



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 21, 2019 REPORT NO. HO-19-051

HEARING DATE: May 29, 2019

SUBJECT: Hershfield Residence CDP SDP. Process Three Decision

PROJECT NUMBER: [603740](#)

OWNER/APPLICANT: The Hershfield Family Trust dated 12/21/2001, Owners/Chandra Slaven, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of a single dwelling unit and construction of a single dwelling unit located at 8230 Prestwick Drive within the SF-Zone of the La Jolla Shores Planned District in the La Jolla Community Planning area?

Staff Recommendations:

1. **Adopt** Mitigated Negative Declaration No. 603740;
2. **Adopt** the Mitigation Monitoring and Reporting Program;
3. **Approve** Site Development Permit No. 2134595; and
4. **Approve** Coastal Development Permit No. 2134597.

Community Planning Group Recommendation: On March 7, 2019, the La Jolla Community Planning Association voted 14-1-1 to recommend denial of the proposed project.

La Jolla Shores Advisory Board: On January 16, 2019, the La Jolla Shores Advisory Board voted 4-0-2 to recommend denial of the proposed project.

Environmental Review: A Mitigated Negative Declaration (MND) No. 603740 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared and will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process.

BACKGROUND

The 0.44-acre project site contains an existing 4,067-square-foot single dwelling unit located at 8230 Prestwick Drive in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan (Community Plan). The site is an interior lot on the west side of Prestwick Drive, surrounded by a fully developed single dwelling unit neighborhood. The Community Plan designates the site for Very Low-Density Residential and also designates Prestwick Drive fronting the property with Intermittent or Partial Vistas (Attachments 1-4). In addition, the site is in the Coastal Overlay (Non-Appealable), Coastal Height Limitation Overlay, and the Parking Impact (Coastal) Overlay.

DISCUSSION

Project Description:

The proposed project includes the demolition of the existing dwelling and the construction of a new single-story, over-basement 12,424-square-foot dwelling. A breakdown of construction square footage is provided below:

Main Level:	5,228 sf
Basement Level:	5,529 sf (not counted towards Gross Floor Area (GFA))
Garage:	611 sf
Basement Garage Lift:	596 sf (not counted towards GFA)
Basement Pool Equipment Room:	<u>460 sf</u> (not counted towards GFA)
	12,424 sf

A Site Development Permit is required by San Diego Municipal Code (SDMC) section [151.0201\(c\)](#) for major development within the La Jolla Shores Planned District and a Coastal Development Permit is required for coastal development within the Coastal Overlay Zone, per SDMC section [126.0702](#).

Project Analysis:

As required by the La Jolla Shores Planned District, a neighborhood survey of the existing development pattern and bulk and scale was submitted for the analysis of the project (Attachment 10). Surrounding properties are one- and two-story homes with a variety of architectural vernaculars. Properties in the vicinity range from in size from 2,052 to 5,966 square feet. Although the proposed structure is over 12,000 square feet, more than half of the habitable area is located below grade, and therefore not counted towards floor area. When compared to other dwellings in the vicinity, the proposed home presents as a one-story, flat-roofed, 5,839-square-foot home with attached garage. The visible size of the home is in conformity with the general sizes of homes in the vicinity.

The La Jolla Shores Planned District also contains General Design Regulations, SDMC Section 1510.0301(b), which state that, "No structure shall be approved which is substantially like any other structure located on an adjacent parcel. Conversely, no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area." The architectural form proposed is contemporary and includes changes in building material, proportioned fenestration, and varied building height. Materials include stained wood, concrete with differing finishes, and black-painted steel and stucco. The architecture is similar in nature to a few homes in the vicinity. From the public right-of-way, the roof height is increased from the current

17 feet to an approximately 22-foot height at the parapet. Maximum structure height is approximately 28 feet at the rear of the property and in compliance with the Coastal height limitation. The proposed development will observe setbacks to all property lines consistent with other properties within the vicinity. In addition, the project is conditioned to record view corridor easements over the side yards, protecting intermittent and partial views to the ocean as recommended in the La Jolla Community Plan. Therefore, the proposed dwelling was found to be in general conformity with setbacks and general design regulations as required by the La Jolla Shores Planned District Ordinance SF Zone and the La Jolla Community Plan.

Community Group and Advisory Board Recommendations:

Both the La Jolla Shores Planned District Advisory Board and the La Jolla Community Planning Association voted to recommend denial of the proposed project based on bulk and scale concerns, as well as neighborhood compatibility (Attachments 8 and 9).

Review of the neighborhood survey demonstrates that the proposed residence is in general conformity with adjacent development patterns with regard to architectural compatibility and bulk and scale. Adjacent development does not follow a single or common architectural theme (e.g., Gaslamp Quarter, Old Town), nor are the proposed architecture or materials in stark contrast to adjacent development. The proposed height from the public right-of-way is perceived as a one-story dwelling, and the increase of five feet in height does not constitute a substantial increase in height when compared to adjacent development. The proposed home is therefore in conformity with adjacent development patterns.


Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved. The Project is designed in general conformity with setbacks, bulk and scale, and general design regulations as required by the La Jolla Shores Planned District Ordinance SF Zone and as recommend by the Community Plan. Staff supports a determination that the project meets the regulations of the SDMC and conforms to the recommendations of the Community Plan. With the provided draft findings and draft permit conditions, staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Adopt MND No. 603740 and Adopt the MMRP; and Approve SDP No. 2134595/CDP No. 2134597, with modifications.
2. Do Not Adopt MND No. 603740 nor Adopt the MMRP and Deny SDP No. 2134595/CDP No. 2134597, if the findings required to approve the project cannot be affirmed.

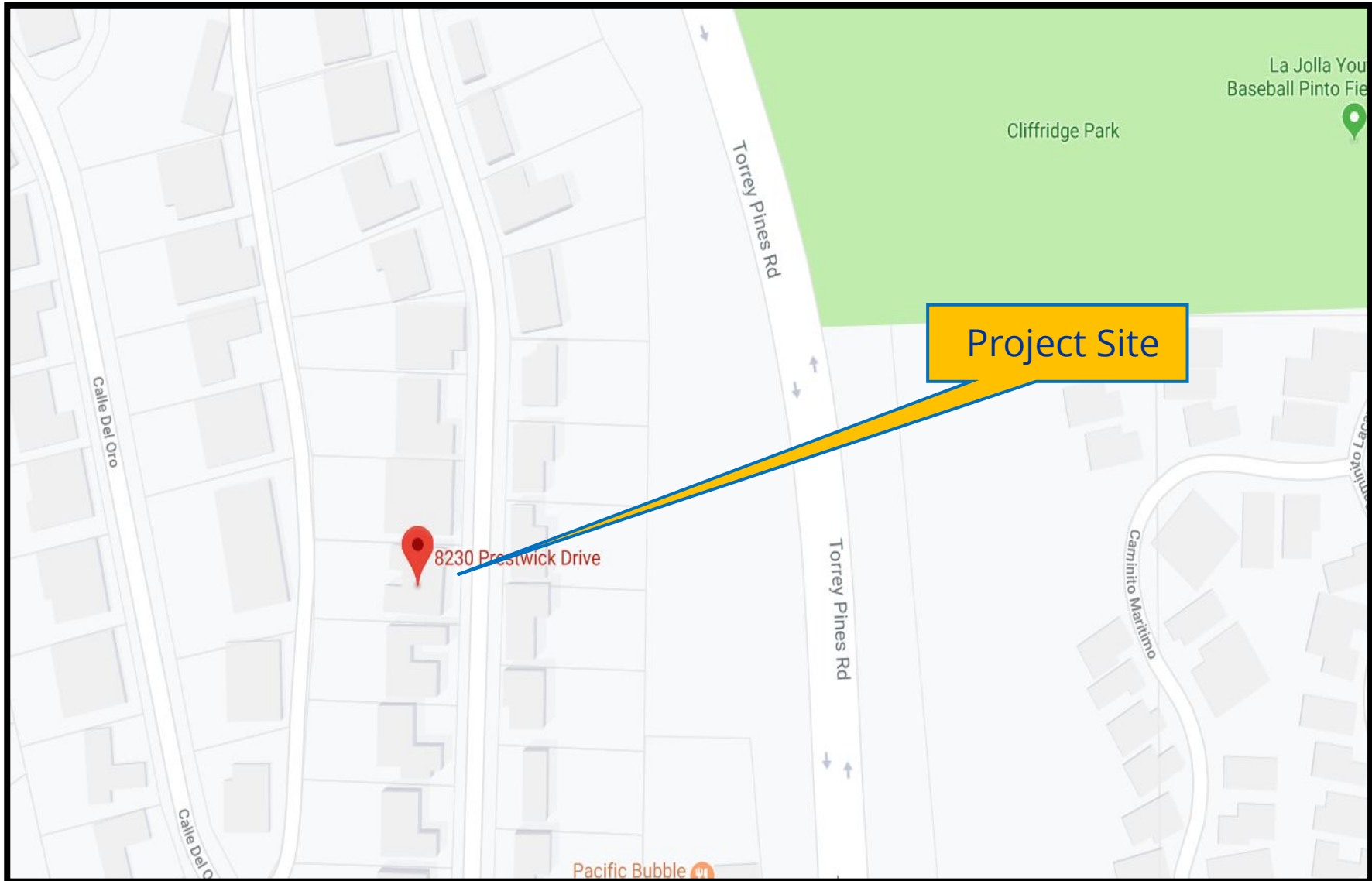
Respectfully submitted,



Francisco Mendoza
Development Project Manager

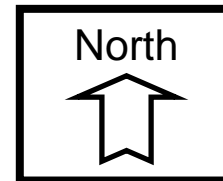
Attachments:

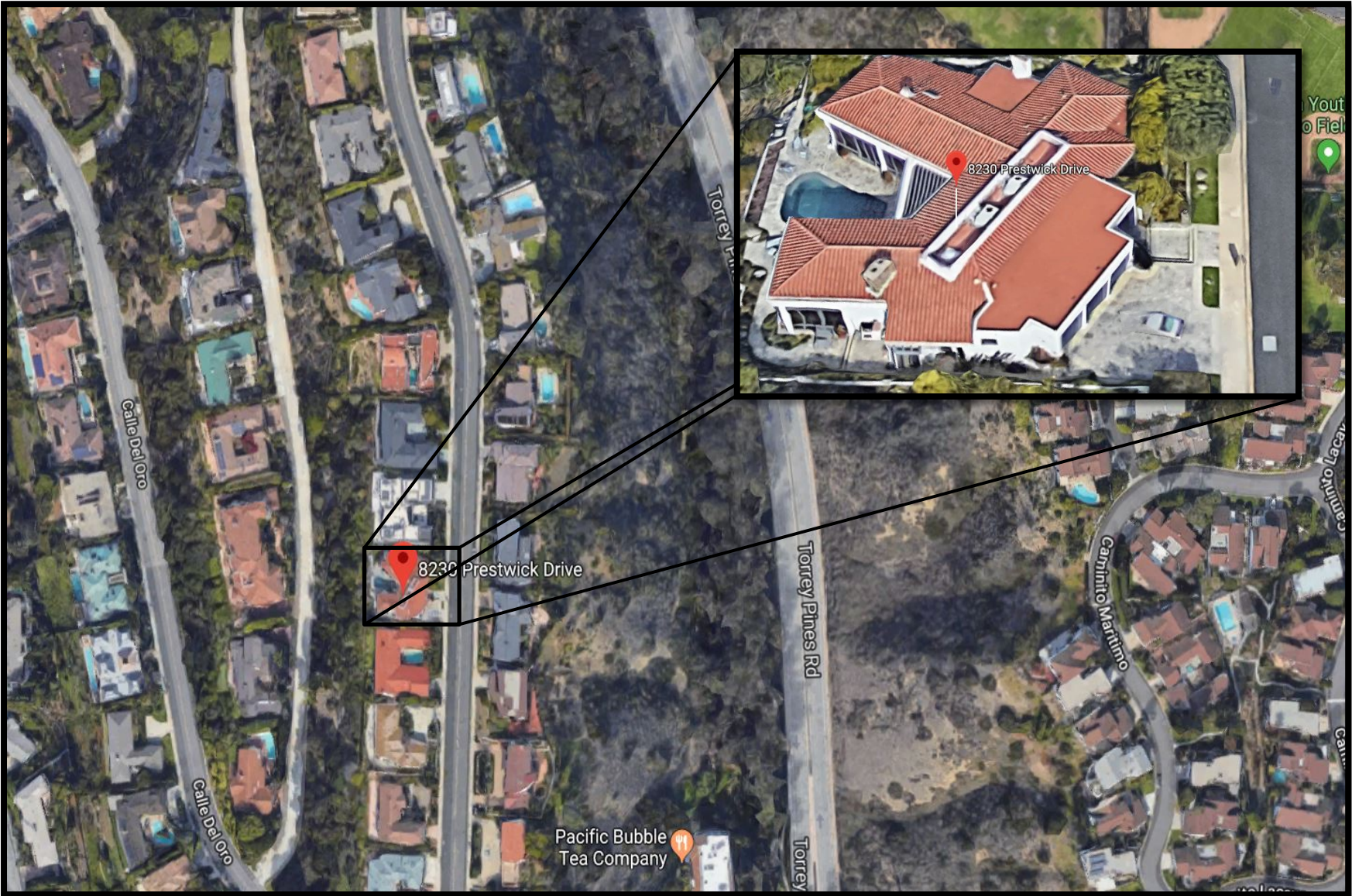
1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Public Vantage Points Figure 9
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Draft Environmental Resolution with MMRP
8. Community Planning Group Recommendation
9. Advisory Board Recommendation
10. Neighborhood Survey Setback Analysis
11. Ownership Disclosure Statement
12. Project Plans



Project Location Map

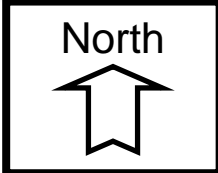
Hershfield Residence CDP/SDP
Project No. 603740 – 8230 Prestwick Drive





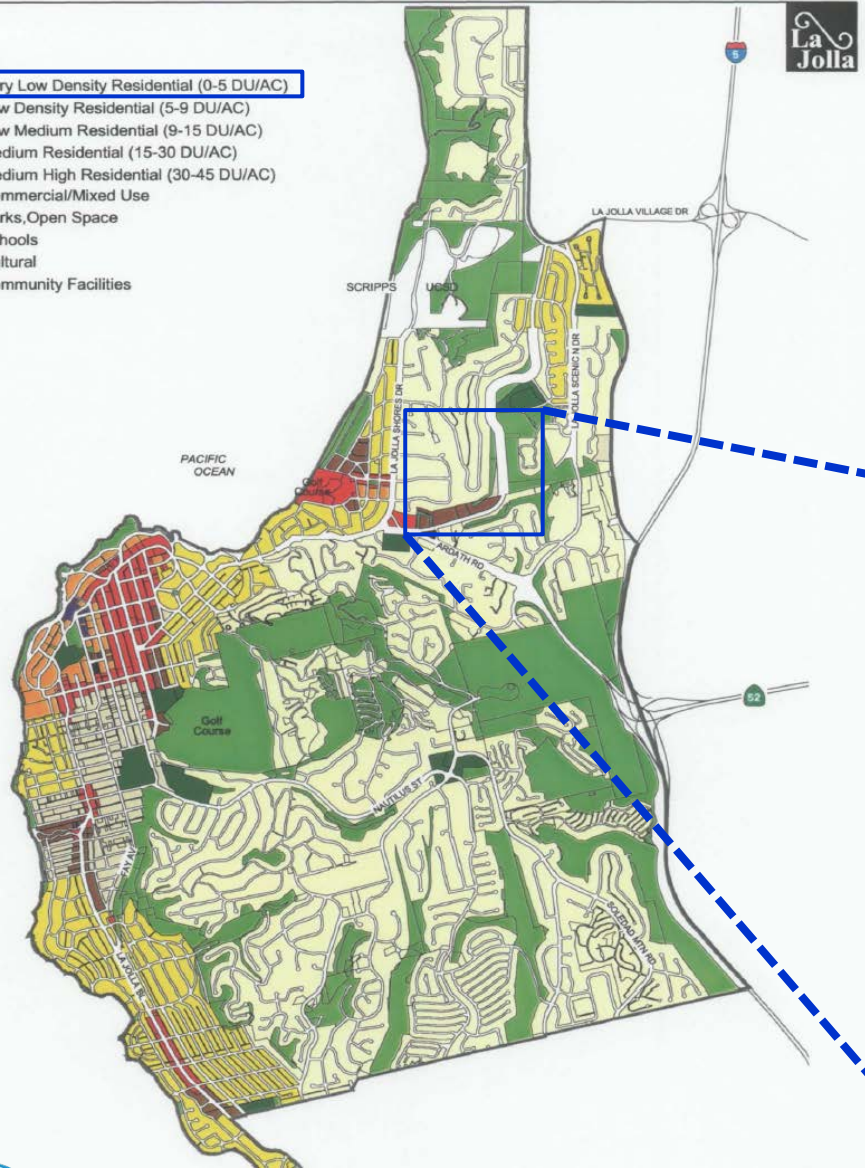
Aerial Photo

Hershfield Residence CDP/SDP
Project No. 603740 - 8230 Prestwick Drive



Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

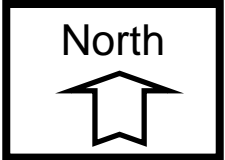


Project Site



Land Use Map

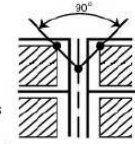
Hershfield Residence CDP/SDP
 Project No. 603740 - 8230 Prestwick Drive



1. Torrey Pines City Park
2. La Jolla Farms Road
3. Scripps Natural Reserve
4. Bluff - top easement at La Jolla Shores Lane
5. Ellentown Road
6. La Jolla Shores Drive from Torrey Pines Rd.
7. La Jolla Shores Dr.
(looking south from the vicinity of Scripps Institution of Oceanography)
8. Allen Field
9. Bordeaux Ave., western half
10. El Paseo Grande after it turns east
11. Camino del Oro after it turns east
12. Whale Watch Way
13. Cliffridge Park
14. Kellogg Park
15. Calle Escocote
16. Prestwick Drive
17. Vallecitos
18. Avenida de la Playa
19. Calle del Cielo
20. Pottery Canyon Park
21. Costabelle Drive
22. Spindrift Drive, South of the Marine Room Restaurant
23. Charlotte Park at the foot of Charlotte Street
24. Coast Blvd., Children's Pool, Shell Beach, Ellen B. Scripps Park & La Jolla Cove
25. Prospect St. and Cave Street
26. Coast Walk
27. North end of Park Row
28. View of La Jolla Shores from Torrey Pines Road
29. Public open space on Torrey Pines Road between St. Louis Terrace and Calle de la Plata
30. Azure Coast Drive
31. Hidden Valley Road
32. Ardath Road
33. Girard Avenue
34. Jenner Street
35. View corridor easement through 7963 Prospect Place to ocean
36. Easement across from John Coal Book Store from Prospect Street and Recreation Center
37. Hillside Drive (portions)
38. Caminito Avola/Via Avola
39. Via Siena at Hillside Drive
40. Rue Denise
41. Portions of La Jolla Scenic Drive South
42. Mt. Soledad, north of Ardath Road
43. Rue Adriane
44. Rue Michael
45. Senn Way
46. Rue de Roark
47. Coast Blvd. Park and South Coast Blvd.

View Cone

Defined by 90° angle radiating lines from public vantage point (the centerline of the street) to the corners of the buildable envelope as defined by the setbacks of each corner property closest to the ocean or shoreline.



note: All views are to a coastal body of water

View Corridor

Unobstructed framed view down a public right-of-way



Viewshed

Usually from high elevations looking down over large areas

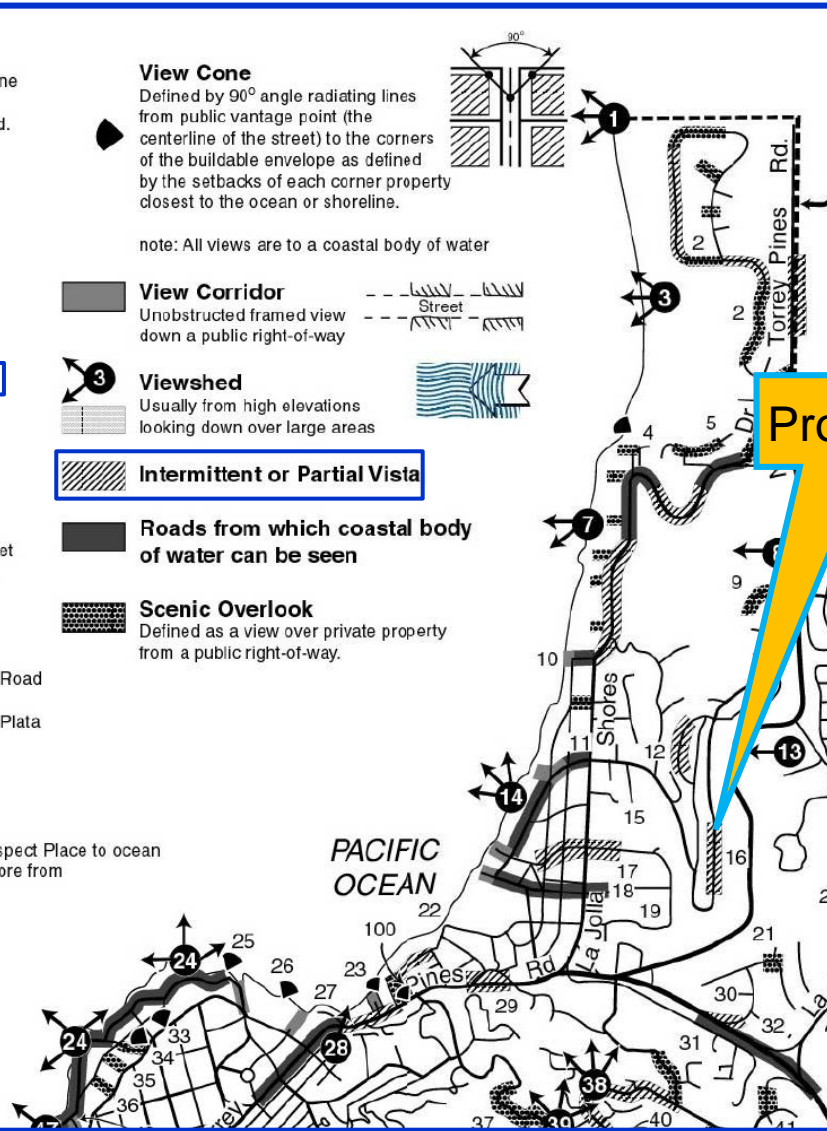


Intermittent or Partial Vista

Roads from which coastal body of water can be seen

Scenic Overlook

Defined as a view over private property from a public right-of-way.

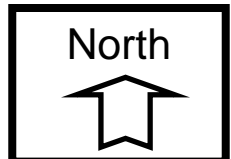


Project Site



Land Use Map – Views

Hershfield Residence CDP/SDP
Project No. 603740 – 8230 Prestwick Drive



HEARING OFFICER RESOLUTION NO. HO-_____
SITE DEVELOPMENT PERMIT NO. 2134595
COASTAL DEVELOPMENT PERMIT NO. 2134597
HERSHFIELD RESIDENCE CDP/SDP - PROJECT NO. 603740 [MMRP]

WHEREAS, the HERSHFIELD FAMILY TRUST DATED 12-21-01, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a dwelling unit and construct a single dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2134595/2134597) on portions of a 0.44-acre site; and

WHEREAS, the project site is located at 8230 Prestwick Drive in the SF Zone of the La Jolla Shores Planned District, the Coastal Non-Appealable Overlay, and the Coastal Height Limitation Overlay of the La Jolla Community Plan; and

WHEREAS, the project site is legally described as: Lot 66 of Prestwick Estates Unit No. 1, according to map thereof No. 4392, filed in the office of the county recorder of San Diego County on November 13, 1959, and more particularly described in Grant Deed recorded August 15, 201 as Document No. 2016-0416674 of official records of the San Diego County Recorder; and

WHEREAS, on May 29, 2019, the Hearing Officer of the City of San Diego considered Site Development Permit No. 2134595/Coastal Development Permit No. 2134597 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2134595/Coastal Development Permit No. 2134597:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The Hershfield Residence CDP/SDP project (Project) is located at 8230 Prestwick Drive, in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan (Community Plan). The project site is not identified in the Community Plan as a public access way. In addition, there is no physical accessway legally used by the public on this property; nor any proposed public accessway as identified in the Community Plan across or through the property. Since the Project and associated improvements will be located completely within private property, there will be no encroachments upon any existing or proposed public physical accessways to the Pacific Ocean.

Prestwick Drive contains Intermittent Views and Partial Vistas to the Pacific Ocean as identified in the Community Plan. The Project proposes view corridor easements on side yards. These easements will prevent walls or landscaping to encroach or obstruct views from the public right-of-way. Therefore, the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The Project site is a previously graded lot and developed with an existing single dwelling unit. Review of resource maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA)-designated lands of the City's Multiple Species Conservation Program. The project site is a previously graded subdivision that does not contain steep hillsides or floodplains.

All surface drainage will be conveyed public right-of-way. The environmental review determined that this project may have a potentially significant environmental effect to Cultural Resources (Paleontology), however, these are not classified as environmentally sensitive lands. The City prepared a Mitigated Negative Declaration (MND), in accordance with the California Environmental Quality Act (CEQA). The MND's Mitigation Monitoring and Reporting Program (MMRP) incorporates mitigation measures into the project for monitoring Cultural Resources (Paleontology), to reduce the potential impacts to a level below significance.

Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 8230 Prestwick Drive, in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan (Community Plan). The Community Plan designates the site for residential uses. The proposed project includes the demolition of the existing dwelling and the construction of a new single-story, over-basement 12,424 square foot dwelling, which will continue to meet the land use designation. The La Jolla Shores Planned District does not contain quantifiable development standards such as building setbacks and floor area ratio. Instead, the Planned District contains language in the General Design regulations which references the character of the area, being in general conformity to surrounding development and design principles. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks and bulk and scale with all of the applicable development regulations of the La Jolla Shores Planned District's SF-Zone. The project site is located adjacent to an identified intermittent and partial vista views to the Ocean from Prestwick Drive. As a permit condition, the project will record view corridor easements down each side setback area, preserving these views in perpetuity. This meets both the recommendations in the Community Plan, the Planned District and the Coastal Overlay Zone regulations to preserve and enhance views to the ocean. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is not located between the nearest public road and the sea or shoreline of any body of water within the Coastal Overlay Zone. The project site is not located in an area identified for public recreation, nor will the proposed Project impact existing public recreation areas. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT [SDMC 126.0505]**1. Findings for all Site Development Permits:****a. The proposed development will not adversely affect the applicable land use plan.**

The project site is located at 8230 Prestwick Drive, in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan (Community Plan). The Community Plan designates the site for residential uses. The proposed project includes the demolition of the existing dwelling and the construction of a new single-story, over-basement 12,424 square foot dwelling, which will continue to meet the land use designation.

The Project complies with the Community Plan's "Community Character" recommendations within the Residential Land Use Element, which are implemented by the La Jolla Shores Planned District's (Planned District) SF-Zone regulations. These recommendations aim to "maintain and enhance the existing neighborhood character ambience [and] promote good design and visual harmony in the transitions between new and existing structures." The Planned District's General Design regulations state that, "No structure shall be approved which is substantially like any other structure located on an adjacent parcel. Conversely, no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area." The architectural form proposed is contemporary and includes changes in building material, proportioned fenestration, and varied building height. Materials include stained wood, concrete with differing finishes, and black-painted steel and stucco. The architecture is similar in nature to a few homes in the vicinity. The proposed development will observe setbacks to all property lines consistent with other properties within the vicinity. In addition, the project permit conditions require recorded view corridor easement over the side yards, protecting intermittent and partial views to the ocean as recommended in the Community Plan. Therefore, the proposed will development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project includes the demolition of the existing dwelling and the construction of a new single-story, over-basement 12,424 square foot dwelling. In addition, the City of San Diego conducted an environmental review of this site and a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program (MMRP) has been prepared for this project in accordance with CEQA Guidelines.

In addition, a Geotechnical Investigation Report was prepared by Terra Costa Consulting Group, dated July 12, 2018. The report provided recommendations for the

project's foundation design to provide the level of life-safety suitable for the life of the project.

The project is conditioned to install a new City-standard driveway along the frontage, which facilitates public safety for pedestrians, and facilitates the public health as a conveyance of stormwater. The project will be required to obtain a building permit with BMPs proposed to ensure site drainage and run-off are directed to the right-of-way, further facilitating the public health, safety, and welfare. The plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable development regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The Project is subject to and complies with the La Jolla Shores Planned District's (Planned District) SF-Zone regulations and Coastal Overlay Zone regulations. The Planned District's General Design regulations state that, "No structure shall be approved which is substantially like any other structure located on an adjacent parcel. Conversely, no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area." Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks and bulk and scale with all of the applicable development regulations of the La Jolla Shores Planned District's SF-Zone. No deviations are requested.

The project site is located adjacent to an identified intermittent and partial vista views to the Ocean from Prestwick Drive. As a permit condition, the project will record view corridor easements down each side setback area, preserving these views in perpetuity. This meets both the recommendations in the Community Plan and the Coastal Overlay Zone regulations to preserve and enhance views to the ocean. No deviations are requested. Therefore, the proposed project will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer of the City of San Diego, Site Development Permit No. 2134595/Coastal Development Permit No. 2134597 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the

ATTACHMENT 5

form, exhibits, terms and conditions as set forth in Permit No. 2134595/2134597, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on: May 29, 2019
IO#: 24007803

fm 7-17-17

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007803

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2134595
COASTAL DEVELOPMENT PERMIT NO. 2134597
HERSHFIELD RESIDENCE CDP/SDP - PROJECT NO. 603740 [MMRP]
HEARING OFFICER

This Site Development Permit No. 2134595/Coastal Development Permit No. 2134597 (Permit) is granted by the Hearing Officer of the City of San Diego to the HERSHFIELD FAMILY TRUST DATED 12-21-01, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708 and 151.0201(c). The 0.44-acre site is located at 8230 Prestwick Drive in the SF Zone of the La Jolla Shores Planned District, the Coastal Non-Appealable Overlay, and the Coastal Height Limitation Overlay of the La Jolla Community Plan. The project site is legally described as: Lot 66 of Prestwick Estates unit No. 1, according to map thereof No. 4392, filed in the office of the county recorder of San Diego County on November 13, 1959, and more particularly described in Grant Deed recorded August 15, 201 as Document No. 2016-0416674 of official records of the San Diego County Recorder.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a single dwelling unit and construct a one-story over-basement single dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 29, 2019 on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing dwelling unit and construction of a one-story over-basement, 12,424-square-foot single dwelling unit;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Site retaining walls, site walls, pool and spa; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 12, 2022.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 603740, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 603740, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Cultural Resources (Paleontology)

CLIMATE ACTION PLAN REQUIREMENTS:

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

15. The project proposes to export 3806 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains, private walkways, landscape and irrigation in the Prestwick Drive right of way.

18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the stone paving, adjacent to the site on Prestwick Drive, satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction/replacement of existing driveway with a 12-foot-wide driveway per current City Standards, adjacent to the site on Prestwick Drive, satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of the non-utilized portions of existing driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on Prestwick Drive, satisfactory to the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the removal of the encroaching mail box from the Prestwick Drive right of way.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

23. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

25. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection for Single-Dwelling Unit development.

PLANNING/DESIGN REQUIREMENTS:

29. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

31. Prior to the issuance of any building permit, the Owner/Permittee shall record View Corridor Easements along the Northern property side yard setback, the depth of the property, and along the Southern property side yard setback, the depth of the property, as shown on the Exhibit "A," in accordance with SDMC section 132.0403.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 29, 2019, and HO-_____.

ATTACHMENT 6

Site Development Permit No. 2134595
Coastal Development Permit No. 2134597
Date of Approval: May 29, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Francisco Mendoza
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

HERSHFIELD FAMILY TRUST DATED 12-21-01
Owner/Permittee

By _____
NAME
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. HO-_____

HERSHFIELD RESIDENCE CDP/SDP - PROJECT NO. 603740 [MMRP]

ADOPTED ON _____

WHEREAS, on May 9, 2018, the HERSHFIELD FAMILY TRUST DATED 12-21-01, Owner/Permittee, submitted an application to the Development Services Department for a Coastal Development Permit (CDP) and a Site Development Permit (SDP) for the Hershfield Residence CDP/SDP (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on May 29, 2019; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 603740 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously

ATTACHMENT 7

identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Francisco Mendoza
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT "A"

MITIGATION MONITORING AND REPORTING PROGRAM

SITE DEVELOPMENT PERMIT NO. 2134595

COASTAL DEVELOPMENT PERMIT NO. 2134597

HERSHFIELD RESIDENCE CDP/SDP - PROJECT NO. 603740

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 603740 shall be made conditions of the Coastal Development Permit and Site Development Permit as may be further described below.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. **GENERAL REQUIREMENTS – PART I****Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or

programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

- 1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

Qualified Paleontologist

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

- 2. MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) #603740 and /or Environmental Document #603740, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

- 3. OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

None Required

4. MONITORING EXHIBITS

All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to Preconstruction Meeting
Cultural Resources (Paleontology)	Monitoring Report(s)	Paleontological Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

PALEONTOLOGICAL MONITORING PROGRAM

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the

appropriate construction documents.

- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
 - 3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site-specific records search has been completed. Verification includes but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

- B. PI Shall Attend Precon Meetings
 - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 - 2. Identify Areas to be Monitored
 - Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
 - 3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVR and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains

ATTACHMENT 7

1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: www.lajollacpa.org

Voicemail: 858.456.7900

email: info@lajollacpa.org

President: Bob Steck

Vice President: Helen Boyden

2nd Vice President: Brian Will

Secretary:

Treasurer: David Gordon

MINUTES

Annual Meeting | Thursday, 7 March 2019, 6:00 pm

1.0 Welcome and Call to Order: Bob Steck, President (officers only at trustee table)

Please turn off or silence mobile devices

Meeting is being recorded

Call to order: 6:05

Steck, Boyden, Will, Gordon at trustee table.

2.0 Verify Quorum (Need 20% of total Membership: 134 members, so quorum is 27)

Greater than 27 in audience, quorum verified.

3.0 Adopt the Agenda

Motion to adopt agenda: (Will/ Shannon)

In Favor: floor unanimous

Opposed: none

Abstain: Steck (chair)

Motion Carries

4.0 Non-Agenda Public Comment: Issues not on the agenda and within CPA jurisdiction, two (2) minutes or less.

None

6.0 Time Certain 6:15 pm. Pipeline Rehabilitation AL-1 will rehabilitate 7.1 miles of 8-inch sewer main, beginning construction in Spring of 2019 in La Jolla Community.

Presentation by Maryam Liaghat: Passed out a Fact sheet with details of the project and a map showing the streets affected. Project requires the contractor to develop, obtain City approval for and implement traffic control during construction. They expect minimum traffic delay. Work will be from 8:30am to 3:30 pm, no night work. Rehab work will be done only from main line to property line. Beyond that is owner's responsibility. Project will last one year beginning spring 2019. Contact engineering@sandiego.gov for questions.

Gordon: Contractor on current project is inconsiderate of neighborhood. Ms. Liaghat replied that this will be the same contractor, they usually pretty considerate, also the equipment on this project is different- not so intrusive, but City engineers will relay comment and monitor the project. 2. Do they coordinate this project with SDGE work? No

5.0 Officer's Reports

5.1 President: The election for trustees is taking place in the Gill Room. Balloting will close at 7:00 pm. The results will be announced during the Regular Meeting. Any challenge to the election must be made in writing within 7 days of the election.

5.2 Treasurer: Beginning Balance as of 2/1/19		\$ 284.36
Income		
○ City of San Diego expense reimbursement		\$ 500.00
○ Collections		\$ 129.00
○ CD Sales		\$ <u>0</u>
Total Income		\$ 629.00
Expenses		
○ Agenda printing		\$ 63.96
○ AT&T telephone		\$ <u>83.47</u>
Total Expenses		\$ <u>147.43</u>
Net Income/(Loss)		\$ 481.57
Ending Balance of 2/28/19		\$ 765.93

5.3 Secretary No report

7.0 Consideration of a proposal to amend Article VI, Section 2. D. (1) of the La Jolla Community Planning Association Bylaws, changing the recusal policy.

Existing paragraph:

D. Abstentions and Recusals

(1) RECUSALS – Any Trustee of the LJCPA with a direct economic interest in any project that comes before the LJCPA or any committee must disclose the economic interest, and must recuse from voting and not participate in any manner as a Trustee for that item on the agenda. In the event of a recusal, the individual must remove him or herself from the room prior to discussion if that individual is not part of the presentation. Article VI, Section 2© of the Administrative Guidelines is the LJCPA’s reference for determining direct economic interest.

D. Abstentions and Recusals

(1) RECUSALS – Any Trustee of the LJCPA with a direct economic interest in any project that comes before the LJCPA or any committee must disclose the **direct** economic interest, and must recuse from voting and not participate in any manner as a Trustee **or Committee Member** for that item on the agenda. In the event of a recusal, **the individual must disclose the direct economic interest, recuse before the item is discussed and physically leave the community planning group or committee seating area. It must be made clear to the audience that the member is not acting in any capacity as a trustee or committee member. The presence of the recusing member in the room in which the meeting occurs does not count toward a quorum for that item for which the member recused.** Article VI, Section 2© of the Administrative Guidelines is the LJCPA’s reference for determining direct economic interest.

Discussion: Little: Person needs to leave, otherwise they will keep lobbying for their project.

La Cava: Proud tradition unique to La Jolla. Has worked well in past; builds confidence in audience that everything is above board. We should keep.

Steck: Example of Brian Will, a sole practitioner Architect, needs to be in room to answer questions.

Will elaborated that a professional, especially one who does not have someone who can step in to answer questions is at a disadvantage representing a client if he can’t be in room.

Other comments: There is an implied conflict if person is in room. Person in room can have undue influence during voting.

Weiss: person shouldn't be put at disadvantage because they are doing public service by being trustee.

Shannon: Person could be in room during discussion but not during voting.

Motion: Approve by-laws change as written with amendment (Gordon/Margaret Fell-Gordon)

Suggested amendment: Person recusing leaves room during voting only with no eye contact. (Gordon/Shannon)

In Favor: 34

Opposed: 10

Abstain: 2

Motion carries: 2/3 majority reached.

8.0 Adjourn at 6:40 to Regular Meeting

Regular Meeting | Thursday, 7 March 2019 immediately following Annual Meeting

Trustees Present: Steck, Boyden, Will, Gordon, Courtney, Ahern, Weissman, Little, Kane, Brady, Costello, Shannon, Merten, Mangano, Rasmussen, Weiss

Absent: none

Regular Meeting begins: 6:45pm

1.0 Welcome and Call to Order: Bob Steck, President

Please turn off or silence mobile devices Meeting is being recorded

2.0 Adopt the Agenda:

Motion: To add to agenda: All community groups within the City of SD be notified in advance of proposed Land Development Code changes so that they may have input before the Code Monitoring Team votes because the votes they are making go directly to City Council without any input from us. (Rasmussen/Gordon)

Weiss: Is it legal to add to agenda that has already been published?

Boyden: Can add to agenda with 2/3 vote if it is something that came up after agenda was published.

Marlon Pangilinan: Confirmed above per Council policy if there is urgency -can't wait until next meeting.

Group is meeting next week.

All in favor: 13: Ahern, Boyden, Brady, Costello, Courtney, Gordon, Kane, Little, Merten, Rasmussen, Shannon, Weiss, Weissman,

Opposed: 2: Mangano, Will

Abstain: 1:(Steck)

Motion Carries: 13-2-1

2.1 Motion: Send letter to Mayor that we recommend all community groups within the City of SD be notified in advance of proposed Land Development Code revisions by the Code Monitoring Team so that they may have input before the Code Monitoring Team votes. (Rasmussen/Gordon)

Discussion about the Code Monitoring Team: who are its members, what they do, how they fit into the city's process of making changes to the Codes, how they relate to community groups, possibility for conflicts of interest. Consensus that it is a good idea for community groups to be made aware the process and Code Monitoring Team votes.

In Favor: 15: Ahern, Boyden, Brady, Costello, Courtney, Gordon, Kane, Little, Mangano, Merten, Rasmussen, Shannon, Weiss, Weissman, Will

Opposed: None

Abstain: 1: Steck

Motion Carries: 15-0-1

3.0 Meeting Minutes Review and Approval: 7 February 2019

Motion: approve minutes of February 7, 2019 meeting (Will/Gordon)

In Favor: 15: Ahern, Boyden, Brady, Costello, Courtney, Gordon, Kane, Little, Merten, Rasmussen, Shannon, Weiss, Weissman

Opposed: none

Abstain: 1: Steck

Motion Carries: 15-0-1

4.0 Officer Reports:

4.1 Treasurer – given at member meeting above

4.2 Secretary- no report

5.0 Elected Officials – Information Only

5.1 Council District 1: Councilmember Barbara Bry –

Rep: **Mauricio Medina**, 619-236-6611, mauriciom@sandiego.gov

Priority this month in Bry Bulletin: passing reasonable regs for dockless vehicles, everyone should be wearing helmet.

Weiss: Is there a way to get abandoned things picked up? Reply: Has gotten environmental services to respond quickly for illegal dumping. Encourages Get It Done report.

Merryweather: What about Black's Beach fence?

Medina:

- Overlook off of La Jolla Shores Lane, original easement in 1972 for approximate 4' fence with signage.
- Now there is a high chain link fence there.
- City responsible for maintaining fence.
- City maintains that the higher fence is necessary for safety; they have latitude to determine height.
- This body wrote letter to Coastal Commission.
- CC answered that hopefully compromise can be made between community & city.
- City will entertain design options but will not lower below 6' because of safety.

Discussion re possibly paying for part of 5' vertical bar fence, not for 6'. Apparently there is no documentation for safety concerns.

Handed out commendations to congratulate, commend and thank trustees who are being termed out.

Bob Steck, Helen Boyden, Patrick Ahern, Phil Merten, Ray Weiss.

5.2 78th Assembly District: Assemblymember Todd Gloria - not here

Rep: **Javier Gomez** 619-645-3090 javier.gomez2@asm.ca.gov

5.3 39th Senate District: State Senator Toni Atkins, Senate President pro Tempore

Rep: **Chevelle Newell Tate**, 619-645-3133, Chevelle.Tate@sen.ca.gov

Not here

6.0 President's Report – Information only unless otherwise noted

6.1 The LJ PDO committee has been asked to determine if the McLaren/Coach mural in Bird Rock is artwork or a sign, and if it is a sign, does it adhere to PDO regulations for signs?

Debora Marengo of La Jolla PDO committee could not attend, will attend next month.

7.0 Public Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

Merryweather: Ask to write letter to B. Bry to put Coast Walk turnaround on her list as priority.

Approved 3 years ago, but nothing done – real safety issue. Asking for Bry to make priority only, not for funding

Steck: Will put on agenda next month for vote.

7.1 City of San Diego – Community Planner: Marlon Pangilinan, mpangilinan@sandiego.gov
out of room

7.2 UCSD - Planner: Anu Delouri, adelouri@ucsd.edu, <http://commplan.ucsd.edu/>

Not Present.

7.3 General Public – none presented at annual meeting.

8.0 Non-Agenda Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less.

Costello: 3/18 Bonair project appeal of environment appeal at City Council; need someone to attend

Ryan CDP hearing officer approval should be appealed, we have 10 days from date of approval 5251 Chelsea St. approved March 6, needs appeal

Courtney: Sewer line project told CPA no night work, then worked at night for about 2 weeks in residential areas. We need to monitor city when not following procedures or doing noise studies to reduce impacts before engaging contractors to do night work.

9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.**9.1 Community Planners Committee**

<http://www.sandiego.gov/planning/community/cpc/index.shtml>- **John Shannon, Rep.**

Edith Gutierrez will email Code Monitoring Team agendas to every planning group chair.

9.2 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html> did not meet

9.3 UC San Diego Long Range Development Plan CAG, one of LJCPA delegates, will report on discussion <http://lrdep.ucsd.edu> did not meet.

9.4 Hillside Drive Ad Hoc Committee – Diane Kane, Chair

Passed out draft of memo to send to Hillside Drive Residents and Property owners re: illegal parking. Won't go out until further work is done by interns to identify legal parking spaces, map them, check signage and check for legal spaces. She is asking for additional comments and for who should send this letter out, CPA? Also who should get responses to letter?

Boyden: reminded that this ad hoc committee needs to end. Put on agenda to extend.

9.5 Airport Noise Advisory Committee – Matthew Price - no report

9.6 Playa Del Norte Stanchion Committee - no report

10.0 Consent Agenda- Action Item

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair David Gordon, 3rd Monday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

**See Committee minutes and/or agenda for description of projects, deliberations, and vote.
Anyone may request a consent item be pulled for full discussion by the LJCPA.**

10.1 Resident Petition for Speed Humps- on Westbourne Street between La Jolla Blvd and Draper Ave (Stephanie Jernigan) Supported by City letter. See Supplement

T&T Motion: To Endorse Resident Petition for 3 Speed Humps on Westbourne Street between La Jolla Blvd and Draper Ave: Gantzel, Second: Brady 8-0-0

10.2 San Diego Food and Wine Festival- SD Junior League request for Temporary No Parking on Coast Blvd adjacent to Scripps Park related to the 19th annual event on May 10-12, 2019 (Gretchen Hopper)

T & T Motion: To Approve San Diego Junior League Request for Temporary No Parking on Coast Blvd adjacent to Scripps Park related to the 19th annual San Diego Food and Wine Festival event on May 10-12, 2019: Ryan, Second: Gantzel 8-0-0

10.3 La Jolla Christmas Parade and Holiday Festival- Temporary Street Closures and No Parking areas related to the 62nd annual event on Sunday December 8, 2019 (Ann Kerr Bache)

T & T Motion: To Approve the La Jolla Christmas Parade and Holiday Festival request for Temporary Street Closures and No Parking areas related to the 62nd annual event on Sunday December 8, 2019: Aguirre, Second: Earley 8-0-0

10.4 Request to Remove and Relocate Crosswalk at End of Playa Del Norte-by Neptune Place (Melinda Merryweather)

T & T Motion: To establish two crosswalks with required ADA approved handicapped ramps, one on Playa del Norte and the other on Neptune Street and installing 'no pedestrian crossing' barriers on both sides of the stop line at the end of Playa del Norte: Goulding, Second: Ryan 8-0-0

10.5 Gillispie School CUP/CDP/SDP No.: 610620. (PROCESS 3) SDP/CDP/CUP for La Jolla Planned District 1 for change in use & amendment to CDP & CUP 40-0474, to merge existing commercial lots with existing school lots, demo and remodel existing school building to add new school programs, new signage and parking lot re-striping, located at 7380 Girard Ave. The 0.39-acre site is located in the RM-3-9 zone & LJPD-Zone 1, in the Coastal Non-Appealable overlay zone within La Jolla Community Plan Area. Council District 1.

DPR Motion: That findings CAN be made for CUP, SDP, CDP as presented (Costello/Ragsdale)
Passes 4-0-1

Little: pull 10.4 and 10.5

Motion: Approve Consent Agenda Items 1, 2, 3 (Boyden/Gordon)

In Favor:15: Ahern, Boyden, Brady, Costello, Courtney, Gordon, Kane, Little, Mangano, Merten, Rasmussen, Shannon, Weiss, Weissman, Will

Opposed: 0

Abstain: 1: Steck

Motion Carries: 15-0-1

The following agenda items are ACTION ITEMS unless otherwise noted, and may be *de novo* considerations. Prior actions by committees/boards are listed for information only.

11.0 HERSCHFIELD RESIDENCE – CDP/ SDP #: 603740, 8230 Prestwick Drive (Process 3) Coastal Development Permit (CDP) and Site Development Permit (SDP) to demolish an existing single-family residence constructed in 1985 and construct a one-story single-family residence with basement, decks, garage, mechanical room, and back-yard swimming pool totaling 12,092 square-feet. The 0.45 acre project site is located 8230 Prestwick Drive. The one-story residence over basement will include features such as tile cladding, wood paneling, with a smooth plaster finish and a flat sloping roofline. The landscaping plan consists of City approved street trees, native and drought-tolerant landscaping to minimize irrigation requirements. The site is located in the La Jolla Shores Planned District-SF Zone and the Non-appealable area of the Coastal Overlay Zone within the La Jolla Community Plan area and Council District 1.

PRC Motion: The findings **cannot** be made for a CDP/SDP on this project because of the design massing resulting in large bulk and scale with lack of articulation and it visually conflicts with the existing community character. This project does not meet the policy guidelines of the local Community Plan, the La Jolla Shores PDO and the La Jolla Shores Design Manual. (Crisafi/Emerson) Passes: 5-0-1 (Chair abstain)

Project presented by Chandra Slavin & Amy Finchem of Blue Heron. Client is in audience.

Chandra: Elevation relatively flat, elevation of 320, driveway structure exists below base of existing slope. House will appear as single story from street level. Existing height is 17' 6", proposed 21' 7". Walkout basement level will not be visible from alley because existing canopy will remain. They have attended all review committees, hosted neighborhood meeting at client's home, closed all cycle comments, signed off by city, no comments received on MND.

Amy – described features that conform to LJ Design Manual & LJSPDO

- all setbacks in conformity with Design manual,
- design about simplicity, simple design
- maintain simple 2 plane design of existing home,
- maintain existing character of neighborhood with higher plane in back, lower in the front.
- "unity with variety" playing off of more contemporary styles such as house to north
- consistent with natural materials, browns and grays mentioned in Design Manual.
- single story home also consistent.
- under 60% lot coverage and under 30' height limit.
- described floor plans and roof plan with parapets to shield the sloped roof to meet requirement of neighborhood CC & R's.

Public comment:

Sally Miller: What is square footage of existing house. Reply: 4067 sq.ft

Reply: Most of sq. footage is in rear and not visible so only increase of 1800 sq. ft. visible from street.

S.M. So you are going from 4,000 to 12,000?. Second question: where are the motors for swimming pool, air conditioners – away from neighbors?

Reply: in lower level basement – enclosed.

Another question: What is size of comparable houses in neighborhood?

Reply: about 4 to 5000 sq. ft.

Comment. This house is about 3 times the size of existing houses.

Barbara Groce: lives across street, Is this the same plan as was denied at the last PRC meeting? Great concern about bulk of home not fitting in with the neighborhood. She has 3 letters from other homeowners stating same concern.

Trustees: Rasmussen: Is objection to this is about massing from the street? Also concern about large blank wall on one elevation?

Reply. Made side elevations straight to increase sq. footage.

Merten: While you stated how this project conforms to the general design principles outlined in the Design Manual and the LJSPDO, "Unity with variety shall be a guiding principle, etc." (LJSPDO sec.1501.0301) But you did not mention the key sentence: "Conversely, no structure will be approved that is so different in quality, form, materials, color and relationship as to disrupt the architectural unity of the area." Flat wall of front elevation is so different from any other project in this neighborhood, the form and relationship *does* disrupt the architectural unity of the neighborhood; therefore I support the LJS Permit Review committee vote to deny project.

Reply: House similar to contemporary house to north in design, color and materials. Pointed out layers of different texture, materials and different levels adding more detail to points above.

Merten: House to north *is* different. Two large planes unlike anything on street: nice design for different location, but not in this residential location.

Gordon: summarized points from PRC minutes

- o One comment from committee: "looks like a fortress" with little articulation.
- o not good transition from existing houses
- o 6' setbacks are along entire length of house, while existing house angles inward, and are less than side setbacks on most properties on street.
- o 12,000 sq. ft not as big an issue because of one story visible from street, but just the way it looks.

Courtney: Grade elevations at west end of property and the pad? How much of total sq. footage of lot is slope?

Reply: 65' elevation. 45% slope.

Courtney: Therefore buildable area of lot is about 11,000 sq. ft so FAR comes to 1.02 and, while FAR is not a specific requirement in the LJSPDO, 1.02 indicates too great a leap in bulk and scale to conform to neighborhood character.

Ahern: Comment about color, texture, style could conform to house next door with a bit more articulation. First floor foot print similar to others on street, also rear string line in line with other houses.

Little: question about height after excavation. Reply 28'

Kane: On cut or fill? Reply: both; strong shoring design. How much export? Reply: 6,000 cubic yards. Will all excavation be on site? Reply: yes. Where is courtyard and how large? Reply: in front behind wall. Kane: that is a walkway/entryway, not a courtyard.

How many windows in front? Reply: 2 to let light in without view from street. Kane: Looks like fortress because of lack of visual communication with street.

Motion: Support PRC motion that findings cannot be made (Costello/Weiss)

Question, Kane: Were any design changes made as a result of several meetings with review committees and neighbors? Reply: No.

In Favor: 14: Ahern, Boyden, Brady, Costello, Courtney, Gordon, Kane, Little, Mangano, Merten, Rasmussen, Shannon, Weiss, Weissman

Opposed: 1: Will

Abstain: 1 (Steck)

Motion Carries: 14-1-1

Rasmussen: comment, important to have comments made in this meeting as part of the motion to support findings.

12.0 Whether to write a letter to the California Coastal Commission opposing the renewal of The City of San Diego's Permits: Children's Pool Beach Closure, CDP # 6-14-0691 and Rope Barrier, CDP # 6-15-0223 on the grounds that these Coastal Development Permits should not be renewed without requiring the intended implementation of improved access, sand and water quality in the permit conditions. Presentation by Ken Hunrichs

The Power Point Presentation describes the following conditions for the city to implement that were made when the beach closure permit was issued in 2014 for five years:

- Examine feasibility of ADA access,
- Examine water quality and determine any method to improve it,
- Analyze the quality of the sand and determine a method for improving it.

The presentation then describes in detail that the city has done some studies, offered some unfeasible conclusions with questionable test results; and has concluded that since water quality is 'good', in spite of warning signs of bad water quality, no ADA access and other problems, nothing further needs to be done. It also includes details of the Rope barrier and why it should be removed. *Ken asks CPA to request of CC when permit is being considered -- either a new or an extended permit on current conditions with a shorter term renewal, one year or two at most -- require defined improvement benchmarks for city to achieve for water and sand quality, ADA access and eliminate summer rope barrier. Rope is hindrance to coastal access. See letter by Bob Steck in supplementary materials.*

Public comment: Sally Miller: Since City has done nothing to comply with conditions what right do they have for any extension? Reply: they believe that they have complied by studying the issues. Phyllis Minick: Children's Pool is one of the greatest assets this City has. Millions of people come here from all of over the world to see it. It should be the beautiful and tranquil place it was built to be. Urges sending the letter to plead, beg or demand that the conditions are met.

Motion: Send the letter as written. (Boyden/Kane)

In Favor:13: Ahern, Boyden, Brady, Costello, Courtney, Gordon, Kane, Little, Mangano, Merten, Rasmussen, Weissman, Will

Opposed: 1: Weiss

Abstain: 1: Steck

Motion Carries: 13-1-1

Weiss: reason he opposed is that he supports that CC should require the city to do what it asked them to do, but this should not be conflated with opposition to rope, protection of seals and mammal protection act which is federal law. Key is that City has not done what CC has required it to do. That doesn't mean that the permit shouldn't be renewed because the main reason for the permit is to comply with Marine Mammal Protection Act which is above the CC. We would have more force is we did not conflate the issues.

Costello: Marine Mammal Protection Act has nothing to do with this rope. City alone has option to keep the seals there or not.

Election: 68 people voted. Can't announce election results because there are ties and we do not have in bylaws a way to resolve it. Marlon and Janie have been helpful, but this has to go to City Attorney's office. We will try to expedite.

Boyden: All current trustees remain in office until next meeting regardless of election to make preparations for next meeting or sign anything. New trustees will need to elect officers. When slate is announced, 2nd vice president will conduct that meeting until new president is elected. Be aware that we will need a president, vice president and secretary.

13.0 Consideration of superseding the current LJSPRC charter, dated in 2009, with a revised Charter and additional Bylaws. Drafts dated 2-11-2019 were passed by the La Jolla Shores Association on February 13, 2019. Revisions to the drafts dated 2-25-2019 to resolve internal conflicts are being suggested by Janie Emerson, LJSA Chair, Bob Steck, LJCPA President and Helen Boyden, LJCPA Vice President. The LJSA will need to reapprove at its March 13, meeting.

13.1 Whether to approve LJSPRC Charter draft dated 2-25-2019 and return to LJSA for concurrence.

Motion: Approve LJSPRC Charter drafted 2-25-2019 and return to LJSA for concurrence.
(Boyden/Courtney)

Discussion: Gordon: Dismayed by length and amount of conflict over this process. No need for separate Charter and Bylaws. Prefers to have Bylaws only but will support this Charter as submitted to get project done. Only change to make to Bylaws is to put Chair's signature back on there.

In Favor: 12: Ahern, Boyden, Brady, Costello, Courtney, Gordon, Kane, Merten, Mangano, Shannon, Weissman, Will

Opposed: 1: Rasmussen

Abstain: 2: Steck, Little

Motion Carries: 12-1-2

13.2 Whether to approve LJSPRC Bylaws draft dated 2-25-2019 and return to LJSA for concurrence.

Motion: Approve LJSPRC Bylaws draft dated 2-25-2019 and return to LJSA for concurrence.

Discussion: Gordon: add to motion to add signature line for PRC submitted. Addition denied.
Emerson: this document is submitted by LJSA. Little: reason for abstention: this appears to be internal conflict that cannot be settled by this group. Next time settle before bringing to this group.

In Favor: 9: Ahern, Boyden, Brady, Costello, Courtney, Kane, Merten, Shannon, Weissman

Opposed: 2: Gordon, Rasmussen

Abstain: 4: Steck, Little, Mangano, Will

Motion Carries: 9-2-4

14.0 Adjourn to next LJCPA Meeting: Thursday, April 4, 2019 at 6:00 pm



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board
DRAFT Meeting Minutes for January 16th, 2019
 615 Prospect Street
 La Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Dolores Donovan	Present	Herbert Lazerow	Present
Dan Goese, Chair	Present	Jane Potter	Present
Andrea Moser	Present	Susanne Weissman	Present

1. **Call to Order:** 11:03 a.m. December meeting cancelled.
2. **Approval of the Agenda**
Correction to November minutes regarding reference to scheduling for December meeting (no meeting). Approval of the agenda unanimous 5-0-0.
3. **Approval of the Minutes**
Approve November 19 minutes with change – Lazerow mentioned that on p. 2 motion should read project to come back for full review as a major project but without the second by Goese indicating approval, as it was a continuance. Potter corrected reference on p. 5 to next meeting as Monday January 16, to Wednesday, January 16. Lazerow moved approval, Potter seconded. Minutes approved with changes 5-0-1 (Goese abstaining).
4. **Public Comment:**
None
5. **Project Review**

ACTION ITEMS**ITEM A****Project: 603740 – Hershfield Residence Remodel****Location:** 8230 Prestwick Drive

APN: 346-262-0600

Presented by: Chandra Slaven, clsaven@blueheron.com (619)-316-7645

Description: Proposed demolishing of an existing one-story single family residence and construction of a one-story single family residence with basement, decks, and back yard swimming pool totaling 10,750 sf (5,537sf consists of a basement) on a 0.45-acre site. See ATTACHMENT 1 for additional details.

Presentation

- Presenter summarized the project by stating that a neighborhood meeting took place at the subject residence. Approximately fifteen people attended. Most were immediate neighbors but some came from further down the alley. Slaven reviewed the development, answered questions and introduced the owners to the neighbors.
- A series of exhibits were prepared based on the meeting, including several view simulations.
- Livable sf of 10,622 with a total sf of 12,092 is proposed. Existing height is 17'6" with a proposed height of 21'7". Setbacks: 15' front yard, 20' rear yard, 6' side yard. The side yard setbacks preserve coastal views.
- In certain areas the proposed roof height is below the existing and in certain other areas it is above. Heights by elevation were 17' (street), 14' (north), 15' (rear), 15' (south).
- Letters of support were submitted as well. After environmental determination project will be scheduled for a Hearing Officer decision.
- Exhibit of view from neighbor's second story window across the street described as respecting neighbor's view. View from first story window yielded some loss of view.

Comments

- Donovan asked for clarification on reference to Planning Commission by presenter. Clarification was for City Planning and Development Services. She also questioned the accuracy of the information regarding building height. Presenter offered to go through the elevations again for clarification. Lazerow requested clarification of height related to existing chimney at 17'6". Existing building was a pitched roof with chimneys north and south. The proposed roof would involve a parapet extending 4' parapet above the current chimneys and creating a flat roof north to south with significantly more view impact. Presenter said the HOA requirement for pitched roofs dictated height of the parapets, which hide the pitched roof from the street. The owner desired the parapets to be more contemporary but incorporated the pitched roof CCR.
- Audience member mentioned that the proposal is twice as large as neighboring structures and questioned its compatibility with neighborhood character.
- Audience member suggested proposal should be a process 3 because applicant has submitted what amounts to serial changes that, individually, would not qualify as a major project but taken together would. Audience member did not imply applicant was being deceptive but said the fault was with Development Services.

Motion: Board member Lazerow moved that the project be denied because of excessive scale and the architecture facing the street. Second by Potter. Motion passed 4-0-2 with Goese and Weissman abstaining.

ITEM B

Project: 623331 – Castagnola Addition

Location: 8204 Prestwick Drive

APN: 346-333-0200

Presented by: Matin Taraz, mtaraz@san.rr.com (858) 775-0505

Description: Proposed remodeling of and 804 sf addition to an existing one-story single-

family residence with an attached garage on a 0.49-acre site. The project adds a single car garage and a bedroom while rearranging some of the existing spaces and includes a new roof. The proposal would increase existing FAR from 0.18 to 0.21. *See ATTACHMENT 2 for additional details.*

Presentation:

- Project proposes an addition that would allow storage and access to the residence from the garage.
- The increase is approximately from 3700 sf to 4500sf. About 500sf would be livable space.
- Only south setback changed, from 10' to 8'.
- Existing ridgeline is 15' and 4' will be added. The existing living room is sunken, which presents a safety issue for the prospective owner. So plans are to raise the floor, which in turn necessitates raising the roof.
- A cover for the existing patio is also proposed.
- A detached deck is proposed in the backyard.
- The entryway is to be reconfigured and the exterior is to be re-stuccoed.

Comments:

- Lazerow said the project is not a minor, as it increases height and decreases the setback, reducing the ocean view.
- Goese suggested continuing the project until it can be reviewed as a major.
- Donovan cited a memo that explained the difference between minor and major projects (See City Bulletin 621).

Motion: Board member Donovan moved to continue and have the project come back to be reviewed as a Major. Moser seconded. Motion to continue passed 4-0-1 with Goese abstaining (Lazerow departed). After discussion Goese emmoved to continue project as presented and have the project reviewed as a major, as a quorum of LJSAB members think it is a major project. Seconded by Moser. Motion to review as a major passed 4-0-1.

ITEM C

Project: 556536 – **Sunset Residence**

Location: 8276 Paseo Del Ocaso

APN: 346-231-1900

Presented by: Colin Lowry, colin@cladinc.us (619) 800-8105

Description: Proposed remodel with partial demolition of an existing single-family dwelling (0.39 FAR) with new 1,134 sf second story and net increase of 240 sf on first floor, for a total of 3,449 sf two-story single dwelling (0.66 FAR) on a 0.12-acre site. *See ATTACHMENT 3 for additional details.*

Presentation:

- Presenter mentioned previous owner (Greenberg) presented to LJSAB.
- New owner is proposing a new front entrance, laundry room adjacent to the garage.
- Second stories are stepped back two feet from the first story side yard set back.
- Exterior materials are mainly stucco with wood accents.
- Side and north yard elevations have most windows on upper story for privacy.
- Rear yard has a lap pool with a deck.

- Small balconies extend off the second-story bedrooms.
- Small trees are planned mostly for screening purposes.
- Adjacent properties owners were invited to review plans.

Comment:

- Neighbor questioned whether it was proper to have a pool next to her property line. Neighbor complained of previous owner cutting down her trees in order to maximize the coastal view. Proposed deck would compromise neighbor's privacy.
- Applicant responded that they would not cut down anyone's trees without their permission, as the trees are entirely on the neighbor's property.
- Future owner said he had no intention whatever of cutting the neighbor's trees but said his landscaper mentioned possibly having them topped, which would require the neighbor's permission.

Motion: Weissman moved to approve project as presented. Second by Moser. due to proposal constituting a 50% increase in FAR. Donovan then moved a second motion to approve as a process three. Second by Moser. Motion passed 4-0-1 with Goese abstaining.

ITEM D

Project: - PTS 602487 Pathria Residence CDP/SDP

Location: 7985 Calle De La Plata

APN: 346-262-0600

Presented by: Rodrigo Villalon, rodrigo@t7architecture.com (858) 345-1295

Description: Proposed remodel of the existing interior space and a 2nd level addition to the garage on a 0.25-acre site. Proposed increase of 1,981sf 1st level, 646sf 2nd level, 420sf 2-car garage -total of 3,047sf would increase FAR to 0.28 where 0.60 is allowed. See ATTACHMENT 4 for additional details.

Presentation:

- Presenter absent.

Comments: None

Motion: None

Item E

Project: 624104 - Riha Remodel

Location: 7935 El Paseo Grande

APN: 346-503-0500

Presented by: Tim Martin, tim@martinarchitecture.com (858) 349-3474

Description: Proposed 85sf one-story addition, 362sf two-story addition, 308sf covered porch addition (all in rear yard); interior remodel; new covered front porch; new windows and doors new roofing and stucco finish to existing 1840sf single-family home would increase existing FAR from 0.29 to 0.41. See ATTACHMENT 5 for addition details.

Presentation:

- Presenter said the project is mostly through plan check as a minor.

- Total sf including second floor addition is 447sf, of which none is visible from the street.
- The covered lanai does count toward GFA.
- Presenter said he talked to three neighbors about the project.
- Presenter said he has not talked to neighbor to the rear of the project.

Comment:

- Donovan and Moser requested copies of cycle reviews for LJSAB reviews in future meetings.
- Donovan requested information on how covering the porch affects GFA. She said the roof jumped up FAR to .41 which would cause her to deny the project.
- Moser suggested the porch roof could be a trellis, which would reduce FAR. The presenter rejected that suggestion. The presenter said he could remove the roof, get LJSAB approval, then come back next year for a permit just for the roof, as a kind of end run.

Motion: Donovan moved to not approve as a minor project and request presenter return for consideration as a major. Motion failed due to lack of second. Moser moved to approve as a minor project, due to a large portion of the porch not being enclosed. Motion passed 4-1-0.

6. Next meeting date: Monday, February 20, 2019.

7. Adjournment: 12:56 p.m.

Minutes taken by Tony Kempton, Associate Planner, City of San Diego

Neighborhood Survey

8230 Prestweck Dr

La Jolla, CA 92037

Year Built: 1985

APN#: 346-262-06-00

Legal Description: Lot: 66 Map Ref: 004392 Abbreviated Description: LOT:66 CITY:SAN DIEGO
SUBD:PRESTWICK ESTATES UNIT #1 004392 LOT 66* City/Muni/Twp: SAN DIEGO

Date: March 21, 2018



7724 Girard Avenue, Second floor

La Jolla, CA 92037

PH: 858.459.3769 FAX: 858.459.3768

EMAIL: camarengo@marengomortonarchitects.com



Marengo Morton Architects, Inc.

7724 Girard Avenue, Second Floor
La Jolla, California 92037
Tel 858-459-3769 • Fax 858-459-3768
C m a r e n g o @ s a n . r r . c o m

Project: Hershfield

Project #: 2017-15

Address: 8230 Prestwick Dr
La Jolla, CA 92037

Date: 03-21-2018

Neighborhood Setback Analysis - 8230 Prestwick Dr										
Parcel	Site	City	State	Zip	Floor	Lot	Front	Right Side	Left Side	Rear
Number	Address				Area (sf)	Area (sf)	Setback	Setback	Setback	Setback
346-262-06-00	8230 Prestwick Dr	La Jolla	CA	92037	4,067	19,550	15	6	6	10
346-333-01-00	8216 Prestwick Dr	La Jolla	CA	92037	3,538	20,903	25.6666	10	10.5	10
346-333-02-00	8204 Prestwick Dr	La Jolla	CA	92037	2,818	21,126	26	8	9	10
346-333-03-00	8194 Prestwick Dr	La Jolla	CA	92037	2,475	21,780	25.3333	16	15	10
346-333-04-00	8182 Prestwick Dr	La Jolla	CA	92037	4,513	24,829	25.5	8	8.5	10
346-333-05-00	8172 Prestwick Dr	La Jolla	CA	92037	3,044	22,651	25.5	7.6666	9	10
346-432-01-00	8156 Prestwick Dr	La Jolla	CA	92037	4,637	20,741	25.5	11	7.6666	10
346-262-07-00	8244 Prestwick Dr	La Jolla	CA	92037	4,478	22,107	25	10	9	10
346-262-08-00	8258 Prestwick Dr	La Jolla	CA	92037	3,056	22,651	25.5	10	10	10
346-211-08-00	8268 Prestwick Dr	La Jolla	CA	92037	3,083	20,377	23.6666	12.5	10.5	10
346-211-07-00	8294 Prestwick Dr	La Jolla	CA	92037	2,714	20,039	19.8333	11	10	10
346-211-06-00	8302 Prestwick Dr	La Jolla	CA	92037	2,975	23,086	38.8333	10	15.5	10
346-211-05-00	8316 Prestwick Dr	La Jolla	CA	92037	4,647	24,829	31.5833	8.916	11	10
346-212-04-00	8317 Prestwick Dr	La Jolla	CA	92037	2,052	20,787	41.75	18	24.5	10
346-212-03-00	8303 Prestwick Dr	La Jolla	CA	92037	2,203	23,958	24.75	10	8.5	10
346-212-02-00	8295 Prestwick Dr	La Jolla	CA	92037	3,366	26,571	23.5	8	8.5	10
346-212-01-00	8283 Prestwick Dr	La Jolla	CA	92037	3,418	25,264	38	9.333	9.5	10
346-263-01-00	8271 Prestwick Dr	La Jolla	CA	92037	2,769	20,303	25	14.83333	10.5	10
346-263-02-00	8157 Prestwick Dr	La Jolla	CA	92037	3,202	19,726	25	17	9	10
346-263-03-00	8243 Prestwick Dr	La Jolla	CA	92037	2,825	20,830	32.6666	10.5	12	10
346-334-01-00	8229 Prestwick Dr	La Jolla	CA	92037	3,361	20,320	30.25	10	8.5	10
346-334-02-00	8215 Prestwick Dr	La Jolla	CA	92037	3,595	20,304	29.916	16	11	10
346-334-03-00	8201 Prestwick Dr	La Jolla	CA	92037	3,364	21,437	57	14	17	10
346-334-04-00	8195 Prestwick Dr	La Jolla	CA	92037	2,860	21,539	51.5	8	9	10
346-334-05-00	8185 Prestwick Dr	La Jolla	CA	92037	3,093	20,263	26	7	10	10
346-334-06-00	8171 Prestwick Dr	La Jolla	CA	92037	2,123	21,729	34.5	13.5	10.5	10
346-431-11-00	8157 Prestwick Dr	La Jolla	CA	92037	5,932	21,795	34	7	9	10
346-431-10-00	8143 Prestwick Dr	La Jolla	CA	92037	5,966	21,459	28.25	4.6666	4.5	10
Total Properties	28	Averages			3,435	21,820	29.8214	10.604126	10.48809	280

Project Site: 8230 Prstwick Dr La Jolla CA 92037



8216 Prestwick Dr La Jolla CA 92037



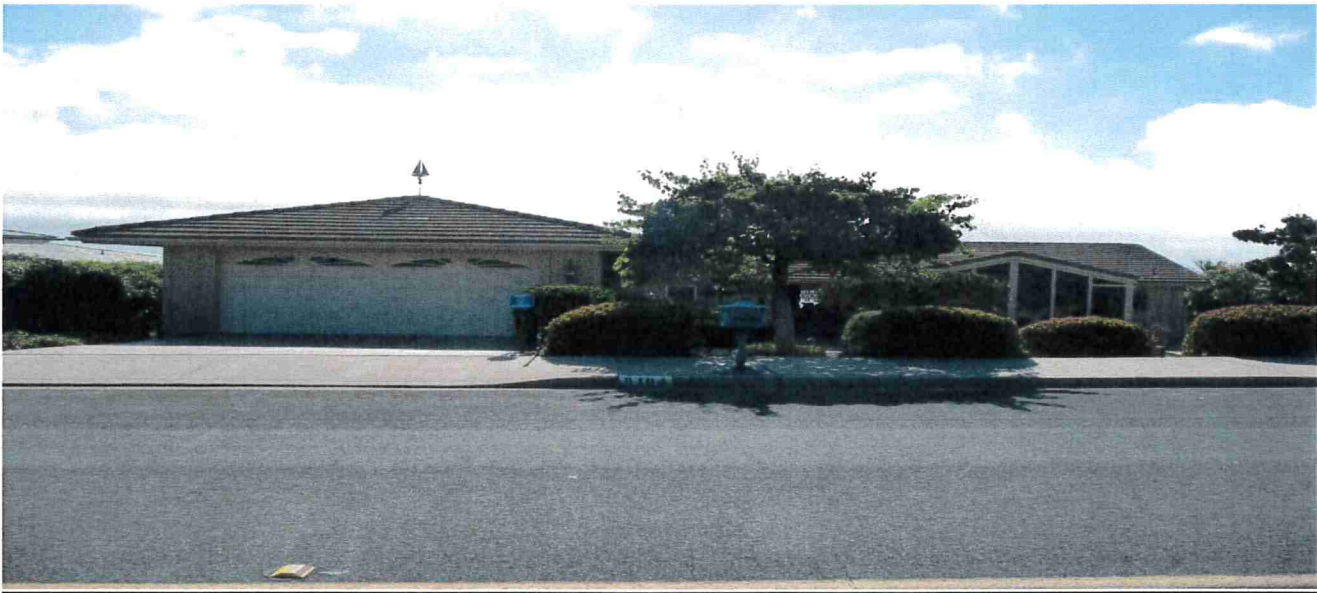
Marengo Morton Architects, Inc.
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Project: Hershfield	Project #: 2017-15
Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018

8204 Prestwick Dr La Jolla CA 92037

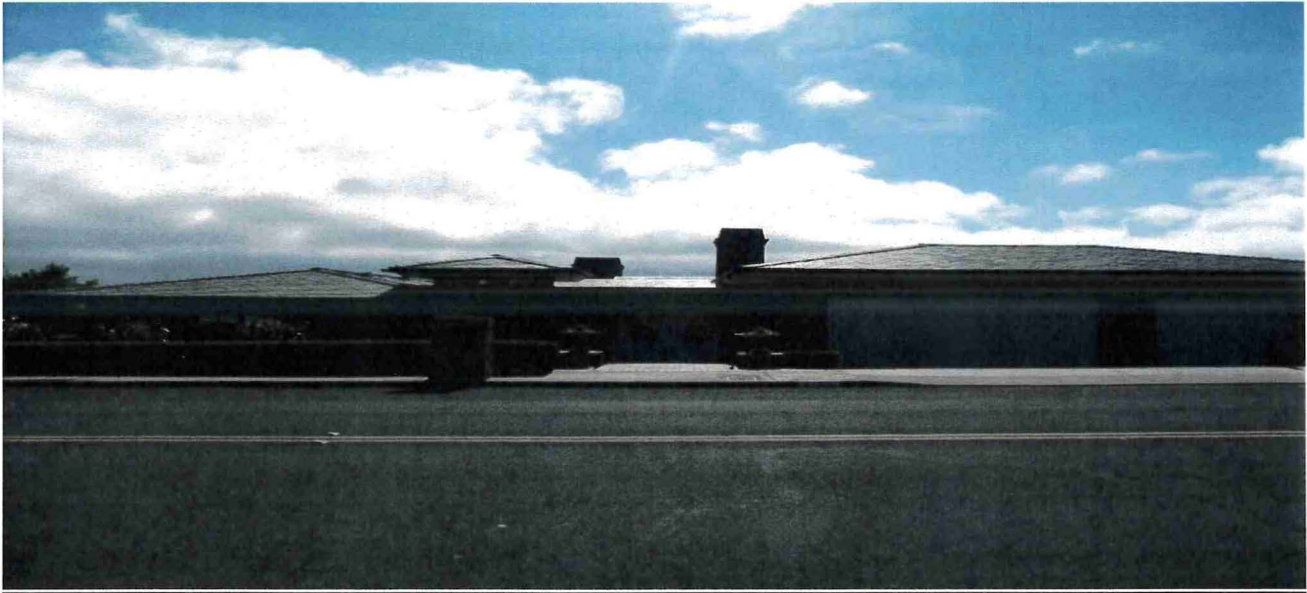


8194 Prestwick Dr La Jolla CA 92037



 Marengo Morton Architects, Inc. 7724 Girard Avenue, Second Floor La Jolla, California 92037 Tel 858-459-3769 • Fax 858-459-3768 Cmarengo@sandr.com	Project: Hershfield	Project #: 2017-15
	Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018

8182 Prestwick Dr La Jolla CA 92037



8172 Prestwick Dr La Jolla CA 92037



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Project: Hershfield

Project #: 2017-15

Address: 8230 Prestwick Dr
La Jolla, CA 92037

Date: 03-21-2018

8156 Prestwick Dr La Jolla CA 92037



8244 Prestwick Dr La Jolla CA 92037



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Project: Hershfield

Project #: 2017-15

Address: 8230 Prestwick Dr
La Jolla, CA 92037

Date: 03-21-2018

8258 Prestwick Dr La Jolla CA 92037

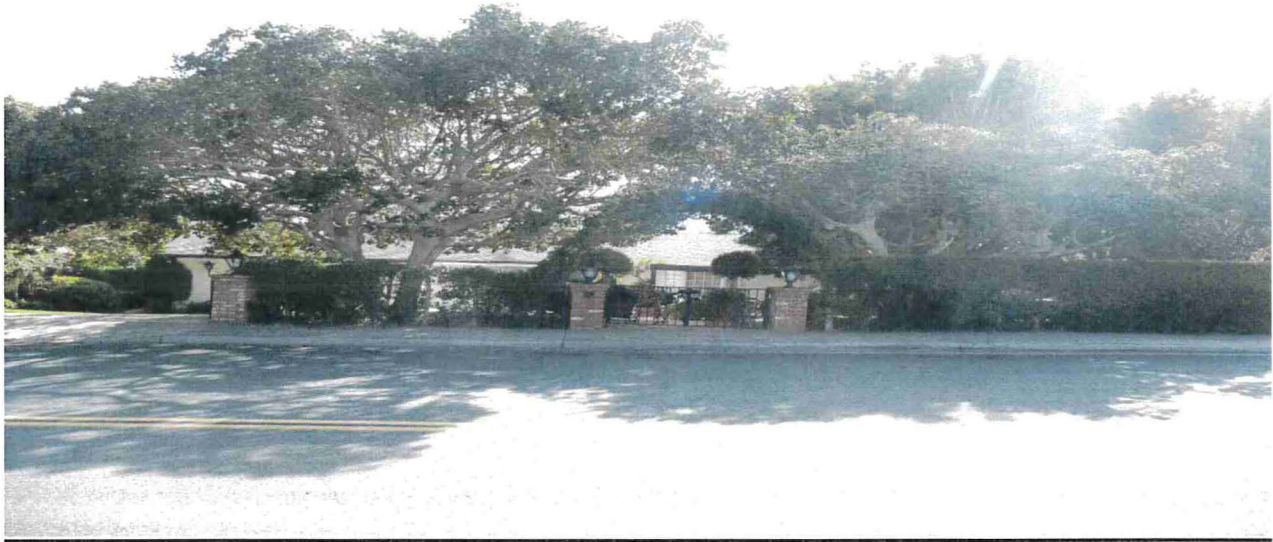


8268 Prestwick Dr La Jolla CA 92037



 Marengo Morton Architects, Inc. 7724 Girard Avenue, Second Floor La Jolla, California 92037 Tel 858-459-3769 • Fax 858-459-3768 Cmarengo@sandr.com	Project: Hershfield	Project #: 2017-15
	Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018

8294 Prestwick Dr La Jolla CA 92037



8302 Prestwick Dr La Jolla CA 92037



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Project: Hershfield

Project #: 2017-15

Address: 8230 Prestwick Dr
La Jolla, CA 92037


Date: 03-21-2018

8316 Prestwick Dr La Jolla CA 92037



8317 Prestwick Dr La Jolla CA 92037



	Marengo Morton Architects, Inc. 7724 Girard Avenue, Second Floor La Jolla, California 92037 Tel 858-459-3769 • Fax 858-459-3768 Cmarengo@sandr.com	Project: Hershfield	Project #: 2017-15
		Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018

8303 Prestwick Dr La Jolla CA 92037

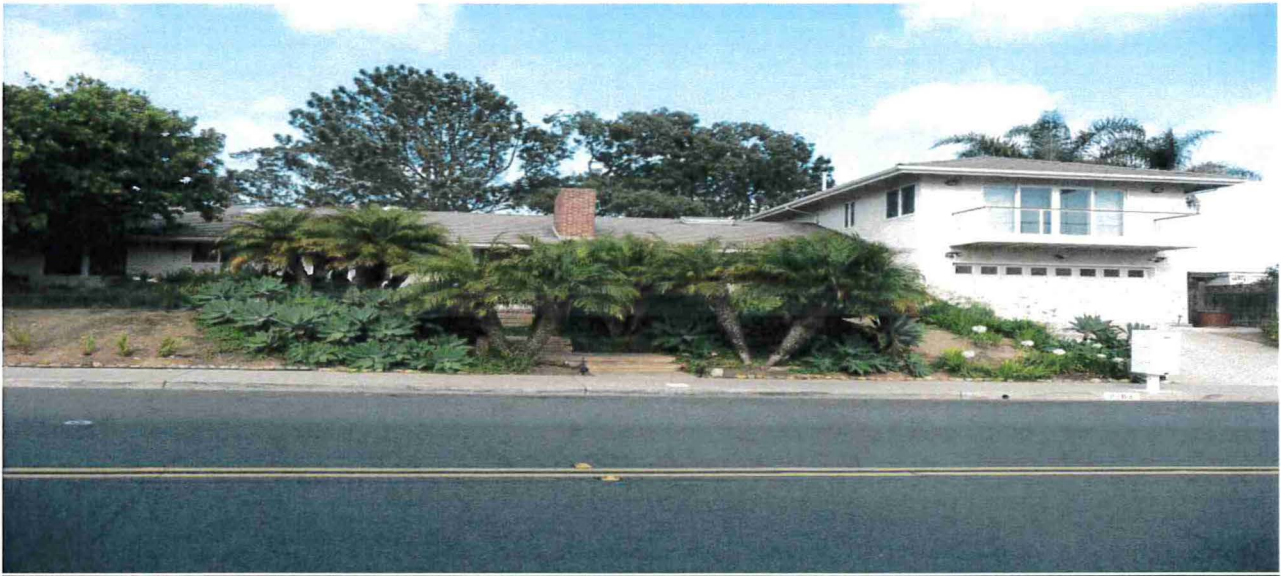


8295 Prestwick Dr La Jolla CA 92037



 <p>Marengo Morton Architects, Inc. 7724 Girard Avenue, Second Floor La Jolla, California 92037 Tel 858-459-3769 • Fax 858-459-3768 Cmarengo@sandr.com</p>	Project: Hershfield	Project #: 2017-15
	Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018

8283 Prestwick Dr La Jolla CA 92037



8271 Prestwick Dr La Jolla CA 92037



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Cmarengo@sandr.com

Project: Hershfield

Project #: 2017-15

Address: 8230 Prestwick Dr
La Jolla, CA 92037

Date: 03-21-2018

8257 Prestwick Dr La Jolla CA 92037

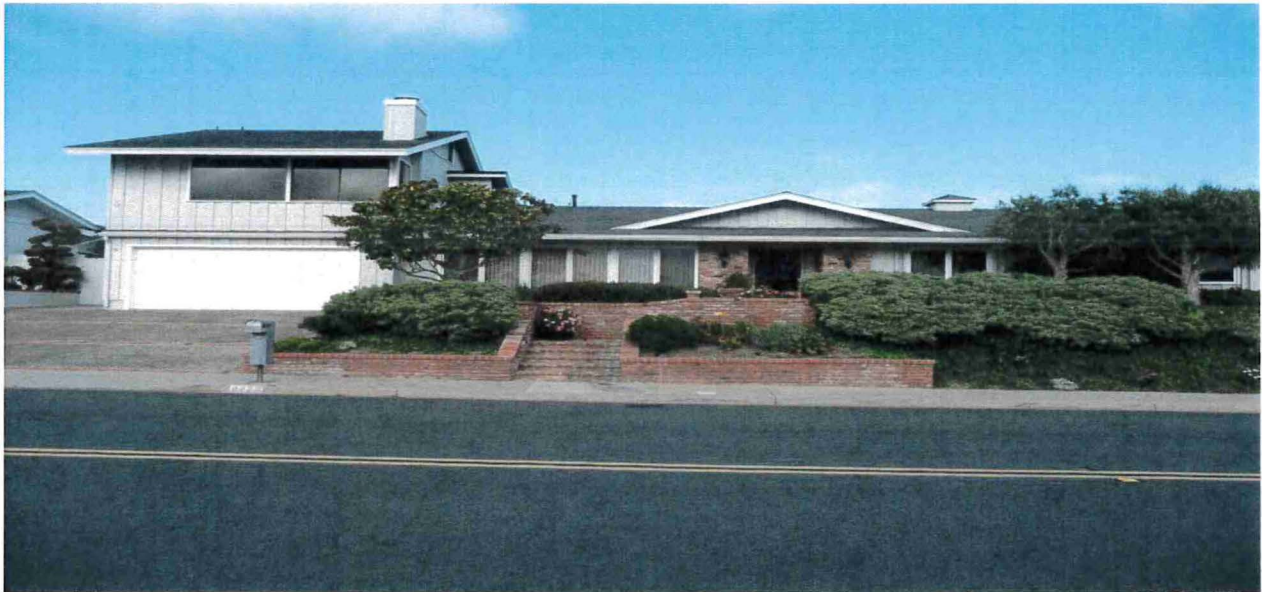


8243 Prestwick Dr La Jolla CA 92037



	Marengo Morton Architects, Inc. 7724 Girard Avenue, Second Floor La Jolla, California 92037 Tel 858-459-3769 • Fax 858-459-3768 Cmarengo@sandr.com	Project: Hershfield	Project #: 2017-15
		Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018

8229 Prestwick Dr La Jolla CA 92037



8215 Prestwick Dr La Jolla CA 92037



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Project: Hershfield	Project #: 2017-15
Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018

8201 Prestwick Dr La Jolla CA 92037



8195 Prestwick Dr La Jolla CA 92037



 <p>Marengo Morton Architects, Inc. 7724 Girard Avenue, Second Floor La Jolla, California 92037 Tel 858-459-3769 • Fax 858-459-3768 Cmarengo@sandr.com</p>	Project: Hershfield	Project #: 2017-15
	Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018

8185 Prestwick Dr La Jolla CA 92037



8171 Prestwick Dr La Jolla CA 92037




 <p>Marengo Morton Architects, Inc. 7724 Girard Avenue, Second Floor La Jolla, California 92037 Tel 858-459-3769 • Fax 858-459-3768 C m a r e n g o @ s a n . r r . c o m</p>	<p>Project: Hershfield</p>	<p>Project #: 2017-15</p>
	<p>Address: 8230 Prestwick Dr La Jolla, CA 92037</p>	<p>Date: 03-21-2018</p>

8157 Prestwick Dr La Jolla CA 92037



8143 Prestwick Dr La Jolla CA 92037



 Marengo Morton Architects, Inc. 7724 Girard Avenue, Second Floor La Jolla, California 92037 Tel 858-459-3769 • Fax 858-459-3768 Cmarengo@san.rr.com	Project: Hershfield	Project #: 2017-15
	Address: 8230 Prestwick Dr La Jolla, CA 92037	Date: 03-21-2018



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title **Project No. For City Use Only**
 Hershfield Residence 603740
Project Address:
 8230 Prestwick Dr. La Jolla, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Lawrence Hershfield
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 6048 Clubhouse Dr
 City/State/Zip: Rancho Santa Fe, CA 92067
 Phone No: 760-522-1903 Fax No: 858-523-1899
 Signature: [Signature] Date: 3/26/18

Name of Individual (type or print):
 Tammy Hershfield
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 6048 Clubhouse Dr
 City/State/Zip: Rancho Santa Fe, CA 92067-7202
 Phone No: 858 3955511 Fax No: 858-523-1899
 Signature: [Signature] Date: 3/26/18

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

BLUE HERON HOME

8230 PRESTWICK DRIVE | SINGLE FAMILY RESIDENCE



MARENGO MORTON ARCHITECTS
7724 GIRARD AVE. 2ND FL.
LA JOLLA, CA 92037
P 858 459 3769
F 858 459 3768
MICHAEL MORTON AIA
CLAUDE ANTHONY MARENGO DESA



THE DESIGNS & DRAWINGS DEPICTED ON THIS SHEET ARE THE SOLE PROPERTY OF BLUE HERON ARCHITECTURE, LLC AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF BLUE HERON ARCHITECTURE, LLC. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE PROVIDED FOR THE EXECUTION OF THIS SPECIFIC PROJECT.

IT IS THE RESPONSIBILITY OF EACH CONTRACTOR PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERROR OR OMISSION IN THE PLANS OR SPECIFICATIONS OF WHICH A CONTRACTOR WHO IS THOROUGHLY KNOWLEDGEABLE IN BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. NO CONTRACTOR SHALL PROCEED WITH THE WORK WITHOUT HAVING FIRST RECEIVED FROM THE ARCHITECT WRITTEN NOTICE ADDRESSING SUCH PERCEIVED ERROR OR OMISSION. BLUE HERON MAY NOT BE ABLE TO ADDRESS THE PERCEIVED ERROR OR OMISSION IN THE MOST TIMELY AND COST EFFECTIVE MANNER IF CONTRACTORS DO NOT FOLLOW THESE PROCEDURES.

4675 W TECO AVE. SUITE 250
LAS VEGAS, NEVADA 89118
P 702.256.8866
F 702.256.8862
WWW.BLUEHERON.COM
CONTACT: Amy Fincham
afincham@blueheron.com

BLUE HERON CUSTOM HOME
8230 PRESTWICK DR.
LA JOLLA, CA 92037
BUILDING DEPARTMENT SET

REVISIONS:		
NO.	DATE	DESCRIPTION

STAMP:

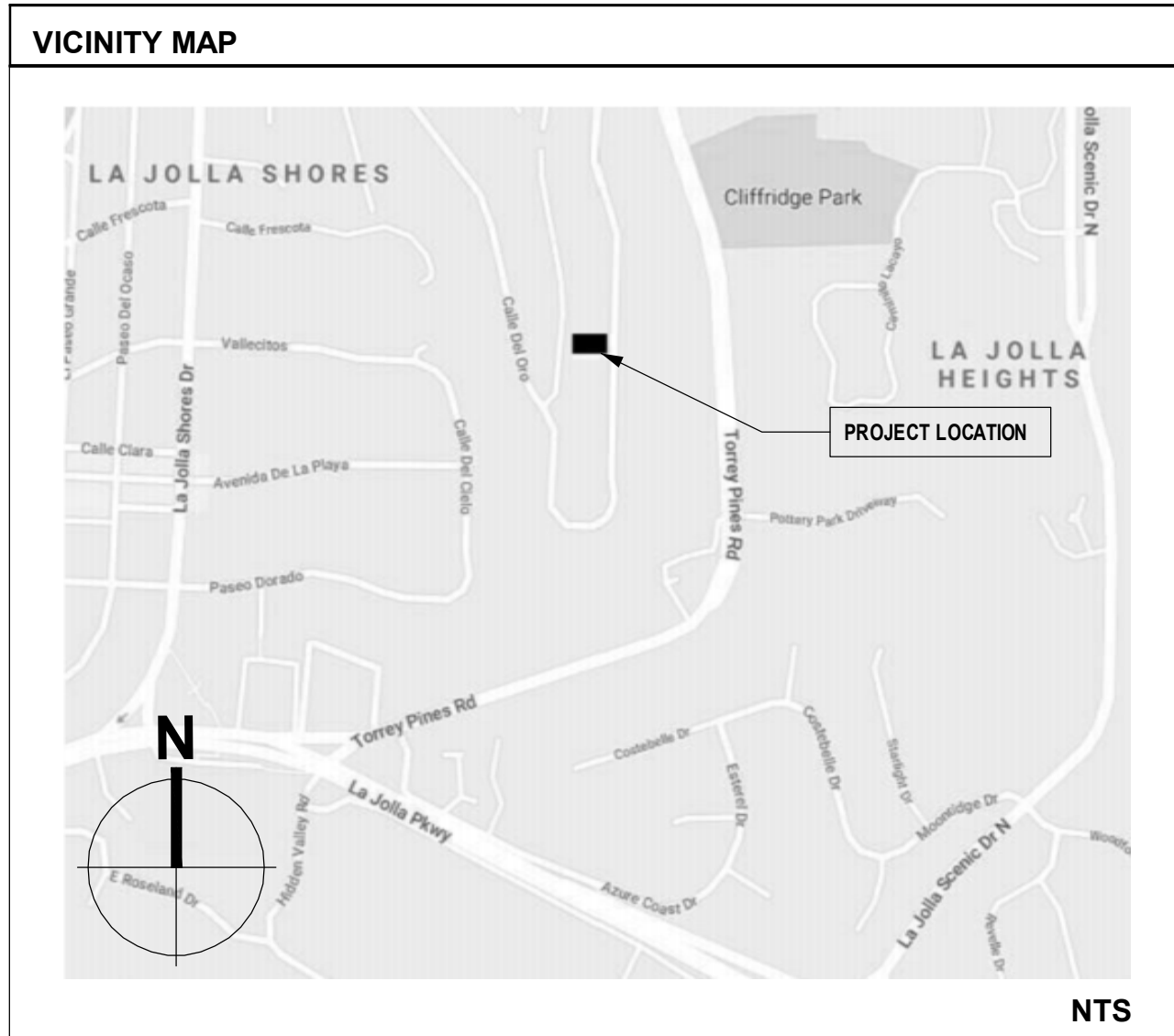
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PLOT DATE:	10/2/2018 2:05:49 PM
DRAWING BY:	RP

SHEET TITLE: COVER SHEET

SHEET COUNT: 01 OF 24

SHEET NO.:
CVR

DETAILED SCOPE OF WORK	PROJECT AND ZONING INFORMATION
REQUESTING COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT TO DEMOLISH A ONE STORY EXISTING SINGLE FAMILY RESIDENCE AND CONSTRUCT A SINGLE STORY SINGLE FAMILY RESIDENCE WITH BASEMENT TOTALING 10,750 SQUARE FEET WITH 5,213 SQUARE FEET AT THE MAIN LEVEL (ABOVE GRADE), 5,537 SQUARE FEET AT THE LOWER LEVEL (BASEMENT), AND 1,422 SQUARE FEET OF DECKS.	PROJECT INFORMATION PROJECT ADDRESS: 8230 PRESTWICK DRIVE, LA JOLLA, CA 92037 ASSESSORS PARCEL NUMBER: 346-262-06-00 LEGAL DESCRIPTION: LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1959
PROJECT TEAM	ZONING INFORMATION
ARCHITECT: MARENGO MORTON ARCHITECTS INC. OR M2 7724 GIRARD AVE, 2ND FLOOR LA JOLLA, CALIFORNIA 92037 P 858.459.3769 F 858.459.3768	YEAR BUILT: 1985 (35 YEARS OLD) BUILDING CODE: CALIFORNIA BUILDING CODE (CBC) 2016 EDITION CITY OF SAN DIEGO MUNICIPAL CODE: R-3 AND U GARAGE
DESIGNER: BLUE HERON ARCHITECTURE, LLC 4675 W TECO AVE, SUITE 250 LAS VEGAS, NEVADA 89118 P 702.256.8866 F 702.256.8862	OCCUPANCY TYPE: TYPE S8 CONSTRUCTION TYPE: 1 STORY WITH BASEMENT NUMBER OF STORES: 30'-0" PER PRESTWICK ESTATES ARCHITECTURAL COMMITTEE BUILDING HEIGHT LIMITATIONS: 30'-0" PER COASTAL HEIGHT FROM HIGHEST POINT OF GRADE WITHIN 0'-0" LOT AREA: 19,550 S.F. 0.4480 ACRES
GEOTECH ENGINEER: TERRACOSTA CONSULTING GROUP, INC 3890 MURPHY CANYON ROAD, SUITE 200 SAN DIEGO, CALIFORNIA 92123 P 858.573.6900 F 858.573.8900	CONTRACTOR: WARDELL BUILDERS 649 VALLEY AVE, SUITE A SOLANA BEACH, CA 92075 P 858.793.4190 F 858.793.4199
CIVIL ENGINEER: SAN DIEGO LAND SURVEYING & ENGINEERING, INC 9665 CHESAPEAKE DRIVE, SUITE 445 SAN DIEGO, CALIFORNIA 92123-1354 P 858.565.8362 F 858.565.4354	STRUCTURAL ENGINEER: DCG ENGINEERING 5840 WEST CRAIG RD, SUITE 120-372 LAS VEGAS, NV 89130 P 702.489.9393 F 702.997.1213
STRUCTURAL ENGINEER: INSIGHT STRUCTURAL ENGINEERS 855 N DOUGLAS STREET EL SEGUNDO, CALIFORNIA P 301.640.0123 F 310.743.1637	STRUCTURAL ENGINEER: INSIGHT STRUCTURAL ENGINEERS 855 N DOUGLAS STREET EL SEGUNDO, CALIFORNIA P 301.640.0123 F 310.743.1637
MPE CONSULTANT: REVOLUTION ENGINEERING 2213 N. GREEN VALLEY PKWY, #201 HENDERSON, NV 89014 P 702.514.3361	MPE CONSULTANT: REVOLUTION ENGINEERING 2213 N. GREEN VALLEY PKWY, #201 HENDERSON, NV 89014 P 702.514.3361
TITLE 24 CONSULTANT: TECHNICAL ENERGY CALCULATIONS 4338 GOLDFINCH STREET SAN DIEGO, CA 92103 P 858.472.2680	TITLE 24 CONSULTANT: TECHNICAL ENERGY CALCULATIONS 4338 GOLDFINCH STREET SAN DIEGO, CA 92103 P 858.472.2680
SURVEYOR: CIREMELE SURVEYING INC. 164 S. ESCONCIDO BLVD. ESCONDIDO, CA 92025 P 760.489.2200	SURVEYOR: CIREMELE SURVEYING INC. 164 S. ESCONCIDO BLVD. ESCONDIDO, CA 92025 P 760.489.2200
LANDSCAPE DESIGN: PINNACLE DESIGN COMPANY 78-370 HWY 111, SUITE 290 LA QUINTA, CA 92253 P 760.340.4529 F 760.544.6177	LANDSCAPE DESIGN: PINNACLE DESIGN COMPANY 78-370 HWY 111, SUITE 290 LA QUINTA, CA 92253 P 760.340.4529 F 760.544.6177
	BUILDING AREAS 8230 PRESTWICK DR.
	MAIN LEVEL FLOOR AREA: 5,228 S.F. LOWER LEVEL FLOOR AREA: 5,529 S.F. TOTAL RESIDENTIAL AREA: 10,757 S.F. GARAGE: 611 S.F. LOWER LEVEL GARAGE LIFT: 598 S.F. POOL EQUIP. ROOM: 480 S.F. TOTAL NON-RESIDENTIAL AREA: 1,667 S.F. PROJECT TOTAL: 12,424 S.F. PROJECT AREA INCLUDED IN G.F.A.: 5,228 S.F. MAIN LEVEL DECK: 1,422 S.F. LOWER LEVEL PATIO: 1,080 S.F. DECK / PATIO TOTAL: 2,502 S.F. PARKING REQUIRED PER UNIT: 02 SPACES PARKING PROVIDED PER UNIT: 02 SPACES
	ADDITIONAL INFORMATION
	1. APPLICABLE OVERLAY ZONES: • COASTAL HEIGHT LIMIT OVERLAY • COASTAL CITY (NON-APPEALABLE) OVERLAY • PARKING IMPACT ZONE • RESIDENTIAL TANDEM PARKING ZONE • TRANSIT AREA ZONE 2. PARCEL IS NOT SUBJECT TO ENVIRONMENTALLY SENSITIVE LANDS (STEEP HILLSIDE) - A DESCENDING FILL OVER NATURAL SLOPE APPROXIMATELY 75 FEET HIGH EXISTS AT THE WESTERN PORTION OF THE SITE 3. PARCEL IS LOCATED IN GEOLOGIC CATEGORY 26 - ARDATH: UNFAVORABLE GEOLOGIC STRUCTURE



PROJECT DATA	
PROJECT NAME:	PRESTWICK DRIVE
PROJECT ADDRESS:	8230 PRESTWICK DRIVE LA JOLLA, CA 92037
HISTORIC:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 02 / 19 / 2018 - 1ST COMPLETENESS REVIEW
SUBMITTAL DATE:	
ZONE:	RS-17
OWNER:	LAWRENCE & TAMMY HERSHFIELD 6948 CLUBHOUSE DRIVE RANCHO SANTA FE, CA 92067
MAP NUMBER:	PRESTWICK ESTATES UNIT 1, MAP NO. 4392
LOT NUMBER:	66
A.P.N.:	346-262-06-00
LOT COVERAGE:	5,213-SF (MAIN LEVEL) / 19,550 (TOTAL LOT SF) = 27% LOT COVERAGE ACTUAL 60% LOT COVERAGE ALLOWABLE
LEGAL DESCRIPTION:	PROJECT LOCATED IN LA JOLLA SHORES WITH NO F.A.R. REQUIREMENT LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1959

CONSERVATION ELEMENT NOTES	
1.	A VARIABLE REFRIGERANT FLOW (VRF) HIGH EFFICIENT HVAC SYSTEM
2.	TANKLESS WATER HEATERS, PROVIDES 27-50% ENERGY EFFICIENCY. ENERGY STAR LABEL, RECIRCULATING PUMPS AT REMOTE FAUCETS
3.	ULTRA-LOW WATER CONSERVING PLUMBING FIXTURES
4.	ENERGY STAR LABEL APPLIANCES: INCLUDING BUT NOT LIMITED TO: REFRIGERATOR, WASHER/DRYER, DISHWASHER
5.	HIGH-EFFICIENCY LIGHTING, MOTION SENSORS AND DIMMERS. TASK LIGHTING REDUCES USE OF GENERAL OVERHEAD LIGHTING.
6.	ENERGY EFFICIENT IRRIGATION CONTROLS AND IRRIGATION SCHEDULED PER CALIFORNIA IRRIGATION MANAGEMENT INFORMATION SYSTEM DATA FOR LANDSCAPING. USE OF DRIP IRRIGATION IN PLANTING AREAS.
7.	CLAY TILE ROOFING MATERIALS WITH RIGID INSULATION TO MAINTAIN A MINIMUM 3-YEAR AGED SOLAR REFLECTION AND THERMAL EMITTANCE. CLAY TILE MATERIALS FULFILL LEED AND ENERGY STAR REQUIREMENTS BY HAVING EXTREMELY LOW LIFE CYCLE COST WITH LONG-TERM DURABILITY
8.	SOLAR PHOTOVOLTAIC SYSTEM THAT SHALL GENERATE A MINIMUM OF 50% OF THE ANTICIPATED ENERGY DEMAND
9.	DUAL PANE LOW E GLASS PANELS IN WINDOWS AND DOORS WITH ENERGY STAR LABEL, LOW SOLAR HEAT GAIN COEFFICIENTS WITH MICRO SHADES THAT LOWER WITH THE SUN TO PROTECT THE HEAT BUILDUP ON THE WINDOWS
10.	(1) 100A, 240V CONNECTION FOR (2) TESLA CHARGING STATION. CHARGING STATIONS TO UTILIZE AUTOMATIC LOAD MANAGEMENT SYSTEM11. MAXIMIZE RECYCLED
11.	DEMOLITION MATERIAL FROM EXISTING BUILDING.
12.	LANDSCAPING WITH SAN DIEGO NATIVE DROUGHT TOLERANT, HIGH PEST RESILIENT PLANTS, MINIMUM PLANT TRIMMING.
13.	LOW FLUSH TOILETS AND LOW FLOW SHOWERS AND FAUCETS
14.	LOW VOC AND LOW EMITTING ADHESIVES, PAINTS, COATINGS, CARPET SYSTEMS, COMPOSITE WOOD, ETC. WHERE FEASIBLE
15.	RECYCLED CONTENT BUILDING MATERIALS, LOCAL SUSTAINABLE PRODUCTS WHERE FEASIBLE

INDEX TO DRAWINGS	
NUMBER	NAME
0_GENERAL	
CVR	COVER SHEET
1_CIVIL	
2 OF 24	TOPOGRAPHIC SURVEY
C1	CONCEPTUAL DRAINAGE PLAN
C2	SECTIONS
C3	BMP PLAN
2_LANDSCAPE	
A0.02	MAIN LEVEL PLANTING PLAN
A0.03	LOWER LEVEL PLANTING PLAN
A0.04	HYDROZONE PLAN
A0.05	LOT COVERAGE PLAN
3_ARCHITECTURAL	
A0.01	DEMOLITION PLAN
A1.01	MAIN LEVEL SITE PLAN
A1.02	LOWER LEVEL SITE PLAN
A1.03	G.F.A. KEYMAP - MAIN LEVEL
A1.04	G.F.A. KEYMAP - LOWER LEVEL
A2.11	MAIN LEVEL FLOOR PLAN
A2.21	LOWER LEVEL FLOOR PLAN
A3.01	ROOF PLAN
A4.11	BUILDING ELEVATIONS
A4.12	BUILDING ELEVATIONS
A4.13	BUILDING ELEVATIONS
A5.11	BUILDING SECTIONS
A5.12	BUILDING SECTIONS
A5.13	BUILDING SECTIONS
A5.14	BUILDING SECTIONS

PREPARED BY:
BLUE HERON DESIGN BUILD
4675 W. TECO AVENUE #250
LAS VEGAS, NV 89118

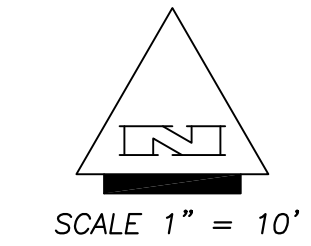
LEGAL DESCRIPTION:
LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1959

APN: 346-262-06-00

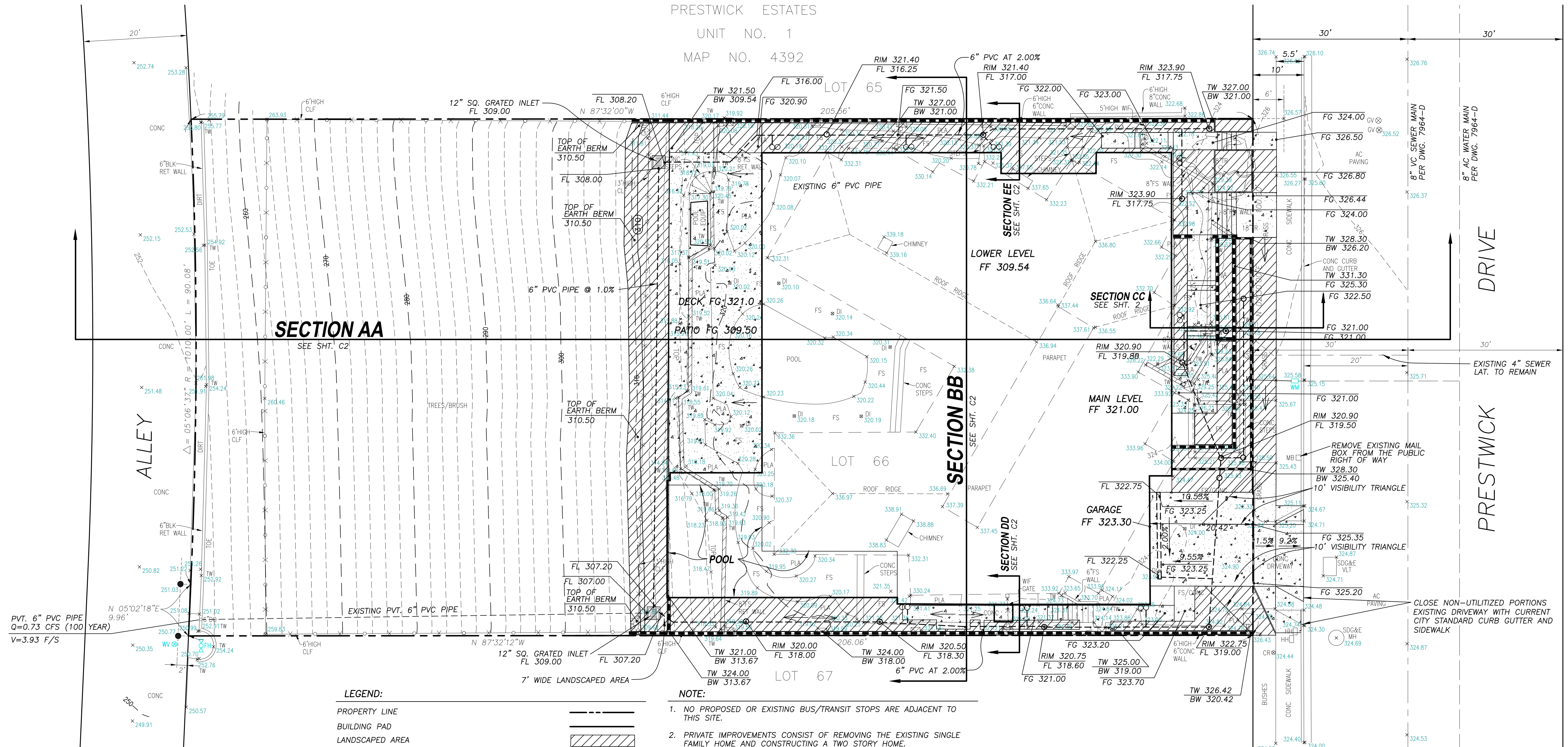
PROJECT NAME: HERSHFIELD RESIDENCE

8230 PRESTWICK DRIVE

CONCEPTUAL DRAINAGE PLAN



PRESTWICK ESTATES
UNIT NO. 1
MAP NO. 4392

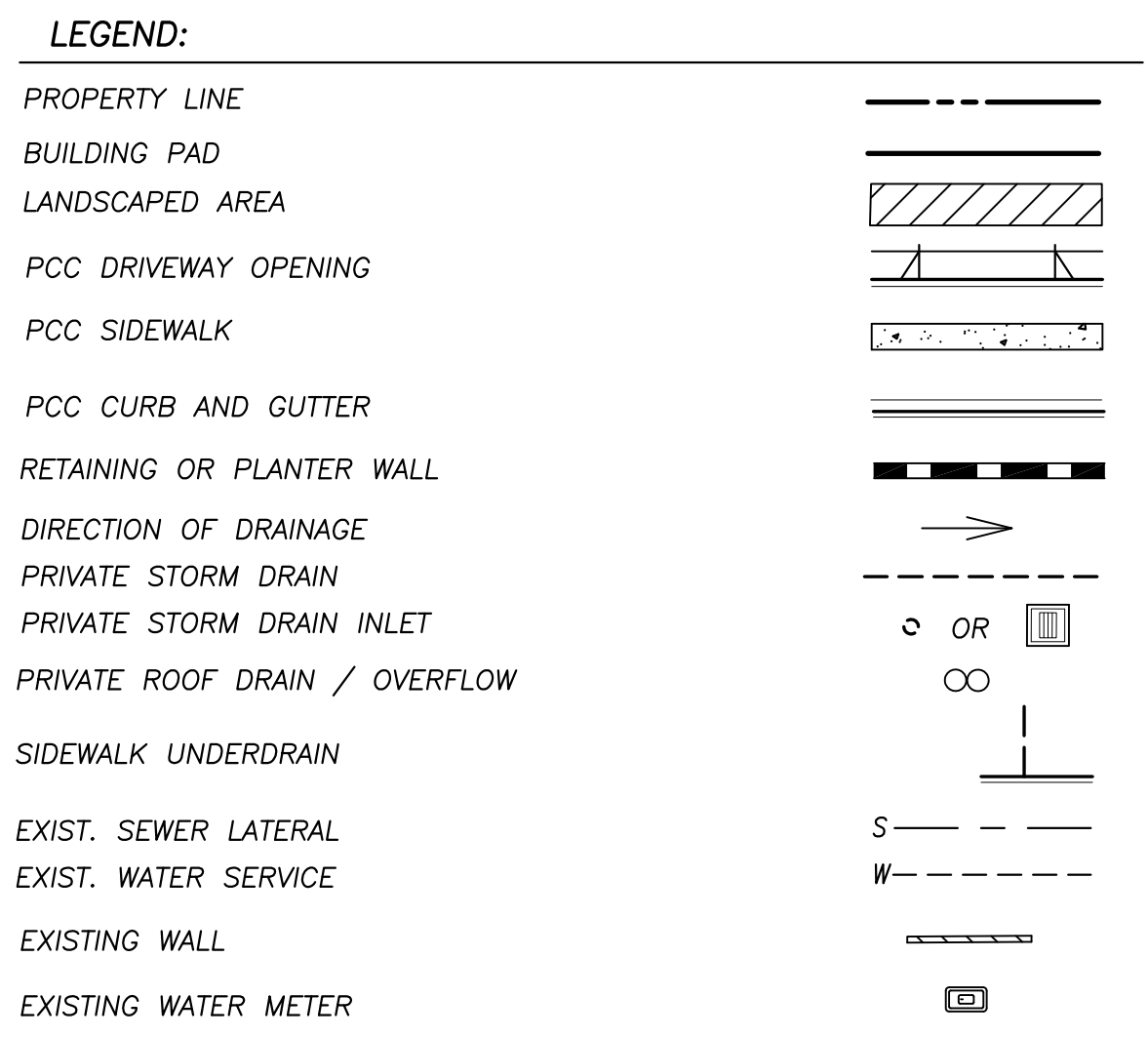


SECTION AA
SEE SHT. C2

SECTION BB
SEE SHT. C2

SECTION CC
SEE SHT. C2

SECTION DD
SEE SHT. C2



- NOTE:**
- NO PROPOSED OR EXISTING BUS/TRANSIT STOPS ARE ADJACENT TO THIS SITE.
 - PRIVATE IMPROVEMENTS CONSIST OF REMOVING THE EXISTING SINGLE FAMILY HOME AND CONSTRUCTING A TWO STORY HOME.
 - PUBLIC IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF A 12' DRIVEWAY PER CURRENT CITY STANDARDS.
 - DRAINAGE SYSTEM PROPOSED FOR THIS SITE: ROOF DRAINS WILL DISCHARGE TO LANDSCAPED AREAS, THEN TO LANDSCAPE INLETS, AND DOWN AN EXISTING PRIVATE 6" PVC STORM DRAIN TO A PUBLIC ALLEY.
 - THERE IS NO INCREASE IN RUNOFF RESULTING FROM THE DEVELOPMENT OF THE SITE.
 - NO ENCROACHMENT OR SOIL DISTURBANCE IS PROPOSED ON THE ADJACENT PROPERTIES OR PUBLIC RIGHT OF WAY.
 - NO PUBLIC STORM WATER WILL FLOW ONTO THE SITE.
 - NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
 - FOR PRIVATE PRIVATE WALKWAYS, LANDSCAPING AND IRRIGATION PIPES ENCROACHING WITHIN PUBLIC RIGHT-OF-WAY AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED.

EARTHWORK QUANTITIES:

DISTURBED AREA	0.2732 [ACRES]
GRADED AREA	0.2732 [ACRES]
EXISTING IMPERVIOUS AREA	0.2112 [ACRES]
PROPOSED IMPERVIOUS AREA	0.2212 [ACRES]
TOTAL IMPERVIOUS AREA	0.2212 [ACRES]
IMPERVIOUS % INCREASE	4.73%

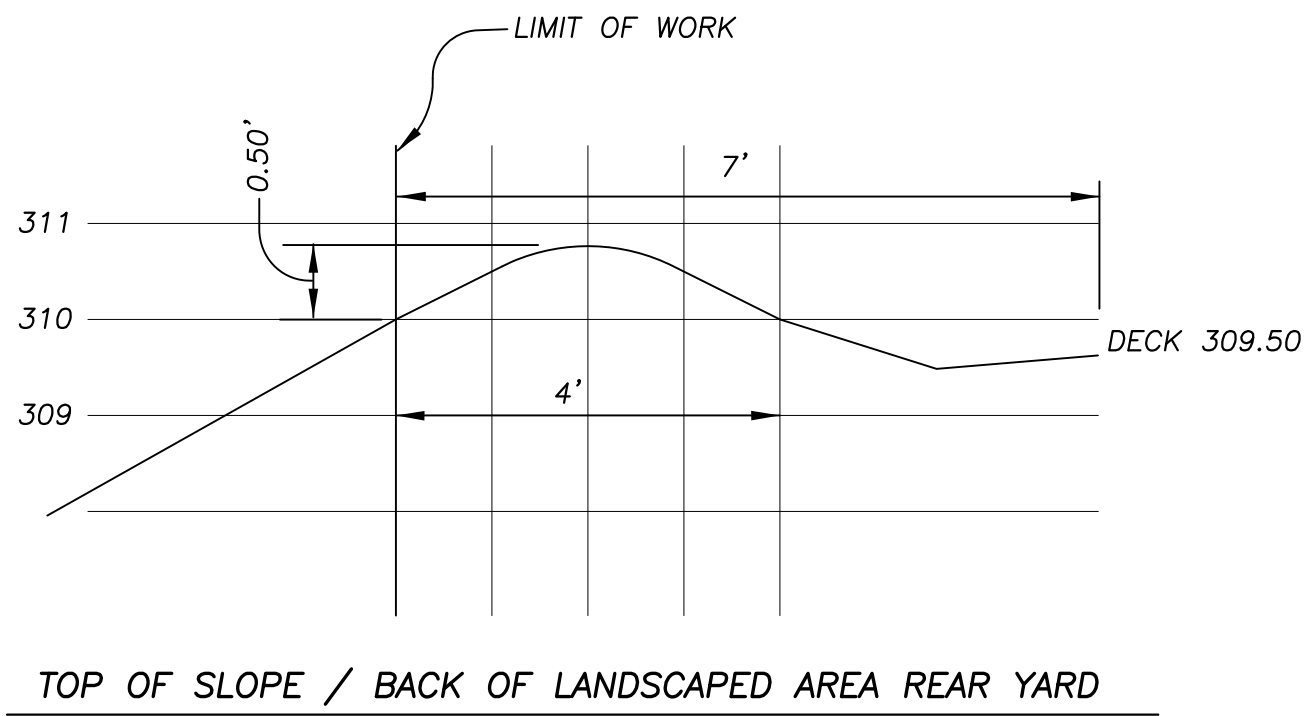
EARTHWORK WITHIN THE BUILDING ENVELOPE:

CUT QUANTITIES	3,479 [CYD]	MAX. CUT DEPTH 14.75' & SLOPE RATIO N/A
FILL QUANTITIES	0 [CYD]	MAX. FILL DEPTH 0' & SLOPE RATIO N/A
EXPORT	3,479 [CYD]	

EARTHWORK OUTSIDE THE BUILDING ENVELOPE:

CUT QUANTITIES	366 [CYD]	MAX. CUT DEPTH 3' & SLOPE RATIO N/A
FILL QUANTITIES	39 [CYD]	MAX. FILL DEPTH 3' & SLOPE RATIO N/A
EXPORT	327 [CYD]	
TOTAL EXPORT	3,806 [CYD]	

ENGINEER OF WORK:
SAN DIEGO LAND SURVEYING & ENGINEERING, INC.
9665 CHESAPEAKE DRIVE, SUITE 445
SAN DIEGO, CALIFORNIA 92123 (858) 565-8362
PROJECT NO. 346-262-06
DWG. NO. 8230 PRESTWICK DRIVE.DWG
11-08-2018
MICHAEL L. SMITH, R.C.E. 35471 DATE
REGISTRATION EXPIRES SEPTEMBER 30, 2019



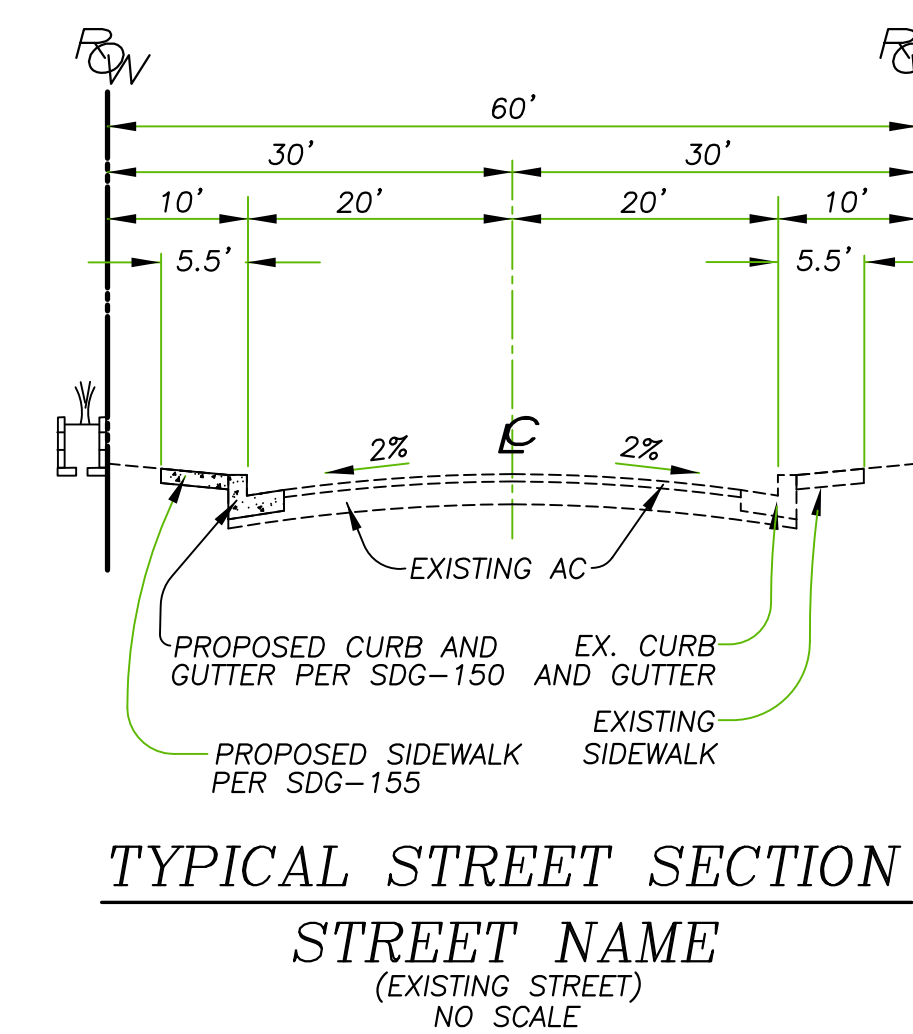
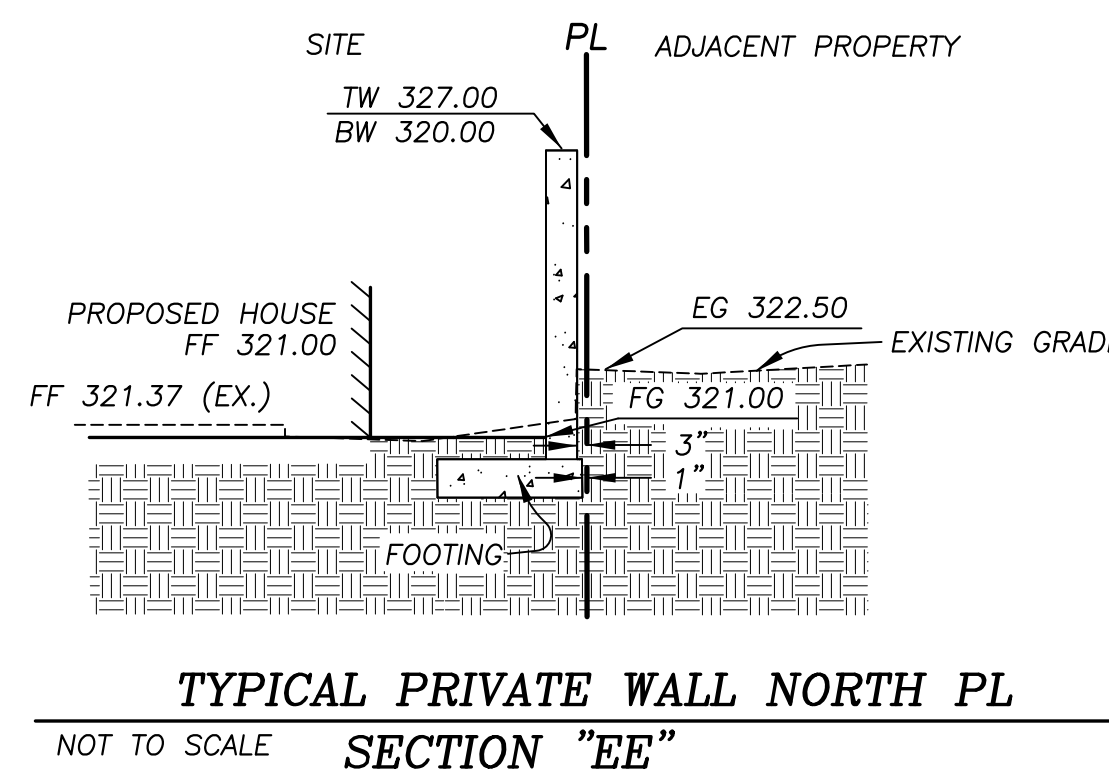
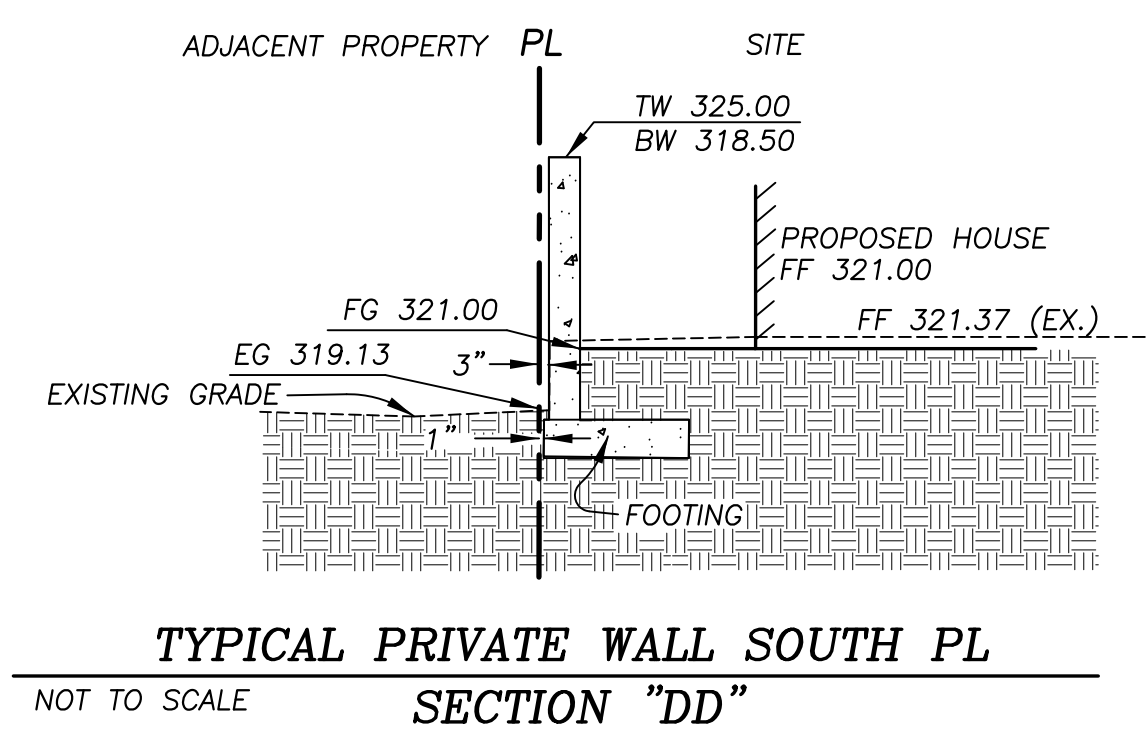
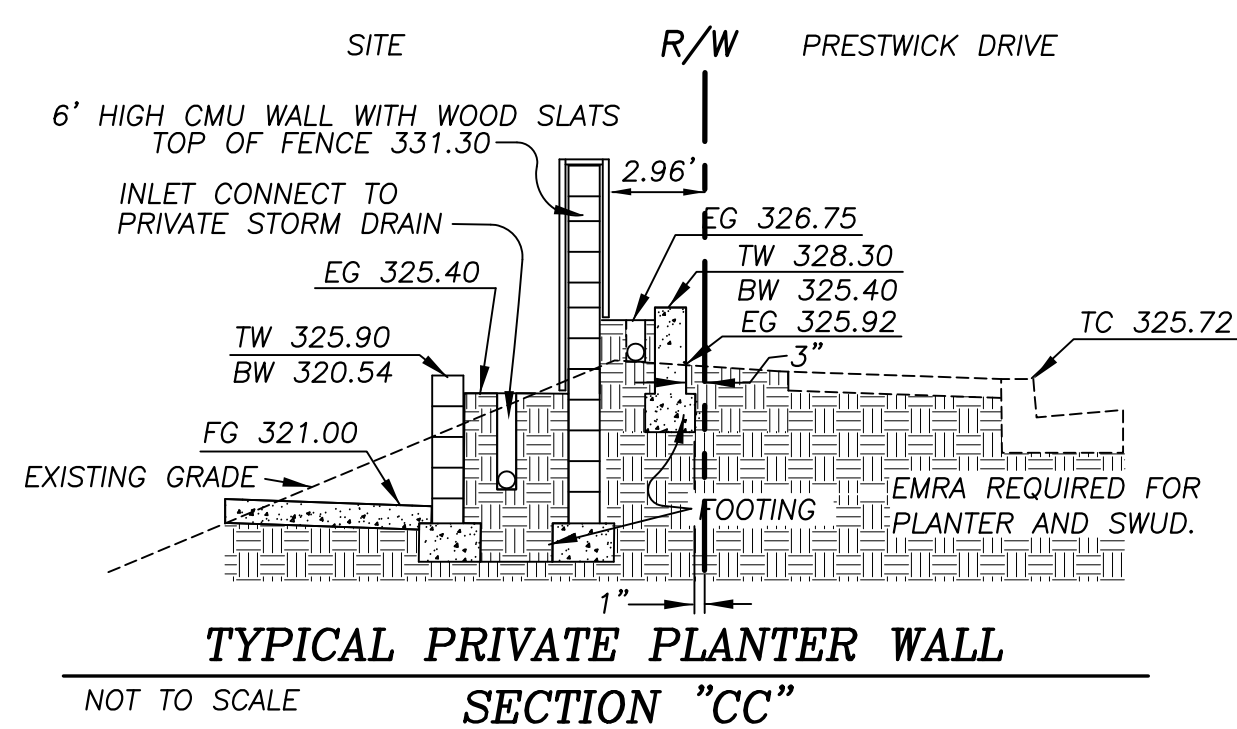
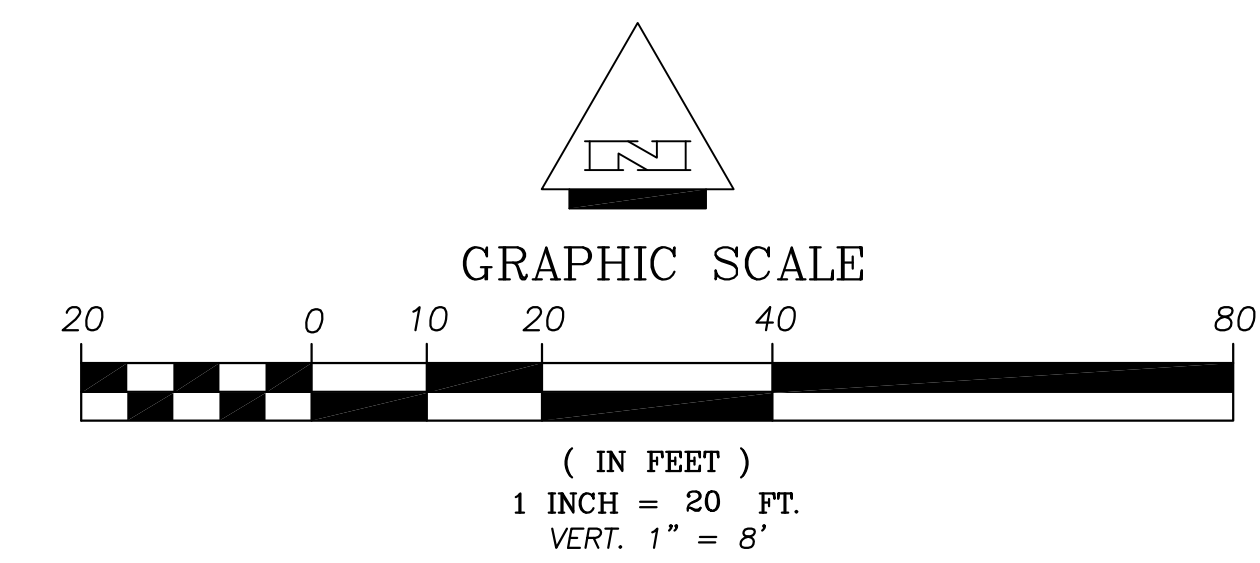
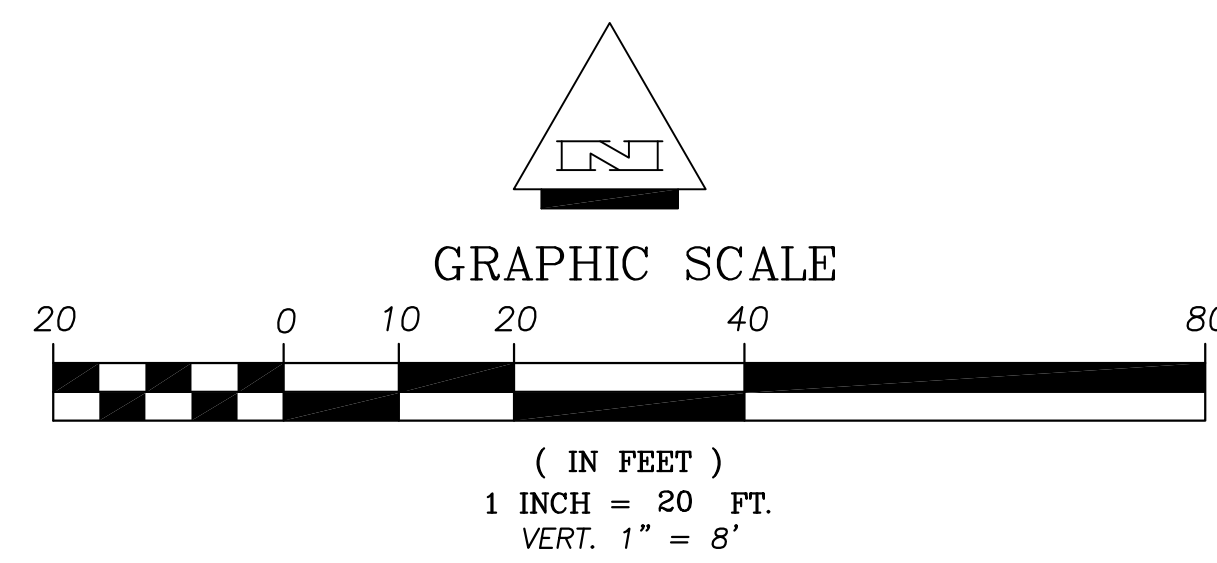
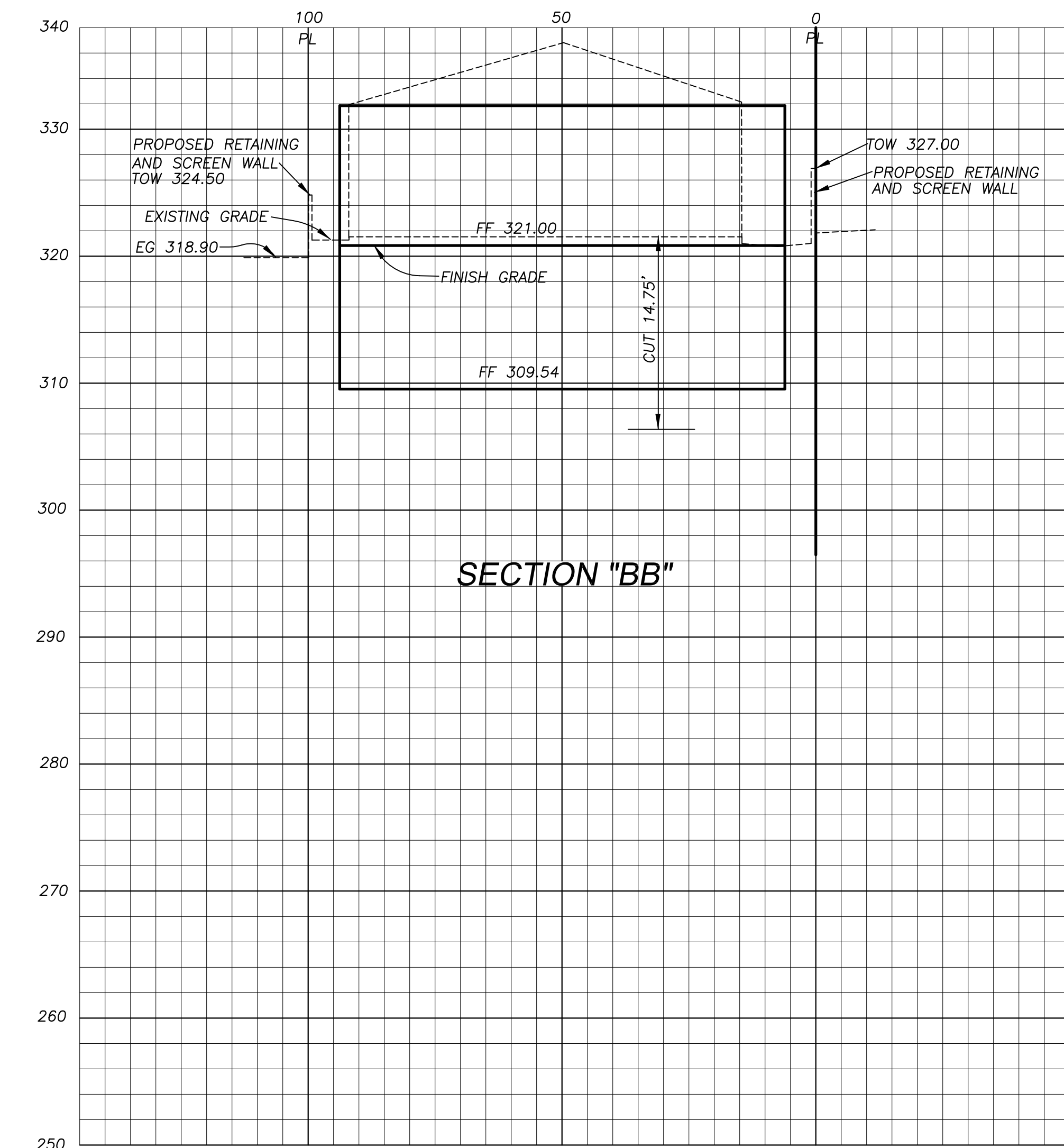
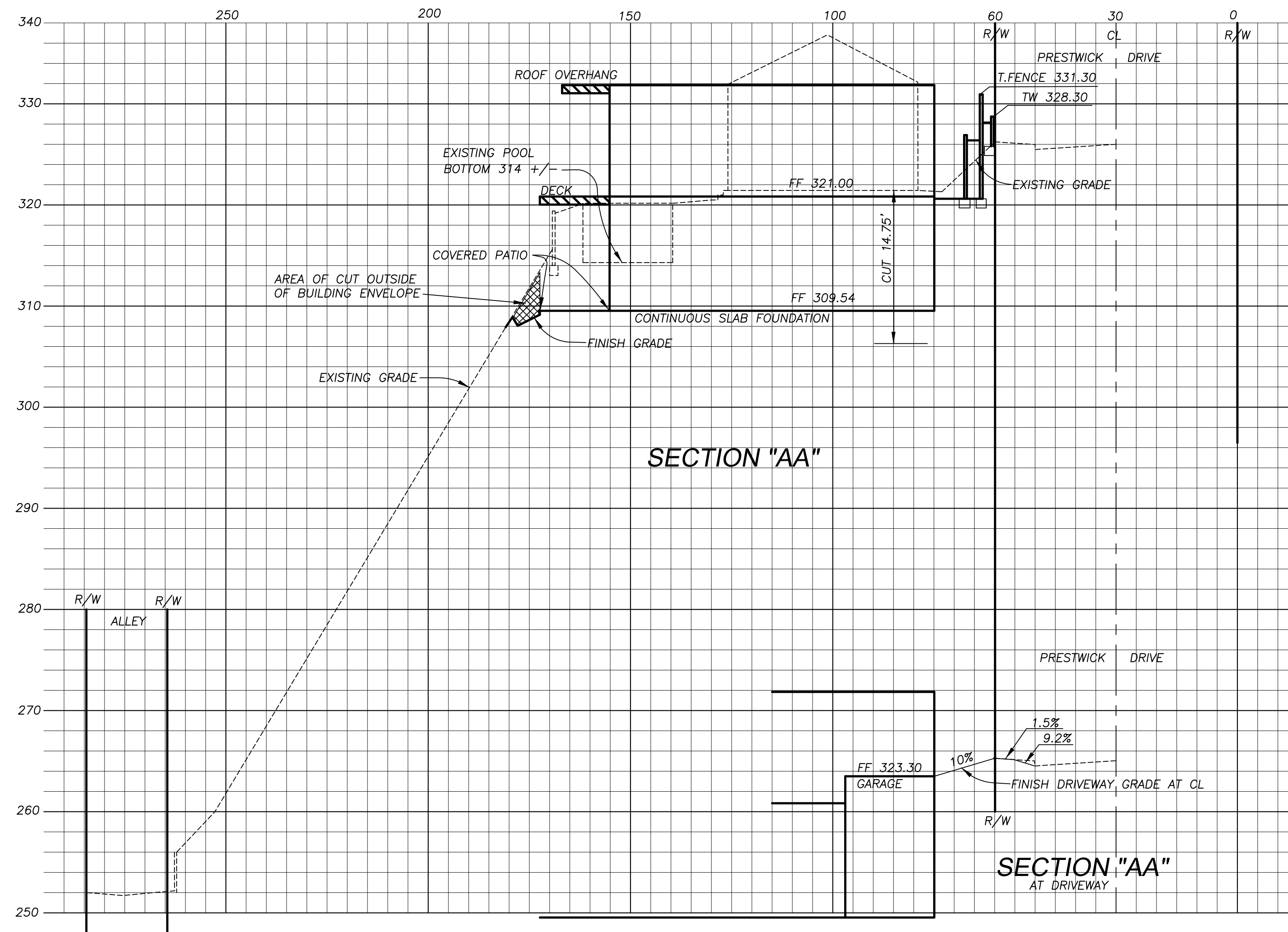
CONCEPTUAL DRAINAGE PLAN

For the exclusive use of:
HERSHFIELD
8230 PRESTWICK DRIVE
SAN DIEGO, CA 92109

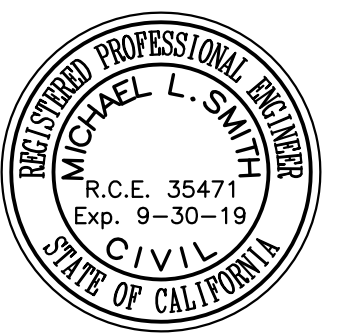
San Diego Land Surveying & Engineering, Inc.
9665 Chesapeake Drive, Suite 445, San Diego, California 92123-1354
Phone: (858) 565-8362 Fax: (858) 565-4354

Date: 02/15/2018	Revised: 09-11-2018	Revised:
Scale: 1"=10'	Drawn by: M.L.S.	SHEET 1 OF 3 SHEETS
Drawing: 8230 PRESTWICK DR.		346-262-06

THIS PROJECT PROPOSED TO EXPORT 3,806 CUBIC YARDS OF MATERIAL FROM THE PROJECT SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED INTO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.



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11-08-2018
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REGISTRATION EXPIRES SEPTEMBER 30, 2019

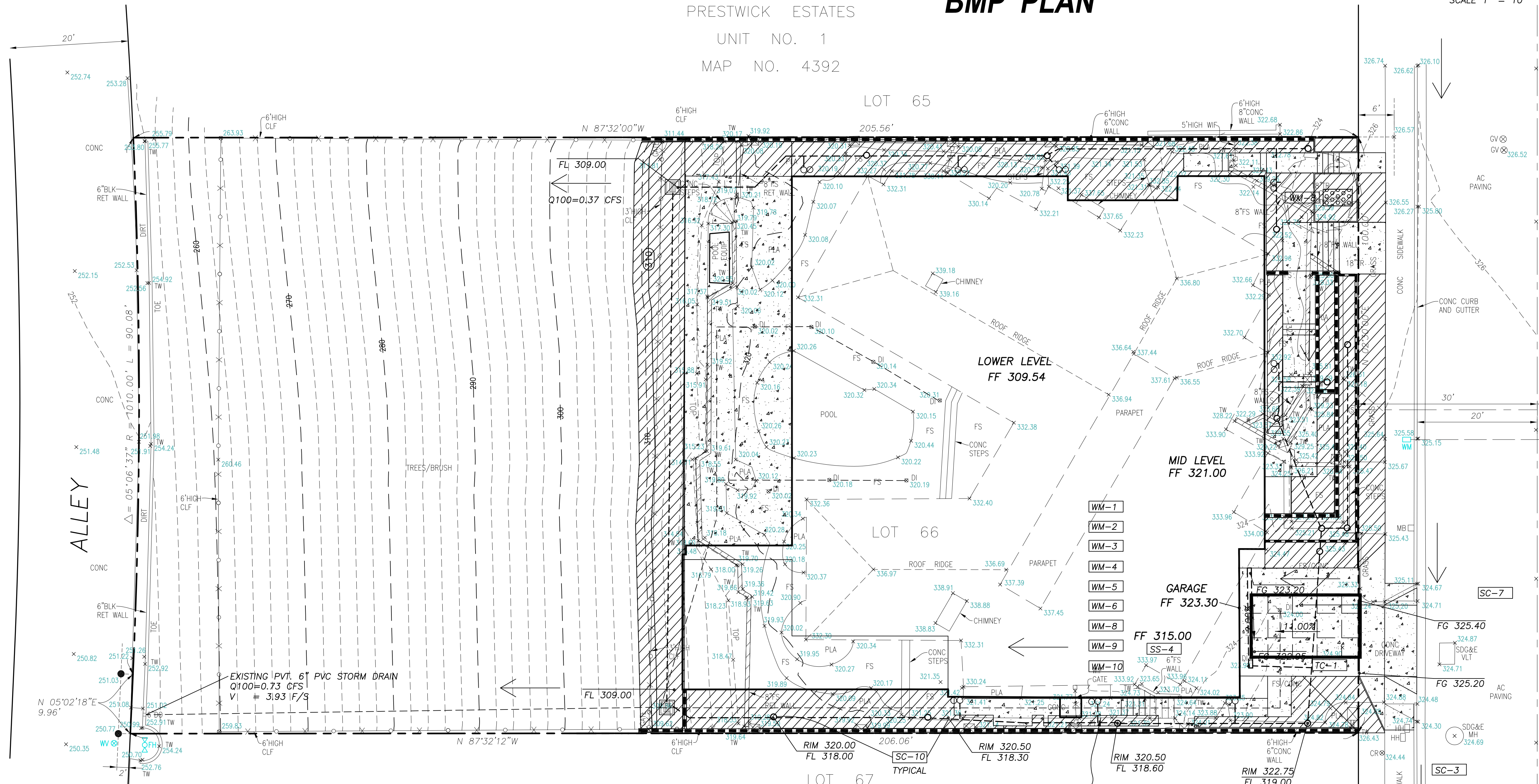
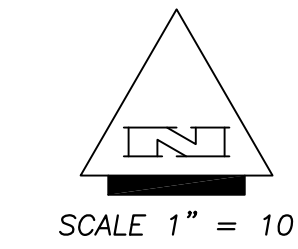


SECTIONS		
For the exclusive use of: HERSHFIELD 8230 PRESTWICK DRIVE SAN DIEGO, CA 92109		
C2		
San Diego Land Surveying & Engineering, Inc.		
9665 Chesapeake Drive, Suite 445, San Diego, California 92123-1354 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 02/15/2018	Revised: 09-11-2018	Revised:
Scale: 1"=10'	Drawn by: M.L.S.	SHEET 2 OF 3 SHEETS
Drawing: 8230 PRESTWICK DR.		346-262-06

8230 PRESTWICK DRIVE

BMP PLAN

PRESTWICK ESTATES
UNIT NO. 1
MAP NO. 4392



PRESTWICK DRIVE

CONSTRUCTION BMP GENERAL NOTES

- PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:
- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE WATER QUALITY TECHNICAL REPORT (WQTR) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER EACH RAIN EVENT.
 - ALL CONSTRUCTION BMP'S SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
 - THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
 - THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
 - THE CONTRACTOR OR QUALIFIED PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND AFTER EACH RAIN EVENT.
 - IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DISCHARGE. AS SOON AS PRACTICAL, ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH NON STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
 - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
 - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 - UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
 - CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXIT AREA SHALL BE ON LEVEL, STABILIZED GROUND. THE ENTRANCE AND EXIT AREA SHALL BE CONSTRUCTED BY OVERLAYING THE STABILIZED ACCESS AREA WITH 3 TO 6" DIAMETER STONES. THE AREA SHALL BE MINIMUM 50' LONG X 30' WIDE. IN LIEU OF STONE COVERED AREA, THE CONTRACTOR MAY CONSTRUCT RUMBLE RACKS OF STEEL PANELS WITH RIDGES MINIMUM 20" LONG X 30' WIDE CAPABLE OF PREVENTING THE MIGRATION OF CONSTRUCTION MATERIALS INTO THE TRAVELED WAYS.
 - PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING WATER POLLUTION CONTROL MEASURES BASED ON PERFORMANCE STANDARDS. PERFORMANCE STANDARDS SHALL INCLUDE:
 - NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MEP3. STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MEP.
 - EROSION SHALL BE CONTROLLED BY ACCEPTABLE BMP'S TO THE MEP. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMP'S INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.
 - AN INACTIVE AREA SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS FORM I-4

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S SD-1 THROUGH SD-8. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SOURCE CONTROL REQUIREMENT	APPLIED?
SC-1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-2 STORM DRAIN STENCILING OR SIGMA	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
INTERIOR PARKING GARAGES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
FOOD SERVICE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
REFUSE AREAS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
INDUSTRIAL PROCESSES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
FUEL DISPENSING AREA	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
LOADING DOCKS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
FIRE SPRINKLER TEST WATER	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
MISCELLANEOUS DRAIN OR WASH WATER	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS FORM I-5

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S SD-1 THROUGH SD-8. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST.
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SITE DESIGN REQUIREMENT	APPLIED?
SD-1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-3 MINIMIZE IMPERVIOUS AREA	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-6 RUNOFF COLLECTION	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A
SD-8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:
SD-8 HARVESTING NOT ECONOMICAL FOR THE SIX INDIVIDUAL HOMES WITH COMMON AREA.

LEGEND

- PROPERTY LINE
- PROPOSED BUILDING
- INLET DESILTING BASIN SC-10
- GRAVEL BAGS SC-6
- FIBER ROLLS SC-5
- CONCRETE WASHOUT AREA WM-8
- STABILIZED CONSTRUCTION ENTRANCE TC-1
- LANDSCAPED AREA
- CONCRETE PAVING

EROSION CONTROL METHOD	CALTRANS STORMWATER HANDOUT DETAIL
SEDIMENT TRAP	SC-3
GRAVEL BAGS	SC-6
STREET SWEEPING & VACUUMING	SC-7
STORM DRAIN INLET PROTECTION	SC-10
HYDRAULIC STABILIZATION HYDROSEEDING	SS-4
STABILIZED CONSTRUCTION ENTRANCE	TC-1
MATERIAL DELIVERY & STORAGE	WM-1
MATERIAL USE	WM-2
STOCKPILE MANAGEMENT	WM-3
SPILL PREVENTION & CONTROL	WM-4
SOLID WASTE MANAGEMENT	WM-5
SANITARY WASTE MANAGEMENT	WM-6
CONCRETE WASTE MANAGEMENT	WM-8
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9
LIQUID WASTE MANAGEMENT	WM-10

ENGINEER OF WORK:

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MICHAEL L. SMITH, R.C.E. 35471 DATE
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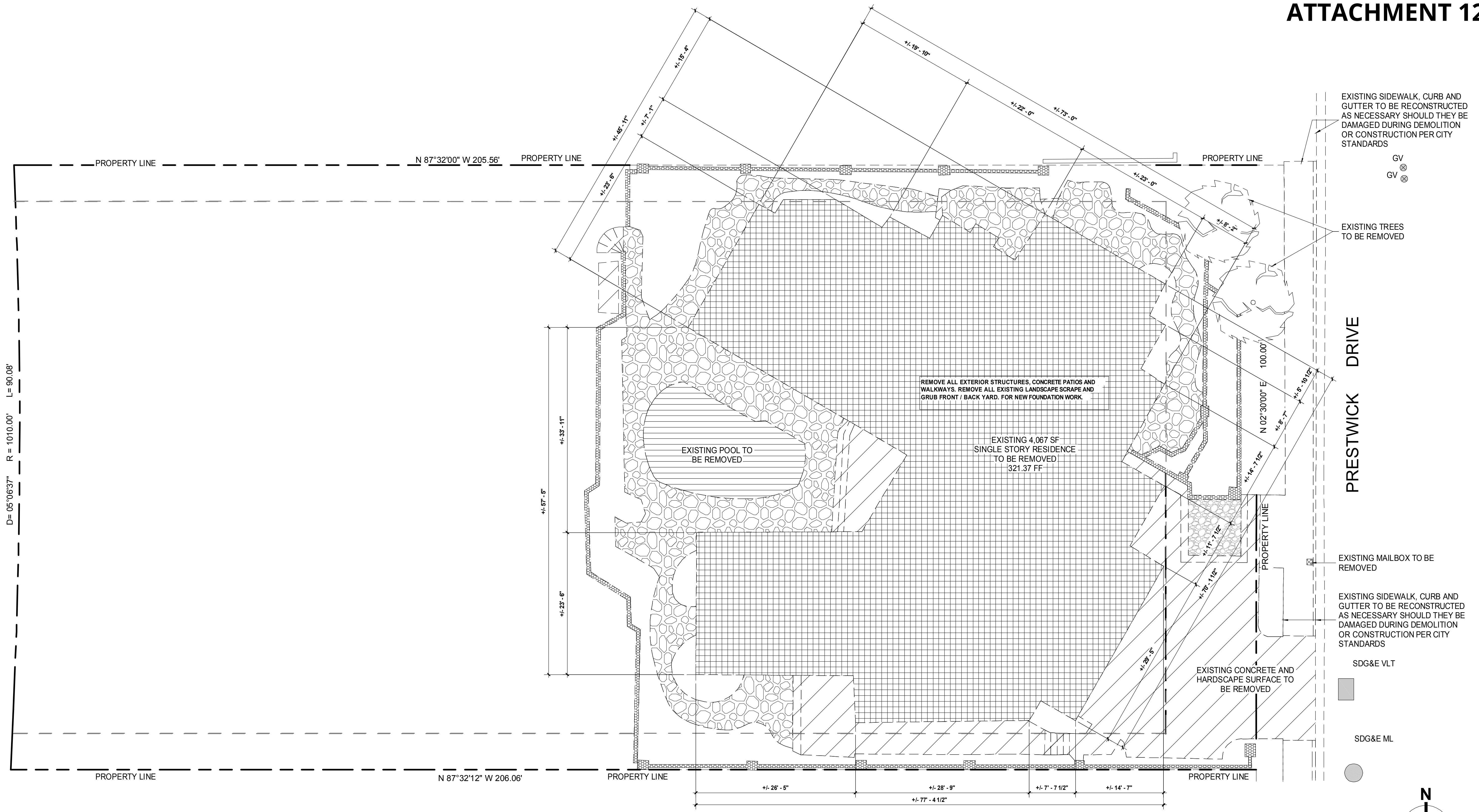
BMP PLAN

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Date: 02/15/2018	Revised: 09-11-2018	Revised:
Scale: 1"=10'	Drawn by: M.L.S.	SHEET 3 OF 3 SHEETS
Drawing: 8230 PRESTWICK DR		346-262-06



DEMOLITION SITE PLAN
1/8" = 1'-0"

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	EXISTING BUILDING TO BE REMOVED
	EXISTING CONCRETE DRIVEWAY AND PATIO TO BE REMOVED
	EXISTING FLAGSTONE HARDSCAPE SURFACE TO BE REMOVED
	EXISTING FLAGSTONE/CONCRETE WALL TO BE REMOVED
	EXISTING POOL TO BE REMOVED
	EXISTING PROPERTY LINE SITE WALLS TO REMAIN

- GENERAL SITE NOTES**
1. THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
 2. BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
 3. ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 4. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THE INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWINGS UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT'S OFFICE.
 5. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
 6. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.
 7. ALL GRADES SHOWN / PROPOSED ARE EXISTING.
 8. NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3'-0" AT MATURITY SHALL BE INSTALLED WITHIN 5'-0" OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10'-0" OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
 9. PROJECT TO COMPLY WITH PROVIDING MONITORING PER ENVIRONMENTAL DOCUMENTS

PREPARED BY:
BLUE HERON DESIGN BUILD
4675 W. TECO AVENUE #250
LAS VEGAS, NV 89118

LEGAL DESCRIPTION:
LOT 86 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1999

APN: 346-262-06-00

PROJECT NAME: HERSHFIELD RESIDENCE

MARENGO MORTON ARCHITECTS
7724 GIRARD AVE. 2ND FL.
LA JOLLA, CA 92037
P 858 459 3769
F 858 459 3768
MICHAEL MORTON AIA
CLAUDE ANTHONY MARENGO DESA

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4675 W TECO AVE. SUITE 250
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CONTACT: Amy Finchem
afinchem@blueheron.com

BLUE HERON CUSTOM HOME
8230 PRESTWICK DR.
LA JOLLA, CA 92037
BUILDING DEPARTMENT SET

REVISIONS:

NO.	DATE	DESCRIPTION

STAMP:

CHECKED BY:	AF
SCALE:	As indicated
PLOT DATE:	10/2/2018 2:04:55 PM
DRAWING BY:	RP

SHEET TITLE: **DEMOLITION PLAN**
SHEET COUNT: 10 OF 24

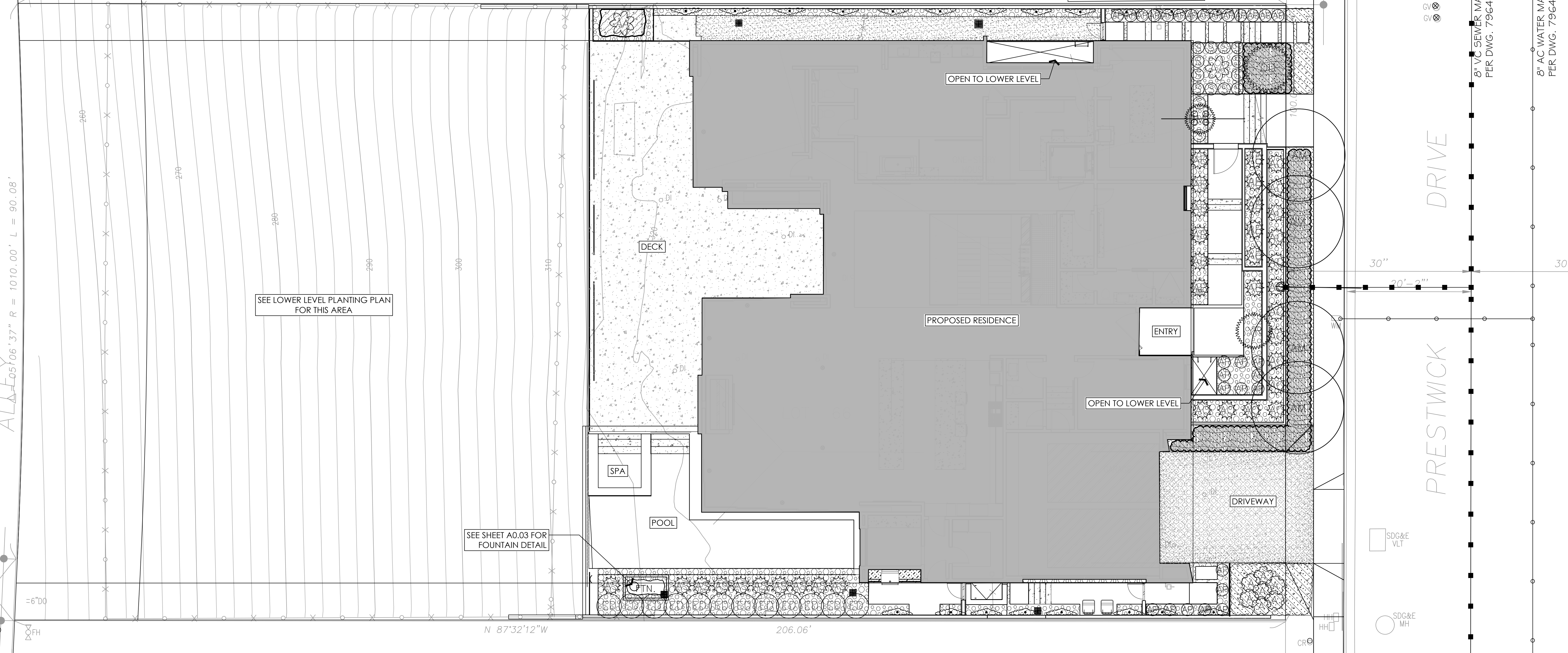
SHEET NO.: **A0.01**

PRELIMINARY PLANTING PLAN

MAIN LEVEL

MAP NO. 4392

LOT 65



LEGEND

SYMBOL	CATEGORY	ITEMS
AM	SMALL TREE	Arbutus x Marinae / Arbutus Standard Casahuate calalaco / Cascalote Callitamon viminea / Weeping Bottle Brush Melaleuca nesophila / Pink Melaleuca Multi-Trunk Rhus lancea / African Sumac Multi-Trunk
AI	ALOE & AGAVES	Agave attenuata / Agave Agave geminiflora / Century Plant Agave montana / Century Plant Agave ovatifolia / Agave Agave parryi / Parry's Agave Agave parryi #Truncata / Parry's Agave Agave victoriae-reginae / Queen Victoria Agave Agave x #Blue Glow / Blue Glow Agave Agave x #Sharkskin / Sharkskin Agave Aloe vera / Medicinal Aloe
AL	LARGE ACCENTS	Agave tequiliana / Blue Agave Aloe arborescens / Tree Aloe Aloe baileyi / Aloe Cordyline frutescens / Ti Plant Dracaena draca / Dragon Tree Dracaena marginata / Red Edged Dracaena Furcraea macdougallii / False Agave Rachypodium lamersii / Madagascar Palm Flumeria pudica / Frangipani Yucca rostrata / Beaked Yucca
AS	SUCCULENTS	Aeonium x #Alice Keck Park / Aeonium Agave parryi #Truncata / Parry's Agave Bulbine frutescens / Stalked Bulbine Calandrinia spectabilis / Pink Calandrinia Crassula sp. / Jade Plant Echeverria imbricata / Hen and Chicks Euphorbia milii / Crown of Thorns Euphorbia rigida / Yellow Spurge Pediolanthus macrocarpus / Slipper Senecio sp. / Ragwort
WI	WATER PLANTS	Chondropetalum tectorum / Cape Rush Equisetum hyemale #Dwarf / Dwarf Horsetail Reed Grass Juncus patens / California Gray Rush Juncus patens #Elk Blue / Spreading Rush
BS	BACK SLOPE PLANTS	Ceanothus griseus 'Yarkes Point' / California Lilac Heteromeles arbutifolia / Toyon Malosma laurina / Laurel Sumac Rhamnus californica #Leaveslike / California Coffeeberry Rhamnus californica #Round San Bruno / California Coffeeberry Rhus integrifolia / Lemonade Berry
ED	HEDGE	Elaeagnus decipiens #Little Emperor / Dwarf Japanese Blueberry Tree Ficus benjamina / Weeping Fig Photinia x fraseri / Photinia Podocarpus nivalis #Normal / Ice Blue Yellow Wood
V	VINES	Bougainvillea x #San Diego Red / Bougainvillea Calliandra inaequilatera / Pink Powder Puff Ficus pumila / Creeping Fig Passiflora caerulea / Passionflower
BG	BUNCH GRASSES	Carex albula / Frosty Curl Sedge Carex divulsa / Berkeley Sedge Carex glauca / Blue Sedge Festuca glauca / Blue Fescue Ophiopogon japonicus #Silver Mist / Mondo Grass
GC	GROUND COVERS	AT Artificial Turf CB Cobble TBD ET Existing to remain MW Mulch

GENERAL NOTES:

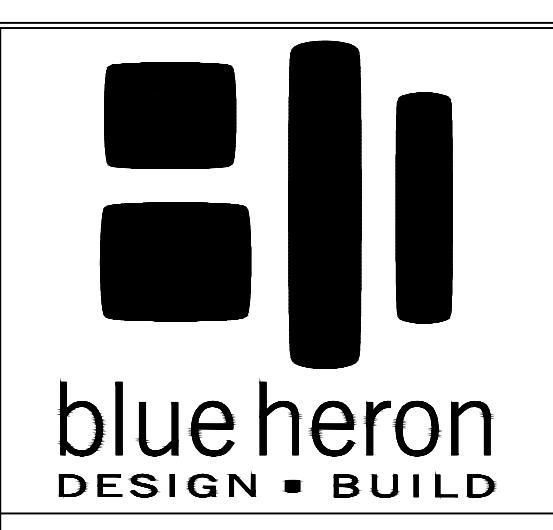
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- ALL CONDITIONALS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED ON THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. DO NOT SCALE DRAWINGS.
- TO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' HIGH AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLIC MAINTAINED SEWER FACILITY
- MINIMUM TREE SEPARATION DISTANCE
TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET (5 FEET FOR RESIDENTIAL STREETS <25MPH)
INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS) - 25 FEET
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- ALL LANDSCAPE SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE
- PER SAN DIEGO MUNICIPAL CODE 142.0409: MINIMUM OF ONE 24" BOX TREE FOR EVERY 30 FT OF STREET FRONTAGE OR ONE 10 FT BROWN TRUNK HEIGHT PALM TREE FOR EACH 20 FT OF STREET FRONTAGE.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FT ABOVE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FT ABOVE THE GRADE OF TRAVEL WAY PER THE SDMC 142.0409(b)(10)
- A MINIMUM ROOTZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. PER SDMC 142.0403(b)(5)
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THIS WILL BE A DRIP IRRIGATION SYSTEM FOR ALL SHRUB MATERIAL. TREES WILL RECEIVE BUBBLERS.

PREPARED BY:
PINNACLE DESIGN COMPANY
78370 HWY 111, SUITE 290
LA QUINTA, CA 92253

LEGAL DESCRIPTION:
LOT 65 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1999

APN: 346-262-06-00
PROJECT NAME: HERSHFIELD RESIDENCE

SCALE: 1/8"=1'-0"
GRAPHIC SCALE



THE DESIGN & DRAWINGS DEPICTED ON THIS SHEET ARE THE SOLE PROPERTY OF BLUE HERON ARCHITECTURE, LLC AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF BLUE HERON ARCHITECTURE, LLC. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE PROVIDED FOR THE EXECUTION OF THIS SPECIFIC PROJECT.

IT IS THE RESPONSIBILITY OF EACH CONTRACTOR, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERROR OR OMISSION IN THE PLANS OR SPECIFICATIONS OF WHICH A CONTRACTOR WHO IS THOROUGHLY KNOWLEDGEABLE IN BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. NO CONTRACTOR SHALL PROCEED WITH THE WORK WITHOUT HAVING FIRST RECEIVED FROM THE ARCHITECT WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERROR OR OMISSION. BLUE HERON MAY NOT BE ABLE TO ADDRESS THE PERCEIVED ERROR OR OMISSION IN THE MOST TIMELY AND COST EFFECTIVE MANNER IF CONTRACTORS DO NOT FOLLOW THESE PROCEDURES.

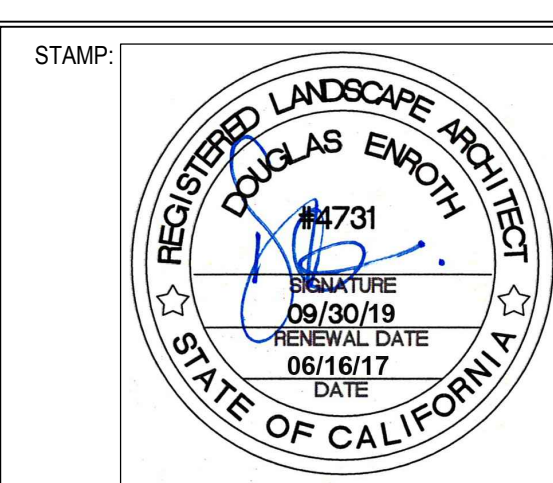
4675 W TECO AVE. SUITE 250
LAS VEGAS, NEVADA 89118
P 702 256 8866
F 702 256 8862
WWW.BLUEHERON.COM
CONTACT:

HERSHFIELD RESIDENCE
8230 PRESTWICK DR.
LA JOLLA, CA 92037

BUILDING DEPARTMENT SET

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/01/18	PER BUILDING DEPT COMMENTS
2	11/09/18	PER BUILDING DEPT COMMENTS

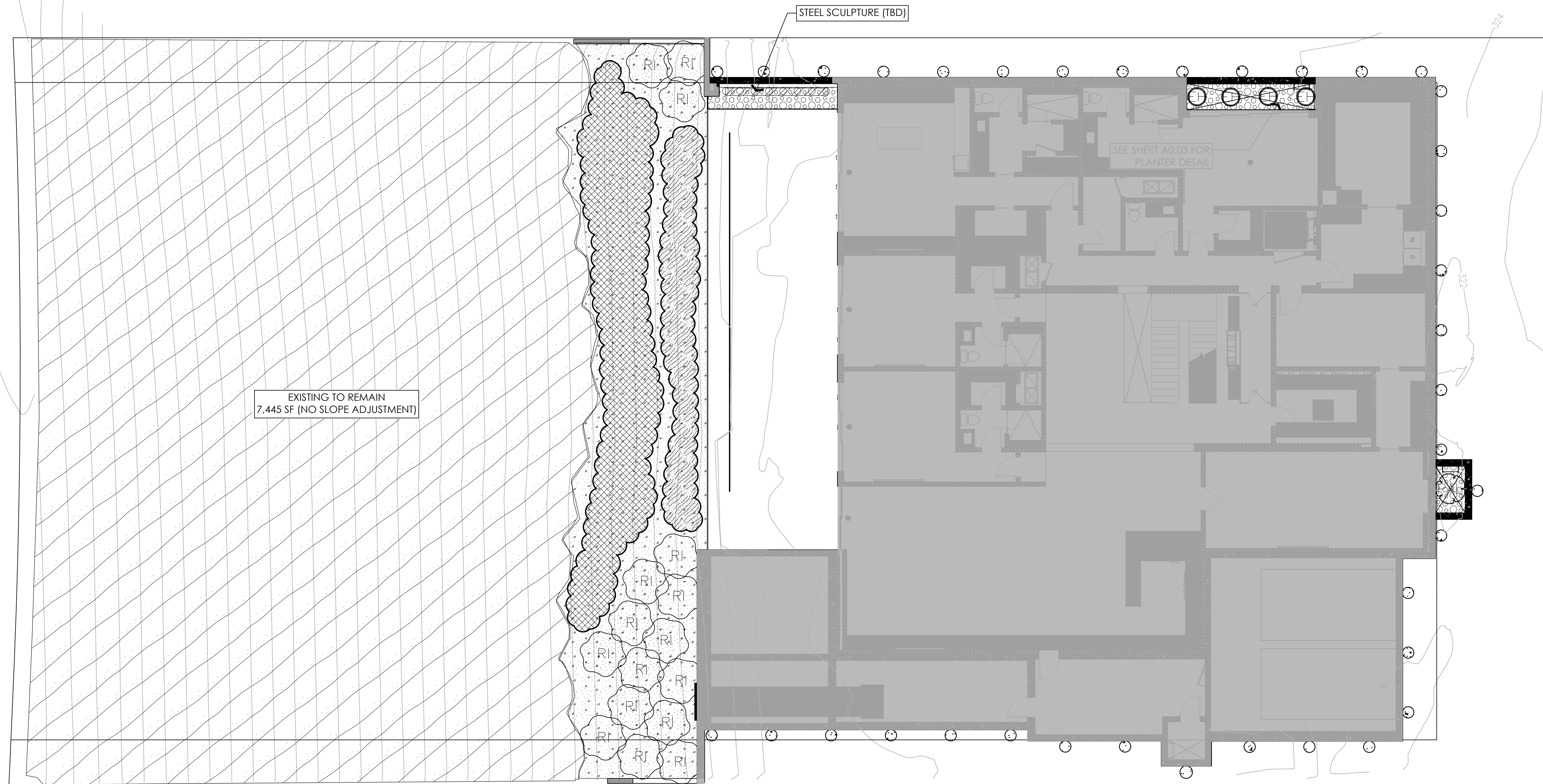


CHECKED BY:	KA
SCALE:	1/8"=1'-0"
PLOT DATE:	11/09/18
DRAWING BY:	RM

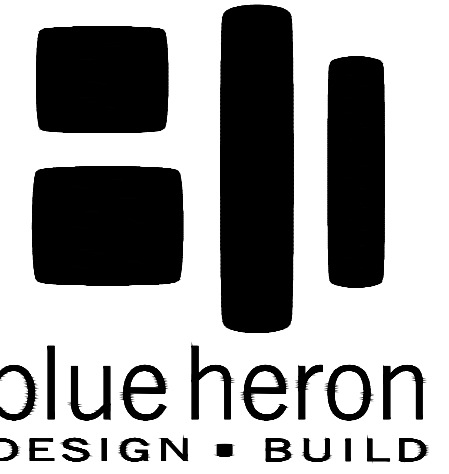
SHEET TITLE: MAIN LEVEL
PRELIM
PLANTING PLAN

SHEET NO.: **A0.02**

PRELIMINARY PLANTING PLAN



PINNACLE
DESIGN COMPANY
78370 HWY 111, SUITE 290
LA QUINTA, CA, 92253
760.340.4529



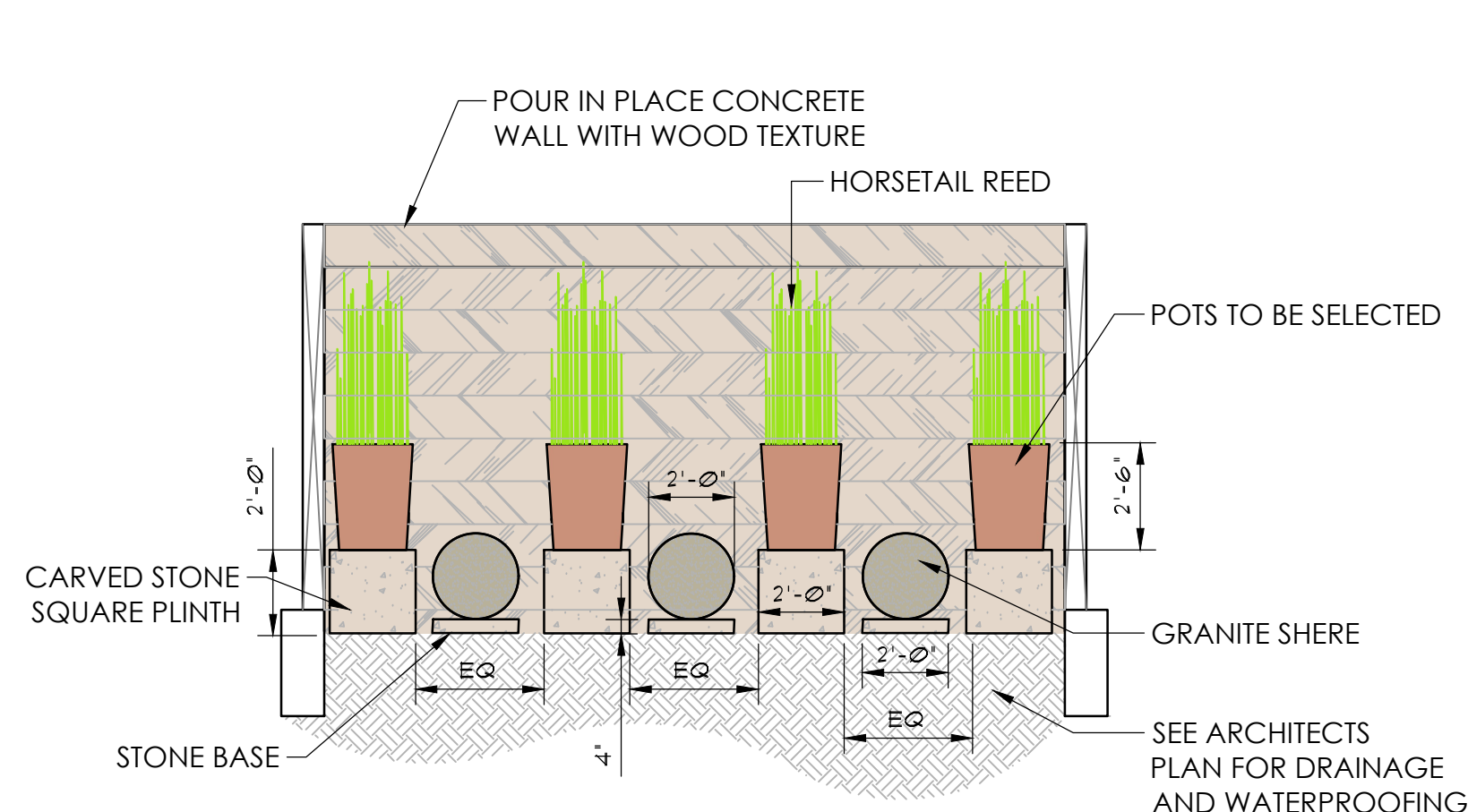
blue heron
DESIGN + BUILD
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WWW.BLUEHERON.COM
CONTACT:

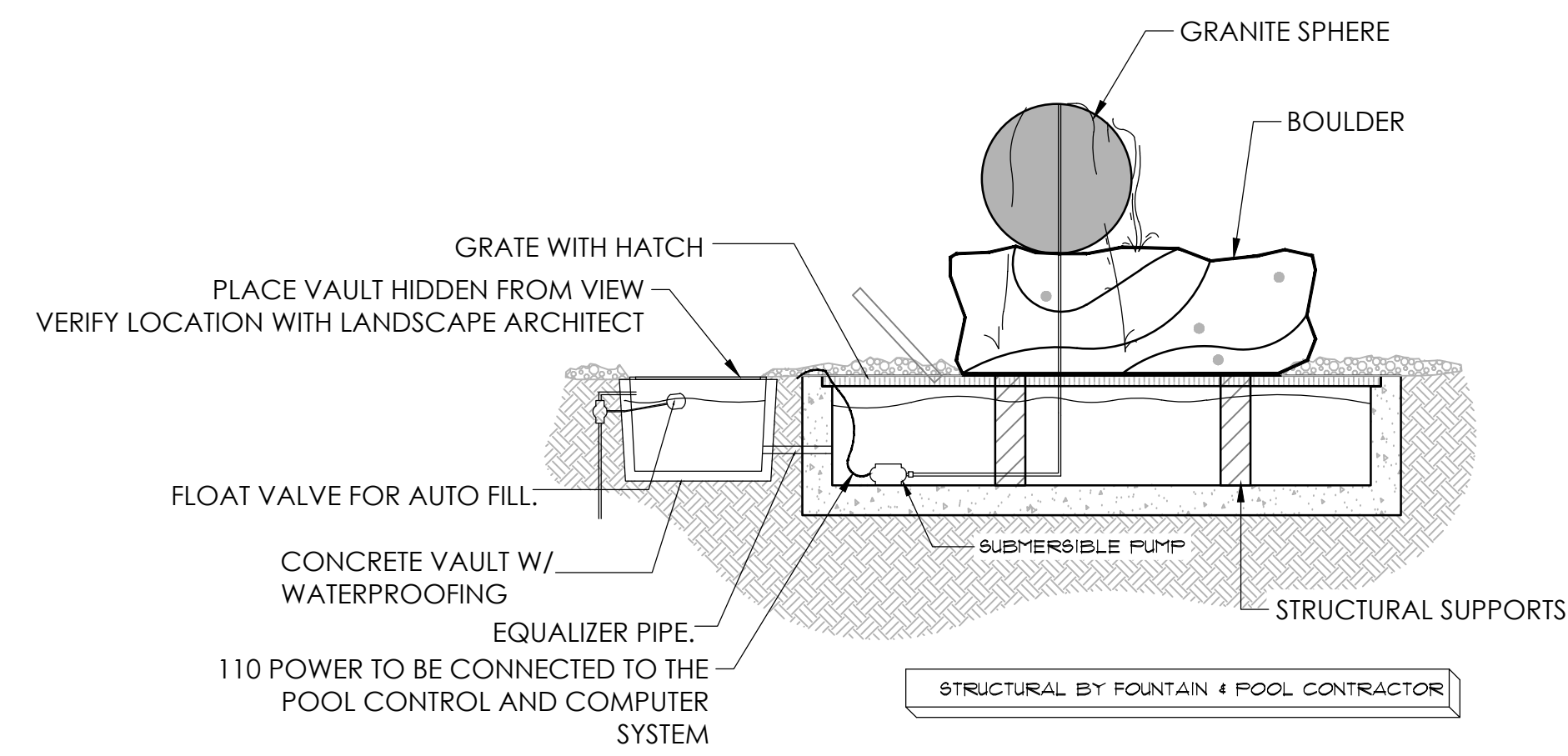
HERSHFIELD RESIDENCE
8230 PRESTWICK DR.
LA JOLLA, CA 92037
BUILDING DEPARTMENT SET

REVISIONS:

NO.	DATE	DESCRIPTION
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2	11/09/18	PER BUILDING DEPT COMMENTS

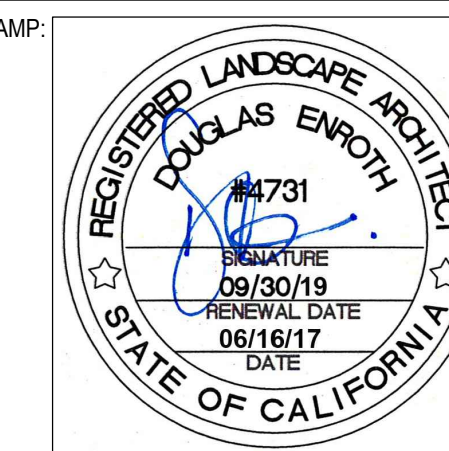


A PLANTER ELEVATION
N.T.S.



B FOUNTAIN DETAIL
N.T.S.

PREPARED BY:
PINNACLE DESIGN COMPANY
78-370 HWY 111, SUITE 290
LA QUINTA, CA 92253
LEGAL DESCRIPTION:
LOT 86 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1999
APN: 346-262-06-00
PROJECT NAME: HERSHFIELD RESIDENCE



CHECKED BY: KA
SCALE: 1/8" = 1'-0"
PLOT DATE: 11/09/18
DRAWING BY: RM



SCALE: 1/8" = 1'-0"
GRAPHIC SCALE



SEE A0.02 FOR PLANTING NOTES AND LEGENDS

SHEET TITLE: LOWER LEVEL
PRELIM
PLANTING PLAN

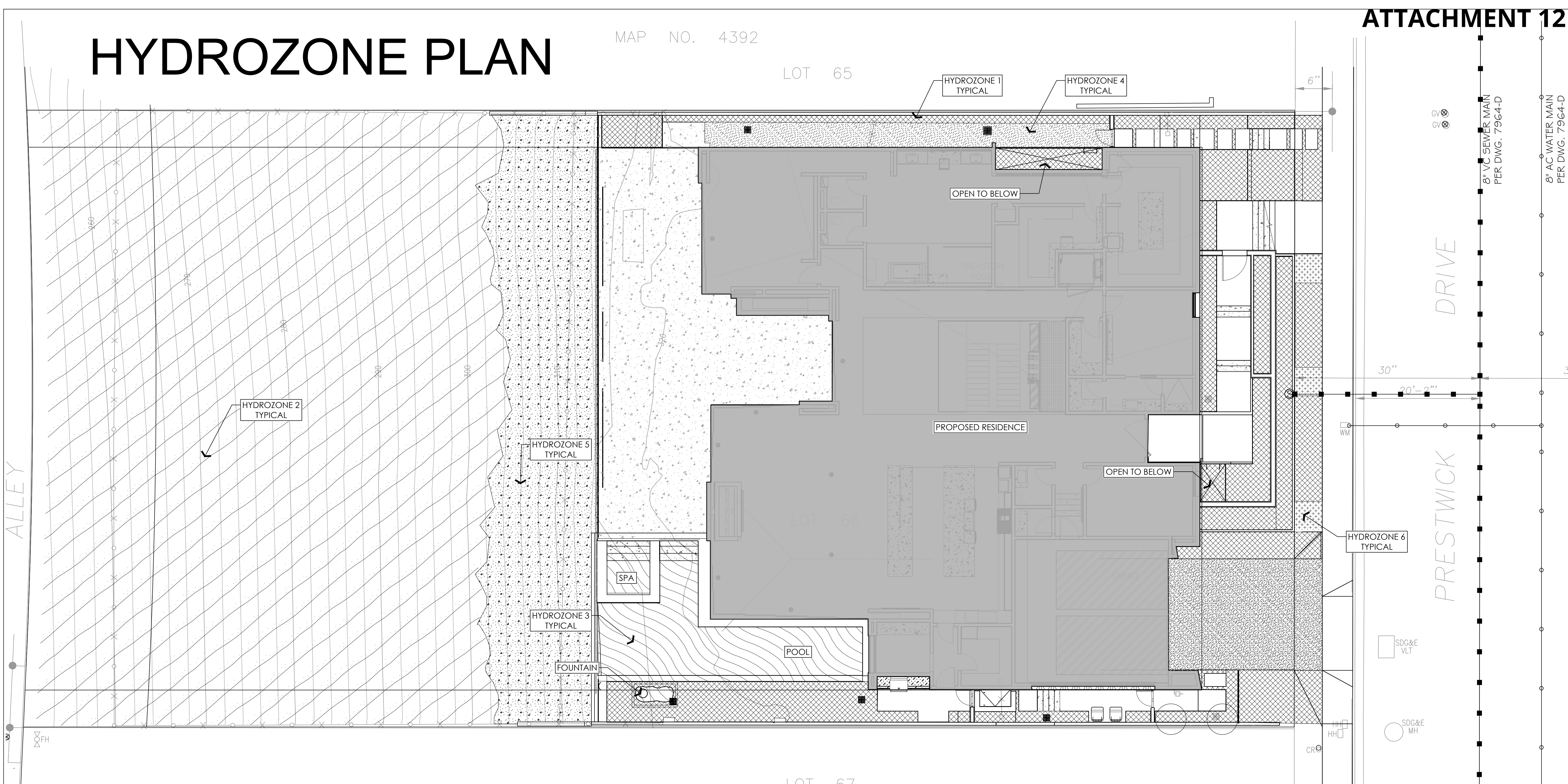
SHEET NO.: **A0.03**

HYDROZONE PLAN

MAP NO. 4392

LOT 65

ATTACHMENT 12



Pinnacle Design Company
 78370 HWY 111, SUITE 290
 LA QUINTA, CA 92253
 760.340.4529

blue heron
 DESIGN • BUILD

IT IS THE RESPONSIBILITY OF EACH CONTRACTOR, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERROR OR OMISSION IN THE PLANS OR SPECIFICATIONS OF WHICH A CONTRACTOR WHO IS THOROUGHLY KNOWLEDGEABLE IN BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. NO CONTRACTOR SHALL PROCEED WITH THE WORK WITHOUT HAVING FIRST RECEIVED FROM THE ARCHITECT WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERROR OR OMISSION. BLUE HERON MAY NOT BE ABLE TO ADDRESS THE PERCEIVED ERROR OR OMISSION IN THE MOST TIMELY AND COST EFFECTIVE MANNER IF CONTRACTORS DO NOT FOLLOW THESE PROCEDURES.

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 CONTACT:

HERSHFIELD RESIDENCE
 8230 PRESTWICK DR.
 LA JOLLA, CA 92037

BUILDING DEPARTMENT SET

MAWA WORKSHEET

Maximum Applied Water Allowance Calculations for New and Rehabilitated Landscapes	
Enter value in Pale Blue Cells	
Tan Cells Show Results	
Messages and Warnings	
Click on the blue cell on right to Pick City Name	La Jolla Name of City
ET _o of City from Appendix A	40.60 ET _o (inches/year)
Enter total landscape including SLA	11,820.00 LA (ft ²)
Enter Special Landscape Area	0.00 SLA (ft ²)
Results:	
MAWA = (ET _o x 0.62) x [(0.55 x LA)+(0.45 x SLA)]	163,630.17 Gallons
	21,874.24 Cubic Feet
	218.74 HCF
	0.50 Acre-feet
	0.16 Millions of Gallons

ETWU WORKSHEET

Estimated Total Water Use			
Equation:	ETWU = (ET _o) x (0.62) x [(PF x HA) + SLA]		
Enter values in Pale Blue Cells			
Tan Cells Show Results			
Messages and Warnings			
Enter Irrigation Efficiency (equal to or greater than 0.71)	0.81		
Irrigation Efficiency Default Value	0.71		
Plant Water Use Type	Plant Factor		
Low	0 - 0.3		
Medium	0.4 - 0.6		
High	0.7 - 1.0		
SLA	1.00		
Hydrozone	Plant Water Use Type (s)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²)
1	Low	0.10	1,585
2	Medium	0.40	7,445
3	High	1.00	521
4	Low	0.10	528
5	Low	0.10	1,621
6	Medium	0.50	120
SLA	1	0	0
Sum			11,820
Results	MAWA =	ETWU =	
	163,630	122,196	Gallons
		16,335	Cubic Feet
		163	HCF
		0.38	Acre-feet
		0.12	Millions of Gallons
		ETWU complies with MAWA	

HYDROZONE LEGEND

SYMBOL	NOTES	ACRES
[Symbol]	HYDROZONE 1 - SHRUBS DRIP IRRIGATED _ LOW WATER USE	1,585 sf
[Symbol]	HYDROZONE 2 - EXISTING LANDSCAPE TO REMAIN EXISTING IRRIGATION - MODERATE WATER USE	7,445 sf
[Symbol]	HYDROZONE 3 - WATER FEATURE POOL & FOUNTAIN COVERED BY ROOF - HIGH WATER USE	521 sf
[Symbol]	HYDROZONE 4 - SYNTHETIC LAWN IRRIGATED BY HOSE AS NECESSARY - LOW WATER USE	528 sf
[Symbol]	HYDROZONE 5 - HILLSIDE SHRUBS DRIP IRRIGATED _ LOW WATER USE	1,621 sf
[Symbol]	HYDROZONE 6 - TREES BUBBLERS _ MODERATE WATER USE	120 sf
	TOTAL	11,820 sf

NOTE:
 EFFICIENT IRRIGATION PRACTICES AND TECHNOLOGIES SUCH AS THE USE OF MICRO-SPRAY HEADS, RAIN SENSING DEVICES, SMART CONTROLLERS AND SOLAR ZONE DELINEATION HAVE BEEN INCORPORATED ON THESE PLANS.

PREPARED BY:
 PINNACLE DESIGN COMPANY
 78370 HWY 111, SUITE 290
 LA QUINTA, CA 92253

LEGAL DESCRIPTION:
 LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1999

APN: 346-262-06-00

PROJECT NAME: HERSHFIELD RESIDENCE

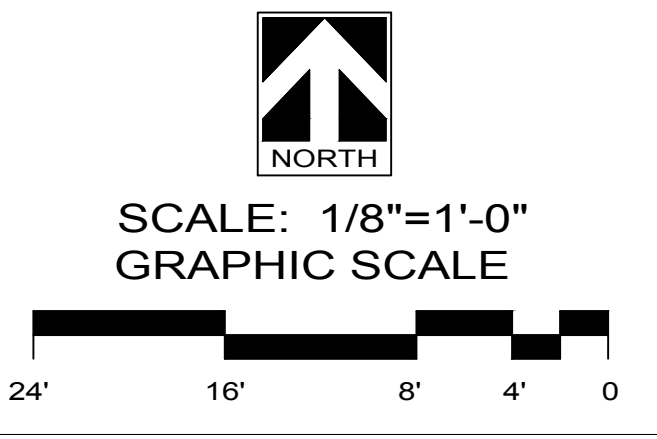
NO.	DATE	DESCRIPTION
1	10/01/18	PER BUILDING DEPT COMMENTS

STAMP:
 REGISTERED LANDSCAPE ARCHITECT
 LA JOLLA, CALIFORNIA
 4731
 SIGNATURE
 09/30/19
 RENEWAL DATE
 06/16/17
 DATE
 STATE OF CALIFORNIA

CHECKED BY: KA
 SCALE: 1/8" = 1'-0"
 PLOT DATE: 09/20/18
 DRAWING BY: RM

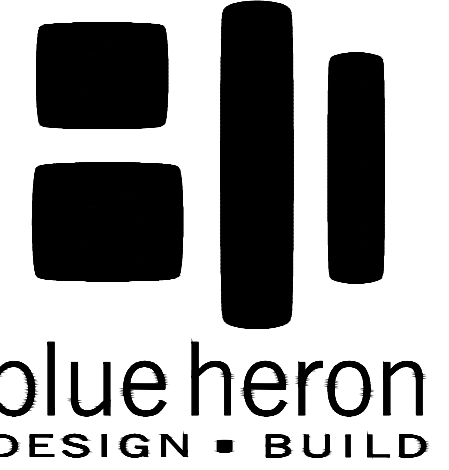
SHEET TITLE: **HYDROZONE PLAN**

SHEET NO.: **A0.04**



LANDSCAPE AREA DIAGRAM

ATTACHMENT 12



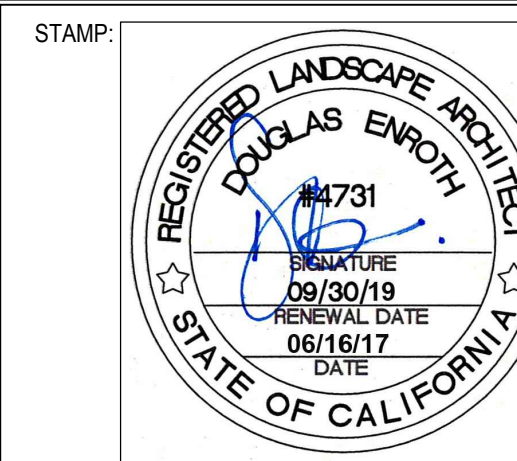
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CONTACT:

HERSHFIELD RESIDENCE
8230 PRESTWICK DR.
LA JOLLA, CA 92037
BUILDING DEPARTMENT SET

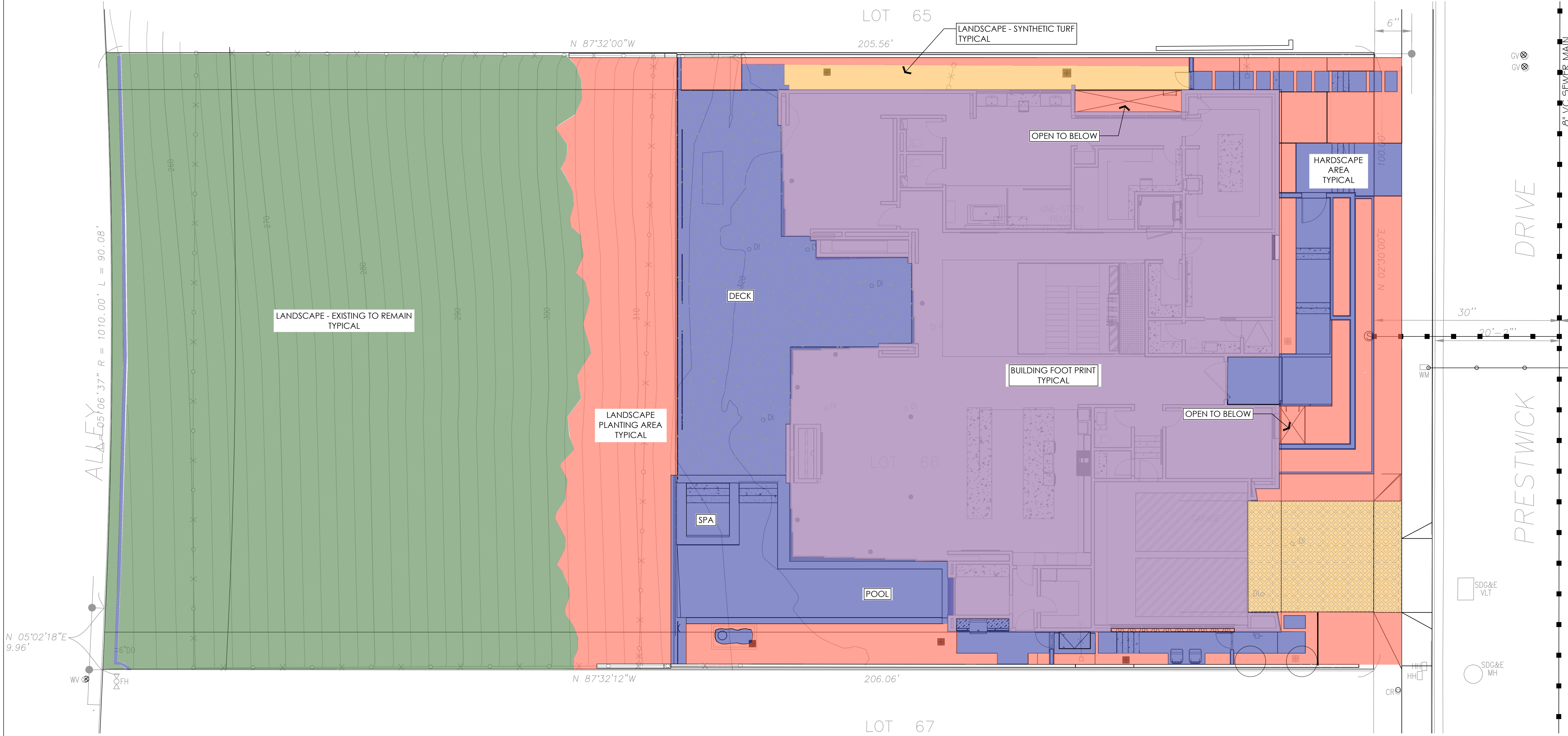
NO.	DATE	DESCRIPTION
1	10/01/18	PER BUILDING DEPT COMMENTS



CHECKED BY: KA
SCALE: 1/8" = 1'-0"
PLOT DATE: 09/20/18
DRAWING BY: RM

SHEET TITLE: LOT COVERAGE PLAN

SHEET NO.: A0.05



COVERAGE CALCULATIONS

SYMBOL	NOTES	ACRES
[Red Box]	LANDSCAPE - PLANTING AREA	3,230 SF
[Green Box]	LANDSCAPE - EXISTING TO REMAIN	7,445 SF
[Yellow Box]	LANDSCAPE - SYNTHETIC TURF	528 SF
PERMEABLE AREA TOTAL		11,203 SF
[Blue Box]	HARDSCAPE DRIVEWAY, PATHS, BBQ, POOL, WALLS	3,335 SF
[Purple Box]	BUILDING FOOT PRINT	6,147 SF
IMPERMEABLE AREA TOTAL		9,482 SF
TOTAL LOT AREA		20,685 SF
LANDSCAPE COVERAGE PERCENTAGE		54%

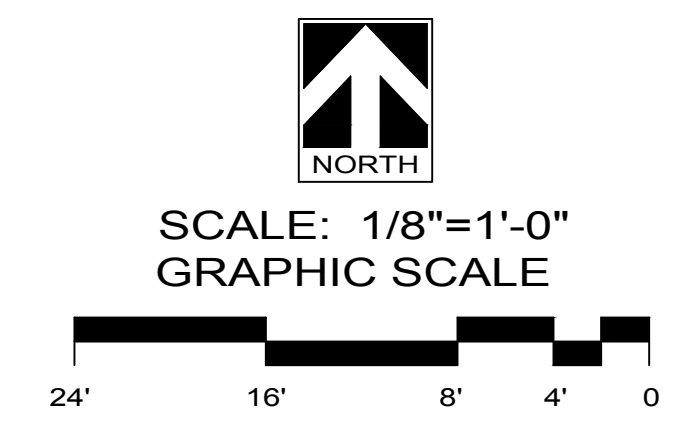
NOTE: ALL SQUARE FOOTAGE NUMBERS ARE BASED ON 2D AUTO CAD TAKE-OFFS. NO ELEVATION HAS BEEN CALCULATED AND NO SLOPE FACTOR HAS BEEN ADDED TO THE ABOVE NUMBERS. DO NOT USE THESE NUMBERS FOR LANDSCAPE MATERIAL QUANTITY CALCULATIONS.

PREPARED BY:
PINNACLE DESIGN COMPANY
78370 HWY 111, SUITE 290
LA QUINTA, CA 92253

LEGAL DESCRIPTION:
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APN: 346-262-06-00

PROJECT NAME: HERSHFIELD RESIDENCE





FOR ALL PROPOSED IMPROVEMENTS IN PUBLIC R.O.W., REFER TO CIVIL DRAINAGE PLAN SHEET C1. EMRA TO BE OBTAINED FOR PROPOSED IRRIGATION, LANDSCAPE, AND PRIVATE WALKWAYS

IT IS THE RESPONSIBILITY OF THE GENERAL AND EACH SUBCONTRACTOR PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE PROJECT DESIGN MANAGER IN WRITING OF ANY PERCEIVED DISCREPANCIES OR CONFLICTS WITH THESE PLANS OR SPECIFICATIONS. NO CONTRACTOR SHALL PROCEED WITH THE WORK WITHOUT HAVING FIRST RECEIVED WRITTEN INSTRUCTIONS FROM THE PROJECT DESIGN MANAGER ADDRESSING SUCH DISCREPANCIES OR CONFLICTS. BAK CONTRACTING, LLC IS THE LEGAL ENTITY REGISTERED WITH THE STATE OF CALIFORNIA AND ACTING AS THE CONSTRUCTION MANAGER FOR THE PROJECT IN CONCERT WITH THE GENERAL CONTRACTOR WARELL BUILDERS, LLC

ALL QUESTIONS RELATING TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT SHOULD BE FORWARDED TO THE PROJECT DESIGN MANAGER AND/OR CONSTRUCTION MANAGER OF BLUE HERON DESIGN BUILD AS LISTED BELOW

4675 W TECO AVE, STE. 250
LAS VEGAS, NV 89118
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CONTACT: Amy Finchem
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BLUE HERON CUSTOM HOME
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BUILDING DEPARTMENT SET

REVISIONS:

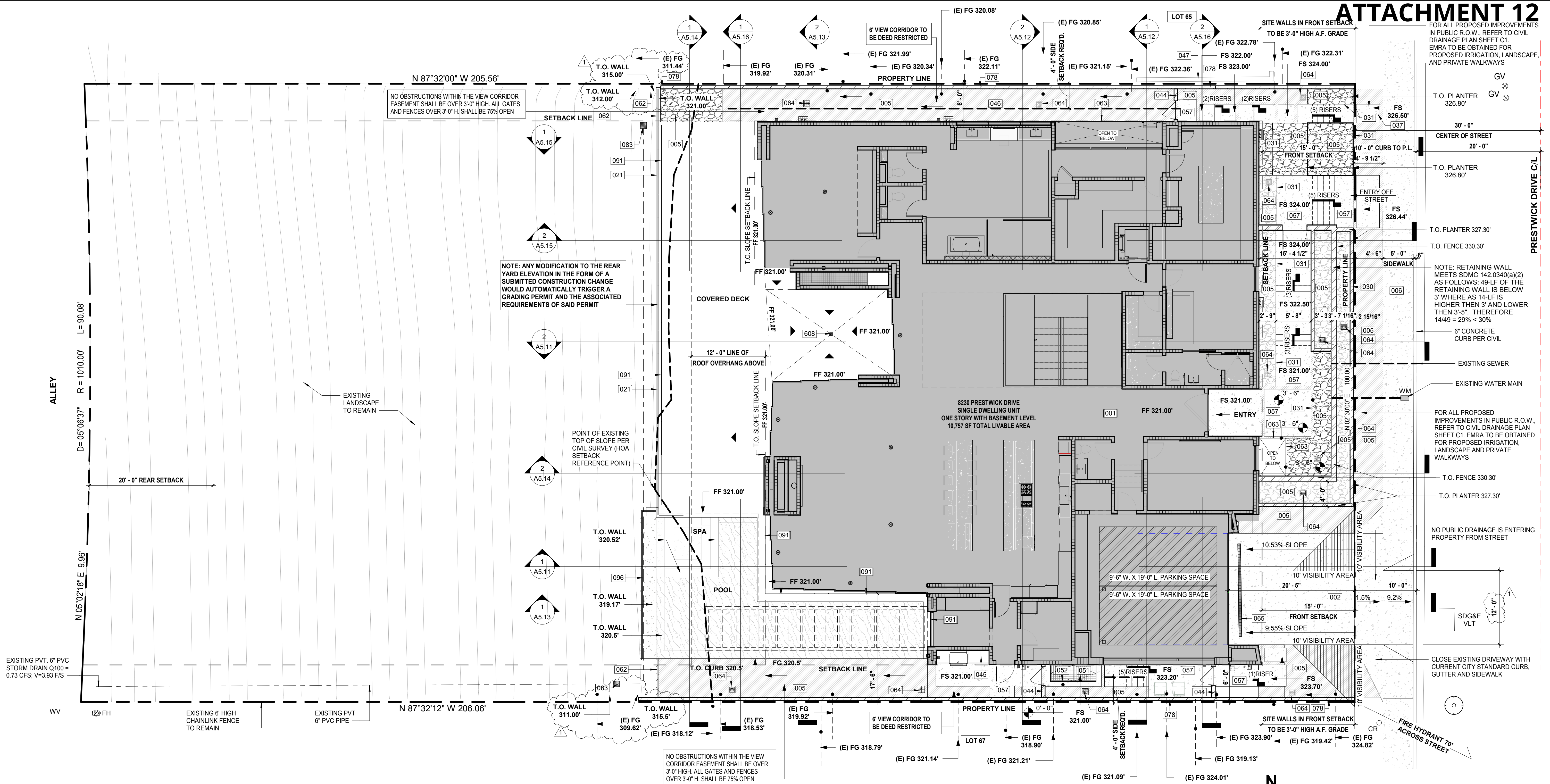
NO.	DATE	DESCRIPTION
1	03.11.19	RESPONSE TO BD COMMENTS

NO.	DATE	DESCRIPTION
001		NEW SINGLE FAMILY RESIDENCE, REFER TO FLOOR PLANS
002		CONCRETE PAVED DRIVEWAY
005		PROPOSED LANDSCAPE AREA PER LANDSCAPE DRAWINGS
006		EXISTING SIDEWALK TO BE REMOVED AND RECONSTRUCTED ALONG PROPERTY FRONTAGE PER CURRENT CITY STANDARDS. NEW SIDEWALK SHALL MAINTAIN EXISTING FINISH GRADES
021		42" H. GLASS GUARDRAIL
030		POURED-IN-PLACE CONCRETE PLANTER. REFER TO EXTERIOR ELEVATIONS FOR FINISH
031		3/16" BLACKENED STEEL H.R. PLANTER
037		EXISTING GRADE
044		SIDE YARD GATE AND WALL. REFER TO BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS. NOTE: NO POOL ENCLOSURE GATE AND FENCE SHALL BE HIGHER THAN THE VIEW CORRIDOR EASEMENT
045		BUILT-IN BBQ AREA
046		DOG RUN AREA
047		EXISTING ADJACENT PROPERTY LINE WALL TO REMAIN
051		WATER TIGHT DOOR HATCH TO LOWER LEVEL EQUIPMENT ROOM WITH METAL MESH DOOR TO MATCH ADJACENT STEEL. CUSTOM SIZE TO BE BABCOCK-DAVIS OR EQUAL
052		ACCESS LADDER TO LOWER LEVEL
057		CONCRETE HARDSCAPE PER HARDSCAPE PLAN
062		CONCRETE RETAINING WALL. REFER TO STRUCTURAL AND SHORING DRAWINGS
063		BLACKENED STEEL 42" H. RETAINING WALL AT LIGHT WELL
064		AREA DRAIN. REFER TO CIVIL
065		LINEAR TRENCH DRAIN. REFER TO CIVIL
078		6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE. PRE-CAST CONCRETE WALL TO BE CONSTRUCTED WITH NO ENCRoACHMENT ON ADJACENT PROPERTY. REFER TO CIVIL FOR RETAINING AND FOOTING DESIGN AND DETAIL
083		LINEAR DECK DRAIN
091		LINEAR INLET PER CIVIL
096		42" H. STEEL GUARDRAIL AT POOL AND SPA EDGE TROUGH PER ARCHITECTURAL SITE DETAILS AND EXTERIOR SPECIFICATIONS
608		DECK DRAIN. REFER TO PLUMBING FOR DRAIN LINES TO GRADE AND CIVIL FOR ADDITIONAL INFORMATION.

CHECKED BY: AF
SCALE: As indicated
ISSUE DATE: 03.07.2019
DRAWING BY: RP

SHEET TITLE: **MAIN LEVEL SITE PLAN**

SHEET NO.: **A1.01**



MAIN LEVEL SITE PLAN
1/8" = 1'-0"

KEYNOTES

001	NEW SINGLE FAMILY RESIDENCE, REFER TO FLOOR PLANS
002	CONCRETE PAVED DRIVEWAY
005	PROPOSED LANDSCAPE AREA PER LANDSCAPE DRAWINGS
006	EXISTING SIDEWALK TO BE REMOVED AND RECONSTRUCTED ALONG PROPERTY FRONTAGE PER CURRENT CITY STANDARDS. NEW SIDEWALK SHALL MAINTAIN EXISTING FINISH GRADES
021	42" H. GLASS GUARDRAIL
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045	BUILT-IN BBQ AREA
046	DOG RUN AREA
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051	WATER TIGHT DOOR HATCH TO LOWER LEVEL EQUIPMENT ROOM WITH METAL MESH DOOR TO MATCH ADJACENT STEEL. CUSTOM SIZE TO BE BABCOCK-DAVIS OR EQUAL
052	ACCESS LADDER TO LOWER LEVEL
057	CONCRETE HARDSCAPE PER HARDSCAPE PLAN
062	CONCRETE RETAINING WALL. REFER TO STRUCTURAL AND SHORING DRAWINGS
063	BLACKENED STEEL 42" H. RETAINING WALL AT LIGHT WELL
064	AREA DRAIN. REFER TO CIVIL
065	LINEAR TRENCH DRAIN. REFER TO CIVIL
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE. PRE-CAST CONCRETE WALL TO BE CONSTRUCTED WITH NO ENCRoACHMENT ON ADJACENT PROPERTY. REFER TO CIVIL FOR RETAINING AND FOOTING DESIGN AND DETAIL
083	LINEAR DECK DRAIN
091	LINEAR INLET PER CIVIL
096	42" H. STEEL GUARDRAIL AT POOL AND SPA EDGE TROUGH PER ARCHITECTURAL SITE DETAILS AND EXTERIOR SPECIFICATIONS
608	DECK DRAIN. REFER TO PLUMBING FOR DRAIN LINES TO GRADE AND CIVIL FOR ADDITIONAL INFORMATION.

EARTHWORK QUANTITIES

REFER TO CIVIL DRAWINGS CONCEPTUAL DRAINAGE PLAN AND BMP PLAN FOR ADDITIONAL INFORMATION. EARTHWORK QUANTITIES NOTED HEREIN ARE FOR REFERENCE ONLY.

TYPE	QUANTITY	REMARKS
DISTURBED AREA	2212 ACRES	
GRADED AREA	2732 ACRES	
OVERALL SITE AREA	4480 ACRES	
EXISTING IMPERVIOUS AREA	9700 SF (212 ACRES)	
PROPOSED IMPERVIOUS AREA	9735 SF (222 ACRES)	
TOTAL IMPERVIOUS AREA	9735 SF (222 ACRES)	
IMPERVIOUS % INCREASE	4.73%	
EARTH WITHIN THE BUILDING ENVELOPE:		
CUT QUANTITIES	3,479 CYD	MAX CUT DEPTH 14.75' AND SLOPE RATIO N/A
FILL QUANTITIES	0 CYD	MAX FILL DEPTH 0' AND SLOPE RATIO N/A
EXPORT	3,479 CYD	
EARTH OUTSIDE THE BUILDING ENVELOPE:		
CUT QUANTITIES	366 CYD	MAX CUT DEPTH 3' AND SLOPE RATIO N/A
FILL QUANTITIES	39 CYD	MAX CUT DEPTH 3' AND SLOPE RATIO N/A
EXPORT	327 CYD	
TOTAL EXPORT	3,806 CYD	

THIS PROJECT PROPOSES TO EXPORT 3,806 CUBIC YARDS OF MATERIAL FROM THE PROJECT SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED INTO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT



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DESIGN + BUILD

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ALL QUESTIONS RELATING TO THE DESIGN OR CONSTRUCTION OF THIS PROJECT SHOULD BE FORWARDED TO THE PROJECT DESIGN MANAGER AND / OR CONSTRUCTION MANAGER OF BLUE HERON DESIGN BUILD AS LISTED BELOW.

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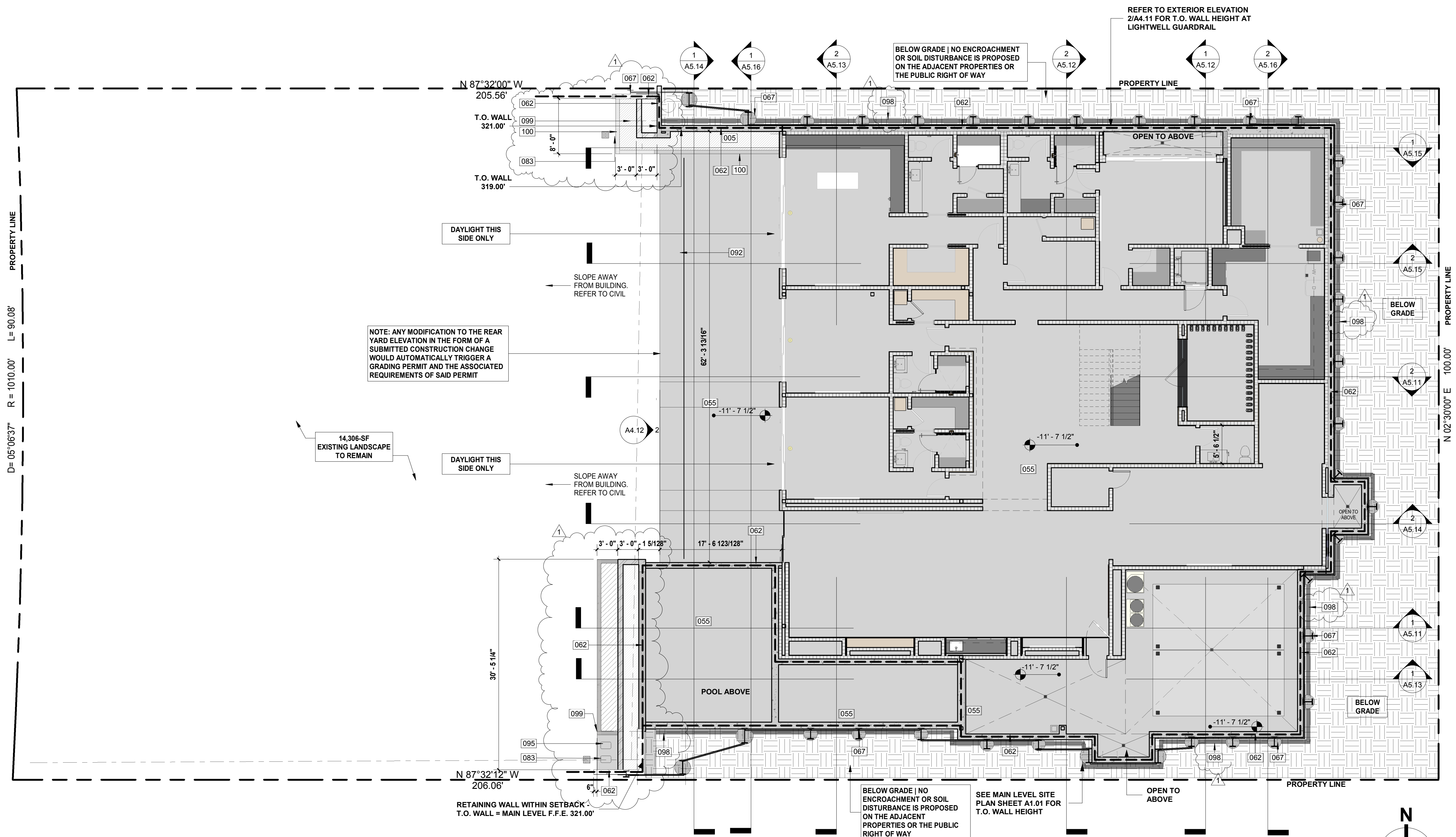
REVISIONS:

NO.	DATE	DESCRIPTION
1	03.11.19	RESPONSE TO BD COMMENTS

CHECKED BY: AF
SCALE: As indicated
ISSUE DATE: 03.07.2019
DRAWING BY: RP

SHEET TITLE: LOWER LEVEL SITE PLAN

SHEET NO.: A1.02



LOWER LEVEL SITE PLAN
1/8" = 1'-0"

SITE PLAN LEGEND

SYMBOL	DESCRIPTION
[Pattern]	NEW 1 STORY RESIDENCE W/ WALKOUT BASEMENT
[Pattern]	PROPOSED CONCRETE DRIVEWAY / HARDSCAPE
[Pattern]	PROPOSED COVERED DECK / PATIO
[Pattern]	PROPOSED WATER AREA
[Pattern]	PROPOSED NEW AREA OF VEGETATION
[Pattern]	CONCRETE RETAINING WALLS

GENERAL NOTES

- ANY DISCREPANCIES IN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. DO NOT SCALE DRAWINGS.
- ALL OUTDOOR LIGHTING SHALL BE SHADED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED.
- DOWN SPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE FEASIBLE.
- PROVIDE BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00 (UFC 901.4.4) PER EXTERIOR ELEVATIONS & DETAILS.
- A DESCENDING FILL OVER NATURAL SLOPE APPROX. 75' HIGH EXISTS AT THE WESTERN PORTION OF THE SITE.

THE SITE PLAN IS FOR GENERAL REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.

KEYNOTES

005	PROPOSED LANDSCAPE AREA PER LANDSCAPE DRAWINGS
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL
062	CONCRETE RETAINING WALL. REFER TO STRUCTURAL AND SHORING DRAWINGS
067	SHORING PILES PER SHORING DWGS
083	GRATED INLET PER CIVIL
092	LINEAR DRAIN. REFER TO ARCHITECTURAL DETAILS, PLUMBING AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
095	MINI-SPLIT MECHANICAL UNIT CONDENSORS AND PAD. REFER TO MECHANICAL FOR ADDITIONAL INFORMATION
098	4" DIA. PERFORATED SCHEDULED 40 PVC DRAIN PIPE WRAPPED IN GEOTEXTILE. SLOPE 1/4" PER FOOT TO COLLECTION BASIN. REFER TO CIVIL FOR STORM DRAIN CONNECTION AND LOCATION
099	DISCHARGE POINT FOR BASEMENT RETAINING WALL SUBDRAIN BELOW GRADE TO BE CONNECTED TO ADJACENT STORM DRAIN. REFER TO CIVIL
100	4-6" AFG HIGH 6" CMU RETAINING WALL PLANTER

GARAGE SQUARE FOOTAGE (NOT INCLUDED IN G.F.A.): 611 SF



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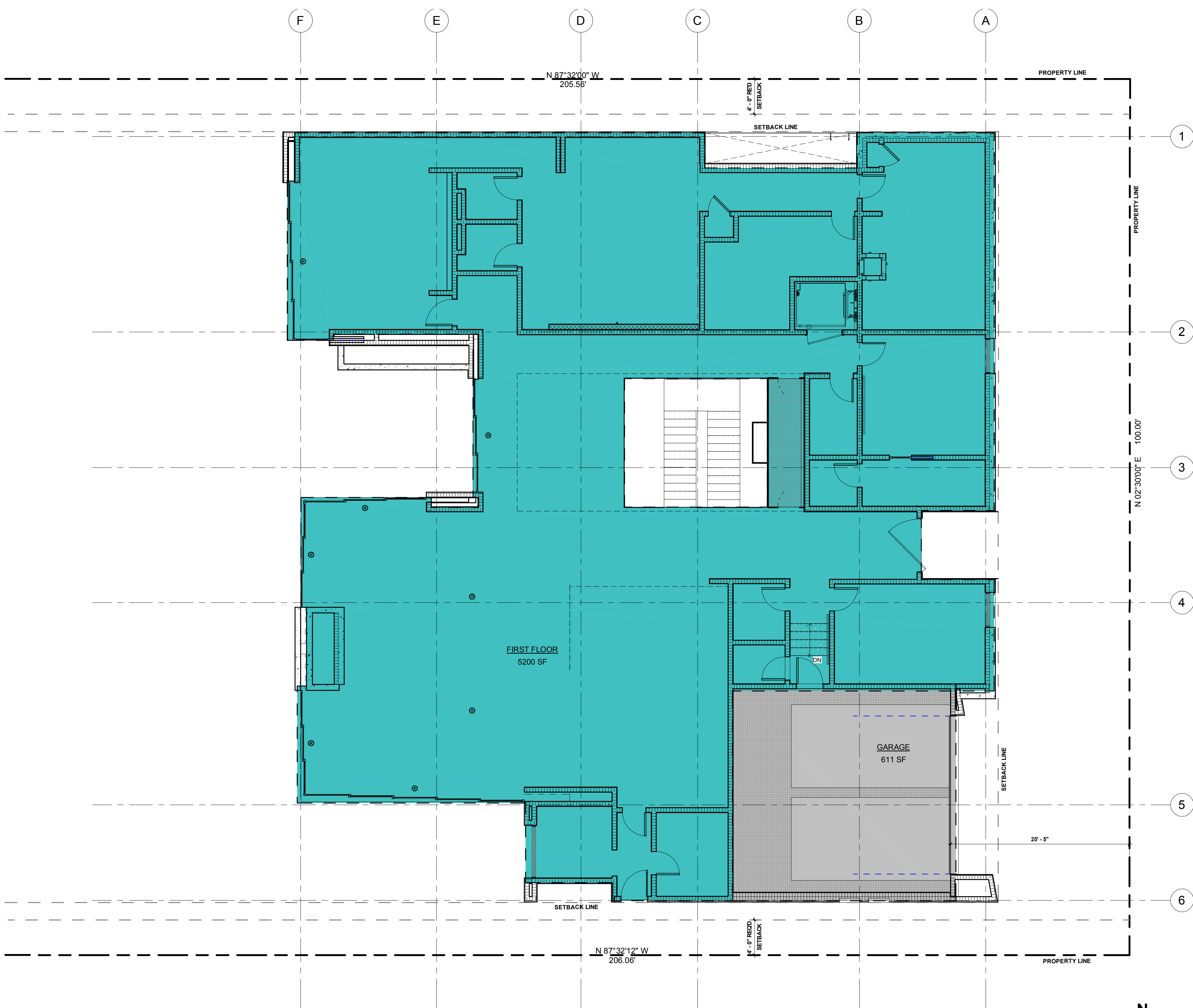
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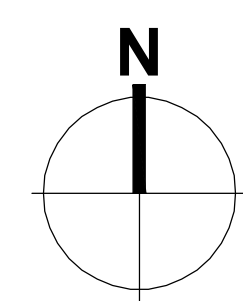
SHEET TITLE: **G.F.A. KEYMAP - MAIN LEVEL**
 SHEET COUNT: 13 of 24

SHEET NO.: **A1.03**



MAIN LEVEL FLOOR PLAN - G.F.A.

3/16" = 1'-0"

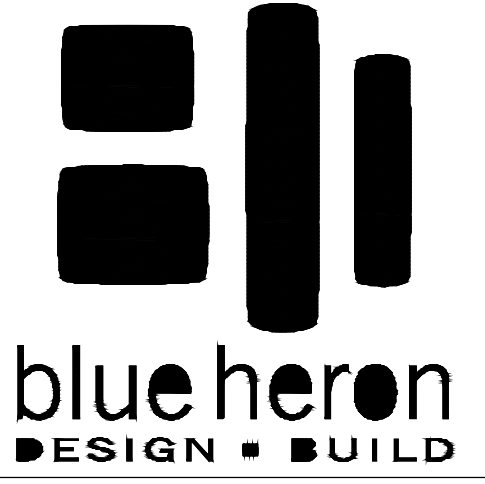


PREPARED BY:
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 LAS VEGAS, NV 89118

LEGAL DESCRIPTION:
 LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1959

APN: 346-262-06-00
 PROJECT NAME: HERSHFIELD RESIDENCE

LOWER LEVEL SQUARE FOOTAGE (BELOW GRADE NOT INCLUDED IN G.F.A.): 5,529 SF
 LOWER LEVEL SQUARE FOOTAGE (NON-LIVABLE - LIFT STORAGE & POOL EQUIP.): 1,056 SF



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SHEET TITLE: G.F.A. KEYMAP - LOWER LEVEL
 SHEET COUNT: 14 OF 24
 SHEET NO.:

A1.04



LOWER LEVEL FLOOR PLAN - G.F.A.
 3/16" = 1'-0"

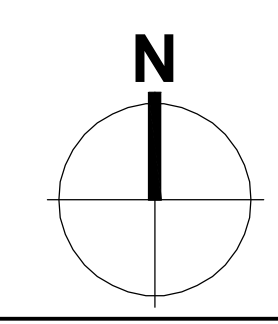
AREA LEGEND

— LIVABLE AREA
 — NON-LIVABLE AREA

PREPARED BY:
 BLUE HERON DESIGN BUILD
 4675 W. TECO AVENUE #250
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APN: 346-262-06-00
 PROJECT NAME: HERSHFIELD RESIDENCE





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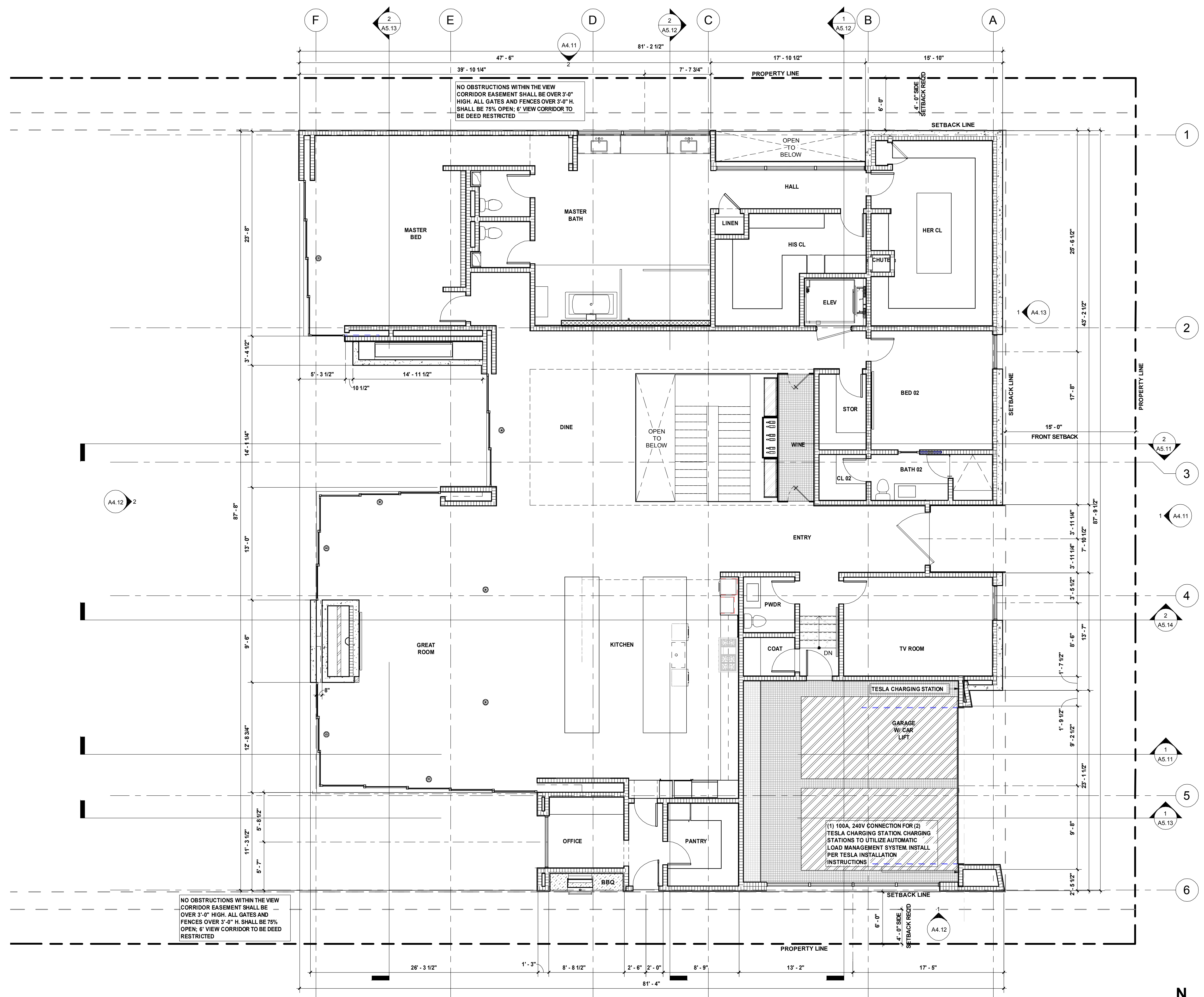
REVISIONS:
 NO. DATE DESCRIPTION

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CHECKED BY: AF
 SCALE: As indicated
 PLOT DATE: 10/2/2018 2:05:12 PM
 DRAWING BY: RP

SHEET TITLE: MAIN LEVEL FLOOR PLAN
 SHEET COUNT: 15 OF 24

SHEET NO.: A2.11



NO OBSTRUCTIONS WITHIN THE VIEW CORRIDOR EASEMENT SHALL BE OVER 3'-0" HIGH. ALL GATES AND FENCES OVER 3'-0" H. SHALL BE 75% OPEN; 6' VIEW CORRIDOR TO BE DEED RESTRICTED

NO OBSTRUCTIONS WITHIN THE VIEW CORRIDOR EASEMENT SHALL BE OVER 3'-0" HIGH. ALL GATES AND FENCES OVER 3'-0" H. SHALL BE 75% OPEN; 6' VIEW CORRIDOR TO BE DEED RESTRICTED

(1) 100A, 240V CONNECTION FOR (2) TESLA CHARGING STATION. CHARGING STATIONS TO UTILIZE AUTOMATIC LOAD MANAGEMENT SYSTEM. INSTALL PER TESLA INSTALLATION INSTRUCTIONS

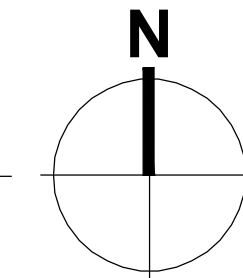
WALL LEGEND

- 2X FLAT STUD WALL
- 2 X 4 STUD WALL
- 2 X 6 STUD WALL
- 2 X 8 STUD WALL
- CMU WALL PER STRUCTURAL PLANS
- CONCRETE WALL PER STRUCTURAL PLANS

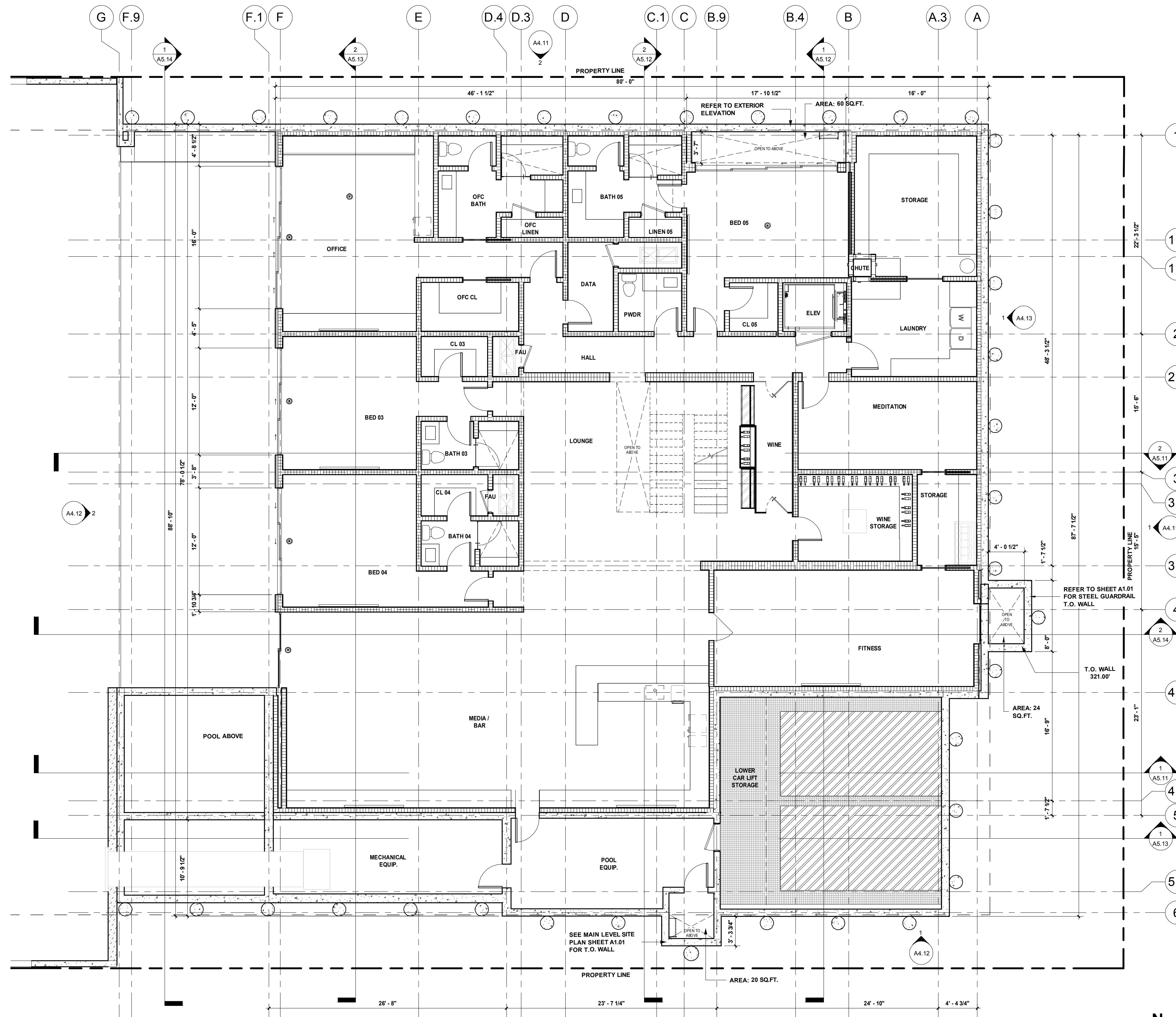
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LEGAL DESCRIPTION:
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APN: 346-262-06-00
 PROJECT NAME: HERSHFIELD RESIDENCE



MAIN LEVEL FLOOR PLAN - 5,213 SQ.FT.
 3/16" = 1'-0"



LOWER LEVEL FLOOR PLAN - 5,537 SQ. FT.
3/16" = 1'-0"

WALL LEGEND

- 2X FLAT STUD WALL
- 2 X 4 STUD WALL
- 2 X 6 STUD WALL
- 2 X 8 STUD WALL
- CMU WALL PER STRUCTURAL PLANS
- CONCRETE WALL PER STRUTURAL PLANS

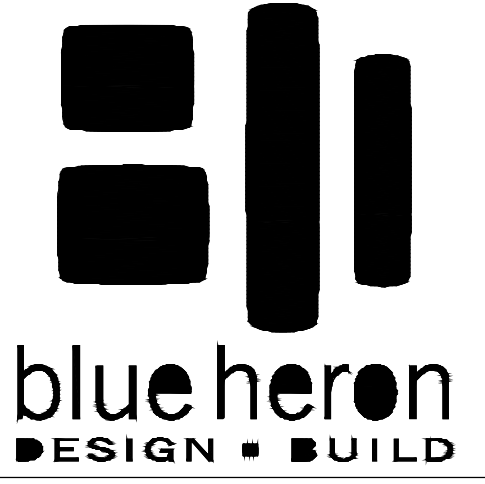
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LAS VEGAS, NV 89118

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APN: 346-262-06-00
PROJECT NAME: HERSHFIELD RESIDENCE



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MICHAEL MORTON AIA
CLAUDE ANTHONY MARENGO DESA



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BUILDING DEPARTMENT SET

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SCALE:	As indicated
PLOT DATE:	10/2/2016 2:05:15 PM
DRAWING BY:	RP

SHEET TITLE: LOWER LEVEL FLOOR PLAN
SHEET COUNT: 16 OF 24

SHEET NO.: **A2.21**



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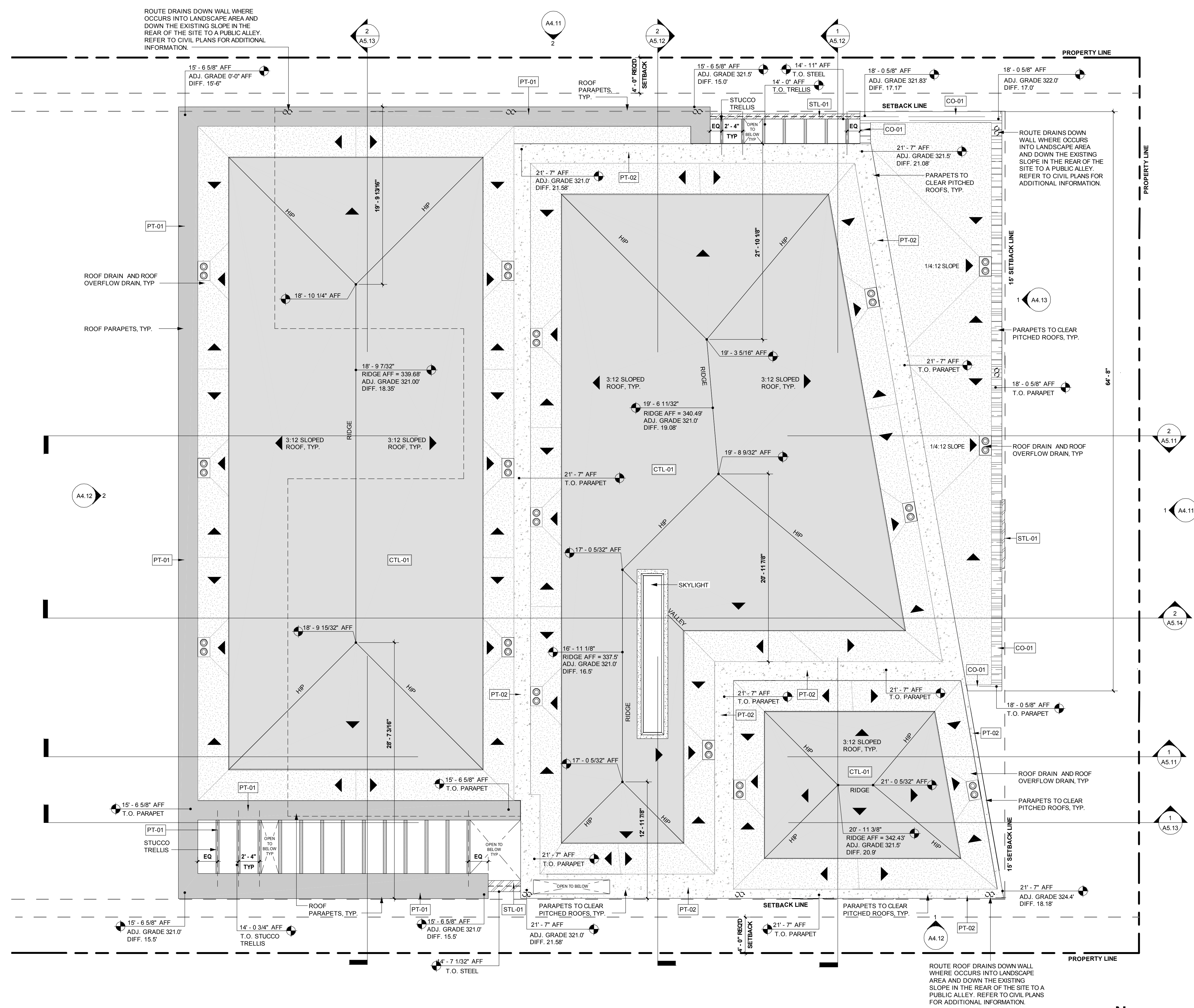
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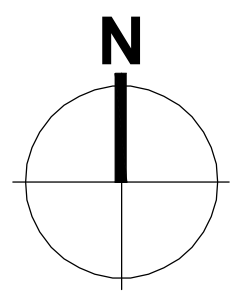
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SCALE:	As indicated
PLOT DATE:	10/2/2018 2:05:17 PM
DRAWING BY:	RP

SHEET TITLE: ROOF PLAN
SHEET COUNT: 17 OF 24
SHEET NO.: A3.01



ROOF PLAN
3/16" = 1'-0"



ROUTE ROOF DRAINS DOWN WALL WHERE OCCURS INTO LANDSCAPE AREA AND DOWN THE EXISTING SLOPE IN THE REAR OF THE SITE TO A PUBLIC ALLEY. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

ROUTE DRAINS DOWN WALL WHERE OCCURS INTO LANDSCAPE AREA AND DOWN THE EXISTING SLOPE IN THE REAR OF THE SITE TO A PUBLIC ALLEY. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

PREPARED BY:
BLUE HERON DESIGN BUILD
4675 W. TECO AVENUE #250
LAS VEGAS, NV 89118

LEGAL DESCRIPTION:
LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1999

APN: 346-262-06-00
PROJECT NAME: HERSHFIELD RESIDENCE



MARENGO MORTON ARCHITECTS
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 LA JOLLA, CA 92037
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 F 858 459 3788
 MICHAEL MORTON AA
 CLAUDE ANTHONY MARENGO DESA



blue heron
 DESIGN + BUILD

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IT IS THE RESPONSIBILITY OF EACH CONTRACTOR, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERROR OR OMISSION IN THE PLANS OR SPECIFICATIONS OF WHICH A CONTRACTOR WHO IS THOROUGHLY KNOWLEDGEABLE IN BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. NO CONTRACTOR SHALL PROCEED WITH THE WORK WITHOUT HAVING FIRST RECEIVED FROM THE ARCHITECT WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERROR OR OMISSION. BLUE HERON MAY NOT BE ABLE TO ADDRESS THE PERCEIVED ERROR OR OMISSION IN THE MOST TIMELY AND COST EFFECTIVE MANNER IF CONTRACTORS DO NOT FOLLOW THESE PROCEDURES.

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 8230 PRESTWICK DR.
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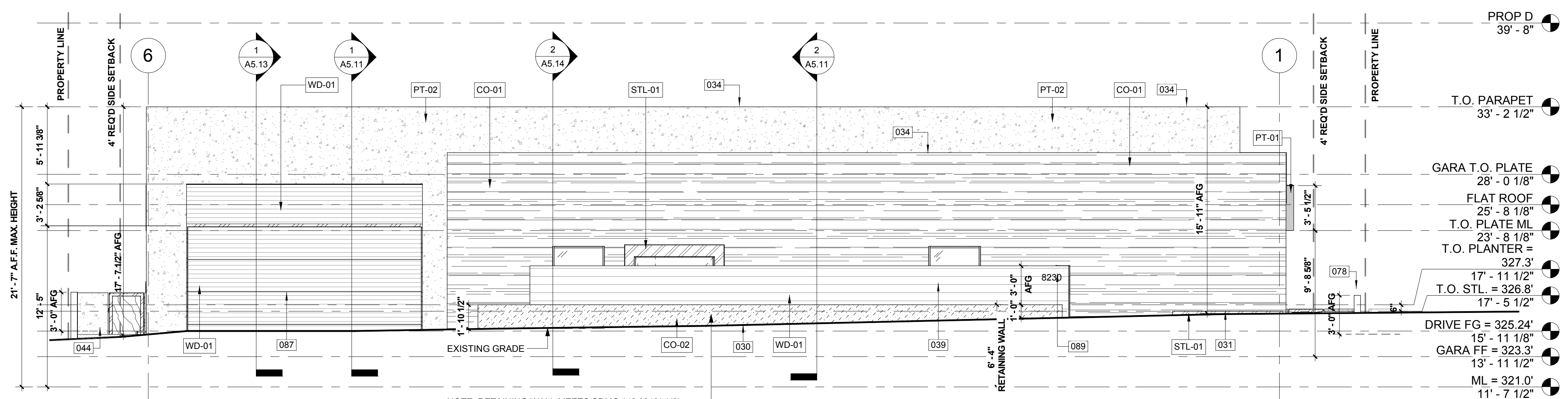
BUILDING DEPARTMENT SET

KEYNOTES	
021	42" H. GLASS GUARDRAIL
027	BLACKENED STEEL WIDE FLANGE BEAM TRELLIS
030	POURED-IN-PLACE CONCRETE PLANTER. REFER TO EXTERIOR ELEVATIONS FOR FINISH
031	BLACKENED STEEL PLANTER
034	PARAPET
036	WINDOW SYSTEM
037	EXISTING GRADE
038	PROPOSED GRADE
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE
042	CONCRETE TILE ROOF SYSTEM
044	SIDE YARD GATE AND WALL. REFER TO BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS. NOTE: POOL ENCLOSURE GATES AND FENCES OVER 3'-0" HIGH WITHIN THE VIEW CORRIDOR EASEMENT SHALL BE 75% OPEN
063	BLACKENED STEEL 42" H. RETAINING WALL AT LIGHT WELL
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE. NEW WALL TO BE CONSTRUCTED IN EXISTING LOCATION WITH NO ENCROACHMENT ON ADJACENT PROPERTY. REFER TO CIVIL FOR RETAINING AND FOOTING DESIGN AND DETAIL
087	GARAGE DOOR PER EXTERIOR SPECIFICATIONS AND DOOR SCHEDULE
089	ADDRESS NUMBER SIGN WITH UP LIGHTING FROM LANDSCAPE TO MEET REGULATIONS PER FHPS POLICY P-00 (UFG 901.4-4)

EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
PT-01	TRICORN BLACK SWS28 SMOOTH STUCCO FINISH
PT-02	LIGHT GREY CONCRETE BURNISHED STUCCO FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
CO-01	POURED-IN-PLACE CONCRETE RAKED FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
WD-01	WOOD SIDING. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
STL-01	POWDER COATED SWS28 TRICORN BLACK STEEL. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
CTL-01	DARK GRAY RANGE BEL AIR CONCRETE ROOF TILE. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
TL-01	TILE. REFER TO INTERIOR FOR SPECIFICATION

GENERAL EXTERIOR ELEVATION NOTES
 A. ANY DISCREPANCIES IN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. DO NOT SCALE DRAWINGS.
 B. REFER TO SITE PLAN | CIVIL DRAWINGS FOR SITE UTILITY INFORMATION
 C. REFER TO SHEETS A 5.11 THRU A 5.13 FOR BUILDING SECTIONS

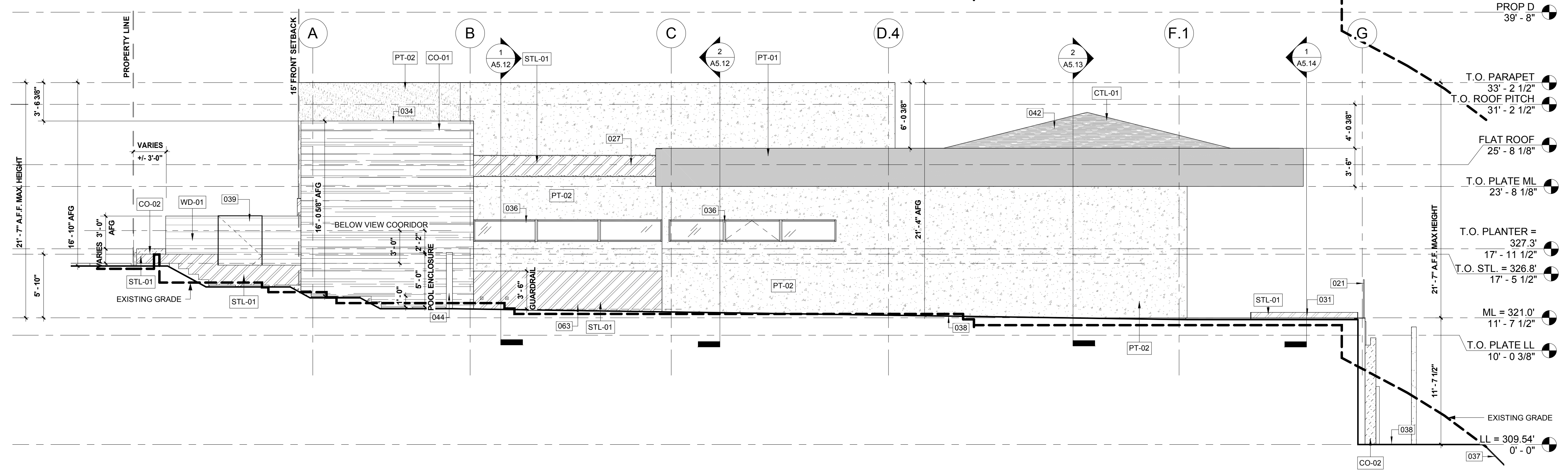
NOTE:
 THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTION 131.0444 AND 132.0505.) HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE



NOTE: RETAINING WALL MEETS SDMC 142.0340(a)(2) AS FOLLOWS: 49-LF OF THE RETAINING WALL IS BELOW 3' WHERE AS 14-LF IS HIGHER THEN 3' AND LOWER THEN 3'-5". THEREFORE 14/49 = 29% < 30%

1 EAST ELEVATION
 3/16" = 1'-0"

NOTE:
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2 NORTH ELEVATION
 3/16" = 1'-0"

PREPARED BY:
 BLUE HERON DESIGN BUILD
 4675 W. TECO AVENUE #250
 LAS VEGAS, NV 89118

LEGAL DESCRIPTION:
 LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1999

APN: 346-262-06-00
 PROJECT NAME: HERSHFIELD RESIDENCE

REVISIONS:		
NO.	DATE	DESCRIPTION

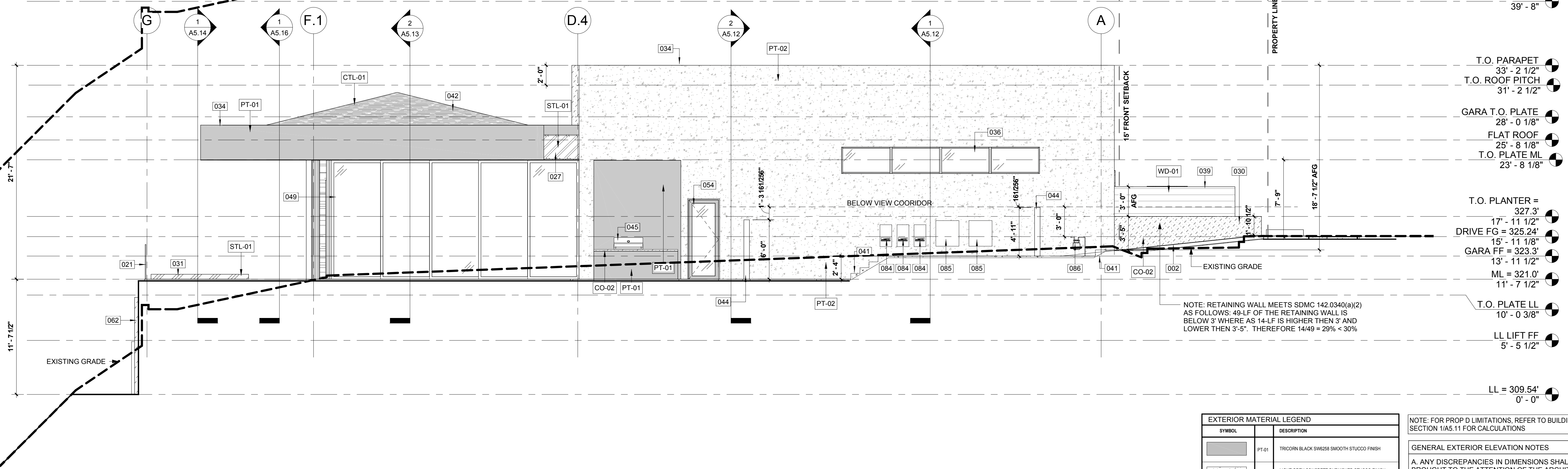
STAMP:

CHECKED BY: AF
 SCALE: As indicated
 PLOT DATE: 10/31/2018 10:51:44 AM
 DRAWING BY: RP

SHEET TITLE: BUILDING ELEVATIONS
 SHEET COUNT: 18 OF 24

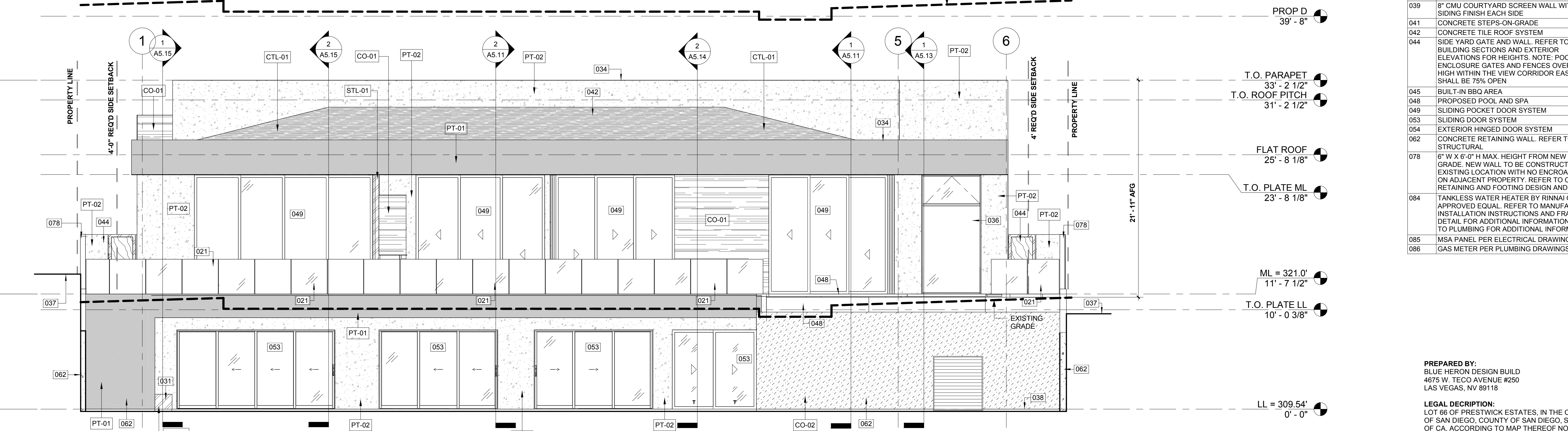
SHEET NO.: A4.11

NOTE:
THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTION 131.0444 AND 132.0505). HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE



1 SOUTH ELEVATION
3/16" = 1'-0"

NOTE:
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2 WEST ELEVATION
3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	PT-01 TRICORN BLACK SW6258 SMOOTH STUCCO FINISH
[Symbol]	PT-02 LIGHT GREY CONCRETE BURNISHED STUCCO FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
[Symbol]	CO-01 POURED-IN-PLACE CONCRETE RANDED FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
[Symbol]	CO-02 POURED-IN-PLACE CONCRETE SMOOTH FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK
[Symbol]	WD-01 WOOD SIDING, ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
[Symbol]	STL-01 POWDER COATED SW6258 TRICORN BLACK STEEL ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
[Symbol]	CTL-01 DARK GRAY RANGE I BEL AIR CONCRETE ROOF TILE ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
[Symbol]	TL-01 TILE: REFER TO INTERIOR FOR SPECIFICATION

NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/A5.11 FOR CALCULATIONS

GENERAL EXTERIOR ELEVATION NOTES
A. ANY DISCREPANCIES IN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. DO NOT SCALE DRAWINGS.
B. REFER TO SITE PLAN | CIVIL DRAWINGS FOR SITE UTILITY INFORMATION.
C. REFER TO SHEETS A 5.11 THRU A 5.13 FOR BUILDING SECTIONS

KEYNOTES	
002	CONCRETE PAVED DRIVEWAY
021	42" H. GLASS GUARDRAIL
027	BLACKENED STEEL WIDE FLANGE BEAM TRELLIS
030	POURED-IN-PLACE CONCRETE PLANTER, REFER TO EXTERIOR ELEVATIONS FOR FINISH
031	BLACKENED STEEL PLANTER
034	PARAPET
036	WINDOW SYSTEM
037	EXISTING GRADE
038	PROPOSED GRADE
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE
041	CONCRETE STEPS-ON-GRADE
042	CONCRETE TILE ROOF SYSTEM
044	SIDE YARD GATE AND WALL, REFER TO BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS. NOTE: POOL ENCLOSURE GATES AND FENCES OVER 3'-0" HIGH WITHIN THE VIEW CORRIDOR EASEMENT SHALL BE 75% OPEN
045	BUILT-IN BBQ AREA
048	PROPOSED POOL AND SPA
049	SLIDING POCKET DOOR SYSTEM
053	SLIDING DOOR SYSTEM
054	EXTERIOR HINGED DOOR SYSTEM
062	CONCRETE RETAINING WALL, REFER TO STRUCTURAL
078	8" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE. NEW WALL TO BE CONSTRUCTED IN EXISTING LOCATION WITH NO ENCROACHMENT ON ADJACENT PROPERTY. REFER TO CIVIL FOR RETAINING AND FOOTING DESIGN AND DETAIL
084	TANKLESS WATER HEATER BY RINNAI OR APPROVED EQUAL. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS AND FRAMING DETAIL FOR ADDITIONAL INFORMATION. REFER TO PLUMBING FOR ADDITIONAL INFORMATION
085	MSA PANEL PER ELECTRICAL DRAWINGS
086	GAS METER PER PLUMBING DRAWINGS

PREPARED BY:
BLUE HERON DESIGN BUILD
4675 W. TECO AVENUE #250
LAS VEGAS, NV 89118

LEGAL DESCRIPTION:
LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1959

APN: 346-262-06-00
PROJECT NAME: HERSHFELD RESIDENCE

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MICHAEL MORTON AIA
CLAUSE ANTHONY MARENGO DESA

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BUILDING DEPARTMENT SET

REVISIONS:

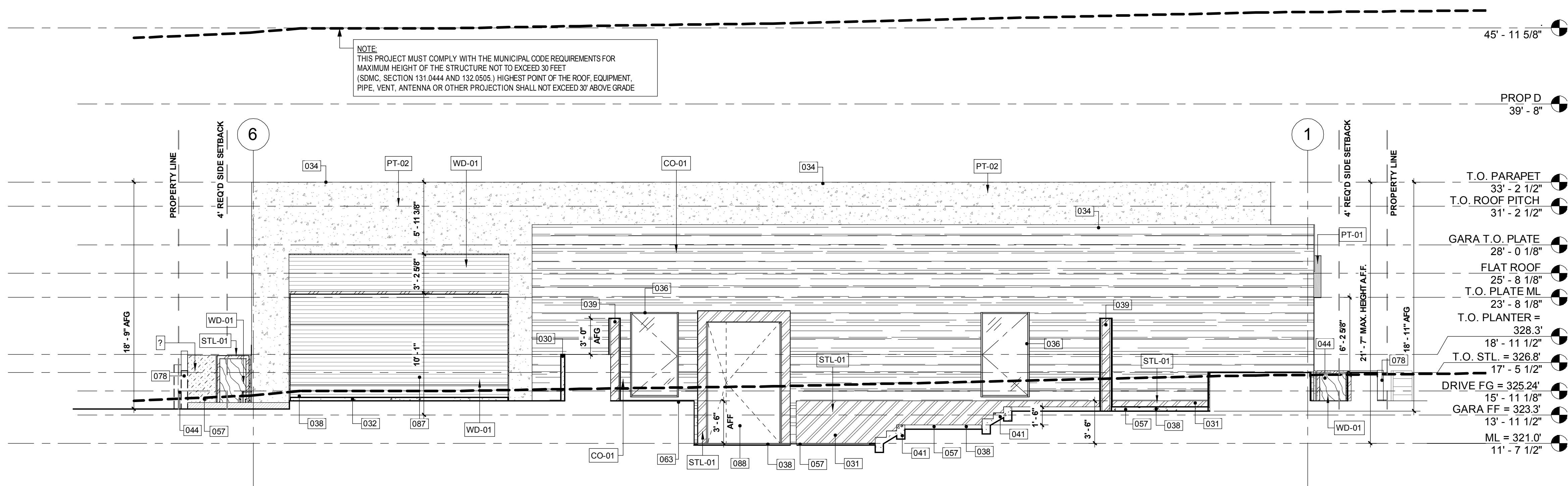
NO.	DATE	DESCRIPTION

STAMP:

CHECKED BY: AF
SCALE: As indicated
PLOT DATE: 10/29/2018 5:08:54 PM
DRAWING BY: RP

SHEET TITLE: BUILDING ELEVATIONS
SHEET COUNT: 19 OF 24

SHEET NO.: A4.12



1 COURTYARD EAST ELEVATION
3/16" = 1'-0"

KEYNOTES	
030	POURED-IN-PLACE CONCRETE PLANTER. REFER TO EXTERIOR ELEVATIONS FOR FINISH
031	BLACKENED STEEL PLANTER
032	CUSTOM WOOD GARAGE DOOR TO MATCH WOOD SIDING FINISH
034	PARAPET
036	WINDOW SYSTEM
038	PROPOSED GRADE
039	8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE
041	CONCRETE STEPS-ON-GRADE
044	SIDE YARD GATE AND WALL. REFER TO BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS. NOTE: POOL ENCLOSURE GATES AND FENCES OVER 3'-0" HIGH WITHIN THE VIEW CORRIDOR EASEMENT SHALL BE 75% OPEN
057	CONCRETE HARDSCAPE
063	BLACKENED STEEL 42" H. RETAINING WALL AT LIGHT WELL
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE. NEW WALL TO BE CONSTRUCTED IN EXISTING LOCATION WITH NO ENCROACHMENT ON ADJACENT PROPERTY. REFER TO CIVIL FOR RETAINING AND FOOTING DESIGN AND DETAIL
067	GARAGE DOOR PER EXTERIOR SPECIFICATIONS AND DOOR SCHEDULE
088	PIVOT DOOR PER EXTERIOR SPECIFICATIONS AND DOOR SCHEDULE. COORDINATE LOCATION OF PIVOT IN CONCRETE SLAB PRIOR TO SLAB FOUNDATION POUR

EXTERIOR MATERIAL LEGEND	
PT-01	TRICORN BLACK SWS256 SMOOTH STUCCO FINISH
PT-02	LIGHT GREY CONCRETE BURNISHED STUCCO FINISH
CO-01	POURED-IN-PLACE CONCRETE RAKED FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK
WD-01	WOOD SIDING ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-01	POWDER COATED SWS256 TRICORN BLACK STEEL ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
CL-01	DARK GRAY RANGE I BEL AIR CONCRETE ROOF TILE ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
TL-01	TILE REFER TO INTERIOR FOR SPECIFICATION

GENERAL EXTERIOR ELEVATION NOTES

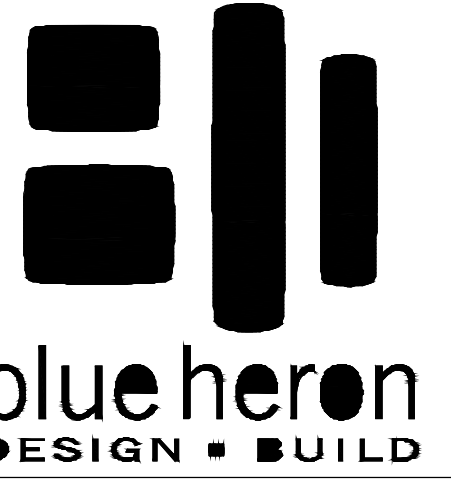
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B. REFER TO SITE PLAN | CIVIL DRAWINGS FOR SITE UTILITY INFORMATION

C. REFER TO SHEETS A 5.11 THRU A 5.13 FOR BUILDING SECTIONS



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CLAUDE ANTHONY MARENGO DESA



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BUILDING DEPARTMENT SET

REVISIONS:		
NO.	DATE	DESCRIPTION

STAMP:	
CHECKED BY:	AF
SCALE:	As indicated
PLOT DATE:	10/2/2018 2:05:28 PM
DRAWING BY:	RP

SHEET TITLE: **BUILDING ELEVATIONS**
SHEET COUNT: 20 OF 234
SHEET NO.:

A4.13

PREPARED BY:
BLUE HERON DESIGN BUILD
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LAS VEGAS, NV 89118

LEGAL DESCRIPTION:
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APN: 346-262-06-00
PROJECT NAME: HERSHFIELD RESIDENCE



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BUILDING DEPARTMENT SET

REVISIONS:
NO. DATE DESCRIPTION

STAMP:

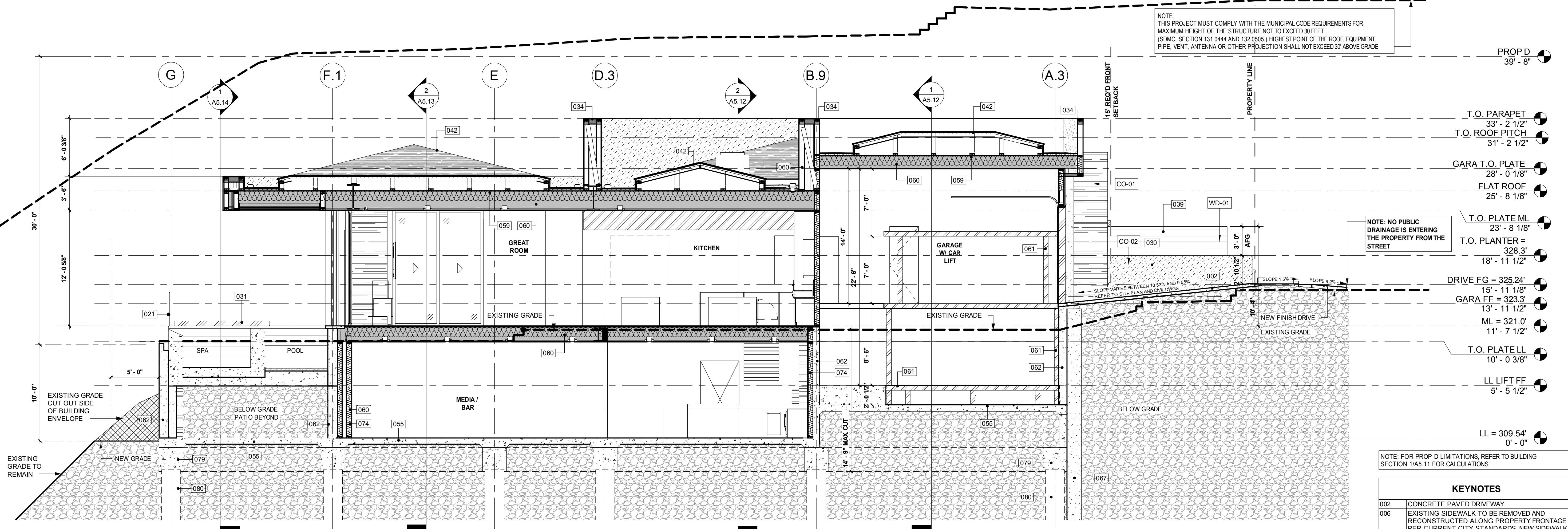
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SCALE: As indicated
PLOT DATE: 10/2/2016 2:05:33 PM
DRAWING BY: RP

SHEET TITLE: BUILDING SECTIONS
SHEET COUNT: 21 OF 24

SHEET NO.: A5.11

NOTE:
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PROP D
39' - 8"



- T.O. PARAPET 33' - 2 1/2"
- T.O. ROOF PITCH 31' - 2 1/2"
- GARA T.O. PLATE 28' - 0 1/8"
- FLAT ROOF 25' - 8 1/8"
- T.O. PLATE ML 23' - 8 1/8"
- T.O. PLANTER = 328.3'
- 18' - 11 1/2"
- DRIVE FG = 325.24'
- 15' - 11 1/8"
- GARA FF = 323.3'
- 13' - 11 1/2"
- ML = 321.0'
- 11' - 7 1/2"
- T.O. PLATE LL 10' - 0 3/8"
- LL LIFT FF 5' - 5 1/2"
- LL = 309.54'
- 0' - 0"

NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/AS.11 FOR CALCULATIONS

KEYNOTES

- 002 CONCRETE PAVED DRIVEWAY
- 006 EXISTING SIDEWALK TO BE REMOVED AND RECONSTRUCTED ALONG PROPERTY FRONTAGE PER CURRENT CITY STANDARDS. NEW SIDEWALK SHALL MAINTAIN EXISTING FINISH GRADES
- 021 42" H. GLASS GUARDRAIL
- 029 POURED-IN-PLACE CONCRETE EXTERIOR WALL. REFER TO EXTERIOR ELEVATIONS FOR FINISH
- 030 POURED-IN-PLACE CONCRETE PLANTER. REFER TO EXTERIOR ELEVATIONS FOR FINISH
- 031 BLACKENED STEEL PLANTER
- 033 COVERED DECK
- 034 PARAPET
- 039 8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE
- 042 CONCRETE TILE ROOF SYSTEM
- 049 SLIDING POCKET DOOR SYSTEM
- 053 SLIDING DOOR SYSTEM
- 055 CONCRETE SLAB FOUNDATION PER STRUCTURAL
- 059 WOOD TRUSS SYSTEM PER STRUCTURAL
- 060 BATT INSULATION
- 061 CAR HYDRAULIC POST LIFT SYSTEM
- 062 CONCRETE RETAINING WALL. REFER TO STRUCTURAL
- 066 EXTERIOR WOOD CEILING
- 067 SHORING PILES PER SHORING ENGINEER
- 072 TYPICAL EXTERIOR WALL CONSTRUCTION
- 074 TYPICAL INTERIOR WALL CONSTRUCTION
- 075 BEAM - REFER TO STRUCTURAL PLANS
- 076 6" CMU PLANTER WITH WOOD SIDING FINISH EACH SIDE
- 079 CONCRETE GRADE BEAM. REFER TO STRUCTURAL
- 080 DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

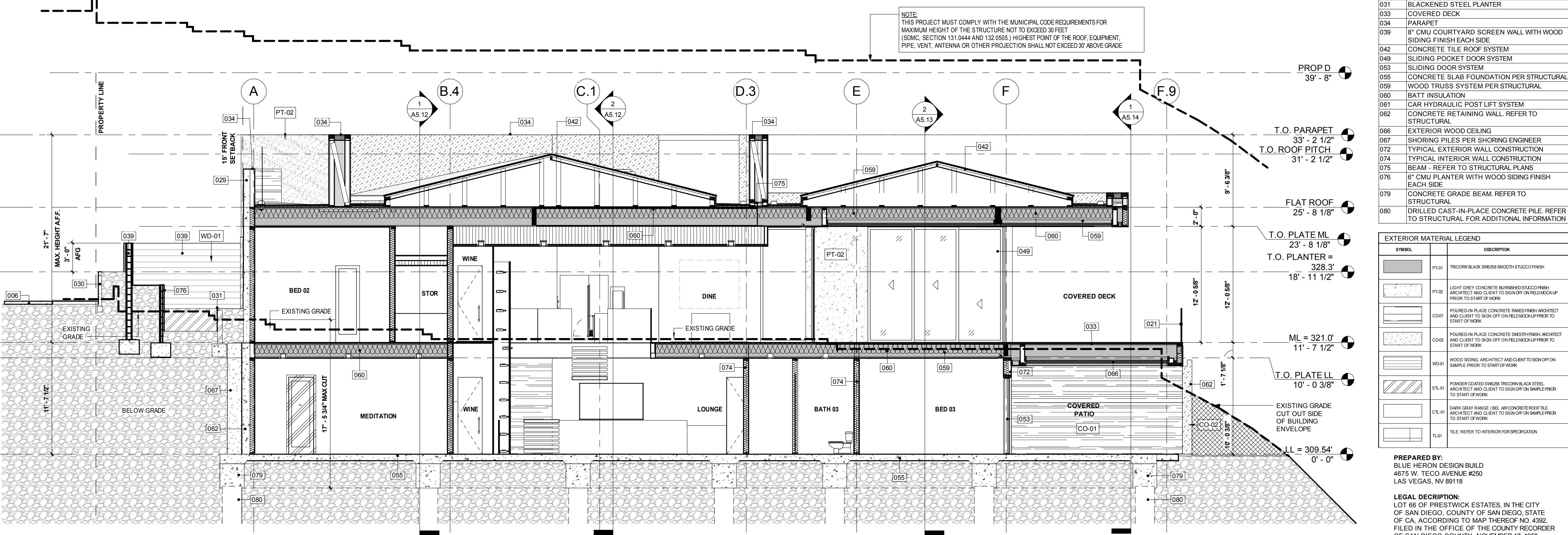
SYMBOL	DESCRIPTION
PT-01	TROCOR BLACK SWISS SMOOTH STUCCO FINISH
PT-02	LIGHT GREY CONCRETE BURNISHED STUCCO FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK.
CO-01	POURED-IN-PLACE CONCRETE BURNISHED FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK.
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK.
WD-01	WOOD SIDING. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
STL-01	POWDER COATED SWISS TROCOR BLACK STEEL. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
CL-01	DARK GRAY RANGE BEL AIR CONCRETE ROOF TILE. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
TL-01	TILE: REFER TO INTERIOR FOR SPECIFICATION

PREPARED BY:
BLUE HERON DESIGN BUILD
4675 W. TECO AVENUE #250
LAS VEGAS, NV 89118

LEGAL DESCRIPTION:
LOT 66 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 17, 1999

APN: 346-262-06-00
PROJECT NAME: HERSHFELD RESIDENCE

1 BUILDING SECTION EW 01
3/16" = 1'-0"



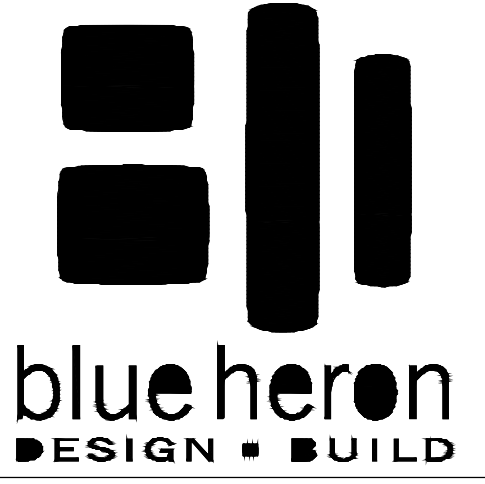
PROP D
39' - 8"

- T.O. PARAPET 33' - 2 1/2"
- T.O. ROOF PITCH 31' - 2 1/2"
- FLAT ROOF 25' - 8 1/8"
- T.O. PLATE ML 23' - 8 1/8"
- T.O. PLANTER = 328.3'
- 18' - 11 1/2"
- ML = 321.0'
- 11' - 7 1/2"
- T.O. PLATE LL 10' - 0 3/8"
- EXISTING GRADE CUT OUT SIDE OF BUILDING ENVELOPE
- LL = 309.54'
- 0' - 0"

2 BUILDING SECTION EW 02
3/16" = 1'-0"



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BUILDING DEPARTMENT SET

REVISIONS:

NO.	DATE	DESCRIPTION

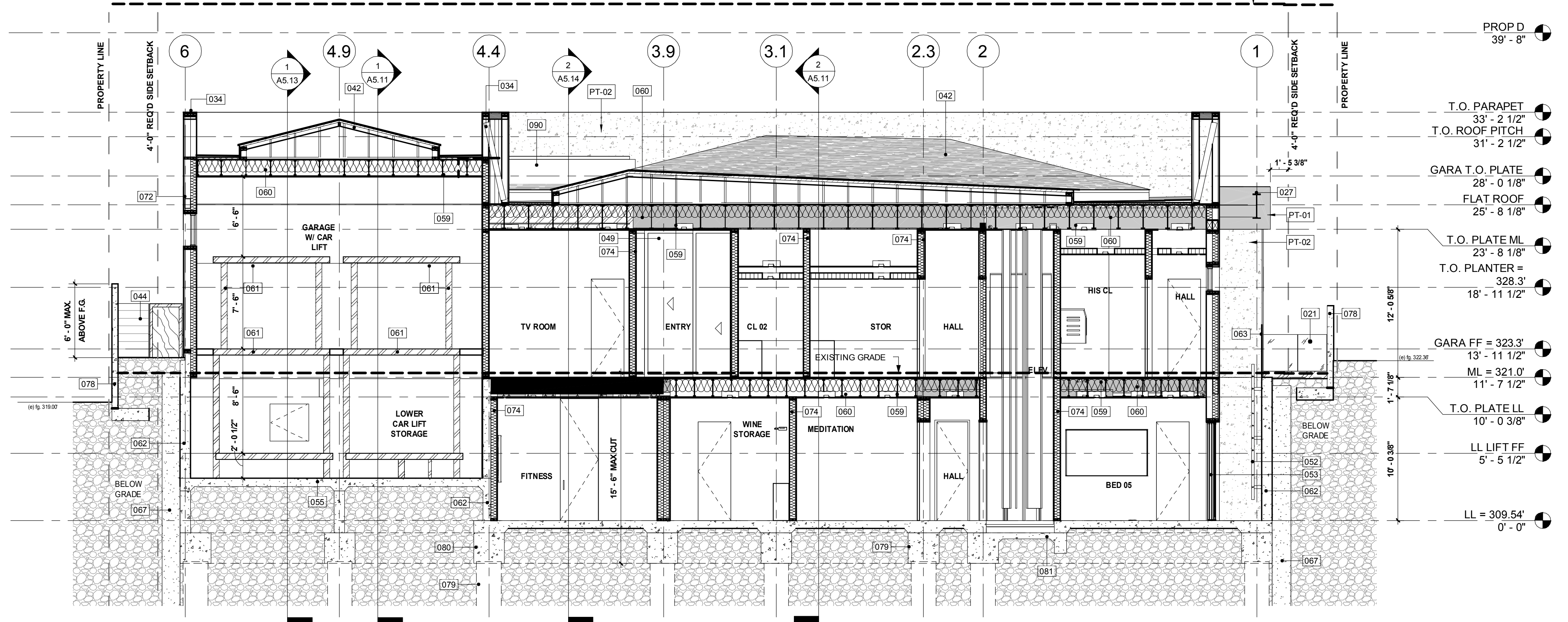
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PLOT DATE: 10/2/2018 2:05:39 PM
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SHEET TITLE: BUILDING SECTIONS
SHEET COUNT: 22 OF 24

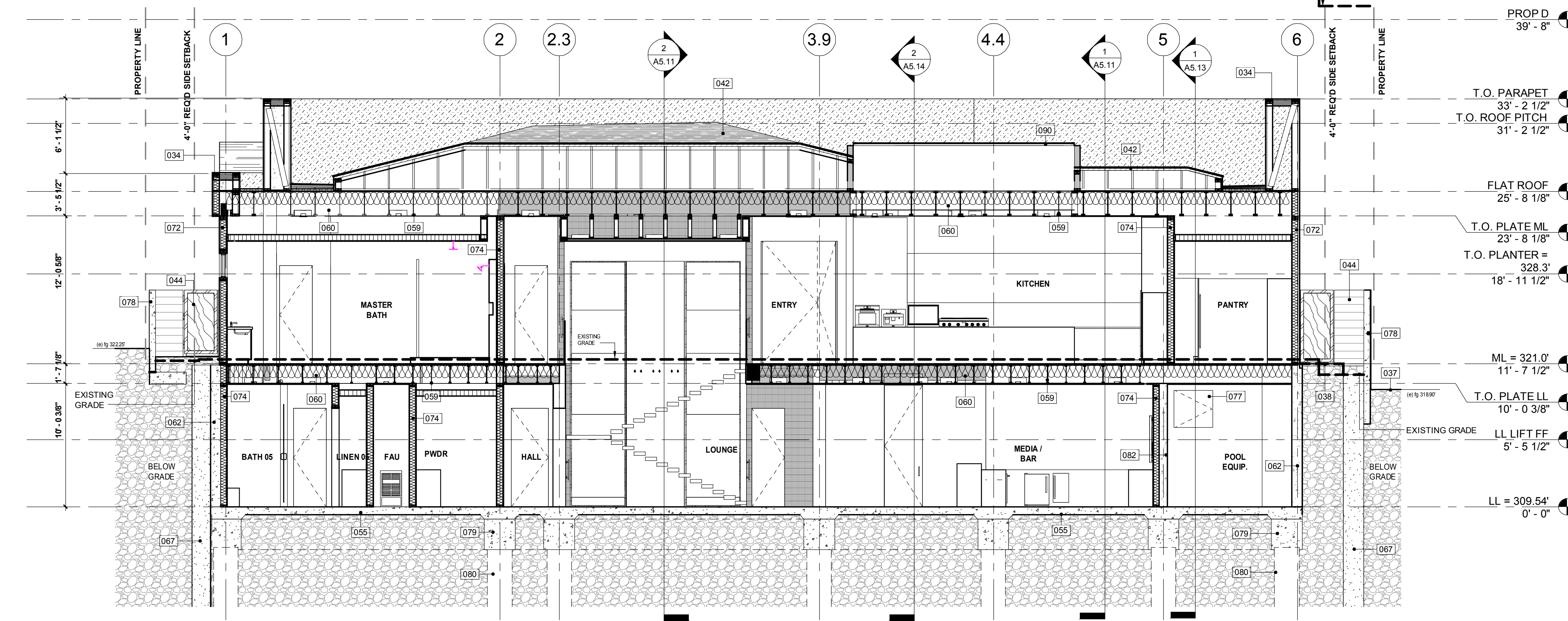
SHEET NO.: A5.12

NOTE:
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1 BUILDING SECTION NS 01
3/16" = 1'-0"

NOTE:
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2 BUILDING SECTION NS 02
3/16" = 1'-0"

KEYNOTES

021	42" H. GLASS GUARDRAIL
027	BLACKENED STEEL WIDE FLANGE BEAM TRELLIS
034	PARAPET
037	EXISTING GRADE
038	PROPOSED GRADE
042	CONCRETE TILE ROOF SYSTEM
044	SIDE YARD GATE AND WALL. REFER TO BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS. NOTE: POOL ENCLOSURE GATES AND FENCES OVER 3'-0" HIGH WITHIN THE VIEW CORRIDOR EASEMENT SHALL BE 75% OPEN
049	SLIDING POCKET DOOR SYSTEM
052	ACCESS LADDER TO LOWER LEVEL
053	SLIDING DOOR SYSTEM
055	CONCRETE SLAB FOUNDATION PER STRUCTURAL
059	WOOD TRUSS SYSTEM PER STRUCTURAL
060	BATT INSULATION
061	CAR HYDRAULIC POST LIFT SYSTEM
062	CONCRETE RETAINING WALL. REFER TO STRUCTURAL
063	BLACKENED STEEL 42" H. RETAINING WALL AT LIGHT WELL
067	SHORING PILES PER SHORING ENGINEER
072	TYPICAL EXTERIOR WALL CONSTRUCTION
074	TYPICAL INTERIOR WALL CONSTRUCTION
077	EMERGENCY HATCH DOOR FROM LOWER LEVEL GARAGE LIFT
078	6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE. NEW WALL TO BE CONSTRUCTED IN EXISTING LOCATION WITH NO ENCRoACHMENT ON ADJACENT PROPERTY. REFER TO CIVIL FOR RETAINING AND FOOTING DESIGN AND DETAIL
079	CONCRETE GRADE BEAM. REFER TO STRUCTURAL
080	DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
081	STEP IN CONCRETE FOUNDATION FOR 12" DEEP ELEVATOR PIT
082	POURED-IN-PLACE CONCRETE WALL. REFER TO STRUCTURAL
090	SKYLIGHT ON PREMANUFACTURED CURB. REFER TO EXTERIOR SPECIFICATIONS

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION
PT-01	TRICORN BLACK SW258 SMOOTH STUCCO FINISH
PT-02	LIGHT GREY CONCRETE BURNISHED STUCCO FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK
CO-01	POURED-IN-PLACE CONCRETE BURNISHED STUCCO FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK
WD-01	WOOD SING. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-01	POWDER COATED SW258 TRICORN BLACK STEEL ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
CL-01	DARK GRAY RANCE (SEL. AIR CONCRETE ROOF TILE ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
TL-01	TILE. REFER TO INTERIOR FOR SPECIFICATION

PREPARED BY:
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4675 W. TECO AVENUE #250
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APN: 346-262-06-00
PROJECT NAME: HERSHFIELD RESIDENCE



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 8230 PRESTWICK DR.
 LA JOLLA, CA 92037
 BUILDING DEPARTMENT SET

REVISIONS:
 NO. DATE DESCRIPTION

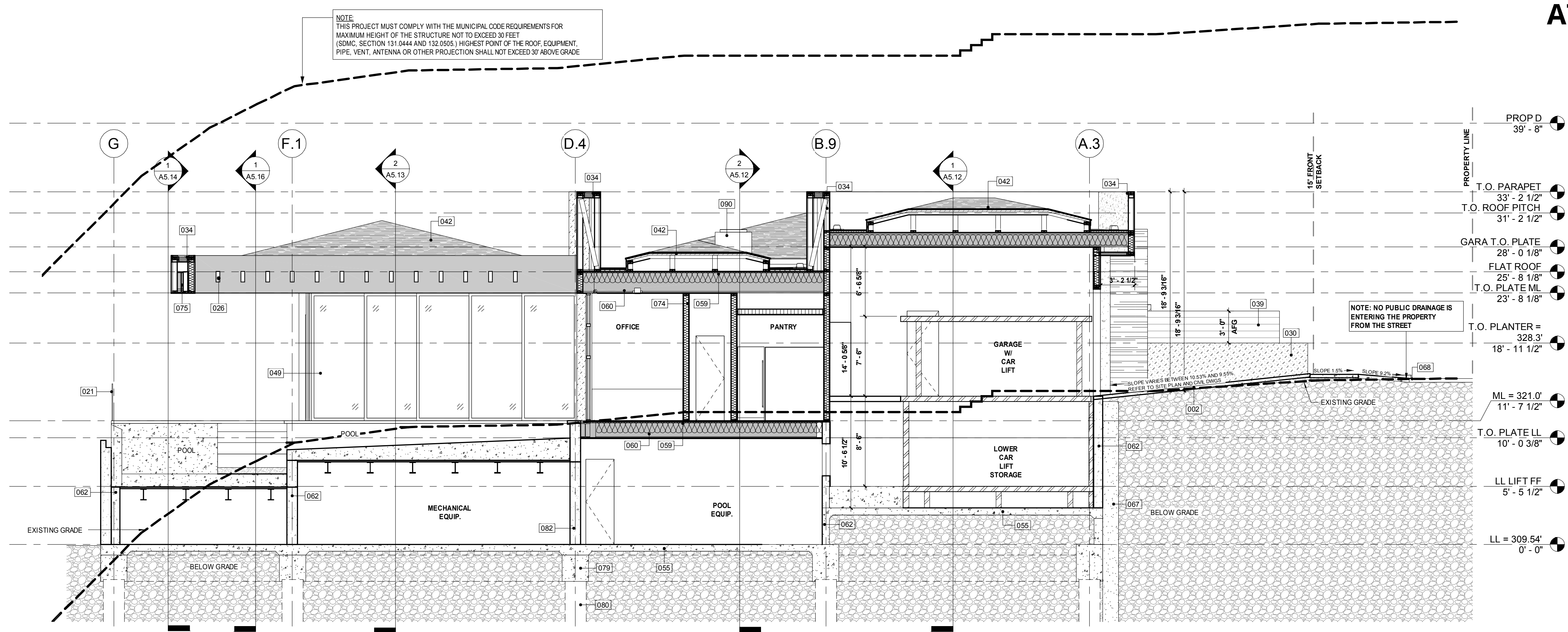
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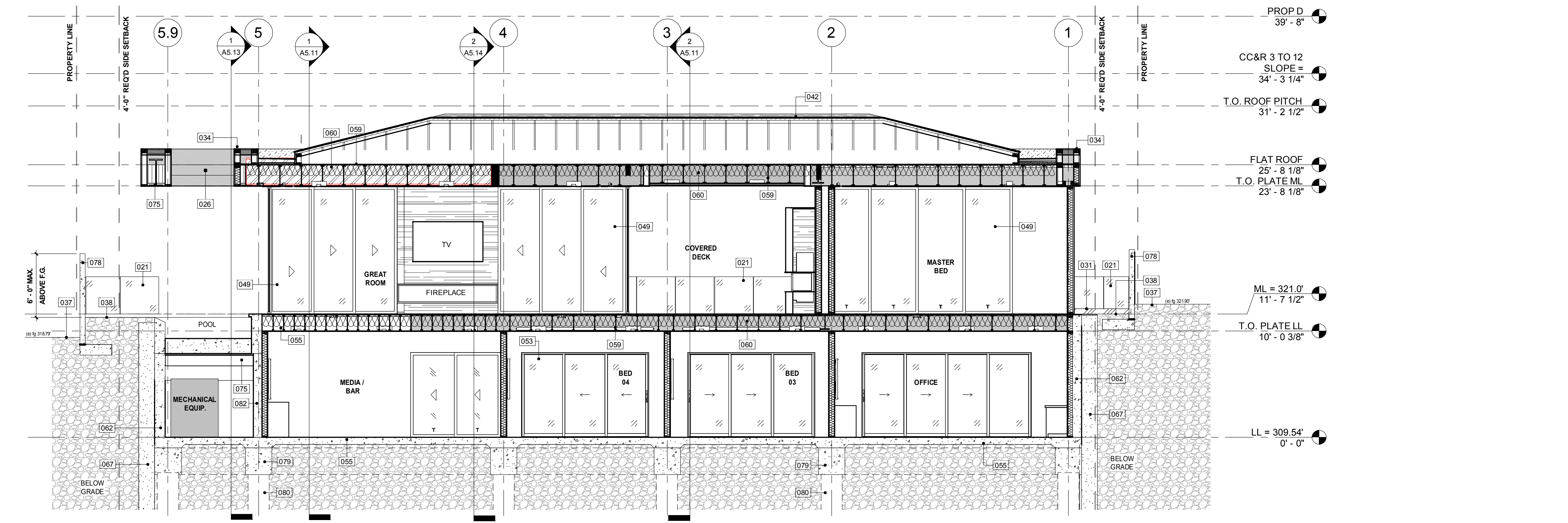
SHEET TITLE: BUILDING SECTIONS
 SHEET COUNT: 23 OF 24
 SHEET NO.:

A5.13

NOTE:
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1 BUILDING SECTION EW 03
 3/16" = 1'-0"



2 BUILDING SECTION NS 03
 3/16" = 1'-0"

KEYNOTES

- 002 CONCRETE PAVED DRIVEWAY
- 021 42" H. GLASS GUARDRAIL
- 026 TRELIS-T-COAT STUCCO - BURNISH FINISH PAINTED TRICORN BLACK
- 030 POURED-IN-PLACE CONCRETE PLANTER. REFER TO EXTERIOR ELEVATIONS FOR FINISH
- 031 BLACKENED STEEL PLANTER
- 034 PARAPET
- 037 EXISTING GRADE
- 038 PROPOSED GRADE
- 039 8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE
- 042 CONCRETE TILE ROOF SYSTEM
- 049 SLIDING POCKET DOOR SYSTEM
- 053 SLIDING DOOR SYSTEM
- 055 CONCRETE SLAB FOUNDATION PER STRUCTURAL
- 059 WOOD TRUSS SYSTEM PER STRUCTURAL
- 060 BATT INSULATION
- 062 CONCRETE RETAINING WALL. REFER TO STRUCTURAL
- 067 SHORING PILES PER SHORING ENGINEER
- 068 REFER TO CIVIL FOR ALL SITE DRAINAGE
- 074 TYPICAL INTERIOR WALL CONSTRUCTION
- 075 BEAM - REFER TO STRUCTURAL PLANS
- 078 6" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE. NEW WALL TO BE CONSTRUCTED IN EXISTING LOCATION WITH NO ENCRoACHMENT ON ADJACENT PROPERTY. REFER TO CIVIL FOR RETAINING AND FOOTING DESIGN AND DETAIL
- 079 CONCRETE GRADE BEAM. REFER TO STRUCTURAL
- 080 DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
- 082 POURED-IN-PLACE CONCRETE WALL. REFER TO STRUCTURAL
- 090 SKYLIGHT ON PREMANUFACTURED CURB. REFER TO EXTERIOR SPECIFICATIONS

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION
PT-01	TRICORN BLACK SMOOTH STUCCO FINISH
PT-02	LIGHT GREY CONCRETE BURNISH STUCCO FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK
CO-01	POURED-IN-PLACE CONCRETE RAKED FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCKUP PRIOR TO START OF WORK
WD-01	WOOD SIDING. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
STL-01	POWDER COATED S16228 TRICORN BLACK STEEL. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
CL-01	DARK GRAY RANGE 181. APR CONCRETE ROOF TILE. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK
TL-01	TILE REFER TO INTERIOR FOR SPECIFICATION

PREPARED BY:
 BLUE HERON DESIGN BUILD
 4675 W. TECO AVENUE #250
 LAS VEGAS, NV 89118

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REVISIONS:
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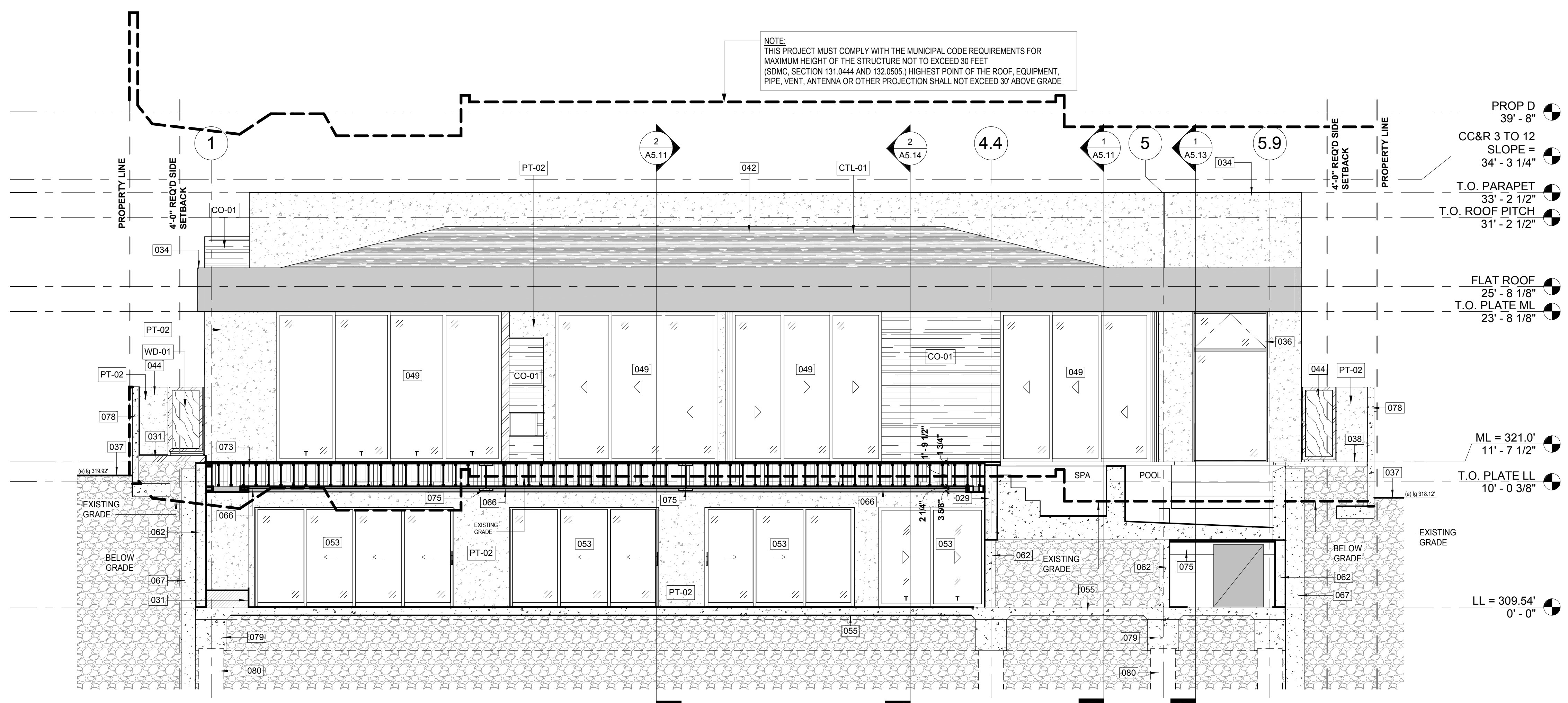
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SCALE: As indicated
PLOT DATE: 10/30/2018 11:05:30 AM
DRAWING BY: Author

SHEET TITLE: BUILDING SECTIONS
SHEET COUNT: 24 OF 24

SHEET NO.: A5.14

NOTE:
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1 BUILDING SECTION NS 04
3/16" = 1'-0"

NOTE: FOR PROP D LIMITATIONS, REFER TO BUILDING SECTION 1/A5.11 FOR CALCULATIONS

KEYNOTES

- 006 EXISTING SIDEWALK TO BE REMOVED AND RECONSTRUCTED ALONG PROPERTY FRONTAGE PER CURRENT CITY STANDARDS. NEW SIDEWALK SHALL MAINTAIN EXISTING FINISH GRADES.
- 021 42" H. GLASS GUARDRAIL
- 029 POURED-IN-PLACE CONCRETE EXTERIOR WALL. REFER TO EXTERIOR ELEVATIONS FOR FINISH GRADES.
- 030 POURED-IN-PLACE CONCRETE PLANTER. REFER TO EXTERIOR ELEVATIONS FOR FINISH GRADES.
- 031 BLACKENED STEEL PLANTER
- 034 PARAPET
- 036 WINDOW SYSTEM
- 037 EXISTING GRADE
- 038 PROPOSED GRADE
- 039 8" CMU COURTYARD SCREEN WALL WITH WOOD SIDING FINISH EACH SIDE.
- 042 CONCRETE TILE ROOF SYSTEM
- 044 SIDE YARD GATE AND WALL. REFER TO BUILDING SECTIONS AND EXTERIOR ELEVATIONS FOR HEIGHTS. NOTE: POOL ENCLOSURE GATES AND FENCES OVER 3'-0" HIGH WITHIN THE VIEW CORRIDOR EASEMENT SHALL BE 75% OPEN.
- 049 SLIDING POCKET DOOR SYSTEM
- 052 ACCESS LADDER TO LOWER LEVEL
- 053 SLIDING DOOR SYSTEM
- 055 CONCRETE SLAB FOUNDATION PER STRUCTURAL
- 059 WOOD TRUSS SYSTEM PER STRUCTURAL
- 060 BATT INSULATION
- 062 CONCRETE RETAINING WALL. REFER TO STRUCTURAL
- 066 EXTERIOR WOOD CEILING
- 067 SHORING PILES PER SHORING ENGINEER
- 073 TYPICAL DECK CONSTRUCTION
- 074 TYPICAL INTERIOR WALL CONSTRUCTION
- 075 BEAM - REFER TO STRUCTURAL PLANS
- 078 8" W X 6'-0" H MAX. HEIGHT FROM NEW FINISH GRADE. NEW WALL TO BE CONSTRUCTED IN EXISTING LOCATION WITH NO ENCRoACHMENT ON ADJACENT PROPERTY. REFER TO CIVIL FOR RETAINING AND FOOTING DESIGN AND DETAIL.
- 079 CONCRETE GRADE BEAM. REFER TO STRUCTURAL
- 080 DRILLED CAST-IN-PLACE CONCRETE PILE. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
- 090 SKYLIGHT ON PREMANUFACTURED CURB. REFER TO EXTERIOR SPECIFICATIONS

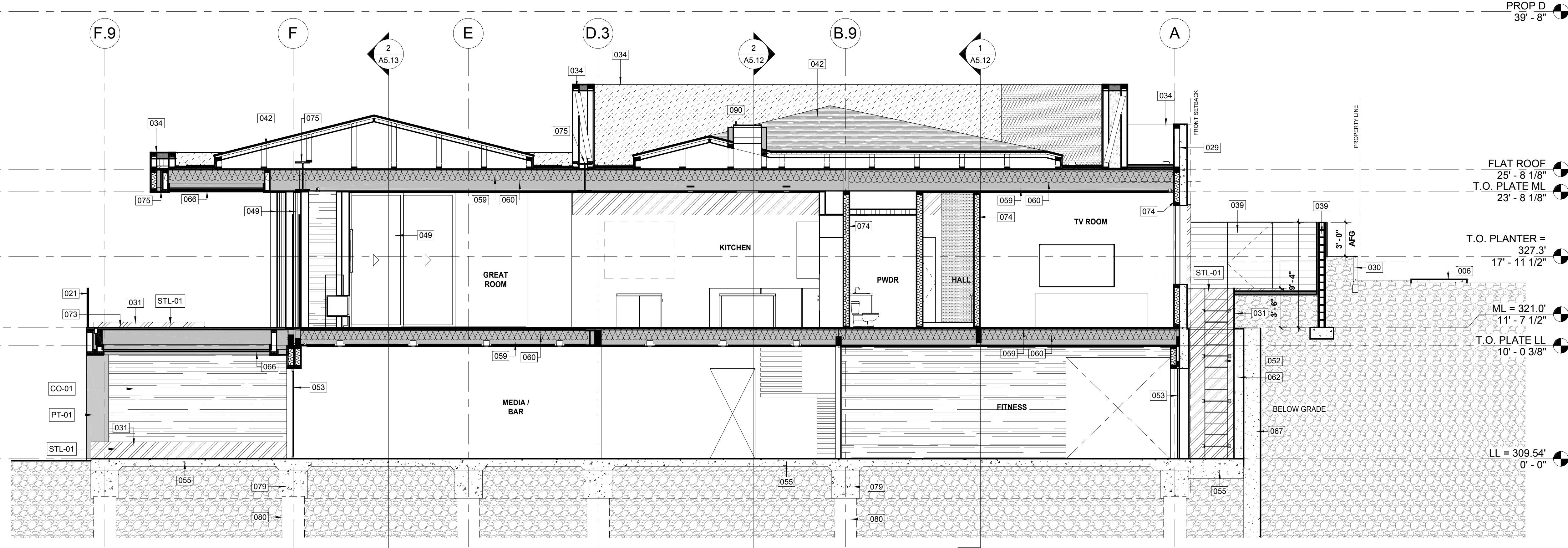
EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION
PT-01	TRICORN BLACK SW2528 SMOOTH STUCCO FINISH
PT-02	LIGHT GREY CONCRETE BURNISHED STUCCO FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
CO-01	POURED-IN-PLACE CONCRETE RAKED FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
CO-02	POURED-IN-PLACE CONCRETE SMOOTH FINISH. ARCHITECT AND CLIENT TO SIGN OFF ON FIELD MOCK-UP PRIOR TO START OF WORK.
WD-01	WOOD SIDING. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
STL-01	POWDER COATED SW2528 TRICORN BLACK STEEL. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
CTL-01	DARK GRAY RANGE (BEL AIR CONCRETE) ROOF TILE. ARCHITECT AND CLIENT TO SIGN OFF ON SAMPLE PRIOR TO START OF WORK.
TL-01	TILE. REFER TO INTERIOR FOR SPECIFICATION

PREPARED BY:
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3/16" = 1'-0"