

Report to the Hearing Officer

DATE ISSUED: February 27, 2019 REPORT NO. HO-19-024

HEARING DATE: March 6, 2019

SUBJECT: 5251 CHELSEA STREET CDP, Process Three Decision

PROJECT NUMBER: 609389

OWNER/APPLICANT: Maurice Rizzuto, Owner/Michael Morton, Applicant

SUMMARY:

<u>Issue</u>: Should the Hearing Officer approve a remodel and addition to an existing two-story, single-family dwelling residence for a total of approximately 4,332 square feet of construction at 5251 Chelsea Street within the La Jolla Community Plan area?

Staff Recommendation:

APPROVE Coastal Development Permit No. 2154471

<u>Community Planning Group Recommendation</u>: On October 31, 2018, the La Jolla Community Planning Association voted 12-2-1 to recommend denial of the project (Attachment 8).

Environmental Review: The proposed project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) Existing Facilities. Section 15301(e) specifies that additions to existing structures can be exempt from CEQA provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The environmental exemption determination for this project was made on November 30, 2018, and the opportunity to appeal the determination ended on December 14, 2018. There were no appeals to the environmental determination.

BACKGROUND

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area (Attachment 1). In addition, the project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). The surrounding properties are fully developed and consists of a well-established residential neighborhood (Attachment 3).

The 0.17-acre site is located within the RS-1-7 Zone (Single Family Zone), Coastal Overlay Zone (Appealable), Coastal Height Limitation, Parking Impact (Coastal and Beach Impact Areas) Zone, Residential Tandem Parking, Transit Area, Transit Priority Area, and the Residential Tandem Parking Overlay Zones. Per Section 126.0702 of the San Diego Municipal Code (SDMC), a Coastal Development Permit (CDP) is required for all coastal development of a premises within the Coastal Overlay Zone. In addition, projects within the appealable area of the Coastal Overlay Zone require a Process 3 decision, per SDMC Section 126.0702(b).

DISCUSSION

The proposed project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

On October 31, 2018, the La Jolla Community Planning Association (LJCPA) voted 12-2-1 to recommend denial of the project. The LJCPA determined that "findings could not be made for the CDP because the project does not meet the Community Plan regarding vertical articulation." The LJCPA did not provide specifics to staff regarding how vertical articulation could be enhanced for the project.

Per the Community Plan, transitions in scale between new and older structures should create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. In addition, the Community Plan specifies that one of the more critical issues associated with the single-family dwelling unit is the relationship between bulk and scale of infill development to existing single family dwelling units.

The project has been designed in compliance with all the applicable provisions of the Community Plan and the San Diego Municipal Code, and there are no deviations or variances necessary or requested. The relationship between the bulk and scale of the project with the adjacent single-family residential development is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the design and building materials of the project is consistent with the varied architecture, design and character of the surrounding single-family development.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) Existing Facilities. Section 15301(e) specifies that additions to existing structures can be exempt from CEQA provided that the addition will not result in an

increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The project will result in less than 50 percent of the floor area of the structures before the addition. There were no appeals to the environmental determination.

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration. Staff recommends that the Hearing Officer approve Coastal Development Permit No. 2154471 for the project.

ALTERNATIVES

- 1. Approve Coastal Development Permit No. 2154471 with modifications.
- 2. Deny Coastal Development Permit No. 2154471 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Xavier Del Valle, Development Project Manager

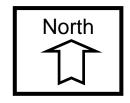
Attachments:

- 1. Project Location Map
- 2. Community Plan Land Use Map
- 3. Aerial Photograph
- 4. Draft Resolution with Findings
- 5. Draft Permit with Conditions
- 6. NORA Environmental Determination
- 7. Community Planning Group Recommendation
- 8. Ownership Disclosure Statement
- 9. Project Plans



Project Location Map

<u>5251 Chelsea Street CDP</u> Project No. 609389 – 5251 Chelsea Street



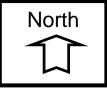
Bird Rock Park



Aerial Photograph

False Point

5251 Chelsea Street CDP Project No. 609389 – 5251 Chelsea Street



HEARING OFFICER RESOLUTION NO. _____ COASTAL DEVELOPMENT PERMIT NO. 2154471 5251 CHELSEA STREET - PROJECT NO. 609389

WHEREAS, MAURICE RIZZUTO, Owner/Permittee, filed an application with the City of San Diego for a permit for a remodel and addition to an existing two-story single dwelling unit for a total 4,332 square feet as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2154471, on portions of a 0.17-acre site;

WHEREAS, the project site is located at 5251 Chelsea Street in the RS-1-7 Base Zone within the Coastal Overlay Zone (Appealable) of the La Jolla Community Plan area; and

WHEREAS, the project site is legally described as: Lot 22 in Block 3 of Pacific Riviera Villas Unit No. 1, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County on December 23, 1948.

WHEREAS, on November 30, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (e)(1) Existing Facilities and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on March 6, 2018, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2154471 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2154471:

A. <u>COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]</u>

- 1. Findings for all Coastal Development Permits:
 - a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area. The proposed project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within the La Jolla Community Plan area. The project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a

new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located within an urbanized area and does not contain any sensitive biological resources or environmentally sensitive lands. Nor is the project site located within a coastal bluff, beach, or special flood area. The project conforms with all the applicable provisions of the San Diego Municipal Code (SDMC) and the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, there are no deviations or variances necessary or requested.

An environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) Existing Facilities. Section 15301(e) specifies that additions to existing structures can be exempt from CEQA provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. Based on the environmental determination, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within a low density residential (5-9 DU/AC) area in the La Jolla Community Plan area. The project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

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Per the La Community Plan (page 68), one of the more critical issues associated with the single-family dwelling unit is the relationship between bulk and scale of infill development to existing single family dwelling units. The relationship between the bulk and scale of the project with the adjacent single-family residential development is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. The design and building

materials of the project is also consistent with the varied architecture, design and character of the surrounding single-family development.

The project has been designed in compliance with all the applicable provisions of the Community Plan and the San Diego Municipal Code, and there are no deviations or variances necessary or requested. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area. The proposed project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2154471 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2154471, a copy of which is attached hereto and made a part hereof.

ATTACHMENT 4

Xavier Del Valle Development Project Manager Development Services

Adopted on: March 6, 2019

IO#: 24007893

RECORDING REQUESTED BY

CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24007893

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2154471 5251 CHELSEA STREET PROJECT NO. 609389

This Coastal Development Permit No. 2154471 is granted by the Hearing Officer of the City of San Diego to Maurice Rizzuto, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.17-acre site is located at 5251 Chelsea Street in the RS-1-7 zone of the La Jolla Community Planning Area. The project site is legally described as: Lot 22 in Block 3 of Pacific Riviera Villas Unit No. 1, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County on December 23, 1948.

Subject to the terms and conditions set forth in this Permit, permission is granted to Maurice Rizzuto, Owner/Permittee owner for a remodel and addition to an existing two-story single dwelling unit. The project shall include:

- a. A remodel and addition to an existing two-story single family residence for a total of 4,332-square foot; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 20, 2022.

- 2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
- 3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
- 8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
- 9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
- 10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s)

back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

- 13. The project proposes to export 6.65 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
- 14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
- 15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the sidewalk underdrains in the Chelsea Street Right-of-Way.

- 16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
- 17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC into the construction plans or specifications.
- 18. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

19. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

PLANNING/DESIGN REQUIREMENTS:

- 20. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
- 21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
- 22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

ATTACHMENT 5

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

• This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 6, 2019 and Approved Resolution Number_____.



ATTACHMENT 5

Coastal Development Permit No. 2154471 Date of Approval: March 6, 2019

AUTHENTICATED BY THE CITY OF SAN	N DIEGO DEVELOPMENT SERVICES DEPARTMENT
 Xavier Del Valle	
Development Project Manager	
NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.	
	e, by execution hereof, agrees to each and every condition of
this Permit and promises to perform	each and every obligation of Owner/Permittee hereunder.

Maurice Rizzuto
Owner/Permittee

By ______
Maurice Rizzuto

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



Date of Notice: November 30, 2018

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007893

PROJECT NAME / NUMBER: 5251 CHELSEA ST CDP / 609389

COMMUNITY PLAN AREA: LA JOLLA

COUNCIL DISTRICT: 1

LOCATION: 5251 Chelsea Street, San Diego CA, 92037

PROJECT DESCRIPTION: A Coastal Development Permit (CDP) for the remodel and addition to an existing two-story single dwelling unit for a total of approximately 4.332 square feet located at 5251 Chelsea Street. The 0.17-acre site is located in the RS-1-7 base zone within the Coastal (Appealable) Overlay Zone within the La Jolla Community Plan Area, Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Development Services Department

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301(e)(1) Existing Facilities.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Section 15301(e)(1) Existing Facilities. 15301(e) includes the additions to existing structures provided that the addition will not result in an increase of more than: (1) 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less.

DEVELOPMENT PROJECT MANAGER:

Xavier Del Valle

MAILING ADDRESS:

1222 First Avenue, MS 501, San Diego, CA 92101-4153

PHONE NUMBER / EMAIL:

(619) 557-7941 / xdelvalle@sandiego.gov

On November 30, 2018 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice December 14, 2018. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

Posted NOV 3 0 2018 mu
Removed DEC 1 9 2018
Posted by Myndle



La Jolla Community Planning Association

October 31, 2018

To: Cecilia Ponce

cc. Michael Morton

Subject: La Jolla Community Planning Association Vote

RE: 5251 Chelsea Street

On October 4, 2018 at the Regular Meeting of the La Jolla Community Planning Association (LICPA) Trustees reviewed **5251 Chelsea Street** as an Action Item on Full Review.

Coastal Development Permit for the remodel and addition to an existing 2-story single dwelling unit for a total of approximately 4,332 square feet of construction located at 5251 Chelsea Street. The 0.17 acre site is located in the RS-1-7 base zone within the Coastal (Appealable) Overlay Zone of the La Jolla Community Planning Area, Council District 1.

The LJCPA made the following motion NOT to recommend approval of this project:

Findings CANNOT be made for the CDP because this project does not meet the Community Plan regarding vertical articulation. Vote: 12-2-1.

Sincerely,

Bob Steck, President

La Jolla Community Planning Association



City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000

Ownership Disclosure Statement

FORM

DS-318

October 2017

Approval Type: Check appropriate box for type of ☐ Neighborhood Development Permit ☐ Site De ☐ Tentative Map ☐ Vesting Tentative Map ☐ Ma	evelopment Permit Planned Developr	nent Permit	Conditional Use	ment Permit Permit 🗖 Variance
Project Title: Chelsea Residence - Remodel and additi	ion	Project N	lo. For City Use Onl	/v:
Project Address: 5251 Chelsea Ave La Jolla, CA 92037				
Specify Form of Ownership/Legal Status (pleas	se check):			
☐ Corporation 🗷 Limited Liability -or- ☐ Genera		Identification	on No. 201726310057	
☐ Partnership ☐ Individual				
By signing the Ownership Disclosure Statement, with the City of San Diego on the subject proper owner(s), applicant(s), and other financially interest individual, firm, co-partnership, joint venture, as with a financial interest in the application. If the individuals owning more than 10% of the shares officers. (A separate page may be attached if necessary person serving as an officer or director of A signature is required of at least one of the protifying the Project Manager of any changes in ownership are to be given to the Project Manage accurate and current ownership information could	erty with the intent to record an encun sested persons of the above referenced sociation, social club, fraternal organizate applicant includes a corporation or paths. If a publicly-owned corporation, includessary.) If any person is a nonprofit organization or as true operty owners. Attach additional page ownership during the time the applicate at least thirty days prior to any publicate.	nbrance aga property. A tion, corpor rtnership, ir de the name ganization or stee or ben s if needed, tion is bein	inst the property. financially interests ation, estate, trust, nclude the names, ties, titles, and addres a trust, list the nameficiary of the none. Note: The application of the property of	Please list below the ed party includes any receiver or syndicate titles, addresses of all sses of the corporate nes and addresses of profit organization. nt is responsible for ciderad. Charges in ciderad.
Property Owner				
Name of Individual: 5251 Chelsea Street, La Jolla	LLC	☑ Owner	☐ Tenant/Lessee	☐ Successor Agend
Street Address: 5251 Chelsea Street				
City: La Jolla			State: CA	Zip: _92037
Phone No.: _858-688-1646	Fax No.:	Email: ma	uricerizzuto@gmail.com	n
Signature: Manice Riggets	Maurice Rizzuto (Managing Member)	Date: 05/3	1/2018	
Signature: Manice Pignito Cegori Morif Applicant	Cesar Mora (Managing Member)		/2018	
Name of Individual: Michael R. Morton	malyerton Ampitact	6.	44.00000000	are Tour
		Owner	☐ Tenant/Lessee	Successor Agenc
Street Address: 7724 Girard Ave	200			
City: La Jolla			State: _ca	Zip: 92037
Phone No.: 619-857-8144 858 459-3768		Email: m-n	norton@pacbell.net	
Signature: MOP . Mor	too AIA.	Date: 05/3	1/2018	
Additional pages Attached:	™No			
Other Financially Interested Persons				
Name of Individual:		□ Owner	☐ Tenant/Lessee	☐ Successor Agence
Street Address:				
City:			State:	Zip:
Phone No.:	Fax No.:	Email:		
ignature:				
additional pages Attached:				

Attachment 9 Project Plans

5251 Chelsea Street CDP Project No. 609389 March 6, 2019

CHELSEA RESIDENCE

COASTAL DEVELOPMENT PACKAGE 5251 CHELSEA STREET La Jolla, CA 92037



Chelsea Residence 5251 Chelsea St, La Jolla, California, 92037 APN - 415-061-14-00 PTS # **556636 Development Summary: Project Narrative**

Project Description This site is an existing developed lot which contains a single-family home in the RS-1-7 (single family) Zone of the community of La Jolla. The scope of work for this proposed project consist in a partial demolition and remodel and addition to the existing 3,660.9 square foot two story single family residence. Construct a new addition and the remodel to an existing two story single family residence to total 4,318.7 square feet with a remodeled two car garage. Construct a new roof deck area and roof mounted PV system is included with this project. The site will also include site improvements as

The proposed project is consistent with the Land use Designations in the City's General Plan and the Community Plan of La Jolla. The proposed project is consistent with RS-1-7 (single family) Zone and the La Jolla Community Plan of the area underlying in this parcel.

shown on the site plan such as new lap pool, site walls, gates, fences and new hardscape.

 No Deviations are requested for this project CAP Strategies Consistency

Energy& Water Efficient Buildings 1. Cool/Green Roofs- The project will include a new single membrane TPO roofing with a minimum 3 year aged solar reflection and thermal emittance which complies to the CAP requirements. 2. Plumbing fixtures and Fittings - Our Project will use low flow fixtures and appliances

and will be consistent with the following: • Kitchen faucets: max flow rate not to exceed 1.5 gallons per minute at 60 psi

 Standard Dishwashers: 4.25 gallons per cycle: Compact Dishwashers:3.5 gallons per cycle and

Clothes Washers: water factor of 6 gallons per cubic feet of drum capacity

Tankless Water heaters will be utilized for on demand heat source

• Therefore, the proposed project is compatible with the requirements for water and

• All site storm water will be sent to the new landscape area for absorption and biofiltration.

Clean and Renewable Energy

The project will meet title 24, with the proposed improvements. The project is proposing roof mounted Photovoltaic renewable energy system.

Bicycle, walking, Transit & Land Use Electrical Vehicle Charging- The required parking serving this Residence will be constructed with a listed cabinet box or enclosure to a raceway linking the required

space to the electrical service to allow for the future installation of electric vehicle supply equipment to provide an electric vehicle charging station for use by the resident.

5251 Residence

38 Maximum .005% area for % deviation

See Floor Plan

See Floor Plan

Total New Balconies

See Landscape See - Site Plan

1,060.2 S.F.

1 371 5 S F

2.789.0 S.F

936.6 S.

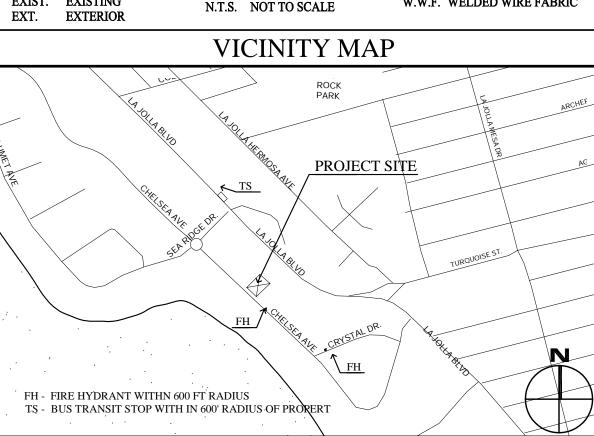
386.8 S.F.

262.2 S.F.

2,510.1 S.F

Bicycle parking spaces- Not applicable for residential project. **Shower Facilities-** not applicable for residential project

Designated Parking Spaces - not applicable for residential project Transportation Demand program not applicable for residential project



BASIS FOR STRUCTURAL DESIGN

STRUCTURAL DESIGN LOADS: ROOF DEAD LOAD:	16 PSF	
ROOF LIVE LOAD:	20 PSF	
FLOOR DEAD LOAD:	14 PSF	
FLOOR LIVE LOAD:	40 PSF	
DECK DEAD LOAD:	14 PSF	
CANTILEVER DECK LIVE LOAD:	40 PSF	
SITE COORDINATES:	LATITUDE	32.856749°
	LONGITUDE	-117.254837°
SEISMIC CRITERIA:	CATEGORY D	
GEOLOGICAL HAZARD:		
DISTANCE TO SEISMIC SOURCE:	$2-\frac{3}{4}$ MILES	
SOIL BEARING CAPACITY:	1,800 PSF	
DESIGN WIND:	85 MPH EXP. 'B"	
SOIL SITE CLASS:	D	
SITE COEFFICIENT, Fa:	1.00	
SITE COEFFICIENT, Fv:	1.50	
SOIL EXPANSION INDEX:	74	
Ss	1.298 g	
S1	0.503 g	
Sds:	0.865 g	
Sd1:	0.503 g	
PGAm	0.589 g	

- FOUNDATIONS / SOILS CRITERIA:
- BY SOILS ENGINEER: TerraPacific Consultants, Inc., Geotechnical Investigation Number 17165
- EXPANSION INDEX HAS BEEN DETERMINED TO BE GREATER THAN 20 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER HAVE BEEN INCORPORATED INTO THESE PLANS.
- EXPANSION INDEX HAS BEEN DETERMINED TO BE 20 OR LESS AND NO SPECIAL DESIGN RECOMMENDATIONS ARE REQUIRED
- AS A CALIFORNIA LICENSED ARCHITECT / ENGINEER. I HAVE CLASSIFIED THE UNDISTURBED NATIVE SOILS TO BE 5. - SANDY CLAY AND PER TABLE 1806.2 AND THE 2010 CBC. I HAVE ASSIGNED A FOUNDATION PRESSURE OF 1,500 PSF FOR THE DESIGN OF FOUNDATIONS RELATED TO THIS PROJECT. DATE LICENSED ARCHITECT

LICENSED ENGINEER

IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESURMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.

SPECIAL INSPECTION & OFF-SITE FABRICATION PERMIT REQUESTED FOR SCOPE OF WORK SPECIAL INSPECTION: PECIAL INSPECTION NOTES:

"Notice to the Applicant/ Owner/Owner's Agent/Architect or Engineer of Record. By using this permitted construction drawings for construction/installation of this work specified herein, you agree to comply with the requirements of the City of San Diego for special inspections structural observations, construction material testing and off-site fabrication of building components, contain in the statement of special inspections and, as required by the California Construction Codes". "Notice to the Contractor/Builder/Installer/Subcontractor/Owenr-Builder. By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of the requirements contained in the statement of special inspection, you agree to

comply with the requirements of the City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contain in the statement of special inspections and, as required by the California Construction Codes". The Special Inspector must be Certified by the City of San Diego, Development Services, In the category of work required to have special inspection.

The Construction Material <u>Testing Laboratory</u> must be approved by the City of San Diego, Development Services, for testing of material, systems, components, and equipment A Property Owners' Final Report form for work required to have special inspections, testing and structural observations mist be completed by the property owner, property owner's agent of record, architect of record or. engineer of record and submitted the Inspection Services Division The special inspection identified on plans are, in addition to, and not a substitute for, those

inspections required to be performed by a City's Building Inspector. Special inspections, Structural test and Structural observations shall comply with applicable provision of Chapter 17 of 2010 California Building Code.

SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS: See Structual Sheet S-1 SEE SHEET S-1 FOR COMPLETE LIST OF SPECIAL INSPECTION ITEMS (IF PART OF SET)

OFF-SITE FABRICATION:

Division for approval.

STRUCTURAL OBSERVATION

observer's knowledge have note been resolved

PROVIDED FOR THE FOLLOWING ITEMS:

- An Application To Perform Off-Site Fabrication is required and must be submitted to the Inspection Services Division for approval prior to fabrication. A Certificate of Off Site Fabrication is required and must be submitted to the Inspection Services
- Fabricator must be registered and approved by the City of San Diego, Development Services for the fabrication of members and assemblies on the premises of fabricator's shop. (Sec. 1704.2.2)
- "Fabricator shall submit an "shop welding Application to perform off-site fabrication" to the Inspection Services Division for approval prior to commencement of fabrication". Specify on plans, name and address of the fabricator where products and assemblies area going to be

"Shop welding fabricator must be registered and approved by the city of san Diego, development services for fabrication of members and assemblies on the premises of the fabricator's shop". "Steel Fabricator shall submit a 'Certificate of compliance for off-site fabrication ' to the inspection services division prior to erection of fabricated items and assemblies"

STRUCTURAL, SOILS ENGINEER OR GEOTECHNICAL OBSERVATION: XYes

- Structural Observation Report are required and must be performed and submitted to the Building
- The Structural Observer shall submit a written statement to Inspection Services a written statement that site visit have been made and identifying any reported deficiencies that the best of structural
- The structure will not be in compliance until the registered professional has notified Inspection Services that all deficiencies area resolved". This report must be stamped, signed and dated by the Registered Design Professional in responsible
- Structural Observation Must Be Provided By The Engineer Or Architect Of Record Responsible For The Structural Design, Or Another Engineer Or Architect Designated By The Engineer Or Architect

TRUCTURAL, SOILS ENGINEER, OR GEOTECHNICAL OBSERVATION SHALL BE

Responsible For The Structural Design, As Outlined In The Structural Observation Program.

1. Grading and Site Excavation REFER TO SHEET FOR "STRUCTURAL OBSERVATION PROGRAM".

COASTAL DEVLOPMENT PERMIT - PTS# 609389

COMBINATION BUILDLING PERMIT- PTS # RIGHT OF WAY PERMIT - PTS #

SPECIAL COASTAL NOTES

HEIGHT LIMIT AREA THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER

PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. PROJECT TEAM

GEOTECHNICAL ENGINEER

Terra Pacific Consultants Inc.

swlasd@sbcglobal.net

San Diego, CA 92111

Ph.: (619) 260 0057

Cell (619) 964 7889

jesse@doddandassoc.com

Jerry Dodd, CE

Jesse Mossa

STRUCTURAL ENGINEER

7490 Opportunity Rd. Suite 3500

Dodd & Associates, Consulting Engineers

5251 Chelsea Street Cristopher O'Hern San Diego, CA 92037 APN#: 415-061-14-00 4010 Morena Boulevard, Suite 108 San Diego, CA 92117 Phone: (858)-521-1190 Fax: (858)521-1199 5251 Chelsea Street, La Jolla LLC E-mail: criso@terrapac.net Attn: Maurice Rizzuto 11317 Porreca PT LANDSCAPE ARCHITECT San Diego, CA 92126 Sam Wade Landscape Architect 4429 Morena Blvd. Owner Address: San Diego, CA 92117 5251 Chelsea Street, La Jolla LLC Attn: Maurice Rizzuto Ph.: 858-270-8688 11317 Porreca PT Fax: 858-270-8689 C: 858-361-2527

PROJECT MANAGER: Mr. Maurice Rizzuto United Realty Group Billing Address: San Diego, CA 92126

San Diego, CA 92126

SITE ADDRESS:

Chelsea Residence

Cell (**C**): (858) 688-1646 Email: mauricerizzuto@gmail.com Natacha Mora - 858-539-6308 ARCHITECT

Marengo Morton Architects 724 Girard Avenue, Suite 200 Telephone: (858) 459-3769 Principal in Charge Michael Morton AIA m-morton@pacbell.ne Cell: (619) 857-8144 Project Team:

(E) Water Meter Number

Jorge Santana Flavia Gomes

SURVEYOR San Diego Land Surveying & Engineering 9665 Chesapeake Dr., Suite 445 San Diego, CA 92123

Robert J. Bateman rbateman@sdlse.com Herman W. Bateman GEOTECHNICAL ENGINEER Terra Pacific Consultants Inc.

San Diego, CA 92117

Fax: (858)521-1199

Phone: (858)-521-1190

E-mail: criso@terrapac.net

4010 Morena Boulevard, Suite 108

Phone: (858) 565-8362 Fax: (858) 565-4354

DETAILED SCOPE OF WORK ectively demolish portions the 3,707 square foot existing single-family residence. With the net addition of 155 square foot in the first floor. The Second floor will have an newt addition of 882 square feet. Demolition to existing detached accessory unit of-25 square feet. Habitable space + the remodel of garage for a net addition of 664 square feet to the residence for a total of 4,332 square feet. Remodel entire interior of residence and new roof deck. Provide new exterior decks and other site improvements of the

eatures as shown on the site plans. SHEET INDEX

- S	heet Name	Content	Scale
1	Т- 1.1	Title Sheet - Project Information	None
2	T- 1.2	Title Sheet - General Notes	None
3	T- 1.3	Parcel Information/ Title Sheet -Fire Notes / Green Notes	None
4 T	OPO 1.0	Existing Site Topographic Plan	As Noted
5 T	TOPO 1.2	Existing Site Topographic Plan - With High Tide Line	As Noted
6	A- 1.1	Site Plan - Existing / Demolition	3/16" = 1'-0"
7	A- 1.2	Site Plan -Proposed	1/64" = 1'-0"
8	A- 1.4	Site Plan - Site Drainage Plan	3/16" = 1'-0"
9	A- 1.5	Site Plan - Post BMP Plan	3/32" = 1'-0"
10	A- 2.1	First Floor Plan - Existing / Demolition	3/16" = 1'-0"
11	A- 2.2	Second Floor Plan - Existing / Demolition	3/16" = 1'-0"
12	Λ- 2.3	First Floor Plan - Proposed	3/16" = 1'-0"
13	A- 2.4	Second Floor Plan - Proposed	3/16" = 1'-0"
14	A- 3.1	First Floor RCP - Proposed	3/16" = 1'-0"
15	Λ- 3.2	Second Floor RCP - Proposed	3/16" = 1'-0"
16	A- 4.1	Roof Plan - Existing	3/16" = 1'-0"
17	Λ- 4.2	Roof Plan - Proposed	3/16" = 1'-0"
18	A- 5.1	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
19	A- 5.2	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
20	Λ- 5.3	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
21	Λ- 5.4	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
22	A- 6.1	Building Sections - Existing / Proposed	3/16" = 1'-0"
23	A- 6.2	Building Sections - Existing / Proposed	3/16" = 1'-0"
24	A- 6.3	Building Sections - Existing / Proposed	3/16" = 1'-0"
25	A- 6.4	Building Sections - Existing / Proposed	3/16" = 1'-0"
26	Λ- 9.1	Exterior Renderings - Proposed	As Noted
27	A- 9.2	Exterior & Interior Renderings - Proposed	As Noted
28	A- 9.3	Site Context Arial View	As Noted
29	Λ- 9.4	Street Context Photos	As Noted
30	A- 9.5	Street Context Photos	As Noted
31	Α- 10.1.1	Details	As Noted

As Noted

As Noted

AL- 1.1

Landseape Plan

Sheets Architectural

_Landscape Area/ Hydro Zone Plan

PROJECT DATA PROJECT INFORMATION 5251 Chelsea Street La Jolla, CA 92037 ASSESSORS PARCEL NUMBER: 415-061-14-00 EAR BUILT: BUILDING CODE:

Lot 22 in block 3 of Pacific Villas Unit No. 1 in the City of San Diego, County of San Diego, State of California, according t Map thereof No. 2531, filed in the Office of County Recorder of San Diego County on December 23, 1948 Commonly 1987 Major Remodel and original structure built in 1950 CALIFORNIA BUILDING CODE (CBC), 2016 EDITION CALIFORNIA ELECTRICAL CODE (NEC), 2016 EDITION

CALIFORNIA MECHANICAL CODE (CMC), 2016 EDITION CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION CITY OF SAN DIEGO MUNICIPAL CODE (CSDMC) 2018 EDITION CALIFORNIA RESIDENTIAL CODE (CRC) 2016 EDITION as addend my the City of as Diego Municipal Code OCCUPANCY TYPE: TYPE VB - NON RATED Two Existing - Two Proposed

CONSTRUCTION TYPE NUMBER OF STORIES: BUILDING HEIGHT: 28'-3 3/4" Existing LOT AREA: 7,600.0 S.F. **0.17 ACRES** From Survey from San Diego Land Survey ZONING INFORMATION

COMMUNITY PLAN NAME: OVERLAY ZONES: Coastal-City, Costal Height Limit, Parking Impact, Residential Tandem Parking, Transit Area ENVIRONMENTALLY SENSITIVE LANDS: No

HISTORIC DISTRICTS Geologic Hazard Categories Hazard Category - 12 FAA Part 77 Notification Area NUMBER OF DWELLINGS:

NUMBER OF STORIES: SETBACKS: FRONT: Chelsea Street 15'-0 Standard Setback

New Second Floor Terrace Area - MBR Terrac

New Third Floor Terrace -Roof Deck Area

New Landscaping Area - South Side Yard

New Landscaping Area - North Side Yard

OTHER AREAS TOTAL

LANDSCAPE ARE New Front Yard Landscape Are

TOTAL OTHER AREA SUMMARY:

5'-5" 4'-0" * Minimum side setback on one side, or can be equal combined total of 12.8' or 12'-10" 7'-5" Equal to 8% of the lot width -80'-0" $\times 1.08\% = 6.4' - 6'-5$ " or can be equal combined total 13'-0" BUILDING HEIGHT LIMITATIONS: 24' with 30 degree angled planes on street elevations (lots wider that 75 feet) MAXIMUM FLOOR AREA RATIO: PAVING & HARDSCAPE: No grading of the site, minimal new hardscape, new driveway

MAXIMUM ALLOWED DENSITY: One unit per 300 square feet DU/ACRES 5.73 DU/ACRES ALLOWABLE COVERAGE 3.800.0 50% Balconies count as well as second floor overhangs ACTUAL COVERAGE: 2.394.7 S.F. 32% Per Table 131-04J ALLOWABLE FAR: 4,332.0 S.F. 57%

MAXIMUM HARI	SCAPE COVERAGE:		720.0 S.F.	60%	1200 S.F Fi	ont Yard Setback Area
ACTUAL HARDSO	CAPE COVERAGE:		395.6 S.F.	33%	324.4 360 Sq. I	Feet New Hardscape Area
ALLOWABLE ACC	CESSORY STRUCTURE:		1,083.0 S.F.	25%	25% of allowed FAR	
ACTUAL ACCESS	ORY STRUCTURE PROP	OSED:	0.0 S.F.	0%	Existing Structure to be Remo	ved
BUILDING AREAS	S		Existing	Addition	New Total Area	
	Existing First Floor Area:		1,850.0 S.F.	-219.79	1,630.2 S.F.	Existing Floor
	New First Floor Area: Addi	ition	0.0 S.F.	331.07	331.1 S.F.	New Addition Area included in FAI
	Existing Second Floor Area:		1,036.3 S.F.	-92.94	943.3 S.F.	Demolition of a portion of second f
	New Second Floor Area:		0.0 S.F.	980.66	980.7 S.F.	Revised Area Total with Addition
	Existing Detached Accessor	y	253.5 S.F.	-253.50	0.0 S.F.	
RESIDENTIAL AR	EA:		3,139.8 S.F.	838.44	3,885.3 S.F.	
	Garage Area:		521.2 S.F.	-87.74	433.4 S.F.	Reduced Garage
	Accessory Structure:		0.0 S.F.	0.00	0.0 S.F.	See Site Plan - None
NON-RESIDENTLA	AL AREA:		521.2 S.F.	-87.7	433.4 S.F.	
PROJECT TOTAL	:		3,660.9 S.F.	750.70	4,318.7 S.F.	FAR Area
Hardscape in	Area of Hardscape	Existing Driveway	336.8 S.F.	459.84	459.8 S.F.	Existing to be replaced with New
Front Yard Setback:	: Area of Hardscape:	Entry Walk & Pati	121.6 S.F.	425.50	425.5 S.F.	Existing to be replaced with New
Side Yard Area:	Area of Hardscape - North	Side Yard	471.7 S.F.	172.79	172.8 S.F.	New Hardscape
	Area of Hardscape - Rear	Yard	87.0 S.F.	985.79	985.8 S.F.	New Hardscape
	Area of Hardscape - South	Side Yard	471.7 S.F.	156.38	156.4 S.F.	New Hardscape
	Area of New Pool - Rear Y	ard	0.0 S.F.	311.24	311.2 S.F.	New Pool & Spa
	Area of Hardscape - Total		1,488.8 S.F.	2,511.54	2,511.5 S.F.	Total New Hardscape
OTHED ADEAS	May Second Floor Terrace	Area Fact Terrace	0085	281.80	281 8 S E	See Floor Plan

93.4 S.F.

273.8 S.F.

805.49 S.F.

386.82

262.23

* All Parking Spaces are 9'-0" Wide & 18'-0" Long

Marengo Morton **Architects**

7724 Girard Ave. Second Floor La Jolla, CA 92037 Tel. (858) 459-3769 Fax. (858) 459-3768

Michael Morton AIA Claude Anthony Marengo Des



on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the expres vritten consent of Marengo Morton Architect Incorporated is prohibited. There shall be no changes, substitutions, modifications or

deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attache specifications shall constitute the acceptance o

Street 92037

A Concept Design 11/01/2017 B Schematic Design 12/19/2017 C Coastal Phase 05/31/2018 D Coastal Response -Cycle 2 -7/27/202 E Coastal Permit Set - 10/15/2018

COASTAL PHASE

REVIEWED BY MRM

PROJECT NO. 2017-32

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018 Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties recognize that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional due to among other causes transmission unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human ration. Accordingly, all such documents are provided to pleemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the

only true contract documents of record. SHEET TITLE TITLE SHEET

SHEET 1 OF 33

CAL GREEN SUSTAINABILITY NOTES

- 1. After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger meter size requirement:
- OWNER SIGNATURE:
- Provide a fire sprinkler head in all applicable clothes closets, linen closets, & pantries on this home. Per Sec 4.406.1, Joints & openings, annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by
- closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. A minimum of 50% of the construction waste generated at the site is diverted to recycle or salvage per CGBSC section 4.408.1 and city ordinance.
- OPERATION MANUAL 5. Per Sec 4.410.1 - Before final inspection, a complete operation & maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit
- that confirms the delivery of such. The manual should include in addition to other aspects the following:
- Direction to the building owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
- Operation and maintenance instructions for the following: i. Equipment and appliances, including water-saving devices and systems, HVAC systems, water heating systems and other major appliances and equipment.
- ii. Roof and yard drainage, including gutters and downspouts. iii. Space conditioning systems, including condensers and air filters.
- iv. Landscape irrigation systems.
- v. Water re-use systems. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- Public transportation and/ or carpool options available in the area.
- Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may u se to maintain such humidity levels.
- Information about water-conservation landscape and irrigation design and controllers, which conserve water. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from foundation
- Information on required routine maintenance measures, including, but not limited to caulking, painting, grading around the building, etc.
- Information about state solar energy and incentive programs available.
- A copy of all special inspection verifications required by the enforcing agency or this code. A copy of a complete operation and maintenance manual as outlined in the notes above will be delivered to the building owner prior to final inspection.
- An owner manual certificate should be completed and signed by either a licensed General Contractor or a homeowner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification from can be obtained from the development services department.
- MATERIALS Per Sec 4.504.1, Duct openings and other related air distribution component openings shall be covered during construction.
- Per Sec 4.504.2.1. Adhesives, sealants and caulks shall be compliant with VOC & other toxic compound limits. 10. Paints, stains and other coatings shall be compliant with VOC limits set in section 4.504.2.2 and Table 4.504.3 of Cal Green.
- 11. Adhesives, sealants, caulks, adhesives and sealants used on the project shall meet the requirements of the following standards. (Section 5.504.4.1 of California Green Building Code- CAL GREEN) Adhesives, adhesive bonding primers, adhesive primers, sealants, sealants primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2 of CAL GREEN. (Sec. 5.504.4.1)
- 12. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the building Inspector.
- a. The Contractor shall provide a letter and or the building owner certifying what paint has been used and its compliance with the Cod must be submitted to the building Inspector. 13. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of
- Regulations, Title 17, commencing with Section 94507. Architectural paints and coatings shall comply with Table 5.504.4.2 unless more stringent local limits apply (Section 5.504.3 of California Green Building Code)
- Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances (CCR, Title 17, Section 94520 et seq). (Section 5.504.4.3.1 of CAL-GREEN)
- 16. A certification completed and signed by either the general contractor or subcontractor, or the building owner certifying that the paint, stain, and adhesives, complies with the requirements of the California Green Building Code. A copy of the form can be obtained from the development services department.
- 17. Per Sec 4.504.3, Carpet and carpet systems shall be compliant with voc limits. A letter from the contractor / subcontractor and or the building owner certifying what material has been used and its compliance with the code must be submitted to the building inspector.
- 18. Per Sec 4.504.4, 80% of the floor area receiving resilient flooring shall comply with one or more of the following: VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
- Products compliant with CHPS criteria certified under the Greenguard Children & School program.
- c. Certification under the Resilient Floor Covering Institute (RFCI) Floor Score Program.
- i. Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of the Volatile Organic Chemical Emissions from indoor Sources Using Environmental Chambers, 'Version 1.1, February 2010 (also known as Specification 01350).
- 19. Hardwood, plywood, particleboard, medium density fiberboard (MDF), composite wood product used on the interior or exterior of the building shall meet the requirements for
- formaldehyde as specified in A.R.B.'s Air Toxic Control Measure for Composite wood as specified in section 4.504.5 and table 4.504.5 of CAL GREEN.
- 20. A certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particleboard etc comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.
- 21. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when framing members exceed 19% moisture content. 22. The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by wither probe type or contact type moisture

MECHANICAL

- 23. Exhaust fans, which terminate outside the building, are provided in every bathroom that contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat, which can adjust between 50 to 80 percent.
- 24. Per 2013 Green Code Sec 4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II
- emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 25. Per Sec. 4.506.1 - Mechanical exhaust fans which vent directly from bathrooms shall comply with the following:
- a. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. b. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat, which shall be readily accessible. Humidistat controls shall be
- capable of adjustment between a relative humidity range of 50 to 80 percent 26. Per Sec 4.507., - The Heating and Air Conditioning equipment was sized, designed and selecting using Energy Pro 5.6.1. Reference T24 calculations on sheet T-2 for more info. a. A signed affidavit from installer stating method used for the selection of heating and Air Conditioning equipment and that such equipment was installed in accordance to that method
- is required, this affidavit shall be presented to the Building Inspector BEFORE Final Inspection. 27. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution
- component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system. (CAL Green Section: 5.504.3) 28. In mechanically ventilated buildings, regularly occupied areas of the building shall be provided with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in
- the operation and maintenance manual. (CAL Green Section: 5.504.5.3) 29. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2. HVAC, refrigeration and fire suppression equipment shall not
- contain Chlorofluorocarbons (CFCs) and shall not contain Halons (Section: 5.508.1). 30. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, balance the system in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; or Associated Air Balance Council
- 31. Provide the building owner or representative with detailed operating and maintenance instructions and copies of guaranties/warranties for each system. O &M instructions shall be
- consistent with OSHA requirements in CCR, Title 8, section 5142, and other related regulations. 32. A water heater pressure and temperature relief drain that terminates outside the building shall comply with Section 608.5 CPC.
- 33. Routing and termination of flue and combustion air intake for water heater shall comply with Ch. 5, CPC 2013 and with manufacturer's specifications
- 34. Plumbing Fixtures and Fitting will water conserving and will comply with the 2013 CGBSC Sec. 4.303.1
- 35. Plumbing fixtures and fittings shall comply with all the requirements in Section 5.303 in the 2013 California Green Building Code. 36. Per 2013 CGBSC Sec. 303.1.3.2 - When a shower is served by more than one showerhead, the combined flow rate of all showerhead and/or other shower outlets controlled by a single
- valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Handheld showers are considered
- 37. Per Sec. 4.303.1 Please demonstrate a 20% reduction of Indoor water use, it can be demonstrated by one of the following methods:
- a. Each plumbing fixture and fitting shall meet reduced flow rates specified in Table 4.303.2 (below). Plumbing fixtures (water closets and urinals) and fittings (faucets and
- showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 1401.1 of the CPC. b. A calculation demonstrating a 20% reduction in the building water use baseline as established in Table 4.303.1 shall be provided. For low-rise residential occupancies, the
- calculation shall be limited to the following plumbing fixture and fitting types: water closets, urinals, lavatory faucets and showerheads. See Work Sheet (WS-01) from Chapter 8 of the
- Green Code. 38. Per 2013 CGBSC Sec. 24.303.3 - Plumbing fixtures (water closets and urinals) and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall meet the standards referenced in Table 4.303.3.
- LANDSCAPE AND CONTROLLERS
- 39. Automatic irrigation systems controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following: a. Controller shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants needs as weather conditions change.
- b. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor, which connects or communicates with the controller's. Soil moisture-based controllers are not required to have rain sensor input.
- 40. Per 2013 CGBSC 4.304.1 Irrigation controllers. Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply
- a. Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change. b. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor, which connects emission limits where applicable, or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.

BUILDING ENVELOPE 41. Per Sec. 5.507.4 - Wall and roof-ceiling assemblies that make up the building envelope shall have an STC rating of at least 50, and exterior windows shall have a minimum STC of 30. BUILDING SITE

42. Show location of recycling area on the site plan. The area should be identified for the recycling of paper, corrugated cardboard, glass, plastics and metal...

TABLE 4.303.2 FIXTURE FLOW RATES

FIXTURE TYPE	FLOW RATE	MAXIMUM FLOW RATE ≥ 20%
		REDUCTION
Showerheads	2.5 gpm @ 80 psi	2.0 gpm @ 80 psi
Lavatory Faucets	2.2 gpm @ 60 psi	1.2 gpm @ 60 psi
Kitchen faucets	2.2 gpm @ 60 psi	1.8 gpm @ 60 psi
Water Closets	1.6 gallons / flush	1.28 gallons / flush
Urinal	1.0 gallons / flush	0.5 gallons / flush

- 1. Includes single and dual flush water closets with an effective flush rate of 1.28 gallons or less when tested per ASME A122.19.233.2 for single flush and ASME A112.19.14 for dual flush toilets.
- 2. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

TITLE 24 CALCUATIONS See Sheet T - 5 for Title 24 calculations

GENERAL PROJECT NOTES

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- walls, easements (if any), existing grade locations, finish floor elevations, existing site utilities, and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all property lines, easements (if any), underground utilities or any other items as needed.
- 3. All conditions or dimensions on these plans shall be verified in the field by the General Contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site.
- On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Subcontractors. 4. These drawings have been prepared from the latest information available on existing conditions. Minor variations may occur in the actual construction. Any discrepancy or area of confusion between field conditions and these drawings
- shall be brought to the attention of the Architect prior to proceeding with work in question. Do not proceed with work in question until the Architect issues written directions. 5. In case of conflict within the drawings the order of precedent shall be: 1) specific details, 2) drawing notes, 3) specifications and (4) general notes.
- 6. Neither the Owner nor the Architect shall enforce safety measures or regulations. They are the General Contractor's sole responsibility.
- 7. The General Contractor and Subcontractor's work shall be in accordance with all applicable federal, state, and local building codes and agency standards.

- 8. The provisions of the 2013 California Building Code (CBC) and/or California Residential Code (CRC) shall apply to the construction alteration, movement, enlargement, repair, equipment, use and occupancy, location, maintenance, removal, and demolition of detached one and two-family dwelling, townhouses note more than three stores above grade plane in height with a separate means of egress and structures accessory thereto. All other structures shall comply to the provision of the 2013 California Building Code (CBC)
- 9. Cal-OSHA requirement: A Construction activity permit is required for Construction of trenches or excavations which area five feet or deeper and into which a person is required to descend. Construction of any building, structures, scaffolding or falsework, more than three stories high or the equivalent height (36 feet), Erection or dismantling of vertical shoring systems more that three stories high, or the equivalent height (36 feet)
- 10. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
- 11. Paints, stains and other coating shall be compliant with VOC limits. 12. Aerosol paints and coatings shall be compliant with product weighted MIR limits for VOC and other toxic compounds.
- 13. Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted 14. Fifty percent of floor area receiving resilient flooring shall comply with the VOC -emission limits defined in the Collaborative for High Performance Schools (CHPS) Low -emitting Material list or be certified under the Resilient Floor Covering
- 15. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. 16. Moisture content of building materials used in wall and floor framing is checked before enclosure. Building material with visible sign of water damage shall not be used. Insulation products, which are visibly wet or have a high moisture content shall be allowed to dry prior to enclosure.

Site Preparation

Institute (RCFI) Floor Score program.

- 17. Prior to excavation, General Contractor shall confirm location of underground utilities.
- 18. In the event that utilities or concealed structures are discovered during construction at exposed or unexposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utility company
- 19. The General Contractor and Subcontractor shall be responsible for the appropriate hook up to all utilities required to support the work.
- 20. The General Contractor shall protect the adjacent properties, including, but not limited to dust, trash, or damages due to demolition, excavation, construction and/or flooding originating on the site.
- 21. These contract documents do not contemplate the handling or treatment of asbestos and/or any hazardous waste materials. Should any hazardous materials be discovered, the General Contractor shall notify the Owner immediately by telephone and in

22. The General Contractor shall install and maintain a phone at the job site for the duration of construction.

23. A soil compaction report shall be provided to the building inspector at the job site prior to placement of concrete for the new foundation if requested by the city. 24. It is the General Contractor's responsibility to grade the site and to slope all grading and concrete work to provide positive drainage away from the building and to area storm drains.

- 25. All excavation and grading shall comply with OSHA and other governing regulations. 26. Demolition shall conform to extent shown on the Demolition Plan. No structures are to be removed or modified with notification to the Architect and confirmation that they are in conformance with the approved permit plans.
- 27. Shoring shall be provided where demolition of support structures occur. 28. Prior to the start of any demolition or construction, the General Contractor (GC) shall inspect and prepare an inventory of all items noted to be relocated or salvaged and verify that these items are in good working condition and able to be relocated.
- The GC shall present this inventory to the Owner and the Architect for their approval. The GC shall be held responsible for replacing any re-locatable item damaged during the demolition process. Salvaged items shall be the Owner's choosing and shall be the Owner's property.

Floor Plan

- 29. Interior finishes must conform to the requirements of Chapter 12, 2013 CBC or the CRC Chapter 7. All decorative materials are required to be maintained in a flame-retardant condition.
- 30. Different floor finishes shall meet under the door, unless otherwise noted.
- 31. Smoke detectors shall be provided in all sleeping rooms, in adjacent hallways, and in areas that are specified in Section 907.2.11.2, 2013 CBC. 32. Maintain 1-hr fire resistive wall and ceiling construction between the garage and the residence for occupancy separation. Refer to Section 706.1, 707.3.9 and Table 707.3.10, 2013 CBC.
- 33. Glass and glazing shall conform to the provisions of Chapter 24, Section 2406, 2013 CBC. All glazing panels adjacent to doors and within 18" of walking surfaces shall be tempered.
- 34. Provide R-13 insulation in all exterior walls and bathroom walls. Provide R-19 insulation between floors and R-30 in attic space. Refer to Section 720, 2013 CBC. 35. Provide emergency exit doors or windows from sleeping rooms. Net clear opening area shall be not less than 5.7 sq. ft., (821 sq. in.) Minimum opening height shall be 24". Minimum opening width shall be 20". Maximum finished sill height shall
- be 44" above floor. 36. Provide under-floor crawl space ventilation in foundation walls of not less than 1/150 of area ventilated. Provide corrosion resistant metal mesh screen frame at each opening.
- 37. At transition to exterior balconies and decks shall provide a minimum step down to finish surface of 1 inch (U.N.O.). Rough framing surfaces shall have a minimum 2-inch step down. (U.N.O.)

38. Provide solid blocking in wall framing for all cabinets, countertops, mirrors, shelving, light fixtures, and miscellaneous wall and ceiling mounted or recessed items. 39. Contractor shall coordinate soffit framing with the plan to allow adequate space for installation of light fixtures and mechanical equipment.

- 40. Provide draft stop in the attic space. Attic space shall not exceed 3,000 sq. ft., or 60'-0" in horizontal length. 41. Under-Floor Clearance (raised wood floors): wood joist or bottom of wood structure shall be no closer than 12 inches. Under floor areas shall be provide with a minimum 18 inch by 24 inch clear
- 42. All wood within 8" of earth or 1" of concrete shall be redwood or pressure treated, Section 2304.11.2.2. 3 & 4 CBC 2013.
- 43. Stairways and landings shall be constructed as required by Section 1009.3.1, 2013 CBC. 44. Hold down anchors to be tied in place prior to calling for foundation inspection.
- 45. Floor sheathing shall be screwed and glued to floor joists.
- 46. Provide fire blocking at floor, ceiling, coves and mid-height of walls over 10'-0" in height.

47. Install Duroc Tile Backer Board by United States Gypsum or equal on all interior walls, countertops and ceilings to receive tile. Install Duroc according to the manufacturer's recommended specifications. 48. Interior gypsum board corners shall be per interior finish schedule. Interior gypsum board texture shall be per interior finish schedule.

- 49. All exposed metal flashings shall be painted to match adjacent surfaces. Unless note otherwise.
- 50. A weep screed or weep holes shall be provided at or below the foundation plate line for all exterior stud wall finish on the exterior stucco. Weeps shall be placed a minimum of 4" above grade. 51. No vent pipe or any projection shall project above 30'-0' from finish grade, new or pre-existing 5'-0" from building face. The highest point of the roof shall not exceed 30'-0" (U.N.O.). 52. Wood siding: clearance between wood siding and earth on the exterior of a building shall not be less than 6 inches (6") or less that 2 inches to concrete steps, patio slabs porch slabs or similar horizontal surfaces except were side, sheathing and wall
- framing are of naturally durable or preservative treated wood. Roofing 53. Roofing shall be installed in accordance with manufacturer's specific installation instructions. All newly constructed roofs shall be covered with materials identified as Class "A" roof assembly. Class A roof assembly and roof covering shall be
- listed and identifies as Class A by an approved testing agency.
- 54. Provide all required sheet metal flashing and caulking. Contractor shall provide 40-year minimum warranty.
- 55. Provide attic ventilation in roof eaves or in top of wall under gable roof ends of not less than 1/150 of area ventilated. Provide corrosion resistant metal mesh screen in wood or metal frame at each opening. The size of mesh opening shall be 1/4' inch maximum.

- 56. Provide showerheads with a maximum flow of 2.0 gallons per minute (2.0 GPM) 57. All new toilets shall be ultra low flush type, maximum 1.6 gallons per flush. (1.6 GPM)
- 58. No C.P.V.C. piping to be installed for potable water supply. All water supply lines shall be copper.
- 59. Permanent vacuum breakers shall be included with all new hose bibbs. 60. All water closets or bidet shall have a minimum clearance of 18" (15" is code minimum) from the centerline of the fixture to any sidewall or obstruction, nor closer than thirty (30") inches center to center to any similar fixture. The clear space in front of any water closet or bidet shall not be less than twenty-four (24") inches from the front of the fixture.
- 61. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with "type X gypsum board" or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required. 62. State Health and Safety Code Sec 17921.9 bans the use of chlorinated polyvinyl chloride (CPVC) and cross-linked polyethylene (PEX) for interior water supply piping. 63. Building drain and vent piping materials shall comply with Section 701.0 and 903.0 of the California Plumbing Code. (CPC)
- 64. All sanitary system materials shall be listed by an approved listing agency.
- 65. Potable water piping material shall comply with Section 604.0 of CPC.
- 66. Residential lavatory faucets shall have a maximum rate of 1.5 gallons per minute at 60 psi and a minimum flow rate of not less than 0.8 gallons per min. at 20 psi. Faucet in common and public use areas (outside of dwelling or sleeping units) in residential buildings must have a maximum flow rate of 0.5 gallons per min. at 20 psi.
- 67. Lavatory Faucets in restrooms shall be the self-closing type. (Commercial requirement)
- 68. Kitchen faucets shall have a maximum flow rate of 1.8 gallons per minute at 60 psi and minimum flow rate of not less than 0.8 gallons perm min. at 20 psi. 69. Kitchen faucets shall have a maximum flow rate of 1.8-gallon perm minute ant 60 psi. Kitchen faucets may temporarily increase the flow rate to a maximum of 2.2 gallons at 60 psi, but must default back to the 1.8 gallons per minute.
- 70. Provide lavatory faucet shall with a maximum flow of 1.5 gallons per minute (1.5 GPM).
- 71. A <u>Plumbing fixture certification must be complete and signed by either a licensed general</u> contractor, or a plumbing subcontractor, or the building owner certifying that the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department

- 72. All mechanical and electrical systems shall be installed in accordance with approved plans and governing codes. Electrical and mechanical systems shall be tested and approved to be in proper working condition to the satisfaction of the building inspector before the issuance of the certificate of occupancy.
- 73. All thermostats shall be of the automatic changeover type to sequence heating or cooling. Set point range shall be up to 10 degrees Fahrenheit between full heating and cooling. Adjustable temperature differential shall be one and one-half degrees
- 74. Equipment shall have the capacity of terminating all cooling at a temperature of not more than 78 degrees Fahrenheit.
- 75. At least one automatic space temperature control device shall be provided for each zone. 76. All ductwork shall be constructed, erected and tested in accordance with the most restrictive of local regulation procedures. Refer to the standards adopted by the Sheet Metal and Air Conditioning Contractors National Association as detailed in the
- ASHRAE handbook of fundamentals. 77. Provide bathroom ventilation of not less than five (5) air changes per hour.
- 78. Attic and/or under-floor installation of HVAC units must comply with Sections 303, 304. 305, 308, 2010 C.M.C.
- 79. Duct opening and other related air distribution component openings shall be covered during construction. 80. Exhaust fans which terminate outside the building are proved in every bathroom that contains a shower or tub. Unless function as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent.

Electrical

means of attic, basement or crawl space.

- 81. All circuit breaker switched 120V AC light circuits or convenience outlets, must use only type GFCI or AFCI circuit breakers. 82. Electrical outlets located in wet areas, bathrooms and laundry rooms, at the exterior or within 6'-0" of the kitchen sink, shall be provided with ground fault interrupter switch (GFCI)
- 83. Wiring the plenums shall be in conduit or conform to Articles 300-21 and 300-22, NEC.
- 84. Alteration, repairs and additions: When alteration, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in existing dwellings. The individual dwelling unit shall be equipped with smoke alarms located as required for new dwellings. 85. Carbon Monoxide Alarms: Locations: Proved smoke alarms in the following locations; 1) outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms(s) 2) on every level of a dwelling unit including basements.
- 86. Single and multiple -station carbon monoxide alarms shall be listed as complying with the requirements of UL 2304. Carbon Monoxide detectors shall be listed as complying with the requirements of UL 2075. 87. Carbon Monoxide Alarms: In existing dwelling units, where a permit is required for alterations, repairs or additions exceeding \$1,000 dollars, existing dwelling or sleeping units that have attached garages or fuel-burning appliances shall be provided with carbon monoxide alarms in the specific dwelling unit or sleeping unit for which the permit was obtained. 88. Battery operated carbon monoxide alarms: In existing dwelling units, a carbon monoxide alarm is permitted to be solely battery operated where repairs or alterations do not result in the removal of a wall and ceiling finishes or there is no access by

GENERAL PROVISIONS

Seismic Zone:

- A The following Notes apply, unless indicated otherwise as the Project Governing Codes and Standards
- 1. California Building Code, 2016 Edition (C.B.C.)
- California Mechanical Code, 2016 Edition (C.M.C.) California Plumbing Code, 2016 Edition (C.P.C.)
- 4. California Electrical Code, 2016 Edition (C.E.C.) 5. California Fire Code, 2016 Edition (C.F.C.)
- 6. California Residential Code, 2016 Edition (C.R.C.) 7. California Title 24 Energy Code and Project Calculations, 2016 Edition (T-24 - Part of this set)
- 8. American Concrete Institute "Building Code Requirements for Reinforced Concrete."
- 9. Western Wood Products Association Lumber Grading Standards. 10. AWPA Pressure Preservative Treatment Standard for Full Penetration Ground Contact Rating Codes and
- **B Existing Conditions:** Verify all existing conditions and dimensions before starting work. Report all
- discrepancies involving existing conditions to the architect, prior to construction. C Design Loads: Unless Noted Otherwise (See structural calculation for design load calculations)
- 1. Floor Live Load 60 P.S.F. Uniform Load
- 2. Stairs Stringers 100 P.S.F. Uniform Load
- Stair Treads 300 Lbs. Concentrated Load
- 4. Roof Live Load 20 P.S.F. 5. Balcony Live Load 40 P.S.F.
- 1,500 P.S.F. (Unless noted otherwise in Soils Report) 7. Soil Bearing Pressure: **D** Foundations:
- Spread footing design: 2. Base footings 18 inches minimum below finished grade. Unless noted otherwise. 3. All footings shall rest on firm undisturbed earth or soil with relative compacted of 90%, unless noted
- **E** Concrete Reinforcement:
- 1. Deformed bars #2 min. #6, ASTM A615 Grade 60, fy = 40 KSI, lap 40 bar diameters. 2. Slab-on-grade & other miscellaneous site concrete see drawings for reinforcement.
- 3. Concrete cover over reinforcement: 4. Footings 3" 5. Formed surfaces exposed to weather or ground 2"

6. Slabs-on-grade, top and bottom minimum 1-1/2"

- . Minimum ultimate 28-day compressive strength (F'c) shall be 2,500 PSI, unless noted otherwise.
- 2. An approved water-reducing admixture shall be used in all concrete except footings. 3. Use an approved air-entraining admixture in all concrete (structural and non-structural) where exposed to
- **G** Structural Steel 1. Material - Bolts, ASTM A325, minimum 1/2" diameter, unless noted otherwise.
- 2. Fabrication, AISC specifications for the design, fabrication and erection of structural steel for buildings, Manual Of Steel Construction, Ninth Edition 3. All welding by W.A.B.O. certified welders. Welding shall be in accordance with the provisions of the Structural Welding Code AWS D1-1 and AWS D1-4.
- exposed to weather shall be fully primed and coated per specifications. **H** Rough Carpentry: 1. Lumber Materials: -All lumber shall be graded per Western Wood Products Association Lumber grading
 - Standards. Lumber shall bear identification stamps indicating: a) -Grading Association mill number
 - 2. Plywood sheathing grade, exposure, span rating and thickness, per plans.
 - 3. Lumber grading: unless noted otherwise, the following shall apply: a) -Wall stud framing Douglas-Fir Larch #2 & better.
 - -Stair stringers Douglas-Fir Larch #2 & better. -Beams and headers Douglas-Fir Larch #1 & better.
- f) -Glu-lam beams 24F-V4, industrial grade or as specified on structural calculations. g) -Posts Douglas-Fir Larch #1.
- 5. Timber connectors specified are by Simpson Strong-Tie Co. Inc. or approved equal. Location and size of fasteners for structural anchorage or attachments shall be as specified by manufacturer.
- d) Wall stud cutting, notching or boring of member per C.B.C. section 2308.9.10 & .11 e) Structural ceiling joist and rafter cutting, notching or boring of member per C.B.C. section
- g) All wood in contact with concrete, masonry, soil or exposed to the exterior (as defined by C.B.C. 2304.11.4) shall be pressure preservative treated lumber.
- Double floor framing joists below interior walls, bathtubs and heavy appliances. I Submittals:
- final submittal to fabricator or suppliers.
- c) -Fabricated steel.
- -Cabinetry and other built-in items. e) -Special windows.

owner will be used.

- **J** Construction Quality:
- 3. All subcontractors are responsible for inspecting, correcting, and approving all conjunctive conditions of all related prior trades, prior to beginning their own work.
- exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar concrete masonry or similar method acceptable the enforcing agency. 6. The contractor is responsible for maintaining a neat & tidy job site; only staging areas approved by the
- **K** Substitutions: 1. No substitutions of specified materials shall be made without written notification to the Architect and Owner and their written acceptance of the substitution.
- 1. A minimum of 50 percent of the construction waste generated at the site is diverted to recycle or salvage per Section 4.408.1 and City Ordinance 2. The Contractor shall keep the premises free from accumulation of waste material and/or rubbish caused by

tools, scaffolding and surplus materials shall be stored, flagged, or removed, leaving the job site broom

the building owner prior to final inspection.

M Final Inspections and Operations Manuals: 1. Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirm the delivery of such (Section

2. Direction to the building owner or occupant the manual shall remain with the building for throughout the life

- cycle of the structure. 3. Operation and maintenance instruction for the following:
 - b) Roof and yard drainage, including gutter and downspouts c) Space conditioning systems, include condensers and air filters.
- Landscape irrigation systems. Water re-uses systems, and other building or site systems.
- resources consumption, including recycle programs and locations. 5. Public transportation and/or carpool options available in the area. 6. Educational material on the positive impact of an interior relative humidity between 30-60 percent and what
- 7. Information about water-conservation landscape and irrigation design and controllers which conserve water. 8. Instructions for maintaining gutter and downspouts and the importance of diverting water at least 5 feet

11. A copy of a complete operation and maintenance manual as outline in the notes above will be delivered to

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Claude Anthony Marengo Desa

RENE

April 30, 2019

Marengo

Morton

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> Street 92037 .25 La

A Concept Design 11/01/2017 B Schematic Design 12/19/2017 C Coastal Phase 05/31/2018 D Coastal Response -Cycle 2 -7/27/201 E Coastal Permit Set - 10/15/2018

COASTAL PHASE

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

PROJECT NO. 2017-32

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only true contract documents of record.

SHEET 2 OF 33

SHEET TITLE TITLE 24 ENERGY CALCULATIONS

4. After fabrication, all items shall be fully coated with two applications steel primer. Items permanently

- b) -Grade and species -Moisture content -Preservative treatment
 - -Singular joists, rafters Douglas-Fir Larch #2 & better. -Multiple joists, rafters Douglas-Fir Larch #2 & better.
- 4. Fabrication: Conventional Light Framing unless noted otherwise, the following shall apply:
- a) All floor joists to be solid blocked @ bearing lines, longest un-blocked span = 8' 0". b) Nails to be Common nails per C.B.C. table 2304.9.1., galvanized based on exposure. c) Minimum nailing to conform to C.B.C. table 2304.9.1. (See plans, specifications & structural details for size and type)
- f) Glu-laminated timbers and pressure preservative treated lumber shall be re-sealed (compatible treatment following all shop or field cuts).
- h) Support all concentrated loads bearing on stud or joist cavities with solid bearing or blocking. Stagger all sheathing panel seams a minimum of two stud/joist cavities.
- 1. All submittals, shop drawings, product samples, etc. shall be reviewed and accepted by the Architect prior to
- 2. Submittals shall include, but not limited to the following: a) -Concrete mixture, additives and reinforcement.
- b) -Manufacturer engineered trusses.
- 1. All construction shall be of the highest standards for materials and methods of installation. 2. All finish materials not selected shall be reviewed and accepted by the Architect and Owner.
- 4. Prior workmanship and materials not acceptable to subcontractors shall be brought to the attention of the General Contractor prior to commencing construction. 5. Joist and opening, annular spaces around pipes, electric cables, conduits or other openings in plates at
- L Clean Up:
- their work. At the completion of each day's work, remove all rubbish from and about the building. All
- 4.410.1) A sample of the manual is available on the Housing and Community Development We site.
- a) Equipment and appliances include water-saving devices and system, HVAC system, water-heating system and other major appliances and equipment.
- 4. Information from local utility, water and waste recovery providers on the methods to further reduced
- methods an occupant may use to maintain such humidity level.
- and grading around the building etc. 9. Information about state solar energy and incentive program available. 10. A copy of all special inspections verifications required by the enforcing agency or this code.
- away from foundation. GENERAL NOTES a) Information the required routine maintenance measures including, but not limited to caulking, painting

FIRE DEPARTMENT NOTES

GENERAL PLAN PROVISIONS

- Building undergoing construction, alteration, or demolition shall be in accordance with CFC Chapter 33. (CFC 3301.1)
- Provide fire protection for the building during construction in accordance with California Title 19 and CFC, chapter 9.
- Building shall comply with the 2013 CFC Article 81 for high pile combustible stock.

4. Storage, dispensing or use of any flammable or combustible liquids, flammable gases, and hazardous chemical shall comply with the California Fire Code regulations.

BUILDING INTERIOR FIRE PROTECTION PROVISIONS

- 5. Provide and install a minimum of one 2A 10BC classification fire extinguisher within 75' travel distance for each 3,000 sq. ft. or portion thereof on each floor. Mount handle a maximum of 40" Above Finish Floor (A.F.F). (CFC 906)
- 6. Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. No dead bolts, surface bolts, sliding bolts, or other locking devices are permitted except as noted in (CBC 1008.1.8). At main entry doors provide a readily visible, durable sign on or adjacent to the door, stating, "This door must remain unlocked during business hours". Letters to be 1" high on a contrasting background and any locking device shall be readily distinguishable as locked.
- Contractor to secure all permits required by the fire department from the fire prevention bureau prior to occupying this building.
- 8. Interior finish shall comply with codes as follows: (CBC Chapter 8), wall and finish materials shall not to exceed flame spread classifications per (CBC Section 803.1). All decorative materials shall be maintained in a flame-retardant condition.
- 9. All penetrations of fire resistive wall assemblies must be protected per (CBC Section 712).
- 10. Duct penetrations of fire rated floors, corridors, walls and ceilings shall use fire dampers per (CBC Section 909.10.4).
- 11. Maintain one hour fire resistive wall construction at built-in fixtures such as Fire Extinguisher cabinets, and electrical panels exceeding 16 sq. in. In area. (CBC Section 906.1)

BUILDING EMERGENCY SIGNAGE PROVISIONS

- 12. Exit signs and illumination (egress identification) shall be provided per (CBC Section 1011). Exit signs must be internally illuminated. The word "Exit" shall be in high contrast with their background as noted in this section. Electrically powered, self-luminous and photluminescent exit signs shall be listed and labeled in accordance with UL924 and shall be installed in accordance with the manufacture's instructions and Chapter 27 (CBC Section 1011.5).
- 13. Address shall be provided for all new and existing building in a position as to be plainly visible and legible from the street or road fronting the provided for each tenant space. Address letters shall be a minimum of eight (8) inches in height and be installed on a contrasting background. Prior to installation have Fire Inspector verify location of address.

14. Provide 'Knox Box' as required per local fire department codes.

BUILDING FIRE SUPPRESSION SYSTEM PROVISIONS

- 15. This building (is / is not) equipped with an approved automatic sprinkler system. Submit design -building plans for modification and upgrades indicating fire department approval to Architect/Owner prior to installations. Changes to accommodate field conditions shall be re-submitted for final approval with no additional charge to the Owner.
- 16. Fire sprinkler heads shall be centered in ceiling tiles and soffits. Locate in center of soffit for all conditions unless noted otherwise. Align with centerline of window mullion or center head between mullions only. Center heads between light fixture and adjacent wall. Random or asymmetrical placement of sprinkler heads is not acceptable. Heads shall be recessed at soffit and areas were finished gypsum ceiling occur. 17. Plans for all fixed fire protection equipment such as standpipes, sprinkler systems, site utilities (detector check, Fire Dept. Connection, etc.), and fire alarm systems must be submitted by the installing contractor to, and approved by, the Fire Prevention Bureau, owner's insurance organization, and architect
- before this equipment is installed.
- 18. The installation of automatic sprinkler systems shall comply with the (CBC Section 901.2), for combined systems. Automatic fire sprinkler system shall be design-build.
- 19. When serving more than 100 sprinklers, automatic sprinkler systems shall be supervised by an approved central, proprietary or remote station service for a local alarm, which will give an audible signal at a constantly attended location. (Approved by the Fire Department).
- 20. It shall be the fire sprinkler contractor's responsibly to review the plans and provide fire sprinklers in all void spaces, canopy overhangs, etc. as required by the uniform fire code and local ordinances. Any access openings shall be coordinated and approved by general contractor and owner prior to installation. Fire stops must be provided in accordance with (CBC Section 717) in the following locations:
- a) In concealed spaces of stud walls and partitions, including furred spaces, at the ceiling level.
- b) In concealed spaces of stud walls and partitions, including furred spaces, at 10 foot intervals along the length of the wall
- c) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceiling and covered ceilings.
- d) In concealed spaces between stair stringers at the soffits, drop ceiling and covered ceilings and in line with the run of stairs if unfinished.
- e) In openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels
- with non combustible materials.
- 21. A fire sprinkler system, if required (as noted on SHEET #T-1), will be supplied and installed at contractor's sole cost and expense. System shall be installed in compliance with all codes, including local. Supply lines, valves, and pop-up heads, without drops, and any necessary temporary threaded galvanized plugs for installed drops and heads to all rooms and areas of the premises required by applicable codes. Monitoring devices, alarms, pulls, enunciator panels, visual and audio warning indicators, strobes, and any other required materials, system testing, inspection approval by the local fire inspector,
- and monitoring fees including telephone lines, if required, are the responsibility of the contractor.
- 22. Life safety systems (i.e. smoke alarms and fire detection systems) are the responsibility of the landlord. Landlord is responsible for any monthly monitoring and associated fees.
- 23. Emergency fire devices: where required by the Fire Department, (contractor to verify prior to bid) contractor shall provide design-build (including all city & fire dept. Approvals) visual emergency warning systems where audible emergency warning systems are required. This system shall be designed and installed in accordance with the (NFPA 72 AND 72G AS AMENDED IN CHAPTER 60, 6003 AND 6004).
- 24. Accessibility requirements for emergency Fire Devices:
- a) Install fire alarm pull devices and equipment @48" A.F.F. to center line or highest operable part.
- b) If emergency warning systems are required, they shall include visual warning devices that are designed and installed per (NFPA 72 AND 72G
- AS AMENDED IN CHAPTER 35/60).
- c) Place visual alarms at 80" A.F.F. to 6" below ceiling line (whichever is higher) in common use areas including lobbies, restrooms and
- d) Visual alarms flash < 60 times per minute shall comply with state fire marshal standards when audible emergency warning systems are
- e) Install visual alarms < 50'-0" apart in common use areas or max. 100'-0" apart when partitions/ obstacles are < 72" A.F.F., in lieu of hanging
- them from the ceiling. (NFPA 72G)
- f) Locate visual notification devices in common use areas i.e.: restrooms, music rooms, corridors, gymnasiums, rooms with excessive noise,
- multiple purpose rooms, occupational shops, lobbies, meeting rooms. (CBC Section 907.9.1.1).
- FIRE DEPARTMENT REQUIREMENTS 25. Fire access roadway signs/red curbs shall be installed per CFC 503.3.
- 26. Fire hydrants shall comply with CFC 507.5.
- 27. Fire hydrant locations shall be identified by the installation of reflective markers. [CFC 901.4.3]
- 28. An approved access walkway leading from fire apparatus access roads to exterior openings required by fire or the building code shall be provided. Show walkway on the plans. [CFC 504.1]
- 29. Fire apparatus access roads and water supplies for fire protection, shall be installed and made serviceable prior to and during time of construction. [CFC 3310.1, 3312.1] 30. Every building four stories or more in height shall be provided with not less than one standpipe for use during construction installed in accordance with (CBC 905 [CFC 905]).
- 31. Decorative materials shall be maintained in a flame-retardant condition. [TITLE 19, SECT. 3.08, 3.21; CFC 804]
- 32. REQUIREMENTS FOR PORTABLE FIRE EXTINGUISHERS:
- a) At least one fire extinguisher with a minimum rating of 2-A-10-BC shall be provided within 75 feet maximum travel distance for each 6,000
- square feet or portion thereof on each floor. [CFC Section 906] b) At least one fire extinguisher with a minimum rating of 4A20BC shall be provided outside of each mechanical, electrical or boiler room. [CFC
- 906.3.1, TITLE 19, SEC. 3.29]
- c) A sodium bicarbonate or potassium bicarbonate dry-chemical type portable fire extinguisher having a minimum rating of 10b shall be installed within 30 feet of commercial food heat-processing equipment. [CFC 906.3.2]

City of San Diego Development Services 1222 First Ave. MS-501 San Diego, CA 92101 (619) 446-5000 August 2015 This form is required to request a Curb to Property analysis. Once completed, email request to Applicant Name: 07/06/16 chris@marengomortonarchitects.com Chris deGregorio l'elephone: (858) 459-3769 NOTE: ONLY ONE PROPERTY ADDRESS PER REQUEST WILL BE PROCESSED List Below the Frontage Street(s) Adjoining the Parcel Requested for Curb to PL Distance Frontage Street: Frontage Street: Frontage Street: Purpose of the Request: to add to site plan Permit No./PTS No. (if applicable Staff Name Requiring the Curb to PL: FOR DEPARTMENT USE ONLY YOUR LOT PROPERTY LINE Both Sides FOR REFERENCE ONLY NOT A SURVEYED LOCATION FACE OF CURB Property Address: 5228 Chelsea Street, La Jolla, CA 92037 Reference Drawing 17247-17-D Chet Dowling Printed on recycled paper. Visit our web site at www.sandiego.gov/development-service Upon request, this information is available in alternative formats for persons with disabilities

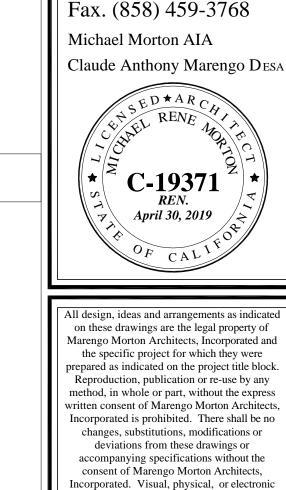
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FIRE DEPARTMENT NOTES, cont.

- 34. FIRE EXTINGUISHING SYSTEMS:
- a) Complete plans and specifications for fire-extinguishing systems, including automatic sprinklers and wet and dry standpipes; halon systems and other special types of automatic fire-extinguishing systems; basement pipe inlets; and other fire-protection systems and appurtenances thereto shall be submitted to Fire and Life Safety for review and approval prior to installation. [CFC 901.2]
- b) Fire-extinguishing systems shall be installed in accordance with CFC 903. c) All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically
- monitored where the number of sprinklers is 20 or more. [CFC 903.4]
- d) Approved automatic fire extinguishing systems shall be provided for the protection of commercial-type cooking equipment. Separate complete plans for these systems shall be submitted to fire and life safety for review and approval to installation. [CFC 904.11]
- 35. FIRE ALARM SYSTEMS a) Complete plans and specifications for fire alarm systems shall be submitted to Fire and Life Safety for review and approval prior to
- installation. [CFC 907.1.2] b) Installation of fire alarm systems shall be in accordance with CFC 907.
- c) An approved audible sprinkler flow alarm shall be provided on the exterior of the building in an approved location. An approved audible sprinkler flow alarm to alert the occupants shall be provided in the interior of the building in a normally occupied location. [CBC 903.4.2]
- 36. Complete plans and specification for the operation of elevators shall be submitted to fire and life safety for review and approval prior to installation. [CBC Sec. 3001.1]
- 37. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.3 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego.
- 38. Key boxes shall be provided for all (high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking
- levels, doors giving access to alarm panels and or/annunciators, and any other) structures or areas where access to an area is restricted. 39. Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC
- 40. Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connections shall not be concealed by curtains, mirrors, or other decorative material.
- 41. Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308.
- 42. The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths. 43. Complete plans and specifications for all fire extinguishing systems, including automatic sprinkler and standpipe systems and other special fire extinguishing systems and related appurtenances shall be submitted to the City of San Diego for review and approval prior to installation.

GREEN BUILDING CODE REQUIREMENTS

- **Storm water pollution prevention.** For projects which disturb less than on acre of land shall prevent the pollution of storm water runnoff from the struction activities through one or more of the following measures (Section 5.106.1):
- a) Best Practice Management (BMP). Prevent the loss of soil through wind or water erosion by implementing an effective combination of reosion and sediment control and good housekeeping BMP. See Section 5.106.1.2 for specifics.
- b) Local ordinance.
- 2. Low-emitting, fuel-efficient and carpool/van pool parking. Fuel-efficient vehicle parking will be provided in accordance with CGC Section 5.106.5.2. The specific details for the parking musr be submitted and approved by City Planning Department.
- 3. **Light Pollution reduction.** Exterior light pollution must comply with Section 5.106.8.
- 4. **Grading and Paving.** The site grading or a drainage system will manage all surface water flows to keep water from entering buildings. CGC section 5.106.10. . Moisture Control. Landscape irrigation systems shall be designed to prevent spray on structures. Exterior entries subject to foot traffic or wind-driven rain
- shall be designed to prevent water intrusion into the building. CGC Section 5.407.2.2.1. . Waste Management. The contractor must submit to the Engineering Department or other Agency that regulates construction wastes management, a Waste
- Management Plan that outlines the items lists in CGC Section 5.408.1.1.
- **Recycling.** A minimum of 50% of construction waste is to be recycled. CGC Section 5.408.1. Documentation shall be provided to the enforcing agency which demonstrates compliance. CGC Section 5.408.1.4.
- 8. Waste Reduction. 100% of trees, stumps, rocks, and associated vegetation and soils primarily from the construction will be reused or recycled. 9. **Recycling.** An identified, readily accessible area shall be provided that serves the entire building for collecting recycling, such as paper, carboard, glass,
- 10. Environmental Comfort. Wall and roof assemblies seperating tenant spaces (and tenant spaces from public spaces) shall have an STC of at least 40. CGC
- 11. Environmenal Comfort. Wall and roof assemblies exposed to noise sources shall have an STC rating of at least 50, with exterior windows having a minimum STC of 40 in the following locations, per CGC Section 5.507.4.1:
- a) within the 65 CNEL noise contour of a freeway, railroad or industrial source, as determined by the jurisdiction's Noise Element of the General Plan. b) within the 65 CNEL noise contour of an airport.
- 12. Outdoor Air Quality. Installations of HVAC, refrigeration and fire suppression systems will not contain CFC's or Halons, per CGC 5.508.1. 13. **Outdoor Water Use.** A water budget shall be developed for landscape irrifaiton use that conforms to the local water efficient landscape ordinance. Where not local ordinance exists, show compliance with the California Development of Water Resources Model Water Landscape Ordinance. See Sections 492.5 through
- 492.9, 492.10 and 492.11 of the State Ordinance at http://www.water.ca.gov/waterefficiency/docs/WaterOrdSec492.cfm 14. **Outdoor Water Use.** New water service (or additions/alterations with > 1,000 square feet of cumulative landscape area), seperate submeters or metering
- devices shall be installed for outdoor potable water use. Also, irrigation controllers and sensors shall be installed. CGC Section 5.304.2 and 5.304.3. 15. Prior to final inspection the licensed contractor, architect or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC



Marengo

Architects

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La Jolla, CA 92037

Tel. (858) 459-3769

Second Floor

Morton

Street 92037

525 La

contact or use of these drawings and attached

all these restrictions

pecifications shall constitute the acceptance of

A Concept Design 11/01/2017 B Schematic Design 12/19/2017 C Coastal Phase 05/31/2018 D Coastal Response -Cycle 2 -7/27/202 E Coastal Permit Set - 10/15/2018

COASTAL PHASE

REVIEWED BY MRM

PROJECT NO. 2017-32

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

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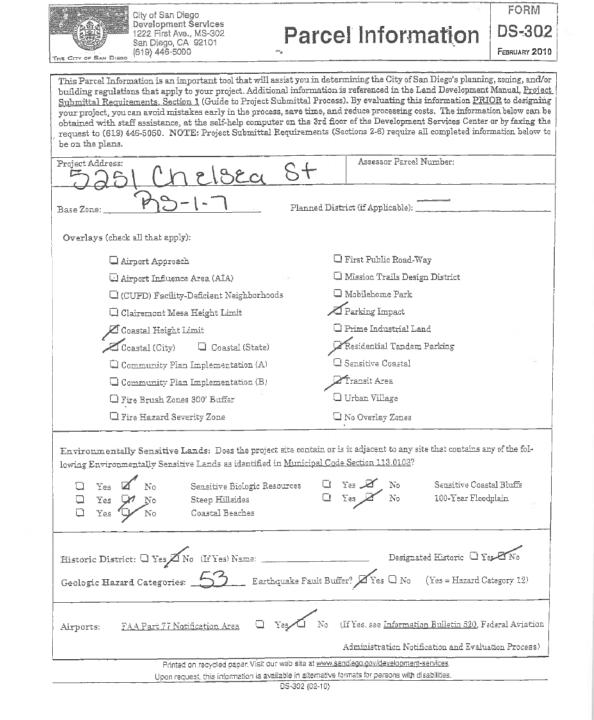
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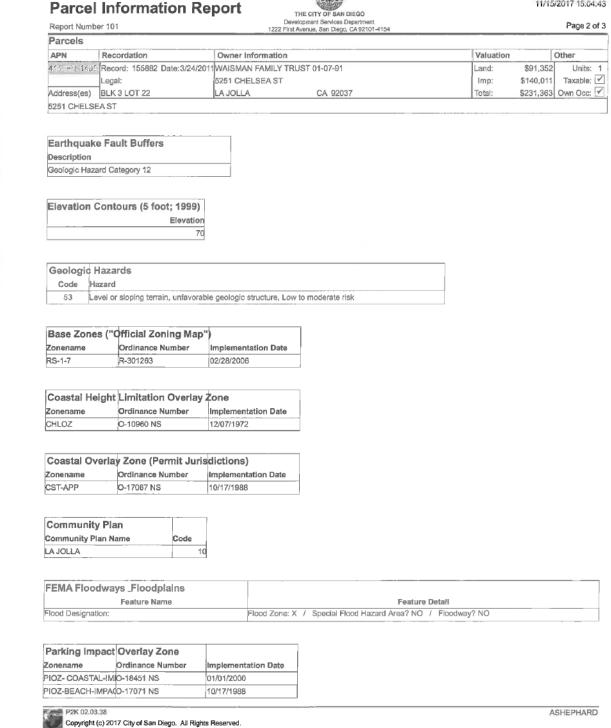
SHEET TITLE FIRE NOTES

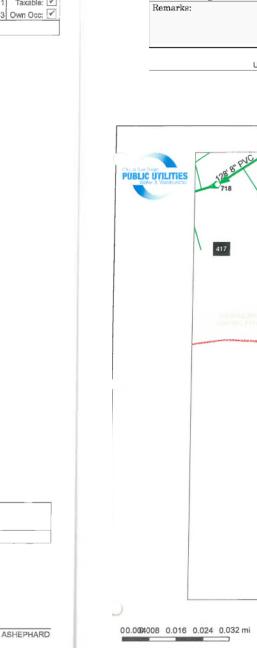
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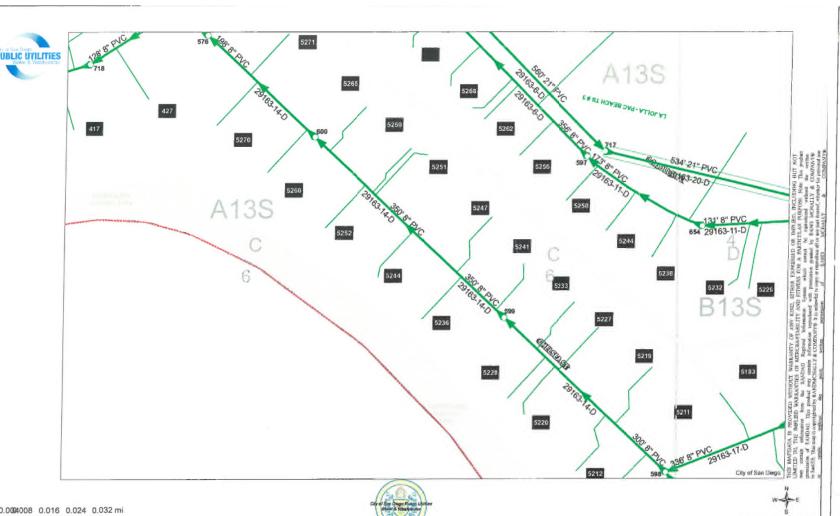
SHEET 3 OF 33

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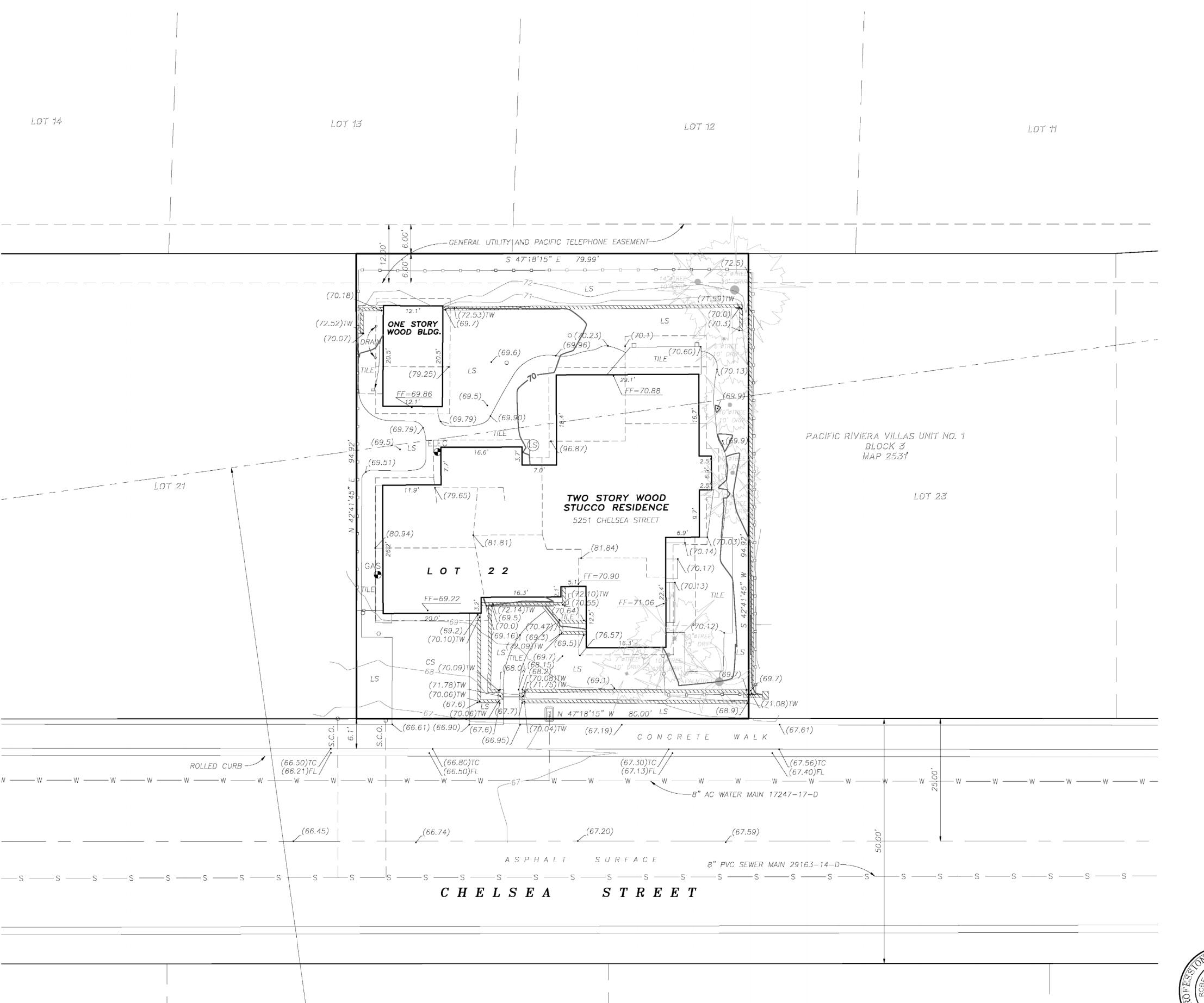




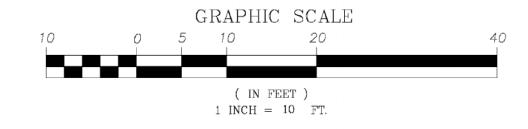
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Curb to Property DS-689

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LEGEND:

INDICATES WATER METER

INDICATES PROPERTY LINE

INDICATES BUILDING OVERHANG

INDICATES WOOD FENCE

INDICATES WALL

W INDICATES WATER LINE

S INDICATES SEWER LINE

CS INDICATES CONCRETE SURFACE

LS INDICATES LANDSCAPE AREA

S.C.O. INDICATES SEWER CLEAN OUT

LEGAL DESCRIPTION:

LOT 22 IN BLOCK 3 OF PACIFIC RIVIERA VILLAS UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2531, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 23, 1948.

BASIS OF ELEVATION:

NORTHWEST BRASS PLUG ARCHER STREET AND LA JOLLA BOULEVARD ELEVATION = 75.391 M.S.L. N.G.V.D. 1929 FEET



Rabert J. Saterian ROBERT J. BATEMAN, P.L.S. 7046

TOPOGRAPHY SURVEY

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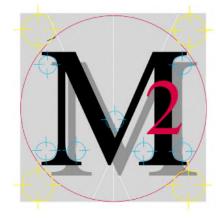
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LA JOLLA, CA 92037

San Diego Land Surveying & Engineering, Inc.

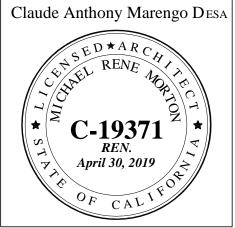
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Phone: (858) 565-8362 Fax: (858) 565-4354

Date: 11/13/2017	Revised: 12/6/2017	Revised:
Scale: 1"=10'	Drawn by: J.G.B.	Sheet 1 of 1 Sheet
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Michael Morton AIA



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A Concept Design 11/01/2017
B Schematic Design 12/19/2017
C Coastal Phase 05/31/2018
D Coastal Response -Cycle 2 -7/27/2018
E Coastal Permit Set - 10/15/2018

CHELSEA

COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

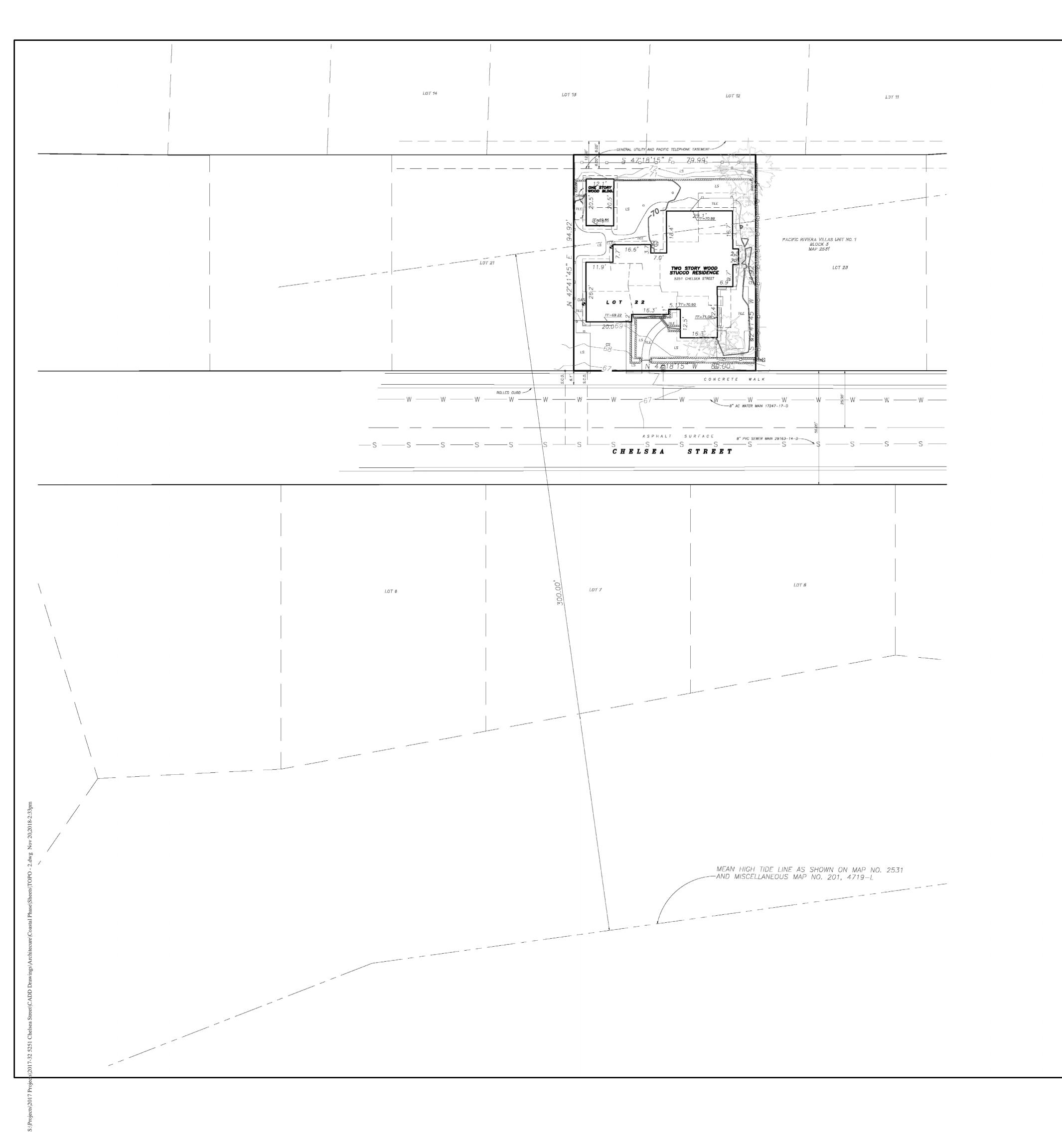
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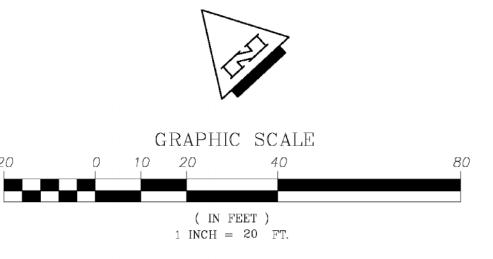
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SHEET TITLE
EXISTING SITE
TOPOGRAPHIC
PLAN

TOPO-1





LEGEND:

	INDICATES WATER METER
	 INDICATES PROPERTY LINE
	- INDICATES BUILDING OVERHANG
	- INDICATES WOOD FENCE
	= INDICATES WALL
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Robert J. Saterian ROBERT J. BATEMAN, P.L.S. 7046

MEAN HIGH TIDE LOCATION

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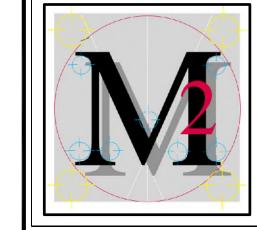
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Drawing: Chelsea St 5251 Topography APN: 415-061-14			



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5251 Chelsea Street

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COASTAL PHASE

PROJECT NO. 2017-32

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DATE 11 - 21 - 2018

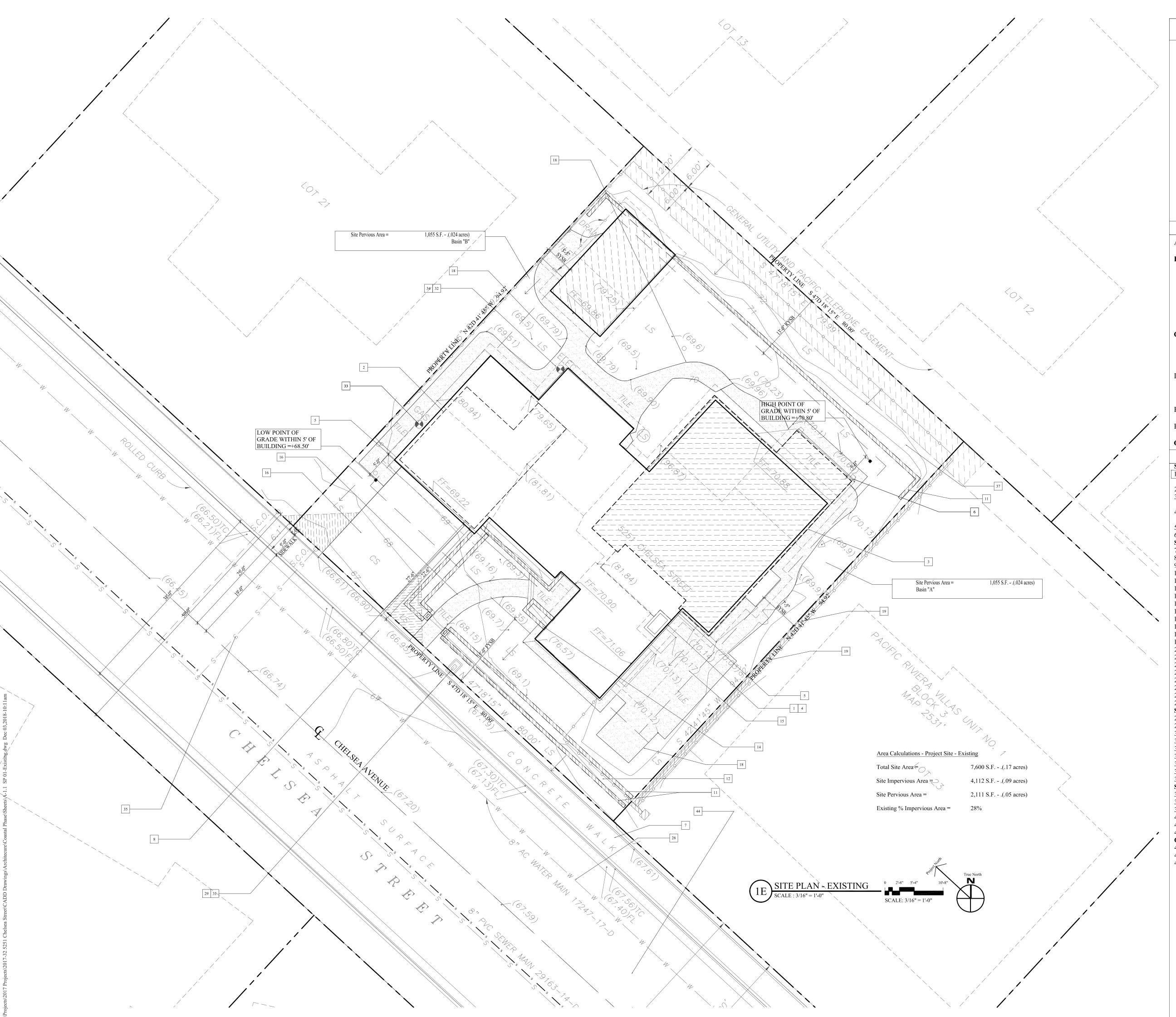
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only true contract documents of record.

SHEET TITLE
EXISTING SITE
TOPOGRAPHIC

TOPO-2

PLAN



SITE LEGEND

r-/-7-/-7-

V_/_/_/_/

RESIDENTIAL

OUTLINE OF EXISTING TWO STORY RESIDENCE -FIRST FLOOR OUTLINE - See Sheet A-2.1 OUTLINE OF EXISTING RESIDENCE - SECOND FLOOR HABITABLE AREA - See Sheet A-2.2 EXISTING DETACHED ACCESSORY UNIT - ONE STORY

> OUTLINE OF EXISTING GARAGE AREA -FIRST FLOOR - See Sheet A-2.1

OUTLINE OF PROPOSED NEW FIRST /SECOND FLOOR ADDITION AREA - See Proposed Site Plan - A-1.2

AREA OF EXISTING CONCRETE HARSCAPE

AREA OF VISIBILITY TRIANGLE - AT

OUTLINE OF EXISTING UTILITY

EASEMENT AREA -

-----> SITE DRAINAGE PATTERN

LS LANDSCAPE AREA SITE PLAN NOTES - EXISTING

DRIVEWAY

- A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect office.
- D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- E. Coordinate with other tenants the temporary shutoff of any site utilities, including but not limited to
- F. The Architect doses not possess any plans or knowledge on the original building, structural, electrical or mechanical system. G. For Proposed Enlarged Work refer to sheet A-2.1

SITE PLAN KEYNOTES - EXISTING

- 1. Outline of Existing Two Story Residence (1st floor) See Sheet A-2.1, 2.2 & 2.3 - To Be Remodeled
- Outline of Existing One Story Garage See Sheet A-2.2 To Be Remodeled Outline of Existing Second Story Habitable Area - See Sheet A-2.2 - To Be
- 4. Outline of Existing First Story Habitable Area See Sheet A-2.1 To Be
- Outline of Existing Raised Balcony- See Sheet A-2.2 To Be Remodeled
- 6. Outline of Existing Balcony Columns See Sheet A-2.1 To Be Remodeled SITE IMPROVEMENTS
- 7. Existing Concrete Sidewalk To Remain
- 8. Existing Curb Cut for Driveway To Be Remodeled 9. Existing Concrete Curb - To Remain
- 10. Existing Site Walkway To Be Removed and Replaced 11. Existing Site Wall - To Be Remodeled
- 12. Existing Planters To Be Remodeled 13. Existing Site Stairs - To Be Remodeled
- 14. Existing Site CMU Wall To Be Removed
- 15. Existing Wood Trellis To Be Removed
- 16. Existing Site Driveway Hardscape To Be Remodeled 17. Existing Outline of Structure Above - To Be Remodeled
- 18. Existing Site Concrete Hardscape To Be Removed and Replaced 19. Existing CMU Site Wall - To Remain and Re-faced
- 20. Existing Mail Box To Be Replaced with New 21. Existing Site Balcony Access Stair - To Be Replaced with New
- 22. Not Used 23. Not Used
- 24. Not Used
- 25. Not Used
- 26. Not Used 27. Not Used

SITE UTILITIES

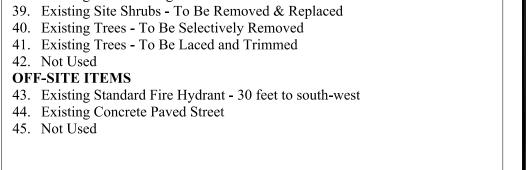
- 28. Existing Water Main Line 8 inch (Verify Location) To Remain
- 29. Existing Water Main Backflow Preventer To Remain 30. Existing Water Shut Off Valve - To Remain
- 31. Existing Water Meter (3/4" Meter-verify size) To Remain 32. Existing Electric Meter - 200 Amp Service - To be Removed and Replaced
- 33. Existing Gas Meter To Remain
- 34. Existing Telephone Service Box To be Removed and Replaced 35. Existing 4 Inch Sewer Lateral (V.I.F.) - To Remain

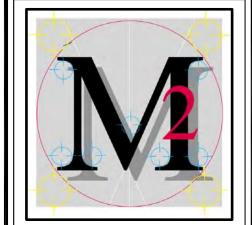
36. Not Used

- SITE LANDSCAPE
- 37. Existing Irrigated Landscape Area To Be Removed and Replaced 38. Existing Planted Hedge - To Remain
- 40. Existing Trees To Be Selectively Removed

42. Not Used

- **OFF-SITE ITEMS**
- 45. Not Used





Marengo Morton **Architects**

7724 Girard Ave.

Second Floor La Jolla, CA 92037

Tel. (858) 459-3769 Fax. (858) 459-3768

Michael Morton AIA

Claude Anthony Marengo DESA



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COASTAL PHASE

REVIEWED BY MRM

PROJECT NO. 2017-32

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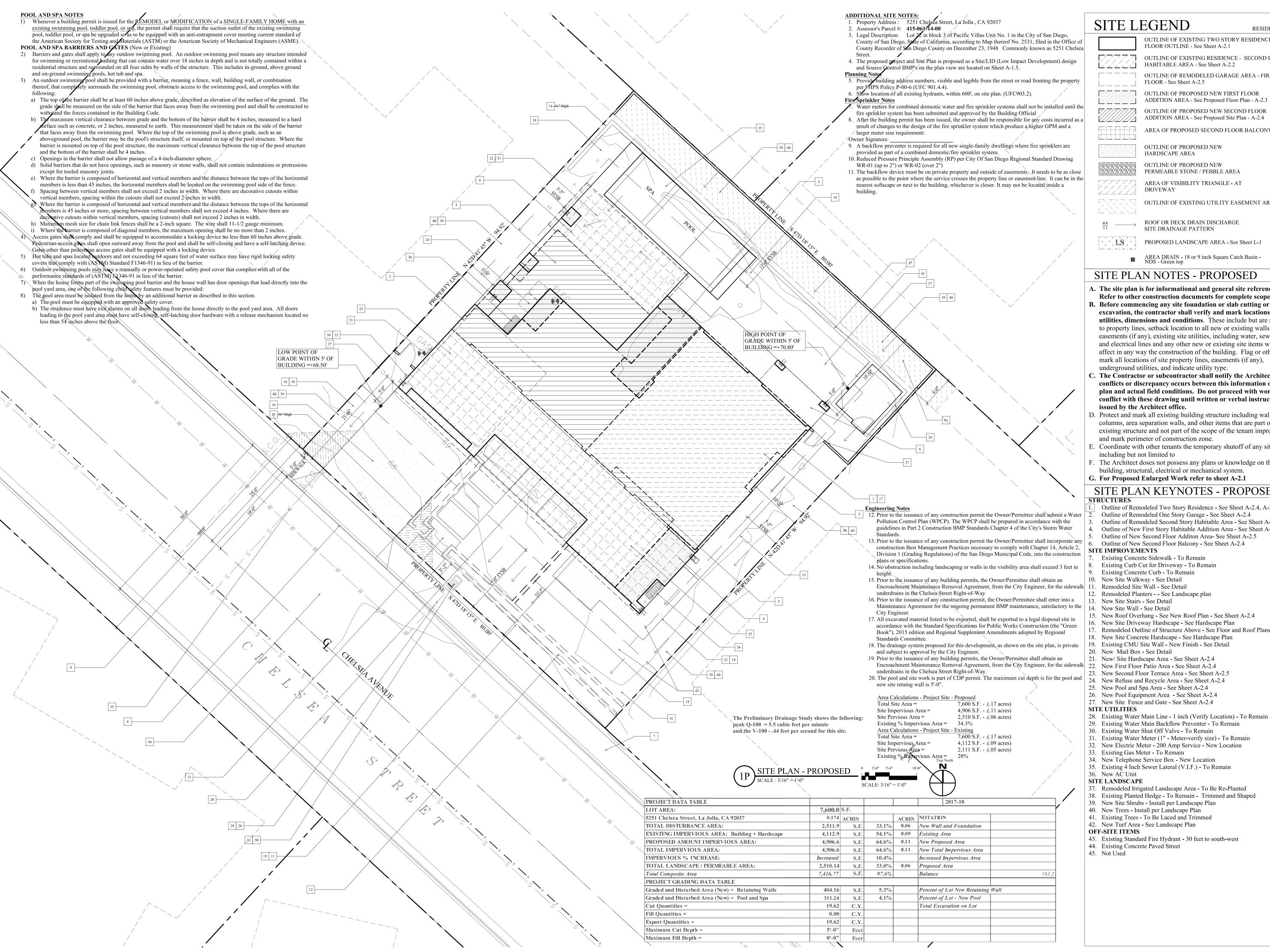
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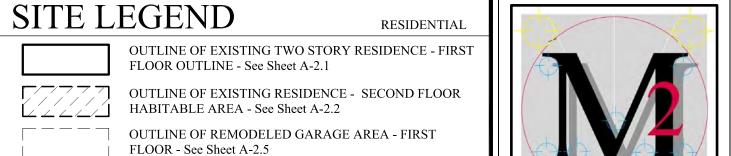
DATE 11 - 21 - 2018

SHEET TITLE SITE PLAN

SHEET 6 OF 33

EXISTING





Marengo Morton

Architects

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Claude Anthony Marengo Des.

C-19371

April 30, 2019

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COASTAL PHASE

E Coastal Permit Set - 10/15/2018

Street 92037

Fax. (858) 459-3768 PROPOSED LANDSCAPE AREA - See Sheet L-1 Michael Morton AIA

AREA DRAIN - 18 or 9 inch Square Catch Basin - NDS - Green top

OUTLINE OF PROPOSED NEW FIRST FLOOR

ADDITION AREA - See Proposed Floor Plan - A-2.3

OUTLINE OF PROPOSED NEW SECOND FLOOR

ADDITION AREA - See Proposed Site Plan - A-2.4

OUTLINE OF PROPOSED NEW

OUTLINE OF PROPOSED NEW

PERMEABLE STONE / PEBBLE AREA

AREA OF VISIBILITY TRIANGLE - AT

ROOF OR DECK DRAIN DISCHARGE

HARDSCAPE AREA

DRIVEWAY

AREA OF PROPOSED SECOND FLOOR BALCONY

OUTLINE OF EXISTING UTILITY EASEMENT AREA

SITE PLAN NOTES - PROPOSED

SITE DRAINAGE PATTERN

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- D. Protect and mark all existing building structure including walls, beams columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- . Coordinate with other tenants the temporary shutoff of any site utilities including but not limited to
- F. The Architect doses not possess any plans or knowledge on the original building, structural, electrical or mechanical system.

SITE PLAN KEYNOTES - PROPOSED

- Outline of Remodeled Two Story Residence See Sheet A-2.4, A-2.5 Outline of Remodeled One Story Garage - See Sheet A-2.4
- Outline of Remodeled Second Story Habitable Area See Sheet A-2.5 Outline of New First Story Habitable Addition Area - See Sheet A-2.4 Outline of New Second Floor Addition Area- See Sheet A-2.5
- Outline of New Second Floor Balcony See Sheet A-2.4 SITE IMPROVEMENTS
- Existing Concrete Sidewalk To Remain Existing Curb Cut for Driveway - To Remain
- 9. Existing Concrete Curb To Remain 10. New Site Walkway - See Detail
- 12. Remodeled Planters - See Landscape plan 13. New Site Stairs - See Detail
- 15. New Roof Overhang See New Roof Plan See Sheet A-2.4
- New Site Driveway Hardscape See Hardscape Plan
- 17. Remodeled Outline of Structure Above See Floor and Roof Plans
- 18. New Site Concrete Hardscape See Hardscape Plan
- 19. Existing CMU Site Wall New Finish See Detail
- 20. New Mail Box See Detail
- 21. New/ Site Hardscape Area See Sheet A-2.4
- 23. New Second Floor Terrace Area See Sheet A-2.5 24. New Refuse and Recycle Area - See Sheet A-2.4
- 25. New Pool and Spa Area See Sheet A-2.4 26. New Pool Equipment Area - See Sheet A-2.4
- 27. New Site Fence and Gate See Sheet A-2.4
- SITE UTILITIES
- 29. Existing Water Main Backflow Preventer To Remain
- 30. Existing Water Shut Off Valve To Remain
- 31. Existing Water Meter (1" Meter-verify size) To Remain
- 32. New Electric Meter 200 Amp Service New Location 33. Existing Gas Meter - To Remain
- 34. New Telephone Service Box New Location
- 35. Existing 4 Inch Sewer Lateral (V.I.F.) To Remain

SITE LANDSCAPE

- 37. Remodeled Irrigated Landscape Area To Be Re-Planted 38. Existing Planted Hedge - To Remain - Trimmed and Shaped
- 39. New Site Shrubs Install per Landscape Plan
- 40. New Trees Install per Landscape Plan
- 41. Existing Trees To Be Laced and Trimmed
- 42. New Turf Area See Landscape Plan

OFF-SITE ITEMS

- 43. Existing Standard Fire Hydrant 30 feet to south-west
- 44. Existing Concrete Paved Street

DATE 11 - 21 - 2018

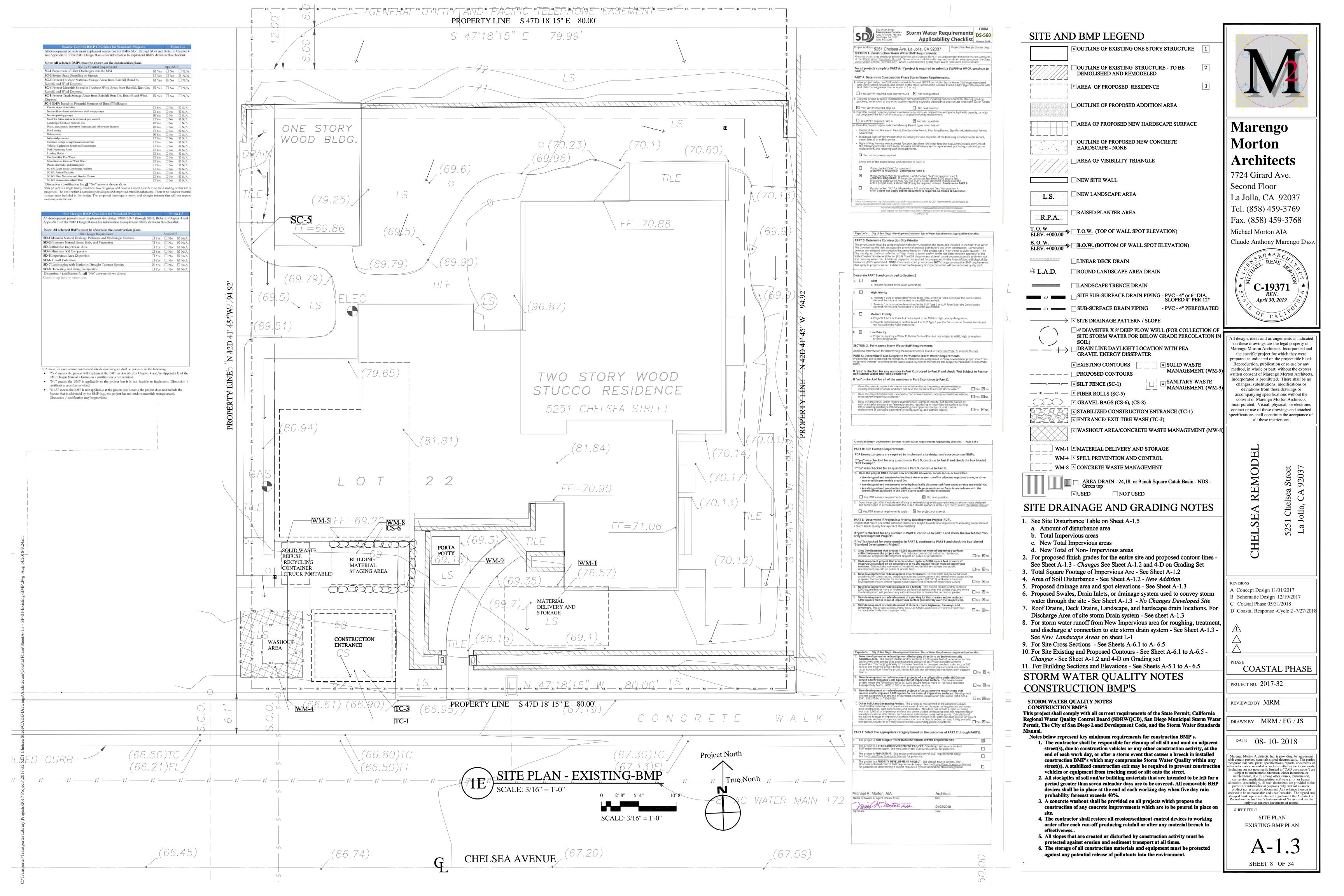
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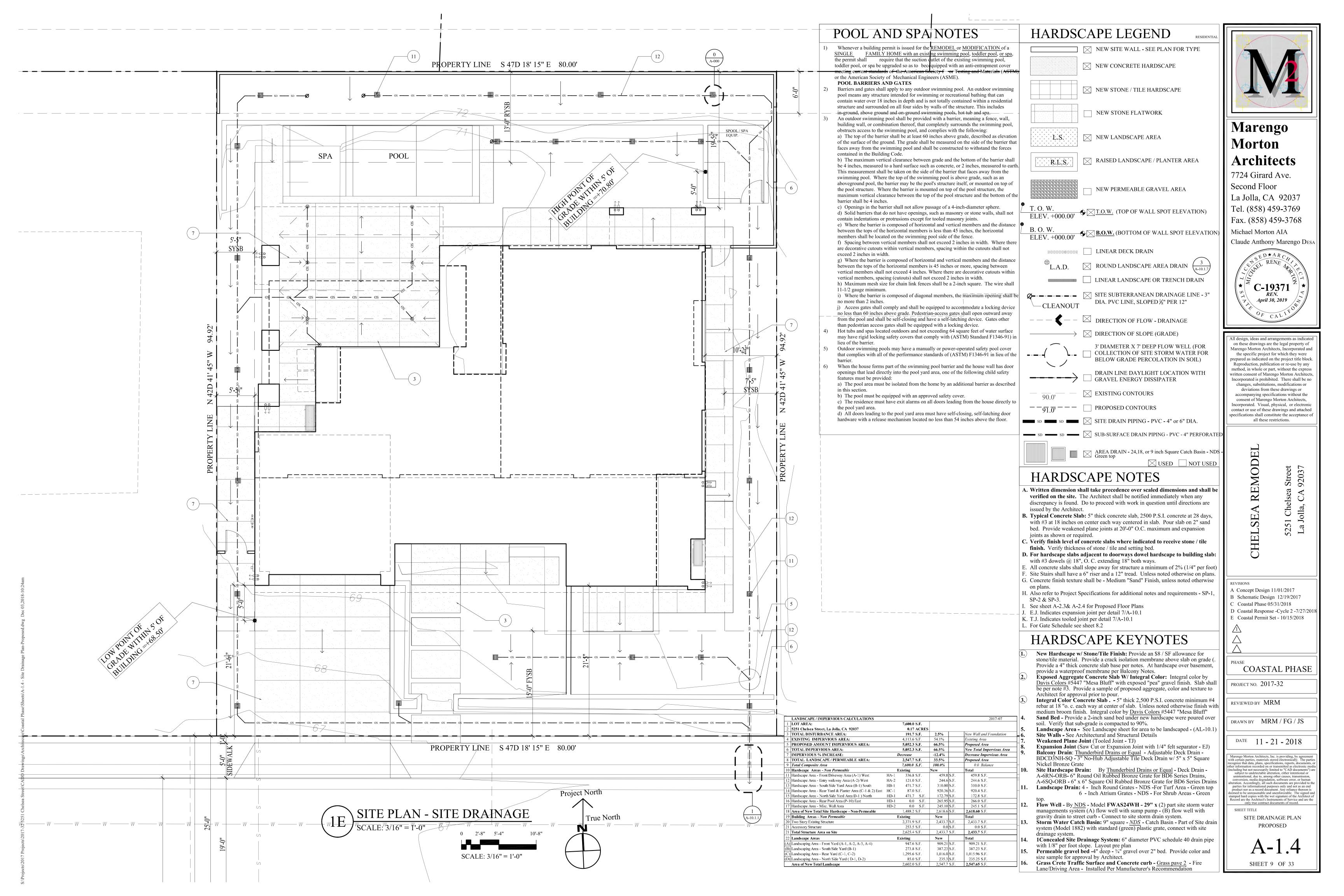
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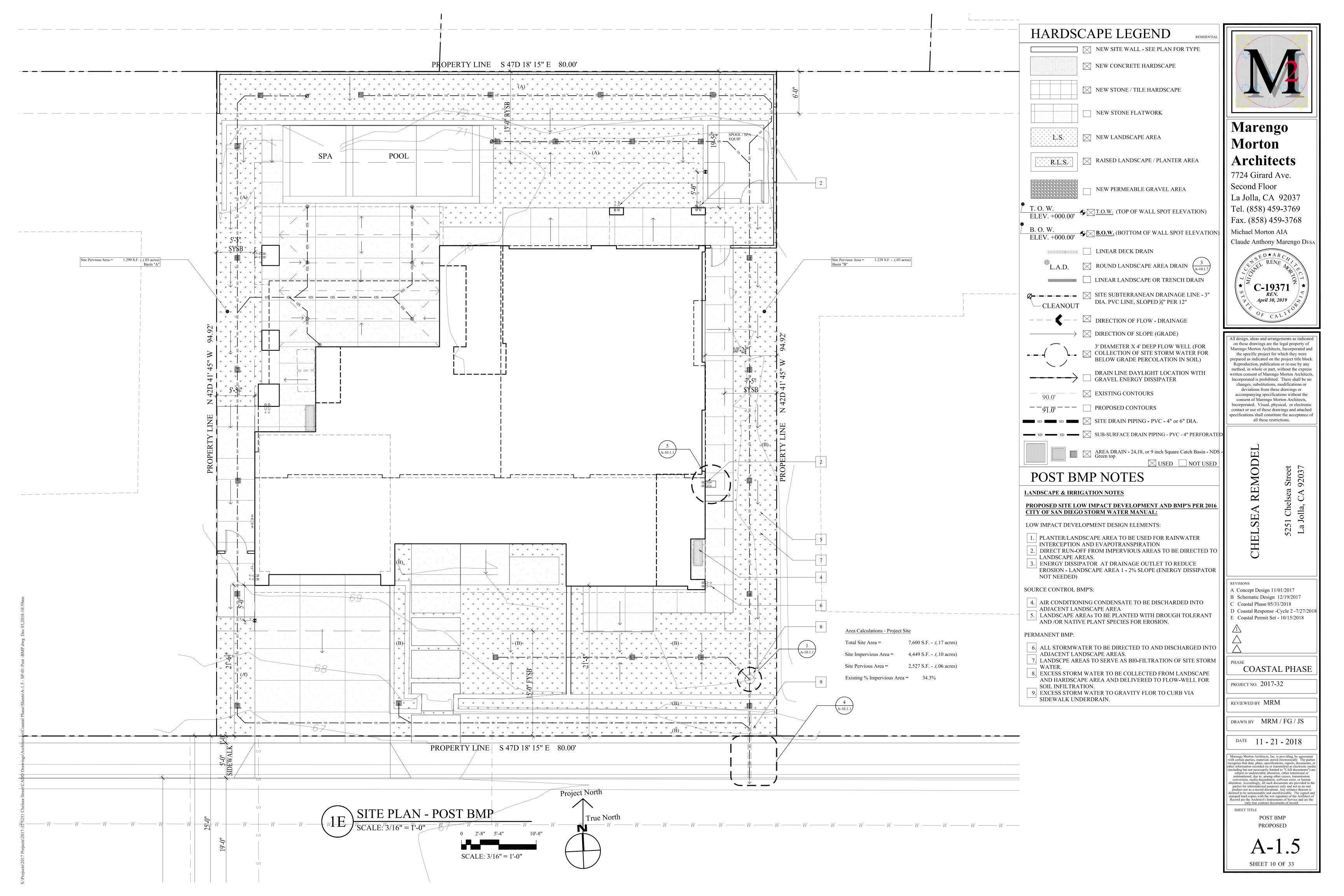
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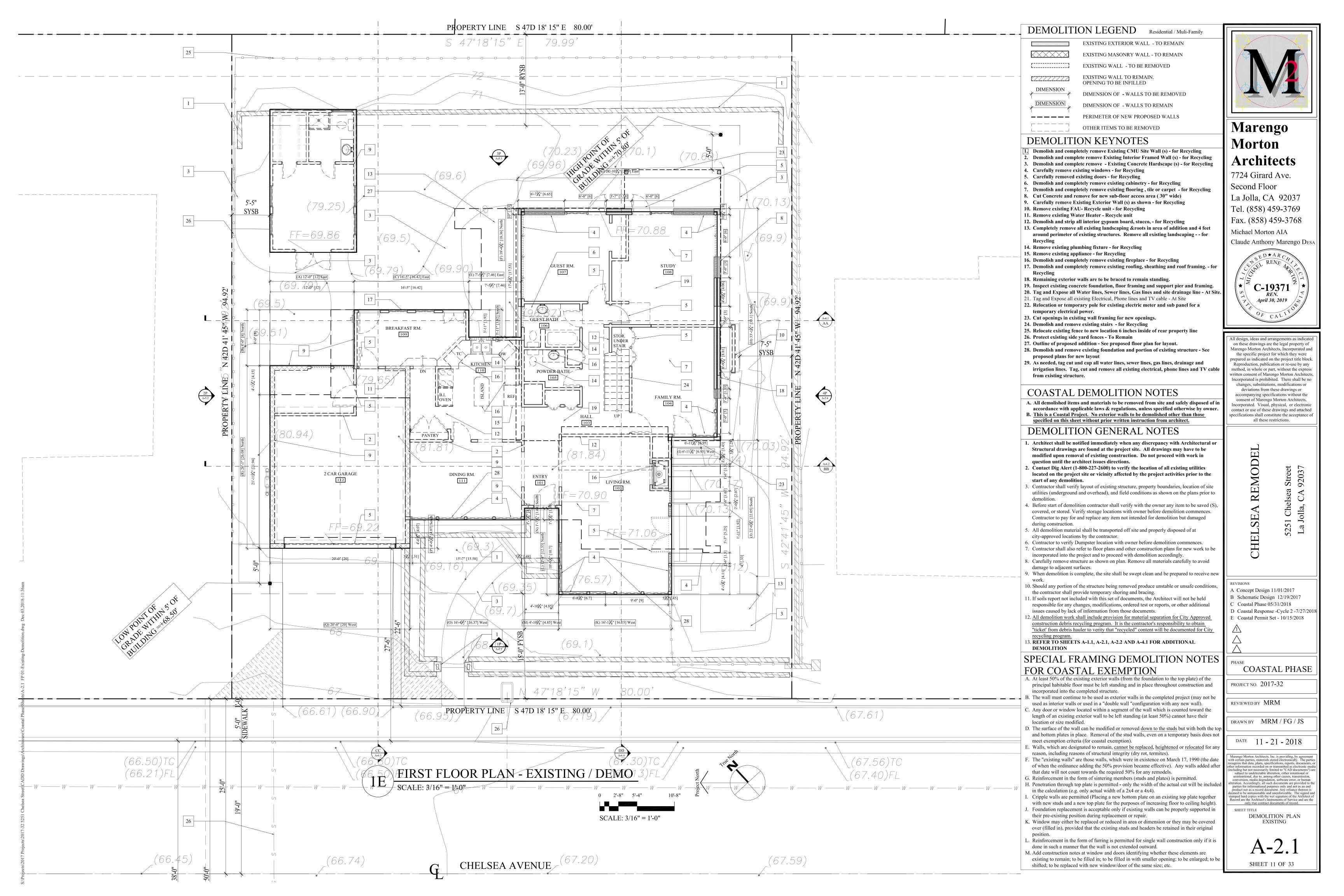
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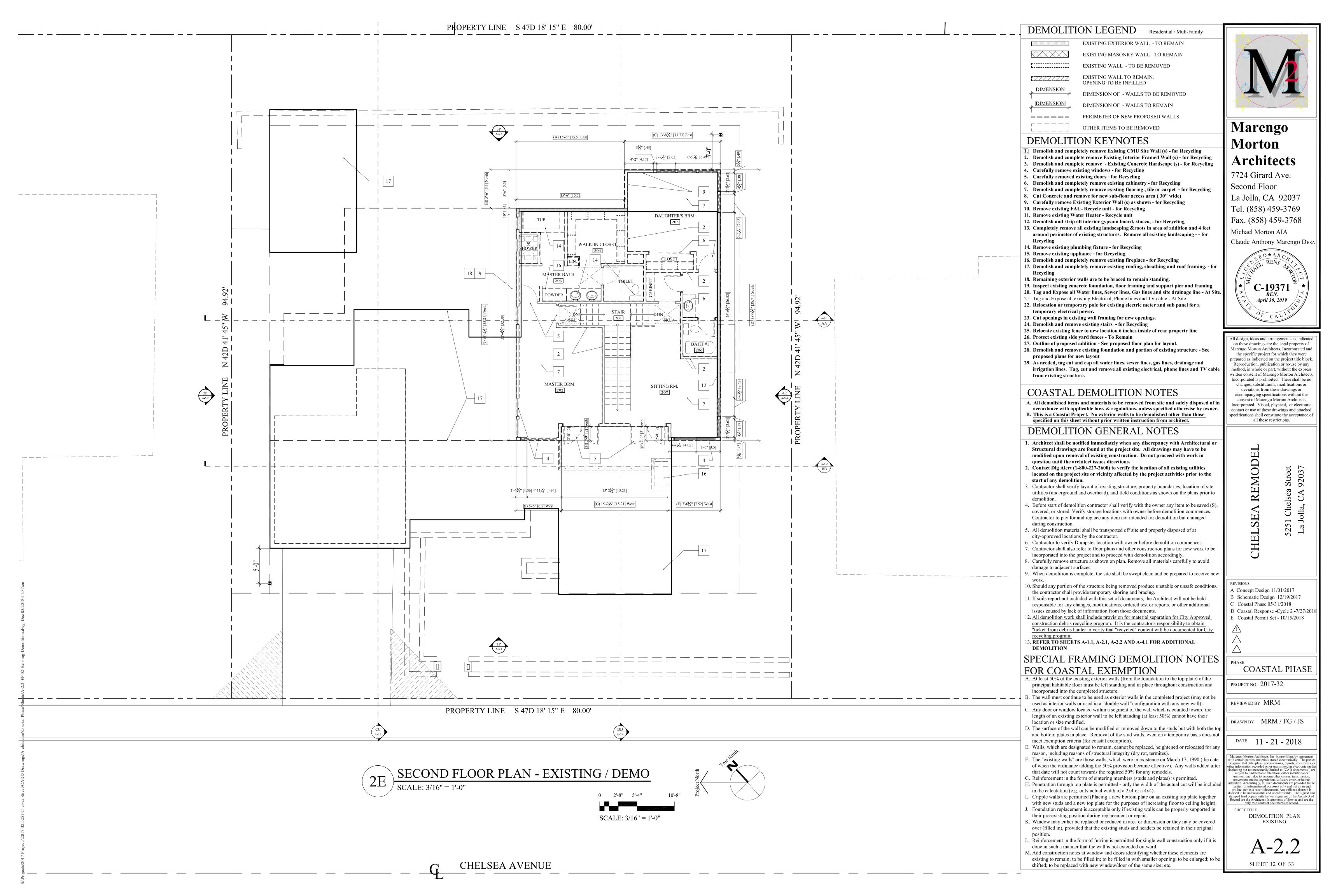
SHEET 7 OF 33

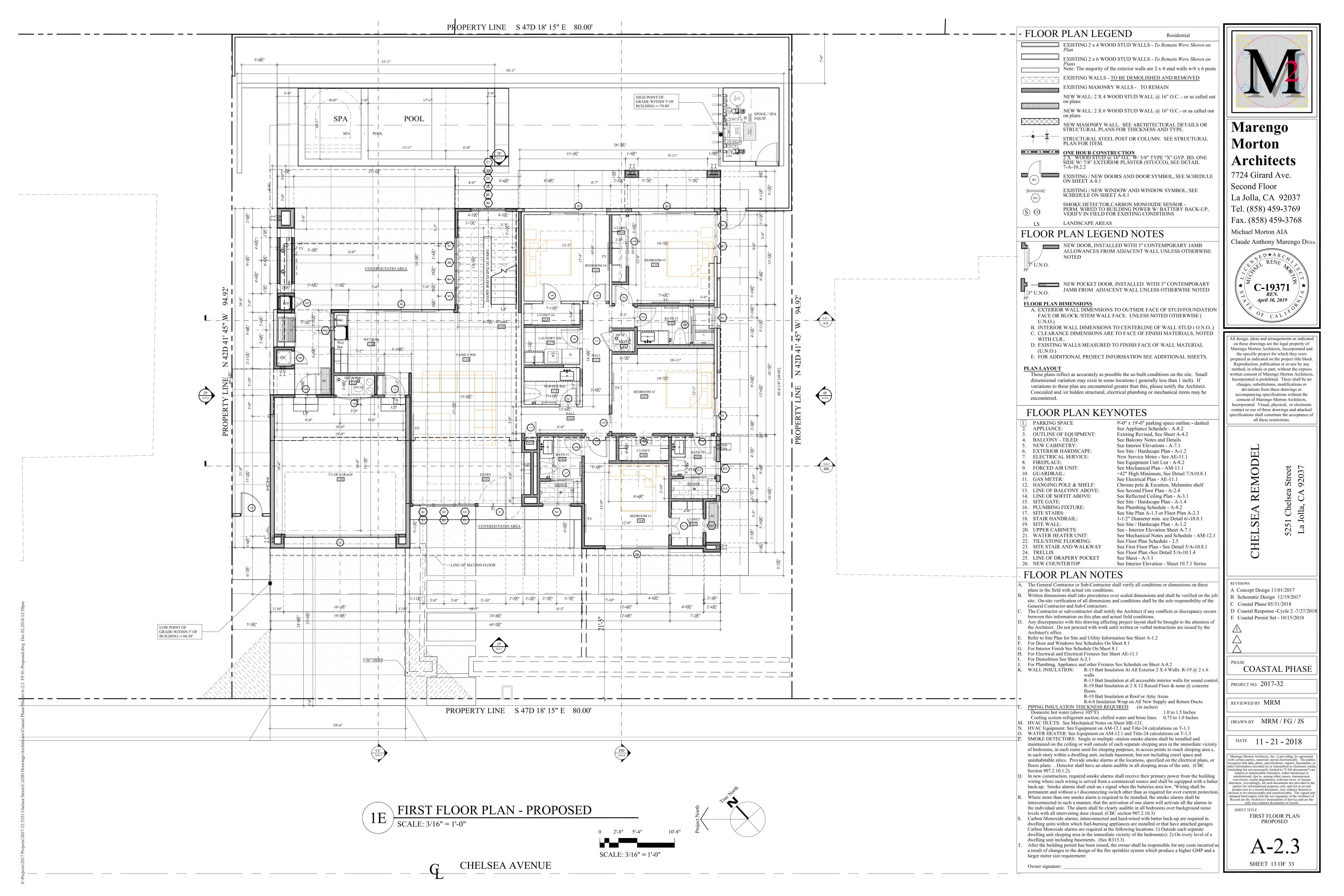


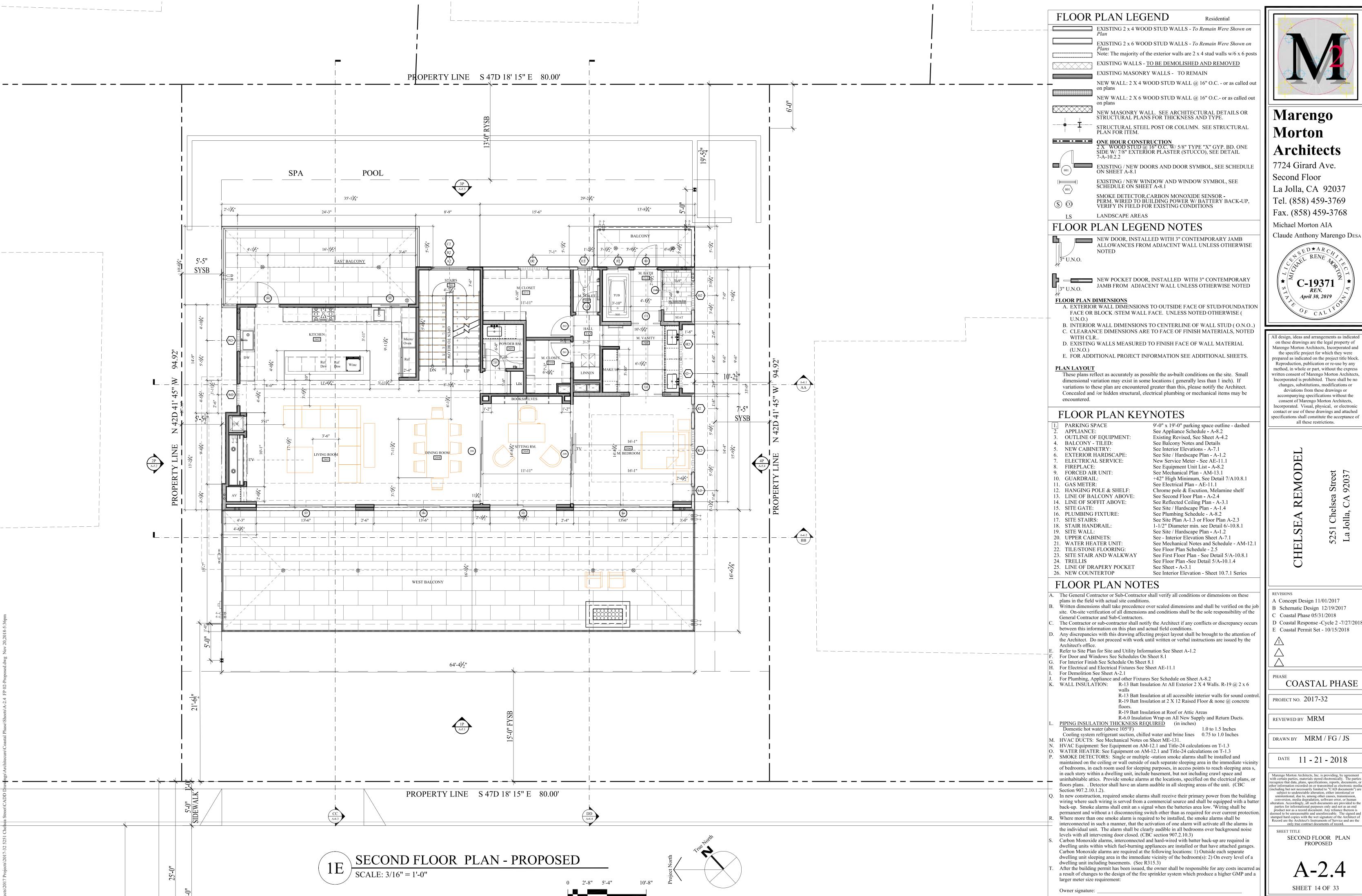




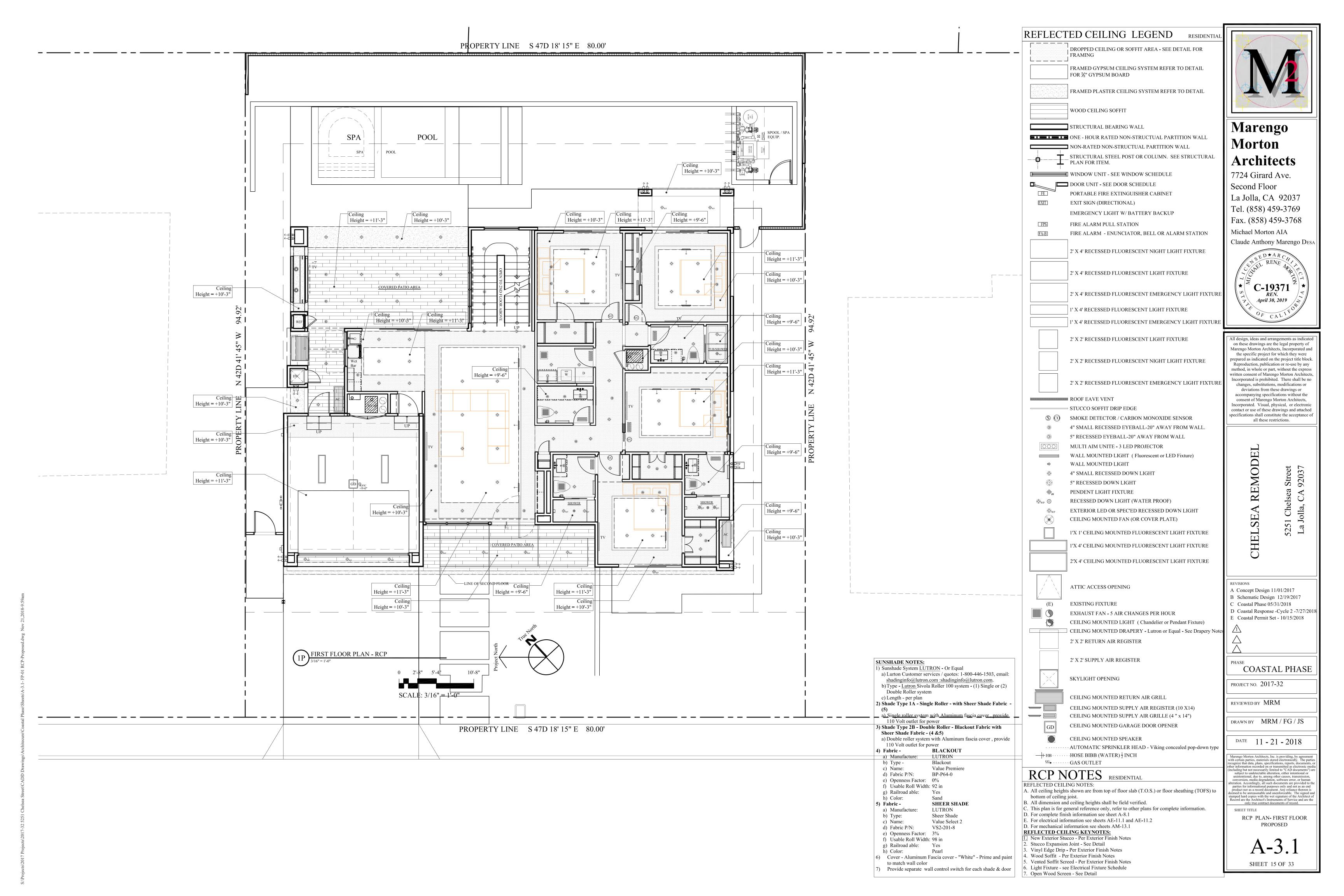


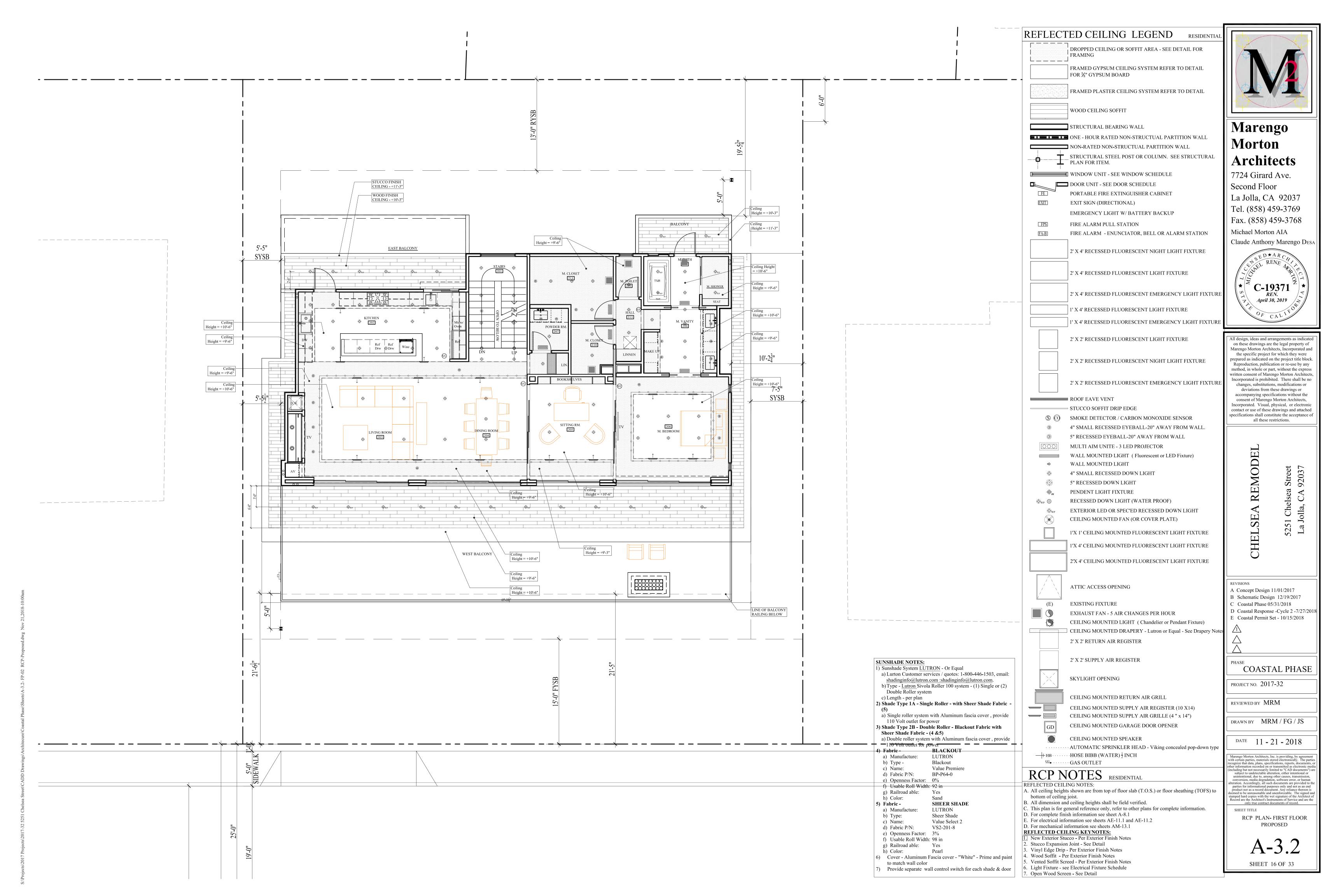


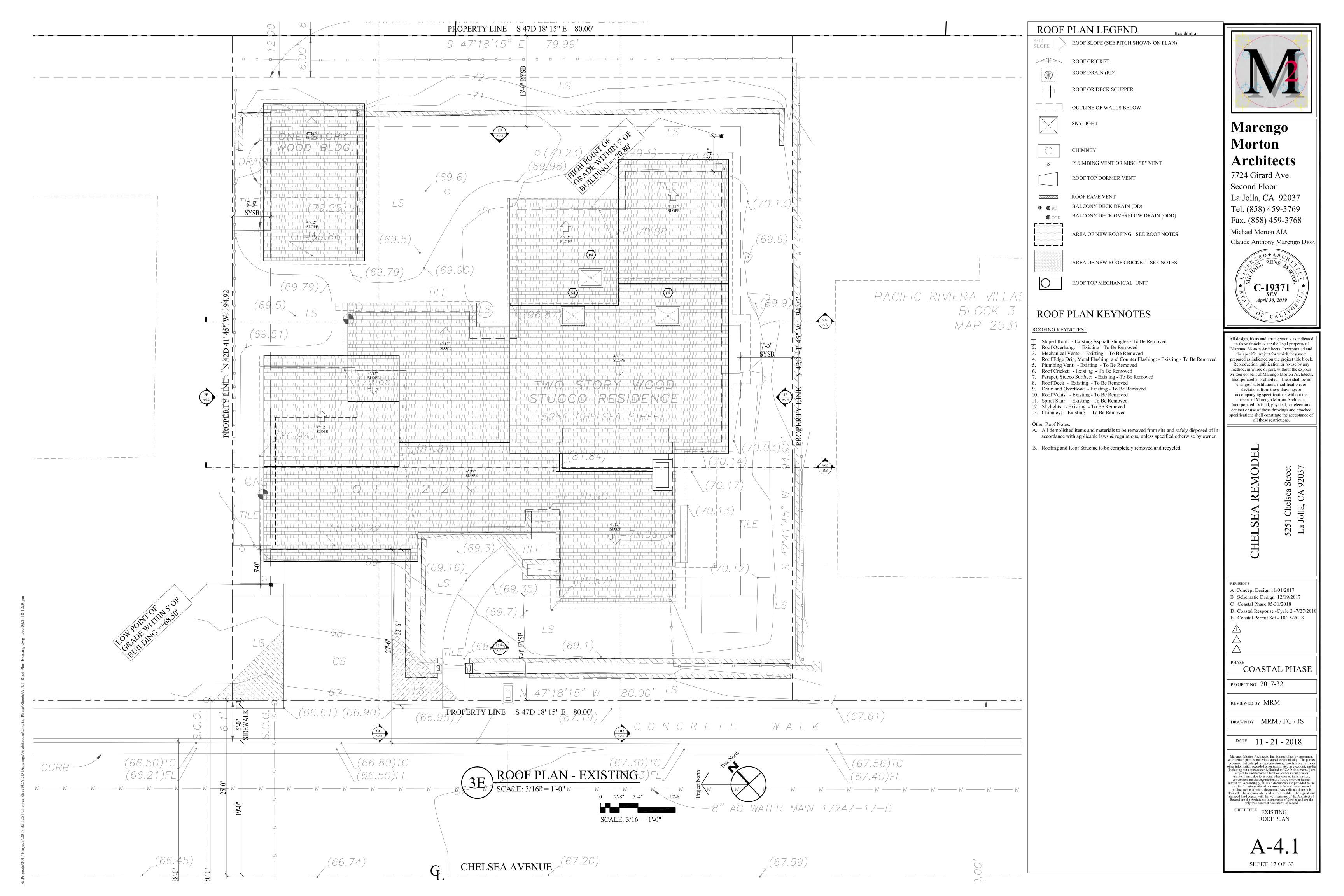


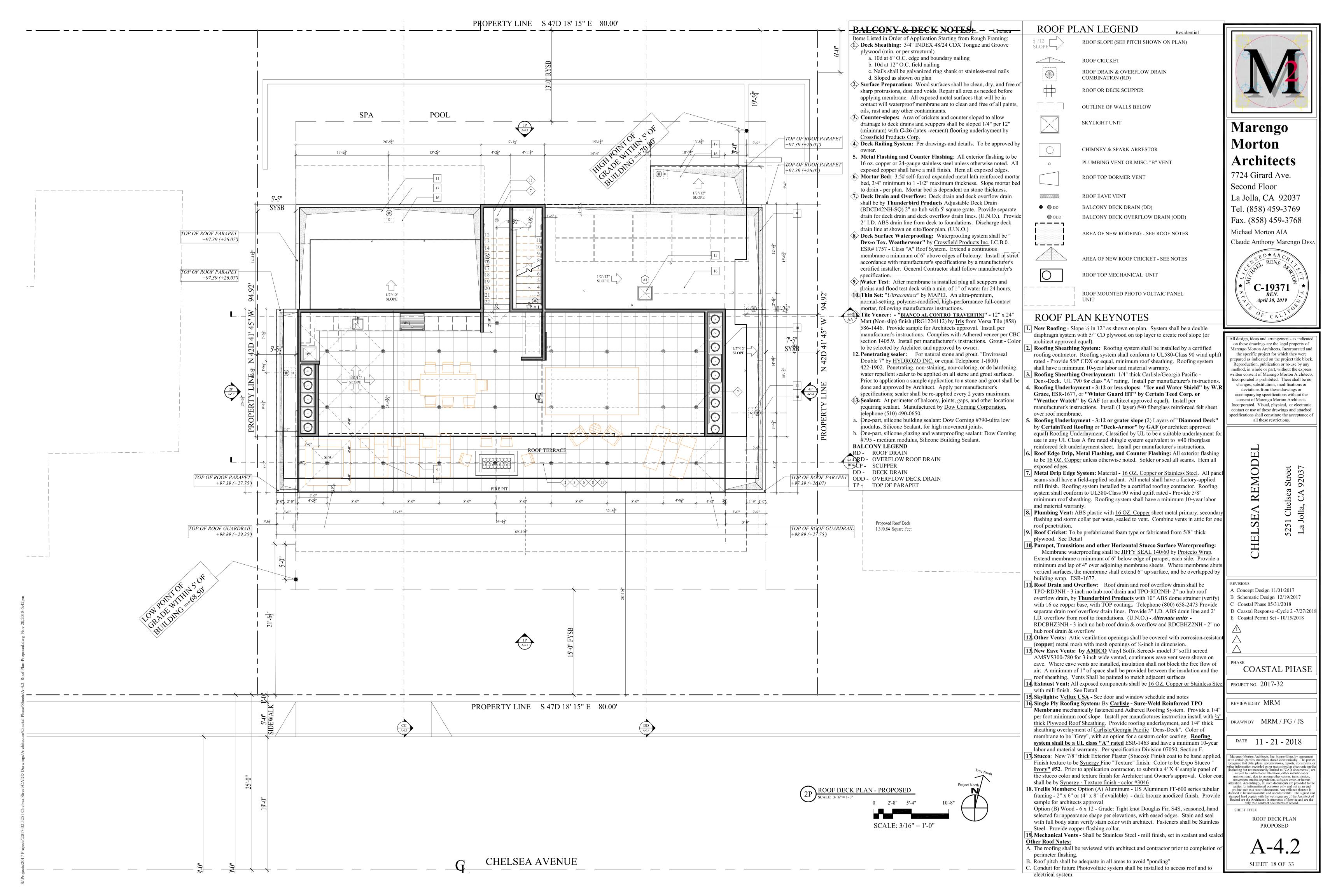


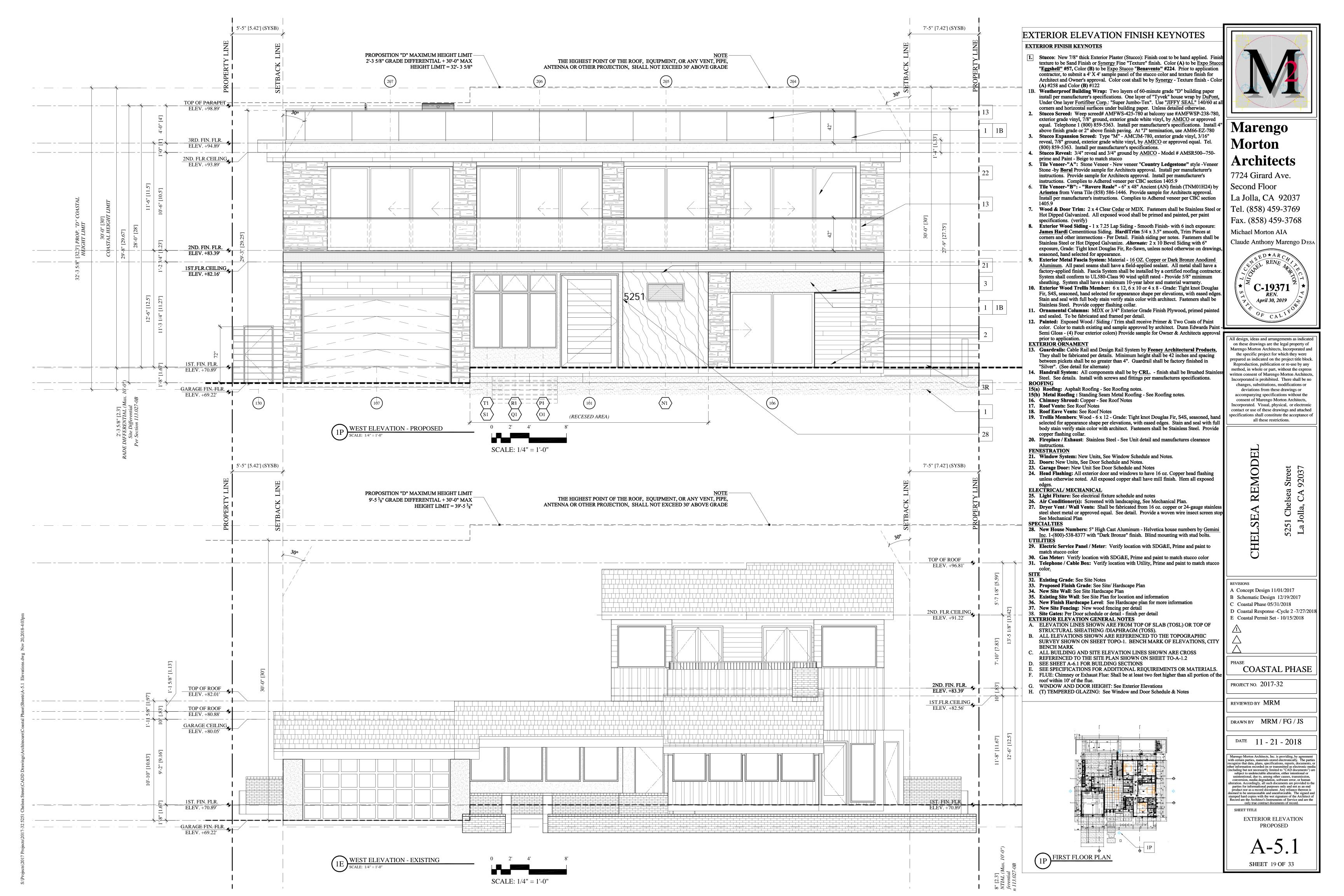
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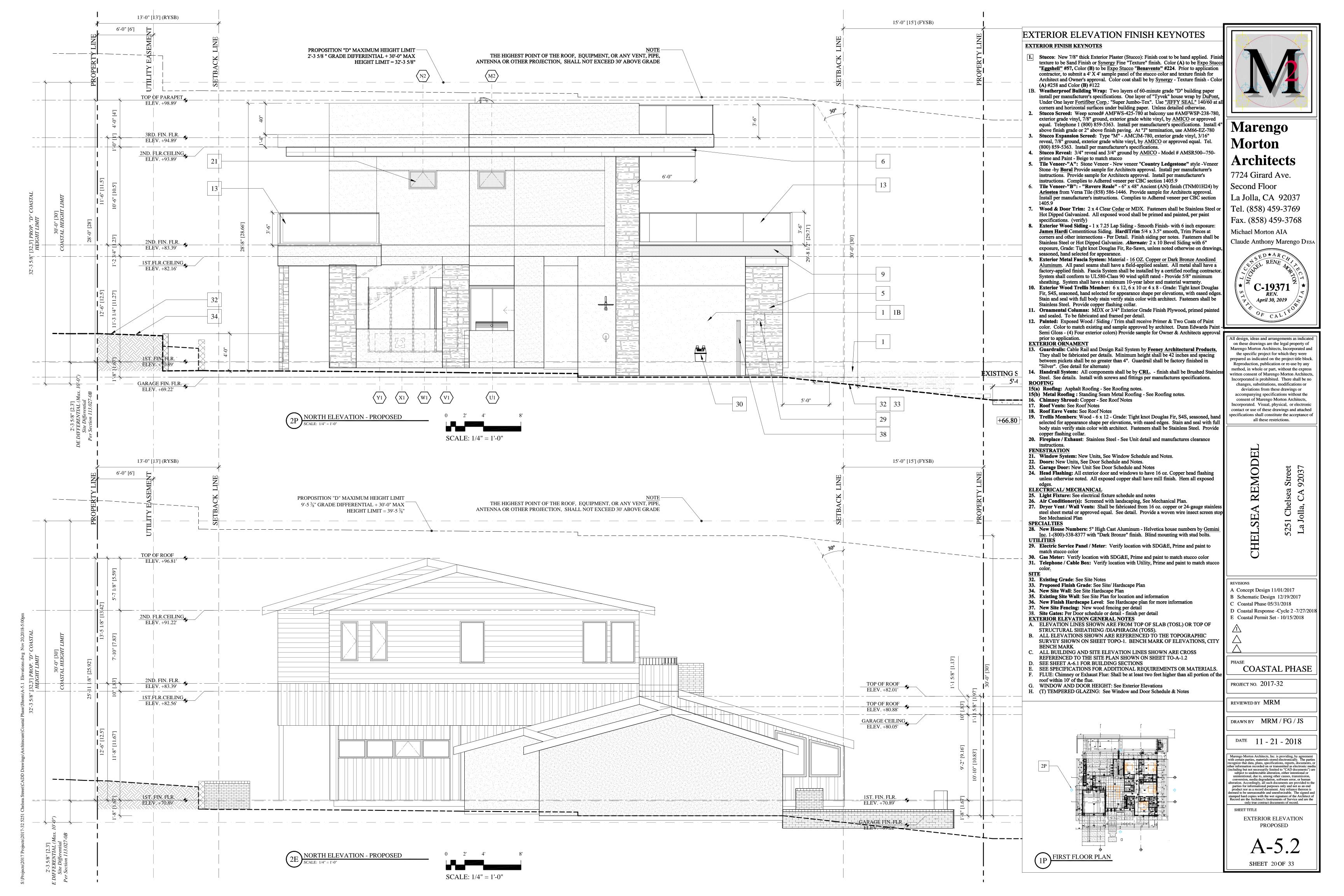


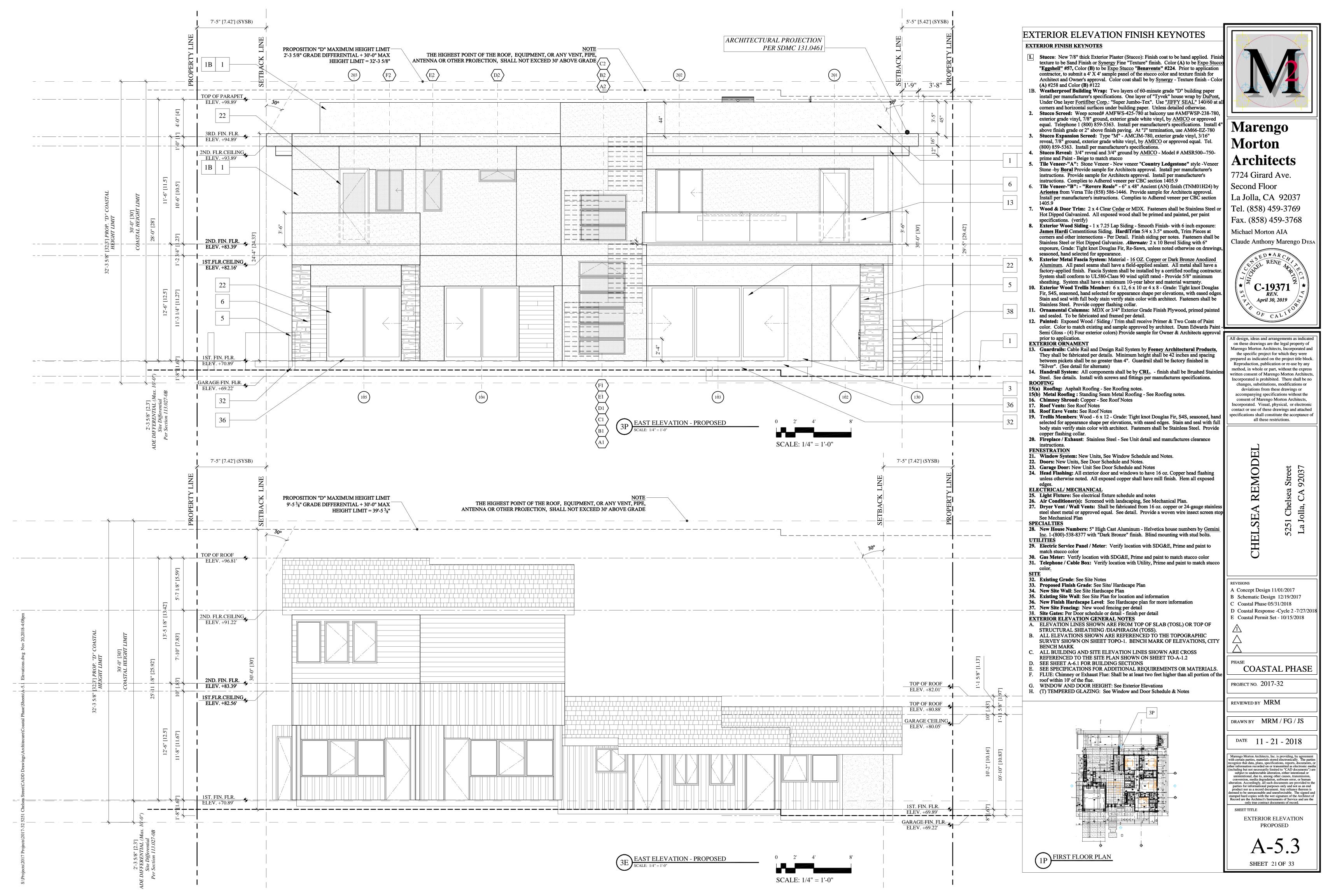


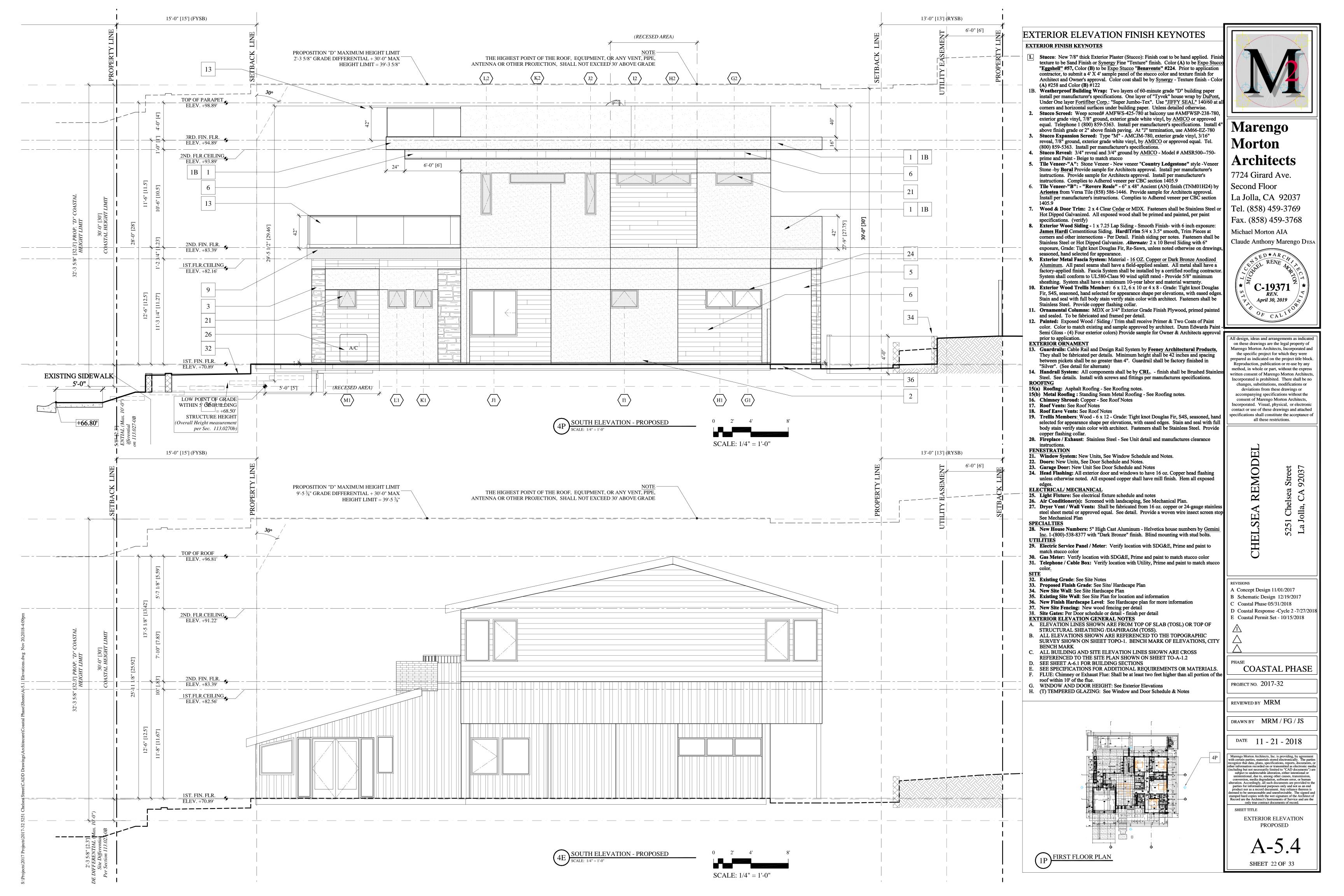


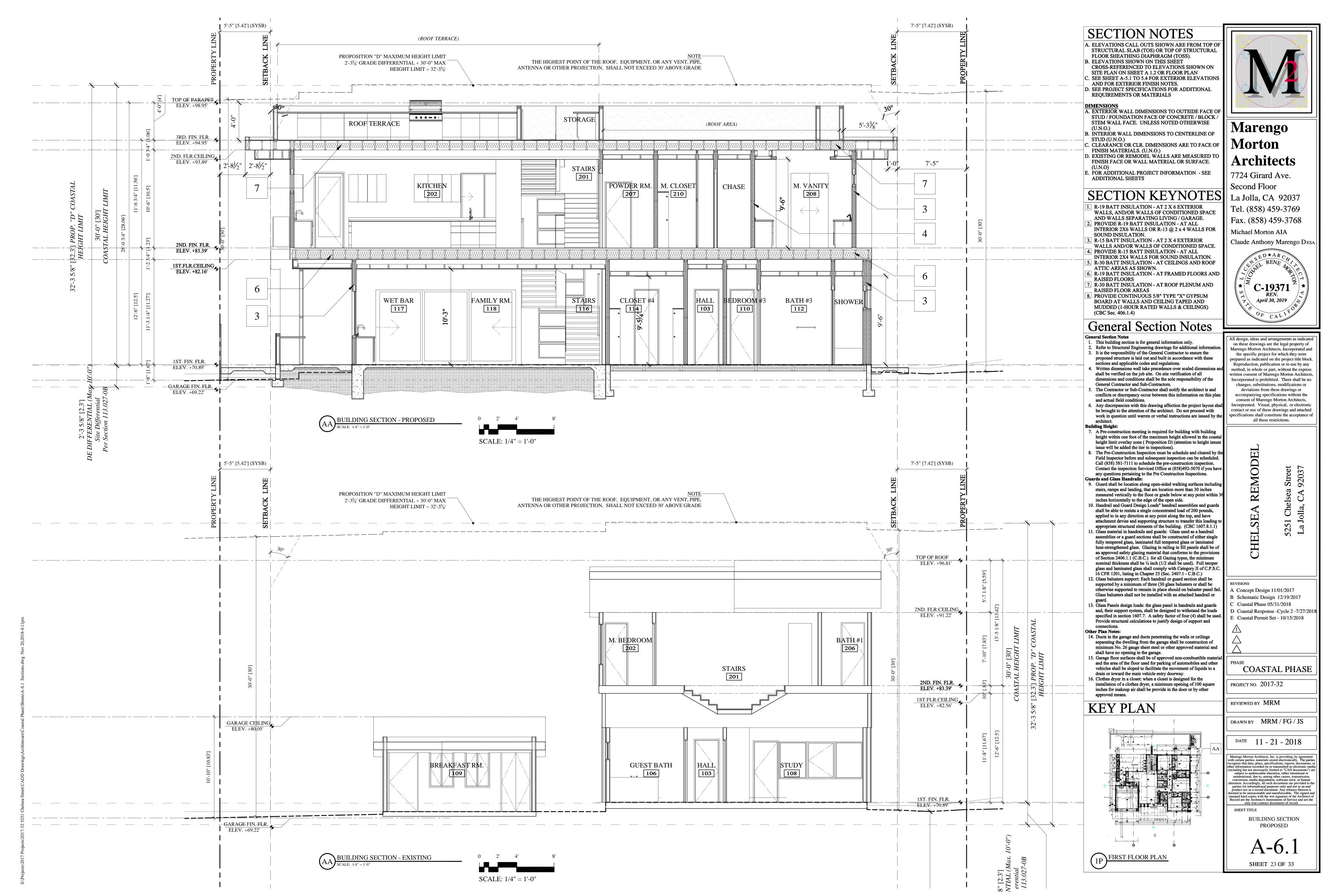


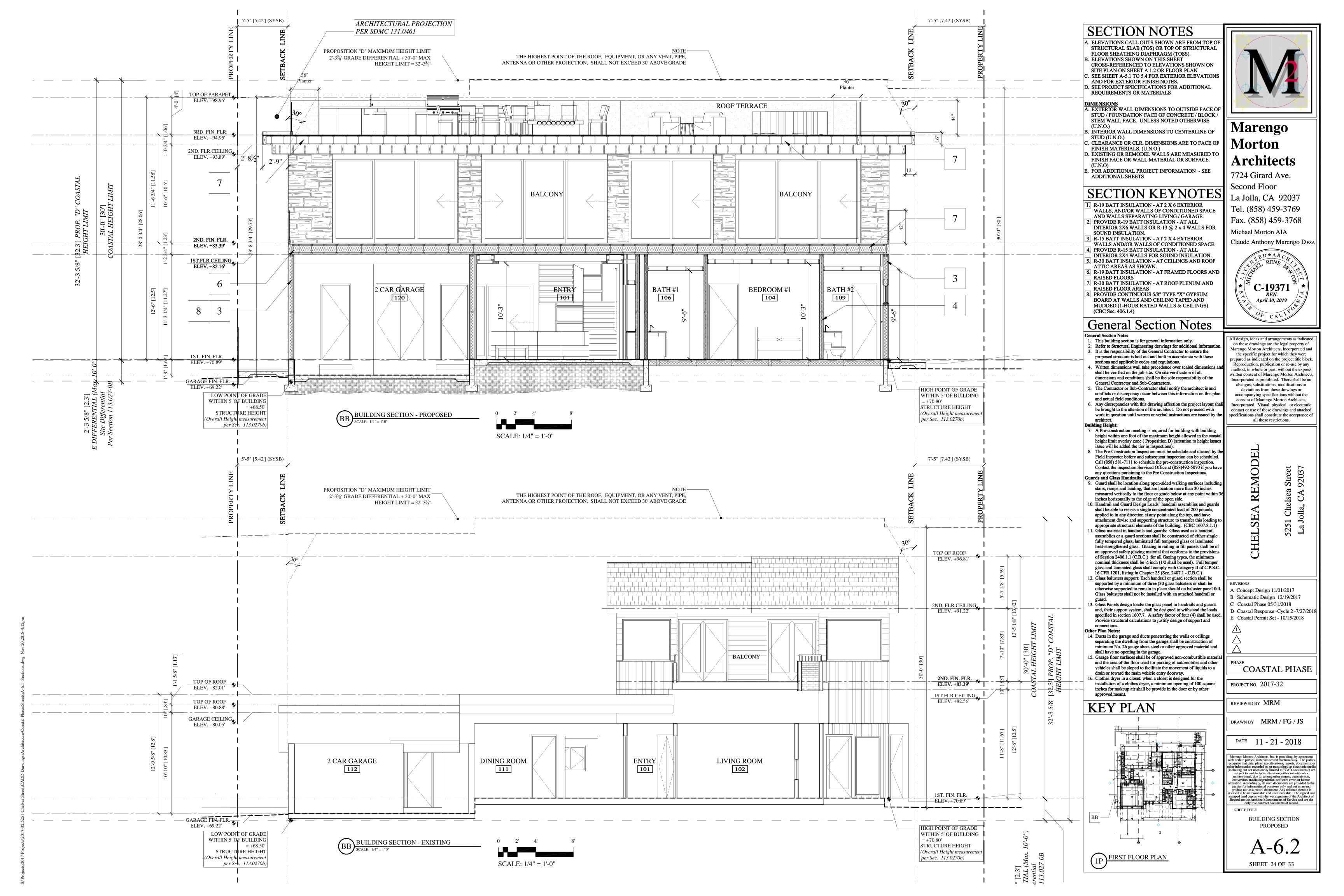


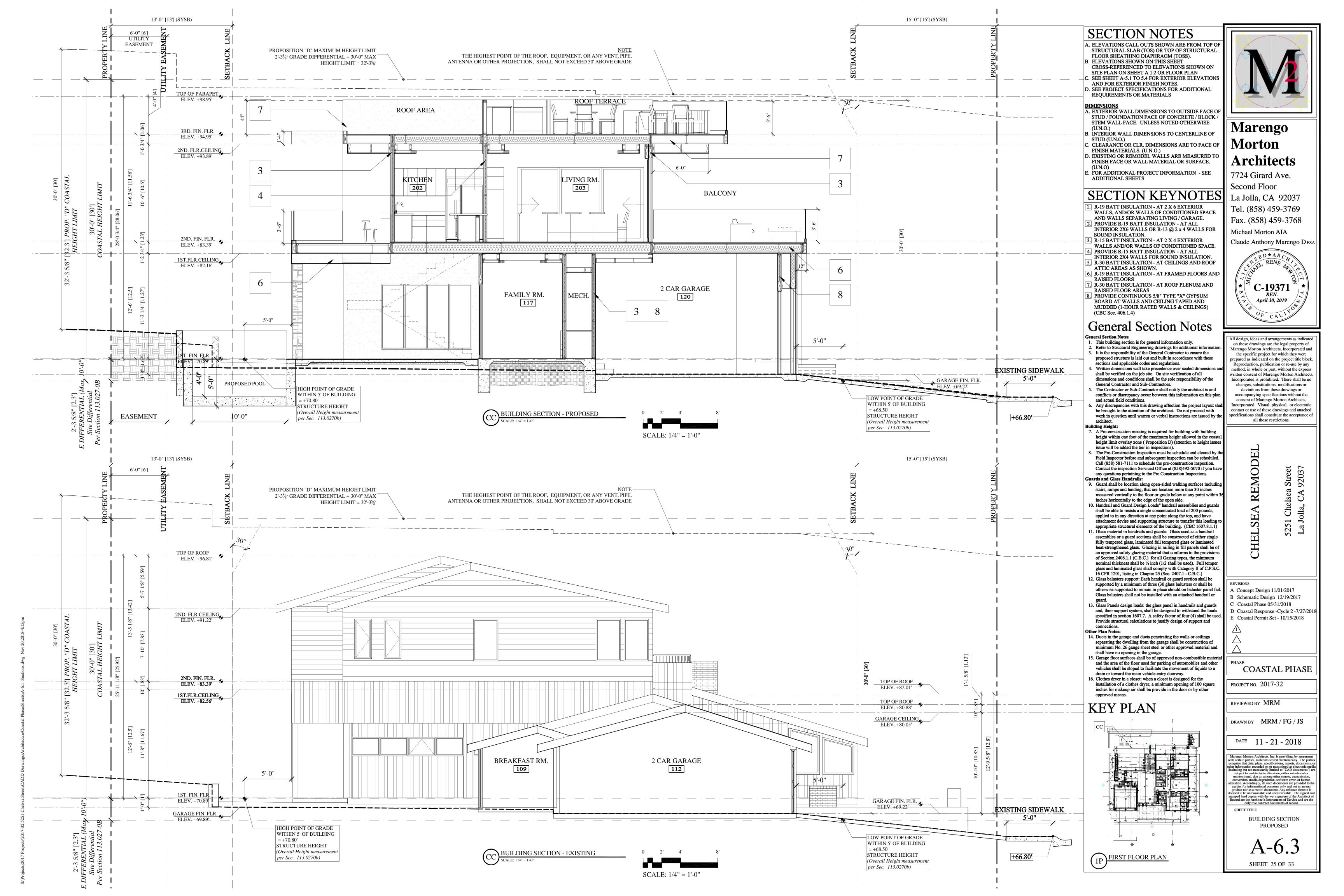


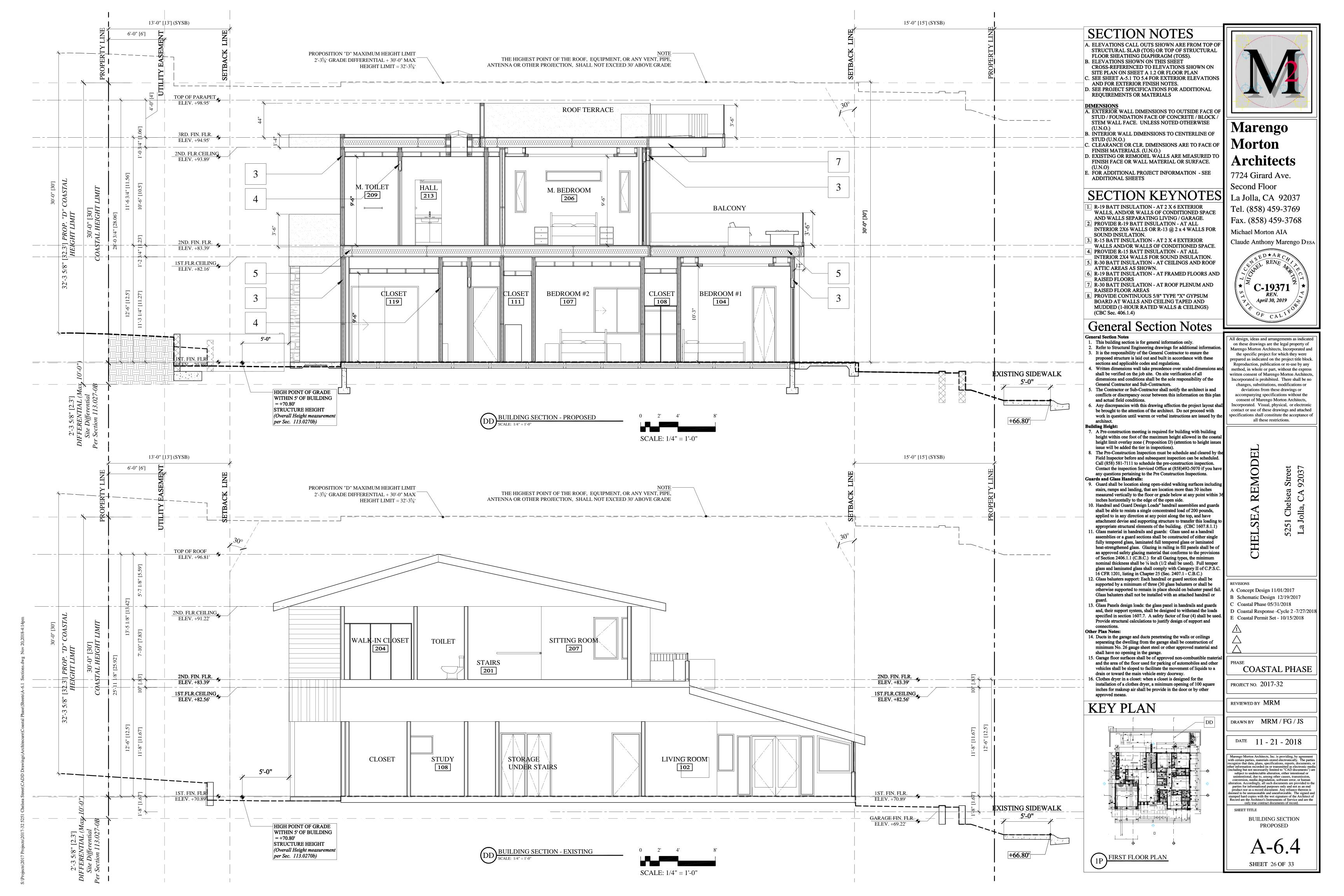


















VIEW FROM SOUTH EAST







VIEW FROM NORTH EAST

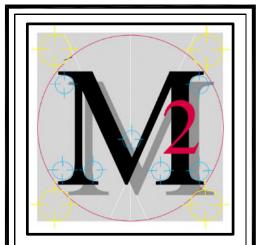
VIEW FROM NORTH WEST

VIEW FROM SOUTH

PERSPECTIVE RENDERINGS
SCALE: NONE

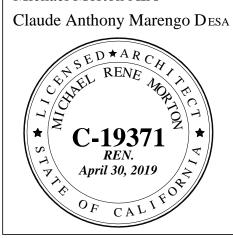
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THE CURRENT DETAILED PLANS, SECTIONS AND ELEVATIONS. THESE SHOULD ONLY BE
REFERENCED FOR GENERAL SITE INTENT, CONTEXT AND SCALE.



Marengo Morton Architects

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Michael Morton AIA



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5251 Chelsea Street

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B Schematic Design 12/19/2017

B Schematic Design 12/19/2017
C Coastal Phase 05/31/2018
D Coastal Response -Cycle 2 -7/27/2018
E Coastal Permit Set - 10/15/2018

COASTAL PHASE

REVIEWED BY MRM

PROJECT NO. 2017-32

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PROPOSED
EXTERIOR
RENDERINGS

A-9.1

SHEET 27 OF 33







VIEW FROM EAST VIEW FROM NORTH



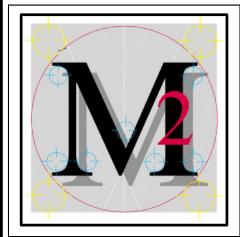




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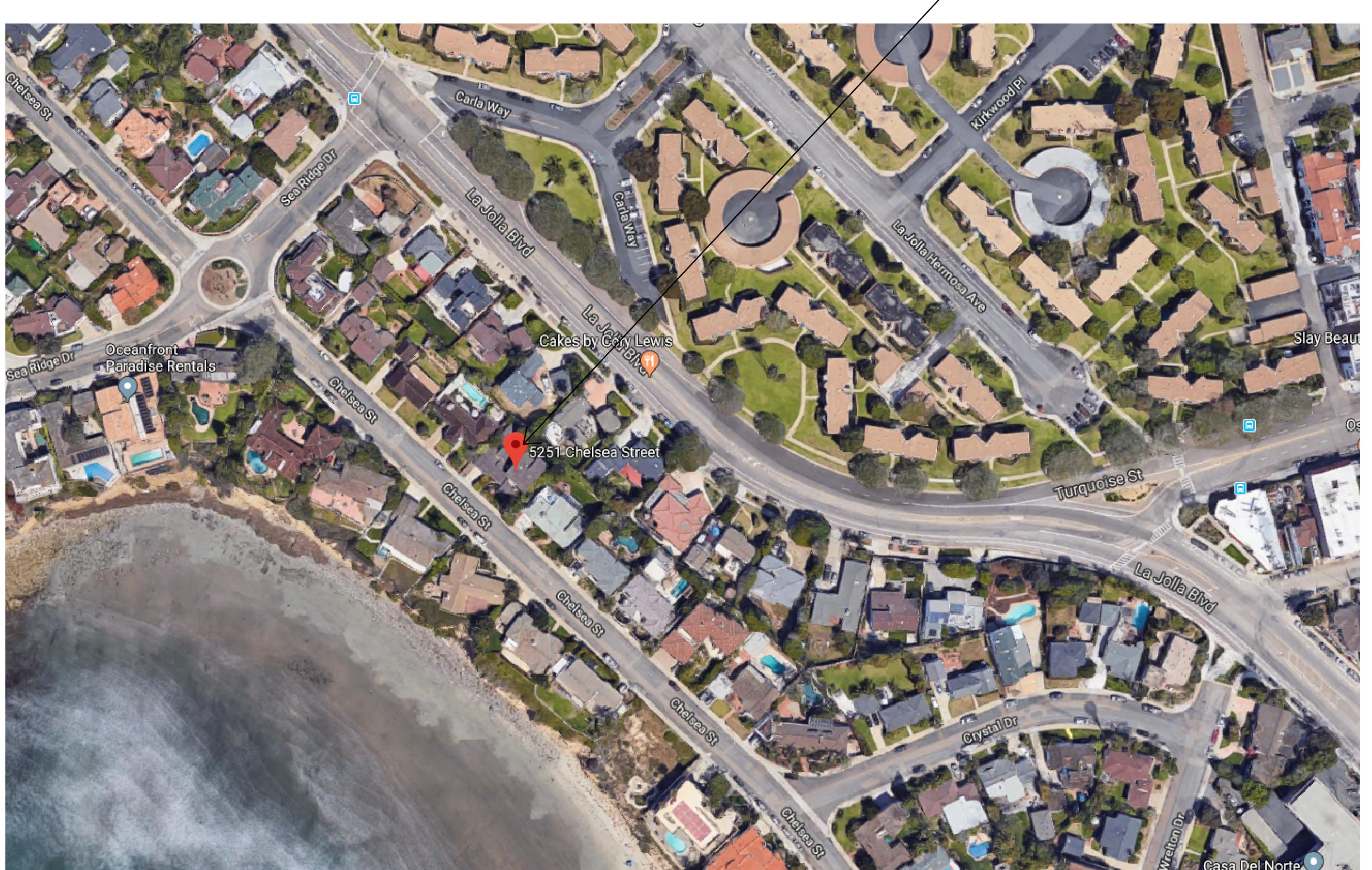
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EXTERIOR RENDERINGS

SHEET 28 OF 33

PERSPECTIVE RENDERINGS
SCALE: NONE

PROPOSED PROJECT SITE



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Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768

Michael Morton AIA
Claude Anthony Marengo Desa

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* April 30, 2019

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7

COASTAL PHASE

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only true contract
SHEET TITLE

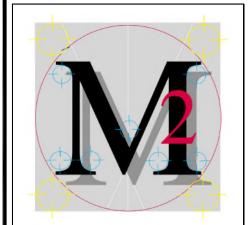
STREET VIEW NEIGHBORWOOD CONTEXT

A-9.3

SHEET 29 OF 33







Marengo Morton Architects

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<u>^</u> ^ _____

COASTAL PHASE

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SHEET TITLE

STREET VIEW

NEIGHBORWOOD CONTEXT

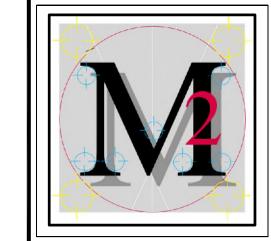
A-9.4

SHEET 30 OF 33

PROPOSED PROJECT SITE

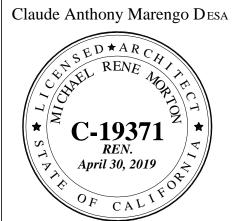


NEIGHBORHOOD CONTEXT



Marengo Morton Architects

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La Jolla, CA 92037
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Michael Morton AIA



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5251 Chelsea Street La Jolla, CA 92037

REVISIONS

A Concept C

A Concept Design 11/01/2017
B Schematic Design 12/19/2017
C Coastal Phase 05/31/2018
D Coastal Response -Cycle 2 -7/27/2018
E Coastal Permit Set - 10/15/2018

COASTAL PHASE

REVIEWED BY MRM

PROJECT NO. 2017-32

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

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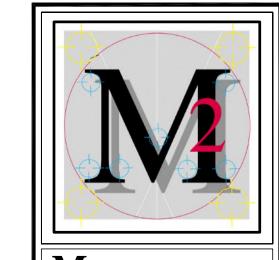
COASTAL AERIAL

NEIGHBORWOOD CONTEXT

A-9.3

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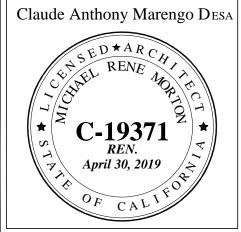
PROPOSED NEIGHBORHOOD CONTEXT



Marengo Morton **Architects**

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A Concept Design 11/01/2017 B Schematic Design 12/19/2017 C Coastal Phase 05/31/2018 D Coastal Response -Cycle 2 -7/27/2018 E Coastal Permit Set - 10/15/2018

COASTAL PHASE

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COASTAL

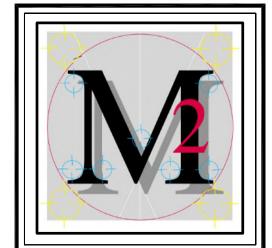
PROPOSED CONTEXT

SHEET 32 OF 33





THESE RENDERINGS REPRESENT THE OVERALL DESIGN INTENT AND DO NOT REFLECT THE CURRENT DETAILED PLANS, SECTIONS AND ELEVATIONS. THESE SHOULD ONLY BE REFERENCED FOR GENERAL SITE INTENT, CONTEXT AND SCALE.



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