THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: June 12, 2019 REPORT NO. HO-19-044

HEARING DATE: June 19, 2019

SUBJECT: WILLINK RESIDENCE, Process Three Decision

PROJECT NUMBER: 605970

OWNER/APPLICANT: John and Helen Willink, Owner and Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing single-family residence and garage, and construct a new two-story, single-family residence and detached garage with a companion unit above, located at 919 Sunset Cliffs Boulevard within the Peninsula Community Plan and Local Coastal Program Land Use Plan area?

Staff Recommendation: Approve Coastal Development Permit No. 2146129 and Site Development Permit No. 2281612.

Community Planning Group Recommendation: On November 15, 2018, the Peninsula Community Planning Group voted 9-0-5 to recommend approval of the proposed project with no additional conditions or recommendations.

Environmental Review: The project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302, Replacement or Reconstruction and Section 15303, New Construction or Conversion of Small Structures (Attachment 6). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 8 ,2019 and the opportunity to appeal that determination ended March 22, 2019.

BACKGROUND

The developed 0.28-acre site is located at 919 Sunset Cliffs Boulevard, east of Sunset Cliffs Boulevard, directly across from Sunset Cliffs coastal bluff edge, approximately 70 feet west, and Luscomb's Point on Sunset Cliffs Boulevard. The project site in the RS-1-7, Coastal Overlay (appealable), Coastal Height Limitation Overlay, Parking Impact Overlay, Residential Tandem Parking Overlay, Geologic Hazard Area 43 (Environmentally Sensitive Lands), Airport Influence Areas Overlay, and FAA Part 77 Noticing Areas Overlay Zones of the Peninsula Community Plan and Local Coastal

Program Land Use Plan (Community Plan) area. The Willink Residence Project (Project) proposes to demolish the existing single-story, 1,922 square-foot, single-family residence and detached garage, and construct a new two-story, 3,268 square-foot, single-family residence and 744-square-foot detached garage with a 744-square-foot companion unit above.

The Community Plan designates the Project site for single-family development and is within the Sunset Cliffs neighborhood, which is the area located south of Point Loma Avenue, between Catalina Boulevard and the Pacific Ocean. Consistent with the Community Plan, this area is exclusively devoted to single-family homes, most of which are one- and two-story structures with relatively contemporary architectural styles

The existing single dwelling unit with a detached garage was built in 1948. Per SDMC Section 143.0212, the City conducted Historical Resource Review for property that contains a structure 45 years old or older. The initial Historic Review determined the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, this Project is not eligible for designation.

The Project requires the processing of a Coastal Development Permit pursuant to San Diego Municipal Code (SDMC) Section 126.0702 for development within the Coastal Overlay Zone and a Site Development Permit pursuant to SDMC Section 126.0502 (2)(A) and Environmental Sensitive Lands (ESL) regulations Section 143.0110 (a)(4) for development within Geologic Hazard Area 43, Sensitive Coastal Bluffs area.

DISCUSSION

Upon demolition of the existing residential structure and garage, the Project will construct a new two-story, 3,268 square-foot, single-family residence and 744-square-foot detached garage with a 744-square-foot companion unit. Access to the garage and surface parking for the development's required off-street parking will be from an existing alley way abutting the Project's eastern property line. The new two-story dwelling proposes a maximum height of approximately 24 feet, and the new garage with the companion unit above proposes a maximum height of approximately 27 feet. Both structures are below the maximum allowable 30 feet, Coastal Height Limit. The development's Floor Area Ratio (FAR) is 0.39, below the maximum allowable 0.52. The project would include 3,787 square feet of landscaped area, permeable decking, and a pool.

As noted earlier, the Project is located within Sensitive Coastal Bluffs area, further defined as a coastal bluff that is designated within hazard category numbers 41 through 47, inclusive, on the City's Geologic Hazard Maps plus the area of an additional 100-foot strip located landward and contiguous to the coastal bluff edge. The Project's westerly property line is approximately 30 feet east of the coastal bluff edge's, 40-foot setback area for development, but still within the additional 100-foot strip landward to the coastal bluff edge. The proposed new development does not encroach further into the bluff edge than currently exists and shall remain approximately 92 feet from the bluff edge. The site drainage from the Project shall be directed westerly to new, on-site drainage inlets and drain pipes and then discharged through a new curb outlet to the City's public right-of-way curb and gutter.

The Project does not require or requests any deviations or variances for the development and meets all development setback requirements. The Project site is not located within any coastal view corridor area identified in the Community Plan and therefore, will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan.

Conclusion:

City staff has reviewed the proposed Project, and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the Land Development Code. Staff has provided draft conditions of approval (Attachment 5) and draft findings to support approval of the Project (Attachment 4). Staff recommends that the Hearing Officer approve the Project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2146129 and Site Development Permit No. 2281612, with modifications.

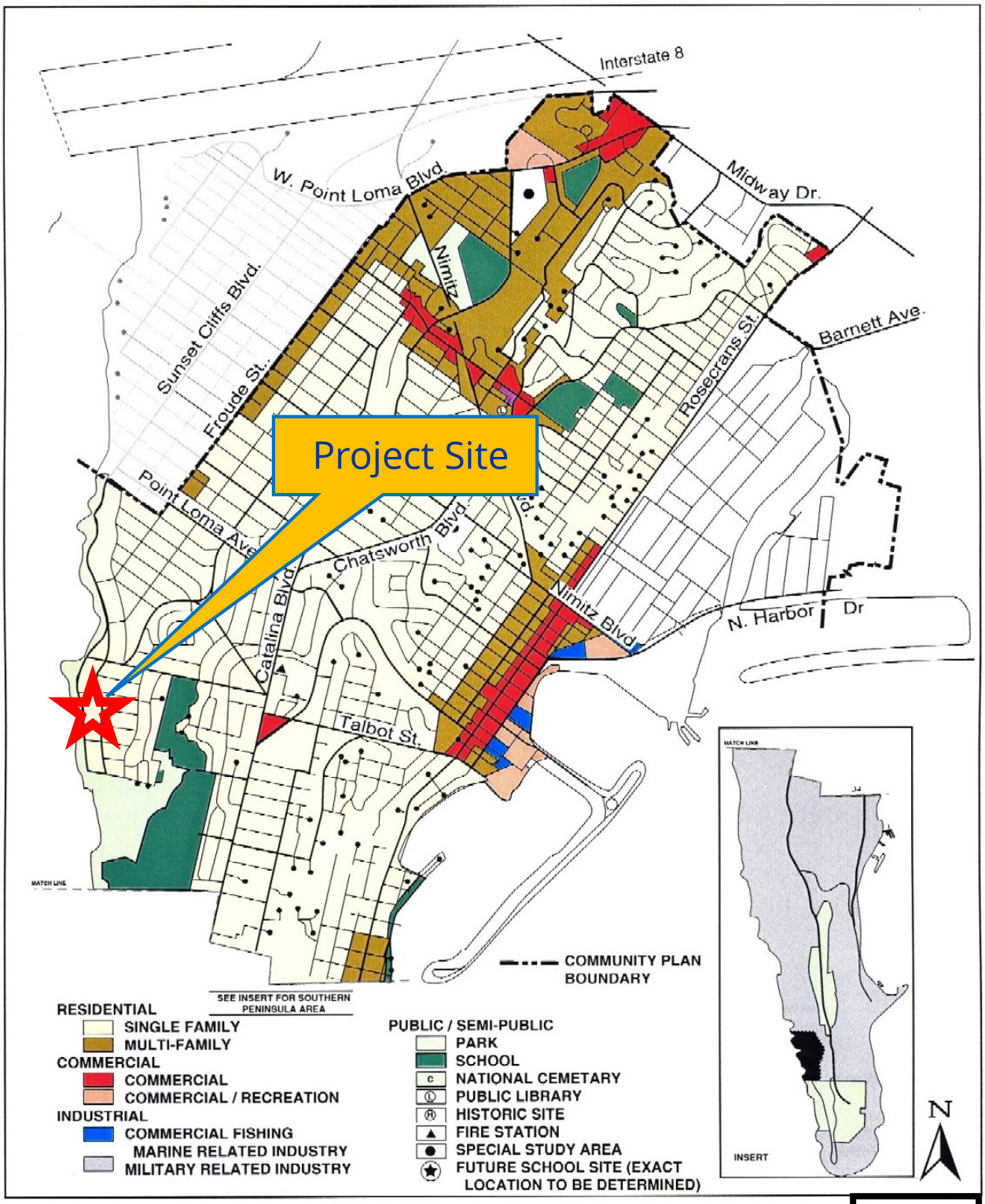
2. Deny Coastal Development Permit No. 2146129 and Site Development Permit No. 2281612, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Tim Daly, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Notice of Right to Appeal Environmental Determination
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Land Use Map

Willink Residence CDP / 919 Sunset Cliffs Blvd

PROJECT NO. 605970

North

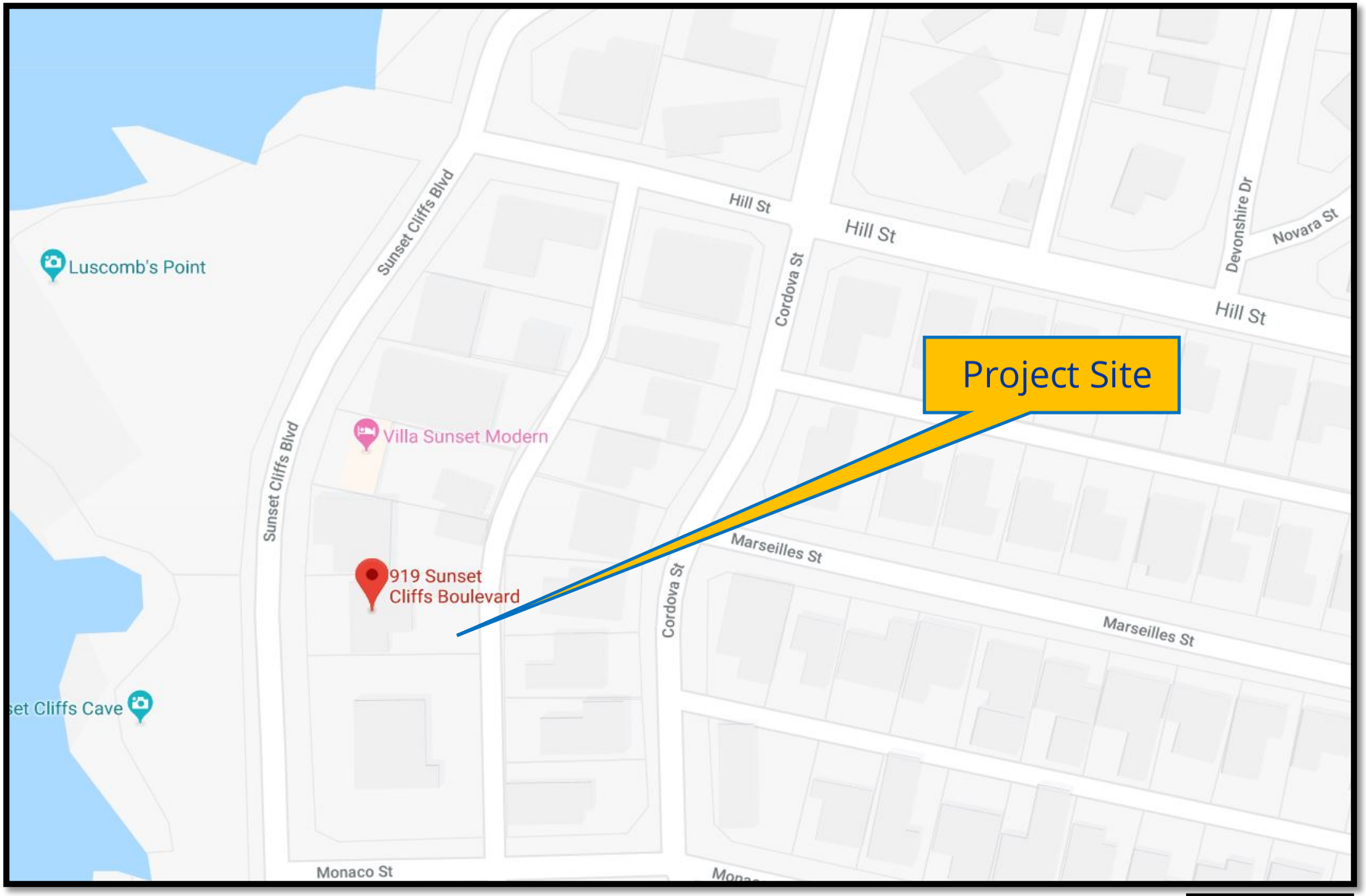
Aerial Photo

Willink Residence CDP / 919 Sunset Cliffs Blvd

PROJECT NO. 605970

North

ATTACHMENT 3



Project Location Map

Willink Residence CDP / 919 Sunset Cliffs Blvd
PROJECT NO. 605970

North

ATTACHMENT 1

ATTACHMENT 4

HEARING OFFICER RESOLUTION NO. HO- XXXX
COASTAL DEVELOPMENT PERMIT NO. 2146129
SITE DEVELOPMENT PERMIT NO. 2281612
WILLINK RESIDENCE PROJECT NO. 605970

WHEREAS, JOHN WILLINK and HELEN WILLINK, HUSBAND AND WIFE AS JOINT TENANTS Owners/Permittees, filed an application with the City of San Diego for a Coastal Development Permit and a Site Development Permit to demolish the existing single-story, 1,922 square-foot single-family residence and detached garage, and construct a new two-story, 3,268 square-foot, single-family residence and 744 square-foot detached garage with a 744 square-foot companion unit above (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2146129 and Permit No. 2281612, on portions of a 0.28-acre site;

WHEREAS, the project site is located at 919 Sunset Cliffs Boulevard in the RS-1-7, Coastal Overlay (appealable), Coastal Height Limitation Overlay, Parking Impact Overlay, Residential Tandem Parking Overlay, Geologic Hazard Code 43 (Environmentally Sensitive Lands), Airport Influence Areas Overlay, and FAA Part 77 Noticing Areas Overlay Zones of the Peninsula Community Plan and Local Coastal Program Land Use Plan area;

WHEREAS, the project site is legally described as Lot 15, Block “L” of Azure Vista, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 1981, filed in the office of the county recorder of San Diego County, January 4, 1927;

WHEREAS, on March 8, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302, Replacement or Reconstruction and

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Section 15303, New Construction or Conversion of Small Structures, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on June 19, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2146129 and Site Development Permit No. 2281612 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect Coastal Development Permit No. 2146129 and Site Development Permit No. 2281612:

A. <u>COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0702]</u>

1. <u>Findings for all Coastal Development Permits:</u>

a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The Willink Residence Project (Project) proposes the demolition of the existing single-story, 1,922 square-foot single-family residence and detached garage, and the construction of a new 3,268 square-foot, two-story, single-family residence and 744 square-foot detached garage with a 744 square-foot companion unit above. The Project site is located at 919 Sunset Cliffs Boulevard, east of Sunset Cliffs Boulevard, south of Hill Street, and north of Monaco Street within the Peninsula Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The site is approximately 200 feet from the Pacific Ocean. The proposed new dwelling unit would be constructed on the existing, developed lot that contains no physical accessways used or proposed for public use. The new two-story dwelling proposes a maximum height of approximately 24 feet, and the new garage with the companion unit above proposes a maximum height of approximately 27 feet. Both structures are below the maximum allowable 30 feet coastal height limit, and no deviations or variance to any development regulations are proposed.

The Project site is not located within any coastal view corridor area identified in the Community Plan. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public

accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The Project proposes the demolition of the existing single-story, 1,922 square-foot single-family residence and detached garage, and the construction of a new 3,268 square-foot, two-story, single-family residence and 744 square-foot detached garage with a 744 square-foot companion unit above.

The Project is located within environmentally sensitive lands, Sensitive Coastal Bluffs area, further defined as a coastal bluff that is designated within hazard category numbers 41 through 47, inclusive, on the City's Geologic Hazard Maps plus the area of an additional 100-foot strip located landward and contiguous to the coastal bluff edge. The Project's westerly property line is approximately 30 feet east of the coastal bluff edge's, 40-foot setback area for development, A portion of the new residential development's deck structure is within the identified sensitive coastal bluff area (100 feet landward of the coastal bluff edge) but, it is constructed at the same location as the previous development. The proposed new development does not encroach further into the bluff edge than currently exists and shall remain approximately 92 feet from the bluff edge.

A geotechnical report was prepared for the development, Report of Preliminary Geotechnical Investigation (Report), Christian Wheeler Engineering dated July 17, 2018, and accepted by the City. The Report determined that there are no significant geological conditions on the Project site and the development would not impact the stability of the Sensitive Coastal Bluffs area. The site drainage from the Project shall be directed westerly to new, on-site drainage inlets and drain pipes and then discharged through a new curb outlet to the City's public right-of-way curb and gutter. The project will not contribute to any drainage runoff erosion to the adjacent coastal bluff. Furthermore, the site is not within or adjacent to the Multiple Species Conservation Program/Multi-Habitat Planning Area (MSCP/MHPA). Therefore, the proposed coastal development will not adversely affect any environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Project proposes the demolition of the existing one-story, 1,922 square-foot single-family residence, and the construction of a new 3,268 square-foot, two-story single-family residence, as well as the demolition of the existing 573 square-foot detached garage, and the construction a new 744 square-foot detached garage with a 744 square-foot companion unit above.

The Community Plan designates the site for single-family development and is zoned RS-1-7. The site is within the Sunset Cliffs neighborhood, which is the area located south of Point Loma Avenue, between Catalina Boulevard and the ocean. Per the Community

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Plan, this area is exclusively devoted to single-family homes, most of which are one- and two-story structures with relatively contemporary architectural styles. The Project consistent with the land use designation of single-family residential development (maximum of 9 DU/AC) in the Community Plan.

The Community Plan's Design Guideline indicates that flat roof surfaces should be considered for use as terraces, with limited landscaping if it is structurally and economically feasible. The Project is utilizing a large amount of roof space as a terrace deck. This design creates variation at the residential structure's second-floor level and does not create a boxed design. The Project is not located within a designated Coastal View pursuant to the Community Plan. In addition, the Design Guidelines also states that parking should not be a dominant element of a neighborhood character and should be screened or located in areas not highly visible from the street. The development's parking is taken from the property's rear alley and will be screened by a garage and wall/fence along the side yards. Furthermore, the Community Plan's Figure 4, Transitional Areas, outlines the residence to be within the Sunset Cliffs Coastal Strip-Concentration and Potential Redevelopment or Remodeling Pressure area. This is described to be an area for potential infill redevelopment with more expensive single-family dwellings. Therefore, the Project is consistent with this Community Plan's Design Guidelines.

The Project is not requesting any deviations or variances from the applicable regulations and therefore, the redevelopment of the site with a new single-dwelling unit, garage and a companion unit is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The Project site is located at 919 Sunset Cliffs Boulevard, on the east side of the street. The site is not between the first public roadway and the sea or shoreline of any body of water located in the Coastal Overlay Zone. No public access or public recreation facilities exist on the Project site. Therefore, the proposed Project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

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B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

Please see CDP Finding A(1)(c).

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The permit for the Project include various conditions and referenced exhibits of approval relevant to achieving project compliance with applicable regulations of the SDMC. Such conditions are necessary to avoid adverse impacts to the health, safety and general welfare of persons residing or working in the surrounding area. The Project will comply with the development conditions in effect for the subject property as described in the permits, and other regulations and guidelines pertaining to the subject property per the SDMC. Prior to issuance of any construction permits for the proposed development, construction plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the Owner/Permittee will be required to obtain a grading and public improvement permit. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The Project proposes the demolition of the existing single-story, 1,922 square-foot single-family residence and detached garage, and the construction of a new 3,268 square-foot, two-story, single-family residence and 744 square-foot detached garage with a 744 square-foot companion unit above. The Project site is located in the RS-1-7, Coastal Overlay (appealable), Coastal Height Limitation Overlay, Parking Impact Overlay, Residential Tandem Parking Overlay, Geologic Hazard Code 43 (Environmentally Sensitive Lands), Airport Influence Areas Overlay, and FAA Part 77 Noticing Areas Overlay Zones. The proposed development is consistent with the applicable base and overlay zones, and does not request and deviations to the Land Development Code. Therefore, the proposed development will comply with the regulations of the Land Development Code.

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2. <u>Supplemental Findings – Environmentally Sensitive Lands</u>

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

Please see CDP Finding (A)(1)(b). The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The Project proposes the demolition of the existing single-story, 1,922 square-foot single-family residence and detached garage, and the construction of a new 3,268 square-foot, two-story, single-family residence and 744 square-foot detached garage with a 744 square-foot companion unit above.

In addition to CDP Finding (A)(1)(b), the Project proposal would not result in a substantial increase in wind or water erosion of soils. Compliance with the City's standard Best Management Practices (BMP) will prevent such impacts. The proposed development will minimize the alteration of natural land forms since it is being proposed within the existing disturbed development area. The Project will require grading. However, the topography and/or ground surface relief features would not substantially change. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

Please see CDP Finding (A)(1)(b).

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The Project is not located within or nearby the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan's Multi-Habitat Planning Area (MHPA), nor will it affect the MHPA in any way. Therefore, the proposed development will be consistent with the City's MSCP Subarea Plan.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreland sand supply.

The Project is located within environmentally sensitive lands, Sensitive Coastal Bluffs area, further defined as a coastal bluff that is designated within hazard category

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numbers 41 through 47, inclusive, on the City's Geologic Hazard Maps plus the area of an additional 100-foot strip located landward and contiguous to the coastal bluff edge. The Project's westerly property line is approximately 30 feet east of the coastal bluff edge's, 40-foot setback area for development, A portion of the new residential development's deck structure is within the identified sensitive coastal bluff area (100 feet landward of the coastal bluff edge) but, it is constructed at the same location as the previous development. The proposed new development does not encroach further into the bluff edge than currently exists and shall remain approximately 92 feet from the bluff edge. The nearest beach area is approximately 120 feet west from the Project site and at the base of the coastal bluff edge area.

A geotechnical report was prepared for the development, Report of Preliminary Geotechnical Investigation (Report), Christian Wheeler Engineering dated July 17, 2018, and accepted by the City. The Report determined that there are no significant geological conditions on the Project site and the development would not impact the stability of the Sensitive Coastal Bluffs area. The site drainage from the Project shall be directed westerly to new, on-site drainage inlets and drain pipes and then discharged through a new curb outlet to the City's public right-of-way curb and gutter. The Project will not contribute to any drainage runoff erosion to the adjacent coastal bluff.

The Project proposal would not result in a substantial increase in wind or water erosion of soils. Compliance with the City's standard Best Management Practices (BMP) will prevent such impacts. The proposed development will minimize the alteration of natural land forms since it is being proposed within the existing disturbed development area. The Project will require grading. However, the topography and/or ground surface relief features would not substantially change. Therefore, the proposed Project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The City of San Diego conducted an environmental review that determined the Project would not have the potential for causing a significant effect on the environment. The Project meets the criteria set forth in CEQA Exemption Section 15303, New Construction or Conversion of Small Structures. The Project will be consistent with the existing land use designation (residential low density), and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within the City limits on a project site of less than one acre and is substantially surrounded by urban uses. The Project would not result in any significant effects related to air quality, noise, traffic, or water quality. The site can be adequately serviced by all required utilities and public services.

Although no mitigation measures are required for the Project, the permit prepared for the Project provides protection to the environmentally sensitive lands Therefore, the nature and extent of protecting environmentally sensitive lands required as a condition

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of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2146129 and Site Development Permit No. 2281612 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2146129 and Permit No. 2281612, a copy of which is attached hereto and made a part hereof.

_____

Tim Daly
Development Project Manager
Development Services

Adopted on: June 19, 2019

IO#: 24007836

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RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007836 SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2146129
SITE DEVELOPMENT PERMIT NO. 2281612
WILLINK RESIDENCE PROJECT NO. 605970
HEARING OFFICER

This Coastal Development Permit No. 2146129 and Site Development Permit No. 2281612 is granted by the Hearing Officer of the City of San Diego to John Willink and Helen Willink, Husband and Wife as Joint Tenants, Owners and Permittees, pursuant to San Diego Municipal Code [SDMC] section 126.0702 and section 126.0502. The 0.28-acre site is located at 919 Sunset Cliffs Boulevard in the RS-1-7, Coastal Overlay (appealable), Coastal Height Limitation Overlay, Parking Impact Overlay, Residential Tandem Parking Overlay, Geologic Hazard Code 43 (Environmentally Sensitive Lands), Airport Influence Areas Overlay, and FAA Part 77 Noticing Areas Overlay Zones of the Peninsula Community Plan area. The project site is legally described as Lot 15, Block "L" of Azure Vista, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 1981, filed in the office of the county recorder of San Diego County, January 4, 1927.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners and Permittees to demolish the existing one-story single-family residence and garage, and construct a new two-story single-family residence, a new detached garage with a companion unit above, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 19, 2019, on file in the Development Services Department.

The project shall include:

a. The demolition of the existing single-story, 1,922 square-foot single-family residence and detached garage, and construction of a new 3,268 square-foot, two-story single-family residence and 744 square-foot detached garage with a 744 square-foot companion unit above;

b. Off-street parking;

c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July XX, 2022.

2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.

3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

   a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

   b. The Permit is recorded in the Office of the San Diego County Recorder.

4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

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9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

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GEOLOGY REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

ENGINEERING REQUIREMENTS:

14. The project proposes to export 210 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standards Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for the development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, from the City Engineer, for the proposed sidewalk curb outlet, existing landscape and stairs in the Sunset Cliff Boulevard Right-of-Way.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct existing curb with current City Standard Curb and Gutter, adjacent to the site on Sunset Cliffs Boulevard, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to repave existing AC Alley (by D-Sheet) with current City Standards Concrete Alley, adjacent to the site, per exhibit A, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

21. Owner/Permittee shall maintain minimum off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

DRAFT

22. Prior to the issuance of any construction permits, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement for Sensitive Coastal Bluffs in accordance with SDMC section 143.0143, in a form and content acceptable to the Director of the Development Services Department, or designated representative, which shall provide: (a) that the Owner/Permittee understands that new accessory structures or landscape features customary and incidental to residential uses are prohibited within 5 feet of the Coastal Bluff Edge or on the face of the Bluff, as illustrated on approved plan Exhibit "A;" (b) that the Owner/Permittee understands that the site may be subject to extraordinary hazard from coastal bluff erosion, and the Owner/Permittee assumes all liability from such hazards; and (c) the Owner/Permittee unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify, and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns.

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

25. Utilization of existing sewer laterals is at the sole risk and responsibility of the developer to ensure the laterals are functional and connected to a public sewer facility. Prior to connecting to any existing sewer lateral, the lateral shall be inspected using a closed-circuit television (CCTV) by a California Licensed Plumbing Contractor to verify the lateral is in good working condition and free of all debris.

26. Prior to the issuance of any construction permits, if it is determined during the building permit review process the existing water and/or sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, both the design and construction of a new water and/or sewer service (such that it is at least three feet outside of any driveway or drive aisle), and the abandonment any unused water and/or sewer services within the right-of-way adjacent to the project site in a manner satisfactory to the Public Utilities Director and the City Engineer.

27. Prior to the issuance of any Certificate of Occupancy, the Owner/Permittee shall install an appropriate private backflow prevention device (BFPD) on all water services (domestic, fire and irrigation) in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in-line with the service and immediately adjacent to the right-of-way.

DRAFT

28. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 19, 2019 and Resolution No. XXXX.

DRAFT

Permit Type/PTS Approval No.: Coastal Development Permit No. 2146129
Site Development Permit No. 2281612
Date of Approval: June 19, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

_____
Tim Daly
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

John and Helen Willink,
Husband and Wife as Joint Tenants
Owner/Permittee

By _____
Name:
Title:

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

DRAFT

THE CITY OF SAN DIEGO

Date of Notice: March 8, 2019

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007836

PROJECT NAME / NUMBER: Willink Residence CDP / 605970
COMMUNITY PLAN AREA: Peninsula
COUNCIL DISTRICT: 2
LOCATION: 919 Sunset Cliffs Blvd., San Diego, CA 92107

PROJECT DESCRIPTION: COASTAL DEVELOPMENT PERMIT (CDP) for the demolition of an existing 1,922-square-foot single family residence and the construction of a new 3,268-square-foot two-story single-family residence. The existing 573 square foot garage would also be demolished and replaced with a new 744-square-foot garage with a 744-square-foot companion unit above. The project is addressed at 919 Sunset Cliffs Blvd. The project site is located within the RS-1-7 zone, the Coastal Overlay Zone (CST-APP), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (PIOZ-Beach-Impact & PIOZ-Coastal-Impact), the Residential Tandem Parking Overlay Zone, Geologic Hazard code of 43 (Environmentally Sensitive Lands), is within the First Public Roadway and within the Peninsula Local Coastal Program and Community Plan Area, Council District 2. Site is within the Airport Influence Areas Overlay Zone (SD International Airport - Review Area 2) and FAA Part 77 Noticing Areas Overlay Zone (SD International Airport threshold at 180 feet AMSL & North Island NAS threshold at 161 feet AMSL). Project is not adding density and does not need to go before the Airport Authorities. It is consistent with current development.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15302, Replacement or Reconstruction and Section 15303, New Construction or Conversion of Small Structures

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302, Replacement or Reconstruction and Section 15303, New Construction or Conversion of Small Structures. Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Section 15303 allows for

construction of a second dwelling unit. Since the proposed project is the demolition of an existing single dwelling unit, the reconstruction of a new single dwelling unit, and construction of a companion unit, the exemptions appropriate. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply because no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER: Sammi Ma
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 236-7390 / sma@sandiego.gov

On March 8, 2019 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA)**.** This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (March 22, 2019). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

ATTACHMENT 7

PCPB November 15, 2018 Approved Minutes

Peninsula Community Planning Board

November 15, 2018 meeting

Point Loma branch Library, 3701 Voltaire Street.

General

Meeting called to order at 6:30 PM by Robert Goldyn.

Present were Robert Goldyn, Fred Kosmo, Patricia Clark, Jerry Lohla, Joe Holasek, Jim Hare, Mark Krencik and Mick Moore; David Dick joined the meeting during Government Reports

Missing were Sarah M. Alemany, Scott Deschenes, Brad Herrin, Don Sevrens and Robert Tripp Jackson.

The agenda was approved (Motion by Lohla, Second by Clark, 8-0)

Non-Agenda Public Comment

Jarvis Ross reported on public comment offered at the City Council meeting in support of preservation of the North Chapel, and thanked those who attended and spoke.

Government Reports

Tylisa Suseberry, representing State Senator Atkins invited all to a "gift raising" event on December 12, benefiting Dreams for Change.

David Surwilo, Community Service Officer of the SDPD Western Division, introduced Deputy City Attorney Katie Llamas, who spoke regarding her job as legal support to the Division. Surwilo also reported on some recent criminal apprehensions; he responded to questions and gave advice regarding car burglaries in Sunset Cliffs and thefts in the Point Loma marinas.

Conrad Wear, representing Councilmember Zapf, reported the status of a number of capital improvement projects within the community. He thanked the Board and said that the transition of the office to the incoming councilmember would be complete on December 10.

Jarvis Ross (regarding consistent general support) and Fred Kosmo (particularly regarding the Airport Noise Advisory Committee) voiced thanks for Conrad's efforts.

Nicole Burgess, of the City Bicycle Advisory Board reported on the approval of a "road diet" for a major street in University City by that area's planning group as an example of the movement to provide additional safe riding conditions in the region.

Applicant-Initiated Action Items

1. **Barracks Hotel Easement Vacation. Joe Holasek inttroduced the project, which includes the vacation of a number of easements necessary to the rehabilitation of a hotel property in Liberty Station, but which do not result in architectural changes. He reported that Project Review had approved the application by vote of 4-0.**

No applicant representative was present. Mark Krencik said that he saw no problems with this request.

Motion to approve by Krencik, second by Clark, approved 9-0.

2. **Charles Street CDP. Joe Holasek introduced the project, which involves the replacement of an existing residence. He said that the project meets all development criteria and that the only request made by Project Review was that fenestration on a sideyard be reconsidered by the applicant. He reported that Project Review had approved the application by vote of 4-0.**

Elizabeth Carmichael presented the project and design details. She said that in response to the Project Review comments the design had been revised to include a new recess and a pop-out for the fireplace on the sideyard wall. Mark Krencik clarified a number of particular project dimensions.

Dan Forester, a neighbor to the project site, approved of the design and the particular changes made in the plans. He noted that the project would remove an existing tree and worried that the "Wooded Area" was incrementally losing the woods.

Motion to approve the Charles Street CDP made by Holasek, Second by Clark, approved 9-0.

3. **Willink Residences CDP. Joe Holasek introduced the project, which involves the major reconstruction and addition to an existing residence. He said that the project meets all development criteria. He reported that Project Review had approved the application by vote of 4-0.**

Greg Coleman presented the project and the design details. Korla Eaquinta raised the matter of Accessory Dwelling Units, noting that both this and the preceding projects included such features. She pointed out that they seem to raise no issue when presented as part of an overall project but they meet opposition when proposed as an addition to an existing home. Mark Krencik also spoke to the Accessory Dwelling Unit matter, saying that the City has

doubled the maximum size of units to 1,200 square feet. He clarified a number of dimensional matters on the project proposal, including the absolute height and means of measurement of the dwelling space above the proposed garage.

Motion by Krencik to approve the Willink Residence CDP, Second by Clark, approved 9-0.

Board-Initiated Action Items

4. **Draft Fiscal Year 2019 Peninsula Impact Fee Study.**

Oscar Galvez of the Planning Department presented the draft fee study, with thanks to the committee and Planning Board for their active participation in the process. The final outcome was an increase in the per unit impact fee from $3,687 to $4,063. Jerry Lohla explained the role of the committee in the process. He asked if Accessory Dwelling Units were charged the impact fee, to which Galvez responded that the City Council had exempted such units. Jim Gilhooly asked if the distribution of funds was subject to a political process, to which Galvez responded that the priorities and funding were set in the adoption of the plan. Korla Eaquinta asked if multifamily projects were charged as one unit or by each of the units proposed, to which Galvez responded that each unit in a project was subject to the fee. Jim Hare raised the issue of the $12M priority amount in transportation projects associated with the extension of Famosa Boulevard to West Point Loma Boulevard, which the community plan says is subject to future study; Galvez responded that the project was in the fee study since the facility was in the plan, and if the plan were amended to take the facility out the fee would be adjusted accordingly.

Motion to recommend approval of the Fiscal Year 2019 Peninsula Impact Fee Study by Lohla, Second by Kosmo, approved 9-0.

5. **Adjournment of December 2018 PCPB meeting.**

Robert Goldyn said that absent pressing business, the December PCPB meeting could be adjourned. Mark Krencik confirmed that there were no pending Project Review items. David Dick inquired as to the matter of filling a Board vacancy. Robert Goldyn responded since the Board was within four months of March, it is able to hold the vacancy open and fill it along with the general elections. Fred Kosmo added that he would be presenting the overall election process steps at the January PCPB meeting, including the means of using the election results to fill the unexpired term of the vacancy.

Motion by Dick to adjourn the December 2018 PCPB meeting, Second by Clark, approved 9-0.

PCPB Reports and Parliamentary Matters

1. **Chair (Goldyn): CPC has adjourned for November and December. Joel Day, Director of Boards and Commissions, is available to assist in organizational needs of the City's advisory groups such as PCPB.**
   Treasurer (Clark): The current account balance is $552.92

2. **Minutes of October 18, 2018. Motion to approve by Hare, Second by Kosmo, approved 6-2, with Dick and Krencik abstaining due to absence.**
3. **Airport Subcommittee (Kosmo): It appears that the Terminal 1 DEIR has been withdrawn to address matters raised during the public review process. Changes will be subject to a future action item.**

Adjournment

The meeting was adjourned at 7:42 PM

--This draft prepared by Jim Hare as substitute for the Board Secretary.

ATTACHMENT 8

SD	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	**Ownership Disclosure Statement**	FORM **DS-318** October 2017

Approval Type: *Check appropriate box for type of approval(s) requested:* ❑ Neighborhood Use Permit ❑ Coastal Development Permit ❑ Neighborhood Development Permit ❑ Site Development Permit ❑ Planned Development Permit ❑ Conditional Use Permit ❑ Variance ❑ Tentative Map ❑ Vesting Tentative Map ❑ Map Waiver ❑ Land Use Plan Amendment • ❑ **Other** _____

Project Title: WILLINK RESIDENCE **Project No.** ***For City Use Only:*** 605970

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

❑ Corporation ❑ Limited Liability -or- ❑ General – What State? _____ Corporate Identification No. _____

❑ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: John & Helen Willink ☒ Owner ❑ Tenant/Lessee ❑ Successor Agency

Street Address: 919 Sunset Cliffs Blvd

City: San Diego State: CA Zip: 92107

Phone No.: 619-981-1773 Fax No.: _____ Email: willinkhome@gmail.com

Signature: [signature] Date: 4/20/18

Additional pages Attached: ❑ Yes ❑ No

Applicant

Name of Individual: John + Helen Willink ☒ Owner ❑ Tenant/Lessee ❑ Successor Agency

Street Address: 919 Sunset Cliffs Blvd

City: San Diego State: CA Zip: 92107

Phone No.: 619-981-1773 Fax No.: _____ Email: willinkhome@gmail.com

Signature: [signature] Date: 4/20/18

Additional pages Attached: ❑ Yes ❑ No

Other Financially Interested Persons

Name of Individual: _____ ❑ Owner ❑ Tenant/Lessee ❑ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ❑ Yes ❑ No

WILLINK RESIDENCE

COASTAL DEVELOPMENT PERMIT & SITE DEVELOPMENT PERMIT SUBMITTAL

919 Sunset Cliffs Blvd., San Diego, Ca 92107

Property Owner

John & Helen Willink
919 Sunset Cliffs Blvd.
San Diego, Ca 92107

Project Team

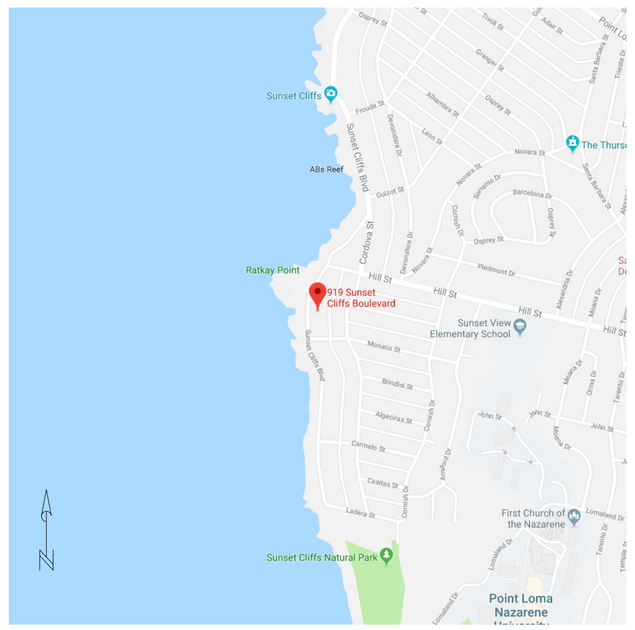
Architect
G Coleman Architect
3587 Herman Ave.
San Diego, Ca 92104
(805) 746-6516

Structural Engineer
Mangano Consulting
P.O. Box 317
La Jolla, Ca 92038
(858) 952-1315

Geotechnical Engineer
Christian Wheeler Engineering
3980 Home Ave
San Diego, Ca 92105
(619) 550-1700

Civil Engineer
Pasco Laret Suiter & Associates
535 N. Highway 101, Suite A
Solana Beach, Ca 92075
(858) 259-8212

Vicinity Map



Development Summary

Project Scope:
The existing one-story 1,922 square foot 5-bedroom, 3 bath single family residence will be fully demolished and replaced with a new build 3,268 square foot two-story single-family residence. The first floor will house the kitchen, living room, dining room, den, laundry room, 2 bathrooms and 3 bedrooms. The second floor will house an office, master bedroom, master bathroom and master walk-in-closet. The existing 573 square foot garage will also be demolished and replaced with a new 744 square foot garage and a 744 square foot companion unit above.

SDP - Development within ESL
CDP - Companion Unit, greater than 50% exterior wall demo, greater than 10% heigh increase and greater than 10% floor area increase within 300 ft of the mean high tide line

Project Address:
919 Sunset Cliffs Blvd.
San Diego, Ca 92107

Assesors' Parcel Number:
531-400-09-00

Lot Size:
12,078 SF (0.28 Acres)

Legal Description:
001981 BLK L* LOT 15*

Existing Residence Constructed:
1948

Zoning:
RS-1-7

Overlay Zones:
Coastal Overlay Zone
Coastal Height Limit Overlay Zone
Residential Tandem Parking Overlay Zone
Parking Impact Overlay Zone
Airport Influence Area (San Diego International Airport)
FAA Part 77 Notification Area (North Island NAS & SDIA -Lindberg Feild)
Sensitive Vegetation

Geological Hazard Category:
Category D , 43 & 52

Construction Type:
Type V-B

Occupancy Classification:
R-3 - Residence

Number of Stories:
Two (2) stories

Proposed Structure Height:
25'-7" from the lowest adjacent point for the main house
28'-10" from the lowest adjacent point for the companion unit

Development Summary Cont.

Required Setbacks:
Front: 15'
Side: 6' ea. side [75' x 0.08 = 6'] [re-allocated to 4' and 8' per SDMC Table 131-04D footnote (2)]
Rear: 5' [1/2 of alley width (10') used for rear setback per SDMC 131.0443(d)(4)]

Angled Plane:
30° [75' lot width per SDMC 131.0444]

Max. Structure Height:
24'/30'

Max. Floor Area Ratio:
Lot Area x 0.52 = 12,078 SF x 0.52 = 6,281 SF
Existing House - 1,922 SF
Renovated House - 3,268 SF
Proposed Garage/Companion Unit - 1,488 SF
FAR (Actual) = 4,756 / 12,078 = 0.39 [0.52 Max Allowed]

Proposed Floor Area:

First Floor -	2,132 SF
Second Floor -	1,136 SF
Total -	3,268 SF
Garage -	744 SF
Companion Unit -	744 SF
Ext. Deck Over Living Space -	651 SF
Ext. Deck -	480 SF

Landscape Area:
3,787 SF

Impervious Surface Area:
2,876 SF

General Notes

1. These plans shall comply with the 2016 California Residential Code and all applicable County of San Diego codes and ordinances.
2. Applicable Building Codes:
   - 2016 California Residential Code (CRC)
   - 2016 California Plumbing Code (CPC)
   - 2016 California Mechanical Code (CMC)
   - 2016 California Fire Code (CFC)
   - 2016 California Electrical Code (CEC)
   - 2016 California Energy Code
   - 2016 National Electrical Code (NEC)
3. The inspector will recheck for expansive soils and/or grading requirements at the first foundation inspection.
4. Provide 42"-high guardrail for porches, balconies, decks and open sides of landings. Maximum clear opening between any members of the guardrail shall be less than 4".
5. Changes from the approved plans during construction shall cause plan approval and construction to be suspended, a new plan check (for a new plan showing changes) will be submitted for review and approval through the normal plan check process." CRC R106.1
6. A chemical toilet is required on-site during construction. [CBC 3305.1]
7. Changes from the approved plans during the course of construction shall cause construction to be suspended until such time as the plans can be amended by the designer and submitted to the City for review and approval." [CRC R106.4]

Fire Sprinklers (Deferred)

1. Provide residential fire sprinklers compliant with NFPA 13D per the 2016 California Residential Code.

Sheet Index

Title Sheet / General Information

G1.0 Title Sheet
G1.1 General Project Information
G1.2 Storm Water & Green Building Standards

Civil

C1.1 Drainage and Grades Plan
C1.2 Sections and Details

Architectural

A1.0 Survey
A1.1 Site Plan
A2.0 Level 1 - Existing Floor Plan
A2.1 Level 1 - Proposed Floor Plan
A2.2 Level 2 - Proposed Floor Plan
A2.3 Roof Plan
A3.0 Elevations
A3.1 Elevations
A4.0 Sections
A4.1 Sections

Willink Residence

919 Sunset Cliffs Blvd.
San Diego, Ca 92107

Client
John & Helen Willink
919 Sunset Cliffs Blvd.
San Diego, CA 92107

Architect
G Coleman Architect
3587 Herman Ave
San Diego, Ca 92104
(805) 746-6516

Structural
Mangano Consulting
P.O. Box 317
La Jolla, Ca 92038
(858) 952-1315

Geotechnical
Christian Wheeler Engineering
3980 Home Ave
San Diego, Ca 92105
(619) 550-1700

Civil
Pasco Laret Suiter & Associates
535 N. Highway 101, Suite A
Solana Beach, Ca 92075
(858) 259-8212

G COLEMAN ARCHITECT

LICENSED ARCHITECT
GREGORY COLEMAN
No. C 35761
REN. 1-31-21
STATE OF CALIFORNIA

Current Drawing Set

Description	Issue Date
CDP/SDP Re-Submittal Set	04/19/19

Current Revision

No.	Description	Issue Date
4	CDP/SDP Rev 04	04/19/19

Sheet Issue Date: 04/19/19
Scale:
GCD Project Number: 1714

Title Sheet

G1.0

ATTACHMENT 9

4/18/2019 1:44:10 PM

Abbreviations

A.B.	Anchor Bolt
ABV.	Above
A.C.	Asphalt Concrete
ACOUS.	Acoustical
A.C.U.	Air Conditioning Unit
A.D.	Area Drain
ADJ.	Adjustable
AL., ALUM.	Aluminum
ANOD.	Anodized
A.P.	Access Panel
ARCH.	Architectural, Architecture
BD.	Board
BLDG.	Building
BLK.	Block
BLKG.	Blocking
BM.	Beam
B.M.	Bench Mark
BOT.	Bottom
BRG.	Bearing
B.U.R.	Built-up Roofing
CAB.	Cabinet
C.B.	Catch Basin
CEM.	Cement
CER.	Ceramic
C.I.	Cast Iron
C.J.	Control Joint
CLG.	Ceiling
CLKG.	Caulking
CLO.	Closet
CLR.	Clear
C.M.U.	Concrete Masonry Unit
C.O.	Clean Out
CTR.	Center
COL.	Column
CONC.	Concrete
CONST.	Construction
CONT.	Continuous
C.W.	Cld Water
D.	Dryer
DBL.	Double
D.F.	Drinking Fountain or Douglas Fir
DIA.	Diameter
DIAG.	Diagonal
DIM.	Dimension
DISP.	Dispenser
DN.	Down
DR.	Door
DS.	Downspout
DTL.	Detail
DWG.(S)	Drawing(s)
E.	East
(E)	Existing
EA.	Each
EL.	Elevation
ELEC.	Electrical
ELEV.	Elevator
ENCL.	Enclosure
E.P.	Electrical Panel
EQ.	Equal
EQPT.	Equipment
EXP. JT.	Expansion Joint
EXP.	Exposed
EXT.	Exterior
F.A.	Fire Alarm
F.D.	Floor Drain
FDN.	Foundation
F.E.	Fire Extinguisher
F.E.C.	Fire Extinguisher Cabinet
F.F.	Finish Floor
F.H.C.	Fire Hose Cabinet
FIN.	Finish
F.L.	Flow Line
FLR.	Floor
FLUOR.	Fluorescent
F.O.	Face Of
F.O.C.	Face Of Concrete
F.O.F.	Face Of Finish
F.O.M.	Face Of Masonry
F.O.P.	Face Of Plywood
F.O.S.	Face Of Stud
F.O.W.	Face Of Wall
F.S.	Floor Sink
FT.	Foot or Feet
FTG.	Footing
FURR.	Furring
GA.	Gauge
GALV.	Galvanized
G.C.	General Contractor
G.D.	Garbage Diposal
G.I.	Galvanized Iron
GL.	Glass
GND.	Ground
GR.	Grade
GYP.BD.	Gypsum Board
H.B.	Hose Bibb
H.C.	Hollow Core
HD.	Head
HDBD.	Hardboard
HDCP.	Handicap
HDR.	Header
HDWD.	Hardwood
HDWR.	Hardware
HGR.	Hanger
H.M.	Hollow Metal
HORIZ.	Horizontal
I.D.	Inside Dimension
INCL.	Include
INSUL.	Insulation
INT.	Interior
JAN.	Janitor
JST.	Joist
L.	Length
LAM.	Laminate
LAV.	Lavatory
LIN.	Linen or Linear
LT.	Light
LVR.	Louver
LT.WT.	Lightweight
MAS.	Masonry
MATL.	Material
MAX.	Maximum
M.B.	Machine Bolt
M.C.	Medicine Cabinet or Mineral Core
MECH.	Mechanical
MET.	Metal
MEMB.	Membrane
MFR.	Manufacturer
MIN.	Minimum or Minute
MISC.	Miscellaneous
M.O.	Masonry Opening
MTD	Mounted
(N)	New
N.	North
N.I.C.	Not In Contract
NO. OR #	Number
N.R.	Not Rated
N.T.S.	Not To Scale
O.C.	On Center
O.D.	Outside Diameter or Overflow Drain
OPNG.	Opening
OPP.	Opposite
O.S.	Overflow Scupper
PART.	Partition
PERF.	Perforated
PERP.	Perpendicular
P.L.	Property Line
PL.	Plate
P.LAM.	Plastic Laminate
PLAS.	Plaster
PLMB.	Plumbing
PLYWD.	Plywood
PNL.	Panel
PR.	Pair
P.T.	Pressure Treated
R.	Radius or Rise
R.D.	Roof Drain
RDWD.	Redwood
REC.	Recessed
REFL.	Reflected
REFR.	Refrigerator
REINF.	Reinforced
REQ'D.	Required
RESIL.	Resilient
RET.	Retaining
RM.	Room
R.O.	Rough Opening
S.	South
S&P	Shelf and Pole
S.C.	Solid Core
SCHED.	Schedule
S.D.	Storm Drain
SECT.	Section
SGL.	Single
SHR.	Shower
SHT.	Sheet
SHTG.	Sheathing
SIM.	Similar
SPEC.	Specification
SQ.	Square
S.S.	Service Sink
S.STL.	Stainless Steel
STD.	Standard or Stud
STL.	Steel
STOR.	Storage
STRUCT.	Structural
SUSP.	Suspended
SYM.	Symmetrical
T.	Tread
T.C.	Top of Curb
TEL.	Telephone
TEMP.	Tempered
T&G	Tongue and Groove
THK.	Thick
T.O.	Top Of
T.O.C.	Top Of Concrete
T.O.P.	Top Of Parapet
T.O.S.	Top Of Sheathing
T.O.W.	Top Of Wall
T.P.H.	Toilet Paper Holder
T.S.	Tube Steel
TV.	Television
TYP.	Typical
UG.	Underground
U.N.O.	Unless Noted Otherwise
V.B.	Vapor Barrier
VERT.	Vertical
V.P.	Vent Pipe
V.S.	Vent Stack
W.	Washing Machine or West
W/	With
W.C.	Water Closet
WD.	Wood
WDW.	Window

Building Department Notes

1. Per CRC, all weather exposed surfaces shall have a weather resistive barrier to protect the interior wall covering and exterior openings shall be flashed in such a manner to make them weatherproof.
2. Provide permanently wired in smoke detectors with battery backup power in each sleeping room, in a central location to protect sleeping areas, in ceilings with a height greater than 24" than the hallway ceiling sleeping areas and on each story and in basement (CRC Sec.310.9)
3. Glazing adjacent to or within 24" of doors or within 18" of walking surface must be of safety glazing material. See window schedule for glazing notes.
4. Glazing in shower and/or tub enclosure must be of safety glazing material.
5. Permanent vacuum breakers shall be included with all new hose bibs.
6. Provide ultra low flush toilets, and maximum 2.2 gpm flow on faucets. New water closets and associated flushometer valves, if any, shall use no more than 1.6 gallons per flush and shall meet performance standards established by the American National Standards Institute standard A112.19.2 H&S code, Section 17921.3(b).
7. All shower heads and faucets shall be equipped with flow restrictors as outlined in the appliance efficiency standards and shall be certified by the California Energy Commission.
8. Provide mixing valves at showers per U.P.C. "in showers and tub-shower combinations, control valves must be pressure balanced or thermostatic mixing valves." U.P.C. Section 420.0.
9. Shower heads to have maximum 2.5 gpm flow.
10. Minimum clearance 30" clear width for water closet compartments and 24" clearance in front of water closet.
11. All swinging doors and windows leading to unconditioned areas shall be fully weather stripped.
12. Fully seal all joints around window frames and other penetrations such as wall sole plates and opening for utility piping and wiring.
13. All new glazing will be installed with a certifying label attached, showing the u-value.
14. All exhaust fans or other exhaust systems shall be provided with back draft dampers or automatic dampers.
15. Thermostats (except those controlling heat pumps) shall be equipped with an automatic setback that the building occupants can program to automatically setback the thermostat for two periods during any 24-hour period.
16. Equipment that requires preventative maintenance to maintain efficient operation shall be furnished with complete necessary maintenance information.
17. All gas-fired fan type central furnaces, gas-fired fan type wall furnaces, and cooking appliances shall be equipped with an intermittent ignition device.
18. All transverse duct, plenum, and fitting joints shall be sealed with pressure sensitive tape or mastic to prevent air loss and shall be insulated to conform to the provisions of the U.M.C.
19. Insulation shall comply with California Quality Standards.
20. The insulation installer shall post a signed certificate.
21. State Health and Safety Code Section 17921.9 bans the use of chlorinated polyvinyl chloride, cpvc and cross linked polyethelyn (pex) for interior water supply piping.
22. There will be no ditches over 5' deep, or building over 3 stories or buildings over 36' high.
23. Exterior glazing in bedrooms will be minimum 1/10 of floor area, and open 1/20 of floor area with maximum 44" sill height.
24. Gas vents and noncombustible piping in walls, passing through three floors or less, shall be effectively draft stopped at each floor or ceiling, per CBC.

General Notes

1. All work shall be done in a professional manner and shall conform to the requirements and regulations of all local and state agencies having jurisdiction and shall comply with current U.B.C., U.P.C, and N.E.C.
2. Landscape, Civil, and Structural drawings are supplemental to the Architectural drawings. It is to be the responsibility of the general Contractor to check with the Architectural drawings prior to work done on Landscape, Civil, and Structural elements. Any discrepancies between the Architectural and consulting Engineer's drawings shall be brought to the attention of the Architect for clarification. Any installation and/or construction performed in conflict with the Architectural drawings shall be corrected by the General Contractor at his own expense, and at no expense to the Owner or Architect
3. The recommendations contained in the soil report for earthwork and foundation excavation are a part of this work. A copy of this report is available at the office of the Architect.
4. The safety of all parties present at the job site is the sole responsibility of the Contractor. All work is to be performed in a professional manner.
5. The Contractor and Sub-Contractors are considered specialists in their respective fields and shall notify the Architect in writing of any work that cannot be fully guaranteed, prior to ordering materials or performance of work.
6. It is to be the Contractor's and/or Sub-Contractor's responsibility to obtain and provide all such materials as are suggested/required by the manufacturer to properly install any and all products.
7. The Contractor shall verify all equipment locations with the equipment supplier and owner's representative for proper size and location of supports, drains, pitch pockets and other provisions that must be made for the proper installation of the equipment.
8. All Sub-Contractor's shall Submit shop drawings to the Architect for approval prior to proceeding with the work.
9. The Contractor shall verify all dimensions and site conditions prior to starting work and shall notify the Architect of any discrepancies observed.
10. The Contractor and his Sub-Contractors are responsible for reviewing the contract documents in detail including dimensions for the purpose of determining that the work can be performed as shown prior to proceeding with the work. If any conflicts arise, the Contractor is responsible for obtaining a clarification from the Architect prior to proceeding with the work in question or with related work.
11. The Contractor shall inspect the premises during the course of bidding and prior to the start of construction in order to be familiar with possible field conditions that may arise. Such conditions are to be reflected and qualified in the bid.
12. The Contractor shall be responsible for the proper location and size of openings for all trades and shall coordinate all construction as indicated by the contract documents, including shop drawings reviewed by the Architect and owner.
13. Contractor to verify: all heating, ventilating, and cooling systems and appliances to comply with current U.M.C.
14. Contractor to maintain positive drainage away from building @ 1/4" per foot minimum.
15. "typical" or "typ" means identical for all the same conditions unless otherwise noted. "similar" means comparable characteristics for the conditions noted. Verify dimensions and orientation on the plans.
16. Clean up of the job site: dispose of, off the site, all debris promptly and in a manner strictly complying with the regulations of the local and state agencies having jurisdiction. Remove all debris from the site as work progresses and leave grounds each day in a satisfactory manner.
17. Use existing drainage facilities. No concentrated drainage flows are permitted over adjacent property lines. Water is to drain away from structures for a minimum of 5 feet at 2 percent and be conveyed to an approved drainage facility.
18. Address numbers shall be clearly visible from the street fronting the structure. Where structures are located off a roadway on long driveways, a monument shall be placed at the entrance where the driveway intersects the main roadway. Permanent address numbers shall be displayed on this monument. Minimum five (5) inch numbers for residential.
19. Work in right-of-way: Contractor is to obtain a construction permit from the engineering department at least 48 hours prior to working in the public right-of-way. Failure to do so will result in an issuance of a stop work notice and double permit fees. It is the responsibility of the owner to know where his/her property line is.
20. Welds identified as requiring continuous or periodic special instruction need not have special inspection when the welding is done in a fabricator's shop approved and registered by the City. However, the approved fabricator must submit a certificate of compliance in accordance with CBC section 1701.7.
21. All exterior wood framed surfaces not specified as shear wall to be sheathed to match adjacent shear walls.
22. All misc. architectural metal exposed to view should receive continuous welds ground smooth.
23. Typical at all interior floors - where subfloor systems consists of plywood nailed to joists, Contractor to additionally use screws to affix plywood to joists as added precaution against squeaking. Verify size and spacing of screws with Architect or structural engineer prior to commencement of work.
24. All gridlines located at exterior face of stud or centerline of column unless noted otherwise.

Symbols

A101 1	Exterior Elevation
1 A10.0 1	Interior Elevation
SIM 1 A101	Building Section
SIM 1 A101	Wall Section
SIM 1 A101	Detail Callout
Name Elevation	Datum Line
	Spot Elevation
	Slab Step
101	Door Tag (see Door Schedule)
ii	Window Tag (see Window Schedule)
ii	Wall / Floor / Roof Tag (see Wall / Floor / Roof Assemblies)
1	Revision Tag
?	Keynote
Room name 101 1/A101	Room Tag
Ceiling Finish 1'-0" A.F.F.	Ceiling Tag
N	North Arrow

Willink Residence

919 Sunset Cliffs Blvd.
San Diego, Ca 92107

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San Diego, CA 92107

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G COLEMAN ARCHITECT

LICENSED ARCHITECT
GREGORY COLEMAN
No. C 35761
REN. 1-31-21
STATE OF CALIFORNIA

Current Drawing Set

Description	Issue Date
CDP/SDP Re-Submittal Set	04/19/19

Current Revision

No.	Description	Issue Date

Sheet Issue Date 04/19/19
Scale 1/4" = 1'-0"
GCD Project Number 1714

General Project Information

G1.1

ATTACHMENT 9

4/18/2019 1:44:10 PM

Storm Water Quality Notes

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code and the Storm Water Standards Manual.

Notes below represent key minimum requirements for construction BMP's.

1. The contractor shall be responsible for cleanup of all silt and mud on adjacent street(s), due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breech in installed construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
2. All stockpiles of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when five day rain probability forecast exceeds 40%.
3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
4. The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breech in effectiveness.
5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Storm Water Requirements Applicability Checklist

FORM **DS-560**
October 2016

Project Address: 919 Sunset Cliffs Blvd., San Diego, Ca 92107

Project Number *(for City Use Only)*:

SECTION 1. Construction Storm Water BMP Requirements:
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP)[1], which is administered by the State Water Resources Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)

   ☐ Yes; SWPPP required, skip questions 2-4 ☒ No; next question

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and contact with storm water runoff?

   ☒ Yes; WPCP required, skip 3-4 ☐ No; next question

3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)

   ☐ Yes; WPCP required, skip 4 ☐ No; next question

4. Does the project only include the following Permit types listed below?

   - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
   - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
   - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.

   ☐ Yes; no document required

Check one of the boxes below, and continue to PART B:

☐ If you checked "Yes" for question 1, **a SWPPP is REQUIRED. Continue to PART B**

☒ If you checked "No" for question 1, and checked "Yes" for question 2 or 3, **a WPCP is REQUIRED.** If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. **Continue to PART B.**

☐ If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B **does not apply and no document is required. Continue to Section 2.**

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml

PART B: Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

1. ☐ **ASBS**
   a. Projects located in the ASBS watershed.
2. ☐ **High Priority**
   a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
   b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
3. ☐ **Medium Priority**
   a. Projects 1 acre or more but not subject to an ASBS or high priority designation.
   b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
4. ☒ **Low Priority**
   a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.

SECTION 2. Permanent Storm Water BMP Requirements.

Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? ☐ Yes ☒ No
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? ☐ Yes ☒ No
3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). ☐ Yes ☒ No

PART D: PDP Exempt Requirements.

PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

1. **Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:**
   - **Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;**
   - **Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;**
   - **Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual?**

   ☐ Yes; PDP exempt requirements apply ☒ No; next question
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?

   ☐ Yes; PDP exempt requirements apply ☒ No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

1. **New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
2. **Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
3. **New development or redevelopment of a restaurant.** Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. ☐ Yes ☒ No
4. **New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. ☐ Yes ☒ No
5. **New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** ☐ Yes ☒ No
6. **New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ☐ Yes ☒ No

7. **New development or redevelopment discharging directly to an Environmentally Sensitive Area.** The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). ☐ Yes ☒ No
8. **New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.** The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. ☐ Yes ☒ No
9. **New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces.** Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. ☐ Yes ☒ No
10. **Other Pollutant Generating Project.** The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces. ☐ Yes ☒ No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

1. The project is **NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.** ☐
2. The project is a **STANDARD DEVELOPMENT PROJECT**. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. ☒
3. The project is **PDP EXEMPT**. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. ☐
4. The project is a **PRIORITY DEVELOPMENT PROJECT**. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management ☐

Greg Coleman (Agent)
Name of Owner or Agent *(Please Print)* Title

Signature Date 04/23/18

Green Building Standards

1. A plan is developed and implemented to manage storm water drainage during construction.
2. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.
3. Provide capability for electric vehicle charging one- and two-family dwellings and in townhouses with attached private garages; and 3 percent of total parking spaces, as specified, for multifamily dwellings.
4. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.
5. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.
6. Automatic irrigation systems controllers installed at the time of final inspection shall be weather or soil moisture-based.
7. Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
8. Recycle and/or salvage for reuse a minimum of 50 percent of the non-hazardous construction and demolition waste in accordance with one of the following:
   1. Comply with a more stringent local construction and demolition waste management ordinance
   2. A construction waste management plan, per Section 4.408.2
   3. A waste management company, per Section 4.408.3
   4. The waste stream reduction alternative, per Section 4.408.4.
9. An operation and maintenance manual shall be provided to the building occupant or owner.
10. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed wood stove or pellet stove shall comply with US EPA Phase II emission limits where applicable. Wood stoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
11. Duct openings and other related air distribution component openings shall be covered during construction.
12. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
13. Paints, stains and other coatings shall be compliant with VOC limits.
14. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.
15. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.
16. Carpet and carpet systems shall be compliant with VOC limits.
17. 80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.
18. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.
19. Vapor retarder and capillary break is installed at slab-on-grade foundations.
20. Moisture content of building materials used in wall and floor framing is checked before enclosure.
21. Environmental comfort is selected using the following methods:
    1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2004 or equivalent.
    2. Size duct systems according to ANSI/ACCA1 Manual D-2009 or equivalent.
    3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2004 or equivalent.
22. HVAC system installers are trained and certified in the proper installation of HVAC systems.
23. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.
24. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.

Willink Residence

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G COLEMAN ARCHITECT

LICENSED ARCHITECT
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Current Drawing Set

Description	Issue Date
CDP/SDP Re-Submittal Set	04/19/19

Current Revision

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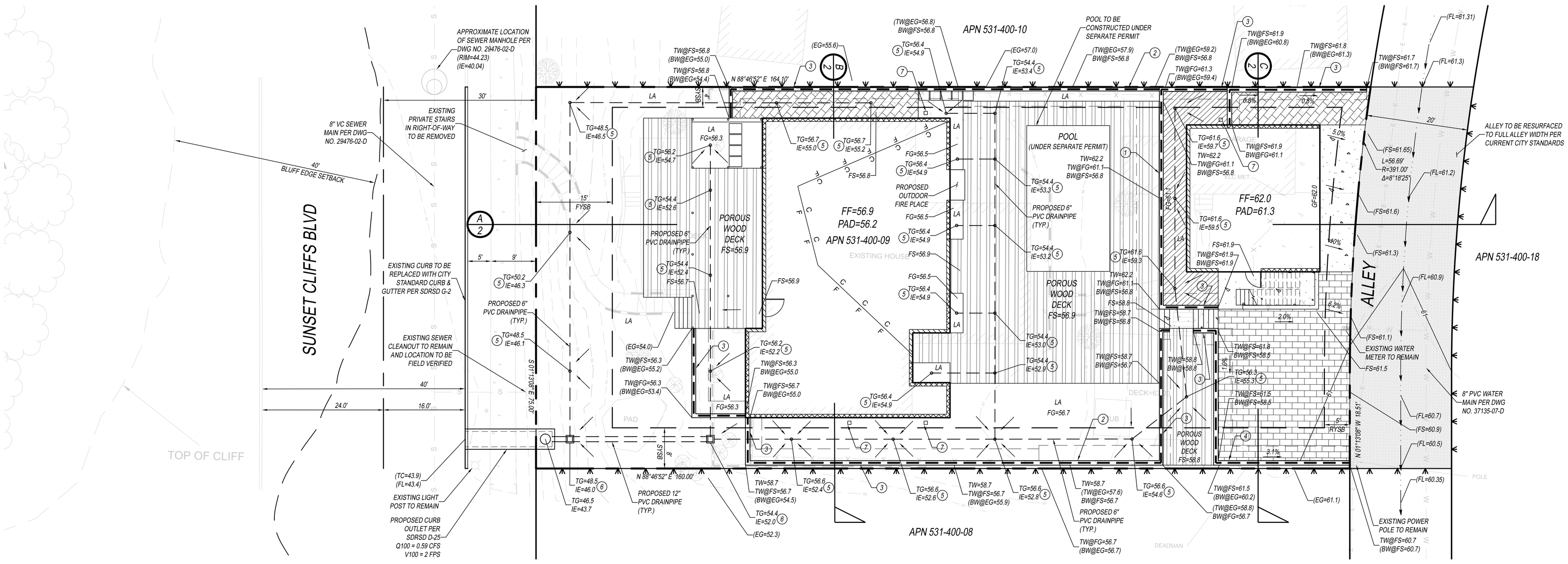
Sheet Issue Date 04/19/19
Scale
GCD Project Number 1714

Storm Water & Green Building Standards

G1.2

ATTACHMENT 9

PRELIMINARY DRAINAGE & GRADES PLAN



LEGEND

- PROPERTY LINE
- CENTERLINE OF ROAD
- ADJACENT PROPERTY LINE
- PROPOSED SETBACKS
- EXISTING CONTOUR LINE (640)
- PROPOSED CONTOUR LINE (640)
- PROPOSED FLOWLINE
- PROPOSED PCC PAVEMENT
- PROPOSED POROUS WOOD DECK
- PROPOSED POROUS MATERIAL
- PROPOSED LOW IMPACT DEVELOPMENT (LID) PLANTER
- PROPOSED CUT / FILL LINE (C F)
- EXISTING WATER MAIN (SIZE PER PLAN) (W)
- EXISTING SEWER MAIN (SIZE PER PLAN) (S)
- PROPOSED 6" PVC STORM DRAIN
- PROPOSED 12" PVC STORM DRAIN
- PROPOSED RETAINING WALL (TYPE PER PLAN)
- PROPOSED DEEPENED FOOTING PER SEPARATE PLANS
- PROPOSED STEM WALL PER SEPARATE PLANS
- PROPOSED LIMIT OF GRADING

CONSTRUCTION NOTES

1. PROPOSED MASONRY RETAINING WALL PER SDRSD C-01
2. PROPOSED MASONRY RETAINING WALL PERSDRSD C-02
3. PROPOSED MASONRY RETAINING WALL PER SDRSD C-03
4. PROPOSED MASONRY RETAINING WALL PER SDRSD C-04
5. PROPOSED 6" AREA DRAIN
6. PROPOSED 12" x 12" NDS CATCH BASIN
7. PROPOSED STORMWATER DOWNSPOUTS PER ARCHITECTURAL SHEETS

SITE / IMPERVIOUS SURFACE AREA

TOTAL SITE AREA	=	13,581 SF (0.31 ACRES)
EXISTING IMPERVIOUS AREA	=	6,024 SF (0.14 ACRES)
PROPOSED IMPERVIOUS AREA	=	4,831 SF (0.11 ACRES)
PROPOSED PERVIOUS AREA	=	8,750 SF (0.20 ACRES)
GRADING DISTURBED AREA	=	12,077 SF (0.28 ACRES)

EARTHWORK

CUT = 300 CY
FILL = 90 CY
EXPORT = 210 CY

MAX CUT HEIGHT = 3.2 FT
MAX FILL HEIGHT = 4.5 FT

*NOTE: THESE QUANTITIES ARE APPROXIMATE AND ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING DESIGN AND DETAILING

LEGAL DESCRIPTION

LOT 15, BLOCK "L" OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1981, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARGY 4, 1927.

BENCH MARK

BRASS PLUG LOCATED AT THE INTERSECTION OF MONACO ST. & SUNSET CLIFFS BLVD. BOUNDARY TIED TO MAP 1981 AND CORNER RECORD 30697.
ELEV = 42.95 FEET MSL, PER SAN DIEGO VERTICAL CONTROL BK. PG. 423

TOPOGRAPHY SOURCE

SPENCER-LUEY SURVEY
220 LINDA MAR DR., SOLANA BEACH, CA 92075
PH: (858) 792-9242

NOTE: PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/ PERMITTEE SHALL OBTAIN AN ENCHROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR ANY LANDSCAPING, STAIRS, OR PROPOSED CURB OUTLET IN THE SUNSET CLIFFS BLVD RIGHT OF WAY.

NOTE: PRIOR TO CONNECTING TO ANY EXISTING SEWER LATERAL, THE LATERAL SHALL BE INSPECTED USING A CLOSED-CIRCUIT TELEVISION (CCTV) BY A CALIFORNIA LICENSED PLUMBING CONTRATOR TO VERIFY THE LATERAL IS IN GOOD WORKIGN CONDITION AND FREE OF ALL DEBRIS.

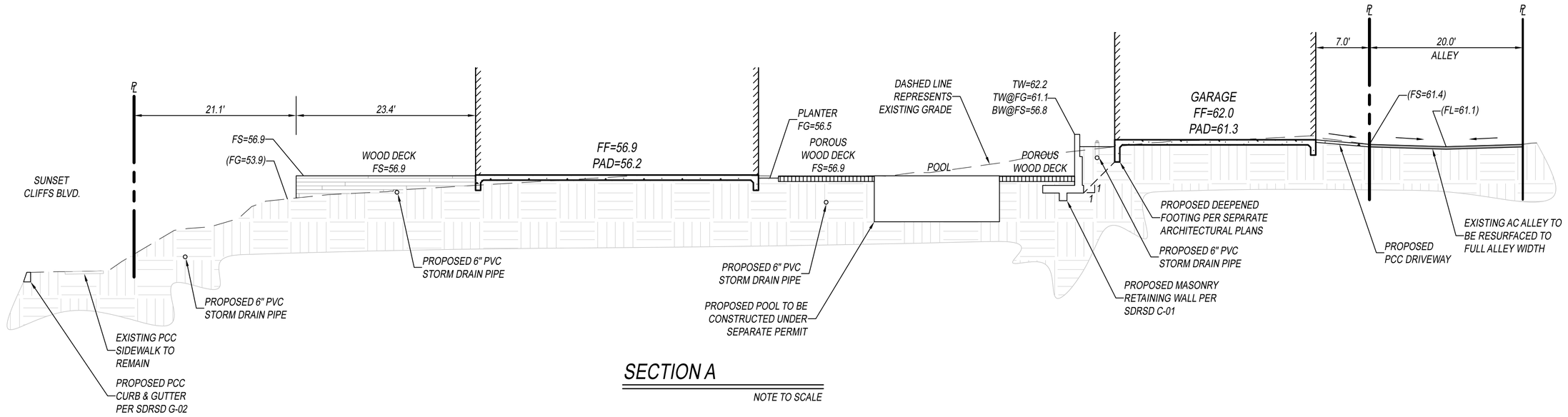
GRAPHIC SCALE 1" = 10'
10 0 10 20 30

PREPARED BY:

PASCO LARET SUITER & ASSOCIATES
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
535 North Highway 101, Ste A, Solana Beach, CA 92075
ph 858.259.8212 | fx 858.259.4812 | plsaengineering.com

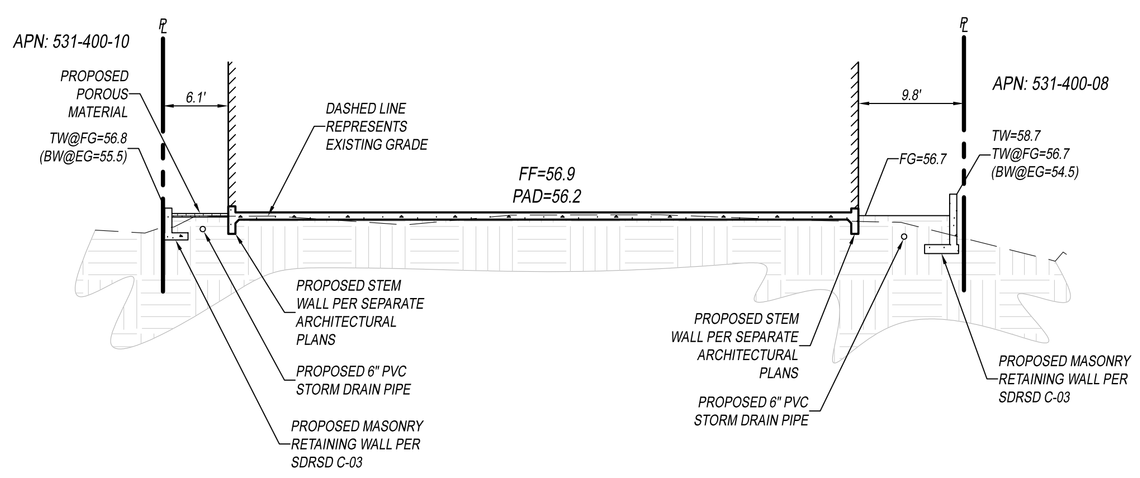
C1.1
DRAINAGE & GRADES PLAN
10-XX-18

ATTACHMENT 9



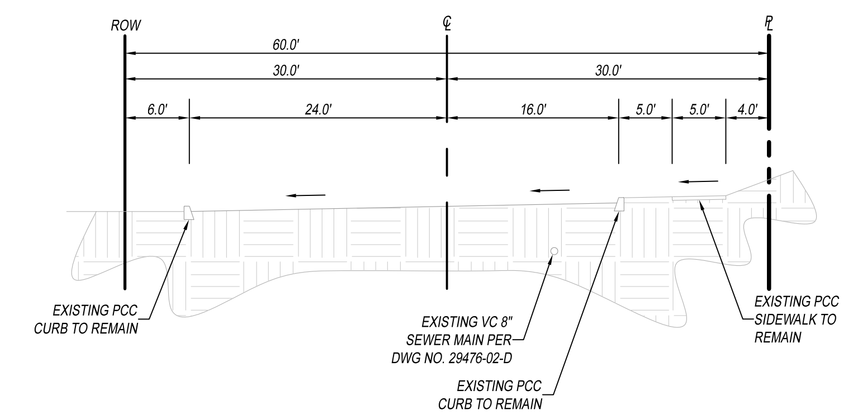
SECTION A

NOTE TO SCALE



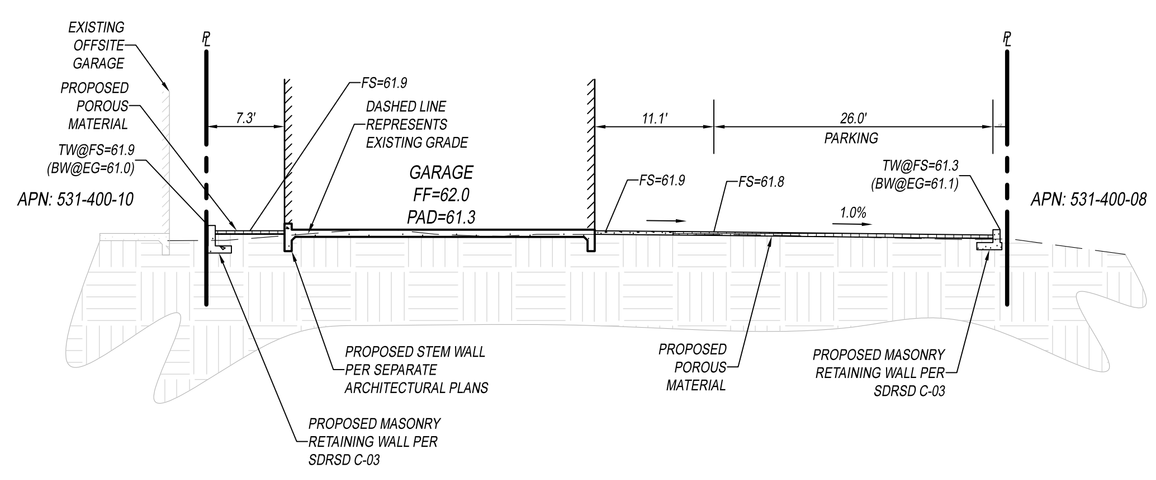
SECTION B

NOTE TO SCALE



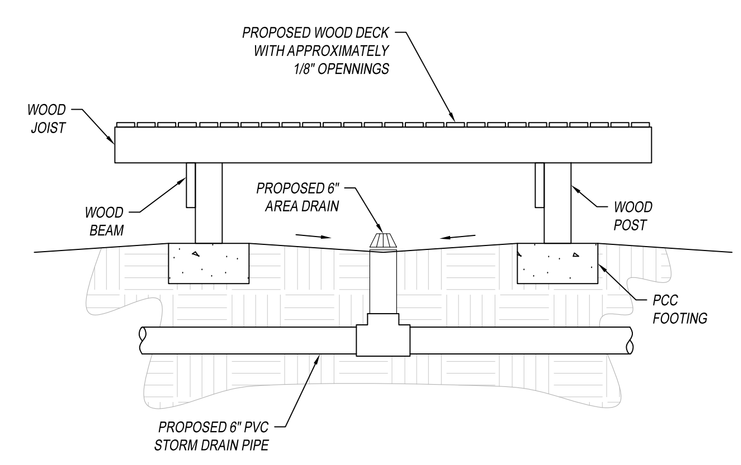
SUNSET CLIFFS BLVD. - TYPICAL SECTION

NOTE TO SCALE



SECTION C

NOTE TO SCALE



WOOD DECK DRAINAGE - TYPICAL DETAIL

NOTE TO SCALE

PREPARED BY:

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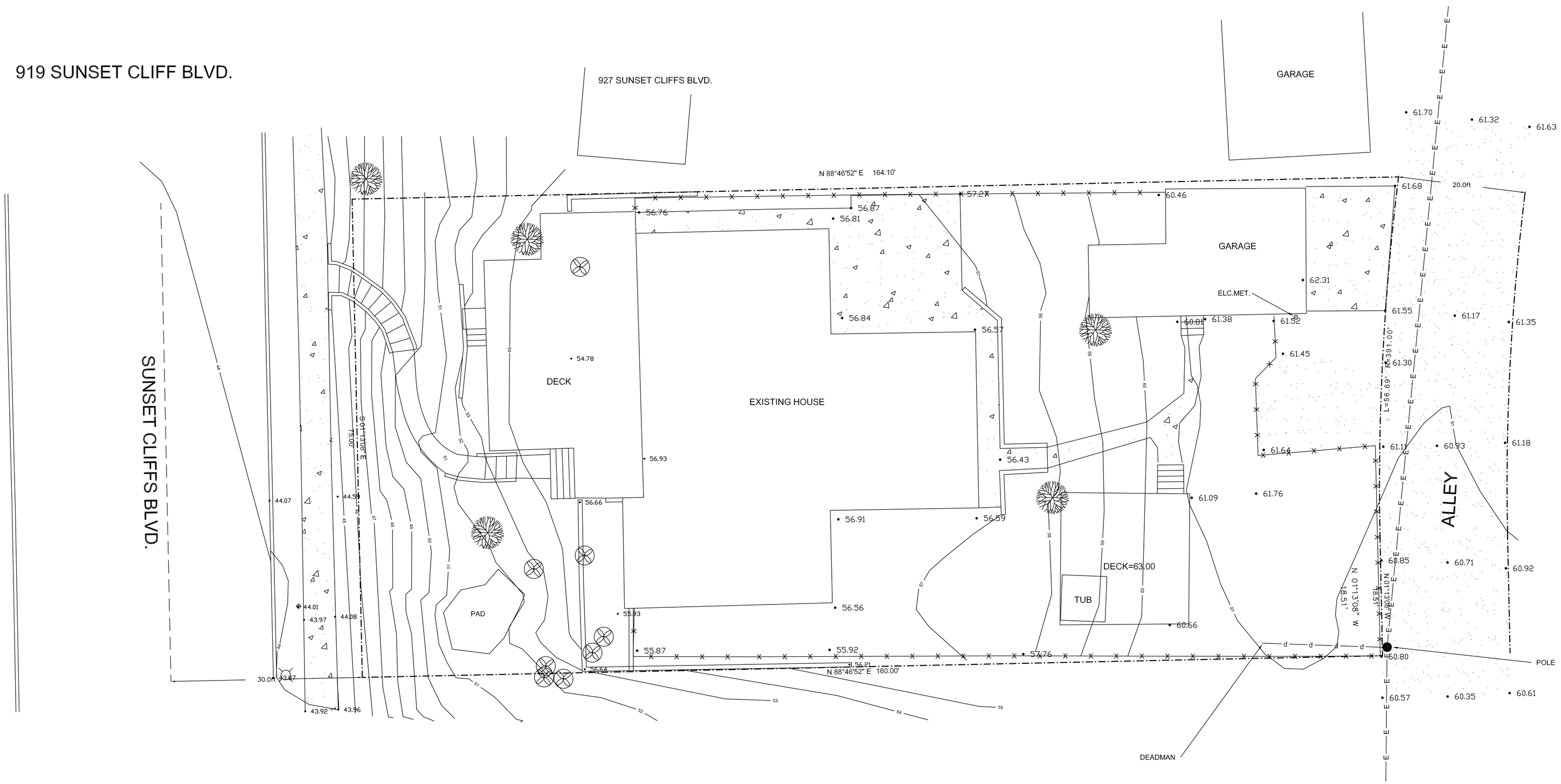
535 North Highway 101, Ste A, Solana Beach, CA 92075
ph 858.259.8212 | fx 858.259.4812 | plsaengineering.com

C1.2
SECTIONS & DETAILS
10-XX-18

ATTACHMENT 9



ELEVATIONS TIED TO BRASS PLUG LOCATED AT THE INTERSECTION OF MONACO ST. & SUNSET CLIFFS BLVD. EL=42.95 PER CITY OF SAN DIEGO VERTICAL CONTROL BK. PG. 423.
BOUNDARY TIED TO MAP 1981 AND CORNER RECORD 30697.
PLOT BY SPENCER-LUEY SURVEY. 858-792-9242.

C:AA/SUNSET CLIFFS 919

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G COLEMAN ARCHITECT

LICENSED ARCHITECT
GREGORY COLEMAN
No. C 35761
REN. 1-31-21
STATE OF CALIFORNIA

Current Drawing Set

Description	Issue Date
CDP/SDP Re-Submittal Set	04/19/19

Current Revision

No.	Description	Issue Date

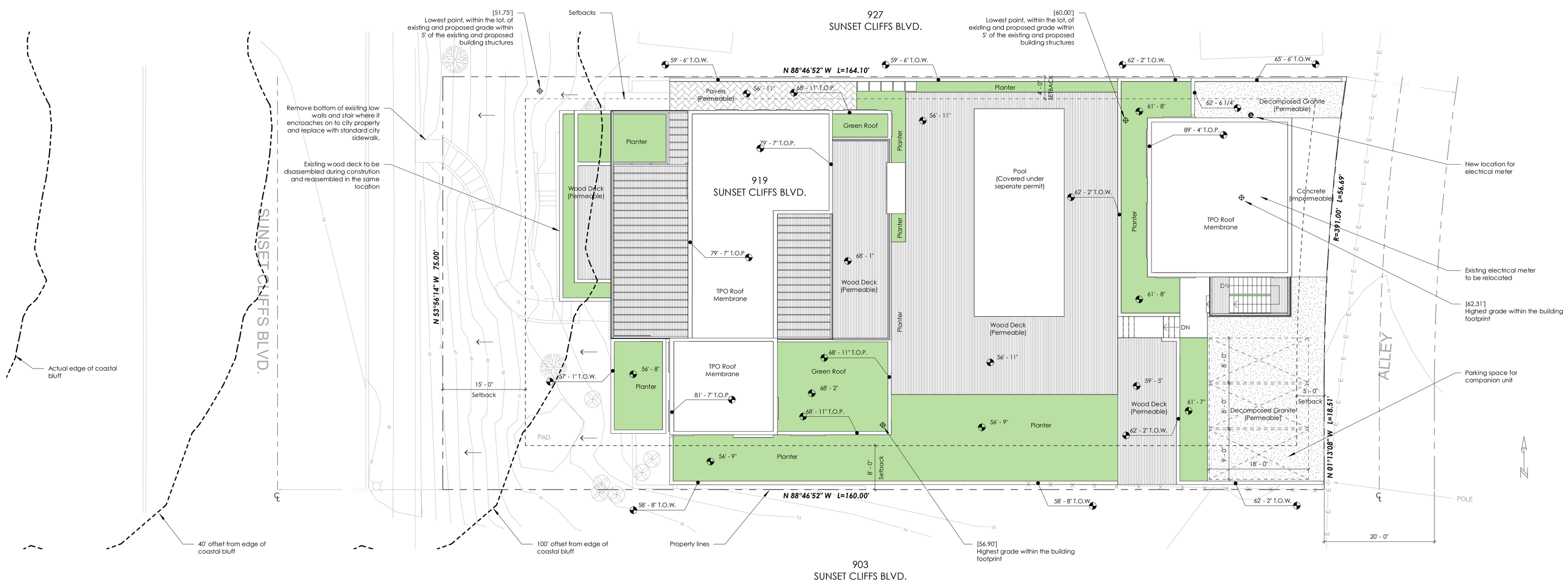
Sheet Issue Date 04/19/19
Scale
GCD Project Number 1714

Survey

A1.0

ATTACHMENT 9

4/18/2019 1:43:57 PM



1 Site Plan
1" = 10'-0"

- Nearest transit stop is bus route 923 at the corner of Sunset Cliffs Blvd. and Point Loma Ave.
- Nearest fire hydrant is on the sw corner of the alley on Monaco St, between Sunset Cliffs Blvd. and Cordova St.
- Nearest light pole is directly in front of the lot on the sw corner of the property [on Sunset Cliffs Blvd.]
- Provide building address numbers, visible and legible from the street or road fronting the property per FHPS policy P-00-6 (UFC 901.4.4)

Hardscape Calculations

Front Yard

Total yard area	3,246 sf
Hardscape area	162 sf
Percentage Hardscape	**0.05%**

Easement Notes

1. There are no water, sewer of general utility easements on or adjacent to the property under review

BMP Notes

1. Prior to the issuance of any construction permit, the owner/permitee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (grading regulations) of the San Diego Municipal Code, into the construction plans or specifications.
2. Prior to the issuance of any construction permit, the owner/permitee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the city's storm water standards.

Parking Calculations

	Required Spaces	Provided Spaces
Existing 5-bedroom House	2	2
Renovated 5-bedroom House	2	2
New Companion Unit	1	1
Total	**3**	**3**

FAA Notes

I, Greg Coleman, do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required

Water & Sewer Notes

1. All proposed water and sewer facilities (public and private) within the public ROW or public easement must be designed and constructed, or abandoned, in accordance with the criteria established within the city of San Diego's current water and sewer facility design guidelines, regulations, standards, and practices pertaining thereto.
2. All proposed privately maintained water and sewer facilities located within a single lot or private easement must be designed and constructed in accordance with the criteria established within the current California Plumbing Code.
3. All water services to the site (excepting single family domestic service lines, and single family domestic/fire combined service lines where the residential fire sprinkler system utilizes passive purge design) must pass through a private above ground back flow prevention device (BFPD). BFPDs are to be located above ground, on private property, in line with the service, and immediately adjacent to the right-of-way.
4. No trees or shrubs whose height will be 3' or greater at maturity shall be installed or retained within 5' of any publicly maintained water facilities or within 10' of any publicly maintained sewer facilities.

General Notes

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6. Refer to wall and floor type sheets for wall, floor and roof build-ups and ratings.
7. Insulation material shall meet the California Quality Standard per Section 110.8 Energy Efficiency Standards.
8. Doors and windows shall meet the minimum infiltration requirements per Sections 110.6 and 110.7 E.E.S.
9. Provide minimum R-21 insulation in all exterior walls and minimum R-30 insulation in all roofs and floor systems exposed to the exterior.

4/18/2019 1:43:59 PM

Willink Residence

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San Diego, Ca 92107

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G COLEMAN ARCHITECT

LICENSED ARCHITECT
GREGORY COLEMAN
No. C 35761
REN. 1-31-21
STATE OF CALIFORNIA

Current Drawing Set

Description	Issue Date
CDP/SDP Re-Submittal Set	04/19/19

Current Revision

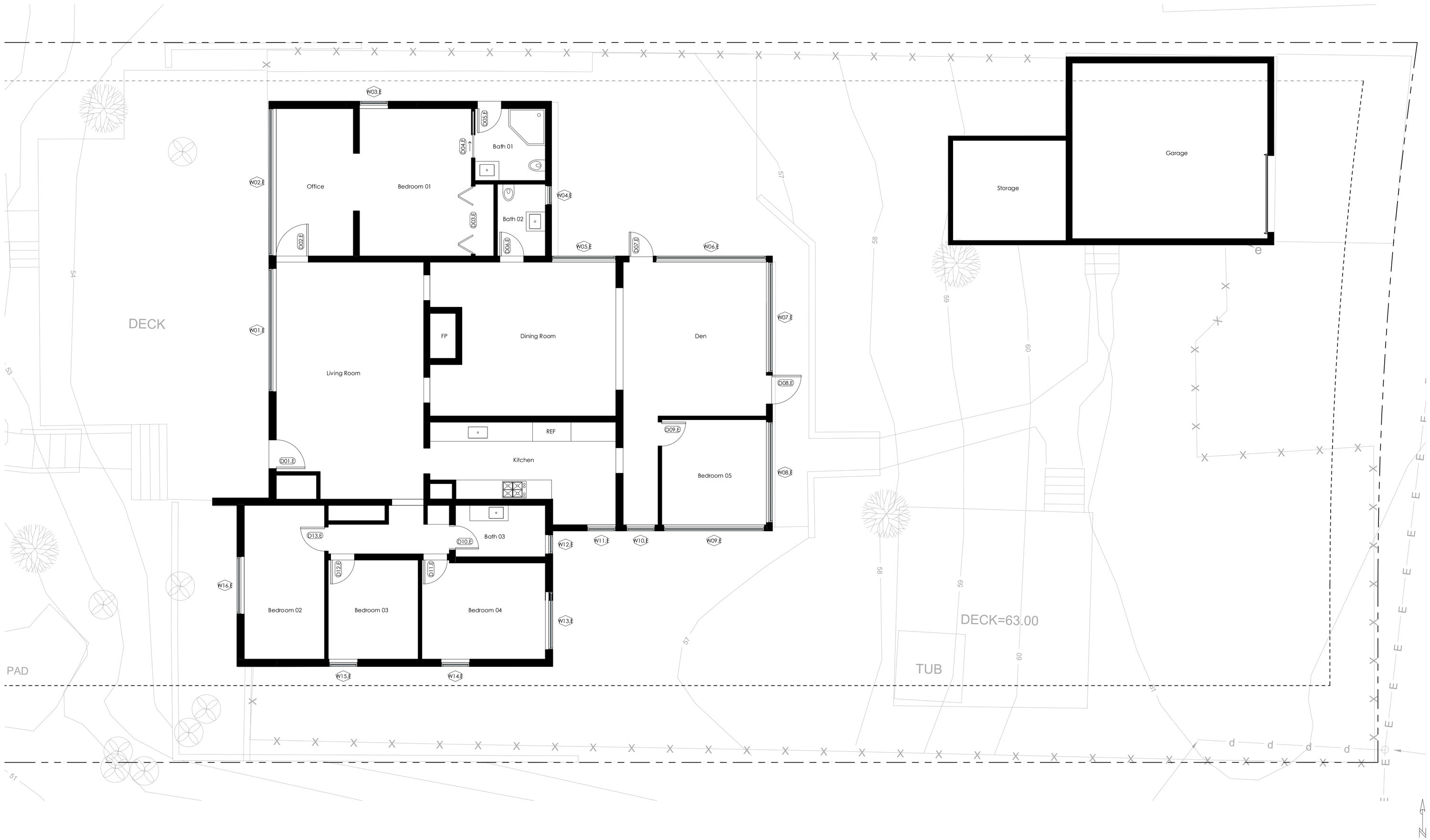
No.	Description	Issue Date
3	CDP/SDP Rev 03	02/08/19

Sheet Issue Date 04/19/19
Scale 1" = 10'-0"
GCD Project Number 1714

Site Plan

A1.1

ATTACHMENT 9



1 Level 1 - Existing
3/16" = 1'-0"

Areas (Proposed)

Level 1

• Main Residence	2,132 sf
• Garage	744 sf

Level 2

• Main Residence	1,136 sf
• Companion Unit	744 sf
• Decks	1,131 sf

Total Living Area
(not including garage or decks)

• **Main Residence**	**3,268 sf**
• **Companion Unit**	**744 sf**

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4/18/2019 1:44:00 PM

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Scale: 3/16" = 1'-0"
GCD Project Number: 1714

Level 1 - Existing Floor Plan

A2.0

ATTACHMENT 9

1 Level 1
3/16" = 1'-0"

Areas (Proposed)

LEVEL 1

- MAIN RESIDENCE 2,132 sf
- GARAGE 744 sf

LEVEL 2

- MAIN RESIDENCE 1,136 sf
- COMPANION UNIT 744 sf
- DECKS 1,131 sf

TOTAL LIVING AREA
(NOT INCLUDING GARAGE OR DECKS)

- **MAIN RESIDENCE 3,268 sf**
- **COMPANION UNIT 744 sf**

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4/18/2019 1:44:03 PM

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Sheet Issue Date 04/19/19
Scale 3/16" = 1'-0"
GCD Project Number 1714

Level 1 - Proposed Floor Plan

A2.1

ATTACHMENT 9

1 Level 2
3/16" = 1'-0"

Areas (Proposed)

Level 1

• Main Residence	2,132 sf
• Garage	744 sf

Level 2

• Main Residence	1,136 sf
• Companion Unit	744 sf
• Decks	1,131 sf

Total Living Area
(not including garage or decks)

• **Main Residence**	**3,268 sf**
• **Companion Unit**	**744 sf**

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4/18/2019 1:44:03 PM

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Current Revision

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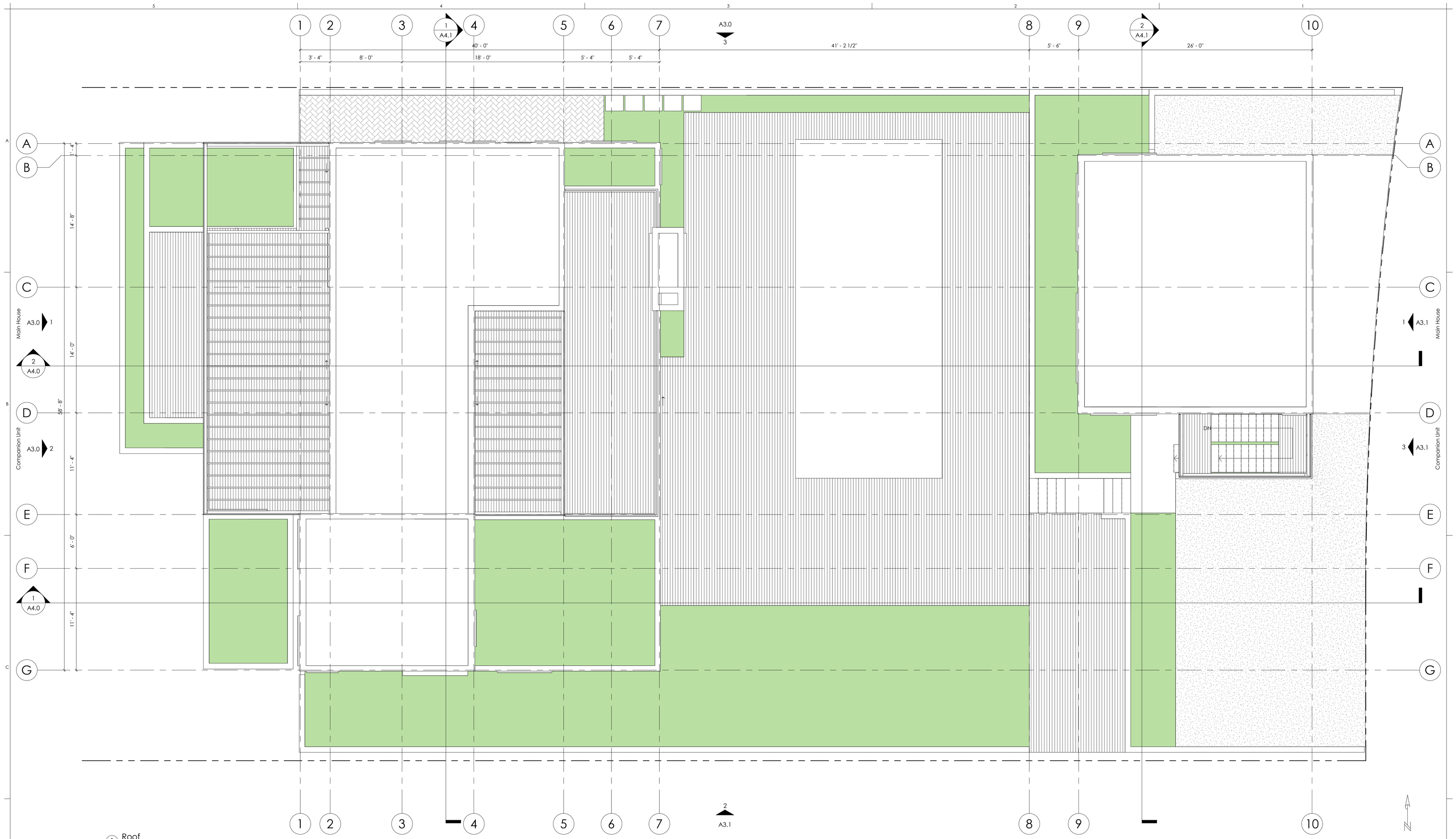
Sheet Issue Date 04/19/19
Scale 3/16" = 1'-0"
GCD Project Number 1714

Level 2 - Proposed Floor Plan

A2.2

ATTACHMENT 9



1 Roof
3/16" = 1'-0"

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Scale 3/16" = 1'-0"
GCD Project Number 1714

Roof Plan

A2.3

ATTACHMENT 9

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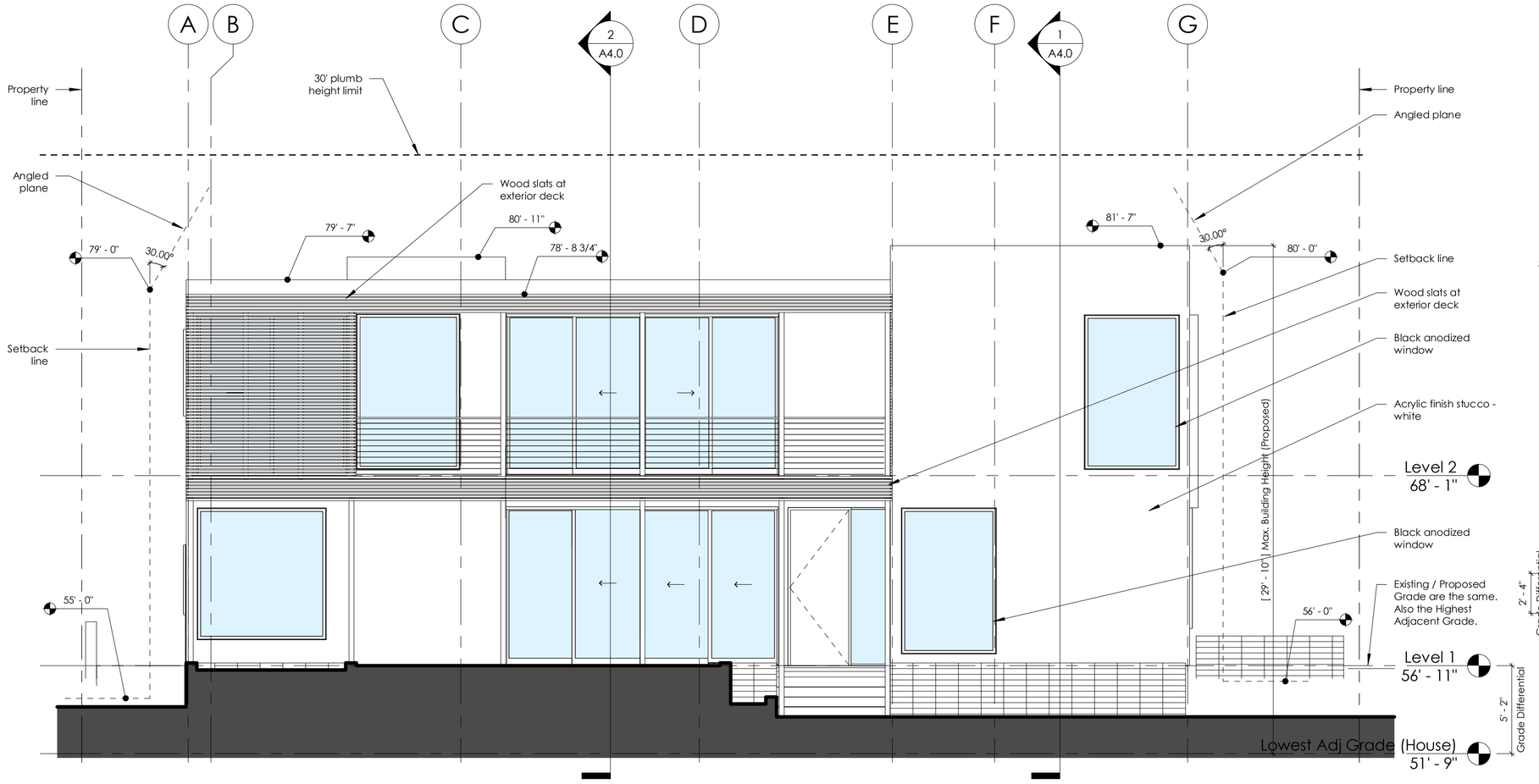
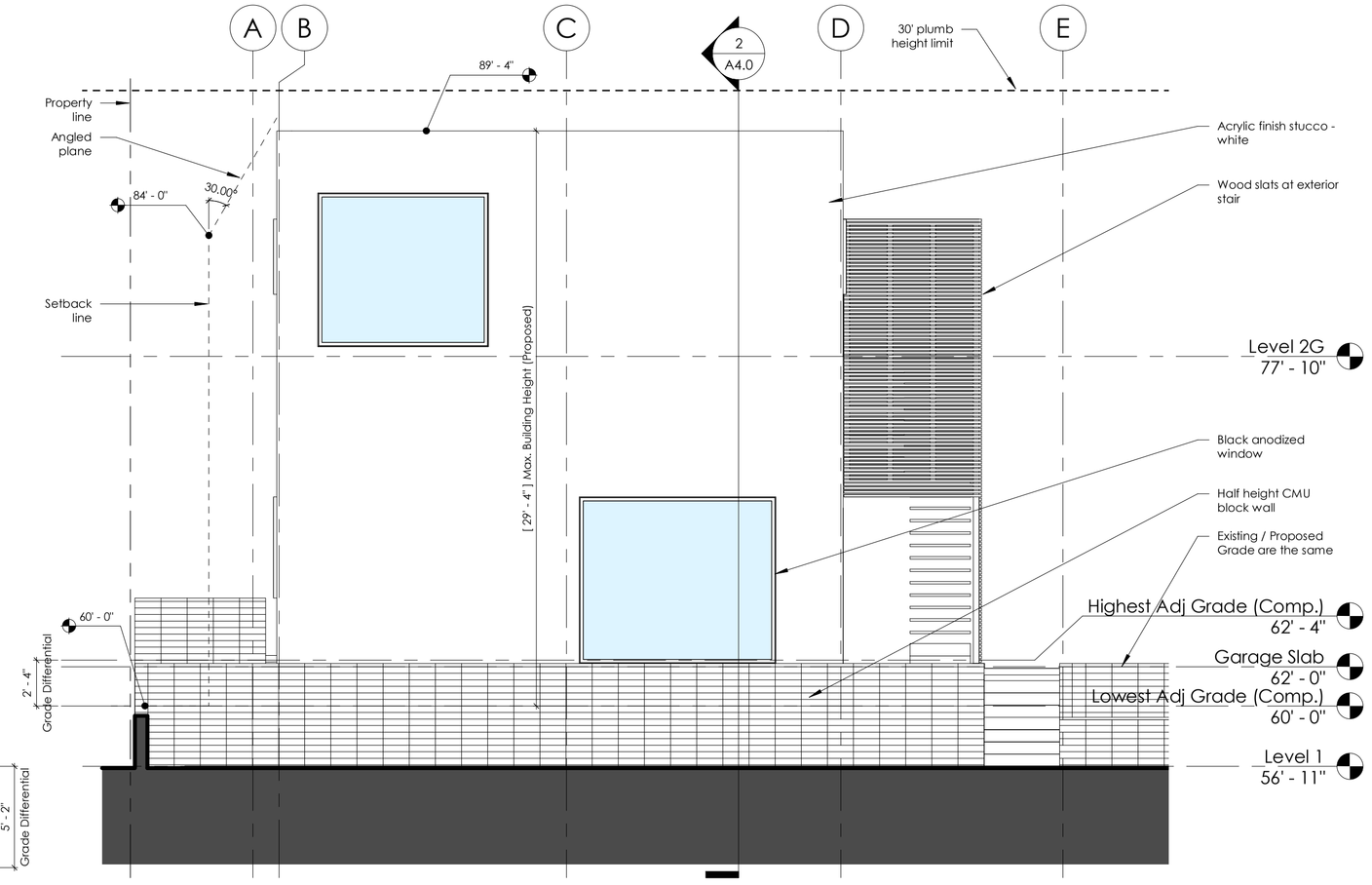


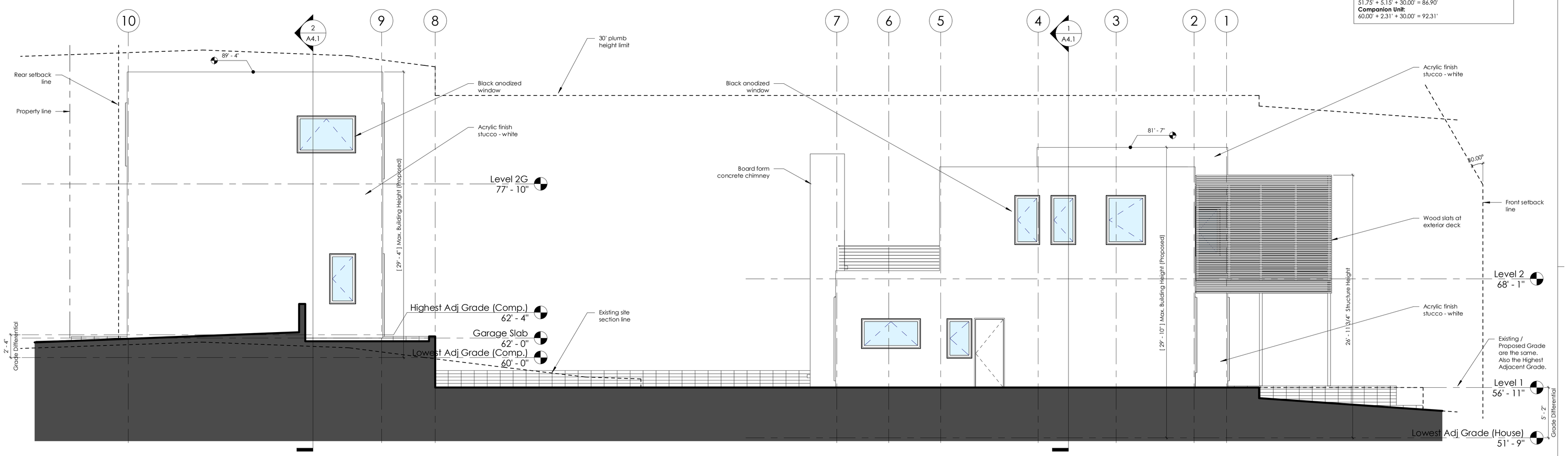
1 West Elevation
3/16" = 1'-0"



2 West Elevation_Companion Unit
3/16" = 1'-0"

Max. Allowable Overall Height
Lowest Adj. Elev. + Differential + 30' = Max. Allowable

Main House:
51.75' + 5.15' + 30.00' = 86.90'
Companion Unit:
60.00' + 2.31' + 30.00' = 92.31'



3 North Elevation
3/16" = 1'-0"

Height shall comply with Proposition D height limits as outlined in the City of San Diego Technical Bulletin BLDG-5-4.

4/18/2019 1:44:05 PM

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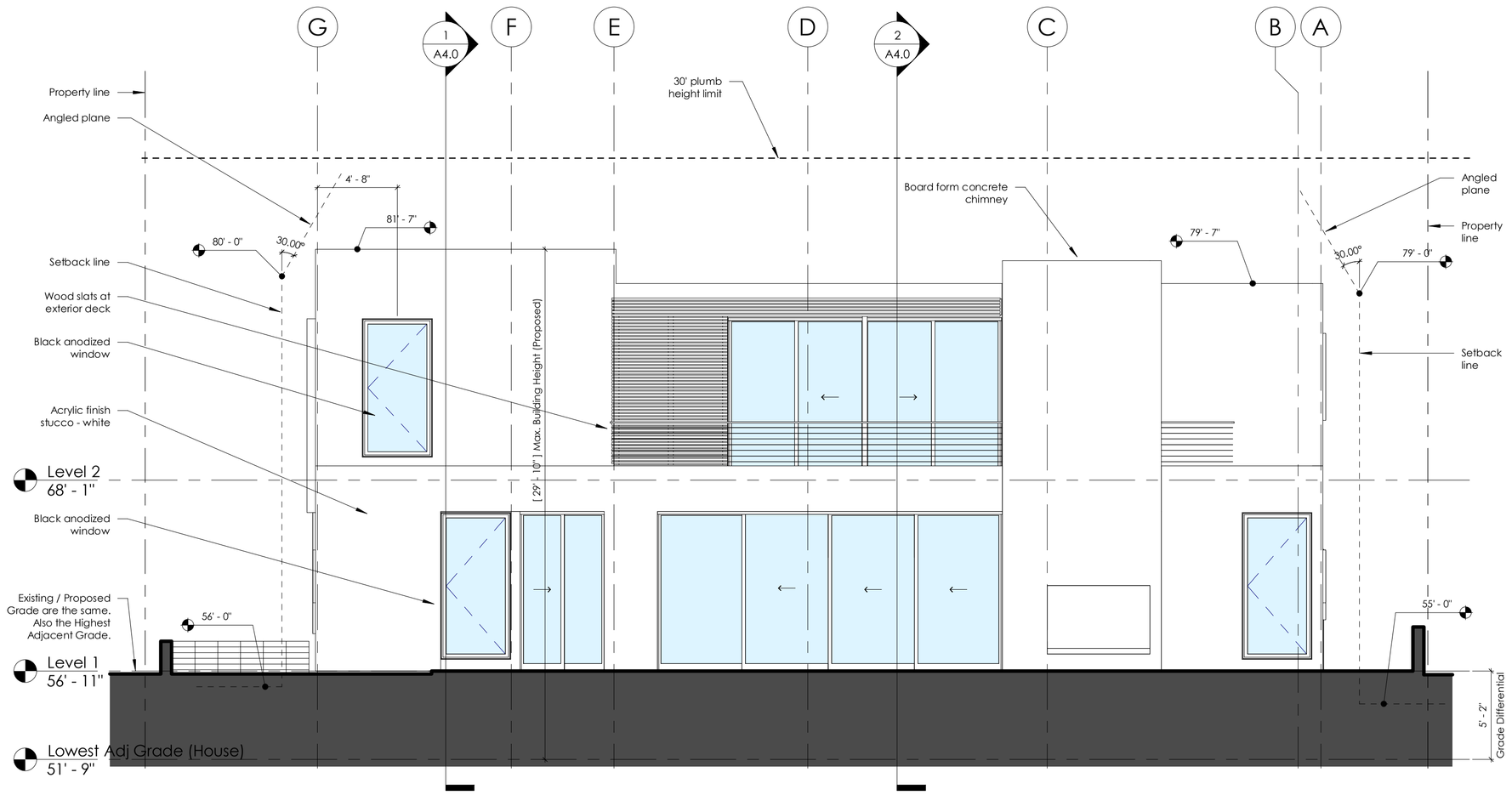
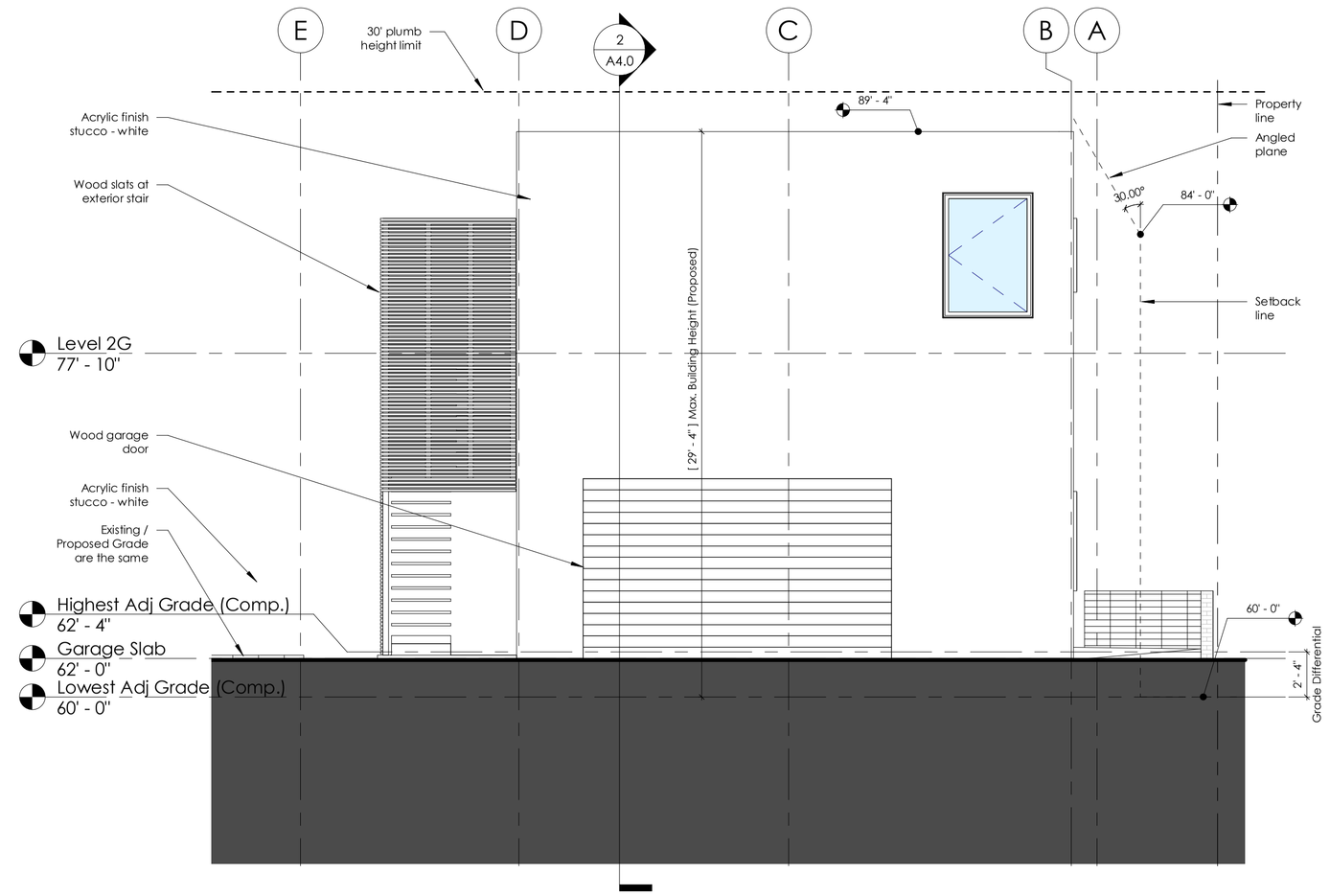
Elevations

A3.0

ATTACHMENT 9



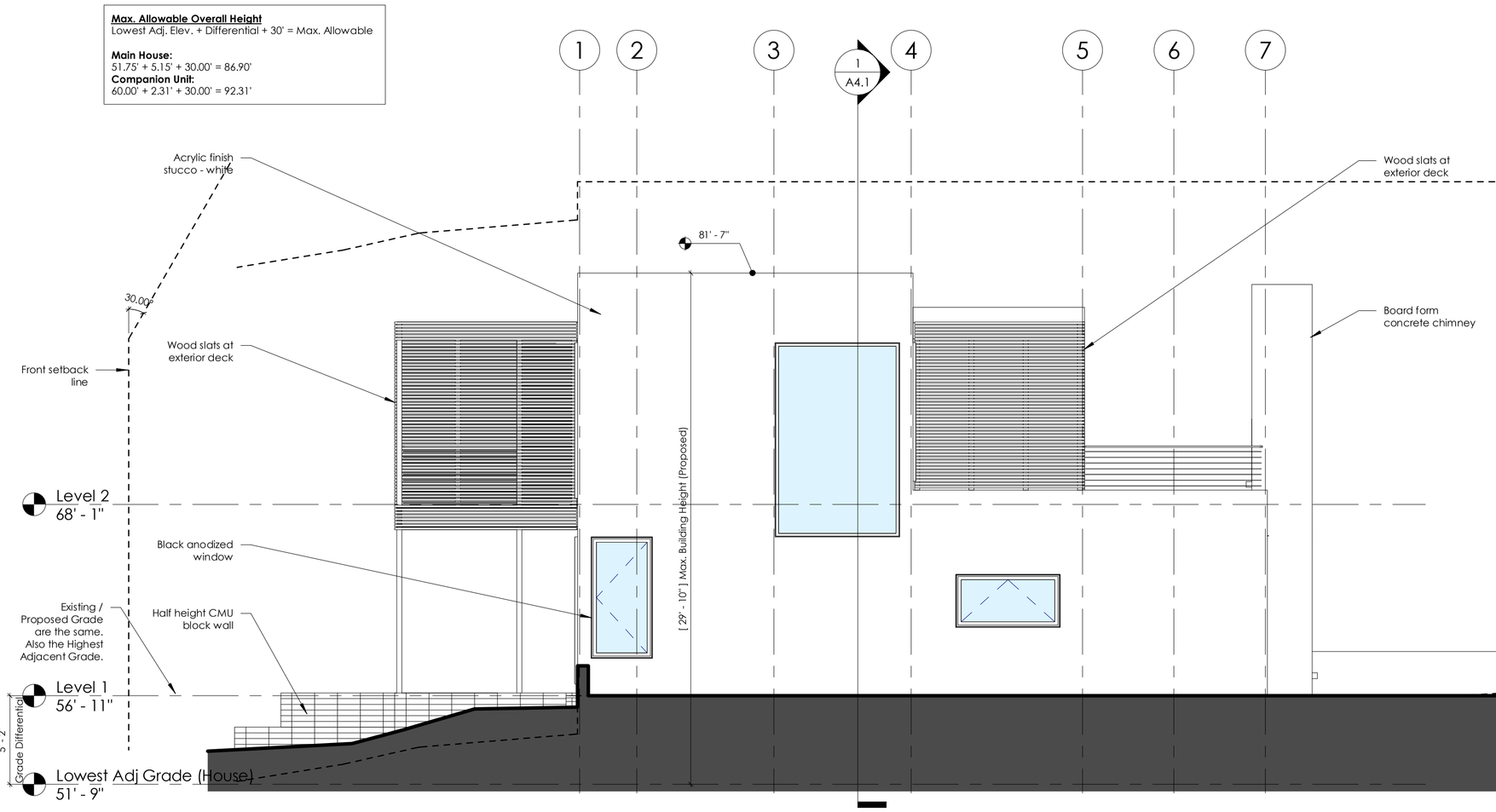
1 East Elevation
3/16" = 1'-0"



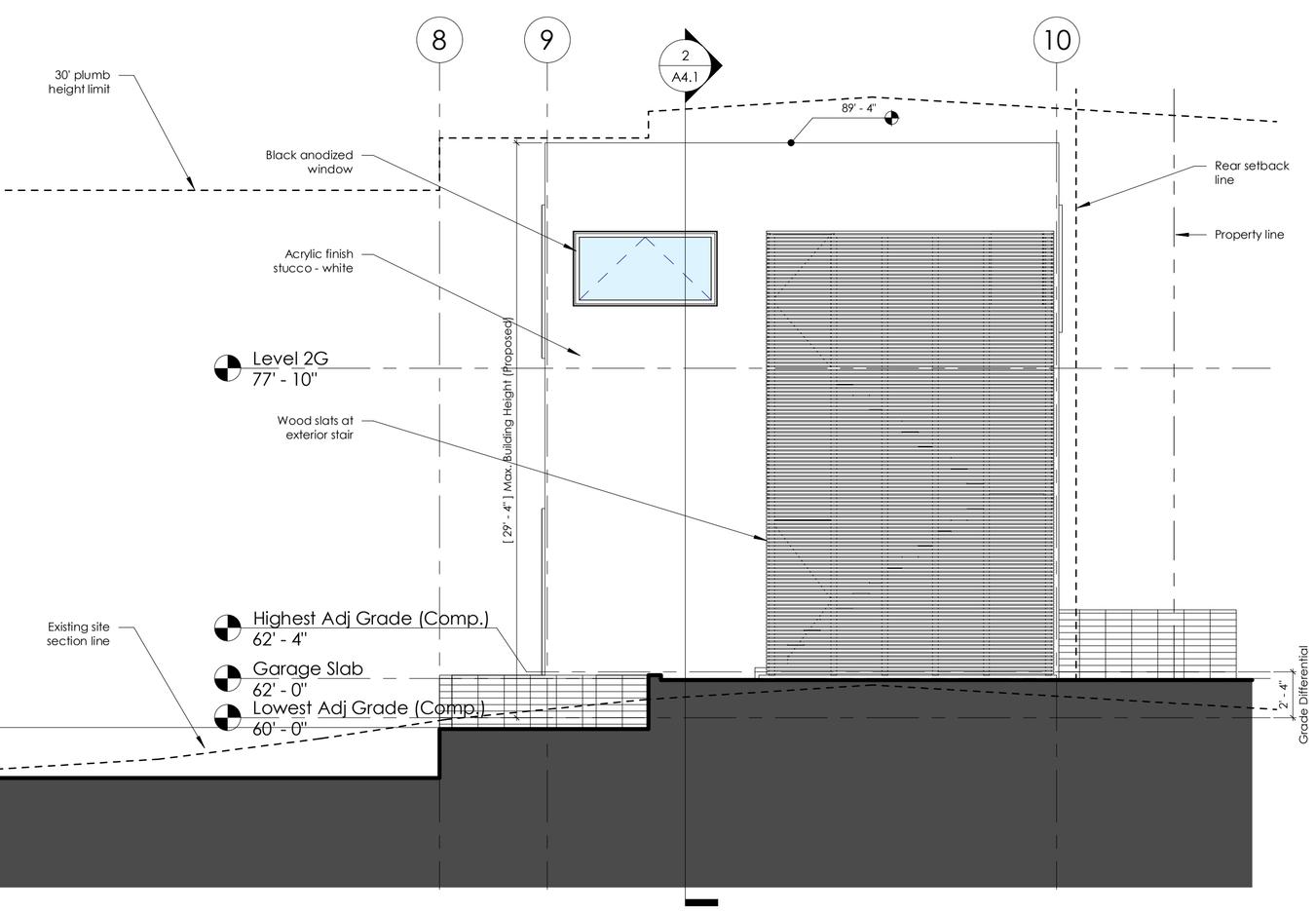
3 East Elevation_Companion Unit
3/16" = 1'-0"

Max. Allowable Overall Height
Lowest Adj. Elev. + Differential + 30' = Max. Allowable

Main House:
51.75' + 5.15' + 30.00' = 86.90'
Companion Unit:
60.00' + 2.31' + 30.00' = 92.31'



2 South Elevation
3/16" = 1'-0"



Height shall comply with Proposition D height limits as outlined in the City of San Diego Technical Bulletin BLDG-5-4.

4/18/2019 1:44:06 PM

Willink Residence

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LICENSED ARCHITECT
GREGORY COLEMAN
No. C 35761
REN. 1-31-21
STATE OF CALIFORNIA

Current Drawing Set

Description	Issue Date
CDP/SDP Re-Submittal Set	04/19/19

Current Revision

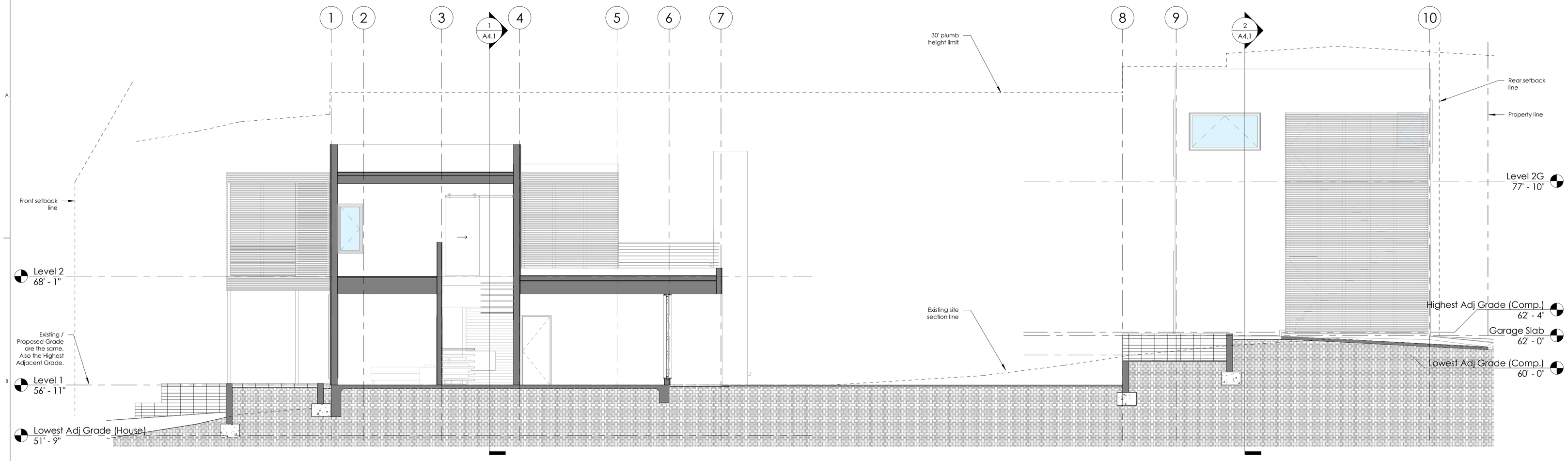
No.	Description	Issue Date
3	CDP/SDP Rev 03	02/08/19

Sheet Issue Date: 04/19/19
Scale: 3/16" = 1'-0"
GCD Project Number: 1714

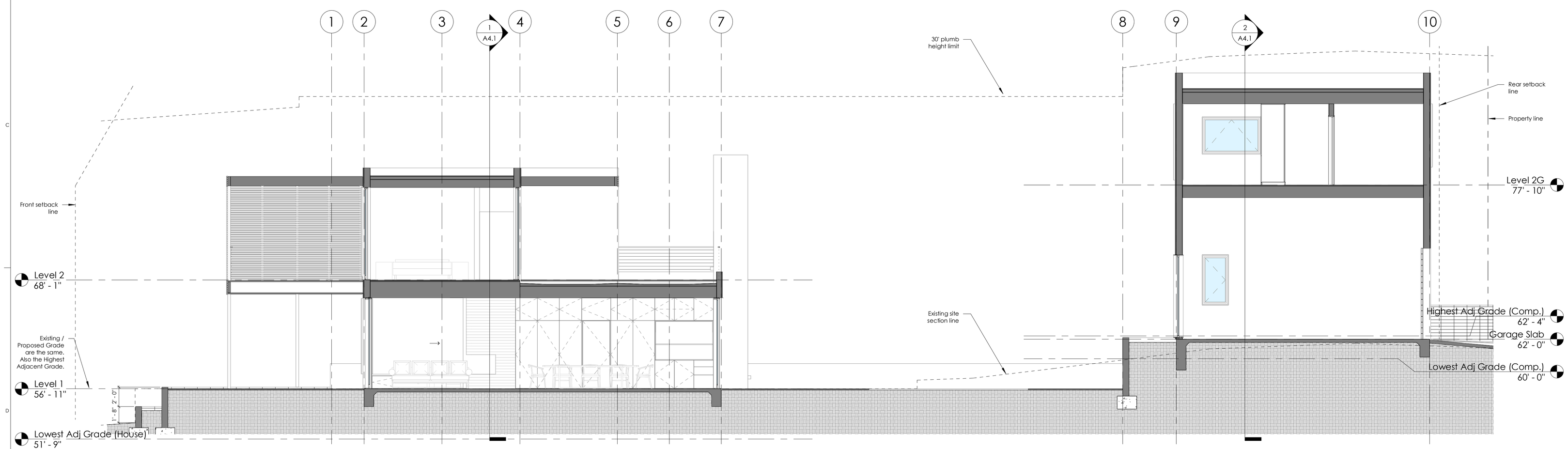
Elevations

A3.1

ATTACHMENT 9



1 E-W Section 01
3/16" = 1'-0"



2 E-W Section 02
3/16" = 1'-0"

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Description	Issue Date
CDP/SDP Re-Submittal Set	04/19/19

Current Revision

No.	Description	Issue Date
2	CDP/SDP Rev 02	01/07/19

Sheet Issue Date: 04/19/19
Scale: 3/16" = 1'-0"
GCD Project Number: 1714

Sections

A4.0

ATTACHMENT 9

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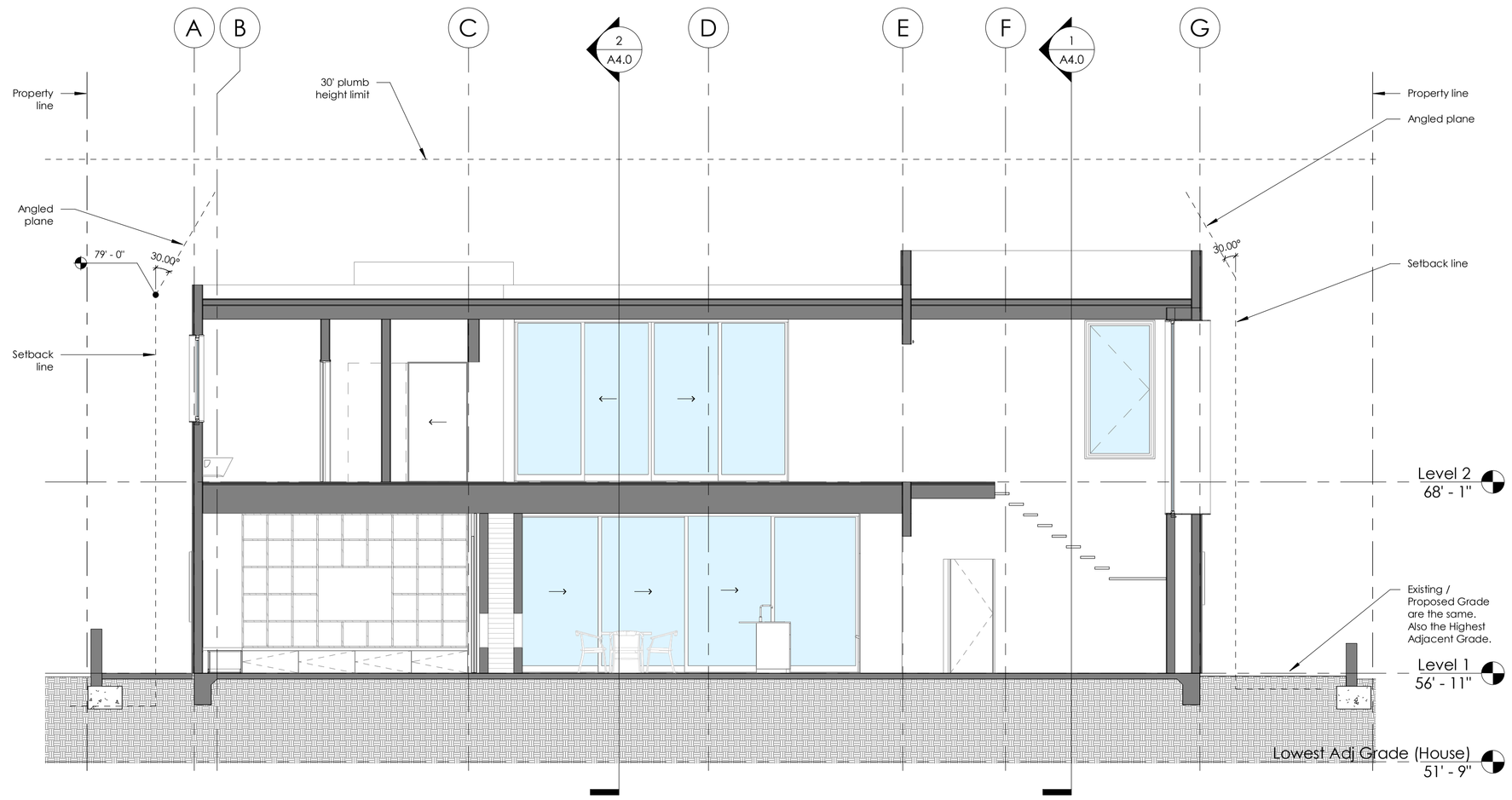

1 N-S Section 01
3/16" = 1'-0"

2 N-S Section 02
3/16" = 1'-0"

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Sections

A4.1

ATTACHMENT 9

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