



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 12, 2019 REPORT NO. HO-19-007

HEARING DATE: February 20, 2019

SUBJECT: Logan Avenue SDP CDP, Process Three Decision

PROJECT NUMBER: [585277](#)

OWNER/APPLICANT: W.RKSH.P LLC, Owner and Tyler Wallace, Applicant

SUMMARY

Issue: Should the Hearing Officer approve an application for the construction of a mixed-use building to include 11 artist studios, retail sales, offices, gallery, eating and drinking space on a 0.10-acre vacant site located at 2142 Logan Avenue within the Barrio Logan Community Plan area?

Staff Recommendation:

1. Adopt Negative Declaration No. 585277;
2. Approve Site Development Permit No. 2080980; and
3. Approve Coastal Development Permit No. 2080979.

Community Planning Group Recommendation: On December 27, 2017, the Barrio Logan Community Planning Group voted 7-4-0 to recommend approval with no conditions.

Environmental Review: A Negative Declaration (ND) No. 585277 has been prepared for the project in accordance with state of California Environmental Quality Act (CEQA) guidelines. Based on the Initial Study, it was determined that the proposed project will not have a significant effect on the environment.

BACKGROUND



The 0.10-acre vacant lot is located at 2142 Logan Avenue, within a developed, urban neighborhood surrounded by commercial development. The site is paved and currently used as a parking lot with occasional commercial activity. The project site is served by all existing utilities and improved right-of-way. The site is within the Redevelopment Subdistrict (Commercial Use Area) in the Barrio Logan Planned District within the Barrio Logan Community Plan area (Attachments 1-4). Additionally, the

site is in the Coastal Overlay Zone (Non-Appealable Area 2), Airport Influence Review Area, Federal Aviation Administration Part 77 Noticing Area, Parking Impact Overlay Zone, Transit Area Overlay Zone, the Promise Zone, and the Downtown Special Fault Zone.

DISCUSSION

The Logan Avenue SDP CDP project (Project) proposes to construct a 4,503-square-foot, two-story over basement mixed-use building which will include 11 artist studios, retail sales, offices, and gallery space. A 588-square foot commercial gallery space will be located on the ground floor, facing Logan Avenue. The 11 artist studios will be located on the first (four units) and second floors (seven units) ranging in size from 334 to 353 square feet. A 1,013-square foot basement will be used for storage. Since the artist studios do not have any residential component and are work-only units, the project does not require off-street parking. The project will provide seven bicycle parking spaces (one long term, six short term) to meet the City's Climate Action Plan requirements.



Permits Required

The Project requires a Site Development Permit (SDP), Process Three, per SDMC section [152.0202\(b\)\(1\)](#), for development within the Barrio Logan Planned District. A Coastal Development Permit (CDP), Process Two, per SDMC Section [126.0702\(a\)](#) is required for development within the Coastal Overlay Zone. In accordance with SDMC 126.0707(e) when more than one permit is required for a single development, the application shall be consolidated, and the action of the decision maker shall be considered one consolidated action. Therefore, the project requires an Hearing Officer approval.

Community Plan Analysis

The [Barrio Logan Community Plan \(BLCP\)](#) designates the site within the Redevelopment Subdistrict of the Barrio Logan Planned District as neighborhood commercial. The [General Plan](#) designates the site as Commercial Employment, Retail, and Services. The Urban Design Elements of the BLCP recommends infill projects for the redevelopment of properties within the existing community. Secondly, it recommends projects develop vacant sites instead of developing sites that would require the removal of major building investment. Finally, it recommends providing outlets for continuing and growing cultural expression. The Project meets these recommendations by proposing to develop a vacant, underdeveloped site with a project that provides spaces for continuing and growing cultural expression – artist studios and a gallery. Therefore, the proposed development will not adversely affect the applicable land use plan.

Conclusion

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with the adopted City Council policies and regulations of the Land Development Code. Staff supports a determination that the proposed project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Barrio Logan Community Plan and the General Plan. Staff has provided draft findings and conditions of approval to support the project. Staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Adopt Negative Declaration No. 585277; Approve Site Development Permit No. 2080980; and Approve Costal Development Permit No. 2080979, with modifications.
2. Do Not Adopt Negative Declaration No. 585277; Deny Site Development Permit No. 2080980; and Deny Costal Development Permit No. 2080979, if the findings required to approve the project cannot be affirmed.

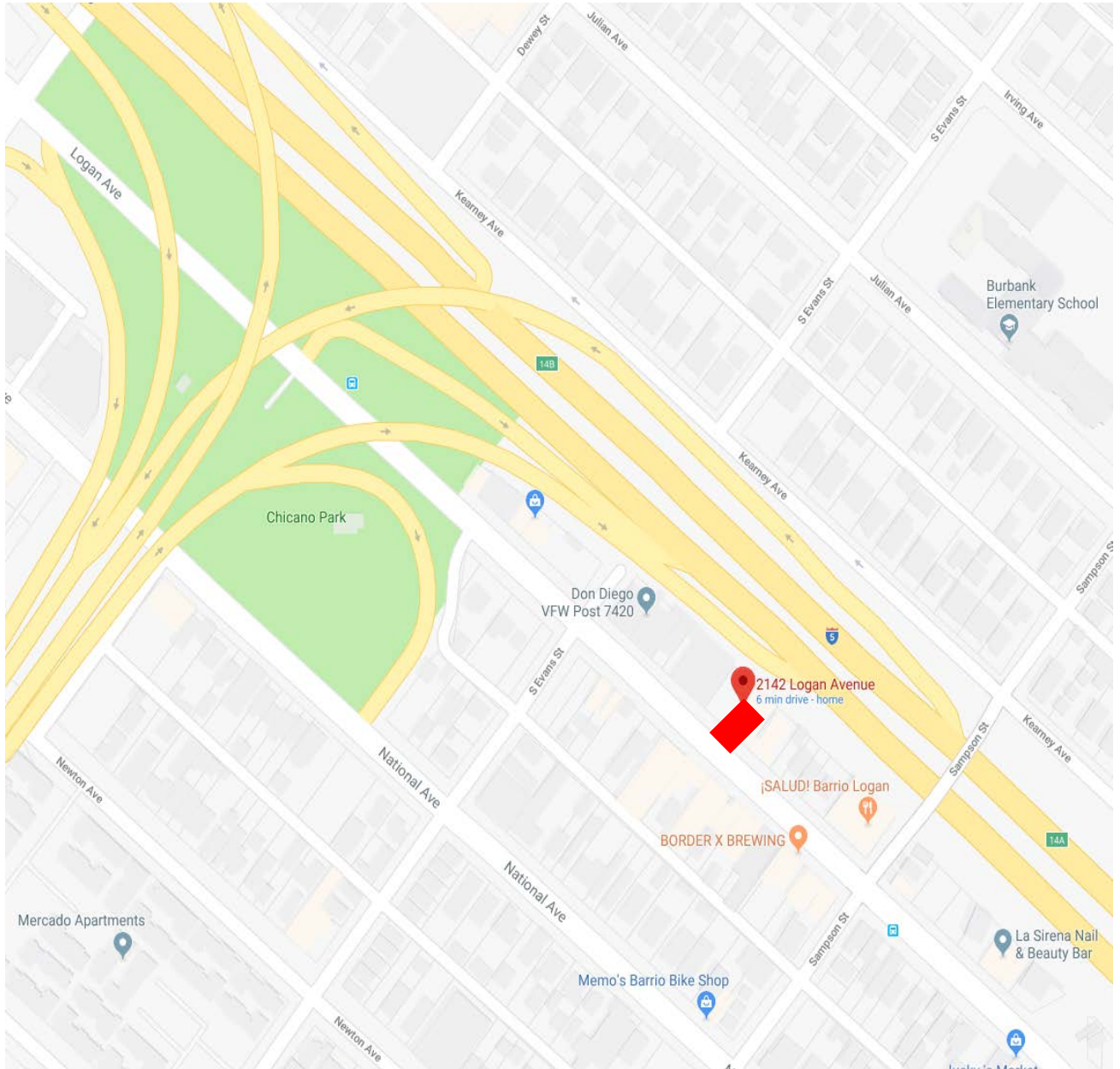
Respectfully submitted,



Anthony Bernal
Development Project Manager

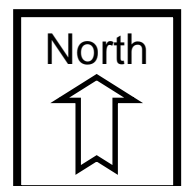
Attachments:

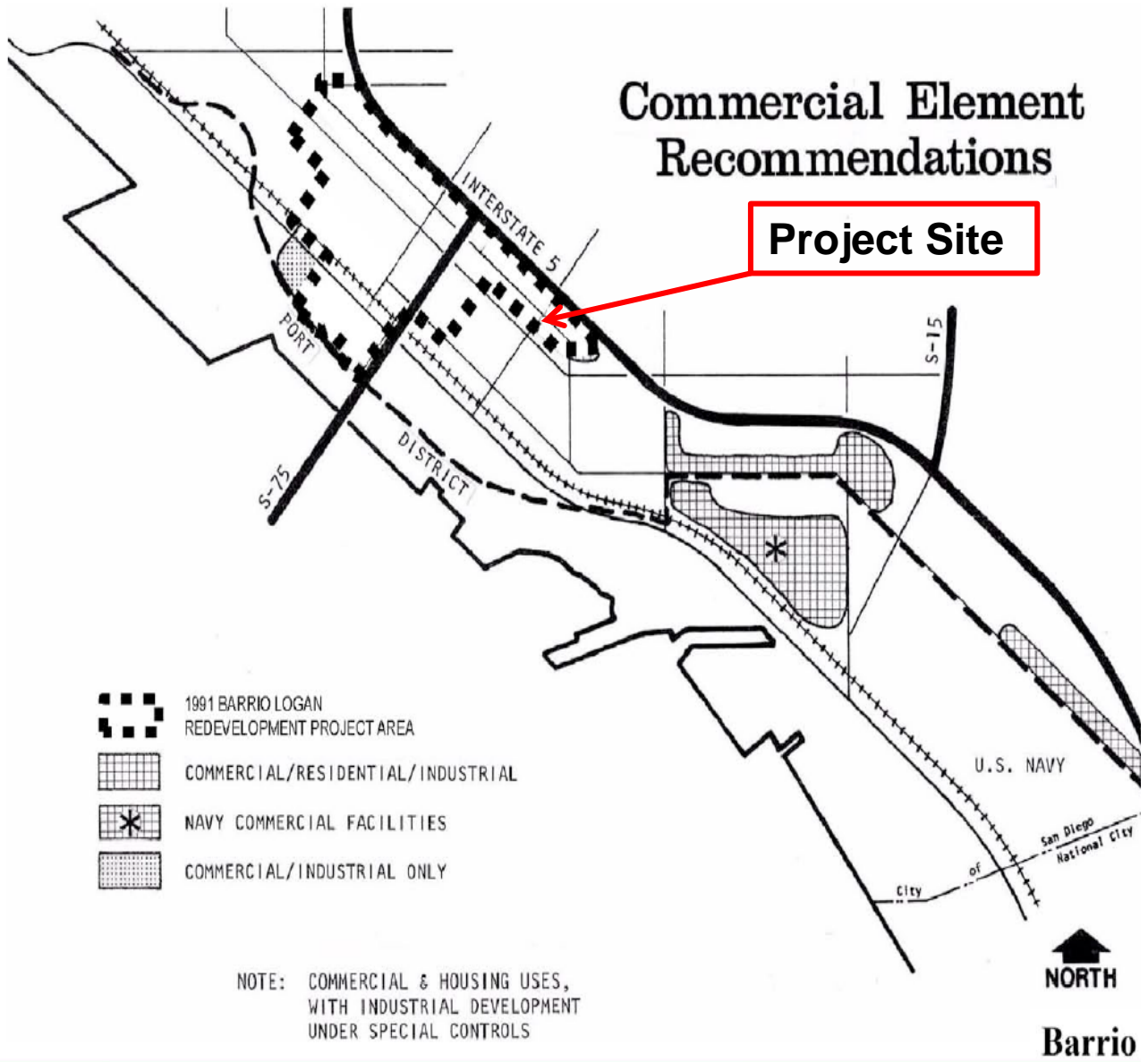
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Street View Photograph
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Negative Declaration Resolution
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



Project Location Map

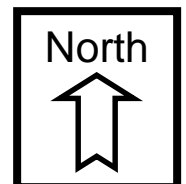
2142 Logan SDP CDP / 2142 Logan Avenue
PROJECT NO. 585277

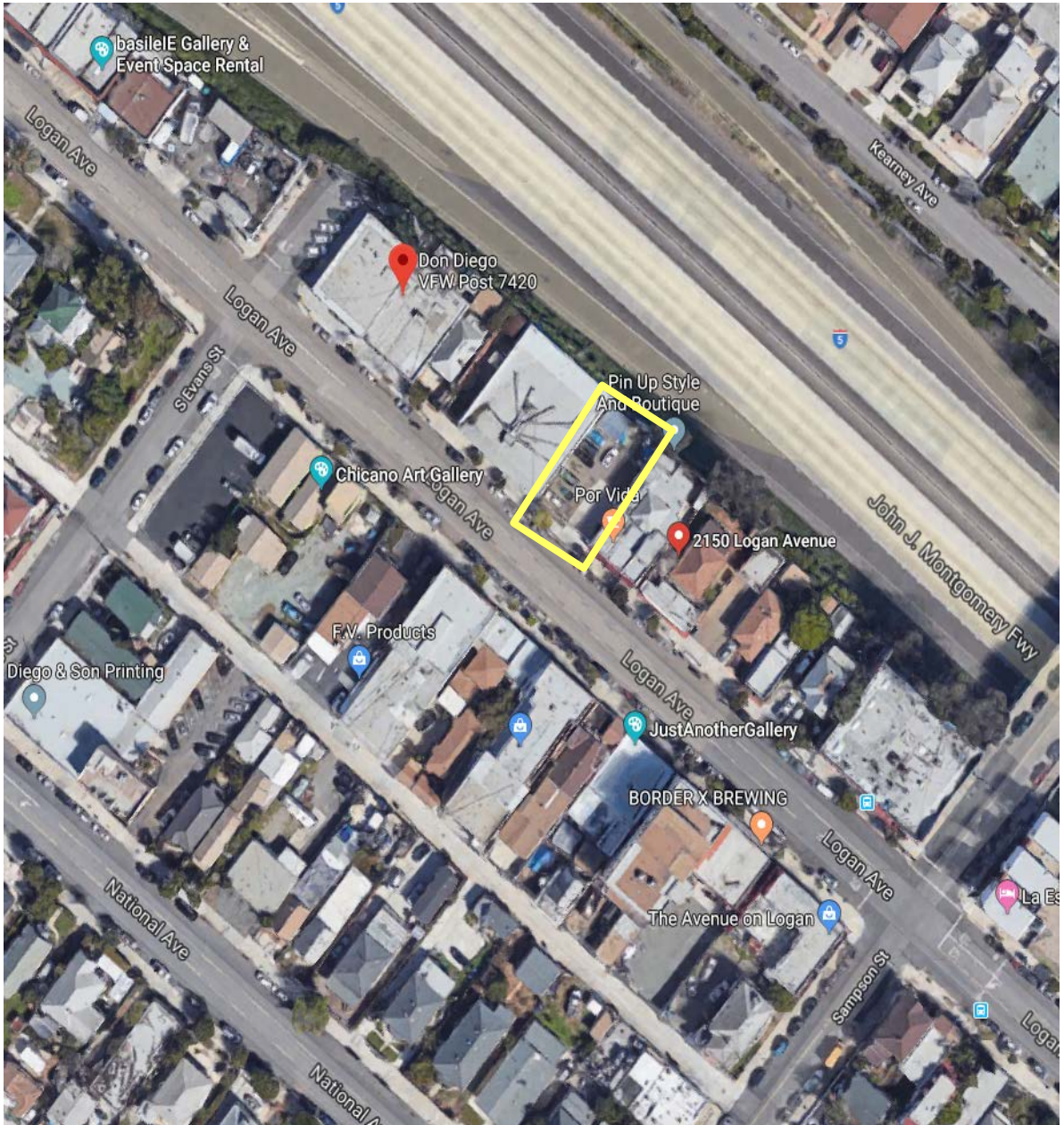




Land Use Map

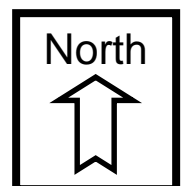
2142 Logan Ave SDP CDP / 2142 Logan Avenue
PROJECT NO. 585277

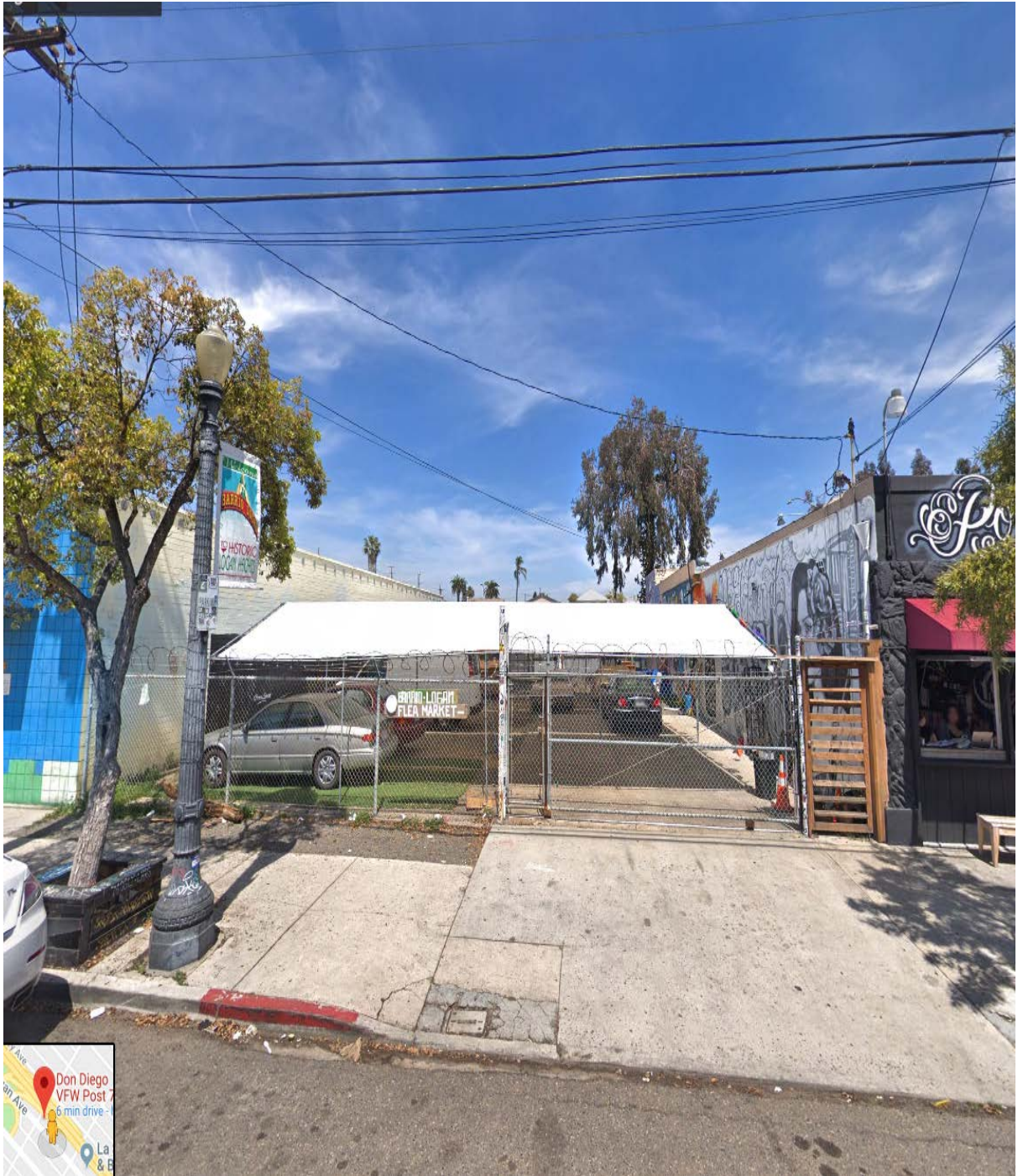




Aerial Photo

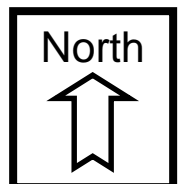
2142 Logan Avenue SDP CDP / 2142 Logan Avenue
PROJECT NO. 585277





Street View

2142 Logan Avenue SDP CDP / 2142 Logan Avenue
PROJECT NO. 585277



HEARING OFFICER RESOLUTION NO. HO-
SITE DEVELOPMENT PERMIT NO. 2080980
COASTAL DEVELOPMENT PERMIT NO. 2080979
LOGAN AVENUE SDP CDP PROJECT NO. 585277

WHEREAS, W.RKSH.P LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to develop a vacant lot to include artist studios, retail sales, offices, gallery, and eating and drinking as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 2080980 and Coastal Development Permit No. 2080979, on a 0.10-acre site;

WHEREAS, the project site is located at 2142 Logan Avenue and was evaluated under the Barrio Logan Planned District Redevelopment Subdistrict of the Barrio Logan Community Plan area;

WHEREAS, the project site is legally described as the Southwesterly 90 feet of Lots 10 and 11 in Block 175 of San Diego Land & Town Company's Addition, in the City of San Diego, State of California, according to Map Thereof No. 379, filed in the office of the County Recorder of San Diego County, October 30, 1886;

WHEREAS, on February 20, 2019, the Hearing Officer of the City of San Diego considered Site Development Permit No. 2080980 and Coastal Development Permit No. 2080979 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2080980 and Coastal Development Permit No. 2080979:

A. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The 0.10-acre site is located at 2142 Logan Avenue, in a developed, urban neighborhood that is served by all existing utilities and improved right-of-way and is surrounded on all sides by existing mixed-use development. The project proposes to develop a vacant lot and construct a mixed-use building which includes 11 artist studios, retail sales, offices, gallery, and eating and drinking space. The Barrio Logan Community Plan designates the site within the Redevelopment Subdistrict of the Barrio Logan Planned District as neighborhood commercial. The Urban Design Elements of the Community Plan recommends infill projects for the existing community. Second, it recommends projects develop vacant sites instead of developing sites that would require the removal of major building investment. Finally, it recommends providing outlets for continuing and growing cultural expression. The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted zoning, design guidelines, and Land Development Code and the General Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The 0.10-acre site is located at 2142 Logan Avenue, in a developed, urban neighborhood that is served by all existing utilities and improved right-of-way and is surrounded on all sides by existing mixed-use development. The project proposes to develop a vacant lot and construct a mixed-use building which includes 11 artist studios, retail sales, offices, gallery, and eating and drinking space.

The site is surrounded by similar commercial development and is served by existing water, sewer, gas, and electrical utility infrastructure. Access is provided by the developed Logan Avenue right-of-way which includes curb, gutter, and sidewalk.

A Negative Declaration (ND) No. 585277 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. Based on the Initial Study, it was determined that the proposed project will not have a significant effect on the environment.

The proposed development has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's health, safety and welfare. Conditions of approval require the review and approval of all construction plans by professional staff to ensure construction will comply with all relevant uniform building, fire, plumbing, electrical, mechanical and traffic control code regulations and permitting requirements. Construction

inspections, including final inspection and certificate of occupancy issuance are required to assure construction permits are implemented in accordance with the approved plans and will comply with all regulations.

[discuss specifics, e.g. bringing up the sidewalk, etc. to City standards, providing the required parking, and the solar system]

The project will not be detrimental to public health, safety, and welfare since the permit controlling the development and continued use of this site contains specific conditions addressing the project's compliance with the city's codes, policies, regulations and other regional, state and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing or working in the area.

Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project has been designed to meet the recommendations and regulations of the Barrio Logan Planned District Redevelopment Subdistrict, including, but not limited to, floor area ratio, setbacks, building height, and landscaping regulations. The project is not requesting any variances or deviations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

B. COASTAL DEVELOPMENT PERMIT – SDMC 126.0708

1. Findings for all Coastal Development Permits:

a. The proposed coastal development will not encroach upon any existing physical accessway identified in a [Local Coastal Program land use plan](#); and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;

The 0.10-acre site is located at 2142 Logan Avenue, in a developed, urban neighborhood that is served by all existing utilities and improved right-of-way and is surrounded on all sides by existing mixed-use development. The project proposes to develop a vacant lot and construct a mixed-use building which includes 11 artist studios, retail sales, offices, gallery, and eating and drinking space.

The site is not located between the first public roadway and the Pacific Ocean or San Diego Bay, and does not have physical accessways or view corridors across the property. The proposed development of a vacant lot into a mixed-use building meets all of the development standards, such as building setbacks, off street parking, building height and floor area ratio required by the underlying zone. Thus, the proposed mixed-use development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway. Therefore, the proposed coastal development will not have any impact to existing or proposed public accessways, nor will it impact public views to and along the ocean or other scenic coastal area identified in the Plan.

b. The proposed coastal development will not adversely affect Environmentally Sensitive Lands.

The project proposes to develop a vacant lot and construct a mixed-use building which includes 11 artist studios, retail sales, offices, and gallery space. The 0.10-acre site is located at 2142 Logan Avenue, in a developed, urban neighborhood that is served by all existing utilities and improved right-of-way and is surrounded on all sides by existing mixed-use development. The project site is vacant and does not contain Environmentally Sensitive Land (ESL) or steep hillsides. The site is not located within or adjacent to the Multi-Habitat Planning Area (MHPA). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The 0.10-acre site is located at 2142 Logan Avenue, in a developed, urban neighborhood that is served by all existing utilities and improved right-of-way and is surrounded on all sides by existing mixed-use development. The project proposes to develop a vacant lot and construct a mixed-use building which includes 11 artist studios, retail sales, offices, and gallery space.

The land use plan recommends developing vacant sites, building infill projects, and providing outlets for continual growth of cultural expression. The proposed project supports these recommendations of the plan by using a vacant lot to construct a mixed-use building and include artist studios. Additionally, the proposed improvements to the parkway will restore and preserve the streetscape theme of the neighborhood. Therefore, the project conforms to the land use plan.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project proposes to develop a vacant lot and construct a mixed-use building include 11 artist studios, retail sales, offices, and gallery space. The 0.10-acre site is located at 2142 Logan Avenue, in a developed, urban neighborhood that is served by all existing utilities and improved right-of-way and is surrounded on all sides by existing mixed-use development. The project site is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, the project is in compliance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 2080980 and Coastal Development Permit No. 2080979 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2080980 and Permit No. 2080979, a copy of which is attached hereto and made a part hereof.

Anthony Bernal
Development Project Manager
Development Services

Adopted on: February 20, 2019

IO#: 24007548

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007548

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2080980
COASTAL DEVELOPMENT PERMIT NO. 2080979
LOGAN AVENUE SDP CDP PROJECT NO. 585277
HEARING OFFICER

This Site Development Permit No. 2080980 and Coastal Development Permit No. 2080979 (collectively, "Permit") is granted by the Hearing Officer of the City of San Diego to W.RKSH.P LLC, a California limited liability company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0505 and 126.0708. The 0.10-acre site is located at 2142 Logan Avenue in the Barrio Logan Planned District Redevelopment Subdistrict (Commercial Use Area), Coastal Overlay Zone (Non-Appealable Area 2), Airport Influence Review Area, Federal Aviation Administration Part 77 Noticing Area, Parking Impact Overlay Zone, Transit Area Overlay Zone, the Promise Zone, the Downtown Special Fault zone(s) of the Barrio Logan Community Plan area. The project site is legally described as: the Southwesterly 90 feet of Lots 10 and 11 in Block 175 of San Diego Land & Town Company's Addition, in the City of San Diego, State of California, according to Map Thereof No. 379, filed in the office of the County Recorder of San Diego County, October 30, 1886.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to development of a vacant lot and construct a mixed-use building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 20, 2019, on file in the Development Services Department. The project shall include:

- a. Construct a 4,503-square-foot, two-story over basement mixed-use building which will include 11 artist studios, retail sales, offices; and
- b. A 588-square foot commercial gallery, and eating and drinking space will be located on the ground floor, facing Logan Avenue; and
- c. The 11 artist studios will be located on the first (four units) and second floors (seven units) ranging in size from 334 to 353 square feet; and
- d. A 1,013-square foot basement will be used for storage; and

- e. Landscaping planting, irrigation and landscape related improvements; and

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 7, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AIRPORT REQUIREMENTS:

12. Prior to issuance of a construction permit, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA].

13. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

ENGINEERING REQUIREMENTS:

14. The project proposes to export 500 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains/curb outlets in the Logan Avenue Right-of-Way.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for any landscaping or private improvements in the Logan Avenue Right-of-Way.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the removal of the existing driveway, per Exhibit "A", and replace it with curb, gutter and sidewalk per City Standard, adjacent to the site on Logan Avenue, satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Logan Avenue, satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing curb with City Standard curb and gutter, adjacent to the site on Logan Avenue.

21. Prior to the issuance of any construction permit, the owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including environmental conditions) and Exhibit 'A,' on file in the Development Services Department.
24. Prior to issuance of any public improvement permit, the owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-sq.ft. area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
25. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-sq.ft. area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(5).
26. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

30. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS

31. Prior to any Certificate of Occupancy being issued, any and all domestic, irrigation, and fire water lines serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD).

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 20, 2019 and [Approved Resolution Number].

Site Development Permit and Coastal Development Permit /Project No.: 585277
Date of Approval: February 20, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Anthony Bernal
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

W.RKSH.P, LLC

By _____
Siavash Ghamaty

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. HO- _____
ADOPTED ON _____

WHEREAS, on December 26, 2017, W.RKSH.P LLC, Owner/Permittee, submitted an application to Development Services Department for a Coastal Development Permit and Site Development Permit for the 2142 Logan Avenue Project; and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on February 20, 2019; and

WHEREAS, the Hearing Officer considered the issues discussed in Negative Declaration No. 585277 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record, including the Initial Study and any comments received, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

Attachment 7

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 FIRST AVENUE, SAN DIEGO, CA 92101.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: Development Project Manager

By: _____
Anthony Bernal, Development Project Manager

Errata
Negative Declaration for 2142 Logan Avenue CDP/SDP,
Project Tracking System (PTS) No. 585277

January 3, 2019

Subsequent to the preparation of the Negative Declaration, it was determined that the height deviation would not apply. The Subject Line, Description of the Project, and the Land Use Planning Section has been revised. All revisions are shown in a double ~~striketrough~~ and/or double underline format.

SUBJECT: 2142 Logan Avenue CDP/SDP: COASTAL DEVELOPMENT PERMIT (CDP), and SITE

DEVELOPMENT PERMIT (SDP) to allow for the development of a two-story, 4,503-square-foot commercial building consisting of artist studios, retail sales/services, art gallery, offices, and an eating and drinking establishment, with a basement, on a vacant 0.104-acre site. ~~The applicant has requested a deviation for the building height.~~ The project also proposes to remove the existing driveway, and to replace the curb, gutter, and sidewalk, adjacent to the site on Logan Avenue. The project site is located at 2142 Logan Avenue in the BLPD-REDEVLP-SUBD (Redevelopment Subdistrict) in the Barrio Logan Harbor 101 Community Plan, Barrio Logan Planned District, Redevelopment Subdistrict (Commercial Use Area), Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact), Transit Area Overlay Zone, Promise Zone, Transit Priority Area, Airport Influence Area (Review Area 2) for the San Diego International Airport, and the Federal Aviation Administration (FAA) Part 77 Notification Area for Naval Air Station North Island and the San Diego International Airport (Legal Description: The Southwesterly 90 Feet of Lots 10 and 11 in Block 175 of San Diego Land & Town Company's Addition, in the City of San Diego, County of San Diego, State of California, According to Map Thereof No. 379, Filed in the Office of the County Recorder of San Diego County, October 30, 1886, APN 538-560-49-00.) APPLICANT: Tyler Wallace

INITIAL STUDY CHECKLIST

I. Description of the project, Page 4

A COASTAL DEVELOPMENT PERMIT (CDP), and SITE DEVELOPMENT PERMIT (SDP) to allow for the development of a two-story, 4,503-square-foot commercial building consisting of artist studios, retail sales/services, art gallery, offices, and an eating and drinking establishment, with a basement, on a vacant 0.104-acre site. The first floor would be 2,064 square-feet, and the second floor would be 2,438 square-feet for a total Gross Floor Area (GFA) of approximately 4,503 square-feet. The project also proposes to remove the existing driveway, and to replace the curb, gutter, and sidewalk, adjacent to the site on Logan Avenue.

The proposed and maximum permitted Floor Area Ratio (FAR) in the BLPD-REDEVLP-SUBD Zone is 1.0. ~~Pursuant to SDMC Section 152.0201 (b) (3) (D), the project requests a deviation to allow the building height of 41' 0" for the roof appurtenances, where 35' 0" high is required.~~

Access would be provided from Logan Avenue. The project would provide a total of 14 bicycle parking spaces. Landscaping would be provided in accordance with the City's Landscape Regulations.

Project Implementation would require grading of approximately 550 cubic yards of cut at a maximum depth of cut of 9.5 feet, 50 cubic yards of fill at a maximum depth of fill of 0.5 feet, and the export of 500 cubic yards of soil.

Page 21, X. LAND USE AND PLANNING – Would the project:

- b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?

The 0.104-acre project site is located in an urban neighborhood, and is surrounded by similar residential and commercial uses. The site and the immediate areas to the north, east, west and south are zoned BLPD-REDEVL-P-SUBD, and is designated residential/commercial/industrial by the Barrio Logan Harbor 101 Community Plan. ~~The applicant has requested a deviation to allow the building height of 41' 0" for the roof appurtenances, where 35' 0" high is required.~~ The proposed development is consistent with the land use designation and the policies of the General Plan, Barrio Logan Community Plan, and it complies with the underlying BLPD-Redevelopment District zone, ~~and surrounding land uses with the allowable deviation.~~ Therefore, the project would not conflict with any applicable land use plan, policy, or regulations.

The revisions made does not affect the environmental analysis or conclusions of the Negative Declaration.



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: 2142 Logan Ave SDP/CDP		Project Number: 585277	Distribution Date: 12/27/2017
Project Scope/Location: BARRIO LOGAN (Process 3) Coastal Development Permit and Site Development Permit for the development of a 4,403 SF commercial retail/services building with artist studio's, retail sales, art gallery and eating & drinking establishment on an existing vacant lot on Logan Ave between South Evans St and Sampson St. The 0.104 acre site is in the Redevelopment Subdistrict of the Barrio Logan Planned District, Coastal (Non-appealable) overlay zone within the Barrio Logan Community Plan area. Council Dist 8			
Applicant Name: Tyler Wallace		Applicant Phone Number:	
Project Manager: Paul Godwin	Phone Number: (619) 446-5190	Fax Number: (619) 321-3200	E-mail Address: PGodwin@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 7	Members No 4	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: NONE			
NAME: MARK STEELE		TITLE: CHAIR	
SIGNATURE: MARK STEELE		DATE: 1/17/2018	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: 2142 Logan Ave SDP/CDP		Project Number: 585277		Distribution Date: 12/27/2017	
Project Scope/Location: BARRIO LOGAN (Process 3) Coastal Development Permit and Site Development Permit for the development of a 4,403 SF commercial retail/services building with artist studio's, retail sales, art gallery and eating & drinking establishment on an existing vacant lot on Logan Ave between South Evans St and Sampson St. The 0.104 acre site is in the Redevelopment Subdistrict of the Barrio Logan Planned District, Coastal (Non-appealable) overlay zone within the Barrio Logan Community Plan area. Council Dist 8					
Applicant Name: Tyler Wallace			Applicant Phone Number:		
Project Manager: Paul Godwin		Phone Number: (619) 446-5190	Fax Number: (619) 321-3200	E-mail Address: PGodwin@sandiego.gov	
Project Issues (To be completed by Community Planning Committee for initial review): <div style="text-align: center; font-size: 1.2em; font-weight: bold; margin-top: 20px;">CONCERN ABOUT DESIGN CHARACTER IN AN HISTORIC DISTRICT.</div>					
<i>Attach Additional Pages If Necessary.</i>			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Logan Arts Building **Project No. For City Use Only:** _____

Project Address: 2142 Logan Avenue, San Diego CA 92113

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: w.rksh.p llc Owner Tenant/Lessee Successor Agency

Street Address: 1286 University Ave #176

City: San Diego State: CA Zip: 92103

Phone No.: 6199854070 Fax No.: _____ Email: 78siavash@gmail.com

Signature: _____ Date: 11/1/2017

Additional pages Attached: Yes No

Applicant

Name of Individual: Siavash Ghamaty Owner Tenant/Lessee Successor Agency

Street Address: 1286 University Ave #176

City: San Diego State: CA Zip: 92103

Phone No.: 6199854070 Fax No.: _____ Email: 78siavash@gmail.com

Signature: _____ Date: 11/1/2017

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

ABBREVIATIONS

Table with 4 columns of abbreviations and their corresponding full names, including ALUM, ACOUS, AFF, ALT, APPLIC, and many others.

MATERIAL LEGEND

Table showing material patterns and their names, such as EARTH, POROUS FILL, CONCRETE, and GYPSUM WALL BOARD.

SYMBOL LEGEND

Table of symbols for various architectural elements like ELEVATION REFERENCE, INTERIOR ELEVATION REFERENCE, and ROOM IDENTIFICATION.

SHEET INDEX

Table listing sheet numbers and titles, categorized into GENERAL, SURVEY, CIVIL, LANDSCAPE, and ARCHITECTURAL.

- GENERAL NOTES: 1. NO EASEMENTS ON SITE, 2. PROVIDE BUILDING ADDRESS NUMBERS, 3. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD, 4. RECONSTRUCT THE DAMAGED PORTIONS OF SIDEWALK, 5. CLOSE ALL NON-UTILIZED DRIVEWAYS...

PROPERTY OWNER

W.RKSH.P Ilc C/O Siavash Ghamaty
PO BOX 635234
San Diego, CA 92163
v:619.985.4070

PROJECT TEAM

ARCHITECT
TFWA Architecture
2305 Historic Decatur Road, Ste 100
San Diego, CA 92106
V: 619.930.5445 F: 619.930.5445
GEOTECH
Coast Geotechnical
P.O. Box 230163
Encinitas, CA 92023
LANDSCAPE ARCHITECT
Kent A Wilson
Landscape Resource Group + Assoc.
8401 Blue Lake Drive,
San Diego, CA 92112
SURVEYOR
Indigo Surveying, Inc.
1324 24th Street
San Diego, CA 92102

DEVELOPMENT SUMMARY

DEVELOPMENT DESCRIPTION:
The proposed Commercial building would be constructed as eleven (11) Artists' Studios (4 on the 1st floor, 7 on the 2nd floor) , Retail Sales/gallery, Eating/drinking, and Professional / business Office at the first floor on Logan Avenue, and storage in the basement level below grade.
PROJECT ADDRESSES:
2142 LOGAN AVENUE
SAN DIEGO, CA 92113
ASSESSOR'S PARCEL NUMBERS:
538 - 560 - 49 - 00
EXISTING GROSS SITE AREA:
4,503.71 SF (0.1034 ACRES) approx. 50' x 90'
LEGAL DESCRIPTION:
THE SOUTHWESTERLY 90 FEET OF LOTS 10 AND 11 IN BLOCK 175 OF SAN DIEGO LAND & TOWN COMPANY'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 379, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 30, 1886
COMMUNITY PLAN:
Barrio Logan
ZONING:
BLPD-REDEVL-P-SUBD
Barrio Logan Planned District Redevelopment Subdistrict
JURISDICTIONAL AUTHORITIES AND OVERLAY ZONES:
Transit Area Overlay
Transit Priority Area
Local Coastal Overlay
ZONING STRUCTURE HEIGHT:
35 FT MAX.
41 FT MAX. EXCEPTION PER SDMC 152.0319 (g) (2) FOR ROOF APPURTENANCES, LIMITED TO 10% TOTAL ROOF AREA
MAX. FAR
1.0 (4,503.71 sq. ft.)

CODE SUMMARY

BICYCLE PARKING SPACES:
Short-Term: 0.1 * 4.503 = 0.45 spaces required
6 spaces provided (1 required)
Long-Term:
4 spaces provided (1 required)
REQUIRED PARKING:
No requirement per SDMC 142.0540 (a)
SETBACKS (Nonresidential):
Front: 0 (adjoining structures are at 0)
Street side: n/a
Interior Side: 0 (no adjoining residential use)
Rear: 0 (no alley)
PEDESTRIAN ORIENTED DESIGN:
SDMC 152.0319 (e)(2)
Building wall for 65% of street frontage = 32' - 6"
ENVIRONMENTALLY SENSITIVE LANDS: None
LANDSCAPING
Street tree is existing
UNDERGROUND WAIVER:
Pursuant to SDMC 144.0242, the project meets several of these conditions for the approval of the waiver, including, but not limited to:
1. The property frontage represents a very short span of the block, approximately 8%, and would not represent a logical extension to an underground facility.
2. The project qualifies for the waiver in accordance to SDMC Section 144.0242(c)(1)(A), as undergrounding of the utilities are already scheduled to occur in the near term as part of the City's utility underground program (project ID UU820, a part of the Five Year Implementation Plan that will focus on project allocation for the years 2018 – 2022)

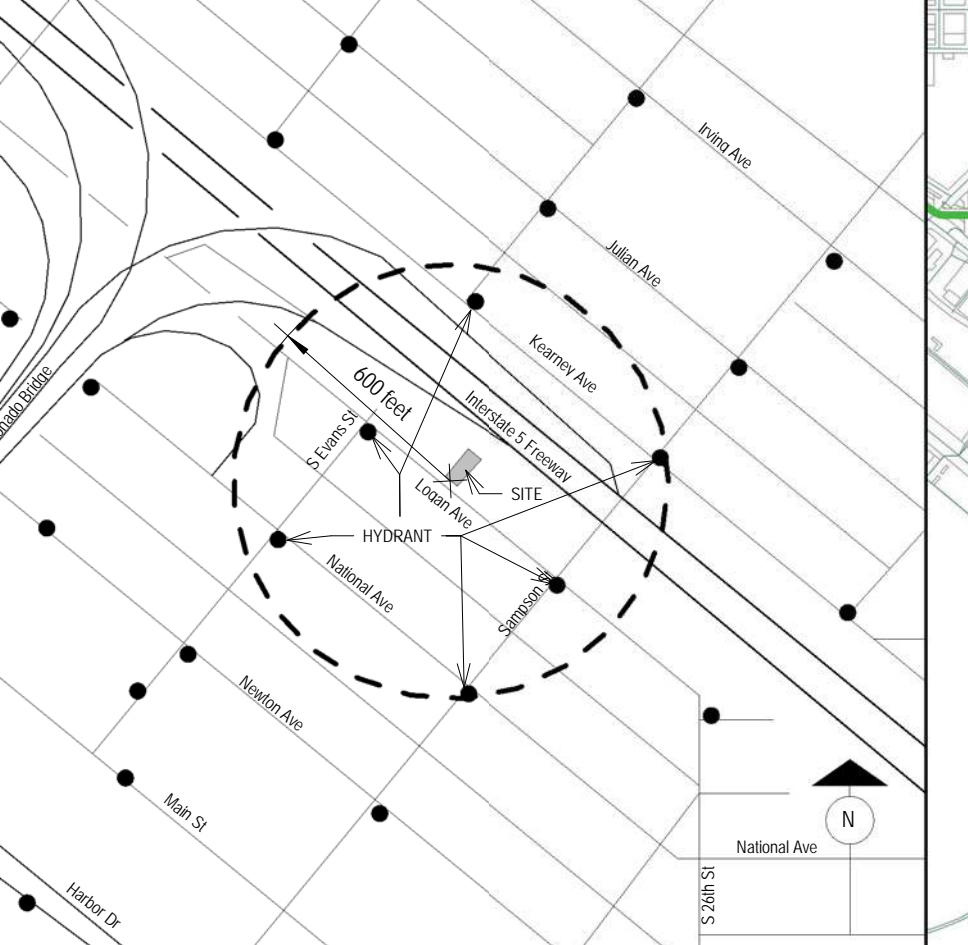
APPLICABLE BUILDING CODE

2016 CALIFORNIA BUILDING CODE (CBC)
NUMBER OF STORIES:
TWO-STORIES WITH BASEMENT (BELOW GRADE)
CONSTRUCTION TYPE:
TYPE VB
FIRE SPRINKLER SYSTEM TYPE: NFPA 13
TABLE 504.3 STRUCTURE HEIGHT:
60 FT MAXIMUM
TABLE 504.4 NUMBER OF STORIES ABOVE GRADE:
3 PERMITTED (2 PROPOSED)
TABLE 506.2 ALLOWABLE AREA:
27,000 SQ. FT.
TOTAL FLOOR AREA:
SEE SHEET G_001 FOR PROPOSED GSF
EXISTING USES:
VACANT
PROPOSED USES:
Group B
Per CBC 303.1.1 assembly group A-3, art gallery, has fewer than 50 persons and shall be classified as a Group B occupancy.
TABLE 1004.1.2
Exhibit Gallery with mercantile component, 30 net Business area, 100 gross
CLIMATE ZONE
7

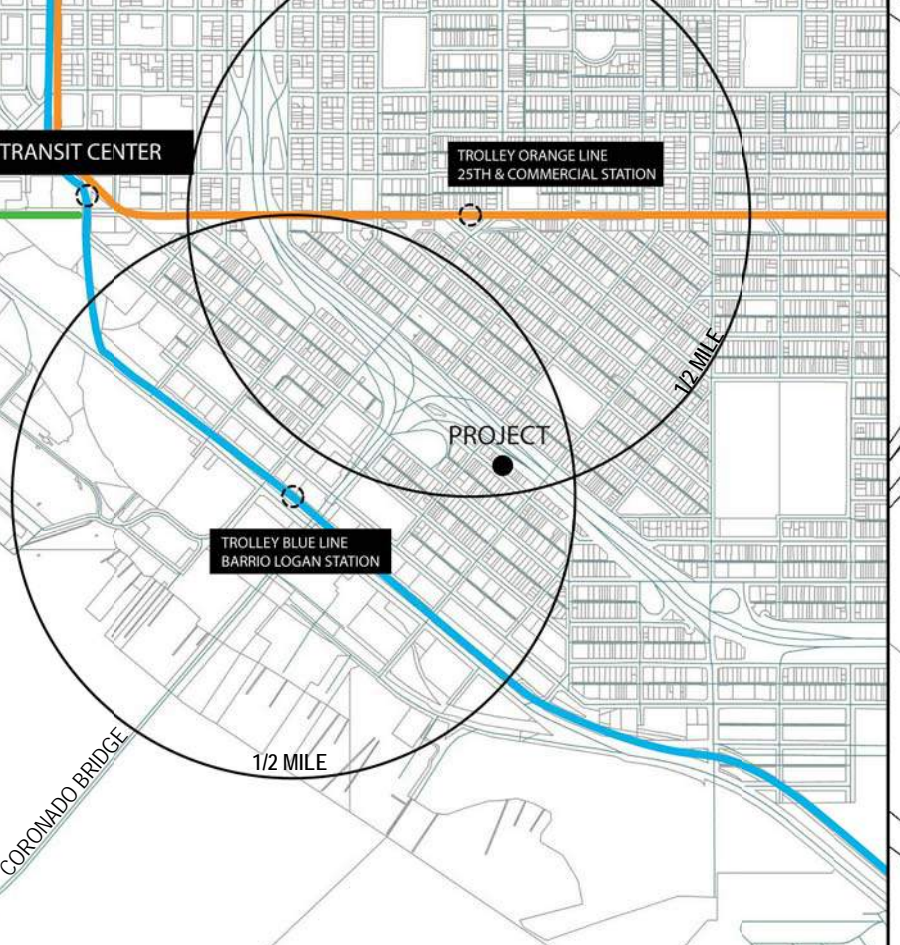
PERSPECTIVE DIAGRAM



HYDRANT LOCATIONS



CONTEXT MAP

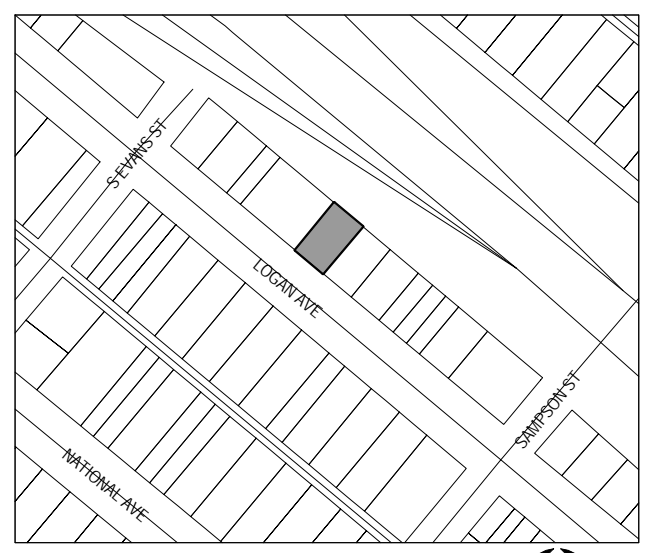


VICINITY MAP



LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



OWNER:
W.RKSH.P Ilc
PO BOX 635234
San Diego, CA 92163
v:619.985.4070
ARCHITECT:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887
CIVIL ENGINEER:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
v: 760.510.3152
LANDSCAPE ARCHITECT:
Kent A Wilson
Landscape Resource Group+Assoc.
8401 Blue Lake Drive
San Diego, CA 92119
v:619.497.0556



PROJECT PHASE schedule table:
SDP / CDP Submittal: 2 November 14, 2017
SDP/CDP Resubmittal: 3 May 14, 2018
SDP/CDP Resubmittal 2: 4 July 18, 2018

SCALE: (AS NOTED)
TITLE SHEET
G_000
E:\My Documents\Work\TFWA\Jobs\1611-Barrio-Logan\Design Files\Rev\1\Logan Arts Building.rvt

GENERAL NOTES:

GROSS FLOOR AREA (GFA)

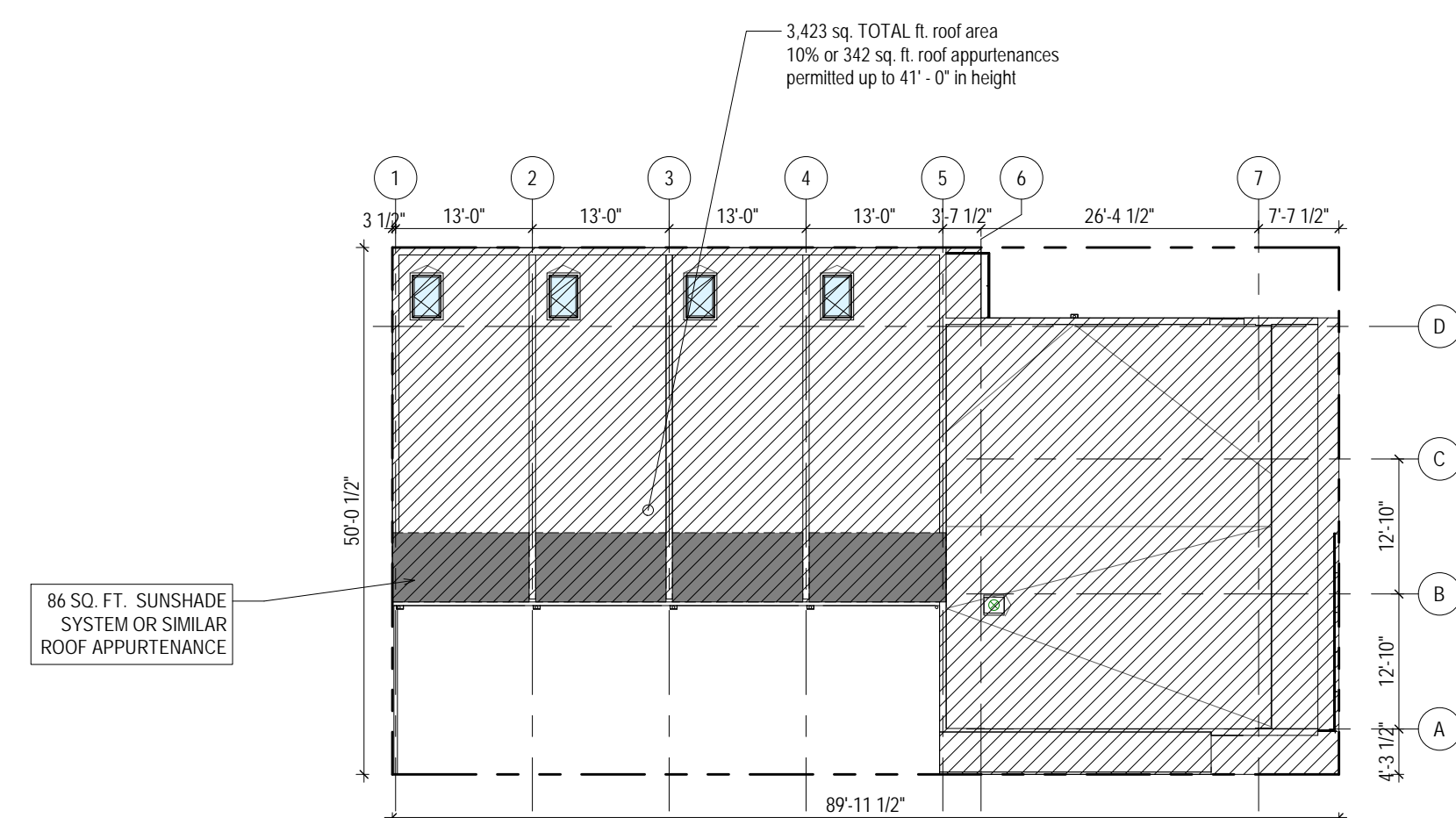
FIRST FLOOR	
ART STUDIO 1	353 SF
ART STUDIO 2	345 SF
ART STUDIO 3	345 SF
ART STUDIO 4	353 SF
COMMERCIAL / GALLERY	588 SF
JANITOR CLOSET	16 SF
STORAGE	26 SF
TRASH	40 SF
B	2084 SF

SECOND FLOOR	
ART STUDIO 5	353 SF
ART STUDIO 6	345 SF
ART STUDIO 7	345 SF
ART STUDIO 8	353 SF
ART STUDIO 9	334 SF
ART STUDIO 10	346 SF
ART STUDIO 11	346 SF
JANITOR CLOSET	16 SF
B	2438 SF
Grand total: 16	4503 SF

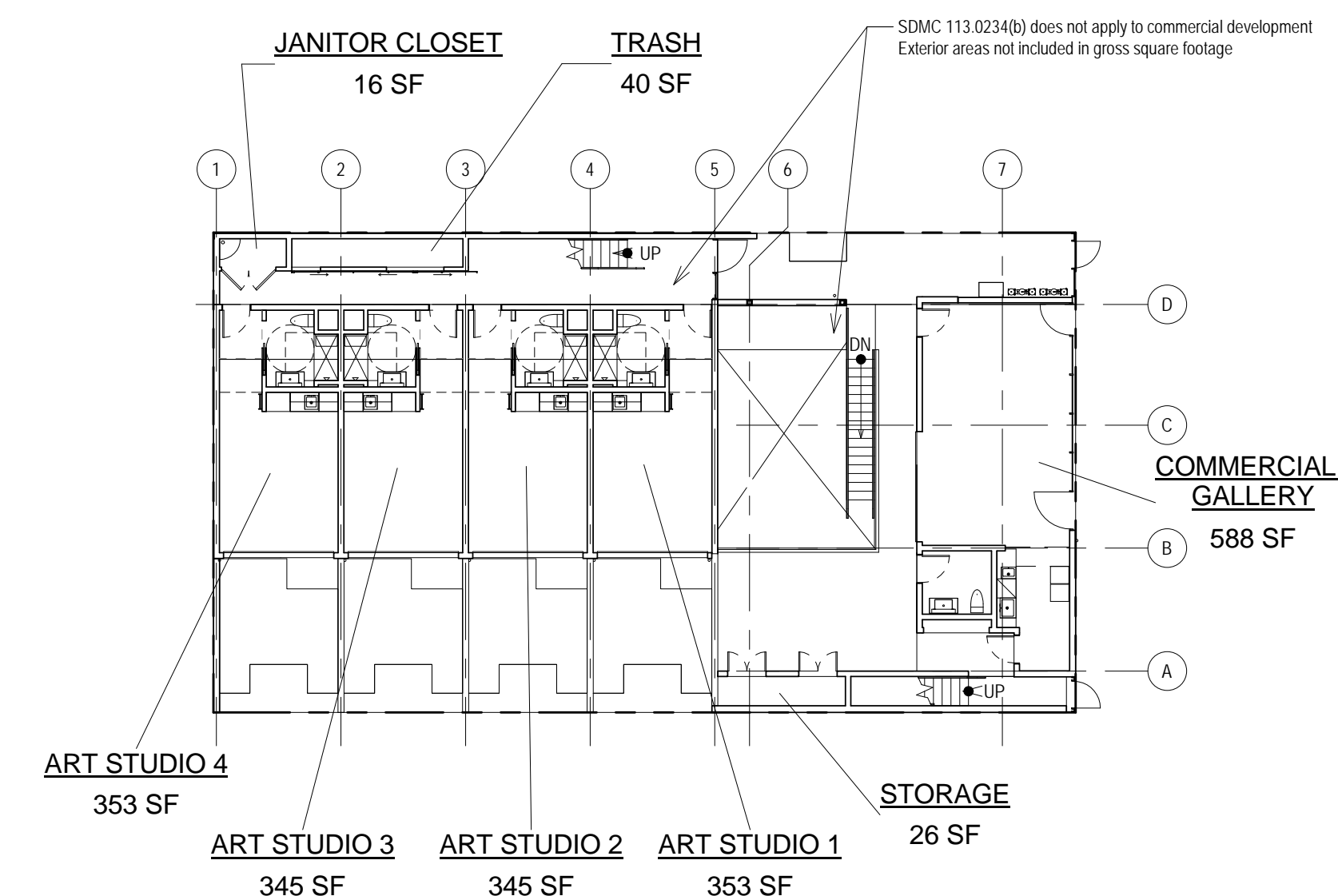
- Notes
1. Maximum FAR = 1.0 (4,503.71 sq. ft.)
 2. SDMC 113.0234(b) does not apply to commercial development. Phantom floors and spaces below enclosed areas therefore do not apply

EXCLUDED AREA

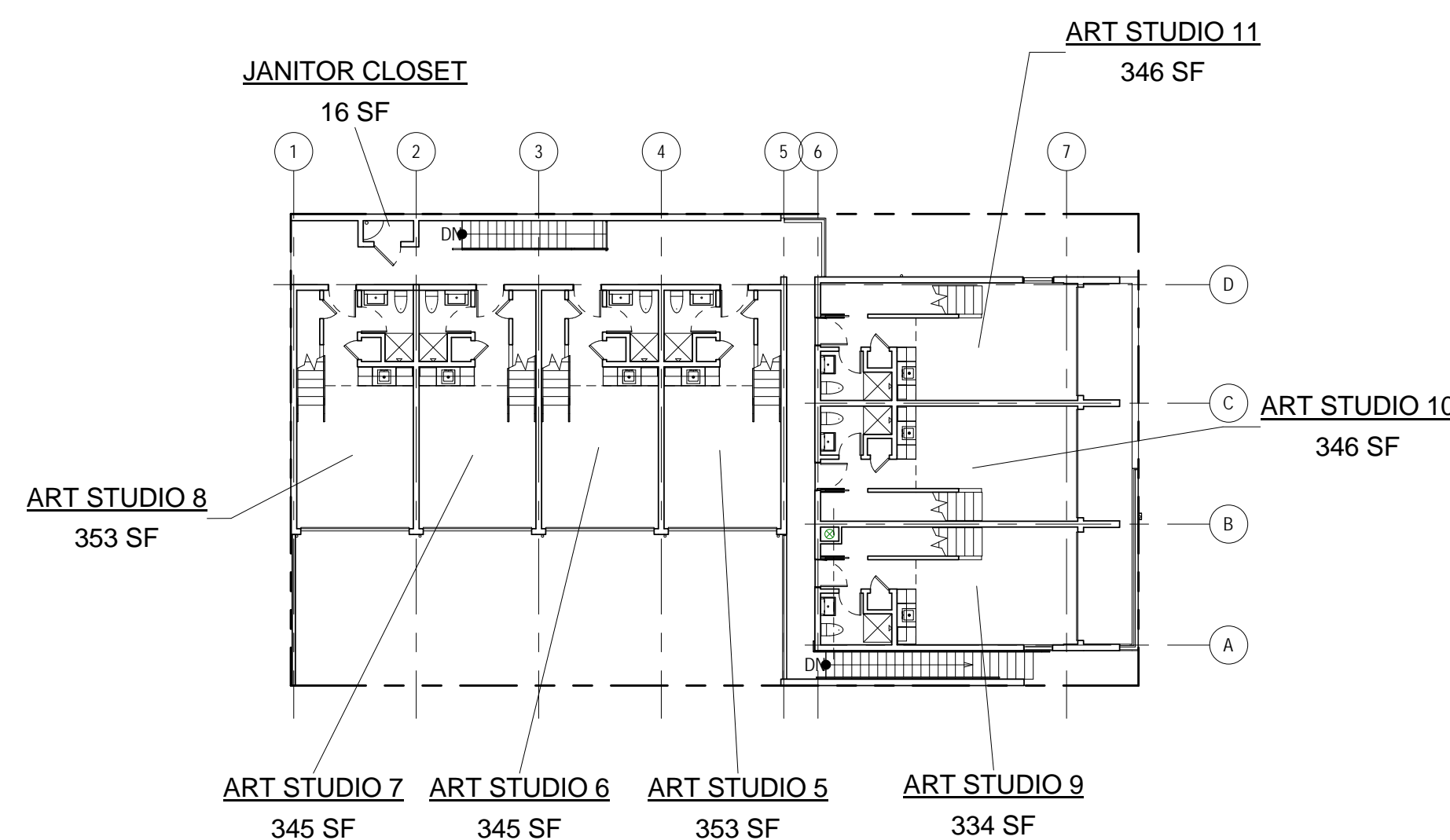
BASEMENT	
BASEMENT STORAGE	1013 SF



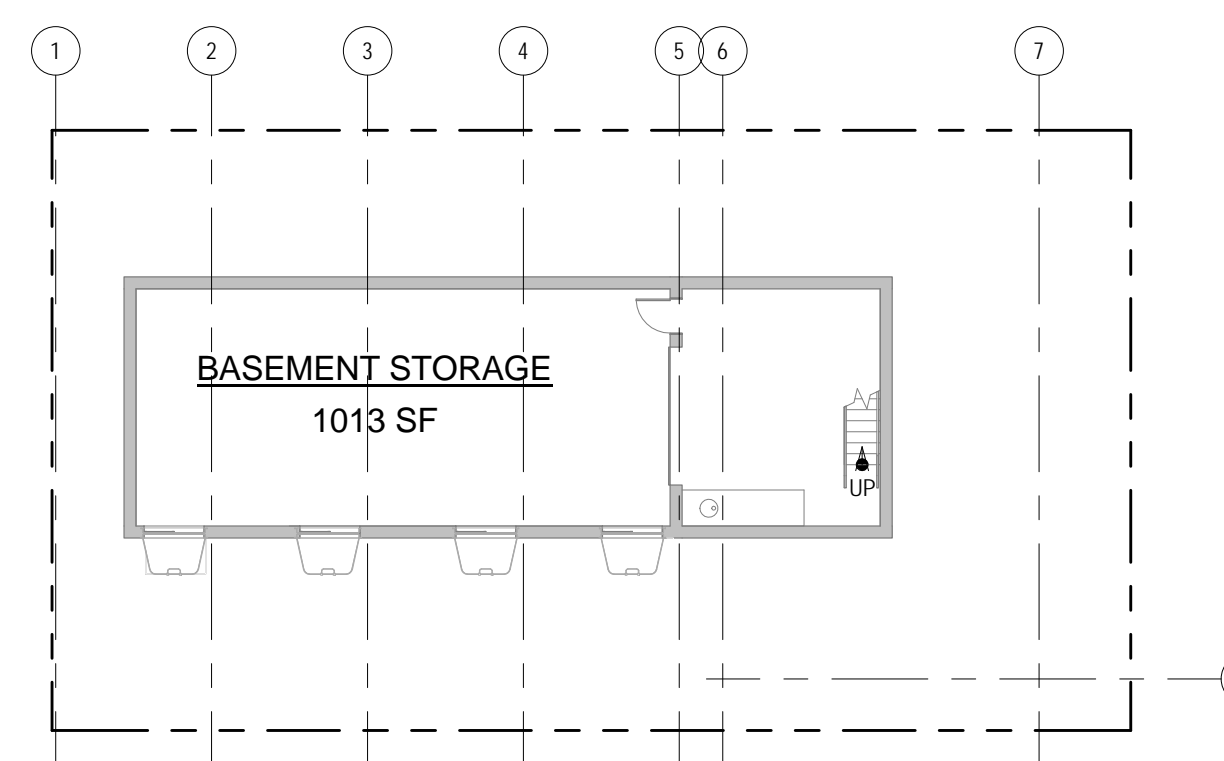
04 ROOF APPURTENANCES
SCALE [1/16" = 1'-0"]



02 FIRST FLOOR
SCALE [1/16" = 1'-0"]



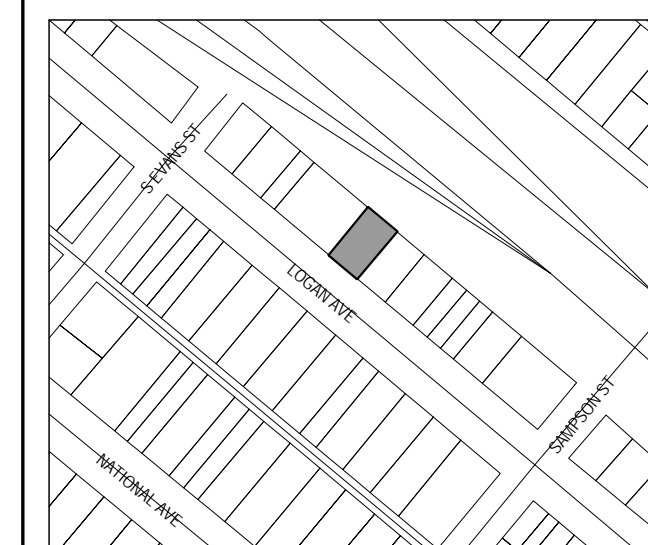
03 SECOND FLOOR
SCALE [1/16" = 1'-0"]



01 BASEMENT
SCALE [1/16" = 1'-0"]

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



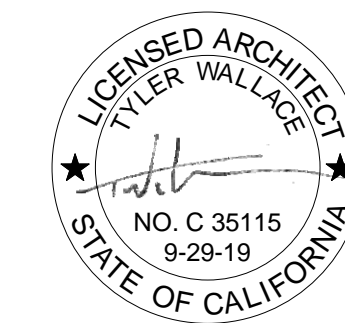
KEY PLAN

Owner:
W.R.K.S.H.P. Inc.
PO BOX 63234
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887

Civil Engineer:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
v: 760.510.3152

Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
9401 Blue Lake Drive
San Diego, CA 92119
v: 619.497.0556

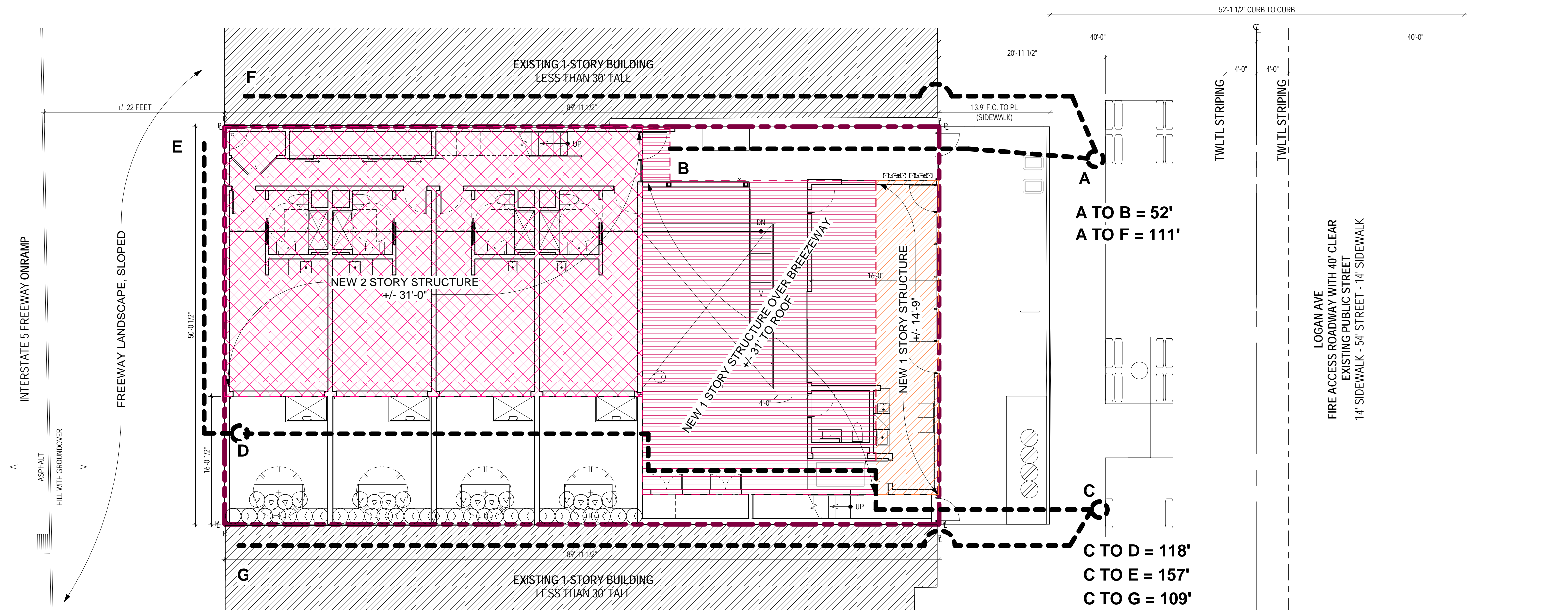


PROJECT PHASE
SDP / CDP Submittal 2 November 14, 2017

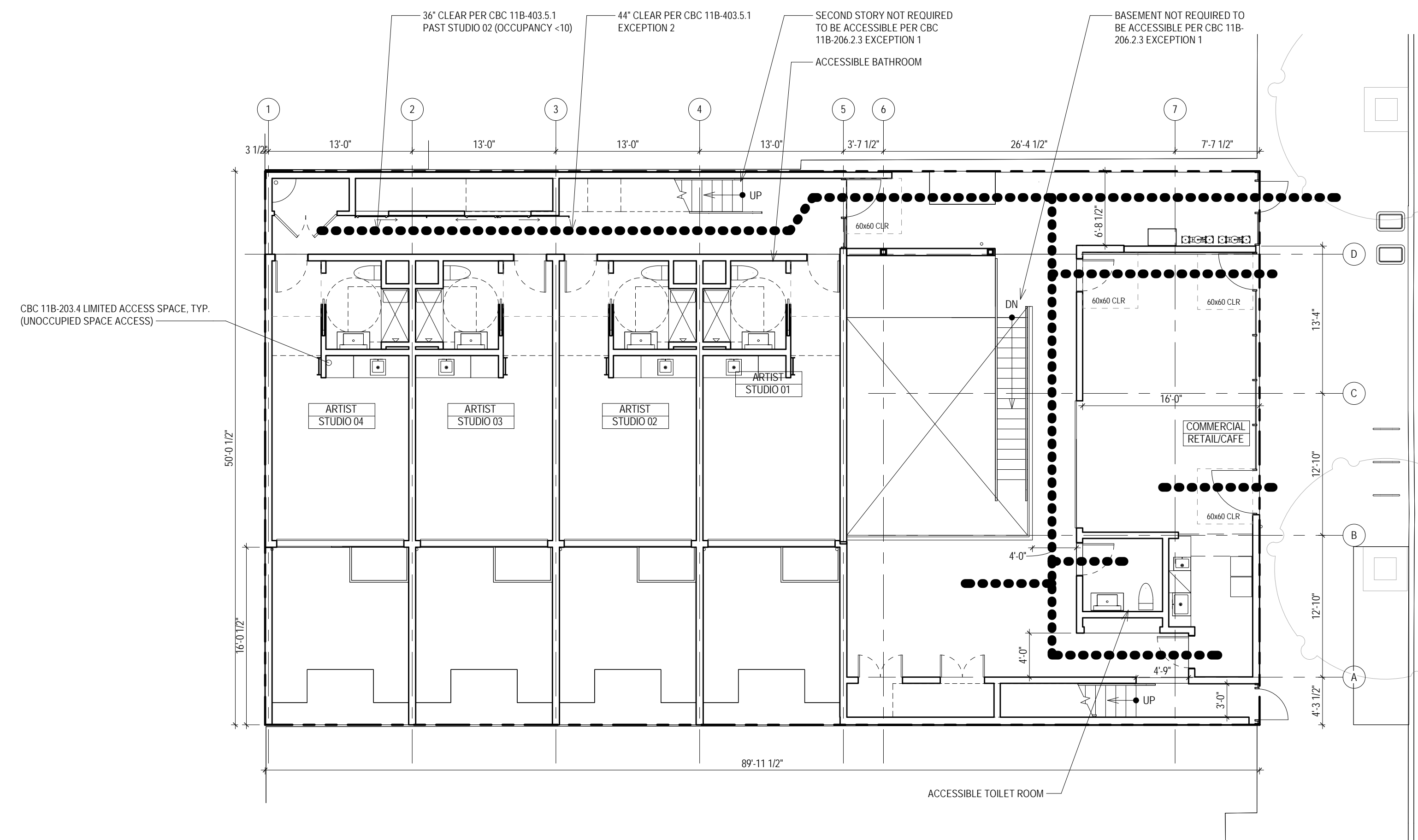
SCALE [AS NOTED]

AREAS
G_001

GENERAL NOTES:



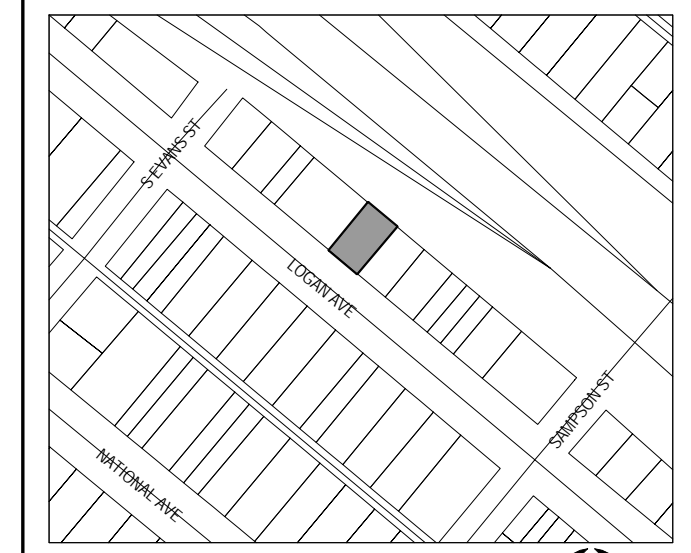
02 FIRE ACCESS PLAN
SCALE: 1/8" = 1'-0"



01 ACCESSIBILITY PLAN
SCALE: 1/8" = 1'-0"

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



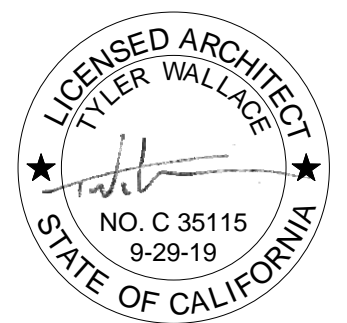
KEY PLAN

Owner:
WRKSH P, Inc.
PO BOX 635234
San Diego, CA 92163
v: 619.985.4070

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TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
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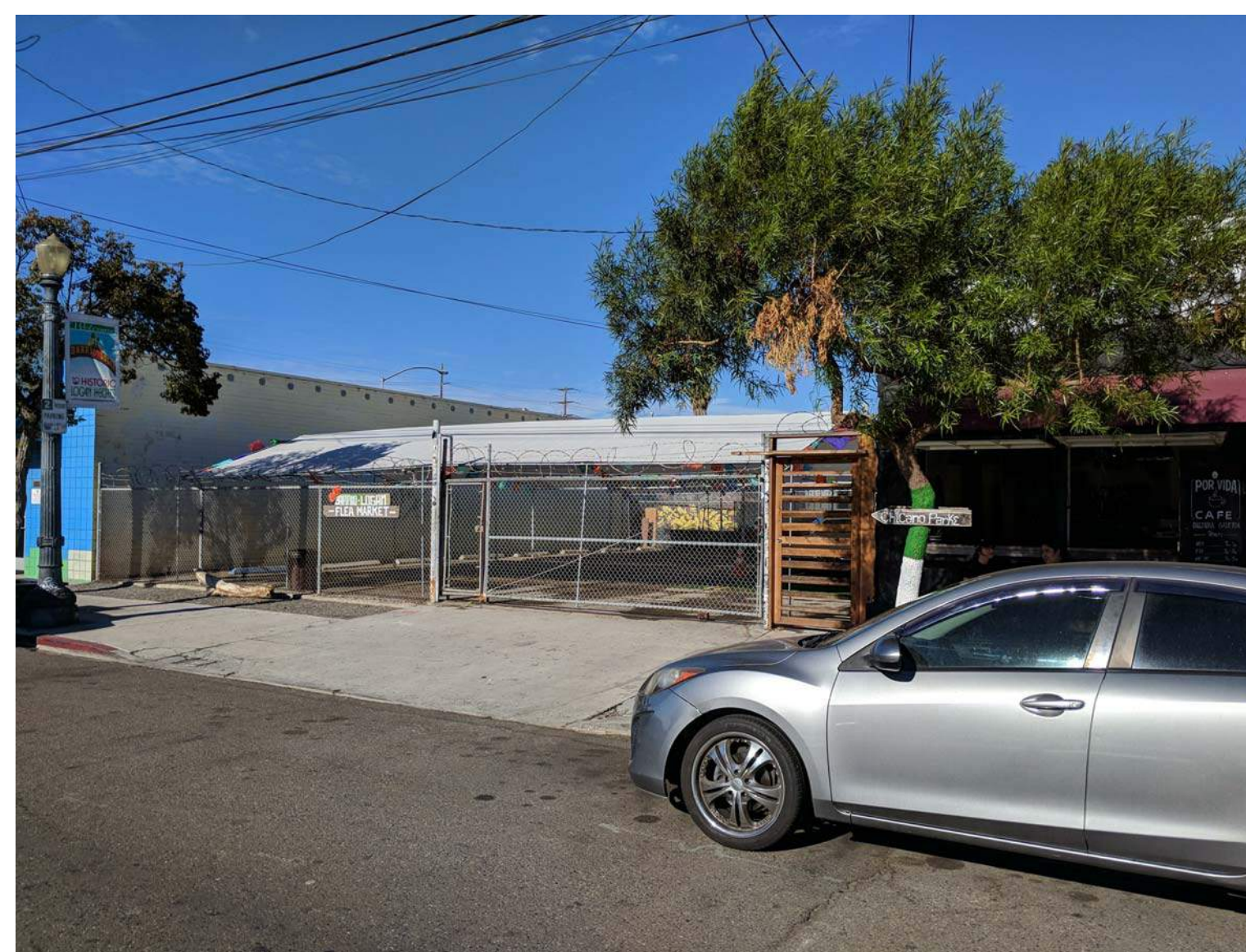
PROJECT PHASE
SDP / CDP Submittal

2 November 14, 2017

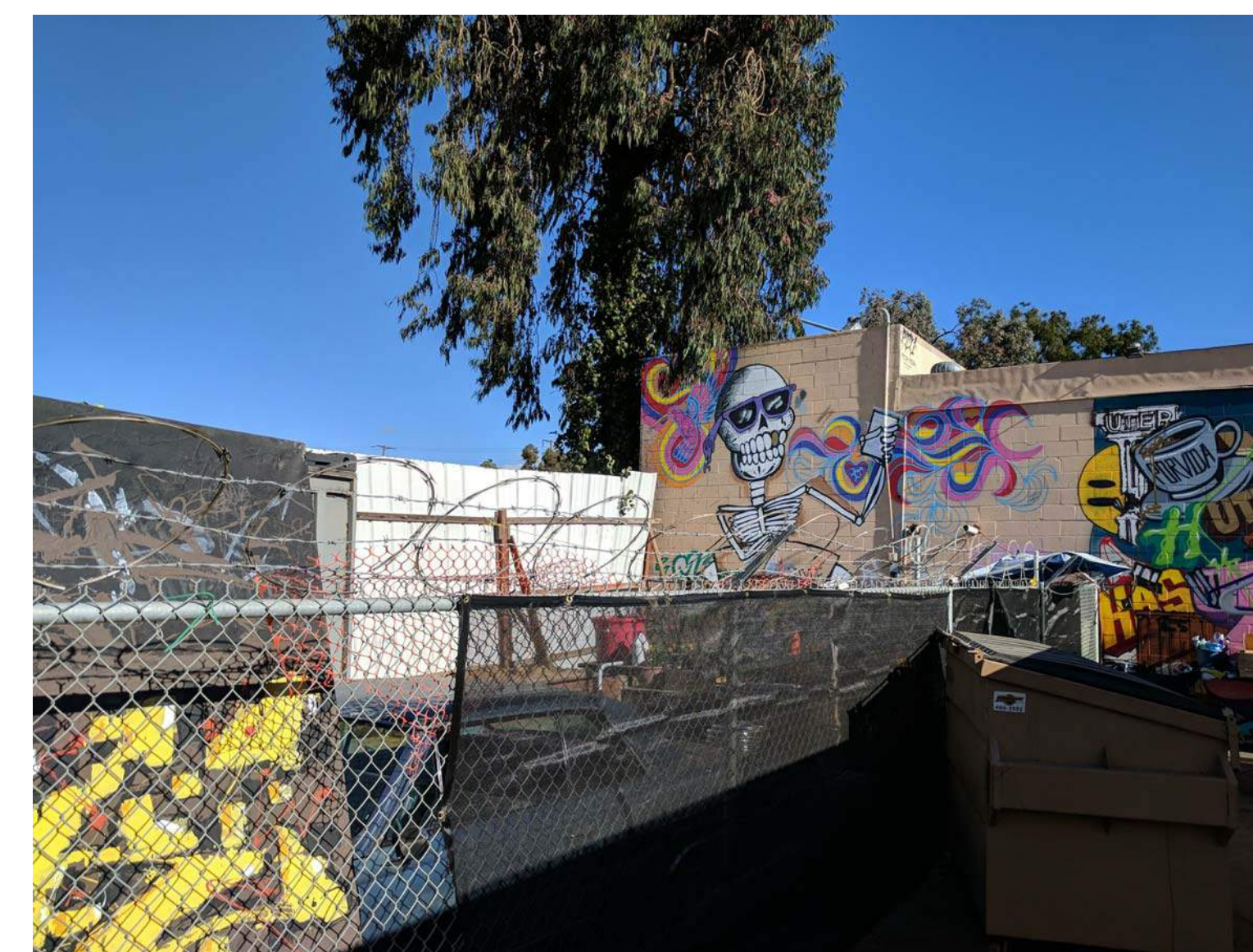
SCALE (AS NOTED)
ACCESSIBILITY & FIRE ACCESS
PLAN

G_004

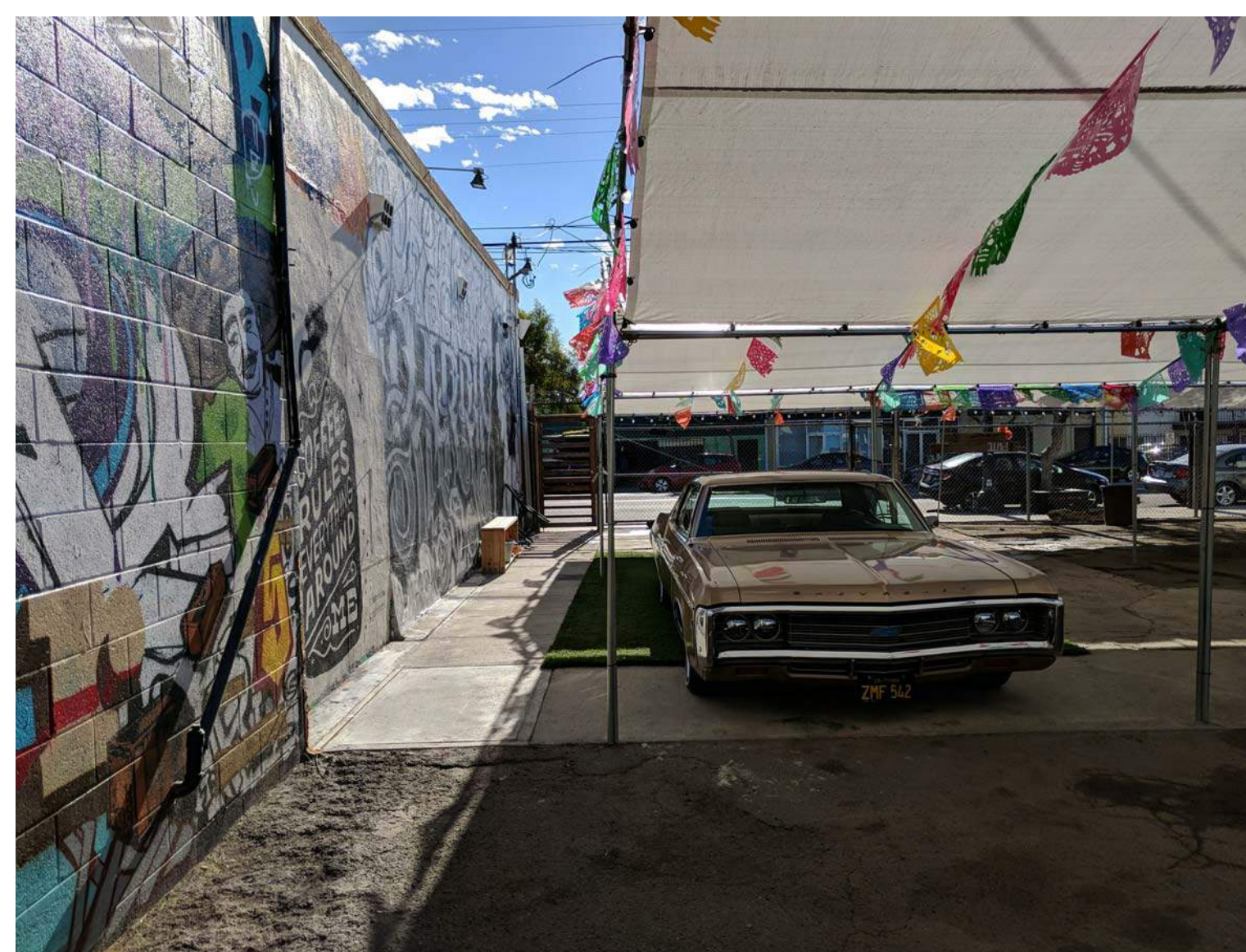
GENERAL NOTES:



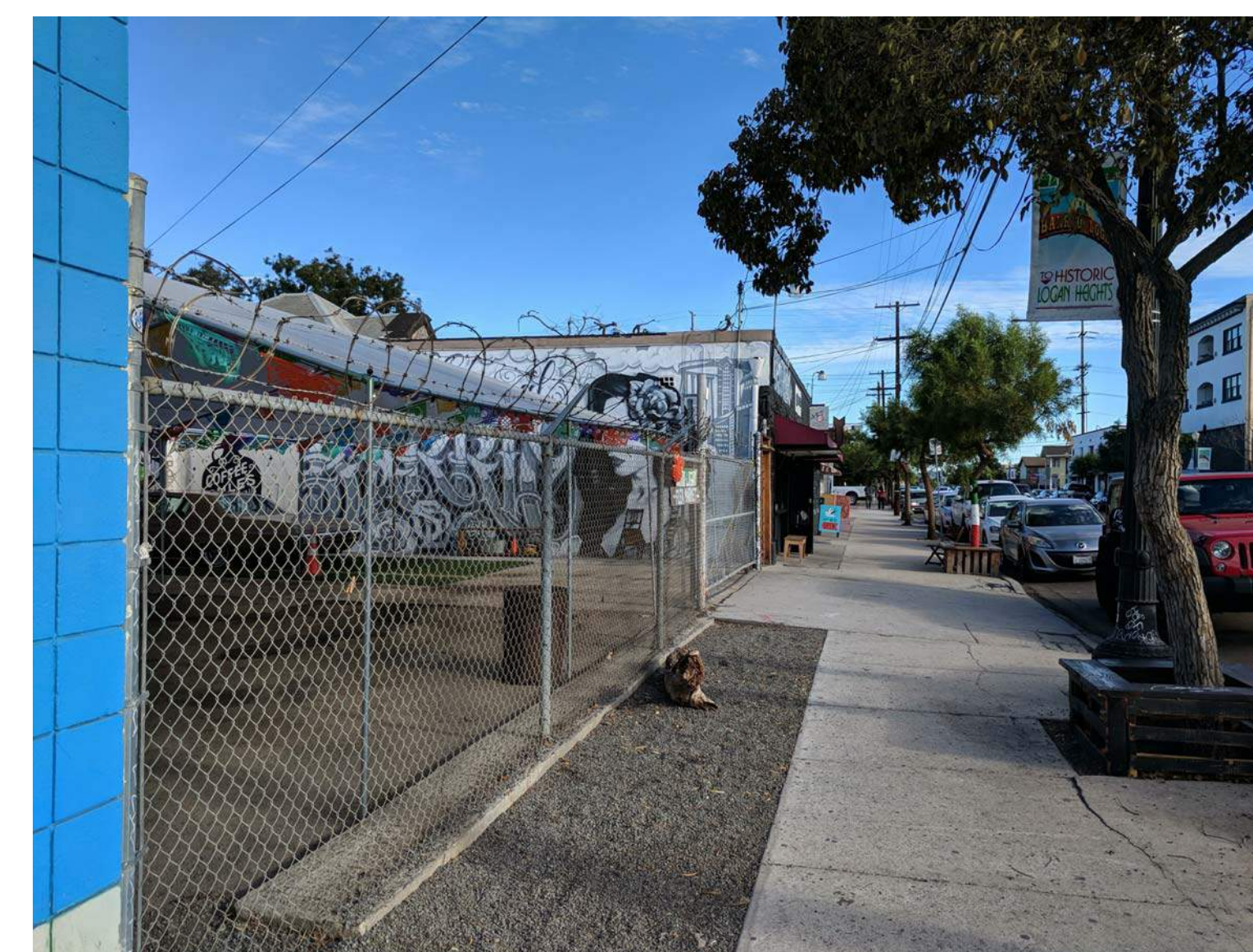
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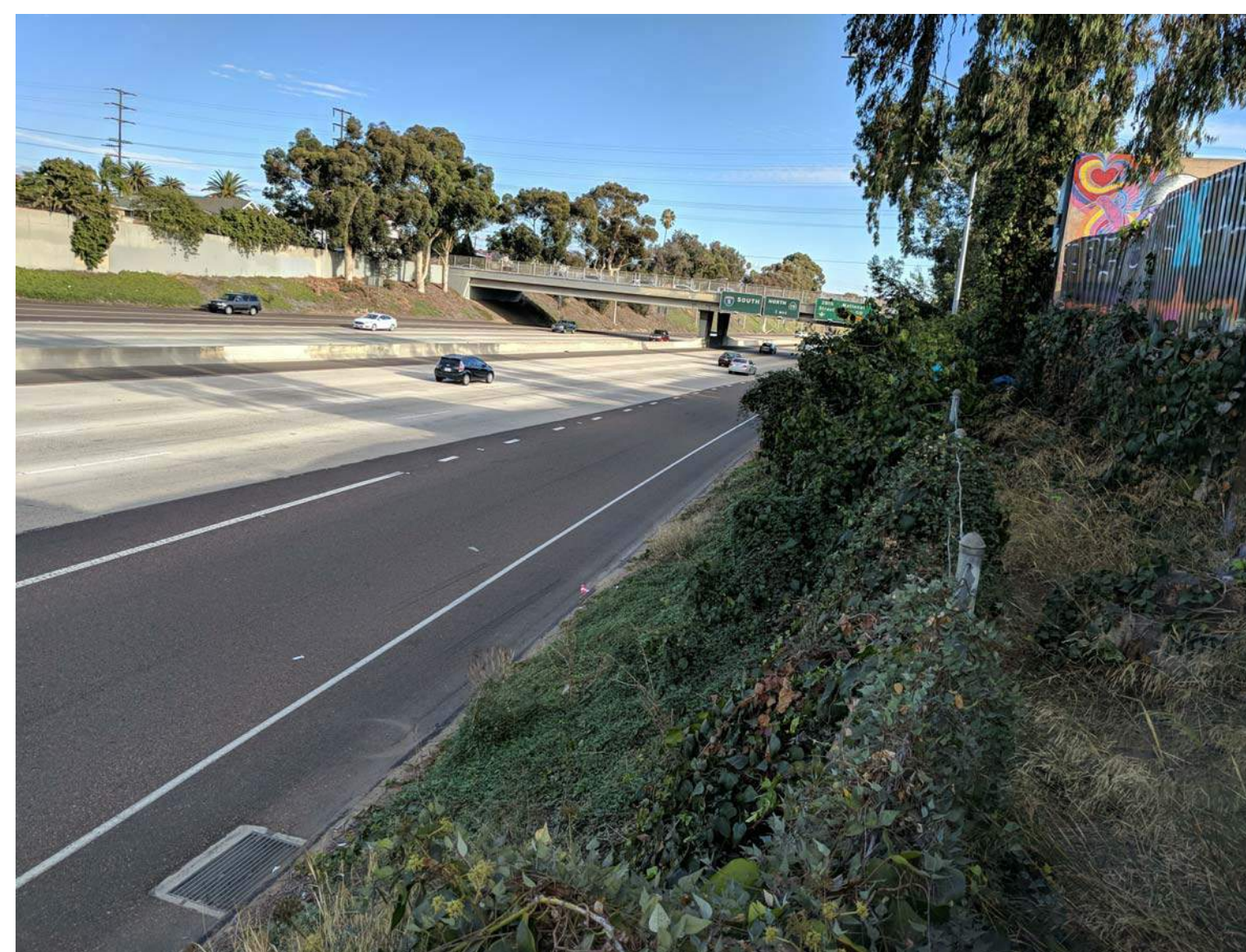
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3



4



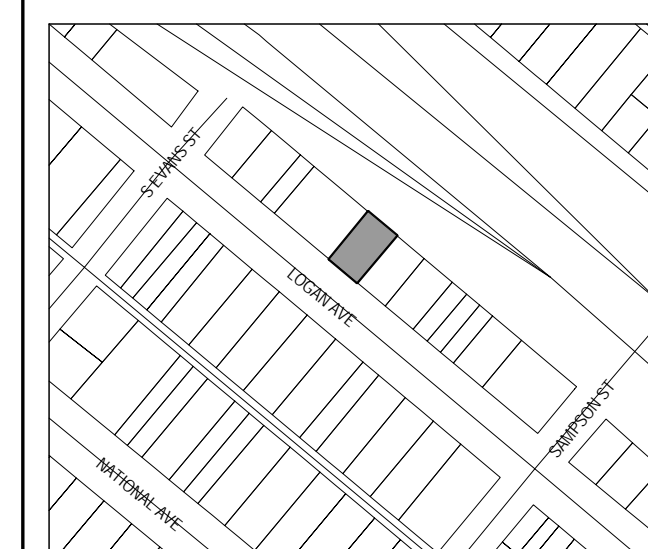
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6

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



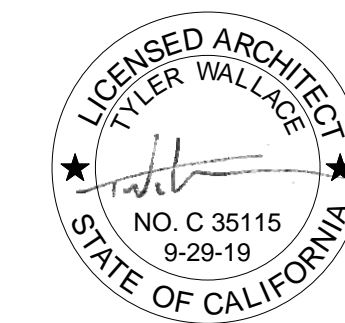
KEY PLAN

Owner:
WRKSH P, Inc.
PO BOX 635234
San Diego, CA 92163
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v: 760.510.3152

Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
9401 Blue Lake Drive
San Diego, CA 92119
v: 619.497.0556



PROJECT PHASE

SDP / CDP Submittal 2 November 14, 2017

SCALE (AS NOTED)

PHOTOGRAPHIC SURVEY

G_008

E:\My Documents\Work\TFWA\Jobs\1611-Barrio-Logan\Design Files\Revit\Logan Arts Building.rvt

City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 448-5000

Storm Water Requirements Applicability Checklist FORM DS-560 OCTOBER 2016

Project Address: _____ Project Number (for City Use Only): _____

SECTION 1. Construction Storm Water BMP Requirements:
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 Yes; SWPPP required, skip questions 2-4 No; next question

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and contact with storm water runoff?
 Yes; WPCP required, skip 3-4 No; next question

3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes; WPCP required, skip 4 No; next question

4. Does the project only include the following Permit types listed below?
• Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
• Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
• Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.
 Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities. (DS-560 (10-16))

Clear Page 1

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continue to Section 2

1. ASBS
a. Projects located in the ASBS watershed.

2. High Priority
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.

3. Medium Priority
a. Projects 1 acre or more but not subject to an ASBS or high priority designation.
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.

4. Low Priority
a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.

SECTION 2. Permanent Storm Water BMP Requirements.
Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".
If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No

3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

Clear Page 2

City of San Diego • Development Services • Storm Water Requirements Applicability Checklist Page 3 of 4

PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
If "no" was checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
• Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
• Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
• Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual?
 Yes; PDP exempt requirements apply No; next question

2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
 Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".
If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No

4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No

5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

Clear Page 3

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

7. New development or redevelopment discharging directly to an Environmentally Sensitive Area (ESA). The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No

8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No

9. New development or redevelopment projects of an automotive repair shops that create and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. Yes No

10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

1. The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.

2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.

3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.

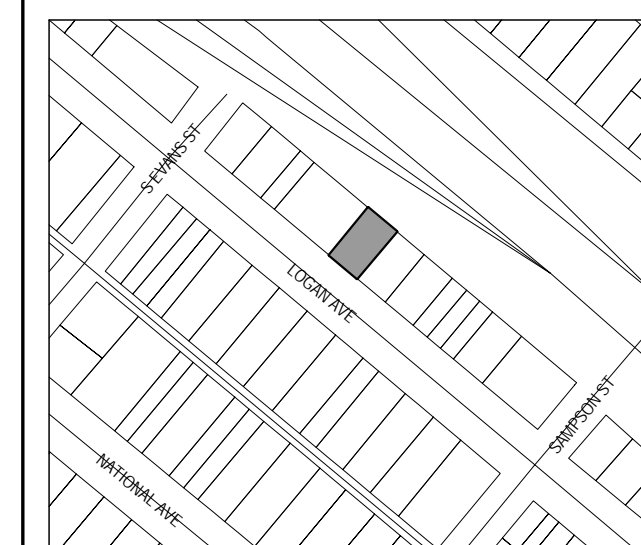
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management

Tyler Wallace, AIA Architect
Name of Owner or Agent (Please Print) Title
Signature Date 11/10/2017

Clear Page 4
Clear Form

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



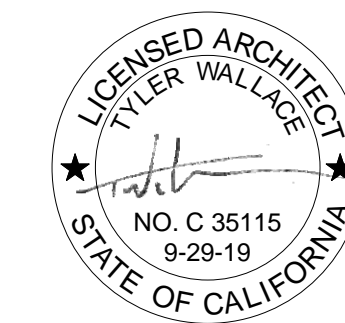
KEY PLAN

Owner:
W.R.KSH P. Inc.
PO BOX 635234
San Diego, CA 92163
619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887

Civil Engineer:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
v: 760.510.3152

Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
8401 Blue Lake Drive
San Diego, CA 92119
v: 619.497.0556



PROJECT VALLERY
SDP / CDP Submittal 2 November 14, 2017

SCALE (AS NOTED)

STORMWATER DS-560

G_010

ALTA/NSPS LAND TITLE SURVEY

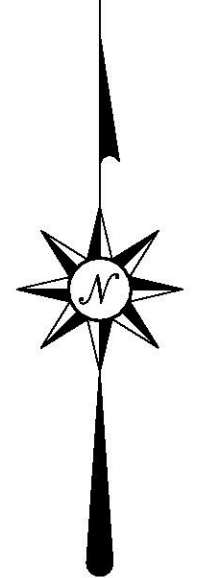
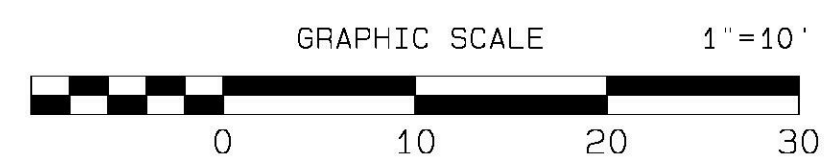
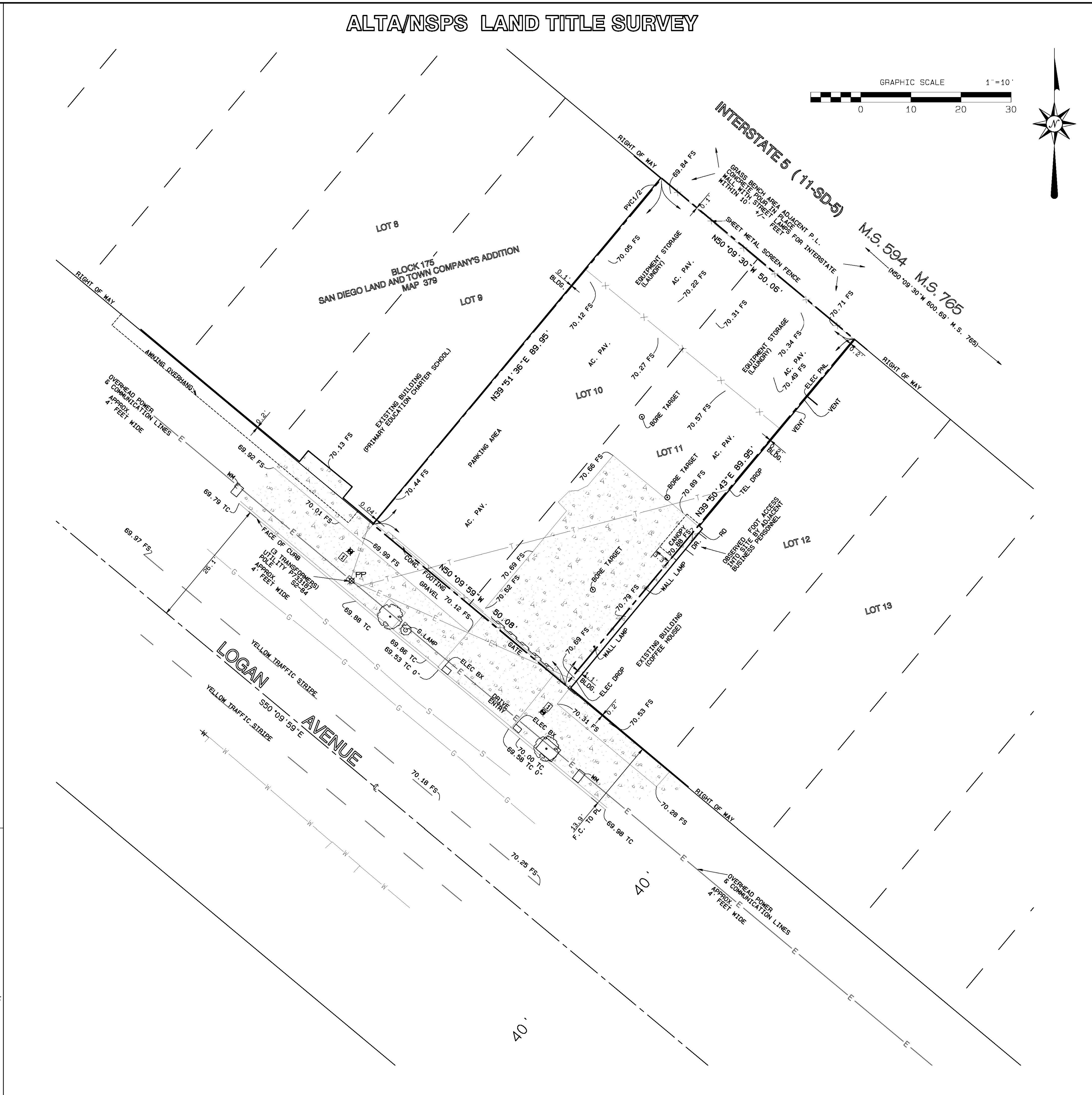
LEGEND

- ◆ FOUND SURVEY MONUMENTS PER CR. 3469
- RECORD BOUNDARY LINE
- ▬ MASONRY BLOCK WALL
- ⊗ STREET LIGHT POST
- ▭ CONCRETE SURFACE
- 691.20 SPOT ELEVATION
- PP UTILITY POWER POLE
- X FENCE (TYPE AS NOTED)
- E ELECTRICAL LINE MARKOUT
- W WATER LINE MARK OUT
- S SEWER LINE MARK OUT
- FOUND LEAD & DISC "CITY ENGINEER" SURVEY MONUMENT PER CR. 3469 ON 7' FOOT OFFSET TO PL.

BOUNDARY LINE DATA
N89°57'02"W

ABBREVIATIONS

AC.PAV.	ASPHALT PAVEMENT
CO	CLEAN OUT (TYPE IS NOTED WITH PREFIX)
FH	FIRE HYDRANT
FS	FINISHED SURFACE
MH	MAN HOLE (TYPE NOTED)
TG	TOP OF GRATE
TW	TOP OF WALL
SD	STORM DRAIN
SEW	SANITARY SEWER SYSTEM
S.P.	STAND PIPE (STORM DRAIN FLOW RATE DEVICE)
WV	WATER VALVE
CI	CURB INLET STORM DRAIN BASIN
CB	CATCH BASIN
GV	GAS VALVE
WM	WATER METER
BFD	BACK FLOW PREVENTION DEVICE
TE	TRASH ENCLOSURE
CONC.	CONCRETE
AC.	ASPHALT
G	GAS
TEL. COM	TELECOMMUNICATIONS
RFR	RISER ACCESS PANEL
FD.	FOUND
I.P.	IRON PIPE
PL	PROPERTY LINE
BOL	BOLLARD



LEGAL DESCRIPTION

THE SOUTHWESTERLY 80 FEET OF LOTS 10 AND 11 IN BLOCK 175 OF SAN DIEGO LAND & TOWN COMPANY'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 379, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 30, 1886.

APN: 538-560-49-00

LOGAN AVENUE, SAN DIEGO, CALIFORNIA

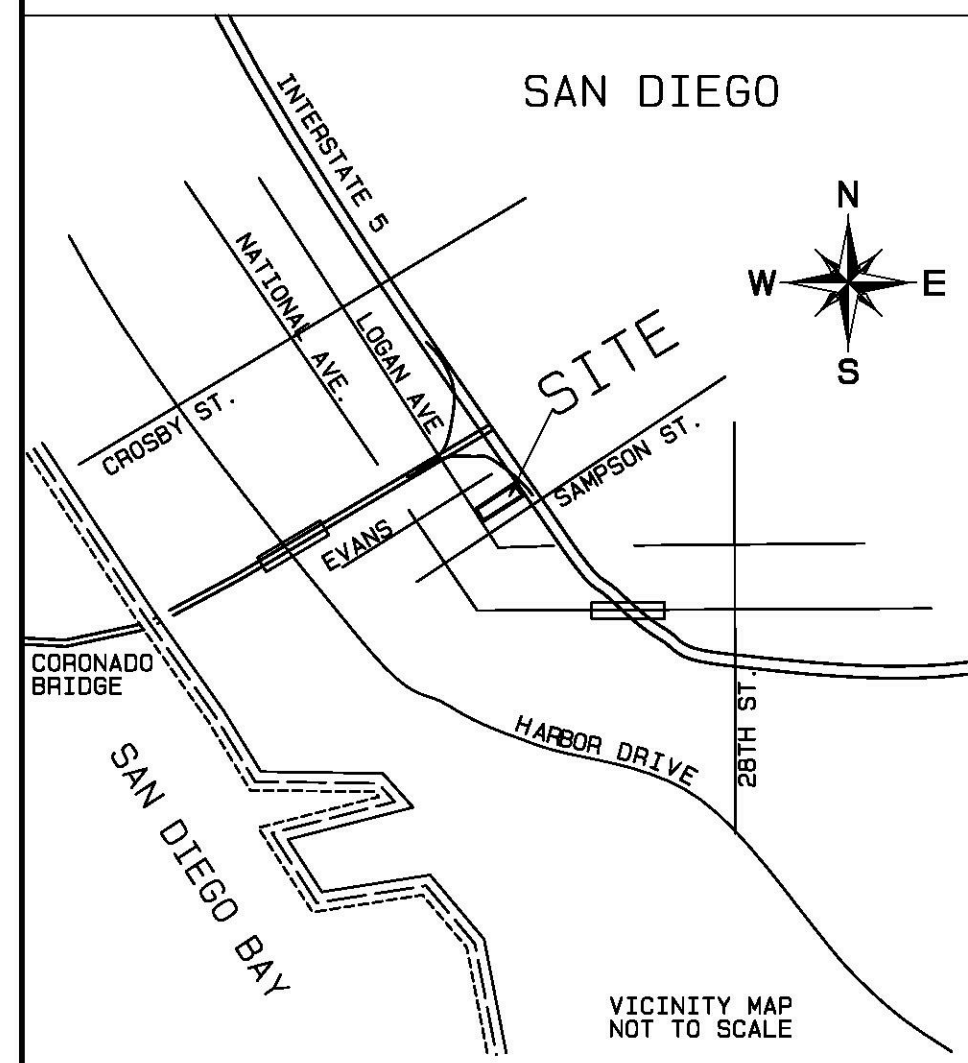
- NOTES:**
1. THE TOTAL LAND AREA: 4503.71 Sq. Ft. OR 0.1034 Acres
 2. BEARING AND DISTANCES SHOWN HEREON ARE DERIVED FROM RECORD INFORMATION AND NOT THE RESULT OF A COMPLETE BOUNDARY SURVEY. RECORD BOUNDARY BASED ON MONUMENTS SET PER CR 3469, CR 38271, MS 594, MS 765, & RGS 1500. RECOVERED MONUMENTS ARE SHOWN HEREON. A RECORD OF SURVEY PER SECTION 8762 OF THE BUSINESS AND PROFESSIONS CODE IS REQUIRED TO SET MONUMENTS AT THE INTERSECTION RIGHT OF WAY OF INTERSTATE 5 AS NONE HAVE EVER BEEN SET ON ANY OFFICIAL MAP.
 3. THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTHWESTERLY LINE OF MS 765 I.E., N60°09'30"W 600.69'
 4. THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE CITY OF SAN DIEGO VERTICAL CONTROL STA. ID. 11966.00. LOCATION: EAST RETURN LOGAN AVE. AND EVANS ST. DESCRIPTION: BRASS PLUG IN TOP OF CURB. ELEVATION: 69.42. DATUM: N.G.V.D. 29
 5. WITH REGARD TO TABLE "A", ITEM 11(B), SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHEN ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
 6. OBSERVED SIDE DOOR FOOT ACCESS INTO PROPERTY FROM ADJACENT BUSINESS ON LOT 12. AN ELECTRICAL POWER DROP AND COMMUNICATIONS LINE DROP CROSS THE PROPERTY. TWO SECURITY LIGHTS FROM LOT 12 ENCROACH INTO THE AIRSPACE OF THE PROPERTY.

EASEMENTS AND EXCEPTIONS

EASEMENTS AND EXCEPTIONS PER: Chicago Title Company
ISSUING OFFICE: 2385 Northside Drive, Suite 600, San Diego, CA 92108

Order No.: 73716007275-PM
EFFECTIVE DATE: June 9, 2016 at 07:30 AM

4. Water rights, claims or title to water, whether or not disclosed by the public records. (NOT PLOTTED HEREON)
5. The Land described herein is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the Redevelopment Plan) as disclosed by a document.
Redevelopment Agency: Barrio Logan Redevelopment Project Area
Recording Date: March 27, 2007
Recording No.: 2007-0206129, Official Records



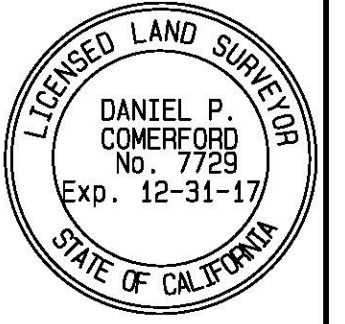
CERTIFICATION

TO: SIAVASH GHAMATY, W.RKSH.P.LLC AND CHICAGO TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES NO ITEMS OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 8th, 2016.

BY: DANIEL P. COMERFORD
LICENSED SURVEYOR NO. 7729
LICENSE EXPIRES 12-31-2017

DATE: JULY 8, 2016



EXISTING TOPOGRAPHY AND DEMOLITION PLAN

FOR: LOGAN ARTS BUILDING 2142 LOGAN AVENUE, SAN DIEGO, CA 92113

LEGEND

- ◆ FOUND SURVEY MONUMENTS PER CR. 3469
- RECORD BOUNDARY LINE
- ✱ STREET LIGHT POST
- ▭ CONCRETE SURFACE
- 691.20 SPOT ELEVATION
- PP UTILITY POWER POLE
- FENCE (TYPE AS NOTED)
- ELECTRICAL LINE MARKOUT
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- N89°57'02"W BOUNDARY LINE DATA

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- CB CATCH BASIN
- GV GAS VALVE
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- BFP BACK FLOW PREVENTION DEVICE
- TE TRASH ENCLOSURE
- CONC. CONCRETE
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- GAS GAS
- TEL. COM TELECOMMUNICATIONS
- RISER RISER ACCESS PANEL
- FOUND FOUND
- IRON PIPE IRON PIPE
- PL PROPERTY LINE
- BOL BOLLARD

NOTES:

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- THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTHWESTERLY LINE OF MS 765 I.E., N50°09'30"W 600.69'
- WITH REGARD TO TABLE "A", ITEM 11(B), SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHEN ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- OBSERVED SIDE DOOR FOOT ACCESS INTO PROPERTY FROM ADJACENT BUSINESS ON TO LOT 12. AN ELECTRICAL POWER DROP AND COMMUNICATIONS LINE DROP CROSS THE PROPERTY AIRSPACE TO LOT 12. TWO SECURITY LIGHTS FROM LOT 12 ENCRACH INTO THE AIRSPACE OF THE PROPERTY.

EASEMENTS AND EXCEPTIONS

EASEMENTS AND EXCEPTIONS PER: Chicago Title Company
 ISSUING OFFICE: 2365 Northside Drive, Suite 600, San Diego, CA 92108

Order No.: 73716007275-PM
 EFFECTIVE DATE: June 9, 2016 at 07:30 AM

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 Recording Date: March 27, 2007
 Recording No.: 2007-0205129, Official Records

SOURCE OF TOPOGRAPHY

INDIGO SURVEYING, INC.
 1324 24TH STREET
 SAN DIEGO, CA 92102
 TEL: 858-663-1763
 EMAIL: INDIGOSURVEYING@COX.NET

LEGAL DESCRIPTION

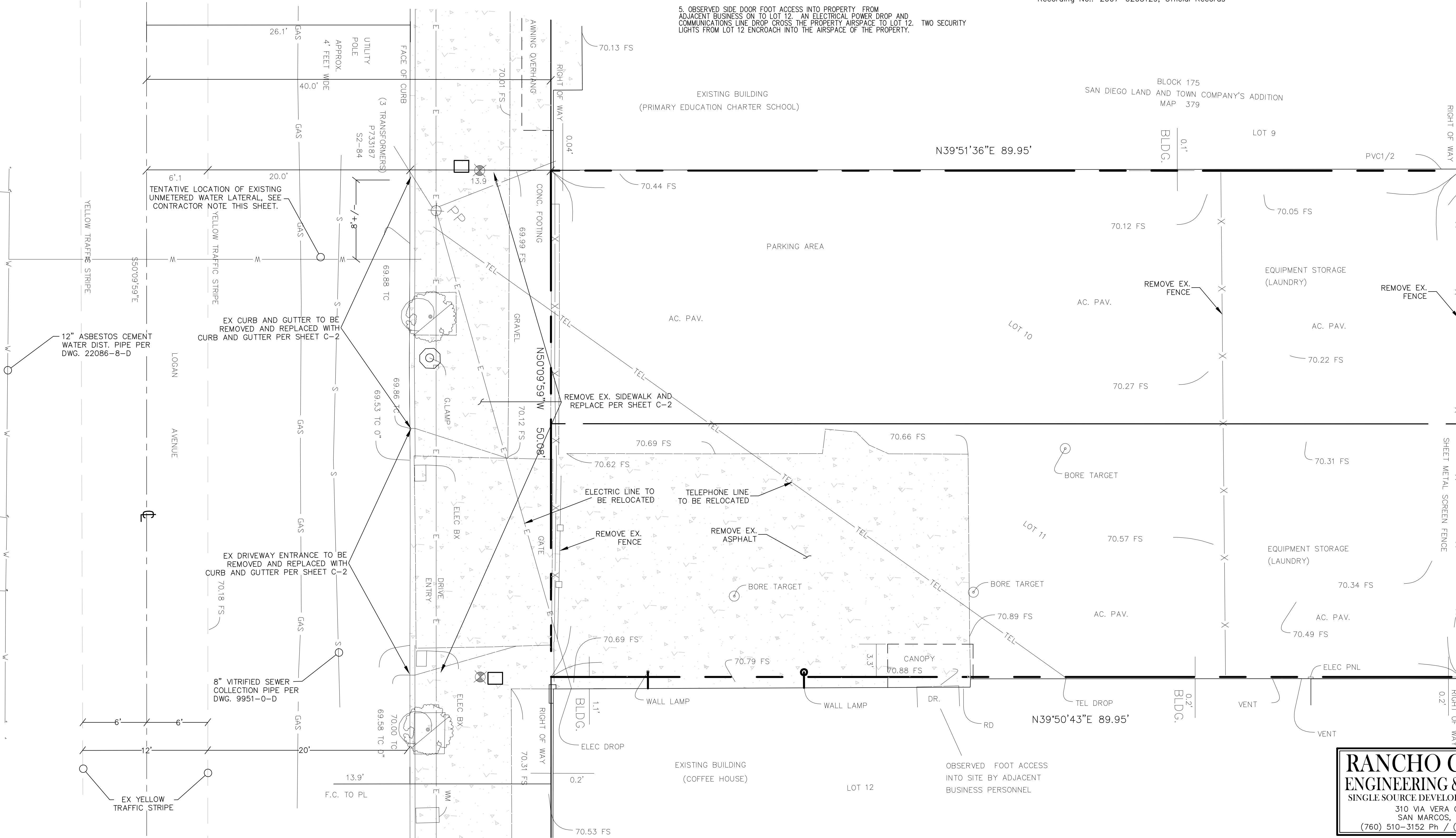
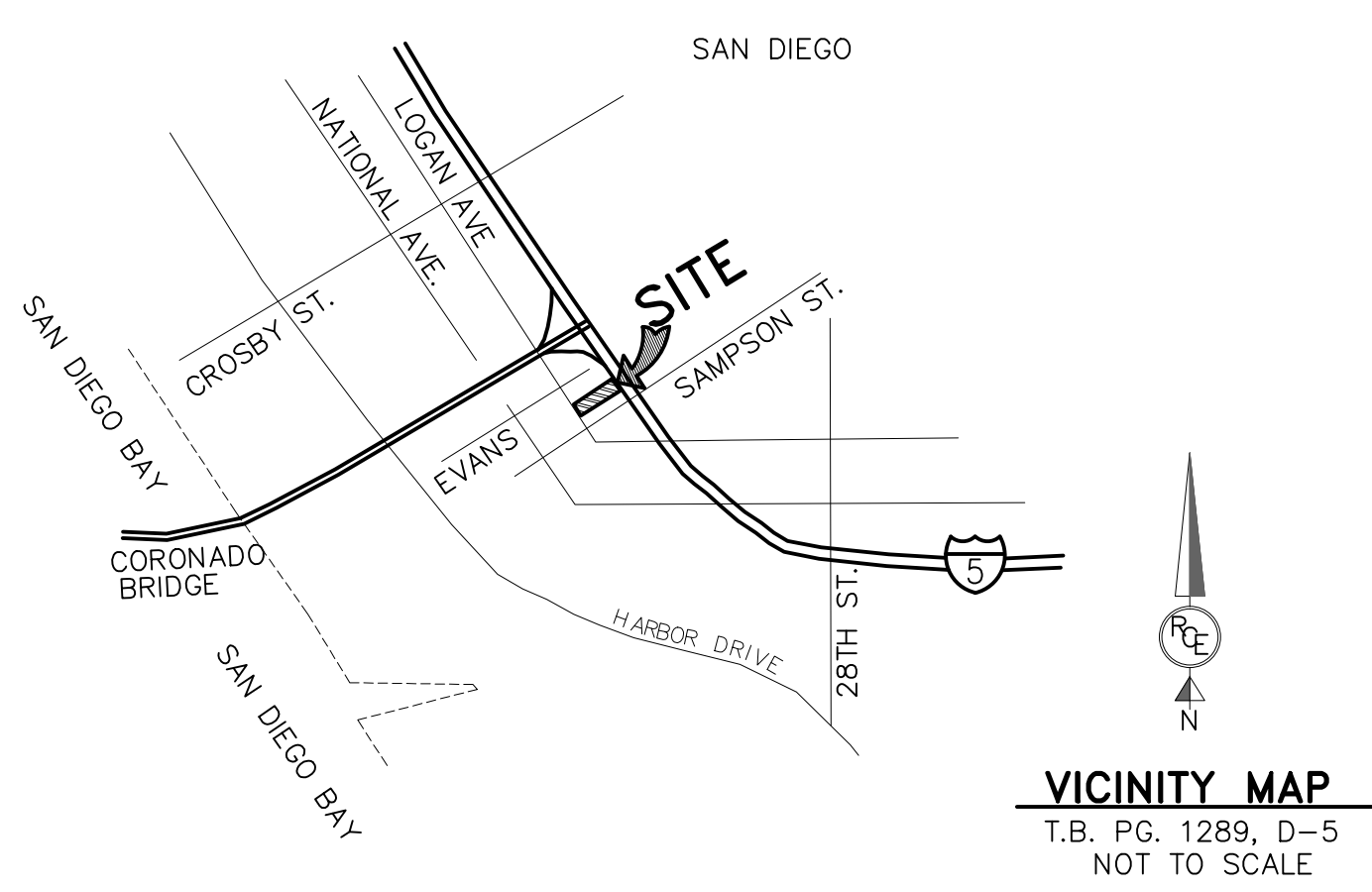
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BENCHMARK

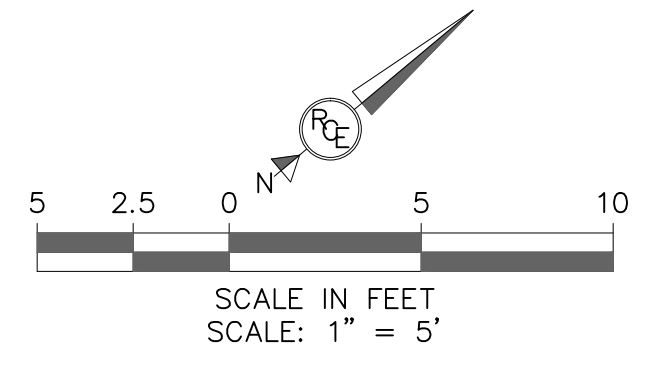
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 LOCATION: EAST RETURN LOGAN AVE. AND EVANS ST.
 DESCRIPTION: BRASS PLUG IN TOP OF CURB
 ELEVATION= 69.425
 DATUM N.G.V.D. 29

APN

APN: 538-560-49-00



RIGHT OF WAY
 SHEET METAL SCREEN FENCE
 N50°09'30"W 50.06'
 MONUMENT FOUND IN PLACE FOR INTERSTATE WITHIN 10' +/- FEET
 GRASS BENCH AREA ADJACENT PL.
 69.84 FS
 P.V.C.I./2
 0.1'
 BLDG.
 LOT 9
 LOT 10
 LOT 11
 LOT 12
 N39°51'36"E 89.95'
 N39°50'43"E 89.95'
 0.2'
 BLDG.
 0.2'
 RIGHT OF WAY



RANCHO COASTAL
ENGINEERING & SURVEYING
 SINGLE SOURCE DEVELOPMENT CONSULTANT
 310 VIA VERA CRUZ, #205
 SAN MARCOS, CA. 92078
 (760) 510-3152 Ph / (760) 510-3153 Fax

EXISTING TOPO & DEMOLITION PLAN

C-1

PRELIMINARY - NOT FOR CONSTRUCTION

TOTAL AREA OF DISTURBANCE

- 4,600 S.F. / 0.11 ACRES

GRADING TABULATIONS

- PAD ELEV.=70.71
- AMOUNT OF CUT = 550 C.Y.± ***
- MAX. DEPTH OF CUT = 9.5- FEET± ***
- AMOUNT OF FILL = 50 C.Y.±
- MAX DEPTH OF FILL = 0.5- FEET±
- EXPORT = 500 C.Y.±
- RETAINING WALL LENGTH = 0- FEET
- MAX. HEIGHT OF RETAINING WALL = 0- FEET
- IMPERVIOUS AREA = 4,325 S.F.

NOTE: DEPTH AND AMOUNT OF CUT IS GENERATED FROM BASEMENT AREA

GRADING NOTE:

NO GRADING IS TO BE PERFORMED ON NEIGHBORING PROPERTIES

EARTHWORK QUANTITIES

STEEPEST EXISTING MAN-MADE SLOPE ON-SITE = H: 50 V: 1
 MAXIMUM VERTICAL DEPTH OF CUT = 9.5- FT.
 MAXIMUM VERTICAL DEPTH OF FILL = 0.5- FT.

CUT = 550 C.Y. FILL = 50 C.Y.

EXPORT = 500 C.Y.

NOTE:

EARTHWORK QUANTITIES ARE CALCULATED ON A THEORETICAL BASIS ONLY AND DO NOT INCLUDE VOLUMES FOR CLEARING/GRUBBING, SHRINKAGE AND/OR SWELLING WHICH CAN/WILL INEVITABLY AFFECT THESE QUANTITIES.

EARTHWORK NOTE:

THE QUANTITIES OF CUT/FILL SHOWN HEREON WERE CALCULATED USING REASONABLE ENGINEERING METHODS. THE QUANTITIES ESTIMATED ARE FOR USE IN CALCULATING THE FEES AND BONDS REQUIRED BY THE PUBLIC AGENCY, NOT TO BE USED FOR JOB BIDDING PURPOSES. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS AND THE RECOMMENDATIONS OF SOIL ENGINEER.

PROPOSED IMPERVIOUS AREA	
ROOFS:	3,400 SQFT
DRIVEWAY:	0 SQFT
HARDSCAPE:	925 SQFT
TOTAL AREA:	4,325 SQFT
IMPERVIOUS AREA PRIOR TO CONSTRUCTION:	950 SQFT
IMPERVIOUS AREA AFTER CONSTRUCTION:	4,325 SQFT
INCREASE IN IMPERVIOUS AREA:	3,375 SQFT
IMPERVIOUS AREA REPLACED:	950 SQFT

PRELIMINARY GRADING AND DRAINAGE PLAN

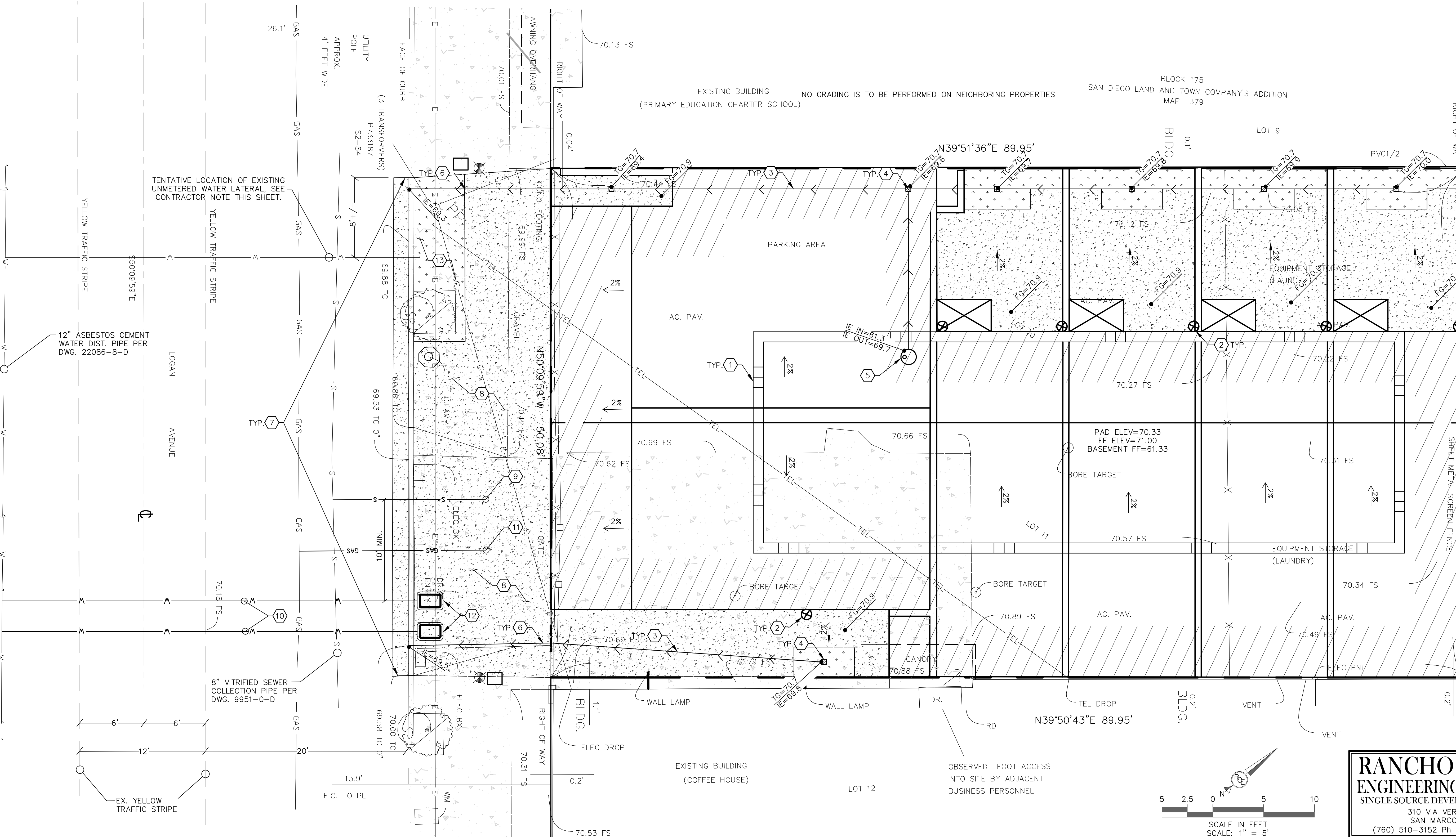
FOR: LOGAN ARTS BUILDING
 2142 LOGAN AVENUE, SAN DIEGO, CA 92113

WORK TO BE DONE:

- 1 BASEMENT SITE WALL PER ARCHITECTURAL PLANS
- 2 DOWNSPOUT PER ARCHITECTURAL PLANS
- 3 4" PVC DRAIN PIPE @ 0.5% (MIN.)
- 4 6" AREA DRAIN.
- 5 SUMP PUMP IN BASEMENT PER ARCHITECTURAL PLANS
- 6 SIDEWALK UNDERDRAIN PER CURRENT CITY STANDARDS
- 7 REPLACE CURB PER CURRENT CITY STANDARDS
- 8 REPLACE SIDEWALK PER CURRENT CITY STANDARDS
- 9 SEWER LATERAL
- 10 WATER LATERAL
- 11 GAS LATERAL
- 12 WATER METER
- 13 PLANTER AREA PER ARCHITECTURAL PLANS

LEGEND

- 6" SQ. AREA DRAIN
- 4" PVC DRAIN PIPE @ 1% MIN.
- DRAINAGE CHANNEL FLOW DIRECTION
- CONCRETE AREA
- LAWN/PLANTER AREA
- DOWNSPOUT
- SUMP PUMP IN BASEMENT



CONTRACTOR NOTE
 THE CONTRACTOR SHALL MAKE A REASONABLE ATTEMPT (AS COORDINATED WITH AND DETERMINED BY THE CITY'S RESIDENT ENGINEER ASSIGNED TO THE PROJECT) TO LOCATE THE UNMETERED WATER SERVICE CONNECTION WITHIN THE PUBLIC ROW AND IF LOCATED, KILL THE UNMETERED WATER SERVICE AT ITS CONNECTION TO THE PUBLIC WATER MAIN.

WATER SERVICE NOTE
 ALL WATER LINES SERVING THIS DEVELOPMENT MUST PASS THROUGH A PERMITTED, PRIVATE, ABOVE GROUND, BACKFLOW PREVENTION DEVICE (BFPD).

ROW LANDSCAPING NOTE
 NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' OR GREATER AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

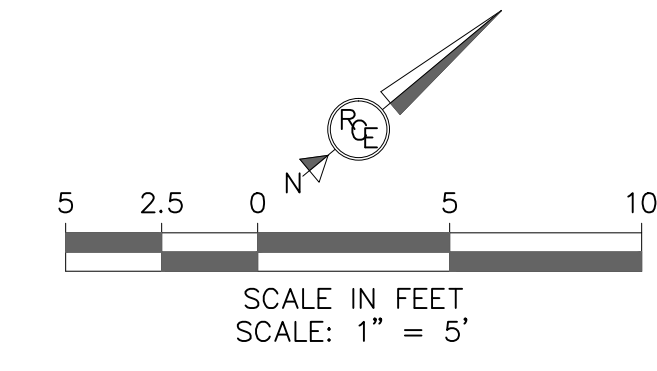
WEEP SCREED NOTE:
 BOTTOM OF WEEP SCREED TO BE A MINIMUM OF 8" ABOVE FINISHED LANDSCAPE AREAS & 2" ABOVE HARDSCAPE AREAS. THIS NOTE TO SUPERCEDE ELEVATIONS SHOWN ON PLANS SHOULD THERE BE ANY CONFLICT.

DRAINAGE NOTES
 ALL PLANTERS TO HAVE AREA DRAINS THAT TIE INTO MAIN DRAINAGE SYSTEM.
 ALL ROOF & HARDSCAPE AREAS TO DRAIN INTO MAIN DRAINAGE SYSTEM

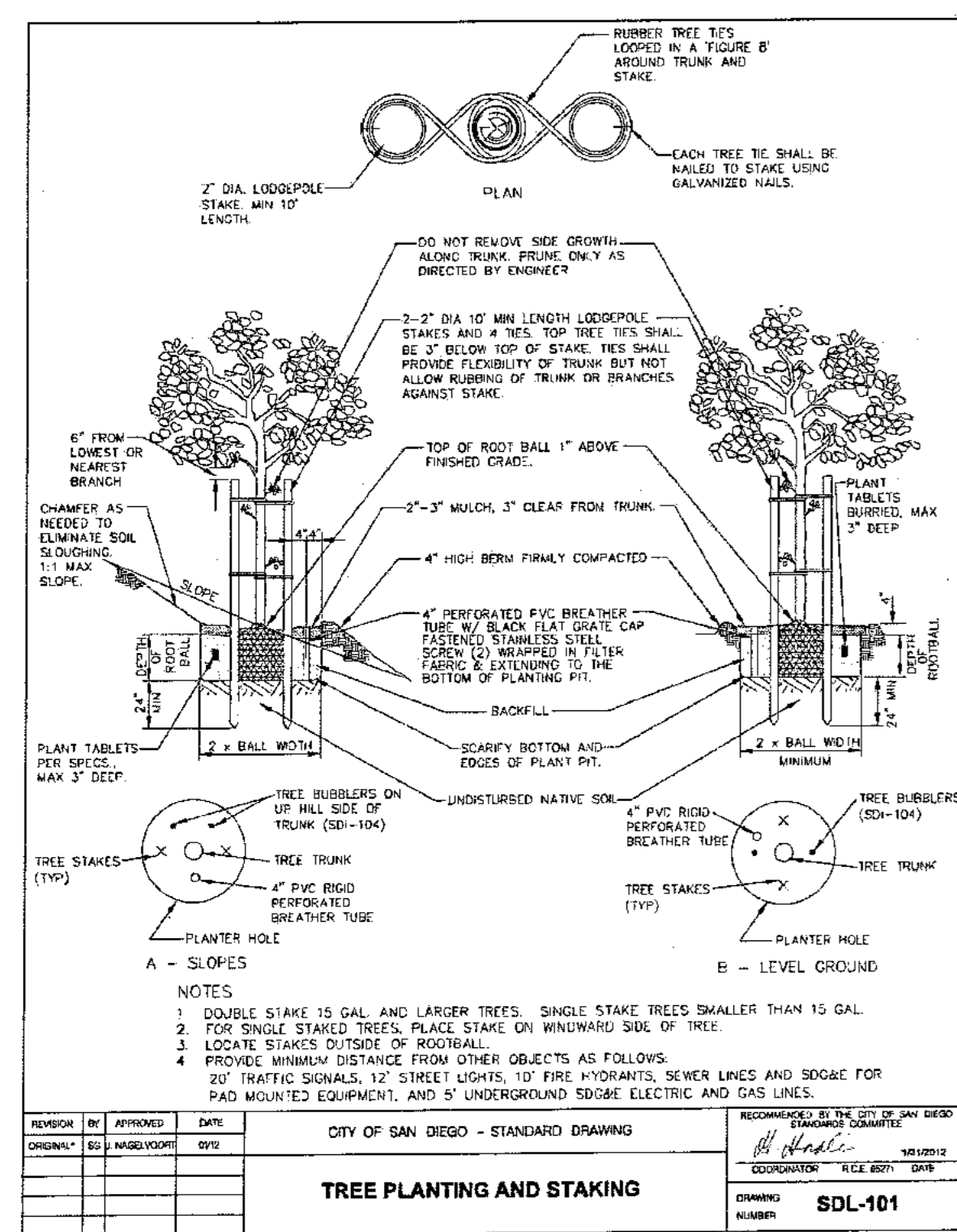
PRELIMINARY GRADING & DRAINAGE PLAN

RANCHO COASTAL ENGINEERING & SURVEYING
 SINGLE SOURCE DEVELOPMENT CONSULTANT
 310 VIA VERA CRUZ, #205
 SAN MARCOS, CA 92078
 (760) 510-3152 Ph / (760) 510-3153 Fax

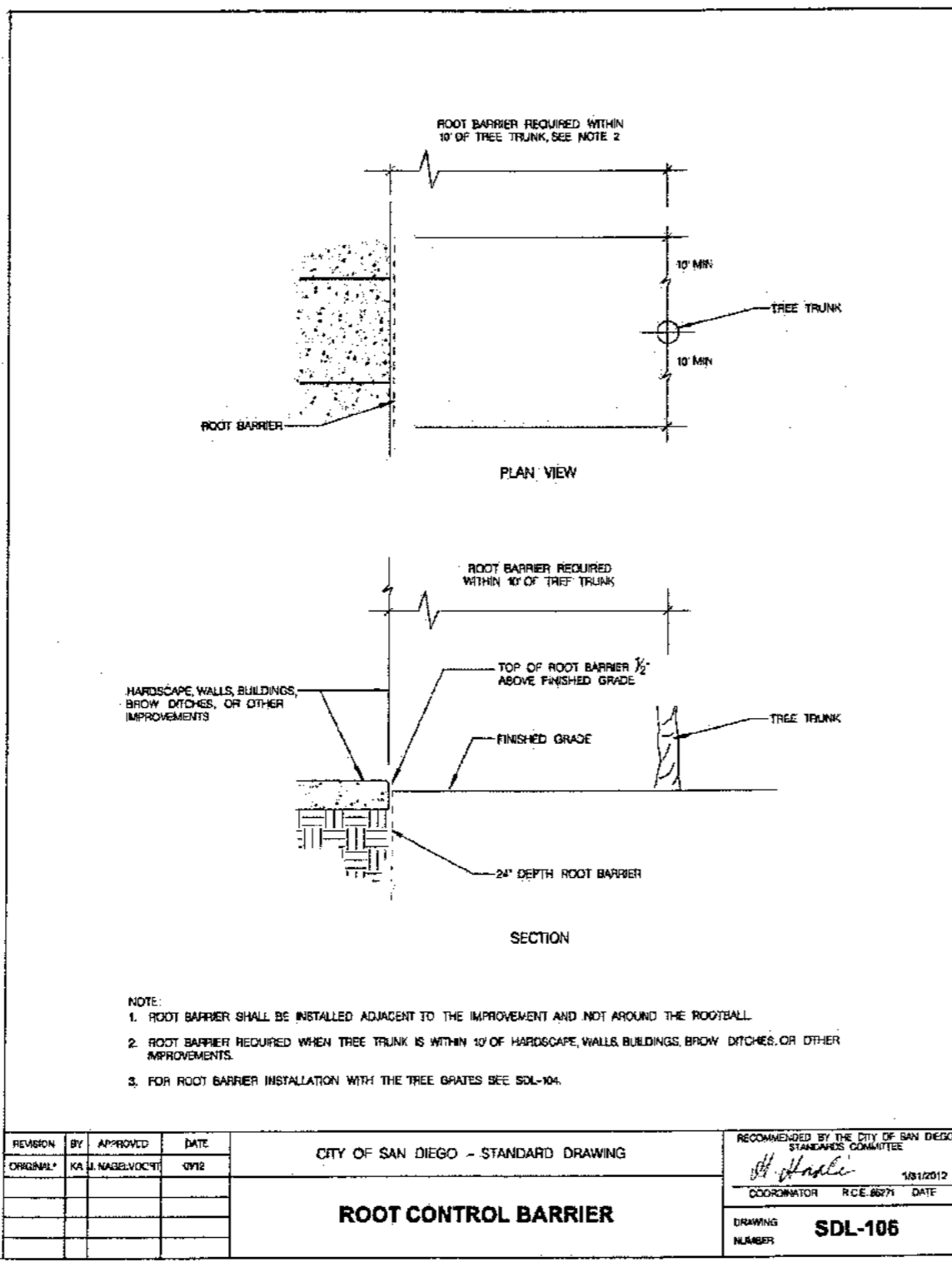
C-2



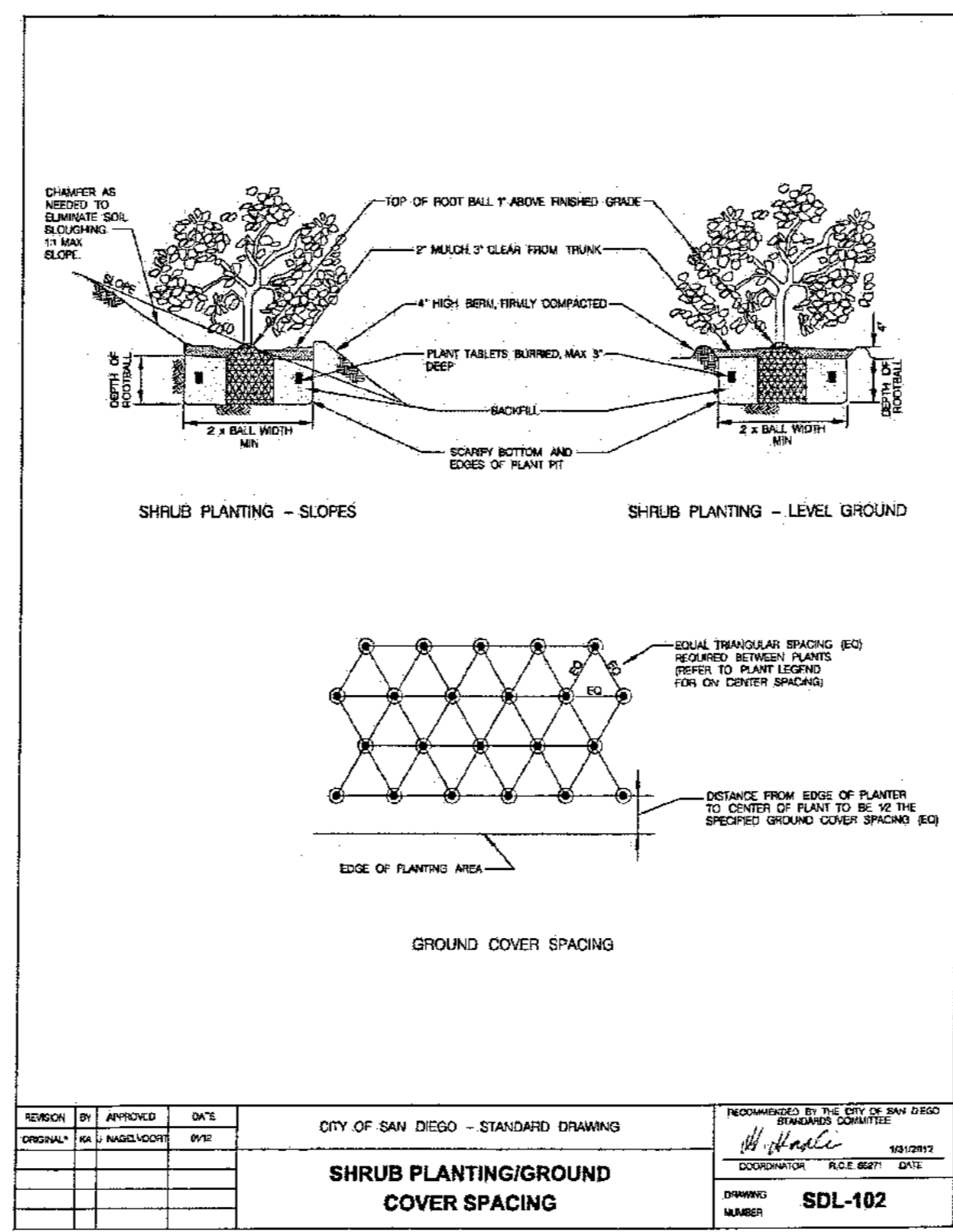
PRELIMINARY - NOT FOR CONSTRUCTION



REVISION	BY	DATE	DESCRIPTION



REVISION	BY	DATE	DESCRIPTION



REVISION	BY	DATE	DESCRIPTION

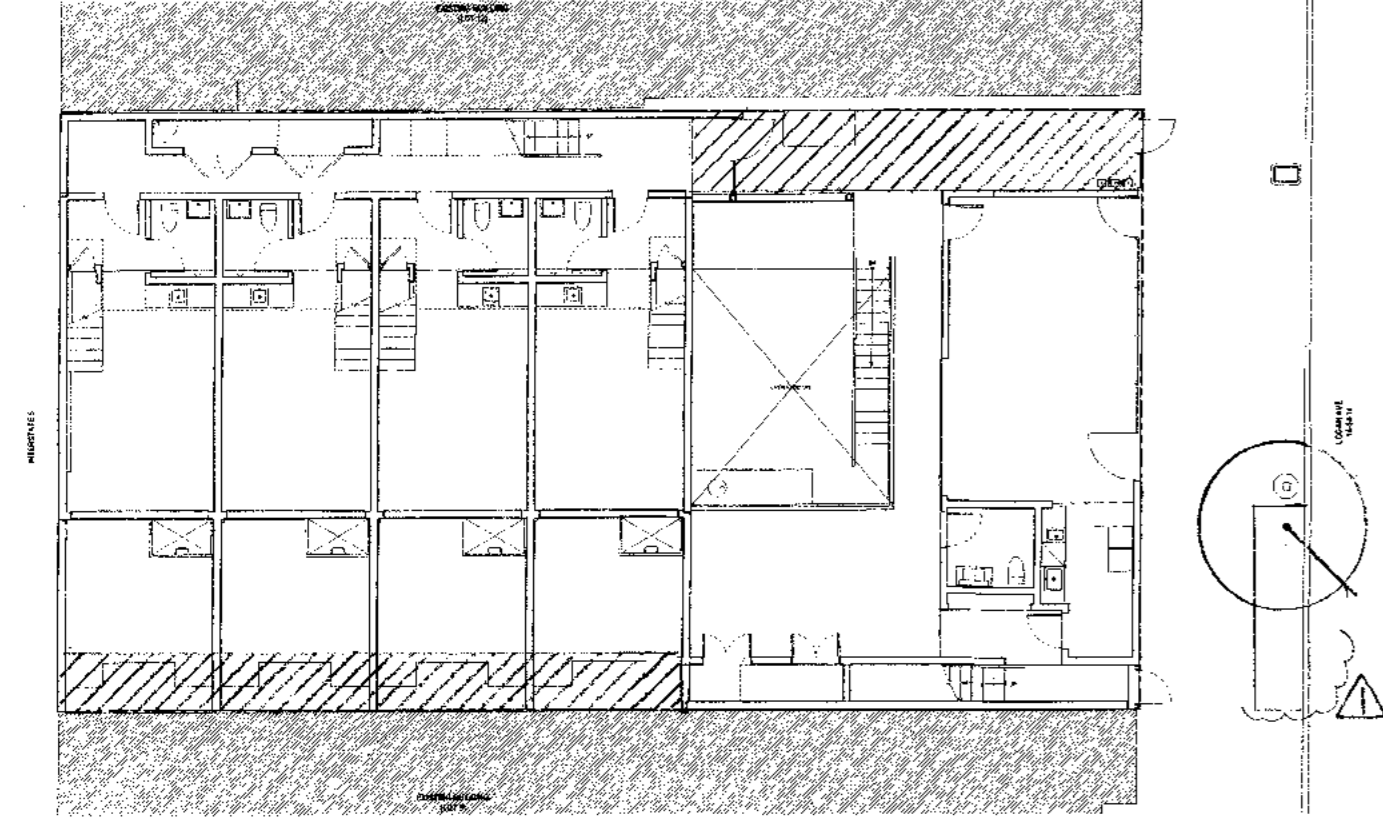
PLANT LEGEND			
SYMBOL	BOTANICAL NAME / COMMON NAME	QTY	SIZE
(Symbol 1)	Existing Street Tree Cinnamomum camphora / Camphor Tree	01	10" caliper
(Symbol 2)	Medium scale, vertical, flowering evergreen tree (20' - 30' height x 15' width): Hymenosporum flavum / Sweet Shade	04	24" box
(Symbol 3)	Evergreen, flowering compact shrub (3' height x 4' width): Carissa macrocarpa 'Tuttie' / Dwarf Natal Plum	05	5gal
(Symbol 4)	Evergreen accent perennial (18" - 18' height): Asparagus densiflorus 'Myerii' / Myers Asparagus Fern	20	5gal
(Symbol 5)	Evergreen vertical accent plant (3'-5' height): Cordyline australis 'Red Star' / Bronze Dracaena	30	7gal
(Symbol 6)	Evergreen, flowering vine: Passiflora varieties / Passion Vine	01	5gal

NOTE: Install 3" wood bark mulch groundcover throughout planting areas and on all exposed non-planting landscape areas per SDMC 142.0413(c).

DESIGN STATEMENT
The design intent for this project is to provide trees with a medium scale vertical character to soften the adjacent building structure as well as give the project a more human scale within the side yard, courtyard spaces. The plantings were also selected for drought tolerance and to respond to the sun exposures around the project with respect to their micro-climate and hydro-zone locations. This project will have an automated, low volume drip irrigation system designed with respect to their micro-climate and hydro-zone areas. With proper water management and maintenance this landscape will be drought tolerant and relatively self-sustaining after establishment.

GENERAL LANDSCAPE NOTES

- a. All Landscape and Irrigation shall conform to the standards of the City-wide Landscape Regulations and City of San Diego's Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- b. All required planting areas shall be covered with mulch groundcover to a minimum depth of 3", excluding slopes requiring re-vegetation and areas planted with groundcover. All exposed soil areas without vegetation shall also be mulched to this minimum depth per the Land Development Manual, Landscape Standards. SDMC 142.0413(c).
- c. Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not be wrapped around the root ball. SDMC 142.0403(b)(12).
- d. Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by SDMC 142.0403(c) for proper irrigation, development and maintenance of vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected and shall be automatic drip systems. All proposed irrigation systems shall have an approved rain sensor shutoff device. SDMC 142.0403(c)(3)(D).
- e. Maintenance: All required landscape areas shall be maintained by the PROPERTY OWNER. The landscape and irrigation areas in the public right-of-way shall be maintained by the PROPERTY OWNER. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactory treated or replaced with like kind per the conditions of the permit.
- f. A minimum root zone of 40sf. in area shall be provided for all trees. The minimum dimension for this area shall be 5', per SDMC 142.0403(b)(5). Although this project's tree root zones do not meet these requirements, necessary structural tree root zone preparation and implementation of structural soils shall be incorporated for optimum tree health and growth, per SDMC 142.0403(b)(5).
- g. Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per the SDMC 142.0403(b)(10).
- h. The Net Canopy Tree Gain within this project's property is the sum of 5 proposed Hymenosporum flavum / Sweet Shade trees with approximately 15 width which calculates to 177sf/tree x 5 trees = 885sf of tree canopy shade coverage. The existing street tree has approximately 20 canopy calculating to 314sf. of street canopy shade coverage.
- i. This project is under 500sf. total landscape area so no Water Conservation Calculations are required per SDMC 142.0413(d)(1).



LANDSCAPE CALCULATIONS PLAN No Scale

LANDSCAPE CALCULATIONS - COMMERCIAL DEVELOPMENT

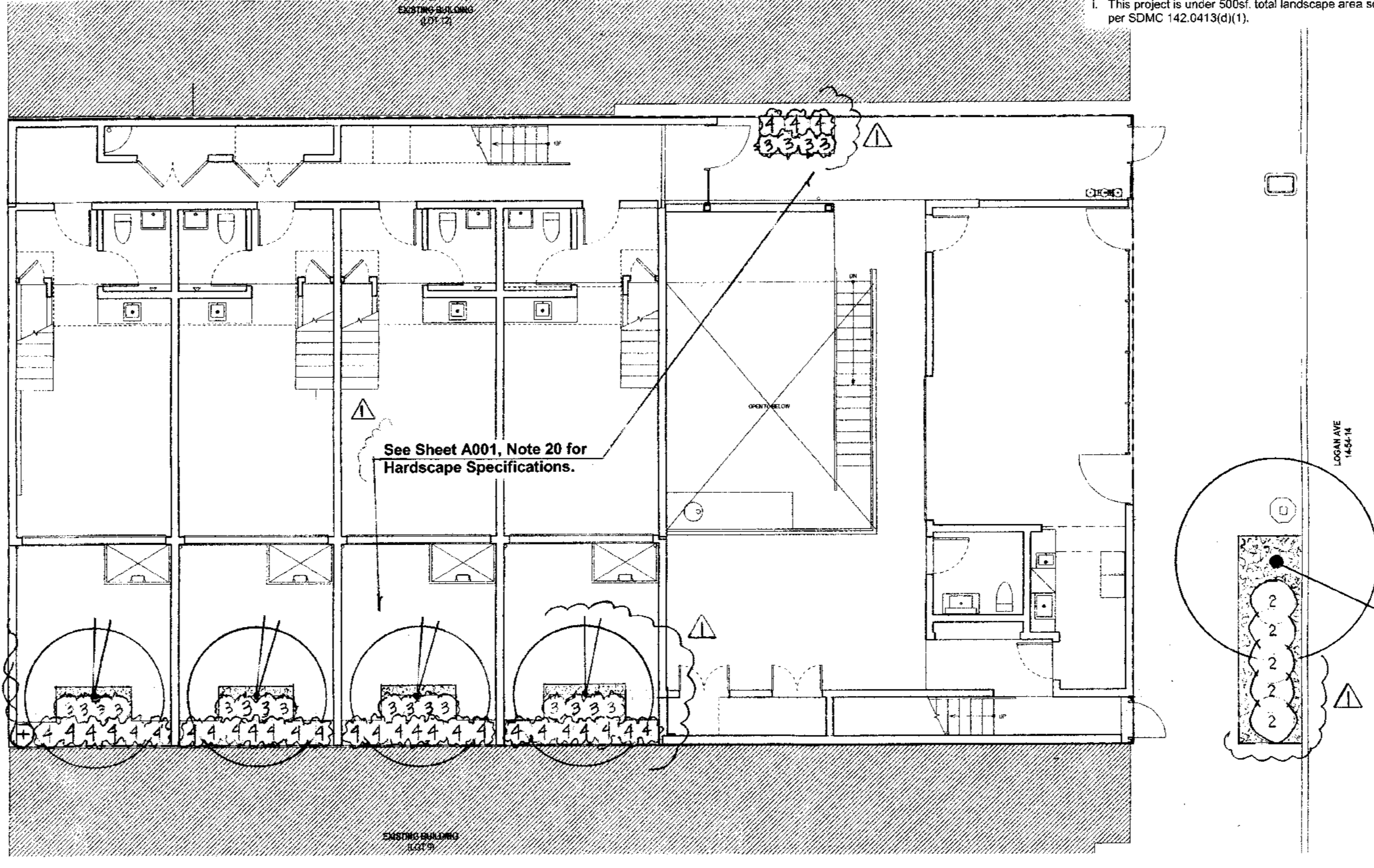
STREET YARD PLANT POINTS:
Total Area 0 x 25% = 0 planting area required
The proposed commercial building has a zero front yard setback so no Street Yard Area Exists.

STREET TREE REQUIREMENTS: (1 Tree per 30 feet of Street Frontage)
Street Frontage - 50LF.
Street Trees Required - 01 Broadleaf canopy tree
Existing Cinnamomum camphora / Camphor Tree - 10" caliper

REMAINING YARD PLANTING REQUIREMENTS:
Total Area 430sf. x 30% = 129sf. planting area required
Planting Area Provided - 160sf.
Plant Points Required - 430sf x 0.05 = 22
Plant Points Provided - 140

CITY SIZE	PLANT POINTS	TOTAL POINTS
04' 15gal tree	10 points/tree	40
50' 5gal shrub/vine	2 points/shrub	100
140 Total Remaining Yard Points		40 Plant Points from Trees

VEHICULAR USE AREA REQUIREMENTS: (<8,000sf.)
No Vehicular Use Area exists for this project.

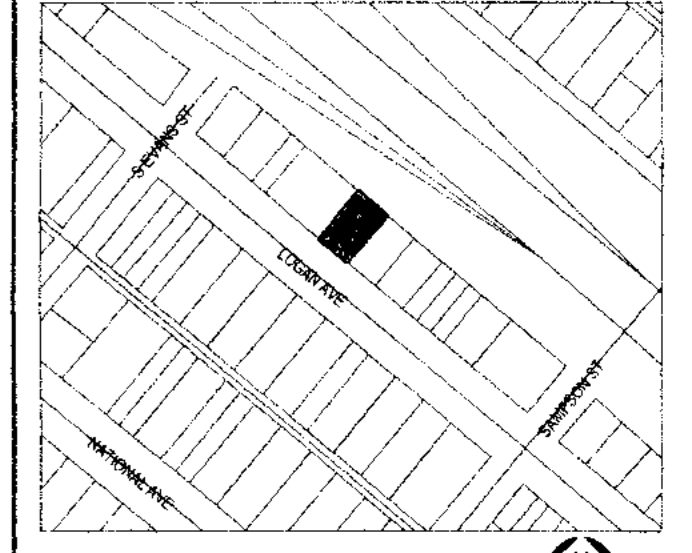


LANDSCAPE PLANTING PLAN scale: 1/8" = 1'-0"

GENERAL NOTES:

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



KEY PLAN

Owner: WAREHAM LLC
PO BOX 638234
San Diego, CA 92163
v.619.985.4070

Architect: **TFWA**
600 B Street, Ste 300
San Diego, CA 92101
v.619.486.9867

Civil Engineer: RANJING COASTAL ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
v.760.510.3152

Landscape Architect: Kent A. Wilson
Landscape Resource Group Assoc.
8401 Blue Lake Drive
San Diego, CA 92119
v.619.487.0556

MINIMUM TREE SEPARATION DISTANCE	
Traffic Signals (Stop signs)	20 feet
Underground Utility Lines	5 feet
Above Ground Utility Structures	10 feet
Driveway (entries)	10 feet
Intersections	25 feet
(intersecting curb lines of two streets)	
Sewer Lines	10 feet

Declaration of Responsible Charge:
I hereby declare that I am the Landscape Architect for this project, that I have exercised responsible charge over the design of the project as defined in Section 6703 of the Business and Professions Code, and that the design is consistent with current standards. I understand that the check on project drawings and specifications by the City of San Diego is confined to a review only and does not relieve me, as Landscape Architect of Work, of my responsibilities for the project design.

Kent A. Wilson 5.7.18 Date
Kent A. Wilson, RLA 3006
My License Expires 04/30/19
Landscape Resource Group + Assoc.
8401 Blue Lake Drive
San Diego, CA 92119
(619) 497-0556

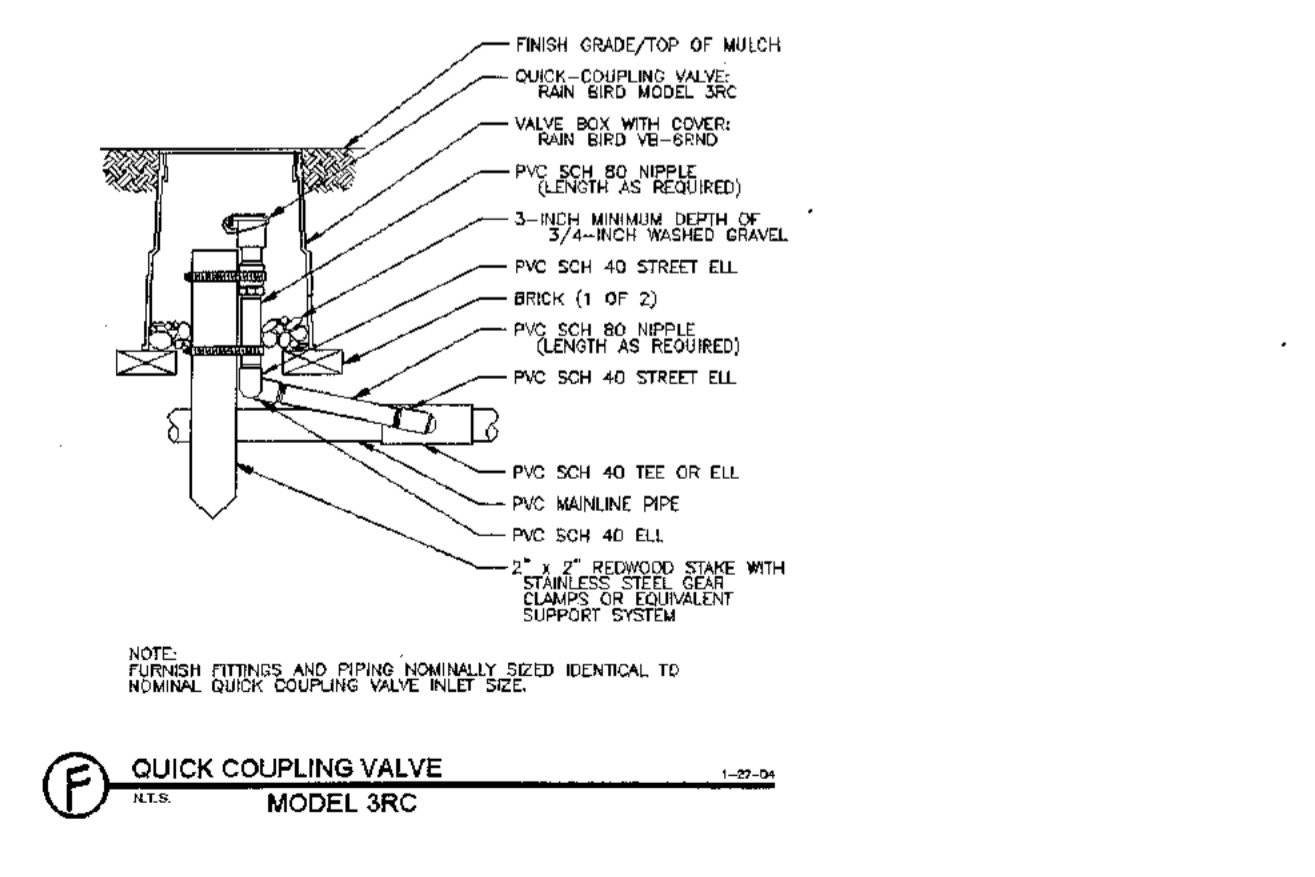
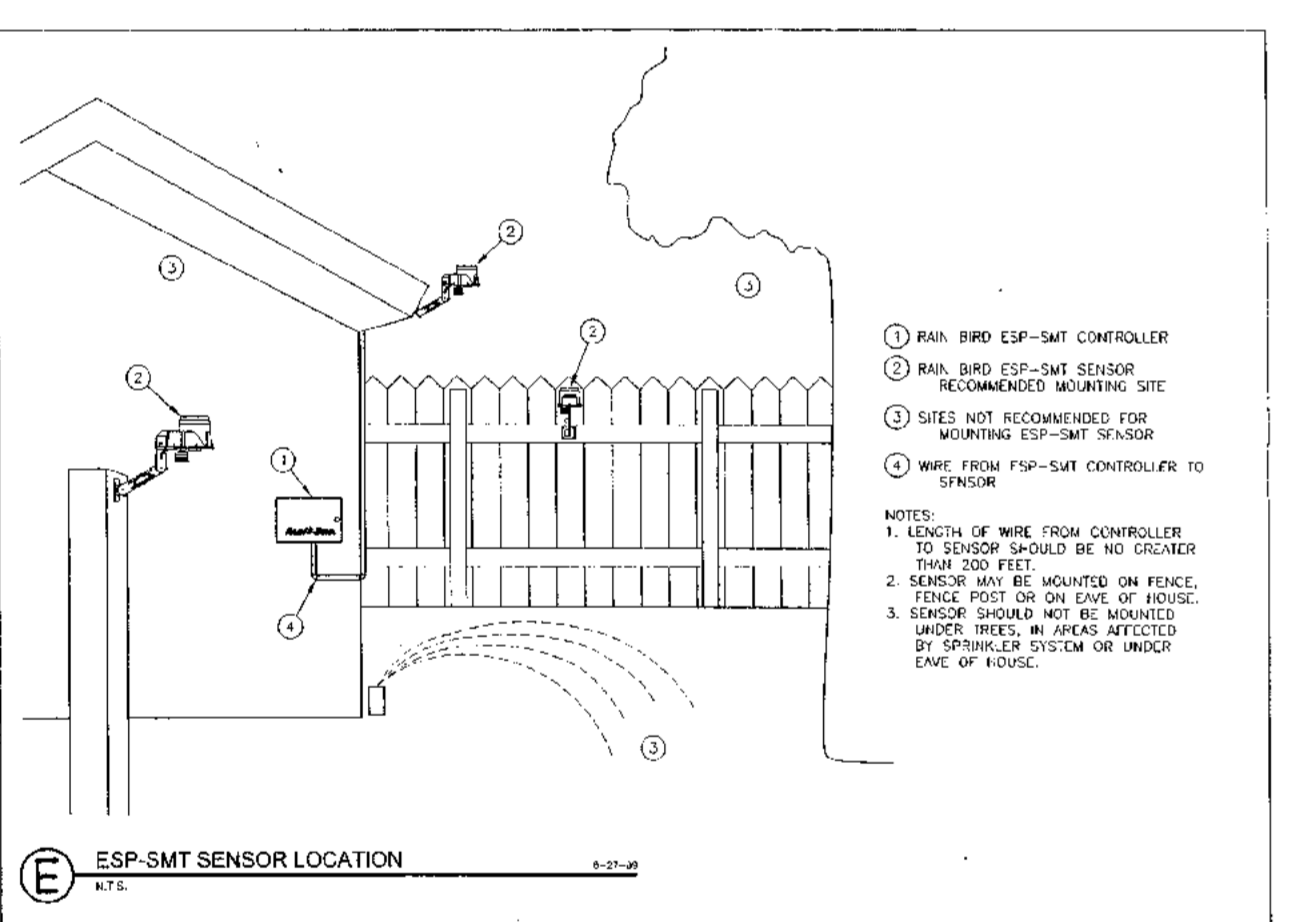
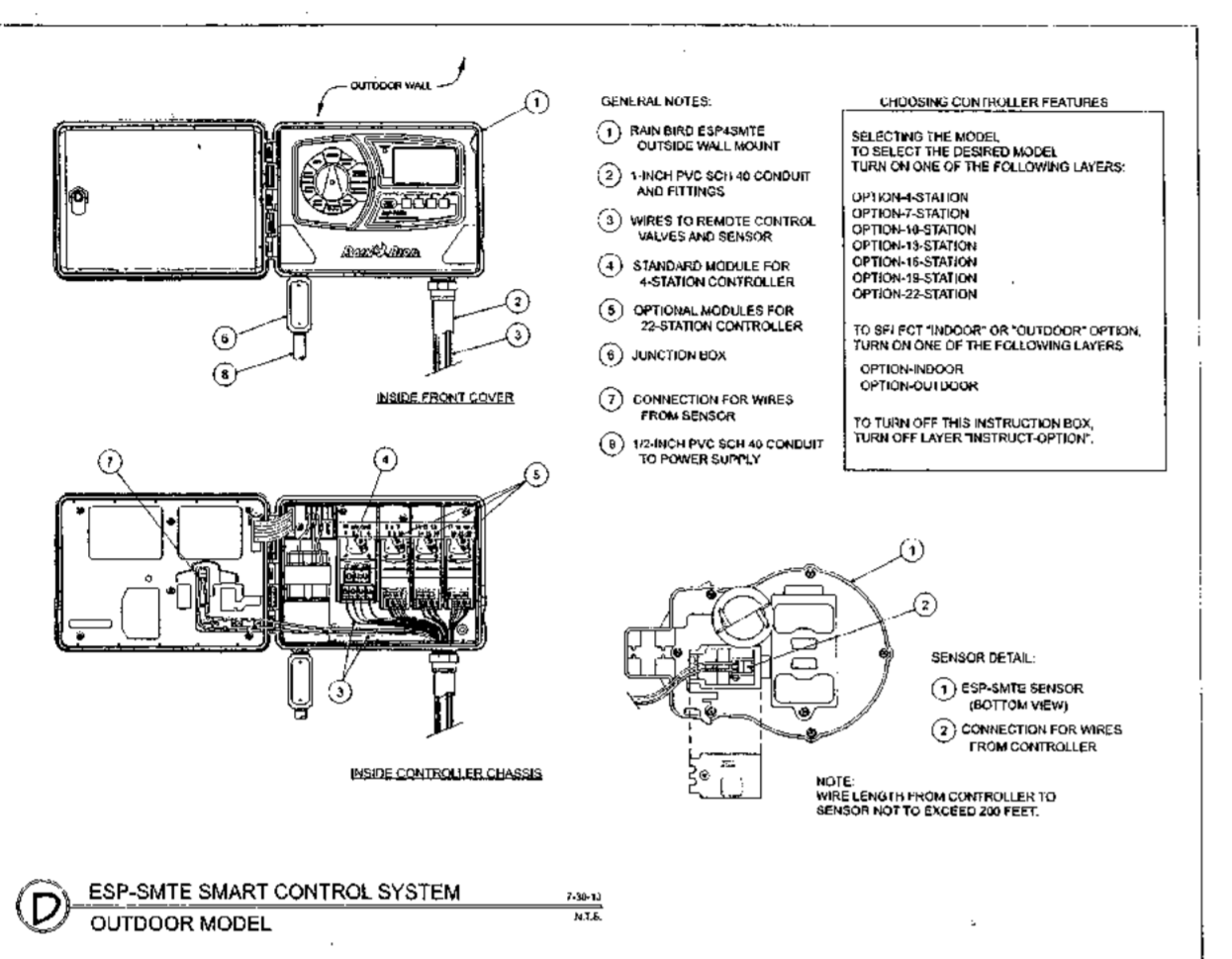
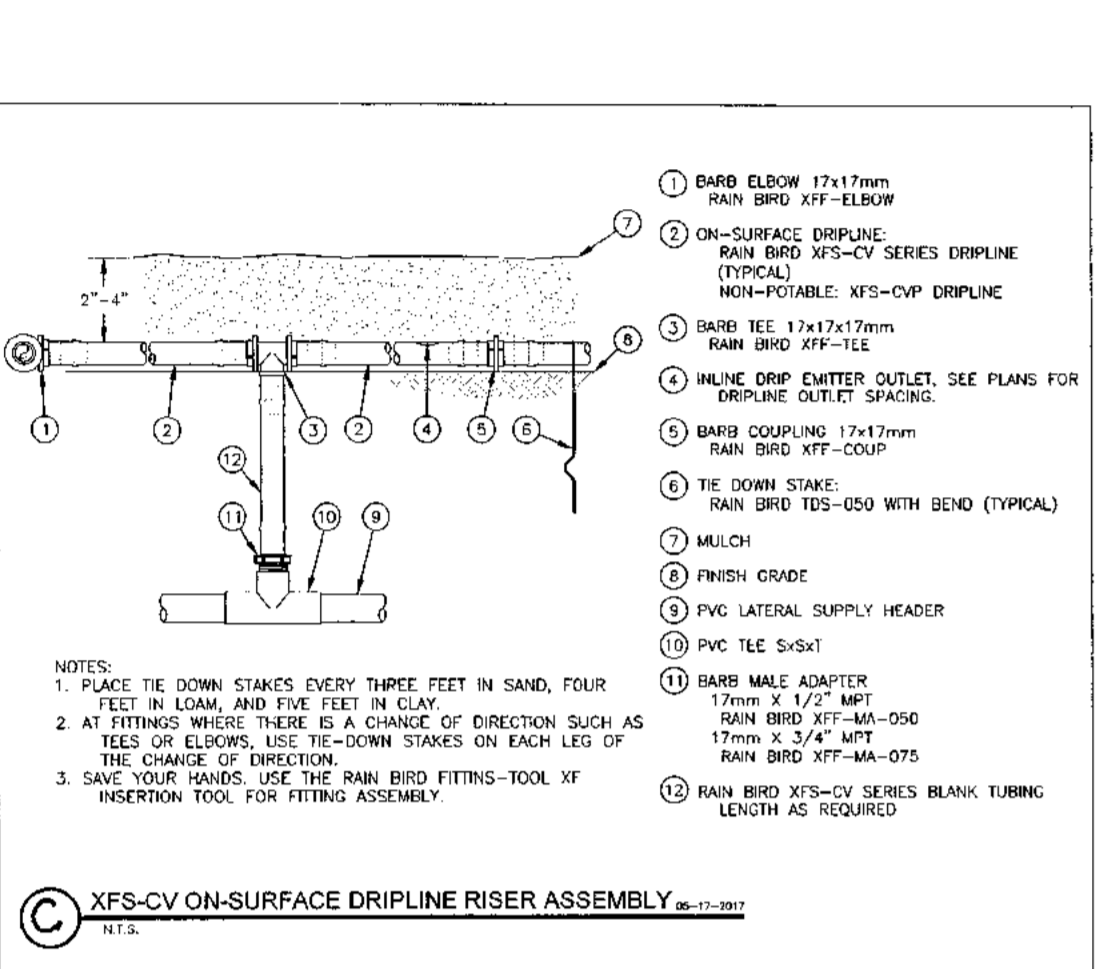
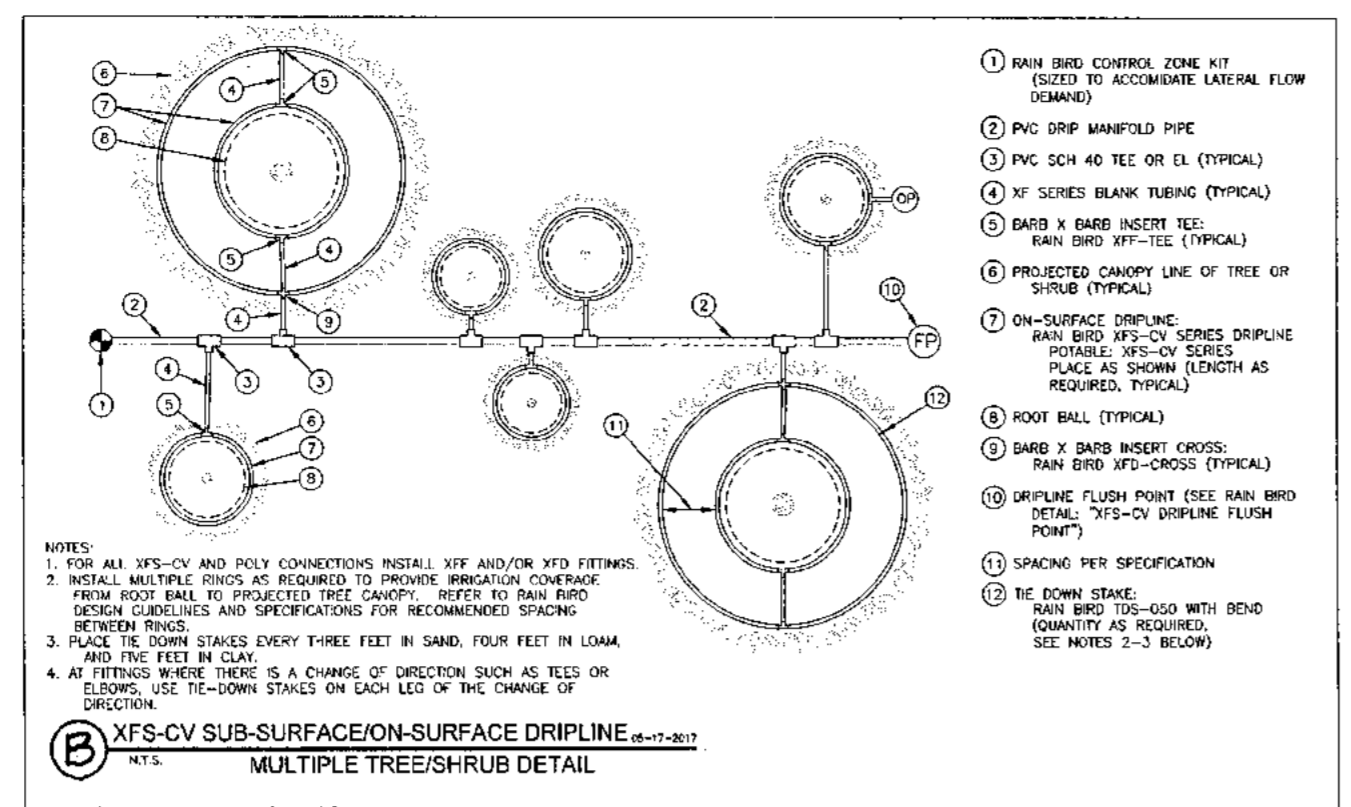
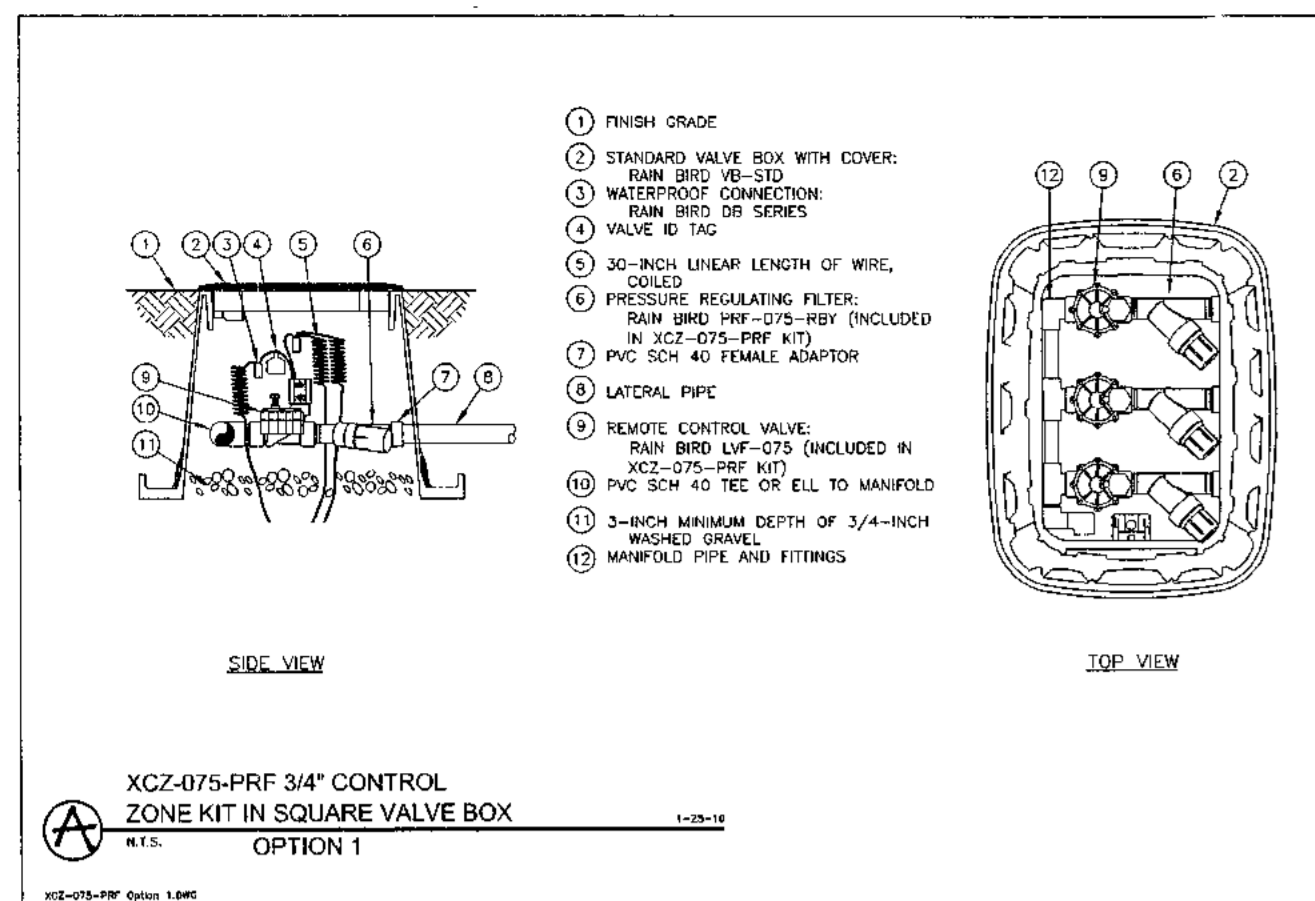
PROJECT PHASE
△ 7-18-18

SCALE(S) NOTED

LANDSCAPE PLANTING PLAN
LANDSCAPE CALCULATIONS
L_001

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GENERAL NOTES:



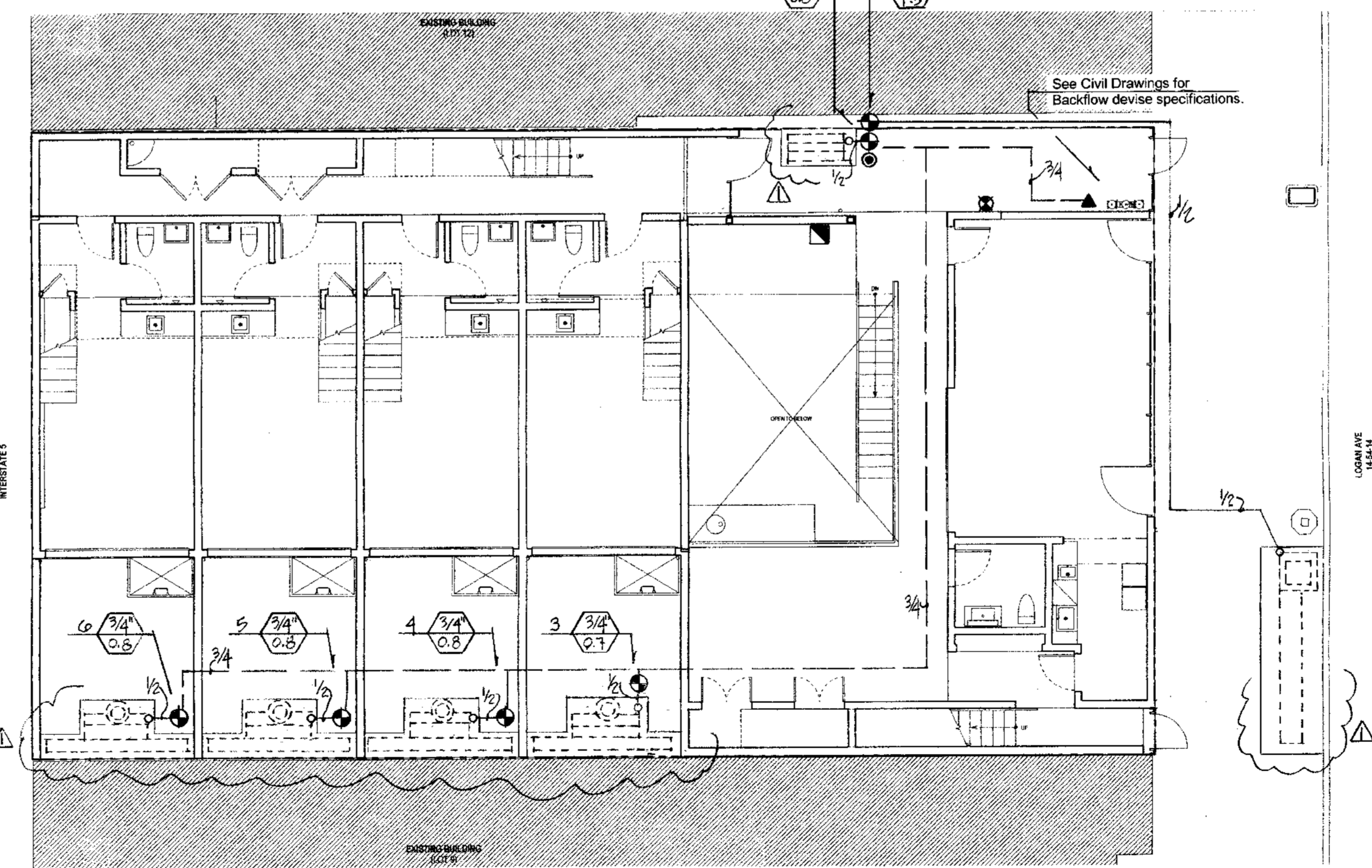
- IRRIGATION NOTES:**
- All irrigation materials specified shall be installed per manufacturer's specifications and recommendations.
 - All local, municipal and state laws, rules and regulations governing or relating to any portion of this work are hereby incorporated into and make a part of these specifications and their provisions shall be carried out by the contractor.
 - Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the owner's authorized representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
 - Contractor shall be responsible for any coordination with subcontractors as required to accomplish irrigation installation.
 - The contractor shall obtain the pertinent permits required to perform the work indicated herein before beginning work.
 - Contractor shall include in bid, payment of any permit fees and related expenses.
 - Provide a minimum of 36" depth for all pressure mainline pipe under vehicular paving and 30" depth under non-vehicular paving and provide a minimum of 30" depth for all non-pressure lateral lines under vehicular paving and 24" depth under non-vehicular. Trench backfill shall be free of any material that may damage irrigation pipe or equipment. In the event of backfill settlement, contractor shall perform required repairs at his own expense.
 - All pipe under paved areas are to be installed in a HDPE solid pipe. Sleeve shall be minimum of 3" HDPE solid pipe or twice the diameter of pipe size.
 - Drawings are diagrammatic. Equipment shown in paved areas is for design clarification only and shall be installed in planter areas.
 - Wire connectors to be Rainbird "Pentite" or approved equal.
 - General contractor shall provide point of connection for irrigation system.
 - Flush all lines and adjust all heads for maximum performance, according to the drawings and to prevent over-spray onto building, walls and paved surfaces.
 - No irrigation runoff or overspray shall cross property lines or paved areas.

IRRIGATION LEGEND

- | SYMBOL | MANUFACTURER-DESCRIPTION-MODEL# | PSI | GPM | RAD |
|--------|--|-----|--------|-----|
| | Rainbird - Low Flow, Drip Valve assembly, XGZ-LF-075-PRF | | | (A) |
| | Rainbird - XF Series Dripline, XFD-09-12-250 | 30 | 0.9gph | (B) |
| | Rainbird - XFD On-Surface Dripline Riser Assembly, PVC to distribution tubing point of connection - Install per manufacturer's specifications with appropriate compression fittings per Details. | | | (C) |
| | Rainbird - ESP/SMT6 Series Controller - ESP-SMT6, 6 station Exterior | | | (D) |
| | Rainbird - ESP/SMT Rain Sensor shut-off included with ESP/SMT Controller. Detail shows Rain Sensor Installation. | | | (E) |
| | Irrigation Point of Connection to be coordinated with General Contractor verified in-field. NOTE: Irrigation system pressure supply line is after building backflow device - see Civil Drawings. | | | |
| | Rainbird - Quick Coupler, 3RC | | | (F) |
| | Pressure mainline - schedule 40PVC | | | |
| | Non-pressure lateral line - schedule 40 PVC | | | |
| | Valve #
Valve Size | | | |
| | GPM | | | |

NOTE: Irrigation Point of Connection shall be coordinated and verified with General Contractor and Landscape Contractor. New pressure mainline shall be 1" schedule 40 PVC Pipe.

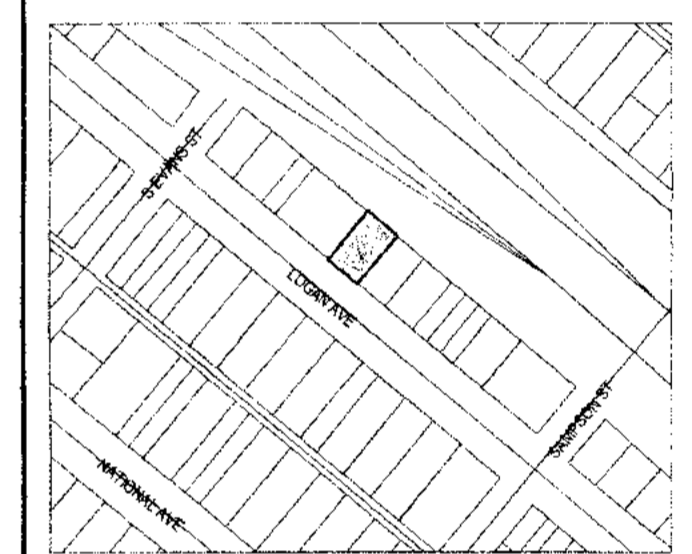
THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE AT 30 PSI AT FURTHEST HEAD FROM BACKFLOW PREVENTER. INSTALLING CONTRACTOR SHALL VERIFY STATIC PRESSURE BEFORE CONSTRUCTION. IF PRESSURE IS NOT AS NOTED, CONTRACTOR SHALL REPORT THIS INFORMATION IN WRITING TO THE OWNER'S AUTHORIZED REPRESENTATIVE BEFORE INSTALLATION. IF HE FAILS TO DO SO, CONTRACTOR WILL BE RESPONSIBLE FOR ANY CHANGES NECESSARY AS A RESULT.



IRRIGATION PLAN
scale: 1/8" = 1'-0"

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



Owner:
W.B.RUSH P. II
P.O. BOX 630234
San Diego, CA 92163
v 619.985.4070

Architect:
TFWA
600 B Street, Ste 300
San Diego, CA 92101
v 619.485.0887

Civil Engineer:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
v 760.510.3152

Landscape Architect:
Kent A. Wilson
Landscape Resource Group/Assoc.
8401 Blue Lake Drive
San Diego, CA 92119
v 619.497.9556

PROJECT PHASE
7-18-18

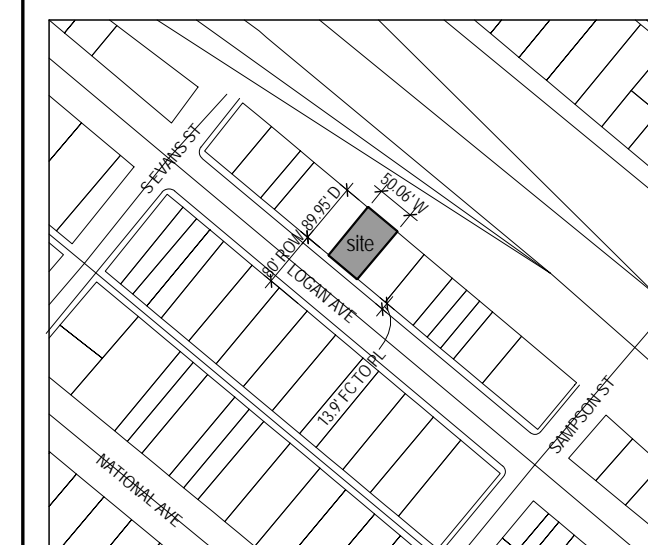
IRRIGATION PLAN
IRRIGATION DETAILS
L_002

GENERAL NOTES:

1. NO EASEMENTS ON SITE
2. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-00-6 (UPC 901.4.4)
3. SEE SHEET C-2 FOR FIRE HYDRANT LOCATIONS
4. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
5. RECONSTRUCT SIDEWALK ALONG ENTIRE FRONTAGE PER CITY STANDARD. SEE CIVIL.
6. CLOSE ALL NON-UTILIZED DRIVEWAYS WITH CURRENT CITY STANDARD CURB, GUTTER AND SIDEWALK.
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
9. ALL WATER LINES SERVING THIS DEVELOPMENT MUST PASS THROUGH A PERMITTED PRIVATE ABOVE GROUND BACKFLOW PREVENTION DEVICE (BFPD).
10. NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' OR GREATER AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
11. WATER MAIN SEE 22088-8-D. SEWER MAIN SEE 9951-0-D
12. PER CITY OF SAN DIEGO'S PUBLIC UTILITIES DEPARTMENT, GIS SECTION, RECORDS INDICATE 64 PSI +/- 10 PSI WATER PRESSURE (JULY 17, 2018)

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



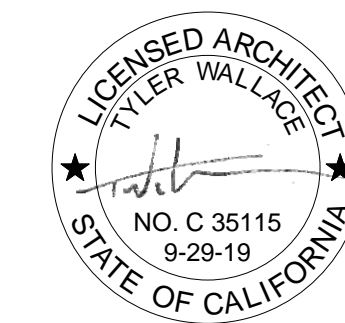
KEY PLAN

Owner:
WRKSH P llc
PO BOX 635234
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887

Civil Engineer:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
v: 760.510.3152

Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
9401 Blue Lake Drive
San Diego, CA 92119
v: 619.497.0556



PROJECT PHASE

SDP / CDP Submittal	2	November 14, 2017
SDP/CDP Resubmittal	3	May 14, 2018
SDP/CDP Resubmittal 2	4	July 18, 2018

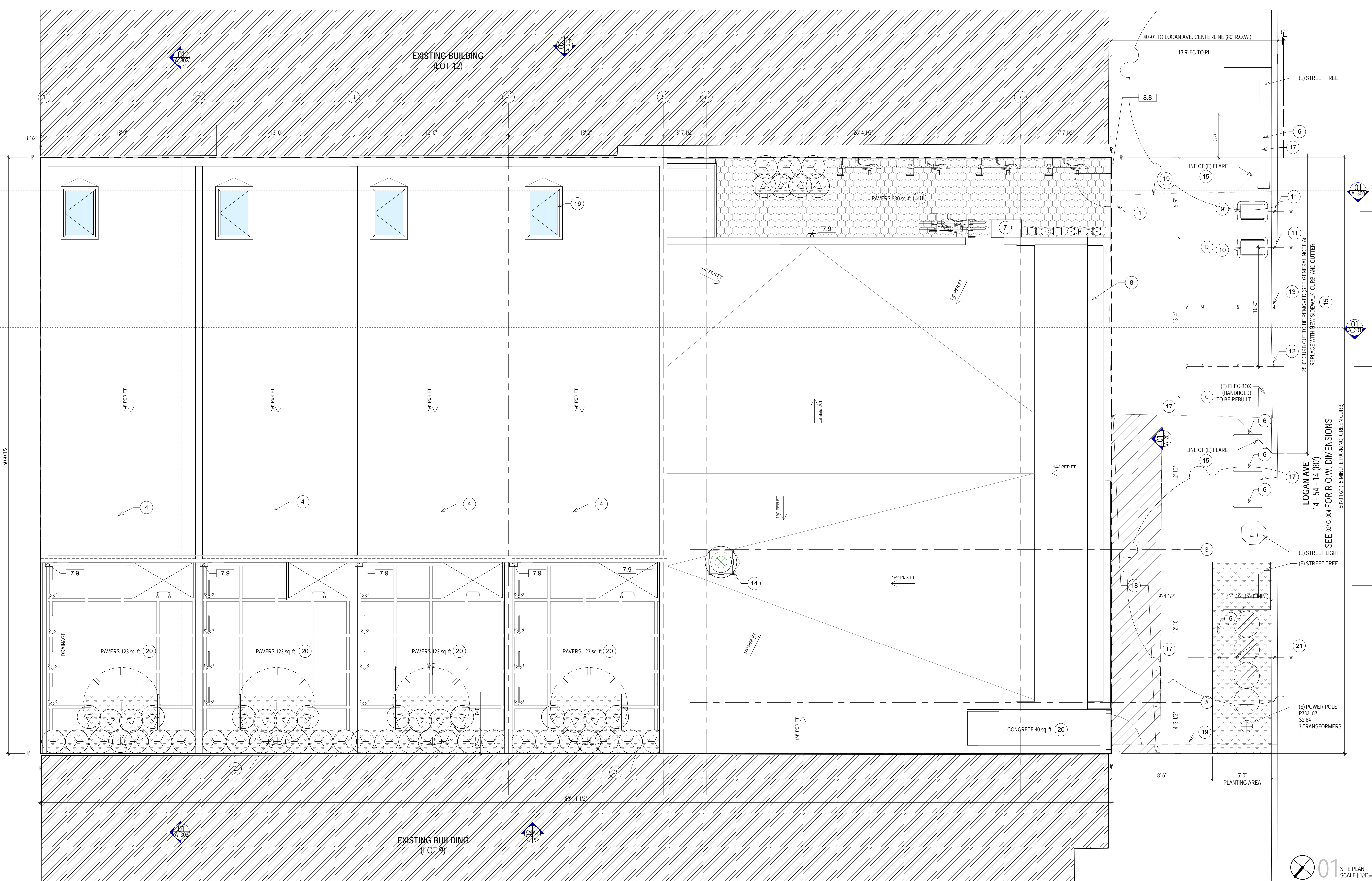
SCALE (AS NOTED)

SITE PLAN

A_001

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©TFWA ARCHITECTURE



GRADING* INFORMATION SOURCE: CIVIL SHEET C-2 SEE C-2 FOR ADDITIONAL INFO

TOTAL AREA OF DISTURBANCE
• 4,600 S.F. (0.11 ACRES)

SITE AREA
• 4,303.71 SF (0.1034 AC)

GRADING TABULATIONS
• PAD ELEV. = 70.71
• AMOUNT OF CUT = 550 C.Y. +/-
• MAX. DEPTH OF CUT = 9.5 FEET +/-
• AMOUNT OF FILL = 50 C.Y. +/-
• MAX. DEPTH OF FILL = 0.5 FEET +/-
• EXPORT = 500 C.Y. +/-
• RETAINING WALL LENGTH = 0 FEET
• MAX. HEIGHT OF RETAINING WALL = 0 FEET
• IMPERVIOUS AREA = 4,325 S.F.

NOTE: DEPTH AND AMOUNT OF CUT IS GENERATED FROM BASEMENT AREA

EARTHWORK QUANTITIES
STEEPEST EXISTING MAN-MADE SLOPE ON-SITE = H:50 V:1
MAXIMUM VERTICAL DEPTH OF CUT = 9.5 FT.
MAXIMUM VERTICAL DEPTH OF FILL = 0.5 FT.
CUT = 550 C.Y. FILL = 50 C.Y.
EXPORT = 500 C.Y.

SHEET NOTES

1. Primary entrance
2. Drainage through planting area, refer to Civil
3. Subsurface drainage to curb outlet
4. Roof appurtenance per sdmc 152.0319(g)(2)
5. Planted parkway, see Landscape
6. Bicycle Rack (short term, 1 bicycle ea. side)
7. Mail
8. Second floor terrace below
9. New Water meter (domestic)
10. New Water meter (fire, if required)
11. New Water lateral. Pending future fire suppression design, only one may be required (see general note 11)
12. New Sewer lateral (see general note 11)
13. New Gas lateral
14. Exhaust
15. Replace entry drive with new current City Standard sidewalk, curb and gutter, and reconstruct electrical pull boxes. See Civil dwgs
16. Skylight
17. Rebuild sidewalk. See general note 5
18. New concrete at existing gravel area. See general note 5
19. Sidewalk underdrain per Civil
20. Total hardscape area = 762 sq. ft.
Total concrete area = 40 sq. ft.
Total paver area = 722 sq. ft.
Hardscape site percentage = 17%
Design tolerance = 25%
21. Existing unretained water lateral to be killed at the main if located as per Civil Sheet C-2

KEYNOTES

Key Value	Keynote Text
7.9	3" DIA. ROUND 22 GAUGE DOWNSPOUT, FABRICATE IN 10" LENGTHS, PTD TO MATCH WALL
8.8	KNOX BOX, 3200 SERIES OR SIMILAR AS PER FHP POLICY K-15-2. (KNOX COMPANY ONLY), -60" AFF

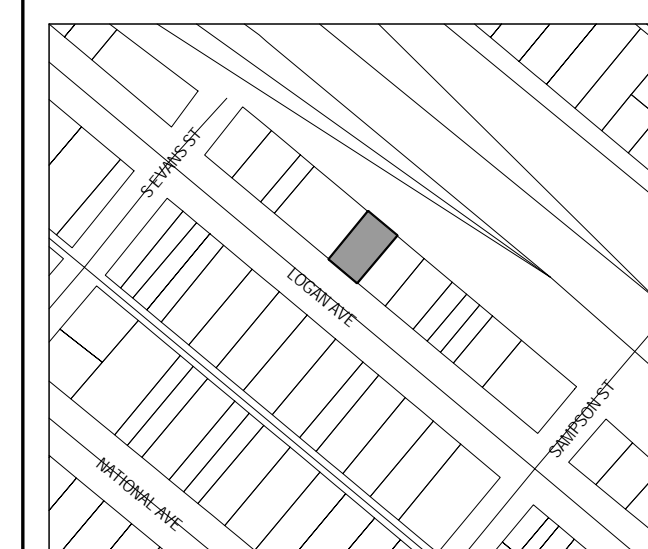
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GENERAL NOTES:

1. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
2. OFFICE USE TO SHARE BATHROOM WITH FIRST FLOOR OCCUPANCIES.

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



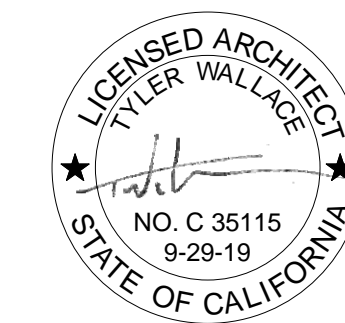
KEY PLAN

Owner:
WRKSH P, Inc.
PO BOX 635234
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
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v: 619.497.0556



PROJECT PHASE

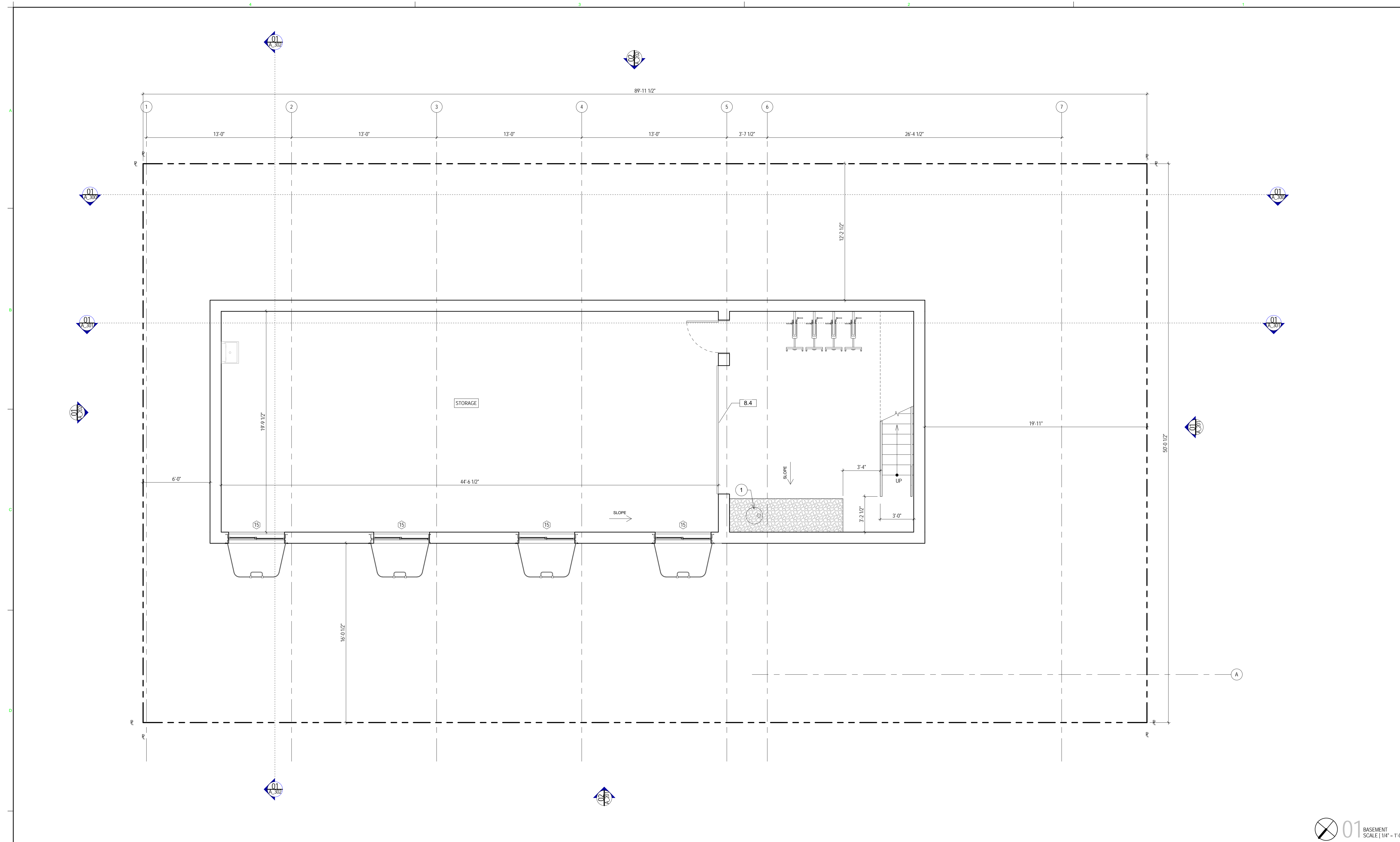
SDP / CDP Submittal	2	November 14, 2017
SDP/CDP Resubmittal	3	May 14, 2018

SCALE: [AS NOTED]

BASEMENT PLAN
A_100

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©TFWA ARCHITECTURE



SHEET NOTES

1. Sump pump with under-slab connection to planted area
2. Sump pump

KEYNOTES

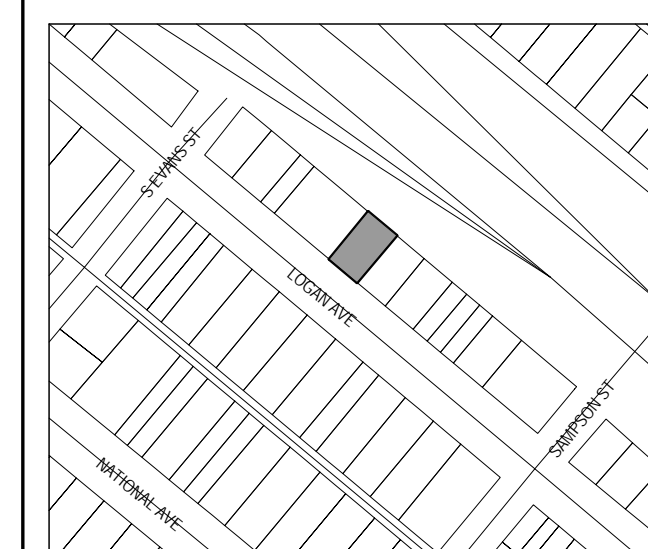
KEYNOTES	
Key Value	Keynote Text
8.4	SECTIONAL OVERHEAD DOOR SYSTEM, SEE DOOR SCHEDULE

1/17/2018 8:25:57 PM

GENERAL NOTES:
 1. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.

LOGAN ARTS BUILDING

2142 Logan Avenue
 San Diego, CA 92113
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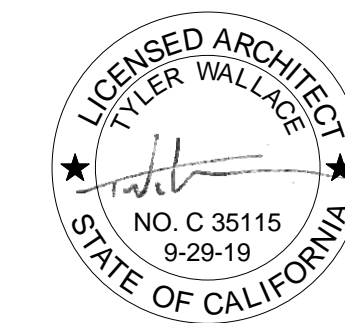
KEY PLAN

Owner:
 W.R.K.S.H.P. Inc.
 PO BOX 652214
 San Diego, CA 92163
 v:619.985.4070

Architect:
TFWA
 ARCHITECTURE + DESIGN
 600 B Street, Ste 300
 San Diego, CA 92101
 v: 619.485.0887

Civil Engineer:
 RANCHO COASTAL
 ENGINEERING & SURVEYING, INC.
 310 S. Twin Oaks Valley Rd., #107-297
 San Marcos, CA 92078
 v: 760.510.3152

Landscape Architect:
 Kent A Wilson
 Landscape Resource Group+Assoc.
 9401 Blue Lake Drive
 San Diego, CA 92119
 v:619.497.0556



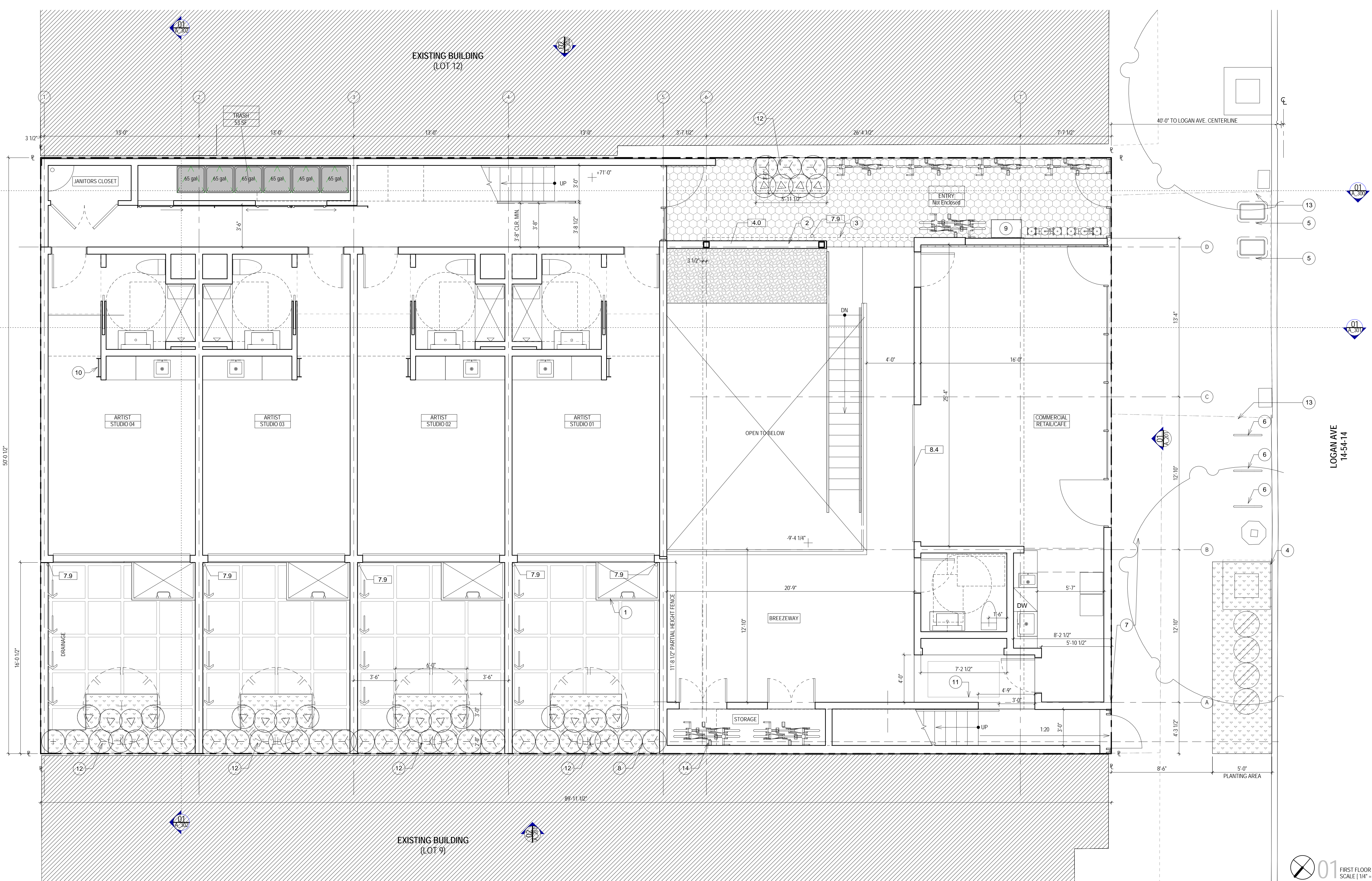
PROJECT PHASE
 SDP / CDP Submittal 2 November 14, 2017

SCALE (AS NOTED)

FIRST FLOOR PLAN
A_101

E:\My Documents\Work\TFWA\Jobs\1611-Barrio-Logan\Design Files\Revit\Logan Arts Building.rvt

01 FIRST FLOOR SCALE [1/4" = 1'-0"]



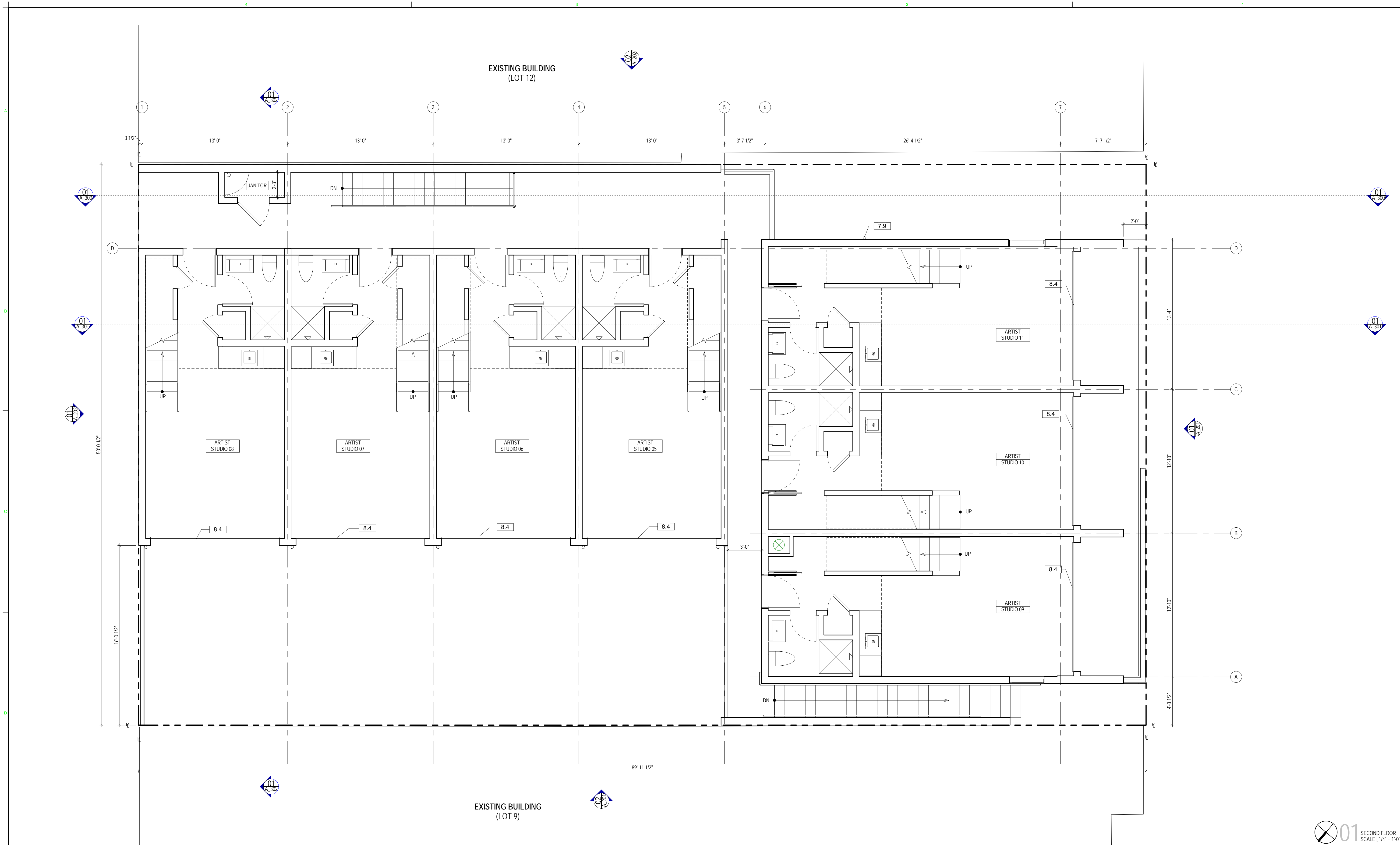
SHEET NOTES

1. Window well, typ.
2. Breeze block
3. Line of building above
4. Existing street tree, see Landscape drawings
5. New water meter, see site plan
6. Bicycle rack (short term, 1 bike ea. side)
7. Planter
8. Subsurface drainage to curb outlet, see Civil drawings
9. Mail
10. Access to unoccupied space, typ.
11. Grease trap
12. Stormwater BMP-SD-4.3.7, landscaping, see Civil drawings
13. Replace entry drive with new current City Standard curb and gutter, see Civil drawings
14. Long term bicycle storage

KEYNOTES

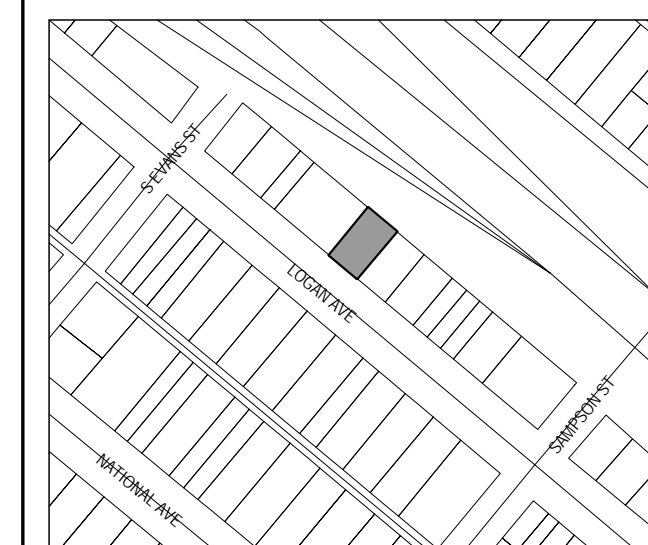
Key Value	Keynote Text
4.0	CMU BREEZE BLOCK
7.9	3" DIA. ROUND 22 GAUGE DOWNSPOUT, FABRICATE IN 10' LENGTHS, PTD TO MATCH WALL
8.4	SECTIONAL OVERHEAD DOOR SYSTEM, SEE DOOR SCHEDULE

GENERAL NOTES:



LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



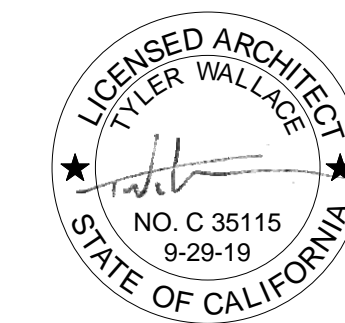
KEY PLAN

Owner:
WRKSH P, LLC
PO BOX 635234
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887

Civil Engineer:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
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Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
9401 Blue Lake Drive
San Diego, CA 92119
v: 619.497.0556



01 SECOND FLOOR
SCALE [1/4" = 1'-0"]

SHEET NOTES

KEYNOTES

KEYNOTES	
Key Value	Keynote Text
7.9	3" DIA. ROUND 22 GAUGE DOWNSPOUT, FABRICATE IN 10' LENGTHS, PTD TO MATCH WALL
8.4	SECTIONAL OVERHEAD DOOR SYSTEM, SEE DOOR SCHEDULE

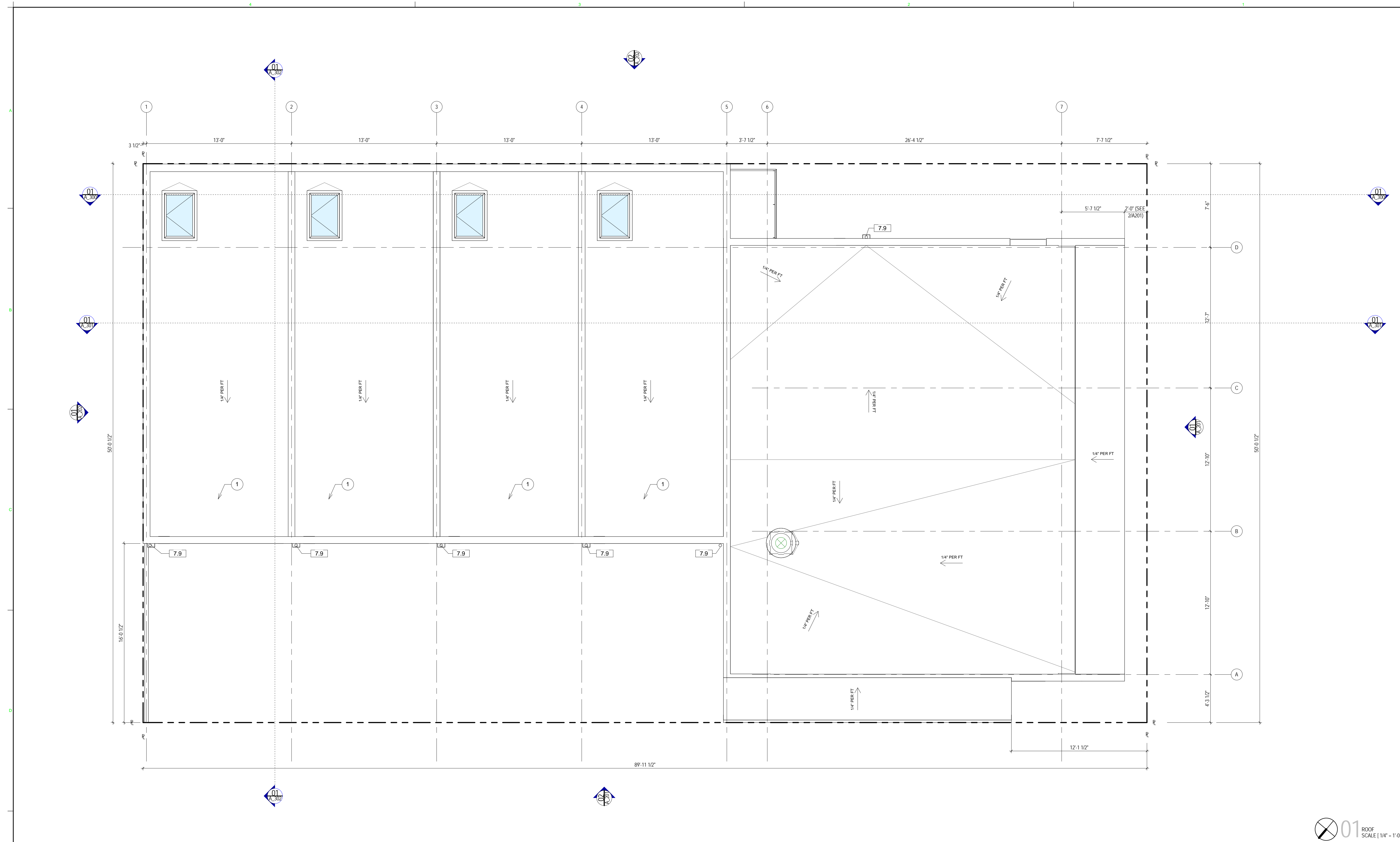
PROJECT PHASE
SDP / CDP Submittal 2 November 14, 2017

SCALE [AS NOTED]

SECOND FLOOR PLAN
A_102

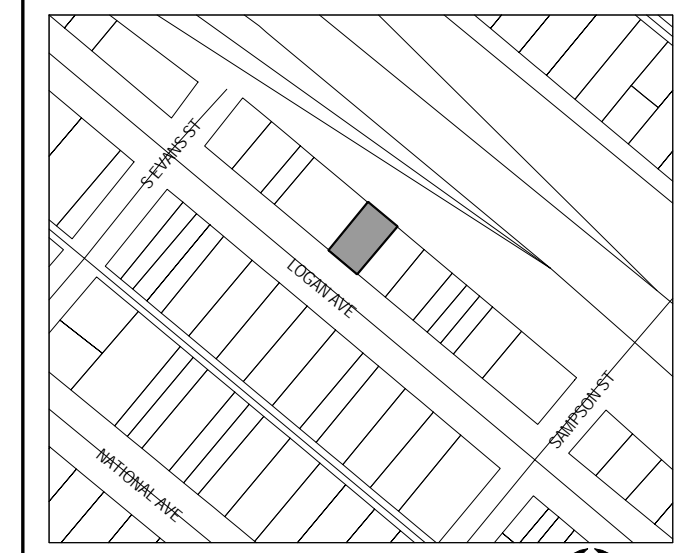
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GENERAL NOTES:



LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



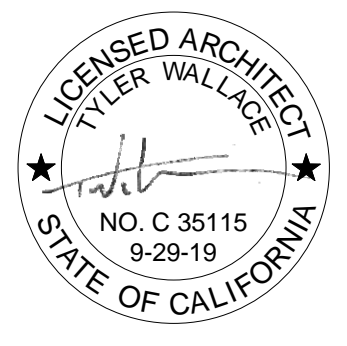
KEY PLAN

Owner:
WRKSH P. llc
PO BOX 635234
San Diego, CA 92163
v: 619.985.4070

Architect:
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ARCHITECTURE + DESIGN
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Civil Engineer:
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Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
9401 Blue Lake Drive
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v: 619.497.0556



01 ROOF
SCALE [1/4" = 1'-0"]

SHEET NOTES

1. Roof appurtenance @ 41 ft max. per exception SDMC 152.0319 (g) (2)

KEYNOTES

KEYNOTES	
Key Value	Keynote Text
7.9	3" DIA. ROUND 22 GAUGE DOWNSPOUT, FABRICATE IN 10' LENGTHS, PTD TO MATCH WALL

PROJECT PHASE
SDP / CDP Submittal 2 November 14, 2017

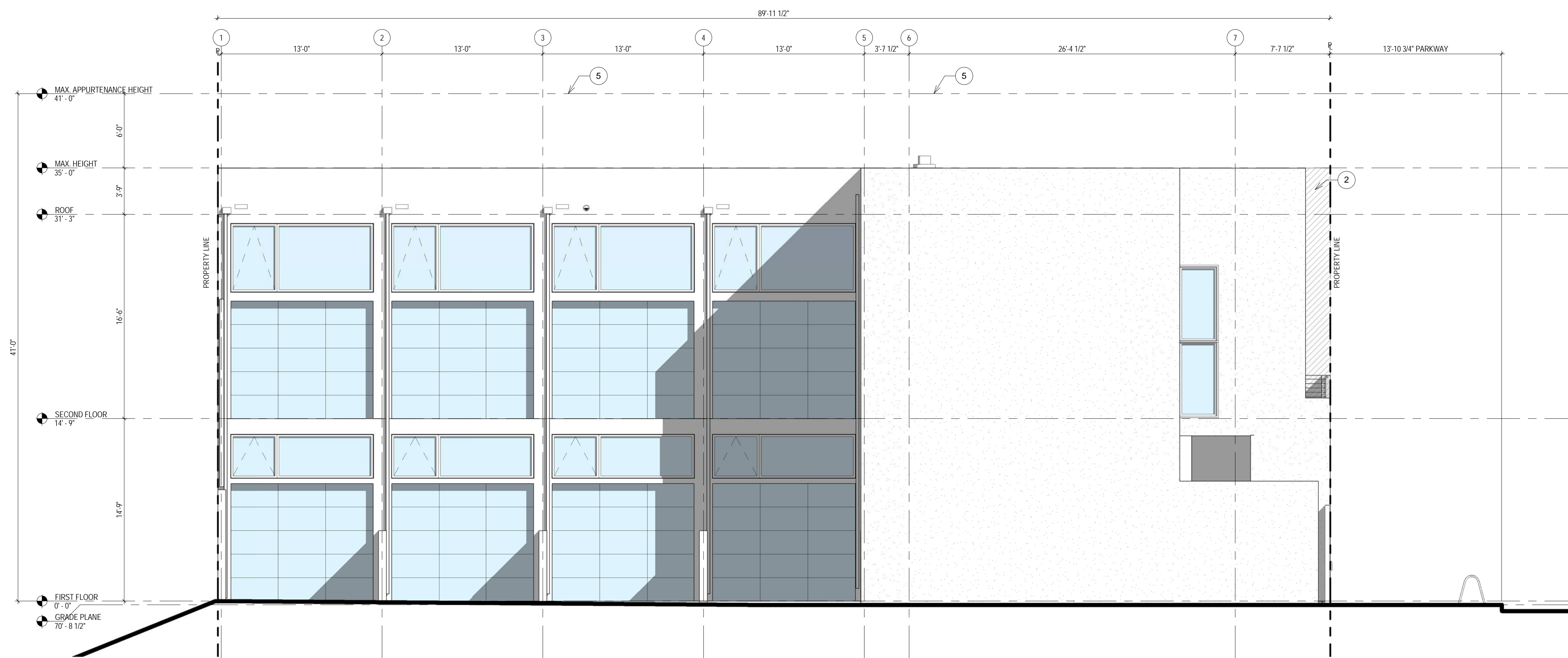
SCALE [AS NOTED]

ROOF PLAN
A_103

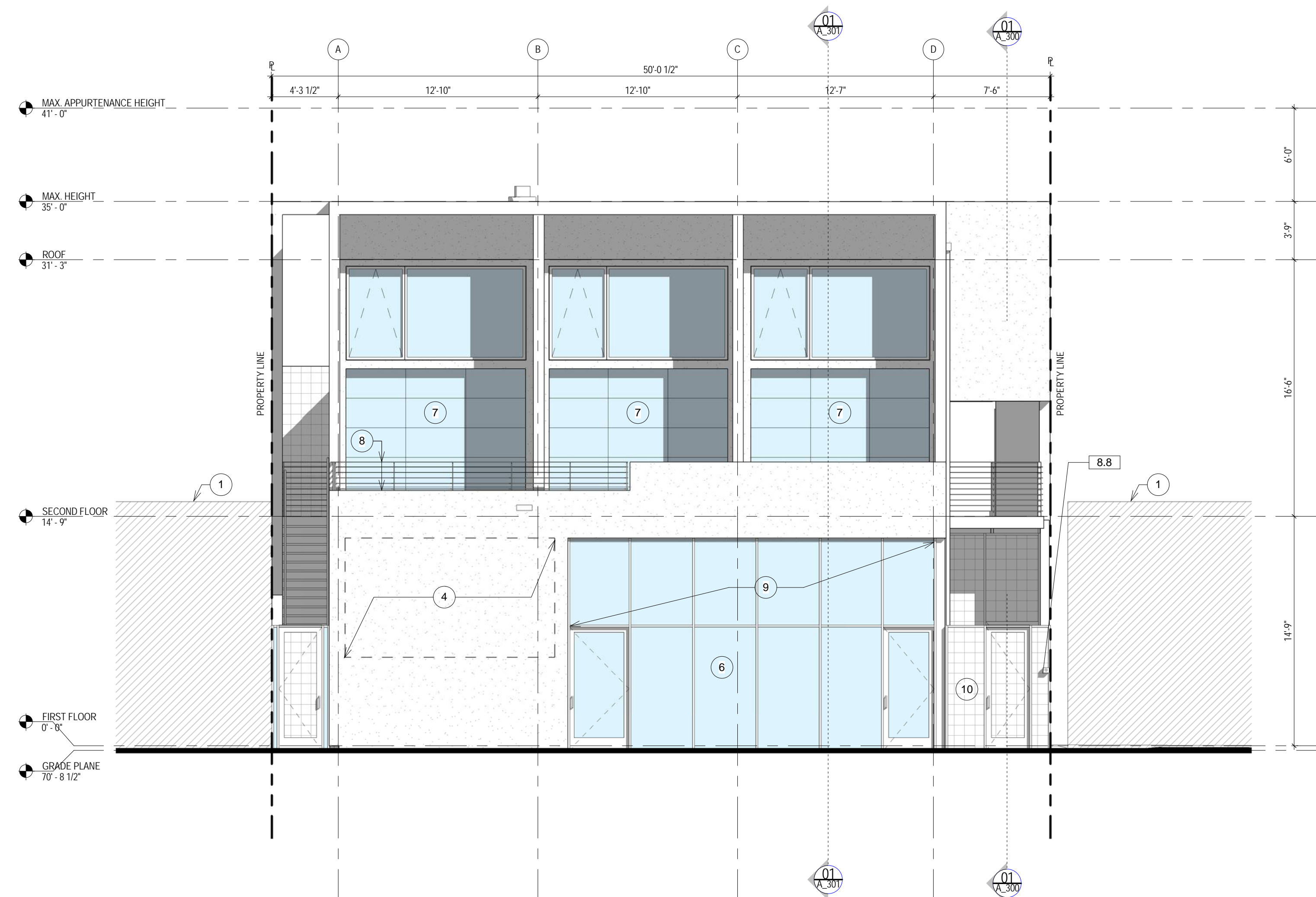
GENERAL NOTES:

- CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.

02 WEST ELEVATION
SCALE [3/16" = 1'-0"]



01 SOUTH ELEVATION
SCALE [3/16" = 1'-0"]



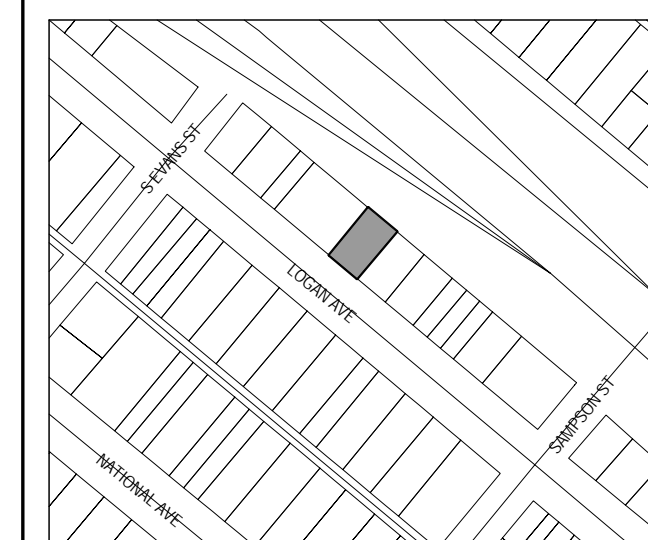
EXTERIOR MATERIAL LEGEND	
	CEMENTITIOUS PLASTER (ALTERNATE: FIBER CEMENT BOARD)
	METAL PANEL (ALTERNATE: STUCCO COLOR 2, FIBER CEMENT BOARD)

SHEET NOTES	
1.	EXISTING BUILDING (NIC)
2.	AREA OF DESIGN TOLERANCE FOR POTENTIAL EXTENSION OF WALLS AND ROOF
3.	PLANTER
4.	SIGNAGE / MURAL (EXTENTS APPROXIMATE)
5.	SOLAR SUNSHADE SYSTEM (OR SIMILAR) ROOF APPURTENANCE
6.	WINDOW SYSTEM
7.	GLAZED SECTIONAL OVERHEAD DOOR SYSTEM
8.	WARM AND BRIGHT COLORED GUARDRAIL SYSTEM
9.	WARM AND BRIGHT COLORED ARCHITECTURAL DETAIL ON INTERIOR OF GLASS
10.	WARM AND BRIGHT COLORED GATE SYSTEM

KEY NOTES	
Key Value	Keynote Text
B.8	KNOX BOX, 3200 SERIES OR SIMILAR AS PER FFB POLICY K-15-2, (KNOX COMPANY ONLY), -60\"/>

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



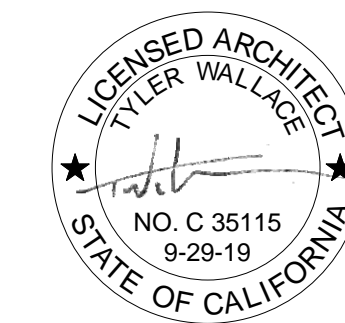
KEY PLAN

Owner:
WRKSH P llc
PO BOX 63234
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887

Civil Engineer:
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ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
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v: 760.510.3152

Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
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v: 619.497.0556



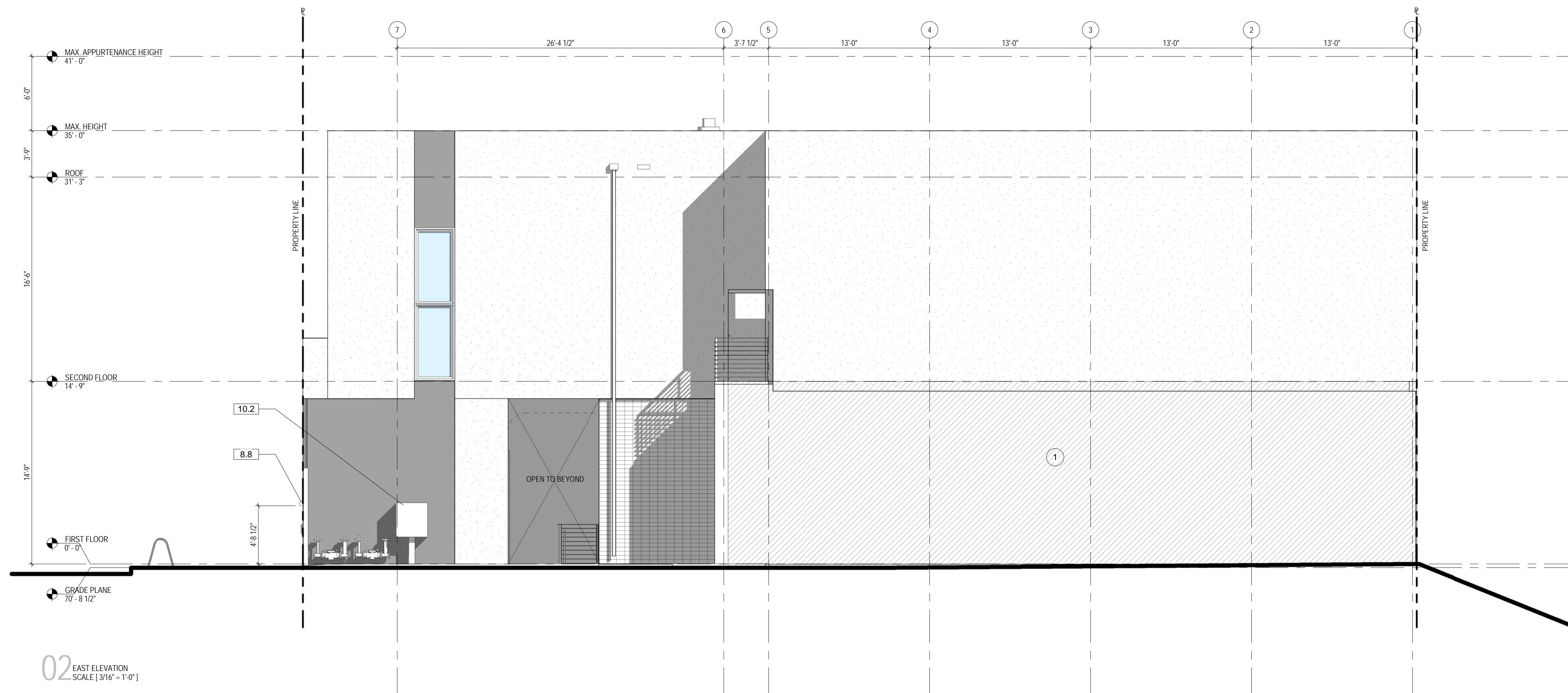
PROJECT PHASE

SDP / CDP Submittal 2 November 14, 2017

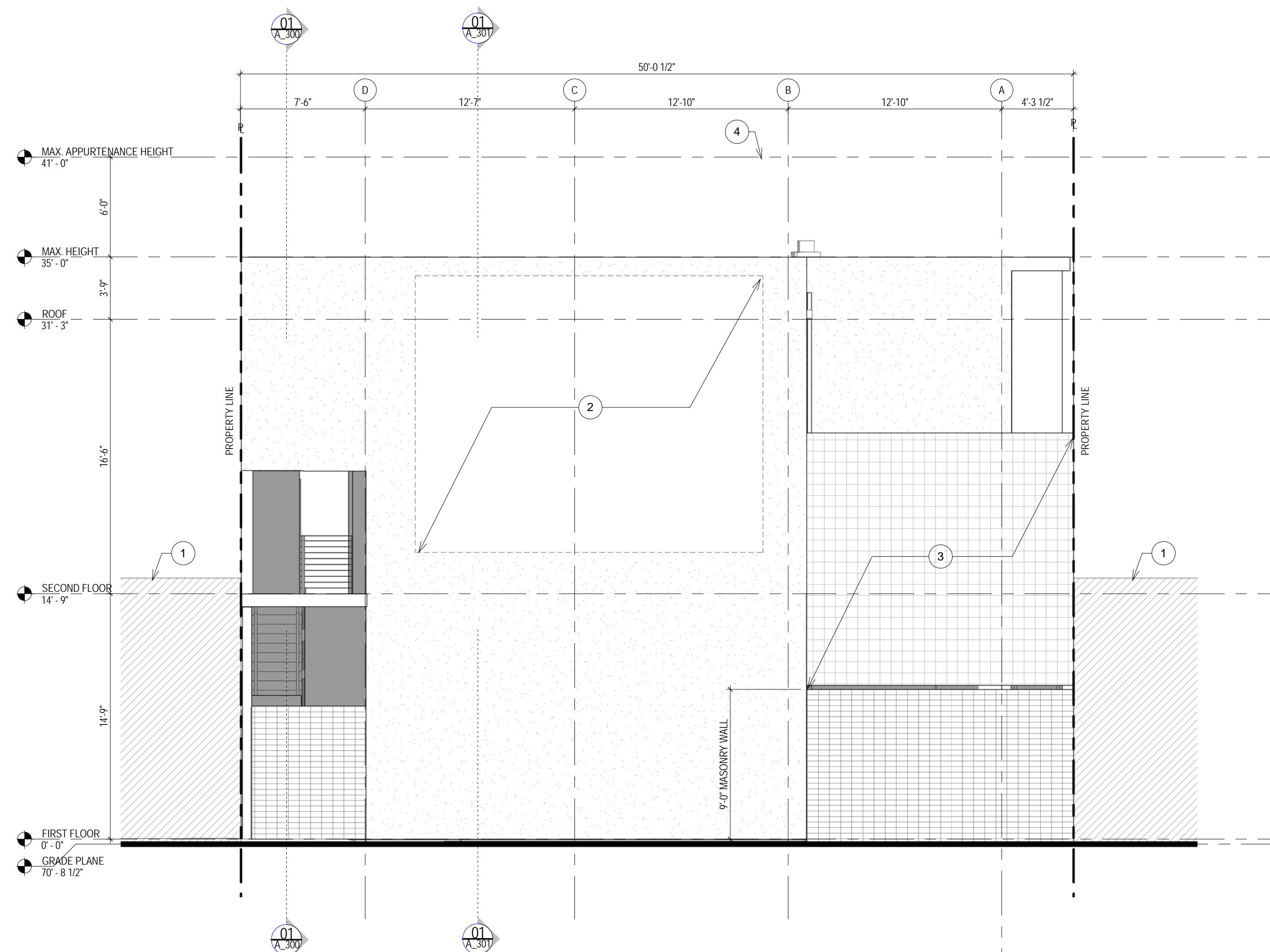
SCALE [AS NOTED]

ELEVATIONS
A_201

GENERAL NOTES:



02 EAST ELEVATION
SCALE [3/16" = 1'-0"]



01 NORTH ELEVATION
SCALE [3/16" = 1'-0"]

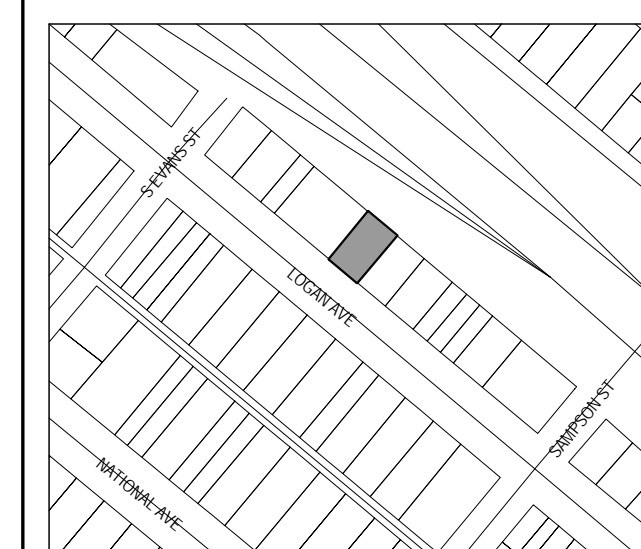
EXTERIOR MATERIAL LEGEND	
	CEMENTITIOUS PLASTER (ALTERNATE: FIBER CEMENT BOARD)
	METAL PANEL (ALTERNATE: STUCCO COLOR 2, FIBER CEMENT BOARD)

SHEET NOTES	
1.	EXISTING BUILDING (NIC)
2.	SIGNAGE / MURAL WITH LIGHTING (EXTENTS APPROXIMATE)
3.	SCREEN WALL
4.	SOLAR SUNSHADE SYSTEM (OR SIMILAR) ROOF APPURTENANCE

KEY NOTES	
Key Value	Keynote Text
8.8	KNOX BOX, 3200 SERIES OR SIMILAR AS PER FPB POLICY K-15-2, (KNOX COMPANY ONLY), -60" AFF
10.2	MAILBOX

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



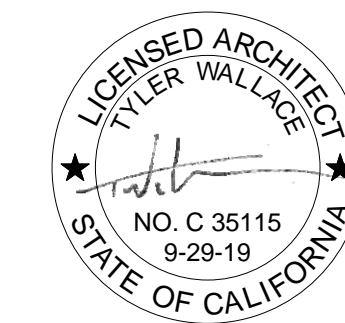
KEY PLAN

Owner:
WRKSH P llc
PO BOX 65224
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887

Civil Engineer:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
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v: 760.510.3152

Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
9401 Blue Lake Drive
San Diego, CA 92119
v: 619.497.0556



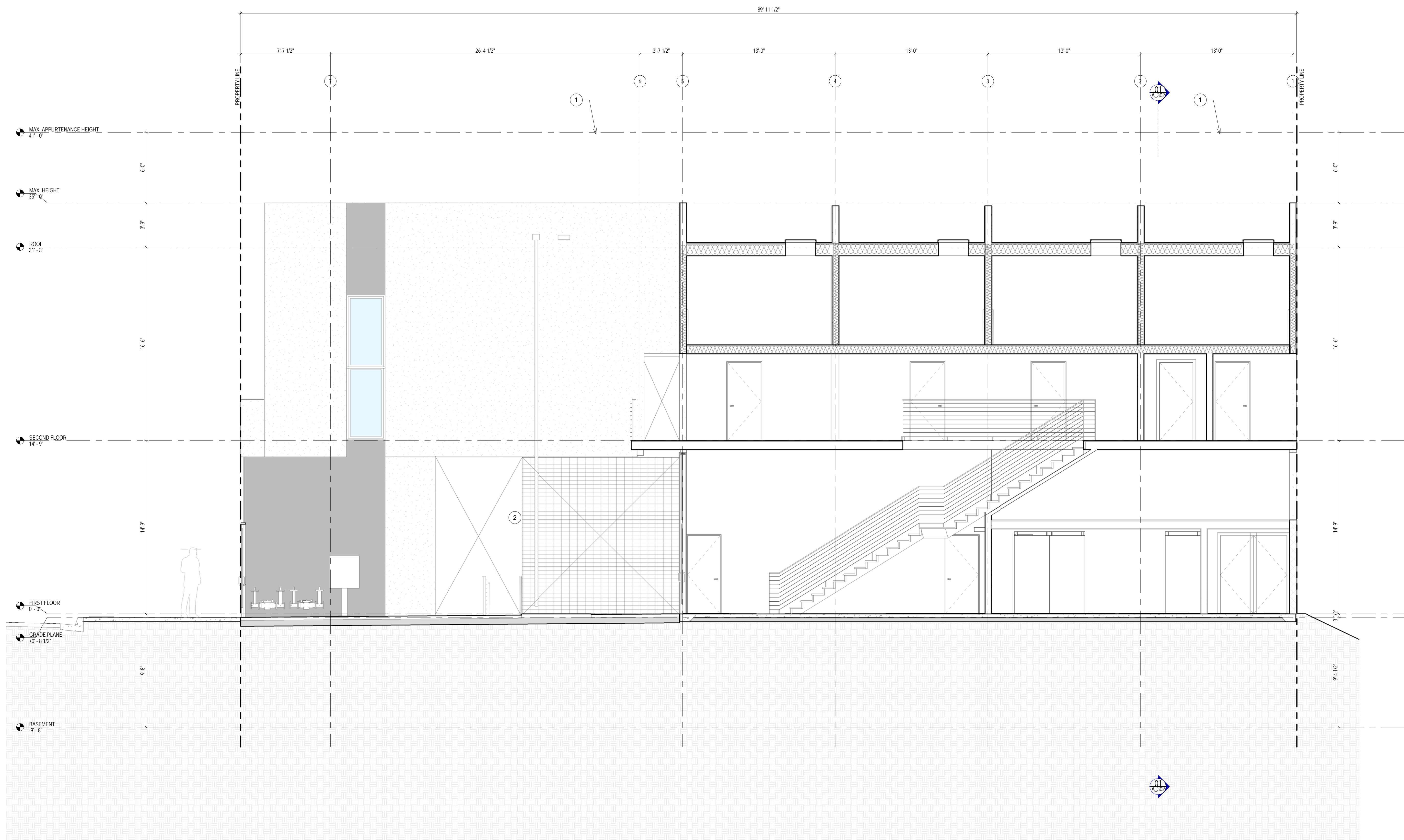
PROJECT PHASE

SDP / CDP Submittal 2 November 14, 2017

SCALE [AS NOTED]

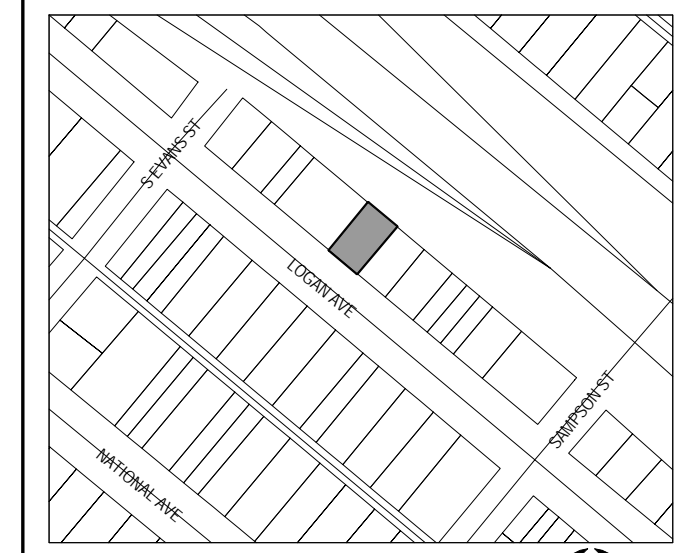
ELEVATIONS A_202

GENERAL NOTES:



LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



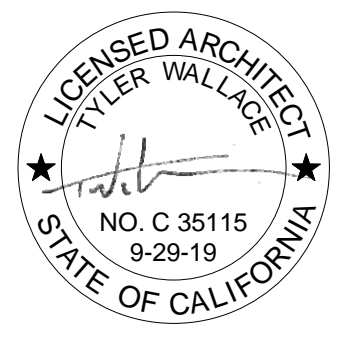
KEY PLAN

Owner:
WRKSH P. llc
PO BOX 63234
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
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Civil Engineer:
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ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
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Landscape Architect:
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Landscape Resource Group+Assoc.
9401 Blue Lake Drive
San Diego, CA 92119
v: 619.497.0556



PROJECT PHASE

SDP / CDP Submittal 2 November 14, 2017

SCALE [AS NOTED]

SECTIONS A_300

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KEY NOTES

Key Value	Keynote Text
1	SOLAR SUNSHADE SYSTEM (OR SIMILAR) ROOF APPURTENANCE
2	BREEZEWAY

SHEET NOTES

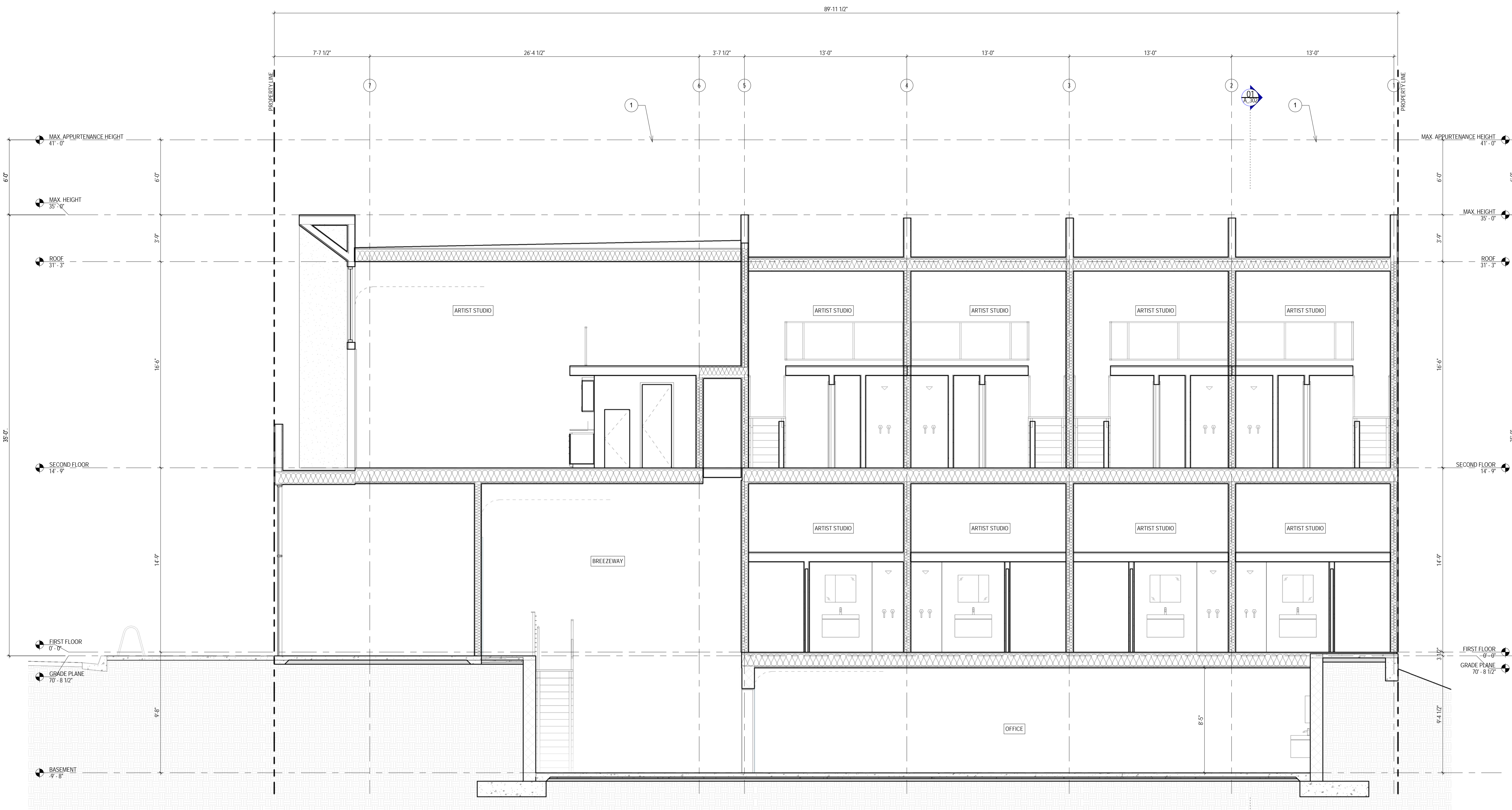
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- BREEZEWAY

01 Section 4
SCALE [1/4" = 1'-0"]

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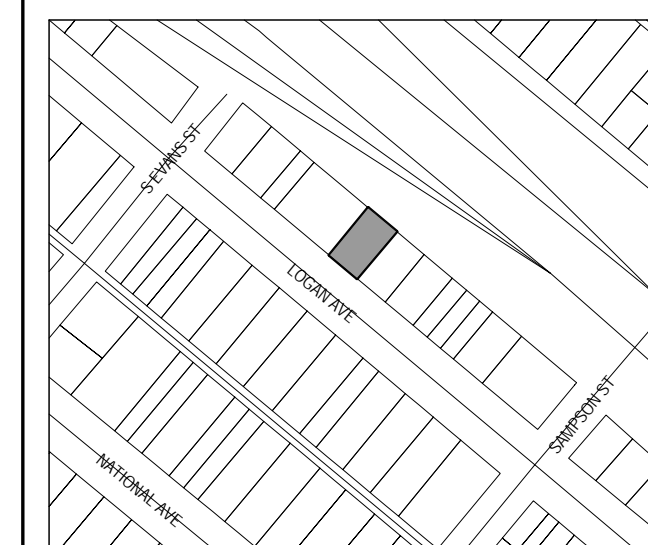
GENERAL NOTES:

1. CONTRACTOR RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD. DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT
2. SEE CIVIL DRAWINGS FOR SITE DIMENSIONS, SITE MATERIALS, GRADING AND FINISH FLOOR ELEVATION HEIGHTS (FFE)



LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



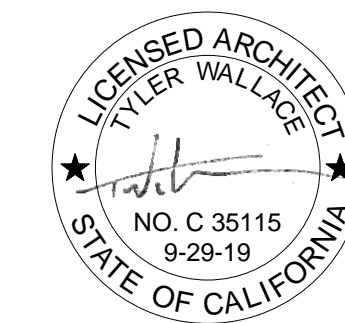
KEY PLAN

Owner:
WRKSH P. llc
PO BOX 652324
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887

Civil Engineer:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
v: 760.510.3152

Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
9401 Blue Lake Drive
San Diego, CA 92119
v: 619.497.0556



PROJECT PHASE

SDP / CDP Submittal 2 November 14, 2017

SCALE (AS NOTED)

SECTIONS
A_301

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©TFWA ARCHITECTURE

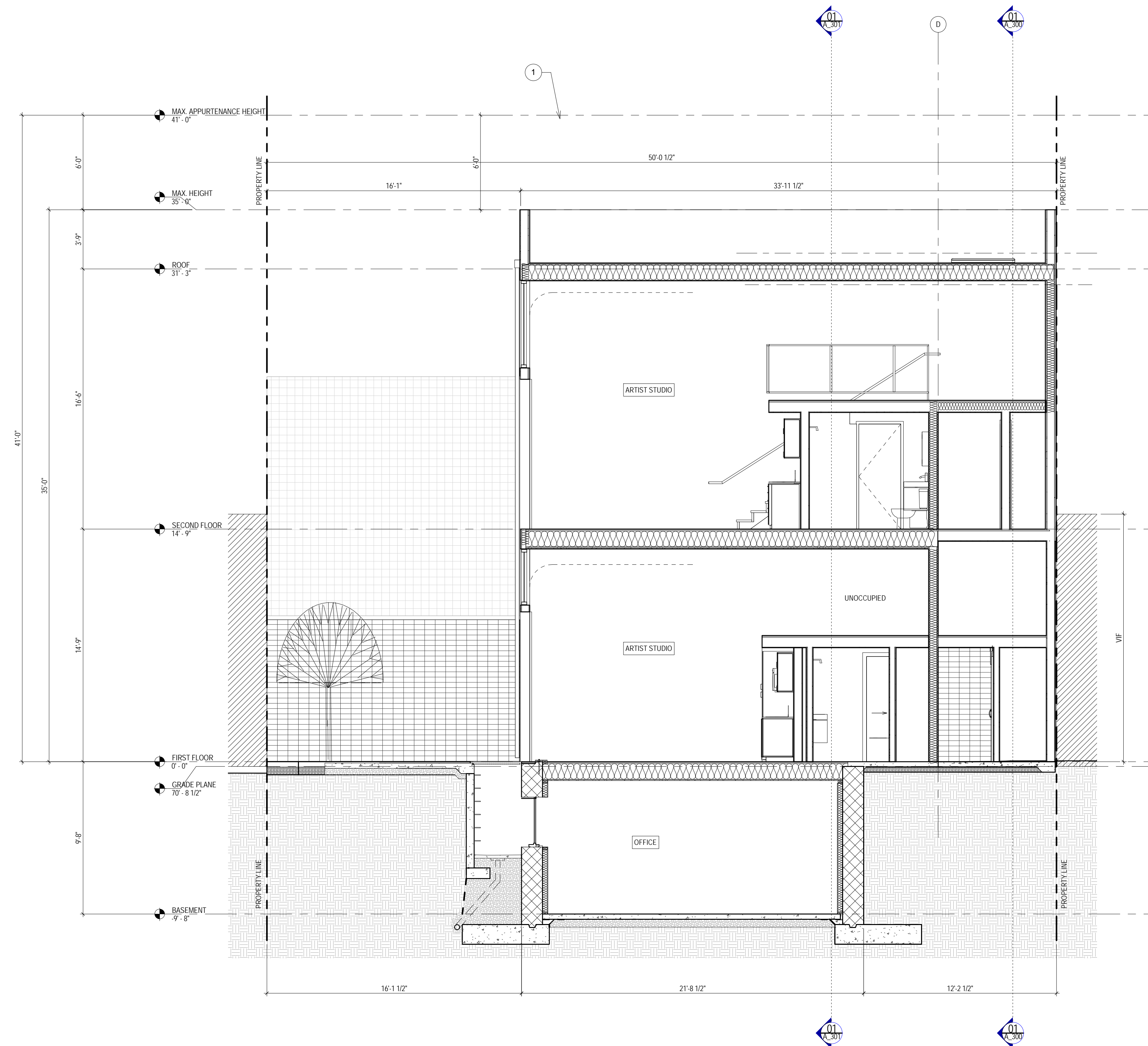
01 Section 5
SCALE [1/4" = 1'-0"]

KEY NOTES	
Key Value	Keynote Text

SHEET NOTES	
1.	SOLAR SUNSHADE SYSTEM (OR SIMILAR) ROOF APPURTENANCE

1/17/2018 8:27:04 PM

GENERAL NOTES:



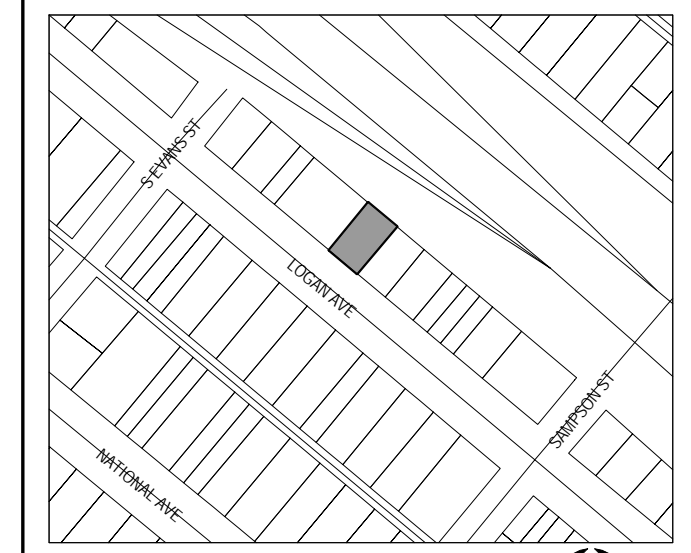
01 CROSS SECTION
SCALE [1/4" = 1'-0"]

KEY NOTES	
Key Value	Keynote Text

SHEET NOTES
1. SOLAR SUNSHADE SYSTEM (OR SIMILAR) ROOF APPURTENANCE

LOGAN ARTS BUILDING

2142 Logan Avenue
San Diego, CA 92113
1611



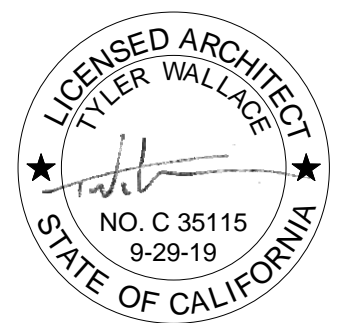
KEY PLAN

Owner:
WRKSH P. llc
PO BOX 63234
San Diego, CA 92163
v: 619.985.4070

Architect:
TFWA
ARCHITECTURE + DESIGN
600 B Street, Ste 300
San Diego, CA 92101
v: 619.485.0887

Civil Engineer:
RANCHO COASTAL
ENGINEERING & SURVEYING, INC.
310 S. Twin Oaks Valley Rd., #107-297
San Marcos, CA 92078
v: 760.510.3152

Landscape Architect:
Kent A Wilson
Landscape Resource Group+Assoc.
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San Diego, CA 92119
v: 619.497.0556



PROJECT PHASE

SDP / CDP Submittal 2 November 14, 2017

SCALE [AS NOTED]

SECTIONS A_302