



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: April 10, 2019 REPORT NO. HO-19-042

HEARING DATE: April 17, 2019

SUBJECT: Marouf Residence Companion Unit, Process Three Decision

PROJECT NUMBER: [614351](#)

OWNER/APPLICANT: Kaid Marouf, Owner/Marengo Morton Architects, Applicant

### SUMMARY:

Issue: Should the Hearing Officer approve an application to enlarge an existing 698-square-foot companion unit by enclosing the existing deck to create a 1,200-square-foot companion unit located at 2465 Hidden Valley Road within the La Jolla Community Plan area?

### Staff Recommendation:

APPROVE Coastal Development Permit (CDP) No. 2187509 and Site Development Permit (SDP) No. 2187508.

Community Planning Group Recommendation: On February 7, 2019, the La Jolla Community Planning Association voted 12-1-1 to recommend approval of the project (Attachment 7).

On March 18, 2019, the La Jolla Shores Planned District Advisory Board voted 5-0-0 to recommend approval of the project (Attachment 9).

Environmental Review: The proposed project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303, which allows for the conversion of existing small structures (existing semi-enclosed deck) from one use to another where only minor modifications are made in the exterior of the structure. The environmental exemption determination for this project was made on January 14, 2019, and the opportunity to appeal the determination ended on January 29, 2019. There were no appeals to the environmental determination.

### BACKGROUND

The project site is located at 2465 Hidden Valley Road, and is currently developed with a two-story single-family residence within the La Jolla Community Plan area (Attachment 1). The project site is

located approximately one half mile from the Pacific Ocean coastline. The surrounding properties are fully developed in a well-established residential neighborhood (Attachment 3). The Children's School, a private school (for toddler through eighth grade programs), is located just west of the project site.

The 0.29-acre project site is located within the Single-Family Zone of the La Jolla Shores Planned District (LJSPD), Coastal (Non-Appealable) Overlay Zone, Coastal Height Limitation, Parking Impact (Coastal Impact Area) Zone, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones. Per Section [126.0702](#) of the San Diego Municipal Code (SDMC), a Coastal Development Permit (CDP) is required for all coastal development of a premises within the Coastal Overlay Zone. SDMC Section [1510.0201](#) requires a Process 3 Site Development Permit (SDP) for the construction of a new building or structure, or the remodeling, alteration, addition, or demolition of any existing building or structure within the LJSPD.

On January 27, 2016, Coastal Development Permit No. 1586701 and Site Development Permit No. 1586703 were approved by the Hearing Officer for the project site. The permits authorized the demolition of an existing detached garage, and the construction of a two-story, 1,863-square-foot detached garage and companion unit addition on a site with an existing 2,549-square-foot single family residence.

## DISCUSSION

The project is an amendment to Coastal Development Permit (CDP) No. 1586701 and Site Development Permit (SDP) No. 1586703 to enlarge an existing 698-square-foot companion unit located over the existing garage. The project proposes to enclose the companion unit's existing deck by 499 square feet to create a 1,197-square-foot companion unit. The project is located approximately one half mile from the Pacific Ocean coastline. There is no public view or coastal access from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project was designed to comply with the development standards required by the underlying Single-Family Zone of the La Jolla Shores Planned District. All development will remain within the existing building footprint, and there are no changes proposed to existing setbacks, lot coverage, and height. In addition, the existing off-setting planes and building articulation will be retained. There are no deviations or variances necessary or requested.

The project site does not contain any sensitive biological resources or environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. An environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (existing semi-enclosed deck).

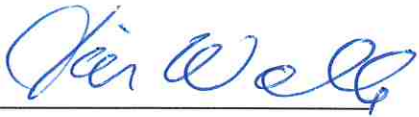
Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the

Hearing Officer for consideration. Staff recommends that the Hearing Officer approve Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508 for the project.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508 with modifications.
2. Deny Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508, if the findings required to approve the project cannot be affirmed.

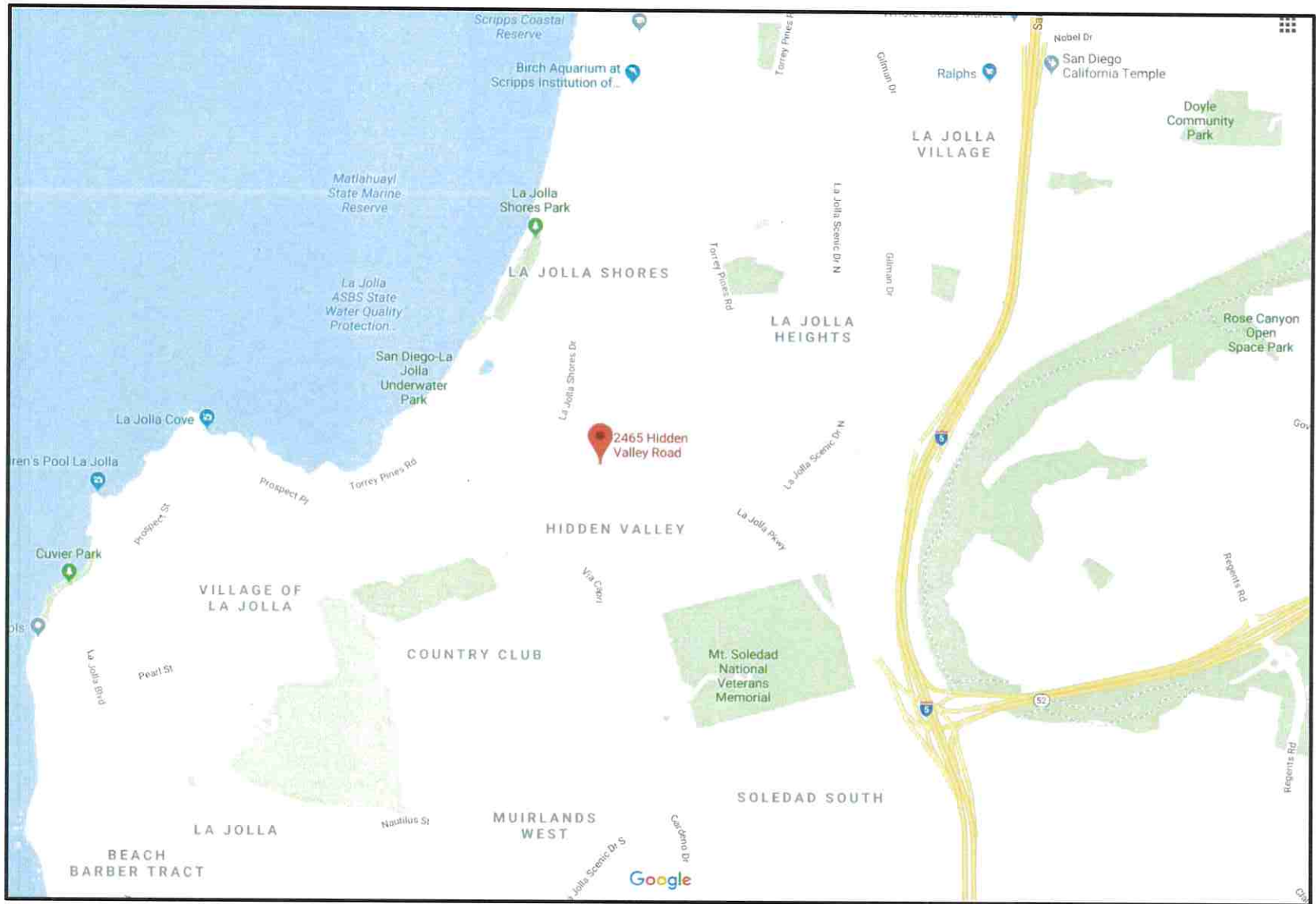
Respectfully submitted,



Xavier Del Valle, Development Project Manager

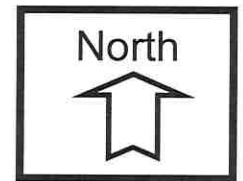
Attachments:

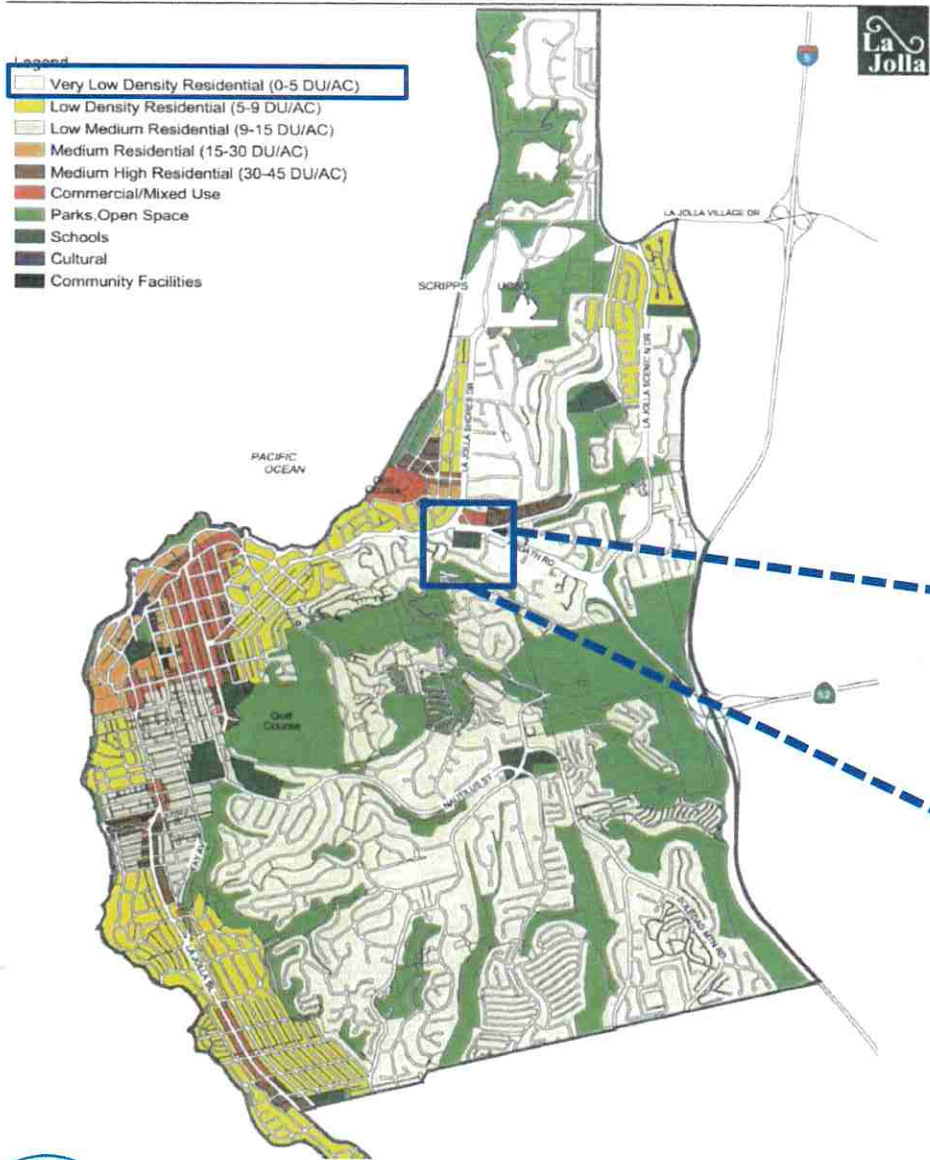
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. NORA Environmental Determination
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. La Jolla Shores Planned District Advisory Board Recommendation
10. Project Plans



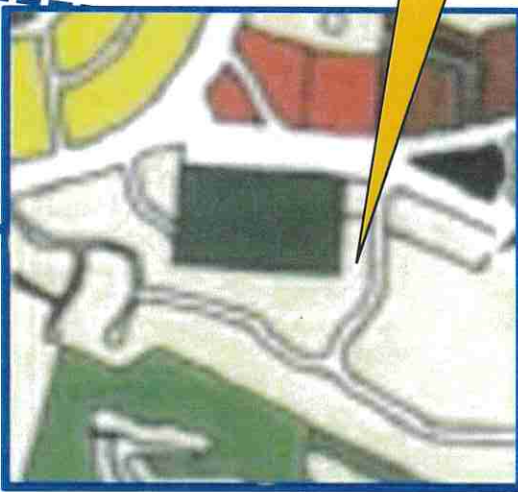
## Project Location Map

Marouf Residence Companion Unit  
 Project No. 614351 – 2465 Hidden Valley Road





Project Site

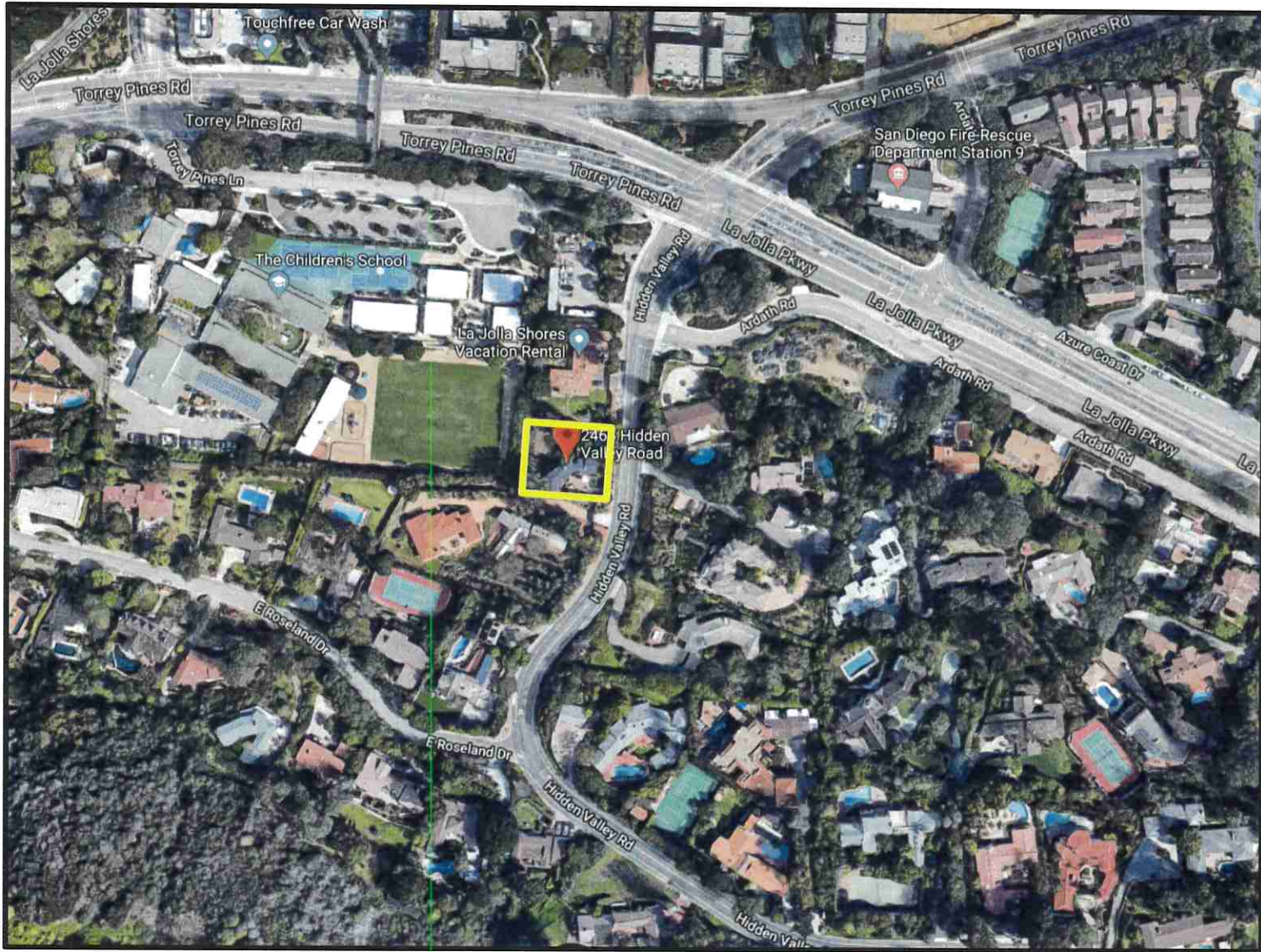


# Land Use Map

Marouf Residence Companion Unit  
 Project No. 614351 – 2465 Hidden Valley Road

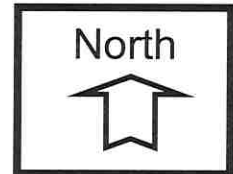






## Aerial Photograph

Marouf Residence Companion Unit  
Project No. 614351 - 2465 Hidden Valley Road



HEARING OFFICER RESOLUTION NO. [REDACTED]  
COASTAL DEVELOPMENT PERMIT NO. 2187509  
SITE DEVELOPMENT PERMIT NO. 2187508  
**MAROUF RESIDENTIAL COMPANION UNIT PROJECT NO. 614351**

WHEREAS, KAID MAROUF, Owner/Permittee, filed an application with the City of San Diego for a permit to enlarge an existing companion unit within an existing single-family residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508), on portions of a 0.29-acre site;

WHEREAS, the project site is located at 2465 Hidden Valley Road in the Single-Family Zone of the La Jolla Shores Planned District and the Coastal (Non-Appealable) Overlay Zone within the La Jolla Community Plan Area;

WHEREAS, the project site is legally described as: Lot 1 of Valley Square, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3331, filed in the Office of the County Recorder of San Diego County on November 14, 1955; and

WHEREAS, on January 13, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303, New Construction or Conversion of Small Structures, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on April 17, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,



BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508:

**A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located at 2465 Hidden Valley Road, and is currently developed with a two-story, single-family residence within an urbanized area in the La Jolla Community Plan area. The project requires an amendment to Coastal Development Permit (CDP) No. 1586701 and Site Development Permit (SDP) No. 1586703 to enlarge an existing 698-square-foot (SF) companion unit located over the existing garage. The project proposes to enclose the companion unit's existing deck by 499 SF to create a 1,197-square-foot companion unit.

The 0.29-acre project site is located approximately one half mile from the Pacific Ocean coastline. There is no public view or coastal access from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with the development standards required by the underlying Single-Family Zone of the La Jolla Shores Planned District. All development will remain within the existing building footprint, and there are no changes proposed to existing setbacks, lot coverage, and height. In addition, the existing off-setting planes and building articulation will be retained.

The project is designed to conform with all the applicable provisions of the San Diego Municipal Code (SDMC) and the La Jolla Community Plan and Local Coastal Land Use Plan. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.



**b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is located at 2465 Hidden Valley Road, and is currently developed with a two-story, single-family residence within an urbanized area in the La Jolla Community Plan area. The project requires an amendment to Coastal Development Permit (CDP) No. 1586701 and Site Development Permit (SDP) No. 1586703 to enlarge an existing 698-square-foot (SF) companion unit located over the existing garage. The project proposes to enclose the companion unit's existing deck by 499 SF to create a 1,197-square-foot companion unit. All development will remain within the existing building footprint, and there are no changes proposed to existing setbacks, lot coverage, and height.

The project site does not contain any sensitive biological resources or environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. In addition, an environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (existing semi-enclosed deck). Therefore, the project will not adversely affect environmentally sensitive lands.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project site is located at 2465 Hidden Valley Road, and is currently developed with a two-story, single-family residence in a low density residential area (0-5 dwelling units/acre) within the La Jolla Community Plan area. The project requires an amendment to Coastal Development Permit (CDP) No. 1586701 and Site Development Permit (SDP) No. 1586703 to enlarge an existing 698-square-foot (SF) companion unit located over the existing garage. The project proposes to enclose the companion unit's existing deck by 499 SF to create a 1,197-square-foot companion unit.

The 0.29-acre project site is located approximately one half mile from the Pacific Ocean coastline. There is no public view or coastal access from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project is designed to comply with the development standards required by the underlying Single-Family Zone of the La Jolla Shores Planned District. All development will remain within the existing building footprint, and there are no changes proposed to existing setbacks, lot coverage, and height. In addition, the existing off-setting planes and building articulation will be retained.

The project complies with all the applicable provisions of the Community Plan and the San Diego Municipal Code, and there are no deviations or variances necessary or requested. Therefore, the project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located at 2465 Hidden Valley Road, and is currently developed with a two-story, single-family residence within an urbanized area in the La Jolla Community Plan area. The project requires an amendment to Coastal Development Permit (CDP) No. 1586701 and Site Development Permit (SDP) No. 1586703 to enlarge an existing 698-square-foot (SF) companion unit located over the existing garage. The project proposes to enclose the companion unit's existing deck by 499 SF to create a 1,197-square-foot companion unit.

The 0.29-acre project site is located approximately one half mile from the Pacific Ocean coastline. There is no public view or coastal access from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan. All development will remain within the existing building footprint, and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]**

**1. Findings for all Site Development Permits:**

- a. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 2465 Hidden Valley Road, and is currently developed with a two-story, single-family residence within an urbanized area in the La Jolla Community Plan area. The project requires an amendment to Coastal Development Permit (CDP) No. 1586701 and Site Development Permit (SDP) No. 1586703 to enlarge an existing 698-square-foot (SF) companion unit located over the existing garage. The project proposes to enclose the companion unit's existing deck by 499 SF to create a 1,197-square-foot companion unit.

The 0.29-acre project site is located approximately one half mile from the Pacific Ocean coastline. There is no public view or coastal access from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan

(Community Plan). In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project is designed to comply with the development standards required by the underlying Single-Family Zone of the La Jolla Shores Planned District. All development will remain within the existing building footprint, and there are no changes proposed to existing setbacks, lot coverage, and height. In addition, the existing off-setting planes and building articulation will be retained. Therefore, the project will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety and welfare.**

The project site is located at 2465 Hidden Valley Road, and is currently developed with a two-story, single-family residence within an urbanized area in the La Jolla Community Plan area. The project requires an amendment to Coastal Development Permit (CDP) No. 1586701 and Site Development Permit (SDP) No. 1586703 to enlarge an existing 698-square-foot (SF) companion unit located over the existing garage. The project proposes to enclose the companion unit's existing deck by 499 SF to create a 1,197-square-foot companion unit.

All development will remain within the existing building footprint, and there are no changes proposed to existing setbacks, lot coverage, and height. The project site does not contain any sensitive biological resources or environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. In addition, an environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (existing semi-enclosed deck). Therefore, the Project will not be detrimental to the public, health, safety, and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project site is located at 2465 Hidden Valley Road, and is currently developed with a two-story, single-family residence within an urbanized area in the La Jolla Community Plan area. The project requires an amendment to Coastal Development Permit (CDP) No. 1586701 and Site Development Permit (SDP) No. 1586703 to enlarge an existing 698-square-foot (SF) companion unit located over the existing garage. The project proposes to enclose the companion unit's existing deck by 499 SF to create a 1,197-square-foot companion unit.

The 0.29-acre project site is located approximately one half mile from the Pacific Ocean coastline. There is no public view or coastal access from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, the project will not encroach upon any existing



physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project was designed to comply with the development standards required by the underlying Single-Family Zone of the La Jolla Shores Planned District. All development will remain within the existing building footprint, and there are no changes proposed to existing setbacks, lot coverage, and height. In addition, the existing off-setting planes and building articulation will be retained.

The project complies with all the applicable provisions of the Community Plan and the San Diego Municipal Code, and there are no deviations or variances necessary or requested. Therefore, the project will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508, a copy of which is attached hereto and made a part hereof.

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Xavier Del Valle  
Development Project Manager  
Development Services

Adopted on: April 17, 2019

IO#: 24007982

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24007982

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2187509  
SITE DEVELOPMENT PERMIT NO. 2187508  
**MAROUF RESIDENCE COMPANION UNIT PROJECT NO. 614351**

This Coastal Development Permit No. 2187509 and Site Development Permit No. 2187508 is granted by the Hearing Office of the City of San Diego to Kaid Marouf, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702 and 126.0502. The 0.29-acre site is located at 2465 Hidden Valley Road in the Single-Family Zone of the La Jolla Shores Planned District and the Coastal (Non-Appealable) Overlay Zone within the La Jolla Community Plan Area. The project site is legally described as: Lot 1 of Valley Square, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3331, filed in the Office of the County Recorder of San Diego County on November 14, 1955.

Subject to the terms and conditions set forth in this Permit, permission is granted to Kaid Marouf, Owner/Permittee to enlarge an existing companion unit within an existing single-family residence. The project shall include:

- a. Enlarging an existing 698-square-foot (SF) companion unit located over an existing garage by enclosing the companion unit's existing deck by 499 SF to create a 1,197-SF companion unit.
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable

guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 1, 2022.

2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the



issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

10. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**PLANNING/DESIGN REQUIREMENTS:**

11. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

12. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 17, 2019 and [Approved Resolution Number].

DRAFT

**ATTACHMENT 5**

Coastal Development Permit No. 2187509  
Site Development Permit No. 2187508  
Date of Approval: April 17, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Xavier Del Valle  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By \_\_\_\_\_  
Kaid Marouf

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**





THE CITY OF SAN DIEGO

Date of Notice: January 14, 2019

**NOTICE OF RIGHT TO APPEAL  
ENVIRONMENTAL DETERMINATION  
DEVELOPMENT SERVICES DEPARTMENT**

SAP No. 12002049

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**PROJECT NAME / NUMBER:** Marouf Res – Companion Unit / 614351

**COMMUNITY PLAN AREA:** La Jolla

**COUNCIL DISTRICT:** 1

**LOCATION:** 2465 Hidden Valley Road, La Jolla, CA 92037

**PROJECT DESCRIPTION:** The project requests a Coastal Development Permit (CDP) and a Site Development Permit (SDP) to amend CDP #1586701 and SDP #1586703 to enlarge an existing 698-square-foot companion unit located over an existing detached garage. The project proposes to enclose the companion unit's existing deck to result in a total of 1,248-square-feet, located on a site with an existing single-family residence at 2465 Hidden Valley Rd. The 0.29-acre project site is designated Very Low Residential per the La Jolla Shores Planned District of the La Jolla Community Plan and is subject to the Single-Family Zone requirements. The project is also subject to the Coastal Overlay Zone (Non-Appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (COASTAL), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, Transit Priority Area, and Council District 1.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego, Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303, "New Construction or Conversion of Small Structures."

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City conducted an environmental review which determined that the project is exempt from CEQA pursuant to CEQA Guidelines Section 15303, which allows for the conversion of existing small structures (existing semi-enclosed deck) from one use to another where only minor modifications are made in the exterior of the structure. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

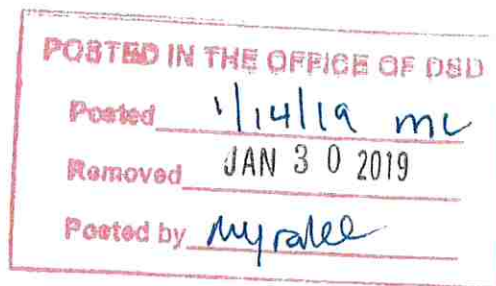
**DEVELOPMENT PROJECT MANAGER:** Xavier Del Valle  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**PHONE NUMBER / EMAIL:** (619) 557-7941 / XDelValle@sandiego.gov

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On January 14, 2019 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (January 29, 2019). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





La Jolla Community Planning Association

February 14, 2019

To: Xavier Del Valle

Cc: C.A. Morengo

RE: Marouf Project (#614315)---LICPA Vote

On February 7, 2019 at the Regular Meeting of the La Jolla Community Planning Association (LICPA) Trustees reviewed *the Marouf project* as an Action item on the Consent Agenda.

**10.1** This project is located at 2465 Hidden Valley Road on a 12,650 square foot lot. The current proposed project is to amend the existing coastal permit and site development permit. The site is in the Coastal Overlay Zone (Non Appealable) in the SF zone of the La Jolla Shores Planned District of the La Jolla Community Plan area within Council District 1. Project number 409685 that permitted a guest quarters and a roofed patio area over garage and now is being amended to change this space to a companion unit as a use change and the square foot being limited to 1200 square feet of existing space. This project was previously reviewed and approved as project #409685 on August 2015.


**PRC Motion:** Findings can be made for Process 3 site development permit and coastal development permit. Vote 5-0-1.

The LICPA voted on consent (12-1-1) to accept the recommendation of the PRC.

Sincerely,

Robert Steck  
President



	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	<b>FORM</b>
			<b>DS-318</b>
			October 2017

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

**Project Title:** Marouf Res. - Campanian Unit **Project No. For City Use Only:** 614351  
**Project Address:** 2465 Hidden Valley Rd. La Jolla, CA 92037

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Kaid Marouf  Owner  Tenant/Lessee  Successor Agency  
 Street Address: 2465 Hidden Valley Rd.  
 City: La Jolla State: CA Zip: 92037  
 Phone No.: 858-456-7347 Fax No.: \_\_\_\_\_ Email: marouf\_usa@yahoo.com  
 Signature: Kaid Date: 6-19-18  
 Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached:  Yes  No

## La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

**Project:** PTS 629805 – Marouf Residence – Action Item

**Item:** A

**Date:** 01-16-19

**Applicant:** Claude-Anthony Marengo, [camarengo@marengomortonarchitects.com](mailto:camarengo@marengomortonarchitects.com) (619) 417-1111

**Description:** Expansion of companion unit by enclosing existing covered deck. Existing structure is 4,412sf (0.35 FAR), preoposed structure is 4,914sf (0.39 FAR). Height is 25 feet. Front yard setback is 20 feet, side yard setback is 8 feet. Rear yeard setback is 25 feet.

**Recommendation**

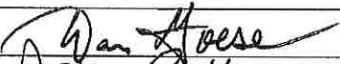
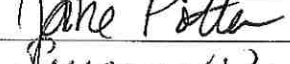
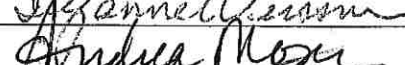
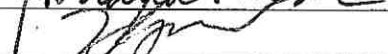

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

*MA* \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_

**Board Signatures**

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Andrea Moser		
Herbert Lazerow		

Absentees:

  
 \_\_\_\_\_  
 Chairperson

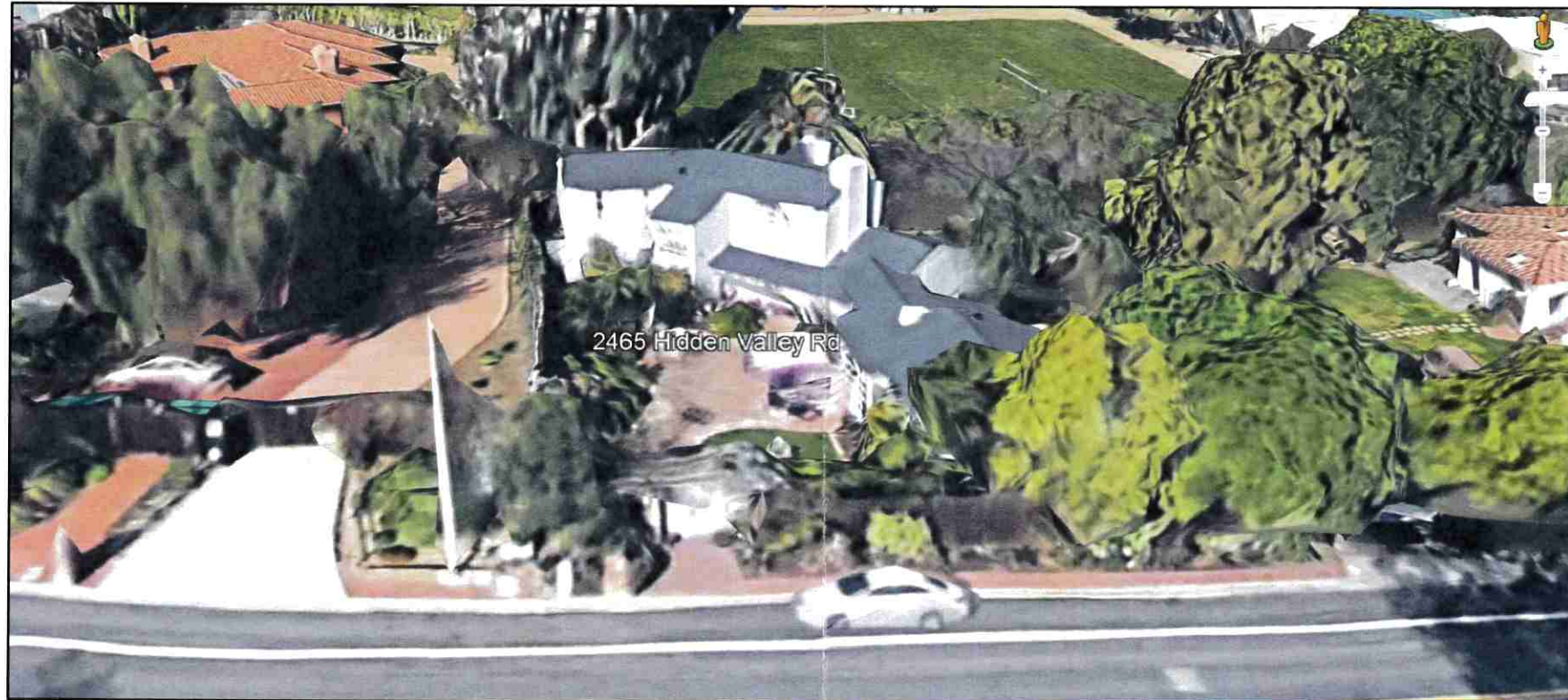
**Attachment 10**  
**Project Plans**

**Marouf Residence Companion Unit CDP**  
**Project No. 614351**  
**April 17, 2019**



# MAROUF RESIDENCE

2465 HIDDEN VALLEY RD  
LA JOLLA, CA 92037



## Marengo Morton Architects

7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
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REVISIONS  
6-25-2018 PROJECT START  
08-02-2018 COMPLETENESS CHECK  
11-17-2018 REVIEW CYCLE ISSUE



PHASE  
COASTAL

PROJECT NO. 2017-31

REVIEWED BY CAM

DRAWN BY LF

DATE 11/14/2018

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SHEET TITLE  
TITLE SHEET

T-1

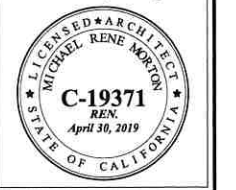
VICINITY MAP	SCOPE OF WORK	PROJECT DATA																																																												
	<p><b>PROJECT SCOPE</b></p> <p>CREATING A COMPANION ACCESSORY UNIT BY ENCLOSED THE EXISTING COVERED DECK OF 1,200 SQ. FT. OF EXISTING UNIT.</p> <p>AMEND THE COASTAL DEVELOPMENT PERMIT CDP APPROVAL # 1586701 / SDP APPROVAL # 1586703</p>	<p><b>PROJECT INFORMATION</b></p> <p>PROJECT ADDRESS: 2465 HIDDEN VALLEY RD LA JOLLA, CA 92037</p> <p>ASSESSORS PARCEL NUMBER: 346-531-11-00</p> <p>LEGAL DESCRIPTION: LOT 1 OF VALLEY SQUARE OF MAP 3331</p> <p>YEAR BUILT: 1970</p> <p>BUILDING CODE: CALIFORNIA RESIDENTIAL CODE (CRC), 2016 EDITION &amp; ASSOCIATED AMENDMENTS IN SDMC. CALIFORNIA BLDG. CODE (CBC) BASED ON 2016 IBC. NATIONAL ELECTRICAL CODE (NEC), 2016 EDITION NATIONAL MECHANICAL CODE (CMC), 2016 EDITION CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION SAN DIEGO COUNTY MUNICIPAL CODE (SDC), PROJECT SHALL COMPLY WITH TITLE 24 AND 2016 CBC, 2016 CMC AND 2016 SPC AND THE 2016 CEC.</p> <p>OCCUPANCY TYPE: R-3</p> <p>NUMBER OF DWELLINGS: 1 SDU</p> <p>CONSTRUCTION TYPE: TYPE V-B</p> <p>NUMBER OF STORIES: EXISTING SINGLE STORY / PROPOSED TWO STORY OVER PARKING &amp; ROOF DECK</p> <p>LOT AREA: 12,650 S.F.</p> <p>ZONING INFORMATION: L1SPD-SF</p> <p>OVERLAY ZONES: Coastal Height Limit, Coastal City</p> <p>GEO HAZARD ZONE: 22</p> <table border="1"> <thead> <tr> <th>SETBACKS</th> <th>ALLOWED</th> <th>PROPOSED</th> <th>DIFFERENCE</th> </tr> </thead> <tbody> <tr> <td>FRONT (STREET FRONTAGE):</td> <td>20'-0"</td> <td>0'-0"</td> <td>0'-0"</td> </tr> <tr> <td>INTERIOR SIDE:</td> <td>0.8 of PL width</td> <td>0'-0"</td> <td>0'-0"</td> </tr> <tr> <td>REAR:</td> <td>25'-0"</td> <td>0'-0"</td> <td>0'-0"</td> </tr> <tr> <td>BUILDING HEIGHT LIMITATIONS:</td> <td>30'-0"</td> <td>25'-0"</td> <td>0'-0"</td> </tr> <tr> <td>Max. FLOOR AREA RATIO (F.A.R.):</td> <td>0.52</td> <td>0.34</td> <td></td> </tr> <tr> <td>PARKING SPACES:</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>BUILDING AREAS:</th> <th>EXISTING</th> <th>ADDITION</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>EX. RESIDENCE</td> <td>2,549 S.F.</td> <td>0.00 S.F.</td> <td>2,549 S.F.</td> </tr> <tr> <td>EX. COMPANION UNIT</td> <td>698 S.F.</td> <td>550 S.F.</td> <td>1,248 S.F.</td> </tr> <tr> <td>GARAGE</td> <td>1,165 S.F.</td> <td>0.00 S.F.</td> <td>1,165 S.F.</td> </tr> <tr> <td>TOTAL AREA:</td> <td>4,412 S.F.</td> <td>550 S.F.</td> <td>4,962 S.F.</td> </tr> <tr> <td>SECOND FLOOR DECK AREA</td> <td>0.00 S.F.</td> <td>0.00 S.F.</td> <td>0.00 S.F.</td> </tr> <tr> <td>ROOF DECK AREA</td> <td>0.00 S.F.</td> <td>0.00 S.F.</td> <td>0.00 S.F.</td> </tr> <tr> <td>TOTAL</td> <td>0.00 S.F.</td> <td>0.00 S.F.</td> <td>0.00 S.F.</td> </tr> </tbody> </table> <p>LANDSCAPE REQUIRED: 0.00 S.F. LANDSCAPE PROVIDED: 7,810 S.F.</p> <p>LOT AREA: 12,650 S.F. PROPOSED F.A.R.: 4,962 S.F. (0.39 F.A.R.) ALLOWABLE F.A.R.: 6,578 S.F. EXISTING IMPERVIOUS AREA: 4,722 S.F. PROPOSED IMPERVIOUS AREA: 4,722 S.F. (-0.00 S.F.)</p>	SETBACKS	ALLOWED	PROPOSED	DIFFERENCE	FRONT (STREET FRONTAGE):	20'-0"	0'-0"	0'-0"	INTERIOR SIDE:	0.8 of PL width	0'-0"	0'-0"	REAR:	25'-0"	0'-0"	0'-0"	BUILDING HEIGHT LIMITATIONS:	30'-0"	25'-0"	0'-0"	Max. FLOOR AREA RATIO (F.A.R.):	0.52	0.34		PARKING SPACES:				BUILDING AREAS:	EXISTING	ADDITION	TOTAL	EX. RESIDENCE	2,549 S.F.	0.00 S.F.	2,549 S.F.	EX. COMPANION UNIT	698 S.F.	550 S.F.	1,248 S.F.	GARAGE	1,165 S.F.	0.00 S.F.	1,165 S.F.	TOTAL AREA:	4,412 S.F.	550 S.F.	4,962 S.F.	SECOND FLOOR DECK AREA	0.00 S.F.	0.00 S.F.	0.00 S.F.	ROOF DECK AREA	0.00 S.F.	0.00 S.F.	0.00 S.F.	TOTAL	0.00 S.F.	0.00 S.F.	0.00 S.F.
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<p><b>PROJECT TEAM</b></p> <p><b>OWNERS'</b> Kaid Marouf 2465 Hidden Valley rd La Jolla, CA 92037</p> <p><b>ARCHITECT</b> Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo cmarengo@smac-ll.com Cell: (619) 417-1111</p>	<p><b>SHEET INDEX</b></p> <p>T-1.1 TITLE SHEET A-0.0 EXISTING TOPOGRAPHY A-1.1 PROPOSED SITE PLAN A-2.1 PROPOSED FIRST FLOOR PLAN A-2.2 PROPOSED SECOND FLOOR PLAN A-4.1 ROOF PLAN A-5.1 EXTERIOR ELEVATION A-5.2 EXTERIOR ELEVATION A-5.3 EXTERIOR ELEVATION A-5.4 EXTERIOR ELEVATION A-6.1 BUILDING SECTION A-6.2 BUILDING SECTION L-1.0 LANDSCAPE PLAN</p>																																																													





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MAROUF RESIDENCE  
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REVISIONS  
6-25-2018 PROJECT START  
08-02-2018 COMPLETENESS CHECK  
11-17-2018 REVIEW CYCLE ISSUE



PHASE COASTAL

PROJECT NO. 2017-31

REVIEWED BY CAM

DRAWN BY LF

DATE 11/14/2018

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OWNERS STATEMENT

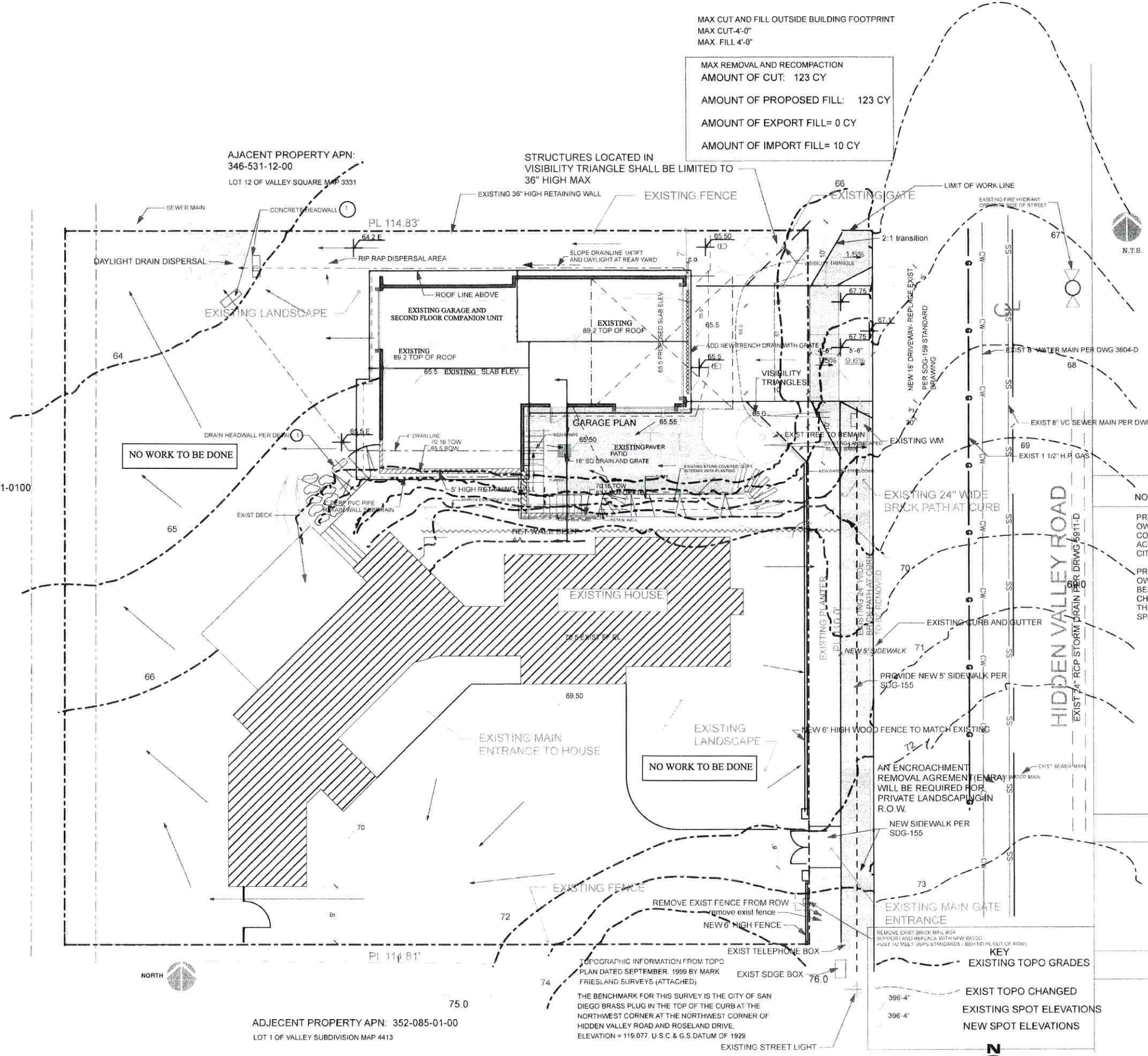
SHEET TITLE  
EXISTING TOPOGRAPHY

# A-0

MAX CUT AND FILL OUTSIDE BUILDING FOOTPRINT  
MAX CUT-4'-0"  
MAX FILL 4'-0"  
  
MAX REMOVAL AND RECOMPACTION  
AMOUNT OF CUT: 123 CY  
AMOUNT OF PROPOSED FILL: 123 CY  
AMOUNT OF EXPORT FILL= 0 CY  
AMOUNT OF IMPORT FILL= 10 CY

AJACENT PROPERTY APN: 346-531-12-00  
LOT 12 OF VALLEY SQUARE MAP 3331

STRUCTURES LOCATED IN VISIBILITY TRIANGLE SHALL BE LIMITED TO 36" HIGH MAX



NO WORK TO BE DONE

NO WORK TO BE DONE

NOTES  
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP) THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.  
PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

- DIG ALERT 1-800-227-2600
1. THE SERVICE IS FREE. TOLL FREE PHONE NUMBER
  2. NOTIFY UNDERGROUND SERVICE ALERT TWO WORKING DAYS PRIOR TO ANY EXCAVATION
  3. DELINEATE PROPOSED EXCAVATION AREA
  4. LOCATE UTILITIES. HAND EXPOSE TO THE POINT OF NO CONFLICT

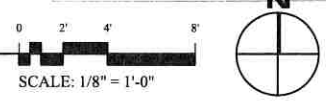
KEY  
EXISTING TOPO GRADES  
EXIST TOPO CHANGED  
EXISTING SPOT ELEVATIONS  
NEW SPOT ELEVATIONS

TOPOGRAPHIC INFORMATION FROM TOPO PLAN DATED SEPTEMBER, 1999 BY MARK FRIELAND SURVEYS (ATTACHED)  
THE BENCHMARK FOR THIS SURVEY IS THE CITY OF SAN DIEGO BRASS PLUG IN THE TOP OF THE CURB AT THE NORTHWEST CORNER AT THE NORTHWEST CORNER OF HIDDEN VALLEY ROAD AND ROSELAND DRIVE. ELEVATION = 119.077 U.S.C. & G.S. DATUM OF 1929

AJACENT PROPERTY APN: 352-085-01-00  
LOT 1 OF VALLEY SUBDIVISION MAP 4413

# 1 EXISTING TOPOGRAPHY

SCALE: 1/8" = 1'-0"



S:\Projects\2017\Projects\2017-31\_Marouf\_Residence\CAD\Drawings\Architectural\Coastal\Phase\SheetA-0\_TDR0.dwg, Nov. 14, 2018, 4:31 pm





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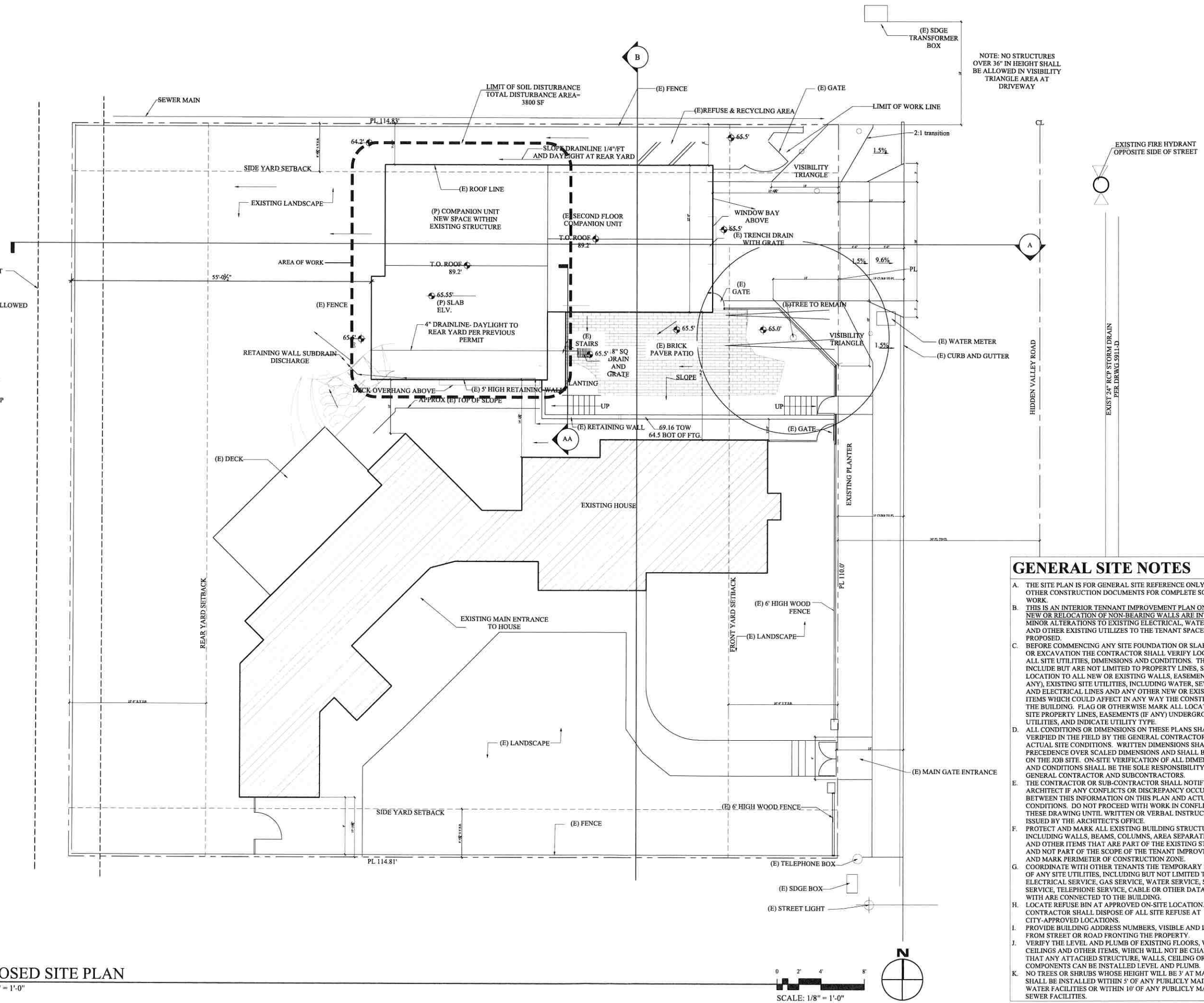
DRAWN BY LF

DATE 11/14/2018

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SHEET TITLE  
PROPOSED  
SITE PLAN

A-1.1



NOTE: NO STRUCTURES OVER 36" IN HEIGHT SHALL BE ALLOWED IN VISIBILITY TRIANGLE AREA AT DRIVEWAY

### GENERAL SITE NOTES

- THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- THIS IS AN INTERIOR TENANT IMPROVEMENT PLAN ONLY, ONLY NEW OR RELOCATION OF NON-BEARING WALLS ARE INVOLVED. MINOR ALTERATIONS TO EXISTING ELECTRICAL, WATER, PHONE AND OTHER EXISTING UTILITIES TO THE TENANT SPACE ARE PROPOSED.
- BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
- THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT'S OFFICE.
- PROTECT AND MARK ALL EXISTING BUILDING STRUCTURE INCLUDING WALLS, BEAMS, COLUMNS, AREA SEPARATION WALLS, AND OTHER ITEMS THAT ARE PART OF THE EXISTING STRUCTURE AND NOT PART OF THE SCOPE OF THE TENANT IMPROVEMENT, AND MARK PERIMETER OF CONSTRUCTION ZONE.
- COORDINATE WITH OTHER TENANTS THE TEMPORARY SHUT-OFF OF ANY SITE UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL SERVICE, GAS SERVICE, WATER SERVICE, SEWER SERVICE, TELEPHONE SERVICE, CABLE OR OTHER DATA LINKS WITH ARE CONNECTED TO THE BUILDING.
- LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.
- VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS, WHICH WILL NOT BE CHANGED, SO THAT ANY ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

1 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"



S:\Projects\2017\Projects\2017-31 Marouf Residence\CAD\Drawings\Architectural\Coastal\Phase\Sheet\A-1.1 Proposed Site Plan.dwg, Rev. 11/14/2018, 4:48pm

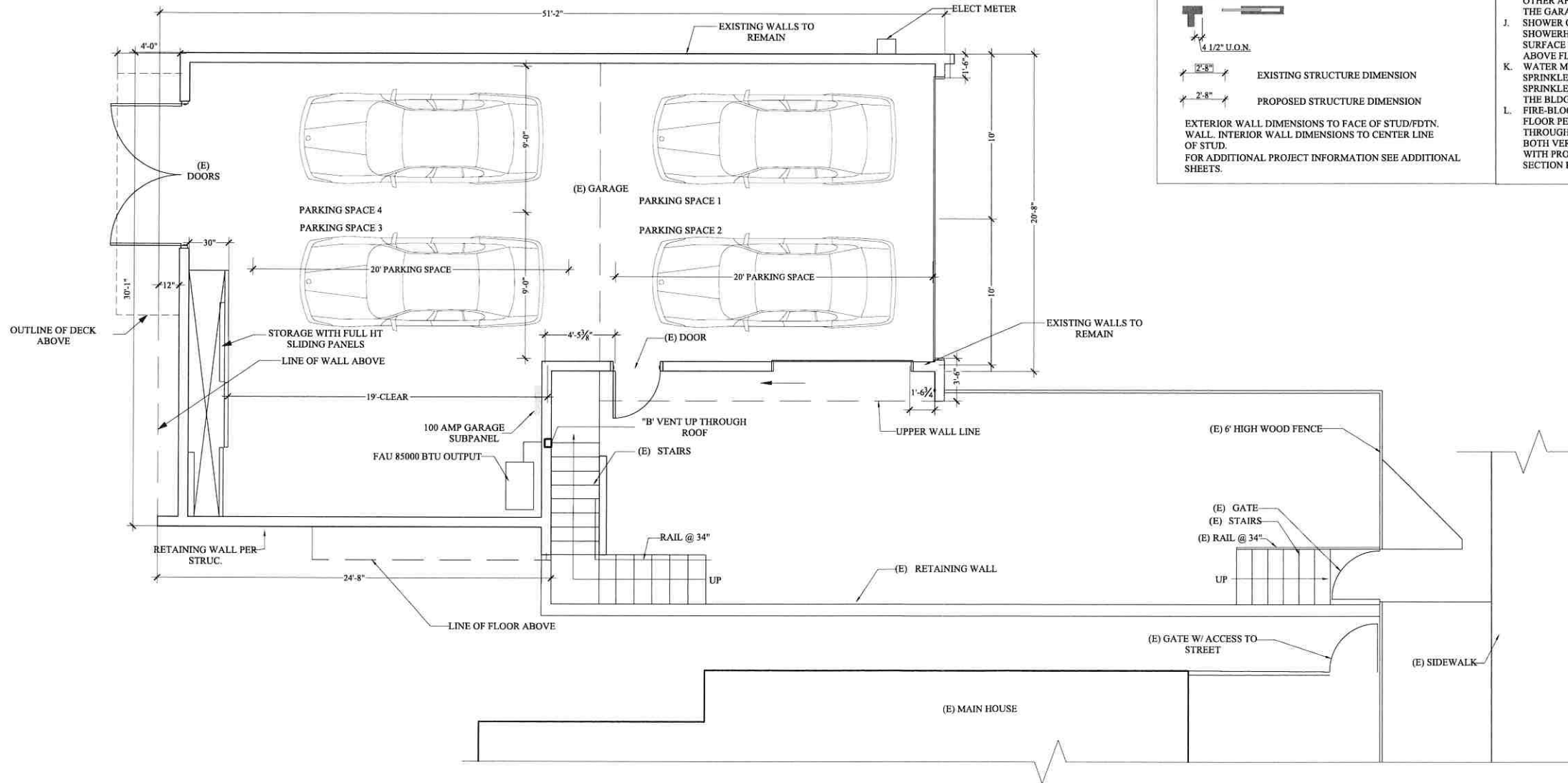


**FLOOR PLAN LEGEND**

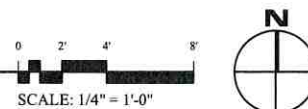
- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
  - NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
  - ONE HOUR CONSTRUCTION**  
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE DETAIL 5/A10.3.
  - NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
  - NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
  - SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
  - FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
  - FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
  - PROPOSED EXTERIOR LIGHTING
  - NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
  - EXISTING STRUCTURE DIMENSION
  - PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FTDN, WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.
- FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

**FLOOR PLAN NOTES**

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- B. REFER TO SITE PLAN FOR SITE AND UTILITY INFO.
- C. FOR DOOR AND WINDOWS SEE SCHEDULES ON A-8.1
- D. INSULATION: R-13 BATT INSULATION AT ALL NEW EXTERIOR 2X4 WALLS.  
R-19 BATT INSULATION AT ALL NEW 2X6 EXTERIOR WALLS AND RAISED FLOOR AREAS  
R-13 BATT INSULATION AT ALL ACCESSIBLE INTERIOR WALLS FOR SOUND CONTROL.  
R-30 BATT INSULATION AT CEILING & ROOF AREAS.  
R-4.5 INSULATION WRAP ON ALL NEW HOT WATER PIPING.  
R-4.5 INSULATION WRAP ON ALL NEW SUPPLY DUCTS.
- E. SMOKE DETECTORS: SHALL BE INSTALLED IN EACH BEDROOM AND ON ACCESS POINT TO EACH SLEEPING AREA AND ON EACH STORY AND BASEMENTS. DETECTOR SHALL HAVE AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.2. UNIT SHALL BE PERMANENTLY WIRED AND EQUIPPED WITH BATTERY BACKUP. C.B.C. SEC. 310.9.1.3.
- F. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.
- G. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- H. WHOLE BUILDING VENTILATION: INDOOR AIR QUALITY EXHAUST FAN WITH VENTILATION RATE OF 120 CFM.
- I. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO.26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE.
- J. SHOWER COMPARTMENT & BATHTUBS W/ INSTALLED SHOWERHEADS SHALL BE FINISHED W/ A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FT ABOVE FLR. CRC R307.2
- K. WATER METERS FOR COMBINED DOMESTIC WATER & FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BLDG OFFICIAL.
- L. FIRE-BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATIONS SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.



**EXISTING FIRST FLOOR PLAN (1165 SF) (FOR REFERENCE ONLY)**  
SCALE: 1/4" = 1'-0"



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PHASE COASTAL

PROJECT NO. 2017-31

REVIEWED BY CAM

DRAWN BY LF

DATE 11/14/2018

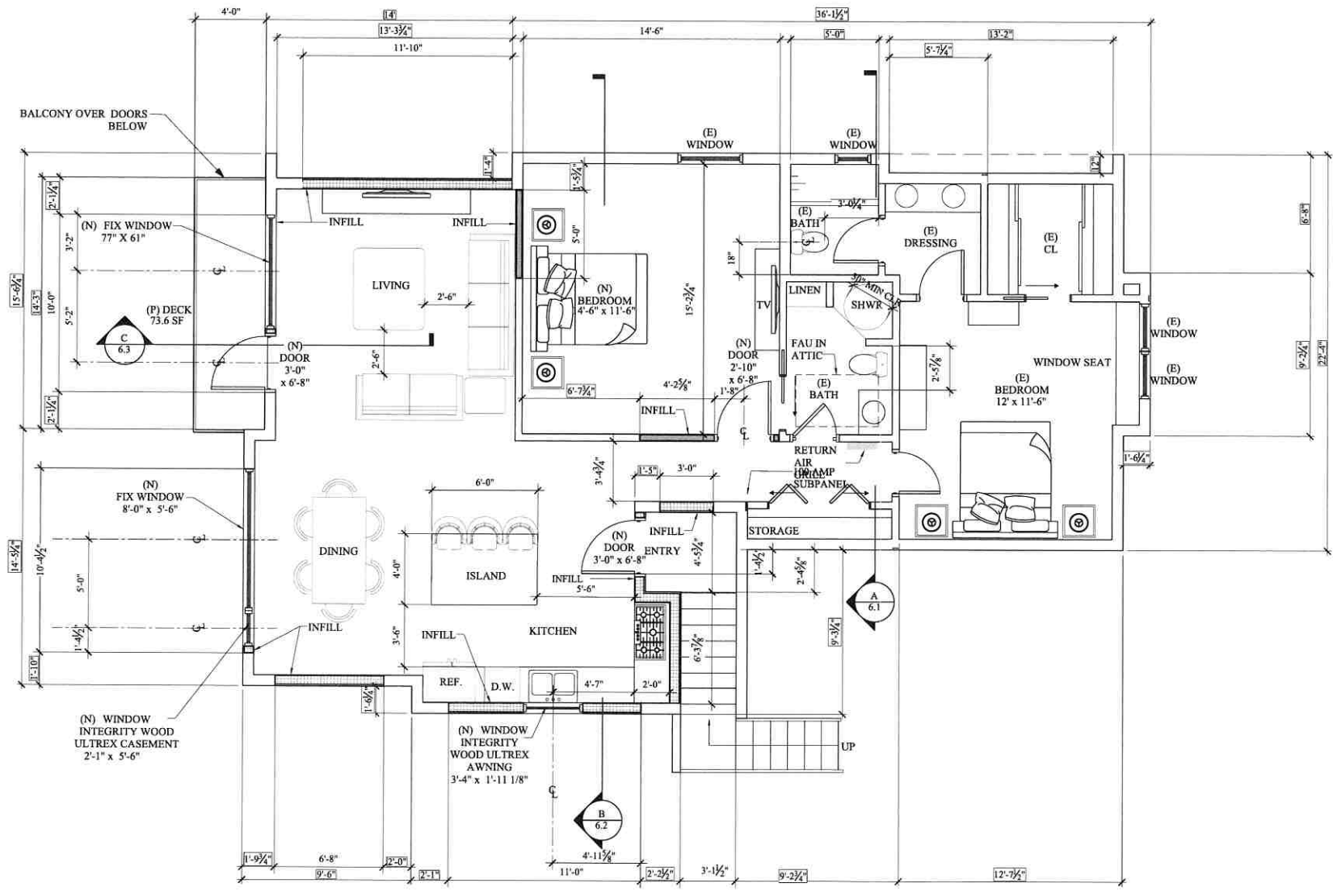
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SHEET TITLE  
PROPOSED  
FIRST FLOOR  
PLAN

**A-2.1**

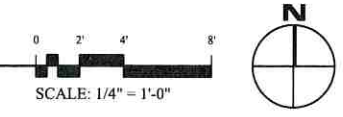


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NOTE:  
 OUTLINE OF STRUCTURE IS EXISTING. IN-FILLED ROOFED PATIO OPENINGS WITH  
 WINDOWS TO CREATE NEW SPACE WITHIN EXISTING STRUCTURE.  
 MAX. ALLOWED AREA: 1,200 S.F.  
 PROPOSED AREA: 1,165 S.F.

**PROPOSED SECOND FLOOR PLAN (1,165 SF)**  
 SCALE: 1/4" = 1'-0"

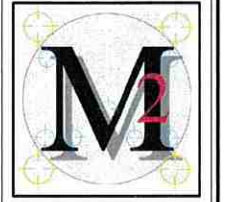


**FLOOR PLAN NOTES**

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK. IN QUESTION.
- B. REFER TO SITE PLAN FOR SITE AND UTILITY INFO.
- C. FOR DOOR AND WINDOWS SEE SCHEDULES ON A-8.1
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**FLOOR PLAN LEGEND**

- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
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  - NEW DOOR INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
  - 4 1/2" U.O.N.
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  - EXISTING STRUCTURE DIMENSION
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- EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.  
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REVISIONS:  
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PHASE: COASTAL

PROJECT NO. 2017-31

REVIEWED BY: CAM

DRAWN BY: LF

DATE: 11/14/2018

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SHEET TITLE: PROPOSED SECOND FLOOR PLAN

**A-2.2**



### STORM DRAINAGE NOTES

1. THE PRIMARY STORM DRAINAGE SYSTEM SHALL CONNECT TO THE BUILDING STORM WATER THAT CONNECTS TO AN UNDERGROUND PUBLIC STORM SEWER.
2. THE SECONDARY ROOF DRAINAGE SYSTEM SHALL DISCHARGE ABOVE GRADE, IN A LOCATION OBSERVABLE BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL.

### HEIGHT NOTES

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
2. NO PORTION OF THE PROPOSED STRUCTURE WILL EXCEED THE EXISTING BUILDING HEIGHT. PROPOSED HEIGHT TO BE FIELD VERIFIED TO ENSURE COMPLIANCE.

### ROOF NOTES

1. ROOFING UNDERLAYMENT SLOPE 3:12 OR LESS: "ICE AND WATER SHIELD" BY W.R. GRACE, ESR-1677, OR "WINTER GUARD HT" BY CERTAIN TEED CORP. ESR-1492 (OR ARCHITECT APPROVED EQUAL). INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL A #40 FIBERGLASS REINFORCED FELT SHEET OVER ROOF MEMBRANE.
2. COUNTER-SLOPES: 1/2" PER 12" (MINIMUM) TOWARDS DRAINS CREATED USING G-26 (LATEX-CEMENT) FLOORING UNDERLAYMENT BY CROSSFIELD PRODUCTS CORP.
3. ROOF EDGE DRIP, METAL FLASHING, PANEL CLIPS AND COUNTER FLASHING: ALL EXTERIOR FLASHING TO BE 16 OZ COPPER UNLESS OTHERWISE NOTED. SOLDER OR SEAL ALL SEAMS. HEM ALL EXPOSED EDGES.
4. BUILT-UP ROOFING SYSTEM: BY GAF, GAFGLAS 4-PLY HOT MOPPED MODIFIED BITUMEN MINERAL SURFACED ROOFING SYSTEM. PROVIDE A 1/2" PER FOOT MINIMUM ROOF SLOPE. INSTALL PER MANUFACTURER'S INSTRUCTION. ROOFING SYSTEM SHALL HAVE A MINIMUM 10 YEAR LABOR AND MATERIAL WARRANTY. PER SPECIFICATION DIVISION 7.1, SECTION 6. FOR FLASHING, "SPRINGLOK" FLASHING SYSTEM, TYPE STX BY FRY REGLET CORP. MATERIAL 26 GA. PROVIDE "WINDLOK" CLIPS AND PREFABRICATED MITERED CORNER SECTIONS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ROOFING SYSTEM SHALL BE A UL CLASS "A" RATED. ICC REPORT UL ER 1306-02.
5. PLUMBING VENT: ABS PLASTIC TO BE FLASHED WITH CARLISLE SYNTEC TPO PRE-MOLDED PIPE FLASHING.
6. PARAPET, TRANSITIONS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING: MEMBRANE WATERPROOFING SHALL BE JIFFY SEAL 140/60 BY PROTECTO WRAP. EXTEND MEMBRANE A MINIMUM OF 6" BELOW EDGE OF PARAPET, EACH SIDE. PROVIDE A MINIMUM END LAP OF 4" OVER ADJOINING MEMBRANE SHEETS. WHERE MEMBRANE ABUTS VERTICAL SURFACES, THE MEMBRANE SHALL EXTEND 6" UP SURFACE, AND BE OVERLAPPED BY BUILDING WRAP. ESR-1127.
7. ROOF DRAIN, ROOF DRAIN SHALL BE TPO-RD2NH - 2" TPO-CLAD NO-HUB BOTTOM OUTLET DRAIN BY THUNDERBOLT PRODUCTS WITH A B.S. DOME STRAINER. TELEPHONE (800) 458-2473. PROVIDE 3" I.D. ABS DRAIN LINES WITH MIN 1/2" SLOPE. CONNECT TO BUILDING STORM WATER.
8. FIREPLACE VENT: FIREPLACE VENT SHALL BE TYPE B STAINLESS STEEL AS REQUIRED BY FIREPLACE MANUFACTURER. MINIMUM SIZE MESH IN SPARK ARRESTOR SHALL BE 1/2". MESH SHALL BE STAINLESS STEEL OR COPPER.
9. ROOF VENT: TPO PRE-MOLDED ROOF VENTING SEE DETAIL 6/A-10.4.1
10. CLAY TILE ROOFING: ROOFING SHALL BE TWO-PIECE MISSION TILE TO BE "CAMEL BLEND" BY US TILE. ESR-1017. PROVIDE A 3"x3" SAMPLE OF MOCK OF TILE PATTERN AND COLOR FOR OWNER AND ARCHITECTS APPROVAL PRIOR TO ORDERING MATERIAL. INSTALL WITH RANDOM EXPOSURE PATTERN. PROVIDE 20% RANDOM FIELD BOOSTERS. INSTALL PER MANUFACTURER'S INSTRUCTIONS OVER 40# ROOFING FELT UNDERLAYMENT AT ROOF WITH A MINIMUM OF 3 TO 12 SLOPE. ALL ROOFING MATERIALS SHALL BE CLASS "A".
11. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
12. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
13. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019" (#26 COPPER GAUGE) CORROSION-RESISTANT METAL. INSTALLED OVER A MIN 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
14. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS.
15. ENCLOSED RAFTER ASSEMBLIES NOT REQUIRED TO BE VENTED PER CRC R806.5.
16. THE ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING THAT IS AT LEAST CLASS 'A' WHEN THE AREA OF THE ADDITION TO THE EXISTING BUILDING IS MORE THAN TWENTY-FIVE PERCENT (25%) OF THE ORIGINAL FLOOR AREA OF THE BUILDING (SDMC 149.0902(A)(2)).



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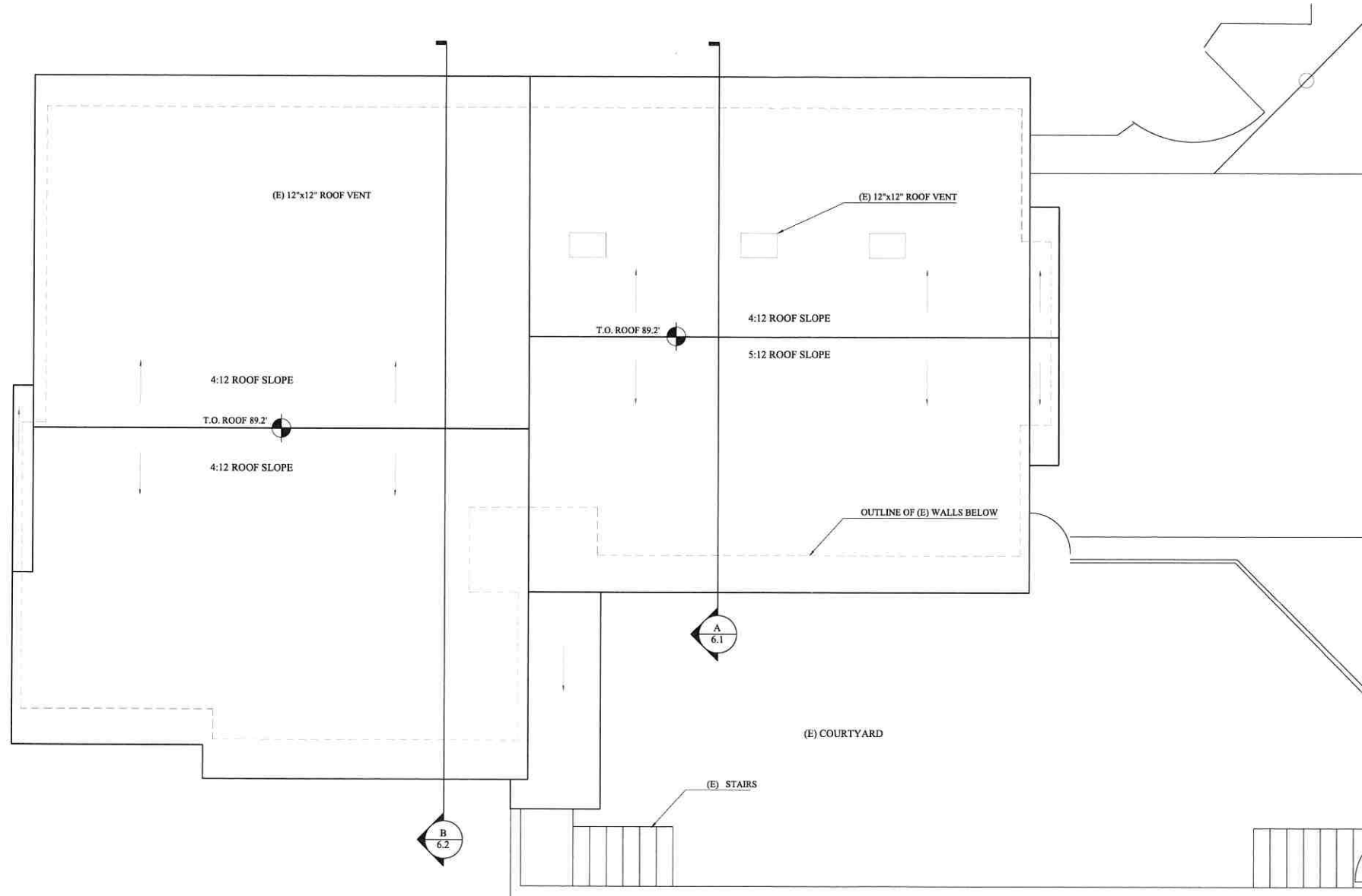
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DATE 11/14/2018

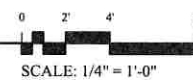
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SHEET TITLE: EXISTING ROOF PLAN

A-4.1



1 EXISTING ROOF PLAN (FOR REFERENCE ONLY)  
SCALE: 1/4" = 1'-0"

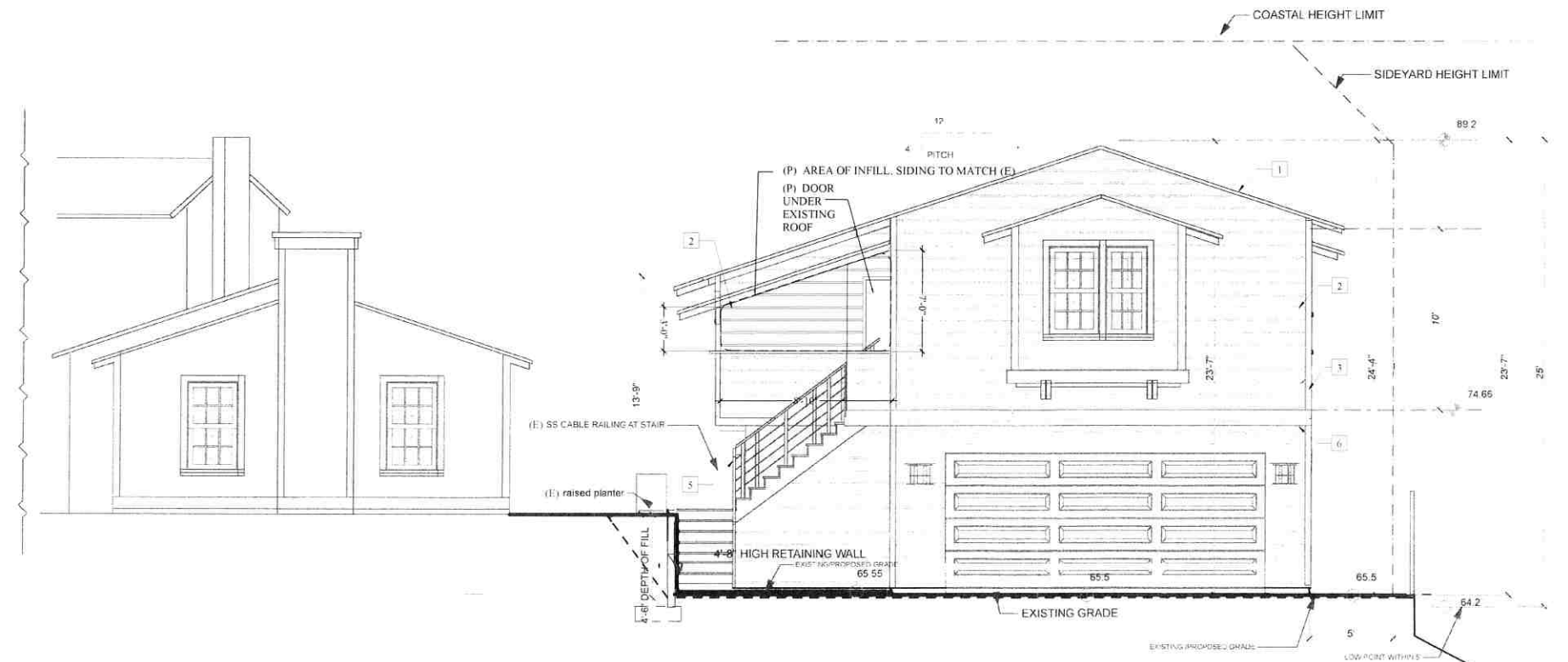


## ELEVATION NOTES

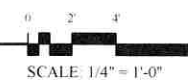
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- B. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION.
- C. REFER TO SHEET A-6.1 AND A-6.2 FOR BUILDING SECTIONS.
- D. FOR DOOR AND WINDOWS SEE SCHEDULES ON SHEET A-8.1 AND A-8.2. ALL WINDOWS REQUIRED FOR EMERGENCY EXITING PER C.B.C. SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR, AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISIONS TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION.
- E. INSTALL PLASTER CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS. IF JOINTS ARE NOT SHOWN, SEE SHEET SP-2 DIV. 09-200 3B CRITERIA WITH THE APPROVAL OF THE ARCHITECT FOR LOCATIONS.
- F. A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN TWO FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED.

## EXTERIOR MATERIALS

- 1 "MALARKEY" COMPOSITION ASPHALT ROOF TILES, ESR 3150
- 2 HORIZONTAL WOOD SIDING, COLOR TO MATCH EXISTING
- 3 1X4 WOOD TRIM, PAINTED
- 4 CANTILEVERED WOOD TRELLIS, PAINTED
- 5 STAINLESS STEEL CABLE RAILING
- 6



1 PROPOSED FRONT ELEVATION (EAST)  
SCALE: 1/4" = 1'-0"



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Claude Anthony Marengo DRA



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MAROUF RESIDENCE  
2465 HIDDEN VALLEY RD  
LA JOLLA, CA 92037

REVISED: N/A  
06-25-2018 PROJECT START  
08-02-2018 COMPLETENESS CHECK  
11-17-2018 REVIEW CYCLE ISSUE



PHASE: COASTAL

PROJECT NO.: 2017-31

REVIEWED BY: CAM

DRAWN BY: LF

DATE: 11/14/2018

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SHEET TITLE: PROPOSED EXTERIOR ELEVATIONS

A-5.1

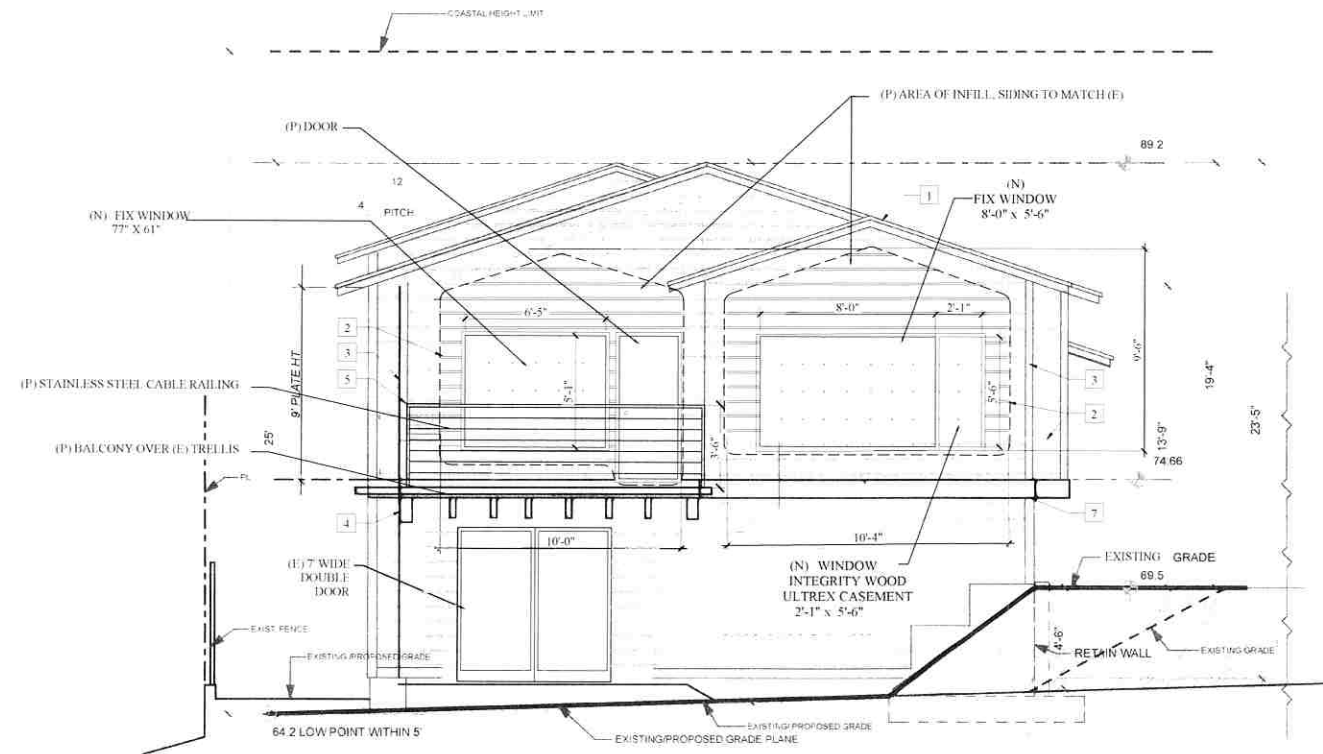


## ELEVATION NOTES

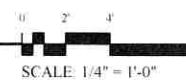
- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
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- C. REFER TO SHEET A-6.1 AND A-6.2 FOR BUILDING SECTIONS.
- D. FOR DOOR AND WINDOWS SEE SCHEDULES ON SHEET A-8.1 AND A-8.2. ALL WINDOWS REQUIRED FOR EMERGENCY EXITING PER C.B.C. SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR, AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISIONS TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION.
- E. INSTALL PLASTER CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS. IF JOINTS ARE NOT SHOWN, SEE SHEET SP-2 DIV. 09-200 3B CRITERIA WITH THE APPROVAL OF THE ARCHITECT FOR LOCATIONS. A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN TWO FEET OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED.

## EXTERIOR MATERIALS

- 1 "MALARKEY" COMPOSITION ASPHALT ROOF TILES; ESR 3150
- 2 HORIZONTAL WOOD SIDING, COLOR TO MATCH EXISTING
- 3 1X4 WOOD TRIM, PAINTED
- 4 CANTILEVERED WOOD TRELLIS, PAINTED
- 5 STAINLESS STEEL CABLE RAILING
- 6



1 PROPOSED REAR ELEVATION (WEST)  
SCALE: 1/4" = 1'-0"



## Marengo Morton Architects

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11-17-2018 REVIEW CYCLE ISSUE



PHASE: COASTAL

PROJECT NO: 2017-31

REVIEWED BY: CAM

DRAWN BY: LF

DATE: 11/14/2018

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SHEET TITLE: PROPOSED  
EXTERIOR  
ELEVATIONS

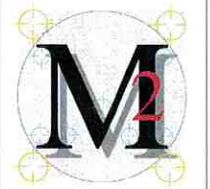
A-5.2

### ELEVATION NOTES

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### EXTERIOR MATERIALS

- 1 "MALARKEY" COMPOSITION ASPHALT ROOF TILES, ESR 3150
- 2 HORIZONTAL WOOD SIDING, COLOR TO MATCH EXISTING
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PHASE COASTAL

PROJECT NO. 2017-31

REVIEWED BY CAM

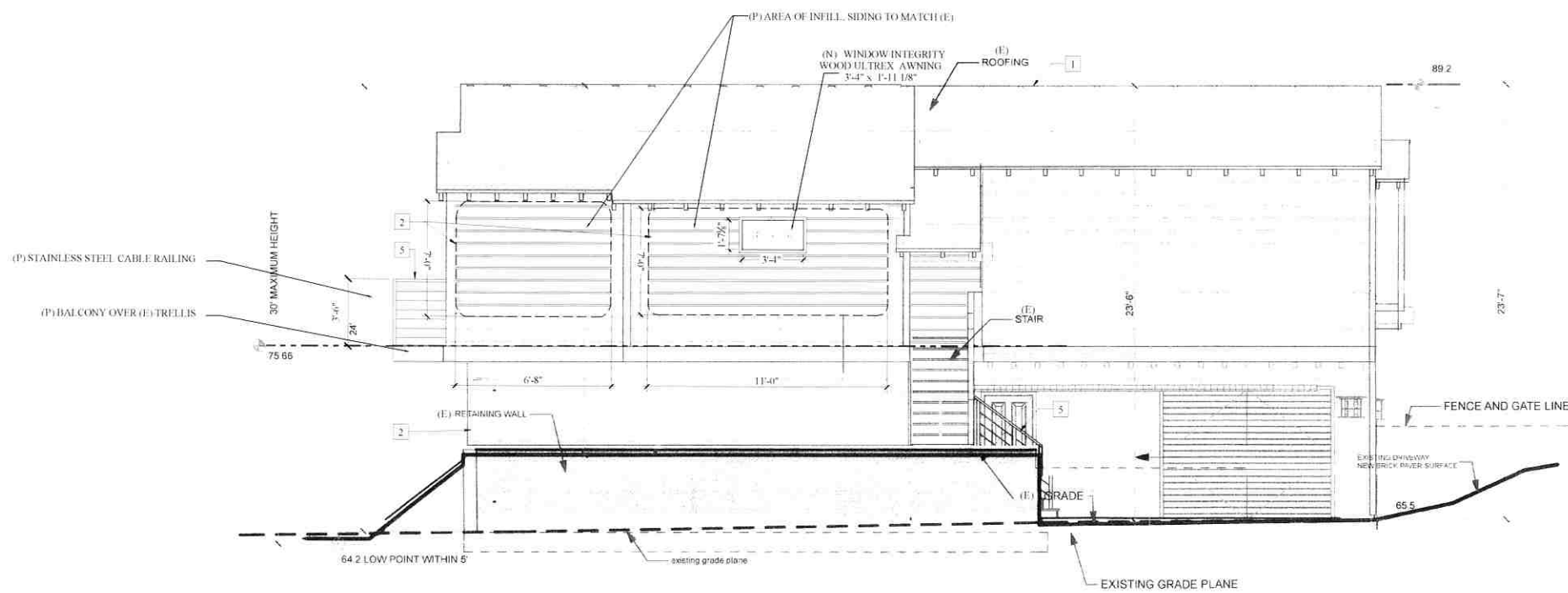
DRAWN BY LF

DATE 11/14/2018

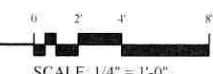
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SHEET TITLE PROPOSED EXTERIOR ELEVATIONS

A-5.3



1 PROPOSED SIDE ELEVATION (SOUTH)  
SCALE: 1/4" = 1'-0"







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REVISIONS:  
06-25-2018 PROJECT START  
08-02-2018 COMPLETENESS CHECK  
11-17-2018 REVIEW CYCLE ISSUE



PHASE: COASTAL

PROJECT No. 2017-31

REVIEWED BY: CAM

DRAWN BY: LF

DATE: 11/14/2018

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SHEET TITLE: PROPOSED EXTERIOR ELEVATIONS

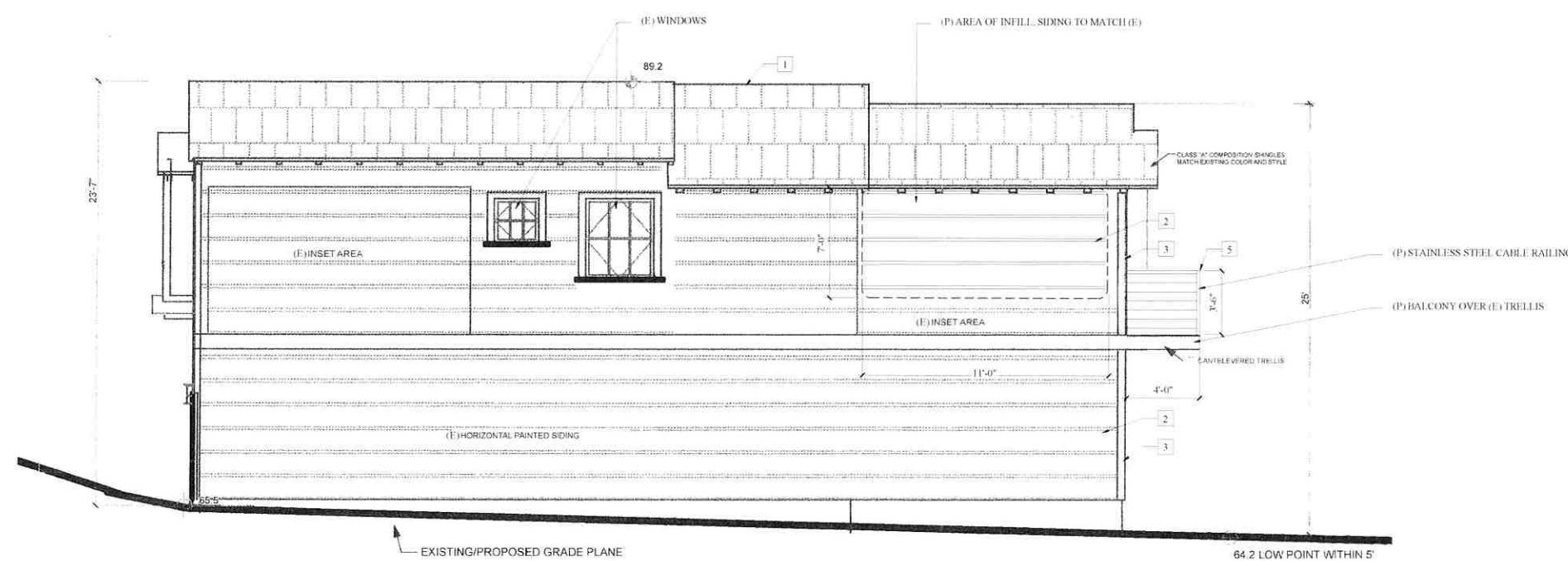
A-5.4

**ELEVATION NOTES**

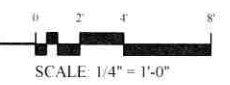
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**EXTERIOR MATERIALS**

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- 2 HORIZONTAL WOOD SIDING, COLOR TO MATCH EXISTING
- 3 1X4 WOOD TRIM, PAINTED
- 4 CANTILEVERED WOOD TRELLIS, PAINTED
- 5 STAINLESS STEEL CABLE RAILING
- 6



1 PROPOSED SIDE ELEVATION (NORTH)  
SCALE: 1/4" = 1'-0"





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PHASE **COASTAL**

PROJECT NO. **2017-31**

REVIEWED BY **CAM**

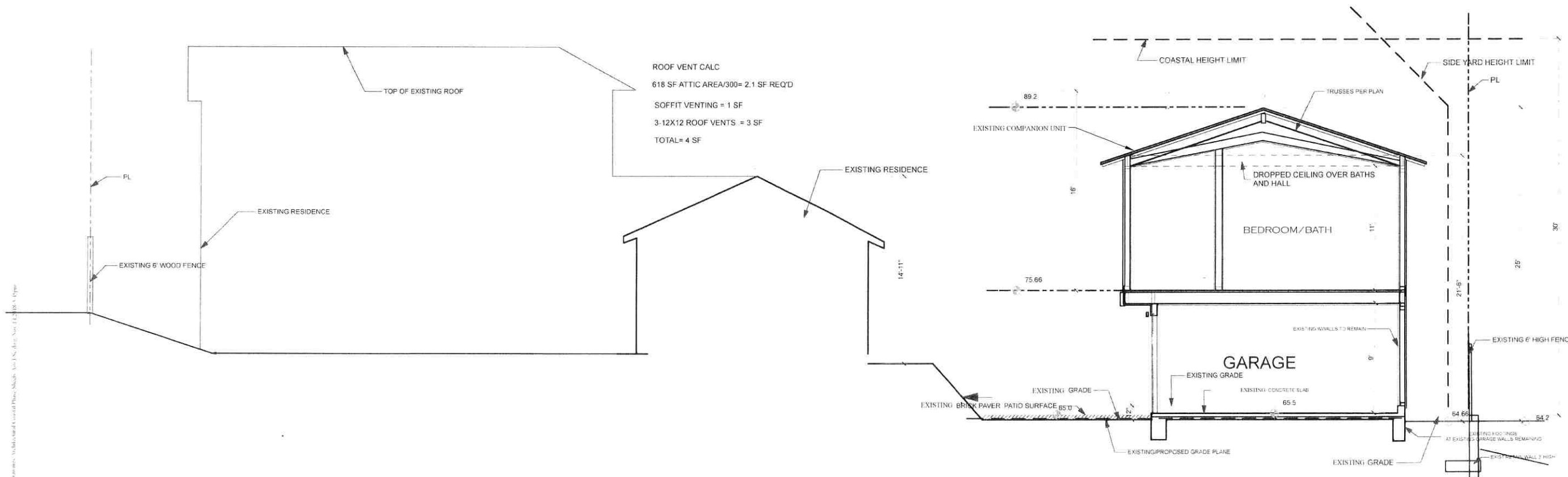
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DATE **11/14/2018**

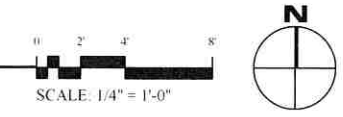
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SHEET TITLE **PROPOSED SECTION**

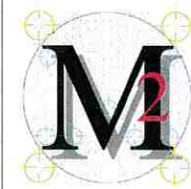
**A-6.1**



**A SECTION**  
SCALE: 1/4" = 1'-0"



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08-02-2018 COMPLETENESS CHECK  
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PHASE COASTAL

PROJECT NO. 2017-31

REVIEWED BY CAM

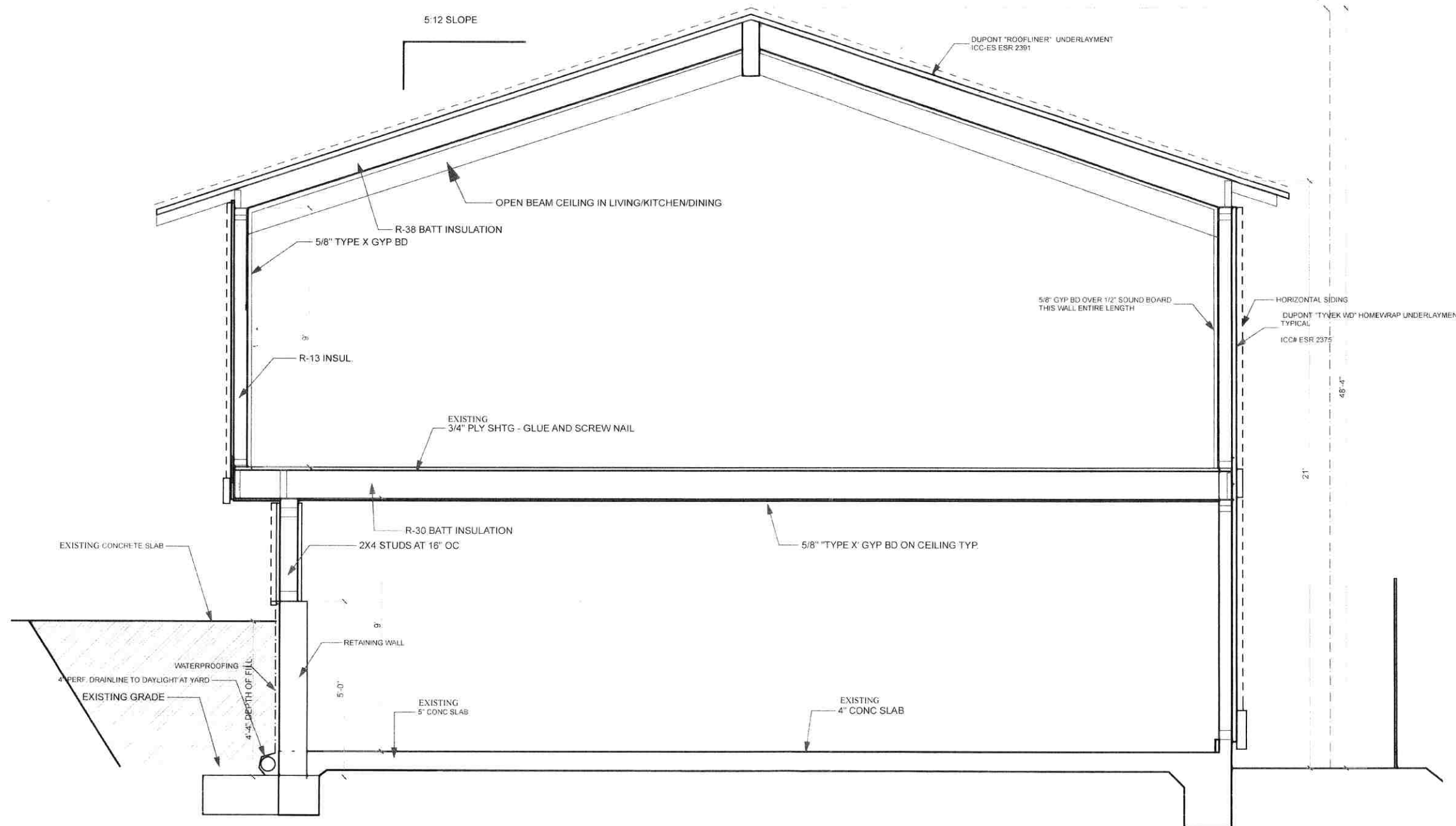
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DATE 11/14/2018

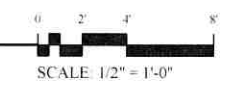
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SHEET TITLE PROPOSED SECTION

A-6.2

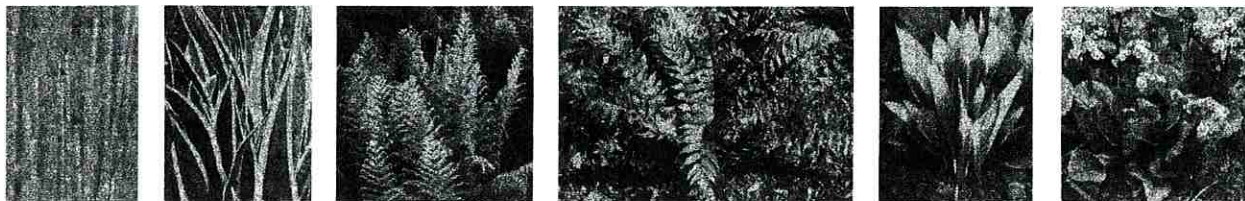


**B** SECTION (FOR REFERENCE ONLY. STRUCTURE IS EXISTING)  
SCALE: 1/2" = 1'-0"



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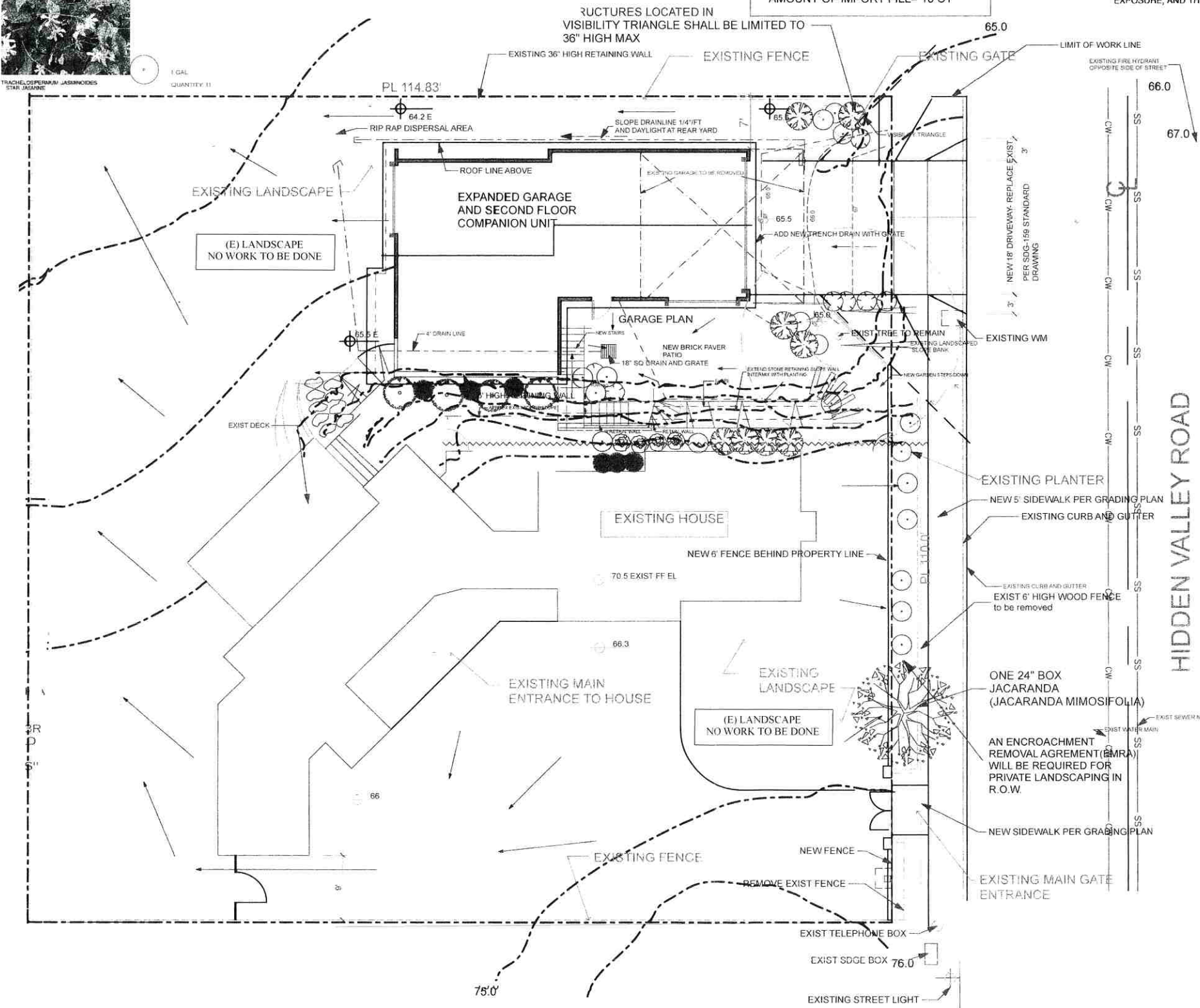




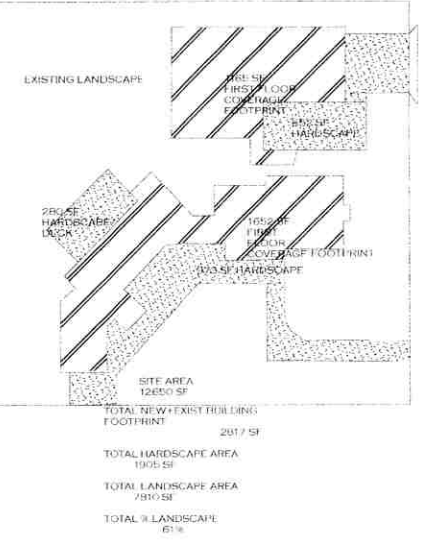
EQUISETUM HYEMALE HORSETAIL 5 GAL QUANTITY: 6  
 SANSEVIERIA TRIFASCIATA MOTHER-IN-LAW'S TONGUE 5 GAL QUANTITY: 6  
 WOODWARDIA FIMBRATA GIANT CHAIN FERN 5 GAL QUANTITY: 11  
 CYRTIDIUM CALICATUM HOLLY FERN 1 GAL QUANTITY: 4  
 ASPIDIETRA ELATION VARIEGATA VARIEGATED CAST IRON PLANT 1 GAL QUANTITY: 6  
 BERBERIS CORONILLA ELEPHANT'S EAR 1 GAL QUANTITY: 6  
 TRACHELOSPERMUM JASMINOIDES STAR JASMINE 1 GAL QUANTITY: 11

AMOUNT OF CUT: 6 CY  
 AMOUNT OF PROPOSED FILL: 15 CY  
 AMOUNT OF EXPORT FILL= 0 CY  
 AMOUNT OF IMPORT FILL= 10 CY

- WATER CONSERVATION STATEMENT:**
1. WATER USE IS VERY LIMITED DUE TO LIMITED AREA AVAILABLE FOR LANDSCAPING.
  2. NO LAWN IS PROPOSED.
  3. IRRIGATION SYSTEMS SHALL BE HIGH EFFICIENCY DRIP TYPE.
  4. WATER CONSERVING MULCHES ARE PROPOSED.
  5. AUTOMATIC CONTROLLER SHALL BE EQUIPPED WITH A RAIN SHUT-OFF DEVICE
  6. ALL PLANTINGS ARE ON NORTHEAST SIDE OF BUILDING, WITH LIMITED SUN EXPOSURE, AND THEREFORE LIMITED WATER NEEDS.



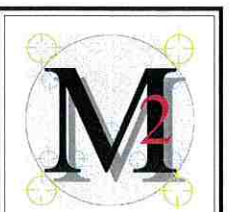
**LANDSCAPE PERCENTAGE DIAGRAM**



ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA.

ONE 24" BOX TREE SHALL BE PLANTED IN THE REQUIRED FRONT YARD OF THE PREMISES OR IN THE ADJUTING PARKWAY. EXISTING TREES THAT ARE AT LEAST 15' HIGH AND 15" WIDED MAY BE USED TO SATISFY THIS REQUIREMENT.

DEVELOPMENT PERMIT CONDITIONS WILL BE PROVIDED WITH THE NEXT REVIEW PENDING ANY REDESIGN OF THE PROJECT DUE TO REQUIREMENTS OF OTHER DISCIPLINES.



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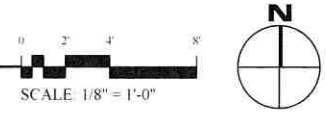
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PROJECT NO	2017-31
REVIEWED BY	CAM
DRAWN BY	LF
DATE	11/14/2018

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SHEET TITLE  
**PROPOSED LANDSCAPE PLAN**  
**L-1.0**

**PROPOSED LANDSCAPE PLAN**  
 SCALE: 1/8" = 1'-0"



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