



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 13, 2019 REPORT NO. HO-19-017
HEARING DATE: February 20, 2019
SUBJECT: TOULON RESIDENCE CDP, Process Three Decision
PROJECT NUMBER: [511360](#)

OWNER/APPLICANT: Karen A. Murphy, Owner/Sean Canning, Applicant/Architect

SUMMARY

Issue: Should the Hearing Officer approve an application for a Coastal Development Permit for the demolition of a one-story dwelling unit and construction of a three-story, dwelling unit located at 816 Toulon Court within the Mission Beach Community Plan area?

Staff Recommendation: Approve Coastal Development Permit No. 1801488.

Community Planning Group Recommendation: On August 12, 2017, the Mission Beach Community Precise Planning Board voted 8-0-0 to recommend approval of the proposed project without conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15301 (Existing Facilities) and section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 7, 2018, and the opportunity to appeal that determination ended December 21, 2018.

BACKGROUND

The project site is currently developed with a single-family dwelling unit, built in 1950. The 0.03-acre project site is located at 816 Toulon Court, on the north side of Toulon Court, approximately three blocks east of the Pacific Ocean and approximately one block west of Mission Bay (Attachments 1 and 3). The site is surrounded by residential development on all sides (Attachment 3). The existing structure is more than 45 years old and was evaluated for historical significance by City Staff. Based

on the materials submitted and required by San Diego Municipal Code Section 143.0212, staff concluded that the existing building is not significant, and not eligible for historic designation.

The project site is in the R-N (Residential North) Zone of the Mission Beach Planned District (MBPD), Coastal Overlay Zone (appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay (Beach and Coastal), Transit Area Overlay Zone and is within the Mission Beach Community Plan and Local Coastal Program (Community Plan) area. Review of resource maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive habitat or other habitat identified as Environmentally Sensitive Lands (ESL). Furthermore, the project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA) designated lands.

DISCUSSION

The project proposes to demolish the existing residence and construct a three-story, 1,349-square-foot, single-family dwelling unit and an attached, two car garage. A Coastal Development Permit is required per San Diego Municipal Code (SDMC) Section 126.0702 for the proposed demolition and construction on a property within the Coastal Overlay Zone. The Community Plan designates the 0.03-acre site for Residential Land Use at a density of up to 36 Dwelling Units per acre (du/ac) (Attachment 2). The proposed residential use of the property is consistent with that land use designation at a proposed density of 33.3 du/ac. The proposed residence was designed to comply with MBPD regulations and the recommendations within the Community Plan. The proposed design provides a 10-foot setback from Toulon Court, a three-foot side yard setback on both sides and a three-foot setback from the alley, all conforming to the MBPD minimum building setback requirements. The proposed floor area ratio (FAR) is 1.07 (1,349 square feet), less than the maximum allowed of 1.1 FAR (1,375-square-feet) by the MBPD. The proposed residence will be approximately 29.5 feet in height, in compliance with the 30-foot Coastal height limit. Surface drainage from the site will be conveyed through a new private drain system directed to an adjacent alley underdrain. The project site is level and proposes minimal grading with no import or export of soil proposed.

The project site is located approximately three blocks east of the Pacific Ocean. Toulon Court does not contain either a public view or any form of pedestrian access as identified within the Community Plan. The Community Plan recommends that residential development be a continuation of the existing medium-density character of Mission Beach. The Community Plan also recommends the rehabilitation of existing substandard housing. The project's proposed demolition of the older structure and the redevelopment with a new residence with block and cement stucco exterior wall materials and with an angled metal roof with dormer windows, meet these recommendations.

CONCLUSION

This proposed project was designed to comply with the development regulations of the Mission Beach Planned District, and staff supports a determination that the project is consistent with the recommendations of the Community Plan. Staff has reviewed the request for a Coastal Development Permit and has found the project to be in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings to support the project. Therefore, staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1801488, with modifications.
2. Deny Coastal Development Permit No. 1801488, if the findings required to approve the project cannot be affirmed.

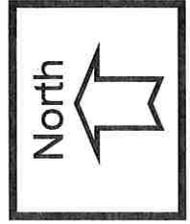
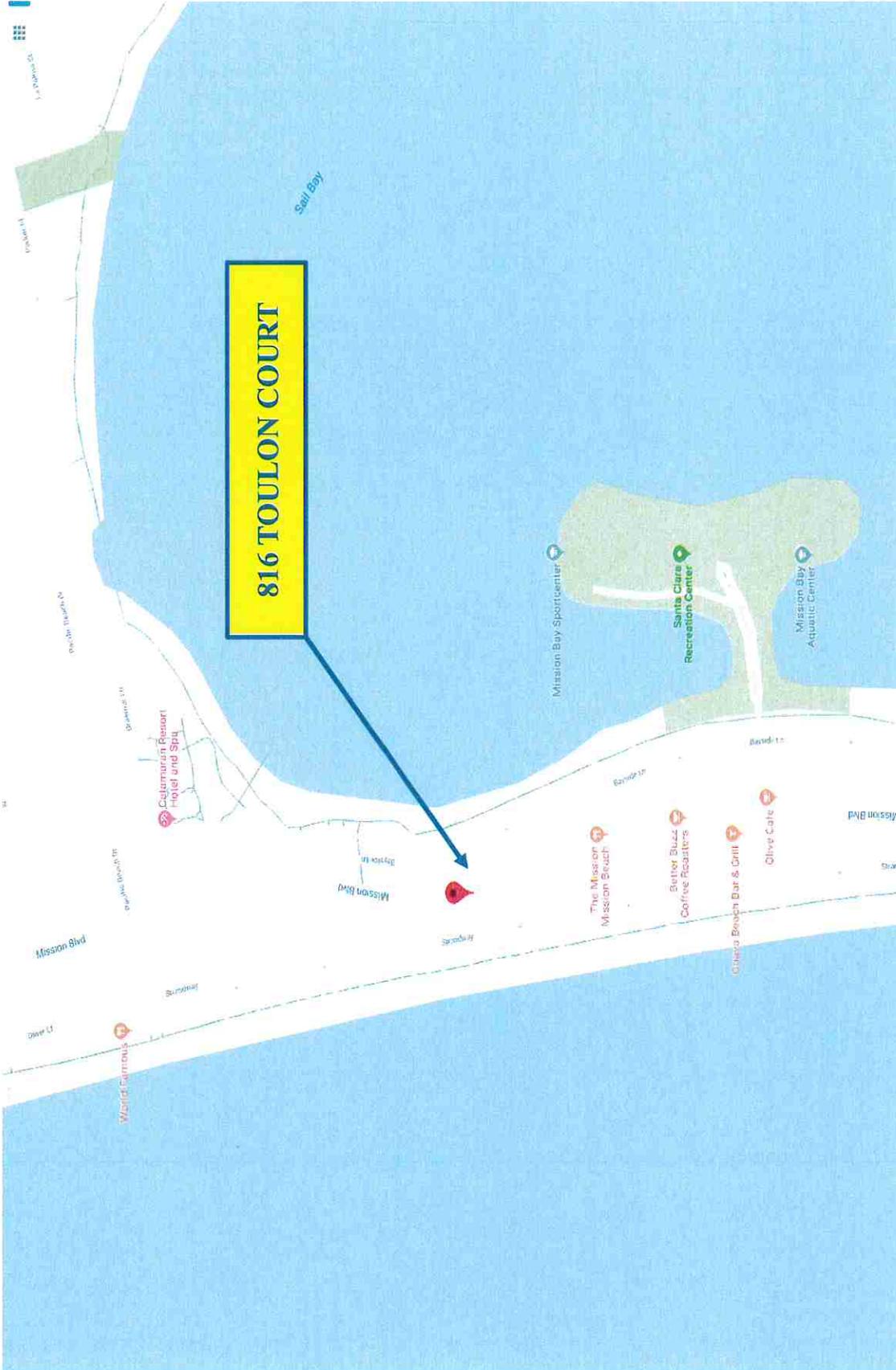
Respectfully submitted,



Glenn Gargas, Development Project Manager

Attachments:

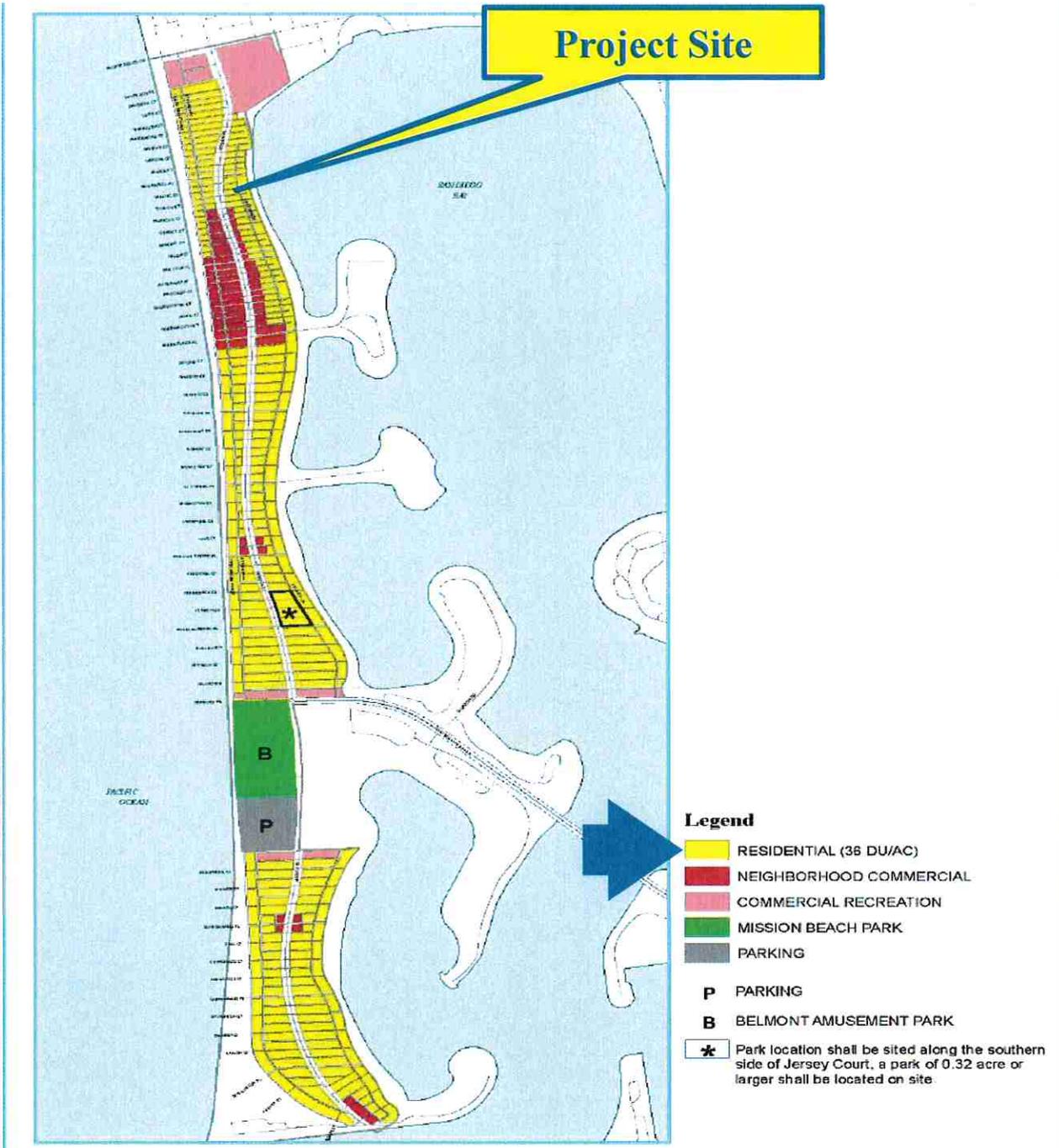
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

TOULON RESIDENCE CDP - 816 TOULON COURT
PROJECT NO. 511360





Legend

-  RESIDENTIAL (36 DU/AC)
-  NEIGHBORHOOD COMMERCIAL
-  COMMERCIAL RECREATION
-  MISSION BEACH PARK
-  PARKING

- P** PARKING
- B** BELMONT AMUSEMENT PARK
-  Park location shall be sited along the southern side of Jersey Court, a park of 0.32 acre or larger shall be located on site.

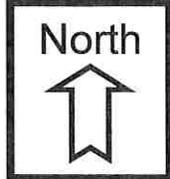
Mission Beach Land Use Plan

Mission Beach Precise Plan



Land Use Map

**TOULON RESIDENCE CDP 816 TOULON COURT
PROJECT NO. 511360**



HEARING OFFICER
RESOLUTION NO. HO-____
COASTAL DEVELOPMENT PERMIT NO. 1801488
TOULON RESIDENCE CDP - PROJECT NO. 511360

WHEREAS, Karen A. Murphy, Owner/Permittee, filed an application with the City of San Diego to demolish an existing dwelling unit and construct a three-story dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1801488), on portions of a 0.03-acre site;

WHEREAS, the project site is located at 816 Toulon Court, in the R-N Zone of the Mission Beach Planned District, Coastal (Appealable Area) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay (Coastal and Beach), and Transit Area Overlay Zones, within the Mission Beach Community Plan area;

WHEREAS, the project site is legally described as Lot No. G in Block 219, of Mission Beach, City of San Diego, County of San Diego, State of California, according to map Thereof No. 1651, filed in the Office of the County Recorder of San Diego County, December 14, 1914;

WHEREAS, on December 7, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301(Existing Facilities) and 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code (SDMC) Section 112.0520;

WHEREAS, on February 20, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1801488 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 20, 2019.

A. COASTAL DEVELOPMENT PERMIT (SDMC Section 126.0708)

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project proposes to demolish the existing residence and construct a 1,349-square-foot, three-story single-family dwelling unit and an attached two-car garage. The 0.03-acre site is located at 816 Toulon Court approximately three blocks east of the Pacific Ocean and one block from Mission Bay and is not located between the sea and the first public roadway

paralleling the sea. The Mission Beach Community Plan and Local Coastal Program Land Use Plan does not identify any public views or coastal access on or adjacent to this project site. The proposed project is contained within the existing legal lot area and conforms to the minimum setback requirements of the Mission Beach Planned District. Thus, the project will not encroach upon any identified public view or any existing or proposed physical access to the coast. Therefore, the development as designed would not affect any existing or proposed public views or public accessway to the Pacific Ocean, or other scenic coastal areas as specified in the Local Coastal Program.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The previously graded project site is currently developed with a single-family dwelling unit and within a residential neighborhood developed since 1950. Review of resource maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. Furthermore, the project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA) designated lands. The project proposes to demolish the existing single-family dwelling unit and construct a new, three-story single-family dwelling unit and an attached two-car garage in approximately the same location on the lot as the existing residence. All surface drainage from the project will be conveyed to the adjacent alley. The Environmental Analysis Section conducted an environmental review of this site and determined that, in accordance with the California Environmental Quality Act Guidelines Section 15162(a), the proposed activity is exempt from CEQA pursuant to Section 15301 (Existing facilities) and Section 15303 (New Construction) of the State CEQA Guidelines. The project site is level and proposes minimal grading with no import/export soils proposed. Therefore, this proposed redevelopment of an existing residence will not adversely affect Environmentally Sensitive Lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes to demolish the existing residence and construct a three-story single-family dwelling unit with an attached two-car garage. The 0.03-acre site is located at 816 Toulon Court approximately three-blocks east of the Pacific Ocean and one block west of Mission Bay and is not located between the sea and the first public roadway paralleling the sea.

Toulon Court at this location does not contain any physical accessway or public view by the adopted Mission Beach Precise Plan and Local Coastal Program. The proposed height of 29.5-feet in conformance with the Coastal Height Limitation Overlay Zone maximum of thirty-feet.

The Mission Beach Community Plan land use designation for the site is Residential at 36 dwelling units per acre. The 0.03-acre site can accommodate one dwelling unit based on the

designation and R-N Zone of the Mission Beach Planned District. The residential use of the property is consisted with that land use designation at a proposed density of 33.3 du/ac.

The Precise Plan Residential Element's goal calls for the permanent control of height and building bulk so that structures in Mission Beach will not have adverse effects on surrounding property, the beaches, and the community in general. The property as designed will conform to the bulk, floor area ratio (FAR), façade articulation, and step backs above the first floor. The proposed FAR is 1.07 (1,349-square-feet), less than the allowable 1.1 FAR (1,375-square-feet). Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.03-acre site, currently developed with one residence, is located within an established residential neighborhood approximately three blocks east of the Pacific Ocean coastline, one block west of Mission Bay and is not located within the first public road way (Strandway to the west and Bayside Lane to the east) and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, the project is in compliance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1801488 is hereby GRANTED by the Hearing Officer to the referenced Owners/Permittees, in the form, exhibits, terms and conditions as set forth in Permit No. 1801488, a copy of which is attached hereto and made a part hereof.

Glenn R. Gargas
Development Project Manager
Development Services

Adopted on: February 20, 2019

IO#: 24007053

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007053

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1801488
TOULON RESIDENCE CDP - PROJECT NO. 511360
HEARING OFFICER

This Coastal Development Permit No. 1801488 is granted by the Hearing Officer of the City of San Diego to Karen A. Murphy, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0707. The 0.03-acre site is located at 816 Toulon Court in the R-N Zone of the Mission Beach Planned District, Coastal (Appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone, Transit Area Overlay Zone and within the Mission Beach Community Plan area. The project site is legally described as: Lot No. G in Block No. 219, of Mission Beach, City of San Diego, County of San Diego, State of California, according to Map Thereof No. 1651, filed in the Office of the Recorder of San Diego County, December 14, 1914.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing dwelling unit and construct a three-story single-family dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 20, 2019, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing dwelling unit and construction of a three-story, three-bedroom, 1,349-square-foot single family dwelling unit with an attached two-car garage on a 0.03-acre property;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Site wall, fences, patio and walkways; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March __, 2023 (pending the California Coastal Commission's appeal period).
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

16. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

17. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the Mission Beach Planned District Ordinance, the Mission Beach Community Plan, and the Land Development Manual - Landscape Standards.

18. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

20. The Owner/Permittee shall install and maintain all landscaping proposed in public view corridors to not obstruct public views of the ocean as specified in Section §132.0403(e) of the Land Development Code, Coastal Overlay Zone Regulations. Landscaping materials shall not encroach or overhang into the Courts and Places rights-of-way below a height of 8 feet above the finish surface or finish grade, as measured at the trunk [§1513.0402(a)(2)].

PLANNING/DESIGN REQUIREMENTS:

21. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times

with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

23. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 20, 2019, by Resolution No.

_____.

ATTACHMENT 5

Permit Type/PTS Approval No.: CDP No. 1801488
Date of Approval: Feb. 20, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Karen A. Murphy
Owner/Permittee

By _____
Karen A. Murphy, Property Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: Toulon Residence CDP/511360**SCH No.:** N.A.**Project Location-Specific:** 816 Toulon Court, San Diego, CA 92109**Project Location-City/County:** San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit to demolish an existing residential structure and construct a 1,349 square foot three-story single dwelling unit. The 0.03-acre site is within the Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Parking Impact (Coastal and Beach) Overlay Zone (PIOZ), Geologic Hazard 52, and located at 816 Toulon Court in the MBPD-R-N zone of the Mission Beach Planned District within the Mission Beach Community Plan and Local Coastal Program, and Council District 2. (LEGAL DESCRIPTION: Lot No. "G" in Block No. 219 of Mission Beach, according to Map thereof No. 1651, filed in the Office of Recorder of Said County, December 14, 1914)

Name of Public Agency Approving Project: City of San Diego, Hearing Officer**Name of Person or Agency Carrying Out Project:** Karen Murphy, 8741 Woodlord Road, Tucson, AZ, 85749 (520) 444-8144**Exempt Status: (CHECK ONE)**

- () Ministerial (Sec. 21080(b)(1); 15268);
 () Declared Emergency (Sec. 21080(b)(3); 15269(a));
 () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 (X) Categorical Exemption: Section(s) 15301(l)(1) Existing Facilities and 15303(a) New Construction or Conversion of Small Structures
 () Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Sections 15301(l)(1) (Existing Facilities) and 15303(a) (New Construction or Conversion of Small Structures). The exemptions are appropriate because 15301(l)(1) allows for the demolition of an existing residential structure and 15303(a) allows for the construction of up to three units, which in this case would be one residential unit. Furthermore, the exceptions listed in CEQA Section 15300.2 do not apply because the residential structure to be demolished was determined to not be historically significant and the site itself has been previously developed and is devoid of sensitive resources.

Lead Agency Contact Person: Chris Tracy, AICP Senior Planner

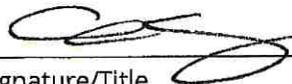
Telephone: (619) 446-5381

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

ATTACHMENT 6

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA


Signature/Title CHRIS TRACY, AICP
Senior Planner

1/3/19
Date

Check One:
 Signed By Lead Agency
 Signed by Applicant

Date Received for Filing with County Clerk or OPR:



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Toulon Residence - CDP	Project Number: 511360	Distribution Date: 2/28/2017
Project Scope/Location: MISSION BEACH - (Process 3) Coastal Development Permit to demolish an existing residential structure and construct a 1,377 square foot three story single dwelling unit. The 0.03-acre site is within the Coastal Overlay zone (Appealable) and located at 816 Toulon Court in the MBPD-R-N zone of the Mission Beach Planned District within the Mission Beach Community Plan and Council District 2.		
Applicant Name: Sean Canning		Applicant Phone Number: 201-543-7081
Project Manager: Jeff Robles <i>Tim Daly</i>	Phone Number: <i>5356</i> (619) 446-5225	Fax Number: (619) 321-3200
		E-mail Address: JWRobles@sandiego.gov
Committee Recommendations (To be completed for Initial Review): <i>tpdaly</i>		
<input type="checkbox"/> Vote to Approve	Members Yes	Members No
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No
<input checked="" type="checkbox"/> Vote to Deny	Members Yes <i>8</i>	Members No <i>0</i>
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		<input type="checkbox"/> Continued
CONDITIONS:		
NAME: <i>DENNIS LYNCH</i>		TITLE: <i>PLAN REVIEWER</i>
SIGNATURE: <i>Dennis Lynch</i>		DATE: <i>AUG 12, 2017</i>
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.		



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

ATTACHMENT 8
Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title _____ Project No. For City Use Only _____

Taylor Residence

Project Address: _____

816 Taylor Ct.

SAN DIEGO, CA 92109

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): **KAREN MURPHY**

Owner Tenant/Lessee Redevelopment Agency

Street Address: **8741 E. WOODBURN RD**

City/State/Zip: **TUCSON AZ 85749**

Phone No: **520-444-8104** Fax No: _____

Signature: **Karen Murphy** Date: **07/25/16**

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

1 Demolition Notes

- A1.2.1 All construction, including material + workmanship shall conform to the 2013 California Residential Code, the 2013 California Electrical Code, the 2013 California Plumbing Code, the 2013 California Fire Code, the 2013 California Mechanical Code, + the 2013 California Energy Efficiency Standards.

4 Masonry Notes

- A1.2.4 Masonry units shall conform to ASTM C90 hollow core, normal weight, 8" x 16" x 24".

6 Wood + Plastic Notes

- A1.2.6 Sawn wood members shall be Douglas Fir-Larch (unless otherwise noted) + shall be grade marked by an accreditation body that complies with ICC-ES E-1001.

8 Doors + Windows Notes

- A1.2.8 All new glazing shall meet min. State of California Title 24 requirements.

10 Specialties Notes

- A1.2.10 Prefabricated chimney, + barbecues shall be in accordance with CGC Section 211.1A.

15 Mechanical Notes

- A1.2.15 Provide min. 5 air changes per hour for bathroom + laundry room ventilation.

16 Electrical Notes

- A1.2.16 All electrical to comply with State of California Title 24 requirements.

5 Metals + Welding Notes

- A1.2.5 Bar reinforcement shall conform to the requirements of ASTM A615.

9 Finishes Notes

- A1.2.9 Garages shall be separated from the Dwelling Unit + its attic area by a minimum of 1/2" gypsum board applied to the garage side.

11 Equipment Notes

- A1.2.11 All appliances, gas or electric shall comply with State of California Title 24 requirements.

12 Furnishings Notes

- A1.2.12 All cabinet work to be manufactured according to General Contractor's specifications.

2 Sitework Notes

- A1.2.2 Do not remove any vegetation except as noted on these Construction Drawings or as otherwise approved.

7 Thermal + Moisture Protection Notes

- A1.2.7 Roofing material + its application shall be per manufacturer's specifications + as applicable codes (CRC R101.6).

3 Concrete Notes

- A1.2.3 Formwork shall result in a final structure that conforms to shapes, sizes, + dimensions of foundations as shown in the Construction Drawings.

13 n/a

- A1.2.13 n/a

14 n/a

- A1.2.14 n/a

Professional Engineer Seal for Robert W. McElroy, State of California, License No. C-33066, Exp. 12/31/2018. Includes project name, location, and date.

0 Notes to Site Survey

1 Site Survey

01 David A. Ashcraft, PE (Engineering Consulting Group)

ELEVATIONS TIED TO SURVEY MONUMENT LOCATED AT THE INTERSECTION OF MESSON BLVD. & TANGIERS CT. (MON. ON ELY 4FT LINE) EL=5.184 PER CITY OF SAN DIEGO VERTICAL CONTROL BK. PG. 423.

BOUNDARY TIED TO CORNER RECORD 23164. PLOT BY SPENCER-LUEY SURVEY.

LEGEND

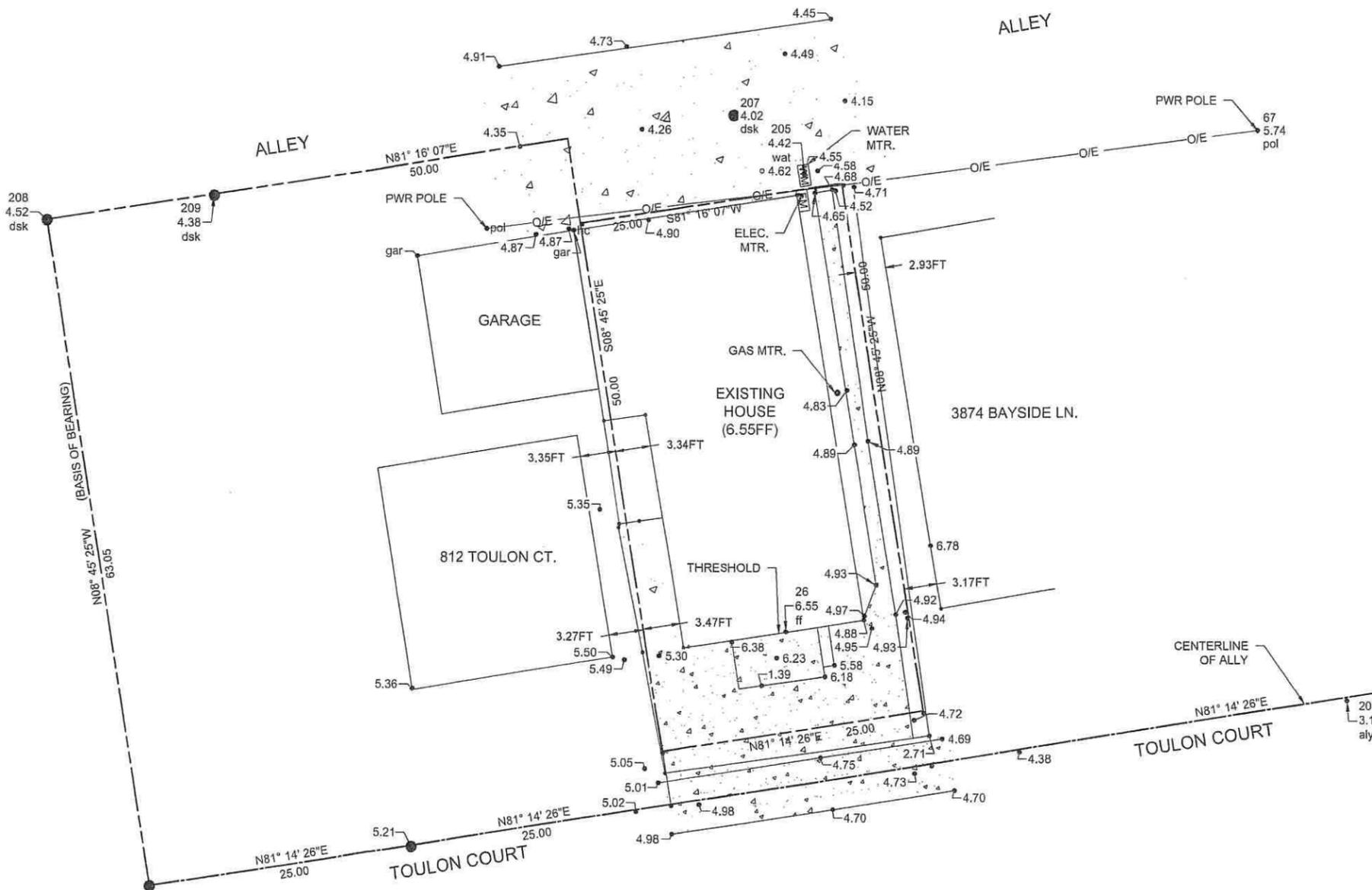
SYMBOL	DESCRIPTION
●	FOUND MONUMENT
○	WATER METER
□	GAS METER
⊞	ELECTRICAL METER
—O/E—	OVERHEAD ELECTRICAL LINES

210
● 4.77
dsk

202
● 5.38
city

201
● 5.40
ls4

200
● 5.23
sq



PROJECT: Toulon Residence

CLIENT: Scott + Karen Murphy, 874 E. Woodland Rd., Tustin, AZ 85718

ARCHITECT: **JO architecture**, 1516 Mission Ave., Suite 1010, San Diego, CA 92113

DATE: 11.08.2018

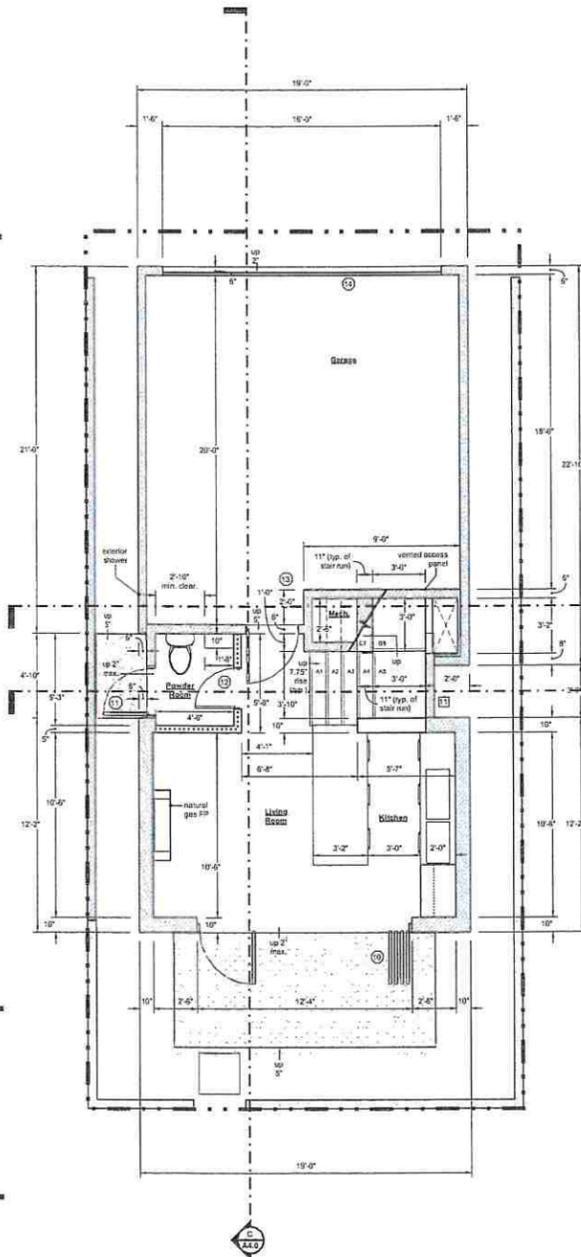
DRAWING STATUS: AS BUILT DRAWINGS, PRELIMINARY CHANGES, PLAN ORIGINALLY DRAWN BY, CONSTRUCTION DOCUMENTS

DESCRIPTION: Site Survey

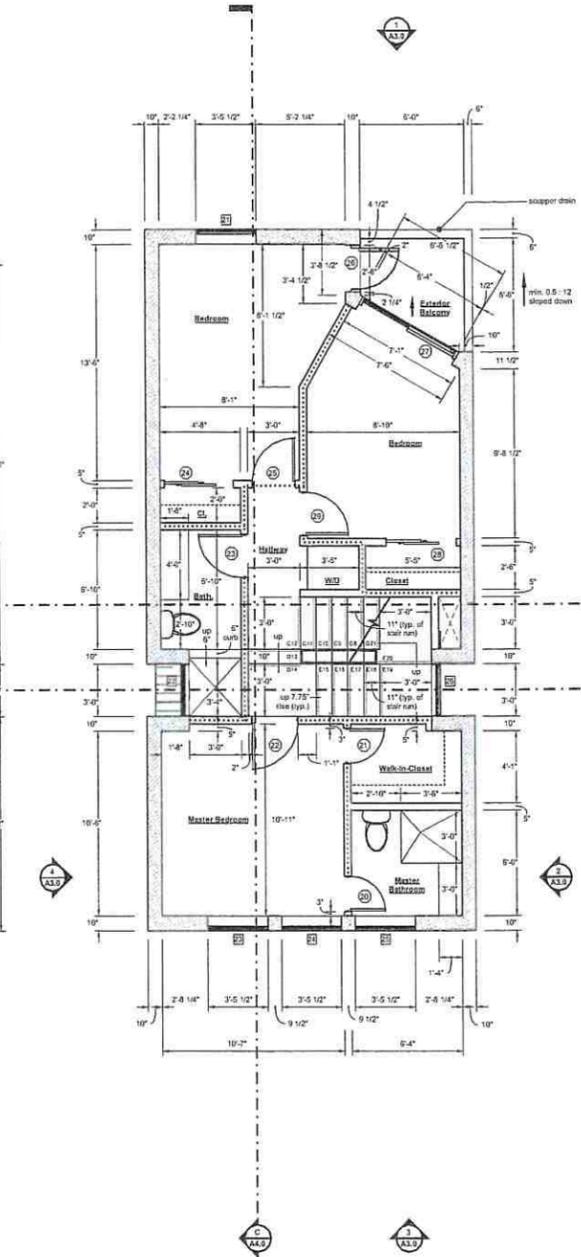
A2.1.0 Notes to Construction Plan(s)

- 01 Due to limited access + the fact that no destructive site analysis has occurred, it shall be the responsibility of the Contractor to determine the location of all existing load-bearing partitions, flush beams, etc. Upon the discovery of any existing load-bearing conditions that has not been addressed in the plans, work is to cease until the Architect is notified + an appropriate solution can be designed.
- 02 UCM dimensions are to finished surface.
- 03 UCM ceiling heights are 7'-0" or higher.
- 04 UCM drywall texture + corners to match existing conditions. If no existing conditions, provide smooth drywall level 4 surface w/ 90 degree corners.

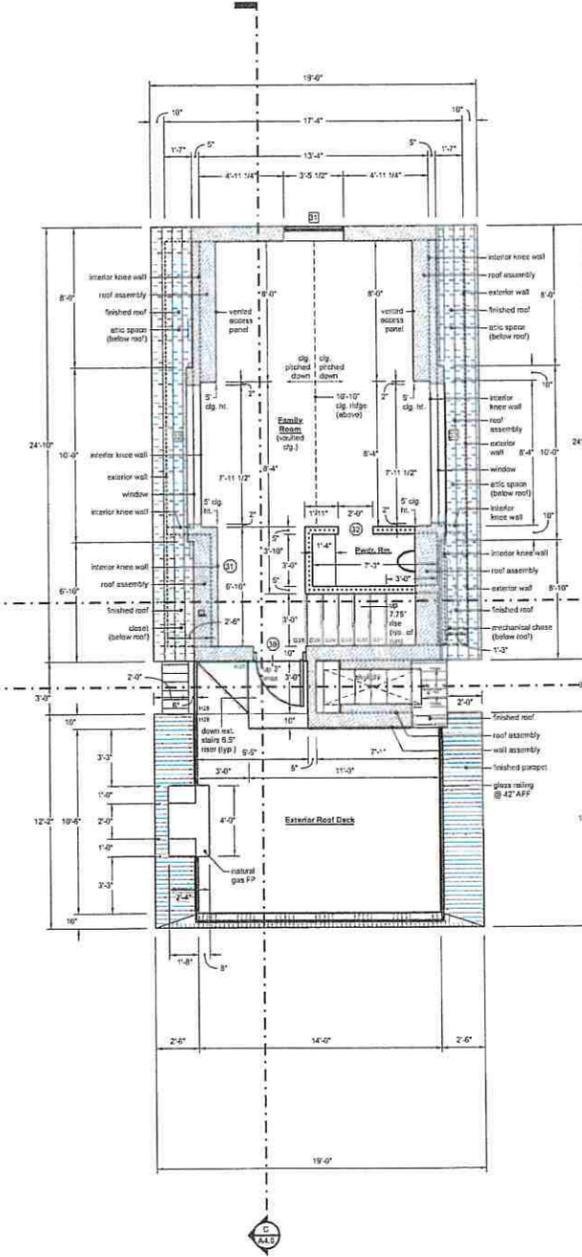
A2.1.1 Construction Plan (1st Floor)
scale: 1/4" = 1'-0"



A2.1.2 Construction Plan (2nd Floor)
scale: 1/4" = 1'-0"



A2.1.3 Construction Plan (3rd Floor)
scale: 1/4" = 1'-0"



A2.1.00 Wall Schedule
see Sheet A5.1 for Wall Details

- Wall Types**
- existing wall to be demolished
 - existing wall to remain
 - new full-height interior wall
 - new interior pony wall
 - existing exterior wall w/ insulation
 - new insulated exterior wall (per UCM w/ Wall Option)
- Wall Options**
- acoustical batt insulation
 - additional layer of drywall
 - siding (combustible)
 - siding (1/2" fire-rated)

A2.1.3 Doors + Windows
see Sheet A5.0 for Door + Window Schedules

A2.1.4 Ceiling Fixtures
see Sheet E2.1 - E2.2 for Reflective Ceiling Plan

Project
Resident: Resurrection

Client
Scott + Kean Murphy
1608 N. Harbor Ave.
San Diego, CA 92113



1608 N. Harbor Ave.
San Diego, CA 92113

IO architecture
ARCHITECTURE

drawn by: SC
11.05.2018
05.4

AS BUILT DRAWINGS
PHYSICAL DRAWINGS
PLAN DIRECT DRAWINGS
CONSTRUCTION DOCUMENTS

DRAWING DATE

Construction Plan(s)

DESCRIPTION

A2.1

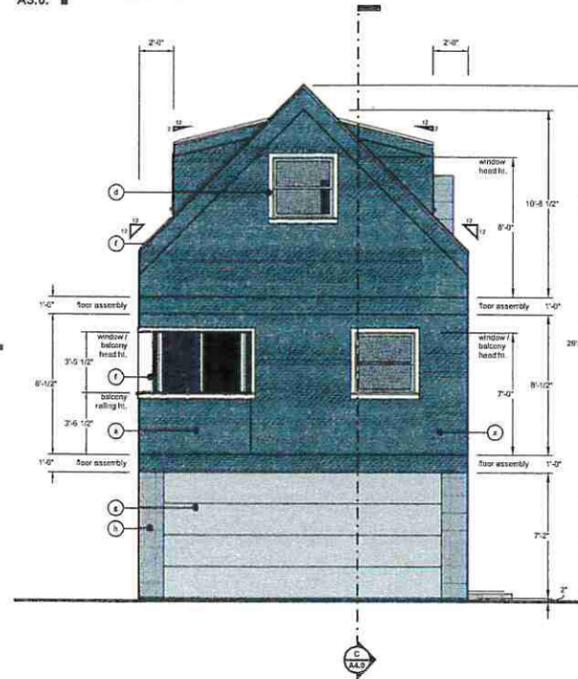
A3.0.0 Notes to Elevation(s)

.01 TEMP

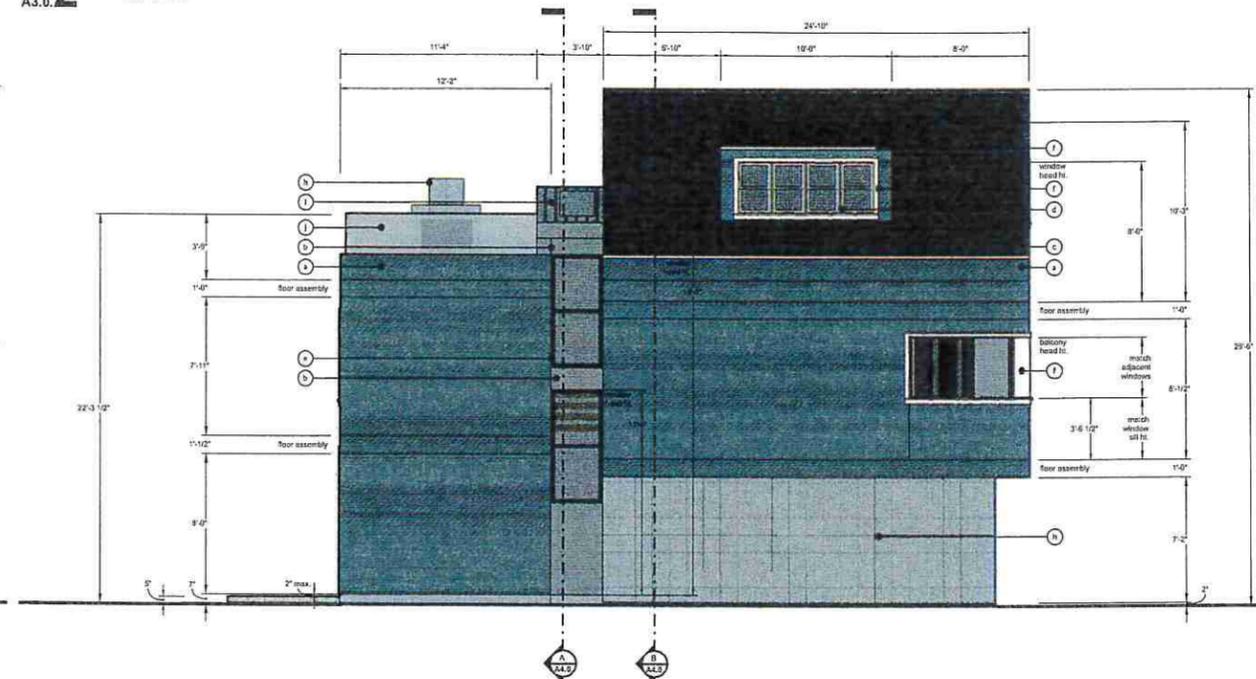
A3.0.00 Notes to Exterior Materials

- a. HardieLap Plank siding (color: navy blue)
- b. Hardie Panel siding (color: dark gray)
- c. class-A asphalt shingle roof (color: gray)
- d. window / door frames (color: white)
- e. window / door trims (color: black)
- f. trim (color: white)
- g. mtl. garage door (color: dark gray)
- h. CMU block (color: clear sealer)
- i. mtl. roofing (color: gray)
- j. glass railing (color: clear)

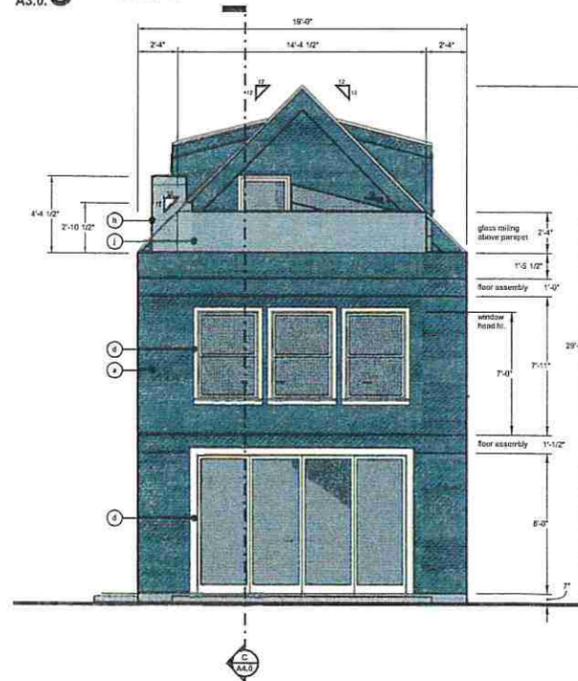
A3.0.1 Elevation (North)
scale: 1/8" = 1'-0"



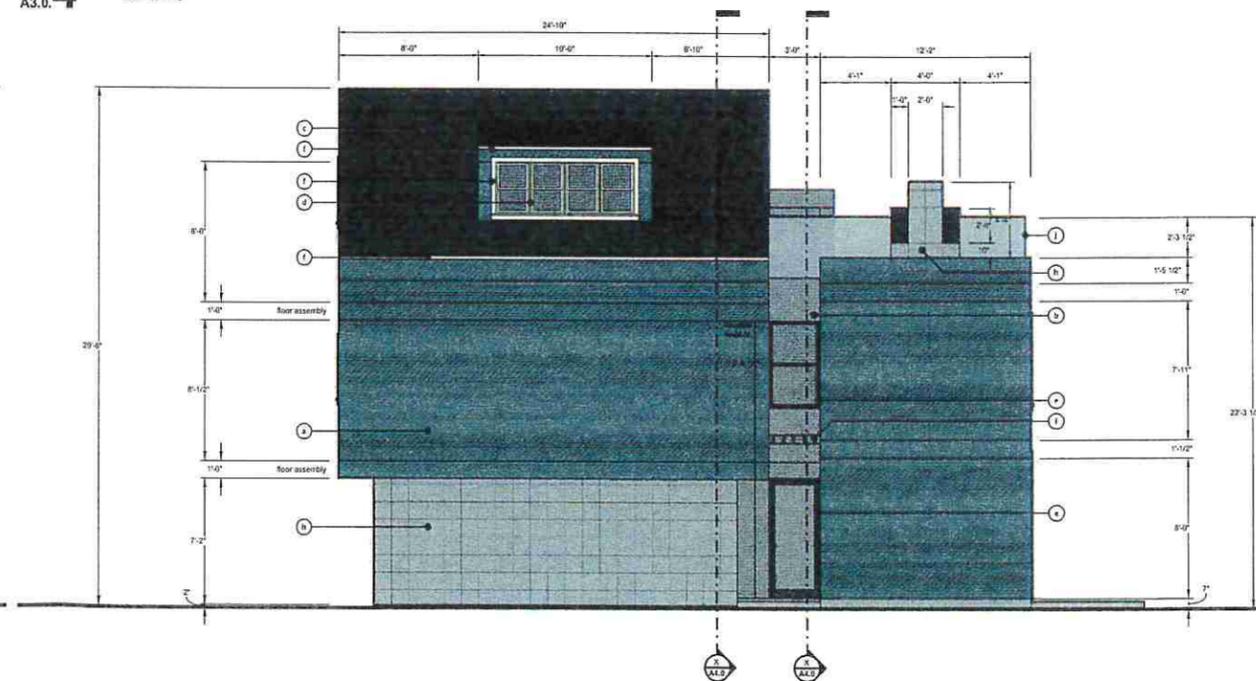
A3.0.2 Elevation (East)
scale: 1/8" = 1'-0"



A3.0.3 Elevation (South)
scale: 1/8" = 1'-0"



A3.0.4 Elevation (West)
scale: 1/8" = 1'-0"



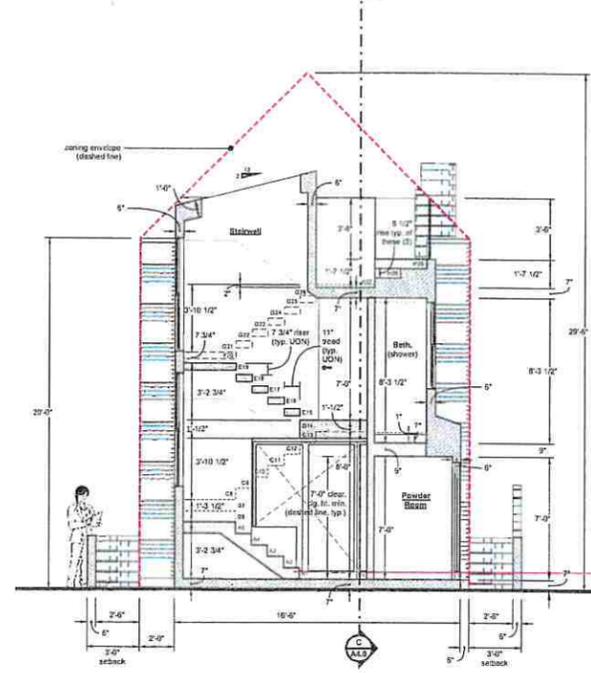
Susan Residence
 PROJECT
 8001 E. Kline Avenue
 8141 E. Woodland Rd.
 Tustin, CA 92780
 CLIENT
 ARCHITECT
 J. D. ARCHITECTURE
 1555 Harbor Ave.
 Suite 100
 San Diego, CA 92113
 ARCHITECTURE
 DRAWN BY: SC
 11.05.2018
 TITLE
 ALL BUILD DRAWINGS
 PRELIMINARY DRAWINGS
 PLANS DIRECT DRAWINGS
 CONSTRUCTION DOCUMENTS
 DRAWING STATUS
 ELEVATION(S)
 DESCRIPTION

A3.0

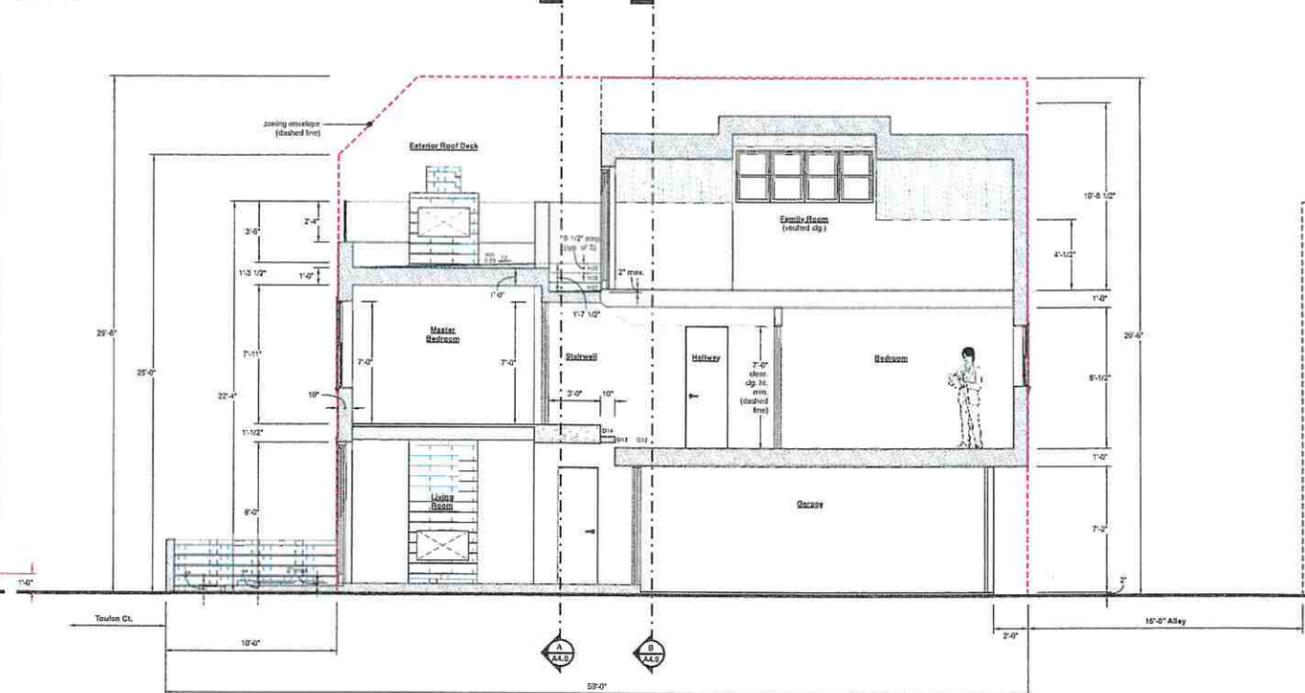
A4.0.0 Notes to Section(s)

01 Section drawings are diagrammatic only.

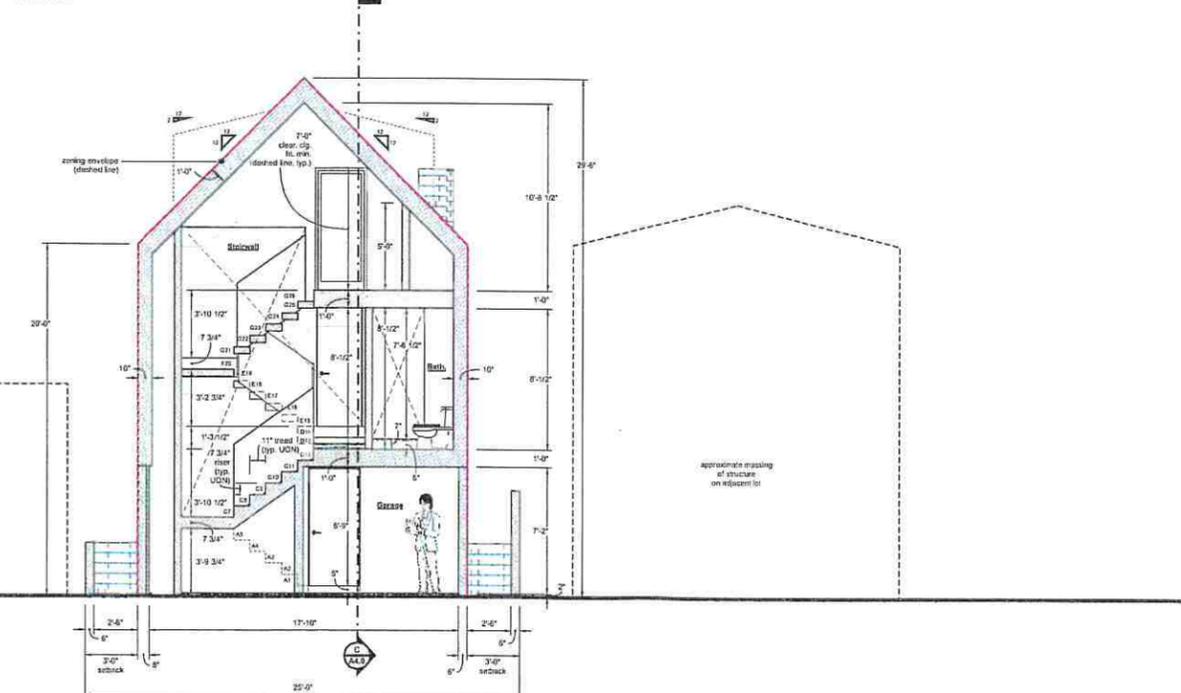
A4.0.A Section
scale: 1/8" = 1'-0"



A4.0.C Section
scale: 1/8" = 1'-0"



A4.0.B Section
scale: 1/8" = 1'-0"



Project

Client



Architect

Architecture

Client by: SC
11/05/2018

AS BUILT DRAWINGS
PRELIMINARY DRAWINGS
PLAN CHECK DRAWINGS
CONSTRUCTION DOCUMENTS

Drawn/Status

Scale/Rev

Description

A4.0

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