



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 12, 2019 REPORT NO. HO-19-018

HEARING DATE: February 20, 2019

SUBJECT: Hardiman Residence. Process Three Decision

PROJECT NUMBER: [550448](#)

OWNER/APPLICANT: Patrick M. Hardiman, Trustee of the Patrick M. Hardiman Declaration of Trust and Lori C. Hardiman, Trustee of the Lori C. Hardiman Declaration of Trust, Owners/Joshua Wood, Architect, Applicant.

SUMMARY

Issues: Should the Hearing Officer approve an application for the demolition a single dwelling unit and construction of a two-story over-basement single dwelling unit located at 5626 Dolphin Place within the La Jolla Community Planning area?

Staff Recommendation: Approve Coastal Development Permit No. 1943545.

Community Planning Group Recommendation: On November 7, 2017, the La Jolla Community Planning Association voted 9-0-2 to recommend approval of the proposed project without conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA sections 15301 (Existing Facilities), 15302 (Replacement or Reconstruction), and 15303 (New Construction).

An appeal of the CEQA determination was previously filed and the City Council denied the CEQA appeal on January 7, 2019, per Resolution No. 312164 (Attachment 7). Therefore, the scope of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

The 0.10-acre project site is located at 5626 Dolphin Place, in the RS-1-7 Zone within the La Jolla Community Plan and Local Coastal Program (Community Plan). The project site is located approximately 120 feet east from the Pacific Ocean in an established single-family residential neighborhood within the Bird Rock area of La Jolla. The interior lot is bounded by Dolphin Place to

the north and Chelsea Place to the south. Dolphin Place, identified as the First Public Roadway and Chelsea Place, a named alley, contain views (Scenic Overlooks) to the ocean as identified within the Community Plan's Figure H, Subarea H: Bird Rock – Physical/Visual Access (Figure H, Attachment 4). Shoreline accessways are also identified on both rights-of-way within Figure H. Additionally, the project site is in the Coastal Appealable Overlay, Coastal Height Limitation Overlay, Parking Impact Overlay (Beach/Coastal), Residential Tandem Parking Overlay, and Transit Area Overlay Zones.

The dwelling on-site was constructed in 1929. Per San Diego Municipal Code (SDMC) section 143.0212, all projects impacting a parcel that contains a structure older than 45 years must be reviewed to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. A submitted Historic Resource Technical Report prepared by Scott A. Moomjian, dated May 2017, analyzed the historical significance of the site. The report concluded that the property is not eligible for historic designation under any Historic Resource Board or other designation criteria. City staff reviewed and accepted the report's conclusion.

DISCUSSION

Project Description

The Hardiman Residence project (Project) proposes to demolish the on-site, one-story over-basement 975-square-foot dwelling unit and construct a two-story over-basement 3,290-square-foot single dwelling unit, attached 568-square-foot garage with 153 square feet of mechanical space, totaling 4,011 square feet. Site improvements include hardscape, landscape, retaining walls, and an in-ground spa. Rear access to the property will be improved with a new concrete driveway from the alley. As the project is located seaward of the First Public Roadway (Dolphin Place), the permit includes conditions to preserve view corridor easements to protect the public views of the ocean. The proposed demolition and construction require a Process Three Coastal Development Permit, per SDMC 126.0702 for development within the Coastal Overlay Zone.

Community Plan Analysis

The Community Plan contains the more detailed area-specific land use recommendations required by the citywide General Plan. The Community Plan designates the site for Low Density Residential (5-9 dwelling units per acre or du/ac). While the proposed 10 du/ac density exceeds the density, the property is a legal lot that allows one single dwelling unit. The Project is designed to comply with the applicable regulations of the RS-1-7 Zone and all overlay zones, including, but not limited to, setbacks, floor area ratio, and height. Based on a survey of neighboring properties, development within the neighborhood is a mixture of one-, two-, and three-story residences with a mix of traditional and contemporary styles. Therefore, the Project conforms with the Community Plan's "Community Character" recommendations within the Residential Land Use Element. These recommendations aim to "maintain and enhance the existing neighborhood character ambience [and] promote good design and visual harmony in the transitions between new and existing structures." This ensures that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.

The Project proposes to demolish the one-story over-basement dwelling unit and construct a two-story dwelling unit similar in size to other dwelling units in the immediate vicinity. The Project is designed with a 29'-9" second-floor front yard setback adjacent to Dolphin Place (where 15' is required) and a 19' second-floor rear yard setback adjacent to Chelsea Place (where 5' is required). With a maximum 25- to 27-foot height, the design keeps the second level stepped back and away from the street and the alley, in-set more than adjacent properties. This design reduces the bulk and scale of the Project and follows the recommendation of the Community Plan to "promote good design and visual harmony in the transition between new and existing structures." This stepped-back design also adheres to the Visual Resource recommendations within the Community Plan's Nature Resources and Open Space Element.

Visual Resource Policy 2.b of the Community Plan (Page 39) aims to protect and enhance public views to the ocean from the first public roadway, open spaces, or parks. Dolphin Place and Chelsea Place contain public views identified as a Scenic Overlook (view over private properties from a public right of way, Attachment 4). The project will protect these public views by requiring recorded view corridor easements on the front yard setback (10 feet) and rear yard setback (5 feet). Side yards on the property do not contain ocean views, so side yard view easements are not required. In addition, the stepped back design reduces a walled-off effect from street-to-ocean, as recommended for properties adjacent to ocean views along public rights-of-way. This design keeps the second level stepped back and away from the alley, enhancing the public view along Chelsea Place.

The Community Plan provides recommendations to protect public access to visual and coastal resources. The western side of Dolphin Place is identified within the Community Plan as an alternative pedestrian access path to other ocean access points, and Chelsea Place as a vertical access to the bluffs, identified as "shoreline access- bluff top street access hazardous" (Attachment 4). Dolphin Place has a five-foot sidewalk that meets the Community Plan recommendations, but citywide street frontages generally require a 10-foot parkway. Adjacent properties along the sidewalk are developed to the five-foot sidewalk edge, forming a streetscape theme. Construction of a 10-foot parkway would disrupt the streetscape theme along Dolphin Place. To preserve the existing streetscape theme and meet City requirements, the project provides an Irrevocable Offer of Dedication (IOD) of five additional feet. An IOD would allow the future construction of a 10-foot parkway by the City and would allow the project to continue to protect public access as designated in the Community Plan. Since the proposed project and associated improvements will be located completely within private property, there will be no impacts or adverse effects on designated shoreline access.

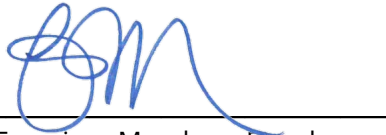
Conclusion

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. As the Project is designed to protect shoreline access, protect and enhance scenic overlooks and public views, staff supports a determination that the project meets the regulations of the SDMC and conforms to the recommendations of the Community Plan. With the provided draft findings and draft permit conditions, staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1943545, with modifications.
2. Deny Coastal Development Permit No. 1943545, if the findings required to approve the project cannot be affirmed.

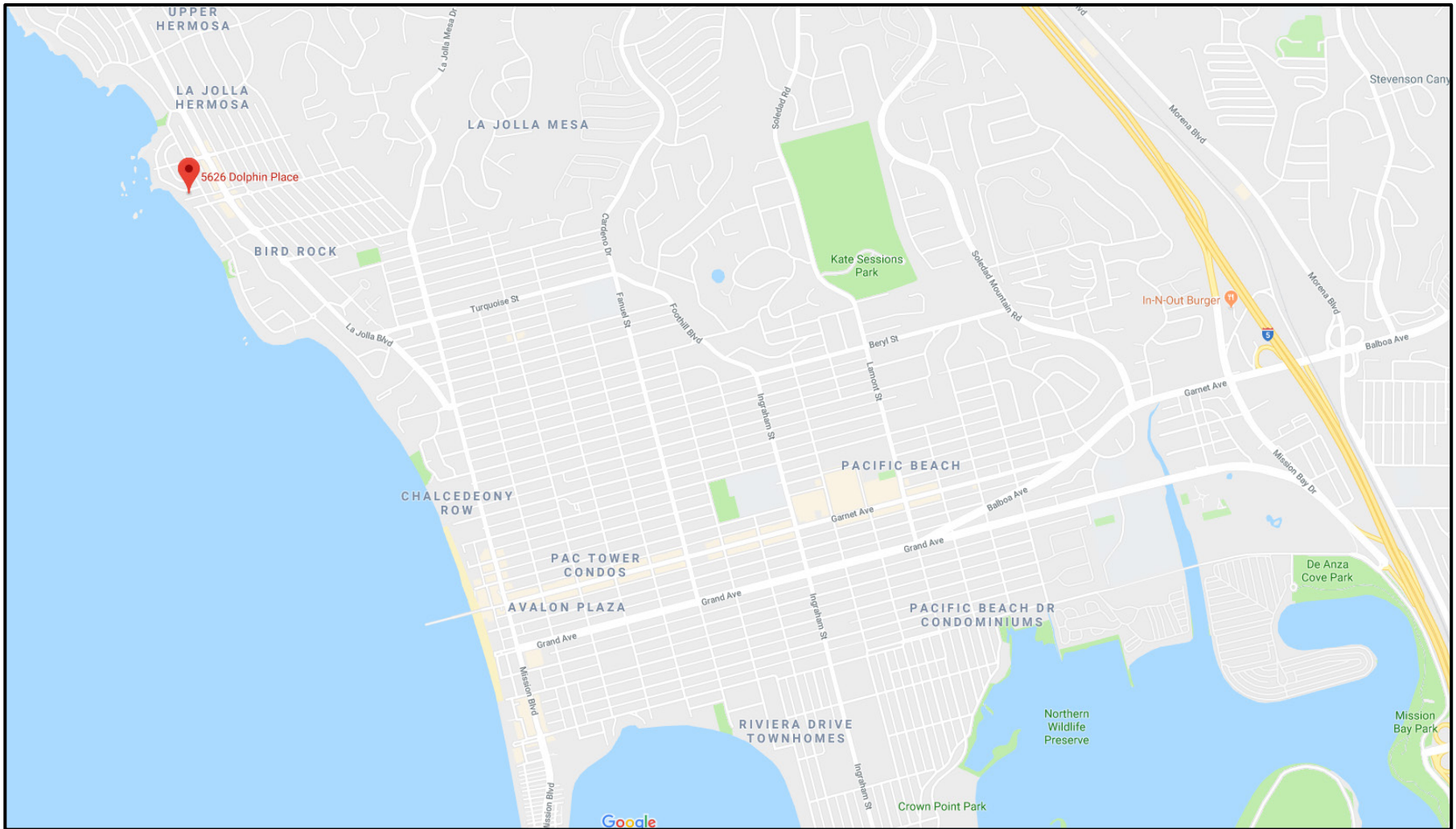
Respectfully submitted,

A handwritten signature in blue ink, appearing to be 'FM', written over a horizontal line.

Francisco Mendoza, Development Project Manager

Attachments:

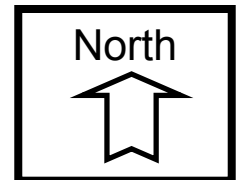
1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Subarea H: Bird Rock – Physical/Visual Access
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption Resolution by City Council
8. Community Planning Group Recommendation
9. Ownership Disclosure
10. Project Plans



Project Location Map

Hardiman Residence CDP

Project No. 550448 – 5626 Dolphin Place

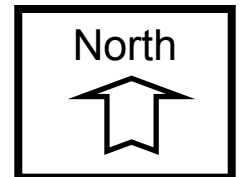




Aerial Photograph

Hardiman Residence CDP

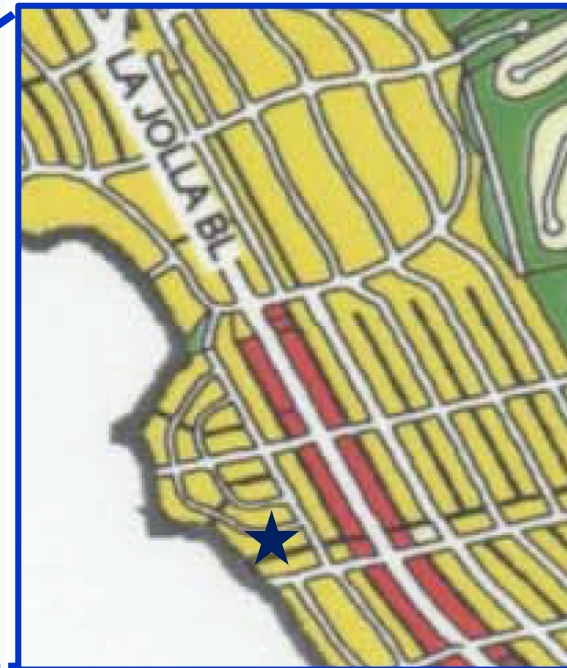
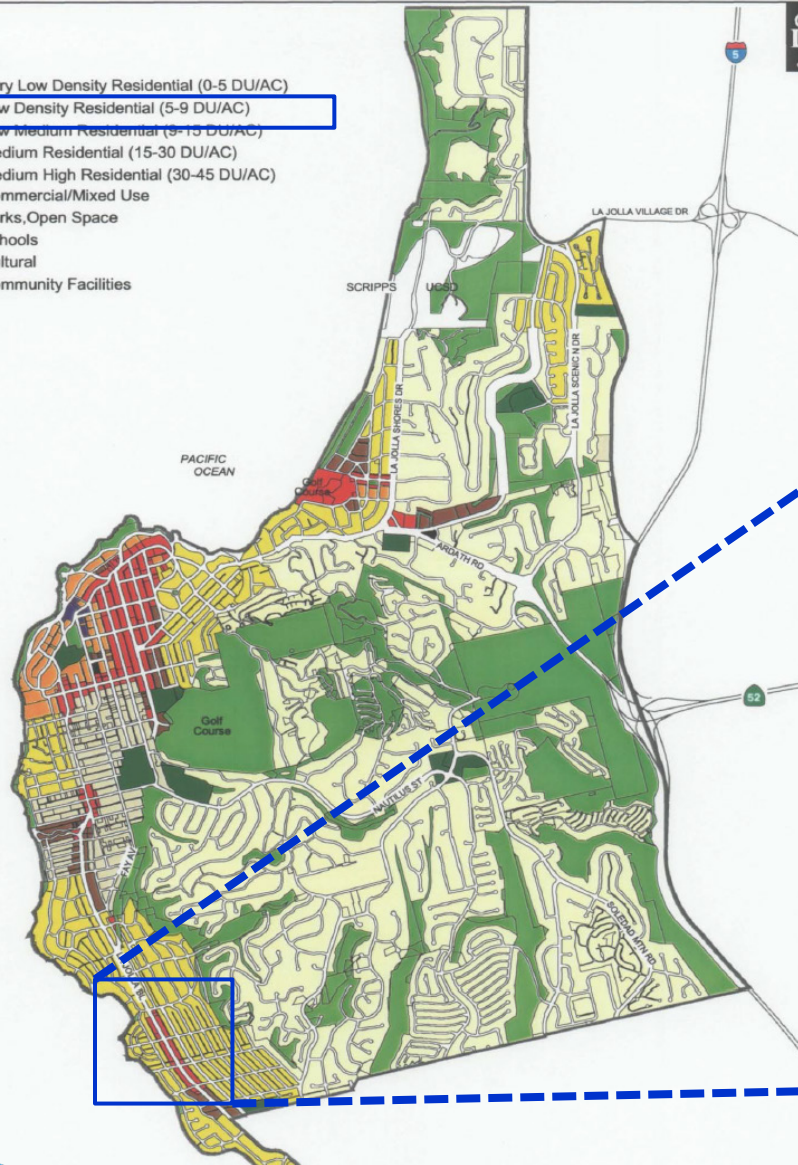
Project No. 550448 - 5626 Dolphin Place



Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

La Jolla



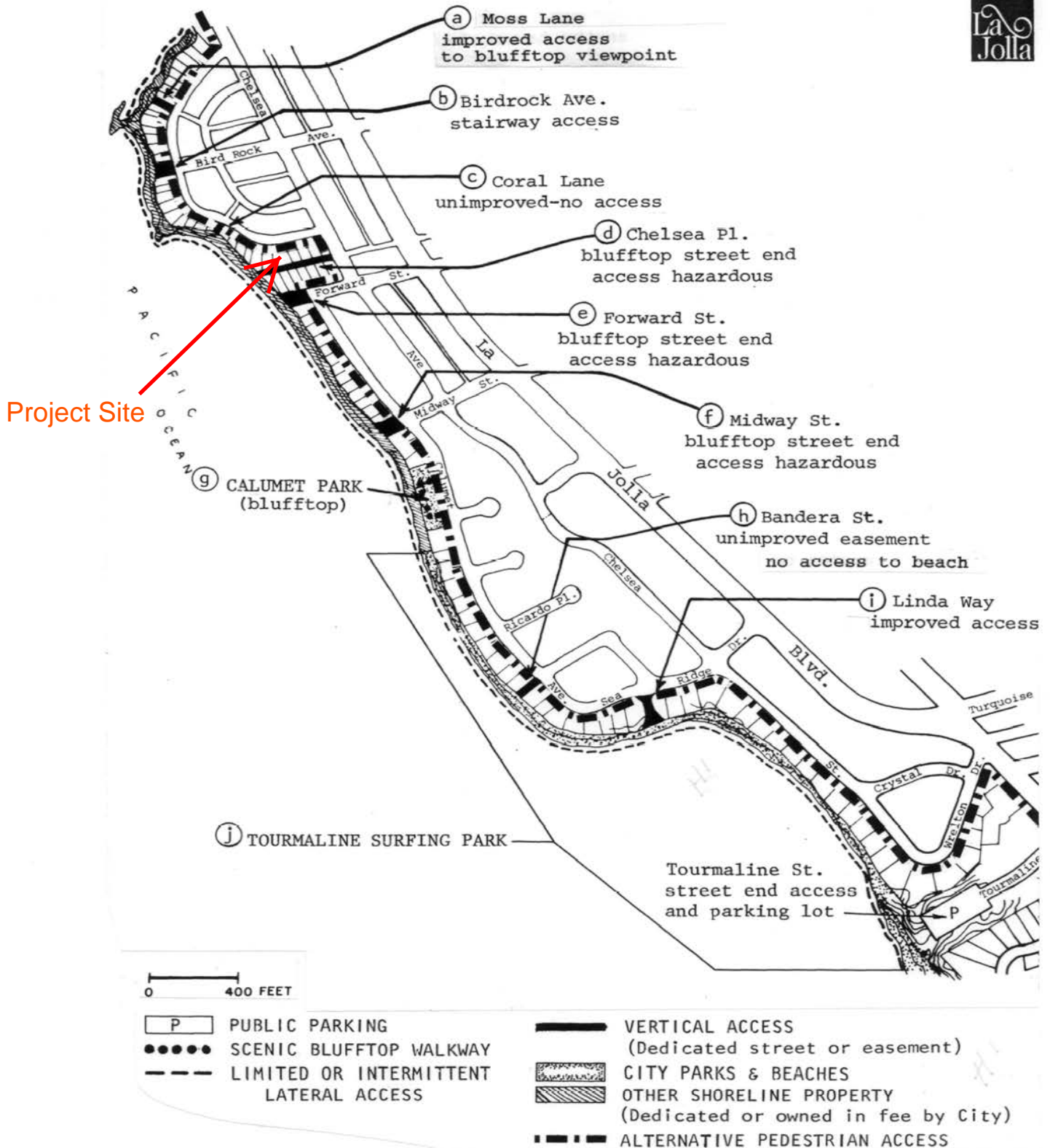
Land Use Map

Hardiman Residence CDP

Project No. 550448 - 5626 Dolphin Place

North





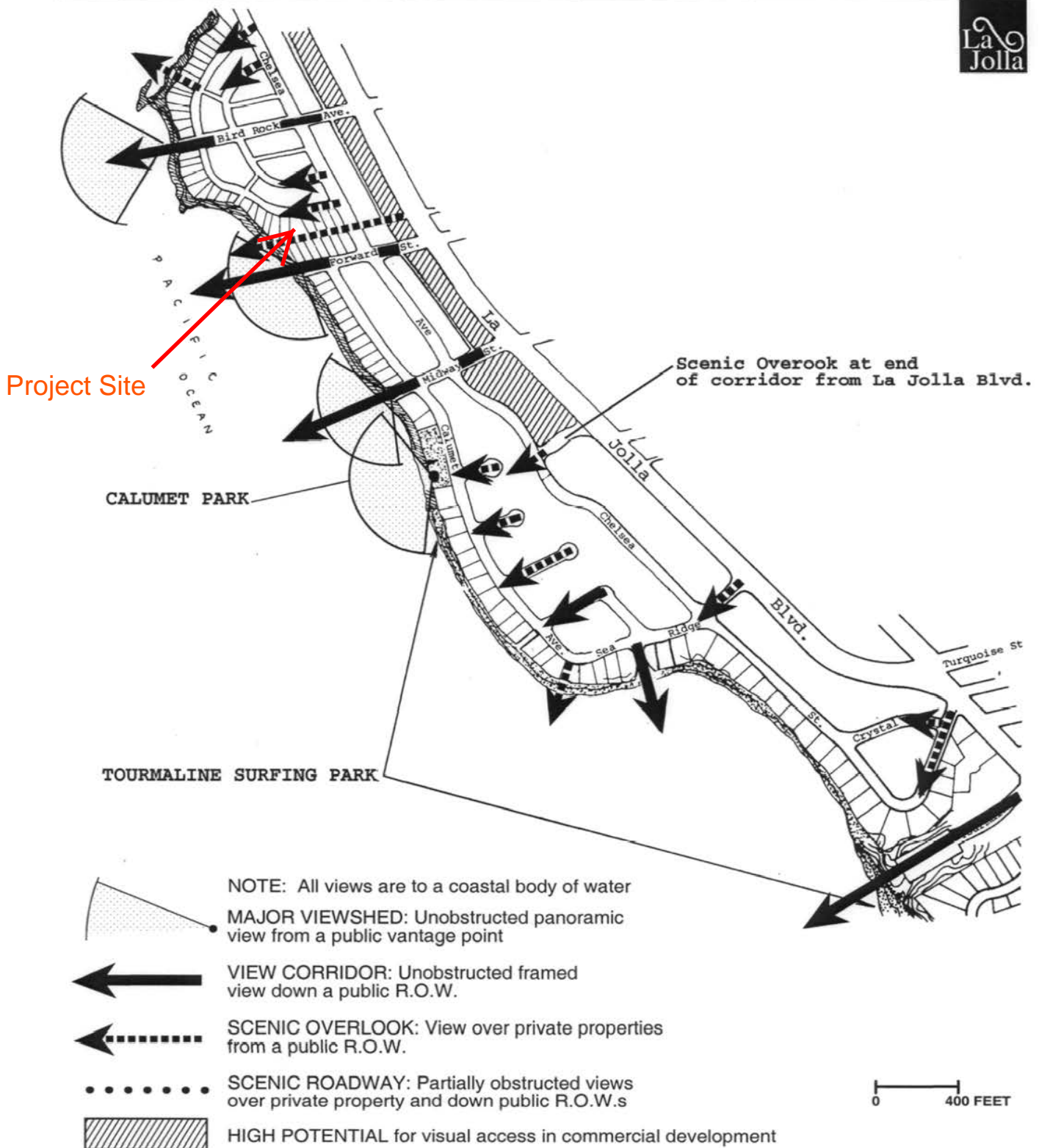
Subarea H: Bird Rock - Physical Access



Figure H



La Jolla Community Plan
City of San Diego • Planning Department



Subarea H: Bird Rock - Visual Access



La Jolla Community Plan
City of San Diego • Planning Department



Figure H

HEARING OFFICER RESOLUTION NO. HO-_____
COASTAL DEVELOPMENT PERMIT NO. 1943545
HARDIMAN RESIDENCE CDP - PROJECT NO. 550448

WHEREAS, PATRICK M. HARDIMAN, TRUSTEE OF THE PATRICK M. HARDIMAN DECLARATION OF TRUST Dated June 18, 2004 and LORI C. HARDIMAN, TRUSTEE OF THE LORI C. HARDIMAN DECLARATION OF TRUST Dated June 18, 2014, Tenants in Common, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish a single-dwelling unit and construct a two-story single-dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1943545), on portions of a 0.10-acre site; and

WHEREAS, the project site is located at 5626 Dolphin Place in the RS-1-7 Zone, and the Coastal (Appealable) Overlay, the Coastal Height Limitation Overlay, the Parking Impact (Beach and Coastal) Overlay, the Residential Tandem Parking Overlay, and the Transit Area Overlay Zones within the La Jolla Community Plan and Local Coastal Program; and

WHEREAS, the project site is legally described as Lot 8 in Block J on the Re-Subdivision of a portion of Bird Rock City by the Sea, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 1138, filed in the Office of the County Recorder of San Diego County, June 10, 1908; and

WHEREAS, on September 19, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines sections 15301 (Existing Facilities), 15302 (Replacement or Reconstruction), and 15303 (New Construction) and the Environmental

Determination was appealed to City Council, which heard and denied the appeal on January 7, 2019, pursuant to Resolution No. R-312164; and

WHEREAS, on February 20, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1943545 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 1943545:

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The Hardiman Residence CDP project (Project) is located 5262 Dolphin Place, in the RS-1-7 Zone within the La Jolla Community Plan and Local Coastal Program (Community Plan). The project site is located approximately 120 feet east from the Pacific Ocean in an established single-family residential neighborhood within the Bird Rock area of La Jolla. The interior lot is bounded by Dolphin Place to the north and Chelsea Place to the south. Dolphin Place, identified as the First Public Roadway and Chelsea Place, a named alley, contain views (Scenic Overlooks) to the ocean as identified within the Community Plan's Figure H, Subarea H: Bird Rock – Physical/Visual Access (Figure H). Shoreline accessways are also identified on both rights-of-way within Figure H. The subject property is not identified in the Community Plan as a public access way. In addition, there is no physical accessway legally used by the public on this property; nor any proposed public accessway as identified in the Community Plan across or through the property.

Dolphin Place fronting the project site is identified within Figure H as an alternative pedestrian access path to other ocean access points and vistas, and Chelsea Place as a vertical access to the bluffs, identified as "shoreline access- bluff top street access hazardous." Dolphin Place has a five-foot sidewalk that meets the Community Plan access recommendations. Additionally, the Project provides an Irrevocable Offer of Dedication (IOD) of five additional feet to meet City requirements. An IOD would allow the future construction of a 10-foot parkway by the City (see Finding 1c.). Since

the Project and associated improvements will be located completely within private property, there will be no impacts, or adverse effects on designated access.

Visual Resource Policy 2.b of the Community Plan (Page 39) aims to protect and enhance public views to the ocean from the first public roadway, open spaces, or parks. There are no designated public views identified within or across the subject site, nor open spaces or parks in the area. However, Dolphin Place and Chelsea Place are identified within Figure H as Scenic Overlooks (view over private properties from a public right of way). Therefore, views to the ocean looking down Dolphin Place from Chelsea Avenue and looking down Chelsea Place from La Jolla Boulevard/Chelsea Avenue must be preserved or enhanced. The Project protects these public views by requiring view corridor easements on the front yard setback (10 feet) and rear yard setback (5 feet) as conditions of the approval. Side yards on the property do not contain ocean views, so side yard view easements are not required. The Project design features multiple articulations, and the second floor is stepped back, consistent with the Visual Resource recommendations of the Community Plan to enhance ocean views. The Project is designed with a 29'-9" second-floor front yard setback adjacent to Dolphin Place (where 15'-0" is required) and a 19' second-floor rear yard setback adjacent to Chelsea Place (where 5'-0" is required). This design keeps the second level stepped back and away from the street and the alley, protecting any existing public views down either of the identified Scenic Overlooks. The Project's second floor is in-set more than adjacent properties, which further enhances public views from the Scenic Overlooks. Finally, the stepped-back design of the Project reduces a walled-off effect along Chelsea Place, enhancing the public view to the ocean.

As the Project is designed to protect shoreline access, and protect and enhance scenic overlooks and public views, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The Project site is a previously graded interior lot and developed with an existing single dwelling unit, located 120 feet east from the Pacific Ocean. The site is not located within or adjacent to a coastal bluff, beach, or special flood area. The site does not contain any sensitive biological resources or other environmentally sensitive lands. The site is not within or adjacent to the City's Multi-Habitat Planning Area. The Project will conform with all applicable provisions of the San Diego Municipal Code (SDMC) and the Community Plan. The Project was determined to be categorically exempt from CEQA pursuant to CEQA Guidelines section 15301 (Existing Facilities), section 15302 (Replacement or Reconstruction), and section 15303 (New Construction). On January 7, 2019 the City Council unanimously denied

an appeal, affirming the multiple CEQA Exemption determinations. Therefore, the proposed development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Community Plan designates the site as Low Density Residential (5-9 dwelling units per acre or du/ac). Although the proposed 10 du/ac density exceeds the designation, the property is a legal lot that allows one single dwelling unit. The Project proposes to demolish the on-site single-dwelling unit originally built in 1929 and construct a two-story over-basement 3,290-square-foot single dwelling unit, with an attached three-car, 568-square-foot basement garage. Per SDMC section 143.0212, all projects impacting a parcel that contains a structure older than 45 years must be reviewed to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. A submitted Historic Resource Technical Report prepared by Scott A. Moomjian, dated May 2017, analyzed the historical significance of the site. The report concluded that the property is not eligible for historic designation under any Historic Resource Board or other designation criteria. City staff reviewed and accepted the report's conclusion.

The Project is designed to meet the applicable regulations of the RS-1-7 Zone and all overlay zones, including, but not limited to, setbacks, floor area ratio, and height. In addition, the Project complies with the Community Plan's "Community Character" recommendations within the Residential Land Use Element. These recommendations aim to "maintain and enhance the existing neighborhood character ambience [and] promote good design and visual harmony in the transitions between new and existing structures." This ensures that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. Based on a survey of neighboring properties, development within the neighborhood is a mixture of one-, two-, and three-story residences with a mix of traditional and contemporary styles.

The Project is similar in size to other dwellings in the neighborhood in a contemporary style, featuring multiple articulations and a stepped-back second floor that aides in the transition between existing adjacent development and the Project. The Project is designed with a 29'-9" second-floor front yard setback adjacent to Dolphin Place (where 15' is required) and a 19'-0" second-floor rear yard setback adjacent to Chelsea Place (where 5' is required). With a maximum 25- to 27-foot height, the Project is similar in height to adjacent properties, but more stepped back and away from the street and the alley. This design reduces the bulk and scale of the Project and follows the recommendation of the Community Plan to "promote good design and visual harmony in the transition between new and existing structures." Additionally, the stepped-back design of the Project reduces a walled-off effect along Chelsea Place, visually transitioning between properties to the east and west, while also preserving the public view to the ocean (see Finding No. 1a).

Dolphin Place has a five-foot sidewalk that meets the Community Plan recommendations for access, but streets like Dolphin Place generally require a 10-foot parkway. Adjacent properties along the sidewalk are developed to the five-foot sidewalk edge, forming a unifying streetscape theme. Construction of a 10-foot parkway would disrupt the streetscape theme along Dolphin Place, which conflicts with the recommendations of the Community Plan. To preserve the existing streetscape theme and also meet City requirements, the Project provides an Irrevocable Offer of Dedication (IOD) of five additional feet. An IOD would allow the future construction of a 10-foot parkway by the City and allow the project to conform to the Community Plan's "Community Character" recommendations.

As the Project is designed to meet the all applicable regulations, and complies the recommendations of the Community Plan, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is approximately 120 feet east from the Pacific Ocean and is located seaward of Dolphin Place, identified as the First Public Roadway. Dolphin Place is identified within the Community Plan as an alternative pedestrian access path to other ocean access points and vistas, and Chelsea Place as a vertical access to the bluffs, identified as "shoreline access - bluff top street access hazardous." Dolphin Place has a five-foot sidewalk that meets the Community Plan recommendations for access. Since the proposed Project and associated improvements will be located completely within the private property, there will be no impact to, or adverse effect on designated access.

The project site is not located in an area identified for public recreation, nor will the proposed Project impact existing public recreation areas. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

ATTACHMENT 5

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1943545 is hereby GRANTED by the Hearing Officer to the referenced Owners/Permittees, in the form, exhibits, terms and conditions as set forth in Permit No. 1943545, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on: February 20, 2019

IO#: 24007293

fm 7-17-17

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007293

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1943545
HARDIMAN RESIDENCE CDP - PROJECT NO. 550448
HEARING OFFICER

This Coastal Development Permit No. 1943545 is granted by the Hearing Officer of the City of San Diego to PATRICK M. HARDIMAN, TRUSTEE OF THE PATRICK M. HARDIMAN DECLARATION OF TRUST Dated June 18, 2004 and LORI C. HARDIMAN, TRUSTEE OF THE LORI C. HARDIMAN DECLARATION OF TRUST Dated June 18, 2014, Tenants in Common, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.10-acre site is located at 5626 Dolphin Place in the RS-1-7 Zone, and the Coastal (Appealable) Overlay, the Coastal Height Limitation Overlay, the Parking Impact (Beach and Coastal) Overlay, the Residential Tandem Parking Overlay, and the Transit Area Overlay Zones within the La Jolla Community Plan and Local Coastal Program. The project site is legally described as: Lot 8 in Block J on the Re-Subdivision of a portion of Bird Rock City by the Sea, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 1138, filed in the Office of the County Recorder of San Diego County, June 10, 1908.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees to demolish a single-dwelling unit and construct a two-story single-dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 20, 2019, on file in the Development Services Department.

The project shall include:

- a. Demolish a dwelling unit and construct a two-story over-basement 3,290-square-foot single dwelling unit, attached 568-square-foot garage with 153 square feet of mechanical space, totaling 4,011 square feet;
- b. Site retaining walls and an in-ground spa;
- c. Off-street parking; and

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 6, 2022.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 740 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrain in the Dolphin Place public right-of-way.
16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for any landscaping and irrigation in the Dolphin Place or Chelsea Place public right-of-way.
17. Prior to the issuance of any building permits, the Owner/Permittee shall provide a 5-foot-wide Irrevocable Offer of Dedication, adjacent to the site on Dolphin Place, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

19. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
20. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

PLANNING/DESIGN REQUIREMENTS:

21. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

23. Prior to the issuance of any building permit, the Owner/Permittee shall record a 10-foot-wide View Corridor Easement along the Northern property front yard setback and a 5-foot wide View Corridor Easement along the Southern property rear yard setback as shown on Exhibit "A," in accordance with SDMC section 132.0403.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 20, 2019 and HO-_____.

ATTACHMENT 6

Coastal Development Permit No. 1943545

Date of Approval: February 20, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Francisco Mendoza
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**THE PATRICK M. HARDIMAN DECLARATION
OF TRUST dated June 18, 2004**
Owner/Permittee

By _____
Patrick M. Hardiman
Trustee

**THE LORI C. HARDIMAN DECLARATION OF
TRUST dated June 18, 2004**
Owner/Permittee

By _____
Lori C. Hardiman
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R- 312164

DATE OF FINAL PASSAGE JAN 07 2019

ITEM# 205
1/7/19

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO DENYING THE APPEAL AND APPROVING THE ENVIRONMENTAL DETERMINATION THAT THE PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO GUIDELINES SECTION 15301 (EXISTING FACILITIES), 15302 (REPLACEMENT OR RECONSTRUCTION), AND 15303 (NEW CONSTRUCTION) FOR HARDIMAN RESIDENCE COASTAL DEVELOPMENT PERMIT – PROJECT NO. 550448.

WHEREAS, an application was submitted for a Coastal Development Permit (CDP) to demolish an existing one-story over-basement, 975-square-foot single-dwelling unit and construct a two-story over-basement single-dwelling unit totaling approximately 3,858 square feet on a 0.11-acre project site located at 5626 Dolphin Place (Project), in the La Jolla Community Plan area; and

WHEREAS, on September 19, 2018, the Environmental Analysis Section (EAS) of the Development Services Department (DSD) determined the subject project to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines Section 15301 (Existing Facilities), Section 15302 (Replacement or Reconstruction), and Section 15303 (New Construction) and determined that the exceptions to the exemption do not apply; and

WHEREAS, a Notice to Right to Appeal was prepared and posted pursuant to San Diego Municipal Code Section 112.0310; and

WHEREAS, on October 3, 2018, an environmental determination appeal was filed by Joseph Bruno; and

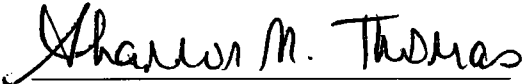
WHEREAS, the appeal was heard by the City Council on January 7, 2019; and

WHEREAS, under San Diego Charter section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the City Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; NOW, THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego, that the appeal of the Environmental Determination is denied, based upon the substantial evidence provided in the records to support the categorical exemption and the determination that no substantial evidence has been provided to support a fair argument that one of the exceptions to the categorical exemption applies.

BE IT FURTHER RESOLVED, that Environmental Exemption No. 550448 for the Project is approved and the Project is exempt from CEQA, pursuant to Guidelines Sections 15301, 15302, and 15303.

APPROVED: MARA W. ELLIOTT, City Attorney

By 
Shannon M. Thomas
Deputy City Attorney

SMT:als
01/08/2019
Or.Dept:DSD
Doc. No.: 1905323

Passed by the Council of The City of San Diego on JAN 07 2019, by the following vote:

Councilmembers	Yeas	Nays	Not Present	Recused
Barbara Bry	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Campbell	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Chris Ward	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Monica Montgomery	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mark Kersey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chris Cate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Scott Sherman	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Vivian Moreno	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Georgette Gómez	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Date of final passage JAN 07 2019.

(Please note: When a resolution is approved by the Mayor, the date of final passage is the date the approved resolution was returned to the Office of the City Clerk.)

AUTHENTICATED BY:

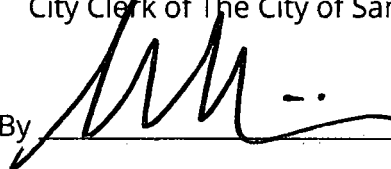
KEVIN L. FAULCONER

Mayor of The City of San Diego, California.

ELIZABETH S. MALAND

City Clerk of The City of San Diego, California.

(Seal)

By , Deputy

Office of the City Clerk, San Diego, California

312164

Resolution Number R-



La Jolla Community Planning Association

November 14, 2017

To: Pancho Mendoza
CC: Joshua Wood

RE: Hardiman Residence: 5626 Dolphin Place Project #: 550448

On November 7, 2017, at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed the Hardiman Residence Project as an Action Item on Full Review.

11.0 Coastal Development Permit for the demolition of existing Single Dwelling Unit, and construction of a new SDU of two stories over basement with a total of 4,110 square feet of new construction.

DPR Motion: Findings can be made for the CDP for the demolition of an existing Single Dwelling Unit and construction of a new SDU of two stories over basement with a total of 4,110 square feet of new construction. Vote: 5-0-1.

The LJCPA voted to accept the recommendation of the DPR committee. 9-0-2.

Sincerely,

Bob Steck
President, LJCPA



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other 550448

Project Title

HARDIMAN RESIDENCE

Project No. For City Use Only

Project Address:

5626 DOLPHIN PLACE, LA JOLLA, CA, 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

PATRICK HARDIMAN

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

35 W. WACKER DRIVE, SUITE 4100

City/State/Zip:

CHICAGO / IL / ~~60601~~ 60601

Phone No:

(312) 804-3087

Fax No:

Signature :

Date:

4/14/17

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

LORI HARDIMAN

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

35 W. WACKER DRIVE, SUITE 4100

City/State/Zip:

CHICAGO / IL / ~~60601~~ 60601

Phone No:

(312) 804-3087

Fax No:

Signature :

Date:

4/14/17

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

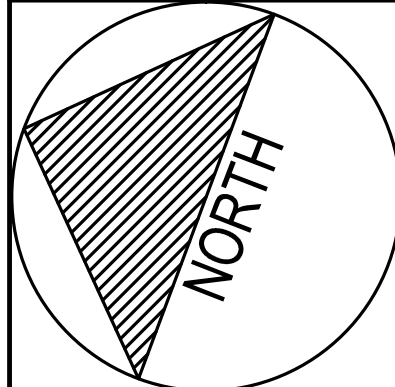
City/State/Zip:

Phone No:

Fax No:

Signature :

Date:



HARDIMAN RESIDENCE
5626 DOLPHIN PLACE

PROJECT INFORMATION

OWNER:
PATRICK AND LORI HARDIMAN
35 W WACKER DRIVE, SUITE 4100
CHICAGO, IL 60661

PROJECT ADDRESS:
5626 DOLPHIN PLACE
LA JOLLA, CA 92031

ASSESSOR'S PARCEL NUMBER:
351-425-01-00

LEGAL DESCRIPTION: LOT 8 IN BLOCK 'J' OF THE RE-SUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 10, 1908.

CONSTRUCTION TYPE: V-A - SPINKLERED

OCCUPANCY: R-3, U

APPLICABLE CODES:
2016 CBC, 2016 CRC, 2016 CEC, 2016 CFC, 2016 CMC
2016 CALIFORNIA FIRE CODE, 2016 CRC -CALIFORNIA
RESIDENTIAL CODE, 2016 CALIFORNIA GREEN CODE

BASE ZONE: RS 1-1

OVERLAY ZONES: COASTAL APPEALABLE (CITY) ZONE, COASTAL HEIGHT
LIMIT OVERLAY ZONE

GROSS SITE AREA: 4,380 SF.

EXISTING USE: SINGLE FAMILY RESIDENCE

PROPOSED USE: SINGLE FAMILY RESIDENCE

ORIGINAL CONSTRUCTION: 1929

GEOLOGIC HAZARD CATEGORY: 53

PROJECT TEAM

ARCHITECT: WOOD'S ARCHITECTURE
JOSHUA WOOD, ARCHITECT LIC# 33433
695 LIQUID AMBER WAY
SAN MARCOS, CA 92078
760-271-1920
jtw695@gmail.com

SOILS ENGINEER: CHRISTIAN WHEELER
DANIEL ADLER - RCE 36031
3980 HOME AVENUE
SAN DIEGO, CA 92105
619-550-1100 - OFFICE
619-550-1101 - FAX
dadler@christianwheeler.com

SURVEYOR/
CIVIL ENGINEER: COFFEY ENGINEERING
JOHN COFFEY, P.E., PLS
9666 BUSINESSPARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
858-831-0111 - OFFICE
858-831-0119 - FAX
john@coffeyengineering.com

HISTORIC
CONSULTANT: SCOTT MOOMJIAN, ATTY.
5113 WARING ROAD, #45
SAN DIEGO, CA 92120
619-230-1110 - OFFICE
619-185-3340 - FAX
smoomjlan@earthlink.net

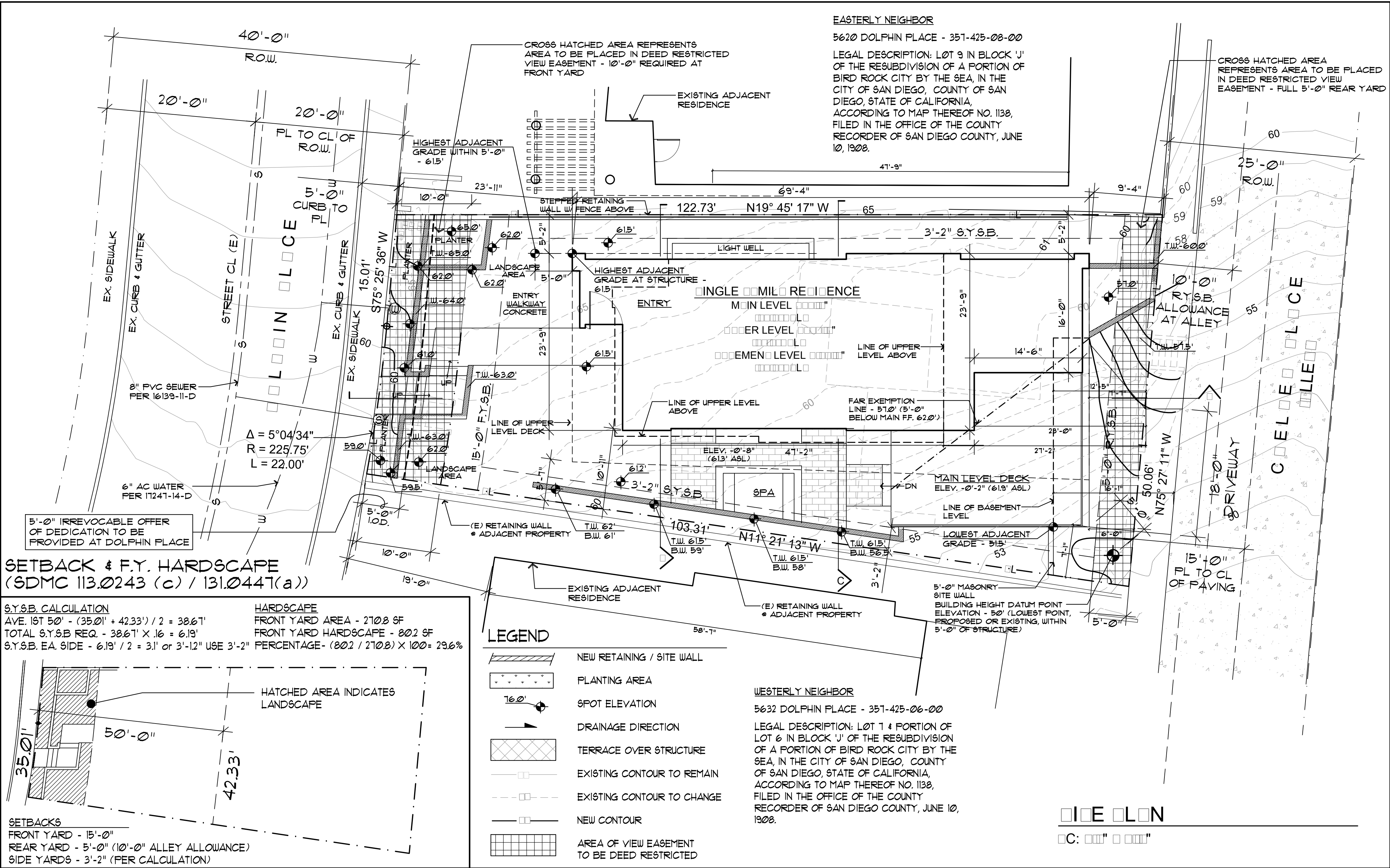
SHEET INDEX

- 1 SITE PLAN/PROJECT INFORMATION
- 2 TOPOGRAPHIC SURVEY
- 3 CONCEPT GRADING AND DRAINAGE PLAN
- 4 PROPOSED MAIN LEVEL FLOOR PLAN
- 5 PROPOSED UPPER LEVEL FLOOR PLAN
- 6 PROPOSED BASEMENT LEVEL FLOOR PLAN
- 7 EXTERIOR ELEVATIONS
- 8 EXTERIOR ELEVATIONS
- 9 EXTERIOR ELEVATIONS
- 10 ROOF PLAN
- 11 BUILDING SECTIONS
- 12 BUILDING SECTIONS
- 13 BUILDING SECTIONS
- 14 BUILDING HEIGHT PLAN

PROPOSITION 'D' HEIGHT LIMIT

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

PROJECT TITLE: 5626 DOLPHIN PLACE	PROJECT NO. 000000
ORIGINAL DATE: 000000	REVISION NO. 000000
REVISION NO. 000000	REVISION NO. 000000
REVISION NO. 000000	REVISION NO. 000000
REVISION NO. 000000	REVISION NO. 000000
REVISION NO. 000000	REVISION NO. 000000
REVISION NO. 000000	REVISION NO. 000000



SETBACK & F.Y. HARDSCAPE
(SDMC 113.0243 (c) / 131.0447(a))

S.Y.S.B. CALCULATION
AVE. 1ST 50' - (35.0' + 42.33') / 2 = 38.61'
TOTAL S.Y.S.B. REQ. - 38.61' X .16 = 6.19'
S.Y.S.B. EA. SIDE - 6.19' / 2 = 3.1' or 3'-1.2" USE 3'-2" PERCENTAGE - (802 / 2108) X 100 = 29.6%

HARDSCAPE
FRONT YARD AREA - 2108 SF
FRONT YARD HARDSCAPE - 802 SF

SETBACKS
FRONT YARD - 15'-0"
REAR YARD - 5'-0" (10'-0" ALLEY ALLOWANCE)
SIDE YARDS - 3'-2" (PER CALCULATION)

LEGEND

- NEW RETAINING / SITE WALL
- PLANTING AREA
- SPOT ELEVATION
- DRAINAGE DIRECTION
- TERRACE OVER STRUCTURE
- EXISTING CONTOUR TO REMAIN
- EXISTING CONTOUR TO CHANGE
- NEW CONTOUR
- AREA OF VIEW EASEMENT TO BE DEED RESTRICTED

WESTERLY NEIGHBOR
5632 DOLPHIN PLACE - 351-425-06-00
LEGAL DESCRIPTION: LOT 1 & PORTION OF LOT 6 IN BLOCK 'J' OF THE RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 10, 1908.

STORMWATER NOTES

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

GENERAL NOTES

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE, LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 3014.4).
2. THERE ARE NO KNOWN BUS STOPS IN FRONT OF OR ADJACENT TO PROPERTY.
3. THERE ARE NO KNOWN EASEMENTS ON OR ABOVE PROPERTY.
4. PROJECT DOES NOT PROPOSE ANY GRADING ACTIVITY THAT WOULD INCLUDE CUTS WITH DEPTHS EXCEEDING 10 FEET OR SOIL REMOVAL GREATER THAN 1000 CUBIC YARDS.
5. EXISTING WATER AND SEWER SERVICES TO REMAIN AND BE USED FOR PROPOSED PROJECT.

TOPOGRAPHIC SURVEY REFERENCE

TOPOGRAPHIC INFORMATION: COFFEY ENGINEERING
JOHN COFFEY - PLS
LIC. # 8133
SURVEY DATE - DECEMBER 22, 2016

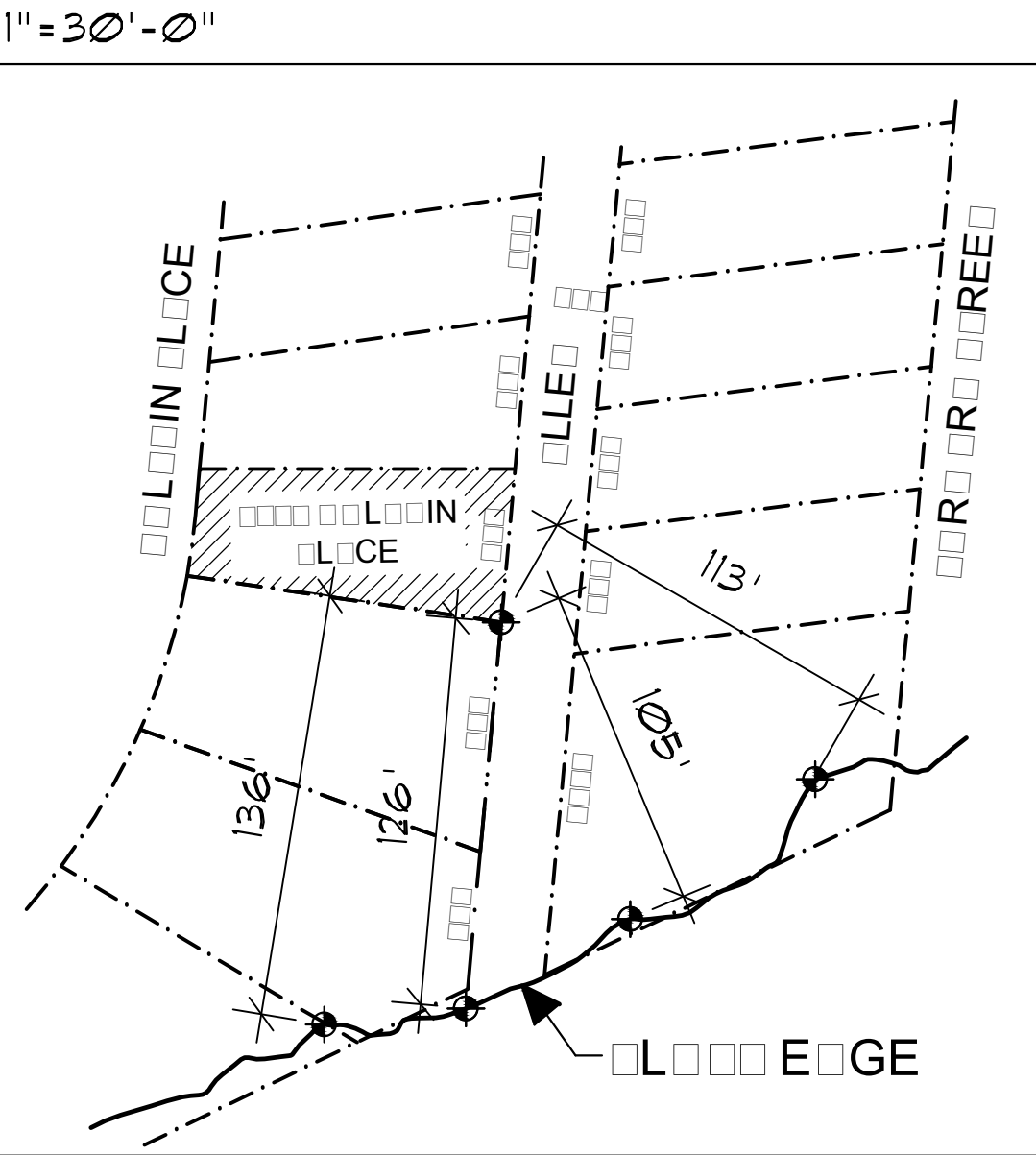
PROJECT DESCRIPTION

- DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE - 1-STORY OVER BASEMENT
- CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE - 2-STORY OVER BASEMENT
- NEW SITE IMPROVEMENTS - HARDSCAPE, LANDSCAPE, RETAINING WALLS, DRIVEWAY,
- NEW IN-GROUND SPA

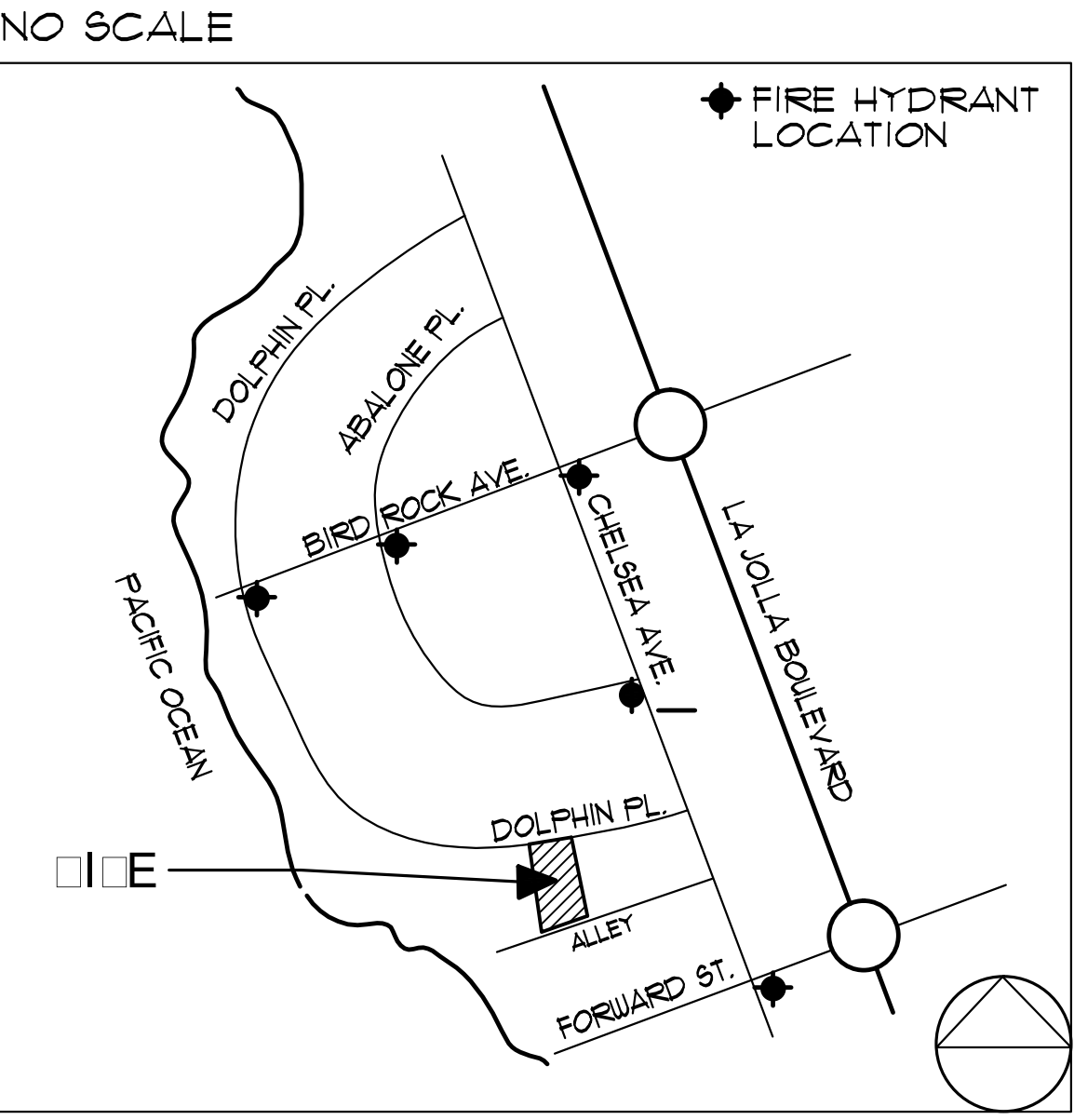
AREA TABULATION

HABITABLE:	
MAIN LEVEL	1328 SF
UPPER LEVEL	1010 SF
BASEMENT LEVEL	952 SF
TOTAL HABITABLE	3290 SF
NON-HABITABLE:	
MECHANICAL	153 SF
3-CAR GARAGE	568 SF
TOTAL NON-HABITABLE	721 SF
TOTAL GROSS	4011 SF
EXEMPT AREA	1384 SF.
BASEMENT AREA TOWARDS F.A.R. - 289 SF.	
TOTAL GROSS AREA TOWARDS F.A.R. = 2621 SF	
ALLOWABLE F.A.R. (60 X LOT AREA) = 60 X 4,380 SF = 2,628 SF	

DISTANCE TO BLUFF EDGE



VICINITY MAP



COFFEY ENGINEERING, INC.



HARDIMAN RESIDENCE

5626 Dolphin Place
La Jolla, CA 92037

DRAWN BY:	EM/DK
CHECKED BY:	JC
ORIGINAL	1/10/17
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

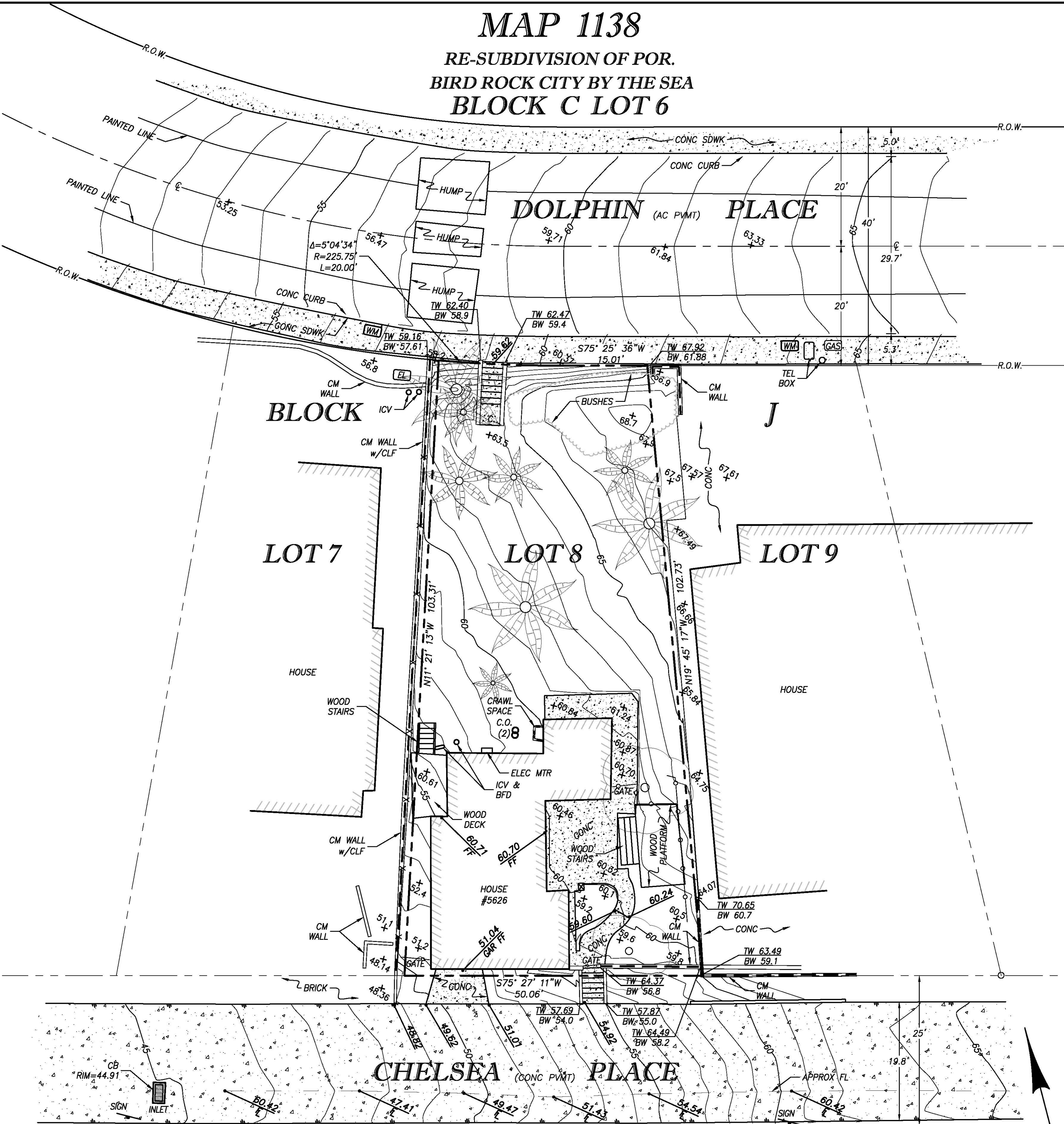
TOPOGRAPHIC
PLAN

SCALE: 1" = 10'

C.O.

SHT 1 OF 1 SHTS

MAP 1138
RE-SUBDIVISION OF POR.
BIRD ROCK CITY BY THE SEA
BLOCK C LOT 6



LEGEND

DESCRIPTION	STD. DWG	SYMBOL
PROPERTY LINE (RECORD)		N45°45'45"W
PROPERTY LINE - OFFSITE		
STREET CENTERLINE		
CONTOUR		90
EDGE OF PAVING		
CONCRETE CURB ONLY		
SPOT ELEVATION (100.00 - HARDSCAPE)		+100.00
SPOT ELEVATION (100.0 - LANDSCAPE)		100.00
BUILDING FOOTPRINT		
WOOD FENCE		
CHAIN LINK FENCE (CLF)		
FREE STANDING WALL		
RETAINING WALL		
TREE; PLANT; PALM		

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	ELEV	ELEVATION
BFD	BACKFLOW DEVICE	FL	FLOW LINE
BLK	BLOCK	FS	FINISHED SURFACE
BRK	BRICK	H	HIGH
BW	GRADE AT BOTTOM OF WALL	ICV	IRRIGATION CONTROL VALVE
CL	CENTER LINE	PLTR	PLANTER
C; CONC	CONCRETE	PVMT	PAVEMENT
CM	CONCRETE MASONRY	SMH	SEWER MANHOLE
C.O.	CLEANOUT	TEL	TELEPHONE
EG	EXISTING GROUND	TW	TOP OF WALL
EL	ELECTRIC	TYP	TYPICAL
		WM	WATER METER

NOTES

- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

LEGAL DESCRIPTION

LOT 8 IN BLOCK J OF MAP 1138, A RE-SUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO ON JUNE 10, 1908.

APN: 357-425-07-00

BENCHMARK

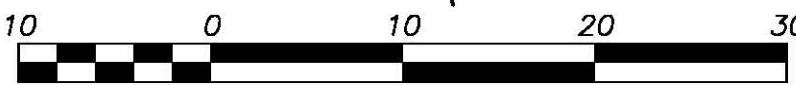
NWBP AT THE CORNER OF DOLPHIN PLACE AND CHELSEA AVENUE.
ELEV = 73.787 MSL, NGVD29, CITY OF SAN DIEGO VERTICAL CONTROL BOOK.

EASEMENTS

THERE ARE NO EASEMENTS PRESENT ON THE SUBJECT PROPERTY PER TITLE REPORT BY FIRST AMERICAN TITLE COMPANY, ORDER NUMBER DIV-5323870, DATED OCTOBER 19, 2016.

DATE OF SURVEY: 12/22/16 SURVEY CREW: EM, AP

TOPOGRAPHIC SURVEY



SCALE: 1"=10'

LEGEND

DESCRIPTION	STD. DWG.	SYMBOL
PROPERTY LINE		N45°45'45"W
ROW CENTERLINE		—C—
EXISTING CONTOUR		—90—
PROPOSED CONTOUR		—90—
PROPOSED SPOT ELEVATION		100.00
DRAINAGE SWALE OR DIRECTION OF FLOW		→
EXISTING WATER MAIN		—W—
EXISTING SEWER—MAIN		—S—
EXISTING GAS LINE		—G—
EXISTING WATER LINE		—W—
RETAINING WALL		—
SCREEN WALL		—
BUILDING FOOTPRINT		—

ABBREVIATIONS:

AC	ASPHALTIC CONCRETE	H	HEIGHT
APN	ASSESSOR'S PARCEL NUMBER	HP	HIGH POINT
BLDG	BUILDING	IE	INVERT ELEVATION
BW	BOTTOM OF RETAINING WALL GRADE	(P); PR	PROPOSED
C	CENTER LINE	PCC	PORTLAND CEMENT CONCRETE
CB	CATCH BASIN	PLTR	PLANTER/PLANTING AREA
CONC	CONCRETE	PP	POWER POLE
DWY	DRIVEWAY	S	SEWER
(E); EX	EXISTING	SD	STORM DRAIN
EL	ELEVATION	TC	TOP OF CURB
FT	FINISH FLOOR	TG	TOP OF GRATE (DRAIN)
FG	FINISH GRADE	TW	TOP OF RETAINING WALL GRADE
FS	FINISH SURFACE	TYP	TYPICAL
E; FL	FLOW LINE	W	WATER
		WM	WATER METER

CIVIL ENGINEER:

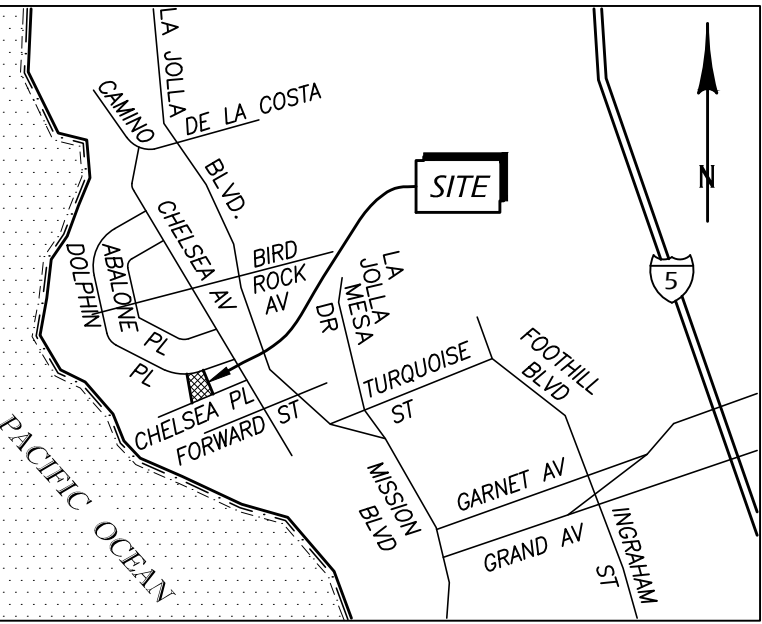
JOHN S. COFFEY
COFFEY ENGINEERING, INC.
10650 SCRIPPS RANCH BLVD., SUITE 210
SAN DIEGO, CA 92131
(858) 831-0111
FAX: (858) 831-0179



PRELIMINARY

JOHN S. COFFEY
RCE 62716

DATE



VICINITY MAP

THOMAS BROS. MAP 1247-F4
NO SCALE

PROPERTY OWNER:
PATRICK AND LORI HARDIMAN
35 W WACKER DRIVE, SUITE 4100
CHICAGO, IL 60661

PROJECT ADDRESS:
5626 DOLPHIN PLACE
LA JOLLA, CA 92037

ASSESSOR'S PARCEL NUMBER:
357-425-07-00

LEGAL DESCRIPTION:
LOT 8 IN BLOCK 'J' OF THE RE-SUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 10, 1968.

BASE ZONE:
RS 1-7

OVERLAY ZONES:
COASTAL APPEALABLE (CITY) ZONE
COASTAL HEIGHT LIMIT OVERLAY ZONE

GROSS SITE AREA:
4,380 S.F.

EXISTING USE:
SINGLE FAMILY RESIDENCE

PROPOSED USE:
SINGLE FAMILY RESIDENCE

ORIGINAL CONSTRUCTION:
1929

GEOLOGIC HAZARD CATEGORY:
53

SOURCE OF TOPOGRAPHY:
COFFEY ENGINEERING, INC.
9666 BUSINESSPARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
JOHN S. COFFEY, LS #8733, EXP. 6/30/18
JOB #2016-101 REVISION DATE: 2/15/17

BENCHMARK:
NNBP AT THE CORNER OF DOLPHIN PLACE AND CHELSEA AVENUE.
ELEV = 73.787 MSL, NGVD29, CITY OF SAN DIEGO VERTICAL CONTROL BOOK.

PROJECT STORMWATER AREAS

PROPOSED DISTURBED AREA = 4,357 SQ. FT. (0.10 ACRES)

IMPERVIOUS AREA BEFORE CONSTRUCTION (TOTAL) = 1,313 SQ. FT.

IMPERVIOUS AREA AFTER CONSTRUCTION (TOTAL) = 2,716 SQ. FT. (1,403 SQ. FT. INCREASE)

DEVELOPMENT PROJECT CATEGORY

STANDARD

CONSTRUCTION SITE PRIORITY

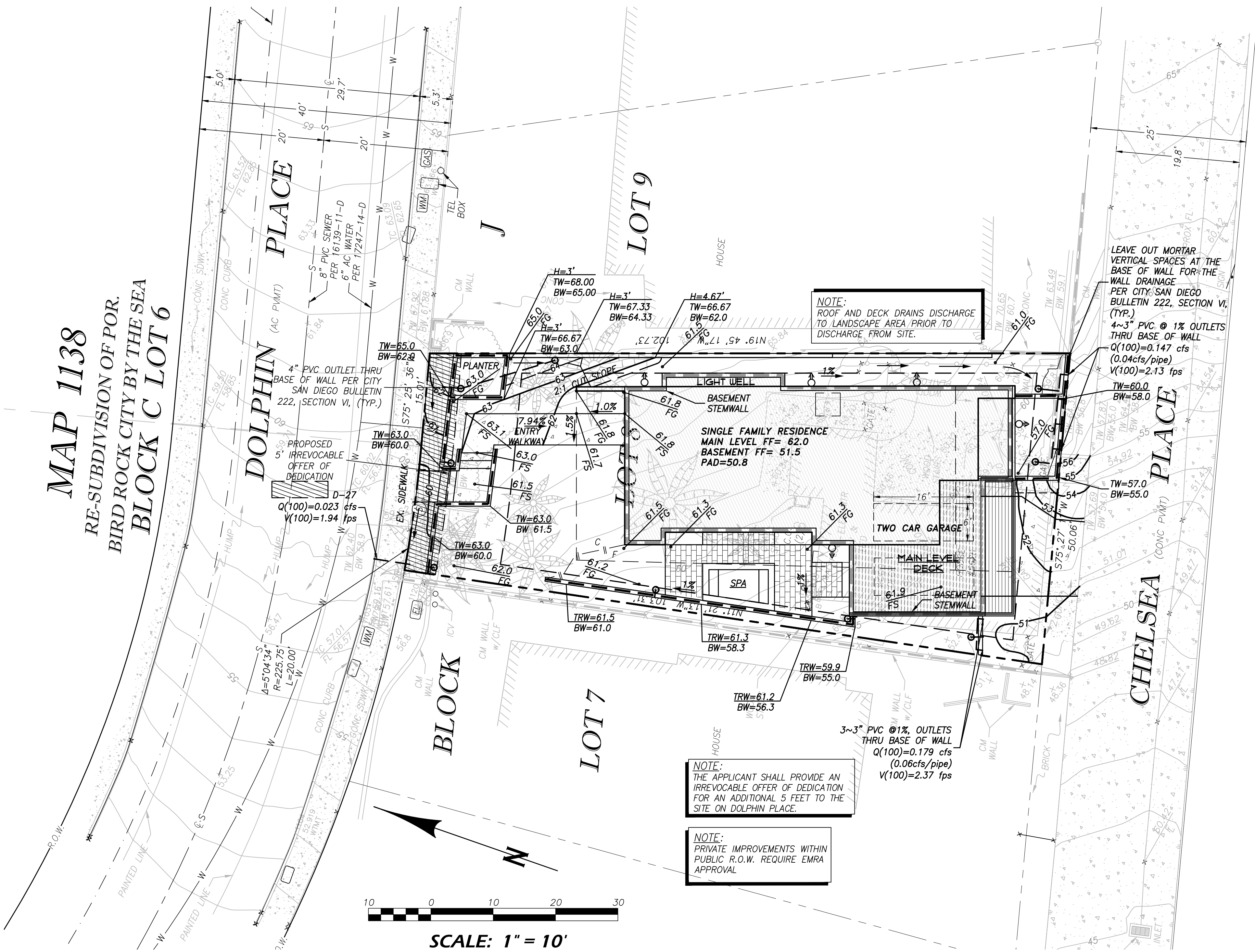
LOW

GRADING NOTES

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCPW SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

DRAINAGE NOTES

- ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- ALL CATCH BASIN LEADS TO BE 4" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
- SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MINIMUM AWAY FROM STRUCTURE.
- SOIL COVER ABOVE DRAIN LINES SHALL BE 12" MINIMUM UNLESS OTHERWISE NOTED.
- NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.



*THIS 4.9 FEET MAX. DEPTH OF CUT ARE OUTSIDE THE BUILDING.

GRADING TABULATIONS			
TOTAL AMOUNT OF SITE TO BE GRADED:	0.10 ACRES	% OF TOTAL SITE:	100%
AMOUNT OF CUT:	740 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	4.9 * FEET
AMOUNT OF FILL:	40 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	4.9 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
MAXIMUM HEIGHT OF CUT SLOPE(S):	4 FEET	SLOPE RATIO:	2:1
AMOUNT OF IMPORT/EXPORT SOIL:	700 CUBIC YARDS	MAXIMUM HEIGHT:	4.9' FEET
RETAINING/CRIB WALLS:	LENGTH 160 FEET		

THIS PROJECT PROPOSES TO EXPORT 700 CUBIC YARDS OF MATERIAL FROM THIS SITE. IF ANY EXPORT OF MATERIAL IS DEEMED NECESSARY BY A GEOTECHNICAL ENGINEER DUE TO SOIL CONDITIONS, ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

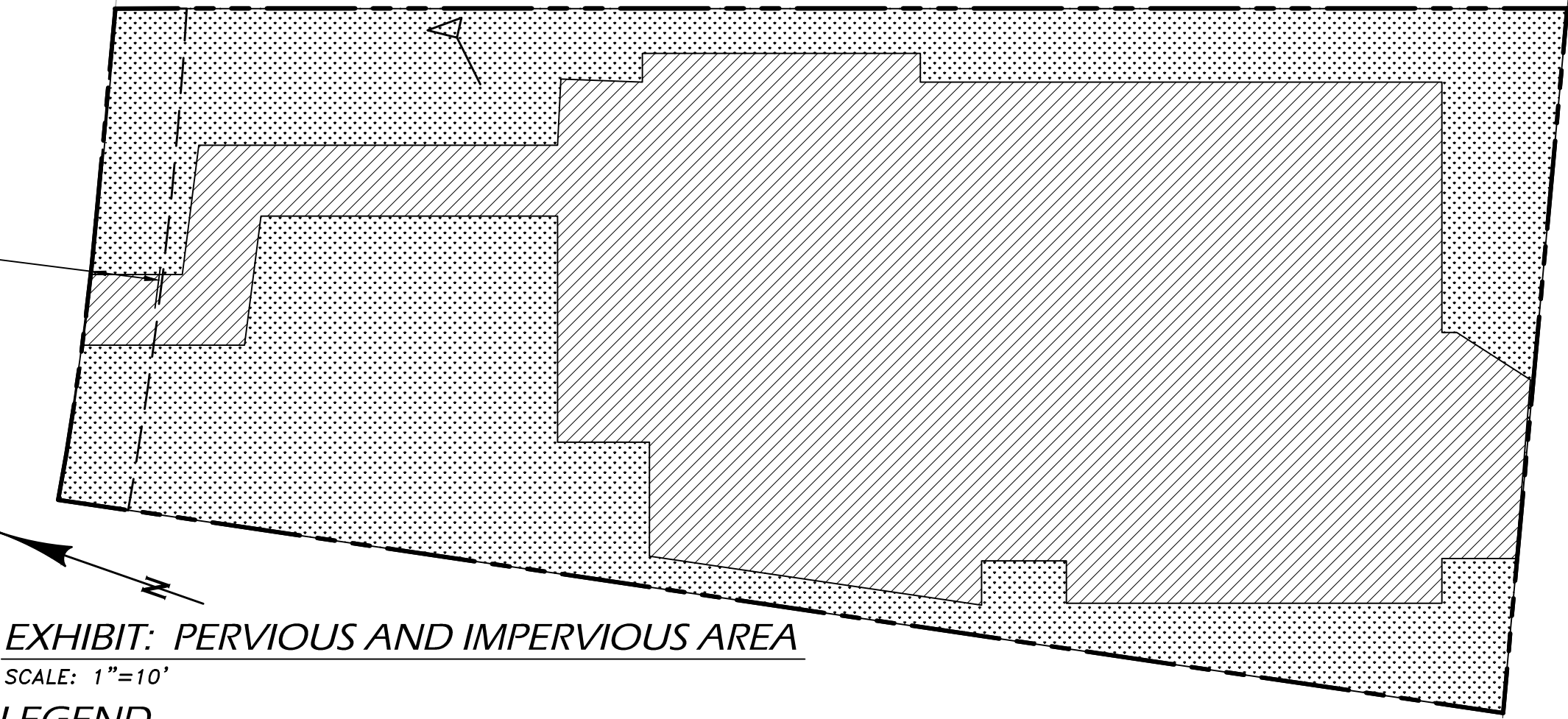


EXHIBIT: PERVIOUS AND IMPERVIOUS AREA

SCALE: 1"=10'

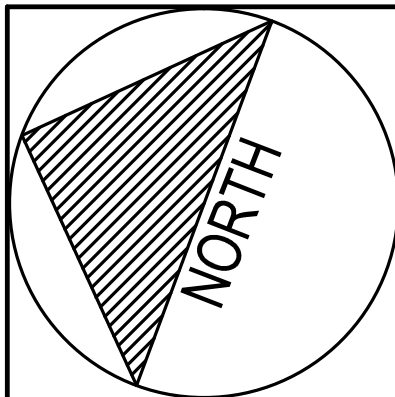
LEGEND

IMPERVIOUS		2,716 SQ. FT.
PERVIOUS		1,641 SQ. FT.

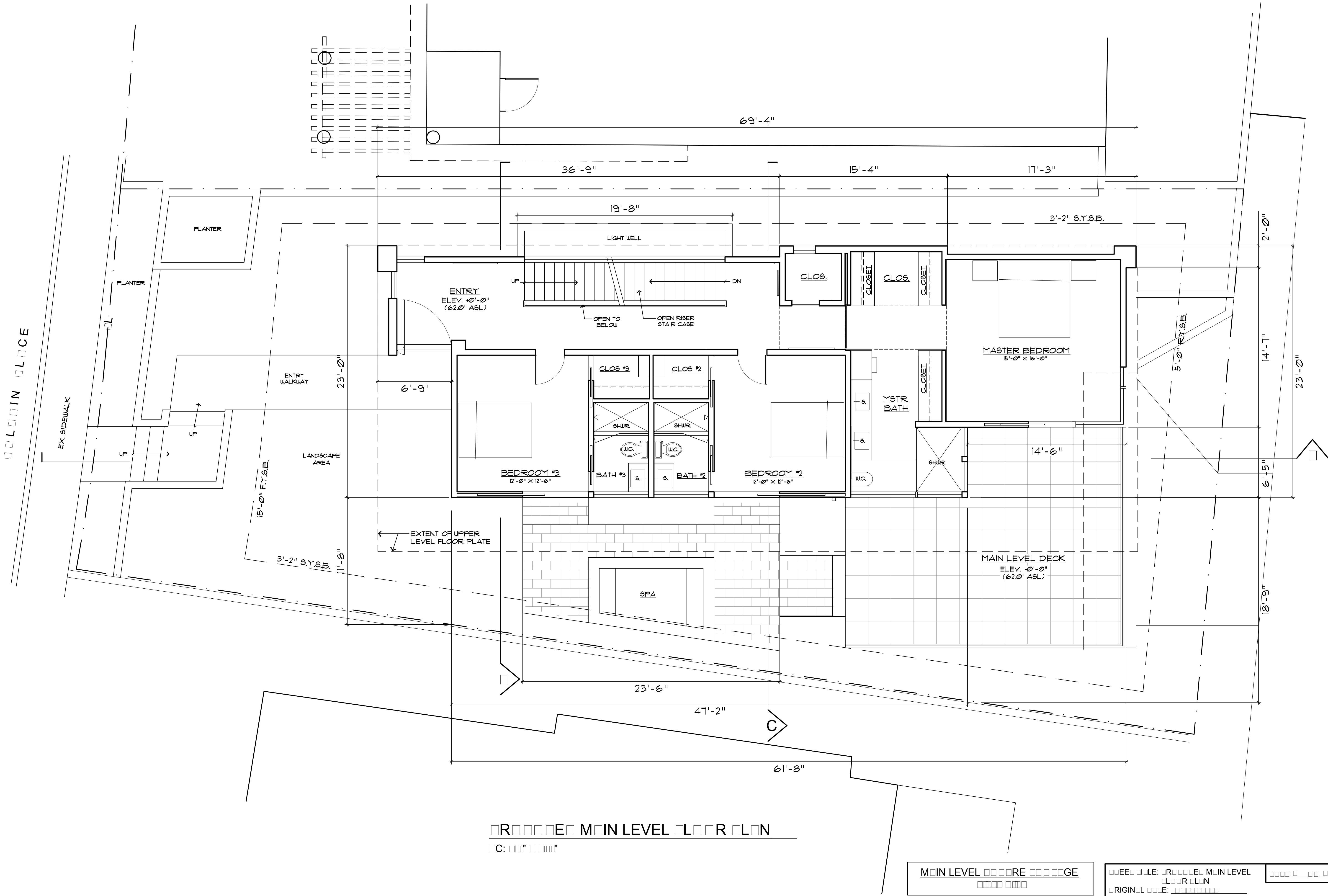
COFFEY ENGINEERING, INC.



9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858) 831-0111 FAX (858) 831-0179



HARDIMAN RESIDENCE
5626 DOLPHIN PLACE



PROJECT: HARDIMAN RESIDENCE
5626 DOLPHIN PLACE
Landscape

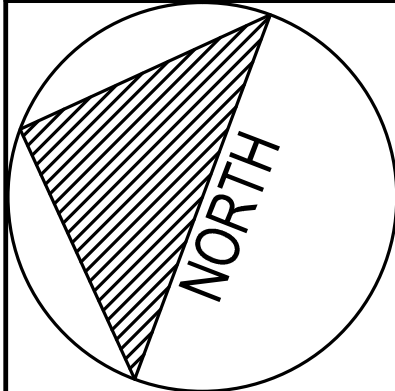
PROJECT: HARDIMAN RESIDENCE
5626 DOLPHIN PLACE
Landscape

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3	03/01/2024	REVISION
4	04/01/2024	REVISION
5	05/01/2024	REVISION
6	06/01/2024	REVISION
7	07/01/2024	REVISION
8	08/01/2024	REVISION
9	09/01/2024	REVISION
10	10/01/2024	REVISION

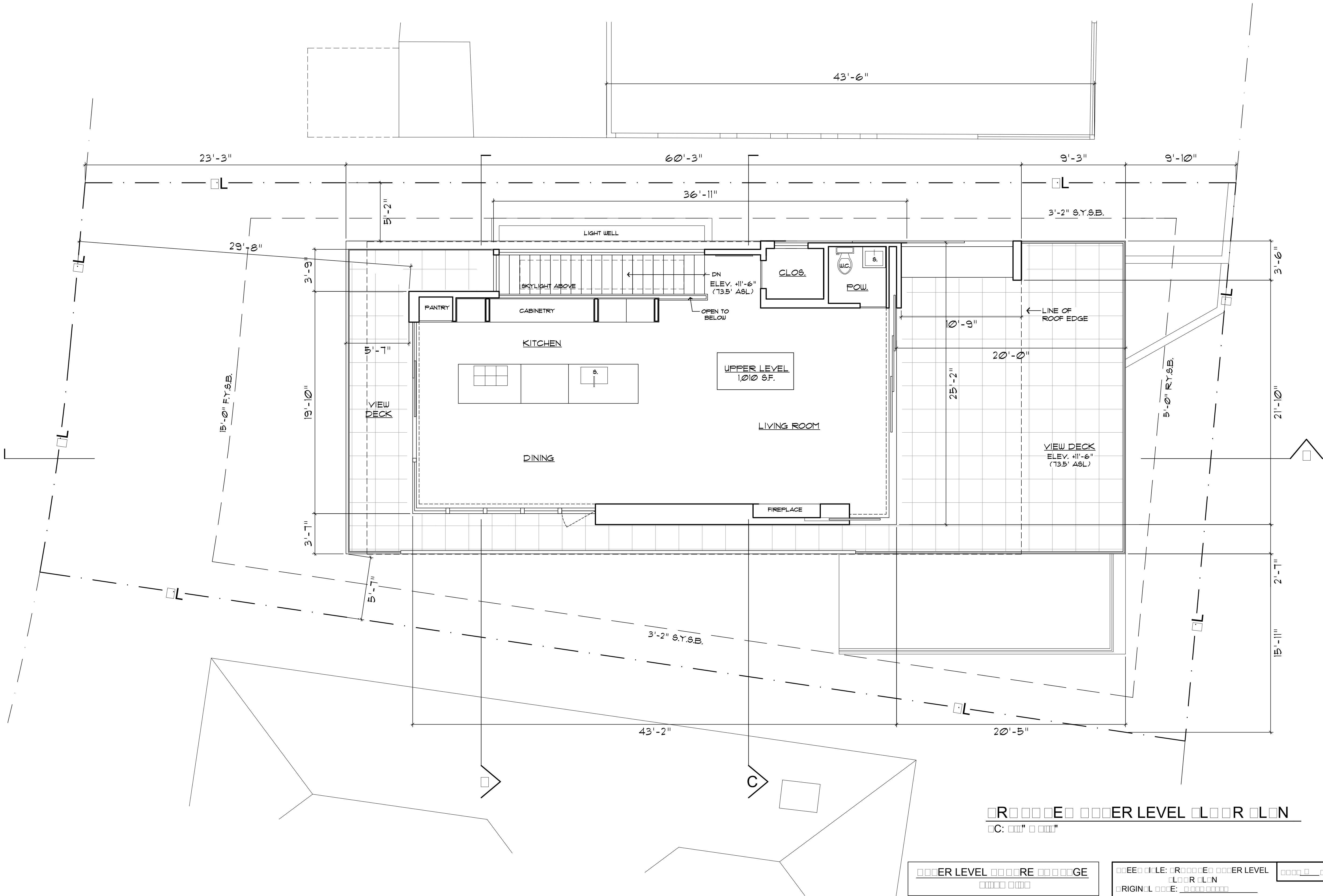
PROJECT: HARDIMAN RESIDENCE
5626 DOLPHIN PLACE
Landscape

PROJECT: HARDIMAN RESIDENCE
5626 DOLPHIN PLACE
Landscape

PROJECT: HARDIMAN RESIDENCE
5626 DOLPHIN PLACE
Landscape



HARDIMAN RESIDENCE
5626 DOLPHIN PLACE



PROJECT: HARDIMAN RESIDENCE
PROJECT LOCATION: 5626 DOLPHIN PLACE
PROJECT CODE: 10-000000

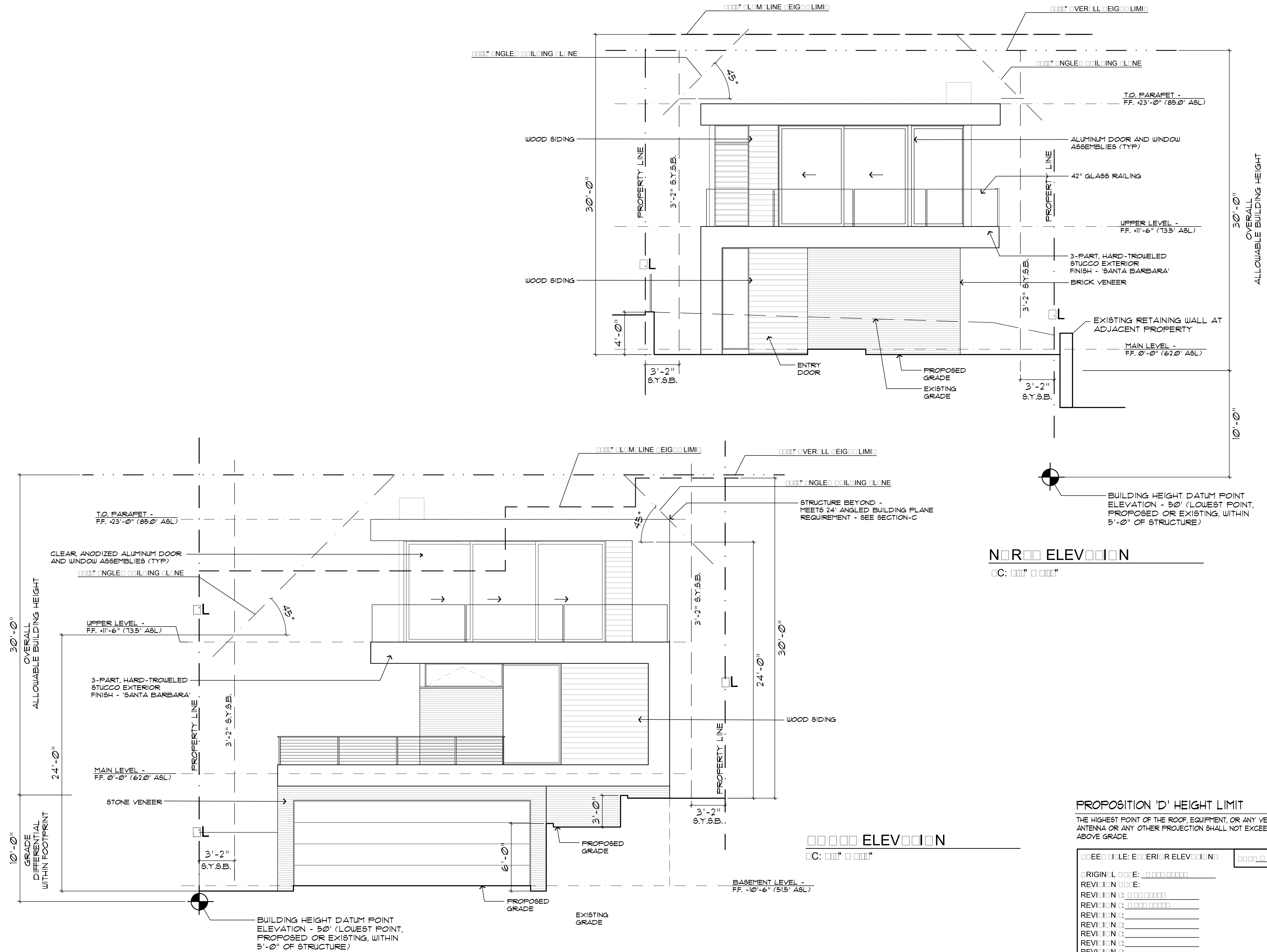
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PROJECT LEVEL: UPPER LEVEL
PROJECT PLAN: FLOOR PLAN

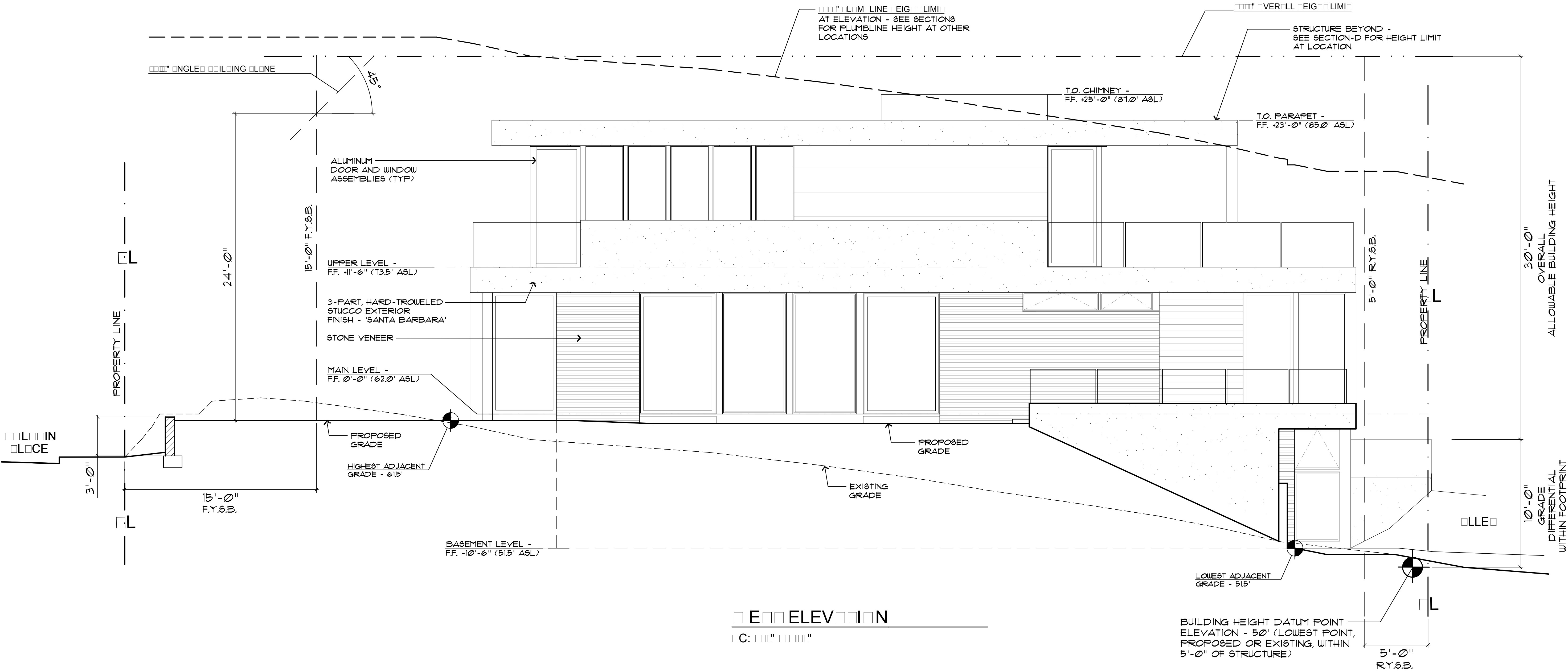
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PROJECT LEVEL: UPPER LEVEL
PROJECT PLAN: FLOOR PLAN
PROJECT CODE: 10-000000

PROJECT: HARDIMAN RESIDENCE
PROJECT LEVEL: UPPER LEVEL
PROJECT PLAN: FLOOR PLAN
PROJECT CODE: 10-000000

PROJECT: HARDIMAN RESIDENCE	PROJECT LEVEL: UPPER LEVEL	PROJECT PLAN: FLOOR PLAN
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HARDIMAN RESIDENCE
5626 DOLPHIN PLACE





ELEVATION

C: 0' 0" 0' 0"

HARDIMAN RESIDENCE
5626 DOLPHIN PLACE

PROPOSED
HARDIMAN RESIDENCE
5626 DOLPHIN PLACE
10' 0" 0' 0"

EXTERIOR
ELEVATION

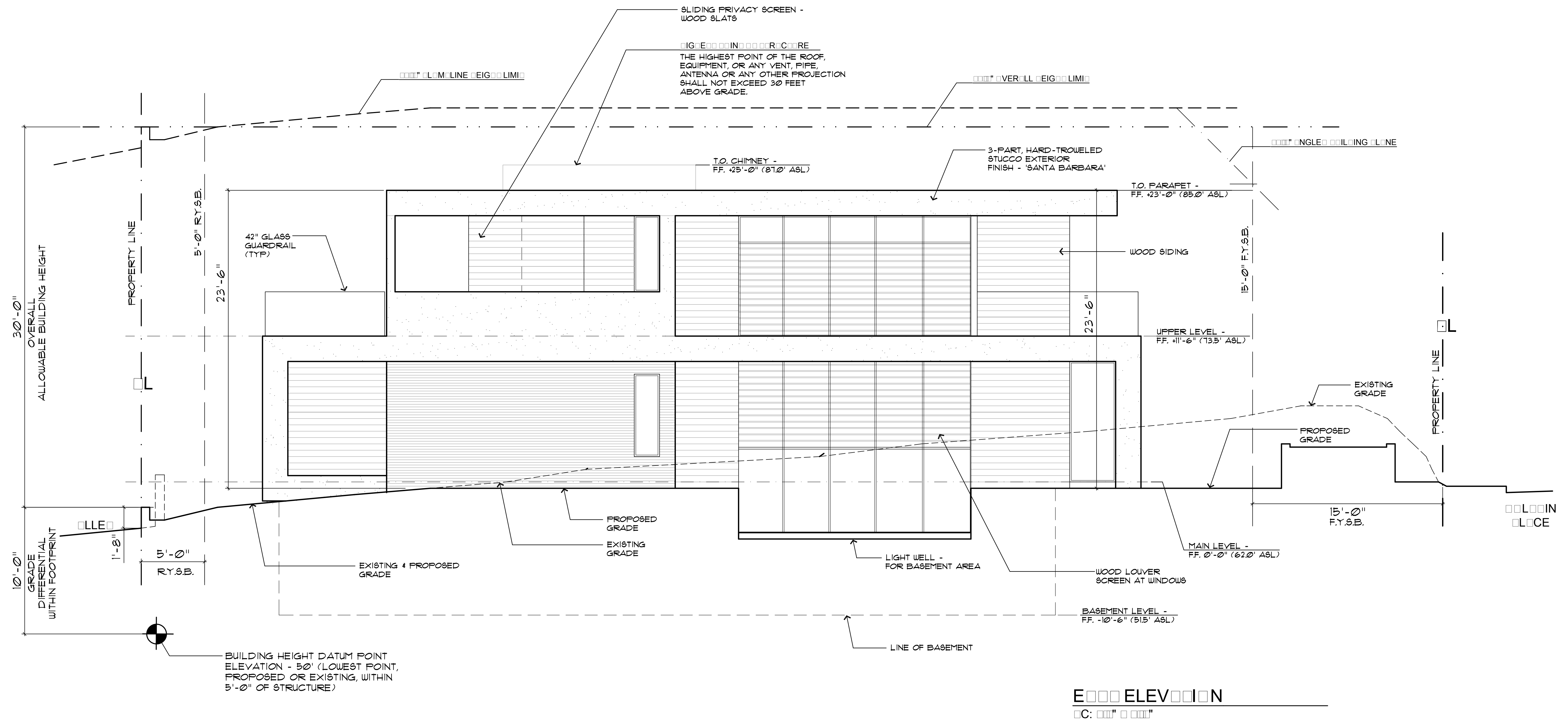
PROPOSITION 'D' HEIGHT LIMIT

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

DATE: 00/00/00	00/00/00
ORIGINAL DATE: 00/00/00	
REVISION 00/00/00	
REVISION 00/00/00	
REVISION 00/00/00	
REVISION 00/00/00	
REVISION 00/00/00	
REVISION 00/00/00	

DATE: 00/00/00
PROJECT: 0000

HARDIMAN RESIDENCE
5626 DOLPHIN PLACE



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ELEVATION

PROPOSITION 'D' HEIGHT LIMIT

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

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REVISION ☐E:

REVISION #:

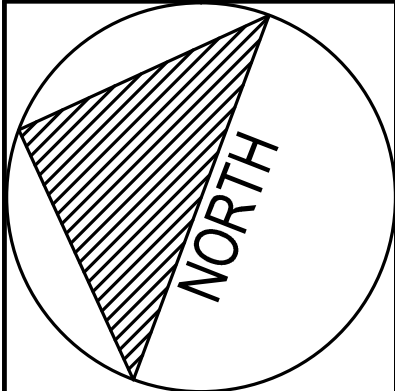
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REVISION #: _____



HARDIMAN RESIDENCE
5626 DOLPHIN PLACE

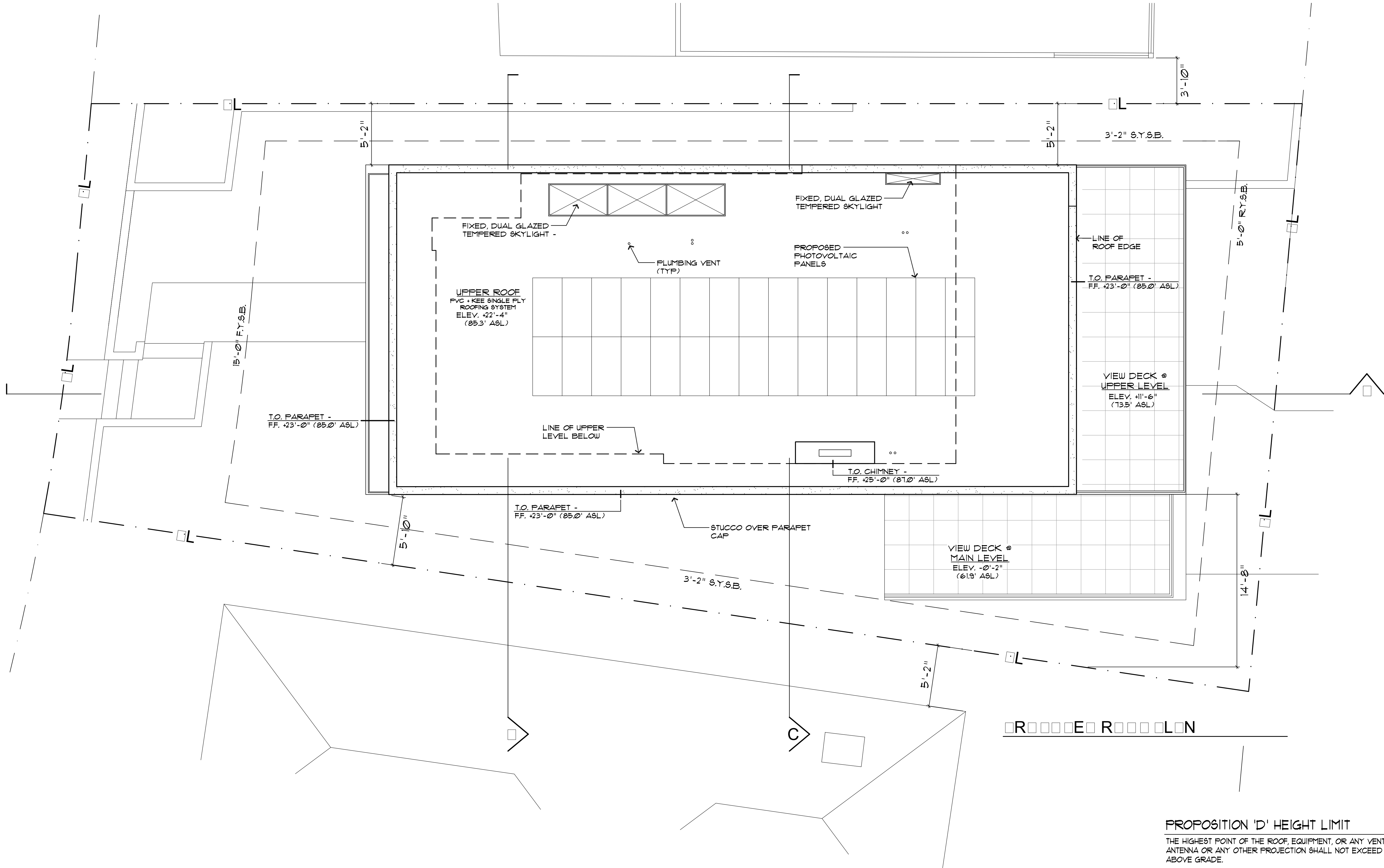
PROJECT:
HARDIMAN RESIDENCE
5626 DOLPHIN PLACE
LOS ANGELES, CA 90048

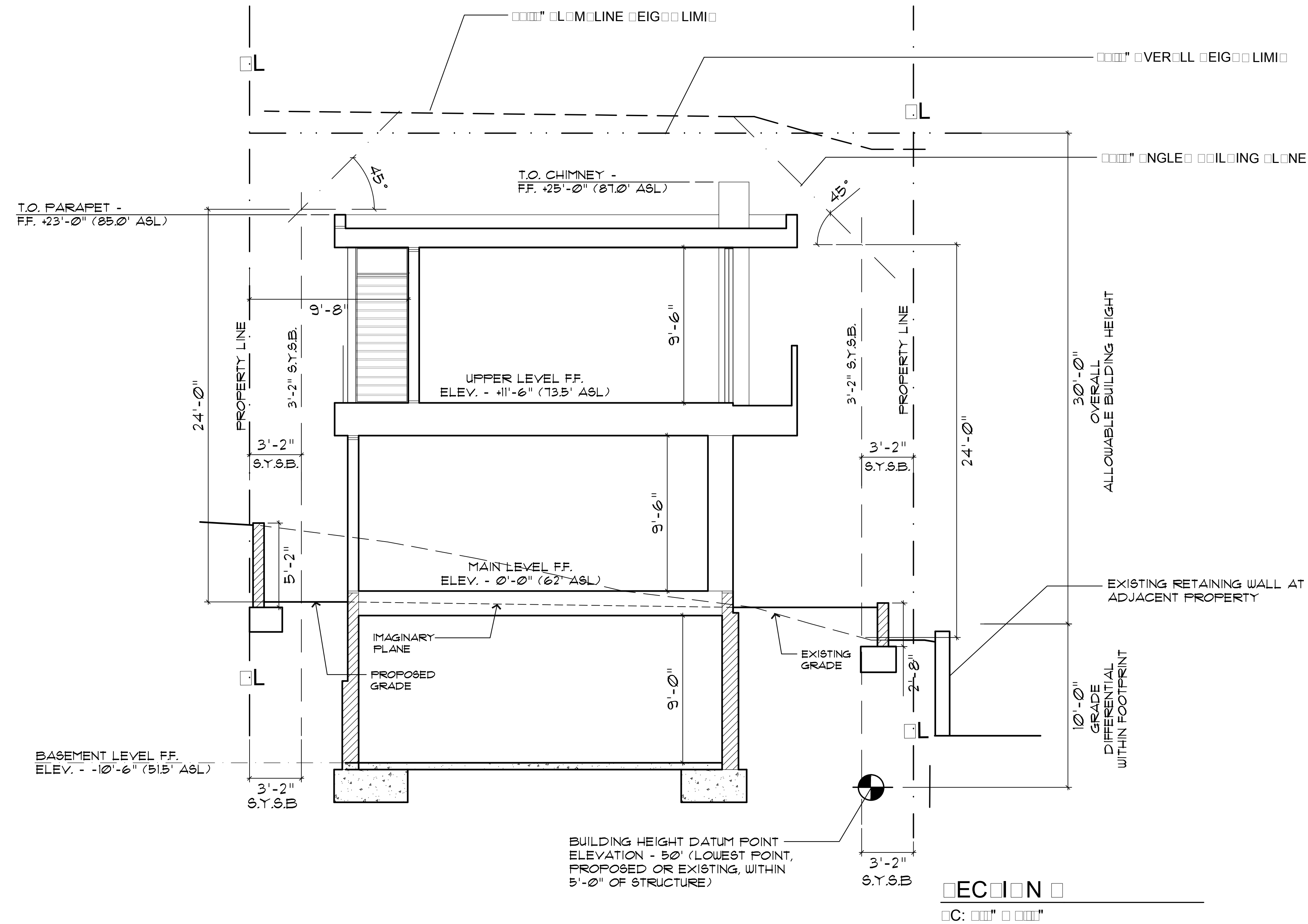
PROJECT:
HARDIMAN RESIDENCE
5626 DOLPHIN PLACE

PROPOSITION 'D' HEIGHT LIMIT
THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

PROJECT FILE: HARDIMAN RESIDENCE	DATE: 08/01/2024
ORIGINAL DATE: 08/01/2024	
REVISION DATE:	
REVISION 1: 08/01/2024	
REVISION 2: 08/01/2024	
REVISION 3:	
REVISION 4:	
REVISION 5:	
REVISION 6:	

PROJECT FILE: HARDIMAN RESIDENCE
DATE: 08/01/2024
PROJECT: 5626 DOLPHIN PLACE





HARDIMAN RESIDENCE
5626 DOLPHIN PLACE

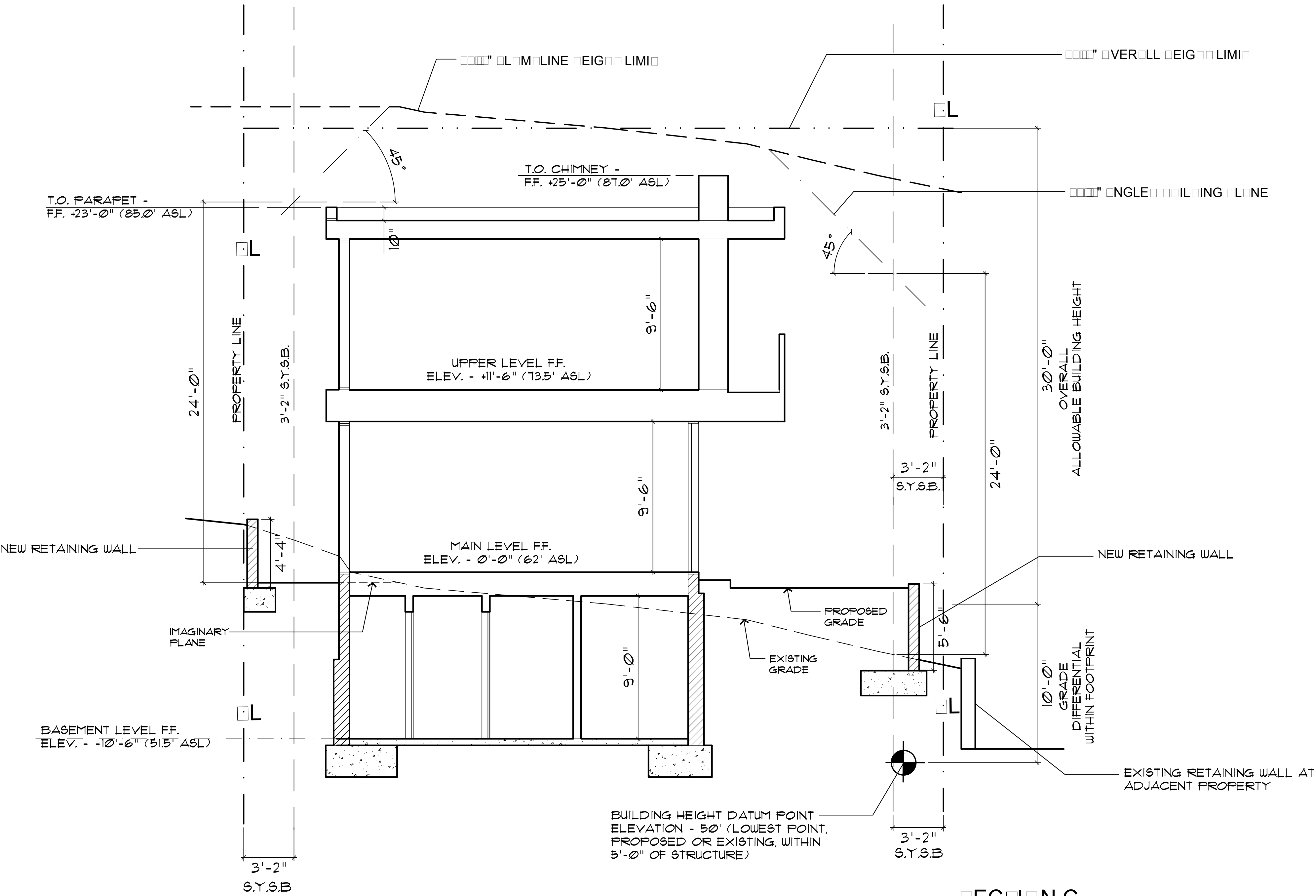
PROJECT:
HARDIMAN RESIDENCE
5626 DOLPHIN PLACE
LOS ANGELES, CALIFORNIA

ARCHITECT:
ECN

PROPOSITION 'D' HEIGHT LIMIT
THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

PROJECT FILE: EXTERIOR ELEVATION	0000_00_00_00
ORIGINAL DATE: 00000000	
REVISION DATE: 00000000	
REVISION 1: 00000000	
REVISION 2: 00000000	
REVISION 3: 00000000	
REVISION 4: 00000000	
REVISION 5: 00000000	
REVISION 6: 00000000	
REVISION 7: 00000000	
REVISION 8: 00000000	

SCALE: 1/8" = 1'-0"
PROJECT: 0000



SECTION C

SCALE: 1/8" = 1'-0"

PROPOSITION 'D' HEIGHT LIMIT

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

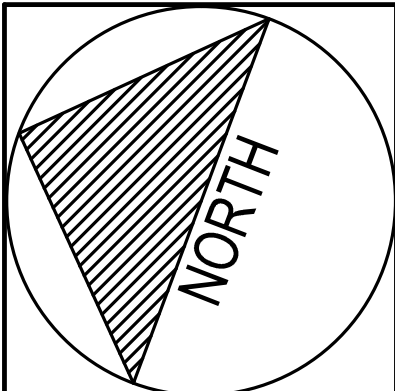
PROJECT TITLE: EXTERIOR ELEVATION	DATE: 08.08.2024
ORIGINAL DATE: 08.08.2024	
REVISION DATE: 08.08.2024	
REVISION 1: 08.08.2024	
REVISION 2: 08.08.2024	
REVISION 3: 08.08.2024	
REVISION 4: 08.08.2024	
REVISION 5: 08.08.2024	
REVISION 6: 08.08.2024	

HARDIMAN RESIDENCE
5626 DOLPHIN PLACE

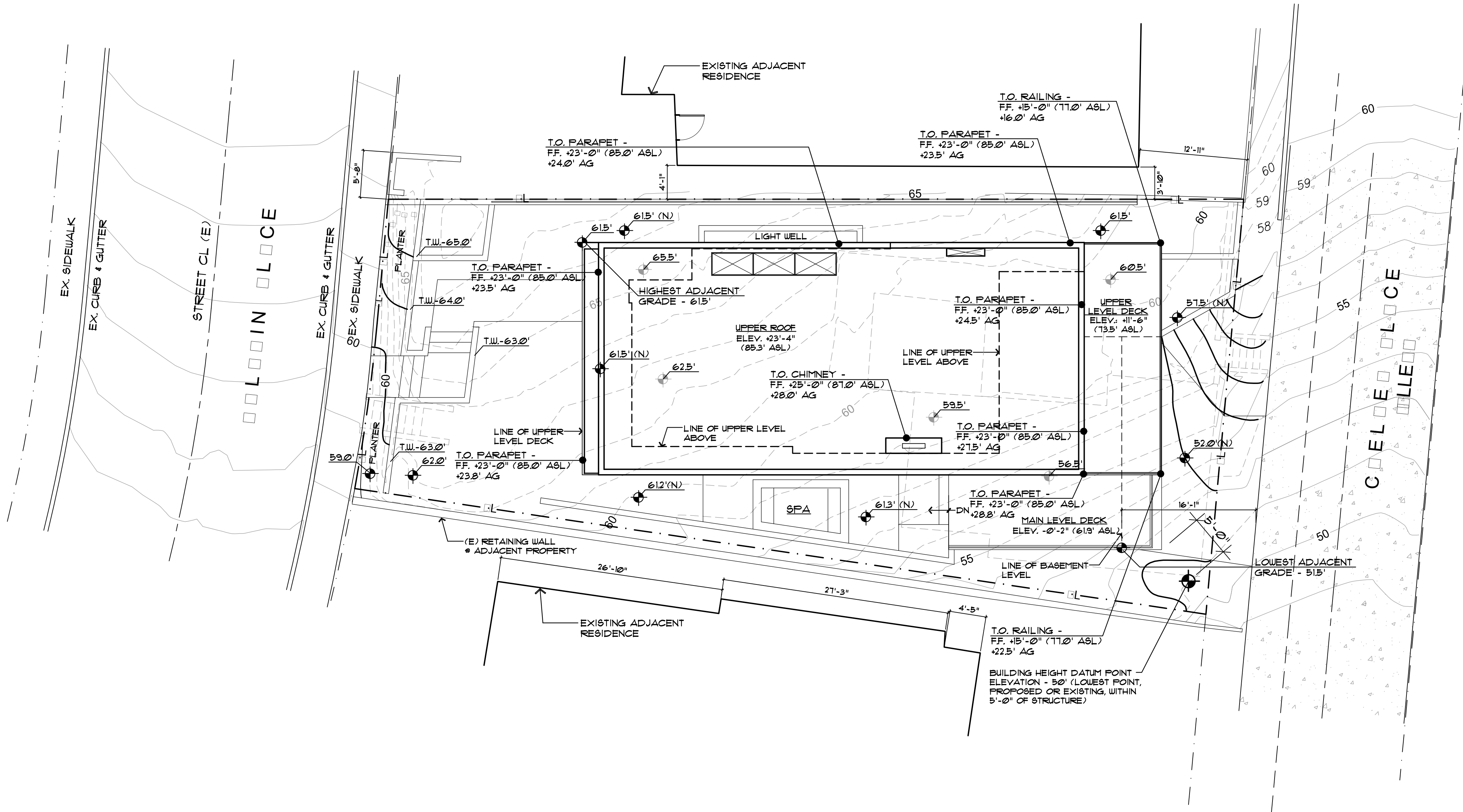
PROJECT: EXTERIOR ELEVATION
DATE: 08.08.2024

SCALE: 1/8" = 1'-0"

PROPOSITION 'D' HEIGHT LIMIT
THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.



HARDIMAN RESIDENCE
5626 DOLPHIN PLACE



ANGLE OF SLOPE
MAIN LEVEL
UPPER LEVEL
BASEMENT LEVEL

LEGEND

- 0'-0" HEIGHT ABOVE MAIN LEVEL FINISHED FLOOR
- (75.83' ASL) HEIGHT ABOVE SEA LEVEL
- 423.5' AG. HEIGHT ABOVE LOWER OF PROPOSED OR EXISTING GRADE DIRECTLY BELOW
- 76.3' EXISTING SPOT ELEVATION
- 76.3'(N) PROPOSED SPOT ELEVATION
- EXISTING CONTOUR - ELEVATION ABOVE SEA LEVEL

PROPOSITION 'D' HEIGHT LIMIT

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

BUILDING EIG
C: 11' 11'

REVISION	DATE	DESCRIPTION
1	01/11/2024	ORIGINAL
2	01/11/2024	REVISION
3	01/11/2024	REVISION
4	01/11/2024	REVISION
5	01/11/2024	REVISION
6	01/11/2024	REVISION
7	01/11/2024	REVISION
8	01/11/2024	REVISION

REVISION
DATE
DESCRIPTION

REVISION
DATE
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DATE
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