



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 13, 2019 REPORT NO. HO-19-012

HEARING DATE: February 20, 2019

SUBJECT: PATHRIA RESIDENCE CDP/SDP, Process Three Decision

PROJECT NUMBER: [566727](#)

OWNER/APPLICANT: Anu and Meredith Pathria, Owners
Hector Aramburo, Architect/Agent

SUMMARY:

Issue: Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to demolish an existing single-family dwelling unit and construct a new two-story, single family dwelling unit with an attached two-car garage located at 7975 Calle de la Plata in the La Jolla Community Plan area?

Staff Recommendation:

1. Adopt Mitigated Negative Declaration No. 566727 and Adopt the Mitigation Monitoring and Reporting Program (MMRP); and
2. APPROVE Coastal Development Permit No. 2003262.
3. APPROVE Site Development Permit No. 2003263.

Community Planning Group Recommendation: On May 3, 2018, the La Jolla Community Planning Association voted 13-1-1 to recommend approval of the project with no conditions. (Attachment 7).

La Jolla Shores Advisory Board: On May 21, 2018, the La Jolla Shores Advisory Board voted 5-0 to recommend approval of the project (Attachment 7).

Environmental Review: Mitigated Negative Declaration, Report No. 566727, has been prepared for the project in accordance with state of California Environmental Quality Act (CEQA) guidelines. A mitigation, monitoring and reporting program has been prepared and

will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process.

BACKGROUND

The existing home on the project site was built in 1948 and is located at 7975 Calle de la Plata, on the corner with El Paseo Grande, approximately three blocks east of the Pacific Ocean (Attachment 1). The surrounding properties are fully developed and form a well-established single dwelling unit residential neighborhood (Attachment 3).

This project proposes to demolish the existing one-story home and construct a 4,546-square-foot, two-story single-family dwelling unit with an attached, two-car garage on a 0.15-acre property. The project site is located in the SF Zone (Single Family Zone) of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Coastal and Beach), Residential Tandem Parking Overlay, Transit Priority Area Overlay Zone and within the La Jolla Community Plan. Review of resource maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive habitat or other habitat identified as Environmentally Sensitive Lands (ESL). Furthermore, the project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA) designated lands. There have been no other prior discretionary permit approvals issued for this project site.

DISCUSSION

The project requires a Coastal Development Permit and a Site Development Permit. The Coastal Development Permit is required by the San Diego Municipal Code (SDMC) Section 126.0702 for the proposed demolition and construction on property within the Coastal Overlay Zone. The Site Development Permit is required by the SDMC Section 1510.0201(d) for major development within the La Jolla Shores Planned District. As the existing structure is more than 45 years old, City of San Diego Staff evaluated it and concluded it is not significant, and not eligible for historic designation under local, state or federal criteria.

The La Jolla Community Plan designates the site as Low density (5-9 DU/acre) residential land use (Attachment 2). The proposed residential use of the 0.15-acre property is consistent with that land use designation. The site does not contain any form of Environmentally Sensitive Lands. The proposed new residence will be located within the previously developed portion of the property. The La Jolla Shores Planned District does not contain quantifiable development standards such as building setbacks and floor area ratio. Instead, the Planned District contains language in the General Design regulations which references the character of the area, being in general conformity to surrounding development and design principles. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks and bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance SF Zone. All surface drainage/run-off will be conveyed through an existing drain system to Calle de la Plata and El Paseo Grande. The project proposes to reduce the existing driveway width from approximately 18 feet to 12 feet to maximize on-street curb parking and comply with the Coastal and Beach Parking Impact Overlay Zone regulations. The project conforms to all development regulations of the La Jolla Shores Planned District Ordinance's SF Zone,

along with the applicable regulations of the Coastal Overlay Zone, such as the Coastal and Beach Parking Impact Overlay Zone and the Coastal Height Limitation Overlay Zone.

The La Jolla Shores Planned District contains General Design Regulations, San Diego Municipal Code Section 1510.0301(b), which states that, "No structure shall be approved which is substantially like any other structure located on an adjacent parcel. Conversely, no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area." The proposed residence is designed to include painted facia and metal gutters, urbane bronze steel post and railings, wood stain eaves and front door, with iceberg color stucco and natural stone exterior walls, with bronze windows and sliding glass doors and a flat roof, which was found in general conformance with surrounding development and in conformance with the La Jolla Shores General Design Regulations. The project proposes no cut grading and 140 cubic yards of imported fill. The proposed residence will be approximately 25 feet, 5.5 inches in height, in compliance with the allowed 30-foot height limit.

The project site is located approximately three blocks east of the Pacific Ocean, and is not located within or adjacent to a public view, as identified within the La Jolla Community Plan and Local Coastal Program Land Use Plan. The project site is not located between the ocean and the First Public Roadway (Spindrift Drive to the southwest and Paseo Dorado to the northwest).

The project site is not identified as containing any form of public access by the La Jolla Community Plan and Local Coastal Program Land Use Plan. A review of the project's plans, conformance with public access and coastal public views, has determined that the proposed redevelopment of this property is in conformance with the La Jolla Community Plan and Local Coastal Program Land Use Plan.

CONCLUSION:

This proposed project is designed to comply with the development regulations of the La Jolla Shores Planned District's SF Zone, the Coastal and Beach Parking Impact Overlay Zone regulations and the La Jolla Community Plan and Local Coastal Program Land Use Plan. Staff supports a determination that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff recommends the Hearing Officer adopt the Mitigated Negative Declaration No. 566727 and adopt the Mitigation Monitoring and Reporting Program, approve Coastal Development Permit No. 2003262 and Site Development Permit No. 2003263, as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2003262 and Site Development Permit No. 2003263, with modifications.
2. Deny Coastal Development Permit No. 2003262 and Site Development Permit No. 2003263, if the findings required to approve the project cannot be affirmed.

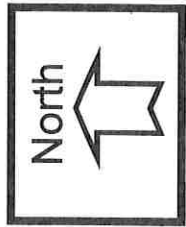
Respectfully submitted,



Glenn Gargas, Development Project Manager

Attachments:

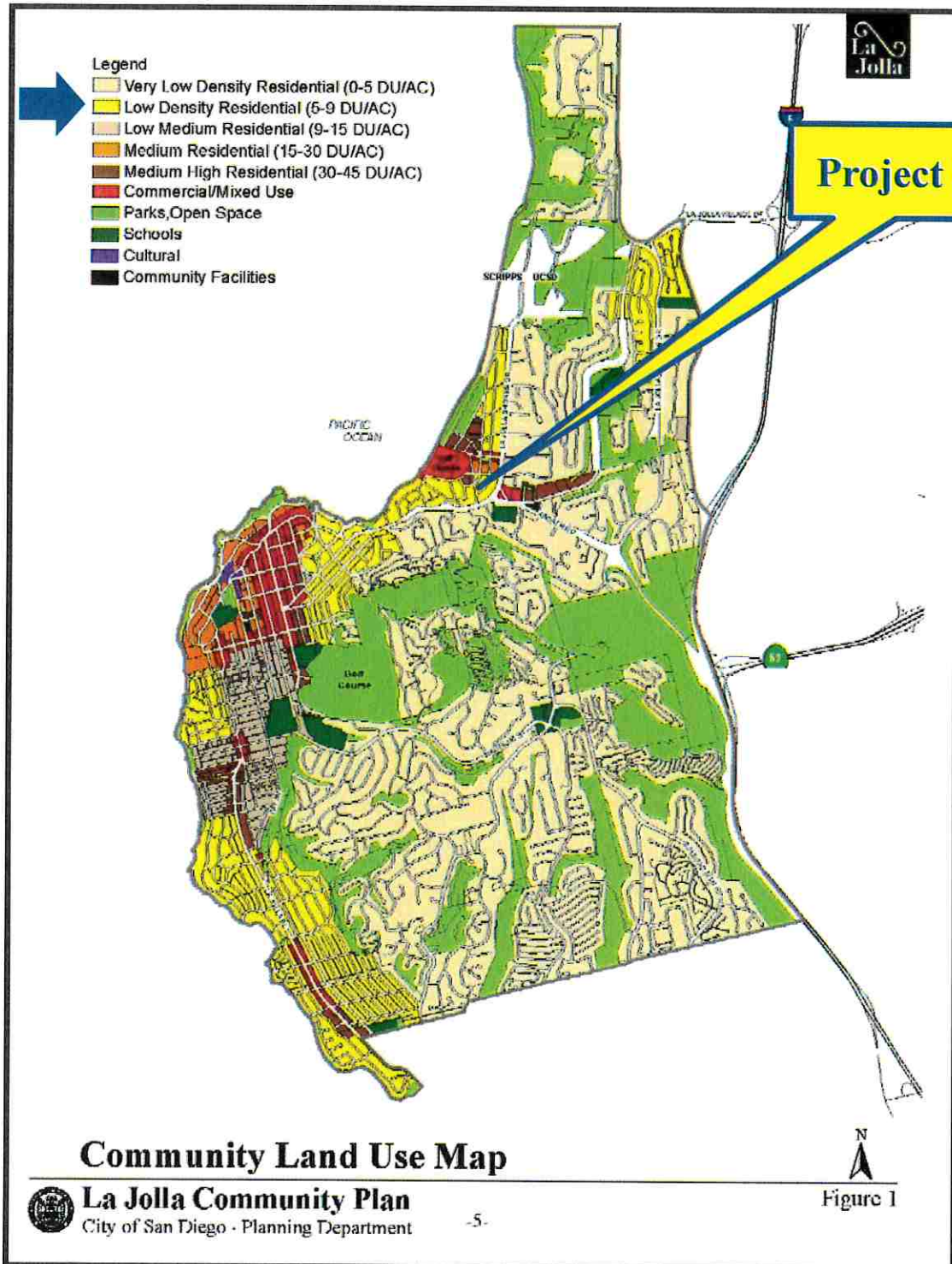
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Resolution
7. Community Planning Group Recommendations
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

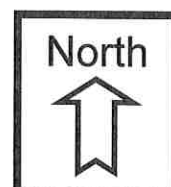
PATHRIA RESIDENCE CDP/SDP – 7975 CALLE DE LA PLATA
PROJECT NO. 566727

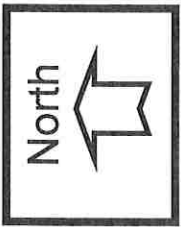
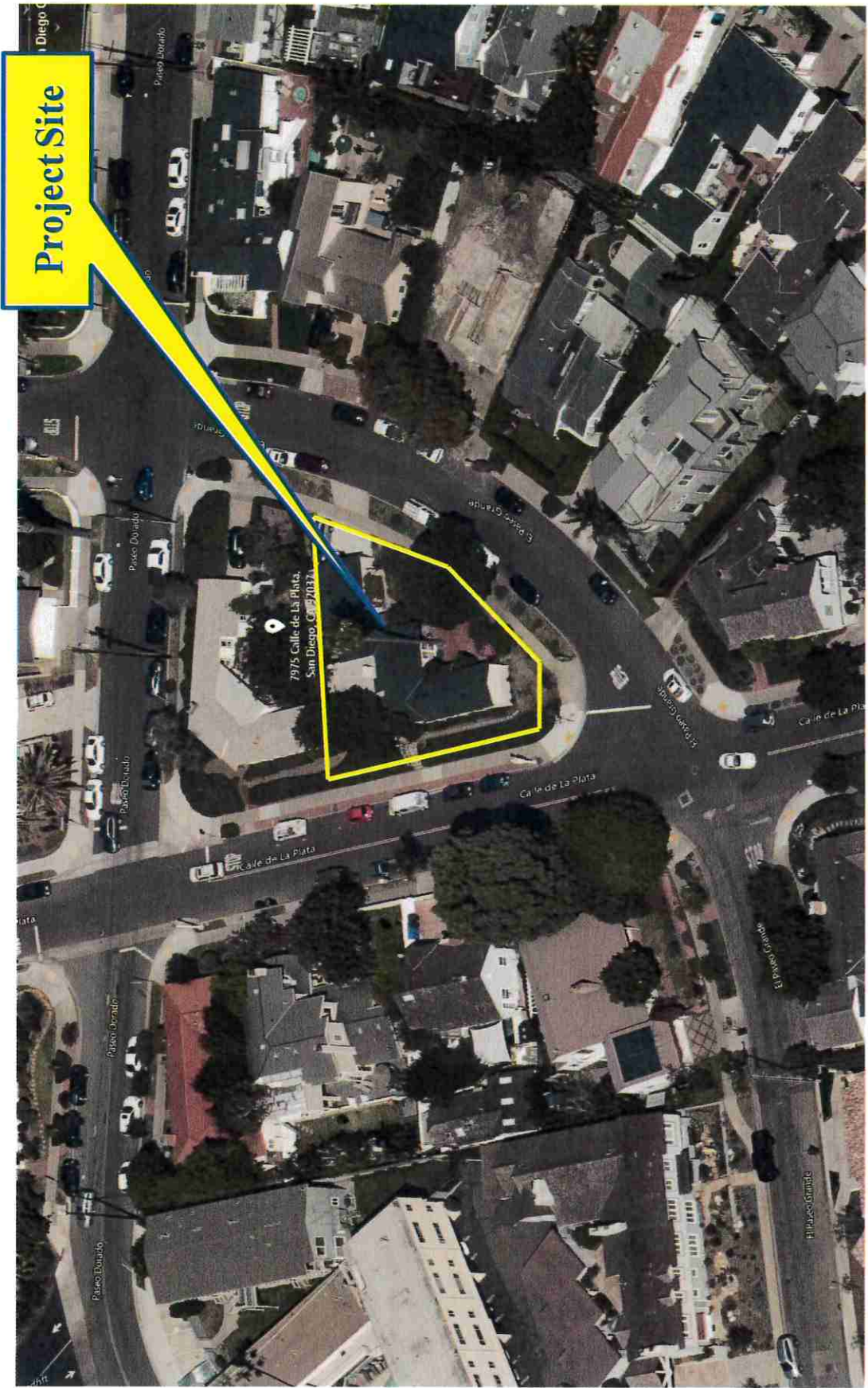




Land Use Map

PATHRIA RESIDENCE CDP/SDP - 7975 CALLA DE LA PLATA
PROJECT NO. 566727 La Jolla





Aerial Photo

PATHRIA RESIDENCE CDP/SDP – 7975 CALLE DE LA PLATA
PROJECT NO. 566727



HEARING OFFICER RESOLUTION NO. ____
COASTAL DEVELOPMENT PERMIT NO. 2003262/SITE DEVELOPMENT PERMIT NO. 2003263
PATHRIA RESIDENCE CDP/SDP - PROJECT NO. 566727 (MMRP)

WHEREAS, Anu Pathria and Meredith Pathria, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish an existing dwelling unit and construct a new two-story single-family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2003262 and 2003263), on portions of a 0.15-acre property;

WHEREAS, the project site is located at 7975 Calle de la Plata, in the SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Coastal and Beach), Residential Tandem Parking Overlay, Transit Area Overlay Zone and within the La Jolla Community Plan;

WHEREAS, the project site is legally described as; That portion of Lots 1 and 2 in Block 6 of La Jolla Shores Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 1913, filed in the Office of the County Recorder of San Diego, June 3, 1926;

WHEREAS, on February __, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2003262/Site Development Permit No. 2003263, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2003262/Site Development Permit No. 2003263:

Coastal Development Permit - Section 126.0708

- The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal**

development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project site is currently developed with an existing, one-story residence. This project proposes to demolish the existing single-family dwelling unit and construct a new two-story single-family dwelling unit. The proposed structure will be sited in approximately the same location as the existing residential structure. The project site is located approximately three blocks from the Pacific Ocean coastline. The proposed project is contained within the existing legal lot area. The project site is not located within the First Public Roadway (Paseo Dorado and Spindrift Drive) and the Pacific Ocean. The project site is located on the east side of Calle de la Plata, on the northeast corner of El Paseo Grande and Calle de la Plata, and there is no identified public view on or adjacent to the project site on either street, and no public accessway as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. Therefore, the proposed redevelopment will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The previously graded project site is currently developed with a single-family dwelling unit and within a residential neighborhood developed since 1948. Review of resource maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. Furthermore, the project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA)-designated lands. The project proposes to demolish the existing single-family dwelling unit and construct a new, two-story single-family dwelling unit with an attached two-car garage in approximately the same location on the lot as the existing residence. All surface drainage from the project will be conveyed to both Calle de la Plata and El Paseo Grande. As the environmental review of the project has determined that this project may have a significant environmental effect on Historic Resources (archaeology) and Tribal Cultural Resources, the City has prepared a Mitigated Negative Declaration (MND) in accordance with the California Environmental Quality Act (CEQA) Guidelines. The MND's Mitigation Monitoring and Reporting Program (MMRP) incorporates mitigation measures into the project for potential impacts to Historic Resources (archaeology) and Tribal Cultural Resources to reduce the potential impacts to a level below significance. The project site was previously graded and redevelopment of this site proposes zero cubic yards of cut and 140 cubic yards of fill, for a total import of 140 cubic yards. Thus, this proposed redevelopment of an existing residence will not adversely affect Environmentally Sensitive Lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed development to demolish an existing residence and construct a new, two-story residential dwelling unit is located on a site which has a Low Density Residential (5-9 DU/AC) land use designation in the Community Plan. Based on the review of the project plans along with a setback and bulk/scale neighborhood survey of the surrounding development pattern, the design of the project was determined to be in general conformity with all the applicable development regulations of the La Jolla Shores Planned District SF-Zone and the Coastal Overlay Zone. The project site is located approximately three blocks from the coastline with no identified public view on or adjacent to the subject property, as identified within the Community Plan. Project development will be fully contained within the existing legal lot area. The project site does not contain any form of public access on the Calle de la Plata and El Paseo Grande street frontages. The project will reduce the existing driveway width to 12 feet to maximize on-street curb parking and to comply with the Coastal and Beach Parking Impact Overlay Zone driveway width regulations (San Diego Municipal Code Section 142.0560). Due to these factors, the proposed redevelopment of this property is in conformity with the certified La Jolla Community Plan and the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 7,206-square-foot site, currently developed with an existing residence, is located within an established residential neighborhood approximately three blocks from the Pacific Ocean coastline and is not located within the first public road (Paseo Dorado and Spindrift Drive) and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. The proposed redevelopment of the property will maintain the existing public rights-of-way. Therefore, the project is in compliance with Chapter 3 of the California Coastal Act.

Site Development Permit - Municipal Code Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes to demolish an existing single-family dwelling unit and construct a new 4,546-square-foot, two-story, single family dwelling unit with an attached two-car garage in approximately the same location on the lot as the existing structure. The proposed project is in an area identified as Low Density Residential (5-9 DU/acre) land use within the La Jolla Community Plan (LJCP). The proposed residential use of the property is consistent with the land use designation. The project site does not contain and is not adjacent to any public access or any public views identified by the La Jolla Community Plan and Local Coastal Land

Use Plan. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks and bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance SF Zone. The proposed single-family dwelling unit is consistent with the SF Zone of the La Jolla Shores Planned District development regulations, allowed density and design recommendations. Thus, this single family residential dwelling unit redevelopment will not adversely affect the La Jolla Community Land Use Plan.

2. The proposed development will not be detrimental to the public health, safety and welfare.

The proposed demolition of an existing single-family dwelling unit and construct a new 4,546-square-foot, two-story, single family dwelling unit with an attached two-car garage has been designed to comply with all the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District and the Coastal Overlay Zone. As the environmental review of the project determined that this project may have a significant environmental effect on Historic Resources (archaeology) and Tribal Cultural Resources, the City has prepared a Mitigated Negative Declaration (MND), in accordance with the California Environmental Quality Act (CEQA) Guidelines. The MND's Mitigation Monitoring and Reporting Program (MMRP) incorporates mitigation measures into the project for potential impacts to Historic Resources (archaeology) and Tribal Cultural Resources, to reduce the potential impacts to a level below significance. The environmental analysis did not find any significant impacts to public health and safety. The project will not have any impact on the provision of essential public services. The proposed project will reconstruct the on-site driveway to current standards and close a non-utilized portion of the existing driveway. The project proposes to reduce the existing driveway width to 12 feet to maximize on-street curb parking and to comply with the Coastal and Beach Parking Impact Overlay Zone regulations and add new sidewalks. These public improvements will bring these elements in to conformance with current traffic and pedestrian safety standards and aid public health and safety. The project will not be detrimental to public health, safety and welfare in that the permit controlling the development contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Based on the review of the project plans along with a setback and bulk/scale neighborhood survey of the surrounding development pattern, the design of the project was determined to be in general conformity with all the applicable development regulations of the La Jolla Shores Planned District's SF-Zone, the Parking Impact Overlay Zone and the Coastal Overlay

Zone. There are no proposed variances or deviations to the development regulations of the Land Development Code. City staff also reviewed the drainage, lot coverage, building height, landscaping, public views, public access, and found that the project will comply with all the required development regulations. The proposed demolition of an existing single-family dwelling unit and construction of a new 4,546-square-foot, two-story, single family dwelling unit with an attached two-car garage, will comply with the development regulations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2003262/Site Development Permit No. 2003263, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2003262 and 2003263, a copy of which is attached hereto and made a part hereof.

Glenn R. Gargas
Development Project Manager
Development Services

Adopted on: February 20, 2019

IO#: 24007419
fm 7-17-17

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007419

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2003262/SITE DEVELOPMENT PERMIT NO. 2003263

PATHRIA RESIDENCE - PROJECT NO. 566727 MMRP

HEARING OFFICER

This Coastal Development Permit No. 2003262/Site Development Permit No. 2003263, is granted by the Hearing Officer of the City of San Diego to Anu Pathria and Meredith Pathria, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 1510.0201. The 0.15-acre site is located at 7975 Calle de la Plata, in the SF Zone of the La Jolla Shores Planned District, Coastal (non-appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Coastal and Beach), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone and within the La Jolla Community Plan area. The project site is legally described as: That portion of Lots 1 and 2 in Block 6 of La Jolla Shores Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 1913, filed in the Office of the County Recorder of San Diego, June 3, 1926.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single-family dwelling unit and construct a two-story, single-family dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 20, 2019, on file in the Development Services Department.

The project shall include:

- a. Demolish an existing single-family dwelling unit and construct a 4,546-square-foot, two-story, single-family dwelling unit with an attached two-car garage on a 0.15-acre property;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Site walls, fencing, spa and patio; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 6, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No. 566727, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, No. 566727, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historic Resources (Archaeology) and Tribal Cultural Resources

CLIMATE ACTION PLAN REQUIREMENTS:

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the closure of the existing driveway and construction of a new 12-foot driveway per current City Standards, adjacent to the site on El Paseo Grande, to the satisfaction of the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct existing sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site along El Paseo Grande and Calle De La Plata frontage, to the satisfaction of the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall replace existing curb along Calle De La Plata and El Paseo Grande frontage with current City Standard curb and gutter to Satisfaction of City Engineer.

19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

21. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
22. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
23. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

25. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

ATTACHMENT 5

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 20, 2019, by Resolution No.

_____.

ATTACHMENT 5

Permit Type/PTS Approval No.: CDP No. 2003262/SDP No. 2003263
Date of Approval: Feb. 20, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Anu Pathria

Owner/Permittee

By _____
Meredith Pathria

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

ATTACHMENT 6

RESOLUTION NUMBER R-_____
PATHRIA RESIDENCE – PROJECT NO. 566727

ADOPTED ON FEBRUARY 20, 2019

WHEREAS, on November 22, 2017, Meredith and Anu Pathria submitted an application to the Development Services Department for a Coastal Development Permit and Site Development Permit for the Pathria Residence (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on February 20, 2019, and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 566727 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

ATTACHMENT 6

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Glenn Gargas, Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT

PROJECT NO. 566727

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No.566727 shall be made conditions of Coastal Development Permit and Site Development Permit as may be further described below.

A. GENERAL REQUIREMENTS – PART I

Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

Qualified Archaeologist, Native American Monitor

Note:

Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division - 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) #566727 and /or Environmental Document # 566727, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc)

Note:

Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

None Required

4. MONITORING EXHIBITS

All consultants are required to submit , to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE:

ATTACHMENT 6

Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Archaeological Resources	Monitoring Report(s)	Monitoring Report Approval
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

B. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

TRIBAL CULTURAL RESOURCES AND CULTURAL RESOURCES (ARCHAEOLOGY) MITIGATION

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction**

activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.

2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
 4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
 4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the**

amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.

- c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

- 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
- 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

- 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
- 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
- 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains **ARE** determined to be Native American

- 1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
- 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
- 3. The MLD will contact the PI after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
- 4. The MLD will have 48 hours after inspection of the site to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
- 5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,

- c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are **NOT** Native American
- 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 - 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 - 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
- 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction

1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

ATTACHMENT 6

3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.



ATTACHMENT 7

La Jolla Community Planning Association

Date: May 10, 2018

To: Glenn Gargas, City of San Diego

CC: Christian Rice

Subject: La Jolla Community Planning Association Vote

RE: Pathria Residence

On May 3, 2018 at the Regular meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed the Pathria Residence as an action item on the consent agenda.

10.1 Pathria Residence (Project # 566727) 7975 Calle De La Plata. Coastal Development Permit and Site Development Permit for the demolition of an existing single family residence and construction of a new 3,995 sf two-story residence at 7975 Calle De La Plata. The 0.15 acre site is located within the Coastal Overlay Zone (non-appealable area), in the LJSPD-SF zone(s) of the La Jolla Shores Planned District Area within Council District 1.

PRC Motion: Findings CAN be made for a Coastal Development Permit and Site Development Permit for Project #566727. Vote in favor: 4-2-0.

The LJCPA voted on consent to accept the recommendation of the PRC subcommittee. Vote in favor: 13-1-1.

Sincerely,

Bob Steck
President

858-456-7900



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☒ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other _____

Project Title

Pathria Residence

Project No. For City Use Only

566727

Project Address:

7975 Calle De La Plata, La Jolla, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☒ Yes ☐ No

Name of Individual (type or print):

Anu Pathria

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

7975 Calle De La Plata

City/State/Zip:

La Jolla CA 92037

Phone No:

(858) 205-0488

Fax No:

Signature:

A.P.

Date:

July 28, 2017

Name of Individual (type or print):

Meredith Pathria

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

7975 Calle De La Plata

City/State/Zip:

La Jolla CA 92037

Phone No:

(858) 205-0488

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

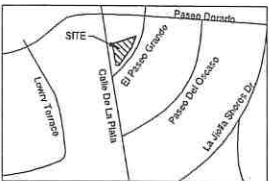
Phone No:

Fax No:

Signature:

Date:

vicinity map:



Architectural Abbreviations:

ADJ.	Adjacent	F.E.	Fire Extinguisher	P.C.F.	Pounds Per Cubic Foot
A.F.F.	Above Finish Floor	F.F.	Finish Floor	PERF.	Perforated
ALUM.	Aluminum	F.R.	Foot	P.L.F.	Pounds Per Linear Foot
ALT.	Alternate	F.O.	Face of	PLY.	Plywood
ARCH.	Architectural	F.O.C.	Face of Concrete	P.S.F.	Pounds Per Square Foot
AVG.	Average	F.O.M.	Face of Masonry	P.S.I.	Pounds Per Square Inch
		F.O.S.	Face of Stud	P.T.	Pressure Treated
BD.	Board	FP.	Fireplace	RAG.	Return Air Grille
BDLG.	Building	FRNG.	Framing	REF.	Reference
BLKG.	Blocking	FTG.	Footing	REFR.	Refrigerator
BM.	Beam			REQD.	Requires
BTWN.	Between	G.	Gas	REV.	Revision
		GA.	Gauge	RM.	Room
CA.TV.	Cable Television	GALV.	Galvanized	R.O.	Rough Opening
CBC	California Building Code	G.C.	General Contractor	SECT.	Section
C.I.P.	Cast-In-Place Concrete	G.F.I.	Ground Fault Interrupter	S.F.	Square Foot
C.J.	Control Joint	GL.	Glass	SHWR.	Shower
C.S.	Celling	HDR.	Header	SHM.	Similar
CLR.	Clear	HGR.	Hanger	SPEC.	Specifications
C.M.U.	Concrete Masonry Unit	HCRZ.	Horizontal	SQ.	Square
COL.	Column	HT.	Height	S.S.	Stainless Steel
CONC.	Concrete	HTG.	Heating	STD.	Standard
CONT.	Continuous	HVAC.	Heating/Ventilating/Air	STL.	Steel
CPT.	Caspet	H.W.	Hot Water	SUSP.	Suspended
C.T.	Ceramic Tile			SYS.	System
CTR.	Center	INCL.	Included/Including	TEL.	Telephone
C.W.	Cold Water	INFO.	Information	T.O.C.	Top Of Concrete
		INSUL.	Insulation	THK.	Thickness
D.F.	Douglas Fir	INT.	Interior	T.O.B.	Top Of Beam
DIA.	Diameter	LAV.	Lavatory	T.O.S.	Top Of Slab
D.L.	Dead Load	LB.	Pound	T.O.W.	Top Of Wall
DN.	Down	L.F.	Linear Foot	TYP.	Typical
DWG.	Drawing	LL.	Live Load	UBC.	Uniform Building Code
EA.	Each	MAX.	Maximum	U.O.N.	Unless Otherwise Noted
E.I.F.S.	Exterior Insulation Finish System	MECH.	Mechanical	V.I.F.	Verify In Field
E.J.	Expansion Joint	MFR.	Manufacturer	VNR.	Vinyl
ELEC.	Electrical	MICRO.	Microwave	V.T.	Vinyl Tile
ELEV.	Elevation	MIN.	Minimum	W.	With
E.O.S.	Edge of Slab	MISC.	Miscellaneous	W.C.	Water Closet
EQ.	Equal	MTL.	Metal	WD.	Washer/Dryer
EQUIP.	Equipment	NA	Not Applicable	W.D.	Without
EXT.	Exterior	NO.	Number	WP.	Waterproof
		N.T.S.	Not To Scale	WT.	Weight
F.C.U.	Fan Coil Unit	O.C.	On Center		
F.D.	Floor Drain				
FDN.	Foundation				

General Notes:

- This project shall comply with the 2016 California Residential Code that adopts the 2015 IRC, 2015 UMC, 2015 UPC and 2014 NEC.
- All dimensions are to face of stud, concrete or masonry, unless otherwise noted on drawings.
- Contractor shall bring to the attention of the architect any conflict, discrepancy or ambiguity in the contract documents and shall not proceed with any of the work effected thereby until clarification is given by the architect.
- Contractor shall comply with all OSHA requirements.
- If historic grid pattern of sidewalks is damaged during construction, the sidewalk shall be replaced in kind.
- Tempered glass shall be permanently identified and visible when the unit is glazed.
- All windows are to have labels attached by N.F.R.C. showing compliance with energy standards.
- All showerheads for all shower fixtures shall be certified as having a maximum flow rate of no more than 2.0 gpm per CGC 4.203.1.
- All lavatory and kitchen faucets shall be fitted with a flow-restricting aerator with a certified, maximum flow rate of no more than 1.5 gpm for lavatory faucets and 1.8 gpm for kitchen faucets per CGC 4.203.1.
- All water closets and associated flushometer valves, if any, shall be certified as using no more than 1.28 gallons per flush and shall meet the performance standards established by the American National Standards Institute Standard A112.19.2.
- Penetrations of fire-resistive walls, floor-ceilings and roof-ceilings shall be protected as required in CBC.
- A minimum of 50% of construction waste and demolition debris is to be recycled and/or salvaged per CGC 4.406.1.
- City will void all designed structural lumber if ripped.
- Only low volume drip or bubbler emitters shall be used to irrigate existing or proposed non-turf, outside landscaping.
- The contractor responsible for the construction of the seismic-force-resisting system shall submit a written Statement of Responsibility to the building official prior to the commencement of work on the system.
- Contractor is to provide an operation and maintenance manual for the owner at the time of final inspection per CGC 4.410.1.
- VOC's must comply with the limitations listed in CGC Section 4.504.3 and Tables 4.504.1, 4.504.2, 4.504.3 and 4.504.5 for: Adhesives, Paints and Coatings, Caspet and Composition Wood Products, CGC Section 4.504.2.
- Prior to final inspection the licensed contractor, architect or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction, CGC 102.3.
- The moisture content of wood shall not exceed 19% before it is enclosed in construction. Buildings materials with visible signs of water damage should not be used in construction. The moisture content shall be verified by the contractor by one of 3 methods specified under CGC 4.505.3.
- An automatic residential fire sprinkler system shall be designed and installed to the satisfaction of the Fire Department for both main house and detached guest house. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
- Contractor shall submit a Construction Waste Management Plan to the jurisdictional agency that regulates waste management, per CGC 4.409.2.
- Concrete slabs will be provided with a capillary break, CGC 4.505.2.1.
- Compliance with the documentation requirements of the 2013 Energy Efficiency Standards is necessary for this project. Registered, signed, and dated copies of the appropriate CF1R, CF2R, and CF3R forms shall be made available at necessary intervals for Building Inspector review. Final completed forms will be available for the building owner.
- During construction, ends of duct openings are to be sealed, and mechanical equipment is to be covered, CGC 4.504.1
- Electrical vehicle supply equipment (EVSE) is required in all new residential construction.

symbols:

	Section:		Door Designation
	Section Identification		Wall Type Designation
	Sheet Designation		Window Designation
	Detail:		Spot Elevation
	Detail Identification		Elevation
	Sheet Designation		
	Elevation Identification		
	Sheet Designation		

Project Directory:

owner:
Anu & Meredith Pathria
7975 Calle De La Plata
La Jolla, California 94037
p 858.205.0488

surveyor:
Coffey Engineering, Inc.
John S. Coffey, PE, PLS
10660 Scripps Ranch Blvd.#102
San Diego, California 92131
858.831.0179

project architect:
christian rice architects, inc.
Christian Rice, AIA
CA Lic. # C-31139
1127 Loma Ave.
Coronado, California 92118
p 619.522.9040
cr@christianrice.com

landscape architect:
Linear Landscape Architecture
Joe Dodd, ASLA
3571 Ingraham ST,
San Diego, CA 92109
888.203.8628

Project Information (PTS#: 566727):

Development Summary:

The scope of work includes the following:

- Demolish existing single family residence with attached garage
- Construction of a new 2-story single family residence with attached garage
- New electric meter upgrade
- New water meter upgrade
- New landscape
- New perimeter fencing and low retaining walls
- Concrete work in right of way for portion of new driveway
- Landscaping in right of way
- New outdoor spa
- New outdoor BBQ

Legal Description: That portion of lots 1&2 in block 6 of map 1913 per R.O.S map 1669
Assessor's Parcel Number: 346-502-02-00
Parcel Zoning: LUSPD-SF
Year Built: 1949
Construction Type: V B - Wood Frame
Occupancy Classification: R3
Automatic Fire Sprinklers: Yes
Stories: Two
Height: 25'-5 1/2" (30' Max. height)
Parking: Required Spaces: 2; Provided Spaces: 2

Lot Area: 7,206 sq. ft.

Lot Coverages: 35.5% (2,560 sq.ft / 7,206 sq.ft); 60% allowed
Landscape Area: 30.8 % (2,221 sq.ft / 7,206 sq.ft); 30% Min.

FAR= N/A (4,546 sq. ft. / 7,206 sq. ft. or 63.1%)

Building Department Information:

Conditioned Area of Existing Home to be Demolished: 1,949 sq. ft.

1st Level		
Living Area	2,072 sq.ft.	
2nd Level		
Living Area	1,986 sq.ft.	
Total Conditioned Area:	4,058 sq.ft.	
Garage	488 sq.ft.	
Front Porch:	371 sq.ft.	
Patio:	583 sq.ft.	
Balcony:	194 sq.ft.	

Drawing Index:

T1	Title Sheet
T2	Material Palette
A1	Plot Plan
A2	Site Sections
A3	First Floor Plan
A4	Second Floor Plan
A5	Roof Plan
A6	Building Elevations
A7	Building Elevations
A8	Building Section
SB.1	Setback Analysis
C.0.1	Topographic Survey
C.0.2	Topographic Survey 300' Boundary
C.1	Grading & Drainage
C.2	Parcel Information
L-1	Conceptual Landscape Plan
L-2	Planting Legend
L-3	Landscape Diagram

Pathria Residence

7975 Calle De La Plata, La Jolla, CA 92037

christian rice architects, inc.

1127 Loma Avenue, Coronado, CA 92118 p 619.522.9040



drawn by:

HA

drawing date:

August 01, 2017

revisions:

revision	date	notes
1	11/02/17	
2	05/24/18	
3	08/20/18	

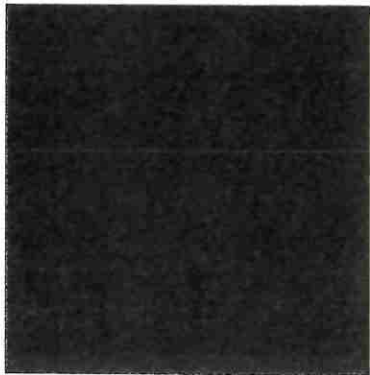
Title Sheet

T1

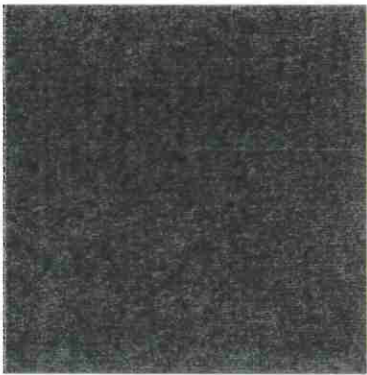
sheet: 1 of 10

sheet title:

drawing number:



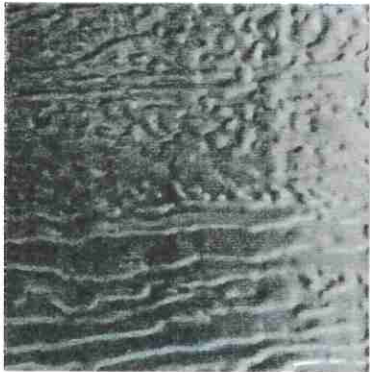
"Bronze"
By: Western
For: Windows and Sliding Glass Doors



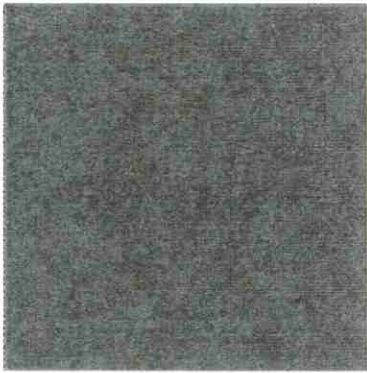
"Urban Bronze" SW 7018
By: Sherwin-Williams
For: Steel post and railing



Wood Stain
For: Eave underside, front door,
and exposed beams



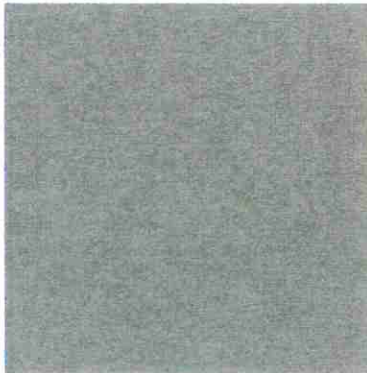
"Mocha Brown"
By: Clopay Door
For: Garage Door



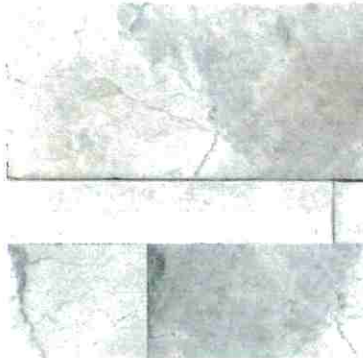
"Porpoise" SW 7047
By: Sherwin-Williams
For: Fascia and metal gutters



"Iceberg" Stucco
By: Omega



"Anonymous" SW 7046
By: Sherwin-Williams
For: Boral Trim



Natural Stone
For: Exterior cladding

Pathria Residence

7975 Calle De La Plata, La Jolla, CA 92037

project:

christian rice architects, inc.

1127 Luma Avenue, Coronado, CA 92118 p 619.522.9040

architect:



drawn by:

HA

drawing date:

August 01, 2017

revisions:

revision	date	notes

Material Palette

sheet title:

T2

sheet: 2 of 10

drawing number:

Patricia Residence
7975 Calle De La Plata, La Jolla, CA 92037

christian rice architects, inc.
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drawn by:
HA

drawing date:
August 01, 2017

revisions:

revision	date	notes

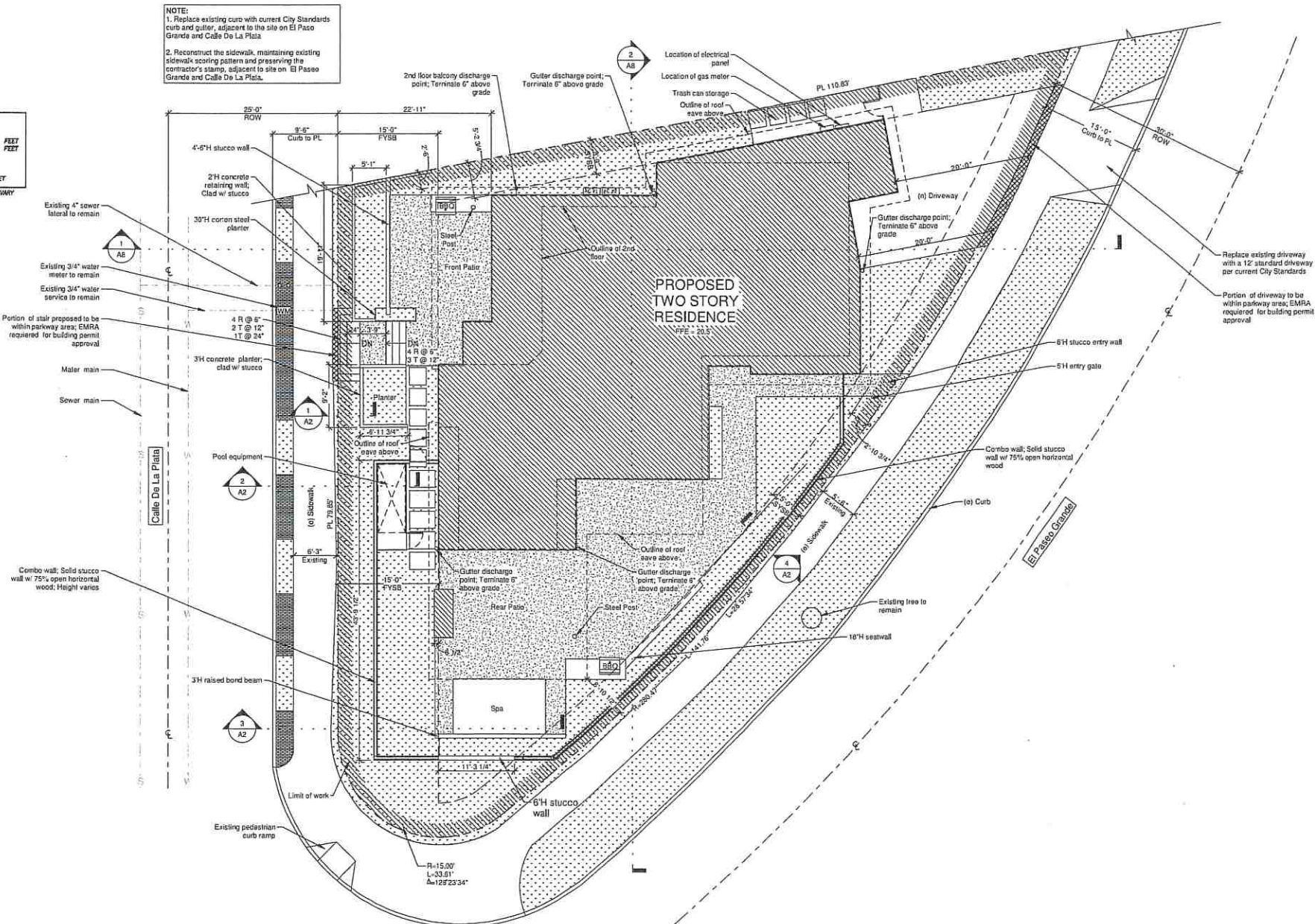
Plot Plan

A1

sheet: 3 of 10

GRADING TABULATIONS**					
TOTAL AMOUNT OF SITE TO BE GRADED: 3,000.56			% OF TOTAL SITE: 14.7%		
AMOUNT OF CUT: -0.0			CUBIC YARDS		
AMOUNT OF FILL: 1.61			CUBIC YARDS		
MAXIMUM HEIGHT OF FILL SLOPE(S): N/A			FEET		
MAXIMUM HEIGHT OF CUT SLOPE(S): 1.0			FEET		
AMOUNT OF IMPORT/EXPORT-SOL: 1.0			CUBIC YARDS		
RETAINING/ CURB WALLS: LENGTH 1.0			FEET		
			MAXIMUM DEPTH OF CUT: -0.0		
			FEET		
			MAXIMUM DEPTH OF FILL: 2.1		
			FEET		
			SLOPE RATIO: N/A		
			SLOPE RATIO: N/A		
			MAXIMUM HEIGHT: 2.0		
			FEET		

**THE GRADING QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMIT PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO COMPACTION, EXPANSION, EXISTING EXCAVATIONS, DEBRIS, VEGETATION, INTERPRETATION OF USE OF MATERIALS, AND OTHER FACTORS. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING THE OPS FOR THE GRADING WORK SHOWN HEREIN.



1 Plot Plan
1/8" = 1'-0"

Lot Coverage

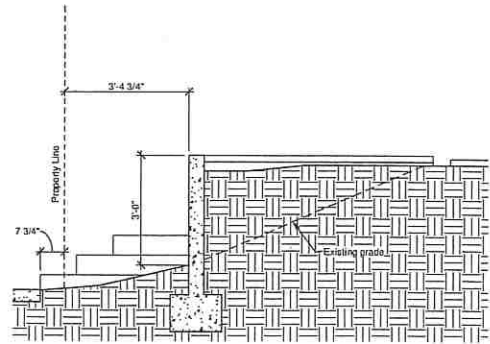
Lot Coverage: 35.5%
(2,580 sq.ft / 7,206); 60% allowed

Legend

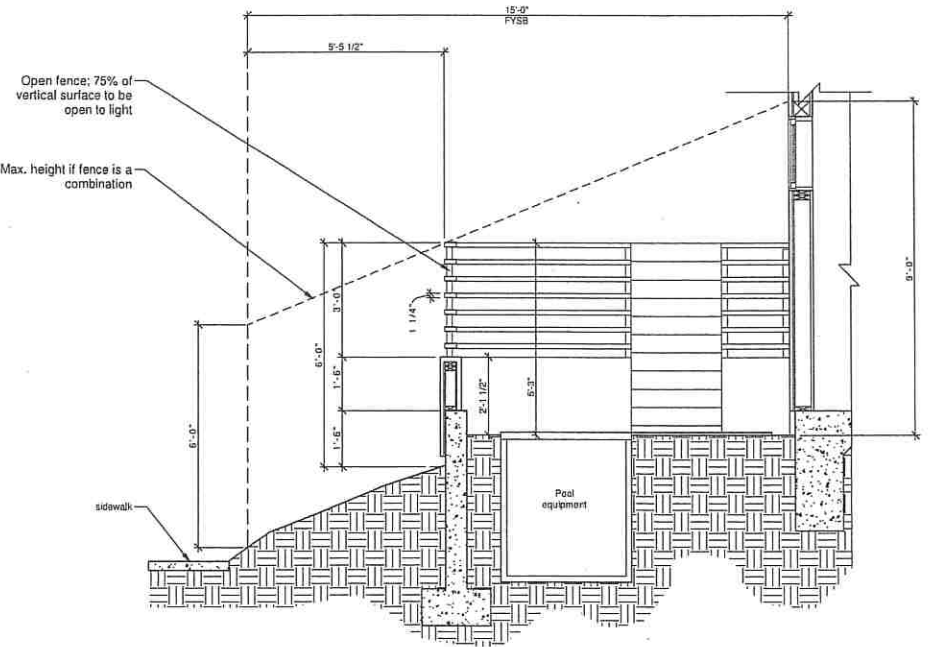
- Concrete
- Landscape (See L-1 for more information)
- Natural Stone Tile (See L-1 for more information)
- Limit of Work

General Plot Plan Notes:

- All surface water is to drain away from buildings at a MIN of 5% slope within the first 10 feet (2% for impervious surfaces). See above notes for drainage patterns. Contractor to approve all drainage schemes prior to completion of the project.
- Landscape irrigation to be installed in all landscaped areas including adjoining public property. Landscape irrigation will have weather or soil based controllers as required by CGC 4.304.1.
- New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast in color to background. Numbers shall be min. 4" high with min. stroke width of 1/2" per CFC 505.1.
- Projects which disturb less than one acre of soil shall manage storm water drainage during construction by one of the following: a) Retention Basins, b) Where storm water is conveyed to a public drainage system, water shall be filtered by use of a barrier system, wattle or other approved method, CGC 4.105.2.
- Site grading or drainage system will manage all surface water flows to keep water from entering buildings (swales, water collection, French drains, etc.). CGC 4.105.3 Exception: Additions not altering the drainage path.
- Automatic irrigation system controllers shall comply with the CGC Section 4.304.2 as follows: A. Controllers shall be weather or soil moisture based that automatically adjust irrigation in response to changes in needs as weather conditions change. B. Weather based controllers shall have separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture based controllers are not required to have rain sensors.
- There are no transit stops adjacent to the property.
- Prior to issuance of any construction permit, the Owner shall incorporate any Construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
- Project is located within ASBS watershed and Owner/Permittee shall comply with all ASBS requirements accordingly.
- This project will require archeological monitoring according to the City of San Diego's Historical Resources Guidelines.

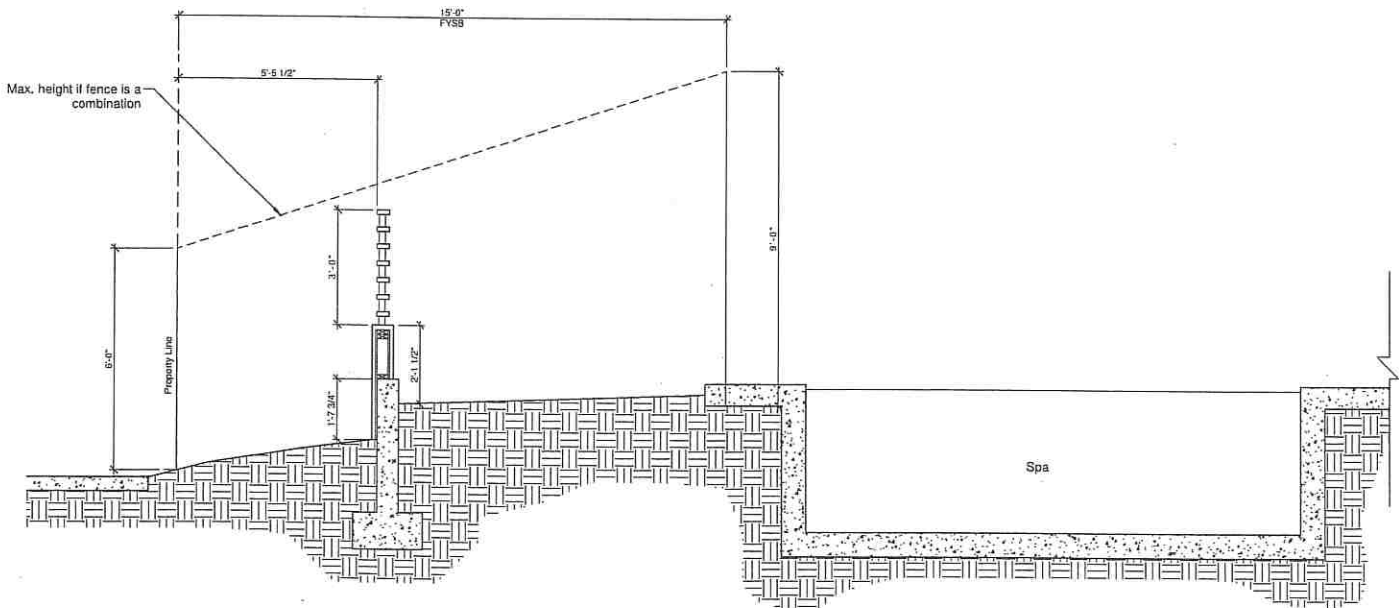


1 Site Section at Planter
1/2" = 1'-0"

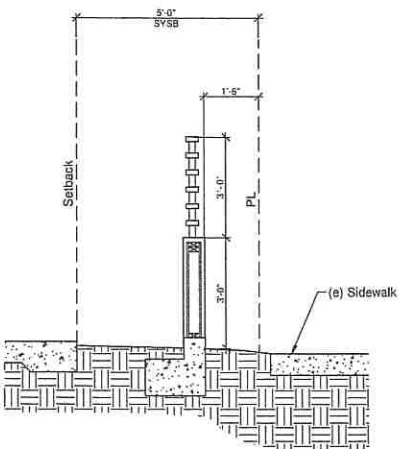


2 Site Section at Pool Equipment
1/2" = 1'-0"

Open Fence Calculation:
Vertical dimension of open fence = 36 inches
36 in. x .75 = 27 in. of required open fence or 9 in. of solid fence max.
9 in. of solid fence max / 7 horizontal wood fence panel = 1.28 inch solid profile



3 Site Section at Front Yard Fence and Spa
1/2" = 1'-0"



4 Fence at El Paseo Grande
1/2" = 1'-0"

Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037

christian rice architects, inc.
1127 Iona Avenue, Coronado, CA 92118 P 619.522.9040



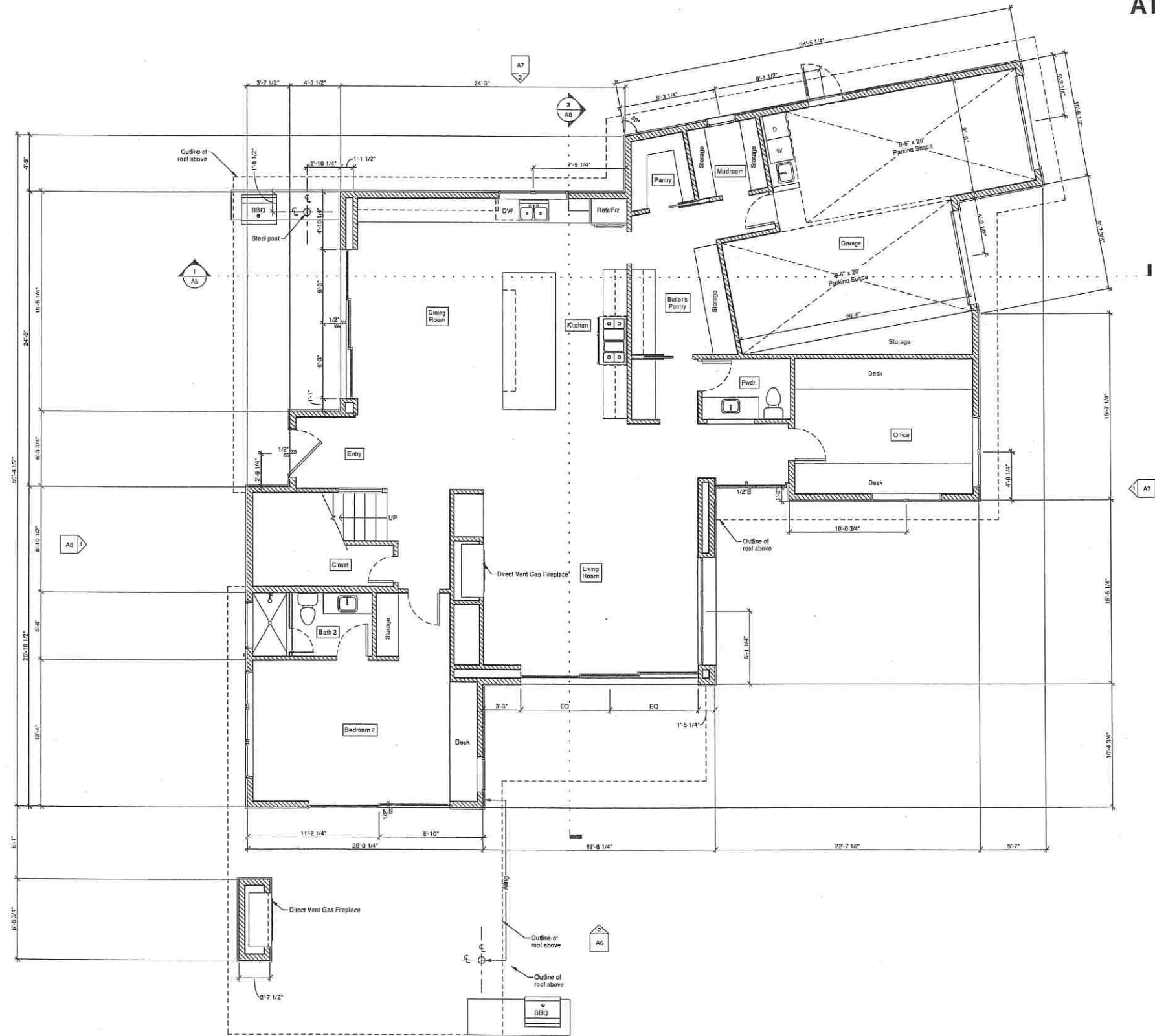
drawn by:
HA
drawing date:
August 01, 2017

revision	date	notes

Site Sections

A2

sheet: 4 of 10



1 First Floor Plan
1/4" = 1'-0"

General Notes

1. All plan dimensions given are to face of stud or masonry, U.N.O.
2. All interior walls are Type "B" U.N.O., refer to structural drawings for framing information.
3. Contractor is to install MDF closet shelves and stainless steel clothing rods in each closet prior to completion of construction, unless directed by owner otherwise.
4. Maintain MIN ceiling height of 8'-0" above stair nosings at all stairways.
5. Balcony and patio slopes as noted on floor plans; Per Structural drawings, slopes to be achieved through either sloping actual framing joists or adding 2x tapered sleepers @ 16" O.C.; Sleepers to be glued/screwed to roof/deck joists as necessary; MIN slope 1/4" per ft, U.N.O.
6. All glass shower enclosures are to be tempered safety glass.

Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037

christian rice architects, inc.
1127 Ioma Avenue, Coronado, CA 92118 p 619.522.9040



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HA

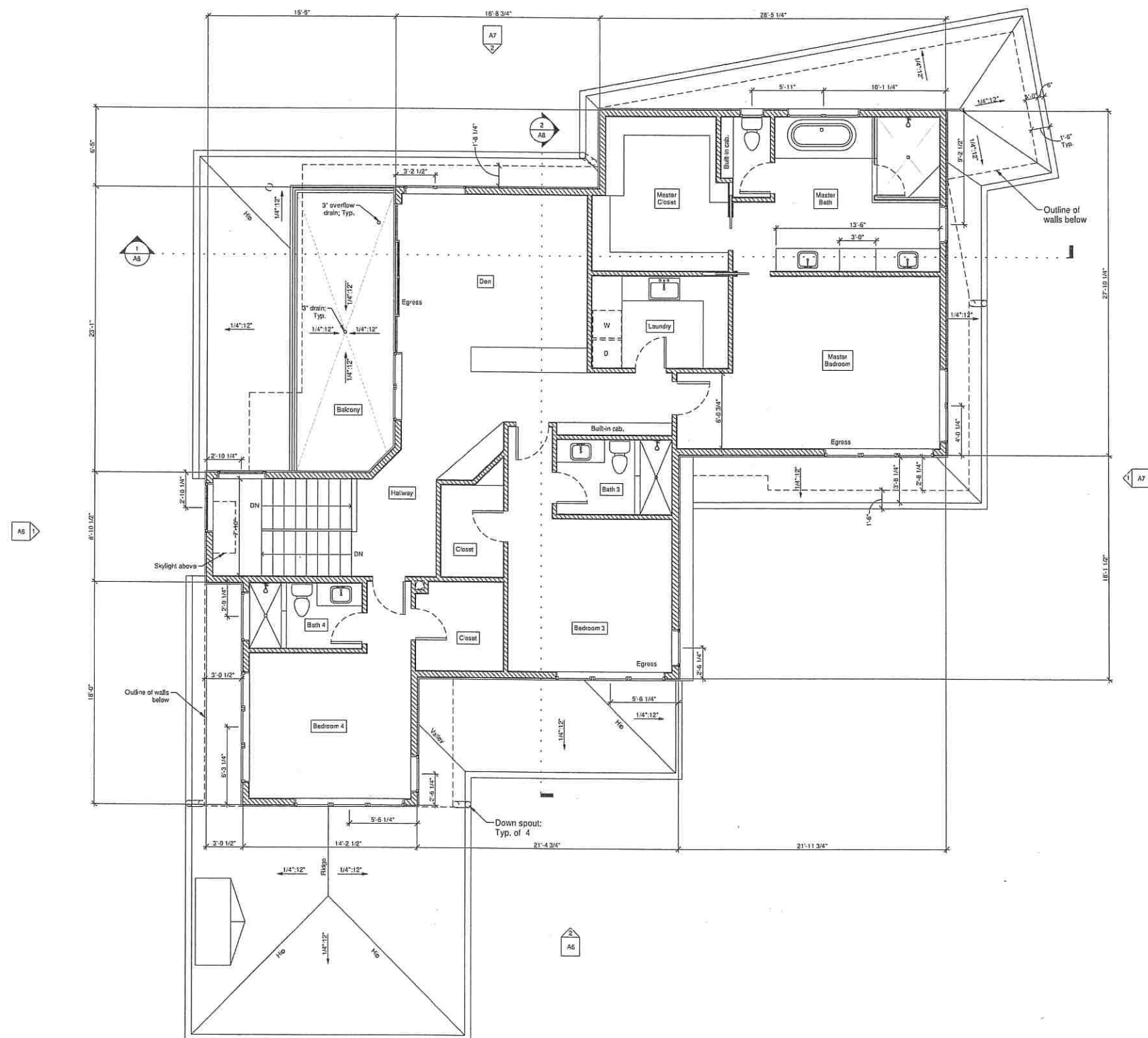
drawing date:
August 01, 2017

revision	date	notes

First Floor Plan

A3

sheet: 5 of 10



1 Second Floor Plan
1/4" = 1'-0"

General Notes

1. All plan dimensions given are to face of stud or masonry, U.N.O.
2. All interior walls are Type "B" U.N.O., refer to structural drawings for framing information.
3. Contractor to install MDF cladding on all exterior walls and ceilinging in each closet prior to completion of construction; unless directed by owner otherwise
4. Maintain MN ceiling height of 8'-0" above floor stair nosings at all stairways
5. Balcony and patio slopes as noted on above plans: Per Structural drawings, slopes to be achieved through either sloping actual framing joists or adding 2x tapered steelers @ 1/8" O.C.; Stealers to be glued/injected to redneck joists as necessary. MN slope 1/4" per 1' ft., U.N.O.
6. All glass shower enclosures are to be tempered safety glass

Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037

christian rice architects, inc.
1127 loma avenue, coronado, ca 92118 p 619.522.9040



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August 01, 2017

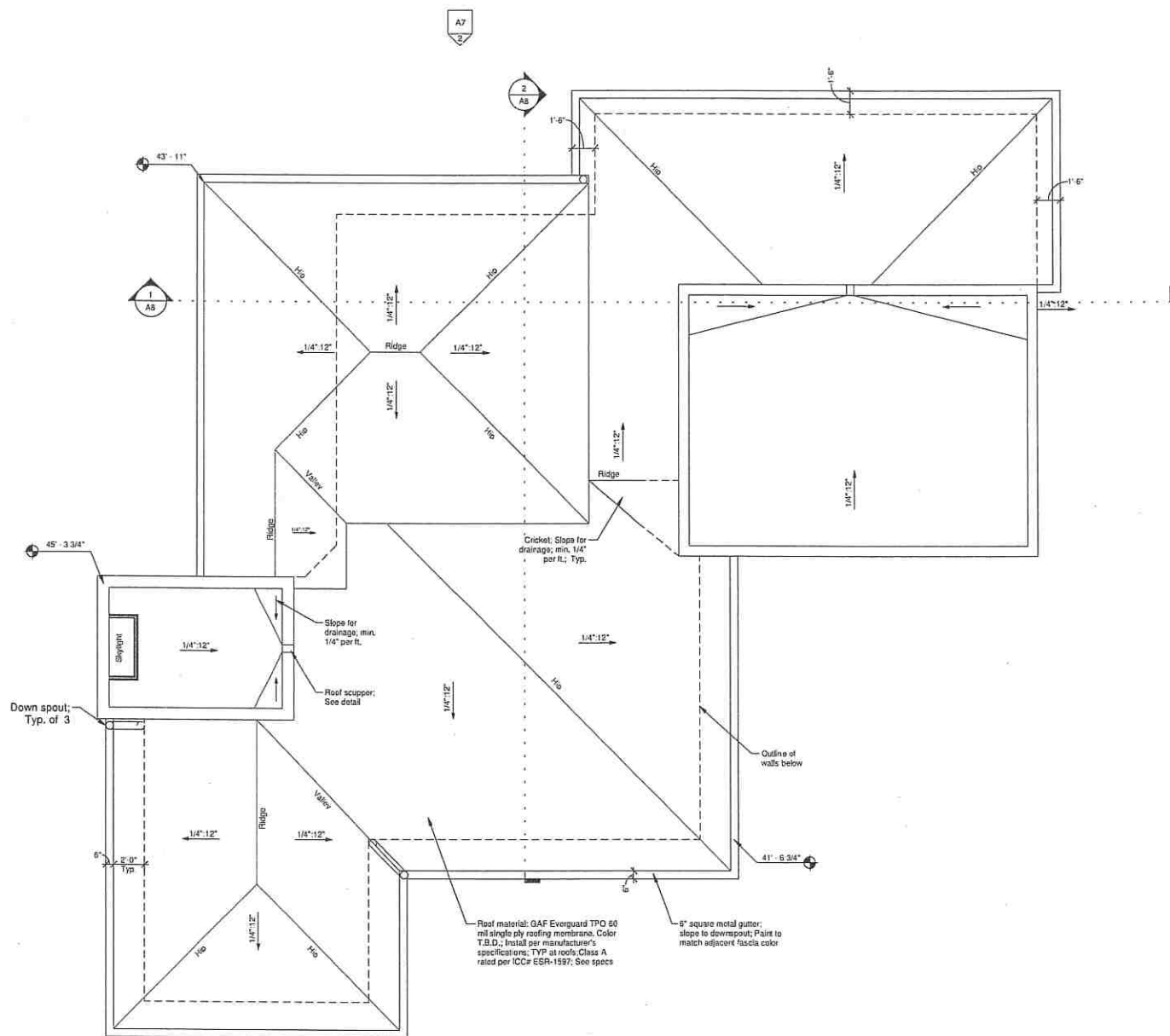
revisions:

revision	date	notes

Second Floor Plan

A4

about 6 of



1 Roof Plan
1/4" = 1'-0"

General Notes

1. All plan dimensions given are to face of stud or masonry, U.N.D.
2. Roof ventilation openings shall be covered with corrosion resistant metal mesh with 1/8" min. to 1/4" max. openings.

Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037

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August 01, 2017

revisions:		
revision	date	notes

Roof Plan

A5

sheet: 7 of 18

drawing number

sheet title

architect

project



Material Legend

Note: See T2 for material palette

Material	Color
Stucco Clad Wall	"Gravity" by Omega
Stone Clad Wall	Natural Stone
Metal Panels	Match window/doors
Aluminum Windows and Doors	Bronze
Steel Post	"Urbane Bronze" by SW
Wood Beams at Roof Overhang	Doug. Fir, Stained
Metal Gutters	"Porpoise" by SW
Roof Fascia	Boral trim, Paint to match gutters
Metal Railing	"Urbane Bronze" by SW

Legend

	Stucco
	Stone
	Metal Gutters
	Boral Trim
	Metal Panels
	Wood
	Doors and Windows
	Steel Post

General Elevation Notes

1. At front covered patios, provide MIN 2% positive drainage away from all portions of the structure.
2. See plot plan and Landscape plan for information pertaining to wood gutters and fences.
3. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast in color to background. Numbers shall be a min. of 4" high with a min. stroke width of 1/2" per CFC Section 505.1.



Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037

christian rice architects, inc.
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drawing date:
August 01, 2017

revision	date	notes

Building Elevations

A6

sheet 8 of 10



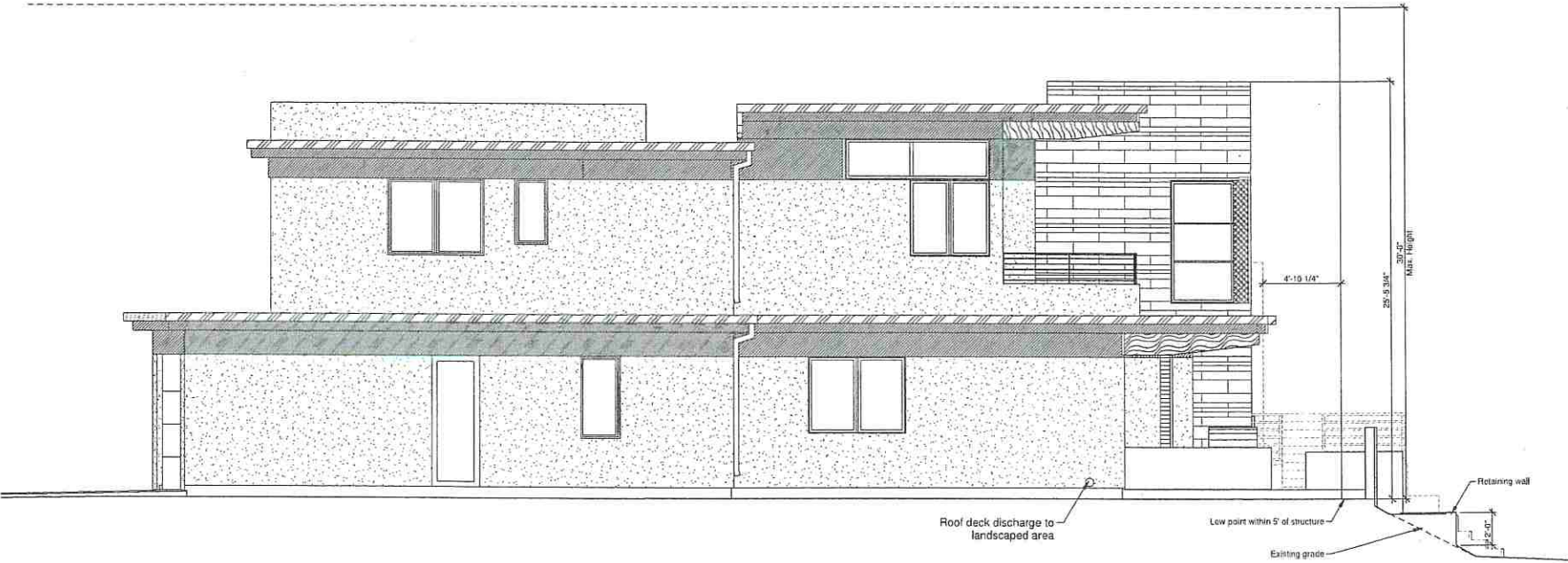
1 East Elevation (Rear)
1/4" = 1'-0"

Legend

- Stucco
- Stone
- Metal Gutters
- Board Trim
- Metal Panels
- Wood
- Doors and Windows
- Steel Post

General Elevation Notes

1. At front covered patios, provide MIN 2% positive drainage away from all portions of the structure.
2. See plot plan and Landscape plan for information pertaining to wood gates and fences.
3. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast in color to background. Numbers shall be a min. of 4" high with a min. stroke width of 1/8" per CFC Section 505.1.



2 North Elevation (Side)
1/4" = 1'-0"

Pathria Residence
7975 Calle De La Plata, La Jolla, CA 92037

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1127 Ioma Avenue, Coronado, CA 92118 p 619.522.9040



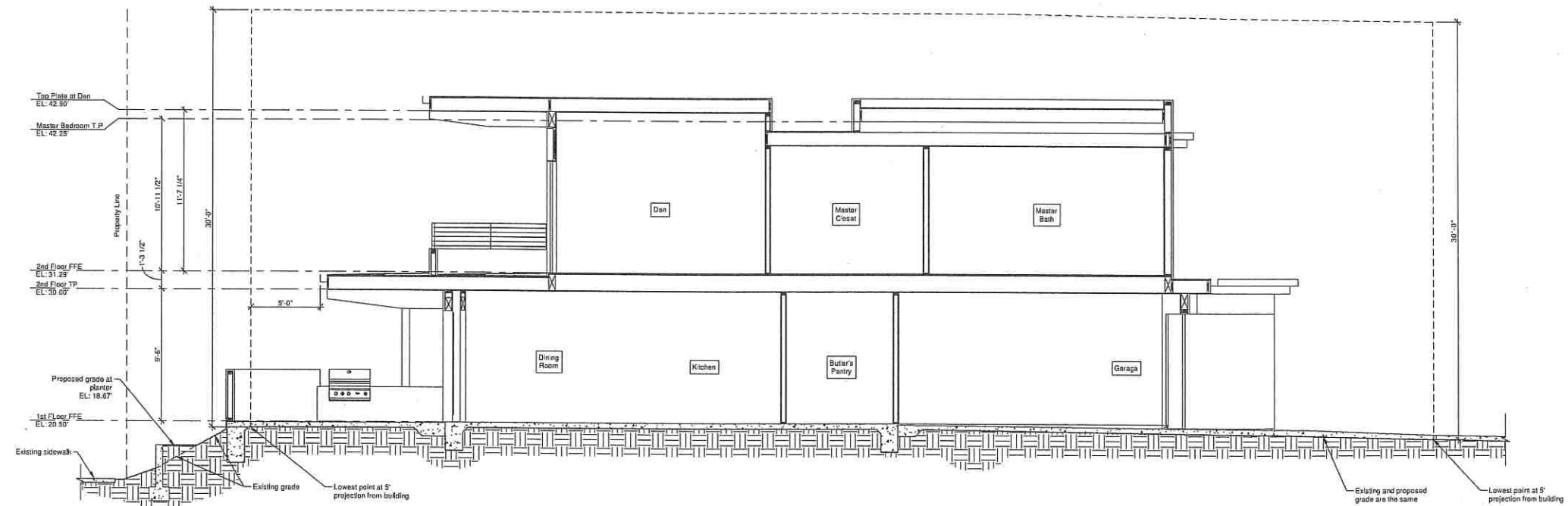
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HA
drawing date:
August 01, 2017

revision	date	notes

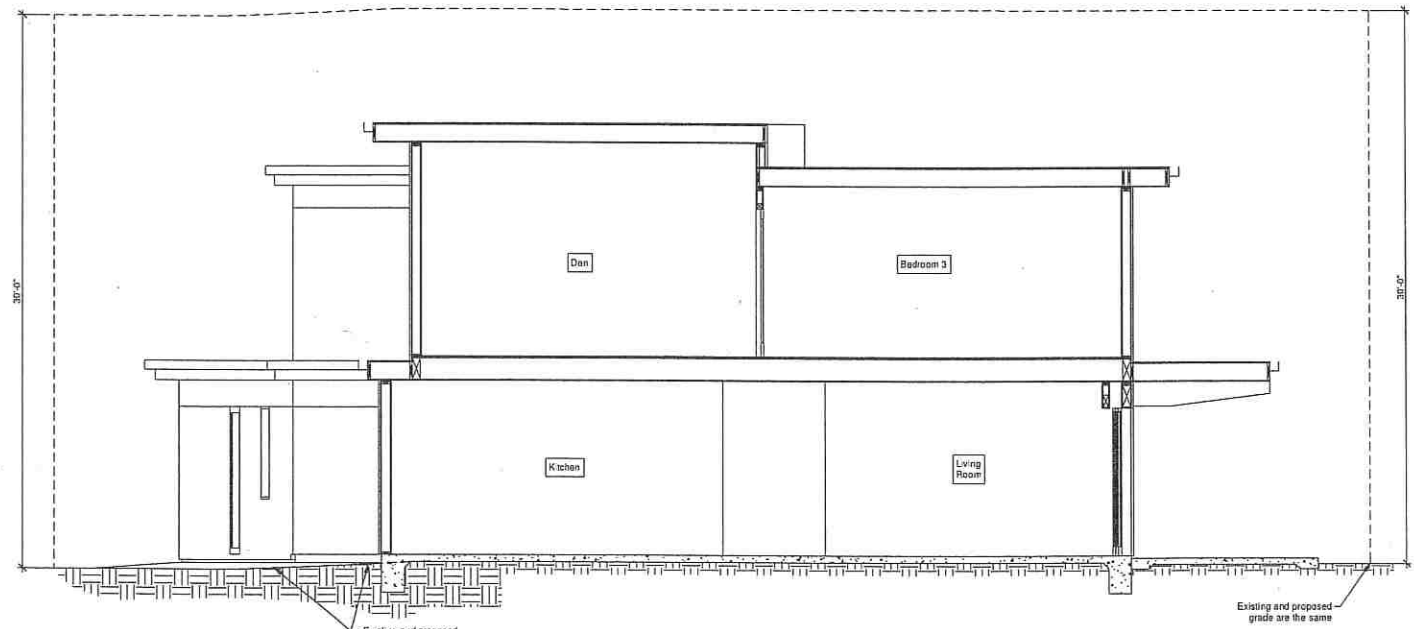
Building Elevations

A7

sheet 9 of 10



1 Building Section
1/4" = 1'-0"



2 Building Section
1/4" = 1'-0"

Pathria Residence
7975 Calle De La Playa, La Jolla, CA 92037

christian rice architects, inc.
1127 loma avenue, coronado, ca 92118 p 619.522.9040



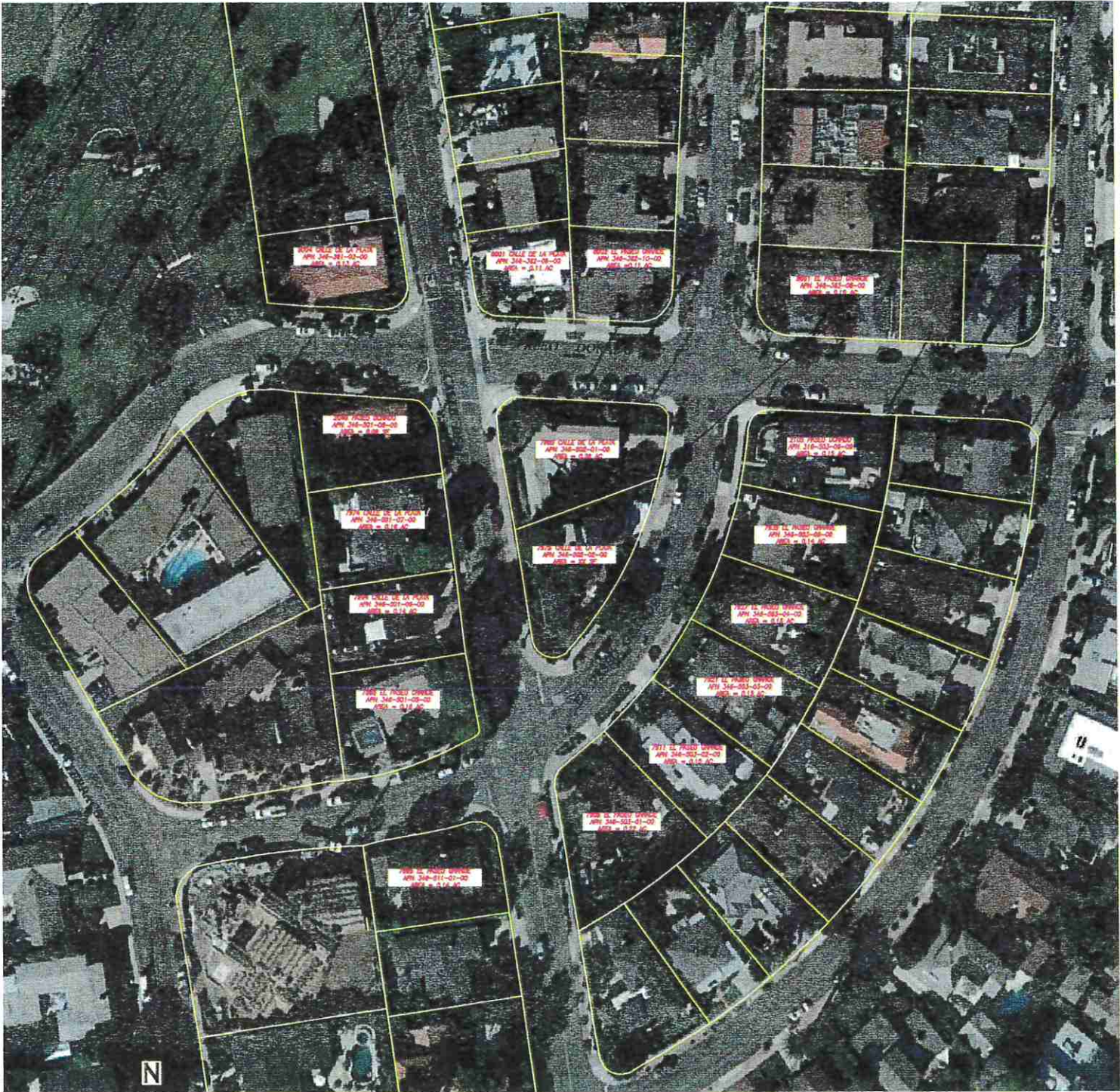
drawn by:
HA
drawing date:
August 01, 2017

revisions:		
revision	date	notes

Building Section

A8

sheet: 10 of 10



SCALE: 1"=40'

LEGEND

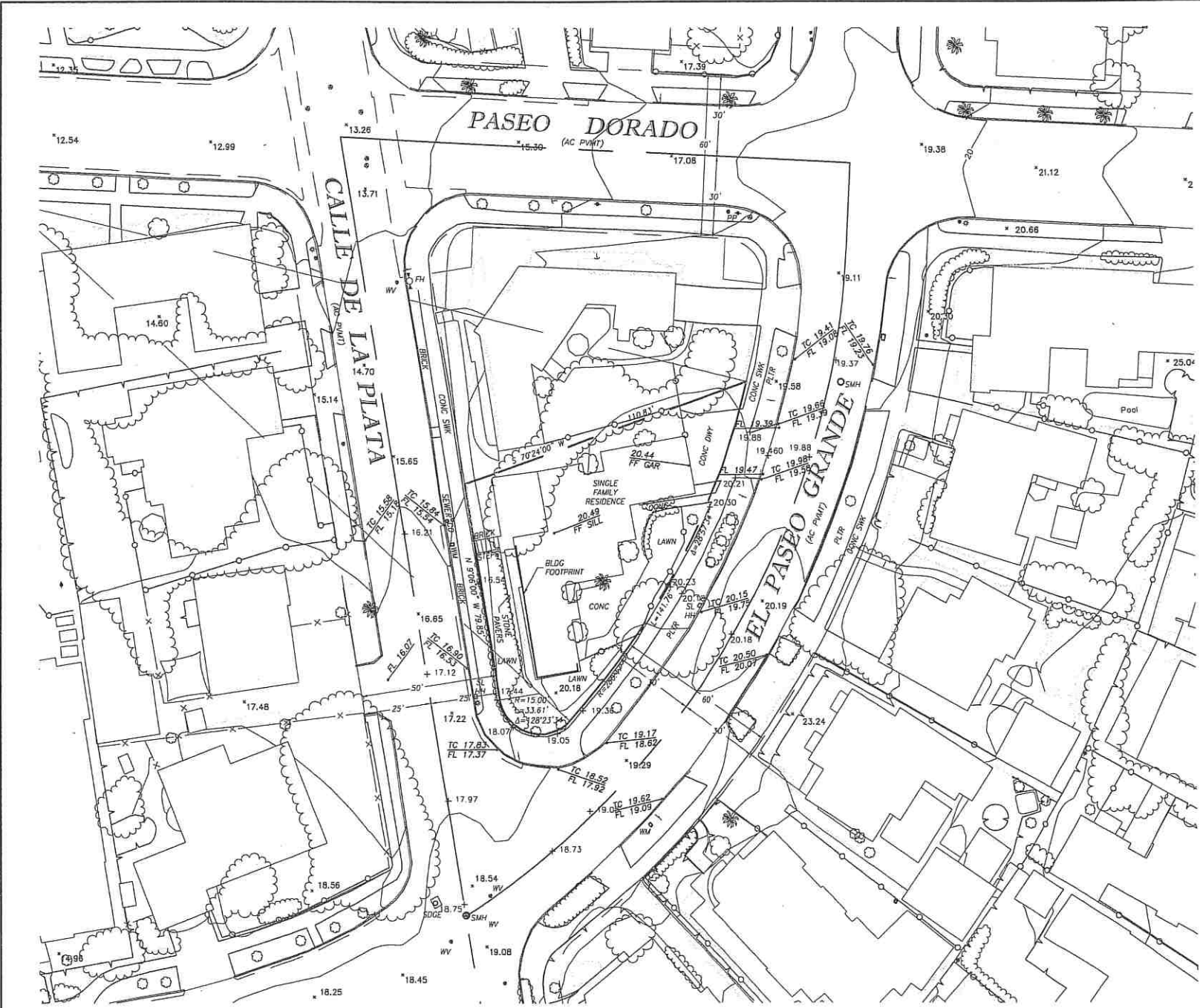
DESCRIPTION	STD. DWG.	SYMBOL
PROPERTY LINE		N45°45'45"W

Sideyard Setbacks Per Lot			
Site Address	Assessor's Parcel No.	Sideyard 1	Sideyard 2
7865 El Paseo Grande	346-511-01-00	25' (East)	9' (West)
7905 El Paseo Grande	346-503-01-00	2' (East)	23.5' (West)
7911 El Paseo Grande	346-503-02-00	1' (East)	9' (West)
7921 El Paseo Grande	346-503-03-00	1' (East)	1' (South)
7927 El Paseo Grande	346-503-04-00	3' (East)	1' (North)
7935 El Paseo Grande	346-503-05-00	2' (North)	3' (South)
2105 Paseo Dorado	346-503-06-00	1.5' (East)	35.5' (West)
7868 El Paseo Grande	346-501-05-00	12.5' (West)	31' (East)
7964 Calle de la Plata	346-501-06-00	0.5' (South)	3.5' (North)
7974 Calle de la Plata	346-501-07-00	6.5' (South)	7' (North)
2049 Paseo Dorado	346-501-08-00	6' (South)	19' (North)
8001 Calle de la Plata	346-362-09-00	6' (North)	18.5' (South)
8002 Calle de la Plata	346-362-10-00	21.75' (South)	0' (North)
8004 Calle de la Plata	346-361-03-00	0'	25' (East)
8001 El Paseo Grande	346-363-08-00	4.5' (North)	14.25' (South)

COFFEY ENGINEERING, INC.

PATHRIA RESIDENCE
7975 Calle de la Plata
La Jolla, CA 92037

DRAWN BY: AP
CHECKED BY: DV
ORIGINAL 2/8/18
REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5
SETBACK ANALYSIS
SCALE: 1" = 40'
SB.1
SHT 1 OF 1 SHTS



LEGEND

DESCRIPTION	STD. DWG.	SYMBOL
PROPERTY LINE		N45°45'45"W
STREET CENTERLINE		
PROPERTY LINE - OFFSITE		
SPOT ELEVATION		100.00
EDGE OF PAVING		
P.C.C. CURB		
P.C.C. CURB & GUTTER		
RETAINING WALL		
CONTOUR		
FENCE		
BRUSHLINE / TREE CANOPY		
POWER POLE		
WATER VALVE		
STREET SIGN		
LIGHT		
BUILDING - FOOTPRINT		
W/ ROOF LINE		
TREE: PALM		
SEWER MANHOLE		
STREET LIGHT HANDHOLE		
WATER METER		
POLE OR POST		

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	PP	POWER POLE
A.C.	ASBESTOS CEMENT	PVMT	PAVEMENT
C	CENTER LINE	SMH	SEWER MANHOLE
C. CONC	CONCRETE	SWK	SIDEWALK
CO	CLEANOUT	TC	TOP OF CURB
FF	FINISH FLOOR	TO	TOP OF GRADE
FL	FLOW LINE	VC	WITHPIED CLAY
OV	GROUND NOT VISIBLE	WM	WATER METER
PLTR	PLANTER	WV	WATER VALVE

LEGAL DESCRIPTION

SOUTHERLY PARCEL IN BLOCK 6 OF MAP 1913 PER R.O.S. MAP 1669.
APN: 345-502-02-00

BENCHMARK

SEBP AT INTERSECTION OF CALLE DE LA PLATA AND EL PASO GRANDE PER CITY SAN DIEGO VERT BENCH BOOK.
EL = 18.905, NGVD 29

EASEMENTS

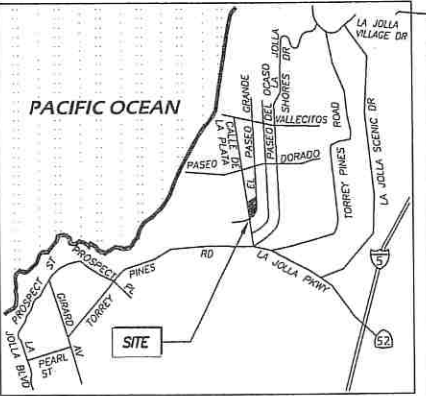
THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, OTHER EASEMENTS MAY BE PRESENT ON THE SUBJECT PROPERTY.

NOTES

- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

SHEET INDEX

C.0.1	TOPOGRAPHIC SURVEY
C.0.2	TOPOGRAPHIC SURVEY 300' BOUNDARY



VICINITY MAP
THOMAS BROS. MAP 1227-H6
NO SCALE

COFFEY ENGINEERING, INC.



10665 SCRIPPS BANCH BLVD, SUITE 102, SAN DIEGO, CA 92131 PH (619) 581-0111 FAX (619) 581-0179



WOODSTOCK RESIDENCE

7975 Calle de La Plata
La Jolla, CA 92037

TOPOGRAPHIC SURVEY

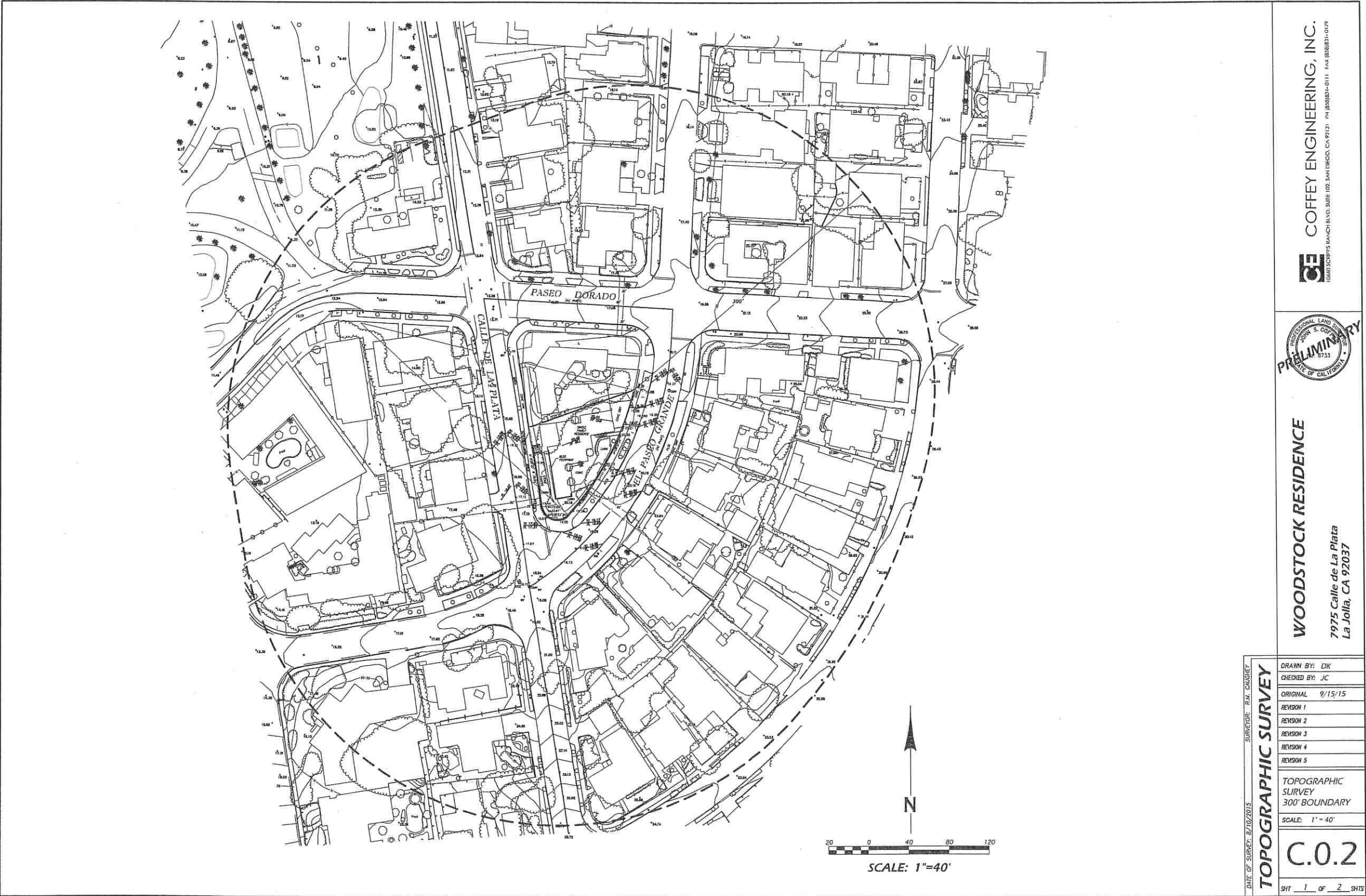
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REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

TOPOGRAPHIC SURVEY

SCALE: 1"=20'

C.0.1

SHT 1 OF 2 SHTS





LEGEND		
DESCRIPTION	REFERENCE	SYMBOL
PROPERTY LINE		N45°45'45"W
ROW CENTERLINE		
BUILDING FOOTPRINT		
LANDSCAPE RETAINING WALL		
EXISTING CONTOUR		90
PROPOSED CONTOUR		90
EXISTING SPOT ELEVATION		100.00
PROPOSED SPOT ELEVATION		100.00
6" LANDSCAPE/HARDSCAPE DRAIN	NDS OR SIM.	X100.00
CATCH BASIN	BROOKS OR SIM.	
DIRECTION OF FLOW		
6" PVC DRAIN LINE (1% MIN.)	SDR-35 (U.N.O.)	
CONCRETE PAVING		

UTILITY NOTE

1. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

- DRAINAGE NOTES**
- ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
 - ALL CATCH BASIN LEADS TO BE 4" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
 - HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
 - SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MINIMUM AWAY FROM STRUCTURE.
 - SOIL COVER ABOVE DRAIN LINES SHALL BE 12" MINIMUM UNLESS OTHERWISE NOTED.
 - NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SWAMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.

GRADING TABULATIONS**			
TOTAL AMOUNT OF SITE TO BE GRADED:	2,500 SF	% OF TOTAL SITE:	14.1%
AMOUNT OF CUT:	150 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	2.1 FEET
AMOUNT OF FILL:	150 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	2.1 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	3/4 FEET	SLOPE RATIO:	3/4
MAXIMUM HEIGHT OF CUT SLOPE(S):	3/4 FEET	SLOPE RATIO:	3/4
AMOUNT OF IMPORT/EXPORT SOIL:	150 CUBIC YARDS	MAXIMUM HEIGHT:	2.0 FEET
RETAINING/ CRIB WALLS:	LENGTH 155 FEET		

**THE GRADING QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMIT PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO COMPACTION, EXPANSION, FOOTING EXCAVATIONS, BEDS, VEGETATION, INTERPRETATION OF USE OF MATERIALS, AND OTHER FACTORS. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING TAKE-OFFS FOR THE GRADING WORK SHOWN HEREON.

COFFEY ENGINEERING, INC.
2000 LINDSEY AVENUE SUITE 210 SAN DIEGO, CA 92121 PH (619) 591-8111 FAX (619) 591-8117



PATHRIA RESIDENCE
7975 Calle de la Plata
La Jolla, CA 92037

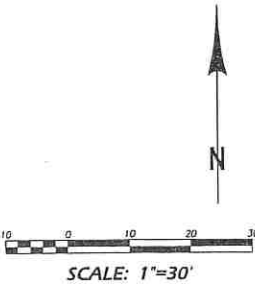
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REVISION 2	8/2/18
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REVISION 4	
REVISION 5	

GRADING & DRAINAGE PLAN

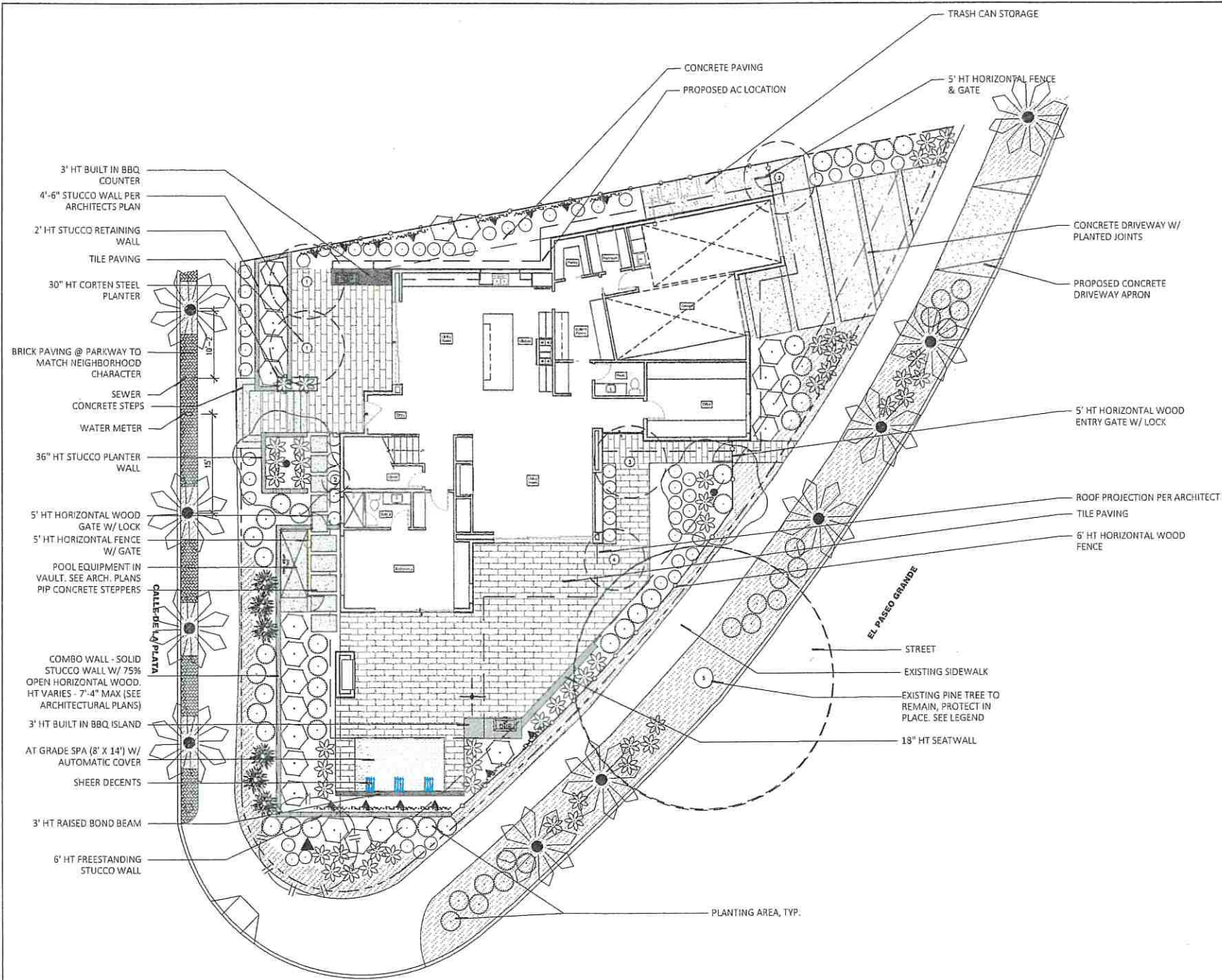
SCALE: 1"=30'

C.1

SHEET 1 OF 1 SHEETS







DESIGN INTENT:

THE INTENT OF THE LANDSCAPE DESIGN IS TO PROVIDE A CONTEMPORARY LOOK THAT COMPLIMENTS THE DESIGN OF THE ARCHITECTURE WHILE AT THE SAME TIME CREATING CURB APPEAL AND USING PLANT MATERIAL AND BUILDING MATERIALS THAT COMPLIMENTS THE AESTHETIC OF THE NEIGHBORHOOD. THE PLANTING DESIGN CONSISTS OF DROUGHT TOLERANT PLANT MATERIAL WHICH UTILIZE LOW FLOW IRRIGATION. STREET TREES SHOWN ON THE DESIGN ARE COMPATIBLE WITH THE LA JOLLA COMMUNITY PLAN.

IRRIGATION DESIGN:

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

MAINTENANCE:

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE HOMEOWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

LOW IMPACT DEVELOPMENT BMP:

THIS DESIGN UTILIZES PRECAST AND POURED IN PLACE CONCRETE WITH POROUS JOINTS. ROOF DRAINS WILL DISCHARGE BY UNDERGROUND PIPE AT THE STREET.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

NO TREES OR SHRUBS EXCEEDING THREE (3) FEET IN HEIGHT AT MATURITY SHALL EXIST WITHIN FIVE (5) FEET OF ANY PUBLIC WATER FACILITIES, OR WITHIN TEN (10) FEET OF ANY PUBLIC SEWER FACILITIES.

PLANT CALCULATIONS

DESCRIPTION	REQUIRED	PROVIDED
(PALMS)	1 PER 20'	10 TREES
(CANDORY)	1 PER 30'	1 TREES
TOTAL STREET FRONTAGE	259 LINEAR FEET	11 TOTAL

NOTE: ALL LANDSCAPING WILL BE NEW AND SHALL COMPLY WITH THE LANDSCAPE DEVELOPMENT REQUIREMENTS PER THE CITY OF SAN DIEGO. EXISTING TREES WITHIN PARKWAY WILL BE PROTECTED IN PLACE.

NOTE: A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5)

SITE PLAN

SCALE: 1/8" = 1'-0"

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENIRCLE THE ROOT BALL.



PAHRIA RESIDENCE
7975 CALLE DE LA PLATA
LA JOLLA, CA

CONCEPTUAL PLAN

PREPARED

ANU & MEREDITH
PAHRIA
7975 CALLE DE LA PLATA
LA JOLLA, CA

PREPARED

LINEAR LANDSCAPE
ARCHITECTURE

JOE DODD, ASLA
3571 INGRAHAM ST.
SAN DIEGO, CA 92109

P | 888.203.6628

JULY 28 2018

L-1

SHT
OF 3



PAHTRIA RESIDENCE

7975 CALLE DE LA PLATA
LA JOLLA, CA

PLANTING LEGEND

PREPARED

ANU & MEREDITH
PATHRIA
7975 CALLE DE LA PLATA
LA JOLLA, CA

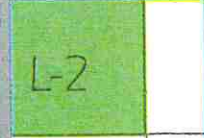
PREPARED

LINEAR LANDSCAPE
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JOE DODO, ASLA
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SAN DIEGO, CA 92109

P | 888.203.6628

JULY 28 2018



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02 OF 3

CONCEPT PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	MATURE		SIZE
					SPREAD X	HEIGHT	
2	SMALL ACCENT TREES						
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	WEeping	EVERGREEN ACCENT	20' X 30'		24" BOX/100%
	OLEA EUROPAEA 'FRUITLESS'	FRUITLESS OLIVE	MULTI-TRUNK	EVERGREEN ACCENT	25' X 25'		
	PARINSONIA X 'DESERT MUSEUM'	PAUD VERDE	BROADVASE	EVERGREEN ACCENT	25' X 25'		
6	STREET TREE (PALM)						
	ARCHONTOPHOEUX ALEXANDRAE	ALEXANDRA PALM	STANDARD	EVERGREEN PALM	10' X 40'		24" BOX/100% (10' BTH MIN)
	SYAGRUS ROMANZOFFIANA	QUEEN PALM	STANDARD	EVERGREEN PALM	10' X 50'		
1	STREET TREE (CANOPY)						
	CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	STANDARD	BROAD CANOPY	25' X 25'		24" BOX/100%
	MITROSIDEROS EXCELSUS	NEW ZEALAND CHRISTMAS TREE	STANDARD	BROAD CANOPY	15' X 30'		
22	FOUNDATION SCREENING SHRUBS						
	OLEA EUROPAEA 'LITTLE OLIE'	DWARF OLIVE SHRUB	ROUNDED	EVERGREEN FOUNDATION	5' X 5'		5 GAU/100%
	LIQUSTRUM TEXANUM	TEXAS PRIVET	UPRIGHT	EVERGREEN FOUNDATION	6' X 9'		
	PITTOSPORUM TENUIFOLIUM 'SILVER SHED'	PITTOSPORUM	UPRIGHT	EVERGREEN FOUNDATION	5' X 12'		
	PODOCARPUS NAGOPHYLLUS MAKI	SHRUBBY YEW	UPRIGHT	EVERGREEN FOUNDATION	4' X 12'		
56	MEDIUM SHRUBS						
	POLYGALA PROTECTORA 'PETITE BUTTERFLY'	SWEET PEA SHRUB	ROUNDED	EVERGREEN MASSING	3' X 3'		5 GAU/100%
	SALVIA GREGGII 'RED'	AUTUMN SAGE	ROUNDED	EVERGREEN MASSING	3' X 4'		
	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN SAGE BUSH	ROUNDED	EVERGREEN MASSING	3' X 4'		
	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	ROUNDED	EVERGREEN MASSING	6' X 4'		
6	ORNAMENTAL GRASSES						
	CHENOPODIACEAE TECTORIUM 'EL CAMPO'	CAPE BUSH	CAPE BUSH	MASSING	4' X 3'		5 GAU/100%
	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	FULL	MASSING	3' X 3'		
	LEWISIA CONDENSATUS 'CANYON PRINCE'	NATIVE BLUE RYE	SWORD SHAPED	MASSING	3' X 4'		
	LOMANDRA LONGIFOLIA 'BREEZE'	DWART MAT RUSH	WEeping	MASSING	3' X 3'		
42	ACCENT SHRUBS						
	ANTIGONANTHOS FLAVIDUS 'BUSH RANGER'	KANGAROO PAW	VASE SHAPED	ACCENT/COLOR	2' X 2'		5 GAU/100%
	CORDON ROSE 'FESTIVAL GRASS'	DRY-CANON	WEeping	ACCENT/COLOR	2' X 2'		
	AGAVE ATTENUATA	FOXTAIL AGAVE	RADIAL	ACCENT/COLOR	4' X 3'		
	PHORUM X 'YELLOW WAVE'	NEW ZEALAND FLAX	SWORD SHAPED	ACCENT/COLOR	3' X 3'		
62	SMALL SHRUBS						
	ASPARGUS MEYER	FOXTAIL FERN	SWORD SHAPED	ACCENT/COLOR	2' X 2'		5 GAU/50%
	CALLISTEMON VIMINATUS 'LITTLE JOHN'	DWART BOTTLEBRUSH	MAUNDING	ACCENT/COLOR	4' X 4'		1 GAU/50%
	CHANELLA TASHMANICA	FLAX LILY	SWORD SHAPED	ACCENT/COLOR	2' X 2'		
	KNIPHOFIA LIVARIA 'ORANGE'	ORANGE HOT POKER	VASE SHAPED	ACCENT/COLOR	2' X 2'		
14	VINE						
	BOUGAINVILLEA X 'LA JOLLA'	LA JOLLA BOUGAINVILLEA	TRELLISING VINE	ACCENT/COLOR	VARIES		5 GAU/100%
	HARDYBERBERIS VIOLACEA	PURPLE LILAC VINE	TRELLISING VINE	ACCENT/COLOR	VARIES		5 GAU/100%
	LOW GROWING GROUND COVER						
	CAREX TUMUGOLA	BERKELEY SEDGE	CLUMPING	GROUND COVER	18" X 18"		1 GAU/60% FLATS/40%
	DYMONDIA MARGARETAE	DYMONDIA	CLUMPING	GROUND COVER	8" X 12"		
	SPREADING GROUND COVER						
	LANTANA MONTEVIDENSIS 'WHITE LIGHTNING'	TRAILING LANTANA	SPREADING	GROUND COVER	4' X 2'		FLATS/100%
	TRACHELOSPERMUM JASMINOIDES 'STAR'	STAR JASMINE	SPREADING	GROUND COVER	6' X 2'		

EXISTING PLANT LEGEND

BOTANICAL NAME	COMMON NAME	CAULUS	REMARKS
MAGNOLIA SPP.	MAGNOLIA	30'	TO BE REMOVED
PODOCARPUS FOLIOLIS	SHRUBBY YEW	12'	TO BE REMOVED
LAGOSYDNEUM SPP.	CAPE MYRTLE	12'	TO BE REMOVED
WASHINGTONIA ROBUSTA	MEXICAN PALM	40'	TO BE REMOVED
PHILO PALMENSIS	ALFALFA PALM	115'	TO REMAIN

NOTE: ALL EXISTING SHRUBS, TREES, AND GROUNDCOVERS TO BE REMOVED UNLESS OTHERWISE NOTED

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL,
HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT,
OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP
ROOT BARRIER. NO ROOT BARRIER SHALL ENVELOPE THE
ROOT BALL.

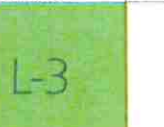
LINEAR LANDSCAPE ARCHITECTURE
IRRIGATION DESIGN & CONSULTING
3571 INGRAHAM STREET
SAN DIEGO, CA 92109
WWW.LINEARLANDARCH.COM



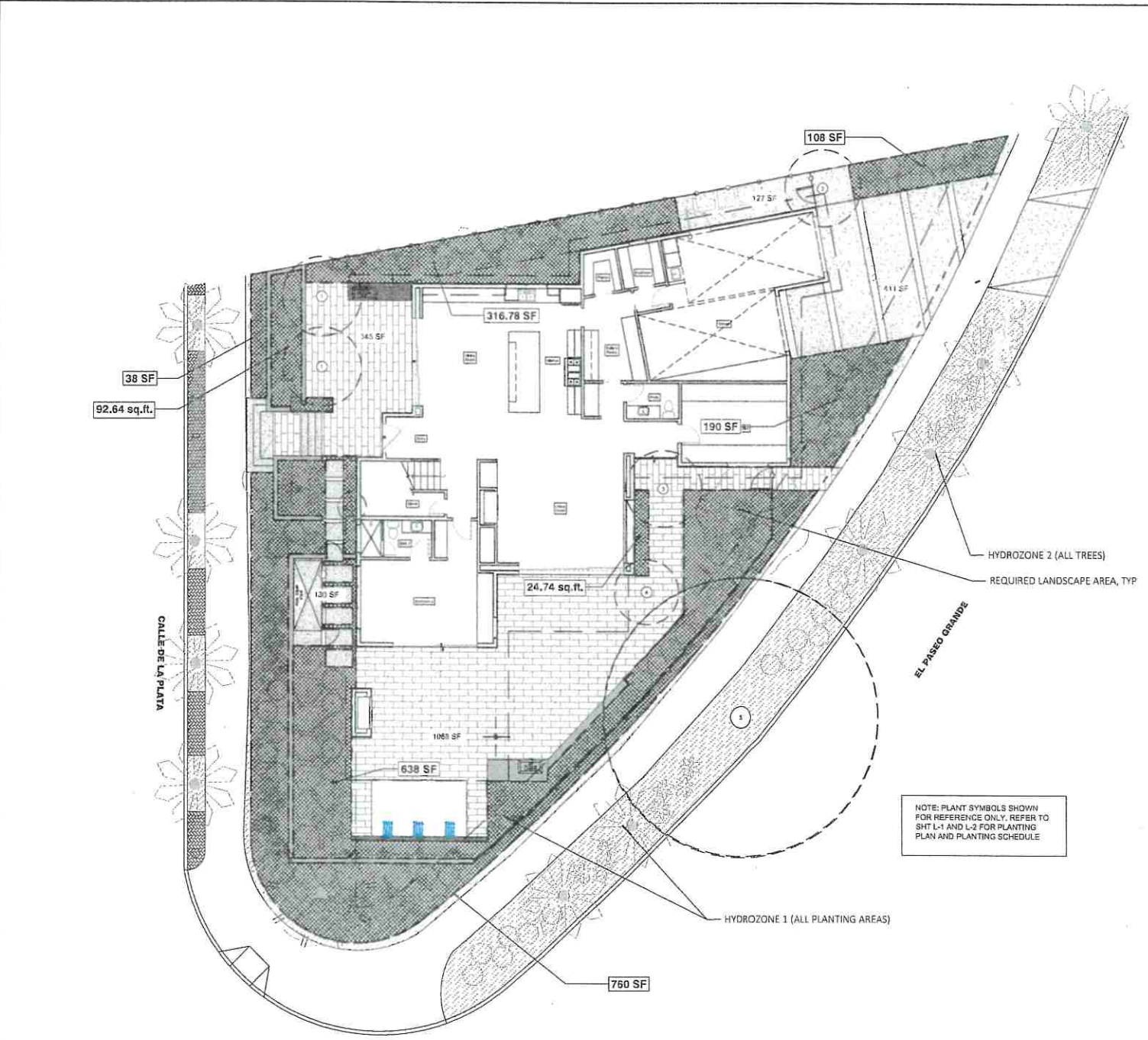
PAHTRIA RESIDENCE
7975 CALLE DE LA PLATA
LA JOLLA, CA
LANDSCAPE DIAGRAM

PREPARED BY
ANU & MEREDITH
PAHTRIA
7975 CALLE DE LA PLATA
LA JOLLA, CA

PREPARED BY
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JOE DODD, ASLA
3571 INGRAHAM ST.
SAN DIEGO, CA 92109
P | 888.203.6628
JULY 28 2018



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LANDSCAPE AREA

REQUIRED LANDSCAPE AREA PROVIDED - 2168 SF (30%)
MIN. REQUIRED LANDSCAPE = 30% = 2161 SF
LOT AREA: 7,208 SF
HOUSE FOOTPRINT: 2,550 SF
TOTAL HARDSCAPE: 2081 SF

WATER BUDGET

WATER EFFICIENT LANDSCAPE WORKSHEET									
Irrigation Point of Connection (P.O.C.)									
Hydro zone #	Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAP (ET/In)	Landsc. Area (sq. ft.)	ETAP x Area	ET/In	ET/In x Area
REGULAR LANDSCAPE AREAS									
1	MEDIUM WATER	0.30	DRIP	0.91	0.11	3894	1483.92		37721
2	MEDIUM WATER	0.30	BUBBLER	0.75	0.36	304	106.56		3470
									0
									0
									0
TOTAL						4028	1620.42		
SPECIAL LANDSCAPE AREAS									
						106	106.00		2745
									0
TOTAL						106	106		
						ETWU TOTAL		43926	
						MAXIMUM WATER ALLOWANCE (MAWA)		57550.9	
						IRRIGATION EFFICIENCY (IE) AVERAGE		73.1	

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
ETAP = 41 in/yr
LA = 4028 sq ft
SLA = 168 sq ft
ETAP = 0.35
MAWA = (ETAP)(0.62)(ETAP x LA) + (1 - ETAP) x SLA
MAWA = (41)(0.62)(4028) + (1 - 0.35)(168)
MAWA = 41 (0.62)(4028) = 0.45 X 108
MAXIMUM APPLIED WATER ALLOWANCE = 57550.9 gal per year

ETAP	TOTAL ETAP x AREA	TOTAL AREA	AVERAGE ETAP	SITEWIDE ETAP
REGULAR LANDSCAPE AREAS	1620.42	4028	0.40	
ALL LANDSCAPE AREAS	1726.42	4136	0.42	
ETAP				
Residential	0.35 on balance			
Non-Residential	0.42 on balance			

Hydrozone Category	PF Plant Factor
High Water Use	0.7-1.0
Moderate Water Use	0.4-0.6
Low Water Use	0.1-0.3
Very Low Water Use	0.0-0.1
Special Landscape Area	1.00
Reclaimed water = Special Landscape Area	
*Artificial turf & temporary irrigated areas = low water	
Irrigation Method Code	IE - Irrigation Efficiency
Fiber Pipe for Pools/Spas	1.00
On/Under Surface	0.90
Bubblers	0.50
Rotors	0.75
Rotors	0.75
Overhead Spray	0.80

LANDSCAPE DIAGRAM

SCALE: 1/8" = 1'-0"

FILE NAME: G:\PAHTRIA RESIDENCE\PAHTRIA PSHT.DWG