TOTAL NUMBER OF STALLS REQUIRED ACTUAL TOTAL # OF STALLS PROVIDED CAMPUS PARKING RATIO	MCAS MAX		570 570 2.06		ARKING (CAP STRA	ATEGY 3 QUESTION MUM REQUIRED TOTAL NUMBER	PARKING RATIO FOR			3					10B Required O	ff-Street Loading S	paces for Industrial	l Use Category for	r Buidlings Over 50,	000 sf is 0.2 spaces per 10,	,000 sqft of GFA
PARKING REQUIRMENTS PE PARKING SPACE SDMC CHAPTER 14 ARTICLE 2 DIVISION 5 TABLES INDUSTRIAL RESEARCH AND DEVELOPMENT - TABLE 142-050	CES REQUIRED PER 1,000 SF OF MIN	FLOOR AREA	TPA MIN 2.1	MAX 4	F	PARKING SPA PROVIDED IN PA FACILITY 1-25 26-50 51-75 76-100 101-150 151-200_	REC	QUIRED ACCESS PARKING SPACE 1 2 3 4 5 6	SIBLE					B. At least one van adjacet parking spa	parking space is re ces shall be disper	equired for every 6 or rsed and located close	est to the accessible e	spaces. In buildings entrances. A van acc	or facilities with mult essible space shall be	ple accessible entrances with provided at each location. France of 98" minimum.	
CLIMATE ACTION PLAN SHO REQUIRED / PROVIDED		NG-TERM	BIKE STO	RAGE C	CALCUL	201–300_ 301–400_ 401–500_ 501–1,000_ 1,001 AN OV		2% OF TOTAL LUS 1 FOR EAC TION THEREOF,	CH 100, , OVER 1000	LITIES				Table 142-10B Required Off-Street Wholesale, Distribu Category		Use	0-10	0,000		0	

• CLIMATE ACTION PLAN CHECKLIST PROVIDES AREA PER EMPLOYEE AND THE MASTER SHOWER FACILITIES TABULATION METHOD FOR CALCULATION. THE SAMPLE TABLE ALLOWS THE ADDITION OF FRACTIONS FOR EACH ROW TO CALCULATE THE

• SHORT TERM BIKE CALCS PROVIDE TWO METHODS, THE FIRST METHOD IS BASED ON 5% OF TOTAL PARKING STALLS, AND THE SECOND METHOD IS BASED ON 0.1/1000SF OF DEVELOPEMENT AREA THAT IS NOT DESIGNATED AS PARKING. HENCE

LONG TERM PARKING STORATE

BIKES @5% OF PARKING STALLS

15 BIKES

13 BIKES

1 BIKES

1 BIKES

30 BIKES

THE GREY TABLE. THE BLUE TABLE CALCULATES THE PARKING REQUIREDMENTS AND ADDS PROGRAM THAT MAY HAVE BEEN EXEMPT DUE TO GFA CALCULATION METHODS. THE GREATER NUMBER WOULD BE USED FOR THE SHORT TERM BIKES.

HORT-TERM BIKE STORATGE

30 BIKES

30 BIKES

13 LOCKERS

4 SHOWER FACILITIES

ILDING NAME

Grand Total

REQUIRED

REQUIRED

AREA IS PARKING

127,008 SF

115,501 SF

5,014 SF

8,976 SF

256,500 SF

GFA EXEMPT Grand Total

20,527 SF 147,535 SF

20,527 SF 277,027 SF

115,501 SF

5,014 SF

8,976 SF

BIKES @0.1/1000 SF R&D ratio

15 BIKES

12 BIKES

1 BIKES

1 BIKES

29 BIKES

PROVIDED SHOWERS

4 SHOWERS

4 SHOWERS

8 SHOWERS

• THE AREA OF 450 SF PER EMPLOYEE IS USED TO CACLULATE THE EMPLOYEES AS THE DEVELOPENT IS R&D CAMPUS THAT IS ORIENTED FOR LAB/OFFICE USEAGE.

• TOTAL EVCS SHALL BE DISTRIBUTED BETWEEN BUIDLINGS PS1, B1 AND B2. ACTUAL LOCATION OF THE STALLS SHALL BE DESIGNED IN CONJUCTION WITH AN ELECTRICAL ENGINEER

MCAS PARKING MAX

@1/450 SF

282 STALLS

257 STALLS

11 STALLS

20 STALLS

570 STALLS

SUMMARY FOR CLIMATE ACTION PLAN CHECKLIST:

SHORT-TERM BICYCLE PARKING REQUIRED

LONG-TERM BICYCLE PARKING REQUIRED

SHOWERS AND LOCKERS FOR 570 EMPLOYEES

ONE SHOWER PLUS ONE PER 200 EMPLOYEES

ONE LOCKER PLUS ONE PER 50 EMPLOYEES

MOTORCYCLE PARKING REQUIRED

DESIGNATED PARKING NOTES

13.0

- ELECTRIC VEHICLE PARKING IS CALCULATED AT 6% OF THE PROVIDED STALLS PER CALGREEN REQUIREMENTS.
- CLEAN AIR, CARPOOL AND ZERO EMISSION VEHICLES ARE CALCULATED AT 8% OF <u>REQUIRED</u> STALLS.
- THE 6% ELECTRIC VEHICLES ARE INCLUDED IN THE 10% AS PER THE SDMC ALLOWANCE, WHICH ACTUALLY REQUIRES LESS THAN 10%, AND ONLY REQUIRES 8% PER SDMC § 142.0530(d)(1)(B)(viii) WHICH STATES:
- DESIGNATED PARKING SPACES FOR CARPOOL VEHICLES AND ZERO EMISSIONS VEHICLES EQUAL TO AT LEAST 8% OF THE TOTAL AUTOMOBILE PARKING SPACES ON THE PREMISES IF THERE ARE 201 OR MORE AUTOMOBILE PARKING SPACES ON
- THE PREMISES. PER THE CAP CHECKLIST, 50% OF THE REQUIRED ELECTRIC VEHICLE PARKING CHARGING STATIONS EVCS SHALL BE CONSTRUCTED AND SUPPLIED WITH THE CHARGING UNITS AT COMPLETION OF THE BUILDING(S). THE REMAINING 50% SHALL HAVE THE INFRASTRUCTURE CAPABILITY TO BE EQUIPPED

WITH THE CHARGING STATIONS AT A LATER DATE.

LOCATION:

10,001-50,000

Over 50,000

0.2 space per 10,000 sq.ft. of gross floor area

Industrial Use Category

SHORT TERM BIKE STORAGE

15.0 BIKES

13.0 BIKES

1.0 BIKES

1.0 BIKES

30.0 BIKES

PROVIDED BIKE PARKING

SPLIT EVENLY BETWEEN

36 BIKES

36 BIKES

72 BIKES

LONG-TERM AND SHORT-TERM

BIKES @5% OF PARKING STALLS GREATER COUNT PER BLDG

15.0 BIKES

13.0 BIKES

1.0 BIKES

1.0 BIKES

30 BIKES

PROVIDED LOCKERS

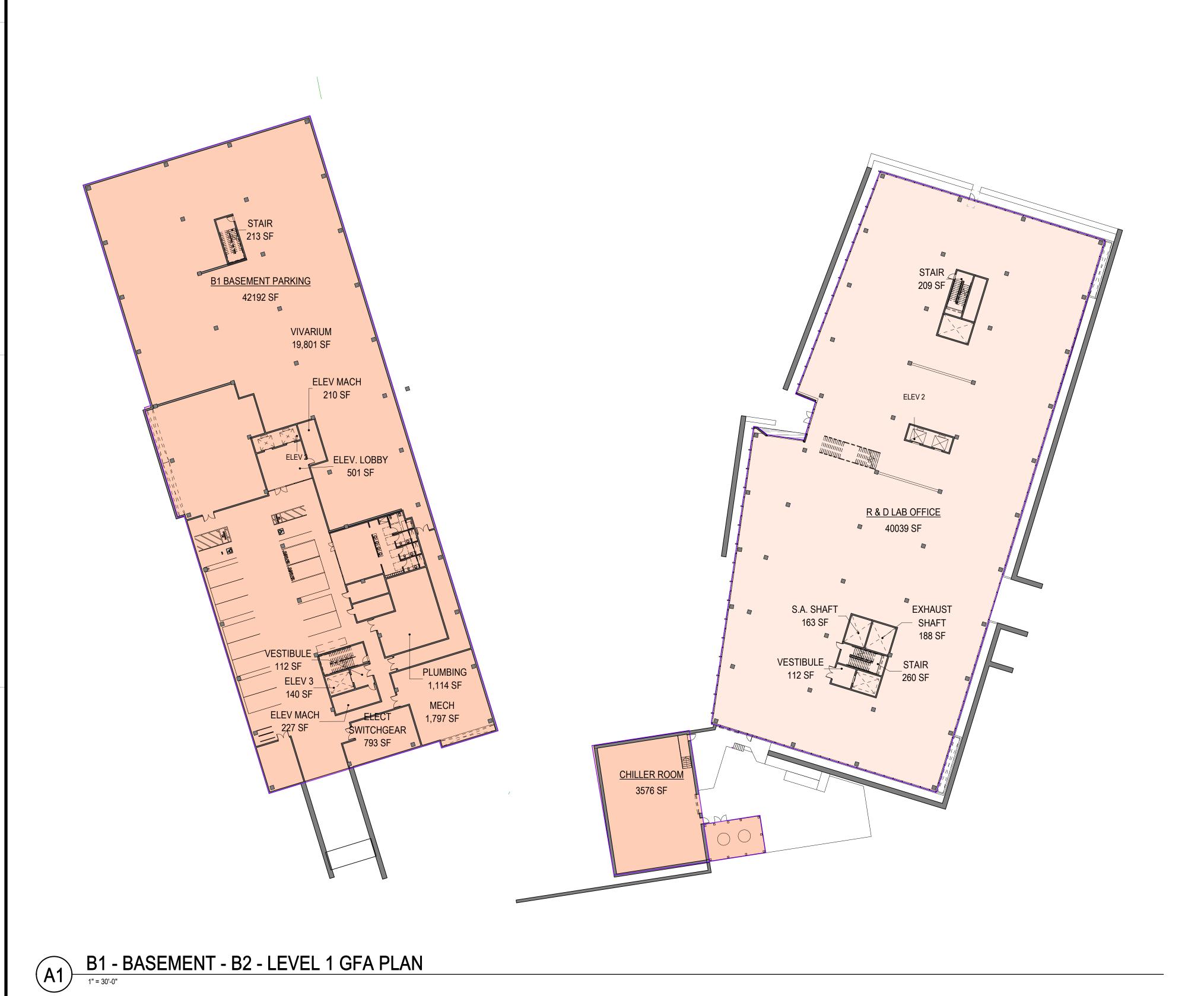
20 LOCKERS

20 LOCKERS

40 LOCKERS

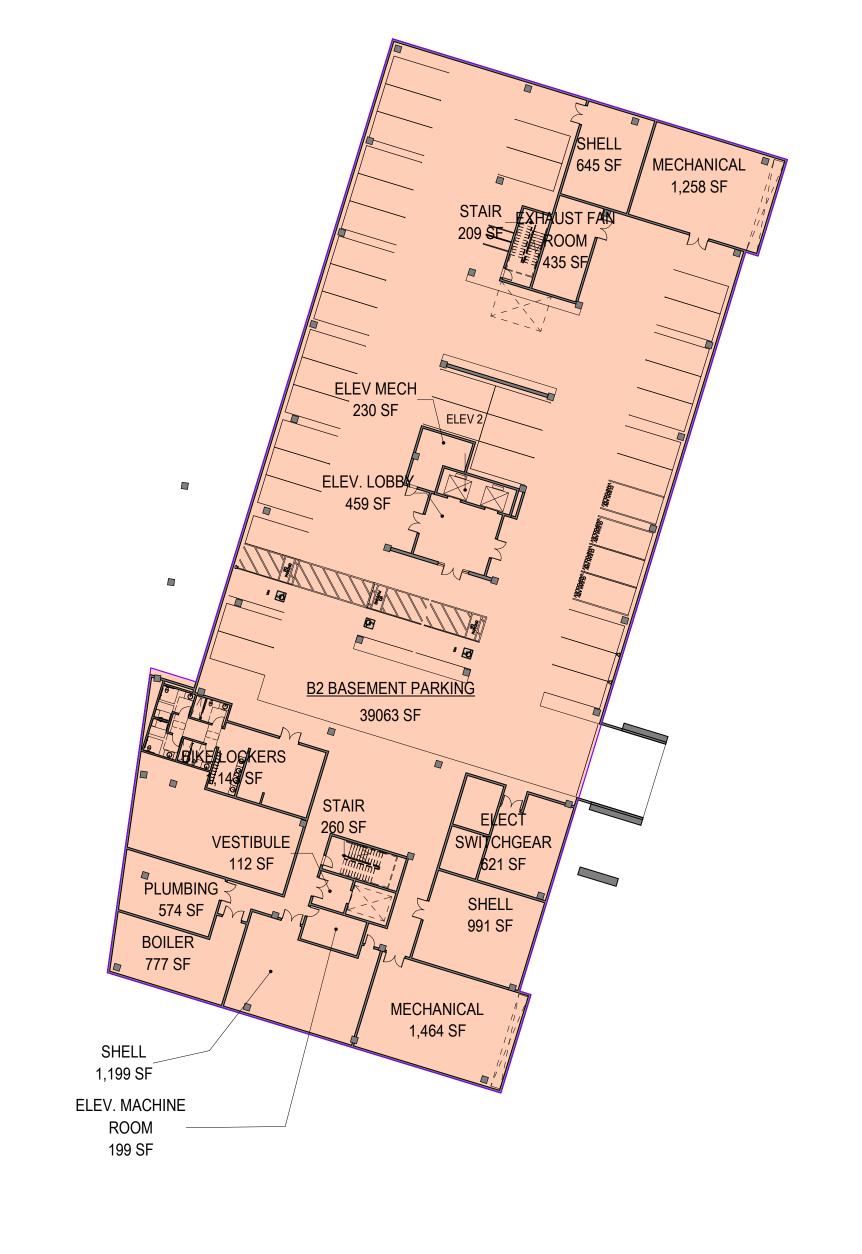
- THE DESIGNATED PARKING WILL BE DISTRIBUTED BETWEEN
- BUILDINGS PS1, B1, AND B2 AS FOLLOWS:
- BUILDING PS1 LEVEL 1 FOR EASE OF ACCESS. BUILDINGS B1 AND B2 BASEMENTS TO SERVE THE
- CAMPUS EMPLOYEES.
- THE EXACT LOCATION OF DESIGNATED PARKING SPACES
- FOR CARPOOL VEHICLES AND ZERO EMISSIONS VEHICLES TBD
- THE ANTICIPATED LOCATIONS OF EVCS STALLS SHOWN ON PLANS, PENDING ELECTRICAL LOADS CALCULATION, COORDINATION WITH SDGE ON MAIN SWITCHGEAR ROOMS AND TRANSFORMER LOADS.

PAS JUNE PASSET PASSET	
D1 B1 - LEVEL 1 - B2 - LEVEL 2 GFA PLAN 1" = 30'-0"	



	F	PARKING SCH	IEDULE			
LOCATION	REGULAR STALLS	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS	
B1	'					
B1 - BASEMENT						
B1 BASEMENT	13	0	2	2	15	
B1	13	0	2	2	15	
B2						
B2 - BASEMENT						
B2 BASEMENT	39	1	2	3	42	E
B2	39	1	2	3	42	
						E
PS1						E
PS1 - BASEMENT						Е
PS1 BASEMENT	63	0	0	0	63	
PS1 - LEVEL 1				,		E
PS1 LEVEL 1	91	6	5	11	102	E
RAMP B1 TO LEVEL 1	40	0	0	0	40	E
PS1 - LEVEL 2				,		E
PS1 LEVEL 2	114	0	0	0	114	
RAMP LEVEL 1 TO LEVEL2	40	0	0	0	40	
PS1 - LEVEL 3						E
PS1 LEVEL 3	114	0	0	0	114	C
RAMP LEVEL 2 TO LEVEL 3	40	0	0	0	40	Е
PS1	502	6	5	11	513	E
						В

	AUH	MENT 13
GROSS FLOOR AREA (GFA)	*	nbbi
AREA EXCLUDED FROM (GFA	88 KEARNY STREET, SUITE 900
AREA INCLUDED IN GFA		SAN FRANCISCO, CALIFORNIA 94108 PHONE 415 981 1100 www.nbbj.com
Area Schedule (0 - G	GFA Plans1)	www.nbbj.com
Level.	Area	
B1		
GFA	42 202 CE	
B1 - LEVEL 1 B1 - LEVEL 2	43,282 SF 42,608 SF	
B1 - LEVEL 3	41,118 SF	ALEXANDRIA
EXEMPT	127,008 SF	
B1 - BASEMENT	42,192 SF	
B1 - LEVEL 1 B1 - LEVEL 3	726 SF 1,259 SF	OWNER: ALEXANDRIA REAL ESTATE EQUITIES, INC.
BT-LEVEL 3	44,177 SF	
l Do		CONSTRUCTION MANAGER: LEVEL10 12626 HIGH BLUFF DRIVE, SUITE 250
B2 GFA		SAN DIEGO, CA 92130
B2 - LEVEL 1	40,039 SF	CIVIL ENGINEER: RICK ENGINEERING 5620 FRIARS ROAD
B2 - LEVEL 2 B2 - LEVEL 3	38,774 SF 36,688 SF	SAN DIEGO, CA 92110
V V	115,501 SF	LANDSCAPE ARCHITECT: GROUNDLEVEL 2605 STATE STREET B
EXEMPT R2 RASEMENT	00 000 05	SAN DIEGO, CA 92103
B2 - BASEMENT B2 - LEVEL 3	39,063 SF 1,056 SF	STRUCTURAL ENGINEER: COFFMAN ENGINEERS 1455 FRAZEE ROAD, SUITE 600
	40,118 SF	SAN DIEGO, CA 92108
B3		MECHANICAL & PLUMBING ENGINEER: DEC ENGINEERS 7360 CARROLL ROAD, SUITE 100
GFA		SAN DIEGO, CA 92121
B3 - LEVEL 1	3,358 SF	ELECTRICAL ENGINEER: MPE CONSULTING 10807 THORNMINT RD SUITE 200
	3,358 SF	SAN DIEGO, CA 92127
B4		
GFA B4 - LEVEL 1	4,698 SF	
B4 - LEVEL 3	5,934 SF	
	10,632 SF	
CUP		
EXEMPT CLID PASEMENT		
CUP - BASEMENT CUP - LEVEL 1	4,172 SF 6,584 SF	
	10,755 SF	
PS1		
EXEMPT		
PS1 - BASEMENT	27,216 SF	
PS1 - LEVEL 1 PS1 - LEVEL 2	53,225 SF 53,236 SF	
PS1 - LEVEL 3	53,678 SF 187,355 SF	
Area Schedule (0 - GFA	A Plans1) Total	
Area	A Plans1) Total 256,500 SF	
Area		ONE ALEVANIDO:A
Area		ONE ALEXANDRIA
Area		ONE ALEXANDRIA NORTH
Area		
Area		NORTH
Area		
Area		NORTH
Area		NORTH SITE DEVELOPMENT
Area		NORTH
Area		SITE DEVELOPMENT PERMIT
Area		NORTH SITE DEVELOPMENT
Area		SITE DEVELOPMENT PERMIT NOT FOR CONSTRUCTION
Area		SITE DEVELOPMENT PERMIT NOT FOR CONSTRUCTION REVISIONS
Area		SITE DEVELOPMENT PERMIT NOT FOR CONSTRUCTION
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Area		SITE DEVELOPMENT PERMIT NOT FOR CONSTRUCTION REVISIONS
Area		SITE DEVELOPMENT PERMIT NOT FOR CONSTRUCTION REVISIONS



B2 - BASEMENT - GFA PLAN

1" = 30'-0"

SHEET NUMBER

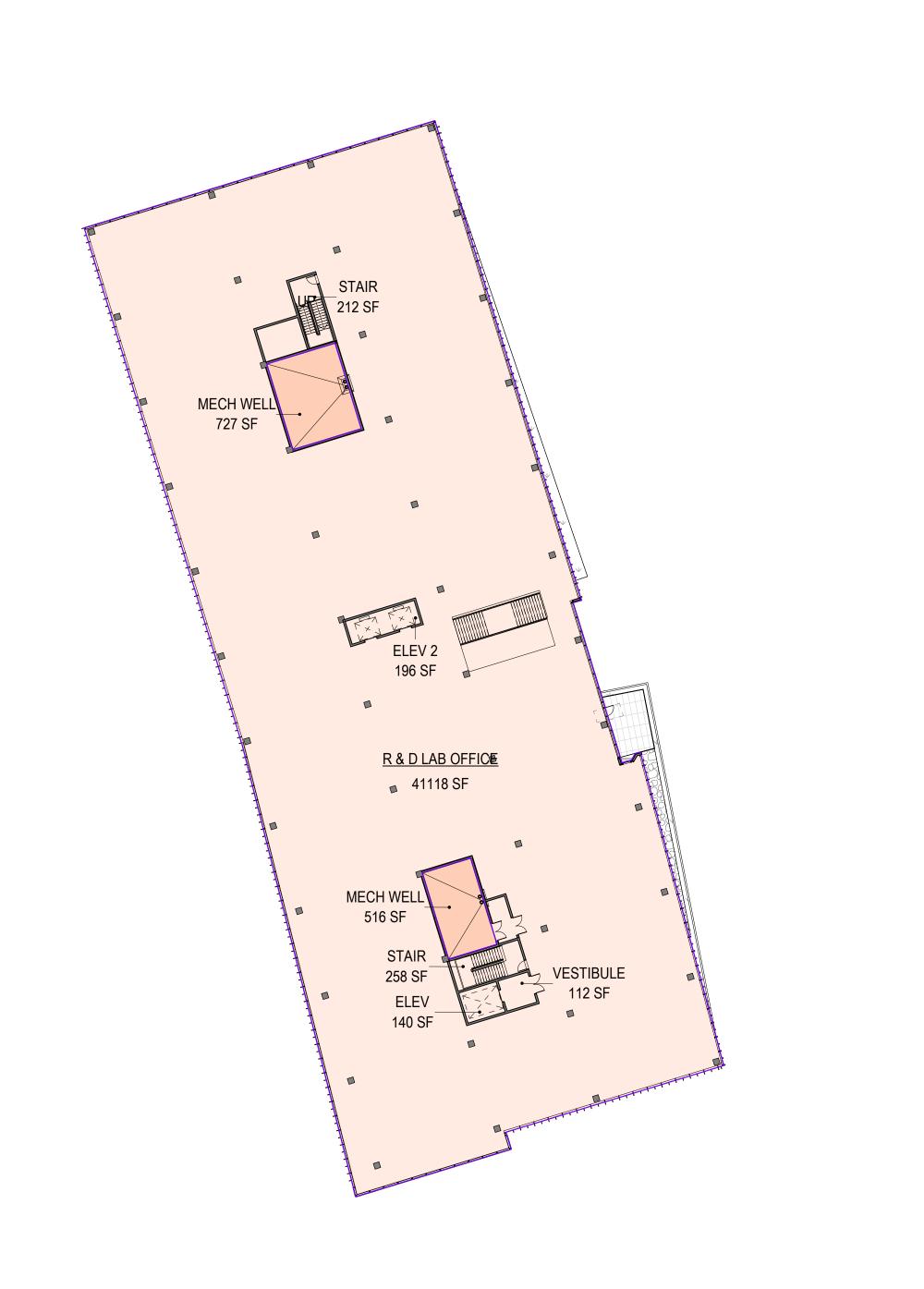
GC011

PROJECT NUMBER

SHEET ISSUE DATE

KEYPLAN

GROSS AREA PLANS AND TABLES



B1 - LEVEL 3 GFA PLAN

1" = 30'-0"



GROSS FLOOR AREA (GFA) AREA EXCLUDED FROM GFA 88 KEARNY STREET, SUITE 900 AREA INCLUDED IN GFA SAN FRANCISCO, CALIFORNIA 94108 PHONE 415 981 1100 www.nbbj.com Area Schedule (0 - GFA Plans1) B1 - LEVEL 1 43,282 SF 42,608 SF B1 - LEVEL 2 ALEXANDRIA 41,118 SF B1 - LEVEL 3 127,008 SF B1 - BASEMENT 42,192 SF 726 SF B1 - LEVEL 1 ALEXANDRIA REAL ESTATE EQUITIES, INC. 1,259 SF B1 - LEVEL 3 10996 TORREYANA ROAD, SUITE 250 44,177 SF SAN DIEGO, CA 92121 CONSTRUCTION MANAGER: LEVEL10 12626 HIGH BLUFF DRIVE, SUITE 250 SAN DIEGO, CA 92130 CIVIL ENGINEER: B2 - LEVEL 1 40,039 SF RICK ENGINEERING 5620 FRIARS ROAD 38,774 SF B2 - LEVEL 2 SAN DIEGO, CA 92110 36,688 SF B2 - LEVEL 3 LANDSCAPE ARCHITECT: 115,501 SF GROUNDLEVEL 2605 STATE STREET B SAN DIEGO, CA 92103 39,063 SF B2 - BASEMENT STRUCTURAL ENGINEER: COFFMAN ENGINEERS 1,056 SF B2 - LEVEL 3 1455 FRAZEE ROAD, SUITE 600 40,118 SF SAN DIEGO, CA 92108 MECHANICAL & PLUMBING ENGINEER: DEC ENGINEERS 7360 CARROLL ROAD, SUITE 100 SAN DIEGO, CA 92121 ELECTRICAL ENGINEER: MPE CONSULTING 3,358 SF B3 - LEVEL 1 3,358 SF 10807 THORNMINT RD SUITE 200 SAN DIEGO, CA 92127 B4 - LEVEL 1 4,698 SF 5,934 SF B4 - LEVEL 3 10,632 SF CUP - BASEMENT 4,172 SF 6,584 SF CUP - LEVEL 1 10,755 SF 27,216 SF PS1 - BASEMENT 53,225 SF PS1 - LEVEL 1 PS1 - LEVEL 2 53,236 SI PS1 - LEVEL 3 53,678 SF 187,355 SF Area Schedule (0 - GFA Plans1) Total 256,500 S ONE ALEXANDRIA NORTH SITE **DEVELOPMENT PERMIT** NOT FOR CONSTRUCTION PROJECT NUMBER KEYPLAN SHEET ISSUE DATE GROSS AREA PLANS AND TABLES

SHEET NUMBER

GC012

EXEMPT

A1) B1 - LEVEL 2 - B2 - LEVEL 3 GFA PLAN

1" = 30'-0"



A3 PS1 - LEVEL 1 - GFA PLAN

1" = 30'-0"

PS1 - BASEMENT - GFA PLAN

1" = 30'-0"

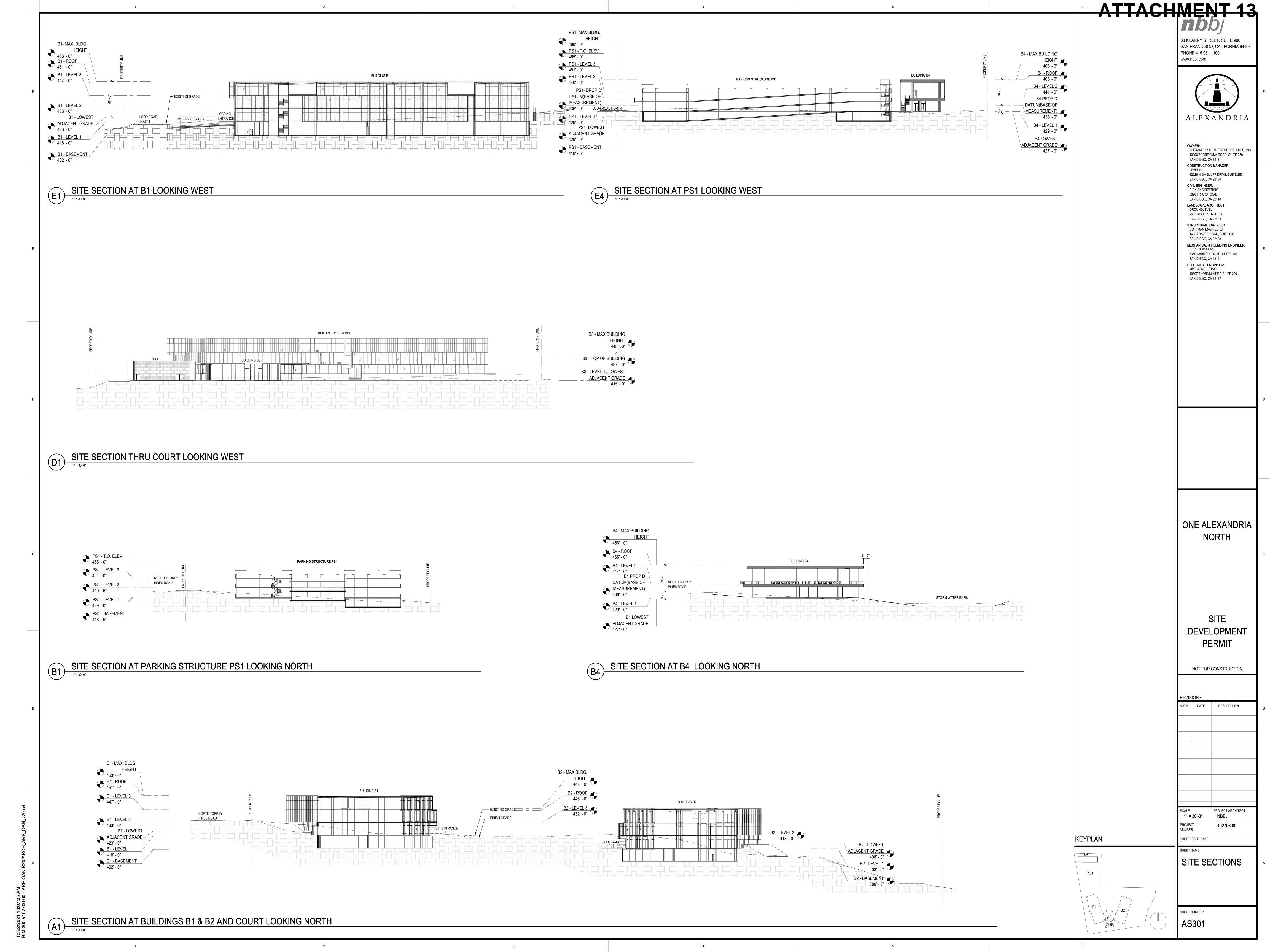
PS1 - LEVEL 2 - GFA PLAN

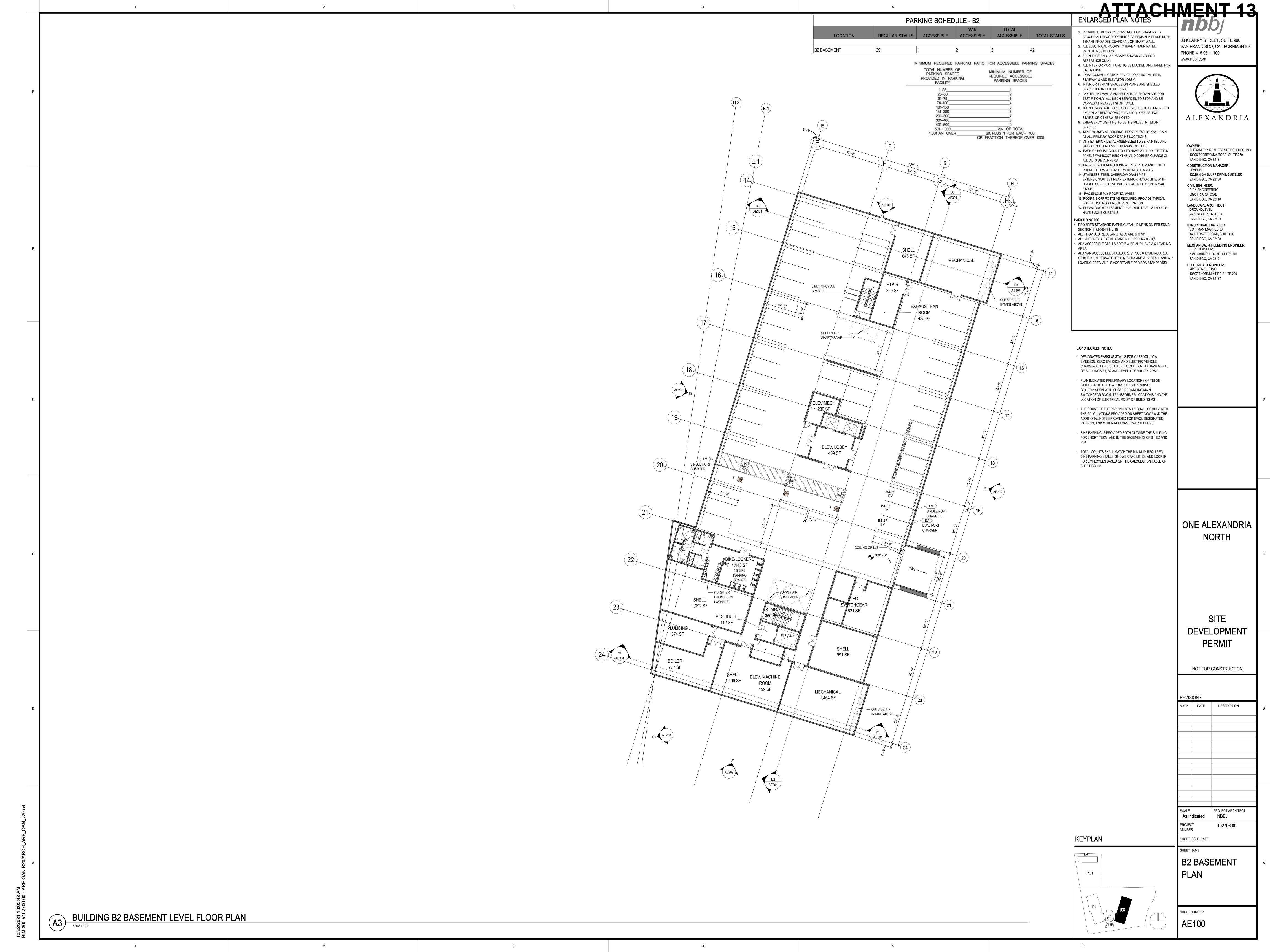
1" = 30'-0"

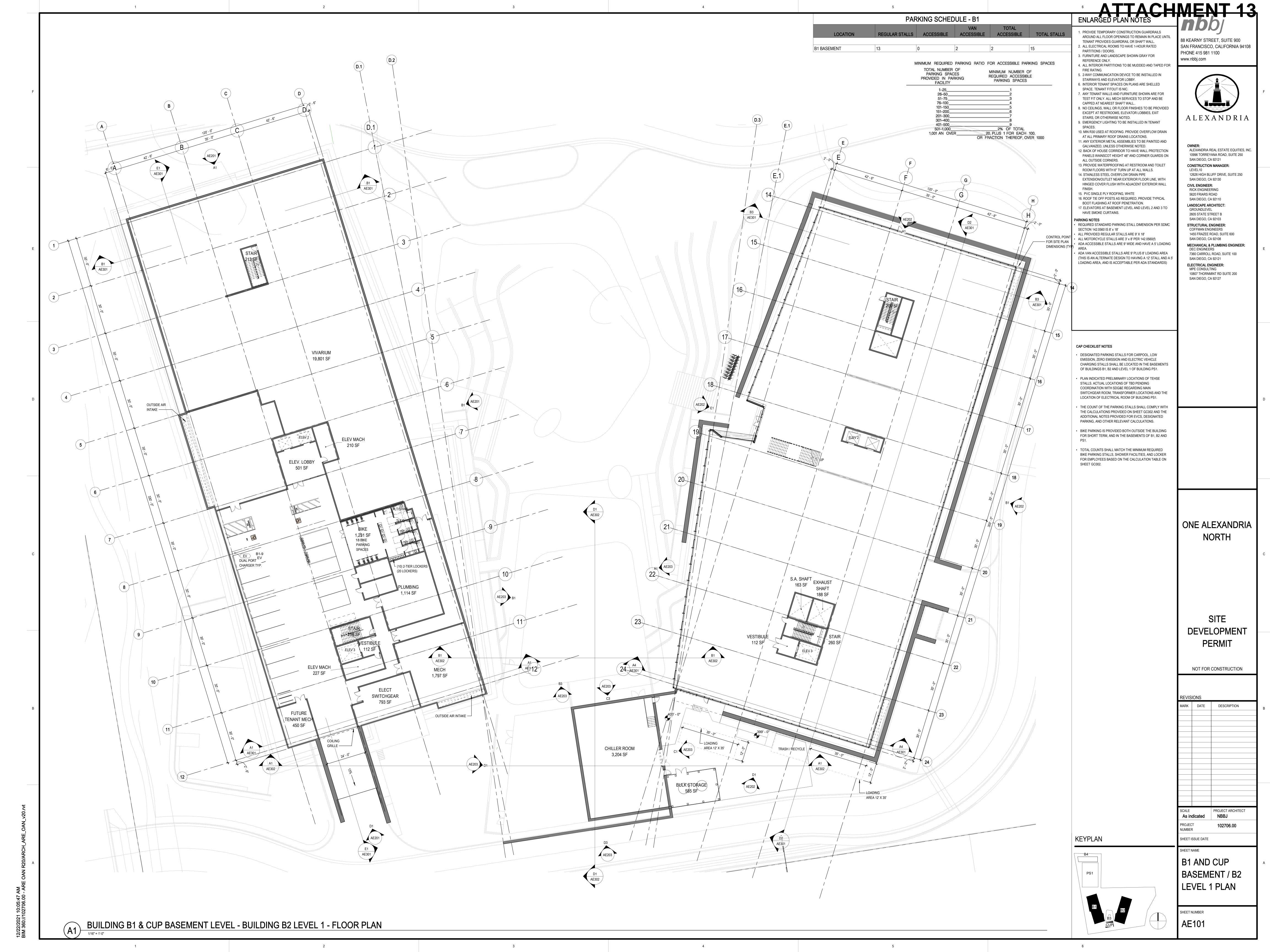
GROSS FLOOR AREA (GFA) AREA EXCLUDED FROM GFA 88 KEARNY STREET, SUITE 900 AREA INCLUDED IN GFA SAN FRANCISCO, CALIFORNIA 94108 PHONE 415 981 1100 www.nbbj.com Area Schedule (0 - GFA Plans1) 43,282 SF B1 - LEVEL 1 42,608 SF B1 - LEVEL 2 ALEXANDRIA 41,118 SF B1 - LEVEL 3 127,008 SF EXEMPT 42,192 SF B1 - BASEMENT 726 SF B1 - LEVEL 1 ALEXANDRIA REAL ESTATE EQUITIES, INC. 1,259 SF B1 - LEVEL 3 10996 TORREYANA ROAD, SUITE 250 SAN DIEGO, CA 92121 44,177 SF CONSTRUCTION MANAGER: LEVEL10 12626 HIGH BLUFF DRIVE, SUITE 250 SAN DIEGO, CA 92130 **CIVIL ENGINEER:** B2 - LEVEL 1 40,039 SF RICK ENGINEERING 5620 FRIARS ROAD 38,774 SF B2 - LEVEL 2 SAN DIEGO, CA 92110 36,688 SF B2 - LEVEL 3 LANDSCAPE ARCHITECT: 115,501 SF GROUNDLEVEL 2605 STATE STREET B EXEMPT SAN DIEGO, CA 92103 39,063 SF B2 - BASEMENT STRUCTURAL ENGINEER: COFFMAN ENGINEERS 1,056 SF B2 - LEVEL 3 1455 FRAZEE ROAD, SUITE 600 40,118 SF SAN DIEGO, CA 92108 MECHANICAL & PLUMBING ENGINEER: DEC ENGINEERS 7360 CARROLL ROAD, SUITE 100 SAN DIEGO, CA 92121 **ELECTRICAL ENGINEER:** B3 - LEVEL 1 5,014 SF MPE CONSULTING 10807 THORNMINT RD SUITE 200 5,014 SI SAN DIEGO, CA 92127 B4 - LEVEL 1 3,924 SF B4 - LEVEL 3 5,052 SI 8,976 SF 4,172 SF CUP - LEVEL 1 6,584 SF 10,755 SF 27,216 SF PS1 - BASEMENT 53,225 SF PS1 - LEVEL 2 53,236 SI PS1 - LEVEL 3 53,678 SF 187,355 SF Area Schedule (0 - GFA Plans1) Total 256,500 S ONE ALEXANDRIA NORTH SITE DEVELOPMENT **PERMIT** NOT FOR CONSTRUCTION MARK DATE DESCRIPTION PROJECT ARCHITECT NBBJ PROJECT NUMBER KEYPLAN SHEET ISSUE DATE GROSS AREA PLANS AND **TABLES** SHEET NUMBER

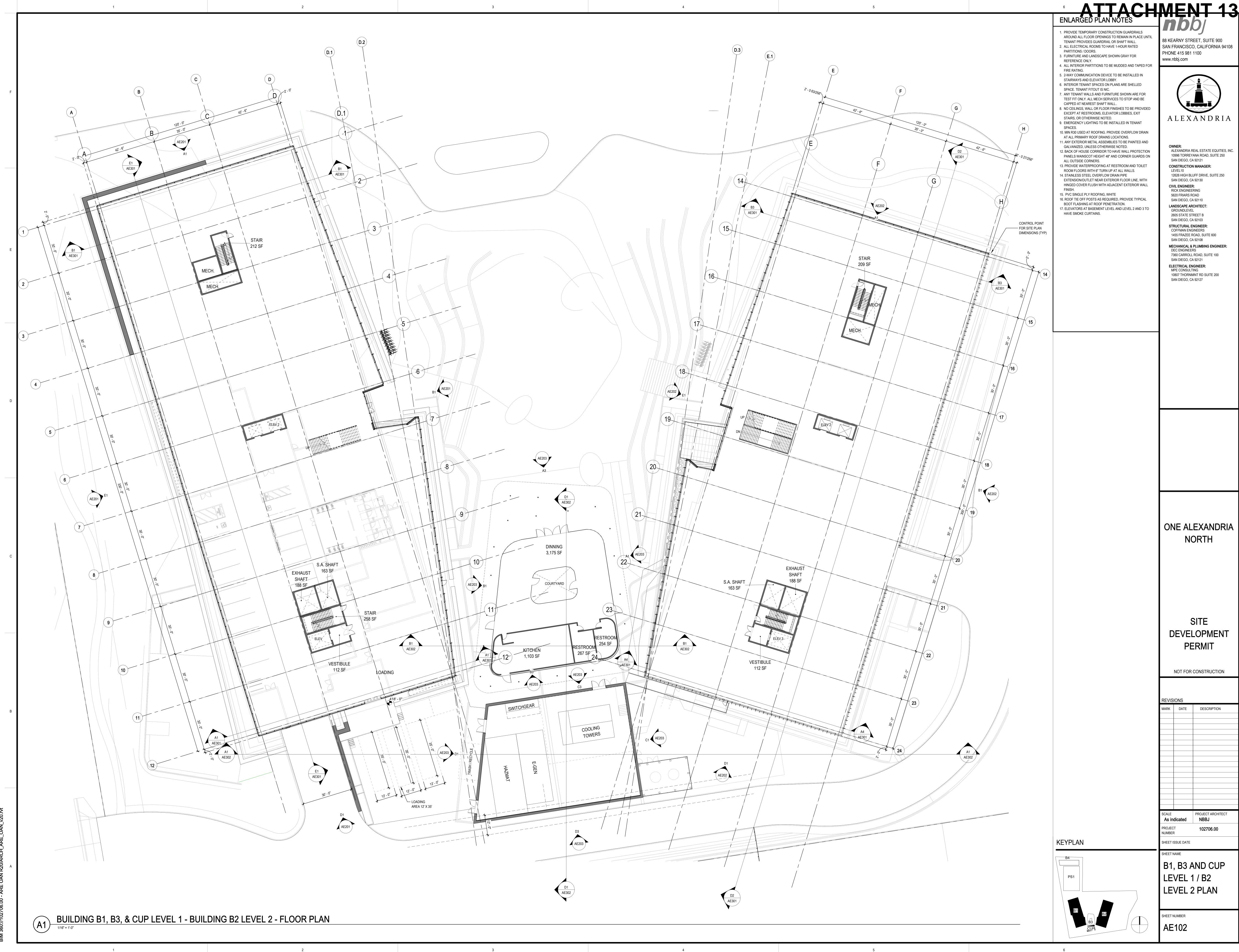
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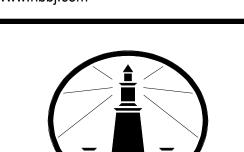




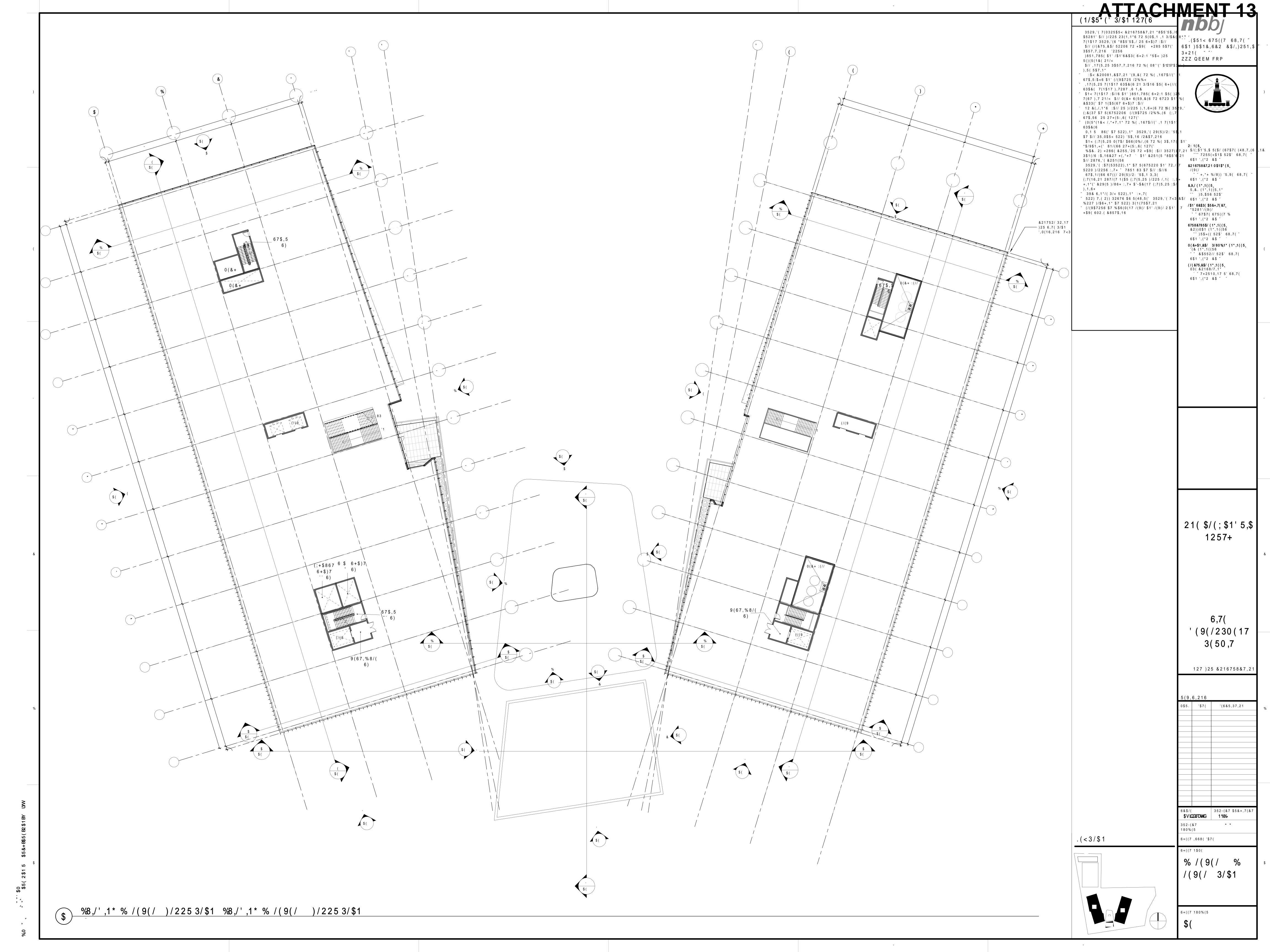


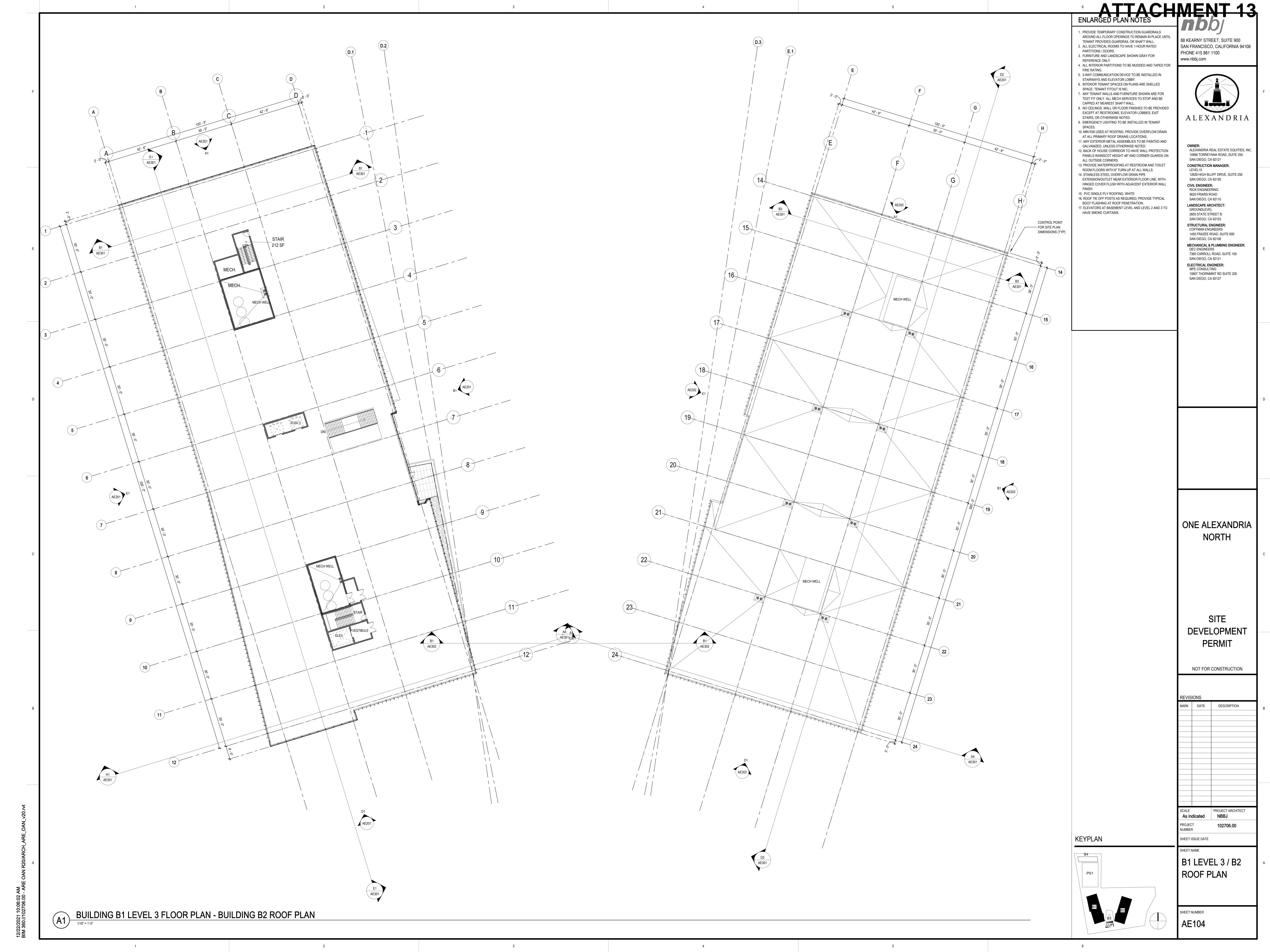


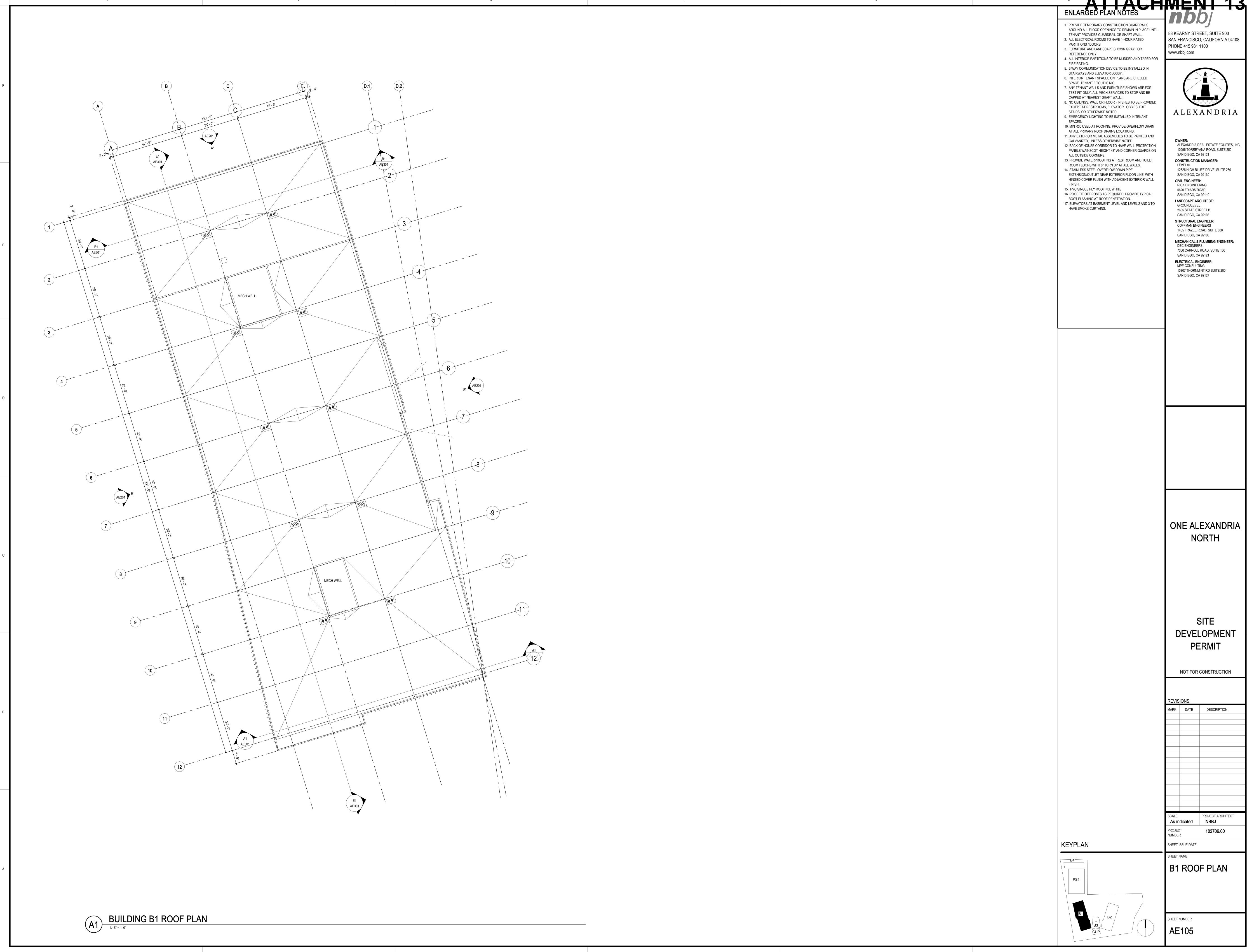


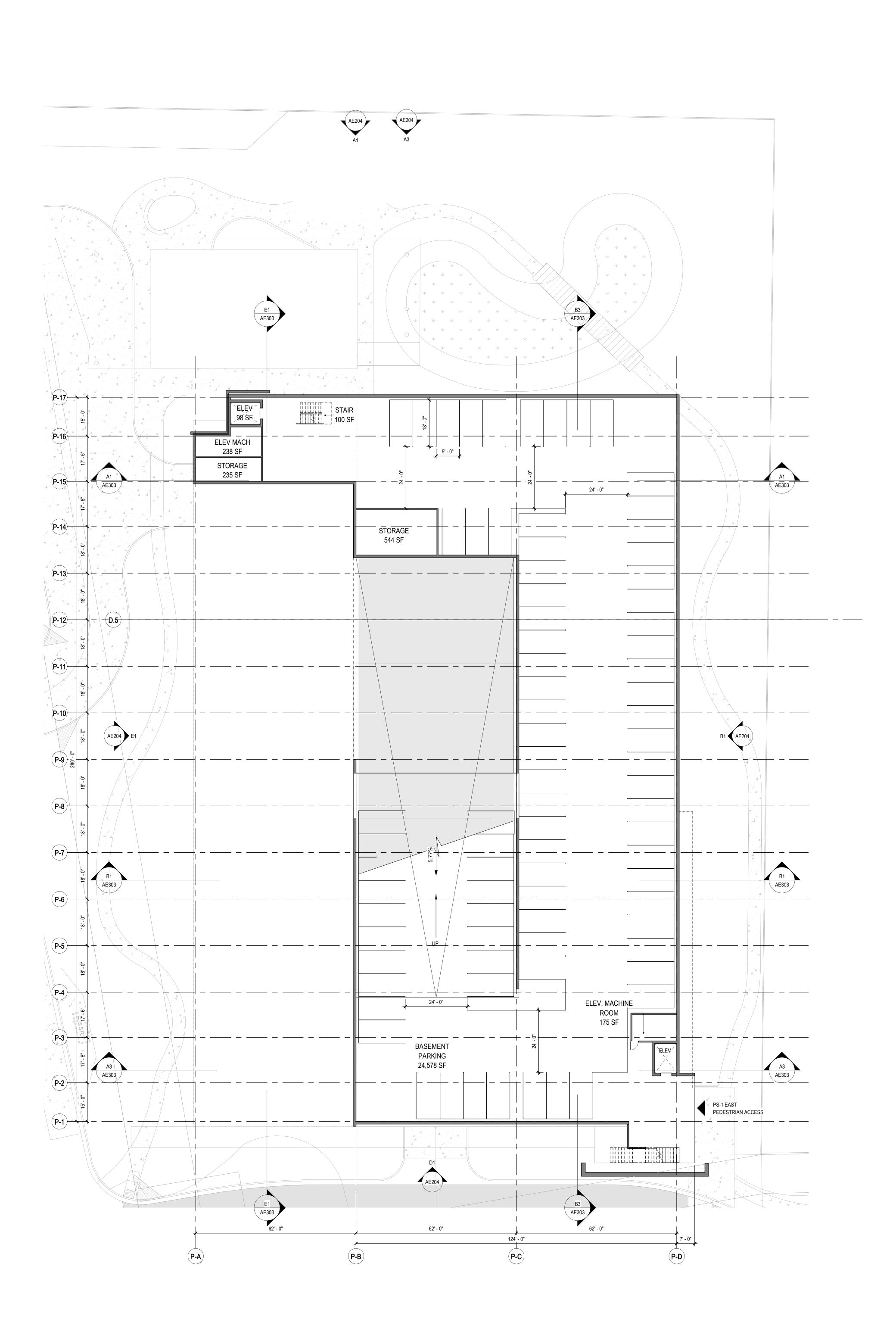


ALEXANDRIA REAL ESTATE EQUITIES, INC.









PARKING SCHEDULE - PS1 TOTAL REGULAR STALLS ACCESSIBLE ACCESSIBLE ACCESSIBLE TOTAL STALLS PS1 - BASEMENT PS1 BASEMENT PS1 - LEVEL 1 PS1 LEVEL 1 RAMP B1 TO LEVEL 1 PS1 - LEVEL 2 PS1 LEVEL 2 RAMP LEVEL 1 TO LEVEL2

PS1 - LEVEL 3

TOTAL STALLS

RAMP LEVEL 2 TO LEVEL 3 40

PS1 LEVEL 3

1. PROVIDE TEMPORARY CONSTRUCTION GUARDRAILS AROUND ALL FLOOR OPENINGS TO REMAIN IN PLACE UNTIL TENANT PROVIDES GUARDRAIL OR SHAFT WALL. 2. ALL ELECTRICAL ROOMS TO HAVE 1-HOUR RATED PARTITIONS / DOORS. 3. FURNITURE AND LANDSCAPE SHOWN GRAY FOR

REFERENCE ONLY.

4. ALL INTERIOR PARTITIONS TO BE MUDDED AND TAPED FOR FIRE RATING. 5. 2-WAY COMMUNICATION DEVICE TO BE INSTALLED IN

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11. ANY EXTERIOR METAL ASSEMBLIES TO BE PAINTED AND GALVANIZED, UNLESS OTHERWISE NOTED. 12. BACK OF HOUSE CORRIDOR TO HAVE WALL PROTECTION PANELS WAINSCOT HEIGHT 48" AND CORNER GUARDS ON

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HAVE SMOKE CURTAINS. PARKING NOTES REQUIRED STANDARD PARKING STALL DIMENSION PER SDMC

FEED LOCATIONS.

SECTION 142.0560 IS 8' x 18' ALL PROVIDED REGULAR STALLS ARE 9' X 18' • ALL MOTORCYCLE STALLS ARE 3' x 8' PER 142.0560(f) EV PARKING STALLS ARE SHOWN TO INDICATE THAT THEY HAVE BEEN ACCOUNTED FOR IN THE PROJECT. ACTUAL LOCATIONS WILL CHANGE ACCORDING TO ELECTRICAL DESIGN

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ADA ACCESSIBLE STALLS ARE 9' WIDE AND HAVE A 5' LOADING

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SAN DIEGO, CA 92130 CIVIL ENGINEER: RICK ENGINEERING 5620 FRIARS ROAD SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT: GROUNDLEVEL 2605 STATE STREET B SAN DIEGO, CA 92103 STRUCTURAL ENGINEER: COFFMAN ENGINEERS 1455 FRAZEE ROAD, SUITE 600 SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER: DEC ENGINEERS 7360 CARROLL ROAD, SUITE 100 SAN DIEGO, CA 92121 **ELECTRICAL ENGINEER:** MPE CONSULTING 10807 THORNMINT RD SUITE 200 SAN DIEGO, CA 92127

ONE ALEXANDRIA

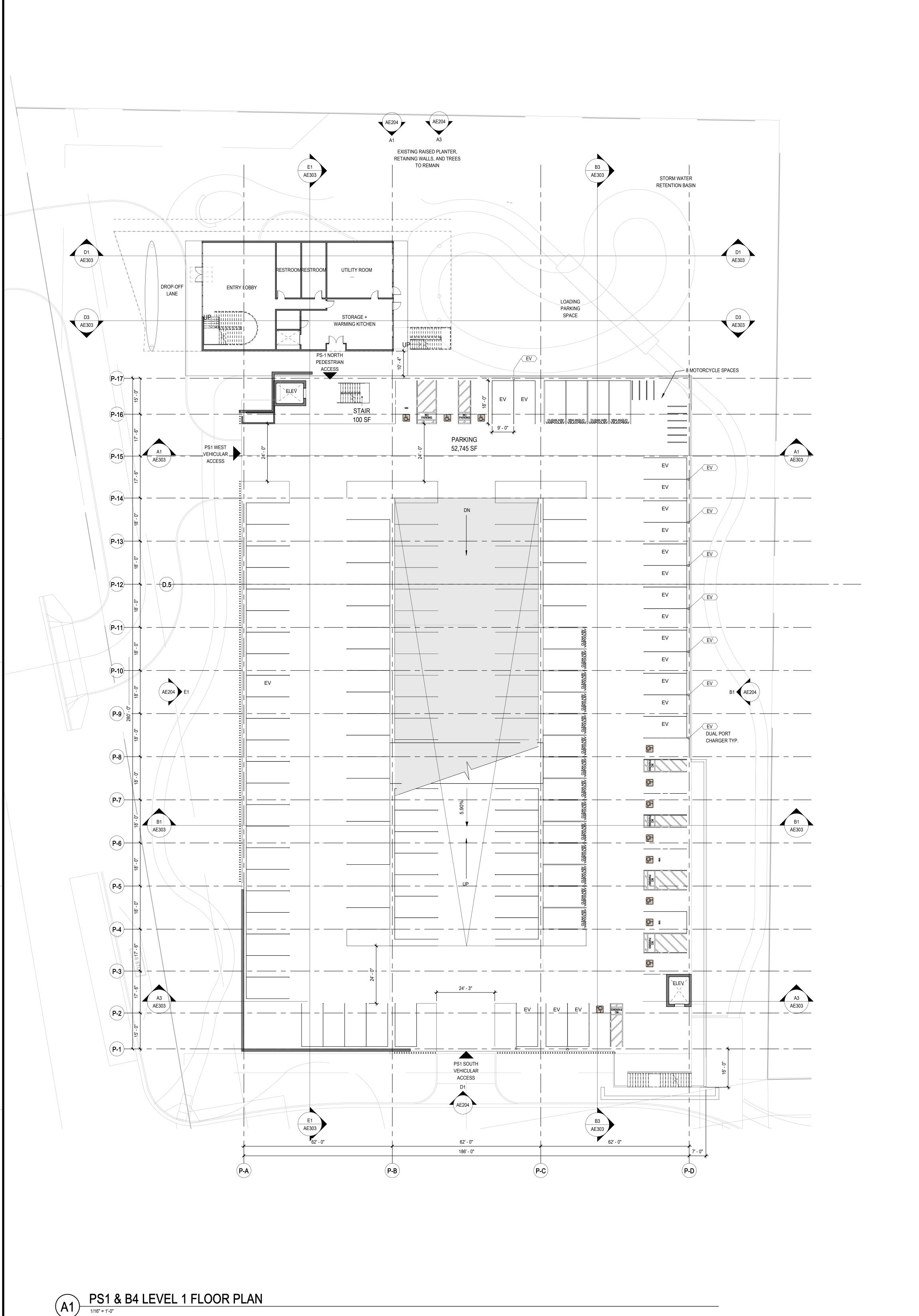
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NUMBER SHEET ISSUE DATE

PS1 BASEMENT LEVEL FLOOR

KEYPLAN

PS1 BASEMENT LEVEL FLOOR PLAN



TOTAL . PROVIDE TEMPORARY CONSTRUCTION GUARDRAILS

PARKING SCHEDULE - PS1 REGULAR STALLS ACCESSIBLE ACCESSIBLE ACCESSIBLE TOTAL STALLS PS1 - BASEMENT PS1 BASEMENT PS1 - LEVEL 1 PS1 LEVEL 1 RAMP B1 TO LEVEL 1 PS1 - LEVEL 2 PS1 LEVEL 2 RAMP LEVEL 1 TO LEVEL2 PS1 - LEVEL 3 PS1 LEVEL 3 RAMP LEVEL 2 TO LEVEL 3 40 TOTAL STALLS

> MINIMUM REQUIRED PARKING RATIO FOR ACCESSIBLE PARKING SPACES TOTAL NUMBER OF MINIMUM NUMBER OF PARKING SPACES REQUIRED ACCESSIBLE PROVIDED IN PARKING PARKING SPACES

FACILITY 101-150 151-200_ 201-300 301-400 401-500 ____2% OF TOTAL _20, PLUS 1 FOR EACH 100, 501-1,000 OR FRACTION THEREOF, OVER 1000 AROUND ALL FLOOR OPENINGS TO REMAIN IN PLACE UNTIL 88 KEARNY STREET, SUITE 900

SAN FRANCISCO, CALIFORNIA 94108

ALEXANDRIA

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10996 TORREYANA ROAD, SUITE 250

12626 HIGH BLUFF DRIVE, SUITE 250

SAN DIEGO, CA 92121

SAN DIEGO, CA 92130

RICK ENGINEERING

5620 FRIARS ROAD

SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:

2605 STATE STREET B

COFFMAN ENGINEERS

SAN DIEGO, CA 92108

DEC ENGINEERS

SAN DIEGO, CA 92121

1455 FRAZEE ROAD, SUITE 600

MECHANICAL & PLUMBING ENGINEER:

7360 CARROLL ROAD, SUITE 100

SAN DIEGO, CA 92103

GROUNDLEVEL

CIVIL ENGINEER:

LEVEL10

CONSTRUCTION MANAGER:

PHONE 415 981 1100

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TENANT PROVIDES GUARDRAIL OR SHAFT WALL. 2. ALL ELECTRICAL ROOMS TO HAVE 1-HOUR RATED PARTITIONS / DOORS. 3. FURNITURE AND LANDSCAPE SHOWN GRAY FOR REFERENCE ONLY.

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EV PARKING STALLS ARE SHOWN TO INDICATE THAT THEY

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HAVE BEEN ACCOUNTED FOR IN THE PROJECT. ACTUAL

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CAP CHECKLIST NOTES

FEED LOCATIONS.

 DESIGNATED PARKING STALLS FOR CARPOOL, LOW EMISSION, ZERO EMISSION AND ELECTRIC VEHICLE CHARGING STALLS SHALL BE LOCATED IN THE BASEMENTS OF BUILDINGS B1, B2 AND LEVEL 1 OF BUILDING PS1.

PLAN INDICATED PRELIMINARY LOCATIONS OF TEHSE STALLS. ACTUAL LOCATIONS OF TBD PENDING COORDINATION WITH SDG&E REGARDING MAIN SWITCHGEAR ROOM, TRANSFORMER LOCATIONS AND THE LOCATION OF ELECTRICAL ROOM OF BUILDING PS1.

ADDITIONAL NOTES PROVIDED FOR EVCS, DESIGNATED PARKING, AND OTHER RELEVANT CALCULATIONS. BIKE PARKING IS PROVIDED BOTH OUTSIDE THE BUILDING

THE COUNT OF THE PARKING STALLS SHALL COMPLY WITH THE CALCULATIONS PROVIDED ON SHEET GC002 AND THE

FOR SHORT TERM, AND IN THE BASEMENTS OF B1, B2 AND

 TOTAL COUNTS SHALL MATCH THE MINIMUM REQUIRED BIKE PARKING STALLS, SHOWER FACILITIES, AND LOCKER FOR EMPLOYEES BASED ON THE CALCULATION TABLE ON SHEET GC002.

> ONE ALEXANDRIA NORTH

> > **PERMIT**

NOT FOR CONSTRUCTION

---- SETBACK LINE

KEYPLAN

NUMBER SHEET ISSUE DATE

PS1 & B4 LEVEL 1 FLOOR PLAN

1. PROVIDE TEMPORARY CONSTRUCTION GUARDRAILS AROUND ALL FLOOR OPENINGS TO REMAIN IN PLACE UNTIL 88 KEARNY STREET, SUITE 900 TENANT PROVIDES GUARDRAIL OR SHAFT WALL. SAN FRANCISCO, CALIFORNIA 94108 2. ALL ELECTRICAL ROOMS TO HAVE 1-HOUR RATED PHONE 415 981 1100

5. 2-WAY COMMUNICATION DEVICE TO BE INSTALLED IN 6. INTERIOR TENANT SPACES ON PLANS ARE SHELLED

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MECHANICAL & PLUMBING ENGINEER:

DEC ENGINEERS

7360 CARROLL ROAD, SUITE 100 SAN DIEGO, CA 92121 **ELECTRICAL ENGINEER:** MPE CONSULTING 10807 THORNMINT RD SUITE 200 SAN DIEGO, CA 92127

ONE ALEXANDRIA NORTH

NOT FOR CONSTRUCTION

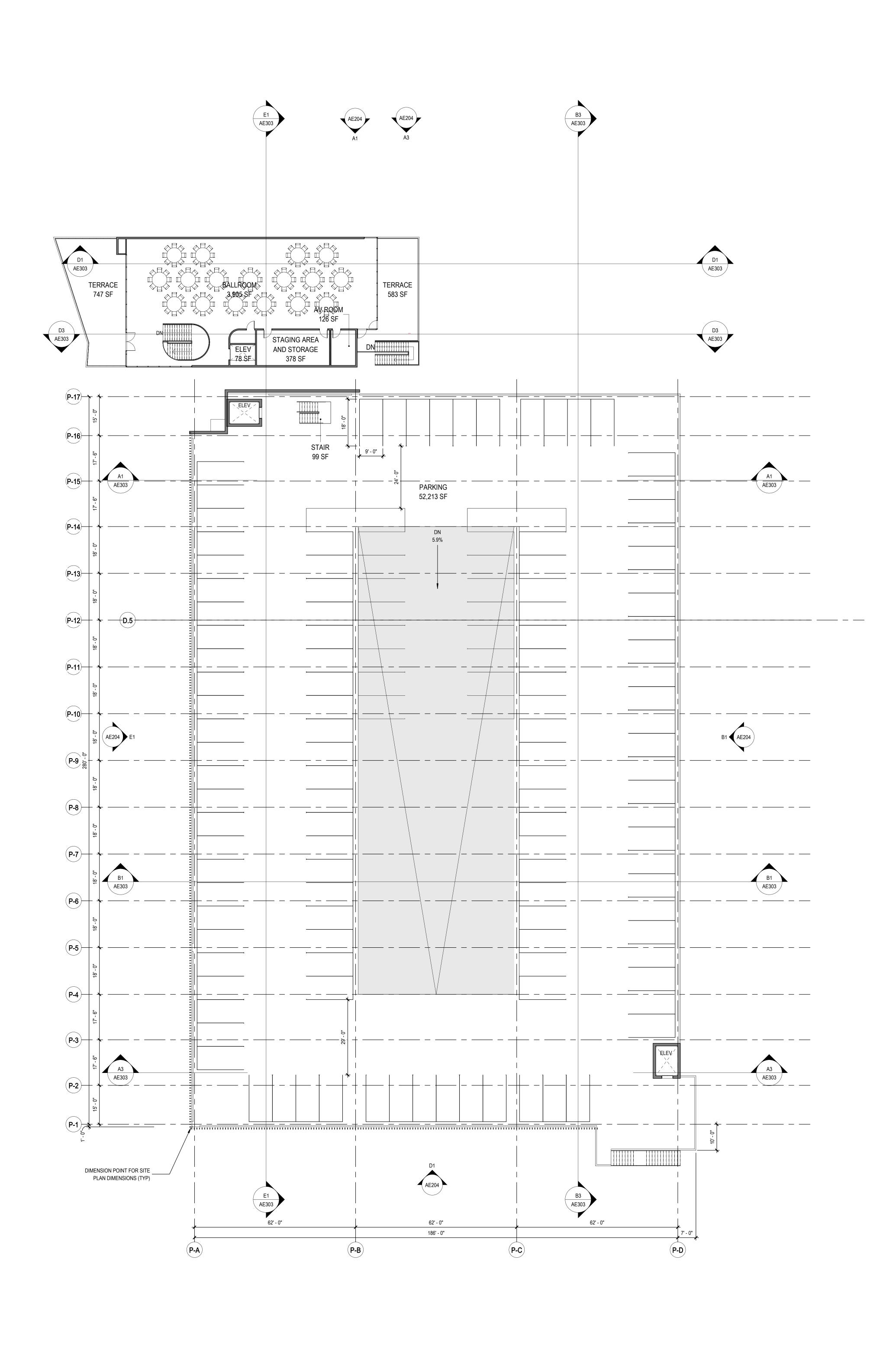
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NUMBER

SHEET ISSUE DATE

PS1 LEVEL 2 FLOOR PLAN

PS1 LEVEL 2 FLOOR PLAN



PARKING SCHEDULE - PS1 TOTAL REGULAR STALLS ACCESSIBLE ACCESSIBLE ACCESSIBLE TOTAL STALLS PS1 - BASEMENT PS1 BASEMENT PS1 - LEVEL 1 PS1 LEVEL 1 RAMP B1 TO LEVEL 1 PS1 - LEVEL 2 PS1 LEVEL 2 RAMP LEVEL 1 TO LEVEL2 PS1 - LEVEL 3

PS1 LEVEL 3

TOTAL STALLS

RAMP LEVEL 2 TO LEVEL 3 40

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LANDSCAPE ARCHITECT: GROUNDLEVEL 2605 STATE STREET B SAN DIEGO, CA 92103 STRUCTURAL ENGINEER: COFFMAN ENGINEERS

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SAN DIEGO, CA 92127

ONE ALEXANDRIA NORTH

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DESCRIPTION

NUMBER

SHEET ISSUE DATE

PS1 LEVEL 3 & B4 LEVEL 2 -FLOOR PLAN

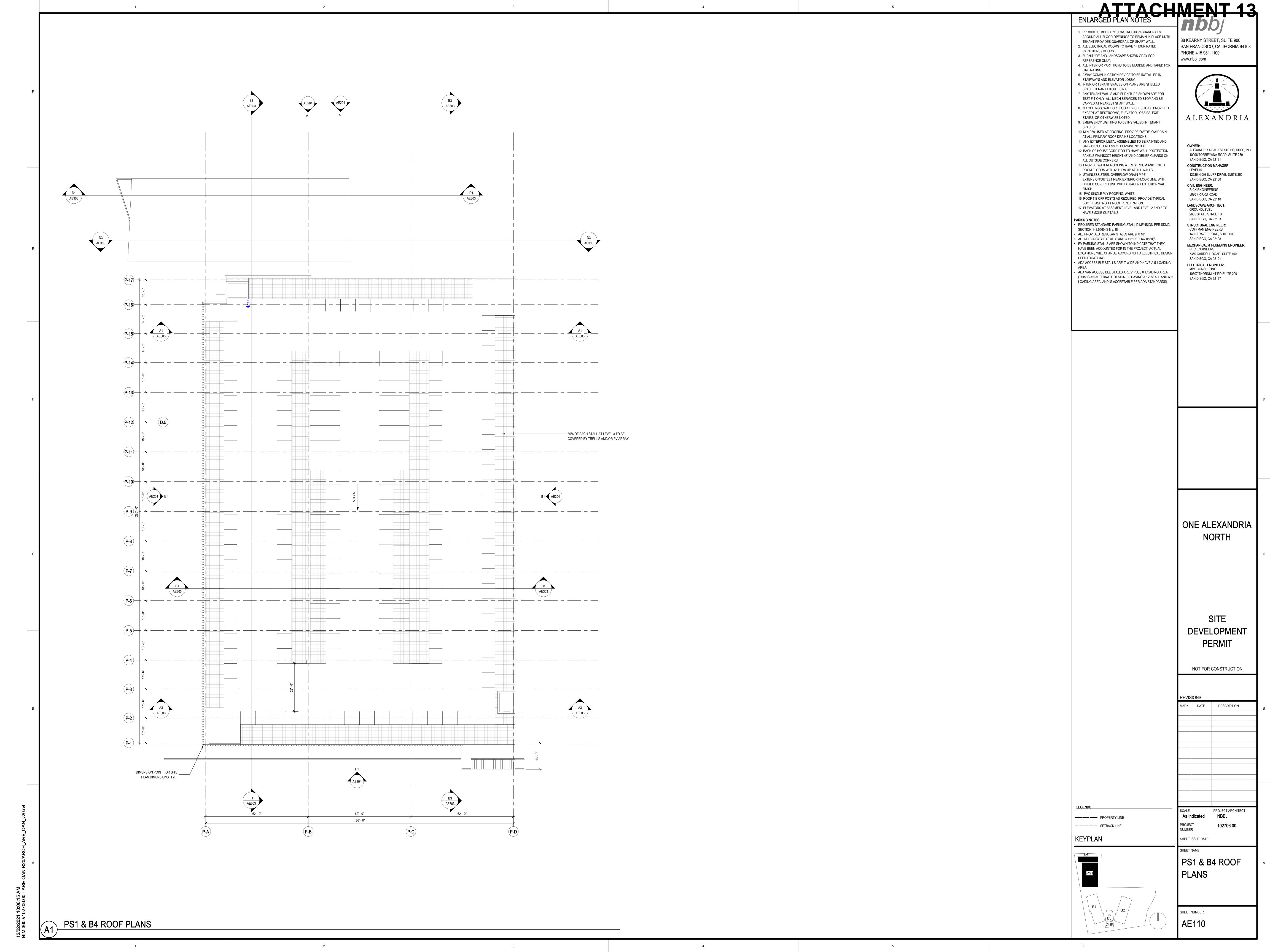
SHEET NUMBER

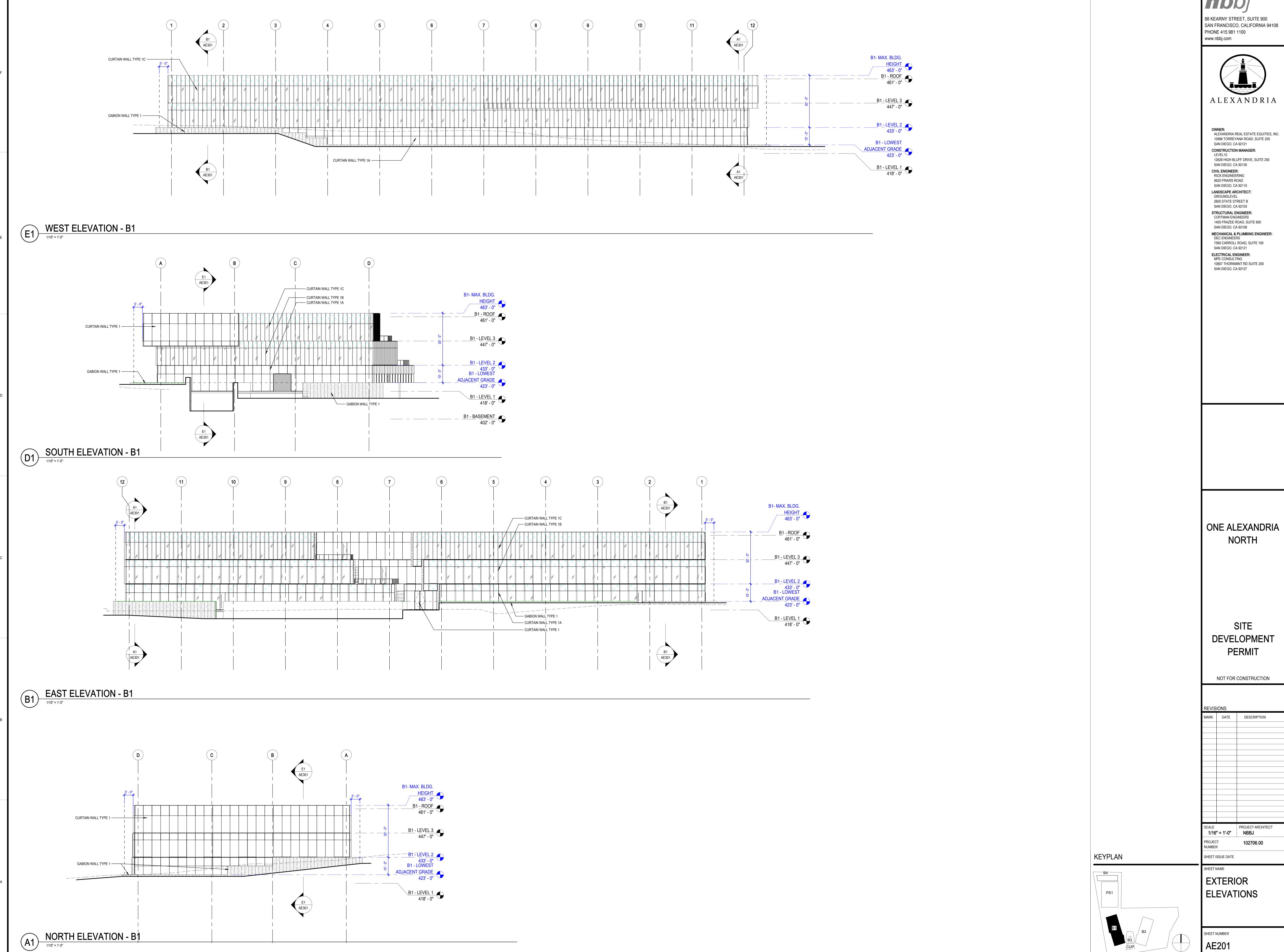
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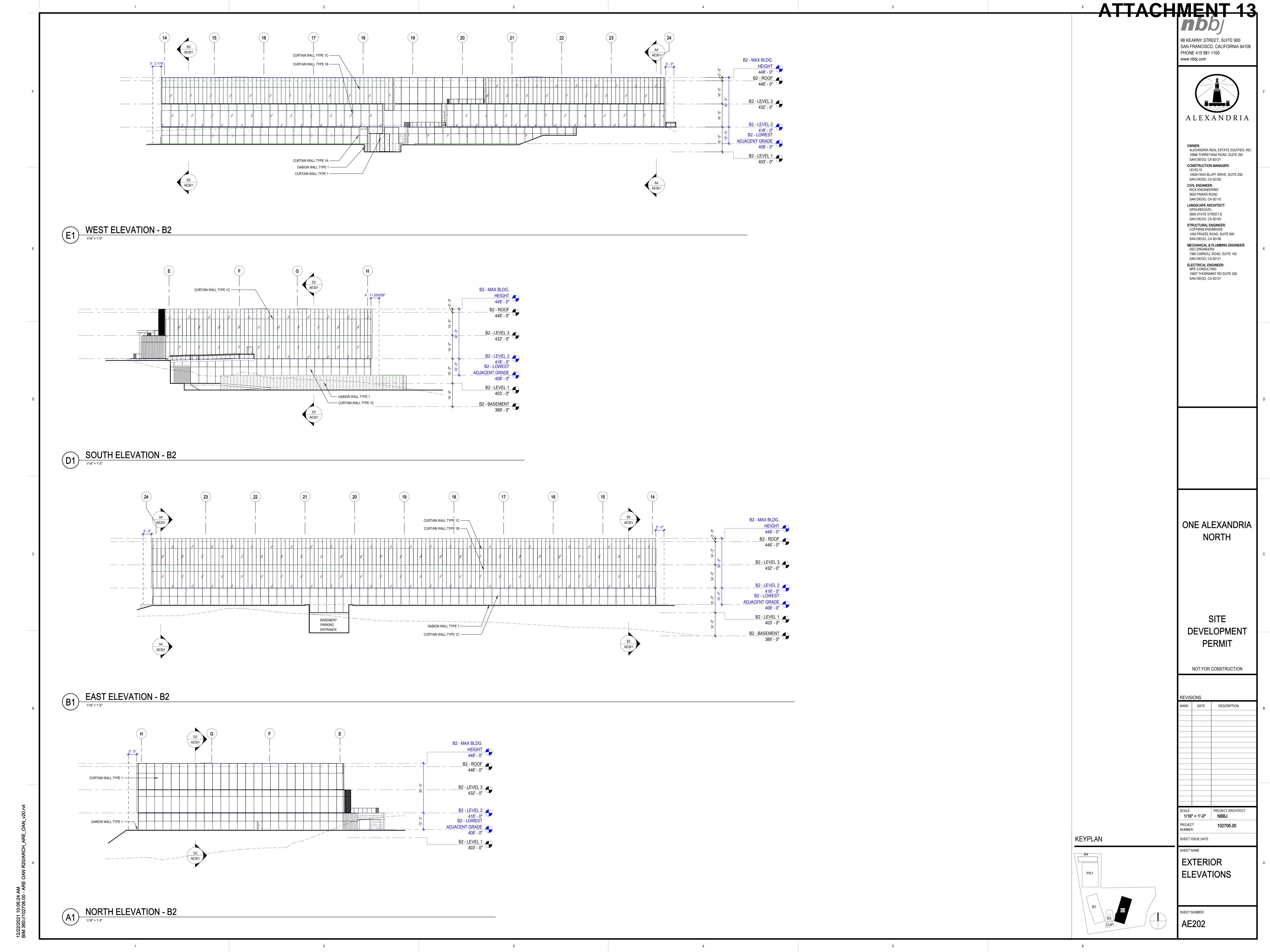
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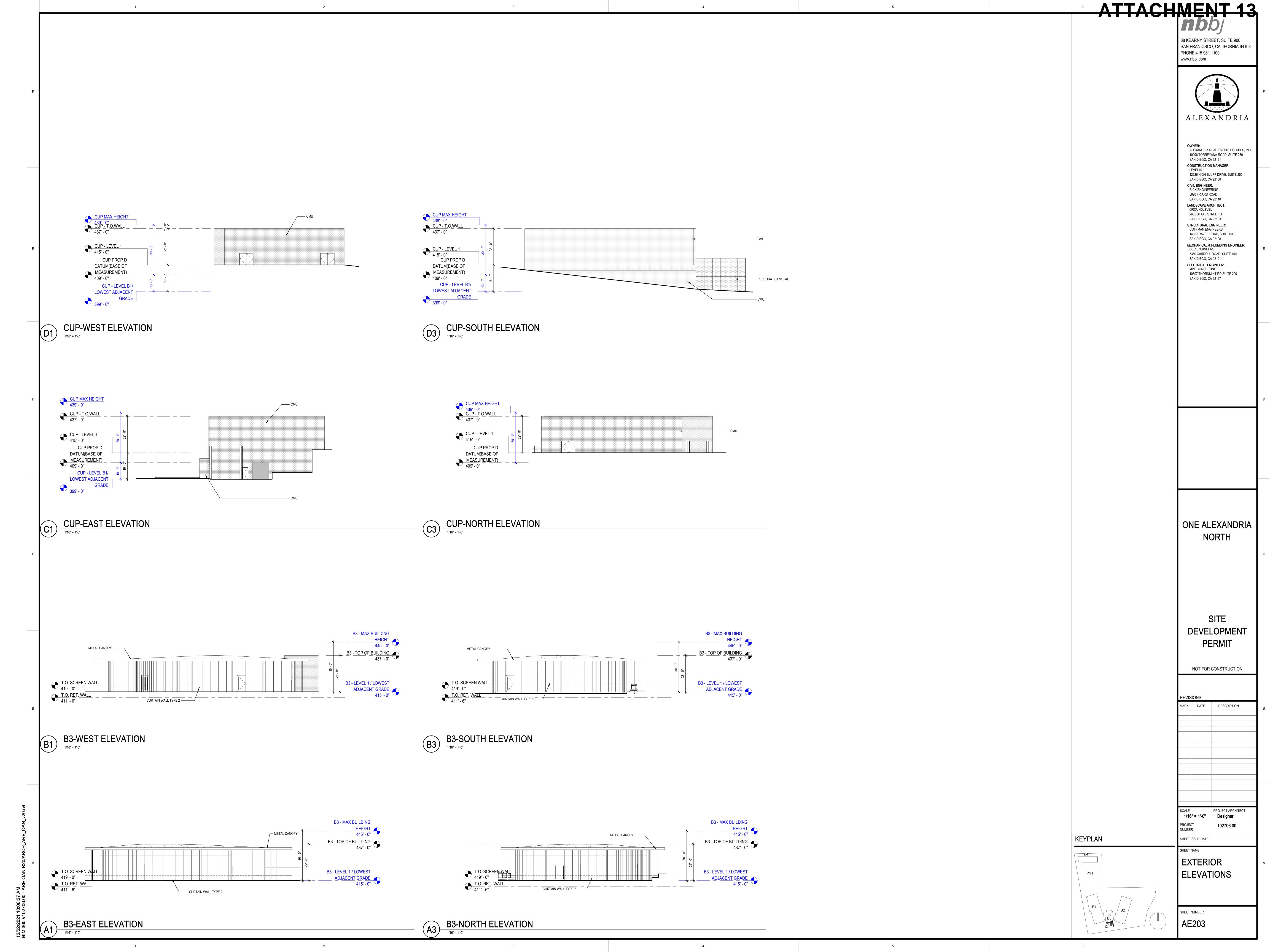
KEYPLAN

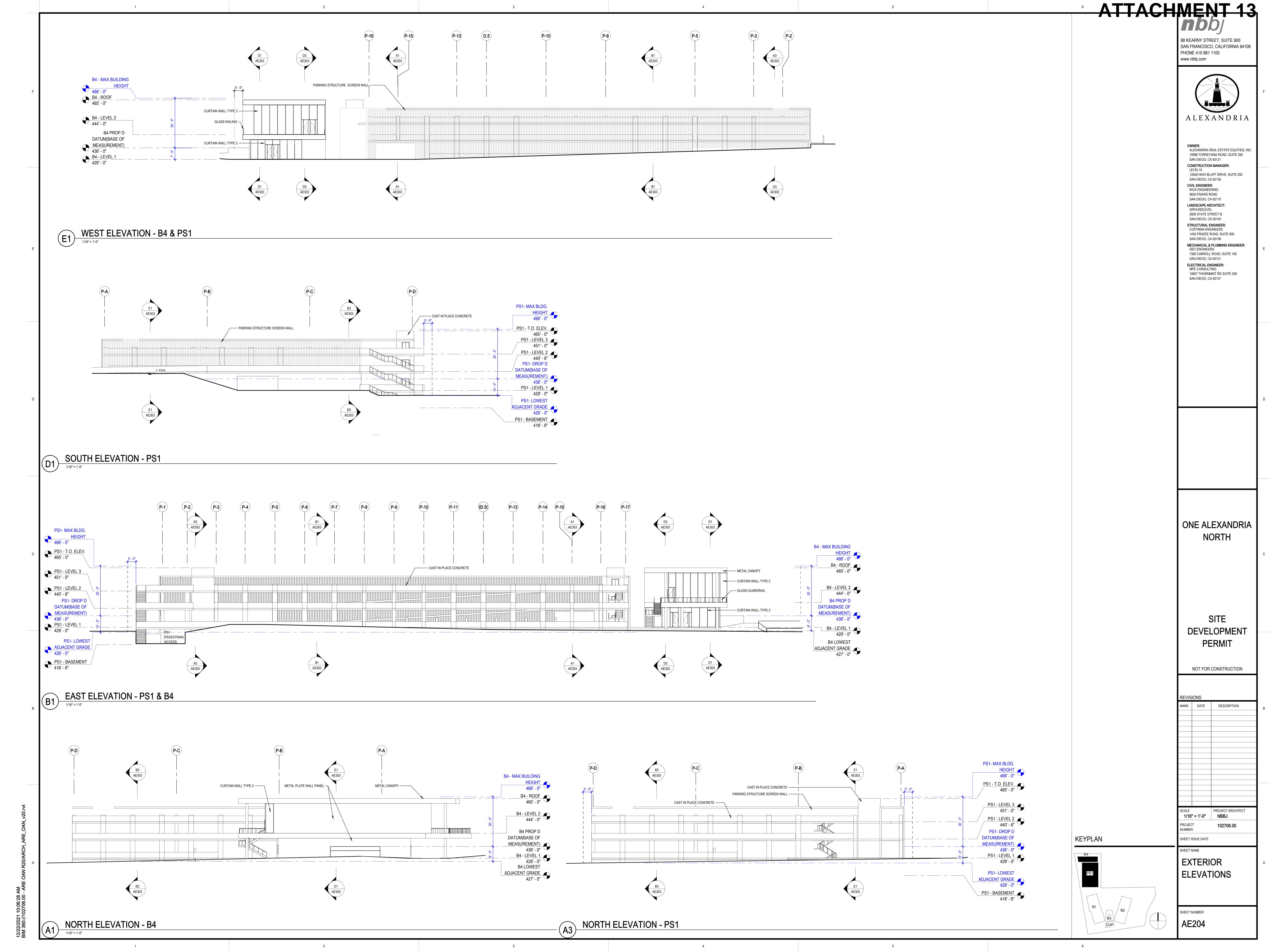
PS1 LEVEL 3 & B4 LEVEL 2 - FLOOR PLAN

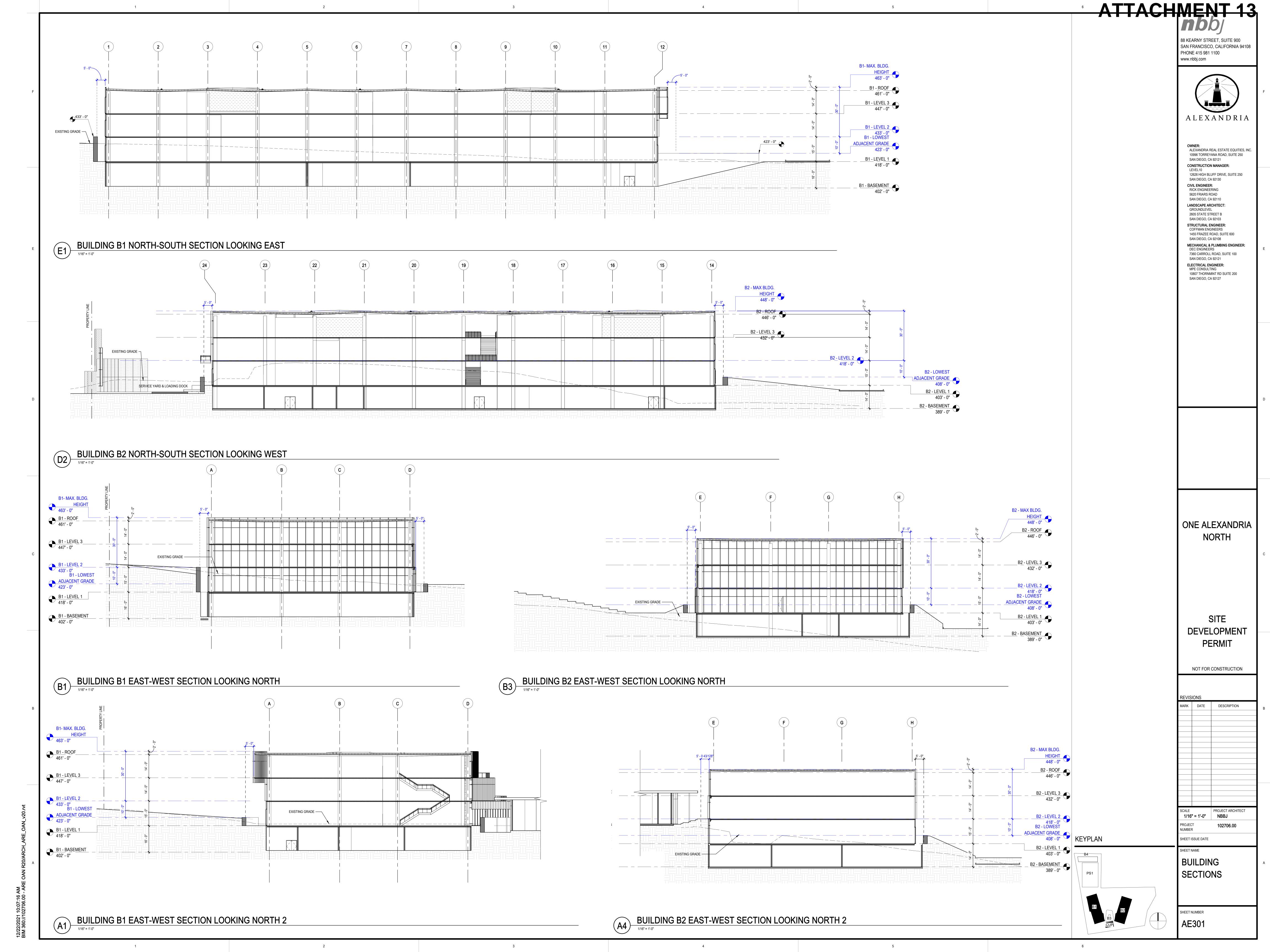


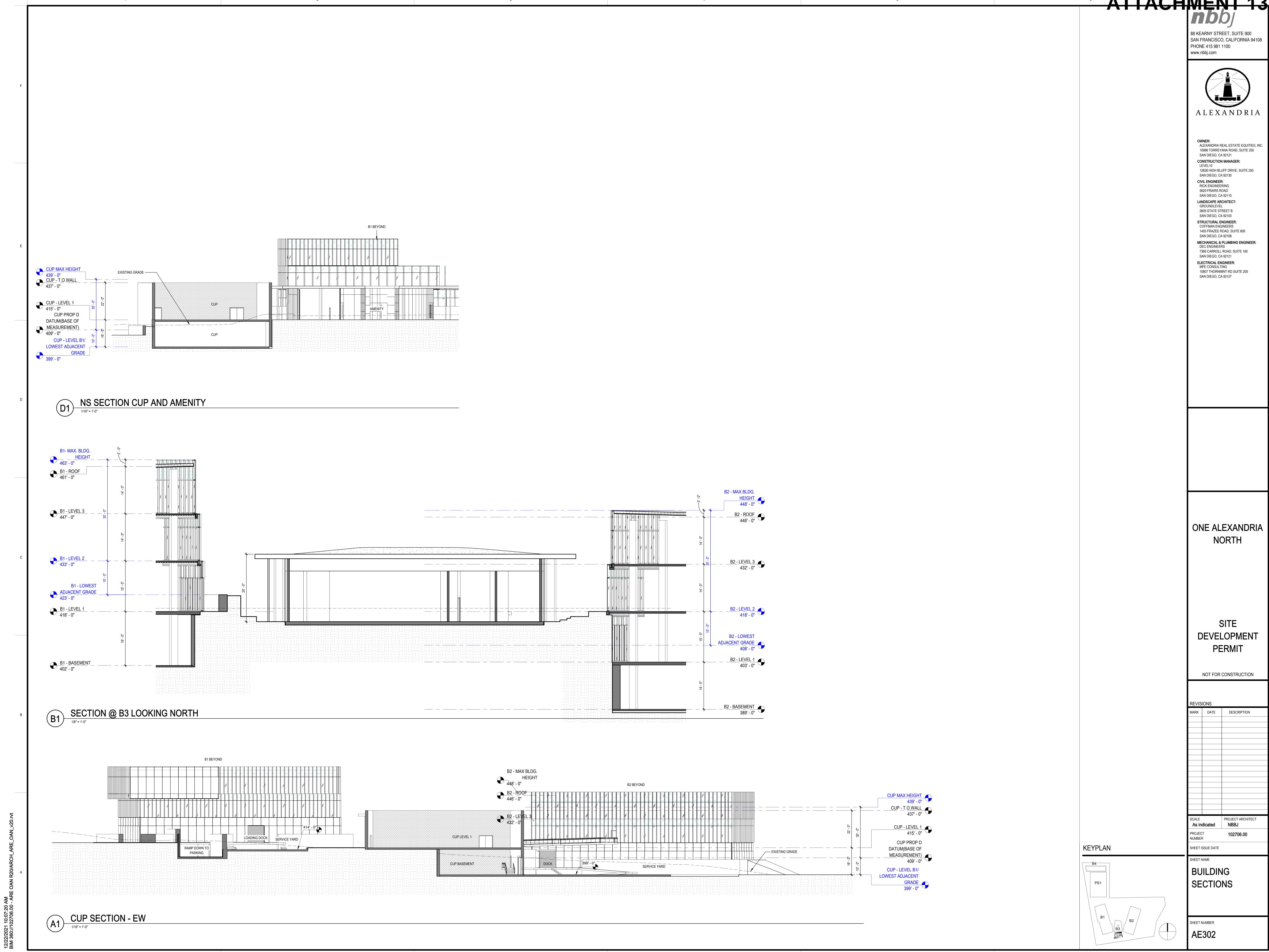


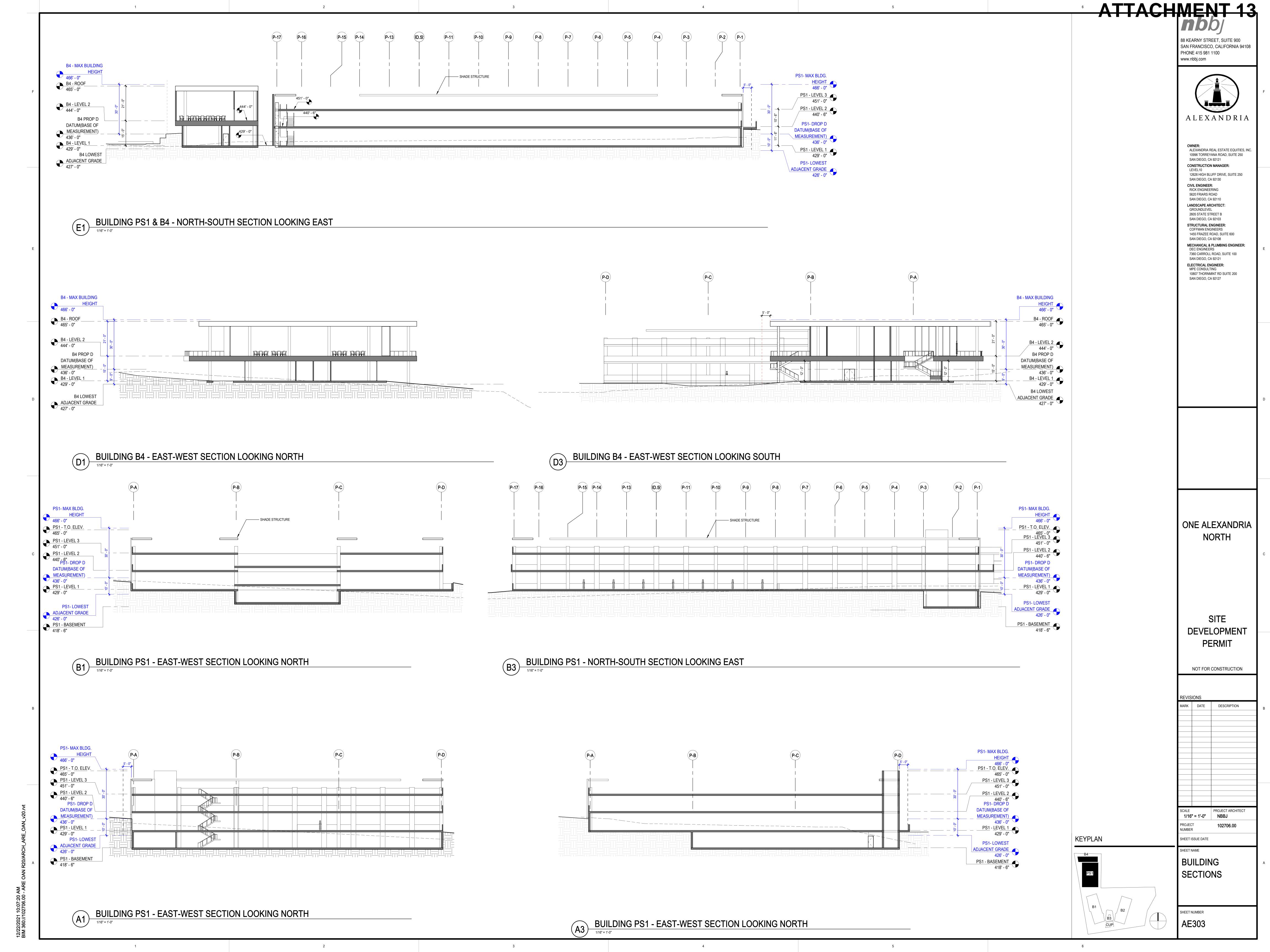












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City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name:		Project Number:	Distribution Date:
Project Scope/Location:			
Applicant Name:		Applicant Phon	e Number:
Project Manager:	Phone Number	r: Fax Number:	E-mail Address:
		(619) 321-3200	
Project Issues (To be completed by Communit	y Planning Com	mittee for initial review	v):
Attach Additional Pages If Necessary.		return to: et Management Division	
	City o Develo	f San Diego opment Services Departm	ent
		First Avenue, MS 302 iego, CA 92101	
Printed on recycled paper. \	Visit our web site at	www.sandiego.gov/develo	opment-services.



City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name:		Project Number:		Number:	Distribution Date:
Project Scope/Location:					•
Applicant Name:				Applicant I	Phone Number:
Project Manager:	Phone Numb	er:	Fax	Number:	E-mail Address:
			(619	9) 321-3200	
Committee Recommendations (To be completed for	· Initial Review	y):			
☐ Vote to Approve	Membe	rs Yes	M	Iembers No	Members Abstain
☐ Vote to Approve With Conditions Listed Below	Membe	rs Yes	M	lembers No	Members Abstain
☐ Vote to Approve With Non-Binding Recommendations Listed Belo	Membe ow	rs Yes	M	Iembers No	Members Abstain
☐ Vote to Deny	Membe	rs Yes	M	Iembers No	Members Abstain
☐ No Action (Please specify, e.g., Need further information, Split vote, Lack quorum, etc.)			Lack	of	☐ Continued
CONDITIONS:					
NAME:				TITLE:	
SIGNATURE:				DATE:	
Attach Additional Pages If Necessary. Please return to: Project Management City of San Diego Development Services 1222 First Avenue, M San Diego, CA 9210		vices e, MS	Department		
Printed on recycled paper. Visit of Upon request, this information is av	ur web site at <u>ww</u> ailable in alternat	w.sandi	ego.g	gov/developmer or persons with	nt-services. disabilities.

UNIVERSITY COMMUNITY PLANNING GROUP

Meeting Minutes Virtual Meeting Via Zoom March 8, 2022, at 6:00pm

Directors present, directors absent:

Chris Nielsen (CN) (Chair), Roger Cavnaugh (RC) (Vice Chair), Neil de Ramos (NR), Nancy Groves (NG), Caryl Lees Witte (CW), Joann Selleck (JS), Isabelle Kay (IK), Ash Nasseri (AN), Rebecca Robinson (RRW), Jon Arenz (JA), Amber Ter-Vrugt (ATV), Jason Moorhead (JM), Anu Delouri (AD), Kristie Miller (KM), Michael Leavenworth (ML), Kristin Camper (KC), Petr Krysl (PK), Carol Uribe (CU), Andrew Parlier (AP), Georgia Kayser (GK), Karen Martien (KMar) Katie Witherspoon (KW-City of SD Planning).

- 1. Call the Meeting to Order: Chris Nielsen, Chair 6:07pm
- **2. Agenda:** Call for additions / deletions: No additions/deletions. Agenda approved without objection.
- 3. Approval of Minutes: February 8, 2022

CN - minutes from February 8, 2022, will be considered for approval at the April 12, 2022, meeting.

4. Announcements: Chair's Report and CPC Report.

- Elections:
 - Election results will be reported after counting at 8pm tonight.
 - O Thank you to JM and AD for making the election efficient and fair. Thank you to Melissa Martin and Staff at the University Community Library and Michelle Ruiz and Staff at the North UC Library for allowing placement of ballot boxes in libraries and for friendly and courteous service provided for voters.
 - Thank you to departing UCPG members for service and for distinguishing themselves as volunteers for the community.
- Minutes:
 - Carey Algaze will be taking minutes tonight and is running unopposed for Dan McCurdy's B-2-C seat unopposed so will likely continue taking minutes as a board member starting next month.
- New UCSD representative
 - Andrew Parlier will take over as the representative from UCSD student organization.
- Costa Verde:
 - O Alexandria representative, Randy Levison, is not prepared to present plans but allowed CN to report on their conversation. The change for Alexandria to purchase Costa Verde occurred in the middle of January as Regency, like many other retailers, were hurting and felt they had greater exposure with the project. They ultimately decided to exit the development.

- Alexandria intends to develop the Site consistent with the development permits that have been secured which include a hotel, retail, and R&D (though the retail may decrease slightly)
- Alexandria still thinks a market is an important component of the site but would like to see a specialty market (like Jimbo's). They are looking for pedestrian friendly experience, rather than auto centered experience.
- o All tenants are expected to be gone by March 15th at which time the Site will be fenced, and Alexandria hopes to secure demo permits and starting by June.
- McDonalds and the gas station/car wash will remain in operation. Their motto is "vacant real estate is bad real estate", so they will be moving as expeditiously as possible to get the project built.
- Torrey Pines State Park ADA
 - o A project to improve Torrey Pines State Park ADA access and utilities is expected to come before the UCPG in April or May.
- UCPG Plan Update Subcommittee
 - o Next meeting is Tuesday, March 15th at 6pm using webinar format
- Land Use and Housing Committee Meeting
 - o Thursday, March 10th at 1:00pm to review Councilmember LaCava's proposed revisions to community planning groups as an information item.
- Build Better San Diego Workshop
 - o March 10 from 6:00PM to 7:30PM is the city's Build Better SD virtual workshop. Those interested in how the DIF may evolve under this program should consider attending. Here is the link to register to attend. Build Better SD City of San Diego Official Website.

5. Presentations:

a. Councilmember Joe LaCava Kaitlyn Willoughby

- o Councilmember LaCava's revisions to Community Planning Group reform is going to Land Use and Housing committee on Thursday as an informational item.
- o Budget town halls are scheduled for May. Registration link will follow.
- o Lakewood/Governor traffic signal to be installed in mid-April as soon as supplies are received.
- o Councilmember LaCava will attend April UCCA meeting regarding Miramar.
- o New phone number for Kaitlyn provided in the chat

b. Plan Update Subcommittee Andy Wiese, Chair

- Urge everyone to engage in the community plan update process as now is the moment of maximum involvement. Proposals for the land use scenarios are out and next week's meeting will strive to obtain community feedback on those land use options.
- o February 15th meeting discussed the online engagement tool that the City preformed last fall and discussed proposed land use scenarios.
 - Online Community Engagement Tool:

- Much greater involvement and community participation. UC remains in leading edge in planning of city with 2,600 people completed the survey which is 1,000 more than in 2019.
- Representation across the community was much more representative in terms of demographics.
- City did a great job of reaching out into the community to receive more diverse feedback.
- Important questions were raised about the nature of the survey and quality since 7,000 surveys were started but only 2,600 were completed. City to report on that next meeting.
- Land Use Scenarios:
 - Some felt the proposals were astonishing in size, scope, and scale.
 - There is value in what the city is proposing and there are also some areas of improvement so encourage the community to attend the next meeting to provide feedback.
 - Also included some areas that had not been studied previously including rezoning and medium density development on Governor in South UC.
- March 15th meeting at 6:00pm will be devoted to community feedback on those proposals. Members of the public may also be heard by providing comment via email to KW and Andy Wiese.
- o April 19th subcommittee will vote on its preferred land use scenario.
- o May Planning Commission Workshop
- o June UCPG vote.

c. Supervisor Terra Lawson-Remer Meghan Elledge

- o Supervisor Lawson-Remer is excited to welcome traffic improvement carpool project on north bound/south bound on I-5 and supports infrastructure investments like this.
- Funding available to nonprofit for community enhancement funding. An informational workshop will take place on April 7th 1:00pm where county team will go over requirements and application process. Link is here:

 https://us06web.zoom.us/meeting/register/tZUvcuirrT4tEt0siG9HxrJ7h0gOXOoYjq4t
 t
- o Funding for neighborhood reinvestment is also available
- o Can arrange 1:1 with grant advisor if desired

d. Introduction of Andrew Parlier: UCSD

o AP introduced himself to the group.

6. Public Comment: Non-Agenda Items (2-minute limit).

- o Diane Ahern:
 - UCCA University City Community Association meets Wednesday, March 9, at 6 PM via Zoom. The agenda is available on UCCA's
 UniversityCityNews.org website. Featured guests for March include SDPD Officer Bognuda and Lieutenant Brinkerhoff (Crime related to trolley); Chris Nielsen/Andy Wiese Planning Group; Ruth DeSantis, University City

Community Foundation; and our new friends from City Council District 6 - Jeff Stevens, Bari Vaz and/or Pam Stevens from the Mira Mesa Planning Group and Town Council. You'll hear about public safety, community planning, and redistricting; plus information from our legislative and community leaders.

- UCCA is sponsoring a D6 City Council Candidate Forum in April and we
 may have a few City Council candidates who wish to introduce themselves.
 The agenda and Zoom info is posted on UCCA's website
 at www.UniversityCityNews.org.
- o Bill Beck Comment:

o Bill Beck:

• Member of the UC Fire Safe Council. A Free Smoke Detector Giveaway event is set for March 12th, between 10AM and 4PM at the First Baptist Church-San Diego, 5055 Governor Drive. This event is being held thanks to the support of the San Diego Regional Fire Foundation and the University City Fire Safe Council. Homeowners are reminded that battery operated detector older than 10 years should be replaced. So, while supplies last, two smoke detectors per household will be given to those UC residents in need. So be sure to bring your ID."

Ash Nessari:

- Provided photo presentation on increase of people experiencing homelessness.
- Has worked in the area since 2010 and typically see the same faces year after year. Since the trolley came in, has seen an increase in people experiencing homelessness. Reports people yelling and screaming outside of workplace at one another and sometimes talking to themselves.
- Reports seeing encampments starting below Whole Foods under the bridge, people washing clothes, and panhandling.
- Presented photos of gentleman passed out requiring emergency services fire passed out at work.
- Most concerning is the tents.
- Had meeting scheduled with Councilmember LaCava for tomorrow morning but despite confirming multiple times, it was cancelled.
- Concern that this is not a UTC problem it is a community problem that is going to get worse.

o Jennifer Martin-Roff

- South UC resident. Took the trolley for the first time. Parked in UTC parking structure with MTS sign on it and understood parking was free. Wondered if this goes against what is planned. It has spots labeled for transit.
 - IK: There is no informative signs whatsoever about the parking/trolley. No signage indicating access to trolley is on the 4th level, not the top level. Really poor signage.
 - Tom Heckman: MTS website states the transit center is paid parking.

- CN: Understanding is SANDAG built a separate garage at UTC.
 Will ask Gia the MTS/SANDAG contact
- o Kent Lee:
 - 15-year Resident in Mira Mesa running for San Diego City Council for District 6
 - Served on Community Planning Group for last 9 years, thankful for service and those running.
 - Redistricting shifted boundaries, district 6 now includes University City.
 - Proud of support endorsements from Mayor Gloria, 6 of councilmembers and Council President Sean Elo riviera
- o Lily Higman:
 - Running for District C of San Diego Unified School District. Have 3 kids in the school system, has been active for 10 years in the school system, on Monday March 21st there will be a community town hall with all three candidates on the forum. Will follow up with zoom link.
- 7. Action Item: AB361 provisions for ongoing UCPG virtual meetings. A vote will be required each month to authorize the next meeting to be held virtually. Public health reasons must be cited. Chris Nielsen, presenting.
 - Motion by CN to authorize next meeting to be held virtually for public health reasons with second by CU
 - o Motion carries unanimously 11 Yes, 0 No, 0 Abstain, with Chair not voting.
- 8. Action Item: PTS 0683337 Belmont Sign, Neighborhood Development Permit.
 Neighborhood Development Permit for two signs at the Belmont Village Senior Living project located at 3880 Nobel Dr. Process 2. Laura Fairbanks, presenting.
 - O Presentation by Ruben Andrews, President of Graphic Solutions. Joined by Brent Covey representing ownership.
 - Application for a discretionary permit to allow deviations for two (2) signs related to 17-story residential facility for seniors which deviate in size, setback and illumination.
 - Monument Sign:
 - Proposing 3' x 15' tall double-faced monument sign about 1' from property line, outside of visibility triangle
 - Deviations Requested: sign area increase of 28 sf, height increase of 9', and internal illumination proposed.
 - Wall Sign:
 - The building where the wall sign is proposed is set back 175'. Proposed sign is 14' wide and 4' tall letter, illuminated in silhouette sign.
 - Deviations Requested: 2 signs, where 1 is allowed, 36 square feet increase in sign area and internal illumination.

- JS: How does adjacent senior residence signage compare to this?
 - Ruben Andrews: To the west there is a double-faced sign just about as high but bigger than this sign. To the east, they have about 3 signs and also have a double faced sign on the property line not 15' tall like this one but located near the property line just as this one would be.
- IK: Why does the sign have to be 6" from the sidewalk and why does there need to be a second sign on the building? If you're turning in and there's a massive building you don't need a sign to say that's where you're arriving.
 - Ruben Andrews: is a senior facility, project is set back 175' needs to be a confirming sign after you turn in. It is a fast street and 3 lanes.
- CU: Is it a 1-way driveway? View of traffic
 - Ruben Andrews: Yes, both in and out. Sign is located outside of the visibility triangle to serve that purpose.
- KMar: Don't understand why such a large and prominent sign is required. If it's a hotel, for people who can't find it then ok, but this is a residential building. Hesitant to approve such substantial deviations from requirements when there's not an obvious need to have such signage. Not sure why we should put a sign that is much larger that is part of the current regulations and deviates from requirements in multiple ways.
 - Ruben Andrews: It's a 17-story senior facility, there will be seniors coming and going, guests coming and going. The building is set back 175' and is couched between two other properties so it is not immediately clear. If there wasn't a sign, you would not know it was there.
- IK: Shows google image of Pacific Regent La Jolla Sign Wall sign
 - Ruben: That sign is 115 sf, 8' high. Sign to west is La Jolla Garden Villas which is 228 sf, 9'6 high and set back 7 feet. La Scala apartments has 75 sf sign, 4.5' high and has a 0 setback.
- Bill Beck:
 - When Palisades was built, they requested the same kind of deviation.
- Debbie Knight
 - Issue with deviation for internally lit sign as those are part of light pollution. Prefer fully shielding lights that shine down on the lettering rather than internally lit lettering that contributes to light pollution
 - Every time the city allows a deviation for one, future projects point to the one before as justification.
- Katie Rodolico:
 - Have trouble finding Pacific Regents. It is easy to miss a driveway on this street. Being able to slow down and turn into a driveway is eased a lot if you know its coming if you see a sign.
 - Lots of people coming in and out of senior care like caregivers, visitors, hospice, etc. and they those people will need to find out

where this place is. Turning on Nobel and having a big sign you can see easily, is really helpful.

• Rhianen C;

Agree that lighting should not add to light pollution. Maybe streetlight around it instead. Does not understanding the use of a sign since most if all people use navigation. Why is it vertical instead of horizontal? It may be harder to read

Andy Wiese:

Similar comment to Katie Rodolico. Nobel is a pretty busy traffic way with people moving quickly on the street. The sign provides legibility and safety. Additionally future planning for the area includes bike facilities and bus facilities. Thinks safety is enhanced where you need to make a turn. A sign enhances that safety.

• KMar:

 Agrees. Anytime we approve a variance it sets a precedent. Talking about the neighboring signs don't adhere to existing code, but those are not internally lit. Ask group to confirm.

• JS:

The monument sign looks less obtrusive than the signs on the buildings on either side. Those take up more surface area and have more landscaping in front and around. Other than lighting issue, don't think it is terribly inconsistent with adjacent signs. Nice to have placement a foot or two off the sidewalk but is more sleek

• GK:

Confirming deviation, seems like a lot of deviations with an addition to light pollution, there is some precedent approving other signs this large, but there is a reason for the sign code, now we are deviating significantly. Do we as a community want to continue to set this as precedence?

• Ruben response:

 These standards apply to residential apartments in suburban and urban locations. In order to have a sign that fits the project and serves the needs there often need to be deviations.

o CN call for motion:

- JS Motion to approve both signs as proposed, with the caveat that they are not backlighted but indirect downlighting; Second; CN.
 - IK: Friendly amendment that it be lit only on the east side of oncoming traffic
 - JS appreciates friendly amendment but states it does not solve the concern so does not agree to amendment.

Discussion:

AP has not given Ruben Andrews the chance to justify the internal lighting

- O Ruben: It is low light. Letters have a film, so the light is filtered, the background is opaque, it is only the letters illuminated they don't have to be illuminated strongly, just readable. Regarding downlighting, when you have hardware/lamps on the sign it lays a shadow across the sign. The cleanest thing is having the internal illumination or superfluous elements.
 - AP confirming: Internal illumination leads to the least amount of light pollution.
 - Ruben: Yes.
- Motion Fails: 4-yes (JS, JA, CU, AP), 6- no (NG, IK, AN, PK, GK, KM), 2-abstentions (RRW and JM), Chair not voting.
- 9. Action Item. PTS 697543 "Gilman Village" Community Plan Amendment Initiation for the following parcel: Lot 2, Map 7174, La Jolla Village Apartments Unit 2, (APN: 346-802-13-00), SE corner of Gilman Drive at Via Alicante south to Interstate 5. As of January 5, 2022, Property Zone Map is RM-1-1, however, Property Zone Per City DSD ZAPP Property Information Profile the site has three zones as follows: RM-1-1, RM-2-5, and RM-3-7. An Open Space Easement for the entire property was granted to the City of San Diego in 1972, with 22 of the site's 31 acres later designated as MSCP and 100% conserved. The action will be to recommend approval or denial of the plan initiation and may involve approval of a report with supporting findings. Approval of the CP Amendment Initiation would require removal of the Open Space Easement and adjustment of the MSCP boundary. The Planning Commission is scheduled to hear the plan initiation on April 7, 2022 and is the decision maker.
 - o CN: Presents project overview. Project Applicant is RRW.
 - Site: Gilman Village Lot 2, 31.06 acres, owned by Robinson Wood Revocable Trust. Currently undeveloped area. Current land use is open space/park/recreation, adopted land use is open space. Zoning RM-1-1 (though RRW found 3 zones RM-1-1, RM3-5 RM 3-7)
 - Site has open space easement from 1970 over the entire site when the condos on the mesa top were developed. This mechanism was used by city to develop mesa tops and designate the sides of mesas as open space. In 1997, 23 ½ acres were added to MHPA and 100% were conserved. Core MSCP area
 - Community Plan Amendment proposal would imply removal of open space easement, imply significant MSCP be removed, CPAI would change land use designation from open space to residential.
 - Planning does not support removal of open space easement of the property
 - Appearances before UCPG:

- Informational item in July 2021
- Action Item for recommendation in October 2021, cancelled by applicant. Rescheduled to January 2022, cancelled by applicant.
- On the Planning Commission docket for April 7th. Planning department rescheduled form March 3rd to allow for UCPG recommendation and to receive input.
- CN Motion: Oppose the removal of the Open Space Easement on the 31.06-acre parcel at the SE corner of Gilman Drive and Via Alicante (APN 346-802-13-00). It opposes any change of the Community Plan Land Use Designation from open space, and any changes to the MSCP boundaries for the ~23.5 acres of MSCP on the site. Consequently, the UCPG recommends the city deny the proposed community plan amendment initiation for this site. A letter to the planning commission will be sent detailing our motion and discussion, PK seconds the motion.
 - Andy Wiese: presents supplemental information on why the proposal is inconsistent with controlling planning documents (open space easement, University Community Plan, MSCP, City of San Diego General Plan and Community Plan Update) for inclusion in CN letter
 - AN: Any reasonable person would come to the judgment that this petition should be denied for all reasons mentioned. It has been protected for many years, may have been purchased with the thought it could turn into profit, it's not going to happen.
 - Andrea Rosati:
 - Attorney for applicant
 - Emphasizes this is the beginning of the process. If the initiation is approved, then it can be analyzed. Supporting the initiation is not a vote of any project. It would only allow staff to vet the plan amendment. Any project would have to go through an application process and complete environmental reviews. All plans and consistencies Andy Wiese spoke of would be resolved. Trying to provide more affordable work force housing and find alternatives for the open space matter. This project would come back again and again.
 - Lou Rodolico:
 - Open space is a conflated term also means any undeveloped land.
 This is a good spot for housing. It is way to get our density up rather than having to do infill by the state
 - IK:
- Value of this parcel is irreplaceable function in the landscape. Important parcel to connecting mission bay to rose canyon to open space on the bluffs on UCSD, through UCSD to Torrey Pines reserve. You could not mitigate for the environmental loses if you develop this property
- Debbie Knight:

- Thank Andy Wiese for his insightful and wonderful presentation. This is one small area has been preserved from the beginning of the community plan. You can't just say that you can take a piece of habitat and will make up for it by doing it somewhere else. The birds go back and forth from Rose Canyon. This is a corridor for them, and to say we'll destroy it, loves what ash has said. Strongly support the motion.
- Chris Wood (RRW husband)
 - The MSCP area is mostly slope, it's not really buildable so it would not go away. You may wonder about the importance of affordable housing to students and think about the 50-year-old with \$100,000 in unpaid student loans and if high housing costs may have contributed. I suggest that the broader idea/definition of community is considered- community of the university who would like more housing, community of environmentalists, community of State of California, etc. and many other communities. Community involves all of the above, not just the community group gathered today.
- Jonathan Rivas, LMA said housing is important to San Diego and wants residential development.
- Karen Martian, UCPG, thinks strategically approving housing is what we're aiming for with the plan update.
- Anu Delouri, UCSD, Assistant Director, Community Planning, reported their goal is to provide housing to 65% of students with 42% living on campus now. Lack of housing is statewide.
- Tom Heckman:
 - Question confirming current zoning.
- o Motion carries 10-yes, 1-abstain (JM), 1-recuse (RRW), Chair not voting.

10. Information Item: March 8 UCPG election results. Anu Delouri and Jason Moorhead, presenting.

o UCPG Election votes were tallied and presented by AD:

District/Seat	Name	Votes
District 1/Business Seat B	Linda Bernstein	2 votes
District 2/Business Seat A	Fay Arvin	1 vote
District 2/Business Seat C	Carey Algaze	1 vote
District 3/Business Seat C	Steve Pomerenke	2 votes
District 3/Business Seat A	Neil DeRamos	1 vote
District 1/Residential Seat	Tom Hekman	23 votes
С	Andy Wiese	271 votes

District 2/Residential Seat	Liane Barkhordar Isabelle Kay	18 votes 39 votes
District 3/Residential Seat	Sasha Treadup	7 votes
District 3/Residential Seat C	Jon Arenz	1 vote

- o 366 votes total were cast
- O CN: Thank AD and JM for doing a really good job on tallying the votes. Thank you for running the election.
- o AD: Thank you to CN and all of his work and efforts putting the ballots together and picking them up, bringing the boxes and assisting throughout. Thank you, JM, for providing the space at Alexandria and making sure the signage was in place. Thank you to all for voting tonight.
- 11. Action Item. One Alexandria North. PTS 691942, CDP/SDP/NDP/TM to demolish 2 existing buildings and development of 4 buildings and a parking structure at 11255 & 11355 N Torrey Pines Rd. The 11.4-acre site is located in the IP-1-1 zone, PIOZ-Coastal-Impact, PIOZ-Beach-Impact, MHPA, ESL, Prime Ind, First Public Roadway, Coastal (N-App-1), CHLOZ, CPIOZ-B, VHFHSZ, MCAS Miramar ALUCOZ / APZ-2 / AIA Review Area 1. Process 3, decision by hearing officer. Steve Pomerenke, Alexandria Real Estate, presenting.
 - o CN: Project was an information item on Feb. 8th, today Alexandria is asking for a project recommendation
 - o Steve Pomerenke Presenting:
 - Project One Alexandria North came before the board last month and obtained excellent feedback that they have able to act upon.
 - Met with State Parks representative and walked the open space. Discussed
 partnership on mitigating some issues already occurring in the canyon.
 Discussed strategy to harvest seeds from adjacent property to develop plant
 material so no foreign species are introduced. They did not come up with a
 lawn substitution.
 - Bird strike mitigated with vertical mullion. One elevation may need some additional work to address bird strike issues.
 - Project proposal includes: 2 R&D buildings, 1 amenity building, parking structure with smaller conference center.
 - Building 1: 127,008 sf/3 stories
 - Building 2: 115,501 sf/3 stories
 - Building 3: 5,014 sf/1 story
 - Building 4: 8,976 sf/2 stories
 - Total of 256,500 sf
 - Schedule:
 - April 2022: Entitlements secured/Demo & Grading

- April 2023: Vertical construction
- February 2024: Shell & Site TCO
- April 2024: TI/TCO
- o Questions:
 - IK: Thanks team for addressing building bird strike. Asks how will lighting be shielded? LEED certification? Parking just for site or include more?
 - Steve Pomerenke/Team Response: Vertical mullions will also help with light. Building pushed back from property line, so lighting won't go offsite at all.
 - Companywide goal that all developments achieve LEED Gold
 - Life science as a use has the lowest parking requirements. Designed for the tenant parking only.
 - Debbie Knight: Appreciate partnership. Any outdoor lighting should be fully shielded. Illumina building is lit up all night long.
 - GK: Why some of the greenest buildings are the ones that are already build. Why couldn't renovate and have to demolish? Why not LEED Platinum?
 - Steve Pomerenke/Team Response
 - Try to renovate to bring up to energy code, you have to take the skin off the building, so you're left with the bones, and mechanical systems that are 30-40 years old and highly inefficient, and the base structure doesn't have floor to floor for labs or column spacing for labs. So, demo is typically necessary.
 - LEED Platinum is very difficult to obtain and generally not realistic for the use type. Use other certification systems like Fitwell that ranks life of building and user experience.
- o Sonja Robinson: Rooftop solar, clean renewable energy, solar batteries?
 - Steve Pomerenke: Yes, included.
- o Motion:
 - IK: Recommendation of approval as presented; AN Second.
 - Motion passes 11-yes, 0-no, 1-recusal (JM), Chair not voting
- 12. Information Item: Clean Local Energy. Benefits of local solar power and the recent NEM ("Net Energy Metering") decision by the California Public Utilities Commission will be discussed. Bill Powers, P.E., and Sonja Robinson, Program Manager / Lead Organizer, Protect Our Communities Foundation, presenting.
 - o Informational Presentation by Sonja Robinson:
 - Local Clean Energy and benefits of generating electricity for clean renewable energy locally. Presentation addressed immediate threat to roof top solar in San Diego and the San Diego Community Power and accountability to the local power mission.
 - Electricity rates are rising and projected to continue to rise, rooftop solar is a solution to mitigate that that.

- Council unanimously passed resolution urge public utilities commission to adopt net energy metering rulemaking decision which would support continuing growth of customer sited solar energy installations.
- Action request to call: (1) Governor's Office to support a fair solar deal that keeps rooftop solar growing, (2) Senator Toni Atkins requesting she sign legislator NEM solar support letter sponsored by Sen Nancy Skinner (3) call to express appreciation for signing onto the letter.
- Electricity rates are so high because of transmission, capital projects and distribution charges much higher. Often which are more expensive than the cost of energy. SDGE has highest rates in the country.
- Other option is solar, but the current solar proposal would destroy solar as an option.
- o Explained Tariffed-On Bill financing as paid to the meter, not to the customer.
- o No vote taken. Informational item.

- 13. Action Item. ARE//Scripps Health NDP. PTS 686158. Neighborhood Development Permit for Demo of an existing Building and a new 5-story with basement 157,694-square-foot commercial office building and a 4.5-level parking structure located at 4555 Executive Drive. The 3.80-acre site is in the RS-1-14 Base Zone, ALUC-MCAS Miramar, ALUCP Noise MCAS, AIA-Review Areas 1 & 2 MCAS, FAA Part 77, CPIOZ-A, PIOZ-Campus, PSTPA, TPA, Prime Ind Lands. Process 2, decision by city staff. Steve Pomerenke, presenting.
 - O CN: Item 13: Action item for a project approval of an Alexandria project that involves a demo of an existing building and construction of a new five story building, including basement, and a 4.5 story parking structure located at 4555 Executive Drive. Process 2, decision by hearing officer.
 - Steve Pomerenke presenting:
 - Project is the old Brain Institute Site, located 0.4 miles away from trolley.
 - Developing the site for Scripps Health as their headquarter so design is tenant led.
 - Will demolish existing structure and replace with 5-Story office building with 4-level parking structure total of 131,200 gross floor area.
 - Palm street trees will remain. Corner landscape parcel owned by another owner.
 - Will work with Gensler on bird strike
 - Project is consistent with Community Plan Update plans.
 - o Questions:

- Debbie Knight: Why can't you get rid of the palm trees. City says palm trees are not street trees and they put seeds into the environmental areas nearby. Debbie volunteers to go to the meeting with the City.
 - Steve Pomerenke: Has not approached the City about removing them, will accept Debbie's offer to go to the meeting. The trees are lining the streets of multiple streets, but it is worth the fight to try to remove them.
- CU: Palm trees are so iconic of Southern California. Understanding now why they may be a problem, but don't need to kill trees regardless of the type.
- Andy Wiese: Clarify whether the project proposal is building to density of EMX zone:
 - Steve Pomerenke Team: No, the scale us substantially less than EMX zone, approximately 1/4 of the intensity that EMX would allow.
- Motion: CN: Motion to approve as presented; AP Second. IK friendly amendment to approve the project with stipulation that Alexandria work to improve plant pallet to minimize environmental impact and maximize ecological benefit. CN and AP accept friendly amendment.
 - Motion passes: 10-yes, 0-no, 1 recusal (JM)
- 14. Adjournment: Next Meeting will be on April 12, 2022, via zoom. Appendix A: Letter authorized by the UCPG opposing the "Gilman Village" Community Plan Amendment Initiation, sent to the Planning Dept. and Councilmember LaCava's office in place of the Planning Commission after the applicant, the Robinson Wood Revokable Trust, pulled the item from the PC's agenda.

March 29, 2022

Planning Commission City of San Diego

RE: Gilman Village Community Plan Amendment Initiation PTS697543

Dear Planning Commissioners,

On March 8, 2022, the University Community Planning Group, voted unanimously to recommend that the City deny the Gilman Village community plan amendment initiation, PTS697543, requested by The Robinson Wood Revokable Trust. It passed the following motion by a vote of 10 Yes, 0 No, with 1 Abstention, and 1 Recusal:

"The University Community Planning Group opposes the removal of the Open Space Easement on the 31.06-acre parcel at the SE corner of Gilman Drive and Via Alicante (APN 346-802-13-00). It opposes any change of the Community Plan Land Use Designation from Open Space, and any changes to the MSCP boundaries for ~ 23.5 acres of MSCP on the site. Consequently, the UCPG recommends the city deny the proposed community plan amendment initiation for this site. A letter to the Planning Commission will be sent detailing its findings and discussion. PTS 697543"

The UCPG summarizes its *findings* on page 2 and presents detailed reasoning for these *findings* on page 3. Minutes for this agenda item are provided on page 8.

We urge the Planning Commission to deny the community plan amendment initiation.

Sincerely,

Chris Nielsen, UCPG Chair

Summary of Findings in Support of the Motion

The UCPG finds that proposed development on this parcel is inconsistent with:

- The Open Space Easement on this property
 - o Development restricted by Open Space easement granted w development (1972)
- The University Community Plan
 - Adopted land use (Open Space) w specific textual references to the parcel (1987)
- The Multiple Species Conservation Program
 - Core of parcel, ~23.5 acres, is 100% conserved MSCP (1997)

Biological value includes steep slopes, riparian and coastal sage scrub habitats,
 MSCP covered species (CA Gnatcatcher), wildlife connections to open space system, especially for birds and other pollinators

• The City of San Diego General Plan

 Conflicts with "City of Villages" strategy: "directing growth primarily toward village centers" and preserving "established residential neighborhoods and open space." (2008)

• The University Community Plan Update (in progress)

- o Parcel is not in or adjacent to a planned focus area; outside 10-min walk-shed
- o "Urban Villages" and housing planned for elsewhere, nearer to transit
- o Proposed use as open space reflects predominant public input (2018-pres)

Detailed Reasoning for the Findings in Support of the Motion

The UCPG finds that proposed development on this parcel is inconsistent with:

- The Open Space Easement on this property (Map 7174, La Jolla Village Apts, No 2, 1972)
 - The parcel is subject to an Open Space Easement granted to the City of San Diego as part of the development process (1972).
 - Termination of this easement would call into question the protections afforded by open space easements in the University Community and city wide, undermining our open space system and placing in jeopardy, as in this case, Multiple Species Conservation Program lands in private hands.
- The University Community Plan (1987)
 - The adopted land use is Open Space (UC Plan, 1987, p 227).
 - The UC Plan identifies this parcel as part of an **"open space corridor"** in Gilman Canyon (p 229).
 - The UC Plan specifies that "The **slopes** along Gilman Drive between I-5 and Via Alicante **should be preserved as undeveloped open space"** (p 229).
 - The UC Plan calls on the city to "Preserve the natural resources of the community through the appropriate designation and use of open space. **Major topographic features and biological resources should be preserved as undeveloped open space.**" (p 225)
- The Multiple Species Conservation Program (1997)
 - The MSCP Subarea Plan (City, 1997) identifies ~23.5 acres of the parcel as 100% conserved.
 - The MSCP recommends **Open Space Easements as a strategy for "permanent protection"** to ensure the "long-term biological integrity of the MHPA" (MSCP, 1.6.2, p 98).
 - Development strictly outside these 100% conserved lands is impractical because they encompass the core of the parcel for its entire length on both sides of Gilman Creek. Lands outside the MSCP consist of a narrow strip around the outer edges of the parcel.

- A **boundary line adjustment would have foreseeable impacts** that are inconsistent with the goals and policies of the MSCP.
- Development would result in **foreseeable impacts to Environmentally Sensitive Lands (ESL), which include wetland habitat** (consisting of native wetland and riparian habitat), and Tier II habitat (including Diegan Coastal Sage Scrub). (Coastal Rail Trail, Biotechnical Report, 2020)
- The MSCP Subarea Plan (MSCP, 1997, p 100), City Land Development Code (LDC) Environmentally Sensitive Lands (ESL) Regulations, and Biology Guidelines (City 2018), require that impacts to wetlands shall be avoided.
- Development of the parcel would have foreseeable **direct impacts to occupied California Gnatcatcher habitat within the MHPA**.
- City sponsored environmental studies document at least *one "breeding pair"* of federally-threatened California Gnatcatchers, a covered MSCP species, on the property. (Coastal Rail Trail, Biotechnical Report, 2020, 20).
- The 2020 CRT "Biological Resources Map," identifies **two pairs and one family of CAGN on site** (Coastal Rail Trial, Biotechnical Report, Appendix B: Biological Resources Map, 2020, Sheet 8).
- "Documented populations of covered species within the City's portion of the MHPA will be protected to the extent feasible." (MSCP, 1997, 3)
- The parcel is part of a larger "open space system" in the University Community (UCP, p 220) with wildlife connections to Rose Canyon and Mt Soledad Open Space Parks for small mammals and "avian species with adequate dispersal capabilities." (CRT Biotechnical Report, 2020, 23)
- Functionality of wildlife connection for avian species indicated by on site list and birding "hotspot" in the adjacent Villa La Jolla Park 123 observed bird species (Cornell Univ, eBird, https://ebird.org/hotspot/L3347000), CRT-BTR, 2020, Appendix H)
- On Site species include Mule Deer, Coyote, and Common Racoon, indicating that the parcel is functionally connected for small (and large) mammals (see CRT-BTR, 2020, Appendix H).
- The City of San Diego General Plan (2008)
 - Development of the parcel is **inconsistent with the first "core value" of the General Plan**, established to guide future development: 1) "An open space network formed by parks, canyons, river valleys, habitats, beaches, and ocean" (GP, Strategic Framework, SF-6)

- Development of the parcel is **inconsistent with the guiding principle of the General Plan**: "this is the first General Plan in the city's continuing history that **must address future growth without expansion into its open lands**." (GP, SF-6).
- Development here would directly contradict the "City of Villages" strategy, which calls for "directing growth primarily toward village centers" and preserving "established residential neighborhoods and open space." (GP, SF-6)
- Development of this parcel is **inconsistent with the General Plan, Conservation Element**: Policies for Climate Action (CE-A), Open Space and Landform Preservation (CE-B), Water Resources Management (CE-D), Urban Runoff Management (CE- E), Biological Diversity (CE-G), Urban Forestry (CE-J).
- Development of this parcel is **inconsistent with the GP, Urban Design Element**: Goals for Natural Landforms and Features (UD-A). (General Plan, 2008)
- The University Community Plan Update (2018-pres)
 - The University Community Plan Update has identified five "focus areas" for future "Urban Village" development in conformance with the General Plan, "City of Villages" strategy.
 - A very large number of **new housing units** are planned for the focus areas.
 - The parcel is not in or adjacent to these planned focus areas.
 - The parcel is **outside the 10-minute transit walkshed** from the La Jolla Square Trolley Station. A small, upslope portion of the parcel is within a ½ mile radius of the station, however, any development on this steep site would take place on the lower slopes, **outside of a Transit Priority Area** and farther still from accessible transit. (City, UCPU Proposed Land Use Scenarios, 2022)
 - The **Community Plan Update envisions the proposed site to remain Open Space**. (City, UCPU Proposed Land Use Scenarios, 2022)
 - This choice reflects the **preponderance of public input** gathered since 2018.
 - The protection of Open Space resources in the University Community **has consistently ranked first** among the concerns of residents and workers expressed through the Community Plan Update Process.
 - More than half of all comments collected at the 2018 CPU Open House prioritized the protection of open space.
 - E.g.: "Protect all remaining open space. Add density only on already developed/paved parcels; "Permanently protect all MSCP; Connect these spaces for people and wildlife. Build up not out. "

- **Re. Gilman Dr. Open Space**: "permanent OS east side Gilman;" "please keep natural," "Permanent open space;" "Improve habitat," "memorial park" (UCPU Open House, 2018)
- "Canyons and open space are protected as community assets" ranked foremost among community priorities in the 2019 Online Community Engagement Survey. (UCPU OCET Survey Report, 2019)
- Development here would be **inconsistent with CPU draft Conservation goals** for Open Space, Urban Design and Landform, Biodiversity and Wetland Resources:

"Protection, enhancement and long-term management of an open space system that preserves canyonlands, habitat, and sensitive biological resources.

Development patterns that preserve natural landforms, public and private open spaces, wildlife linkages, sensitive species and habitats, and watersheds, and which contribute to clean air and clean water and help the city meet its climate action goals.

Preservation of San Diego's rich biodiversity and heritage through protection and restoration of wetland resources, including coastal waters, creeks, bays, riparian wetlands and vernal pools.

"Preservation and enhancement of wetland resources, including estuarine and coastal waters, creeks, bays, riparian wetlands and vernal pools.

"Preservation and enhancement of biologically diverse ecosystems and improved viability of endangered, threatened and sensitive species and their habitats."

- Development of the parcel would be **inconsistent with the CPU-adopted "guiding principle"**: "a sustainable community integrated with natural habitat, open space, and recreational areas. Preservation of open space, watershed protection and improvement, restoration of habitat, enhancement of species diversity, improvement of population-based parks and recreation areas, and provision of connections for wildlife and people contribute to community character, enhance quality of life and preserve unique natural resources." (CPU, Minutes June, 2019)
- The **University Community Planning Group has voted on 10 occasions** since 2011 **to protect remaining open space lands** in the University Community... as "an essential part of our identity, our quality of life, and the environment for this generation and the next." (UCPG Minutes, July, 2020)

Minutes for the Gilman Village CPAI, March 8, 2022 Minutes to be approved at the UCPG meeting on April 12, 2022

Directors present, directors absent:

Chris Nielsen (CN) (Chair), Roger Cavnaugh (RC) (Vice Chair), Neil de Ramos (NR), Nancy Groves (NG), Caryl Lees Witte (CW), Joann Selleck (JS), Isabelle Kay (IK), Ash Nasseri (AN), Rebecca Robinson (RRW), Jon Arenz (JA), Amber Ter-Vrugt (ATV), Jason Moorhead (JM), Anu Delouri (AD), Kristie Miller (KM), Michael Leavenworth (ML), Kristin Camper (KC), Petr Krysl (PK), Carol Uribe (CU), Andrew Parlier (PB), Georgia Kayser (GK), Karen Martien (KMar) Katie Witherspoon (KW-City of SD Planning).

- 15. Action Item. PTS 697543 "Gilman Village" Community Plan Amendment Initiation for the following parcel: Lot 2, Map 7174, La Jolla Village Apartments Unit 2, (APN: 346-802-13-00), SE corner of Gilman Drive at Via Alicante south to Interstate 5. As of January 5, 2022, Property Zone Map is RM-1-1, however, Property Zone Per City DSD ZAPP Property Information Profile the site has three zones as follows: RM-1-1, RM-2-5, and RM-3-7. An Open Space Easement for the entire property was granted to the City of San Diego in 1972, with 22 of the site's 31 acres later designated as MSCP and 100% conserved. The action will be to recommend approval or denial of the plan initiation and may involve approval of a report with supporting findings. Approval of the CP Amendment Initiation would require removal of the Open Space Easement and adjustment of the MSCP boundary. The Planning Commission is scheduled to hear the plan initiation on April 7, 2022, and is the decision maker.
 - o CN: Presents project overview. Project Applicant is RRW.
 - Site: Gilman Village Lot 2, 31.06 acres, owned by Robinson Wood Revocable Trust. Currently undeveloped area. Current land use is open space/park/recreation, adopted land use is open space. Zoning RM-1-1 (though RRW found 3 zones RM-1-1, RM3-5 RM 3-7)
 - Site has open space easement from 1970 over the entire site when the condos on the mesa top were developed. This mechanism was used by city to develop mesa tops and designate the sides of mesas as open space. In 1997, 23 ½ acres were added to MHPA and 100% conserved.
 - Community Plan Amendment proposal would imply removal of open space easement, imply significant MSCP be removed, CPAI would change land use designation from open space to residential.
 - Planning does not support removal of open space easement of the property
 - Appearances before UCPG:
 - Informational item in July 2021
 - Action Item for recommendation in October 2021, cancelled by applicant. Rescheduled to January 2022, cancelled by applicant.
 - PC docket for April 7th. Planning department rescheduled form March 3rd to allow for UCPG recommendation and to receive input

- O CN Motion: Oppose the removal of the Open Space Easement on the 31.06-acre parcel at the SE corner of Gilman Drive and Via Alicante (APN 346-802-13-00). It opposes any change of the Community Plan Land Use Designation from open space, and any changes to the MSCP boundaries for the ~23.5 acres of MSCP on the site. Consequently, the UCPG recommends the city deny the proposed community plan amendment initiation for this site. A letter to the planning commission will be sent detailing our motion and discussion; PJ Seconds the motion.
 - Andy Wiese: presents supplemental information on why the proposal is inconsistent with controlling planning documents (open space easement, University Community Plan, MSCP, City of San Diego General Plan and Community Plan Update) for inclusion in CN letter
 - AN: Any reasonable person would come to the judgment that this petition should be denied for all reasons mentioned. It has been protected for many years, may have been purchased with the thought it could turn into profit, its not going to happen.
 - Andrea Rosati:
 - Attorney for applicant
 - Emphasizes this is the beginning of the process. If the initiation is approved, then it can be analyzed. Supporting the initiation is not a vote of any project. It would only allow staff to vet the plan amendment. Any project would have to go through an application process and complete environmental reviews. All plans and consistencies Andy Wiese spoke of would be resolved. Trying to provide more affordable work force housing and find alternatives for the open space matter. This project would come back again and again.

• Lou Rodolico:

Open space is a conflated term also means any undeveloped land.
 This is a good spot for housing. It is way to get our density up rather than having to do infill by the state

IK:

Value of this parcel is irreplaceable function in the landscape. Important parcel to connecting mission bay to rose canyon to open space on the bluffs on UCSD, through UCSD to Torrey Pines reserve. You could not mitigate for the environmental loses if you develop this property

• Debbie Knight:

Thank Andy Wiese for his insightful and wonderful presentation. This is one small area has been preserved from the beginning of the community plan. You can't just say that you can take a piece of habitat and will make up for it by doing it somewhere else. The birds go back and froth from rose canyon. This is a corridor for them, and to say we'll destroy it, loves what ash has said. Strongly support the motion.

Chris Woods

 The MSCP area is mostly slope, its not really buildable so it would not go away. Suggests that the broader idea/definition of community is considered- community of the university who would like more housing, community of environmentalists, community of State of California, etc. and many other communities. Community involves all of the above, not just the community group gathered today.

- Tom Heckman:
 - Question confirming current zoning.
- o Motion carries 10-yes, 1-abstain (JM), 1-recuse (RRW), Chair not voting.

Appendix B. Email from the Applicant, the Robinson Wood Revokable Trust, to the UCPG Chair, University Community Plan Update Chair, and Planning Department regarding agenda Item 9 in the March 8, 2022, UCPG minutes.

March 13, 2022

It has come to our attention the arguments presented for Agenda Item 9, Gilman Village at the March 8, 2022 University Community Planning Group Executive Committee zoom meeting were specious and not supported by the City Planning Department report on the Gilman Drive Segment of the Coastal Rail Trail.

We request the Tables 1 and 2, seen here with quoted text from City Planning Report BTR July 2020, specific to the Gilman Drive location be, 1) included with the March 8, 2022 UCPG meeting minutes, 2) provided to the UCPG April 2022 meeting, and 3) provided and presented to the Tuesday, March 15, 2022, 6 P.M. University Community Plan Update Subcommittee meeting. We will appreciate your assistance in this matter.

Table 1: UCPG Chair's Presentation

UCPG Chair's Presentation Factua
Errors and Items of Concern

Reply from Applicant, Sources: City of San Diego Planning Department Staff and AECOM:Coastal Rail Trail(CRT)-Gilman Drive Segment, Biological Technical Report (BTR) July 2020

Labeled property as "core" MSCP	Property is not a linkage (core area), Per
	City Planners/AECOM. See BTR , 3.1.3
	Biological Conditions BSA Pages 22-23(PDF
	23-24). Gilman Segment CRT "Highly
	Developed Area, extremely dense
	residential development, limited
	connectivity with Rose Canyon and Mt.
	Soledad I-5 corridor (roadway, ROW

	fencing and non-native landscaping) creates an effective barrier wildlife movement."
Claimed CPAI Approval will require	No impact to MHPA is
significant % MSCP(MHPA) be	proposed. Applicants' Biological
removed from property.	Consultant whom has studied this
	property more than 10
	years, identified 7.7 acres of the 31.06
	acres as developable areas, outside the
	МНРА.

Table 2: UCPUS Chair's Presentation

UCPUS Chair's Presentation Factual Errors reputedly quoted from City of San Diego CRT- Gilman Drive-BRT July 2020	Reply from Applicant, Sources: City of San Diego Planning Department Staff and AECOM:Coastal Rail Trail(CRT)-Gilman Drive Segment, Biological Technical Report (BTR) July 2020
Stated 3 pair CAGN 2020 Field Study	Actual report: 1 pair CAGN detected 2018 Field Study, Pg. 19, 20 (Pdf pgs 20 & 21), and Appendix F (PDF Page 140 CAGN)
Stated was important to wildlife linkage.	CityPlannerReport: Physical Barriers to Linkages pages 22 and 23 (PDF pgs 23- 24) Gilman Drive described as "Highly Developed Area, extremely dense residential development, limited connectivity with Rose Canyon and Mt. Soledad I-5 corridor (roadway, ROW fencing and non-native landscaping)

creates an effective barrier wildlife	
movement."	
	l

We hope this information may reach the decision makers and the truth be known by all.

Call or email with any questions or to discuss this or anything.

Thank You.



City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000

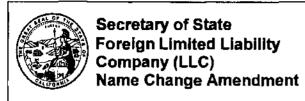
Ownership Disclosure Statement

FORM

DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) 图 Neighborhood Development Permit 图 Site Development 图 Tentative Map 및 Vesting Tentative Map 및 Map Waiver ©	ermit 🛭 Planned Development Permit 🛭		
Project Title: One Alexandria North	Project No	. For City Use Only	
Project Address: 11255 - 11355 N. Torrey Pines Road			
Specify Form of Ownership/Legal Status (please check): Corporation 🗷 Limited Liability -or- 🗀 General – What St	e? <u>Delaware</u> Corporate Identification	n No. 3259230	
☐ Partnership ☐ Individual			
By signing the Ownership Disclosure Statement, the owner with the City of San Diego on the subject property with the owner(s), applicant(s), and other financially interested personal individual, firm, co-partnership, joint venture, association, swith a financial interest in the application. If the applicant individuals owning more than 10% of the shares. If a public officers. (A separate page may be attached if necessary.) If ANY person serving as an officer or director of the nonpassing as a serving of at least one of the property own otifying the Project Manager of any changes in ownership ownership are to be given to the Project Manager at least the accurate and current ownership information could result in	intent to record an encumbrance againg sof the above referenced property. A cial club, fraternal organization, corporation or partnership, in yowned corporation, include the name may person is a nonprofit organization or as trustee or benefits. Attach additional pages if needed, during the time the application is being the days prior to any public hearing on the second s	nst the property. Financially interesteration, estate, trust, reclude the names, tits, titles, and addres a trust, list the name ficiary of the nonpose. The applicant processed or considerations.	Please list below the digraphy includes any eceiver or syndicate cles, addresses of all ses of the corporate es and addresses of profit organization. It is responsible for idered. Changes in
Property Owner			
Name of Individual: _ARE-SD Region No.68 Holding, LLC	☑ Owner	☐ Tenant/Lessee	☐ Successor Agency
Street Address: 10996 Torreyana Road Suite 250			
City: San Diego		State: _CA	Zip:
Phone No.: 858.768.7987	Email: _rlevir	nson@are.com	
ARE SID PERCONNEY SIG. PRICING LLC. By ARES DR FEGON NO. 68. LLC.	Date:	16/31	
Additional pages Attached:			
Applicant			
Name of Individual: _ARE-SD Region No.68 Holding, LLC	☑ Owner	☐ Tenant/Lessee	☐ Successor Agency
Street Address: 10996 Torreyana Road Suite 250			
City: San Diego		State: CA	Zip: 92121
	Email: rleviu		
Phone No.: 958.768.7987 ABEST DEFORMED AS HADDING ALLS, BY ARES OF RECORD AS CALLED BY ALEXANDRIAN AREA LESTATE DAYNES, L.P. BY AREA ONE CORP. BY AREA ONE CORP. BY AREA ONE CORP.	Date: 6	16/21	
Additional pages Attached:	Dutc.		
Other Financially Interested Persons			
Name of Individual:	□ Owner	☐ Tenant/Lessee	□·Successor Agency
Street Address:			
City;		State:	Zip:
Phone No.: Fax No.	Email:		
3.11.09.12.00			
Signature:	Date.		



F

LLC-6

For Office Use Only

-FILED-

File No.: BA20220951061 Date Filed: 9/30/2022

Must be submitted with a current certificate evidencing the name change issued by the government agency where the LLC was formed.

Filing Fee - \$30.00

Certification Fee (Optional) - \$5.00

Note: You must file a Statement of Information (Form LLC-12) to change the LLC's business address(es), or to change the name or address of the LLC's agent for service of process. Statements of Information (Form LLC-12) can be filed online at bizfileOnline.sos.ca.gov.

Above Space For Office Use Only

1, LLC Exact Name Used in California (Enter the name used in California exactly as listed on the records of the California Secretary of State.)

ARE-SD Region No. 68 Holding, LLC

2. LLC 12-Digit (File) Entity Number (Enter the exact 12-digit Entity (File) Number issued by the California Secretary of State.)

2 0 2 0 2 0 2 1 0 0 3 8

3. New LLC Name in the State, Country, or Other Place of LLC Formation (If the LLC changed its name in the jurisdiction of formation, list the new LLC name as listed on your attached certificate evidencing the name change.)

ARE-SD Region No. 68, LLC

4. California Alternate Name, if Required (Complete either 4a, 4b, 4c)

4a. List an alternate name to be used in California if: (1) the LLC name in Item 3 does not comply with California naming requirer (2) you only are filing this form to change an existing alternate name used in California. List the alternate name exactly as it is appear on the records of the California Secretary of State.	

4b. Check this box if you completed Item 3, above and if applicable. If you check this box, do not complete Item 4a above or 4c below.

☐ This LLC ragistered in California before January 1, 2014; currently transacts intrastate business in California under the alternate name listed in Item 1 above; and upon this filing, will continue to transact intrastate business in California under the alternate name listed in Item 1 above.

4c. If you check this box, do not complete Item 4a or 4b above.

Check this box if you are relinquishing the California alternate name.

Signature

By signing, I affirm under penalty of perjury that the information herein is true and corract and that I am authorized to sign on behalf of the foreign LLC.

Additional signatures set forth on attached pages, if any, are incorporated herein by reference and made part of this Form LLC-6. (All attachments should be 8 ¼ x 11_one-sided, legible and clearly marked as an attachment to this Form LLC-6.)

Signetius Signetius

Gary D. Dean, Executive Vice President and Assistant Sacretary, For ARE-QRS Corp., general partner; For Alexandria Real Estate Equities, L.P., managing member, For ARE-SD Region No. 68 Holding, LLC.

Signature

Type or Print Name

LLC-6 (REV 03/2022)

2022 California Secretary of State bizfileOnline.sos.ca.gov

Delaware

Page 1

The First State

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF
DELAWARE, DO HEREBY CERTIFY THAT THE SAID "ARE-SD REGION NO. 68
HOLDING, LLC", FILED A CERTIFICATE OF MERGER, CHANGING ITS NAME
TO "ARE-SD REGION NO. 68, LLC" ON THE TWENTY-THIRD DAY OF
SEPTEMBER, A.D. 2022, AT 12:39 O'CLOCK P.M.

AND I DO HEREBY FURTHER CERTIFY THAT THE AFORESAID LIMITED
LIABILITY COMPANY IS DULY FORMED UNDER THE LAWS OF THE STATE OF
DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE NOT
HAVING BEEN CANCELLED OR REVOKED SO FAR AS THE RECORDS OF THIS
OFFICE SHOW AND IS DULY AUTHORIZED TO TRANSACT BUSINESS.



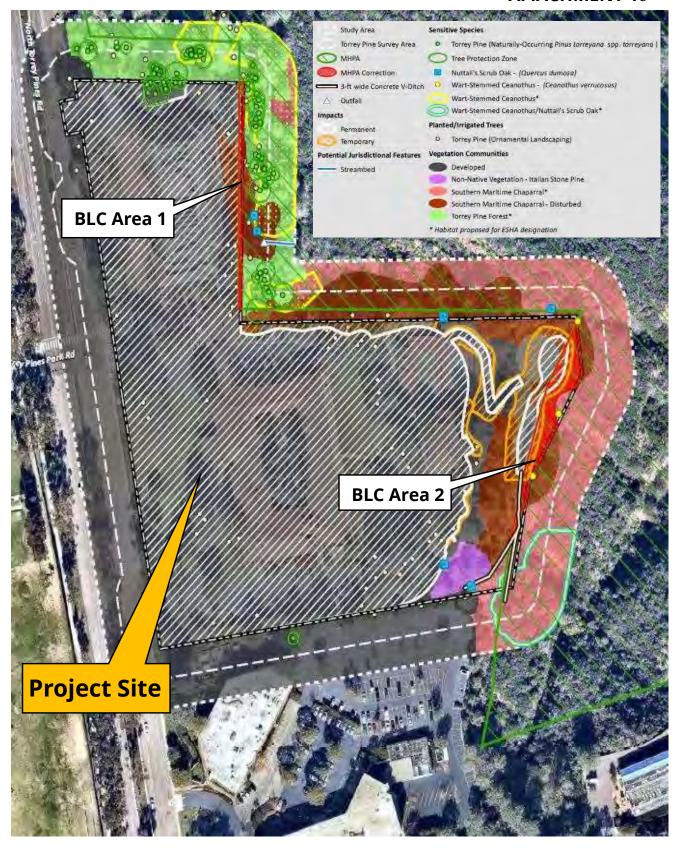
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Date: 09-30-22

3259230 8320 SR# 20223669802



ATTACHMENT 16



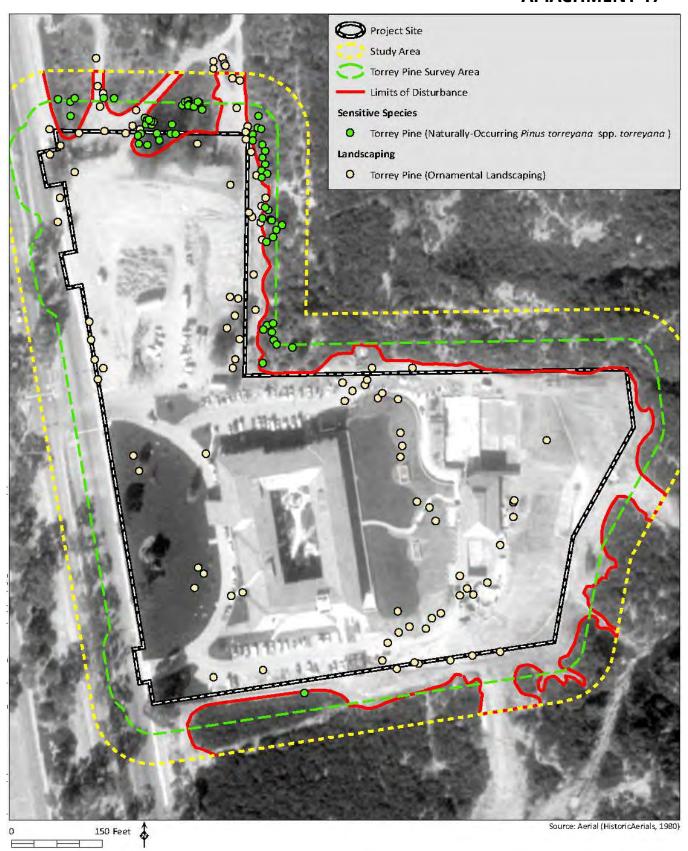


Multi-Habitat Planning Area Map

One Alexandria North 11255 and 11355 North Torrey Pines Road PROJECT NO. 691942



ATTACHMENT 17



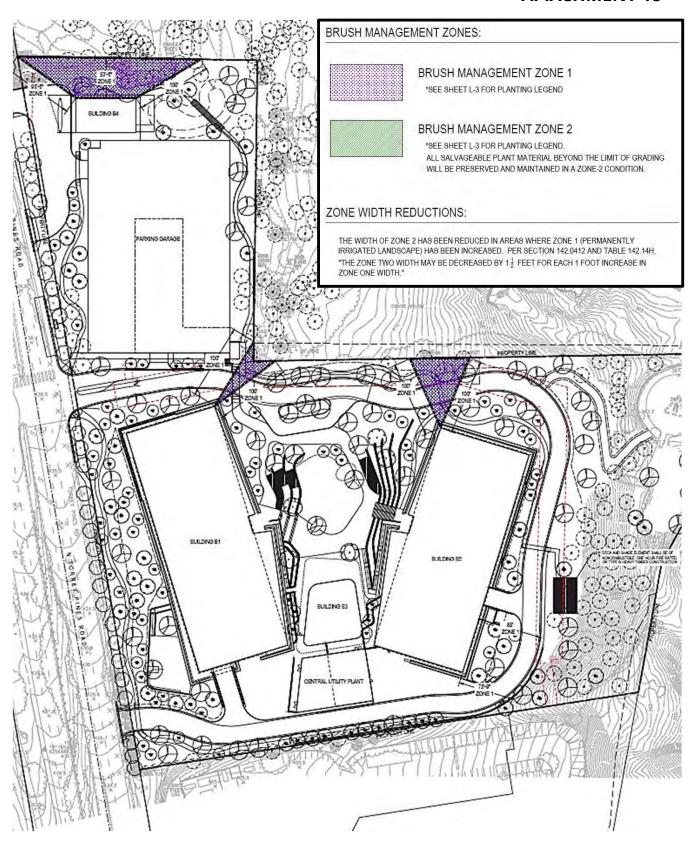


1980 Aerial Photograph

One Alexandria North
11255 and 11355 North Torrey Pines Road
PROJECT NO. 691942



ATTACHMENT 18





Brush Management Exhibit

One Alexandria North 11255 and 11355 North Torrey Pines Road PROJECT NO. 691942



