



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 21, 2019 REPORT NO. HO-19-052

HEARING DATE: May 29, 2019

SUBJECT: Toyon Residence SDP. Process Three Decision

PROJECT NUMBER: [599273](#)

OWNER/APPLICANT: Daniel Munch, Owner/Applicant

SUMMARY

Issue: Should the Hearing Officer approve the construction of a two-story single-family residence with junior unit on a vacant site located at 5595 Toyon Road within the College Area Community Plan area?

Staff Recommendation:

1. Adopt Mitigated Negative Declaration No. 599273/SCH No. 2019039026;
2. Adopt the Mitigation Monitoring and Report Program; and
3. Approve Site Development Permit No. 2118471

Community Planning Group Recommendation: On March 19, 2018, the College Area Community Planning Group voted 19-0-0 to recommend approval with no additional conditions (Attachment 7).

Environmental Review: Mitigated Negative Declaration, [Report No. 599273/SCH No. 2019039026](#), has been prepared for the project in accordance with state of California Environmental Quality Act (CEQA) Guidelines. A mitigation, monitoring and reporting program has been prepared and will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process.

BACKGROUND

The vacant 1.51-acre project site is located at 5595 Toyon Road on the east side of Toyon Road, directly adjacent and to the north of 5551 Toyon Drive, and approximately 1.2 miles east of Interstate 15 and 0.2 miles south of Interstate 8 (Attachment 3).



The site is located in a developed area currently served by existing public services and utilities. The site consists of a trapezoidal shaped lot bordered by Toyon Road to the west, developed residential properties to the north and south, and descending sloping canyon terrain to the east. Lot elevations range from approximately 325 feet above mean sea level (MSL) at the southwest corner to approximately 200 feet MSL at the northeast corner (Attachment 1). The project site contains Environmental Sensitive Lands (ESL) in the form of Sensitive Biological Resources.

The project site is located within the RS-1-1 zone, which allows single-dwelling development. The College Area Community Plan designates the site for very low density residential development. The site is also located in the Parking Impact Overlay Zone (PIOZ-Campus-Impact), Transit Priority Area Overlay, Airport Land Use Compatibility Overlay Zone (Montgomery Field), Airport Influence Areas Overlay Zone (Montgomery Field - Review Area 2), Airports FAA Part 77 Noticing Area Overlay Zone (Montgomery Field threshold at 597 MSL), the Very High Fire Hazard Severity Overlay Zone and subject to Brush Management Regulations, within the Multi-Habitat Planning Area (MHPA).

DISCUSSION

Project Description

The Toyon Residence project (Project) proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot, two-car garage, totaling 4,233-square feet. The proposed Project has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's



VIEW FROM SOUTHEAST CORNER

health, safety and welfare. The Project is consistent with the College Area Community Plan, the City's environmental regulations, landscaping and brush management requirements, fire protection policies, and the City's affordable housing policies and regulations. The proposed development does not request and deviations to the Land Development Code. Therefore, the proposed development will comply with the regulations of the Land Development Code.

Process Approval

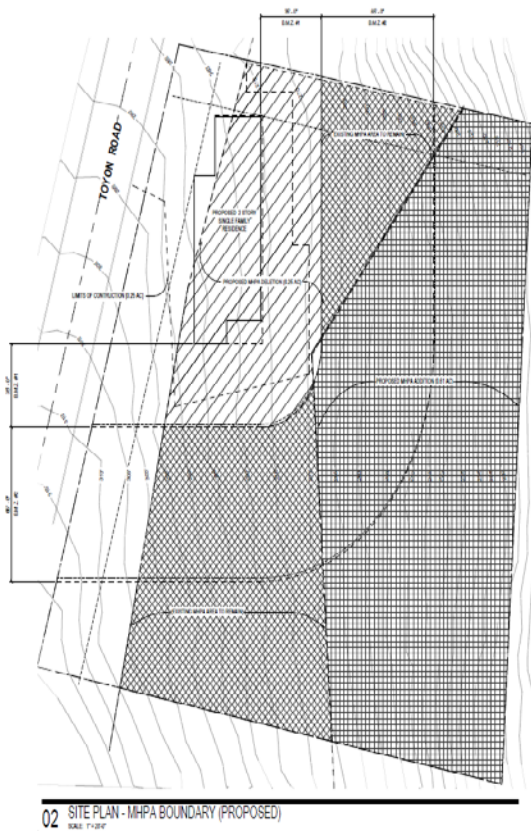
Consistent with [SDMC 126.0502\(a\)\(2\)\(B\)](#), a Site Development Permit decided in accordance with Process Three is required where environmentally sensitive lands are present for a single dwelling unit development that involves development on lots containing sensitive biological resources or steep hillsides as described in SDMC Section [143.0110](#).

Community Plan Analysis

The single-family residence will be developed consistent with the [College Area Community Plan](#) which designates the site for very low density residential development (0-1 dwelling units per acre), or one unit onsite. The project is consistent with the Urban Design Element of the community plan by providing new construction that is compatible with the existing architectural detail and overall appearance of the quality development in the surrounding neighborhood. The proposed development is compatible with the color, texture, architectural detail and overall appearance of the quality buildings in the surrounding neighborhood. The proposed project does not exceed the density or exceed the existing development area and therefore, the proposed development is in conformance with the applicable land use plan.

Environmentally Sensitive Lands / Biological Resources / MHPA Boundary Line Adjustment

The project is subject to the City's ESL regulations, as well as additional regulations for lands that contain sensitive biological resources, and lands that are within the MHPA. The 0.69-acres of existing MHPA onsite includes 0.39-acre of Diegan Coastal Sage Scrub (DCSS) and 0.24-acres of coastal sage scrub-chaparral transition (CSS). The current MHPA bisects the property and does not include all habitat or steep slopes onsite. The equivalent habitat outside of the MHPA within the steep slopes is considered more sensitive, and of higher biological value for covered species.



Development of the project would affect 0.21-acres of MSCP protected vegetation communities. The proposed development is not possible without some encroachment into the MHPA. Therefore, an MHPA Boundary Line Adjustment (BLA) is proposed to allow reconfiguration of the MHPA to allow a reasonable, contiguous development area.

The proposed BLA would delete 0.20-acre of DCSS and would add 0.61-acre of steeper and less disturbed DCSS, which would improve the quality and quantity of conserved habitats on-site. Therefore, the BLA would exchange habitat of lower quality (disturbed) for DCSS habitat of higher quality. Further, the BLA would increase the MHPA area from 0.69 to 1.03 acres, which would be held in a Covenant of Easement in perpetuity. The increase in the overall size and width of the MHPA preserve in this location should improve the function of the MHPA as a habitat linkage for local wildlife and migrating avian species. The project would be required to comply with the City's MHPA Land Use Adjacency Guidelines.

Conclusion

This proposed project was designed to comply with the development regulations of the underlying zone, Environmentally Sensitive Lands regulations, and a MHPA Boundary Line Adjustment that has been supported by the wildlife agencies and MSCP Staff. Staff has reviewed the request for a Site Development Permit, and MHPA Boundary Line Adjustment and has found the project to be in conformance with the applicable sections of the San Diego Municipal Code and has provided evidence to support the required findings. Therefore, staff recommends the Hearing Officer approve Site Development Permit No. 2118471.

ALTERNATIVES

1. Approve Site Development Permit No. 2118471, with modifications.
2. Deny Site Development Permit No. 2118471, if the findings required to approve the project cannot be affirmed.

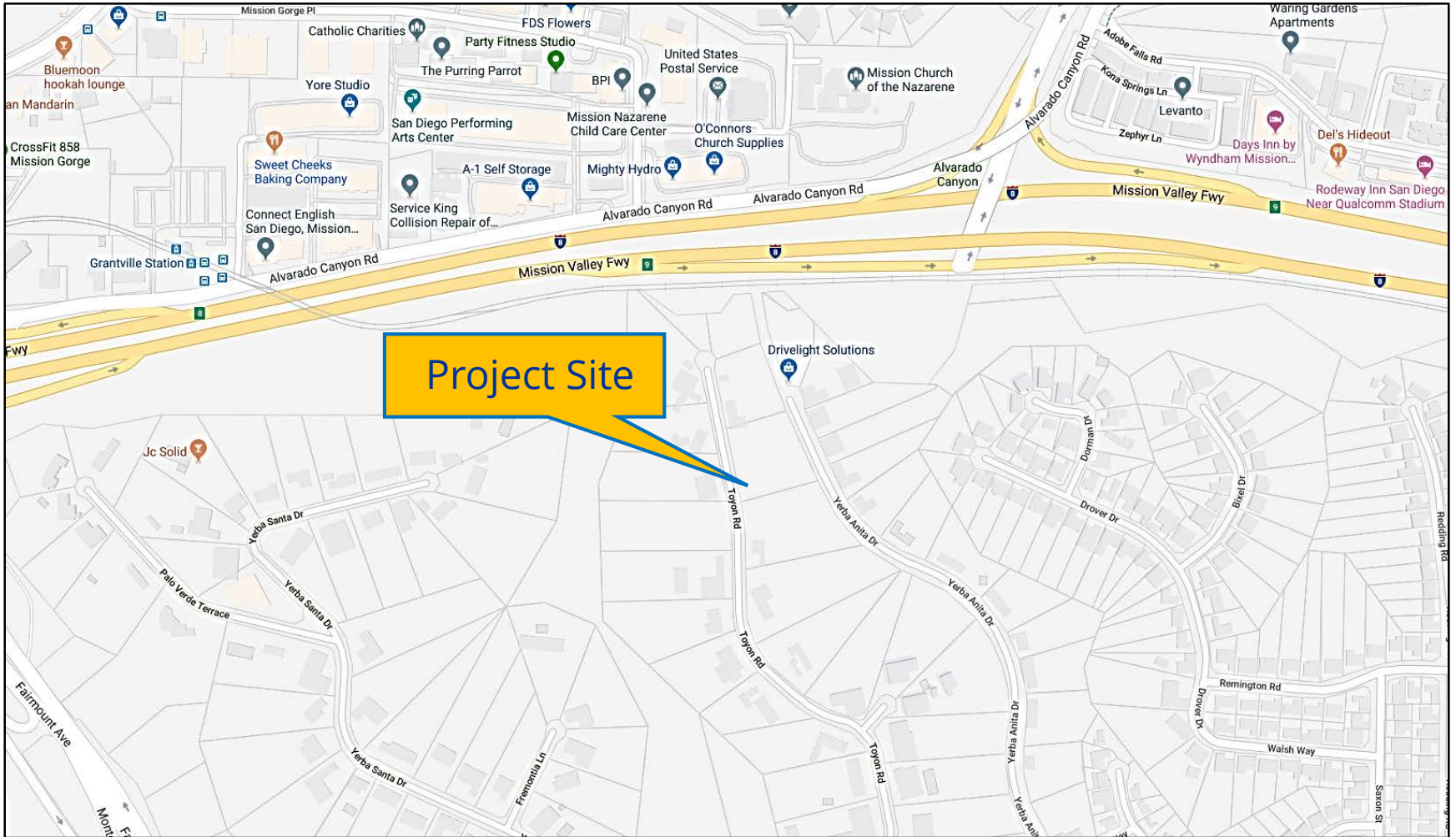
Respectfully submitted,



Anthony Bernal
Development Project Manager

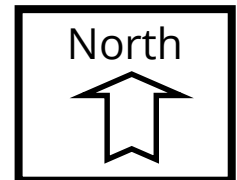
Attachments:

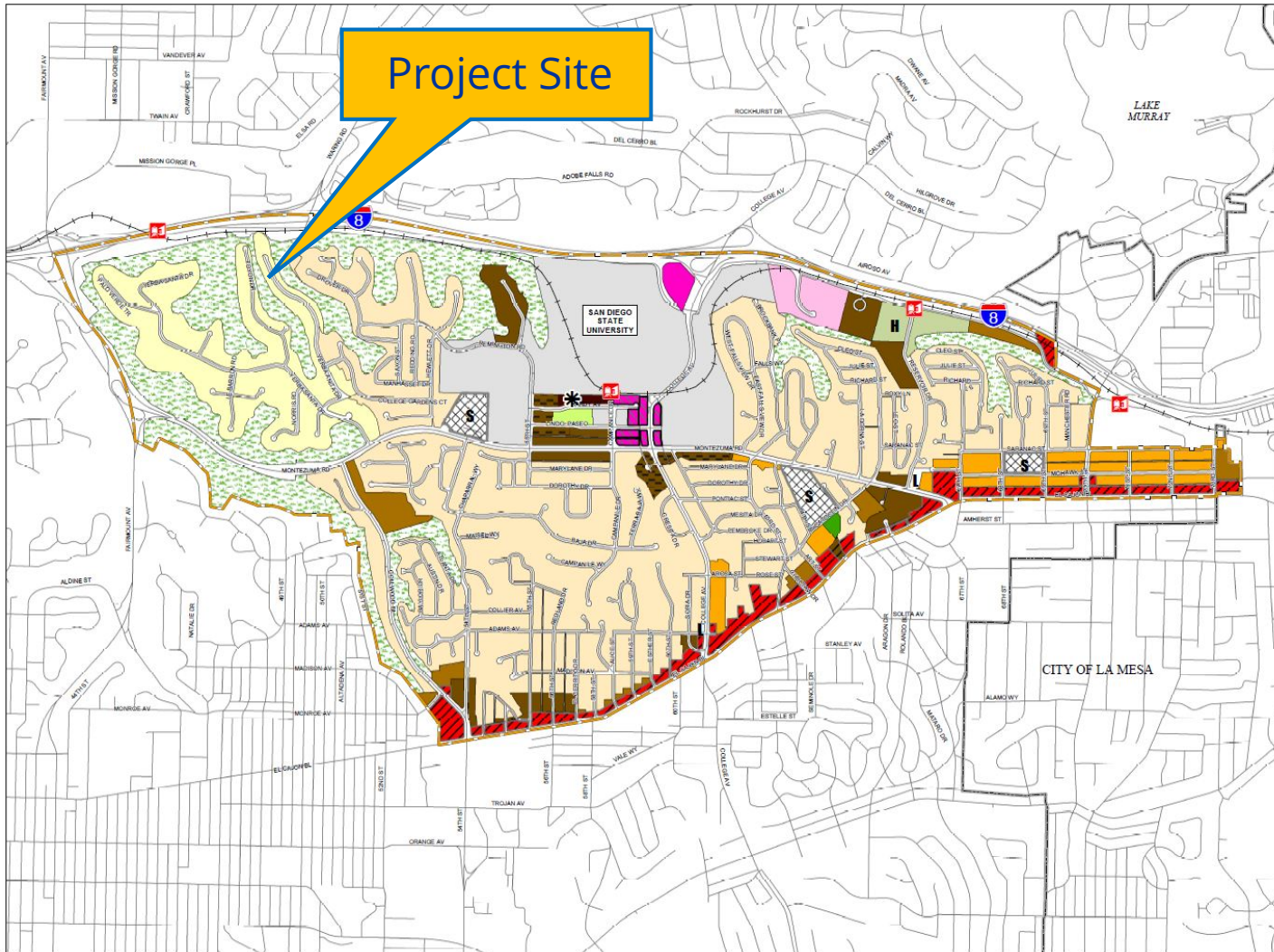
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution with MMRP
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

























Toyon Residence SDP / 5595 Toyon Road
PROJECT NO. 599273





City of  San Diego
City Planning
**College Area
Community Plan
Land Use**

Legend

-  Planning Areas
-  Very Low Density Res. (0-1 DU/AC)
-  Low Density Res. (1-10 DU/AC)
-  Low/Med Density Res. (10-15 DU/AC)
-  Med-Med/High Density Res. 15-45 DU/AC)
-  High Density Res. (45-75 DU/AC)
-  Very High Residential (75-110 DU/NRA)
-  School
-  Hospital & Related Medical Offices
-  Library
-  University Campus
-  Park
-  Open Space
-  Open Use Area
-  Office Commercial
-  Visitor Commercial
-  Gen. Commercial w/ Res. (45-75 DU/AC)
-  Gen. Commercial w/ Res. (75-110 DU/AC)
-  Mixed Use Commercial Res. (75-110 DU/NRA)
-  Fraternity/Sorority Area
-  Redevelopment Project (see Fig. 7B)
-  LRT Route
-  Trolley Stations
-  Municipal Boundaries
-  Religious Center



0 750 1,500 3,000 Feet

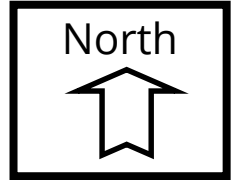


DISCLAIMER: This map is for illustrative purposes only. It is not intended to be used for any legal or regulatory purposes. The City of San Diego reserves the right to make changes to this map at any time without notice. The City of San Diego is not responsible for any errors or omissions in this map.



Land Use Map

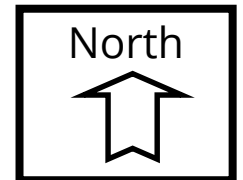
Toyon Residence SDP / 5595 Toyon Road
PROJECT NO. 599273





Aerial Photo

Toyon Residence SDP / 5595 Toyon Road
PROJECT NO. 599273



HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT APPROVAL NO. 2118471
TOYON RESIDENCE - PROJECT NO. 599273

WHEREAS, Daniel Munch, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a 3,170-square-foot, two-story, single-family dwelling unit with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2118471), on portions of a 1.51-acre site;

WHEREAS, the project site is located at 5595 Toyon Road in the RS-1-1 Zone within the College Area Community Plan area;

WHEREAS, the project site is legally described as Lot 25 of Alvarado Unit No. 2 in the City of San Diego, County of San Diego, State of California, According to Map Thereof No. 2823, filed in the Office of the County Recorder of San Diego County, November 14, 1951;

WHEREAS, on May 29, 2019 the Hearing Officer of the City of San Diego considered Site Development Permit No. 2118471 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 2118471:

A. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The Toyon Residence project (Project) proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet on a vacant 1.51-acre site located at 5595 Toyon Road within the RS-1-1 zone, partially within the Multi-Habitat Planning Area (MHPA), within the College Area Community Plan.

The single-family residence will be developed consistent with the College Area Community Plan which designates the site for very low density residential development (0-1 dwelling units per acre), or one unit onsite. The identified overall residential goal of the College Area Community Plan is to maintain the predominantly single-family character of the community. The project proposes a single-family residence on a single lot and is consistent with this community plan goal. A residential development recommendation is development occurring in steep slopes areas of the community should be sensitive to topography and vegetation on the site as outlined in the Steep Hillside guidelines and the urban design guidelines. Development should be clustered on flatter portions of a site and located close to access streets in order to minimize grading. Proposal is concentrated close to the street and maintains the steeper portions of the site to be preserved. No tennis courts or parking areas are proposed other than the driveway adjacent to the street. As shown on the project's Exhibit "A" plans, the project is consistent with the Urban Design Element of the community plan by providing new construction that is compatible with the existing architectural detail and overall appearance of the quality development in the surrounding neighborhood. The proposed development is compatible with the color, texture, architectural detail and overall appearance of the quality buildings in the surrounding neighborhood. The proposed project does not exceed the allowed density or exceed the development area and therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The Project proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet on a vacant 1.51-acre site located at 5595 Toyon Road and does not create or contribute to a hazardous condition that would affect the public's health, safety and welfare.

The proposed Project has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's health, safety and welfare. The Project is consistent with the College Area Community Plan, the City's environmental regulations, landscaping and brush management requirements, the fire protection policies, and the City's affordable housing policies and regulations. Prior to construction on the Project site, construction permit drawings will be reviewed to achieve conformance with all applicable construction codes to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public's health, safety and welfare.

The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the Project for this site contains specific conditions addressing the project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing

and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by the City to determine construction will comply with all regulations and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and the final construction will comply with all regulations. These requirements will assure the continued health, safety and general welfare of persons residing or working in the area. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The Project proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet on a vacant 1.51-acre site located at 5595 Toyon Road. The project site is within a developed residential neighborhood, surrounded by single-family development on three sides.

The project site is located in the RS-1-1 base zone, which allows one single-family dwelling unit per lot, or one onsite. The project will comply with the applicable development regulations pertaining to building setbacks, building height and bulk, parking, and landscaping and no deviations are proposed. Therefore, the proposed development will comply with the regulations of the Land Development Code.

2. Supplemental Findings – Environmental Sensitive Lands

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The Project proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet on a vacant 1.51-acre site located at 5595 Toyon Road.

The project contains ESL in the form of biological resources and land use (MSCP). Development of the project would affect 0.21-acres of MSCP protected vegetation communities. The proposed development is not possible without some encroachment into the MHPA. Therefore, an MHPA Boundary Line Adjustment (BLA) is proposed to allow reconfiguration of the MHPA to allow a reasonable, contiguous development area.

The proposed BLA would delete 0.20-acre of DCSS and would add 0.61-acre of steeper and less disturbed DCSS, which would improve the quality and quantity of conserved habitats on-site. Therefore, the BLA would exchange habitat of lower quality (disturbed) for DCSS habitat of higher quality. Further, the BLA would increase the MHPA area from 0.69 to 1.03 acres, which would be held in a Covenant

of Easement in perpetuity, outside of the allowable development area, to inhibit any future development within the adjacent MHPA area.

The project would involve the grading of 9,940 square-feet of the project site clustered toward the most level portion of site adjacent to the public right-of-way to avoid impacts to ESL and slopes. The site is vacant within an existing urban area that is largely developed or considered an infill lot served by all existing utilities. Fire potential, runoff and drainage have all been improved by requiring current best management practices and brush management to provide a minimum disturbance to environmentally sensitive lands. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The Project proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet on a vacant 1.51-acre site located at 5595 Toyon Road. The new single-family residential unit will be constructed within the defined development footprint. The project proposal would not result in a substantial increase in wind or water erosion of soils. Compliance with the City's standard Best Management Practices (BMP) will prevent such impacts. The proposed development will minimize the alteration of natural land forms since it is being proposed in the northwest corner of the property site because it was determined to be the most disturbed, least biologically sensitive, and least impactful portion of the parcel.

The project will require grading. A site-specific Geotechnical Investigation dated January 22, 2018 was prepared for this project. The project is assigned geologic risk category 53 which is characterized as level or sloping terrain, unfavorable geologic structure, low to moderate risk. There is no known active, potentially active, or inactive faults located at the site. The property is not located within a State of California Earthquake Fault Zone therefore it is suitable for development and would result in undue geologic hazard. However, the topography and/or ground surface relief features would not substantially change. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The Project proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet on a vacant 1.51-acre site located at 5595 Toyon Road. The site is vacant within an existing urban area that is largely developed or considered an infill lot with single-family homes on three sides and

served by all existing utilities. The project site includes Multiple Habitat Planning Area (MHPA). This project shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. The MHPA area will be placed in a conservation easement or dedicated in fee to the City prior to the issuance of any construction permits. Landscape will be restricted to non-invasive revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual, Landscape Standards. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The Project proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet on a vacant 1.51-acre site located at 5595 Toyon Road. The project site proposes a BLA and lies within the Multi-Habitat Planning Area (MHPA). The BLA was reviewed and approved by the Wildlife agencies. It results in onsite MHPA increasing from 0.69 to 1.03 acres and would protect the most biologically sensitive portions of the site. The MHPA area will be placed in a conservation easement or dedicated in fee to the City prior to the issuance of any construction permits. Landscape will be restricted to non-invasive revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual, Landscape Standards. The project includes retaining walls along the development area which will aid in the inadvertent intrusion of human or domestic pet activities. Therefore, the project would not have the potential to result in direct, indirect or cumulative impacts to sensitive biological resources and will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan. The project site does not contain any vernal pools and is not subject to the VPHCP.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The Project site is not located within the coastal overlay zone. The Project site is located approximately seven miles inland of the Pacific Ocean, five miles from San Diego Bay. Thus, the proposed project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

- f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

The Project proposes to construct a two-story, 3,170-square-foot, single-family residence with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet on a vacant 1.51-acre site located at 5595 Toyon Road. The project site contains Environmentally Sensitive Lands in the form of sensitive biological resources. A Mitigated Negative Declaration was prepared for the project as it was determined that the proposed development could have a significant impact following areas: Biological Resources, Land Use (MSCP).

As a condition of the permit, a covenant of easement over the eastern and southern portions of the site will be recorded. Due to the project's proximity to sensitive habitat, biological monitoring and mitigation for impacts to vegetation is also required to sensitive habitat. This will ensure that this area containing sensitive biological resources will remain protected. Because mitigation measures are required to be applied to the project with the associated Mitigation, Monitoring, and Reporting Program (MMRP), the project avoids or mitigates any potentially significant environmental impacts to biological resources in accordance with the California Environmental Quality Act. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

ATTACHMENT 4

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit Approval No. 2118471 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2118471, a copy of which is attached hereto and made a part hereof.

Anthony Bernal
Development Project Manager
Development Services

Adopted on: May 29, 2019

IO#: 24007764

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24007764

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2118471
TOYON RESIDENCE PROJECT NO. 599273
HEARING OFFICER

This Site Development Permit No. 2118471 is granted by the Hearing Officer of the City of San Diego to Daniel Munch, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0502. The 1.51-acre site is located at 5595 Toyon Road in the RS-1-1 zone, the Parking Impact Overlay Zone (PIOZ-Campus-Impact), the Transit Priority Area Overlay Zone, the Airport Land Use Compatibility Overlay Zone (Montgomery Field), the Airport Influence Areas Overlay Zone (Montgomery Field - Review Area 2), the Airports FAA Part 77 Noticing Area Overlay Zone (Montgomery Field threshold at 597 Mean Sea Level (MSL)), the Very High Fire Hazard Severity Overlay zone(s) of the College Area Community Plan Area. The project site is legally described as: Lot 25 of Alvarado Unit No. 2 in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 2823, Filed in the Office of the County Recorder of San Diego County, November 14, 1951.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to develop a single-family residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 29, 2019, on file in the Development Services Department.

The project shall include:

- a. Construction of a 3,170-square-foot, two-story, single-family dwelling unit with an attached 499-square-foot junior unit, and a 554-square-foot two-car garage, totaling 4,233-square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

- e. A Multiple Habitat Planning Area (MHPA) Boundary Line Adjustment (BLA) is proposed to allow reconfiguration of the MHPA to allow a reasonable, contiguous development area. The proposed BLA would delete 0.20-acre of DCSS and would add 0.61-acre of steeper and less disturbed DCSS, which would improve the quality and quantity of conserved habitats on-site. Therefore, the BLA would exchange habitat of lower quality (disturbed) for DCSS habitat of higher quality. Further, the BLA would increase the MHPA area from 0.69 to 1.03 acres.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 13, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394.

Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the

issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 599273/SCH No. 2019039026, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 599273/SCH No. 2019039026, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for Biological Resources.

CLIMATE ACTION PLAN REQUIREMENTS:

15. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

16. The project does not propose to export any material from the project site. If in the course of construction, any material is exported, it shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

21. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

22. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including environmental conditions) and Exhibit "A," on file in the Development Services Department.

23. Prior to issuance of any public improvement permit, the owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

26. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.
27. The Brush Management Program shall consist of a standard Zone One of 35 feet in width, and a Zone Two of 65 feet in width, extending out from the structure towards the native/naturalized vegetation, consistent with SDMC §142.0412.
28. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."
29. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.
30. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.
31. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

MULTIPLE SPECIES CONSERVATION PROGRAM:

32. MSCP Preserve Conveyance and Management: Prior to the issuance of any construction permits, including but not limited to, the first Grading Permit, Public Improvement Plans/Permits and/or Building Plans/Permits, the Owner/Permittee shall convey the on-site Multiple Habitat Planning Area [MHPA] to the City's Multiple Species Conservation Program [MSCP] preserve through a covenant of easement for protection of Environmentally Sensitive Lands within the MSCP granted in favor of the City and the U.S. Fish and Wildlife Service [USFWS] and the California Department of Fish and Wildlife [CDFW], as shown on Exhibit "A." The Owner/Permittee shall maintain in perpetuity MSCP preserve lands granted by covenant of easement.
33. MSCP Land Use Adjacency Guidelines: Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Public Improvement Plans/Permits and/or Building Plans/Permits, the owner/permittee shall demonstrate compliance with the following Land Use Adjacency Guidelines (Section 1.4.3 of the MSCP Subarea Plan) per Exhibit A and the Biological Technical Report:
- A. Drainage: Surface runoff shall be controlled and directed away from the MSCP preserve, or, if not possible, must not drain directly into the MSCP preserve. As shown on Exhibit A, stormwater and irrigation runoff shall be managed within the limits of development

through use of a landscape infiltration area and mechanical trapping devices prior to discharge into the public conveyance system on Toyon Road.

- B. Toxics/Project Staging Areas/Equipment Storage: The use of chemicals, petroleum products, pesticides, herbicides, animal waste, and other substances that are potentially toxic or impactive to the ecosystem within the MSCP preserve shall be avoided. As shown on Exhibit A, a landscaped filtration area shall capture and filter all irrigation and stormwater runoff from impervious and pervious surfaces. No trash, oil, vehicle parking, or other construction/ development-related material/activities shall be allowed outside any approved construction limits. All construction related activity that may have potential for leakage or intrusion into the MSCP preserve shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the preserve.
- C. Lighting shall not be located within the MSCP preserve. Lighting within approved development areas shall be directed away from the MSCP preserve and shielded if necessary (also refer to Municipal Code Section 142.0740).
- D. Noise: Uses within the site should be designed to minimize noise impacts within the MSCP preserve. Noise is potentially considered excessive if it exceeds 60 dBA hourly LEQ at the edge of the preserve, or the ambient noise level if noise levels already exceed 60 dBA hourly LEQ. Uses or activities that generate excessive noise within occupied wildlife breeding areas during the breeding season of any covered species impacted by excessive noise must be avoided during the breeding season, or, if not possible, incorporate adequate noise reduction measures.
- E. Barriers: As shown on Exhibit A, public access to the MSCP preserve is restricted. Access within the site should be designed to reduce domestic animal predation through use of barriers (e.g. non-invasive vegetation, rocks/boulders, fences, walls and/or signage) as shown on Exhibit A. Barriers/fencing required to be installed between designated private use areas and MSCP preserve/open space/brush management lots or easements shall not be altered, removed or relocated.
- F. Invasives: As shown on Exhibit A, no invasive plant species shall be planted in or adjacent to the MSCP preserve.
- G. Brush Management: As shown on Exhibit A, all Zone 1 brush management areas shall be incorporated within the development footprint and located outside the MSCP preserve. The total width of Zone 1 and Zone 2 brush management zones shall not exceed the maximum allowed by the Landscape Regulations. Clearing of native woody vegetation for Zone 2 brush management within the MSCP preserve shall not exceed 50 percent of existing vegetation cover and shall avoid impacts to covered species to the maximum extent possible.

- H. Grading/Land Development: As shown on Exhibit A, all vegetation removal, grading and construction for development within the site shall be included within of the limits of development and outside the MSCP preserve.

34. MHPA Boundary Line Adjustment (BLA): Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Public Improvement Plans /Permits and/or Building Plans/Permits, the owner/permittee shall depict the MHPA boundary on applicable plan(s) consistent with the Boundary Line Adjustment approved on Exhibit A and the Biological Technical Report.

PLANNING/DESIGN REQUIREMENTS:

35. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

36. Prior to the issuance of any building permit, the applicant shall execute and record a Covenant of Easement over the Environmentally Sensitive Land as outlined on the Exhibit A.

37. Neither the primary dwelling unit nor the junior unit may be sold or conveyed separately from each other; and that the record owner shall reside in the primary dwelling unit or the junior unit. Junior unit shall not be used for a rental term of less than 30 consecutive days.

38. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

39. Prior to the issuance of any building permits, the Owner/Permittee shall finalize Water and sewer capacity charges. Capacity charges, as well as service and meter size, are determined by Water Meter data card which is completed during the building plan review process.

40. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

41. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 29, 2019 and [Approved Resolution Number].

ATTACHMENT 5

Site Development Permit/PTS Approval No.: 599273
Date of Approval: May 29, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Anthony Bernal
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By _____
Daniel Munch
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Attachment 6

RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, on March 19, 2018, Daniel Munch submitted an application to the Development Services Department for a Site Development Permit and Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment for the Toyon Residence Project (Project); and

WHEREAS, the matter was set for a Public Hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on May 29, 2019; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 599273/SCH No. 2019039026 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously

Attachment 6

identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Anthony Bernal, DEVELOPMENT PROJECT MANAGER

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

Site Development Permit and Multi-Habitat Planning Area Boundary Line Adjustment
PROJECT NO. 599273/SCH No. 2019039026

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 599273/SCH No. 2019039026 shall be made conditions of Site Development Permit and Multi-Habitat Planning Area Boundary Line Adjustment as may be further described below.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. GENERAL REQUIREMENTS – PART I

Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is

authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

QUALIFIED BIOLOGIST

Note:

Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) No. 599273/SCH No. 2019039026_and /or Environmental Document No. 599273/SCH No. 2019039026, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc).

Note:

Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

Attachment 6

California Department of Fish and Wildlife
U. S. Fish and Wildlife Service

4. MONITORING EXHIBITS

All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE:

Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
Pre Con Meeting	Request Letter	MMC Approval/ 3 days prior to pre con
Biology	Consultant Qualified Letter	MMC Approval/3 days prior to pre con
Biology	Biology Monitoring Exhibit	
Biology	Protocol or other Survey	
Biology	Limit of Work Verification Letter	MMC Inspection/1 week after Prior to starting work
Final Approval	Request for Final	Final Inspection/ 1 week after request
Bond Release	Request letter	LEMA verification/ 2 week minimal LEMA

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

BIOLOGICAL RESOURCE PROTECTION DURING CONSTRUCTION

I. Prior to Construction

Attachment 6

- A. **Biologist Verification** - The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. **Preconstruction Meeting** - The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. **Biological Documents** - The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.
- D. **BCME** -The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. **Avian Protection Requirements** - To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance.

Attachment 6

The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.

- F. **Resource Delineation** - Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. **Education** - Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- A. **Monitoring**- All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to

Attachment 6

accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSV). The CSV shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.

- B. **Subsequent Resource Identification** - The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

- A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

MITIGATION FOR IMPACTS TO VEGETATION/LAND COVER TYPES

Table 4 Impacts to Vegetation Communities

Tier	Vegetation Community/ Land Cover Type by Oberbauer (Holland Code)	Development (Including BMZ-1)	Brush Management Zone 2	Remaining	Existing
IV	Disturbed Habitat (11300)	0.11	0.03	<0.01	0.14*
II	Coastal Sage-Chaparral Transition (37G00)	0.02	0.13	0.18	0.33
II	Diegan Coastal Sage Scrub (32500)	0.25	0.31	0.48	1.05
Total (acres)		0.38	0.48*	0.66	1.52

*Cumulative rounding of habitat acreages results in 0.01 of table not shown in total calculations

As noted in Table 4 above, the project would be required to mitigate for 0.27 acres of Tier II habitat at a ratio of 1:1 per the City's upland mitigation ratio requirements. The project will mitigate for habitat impacts onsite within the adjacent Multi-Habitat Planning area (MHPA). The project will require a Boundary Line Adjustment (BLA), prior to issuance of any permits.

COASTAL CALIFORNIA GNATCATCHER (Federally Threatened)

1. Prior to the issuance of any grading permit (FOR PUBLIC UTILITY PROJECTS: prior to the preconstruction meeting), the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

NO CLEARING, GRUBBING, GRADING, OR OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR BETWEEN MARCH 1 AND AUGUST 15, THE BREEDING SEASON OF THE COASTAL CALIFORNIA GNATCATCHER, UNTIL THE FOLLOWING REQUIREMENTS HAVE BEEN MET TO THE SATISFACTION OF THE CITY MANAGER:

- A. A QUALIFIED BIOLOGIST (POSSESSING A VALID ENDANGERED SPECIES ACT SECTION 10(a)(1)(A) RECOVERY PERMIT) SHALL SURVEY THOSE HABITAT AREAS WITHIN THE MHPA THAT WOULD BE SUBJECT TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DECIBELS [dB(A)] HOURLY AVERAGE FOR THE PRESENCE OF THE COASTAL CALIFORNIA GNATCATCHER. SURVEYS FOR THE COASTAL CALIFORNIA GNATCATCHER SHALL BE CONDUCTED PURSUANT TO THE PROTOCOL SURVEY GUIDELINES ESTABLISHED BY THE U.S. FISH AND WILDLIFE SERVICE WITHIN THE BREEDING SEASON PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. IF GNATCATCHERS ARE PRESENT, THEN THE FOLLOWING CONDITIONS MUST BE MET:
 - I. BETWEEN MARCH 1 AND AUGUST 15, NO CLEARING, GRUBBING, OR GRADING OF OCCUPIED GNATCATCHER HABITAT SHALL BE PERMITTED. AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; AND

- II. BETWEEN MARCH 1 AND AUGUST 15, NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES WOULD RESULT IN NOISE LEVELS EXCEEDING 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED GNATCATCHER HABITAT. AN ANALYSIS SHOWING THAT NOISE GENERATED BY CONSTRUCTION ACTIVITIES WOULD NOT EXCEED 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED HABITAT MUST BE COMPLETED BY A QUALIFIED ACOUSTICIAN (POSSESSING CURRENT NOISE ENGINEER LICENSE OR REGISTRATION WITH MONITORING NOISE LEVEL EXPERIENCE WITH LISTED ANIMAL SPECIES) AND APPROVED BY THE CITY MANAGER AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON, AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; OR
- III. AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, UNDER THE DIRECTION OF A QUALIFIED ACOUSTICIAN, NOISE ATTENUATION MEASURES (e.g., BERMES, WALLS) SHALL BE IMPLEMENTED TO ENSURE THAT NOISE LEVELS RESULTING FROM CONSTRUCTION ACTIVITIES WILL NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF HABITAT OCCUPIED BY THE COASTAL CALIFORNIA GNATCATCHER. CONCURRENT WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION OF NECESSARY NOISE ATTENUATION FACILITIES, NOISE MONITORING* SHALL BE CONDUCTED AT THE EDGE OF THE OCCUPIED HABITAT AREA TO ENSURE THAT NOISE LEVELS DO NOT EXCEED 60 dB (A) HOURLY AVERAGE. IF THE NOISE ATTENUATION TECHNIQUES IMPLEMENTED ARE DETERMINED TO BE INADEQUATE BY THE QUALIFIED ACOUSTICIAN OR BIOLOGIST, THEN THE ASSOCIATED CONSTRUCTION ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT ADEQUATE NOISE ATTENUATION IS ACHIEVED OR UNTIL THE END OF THE BREEDING SEASON (AUGUST 16).

* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB (A) hourly average or to the ambient noise level if it already exceeds 60 dB (A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

- B. IF COASTAL CALIFORNIA GNATCATCHERS ARE NOT DETECTED DURING THE PROTOCOL SURVEY, THE QUALIFIED BIOLOGIST SHALL SUBMIT SUBSTANTIAL EVIDENCE TO THE CITY MANAGER AND APPLICABLE RESOURCE AGENCIES WHICH DEMONSTRATES WHETHER OR NOT MITIGATION MEASURES SUCH AS NOISE WALLS ARE NECESSARY BETWEEN MARCH 1 AND AUGUST 15 AS FOLLOWS:

- I. IF THIS EVIDENCE INDICATES THE POTENTIAL IS HIGH FOR COASTAL CALIFORNIA GNATCATCHER TO BE PRESENT BASED ON HISTORICAL RECORDS OR SITE CONDITIONS, THEN CONDITION A.III SHALL BE ADHERED TO AS SPECIFIED ABOVE.
- II. IF THIS EVIDENCE CONCLUDES THAT NO IMPACTS TO THIS SPECIES ARE ANTICIPATED, NO MITIGATION MEASURES WOULD BE NECESSARY.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

THE CITY OF SAN DIEGO

Project Name:	Project Number:	Distribution Date:	
Toyon Residence - SDP	599273	03/19/2018	
Project Scope/Location:			
COLLEGE AREA (Process 3) Site Development Permit for Environmentally Sensitive Lands for a new 2-story single family residence with attached junior unit and garage totaling 4,233 sq ft on a vacant lot at 5595 Toyon Road. The 1.51-acre site is in the RS-1-1 within the Multiple Habitat Planning Area within the College Area Community Plan area. Council District 9.			
Applicant Name:		Applicant Phone Number:	
Dan Munch		(619) 933-8914	
Project Manager:	Phone Number:	Fax Number:	E-mail Address:
Paul Godwin	(619) 446-5190	(619) 446-5245	PGodwin@sandiego.gov
Project Issues (To be completed by Community Planning Committee for initial review):			
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Toyon Residence - SDP		Project Number: 599273	Distribution Date: 03/19/2018
Project Scope/Location: COLLEGE AREA (Process 3) Site Development Permit for Environmentally Sensitive Lands for a new 2-story single family residence with attached junior unit and garage totaling 4,233 sq ft on a vacant lot at 5595 Toyon Road. The 1.51-acre site is in the RS-1-1 within the Multiple Habitat Planning Area within the College Area Community Plan area. Council District 9.			
Applicant Name: Dan Munch		Applicant Phone Number: (619) 933-8914	
Project Manager: Paul Godwin	Phone Number: (619) 446-5190	Fax Number: (619) 446-5245	E-mail Address: PGodwin@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Approve With Conditions Listed Below	19	0	0
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: APPROVED AS LONG AS APPLICANT MEETS ALL CITY STAFF RECOMMENDATIONS.			
NAME: Jim Jennings		TITLE: CHAIR PROJECT REVIEW	
SIGNATURE: <i>Jim Jennings</i>		DATE: 6/14/18	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Toyon Residence

Project No. For City Use Only: 599213

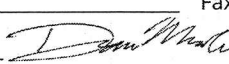
Project Address: 5595 Toyon Road, San Diego, CA 92115

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Dan Munch ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 2909 First Ave #4b
 City: San Diego State: CA Zip: 92103
 Phone No.: 619.933.8914 Fax No.: _____ Email: danmunchmail@gmail.com
 Signature:  Date: 02/23/2018
 Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: Same as above ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: ☐ Yes ☐ No

GENERAL NOTES

THE PROPOSED DESIGN ATTEMPTS TO MINIMIZE THE IMPACT TO THE STEEP SLOPES, SENSITIVE HABITATS AND CANYONS AS MUCH AS POSSIBLE. THE FOOTPRINT OF THE STRUCTURE HAS BEEN ORIENTED TO ALIGN WITH THE CONTOURS OF THE HILLSIDE TO MINIMIZE GRADING. THE AREA OF SITE BEING DEVELOPED (INCLUDING BRUSH MANAGEMENT ZONE #1) HAS BEEN RESTRICTED TO LESS THAN 25% OF THE OVERALL SITE. THE REMAINING AREA OF THE SITE HAS BEEN OFFERED TO BE PLACED IN A COVENANT OF EASEMENT TO ENSURE THE SITE REMAINS IN ITS NATURAL STATE. THE DEVELOPMENT HAS BEEN RESTRICTED TO THE LEAST SENSITIVE AREA THAT IS STILL ACCESSIBLE FROM TOYON ROAD.

1. NO PERMANENT STRUCTURE, SUBSTRUCTURES, TREES OR SHRUBS EXCEEDING 3 FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10 FEET OF ANY PUBLIC SEWER FACILITIES.
2. ALL STRUCTURES, WALLS, THEIR FOOTINGS AND TREES OR SHRUBS EXCEEDING 3 FEET IN HEIGHT AT MATURITY ARE REQUIRED TO BE 10 FEET AWAY FROM ALL PUBLIC SEWER FACILITIES.
3. ALL PUBLIC SEWER FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO'S SEWER DESIGN GUIDE.
4. PRIVATE UNDERGROUND SEWER FACILITIES LOCATED WITHIN THE LOT SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE.
5. THE PROPOSED DWELLING UNIT HAS LESS THAN 5 BEDROOMS. PER SDMC 142.0520, 2 OFF-STREET PARKING SPACES ARE REQUIRED, AND HAVE BEEN PROVIDED. ALSO, THE PROPOSED DRIVEWAY EXCEEDS 20 FEET IN LENGTH.
6. STRUCTURE HEIGHT DOES NOT EXCEED 30 FEET, PER LDC SEC 31.0231, TABLE 131-02C.
7. PER SEC. 143.0142 A.3, A MAXIMUM OF 25 PERCENT OF THE SITE AREA (16,509 SF) MAY BE ENCRASURED UPON TO ACHIEVE THE ALLOWABLE DEVELOPMENT AREA. THIS AREA INCLUDES ALL ACTS OF DEVELOPMENT LISTED IN SEC. 113.0103 INCLUDING THE CLEARING REQUIRED IN BRUSH MANAGEMENT ZONE 1.
8. PRIOR TO ISSUANCE OF ANY PERMIT, INCLUDING GRADING OR BUILDING, PURSUANT TO LDC SEC. 143.0152A, THE OWNER SHALL RECORD A COVENANT OF EASEMENT SATISFACTORY TO THE CITY, IN COMPLIANCE WITH LDC SEC. 143.0152A.

FIRE DEPARTMENT NOTES

1. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM, WITH KNOX KEYSWITCH OVERRIDE, SATISFACTORY TO THE FIRE MARSHAL, SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO THE PROJECT.
2. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.

WATER NOTES

1. NEW SERVICE CONNECTIONS TO THE CAST-IRON WATER MAIN WILL REQUIRE A CUT-IN CONNECTION.
2. NEW WATER SERVICE AND METER MUST BE LOCATED OUTSIDE ANY DRIVEWAY OR VEHICULAR USE AREA.
3. ALL WATER SERVICES TO THE SITE, INCLUDING DOMESTIC, IRRIGATION AND FIRE, WILL REQUIRE PRIVATE ABOVE GROUND BACK FLOW PREVENTION DEVICES (BFPDS).
4. ALL PROPOSED PUBLIC WATER FACILITIES, INCLUDING SERVICES AND METERS, MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES PERTAINING THERETO.
5. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF NEW WATER SERVICES OUTSIDE OF ANY DRIVEWAY AND THE DISCONNECTION AT THE BUILDING MAINS FROM ANY EXISTING UNUSED WATER SERVICE. IF ANY, ADJACENT TO THE PROJECT SITE, IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR AND THE CITY ENGINEER. IN ADDITION, THE OWNER WILL BE REQUIRED TO DO A CUT-IN CONNECTION AND PAY A SPECIAL COST WHICH WILL BE DETERMINED DURING FINAL ENGINEERING PLAN CHECK.
6. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES ON EACH WATER SERVICE SERVING THE PROJECT IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR AND THE CITY ENGINEER.
7. PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY, PUBLIC WATER FACILITIES NECESSARY TO SERVE THE DEVELOPMENT, INCLUDING SERVICES, SHALL BE COMPLETE AND OPERATIONAL IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR AND THE CITY ENGINEER.
8. THE OWNER AGREES TO DESIGN AND CONSTRUCT ALL PROPOSED PUBLIC WATER FACILITIES IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND CITY REGULATION, STANDARDS AND PRACTICES PERTAINING THERETO. PUBLIC WATER FACILITIES, AS SHOWN ON APPROVED EXHIBIT 'A', SHALL BE MODIFIED AT FINAL ENGINEERING TO COMPLY WITH STANDARDS.
9. PLUMBING FIXTURES SHALL MEET THE CALGREEN REQUIREMENTS AS FOLLOWS: KITCHEN FAUCETS: MAX 1.5 GPM AT 60 PSI; STANDARD DISHWASHERS: 4.25 GPC; COMPACT DISHWASHERS: 3.5 GPC; AND CLOTHES WASHERS: WATER FACTOR OF 6 GAL PER CU FEET OF DRUM CAPACITY.

LANDSCAPING / BRUSH MANAGEMENT ZONE NOTES

1. ALL GRADED, DISTURBED OR ERODED AREAS SHALL BE PERMANENTLY PLANTED FOR A PERIOD OF OVER 90 CALENDAR DAYS.
2. BRUSH MANAGEMENT ZONE #1 SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION. ZONE 2 SHALL BE MEASURED BETWEEN ZONE 1 AND THE UNDISTURBED NATIVE OR NATURALIZED VEGETATION AND SHALL BE MEASURED FROM THE EDGE OF ZONE 1 THAT IS FARTHEST FROM THE HABITABLE STRUCTURE. TO THE EDGE OF UNDISTURBED VEGETATION.
3. REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE ARE NECESSARY TO MINIMIZE THE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES AND OTHER NATURAL HAZARDS SUCH AS EROSION AND SLOPE FAILURES. BECAUSE EACH PROPERTY IS UNIQUE, ESTABLISHING A PRECISE MAINTENANCE SCHEDULE IS NOT FEASIBLE. HOWEVER, FOR EFFECTIVE FIRE AND WATERSHED MANAGEMENT, PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE.
4. BRUSH MANAGEMENT ZONE #1: ZONE 1 IS THE MOST CRITICAL AREA FOR FIRE AND WATERSHED SAFETY. ALL ORNAMENTAL PLANTINGS SHOULD BE KEPT WELL WATERED AND ALL IRRIGATION WATER SHOULD DRAIN TOWARD THE STREET. RAIN GUTTERS AND DRAINAGE PIPES SHOULD BE CLEANED REGULARLY AND ALL LEAVES REMOVED FROM THE ROOF BEFORE THE FIRE SEASON BEGINS. ALL PLANTING PARTICULARLY NON-IRRIGATED NATIVES AND LARGE TREES SHOULD BE REGULARLY PRUNED TO ELIMINATE DEAD FUELS, TO REDUCE EXCESSIVE FUEL AND TO PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.
5. BRUSH MANAGEMENT ZONE #2: ZONE 2 SHOULD INCLUDE REMOVAL OF DEAD WOODY PLANTS, ERADICATION OF WEEDY SPECIES AND PERIODIC PRUNING AND THINNING OF TREES AND SHRUBS. REMOVAL OF WEEDS SHOULD NOT BE DONE WITH HAND TOOLS SUCH AS HOES, AS THIS REMOVES VALUABLE SOIL. THE USE OF WEED TRIMMERS OR OTHER TOOLS WHICH RETAIN SHORT STUBBLE THAT PROTECTS THE SOIL IS RECOMMENDED. NATIVE SHRUBS SHOULD BE PRUNED IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL-PRUNED HEALTHY SHRUBS SHOULD TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE LIVE AND DEAD FUEL ON SLOPES. ALL DRAINING DEVICES MUST BE KEPT CLEAR. RE-INSPECT AFTER EACH MAJOR STORM SINCE MINOR SOIL SLIPS CAN BLOCK DRAINS. VARIOUS GROUNDCOVERS SHOULD BE PERIODICALLY SHEARED AND THATCH REMOVED (INCLUDES GRASSES AND SOME ICE PLANTS). DISEASED AND DEAD WOOD SHOULD BE PRUNED FROM TREES. FERTILIZING TREES AND SHRUBS IS NOT TYPICALLY RECOMMENDED AS THIS MAY STIMULATE EXCESSIVE GROWTH. HOWEVER, A LIGHT APPLICATION OF BALANCED FERTILIZER, MAY BE BENEFICIAL IN PRODUCING NEW GROWTH WHEN SEVERELY PRUNING OLD SHRUBS AND WOOD GROUND COVERS.
6. BRUSH MANAGEMENT ZONE #2 SHALL BE MAINTAINED BY HOME OWNER.
7. PRIOR TO THE ISSUANCE OF CONSTRUCTION PERMITS FOR GRADING, THE OWNER SHALL SUBMIT LANDSCAPE CONSTRUCTION DOCUMENTS FOR THE RE-VEGETATION AND HYDRO-SEEDING OF ALL DISTURBED LAND IN ACCORDANCE WITH THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT. ALL PLANS SHALL BE IN SUBSTANTIAL CONFORMANCE TO THIS PERMIT (INCLUDING ENVIRONMENTAL CONDITIONS) AND EXHIBIT 'A' ON FILE IN THE OFFICE OF THE DEVELOPMENT SERVICES DEPARTMENT.
8. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR BUILDINGS, THE OWNER SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS CONSISTENT WITH THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. THE CONSTRUCTION DOCUMENTS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH EXHIBIT 'A' LANDSCAPE DEVELOPMENT PLAN, ON FILE IN THE OFFICE OF THE DEVELOPMENT SERVICES DEPARTMENT.
9. PRIOR TO FINAL INSPECTION, IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR SUBSEQUENT OWNER TO INSTALL ALL REQUIRED LANDSCAPE.
10. THE OWNER SHALL MAINTAIN ALL LANDSCAPE IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR TOPPING OF TREES IS NOT PERMITTED. THE TREES SHALL BE MAINTAINED IN A SAFE MANNER TO ALLOW EACH TREE TO GROW TO ITS MATURE HEIGHT AND SPREAD.
11. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS.
12. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURE, ETC) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY LANDSCAPE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR PRIOR TO THE PERFORMANCE OF FINAL LANDSCAPE INSPECTION.
13. PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS FOR GRADING, THE OWNER SHALL ENSURE THAT ALL PROPOSED LANDSCAPING, ESPECIALLY LANDSCAPING ADJACENT TO NATIVE HABITAT AND/OR MHPA, SHALL NOT INCLUDE EXOTIC PLANT SPECIES THAT MAY BE INVASIVE TO NATIVE HABITATS. PLANT SPECIES FOUND WITHIN THE CA INVASIVE PLANT LANDSCAPE STANDARDS SHALL NOT BE PERMITTED.
14. PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS FOR GRADING, THE OWNER SHALL ENSURE THAT ALL EXISTING, INVASIVE PLANT SPECIES, INCLUDING VEGETATIVE PARTS AND ROOT SYSTEMS, SHALL BE COMPLETELY REMOVED FROM THE DEVELOPMENT AREA OF THE PREMISES WHEN THE COMBINATION OF SPECIES TYPE, LOCATION AND SURROUNDING ENVIRONMENTAL CONDITIONS PROVIDES A MEANS FOR THE SPECIES TO INVADE OTHER AREAS OF NATIVE PLANT MATERIAL THAT ARE ON OR OFF OF THE PREMISES.
15. THE OWNER SHALL IMPLEMENT THE FOLLOWING REQUIREMENTS IN ACCORDANCE WITH THE MODIFIED BRUSH MANAGEMENT PROGRAMS SHOWN ON EXHIBIT 'A' BRUSH MANAGEMENT PLAN ON FILE IN THE OFFICE OF THE DEVELOPMENT SERVICES DEPARTMENT.
16. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR GRADING, LANDSCAPE CONSTRUCTION DOCUMENTS REQUIRED FOR THE CONSTRUCTION PERMIT SHALL BE SUBMITTED SHOWING BRUSH MANAGEMENT ZONE ONE ON THE PROPERTY IN SUBSTANTIAL CONFORMANCE WITH EXHIBIT 'A'.
17. PRIOR TO ISSUANCE ANY CONSTRUCTION PERMITS, A COMPLETE SET OF BRUSH MANAGEMENT CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL TO THE DEVELOPMENT SERVICES DEPARTMENT AND THE FIRE MARSHAL. THE CONSTRUCTION DOCUMENTS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH EXHIBIT 'A' AND SHALL COMPLY WITH THE UNIFORM FIRE CODE, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND THE LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS SEC. 142.0142.
18. WITHIN ZONE ONE, COMBUSTIBLE ACCESSORY STRUCTURES (INCLUDING, BUT NOT LIMITED TO DECKS, TRELLISES, GAZEBOS, ETC) SHALL NOT BE PERMITTED WHILE NON-COMBUSTIBLE ACCESSORY STRUCTURES MAY BE APPROVED WITHIN THE DESIGNATED ZONE ONE AREA SUBJECT TO FIRE MARSHAL AND DEVELOPMENT SERVICES DEPARTMENT APPROVAL.
19. IN ZONE ONE, PLANT MATERIAL SHALL BE SELECTED TO VISUALLY BLEND WITH THE EXISTING HILLSIDE VEGETATION. NO INVASIVE PLANT MATERIAL SHALL BE PERMITTED AS JOINTLY DETERMINED BY THE LANDSCAPE ANALYSIS SECTION (LAS) AND THE ENVIRONMENTAL ANALYSIS SECTION (EAS).
20. PRIOR TO FINAL INSPECTION AND ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE APPROVED BRUSH MANAGEMENT PROGRAM SHALL BE IMPLEMENTED. THE MODIFIED BRUSH MANAGEMENT PROGRAM SHALL BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS.

WATER QUALITY NOTES

1. THE PROJECT IS WITHIN A "WATER QUALITY SENSITIVE AREA" AND SHALL BE REQUIRED TO TREAT THE STORMWATER RUNOFF FOR THE DEVELOPED PORTION OF THE SITE PRIOR TO DISCHARGING IN TO THE ADJUTING STREETS.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE2, DIVISION 1 OF THE SDMC, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCC), THE WPCC SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

JUNIOR UNIT

1. PER SDMC 141.0302 B.1, NO ADDITIONAL OFF-STREET PARKING SPACE IS REQUIRED.
2. PER SDMC 141.0302 B.2, HE PROPOSED JUNIOR UNIT HAS A SEPARATE EXTERIOR ENTRY WITH AN INTERIOR CONNECTION TO THE MAIN LIVING AREA AND INCLUDES AN EFFICIENCY KITCHEN.
3. PRIOR TO THE BUILDING PERMIT BEING ISSUED, THE OWNER SHALL ENTER IN TO AN AGREEMENT WITH THE CITY IN A FORM THAT IS APPROVED BY THE CITY ATTORNEY WHICH SHALL INCLUDE THE FOLLOWING PROVISIONS: THAT NEITHER THE PRIMARY DWELLING UNIT NOR THE JUNIOR UNIT MAY BE SOLD OR CONVENED SEPARATELY FROM EACH OTHER AND THAT THE RECORD OWNER SHALL RESIDE IN THE PRIMARY DWELLING UNIT OR THE JUNIOR UNIT.
4. THE JUNIOR UNIT SHALL NOT BE USED FOR A RENTAL TERM OF LESS THAN 30 CONSECUTIVE DAYS.

BEST MANAGEMENT PRACTICES NOTES

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT CALIFORNIA REGIONAL QUALITY CONTROL BOARD. SAN DIEGO REGION, ORDER NO. 2001.01 NPDES NO. CAS010875 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.

1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED IN TO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY.
2. ALL STOCKPILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER THAN 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS, WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY ANY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST DERISION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

I, THE UNDERSIGNED, AS OWNER OF THE PROPERTY DESCRIBED AS 5605 TOYON ROAD, SAN DIEGO, CA UNDERSTAND THAT IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE LAND DEVELOPMENT STORM WATER STANDARDS, THIS PROJECT IS REQUIRED TO IDENTIFY POLLUTANTS FROM THE PROJECT AREA AND INCORPORATE "SITE DESIGN" AND "SOURCE CONTROL" BMP'S.

I CERTIFY TO THE BEST OF MY KNOWLEDGE POLLUTANTS ANTICIPATED BY THE PROPOSED LAND USE ARE AS FOLLOWS:

- SEDIMENTS
- NUTRIENTS
- TRASH/DEBRIS
- OIL/GREASE
- BACTERIA/VIRUSES
- PESTICIDES

I WILL INCORPORATE THE FOLLOWING INTO THE SITE DESIGN:

- MAINTAIN PRE-DEVELOPMENT RUNOFF CHARACTERISTICS
- MINIMIZE IMPERVIOUS FOOT PRINT BY CONSTRUCTING WALKS, PATIOS & DRIVEWAYS WITH POROUS SURFACES
- CONSERVE NATURAL AREAS
- USE NATURAL DRAINAGE SYSTEMS AS OPPOSED TO LINED SWALES OR UNDERGROUND DRAINAGE SYSTEMS
- DRAIN ROOFTOPS, WALKS, PATIOS AND DRIVES INTO ADJACENT LANDSCAPING PRIOR TO DISCHARGING TO THE PUBLIC DRAINAGE SYSTEM.
- PRESERVE EXISTING NATIVE TREES AND SHRUBS
- PROTECT ALL SLOPES FROM EROSION
- MINIMIZE THE USE OF PESTICIDES
- USE EFFICIENT IRRIGATION SYSTEMS AND LANDSCAPE DESIGN. INCORPORATING RATE SHUTOFF DEVICES AND FLOW REDUCERS.

I WILL MAINTAIN THE ABOVE STANDARD PERMANENT BMP'S IN PERPETUITY.

DAN A MUNCH (SIGNATURE)

DATE

NOTES:

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATION) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS AND SPECIFICATIONS.

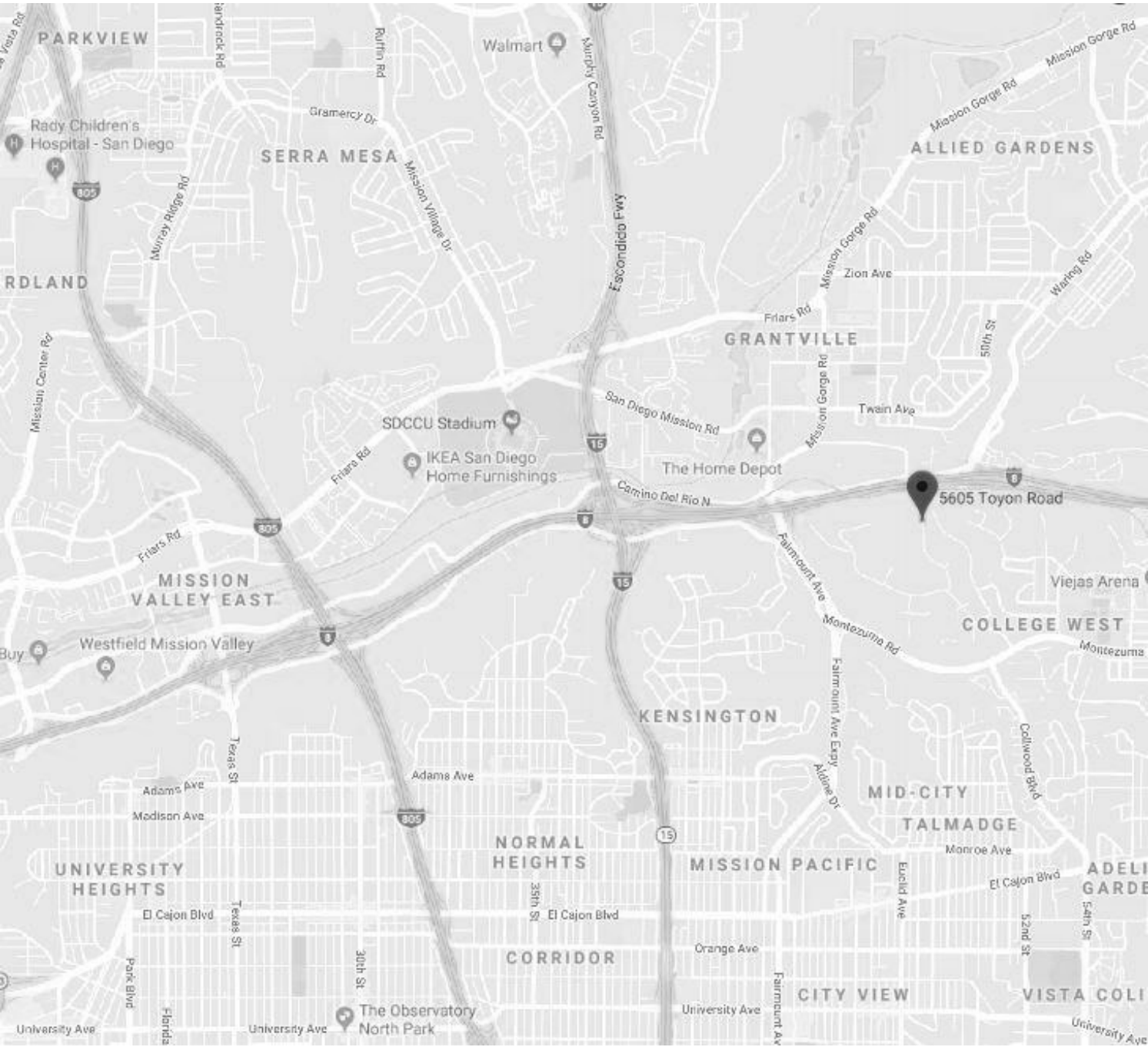
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCC). THE WPCC SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

PLUMBING FIXTURE SYNOPSIS

Appliances, Appurtenances or Fixtures	Minimum Fixture Branch Pipe Size	Private	Public	Assembly	X	# Fixtures Added	# Fixtures Removed	# Fixtures Remaining	TOTAL ACROSS ±
Bathtub or Combination Bath/Shr (fill)	1/2"	4.0	4.0	-	X	2			8
3/4" Bathtub Fill Valve	3/4"	10.0	10.0	-	X				
Bidet	1/2"	1.0	-	-	X				
Clothes Washer, domestic	1/2"	4.0	4.0	-	X	1			4
Dental Unit, cuspidor	1/2"	-	1.0	-	X				
Dishwasher, domestic	1/2"	1.5	1.5	-	X	2			3
Drinking Fountain or Water Cooler	1/2"	0.5	0.5	0.75	X				
Hose Bib	1/2"	2.5	2.5	-	X	1			2.5
Hose Bib, each additional	1/2"	1.0	1.0	-	X	1			1
Lavatory	1/2"	1.0	1.0	1.0	X	6			6
Lawn Sprinkler, each head	-	1.0	1.0	-	X	4			4
Mobile Home, each (Minimum)	-	12.0	-	-	X				
Bar Sink	1/2"	1.0	2.0	-	X	1			1
Clinic Faucet Sink	1/2"	-	3.0	-	X				
Clinic Flushometer Valve with or without faucet	1"	-	8.0	-	X				
Kitchen Sink, domestic	1/2"	1.5	1.5	-	X	2			3
Laundry Sink	1/2"	1.5	1.5	-	X	1			1.5
Service Sink or Mop Basin	1/2"	1.5	3.0	-	X				
Washup Sink, each set of faucets	1/2"	-	2.0	-	X				
Shower, per head	1/2"	2.0	2.0	-	X	5			10
Urinal, 1.0 GPF Flushometer Valve	3/4"	3.0	4.0	5.0	X				
Urinal, greater than 1.0 GPF Flush V.	3/4"	4.0	5.0	6.0	X				
Urinal, flush tank	1/2"	2.0	3.0	3.0	X				
Washfountain, circular spray	3/4"	-	4.0	-	X				
Wtr Closet, 1.6 GPF Gravity Tank	1/2"	2.5	2.5	3.5	X	5			15
Wtr Closet, 1.6 GPF Flushomtr Valve	1/2"	2.5	2.5	3.5	X				
Wtr Closet, 1.6 GPF Flushomtr Valve	1"	5.0	5.0	8.0	X				
Wtr Closet, >1.6 GPF Gravity Tank	1/2"	3.0	5.5	7.0	X				
Wtr Closet, >1.6 GPF Flushomtr Valve	1"	7.0	8.0	10.0	X				
Other Water Requirements				GPM for					
Total Fixture Units > Show NET change in demand (for non-residential) use ONLY)									59

For Explanations, see 2010 California Plumbing Code, page 318.

VICINITY PLAN



PROJECT TEAM

OWNER/ARCHITECT:

DAN MUNCH
2909 FIRST AVE #4B
SAN DIEGO, CA 92103
619.933.8914

SOILS ENGINEER:

TERRAPACIFIC CONSULTANTS, INC.
4010 MORENA BOULEVARD, SUITE 108
SAN DIEGO, CA 92117
858.521.1190

BIOLOGICAL SURVEY:

RINCON CONSULTANTS, INC
2215 FARADAY AVENUE, SUITE A
CARLSBAD, CA 92008
619.204.5792

NESTING BIRD DISCLOSURE

Nesting birds may be present during construction, and are protected under US and State Law including the Federal Migratory Bird Treaty Act and in particular; CA Law - Fish and Game Code - Section 3503. CDFG Code 3503 states: "It is unlawful to take, possess, or needlessly destroy the nest or eggs of any bird, except as otherwise provided by this code or any regulation made pursuant thereto." The intent of these comments are to alert the property owner/agent that they are responsible for compliance with these laws, and that they may be subject to fines/prosecution should the laws be violated.

CONDITIONS OF APPROVAL

1. Prior to the issuance of any construction permits (either grading or building), the Owner/ Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
2. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
3. Prior to issuance of the first building permit, the Owner/Permittee shall assure by permit and bond the improvement of the project frontage along Toyon Road, with curb, gutter and the construction of one 12 foot wide driveway consistent with current City Standards, satisfactory to the City Engineer.
4. Prior to the issuance of any building permit, the applicant shall execute and record in favor of the City a hold harmless and/or indemnification agreement for the approved development, as necessary and appropriate info Only (Condition of SDP).
5. The project does not propose to export any material from the project site. If in the course of construction, any material is exported, it shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
6. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
7. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
8. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
9. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCC). The WPCC shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards. (New Issue)

Sheet List	
Sheet Number	Sheet Name
G0.1	TITLE SHEET
G0.2	RENDERINGS
A0.1	SITE ANALYSIS
A0.2	SITE MHPA BOUNDARY ADJUSTMENT
A1.0	SITE PLAN
A1.1	GRADING PLAN / TOPOGRAPHIC
A1.2	SITE SECTIONS
A1.3	LANDSCAPE PLAN
A1.4	BRUSH MANAGEMENT NOTES
A2.1	FLOOR PLANS
A3.1	ELEVATIONS

PROJECT ADDRESS:

5595 TOYON ROAD
SAN DIEGO, CA 92115

EXISTING USE

VACANT LAND
GEOLOGIC HAZARD: 53
NO EXISTING EASEMENTS
NO ADJACENT TRANSIT STOPS

PROPOSED SCOPE OF WORK

SDP - SITE DEVELOPMENT PERMIT
3,170 SF SINGLE FAMILY RESIDENCE. (3 BEDROOM, 4 BATH) WITH
499 SF ATTACHED JUNIOR UNIT AND
554 SF TWO CAR GARAGE.
NEW LANDSCAPING, POOL/HOT TUB, PATIO PAVING AND
CONCRETE DRIVEWAY

APN: 461-430-09-00

LEGAL DESCRIPTION

LOT 25 OF ALVARADO UNIT NO. 2 IN THE CITY OF SAN DIEGO
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. ACCORDING TO
MAP THEREOF NO. 2823, FILED IN THE OFFICE OF THE COUNTY
RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1951.

ZONING CLASSIFICATION

RS-1-1

AIRPORT INFLUENCE AREA (MONTGOMERY FIELD),
ENVIRONMENTALLY SENSITIVE LANDS
STEEP HILLSIDES
SENSITIVE VEGETATION
MULTIPLE HABITAT PLANNING AREA (MHPA 114)
PARKING IMPACT,
FIRE BRUSH ZONE,
FIRE HAZARD SEVERITY ZONE

F.A.R.

4,223 SF / 66,040 SF = 0.064 (MAX 0.45)

MAX HEIGHT

30 FEET (24' PROPOSED)

SETBACKS

FRONT = 25'
SIDE = 0.08 x 275' = 22.0'
REAR = 25'

APPLICABLE BUILDING CODES

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA FIRE CODE (CFC)
2016 BUILDING ENERGY EFFICIENCY STANDARDS
(TITLE 24)
NFPA 13D (FIRE SPRINKLERS)

TYPE OF CONSTRUCTION

TYPE V - SPRINKLERED S13R
R-3 OCCUPANCY
60 FT MAX HEIGHT (24 FT PROPOSED)
4 STORIES MAX (2 PROPOSED)
UL AREA

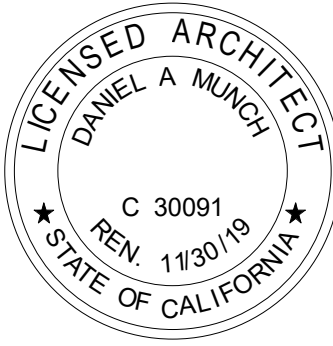
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature



NOT FOR
CONSTRUCTION

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/1/2018	S.D.P. SUBMITTAL #5

SITE DEVELOPMENT
PERMIT

Project Name
5595 TOYON ROAD RESIDENCE (PTS 599273)
Project Number

Description
TITLE SHEET

Scale
As indicated

.G0.1

TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature



NOT FOR
CONSTRUCTION

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/1/2018	S.D.P. SUBMITTAL #5

SITE DEVELOPMENT
PERMIT

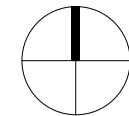
Project Name

5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

RENDERINGS

Scale



.G0.2



VIEW FROM SOUTHWEST CORNER



VIEW FROM SOUTHEAST CORNER



VIEW FROM NORTHEAST CORNER



VIEW FROM NORTHWEST CORNER

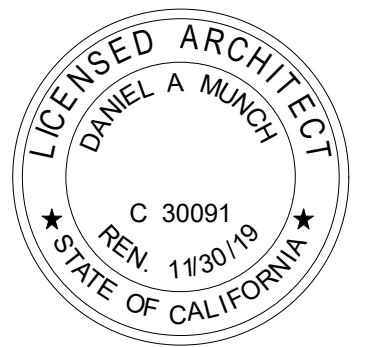
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature



SITE SLOPE ANALYSIS

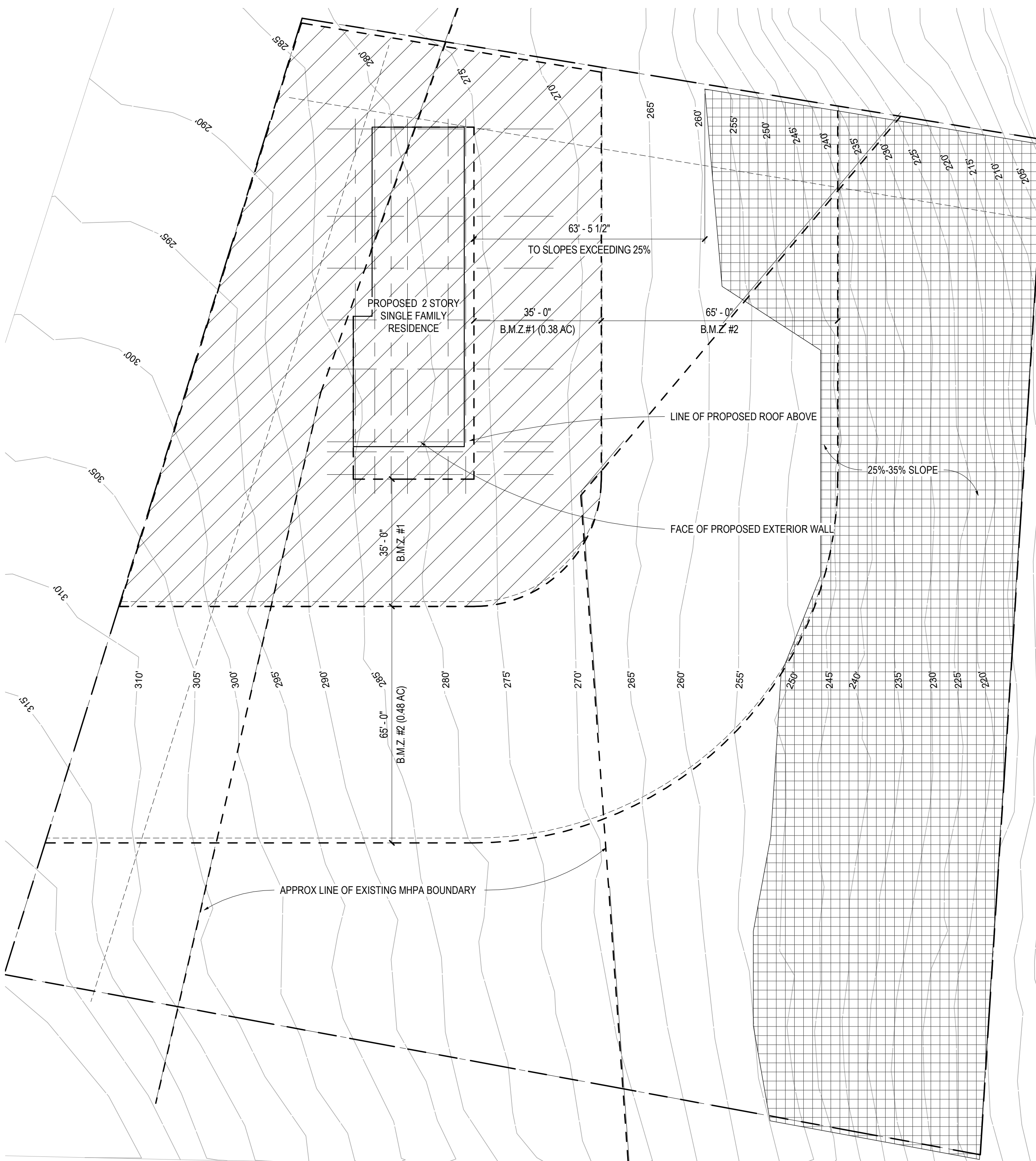
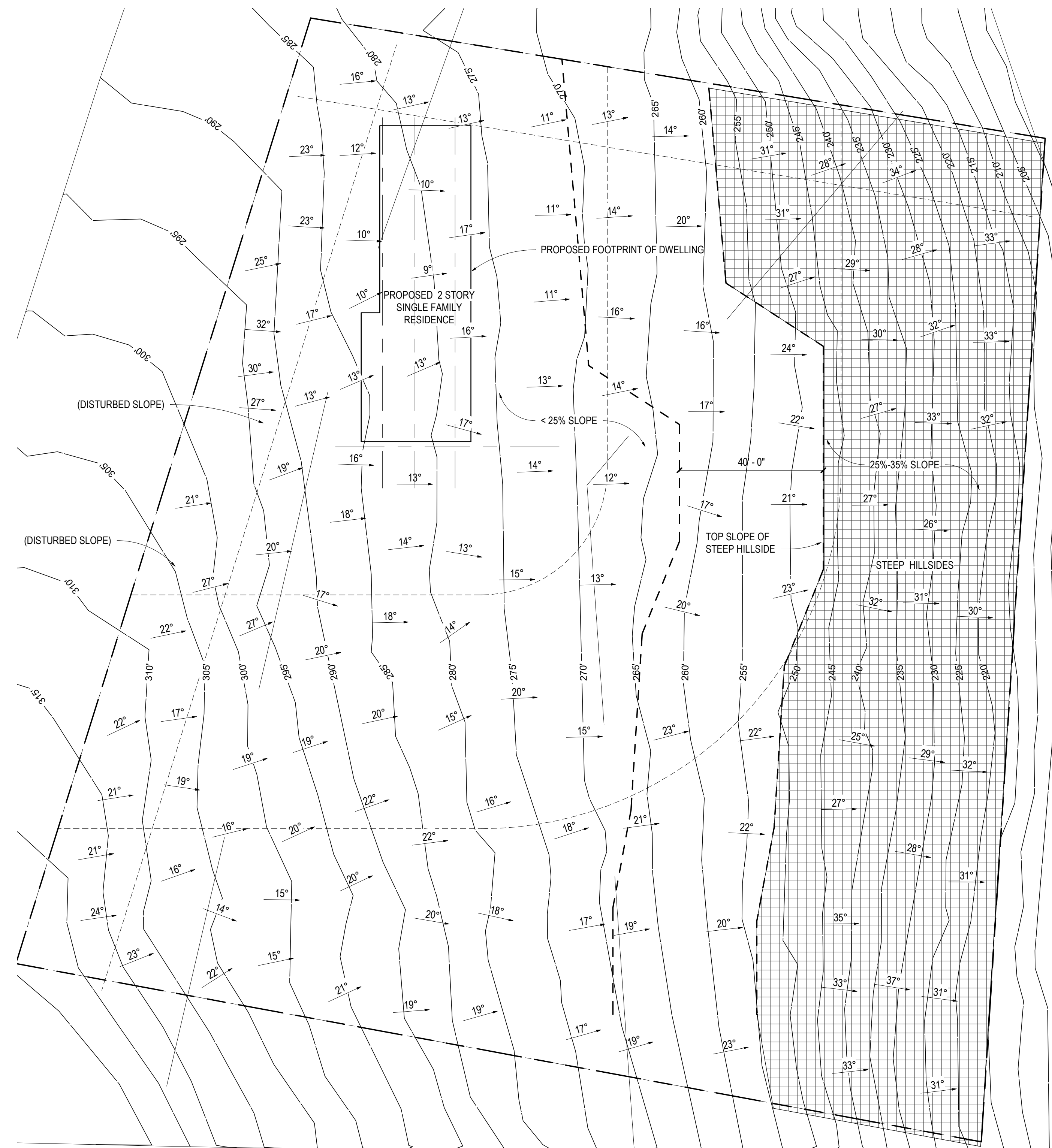
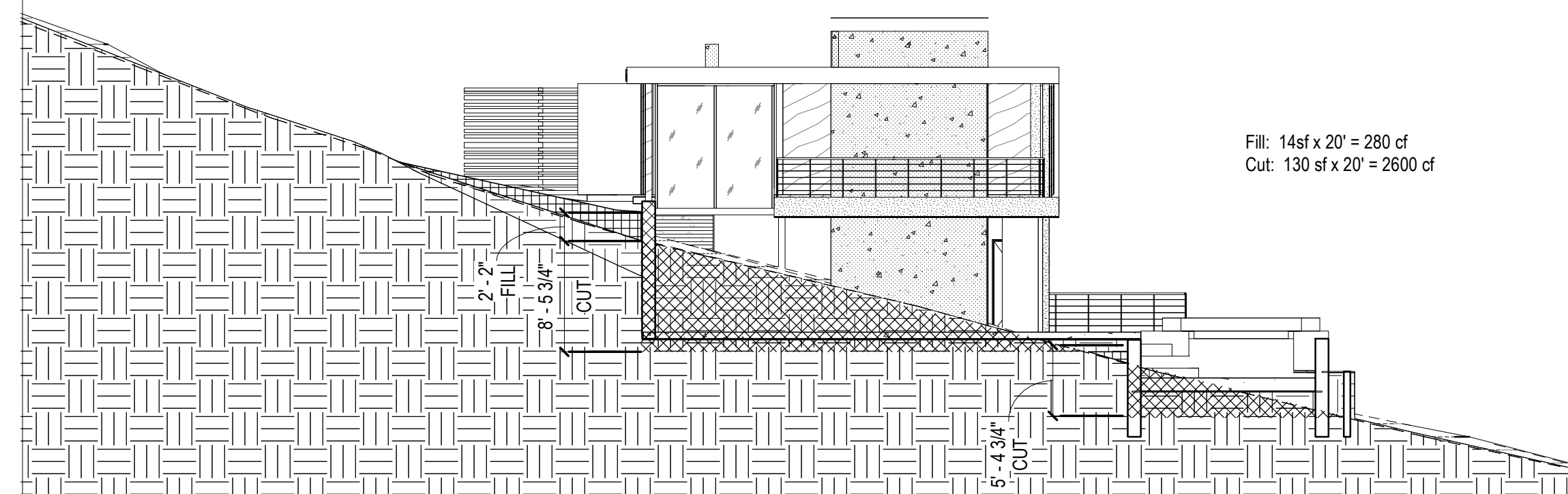
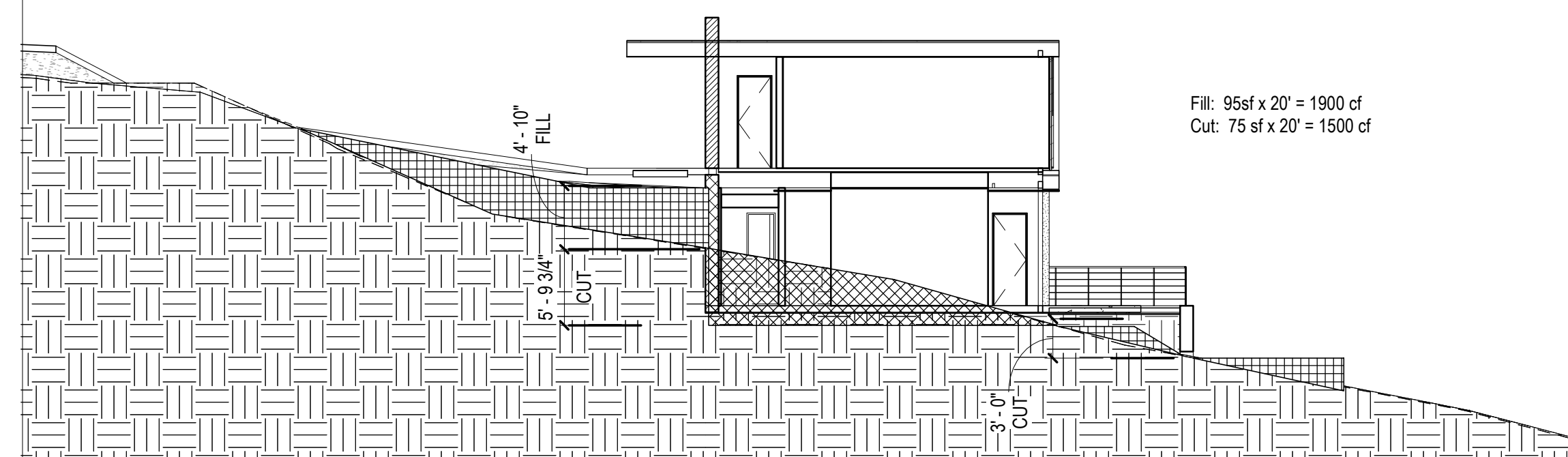
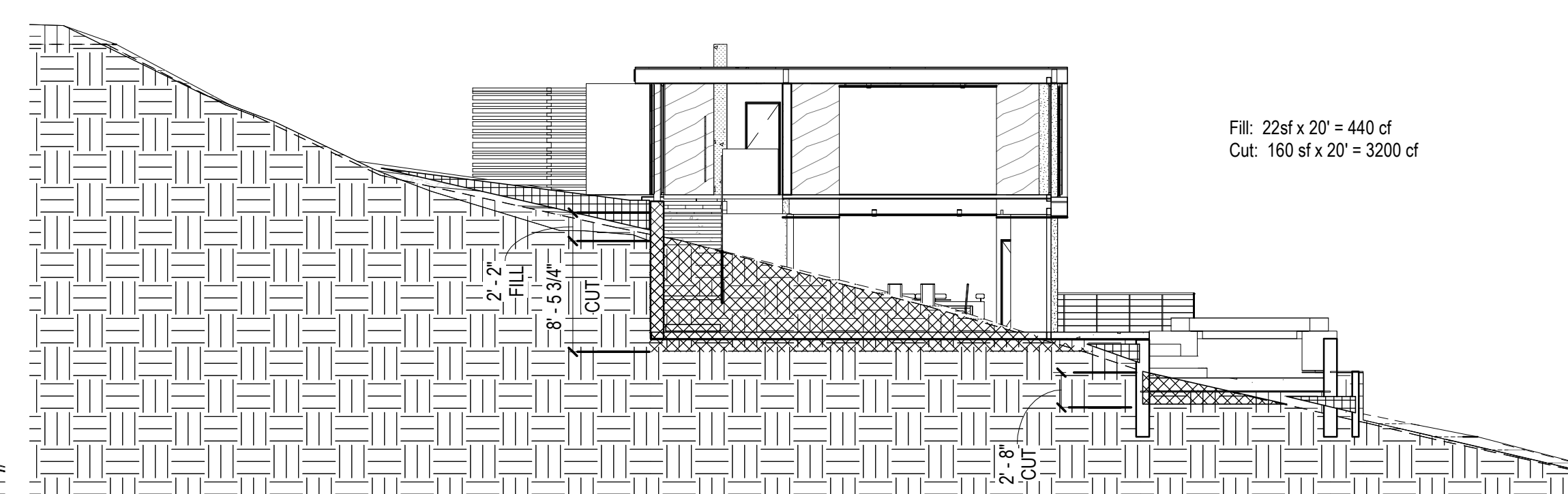
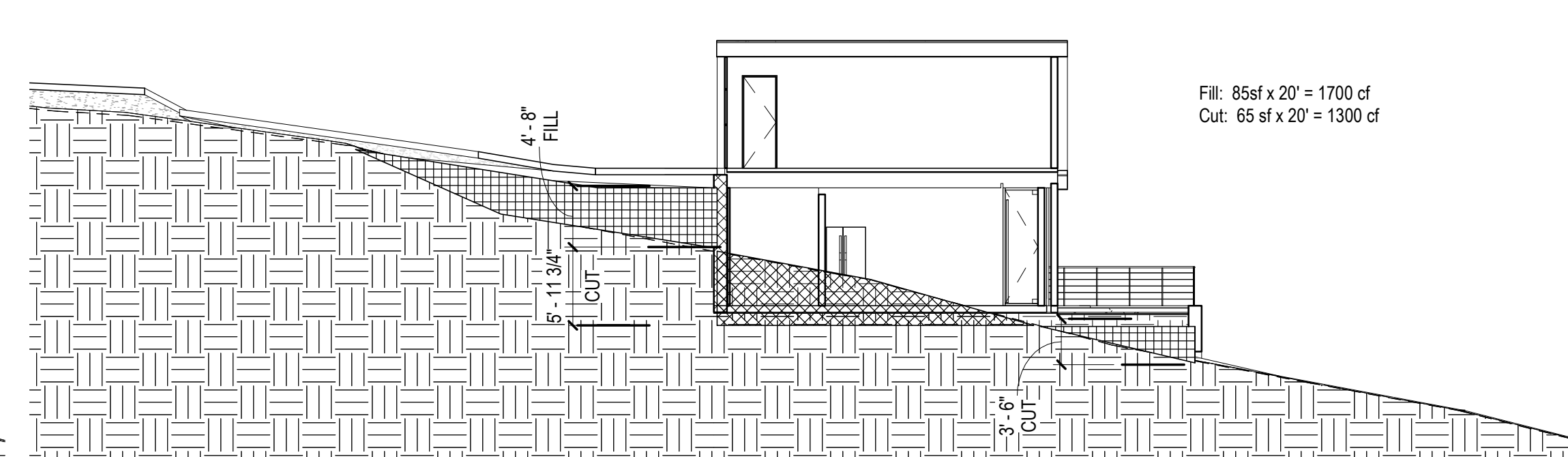
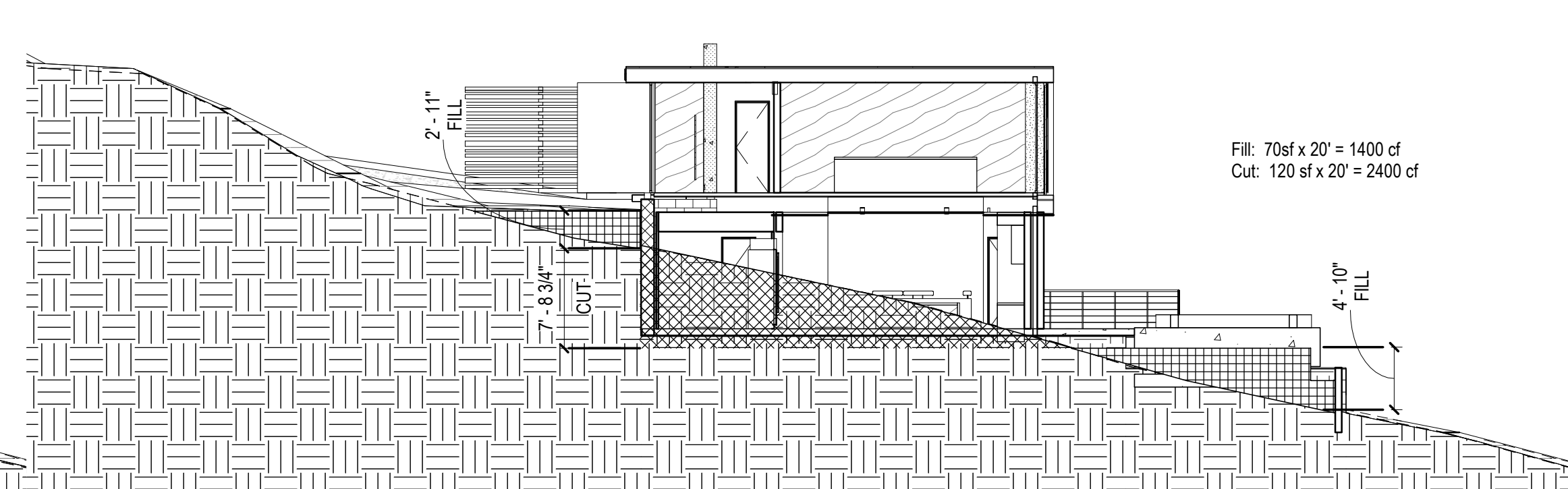
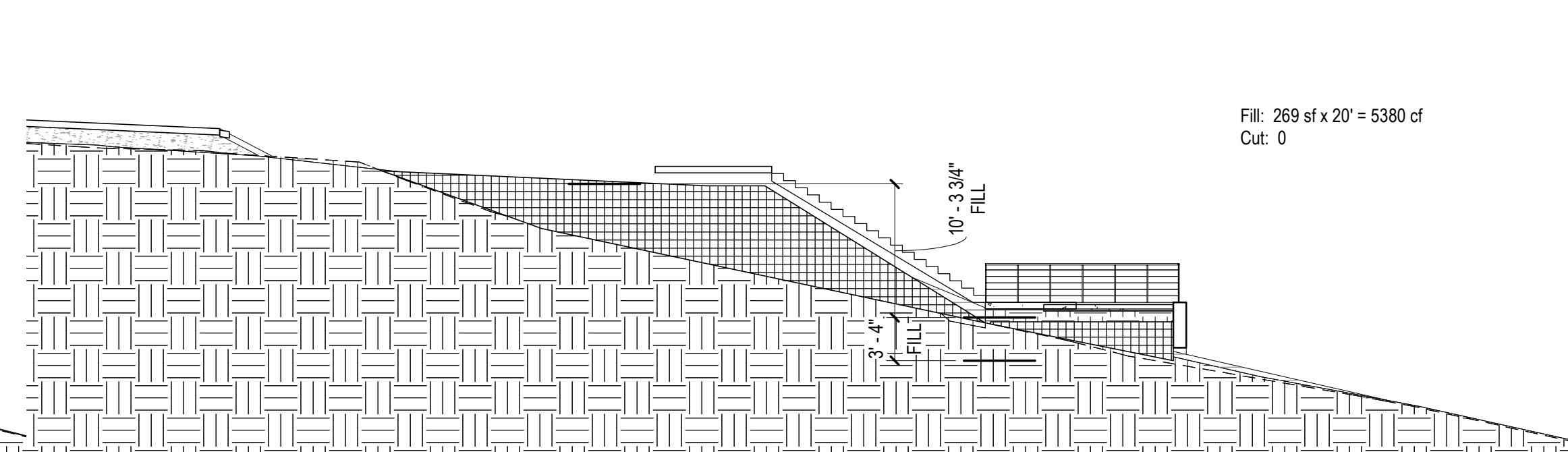
AREA OF SITE LESS THAN 25% SLOPE: 20,150 SF (31%)

AREA OF SITE EXCEEDING 25% SLOPE: 45,890 SF (69%)

AREA OF DEVELOPMENT: 16,500 SF (25% OF TOTAL SITE)

NOT FOR
CONSTRUCTION

CUT/FILL ANALYSIS

Fill: 11,100 cu yd / 27 = 411 cubic yards
Cut: 11,100 cu yd / 27 = 411 cubic yards2 SITE PLAN - BRUSH MANAGEMENT PLAN
SCALE: 1" = 20'-0"1 SITE PLAN - SLOPE ANALYSIS
SCALE: 1" = 20'-0"Fill: 14sf x 20' = 280 cf
Cut: 130 sf x 20' = 2600 cfFill: 95sf x 20' = 1900 cf
Cut: 75 sf x 20' = 1500 cfFill: 22sf x 20' = 440 cf
Cut: 160 sf x 20' = 3200 cfFill: 85sf x 20' = 1700 cf
Cut: 65 sf x 20' = 1300 cfFill: 70sf x 20' = 1400 cf
Cut: 120 sf x 20' = 2400 cfFill: 269 sf x 20' = 5380 cf
Cut: 0

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/1/2018	S.D.P. SUBMITTAL #5

SITE DEVELOPMENT
PERMIT

Project Name

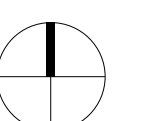
5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

SITE ANALYSIS

Scale

As indicated



A0.1

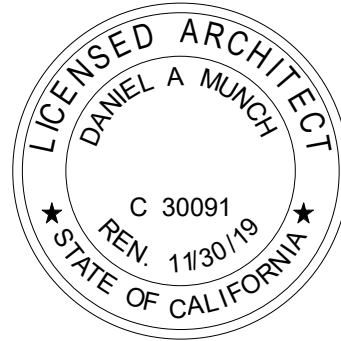
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature



NOT FOR
CONSTRUCTION

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/12/2018	S.D.P. SUBMITTAL #5

SITE DEVELOPMENT
PERMIT

Project Name

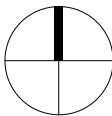
5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

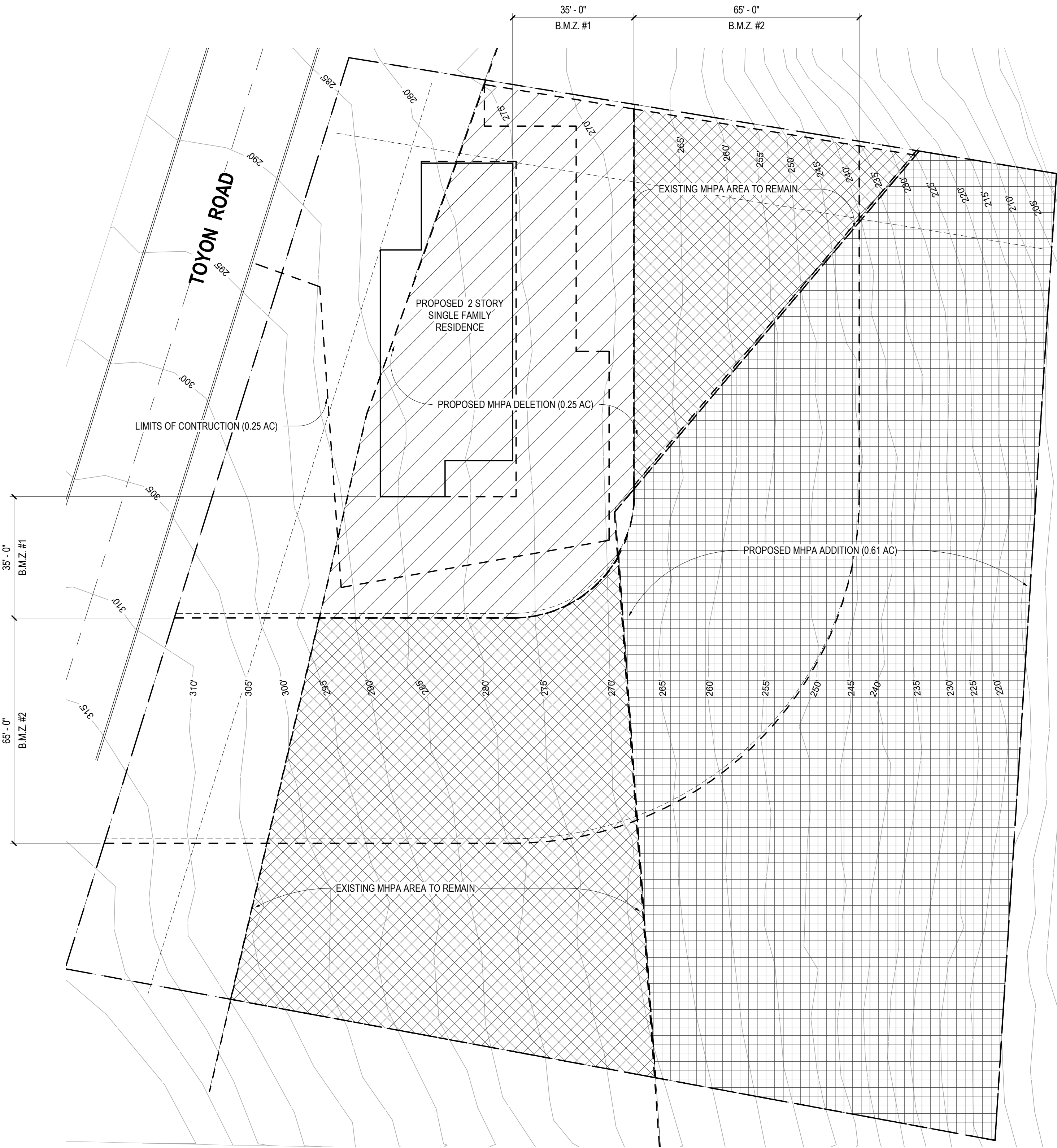
SITE MHPA BOUNDARY ADJUSTMENT

Scale

1" = 20'-0"

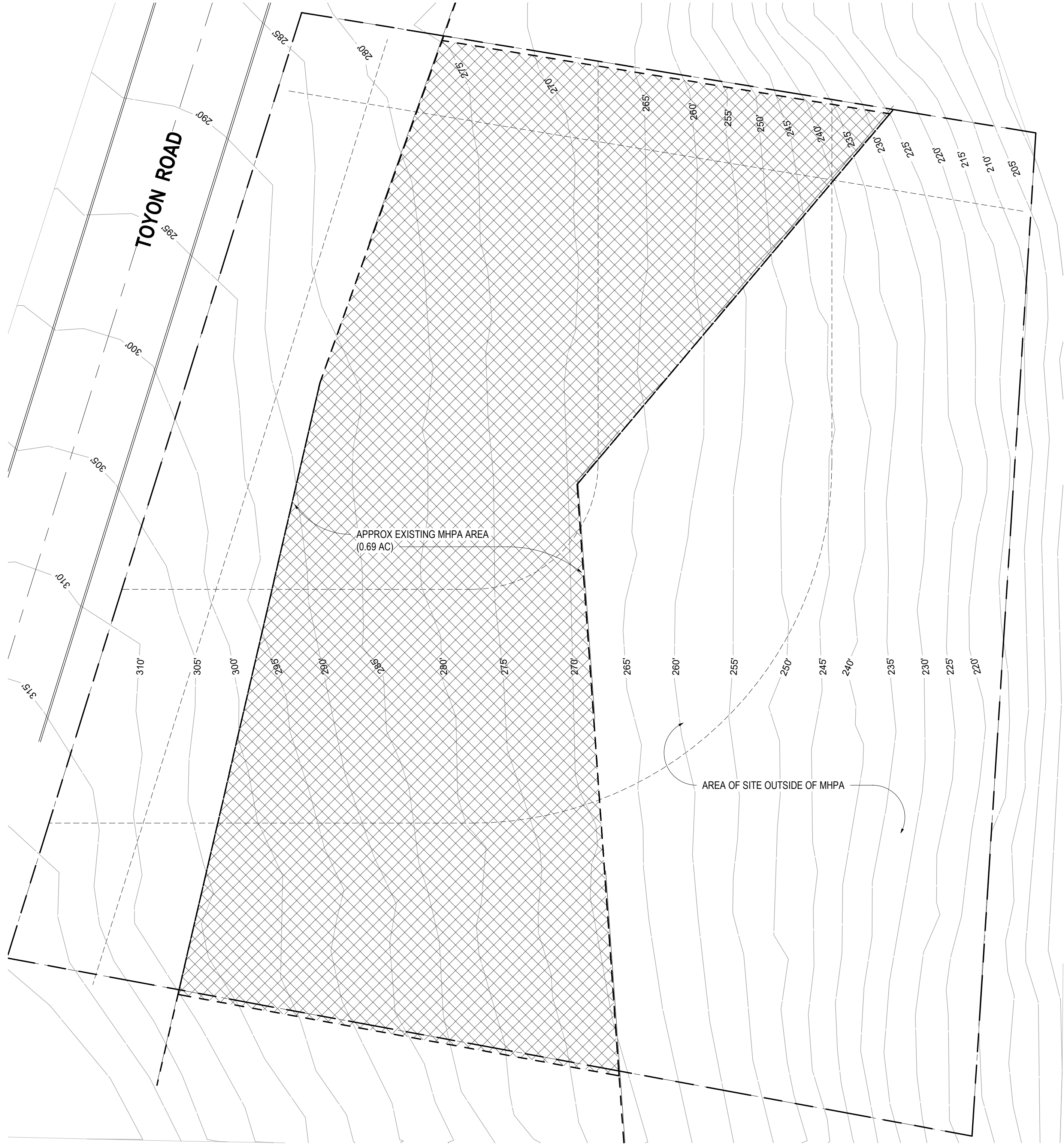


A0.2



02 SITE PLAN - MHPA BOUNDARY (PROPOSED)

SCALE: 1" = 20'-0"



01 SITE PLAN - MHPA BOUNDARY (EXISTING)

SCALE: 1" = 20'-0"

MHPA AREA ANALYSIS

AREA OF SITE WITHIN MHPA BOUNDARIES: 0.69 AC (45% OF SITE)

PROPOSED DELETION OF MHPA AREA : 0.25 SF (16% OF SITE)

PROPOSED ADDITION TO MHPA AREA: 0.61 (40% OF SITE)

FINAL AREA PROPOSED TO BE PLACED IN COVENANT OF EASEMENT: 1.03 (68% OF SITE)

NOTE: DEVELOPMENT AREA (INCLUDING BRUSH MANAGEMENT ZONE #1) HAS BEEN LIMITED TO 25% MAX OF THE OVERALL SITE

MHPA GENERAL NOTES

- All lighting shall be directed away from the MHPA and shielded as much as possible per §142.0740.
- Due to the overall slope of the site, drainage cannot be directed away from the MHPA. All runoff will flow into sedimentation basin, grassy swales or mechanical trapping devices prior to draining into the MHPA.
- No invasive non-native plant species shall be planted in or adjacent to the MHPA.
- All manufactured slopes and Brush Management Zone #1 areas have been included within the development footprint and remains outside of the proposed MHPA area.
- Brush Management Zone #2 is considered "impact neutral" and allowed within the MHPA.
- Access to the MHPA, if any, should be directed to minimize impacts and reduce impacts associated with domestic pet predation.
- Due to the site's location adjacent to (could also be within) the MHPA, construction noise will need to be avoided, if possible, during the breeding season of the California gnatcatcher (3/1-8/15). If construction is proposed during the breeding season for the species, U.S. Fish and Wildlife Service protocol surveys will be required in order to determine species presence/absence. If the species is/are not identified within the MHPA, no additional measures will be required. If present, measures to minimize noise impacts will be required and should include temporary noise walls/benches. If a survey is not conducted and construction is proposed during the species' breeding season, presence would be assumed and a temporary wall/benches would be required. Noise levels from construction activities during the bird breeding season should not exceed 60 dBA hourly LEQ at the edge of the occupied MHPA, or the ambient noise level if noise levels already exceed 60 dBA hourly LEQ.

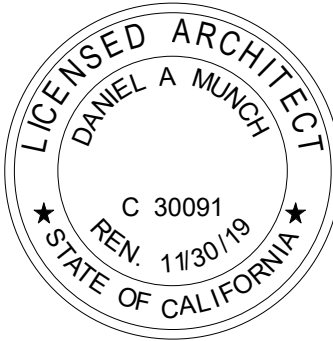
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature



NOT FOR
CONSTRUCTION

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/12/2018	S.D.P. SUBMITTAL #5

SITE DEVELOPMENT
PERMIT

Project Name

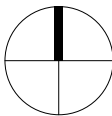
5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

SITE PLAN

Scale

1" = 10'-0"



A1.0

SITE KEYNOTES

- EXISTING SEWER MANHOLE TO REMAIN (M.H.#9) I.E. 289.40'
- PROPOSED NEW 12" WIDE DRIVEWAY (MIN 2" THICK ASPHALTIC CONCRETE)
- PROPOSED EXTERIOR STAIRWAY
- PROPOSED CURBOUT LOCATION
- EDGE OF ROOF
- LINE OF BRUSH MANAGEMENT ZONE #1 (35 FEET)
- LINE OF BRUSH MANAGEMENT ZONE #2 (65 FEET)
- PROPOSED HOT TUB & POOL
- NON-COMBUSTIBLE PATIO PAVING
- PROPOSED BIO-FILTRATION AREA
- EXTERIOR FACE OF WALL
- PROPOSED 8' HIGH MHPA BOUNDARY FENCE
- LINE OF ROOF EDGE
- SETBACK LINE
- PROPERTY LINE
- EXISTING CURB LINE
- LINE OF EXISTING MHPA BOUNDARY, TO BE ADJUSTED PER A1.2
- NATURAL VEGETATION TO REMAIN, TYP
- EXISTING TREE (GREATER THAN 15' TALL AND 15' WIDE) TO REMAIN
- AREA OF HARDSCAPE WITHIN FRONT YARD SETBACK = 108 SF (60% / 1,480 SF MAX)
- ARCHITECTURAL SCREENWALL (8' TALL)
- EXISTING FIRE HYDRANT
- LIMIT OF WORK / SCOPE
- 10'-0" HIGH PRIVACY WALL. FINISH TO BE WHITE STEEL-TROWELED PLASTER TO MATCH ADJACENT ATTACHED STRUCTURE
- PROPOSED ROOF DRAIN DISCHARGE TO STREET
- EXISTING 8" V.C. SEWER LINE PER CITY OF SAN DIEGO ENGINEERING DEPT DRAWING #1901-D DATED 6/25/52
- VISIBILITY TRIANGLE (10' LONG PARALLEL AND PERPENDICULAR TO PROPERTY LINE). NO FENCE OR SHRUB SHALL BE HIGHER THAN 24 INCHES. NO WALLS SHALL EXCEED 36 INCHES IN HEIGHT
- NEW ENTRY STEP PAVING
- EXISTING POWER POLE
- PROPOSED LOCATION OF BFP
- PROPOSED SEWER LATERAL (I.E. 273.2' APPROX)
- TOP OF SLOPE OF STEEP HILLSIDE
- HATCHED AREA REPRESENTS NEW MHPA COVENANT OF EASEMENT
- EXTERIOR SUMP PUMP, DISCHARGING TO LANDSCAPED FILTRATION AREA
- TRENCH DRAIN, DISCHARGING TO LANDSCAPED FILTRATION AREA
- ROOF DOWNSPOUT, DISCHARGING TO LANDSCAPED FILTRATION AREA
- EXISTING 8" PVC WATER IN STREET. (PER DWG #34421-11-D)
- EXISTING 1" WATER SERVICE WITHIN EXISTING METER BOX TO REMAIN IN PLACE
- NEW CONCRETE SWALE, SLOPED TOWARDS SUMP BASIN

SITE AREAS

EXISTING PERVIOUS SITE AREA:	66,040 SF (100%)
PROPOSED CONCRETE PATIO PAVING:	750 SF (1.13%)
PROPOSED POOL/HOT TUB AREA:	710 SF (1.07%)
PROPOSED CONCRETE DRIVEWAY:	540 SF (0.08%)
PROPOSED CONCRETE STAIRS:	60 SF (0.009%)
PROPOSED ROOF AREA:	2910 SF (4.4%)
TOTAL PROPOSED IMPERVIOUS AREA:	4,970 SF (7.52%)

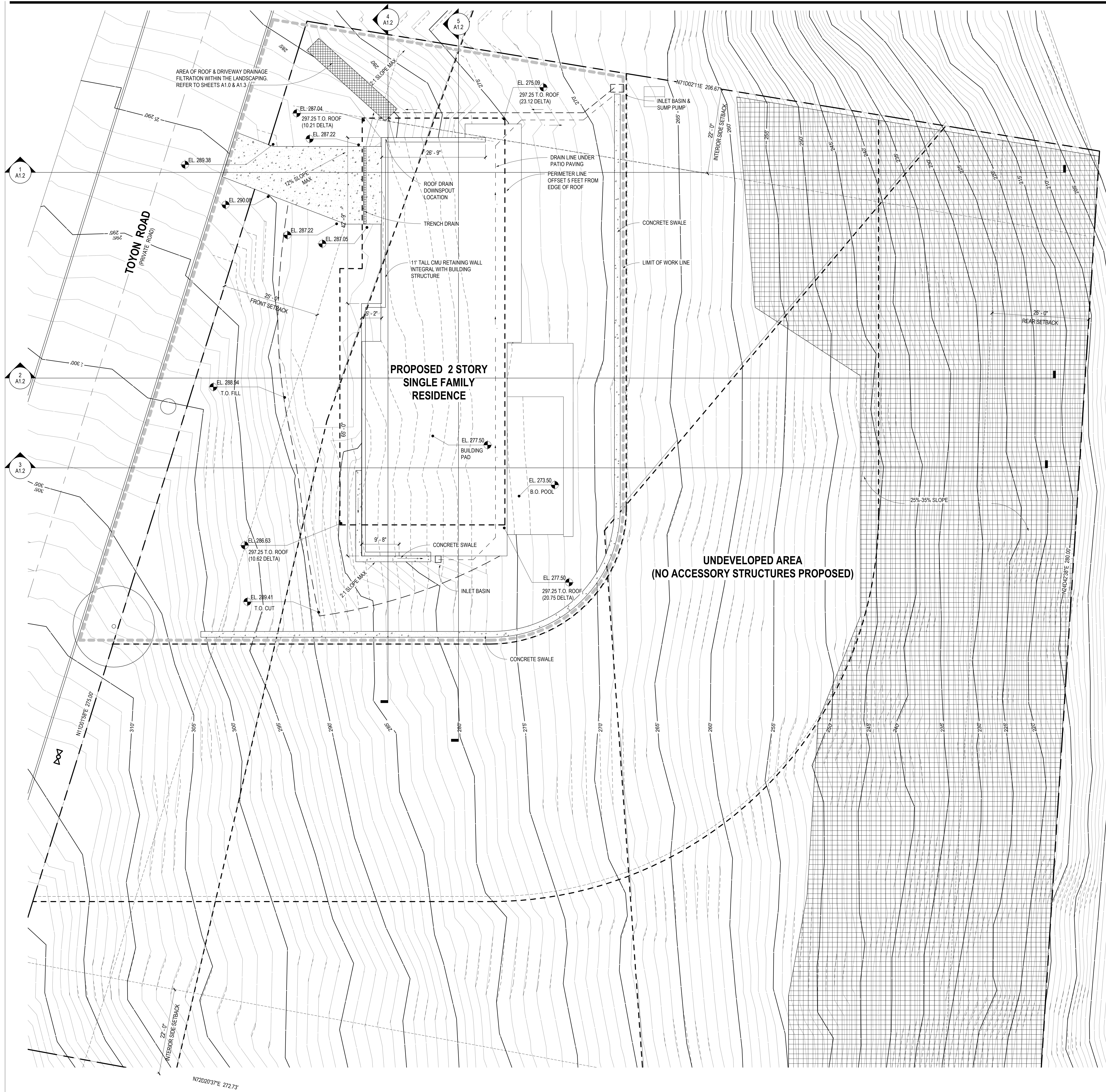
PARKING ANALYSIS

REQUIRED / PROVIDED PARKING:	2 SPACES
PER TABLE 142-05B	

SITE NOTES

- All legal parking areas and access driveway to required parking shall be surfaced with asphaltic concrete at least 2 inches in depth or its equivalent, satisfactory of the City Engineer.
- Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water standards.
- All water services to the site, including domestic, irrigation and fire, will require private, above ground back flow prevention devices (BFPDs). BFPDs are typically located on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

UNDEVELOPED AREA
(NO ACCESSORY STRUCTURES PROPOSED)



TOTAL AMOUNT OF SITE AREA TO BE GRADED:

9,940 SF
15% OF TOTAL SITE

AMOUNT OF CUT

411 CUBIC YARDS (SEE SHEET A0.1)
MAX 7 FEET DEPTH
MAX 9 FEET HEIGHT OF CUT SLOPE
RATIO OF SLOPE: 2 TO 1 MAX

AMOUNT OF FILL

411 CUBIC YARDS (SEE SHEET A0.1)
MAX 6 FEET DEPTH
MAX 5 FEET HEIGHT OF FILL SLOPE
RATIO OF SLOPE: 2 TO 1 MAX

AMOUNT OF IMPORT/EXPORT

BALANCED SITE

RETAINING WALLS

150 LIN FT, 11 FT TALL, INTEGRATED WITH
BUILDING STRUCTURE (PART OF BUILDING
PERMIT)

GRADING NOTES

1. All manufactured slopes must be included within the development footprint and outside the MHPA.
2. This project will not discharge any increase in storm water run-off onto the existing hillside areas.

SURVEY NOTES

1. SURVEY PREPARED BY CHRISTENSEN ENGINEERING AND SURVEY, DATED 7-25-18.
2. BENCHMARK LOCATED AT THE NORTHEASTERLY CORNER OF TOYON ROAD AND YERBA SANTA DRIVE. ELEVATION 394.68' MEAN SEA LEVEL (N.G.V.D. 1929)

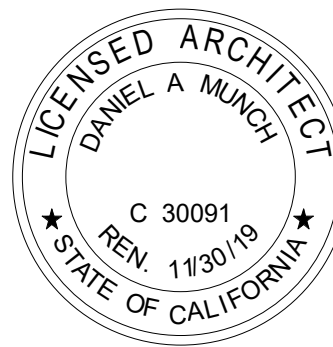
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature



**NOT FOR
CONSTRUCTION**

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/1/2018	S.D.P. SUBMITTAL #5

**SITE DEVELOPMENT
PERMIT**

Project Name

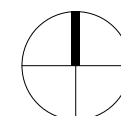
5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

GRADING PLAN / TOPOGRAPHIC

Scale

As indicated



A1.1

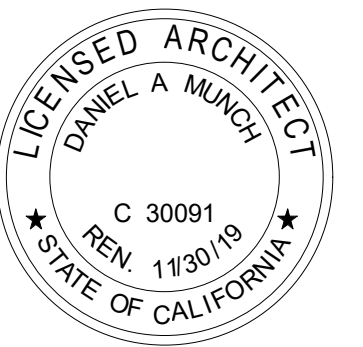
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature

**NOT FOR
CONSTRUCTION**

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/1/2018	S.D.P. SUBMITTAL #5

**SITE DEVELOPMENT
PERMIT**

Project Name

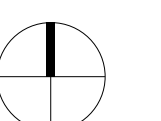
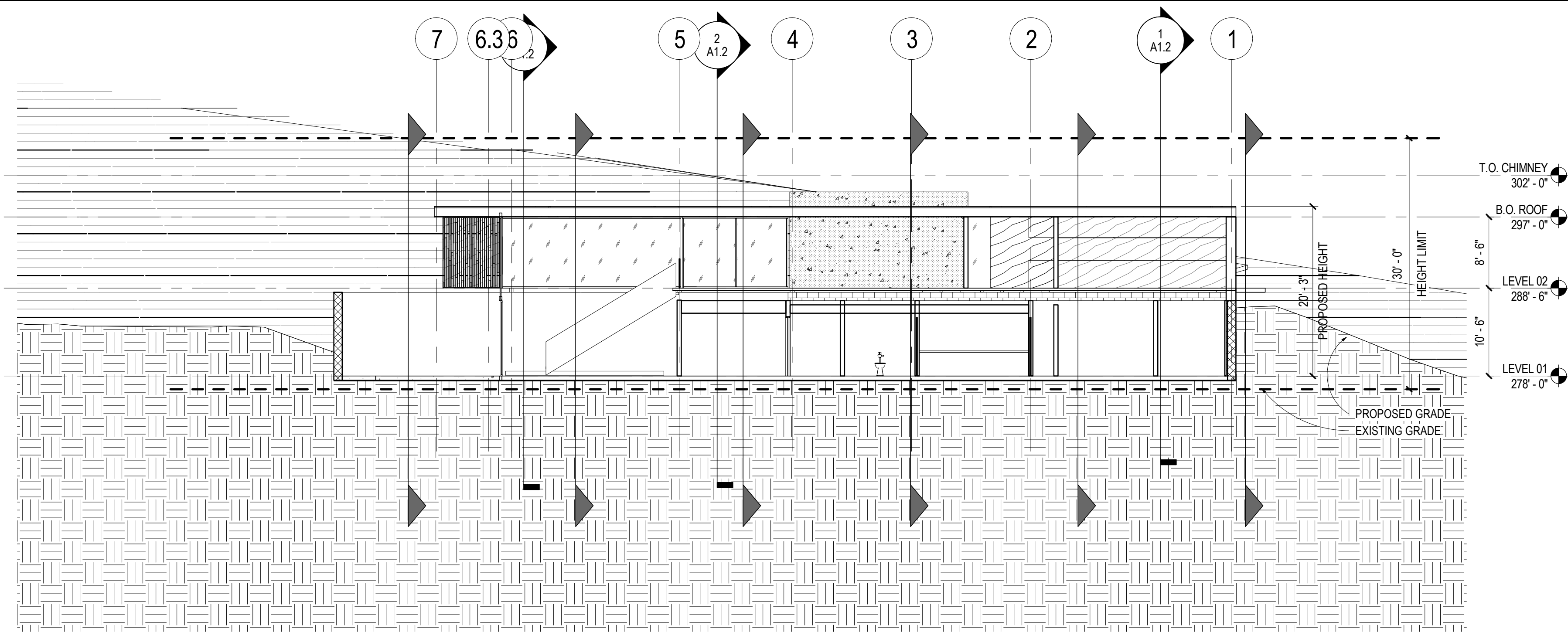
5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

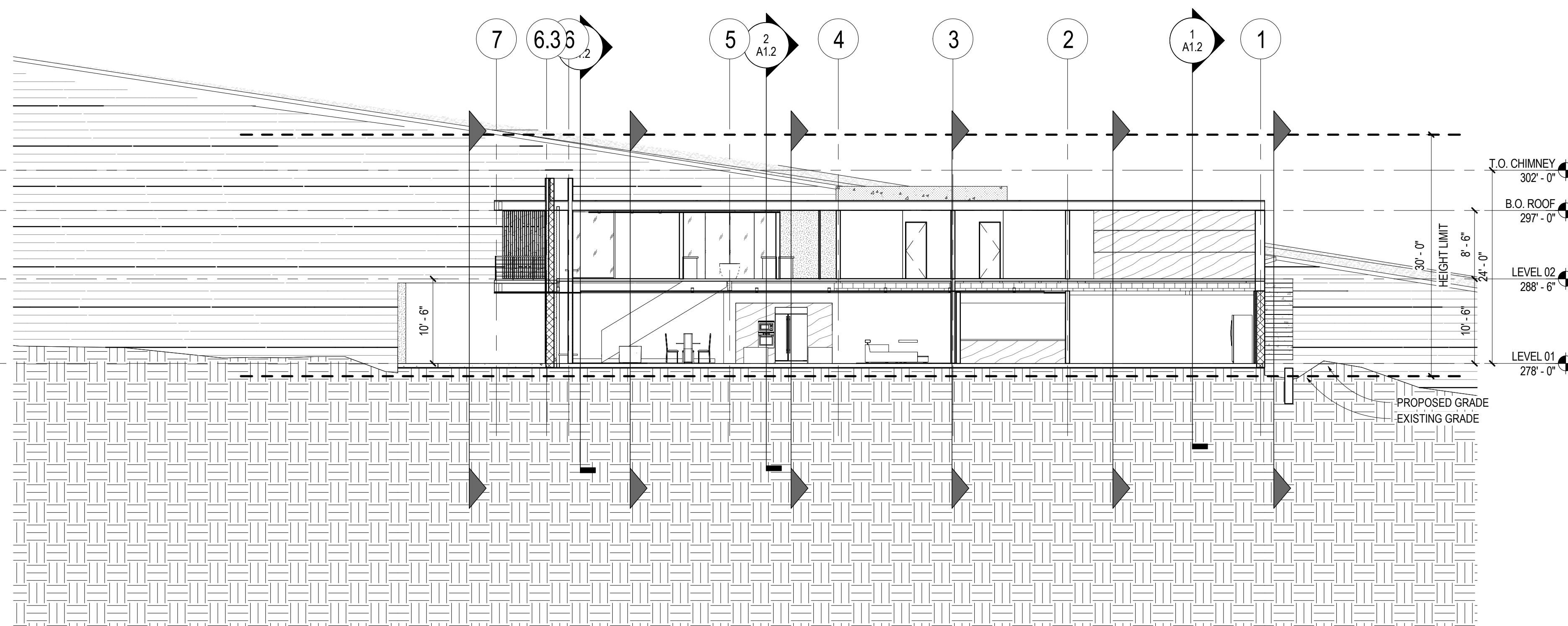
SITE SECTIONS

Scale

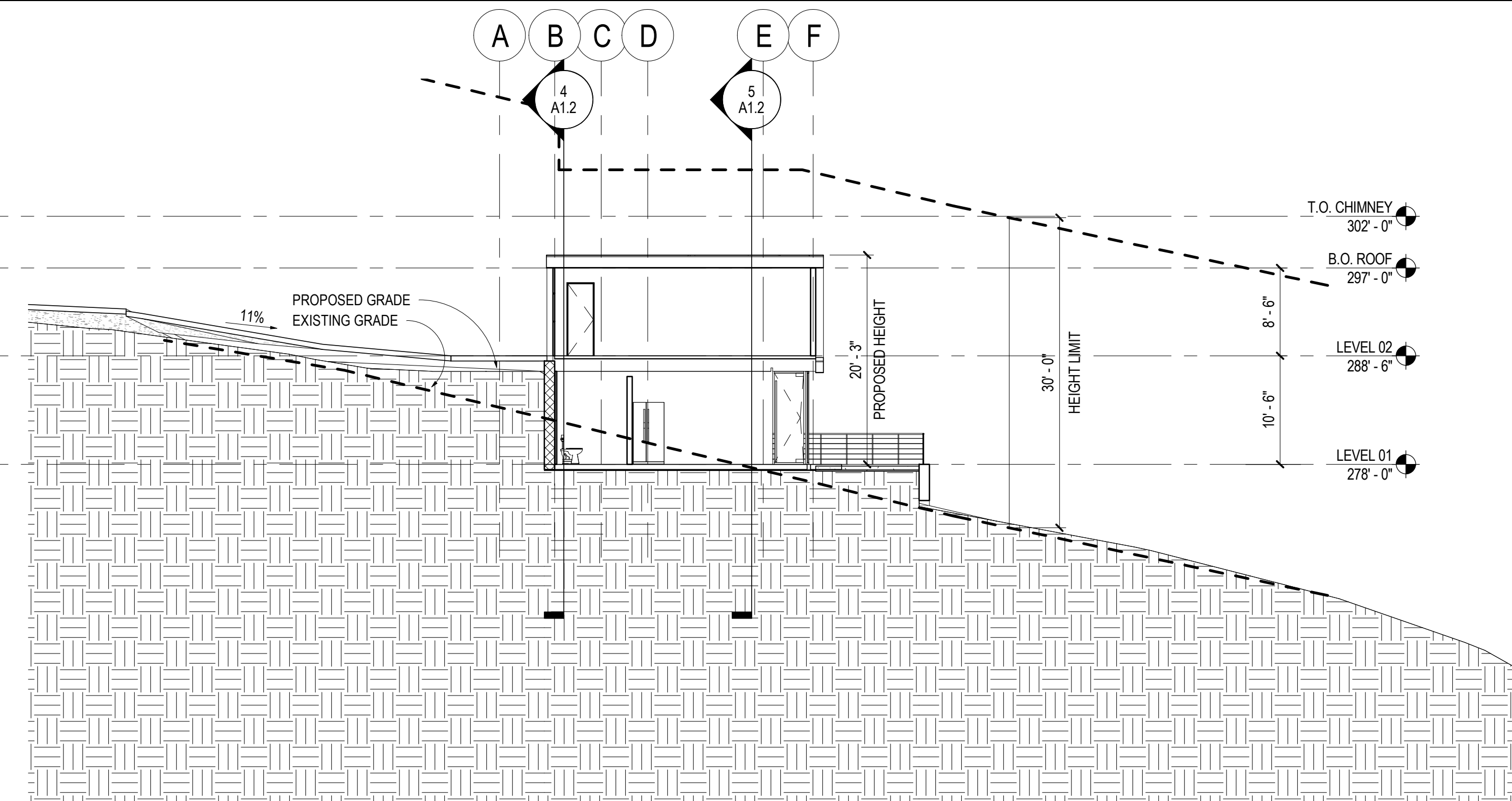
1" = 10'-0"

**A1.2****4 SITE SECTION N-S 1**

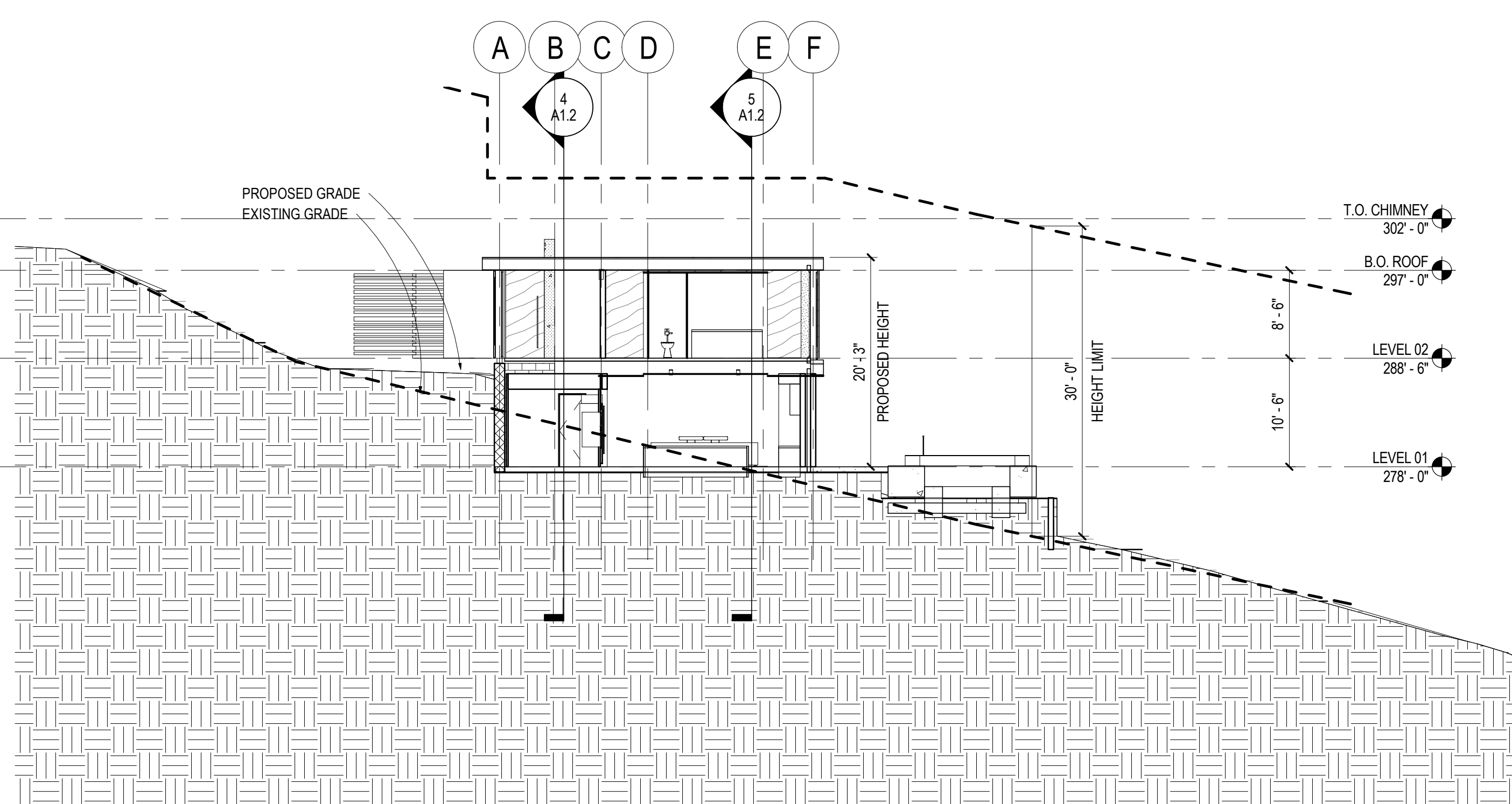
SCALE: 1" = 10'-0"

**5 SITE SECTION N-S 2**

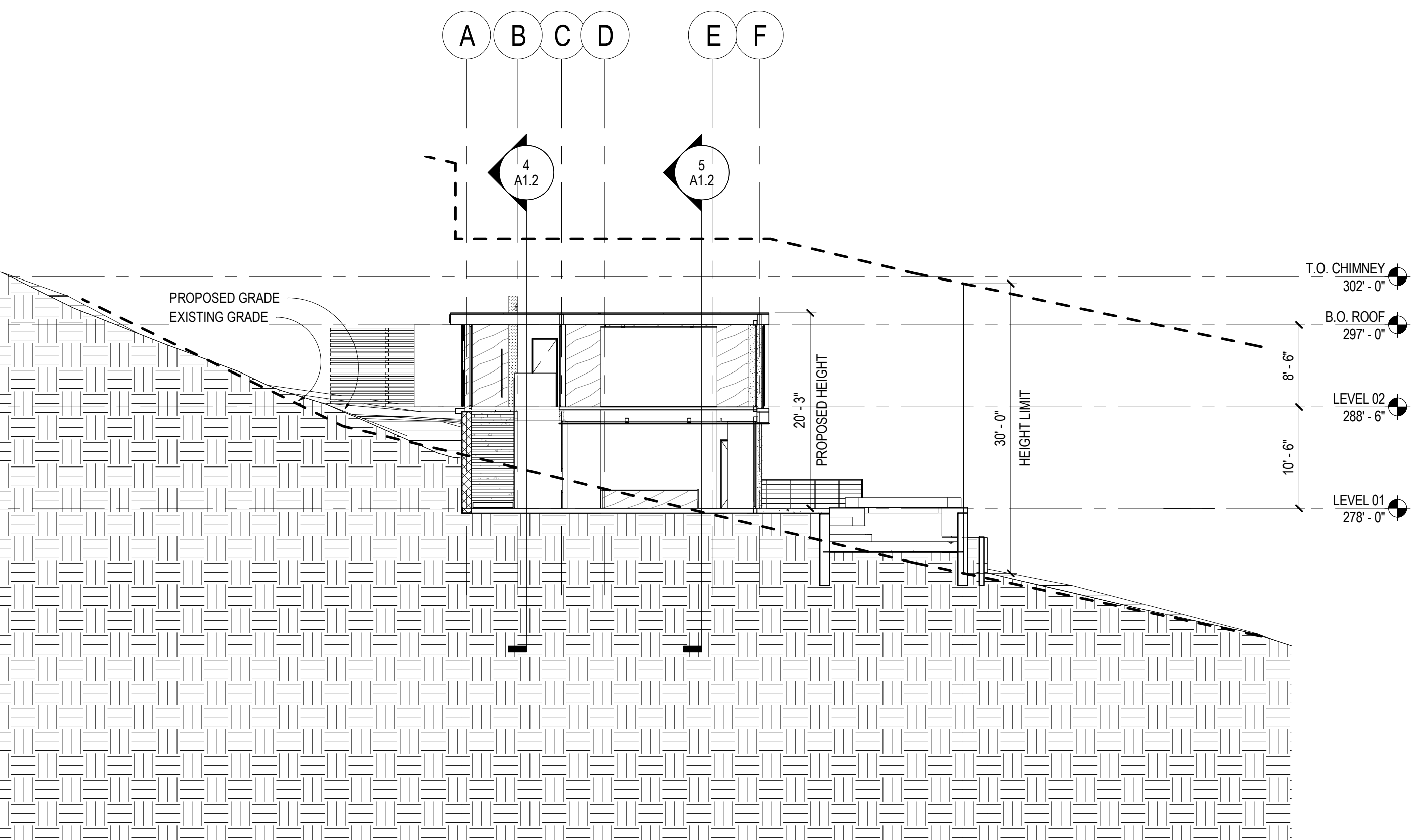
SCALE: 1" = 10'-0"

**1 SITE SECTION E-W 1**

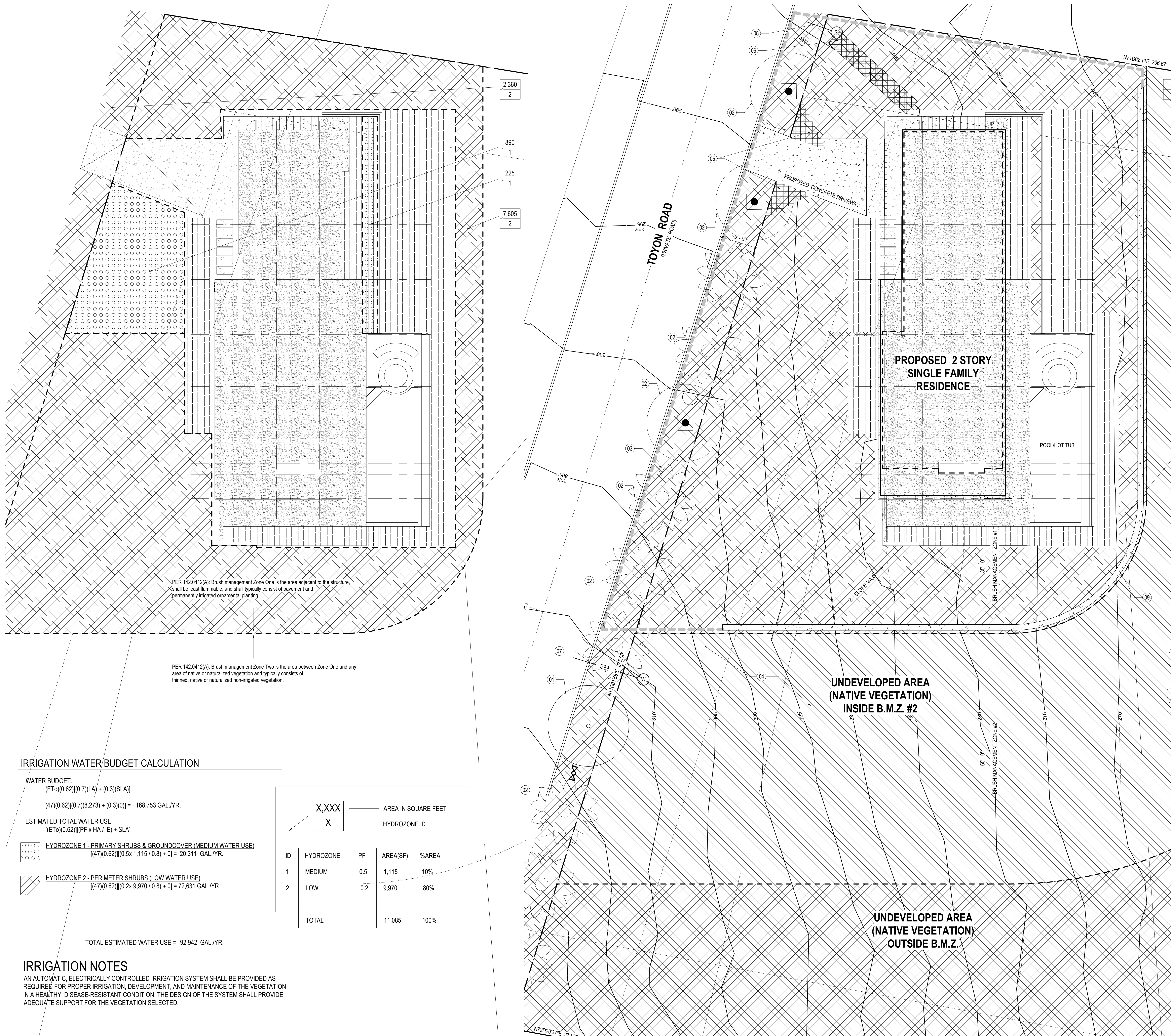
SCALE: 1" = 10'-0"

**2 SITE SECTION E-W 2**

SCALE: 1" = 10'-0"

**3 SITE SECTION E-W 3**

SCALE: 1" = 10'-0"



LANDSCAPE KEYNOTES

- 01 EXISTING NATIVE TREE BETWEEN CURB AND ABUTTING PROPERTY LINE SHALL REMAIN. TREE IS GREATER THAN 15' TALL AND 15' WIDE
- 02 NEW STREET TREE PER NARRATIVE ON THIS SHEET, SPACED PER LEGEND
- 03 PARKWAY PLANTING PER LEGEND. OWNER WILL CONFIRM WITH HOA PRIOR TO PLANTING.
- 04 NO NEW PLANTING PROPOSED IN BMZ #2. THE EXISTING NATIVE VEGETATION CONSISTS OF THE SPECIES LIST BELOW.
- 05 VISIBILITY TRIANGLE (10' LONG PARALLEL AND PERPENDICULAR TO PROPERTY LINE). NO FENCE OR SHRUB SHALL BE HIGHER THAN 24 INCHES. NO WALLS SHALL EXCEED 36 INCHES IN HEIGHT
- 06 AREA OF LANDSCAPING DEDICATED TO FILTRATION OF IMPERVIOUS DRAINAGE (APPROX 3% OF AREA TO BE FILTERED)
- 07 EXISTING WATER SERVICE PER SHEET A1.0
- 08 PROPOSED SEWER LATERAL PER A1.0
- 09 NEW CONC. SWALE PER A1.1

LANDSCAPE NOTES

1. All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
2. MINIMUM TREE SEPARATION DISTANCE
Traffic signals / stop signs - 20 feet
Underground utility lines - 5 feet (10' for sewer)
Above ground utility structures - 10 feet
Driveway (entries) - 10 feet (5' for residential streets < 25mph)
Intersections (intersecting curb lines of two streets) - 25 feet
3. A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5).
4. Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected. (IRRIGATION TO BE DRIP SYSTEM)
5. Maintenance: All required landscape areas shall be maintained by owner. Landscape and irrigation areas in the public right-of-way shall be maintained by owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit
6. No invasive plant species shall be planted in or adjacent to the MHPA.

LANDSCAPE LEGEND

ZONE 1 = PERMANENTLY IRRIGATED

- PROPOSED NON-INVASIVE SHRUBS (5 GAL):**
- TOYON (HETEROMELES ARBUTIFOLIA, N)
 - COYOTE BRUSH (BACCHARIS PILULARIS)
 - BLACK SAGE (SALVIA MELIFERA)
- PROPOSED HERBS (1 GAL):**
- ARROYO LUPINE (LUPINUS SUCELENTUS)
 - PURPLE NEEDLEGRASS (NASSELLA PULCHRA)
 - BLUE-EYED GRASS (SISYRINCHIUM BELLUM)
- PROPOSED STREET TREES (24" BOX):**
- TIPU TREE (TIPIANA TIPU) SPACED AT 30' MAX
 - AUSTRALIAN CABBAGEFAN PALM (LIVISTONA AUSTRALIS) (MIN 10 FT BROWN TRUNK HEIGHT) SPACED AT 20' MAX
- PERVIOUS ARTIFICIAL TURF

STREET TREE NARRATIVE

TOYON ROAD AND THE IMMEDIATELY SURROUNDING NEIGHBORHOOD DOES NOT CURRENTLY HAVE A COHESIVE PALLETTE OF STREET TREES. THIS LOT ALREADY HAS A LARGE HEALTHY NATIVE OAK TO REMAIN. THE ONLY OTHER STREET TREES OF NOTE ARE THE EXISTING CLUMP OF MEXICAN FAN PALMS AT THE NORTHWEST CORNER OF THE SITE, WHICH CONTINUE ALONG THE NEIGHBOR'S STREET FRONTAGE. PROPOSED TREES TO BE TIPUANA TIPUS OR AUSTRALIAN CABBAGEFAN PALM, IN COMPLIANCE WITH THE SAN DIEGO STREET SELECTION GUIDE FOR PARKWAYS BETWEEN 6 TO 10 FEET.

EXISTING SPECIES LIST

SPECIES WITHIN MHPA (OUTSIDE OF DEVELOPMENT AREA)

black sage (Salvia mellifera),
bladder pod (Peritoma arborea),
california sage (Artemisia californica),
chalk dudleya (Dudleya pulcherrima),
coyote bush (Baccharis pilularis),
Eucalyptus (Eucalyptus sp.),
fan Palm (Washingtonia filifera),
lemonade berry (Rhus integrifolia),
mustard (Brassica sp.),
sweet Fennel (Foeniculum vulgare),
tocotile (Centauria melitensis),
toyon (Heteromeles arbutifolia),
tree tobacco (Nicotiana glauca),
white sage (Salvia apiana)

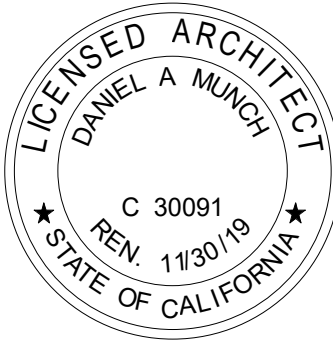
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature



NOT FOR
CONSTRUCTION

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/1/2018	S.D.P. SUBMITTAL #5

SITE DEVELOPMENT
PERMIT

Project Name

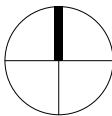
5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

LANDSCAPE PLAN

Scale

1" = 10'-0"



A1.3

San Diego Municipal Code
§142.0412 - Brush Management

Table 142-04H

	Standard Width	Provided Width
Zone One	35-feet	
Zone Two	65-feet	



- (f) The Zone Two width may be decreased by 1½ feet for each 1 foot of increase in Zone One width.
- (g) Zone One Requirements
- The required Zone One width shall be provided between native or naturalized vegetation and any *structure* and shall be measured from the exterior of the *structure* to the vegetation.
 - Zone One shall contain no habitable *structures*, *structures* that are directly attached to habitable *structures*, or other combustible construction that provides a means for transmitting fire to the habitable *structures*. *Structures* such as *fences*, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or heavy timber construction.
 - Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive.
 - Trees within Zone One shall be located away from *structures* to a minimum distance of 10 feet as measured from the *structures* to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
 - Permanent irrigation is required for all planting areas within Zone One except as follows:
 - When planting areas contain only species that do not grow taller than 24 inches in height, or
 - When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
 - Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
 - Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- (h) Zone Two Requirements
- The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable *structure*, to the edge of undisturbed vegetation.
 - No *structures* shall be constructed in Zone Two.
 - Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
 - Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
 - The following standards shall be used where Zone Two is in an area previously *graded* as part of legal *development* activity and is proposed to be planted with new plant material instead of *clearing* existing native or naturalized vegetation:
 - All new plant material for Zone Two shall be native, low-fuel, and fire-resistive. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing *sensitive biological resources*.
 - New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistive native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable *structures* and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
 - All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallonge spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

San Diego Landscape Standards
Section III - Brush Management

3-1 BRUSH MANAGEMENT – DESCRIPTION

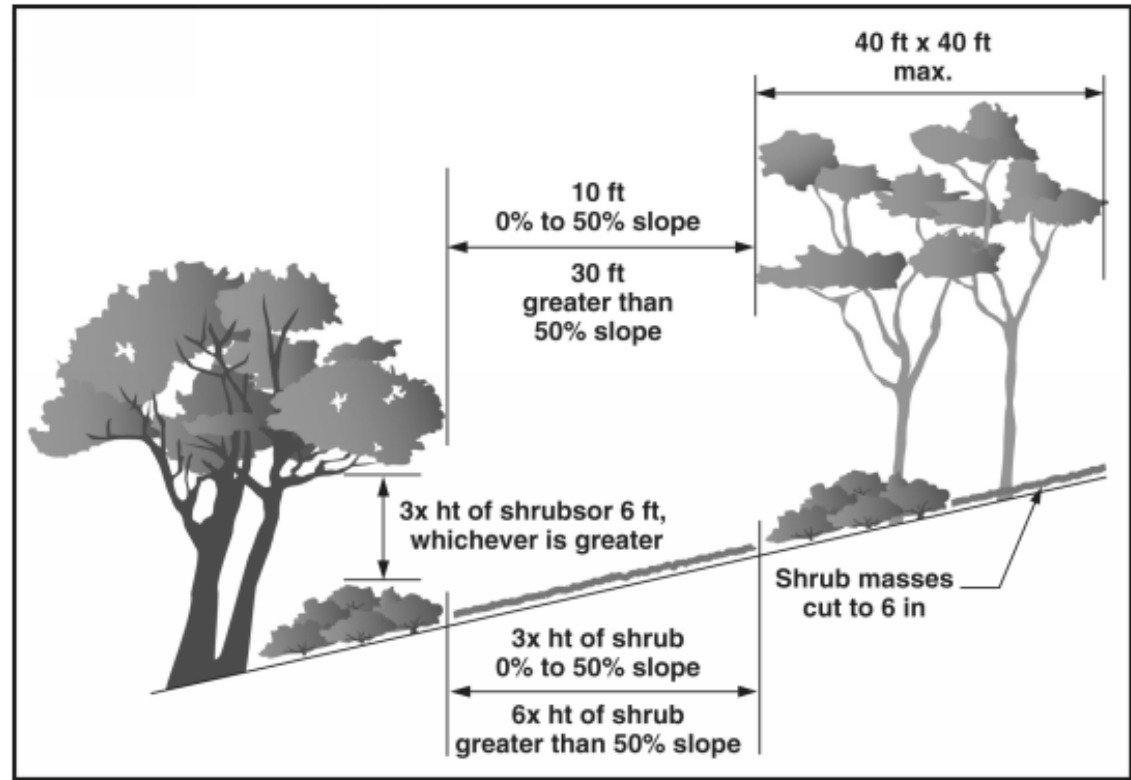
Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

3-2 BRUSH MANAGEMENT- REQUIREMENTS

3.2-1 Basic requirements – All Zones

- 3.2-1.01 For zone two, plants shall not be cut below six inches.
- 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
- 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (**Figure 3-1**). Dead and excessively twiggy growth shall also be removed.

Figure 3-1
Pruning Trees to Provide Clearance for Brush Management



- 3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (**Figure 3-1**).
- 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).
- 3.2-2 Zone 1 Requirements - All Structures
- 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see **Appendix "B"**).
- 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
- 3.2-2.03 Maintain all plantings in a succulent condition.
- 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.
- 3.2-3 Zone 2 Requirements – All Structures
- 3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

- General Maintenance ~ Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance, Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
- Brush Management Zone 1 ~ This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
- Brush Management Zone 2 ~ Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.
- Long-term Maintenance Responsibility ~ All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of _____ [please Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.

BRUSH MANAGEMENT NOTES

1. All Zone 1 brush management areas must be included within the development footprint and outside the MHPA. Brush management Zone 2 may be permitted within the MHPA (considered impact neutral) but cannot be used as mitigation.

OWNER

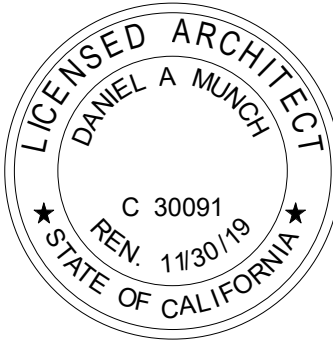
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature



NOT FOR
CONSTRUCTION

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/1/2018	S.D.P. SUBMITTAL #5

SITE DEVELOPMENT
PERMIT

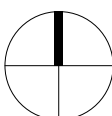
Project Name

5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

BRUSH MANAGEMENT NOTES

Scale



A1.4

TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature

**NOT FOR
CONSTRUCTION**

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/11/2018	S.D.P. SUBMITTAL #5

**SITE DEVELOPMENT
PERMIT**

Project Name

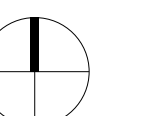
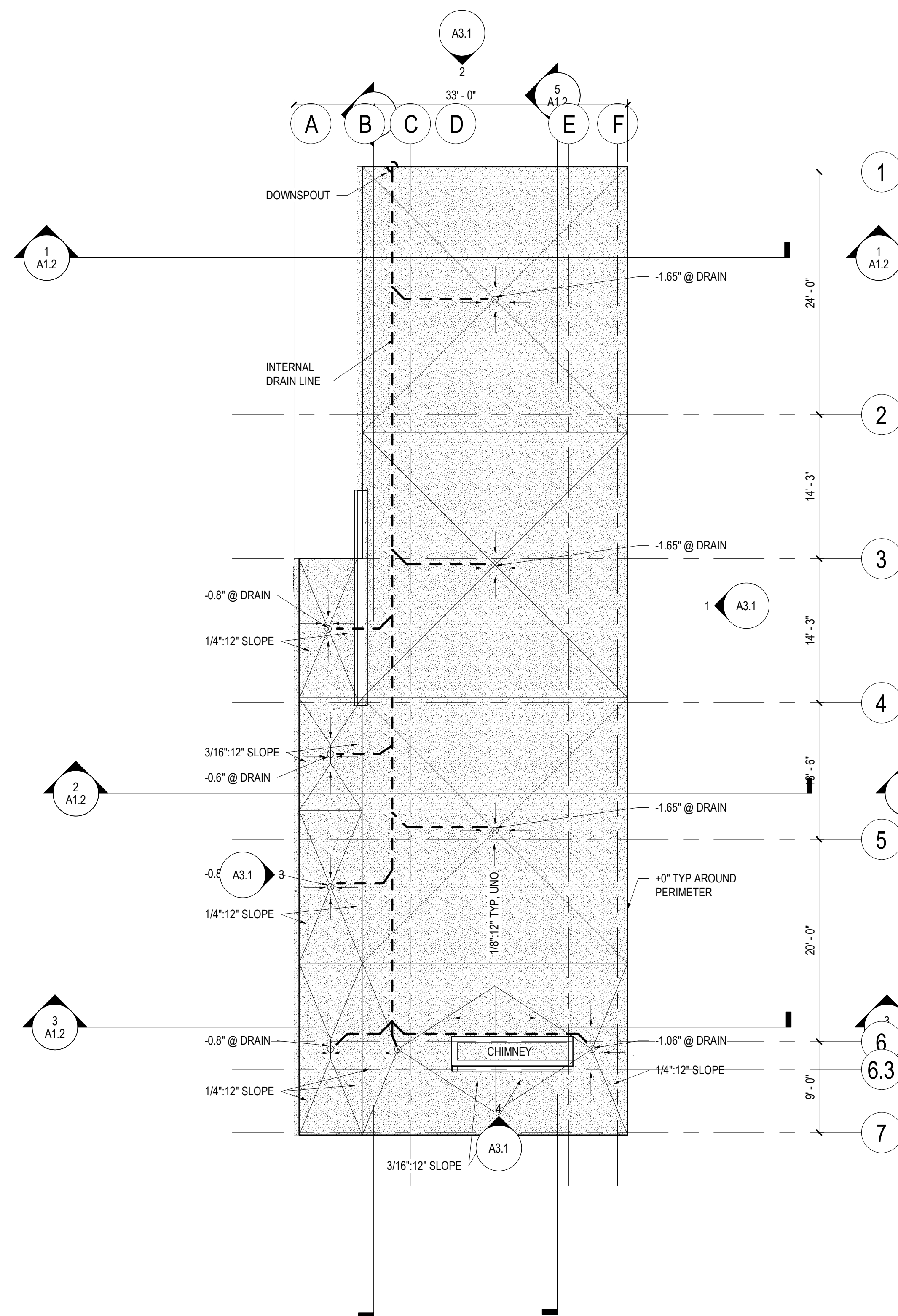
5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

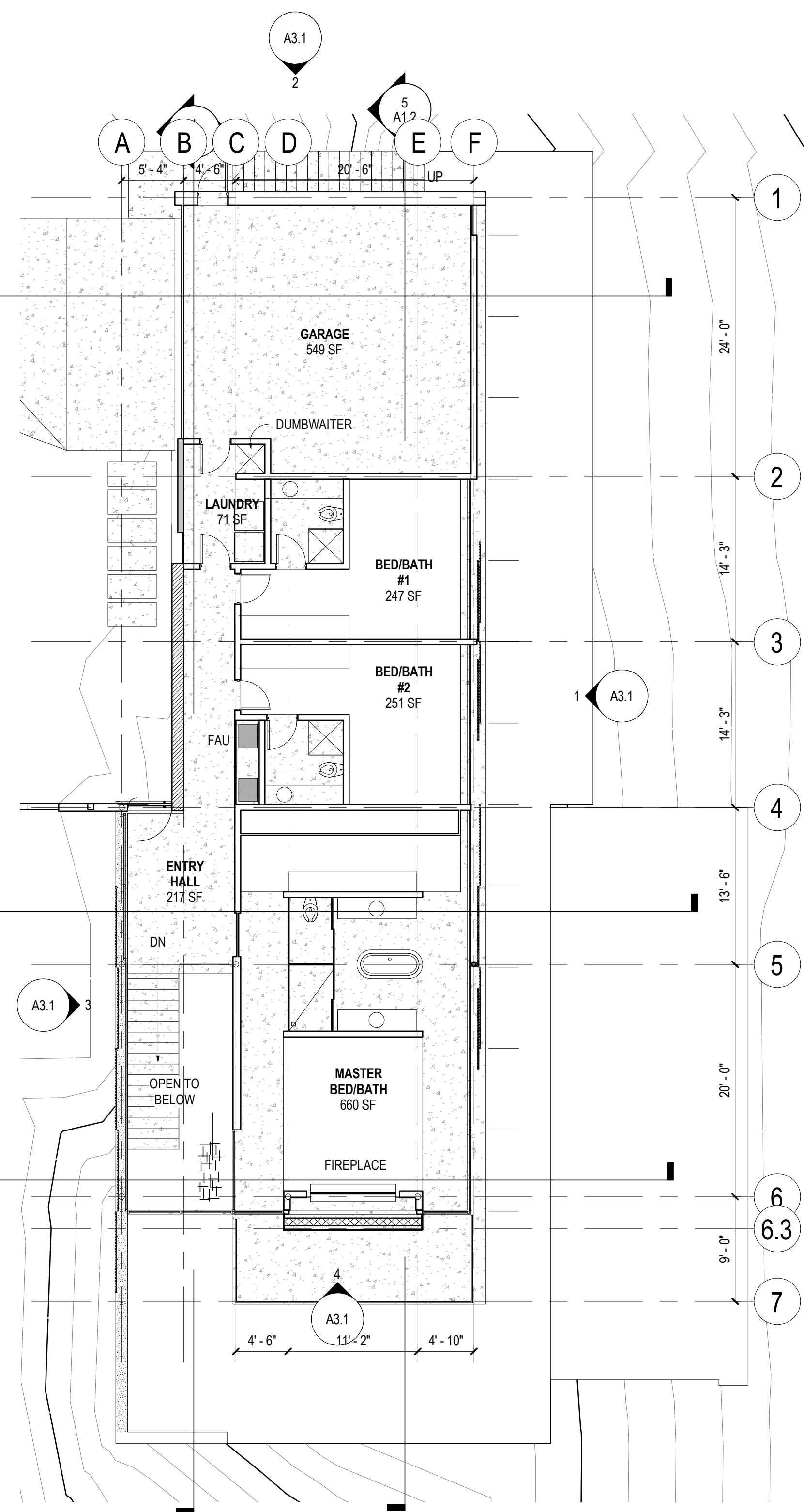
FLOOR PLANS

Scale

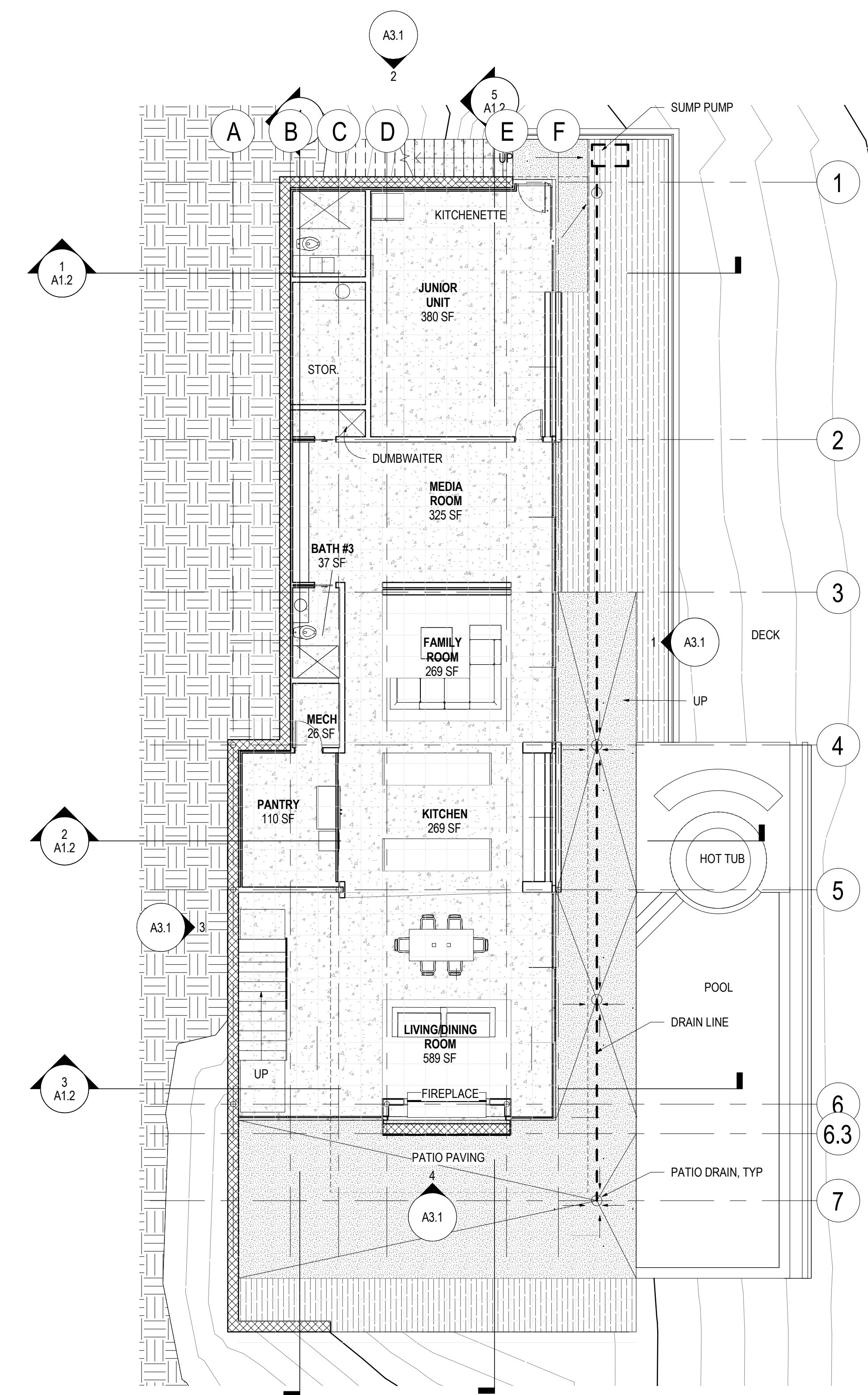
1/8" = 1'-0"

**A2.1****3 ROOF PLAN**

SCALE: 1/8" = 1'-0"

**2 FLOOR PLAN - LEVEL 2**

SCALE: 1/8" = 1'-0"

**1 FLOOR PLAN - LEVEL 1**

SCALE: 1/8" = 1'-0"

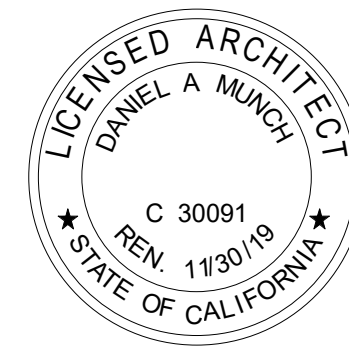
TOYON RESIDENCE

5595 TOYON ROAD
SAN DIEGO, CA

OWNER / ARCHITECT

DANIEL MUNCH, R.A.
2909 FIRST AVE, #4B
SAN DIEGO, CA 92103

Seal / Signature

**NOT FOR
CONSTRUCTION**

REVISIONS

03/13/2018	S.D.P. SUBMITTAL #1
06/07/2018	S.D.P. SUBMITTAL #2
08/06/2018	S.D.P. SUBMITTAL #3
09/14/2018	S.D.P. SUBMITTAL #4
11/1/2018	S.D.P. SUBMITTAL #5

**SITE DEVELOPMENT
PERMIT**

Project Name

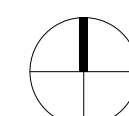
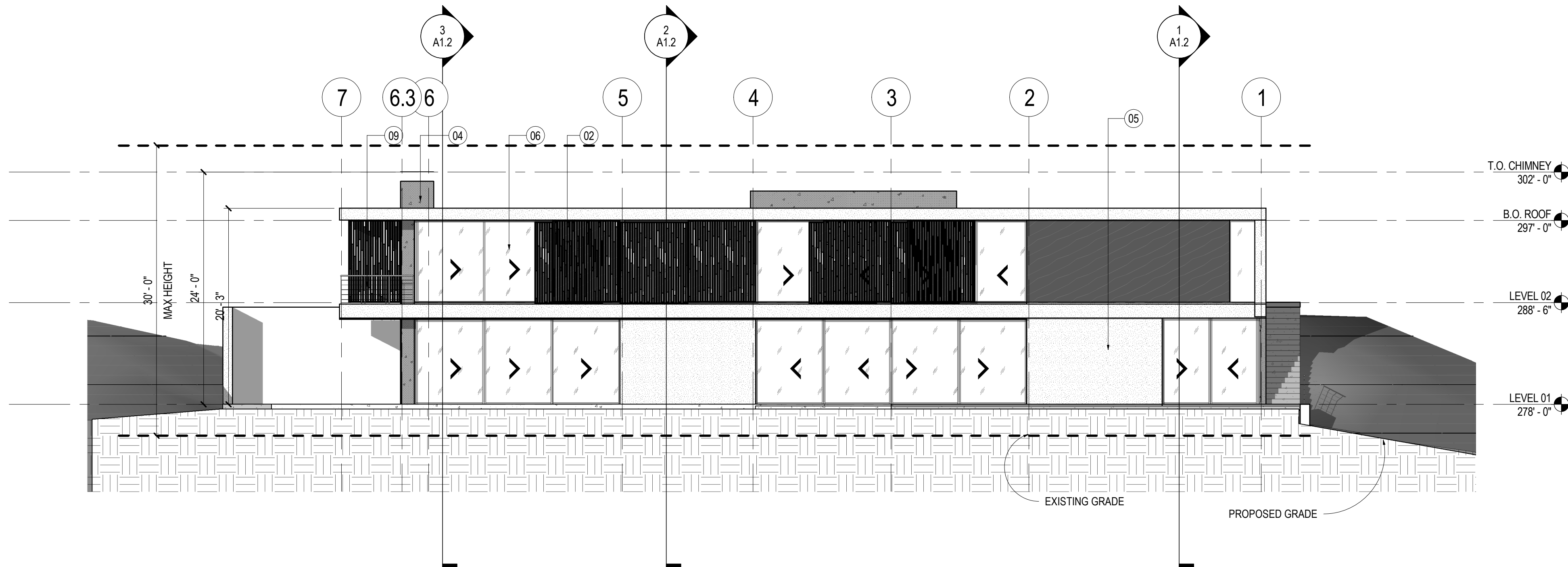
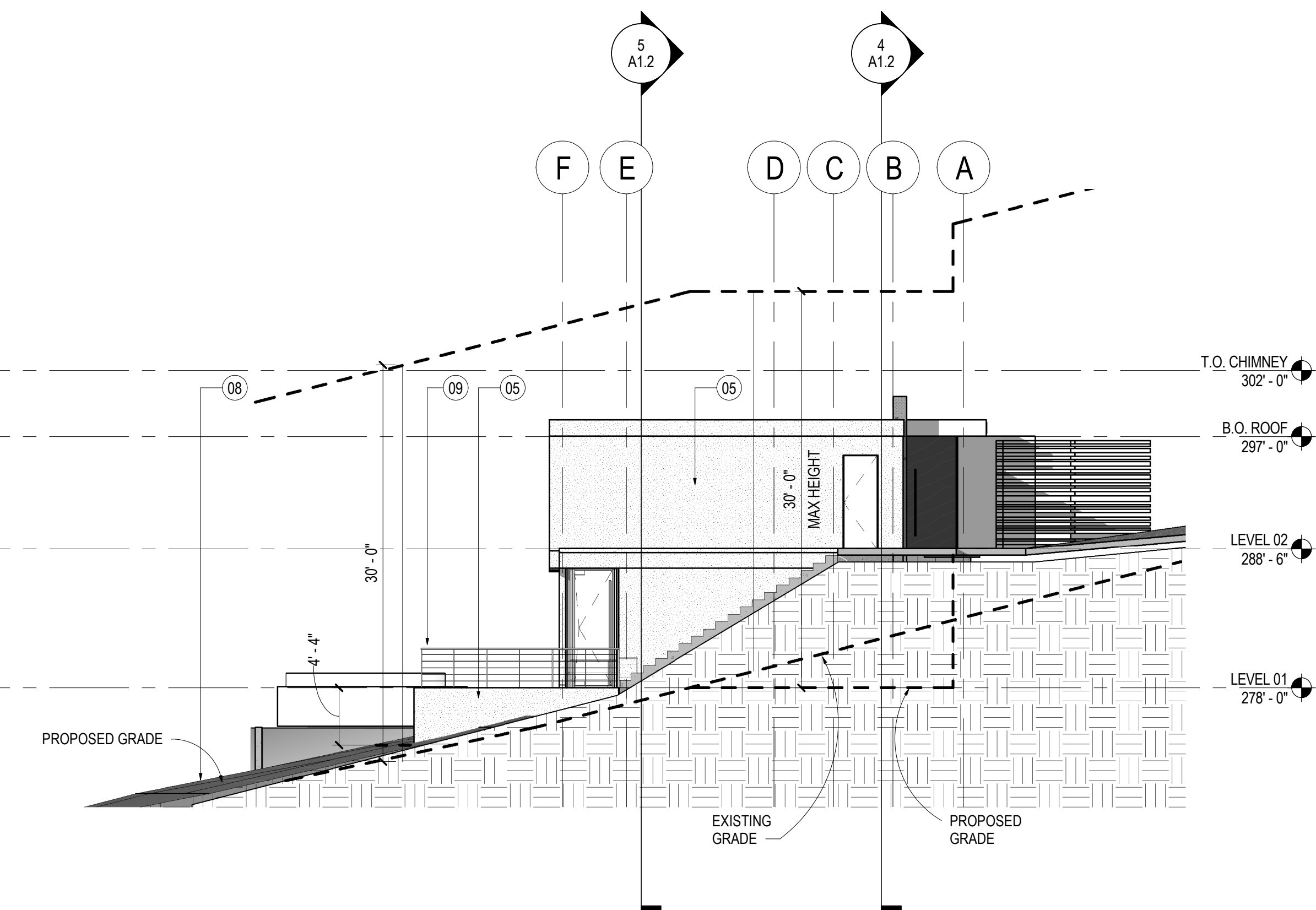
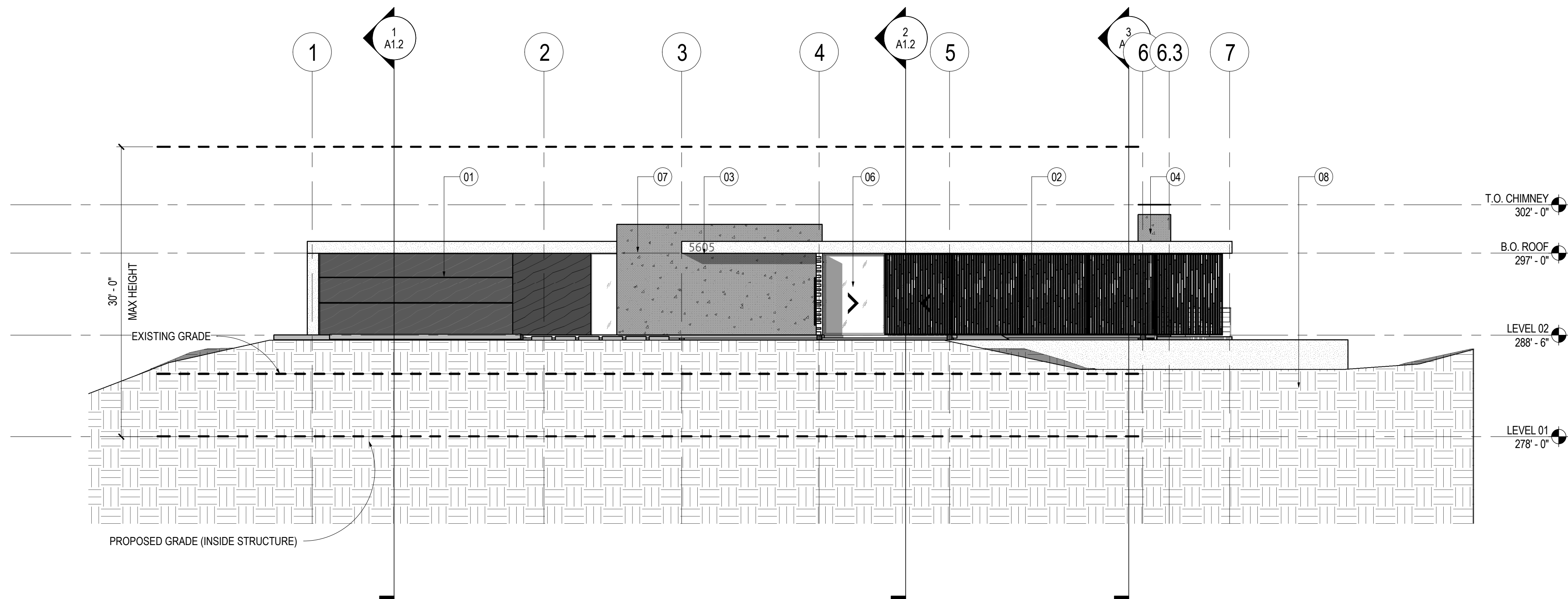
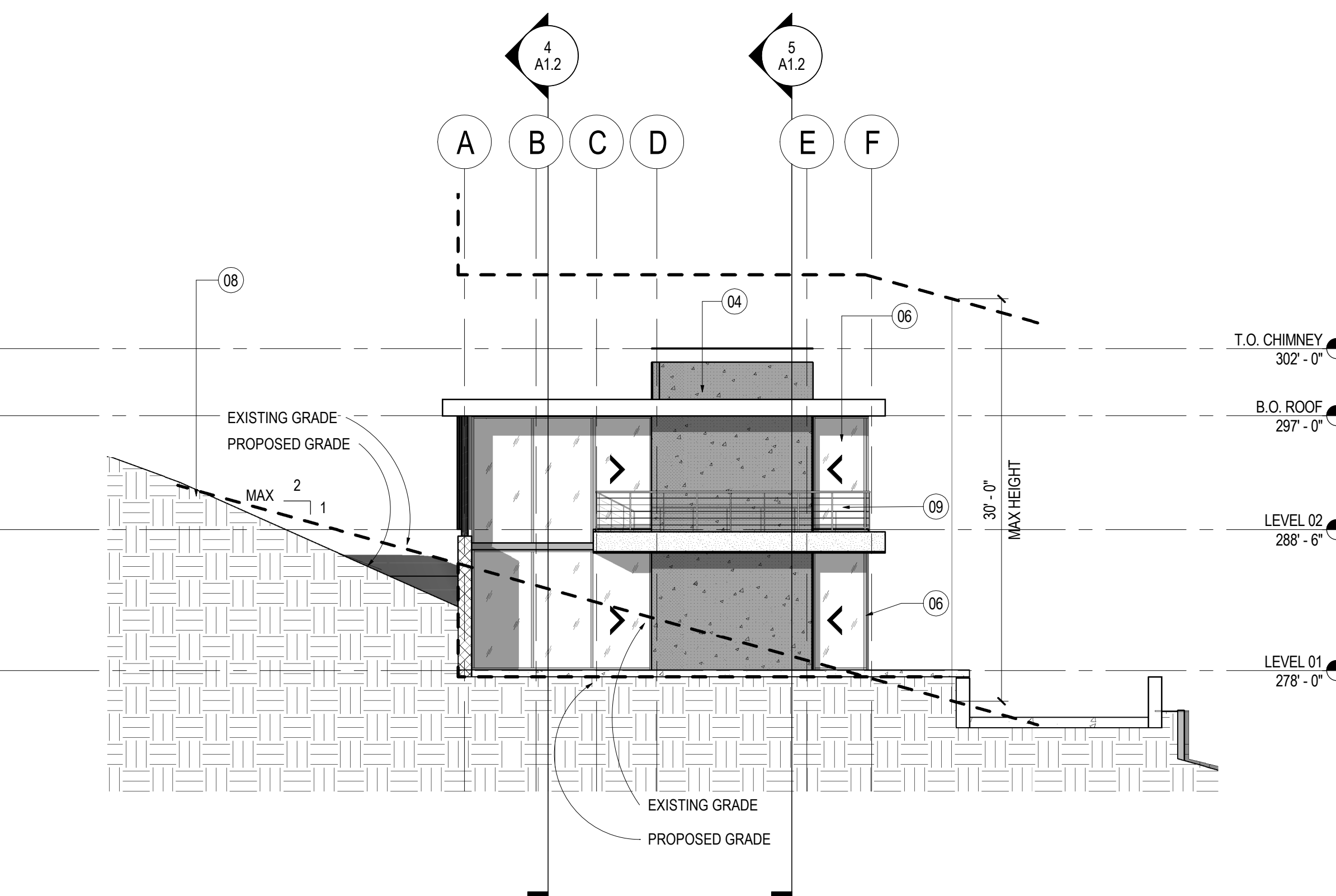
5595 TOYON ROAD
RESIDENCE (PTS 599273)
Project Number

Description

ELEVATIONS

Scale

1/8" = 1'-0"

**A3.1****1 EAST ELEVATION**
SCALE: 1/8" = 1'-0"**2 NORTH ELEVATION**
SCALE: 1/8" = 1'-0"**3 WEST ELEVATION**
SCALE: 1/8" = 1'-0"**4 SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"**ELEVATION KEYNOTES**

- 01 GARAGE DOOR
- 02 SLIDING PRIVACY SCREEN WALL
- 03 ADDRESS FACING STREET
- 04 FIREPLACE CHIMNEY
- 05 EXTERIOR PLASTER WALL
- 06 SLIDING TEMPERED GLASS DOORS
- 07 STONE FACED FEATURE WALL
- 08 FINISH GRADE PER SITE PLAN
- 09 CABLE GUARDRAIL (42" HIGH)