



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 27, 2019 REPORT NO. HO-19-038

HEARING DATE: April 3, 2019

SUBJECT: CALLE CHIQUITA CDP/SDP, Process Three Decision

PROJECT NUMBER: [521162](#)

OWNER/APPLICANT: Sessa Family Trust, Owner
Laura Ducharme, Architect/Agent

SUMMARY:

Issue: Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to demolish a single-family residence and construct a new two-story over basement, single-family residence with an attached six-car garage located at 2326 Calle Chiquita in the La Jolla Community Plan area?

Staff Recommendation:

1. APPROVE Coastal Development Permit No. 1838738.
2. APPROVE Site Development Permit No. 1838739.

Community Planning Group Recommendation: On June 1, 2017, the La Jolla Community Planning Association voted 8-3-1 to recommend approval of the project with no conditions. (Attachment 7).

La Jolla Shores Advisory Board: On May 25, 2017, the La Jolla Shores Advisory Board voted 4-0 to recommend approval of the project (Attachment 7).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15302, Replacement or Reconstruction. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 14, 2019, and the opportunity to appeal that determination ended March 1, 2019.

BACKGROUND

The existing 4,453-square-foot, two-story, single-family residence on the project site was built in 1980 and is located at 2326 Calle Chiquita, east of North Torrey Pines Road and north of Calle Corta, approximately four blocks east of the Pacific Ocean (Attachment 1). The surrounding properties are fully developed and form a well-established single-family residential neighborhood of one and two-story homes (Attachment 3).

The 0.75-acre project site is in the SF Zone (Single Family Zone) of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Coastal and Campus), and is within the La Jolla Community Plan area. Review of resource maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive habitat or other habitat identified as Environmentally Sensitive Lands (ESL). Furthermore, the project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA)-designated lands.

DISCUSSION

This project proposes to demolish the existing two-story home and construct an 8,697-square-foot, two-story over basement, single-family dwelling unit with an attached, six-car garage on a 0.75-acre property. The project requires a Coastal Development Permit and a Site Development Permit. The Coastal Development Permit is required by the San Diego Municipal Code (SDMC) Section 126.0702 for the proposed demolition and construction on property within the Coastal Overlay Zone. The Site Development Permit is required by the SDMC Section 1510.0201(d) for major development within the La Jolla Shores Planned District.

The La Jolla Community Plan designates the site as Very Low Density (0-5 DU/acre) residential land use (Attachment 2). The proposed residential use of the 0.75-acre property is consistent with that land use designation. The site does not contain any form of Environmentally Sensitive Lands. The proposed new residence will be located within the previously developed portion of the property. The La Jolla Shores Planned District does not contain quantifiable development standards such as building setbacks and floor area ratio. Instead, the Planned District contains language in the General Design regulations which references the character of the area, being in general conformity to surrounding development and design principles. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks and bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance SF Zone. The surrounding neighborhood is a mix of large one and two-story homes with a mix of architectural styles. All surface storm water will be conveyed through an existing drain system to Calle Chiquita. The project proposes to reduce the existing driveway width from approximately 14 feet to 12 feet to maximize on-street curb parking and comply with the Coastal and Campus Parking Impact Overlay Zone regulations. The project conforms to all development regulations of the La Jolla Shores Planned District Ordinance's SF Zone, along with the applicable regulations of the Coastal Overlay Zone, such as the Coastal and Campus Parking Impact Overlay Zone and the Coastal Height Limitation Overlay Zone.

The La Jolla Shores Planned District contains General Design Regulations, San Diego Municipal Code Section 1510.0301(b), which states that, "No structure shall be approved which is substantially like any other structure located on an adjacent parcel. Conversely, no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area." The proposed residence is designed to include board and batten siding, wood shingle siding, stone veneer and cooper metal roofing, which was found in general conformance with surrounding development and in conformance with the La Jolla Shores General Design Regulations. The project proposes 3,700 cubic yards of cut grading and 200 cubic yards of fill and 3,500 cubic yards of export. The proposed residence will be approximately 25 feet, 9 inches in height, in compliance with the allowed 30-foot height limit.

The project site is located approximately four blocks east of the Pacific Ocean, and is not located within or adjacent to a public view, as identified within the La Jolla Community Plan and Local Coastal Program Land Use Plan. The project site is not located between the ocean and the First Public Roadway (El Paseo Grande and North Torrey Pines Road).

The project site is not identified as containing any form of public access by the La Jolla Community Plan and Local Coastal Program Land Use Plan. A review of the project's plans, conformance with public access and coastal public views, has determined that the proposed redevelopment of this property is in conformance with the La Jolla Community Plan and Local Coastal Program Land Use Plan.

CONCLUSION:

This proposed project is designed to comply with the development regulations of the La Jolla Shores Planned District's SF Zone, the Coastal and Campus Parking Impact Overlay Zone regulations and the La Jolla Community Plan and Local Coastal Program Land Use Plan. Staff supports a determination that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff recommends the Hearing Officer approve Coastal Development Permit No. 1838738 and Site Development Permit No. 1838739, as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1838738 and Site Development Permit No. 1838739, with modifications.
2. Deny Coastal Development Permit No. 1838738 and Site Development Permit No. 1838739, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Glenn Gargas, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Notice of Environmental Exemption
7. Community Planning Group Recommendations
8. Ownership Disclosure Statement
9. Project Plans



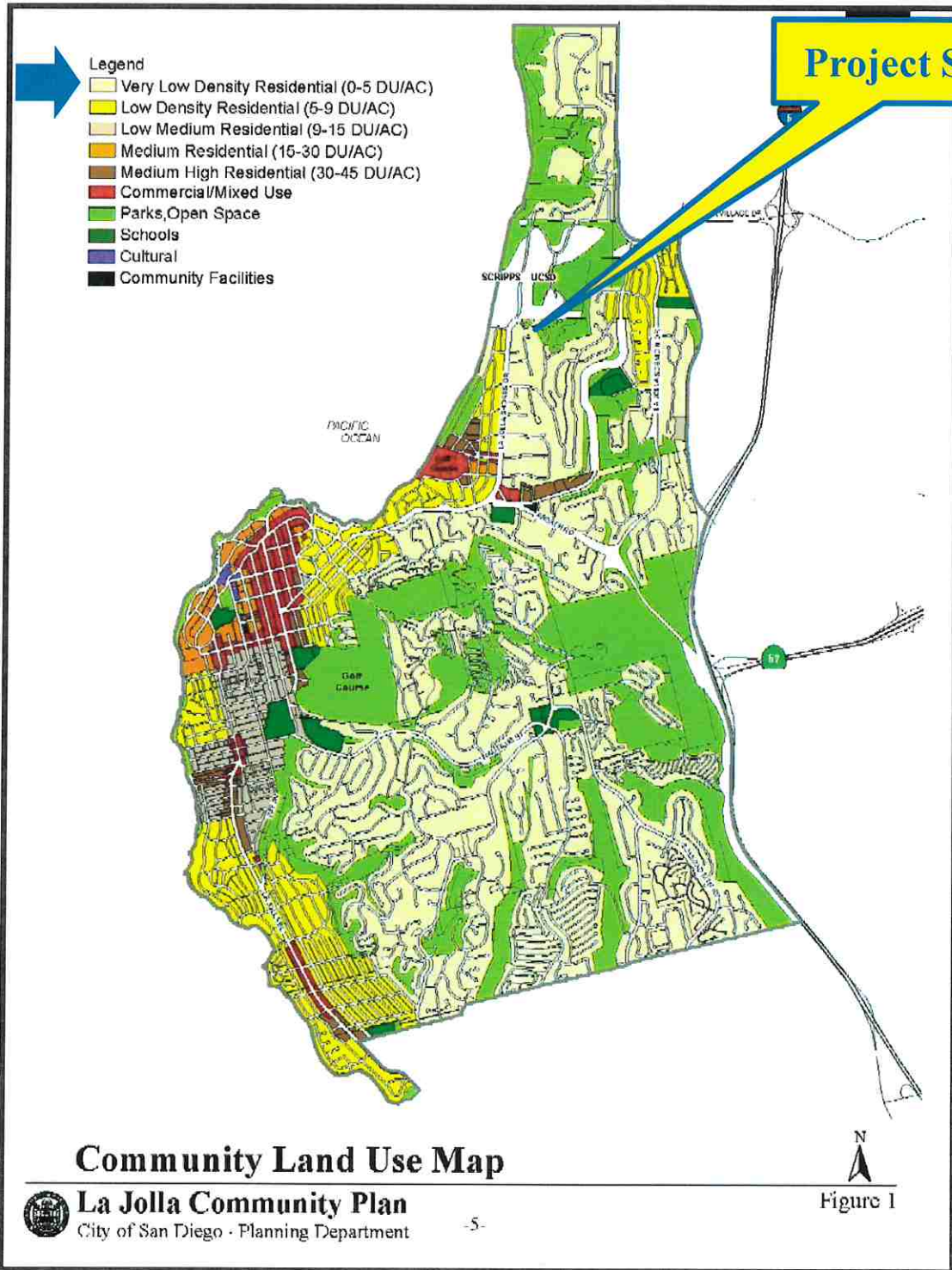
2326 CALLE CHIQUITA



Project Location Map

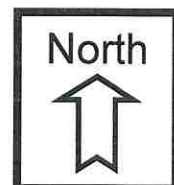
**CALLE CHIQUITA CDP/SDP – 2326 CALLE CHIQUITA
PROJECT NO. 521162**





Land Use Map

CALLE CHIQUITA CDP/SDP - 2326 CALLA CHIQUITA
PROJECT NO. 521162 La Jolla





Project Site

2326 Calle Chiquita,
San Diego, CA 92037



Aerial Photo

**CALLE CHIQUITA CDP/SDP - 2326 CALLE CHIQUITA
PROJECT NO. 521162**



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 1838738/SITE DEVELOPMENT PERMIT NO. 1838739
CALLE CHIQUITA CDP/SDP - PROJECT NO. 521162

WHEREAS, Marco Sessa, Trustee of the Sessa Family Trust dated February 16, 2005, and Chelsea Sessa, Trustee of the Sessa Family Trust dated February 16, 2005, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a single-family residence and construct a new, two-story over basement, single-family residence with an attached six-car garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1838738 & 1838739), on portions of a 0.75-acre site;

WHEREAS, the project site is located at 2326 Calle Chiquita, in the SF Zone of the La Jolla Shores Planned District, Coastal (non-appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Coastal and Campus) and within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 19 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 2996, filed in the Office of the County Recorder of San Diego County on May 19, 1953;

WHEREAS, on April 3, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1838738/Site Development Permit No. 1838739, pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 3, 2019.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is currently developed with a two-story, residence constructed in 1980. This project proposes to demolish the existing, two-story single-family residence and construct a new two-story over basement, single-family residence. The proposed structure will be situated in approximately the same location as the existing residential structure. The project site is located approximately four blocks from the Pacific Ocean coastline. The proposed project is contained within the existing legal lot area which will not encroach upon any existing or proposed physical access to the coast. The project site is not located within the First Public Roadway and the Pacific Ocean.

The project site is located at the northeast terminus of Calle Chiquita and there is no identified public view on or adjacent to the project site, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. As the proposal will meet all setbacks requirements, the proposed home will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the La Jolla Local Coastal Program land use plan. Therefore, the proposed redevelopment will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the La Jolla Community Plan and Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The fully graded project site is currently developed with a single-family residence and within a residential neighborhood developed since 1980. Review of resources maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. Furthermore, the project site does not contain, nor is it adjacent to, Multi Habitat Planning Area (MHPA) designated lands. The project proposes to demolish the existing single-family residence and construct a new two-story, single family residence with basement, attached garage and pool in approximately the same location on the lot as the existing residence. The Environmental Analysis Section conducted an environmental review of this site and determined that, in accordance with the California Environmental Quality Act Guidelines Section 15162(a), the proposed activity is exempt from CEQA pursuant to Section 15302 of the State CEQA Guidelines, which addresses the replacement or reconstruction of existing structures and facilities. The northern and eastern portion of the site contain slope areas that will remain with proposed retaining walls. A Preliminary Geotechnical Investigation indicates that this area has been cut and filled to accommodate the existing home. Site drainage currently drains predominately toward Calle Chiquita. All surface drainage from the project will be conveyed to Calle Chiquita. The project site was previously graded and redevelopment of this site proposes 3,700 cubic yards of cut, 200 cubic yards of fill, for a total export of 3,500 cubic yards. The proposed grading will occur primarily within the building footprint for the proposed basement/subterranean garage area. Thus, this proposed redevelopment of an existing residence will not adversely affect Environmentally Sensitive Lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed development to demolish an existing residence and construct a new two-story over basement, single-family residence is located on a site which has a Very Low Density Residential (0-5 DU/AC) land use designation. The proposed single-family residential use is consistent with that land use designation and density. Based on the review of the project

plans along with a setback and bulk/scale neighborhood survey of the surrounding development pattern, the project's design was determined to be in general conformity with all of the applicable development regulations of the La Jolla Shores Planned District's SF-Zone and the Coastal Overlay Zone. The project site is located approximately four blocks from the coastline with no identified public view on or adjacent to the subject property, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. The project site is not located in an area identified as containing Pedestrian Access. The Calle Chiquita street frontage will be improved with an additional three (3) feet of dedication with new driveway improvements within the public right-of-way. Project development will be fully contained within the existing legal lot area. Due to these factors the proposed residential dwelling unit redevelopment of this property is in conformity with the certified La Jolla Community Plan and the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.75-acre site, currently developed with an existing residence, is located within an established residential neighborhood approximately four blocks from the Pacific Ocean coastline and is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. The proposed redevelopment of the property will add additional dedication of three feet and make driveway improvements within the existing public right-of-way. Therefore, the project is in compliance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Site Development Permit - Municipal Code Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes to demolish an existing two-story, single-family residence and construction of a new 8,697 square foot, two-story over basement, single-family residence with an attached six-car garage and pool in approximately the same location on the lot as the existing structure. The proposed project is located in an area identified as Very low density (0-5 DU/acre) residential within the La Jolla Community Plan (LJCP). The residential use of the property is consistent with the land use designation. The project site does not contain or is not adjacent to any identified public access or any identified public views identified by the La Jolla Community Plan and Local Coastal Land Use Plan. Based on the review of the project plans along with a setback and bulk/scale neighborhood survey of the surrounding development pattern, the proposed design and materials for the siding and roofing the proposed single-family dwelling unit was found consistent with the SF Zone of the La Jolla Shores Planned District development regulations, allowed density and design recommendations. Thus, this single family residential dwelling unit redevelopment will not adversely affect the La Jolla Community land use plan.

2. The proposed development will not be detrimental to the public health, safety and welfare.

The proposed demolition of an existing two-story, single-family residence and construction of a new 8,697-square-foot, two-story over basement, single-family residence with an attached six-car garage and pool has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District and the Coastal Overlay Zone. The Environmental Analysis Section conducted an environmental review of this site and determined that, in accordance with the California Environmental Quality Act Guidelines Section 15162(a), the proposed activity is exempt from CEQA pursuant to Section 15302 of the State CEQA Guidelines, which addresses the replacement or reconstruction of existing structures and facilities. The environmental analysis did not find any significant impacts to public health and safety. The project will not have any impact on the provision of essential public services. The project includes improvements to the public right of way that include a new 12-foot-wide driveway per City Standards and a three-foot dedication Calle Chiquita to provide a 10-foot curb-to-property-line distance. These improvements will meet current standards and improve public safety. The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed demolition of an existing two-story, single-family residence and construction of a new 8,697-square-foot, two-story over basement, single-family residence with an attached six-car garage and pool, will comply with the development regulations of the SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone and Local Coastal Program for the La Jolla Community Plan area. There are no proposed variances or deviations to the development regulations of the Land Development Code. City staff reviewed the building setbacks, drainage, lot coverage, building mass, building height, landscaping, public views, public access, and found that the project will comply with all of the required development regulations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

ATTACHMENT 4

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Coastal Development Permit No. 1838738/Site Development Permit No. 1838739, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1838738 and 1838739, a copy of which is attached hereto and made a part hereof.

Glenn R. Gargas
Development Project Manager
Development Services

Adopted on: April 3, 2019

IO#: 24007073

fm 7-17-17

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007073

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1838738/SITE DEVELOPMENT PERMIT NO. 1838739

CALLE CHIQUITA CDP/SDP - PROJECT NO. 521162

HEARING OFFICER

This Coastal Development Permit No. 1838738/Site Development Permit No. 1838739 is granted by the Hearing Officer of the City of San Diego to Marco Sessa, Trustee of the Sessa Family Trust dated February 16, 2005, and Chelsea Sessa, Trustee of the Sessa Family Trust dated February 16, 2005, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702(a) and 1510.0201(d). The 0.75-acre site is located at 2326 Calle Chiquita, in the SF Zone of the La Jolla Shores Planned District, Coastal (non-appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Coastal and Campus), and is within the La Jolla Community Plan area. The project site is legally described as: Lot 19 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 2996, filed in the Office of the County Recorder of San Diego County on May 19, 1953.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a single-family dwelling unit and construct a new, two-story over basement, single-family dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 3, 2019, on file in the Development Services Department.

The project shall include:

- a. Demolish a single-family dwelling unit and construct a two-story-over-basement, single-family residence with an attached six-car garage, totaling 8,697-square feet on a 0.75-acre property;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Site walls, fences, retaining walls, terrace, pool, walkways, entry gate and stairs; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 17, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENVIRONMENTAL REQUIREMENTS:

12. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents in "verbatim" as referenced in the City of San Diego Land Development Manual for Paleontological Resources.

13. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC)/Environmental Designee (ED) identifying the Principal Investigator (PI), Monitors, and all persons for the project and the names of all persons involved in the paleontological monitoring program, as identified in City of San Diego Land Development Manual for Paleontological Resources.

14. MMC/ED will provide a letter to the applicant confirming the qualifications of the PI, Monitors, and all persons involved in the paleontological monitoring of the project. Professional Qualifications shall meet the following standards:

- A. The Principal Investigator (PI) should have a Ph.D. or M.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Four cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required. Two of the four years must be in a supervisory capacity (crew chief or above).
- B. Paleontological Monitors should have a B.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Two cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required.

15. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

ENGINEERING REQUIREMENTS:

16. The project proposes to export 3500 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for landscaping/ Irrigation and private walk in the Calle Chiquita Right-of-Way.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12-foot-driveway per current City Standards, adjacent to the site on Calle Chiquita.

21. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional three (3) feet on Calle Chiquita to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

24. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

25. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

26. Prior to the issuance of any construction permit the Owner/Permittee shall obtain an Encroachment Agreement from AT&T for proposed encroachment within AT&T easement.

LANDSCAPE REQUIREMENTS:

27. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

30. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

31. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

33. Prior to the issuance of any building permits, the Owner/Permittee shall finalize Water and sewer capacity charges. Capacity charges, as well as service and meter size, are determined by Water Meter data card which is completed during the building plan review process. Any questions regarding water and sewer capacity fees should be addressed to Information and Application Services (619-446-5000).

34. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

35. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

36. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

37. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to disconnect (kill) at the main any existing unused water service.

38. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 3, 2019, by Resolution No.

_____.

Permit Type/PTS Approval No.: CDP No. 1838738/SDP No. 1838739

Date of Approval: April 3, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Marco Sessa, Trustee of the Sessa Family
Trust dated February 16, 2005.
Owner/Permittee

By _____
Marco Sessa, Trustee

Chelsea Sessa, Trustee of the Sessa Family
Trust dated February 16, 2005
Owner/Permittee

By _____
Chelsea Sessa, Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: Calle Chiquita / 521162

SCH No.: N/A

Project Location-Specific: 2326 Calle Chiquita, La Jolla, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: COASTAL DEVELOPMENT PERMIT and SITE DEVELOPMENT PERMIT to demolish an existing single-family residence and construct a new single-family residence, driveway, landscaping and site walls. The existing 4,453 square foot residence was constructed in 1980. The new residence would be 8,477 square feet with 345 square feet being basement. Proposed building materials include copper roofing, wood shingles, board and batten, brick veneer, and stone veneer. The 0.75 acre site is located within the non-appealable coastal zone at 2326 Calle Chiquita, within the La Jolla Shores Planned District -Single Family zone, the Coastal Height Limitation Overlay Zone (structure height shall not exceed 30 feet), Parking Impact Zone, and is within the La Jolla Community Plan area, Council District 1. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with all public utilities in place to serve the residence.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Sessa Family Trust, 2326 Calle Chiquita, La Jolla, CA 92037, 858-9815

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15302, Replacement or Reconstruction
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project, as described in the Project Description section of this notice, meets the criteria set forth in CEQA Section 15302 which addresses the replacement or reconstruction of existing structures and facilities. Furthermore, none of the exceptions described in the CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: C. Holowach

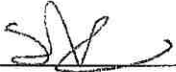
Telephone: 619-446-5187

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

ATTACHMENT 6

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title

3/5/19

Date

Check One:

Signed By Lead Agency

Signed by Applicant

Date Received for Filing with County Clerk or OPR:



La Jolla Community Planning Association

Date: June 21, 2017

Subject: La Jolla Community Planning Association Vote

RE: "**Calle Chiquita**".

On June 1, 2017 at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed "**Calle Chiquita**" as an Action Item on Full Review.

CALLE CHIQUITA RESIDENCE 2326 Calle Chiquita CDP & SDP

LA JOLLA (Process 3) Coastal Development and Site Development Permit to demolish an existing 4453 sq ft residence and construct a new 8,697 sq ft two-story single family residence over a 4,628 sq ft basement/ garage. The 0.75 acre (32,670 sq ft) site is located at 2326 Calle Chiquita within the non-appealable Coastal Overlay Zone within LJSPD-SF base zone within Council District. PRC RECOMMENDATION: Approve request as stated 5-3.

- LJCPA Vote 6-1-2017--- Findings can be made for a CDP and an SDP for the proposed project as approved by the Permit Review Committee (8-3-1 with chair abstaining by the LJCPA on full review)

Sincerely,

Helen Boyden, Vice President (s)
Acting as Chair

858-456-7900

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: PTS 521162 - Calle Chiquita CDP/SDP **Action Item:** E **Date:** 4/26/17

Applicant: Laura Conboy

Address: 2326 Calle Chiquita

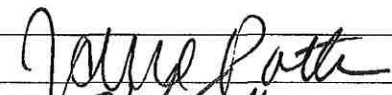
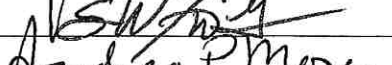
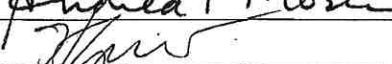

Description: CDP/SDP to demolish an existing 4,453 sf residence and build a new 8,697 sf two-story single-family residence on a 0.75-acre site.

Recommendation

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only _____

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Andrea Moser		
Herbert Lazerow		

Absentees:


Chairperson



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: CALLE CHIQUITA RESIDENCE Project No. For City Use Only: _____

Project Address: 23 26 CALLE CHIQUITA

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): SESSA FAMILY TRUST
 Owner Tenant/Lessee Redevelopment Agency

Street Address: 2326 CALLE CHIQUITA
 City/State/Zip: LA JOLLA, CA 92037
 Phone No: 858-454-9815 Fax No: 858-546-3009
 Signature: [Signature] Date: 11/1/16

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency

Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency

Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency

Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

FIRE DEPARTMENT NOTES

1. PROJECT DOES NOT MEET HOSE FULL REQUIREMENT; HOSE FULL MITIGATION IS TO PROVIDE ATTIC SPRINKLERS, IN ADDITION BUILDING TO BE SPRINKLERED IN ACCORDANCE WITH NFPA 13D OR CRC SECTION R313.

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2009-021, NPDES NO. CA9000019 (HTTP://WWW.SURCB.CA.GOV/RQCCB9/PROGRAMS/SD_STORMWATER.HTML), AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE (HTTP://CLERK.DCSANNET.GOV/RIGHTS/GETCONTENT/LOCAL.PDFID.VY.OBJECTID=092014518028CC43).

- NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S
1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCK PILES OF UNCOMPACTED SOIL AND / OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION / SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

NOTES

- 1. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES AND THE EXISTING HILLSIDE AREAS. STORM WATER RUN-OFF SHALL BE DIRECTED TO THE PUBLIC RIGHT-OF-WAY.
2. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
3. NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
7. NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.

ZONING INFORMATION

ASSESSOR'S PARCEL NUMBER: 346-110-07
PROJECT LOCATION: 2326 CALLE CHIQUITA, LA JOLLA, CALIFORNIA 92031

LEGAL DESCRIPTION: LOT 19 OF LA JOLLA SHORES TERRACE, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, ACCORDING TO MAP NO. 2996, FILED IN THE COUNTY RECORDER'S OFFICE, MAY 19, 1993.

PROJECT DESCRIPTION: DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE, DRIVEWAYS, LANDSCAPING, SITE WALLS, CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE, DRIVEWAY, LANDSCAPING, SITE WALLS.

YEAR CONSTRUCTED: 1980
PROCESSING REQUIRED: Coastal Development Permit, Site Development Permit
ZONE: SF
Overlay Zones: Coastal Height Limit (30' Prop. D), Coastal (City), Parking Impact (Coastal and Campus)

PLANNED DISTRICT: La Jolla Shores Planned District

EASEMENTS: See Site Survey prepared by Coffey Engineering, dated March 24, 2015

CODE: 2016 California Building Code, 2016 California Electrical Code, 2016 California Plumbing Code, 2016 California Mechanical Code and 2016 California Fire Code, 2016 California Green Code (as amended by City of San Diego Municipal Code)

OCCUPANCY: R-3 (Residence), U-1 (Garage), Existing and Proposed

GEOLOGIC HAZARD CATEGORY: 21, 53, Earthquake Fault Buffer, Hazard Category 12

CONSTRUCTION TYPE: V-N

FIRE SPRINKLER TYPE: Building to be sprinklered in accordance with NFPA 13D or CRC Section R313

SOILS CONDITION: Previously Graded.

STORIES: 2 Story w/ Basement

BUILDING HEIGHT: Allowable: 30 Feet

LOT SIZE: 32,784 s.f.

LOT COVERAGE: 60% MAXIMUM ALLOWABLE, 26.4% PROPOSED (8,653 s.f./32,784 s.f.)

EXISTING FLOOR AREA: 4,453 SF.

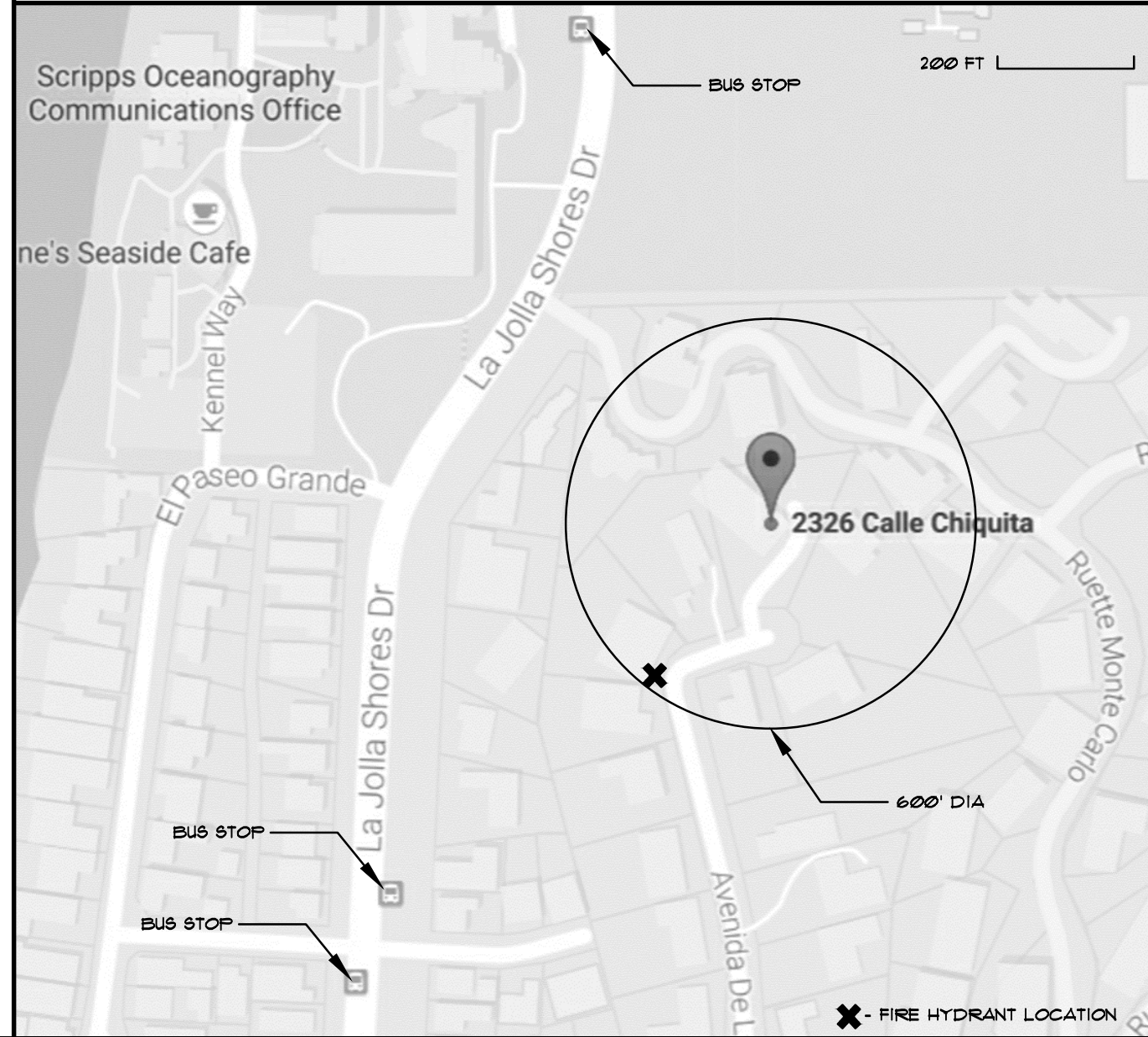
Table with 2 columns: FLOOR, AREA. Rows include BASEMENT, FIRST FLOOR, SECOND FLOOR, TOTAL ENCLOSED, HABITABLE AREA, F.A.R.

PARKING: Parking Criteria, Total number of parking spaces required by zone: 2 spaces, Total number of spaces provided on-site: 9 spaces

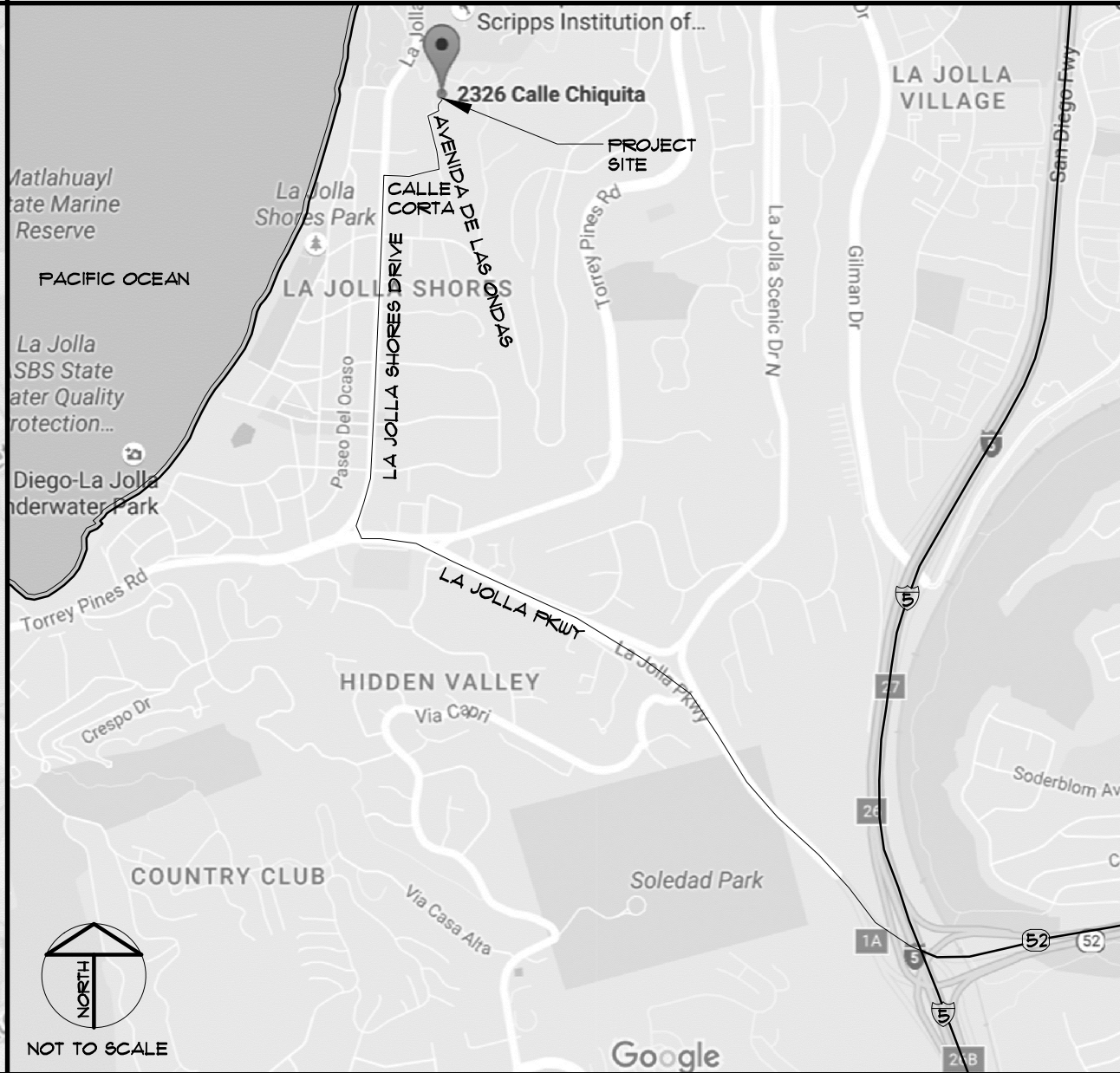
ACCESSORY STRUCTURES: No accessory structures are proposed.

Table with 3 columns: SETBACKS, EXISTING, PROPOSED. Rows include Front, Rear, West Side, East Side.

FIRE HYDRANT AND BUS STOP LOCATIONS



VICINITY MAP



THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.

SHEET INDEX

- 1 - TITLE SHEET
2 - SITE PLAN
3 - BASEMENT PLAN
4 - FIRST FLOOR PLAN
5 - SECOND FLOOR PLAN
6 - ROOF PLAN
7 - ELEVATIONS
8 - ELEVATIONS
9 - SITE SECTIONS
10 - SITE SECTIONS
11 - C.O. - TOPOGRAPHIC MAP
12 - C.I. - GRADING AND DRAINAGE PLAN
13 - L11 - MATERIAL LAYOUT PLAN
14 - L13 - WATER REQUIREMENT WORKSHEET/DETAILS
15 - L20 - LANDSCAPE AREA DIAGRAM
16 - L21 - PLANTING PLAN

PROJECT DIRECTORY

OWNER: BESSA FAMILY TRUST, 2326 CALLE CHIQUITA, LA JOLLA, CALIFORNIA 92031
ARCHITECT: DUCHARME ARCHITECTURE, LAURA DUCHARME CONBOY, AIA, 1142 HERSCHEL AVENUE, SUITE H, LA JOLLA, CALIFORNIA 92031, 858-434-9295
CIVIL ENGINEER: COFFEY ENGINEERING, INC., 10660 SCRIPPS RANCH BLVD., STE. 102, SAN DIEGO, CALIFORNIA 92131, 858-831-2111
LANDSCAPE ARCHITECT: TCLA STUDIO, 34292 SERRILVEDA AVENUE, CARLSBAD BEACH, CALIFORNIA 92024, 949-248-5404



CALLE CHIQUITA RESIDENCE

2326 CALLE CHIQUITA, LA JOLLA, CA.

- DATE: DECEMBER 22, 2016
REVISION: APRIL 24, 2017
JUNE 01, 2017
JULY 21, 2017 - CDP RESUBMITTAL
DECEMBER 12, 2017 - CDP RESUBMITTAL
MAY 07, 2018 - CDP RESUBMITTAL

TITLE SHEET

SCALE: 1 of 16

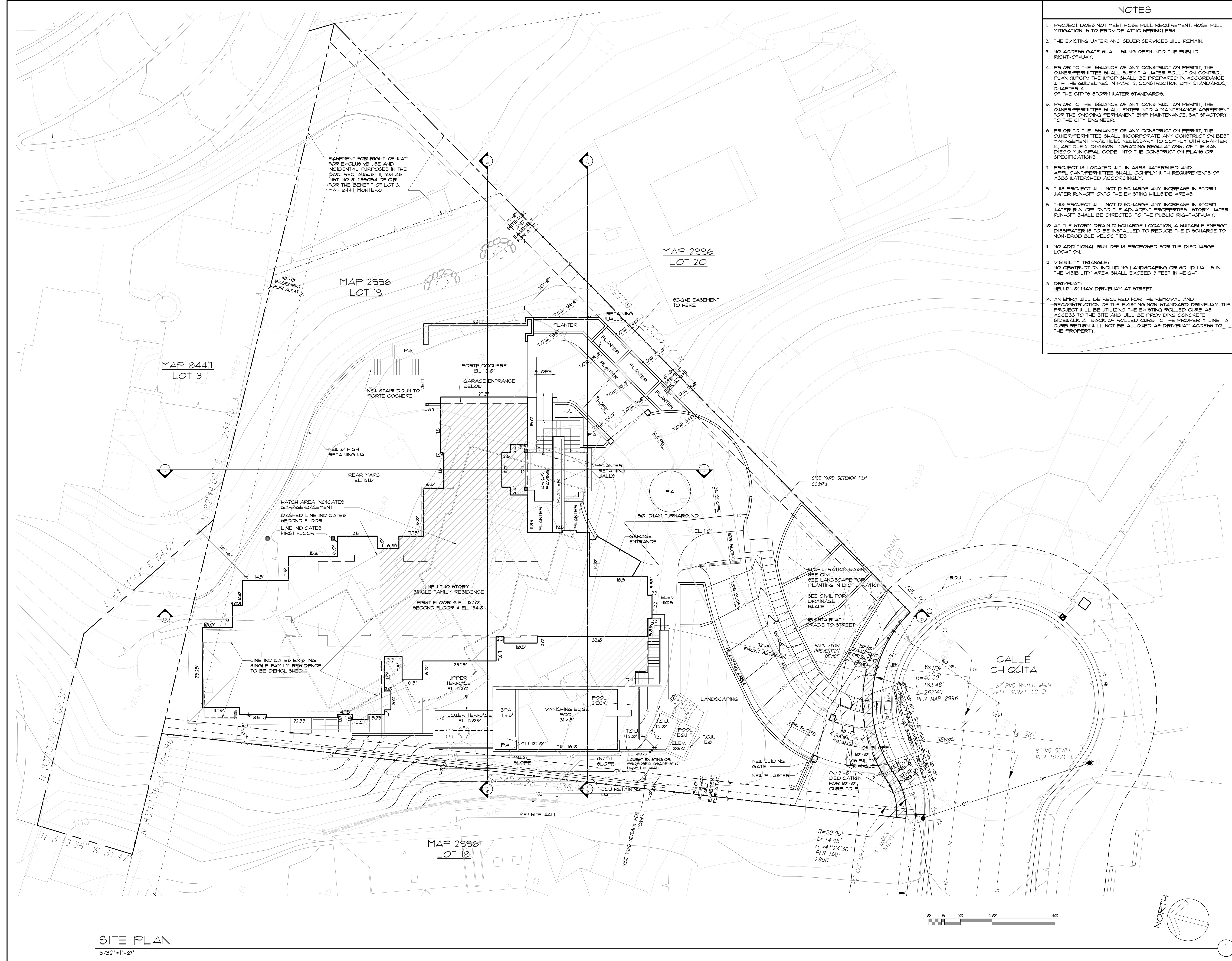
NOTES

- PROJECT DOES NOT MEET HOSE FULL REQUIREMENT. HOSE FULL MITIGATION IS TO PROVIDE ATTIC SPRINKLERS.
- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- NO ACCESS GATE SHALL BE OPEN INTO THE PUBLIC RIGHT-OF-WAY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2, CONSTRUCTION BMP STANDARDS, CHAPTER 4, OF THE CITY'S STORM WATER STANDARDS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PROJECT IS LOCATED WITHIN ASBS WATERSHED AND APPLICANT/PERMITTEE SHALL COMPLY WITH REQUIREMENTS OF ASBS WATERSHED ACCORDINGLY.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES. STORM WATER RUN-OFF SHALL BE DIRECTED TO THE PUBLIC RIGHT-OF-WAY.
- AT THE STORM DRAIN DISCHARGE LOCATION, A SUITABLE ENERGY DISSIPATER IS TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATION.
- VISIBILITY TRIANGLE:
NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
- DRIVEWAY:
NEW 12'-0" MAX DRIVEWAY AT STREET.
- AN EHRA WILL BE REQUIRED FOR THE REMOVAL AND RECONSTRUCTION OF THE EXISTING NON-STANDARD DRIVEWAY. THE PROJECT WILL BE UTILIZING THE EXISTING ROLLED CURB AS ACCESS TO THE SITE AND WILL BE PROVIDING CONCRETE SIDEWALK AT BACK OF ROLLED CURB TO THE PROPERTY LINE. A CURB RETURN WILL NOT BE ALLOWED AS DRIVEWAY ACCESS TO THE PROPERTY.

LEGEND

- LINE OF EXISTING SINGLE-FAMILY RESIDENCE TO BE DEMOLISHED
- EXTENT OF PROPOSED BASEMENT/GARAGE
- LINE OF FIRST FLOOR OF PROPOSED RESIDENCE
- LINE OF SECOND FLOOR OF PROPOSED RESIDENCE
- EXISTING TOPO LINE/ELEVATION
- EXISTING SPOT ELEV.
- NEW SPOT ELEVATION
- EXIST. WATER METER
- EXIST. SANITARY CLEANOUT
- DIRECTION OF SURFACE DRAINAGE
- CATCH BASIN
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- MODIFIED TOPO LINE

THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



SITE PLAN
3/32" = 1'-0"

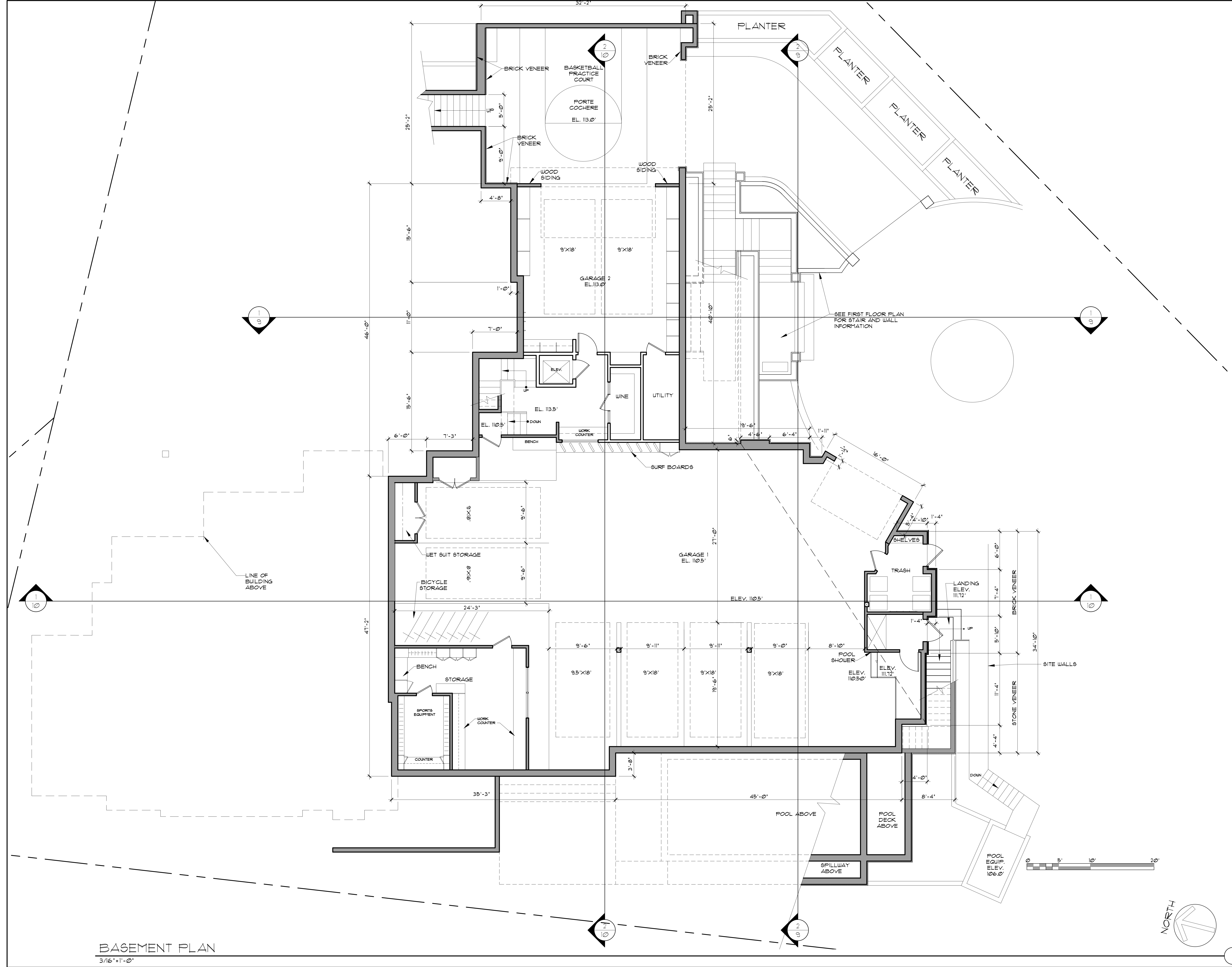
DUCHARME ARCHITECTURE
LAURA DE CHARMÉ CONROY AIA ARCHITECT
1744 HERBERT AVENUE, SUITE 110, JOLLA, CA 92037
PHONE 619.444.2291 FAX 619.444.9992

CALLE CHIQUITA RESIDENCE
2326 CALLE CHIQUITA
LA JOLLA, CA.

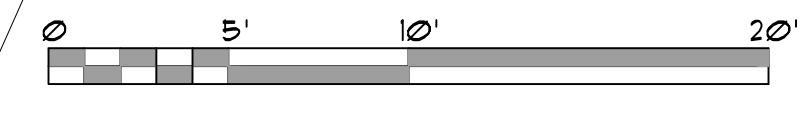
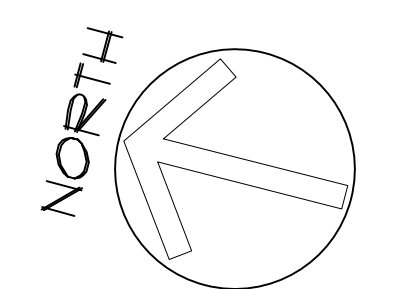
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JUNE 01, 2017
JULY 21, 2017 - CDP RESUBMITTAL
DECEMBER 12, 2017 - CDP RESUBMITTAL
MAY 07, 2018 - CDP RESUBMITTAL

SITE PLAN
SCALE: 3/32" = 1'-0"
2 of 16

THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



BASEMENT PLAN
3/16" = 1'-0"



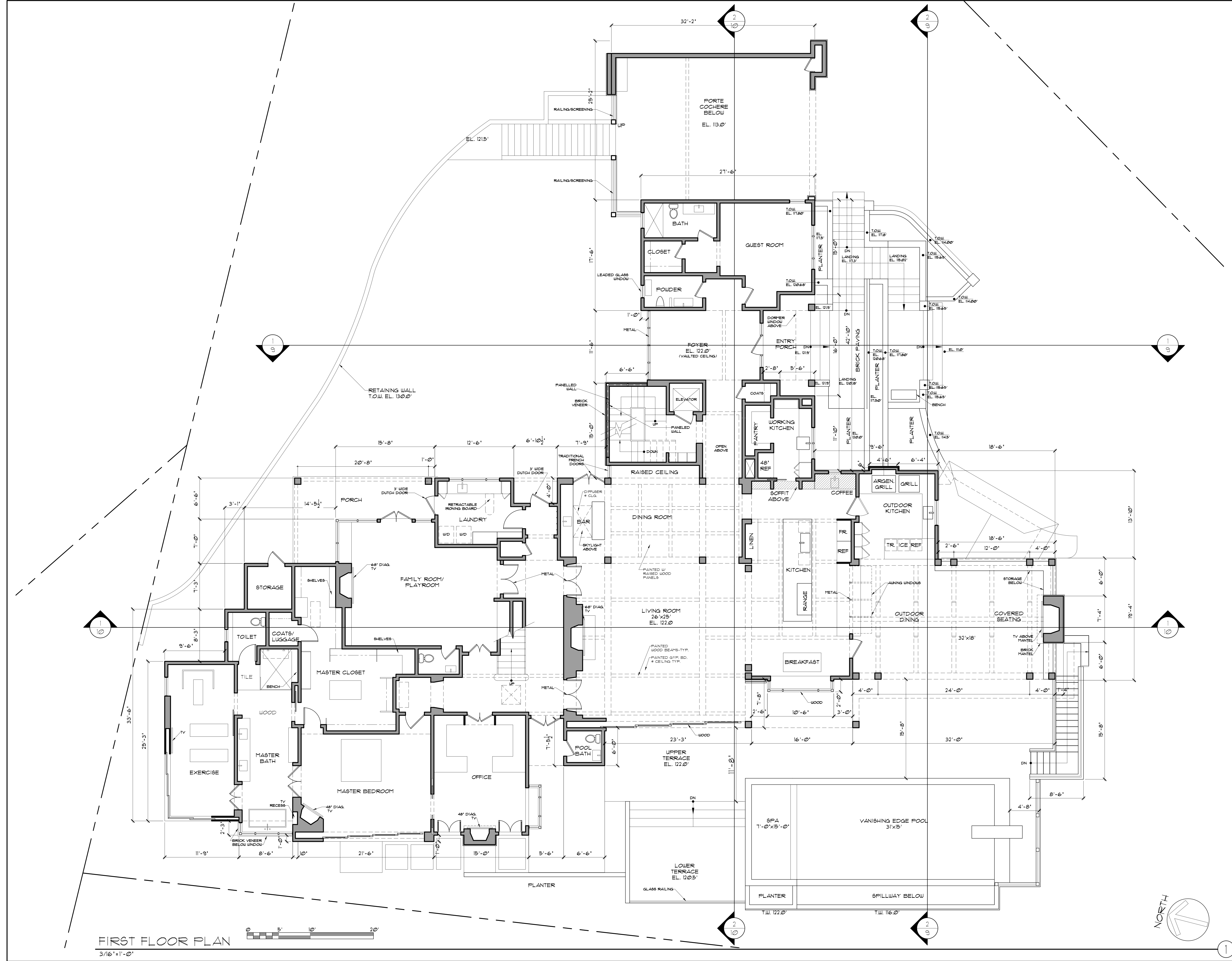
DUCHARME ARCHITECTURE
 LAURA DE CHARME CONROY AIA ARCHITECT
 7742 HERSCHEL AVENUE, SUITE B LA JOLLA, CA 92037
 PH: 858.454.1225 FAX: 858.454.8512

CALLE CHIQUITA RESIDENCE
 2326 CALLE CHIQUITA
 LA JOLLA, CA.

DATE: DECEMBER 22, 2016
 REVISION: APRIL 24, 2017
 JUNE 01, 2017
 JULY 21, 2017 - CDP RESUBMITTAL
 DECEMBER 12, 2017 - CDP RESUBMITTAL
 MAY 07, 2018 - CDP RESUBMITTAL

BASEMENT
 SCALE: 3/16" = 1'-0"
 3 of 16

THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



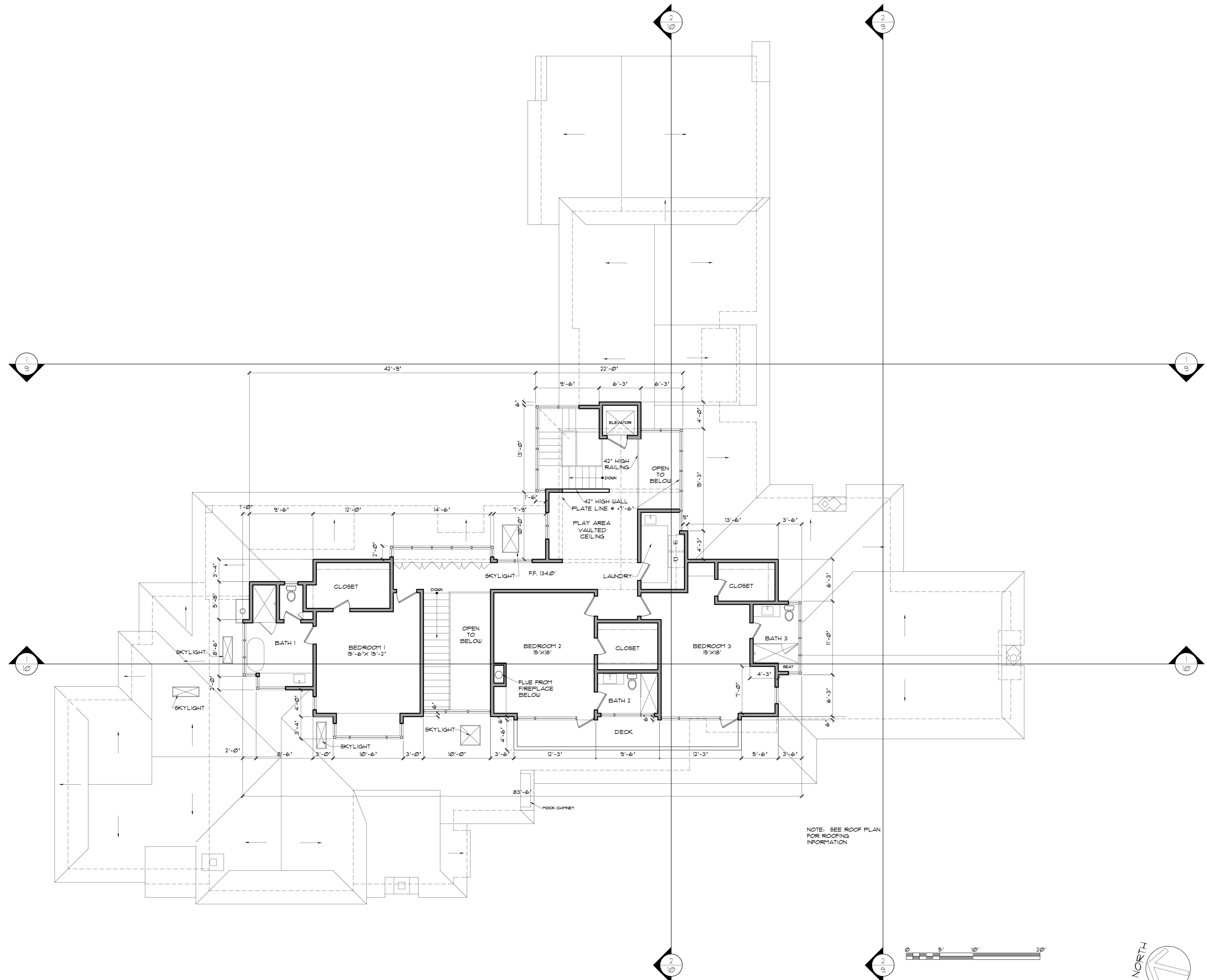

 DUCHARME ARCHITECTURE
 LAURA DE CHARME CONROY AIA ARCHITECT
 7742 BERSERKER AVENUE, SUITE # 100, JOLLA, CA 92037
 PH: 619.444.1255 FAX: 619.444.8917

CALLE CHIQUITA RESIDENCE
 2326 CALLE CHIQUITA
 LA JOLLA, CA.

DATE:	DECEMBER 22, 2016
REVISION:	APRIL 24, 2017
	JUNE 01, 2017
	JULY 21, 2017 - CDP RESUBMITTAL
	DECEMBER 12, 2017 - CDP RESUBMITTAL
	MAY 07, 2018 - CDP RESUBMITTAL

FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 4 of 16

THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



NOTE: SEE ROOF PLAN FOR ROOFING INFORMATION

SECOND FLOOR PLAN
3/16" = 1'-0"


 DU CHARME ARCHITECTURE
 LAURA DE CHARME CONROY AIA ARCHITECT
 7742 BERSCHLEAVENUE, SUITE B LA JOLLA, CA 92037
 PH: 858.454.1225 FAX: 858.454.8187

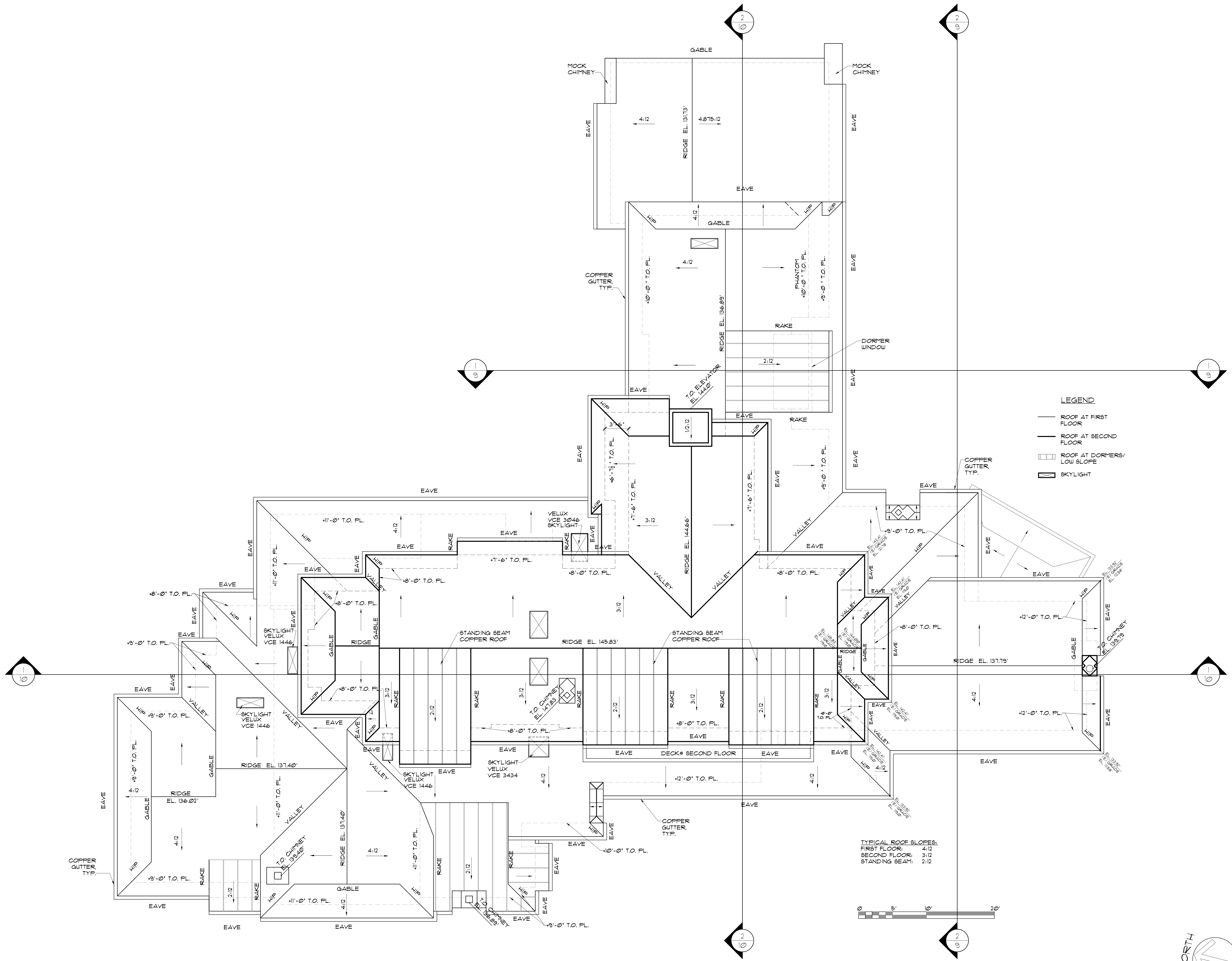
CALLE CHIQUITA RESIDENCE
 2326 CALLE CHIQUITA
 LA JOLLA, CA.

- DATE: DECEMBER 22, 2016
- REVISION: APRIL 24, 2017
- JUNE 01, 2017
- JULY 21, 2017 - CDP RESUBMITTAL
- DECEMBER 12, 2017 - CDP RESUBMITTAL
- MAY 07, 2018 - CDP RESUBMITTAL

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

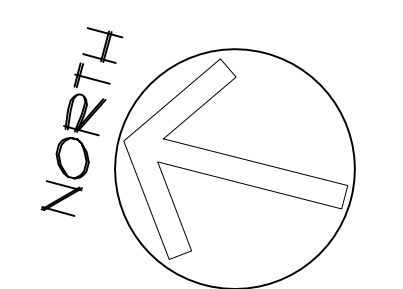
THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



LEGEND

- ROOF AT FIRST FLOOR
- ROOF AT SECOND FLOOR
- ROOF AT DORMERS/LOW SLOPE
- ▣ SKYLIGHT

TYPICAL ROOF SLOPES:
 FIRST FLOOR: 4:12
 SECOND FLOOR: 3:12
 STANDING SEAM: 2:12



ROOF PLAN
 3/16"=1'-0"

DUCHARME ARCHITECTURE
 LAURA DE CHARME CONROY ALA ARCHITECT
 7742 BERKELEY AVENUE, SUITE # 1A, DALLAS, TEXAS 75237
 PHONE: 972.414.1215 FAX: 972.414.1217

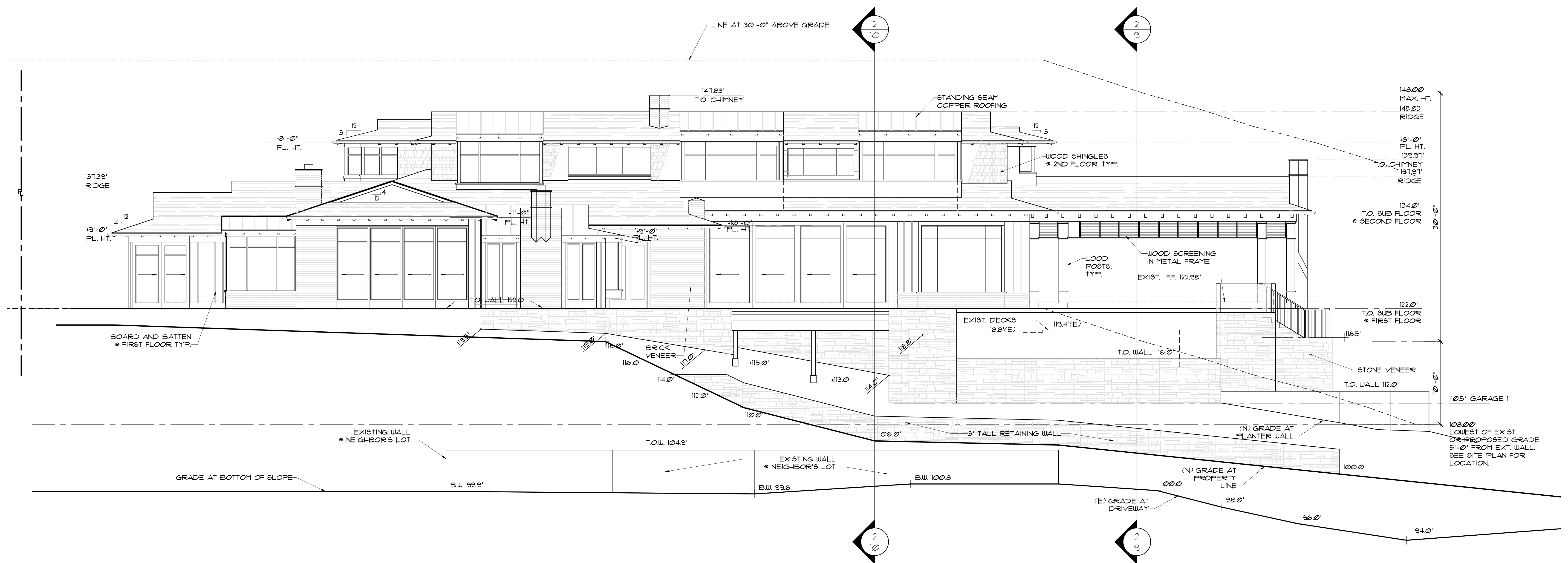
CALLE CHIQUITA RESIDENCE
 2326 CALLE CHIQUITA
 LA JOLLA, CA.

DATE: DECEMBER 22, 2016
 REVISION: APRIL 24, 2017
 JUNE 01, 2017
 JULY 21, 2017 - CDP RESUBMITTAL
 DECEMBER 12, 2017 - CDP RESUBMITTAL
 MAY 07, 2018 - CDP RESUBMITTAL

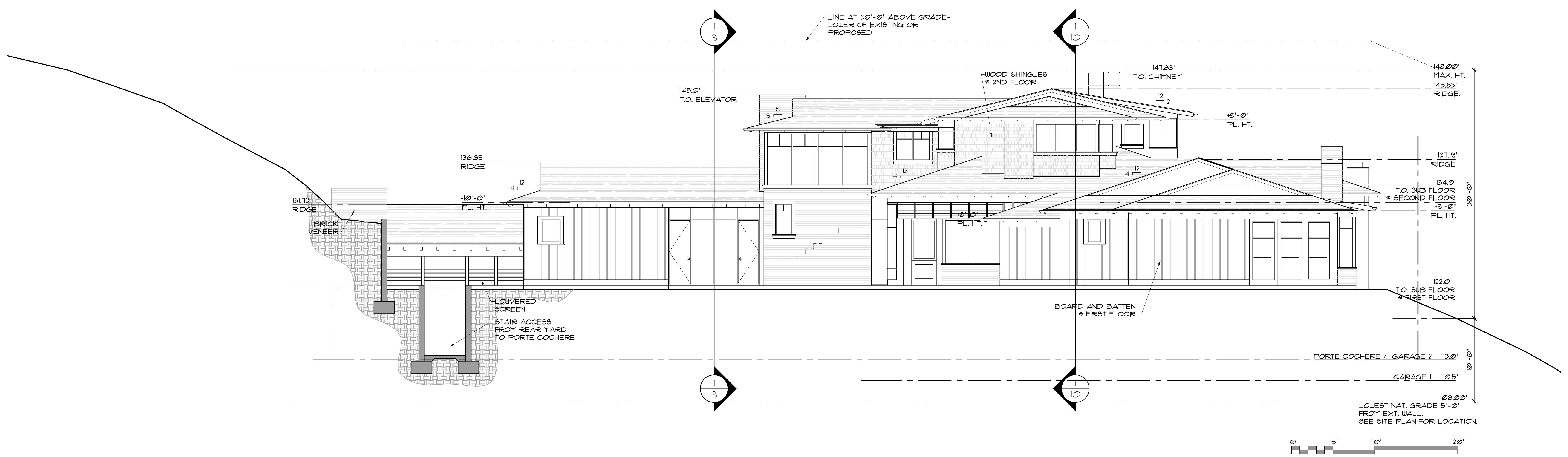
ROOF PLAN

SCALE: 3/16" = 1'-0"

THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



WEST ELEVATION
3/16" = 1'-0"



NORTH ELEVATION
3/16" = 1'-0"



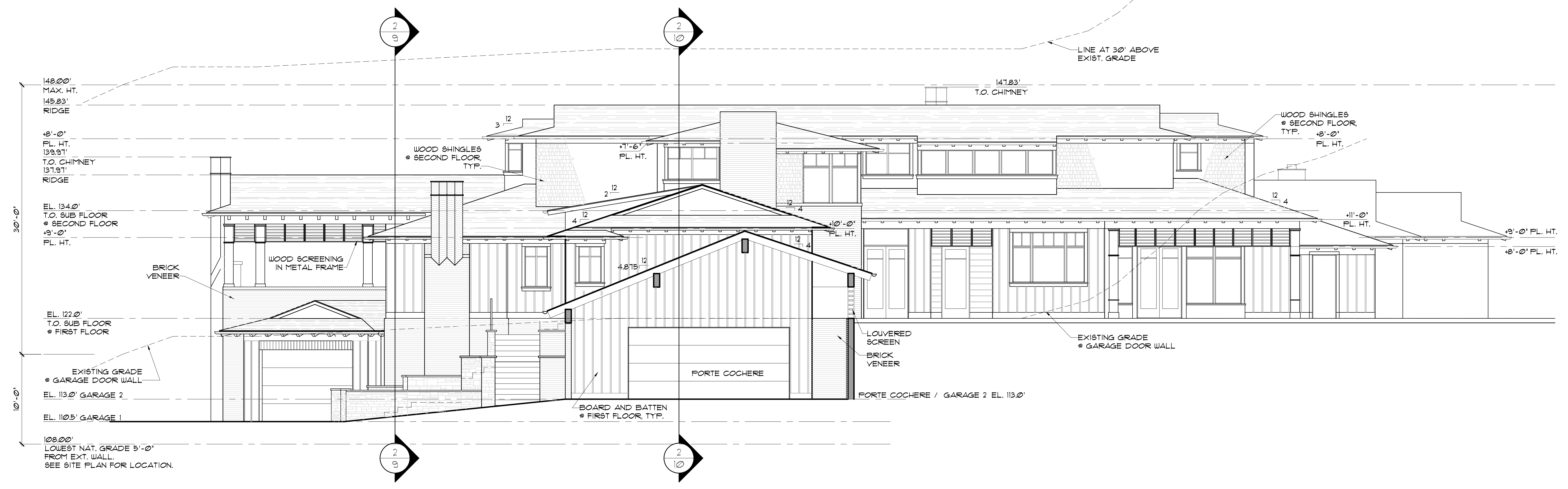
CALLE CHIQUITA RESIDENCE
2326 CALLE CHIQUITA
LA JOLLA, CA.

DATE:	DECEMBER 22, 2016
REVISION:	APRIL 24, 2017
	JUNE 01, 2017
	JULY 21, 2017 - CDP RESUBMITTAL
	DECEMBER 12, 2017 - CDP RESUBMITTAL
	MAY 07, 2018 - CDP RESUBMITTAL

ELEVATIONS

SCALE: 3/16" = 1'-0"

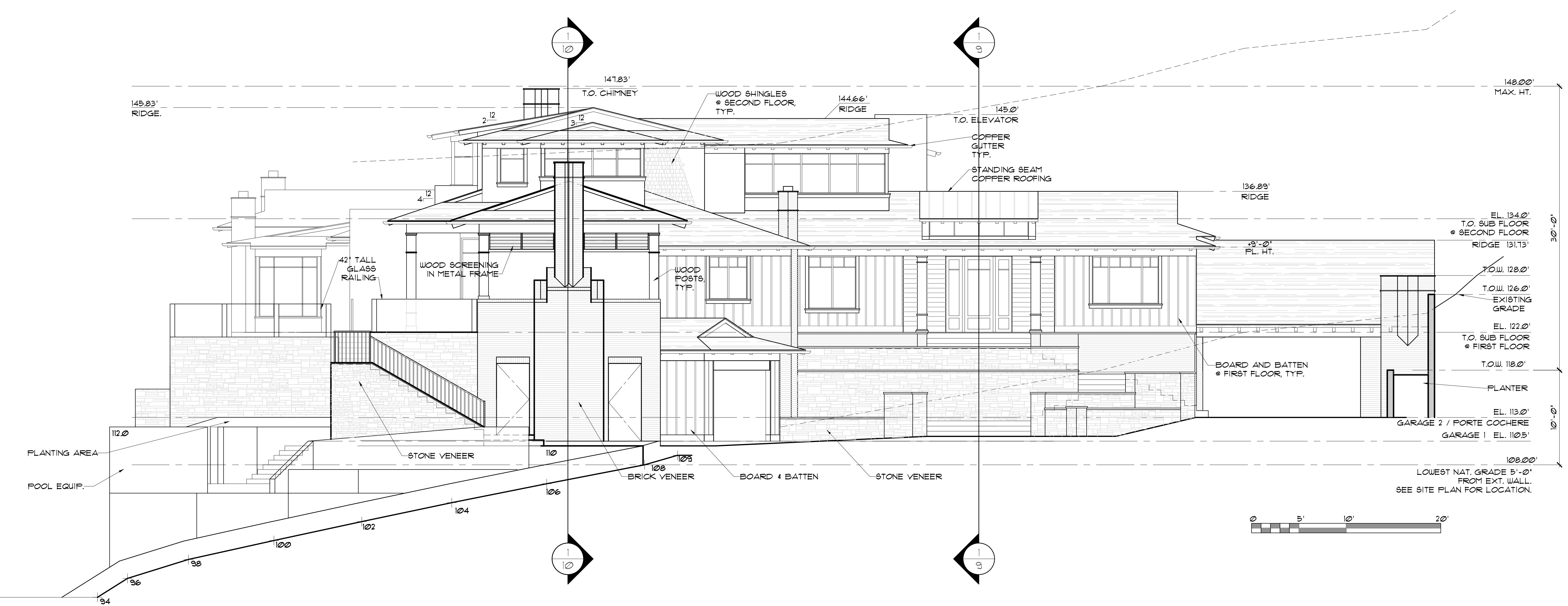
THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



EAST ELEVATION

3/16"=1'-0"

1



SOUTH ELEVATION

3/16"=1'-0"

2



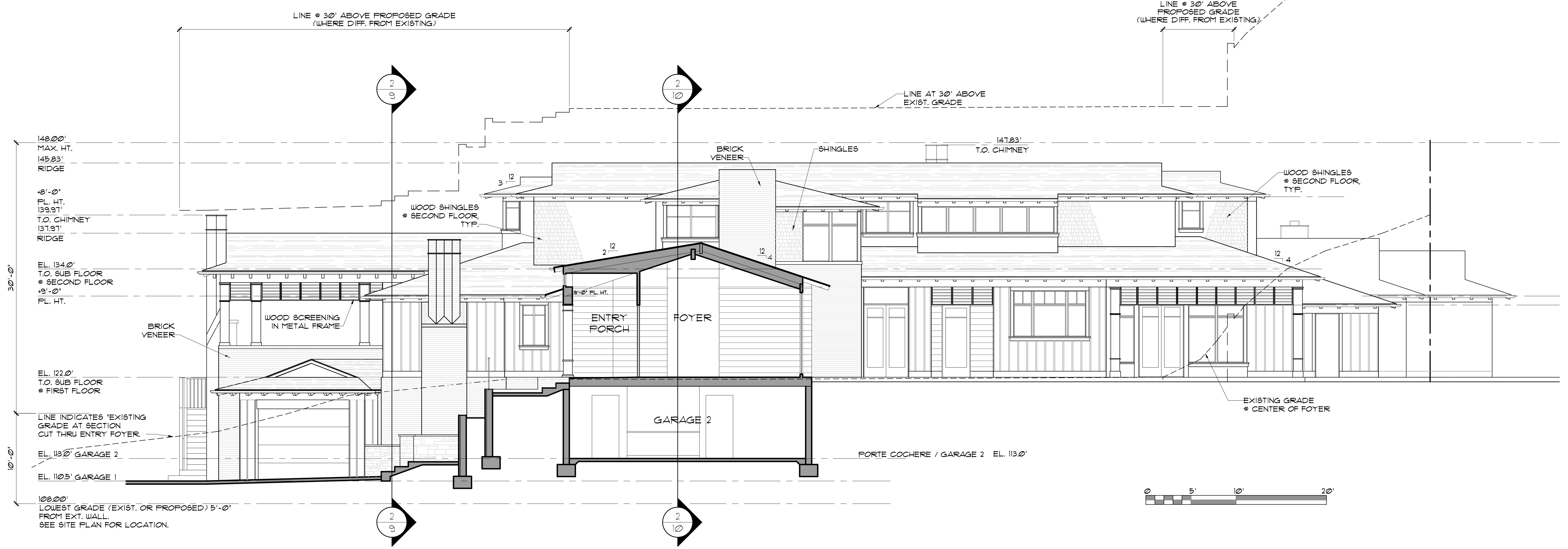
CALLE CHIQUITA RESIDENCE
2326 CALLE CHIQUITA
LA JOLLA, CA.

DATE: DECEMBER 22, 2016
REVISION: APRIL 24, 2017
JUNE 01, 2017
JULY 21, 2017 - CDP RESUBMITTAL
DECEMBER 12, 2017 - CDP RESUBMITTAL
MAY 07, 2018 - CDP RESUBMITTAL

ELEVATIONS

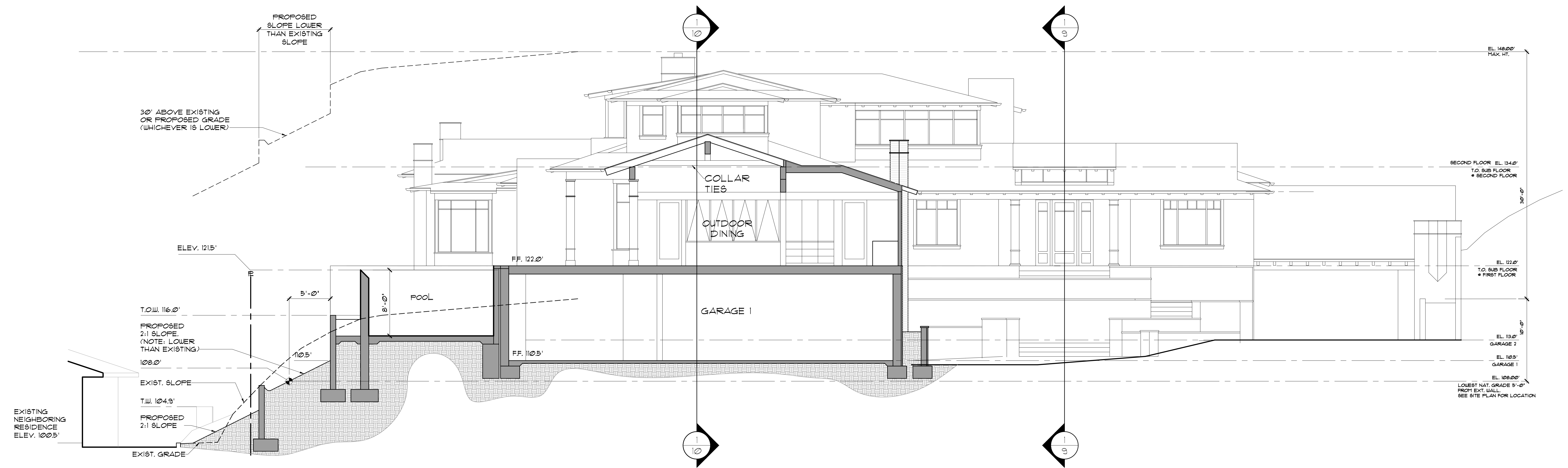
SCALE: 3/16" = 1'-0"

THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



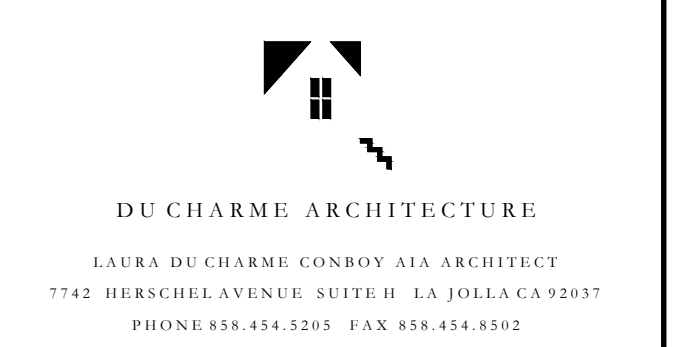
EAST ELEVATION @ FOYER
3/16" = 1'-0"

1



SECTION @ POOL, OUTDOOR DINING
3/16" = 1'-0"

2



CALLE CHIQUITA RESIDENCE
2326 CALLE CHIQUITA
LA JOLLA, CA.

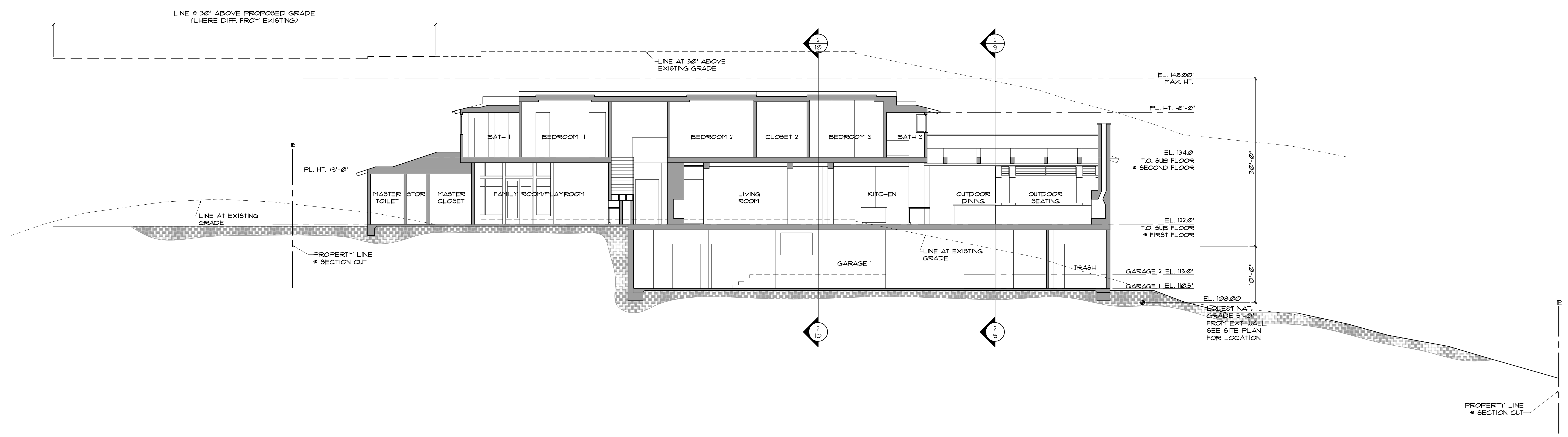
DATE: DECEMBER 22, 2016
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JULY 21, 2017 - CDP RESUBMITTAL
DECEMBER 12, 2017 - CDP RESUBMITTAL
MAY 07, 2018 - CDP RESUBMITTAL

ELEVATIONS

SCALE: 3/16" = 1'-0"

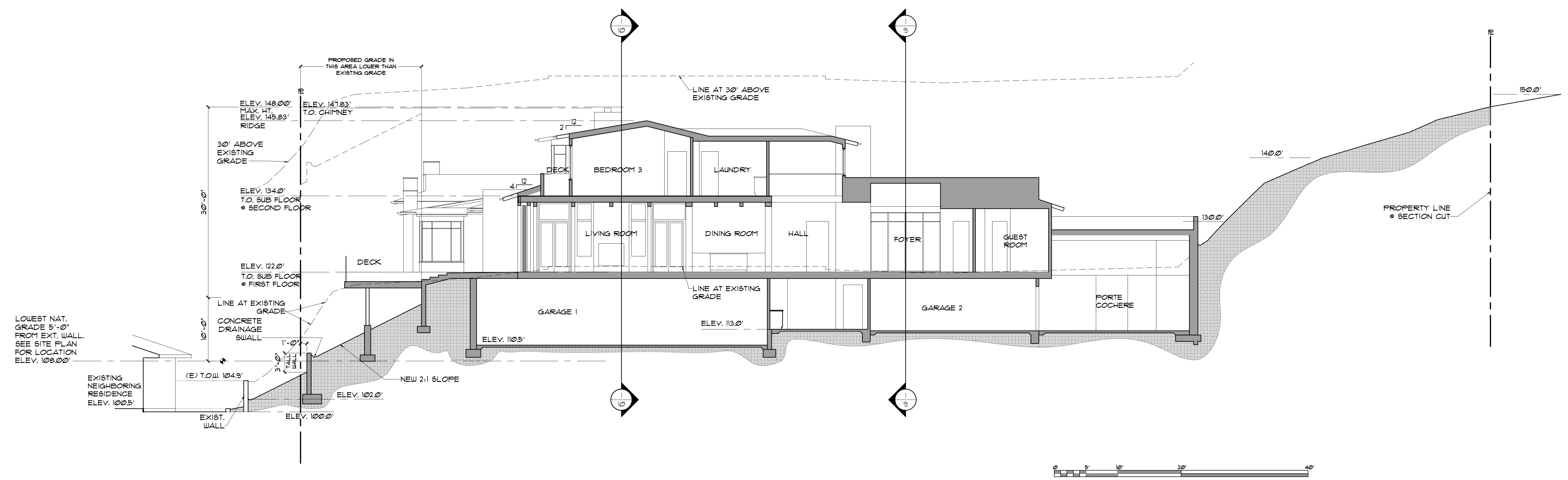
9 of 16

THE PROPERTY IS LOCATED WEST OF INTERSTATE HIGHWAY 5. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30 FEET ABOVE GRADE.



SITE SECTION
1/8" = 1'-0"

1



SITE SECTION
1/8" = 1'-0"

2

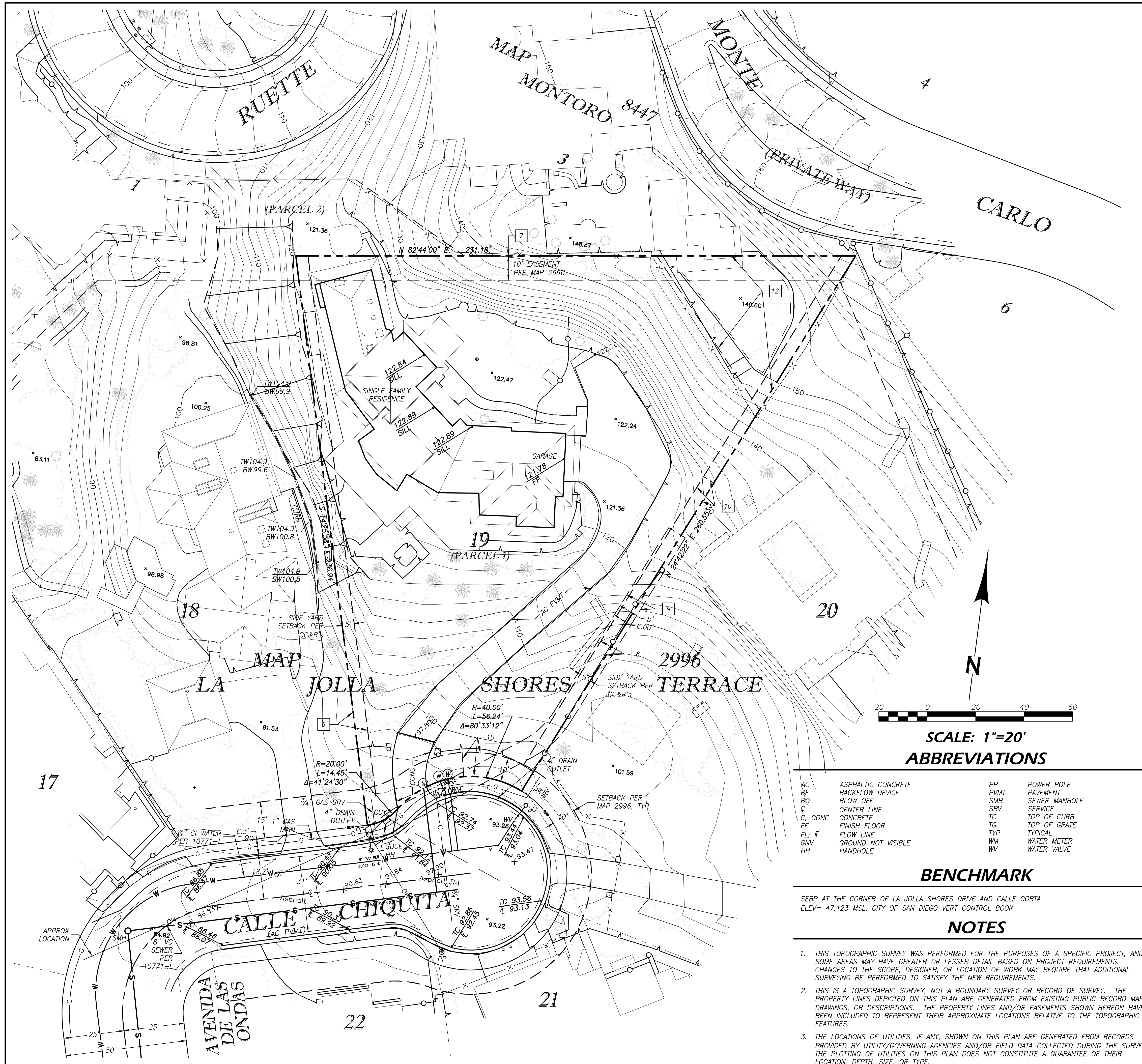


CALLE CHIQUITA RESIDENCE
2326 CALLE CHIQUITA
LA JOLLA, CA.

DATE:	DECEMBER 22, 2016
REVISION:	APRIL 24, 2017
	JUNE 01, 2017
	JULY 21, 2017 - CDP RESUBMITTAL
	DECEMBER 12, 2017 - CDP RESUBMITTAL
	MAY 07, 2018 - CDP RESUBMITTAL

SITE SECTIONS

SCALE: 1/8" = 1'-0"



LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		N45°45'45"W
STREET CENTERLINE		—
PROPERTY LINE - OFFSITE		100.00 x 100.00
SPOT ELEVATION		100.00
P.C.C. ROLLED CURB & GUTTER		FC HIGHER SIDE
RETAINING WALL		90
CONTOUR		90
FENCE		x
BRUSHLINE / TREE CANOPY		PP
POWER POLE		PP
WATER VALVE		W
STREET LIGHT		SL
BUILDING FOOTPRINT W/ ROOF LINES		BF
TREE: PALM		P
BLOCK WALL		BW
WATER SERVICE		W
SEWER SERVICE		S
WATER METER		WM
POLE OR POST		P
GAS MAIN		G
WATER MAIN		W
SEWER MAIN		S
OVERHEAD UTILITIES		OH

LEGAL DESCRIPTION

BEING 2 PARCELS COMPRISED OF:
 PARCEL 1: LOT 19 OF LA JOLLA SHORES TERRACE, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, ACCORDING TO MAP NO. 2996, FILED IN THE COUNTY RECORDER OFFICE, MAY 19, 1953 AND
 PARCEL 2: AN EXCLUSIVE EASEMENT IN THAT PORTION OF LOT 3 OF MONTE, ACCORDING TO MAP NO. 8447, DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 3; THENCE N 31°13'36" W ALONG THE WEST LINE 31.47'; THENCE N 83°13'36" E 62.30'; THENCE S 61°41'44" E 54.67' TO THE SOUTH LINE OF LOT 3; THENCE S 83°13'36" W ALONG SAID LINE 108.86' TO THE POINT OF BEGINNING.
 APN: 346-110-07

EASEMENTS

- THIS SURVEY WAS PREPARED WITH PRELIMINARY TITLE REPORT BY AMERICAN TITLE CO., ORDER NO. DIV-4352319, DATED MARCH 26, 2013. EXCEPTION/EASEMENTS AFFECTING THE PROPERTY PER THE REPORT ARE IDENTIFIED BELOW:
- CC&R's AND EASEMENTS IN DOC. REC. AUGUST 10, 1953 AS BOOK 4949, PAGE 72 OF O.R. AND DOC. DECLARING MODIFICATIONS THEREOF REC. OCTOBER 08, 1953 AS BOOK 5011, PAGE 518 OF O.R.
 - CC&R's AND EASEMENTS IN THE DOC. REC. AS BOOK 5004, PAGE 482 OF O.R. (DOC(S) DECLARING MODIFICATIONS THEREOF REC. JANUARY 23, 1954 AS BOOK 5116, PAGE 586 AND OCTOBER 14, 1998 AS INSTR. NO. 98-661663 BOTH OF O.R.
 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, REC. DECEMBER 11, 1953 AS BOOK 5074, PAGE 453 OF O.R. IN FAVOR OF PACIFIC TELEPHONE & TELEGRAPH CO. (AT&T).
 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, REC. OCTOBER 03, 1957 AS BOOK 6776, PAGE 95 OF O.R. IN FAVOR OF SAN DIEGO GAS & ELECTRIC CO. (CANNOT BE PLOTTED PER DEED INFORMATION).
 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, REC. MARCH 23, 1976 AS INSTR. NO. 84216 OF O.R. IN FAVOR OF SAN DIEGO GAS & ELECTRIC CO.
 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, REC. SEPTEMBER 14, 1976 AS INSTR. NO. 299740 OF O.R. IN FAVOR OF PACIFIC TELEPHONE & TELEGRAPH CO. (AT&T).
 - THE TERMS & PROVISIONS CONTAINED IN THE DOC. ENTITLED "AGREEMENT REGARDING COVENANTS RUNNING WITH THE LAND" REC. DECEMBER 23, 1975 AS INSTR. NO. 363092 OF O.R. (CANNOT BE PLOTTED PER DEED INFORMATION).
 - AN EASEMENT FOR RIGHT OF WAY FOR EXCLUSIVE USE AND INCIDENTAL PURPOSES IN THE DOC. REC. AUGUST 11, 1981 AS INSTR. NO. 81-255054 OF O.R. FOR THE BENEFIT OF LOT 3, MAP 8447, MONTE.
 - THE TERMS AND PROVISIONS CONTAINED IN THE DOC. ENTITLED "DECLARATION OF COVENANTS FOR PUBLIC IMPROVEMENTS" REC. MARCH 03, 1992 AS INSTR. NO. 92-116379 OF O.R. (CANNOT BE PLOTTED PER DEED INFORMATION).
 - THE TERMS AND PROVISIONS CONTAINED IN THE DOC. ENTITLED "AGREEMENT REGARDING FURTHER EXTENSION OF THE CURB" REC. DECEMBER 31, 1997 AS INSTR. NO. 97-668326 OF O.R. (CANNOT BE PLOTTED PER DEED INFORMATION).
 - ANY EASEMENTS AND/OR SERVITUDES AFFECTING EASEMENT PARCEL(S) 2 HEREIN DESCRIBED.

SCALE: 1"=20'
ABBREVIATIONS

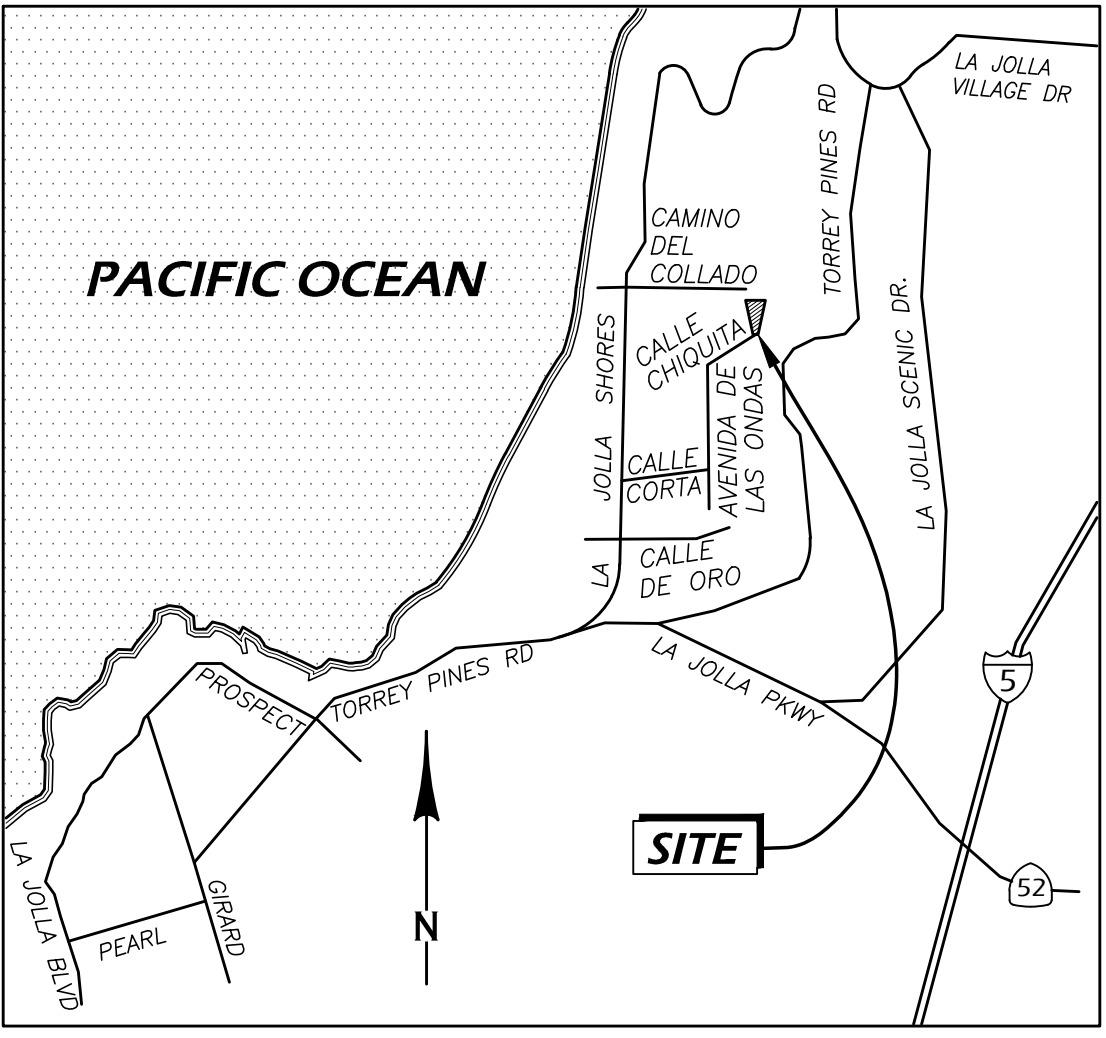
AC	ASPHALTIC CONCRETE	PP	POWER POLE
BF	BACKFLOW DEVICE	PVMT	PAVEMENT
BO	BLOW OFF	SMH	SEWER MANHOLE
CL	CENTER LINE	SRV	SERVICE
C	CONCRETE	TC	TOP OF CURB
FL	FINISH FLOOR	TG	TOP OF GRATE
FF	FINISH FLOOR	TYP	TYPICAL
GNV	GROUND NOT VISIBLE	WM	WATER METER
HH	HANDHOLE	WV	WATER VALVE

BENCHMARK

SEBP AT THE CORNER OF LA JOLLA SHORES DRIVE AND CALLE CORTA
 ELEV= 47.123 MSL, CITY OF SAN DIEGO VERT CONTROL BOOK

NOTES

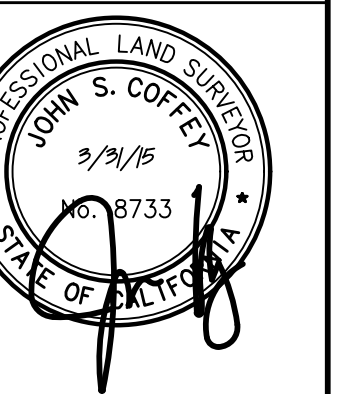
- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
- THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HERON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.



VICINITY MAP

THOMAS BROS. MAP 1227-H4
 NO SCALE

COFFEY ENGINEERING, INC.
 9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858)831-0111 FAX (858)831-0179



SESSA RESIDENCE
 2326 Calle Chiquita
 La Jolla, CA 92037

TOPOGRAPHIC SURVEY

DATE OF SURVEY: 02/27/15 SURVEY CHIEF: MATT STASK

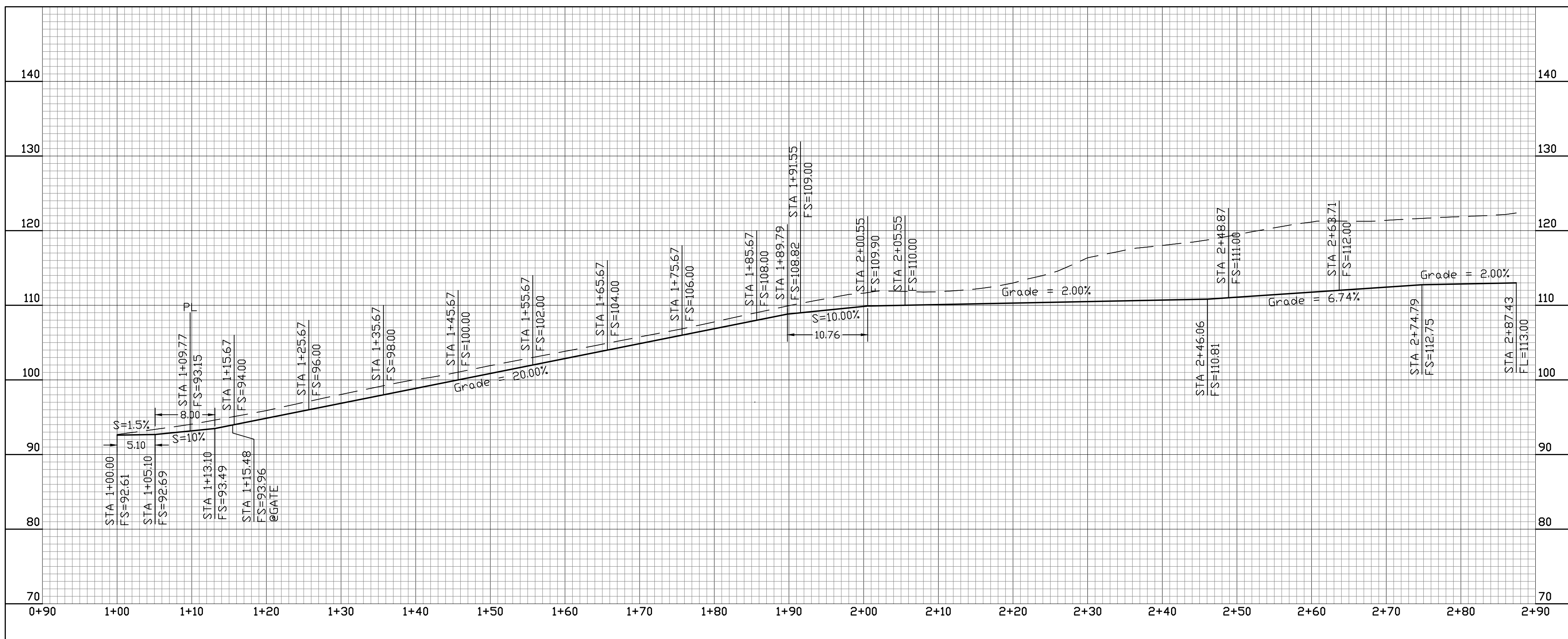
DRAWN BY:	DTK
CHECKED BY:	JSC
ORIGINAL	03/24/15
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

TOPOGRAPHIC MAP

SCALE: 1"=20'

C.O.

SHT 1 OF 1 SHTS



OWNER:
SESSA FAMILY TRUST
2326 CALLE CHIQUITA
LA JOLLA, CALIFORNIA 92037

DEVELOPER:
MARCO SESSA DATE

PROJECT DATA:
SITE ADDRESS: 2326 CALLE CHIQUITA, LA JOLLA, CALIFORNIA 92037
APN: 346-110-000
EXISTING BUILDING: ONE SINGLE FAMILY
CONSTRUCTION DATE: 1980
CALIFORNIA / LAMBERT COORDINATES: 254-1681
NAD83 COORDINATES: 1894-6241

PROPOSED USE:
SINGLE FAMILY RESIDENCE

ZONING:
DESIGNATION: SF
PLANNED DISTRICT: LA JOLLA SHORES PLANNED DISTRICT
NUMBER OF PROPOSED LOTS: NA
TOTAL ACRES: 0.752 ACRES
OVERLAY ZONES:
COASTAL HEIGHT LIMIT (30' PROP. 0)
COASTAL (CITY)
PARKING IMPACT (COASTAL AND CAMPUS)

PROJECT DIRECTORY:
OWNER: SESSA FAMILY TRUST, 2326 CALLE CHIQUITA, LA JOLLA, CALIFORNIA 92037
ARCHITECT: DUCHARME ARCHITECTURE, LAURA DUCHARME CONROY, AM 7742 HERSCHEL AVENUE, SUITE H, LA JOLLA, CALIFORNIA 92037, 858-454-5205
CIVIL ENGINEER: JOHN COFFEY, 9666 BUSINESS PARK AVENUE, STE. 210, SAN DIEGO, CALIFORNIA 92131, 858-831-0111
LANDSCAPE ARCHITECT: THERESA CLARK TOLA STUDIO, 34202 SEPULVEDA AVENUE, CAPSTRANO BEACH, CALIFORNIA 92624, 949-248-5404
GEOTECHNICAL ENGINEER: TROY REIST / ROD MIKESSELL, GEOTECH INCORPORATED, 6000 FLANDERS DRIVE, SAN DIEGO, CALIFORNIA 92121, 858-558-6900

LEGAL DESCRIPTION:
LOT 19 OF LA JOLLA SHORES TERRACE, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, ACCORDING TO MAP NO. 2996, FILED IN THE COUNTY RECORDER'S OFFICE, MAY 19, 1953, AND AN EXCLUSIVE EASEMENT IN THAT PORTION OF LOT 3 OF MONTERO, ACCORDING TO MAP NO. 8447, DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 3, THENCE N 3° 13' 36" W ALONG THE WEST LINE 31.47'; THENCE N 83° 13' 36" E 62.30'; THENCE S 61° 41' 44" E 54.67' TO THE SOUTH LINE OF LOT 3, THENCE 83° 13' 36" W ALONG SAID LINE 108.86' TO THE POINT OF BEGINNING.

SOURCE OF TOPOGRAPHY:
AERIAL TOPOGRAPHY WITH SUPPLEMENTAL FIELD TOPO BY:
COFFEY ENGINEERING, INC.
9666 BUSINESS PARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
PHONE: (858) 831-0111, DATED 2/27/2015
JOHN S. COFFEY, LS 8733

EASEMENTS:
SEE SITE SURVEY PREPARED BY COFFEY ENGINEERING, DATED MARCH 24, 2015

BENCHMARK:
SETP AT THE CORNER OF LA JOLLA SHORES DRIVE AND CALLE CHIQUITA
ELEVATION: 47.123 MSL, DATUM: NAVD 83; CITY OF SAN DIEGO VERT CONTROL BOOK

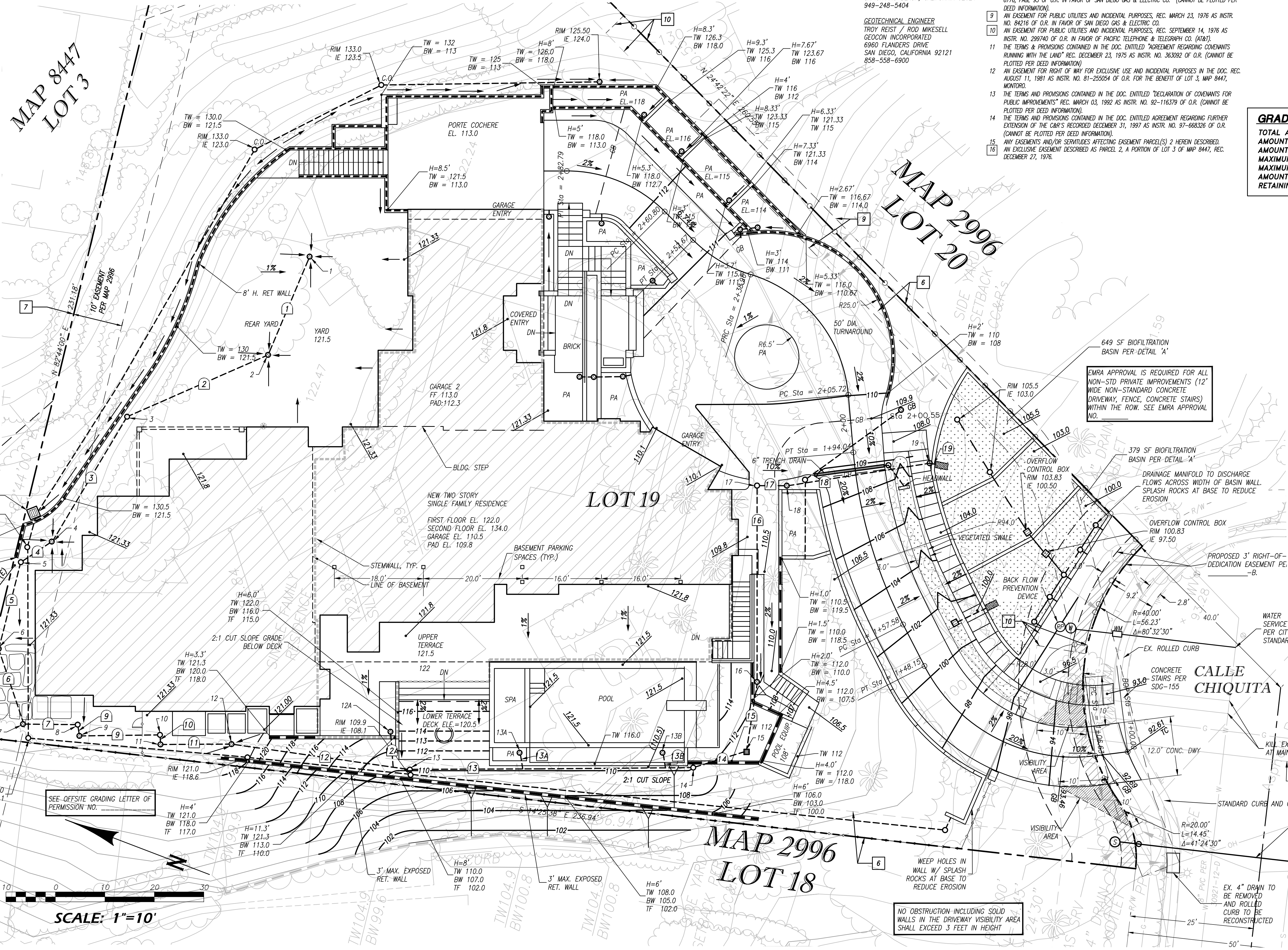
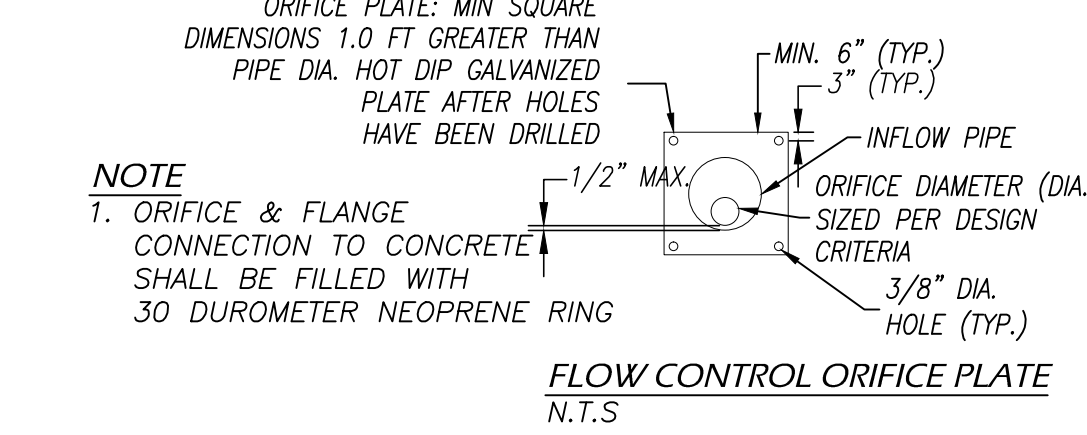
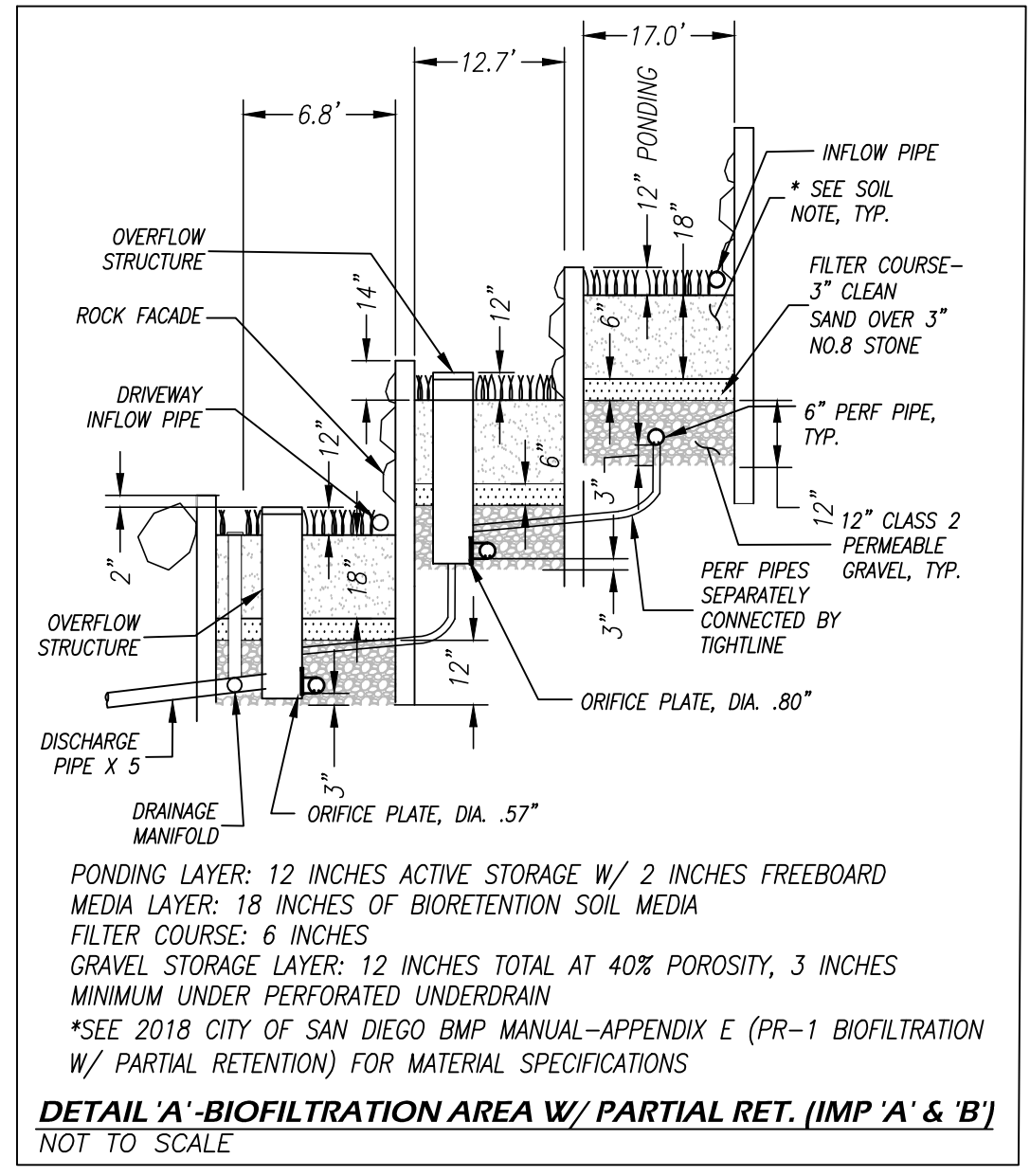
BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS PLAN IS THE WESTERLY LINE OF LOT 19 ACCORDING TO MAP 2996, I.E. S14°25'38"E.

LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		N45°45'45" W
ROW CENTERLINE		—E—
(E) SPOT ELEVATION		100.00
(P) SPOT ELEVATION		100.00
(P) BUILDING FOOTPRINT	(PER ARCHITECT)	[Symbol]
(P) DRAINAGE SWALE OR DIRECTION OF FLOW	(PER ARCHITECT)	[Symbol]
(P) PCC SURFACE	(PER ARCHITECT)	[Symbol]
(P) BIOFILTRATION BASIN		[Symbol]
(P) WATER SERVICE W/BACKFLOW DEVICE	SDW-149,-140,-155	[Symbol]
(P) 6" SEWER SERVICE	SDS-112,-105	[Symbol]
(P) CMU STEM WALL	(PER ARCHITECT)	[Symbol]
(P) FREE STANDING WALL	(PER ARCHITECT)	[Symbol]
(P) 2,100 SF CMU RETAINING WALL	(PER ARCHITECT)	[Symbol]
(E) 8" PVC WATER MAIN	30921-12-D	[Symbol]
(E) 8" V.C. SEWER MAIN	10771-L	[Symbol]

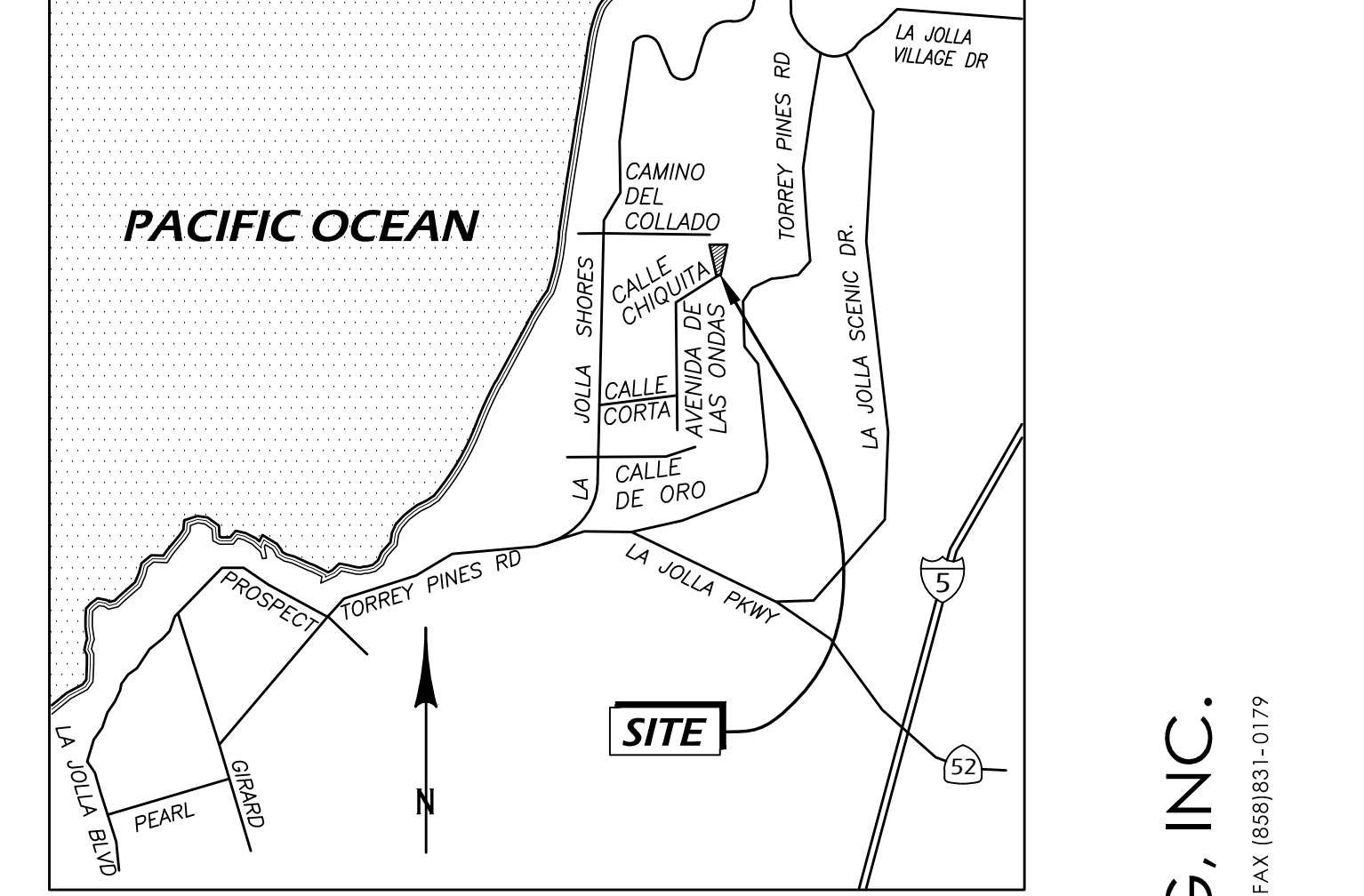
ABBREVIATIONS:

AC	ASPHALTIC CONCRETE	O.C.	ON CENTER
BW	(GRADE AT) BOTTOM OF WALL	PA; PLTR	PLANTING AREA; PLANTER
CL-E	CENTER LINE	PCC	PORTLAND CEMENT CONCRETE
CMU	CONCRETE MASONRY UNIT	PR (P)	PROPOSED
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE
DWY	DRIVEWAY	PVMT	PAVEMENT
EX(E)	EXISTING	SCD	SEWER CLEANOUT
FF	FINISH FLOOR	SD	STORM DRAIN
FL-E	FLOWLINE	TC	TOP OF CURB
H	HIGH	TW	TOP OF WALL
HP	HIGH POINT	TYP	TYPICAL
MAX	MAXIMUM	WM	WATER METER
MIN	MINIMUM		



GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:	0.54 ACRES	% OF TOTAL SITE:	71%
AMOUNT OF CUT:	3,700 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	13.3 FEET
AMOUNT OF FILL:	200 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	3.3 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	3 FEET	SLOPE RATIO:	5:1
MAXIMUM HEIGHT OF CUT SLOPE(S):	4 FEET	SLOPE RATIO:	5:1
AMOUNT OF IMPORT / EXPORT SOIL:	3,500 CUBIC YARDS	MAXIMUM HEIGHT:	17 FEET
RETAINING / CRIB WALLS:	LENGTH 550 FEET		



CIVIL ENGINEER / LAND SURVEYOR:
JOHN S. COFFEY, P.E., PLS
COFFEY ENGINEERING, INC.
9666 BUSINESS PARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
(858) 831-0111
FAX: (858) 831-0179

DATE: 5/11/18

JOHN S. COFFEY
RCE 0687716

DRAINAGE NOTE:

- THIS PROJECT WILL NOT DISCHARGE ANY INCREASED STORM WATER RUN-OFF ONTO EXISTING HILLSIDE AREAS.
- AT THE STORM DRAIN DISCHARGE LOCATION, A SUITABLE ENERGY DISSIPATOR IS TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATION.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

CITY OF SAN DIEGO, CALIFORNIA	
COASTAL DEVELOPMENT PERMIT	
CALLE CHIQUITA RESIDENCE	ORIGINAL 7/24/17 12/12/17 5/07/18
2326 Calle Chiquita La Jolla, CA 92037	
GRADING PLAN C.1	
DRAWN BY: GC	CHECKED BY: FR
SHEET 1 OF 1	

COFFEY ENGINEERING, INC.
 9666 BUSINESS PARK AVENUE, SUITE 210, SAN DIEGO, CA 92131
 PH: (858) 831-0111 FAX: (858) 831-0179

HARDSCAPE LEGEND

SYM.	ITEM	MATERIAL/ COLOR	FINISH	SOURCE
A	DRIVEWAY	COLOR CONCRETE/MESA BEIGE, COYOTE GOLD	CRUSH STONE SEEDED AGGREGATE	
B				
C				
D	DRIVE GATE PILASTER CAP	PRECAST/LIMESTONE		
E	MOTORCOURT	COBBLE/SAN JUAN	NATURAL	MBS
G	ENTRY WALK	CUT STONE/BRITANNIA		EUR
H	ENTRY PILASTER CAP	PRECAST/LIMESTONE		EUR
I	SOUTH ACCESS WALK	CUT STONE/BRITANNIA	HONED	EUR
J	POOL TERRACE	CUT STONE/BRITANNIA	HONED	EUR
K	UTILITY WALK	COLOR CONCRETE/MESA BEIGE	RETARDANT #3	
L	POOL EQUIPMENT	CONCRETE/NATURAL	BROOM	
M	POOL COPING	CUT STONE/BRITANNIA	HONED	EUR
N				
O	POOL AND SPA INTERIOR	PEBBLESHEEN/WHITE		
P				
Q	FIRE PATIO	IFE/NATURAL	NATURAL	
R	WEST WALK	CUT STONE/BRITANNIA	HONED	EUR
S	LANTERN PATIO	CUT STONE/BRITANNIA	HONED	EUR
T	EXERCISE PATIO - SANDSET	STONE SLAB/BLUESTONE SELECT	NATURAL	MBS
U	EXERCISE STEPSTONE	CUT STONE/BLUESTONE SELECT	NATURAL	MBS
V				
W	HEADER	REDWOOD/NATURAL	HONED	EUR
X	EAST STEPPER AND ENTRY	CUT STONE/BRITANNIA	HONED	EUR
Y	UPPER MOTORCOURT	COLOR CONCRETE/MESA BEIGE	RETARDANT #3	
Z				
a				
b				
c				
d				
e				
f	POOL SPILL TROUGH	PEBBLESHEEN/WHITE		
g	NORTH ACCESS LANDING	COLOR CONCRETE/MESA BEIGE	RETARDANT #3	
h	PEDESTRIAN ENTRY	COLOR CONCRETE/MESA BEIGE, COYOTE GOLD	3/8"-1/4" CRUSH STONE SEEDED AGGREGATE	

SYM.	ITEM	MATERIAL/ COLOR	FINISH	SOURCE
AA	DRIVE GATE PILASTER	CMU, STONE/COUNTRY COTTAGE	NATURAL	MBS
BB	SOUTH FENCE	IRON/OIL RUBBED BRONZE	PAINTED	
CC	DRIVE GATE	IRON AND WOOD/SEE DETAIL	NATURAL	
DD	DRIVE RETAINING WALL	CMU, STONE/COUNTRY COTTAGE	NATURAL	MBS
EE	ORCHARD WALK STAIR RISER	COBBLE/SAN JUAN	NATURAL	
FF	ORCHARD WALK GATE	IRON/OIL RUBBED BRONZE	PAINTED	
HH	ENTRY STAIR	CUT STONE/		
II	ENTRY PLANTER WALLS	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
JJ	ENTRY PILASTER	CMU, STONE/		
KK	SOUTH ACCESS STAIR	COLOR CONCRETE/MESA BEIGE		
LL	SOUTH ACCESS WALL	CMU, STONE/MATCH ARCH	MATCH ARCH	
MM	POOL EQUIPMENT WALLS	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
NN	UTILITY GATE	WOOD/MATCH ARCH TRIM	MATCH ARCH TRIM	
OO				
PP	PLANTER RAILING 42"H	GLASS/IN STAINLESS STEEL CHANNEL	CLEAR	
QQ	POOL AND SPA WATERLINE	PORCELAIN/MATCH STONE J		
RR	POOL SPILL WALL AND CAP	PORCELAIN/MATCH STONE J		
SS	SPA SPILL WALL AND CAP	PORCELAIN/MATCH STONE J		
TT	POOL SPILL TROUGH WALL	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
UU	POOL SPILL TROUGH CAP	PRECAST/LIMESTONE		
VV	POOL SPILL TROUGH CAP	PRECAST/LIMESTONE		
WW	FIRE ELEMENT	CARVED STONE/		
XX	FIRE RAILING 42"H	IRON/OIL RUBBED BRONZE	PAINTED	
YY	LANTERN TRILLIS CABLE AND POST	STAINLESS STEEL AND IRON/OIL RUBBED BRONZE	PAINTED POST	
ZZ				
AZ				
BZ				
CZ	EXERCISE GATE	IRON/OIL RUBBED BRONZE	PAINTED	
DZ				
EZ	NORTH GARDEN WALL	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
FZ	NORTH ACCESS STAIR	COLOR CONCRETE/MESA BEIGE		
GZ	NORTH ACCESS RAIL 42"H	IRON/OIL RUBBED BRONZE	PAINTED	
HZ				
IZ	WATER ELEMENT	SEE DETAIL		
JZ				
KZ	UPPER MOTORCOURT WALL	CMU, STUCCO/MATCH ARCH	MATCH ARCH	
LZ				
MZ				
NZ				
OZ				
PZ				
QZ	GARDEN WALL	12" BOULDER/BAJA BLONDE	DRYSTACK	KRC
RZ	PERIMETER FENCE AND GATE 5'H	IRON/OIL RUBBED BRONZE	PAINTED	
SZ	POOL TERRACE STAIR TREAD AND RISER	CUT STONE/BRITANNIA	HONED	
TZ	SOUTH ACCESS STAIR RAIL	IRON/OIL RUBBED BRONZE	PAINTED	
UZ				
VZ				
WZ	DECORATIVE CONTAINER	TBS		
XZ	MOTORCOURT PILASTER	CMU, STONE/COUNTRY COTTAGE	NATURAL	
YZ	6" DIVING BOARD	PER POOL CONTRACTOR		
AZ	UPPER GARAGE DRIVE PILASTER	CMU, STONE/		

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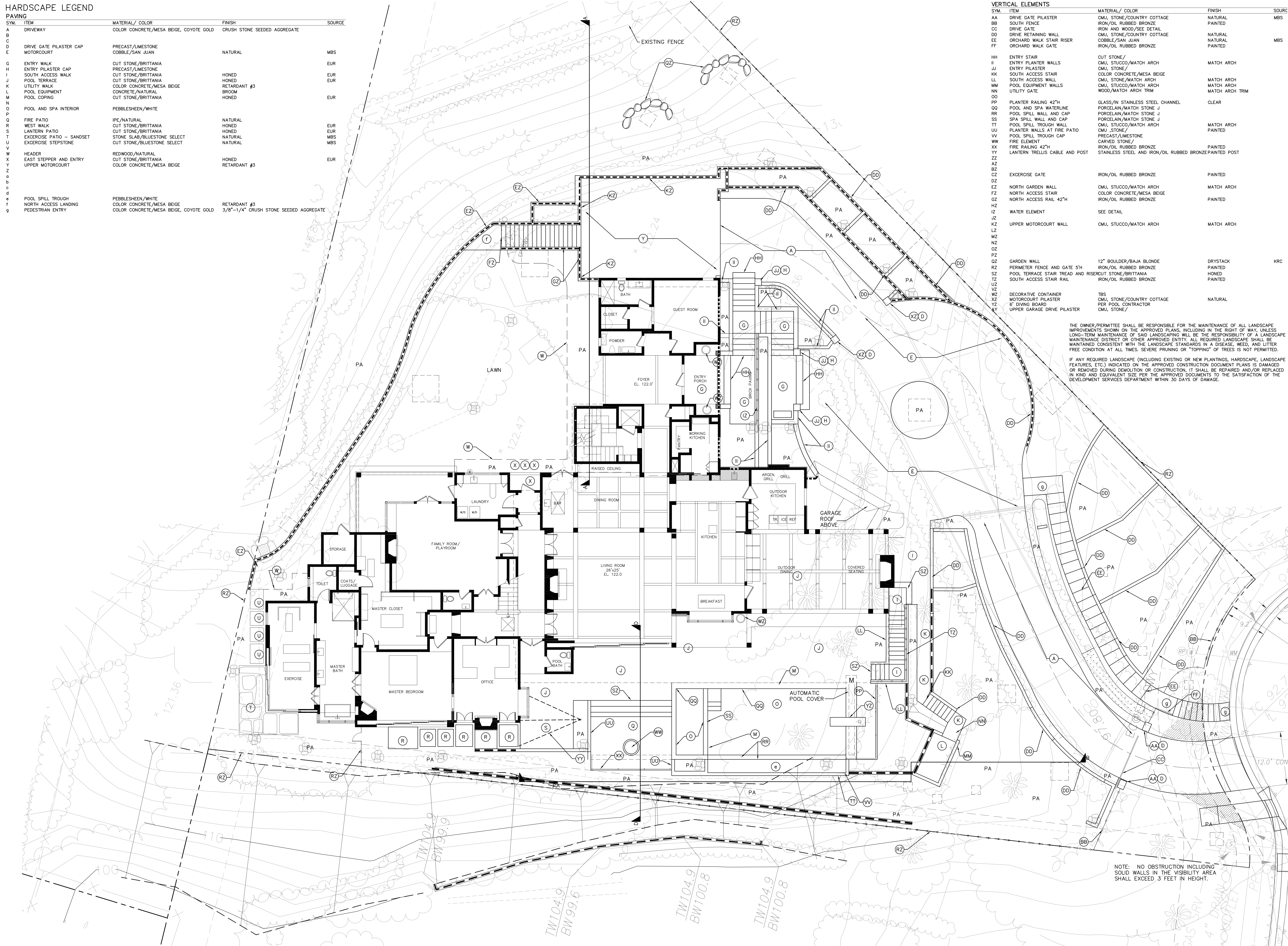
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TERESA CLARK LANDSCAPE ARCHITECT

Calle Chiquita Residence
2326 Calle Chiquita
La Jolla, CA 92037

THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT OF WAY, UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED CONSISTENT WITH THE LANDSCAPE STANDARDS IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED.

IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED THROUGH DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.



Date: 5.7.18

Revisions: Date:
City Submittal 7.21.17
City Submittal 12.12.17



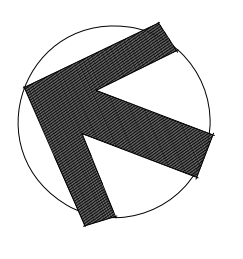
Job Number: 1604

Drawn By: /TC

Sheet Title:
Material Layout Plan

City Submittal
Scale: 1/8"=1'-0"

Sheet Number: L1.1



NOTE: NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.



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TERESA CLARK LANDSCAPE ARCHITECT

Calle Chiquita Residence
2326 Calle Chiquita
La Jolla, CA 92037

Date: 5.7.18

Revisions: Date:
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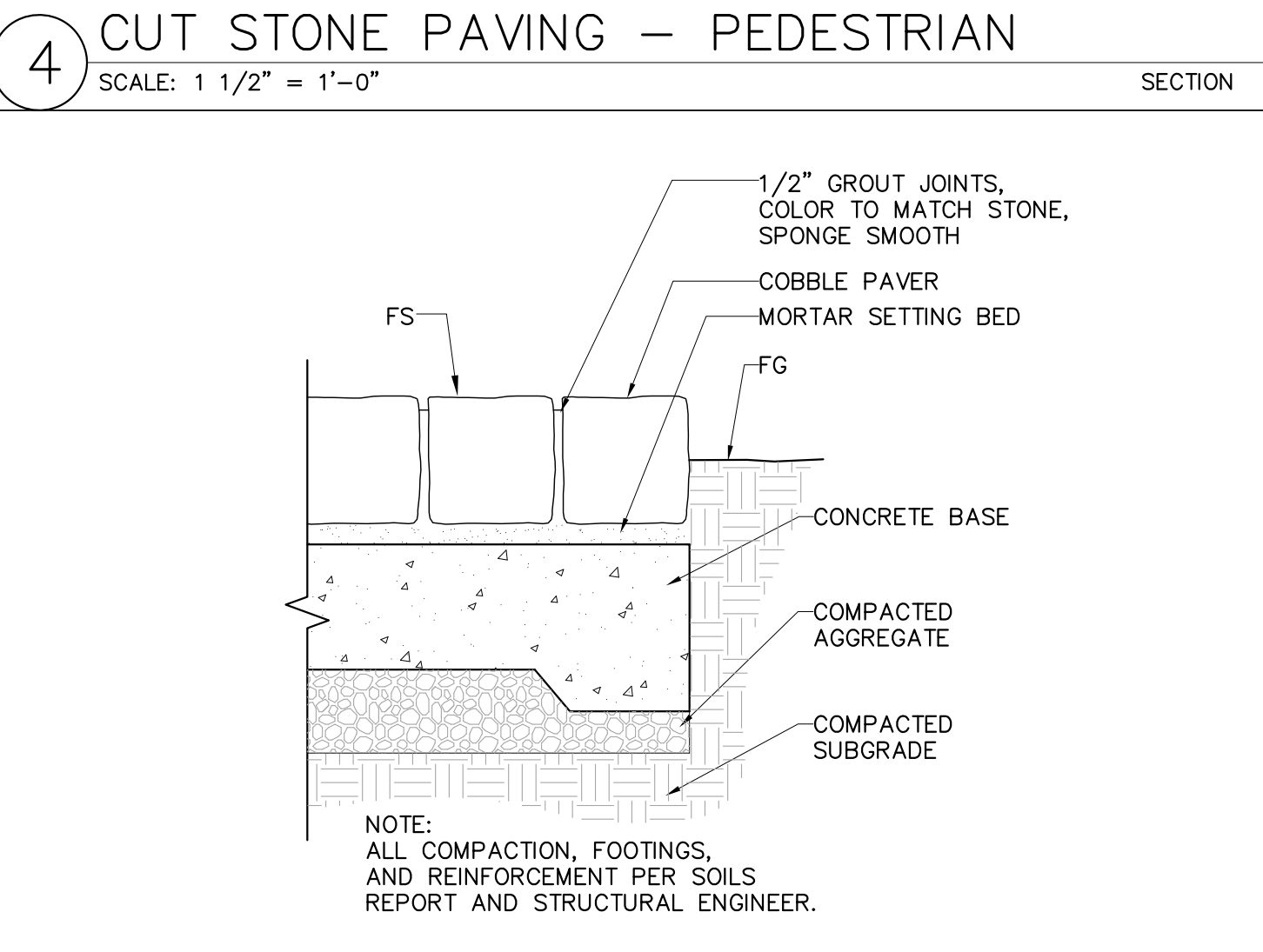
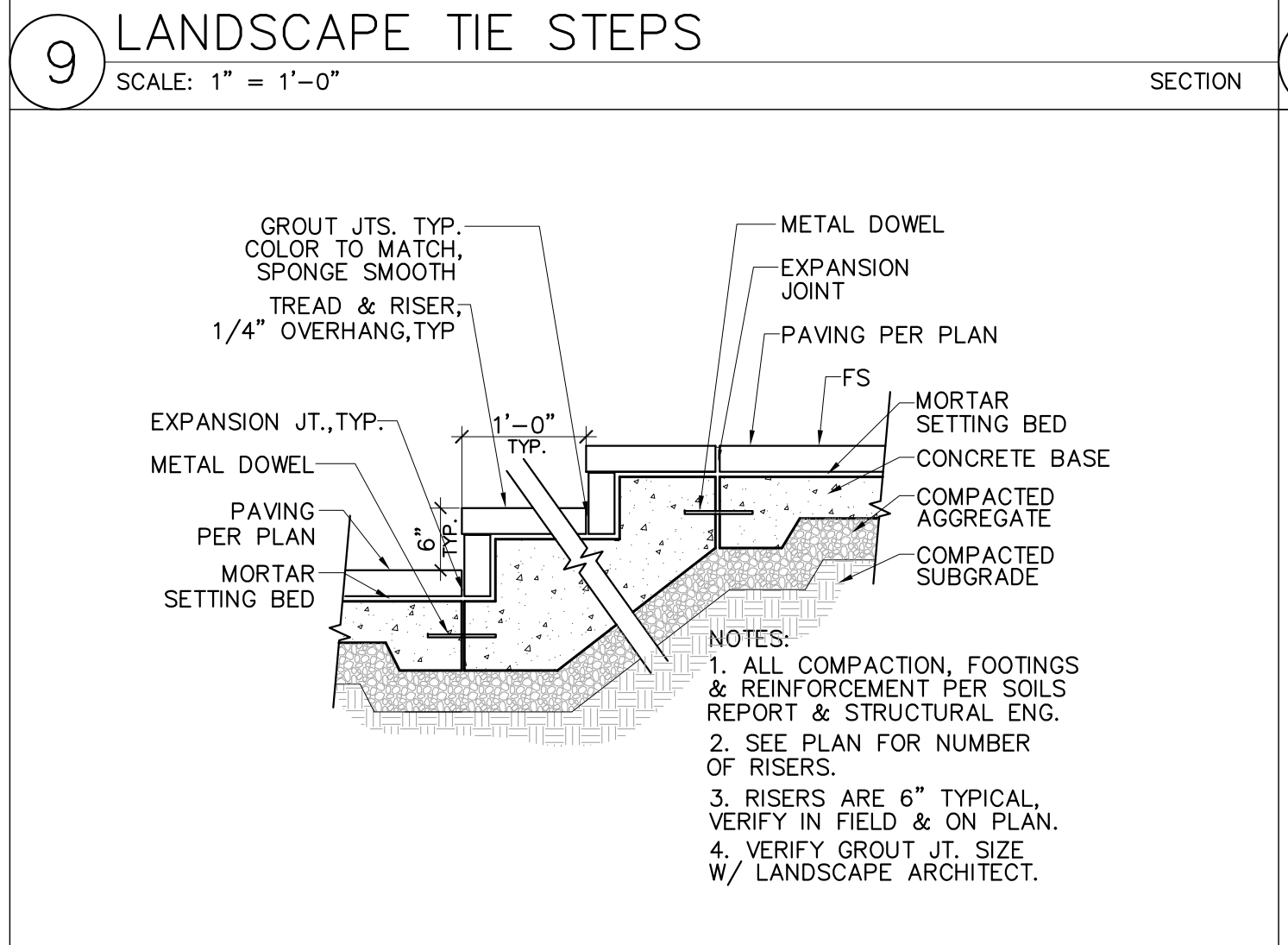
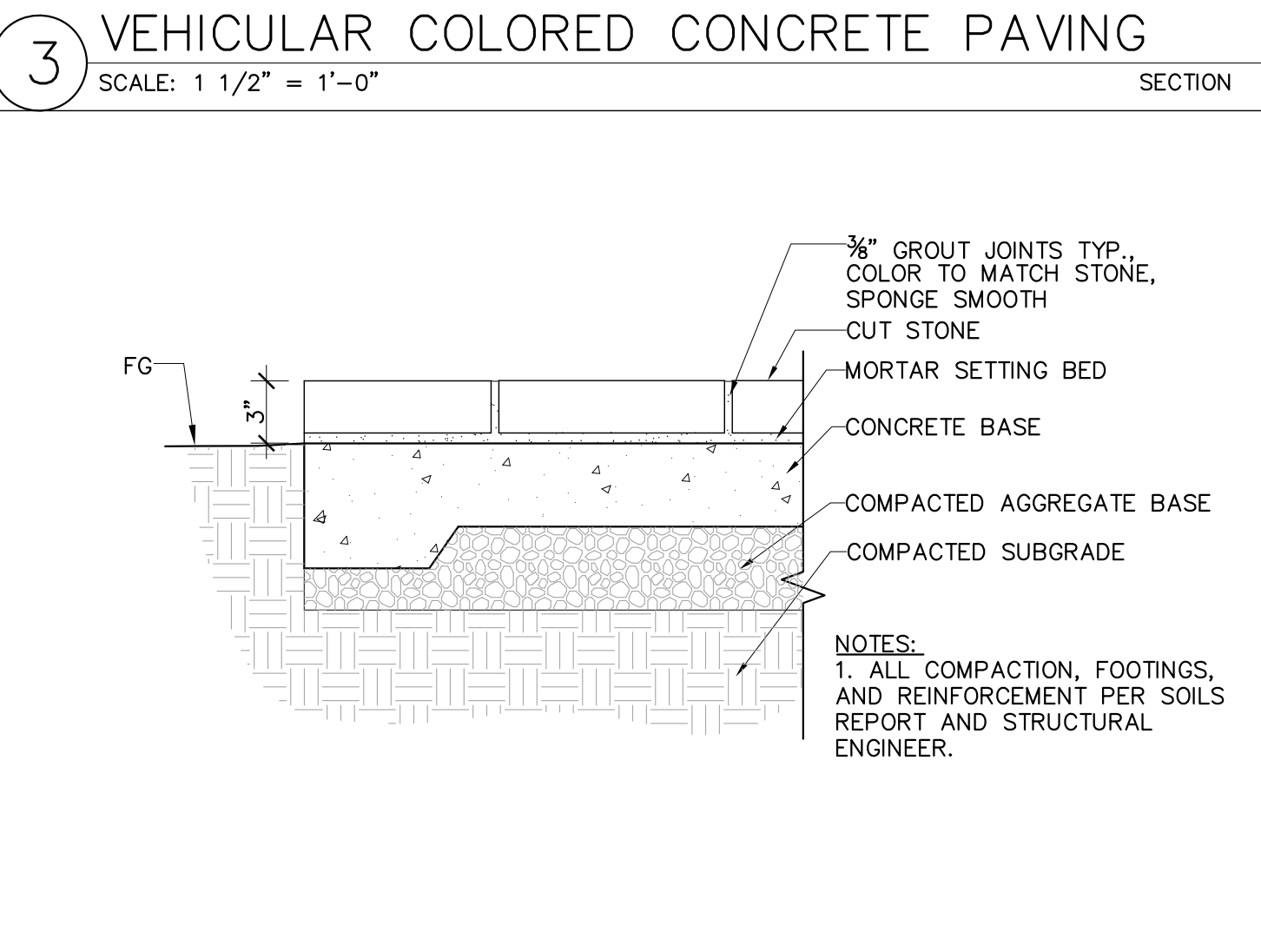
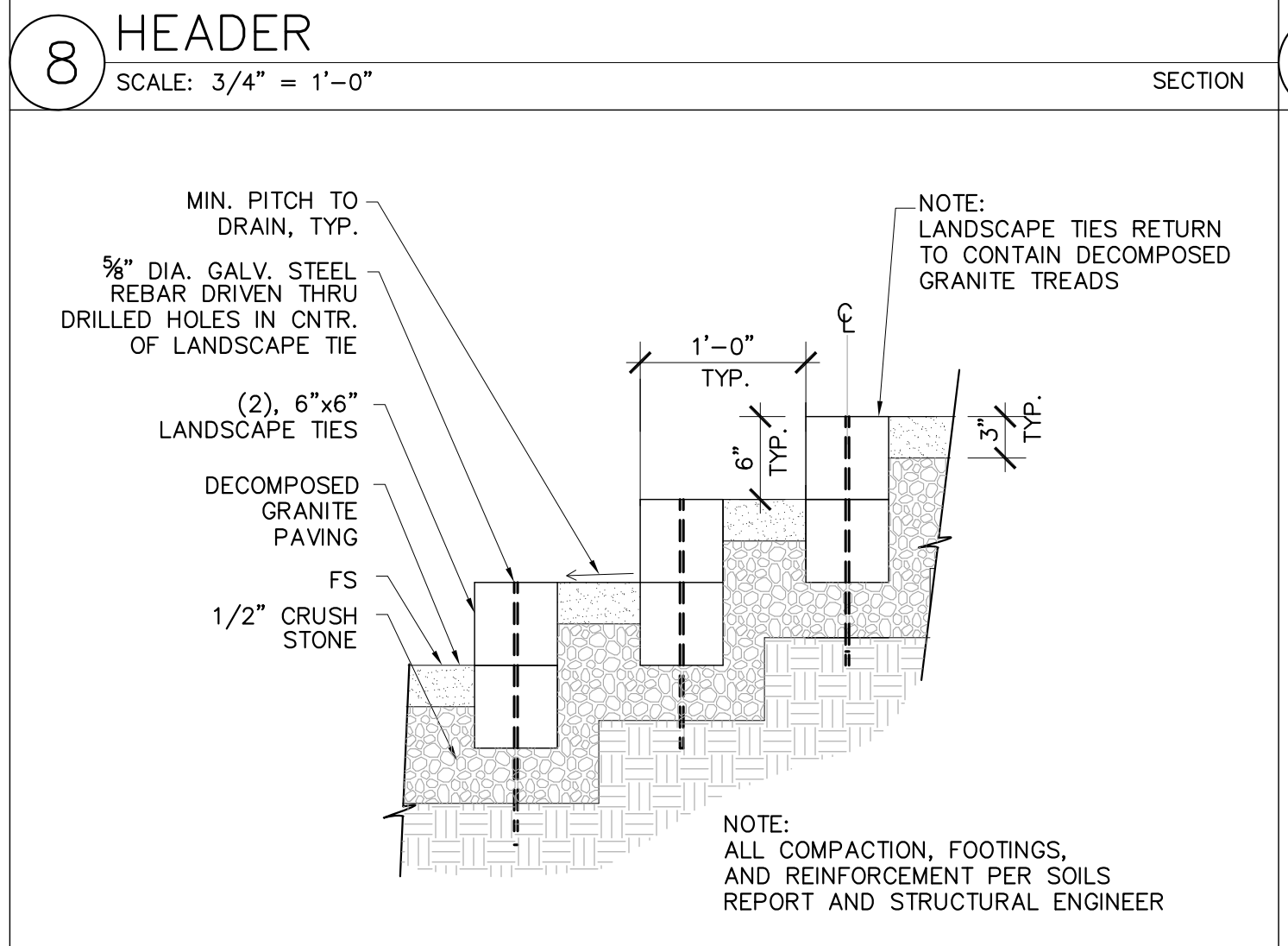
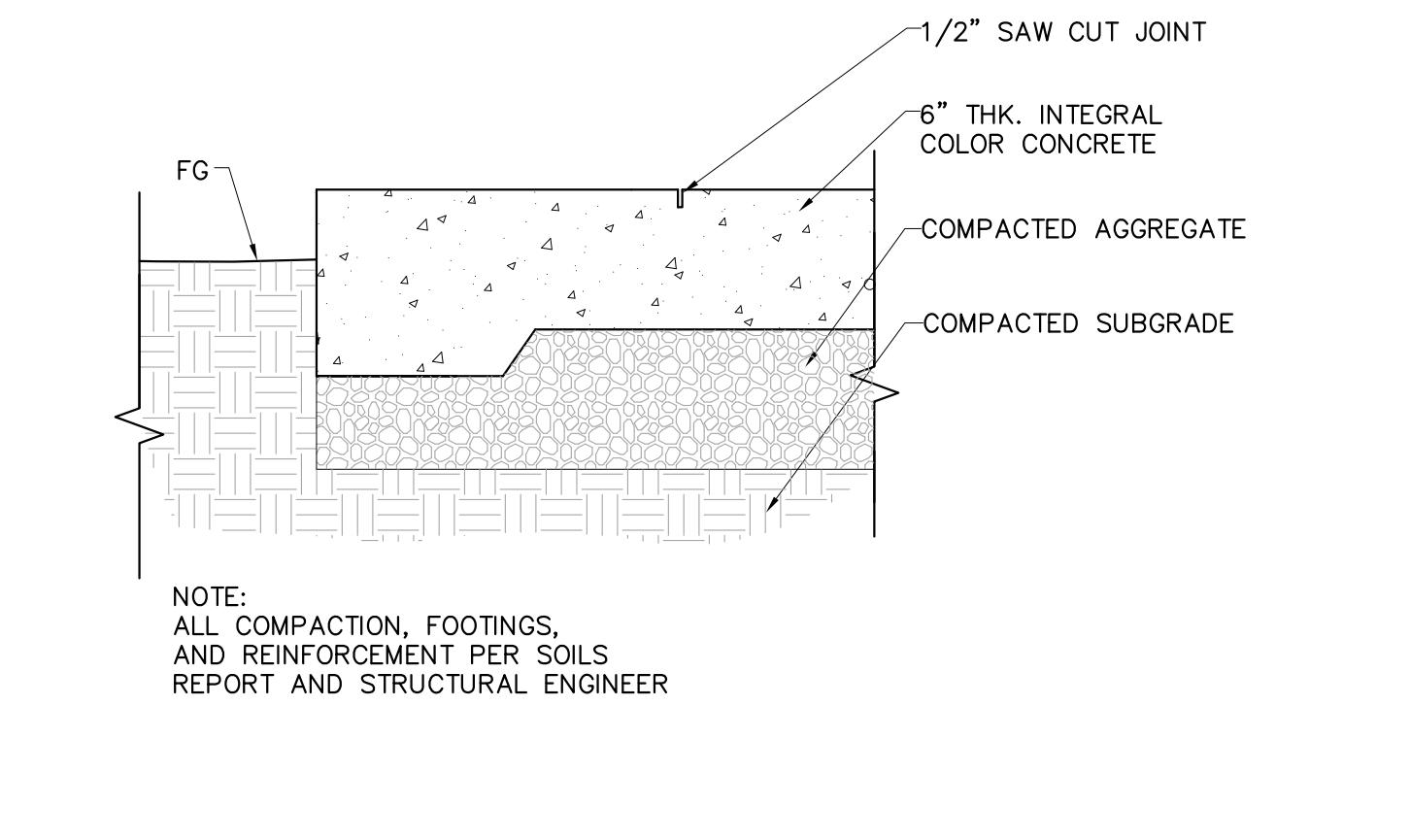
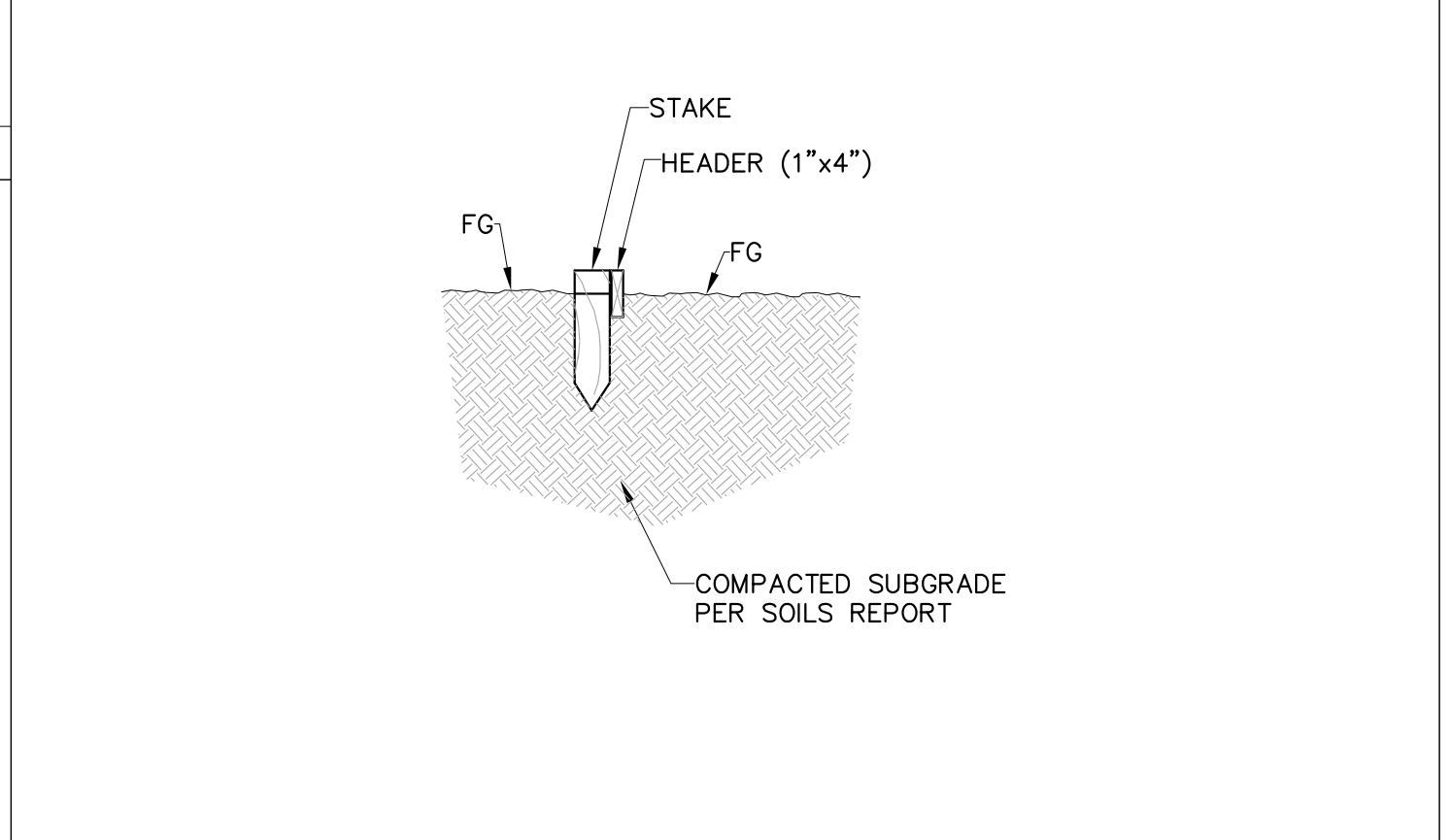
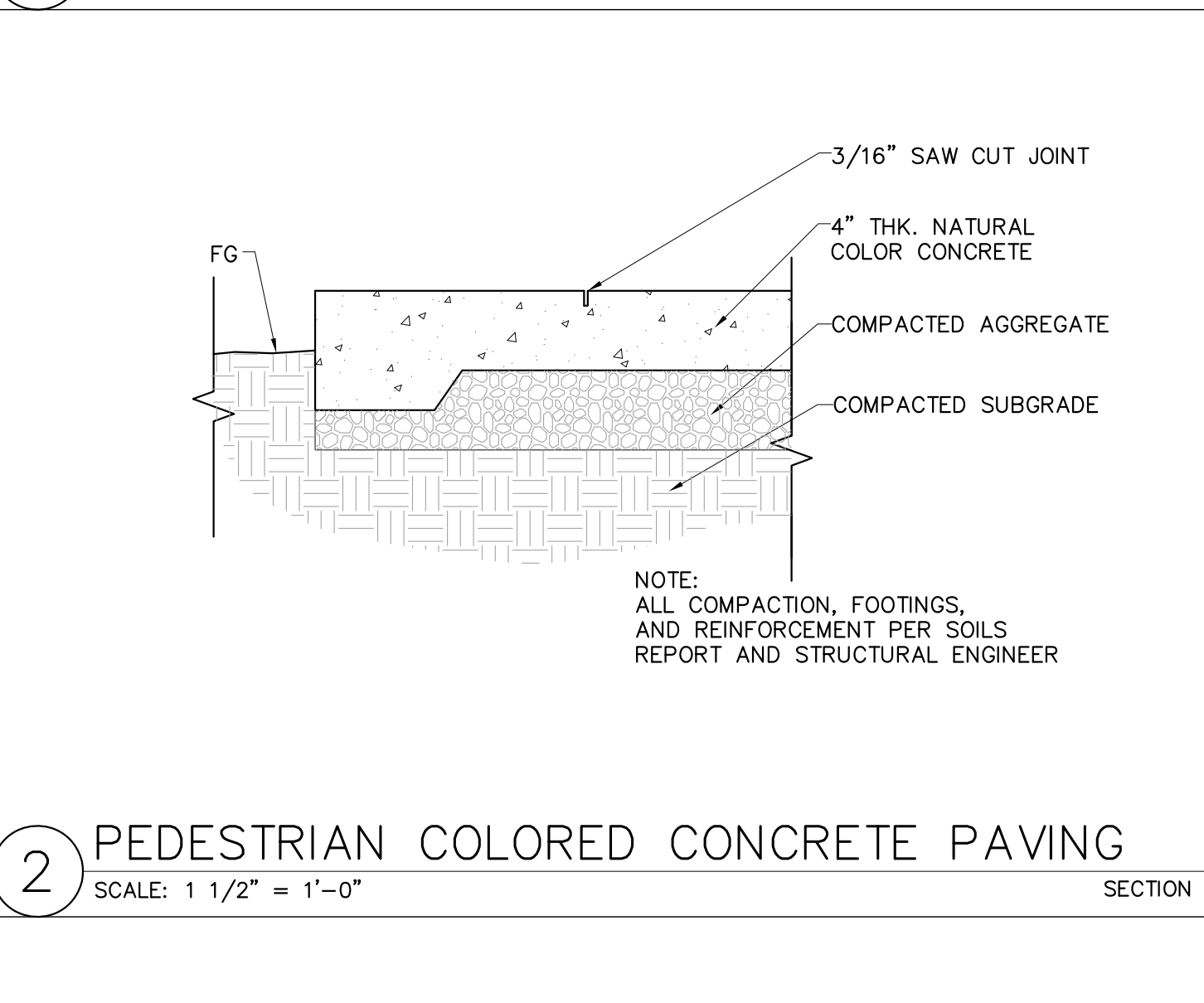
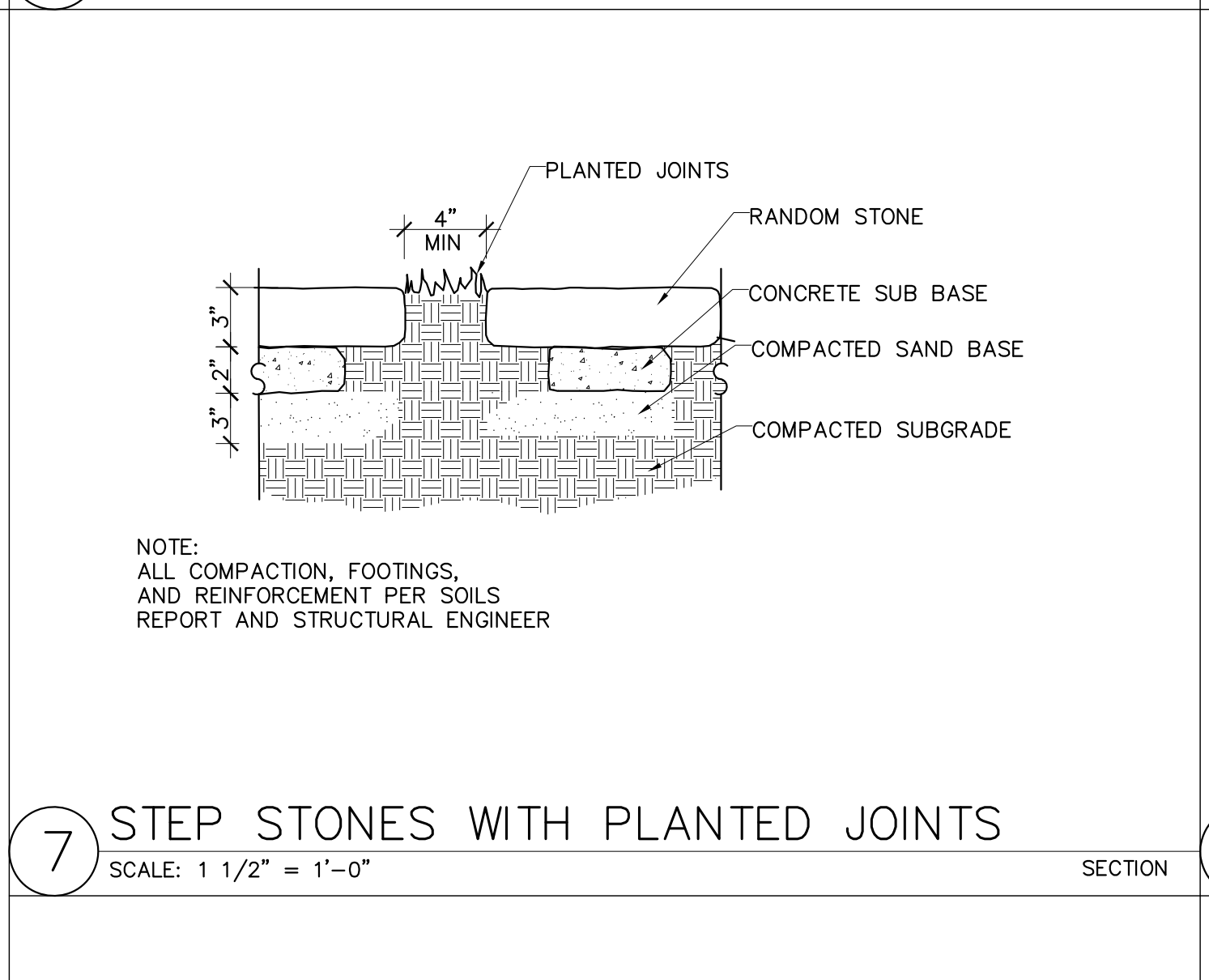
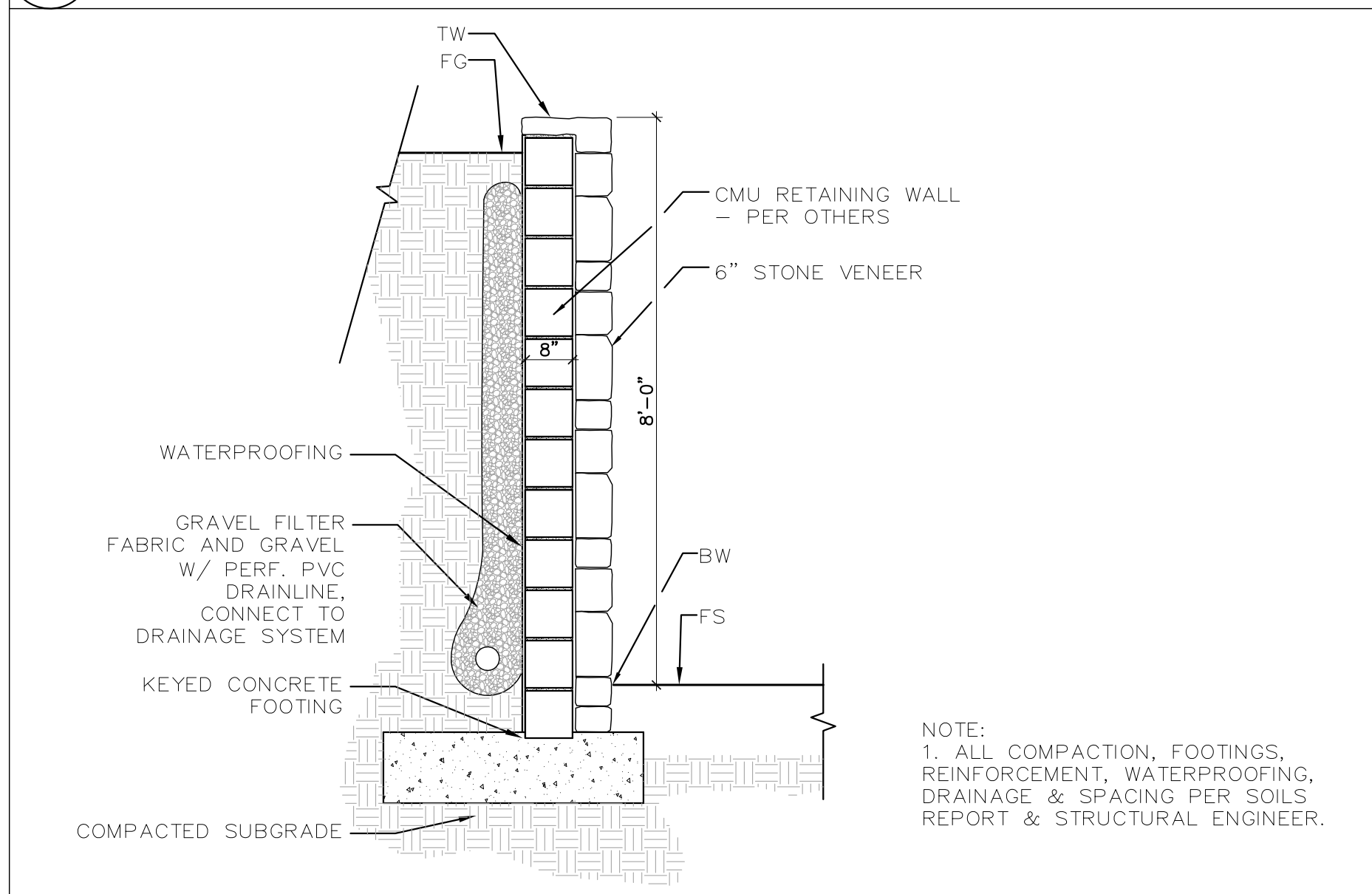
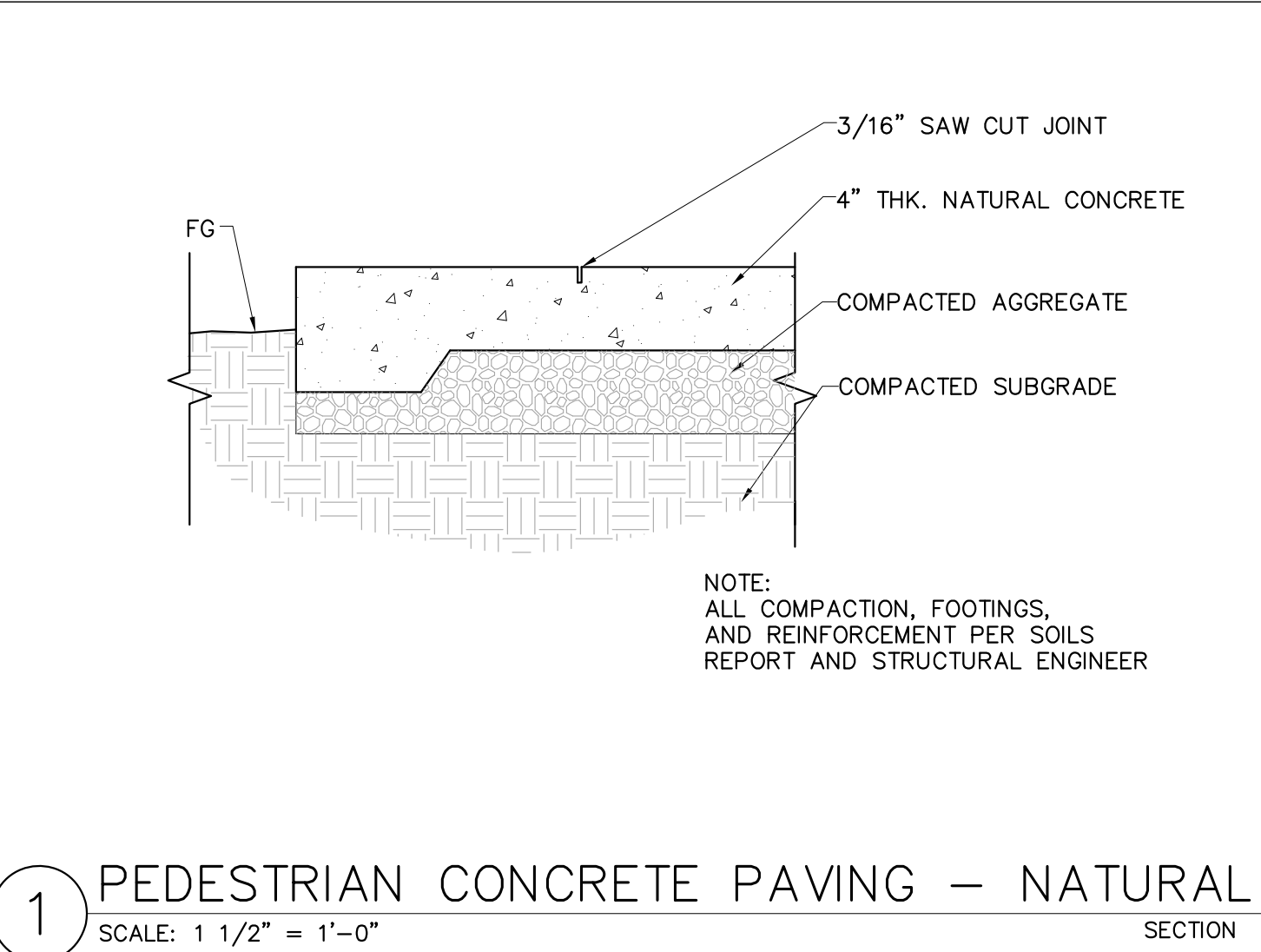
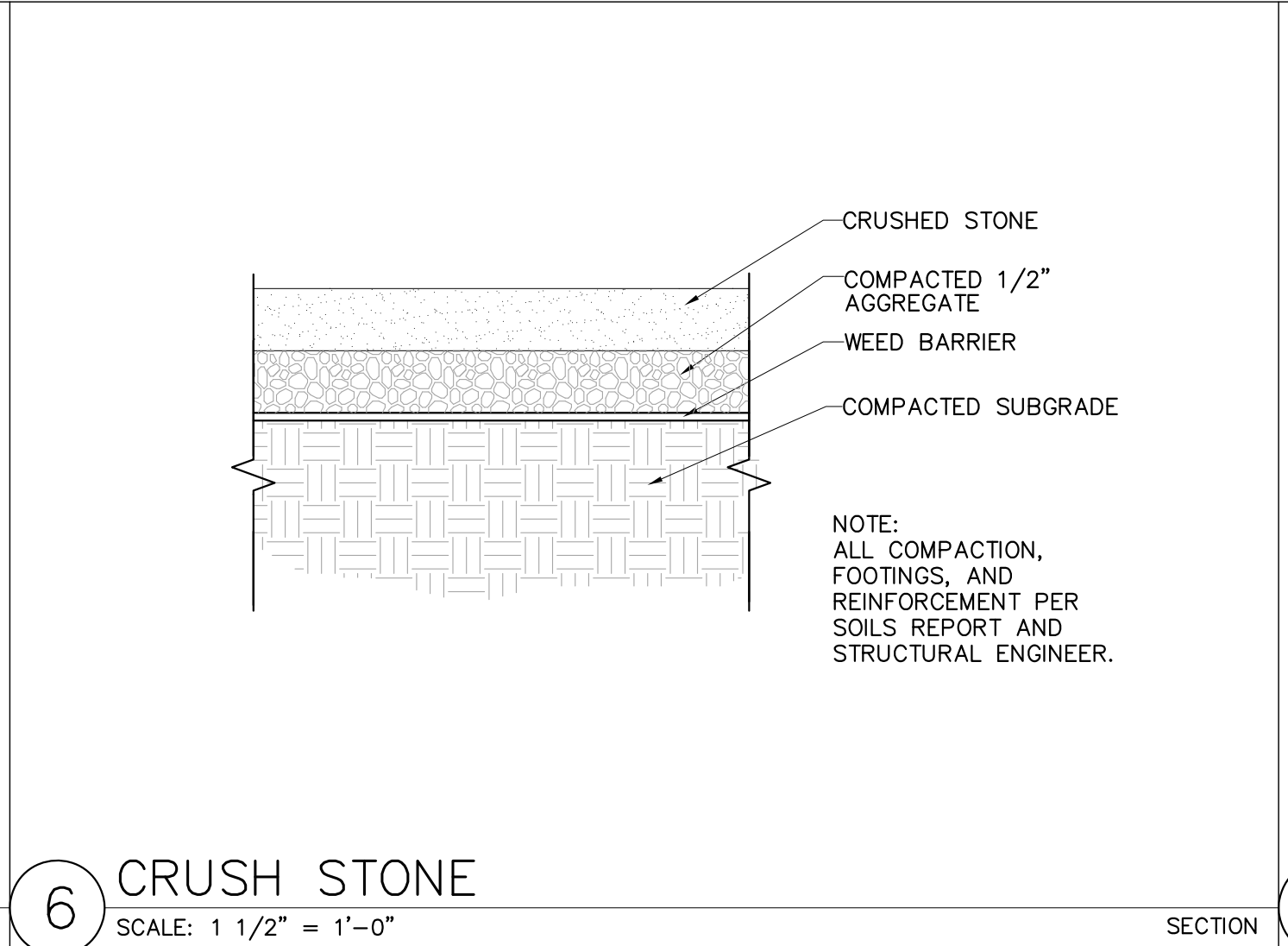
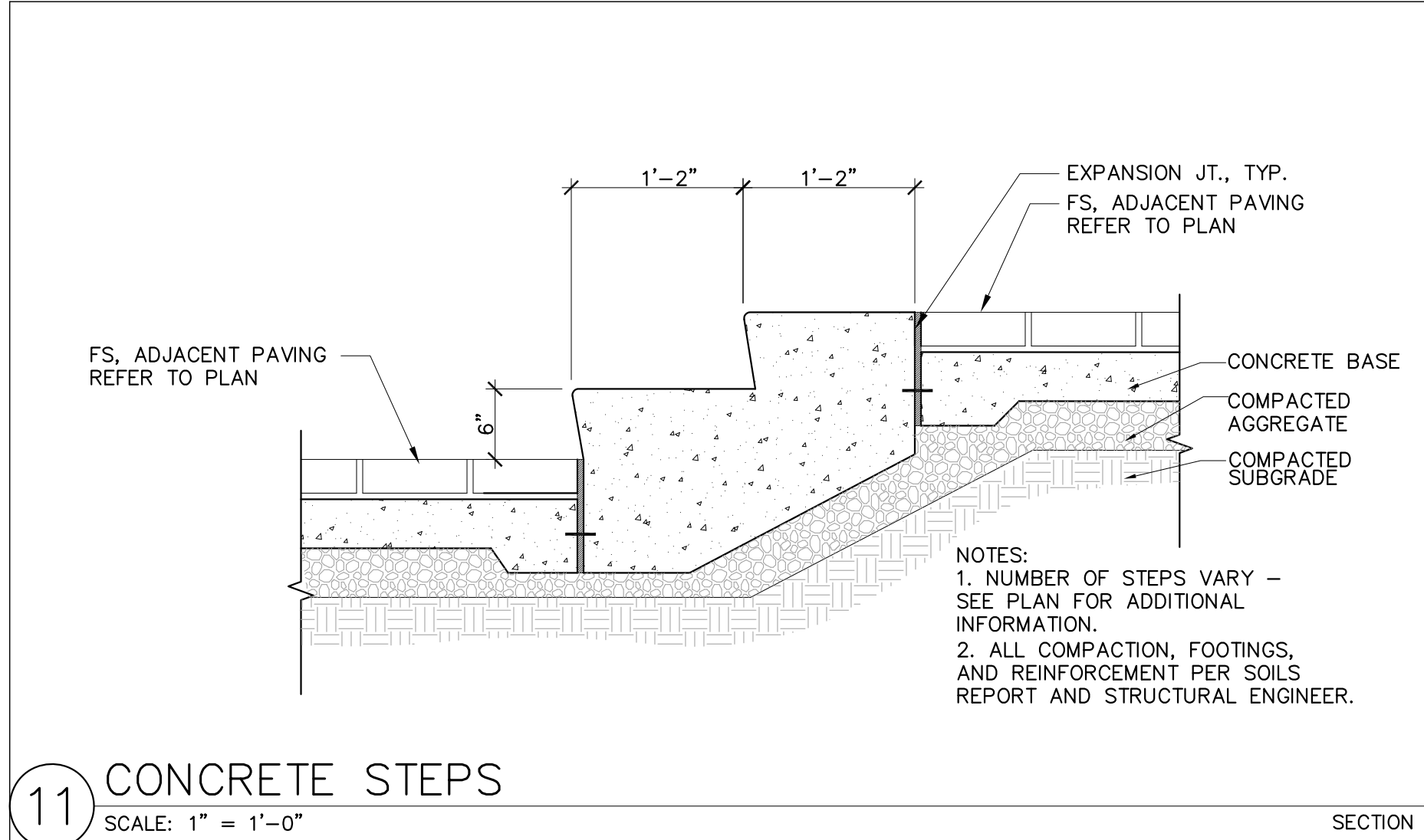
Job Number: 1604

Drawn By: /TC

Sheet Title:
Water Req. Worksheet
Details

City Submittal
Scale: AS NOTED

Sheet Number: L1.3



LANDSCAPE WATER REQUIREMENTS WORKSHEET

This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

Project Name: 3333 Residence Project #: _____
Project Address: 2326 Calle Chiquita, La Jolla, CA 92037
Individual/Business Completing the Worksheet: Stan Smith Associates
Phone Number: 949-855-1413

1. DEFINITIONS:

ET Adjustment Factor: A factor that when applied to reference evapotranspiration adjusts for plant water requirements and irrigation efficiencies, two major influences on the amount of water that is required for a healthy landscape.

Evapotranspiration: The quantity of water evaporated from adjacent soil surfaces and transpired by plants during a specific time period. Evapotranspiration data may be found at www.cimr.water.ca.gov. You may obtain a free pass word from the Department of Water Resources. The site also holds an abundance of informational links and complete instructions.

Hydrozone: A section or zone of the landscaped area having plants with similar water needs that are served by a valve or set of valves with the same schedule. A hydrozone may be irrigated or non-irrigated.

Landscape Area: The entire premises less the area of building footprints, non-irrigated portions of parking lots, driveways, hardscapes (as defined in §113.0103 of the Land development Code), and areas designated for habitat preservation or brush management Zone 2.

Irrigation Method and Efficiency			
Bubbblers	0.85	Fixed Spray	0.55
Drip	0.90	Micro Sprays	0.70
Drip Irrigation	0.80	MP Rotators	0.75
		Spray Heads	0.60

Plant Water Use	Plant Factor	Also includes
Low	<0.1 - 0.2	Artificial Turf
Moderate	0.3 - 0.7	
High	0.8 and greater	Water features
Special Landscape Area	1.0	

Use the following table to tack information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area	
1	HZ-1	16	0.16	2011	Drip	0.80	15	
	HZ-2	5	0.2	350	MProtator	0.75	7	
		9,10,11	0.3	792	Rotator	0.55	6	
		12,13	0.3	792	Rotator	0.55	6	
		14,15	0.3	792	Rotator	0.55	6	
		16,18,19	0.3	3577	Drip	0.80	27	
	HZ-3	4,6,12	0.2	4408	MProtator	0.75	34	
		13	0.2	482	Drip	0.80	4	
	HZ-4	Water	0.9	671	N/A	1.0	5	
							Total	100

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget.

Controller No.	[(ETw)(0.62)] [(PF x HA + IE) + SLA]	Result in Gallons per Year
1	HZ-1: (41)(0.16)(1508)	28,223
	HZ-2: (41)(0.2)(340)	2,643
	(41)(0.3)(792)	1,113
	(41)(0.3)(792)	27,088
	HZ-3: (41)(0.2)(4408)	31,572
	(41)(0.2)(482)	3,076
	HZ-4: (41)(0.9)(671)	13,451
		Total ETWU gallons per year: 126,481

HAWA: (41)(0.16)(1,95)(13,043) = 182,354



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TERESA CLARK LANDSCAPE ARCHITECT

MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
SEWER LINES - 10 FEET

IRRIGATION NOTE:
AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE SYSTEM WILL USE DRIP IRRIGATION AND TREE BUBBLERS FOR DEEP INFREQUENT WATERING TO ESTABLISH DEEP ROOTED WELL-ESTABLISHED PLANT MATERIAL. THE PROPOSED TYPE OF IRRIGATION SYSTEM WILL BE A COMBINATION OF SPRAY, BUBBLER AND DRIP.

LANDSCAPE NOTES:
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER SDMC 142.0403(B)(10).

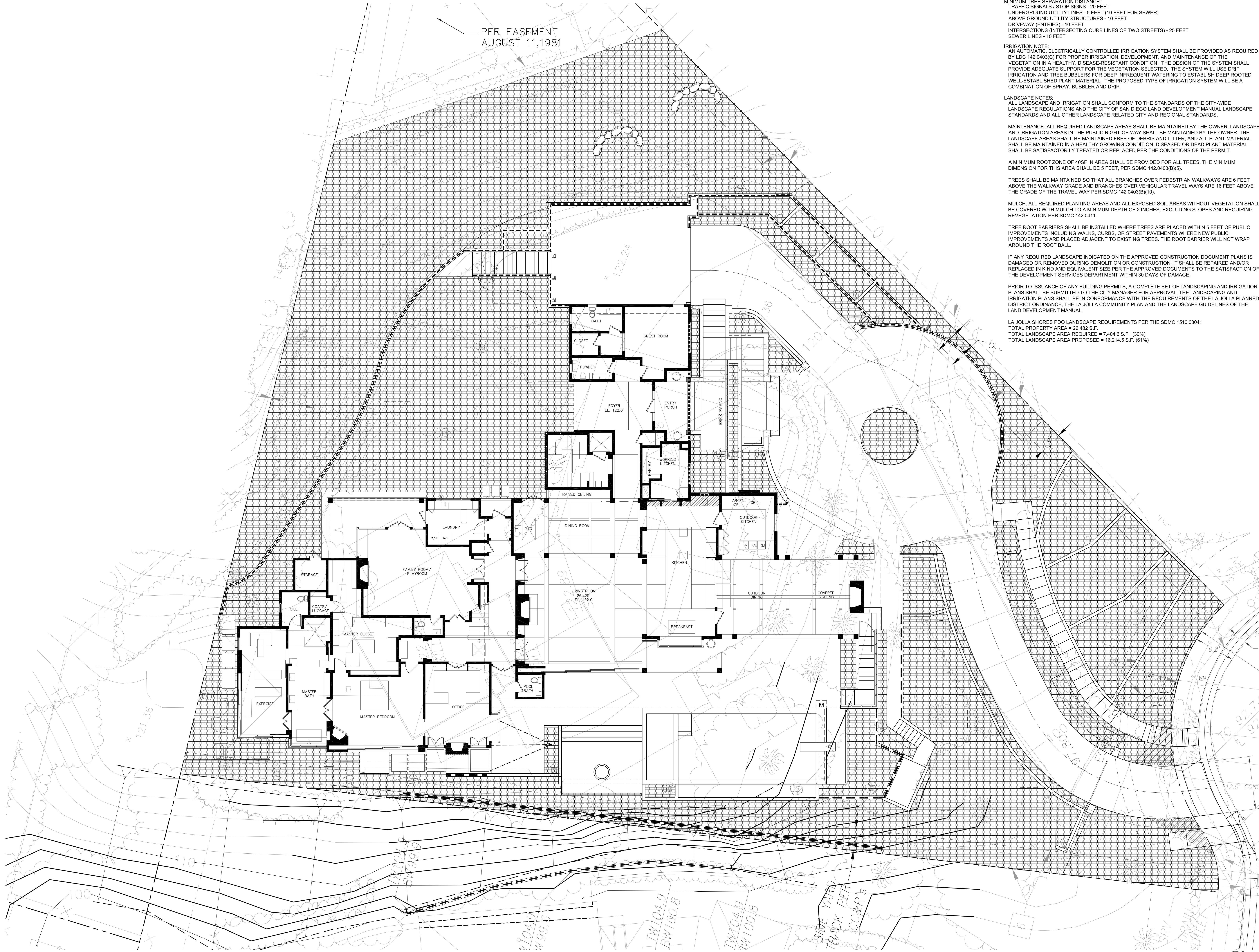
MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES AND REQUIRING REVEGETATION PER SDMC 142.0411.

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

PRIOR TO ISSUANCE OF ANY BUILDING PERMITS, A COMPLETE SET OF LANDSCAPING AND IRRIGATION PLANS SHALL BE SUBMITTED TO THE CITY MANAGER FOR APPROVAL. THE LANDSCAPING AND IRRIGATION PLANS SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LA JOLLA PLANNED DISTRICT ORDINANCE, THE LA JOLLA COMMUNITY PLAN AND THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.

LA JOLLA SHORES PDO LANDSCAPE REQUIREMENTS PER THE SDMC 1510.0304:
TOTAL PROPERTY AREA = 26,482 S.F.
TOTAL LANDSCAPE AREA REQUIRED = 7,404.6 S.F. (30%)
TOTAL LANDSCAPE AREA PROPOSED = 16,214.5 S.F. (61%)



Calle Chiquita Residence
2326 Calle Chiquita
La Jolla, CA 92037

Date: 5.7.18

Revisions: Date:
City Submittal 7.21.17
City Submittal 12.12.17



Job Number: 1604

Drawn By: /TC

Sheet Title:
Landscape Area Diagram

City Submittal
Scale: 1/8"=1'-0"

Sheet Number: L2.0

PLANTING LEGEND

Table with 3 columns: SYM, BOTANICAL NAME, COMMON NAME. Lists various plant species and their symbols, categorized by size and type (e.g., Large Evergreen Canopy Tree, Medium Canopy Tree, Small Accent Tree).

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Continuation of the Planting Legend table, listing symbols, botanical names, and common names for various plants.



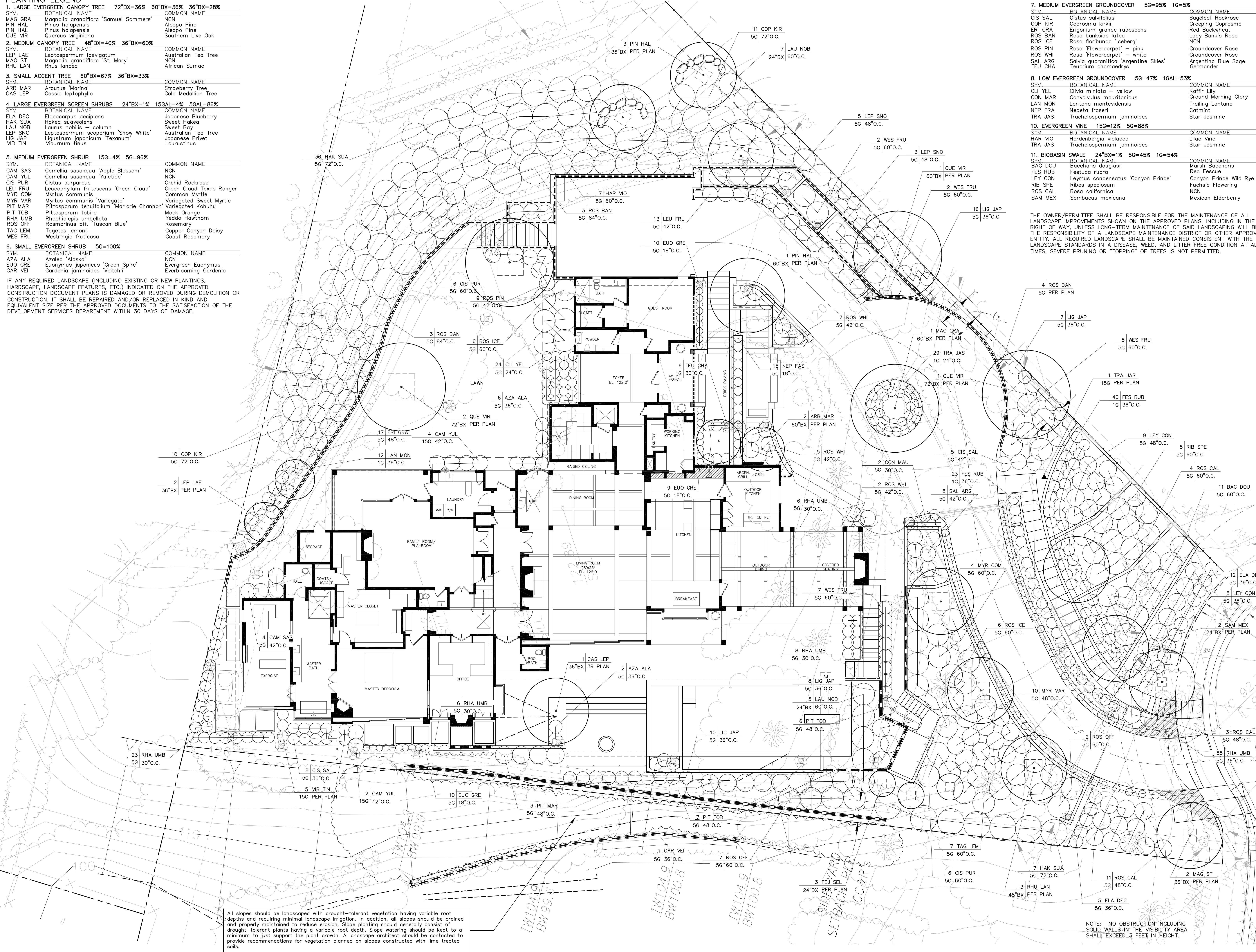
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THERESA CLARK LANDSCAPE ARCHITECT

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All slopes should be landscaped with drought-tolerant vegetation having variable root depths and requiring minimal landscape irrigation. In addition, all slopes should be drained and properly maintained to reduce erosion. Slope planting should generally consist of drought-tolerant plants having a variable root depth. Slope watering should be kept to a minimum to just support the plant growth. A landscape architect should be contacted to provide recommendations for vegetation planned on slopes constructed with lime treated soils.

NOTE: NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.

Date: 5.7.18

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City Submittal 7.21.17
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Job Number: 1604

Drawn By: /TC

Sheet Title: Planting Plan

City Submittal Scale: 1/8"=1'-0"

Sheet Number: L2.1

