



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 12, 2019 REPORT NO. HO-19-015

HEARING DATE: February 20, 2019

SUBJECT: HEALING CENTER CUP AMENDMENT - Process Three Decision

PROJECT NUMBER: [545920](#)

REFERENCE: [Report to the Planning Commission, Report No. PC-15-098](#)
[Report to the Hearing Officer, Report No. HO-15-073](#)

OWNER/APPLICANT: Del Rio Medical and Dental Plaza, LLC. /The Healing Center of San Diego
(Attachment 11)

SUMMARY

Issue: Should the Hearing Officer approve an amendment to previously approved entitlements to allow the continued operation of a Marijuana Outlet and its expansion from 400 square feet to 1,218 square feet located at 3703 Camino Del Rio South within the Mission Valley Community Plan area?

Staff Recommendations:

1. Approve Conditional Use Permit No. 1928416; and
2. Approve Site Development Permit No. 1928419.

Community Planning Group Recommendation: On November 7, 2018, the Mission Valley Planning Group voted 16-3-0 to recommend approval of the proposed project with the condition that all City comments be closed out (Attachment 10).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15303, New Construction or Conversion of Small Structures (Attachment 8). The environmental exemption determination for this project was made on December 10, 2018, and the opportunity to appeal that determination ended December 24, 2018. The Environmental Determination was appealed. The appeal was withdrawn on January 3, 2019. The scope of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

In 1996, the people of the State of California passed Proposition 215, the Compassionate Use Act, which allows the use of marijuana for medical purposes when recommended by a physician and exempts the patient and the primary caregiver from criminal prosecution. In 2004, Senate Bill 420, the Medical Marijuana Program Act (MMP) became law. The MMP requires the California Department of Public Health (DPH) to establish and maintain a program for the voluntary registration of qualified medical marijuana patients and their primary caregivers through a statewide identification card system, sets possession guidelines for cardholders, and recognizes a qualified right to collective and cooperative cultivation of medical marijuana. In 2008, the California Attorney General established guidelines for Medical Marijuana Collective Operations and allowed cities to adopt and enforce laws consistent with the MMP.

On March 25, 2014, the City of San Diego adopted Ordinance No. O-20356 to implement regulations for Medical Marijuana Consumer Cooperatives (MMCCs), which allowed MMCCs with the approval of a Conditional Use Permit (CUP), and limited MMCCs to four per Council District for a total of 36 MMCCs City-wide. A total of 15 MMCCs have been approved to date.

On November 2016, the people of the State of California approved Proposition 64, the Adult Use of Marijuana Act (AUMA). The AUMA allows adults 21 years of age or older to legally grow, possess, and use cannabis for non-medicinal purposes, with certain restrictions. The California State Legislature passed Senate Bill 94 (Chapter 27) on June 2017 that integrated Medical Cannabis Regulation and Safety Act (MCRSA) with AUMA to create the Medicinal and Adult-Use Cannabis Regulation and Safety Act (MAUCRSA) contained in Division 10 of the California Business and Professions Code (§26000 et seq.). Under MAUCRSA, a single regulatory system governs the medical and adult-use cannabis industry in California.

A local jurisdiction may adopt and enforce local ordinances that regulate land use requirements as it deems necessary to reduce potential impacts associated with marijuana use. On February 22, 2017, Ordinance No. O-20793 was approved, which included amendments to the Land Development Code and the Local Coastal Program, replacing the MMCC use with a new retail sales use, Marijuana Outlet (Outlet). The Ordinance became effective in areas of the City of San Diego outside of the Coastal Overlay Zone on April 12, 2017, and within the Coastal Overlay Zone on October 12, 2017.

An Outlet may be allowed with the approval of a Process Three, CUP, and limited to no more than four per Council District, and 36 City-wide. An Outlet would be allowed to sell both medicinal and retail marijuana, and subject to State licensing requirements as defined in California Business and Professions Code section 26001. The 15 previously approved MMCCs are allowed to operate as Outlets for the remaining term of the CUP without need for amendment pursuant to Ordinance No. O-20793 and would be allowed the sale of retail marijuana upon obtaining the required State license. A total of two MMCCs have been approved to date within Council District 3.

The 0.93-acre project site is located west of Interstate-15 and south of Interstate 8, at 3703 Camino Del Rio South, in the MV-CO Zone of the Mission Valley Planned District (MVPD) (Attachment 1). The project site is also located in the Airport Land Use Compatibility Overlay Zone (Montgomery Field), Airport Influence Area (Montgomery Field - Review Area 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, and the Transit Priority Area within the Mission Valley Community Plan Area

and Council District 3. The site is designated for Commercial Office use by the Mission Valley Community Plan (MVCP) (Attachment 2).

The two story, over garage, 19,700 square-foot building was developed per Planned Commercial Development Permit No. 87-0057. Existing uses within the building include the previously approved MMCC (operating as an Outlet), and medical and commercial office suites. Surrounding development include commercial office buildings to the south and east, a boat dealer and service facility to the west, and Camino Del Rio South and Interstate 8 to the north (Attachment 3).

DISCUSSION

The proposed project is a request to amend CUP No 1330834 and Site Development Permit (SDP) No. 1420871 (Project No. 378883), approved by the Planning Commission on August 13, 2015, to allow the continued operation of an Outlet, and its expansion from 400 square feet to 1,218 square feet, within an existing 19,700 square-foot building located at 3703 Camino Del Rio South. The existing CUP and SDP expire on August 13, 2020 (Attachment 9),

The proposed Outlet, classified as retail sales, is allowed in the MV-CO Zone of the MVPD with a CUP pursuant to San Diego Municipal Code (SDMC) Section 141.0504 and SDMC Section 1514.0305(b). A SDP is required pursuant to SDMC Section 1514.0201(d) because the project site's estimated trips exceed the established thresholds for the designated Development Intensity District (DID) of the Mission Valley Planned District Ordinance (MVPDO). The proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Project Description:

The project proposes the expansion of an existing 400-square-foot Outlet by converting the adjacent 818-square-foot office suite to an Outlet use. Interior improvements include an enlarged reception area, an additional dispensary area, larger vault space, and office totaling 1,218 square feet in Gross Floor Area. No exterior building alterations would occur. The proposed tenant improvements would comply with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, and would be reviewed for conformance during the construction permit application phase. Public improvements include the reconstruction of the driveway on Camino Del Rio South, consistent with current City Standards. The project would also construct a new American Disabilities Act (ADA) accessible path of travel ramp and sidewalk from the Camino Del Rio South public right-of-way to the building entrance.

The Outlet requires a total of six off-street parking spaces based on the requirement of five off-street parking spaces per 1,000 square feet in accordance with the SDMC. Existing parking includes 31 garage spaces and 50 uncovered surface spaces. The existing 81 off-street parking spaces satisfies the required parking for all uses on the site.

MVPDO DID:

The MVPD area is composed of three traffic areas (Areas 1-3) and thirteen DIDs (A-M), each with two thresholds (1 and 2). The project site is located in Traffic Area 3, DID K. Threshold 2 allows up to 424

Average Daily Trips per acre (ADT/acre) for the site. The existing 19,700 square-foot commercial office building on the 0.93-acre site has a calculated threshold value of 402 ADT/acre. The total project trips to be generated by the increase in the Outlet intensity from 400 square feet to 1,218 square feet are estimated to be 49 ADTs (net increase of 33 ADT of Outlet trips from existing conditions), for a total of 451 ADT/acre. The project would cause the entire site to exceed Threshold 2 by 27 ADT/acre. Pursuant to SDMC Section 1514.0301(d)(3)(B), exceptions to the allocations established by Threshold 2 may be approved subject to specific findings. In order to determine if the increased ADT would adversely affect the community plan, a traffic analysis was required. The Traffic Analysis prepared by Urban System Associates, Inc., dated November 5, 2018, concludes the increase in traffic generated by the proposed Outlet and its expansion is minimal and is not expected to adversely impact the surrounding roadway system. City staff has provided findings supporting an exception to the ADT/acre allocation established by Threshold 2 (Attachment 4).

Community Plan Consistency:

The project site is designated for Commercial Office use by the MVCP (Attachment 2). The land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan land use designation and objective of encouraging a range of retail uses integrated with other uses, and with a CUP, is a compatible use with the surrounding commercial establishments.

Separation Requirements:

The SDMC allows the operation of Outlets in specific land use zones of the City and provides regulations for Outlets. One of the criteria of the SDMC is the minimum separation requirements between an Outlet and other specified uses. SDMC Section 141.0504(a) requires a 1,000-foot separation from resource and population-based parks, other marijuana outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten and grades One to Twelve. In addition, there is a minimum distance requirement of 100 feet from all residentially zoned properties. Distance between uses is measured in a straight line between the two closest points of the property lines. Per SDMC Section 113.0225(c), when measuring distance between uses, natural topographical barriers and constructed barriers such as freeways or flood control channels that would impede direct physical access between the uses can be taken into consideration. In such cases, the distance is measured as the most direct route around the barrier in a manner that establishes direct access.

City staff has reviewed the 1,000-foot radius map (Attachment 6) and 1,000-foot spreadsheet exhibit (Attachment 7) provided by the applicant identifying all the existing uses. City staff has determined the project complies with the separation requirements.

Operational and Security Requirements:

The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504 (b) through (m), which are incorporated as conditions in the CUP (Attachment 5). These include prohibition of consultation by medical professionals on-site,

prohibition of the use of specified vending machines except by a responsible person (as defined by the SDMC), provision of interior and exterior lighting, operable cameras, alarms, and a security guard, restriction of hours of operation to between 7:00 am and 9:00 pm daily, maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours, and restriction of signage to business name, two-colors signs, and alphabetic characters. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The applicant has also voluntarily agreed to the following additional security conditions in order to improve the safety of customers and the surrounding neighborhood and also to prevent any potential adverse impacts on the community:

- The provision of operable surveillance cameras and a metal detector;
- Use of cameras with a recording device that maintains records for a minimum of 30 days;
- Presence of two security guards on the premises during business hours, and at least one security guard present on the premises 24 hours a day, seven days a week;
- Installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees; and
- Installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at all walls adjoining common areas and other tenants, and vault room.

Conclusion:

In conclusion, City staff has reviewed the application for the CUP and SDP for the continued operation of an Outlet, and its expansion at this location and has determined that the project is consistent with the recommended land use and development standards in effect for this site per the MVCP and the SDMC, including the minimum separation requirements. The project is not requesting, nor does it require any deviation or variance from the applicable regulations and policy documents. The permit has been conditioned to ensure the proposed Outlet would not be detrimental to the public, health, safety and welfare (Attachment 5). Staff has prepared draft findings for consideration (Attachment 4) and is recommending approval of the project as proposed.

ALTERNATIVES

1. Approve Conditional Use Permit No. 1928416 and Site Development Permit No. 1928419, with modifications.
2. Deny Conditional Use Permit No. 1928416 and Site Development Permit No. 1928419, if the findings required to approve the project cannot be affirmed.

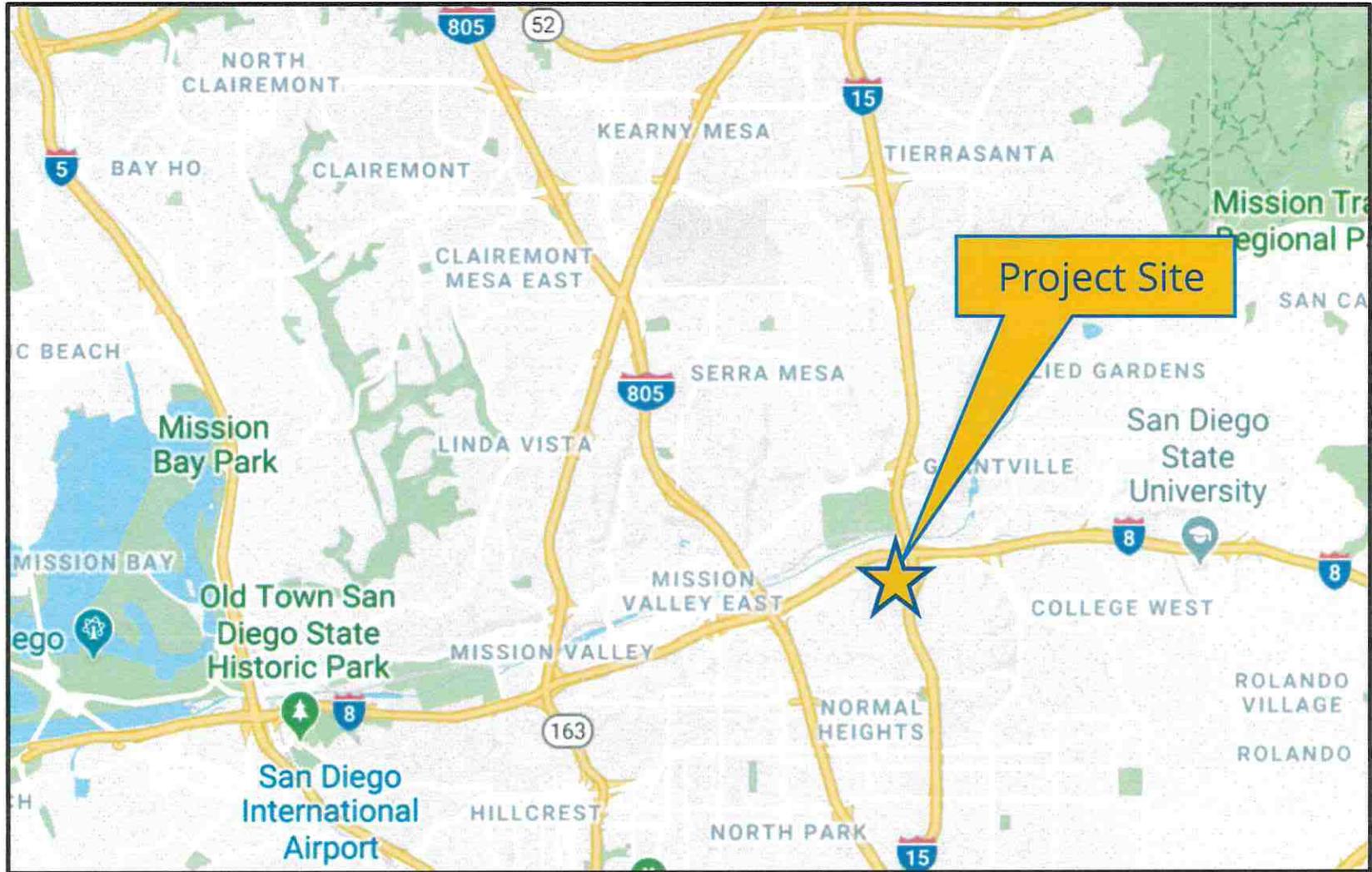
Respectfully submitted,



Firouzeh Tirandazi,
Development Project Manager

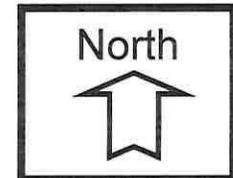
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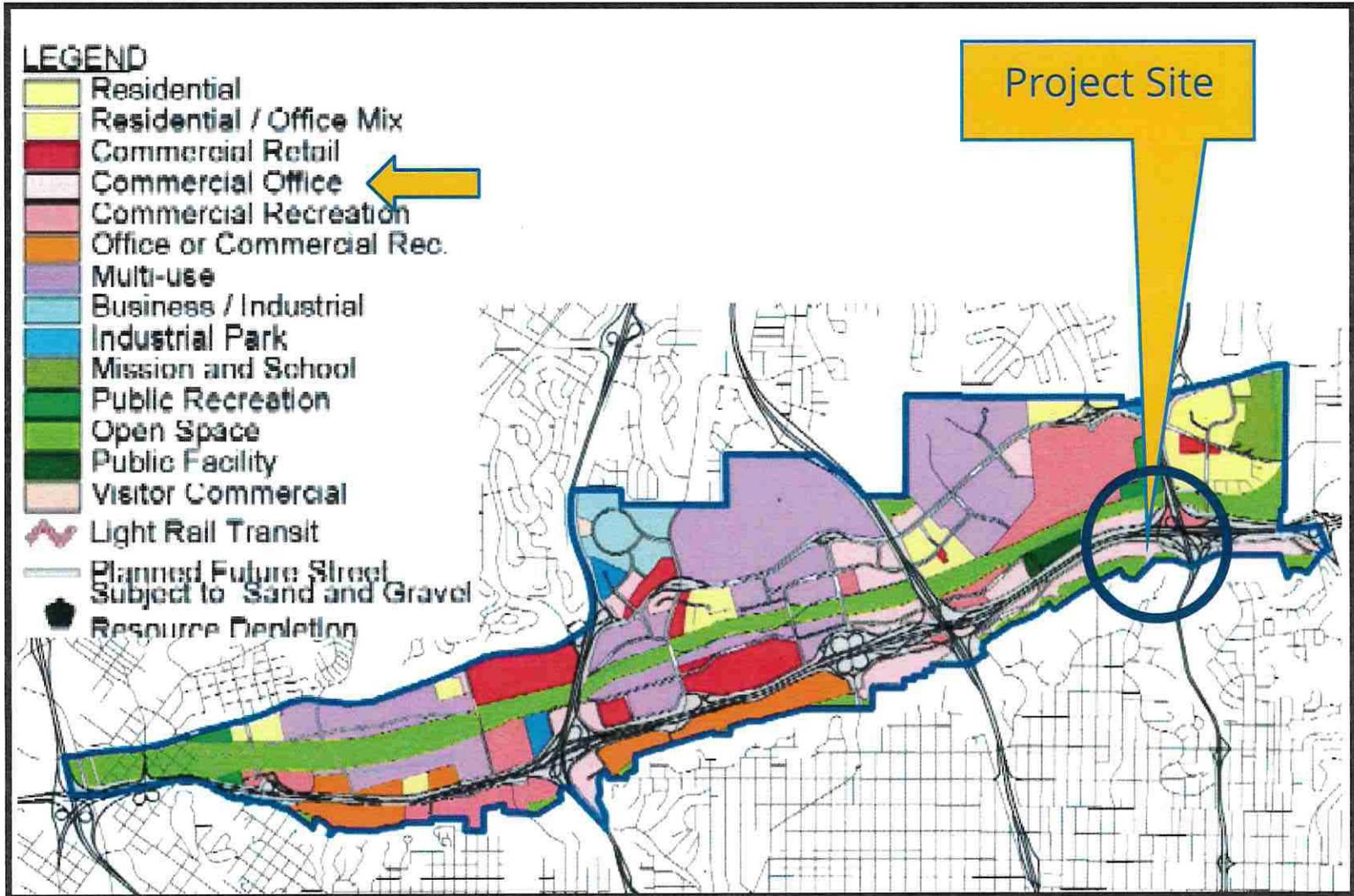
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. 100/1000-Foot Radius Map
7. 100/1000-Foot Radius Map Spreadsheet
8. Environmental Exemption
9. Copy of Recorded Permit
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans



Project Location Map

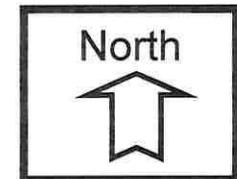
HEALING CENTER CUP AMENDMENT / 3703 Camino Del Rio South
PROJECT NO. 545920

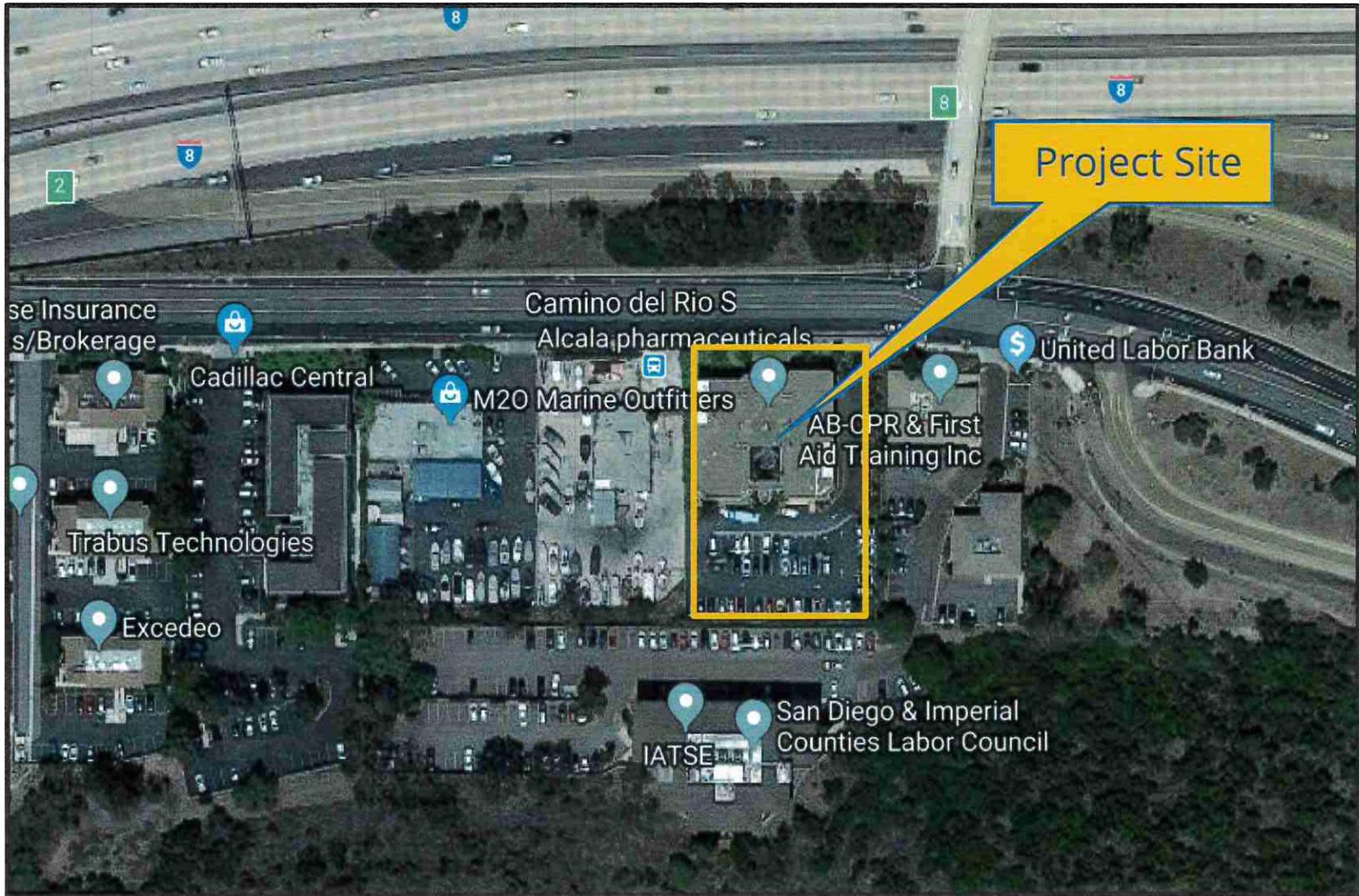




Mission Valley Community Land Use Map

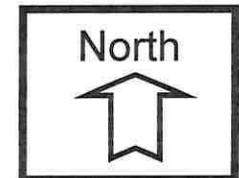
HEALING CENTER CUP AMENDMENT / 3703 Camino Del Rio South
 PROJECT NO. 545920





Aerial Photograph

HEALING CENTER CUP AMENDMENT / 3703 Camino Del Rio South
PROJECT NO. 545920



HEARING OFFICER RESOLUTION NO. XXXX
CONDITIONAL USE PERMIT NO. 1928416 AND
SITE DEVELOPMENT PERMIT NO. 1928419
HEALING CENTER CUP AMENDMENT - PROJECT NO. 545920
AMENDMENT TO CONDITIONAL USE PERMIT NO. 1330834 AND
SITE DEVELOPMENT PERMIT NO. 1420871

WHEREAS, DEL RIO MEDICAL AND DENTAL PLAZA LLC., a California Limited Liability Company, Owner, and THE HEALING CENTER OF SAN DIEGO, a California Corporation, Permittee, filed an application with the City of San Diego for a permit to amend Conditional Use Permit No. 1330834 and Site Development Permit No. 1420871, to allow the continued operation of a Marijuana Outlet, and its expansion from 400 square feet to 1,218 square feet, within an existing 19,700-square-foot building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1928416 and 1928419), on portions of a 0.93-acre site;

WHEREAS, the project site is located at 3703 Camino Del Rio South, in the MV-CO Zone of the Mission Valley Planned District, the Airport Land Use Compatibility Overlay Zone (Montgomery Field), Airport Influence Area (Montgomery Field - Review Area 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, and the Transit Priority Area within the Mission Valley Community Plan Area;

WHEREAS, the project site is legally described as Lot 1, Mission Valley Gardens, Map No. 5231, filed in the Office of the County Recorder of San Diego County, August 8, 1963;

WHEREAS, on December 10, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303, New Construction or Conversion of Small Structures, and the Environmental Determination was appealed to City Council, which the appeal was withdrawn from City Council on January 3, 2019;

WHEREAS, on February 20, 2019, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1928416 and Site Development Permit No. 1928419 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No 1928416 and Site Development Permit No. 1928419:

A. CONDITIONAL USE PERMIT [SDMC SECTION 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project is an application for a Conditional Use Permit (CUP) and Site Development Permit (SDP), an amendment to CUP No. 1330834 and SDP No. 1420871 (Project No. 378883), to allow the continued operation of a Marijuana Outlet (Outlet), previously approved as a Medical Marijuana Consumer Cooperative (MMCC), and its expansion from 400 square feet to 1,218 square feet, within an existing 19,700 square-foot, two-story, over garage, building. The 0.93-acre project site is located at 3703 Camino Del Rio South, in the MV-CO Zone of the Mission Valley Planned District (MVPD). The project site is also located in the Airport Land Use Compatibility Overlay Zone (Montgomery Field), Airport Influence Area (Montgomery Field - Review Area 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, and the Transit Priority Area within the Mission Valley Community Plan (MVCP) area.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments at this location with a CUP and SDP.

The MVPD area is composed of three traffic areas (Areas 1-3) and thirteen DIDs (A-M), each with two thresholds (1 and 2). The project site is located in Traffic Area 3, DID K. Threshold 2 allows up to 424 Average Daily Trips per acre (ADT/acre) for the site. The existing 19,700 square-foot commercial office building on the 0.93-acre site has a calculated threshold value of 402 ADT/acre. The total project trips to be generated by the increase in the Outlet intensity from 400 square feet to 1,218 square feet are estimated to be 49 ADTs (net increase of 33 ADT of Outlet trips from

existing conditions), for a total of 451 ADT/acre. The project would cause the entire site to exceed Threshold 2 by 27 ADT/acre. A traffic analysis prepared by Urban System Associates, dated November 5, 2018, and reviewed by City Staff concludes that the increase in traffic generated by the proposed Outlet is minimal and not expected to adversely impact the surrounding roadway system. Based on the above, the proposed Outlet will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public, health, safety, and welfare.

The proposed development will not be detrimental to the public's health, safety and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval to assure the project's compliance with applicable local, regional, state and federal codes and rules. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large.

Outlets are restricted to four per Council District, 36 city-wide, within commercial and industrial zones in order to minimize the impact on the City and residential neighborhoods. Outlets require compliance with SDMC Section 141.0504, which requires a 1,000-foot separation, measured in accordance with SDMC sections 141.0504 and 113.0225, from resource and population-based city parks, other marijuana outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten grades 1 to 12. There is also a minimum distance requirement of 100 feet from a residential zone. The project complies with the aforementioned separation requirements.

Approval of this application would allow the sale of marijuana to be conditioned in order to prevent potential adverse impacts on the community. The proposed Outlet is subject to specific operational and security requirements and restrictions as set forth in SDMC Section 141.0504(b) through (m), which have also been incorporated as conditions in the CUP including prohibition of consultation by medical professionals on-site; prohibition of the use of specified vending machines except by a responsible person (as defined by the SDMC); provision of interior and exterior lighting, operable cameras, alarms, security guards; restriction of hours of operation to between 7:00 am and 9:00 pm daily; maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours; and restriction of signage to business name, two-color signs, and alphabetic characters. Outlets must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation. The CUP is valid for five years, however, may be revoked if the use violates the terms, conditions, lawful requirements, or provision of the permit.

Construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be

enforced through plan review and building inspections completed by the City's building inspectors. Furthermore, this project has been reviewed pursuant to the California Environmental Quality Act, and the environmental analysis did not find any significant impacts to the public health and safety. Based on the above analysis, the proposed development would not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is in the MV-CO Zone of the Mission Valley Planned District (MVPD) and the Development Intensity District Overlay (DID). The site was developed per Planned Commercial Development Permit No. 87-0057. The project proposes the continued operation of an existing 400-square-foot Outlet, and its expansion by converting the adjacent 818-square-foot office suite to an Outlet use, within the existing 19,700 square-foot, two-story, over garage, multi-tenant commercial building. Interior improvements include an enlarged reception area, an additional dispensary area, larger vault space, and office totaling 1,218 square feet in Gross Floor Area. No exterior building alterations would occur. The proposed tenant improvements would comply with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, and would be reviewed for conformance during the construction permit application phase.

The Outlet requires a total of six off-street parking spaces based on the requirement of five off-street parking spaces per 1,000 square feet in accordance with the SDMC. Existing parking includes 31 garage spaces and 50 uncovered surface spaces. The existing 81 off-street parking spaces satisfies the required parking for all uses on the site.

Public improvements include the reconstruction of the driveway adjacent to the site on Camino Del Rio South, consistent with current City Standards. The project would also construct a new American Disabilities Act (ADA) accessible path of travel from the Camino Del Rio South public right-of-way to the building entrance.

The Outlet, classified as retail sales, is allowed in the MV-CO Zone of the MVPD with a CUP pursuant to San Diego Municipal Code (SDMC) Section 141.0504 and SDMC Section 1514.0305(b). A SDP is required pursuant to SDMC Section 1514.0201(d) due to estimated traffic resulting in a value in excess of Threshold 2 for the designated DID. However, a traffic analysis prepared by Urban System Associates, dated November 5, 2018, and reviewed by City Staff, concluded that the proposed increase in traffic by the Outlet, including its proposed expansion, is not expected to adversely impact the surrounding roadway system. Additionally, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Outlets require compliance with SDMC Section 141.0504, which requires a 1,000-foot separation, measured in accordance with SDMC sections 141.0504 and 113.0225, from resource and population-based city parks, other marijuana outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten grades 1 to 12. There is also a minimum distance requirement of 100 feet from a residential zone. The project complies with the aforementioned separation requirements.

The CUP for the project includes various conditions and corresponding exhibits of approval to achieve compliance with the SDMC relative to parking, signage, lighting, security measures, hours of operation, and site maintenance. No variance or deviations are requested as part of this application. Therefore, the proposed development will comply with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project proposes the continued operation of an existing 400-square-foot Outlet, and its expansion by converting the adjacent 818-square-foot office suite to an Outlet use, within the existing 19,700 square-foot, two-story, over garage, multi-tenant commercial building. The 0.93-acre project site is located west of Interstate-15 and south of Interstate 8, at 3703 Camino Del Rio South, in the MV-CO Zone of the MVPD. The project site is also located in the Airport Land Use Compatibility Overlay Zone (Montgomery Field), Airport Influence Area (Montgomery Field - Review Area 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, and the Transit Priority Area within the MVCP area.

The existing building was developed per Planned Commercial Development Permit No. 87-0057. Existing uses within the building include the previously approved Medical Marijuana Consumer Cooperative (Outlet), and medical and commercial office suites. The project site is located within an urbanized community and surrounded by commercial office buildings to the south and east, a boat dealer and service facility to the west, and Camino Del Rio South and Interstate 8 to the north.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments.

The proposed Outlet is allowed in the MV-CO Zone of the MVPD with a CUP and is subject to separation requirements set forth in SDMC Section 141.0504(a) including a 1,000-foot separation from resource and population-based parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City

of San Diego, minor oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten or grades One to Twelve. There is also a minimum distance requirement of 100 feet from a residential zone. The project complies with the aforementioned separation requirements.

The SDMC limits Outlets to commercial and industrial zones and the number of Outlets to only four per Council District, 36 city-wide, in order to minimize the impact on the City and residential neighborhoods. To date, two Outlets (previously approved as MMCCs) are located within Council District 3. The project is a request to continue the operation of an existing Outlet, and its expansion, and therefore is in compliance with SDMC Section 141.0504. All surrounding parcels are in the MV-CO Zone and the existing uses are consistent with the Commercial Office designation of the MVCP. The Outlet, classified as retail sales, is a compatible use for this location with a CUP and SDP. A Traffic Analysis prepared by Urban System Associates dated November 5, 2018, and reviewed by City Staff, concludes that the proposed increase in traffic by the Outlet and its proposed expansion is not expected to adversely impact the surrounding roadway system. Therefore, based on the above analysis, the proposed use is appropriate at the proposed location.

B. SITE DEVELOPMENT PERMIT [SDMC SECTION 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project is an application for a CUP and SDP, an amendment to CUP No 1330834 and SDP No. 1420871 (Project No. 378883), to allow the continued operation of an Outlet, and its expansion from 400 square feet to 1,218 square feet, within an existing 19,700 square-foot, two-story, over garage, building. The 0.93-acre project site is located at 3703 Camino Del Rio South, in the MV-CO Zone of the MVPD. The project site is also located in the Airport Land Use Compatibility Overlay Zone (Montgomery Field), Airport Influence Area (Montgomery Field - Review Area 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, and the Transit Priority Area within the MVCP area.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments at this location with a CUP and SDP.

The MVPD area is composed of three traffic areas (Areas 1-3) and thirteen DIDs (A-M), each with two thresholds (1 and 2). The project site is located in Traffic Area 3, DID K. Threshold 2 allows up to 424 Average Daily Trips per acre (ADT/acre) for the site. The existing 19,700 square-foot commercial office building on the 0.93-acre site has a calculated threshold value of 402 ADT/acre. The total project trips to be generated by the increase in the Outlet intensity from 400 square feet to 1,218 square feet are estimated to be 49 ADTs (net increase of 33 ADT of Outlet trips from existing conditions), for a total of 451 ADT/acre. The project would cause the entire site to exceed Threshold 2 by 27 ADT/acre. A traffic analysis prepared by Urban System Associates, dated November 5, 2018, and reviewed by City Staff concludes that the increase in traffic generated by the proposed Outlet is minimal and not expected to adversely impact the surrounding roadway system. Based on the above, the proposed Outlet will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in CUP Finding (A)(1)(b) listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

As outlined in CUP Finding (A)(1)(c) listed above, the proposed development is not requesting deviations to the development regulations and complies with the applicable regulations of the land Development Code.

2. Supplemental Findings – Mission Valley Development Permit [SDMC Section 1514.0201]

a. The proposed development is consistent with the Mission Valley Community Plan and the Progress Guide and General Plan.

Policy guidance is provided by the Progress Guide and General Plan and implemented through community plan policies and development regulations. The 0.93-acre site located at 3703 Camino Del Rio South is in the MV-CO Zone of the MVPD and designated for Commercial Office use in the MVCP. The Outlet, classified as retail sales, is allowed in the MV-CO Zone of the MVPD with a CUP pursuant to San Diego Municipal Code (SDMC) Section 141.0504 and SDMC Section 1514.0305(b).

This Commercial Office designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of

retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments.

The project also requires a SDP pursuant to SDMC Section 1514.0201(d) due to estimated traffic resulting in a value in excess of threshold 2 for the designated DID. Threshold 2 allows up to 424 Average Daily Trips per acre (ADT/acre). The existing 19,700 square-foot commercial office building on the 0.93-acre site has a calculated value of 402 ADT/acre. The total project trips to be generated by the increase in the Outlet intensity from 400 square feet to 1,218 square feet are estimated to be 49 ADTs (net increase of 33 ADT of Outlet trips from existing conditions), for a total of 451 ADT/acre. The project would cause the entire site to exceed Threshold 2 by 27 ADT/acre. A traffic analysis prepared by Urban System Associates, dated November 5, 2018, and reviewed by City Staff, concludes that the increase in traffic generated by the proposed Outlet is minimal and not expected to adversely impact the surrounding roadway system. The proposed Outlet, classified as retail sales, and its expansion resulting in a net increase of 33 ADT of Outlet trips from existing conditions, is consistent with the MVCP and the Progress Guide and General Plan.

b. The proposed development provides the required public facilities and is compatible with the adjacent open space areas.

The two-story, over garage, 19,700 square-foot building was developed per Planned Commercial Development Permit No. 87-0057. The project site is not abutting any open space areas. The Outlet, including its 818-square-foot expansion, is located within the existing building and no exterior improvement are proposed. Interior improvements include an enlarged reception area, an additional dispensary area, larger vault space, and office totaling 1,218 square feet in Gross Floor Area. Public improvements include the reconstruction of the driveway adjacent to the site on Camino Del Rio South, consistent with current City Standards. The project would also construct a new American Disabilities Act (ADA) accessible path of travel ramp and sidewalk from the Camino Del Rio South public right-of-way to the building entrance. The existing building, including the required public facilities, were constructed in compliance with all development regulations at the time. Therefore, the proposed development provides the required public facilities and is not adjacent to any open space areas.

c. The proposed development meets the purpose, intent and criteria of the Mission Valley Planned District Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district.

Outlets are allowed in the MV-CO Zone of the MVPD with a CUP. A SDP is required due to estimated traffic resulting in a value in excess of threshold 2 for the designated DID. Threshold 2 allows up to 424 ADT/acre. The existing 19,700 square-foot commercial office building on the 0.93-acre site has a calculated value of 402 ADT/acre. The total project trips to be generated by the increase in the Outlet intensity from 400 square feet to 1,218 square feet are estimated to be 49 ADTs (net increase of 33 ADT of Outlet trips from existing conditions), for a total of 451 ADT/acre. The project would cause the entire site to exceed Threshold 2 by 27

ADT/acre. A traffic analysis prepared by Urban System Associates, dated November 5, 2018, and reviewed by City Staff, concluded that the increase in traffic generated by the proposed Outlet is minimal and not expected to adversely impact the surrounding roadway system.

Guidelines for Discretionary Review have been fulfilled as the project has successfully submitted an application for review through the City of San Diego and brought forward to a decision maker for a decision in accordance to San Diego Municipal Code section 1514.0201 (Permit Application, Review, and Issuance). Therefore, the proposed development meets the purpose, intent and criteria of the Mission Valley Planned District Ordinance including the applicable "Guidelines for Discretionary Review" adopted as part of this planned district.

d. The proposed development will comply with all other relevant regulations in the San Diego Municipal Code.

The project site is in the MV-CO Zone of the MVPD and the DID Overlay. The site was developed per Planned Commercial Development Permit No. 87-0057. The project proposes the continued operation of an existing 400-square-foot Outlet, and its expansion by converting the adjacent 818-square-foot office suite to an Outlet use, within the existing 19,700 square-foot, two-story, over garage, multi-tenant commercial building. Interior improvements include an enlarged reception area, an additional dispensary area, larger vault space, and office totaling 1,218 square feet in Gross Floor Area. No exterior building alterations would occur. The proposed tenant improvements would comply with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, and would be reviewed for conformance during the construction permit application phase.

The Outlet requires a total of six off-street parking spaces based on the requirement of five off-street parking spaces per 1,000 square feet in accordance with the SDMC. Existing parking includes 31 garage spaces and 50 uncovered surface spaces. The existing 81 off-street parking spaces satisfies the required parking for all uses on the site.

Public improvements include the reconstruction of the driveway adjacent to the site on Camino Del Rio South, consistent with current City Standards. The project would also construct a new American Disabilities Act (ADA) accessible path of travel from the Camino Del Rio South public right-of-way to the building entrance.

The Outlet, classified as retail sales, is allowed in the MV-CO Zone of the MVPD with a CUP pursuant to San Diego Municipal Code (SDMC) Section 141.0504 and SDMC Section 1514.0305(b). A SDP is required pursuant to SDMC Section 1514.0201(d) due to estimated traffic resulting in a value in excess of threshold 2 for the designated DID. However, a traffic analysis prepared by Urban System Associates, dated November 5, 2018, and reviewed by City Staff concludes that the proposed increase in traffic by the Outlet, including its proposed expansion, is not expected to adversely impact the surrounding roadway system. Additionally, the proposed Outlet is

exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Outlets require compliance with SDMC Section 141.0504, which requires a 1,000-foot separation, measured in accordance with SDMC sections 141.0504 and 113.0225, from resource and population-based city parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten grades 1 to 12. There is also a minimum distance requirement of 100 feet from a residential zone. The project complies with the aforementioned separation requirements.

The permit for the project includes various conditions and corresponding exhibits of approval to achieve compliance with the SDMC relative to parking, signage, lighting, security measures, hours of operation, and site maintenance. No variance or deviations are requested as part of this application. Based on the above, the proposed development will comply with all other relevant regulations in the San Diego Municipal Code.

3. Supplemental Findings – Exceptions [SDMC Section 1514.0301

a. The increase in traffic generated by the proposed development will not lower, by any increment, the level of service of affected streets and freeways from what was anticipated in the community plan.

The project proposes the continued operation of an existing 400-square-foot Outlet, and its expansion by converting the adjacent 818-square-foot office suite to an Outlet use, within the existing 19,700 square-foot, two-story, over garage, multi-tenant commercial building. The MVPDO area is composed of three traffic areas (Areas 1-3) and thirteen DIDs (A-M), each with two thresholds (1 and 2). The project site is located in Traffic Area 3, DID K. Threshold 2 allows up to 424 ADT/acre for the site. The existing 19,700 square-foot commercial office building on the 0.93-acre site has a calculated value of 402 ADT/acre. The total project trips to be generated by the increase in the Outlet intensity from 400 square feet to 1,218 square feet are estimated to be 49 ADTs (net increase of 33 ADT of Outlet trips from existing conditions), for a total of 451 ADT/acre. The project would cause the entire site to exceed Threshold 2 by 27 ADT/acre. Pursuant to SDMC Section 1514.0301(d)(3)(B), exceptions to the allocations established by Threshold 2 may be approved subject to specific findings. In order to determine if the increased ADT would adversely affect the community plan, a traffic analysis was required. The Traffic Analysis prepared by Urban System Associates, Inc., dated November 5, 2018, concludes the increase in traffic generated by the proposed Outlet is minimal and is not expected to adversely impact the surrounding roadway system. Therefore, the proposed development will not lower, by any increment, the level of service of affected streets and freeways from what was anticipated in the community plan.

b. Accommodation of the traffic generated by the proposed development will not alter the circulation network identified in the adopted Mission Valley Community Plan.

The project proposes the continued operation of an existing 400-square-foot Outlet, and its expansion by converting the adjacent 818-square-foot office suite to an Outlet use, within the existing 19,700 square-foot, two-story, over garage, multi-tenant commercial building. The existing building was developed per Planned Commercial Development Permit No. 87-0057.

The MVPDO area is composed of three traffic areas (Areas 1-3) and thirteen DIDs (A-M), each with two thresholds (1 and 2). The project site is located in Traffic Area 3, DID K. Threshold 2 allows up to 424 ADT/acre for the site. The existing 19,700 square-foot commercial office building on the 0.93-acre site has a calculated value of 402 ADT/acre. The total project trips to be generated by the increase in the Outlet intensity from 400 square feet to 1,218 square feet are estimated to be 49 ADTs (net increase of 33 ADT of Outlet trips from existing conditions), for a total of 451 ADT/acre. The project would cause the entire site to exceed Threshold 2 by 27 ADT/acre. In order to determine if the increased ADT would adversely affect the community plan, a traffic analysis was required. The Traffic Analysis prepared by Urban System Associates, Inc., dated November 5, 2018, concludes the increase in traffic generated by the proposed Outlet is minimal and is not expected to adversely impact the surrounding roadway system. No new street connections or road widening are required. Therefore, the proposed development will not alter the circulation network identified in the adopted MVCP.

c. An approved light rail transit or other regional or intra-valley public transit system station is identified within 1,500 feet of any portion of the proposed structure that would receive the density bonus.

The project proposes the continued operation of an existing 400-square-foot Outlet, and its expansion by converting the adjacent 818-square-foot office suite to an Outlet use, within the existing 19,700 square-foot, two-story, over garage, multi-tenant commercial building. The project is not requesting a density bonus. The existing building was developed per Planned Commercial Development Permit No. 87-0057. The project site is adjacent to Bus Route 18 with a stop within approximately 50 feet. Bus Route 18 connects the site to the Grantville Trolley Station. Additionally, the Mission San Diego trolley station is located within 1,500 feet of the project site, approximately 300 feet north of a bus stop along Camino Del Rio North that is serviced by Bus Route 18.

d. All other public facilities can accommodate the increased intensity in land use.

The two-story, over garage, 19,700 square-foot building was developed per Planned Commercial Development Permit No. 87-0057. The Outlet, including its 818-square-foot expansion, is located within the existing building and no exterior improvement are proposed. Interior improvements include an enlarged reception area, an additional dispensary area, larger vault space, and office totaling 1,218 square feet in

Gross Floor Area. Public improvements include the reconstruction of the driveway adjacent to the site on Camino Del Rio South, consistent with current City Standards. The project would also construct a new American Disabilities Act (ADA) accessible path of travel from the Camino Del Rio South public right-of-way to the building entrance. The existing building was constructed in compliance with all development regulations at the time including the required public facilities. The proposed expansion of the Outlet use within the existing building would not impact the existing public facilities. Therefore, all other public facilities can accommodate the increased intensity in land use.

e. The increased intensity in land use does not adversely affect access to, views of, or preservation of community plan identified open space areas.

The project site does not abut any community plan identified open space areas. The Outlet expansion is proposed within an existing, 19,700-square-foot, multi-tenant office building on a fully developed site within an urbanized community. The site is located along a commercial corridor bounded on the north of Interstate 8 and commercial establishments to the south, east, and west. The project does not propose any alteration to the existing building envelope. Therefore, the increased intensity in land use does not adversely affect access to, views of, or preservation of community plan identified open space areas.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No 1928416 and Site Development Permit No. 1928419 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. Conditional Use Permit No 1928416 and Site Development Permit No. 1928419, a copy of which is attached hereto and made a part hereof.

Firouzeh Tirandazi
Development Project Manager
Development Services

Adopted on: February 20, 2019

IO#: 24007245

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007245

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1928416 AND
SITE DEVELOPMENT PERMIT NO. 1928419
HEALING CENTER CUP AMENDMENT - PROJECT NO. 545920
AMENDMENT TO CONDITIONAL USE PERMIT NO. 1330834 AND
SITE DEVELOPMENT PERMIT NO. 1420871
HEARING OFFICER

This Conditional Use Permit No 1928416 and Site Development Permit No. 1928419, amendment to Conditional Use Permit No. 1330834 and Site Development No. 1420871, is granted by the Hearing Officer of the City of San Diego to Del Rio Medical and Dental Plaza, LLC., a California Limited Liability Company, Owner and Healing Center San Diego, a California corporation, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0305, 126.0505, 1514.0201(d)(3) and 1514.0301(d)(3)(B). The 0.93-acre site is located at 3703 Camino Del Rio South, in the MV-CO Zone of the Mission Valley Planned District, the Airport Land Use Compatibility Overlay Zone (Montgomery Field), Airport Influence Area (Montgomery Field - Review Area 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, and the Transit Priority Area within the Mission Valley Community Plan Area. The project site is legally described as: Lot 1, Mission Valley Gardens, Map No. 5231, filed in the Office of the County Recorder of San Diego County, August 8, 1963.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to expand and continue the operation of an existing Marijuana Outlet as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 20, 2019, on file in the Development Services Department.

The project shall include:

- a. The continued operation of a Marijuana Outlet, and its expansion from 400 square feet to 1,218 square feet, within an existing 19,700 square-foot, two-story above garage, building on a 0.93-acre site;
- b. Existing landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 7, 2022.
2. This Permit and corresponding use of this site shall expire on March 7, 2024. The Owner/Permittee may request that the expiration date be extended in accordance with SDMC Section 141.0504(n).
3. In addition to other provisions of the law, the Marijuana Outlet must comply with Chapter 4, Article 2, Division 15 and Chapter 14, Article 1, Division 5 of the San Diego Municipal Code.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing driveway with City standard driveway, adjacent to the site on Camino Del Rio South, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any Construction and Permanent Storm Water Best Management Practices (BMPs) necessary to comply with current City of San Diego Storm Water Standards Manual and with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards, Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

16. The use within the 1,218-square-foot tenant space shall be limited to a Marijuana Outlet and any use permitted by right in the MV-CO Zone of the Mission Valley Planned District.

17. The Owner/Permittee shall obtain a Marijuana Outlet Permit as required pursuant to SDMC Chapter 4, Article 2, Division 15.

18. Each responsible person at this Marijuana Outlet shall undergo fingerprinting, a criminal background check, and report convictions as required pursuant to SDMC Chapter 4, Article 2, Division 15.

19. The sale of marijuana shall be prohibited without a valid license from the State authorizing such activity.

20. Consultations by medical professionals shall not be a permitted accessory use at the Marijuana Outlet.

21. The Owner/Permittee shall provide lighting to illuminate the interior of the Marijuana Outlet, façade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.

22. The Owner/Permittee shall install and maintain operable security cameras and a metal detector for security to the satisfaction of Development Services Department. The security cameras shall have and use a recording device that maintains the recordings for a minimum of 30 days. This Marijuana Outlet shall also include alarms and two security guards. The security guards shall be licensed by the State of California. The security guards must be on the premises during business hours. At least one security guard must be on the premises 24 hours a day, seven days a week. The security guards should only be engaged in activities related to providing security for the Marijuana Outlet, except on an incidental basis.

23. The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.

24. The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at all walls adjoining common areas and other tenants, and vault room.

25. The Marijuana Outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.

26. The use of vending machines which allow access to marijuana and marijuana products except by a responsible person, as defined in the San Diego Municipal Code Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to marijuana and marijuana products without a human intermediary.

27. The Owner/Permittee shall maintain the Marijuana Outlet, adjacent public sidewalks, and areas under the control of the Owner/Permittee, free of litter and graffiti at all times.

28. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility, to the satisfaction of the Development Services Department.

29. The Owner/Permittee shall provide for daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.

30. Medical marijuana, recreational marijuana, or marijuana products, in any form, shall not be consumed anywhere within the 0.93-acre site.

31. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations and shall further be restricted by this permit. Ground signs shall not be pole signs. A primary sign shall be posted on the outside of the Marijuana Outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors.

32. The Owner/Permittee shall post and maintain a sign showing the name and emergency contact phone number of the operator or manager, in a location visible from outside the Marijuana Outlet, in character size at least two inches in height.

33. Deliveries shall be permitted as an accessory use only from the Marijuana Outlet with a valid Conditional Use Permit unless otherwise allowed pursuant to the Compassionate Use Act of 1996.

TRANSPORTATION REQUIREMENTS:

34. All automobile, motorcycle, and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

35. Prior to the issuance of any building permit, the Owner/Permittee shall construct an accessible path from the building entrance to the public street, satisfactory to the Building Official.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- Cannabis businesses that operate or provide services within the City of San Diego are liable for a monthly gross receipts tax. As referenced in San Diego Municipal Code Section [34.0103 \(b\)](#), taxable activities include but are not limited to, transporting, manufacturing, cultivating, packaging, or retail sales of cannabis and any ancillary products in the City. For additional information, contact the Office of the City Treasurer at 619-615-1580.

APPROVED by the Hearing Officer of the City of San Diego on February 20, 2019 and Resolution No.

_____.

ATTACHMENT 5

Permit Type/PTS Approval No.: CUP No 1928416 and SDP No. 1928419

Date of Approval: February 20, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Firouzeh Tirandazi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**DEL RIO MEDICAL AND DENTAL PLAZA, LLC,
a California Limited Liability Company**
Owner

By _____
Brian Baker
Director

**THE HEALING CENTER OF SAN DIEGO,
a California Corporation**
Owner

By _____
James Dickinson
Vice President

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

SAN DIEGO STADIUM

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	-15 SUR 109
	-18 SUR 105

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N85°12'18"E

72.28

R=4071.93

S85°12'18"W

71.24(CALC)

S04°20'45"E

49

N89°02'54"W

1442.22

589.41' W

239.01'

POR 45

HWY OP

LOT 46

POR 46

PM 8041

5.81 AC

1442.22

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49

N89°02'54"W

1442.22

589.41' W

239.01

SUMMARY OF PARCELS

APN: 439-520-08 100FT - RESIDENTIAL SEARCH

#	Use Description	Site Address	City	State	Zip	Parcel Number	Owner/Business Name
1	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 100A	SAN DIEGO	CA	92108	439-520-08-00	AMERISLEEP DIAGNOSTICS
2	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 100B	SAN DIEGO	CA	92108	439-520-08-00	STRATTON & GREEN ALC
3	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	439-520-08-00	PACIFIC SURGICAL
4	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-520-08-00	SAN DIEGO CTR. FOR SLEEP MDCN
5	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	439-520-08-00	SAN DIEGO COMPREHENSIVE PAIN MANAGEMENT CENTER
6	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 215A	SAN DIEGO	CA	92108	439-520-08-00	THE HEALING CENTER
7	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 215B	SAN DIEGO	CA	92108	439-520-08-00	THE HEALING CENTER
8	STORES, RETAIL OUTLET	3645 CAMINO DEL RIO S	SAN DIEGO	CA	92108	439-520-09-00	M2O MARINE OUTFITTERS
9	STORES, RETAIL OUTLET	3661 CAMINO DEL RIO S	SAN DIEGO	CA	92108	439-520-09-00	WHOLESALE MED USA
10	STORES, RETAIL OUTLET	3717 CAMINO DEL RIO S	SAN DIEGO	CA	92108	439-520-16-00	A B-CPR
11	STORES, RETAIL OUTLET	3727 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	439-520-16-00	CENTER ON POLICY INITIATIVES
12	STORES, RETAIL OUTLET	3727 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-520-16-00	WEIL NICOLE L
13	STORES, RETAIL OUTLET	3727 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
14	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	439-520-16-00	VACANT
15	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 102	SAN DIEGO	CA	92108	439-520-16-00	THEATRICAL PAYROLL SVC.
16	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 103	SAN DIEGO	CA	92108	439-520-16-00	INTERNATIONAL CONNECTIONS
17	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 106	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
18	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 108	SAN DIEGO	CA	92108	439-520-16-00	AMERICAN FEDERATION-GOVT EMPLOY
19	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 109	SAN DIEGO	CA	92108	439-520-16-00	TREITLER & HAGER LLP
20	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 110	SAN DIEGO	CA	92108	439-520-16-00	GROUP LEGAL SERVICES INC.
21	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 111	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
22	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-520-16-00	AMERICAN POSTAL WORKERS UNION
23	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 202	SAN DIEGO	CA	92108	439-520-16-00	PLASTERERS LOCAL 200 SOUTHERN
24	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 205	SAN DIEGO	CA	92108	439-520-16-00	ADENIRANYE OLABANJI
25	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 207	SAN DIEGO	CA	92108	439-520-16-00	HOTEL EMPLOYEES & RESTAURANT EMPLOYEES UNION
26	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 208	SAN DIEGO	CA	92108	439-520-16-00	ROOFERS UNION LOCAL NO 45
27	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
28	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 301	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
29	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 302	SAN DIEGO	CA	92108	439-520-16-00	TAMELA S DREYER LCSW
30	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 303	SAN DIEGO	CA	92108	439-520-16-00	SHANA J BLACK LAW OFFICE
31	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 304	SAN DIEGO	CA	92108	439-520-16-00	A FSCME LOCAL 127 SAN DIEGO AREA MUNICIPAL
32	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 306	SAN DIEGO	CA	92108	439-520-16-00	BENE SYS. INC.
33	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 307	SAN DIEGO	CA	92108	439-520-16-00	IATSE LOCAL 495 MOTION PICTURE STUDIO MECHANICS
34	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 400	SAN DIEGO	CA	92108	439-520-16-00	A FSCME LOCAL 127 SN DIEGO
35	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 403	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
36	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 407	SAN DIEGO	CA	92108	439-520-16-00	HOTEL EMPLOYEES-RSTRNT
37	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 410	SAN DIEGO	CA	92108	439-520-16-00	AFT GUILD LOCAL 1931
38	VACANT COMMERCIAL	UNIMPROVED LAND/OPEN SPACE	SAN DIEGO	CA	92108	439-520-18-00	MORALES,RICARDO TR

NO RESIDENTS OR RESIDENTIAL ZONES FOUND WITHIN 100FT

SUMMARY OF PARCELS

APN: 439-520-08 1000FT - BUSINESS LIST

#	Use Description	Site Address	City	State	Zip	Parcel Number	Owner/Business Name
1	COMMERCIAL MISCELLANEOUS	9449 FRIARS RD	SAN DIEGO	CA	92108	433-250-16-00	99 BARGAIN
2	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 100	SAN DIEGO	CA	92108	433-250-24-00	COLTON CO.
3	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 101	SAN DIEGO	CA	92108	433-250-24-00	TARI NAGEL-AMERIPRISE FNCL. SVC.
4	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 103	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
5	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 104	SAN DIEGO	CA	92108	433-250-24-00	AFSCME LOCAL 3299
6	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 106	SAN DIEGO	CA	92108	433-250-24-00	FINCH LISA R CPA
7	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 108	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
8	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 110	SAN DIEGO	CA	92108	433-250-24-00	STEDMAN & DYSON STRUCTURAL
9	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 115	SAN DIEGO	CA	92108	433-250-24-00	HEALTH CARE MGMT. SYSTEMS INC.
10	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 120	SAN DIEGO	CA	92108	433-250-24-00	CHRISTOPHER S BURKE ATTY.
11	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 141	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
12	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 150	SAN DIEGO	CA	92108	433-250-24-00	SHOWLEY ARCHAMBAULT ALEXANDER
13	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 155	SAN DIEGO	CA	92108	433-250-24-00	BURKE DENNIS
14	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 157	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
15	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 163	SAN DIEGO	CA	92108	433-250-24-00	ROACH JAMES M
16	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 205	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
17	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 210	SAN DIEGO	CA	92108	433-250-24-00	GRANITE ESCROW SERVICES
18	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 214	SAN DIEGO	CA	92108	433-250-24-00	JAMES P ROE LAW OFFICE
19	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 225	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
20	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 230	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
21	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 240	SAN DIEGO	CA	92108	433-250-24-00	SEALASKA ENVIRONMENTAL SVC. LLC
22	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 250	SAN DIEGO	CA	92108	433-250-24-00	MICHAEL SULLIVAN & ASSOC.
23	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 300	SAN DIEGO	CA	92108	433-250-24-00	CHARLES WAX
24	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 305	SAN DIEGO	CA	92108	433-250-24-00	GMH ASSOCIATES INC.
25	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 315	SAN DIEGO	CA	92108	433-250-24-00	DISCOVERY BENEFITS SOLUTIONS
26	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 320	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
27	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 350	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
28	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 360	SAN DIEGO	CA	92108	433-250-24-00	STRATA RESEARCH
29	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 370	SAN DIEGO	CA	92108	433-250-24-00	3838 CAMINO DRN OWNER LLC
30	STORES, RETAIL OUTLET	3838 CAMINO DEL RIO N STE 380	SAN DIEGO	CA	92108	433-250-24-00	RECOVERY INNOVATIONS
31	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 100	SAN DIEGO	CA	92108	433-251-01-00	BETTER SOLUTION IN HOME CARE INC. A
32	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 101	SAN DIEGO	CA	92108	433-251-01-00	1750 FIFTH AVENUE LLC
33	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 102	SAN DIEGO	CA	92108	433-251-01-00	FINANCIAL COACH INC.
34	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 110	SAN DIEGO	CA	92108	433-251-01-00	SPECIALTY CUT & WRAP INC.
35	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 120	SAN DIEGO	CA	92108	433-251-01-00	QUALITY ESCROW INC.
36	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 130	SAN DIEGO	CA	92108	433-251-01-00	1750 FIFTH AVENUE LLC
37	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 170	SAN DIEGO	CA	92108	433-251-01-00	SAN DIEGO HYPNOSIS CLINIC
38	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 180	SAN DIEGO	CA	92108	433-251-01-00	JOSHGILSON.COM

39	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 185	SAN DIEGO	CA	92108	433-251-01-00	AFCO CREDIT CORP.
40	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 200	SAN DIEGO	CA	92108	433-251-01-00	CALIFORNIA INTERSCHOLASTIC
41	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 215	SAN DIEGO	CA	92108	433-251-01-00	AMOR MINISTRIES INC.
42	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 225	SAN DIEGO	CA	92108	433-251-01-00	1750 FIFTH AVENUE LLC
43	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 230	SAN DIEGO	CA	92108	433-251-01-00	1750 FIFTH AVENUE LLC
44	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 240	SAN DIEGO	CA	92108	433-251-01-00	1750 FIFTH AVENUE LLC
45	STORES, RETAIL OUTLET	3636 CAMINO DEL RIO N STE 245	SAN DIEGO	CA	92108	433-251-01-00	VERICOM GLOBAL SOLUTIONS
46	STORES, RETAIL OUTLET	3638 CAMINO DEL RIO N STE 102	SAN DIEGO	CA	92108	433-251-02-00	DILLION CO. INC.
47	STORES, RETAIL OUTLET	3638 CAMINO DEL RIO N STE 280	SAN DIEGO	CA	92108	433-251-02-00	BASIE & FRITZ
48	STORES, RETAIL OUTLET	3590 CAMINO DEL RIO N STE 100	SAN DIEGO	CA	92108	433-251-03-00	SENTA CLINIC
49	STORES, RETAIL OUTLET	3590 CAMINO DEL RIO N STE 101	SAN DIEGO	CA	92108	433-251-03-00	SENTA CLINIC INC.
50	STORES, RETAIL OUTLET	3590 CAMINO DEL RIO N STE 102	SAN DIEGO	CA	92108	433-251-03-00	WEEKS BRIAN H MD
51	STORES, RETAIL OUTLET	3590 CAMINO DEL RIO N STE 103	SAN DIEGO	CA	92108	433-251-03-00	SENTA CLINIC INC.
52	STORES, RETAIL OUTLET	3590 CAMINO DEL RIO N STE 200	SAN DIEGO	CA	92108	433-251-03-00	SHARP COMMUNITY MEDICAL GROUP
53	STORES, RETAIL OUTLET	3590 CAMINO DEL RIO N STE 201	SAN DIEGO	CA	92108	433-251-03-00	FAILLACE ROBERT
54	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 101	SAN DIEGO	CA	92108	433-251-04-00	ROBINS & ASSOCIATES
55	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 103	SAN DIEGO	CA	92108	433-251-04-00	LANE S DAVID LWA OFFICE APC
56	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 105	SAN DIEGO	CA	92108	433-251-04-00	VACANT
57	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 109	SAN DIEGO	CA	92108	433-251-04-00	TOMA & PETROS INC.
58	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 110	SAN DIEGO	CA	92108	433-251-04-00	CAMINO DEL RIO OWNER LLC
59	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 200	SAN DIEGO	CA	92108	433-251-04-00	AWARD COMMERCIAL PROPERTIES
60	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 202	SAN DIEGO	CA	92108	433-251-04-00	52 HEALTHY WEEKS
61	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 204	SAN DIEGO	CA	92108	433-251-04-00	KERN RICHARD
62	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 205	SAN DIEGO	CA	92108	433-251-04-00	CAMINO DEL RIO OWNER LLC
63	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 300	SAN DIEGO	CA	92108	433-251-04-00	VOLUNTEERS OF AMERICA
64	STORES, RETAIL OUTLET	3530 CAMINO DEL RIO N STE 301	SAN DIEGO	CA	92108	433-251-04-00	ECUMENICAL COUNCIL-SAN DIEGO
65	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 100	SAN DIEGO	CA	92108	433-251-04-00	NOLI M ARBOLEDA - AMERIPRISE FINANCIAL SERVICES INC.
66	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 101	SAN DIEGO	CA	92108	433-251-04-00	CAMINO DEL RIO OWNER LLC
67	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 104	SAN DIEGO	CA	92108	433-251-04-00	HAUPT MELISSA
68	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 105	SAN DIEGO	CA	92108	433-251-04-00	SAN DIEGO PATHOLOGIST MEDICAL GROUP INC.
69	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 106	SAN DIEGO	CA	92108	433-251-04-00	CO. HIRSCH
70	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 200	SAN DIEGO	CA	92108	433-251-04-00	MC DEVITT & PRIBYL
71	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 202	SAN DIEGO	CA	92108	433-251-04-00	CAMINO DEL RIO OWNER LLC
72	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 204	SAN DIEGO	CA	92108	433-251-04-00	FARD ENGINEERS INC.
73	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 207	SAN DIEGO	CA	92108	433-251-04-00	GUIDE MY FINANCES
74	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 208	SAN DIEGO	CA	92108	433-251-04-00	CALIFORNIA MIRAMAR UNIV. INC.
75	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 212	SAN DIEGO	CA	92108	433-251-04-00	SCHIFRIN GAGNON & DICKEY ADJUSTORS & INVESTIGATORS
76	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 302	SAN DIEGO	CA	92108	433-251-04-00	R OH INC.
77	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 303	SAN DIEGO	CA	92108	433-251-04-00	CAMINO DEL RIO OWNER LLC
78	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 305	SAN DIEGO	CA	92108	433-251-04-00	RHA CONSTRUCTION FORENSICS GRP.
79	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 310	SAN DIEGO	CA	92108	433-251-04-00	WEISMAN AND ASSOCIATES

80	STORES, RETAIL OUTLET	3550 CAMINO DEL RIO N STE 320	SAN DIEGO	CA	92108	433-251-04-00	LOVE & ASSOC.
81	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 100	SAN DIEGO	CA	92108	433-251-04-00	FORECLOSURE RESOURCES INC.
82	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 102	SAN DIEGO	CA	92108	433-251-04-00	THERA-T
83	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 103	SAN DIEGO	CA	92108	433-251-04-00	SOREM & PASTORE LLP
84	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 104	SAN DIEGO	CA	92108	433-251-04-00	LEONE MICK DC
85	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 105	SAN DIEGO	CA	92108	433-251-04-00	SUNNY'S DELI
86	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 106	SAN DIEGO	CA	92108	433-251-04-00	IKEGAMI MOLD CORP.
87	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 108	SAN DIEGO	CA	92108	433-251-04-00	ACCREDITED HOME CARE
88	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 200	SAN DIEGO	CA	92108	433-251-04-00	CLAIMS JOURNAL
89	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 201	SAN DIEGO	CA	92108	433-251-04-00	LORIAN HOME SYSTEMS INC.
90	STORES, RETAIL OUTLET	3570 CAMINO DEL RIO N STE 305	SAN DIEGO	CA	92108	433-251-04-00	CSA ASSOCIATE
91	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 220	SAN DIEGO	CA	92108	439-480-20-00	ARROWHEAD GENERAL WHOLESALE
92	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 240	SAN DIEGO	CA	92108	439-480-20-00	VACANT
93	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 250	SAN DIEGO	CA	92108	439-480-20-00	KERCH & ASSOCIATES
94	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	439-480-20-00	JOB OPTIONS INC.
95	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	439-480-20-00	CUTURATI RESEARCH
96	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 320	SAN DIEGO	CA	92108	439-480-20-00	RUYLE C ALLEN
97	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 330	SAN DIEGO	CA	92108	439-480-20-00	GOLDEN STATE LAW GROUP - BANKRUPTCY
98	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 350	SAN DIEGO	CA	92108	439-480-20-00	LAW OFFICE-GERALD D BRODY-ASSC
99	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 400	SAN DIEGO	CA	92108	439-480-20-00	THIRTY FOUR SIXTY FIVE LTD LF SI
100	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 410	SAN DIEGO	CA	92108	439-480-20-00	AMERICAN MEDICAL RESPONSE
101	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 420	SAN DIEGO	CA	92108	439-480-20-00	THIRTY FOUR SIXTY FIVE LTD LF SI
102	STORES, RETAIL OUTLET	3465 CAMINO DEL RIO S STE 440	SAN DIEGO	CA	92108	439-480-20-00	LAW OFFICES OF GERALD BRODY
103	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	439-480-21-00	LEPISCOPO & MORROW LLP
104	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 102	SAN DIEGO	CA	92108	439-480-21-00	GUEST TRENDS
105	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 103	SAN DIEGO	CA	92108	439-480-21-00	MISSION BELL DELI
106	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-480-21-00	HOUSE GRAPHICS
107	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 206	SAN DIEGO	CA	92108	439-480-21-00	PROPERTY MANAGEMENT CONSULTANT
108	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	439-480-21-00	VACANT
109	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 301	SAN DIEGO	CA	92108	439-480-21-00	BROWN,GREGORY M & PAMELA M
110	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 302	SAN DIEGO	CA	92108	439-480-21-00	SCHMIDT LINDSEY
111	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 303	SAN DIEGO	CA	92108	439-480-21-00	TANYA L HILBER PSYD
112	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 304	SAN DIEGO	CA	92108	439-480-21-00	BROWN,GREGORY M & PAMELA M
113	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 306	SAN DIEGO	CA	92108	439-480-21-00	COHN WHOLESALE FRUIT-GROCERIES
114	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 307	SAN DIEGO	CA	92108	439-480-21-00	GAINES & WELSH
115	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 403	SAN DIEGO	CA	92108	439-480-21-00	ENVIRO MINE
116	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 404	SAN DIEGO	CA	92108	439-480-21-00	JOSEPH COSTA PHD
117	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 405	SAN DIEGO	CA	92108	439-480-21-00	SAN DIEGO IMPERIAL ALL SPORTS
118	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 406	SAN DIEGO	CA	92108	439-480-21-00	ALLIANCE ESCROW INC.
119	STORES, RETAIL OUTLET	3511 CAMINO DEL RIO S STE 500	SAN DIEGO	CA	92108	439-480-21-00	MICHAEL A JONES LCSW
120	VACANT COMMERCIAL	UNIMPROVED LAND/OPEN SPACE	SAN DIEGO	CA	92108	439-480-24-00	FREE SACRED TRINITY CHURCH

121	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-480-25-00	LUCERO LAW FIRM
122	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 201	SAN DIEGO	CA	92108	439-480-25-00	P W I C D R S 69%
123	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 202	SAN DIEGO	CA	92108	439-480-25-00	BROWN T L
124	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 204	SAN DIEGO	CA	92108	439-480-25-00	MT HELIX INVESTMENT FUND LLC
125	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 205	SAN DIEGO	CA	92108	439-480-25-00	P W I C D R S 69%
126	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 208	SAN DIEGO	CA	92108	439-480-25-00	NEMOY MARSHALL CPA
127	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 215	SAN DIEGO	CA	92108	439-480-25-00	AGILE IT
128	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	439-480-25-00	P W I C D R S 69%
129	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 400	SAN DIEGO	CA	92108	439-480-25-00	LAW GRADY
130	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 404	SAN DIEGO	CA	92108	439-480-25-00	P W I C D R S 69%
131	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 406	SAN DIEGO	CA	92108	439-480-25-00	IRS SOLVER
132	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 407	SAN DIEGO	CA	92108	439-480-25-00	LUNDMARK RAND C
133	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 408	SAN DIEGO	CA	92108	439-480-25-00	BOSTON NATIONAL TITLE
134	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 410	SAN DIEGO	CA	92108	439-480-25-00	HONORABLE LEGAL SERVICES
135	STORES, RETAIL OUTLET	3517 CAMINO DEL RIO S STE 412	SAN DIEGO	CA	92108	439-480-25-00	RENTTO & RENTTO
136	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	439-480-28-00	FOUNDATION COMMUNITY SVC.
137	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 111	SAN DIEGO	CA	92108	439-480-28-00	BARRAGAN INSURANCE AGENCY
138	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 120	SAN DIEGO	CA	92108	439-480-28-00	ATLANTIDA LLC
139	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 130	SAN DIEGO	CA	92108	439-480-28-00	TRANSACTION SERVICES
140	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 138	SAN DIEGO	CA	92108	439-480-28-00	LEDERMANN ROBERT J
141	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 160	SAN DIEGO	CA	92108	439-480-28-00	ATLANTIDA LLC
142	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-480-28-00	VACANT
143	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 208	SAN DIEGO	CA	92108	439-480-28-00	SUBSTANCE ABUSE EVALUATION RESOURCE (CLOSED)
144	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 212	SAN DIEGO	CA	92108	439-480-28-00	VANJA A. GALE PSY.D.
145	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 220	SAN DIEGO	CA	92108	439-480-28-00	GUARDIAN ANGEL HOME CARE INC.
146	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 230	SAN DIEGO	CA	92108	439-480-28-00	ANDROMEDA SYSTEMS INC.
147	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 234	SAN DIEGO	CA	92108	439-480-28-00	RJW PROPERTIES INC.
148	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 236	SAN DIEGO	CA	92108	439-480-28-00	MATEUS CONSULTING SVC.
149	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 238	SAN DIEGO	CA	92108	439-480-28-00	WELSH-OSGA BARBARA PHD
150	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 240	SAN DIEGO	CA	92108	439-480-28-00	ATLANTIDA LLC
151	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 250	SAN DIEGO	CA	92108	439-480-28-00	ATLANTIDA LLC
152	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 263	SAN DIEGO	CA	92108	439-480-28-00	ATLANTIDA LLC
153	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 264	SAN DIEGO	CA	92108	439-480-28-00	ADMINISTRATORS ASSOCIATION
154	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	439-480-28-00	LEE VERNON S CERTIFIED PUBLIC
155	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 305	SAN DIEGO	CA	92108	439-480-28-00	ATLANTIDA LLC
156	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 308	SAN DIEGO	CA	92108	439-480-28-00	PARISI PORTFOLIO
157	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	439-480-28-00	NAVARRO LAW FIRM
158	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 332	SAN DIEGO	CA	92108	439-480-28-00	CONCORDE ENTERPRISE
159	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 334	SAN DIEGO	CA	92108	439-480-28-00	ATLANTIDA LLC
160	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 335	SAN DIEGO	CA	92108	439-480-28-00	CARMEN DE LLANO PHD
161	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 336A	SAN DIEGO	CA	92108	439-480-28-00	ALTA PROPERTIES

162	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 336B	SAN DIEGO	CA	92108	439-480-28-00	GRAPHIC POINT
163	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 337	SAN DIEGO	CA	92108	439-480-28-00	ATLANTIDA LLC
164	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 338	SAN DIEGO	CA	92108	439-480-28-00	LOVE RIGHT HOME CARE LLC
165	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 340	SAN DIEGO	CA	92108	439-480-28-00	MEAGAN NUNEZ LAW OFFICE
166	STORES, RETAIL OUTLET	3505 CAMINO DEL RIO S STE 350	SAN DIEGO	CA	92108	439-480-28-00	CARE PLUS INTL.
167	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 100A	SAN DIEGO	CA	92108	439-520-08-00	AMERISLEEP DIAGNOSTICS
168	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 100B	SAN DIEGO	CA	92108	439-520-08-00	STRATTON & GREEN ALC
169	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	439-520-08-00	PACIFIC SURGICAL
170	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-520-08-00	SAN DIEGO CTR. FOR SLEEP MDCN
171	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	439-520-08-00	SAN DIEGO COMPREHENSIVE PAIN MANAGEMENT CENTER
172	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 215A	SAN DIEGO	CA	92108	439-520-08-00	THE HEALING CENTER
173	STORES, RETAIL OUTLET	3703 CAMINO DEL RIO S STE 215B	SAN DIEGO	CA	92108	439-520-08-00	THE HEALING CENTER
174	STORES, RETAIL OUTLET	3645 CAMINO DEL RIO S	SAN DIEGO	CA	92108	439-520-09-00	M20 MARINE OUTFITTERS
175	STORES, RETAIL OUTLET	3661 CAMINO DEL RIO S	SAN DIEGO	CA	92108	439-520-09-00	WHOLESALE MED USA
176	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	439-520-10-00	DERYK INN-STATE FARM INS AGENT
177	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	439-520-10-00	STAR CPR
178	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 102	SAN DIEGO	CA	92108	439-520-10-00	DEBBRA TESSMER WAGNER MA LMFT
179	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 103	SAN DIEGO	CA	92108	439-520-10-00	RESILIENCE NATUROPATHIC INC.
180	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 105	SAN DIEGO	CA	92108	439-520-10-00	CENTURY CAPITAL MORTGAGE
181	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 107	SAN DIEGO	CA	92108	439-520-10-00	VACANT
182	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-520-10-00	WHITE GAIL M PHD
183	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 201	SAN DIEGO	CA	92108	439-520-10-00	DAWN'S BODYWORK & MASSAGE
184	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 202	SAN DIEGO	CA	92108	439-520-10-00	FARMERS INSURANCE GROUP
185	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 203	SAN DIEGO	CA	92108	439-520-10-00	BADDOUR DARALYNE M CPA
186	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 204	SAN DIEGO	CA	92108	439-520-10-00	MONCRIEFF BARBARA LCSW
187	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 205	SAN DIEGO	CA	92108	439-520-10-00	DORRIS JEREMY MD
188	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 206	SAN DIEGO	CA	92108	439-520-10-00	RIVERVIEW CENTER INC
189	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 207	SAN DIEGO	CA	92108	439-520-10-00	LIPPA ASSOCIATES INC.
190	STORES, RETAIL OUTLET	3633 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	439-520-10-00	SAN DIEGO ARTHRITIS MED CLINIC
191	STORES, RETAIL OUTLET	3717 CAMINO DEL RIO S	SAN DIEGO	CA	92108	439-520-16-00	A B-CPR
192	STORES, RETAIL OUTLET	3727 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	439-520-16-00	CENTER ON POLICY INITIATIVES
193	STORES, RETAIL OUTLET	3727 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-520-16-00	WEIL NICOLE L
194	STORES, RETAIL OUTLET	3727 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
195	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	439-520-16-00	VACANT
196	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 102	SAN DIEGO	CA	92108	439-520-16-00	THEATRICAL PAYROLL SVC.
197	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 103	SAN DIEGO	CA	92108	439-520-16-00	INTERNATIONAL CONNECTIONS
198	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 106	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
199	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 108	SAN DIEGO	CA	92108	439-520-16-00	AMERICAN FEDERATION-GOVT EMPLOY
200	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 109	SAN DIEGO	CA	92108	439-520-16-00	TREITLER & HAGER LLP
201	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 110	SAN DIEGO	CA	92108	439-520-16-00	GROUP LEGAL SERVICES INC.
202	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 111	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO

203	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	439-520-16-00	AMERICAN POSTAL WORKERS UNION
204	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 202	SAN DIEGO	CA	92108	439-520-16-00	PLASTERERS LOCAL 200 SOUTHERN
205	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 205	SAN DIEGO	CA	92108	439-520-16-00	ADENIRANYE OLABANJI
206	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 207	SAN DIEGO	CA	92108	439-520-16-00	HOTEL EMPLOYEES & RESTAURANT EMPLOYEES UNION
207	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 208	SAN DIEGO	CA	92108	439-520-16-00	ROOFERS UNION LOCAL NO 45
208	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
209	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 301	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
210	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 302	SAN DIEGO	CA	92108	439-520-16-00	TAMELA S DREYER LCSW
211	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 303	SAN DIEGO	CA	92108	439-520-16-00	SHANA J BLACK LAW OFFICE
212	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 304	SAN DIEGO	CA	92108	439-520-16-00	A FSCME LOCAL 127 SAN DIEGO AREA MUNICIPAL
213	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 306	SAN DIEGO	CA	92108	439-520-16-00	BENE SYS. INC.
214	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 307	SAN DIEGO	CA	92108	439-520-16-00	IATSE LOCAL 495 MOTION PICTURE STUDIO MECHANICS
215	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 400	SAN DIEGO	CA	92108	439-520-16-00	A FSCME LOCAL 127 SN DIEGO
216	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 403	SAN DIEGO	CA	92108	439-520-16-00	UNITED LABOR CENTER INCORPORATIO
217	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 407	SAN DIEGO	CA	92108	439-520-16-00	HOTEL EMPLOYEES-RSTRNT
218	STORES, RETAIL OUTLET	3737 CAMINO DEL RIO S STE 410	SAN DIEGO	CA	92108	439-520-16-00	AFT GUILD LOCAL 1931
219	VACANT COMMERCIAL	UNIMPROVED LAND/OPEN SPACE	SAN DIEGO	CA	92108	439-520-18-00	MORALES, RICARDO TR
220	STORE/OFFICE COMBO	3545 CAMINO DEL RIO S A	SAN DIEGO	CA	92108	439-520-19-01	KETTERING ROBYN L AGT.
221	STORE/OFFICE COMBO	3545 CAMINO DEL RIO S B	SAN DIEGO	CA	92108	439-520-19-02	KETTERING, ROBYN L
222	STORE/OFFICE COMBO	3545 CAMINO DEL RIO S D	SAN DIEGO	CA	92108	439-520-19-03	CABRILLO ASSOCIATION MGMT.
223	STORE/OFFICE COMBO	3545 CAMINO DEL RIO S C	SAN DIEGO	CA	92108	439-520-19-04	MURRY LAMPERT ARCHITECTURAL
224	STORE/OFFICE COMBO	3547 CAMINO DEL RIO S C	SAN DIEGO	CA	92108	439-520-19-05	MANCINI ACUPUNCTURE
225	STORE/OFFICE COMBO	3547 CAMINO DEL RIO S B	SAN DIEGO	CA	92108	439-520-19-06	I G M PRIMO PROPERTIES I LLC
226	STORE/OFFICE COMBO	3547 CAMINO DEL RIO S D	SAN DIEGO	CA	92108	439-520-19-07	LASTRA HOLDINGS LLC
227	STORE/OFFICE COMBO	3547 CAMINO DEL RIO S A	SAN DIEGO	CA	92108	439-520-19-08	TRABUS TECHNOLOGIES
228	STORE/OFFICE COMBO	3549 CAMINO DEL RIO S A	SAN DIEGO	CA	92108	439-520-19-09	KIM PAUL MD
229	STORE/OFFICE COMBO	3549 CAMINO DEL RIO S B	SAN DIEGO	CA	92108	439-520-19-10	KIM, PAUL E
230	STORE/OFFICE COMBO	3549 CAMINO DEL RIO S C	SAN DIEGO	CA	92108	439-520-19-11	BAILEY MEDICAL MANAGEMENT CO
231	STORE/OFFICE COMBO	3549 CAMINO DEL RIO S D	SAN DIEGO	CA	92108	439-520-19-12	I T SUPPORT PROS
232	STORE/OFFICE COMBO	3545 CAMINO DEL RIO S E	SAN DIEGO	CA	92108	439-520-19-13	MURRY LAMPERT ARCHITECTURAL
233	STORE/OFFICE COMBO	3545 CAMINO DEL RIO S F	SAN DIEGO	CA	92108	439-520-19-14	DE ALCALA STUDIO
234	STORE/OFFICE COMBO	3547 CAMINO DEL RIO S E	SAN DIEGO	CA	92108	439-520-19-15	TRABUS TECHNOLOGIES
235	STORE/OFFICE COMBO	3547 CAMINO DEL RIO S F	SAN DIEGO	CA	92108	439-520-19-16	PACIFIC IMAGES COM
236	STORE/OFFICE COMBO	3549 CAMINO DEL RIO S A	SAN DIEGO	CA	92108	439-520-19-17	KIM PAUL MD
237	STORE/OFFICE COMBO	3549 CAMINO DEL RIO S C	SAN DIEGO	CA	92108	439-520-19-19	BAILEY MEDICAL MANAGEMENT CO
238	STORE/OFFICE COMBO	3549 CAMINO DEL RIO S D	SAN DIEGO	CA	92108	439-520-19-20	I T SUPPORT PROS
239	VACANT COMMERCIAL	UNIMPROVED LAND/OPEN SPACE	SAN DIEGO	CA	92108	439-520-20-00	P W I C D R S 69%
240	STORES, RETAIL OUTLET	9449 FRIARS RD	SAN DIEGO	CA	92108	760-241-02-00	99 BARGAIN

THERE IS ONE PARCEL OWNED BY A CHURCH WHEN MEASURING PARCEL TO PARCEL BUT IT IS VACANT LAND/OPEN SPACE AND APPROXIMATELY 2000FT WHEN USING SURFACE STREETS

NOTICE OF EXEMPTION

ATTACHMENT 8

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 545920

Project Title: Healing Center CUP Amendment

PROJECT LOCATION-SPECIFIC: The project is located at 3703 Camino Del Rio South, San Diego CA 92108 within the Mission Valley Community Planning Area.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: Conditional Use Permit (CUP) and Site Development Permit (SDP) to amend previously approved CUP No. 1330834 and SDP No. 1420871. The amended permits would allow for the continuing operation of a Marijuana Outlet (MO) and for its expansion from a 400 square-foot MO to a 1,218 square-foot MO. The MO would be located within an existing 19,700 square-foot two story building with no exterior modifications. The 0.93-acre site is located at 3703 Camino Del Rio South, in the MV-CO Zone of the MVPDO within the Mission Valley Community Plan Area. The MO complies with all height and bulk regulations and is located on a site that is currently developed with the public utilities in place to serve the MO.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Khoa Nguyen, 3455 Camino Del Rio South, San Diego, CA 92108. (619) 550-6037.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: 15303 (New construction or conversion of small structures)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review that determined that the project would not have the potential for causing a significant effect on the environment. The project meets the criterial set forth in CEQA Section 15303 which allows for the construction of new small facilities as long as the construction does not exceed 10,000 square feet in urban areas. Since the new MO would only result in a new 1,218 square foot facility the exemption is appropriate. The exceptions listed in CEQA Section 15300.2 would not apply.

ATTACHMENT 8

LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Jeffrey Szymanski / SENIOR PLANNING
SIGNATURE/TITLE

1/17/2019
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

DOC# 2015-0471737



Sep 04, 2015 10:36 AM
OFFICIAL RECORDS
Ernest J. Dronenburg, Jr.,
SAN DIEGO COUNTY RECORDER
FEES: \$72.00

PAGES: 20

209

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004871

CONDITIONAL USE PERMIT NO. 1330834 AND
SITE DEVELOPMENT PERMIT NO. 1420871
THE HEALING CENTER MMCC - PROJECT NO. 378883
PLANNING COMMISSION

This Conditional Use Permit No. 1330834 and Site Development Permit No. 1420871 are granted by the Planning Commission of the City of San Diego to PACIFIC SURGICAL INSTITUTE OF PAIN MANAGEMENT, Owner and THE HEALING CENTER COOPERATIVE, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305 & 126.0504. The 0.93-acre site located at 3703 Camino Del Rio South is in the MVRP-MV-CO Zone, the Airport Influence Area (Montgomery Field) and the Airport Land Use Compatibility Overlay Zone within the Mission Valley Community Plan area. The project site is legally described as: Lot 1, Mission Valley Gardens, Map No. 5231, August 8, 1963.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate a Medical Marijuana Consumer Cooperative (MMCC) and subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 13, 2015, on file in the Development Services Department.

The project shall include:

- a. Operation of a Medical Marijuana Consumer Cooperative (MMCC) in a 400 square-foot tenant space within an existing 19,700 square-foot, two-story over basement, building;
- b. Existing landscaping (planting, irrigation and landscape related improvements);
- c. Existing off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 13, 2018.
2. This Conditional Use Permit [CUP] and corresponding use of this MMCC shall expire on August 13, 2020.
3. In addition to the provisions of the law, the MMCC must comply with; Chapter 4, Article 2, Division 15 and Chapter 14, Article 1, Division 6 of the San Diego Municipal Code.
4. No construction, occupancy, or operation of any facility or improvement described herein shall commence, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department.
 - b. The Permit is recorded in the Office of the San Diego County Recorder. .
 - c. A MMCC Permit issued by the Development Services Department is approved for all responsible persons in accordance with SDMC, Section 42.1504.
5. While this Permit is in effect, the MMCC shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the MMCC and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
11. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

13. The use within the 400 square-foot tenant space shall be limited to the MMCC and any use permitted in the MVPD-MV-CO Zone.
14. Consultations by medical professionals shall not be a permitted accessory use at the MMCC.
15. Lighting shall be provided to illuminate the interior of the MMCC, facade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
16. Security shall include operable cameras and a metal detector to the satisfaction of Development Services Department. This facility shall also include alarms and two armed security guards to the extent the possession of a firearm is not in conflict with 18 U.S.C. § 922(g) and 27 C.F.R § 478.11. Nothing herein shall be interpreted to require or allow a violation of federal firearms laws. The security guards shall be licensed by the State of California. One security guard must be on the premises 24 hours a day, seven days a week, the other must be present during business hours. The security guards should only be engaged in activities related to providing security for the facility, except on an incidental basis. The cameras shall have and use a recording device that maintains the records for a minimum of 30 days.
17. The Owner/Permittee shall install bullet resistant glass, plastic, or laminate shield at the reception area to protect employees.
18. The Owner/Permittee shall install bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in adjoining walls with other tenants, reception area, and vault room.
19. The name and emergency contact phone number of an operator or manager shall be posted in a location visible from outside of the MMCC in character size at least two inches in height.
20. The MMCC shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.
21. The use of vending machines which allow access to medical marijuana except by a responsible person, as defined in San Diego Municipal Code Section 42.1502, is prohibited. For purposes of this section and condition, a vending machine is any device which allows access to medical marijuana without a human intermediary.
22. The Owner/Permittee or operator shall maintain the MMCC, adjacent public sidewalks, and areas under the control of the owner or operator, free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter, and debris. Graffiti shall be removed within 24 hours.
23. Medical marijuana shall not be consumed anywhere within the 0.93-acre site.

24. The Owner/Permittee or operator shall post anti-loitering signs near all entrances of the MMCC.

25. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations and shall further be restricted by this permit. Sign colors and typefaces are limited to two. Ground signs shall not be pole signs. A sign is required to be posted on the outside of the MMCC and shall only contain the name of the business.

ENGINEERING REQUIREMENTS:

26. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the replacement of the existing driveway with City standard driveway, on Camino Del Rio South, per Standard Drawing SDG-159, satisfactory to the City Engineer.

TRANSPORTATION REQUIREMENTS:

27. No fewer than 81 parking spaces including 4 accessible spaces (81 parking spaces provided including 4 accessible spaces) shall be maintained on the property at all times in the approximate locations shown on Exhibit "A". All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

POLICE DEPARTMENT RECOMMENDATION:

28. The San Diego Police Department recommends that a Crime Prevention Through Environmental Design (CPTED) review be requested by their department and implemented for the MMCC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 13, 2015 and Resolution No. PC-4725.

Conditional Use Permit No.1330834 and Site Development Permit No. 1420871

PTS No. 381308

Date of Approval: August 13, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

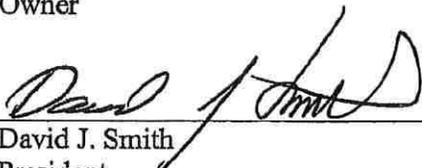


Edith Gutierrez
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder:**

SURGICAL INSTITUTE OF PAIN
MANAGEMENT
Owner

By 

David J. Smith
President

*See attached CA Acknowledgment
8/25/15 Rm*

THE HEALING CENTER COOPERATIVE
Permittee

By 

Raymond J. Taylor
President

*SEE ATT. CA ACK 8/21/15
KTS*

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of San Diego)

On September 3, 2015 before me, Vivian M. Gies, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Edith Gutierrez
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Vivian M. Gies
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document PTS 378883/The Healing Center MMCC/CUP #1330834
Title or Type of Document: SDP #1420871 Document Date:
Number of Pages: Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name:
Corporate Officer - Title(s):
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:

Signer's Name:
Corporate Officer - Title(s):
Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:

ORIGINAL

Certificate of Acknowledgment

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of San Diego }

On August 25, 2015 before me, R. McIntyre, Notary Public, personally appeared David J. Smith

_____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in his/~~her~~/~~their~~ authorized capacity(ies), and that by his/~~her~~/~~their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal



Signature R. McIntyre (Seal)

Title of Document Attached to: Conditional Use permit 1330834

ORIGINAL

CALIFORNIA ALL PURPOSE ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA

COUNTY OF SAN DIEGO

On AUG 21, 2015 before me, KIRSTI JO DONALDSON Notary
Date Insert Name and Title of the officer

Public, personally appeared RAYMOND J. TAYLOR

Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: Kirsti Jo Donaldson



OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent attachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: COND. USE PERMIT Document Date: _____
Number of Pages: 8 Signer(s) Other Than Named Above: DAVID SMITH, JAMES V. DICKINSON

Capacity(ies) Claimed by Signer(s)

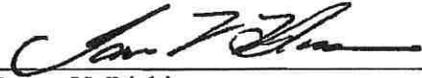
Signers Name: RAYMOND J TAYLOR
 Corporate Officer - Title(s) PRES.
 Partner - Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer is Representing: _____

Signers Name: _____
 Corporate Officer - Title(s) _____
 Partner - Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer is Representing: _____

ORIGINAL


NAILA DRIJAS
Notary Public
Montgomery County
Maryland
My Commission Expires July 06, 2019

THE HEALING CENTER COOPERATIVE
Permittee

By 
James V. Dickinson
Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION
RESOLUTION NO. PC-4725
CONDITIONAL USE PERMIT NO. 1330834 AND
SITE DEVELOPMENT PERMIT NO. 1420871
THE HEALING CENTER MMCC - PROJECT NO. 378883

WHEREAS, PACIFIC SURGICAL INSTITUTE OF PAIN MANAGEMENT, Owners and THE HEALING CENTER COOPERATIVE, Permittee, filed an application with the City of San Diego for a permit to operate a Medical Marijuana Consumer Cooperative (MMCC) in a 400 square-foot tenant space within an existing 19,700 square-foot building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1330834 and 1420871), on portions of a 0.93-acre site;

WHEREAS, the project site located at 3703 Camino Del Rio South is in the MVPD-MV-CO Zone, the Airport Influence Area (Montgomery Field) and the Airport Land Use Compatibility Overlay Zone within the Mission Valley Community Plan area;

WHEREAS, the project site is legally described as Lot 1, Mission Valley Gardens, Map No. 5231, August 8, 1963;

WHEREAS, on March 17, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on June 24, 2015, the Hearing Officer of the City of San Diego approved Conditional Use Permit No. 1330834 and Site Development Permit No. 1420871 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on July 9, 2015, Scott Chipman filed an appeal of the Hearing Officer's decision;

WHEREAS, on August 13, 2015, the Planning Commission of the City of San Diego considered the appeal of Conditional Use Permit No. 1330834 and Site Development Permit No. 1420871 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated August 13, 2015.

FINDINGS:

Conditional Use Permit Approval – Section §126.0305

1. The proposed development will not adversely affect the applicable land use plan.

The 0.93-acre site located at 3703 Camino Del Rio South is developed with a two-story, over garage, 19,700 square foot building. The site is designated Commercial Office by the Mission Valley Community Plan. The Commercial Office designation encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed MMCC will provide the local residents with "neighborhood" facilities as encouraged by the community plan.

All of the surrounding parcels adjacent to this site are in the MVPD-MV-CO zone and the existing uses are consistent with the Commercial Office designation of the community plan. The proposed MMCC, classified as commercial services, is a compatible use for this location with a Conditional Use Permit and Site Development Permit, is consistent with the community plan, and therefore will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The two-story, over garage, 19,700 square-foot building was developed per Planned Commercial Development Permit No. 87-0057. The proposed MMCC would be located in a tenant space within the existing building. There are no proposed exterior improvements. Interior improvements include a reception area, dispensary and office. The tenant improvement building permit will require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards. Public improvements include the replacement of the existing driveway on Camino Del Rio South with a City standard driveway.

The City of San Diego conducted an environmental review of this site in accordance with the California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures).

MMCCs are restricted to four per Council District, 36 city-wide, within commercial and industrial zones in order to minimize the impact on the City and residential neighborhoods. MMCCs require compliance with San Diego Municipal Code (SDMC), section 141.0614 which require a 1,000 foot separation, measured between property lines, from: public parks, churches, child care centers, playgrounds, libraries, minor-oriented facilities, other medical marijuana consumer cooperatives, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. In addition to minimum distance requirements, MMCCs prohibit consultations by medical professionals on site and do not allow certain types of vending machines. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. Hours of operation are limited from 7:00 a.m. to 9:00 p.m. seven days a week. MMCCs must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The project requires compliance with the development conditions in effect for the subject property as described in Conditional Use Permit No. 1330834 and Site Development Permit No. 1420871.

The Conditional Use Permit and Site Development Permit are valid for five years, however may be revoked if the use violates the terms, conditions, lawful requirements, or provisions of the permit.

The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons patronizing, residing or working within the surrounding area and therefore, the proposed MMCC will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The site is in the MVPD-MV-CO zone in the Mission Valley Planned District Ordinance (MVPDO) and the Development Intensity Overlay District (DID). The site was developed per Planned Commercial Development Permit No. 87-0057. There are no proposed exterior improvements. Interior improvements include a reception area, dispensary and office. The tenant improvement building permit will require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards. Public improvements include the replacement of the existing driveway on Camino Del Rio South with a City standard driveway.

MMCCs are allowed in the MVPD-MV-CO zone of the MVPDO with a Conditional Use Permit (CUP) and Site Development Permit (SDP). A SDP is required due to estimated traffic resulting in a value in excess of the allowed Threshold 2 for the designated DID, however a Traffic Analysis prepared by Urban System Associates and reviewed by staff determined that the proposed increase in traffic by the MMCC is not expected to adversely impact the surrounding roadway system.

The CUP requires MMCCs to comply with SDMC, section 141.0614 which requires a 1,000 foot separation, measured between property lines, from: public parks, churches, child care centers, playgrounds, libraries, minor-oriented facilities, other medical marijuana consumer cooperatives, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. In addition to minimum distance requirements, MMCCs prohibit consultations by medical professionals on site and do not allow certain types of vending machines. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. Hours of operation are limited from 7:00 a.m. to 9:00 p.m. seven days a week. MMCCs must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed MMCC is consistent with the land use designation of Commercial Office. The proposed MMCC meets all development regulations, no deviations are requested, and the permit as conditioned assures compliance with all the development regulations of the San Diego Municipal Code. The proposed MMCC therefore complies with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The 0.93-acre site located at 3703 Camino Del Rio South is designated Commercial Office by the Mission Valley Community Plan. The proposed MMCC is consistent with the Commercial Office designation of the MVPDO.

MMCCs are allowed in the MVPD-MV-CO zone with a Conditional Use Permit and Site Development Permit. The CUP requires MMCCs to comply with SDMC, section 141.0614 which requires a 1,000 foot separation, measured between property lines, from: public parks, churches, child care centers,

playgrounds, libraries, minor-oriented facilities, other medical marijuana consumer cooperatives, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. In addition to minimum distance requirements, MMCCs prohibit consultations by medical professionals on site and do not allow certain types of vending machines. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. Hours of operation are limited from 7:00 a.m. to 9:00 p.m. seven days a week. MMCCs must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The San Diego Municipal code limits MMCCs to commercial and industrial zones and the number of MMCCs to only four per Council District, 36 city-wide, in order to minimize the impact on the City and residential neighborhoods. All of the surrounding parcels are in the MVPD-MV-CO zone and the existing uses are consistent with the Commercial Office designation of the community plan. The proposed MMCC, classified as commercial services, is a compatible use for this location with a Conditional Use Permit and Site Development Permit. A Traffic Analysis prepared by Urban System Associates and reviewed by staff determined that the proposed increase in traffic by the MMCC is not expected to adversely impact the surrounding roadway system. Therefore, the proposed MMCC is an appropriate use at the proposed location.

Site Development Permit I. - Section §126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The site is in the MVPD-MV-CO zone in the Mission Valley Planned District Ordinance (MVPDO) and the Development Intensity Overlay District (DID). The 0.93-acre site located at 3703 Camino Del Rio South is designated Commercial Office by the Mission Valley Community Plan. The Commercial Office designation encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses.

All of the surrounding parcels adjacent to this site are in the MVPD-MV-CO zone and the existing uses are consistent with the Commercial Office designation of the community plan. The proposed MMCC, classified as commercial services, is a compatible use for this location with a Conditional Use Permit and Site Development Permit, is consistent with the community plan, and therefore will not adversely affect the applicable land use plan.

The MVPDO area is composed of three traffic areas (Areas 1-3) and thirteen Development Intensity Overlay District (DID) each with two thresholds (1 & 2). This project site is located in Traffic Area 3, within Threshold 2. The conversion of 400 square feet of commercial office to commercial services would generate an additional 16 ADT and place the entire site in excess of Threshold 2. A Traffic Analysis prepared by Urban System Associates and reviewed by staff determined that the increase in traffic generated by the proposed MMCC is minimal and not expected to adversely impact the surrounding roadway system. Therefore, the proposed project will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed MMCC tenant space is currently vacant. There are no proposed exterior improvements. Interior improvements include a reception area, dispensary and office. The tenant improvement building

permit will require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards. Public improvements include the replacement of the existing driveway on Camino Del Rio South with a City standard driveway.

The City of San Diego conducted an environmental review of this site in accordance with the California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures).

MMCCs are restricted to four per Council District, 36 city-wide, within commercial and industrial zones in order to minimize the impact on the City and residential neighborhoods. MMCCs require compliance with San Diego Municipal Code (SDMC), section 141.0614 which require a 1,000 foot separation, measured between property lines, from: public parks, churches, child care centers, playgrounds, libraries, minor-oriented facilities, other medical marijuana consumer cooperatives, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. In addition to minimum distance requirements, MMCCs prohibit consultations by medical professionals on site and do not allow certain types of vending machines. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. Hours of operation are limited from 7:00 a.m. to 9:00 p.m. seven days a week. MMCCs must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation. Additionally, a Traffic Analysis prepared by Urban System Associates and reviewed by staff determined that the proposed increase in traffic by the MMCC is not expected to adversely impact the surrounding roadway system.

The project requires compliance with the development conditions in effect for the subject property as described in Conditional Use Permit No. 1330834 and Site Development Permit No. 1420871. The Conditional Use Permit and Site Development Permit are valid for five years, however may be revoked if the use violates the terms, conditions, lawful requirements, or provisions of the permit.

The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons patronizing, residing or working within the surrounding area and therefore, the proposed MMCC will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The site is in the MVPD-MV-CO zone in the Mission Valley Planned District Ordinance (MVPDO) and the Development Intensity Overlay District (DID). The site was developed per Planned Commercial Development Permit No. 87-0057. There are no proposed exterior improvements. Interior improvements include a reception area, dispensary and office. The tenant improvement building permit will require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards. Public improvements include the replacement of the existing driveway on Camino Del Rio South with a City standard driveway.

MMCCs are allowed in the MVPD-MV-CO zone of the MVPDO with a Conditional Use Permit (CUP) and Site Development Permit (SDP). A SDP is required due to estimated traffic resulting in a value in excess of the allowed Threshold 2 for the designated DID of the MVPDO. The proposed 16 ADT increase is well within the allowable increase established by the City of San Diego for use in determining

traffic impacts. A Traffic Analysis prepared by Urban System Associates and reviewed by staff determined that the proposed MMCC is not expected to adversely impact the surrounding roadway system.

The CUP requires MMCCs to comply with SDMC, section 141.0614 which requires a 1,000 foot separation, measured between property lines, from: public parks, churches, child care centers, playgrounds, libraries, minor-oriented facilities, other medical marijuana consumer cooperatives, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. In addition to minimum distance requirements, MMCCs prohibit consultations by medical professionals on site and do not allow certain types of vending machines. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. Hours of operation are limited from 7:00 a.m. to 9:00 p.m. seven days a week. MMCCs must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed MMCC is consistent with the land use designation of Commercial Office. The proposed MMCC meets all development regulations, no deviations are requested, and the permit as conditioned assures compliance with all the development regulations of the San Diego Municipal Code. The proposed MMCC therefore complies with the regulations of the Land Development Code.

Site Development Permit II. – Section §1514.0201

1. The proposed development is consistent with the Mission Valley Community Plan and the Progress Guide and General Plan.

The 0.93-acre site located at 3703 Camino Del Rio South is designated Commercial Office by the Mission Valley Community Plan. The Commercial Office designation encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses.

All of the surrounding parcels adjacent to this site are in the MVPD-MV-CO zone and the existing uses are consistent with the Commercial Office designation of the community plan. A SDP is required due to estimated traffic resulting in a value in excess of the allowed Threshold 2 for the designated DID. Threshold 2 allows up to 424 Average Daily Trips (ADT) per acre for the site. The existing 19,700 square-foot commercial office building has a calculated ADT/acre Threshold value of 424 ADT/acre. The conversion of 400 square feet of commercial office to commercial services would generate an additional 16 ADT and place the entire site in excess of Threshold 2. In order to determine if the increased ADT would adversely affect the community plan, a traffic analysis was required. The Traffic Analysis prepared by Urban System Associates, Inc., dated June 19, 2015, determined that the increase in traffic generated by the proposed MMCC is minimal and not expected to adversely impact the surrounding roadway system. Staff has reviewed the traffic analysis and agrees with the traffic analysis conclusion.

The proposed MMCC, classified as commercial services, and with a 16 ADT increase is a compatible use for this location, is consistent with the community plan and the Progress Guide and General Plan.

2. The proposed development provides the required public facilities and is compatible with adjacent open space areas.

The two-story, over garage, 19,700 square-foot building was developed per Planned Commercial Development Permit No. 87-0057 and is located less than 500 feet from the nearest Open Space Designation. The proposed 400 square-foot MMCC is located within the existing building and no exterior improvements are proposed. Interior improvements include a reception area, dispensary and office. Public improvements include the replacement of the existing driveway on Camino Del Rio South with a City standard driveway. The existing building was constructed in compliance with all development regulations at the time including the required public facilities and adjacent open space areas.

3. The proposed development meets the purpose, intent and criteria of the Mission Valley Planned District Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district.

MMCCs are allowed in the MVPD-MV-CO zone of the MVPDO with a Conditional Use Permit (CUP) and Site Development Permit (SDP), Process 3 decision. A SDP is required due to estimated traffic resulting in a value in excess of the allowed Threshold 2 for the designated DID. The conversion of 400 square feet of commercial office to commercial services would generate an additional 16 ADT and place the entire site in excess of Threshold 2. A Traffic Analysis prepared by Urban System Associates and reviewed by staff determined that the proposed increase in traffic by the MMCC is not expected to adversely impact the surrounding roadway system.

Guidelines for Discretionary Review have been fulfilled as the project has successfully submitted a deemed complete application for review through the City of San Diego and brought forward to a decision maker for a decision in accordance to San Diego Municipal Code section 1514.0201 (Permit Application, Review, and Issuance). Therefore, the proposed development meets the purpose, intent and criteria of the Mission Valley Planned District Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district

4. The proposed development will comply with all other relevant regulations in the San Diego Municipal Code.

The site is in the MVPD-MV-CO zone in the Mission Valley Planned District Ordinance (MVPDO) and the Development Intensity Overlay District (DID). The site was developed per Planned Commercial Development Permit No. 87-0057. There are no proposed exterior improvements. Interior improvements include a reception area, dispensary and office. Public improvements include the replacement of the existing driveway on Camino Del Rio South with a City standard driveway.

MMCCs are allowed in the MVPD-MV-CO zone of the MVPDO with a Conditional Use Permit (CUP) and Site Development Permit (SDP). A SDP is required due to estimated traffic resulting in a value in excess of the allowed Threshold 2 for the designated DID, however a Traffic Analysis prepared by Urban System Associates and reviewed by staff determined that the proposed increase in traffic by the MMCC is not expected to adversely impact the surrounding roadway system.

The CUP requires MMCCs to comply with SDMC, section 141.0614 which requires a 1,000 foot separation, measured between property lines, from: public parks, churches, child care centers, playgrounds, libraries, minor-oriented facilities, other medical marijuana consumer cooperatives, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. In addition to minimum distance requirements, MMCCs prohibit consultations by

medical professionals on site and do not allow certain types of vending machines. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. Hours of operation are limited from 7:00 a.m. to 9:00 p.m. seven days a week. MMCCs must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

Site Development Permit II. – Section §1514.0301

1. The increase in traffic generated by the proposed development will not lower, by any increment, the level of service of affected streets and freeways from what was anticipated in the community plan.

The proposed 400 square-foot MMCC is located within an existing 19,700 square-foot building on a 0.93-acre site. The site is within the DID of the MVPDO, Threshold 2. Threshold 2 allows up to 424 Average Daily Trips (ADT) per acre. The existing 19,700 square-foot commercial office building has a calculated ADT/acre Threshold value of 424 ADT/acre. The conversion of 400 square feet of commercial office to commercial services would generate an additional 16 ADT and place the entire site in excess of Threshold 2. A Traffic Analysis prepared by Urban System Associates, Inc. determined that the increase in traffic generated by the proposed MMCC is minimal and not expected to adversely impact the surrounding roadway system. Staff has reviewed the traffic analysis and agrees with the assessment.

The proposed MMCC will therefore not lower, by any increment, the level of service of the affected streets and freeways from what was anticipated in the community plan.

2. Accommodation of the traffic generated by the proposed development will not alter the circulation network identified in the adopted Mission Valley Community Plan.

The two-story, over garage, 19,700 square-foot building was developed per Planned Commercial Development Permit No. 87-0057. The proposed MMCC would be located in a tenant space within the existing building. There are no proposed exterior improvements. The conversion of 400 square feet of commercial office to commercial services would generate an additional 16 ADT and place the entire site in excess of Threshold 2. A Traffic Analysis prepared by Urban System Associates, Inc. determined that the increase in traffic generated by the proposed MMCC is minimal and not expected to adversely impact the surrounding roadway system. The proposed MMCC will therefore not alter the circulations network identified in the adopted Mission Valley Community Plan.

3. An approved light rail transit or other regional or intra-valley public transit system station is identified within 1500 feet of any portion of the proposed structure that would receive the density bonus.

The proposed 400 square-foot MMCC is located within an existing 19,700 square-foot building developed per Planned Commercial Development Permit No. 87-0057. There are no proposed exterior modifications to the existing building, therefore no new street connections or road widening are proposed. However, the project site is located within 1,500 feet of the Mission San Diego station of the San Diego Trolley and is adjacent to Bus Route 18 with a stop on the edge of the project site. Bus Route 18 connects the site to the Grantville Trolley station and is in close proximity to the Mission Valley trolley station.

4. All other public facilities can accommodate the increased intensity in land use.

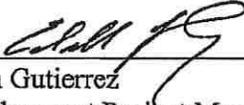
The proposed 400 square-foot MMCC is located within an existing 19,700 square-foot building developed per Planned Commercial Development Permit No. 87-0057. There are no proposed exterior modifications to the existing building. There are no nearby residential uses, and therefore public facilities such as schools, libraries and parks are not required or developed within the immediate vicinity of the property. The Grantville Transit Station is located near the proposed MMCC, however the 16 ADT increase in traffic generated by the proposed MMCC is minimal and not expected to adversely impact the surrounding roadway system.

5. The increased intensity in land use does not adversely affect access to, views of, or preservation of community plan identified open space areas.

The two-story, over garage, 19,700 square-foot building was developed per Planned Commercial Development Permit No. 87-0057. The proposed 400 square-foot MMCC would be located within an existing tenant space. The existing building was constructed to meet all the development regulations at the time, including the access, views and preservation of open space areas.

The proposed MMCC is consistent with the land use designation of Commercial Office. The proposed MMCC meets all development regulations, no deviations are requested, and the permit as conditioned assures compliance with all the development regulations of the San Diego Municipal Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 1330834 and Site Development Permit No. 1420871 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1330834 & 1420871, a copy of which is attached hereto and made a part hereof.



Edith Gutierrez
Development Project Manager
Development Services

Adopted on: August 13, 2015

Job Order No. : 24004871

**MINUTES OF THE
MISSION VALLEY PLANNING GROUP**

November 7, 2018

Mission Valley Public Library, Community Room
2123 Fenton Parkway, San Diego, CA 92108

Members Present:

Michele Addington, Cameron Bucher, Bob Cummings, Perry Dealy, Kaye Durant, Jonathan Frankel, Alan Grant, Derek Hulse, John La Raia, Elizabeth Leventhal, Kathy McSherry, Andrew Michajlenko, Jim Penner, Keith Pittsford, Marco Sessa, Dottie Surdi, Rick Tarbell, Josh Weiselberg and Larry Wenell.

Members Absent: Steve Abbo, Patrick Pierce,

City/Government Staff:

Javier Gomez – Office of Assembly Member Todd Gloria
Dave Gibson, new representative for the SDPD Dkeilbson@PD.sandiego.gov

Guests:

See list at end of minutes

A. CALL TO ORDER

Cameron Bucher called the regular meeting of the Mission Valley Planning Group (MVPG) to order at 12:05 p.m. at the Mission Valley Library Community Room located at 2123 Fenton Parkway, San Diego, CA.

Verify Quorum: 19 members were present, constituting a quorum.

B. PLEDGE OF ALLEGIANCE –

Kathy McSherry led the Pledge of Allegiance.

C. INTRODUCTIONS / OPENING REMARKS/REPORT OF THE CHAIR

Cameron Bucher, acting chair, welcomed everyone to the meeting and reminded those present to sign the sign in sheets. It was also noted that the meeting agenda was posted at the Library, but was not posted to the City website.

D. APPROVAL OF MINUTES

Elizabeth Leventhal moved to approve the minutes of the October 3, 2018 regular meeting; Michele Addington seconded the motion. Minutes were approved 17-0-2 with Michele Addington, Cameron Bucher, Perry Dealy, Kaye Durant, Bob Cummings, Jonathan Frankel, Alan Grant, Derek Hulse, John La Raia, Elizabeth Leventhal, Kathy McSherry, Andrew Michajlenko, Keith Pittsford, Marco Sessa, Rick Tarbell, Josh Weiselberg and Larry Wenel voting yes. Dottie Surdi and Jim Penner abstained due to their September absence.

E. PUBLIC INPUT

1. David Myer from SD Health announced an open house on November 25, 2018 for a Hillcrest Medical Center Update.
2. Marco Sessa announced that a Public Farmers Market is being held at Civita on Friday afternoons from about 3PM until 7PM.

F. MEMBERSHIP COMMITTEE

1. Open position Volunteer, Michael Sherman representing the Scottish Rite Center in the category of Property Taxpayer was elected unanimously and seated.
2. Election of Chair and Vice Chair of MVPG – Keith Pittsford and Bob Cummings counted ballots and confirmed:
 - a. Jonathan Frankel for chairperson
 - b. Kaye Durant for vice-chairperson

G. TREASURER'S REPORT

1. Elizabeth Leventhal No Changes reported

H. ACTION ITEMS

1. CUP Amendment – The Marijuana Outlet, 3703 Camino Del Rio South

The applicant made a presentation concerning the proposed expansion of the marijuana facility. Elizabeth Leventhal expressed her opinion for not needing an expansion. Marco Sessa had questions on City issues, traffic and remaining City comments. Cameron Bucher and others had questions concerning the size of the expansion proposed and the need. Keith Pittsford had questions concerning the glass, screening, and ventilations.

Kaye Durant moved to recommend the initiative and amended the motion to include that all City comments need to be closed out; Perry Dealy seconded the motion. The matter was recommended 16-3-0 with Michele Addington, Cameron Bucher, Perry Dealy, Kaye Durant, Bob Cummings, Jonathan Frankel, Alan Grant, Derek Hulse, John La Raia, Kathy McSherry, Andrew Michajlenko, Keith Pittsford, Marco Sessa, Dottie Surdi, Rick Tarbell, Josh Weiselberg voting yes and Elizabeth Leventhal, Jim Penner, and Larry Wenell voting no.

I. INFORMATION ITEMS

1. City of San Diego – Proposed Water Main Replacements – Gabriel Torres

Gabriel noted that work will be performed during the day with traffic control and notices will be send out for the sections affected ahead of time. Josh noted that ComicCon event is July 18-21 and recommended to start after that event. Other questions were posed concerning the engineering aspects of the project, including work hours and lay down/storage area. No action was taken on the matter.

J. COMMITTEE/COMMUNITY REPORTS:

1. Subcommittee Reports:
Standing Committees:



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318
October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: The Healing Center of San Diego (THCSD) **Project No. For City Use Only:** _____
Project Address: 3703 Camino del Rio S #215 San Diego, CA 92129

Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? CA Corporate Identification No. 82-52001435
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
Name of Individual: Del Rio Medical & Dental Plaza, LLC Owner Tenant/Lessee Successor Agency
Street Address: 3703 Camino del Rio S
City: San Diego State: CA Zip: 92108
Phone No.: 858-431-6948 Fax No.: N/A Email: sdcountymedicalbuildings@gmail.com
Signature: [Signature] DIRECTOR Date: 1/22/19
Additional pages Attached: Yes No

Applicant
Name of Individual: The Healing Center of San Diego (THCSD) Owner Tenant/Lessee Successor Agency
Street Address: 3703 Camino del Rio S #215
City: San Diego State: CA Zip: 92108
Phone No.: General 858-324-2420 James Dickinson 240-833-1392 Fax No.: N/A Email: jim@jimdickinson.com
Signature: [Signature] Vice President Date: 1/22/19
Additional pages Attached: Yes No

Other Financially Interested Persons
Name of Individual: n/a Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: Yes No

ATTACHMENT 11

More Than 10% Owners of The Healing Center of San Diego

Raymond J. Taylor

13223 Black Mountain Road #1344

San Diego, CA 92129

858-371-1409

Sherry C. Taylor

13223 Black Mountain Road #1344

San Diego, CA 92129

858-837-1401

Janet E. Herndon

9 Bethayres CT

Derwood, MD 20855

240-676-1660

The Healing Center Marijuana Outlet

3703 Camino Del Rio South, San Diego, CA. 92108

Scott Bernet Architects
A Professional Corporation
2031 Second Ave., San Diego, CA 92101 619.237-9433 fax 619.237-9499



THE HEALING CENTER
Marijuana Outlet
3703 Camino Del Rio South
SAN DIEGO, CA. 92108



SHEET TITLE:
TITLE SHEET
DRAWING DATE : 01/19/17

REVISION 1 : 03/05/18

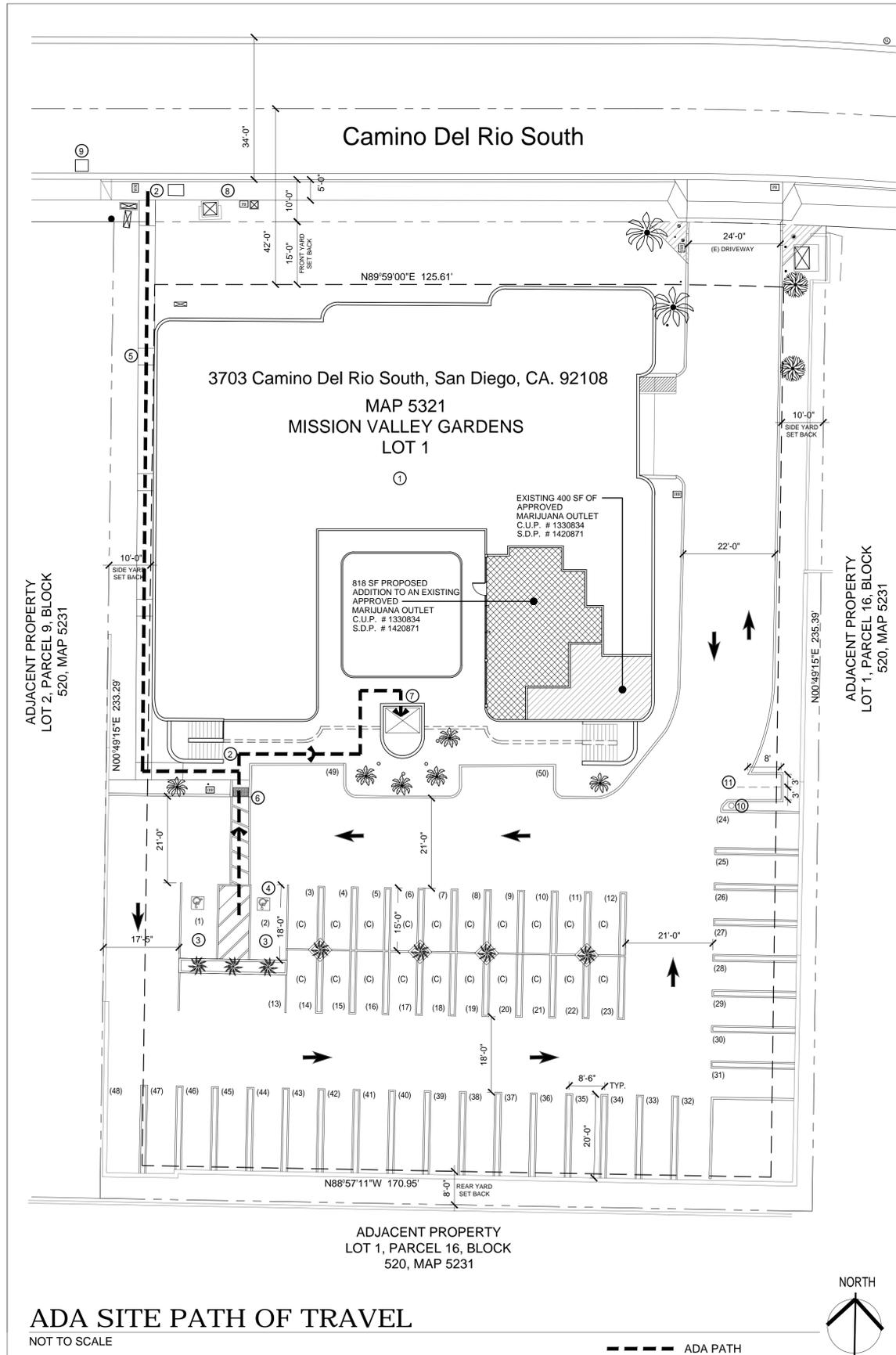
REVISION 2 :

REVISION 3 :

REVISION 4 :

REVISION 5 :

SHEET NUMBER
TS
SHEET 1 OF 5



KEYNOTES

- ① EXISTING STRUCTURE
- ② ACCESSIBLE PATH OF TRAVEL
- ③ ACCESSIBLE PARKING STALL
- ④ VAN SPACE
- ⑤ NEW ADA RAMP AND SIDEWALK
- ⑥ EXISTING CURB RAMP AND DETECTABLE WARNING STRIP
- ⑦ EXISTING ELEVATOR
- ⑧ EXISTING SIDEWALK
- ⑨ EXISTING BUS STOP
- ⑩ EXISTING FIRE HYDRANT
- ⑪ (2) MOTORCYCLE PARKING SPACES

EXISTING USES & AREAS

ANY USE MAY BE ALLOWED THAT IS PERMITTED IN THE MVRP-MV-CO ZONE

3703 CAMINO DEL RIO SOUTH
CURRENT USES: MISC. OFFICE TENANTS

CURRENT SPACE TO BE REMODELED: OFFICE

CURRENT USES:

HEALTH PRACTITIONERS	11,377 SF
PHYSICAL THERAPY	1,312 SF
ATTORNEYS	4,646 SF
MANAGEMENT OFFICE (PROPOSED T.I.)	818 SF
MEDICAL MARIJUANA OUTLET	400 SF
BUILDING CIRCUL / RESTROOM	1,147 SF
TOTAL:	19,700 SF

PROPOSED USES:

HEALTH PRACTITIONERS	11,377 SF
PHYSICAL THERAPY	1,312 SF
ATTORNEYS	4,646 SF
MEDICAL MARIJUANA OUTLET	1,218 SF
BUILDING CIRCUL / RESTROOM	1,147 SF
TOTAL:	19,700 SF

PARKING ANALYSIS

FROM APPROVED MARIJUANA OUTLET (MMCC)
CUP # 1330834

SAN DIEGO PLANNED COMMERCIAL DEVELOPMENT PERMIT # 87-0057 REQUIRES NO FEWER THAN 81 PARKING STALLS. PREVIOUSLY CONFORMING PARKING RATIO 4/1000 SF COMMERCIAL OFFICE = 19,300 SF 19.3 X 4 = 77.2 SPACES

PROPOSED MARIJUANA OUTLET = 400 SF 4 X 5 = 2 SPACES

77.2 + 2 = 79 PARKING STALLS REQUIRED PER CALCULATIONS

SURFACE LOT = 50 SPACES

GARAGE CONTAINS = 31 SPACES

TOTAL = 81 SPACES PROVIDED TO CONFORM WITH PERMIT #87-0057

4 ACCESSIBLE SPACES PROVIDED, INCLUDING 2 VAN SPACES

REFER TO SHEET A-1.1 FOR PARKING LOT

PROPOSED PARKING ANALYSIS

COMMERCIAL OFFICE = 19,700 - 1218 = 18,482 SF
18.4 X 4 = 74 SPACES

PROPOSED MARIJUANA OUTLET = 1218 SF
1.2 X 5 = 6 SPACES

74 + 6 = 80 PARKING STALLS REQUIRED PER CALCULATIONS

81 PARKING SPACES PROVIDED - OK

SURFACE LOT = 50 SPACES

GARAGE CONTAINS = 31 SPACES

TOTAL = 81 SPACES PROVIDED TO CONFORM WITH PERMIT #87-0057

(2) MOTORCYCLE PARKING SPACES ADDED

4 ACCESSIBLE SPACES PROVIDED, INCLUDING 2 VAN SPACES

REFER TO SHEET A-1.1 FOR PARKING LOT

- NO CHANGE TO PARKING LAYOUT OR STRIPPING -

ADDITIONAL NOTES

- THE OWNER/PERMITTEE SHALL INSTALL A COMBINATION OF FULL-HEIGHT BULLET RESISTANT GLASS, PLASTIC OR LAMINATE SHIELD AND BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, AT THE RECEPTION AREA.
- THE OWNER/PERMITTEE SHALL INSTALL FULL-HEIGHT BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, AT ALL WALLS ADJOINING COMMON AREAS AND OTHER TENANTS, AND VAULT ROOM.

PROJECT DATA

PROJECT NAME : The Healing Center, Marijuana Outlet

PROJECT ADDRESS : 3703 Camino Del Rio South San Diego, CA. 92108

ASSESSOR'S PARCEL NUMBER: 439-520-08-00

LEGAL DESCRIPTION : LOT 1, PARCEL 8, MAP 5231

CONSTRUCTION TYPE : V-B, SPRINKLERED

OCCUPANCY CLASSIFICATION : B, OFFICE USE
M, MARIJUANA OUTLET

ZONE : MVRP-MV-CO
AIRPORT INFLUENCE AREA,
FIRE BRUSH ZONES 300',
FIRE HAZARD SEVERITY ZONE

BUILDING AREA : 19,700 SQ. FT. EXISTING

AREA OF USE :

EXISTING MARIJUANA OUTLET	= 400 SF
PROPOSED ADDITION	= 818 SF
TOTAL MARIJUANA OUTLET	= 1218 SF

REMAINING AREA : EXISTING OFFICE SPACE
TO REMAIN, NO PROPOSED ALTERATION

NUMBER OF STORIES : 2 STORY WITH SUB GRADE PARKING

BUILDING HEIGHT : TWO STORY WITH EXISTING BASEMENT,
NO PROPOSED ALTERATION

AREA OF WORK : INTERIOR WORK AT EXISTING TENANT SPACE

DATE OF CONSTRUCTION : 1988. NO EXTERIOR
MODIFICATION PROPOSED

GEOLOGICAL HAZARD : CATEGORY 53

NO EASEMENTS

NO CHANGE TO EXTERIOR LIGHTING
(COMPLIANT UNDER CUP # 1330834)

MARIJUANA OUTLET NOTES

- MARIJUANA OUTLETS SHALL MAINTAIN THE FOLLOWING MINIMUM SEPARATION BETWEEN USES, AS MEASURED BETWEEN PROPERTY LINES, IN ACCORDANCE WITH SECTION 113.0225:
 - 1,000 FEET FROM RESOURCE AND POPULATION-BASED CITY PARKS, OTHER MARIJUANA OUTLETS, CHURCHES, CHILD CARE CENTERS, PLAYGROUNDS, LIBRARIES OWNED AND OPERATED BY THE CITY OF SAN DIEGO, MINOR-ORIENTED FACILITIES, RESIDENTIAL CARE FACILITIES, AND SCHOOLS. FOR PURPOSE OF THIS SECTION, SCHOOL MEANS ANY PUBLIC OR PRIVATE INSTITUTION OF LEARNING PROVIDING INSTRUCTION IN KINDERGARTEN OR GRADES 1 TO 12, INCLUSIVE, BUT DOES NOT INCLUDE ANY PRIVATE SCHOOL IN WHICH EDUCATION IS PRIMARILY CONDUCTED IN PRIVATE HOMES.
 - 100 FEET FROM A RESIDENTIAL ZONE.
- LIGHTING SHALL BE PROVIDED TO ILLUMINATE THE INTERIOR, FACADE, AND THE IMMEDIATE SURROUNDING AREA OF THE MARIJUANA OUTLET, INCLUDING ANY ACCESSORY USES, PARKING LOTS, AND ADJOINING SIDEWALKS. LIGHTING SHALL BE HOODED OR ORIENTED SO AS TO DELECT LIGHT AWAY FROM ADJACENT PROPERTIES.
- SECURITY SHALL BE PROVIDED AT THE MARIJUANA OUTLET WHICH SHALL INCLUDE OPERABLE CAMERAS, ALARMS, AND SECURITY GUARDS. THE SECURITY GUARDS SHALL BE LICENSED BY THE STATE OF CALIFORNIA AND BE PRESENTS ON THE PREMISES DURING BUSINESS HOURS. THE SECURITY GUARDS SHALL ONLY BE ENGAGE IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS. SECURITY SHALL INCLUDE OPERABLE CAMERAS AND A METAL DETECTOR TO THE SATISFACTION OF DEVELOPMENT SERVICES DEPARTMENT. THIS FACILITY SHALL ALSO INCLUDE ALARMS AND TWO ARMED SECURITY GUARDS TO THE EXTENT THE POSSESSION OF A FIREARM IS NOT IN CONFLICT WITH 18 U.S.C. 922(g) AND 27 C.F.R. 478.11 NOTHING HEREIN SHALL BE INTERPRETED TO REQUIRE OR ALLOW A VIOLATION OF FEDERAL FIREARMS LAWS. THE SECURITY GUARDS SHALL BE LICENSED BY THE STATE OF CALIFORNIA. ONE SECURITY GUARD MUST BE ON THE PREMISES 24 HOURS A DAY, SEVEN DAYS A WEEK. THE OTHER MUST BE PRESENT DURING BUSINESS HOURS. THE SECURITY GUARDS SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS. THE CAMERAS SHALL HAVE AND USE A RECORDING DEVICE THAT MAINTAINS FOR A MINIMUM OF 30 DAYS.
- PRIMARY SIGNS SHALL BE POSTED ON THE OUTSIDE OF THE MARIJUANA OUTLET AND SHALL ONLY CONTAIN THE NAME OF THE BUSINESS, WHICH SHALL CONTAIN ONLY ALPHABETIC CHARACTERS, AND SHALL BE LIMITED TO TWO COLORS.
- THE NAME AND EMERGENCY CONTACT PHONE NUMBER OF AN OPERATOR OR MANAGER SHALL BE POSTED IN A LOCATION VISIBLE FROM THE OUTSIDE OF THE MARIJUANA OUTLET IN CHARACTER SIZE AT LEAST TWO INCHES IN HEIGHT.
- THE MARIJUANA OUTLET SHALL OPERATE ONLY BETWEEN THE HOURS OF 7:00 AM AND 9:00 PM, SEVEN (7) DAYS A WEEK.
- THE USE OF VENDING MACHINES WHICH ALLOW ACCESS TO MARIJUANA AND MARIJUANA PRODUCTS EXCEPT BY A RESPONSIBLE PERSON, AS DEFINED IN SAN DIEGO MUNICIPAL CODE SECTION 42.1502, IS PROHIBITED. A VENDING MACHINE IS ANY DEVICE WHICH ALLOWS ACCESS TO MARIJUANA AND MARIJUANA PRODUCTS WITHOUT A HUMAN INTERMEDIARY.
- A PERMIT SHALL BE OBTAINED AS REQUIRED PURSUANT TO CHAPTER 4, ARTICLE 2, DIVISION 15.
- A CONDITIONAL USE PERMIT FOR A MARIJUANA OUTLET SHALL EXPIRE NO LATER THAN FIVE YEARS FROM THE DATE OF ISSUANCE.
- DELIVERIES SHALL BE PERMITTED AS AN ACCESSORY USE ONLY FROM MARIJUANA OUTLETS WITH A VALID CONDITIONAL USE PERMIT UNLESS OTHERWISE ALLOWED PURSUANT TO THE COMPASSIONATE USE ACT OF 1996.
- THE MARIJUANA OUTLET, ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE MARIJUANA OUTLET, SHALL BE MAINTAINED FREE OF LITTER AND GRAFFITI AT ALL TIMES.
- THE MARIJUANA OUTLET, SHALL PROVIDE DAILY REMOVAL OF TRASH, LITTER, AND DEBRIS. GRAFFITI SHALL BE REMOVED FROM THE PREMISES WITHIN 24 HOURS.
- CONSULTATIONS BY MEDICAL PROFESSIONALS SHALL NOT BE PERMITTED ACCESSORY USE AT THE MARIJUANA OUTLET.
- AND EXTENSION OF TIME FOR CONDITIONAL USE PERMIT GRANTED TO A MARIJUANA OUTLET SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 126.0111, WITH THE FOLLOWING EXCEPTIONS:
 - THE EXTENSION SHALL BE FOR NO MORE THAN FIVE YEARS.
 - A DECISION ON AN APPLICATION FOR AN EXTENSION OF TIME SHALL BE MADE IN ACCORDANCE WITH PROCESS TWO. APPEALS OF DECISION TO APPROVE AN EXTENSION OF TIME SHALL BE MADE TO THE PLANNING COMMISSION.
 - THE SEPARATION REQUIREMENTS IN SECTION 141.0504 (b) SHALL NOT BE CONSIDERED IN MAKING THE FINDINGS REQUIRED IN SECTION 126.0111 (g) WHEN A SPECIFIED USE IN SECTION 141.0504 (a) HAS LOCATED WITHIN THE REQUIRED DISTANCE AFTER THE APPROVAL DATE OF THE INITIAL CONDITIONAL USE PERMIT.
 - A CHANGE IN ZONING AFTER THE APPROVAL DATE OF THE INITIAL CONDITIONAL USE PERMIT SHALL NOT BE CONSIDERED IN MAKING THE FINDINGS REQUIRED IN SECTION 126.0111 (g).
- THE USES ON THE PREMISES SHALL BE LIMITED TO MARIJUANA OUTLETS AND ANY USE PERMITTED IN THE MVRP-MV-CO ZONE. FUTURE USES FOR THE SITE MAY INCLUDE ANY USE PERMITTED IN THE MV-CO ZONE, WHETHER BY RIGHT OR BY CONDITIONAL USE PERMIT.
- NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)

SCOPE OF WORK

REQUEST FOR AN AMENDMENT TO THE C.U.P. OF AN EXISTING MARIJUANA OUTLET

THE PROJECT PROPOSES THE ADDITION OF 818 SF IN AN EXISTING SPACE TO AN EXISTING APPROVED MARIJUANA OUTLET OF 400 SF. (CUP # 1330834, SDP 1420871).

THE PROJECT REMAINS IN CONFORMANCE FOR PARKING, SEPARATION, DISTANCE AND ALL OTHER MARIJUANA OUTLET REQUIREMENTS.

(2) MOTORCYCLE PARKING SPACES ADDED

NO ADDITIONAL AREA ADDED TO BUILDING. ALL BUILDING SPACES ARE EXISTING.

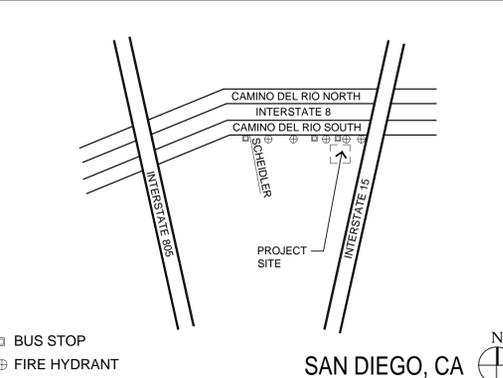
SHEET INDEX

- | | |
|------|---|
| TS | TITLE SHEET AND ADA PATH OF TRAVEL |
| A1.0 | EXISTING SITE PLAN
PROPOSED SITE PLAN |
| A1.1 | EXISTING BASEMENT PLAN AND
EXISTING FIRST FLOOR PLAN |
| A1.2 | EXISTING SECOND FLOOR PLAN
NEW SECOND FLOOR PLAN / ENLARGED
SECOND FLOOR PLAN / DEMOLITION PLAN |
| A2.0 | BUILDING PHOTOS |

PROJECT TEAM

ARCHITECT	SCOTT BERNET ARCHITECTS 2031 SECOND AVE. SAN DIEGO, CA 92101 619-237-9433
OWNER	DEL RIO MEDICAL AND DENTAL PLAZA, LLC
TENANT	THE HEALING CENTER OF SAN DIEGO
CONTRACTOR	TBD.

VICINITY MAP



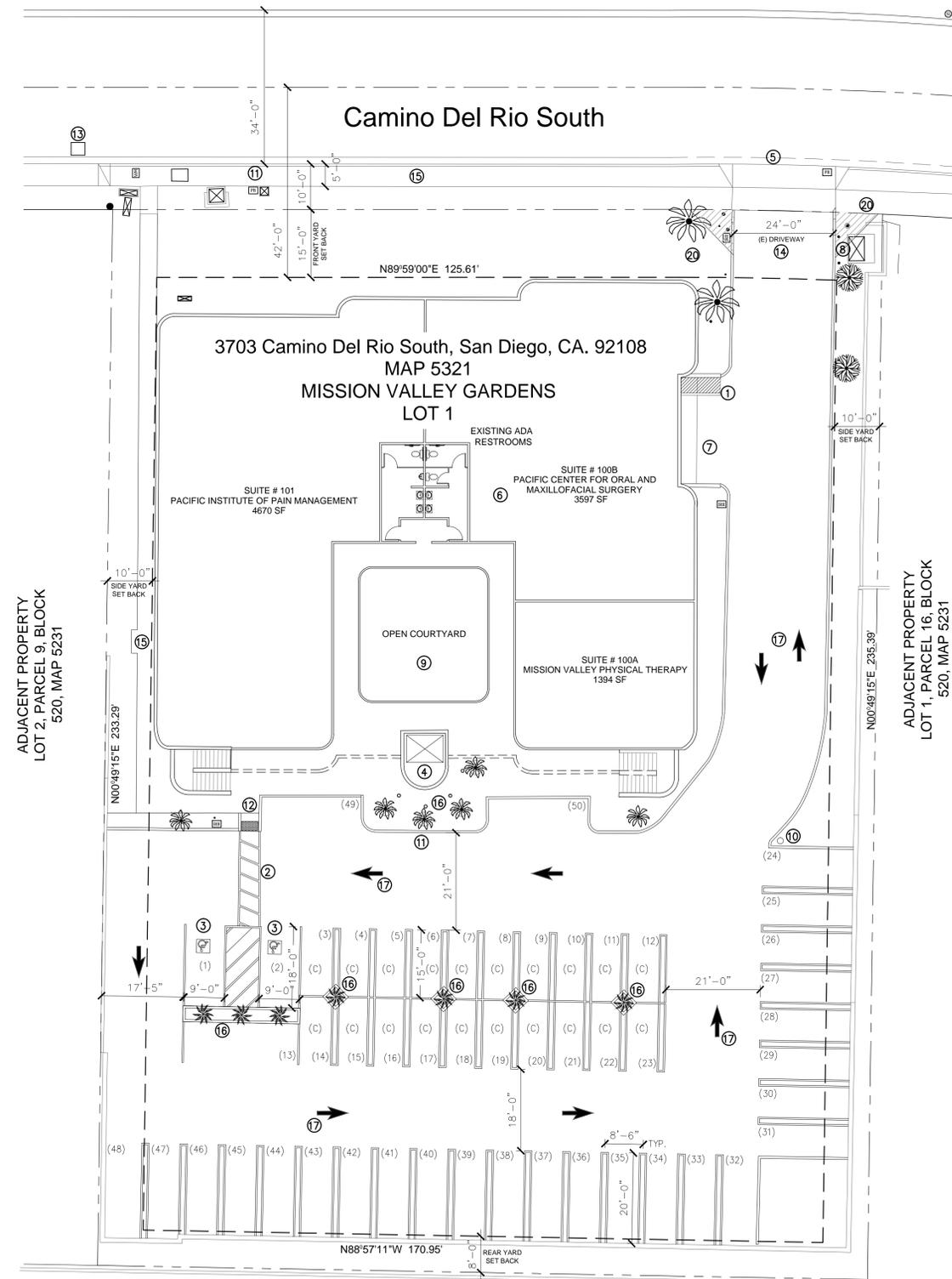
PARKING TOTALS

	FIRST FLOOR	BASEMENT	TOTAL
COMPACT	20	14	34 (42%)
STANDARD	30	17	47 (58%)
TOTAL	50	31	81 (100%)

KEYNOTES

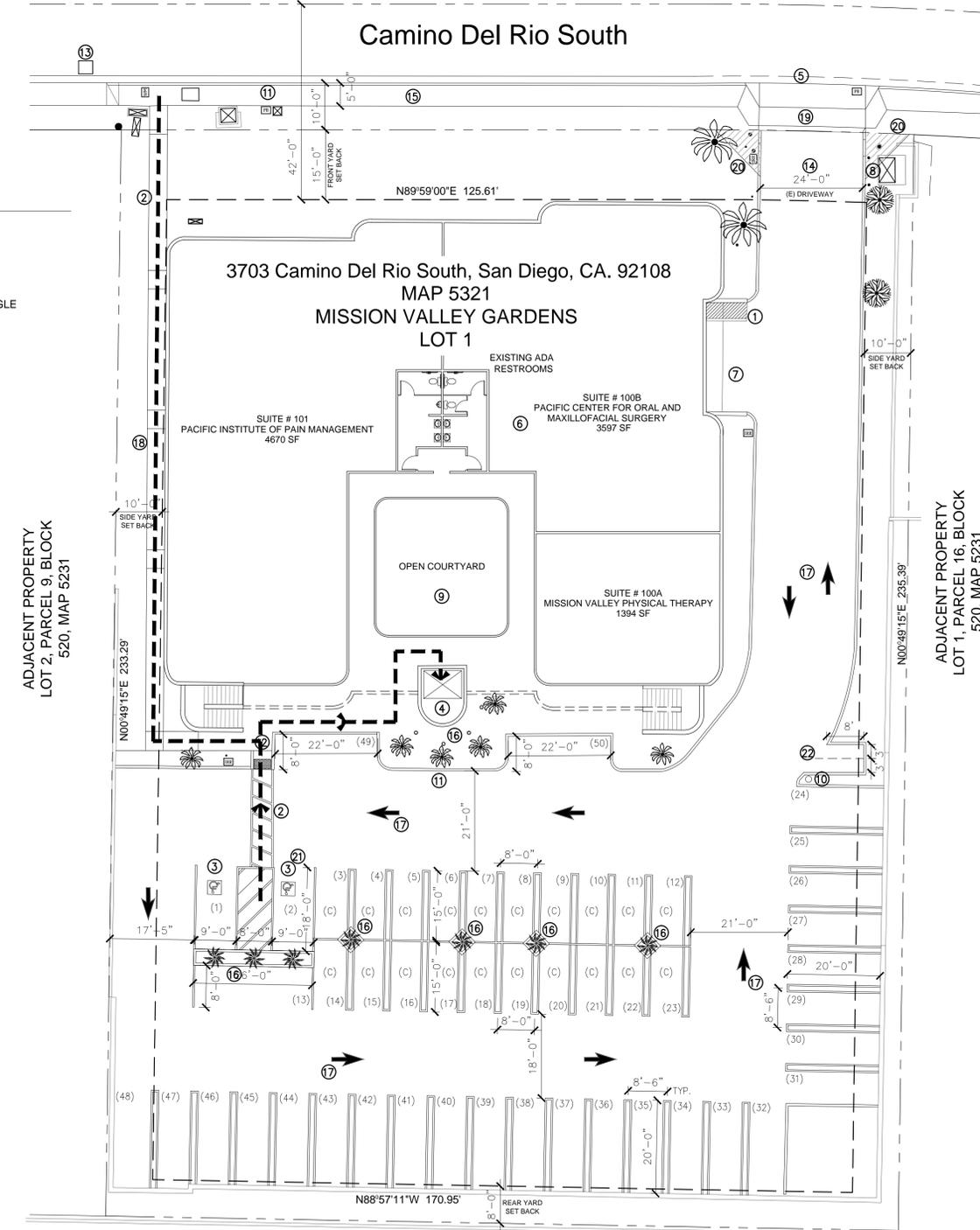
- | | | |
|--|--|--|
| ① 6" CONCRETE CURB AND STRIPED AREA TO DEFINE PATH OF TRAVEL | ⑧ EXISTING TRANSFORMER | ⑮ EXISTING SIDEWALK |
| ② ACCESSIBLE PATH OF TRAVEL | ⑨ EXISTING OPEN COURTYARD | ⑯ EXISTING PLANTER |
| ③ ACCESSIBLE PARKING STALL | ⑩ EXISTING FIRE HYDRANT | ⑰ EXISTING PAINTED DIRECTIONAL SIGNAGE |
| ④ EXISTING ELEVATOR | ⑪ EXISTING 6" CURB AND GUTTER | ⑱ NEW ACCESSIBLE PATH OF TRAVEL RAMP & SIDEWALK |
| ⑤ EXISTING CURB CUT TO BE REVISED | ⑫ EXISTING CURB RAMP AND DETECTABLE WARNING STRIP | ⑲ PROVIDE ACCESSIBLE PATH OF TRAVEL AT EXISTING DRIVEWAY PER SDG-159 |
| ⑥ EXISTING STRUCTURE | ⑬ BUS STOP | ⑳ VISIBILITY TRIANGLE 10' x 10' SHOWN |
| ⑦ EXISTING GARAGE ENTRANCE | ⑭ REVISED DRIVEWAY PER CITY STANDARDS AND ADA SIDEWALK | ㉑ ADA VAN SPACE |
| | | ㉒ (2) MOTORCYCLE PARKING SPACES |

VISIBILITY : NO FENCES/SHRUBS HIGHER THAN 24 INCHES IN HEIGHT ARE PERMITTED IN VISIBILITY AREAS OF THE PROPOSED DRIVEWAYS AND STREET INTERSECTIONS. LAND DEVELOPMENT CODE SECTION 113.0273



LEGEND

- PROPERTY LINE
- - - SETBACKS
- CURB / GUTTER
- ▲ VISIBILITY TRIANGLE
- ⊗ EXISTING UTILITY
- IRR IRRIGATION
- PB PACIFIC BELL
- WM WATER METER
- ⊙ SL STREET LIGHT



EXISTING SITE PLAN / FIRST FLOOR PLAN

1/16" = 1'-0"

NO EASMENTS



PROPOSED SITE PLAN / FIRST FLOOR PLAN

1/16" = 1'-0"

NO CHANGE TO CAR PARKING, ADDED MOTORCYCLE

NO EASMENTS



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THE HEALING CENTER
Marijuana Outlet
3703 Camino Del Rio South
SAN DIEGO, CA. 92108



SHEET TITLE:
EXISTING SITE PLAN AND
EXISTING BASEMENT PLAN
DRAWING DATE : 01/19/17

REVISION 1 : 03/05/18

REVISION 2 :

REVISION 3 :

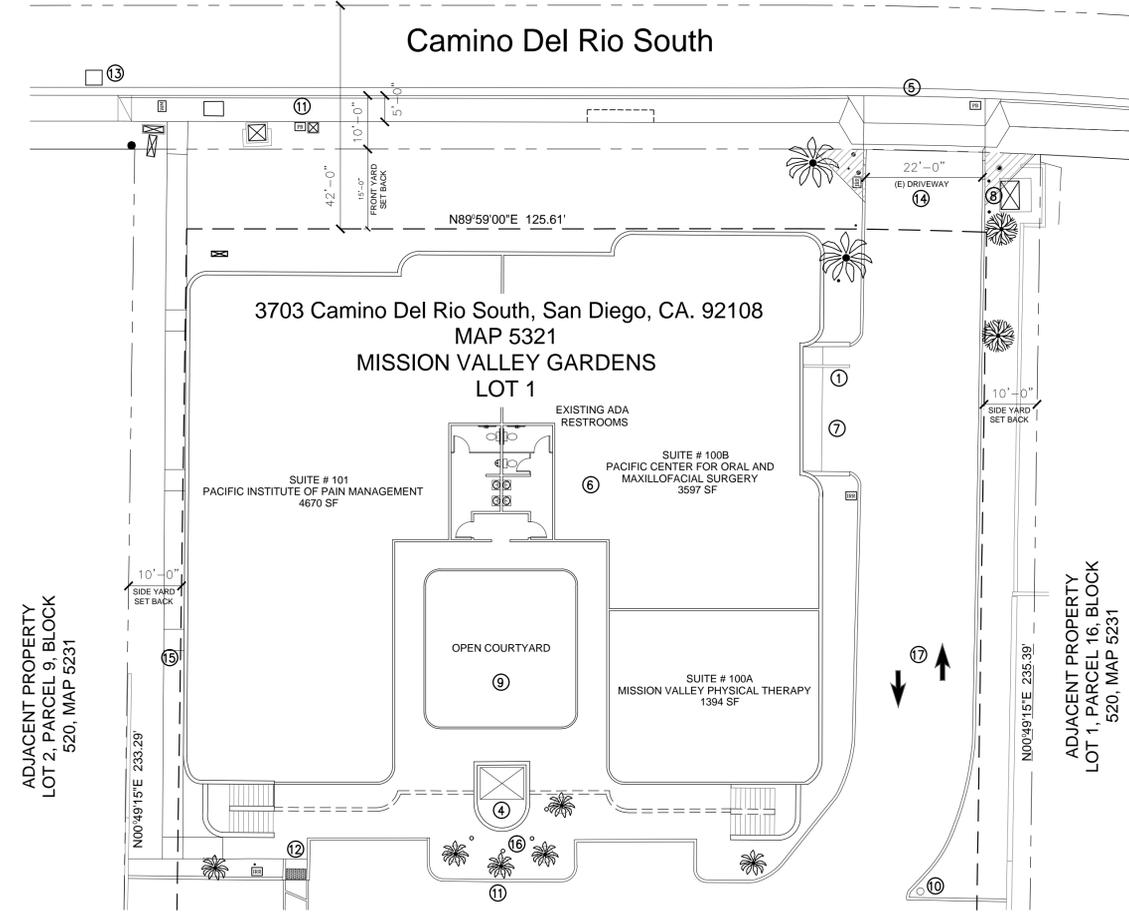
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REVISION 5 :

SHEET NUMBER
A1.0
SHEET 2 OF 5

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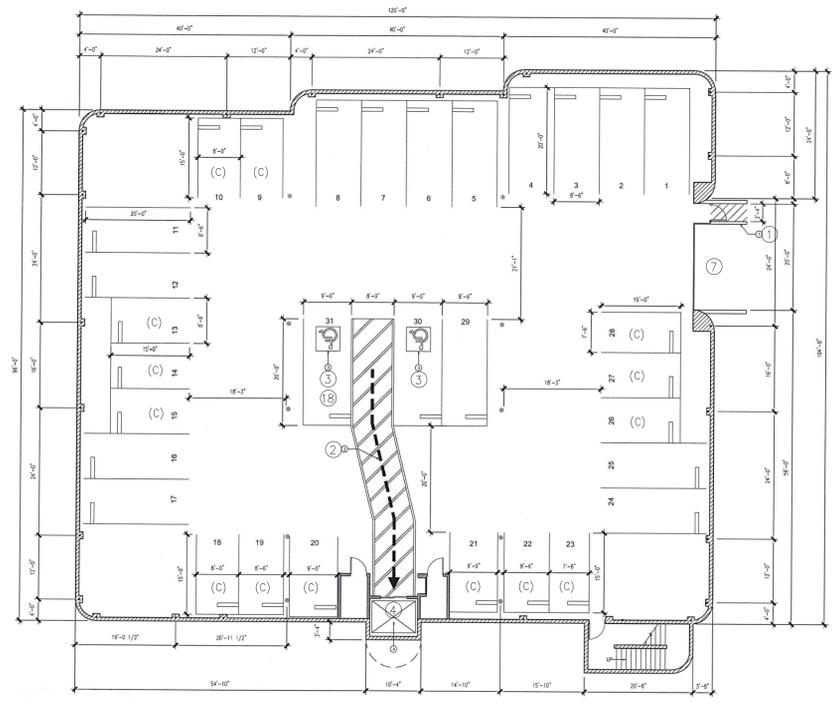
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EXISTING FIRST FLOOR PLAN

1/16" = 1'-0"

(NO CHANGE)
NO EASMENTS



BASEMENT FLOOR PLAN (NO CHANGE)

3/32" = 1'-0"



KEYNOTES

- | | | |
|--|---|--|
| ① 6" CONCRETE CURB AND STRIPED AREA TO DEFINE PATH OF TRAVEL | ⑦ EXISTING GARAGE ENTRANCE | ⑬ BUS STOP |
| ② ACCESSIBLE PATH OF TRAVEL | ⑧ EXISTING TRANSFORMER | ⑭ EXISTING DRIVEWAY TO REMAIN |
| ③ ACCESSIBLE PARKING STALL | ⑨ EXISTING OPEN COURTYARD | ⑮ EXISTING SIDEWALK |
| ④ EXISTING ELEVATOR | ⑩ EXISTING FIRE HYDRANT | ⑯ EXISTING PLANTER |
| ⑤ EXISTING CURB CUT TO REMAIN | ⑪ EXISTING 6" CURB | ⑰ EXISTING PAINTED DIRECTIONAL SIGNAGE |
| ⑥ EXISTING STRUCTURE | ⑫ EXISTING CURB RAMP AND DETECTABLE WARNING STRIP | ⑱ ADA VAN SPACE |

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SHEET TITLE:
EXISTING SITE PLAN AND
EXISTING BASEMENT PLAN
DRAWING DATE : 01/19/17

REVISION 1 : 03/05/18

REVISION 2 :

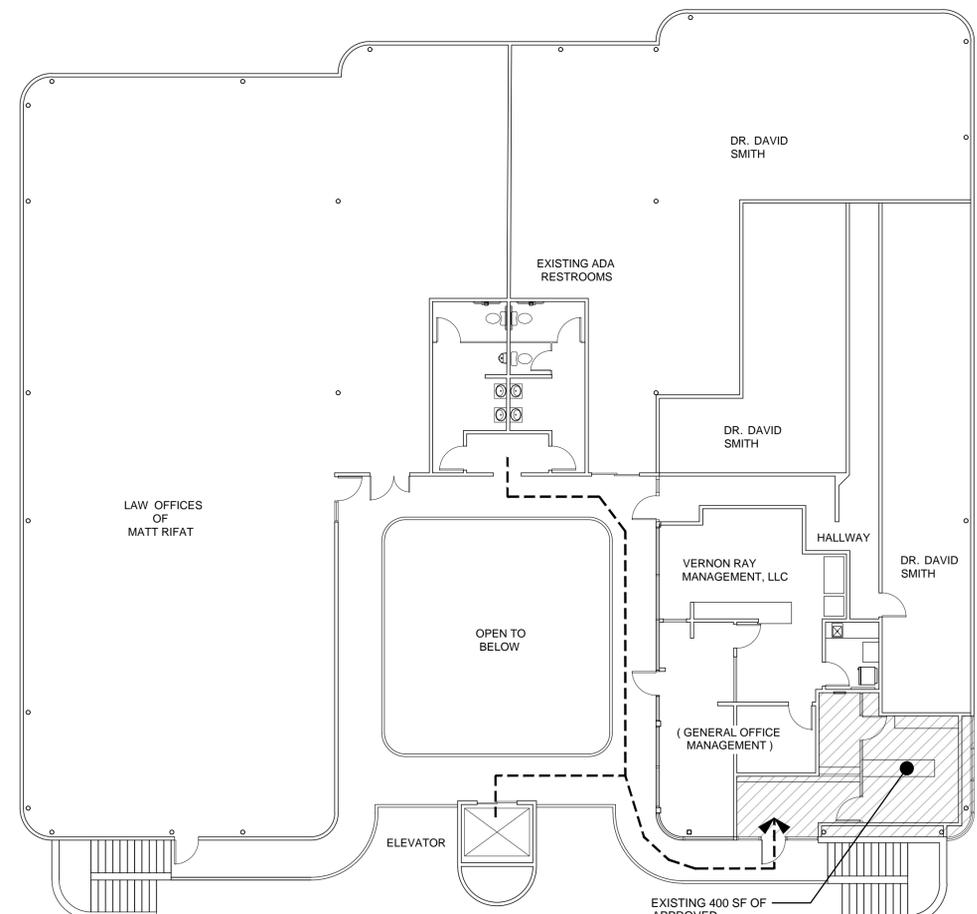
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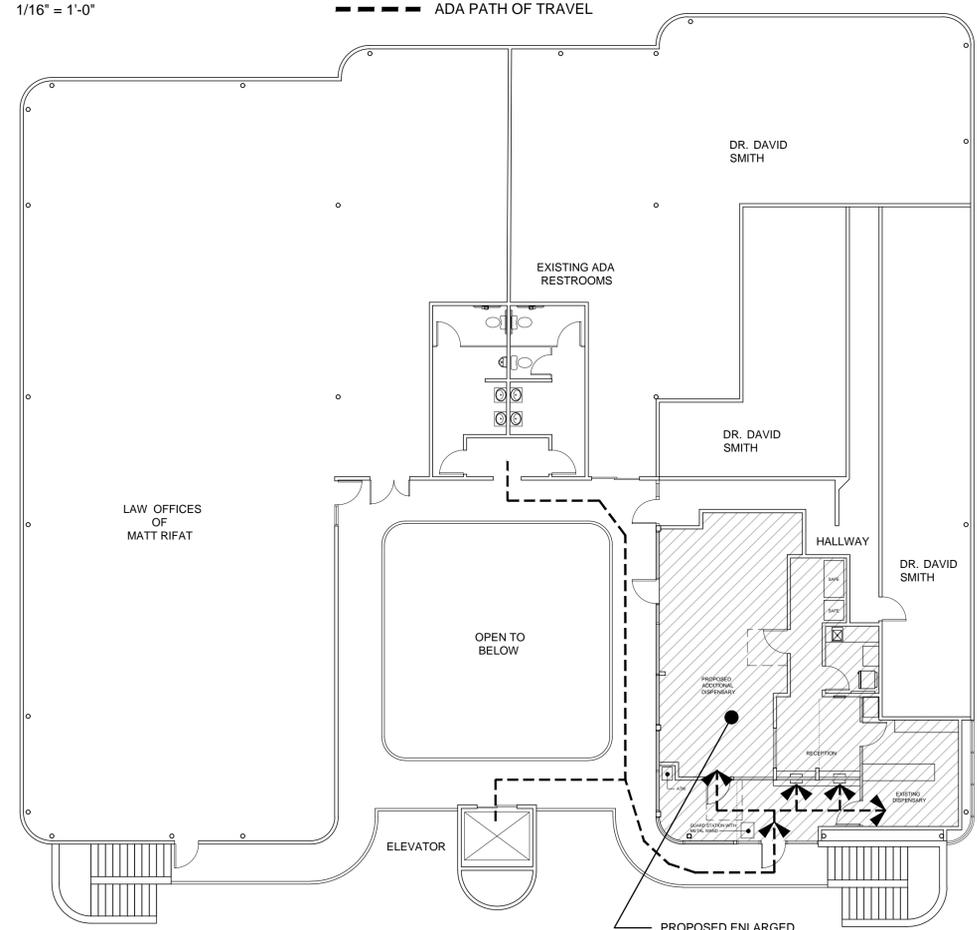
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SHEET NUMBER
A1.1
SHEET 3 OF 5

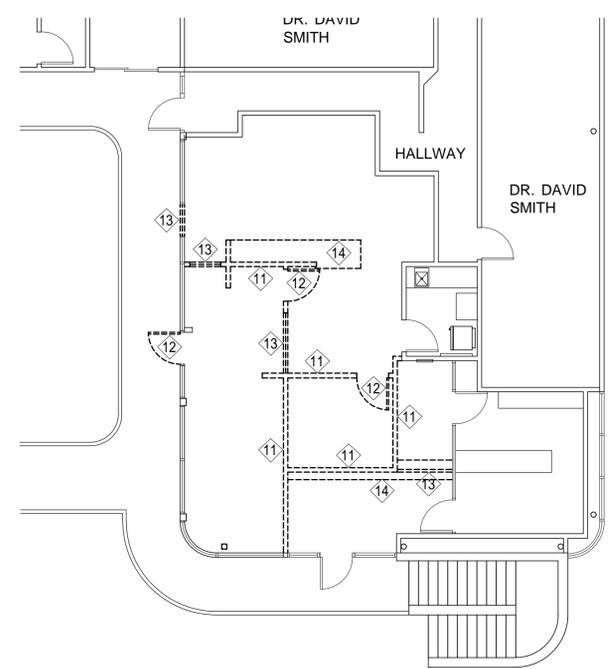
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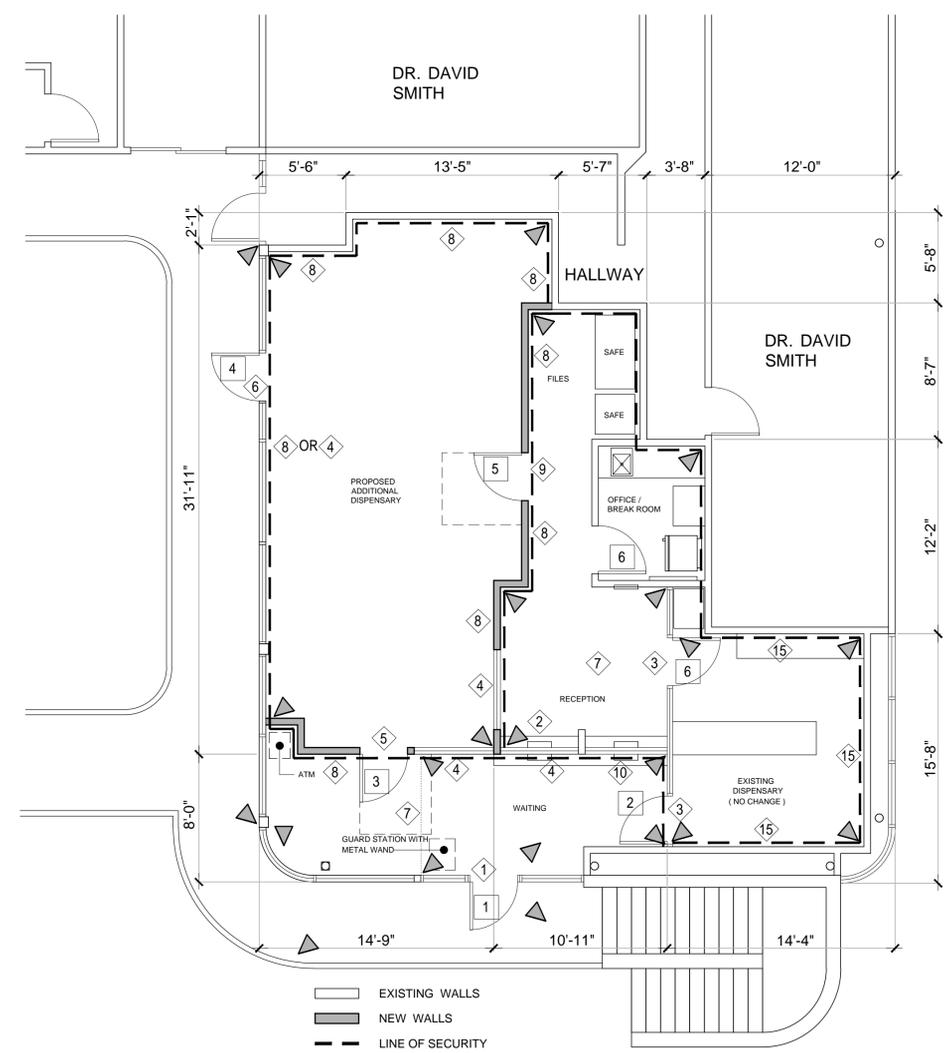
EXISTING SECOND FLOOR PLAN
1/16" = 1'-0" ADA PATH OF TRAVEL



NEW SECOND FLOOR PLAN
1/16" = 1'-0"



DEMOLITION PLAN AT AREA OF WORK
1/8" = 1'-0"



EXISTING MARIJUANA OUTLET = 400 SF
 PROPOSED ADDITION = 818 SF
 TOTAL MARIJUANA OUTLET = 1218 SF

ENLARGED SECOND FLOOR PLAN AT AREA OF WORK
3/16" = 1'-0"

- KEY NOTES**
- 1 EXISTING ENTRANCE DOOR - NO CHANGE
 - 2 ADDITIONAL ADA CONFORMING CHECK IN STATION BEHIND PROTECTIVE GLASS
 - 3 EXISTING CONTROLLED ENTRY DOOR
 - 4 BALLISTIC GLASS AS REQUIRED
 - 5 NEW ACCESS CONTROLLED DOOR
 - 6 RETROFIT EXISTING DOOR FOR ACCESS CONTROL, BALLISTIC GLASS
 - 7 NOT USED
 - 8 BALLISTIC DRYWALL PANELS
 - 9 NEW ACCESS CONTROLLED DOOR
 - 10 EXISTING BALLISTIC GLASS
 - 11 REMOVE EXISTING WALL, PATCH AND FINISH ALL AFFECTED WALL, FLOOR, CEILING SURFACES.
 - 12 REMOVE EXISTING DOOR, FRAME AND WALL. PREPARE, PATCH AND FINISH ALL AFFECTED WALL, FLOOR, CEILING SURFACES.
 - 13 REMOVE EXISTING WINDOWS, PATCH AND FINISH ALL AFFECTED WALL, FLOOR, CEILING SURFACES.
 - 14 REMOVE EXISTING SHELF
 - 15 EXISTING BALLISTIC PROTECTION

- GENERAL NOTES:**
- 1- EXISTING SECURITY CAMERA SYSTEM TO BE ENLARGED FOR PROPOSED ADDITION
 - 2- SECURITY GUARDS TO REMAIN AS APPROVED
 - 3- SIGNAGE TO REMAIN AS APPROVED
 - 4- MARIJUANA OUTLET WILL BE FULLY ADA COMPLIANT FOR ACCESS

- DOOR SCHEDULE:**
- | | |
|---|---|
| 1 | M.O ENTRANCE W/ GUARD STATION |
| 2 | EXISTING DISPENSARY ENTRANCE / EXIT CONTROLLED ACCESS |
| 3 | ADDITION DISPENSARY ENTRANCE / EXIT CONTROLLED ACCESS |
| 4 | EMERGENCY EXIT ONLY CONTROLLED ACCESS |
| 5 | CONTROLLED ACCESS DOOR |
| 6 | CONTROLLED ACCESS DOOR - EXISTING |

- BULLET RESISTANCE NOTES:**
1. THE OWNER/PERMITTEE SHALL INSTALL A COMBINATION OF FULL-HEIGHT BULLET RESISTANT GLASS, PLASTIC OR LAMINATE SHIELD AND BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, AT THE RECEPTION AREA.
 2. THE OWNER/PERMITTEE SHALL INSTALL FULL-HEIGHT BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, AT ALL WALLS ADJOINING COMMON AREAS AND OTHER TENANTS, AND VAULT ROOM.

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SHEET TITLE:
 EXISTING SECOND FLOOR PLAN
 AND NEW SECOND FLOOR PLAN
 DRAWING DATE : 01/19/17

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 REVISION 2 :
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818 SF PROPOSED
ADDITION TO AN EXISTING
APPROVED MARIJUANA OUTLET
C.U.P. # 1330834
S.D.P. # 1420871

EXISTING 400 SF OF
APPROVED MARIJUANA OUTLET
C.U.P. # 1330834
S.D.P. # 1420871

818 SF PROPOSED
ADDITION TO AN EXISTING
APPROVED MARIJUANA OUTLET
C.U.P. # 1330834
S.D.P. # 1420871

EXISTING 400 SF OF
APPROVED MARIJUANA OUTLET
C.U.P. # 1330834
S.D.P. # 1420871



STREET VIEW LOOKING SOUTHEAST



PARKING LOT LOOKING NORTHWEST



PARKING LOT LOOKING NORTH

818 SF PROPOSED
ADDITION TO AN EXISTING
APPROVED MARIJUANA OUTLET
C.U.P. # 1330834
S.D.P. # 1420871



VIEW OF PROPOSED AREA TO BE REMODEL

818 SF PROPOSED
ADDITION TO AN EXISTING
APPROVED MARIJUANA OUTLET
C.U.P. # 1330834
S.D.P. # 1420871



VIEW OF PROPOSED AREA TO BE REMODEL

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SHEET TITLE:
BUILDING PHOTOS
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REVISION 3 :

REVISION 4 :

REVISION 5 :

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