



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 15, 2023 REPORT NO. HO-23-013

HEARING DATE: March 22, 2023

SUBJECT: 1851 Spindrift Drive, Process Three Decision

PROJECT NUMBER: [693529](#)

OWNER/APPLICANT: Christopher R. Huber, Owner / Island Architects, Applicant

SUMMARY:

Issue: Should the Hearing Officer approve demolition of an existing one-story, 1,863-square-foot single family residence with garage and construction of a new two-story, 2,674-square-foot single family residence with 1,574-square-foot basement, and attached 458-square-foot garage with a 382-square-foot accessory dwelling unit above the garage at 1851 Spindrift Drive within the La Jolla Community Plan area?

Proposed Actions:

1. Adopt Mitigated Negative Declaration No. 693529 and the associated Mitigation Monitoring and Reporting Program; and
2. Approve Coastal Development Permit No. 2565918 and Site Development Permit No. 2565919.

Fiscal Considerations: All costs associated with this action are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The proposed project will result in the demolition of an existing single-family residence for the redevelopment of the site with a new two-story, single family residence with accessory dwelling unit. The project supports a land use that is consistent with the La Jolla Community Plan.

Community Planning Group Recommendation: On April 7, 2022, the La Jolla Community Planning Association voted 10-5-1 to recommend project approval (Attachment 8).

La Jolla Shores Planned District Advisory Board Recommendation: On February 16, 2022, the project was presented to the La Jolla Shores Planned District Advisory Board and no recommendation (2-2 vote) was provided since the Board could not obtain four affirmative votes. (Attachment 9).

Environmental Review: A Mitigated Negative Declaration No. 693529 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines that addresses potential impacts to cultural resources and tribal cultural resources. A Mitigation, Monitoring, and Reporting Program has been prepared and will be implemented that will reduce potential impacts to below a level of significance.

BACKGROUND

The 0.10-acre site is located at 1851 Spindrift Drive and is developed with an 1,863-square-foot single family residence with garage in an urbanized area within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The site is in the La Jolla Shores Planned District Single Family Zone, Transit Area Overlay Zone, Transit Priority Area, and Coastal (Appealable and Non-Appealable) Overlay Zone within the La Jolla Community Plan area. (Attachments 1-3). The project site, which is located approximately 300 feet from the Pacific Ocean, is not located within the First Public Roadway or within a public accessway, as identified in the Community Plan.

On September 22, 2022, the City's Historical Resources Board (HRB) recommended designation of the Mut Kula Xuy/Mut Lah Hoya Site No. 11, located within the project site, as a historical resource under HRB Criterion A. The designation only applies to the project site and excludes the existing single-family residence and all other above-ground structures currently on the premises. Pursuant to SDMC Section 143.0220(d), the project is exempt from the requirement to obtain a development permit for historical resources.

Pursuant to San Diego Municipal Section (SDMC) 126.0702(a), development within the Coastal Overlay Zone requires a Coastal Development Permit and pursuant to SDMC Section 1510.0201, the proposed project within the La Jolla Shores Planned District requires a Process 3 Site Development Permit, which shall be considered by the Hearing Officer and the decision is appealable to the Planning Commission. The discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in SDMC Section 112.0103. For decisions involving coastal development within the appealable area, the final City decision is appealable to the Coastal Commission.

DISCUSSION

The proposed project includes the demolition of an existing one-story, single family residence with garage and the construction of a new two-story, 2,674-square-foot single family residence with 1,574-square-foot basement, and attached 458-square-foot garage with a 382 square-foot accessory dwelling unit above garage, and associated site improvements. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, staff determined the project to be in general conformance with bulk and scale and setbacks, as required in the La Jolla Shores Planned District Ordinance Single Family Zone, including a building height (29 feet 11 inches) that does not exceed the 30-foot height limit. The Community

Plan designates the site as Low Density Residential (5 to 9 dwelling units/acre), and the project is consistent with the prescribed density.

The Community Plan states that the character of La Jolla's residential areas shall be maintained by ensuring the preservation of existing streetscape themes and to allow a harmonious visual relationship to exist between the bulk and scale of new and older structures. Residential diversity is encouraged in the neighborhood more than having a uniform theme or development pattern. Staff has determined that the bulk and scale of the project is consistent with the established trend within the neighborhood. The Community Plan also states that in order to promote transitions in scale between new and older structures, it is necessary to create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The project complies with this Community Plan policy by providing terraces, off-setting planes and stepping back the second story.

The project site is developed and does not contain sensitive vegetation or biological resources. It is not within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. A Mitigated Negative Declaration has been prepared for the project to reduce any potential impacts to cultural resources and tribal cultural resources to a less than a significant level. Staff has reviewed and accepted a preliminary geotechnical report prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards.

The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include dedicating an additional 2.5 feet of the adjacent alley; construction of new sidewalks, curb/gutter, alley apron and curb ramps per current City Standards; obtaining an Encroachment Maintenance Removal Agreement for improvements and landscaping within the public right-of-way; design and construction of new water and sewer services outside of any driveway, and abandonment of any unused water and sewer services; private back flow prevention devices on each water service; a geotechnical investigation report that addresses the construction plans; maintenance of all landscaping improvements; and implementation of construction best management practices.

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan and the adopted City Council policies and regulations of the Land Development Code. Staff recommends approval of the project. Draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Adopt Mitigated Negative Declaration No. 693529 and the associated Mitigation Monitoring and Reporting Program and approve Coastal Development Permit No. 2565918 and Site Development Permit No. 2565919, with modifications.
2. Do not adopt Mitigated Negative Declaration No. 693529 and the associated Mitigation Monitoring and Reporting Program and deny Coastal Development Permit No. 2565918 and

Site Development Permit No. 2565919, if the findings required to approve the project cannot be affirmed.

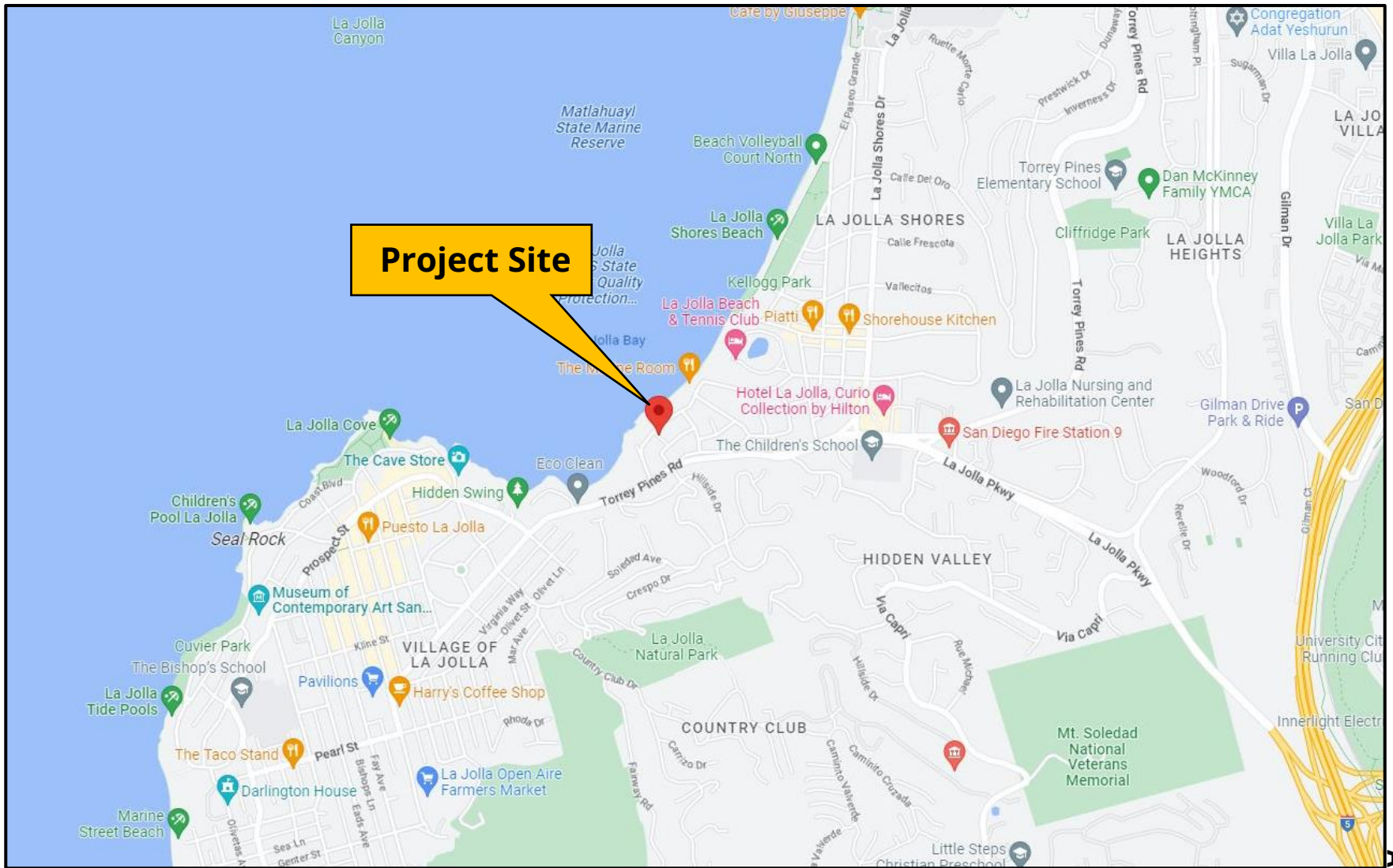
Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Xavier Del Valle". The signature is fluid and cursive, with the first name "Xavier" and last name "Del Valle" clearly distinguishable.

Xavier Del Valle, Development Project Manager

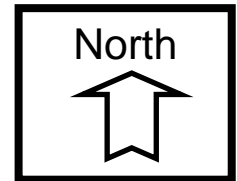
Attachments:

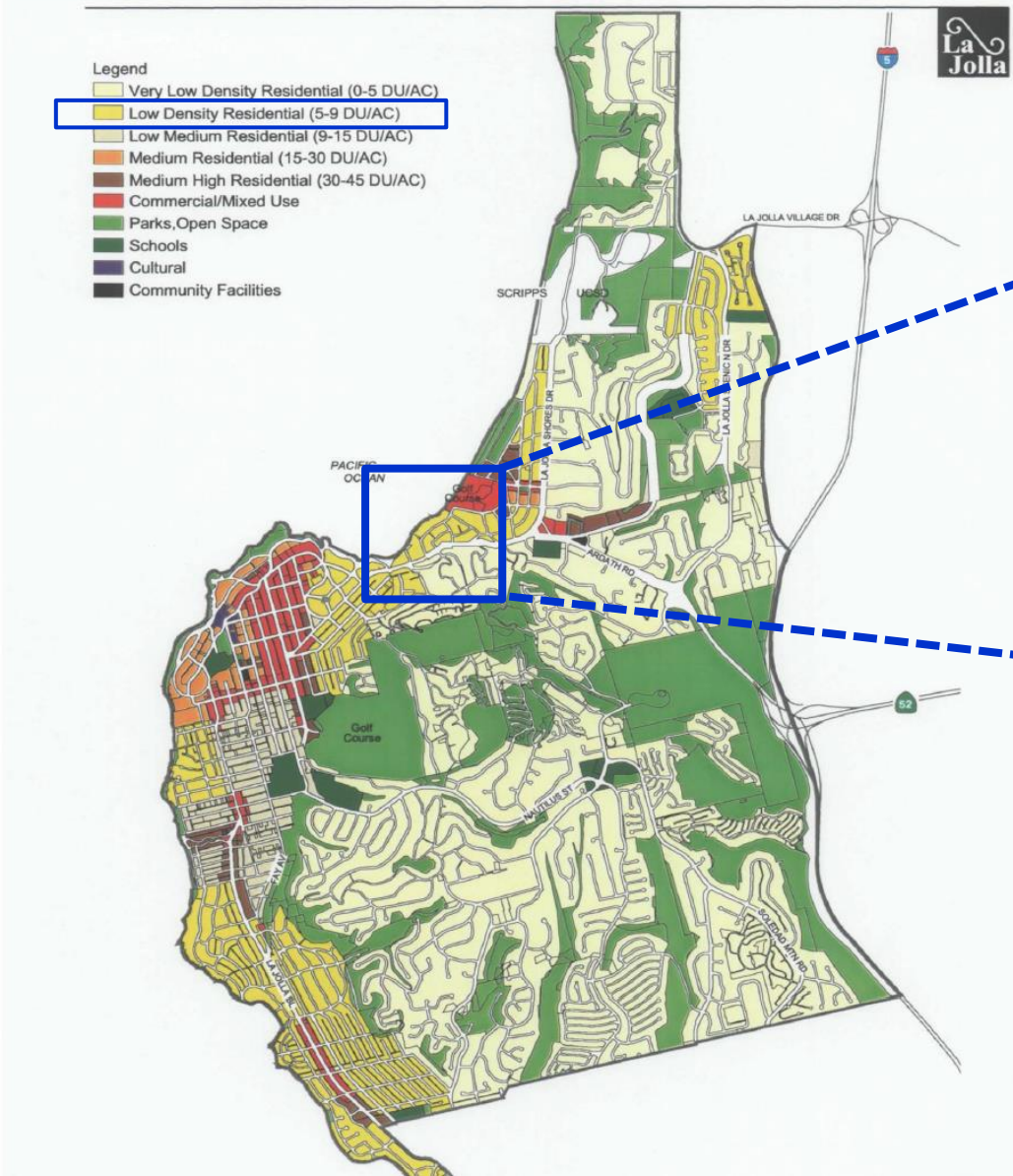
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Mitigated Negative Declaration (MND) Resolution
7. Final MND
8. La Jolla Community Planning Association Recommendation
9. La Jolla Shores Planned District Advisory Board Recommendation
10. Ownership Disclosure Statement
11. Project Plans



Project Location Map

1851 Spindrifft Drive
Project No. 693529 - 1851 Spindrifft Drive



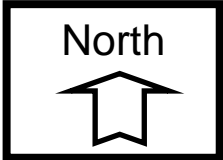


Project Site



Land Use Map

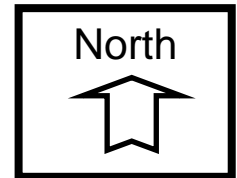
1851 Spindrifft Drive
 Project No. 693529 - 1851 Spindrifft Drive





Aerial Photograph

1851 Spindrift Drive
Project No. 693529 - 1851 Spindrift Drive



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2565918
SITE DEVELOPMENT PERMIT NO. 2565919
1851 SPINDRIFT DRIVE - PROJECT NO. 693529

WHEREAS, CHRISTOPHER R. HUBER, SOLE AND SEPARATE PROPERTY TRUST OF CHRISTOPHER R. HUBER, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing one-story, 1,863 square-foot single family residence with garage and construct a new two-story, 2,674-square-foot single family residence with 1,574-square-foot basement, and attached 458-square-foot garage with a 382-square-foot accessory dwelling unit above garage, and associated site improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2565918 and Site Development Permit No. 2565919), on portions of a 0.10-acre site;

WHEREAS, the project site is located at 1851 Spindrift Drive in the La Jolla Shores Planned District Single Family Zone and Coastal (Appealable and Non-Appealable) Overlay Zone within the La Jolla Community Plan (Community Plan) area;

WHEREAS, the project site is legally described as Lot 40, La Jolla Vista, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1762, filed in the Office of the County Recorder of San Diego County, August 1, 1923;

WHEREAS, on March 22, 2023, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2565918 and Site Development Permit No. 2565919 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2565918 and Site Development Permit No. 2565919:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site, which is located approximately 300 feet from the Pacific Ocean, is not located within the First Public Roadway or within a public accessway, as identified in the Community Plan. The project complies with the community goals regarding public view preservation and enhancement since the project was determined to be in general conformance with bulk and scale and setbacks, as required in the La Jolla Shores Planned District Ordinance Single Family Zone, including a building height (29 feet 11 inches) that does not exceed the 30-foot height limit. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is developed and does not contain sensitive vegetation or biological resources and is not within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. A Mitigated Negative Declaration has been prepared for the project to reduce any potential impacts to cultural resources and tribal cultural resources to a less than a significant level. Staff has reviewed and accepted a preliminary geotechnical report prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

- c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

On September 22, 2022, the City's Historical Resource Board (HRB) recommended to designate the Mut Kula Xuy/Mut Lah Hoya Site No. 11, located within the project site, as a historical resource under HRB Criterion A. The designation only applies to the project site and excludes the existing single-family residence and all other above-ground structures currently on the premises. A Mitigated Negative Declaration has

been prepared for the project to reduce any potential impacts to cultural resources and tribal cultural resources to a less than a significant level.

Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the project was determined to be in general conformance with bulk and scale and setbacks, as required in the La Jolla Shores Planned District Ordinance Single Family Zone, including a building height (29 feet 11 inches) that does not exceed the 30-foot height limit. The Community Plan designates the site as Low Density Residential (5 to 9 dwelling units/acre), and the project is consistent with the prescribed density.

The Community Plan states that the character of La Jolla's residential areas shall be maintained by ensuring the preservation of existing streetscape themes and to allow a harmonious visual relationship to exist between the bulk and scale of new and older structures. Residential diversity is encouraged in the neighborhood more than a uniform theme or development pattern. Staff has determined that the bulk and scale of the project is consistent with the established trend within the neighborhood. The Community Plan also states that in order to promote transitions in scale between new and older structures, it is necessary to create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. The project complies with this Community Plan policy by providing terraces, off-setting planes and stepping back the second story.

The project site, which is located approximately 300 feet from the Pacific Ocean, is not located within the First Public Roadway or within a public accessway, as identified in the Community Plan. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project is not located between the nearest public road and the sea or the shoreline of any body of water. The project will be redeveloped entirely within private property and will not adversely impact public access or any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

As set forth in Finding A.1.c above, which is herein incorporated by reference, the proposed development will not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety and welfare.**

The project site is developed and does not contain sensitive vegetation or biological resources and is not within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. Staff has reviewed and accepted a preliminary geotechnical report prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards.

The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include dedicating an additional 2.5 feet of the adjacent alley; assuring by permit and bond the construction of new sidewalks, curb/gutter, alley apron and curb ramps, per current City Standards; obtaining an Encroachment Maintenance Removal Agreement for improvements and landscaping within the public right-of-way; assuring by permit and bond the design and construction of new water and sewer services outside of any driveway, including the abandonment of any existing unused water and sewer services; installing appropriate private back flow prevention devices on each water service; submitting a geotechnical investigation report that addresses the construction plans; implementing construction best management practices; and maintenance of all landscaping improvements. Therefore, the project will not be detrimental to the public, health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the project was determined to be in general conformance with bulk and scale and setbacks, as required in the La Jolla Shores Planned District Ordinance Single Family Zone, including a building height (29 feet 11 inches) that does not exceed the 30-foot height limit. No deviations or variances are required. Therefore, the project will comply with the regulations of the Land Development Code.

ATTACHMENT 4

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. 2565918 and Site Development Permit No. 2565919 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2565918 and Site Development Permit No. 2565919, a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on March 22, 2023

IO#: 24008940

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008940

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2565918
SITE DEVELOPMENT PERMIT NO. 2565919
1851 SPINDRIFT DRIVE - PROJECT NO. 693529
HEARING OFFICER

This Coastal Development Permit No. 2565918 and Site Development Permit No. 2565919 is granted by the Hearing Officer of the City of San Diego to CHRISTOPHER R. HUBER, SOLE AND SEPARATE PROPERTY TRUST OF CHRISTOPHER R. HUBER, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702 and 126.0502. The 0.10-acre site is located at 1851 Spindrift Drive in the La Jolla Shores Planned District Single Family Zone and Coastal (Appealable and Non-Appealable) Overlay Zone within the La Jolla Community Plan area. The project site is legally described as: Lot 40, La Jolla Vista, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1762, filed in the Office of the County Recorder of San Diego County, August 1, 1923.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single family residence with garage and construct a new two-story, single family residence and garage with accessory dwelling unit above described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 22, 2023, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing one-story, 1,863-square-foot single family residence with garage and construction of a new two-story, 2,674-square-foot single family residence with 1,574 square-foot basement, and attached 458 square-foot garage with a 382 square-foot accessory dwelling unit above garage; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 6, 2026.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in **MITIGATED NEGATIVE DECLARATION NO. 693529**, shall be noted on the construction plans and specifications under the heading **ENVIRONMENTAL MITIGATION REQUIREMENTS**.

14. The Owner/Permittee shall comply with the MMRP as specified in **MITIGATED NEGATIVE DECLARATION NO. 693529** to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP

shall be implemented for the following issue areas: **Cultural Resources (Archaeology) and Tribal Cultural Resources.**

CLIMATE ACTION PLAN REQUIREMENTS:

15. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

16. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate and assure by permit and bond the improvement of an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the removal and replacement of the existing sidewalk, per current City Standards adjacent to the site along Spindrift Drive.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond to replace the existing curb with a new curb/gutter per current City Standards on the project frontage along Spindrift Drive.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond installation of a new alley apron (full width), per current City Standards adjacent to the site along Spindrift Drive, satisfactory of the City Engineer.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond to construct new alley curb ramps per current City Standards adjacent to the site along Spindrift Drive, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the sidewalk underdrain, trees/landscape/irrigation along the Spindrift Drive public right-of-way.

22. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC.

23. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any construction permits, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape construction documents for right-of-way improvements. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, and water and sewer laterals shall be designed to not prohibit the placement of street trees.

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

26. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

27. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, La Jolla Community Plan, and the Land Development Manual - Landscape Standards. Unplanted recreational areas, walks (areas used for access whether paved, mulched, stepping stone, ground cover, or similar), and driveways may not count towards the minimum landscape area required by the La Jolla Shores Planned District Ordinance.

PLANNING/DESIGN REQUIREMENTS:

28. The accessory dwelling unit shall not be used for a rental term of less than 31 consecutive days and may not be sold or conveyed separately from the primary dwelling unit.

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENTS

31. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical

investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permits.

TRANSPORTATION REQUIREMENTS

32. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

SEWER AND WATER DEVELOPMENT REQUIREMENTS:

33. Prior to the issuance of any construction permits, if determined during the building permit review process that the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall assure by permit and bond the design and construction of new water and sewer services outside of any driveway or drive aisle, including the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

34. The Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices (BFPDs) on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. The BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

35. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

36. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 22, 2023 and [Approved Resolution Number].

DRAFT

ATTACHMENT 5

Coastal Development Permit No. 2565918
Site Development Permit No. 2565919
March 22, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
CHRISTOPHER R. HUBER

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER HO-_____

ADOPTED ON MARCH 22, 2023

**A RESOLUTION OF THE HEARING OFFICER OF THE CITY
OF SAN DIEGO ADOPTING MITIGATED NEGATIVE DECLARATION
NO. 693529 / SCH NO. 2023010381 AND THE MITIGATION,
MONITORING, AND REPORTING PROGRAM**

WHEREAS, on July 22, 2021, Island Architects submitted an application to the Development Services Department for a Site Development Permit and Coastal Development Permit for the 1851 Spindrift Drive Project (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on March 22, 2023; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 693529 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the DEVELOPMENT SERVICES DEPARTMENT, 1222 FIRST AVENUE, SAN DIEGO, CA 92101 OR CITY CLERK, 202 C STREET, SAN DIEGO, CA 92101.

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BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Xavier Del Valle, Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM
COASTAL DEVELOPMENT PERMIT NO. 2565918 and
SITE DEVELOPMENT PERMIT NO. 2565919
PROJECT NO. 693529

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 693529 shall be made conditions of **COASTAL DEVELOPMENT PERMIT NO. 2565918 and SITE DEVELOPMENT PERMIT NO. 2565919** as may be further described below.

A. GENERAL REQUIREMENTS – PART I

Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director’s Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, “**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**”
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:
<https://www.sandiego.gov/development-services/forms-publications/design-guidelines-templates>
4. The **TITLE INDEX SHEET** must also show on which pages the “Environmental/Mitigation Requirements” notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRECONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent, and the following consultants:

Qualified Archaeologist

Qualified Native American Monitor

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, 693529, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: ***Not Applicable***

4. MONITORING EXHIBITS

All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery - When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to Preconstruction Meeting
Cultural Resources (Archaeology)	Monitoring Report(s)	Archaeology/Historic Site Observation
Tribal Cultural Resources	Monitoring Report(s)	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA REQUIREMENTS

CULTURAL RESOURCES (ARCHAEOLOGY)

HISTORICAL RESOURCES ARCHAEOLOGICAL DATA RECOVERY PROGRAM

1. This project requires implementation of an Archaeological Data Recovery Program (ADRP) to mitigate impacts to archaeological Site SDI-39 prior to the issuance of ANY construction

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permits or the start of ANY construction if no permits are required. Data recovery will be performed following demolition of the existing structure and will be part of the demolition permit process. Data recovery work should be completed prior to the issuance of ANY construction permits, or the start of ANY construction if no permits are required, unless the consulting archaeologist and the Mitigation Monitoring Coordination (MMC) section of the City of San Diego Development Services Department (DSD) determine that construction permits may be issued because data recovery excavations are dependent upon grading work. The ADRP with Native American participation consists of a 100.00 percent archaeological excavation of all intact cultural deposits and 100.00 percent controlled and monitored mechanical excavation of disturbed cultural deposits. All soils from both the archaeological excavations and the controlled mechanical excavations will be hydroscreened through fine-mesh screen to recover all cultural materials and any human remains. The ADRP shall be completed as outlined in this document. The elements of the MMRP are provided below:

- a. The area of development that must include archaeological monitoring and potentially data recovery (if intact deposits are encountered) is approximately 367 square feet.
- b. For the demolition permit and the process of removing the existing residence and hardscape, the archaeologist and Native American representative shall attend a preconstruction meeting with the applicant's representatives, the City's MMC, and the contractors. The protocols to be followed during demolition shall include archaeological and Native American monitoring whenever soil is disturbed.
- c. For the mitigation program, the governing protocol will be that all intact cultural deposits to be affected by grading, drilling, or excavation will be hand-excavated by archaeologists and then hydro-screened to provide the greatest opportunity to identify and recover human remains. All grading excavations within the disturbed midden deposits shall be closely monitored by an archaeologist and a Native American monitor to watch for cultural materials and possible human remains. All cultural soil, whether disturbed or intact, will be hydroscreened for maximum recovery of cultural materials and human remains.
- d. All field operations will include the participation of Kumeyaay Native American representatives as monitors. Because human remains have already been identified, this monitor may also be the Most Likely Descendent (MLD), or the MLD may be on-site independent of the Native American monitor.
- e. A laboratory program will be completed for all recovered cultural materials. All items in the collection will be subjected to standard laboratory procedures of cleaning, cataloging, data entry, and artifact analysis of: lithics; ceramics; faunal materials (marine and terrestrial species, including fish and sea mammals); seasonality; shell; lithic reduction; residue; radiocarbon dating; obsidian hydration and sourcing; shell beads; fishing equipment; and trade materials. Based upon the substantial quantity of all varieties of artifacts and ecofacts from excavations in and around 1851 Spindrift Drive, the projection can be made that the laboratory analysis will likely be exhaustive.

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- f. Curation of all materials recovered during the ADRP, with the exception of human remains and any associated burial goods, shall be prepared in compliance with local, state, and federal standards and shall be permanently curated at an approved facility that meets the City's standards.
- g. ADRP provisions for the discovery of human remains shall be invoked in accordance with the California PRC and the Health and Safety Code. In the event that human remains are encountered during the ADRP, soil shall only be exported from the project site after it has been cleared by the MLD and the project archaeologist. Any potential human remains recovered during the ADRP will be directly repatriated to the MLD or MLD Representative at the location of the discovery.
- h. Disturbance of SDI-39 within the property cannot exceed the 25.00 percent encroachment level. No grading or excavations outside of the designated limits of construction will be permitted.
- i. Archaeological and Native American monitoring shall be conducted for all excavations and earthwork after completion of the ADRP and acceptance of a draft progress report for the program.
- j. Upon completion of the ADRP and prior to issuance of grading permits, the qualified archaeologist and Native American monitor shall attend a second preconstruction meeting to make comments and/or suggestions concerning the proposed grading process.

HISTORICAL RESOURCES (ARCHAEOLOGICAL) AND TRIBAL RESOURCE MONITORING

I. Prior to Permit Issuance

A. Entitlements Plan Check

- 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

- 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG).
- 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.

3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site-specific records search (1/4-mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM and/or GC, or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by

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the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 1. The Archaeological Monitor shall be present fulltime during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager and/or GC is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.
 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern

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disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.

4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground

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disturbing activities in the area of discovery will be allowed to resume. Note: If a unique archaeological site is also an historical resource as defined in Guidelines Section, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.

- c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains ARE determined to be Native American

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1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Guidelines Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the NAHC; OR the landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner; THEN, in order to protect these sites, the landowner shall do one or more of the following:
 - (1) Record the site with the NAHC.
 - (2) Record an open space or conservation easement on the site.
 - (3) Record a document with the County.

D. If Human Remains Are NOT Native American

1. The PI shall contact the medical examiner and notify them of the historic-era context of the burial.
2. The medical examiner will determine the appropriate course of action with the PI and city staff (PRC 5097.98).
3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for

internment of the human remains shall be made in consultation with MMC, the EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

A. If night and/or weekend work is included in the contract

1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.

2. The following procedures shall be followed.

a. **No Discoveries**

In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVR and submit to MMC via fax by 8AM of the next business day.

b. **Discoveries**

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.

c. **Potentially Significant Discoveries**

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

B. If night and/or weekend work becomes necessary during the course of construction:

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1. The Construction Manager and/or GC shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI Post Construction

A. Preparation and Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation

The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms- DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.

2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.

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4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.

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2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

TRIBAL CULTURAL RESOURCES

Impacts to Tribal Cultural Resources would be reduced to below a level of significance with implementation of mitigation measures outlined under Historical Resources (Archaeology).



THE CITY OF SAN DIEGO

MITIGATED NEGATIVE DECLARATION

Project No. 693529
SCH No. 2023010381

SUBJECT: **1851 Spindrifft SDP CDP:** A COASTAL DEVELOPMENT PERMIT and SITE DEVELOPMENT PERMIT to demolish an 1,863 square foot existing single family residence and garage, and construct a new 2,674 square footage single family residence with 458 square foot garage and 382 square foot accessory dwelling unit for a total of 3,514 square feet with related site improvements including hardscape and landscape. The 0.10-acre site is located at 1851 Spindrifft Drive in the the La Jolla Shores Planned District-Single Family (LJSPD-SF) zone, Coastal Overlay Zone (App & Non-App), La Jolla Shores Archaeological Study Area, Parking (Beach and Coastal), Residential Tandem, and Transit Priority Area Overlay Zones within the La Jolla community planning area. Council District 1. (LEGAL DESCRIPTION: LOT 40, LA JOLLA VISTA, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1762) APPLICANT: Haley Duke, Island Architects.

I. PROJECT DESCRIPTION:

See attached Initial Study.

II. ENVIRONMENTAL SETTING:

See attached Initial Study.

III. DETERMINATION:

The City of San Diego conducted an Initial Study which determined that the proposed project could have a significant environmental effect in the following areas(s): **CULTURAL RESOURCES (ARCHAEOLOGY) and TRIBAL CULTURAL RESOURCES**. Subsequent revisions in the project proposal create the specific mitigation identified in Section V of this Mitigated Negative Declaration. The project as revised now avoids or mitigates the potentially significant environmental effects previously identified, and the preparation of an Environmental Impact Report will not be required.

IV. DOCUMENTATION:

The attached Initial Study documents the reasons to support the above Determination.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. GENERAL REQUIREMENTS – PART I

Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director’s Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, “ENVIRONMENTAL/MITIGATION REQUIREMENTS.”
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:
<https://www.sandiego.gov/development-services/forms-publications/design-guidelines-templates>
4. The **TITLE INDEX SHEET** must also show on which pages the “Environmental/Mitigation Requirements” notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRECONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder’s Representative(s), Job Site Superintendent and the following consultants:

Qualified Archaeologist
Qualified Native American Monitor

Note: Failure of all responsible Permit Holder’s representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

- 2. **MMRP COMPLIANCE:** This Project, 693529, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD’s Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder’s Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

- 3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: ***Not Applicable***

- 4. **MONITORING EXHIBITS**

All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery - When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary,

overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to Preconstruction Meeting
Cultural Resources (Archaeology)	Monitoring Report(s)	Archaeology/Historic Site Observation
Tribal Cultural Resources	Monitoring Report(s)	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA REQUIREMENTS

CULTURAL RESOURCES (ARCHAEOLOGY)

HISTORICAL RESOURCES ARCHAEOLOGICAL DATA RECOVERY PROGRAM

1. This project requires implementation of an Archaeological Data Recovery Program (ADRP) to mitigate impacts to archaeological Site SDI-39 prior to the issuance of ANY construction permits or the start of ANY construction if no permits are required. Data recovery will be performed following demolition of the existing structure and will be part of the demolition permit process. Data recovery work should be completed prior to the issuance of ANY construction permits, or the start of ANY construction if no permits are required, unless the consulting archaeologist and the Mitigation Monitoring Coordination (MMC) section of the City of San Diego Development Services Department (DSD) determine that construction permits may be issued because data recovery excavations are dependent upon grading work. The ADRP with Native American participation consists of a 100.00 percent archaeological excavation of all intact cultural deposits and 100.00 percent controlled and monitored mechanical excavation of disturbed cultural deposits. All soils from both the archaeological excavations and the controlled mechanical excavations will be hydroscreened through fine-mesh screen to recover all cultural materials and any human remains. The ADRP shall be completed as outlined in this document. The elements of the MMRP are provided below:

- a. The area of development that must include archaeological monitoring and potentially data recovery (if intact deposits are encountered) is approximately 367 square feet.
- b. For the demolition permit and the process of removing the existing residence and hardscape, the archaeologist and Native American representative shall attend a preconstruction meeting with the applicant's representatives, the City's MMC, and the contractors. The protocols to be followed during demolition shall include archaeological and Native American monitoring whenever soil is disturbed.
- c. For the mitigation program, the governing protocol will be that all intact cultural deposits to be affected by grading, drilling, or excavation will be hand-excavated by archaeologists and then hydro-screened to provide the greatest opportunity to identify and recover human remains. All grading excavations within the disturbed midden deposits shall be closely monitored by an archaeologist and a Native American monitor to watch for cultural materials and possible human remains. All cultural soil, whether disturbed or intact, will be hydro-screened for maximum recovery of cultural materials and human remains.
- d. All field operations will include the participation of Kumeyaay Native American representatives as monitors. Because human remains have already been identified, this monitor may also be the Most Likely Descendent (MLD), or the MLD may be on-site independent of the Native American monitor.
- e. A laboratory program will be completed for all recovered cultural materials. All items in the collection will be subjected to standard laboratory procedures of cleaning, cataloging, data entry, and artifact analysis of: lithics; ceramics; faunal materials (marine and terrestrial species, including fish and sea mammals); seasonality; shell; lithic reduction; residue; radiocarbon dating; obsidian hydration and sourcing; shell beads; fishing equipment; and trade materials. Based upon the substantial quantity of all varieties of artifacts and ecofacts from excavations in and around 1851 Spindrift Drive, the projection can be made that the laboratory analysis will likely be exhaustive.
- f. Curation of all materials recovered during the ADRP, with the exception of human remains and any associated burial goods, shall be prepared in compliance with local, state, and federal standards and shall be permanently curated at an approved facility that meets the City's standards.
- g. ADRP provisions for the discovery of human remains shall be invoked in accordance with the California PRC and the Health and Safety Code. In the event that human remains are encountered during the ADRP, soil shall only be exported from the project site after it has been cleared by the MLD and the project archaeologist. Any potential human remains recovered during the ADRP will be directly repatriated to the MLD or MLD Representative at the location of the discovery.
- h. Disturbance of SDI-39 within the property cannot exceed the 25.00 percent encroachment level. No grading or excavations outside of the designated limits of construction will be permitted.

- i. Archaeological and Native American monitoring shall be conducted for all excavations and earthwork after completion of the ADRP and acceptance of a draft progress report for the program.
- j. Upon completion of the ADRP and prior to issuance of grading permits, the qualified archaeologist and Native American monitor shall attend a second preconstruction meeting to make comments and/or suggestions concerning the proposed grading process.

HISTORICAL RESOURCES (ARCHAEOLOGICAL) AND TRIBAL RESOURCE MONITORING

I. Prior to Permit Issuance

A. Entitlements Plan Check

- 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

- 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG).
- 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
- 3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

- 1. The PI shall provide verification to MMC that a site-specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.

2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM and/or GC, or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored

- a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

- b. The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.

- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present fulltime during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager and/or GC is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.
2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area

reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.

2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. Note: If a unique archaeological site is also an historical resource as defined in Guidelines Section, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the

human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains ARE determined to be Native American

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Guidelines Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition

with proper dignity, of the human remains and associated grave goods.

5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the NAHC; OR the landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner; THEN, in order to protect these sites, the landowner shall do one or more of the following:
 - (1) Record the site with the NAHC.
 - (2) Record an open space or conservation easement on the site.
 - (3) Record a document with the County.

D. If Human Remains Are NOT Native American

1. The PI shall contact the medical examiner and notify them of the historic-era context of the burial.
2. The medical examiner will determine the appropriate course of action with the PI and city staff (PRC 5097.98).
3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, the EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. **No Discoveries**

In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVr and submit to MMC via fax by 8AM of the next business day.

b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.

c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

B. If night and/or weekend work becomes necessary during the course of construction:

1. The Construction Manager and/or GC shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
2. The RE, or BI, as appropriate, shall notify MMC immediately.

C. All other procedures described above shall apply, as appropriate.

VI Post Construction

A. Preparation and Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.

- a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
- b. Recording Sites with State of California Department of Parks and Recreation

The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms- DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.

- 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
- 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
- 4. MMC shall provide written verification to the PI of the approved report.
- 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Artifacts

- 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
- 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
- 3. The cost for curation is the responsibility of the property owner.

C. Curation of artifacts: Accession Agreement and Acceptance Verification

- 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be

completed in consultation with MMC and the Native American representative, as applicable.

2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.

D. Final Monitoring Report(s)

1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

TRIBAL CULTURAL RESOURCES

Impacts to Tribal Cultural Resources would be reduced to below a level of significance with implementation of mitigation measures outlined under Historical Resources (Archaeology).

VI. PUBLIC REVIEW DISTRIBUTION:

Draft copies or notice of this Mitigated Negative Declaration were distributed to:

CITY OF SAN DIEGO

Mayor's Office

Council member Joe LaCava, Council District 1

Development Services:

Development Project Manager

Engineering Review

Environmental Review

Planning Review
Landscaping Review

MMC (77A)

City Attorney's Office (93C)

La Jolla Library (81L)

OTHER ORGANIZATIONS AND INTERESTED PARTIES

Historical Resources Board (87)

Carmen Lucas (206)

South Coastal Information Center (210)

San Diego Archaeological Center (212)

Save Our Heritage Organization (214)

Ron Christman (215)

Clint Linton (215B)

Frank Brown - Inter-Tribal Cultural Resources Council (216)

Campo Band of Mission Indians (217)

San Diego County Archaeological Society, Inc. (218)

Kumeyaay Cultural Heritage Preservation (223)

Kumeyaay Cultural Repatriation Committee (225)

La Jolla Village News (271)

La Jolla Town Council (273)

La Jolla Historical Society (274)

Jolla Community Planning (275)

La Jolla Light (280)

La Jolla Shores Association (272)

La Jolla Shores PDO Advisory Board (279)

Patricia K. Miller (283)

Richard Drury

Molly Greene

John Stump

Kevin Johnson

VII. RESULTS OF PUBLIC REVIEW:

- () No comments were received during the public input period.
- (X) Comments were received but did not address the accuracy or completeness of the draft environmental document. No response is necessary and the letters are incorporated herein.
- () Comments addressing the accuracy or completeness of the draft environmental document were received during the public input period. The letters and responses are incorporated herein.

Copies of the draft Mitigated Negative Declaration, the Mitigation, Monitoring and Reporting Program and any Initial Study material are available in the office of the Development Services Department for review, or for purchase at the cost of reproduction.

Sara Osborn

Sara Osborn
Senior Planner
Development Services Department

1/17/2023

Date of Draft Report

2/23/2023

Date of Final Report

Analyst: Sara Osborn

Attachments: Initial Study Checklist

Figure 1 - Location Map

Figure 2 - Site Plan



San Diego County Archaeological Society, Inc.

Environmental Review Committee

9 February 2023

To: Ms. Sara Osborn
Development Services Department
City of San Diego
1222 First Avenue, Mail Station 501
San Diego, California 92101

Subject: Draft Mitigated Negative Declaration
1851 Spindrift SDP CDP
Project No. 693529

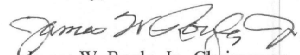
Dear Ms. Osborn:

I have reviewed the subject DMND on behalf of this committee of the San Diego County Archaeological Society.

Based on the information contained in the DMND and the extensive cultural resources report provided on the City's website, we agree with the impact analysis and mitigation program as presented.

SDCAS appreciates inclusion in the public review of this project's environmental documents.

Sincerely,


James W. Royle, Jr., Chairperson
Environmental Review Committee

cc: Brian F. Smith & Associates
SDCAS President
File

City staff response(s) to the San Diego County Archaeological Society, Inc. comment(s) letter for 1851 Spindrift Project No. 693529

A-1. Comment noted. The comment does not address the adequacy of the draft Mitigated Negative Declaration. No further response is required.

INITIAL STUDY CHECKLIST

1. Project title/Project number: 1851 Spindrifft SDP CDP/ 693529
2. Lead agency name and address: City of San Diego, 1222 First Avenue, MS-501, San Diego, California 92101
3. Contact person and phone number: Sara Osborn / (619) 446-5381
4. Project location: 1851 Spindrifft Drive, San Diego, CA 92037
5. Project Applicant/Sponsor's name and address: Tony Crisafi and Haley Duke, Island Architects 7626 Herschel Avenue La Jolla, California 92037 Ph. (858) 459-9291
6. General/Community Plan designation: Low Density Residential (5-9 DU/AC)
7. Zoning: LJSPD-SF
8. Description of project (Describe the whole action involved, including but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation.):

A COASTAL DEVELOPMENT PERMIT and SITE DEVELOPMENT PERMIT to demolish an 1,863 square foot existing single family residence and garage, and construct a new 2,674 square footage single family residence with 458 square foot garage and 382 square foot accessory dwelling unit for a total of 3,514 square feet with related site improvements including hardscape and landscape. The 0.10-acre site is located at 1851 Spindrifft Drive in the La Jolla Shores Planned District-Single Family (LJSPD-SF) base zone and Coastal Overlay Zone (App & Non-App) within the La Jolla community planning area. The project's landscaping has been reviewed by staff and would comply with all applicable City of San Diego Landscape ordinances and standards. Drainage would be directed into appropriate storm drain systems designated to carry surface runoff, which has been reviewed and accepted by City Engineering staff. All parking would be provided on-site.

9. Surrounding land uses and setting:

The 0.10-acre site is located on the east side of Spindrifft, south of Saint Louis Terrance and north of Princess Street. The project is within a developed residential neighborhood surrounded by similar existing single-family residences. The project site is within the La Jolla community planning area and is subject to the La Jolla Shores Planned District-Single Family zone (LJSPD-SF) zoning requirements. The project is also subject to the Coastal Overlay Zone (App & Non-App), Coastal Height Limitation Overlay Zone, La Jolla Shores Archaeological Study Area, Parking Impact Overlay (Beach Impact Area), Transit Priority Area, and is within Council District 1. The project site is developed with an existing single-family residence and is bordered by similar residential development. The street frontage along Spindrifft is landscaped with shrubs and trees and there are sidewalks on both sides of the street. Additionally, the project site is currently served by existing public services and utilities.

10. Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement):

None required.

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, has consultation begun?

In accordance with the requirements of Public Resources Code 21080.3.1, the City of San Diego provided formal notifications to the Iipay Nation of Santa Ysabel, the Jamul Indian Village, and the San Pasqual Band of Mission Indians which are traditionally and culturally affiliated with the project area. The notifications were distributed for consultation on July 11, 2022 for a 30-day review period. Jamul Indian Village responded on August 23, 2022 acknowledging that the project does not exceed 25% of encroachment into the resource and concurring with staff's recommendation to require Native American Monitor during construction. Iipay Nation of Santa Ysabel and San Pasqual Band of Mission Indians did not reply and no requests for consultation were received. Please see Section XVIII of the Initial Study for more detail.

Note: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21083.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | | | | |
|-------------------------------------|------------------------------------|--------------------------|-------------------------------|-------------------------------------|---------------------------------|
| <input type="checkbox"/> | Aesthetics | <input type="checkbox"/> | Greenhouse Gas Emissions | <input type="checkbox"/> | Public Services |
| <input type="checkbox"/> | Agriculture and Forestry Resources | <input type="checkbox"/> | Hazards & Hazardous Materials | <input type="checkbox"/> | Recreation |
| <input type="checkbox"/> | Air Quality | <input type="checkbox"/> | Hydrology/Water Quality | <input type="checkbox"/> | Transportation |
| <input type="checkbox"/> | Biological Resources | <input type="checkbox"/> | Land Use/Planning | <input checked="" type="checkbox"/> | Tribal Cultural Resources |
| <input checked="" type="checkbox"/> | Cultural Resources | <input type="checkbox"/> | Mineral Resources | <input type="checkbox"/> | Utilities/Service System |
| <input type="checkbox"/> | Energy | <input type="checkbox"/> | Noise | <input type="checkbox"/> | Wildfire |
| <input type="checkbox"/> | Geology/Soils | <input type="checkbox"/> | Population/Housing | <input checked="" type="checkbox"/> | Mandatory Findings Significance |

DETERMINATION: (To be completed by Lead Agency)

On the basis of this initial evaluation:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (a) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (b) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but must analyze only the effects that remain to be addressed.
- Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or (MITIGATED) NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or (MITIGATED) NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis.)
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses”, as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or (mitigated) negative declaration. *Section 15063(c)(3)(D)*. In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are “Less Than Significant With Mitigation Measures Incorporated”, describe the mitigation measures that were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
 - a. The significance criteria or threshold, if any, used to evaluate each question; and
 - b. The mitigation measure identified, if any, to reduce the impact to less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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I. AESTHETICS – Except as provided in Public Resources Code Section 21099, would the project:

- a) Have a substantial adverse effect on a scenic vista?

The project is within the allowable development footprint of the lot and would be conditioned to meet setbacks, lot coverage, and height requirements pursuant to the Land Development Code (LDC) and La Jolla Shores Planned District Ordinance (LJSPDO). Additionally, there are no designated scenic vistas or view corridors identified in the La Jolla Community Plan along Spindrifft Drive at the location of this project. Torrey Pines Road is identified as a Scenic Roadway in the La Jolla Community Plan Subarea D: Coastal Walk – Visual Access. A Scenic Roadway is described as “partially obstructed views over private properties and down public rights of ways” and Torrey Pines is south and uphill from the project. The project would comply with height requirements and therefore, the project would not have a substantial adverse effect on the Scenic Roadway or a scenic vista. Impacts would be less than significant.

- b) Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

Refer to response I (a) above. The project is situated within a developed residential neighborhood. The site is not adjacent to a historic building and is not adjacent to a significant landmark. The project is not located within or adjacent to a state scenic highway and would be required to meet all setback and height requirements. Impacts would be less than significant.

- c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

Refer to response I (a) above. The project was reviewed by staff and found to be compatible with the surrounding development and permitted by the community plan and zoning designation to comply with design guidelines outlined in the La Jolla Shores Planned District Ordinance (LJSPDO). The project is within an existing developed residential neighborhood with homes of a similar scale in terms of square footage and height. The project would not degrade the existing visual character or quality of the site and its surroundings. Impacts would be less than significant.

- d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

The project would comply with the outdoor lighting standards contained in SDMC Section 142.0740 (Outdoor Lighting Regulations) that requires all outdoor lighting be installed, shielded, and adjusted

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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so that the light is directed in a manner that minimizes negative impacts from light pollution, including trespass, glare, and to control light from falling onto surrounding properties. Therefore, lighting installed with the project would not adversely affect day or nighttime views in the area, resulting in a less than significant lighting impact.

II. AGRICULTURAL AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. - Would the project:

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Converts Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is consistent with the La Jolla Community Plan land use designation Low Residential Density (5-9 du/ac) and is located within a developed residential neighborhood. As such, the project site does not contain, and is not adjacent to, any lands identified as Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as show on maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resource Agency. Therefore, the project would not result in the conversion of such lands to non-agricultural use. No impacts would result.

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Refer to response II (a), above. There are no Williamson Act Contract lands on or within the vicinity of the project. The project is consistent with the existing land use and the underlying zone. The project would not conflict with any properties zoned for agricultural use or be affected by a Williamson Act Contract. Therefore, no impacts would result.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 1220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production. No designated forest land or timberland occur onsite as the project is consistent with the community plan, and the underlying zone. No impacts would result.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Refer to response II (c) above. Additionally, the project would not contribute to the conversion of any forested land to non-forest use, as surrounding properties are developed, and land uses are generally built out. No impacts would result.

e) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Refer to response II (a) and II (c), above. The project and surrounding areas do not contain any farmland or forest land. No changes to any such lands would result from project implementation. Therefore, no impact would result.

III. AIR QUALITY – Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied on to make the following determinations – Would the project:

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The San Diego Air Pollution Control District (SDAPCD) and San Diego Association of Governments (SANDAG) are responsible for developing and implementing the clean air plan for attainment and maintenance of the ambient air quality standards in the San Diego Air Basin (SDAB). The County Regional Air Quality Strategy (RAQS) was initially adopted in 1991 and is updated on a triennial basis (most recently in 2020). The RAQS outlines the SDAPCD’s plans and control measures designed to attain the state air quality standards for ozone (O3).

The RAQS relies on information from the California Air Resources Board (CARB) and SANDAG, including mobile and area source emissions, as well as information regarding projected growth in San Diego County and the cities in the county, to project future emissions and then determine the strategies necessary for the reduction of emissions through regulatory controls. CARB mobile source emission projections and SANDAG growth projections are based on population, vehicle trends, and land use plans developed by San Diego County and the cities in the county as part of the development of their general plans. The RAQS relies on SANDAG growth projections based on population, vehicle trends, and land use plans developed by the cities and by the county as part of the development of their general plans. As such, projects that propose development that is consistent with the growth anticipated by local plans would be consistent with the RAQS. However, if a project proposes development that is greater than that anticipated in the local plan and SANDAG’s growth projections, the project might be in conflict with the RAQS and may contribute to a potentially significant cumulative impact on air quality.

The project would demolish an existing single-family residence and construct a new residence with an accessory dwelling unit within a developed neighborhood of similar residential uses. The project

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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is consistent with the General Plan, La Jolla Community Plan, and the underlying zoning for single-family residential development. Therefore, the project would be consistent at a sub-regional level with the underlying growth forecasts in the RAQS and would not obstruct implementation of the RAQS. As such, no impacts would result.

- b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

Short-Term (Construction) Emissions

Construction-related activities are temporary, short-term sources of air emissions. Sources of construction-related air emissions include fugitive dust from grading activities; construction equipment exhaust; construction-related trips by workers, delivery trucks, and material-hauling trucks; and construction-related power consumption.

Variables that factor into the total construction emissions potentially generated include the level of activity, length of construction period, number of pieces and types of equipment in use, site characteristics, weather conditions, number of construction personnel, and the amount of materials to be transported on or offsite.

Fugitive dust emissions are generally associated with land-clearing and grading operations. Construction operations would include standard measures such as Best Management Practices (BMPs), which are enforceable under San Diego Municipal Code (SDMC) Section 142.0710, which would limit potential air quality impacts. Any impacts associated with fugitive dust are considered less than significant and would not violate an air quality standard or contribute substantially to an existing or projected air quality violation.

Long-Term (Operational) Emissions

Long-term air emission impacts are those associated with stationary sources and mobile sources related to any change caused by a project. The site contains an existing single-family residence and would demolish the existing structure and construct a new residence and accessory dwelling unit, which would produce minimal stationary sources emissions. The project is compatible with the surrounding development and is permitted by the community plan and zone designation. As identified in the City's Significance Determination Thresholds, projects that would typically result in significant air quality impacts would include projects that would produce 9,500 Average Daily Trips (ADT). The scope and size of the project as described in the project description, does not exceed the City's Significance Determination Thresholds for Air Quality. Based on the residential land use, project emissions over the long-term are not anticipated to violate any air quality standard or contribute substantially to an existing or projected air quality violation. Impacts would be less than significant, and no mitigation measures are required.

- c) Expose sensitive receptors to substantial pollutant concentrations?

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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As described in III (b) above, construction operations could temporarily increase the emissions of dust and other pollutants. However, construction emissions would be temporary and short-term in duration; implementation of Best Management Practices (BMPs) would reduce potential impacts related to construction activities to a less than significant level. The project is consistent with the land use designation and would not violate an air quality plan. Therefore, the project would not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is a nonattainment under applicable federal or state ambient air quality standards. Impacts would be less than significant.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Short-term (Construction)

Odors would be generated from vehicles and/or equipment exhaust emissions during construction of the project. Odors produced during construction would be attributable to concentrations of unburned hydrocarbons from tailpipes of construction equipment and architectural coatings. Such odors are temporary and generally occur at magnitudes that would not affect a substantial number of people. Therefore, impacts would be less than significant.

Long-term (Operational)

Typical long-term operational characteristics of the project are not associated with the creation of such odors nor anticipated to generate odors affecting a substantial number of people. The project would demolish the existing structure and construct a new residence and accessory dwelling unit. Residential units, in the long-term operation, are not typically associated with the creation of such odors nor are they anticipated to generate odors affecting a substantial number or people. Therefore, project operations would result in less than significant impacts.

IV. BIOLOGICAL RESOURCES – Would the project:

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is located in a developed residential neighborhood and is currently developed with a single-family residence. On-site landscaping is ornamental in nature, and the project site does not contain any sensitive biological resources nor does it contain any candidate, sensitive or special status species. No impacts would occur, and no mitigation measures are required.

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
and Game or U.S. Fish and Wildlife Service?				

The project site is within an urbanized developed residential setting, no such habitats exist on or near the project site. Refer to Response IV (a), above. The project site does not contain any riparian habitat or other identified community, as the site currently supports non-native landscaping. No impacts would occur, and no mitigation measures are required.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Have a substantial adverse effect on federally protected wetlands (including but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site does not contain federally protected wetlands as defined by Section 404 of the Clean Water Act. Wetlands or waters as regulated by the United States Army Corps of Engineers (USACE), the Regional Water Quality Control Board (RWQCB) or the California Department of Fish and Wildlife (CDFW) do not occur on-site and therefore will not be impacted by the project. The project site is located within a developed residential neighborhood and is currently developed with structures, hardscape, and landscaping. No impacts would occur, and no mitigation measures are required.

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Wildlife movement corridors are defined as areas that connect suitable wildlife habitat areas in a region otherwise fragmented by rugged terrain, changes in vegetation, or human disturbance. Natural features such as canyon drainages, ridgelines, or areas with vegetation cover provide corridors for wildlife travel. The project site is surrounded by existing residential development and is not located adjacent to an established wildlife corridor and would not impede the movement of any wildlife or the use of any wildlife nursery sites. Therefore, no impact would occur, and no mitigation measures are required.

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Refer to response IV (a), above. The project site is designated Low Density Residential (5-9 du/ac) pursuant to the La Jolla Community Plan and zoned LJSPD-SF. The project is located on a developed residential site and there are no local policies or ordinances protecting biological resources that apply to the project site. Therefore, no impacts would occur.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Please refer to IV (e) above. The project is located in a developed urban area and is not within or directly adjacent to the City's Multi-Habitat Planning Area (MHPA) and no other adopted conservation plans affect the subject site. The project does not conflict with any other local, regional, or state habitat conservation plan. No impacts would result.

V. CULTURAL RESOURCES - Would the project:

a) Cause a substantial adverse change in the significance of an historical resource as defined in §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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The purpose and intent of the Historical Resources Regulations of the Land Development Code (Chapter 14, Division 3, and Article 2) is to protect, preserve and, where damaged, restore the historical resources of San Diego. The regulations apply to all proposed development within the City of San Diego when historical resources are present on the premises. Before approving discretionary projects, CEQA requires the Lead Agency to identify and examine the significant adverse environmental effects which may result from that project. A project that may cause a substantial adverse change in the significance of a historical resource may have a significant effect on the environment (sections 15064.5(b) and 21084.1). A substantial adverse change is defined as demolition, destruction, relocation, or alteration activities, which would impair historical significance (sections 15064.5(b)(1)). Any historical resource listed in, or eligible to be listed in the California Register of Historical Resources, including archaeological resources, is considered to be historically or culturally significant.

Archaeological Resources

Many areas of San Diego County, including mesas and the coastline, are known for intense and diverse prehistoric occupation and important archaeological resources. The region has been inhabited by various cultural groups spanning 10,000 years or more. The project site is located on the City of San Diego's Historical Resources Sensitivity map. Furthermore, the project site is located within an area of La Jolla Shores that requires special considerations due to the area's archaeological sensitivity with respect to the Spindrift archaeological site.

Due to the project's location within the Spindrift Archaeological site an archaeological evaluation was conducted (Brian Smith and Associates, January 3, 2022). The evaluation included an archaeological survey and test excavations to determine if sensitive archaeological resources are present below surface. The test excavations were positive meaning that various artifacts were discovered in the test excavations. The project is situated within the boundaries of recorded prehistoric Site SDI-39/W-1. The archaeological survey and research indicate that the property was previously disturbed as a result of the residential development of this neighborhood between the 1920s and the 1950s.

The additions to the existing single-family residence will represent an encroachment of 367 square feet into the area of SDI-39 outside of the footprint of the current residence. The data from the field investigations indicates that construction excavations will encounter disturbed and intact subsurface

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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deposits associated with the prehistoric occupation of Site SDI-39. Per San Diego Municipal Code (SDMC) Section 143.0253 encroachment into a significant cultural resource cannot exceed 25.00 percent of the resource outside of the existing residence footprint. Based upon the data collected, the encroachment into SDI-39 within this parcel for the proposed additions will not exceed 13.17 percent. This value is within the acceptable encroachment percentage described in SDMC Section 143.0253.

The construction will represent a source of direct impacts to SDI-39, which will be mitigated through the implementation of a Mitigation Monitoring and Reporting Program (MMRP) as described in Section V of the MND. The MMRP will include an Archaeological Data Recovery Program (ADRP) consisting of archaeologically excavated test units and bulk screening of midden soil for the recovery and repatriation of any human remains encountered. Archaeological and Native American monitoring shall be included as a mitigation monitoring requirement in order to identify, evaluate, and recover any cultural materials that might be revealed during earthwork. The combination of the ADRP and Archaeological and Native American monitoring will reduce impacts to below a level of significance.

Built Environment

The City of San Diego criteria for determination of historic significance, pursuant to CEQA, is evaluated based upon age (over 45 years), location, context, association with an important event, uniqueness, or structural integrity of the building. Projects requiring the demolition and/or modification of structures that are 45 years or older have the potential to result in potential impacts to a historical resource.

The project site contains a single-family residence over 45 years old. The project site was reviewed by Historic staff in August 2021 and according to the review, the property does not meet the local designation criteria as an individually significant resource under any of the adopted Historical Resource Board criteria. As such, any impacts would be less than significant.

- b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?

Please refer to response V.a above. A Mitigation Monitoring and Reporting Program, as detailed within Section V of the Mitigated Negative Declaration would be implemented to reduce impacts related to Historical Resources (Archaeology) to below a level of significance.

- c) Disturb any human remains, including those interred outside of dedicated cemeteries?

According to the Cultural Resource Survey, three very small fragments of human remains identified during the archaeological testing of the property. Therefore, there is the potential that human remains could be encountered.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Section IV of the MMRP contains provisions for the discovery of human remains. If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken. Based upon the required mitigation measure impacts would be less than significant. Additionally, the ADRP also contains measures that would provide for the proper treatment of human remains if encountered. These measures reduce impacts to below a level of significance.

VI. ENERGY – Would the project:

- a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?

The project would be required to meet mandatory energy standards of the current California energy code. Construction activities might require operation of heavy equipment but would be temporary and short-term in duration. Additionally, long-term energy usage from the building would be reduced through design measures that incorporate energy conservation features in heating, ventilation and air conditioning systems, lighting and window treatments, and insulation and weather stripping. The project would also incorporate cool-roofing materials. Development of the project would not result in a significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources. Impacts would be less than significant.

- b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

The project is consistent with the General Plan and the La Jolla Community Plan’s land use designation. The project is required to comply with the City’s Climate Action Plan (CAP) by implementing energy reducing design measures, therefore the project would not obstruct a state or local plan for renewable energy or energy efficiency. No impacts would result.

VII. GEOLOGY AND SOILS – Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
- i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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A Preliminary Geotechnical Investigation, Proposed Fanelli-Huber Residence, 1851 Spindrift Drive, La Jolla, California prepared by Geotechnical Exploration, Inc. (June 3, 2021) and associated addendum to the report was prepared for the site and the Site is located in the Geologic Hazard Categories Type 11 – (active fault), 12 – (potentially active fault zone), and 27 – (slide prone formation). The report analysis stated, “no evidence of active faulting was observed” and it was concluded that there was no active fault crossing the property. Therefore, the probability of fault rupture is considered low. Additionally, the project would be required to comply with seismic requirement of the California Building Code, utilize proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, in order to ensure that potential impacts based on regional geologic hazards would remain less than significant.

- ii) Strong seismic ground shaking?

The site could be affected by seismic activity as a result of earthquakes on major active faults located throughout the Southern California area. The project would utilize proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, in order to ensure that potential impacts from regional geologic hazards would remain less than significant.

- iii) Seismic-related ground failure, including liquefaction?

Liquefaction generally occurs when loose, unconsolidated, water-laden soils are subject to shaking, causing the soils to lose cohesion. The Site is located in the Geologic Hazard Categories Type 11 – (active fault), 12 – (potentially active fault zone), and 27 – (slide prone formation). A Preliminary Geotechnical Investigation, Proposed Fanelli-Huber Residence, 1851 Spindrift Drive, La Jolla, California prepared by Geotechnical Exploration, Inc. (June 3, 2021) and associated addendum to the report was prepared for the site and noted that the risk of liquefaction due to seismic shaking on the subject site is considered to be very low due to the medium dense nature of the natural-ground material and the lack of true shallow static groundwater surface under the site. Additionally, the project would be required to comply with the California Building Code that would reduce impacts to people or structures to an acceptable level of risk. Implementation of proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would ensure that the potential for impacts from regional geologic hazards would remain less than significant.

- iv) Landslides?

A Preliminary Geotechnical Investigation, Proposed Fanelli-Huber Residence, 1851 Spindrift Drive, La Jolla, California prepared by Geotechnical Exploration, Inc. (June 3, 2021) and associated addendum to the report was prepared for the site and noted that the subject site, located on level terrain, is not subject to potential landslides. Implementation of proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would ensure that the potential for impacts would be reduced to an acceptable level of risk. Impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Demolition and construction activities would temporarily expose soils to increased erosion potential. The project would be required to comply with the City's Storm Water Standards which requires the implementation of appropriate Best Management Practices (BMPs). Grading activities within the site would be required to comply with the City of San Diego Grading Ordinance as well as the Storm Water Standards, which would ensure soil erosion and topsoil loss is minimized to less than significant levels. Furthermore, permanent storm water BMPs would also be required postconstruction consistent with the City's regulations, along with landscape regulations. Therefore, the project would not result in substantial soils erosion or loss of topsoil. Impacts would be less than significant.

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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As discussed in Section VII (a) and VII (b), the project site is not likely to be subject to landslides, and the potential for liquefaction and subsidence is low. The project design would be required to comply with the requirements of the California Building Code, ensuring hazards associated with expansive soils would be reduced to an acceptable level of risk. As such, impacts are expected to be less than significant.

d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The Preliminary Geotechnical Investigation, Proposed Fanelli-Huber Residence, 1851 Spindrift Drive, La Jolla, California prepared by Geotechnical Exploration, Inc. (June 3, 2021) notes that existing on-site low expansion potential soils are suitable. The project would be required to comply with seismic requirements of the California Building Code that would reduce impacts to people or structures due to local seismic events to an acceptable level of risk. Implementation of proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would ensure that the potential for impacts from regional geologic hazards would remain less than significant.

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site is located within an area that is already developed with existing infrastructure (i.e., water and sewer lines) and does not propose any septic systems. In addition, the project does not require the construction of any new facilities as it relates to wastewater, as services are available to serve the project. No impact would occur.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

According to the "Geology of the San Diego Metropolitan Area, California, La Jolla, 7.5 Minute Quadrangle Maps" (Kennedy and Peterson, 1975), the project site is underlain with the high sensitive rating Old Paralic deposits formation which has a high probability of containing important paleontological resources. The City's Significance Determination Thresholds state paleontological monitoring during grading activities may be required if it is determined that the project's earth movement quantity exceeds the Paleontological threshold (if greater than 1,000 cubic yards and ten feet deep for formations with a high sensitivity rating and if greater than 2,000 cubic yards and ten feet deep for formations with a moderate sensitivity rating). The project proposes to grade approximately 215-CY to a max depth of 11.5 feet. This does not exceed the City of San Diego's thresholds for grading in a sensitive formation. Therefore, impacts would remain less than significant.

VIII. GREENHOUSE GAS EMISSIONS – Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The City's Climate Action Plan (CAP) outlines the actions that the City will undertake to achieve its proportional share of State greenhouse gas (GHG) emission reductions. A CAP Consistency Checklist is part of the CAP and contains measures that are required to be implemented on a project-by-project basis to ensure that the specified emission targets identified in the CAP are achieved. The project is consistent with the General Plan and the La Jolla Community Plan's land use and zoning designations. Further, based upon review and evaluation of the completed CAP Consistency Checklist, the project is consistent with the applicable strategies and actions of the CAP. Based on the project's consistency with the City's CAP Checklist, the project's contribution of GHG's to cumulative statewide emissions would be less than cumulatively considerable. Therefore, the projects direct and cumulative GHG emissions would have a less than significant impact.

b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project would not conflict with an applicable plan, policy, or regulation adopted for the purposes of reducing the emissions of greenhouse gasses. The project is consistent with the existing General Plan and Community Plan land use and zoning designations. Further, based upon review and evaluation of the completed CAP Consistency Checklist for the project, the project is consistent with the applicable strategies and actions of the CAP. Therefore, the project is consistent with the assumptions for relevant CAP strategies toward achieving the identified GHG reduction targets. Impacts are considered less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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IX. HAZARDS AND HAZARDOUS MATERIALS – Would the project:

- a) Create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials?

The project would demolish an existing single-family residence and construct a new residence. Although minimal amounts of such substances may be present during construction activities, they are not anticipated to create a significant public hazard. Once constructed, due to the nature of the project, the routine transport, use, or disposal of hazardous materials on or through the subject site is not anticipated. Therefore, impacts would be less than significant.

- b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

Refer to response IX (a) above. No health risks related to the storage, transport, use, or disposal of hazardous materials would result from the implementation of the project. Impacts would be less than significant.

- c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

Refer to response IX (a) above. Future risk of releases of hazardous substances would not occur as a result of project operations because it is anticipated that future on-site operations of a single-family residence would not require the routine use or transport of acutely hazardous materials. Construction of the project may require the use of hazardous materials (fuels, lubricants, solvents, etc.), which would require proper storage, handling, use and disposal. Further, the project would be required to comply with all federal, state and local requirements associated with hazardous materials; therefore, impacts would be less than significant.

- d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

A hazardous waste site records search was completed using Geo Tracker and EnviroStor, online websites which disclose hazardous clean-up sites pursuant to Government Code section 65962.5: <http://geotracker.waterboards.ca.gov/>; <https://www.envirostor.dtsc.ca.gov/public/> The records search identified that no hazardous waste sites exist onsite or in the surrounding area. No Impacts would result.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two mile of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The proposed project is not located within an airport land use plan, or within two miles of a public airport or public use airport. No impacts would result.

f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project would not impair the implementation of, or physically interfere with an adopted emergency response plan or evacuation plan. No roadway improvements are proposed that would interfere with circulation or access, and all construction would take place on-site. No impacts would result.

g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project is located within a developed residential neighborhood on a site with an existing single-family residence. The project would not expose people or structures to a significant loss, injury, or death involving wildland fires because the project is not adjacent to any wildlands. Further discussion can be found in Section XX below. Any impacts would be less than significant.

X. HYDROLOGY AND WATER QUALITY - Would the project:

a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project would comply with the City's Storm Water Regulations during and after construction, and appropriate best management practices (BMP's) would be utilized. Implementation of project specific BMP's would preclude violations of any existing water quality standards or discharge requirements. Impacts would be less than significant.

b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project does not require the construction of wells or the use of groundwater. Furthermore, the project would include pervious design features and appropriate drainage. Therefore, the project would not introduce a significant amount of new impervious surfaces that could interfere with groundwater recharge. The project as designed was reviewed by qualified City staff and would not substantially deplete groundwater supplies or interfere substantially with groundwater recharge. The project is located in a residential neighborhood where all infrastructures exist. The project would connect to the existing public water system. Impacts would be less than significant.

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or through the addition of impervious surfaces, in a manner which would:

- i) result in substantial erosion or siltation on- or off-site;

Proper landscaping would prevent substantial erosion onsite. No streams or rivers are located on or adjacent to the site, all runoff would be routed to the existing storm drain system and would therefore not substantially alter existing drainage patterns. The project would be required to implement BMPs to ensure that substantial erosion or siltation on or off-site during construction activities would not occur. Impacts would be less than significant.

- ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;

Refer to response X (c)(i) above. the project would not substantially increase the rate or amount of surface runoff which would result in flooding on or off site. Impacts would be less than significant.

- iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or

The project would be required to comply with all City storm water standards during and after construction. Appropriate BMPs would be implemented to ensure that water quality is not degraded; therefore, ensuring that project runoff is directed to appropriate drainage systems. Any runoff from the site is not anticipated to exceed the capacity of existing storm water systems or provide substantial additional sources of polluted runoff. Impacts would be less than significant, and no mitigation measures are required.

- iv) impede or redirect flood flows?

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project construction would occur within a developed site surrounded by existing residential development. The project would not impede or redirect flood flows. The project would be required to comply with all City storm water standards during and after construction ensuring that project runoff is directed to appropriate drainage systems. Impacts would be less than significant.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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The project site is not located within a flood hazard zone or a “tsunami inundation area”, and it is not likely that a tsunami or seiche could impact the site. Therefore, impacts would be less than significant.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would be required to comply with all City storm water standards during and after construction. Appropriate best management practices would be implemented to ensure that water quality is not degraded; therefore, ensuring that project runoff is directed to appropriate drainage systems. Any runoff from the site is not anticipated to exceed the capacity of existing storm water systems or provide substantial additional sources of polluted runoff. Additionally, the project does not require the construction of wells or the use of groundwater. Therefore, the project would not conflict with or obstruct implementation of a sustainable groundwater management plan. Impacts would be less than significant.

XI. LAND USE AND PLANNING – Would the project:

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Physically divide an established community? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would demolish an existing single-family residence and construct a new home with an accessory dwelling unit. The project is consistent with the General Plan and the La Jolla Community Plan’s land use designation (Low Density Residential, 5-9 du/ac) and is within a developed lot with access to a public roadway. The project site is located within a developed residential neighborhood and surrounded by similar residential development. The project would not substantially change the nature of the surrounding area and would not introduce any barriers or project features that could physically divide the community. No impacts would result.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Cause a significant environmental impact due to a conflict with any applicable land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project is consistent with the General Plan and the La Jolla Community Plan’s land use designation which allows up to 5-9 dwelling units per acre. The project is located on a 0.10-acre lot and proposes a single-family residence and accessory dwelling unit, therefore it is consistent. The project also complies with the LJSPD-SF zoning requirements. Since there are no conflicts with the applicable land use plan, policy, or regulations, there would be no impact.

XII. MINERAL RESOURCES – Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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There are no known mineral resources located on the project site. The urbanized and developed nature of the project site and vicinity would preclude the extraction of any such resources. No impact would result.

b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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See XII (a), above. The project site has not been delineated on a local general, specific, or other land use plan as a locally important mineral resource recovery site, and no such resources would be affected with project implementation. Therefore, no impacts were identified.

XIII. NOISE – Would the project result in:

a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Short-term (Construction)

Short-term noise impacts would be associated with onsite grading, and construction activities of the project. Construction-related short-term noise levels would be higher than existing ambient noise levels in the project area but would no longer occur once construction is completed. Sensitive receptors (e.g. residential uses) occur in the immediate area and may be temporarily affected by construction noise; however, construction activities would be required to comply with the construction hours specified in the City’s Municipal Code (Section 59.5.0404, Construction Noise) which are intended to reduce potential adverse effects resulting from construction noise. With

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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compliance to the City’s noise ordinance, project construction noise levels would be reduced to less than significant.

Long-term (Operation)

For the long-term, typical noise levels associated with residential uses are anticipated, and the project would not result in an increase in the existing ambient noise level. The project would not result in noise levels in excess of standards established in the City of San Diego General Plan or Noise Ordinance. No significant long-term impacts would occur, therefore impacts would be less than significant.

- b) Generation of, excessive groundborne vibration or groundborne noise levels?

Potential effects from construction noise would be reduced through compliance with the City restrictions. Pile driving activities that would potentially result in ground borne vibration or ground borne noise are not anticipated with construction of the project. Impacts would be less than significant.

- c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

The project site is not located in an Airport Influence Area or within two miles of a public airport or public use airport. As such, the project would not expose people to working in the area to excessive aircraft noise levels. No impact would result.

XIV. POPULATION AND HOUSING – Would the project:

- a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

The project would demolish an existing single-family residence and construct a new home with an accessory dwelling unit. The project is consistent with the underlying zone and is consistent with the La Jolla Community Plan. The project site is currently developed with the connections to receive water and sewer service from the City, and no extension of infrastructure to new areas is required. As such, the project would not substantially increase housing or population growth in the area. No roadway improvements are proposed as part of the project. No impacts would result.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project would demolish an existing single-family residence and construct a new home with an accessory dwelling unit, located in a neighborhood of similar residential development; therefore, no such displacements would occur. No impacts would result.

XV. PUBLIC SERVICES

a) Would the project result in substantial adverse physical impacts associated with the provisions of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service rations, response times or other performance objectives for any of the public services:

i) Fire protection;

The project is consistent with the land use designation pursuant to the La Jolla Community Plan. The project site is located in an urbanized and developed area where fire protection services are already provided. Therefore, the project would not adversely affect existing levels of fire protection services to the area and would not require the construction of new or expansion of existing governmental facilities. Impacts would be less than significant.

ii) Police protection;

Refer to response XV (a)(i) above. The project would not adversely affect existing levels of police protection services or create a new significant demand and would not require the construction of new or expansion of existing governmental facilities. Impacts would be less than significant.

iii) Schools;

Refer to response XV (a)(i) above. The project would not significantly increase the demand on public schools over that which currently exists and is not anticipated to result in a significant increase in demand for public educational services. Impacts would be less than significant.

iv) Parks;

Refer to response XV (a)(i) above. The project site is located in an urbanized and developed area where City-operated parks are available. The project would not significantly increase the demand on existing neighborhood or regional parks or other recreational facilities over that which presently exists. Impacts would be less than significant.

v) Other public facilities?

Refer to response XV (a)(i) above. The project site is located in an urbanized and developed area where City services are already available. The project would not adversely affect existing levels of public services and not require the construction or expansion of an existing governmental facility. Impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XVI. RECREATION

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project is consistent with the underlying zoning and land use designation pursuant to the General Plan and the La Jolla Community Plan. The project proposes to construct additions to an existing single-family residence. The project would not adversely affect the availability of and/or need for new or expanded recreational resources. The project would not adversely affect existing levels of public services and would not require the construction or expansion of an existing park facility. The project would not significantly increase the use of existing neighborhood or regional parks or other recreational facilities. Therefore, the project is not anticipated to result in the use of available parks or facilities such that substantial deterioration occurs, or that would require the construction or expansion of recreational facilities to satisfy demand. As such, impacts would remain less than significant.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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Refer to XVI (a) above. The project does not propose recreation facilities nor require the construction or expansion of any such facilities. As such, impacts would remain less than significant.

XVII. TRANSPORTATION- Would the project?

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <p>a) Conflict with an adopted program, plan, ordinance or policy addressing the transportation system, including transit, roadways, bicycle and pedestrian facilities?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project proposes to construct an existing single-family residence in a neighborhood with similar development, therefore, the project would not result in design measures that would conflict with existing policies, plan, or programs supporting alternative transportation. No impacts would result.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>b) Would the project or plan/policy result in VMT exceeding thresholds identified in the City of San Diego Transportation Study Manual? Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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The project would construct additions to an existing single-family residence in a neighborhood with similar residential development. A "Small Project" is defined as a project generating less than 300 daily unadjusted driveway trips using the City of San Diego trip generation rates/procedures. Based

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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upon the screening criteria, the project qualifies as a “Small Project” and is screened out from further VMT analysis. Therefore, the project is presumed to have a less than significant impact on Vehicle Miles Traveled (VMT). Impacts would be less than significant.

- c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

The project complies with the La Jolla Community Plan and is consistent with the land use and underlying zoning in a residential neighborhood. The proposed residence does not include any design features that would substantially increase hazards. No impacts would result.

- d) Result in inadequate emergency access?

Adequate emergency access would be provided during both short-term construction (with construction operating protocols) and long-term operations of the project. Emergency access to the site would be provided along Spindrift Drive and is also adjacent to an alley. As such, the project would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. Impacts would be less than significant.

XVIII. TRIBAL CULTURAL RESOURCES – Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or

Please refer to response V.a under Cultural Resources above. The combination of the Archaeological Data Recovery Program and Archaeological and Native American monitoring will reduce impacts to below a level of significance. A Mitigation Monitoring and Reporting Program, as detailed within Section V of the Mitigated Negative Declaration would be implemented to reduce impacts related to Cultural Resources (Archaeology) and Tribal Cultural Resources to below a level of significance.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Tribal Cultural Resources include sites, features, places, cultural landscapes, and sacred places or objects that have cultural value or significance to a Native American Tribe. Tribal Cultural Resources include “non-unique archaeological resources” that, instead of being important for “scientific” value as a resource, can also be significant because of the sacred and/or cultural tribal value of the resource. Tribal representatives are considered experts appropriate for providing substantial evidence regarding the locations, types, and significance of tribal cultural resources within their traditionally and cultural affiliated geographic area (PRC § 21080.3.1(a)).

In accordance with the requirements of Assembly Bill (AB) 52, The City of San Diego sent notification to three Native American Tribes traditionally and culturally affiliated with the project area on July 11, 2022 for a 30-day review period. Only Jamul Indian Village responded on August 23, 2022 acknowledging the project does not exceed 25 percent encroachment in the resource per the San Diego Municipal Code Section 143.0253 and consultation was concluded. As described in Section V. Cultural Resources of the Initial Study the project would impact a sensitive archaeological resource. An Archaeological Data Recovery Program and Archaeological and Native American monitoring are required mitigation and it was determined that an impact to Tribal Cultural Resources would be less than significant. See section V of the MND and the Mitigation, Monitoring and Reporting Program (MMRP) for further details.

XIX. UTILITIES AND SERVICE SYSTEMS – Would the project:

a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project is not anticipated to generate significant amount of wastewater or stormwater. As discussed in VI (a), the project would not result in a significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources. Wastewater facilities used by the project would be operated in accordance with the applicable wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB). Existing sewer infrastructure exists within roadways surrounding the project site and adequate services are available to serve the project. Thus, impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The 2020 City Urban Water Management Plan (UWMP) serves as the water resources planning document for the City’s residents, businesses, interest groups, and public officials. The UWMP assess the current and future water supply and needs for the City. The 2020 UWMP emphasizes a crossfunctional, systems approach that is intended to better guide and integrate any subsequent water resources studies, facilities master planning, and various regulatory reporting and assessment activities at the City, regional and state levels beyond a basic profiling of the City’s water system. (City of San Diego 2020). The project does not meet Senate Bill 610 requirements for the project to prepare a water supply assessment. Implementation of the project would not result in new or expanded water entitlements from the water service provider, as the project is consistent with existing demand projections contained in the UWMP (which are based on the allowed land uses for the project site). Therefore, the project would not require new or expanded entitlements. No impacts would result.

c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project’s demand in addition to the provider’s existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project would not exceed the capacity of the existing storm water system and require the construction of new or expanded treatment facilities of which would cause significant environmental effects. The project was reviewed by qualified City staff who determined that the existing facilities are adequately sized to accommodate the proposed development. No impacts would result.

d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Construction debris and waste would be generated from the construction of the project. All construction waste from the project site would be transported to an appropriate facility, which would have sufficient permitted capacity to accept that generated by the project. Long-term operation of the residential use is anticipated to generate typical amounts of solid waste associated with residential uses. Furthermore, the project would be required to comply with the City’s Municipal Code requirement for diversion of both construction waste during the short-term, construction phase and solid waste during the long-term, operational phase. Impacts are considered to be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The project would comply with all Federal, State, and local statutes and regulations related to solid waste. The project would not result in the generation of large amounts of solid waste, nor generate or require the transport of hazardous waste materials, other than minimal amounts generated during the construction phase. All demolition activities would comply with any City of San Diego requirements for diversion of both construction waste during the demolition phase and solid waste during the long-term, operational phase. Impacts would be less than significant.

XX. WILDFIRE – If located in or near state responsibility area or lands classified as very high fire hazard severity zones, would the project:

a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

The City of San Diego participates in the San Diego County Multi-Jurisdictional Hazard Mitigation Plan. The project complies with the General Plan and is consistent with the La Jolla Community Plan land use and the Land Development Code zoning designation. The project is located in an urbanized area of San Diego and remodeling of and construction of additions to the existing single-family residence would not disrupt any emergency evacuation routes as identified in the Hazard Mitigation Plan. Therefore, the project would have a less-than-significant impact on an emergency response and evacuation plan during construction and operation.

b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

The project is located in an urbanized neighborhood of similar residential development and is not located in a Very High Fire Severity Zone. Due to the location of the project, the project would not have the potential to expose occupants to pollutant concentrations from a wildfire or the uncontrolled spread of wildfire. Therefore, impacts would remain below a level of significance.

c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

The project is located in a residential neighborhood with similar development. The site is currently serviced by existing infrastructure which would service the site after construction is completed. No new construction of roads, fuel breaks, emergency water sources, power lines, or other utilities would be constructed that would exacerbate fire risk, therefore impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Refer to response XX (b) above. The project site is relatively flat and is not located within a seismic hazard zone for potential slope instability or within a landslide hazard zone. Additionally, the project would comply with the City's appropriate Best Management Practices (BMP) for drainage and would not expose people or structures to significant risks as a result of run-off, post-fire slope instability, or drainage changes. Therefore, a less than significant impact would result.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE –

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	-------------------------------------	--------------------------	--------------------------

This analysis has determined that there is the potential of significant impacts related to Cultural Resources (Archaeology) and Tribal Cultural Resources. As such, mitigation measures included in this document would reduce these potential impacts to a less than significant level as outlined within the Mitigated Negative Declaration.

b) Does the project have impacts that are individually limited but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	-------------------------------------	--------------------------	--------------------------

Impacts associated with Cultural Resources are individually significant and when taken into consideration with other past projects in the vicinity, may contribute to a cumulative impact; specifically with respect to non-renewable resources. However, with implementation of the MMRP, any information associated with these resources would be collected catalogued and included in technical reports available to researchers for use on future projects, thereby reducing the cumulative impact to below a level of significance.

Other future projects within the surrounding neighborhood or community would be required to comply with applicable local, State, and Federal regulations to reduce the potential impacts to less

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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than significant, or to the extent possible. As such, the project is not anticipated to contribute potentially significant cumulative environmental impacts.

- c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	-------------------------------------	--------------------------	--------------------------

The City of San Diego conducted an Initial Study which determined that the project could have a significant environmental effect in the following area Cultural Resources (Archeological) and Tribal Cultural Resources. However, with the implementation of mitigation identified in Section V of this MND the project would not have environmental effects which would cause substantial direct or indirect adverse effects on human beings.

**INITIAL STUDY CHECKLIST
REFERENCES**

I. Aesthetics / Neighborhood Character

- City of San Diego General Plan
- Community Plans: La Jolla Community Plan

II. Agricultural Resources & Forest Resources

- City of San Diego General Plan
- U.S. Department of Agriculture, Soil Survey - San Diego Area, California, Part I and II, 1973
- California Agricultural Land Evaluation and Site Assessment Model (1997)
- Site Specific Report:

III. Air Quality

- California Clean Air Act Guidelines (Indirect Source Control Programs) 1990
- Regional Air Quality Strategies (RAQS) - APCD
- Site Specific Report:

IV. Biology

- City of San Diego, Multiple Species Conservation Program (MSCP), Subarea Plan, 1997
- City of San Diego, MSCP, "Vegetation Communities with Sensitive Species and Vernal Pools" Maps, 1996
- City of San Diego, MSCP, "Multiple Habitat Planning Area" maps, 1997
- Community Plan - Resource Element
- California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered, Threatened, and Rare Plants of California," January 2001
- California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered and Threatened Animals of California," January 2001
- City of San Diego Land Development Code Biology Guidelines
- Site Specific Report:

V. Cultural Resources (includes Historical Resources and Built Environment)

- City of San Diego Historical Resources Guidelines
- City of San Diego Archaeology Library
- Historical Resources Board List
- Community Historical Survey:
- Site Specific Report: Cultural Resource Survey for the 1851 Spindrift Drive, Brian Smith and Associates, January 3, 2022

VI. Energy

- City of San Diego Climate Action Plan (CAP), (City of San Diego 2015)
- City of San Diego Climate Action Plan Consistency Checklist – 1851 Spindrift Residence

VII. Geology/Soils

- City of San Diego Seismic Safety Study

- U.S. Department of Agriculture Soil Survey - San Diego Area, California, Part I and II, December 1973 and Part III, 1975
- City of San Diego Paleontological Guidelines
- Deméré, Thomas A., and Stephen L. Walsh, "Paleontological Resources City of San Diego," Department of Paleontology San Diego Natural History Museum, 1996
- Kennedy, Michael P., and Gary L. Peterson, "Geology of the San Diego Metropolitan Area, California. Del Mar, La Jolla, Point Loma, La Mesa, Poway, and SW 1/4 Escondido 7 1/2 Minute Quadrangles," *California Division of Mines and Geology Bulletin* 200, Sacramento, 1975
- Kennedy, Michael P., and Siang S. Tan, "Geology of National City, Imperial Beach and Otay Mesa Quadrangles, Southern San Diego Metropolitan Area, California," Map Sheet 29, 1977
- Site Specific Report: Preliminary Geotechnical Investigation, Proposed Fanelli-Huber Residence, 1851 Spindrift Drive, La Jolla, California prepared by Geotechnical Exploration, Inc., June 3, 2021 and Addendum

VIII. Greenhouse Gas Emissions

- Site Specific Report: Climate Action Plan Consistency Checklist – 1851 Spindrift Residence

IX. Hazards and Hazardous Materials

- San Diego County Hazardous Materials Environmental Assessment Listing
- San Diego County Hazardous Materials Management Division
- FAA Determination
- State Assessment and Mitigation, Unauthorized Release Listing, Public Use Authorized
- Airport Land Use Compatibility Plan
- Site Specific Report:

X. Hydrology/Drainage

- Flood Insurance Rate Map (FIRM)
- Federal Emergency Management Agency (FEMA), National Flood Insurance Program-Flood Boundary and Floodway Map
- Clean Water Act Section 303(b) list, http://www.swrcb.ca.gov/tmdl/303d_lists.html
- Site Specific Report:

XI. Land Use and Planning

- City of San Diego General Plan
- Community Plan: La Jolla
- Airport Land Use Compatibility Plan
- City of San Diego Zoning Maps
- FAA Determination:
- Other Plans:

XII. Mineral Resources

- California Department of Conservation - Division of Mines and Geology, Mineral Land Classification
- Division of Mines and Geology, Special Report 153 - Significant Resources Maps
- City of San Diego General Plan: Conservation Element
- Site Specific Report:

XIII. Noise

- City of San Diego General Plan
- Community Plan: La Jolla
- San Diego International Airport - Lindbergh Field CNEL Maps
- Brown Field Airport Master Plan CNEL Maps
- Montgomery Field CNEL Maps
- San Diego Association of Governments - San Diego Regional Average Weekday Traffic Volumes
- San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG
- Site Specific Report:

XIV. Population / Housing

- City of San Diego General Plan
- Community Plan
- Series 11/Series 12 Population Forecasts, SANDAG
- Other:

XV. Public Services

- City of San Diego General Plan
- Community Plan

XVI. Recreational Resources

- City of San Diego General Plan
- Community Plan
- Department of Park and Recreation
- City of San Diego - San Diego Regional Bicycling Map
- Additional Resources:

XVII. Transportation / Circulation

- City of San Diego General Plan
- Community Plan: La Jolla
- San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG
- San Diego Region Weekday Traffic Volumes, SANDAG
- City of San Diego Transportation Study Manual (September 29,2020)
- Site Specific Report:

XVIII. Tribal Cultural Resources

- City of San Diego Historical Resources Guidelines
- City of San Diego Archaeology Library
- Historical Resources Board List
- Community Historical Survey
- Site Specific Report: Cultural Resource Survey for the 1851 Spindrift Drive, Brian Smith and Associates, January 3, 2022

XIX. Utilities and Service Systems

- City of San Diego General Plan

- Community Plan: La Jolla
- Site Specific Report:

XX. Wildfire

- City of San Diego General Plan
- Community Plan: La Jolla
- San Diego County Multi-Jurisdictional Hazard Mitigation Plan
- Very High Fire Severity Zone Map, City of San Diego
- City of San Diego Brush Management Regulations, Landscape Regulations (SDMC 142.0412)
- Site Specific Report:

Revised: December 2022



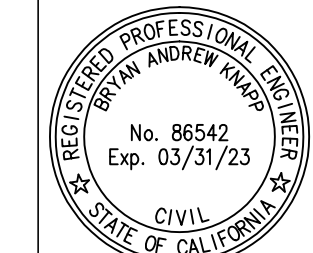
Location Map

1851 Spindrift Drive/Project No. 693529

City of San Diego – Development Services Department

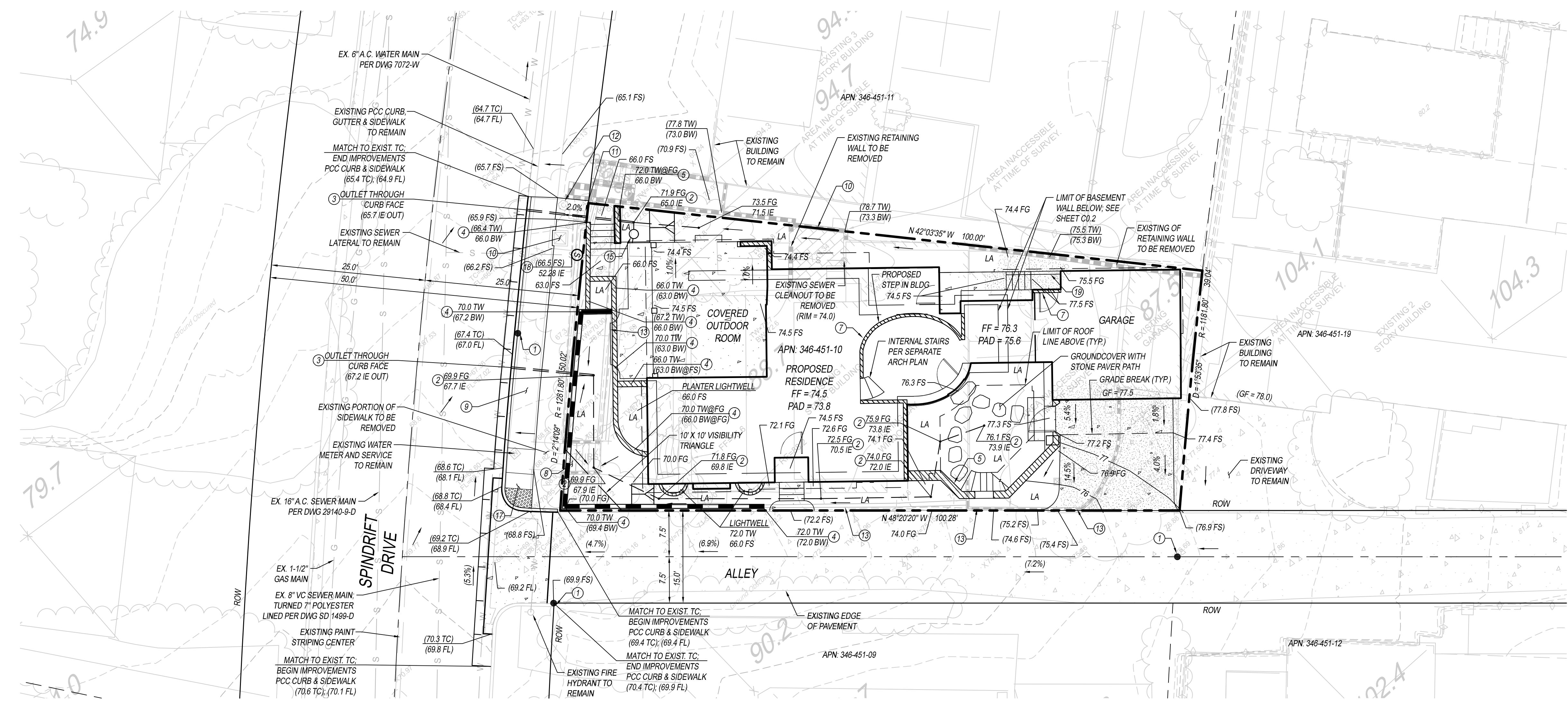
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No. 1



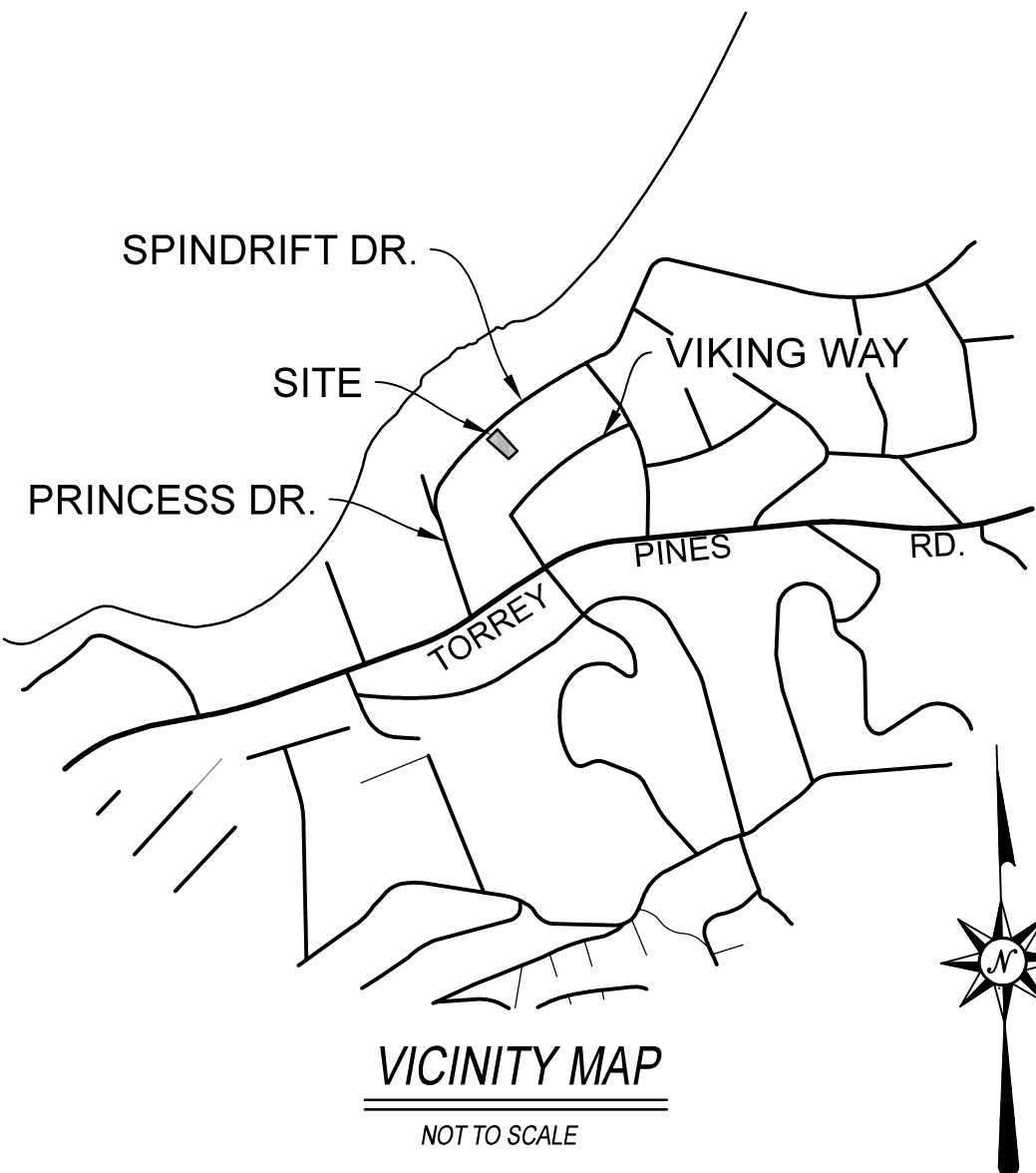
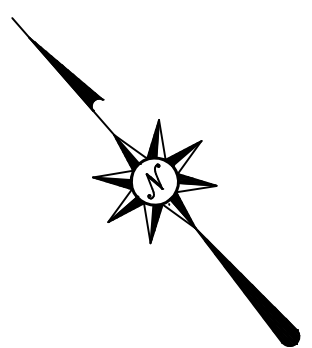
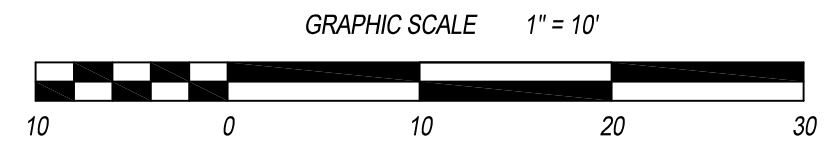
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Job #: 1000
Drawn By: Author
Prod. Mgr./Checker
Date: 08/04

REVISIONS table with columns for #, DESCRIPTION, and DATE.



PLAN VIEW - SITE DRAINAGE PLAN

SCALE: 1" = 10' HORIZONTAL



OWNER

SOLE AND SEPARATE PROPERTY TRUST
CHRIS HUBER & KIMBERLY FANELLI
1851 SPINDRIFT DRIVE
LA JOLLA, CALIFORNIA 92037

SITE INFORMATION

ADDRESS: 1851 SPINDRIFT DRIVE
LA JOLLA, CALIFORNIA 92037
APN: 346-451-10-00
ADT INFO: 16 TRIPS (1 UNIT 10 ADT / DU RESIDENTIAL)
1 (ADU 6 ADT / DU RESIDENTIAL)

LEGAL DESCRIPTION

LOT 40, LA JOLLA VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1762, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 1, 1923.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO VERTICAL CONTROL BOOK, BRASS PLUG IN CURB ON NORTHERLY CORNER OF VIKING WAY AND TORREY PINES ROAD.
ELEVATION: 101.766
DATUM: NGVD 29

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 2011, ESTABLISHED FROM GPS STATION CRTN S105 AND GPS STATION CRTN STATION P472. IE N 88°53'57"E.

SURVEY NOTE

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED ON MAY, 10 2017, BY:

PASCO, LARET, SUITER & ASSOCIATES
1911 SAN DIEGO AVENUE, SUITE 100
SAN DIEGO, CA 92110
PH: (658) 259-8212

CIVIL SHEET INDEX

- SHEET CO.1 SITE DRAINAGE AND GRADES PLAN
- SHEET CO.2 SITE BASEMENT GRADES PLAN
- SHEET CO.3 STORM WATER BMP FORMS
- SHEET CO.4 TOPOGRAPHIC SURVEY MAP

GRADING TABULATIONS

Table with columns for TOTAL AMOUNT OF CUT, AMOUNT OF FILL, and BASEMENT INCLUDED TOTAL AMOUNT OF CUT, AMOUNT OF FILL.

IMPERVIOUS AREA TABULATIONS

PROPOSED ONSITE DISTURBED AREA: 4,453 SF
PROPOSED NEW / REPLACED IMPERVIOUS AREA: 3,117 SF
PROPOSED PERVIOUS AREA: 1,336 SF
% IMPERVIOUS: 70.0%

AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE NOTE

THIS PROJECT IS LOCATED WITHIN THE ASBS AREA. APPLICANT / PERMITEE SHALL COMPLY WITH ALL THE ASBS REQUIREMENTS AND THE MS4, STORM WATER REGULATIONS / REQUIREMENTS

VISIBILITY AREA NOTE

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN THE VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

CONSTRUCTION NOTES

- 1 EXISTING SURVEY MONUMENT SHALL BE PROTECTED IN PLACE. MONUMENT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR WHO SHALL FILE A CORNER RECORD WITH THE COUNTY IF DISTURBED OR DESTROYED
- 2 PROPOSED 4" AREA DRAIN BY NDS OR APPROVED EQUAL
- 3 PROPOSED 3" SIDEWALK UNDERDRAIN PIPE (X2) PER SDRSD D-27
- 4 PROPOSED MASONRY RETAINING WALL TYPE 1 PER SDRSD C-03
- 5 PROPOSED SITE WALL PER ARCHITECTURAL PLANS
- 6 PROPOSED DEEPEENED FOOTING
- 7 PROPOSED STEM WALL
- 8 EXISTING RISERS TO BE REMOVED
- 9 EXISTING PCC SIDEWALK TO BE REMOVED AND REPLACED
- 10 EXISTING TRANSFORMER TO REMAIN
- 11 EXISTING PULLBOX TO REMAIN
- 12 EXISTING COX RISER TO BE REMOVED
- 13 EXISTING RETAINING WALL TO BE REMOVED
- 14 PROPOSED TEMPORARY SHORING WALL TO CONSTRUCT BASEMENT WALLS LIMITS SHOWN HEREON APPROXIMATE
- 15 PROPOSED SUMP PUMP
- 16 PROPOSED STORM DRAIN CLEANOUT
- 17 PROPOSED CURB RAMP PER SDRSD G-31, TYPE-D
- 18 PROPOSED STORM DRAIN CLEANOUT PER SDRSD SC-01
- 19 PROPOSED DEEPEENED EDGE

EASEMENT NOTES

- 3 AN EXISTING EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR UNDERGROUND PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED JULY 22, 2004 PER DOCUMENT #2004-0684926

EASEMENTS SHOWN HEREON PER PRELIMINARY TITLE REPORT PREPARED BY: LAWYERS TITLE COMPANY, DATED: 02/08/2021

LEGEND

- SUBJECT PROPERTY / SUBDIVISION BOUNDARY
- EXISTING RIGHT-OF-WAY / ADJACENT LOT LINE
- CENTERLINE OF ROAD
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING CURB & GUTTER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED PCC PAVEMENT
- PROPOSED STEM WALL
- PROPOSED DEEPEENED FOOTING
- PROPOSED RETAINING WALL
- PROPOSED TEMPORARY SHORING WALL
- PROPOSED LIGHTWELL WALL
- PROPOSED 3" SIDEWALK UNDERDRAIN PIPE (X2)
- EXISTING SEWER MAIN (SIZE PER PLAN)
- EXISTING WATER MAIN (SIZE PER PLAN)
- EXISTING GAS MAIN (SIZE PER PLAN)

POST-CONSTRUCTION SITE DESIGN BMPS

- SD-1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES
- SD-3 MINIMIZE IMPERVIOUS AREA
- SD-4 MINIMIZE SOIL COMPACTION
- SD-5 IMPERVIOUS AREA DISPERSION
- SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES

SOURCE CONTROL / LID BMPS

- SC-1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4
- SC-6 ADDITIONAL BMPS BASED ON POTENTIAL RUNOFF POLLUTANTS:
DZ LANDSCAPE DESIGN / OUTDOOR PESTICIDE USE
- G REFUSE AREAS
- P PLAZAS, SIDEWALKS, AND PARKING LOTS: PARKING STALLS WILL BE SWEEPED AND CLEANED REGULARLY TO AVOID BUILDUP OF DEBRIS AND LITTER

NOTE: PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OF SPECIFICATIONS. (NEW ISSUE)

NOTE: PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCC). THE WPCC SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

1851 SPINDRIFT
1851 Spindrift, La Jolla, CA 92037

CO.1

PRELIMINARY SITE DRAINAGE PLAN

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		<h2 style="text-align: center;">Community Planning Committee Distribution Form</h2>
Project Name: 1851 Spindrift		Project Number: 693529/Duke	
Community: La Jolla			
<p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: April 07, 2022
# of Members Yes 10	# of Members No 5	# of Members Abstain 1	
Conditions or Recommendations: Please replace previously submitted IB620 as vote was incorrectly recorded, thank you!			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Suzanne Baracchini			
TITLE: LJCPA Secretary		DATE: April 14, 2022	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

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Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board (LJSPDAB)
FINAL Meeting Minutes for February 16, 2022
 Virtual Online Meeting

Trustee	Attendance	Trustee	Attendance
Jane Potter	Present	Herbert Lazerow	Present
Andrea Moser	Present	Suzanne Weissman	Present

1. Call to Order:

Potter called the meeting to order at 10:00 a.m.

2. Agenda:

Lazerow moved to approve, Moser seconded. Motion passed 4-0-0.

3. Approval of November 17, 2021 minutes:

Potter requested minutes to say "online meeting" not to list the 615 Prospect Street address as the location for the La Jolla Shores Advisory Board meeting. Potter requested to change page 3 to reflect that the chair opined that the project was minor in scope. Lazerow moved to approve. Moser seconded. Approved by vote of 4-0-0.

4. Non-agenda public comment:

Staff reported that no non-agenda comment was received. Weissman said LJSPDAB should consider updates to the La Jolla Shores Planned District Ordinance (LJSPDO), including to loosen the requirement for candidates to reside in La Jolla Shores. Moser said the La Jolla Light reported people can self-nominate to the LJSPDAB to get a broader geographical base. Potter said several applications have been

submitted to the Mayor's office, who is checking qualifications. Potter said the ordinance would provide guidelines for membership to the board. Moser asked if the board members want to continue. Lazerow agreed but said today's full agenda would prevent discussion today. Potter suggested adding the discussion to the March agenda as March 31, 2022 is the deadline for suggested changes.

5. Project Review:

Action Item A – PTS 693529 – 1851 Spindrift Drive SDP/CDP

Location: 1851 Spindrift Drive

APN: 346-451-1000

Description: Demolition of an Existing SFR & Garage, and Construction of a New 2,677 sf (GFA) Single Family Residence with 458 sf Garage and 380 sf Accessory Dwelling Unit, and related site improvements on a 0.10-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Applicant/Project Contact:

Haley Duke, Island Architects, (858) 459-929. hduke@islandarch.com

Presentation:

- Project first reviewed in July of 2021
- Overall project FAR reduced from 0.84 to 0.79
- Upper level steps back
- Project is a primary dwelling unit and accessory dwelling unit (ADU)
- Garage moved from rear property line to 14" set back
- Blue and red lines show proposed and existing footprint
- Front set back increased from 9 ft to 12 ft
- 3-D renderings show massing related to other structures in area
- Spanish style arch with articulation
- House has been pulled back along alley
- Material palette includes stucco, iron windows, clay tile roof
- From July meeting design has been revised to comply with requested increase in front set back from 9 feet to 12 feet. Garage setback increased to 14 ~~inches~~ feet
- Three-hundred-foot survey included with this submittal
- Architecture differs from neighboring dwelling unit

Board Clarifications

- Roof line does not follow setback indicated by blue line of proposed footprint
- Concern expressed over small setback and that the wall rises two stories with no break on alley side.

- Front setback on alley side increased, but not by much. Larger setback should be on Spindrift side
- Board questioned whether the design conforms to the new floor area ratio (FAR) rules. Presenter questioned whether design incorporated FAR considerations in the proposal, but presenter said project should observe current FAR requirements. Staff said changes to PDO still must be approved by the California Coastal Commission before going into effect
- Overall FAR computation questioned, though ADU should not be an issue with this application, as density is encouraged. Presenter said that because ADU is included with the house modification that it should not prohibit approval
- Bulk and scale of proposal troubling. Other member agreed and added small setbacks are a problem and bulk and scale of ADU is excessive and overrides need for housing.

Board Comment:

- The Board wanted neighbors' input. Presenter said open house happened after their July presentation, but no letters of support were offered by presenter
- Presenter said she would ask neighbor with view concerns for a letter of support
- ADU square footage had been increased from the July meeting. Presenter agreed it had been increased to by 380 sf from 302 sf because it is intended to support multi-generational occupancy
- FAR of dwelling unit was reduced by 0.06 FAR
- Concern expressed over basement sf contributing to FAR

Public Comment

- Staff mentioned that written comment was received from Phil Merten. Staff asked Chair Potter to allow Merten to speak. Merten said two board members had served on a committee to propose revisions to the PDO. One revision accepted by the City Council was to provide that FAR limits in the shores area PDO should comport with those citywide. Merten asked the board to apply the same standard to this project

Motion:

Lazerow moved to recommend denial due to excess bulk and scale, insufficient setbacks and insufficient stepback. Potter seconded. Ayes: 2, Nays: 2. Motion failed. No subsequent motions were made, resulting in no action taken by the board.

Action Item B – PTS 691672 – Baylor Residence

Location: 7951 Paseo Del Ocaso

APN: 346-512-0700

Description: The project consists of removing an existing two-story residence, garage, pool, site work, and shed and constructing a new two-story single-family residence with roof access and attached 2-car garage. Additional scope includes landscaping of the existing yard, construction of the new pool, spa, and perimeter fence on a 0.17-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Applicant/Project Contact:

Chandra Slaven, (619) 316-7645, chandraslaven@gmail.com

Presentation:

- Project proposes a 4,178-dwelling unit at 0.56 FAR
- Dwelling unit is harmonious with neighboring dwelling units
- Project consistent with La Jolla PDO and City regulations
- The dwelling unit is two stories with the garage setback 25' from street
- Side setback consistent with existing dwelling unit
- Four-foot setback on north side, 2'6" setback on south side
- Bulk and scale lauded by City
- Dwelling within 30' height limit
- House transparent overall
- Bedrooms on second level
- Stair on side with roof access

Board Comment:

- Northside of dwelling unit was closer to street than garage
- Photos of area requested. Architecture of dwelling unit alleged to be different from neighbors
- The Bulk and scale not in keeping with neighborhood. Could be precursor of entire street following this example of big bulk and scale. Presenter said other contemporary houses are in area
- Objection voiced over description of removing a two-story house, presenter said it is a one-story house existing
- Dwelling unit would shade a neighboring property. Presenter said they did outreach to neighbors but have received no response
- Objection voiced over south straight up down wall, the mass on the north side and its effect on neighborhood. Member suggested applicant come back in March with pics of other dwelling units on street

- Presenter said he could share pics of other dwelling units on street. Another applicant said project fits in
- Objection voiced over metal cladding, and covered staircase to roof is massive
- Applicant requested to return with information regarding comparison with neighboring development and suggested design changes to make it less jarring
- Support voiced for a continuance of the proposal
- Request made to soften concrete and metal elements, though appl said they already did, though board did not see previous design. Also, second story cantilevered over first story. Presenter said Planning approved the design and doesn't have any intentions of making any revisions.
- Presenter stated that they could accept a vote of denial so that the project can move forward.

Public Comment

- Guest Merten made the following comments:
- Other elevations need to be considered to make an informed decision and if it fits in with neighborhood. Merten said 2.5' side set back not in character with neighbors, particularly with metal cladding on the wall.
- The PDO states originality in architecture is encouraged but that no structure should be approved that is so different in form, material as to disrupt the architectural unity of the area. Presenter said that there are other dwelling units with same type of materials. Member said that the metal used made the dwelling unit look industrial.
- All elevations should be considered to decide if it fits in.

Motion:

Lazerow moved to recommend continuing the project to next month. Applicant said they had met with previous committee three times and made changes based on their suggestions. Moser moved to recommend denial for excess bulk and scale, lack of articulation on the sides, solid metal wall on north and south sides, and not compatible with neighborhood. Lazerow seconded. Ayes: 4, Nays: 0. Motion to deny passed 4-0-0.

Action Item C – PTS 695001 – Lohkemper Residence

Location: 7736 Moonridge Place

APN: 346-650-0300

Description: Addition to the main house and an audio suite connected by a catwalk to the main house on a 0.54-acre lot. The Applicant is seeking a recommendation that the proposed project is minor in scope (Process 1) from the Advisory Board.

Applicant/Project Contact:

Jesse Leon, (619) 733-8134, jesseleon@hotmail.com

Presentation:

- Addition of a gym to existing dwelling unit with rooftop deck above
- Applicant is seeking minor decision
- Project not visible from street
- Proposal to add 914 sf to existing 2-story dwelling unit
- North setback of 2'
- Upper level is at grade level with street
- Dwelling unit Height of 26'
- Gym not visible from street or either side of dwelling unit
- Fenestration limited to respect neighbor privacy
- Neighbors support proposal
- Audio room will be soundproofed to avoid noise complaints

Motion:

Lazerow moved to recommend approval as a minor project, Moser seconded.
Ayes: 4, Nays: 0. Motion passed 4-0-0.

Action Item D – PTS 696766 – Vines SDP/CDP

Location: 8457 Prestwick Drive

APN: 346-151-0500

Description: Remodel and addition to an existing two-story single-family residence on a 0.46-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Applicant/Project Contact:

Shani Sparks, EOS Architecture, (858) 459-0575, shani@eosarc.com

Presentation:

- Proposal to add 1800 sf to existing single-family 2-story residence
- Total sf of 6,700
- Maintaining front yard setback
- Modernizing design
- Side setbacks of 12' and 14'
- Not extending development into canyon in rear of property and not visible from canyon
- Proposed setbacks are consistent with setbacks in the neighborhood
- Small roof deck added for ocean view

- Pitched metal roof design
- 30' height limit observed at ridge of roof
- Exterior material palette includes wood siding, stone, decorative garage door

Board Comment:

- Question raised over what setback is on second level over garage. Presenter said setback on second level was 27'. Setback for garage 30'
- No step back on second story of north side alleged, though it is 15' setback from side. Member suggested stepping back second story 2'. Presenter requested to maintain design as is
- Lack of second story step back has implications for shade to neighbor
- This design is an improvement over old design

Motion:

Moser moved to recommend approval. Weissman seconded. Ayes: 4, Nays: 0.
Motion passed 4-0-0.

Next meeting date: March 16, 2022

Adjournment: 12:10 p.m.

Minutes taken by Tony Kempton, Associate Planner, Planning Department

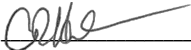
	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin:0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
---	---	---	---

Approval Type: *Check appropriate box for type of approval(s) requested:*
 Neighborhood Use Permit
 Coastal Development Permit
 Neighborhood Development Permit
 Site Development Permit
 Planned Development Permit
 Conditional Use Permit
 Variance
 Tentative Map
 Vesting Tentative Map
 Map Waiver
 Land Use Plan Amendment
 Other _____

Project Title: _____ **Project No. For City Use Only:** _____
Project Address: _____

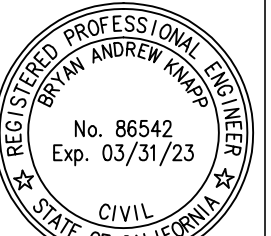
Specify Form of Ownership/Legal Status (please check):
 Corporation
 Limited Liability -or-
 General – What State? _____ Corporate Identification No. _____
 Partnership
 Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
Name of Individual: _____ Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature:  _____ Date: _____
Additional pages Attached: Yes No

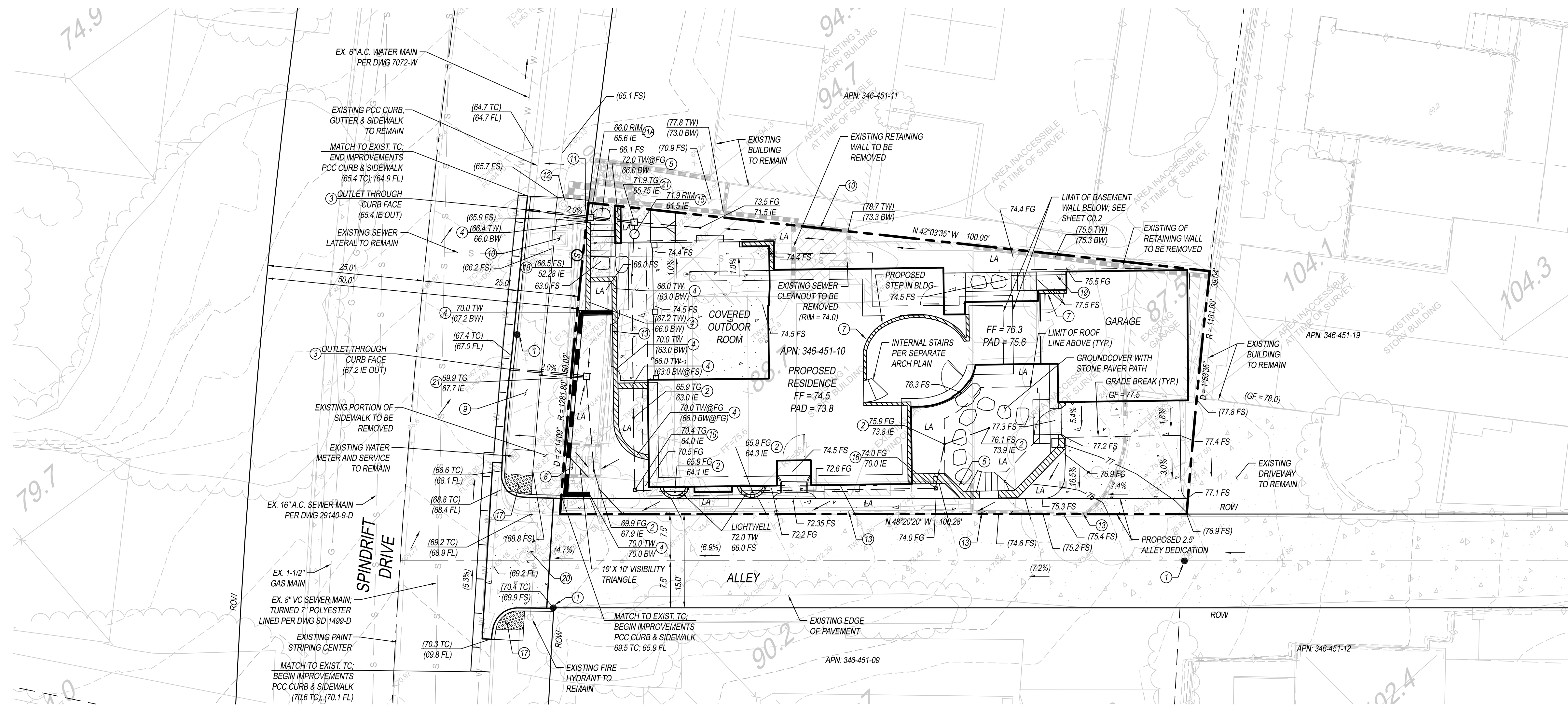
Applicant
Name of Individual: _____ Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: Yes No

Other Financially Interested Persons
Name of Individual: _____ Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: Yes No



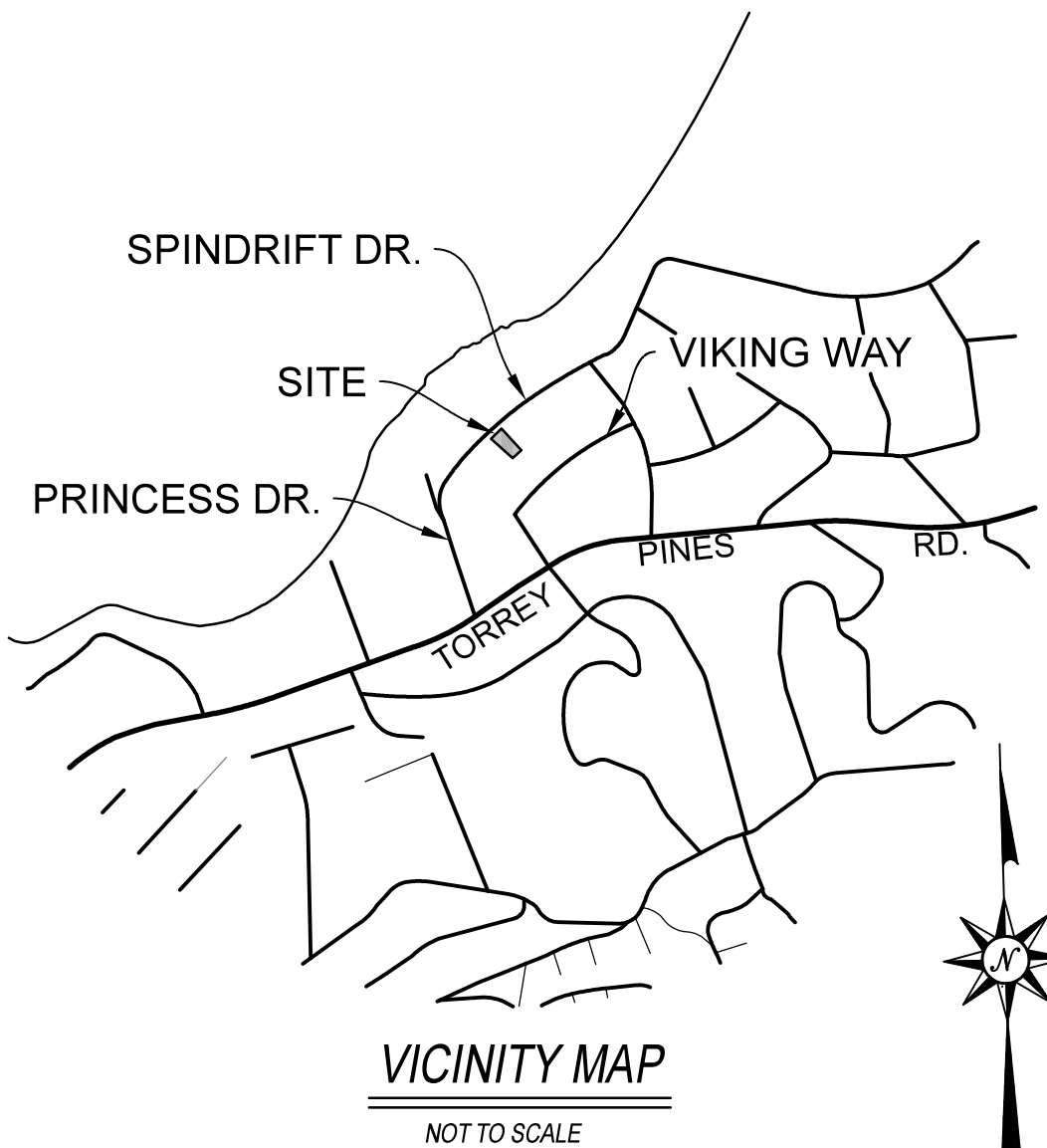
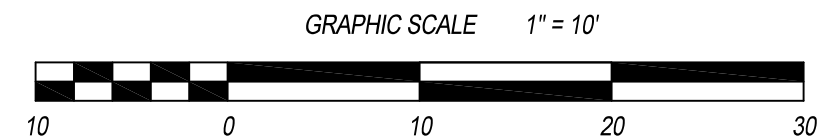
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 PLOT, MR, Checker
 DATE: 08/04

REVISIONS	DESCRIPTION	DATE



PLAN VIEW - SITE DRAINAGE PLAN

SCALE: 1" = 10' HORIZONTAL



OWNER

SOLE AND SEPARATE PROPERTY TRUST
 CHRIS HUBER & KIMBERLY FANELLI
 1851 SPINDRIFT DRIVE
 LA JOLLA, CALIFORNIA 92037

SITE INFORMATION

ADDRESS: 1851 SPINDRIFT DRIVE
 LA JOLLA, CALIFORNIA 92037
 APN: 346-451-10-00

ADT INFO:
 16 TRIPS
 (1 UNIT 10 ADT / DU RESIDENTIAL)
 (1 ADU 6 ADT / DU RESIDENTIAL)

LEGAL DESCRIPTION

LOT 40, LA JOLLA VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1762, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 1, 1923.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO VERTICAL CONTROL BOOK, BRASS PLUG IN CURB ON NORTHERLY CORNER OF VIKING WAY AND TORREY PINES ROAD.
 ELEVATION: 101.766
 DATUM: NGVD 29

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 2011, ESTABLISHED FROM GPS STATION CRTN S105 AND GPS STATION CRTN STATION P472. IE N 88°53'57"E.

SURVEY NOTE

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED ON MAY, 10 2017, BY:

PASCO, LARET, SUITER & ASSOCIATES
 1911 SAN DIEGO AVENUE, SUITE 100
 SAN DIEGO, CA 92110
 PH: (858) 259-8212

CIVIL SHEET INDEX

- SHEET C0.1 SITE DRAINAGE AND GRADES PLAN
- SHEET C0.2 SITE BASEMENT GRADES PLAN
- SHEET C0.3 STORM WATER BMP FORMS
- SHEET C0.4 TOPOGRAPHIC SURVEY MAP

GRADING TABULATIONS

TOTAL AMOUNT OF CUT	110 CY	BASEMENT INCLUDED TOTAL AMOUNT OF CUT	215 CY
AMOUNT OF FILL:	50 CY	AMOUNT OF FILL:	50 CY
MAXIMUM DEPTH OF CUT:	3.0 FT	MAXIMUM DEPTH OF CUT:	11.5 FT
MAXIMUM DEPTH OF FILL:	4.6 FT	MAXIMUM DEPTH OF FILL:	4.6 FT
NET EXPORT OF SOIL:	60 CY	NET EXPORT OF SOIL:	165 CY

IMPERVIOUS AREA TABULATIONS

TOTAL DISTURBED AREA:	4,453 SF
EXISTING ONSITE AREA:	4,453 SF
PROPOSED NEW / REPLACED IMPERVIOUS AREA:	3,117 SF
PROPOSED PERVIOUS AREA:	1,336 SF
% IMPERVIOUS:	70.0%
PROPOSED ONSITE AREA:	4,202 SF*

*SITE AREA AFTER 2.5' ALLEY DEDICATION

AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE NOTE

THIS PROJECT IS LOCATED WITHIN THE ASSS AREA. APPLICANT / PERMITEE SHALL COMPLY WITH ALL THE ASSS REQUIREMENTS AND THE MS4, STORM WATER REGULATIONS / REQUIREMENTS

VISIBILITY AREA NOTE

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN THE VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 38 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

CONSTRUCTION NOTES

- EXISTING SURVEY MONUMENT SHALL BE PROTECTED IN PLACE. MONUMENT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR WHO SHALL FILE A CORNER RECORD WITH THE COUNTY IF DISTURBED OR DESTROYED
- PROPOSED 4" AREA DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED 3" SIDEWALK UNDERDRAIN PIPE (X2) PER SDRSD D-27
- PROPOSED MASONRY RETAINING WALL TYPE 1 PER SDRSD C-03
- PROPOSED SITE WALL PER ARCHITECTURAL PLANS
- PROPOSED DEEPEINED FOOTING
- PROPOSED STEM WALL
- EXISTING RISERS TO BE REMOVED
- EXISTING PCC SIDEWALK TO BE REMOVED AND REPLACED
- EXISTING TRANSFORMER TO REMAIN
- EXISTING PULLBOX TO REMAIN
- EXISTING COX RISER TO BE REMOVED
- EXISTING RETAINING WALL TO BE REMOVED
- PROPOSED TEMPORARY SHORING WALL TO CONSTRUCT BASEMENT WALLS LIMITS SHOWN HEREON APPROXIMATE
- PROPOSED SUMP PUMP
- PROPOSED STORM DRAIN CLEANOUT
- PROPOSED CURB RAMP PER SDRSD G-31, TYPE-D
- PROPOSED SEWER CLEANOUT PER SDRSD SC-01
- PROPOSED DEEPEINED EDGE
- PROPOSED ALLEY APRON PER SDRSD G-17
- PROPOSED 12"x12" BROOKS BOX CATCH BASIN WITH GRATED INLET
- PROPOSED 12"x12" BROOKS BOX CATCH BASIN WITH COVERED LID

EASEMENT NOTES

- AN EXISTING EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR UNDERGROUND PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED JULY 22, 2004 PER DOCUMENT #2004-088426

EASEMENTS SHOWN HEREON PER PRELIMINARY TITLE REPORT PREPARED BY: LAWYERS TITLE COMPANY, DATED: 02/08/2021

LEGEND

SUBJECT PROPERTY / SUBDIVISION BOUNDARY	---
EXISTING RIGHT-OF-WAY / ADJACENT LOT LINE	---
CENTERLINE OF ROAD	---
EXISTING EASEMENT	---
PROPOSED 2.5' ALLEY DEDICATION	---
EXISTING CURB & GUTTER	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
PROPOSED PCC PAVEMENT	---
PROPOSED STEM WALL	---
PROPOSED DEEPEINED FOOTING	---
PROPOSED RETAINING WALL	---
PROPOSED TEMPORARY SHORING WALL	---
PROPOSED LIGHTWELL WALL	---
PROPOSED 3" SIDEWALK UNDERDRAIN PIPE (X2)	---
EXISTING SEWER MAIN (SIZE PER PLAN)	---
EXISTING WATER MAIN (SIZE PER PLAN)	---
EXISTING GAS MAIN (SIZE PER PLAN)	---

NOTE: PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OF SPECIFICATIONS. (NEW ISSUE)

POST-CONSTRUCTION SITE DESIGN BMPS

- SD-1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES
- SD-3 MINIMIZE IMPERVIOUS AREA
- SD-4 MINIMIZE SOIL COMPACTION
- SD-5 IMPERVIOUS AREA DISPERSION
- SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES

SOURCE CONTROL / LID BMPS

- SC-1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4
- SC-6 ADDITIONAL BMPS BASED ON POTENTIAL RUNOFF POLLUTANTS: D2 LANDSCAPE DESIGN / OUTDOOR PESTICIDE USE
- G REFUSE AREAS
- P PLAZAS, SIDEWALKS, AND PARKING LOTS: PARKING STALLS WILL BE SWEEPED AND CLEANED REGULARLY TO AVOID BUILDUP OF DEBRIS AND LITTER

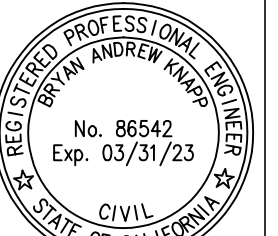
NOTE: PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

1851 SPINDRIFT
 1851 Spindrift, La Jolla, CA 92037

CO.1

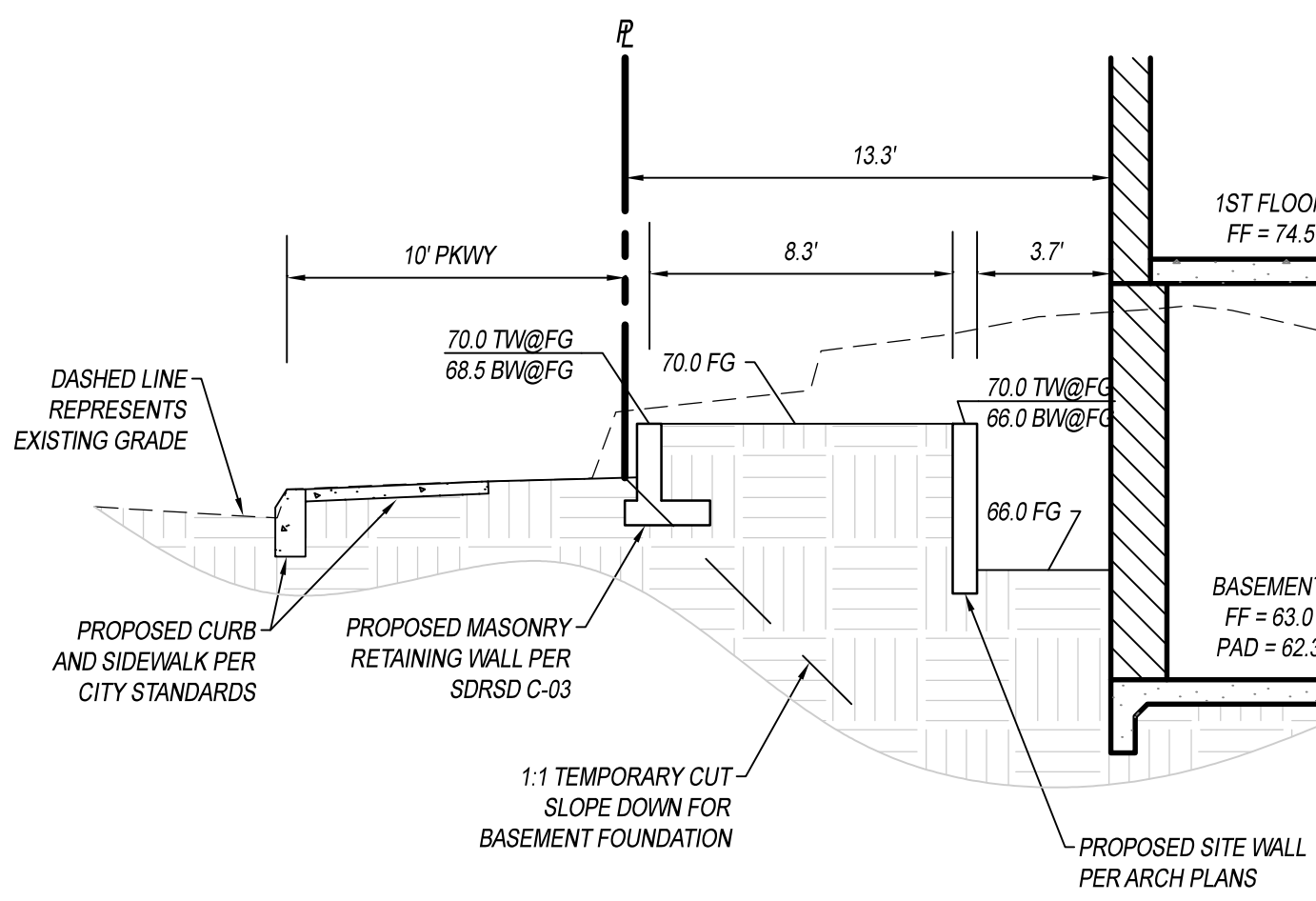
PRELIMINARY SITE DRAINAGE PLAN

05/12/21

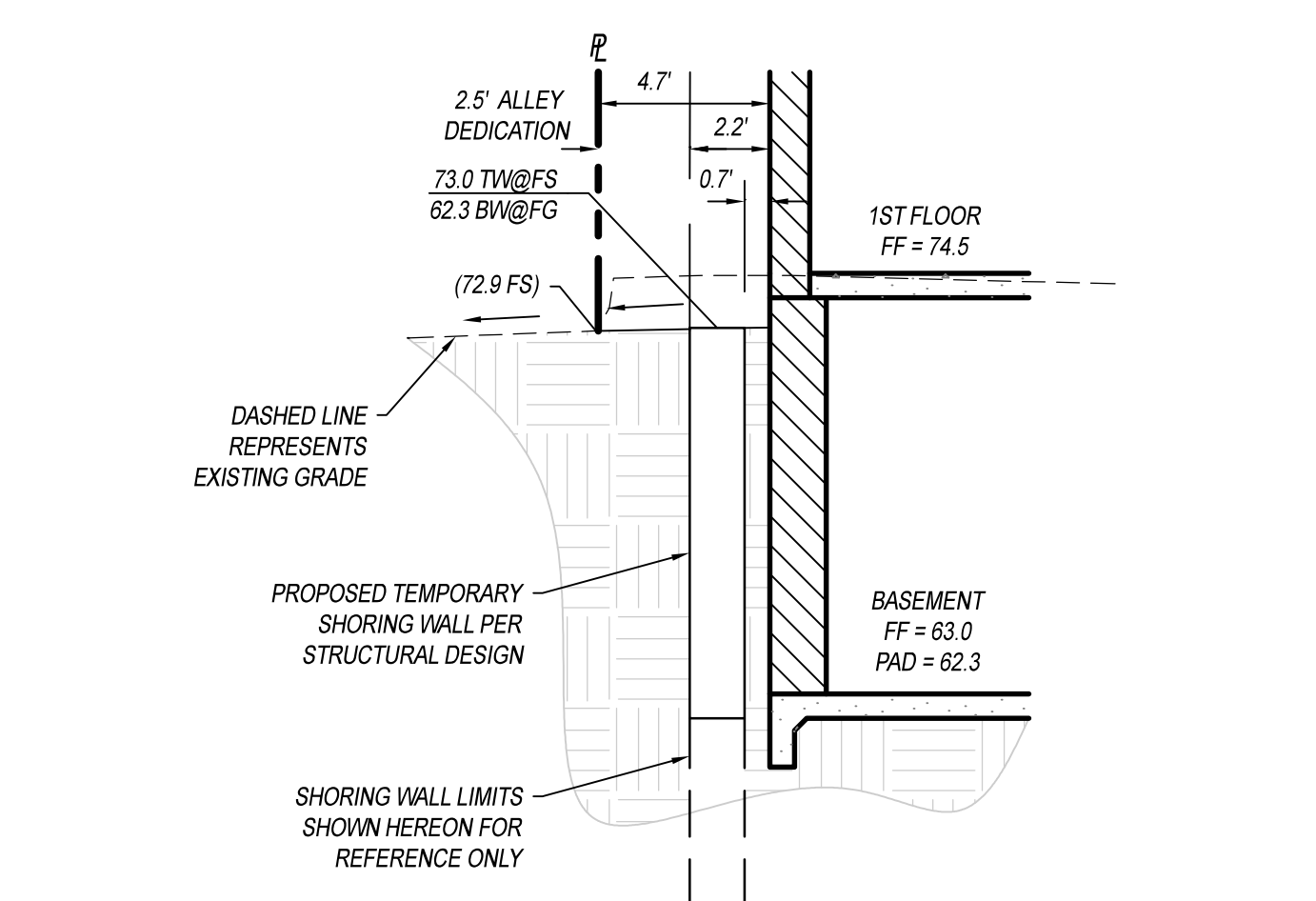


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 Date: 08/04/23

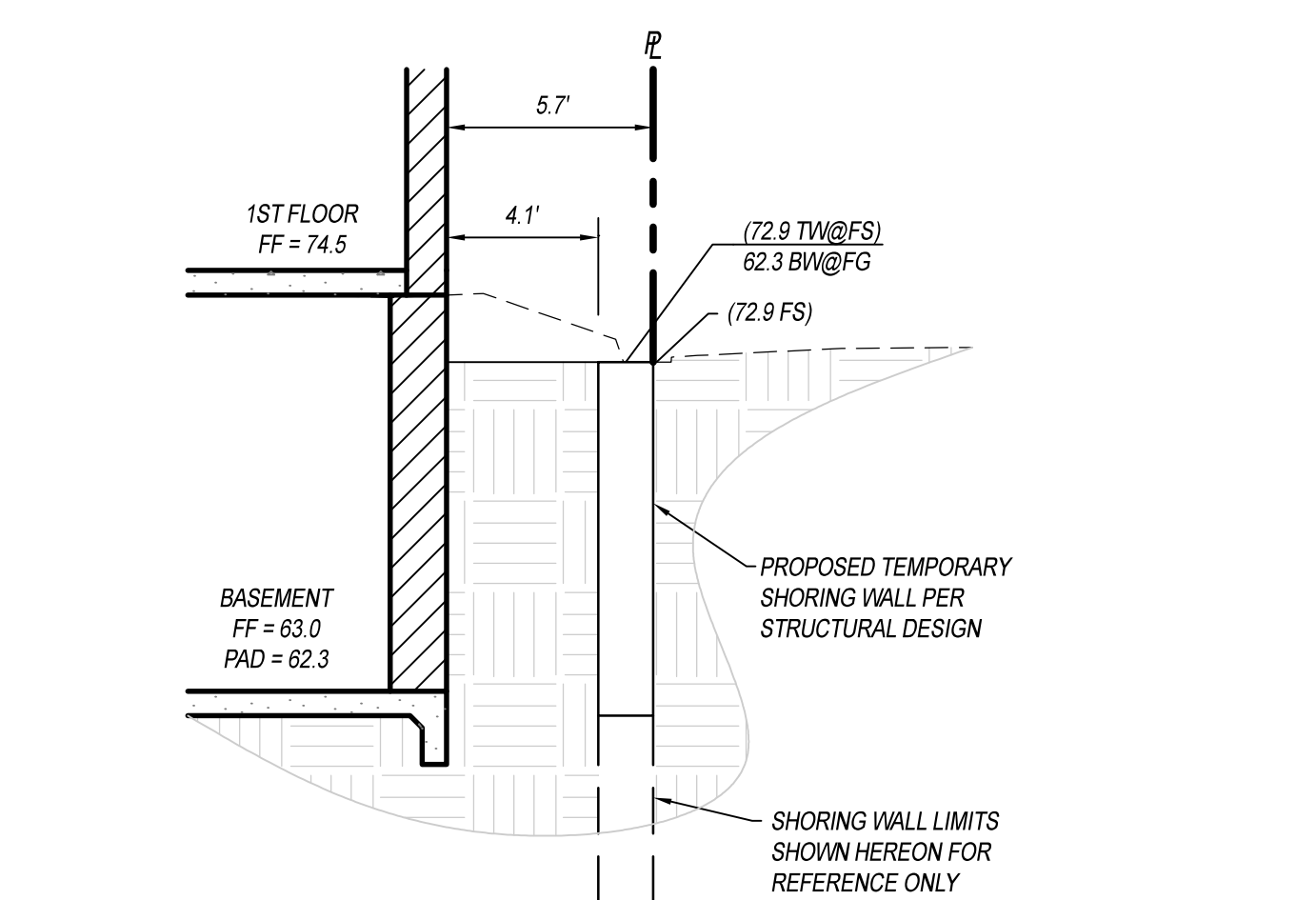
REVISIONS	DESCRIPTION	DATE



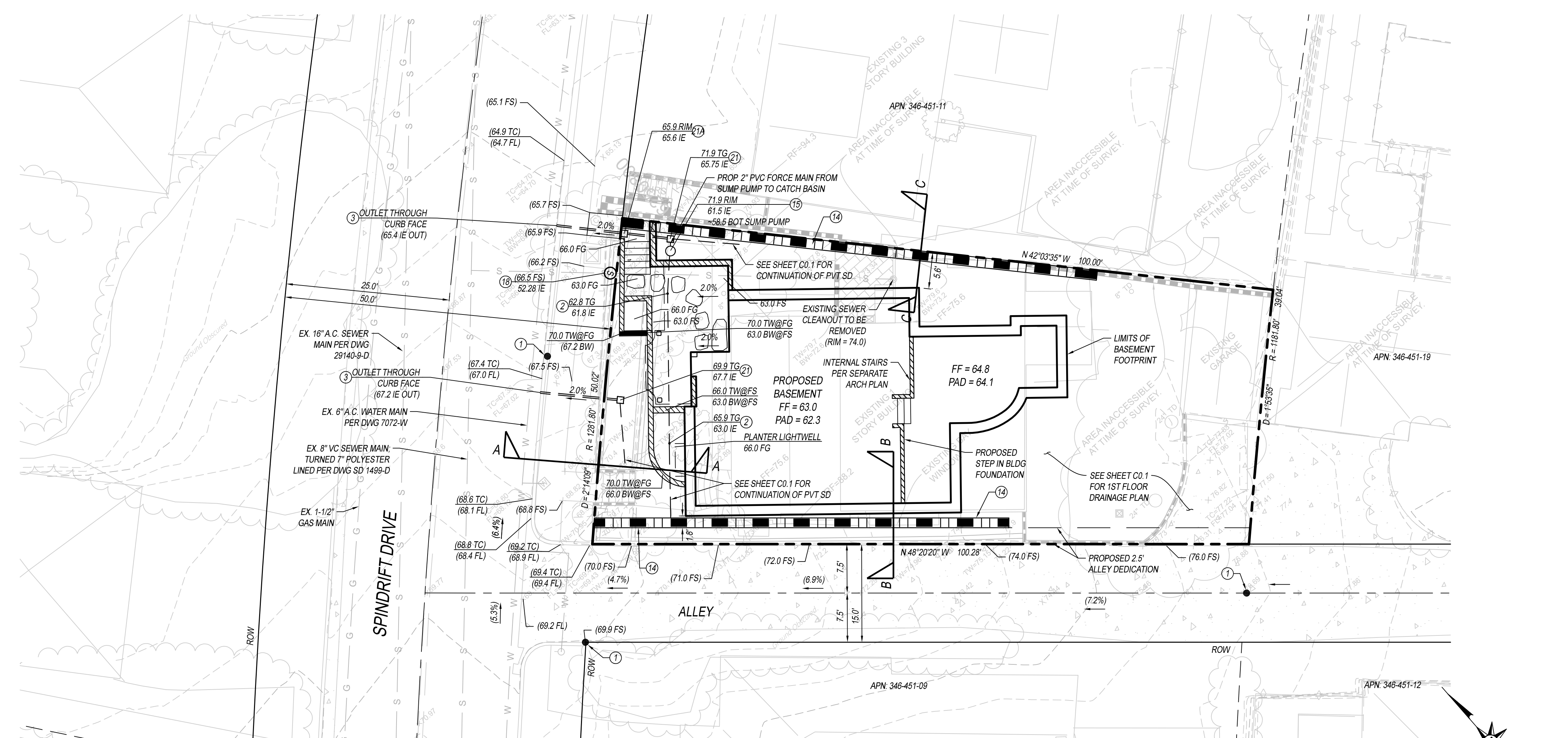
SECTION A-A
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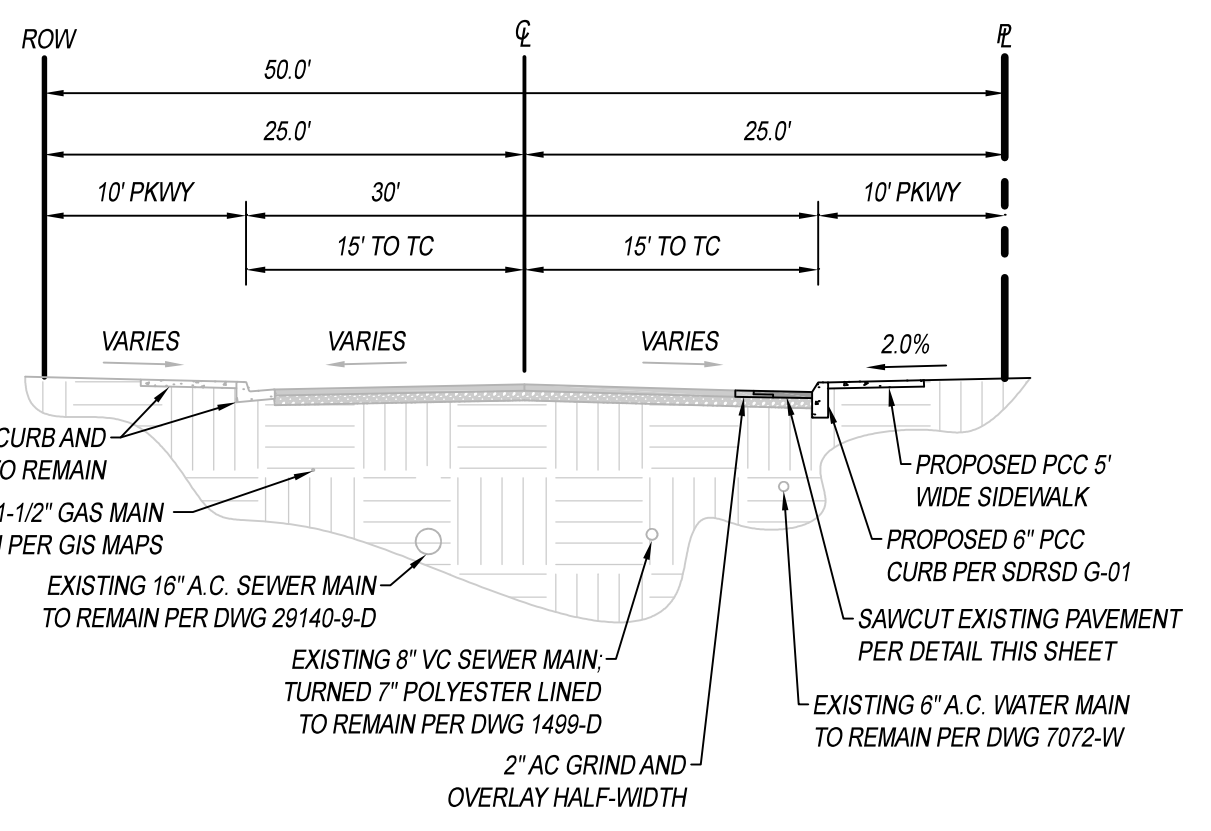
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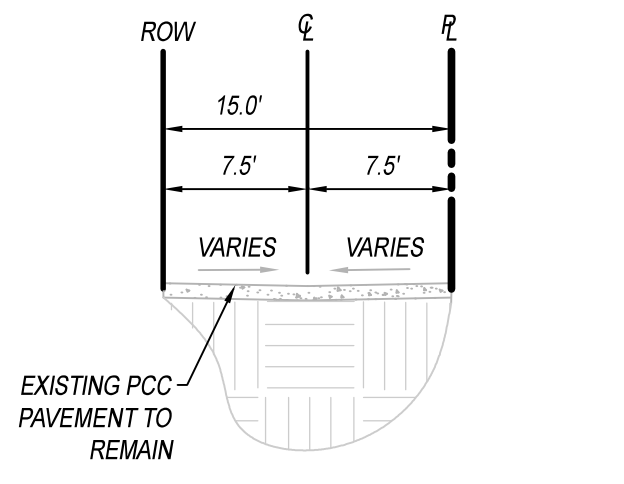
SECTION C-C
 SCALE: NOT TO SCALE



PLAN VIEW - SITE BASEMENT PLAN
 SCALE: 1" = 10' HORIZONTAL



TYPICAL SECTION - SPINDRIFT DRIVE
 SCALE: NOT TO SCALE



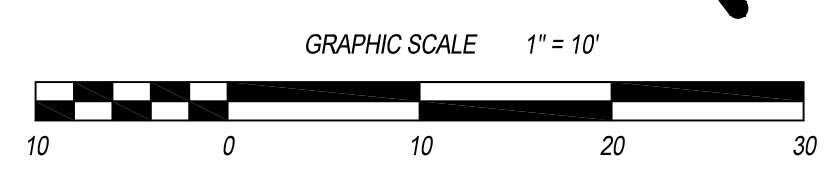
TYPICAL SECTION - ALLEY
 SCALE: NOT TO SCALE

CONSTRUCTION NOTES

- 1 EXISTING SURVEY MONUMENT SHALL BE PROTECTED IN PLACE. MONUMENT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR WHO SHALL FILE A CORNER RECORD WITH THE COUNTY IF DISTURBED OR DESTROYED
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- 3 PROPOSED 3" SIDEWALK UNDERDRAIN PIPE (X2) PER SDRSD D-27
- 4 PROPOSED MASONRY RETAINING WALL TYPE 1 PER SDRSD C-03
- 5 PROPOSED SITE WALL PER ARCHITECTURAL PLANS
- 6 PROPOSED DEEPEINED FOOTING
- 7 PROPOSED STEM WALL
- 8 EXISTING RISERS TO BE REMOVED
- 9 EXISTING PCC SIDEWALK TO BE REMOVED AND REPLACED
- 10 EXISTING TRANSFORMER TO REMAIN
- 11 EXISTING PULLBOX TO REMAIN
- 12 EXISTING COX RISER TO BE REMOVED
- 13 EXISTING RETAINING WALL TO BE REMOVED
- 14 PROPOSED TEMPORARY SHORING WALL TO CONSTRUCT BASEMENT WALLS LIMITS SHOWN HEREON APPROXIMATE
- 15 PROPOSED SUMP PUMP
- 16 PROPOSED STORM DRAIN CLEANOUT
- 17 PROPOSED CURB RAMP PER SDRSD G-31, TYPE-D
- 18 PROPOSED SEWER CLEANOUT PER SDRSD SC-01
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- 21 PROPOSED 12"x12" BROOKS BOX CATCH BASIN WITH GRATED INLET
- 22 PROPOSED 12"x12" BROOKS BOX CATCH BASIN WITH COVERED LID

LEGEND

SUBJECT PROPERTY / SUBDIVISION BOUNDARY	---
EXISTING RIGHT-OF-WAY / ADJACENT LOT LINE	---
CENTERLINE OF ROAD	---
EXISTING EASEMENT	---
PROPOSED 2.5' ALLEY DEDICATION	---
EXISTING CURB & GUTTER	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
PROPOSED PCC PAVEMENT	---
PROPOSED STEM WALL	---
PROPOSED DEEPEINED FOOTING	---
PROPOSED RETAINING WALL	---
PROPOSED TEMPORARY SHORING WALL	---
PROPOSED LIGHTWELL WALL	---
PROPOSED 3" SIDEWALK UNDERDRAIN PIPE (X2)	---
EXISTING SEWER MAIN (SIZE PER PLAN)	S
EXISTING WATER MAIN (SIZE PER PLAN)	W
EXISTING GAS MAIN (SIZE PER PLAN)	G



1851 SPINDRIFT
 1851 Spindrift, La Jolla, CA 92037

C0.2

SITE BASEMENT GRADING PLAN



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JOB #: 1000
DESIGN BY: Author
PLOT, MGR, CHECKER
DATE: NONE

REVISIONS

DESCRIPTION DATE

City of San Diego Development Services **Storm Water Requirements Applicability Checklist** FORM DS-560 November 2018

Project Address: 1851 SPINDRIFT DRIVE, LA JOLLA, CA 92073 Project Number: xxxxxx

SECTION 1. Construction Storm Water BMP Requirements:
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

- Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 Yes; SWPPP required, skip questions 2-4 No; next question
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?
 Yes; WPCP required, skip questions 3-4 No; next question
- Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes; WPCP required, skip question 4 No; next question
- Does the project only include the following Permit types listed below?
 - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
 - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
 - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a **SWPPP is REQUIRED. Continue to PART B**

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a **WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.**

If you checked "No" for all questions 1-3, and checked "Yes" for question 4 **PART B does not apply and no document is required. Continue to Section 2.**

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.
DS-560(11-18)

Clear Page 1

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

- ASBS**
a. Projects located in the ASBS watershed.
- High Priority**
a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed.
b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.
- Medium Priority**
a. Projects that are not located in an ASBS watershed or designated as a High priority site.
b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed.
c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.
- Low Priority**
a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

SECTION 2. Permanent Storm Water BMP Requirements.
Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No
- Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

Clear Page 2

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? Yes; PDP exempt requirements apply No; next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
 Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SQMP).

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- New development or redevelopment of a restaurant.** Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. Yes No
- New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** Yes No
- New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

Clear Page 3

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

- New development or redevelopment discharging directly to an Environmentally Sensitive Area.** The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA), "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No
- New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.** The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No
- New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces.** Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5941, 7532-7534, or 7536-7539. Yes No
- Other Pollutant Generating Project.** The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

- The project is **NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.**
- The project is a **STANDARD DEVELOPMENT PROJECT.** Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is **PDP EXEMPT.** Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is a **PRIORITY DEVELOPMENT PROJECT.** Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management

Bryan Knapp, PE #86542 Civil Engineer
Name of Owner or Agent (Please Print) Title
Signature Date: 05/04/2021

Clear Page 4
Clear Form

TOPOGRAPHIC AND BOUNDARY SURVEY

SPINDRIFT DRIVE PRIVATE RESIDENCE

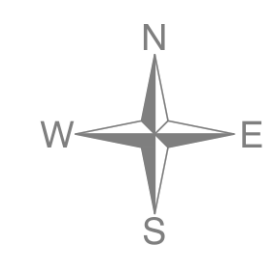
TOPOGRAPHIC SURVEY MAP -- 1851 SPINDRIFT DRIVE

SHEET 2 OF 2 SHEETS
PLSA JOB # 2719



LEGEND

- FOUND MONUMENT AS INDICATED
- () RECORD BOUNDARY DATA PER PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- - - ADJOINING PROPERTY LINE
- - - TIE LINE / REFERENCE LINE
- - - EASEMENT LINE
- FENCE
- WALL
- WALL
- BUILDING OUTLINE
- BUILDING OVERHANG
- - - INDEX CONTOUR LINE
- - - INTERMEDIATE CONTOUR LINE
- SPOT ELEVATION
- CONCRETE
- ▨ BRICK
- ▩ ASPHALT
- ⊠ METER - WATER
- ⊡ VAULT
- ⊞ UTILITY BOX
- ⊕ FIRE HYDRANT
- ⊖ VALVE - WATER
- ⊙ CLEANOUT
- ⊗ RISER - COMMUNICATION
- ⊘ GATE
- ⊙ TREE/DECIDUOUS
- ⊙ SHRUB
- ⊙ TREE/PALM AERIAL
- ⊙ TREE AERIAL
- ⊙ VEGETATION
- FF FINISH FLOOR
- RF ROOF
- CONC. CONCRETE
- ASPH. ASPHALT



FOR PAPER SHEET SIZE OF 36"X24"
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1851
 SPINDRIFT
 1851 Spindrift, La Jolla, CA 92037

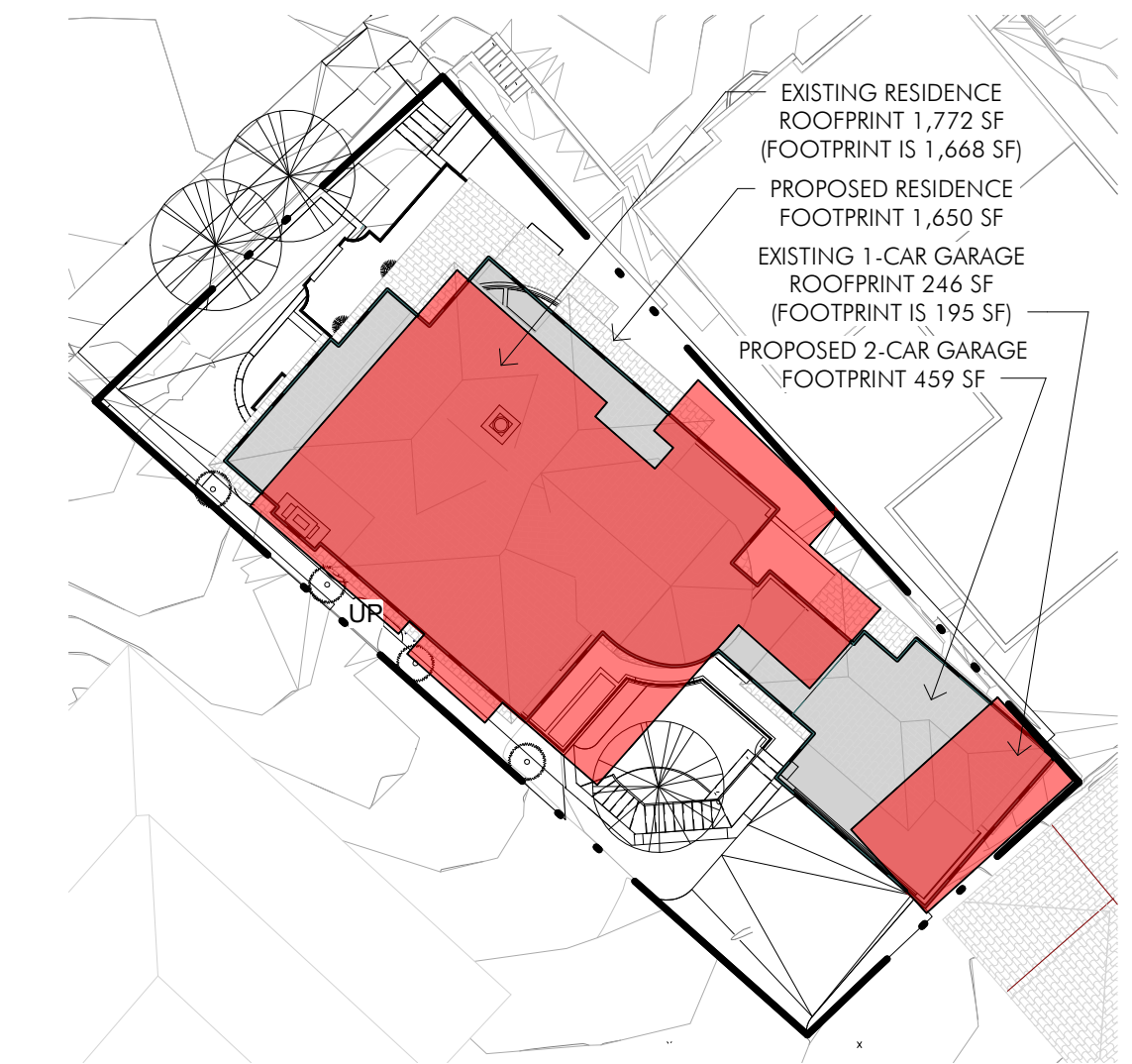
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TOPOGRAPHIC SURVEY MAP
 05/12/21

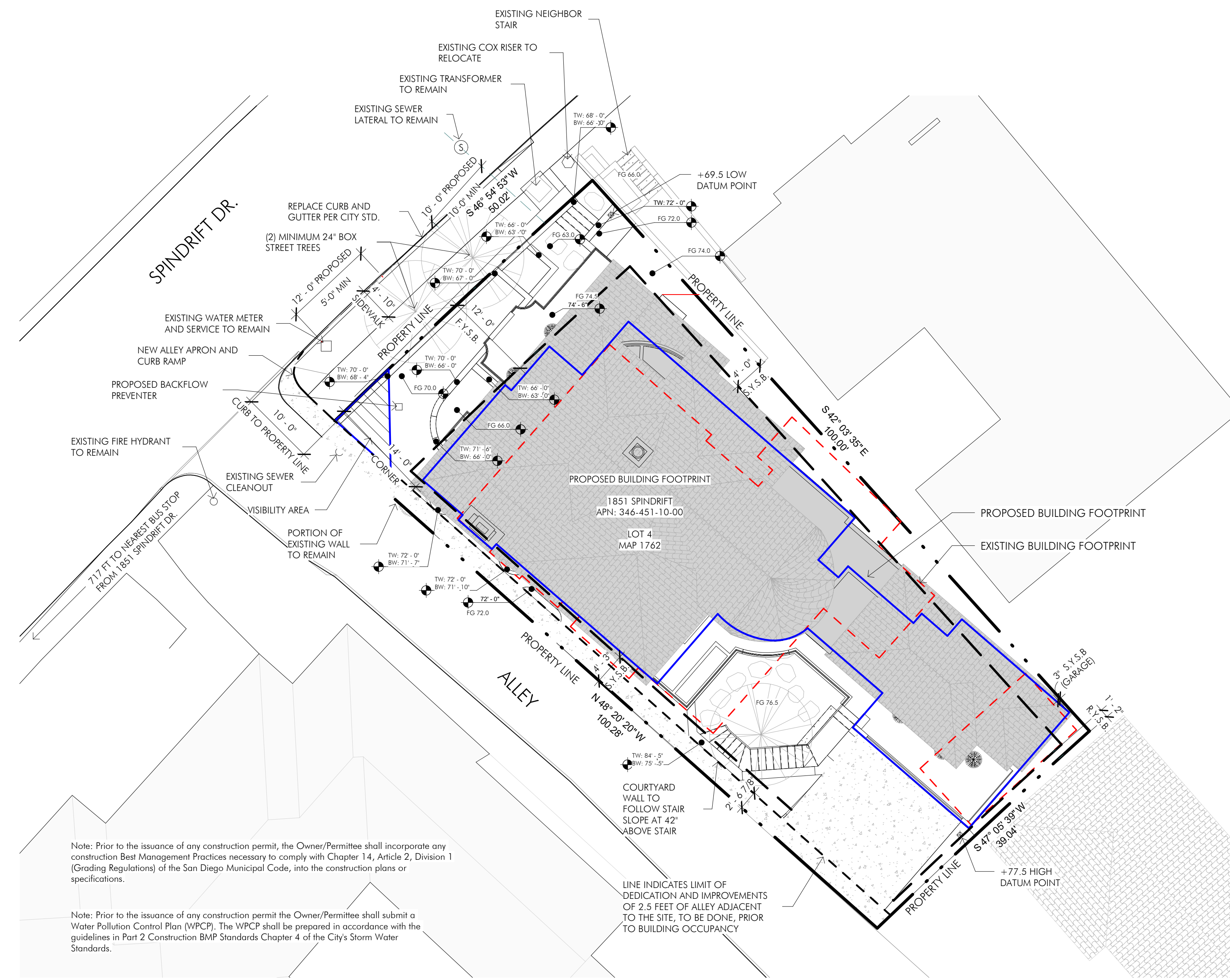
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SITE NOTES

1. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
2. PER FHPS POLICY 9.00.6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
3. THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
4. THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
5. ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
6. FIRE HYDRANTS, 03 @ 14'-10", 360" - 6" & 418'-0" FROM PROPERTY SEE SITE PLAN.
7. REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPs, AND WCPC.
8. NO EXISTING OR PROPOSED TRANSIT STOPS WITHIN 300' OF PROPERTY.
9. WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
10. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - i. Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change
 - ii. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.



EXISTING FOOTPRINT OVERLAY SCALE 1"=20'-0" 2

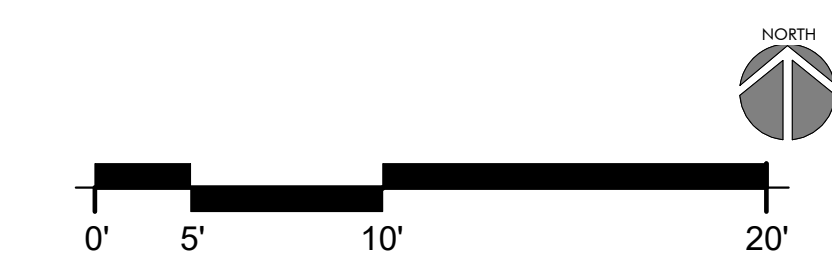


Note: Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

Note: Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LINE INDICATES LIMIT OF DEDICATION AND IMPROVEMENTS OF 2.5 FEET OF ALLEY ADJACENT TO THE SITE, TO BE DONE, PRIOR TO BUILDING OCCUPANCY

SITE PLAN 1"=10'-0" 1



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	7626 Herschel Avenue	Revision 06:	_____
	La Jolla, CA 92037	Revision 05:	_____
Phone:	(858) 459-9291	Revision 04:	_____
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		Revision 02:	_____
Project Name:	1851 SPINDRIFT	Revision 01:	_____
		Original Date:	_____
Sheet Title:	SITE PLAN	Sheet:	6 of 16
		DEP#:	_____

ISLAND ARCHITECTS
 TONY CRISAFI, LISA KRIEDERMAN, P.A.
 7626 HERSCHEL AVENUE
 LA JOLLA, CA 92037
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1851 SPINDRIFT
 1851 Spindrift Drive, La Jolla, CA 92037

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SITE PLAN

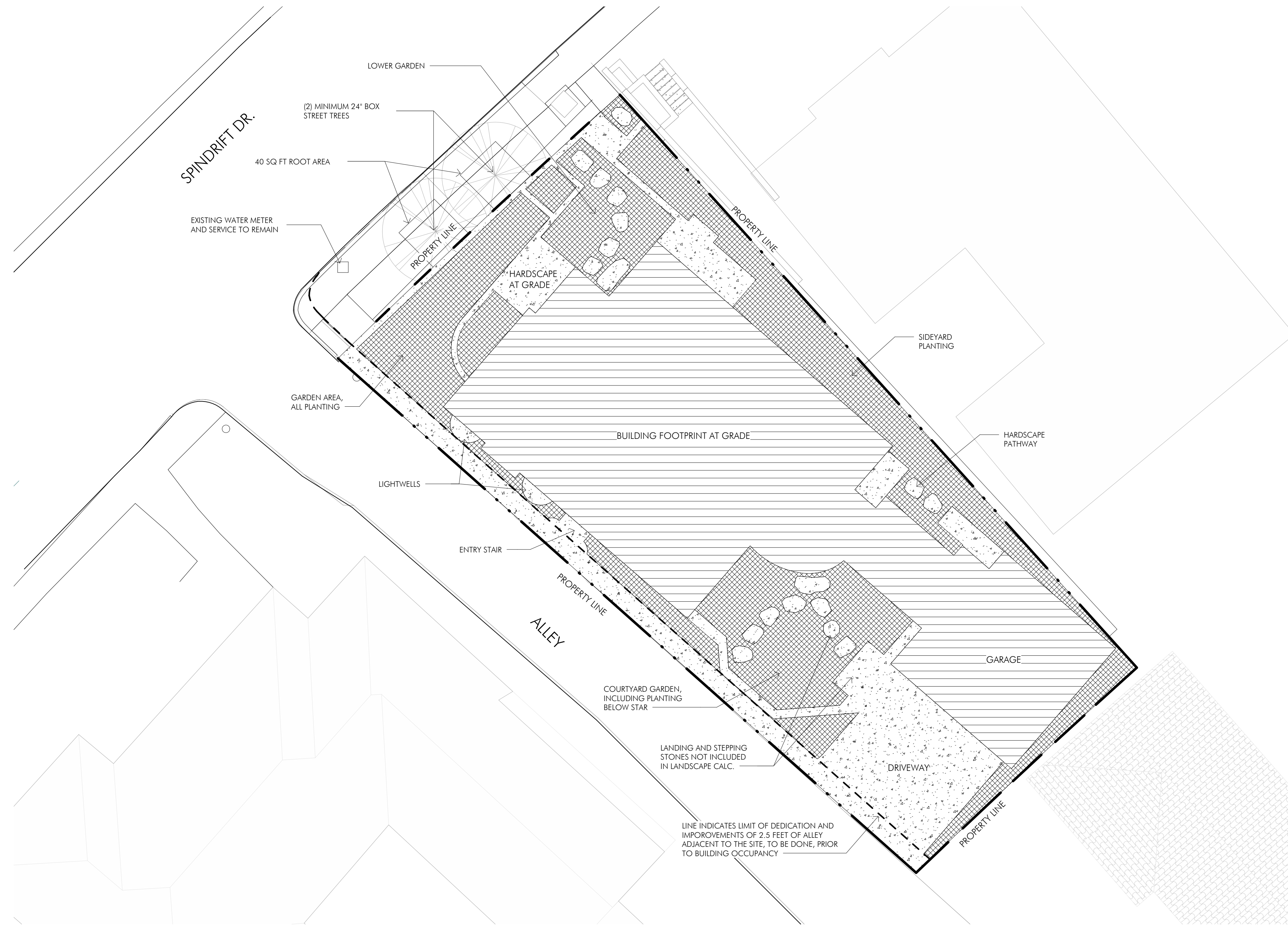
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Area Legend

	BUILDING	2,109 SQ. FT.	47%
	HARDSCAPE	1,005 SQ. FT.	23%
	LANDSCAPE	1,339 SQ. FT.	30%
LOT TOTAL:		4,453 SQ. FT.	100%

Landscape Notes

- In the Single-Family Zone, all of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped (planting/pervious areas) and may include native materials, and in no case shall this landscaped area be less than 30 percent of the total parcel area. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual.
- All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence.
- All landscaped material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material.
- MINIMUM TREE SEPARATION DISTANCE
 Traffic signals / stop signs - 20 feet
 Underground utility lines - 5 feet (10' for sewer)
 Above ground utility structures - 10 feet
 Driveway (entries) - 10 feet (5' for residential streets < 25mph)
 Intersections (intersecting curb lines of two streets) - 25 feet
- A minimum root zone of 40-sqft in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet.
- Non-biodegradable tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees.
- All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards
- Maintenance: All required landscape areas shall be maintained by owner. Landscape and irrigation areas in the public right-of-way shall be maintained by owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches per SDMC 142.0413(c), excluding slopes requiring revegetation per SDMC 142.0411.
- Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball. Please clearly identify the installation of root barriers in the locations subject to these conditions per 142.0403(b).
- Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per the SDMC 142.0403(b)(11).
- All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning per SDMC 142.0403(b)(8). Topping of trees is not permitted.

Planting Development Plan Per La Jolla Community Plan

- Examples (all minimum 24-in box):
- Bauhinia blakeana (Orchid Tree)
 - Cassia leptophylla (Gold Medallion)
 - Jacaranda mimosifolia (Jacaranda)
 - Melaleuca quinquenervia (Cajuput Tree)
 - Metrosideros excelsus (New Zealand Christmas Tree)
 - Tabebuia avellanedae (Trumpet Tree)
 - Tristania confertiflora (Brisbane Box)
- See Plan for Locations of Proposed Street Trees

CITY STANDARD TITLE BLOCK

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		Revision 02:	_____
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Sheet Title:	LANDSCAPE DIAGRAM	Original Date:	_____
		Sheet:	7 of 16
		DEP#:	_____

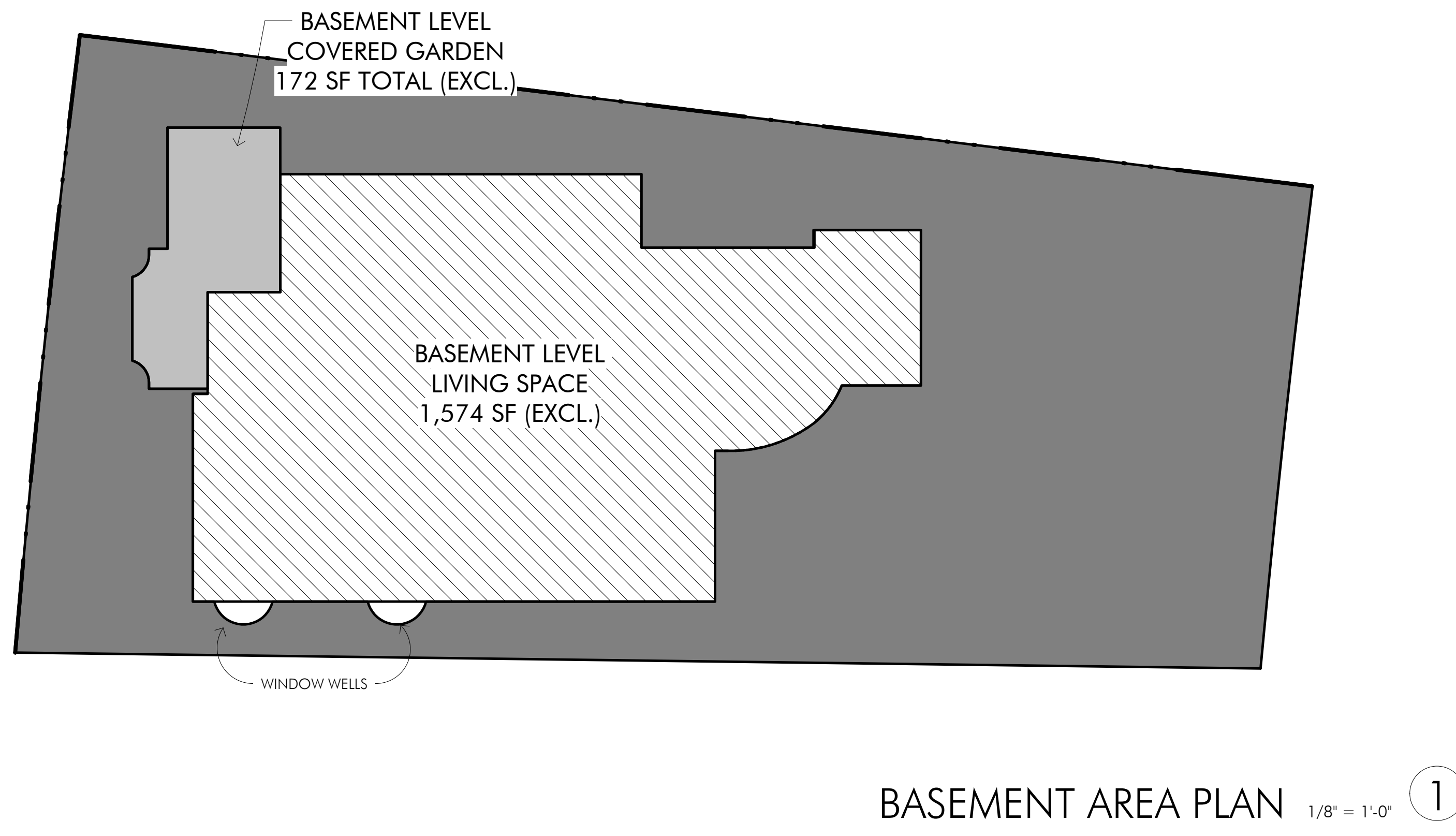
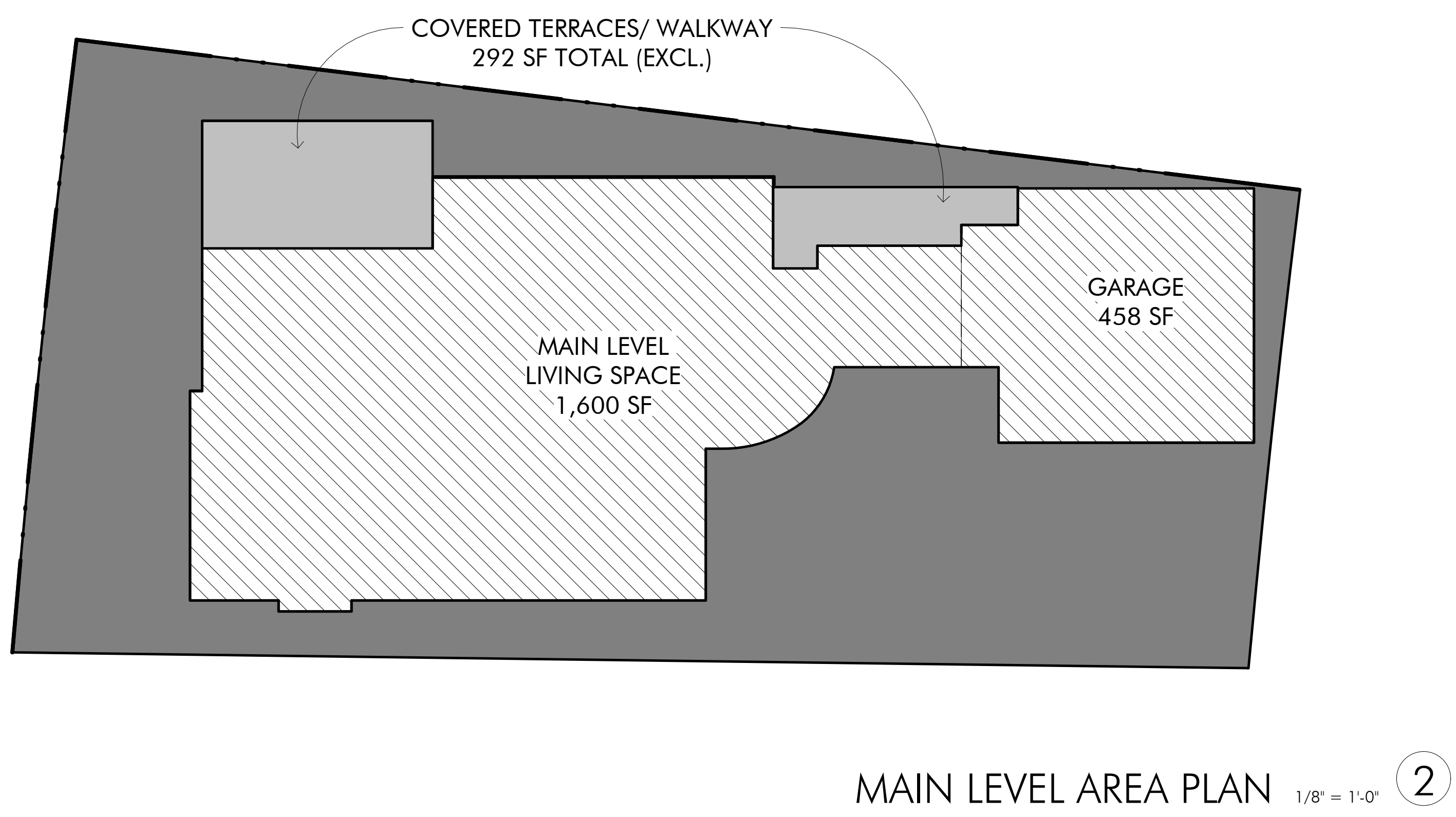
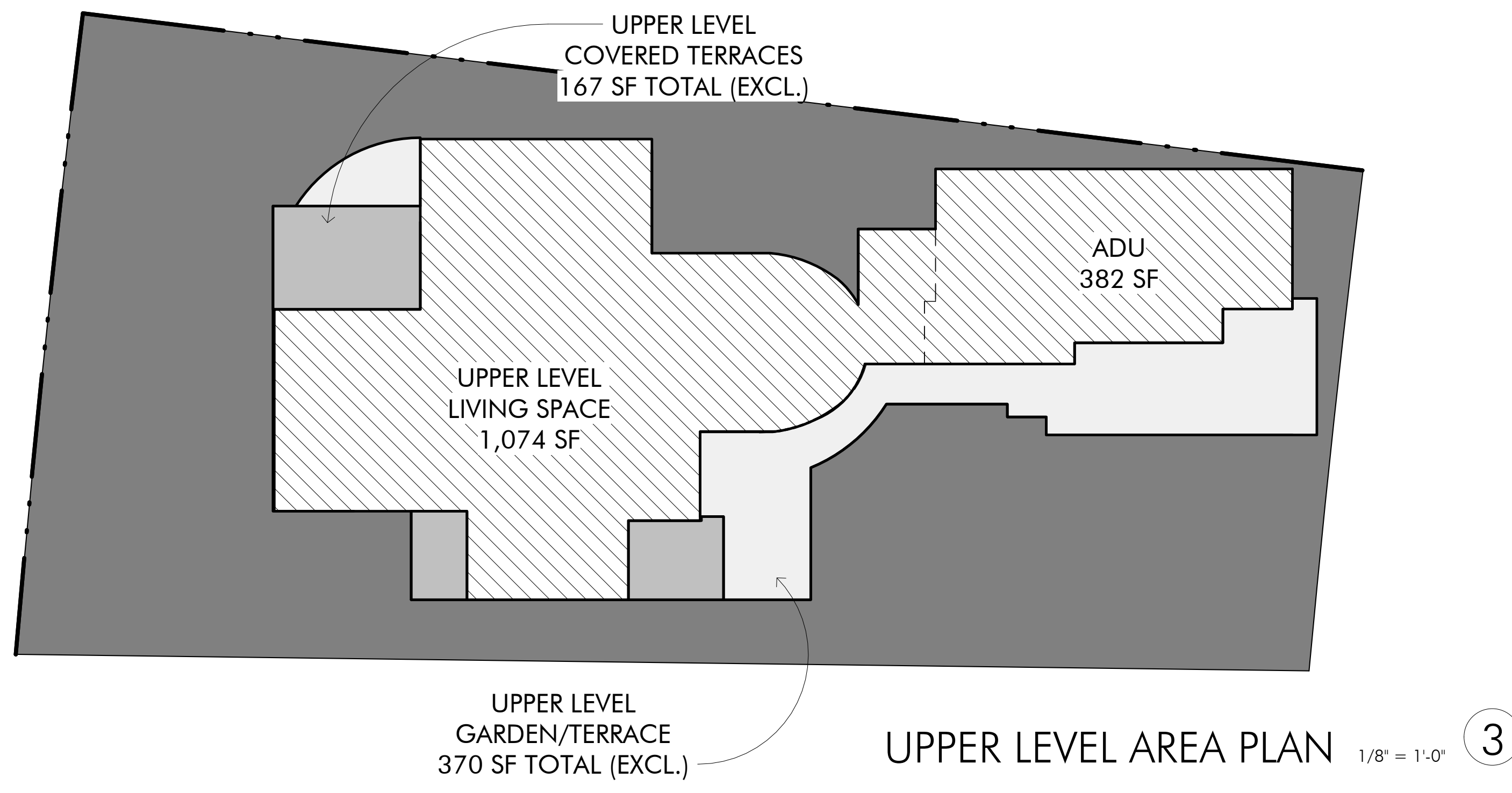
LANDSCAPE DIAGRAM 1/8" = 1'-0" 1



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INCLUDED IN GROSS FLOOR AREA

MAIN LEVEL	2,058 SF
LIVING AREA	1,600 SF
GARAGE AREA	458 SF
UPPER LEVEL	1,456 SF
LIVING AREA	1,074 SF
A.D.U. LIVING AREA	382 SF
TOTAL	3,514 SF
SITE AREA	4,453 SF

EXCLUDED FROM GROSS FLOOR AREA

BASEMENT LEVEL	1,574 SF
MAIN LEVEL COVERED TERRACES	292 SF
UPPER LEVEL COVERED TERRACES	167 SF
TOTAL	2,033 SF

AREA TABULATIONS BY USE

PRIMARY DWELLING	2,674 SF / .60 FAR
ACCESSORY DWELLING	382 SF / .09 FAR
GARAGE	458 SF / .10 FAR
TOTAL	3,514 / .79 FAR

CITY STANDARD TITLE BLOCK

Prepared By: Island Architects

Name: _____

Contact: Haley Duke
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 La Jolla, CA 92037

Phone: (858) 459-9291

Street Address: 1851 Spindrift Drive, La Jolla, CA 92037

Project Name: 1851 SPINDRIFT

Sheet Title: AREA PLANS

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1851 SPINDRIFT
 1851 Spindrift Drive, La Jolla, CA 92037

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AREA PLANS

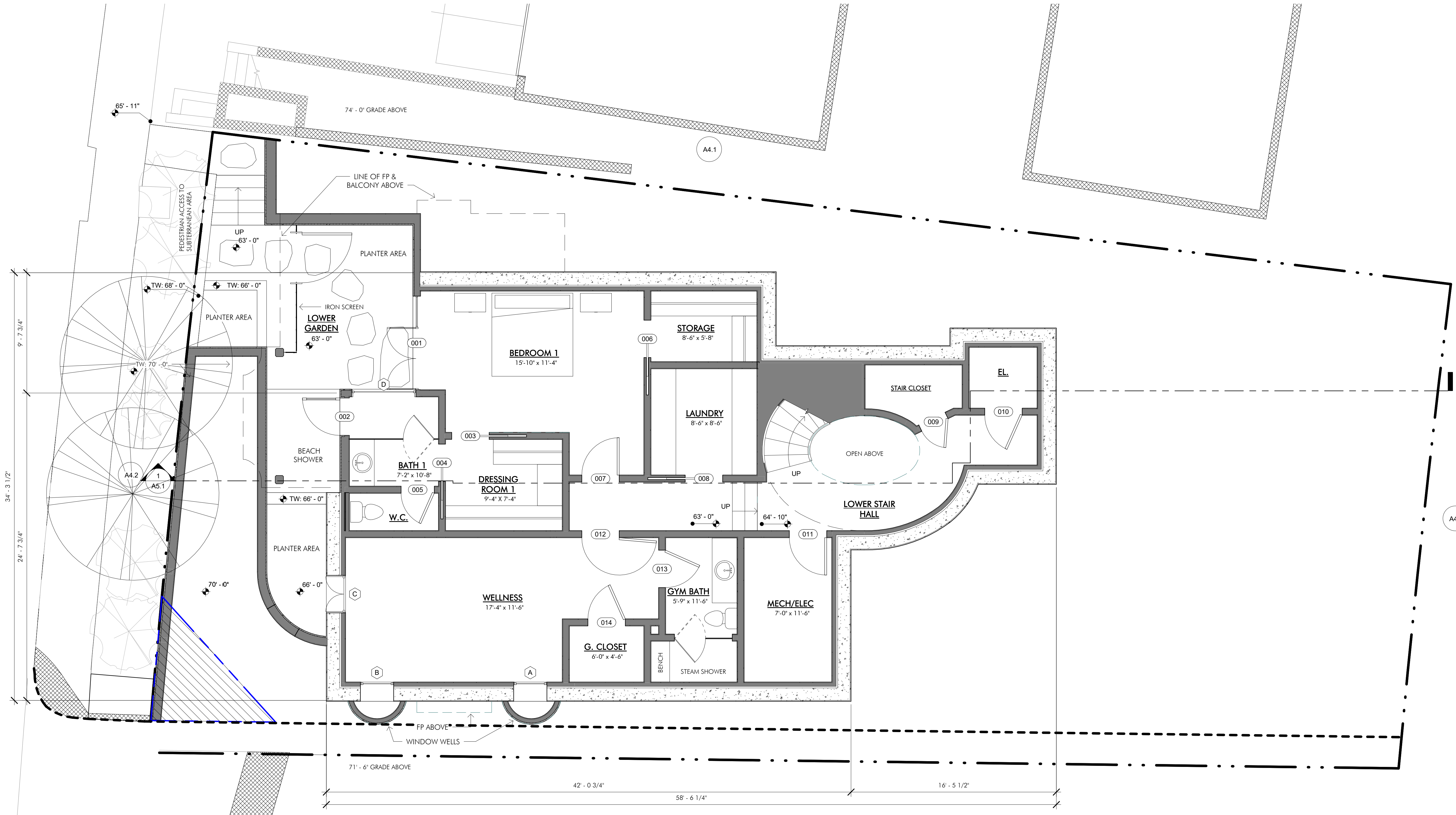
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BASEMENT FLOOR PLAN 1/4" = 1'-0"

1



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		Revision 01:	_____
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		Sheet:	9 of 16
		DEP#:	_____

1851 SPINDRIFT
1851 Spindrift Drive, La Jolla, CA 92037

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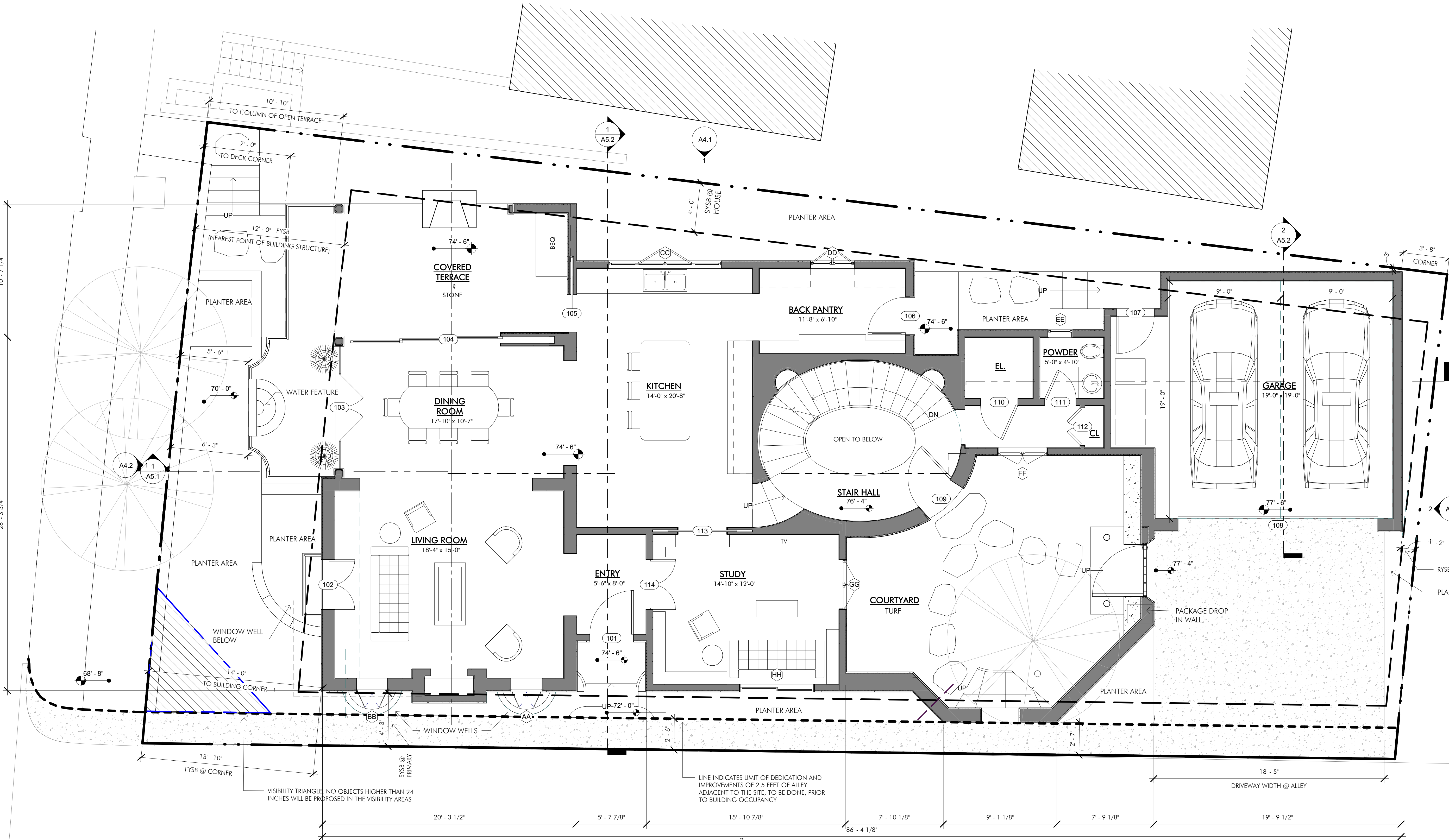
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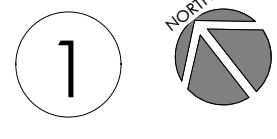


Parking:
The minimum parking requirements per
SDMC Table 142-05B
Proposed Single Family Unit: 2 Spaces/unit
Accessory Dwelling Unit: = 0 Space
Total 2 + 0 = 2 parking spaces

LINE INDICATES LIMIT OF DEDICATION AND
IMPROVEMENTS OF 2.5 FEET OF ALLEY
ADJACENT TO THE SITE, TO BE DONE, PRIOR
TO BUILDING OCCUPANCY

VISIBILITY TRIANGLE: NO OBJECTS HIGHER THAN 24
INCHES WILL BE PROPOSED IN THE VISIBILITY AREAS

FIRST FLOOR PLAN 1/4" = 1'-0"



CITY STANDARD TITLE BLOCK

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La Jolla, CA 92037

Phone: (858) 459-9291

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Project Name: 1851 SPINDRIFT

Sheet Title: FIRST FLOOR PLAN

Revision 08: _____
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Revision 05: _____
Revision 04: _____
Revision 03: _____
Revision 02: _____
Revision 01: _____
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DEP#: _____

1851 SPINDRIFT
1851 Spindrift Drive, La Jolla, CA 92037

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FIRST FLOOR PLAN

8/23/22

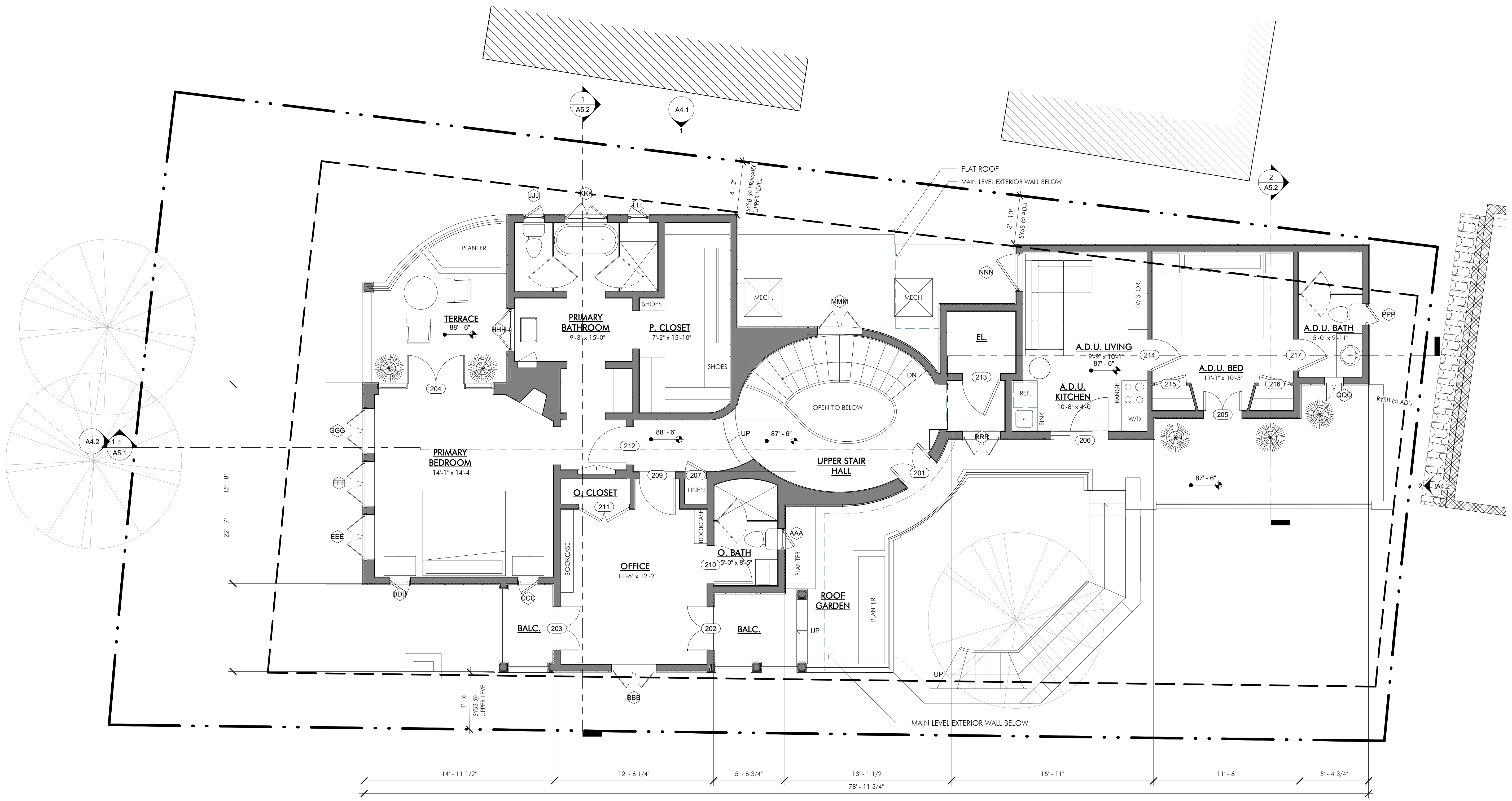
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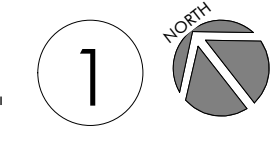
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SECOND FLOOR PLAN 1/4" = 1'-0"



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Project Name: 1851 SPINDRIFT	Revision 02: _____
Sheet Title: SECOND FLOOR PLAN	Revision 01: _____
Sheet: 11 of 16	Original Date: _____
DEP#: _____	

1851 SPINDRIFT
 1851 Spindrift Drive, La Jolla, CA 92037

A2.2

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ROOF NOTES:

- ALL RIDGE DIMENSIONS ARE CALLED OUT TO TOP OF SHEATHING
 - ALL ELEVATIONS LOCATED AT EDGE OF WALLS ARE TO TOP OF PLATE
 - ALL PLATE HTS. ARE TAKEN ABOVE MAIN LEVEL F.F. = 0'-0" (EL. + _____)
 - DIMENSIONS SHOWN AT CHIMNEY CAPS ARE TO FINISH MATERIAL
 - ALL SKYLIGHTS TO BE FLAT, TINTED GLAZING & BRONZE FRAME SKYLIGHT.
 - RADIANT BARRIER SHEATHING TO BE USED OVER INTERIOR & ATTIC SPACES
- = DOWN SPOUT LOCATIONS
 □ = SCUPPER LOCATIONS

SPECIFICATIONS

ROOFING TILE TO BE **A COLOR BLEND OF 2-PIECE (PAN & BARREL) CLAY TILE**. (ARCHITECT TO SELECT COLOR). INSTALL OVER A CLASS 'A' ROOFING ASSEMBLY OF 2 LAYERS OF 40# ASPHALT IMPREGNATED FELT WITH HOT MOPPED ASPHALT BETWEEN LAYERS AND ON TOP. BARREL TILES TO BE FASTENED WITH APPROVED WIRE TIES. **ROOFING TILE ICC# 4300**

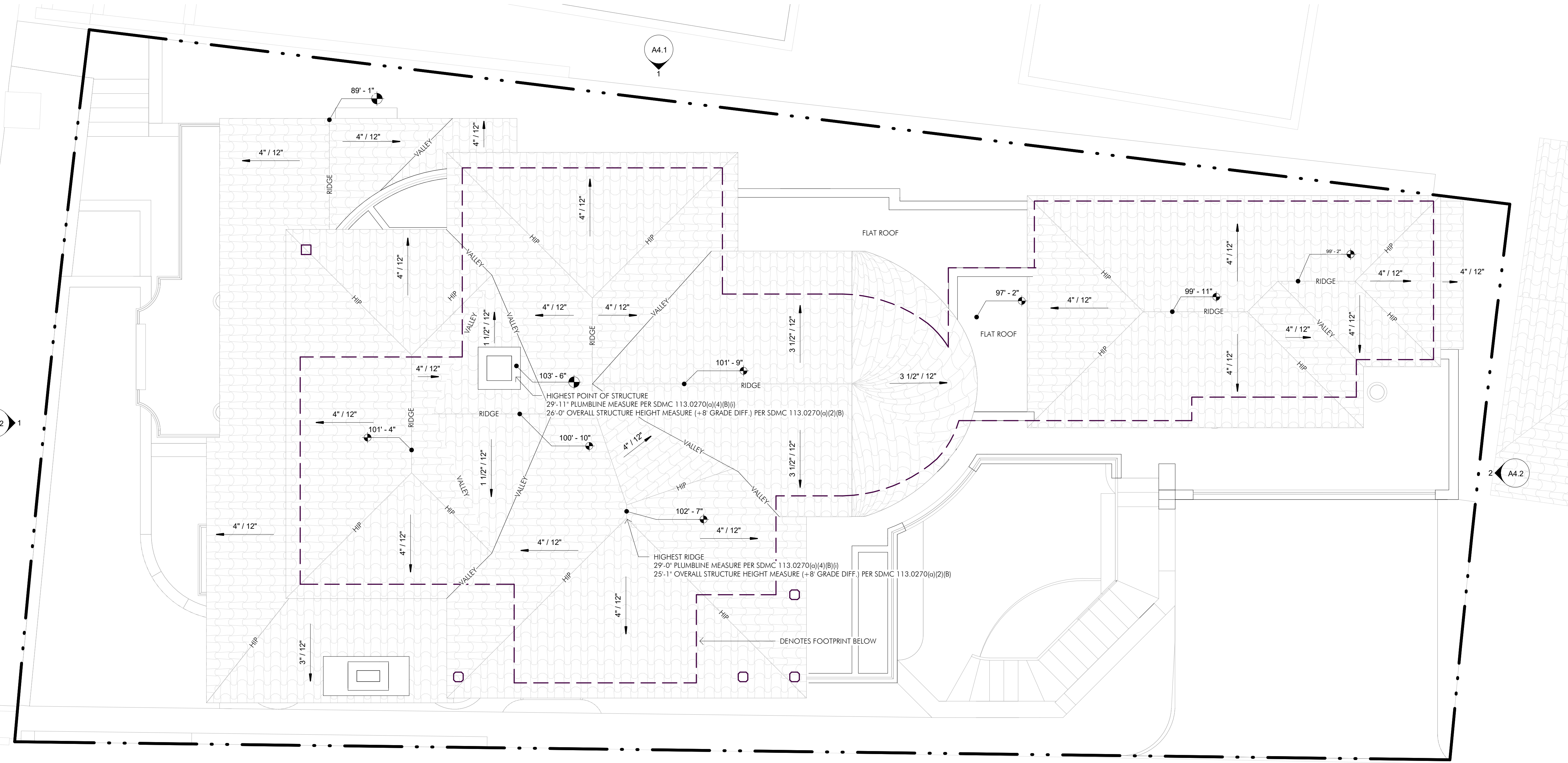
APPLICATION OF ROOFING

- ROOFING TILE TO BE **2-PIECE MISSION TILE BY REDLANDS TILE ICC# ESR-1482** (ARCHITECT TO SELECT COLOR). INSTALL OVER A CLASS 'A' ROOFING ASSEMBLY OF 2 LAYERS OF 40# ASPHALT IMPREGNATED FELT WITH HOT MOPPED ASPHALT BETWEEN LAYERS AND ON TOP. ROOF TILES TO BE FASTENED WITH APPROVED WIRE TIES.
- FLAT ROOF TO BE MIN. CLASS 'A' B.U.R.
- ARCHITECT TO SPECIFY TILE BLEND. ROOFER TO LAY OUT ONE SQUARE 10' X 10' AREA FOR APPROVAL BY THE ARCHITECT PRIOR TO INSTALLATION.
- O'HAGIN CLAY 'S' VENT TILES (ICC# 5214)** TO BE USED TO MEET VENTING AREA REQUIREMENTS PER CODE AS CALCULATED BELOW, HALF OF THE REQUIRED VENTS TO BE LOCATED AT LEAST 36" ABOVE THOSE LOCATED NEAR THE EAVES. PRIMARY VENT IS INSTALLED IN ROOF SHEATHING; SECONDARY VENT IS INSTALLED OVER PRIMARY VENT & PAINTED TO MATCH SURROUNDING TILES.

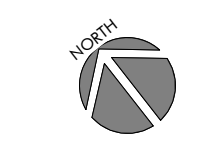
ROOF LEGEND

- CDS = Concealed Downspout
 DS = Downspout
 - - - = Gutter

*All locations to be reviewed by Contractor.



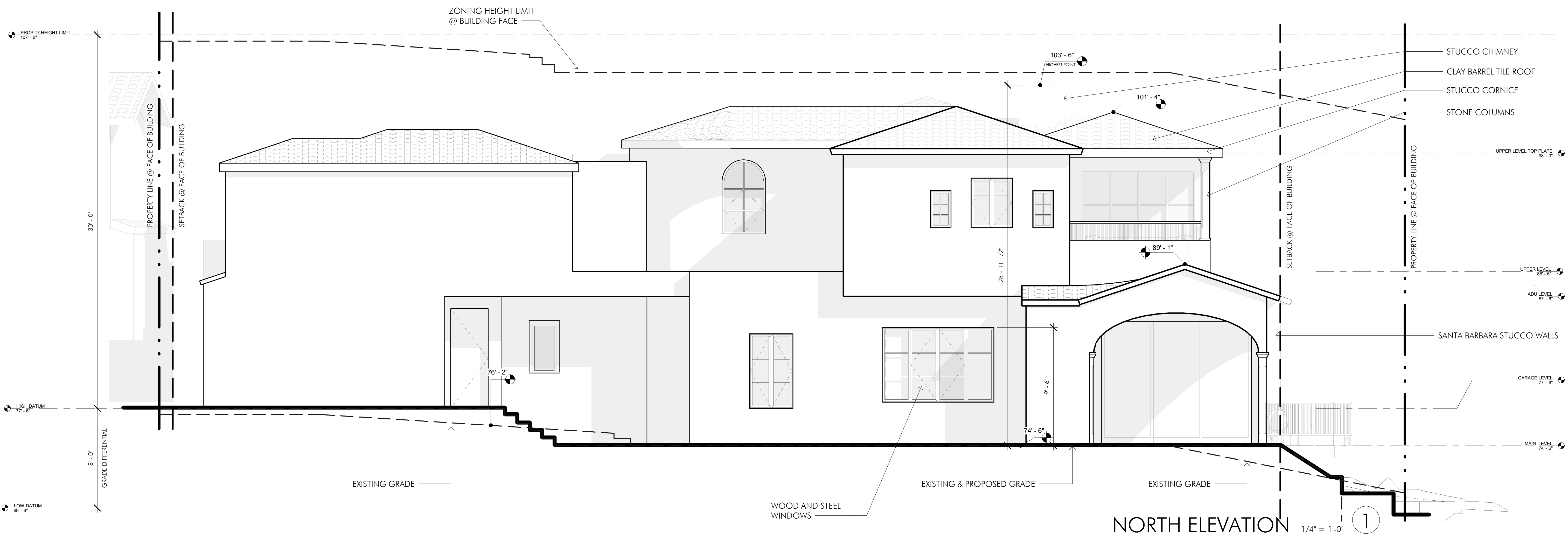
ROOF PLAN 1/4" = 1'-0" 1



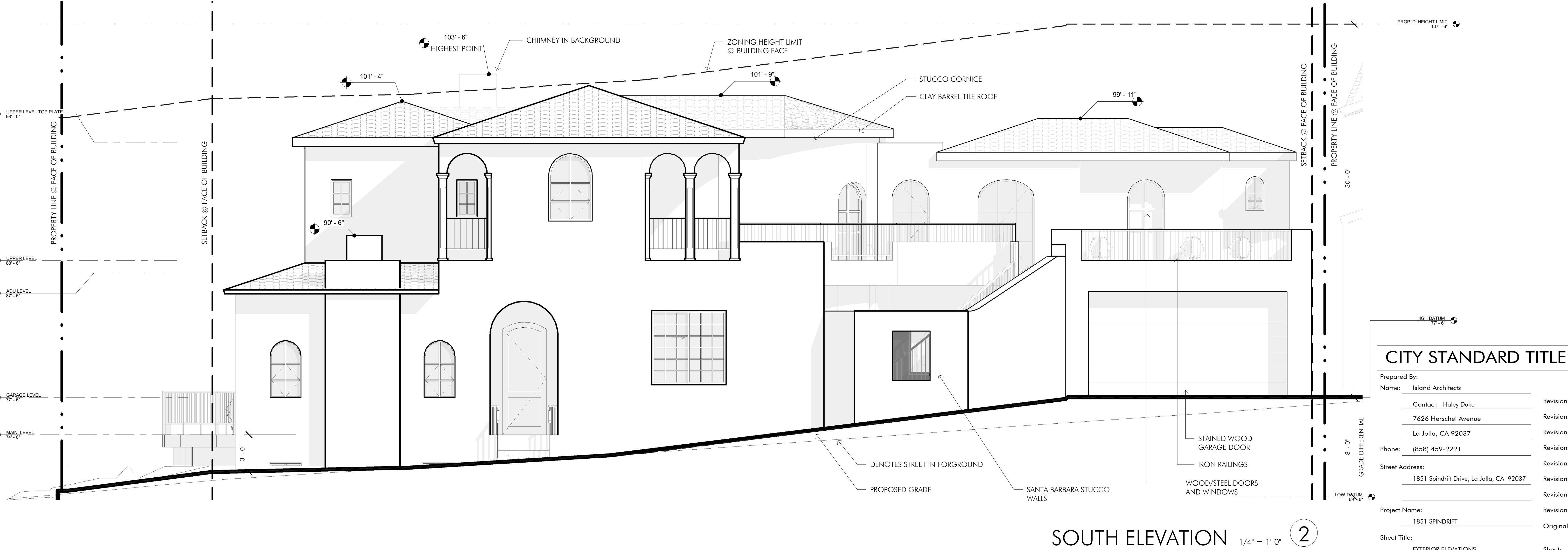
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 1851 SPINDRIFT.dwg



NORTH ELEVATION 1/4" = 1'-0" 1



SOUTH ELEVATION 1/4" = 1'-0" 2

CITY STANDARD TITLE BLOCK

Prepared By:	Island Architects	Revision 08:	
Name:	Contact: Haley Duke	Revision 07:	
	7626 Herschel Avenue	Revision 06:	
	La Jolla, CA 92037	Revision 05:	
Phone:	(858) 459-9291	Revision 04:	
Street Address:	1851 Spindrift Drive, La Jolla, CA 92037	Revision 03:	
Project Name:	1851 SPINDRIFT	Revision 02:	
Sheet Title:	EXTERIOR ELEVATIONS	Revision 01:	
		Original Date:	
		Sheet:	13 of 16
		DEP#:	

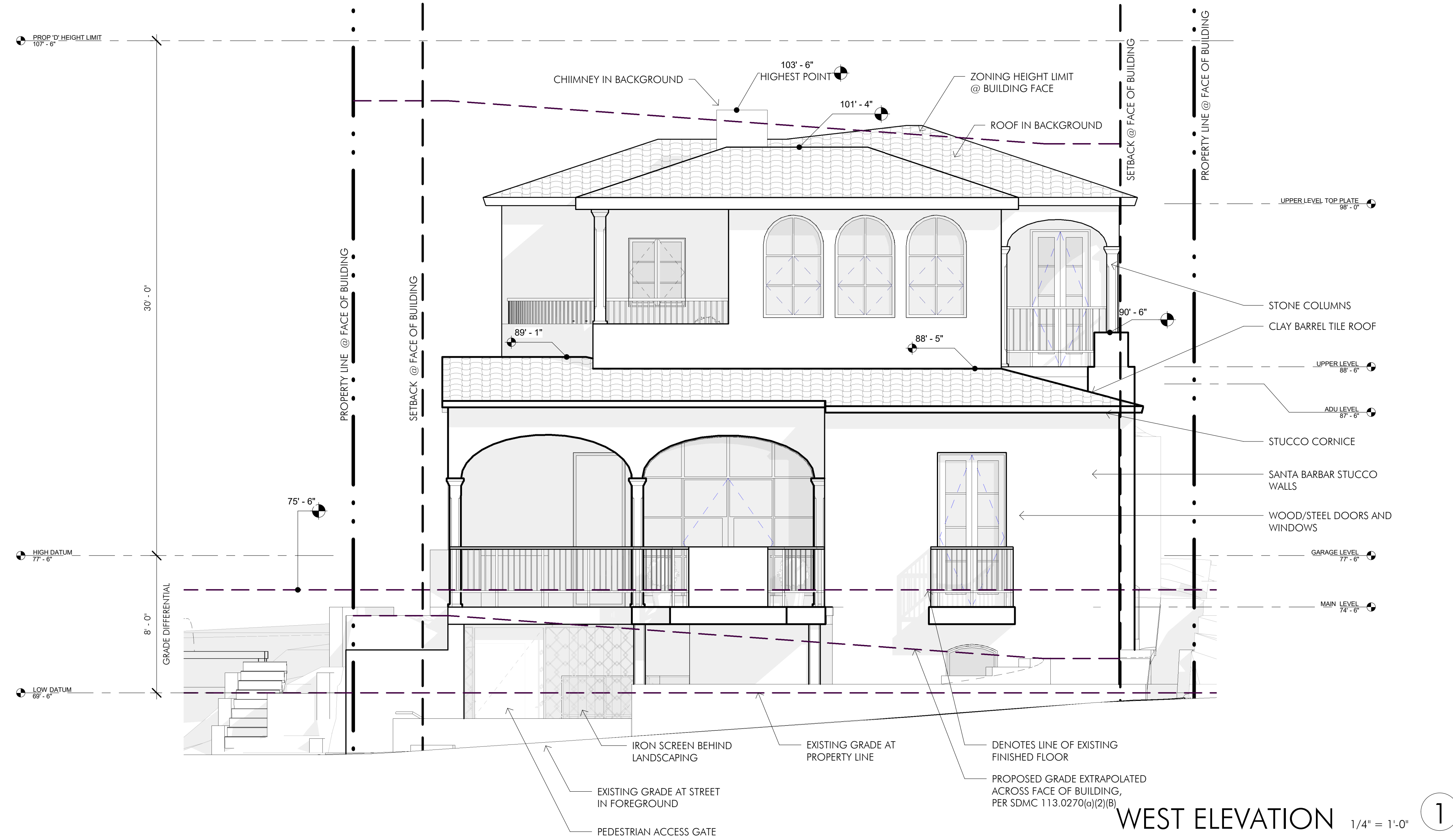
ISLAND ARCHITECTS
 TONY CRISAFI, LISA KRIEDEMANN, R.A.
 7626 HERSCHEL AVENUE
 LA JOLLA, CA 92037
 TEL: 858-459-9291



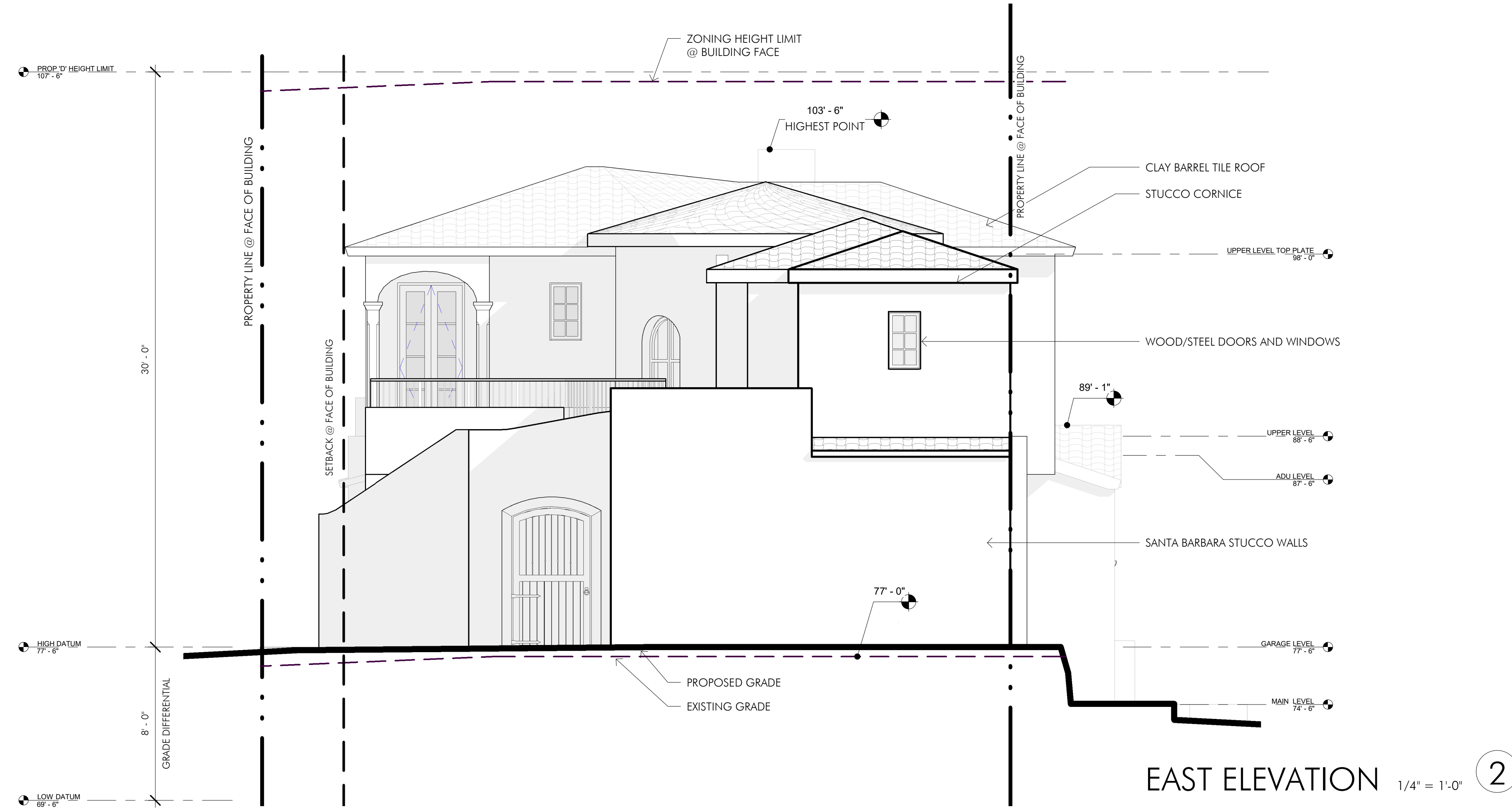
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PROJ. MGR.:	EH	
DATE:	ISSUE	
REVISIONS		
#	DESCRIPTION	DATE

1851 SPINDRIFT
 1851 Spindrift Drive, La Jolla, CA 92037

A4.1



WEST ELEVATION 1/4" = 1'-0" 1



EAST ELEVATION 1/4" = 1'-0" 2

CITY STANDARD TITLE BLOCK

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Contact: Haley Duke	7626 Herschel Avenue	Revision 07: _____
La Jolla, CA 92037	Phone: (858) 459-9291	Revision 06: _____
Street Address: 1851 Spindrift Drive, La Jolla, CA 92037	Revision 05: _____	Revision 04: _____
Project Name: 1851 SPINDRIFT	Revision 03: _____	Revision 02: _____
Sheet Title: EXTERIOR ELEVATIONS	Revision 01: _____	Original Date: _____
DEP#: _____	Sheet: 14 of 16	8/23/22

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A4.2

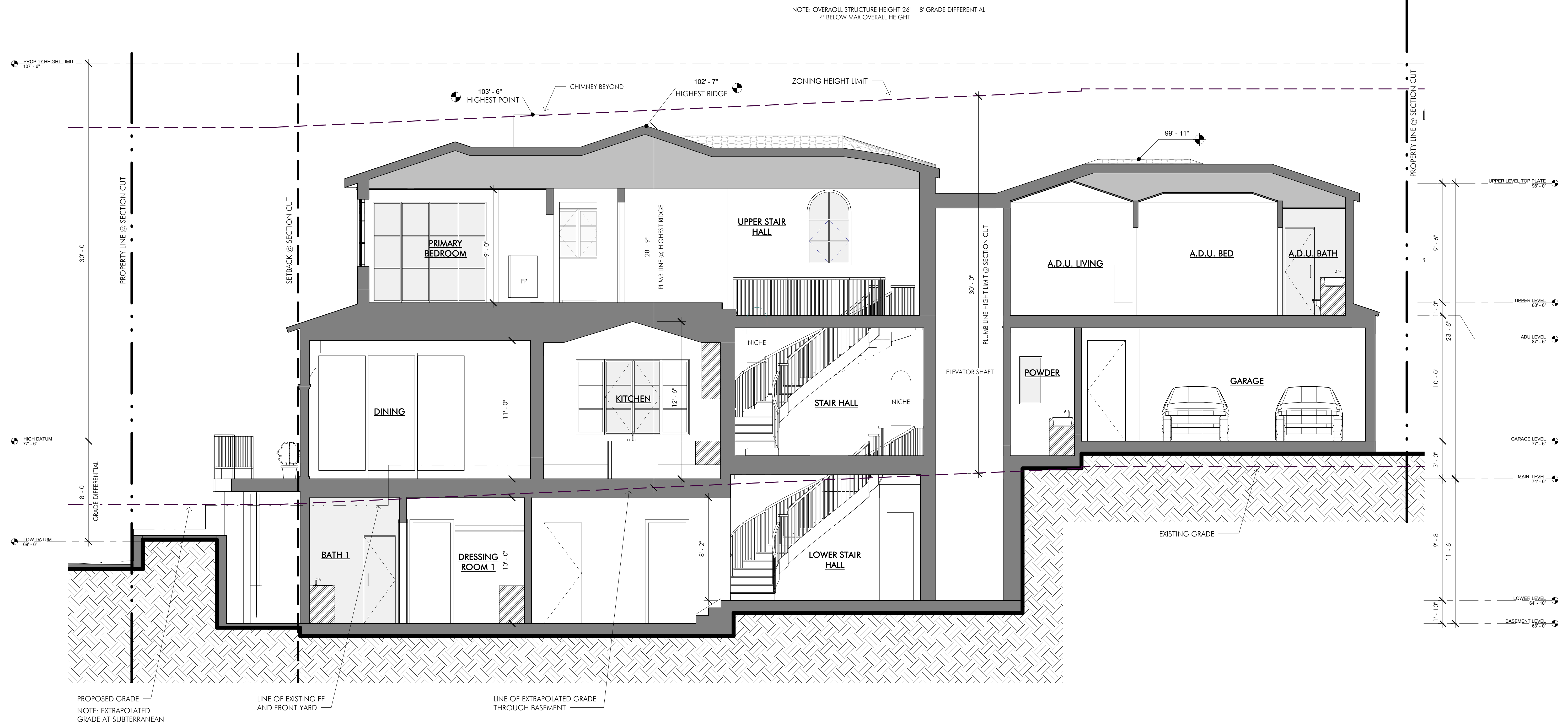
EXTERIOR ELEVATIONS



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 DATE: ISSUE

REVISIONS

#	DESCRIPTION	DATE



SECTION 1 1/4" = 1'-0" 1

CITY STANDARD TITLE BLOCK

Prepared By: _____
 Name: Island Architects
 Contact: Haley Duke
 7626 Herschel Avenue
 La Jolla, CA 92037
 Phone: (858) 459-9291
 Street Address: 1851 Spindrift Drive, La Jolla, CA 92037
 Project Name: 1851 SPINDRIFT
 Sheet Title: BUILDING SECTIONS

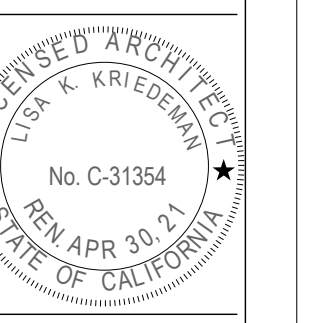
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 Revision 06: _____
 Revision 05: _____
 Revision 04: _____
 Revision 03: _____
 Revision 02: _____
 Revision 01: _____
 Original Date: _____
 Sheet: 15 of 16
 DEP#: _____

1851 SPINDRIFT
 1851 Spindrift Drive, La Jolla, CA 92037

A5.1

BUILDING SECTIONS

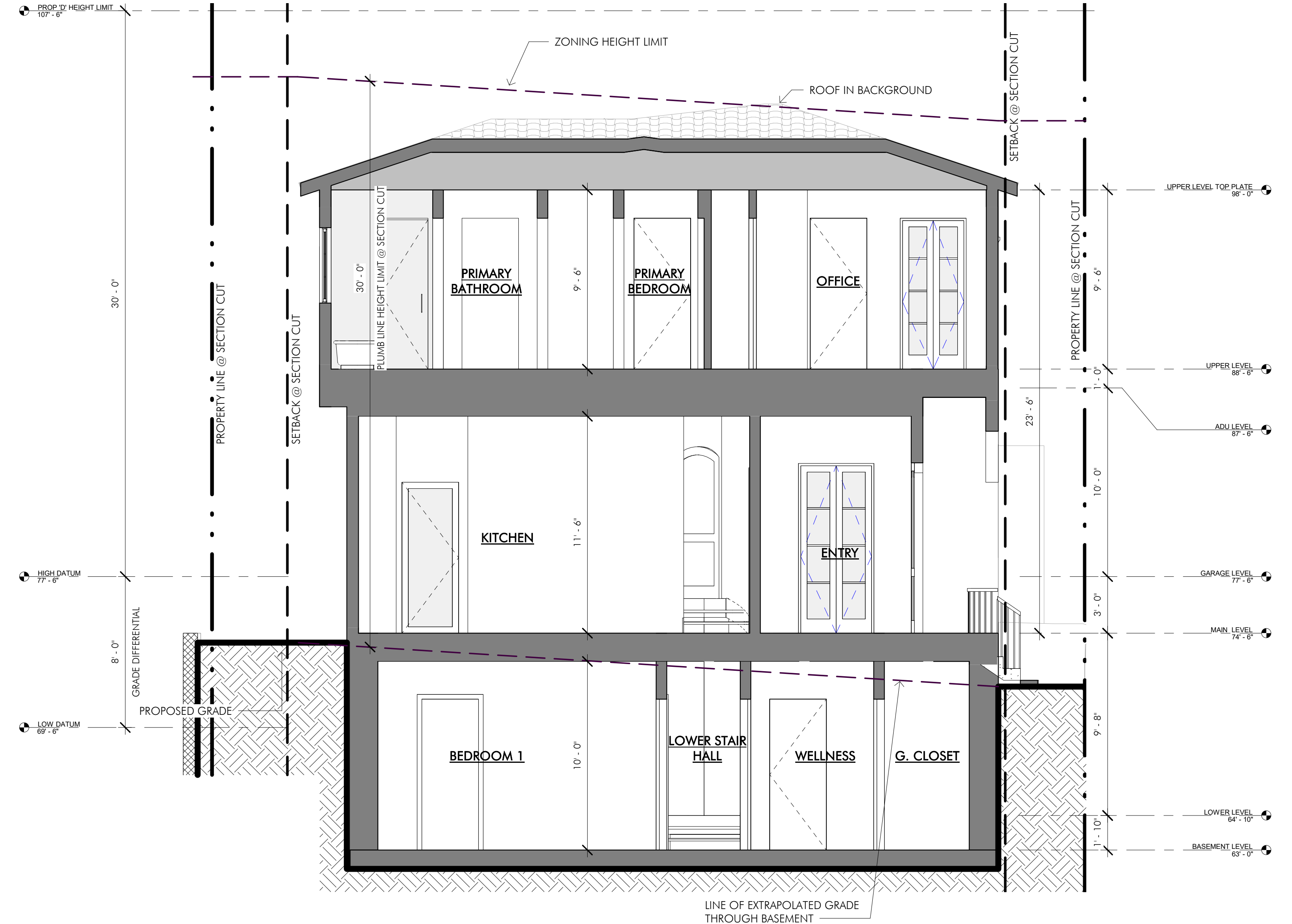
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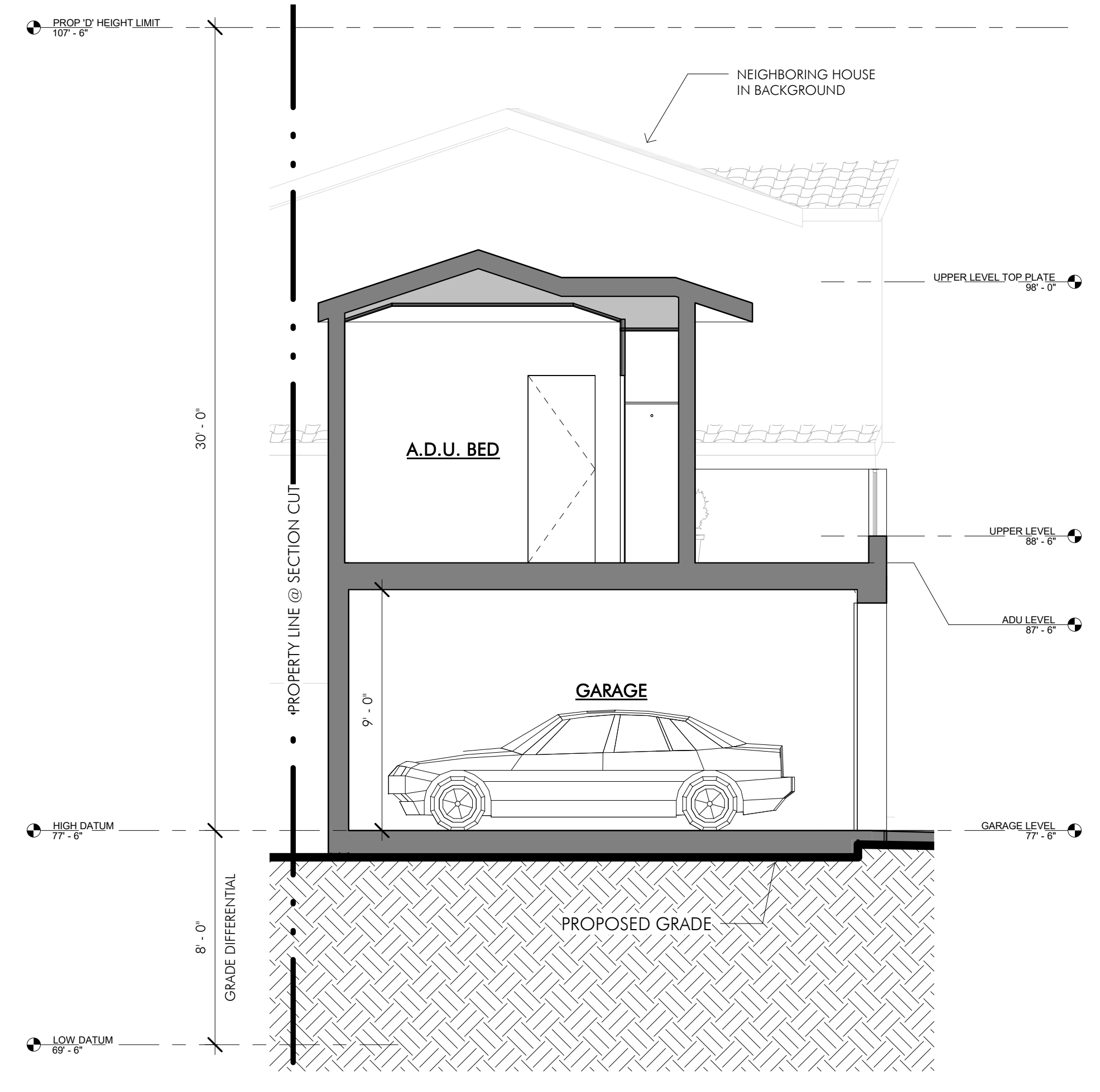
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 DATE: ISSUE:

REVISIONS	
#	DESCRIPTION



SECTION 2 1/4" = 1'-0" ①



SECTION 3 1/4" = 1'-0" ②

CITY STANDARD TITLE BLOCK

Prepared By: Island Architects

Contact: Haley Duke
 7626 Herschel Avenue
 La Jolla, CA 92037

Phone: (858) 459-9291

Street Address: 1851 Spindrift Drive, La Jolla, CA 92037

Project Name: 1851 SPINDRIFT

Sheet Title: BUILDING SECTIONS

Revision 08:	_____
Revision 07:	_____
Revision 06:	_____
Revision 05:	_____
Revision 04:	_____
Revision 03:	_____
Revision 02:	_____
Revision 01:	_____
Original Date:	_____
Sheet: 16 of 16	
DEP#:	_____

1851 SPINDRIFT
 1851 Spindrift Drive, La Jolla, CA 92037

A5.2

BUILDING SECTIONS

8/23/2022 8:52:49 AM
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 1851 SPINDRIFT.dwg