



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: March 13, 2019 REPORT NO. HO-19-027

HEARING DATE: March 20, 2019

SUBJECT: APARTMENTS AT 6195 - Process Three Decision

PROJECT NUMBER: [593021](#)

OWNER/APPLICANT: Skyscraper International Ventures LP

### SUMMARY

Issue: Should the Hearing Officer approve the proposed construction of a new 20-unit, four-story, 24,584-square foot multi-family residential apartment building over an 8,376-square foot multi-level subterranean parking garage with automated parking lift, and deviations from applicable development regulations for side yard setbacks and required usable, private, exterior open space?

#### Staff Recommendation:

1. Approve Planned Development Permit No. 2085076.
2. Approve Neighborhood Development Permit No. 2254593.

Community Planning Group Recommendation: On July 12, 2017, the College Area Community Planning Board voted 10-0-0 to recommend approval, without conditions (Attachment 9).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15332 (In-fill Development Project). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 8, 2019, and the opportunity to appeal that determination ended February 25, 2019.

## BACKGROUND

The 0.28-acre site is located at 6195 Montezuma Road in the RM-3-9 Zone, within the Core Subarea of the College Community Redevelopment Project area, the Airport Land Use Compatibility Overlay Zone (OZ), the Airport Influence Area (Montgomery Field / Review Area 2), and the Parking Impact OZ (Campus Impact Area), within the College Area Community Plan area. The College Area Community Plan and the College Community Redevelopment Project Master Project Plan (CCRPMP) designates the 0.28-acre site for high density residential (45-74 du/ac). The 20-unit project is consistent with this designation (Attachment 1).

The project site is bounded on the east and west by multi-family residences, on the south by single-family residences, on the north by Montezuma Road. The site is located across the street from San Diego State University (SDSU) Parking Structure No. 4. (Attachment 2).

In accordance with San Diego Municipal Code (SDMC) Section 143.0915, the proposed development qualifies as an "in-fill project" because it is residential and located within a Transit Priority Area. Pursuant to SDMC Section 143.0920, development that proposes deviations from applicable development regulations may be permitted with a Neighborhood Development Permit (NDP) decided in accordance with Process Two, provided that the findings in Sections 126.0404(a) and 126.0404(f) are made. In accordance with SDMC Section 126.0602, a Planned Development Permit (PDP) is required to implement the requirements of the CCRPMP for a Phased Project Redevelopment Permit, PDP, Process 3.

All actions will be consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in SDMC Section 112.0103. Therefore, the decision to approve, conditionally approve, or deny the project will be made by the Hearing Officer.

## DISCUSSION

### Project Description

The project proposes to construct a new 20-unit, four-story, 24,584-square foot multi-family residential apartment building over an 8,376-square foot multi-level subterranean parking garage with automated parking lift. Deviations from applicable development regulations for side yard setbacks and required usable, private, exterior open space are also being requested.

The project lies in close proximity to public transportation options. The nearest bus stop is located on the south side of Montezuma Road and 63rd Street, approximately 400-feet east of the project site. A second bus stop is located on the north side of Montezuma Road, approximately 650-feet east of the project site. In addition, the SDSU transit center is located approximately 2,300-feet from the project site and can be used to access the San Diego Trolley Green Line. Further, SDSU operates a free shuttle service Monday thru Thursday from 5:00p.m. - 10:00pm. The shuttle makes several stops on and near the SDSU campus, including one stop along southbound East Campus Drive located approximately 500-feet from the project site.

Neighborhood Development Permit

In accordance with SDMC Section 143.0920, in-fill projects may be permitted with a NDP for development that proposes deviations from applicable development regulations. The project requests a deviation from SDMC Section 131.0443(f)(2) for side yard setback regulations of the RM-3-9 zone to allow a five-foot side yard setback where ten feet is required. Staff supports this deviation as the Residential District in the [College Redevelopment Project; Core Sub-Area Design Manual \(page 28\)](#) allows for minimum side yard setbacks of five-feet in the Residential District.

The project also requests a deviation from SDMC Section 131.0455(c) to waive the requirement to provide usable, private, exterior open space abutting each dwelling unit, where a minimum of 75% (15 dwelling units) of the dwelling units are to provide at least 60 square feet of usable, private, exterior open space. In order to decrease the transmission of sound off site to adjacent properties (sensitive receptors) and rights-of-way, the project proposes to consolidate the required private exterior open space and the required common exterior open space into a large interior courtyard area at the first floor. Consolidating all of the required exterior open space at the first-floor courtyard will contain resident oriented exterior noise into a central interior courtyard, as well as eliminate the dwelling unit adjacent exterior spaces on the upper levels. Eliminating these upper level exterior spaces reduces safety risks and the intrusion of project occupants' viewing adjacent off-site properties.

Although the Community Plan does not provide specific recommendations for private useable open space, it recommends the provision of recreational facilities within residential projects, which the proposed development would implement through the provision of a centrally located courtyard containing seating areas, landscaping, and barbeque grills. As proposed, the deviation to the private open space requirement would not adversely impact the goals and recommendations of the College Area Community Plan.

Requested Deviations			
SDMC	Development Standard	Required	Proposed
131.0443(f)(2)	Minimum Side Yard Set Back	10'	5'
131.0455(c)	Private Open Space	60sf for 75% of units	None

Planned Development Permit

In accordance with SDMC Section 126.0602(a)(1), a PDP is required where the applicable land use plan recommends a PDP be processed if another discretionary action is also requested. A Neighborhood Development Permit (NDP) is also being requested to allow deviations to applicable Land Development Code (LDC) Regulations, which requires consistency with the goals and policies of applicable land use plans. The applicable land use plans include the College Area Community Plan, the Core Subarea Design Manual, and the College Community Redevelopment Project Master Project Plan (CCRPMP).

Part II of the CCRPMPP states that a Phased Project Redevelopment Permit (PPRP) application must be prepared in order to implement and assure that the conditions, policies, and development and design guidelines of the Master Project Plan are applied. The CCRPMPP also states that the PPRP application will be governed by SDMC Section 101.0940. Since SDMC Section 101.0940 was repealed and replaced by the regulations of the Land Development Code in 2000, the current equivalent permit mechanism is a Planned Development Permit, which will ensure consistency with the goals of the former PPRP application to implement the conditions, policies, and development and design guidelines contained within Part I of the CCRPMPP. Therefore, a PDP is requested to implement the requirements of the CCRPMPP for a Phased Project Redevelopment Permit.

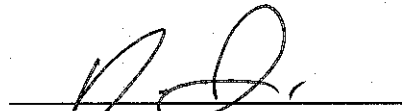
### Conclusion

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the San Diego Municipal Code and the Certified Local Coastal Program. Staff has provided draft findings to support approval of the project (Attachment 5) and draft conditions of approval (Attachment 6). Staff recommends that the Hearing Officer approve Planned Development Permit No. 2085076 and Neighborhood Development Permit No. 2254593.

### ALTERNATIVES

1. Approve Planned Development Permit No. 2085076 and Neighborhood Development Permit No. 2254593, with modifications.
2. Deny Planned Development Permit No. 2085076 and Neighborhood Development Permit No. 2254593, if the findings required to approve the project cannot be affirmed.

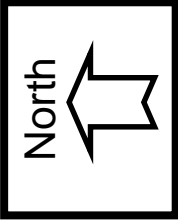
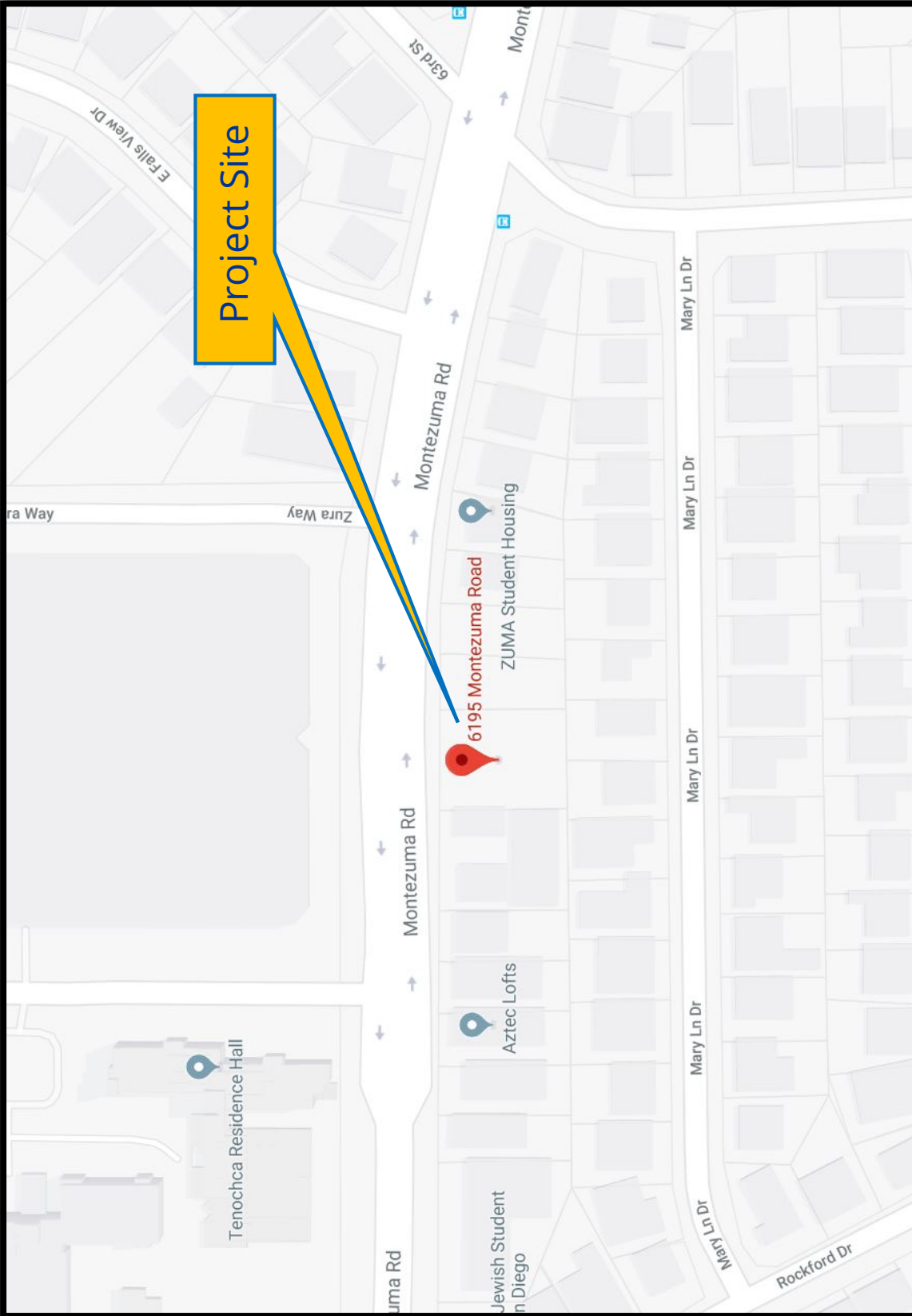
Respectfully submitted,



Derrick Johnson (D.J.), Development Project Manager

### Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



## Project Location Map

Apartments at 6195 / 6195 Montezuma Road  
PROJECT NO. 593021

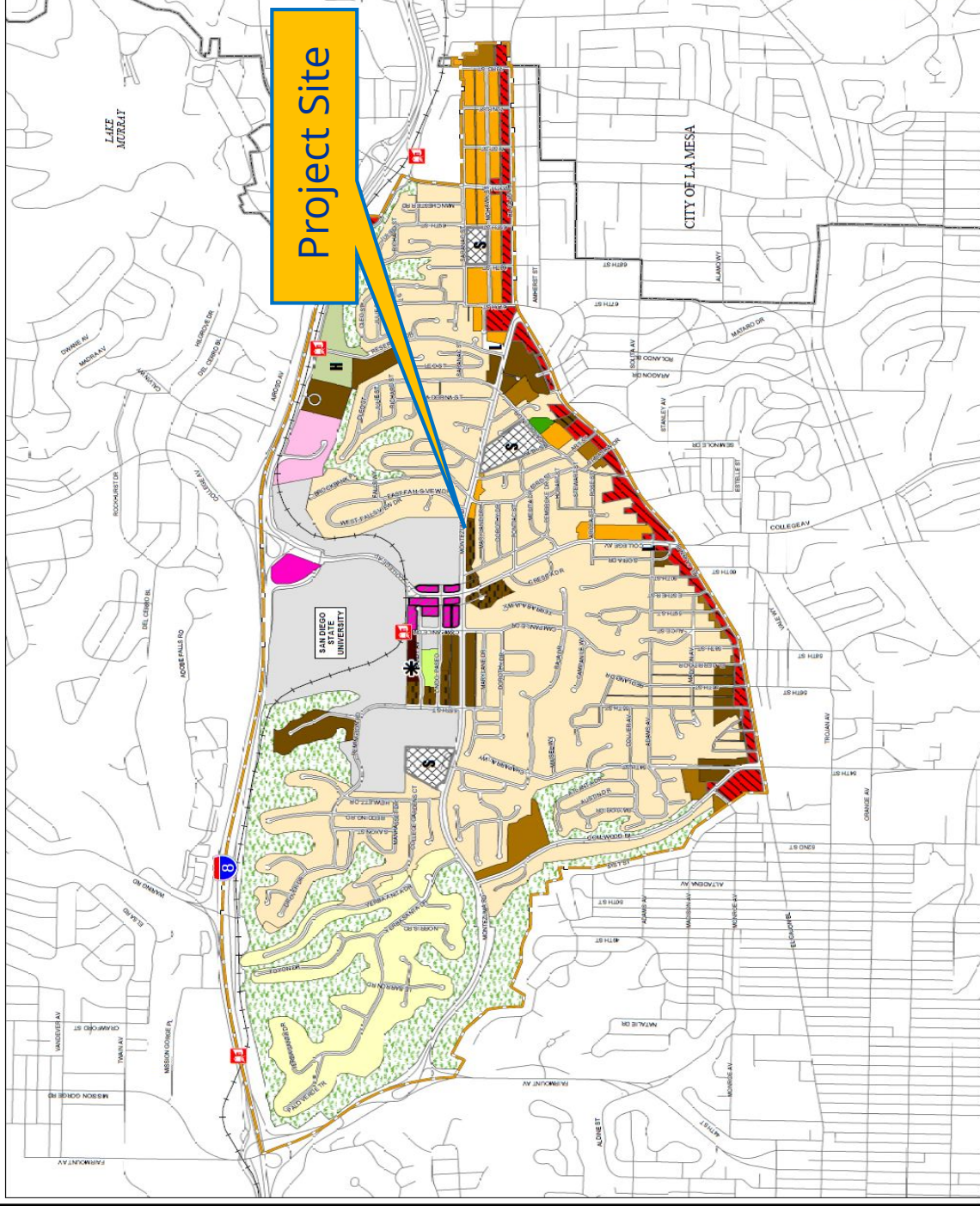
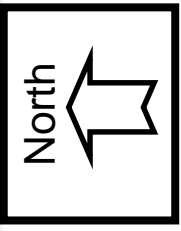


City of San Diego  
 City Planning  
**College Area  
 Community Plan  
 Land Use**

**Legend**

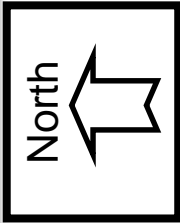
- Planning Areas
- Very Low Density Res. (0-1 DU/AC)
- Low Density Res. (1-10 DU/AC)
- Low/Med Density Res. (10-15 DU/AC)
- Med/Med-High Density Res. 15-45 DU/AC
- High Density Res. (45-75 DU/AC)
- Very High Residential (75-110 DU/RA)
- School
- Hospital & Related Medical Offices
- Library
- University Campus
- Park
- Open Space
- Open Use Area
- Office Commercial
- Visitor Commercial
- Gen. Commercial w/ Res. (45-75 DU/AC)
- Gen. Commercial w/ Res. (75-110 DU/AC)
- Mixed Use Commercial Res. (75-110 DU/RA)
- Fraternity/Sorority Area
- Redevelopment Project (see Fig. 7B)
- LRT Route
- Trolley Stations
- Municipal Boundaries
- Religious Center

Scale: 0 750 1,500 3,000 Feet  
 COUNTY MAP  
 GIS  
 This map is for informational purposes only. It is not intended to be used as a legal document. The City of San Diego is not responsible for any errors or omissions on this map. The City of San Diego reserves the right to change the map at any time without notice.



**Land Use Map**  
 Apartments at 6195 / 6195 Montezuma Road  
 PROJECT NO. 593021





**Aerial Photo**  
Apartments at 6195 / 6195 Montezuma Road  
PROJECT NO. 593021



<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	Project No. 593021 – Apartments at 6195	
<b>PROJECT DESCRIPTION:</b>	Construction of a new 20-unit, four-story, 24,584sf multi-family residential apartment building over an 8,376sf multi-level subterranean parking garage	
<b>COMMUNITY PLAN AREA:</b>	College Area	
<b>DISCRETIONARY ACTIONS:</b>	Neighborhood Development Permit / Planned Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	High Density Residential (45-75 du/ac) / Fraternity & Sorority Area	
<b><u>ZONING INFORMATION:</u></b>		
<p><b>ZONE:</b> RM-3-9</p> <p><b>HEIGHT LIMIT:</b> 60' LDC / 56' per College Core Design Manual / 56' proposed</p> <p><b>LOT SIZE:</b> 0.28 acres (12,202sf)</p> <p><b>FLOOR AREA RATIO:</b> 2.70 permitted / 2.70 proposed</p> <p><b>FRONT SETBACK:</b> 20' std; 10' min / Conforms</p> <p><b>SIDE SETBACK:</b> 10' min LDC (10% of lot width) / 5' per College Core Design Manual 5'proposed</p> <p><b>STREETSIDE SETBACK:</b> N/A</p> <p><b>REAR SETBACK:</b> 5' min / 7' proposed</p> <p><b>PARKING:</b> 57 <i>proposed</i></p>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	SDSU; RS-1-7	SDSU Parking Structure
<b>SOUTH:</b>	Low Residential (5-10); RS-1-7	Single Family
<b>EAST:</b>	High Residential (45-75); RM-3-9	Vacant (Multi-Family development in process)
<b>WEST:</b>	High Residential (45-75); RM-3-9	Multi-Family
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	<ol style="list-style-type: none"> <li>1. Side Yard Setback</li> <li>2. Private Exterior Open Space</li> </ol>	



**COMMUNITY PLANNING GROUP  
RECOMMENDATION:**

On July 12, 2017, the College Area Community Planning Board voted 10-0-0 to recommend approval, without conditions.

HEARING OFFICER  
RESOLUTION NO. \_\_\_\_  
PLANNED DEVELOPMENT PERMIT No. 2085076  
NEIGHBORHOOD DEVELOPMENT PERMIT No. 2254593  
**APARTMENTS AT 6195 - PROJECT NO. 593021**

WHEREAS, Skyscraper International Ventures LP, a California Limited Partnership, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a new 20-unit, four-story, 24,584-square foot multi-family residential apartment building over an 8,376-square foot multi-level subterranean parking garage with automated parking lift, and deviations from applicable development regulations to the side yard setbacks and required private open space (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No(s). 2085076 and 2254593), on portions of a 0.28-acre site;

WHEREAS, the project site is located at 6195 Montezuma Road in the RM-3-9 Zone, within the Core Subarea of the College Community Redevelopment Project area, the Airport Land Use Compatibility Overlay Zone (OZ), the Airport Influence Area (Montgomery Field / Review Area 2), and the Parking Impact OZ (Campus Impact Area), within the College Area Community Plan area; and

WHEREAS, the project site is legally described as: Lots 186 and 187 of Collwood Park Unit No. 2, County of San Diego, Map No. 2495, Recorded on August 12, 1948; and the South 6.00 feet of Montezuma Road Adjoining Said Lots 186 and 187 On the North as Closed to Public Use Resolution No. 184453, Recorded August 6, 1965;

WHEREAS, on February 8, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (In-fill Development Projects) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on March 20, 2019, the HEARING OFFICER of the City of San Diego considered Planned Development Permit No. 2085076 and Neighborhood Development Permit No. 2254593, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the HEARING OFFICER of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 2085076 and Neighborhood Development Permit No. 2254593;

**A. PLANNED DEVELOPMENT PERMIT (SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 126.0605(a)**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes to construct a new 20-unit, four-story, 24,584-square foot multi-family residential apartment building over an 8,376-square foot multi-level subterranean parking garage with automated parking lift, and deviations from applicable development regulations for side yard setbacks and required usable, private, exterior open space. The multi-level subterranean parking garage would provide 55 total parking spaces. The project would also provide a total of 2 motorcycle parking stalls and bicycle parking racks to accommodate up to 12 bicycles. The proposed project, to develop 20 multi-family dwelling units on a 0.28-acre site, has a land use designation of High Density Residential (allowing 45-75 dwelling units per acre) in the College Area Community Plan. The proposed project site could accommodate between 13 and 21 dwelling units. The proposal to construct 20 units would meet the intent of the High-Density Residential designation. The project would provide additional housing near San Diego State University (SDSU) and public transportation options. Therefore, the project would meet recommendations in the community plan's Housing Element for the creation of additional housing within proximity of the university campus and for encouraging pedestrian orientation to and from the university. The proposed use and project design meet the purpose and intent of the College Redevelopment Project; Core Sub-Area Design Manual and will not adversely affect the College Area Community Plan or the General Plan of the City of San Diego.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

An Exemption was prepared for this project in accordance with the State of California Environmentally Quality Act (CEQA) Guidelines. No mitigation for potential significant impacts is required. The permit for the project includes conditions of approval and exhibits to achieve project compliance with the applicable SDMC regulations.

Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area.

Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code, seismic requirements and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare.

The Fire Access Plan for the proposed development demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access. Therefore, the proposed development would not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The PDP is being utilized to implement the requirements of the College Area Community Redevelopment Project Master Project Plan (CCRPMP), not as a vehicle to process Land Development Code (LDC) deviations.

The proposed development is considered an "in-fill project" in accordance with SDMC Sections 143.0915. Under section 126.0602(b)(1), the project is therefore permitted to request LDC deviations with a Neighborhood Development Permit (NDP) Process Two subject to the supplemental NDP findings in SDMC Section 126.0404(f).

The project requests a deviation from SDMC Section 131.0443(f)(2) for side yard setback regulations of the RM-3-9 zone to allow a five-foot side yard setback where ten feet is required. Staff supports this deviation as the Residential District in the [College Redevelopment Project; Core Sub-Area Design Manual \(page 28\)](#) allows for minimum side yard setbacks of five-feet in the Residential District.

The proposed development is consistent with the design standards of the Planned Development Permit Regulations, which allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. Per the Core Subarea Design Manual, the Residential District is structured on an urban streets concept that allows for development flexibility to create a finer scale, diverse urban residential neighborhood. Within this district, the minimum side yard setback of 5 feet is established to contribute to a more urban residential neighborhood and allow for more development flexibility given that parcel sizes within this area are smaller and the current ownership and building conditions are varied. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan.

The project also requests a deviation from SDMC Section 131.0455(c) to waive the requirement to provide usable, private, exterior open space abutting each dwelling unit, where a minimum of 75% (15 dwelling units) of the dwelling units are to provide at least 60 square feet of usable, private, exterior open space.

In order to decrease the transmission of sound off site to adjacent properties (sensitive receptors) and rights-of-way, the project proposes to consolidate the required private exterior open space and the required common exterior open space into a large interior courtyard area at the first floor. Consolidating all of the required exterior open space at the first-floor courtyard will contain resident oriented exterior noise into a central interior courtyard, as well as eliminate the dwelling unit adjacent exterior spaces on the upper levels. Eliminating these upper level exterior spaces reduces safety risks and the intrusion of project occupants' viewing adjacent off-site properties.

Although the Community Plan does not provide specific recommendations for private useable open space, it recommends the provision of recreational facilities within residential projects, which the proposed development would implement through the provision of a centrally located courtyard containing seating areas, landscaping, and barbeque grills. Staff has reviewed the proposed project and all issues identified through the review process and recommends approval of the project as proposed, as the project is in conformance with the adopted policies and regulations of the Land Development Code, including any allowable deviations that are otherwise authorized.

**B. NEIGHBORHOOD DEVELOPMENT PERMIT (SDMC SECTION 126.0404(a))**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes to construct a new 20-unit, four-story, 24,584-square foot multi-family residential apartment building over an 8,376-square foot multi-level subterranean parking garage with automated parking lift, and deviations from applicable development regulations for side yard setbacks and required usable, private, exterior open space. The multi-level subterranean parking garage would provide 55 total parking spaces. The project would also provide a total of 2 motorcycle parking stalls and bicycle parking racks to accommodate up to 12 bicycles.

The proposed project, to develop 20 multi-family dwelling units on a 0.28-acre site, has a land use designation of High Density Residential (allowing 45-75 dwelling units per acre) in the College Area Community Plan. The proposed project site could accommodate between 13 and 21 dwelling units. The proposal to construct 20 units would meet the intent of the High-Density Residential designation. The project would provide additional housing near San Diego State University (SDSU) and public transportation options. Therefore, the project would meet recommendations in the community plan's Housing Element for the creation of additional housing within proximity of the university campus and for encouraging pedestrian orientation to and from the university. The proposed use and project design meet the purpose and intent of the College Redevelopment Project; Core Sub-Area Design Manual and will not adversely affect the College Area Community Plan or the General Plan of the City of San Diego.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

An Exemption was prepared for this project in accordance with the State of California Environmentally Quality Act (CEQA) Guidelines. No mitigation for potential significant impacts is required.

The permit for the project includes conditions of approval and exhibits to achieve project compliance with the applicable SDMC regulations. Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area. Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code, seismic requirements and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. The Fire Access Plan for the proposed development demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access. Therefore, the proposed development would not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project proposes to construct a new 20-unit, four-story, 24,584-square foot multi-family residential apartment building over an 8,376-square foot multi-level subterranean parking garage with automated parking lift, and deviations to the side yard setbacks and required usable, private, exterior open space. The project requests a deviation from SDMC Section 131.0443(f)(2) for side yard setback regulations of the RM-3-9 zone to allow a five-foot side yard setback, where ten feet is required. Staff supports this deviation as the Residential District in the [College Redevelopment Project; Core Sub-Area Design Manual \(page 28\)](#) allows for minimum side yard setbacks of five-feet in the Residential District.

The proposed development is consistent with the design standards of the Neighborhood Development Permit Regulations, which allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. Per the Core Subarea Design Manual, the Residential District is structured on an urban streets concept that allows for development flexibility to create a finer scale, diverse urban residential neighborhood.

Within this district, the minimum side yard setback of five- feet is established to contribute to a more urban residential neighborhood and allow for more development flexibility given that parcel sizes within this area are smaller and the current ownership and building conditions are varied.

The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations.

The project also requests a deviation from SDMC Section 131.0455(c) to waive the requirement to provide usable, private, exterior open space abutting each dwelling unit, where a minimum of 75% (15 dwelling units) of the dwelling units are to provide at least 60 square feet of usable, private, exterior open space. In order to decrease the transmission of sound off site to adjacent properties (sensitive receptors) and rights-of-way, the project proposes to consolidate the required private exterior open space and the required common exterior open space into a large interior courtyard area at the first floor.

Consolidating all of the required exterior open space at the first-floor courtyard will contain resident oriented exterior noise into a central interior courtyard, as well as eliminate the dwelling unit adjacent exterior spaces on the upper levels. Eliminating these upper level exterior spaces reduces safety risks and the intrusion of project occupants' viewing adjacent off-site properties.

Although the Community Plan does not provide specific recommendations for private useable open space, it recommends the provision of recreational facilities within residential projects, which the proposed development would implement through the provision of a centrally located courtyard containing seating areas, landscaping, and barbeque grills. As proposed, the deviation to the private open space requirement would not adversely impact the goals and recommendations of the College Area Community Plan.

<b>Requested Deviations</b>			
<b>SDMC</b>	<b>Development Standard</b>	<b>Required</b>	<b>Proposed</b>
131.0443(f)(2)	Minimum Side Yard Set Back	10'	5'
131.0455(c)	Private Open Space	60sf for 75% of units	None

Therefore, the proposed use and project design meet the purpose and intent of the College Redevelopment Project; Core Sub-Area Design Manual and will not adversely affect the College Area Community Plan or the General Plan of the City of San Diego.

**C. NEIGHBORHOOD DEVELOPMENT PERMIT (SDMC SECTION 126.0404(f))**

**1. The development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings opportunities;**

The project proposes to construct a new 20-unit, four-story, 24,584-square foot multi-family residential apartment building over an 8,376-square foot multi-level subterranean parking garage with automated parking lift. Deviations from applicable development regulations for side yard setbacks and required usable, private, exterior open space are also being requested. The proposed project site could accommodate between 13 and 21 dwelling units. The proposal to construct 20 units would meet the intent of the High-Density Residential designation. The project would provide additional housing near San Diego State University (SDSU) and public transportation options.

Therefore, the project would meet recommendations in the community plan's Housing Element for the creation of additional housing within proximity of the university campus and for encouraging pedestrian orientation to and from the university. The project is also within a Transit Priority Area and would accomplish the goal of providing in-fill projects, within a Transit Priority Area.

**2. Any proposed deviations are appropriate for the proposed location.**

In accordance with SDMC Section 143.0920, in-fill projects may be permitted with a NDP for development that proposes deviations from applicable development regulations. The project requests a deviation from SDMC Section 131.0443(f)(2) for side yard setback regulations of the RM-3-9 zone to allow a five-foot side yard setback where ten feet is required. Staff supports this deviation as the Residential District in the [College Redevelopment Project; Core Sub-Area Design Manual \(page 28\)](#) allows for minimum side yard setbacks of five-feet in the Residential District.

The project also requests a deviation from SDMC Section 131.0455(c) to waive the requirement to provide usable, private, exterior open space abutting each dwelling unit, where a minimum of 75% (15 dwelling units) of the dwelling units are to provide at least 60 square feet of usable, private, exterior open space. In order to decrease the transmission of sound off site to adjacent properties (sensitive receptors) and rights-of-way, the project proposes to consolidate the required private exterior open space and the required common exterior open space into a large interior courtyard area at the first floor. Consolidating all of the required exterior open space at the first-floor courtyard will contain resident oriented exterior noise into a central interior courtyard, as well as eliminate the dwelling unit adjacent exterior spaces on the upper levels. Eliminating these upper level exterior spaces reduces safety risks and the intrusion of project occupants' viewing adjacent off-site properties.

Although the Community Plan does not provide specific recommendations for private useable open space, it recommends the provision of recreational facilities within residential projects, which the proposed development would implement through the provision of a centrally located courtyard containing seating areas, landscaping, and barbeque grills. As proposed, the deviation to the private open space requirement would not adversely impact the goals and recommendations of the College Area Community Plan. The two deviations requested have been reviewed by staff and are appropriate for the project site.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the HEARING OFFICER, Planned Development Permit No. 2085076, and Neighborhood Development Permit No(s). 2254593, is hereby GRANTED by the HEARING OFFICER to the referenced Owner/Permittee, in the



## ATTACHMENT 5

form, exhibits, terms and conditions as set forth in Permit No(s). 2085076 and 2254593, a copy of which is attached hereto and made a part hereof.

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Derrick Johnson (D.J.)  
Development Project Manager  
Development Services

Adopted on: March 20, 2019

IO#: 24007688

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24007688

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT No. 2085076  
NEIGHBORHOOD DEVELOPMENT PERMIT No. 2254593  
**APARTMENTS AT 6195 PROJECT NO. 593021**  
**HEARING OFFICER**

This Planned Development Permit No. 2085076 and Neighborhood Development Permit No. 2254593 is granted by the Hearing Officer of the City of San Diego to Skyscraper International Ventures LP, a California Limited Partnership, Owner/Permittee, pursuant to San Diego Municipal Code sections [SDMC] 126.0601 and 126.0401. The 0.28-acre site is located at 6195 Montezuma Road in the RM-3-9 Zone, within the Core Subarea of the College Community Redevelopment Project area, the Airport Land Use Compatibility Overlay Zone (OZ), the Airport Influence Area (Montgomery Field / Review Area 2), and the Parking Impact OZ (Campus Impact Area), within the College Area Community Plan area. The project site is legally described as: Lots 186 and 187 of Collwood Park Unit No. 2, County of San Diego, Map No. 2495, Recorded on August 12, 1948; and South 6.00 feet of Montezuma Road Adjoining Said Lots 186 and 187 on the North as Closed to Public Use Resolution No. 184453, Recorded August 6, 1965;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new 20-unit, four-story, 24,584-square foot multi-family residential apartment building over an 8,376-square foot multi-level subterranean parking garage with automated parking lift, with deviations to the side yard setbacks and required usable, private, exterior open space, on file in the Development Services Department.

The project shall include:

- a. The construction of a 20-unit, four-story, multiple dwelling unit development above a subterranean parking garage;
- b. Deviation from the base zone side yard setback regulations requiring 10-feet by proposing a side yard setback of five feet;
- c. Deviation from the private open space requirements;
- d. Landscaping (planting, irrigation and landscape related improvements);

- e. Off street parking;
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 4, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**PALEONTOLOGICAL RESOURCES REQUIREMENTS:**

11. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents in "verbatim" as referenced in the City of San Diego Land Development Manual for Paleontological Resources.

12. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC)/Environmental Designee (ED) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as identified in City of San Diego Land Development Manual for Paleontological Resources.

13. MMC/ED will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.

14. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

**CLIMATE ACTION PLAN REQUIREMENTS:**

15. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

16. The project proposes to export 5,985 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains/curb outlets in the Montezuma Road Right-of-Way.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for any landscaping/private encroachments in the Montezuma Road Right-of-Way.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 20 ft wide driveway, adjacent to the site on Montezuma Road, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk with current City Standard non-contiguous sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Montezuma Road, satisfactory to the City Engineer.

22. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to construct a curb with City Standard curb and gutter, adjacent to the site on Montezuma Road, satisfactory to the City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

24. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**LANDSCAPE REQUIREMENTS:**

25. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

26. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

27. Prior to issuance of any construction permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

28. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in

a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

31. Owner/Permittee shall maintain a minimum of 45- off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

33. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**GEOLOGY REQUIREMENTS:**

35. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

**TRANSPORTATION REQUIREMENTS**

36. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

37. Prior to any Building Construction Permit being issued, the Owner/Permittee is required to develop (to the satisfaction of the Public Utilities Director), and record, a public sewer easement (min

7.5' width) contiguous with the southern property line and a public sewer access easement (min 5' width) contiguous with the eastern property line.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 20, 2019 and Resolution Number \_\_\_\_.



**ATTACHMENT 6**

Planned Development Permit No. 2086076  
Neighborhood Development Permit No. 2254593  
March 20, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Derrick Johnson (D.J.)  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Skyscraper International Ventures, LP  
Owner/Permittee

By \_\_\_\_\_  
Jose Daniel Kabbaz Chiver  
Authorized Agent

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

## NOTICE OF EXEMPTION

(Check one or both)

TO:  Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

**Project Name/Number:** Apartments at 6195/593021

**SCH No.:** N.A.

**Project Location-Specific:** 6195 Montezuma Road, San Diego, CA 92115

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** Planned Development Permit (PDP) and Neighborhood Development Permit (NDP) to allow a 20-unit, four stories, 24,572 square-foot multi-family residential apartment building over an 8,376 square-foot multi-level subterranean parking garage with automated parking lift systems, on a 0.28-acre site. The project proposes deviations for setbacks and required open space. The 0.28-acre site is in the RM-3-9 zone within the College Area Community Plan area, Affordable Housing Parking Demand, and Parking Impact Overlay Zone. The site is designated High Density Residential (45-75 du/ac) in the College Area Community Plan, and Residential in the General Plan.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Matt Gomes, Golba Architecture (Firm), 1940 Garnet Avenue, Suite 100, San Diego, CA 92109, (619) 231-9905

**Exempt Status:** (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332 (In-Fill Development Projects)

**Reasons why project is exempt:** The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15332. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no more than 5 acres and is substantially surrounded by urban uses. The project site has no value as habitat for endangered, rare or threatened species. The project would not result in any significant effects related to air quality, noise, traffic or water quality. The site can be adequately serviced by all required utilities and public services. In addition, the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.

2. Has a notice of exemption been filed by the public agency approving the project? ( ) Yes ( ) No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

  
\_\_\_\_\_  
Signature/Title Senior Planner

\_\_\_\_\_  
Date February 26, 2019

Check One:

(X) Signed By Lead Agency

( ) Signed by Applicant

Date Received for Filing with County Clerk or OPR:

**College Area Community Planning Board (CACPB) and  
College Area Community Council (CACC)**

**Draft Minutes From the Regular Meetings: November 14, 2018, 6:30PM  
Held in: College Rolando Library, 6600 Montezuma Road San Diego, CA 92115**

P	Jose Reynoso	President	L (A2)	David Cook
P	Jim Jennings	Vice President	L (A1)	Michael D’Ambrosia
P(A1)	Ann Cottrell	Secretary	L (A2)	Keith Henderson
A(1)	John Putman	Treasurer	P	Robert Higdon
P (A1)	Rachel Gregg	SDSU Appointee	P	Jean Hoeger
A(1)	Mike Wiafe	SDSU AS Appointee	P(A2)	Robert Montana
L	Jim Schneider	BID Representative	A(2)	Troy Murphree
P	Saul Amerling		P (A2)	B.J. Nystrom
P	Ellen Bevier		L(A1)	Jerry Pollock
	open		L (A3)	Jason Wills

TOTAL BOARD MEMBERS: 20

P= present L= Late A – Absent (1),(2),(3) = 1st, 2nd 3rd absence

CP 600-24, Art. IV, Sec 1: “A vacancy exists upon the 3rd consecutive absence or 4th absence in 12 months (April-May)

M/S/C = Moved/Seconded/Carried

The College Area Community Council (CACC) and the College Area Community Planning Board (CACPB) are two separate entities with a common board and officers and joint meetings. The items highlighted below with asterisks are CACPB business items, subject to City Council Policy 600-24 governing community planning groups. Items are reported in agenda outline order, although some items may have been considered in a different sequence.

**COLLEGE AREA COMMUNITY PLANNING BOARD MEETING**

**I. Call to order/pledge of allegiance: 6:30 p.m.**

**II. Approval of Agenda with 2 items moved from CACPB to CACC: a) election of new board member b) vote on time meetings start and split to two meetings**

\* Move to accept agenda as amended-Cottrell, Second-Nystrom  
Yes-9, No-0, Abstain-1 (Higdon confused on one item) \* Revised agenda accepted

**III. Approval of Amended Minutes for September October 10, 2018**

\* Move– Nystrom, Second-Amerling Yes-9 No-0 Abstain-1 (Gregg, absent)

**IV. Public Comments on non-agenda items** None

**V. New Business**

A. Review & consideration of Proposed Apartment Project at 6195 Montezuma Rd.

Jennings: Project Review Committee supported project 9-0, 1 abstention. Developer responded to all change requests except height. It is 56 feet.

Tim Golba explained changes made in response to committee’s objections, primarily changes at rear improving visual from Mary Lane, including trees & windows facing sides

instead of overlooking Mary Lane yards.

\* Move to support project- Jennings, Second-Bevier Yes-10 No-0 Abstain-0

\* Project proposal accepted

**B. Board Election to fill vacancy for seat expiring in 2020.**

\* Move to table to CACC meeting - Montana, Second - Gregg

Yes-10 No-0 Abstain-0 \* Election postponed to CACC meeting

**C. Discussion and consideration of making separate CACC and CACPB meetings permanent, requiring administrative amendment to bylaws.**

\* Move to postpone to CACC meeting - Nystrom, Second - Montana

Yes-9, No-1 (hoeger) Abstain-0 \* Discussion postponed

**D. Discussion regarding possible recommendations to the city on the 12<sup>th</sup> Update to the Land Development Code**

Reynoso: One item in update stems from request of “Kansas project” (6213 Montezuma) to be recognized as a dorm. If so recognized developer would not have to pay impact fees which would hurt College Area. City requires recognition by an academic institution to be a dorm and none have recognized this project. SDSU’s projected housing needs will be met by current and planned campus housing. I propose writing a letter to the City opposing dorm status request, and presenting it to CPC asking for their support. Send me comments to include in the letter which I will bring to board before sending.

\* Move Board send positions to include in draft letter - Reynoso, Second - Jennings

Yes-10 No-0 Abstain-0 \* Motion to draft letter passes

**E. Discuss proposal to adjourn December CACPB/CC meetings due to lack of items.**

Discussion: Need to vote on this for each meeting separately

\* Move to adjourn CACPB meeting in December- Reynoso, Second -Montana

Yes-10, No-0 Abstain-0 \* Motion passes Planning Board will not meet in December.

**VI. Delegate reports**

**A. Community Planners Committee (Reynoso)**

CPC discussed status of Park Master Plan to update 1956 Park Plan. Currently the plan assumes park equivalencies to judge if community has sufficient park space. It is reviewing definition of parks and will eliminate concept of park equivalencies because lot of older communities have no space to develop a park. City is looking at alternatives to consider as parks, or public space. Question is: will it prioritize new parks or maintaining & upgrading existing parks. Goal is proposal for review Spring 2019, new plan by late 2020.

Discussion: City is supposed to meet standards of park per population in each community. We should not support any move to reclassify parks in a manner that doesn’t continue to require a minimum park space per capita.

Reynoso: early next year we should formally present our position to the city.

\* Move CACC ask Beautification committee to address – Reynoso, Second- Nystrom

Yes-10, No-0, Abstain-0 \* Motion to refer issue to Beautification committee passes.

**VIII. Adjournment: 7:00**

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## COLLEGE AREA COMMUNITY COUNCIL MEETING

- I. Approval of Agenda** with items from CACPB agenda: Election & vote on meetings & start time  
 \* Move to approve amended agenda-Nystrom, Second-Bevier,  
 Yes 15, No-0, abstain-0 • Agenda approved

**II. Public comments on non-agenda items within CACC jurisdiction.**

Jan Hintzman, Rolando: Library parking access issue. Project amendment for Montezuma hotel is going through the city. Files show rezoning project for hotel with 125 rooms & 125 parking spaces, of which 25 are joint use in the example. Evaluation of library parking is noted as excluded from project; there is no binding requirement for joint use parking with the library. Rolando Community Council urges the city do all it can to assure access & parking for library; it has written to the mayor asking him to protect city's investment; Eastern Area Planning Board supports our request. We want review and participate in options put forth by the city.

**III. Local, state, federal elected officials, law enforcement, SDSU Liaisons**

**A. Christopher Vallejo, Council District 9.**

1. City has cleaned Fairmont median near I-8, some landscaping remains. CD 9 is discussing this with transportation and storm water departments.
2. Tubman Joint-use park. School district is taking the lead; Jose is liaison with school district. Park expected to open in 2019.
3. Staff is working on library parking options for discussions about library parking & access.
4. Trash left out too long. Environmental services canvasses College Area weekly, tagging bins left out. If a bin left out is not tagged make a report on *Get It Done (GID)*. If still out do not file second GID report but call Torres (CD9) to follow up.

**B. John Steffen, SDPD CR**

1. Presented College Area statistics.
2. SDPD will not give a first response notice if party call made anonymously. Reporting party must be verified, but name is never shared.

**C. Jim Schneider, College Area BID**

Reported on several new businesses in College Area

**D. Rachel Gregg, SDSU**

1. Greek community voted to end alcohol moratorium in early October & also vote ban hard alcohol at fraternity events. We're seeing uptick in problems in general.
2. New president is very pro-active as is new interim student affairs VP. We hope to address some concerns of students living in the community but they are adults so can't do much so progress is slow.

**IV. President's report: Reynoso**

I want more people coming to meetings. If discussion drags, we all must address that.

**V. New Business.**

- A. Election to fill vacant seat expiring in 2020.  
\_Christina Boyd, Mesa Colony has been nominated.  
\* In favor of Boyd 16, Against-0 Abstain-0 \* Boyd is seated
- B. Discussion & consideration of making the splitting of CACC and CACPБ meetings permanent, requiring an administrative amendment to our bylaws, & meeting start time  
\* Move to vote on issues separately - Montana, Second - Cottrell  
Yes-16, No-0, Abstain-0 \* Motion for separate votes passes
1. Shall meetings start at 6:30 or 7{00  
\* Move to start at 6:30 - Montana, Second - Pollock, Yes-4, No-12, Abstain-0  
\* Motion defeated; meetings will start at 7 p.m.
  2. Shall we continue to separate CACPБ & CACC meetings?  
\* Move to keep separate – Montana, Second - Amerling,  
Yes-15, No-0 Abstain 1 (Boyd, new to board) \* Motion passes, remain separate.
- C. Discussion and update on status of the community-generated community plan update project including coordination with and role of Long term Vision/Beautification committee.  
Discussion focused on whether to keep the LTV/B as a standing committee in addition to the Plan update project which has steering, coordinating & several other committees. Projects considered by LTV/B would also be considered in plan revision, but LTV/B might be able to accomplish some short-term beautification goals. D’Ambrosia is stepping down as LTV/B chair to Chair the plan revision activities.  
\* Move to disband LTV/B committee - Amerling, Second – Montana, Yes-12, No-2 (Jennings, Pollock) Abstain –2 (Reynoso –need to act sometime, Boyd – new to board \*Motion to disband LTV?B committee passes.
- D. Discussion of proposal to adjourn December CACPБ/CC meetings  
\* Move to adjourn December meeting – Schneider, Second-Amerling,  
Yes-16, No-0, Abstain-0, \*Motion to adjourn December meeting passes

**VI. Treasurer’s Report: (Putman)**

Treasurer absent, mailed reports to Board. Will report in January.

**VII. Committee Reports:**


- A. Campus Community Coalition, no report
- B. Community Outreach Committee. Meeting Monday November 19
- C. Dollar Per Ticket Ad Hoc Committee no report
- D. Long-term Visioning & Beautification Committee no report
- E. Neighborhood Enforcement Assistance Commttee no report

**VIII. Delegate Reports**

- A. CARPUS Jennings. Information in Steffens report

**IX. Adjournment 8:10 p.m.**

Minutes by Ann Cottrell, Secretary

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<b>Ownership Disclosure Statement</b>	<b>FORM DS-318</b>  October 2017
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**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** Apartments at 6195

**Project No. For City Use Only:** 593021

**Project Address:** 6195 Montezuma Road, San Diego, CA 92115

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Skyscraper International Ventures LP  Owner  Tenant/Lessee  Successor Agency

Street Address: 1750 Avenida Del Mundo, # 704

City: Coronado State: CA Zip: 92118

Phone No.: 619-548-8440 Fax No.: \_\_\_\_\_ Email: jdaniel512@aol.com

Signature: \_\_\_\_\_ Date: 12/18/2017

Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: Skyscraper International Ventures LC  Owner  Tenant/Lessee  Successor Agency

Street Address: 1750 Avenida Del Mundo, #704

City: Coronado State: CA Zip: 92118

Phone No.: 619-548-8440 Fax No.: \_\_\_\_\_ Email: jdaniel512@aol.com

Signature: \_\_\_\_\_ Date: 12/18/2017

Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: Jose Daniel Kabbaz Chiver  Owner  Tenant/Lessee  Successor Agency

Street Address: 1750 Avenida Del Mundo, #704

City: Coronado State: CA Zip: 92118

Phone No.: 619-548-8440 Fax No.: \_\_\_\_\_ Email: jdaniel512@aol.com

Signature: \_\_\_\_\_ Date: 12/18/2017

Additional pages Attached:  Yes  No

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 Upon request, this information is available in alternative formats for persons with disabilities.



# APARTMENTS AT 6195

6195 MONTEZUMA ROAD  
SAN DIEGO, CALIFORNIA 92115



## PERMIT SUBMITTAL SET

**Prepared By:**  
Golba Architecture  
1940 Garnet Ave., Suite 100  
San Diego, CA 92104  
phone: (619) 231-9905  
fax: (858) 750-3471  
contact: Matt Gomes

Revision 7: X  
Revision 6: X  
Revision 5: X  
Revision 4: X  
Revision 3: 10-26-18  
Revision 2: 04-18-18  
Revision 1: 05-22-18

**Project Address:**  
6195 Montezuma Road  
San Diego, CA 92115

Original Date:  
01-04-18

**Project Name:**  
APARTMENTS AT 6195

Sheet 1 of 20

**Sheet Title:**

TITLE SHEET

**GOLBA ARCHITECTURE**  
Architecture ■ Space Planning ■ Interior Design  
1940 Garnet Ave. #100 San Diego California 92109  
Phone: (619) 231-9905 Fax: (858) 750-3471

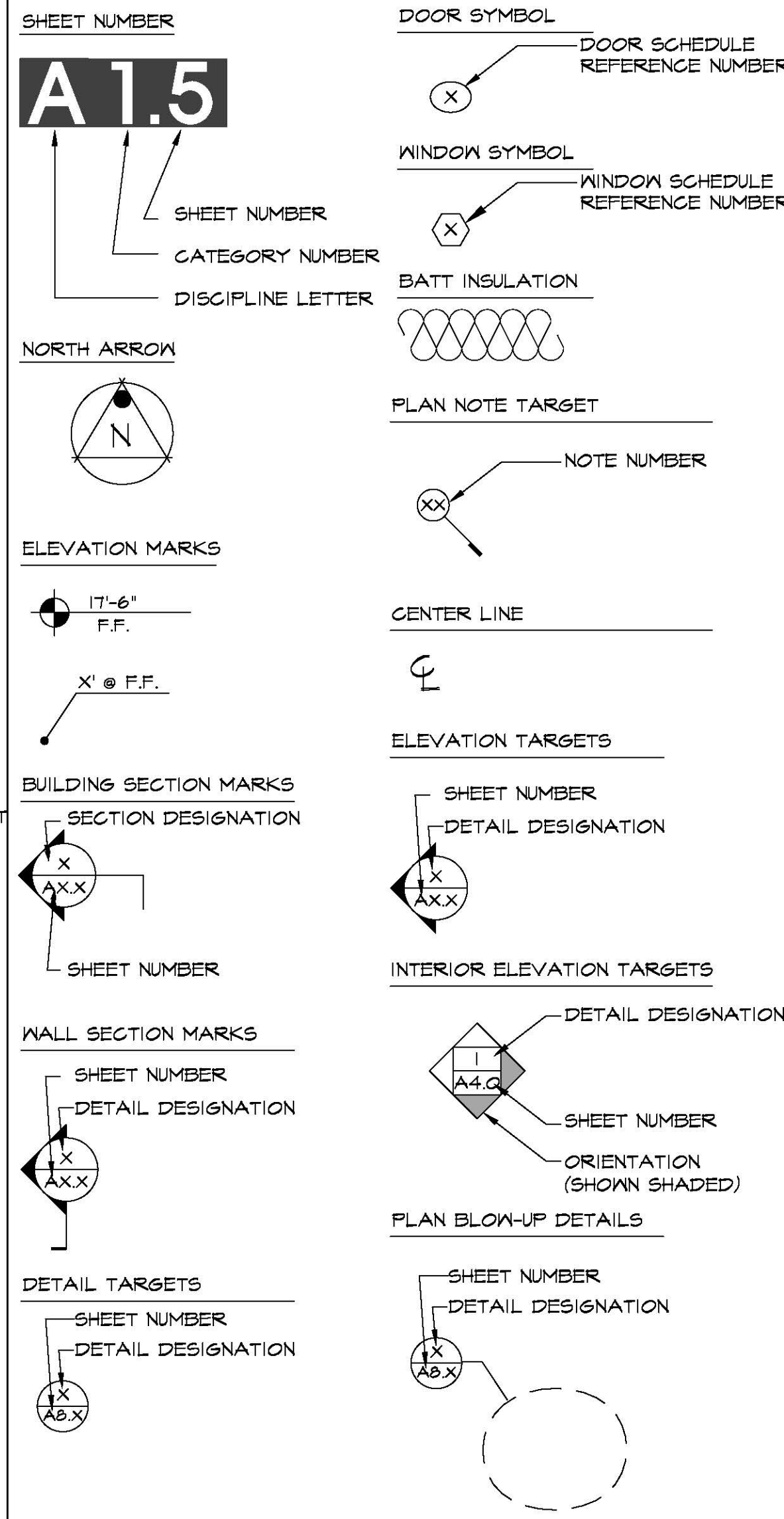
**APARTMENTS AT 6195**  
6195 MONTEZUMA ROAD  
SAN DIEGO, CA 92115



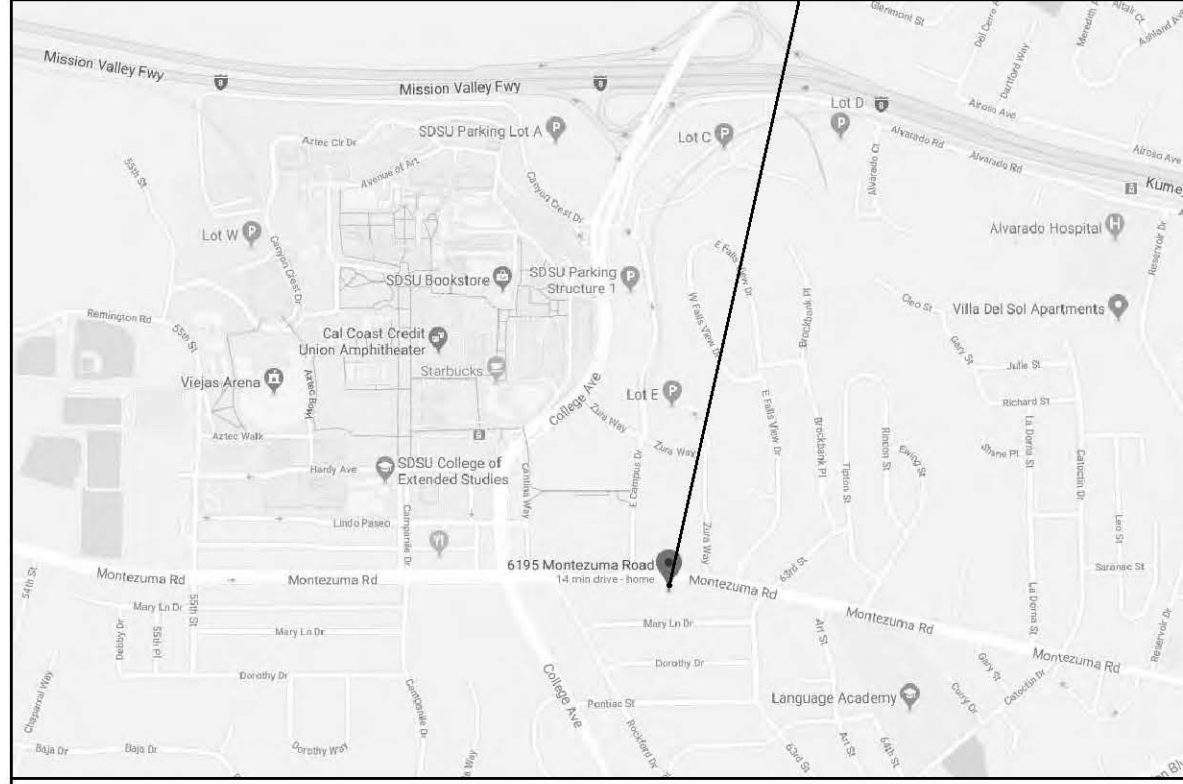
ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including A.C.O.U.S., A.C.T., A.D.J., A.F.F., A.G.S., A.L.U.M., A.L.T., A.P., APPROX., ARCH., ASPH., ASST., AUTO., B.D., B.L.D.G., B.O.T., B.U.R., C.A.B., C.I.R.C., C.L., C.L.R., C.L.G., C.L.O., C.M.U., C.O.L., C.O.N.F., C.O.N.N., C.O.NSTR., C.O.NT., C.O.NTR., C.O.O.R.D., C.O.R.R., C.P.T., C.J., C.T., C.T.R., C.V.M., D.B.L., D.E.M.O., D.E.P.T., D.I.A., D.I.A.S., D.I.F.F., D.I.M., D.I.V., D.N., D.P., D.R., D.T.L., E., E.A., E.L., E.L.A.S., E.L.E.G., E.L.E.V., E.M.E.R., E.N.C.L., E.N.G.R., E.N.T., E.N.J., E.P.N.L., E.Q., E.Q.U.I.P., E.W.C., E.X.H., E.X.I.S.T., E.X.P., E.X.T., F.D., F.D.N., F.F.E., F.F., F.H.C., F.I.N., F.L., F.L.E.X., F.L.O.U.R., F.T., F.R.U.N., F.U.R.R., F.U.T., G.A., G.A.L.V., G.E.N., G.L., G.N.D., G.R., G.Y.P. B.D., H.C., H.D.W.D., H.M., H.O.R.Z., H.R., H.T., H.T.G., H.V.A.C., H.W., I.N., I.N.G.A.N.D., I.N.C.L., I.N.S.U.L., I.N.T., I.N.T.E.R.M., J.A.N., J.T., K.I.T., L.A.M., L.A.U.N., L.A.V., L.B.(S), L.F., L.T., M.A.C.H., M.A.I.N.T., M.A.S.

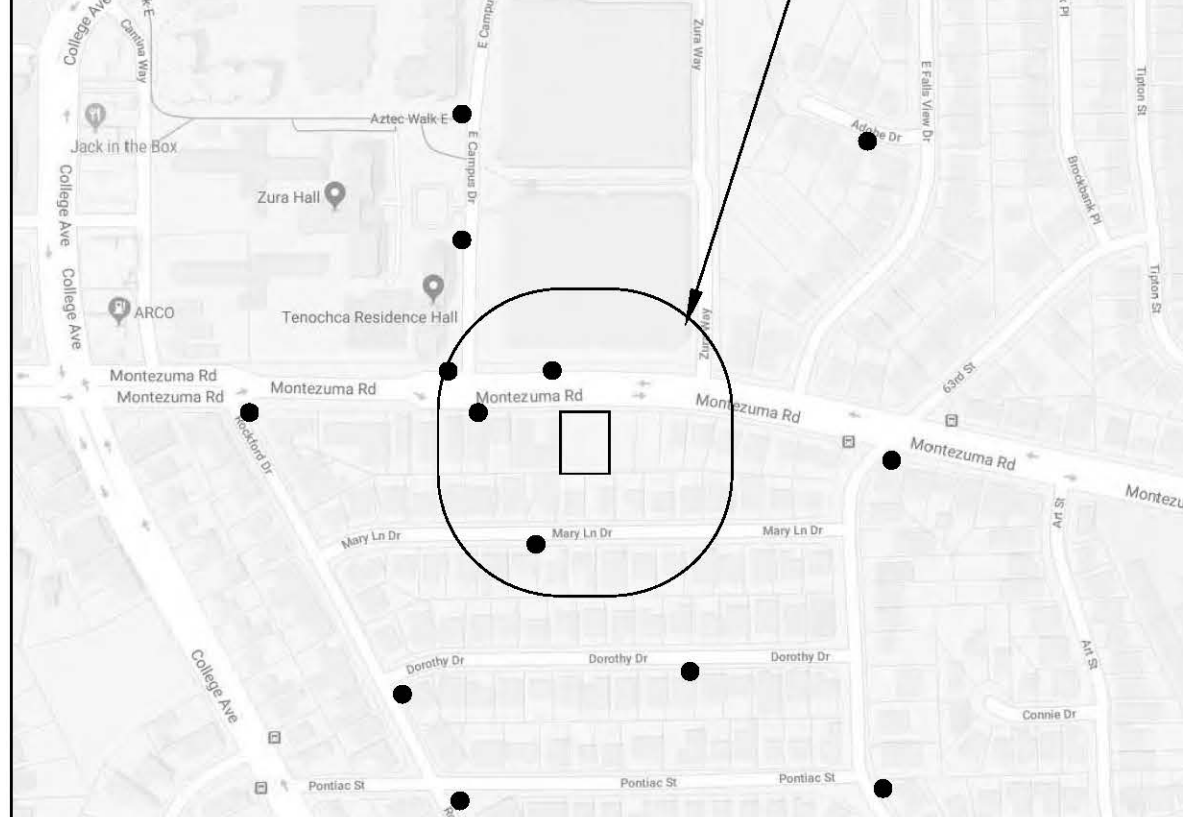
SYMBOLS



VICINITY MAP



HYDRANT MAP



NOTE: THE CLOSEST FIRE HYDRANT IS LOCATED ON THE NORTH SIDE OF MONTEZUMA ROAD DIRECTLY ACROSS FROM THE PROJECT SITE.

SHEET INDEX

Table listing sheet numbers and titles: GENERAL COVER SHEET PROJECT INFORMATION, CIVIL TOPOGRAPHIC SURVEY PRELIMINARY GRADING PLAN, ARCHITECTURAL A0.0 SITE PLAN, A1.0 PARKING PIT & BASEMENT STORAGE FLOOR PLAN, A1.1 PARKING GARAGE FLOOR PLAN, A1.2 1ST FLOOR PLAN, A1.3 2ND, 3RD & 4TH FLOOR PLANS, A1.4 ROOF PLAN, A2.0 ELEVATIONS, A2.1 ELEVATIONS, A2.2 ELEVATIONS, A3.0 SECTIONS, A3.1 SECTIONS, A7.0 CITY LIFT SPECIFICATIONS, LANDSCAPE L-1.0 LANDSCAPE DEVELOPMENT PLAN, L-1.1 LANDSCAPE DEVELOPMENT PLAN, PS-1.0 PHOTO SIMULATION.

GENERAL PLAN DEV. GOALS

THE PROPOSED PROJECT RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN. IN AN EFFORT TO REACH THESE GOALS, THE PROJECT WILL EMPLOY THE FOLLOWING: SOLAR PHOTOVOLTAIC SYSTEM FOR GENERATING POWER ON SITE LOCATED ON THE ROOF (UNDER SEPARATE PERMIT), HIGH EFFICIENCY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE, 'TENERGY STAR' APPLIANCES, DUAL PANE LOW-E GLAZING ON ALL NEW WINDOWS, USE OF LOW V.O.C. PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS, AND OTHER FINISHES WHERE FEASIBLE, USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE, NATURAL COOLING AND VENTILATION WITH OPERABLE WINDOWS, WATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE, USE OF PERMEABLE PAVING WHERE FEASIBLE, USE OF RAIN SENSOR SHUT OFF DEVICES, HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT, ELECTRICAL OUTLET ON SEPARATE CIRCUIT IN EACH GARAGE FOR ELECTRIC CAR USAGE.

SELF-CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT: 1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT; 2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS; 3. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION; 4. MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS; 5. SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW; 6. IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND 7. THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME I, CHAPTER 1, SECTION 4. RESPONSIBLE CERTIFIED PROFESSIONAL NAME: TIMOTHY GOLBA

PROJECT DIRECTORY

Table listing project contacts: OWNER: SKYSCRAPER INTERNATIONAL VENTURES, LP; ARCHITECT: GOLBA ARCHITECTURE; SURVEYOR & CIVIL ENGINEER: CHRISTENSEN ENGINEERS & SURVEYING; LANDSCAPE ARCHITECT: NERI LANDSCAPE ARCHITECTURE; STRUCTURAL: TITLE 24.

GROSS FLOOR AREA

Table showing Gross Floor Area (G.F.A.) for various areas: PARKING PIT (4,213 sq ft), PARKING GARAGE (8,376 sq ft), 1ST FLOOR (RESIDENTIAL) (6,146 sq ft), 2ND FLOOR (RESIDENTIAL) (6,146 sq ft), 3RD FLOOR (RESIDENTIAL) (6,146 sq ft), 4TH FLOOR (RESIDENTIAL) (6,146 sq ft), TOTAL (37,178 sq ft).

FLOOR AREA ANALYSIS

Table showing Floor Area Analysis for Parking Garage & Parking Pit: PARKING GARAGE (7,472 sq ft), PARKING GARAGE (11,527 sq ft), TOTAL (19,000 sq ft).

1ST - 4TH FLOORS

Table showing Unit Matrix for 1st-4th floors: UNIT MATRIX (A, B, C, D, E), STAIRS & ELEV., FLOOR S.F., TOTAL G.F.A. (23,136 sq ft).

PARKING CALCULATIONS

Table showing Parking Calculations for Automobile, Motorcycle, and Bicycle spaces: AUTOMOBILE SPACES (4 Bedroom Units: 20 units, 2.25 spaces required, 45 total required, 55 total provided), MOTORCYCLE SPACES (4 Bedroom Units: 20 units, .1 spaces required, 2 total required, 2 total provided), BICYCLE SPACES (4 Bedroom Units: 20 units, .6 spaces required, 12 total required, 12 total provided).

AUTOMOBILE SPACES PROVIDED

Table showing Automobile Spaces Provided: AT GRADE ADA ACCESSIBLE PARKING SPACES (2), AT GRADE STANDARD GUEST PARKING SPACES (3), PARKING LIFT SYSTEM #1, STANDARD SPACES (16), PARKING LIFT SYSTEM #2, STANDARD SPACES (16), TOTAL (47).

\*PER SAN DIEGO MUNICIPAL CODE SECTION 142.0556, THE PARKING SPACES IN THE AUTOMATED PARKING LIFT SYSTEMS ARE COUNTED TOWARDS THE REQUIRED PARKING SPACES.

PROJECT DATA

PROJECT DESCRIPTION: TO OBTAIN A DEVELOPMENT PERMIT FOR: A NEW FOUR STORY MULTI-FAMILY RESIDENTIAL APARTMENT BUILDING OVER A MULTI-LEVEL BELOW GRADE PARKING GARAGE ON A 28 ACRE VACANT LOT. EACH RESIDENTIAL FLOOR WILL CONSIST OF FIVE FOR RENT DWELLING UNITS RANGING IN SIZE FROM 1,085 S.F. TO 1,214 S.F. ALL LEVELS OF THE STRUCTURE SHALL BE ACCESSIBLE BY A CENTRAL ELEVATOR. THE GROUND FLOOR SHALL CONSIST OF A 349 S.F. RENTAL AND MANAGEMENT OFFICE, A 160 S.F. ENTRY LOBBY AND A PARKING GARAGE WITH EXTENDED HEIGHT AND PARKING PIT TO ACCOMMODATE THREE (3) LEVEL, TANDEM, AUTOMATED PARKING LIFT SYSTEMS. ALONG WITH THE PARKING PIT, THE BASEMENT WILL INCLUDE STORAGE UNITS AND COMMON LAUNDRY FACILITIES.

SITE ADDRESS: 6195 MONTEZUMA ROAD SAN DIEGO, CA 92115. ASSESSOR'S PARCEL NUMBER: 467-171-27-00. LEGAL DESCRIPTION: LOTS 186 AND 187 OF COLLWOOD PARK UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2445, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 12, 1948, TOGETHER WITH THAT PORTION OF THE SOUTH 6.00 FEET OF MONTEZUMA ROAD ADJOINING SAID LOT 186 AND 187 ON THE NORTH AS CLOSED TO PUBLIC USE BY RESOLUTION NO. 184453, RECORDED AUGUST 6, 1965 AS FILE NO. 14142T.

YEAR BUILT: VACANT LOT. EXISTING SOILS CONDITION: PREVIOUSLY GRADED & DISTURBED. GEOLOGIC HAZARD CAT.: 5B. OCCUPANCY: R-2 & S-2. CONSTRUCTION TYPE: TYPE VA OVER TYPE IIIA (FULLY SPRINKLERED). LOT ZONING: RM-3-9. CORE SUBAREA: COLLEGE COMMUNITY REDEVELOPMENT PROJECT. OVERLAY ZONES: -AIRPORT LAND USE COMPATIBILITY OZ, -AIRPORT INFLUENCE AREA (REVIEW AREA 2), -PARKING IMPACT OZ (CAMPUS AREA IMPACT), -TRANSIT PRIORITY AREA. LOT SIZE: 12,202 S.F. (28 AC). LOT USE: EXISTING: VACANT LOT PROPOSED: MULTI-FAMILY RESIDENTIAL. F.A.R.: ALLOWABLE: 2.1 = 32,945 S.F. 4,213 S.F. BONUS PER SDMG 131.0446(F) PROPOSED: 2.1 = 32,960 S.F. DENSITY: ALLOWABLE: 1 DU PER 600 S.F. = 20 DWELLING UNITS PROPOSED: 20 DWELLING UNITS. NUMBER OF STORIES: EXISTING: VACANT LOT PROPOSED: 4 STORIES OVER SUBTERRANEAN PARKING GARAGE. BUILDING HEIGHT: ALLOWABLE: 60'-0" PROPOSED: VARIES, 59'-9" MAX. PLUMB LINE STRUCTURE HEIGHT. LOT COVERAGE: ALLOWABLE: 60% PROPOSED: 53%.

Prepared By: Golba Architecture, 1940 Garnet Ave., Suite 100 San Diego, CA 92109. Revision 7: X, Revision 6: X, Revision 5: X, Revision 4: X, Revision 3: 10-26-18, Revision 2: 04-18-18, Revision 1: 05-22-18.

Project Addresses: 6195 Montezuma Road San Diego, CA 92115. Original Date: 01-04-18.

Project Name: APARTMENTS AT 6195. Sheet 2 of 20.

LEGEND & GEN. NOTES

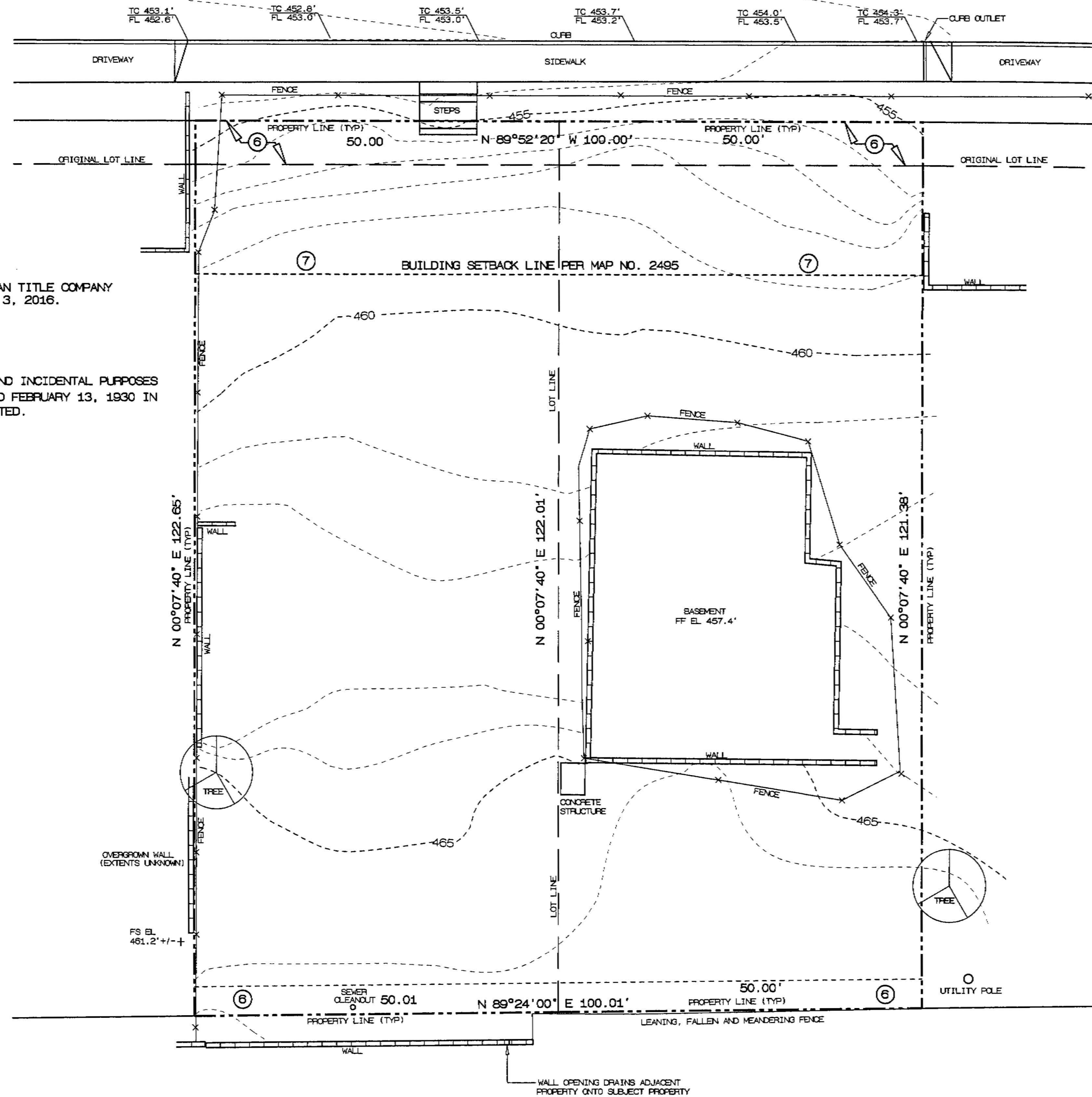
Vertical banner for GOLBA ARCHITECTURE INC. APARTMENTS AT 6195. Includes contact information for Interior Design and Architecture, and a large stylized logo.



SCALE: 1" = 10'

CONTOUR INTERVAL: 1'

MONTEZUMA ROAD



**TITLE REFERENCE**

TITLE INFORMATION FOR THIS SURVEY IS FROM NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 1300269, DATED MAY 3, 2016.

**TITLE NOTES**

- ⑤ AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED FEBRUARY 13, 1930 IN BOOK 1740 OF DEEDS, PAGE 206. EASEMENT CAN NOT BE PLOTTED.
- ⑥ AN EASEMENT AS SHOWN OR DEDICATED ON THE MAP.
- ⑦ A 15' SETBACK LINE AS DISCLOSED ON TRACT MAP.

**LEGAL DESCRIPTION**

LOT 186 AND 187 OF COLLWOOD PARK UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2495, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY AUGUST 12, 1948, TOGETHER WITH THAT PORTION OF THE SOUTH 6.00 FEET OF MONTEZUMA ROAD ADJOINING SAID LOT 186 AND 187 ON THE NORTH AS CLOSED TO PUBLIC USE BY RESOLUTION NO. 184453, RECORDED AUGUST 6, 1965 AS FILE NO. 141427.

**NOTES**

- 1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. TITLE REPORT NOT PROVIDED.
- 2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
- 3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 6195 MONTEZUMA ROAD, SAN DIEGO, CA 92118.
- 4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 467-171-27.
- 5. THE TOTAL AREA OF THE SUBJECT PARCEL IS 0.28 ACRES.

**BENCHMARK**

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NORTH-WESTERLY CORNER OF MONTEZUMA ROAD AND E FALLS VIEW DRIVE. ELEVATION 459.201' MEAN SEA LEVEL (N.G.V.D. 1929).

**ABBREVIATIONS**

EL	ELEVATION
FF	FINISH FLOOR
FL	FLOW LINE
FS	FINISH SURFACE
TC	TOP OF CURB
TYP	TYPICAL

*Patrik F. Christensen*  
 PATRIK F. CHRISTENSEN, P.L.S. 7208

03-20-17  
 Date



Prepared By:  
 CHRISTENSEN ENGINEERING & SURVEYING  
 7888 SILVERTON AVENUE, SUITE "J"  
 SAN DIEGO, CA 92126  
 PHONE (858)271-9901 FAX (858)271-8912

Project Address:  
 6195 MONTEZUMA ROAD  
 SAN DIEGO, CA 92115

- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 9-07-18 BENCHMARK REV.
- Revision 1: 5-4-17 ADD TITLE NOTES

Project Name:  
 MONTEZUMA ROAD

Original Date: MARCH 20, 2017

TOPOGRAPHIC MAP

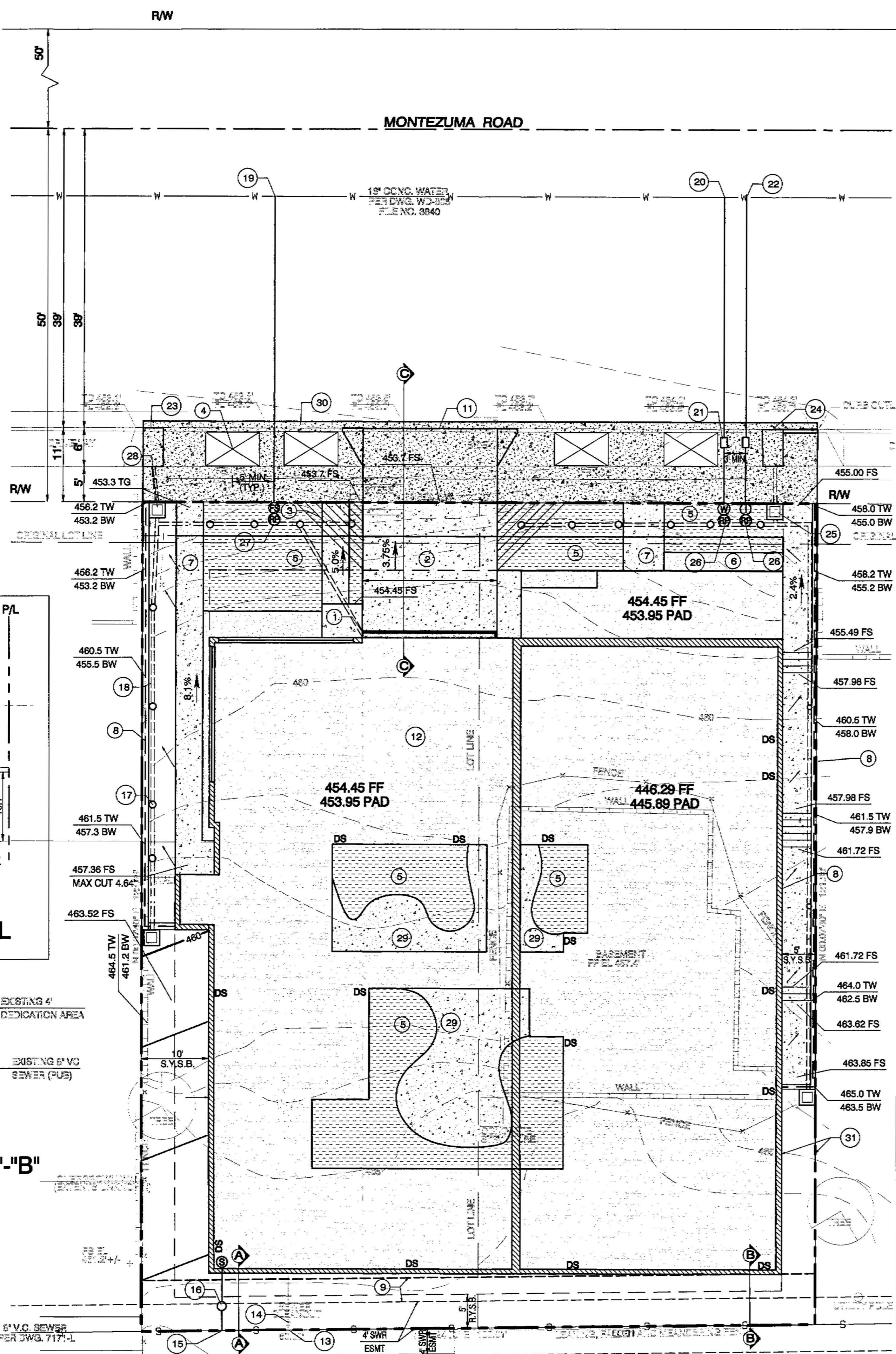
Sheet 1 of 1

DEP# \_\_\_\_\_

**CE & S** CHRISTENSEN ENGINEERING & SURVEYING  
 CIVIL ENGINEERS LAND SURVEYORS PLANNERS  
 7888 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126  
 TELEPHONE (858)271-9901 FAX (858)271-8912

**LEGEND**

- PROPERTY/ RIGHT OF WAY LINE
- EXISTING CONTOUR
- PROPOSED AREA DRAIN
- PROPOSED PVC DRAIN
- PROPOSED CONCRETE SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED PERMEABLE ROCK MULCH
- PROPOSED LANDSCAPING
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- PROPOSED SITE WALL
- SETBACK LINE
- PROPOSED DRIVEWAY
- EASEMENT LINE
- BUILDING FOOTPRINT
- STREET TREE ROOT ZONE
- CURB OUTLET (MODIFIED) WITH CATCH BASIN TO SERVE AS CLEANOUT



**CONSTRUCTION NOTES**

- 6" TRENCH DRAIN AT GARAGE ENTRANCE
- PERMEABLE DRIVEWAY PAVEMENT
- VISIBILITY TRIANGLE - NOTHING TO EXCEED 36" IN HEIGHT THIS AREA. (TYP.) NO LANDSCAPING SPECIES TO EXCEED 24" IN HEIGHT AT MATURITY.
- PROPOSED STREET TREE (TYP.) EMRA REQUIRED.
- PROPOSED LANDSCAPING/ IRRIGATION (TYP.)
- PROPOSED ROCK MULCH AREA (TYP.)
- PROPOSED WALKWAY (TYP.)
- PROPOSED RETAINING WALL (TYP.)
- PROPOSED ADDITIONAL 3.5' SEWER EASEMENT DEDICATION
- NOT USED
- C/L PROPOSED 20' DRIVEWAY PER SDG-159
- PROPOSED MULTI-FAMILY RESIDENCE
- EXISTING SEWER LATERAL TO BE ABANDONED AT P/L
- EXISTING SEWER CLEANOUT TO BE ABANDONED IN PLACE
- PROPOSED PVT 6" SEWER LATERAL PER SDS-105
- PROPOSED PVT SEWER CLEANOUT PER SDS-102 TO FLOW BY GRAVITY TO PUBLIC SEWER MAIN
- PROPOSED DRAIN
- PROPOSED PVC DRAIN PIPE
- PROPOSED 4" FIRE SERVICE
- PROPOSED 2" WATER SERVICE
- PROPOSED WATER METER BOX (TYP.)
- PROPOSED 1" IRRIGATION SERVICE
- PROPOSED CURB OUTLET PER D-25 (MODIFIED) Q100=0.39 CFS V100=2.32 FPS 452.7 FL
- PROPOSED CURB OUTLET PER D-25 (MODIFIED) Q100=0.47 V100= 2.48 FPS 453.6 FL
- CATCH BASIN (TO SERVE AS CLEANOUT FOR CURB OUTLET)
- BACKFLOW PREVENTER (DOMESTIC/IRRIGATION) MODEL: ZURN-WILKINS 975XL-2
- BACKFLOW PREVENTER (FIRE SERVICE) MODEL: ZURN-WILKINS 475DA OR 375ADA
- CATCH BASIN
- PROPOSED PVT CONCRETE WALKWAY
- REMOVE EXISTING CURB AND REPLACE WITH CURB, GUTTER & SIDEWALK PER SDG-158 ENTIRE FRONTAGE OF PROPERTY PRESERVE EXISTING CONTRACTOR STAMPS MATCH EXISTING SCORING PATTERN
- PROPOSED 5' PEDESTRIAN ACCESS EASEMENT

**PRELIMINARY GRADING PLAN NO. LEGAL DESCRIPTION**

LOT 186 AND 187 OF COLLWOOD PARK UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2495, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY AUGUST 12, 1948, TOGETHER WITH THAT PORTION OF THE SOUTH 6.00 FEET OF MONTEZUMA ROAD ADJOINING SAID LOT 186 AND 187 ON THE NORTH AS CLOSED TO PUBLIC USE BY RESOLUTION NO. 184459, RECORDED AUGUST 6, 1965 AS FILE NO. 141427.

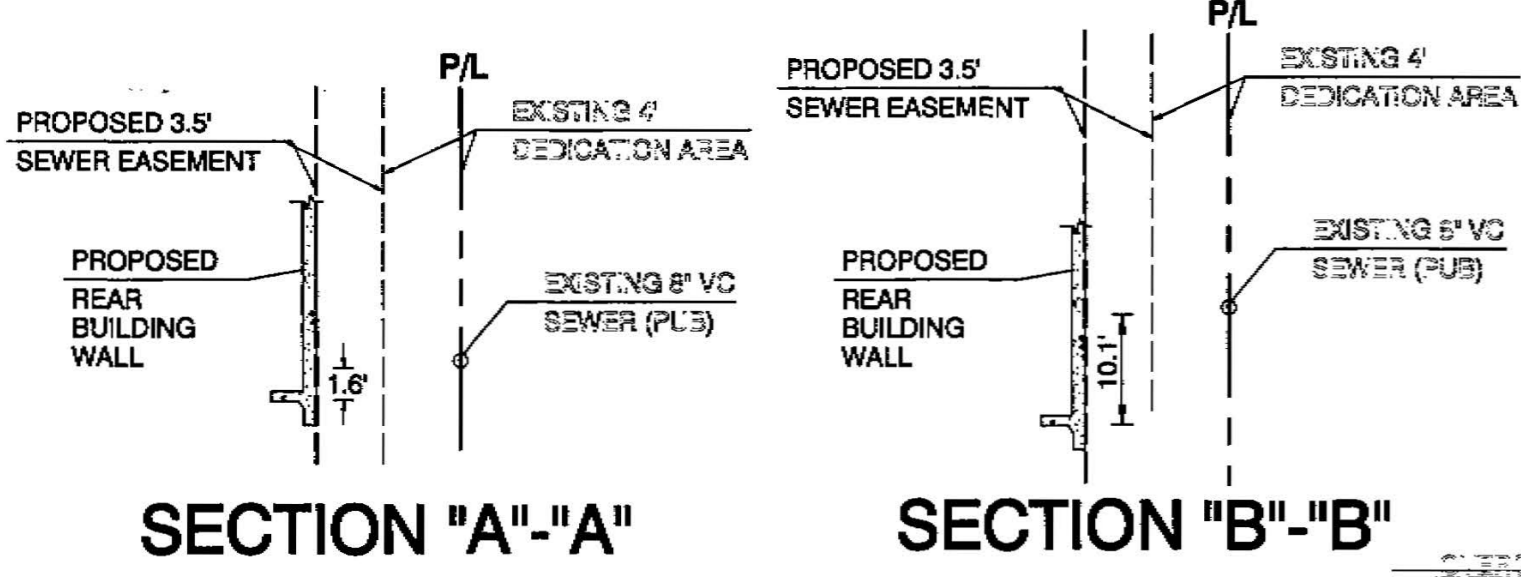
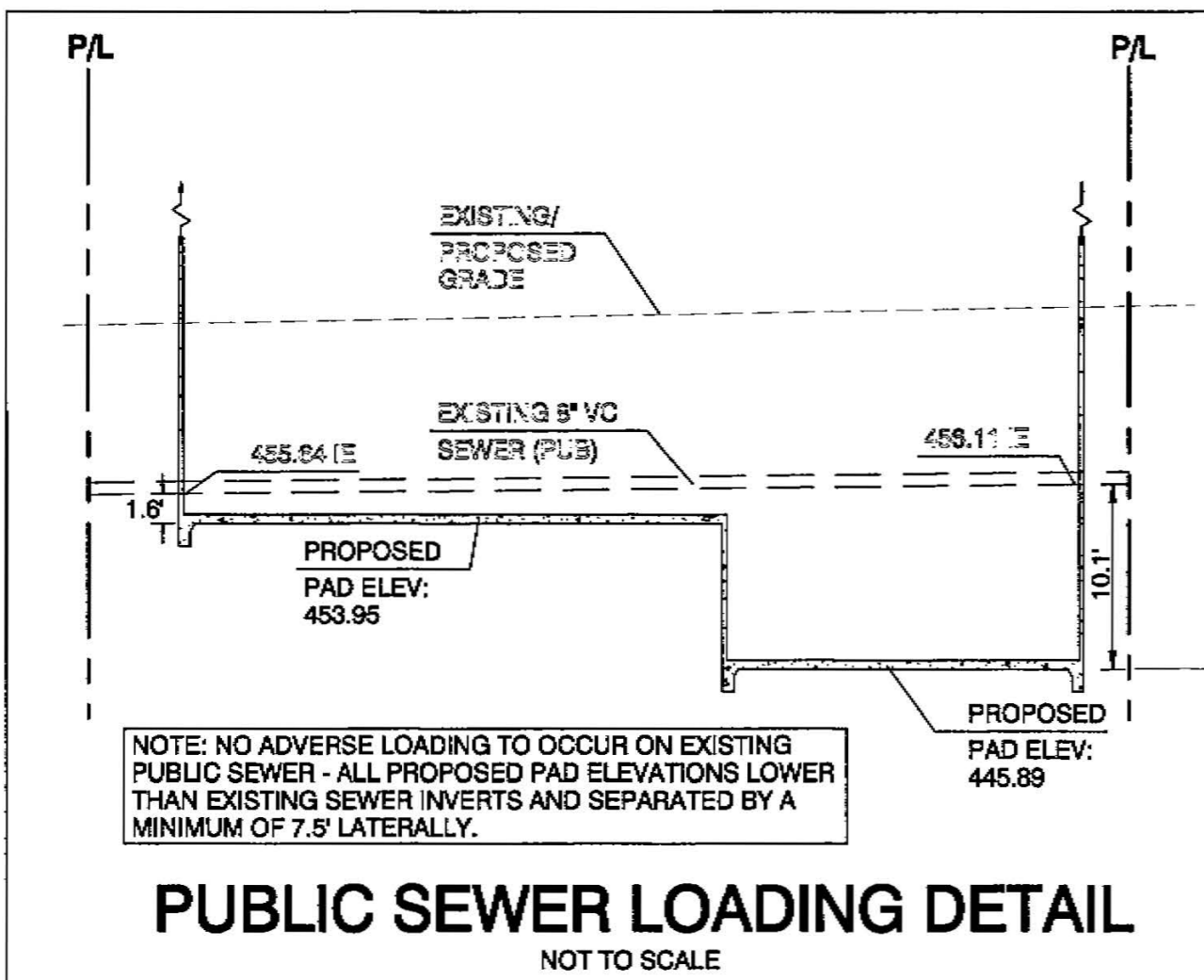
**NOTES**

- THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS THE GROUND SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING DATED MARCH 20, 2017
- THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER AND WATER MAINS.
- DEVELOPER SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY.
- THE ASSESSOR PARCEL NUMBER IS: 467-171-27-00
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- SITE RUNOFF SHALL BE TREATED BY RUNNING OVER LANDSCAPING BEFORE LEAVING THE SITE.
- ALL ONSITE WALLS ARE SHOWN FOR INFORMATION ONLY AND BY SEPARATE PERMIT
- THE BENCHMARK USED FOR THIS PROJECT IS: CITY OF SAN DIEGO BENCHMARK BRASS PLUG AT THE NORTH-WESTERLY CORNER OF MONTEZUMA ROAD AND E. FALLS VIEW DRIVE. ELEVATION 459.201' MSL (N.G.V.D. 1929)
- THIS PROJECT PROPOSES TO EXPORT 5,985 CUBIC YARDS OF MATERIAL FROM THE SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE 2015 GREENBOOK AND SUPPLEMENTAL AMENDMENTS. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL, ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
- ALL RETAINING WALLS ARE SHOWN FOR INFORMATION PURPOSES ONLY. SEE STRUCTURAL PLAN FOR RETAINING WALL INFORMATION.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' OR GREATER AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

**GRADING DATA**

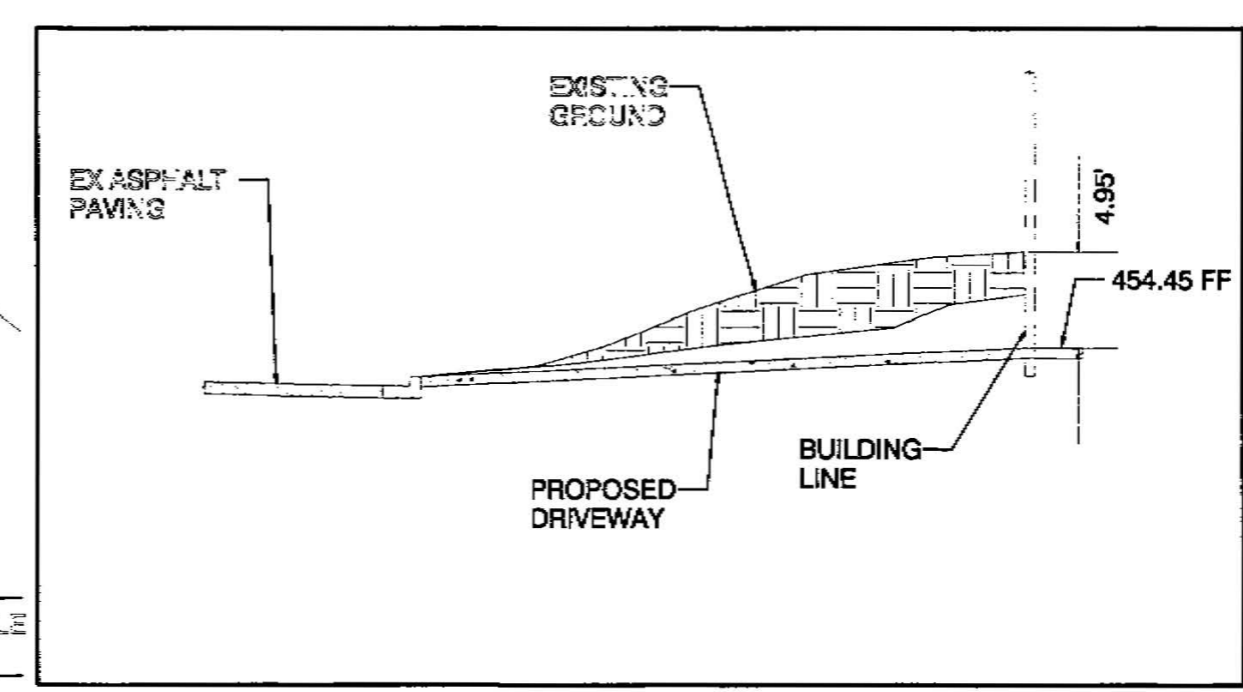
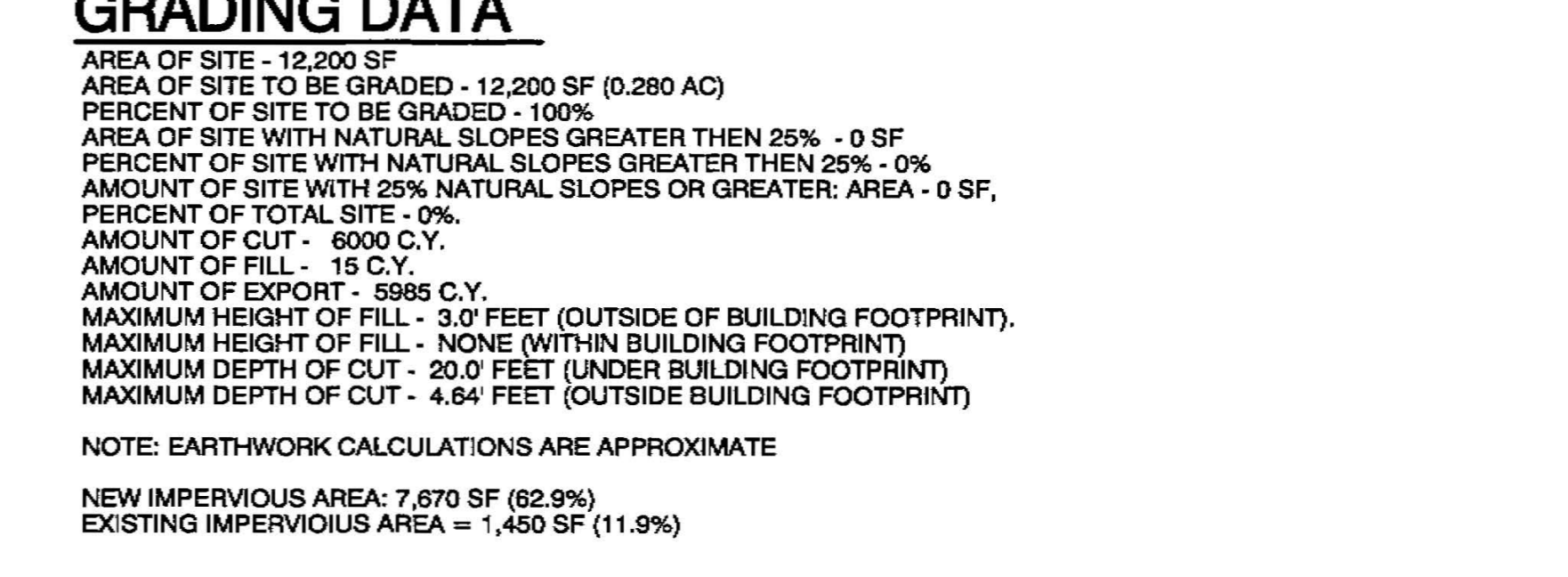
AREA OF SITE - 12,200 SF  
 AREA OF SITE TO BE GRADED - 12,200 SF (0.280 AC)  
 PERCENT OF SITE TO BE GRADED - 100%  
 AREA OF SITE WITH NATURAL SLOPES GREATER THEN 25% - 0 SF  
 PERCENT OF SITE WITH NATURAL SLOPES GREATER THEN 25% - 0%  
 AMOUNT OF SITE WITH 25% NATURAL SLOPES OR GREATER: AREA - 0 SF, PERCENT OF TOTAL SITE - 0%  
 AMOUNT OF CUT - 6000 C.Y.  
 AMOUNT OF FILL - 15 C.Y.  
 AMOUNT OF EXPORT - 5985 C.Y.  
 MAXIMUM HEIGHT OF FILL - 3.0' FEET (OUTSIDE OF BUILDING FOOTPRINT)  
 MAXIMUM HEIGHT OF FILL - NONE (WITHIN BUILDING FOOTPRINT)  
 MAXIMUM DEPTH OF CUT - 20.0' FEET (UNDER BUILDING FOOTPRINT)  
 MAXIMUM DEPTH OF CUT - 4.64' FEET (OUTSIDE BUILDING FOOTPRINT)

NOTE: EARTHWORK CALCULATIONS ARE APPROXIMATE  
 NEW IMPERVIOUS AREA: 7,670 SF (62.9%)  
 EXISTING IMPERVIOUS AREA = 1,450 SF (11.9%)



NOTE: ALL WALKWAYS EXCEEDING 5% IN SLOPE TO HAVE HANDRAILS ON BOTH SIDES. NO WALKWAYS TO EXCEED 8.33% IN SLOPE.

UTILITY NOTE: CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION ACTIVITIES BEGIN.



**SECTION C-C**  
 SCALE: 1" = 10'  
 (AREA OF GREATEST CUT)

ANTONY K. CHRISTENSEN, RCE 54021  
 OCTOBER 24, 2018  
 Date



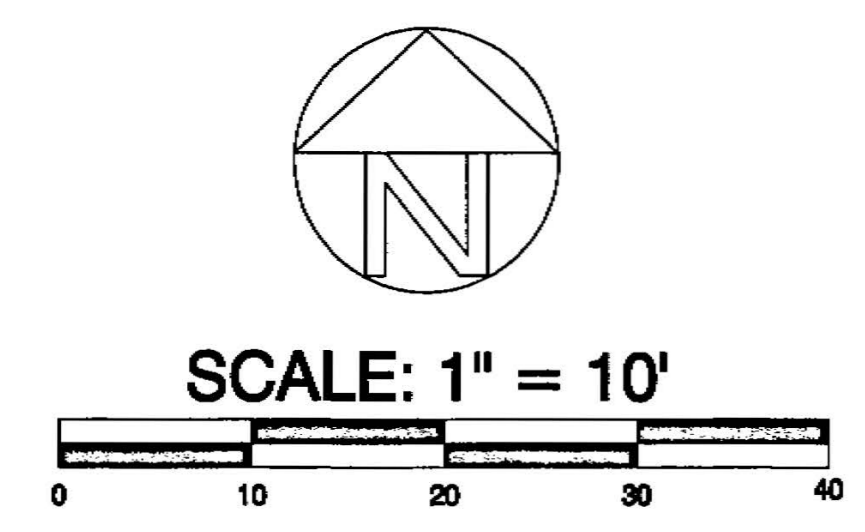
Prepared By:  
 CHRISTENSEN ENGINEERING & SURVEYING  
 7888 SILVERTON AVENUE, SUITE 'J'  
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Project Address:  
 6195 MONTEZUMA ROAD  
 SAN DIEGO, CA 92115

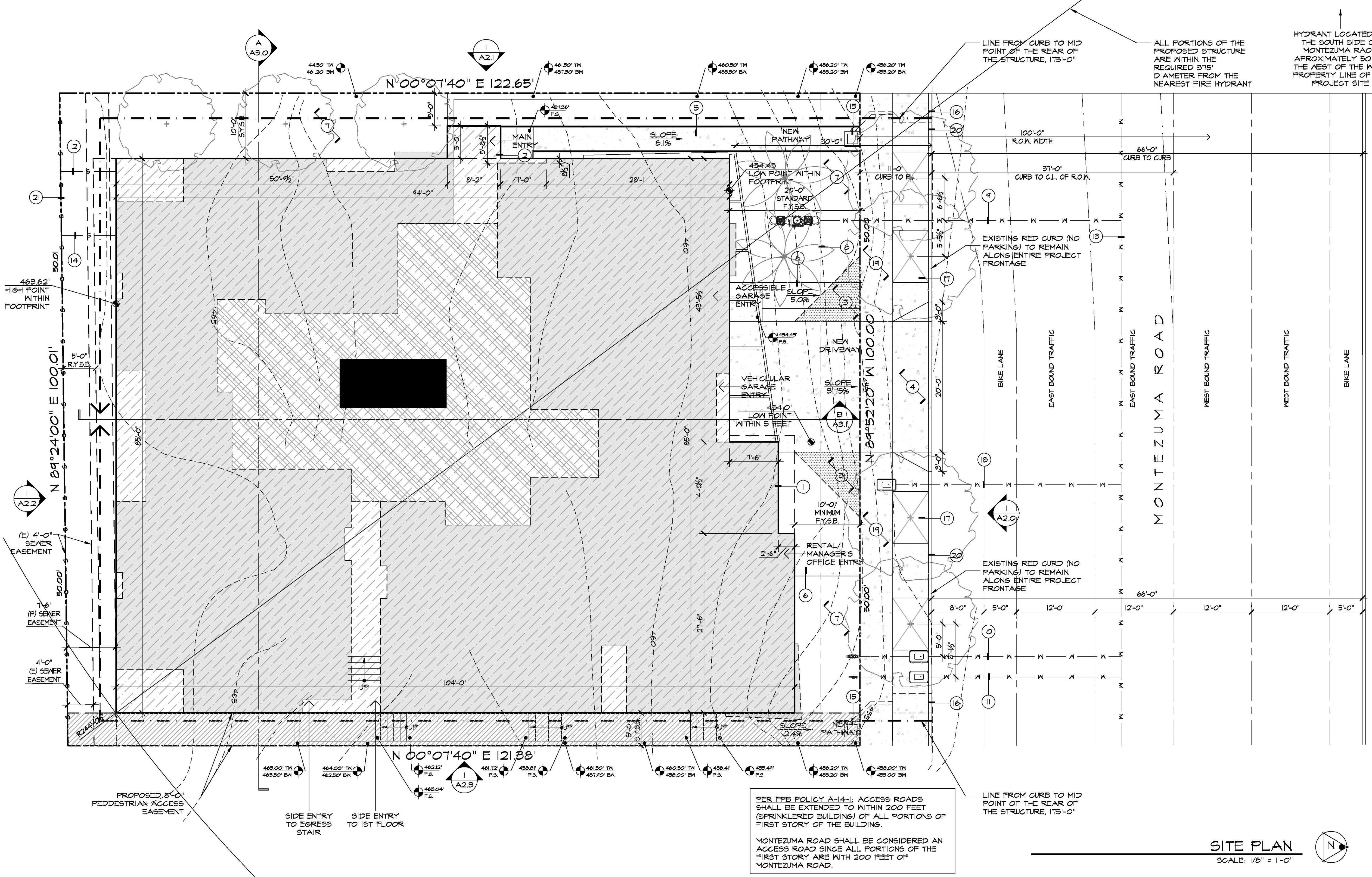
Revision 5:  
 Revision 4:  
 Revision 3: 10-24-18 REVISE WALL GRADES  
 Revision 2: MAY 8, 2018  
 Revision 1: APRIL 22, 2018

Project Name:  
 6195 MONTEZUMA ROAD  
 SAN DIEGO, CA 92115

Sheet Title: PRELIMINARY GRADING PLAN

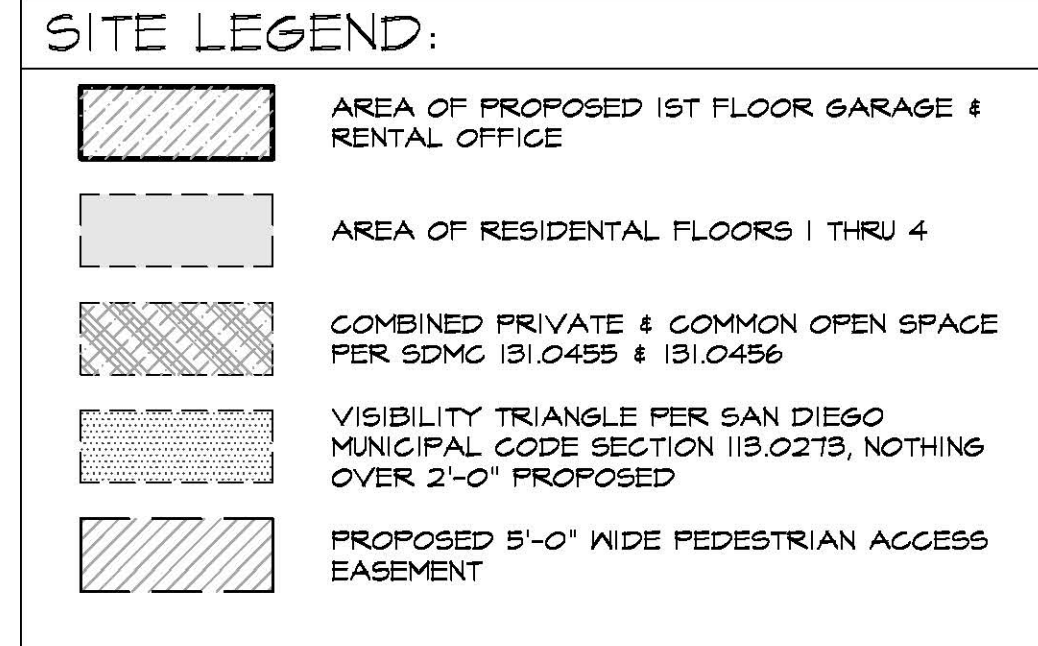


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- ### SITE NOTES
- FOR EXISTING AND PROPOSED, ON-SITE AND OFF-SITE UTILITIES, PLEASE SEE THE PROPOSED GRADING PLAN.
  - ALL PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRE AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
  - NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3'-0" OR HIGHER AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5'-0" OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
  - THE ENTIRE EXISTING CURB ALONG THE PROPERTY FRONTAGE (EXCEPT FOR 15' NEAR THE MIDDLE OF THE FRONT PROPERTY LINE) IS RED AS THE DRIVE LANES OF MONTEZUMA ROAD SHIFT FROM TWO LANES IN EACH DIRECTION TO A CENTER TURN LANE TO TWO LANES IN EITHER DIRECTION & STREET PARKING ON THE SOUTH SIDE OF MONTEZUMA ROAD STARTS AT THE EASTERN PROPERTY LINE OF THE PROJECT SITE.
  - PRIVATE SEWER INFRASTRUCTURE WITHIN THE PUBLIC SEWER EASEMENT SHALL BE DESIGNED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE.

- ### SITE PLAN KEYNOTES
- BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 45.0204
  - KNOX BOX PER FIRE DEPARTMENT POLICY K-15-2
  - VISIBILITY TRIANGLE PER SAN DIEGO MUNICIPAL CODE SECTION 113.0213, NOTHING OVER 2'-0" PROPOSED
  - PROPOSED DRIVEWAY PER SDS-160
  - ADA ACCESSIBLE RAMP, 8.1% SLOPE WITH HANDRAILS
  - ADA ACCESSIBLE RAMP, LESS THAN 5.0% SLOPE, HANDRAILS NOT REQUIRED PER CALIFORNIA BUILDING CODE SECTION 1114A.6.1
  - LANDSCAPE AREA, SEE LANDSCAPE DEVELOPMENT PLAN SHEETS L1.0 & L1.1
  - ORIGINAL LOT LINE
  - PROPOSED 4" FIRE SERVICE W/ BACKFLOW PREVENTOR PER PRELIMINARY GRADING PLAN
  - PROPOSED 2" WATER SERVICE W/ BACKFLOW PREVENTOR PER PRELIMINARY GRADING PLAN
  - PROPOSED 1" IRRIGATION SERVICE W/ BACKFLOW PREVENTOR PER PRELIMINARY GRADING PLAN
  - PROPOSED PRIVATE 6" SEWER LATERAL PER SDS-105 PER PRELIMINARY GRADING PLAN
  - EXISTING 16" CONC. WATER MAIN PER DWS. WD-805 FILE NO. 3840 PER PRELIMINARY GRADING PLAN
  - EXISTING SEWER LATERAL TO BE ABANDONED AT PROPERTY LINE
  - PROPOSED CATCH BASIN PER PRELIMINARY GRADING PLAN
  - PROPOSED CURB OUTLET PER D-25 (MODIFIED) PER PRELIMINARY GRADING PLAN
  - PROPOSED STREET TREE WITH ROOT BARRIER, SEE LANDSCAPE DEVELOPMENT PLAN SHEETS L1.0 & L1.1
  - EXISTING WATER LATERAL PER DWS. 11136-5-D TO BE KILLED AT THE MAIN
  - PROPOSED NON-CONTIGUOUS SIDEWALK PER SDS-155
  - REMOVE EXISTING CURB AND REPLACE WITH CURB, GUTTER AND SIDEWALK PER SDS-156 ENTIRE FRONTAGE OF PROPERTY PRESERVE EXISTING CONTRACTORS STAMPS MATCH EXISTING SCORING PATTERN
  - EXISTING 8" V.C. SEWER MAIN PER DWS. 7171-L



PER FFB POLICY A-144, ACCESS ROADS SHALL BE EXTENDED TO WITHIN 200 FEET (SPRINKLERED BUILDING) OF ALL PORTIONS OF FIRST STORY OF THE BUILDING.

MONTEZUMA ROAD SHALL BE CONSIDERED AN ACCESS ROAD SINCE ALL PORTIONS OF THE FIRST STORY ARE WITH 200 FEET OF MONTEZUMA ROAD.

**SITE PLAN**  
SCALE: 1/8" = 1'-0"

### OPEN SPACE AREA CALCS.

PER SDMG 131.0455: AT LEAST 75% OF THE DWELLING UNITS SHALL BE PROVIDED WITH AT LEAST 60 S.F. OF USABLE, PRIVATE, EXTERIOR OPEN SPACE.

20 x 75 = 15  
15 x 60 = 900 S.F.

PER SDMG 131.0456: THE COMMON OPEN SPACE AREA SHALL BE AT LEAST 300 S.F. OR 25 S.F. PER DWELLING UNIT.

20 x 25 = 500 S.F.

THE PROPOSED DEVELOPMENT IS REQUESTING A DEVIATION IN ORDER TO ELIMINATE THE PRIVATE OPEN SPACE REQUIREMENT, THEREFORE THE COMMON OPEN SPACE AREA SHALL BE LARGE ENOUGH TO ACCOUNT FOR THE LOSS OF PRIVATE OPEN SPACE.

REQUIRED PRIVATE OPEN SPACE:	900 S.F.
REQUIRED COMMON OPEN SPACE:	500 S.F.
TOTAL REQUIRED OPEN SPACE:	1,400 S.F.
TOTAL PROVIDED OPEN SPACE:	1,850 S.F.

- ### FIRE NOTES
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 45.0204.
  - POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
  - VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
  - DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.
  - ALL BUILDINGS FOUR STORIES OR MORE SHALL BE PROVIDED WITH AT LEAST ONE STANDPIPE FOR USE DURING CONSTRUCTION INSTALLED IN ACCORDANCE WITH CFC 8913.1.
  - ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 93 OF THE CFC.

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**Project Addresses:**  
6195 Montezuma Road  
San Diego, CA 92115

**Project Name:**  
APARTMENTS AT 6195

**Sheet Title:**  
SITE PLAN

Revision 7: X  
Revision 6: X  
Revision 5: X  
Revision 4: X  
Revision 3: 10-26-18  
Revision 2: 04-18-18  
Revision 1: 05-22-18

Original Date:  
01-04-18

Sheet 5 Of 20

**GOLBA ARCHITECTURE**  
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**APARTMENTS AT 6195**  
6195 MONTEZUMA ROAD  
SAN DIEGO, CA 92115



**golba**  
ARCHITECTURE  
A.O.O.

REV. DATE:   
DATE: 10-26-18

FLOOR PLAN NOTES:

1. THE PROPOSED MULTI-FAMILY & PARKING GARAGE STRUCTURE SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM, CONNECTED & INSTALLED IN ACCORDANCE WITH A FIRE SPRINKLER SYSTEM THAT COMPLIES WITH SECTION R310 OR NFPA 13D.
2. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.

FLOOR PLAN LEGEND

- NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
- NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
- 1 HR. RATED WALL
- 3/8" METAL STUD FRAMING
- NEW 8" CONCRETE WALL PER STRUCTURAL DWGS.
- NEW 12" CONCRETE WALL PER STRUCTURAL DWGS.
- NEW 16" CONCRETE WALL PER STRUCTURAL DWGS.
- ACCESSIBLE PATH OF TRAVEL PER CALIFORNIA BUILDING CODE SECTIONS 1110A THRU 1118A FOR EXTERIOR ROUTES AND SECTIONS 1119A THRU 1125A FOR INTERIOR ROUTES
- (X\*) (X\*) INDICATES WINDOW OR DOOR TO BE TEMPERED
- (SD) SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
- (CD) CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
- (EF) EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/ HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.
- (FE) FIRE EXTINGUISHER, SIZE & TYPE PER CFC SECTION 906

PARKING LEGEND

- (X) MEZZ. INDICATES PARKING STALL NUMBER & LEVEL AT THE MECHANICAL PARKING LIFT SYSTEMS, "L" INDICATES AN OPEN SPACE AT THE GARAGE LEVEL TO ALLOW FOR ON DEMAND ACCESS TO ALL VEHICLES IN EACH LIFT SYSTEM
- (- ) GAR. INDICATES AN OPEN SPACE AT THE GARAGE LEVEL TO ALLOW FOR ON DEMAND ACCESS TO ALL VEHICLES IN EACH LIFT SYSTEM
- (X) PIT. INDICATES AN OPEN SPACE AT THE GARAGE LEVEL TO ALLOW FOR ON DEMAND ACCESS TO ALL VEHICLES IN EACH LIFT SYSTEM

PARKING CALCULATIONS

AUTOMOBILE SPACES					
UNIT SIZE	QUANTITY	SPACES REQUIRED	TOTAL REQUIRED	TOTAL PROVIDED*	
4 BEDROOM UNITS	20	2.25	45	55	
MOTORCYCLE SPACES					
UNIT SIZE	QUANTITY	SPACES REQUIRED	TOTAL REQUIRED	TOTAL PROVIDED	
4 BEDROOM UNITS	20	1	2	2	
BICYCLE SPACES					
UNIT SIZE	QUANTITY	SPACES REQUIRED	TOTAL REQUIRED	TOTAL PROVIDED	
4 BEDROOM UNITS	20	6	12	12	
*AUTOMOBILE SPACES PROVIDED					
LOCATION & TYPE				SPACES PROVIDED	
AT GRADE ADA ACCESSIBLE PARKING SPACES				2	
AT GRADE STANDARD GUEST PARKING SPACES				3	
PARKING LIFT SYSTEM #1, STANDARD SPACES				16	
PARKING LIFT SYSTEM #2, STANDARD SPACES				16	
PARKING LIFT SYSTEM #3, STANDARD SPACES				10	
<b>TOTAL</b>				<b>47</b>	

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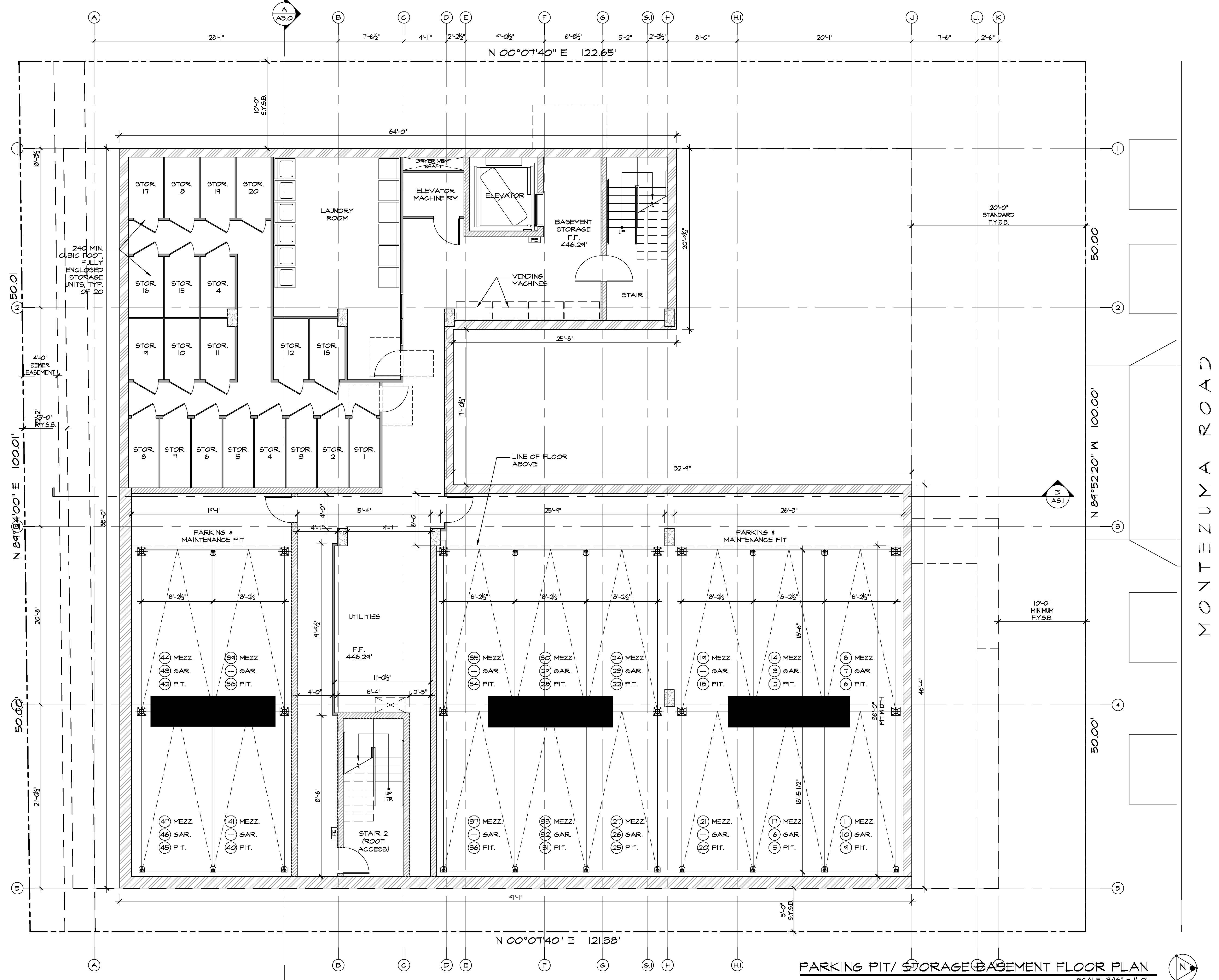
Project Addresses:  
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San Diego, CA 92115

Original Date:  
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APARTMENTS AT 6195

Sheet 6 Of 20

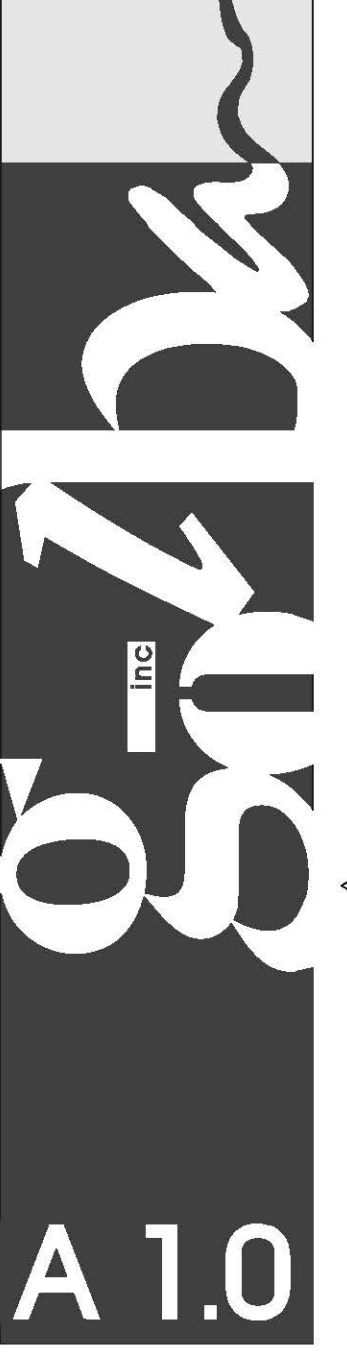
PARKING PIT/STORAGE PLAN



PARKING PIT/STORAGE BASEMENT FLOOR PLAN  
SCALE: 3/16" = 1'-0"

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**APARTMENTS AT 6195**  
6195 MONTEZUMA ROAD  
SAN DIEGO, CA 92115



FLOOR PLAN NOTES:

1. THE PROPOSED MULTI-FAMILY & PARKING GARAGE STRUCTURE SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM, CONNECTED & INSTALLED IN ACCORDANCE WITH, A FIRE SPRINKLER SYSTEM THAT COMPLIES WITH SECTION R813 OR NFPA 13D.
2. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.

FLOOR PLAN LEGEND

- NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
- NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
- 1 HR. RATED WALL
- 3/8" METAL STUD FRAMING
- NEW 8" CONCRETE WALL PER STRUCTURAL DWGS.
- NEW 12" CONCRETE WALL PER STRUCTURAL DWGS.
- NEW 16" CONCRETE WALL PER STRUCTURAL DWGS.
- ACCESSIBLE PATH OF TRAVEL PER CALIFORNIA BUILDING CODE SECTIONS 1110A THRU 1118A FOR EXTERIOR ROUTES AND SECTIONS 1119A THRU 1125A FOR INTERIOR ROUTES
- (X) (X) INDICATES WINDOW OR DOOR TO BE TEMPERED
- (S) SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
- (C) CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
- (E) EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.
- (FE) FIRE EXTINGUISHER, SIZE & TYPE PER CFC SECTION 906

PARKING LEGEND

- (X) MEZZ. INDICATES PARKING STALL NUMBER & LEVEL AT THE MECHANICAL PARKING LIFT SYSTEMS, "L" INDICATES AN OPEN SPACE AT THE GARAGE LEVEL TO ALLOW FOR ON DEMAND ACCESS TO ALL VEHICLES IN EACH LIFT SYSTEM
- (-) GAR.
- (X) PIT.

PARKING CALCULATIONS

AUTOMOBILE SPACES					
UNIT SIZE	QUANTITY	SPACES REQUIRED	TOTAL REQUIRED	TOTAL PROVIDED*	
4 BEDROOM UNITS	20	2.25	45	55	
MOTORCYCLE SPACES					
UNIT SIZE	QUANTITY	SPACES REQUIRED	TOTAL REQUIRED	TOTAL PROVIDED	
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UNIT SIZE	QUANTITY	SPACES REQUIRED	TOTAL REQUIRED	TOTAL PROVIDED	
4 BEDROOM UNITS	20	6	12	12	
*AUTOMOBILE SPACES PROVIDED					
LOCATION & TYPE			SPACES PROVIDED		
AT GRADE ADA ACCESSIBLE PARKING SPACES			2		
AT GRADE STANDARD GUEST PARKING SPACES			3		
PARKING LIFT SYSTEM #1, STANDARD SPACES			16		
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PARKING LIFT SYSTEM #3, STANDARD SPACES			10		
<b>TOTAL</b>			<b>47</b>		

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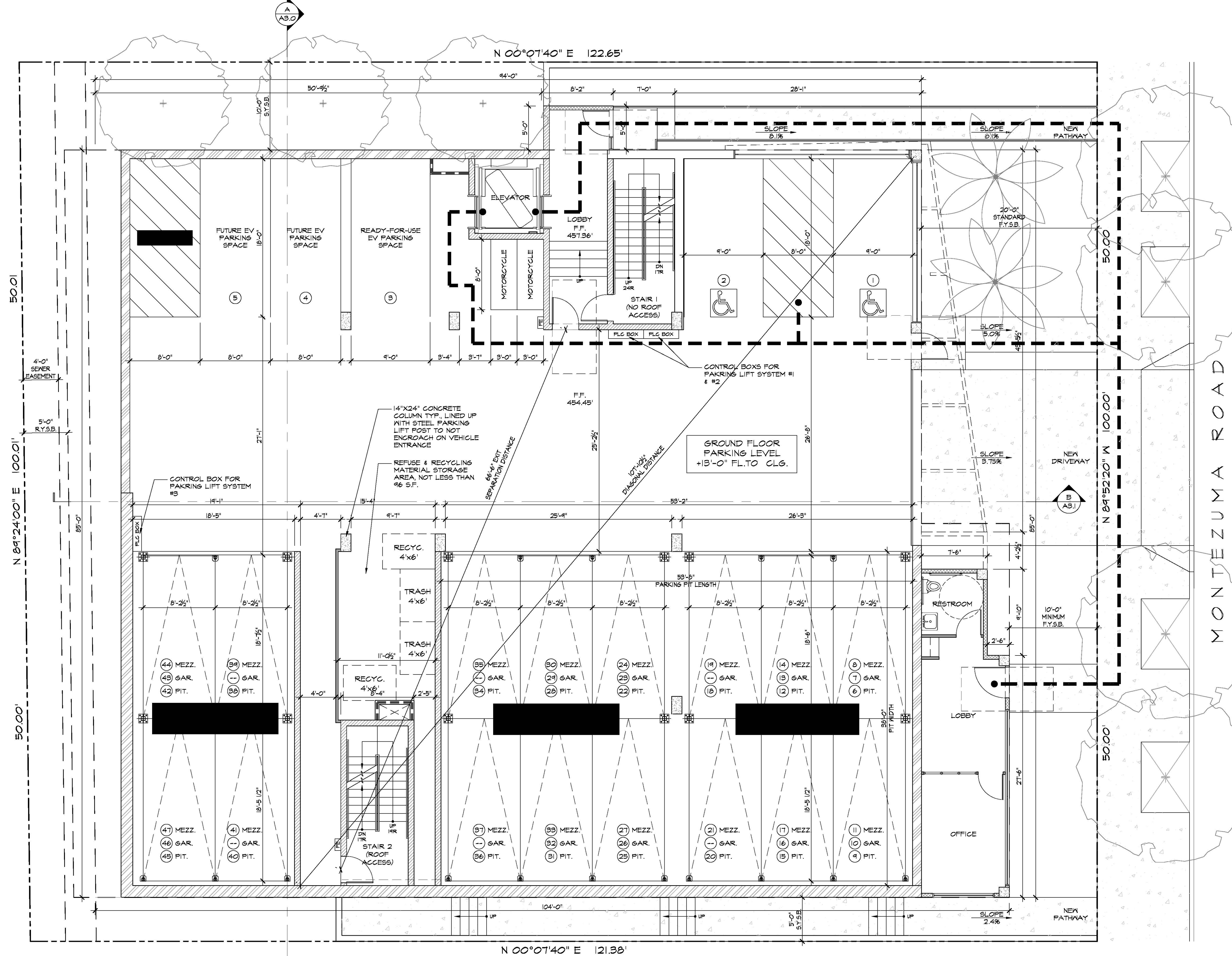
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APARTMENTS AT 6195

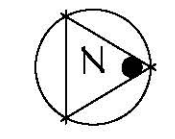
Sheet 7 Of 20

Sheet Title:  
**PARKING GARAGE FLOOR PLAN**



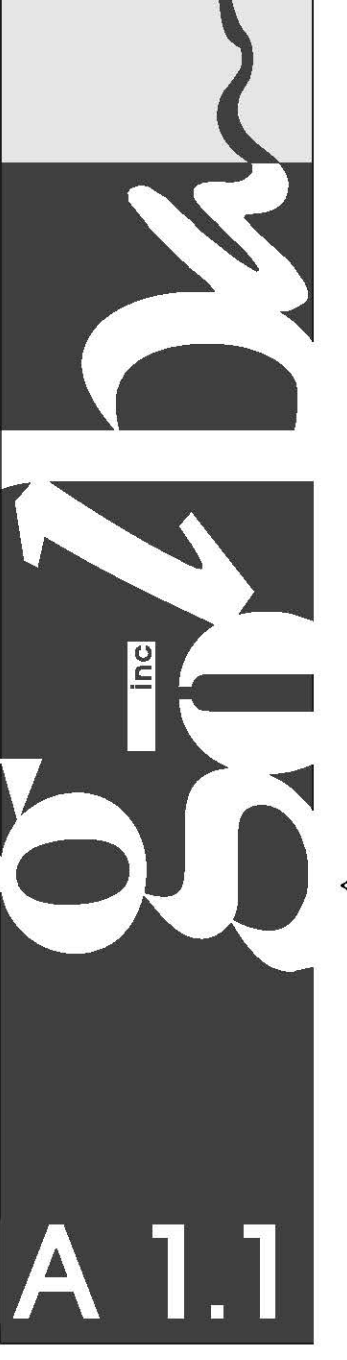
PARKING GARAGE FLOOR PLAN

SCALE: 3/16" = 1'-0"



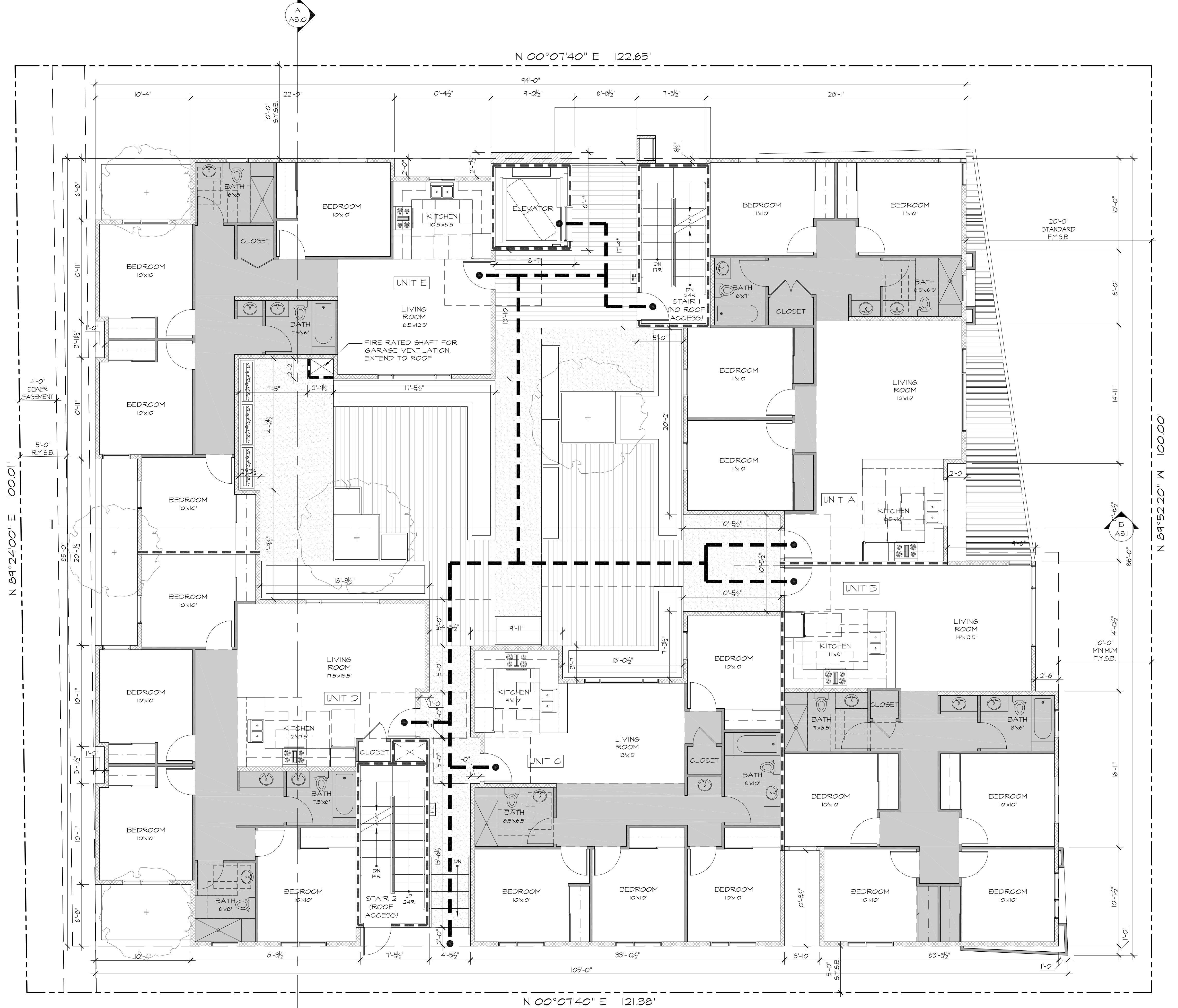
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**APARTMENTS AT 6195**  
6195 MONTEZUMA ROAD  
SAN DIEGO, CA 92115



DATE: 10-26-18  
REV. DATE:   
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**FLOOR PLAN NOTES:**

1. THE PROPOSED MULTI-FAMILY & PARKING GARAGE STRUCTURE SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM, CONNECTED & INSTALLED IN ACCORDANCE WITH, A FIRE SPRINKLER SYSTEM THAT COMPLIES WITH SECTION R313 OR NFPA 13D.
2. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.

**FLOOR PLAN LEGEND**

- NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
- NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
- 1 HR. RATED WALL
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- FIRE EXTINGUISHER, SIZE & TYPE PER CFC SECTION 906

**1ST FLOOR PLAN**

SCALE: 3/16" = 1'-0"

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6195 Montezuma Road  
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Original Date:  
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APARTMENTS AT 6195

Sheet 8 Of 20

**Sheet Title:**  
**1ST FLOOR PLAN**

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**APARTMENTS AT 6195**  
6195 MONTEZUMA ROAD  
SAN DIEGO, CA 92115



**golba**  
ARCHITECTURE  
DATE: 10-26-18

**A12**

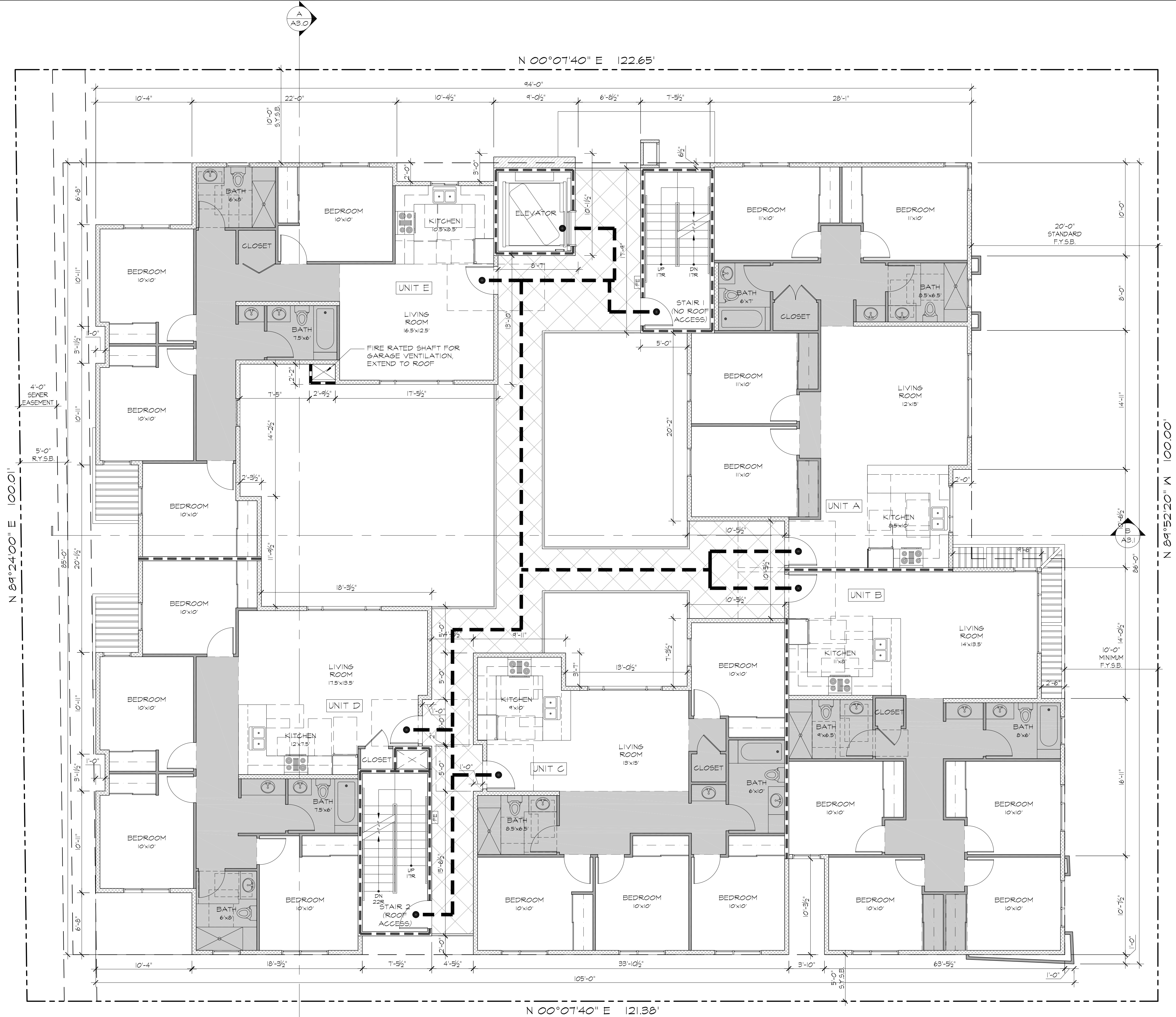


FLOOR PLAN NOTES:

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- FIRE EXTINGUISHER, SIZE & TYPE PER CFC SECTION 906



2ND, 3RD & 4TH FLOOR PLAN

SCALE: 3/16" = 1'-0"

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Project Addresses:  
 6195 Montezuma Road  
 San Diego, CA 92115

Original Date:  
 01-04-18

Project Name:  
 APARTMENTS AT 6195

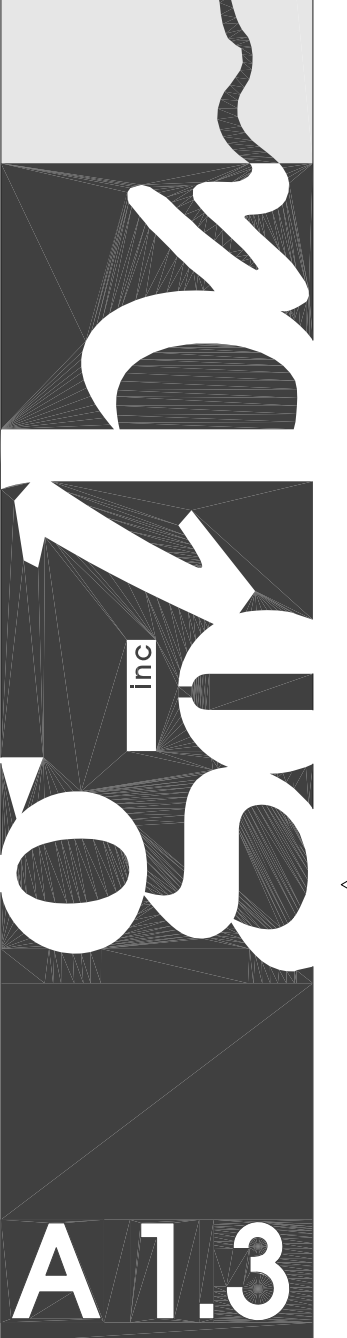
Sheet 9 Of 20

Sheet Title:

2ND, 3RD & 4TH FLOOR PLAN

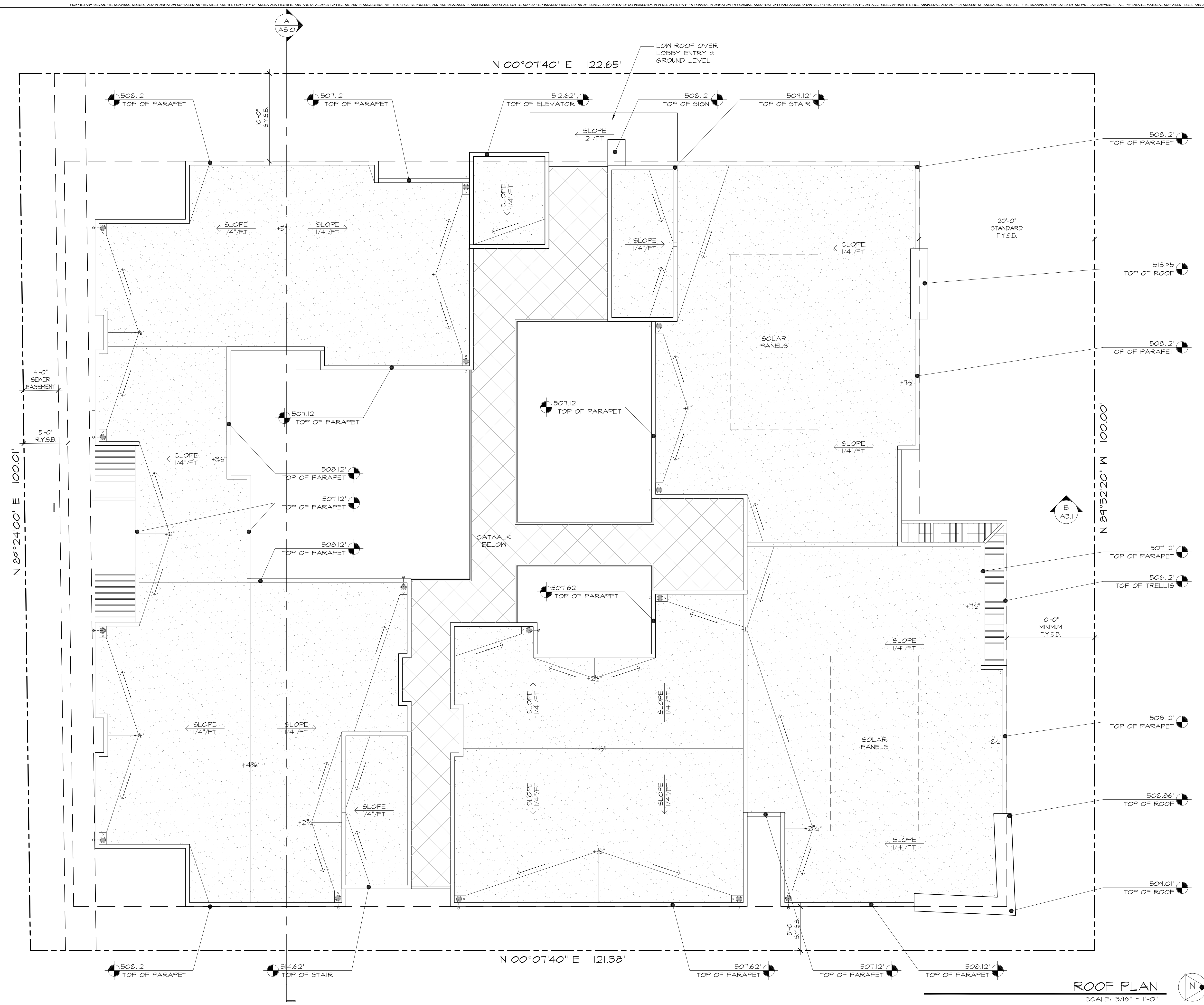
**GOLBA ARCHITECTURE**  
 Architecture ■ Space Planning ■ Interior Design  
 1940 Garnet Ave. #100 San Diego California 92109  
 Phone: (619) 231-9905 Fax: (858) 750-3471

**APARTMENTS AT 6195**  
 6195 MONTEZUMA ROAD  
 SAN DIEGO, CA 92115



**A1.3**

REV. DATE: DATE: 10-26-18



**ROOF PLAN**  
SCALE: 3/16" = 1'-0"

**Prepared By:**  
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1440 Garnet Ave., Suite 100  
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contact: Matt Gomes

Revision 7: X  
Revision 6: X  
Revision 5: X  
Revision 4: X  
Revision 3: 10-26-18  
Revision 2: 04-18-18  
Revision 1: 05-22-18

**Project Addresses:**  
6195 Montezuma Road  
San Diego, CA 92115

Original Date:  
01-04-18

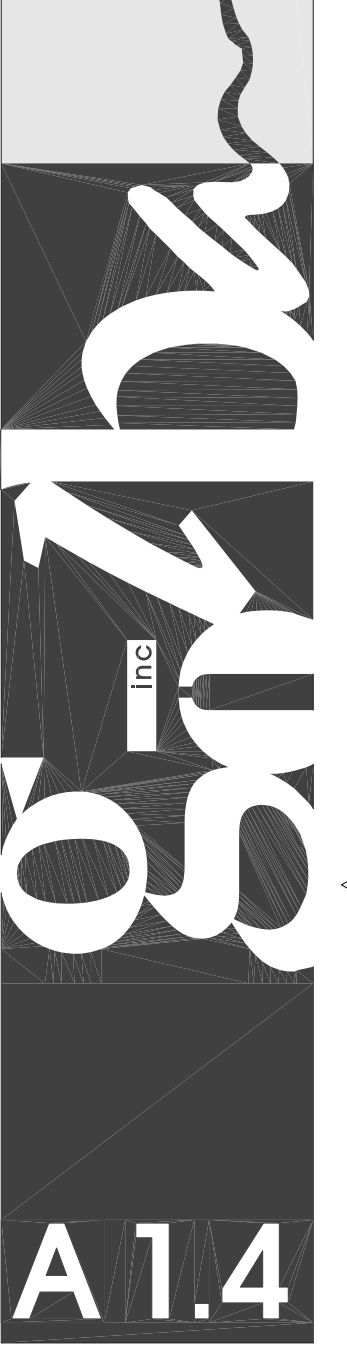
**Project Name:**  
APARTMENTS AT 6195

Sheet 10 Of 20

**Sheet Title:**  
ROOF PLAN

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SAN DIEGO, CA 92115



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ELEVATION LEGEND	
	HORIZONTAL WOOD SIDING, MEDIUM TONE STAIN
	EXTERIOR STUCCO FINISH, WHITE & TAN COLORS
	SPLITFACE CONCRETE BLOCK, NATURAL/CREAM COLOR
	GLASS RAILINGS WITH METAL POSTS

**Prepared By:**  
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 contact: Matt Gomes

**Project Addresses:**  
 6195 Montezuma Road  
 San Diego, CA 92115

**Project Name:**  
 APARTMENTS AT 6195

**Sheet Title:**  
 ELEVATIONS

Revision 7: X  
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 Revision 5: X  
 Revision 4: X  
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 Revision 1: 05-22-18

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 01-04-18

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**APARTMENTS AT 6195**  
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**Golba**  
 ARCHITECTURE  
**A 2.0**

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WEST (SIDE) ELEVATION  
SCALE: 3/16" = 1'-0"

ELEVATION LEGEND	
	HORIZONTAL WOOD SIDING, MEDIUM TONE STAIN
	EXTERIOR STUCCO FINISH, WHITE & TAN COLORS
	SPLITFACE CONCRETE BLOCK, NATURAL/CREAM COLOR
	GLASS RAILING WITH METAL POSTS

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San Diego, CA 92115

**Project Name:**  
APARTMENTS AT 6195

**Sheet Title:**  
ELEVATIONS

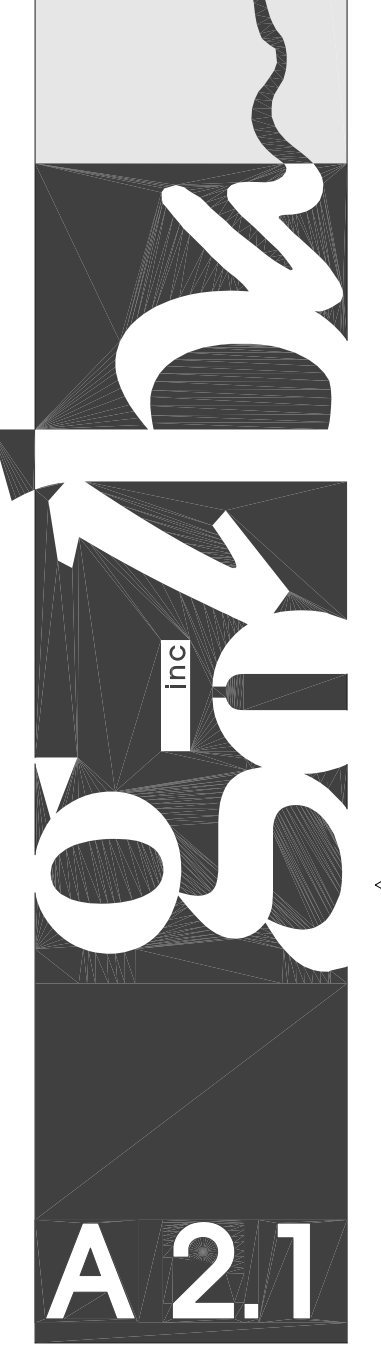
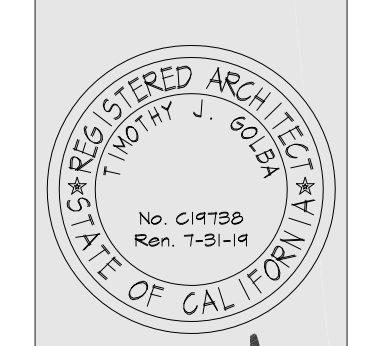
Revision 7: X  
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Revision 1: 05-22-18

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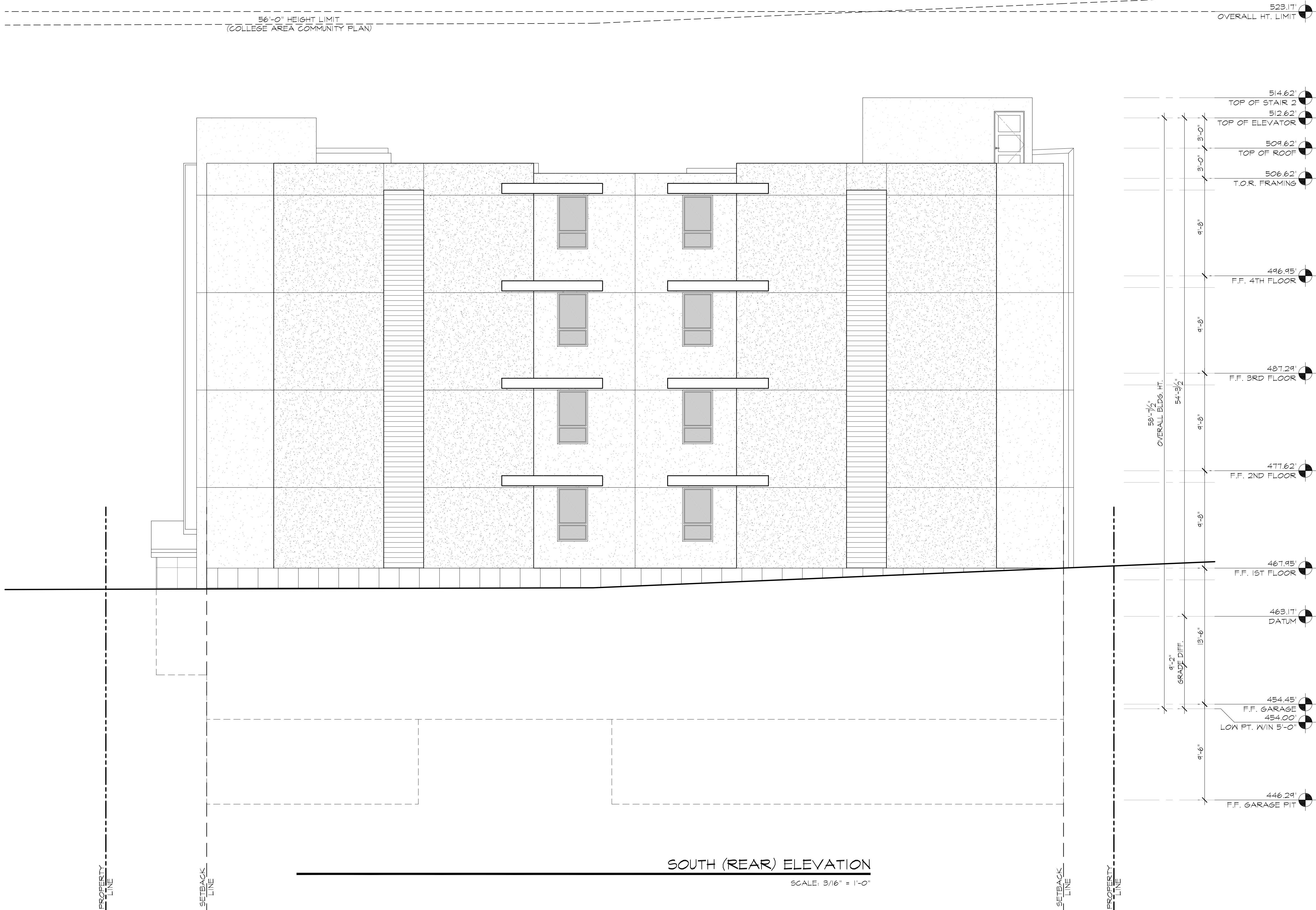
Sheet 12 Of 20

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**APARTMENTS AT 6195**  
6195 MONTEZUMA ROAD  
SAN DIEGO, CA 92115



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SOUTH (REAR) ELEVATION  
SCALE: 3/16" = 1'-0"

ELEVATION LEGEND	
	HORIZONTAL WOOD SIDING, MEDIUM TONE STAIN
	EXTERIOR STUCCO FINISH, WHITE & TAN COLORS
	SPLITFACE CONCRETE BLOCK, NATURAL/CREAM COLOR
	GLASS RAILINGS WITH METAL POSTS

**Prepared By:**  
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contact: Matt Gomes

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San Diego, CA 92115

**Project Name:**  
APARTMENTS AT 6195

**Sheet Title:**  
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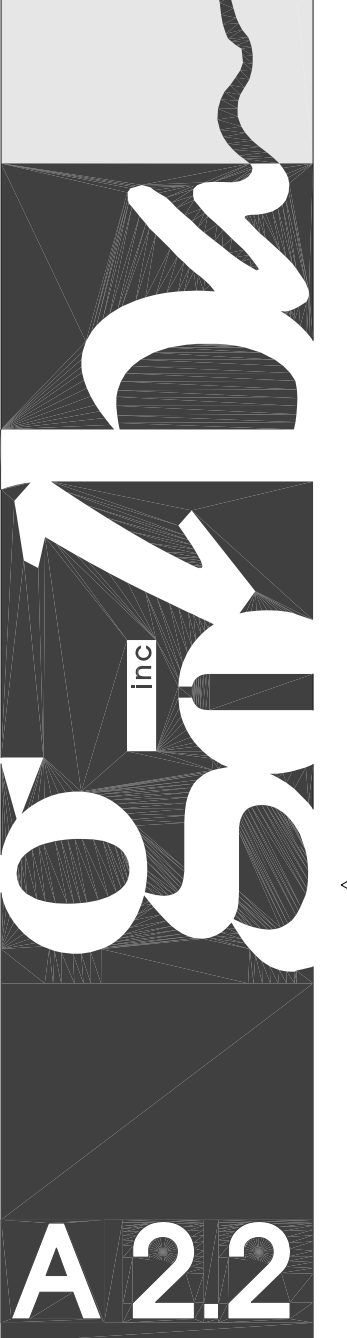
Revision 7: X  
Revision 6: X  
Revision 5: X  
Revision 4: X  
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**APARTMENTS AT 6195**  
6195 MONTEZUMA ROAD  
SAN DIEGO, CA 92115





**EAST (SIDE) ELEVATION**  
SCALE: 3/16" = 1'-0"

ELEVATION LEGEND	
	HORIZONTAL WOOD SIDING, MEDIUM TONE STAIN
	EXTERIOR STUCCO FINISH, WHITE & TAN COLORS
	SPLITFACE CONCRETE BLOCK, NATURAL/CREAM COLOR
	GLASS RAILING WITH METAL POSTS

**Prepared By:**  
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**Project Addresses:**  
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San Diego, CA 92115

**Project Name:**  
APARTMENTS AT 6195

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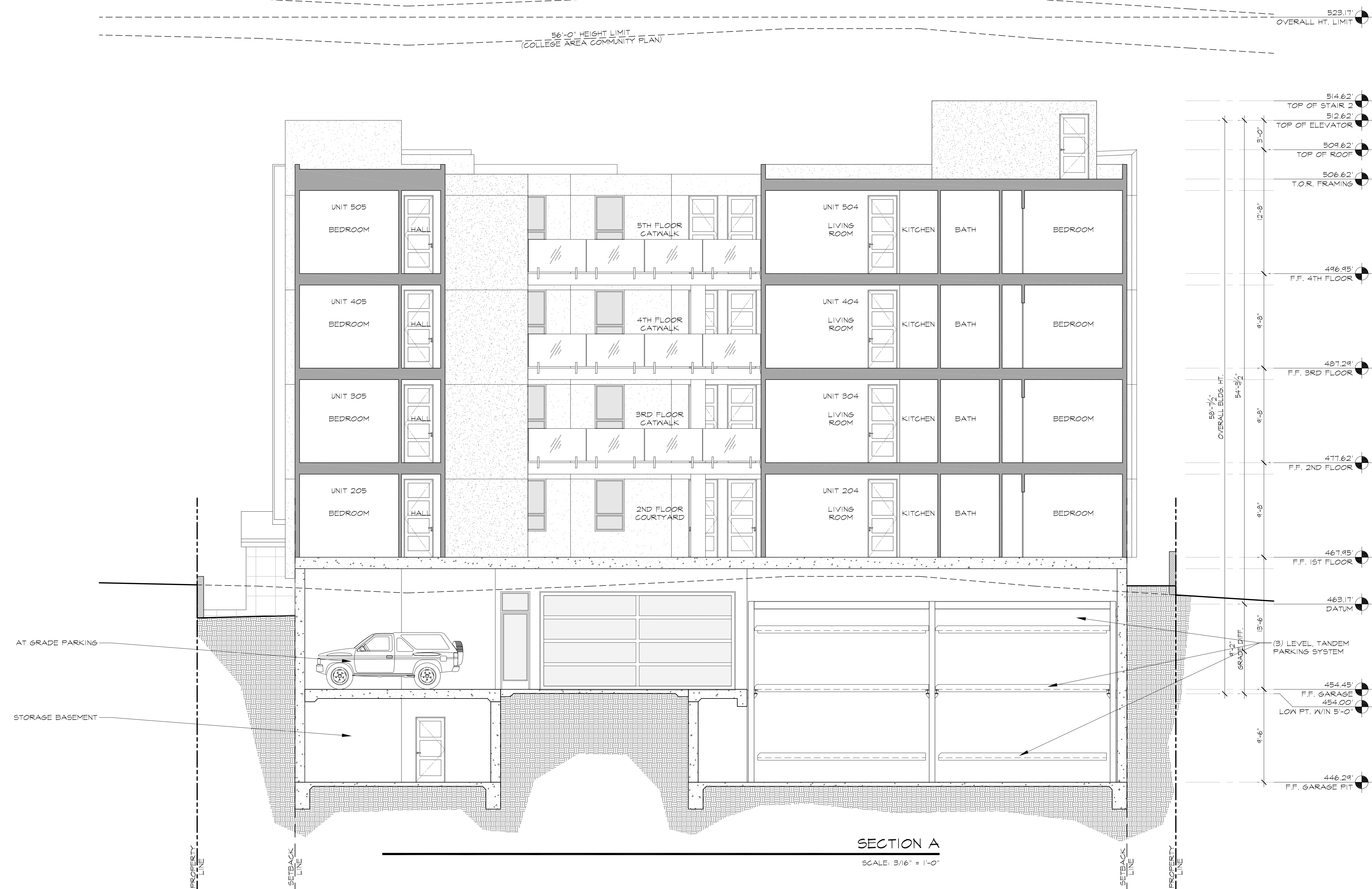
Sheet 14 Of 20

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**APARTMENTS AT 6195**  
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SECTION A  
SCALE: 3/16" = 1'-0"

**ELEVATION LEGEND**

	HORIZONTAL WOOD SIDING, MEDIUM TONE STAIN
	EXTERIOR STUCCO FINISH, WHITE & TAN COLORS
	SPLITFACE CONCRETE BLOCK, NATURAL/CREAM COLOR
	GLASS RAILING WITH METAL POSTS

**Prepared By:**  
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**Project Addresses:**  
6195 Montezuma Road  
San Diego, CA 92115

Original Date:  
01-04-18

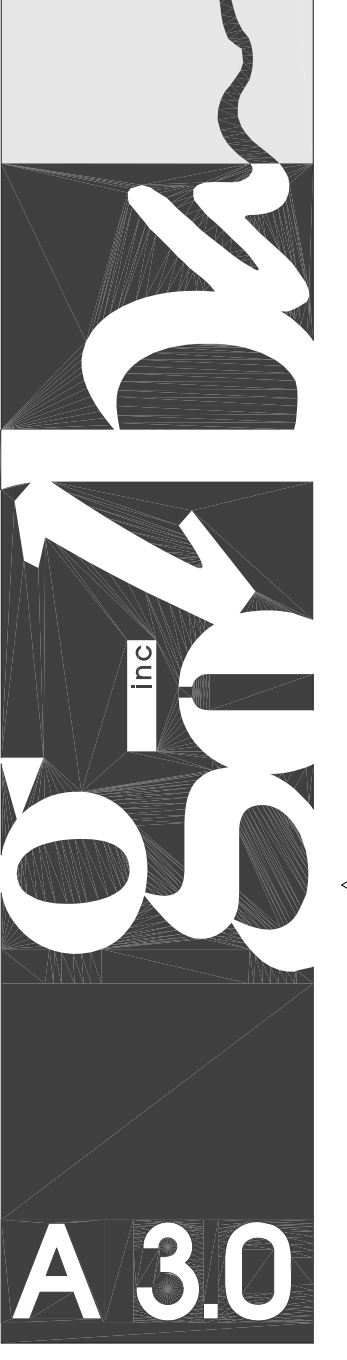
**Project Name:**  
APARTMENTS AT 6195

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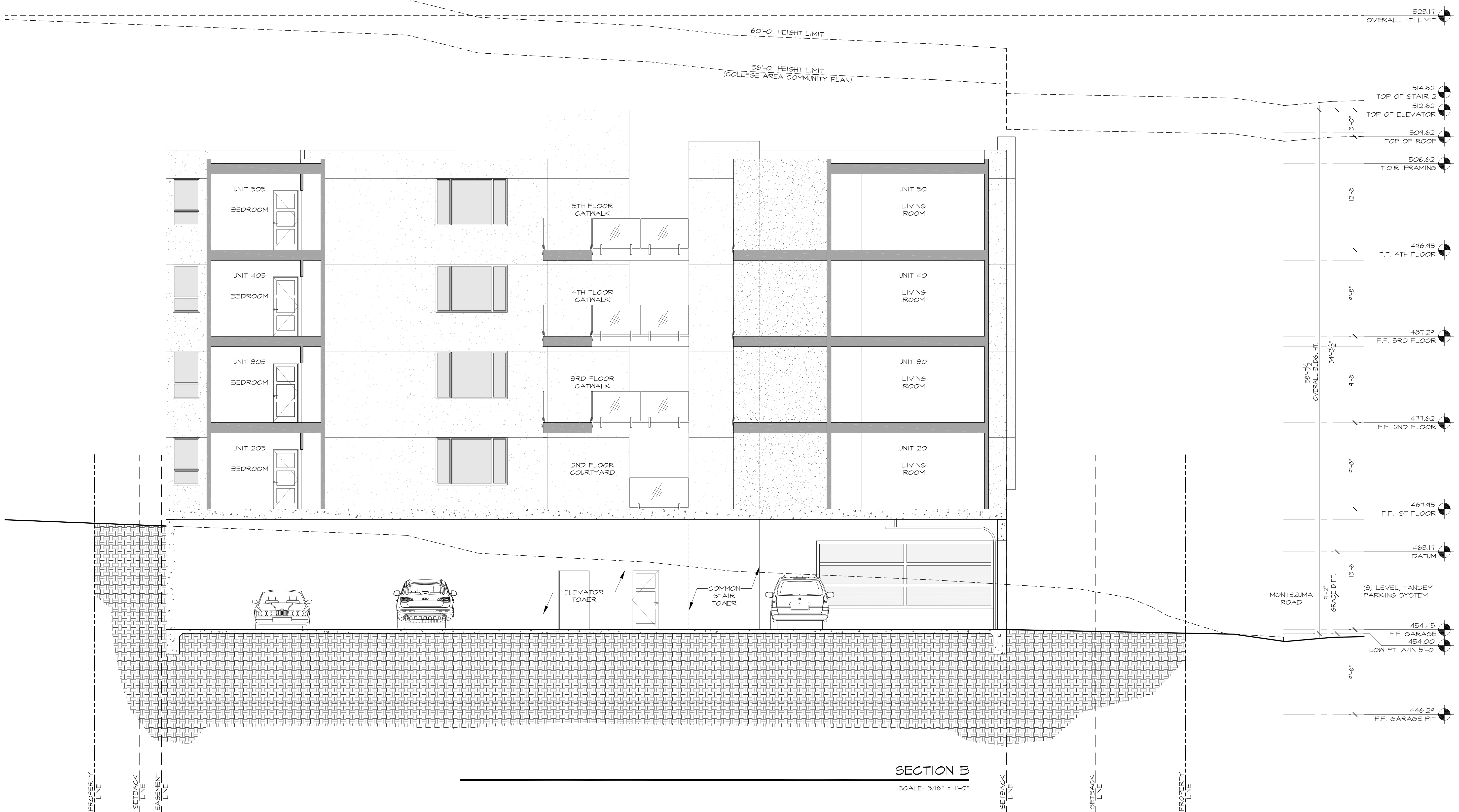
**Sheet Title:**  
SECTIONS

**GOLBA ARCHITECTURE**  
Architecture ■ Space Planning ■ Interior Design  
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**SECTION B**  
SCALE: 3/16" = 1'-0"

ELEVATION LEGEND	
	HORIZONTAL WOOD SIDING, MEDIUM TONE STAIN
	EXTERIOR STUCCO FINISH, WHITE & TAN COLORS
	SPLITFACE CONCRETE BLOCK, NATURAL/CREAM COLOR
	GLASS RAILINGS WITH METAL POSTS

**Prepared By:**  
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**Project Addresses:**  
6195 Montezuma Road  
San Diego, CA 92115

**Project Name:**  
APARTMENTS AT 6195

**Sheet Title:**  
**SECTIONS**

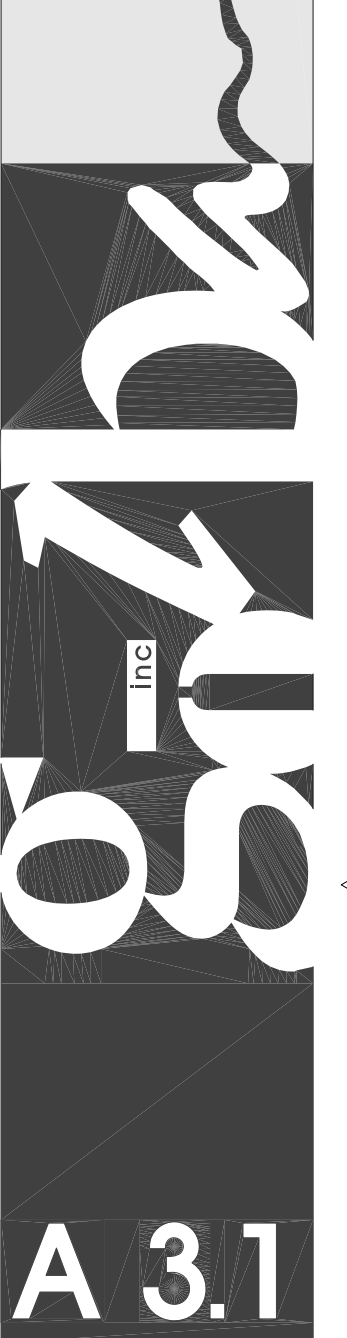
Revision 7: X  
Revision 6: X  
Revision 5: X  
Revision 4: X  
Revision 3: 10-26-18  
Revision 2: 09-18-18  
Revision 1: 05-22-18

Original Date:  
01-04-18

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Phone: (619) 231-9905 Fax: (858) 750-3471

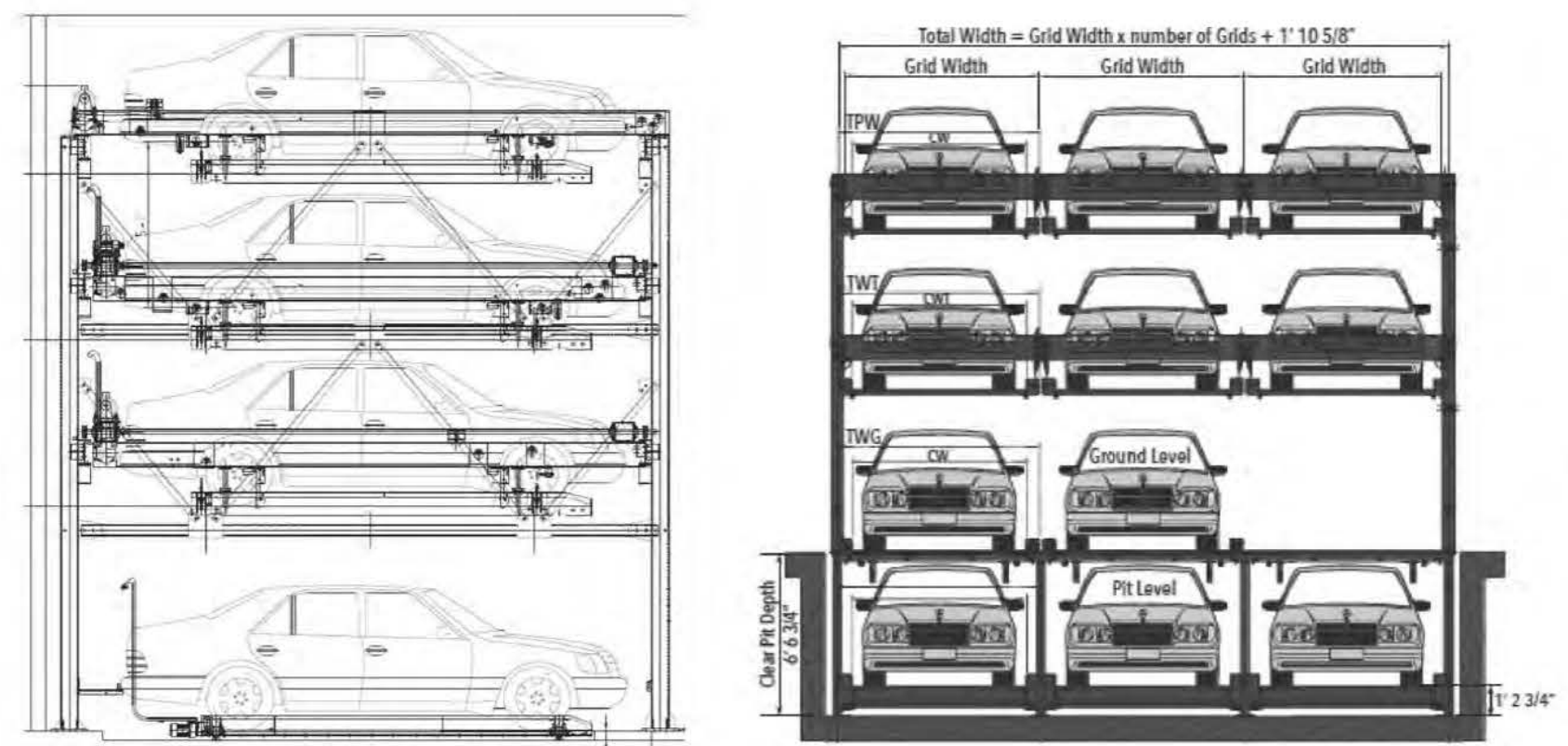
**APARTMENTS AT 6195**  
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SAN DIEGO, CA 92115





# FOUR LEVEL PUZZLE

MODEL NO 4LP / 4LPWP



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# PUZZLE



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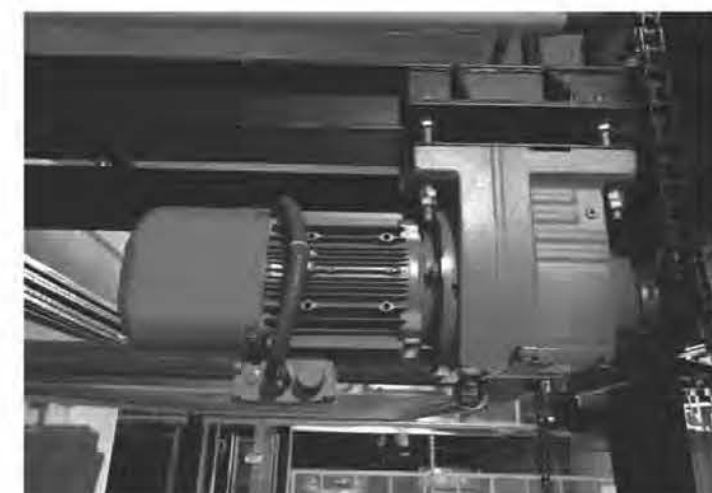
cityLift

PUZZLE



# TECHNICAL SPECS

Average Retrieval Time	33 Seconds
Maximum Vehicle Weight	40lbs per SF, per level, 5,200 pounds
Electrical Requirement	480 3-Phase or 208 3-Phase
Lifting Motor	Two options: 4.0kW-4P or 2.2 kW-4P
Traverse Motor	0.37 kW-4P
Control Method	PLC control
Circuit Breaker	ABB S204-C40
Operation Method	Button type or touch panel control
Emergency Stop Switch	XB2-BS542C
Optoelectronic Switch	LA31/K31/25/31/115
Remote Monitoring	Primitive Logic / AMI
Drive System/Motor	SEW-Germany
PLC/Sensor	Rockwell
Applicable Code	CA Building Code, 2016 edition
Seismic Loads	Ch. 15 ASCE 7-10: Steel ordinary moment frame
Machine Bolts	Min tensile strength = 900 MP
Anchor Bolts/Rods	ASTM F1554, GR.55
Welding Electrodes	480 MP (E-70 KSI) MIN

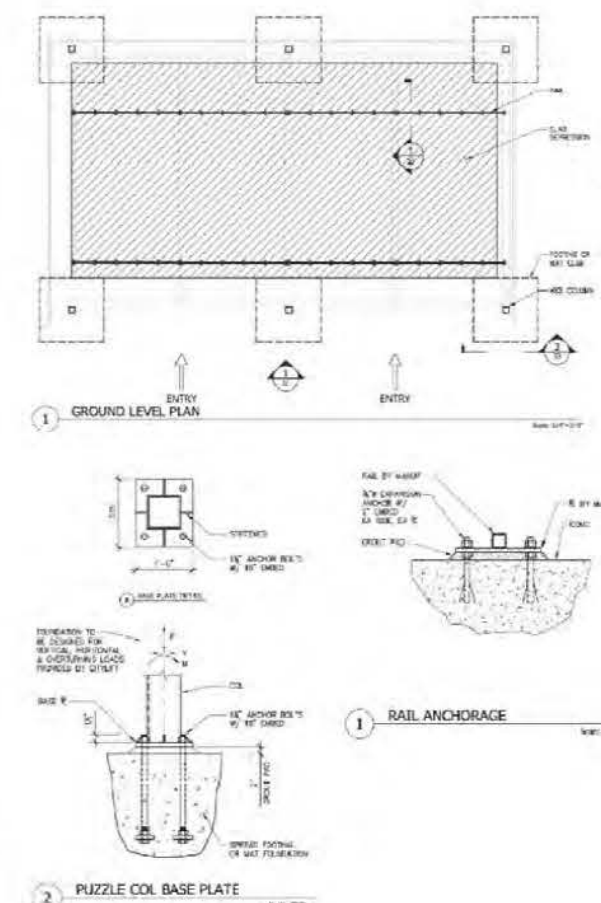
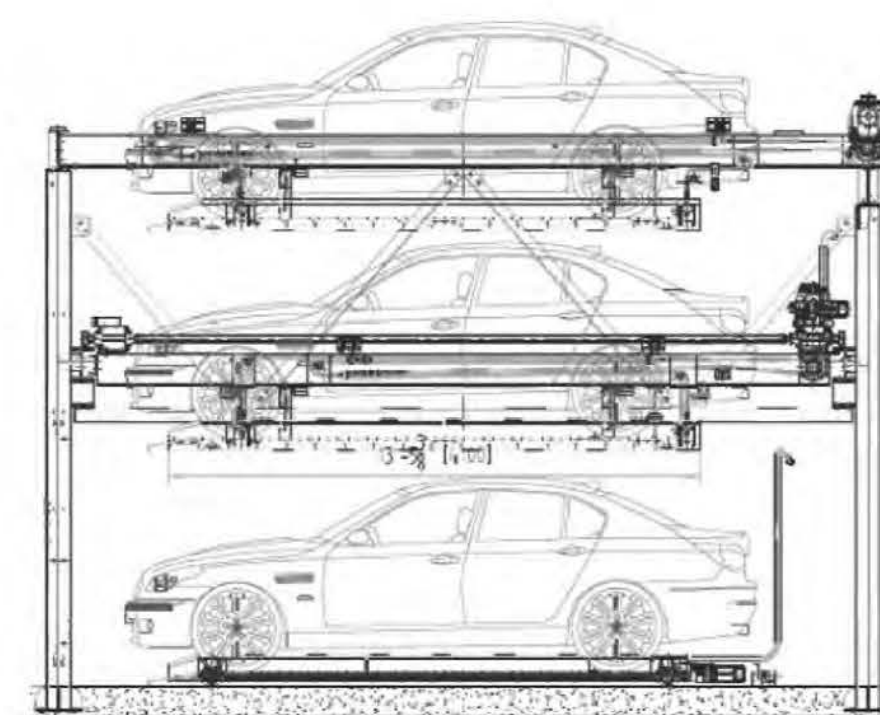


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# THREE LEVEL PUZZLE

MODEL NO 3LP



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# PUZZLE

33 SECONDS  
AVERAGE RETRIEVAL TIME

UP TO 7 LEVELS  
2-7 LEVEL CONFIGURATIONS

40,000  
SPACES INSTALLED

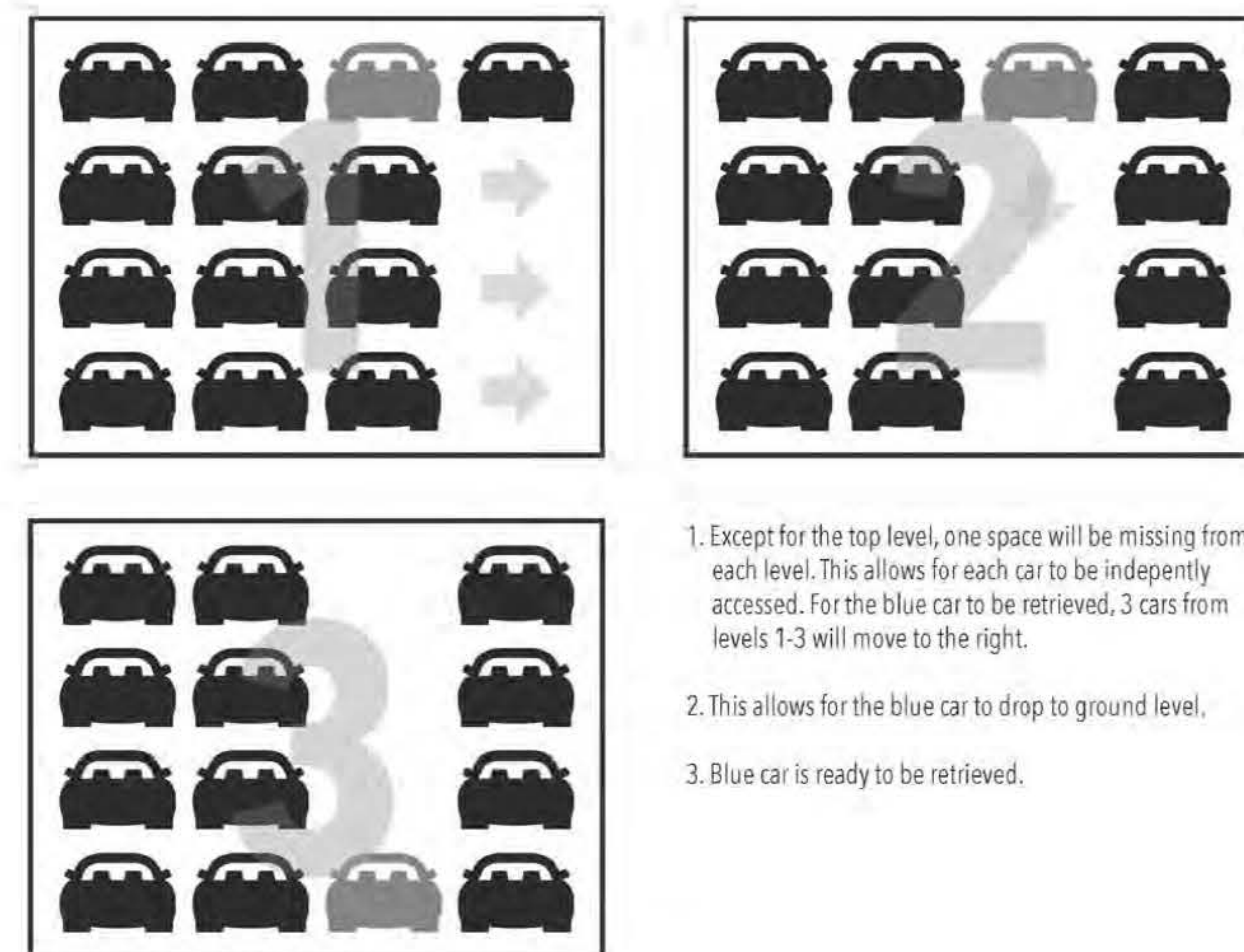
Our most popular and versatile mechanical parking solution is the Puzzle. It comes in 2, 3, 4, 5, 6, and 7-level configurations; with or without pits and is ideal for new construction or retrofits. This mechanical parking lift also works in a tandem configuration without impacting retrieval time. They are widely used in residential, mixed use, and public garages in impacted urban areas. Replacing traditional stackers with the Puzzle can drastically reduce valet costs since each space is independently accessed. The Puzzle can be used indoors or outdoors and requires a minimum clear height of 11' 7 3/4" beginning with the 2 level system.



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# CAR RETRIEVAL



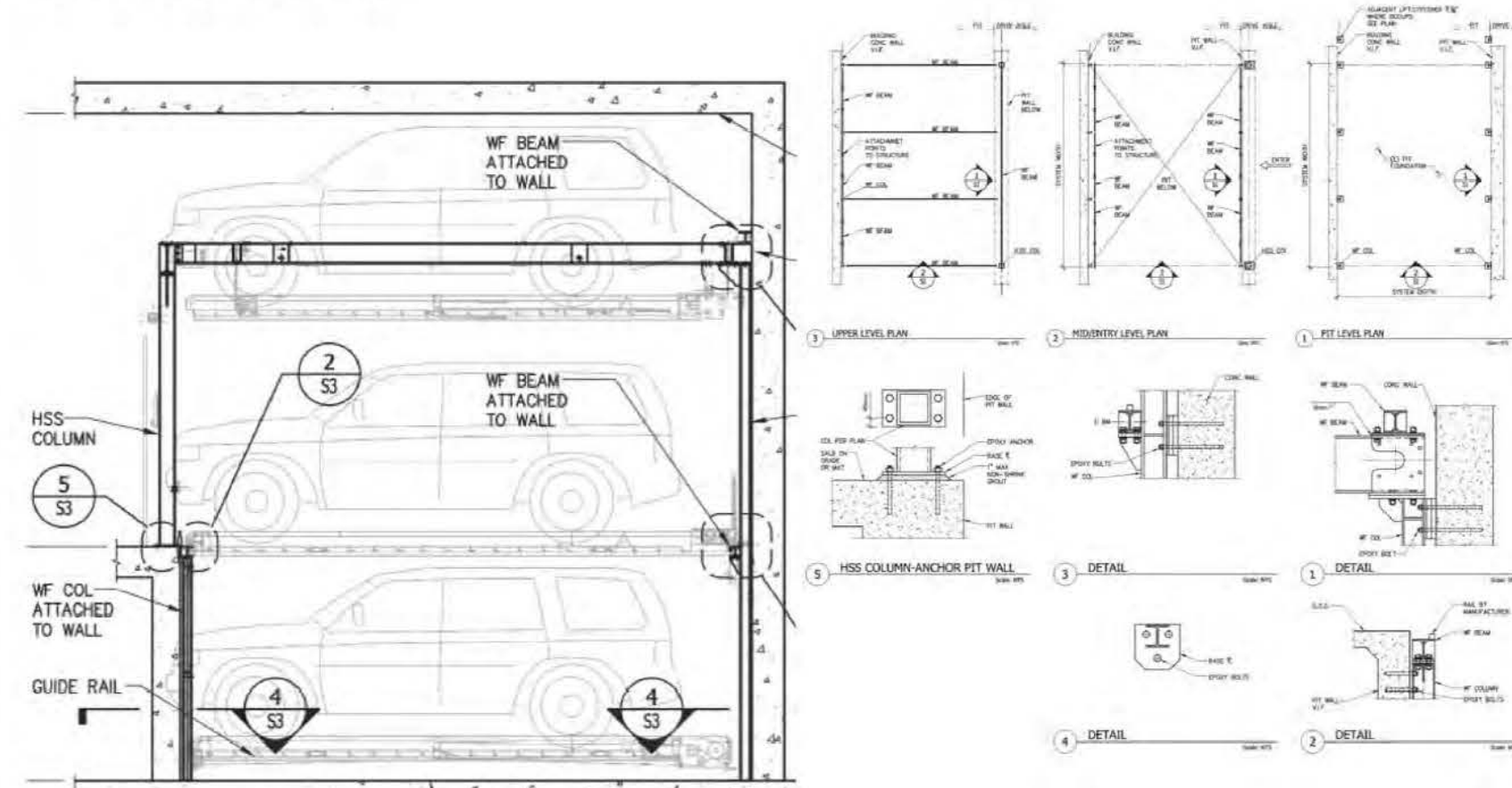
1. Except for the top level, one space will be missing from each level. This allows for each car to be independently accessed. For the blue car to be retrieved, 3 cars from levels 1-3 will move to the right.
2. This allows for the blue car to drop to ground level.
3. Blue car is ready to be retrieved.

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# THREE LEVEL PUZZLE W/PIT

MODEL NO 3LPWP



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Revision 7: X  
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Revision 3: 0-26-18  
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Project Addresses:  
6195 Montezuma Road  
San Diego, CA 92115

Original Date:  
01-04-18

Project Name:  
APARTMENTS AT 6195

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Sheet Title:  
**PARKING LIFT SPECIFICATION**

cityLift

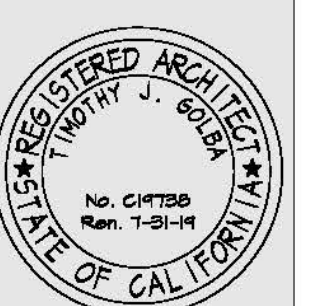
CITYLIFT PARKING  
2335 Broadway, Suite 100, Oakland, CA 94612  
contact@cityliftparking.com  
844.388.0424

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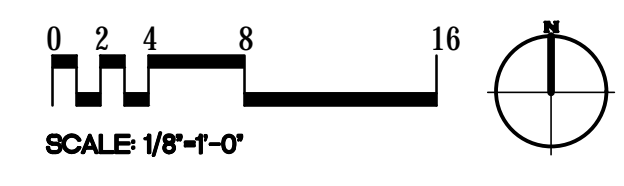
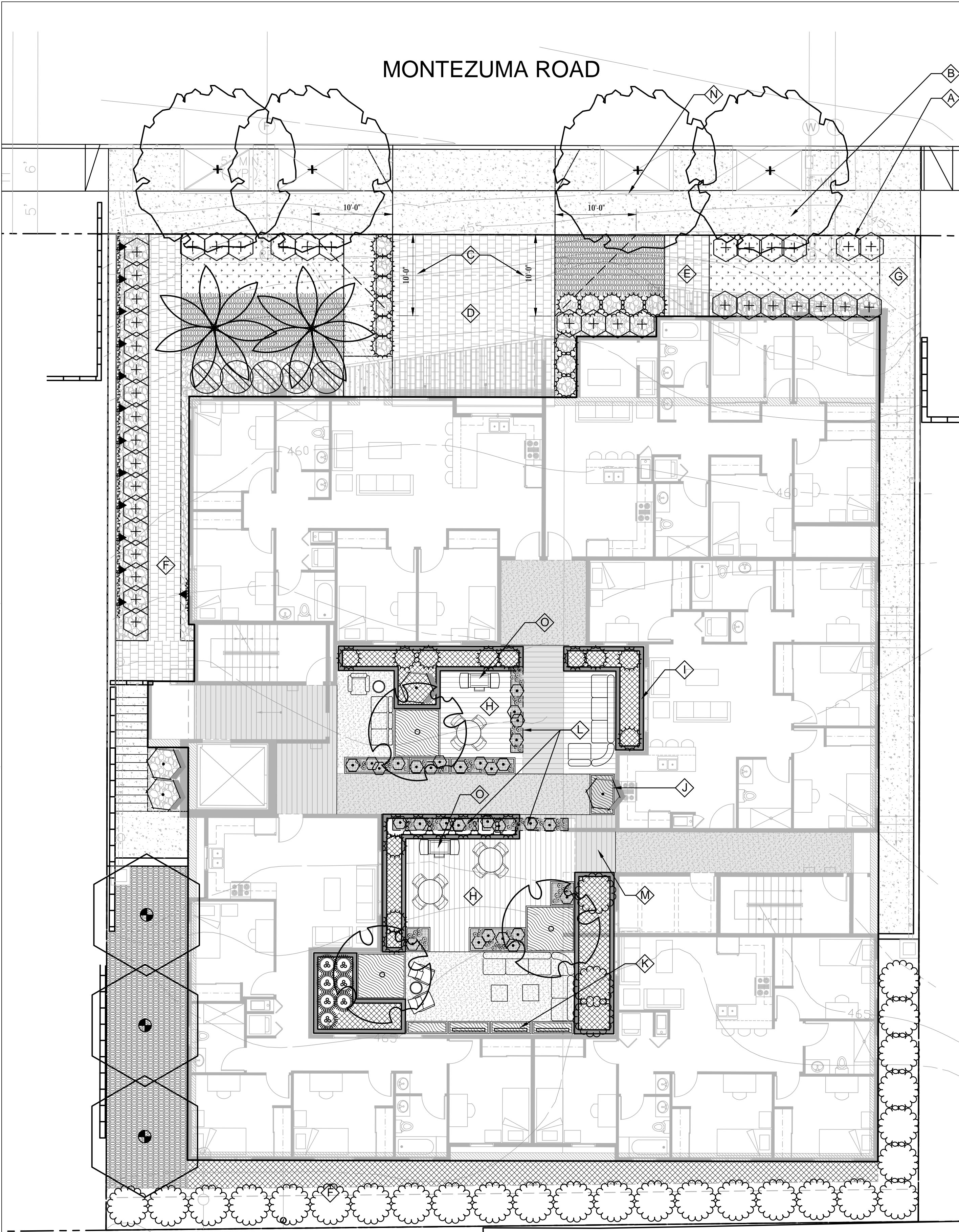
**GOLBA ARCHITECTURE**  
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**APARTMENTS AT 6195**  
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**San Diego**  
INC  
A 7.0

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**GENERAL NOTES:**

- THIS PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
- GRADE SITE TO DIRECT WATER AWAY FROM BUILDING AND NEW ADDITIONS. LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
- LOCATE REFUSE BINS PER PLANS.
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING AREAS TO BE PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
- PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
- PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND MAINTENANCE PERIOD. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF ALL REQUIRED LANDSCAPE IMPROVEMENTS, INCLUDING IN THE RIGHT-OF-WAY.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
- ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5)
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
  - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
  - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBIT WITHIN THE DRIPLINE.
  - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
  - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

**IRRIGATION NOTE:**

- ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE DRIP IRRIGATION EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP, DRIP TUBING 3" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
- EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED SEPARATELY FROM OTHER PARKWAY PLANTINGS BY A HOMEOWNER-FUNDED AND MAINTAINED DRIP RING SYSTEM.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED FLOW SENSOR DEVICE.

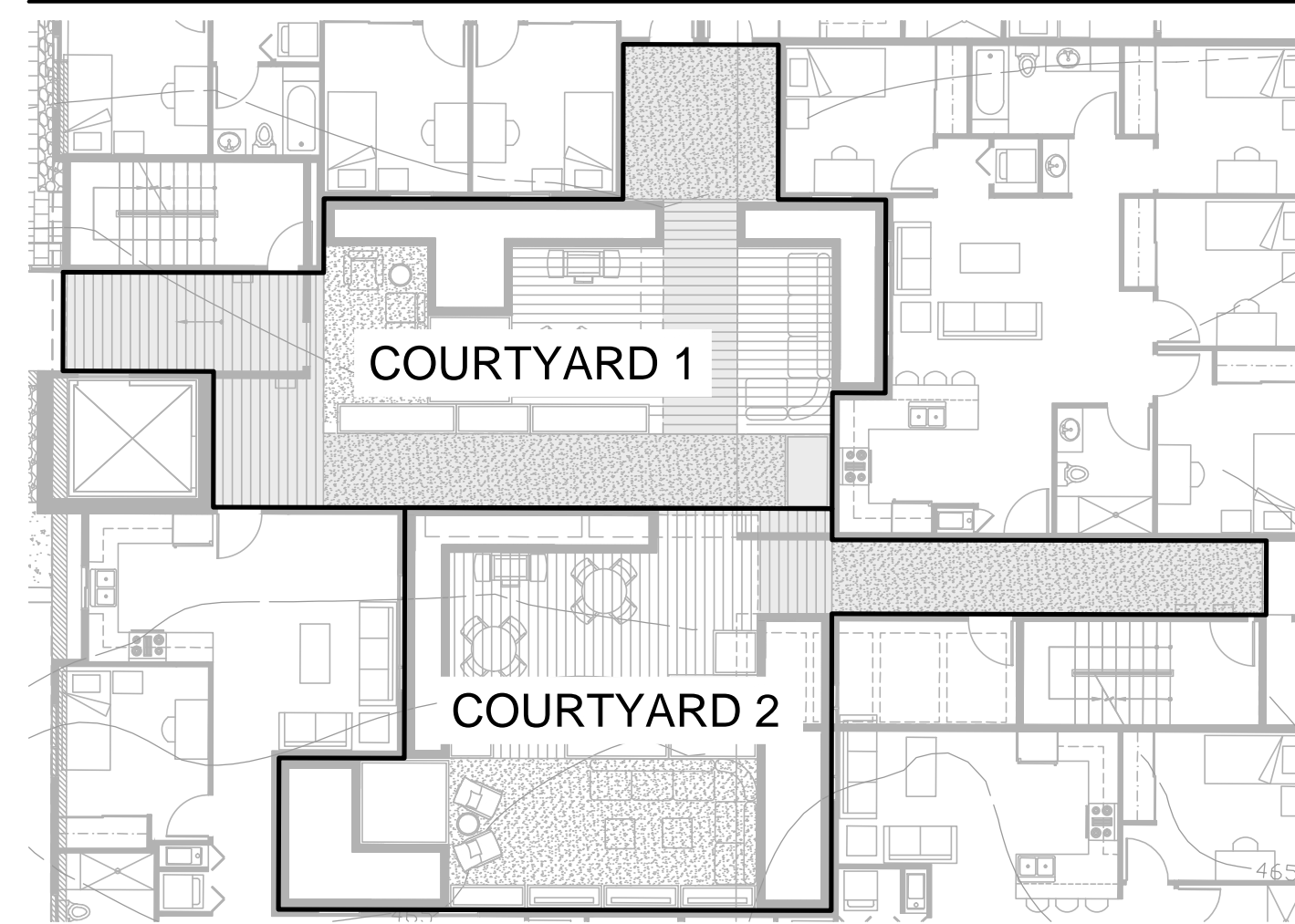
**DRAINAGE NOTES:**

- THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO MAXIMUM EXTENT PRACTICABLE.
- ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

**LANDSCAPE CONCEPT STATEMENT**

THE LANDSCAPE FOR THIS URBAN DEVELOPMENT IS SIMPLE AND UTILIZES MASS PLANTING FOR AN ORGANIZED AND CLEAN FEEL. WATER-CONSERVING, LOW-MAINTENANCE, NON-INVASIVE PLANTS THAT SLOW, SPREAD AND FILTER STORM WATER RUNOFF FROM PERVIOUS AND IMPERVIOUS SURFACES ARE PROPOSED. PLANTINGS IN THE COURTYARD HAVE BEEN CHOSEN TO ALIGN WITH SHADE FROM THE BUILDING AND TO HELP MITIGATE NOISE. NEW STREET TREES CONSISTENT WITH THE PREDOMINANT TREE EXISTING IN THE IMMEDIATE AREA ARE PROPOSED GIVING SHADE TO PEDESTRIANS, AVOIDING CONFLICTS WITH UTILITIES, AND PRESERVE VEHICULAR SIGHT LINES IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE. ALL LANDSCAPE WILL BE MAINTAINED BY THE OWNER.

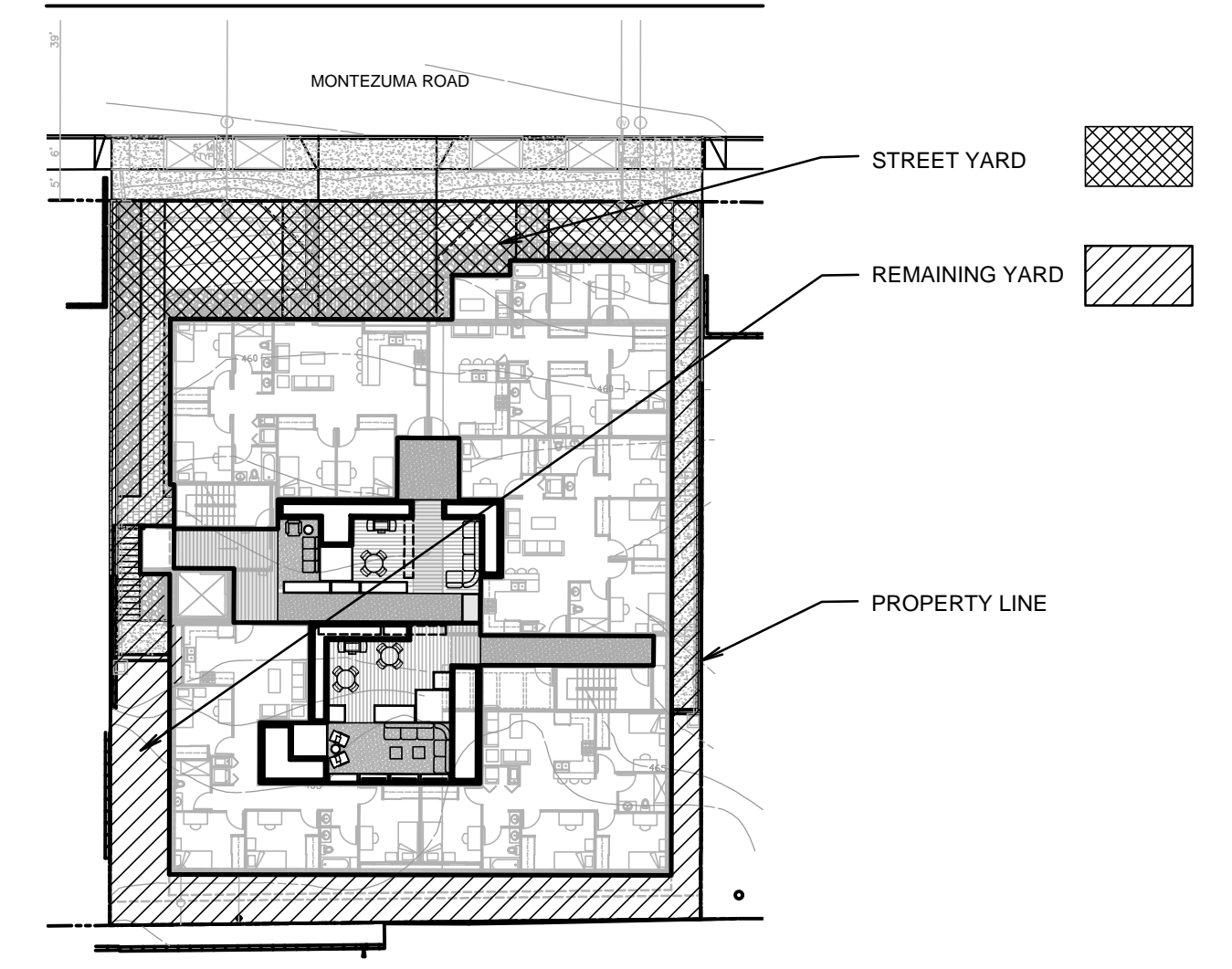
**COURTYARD DIAGRAM**



**LANDSCAPE KEY NOTES:**

- ◇ PROPERTY LINE - TYPICAL SYMBOL
- ◇ NON-CONTIGUOUS WALK IN RIGHT-OF-WAY
- ◇ 10' VISIBILITY AREA AT DRIVEWAY. NO OBSTRUCTION IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT
- ◇ NEW DRIVEWAY
- ◇ WALKWAY TO LOBBY
- ◇ WALKWAY TO MAIN PEDESTRIAN ENTRANCE
- ◇ WALKWAY TO SECONDARY ENTRANCE
- ◇ COURTYARD ON PODIUM DECK WITH MULTIPLE SMALL SEATING AREAS
- ◇ BUILT-IN PLANTER
- ◇ MODULAR PLANTER
- ◇ LANDSCAPE FEATURE - VINES ON TRELIS
- ◇ PLANTER AT EDGE OF OVERHEAD WALKWAYS, TYP. SYMBOL
- ◇ SHADED AREA SHOWS LIMITS OF WALKWAYS ABOVE
- ◇ TREE ROOT BARRIER, TYP. SYMBOL
- ◇ BARBECUE GRILL, 1 PER COURTYARD

**LANDSCAPE DIAGRAM**



**LANDSCAPE AREA CALCS**

BASE ZONE RM-3-9  
MULTI-FAMILY DEVELOPMENT

<b>STREET YARD</b>	
TOTAL AREA:	1,595 SF
PLANTING AREA REQUIRED (50%):	798 SF
EXCESS AREA PROVIDED:	914 SF
PLANT POINTS REQUIRED (5%):	116 SF
PLANT POINTS PROVIDED:	80 PTS
EXCESS POINTS PROVIDED:	172 PTS
POINTS ACHIEVED WITH TREES:	92 PTS
POINTS ACHIEVED WITH TREES:	48 PTS
<b>REMAINING YARD</b>	
PLANT POINTS REQ. (60 PTS X 1 BLDG):	60 PTS
PLANT POINTS PROVIDED:	403 PTS
POINTS ACHIEVED WITH TREES (50% OF REQ'D PTS MIN.):	60 PTS
<b>VEHICULAR USE AREA (VUA)</b>	
N/A. ALL PARKING INSIDE STRUCTURE	

**MINIMUM STREET TREE SEPARATION DISTANCE:**

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNALS/ STOP SIGNS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET
SEWER LINES	10 FEET

**STREET TREE CALCS**

(1) 24" BOX TREE (BROAD-HEADED) REQUIRED FOR EVERY 30' STREET FRONTAGE, (1) 10" BTH PALM FOR EVERY 20' STREET FRONTAGE

MONTEZUMA ROAD  
STREET FRONTAGE: 100'  
STREET TREE REQUIRED: 4 TREES, OR 5 PALMS  
PROVIDED: 4 TREES

**COURTYARD 1**

AREA: 1,057 SF  
LANDSCAPED AREA: 213 SF  
TOTAL PLANT POINTS: 89  
POINTS ACHIEVED WITH TREES: 20  
POINTS ACHIEVED WITH SHRUBS: 69

**HARDSCAPE LEGEND**

**PROPOSED HARDSCAPE MATERIAL LEGEND:**

<b>HARDSCAPE PAVING 'A'</b>	2,000 SF
Impermeable paving such as:	
• Uncolored concrete with broom-swept finish SDSRD	
• Uncolored concrete with enhanced finish	
• Integral color concrete with enhanced finish	
<b>HARDSCAPE PAVING 'B'</b>	875 SF
Impermeable paving such as:	
• Concrete pavers over sub-base	
• Stone paving over sub-base	
• Stamped concrete	
<b>HARDSCAPE PAVING 'C'</b>	665 SF
Impermeable podium paving such as:	
• Stone pavers	
• Concrete pavers	
• Concrete microtopping	
<b>HARDSCAPE PAVING 'D'</b>	715 SF
Impermeable podium paving such as:	
• Stone pavers	
• Concrete pavers	
• Concrete microtopping	
<b>COBBLE MULCH</b>	715 SF
Such as:	
• 3"-6" River Rock	



Project No. -xxx  
Drawn - JS  
Checked - JPN

**N L A**  
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WWW.NERILA.COM

LANDSCAPE ARCHITECT  
P. NERI  
6/30/19

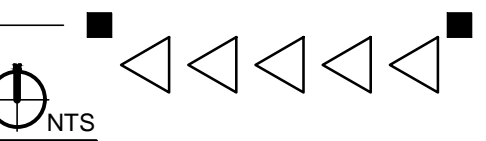
REGISTERED ARCHITECT  
VINCE J. TESTA  
STATE OF CALIFORNIA  
6/30/19

LANDSCAPE IMPROVEMENT PLAN FOR  
**MONTEZUMA UNITS**  
Montezuma Road  
San Diego, CA 92115

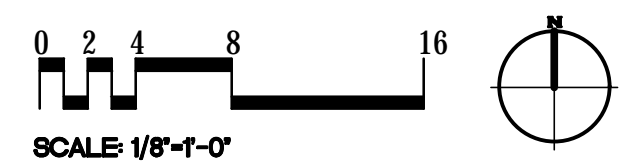
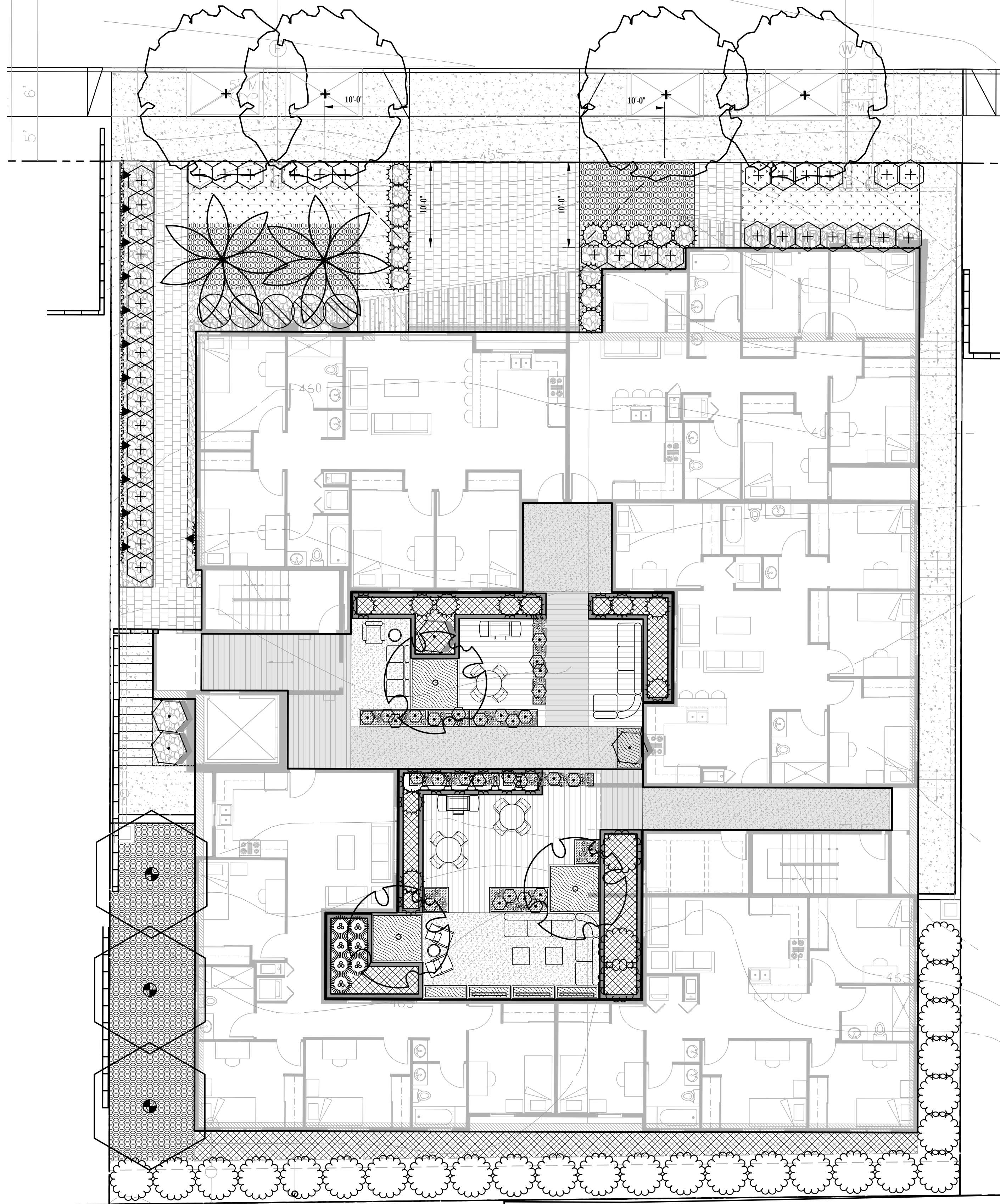
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7 MAY 2018

LANDSCAPE DEVELOPMENT PLAN

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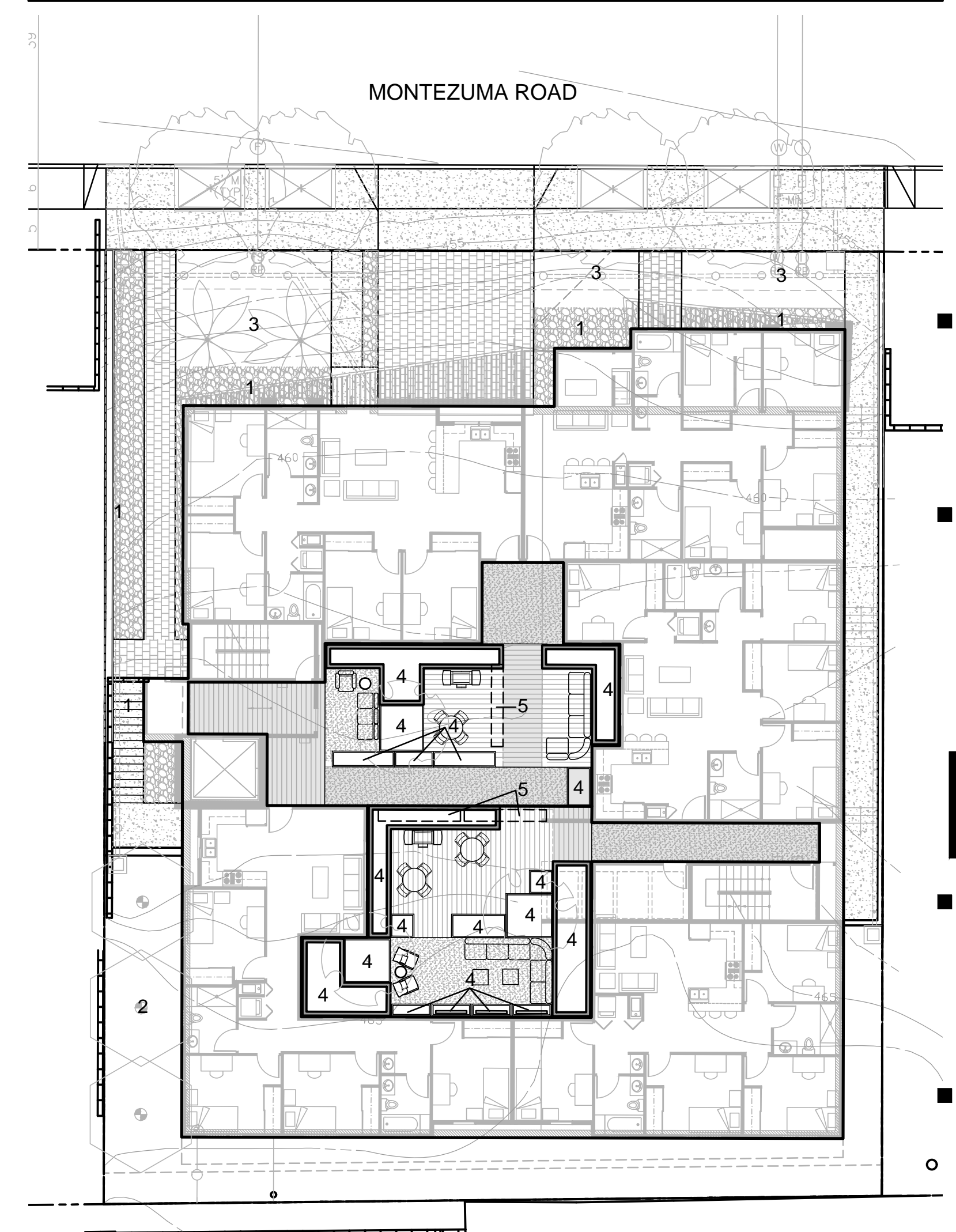
MONTEZUMA ROAD



PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

- Denotes Preferred Species
- STREET TREES**  
Medium scale tree - 30' tall x 20' wide, such as: 4 / 100% / 24" BOX  
• *Jacaranda mimosifolia* "Jacaranda"
- VERTICAL SHADE TREES**  
Medium/ Large scale tree - 30' tall x 15' wide, such as: 3 / 100% / 24" BOX  
• *Hymenosporum flavum* "Sweetshade"  
• *Lophostemon coleratus* "Brisbane Box"  
• *Podocarpus henkelii* "Long-Leafed Yellow Wood"
- FEATHER PALM TREES**  
Medium scale tree - 20' tall x 10' wide, such as: 2 / 100% / 8" BTH  
• *Archontophoenix cunninghamiana* "King Palm"  
• *Howea forsteriana* "Kentia Palm"  
• *Syagrus fomanzolliana* "Queen Palm"
- SHADE TREES IN CONTAINER**  
Medium scale tree - 15' tall x 15' wide, such as: 3 / 100% / 24" BOX  
• *Arbutus 'Marina'* "NCN"  
• *Bauhinia blakeana* "Hong Kong Orchid Tree"  
• *Magnolia grandiflora 'Little Gem'* "Dwarf Southern Magnolia"
- LARGE EVERGREEN SCREENING SHRUB**  
Large scale shrub - 10' tall x 6' wide, such as: 29 / 100% / 15 GAL  
• *Myrica californica* "Pacific Wax Myrtle"  
• *Pittosporum tenuifolium 'Silver Sheen'* "Tawhiwhi"  
• *Dodonaea viscosa 'Purpurea'* "Purple Hopseed Bush"
- ACCENT PERENNIAL**  
Medium scale shrub - 5' tall x 5' wide, such as: 4 / 100% / 15 GAL  
• *Cordylone australis 'Red Star'* "Giant dracaena"  
• *Furcraea foetida 'Mediopicta'* "Mauritius hemp"  
• *Phormium tenax 'Surfer'* "New Zealand Flax"
- MASSED PERENNIAL**  
Medium scale shrub - 3' tall x 3' wide, such as: 40 / 100% / 5 GAL  
• *Dianella tasmanica 'Variegata'* "Flax Lily"  
• *Liriope muscari 'Variegata'* "Lily Turf"  
• *Phormium 'Tom Thumb'* "New Zealand Flax"
- GRASS-LIKE PERENNIAL**  
Medium scale shrub - 3' tall x 3' wide, such as: 32 / 100% / 1 GAL  
• *Festuca mairei* "Atlas Fescue"  
• *Lomandra longifolia 'Breeze'* "Dwarf Mat Rush"  
• *Muhlenbergia rigens* "Deer Grass"
- SCREENING SHRUB**  
Medium scale shrub - 5' tall x 5' wide, such as: 5 / 100% / 5 GAL  
• *Coprosma repens* "Mirror Plant"  
• *Hebe spp.* "Hebe"  
• *Rhannus californica 'Little Sur'* "Little Sur Coffeeberry"
- EVERGREEN SHADE SHRUB/ GROUNDCOVER**  
Medium scale shrub - 3' tall x spreading wide, such as: 7 / 100% / 5 GAL  
• *Cyrtomium falcatum* "Holly Fern"  
• *Mahonia repens* "Creeping Mahonia"  
• *Trachelospermum jasminoides* "Star Jasmine"
- SUCCULENT PLANTING**  
Medium scale succulent - 2' tall x 1' wide such as: 30 / 100% / 1 GAL  
• *Agave spp.* "Agave"  
• *Aloe spp.* "Aloe"  
• *Aeonium spp.* "Aeonium"
- SUCCULENT PLANTING**  
Small scale succulent - 6" tall x 6" wide such as: 92 / 100% / 4" POTS  
• *Echeveria spp.* "Echeveria"  
• *Dudleya spp.* "Dudleya"  
• *Kalanchoe spp.* "Kalanchoe"
- SCREENING VINES**  
Medium scale vine - 10' tall x 5' wide, such as: 13 / 100% / 5 GAL  
• *Bignonia capreolata* "Crossvine"  
• *Cissus rhombifolia* "Grape Ivy"  
• *Macfadyena unguis-cati* "Yellow Trumpet Vine"
- MASSED ORNAMENTAL GRASS**  
Medium scale grass - 2' tall x 2' wide, such as: 140 / 100% / 4" POTS @ 18" O.C.  
• *Carex pansa* "Sanddune Sedge"  
• *Carex divulsa* "Berkeley Sedge"  
• *Festuca glauca* "Blue Fescue"
- MASSED FLOWERING SHRUB**  
Medium scale shrub - 2.5' tall x 4' wide, such as: 75 / 100% / 1 GAL @ 36" O.C.  
• *Ceanothus l. var. horizontalis* "Camel Creeper"  
• *Lantana x 'New Gold'* "New Gold Lantana"  
• *Rosa 'Floral Carpet'* "Floral Carpet Roses"
- MASSED ACCENT PLANTING**  
Medium scale shrub - 2' tall x 2' wide, such as: 133 / 100% / 1 GAL @ 12" O.C.  
• *Liriope muscari 'Variegata'* "Variegated Lily Turf"  
• *Fragaria chilensis* "Wild Strawberry"  
• *Pelargonium pelatum* "Ivy Geranium"
- SUCCULENT GROUNDCOVER**  
Low-growing groundcover - 1' tall x 3' wide, such as: 123 / 100% / FLATS @ 12" O.C.  
• *Crassula spp.* "Jade"  
• *Sedum spp.* "Stonecrop"  
• *Senecio spp.* "Blue Chalk Sticks"
- EVERGREEN GROUNDCOVER**  
Low-growing groundcover - 6' tall x spreading wide, such as: 1133 / 100% / FLATS @ 8" O.C.  
• *Vinca minor* "Common Periwinkle"  
• *Gazania spp.* "Gazania"  
• *Myoporum parvifolium 'Pink'* "Myoponium Pink"

HYDROZONE DIAGRAM



WATER BUDGET CALCULATIONS:

TOTAL LANDSCAPE AREA (LA) =	2,807 SF
SPECIAL LANDSCAPE AREA (SLA) =	0 SF
ETO=	47
ETAF=	.55

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):  
 $MAWA = (ETO)(0.62)[ETAF \times (LA-SLA)] + (1-ETAF) \times SLA$   
 $(47)(0.62) [(55 \times 2,807) + (0.45 \times 0)] = 44,988 \text{ GAL/YR}$

ETWU = (ETO)(0.62) [(PF/IE x HA/IE) + (SLA)]

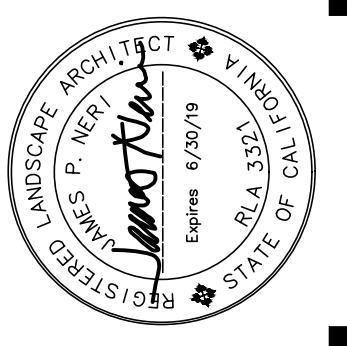
ESTIMATED TOTAL WATER USE (ETWU):	42,309 GAL/YR
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ESTIMATED TOTAL WATER USE

HYD.	PLANT FACTOR	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	HYDROZONE AREA IN S.F.	ETAF x HA	RESULT IN GAL/ YR.
1	0.4	DRIP	.81	0.494	515	254.321	7,411
2	0.4	SPRAY	.75	0.533	668	356.267	10,382
3	0.4	SPRAY	.75	0.533	996	531.200	15,479
4	0.4	DRIP	.81	0.494	484	239.012	6,965
5	0.4	DRIP	.81	0.494	144	71.111	2,072
TOTAL					2,807		42,309

Project No. - xxx  
 Drawn - JS  
 Checked - JPN

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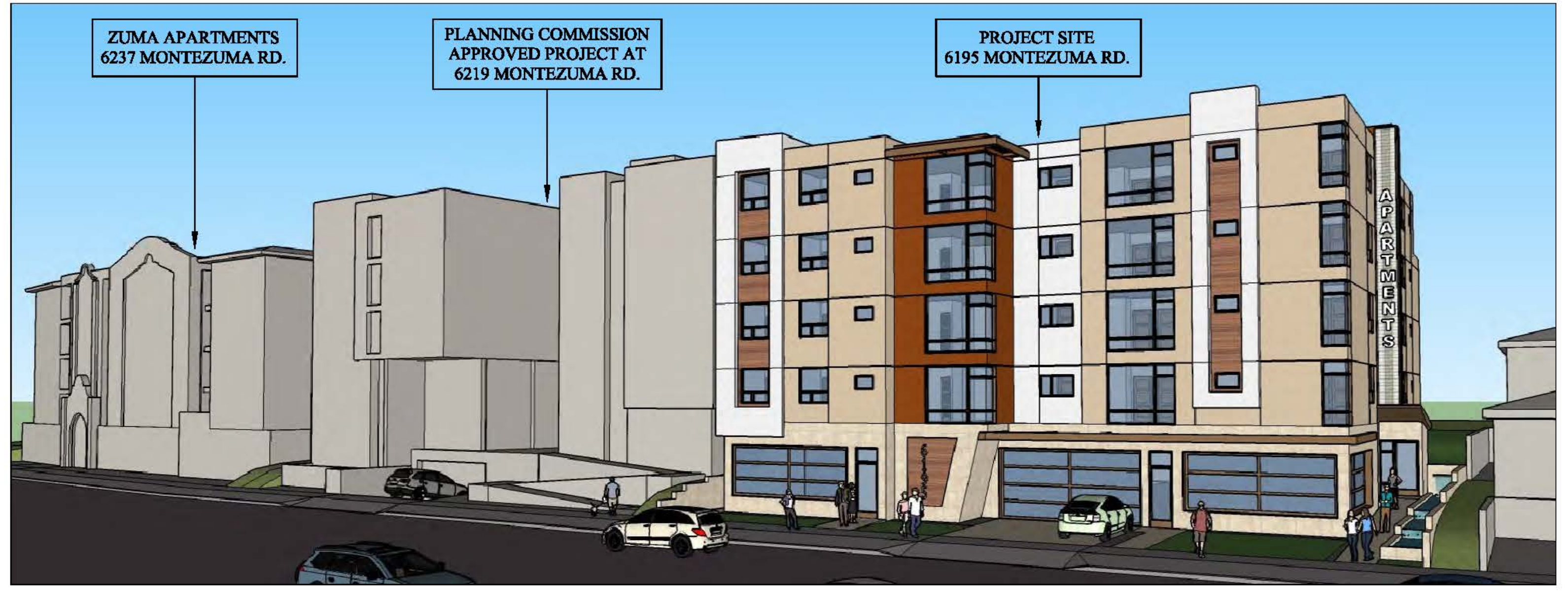
LANDSCAPE IMPROVEMENT PLAN FOR  
**MONTEZUMA UNITS**  
 Montezuma Road  
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FOR APPROVAL  
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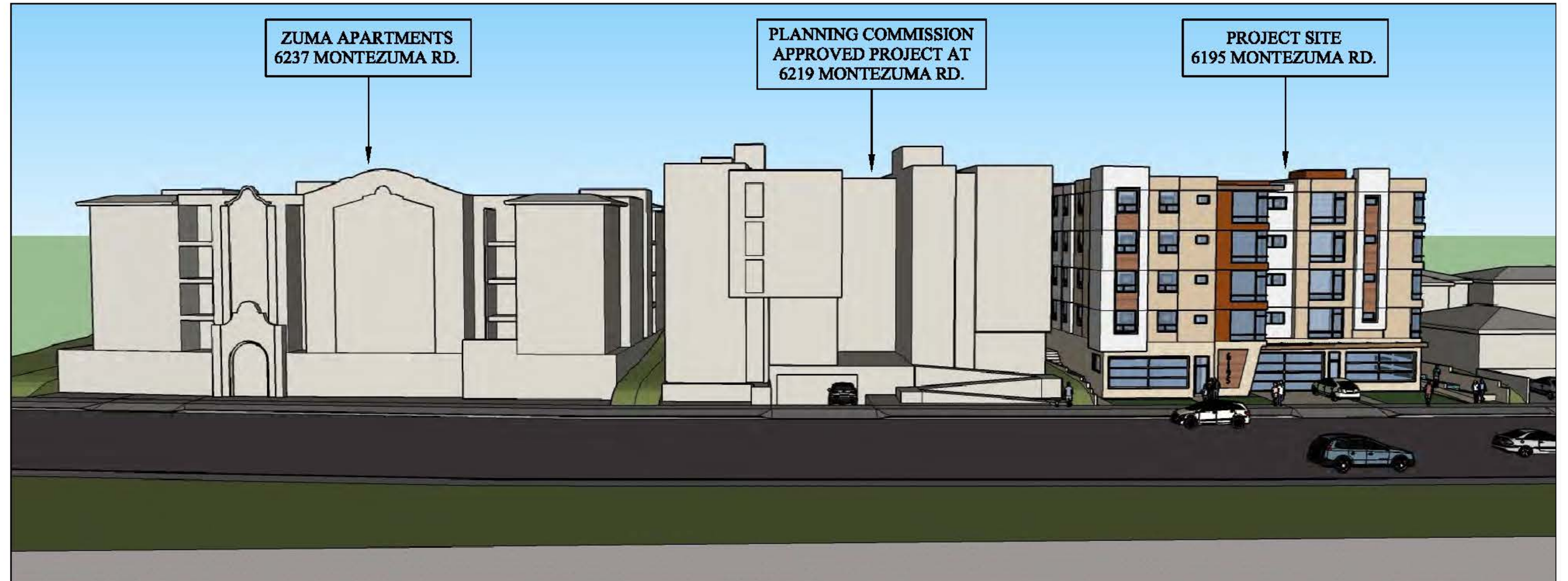
LANDSCAPE DEVELOPMENT PLAN

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VIEW FROM THE NORTHWEST



VIEW FROM THE NORTH



VIEW FROM THE NORTHEAST

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Project Addresses:  
 6195 Montezuma Road  
 San Diego, CA 92115

Original Date:  
 01-04-18

Project Name:  
 APARTMENTS AT 6195

Sheet 21 Of 20

Sheet Title:

# PHOTO SIMULATION

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**APARTMENTS AT 6195**  
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