



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 13, 2019 REPORT NO. HO-19-033

HEARING DATE: March 20, 2019

SUBJECT: PORTSMOUTH RESIDENCES - CDP - Process Three Decision

PROJECT NUMBER: [532008](#)

OWNER/APPLICANT: Portsmouth Homes, LLC

SUMMARY

Issues: Should the Hearing Officer approve Coastal Development Permit No. 1870607 for the demolition of an existing 440-square foot one-story single-family residence and the construction of two new single-family residences on two separate lots?

Staff Recommendations:

1. Approve Coastal Development Permit No. 1870607.

Community Planning Group Recommendation: On November 20, 2018, the Mission Beach Community Planning Board voted 8-0-0 to recommend approval of the proposed project, with the condition that there be no raised porch on the interior side yard as an encroachment.

Environmental Review:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 29, 2019, and the opportunity to appeal that determination ended February 12, 2019, (Attachment 7).

BACKGROUND

The 0.6-acre site is located at 835 and 837 Portsmouth Court in the Mission Beach Planned District Residential-Northern (MBPD-R-N), Coastal Overlay (Appealable Area), Beach Impact Area of the Parking Impact Overlay, Residential Tandem Parking Overlay, and Transit Overlay zones of the

Mission Beach Community Plan area (Attachment 1). The proposed project is in an area identified as low medium density residential (36 dwelling units per acre) in the Mission Beach Community Plan and is consistent with that land use designation (Attachment 2). The project is surrounded by both single-family and multi-family residential development (Attachment 3). The project site is designated Multiple Use in the General Plan. The project is consistent with the existing General Plan designation because it will provide single family residential housing within a medium-low density range in a coastal urbanized core of the City. The project complies with all required San Diego Municipal Code (SDMC) regulations.

The existing residence located at 837 Portsmouth Court is not a historically designated resource and is not located within a designated historical district. However, the SDMC requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. Staff determined the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

DISCUSSION

The applicant is requesting the approval of a Coastal Development Permit (CDP) per SDMC Section [126.0702\(a\)](#), to demolish an existing 440-square foot one-story single-family residence and construct two new single-family residences on two separate lots. The residences would be 1,313-square feet and 1,369-square feet. Each residence would be three stories with roof decks and would contain two parking spaces. The project site is designated Multiple Use in the General Plan. The project is consistent with the existing General Plan designation because it will provide housing within a medium-low density range in a coastal urbanized core of the City.

The Mission Beach Community Plan does not provide specific recommendations regarding development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. The project design incorporates balconies, glazing area, multiple offsetting planes, and materials and finishes that will provide visual interest and reduce the perceived bulk and scale of the existing residences. The project will be compatible with existing land uses in the immediate neighborhood and will not constitute a disruptive element to the neighborhood and community.

In addition, the proposed project will provide an opportunity for home ownership which is consistent with the General Plan, Housing Element, Goal No. 4: "to provide affordable housing opportunities consistent with a land use pattern which promotes infill development and socioeconomic equity; and facilitate compliance with all applicable federal, state, and local laws and regulations". The new residential development is a use that is compatible with Residential uses expected to be found in the Mission Beach area community.

The Transportation Element of the Community Plan recommends that off-street parking should be screened from the public right-of-way and adjacent residences. Of the four total parking spaces provided, all are accessed via the alley and are partially covered. The project was reviewed by staff and determined to be in conformance with the Mission Beach Planned District Residential-Northern (MBPD-R-N) Zone development regulations.

The proposed lot size is consistent with the required Mission Beach Planned District Residential-Northern (MBPD-R-N) Zone minimum lot size of 5,000-square-feet and has adequate width and depth and are conditioned to install adequate public improvements prior to the issuance of construction permits.

All necessary public improvements are included as project conditions, and all public utilities required to service the site are available. The project was determined to be exempt from CEQA pursuant to CEQA Guidelines Sections 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures), and there was no appeal of the environmental determination filed within the time period provided by San Diego Municipal Code Section [112.0520](#). The proposed Coastal Development permit includes conditions of approval and exhibits to achieve compliance with the SDMC regulations applicable to this project. Compliance with the permit conditions would protect the health, safety and general welfare of persons residing or working in the surrounding area (Attachment 6).

Community Planning Group Recommendation

On November 20, 2018, the Mission Beach Community Planning Board voted 8-0-0 to recommend approval of the proposed project, with the condition that there be no raised porch on the interior side yard as an encroachment. The applicants have modified the project to eliminate the raised porch.

CONCLUSION

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the San Diego Municipal Code and the Certified Local Coastal Program. Staff has provided draft findings to support approval of the project (Attachments 5) and draft conditions of approval (Attachment 6). Staff recommends that the Hearing Officer approve Coastal Development Permit No. 1870607.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1870607, with modifications.
2. Deny Coastal Development Permit No. 1870607, if the findings required to approve the project cannot be affirmed.

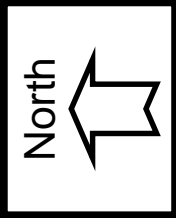
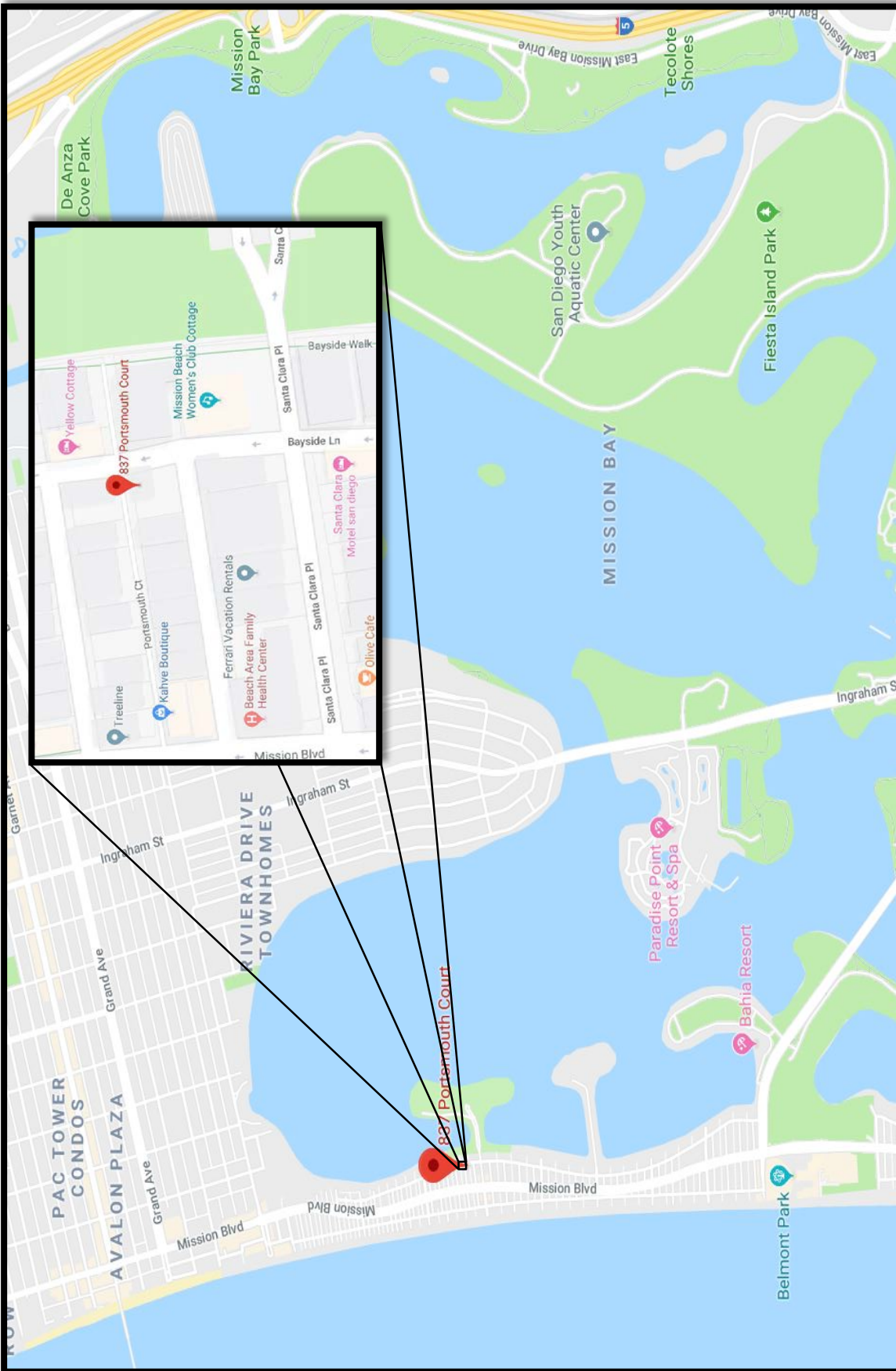
Respectfully submitted,



Derrick Johnson (D.J.), Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



Project Location Map

Portsmouth Residences CDP / 837 Portsmouth Court
PROJECT NO. 532008





Project Site

Legend

- RESIDENTIAL (36 DU/AC)
- NEIGHBORHOOD COMMERCIAL
- COMMERCIAL RECREATION
- MISSION BEACH PARK
- PARKING
- P** PARKING
- B** BELMONT AMUSEMENT PARK
- * Park location shall be sited along the southern side of Jersey Court, a park of 0.32 acre or larger shall be located on site.

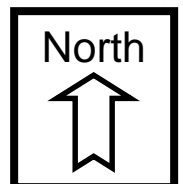
Mission Beach Land Use Plan

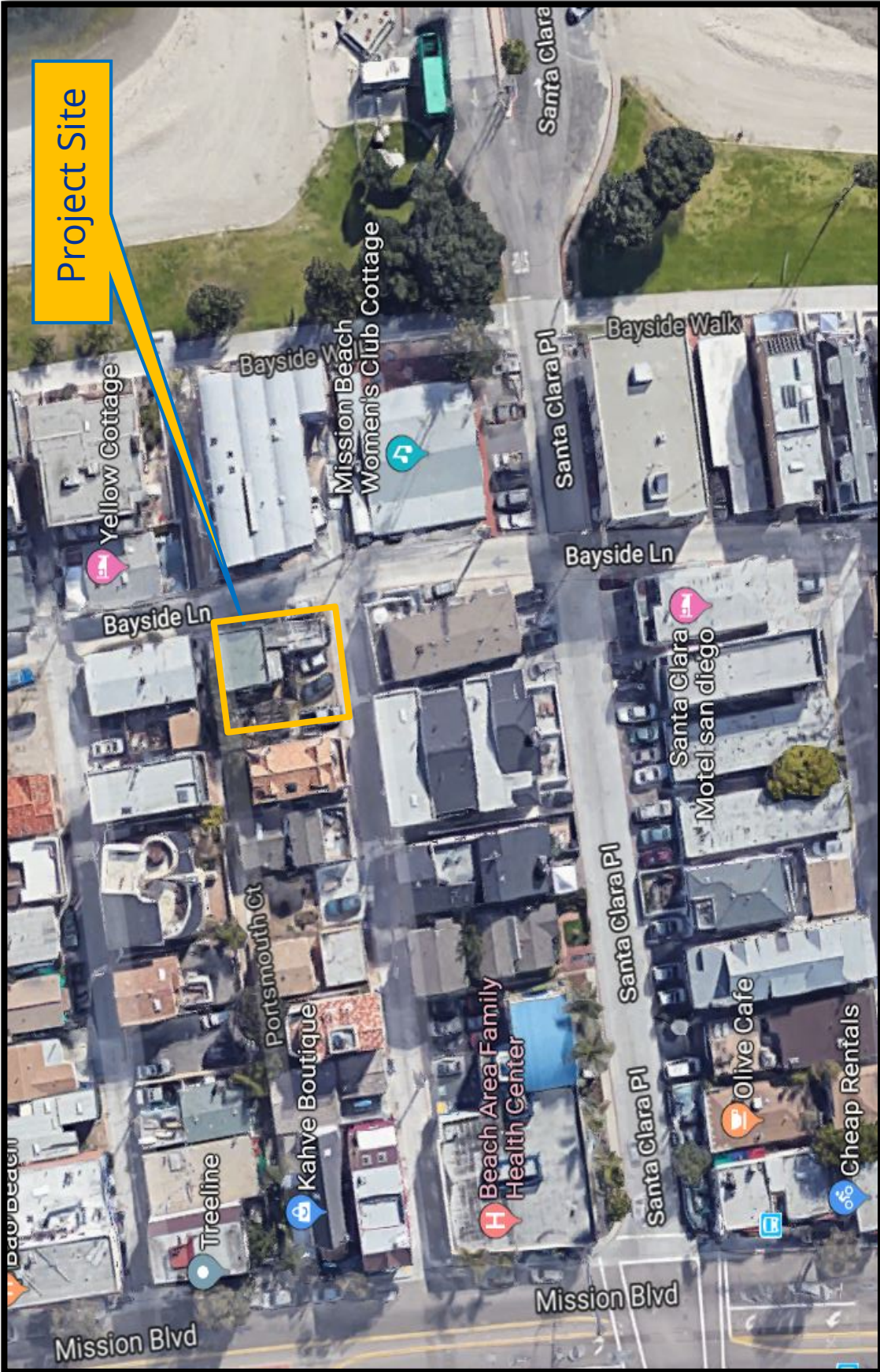
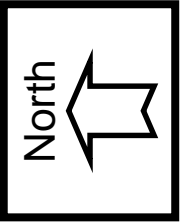
Mission Beach Precise Plan



Land Use Map

Portsmouth Residences CDP / 837 Portsmouth Court
PROJECT NO. 532008





Aerial Photo

Portsmouth Residence CDP/ 837 Portsmouth Court

PROJECT NO. 532008



PROJECT DATA SHEET

PROJECT NAME:	Portsmouth Residences	
PROJECT DESCRIPTION:	Coastal Development Permit for demolition of a single-family residence and construction of two new single-family residences.	
COMMUNITY PLAN AREA:	Mission Beach	
DISCRETIONARY ACTIONS:	Coastal Development Permit Process 3	
COMMUNITY PLAN LAND USE DESIGNATION:	Designated Low -Medium Density Residential (36 DU/AC maximum).	
ZONING INFORMATION:		
ZONE:	MBPD-R-N Zone	
HEIGHT LIMIT:	30 ft (Coastal Height Limitation Overlay Zone) / 30 ft MBPD-R-N zone	
LOT SIZE:	0.06 acres	
FLOOR AREA RATIO:	1.1 Maximum, 1.1 Proposed for Each Lot	
FRONT SETBACK:	Court setback 10 feet Minimum, 10 feet Proposed	
SIDE SETBACK:	5 feet Standard/3 feet for portion of structure 20 feet in height or less, 5 feet/3 feet Combination Proposed	
STREETSIDE SETBACK:	0 feet Minimum/no setback required, 0 feet proposed	
REAR SETBACK:	Alley setback 0 feet Minimum/no setback required, 0 feet proposed	
PARKING:	2 spaces per residence required (two residences proposed), 4 total provided	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	MBPD-R-N Zone	Low-Medium Density Residential
SOUTH:	MBPD-R-N Zone	Low-Medium Density Residential
EAST:	MBPD-R-N Zone	Low-Medium Density Residential
WEST:	MBPD-R-N Zone	Low-Medium Density Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:		

HEARING OFFICER
RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT No. 1870607
PORTSMOUTH RESIDENCES CDP - PROJECT NO. 532008

WHEREAS, Portsmouth Homes, LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for the demolition of an existing 440-square foot one-story single-family residence and the construction of two new single-family residences on two separate lots. The residences would be 1,313-square feet and 1,369-square feet. Each residence would be three stories with roof decks and would contain two parking spaces (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.1870607), on portions of a 0.06-acre site;

WHEREAS, the project site is located at 835 and 837 Portsmouth Court in the Mission Beach Planned District-Residential- North zone, the Coastal Overlay zone (Appealable), the Coastal Height Limit zone, the Parking Impact Overlay zone, Coastal-Impacts and Parking Impact Overlay zone, the Residential Tandem Overlay zone, the Transit Area Overlay zone, and within the Mission Beach Specific Plan, the Local Coastal Program area, and the Mission Beach Community Plan area;

WHEREAS, the project site is legally described as Lots A and B, Block 176 of Mission Beach, County of San Diego, Map No. 1651, Recorded on December 14, 1914;

WHEREAS, on January 29, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15301 Existing Facilities and 15303 New Construction or Conversion of Small Structures; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on March 20, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1870607, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 1870607;

COASTAL DEVELOPMENT PERMIT FINDINGS – SAN DIEGO MUNICIPAL CODE SECTION 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes the demolition of an existing 440-square foot one-story single-family residence and the construction of two new single-family residences on two separate lots. The residences would be 1,313-square feet and 1,369-square feet. Each residence would be three stories with roof decks and would contain two parking spaces. The Mission Beach Community Plan does not identify any existing or proposed physical access way from this site to any coastal resource and there are no public access easements recorded on the title of the property. No physical access routes are identified through the property in the Mission Beach Community Plan or Local Coastal Program Land Use Plan. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan. Furthermore, the Mission Beach Community Plan and the adopted Local Coastal Program land use plan, do not identify any public views from this private property to and along the ocean, which is approximately one block westerly of the site, or other scenic coastal areas. Therefore, the proposed coastal development will not degrade, nor will it remove, eliminate, or detract any protected public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan from this privately-owned site of which there are none.

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The subject site does not contain nor is it adjacent to any environmentally sensitive lands. The project is within an urbanized area and is not located in or adjacent to the Multi Habitat Planning Area. Both single-family and multi-residential development are the primary existing land uses of the immediate neighborhood and the proposed residential development maintains that development pattern. In addition, the majority of the site's runoff will be treated by flowing over landscaping, then it will be collected in a catch basin at the rear and will be pumped to the curb outlet at the front of the residence to the alley.

The project has been designed to ensure all drainage from unimproved areas will be appropriately collected and discharged to reduce, control, or mitigate erosion. The proposed coastal development will not adversely affect environmentally sensitive lands, as no such resources exist on or adjacent to the project site.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Mission Beach Community Plan designates the site for residential development. The City of San Diego Progress Guide and General Plan, the Mission Beach Community Plan and Local Coastal Program designate the site for low medium -density residential with regulations for minimum lot size and dimensional criteria and the project is consistent with these regulations. The proposed project is in an area identified as low medium density (36 Dwelling Units per acre) residential in the Mission Beach Community Plan and is consistent with that land use designation. The project proposes the demolition of an existing 440-square foot one-story single-family residence and the construction of two new single-family residences on two separate lots. The residences would be 1,313-square feet and 1,369-square feet. Each residence would be three stories with roof decks and would contain two parking spaces. Both multi-family and single-family residential development are the primary existing land uses in the immediate neighborhood. The Mission Beach Community Plan does not provide specific recommendations regarding development requirements, other than general guidelines for the inclusion of building articulation and design compatibility. Architectural harmony with the surrounding neighborhood and community will be achieved through the project design, which incorporates balconies, glazing area, multiple offsetting planes, and materials and finishes that will provide visual interest and reduce the perceived bulk and scale of the existing residences. The project will be compatible with existing land uses in the immediate neighborhood and will not constitute a disruptive element to the neighborhood and community.

In addition, the proposed project will provide an opportunity for home ownership which is consistent with the General Plan, Housing Element, Goal No. 4: "to provide affordable housing opportunities consistent with a land use pattern which promotes infill development and socioeconomic equity; and facilitate compliance with all applicable federal, state, and local laws and regulations". The new residential development is a use that is compatible with Residential uses expected to be found in the Mission Beach area community. Therefore, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

ATTACHMENT 5

The project site is not located between the nearest public road and the shoreline of a body of water. The site does not contain a physical public access way and is not within or adjacent to any public recreation area. The project does not propose to encroach into any public access way to the ocean, which is approximately one block westerly of the site. The project is a private development on privately owned land. The Mission Beach Community Plan and Local Coastal Program do not designate any coastal access to the beach from the project site. Therefore, the development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1870607, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1870607, a copy of which is attached hereto and made a part hereof.



Derrick Johnson (D.J.)
Development Project Manager
Development Services

Adopted on: March 20, 2019

IO#: 24007191

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007191

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1870607
PORTSMOUTH RESIDENCES PROJECT NO. 532008
HEARING OFFICER

This Coastal Development Permit No. 1870607 is granted by the Hearing Officer of the City of San Diego to Portsmouth Homes, LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0701. The 0.06-acre site is located at 835 and 837 Portsmouth Court in the Mission Beach Planned District Residential-Northern (MBPD-R-N), Coastal Overly (Appealable Area), Beach Impact Area of the Parking Impact Overlay, Residential Tandem Parking Overlay, and Transit Overlay zones of the Mission Beach Community Plan area. The project site is legally described as: Lots A and B, Block 176 of Mission Beach, County of San Diego, Map No. 1651, Recorded on December 14, 1914.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing 440-square foot one-story single-family residence and construct two new single-family residences on two separate lots. The residences would be 1,313-square feet and 1,369-square feet. Each residence would be three stories with roof decks and would contain two parking spaces, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 20, 2019, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing 440-square foot one-story single-family residence and the construction of two new single-family residences on two separate lots. The residences would be 1,313-square feet and 1,369-square feet. Each residence would be three stories with roof decks and would contain two parking spaces;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 4, 2022.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

13. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

14. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for any landscaping in the Portsmouth Court right-of-way.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond, to reconstruct the existing curb ramp at the corner of Portsmouth Court and Bayside Lane, with current City Standard Curb Ramp with truncated domes, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Portsmouth Court.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the removal and replacement of the concrete panels in the alley fronting the project, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

21. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

22. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit 'A,' the Mission Beach Planned District Ordinance, the Mission Beach Community Plan, and the Land Development Manual - Landscape Standards.

23. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

25. The Owner/Permittee shall install and maintain all landscaping proposed in public view corridors to not obstruct public views of the ocean as specified in §132.0403(e) of the Land Development Code, Coastal Overlay Zone Regulations. Landscaping materials shall not encroach or overhang into the Courts and Places right-of-way below a height of 8-ft. above the finish surface or finish grade, as measured at the trunk [§1513.0402(a)(2)].

PLANNING/DESIGN REQUIREMENTS:

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

28. A minimum of four automobile spaces are required by the Land Development Code as shown on the project's Exhibit "A". All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

29. Prior to any Grading or Construction Permit being issued, the existing sewer lateral scheduled for reuse must be inspected by a California licensed plumbing contractor using closed-circuit television to verify (to the satisfaction of the City Engineer) that the lateral is in good condition, free of all debris, properly connected to a public sewer main, and in all other ways suitable for reuse. If it is not, the Owner/Permittee or Subdivider is required to repair, remove and replace, or abandon and cap the lateral at the property line in a manner satisfactory to the City Engineer.

30. Prior to any Certificate of Occupancy being issued, all public water and/or sewer facilities necessary to serve the development (including services and laterals) shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

31. Prior to the issuance of any Construction Permit, the Owner/Permittee shall obtain a plumbing permit for, and ensure the installation of, an appropriate private back flow prevention device (BFPD) for each individual water service (domestic, fire, or irrigation) in a manner satisfactory to the Public Utilities Director and the City Engineer. Note: Whenever possible BFPDs shall be located above ground, on private property, in-line with the water service, and immediately adjacent to the right-of-way. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 20, 2019 and Approved Resolution Number.

ATTACHMENT 6

Coastal Development Permit No. 1870607
March 20, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Derrick Johnson (D.J.)
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Portsmouth Homes, LLC
Owner/Permittee

By _____
Scott Sinnett
Managing Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: PORTSMOUTH RESIDENCES CDP

Project No. / SCH No.: 532008 / N.A.

Project Location-Specific: 835 Portsmouth Court and 837 Portsmouth Court, San Diego, CA 92109

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: COASTAL DEVELOPMENT PERMIT for the demolition of an existing 440 square foot one-story single-family residence and the construction of two new single family residences on two separate lots. The proposed new residences are located at 835 Portsmouth Court and 837 Portsmouth Court. The residences would be 1,313 square feet and 1,369 square feet respectively. Each residence would be three stories with roof decks. Each residence would have two parking spaces. The 0.06-acre site is located within the MBPD-R-N zone, the Coastal Overlay Zone (CST-APP), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (PIOZ-Coastal-Impact & PIOZ-Beach-Impact), the Residential Tandem Overlay Zone, the Transit Area Overlay Zone, the and is within the Mission Beach Specific Plan and Local Coastal Program area. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with all public utilities in place to serve the residence.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Scott Sinnett, Portsmouth Homes LLC, 8765 Aero Dr., Suite 312, San Diego, CA, 92123, 858-625-2420

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Sections 15301(Existing Facilities) and 15303 (New Construction)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) and 15303 (New Construction). The exemptions are appropriate because 15301 allows for demolition of a single family residence, 15303 allows for the construction of a duplex or similar multi-family residential. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: Courtney Holowach

Telephone: (619) 446-5187

ATTACHMENT 7

If filed by applicant:

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title

2/28/19

Date

Check One:
(X) Signed By Lead Agency
() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

MISSION BEACH PRECISE PLANNING BOARD (“MBPPB”)
Tuesday, November 20, 2018 @ 7 PM
Belmont Park Coaster Terrace - Community Room
Minutes of Meeting

Board Members Present:

Michelle Baron		Carole Havlat	Dennis Lynch
Brian McCarthy	John Ready	Brandon Soule	Gernot Trolf
	Jenine Whittecar	Debbie Watkins	

Absent: Josh Geller, Mike Meyer

OPENING FUNCTIONS (7:05 p.m.)

Meeting was called to order by Debbie Watkins, Chair, at approximately 7:06 PM.

- **Approval of Minutes** for October 16, 2018 Meeting
Copies of the draft October 16, 2018 Minutes of Meeting were distributed and reviewed.

Motion #1 was made by Brandon Soule and seconded by Carol Havlat TO APPROVE the minutes as corrected.

VOTE: For: 7 [Baron, Havlat, Lynch, McCarthy, Soule, Trolf, Whittecar]

Against: 1 [Ready]

Abstain: 0

Motion #1 passed.

- **Revisions to Agenda**
Copies of the November 20, 2018 Agenda were distributed and reviewed. There were no revisions to the agenda.
- **Chair’s Report (7:20 p.m.)**
There are two new vacancies on the Board. Gary Wonacott was removed at the October meeting so his seat in District One is now vacant. He had one year left on his term. A candidate can run for that District One vacancy in the election at the March, 2019 meeting. Dave Kvederis resigned his seat in District Four effective October 16, 2018. He had one year left on his term. A candidate can run for that District Four vacancy in the election at the March, 2019 meeting as well. The Chair read Dave’s letter of resignation.

At the October 17, 2018 Airport Noise Advisory Committee (ANAC), our representative on that committee, Debbie Watkins, requested information concerning complaints made. It is the job of the ANAC to collect and correlate data. She asked that the complaints be broken down between the Airport Authority’s authorized method of complaints vs. third party methods of making complaints. There is only one third party method of complaining. The next meeting will be December 19, 2018 at 4:00 pm, at the Holiday Inn, 4875 North Harbor Drive.

- **Secretary’s Report**
No report given.

PUBLIC COMMENT (limited to 3 minutes per speaker regarding Mission Beach matters NOT listed on the Agenda) (7:27 p.m.)

Larry Webb commented on aircraft noise over his house on the oceanfront at Capistrano Pl.

REPORTS FROM GOVERNMENT OFFICIALS (7:46 p.m.)

- **Bruce Williams, Community Representative for Councilmember (“CM”) Lori Zapf, San Diego City Council District 2 (Mission Beach & Midway Districts):** Mr. Williams was not present, but had sent a letter to the Chair for reading to the attendees concerning the fact he would no longer be the District 2 representative and that he had enjoyed attending our meetings.

OTHER

Action Item:

Mission Boulevard Maintenance Assessment District—Discuss and approve proposed Budget for FY 2020 (July 1, 2019—June 30, 2020): Carlos Cordova, Grounds Maintenance Manager, City of San Diego Park & Recreation Department/Open Space—MAD’s

Mr. Cordova passed out a budget worksheet pointing out that the budget remained the same as last fiscal year. After a discussion by the Board, the following motion was made: (7:47 p.m.)

MOTION #2 was made by Brandon Soule and seconded by Jenine Whittecar to use Black Criva decomposed granite, or if not feasible, Southwest Brown decomposed granite in the tree wells.

VOTE: For: 8 [Baron, Havlat, Lynch, McCarthy, Ready, Soule, Trolf, Whittecar]
Against: 0 Abstain: 0

Motion #2 Passes.

MOTION #3 was made by Michelle Baron and seconded by Brandon Soule TO APPROVE the 10/23/2018 (Final Draft #1) budget as presented by Mr. Cordova.

VOTE: For: 8 [Baron, Havlat, Lynch, McCarthy, Ready, Soule, Trolf, Whittecar]
Against: 0 Abstain: 0

Motion #3 Passes.

BUILDING PLAN REVIEW Action Item: (7:49 p.m.)

Portsmouth Residences - CDP: Project No. 532008; Coastal Development Permit and Site Development Permit to demolish one single dwelling unit and construct two, three- story single dwelling units totaling 4,305 sq. ft. on two contiguous lots at 833 & 837 Portsmouth Court (Proposed plans dated 8/2/18 and Landscape Plans dated 1/14/17); Presenter: Architect Bill Metz of Primary Design, Inc.. The owner, Scott Sinnett, was not present.

This is the second time this project came before the Board.

PDO § 1513-03B “Enclosed Allowable Encroachments” provides the only allowable encroachments into the interior side yard. A stairway and porch in the interior side yard is not listed in that section and therefore is not allowed.

MOTION #4 was made by Dennis Lynch and seconded by Brian Soule TO APPROVE the project on the condition that there be no raised porch on the interior side yard as an encroachment.

**VOTE: For: 8 [Baron, Havlat, Lynch, McCarthy, Ready, Soule, Trolf, Whittecar]
Against: 0 Abstain: 0**

Motion #4 Passes.

BOARD COMMUNICATION (8:06 p.m.)

Action Item

Discuss and approve Draft Administrative Changes/Clean-up of Bylaws Pertinent of the MBPPB (Please refer to the Attachment at the end of these minutes to see the full text.)

The Chair passed out a page with the proposed three changes to the Bylaws. The Board discussed the proposed changes.

MOTION #5 was made by Gernot Trolf and seconded by Jenine Whittecar TO APPROVE the changes as presented with one correction in #3. The phrase “last 12 meetings” shall be changed to “last 9 meetings”.

**VOTE: For: 7 [Baron, Havlat, Lynch, McCarthy, Soule, Trolf, Whittecar]
Against: 1 [Ready] Abstain: 0**

Motion #5 Passes. (8:27 p.m.)

There being no further business, Chair Debbie Watkins noted Agenda Items must be submitted to the Chair in writing **10 days PRIOR** to the scheduled Board meeting. **The next meeting will be held on Tuesday, January 15, 2019, at 7:00 p.m. in the Belmont Park Community Room.**

ADJOURNMENT (8:35 p.m.)

Motion #6 was made by Gernot Trolf and seconded by Brandon Soule TO ADJOURN the meeting.

**VOTE: For: 8 [Baron, Havlat, Lynch, McCarthy, Ready, Soule, Trolf, Whittecar]
Against: 0 Abstain: 0**

Motion #6 Passes.

Submitted by: John T. Ready, Secretary

**Draft Administrative Changes/Cleanup of Bylaws Pertinent to the MBPPB
Effective February 1, 2019**

1. ADD: Underlined wording

ARTICLE IV Vacancies

Section 1. The Mission Beach Precise Planning Board shall find that a vacancy without prejudice exists upon receipt of a resignation in writing from one of its members or upon receipt of a written report from the planning group's secretary's report showing a third consecutive absence or fourth absence in the 12-month period of April through March each year, of a member(s) from the planning group's regular meetings, or relocation beyond the parameters of Mission Beach. When a vacancy without prejudice occurs, a Board Member may be eligible to run for a vacant seat on the planning group in the future.

A vacancy with prejudice may also exist following a vote of the Mission Beach Precise Planning Board as described in Article III, Section 5 of Council Policy 600-24 related to ineligibility, or following conclusion of a member-removal process conducted under Article IX of the Policy, or due to adopted bylaws violations, or when a Board member violates a sanction motion by the Board for ongoing violations. A Board Member removed for ongoing violations of a sanction motion will not be eligible to run for a vacant seat on the planning group for three years.

2. DELETE: Paragraph (d) in its entirety from this section:

ARTICLE VIII Planning Group Policies and Procedures

(d) Community Recall of a Board Member

Any member of the Planning Board may be recalled separate from committing a violation by a majority vote of eligible voters present and voting from the community at a special meeting called for that purpose. Such a meeting must be initiated by a petition signed by 250 eligible voters from the community. The petition must be completed in any thirty (30) day period with dated signatures thereon. The special meeting must be called within thirty (30) days after the petition is submitted to the Board. Any vacancies resulting from a community recall may be filled by an election held at the meeting. Only one (1) Board member from each area may be recalled in any ninety (90) day period. The election secretary will review all signatures and the Chair will certify that the signatures are valid.

3. DELETE Underlined Wording

EXHIBIT B: Mission Beach Precise Planning Board Election Procedures

Nominees must attend at least one regularly scheduled meeting of the Mission Beach Precise Planning Board's last 9 meetings prior to the February regular meeting preceding the election prior to being nominated and must be present in order to confirm their interest in being nominated. If a nominee is eligible to represent multiple areas, they must state which area they wish to represent for the entirety of their term. Please note that attendance at the regularly scheduled February meeting would meet the attendance qualifications.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 448-6000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title: PORTSMOUTH HOMES, LLC Project No. For City Use Only

Project Address:
837 PORTSMOUTH COURT
SD, CA 92109

Part I - To be completed when property is held by individual(s)

By signing this Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature: Date:

Project Title: <u>PORTSMOUTH HOMES, LLC</u>	Project No. (For City Use Only)
---------------------------------------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? CA Corporate Identification No. 81-4489471
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
PORTSMOUTH HOMES, LLC

Owner Tenant/Lessee

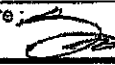
Street Address:
8765 AERO DR STE 312

City/State/Zip:
SD, CA 92123

Phone No: 858 625 2420 Fax No: 858 605 6708

Name of Corporate Officer/Partner (type or print):
SCOTT SINNETT

Title (type or print):
MEMBER

Signature:  Date: 1.3.2017

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

BUILDING DATA

PROJECT DATA: Job #1712

Project: 837 Portsmouth Ct

Owner: Portsmouth Homes LLC - Scott Srinet
8765 Aero Dr. Ste. 312
San Diego, CA 92123

Job Address: 837 Portsmouth Ct
La Jolla, CA 92038

Zone: MFD-PH

Permits: Combination Building Permit

Setbacks: Court: 10'-0"
Rear Yard: 0'-0"
Alley: 3'-0" (4' if 4' or less)
Height: 35'-0"

Occupancy: R-1 and U

Construction: Type V-B Sprinkled

Year Built: 2007

Floor Area:	First Floor	Second Floor	Third Floor	Garage
Proposed	274.13	442.27	442.27	1,913.73
Allowed	280.70	442.27	442.27	1,950.05
Total Enclosed	1,311.73	1,311.73	1,311.73	1,311.73
Other Gravelly Capax	387.00	498.89	318.87	357.27
Roof Decks	93.88	108.87	0.00	0.00
Covered Porch	2,484.41	1,897.93	0.00	0.00
Total Construction Area	2,484.41	1,897.93	0.00	0.00

Lot Area A: Actual Area: 1,191.75; FAR: 1.10; Allowed: 1,311.73; 1,111.73 Additional Area Permitted

Lot Area B: Actual Area: 1,260.00; FAR: 1.10; Allowed: 1,386.00; 1,236.00 Additional Area Permitted

Slope of Work: First Floor Addition: New Second floor and rooftop deck. New decks and covered entry porch part of this permit.

Plan No. #

Architect: Primary Design
William H. Metz
1094 Cudady Place #112
San Diego, CA 92110
Tel: (619) 278-1885

APN: 429-569-06-00

Legal: Lots A & B, Block 176, Map 1651 (Mission Beach), excepting that portion shown shaded in gray. Original filed for record purposes, per Resolution 42398, recorded July 20, 1927 in book 1241, page 260 of deeds.

SHEET INDEX

- A-1 TITLE SHEET & SITE PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 THIRD FLOOR PLAN
- A-5 ROOF PLAN
- A-6 BUILDING ELEVATIONS
- A-7 BUILDING ELEVATIONS
- A-8 BUILDING SECTIONS
- A-9 BUILDING SECTIONS
- A-10 BUILDING SECTIONS

NOTES

MSL Datum
Source of Topography: Field survey by Metropolitan Mapping, dated January 18, 2017
Benchmark: City of San Diego vertical control benchmark, located at the intersection of Mission Blvd and Pismo Court.
Elevation: 5.008 Feet
Datum: Mean Sea Level/NGVD 29

Prior to issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

Prior to issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PROJECT TEAM

Owner: Portsmouth Homes LLC - Scott Srinet
8765 Aero Dr. Ste. 312
San Diego, CA 92123
Tel: (619) 278-1885

Architect: Primary Design
William H. Metz
1094 Cudady Place #112
San Diego, CA 92110
Tel: (619) 278-1885

Civil Engineer: Metropolitan Mapping
Vernon V. Frank
3712 30th Street
San Diego, CA 92104
Tel: (619) 431-5250

VICINITY MAP



Prepared by:
PRIMARY DESIGN INC.
1094 CUDADY PLACE SUITE 112
SAN DIEGO, CA 92110

Project Name:
Portsmouth Court Residences
837 & 833 Portsmouth Ct.
San Diego, CA 92109

Sheet Title: Site - DATA - Index

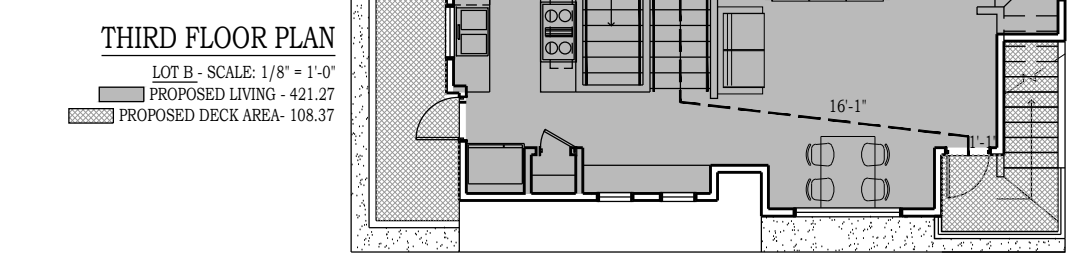
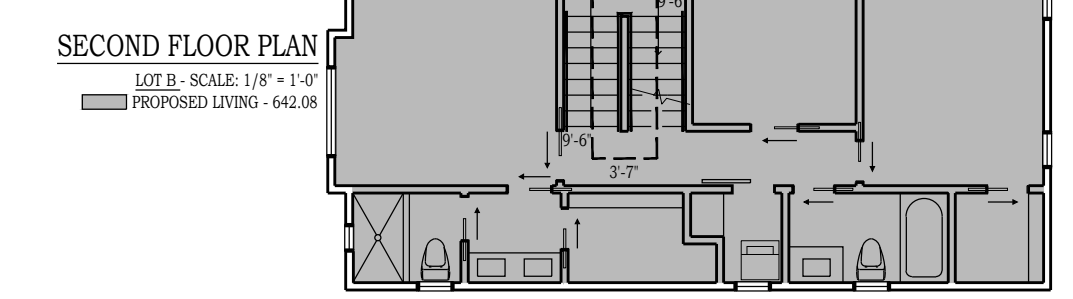
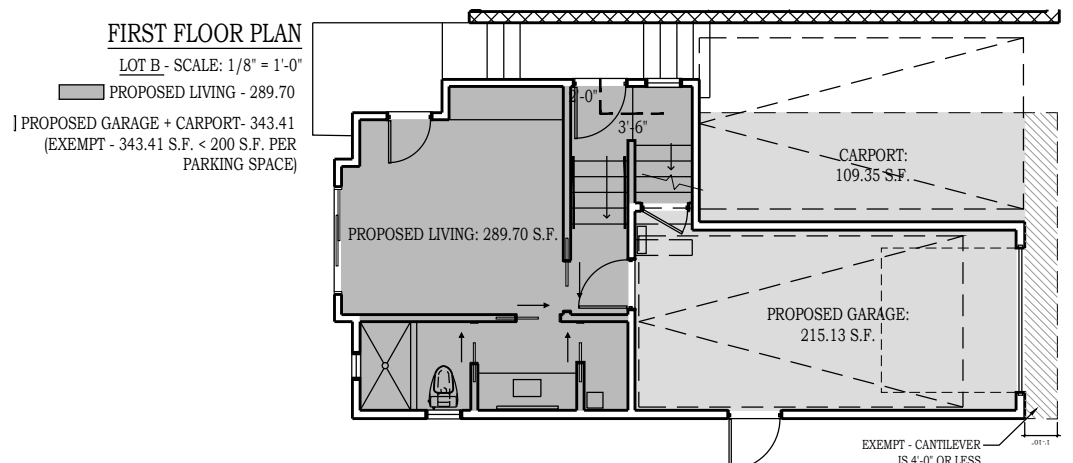
Architectural

Addendum A

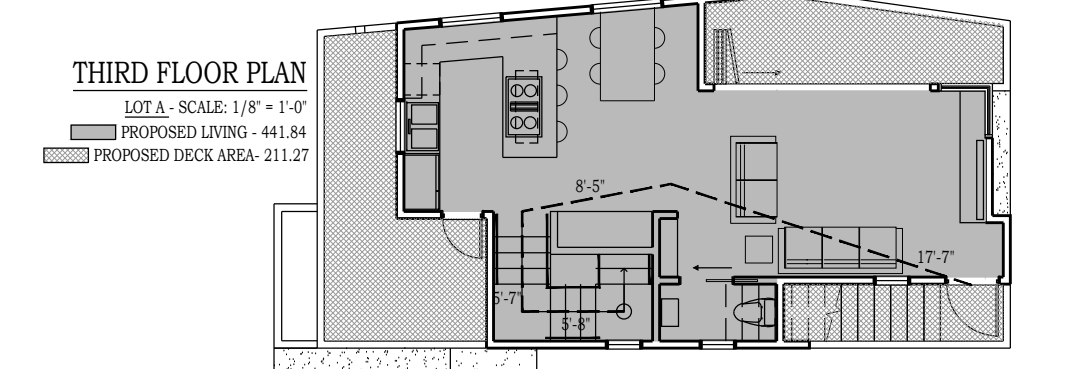
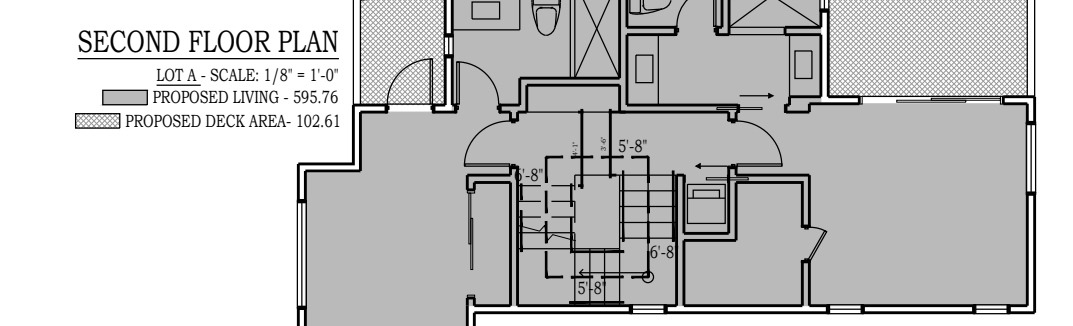
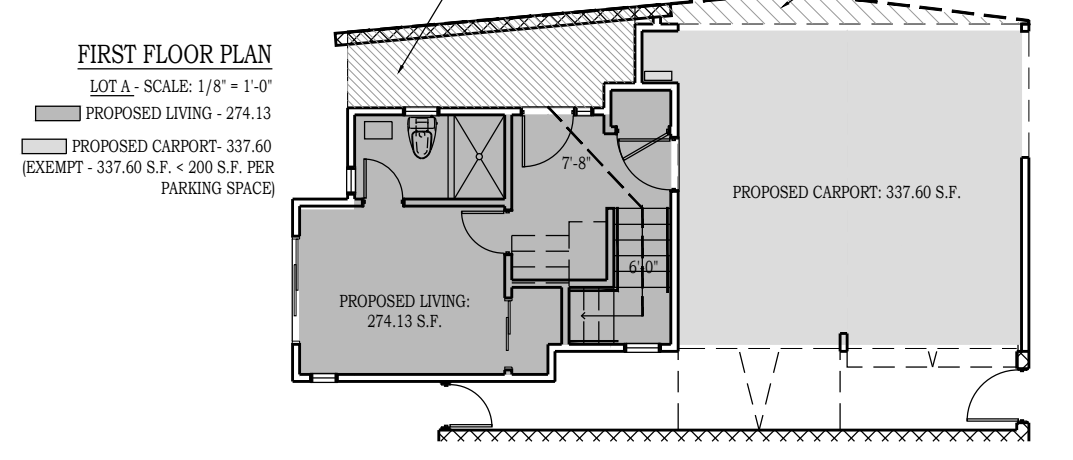
Revision 14	
Revision 13	
Revision 12	
Revision 11	
Revision 10	
Revision 9	
Revision 8	
Revision 7	
Revision 6	
Revision 5	
Revision 4	
Revision 3	
Revision 2	
Revision 1	November 10, 2018

Original Date: September 27, 2017
Sheet: A-1
DEP #:

LOT B

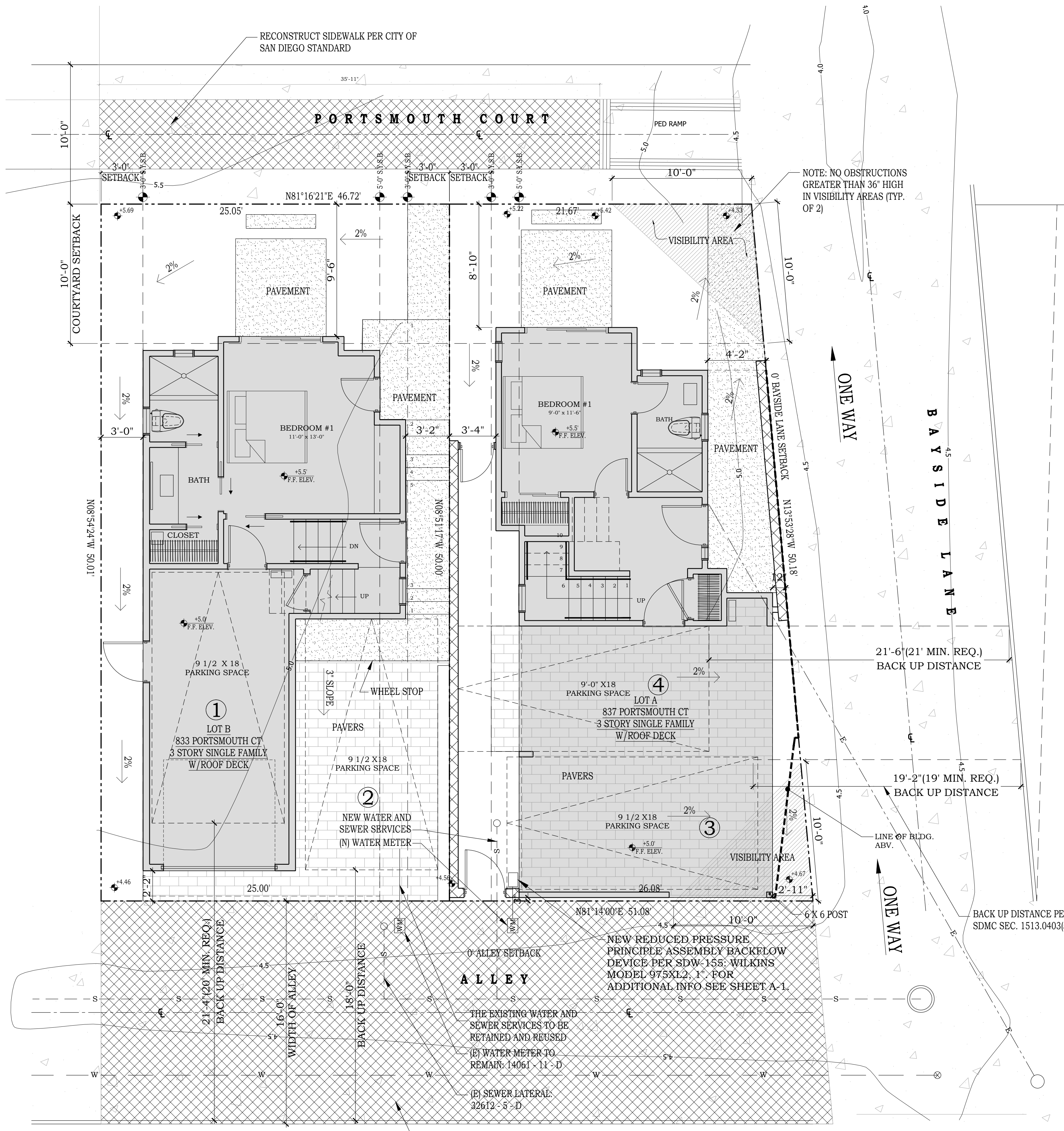


LOT A



GRADING TABLE

CUT QUANTITIES	9.2 C.Y.
FILL QUANTITIES	0 C.Y.
IMPORT / EXPORT	0 C.Y.
MAX CUT DEPTH	0 FT
MAX FILL DEPTH	0 FT

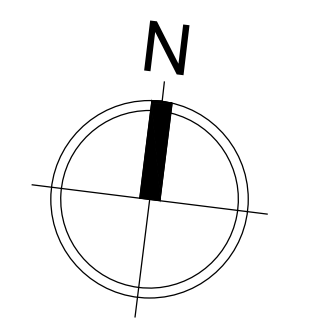


Space	# Obstructions	Req. Width	Actual Width	Extra Width	Req. Back-up
1	2	9.5	10.0	0.5	20.0
2	2	9.5	11.0	1.5	18.0
3	1	9.0	10.0	1.0	19.0
4	1	9.0	9.0	0.0	21.0

(SEE SHEET A-2 FOR WIDTHS)

SITE PLAN

SCALE: 1/4" = 1'-0"
DRAINAGE DIRECTION →

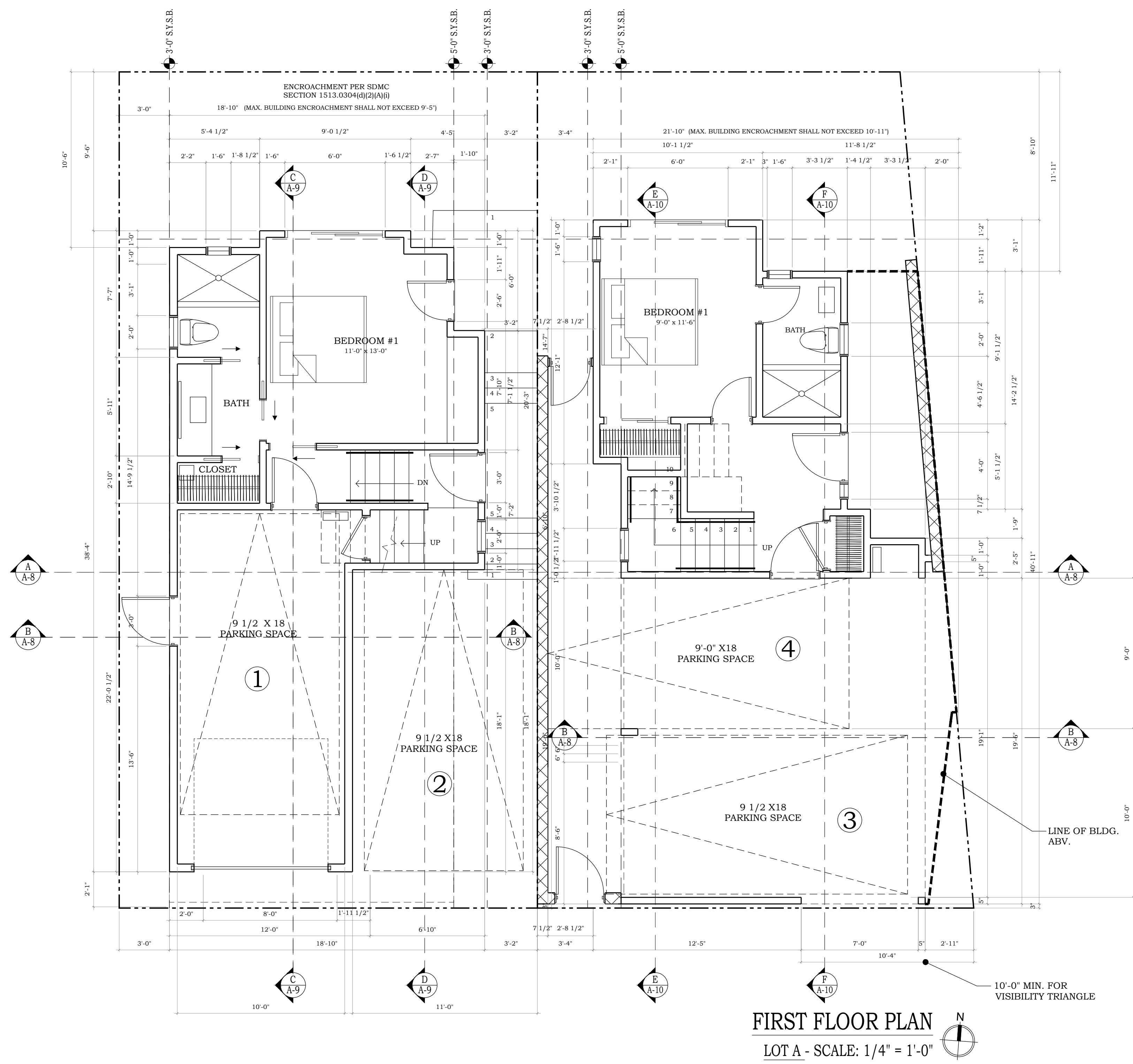


REMOVAL & REPLACEMENT OF CONCRETE PANELS

THE EXISTING WATER AND SEWER SERVICES TO BE RETAINED AND REUSED
(E) WATER METER TO REMAIN: 14061-11-D
(F) SEWER LATERAL: 32612-5-D

NEW REDUCED PRESSURE PRINCIPLE ASSEMBLY BACKFLOW DEVICE PER SDW-155: WILKINS MODEL 975XL2, 1" FOR ADDITIONAL INFO SEE SHEET A-1.

NOTE: NO OBSTRUCTIONS GREATER THAN 36" HIGH IN VISIBILITY AREAS (TYP. OF 2)



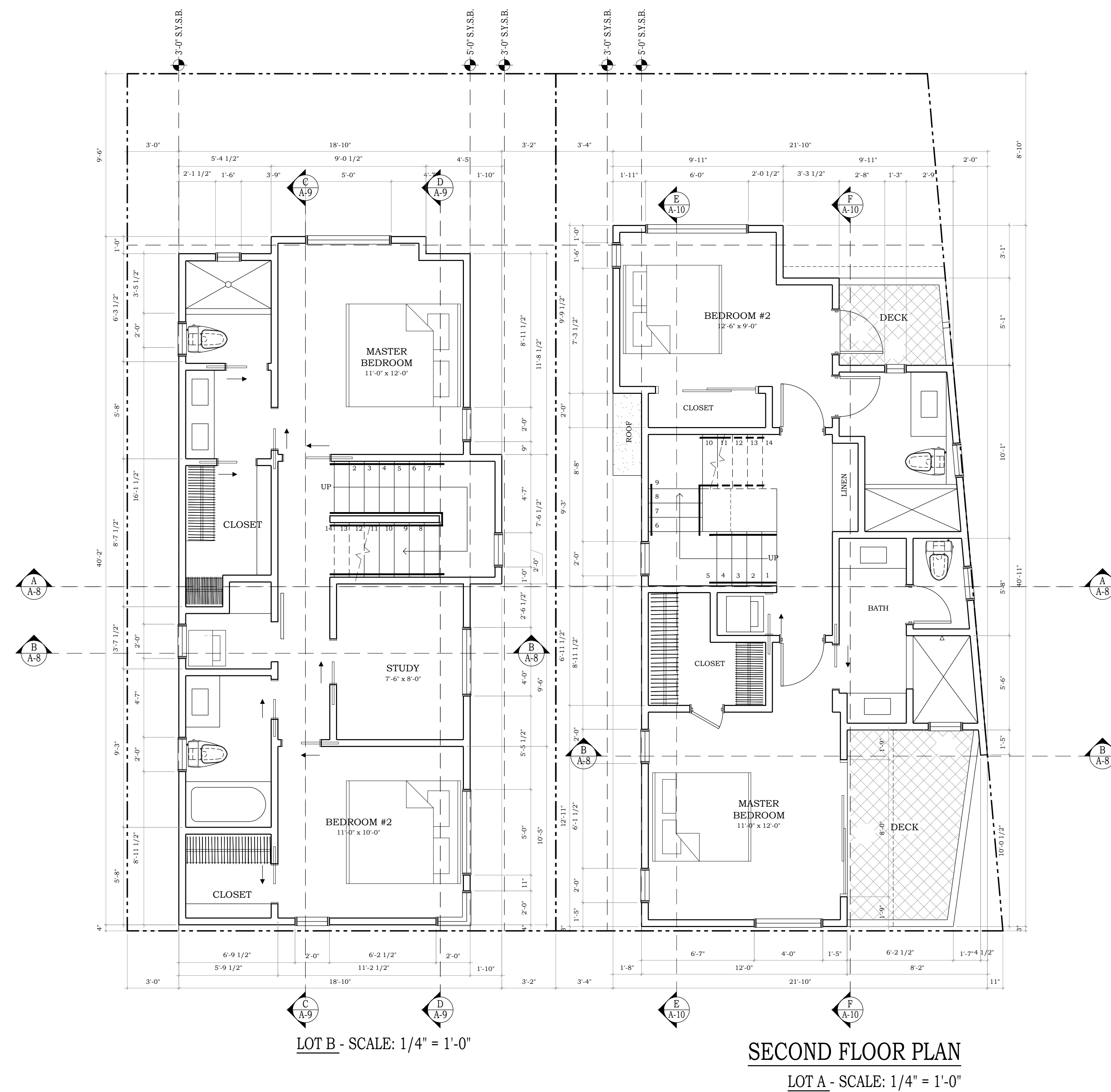
Prepared by:
PRIMARY DESIGN INC.
 1094 CUDAHY PLACE SUITE 112
 SAN DIEGO, CA 92110

Project Name:
**Portsmouth Court
 Residences**
 837 & 833 Portsmouth Ct.
 San Diego, CA 92109

Sheet Title: First Floor Plan
 Architectural
 Addendum A

Revision 14	_____
Revision 13	_____
Revision 12	_____
Revision 11	_____
Revision 10	_____
Revision 9	_____
Revision 8	_____
Revision 7	_____
Revision 6	_____
Revision 5	_____
Revision 4	_____
Revision 3	_____
Revision 2	_____
Revision 1	November 10, 2018

Original Date: September 27, 2017
 Sheet **A-2**
 DEP # _____



Prepared by:
PRIMARY DESIGN INC.
 1094 CUDAHY PLACE SUITE 112
 SAN DIEGO, CA 92110

Project Name:
**Portsmouth Court
 Residences**
 837 & 833 Portsmouth Ct.
 San Diego, CA 92109

Sheet Title: Second Floor Plan
 Architectural
 Addendum A

Revision 14	_____
Revision 13	_____
Revision 12	_____
Revision 11	_____
Revision 10	_____
Revision 9	_____
Revision 8	_____
Revision 7	_____
Revision 6	_____
Revision 5	_____
Revision 4	_____
Revision 3	_____
Revision 2	_____
Revision 1	November 10, 2018



LOT B - SCALE: 1/4" = 1'-0"

THIRD FLOOR PLAN
LOT A - SCALE: 1/4" = 1'-0"

Prepared by:
PRIMARY DESIGN INC.
1094 CUDAHY PLACE SUITE 112
SAN DIEGO, CA 92110

Project Name:
Portsmouth Court
Residences
837 & 833 Portsmouth Ct.
San Diego, CA 92109

Sheet Title: Third Floor Plan
Architectural
Addendum A

Revision 14	_____
Revision 13	_____
Revision 12	_____
Revision 11	_____
Revision 10	_____
Revision 9	_____
Revision 8	_____
Revision 7	_____
Revision 6	_____
Revision 5	_____
Revision 4	_____
Revision 3	_____
Revision 2	_____
Revision 1	November 10, 2018

ROOF PLAN NOTES

Details are typical and shall apply at any similar condition. See existing residence to match fascia sizes and overhang and other architectural detail.

Roof slopes shall be as noted on plans. Provide 1/4 inch per foot minimum on "flat" roofs and decks or crickets.

Provide deck drains and overflow drains/ scuppers at walking decks.

Roof overhangs are per detail unless more restrictive conditions occur:

- 1) 36-inch minimum to property line for fire protection.
- 2) 1/3 the required yard setback max
- 3) When other zoning regulations apply- Verify

For skylights, see window schedule.

Arrows indicate flow line at cricket and/or Roof slopes.

The highest point of the roof, equipment, or any vent, pipe, antenna or other projection shall not exceed 30 feet above grade. (Ord. 11333)

Ventilation (Attic)

There is an attic on the proposed structures. Dormer style vents shall be provided at roof and wall vents at foundation. See attached schedule for required ventilation. Should existing vents be removed, covered or replaced, new ones shall be provided (in matching size and quantity) in addition to those specified in the schedule.

All new roof and Attic vents shall resist the intrusion of flame and embers into the attic area of the structure, and shall be protected by corrosion resistant, noncombustible wire mesh with 1/2-inch (6 mm) openings or its equivalent. (CBC Sec. 704A.2.1)

Fire Safety Compliance

All roofs shall be Class A assembly.

Glazing materials used in skylights, roofs, and sloped walls shall be tempered glass or multilayered glass.

When provided, valley flashing shall be not less than 0.019 inches (0.48mm) No.26 (galvanized sheet gage) corrosion resistance metal installed over a minimum 36-inch wide underlayment consisting of one layer No. 72 ASTM cap sheet running the full length of the valley.

All buildings and structures having any chimney, flue or stovepipe attached to any fireplace, stove, barbecue, or other solid or liquid fuel burning equipment and devices, shall be equipped with an approved spark arrestor. CBC section 2802.1

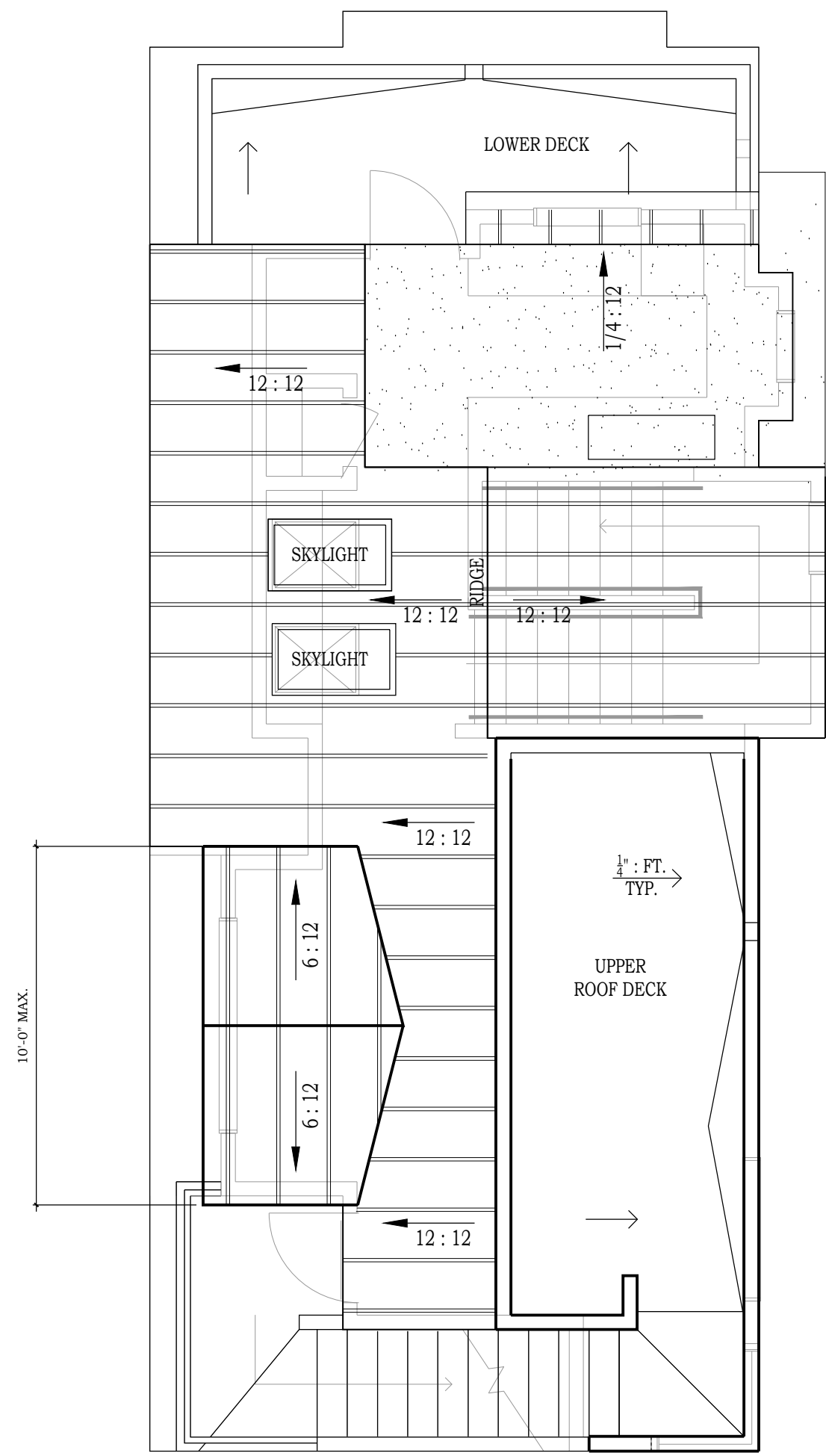
Decorative shrouds shall not be installed at the termination of Chimneys for factory built fireplaces, except where such shrouds are listed and labeled for use with the specific system and installed in accordance with the manufacturer's installation instructions. CBC section R 1004.3

When less than 2x (1.50 inches) decking is provided, fire protection at underside of eaves shall be provided. Protection shall be: Hardie Soffit Panel- Protection Board with one hour fire rating (ICC-ES / NER 405). Installation locations shall be per details.

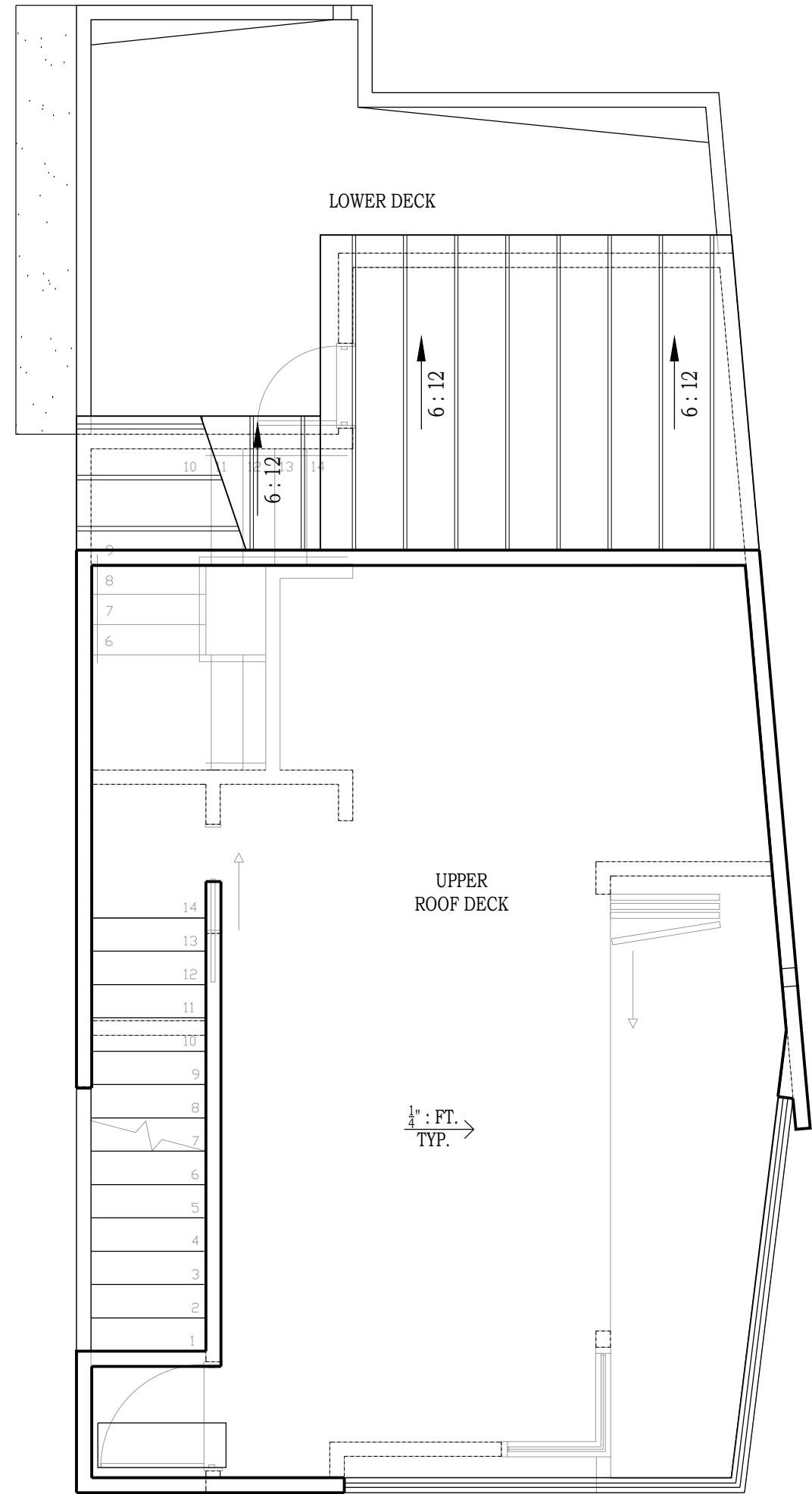
Low Slope Surfaces

Built up roofing (at crickets and low slope roofs, 1:12 maximum slope) shall be James/Manville (specification # 3 CNG) for nail-able surfaces- Class A Fire rated assembly. Use type 6 Deck NC with Ply-sheets of two or more piles Type G1 or "GlasPly IV", "GlasPly Premier", nailed or hot mopped. Surfacing: Type G3 "GlasKap". See also UL # 790/NER #455.

Traffic Roof deck and tile/ pavers shall be over waterproof membrane: Miracote Miraflex II Decking Systems, Class A per ICC ESR-1714 and per manufactures application instructions. See also details for exterior walking deck flashing and application for use directly over concrete or plywood substrates.



LOT B - SCALE: 1/4" = 1'-0"



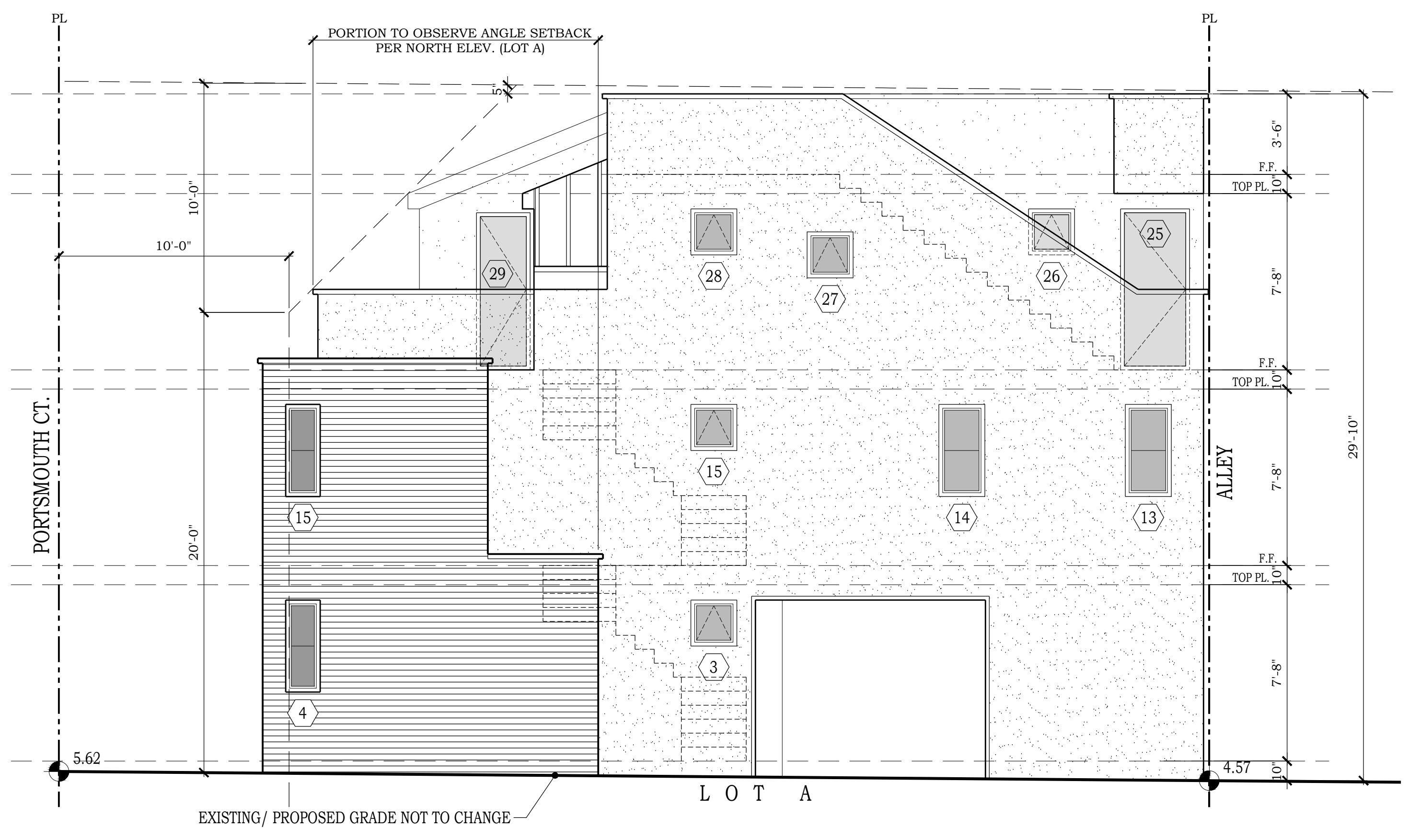
ROOF PLAN
LOT A - SCALE: 1/4" = 1'-0"

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PRIMARY DESIGN INC.
1094 CUDAHY PLACE SUITE 112
SAN DIEGO, CA. 92110

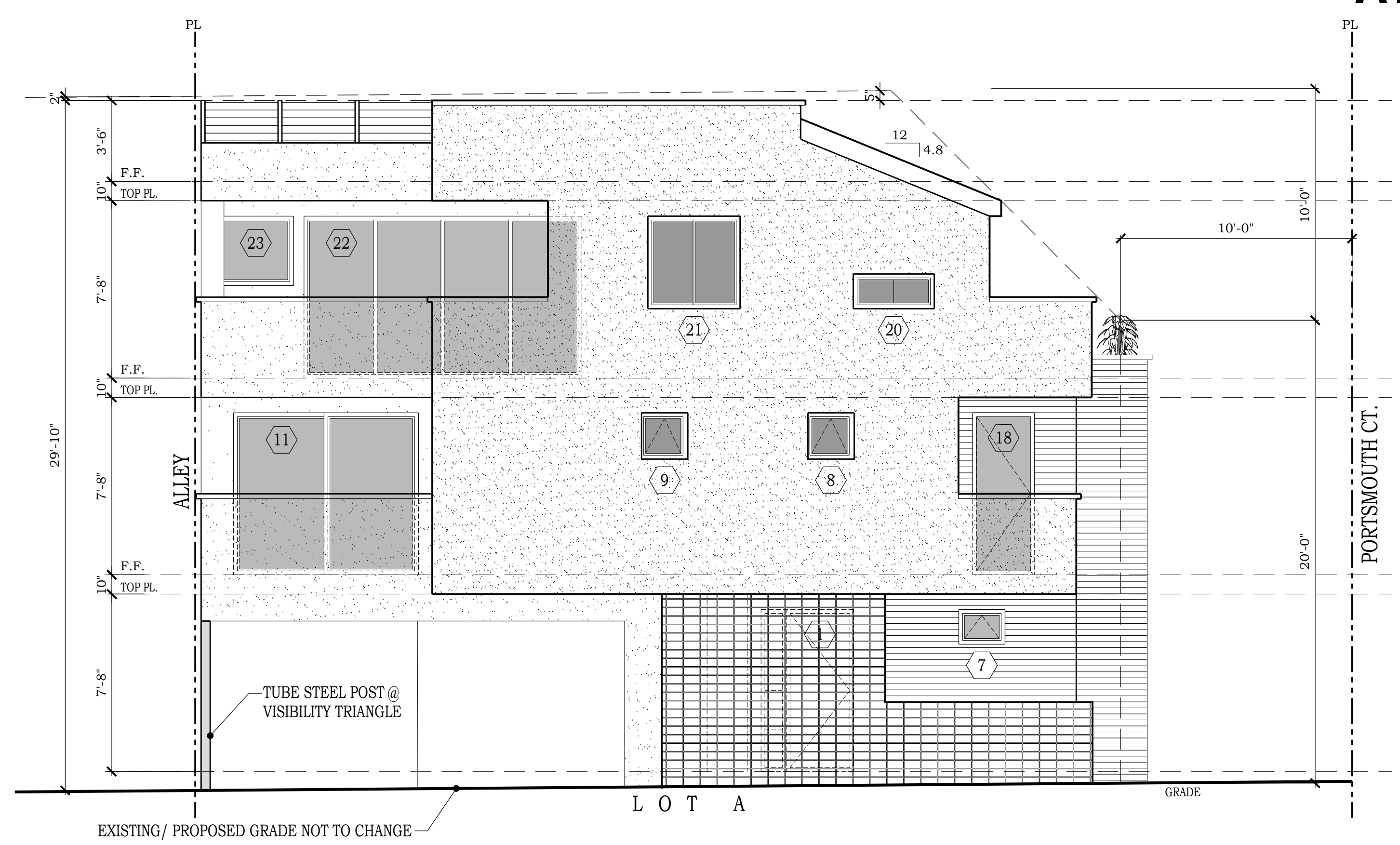
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**Portsmouth Court
Residences**
837 & 833 Portsmouth Ct.
San Diego, CA 92109

Sheet Title: Roof Plan
Architectural
Addendum A

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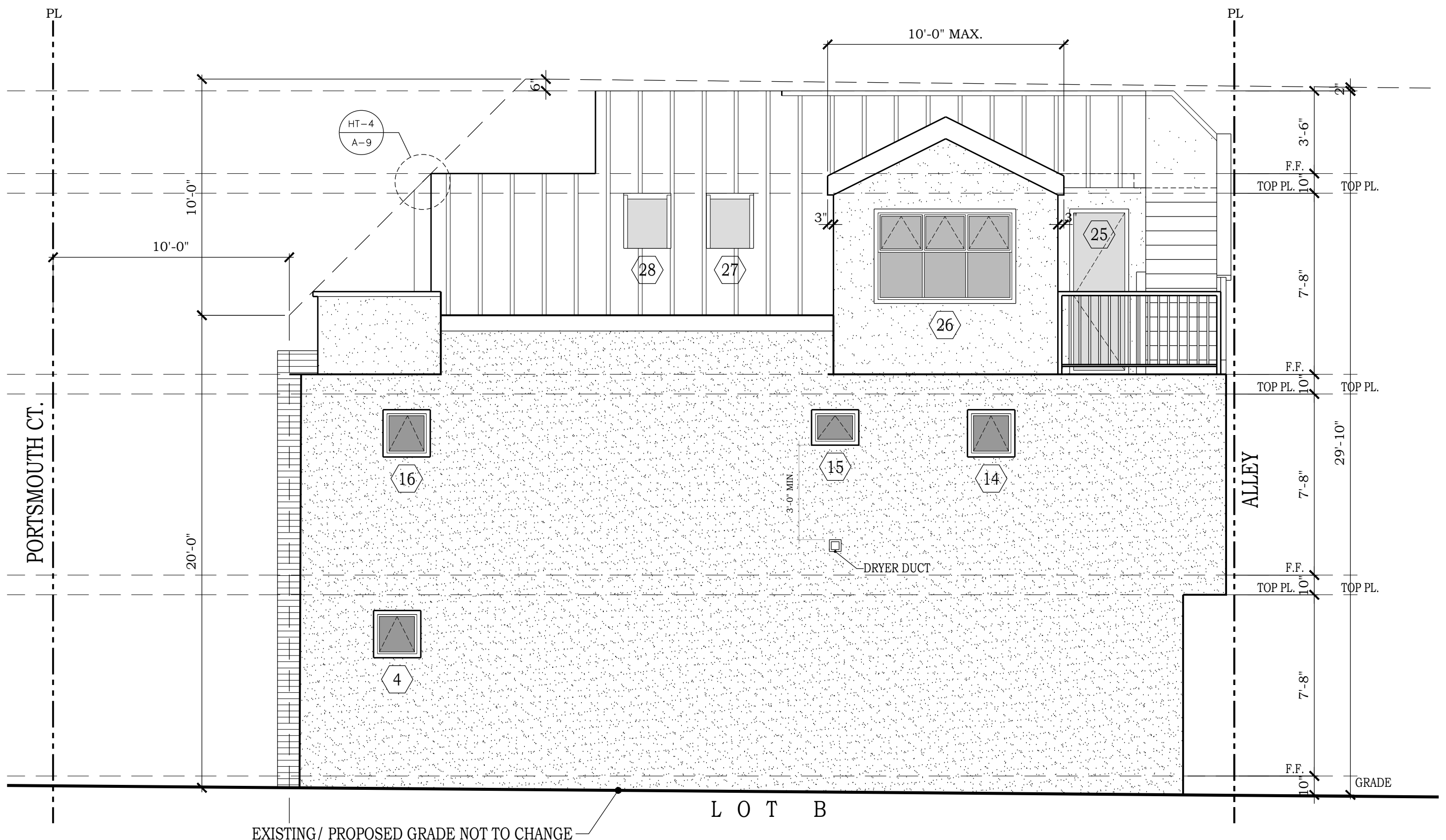


WEST ELEVATION (INT. YARD)
SCALE: 1/4" = 1'-0"

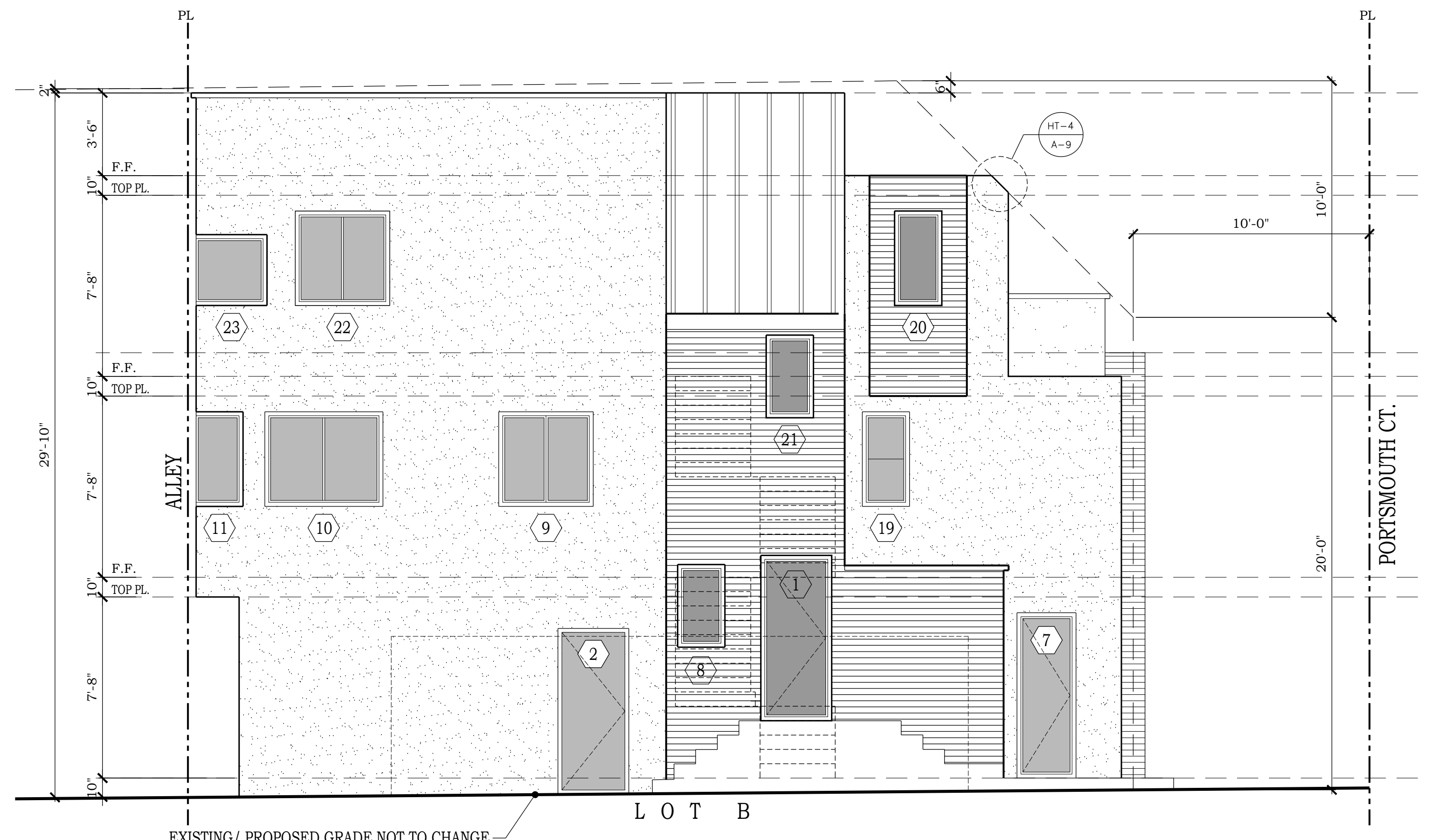


EAST ELEVATION (BAYSIDE)
SCALE: 1/4" = 1'-0"

- ELEVATION GENERAL NOTES**
1. The highest point of the roof, equipment, or any vent, pipe, antenna or other projection shall not exceed 30 feet above base of measurement (reference datum).
 2. A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition D).



WEST ELEVATION (INT. YARD)
SCALE: 1/4" = 1'-0"



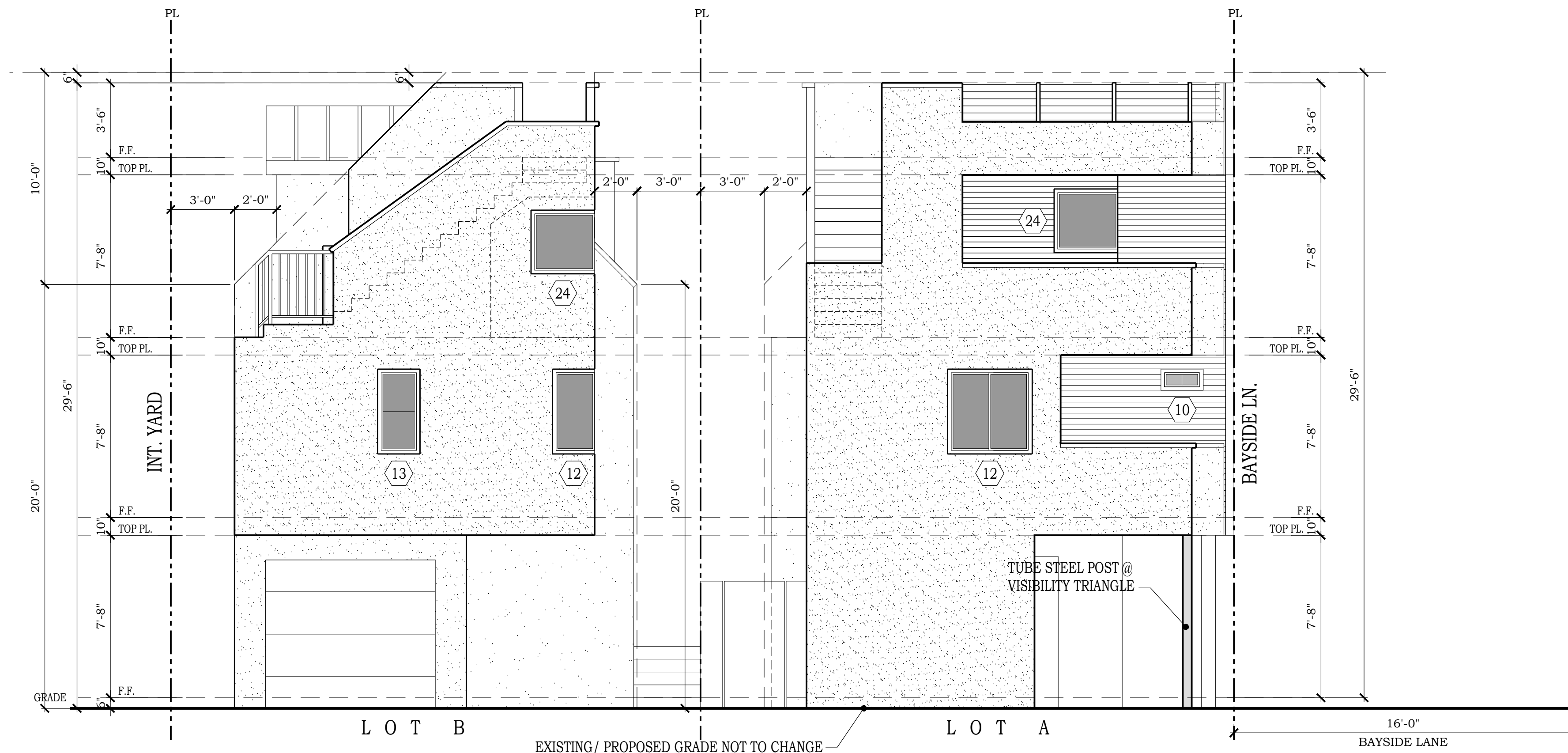
EAST ELEVATION (INT. YARD)
SCALE: 1/4" = 1'-0"

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San Diego, CA 92109

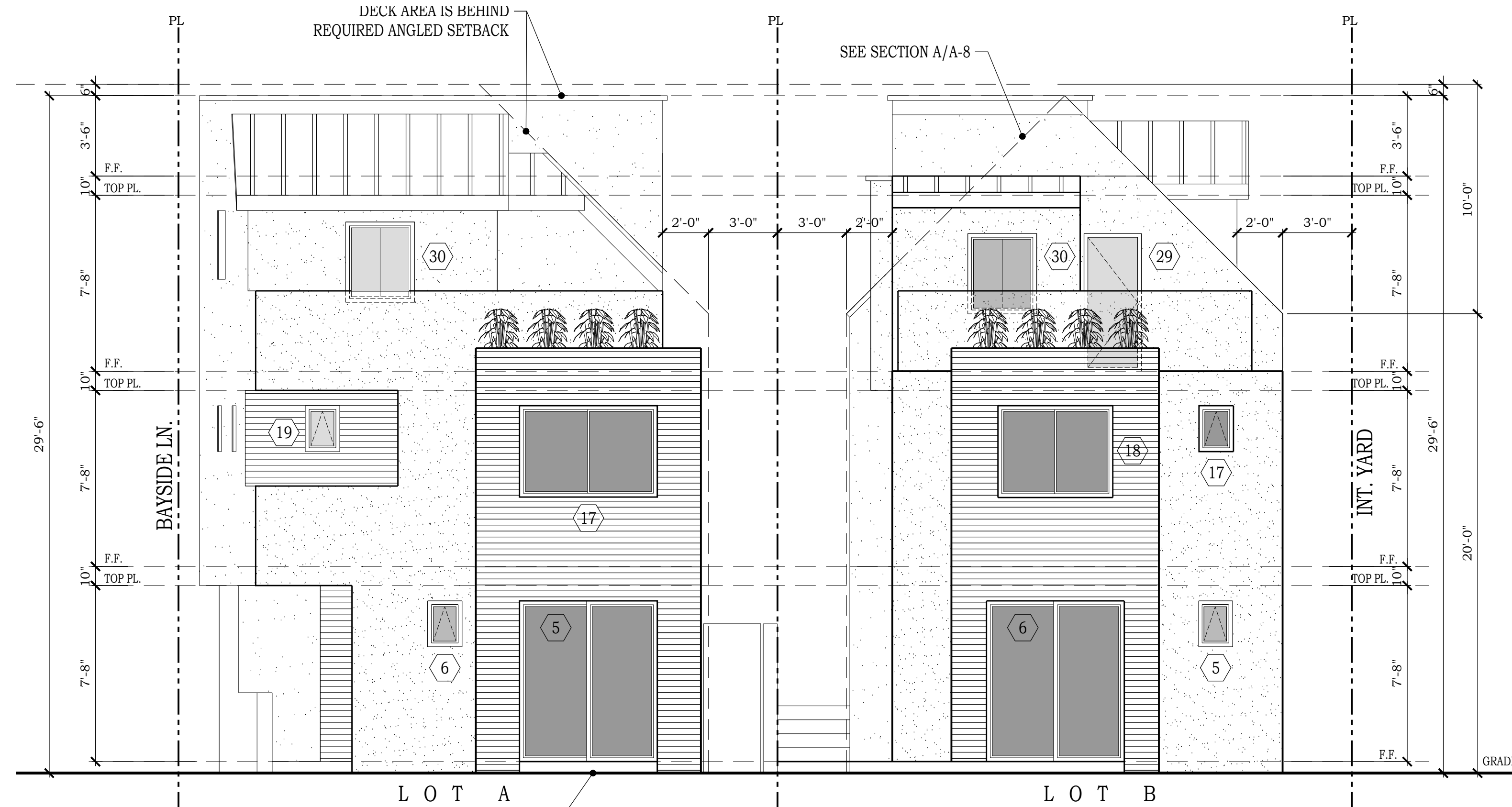
Sheet Title: Elevations
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SOUTH ELEVATION (ALLEY)

SCALE: 1/4" = 1'-0"



NORTH ELEVATION (PORTSMOUTH CT.)

SCALE: 1/4" = 1'-0"

ELEVATION GENERAL NOTES

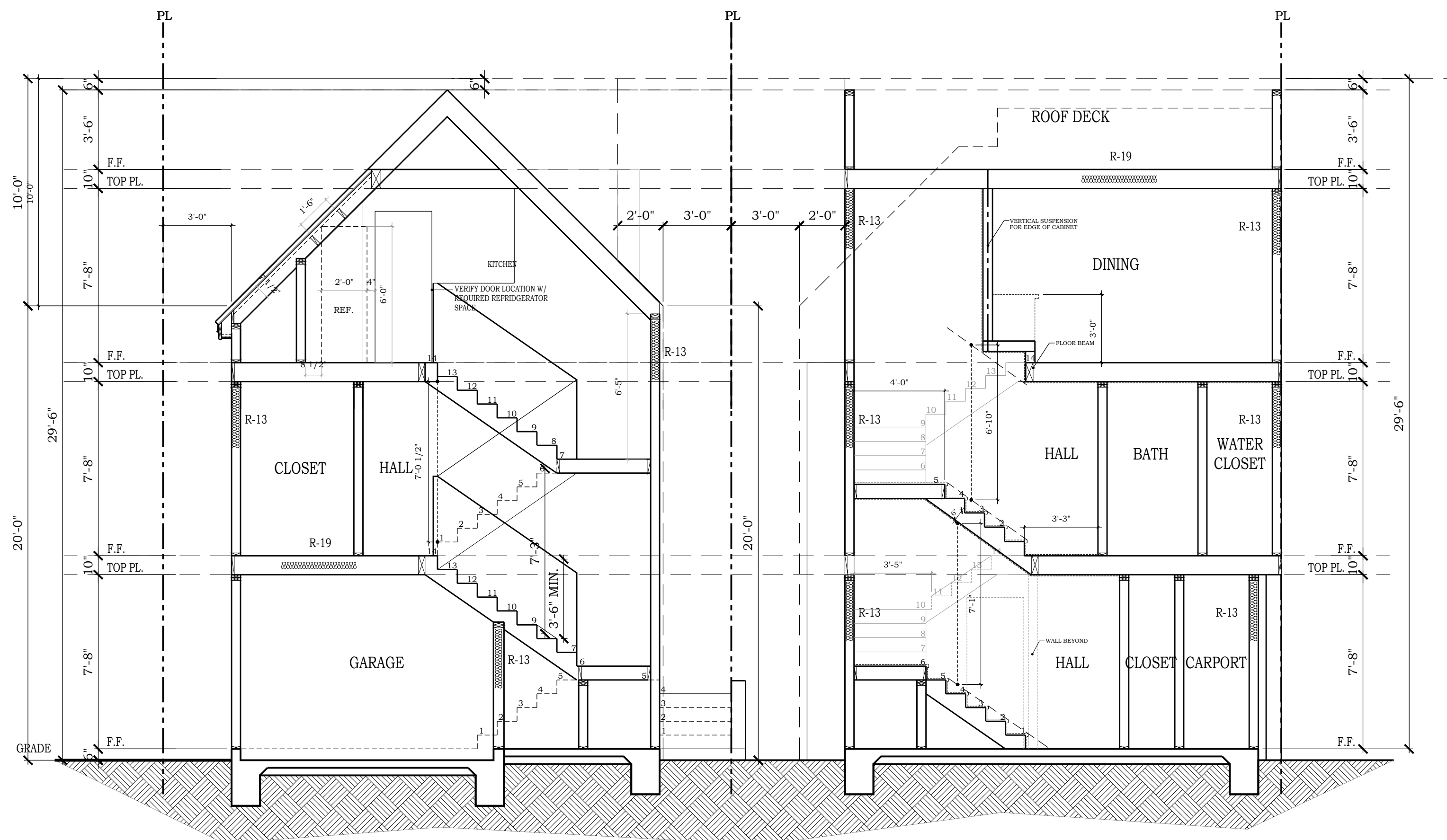
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2. A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition D).

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Sheet Title: Elevations
 Architectural
 Addendum A

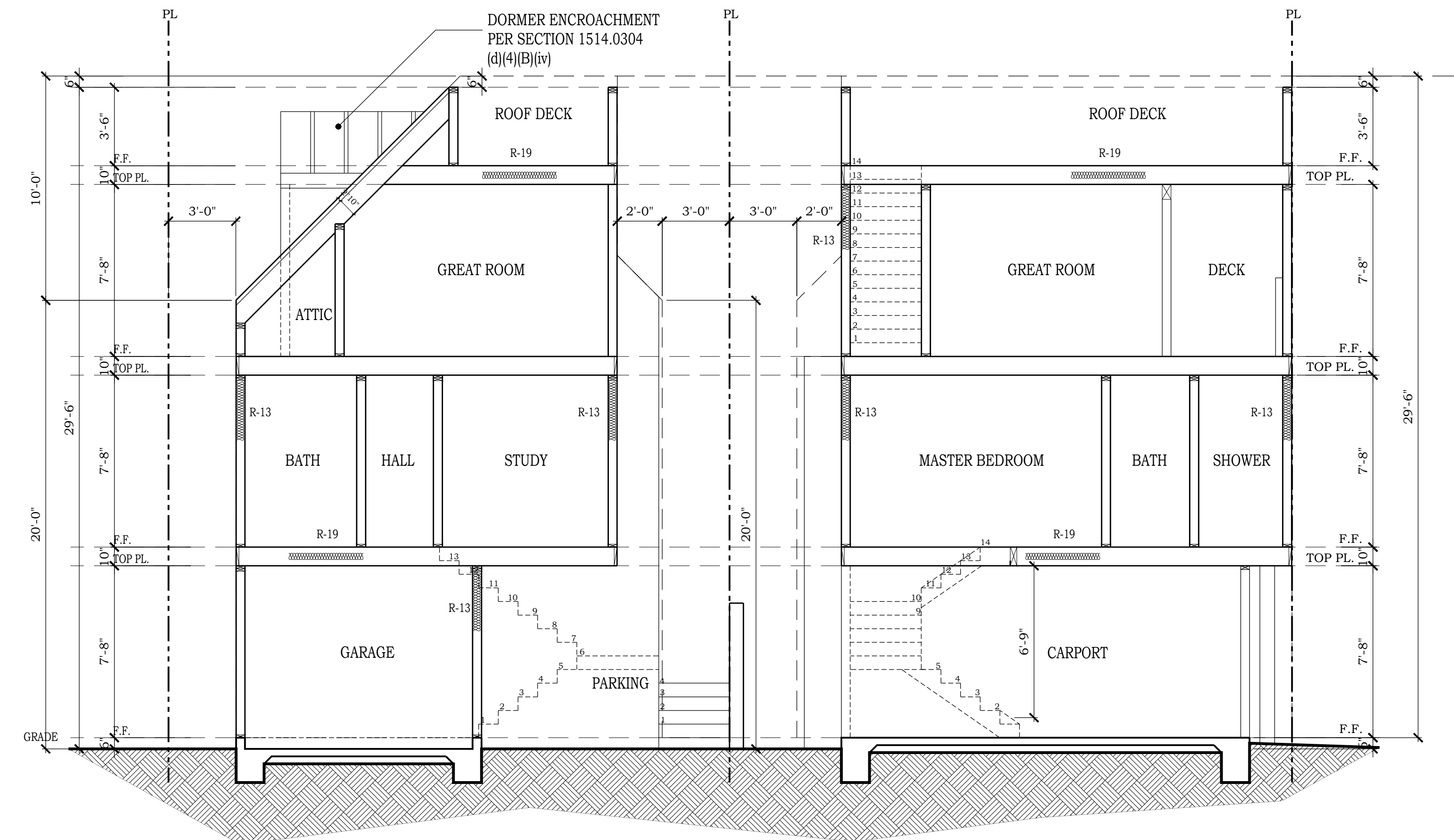
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SECTION A

LOT B - SCALE: 1/4" = 1'-0"

LOT A - SCALE: 1/4" = 1'-0"



SECTION B

LOT B - SCALE: 1/4" = 1'-0"

LOT A - SCALE: 1/4" = 1'-0"

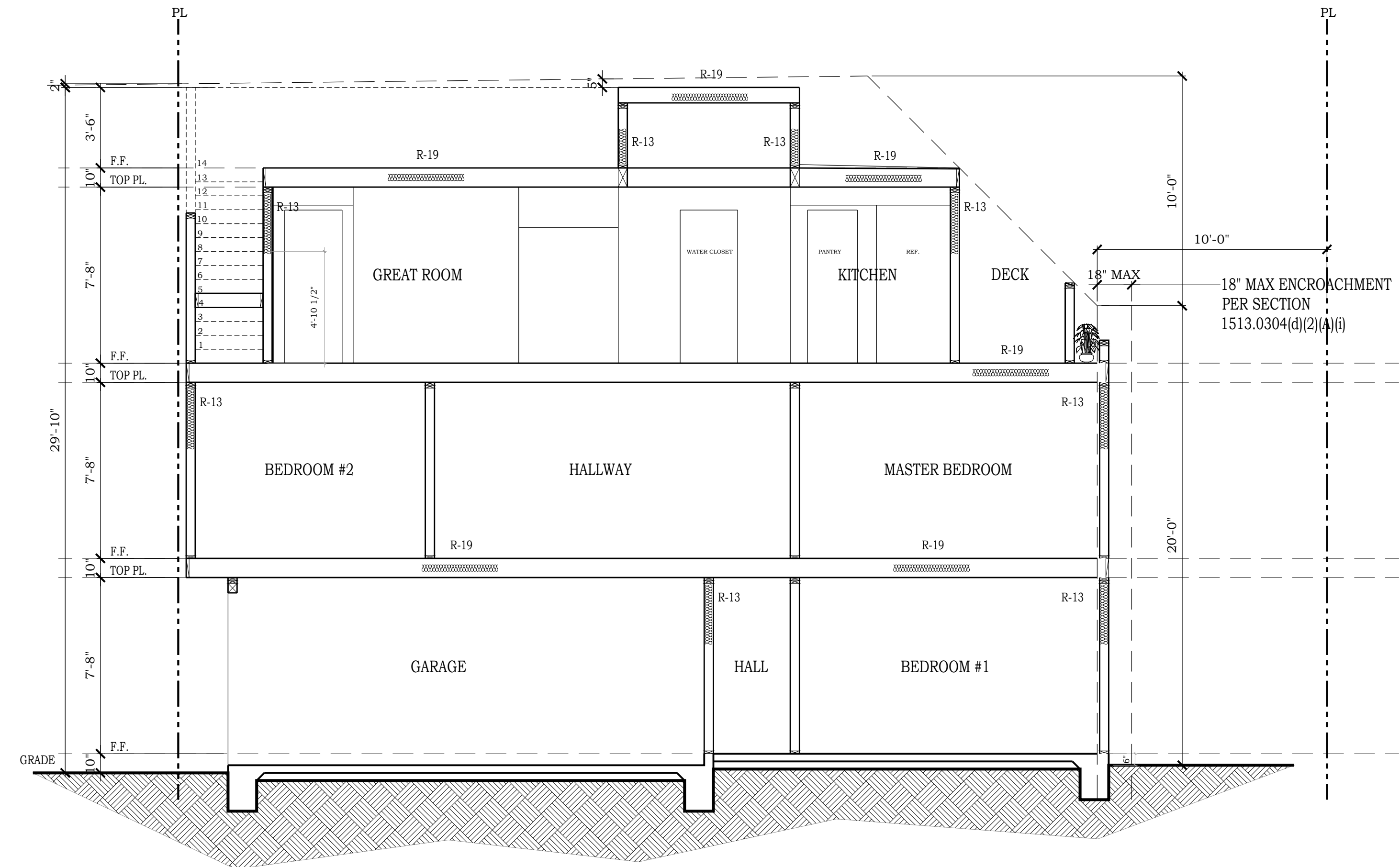
Prepared by:
PRIMARY DESIGN INC.
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**Portsmouth Court
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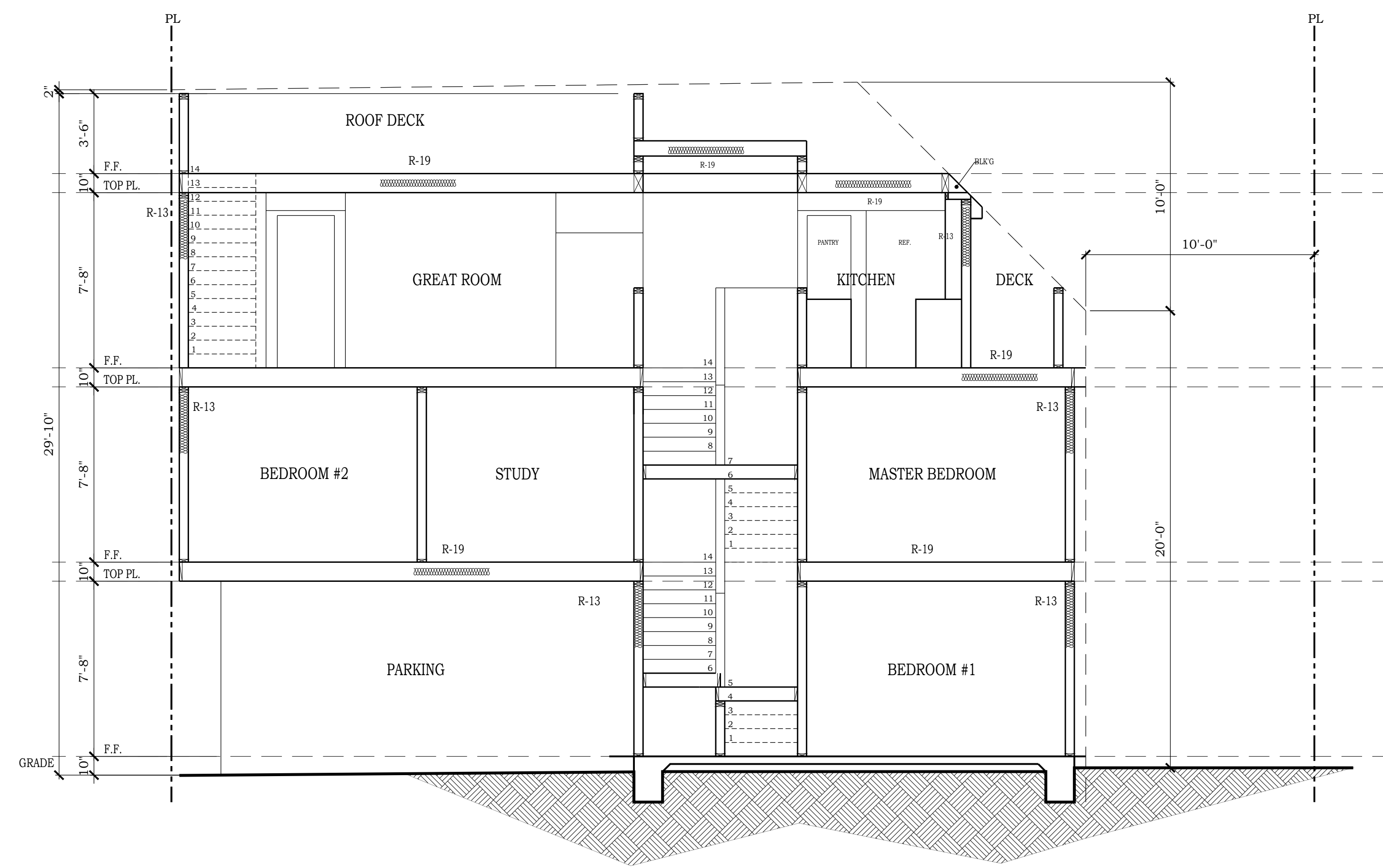
Sheet Title: Building Sections
 Architectural
 Addendum A

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Revision 1	November 10, 2018

Original Date: September 27, 2017
 Sheet **A-8**
 DEP # _____



SECTION C
 LOT B - SCALE: 1/4" = 1'-0"



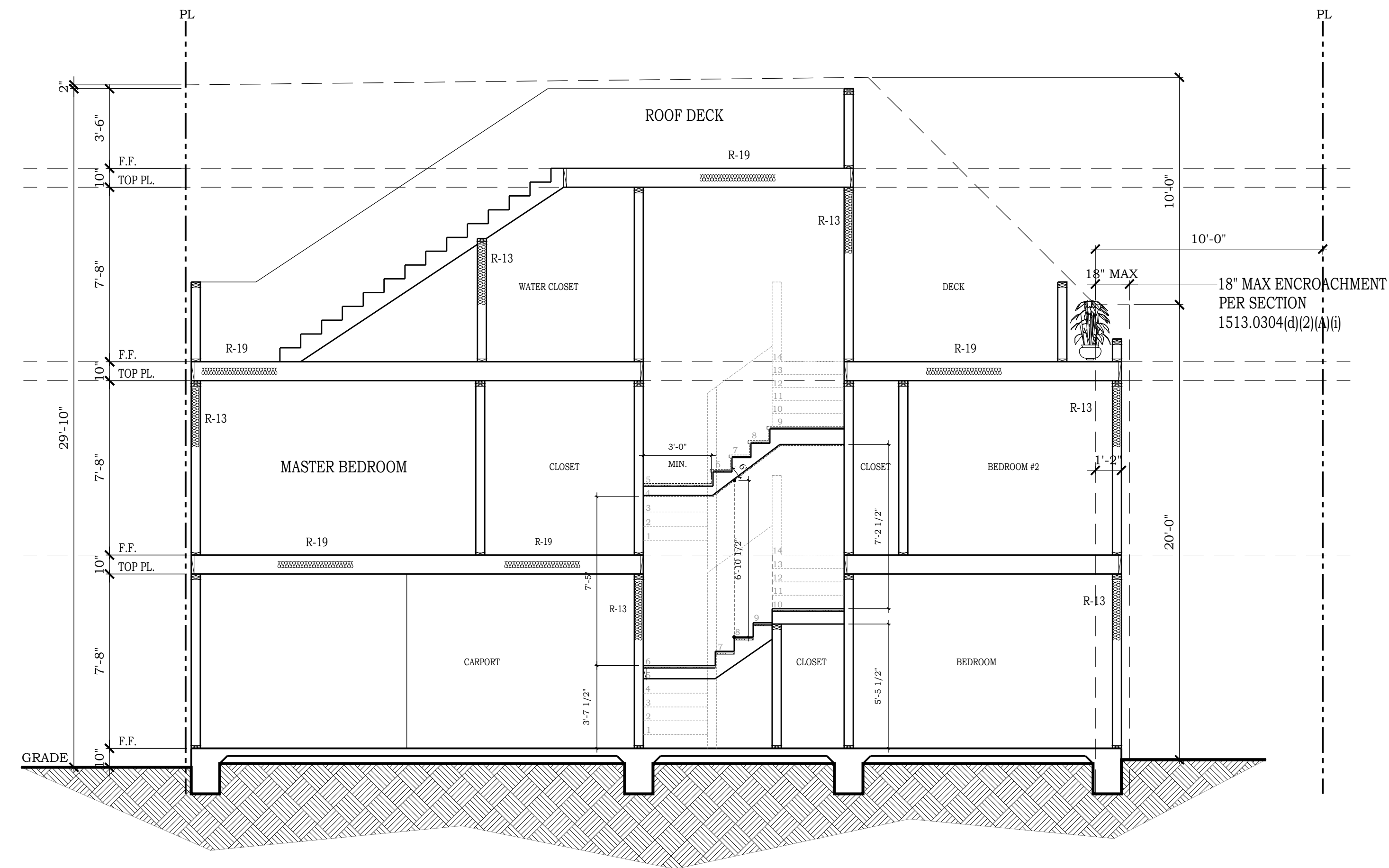
SECTION D
 LOT B - SCALE: 1/4" = 1'-0"

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 PRIMARY DESIGN INC.
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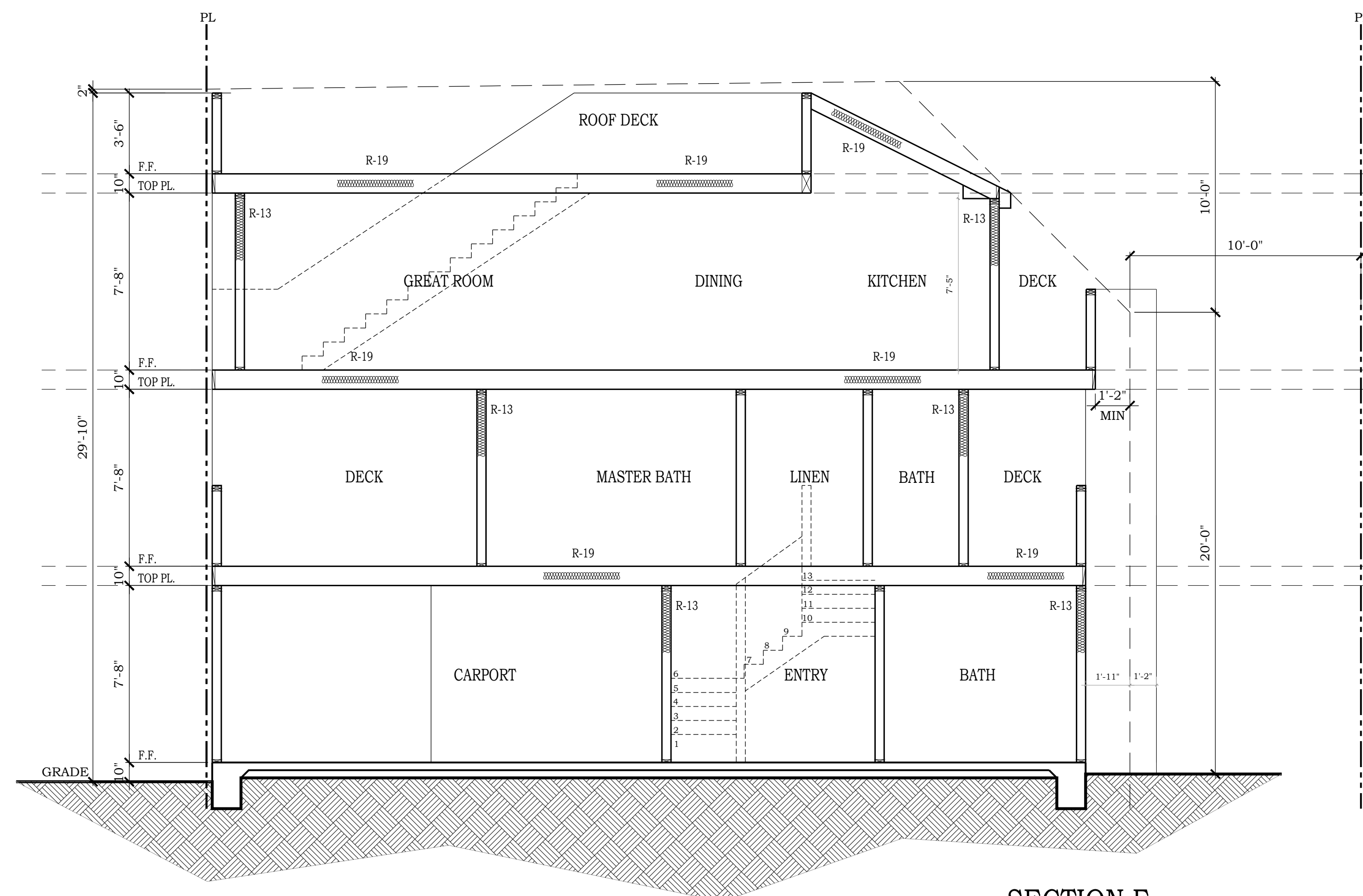
Project Name:
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Sheet Title: Building Sections
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SECTION E
LOT A - SCALE: 1/4" = 1'-0"



SECTION F
LOT A - SCALE: 1/4" = 1'-0"

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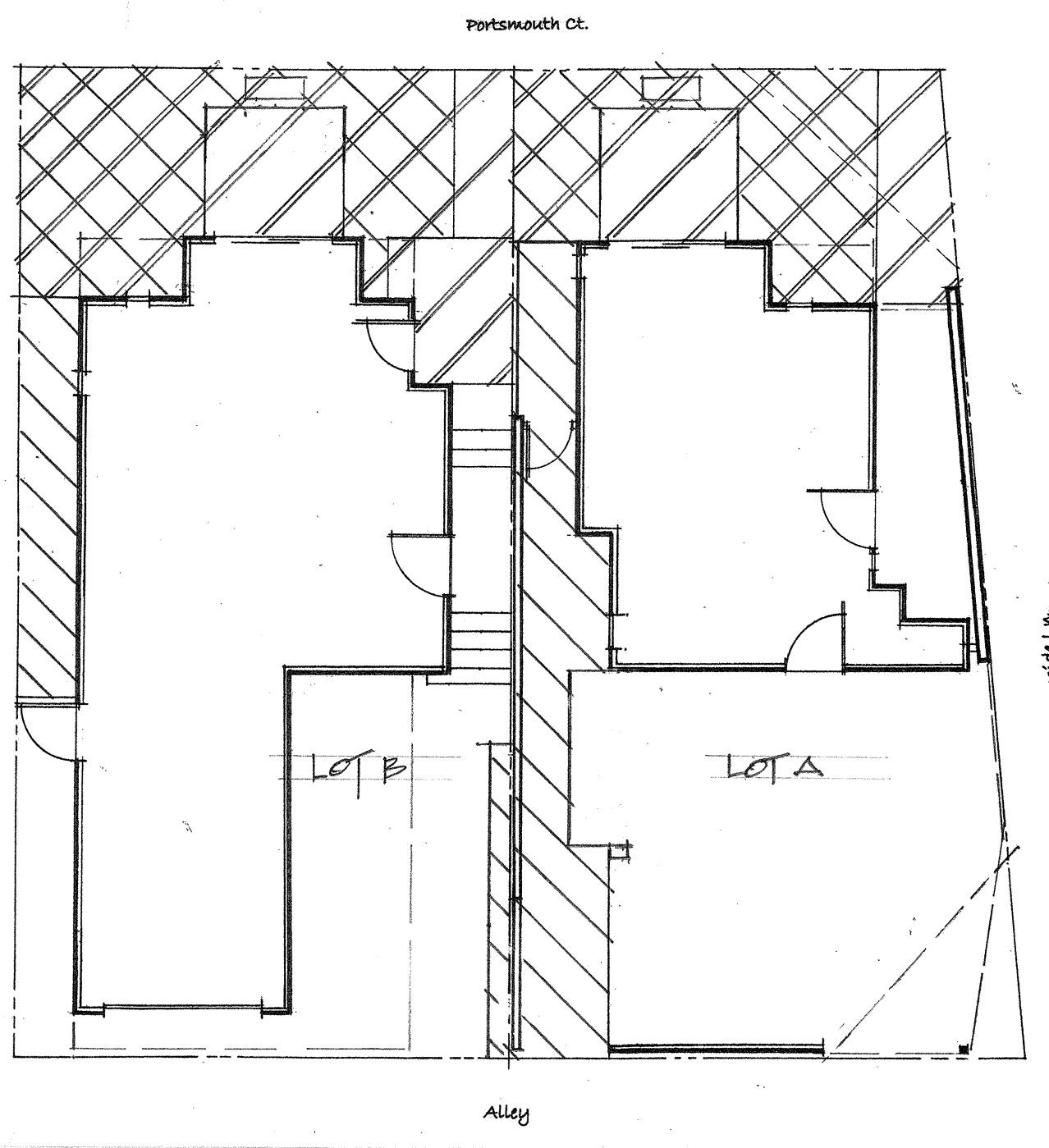
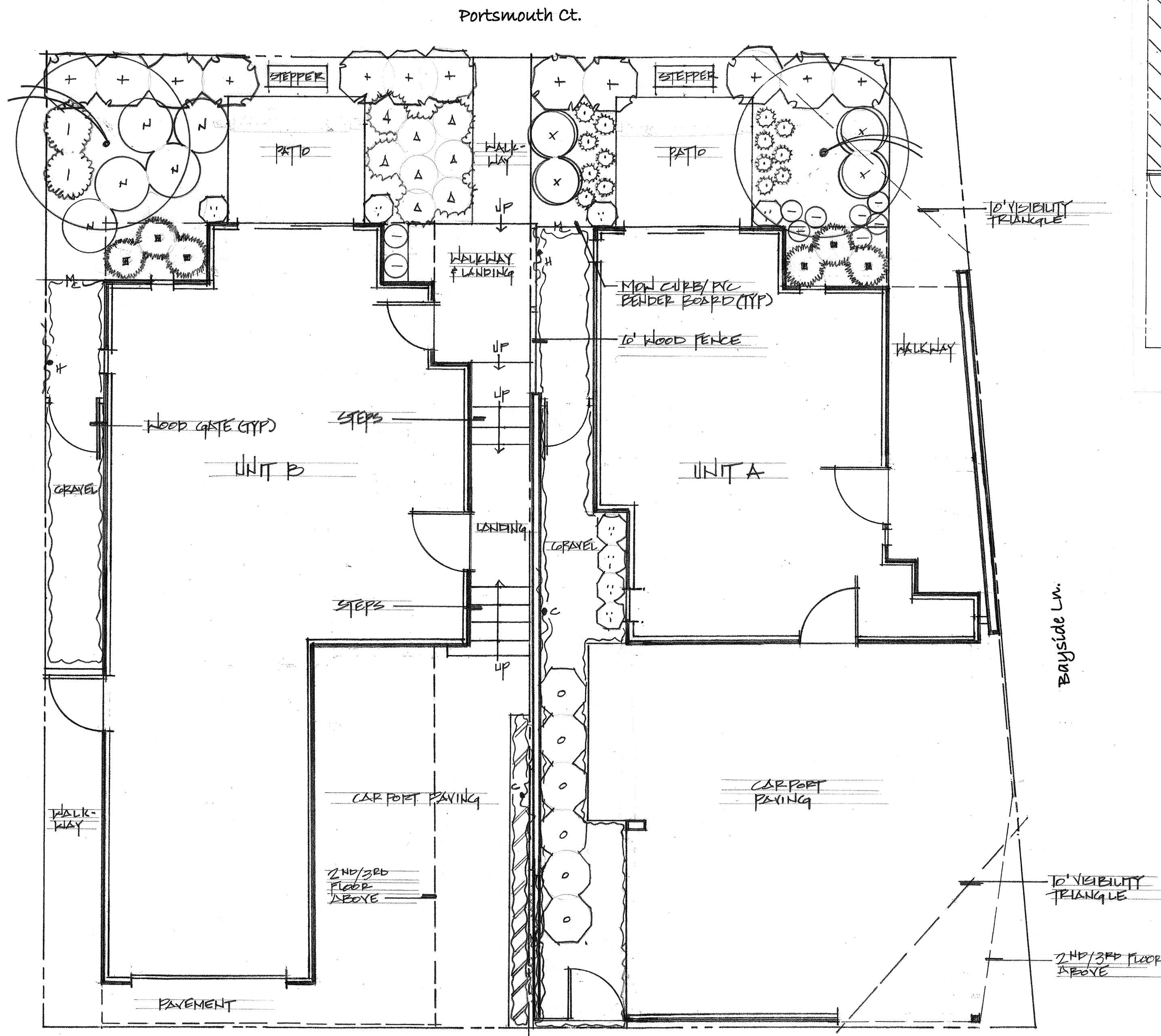
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Sheet A-10
DEP # _____

177433

Landscape Area Diagram



Street Yard
Proposed Landscape Area

LANDSCAPE AREA CALCULATIONS

	Lot A	Lot B
Lot Size	1,194 sq. ft.	1250 sq. ft.
Structure footprint	274 sq. ft.	524 sq. ft.
Proposed hardscape	654 sq. ft.	470 sq. ft.
Total Lot Coverage	928 sq. ft.	994 sq. ft.
Landscape Area	266 sq. ft.	256 sq. ft.
Percent of Landscape Area	22.3%	20.5%
Street Yard	214 sq. ft.	293 sq. ft.
Proposed hardscape	90 sq. ft.	113 sq. ft.
Landscape Area	124 sq. ft.	180 sq. ft.
Percent of Landscape Area	58.0%	61.4%

PLANT LEGEND

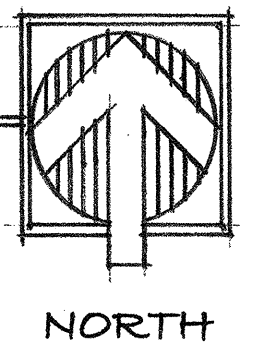
KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WUCOLS RATING
PALMS					
	Archontophoenix cunninghamiana	King Palm	2	8' BTH	Medium
SHRUBS					
	Callistemon viminalis 'Green John'	Green John Dwarf Bottlebrush	12	5 Gal.	Low
	Carissa macrocarpa 'Green Carpet'	Green Carpet Natal Plum	5	5 Gal.	Low
	Chondropetalum tectorum	Small Cape Rush	6	1 Gal.	Low
	Clivia miniata 'Yellow'	Yellow Kaffir Lily	9	1 Gal.	Low
	Dianella tasmanica 'Variegata'	Variegated Flax Lily	6	5 Gal.	Low
	Diets iridioides 'Katrina'	Katrina African Iris	4	5 Gal.	Low
	Festuca idahoensis 'Siskiyou Blue'	Siskiyou Blue Fescue	14	1 Gal.	Low
	Hesperaloe parviflora 'Brakelights'	Brake Lights Red Yucca	8	1 Gal.	Low
	Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo	8	5 Gal.	Low
	Raphirolepis umbellata 'Minor'	Dwarf Yeddo Hawthorn	2	5 Gal.	Low
VINES					
	Hardenbergia villosa 'Canoelands'	Canoelands Lilac Vine	2	15 Gal.	Low
	Macfadyena unguis-cati	Cat's Claw Creeper	2	5 Gal.	Low
INERT GROUND COVER					
	Cobble	Round river cobble TBS		2" - 4" dia.	
	Crush rock	Gravel TBS		3/4" minus	

PLANTING NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- PREPARE ALL PLANTING AREAS AS FOLLOWS. ALL QUANTITIES ARE BASED ON 1000 SQ. FT.: SCARIFY EXISTING SOIL TO A DEPTH OF 8"; REMOVE ALL DEBRIS, WEEDS AND ROCKS LARGER THAN 2" DIA.; APPLY 2 CU. YDS. NITRIFIED WOOD SHAVINGS, 150 LBS. AGRICULTURAL GYPSUM, 10 LBS. IRON SULPHATE, 50 LBS. TRI-C-HUMATE AND 15 LBS. 6-20-20 FERTILIZER (EXCLUDING SLOPES TO BE HYDROSEDED OR SLOPES EQUAL TO OR GREATER THAN 2:1). ROTOTILL IN TWO DIRECTIONS ALL AMENDMENTS INTO THE TOP 8" OF EXISTING SOIL, RAKE TO GRADE AND IRRIGATE THOROUGHLY.
- FERTILIZER/SOIL AMENDMENT TREATMENT ABOVE IS FOR BIDDING PURPOSES ONLY. SOILS TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE. ADJUSTMENTS (PLUS OR MINUS) MAY BE NECESSARY. CONTRACTOR SHALL OBTAIN A SOILS ANALYSIS TEST WITH AT LEAST TWO SOIL SAMPLES OF FINAL ROUGH GRADE AT SITE AND SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR INTERPRETATION AND RECOMMENDATION. COST OF LAB TEST SHALL BE PAID BY OWNER. SOIL TESTING KITS ARE AVAILABLE BY CALLING 1-800-927-3311. CONTRACTOR TO SUBMIT MODIFIED SOIL PREPARATION BID TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO STARTING SOIL PREPARATION WORK.
- GROUND COVERS INCLUDING BERMUDA GRASS AND OTHER NOXIOUS WEEDS SHALL BE SPRAYED W/ 'ROUND-UP'. WAIT TWO WEEKS MIN. AND SPRAY A SECOND TIME IF NECESSARY AND THEN REMOVE. WEED ERADICATION SHALL TAKE PLACE DURING ACTIVE GROWING PERIOD (JUNE- OCTOBER) AND SHALL BE COMPLETED AT LEAST 10 DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING AND/OR IRRIGATION WORK.
- ALL PALMS SHALL RECEIVE A SURFACE APPLICATION OF SLOW RELEASE PALM FERTILIZER PER MANUFACTURERS SPECIFICATIONS 3 TO 4 MONTHS AFTER PLANTING.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411. MULCH SHALL BE 1 1/2" MINUS FOREST FINES FROM AGRISERVICE, 760-295-6255.
- FINISH GRADE SHALL BE A MAXIMUM OF 2" BELOW ADJACENT HARDSCAPE.
- TRAIN AND FAN OUT ALL VINES ON WALLS, TRELLISES ETC. W/ DEXTOL STICK AND TIE AS REQUIRED. REMOVE ALL CONTAINER STAKES.
- EVERY PLANT DELIVERED TO THE JOB SITE SHALL BE IN GOOD CONDITION, WITH A LEGIBLE PLANT TAG IDENTIFYING THE BOTANICAL GENUS, SPECIES AND VARIETY OF PLANT FOR VERIFICATION BY LANDSCAPE ARCHITECT WITH APPROVED PLANS AND OR PLANT LEGEND. PLANT MATERIAL WITHOUT TAGS WILL BE REJECTED AND RETURNED TO THE NURSERY AT THE CONTRACTORS COST.
- ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHOWING SIGNS OF DEFOLIATION, LEANING, CHLOROSIS (YELLOWING), OR SETTLING PRIOR TO, OR AT THE END OF MAINTENANCE SHALL BE REPLACED BY THE CONTRACTOR.
- LANDSCAPE CONTRACTOR TO PROVIDE GUARANTEES NORMAL TO THE TRADE FOR LONGEVITY OF ALL PLANT MATERIALS; THREE MONTHS FOR SHRUBS AND GROUND COVERS, AND ONE YEAR FOR TREES.

PLANTING PLAN

Scale: 1/4" = 1' - 0"



- THE OWNER/PERMITEE SHALL MAINTAIN ALL LANDSCAPE IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR 'TOPPING' OF TREES IS NOT PERMITTED. THE TREES SHALL BE MAINTAINED IN A SAFE MANNER TO ALLOW EACH TREE TO GROW TO ITS MATURE HEIGHT AND SPREAD.
- CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ALL CONSTRUCTION WITHIN THE BOUNDS OF THE PROPERTY.
- CONTRACTOR SHALL TAG AND PHOTOGRAPHY ALL SELECTED TREES AND SPECIMEN PLANTS AT THE NURSERY. PHOTOGRAPHS OF TAGGED TREES AND SPECIMEN PLANTS SHALL BE SUPPLIED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANT MATERIAL BEING SHIPPED AND OR PICKED-UP FROM NURSERY.
- THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT AS A PORTION OF THE SUPPORT DOCUMENTATION AS PROVIDED IN THE CONTRACT DOCUMENTS. WICHMANN LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR VERIFYING THE INFORMATION AS SUPPLIED, AND THE INCLUSION ON THESE DRAWINGS DOES NOT IMPLY ANY WARRANTY OF THE ACCURACY OR CORRECTNESS OF THE SUPPORT DOCUMENTATION. THE SUPPORT INFORMATION IS SHOWN FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK.
- NOTICE TO OWNER/CLIENT:** ANY CHANGE TO THE EXISTING SITE INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING, CONSTRUCTION OR PLANTING MAY DISRUPT CURRENT SURFACE DRAINAGE PATTERNS. IT MAY BE NECESSARY TO ADJUST OR INSTALL SURFACE AND/OR SUBSURFACE DRAINAGE SYSTEMS NOT ILLUSTRATED ON PLAN.
- NOTICE TO GENERAL CONTRACTOR:** GENERAL CONTRACTOR SHALL COORDINATE PRIOR TO CONSTRUCTION ALL 110 ELECTRICAL SERVICE SHOWN OR NOT SHOWN ON LANDSCAPE PLANS INCLUDING BUT NOT LIMITED TO SWITCHED AND UNSWITCHED OUTLETS IN THE LANDSCAPE, SECURITY LIGHTING, POWER TO LOW-VOLTAGE LIGHTING TRANSFORMERS, IRRIGATION CONTROLLERS, ETC.

- CONTRACTOR SHALL INSTALL VERTICAL STAND PIPES ON ALL TREES WHERE SOIL DRAINAGE IS IMPAIRED AND/OR PLANT CULTURE REQUIRES FASTER DRAINING SOILS THEN EXISTING CONDITION PROVIDE. INSTALL (1) 8" DEEP X 4" DIA. STAND PIPE FOR EACH 15 GAL. TREE, (2) FOR EACH 24" BOX, (3) FOR EACH 36" & 48" BOX AND (4) 8" DEEP X 4" DIA. STAND PIPES FOR ALL TREES LARGER THAN 48" BOX. EACH STAND PIPE SHALL BE WRAPPED WITH MIRAFI #140 NL FILTER FABRIC AND BACKFILLED WITH 1/2" - 3/4" DIA. CRUSHED ROCK.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. INSTALL A 24 INCH DEEP 'DEEP ROOT' ROOT BARRIER #UB 24-2 PER MANUFACTURERS SPECIFICATIONS. THE ROOT BARRIER WILL BE INSTALLED LINEARLY ALONG THE EDGE OF HARDSCAPE FOR A MINIMUM DISTANCE OF TEN (10) FEET IN BOTH DIRECTIONS FROM THE CENTER LINE OF TREE TRUNK FOR A MINIMUM TOTAL LENGTH OF TWENTY (20) FEET.
- ALL PLANTING AREAS CONSISTING OF NATIVE SITE SOIL SHALL BE LEACHED TO REDUCE SALT LEVELS PRIOR TO PLANTING. LEACHING SHALL BE REPEATED UNTIL SATURATION EXTRACT CONDUCTIVITY (EC x 1,000) LEVEL IS 2.0 OR LESS AT A DEPTH OF 12". CONTRACTOR TO CONDUCT SALINITY ANALYSIS FOR VERIFICATION BY LANDSCAPE ARCHITECT.
- POST FERTILIZATION FOR ALL PLANTING AREAS (16-6-8) SHALL OCCUR 45 DAYS AFTER PLANTING AT A RATE OF 15 LBS. PER 1,000 SQ. FT.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- THE OWNER/PERMITEE SHALL INSTALL AND MAINTAIN ALL LANDSCAPING PROPOSED IN PUBLIC VIEW CORRIDORS TO NOT OBSTRUCT PUBLIC VIEWS OF THE OCEAN AS SPECIFIED IN SECTION 132.0403(e) OF THE LAND DEVELOPMENT CODE, COASTAL OVERLAY ZONE REGULATIONS. LANDSCAPING MATERIALS SHALL NOT ENCRUSCH OR OVERHANG INTO THE COURTS AND PLACES RIGHTS-OF-WAY BELOW A HEIGHT OF 8 FEET ABOVE THE FINISH SURFACE OR FINISH GRADE, AS MEASURED AT THE TRUNK, 1513.0402(a)(2).

- LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM ONCE A WEEK MAINTENANCE SERVICE FOR A PERIOD OF 90 DAYS (MINIMUM 12 SERVICE DAYS OVERALL) BEGINNING THE FIRST DAY AFTER FINAL APPROVAL OF INSTALLATION AS DETERMINED BY CLIENT AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL RECEIVE NOTICE OF SIGNIFICANT CONFORMANCE FROM LANDSCAPE ARCHITECT ONCE SITE IS DEEMED ACCEPTABLE.
- CONTRACTOR TO INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS.
- PLANT QUANTITIES ARE FOR CONVENIENCE PURPOSES ONLY. LANDSCAPE CONTRACTOR TO VERIFY PLANT COUNTS AND SUPPLY QUANTITY OF PLANT MATERIAL TO IMPLEMENT THE INTENT OF THE DESIGN AS SHOWN.
- ALL PLANTING AREAS PREVIOUSLY COVERED WITH CONCRETE, ASPHALT OR ANY OTHER IMPERVIOUS MATERIAL SHALL BE RIPPED TO A DEPTH OF 12". AMEND AS PER APPROVED SOILS REPORT AND TREATED WITH SARVON SOIL TREATMENT PER MANUFACTURERS SPECIFICATIONS.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- MINIMUM TREES SEPARATION DISTANCE:
TRAFFIC SIGNALS/TOP SIGNS - 20 FEET
UNDERGROUND UTILITY STRUCTURES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTION (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- OWNER TO VERIFY AND STAKE PROPERTY LINES. NO DEMOLITION, CONSTRUCTION OR PLANTING SHALL OCCUR OUTSIDE PROPERTY LINES WITHOUT THE PRIOR CONSENT OF THE ADJACENT PROPERTY OWNER.
- OWNER TO INSURE NEWLY INSTALLED PLANT MATERIAL RECEIVES ENOUGH WATER TO MAINTAIN GOOD HEALTH AND VIGOROUS GROWTH WITHOUT OVER WATERING. PLANT MATERIAL SHALL BE WATERED PERIODICALLY AT SUCH TIME JUST PRIOR TO LEAF WILTING. ADJUST WATERING TO ACCOMMODATE FOR VARIATIONS IN RAIN FALL, TEMPERATURE, SOLAR EXPOSURE AND SEASONAL CHANGES FOR EACH PLANT.
- OWNER TO MAINTAIN AND KEEP CLEAR ALL DRAINAGE SWALES AND INSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS TOWARDS SUBSURFACE DRAINAGE OR OFF SITE STORM DRAIN SYSTEMS AT A MINIMUM OF 2% SLOPE.
- A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SDMC 142.0403(b)(10).
- MAINTENANCE PERIOD BEGINS ON THE FIRST DAY AFTER ALL LANDSCAPE AND IRRIGATION WORK ON THE PROJECT IS COMPLETE, CHECKED AND WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT IS GIVEN TO BEGIN THE MAINTENANCE PERIOD.



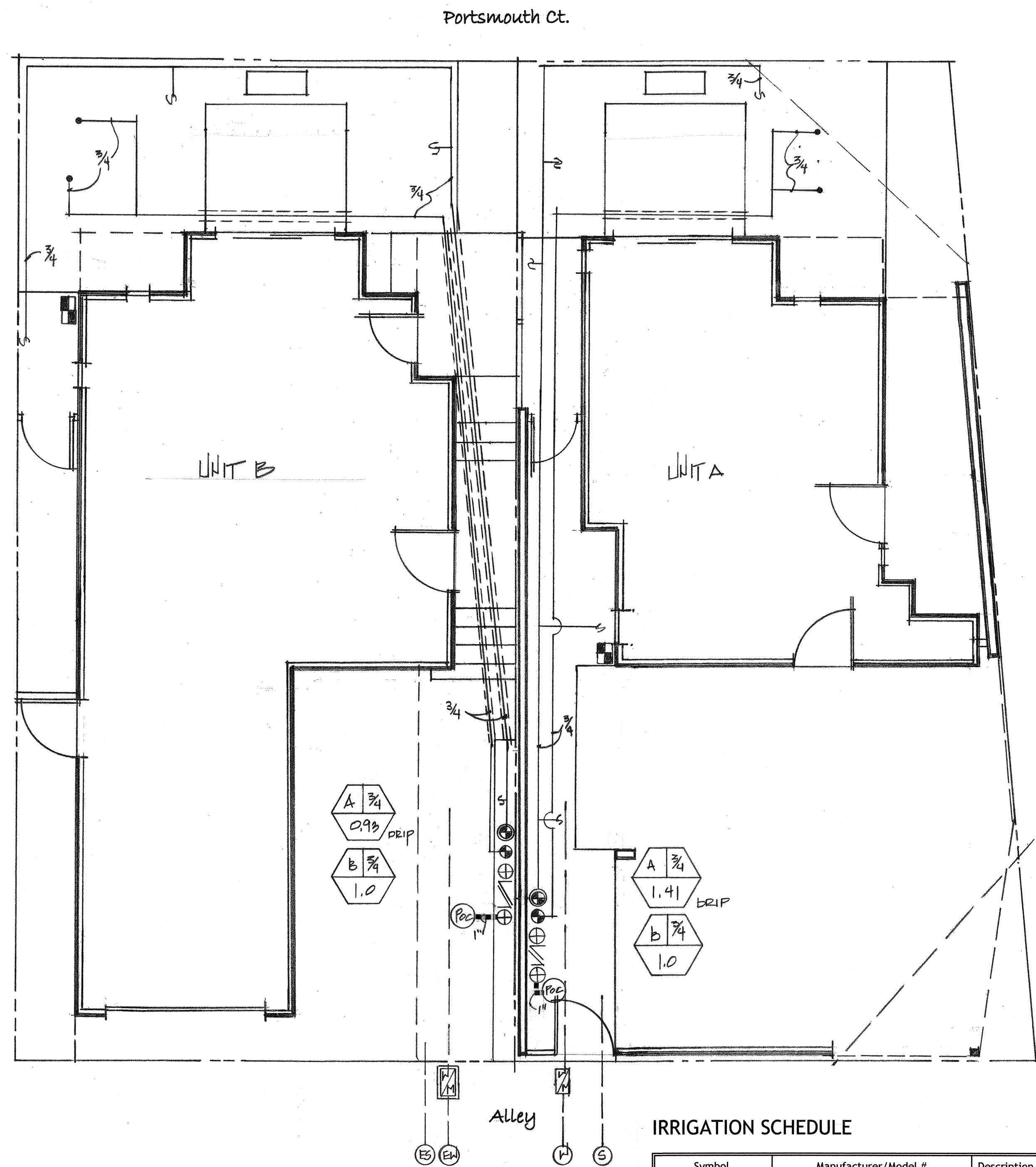
PORTSMOUTH RESIDENCES
835 - 857 Portsmouth Court
San Diego, CA 92109-7215

WICHMANN
LANDSCAPE ARCHITECTURE
14-4377
405 VIA DEL NORTE, STE. C, LA JOLLA, CA 92037-6752
858-497-9220

Date: 10/31/18
Drawn By: SKH
Revisions:
Job #: C-1806

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21. BACKFILL SHALL BE FREE OF DEBRIS & ROCKS LARGER THAN 2".
22. CONTRACTOR SHALL PROVIDE FORCE PUMP AND FITTINGS AS REQUIRED TO PRESSURE TEST ALL MAINLINE, WHICH SHALL HOLD 140 PSI FOR 2 HOURS WITH NO PERCEPTIBLE DROP IN PRESSURE. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO TESTING.
23. ANY SUBSTITUTION MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT.
24. THE CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM AS PER SECTION 308-7 OF THE STANDARD SPECIFICATION.
25. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE WORK AREA PRIOR TO START OF CONSTRUCTION.
26. CONTRACTOR SHALL VERIFY LOCATION OF ELECTRICAL SOURCE FOR IRRIGATION CONTROLLER.
27. CONTRACTOR SHALL FURNISH AND INSTALL ALL ELECTRIC POWER AND MAKE CONNECTION TO CONTROLLER.

IRRIGATION NOTES

1. IRRIGATION SYSTEMS ARE TO BE INSTALLED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE LANDSCAPE STANDARDS MANUAL OF THE CITY OF SAN DIEGO AND ALL OTHER APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.
2. AS PART OF THIS CONSTRUCTION DOCUMENT PACKAGE, THE CONTRACTOR SHALL ALSO REFERENCE TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1991 EDITION, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING SECTIONS: 212 LANDSCAPE AND IRRIGATION MATERIALS, 308 LANDSCAPE AND IRRIGATION INSTALLATION.
3. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE CURRENT UNIFORM BUILDING CODE.
4. THE CONTRACTOR SHALL INSTALL SYSTEMS THAT ARE COMPLETE AND FUNCTIONING PROPERLY IN EVERY WAY.
5. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO TRENCHING. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH OTHER TRADES.
7. THE CONTRACTOR SHALL VERIFY THE WATER PRESSURE(S) SHOWN ON THE PLANS, MAIN LOCATIONS, SIZES, ETC. PRIOR TO BEGINNING WORK. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES IMMEDIATELY.
8. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF EXISTING STUB-OUT/WATER SERVICE PROVIDED BY OTHERS AND ESTABLISH POINT OF CONNECTION AS PER PLAN. CONTRACTOR SHALL VERIFY PSI AND REPORT ANY DISCREPANCY TO LANDSCAPE ARCHITECT.
9. IRRIGATION SYSTEM HAS BEEN DESIGNED BASED UPON A STATIC EXISTING WATER PRESSURE OF 122 PSI PER READING PROVIDED BY THE CITY OF SAN DIEGO MAPS AND RECORDS DEPARTMENT. IRRIGATION SYSTEM HAS BEEN DESIGNED AT 30 PSI WORKING PRESSURE AND A MAXIMUM 1.41 GPM.
10. IRRIGATION SYSTEM IS DIAGRAMMATIC AND APPROXIMATE. LOCATE ALL PIPE AND EQUIPMENT WITHIN PLANTING AREAS UNLESS OTHERWISE NOTED. AVOID PIPING THROUGH FENCING. GROUP PARALLEL PIPE IN SINGLE TRENCHES WHERE POSSIBLE (6" MINIMUM SPACING BETWEEN PIPES, 8" BETWEEN PIPES OF OTHER TRADES). LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER. MAINTAIN 3" VERTICAL CLEARANCE BETWEEN CROSSING IRRIGATION LINES. PIPING ON SLOPES SHALL BE LOCATED AT THE TOP AND TOE OF SLOPES UNLESS OTHERWISE NOTED.
11. ALL VALVES TO BE INSTALLED IN PLASTIC VALVE BOXES, ONE VALVE PER BOX. VALVE LOCATION ON DRAWINGS ARE APPROXIMATE. LOCATE ALL VALVES WITHIN AND AT THE EDGE OF SHRUB PLANTING AREAS, OUT OF SITE FROM PEDESTRIAN CIRCULATION AND BUILDING ENTRANCES WHILE NOT HINDERING MAINTENANCE ACCESSIBILITY. LOCATE QUICK COUPLING VALVE IN VALVE BOXES ADJACENT TO WALKS OR CURB. CONTROL VALVES SHALL BE MANIFOLD WHERE POSSIBLE. QUICK COUPLER VALVE SHALL BE LOCATED WITH AND UPSTREAM OF VALVE MANIFOLD WHERE POSSIBLE AND IN ITS OWN VALVE BOX. SET BOXES FLUSH WITH FINISHED GRADE.
12. EMERGENCY SHUTOFF VALVES: GATE VALVES SHALL BE PROVIDED AT POINTS OF CONNECTION AND LOOP OR ZONE ISOLATION POINTS.
13. ANY CONFIGURATION CHANGE (FROM PLAN) IN THE LAYOUT OF THE PLANTING AREAS MAY CHANGE THE IRRIGATION DESIGN. CONTRACTOR SHALL VERIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT.
14. LOCATE BACKFLOW DEVICES INCONSPICUOUSLY, AND SCREEN FROM VIEW WITH PLANT MATERIAL WHERE POSSIBLE.
15. THE BACKFLOW DEVICE INSTALLATION SHALL BE CERTIFIED AS PER THE CITY OF SAN DIEGO GUIDELINES. THE CONTRACTOR SHALL CONTACT:

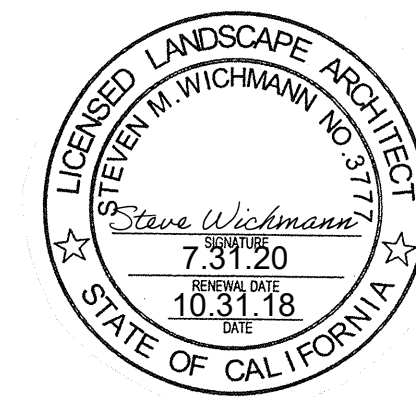
BRYAN BIGHAM
THE CITY OF SAN DIEGO
UTILITIES DEPARTMENT
BACKFLOW PREVENTER SECTION
2797 CAMINITO CHOLLAS
SAN DIEGO, CA. 92105
619-527-7679
16. CONTRACTOR TO ADJUST IRRIGATION SYSTEM TO AVOID RUNOFF, SEEPAGE OR OVER SPRAY ONTO ADJACENT PROPERTIES, WALKS AND STRUCTURES. CONTRACTOR IS RESPONSIBLE TO INSURE 100% COVERAGE, WITH 60% OVERLAP FOR SHRUB AREAS AND HEAD TO HEAD, COVERAGE FOR LAWN AREAS. ON SLOPES, CONTRACTOR SHALL ADJUST ANGLE OF RISERS FOR MAXIMUM THROW.
17. INSTALL CONTROLLER PER MANUFACTURER'S INSTRUCTIONS TO 120V, 60 CYCLE, SINGLE-PHASE AC ELECTRICAL SERVICE (PROVIDED BY OTHERS). IRRIGATION CONTROL WIRE (NOT SHOWN) SHALL BE LOCATED BELOW MAINLINE. TAPE & BUNDLE @ 10' O.C. LOCATE WIRE W/IN CHASE PIPE WHEN UNDER PAVING AND PULL BOXES & AT ALL ANGLES (ALL ANGLES TO BE 90 DGR.).
18. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL CHASE PIPE PRIOR TO CONSTRUCTION OF WALKS, WALLS, DRIVES, AND/OR ANY MATERIAL WHICH WILL OBSTRUCT THE FUTURE INSTALLATION OF THE IRRIGATION SYSTEM. ALL PIPING AND PVC ELECTRICAL SLEEVES (PVC SCH. 40 WITH NO. 12 PULL WIRE) UNDER EXISTING OR FUTURE PAVING SHALL EXTEND 2'-0" BEYOND THE EDGE OF PAVING. SLEEVING SHALL BE MARKED AT EACH END AT THE TIME OF INSTALLATION WITH A PAINTED SPOT ON THE BACK FACE OF THE CURB OR OTHER SIMILAR MARKING. METALLIC BACKED LOCATING TAPE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF THE SLEEVE, 12" DIRECT ABOVE THE SLEEVE. TAPE SHALL BE MARKED 'IRRIGATION' IN 2" CAPITAL LETTERS EVERY THREE FEET ALONG THE TAPE. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING. SLEEVING SHALL BE A MINIMUM OF 2 TIMES DIAMETER OF PIPE. ALL SLEEVING IS NOT SHOWN ON PLANS FOR GRAPHIC CLARITY.
19. AN ANTI-DRAIN/CHECK VALVE SHALL BE INSTALLED ON EACH IRRIGATION HEAD WHICH IS NOT EQUIPPED WITH AN INTERNAL CHECK VALVE OR WHERE THE CHANGE IN ELEVATION IS IN EXCESS OF 5'-0" ON A LATERAL CIRCUIT.
20. BACKFLUSH ALL LINES PRIOR TO HEAD INSTALLATION.

IRRIGATION SCHEDULE

Symbol	Manufacturer/Model #	Description
	Existing	Water Meter
	Proposed	Water Meter
		Point of connection to existing water service by others. Verify location in field.
	Hunter X-Core XC-200 & Solar Sync	Automatic irrigation controller. Wall mount as shown on plan as per detail and manufactures specifications. Verify location with owner.
	Wilkins 215	Bronze gate valve, line size. Locate in shrub bed. Install per detail.
	Irritrol 700DK-075-LF	3/4" Electric low flow drip remote control valve kit. Install in shrub bed as shown and as per detail.
	Irritrol 700B-75	3/4" Electric remote control valve. Install in shrub bed as shown and as per detail.
	Pacific Plastic Sch 40 PVC	Pressure mainline pipe, size as shown on plan. Bury 18" below grade. Install as per detail.
	Pacific Plastic Class 200 PVC	Non-pressure lateral pipe, 3/4" dia. and larger, size as shown on plan. Bury 12" below grade. Install as per detail.
	Rainbird XFD**	On-surface blank distribution tubing, cover with mulch
	Pacific Plastic Sch 40 PVC	Pipe sleeving, 2 times dia of main, lateral or wire bundle to be enclosed, min. 2" dia. and shall extend 12" beyond each edge of pavement. One pipe run or wire bundle per sleeve.

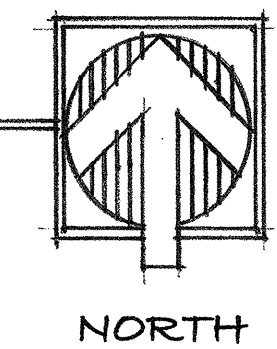
Manufacturer	Body/Nozzle	PSI	Rad	Spray Pattern @ GPM						
				Full	3/4	2/3	1/2	1/3	1/4	
RAINBIRD	XB-20PC**	30	1'	N/S	0.03					
RAINBIRD	1806PRS-5Q-B	30	5'							0.5

** Each shrub to have one XB-20PC emitter with XQ 1/4" distribution tube, TS025 1/4" stake and PC diffuser cap.



IRRIGATION PLAN

Scale: 1/4" = 1' - 0"



PORTSMOUTH RESIDENCES

855 - 837 Portsmouth Court
San Diego, CA 92109-7215

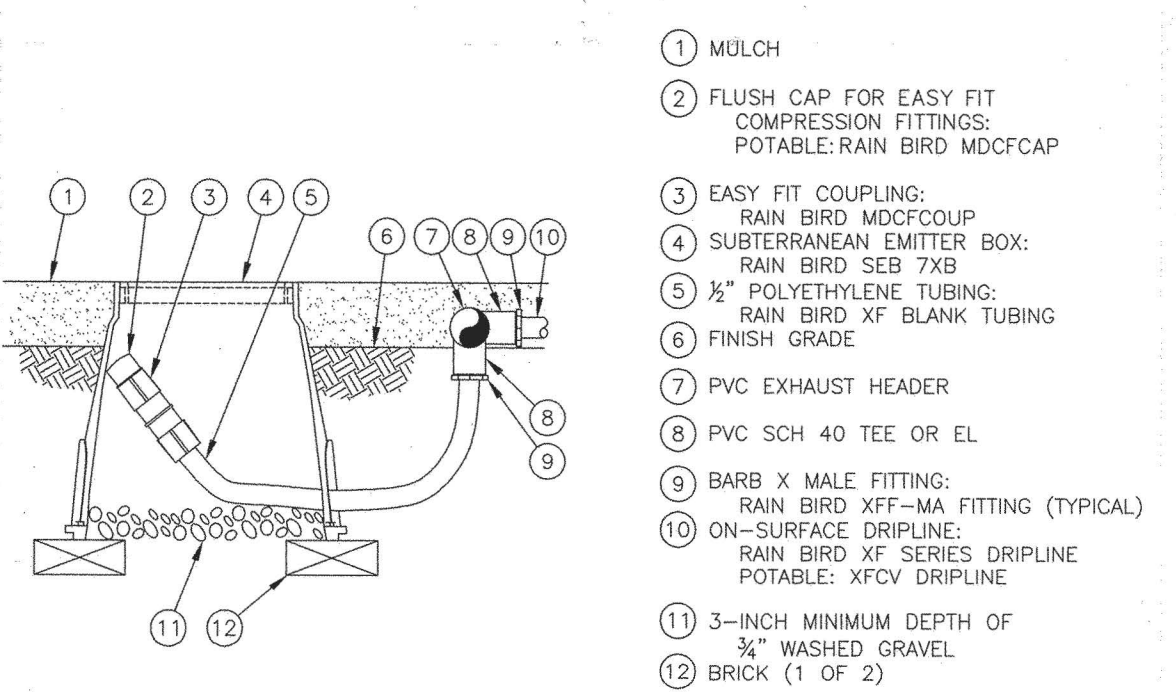
WICHMANN
LANDSCAPE ARCHITECTURE

405 VIA DEL NORTE, STE. C, LA JOLLA, CA 92037-6761
858-459-9200

Date	10.31.18	Job #	1806
Drawn By	SJK		
Revisions			

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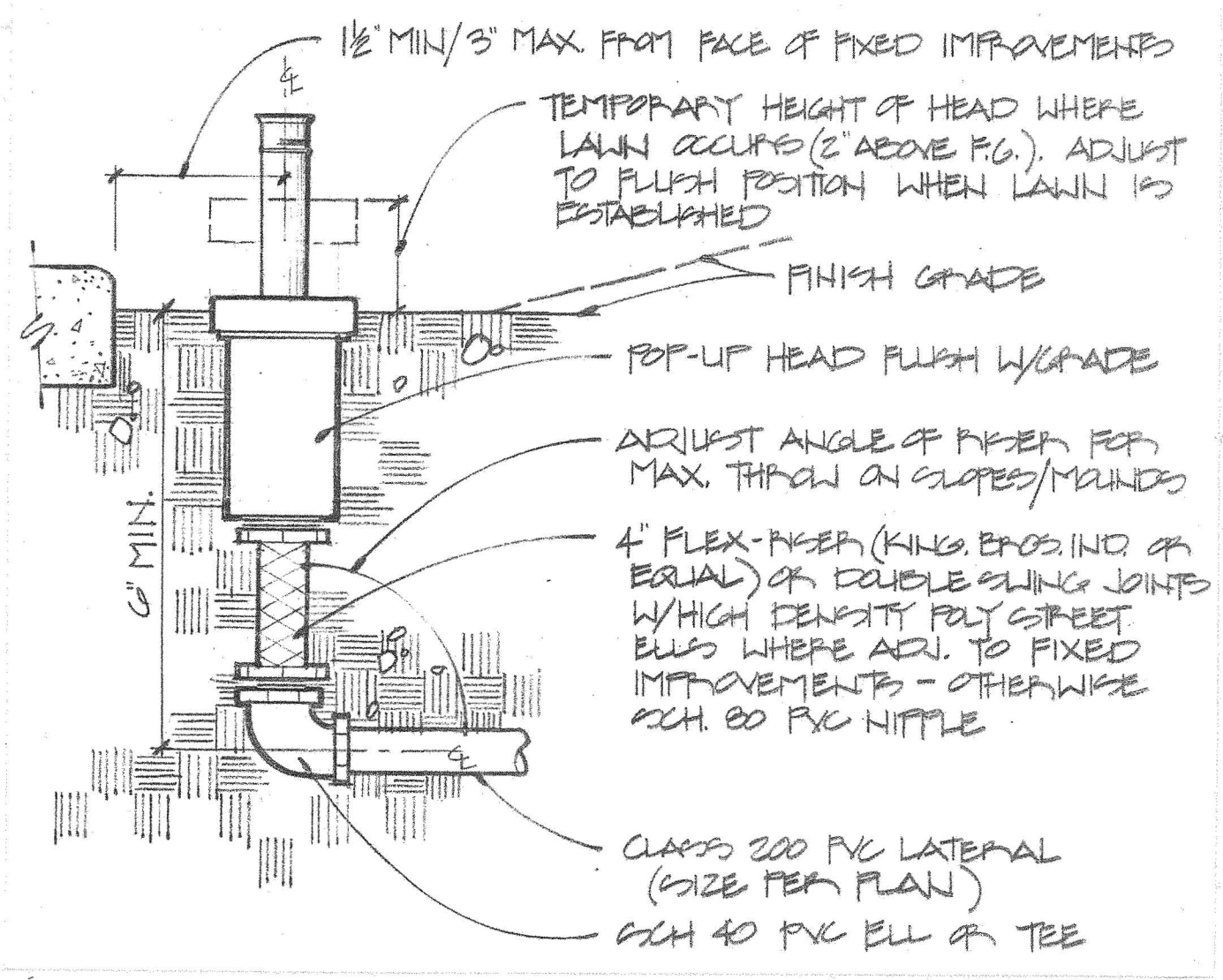


- 1 MULCH
- 2 FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS: POTABLE: RAIN BIRD MDCCAP
- 3 EASY FIT COUPLING: RAIN BIRD MDCCOUP
- 4 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 5 1/2" POLYETHYLENE TUBING: RAIN BIRD XF BLANK TUBING
- 6 FINISH GRADE
- 7 PVC EXHAUST HEADER
- 8 PVC SCH 40 TEE OR EL
- 9 BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)
- 10 ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFCV DRIPLINE
- 11 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 12 BRICK (1 OF 2)

NOTE:
1. ALLOW A MINIMUM OF 6-INCHES OF DRIPLINE TUBING IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

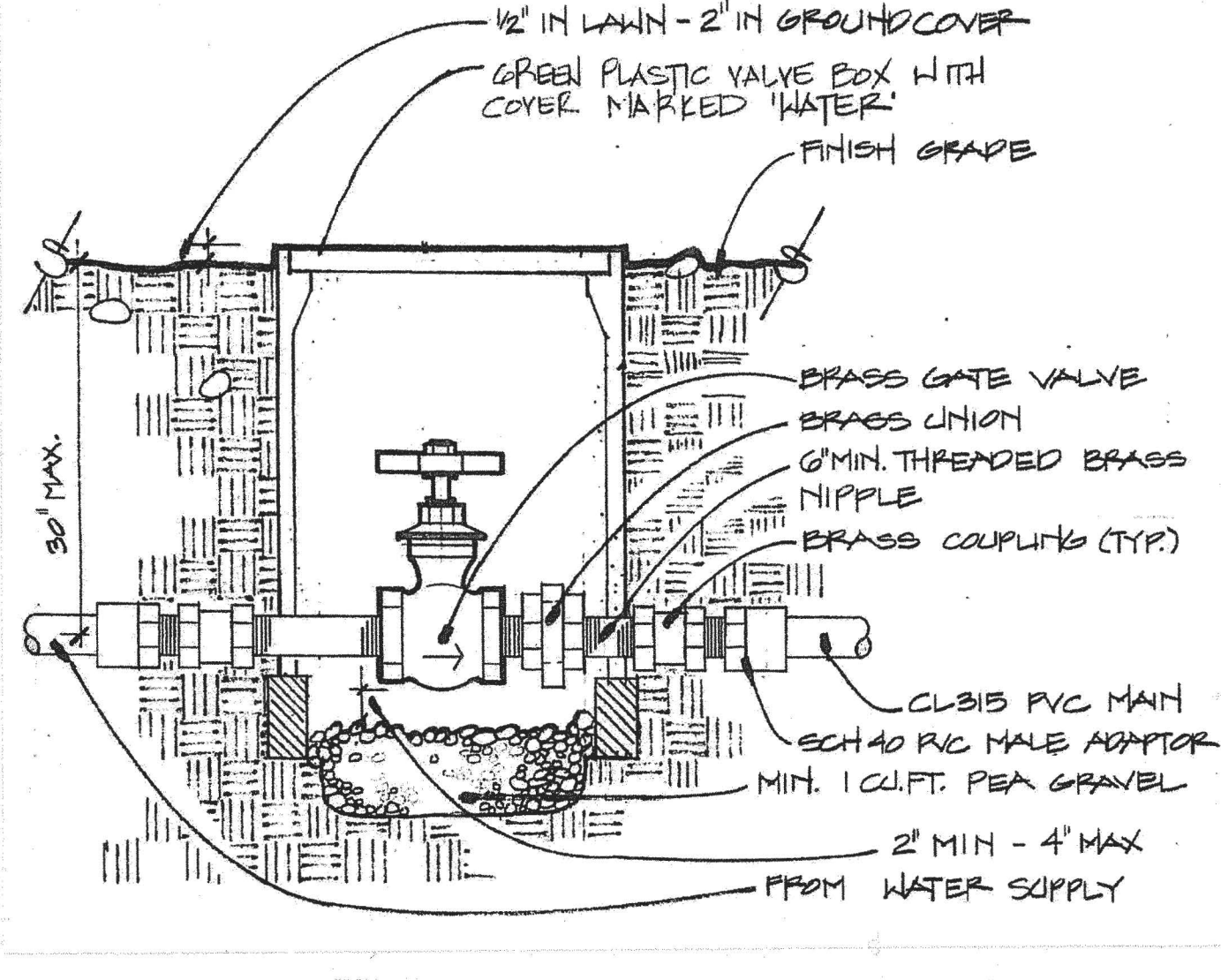
FLUSH VALVE

L



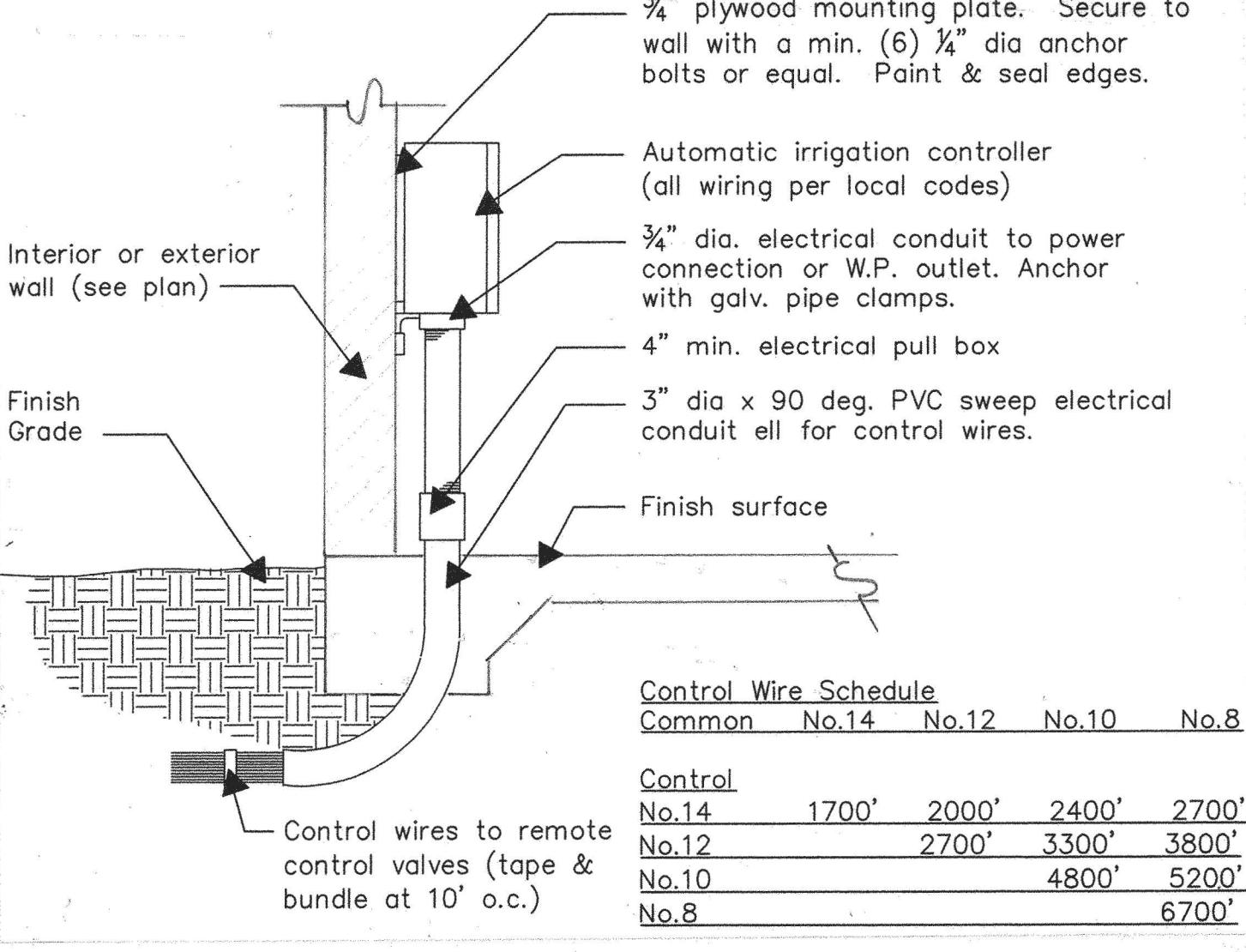
BUBBLER ON POP-UP BODY

I



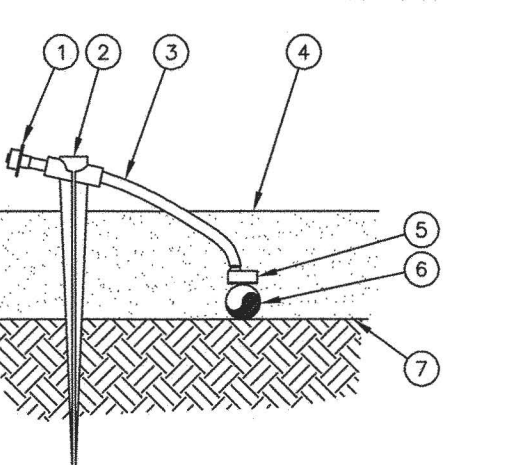
GATE VALVE

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IRRIGATION CONTROLLER

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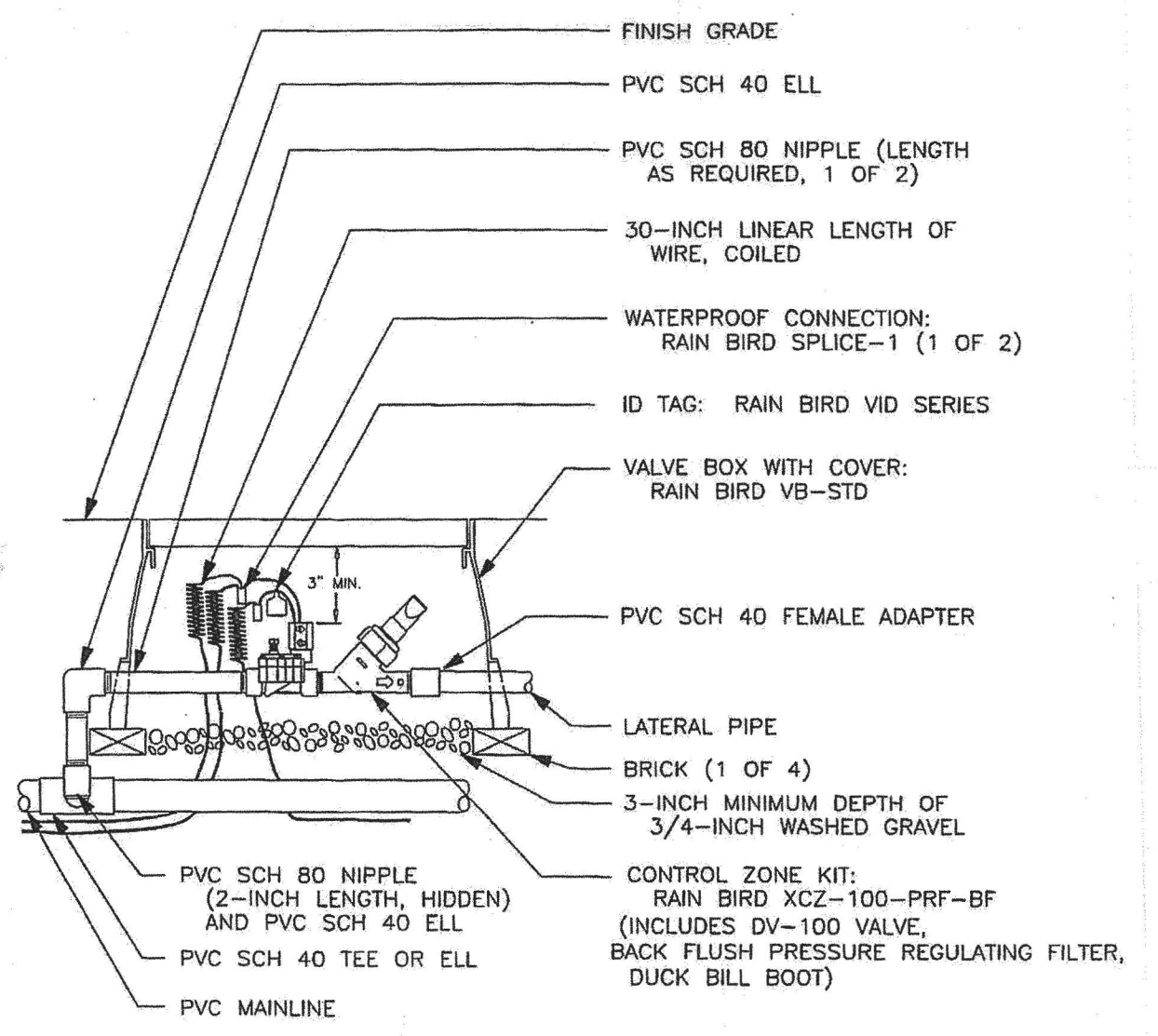


- 1 DIFFUSER BUG CAP: RAIN BIRD DBC-025
- 2 UNIVERSAL 1/2" TUBING STAKE: RAIN BIRD TS-025
- 3 1/2" DISTRIBUTION TUBING: RAIN BIRD XD TUBING (LENGTH AS REQUIRED)
- 4 TOP OF MULCH
- 5 SINGLE-OUTLET BARB INLET X BARB OUTLET EMITTER: RAIN BIRD XBI-BUG EMITTER
- 6 1/2" POLYETHYLENE TUBING: RAIN BIRD XF SERIES TUBING OR RAIN BIRD XT-700 XERI-TUBE OR RAIN BIRD XBS BLACK STRIPE TUBING
- 7 FINISH GRADE

NOTES:
1. USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2" POLYETHYLENE TUBING.
2. RAIN BIRD XERI-BUG BARB X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS:
XB-05PC 0.5 GPH XB-10PC 1.0 GPH XB-20PC 2.0 GPH

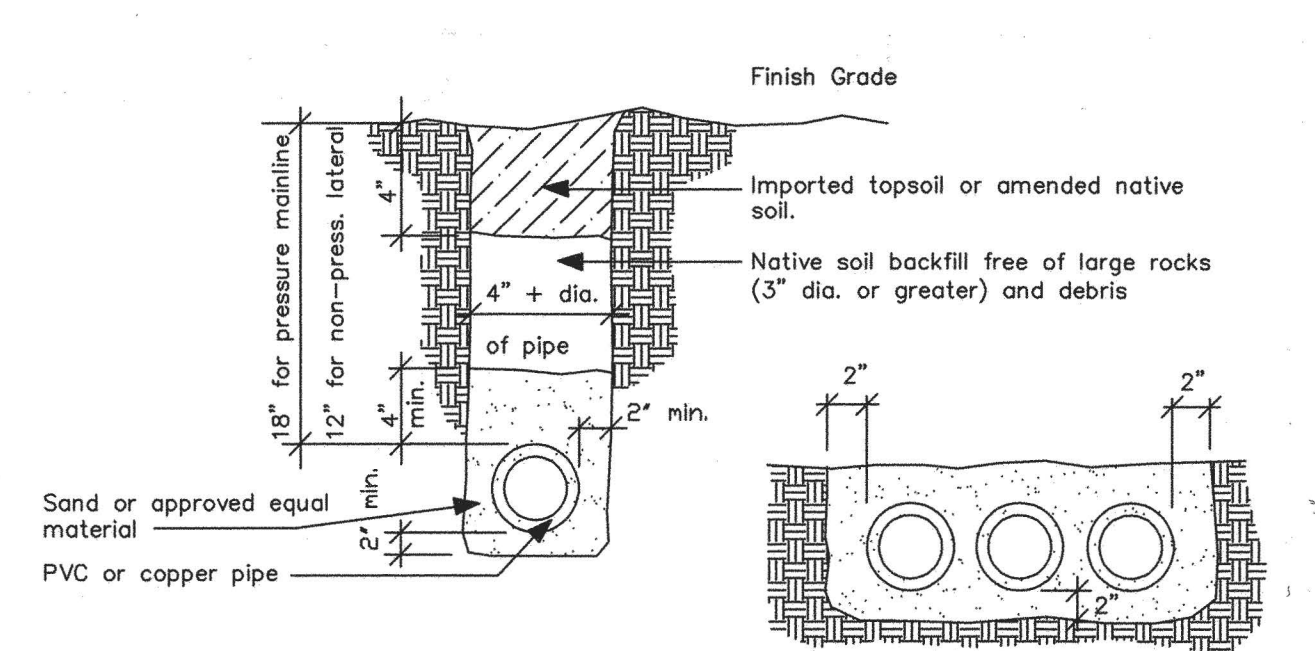
XERI-BUG, STAKE & BUG CAP

K



CONTROL VALVE KIT

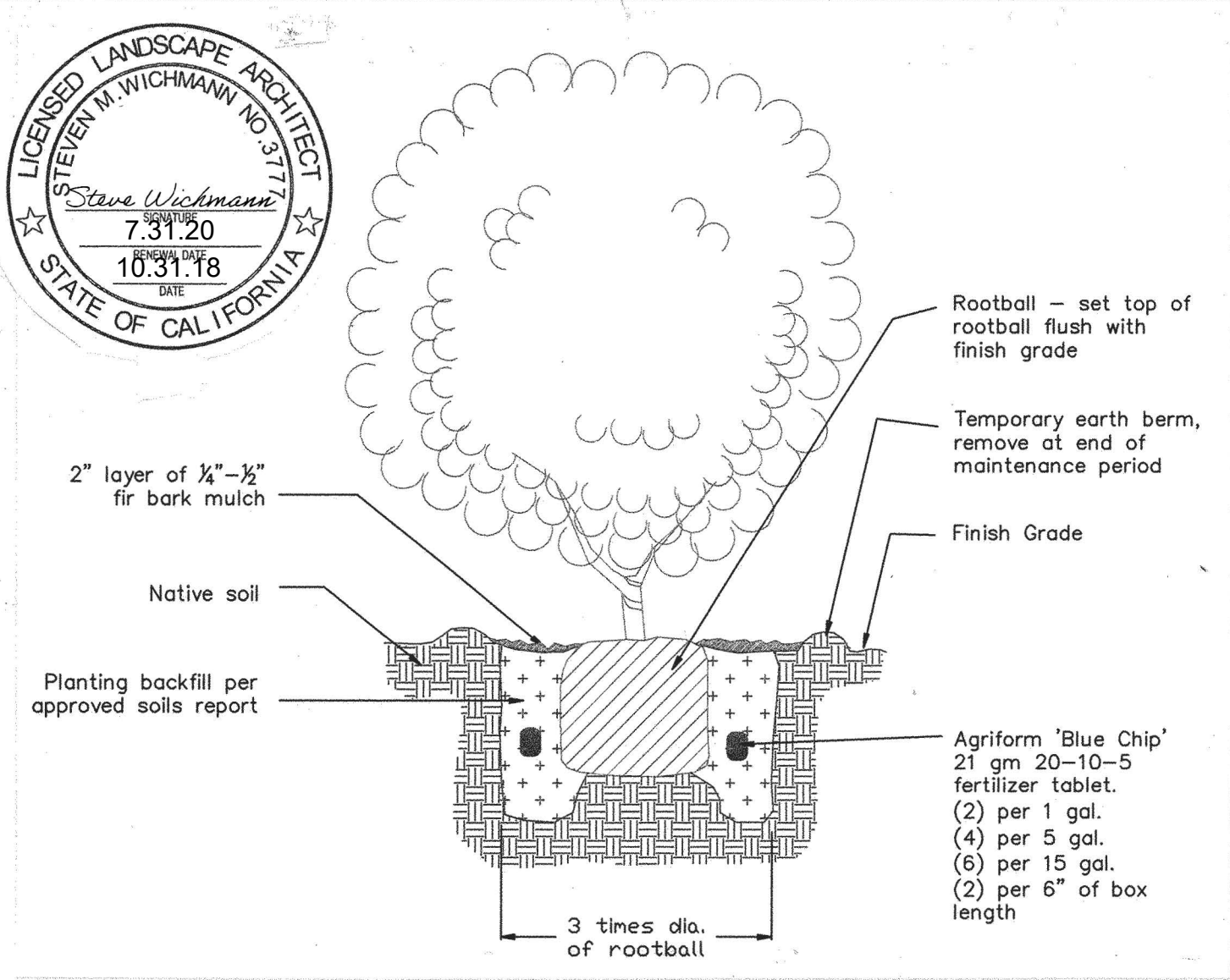
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NOTES:
1. Backfill material shall be compacted to 90%
2. No PVC pressure pipe shall be installed within 3' of and parallel to another line unless otherwise specified.
3. All PVC pipe shall lay free in the trench with no induced strain and sufficient allowance for expansion & contraction as recommended by the manufacturer.
4. 1/2" wide teflon tape shall be used on all threaded connections.
5. The letter 'W' shall be stamped or chiseled on the improvement (curb-sidewalk) directly above the pressure pipeline.
6. All pressure mainline pipe under pavement shall be installed in a PVC sleeve 2 times the dia. of mainline pipe.

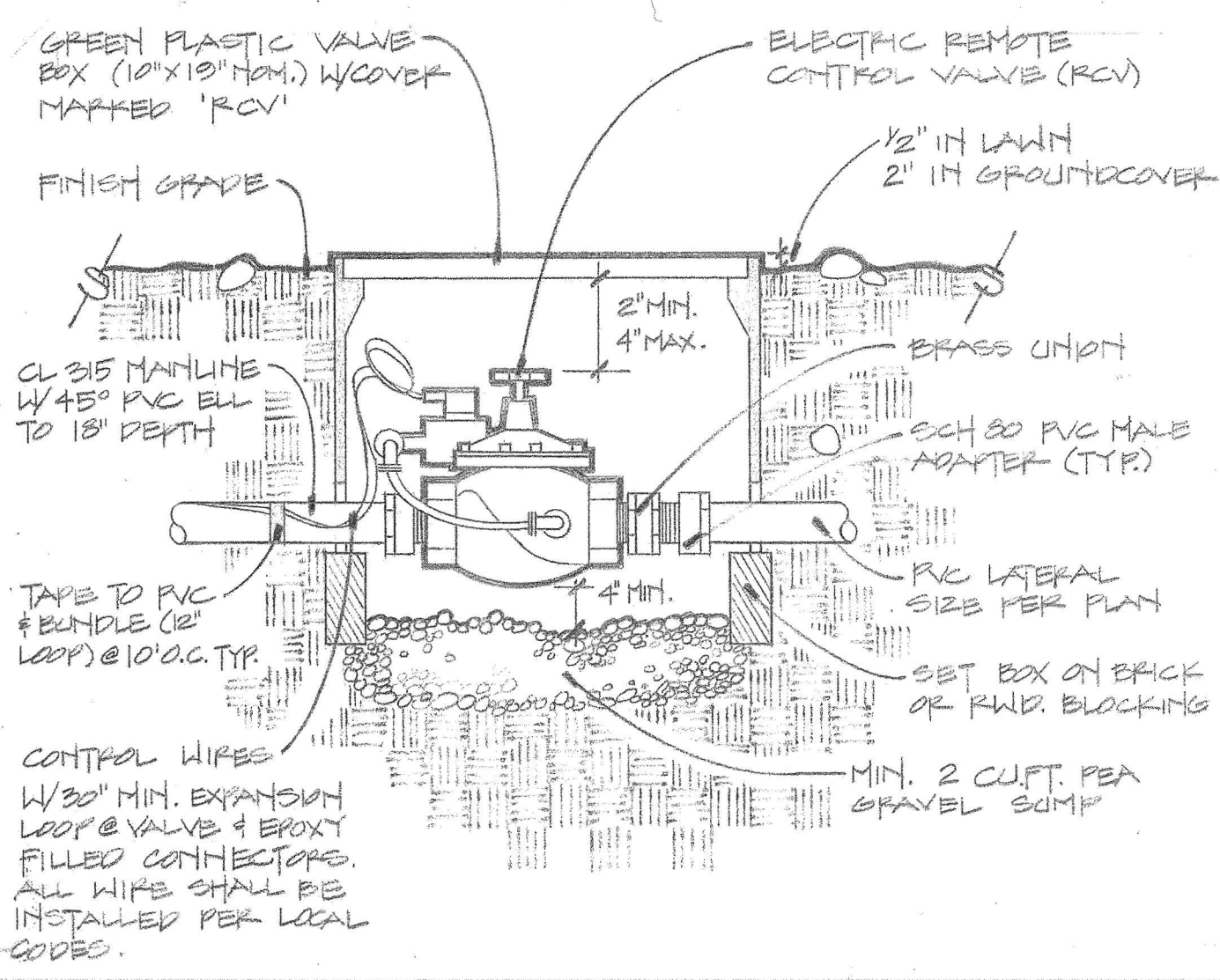
IRRIGATION PIPE BURIAL

E



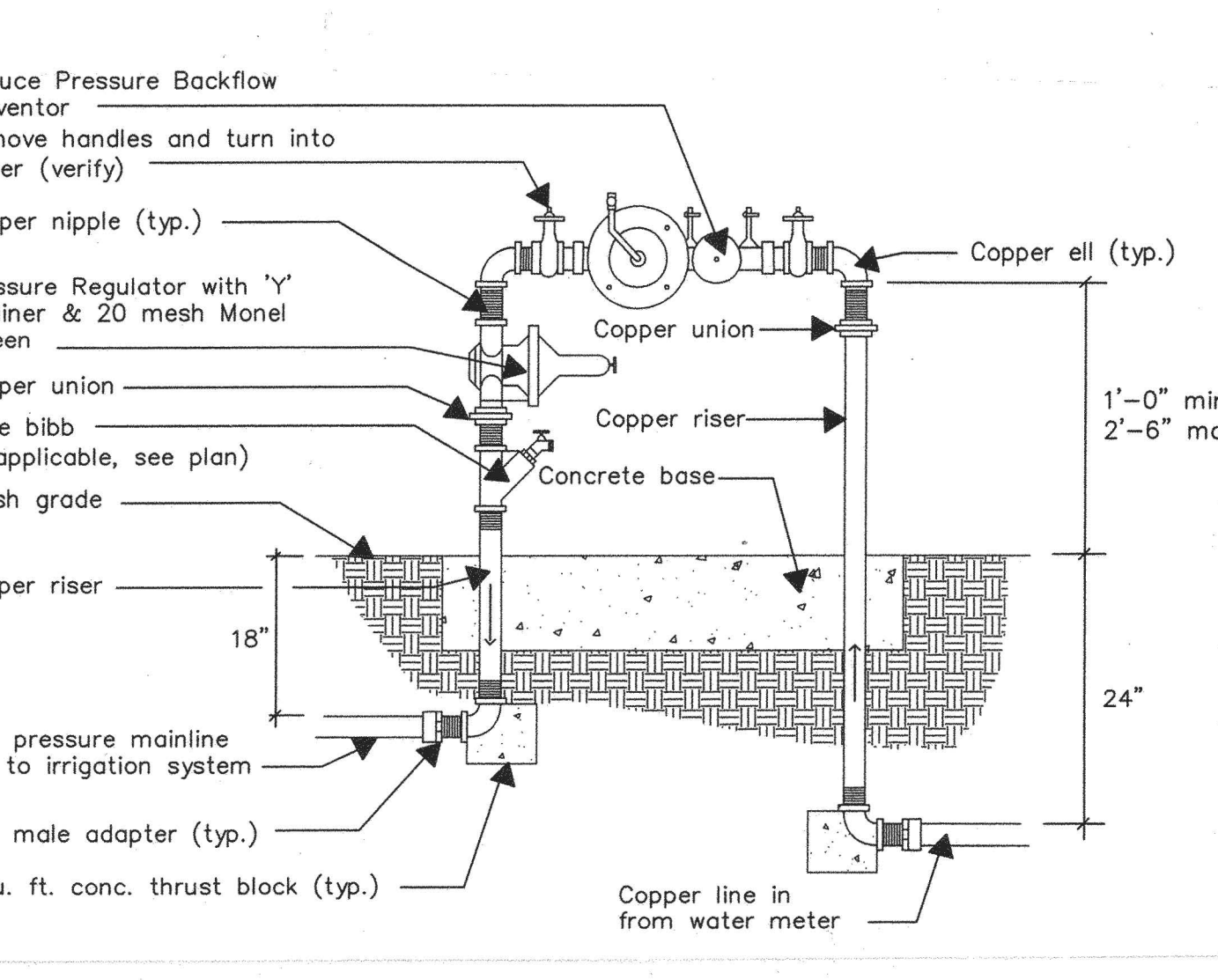
SHRUB PLANTING

B



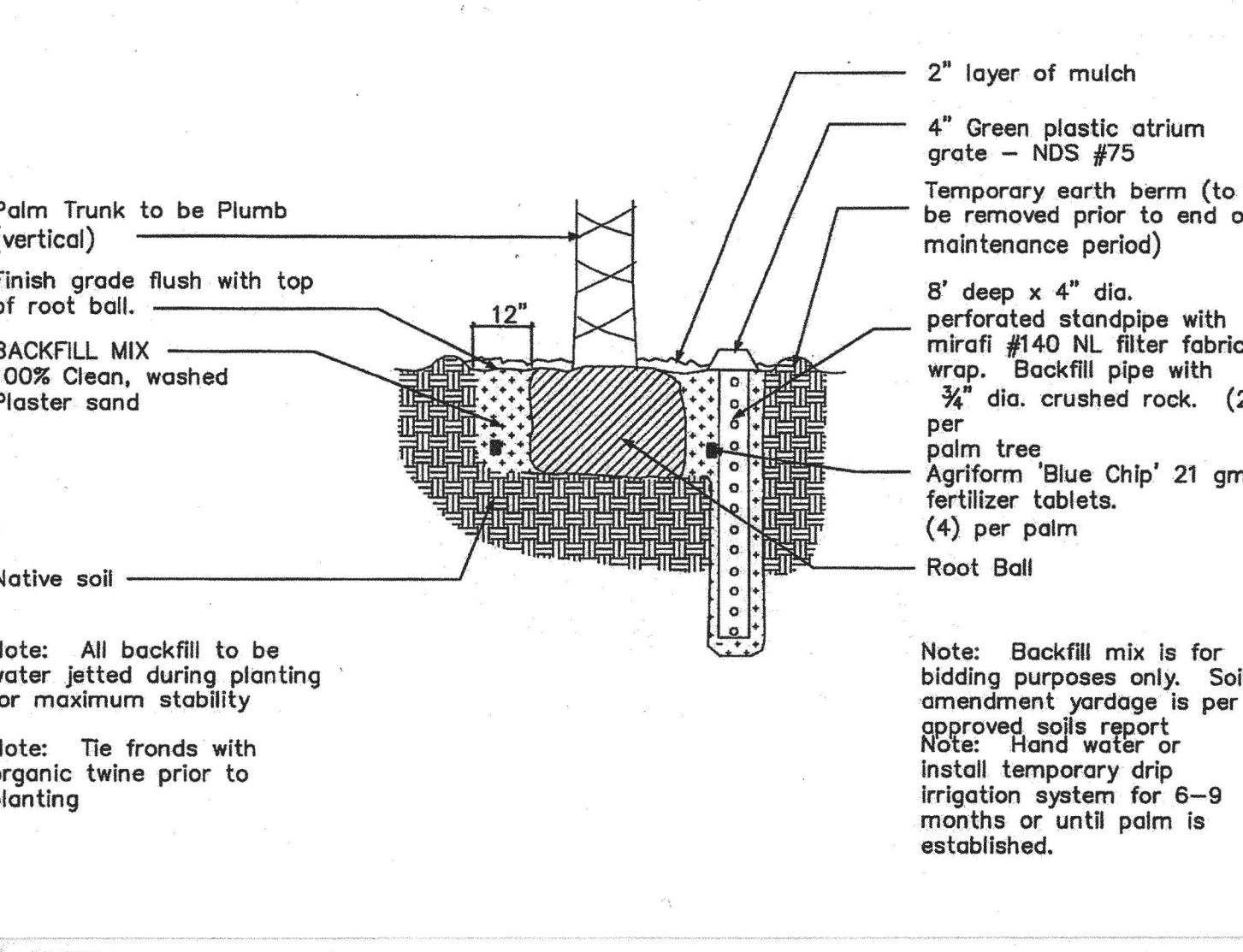
CONTROL VALVE

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BACKFLOW PREVENTOR

D



PALM TREE PLANTING

A

PORTSMOUTH RESIDENCES
835 - 857 Portsmouth Court
San Diego, CA 92109-7215

Landscape Architects
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Date: 10.21.18
Drawn By: SKL
Job #: C1806

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