

THE CITY OF SAN DIEGO

## **Report to the Hearing Officer**

DATE ISSUED: May 29, 2019

REPORT NO. HO-19-054

HEARING DATE: JUNE 5, 2019

SUBJECT: BRODIAEA WAY RESIDENCE. Process Three Decision

PROJECT NUMBER: <u>389648</u>

OWNER/APPLICANT: Vitaly Klintsov, Owner.

#### <u>SUMMARY</u>

<u>Issues:</u> Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to demolish a single dwelling unit to allow the construction of a new single dwelling unit at 7362 Brodiaea Way within the La Jolla Community Planning area?

#### Staff Recommendations:

- 1. Approve Coastal Development Permit No. 1367758; and
- 2. Site Development Permit No. 1466667.

<u>Community Planning Group Recommendation</u>: On February 7, 2019 the La Jolla Community Planning Association voted 13-0-1 to recommend approval of the project.

#### Environmental Review:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA sections 15301 (Existing Facilities) and 15302 (Replacement or Reconstruction) on May 1, 2019. The opportunity to appeal that determination ended on May 15, 2019.

#### **BACKGROUND**

The project site is located at 7362 Brodiaea Way, at the northwest corner of Brodiaea Way and Encelia Drive, south of the La Jolla Natural Park. The 0.639-acre site is designated Very Low Density Residential per the La Jolla Community Plan and is subject to the RS-1-4 zoning requirements. The project is also subject to the Coastal Overlay Zone (Non-Appealable), the Coastal Height Limit

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Overlay Zone, Parking Impact Overlay Zone (Coastal Impact Area), and Brush Management Zone, within the La Jolla Community Plan and Local Coastal Program.

The site is in a low-density residential neighborhood, with relatively large lot sizes that are generally developed with larger sized single dwelling units, comparable to the proposed project. The project site is developed with a single-story dwelling unit, hardscape, and landscape. There is an area of biological sensitive habitat located at the northwestern portion of the lot that will not be impacted with this project. As the existing building is over 45 years old, review by City Staff in the Historical Resources Section was required to determine if the building was potentially historic. Upon review of the structure, staff determined that the building was not historic or eligible for historic designation.

The site is located at the top of Brodiaea Way, and there are slopes on site, but the existing residence is located on a relatively flat area, with slopes along the western and southern boundaries. The La Jolla Natural Park, a City-owned open space, is located immediately north of the property and is located with the City's Multi-Habitat Planning Area (MHPA). The project site was initially mapped within the MHPA, even though the dwelling unit predated the 1997 MHPA. A Boundary Line Correction to the MHPA was performed to correct the mapping line and the site is completely outside of the MHPA.

#### DISCUSSION

The project seeks a Coastal Development Permit (CDP) and Site Development Permit (SDP) for the demolition of the existing dwelling unit, and the construction of a new, two-story, 9,115-square-foot single-dwelling unit, 538-square-foot pool house and a 1,058-square-foot garage; retaining walls; and hardscape and landscape.

The site contains environmentally sensitive lands (ESL) in the form of biological resources. The biological resources will be avoided, and a new, low wall would be built to create a separation of the resources from the areas of development. The areas would also be protected through the recordation of a Covenant of Easement. This area is contiguous with the MHPA area just north of the project site, within the La Jolla Natural Park.

The RS-1-4 zone allows for one residential unit to be built on a minimum 10,000-square-foot lot. This site is a 27,878-square-foot lot, therefore the proposed unit is consistent with the minimum lot size. The La Jolla Community Plan designated the site for Very Low-Density Development, with an allowable density range of 0 to 5 dwelling units per acre. The density of the proposed project is 1.6 dwelling units per acre, consistent with the community plan.

The Coastal Overlay Zone allows for a maximum 30-foot height limit. The project height would be 29 feet and 8 inches in height, below the 30-foot height limit requirement. No deviations or variances are proposed with this project.

A review of the project's plan has determined that the project is consistent with the La Jolla Community Plan and Local Coastal Program and does comply with all applicable regulations in the Land Development Code, more specifically with the setbacks, building height, bulk and scale, and neighborhood character.

#### CONCLUSION:

This proposed project is designed to comply with the development regulations of the La Jolla Community Plan and Local Coastal Program and the RS-1-4 Zone. Staff supports a determination that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff recommends the Hearing Officer approve Coastal Development Permit No. 1367758 and Site Development Permit No. 1466667 as proposed

#### **ALTERNATIVES**

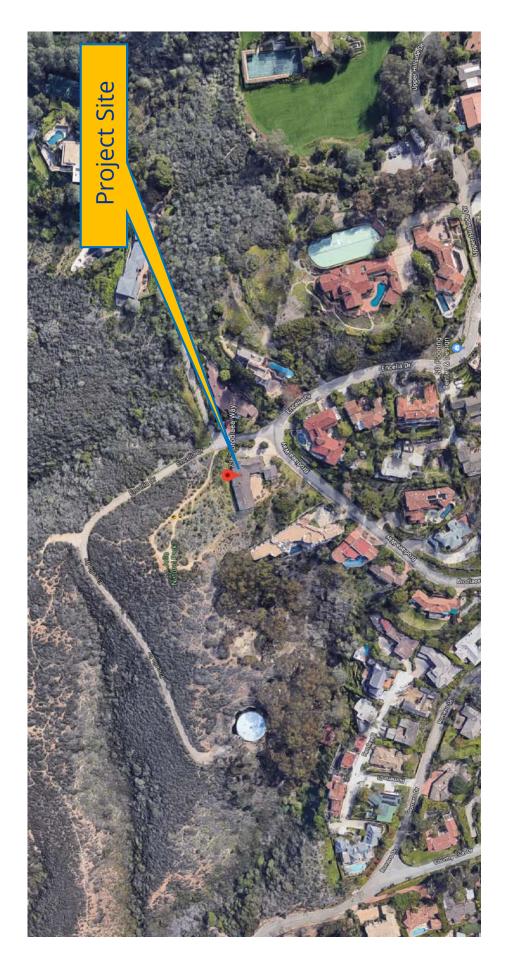
- 1. Approve Coastal Development Permit No. 1367758 and Site Development Permit No. 1466667 with modifications.
- 2. Deny Coastal Development Permit No. 1367758 and Site Development Permit No. 1466667, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

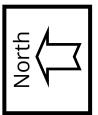
Martha Blake, Development Project Manager

Attachments:

- 1. Project Location Map
- 2. Community Plan Land Use Map
- 3. Aerial Photograph
- 4. Draft Resolution with Findings
- 5. Draft Permit with Conditions
- 6. Environmental Exemption
- 7. Community Planning Group Actions
- 8. Ownership Disclosure Statement
- 9. Project Plans

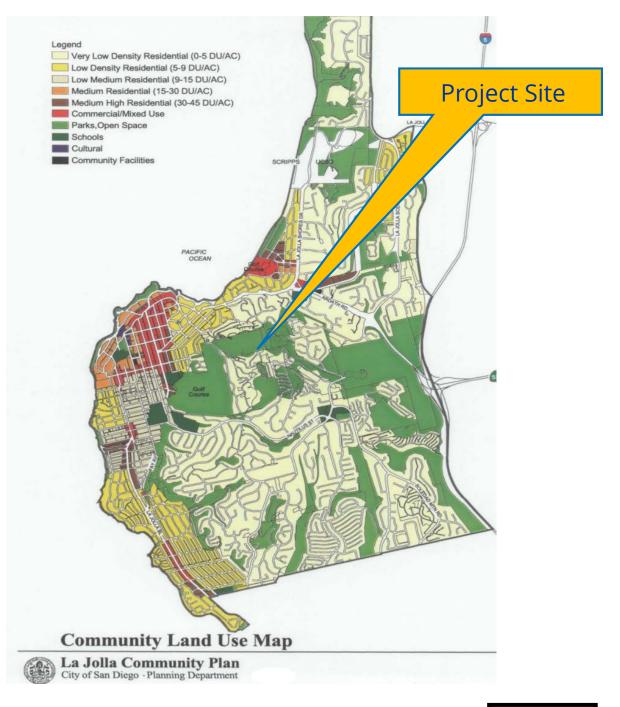


#### **ATTACHMENT 1**



**Aerial Photo** Brodiaea Way Residence PROJECT NO. 389648







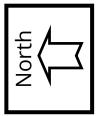
## Land Use Map

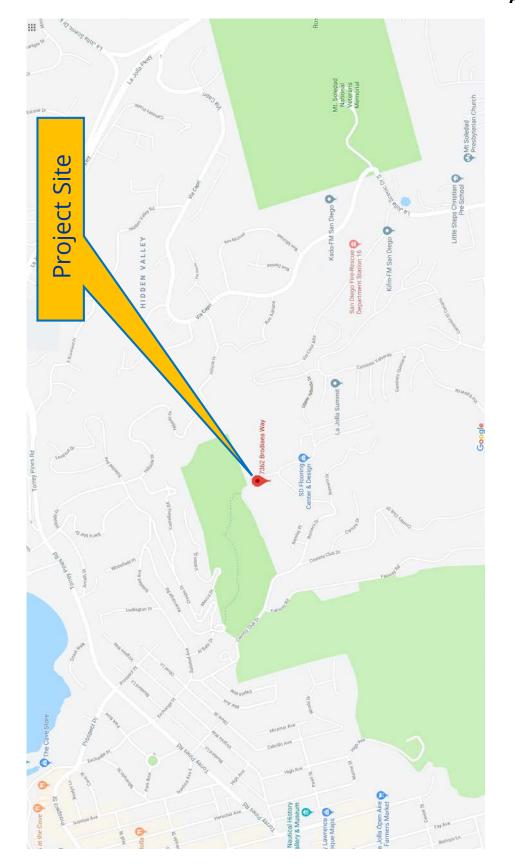
Brodiaea Way Residence PROJECT NO. 389648



North

#### **ATTACHMENT 3**





Project Location Map Brodiaea Way Residence PROJECT NO. 389648



#### HEARING OFFICER RESOLUTION NO. \_\_\_\_\_ COASTAL DEVELOPMENT PERMIT NO. 1367758 AND SITE DEVELOPMENT PERMIT NO. 1466667 BRODIAEA RESIDENCE - PROJECT NO. 389648

WHEREAS, VITALY KLINSTSOV, Owner/Permittee, filed an application with the City of San

Diego to demolish an existing single dwelling unit and construct a new, two-story single dwelling unit

with basement, and detached pool house (as described in and by reference to the approved Exhibits

"A" and corresponding conditions of approval for the associated Coastal Development Permit No.

1367758 and Site Development Permit No. 1466667, on portions of a 0.639-acre site;

WHEREAS, the project site is located at 7362 Brodiaea Way in the RS-1-4 zone of the La Jolla Plan area;

WHEREAS, the project site is legally described as Lot 12, Block D of La Jolla Country Club

Heights in the City of San Diego, State of California, according to Map therof No. 1975, filed in the

Office of the County Recorder of San Diego County ;

WHEREAS, on June 5, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1367758 and Site Development Permit No. 1466667 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 1367758 and Site Development Permit No. 1466667:

#### COASTAL DEVELOPMENT PERMIT FINDINGS - SAN DIEGO MUNICIPAL CODE SECTION 126.0708

1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The 27,878-square-foot (sf) (0.639 acres) project site is currently developed with an existing single residential dwelling unit. The project proposes the demolition of the existing structure and construction of a two-story, 9,115-square-foot single-dwelling unit, 538-square-foot pool house and a 1,058-square-foot garage. The proposed development is contained within the legal lot area and complies with site setbacks. The La Jolla Community Plan does not identify any existing or proposed physical access way from this site to any coastal resource and there are no public access easements recorded on the title of the property. No physical access routes are identified through the property in the Community Plan or Local Coastal Program Land Use Plan. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public access way identified in a Local Coastal Program.

Furthermore, the La Jolla Community Plan and the adopted Local Coastal Program do not identify any public views from or across this private property to and along the ocean, which is approximately 3,000 feet northwest of the site, or other scenic coastal areas. Therefore, the proposed coastal development will not degrade, nor will it remove, eliminate, or detract any protected public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program from this privately-owned site as there are none.

## 2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located on a steep hillside that abuts a Multi-Habitat Planning Area (MHPA) to the north that is owned by the City of San Diego. There are also areas containing environmentally sensitive lands (biological resources) at the northwest and west portions of the project site. The project proposes to create a level pad for construction of the house and to delineate, through the construction of a low site wall, the area with biological resources from those areas proposed for disturbance. A Covenant of Easement would be recorded over the remainder portions of ESL that will remain on site, in accordance with San Diego Municipal Code Section 143.0152. There will be no encroachments or impacts to environmental sensitive lands.

The project has been designed to ensure all drainage from unimproved areas will be appropriately collected and discharged to reduce, control, or mitigate erosion.

A biological resource report was prepared for City and considered by staff to verify the presence or absence of ESL. Staff confirmed that no significant impacts to any ESL would result from the proposed project. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands, even though biological resources are located on and adjacent to the project site.

#### 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The 0.639-acre site located at 7362 Brodiaea Way is within the La Jolla Community Plan area, which designates the site for Very Low Density

## Residential (0 – 5 dwelling units per acre (du/ac)). The proposed development would result in a density of 1.6 du/ac, consistent with the community plan.

The project proposes to maintain the existing use of a single residential unit on the project site, which is surrounded by similar residential development. This is consistent with the residential policies of the La Jolla Community Plan, which encourages the maintenance of the existing residential character of La Jolla's neighborhoods by encouraging buildout of residential areas at the plan density (p. 70).

As noted above, the project is within the density range of the plan, and consistent with the LJCP policy regarding Community Character, the project proposes a two-story residential use in a neighborhood that consists of one- and two-story single-dwelling units. The architectural style is a modern style in a neighborhood that is developed with a variety of housing styles, sizes, and types. The proposed development will not encroach upon, negatively alter or reduce any existing or future physical access to the coast as identified by the La Jolla Community Plan and Local Coastal Program. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

Therefore, the proposed development proposal is consistent with the policies, goals, and objectives of the applicable land use plan, including the Local Coastal Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act. The project site is not located between the nearest public road and the shoreline of a body of water, as the site is located 2 miles from the Pacific Ocean. There are no view corridors on this site identified in the Community Plan. The site does not contain any physical public access way; however, it is adjacent to the La Jolla Natural Park, just north of the site. Access to that open space will not be impacted by the project, as the access is from a public street on the east side of the property. The La Jolla Community Plan and Local Coastal Program do not designate any coastal access to the beach from the project site. Therefore, the development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

#### SITE DEVELOPMENT PERMIT [SDMC Section 126.0505 and 1510.0201]

#### 1. The proposed development will not adversely affect the applicable land use plan.

The 27,878-square-foot (sf) (0.639 acres) project site is currently developed with an existing single residential dwelling unit. The project proposes the demolition of the existing structure and construction of a two-story, 9,115-square-foot single-dwelling unit, 538-square-foot pool house and a 1,058-square-foot garage. The proposed development is contained within the

legal lot area and complies with site setbacks. No physical access routes are identified through the property in the Community Plan or Local Coastal Program Land Use Plan. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public access way identified in a Local Coastal Program. The community plan designates the site for Very Low Density Residential (0 – 5 dwelling units per acre (du/ac)). The proposed development would result in a density of 1.6 du/ac, consistent with the community plan. The site is zoned RS-1-4 which allows one dwelling unit for every 10,000 square feet of lot area. The proposed one unit on 27,878-square-feet is consistent with the zone. Therefore, the project as proposed is consistent with the Community Plan and will not have an adverse impact on the plan.

## 2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project site is located in a developed area that is already served by utilities and emergency services and is currently developed with a single residential dwelling unit. It will be redeveloped in accordance with existing zoning and Community Plan densities for the site. The project was determined to be exempt from the California Environmental Quality Act, as no significant impacts would result from the project. The project will be required to comply with brush management regulations, all of which would be on-site on private property. Improvements to the existing streets, curbs, and gutters are required, and conditions are included in the permit to ensure those improvements, which will bring those up to current City standards.

The project has been designed in full accordance with the Land Development Code, and the construction will be required to observe all local, state, and federal laws related to building safety, fire safety, and water quality. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

#### 3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project has a residential density of 1.6 du/ac, which complies with the density range of the community plan (0 to 5 du/ac), and the single dwelling unit is consistent with the RS-1-4 zone. In addition, the project is in compliance with all applicable regulations of the LDC, including building height and lot coverage, brush management, and the Environmentally Sensitive Land (ESL) regulations. No deviations are requested. Therefore, the proposed development will comply with the regulations of the Land Development Code.

#### SUPPLEMENTAL FINDINGS--ENVIRONMENTALLY SENSITIVE LANDS - SECTION 126.0504(B)

#### 1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project site is currently developed with an existing one-story dwelling unit. The project would demolish the existing residence and construct a new two-story dwelling unit. While the site is adjacent to the La Jolla Natural Park, a biological survey determined that impacts

to environmentally sensitive lands (ESL) would be less than significant, and the project was determined to be exempt from the California Environmental Quality Act (CEQA), as no mitigation was required. The majority of the project site is disturbed with existing development, including the house, hardscape, and ornamental landscape. The proposed Coastal development will result in less than significant impacts to environmentally sensitive lands. Please see CDP Finding No. 2 for additional ESL discussion.

# 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed redevelopment of the site will require grading of 0.39 acres of the site, with no cubic yards of soils proposed for exports. The site is relatively flat, sitting near the top of a steep slope. There is a sloping area along the southwestern corner that would be elevated and flattened with soil from other parts of the site, such as the proposed basement. The building footprint would continue to be elevated above the existing roads of Brodiaea Way and Encelia Drive. The project is required to implement a Brush Management Plan. The project in conditioned to comply with the Alternative Compliance measures for Brush Management as set forth under SDMC Section 142.0412(i) and 142.0412(j), as well as all conditions of the CDP/SDP related to brush management and landscaping. Stormwater from site that will be displaced by the new development will be directed to proposed bio-retention basins on site minimizing erosion of site. The new development will not increase flood hazards to the site or surrounding properties or streets. Compliance with the Brush Management and all required engineering methods related to drainage and geology, would avoid undue risk from the proposed project.

## 3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project is adjacent to a City-owned natural park that contains ESL. The project will require no off-site grading, and the project is utilizing Alternative Compliance measures to comply with the Brush Management regulations to avoid impacting the adjacent ESL. The project will include walls to separate the areas allowed to be disturbed from both on- and off-site ESL. The physical barriers and proposed limits of work will prevent adverse impacts on the adjacent ESL.

## 4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The proposed project is located adjacent to an area delineated as being within the Multi-Habitat Planning Area of the MSCP. The project conforms to the Land Use Adjacency Guidelines of the MSCP Subarea plan including lighting, drainage, landscaping, grading, access and noise. The MHPA is delineated by an existing chain link fence which avoids disturbance of the designated area. Stormwater will be diverted away and/or filtered prior to ESL/MHPA, areas, lighting will be directed away from the MHPA, the use of toxins including landscape chemicals will be avoided/minimized on-site and not be allowed to enter the MHPA, and no invasive non-native plant species will be utilized in the rear yard adjacent to the MHPA. Coastal Development Permit No. 1367758 and Site Development Permit No. 1466667 is conditioned to ensure compliance with the Land Use Adjacency Guidelines (Condition No. 11). Therefore, the project is consistent with the City of San Diego's MSCP plan.

## 5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The project is located approximately 3,000 feet southeast of the nearest beach. The project is required to comply with all stormwater and engineering measures to avoid any increase in run-off or erosion that could flow down slope towards the public beach and adversely impact the shoreline. Therefore there will be no adverse impact to the local shoreline sand supply.

# 6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The environmental review of the proposed project determined that this project would not result in any potentially significant impacts on the environment, and the project was determined to be exempt from the California Environmental Quality Act (CEQA) in accordance with CEQA Guidelines Sections 15301 and 15302. No mitigation is required for the project, and all conditions of the permit are related to the proposed development.

The above findings are supported by the minutes, maps and exhibits, all of which are

incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing

Officer, Coastal Development Permit No. 1367758 and Site Development Permit No. 1466667 is

hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits,

terms and conditions as set forth in Coastal Development Permit No. 1367758 and Site

Development Permit No. 1466667, a copy of which is attached hereto and made a part hereof.

Martha Blake Development Project Manager Development Services

Adopted on: June 5, 2019

IO#: 24005132

RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

#### WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24007337

SPACE ABOVE THIS LINE FOR RECORDER'S USE

#### COASTAL DEVELOPMENT PERMIT NO. 1367758 and SITE DEVELOPMENT PERMIT NO. 1466667 BRODIAEA PROJECT NO. 389648 HEARING OFFICER

This Permit is granted by the Hearing Officer of the City of San Diego to Vitaly Klintsov, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 126.0505. The 0.639-acre site is located at 7362 Brodiaea Way in the RS-1-4 zone(s) of the La Jolla Community Plan area. The project site is legally described as: Lot 12, Block D of La Jolla Country Club Heights in the City of San Diego, State of California, according to Map therof No. 1975, filed in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee subject to the City's land use regulations] described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 5, 2019, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single dwelling unit, and construction of a two-story 9,115square-foot single-dwelling unit, 538-square-foot pool house and a 1,058-square-foot garage;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

#### **STANDARD REQUIREMENTS**:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 19, 2022.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, 10. and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### MULTI-SPECIES CONSERVATION PLAN (MSCP) LAND USE ADJACENCY REQUIREMENTS:

11. Prior to issuance of any construction permit or notice to proceed, MSCP staff shall verify the Owner/Applicant has accurately represented the project's design on the Construction Documents (CDs)

- A.**Grading/Land Development/MHPA Boundaries:** MHPA boundaries on-site and adjacent properties shall be delineated on the CDs. DSD Planning and/or MSCP staff shall ensure that all grading is included within the development footprint, specifically manufactured slopes, disturbance, and development within or adjacent to the MHPA. For projects within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.
- B. **Drainage:** All new and proposed parking lots and developed areas in and adjacent to the MHPA shall be designed so they do not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant

materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.

- C. **Toxics/Project Staging Areas/Equipment Storage:** Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Where applicable, this requirement shall incorporate into leases on publicly-owned property when applications for renewal occur. Provide a note in/on the CDs that states: "All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."
- D. **Lighting:** Lighting within or adjacent to the MHPA shall be directed away/shielded from the MHPA and be subject to City Outdoor Lighting Regulations per LDC Section 142.0740.
- E. **Barriers:** New development within or adjacent to the MHPA shall be required to provide barriers (e.g., non-invasive vegetation; rocks/boulders; 6-foot high, vinyl-coated chain link or equivalent fences/walls; and/or signage) along the MHPA boundaries to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.
- F. **Invasives:** No invasive non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- G. **Brush Management:** New development adjacent to the MHPA shall be set back from the MHPA to provide required Brush Management Zone 1 area on the building pad outside of the MHPA. Zone 2 may be located within the MHPA provided the Zone 2 management will be the responsibility of an HOA or other private entity except where narrow wildlife corridors require it to be located outside of the MHPA. Brush management zones will not be greater in size than currently required by the City's regulations, the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done and vegetation clearing shall be prohibited within native coastal sage scrub and chaparral habitats from March 1-August 15 except where the City's MSCP Subarea Plan. Existing and approved projects are subject to current requirements of Municipal Code Section 142.0412.
- H. **Noise:** Uses in or adjacent to the MHPA should be designed to minimize noise impacts. Berms or walls should be constructed adjacent to commercial areas, recreational areas, and any other use that may introduce noises that could impact or interfere with wildlife utilization of the MHPA. Excessively noisy uses or activities adjacent to breeding areas must

incorporate noise reduction measures and be curtailed during the breeding season of sensitive species. Adequate noise reduction measures should be incorporated for the remainder of the year.

#### **CLIMATE ACTION PLAN REQUIREMENTS:**

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

#### **ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. The project proposes no export from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on Storm Water Standards in effect at the time of the construction permit issuance.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the private, non-standard driveway in the Encelia Drive right-of-way.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the private, non-standard landscape and irrigation system in the Encelia Drive and Brodiaea Way right-of-way.

22. Prior to the issuance of any construction permits, the Owner/Permittee shall remove the existing cobble curb and replace with non-standard rolled curb to match the existing rolled curb in the Brodiaea Way right-of-way to the satisfaction of the City Engineer.

23. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the private, non-standard rolled curb in the Brodiaea Way right-of-way.

24. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the private, non-standard curb outlet in the Brodiaea Way right-of-way.

25. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the private curb outlet, D-25, in the Brodiaea Way right-of-way.

26. Prior to the issuance of any construction permits, the Owner/Permittee shall remove the existing encroaching walls and replace the non-standard street pavement with current City Standards, adjacent to the project site in the Brodiaea Way right-of-way, to the satisfaction of the City Engineer.

27. Prior to the issuance of any construction permits, the Owner/Permittee shall remove the existing encroaching wall in the proposed sewer easement adjacent to the project site in the Brodiaea Way right-of-way to the satisfaction of the City Engineer.

28. Prior to the issuance of any construction permits, the Owner/Permittee shall remove the existing encroaching walls and replace the non-standard street pavement with current City Standards, adjacent to the project site in the Encelia Drive right-of-way.

#### LANDSCAPE REQUIREMENTS:

29. Prior to issuance of any grading permits, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Development Services Department.

30. Prior to the issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-

foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

31. Prior to issuance of any construction permit (including shell) the Owner/Permittee shall complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A', Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(5).

32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

#### BRUSH MANAGEMENT REQUIREMENTS

34. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit 'A' on file in the Development Services Department.

35. The Brush Management Program shall be based on a modified Zone One with alternative compliance measures as set forth under the Exhibit 'A' with a 35-foot width and a Zone Two of 65-foot width, exercising the Zone Two reduction option and Alternative Compliance measures set forth under §142.0415(i) and §142.0412(j). The entire parcel shall be completely maintained in a Zone One condition at all times with a minimum 10 feet from the north façade to the north property line.

36. Alternative Compliance: All openings along the north façade of the habitable structure, plus a 10foot perpendicular return along the west and east facades, shall be upgraded to dual-glazed, dualtempered panes as alternative compliance for the reduced brush management zones.

37. Prior to issuance of any grading permits, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit 'A'.

38. Prior to issuance of any construction permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be substantial conformance with Exhibit 'A' on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

39. Within Zone One, combustible accessory structures (including, but not limited to, decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy limber construction may be approved within the designated Zone One area, subject to Fire Marshall's approval.

40. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

#### **GEOLOGY REQUIREMENTS**

41. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

#### **PUBLIC UTILITIES REQUIREMENTS**

42. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

43. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate back flow prevention device(s) on each water service (domestic, fire, and irrigation) in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

44. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

45. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards, and practices.

#### PARK AND RECREATION REQUIREMENTS

46. The Owner/Permittee shall ensure that all privately owned and maintained infrastructure including retaining wall footings are located on private property.

47. The Owner/Permittee shall ensure Parks and Recreation review and approval of the grading plans prior to permit issuance.

48. The Owner/Permittee shall ensure that no invasive plant material is planted adjacent to City fee-owned open space.

49. The Owner/Permittee shall ensure that there is no overspray or irrigation runoff on adjacent City fee-owned property.

#### PLANNING/DESIGN REQUIREMENTS:

50. Owner/Permittee shall maintain a minimum of 2 off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit 'A'. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

51. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

52. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources and Steep Hillsides, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

53. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

#### **INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 5, 2019 and <mark>[Approved Resolution]</mark> Number].

#### **ATTACHMENT 5**

COASTAL DEVELOPMENT PERMIT NO. 1367758 and SITE DEVELOPMENT PERMIT NO. 1466667, Date of Approval: June 5, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Martha Blake Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

Ву \_\_\_\_

Vitaly Klintsov Owner

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq. (Check one or both)

TO:

X Recorder/County Clerk P.O. Box 1750, MS A-33 1600 Pacific Hwy, Room 260 San Diego, CA 92101-2400

Office of Planning and Research 1400 Tenth Street, Room 121 Sacramento, CA 95814 FROM: (

City of San Diego Development Services Department 1222 First Avenue, MS 501 San Diego, CA 92101

Project Name/Number: Brodiaea Way CDP SDP / 389648

SCH No.: N/A

Project Location-Specific: 7362 Brodiaea Way, La Jolla, CA 92037

Project Location-City/County: San Diego/San Diego

**Description of nature and purpose of the Project:** Coastal Development Permit and a Site Development Permit to demolish an existing single-family one-story residence and detached garage and construct a 9,025 square-foot single-family two-story residence with a basement, attached 1,085 square-foot garage, and a 460 square-foot detached pool house located at 7362 Brodiaea Way. A Boundary Line Correction (BLC) is proposed to remove the building/site from the Multi-Habitat Planning Area. The existing building/disturbed site predates Multi-Species Conservation Plan (MSCP). The 0.639-acre site is designated Very Low Density Residential pursuant to the La Jolla Community Plan and is subject to the RS-1-4 zoning requirements. The project is also subject to Coastal Overlay Zone (Non-appealable), Coastal Height Overlay, Parking Impact Overlay (Coastal), Brush Management, Geologic Hazard Category 53, La Jolla Community Plan Area, and Council District 1. (LEGAL DESCRIPTION: Map 1975, Lot 12, Block D, La Jolla Country Club Heights Subdivision, City of San Diego, County of San Diego, State of California)

#### Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Vitaly Klintsov

5431 Caminito Bayo

La Jolla, CA 92037 (858) 900-5095

#### Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- ( ) Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: CEQA Guidelines Section(s) 15301(l)(1) (Existing Facilities), 15302 (Replacement or Reconstruction).
- () Statutory Exemptions:

**Reasons why project is exempt:** The City conducted an environmental review which determined that the project is exempt from CEQA pursuant to CEQA Guidelines Section(s) 15301(l)(1) and 15302, which allows for the demolition activities related to the existing residence and detached garage structure and replacement of an existing single-family residence with an accessory structure for a new single-family residence with an accessory structure for a new single-family residence with an accessory structure. The new structures would be located on the same site as the structure replaced and would have the same purpose and capacity. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Revised May 2018

#### Lead Agency Contact Person: Rachael Lindquist

Telephone: (619) 446-5129

If filed by applicant:

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

GENOR PLANNER **Title** 

Check One: (X) Signed By Lead Agency ( ) Signed by Applicant

Date Received for Filing with County Clerk or OPR:



### La Jolla Community Planning Association

February 14, 2019

To: Martha Blake

cc. C.A. Marengo

Subject: La Jolla Community Planning Association Vote

RE: Brodiaea Way (Project #389648)

On February 7, 2019 at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed **Brodiaea Way** as an Action Item on Full Review.

12.0 Coastal Development Permit and Site Development Permit to demolish an existing residence and construct a 15,670 square foot, two story residence with a basement garage, and a 738 square foot detached pool house at 7362 Brodiaea Way. The 0.639 acre site is in the RS-1-4 zone and Coastal Overlay Zone (Non-Appealable) within the La Jolla Community Plan Area, Council District One.

е

The LJCPA made the following motion to recommend the project. Findings can be made for a CDP and SDP to construct a new residence as presented. Vote: 13-0-1. This vote was consistent with the DPR recommendation to approve this project: 6-0-1.

Sincerely,

#### Robert Steck, President

La Jolla Community Planning Association

PO Box 889, La Jolla, CA 92038 • 858.456.7900 • http://www.LaJollaCPA.org • info@LaJollaCPA.org

	City of San Diego	Damasta		unt/min		FORM
	Development Services Attn: Deposit Accounts	Deposit A				
	1222 First Ave., MS-401 San Diego, CA 92101 619) 446-5000	j	Hesp	onsid	le Party	JUNE 2013
THE CITY OF SAN DIEGO	<b>A</b>					·
Project Address/Lo 1362 BROP	Cation: AGAWAYLAIOULA	CA 92037 Project	No.: FOR	CITY USE ONLY	Internal Orde	r No.: For Crry Use Only
Approval Type: (	Check appropriate box for type of	approval needed				
Grading P	ublic Right-of-Way Subdivi	sion U Neighborhood U	Jse	Coastal L 1	Veighborhood D	evelopment
	ent Planned Development Map Waiver Other:			e 🖵 Vesting	g Tentative Map	
					1 1	1.12.1.1
<b>Deposit Trust Fund Account Information:</b> Some projects require a deposit into a Trust Fund account with an initial deposit to pay for the review, inspection and/or project management services of that project. The initial deposit is drawn against to pay for these services. The Financially Responsible Party will receive a monthly statement reflecting the charges made against the account, and an invoice when additional deposits are necessary to maintain a minimum balance. The payment of the invoice will be required in order to continue processing your project. At the end of the project, any remaining funds will be returned to the Financially Responsible Party.						
	FINAN	CIALLY RESPONSE	BLE PA	ARTY	, VITALY	KLINTSOU
Name/Firm Name	WITALY WIND	Address: 7362	1840	ODIALF	E-mail:	HAIL BU
City: LAJ	OLLA State: CA	Address: 736 Zip Code: 1203	7 Teler	phone: 58-900	Fax No	
Financially Responsible Party Declaration: I understand that City expenses may exceed the estimated advance deposit and, when requested by the City of San Diego, will provide additional funds to maintain a positive balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the trust account, unless the City of San Diego approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested advance deposit is received. This is a continuation of existing Project No. Internal Order No.						
1. Same 2. Same 3. Same 4. Same	a existing opened account may location for both projects; Financially Responsible Party decision process (Ministerial a project manager is managing b ninary Review results in a proj	nd discretionary projects both projects; and	may no	ot be combine	d);	
Please be advis	ed: Billing statements cannot o	listinguish charges betwe	en two d	lifferent proje	cts.	
Please Print Le	gibly.	D17	57	SALPR		
Print Name: U	TALY KLINTS	Title		JNER -17	5.17	
Signature*:	tog llow	Date	: <u>09</u>	-(1)	2014	
*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer).						
Project Title: B	Rodinea WAY.	Residence C.	00	e Requested:	9-1	9-14
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1.PROP "D" HEIGHT LIMIT AREA YES	2. A CERTIFIC COMPLETEI ERECTION (
<sup>2.</sup> THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO SHEETS A-5.1, A-5.2 FOR BUILDING HEIGHT DOCUMENTATION.	NOTICE TO THE RECORD: By usin specified herein, yo inspections, structu components, conta construction codes NOTICE TO THE
DRAFT CONDITIONS	CONTRACTOR/E permitted construc acknowledge and a
<ol> <li>PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITTEE SHAL ASSURE BY PERMIT AND BOND THE REPLACEMENT OF THE EXISTING COBBLE GUTTER WITH THE NEW CITY STANDARDS CURB &amp; GUTTER, ALONG THE PROPERTY FRONTAGE ON BRODIAEA WAY, SATISFACTORY TO THE CITY ENGINEER</li> <li>PRIOR THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE</li> </ol>	L You agree to comp observations, const in the statement of
SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.	Γ
<ol> <li>PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEESHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.</li> <li>PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S</li> </ol>	
<ul> <li>STORM WATER STANDARDS.</li> <li>5. THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.</li> <li>6. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL OBTAIN A BONDED GRADING PERMIT FOR THE GRADING PROPOSED FOR THIS PROJECT. ALL GRADING SHALL CONFORM TO REQUIREMENTS IN</li> </ul>	STRUCTURA ARCHITECT ANOTHER E ARCHITECT STRUCTURA
<ul> <li>ACCORDANCE WITH THE CITY OF SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE CIVIL ENGINEER.</li> <li>7. PRIOR TO THE ISSUANCE OF ANY FOUNDATION INSPECTION, THE OWNER/PERMITTEE SHALL SUBMIT A BUILDING PAD CERTIFICATION SIGNED BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR, CERTIFYING THE PAD ELEVATION BASED ON USGS DATUM IS CONSISTENT WITH EXHIBIT 'A',</li> </ul>	REPORTED CONTRACT SUBMIT TO VISITS HAV TO THE BES RESOLVED.
<ul> <li>SATISFACTORY TO THE CITY ENGINEER.</li> <li>PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITTEE SHAL OBTAIN AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT FOR THE RECONSTRUCTION OF THE NON-STANDARD COBBLE CURB AND GUTTER LOCATED WITHIN BRODIAEA WAY RIGHT-OF-WAY, SATISFACTORY TO THE CITY ENGINEER.</li> </ul>	3

BASIS FOR STRUCTURAL DESIGN

DESIGN LOADS:

FOUNDATIONS / SOILS CRITERIA:

## ☐ YES ☐ NO SPECIAL INSPECTION: REFER TO SHEET S1A FOR "SPECIAL INSPECTION PROGRAM". 1. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL N MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION DIVISION. FABRICATION: YES $\Box$ NO CATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO CTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION. CATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE ED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO OF PREFABRICATED COMPONENTS. E APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT or ENGINEER OF

BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this ction drawings for construction/installation of the work specified herein, you are aware of, the requirements contained in the statement of special inspections. ply with the requirements of City of San Diego for special inspections, structural struction material testing and off-site fabrication of building components, contained f special inspections and, as required by the California construction codes.

## STRUCTURAL OBSERVATION

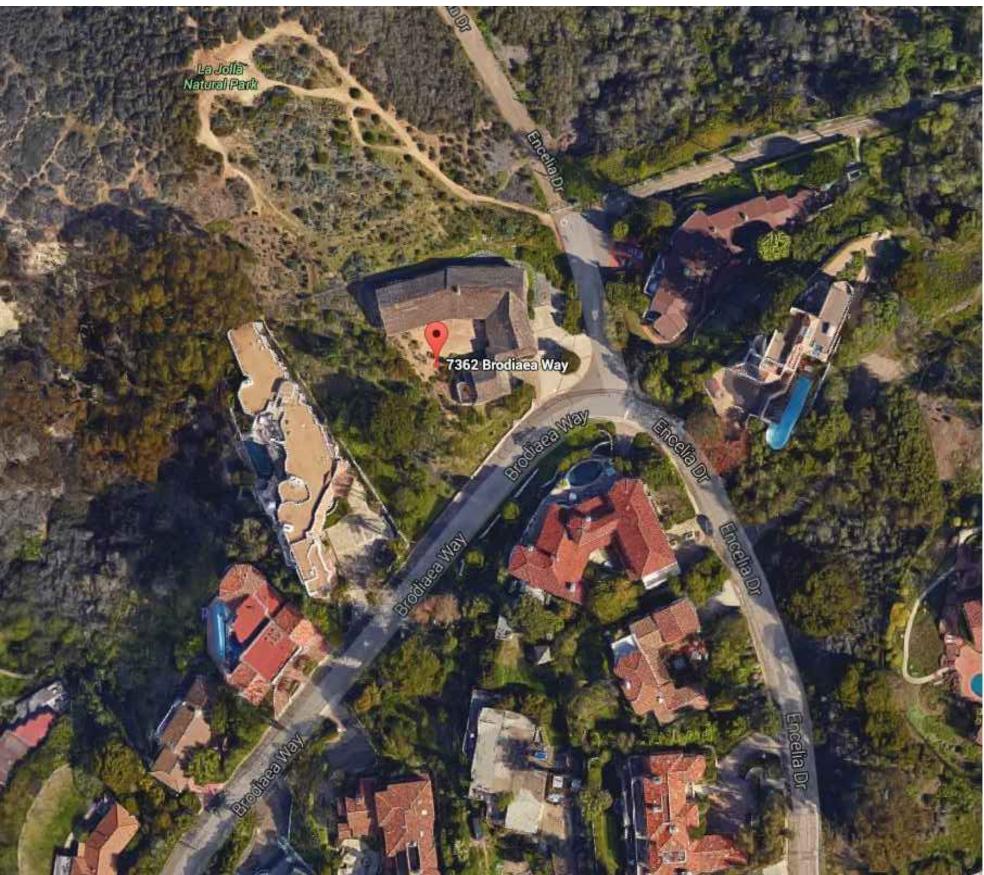
OBSERVATION: NO

OBSERVATION SHALL BE PROVIDED FOR THE TEMS:

HEET S1A FOR "STRUCTURAL OBSERVATION

ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR

# **BRODIAEA RESIDENCE** 7362 BRODIAEA WAY, LA JOLLA, CA 92037



## SPECIAL INSPECTION & OFF-SITE FABRICATION

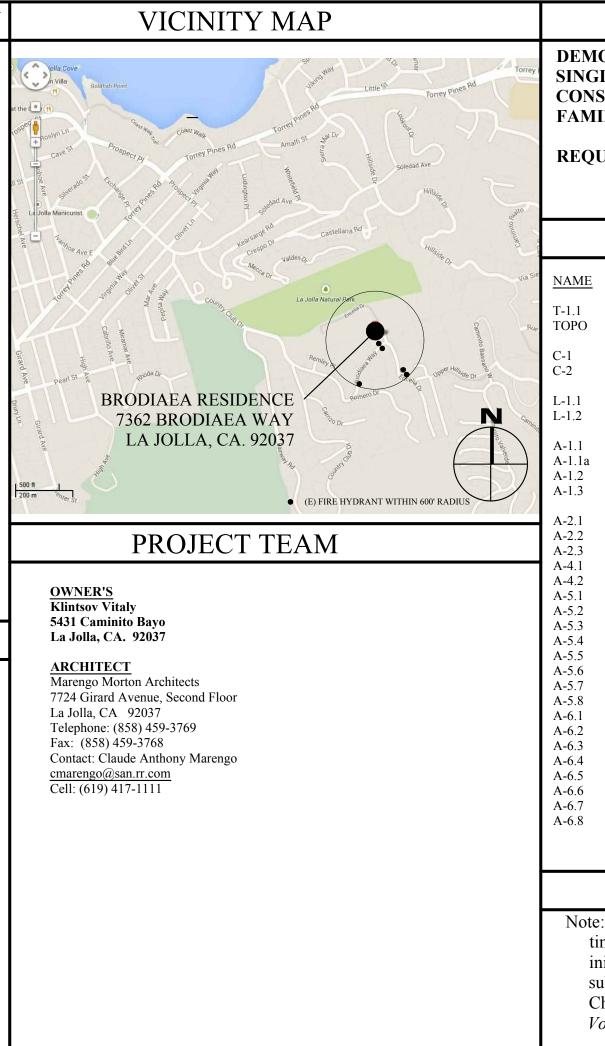
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REQU

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		All design, ideas and arrangem on these drawings are the leg Marengo Morton Architects, I the specific project for whi prepared as indicated on the pr Reproduction, publication or method, in whole or part, with written consent of Marengo M. Incorporated is prohibited. The changes, substitutions, mood deviations from these dr accompanying specification consent of Marengo Morto Incorporated. Visual, physica contact or use of these drawin specifications shall constitute the all these restriction
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GRADING PLAN	EDITION & ASSOCIATED AMENDMENTS IN SDMC. CALIFORNIA BLDG. CODE (CBC) BASED ON 2016 IBC. NATIONAL ELECTRICAL CODE (NEC), 2016 EDITION	REVISIONS 2014-09-18 Completeness 2014-10-09 Full Submittal
SITE SECTIONS LANDSCAPE PLAN BRUSH MANAGEMENT PLAN	NATIONAL MECHANICAL CODE (CMC), 2016 EDITION CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION	2015-12-11 CDP Resubmi 2016-08-01 CDP Resubmi 2016-12-07 CDP Resubmi 2017-12-01 CDP Resubmi 2018-07-09 CDP RESUBM
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PROPOSED POOL HOUSE SECTIONS PROPOSED SITE SECTION	BUILDING AREAS: EXISTING NEW PROPOSED	Marengo Morton Architects, Inc. is pro with certain parties, materials stored elec recognize that data, plans, specifications, other information recorded on or transmi
PROPOSED SITE SECTION	FIRST FLOOR AREA:         0 S.F         5,872.5 S.F.         5,872.5 S.F.           SECOND FLOOR AREA:         0 S.F         3,242.4 S.F.         3,242.4 S.F.	(including but not necessarily limited to subject to undetectable alteration, ei unintentional, due to, among other ca conversion, media degradation, softw alteration. Accordingly, all such docume
	POOL HOUSE AREA:         0 S.F         537.5 S.F.         537.5 S.F.           RESIDENTIAL AREA:         9,652.4 S.F.         9,652.4 S.F.         9,652.4 S.F.	parties for informational purposes onl product nor as a record document. An deemed to be unreasonable and unenforc stamped hard copies with the wet signat
DEFERRED SUBMITTALS te: Plans for the deferred submittal shall be submitted in a	GARAGE AREA 1,058.48 S.F.	Record are the Architect's Instruments only true contract documents SHEET TITLE
timely manner that allows a minimum of 30 working days for initial plan review. All comments related to the deferred	SECOND FLOOR DECK AREA [1,120.30 S.F.]	TITLE SHEE
submittal must be addressed to the satisfaction of the Plan Check Division prior to approval of the submittal items. <i>LDM</i>		<b>T-1</b>
Vol. 1, Ch. 1, Sec. 2.	LOT AREA 27,878 S.F. ACTUAL F.A.R. 9,652.4/27,878= 0.35	
NFPA 13 Automatic Sprinkler System	ALLOWABLE F.A.R45	

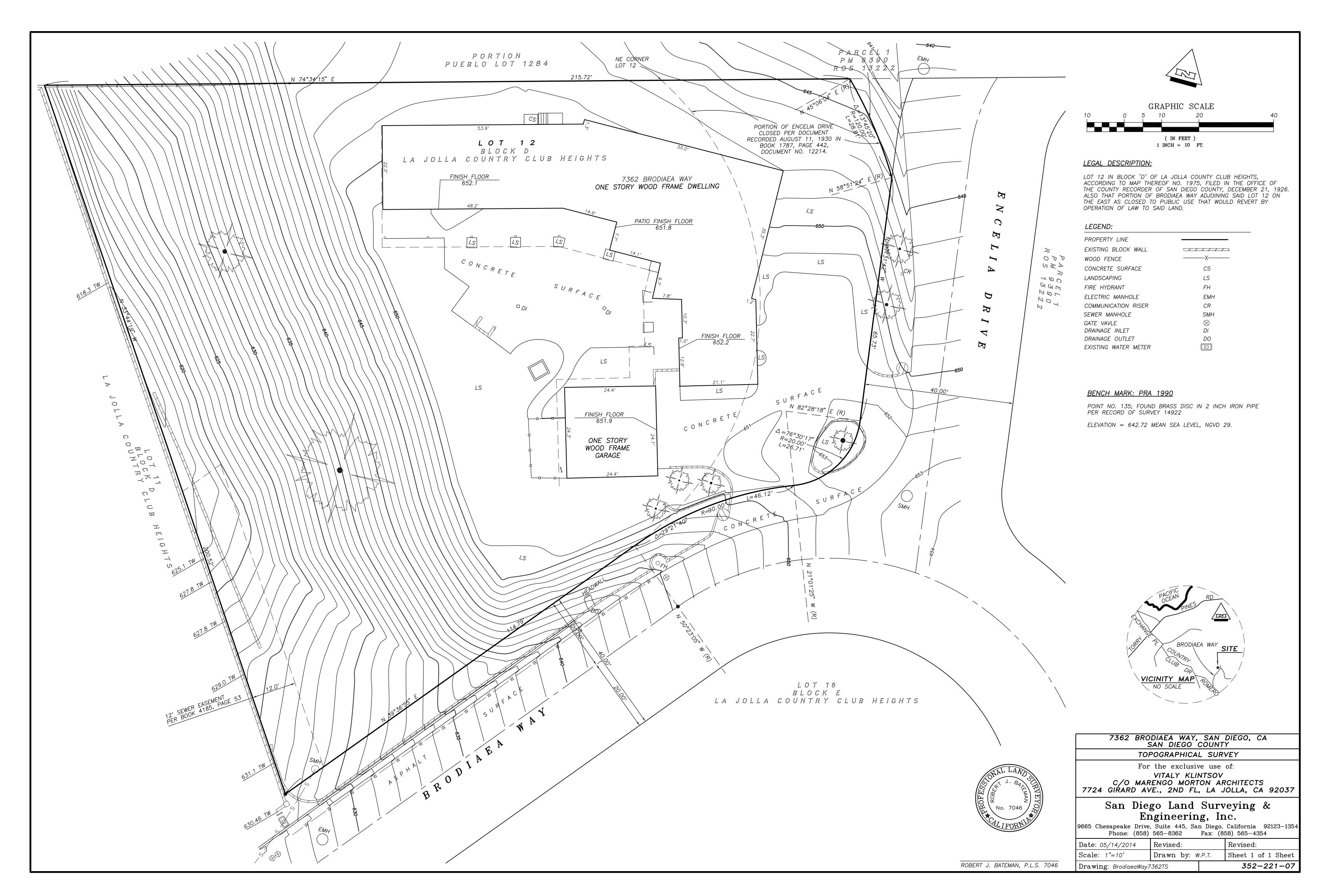
ng this permitted construction drawings for construction/installation of the work you agree to comply with the requirements of City of San Diego for special tural observations, construction material testing and off-site fabrication of building ained in the statement of special inspections and, as required by the California

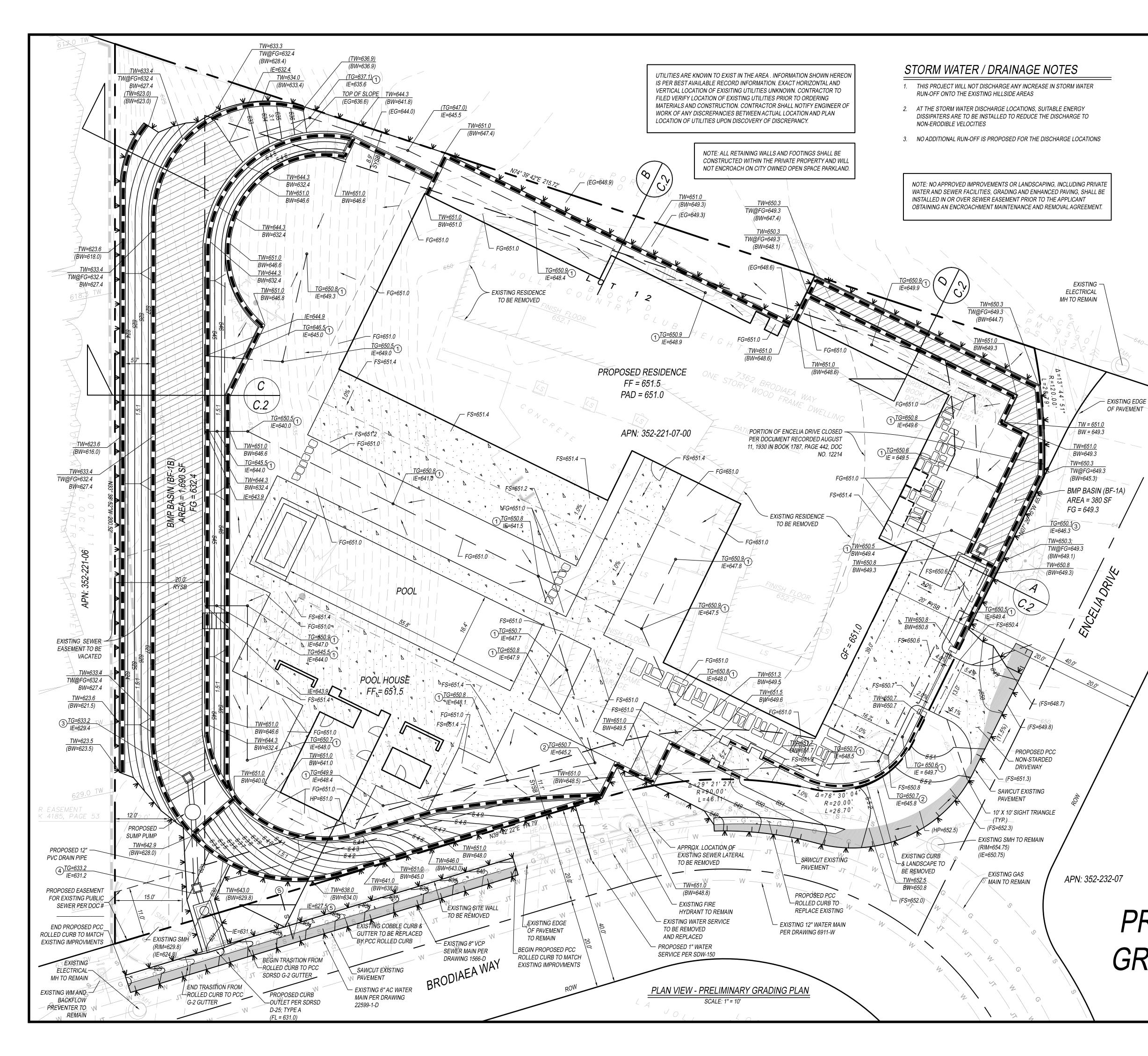
AL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR T OF RECORD RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR T RESPONSIBLE FOR THE STRUCTURAL DESIGN, AS OUTLINED IN THE AL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, FOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT. ST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN

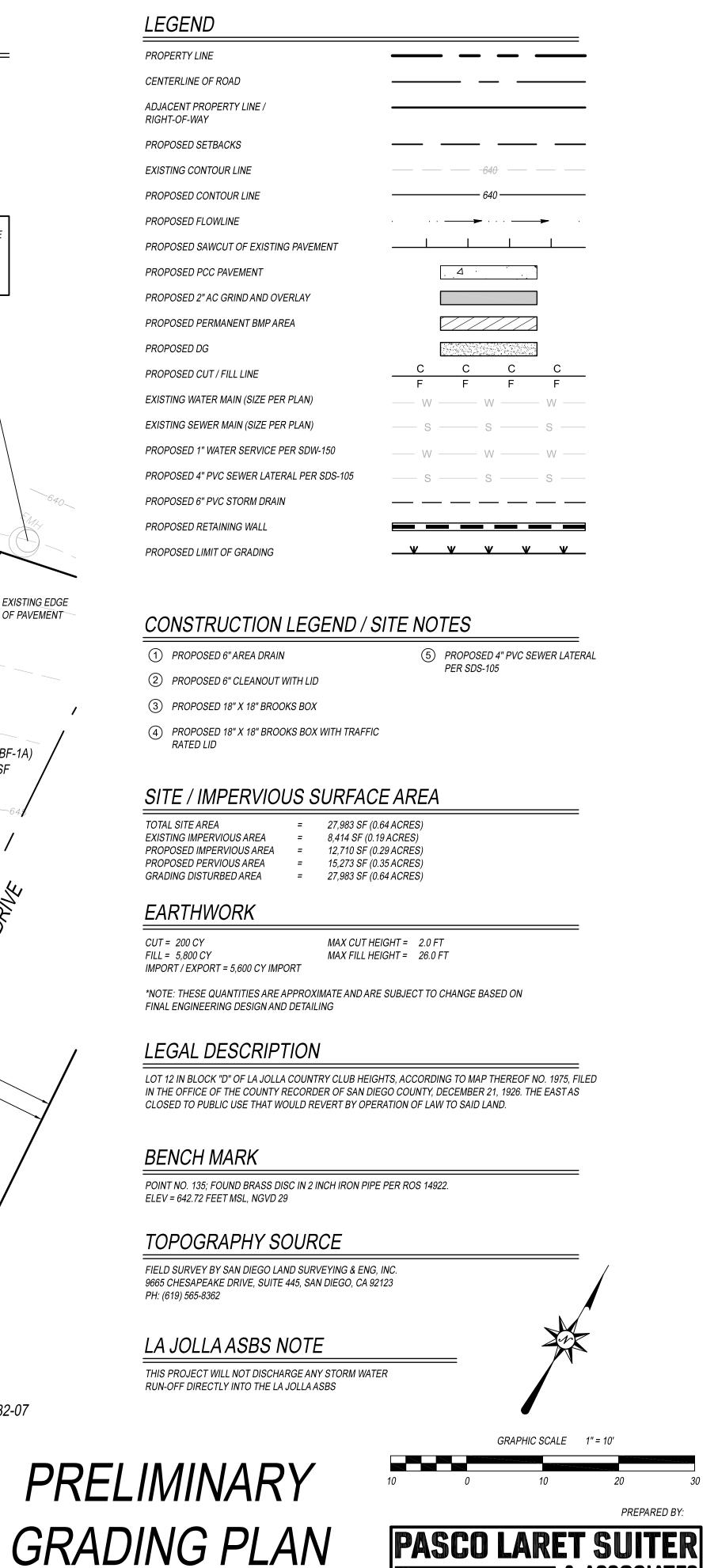


# **ATTACHMENT 9**

	Ctintel REI → C-19 → REI April 30	n ects Ave. 92037 59-3769 59-3768 AIA Marengo Desa $\frac{RCH}{V}$
	All design, ideas and arra on these drawings are t Marengo Morton Archite the specific project for prepared as indicated on Reproduction, publicat method, in whole or par written consent of Maren Incorporated is prohibite changes, substitutions deviations from th accompanying specifi consent of Marengo N Incorporated. Visual, pl contact or use of these d specifications shall consti- all these res	he legal property of ects, Incorporated and or which they were the project title block. ion or re-use by any t, without the express go Morton Architects, ed. There shall be no s, modifications or ese drawings or cations without the Morton Architects, hysical, or electronic rawings and attached itute the acceptance of
	BRODIAEA RESIDENCE	7362 BRODIAEA WAY LA JOLLA CA 92037
C.	REVISIONS 2014-09-18 Complete 2014-10-09 Full Subm 2015-12-11 CDP Ress 2016-08-01 CDP Ress 2016-12-07 CDP Ress 2018-07-09 CDP RES 2018-07-09 CDP RES 2018-09-07 CDP RES 2018-11-21 CD	nittal ubmittal ubmittal ubmittal ubmittal UBMITTAL
	PHASE COAS	TAL
	PROJECT NO. 2014	-14
	REVIEWED BY CA	M
	DRAWN BY AI	)
	DATE 12/18/2	2018
	Marengo Morton Architects, Ind with certain parties, materials stor recognize that data, plans, specific tother information recorded on or t (including but not necessarily lim subject to undetectable alterat unintentional, due to, among of conversion, media degradation alteration. Accordingly, all such of parties for informational purpor product nor as a record docum deemed to be unreasonable and u stamped hard copies with the wet Record are the Architect's Instru- only true contract doc SHEET TITLE TITLE SI	red electronically. The parties cations, reports, documents, or ransmitted as electronic media ited to "CAD documents") are tion, either intentional or other causes, transmission, n, software error, or human documents are provided to the sees only and not as an end ent. Any reliance thereon is nenforceable. The signed and t signature of the Architect of mments of Service and are the cuments of record.
	<b>T-1</b>	.1







SHEET C.1

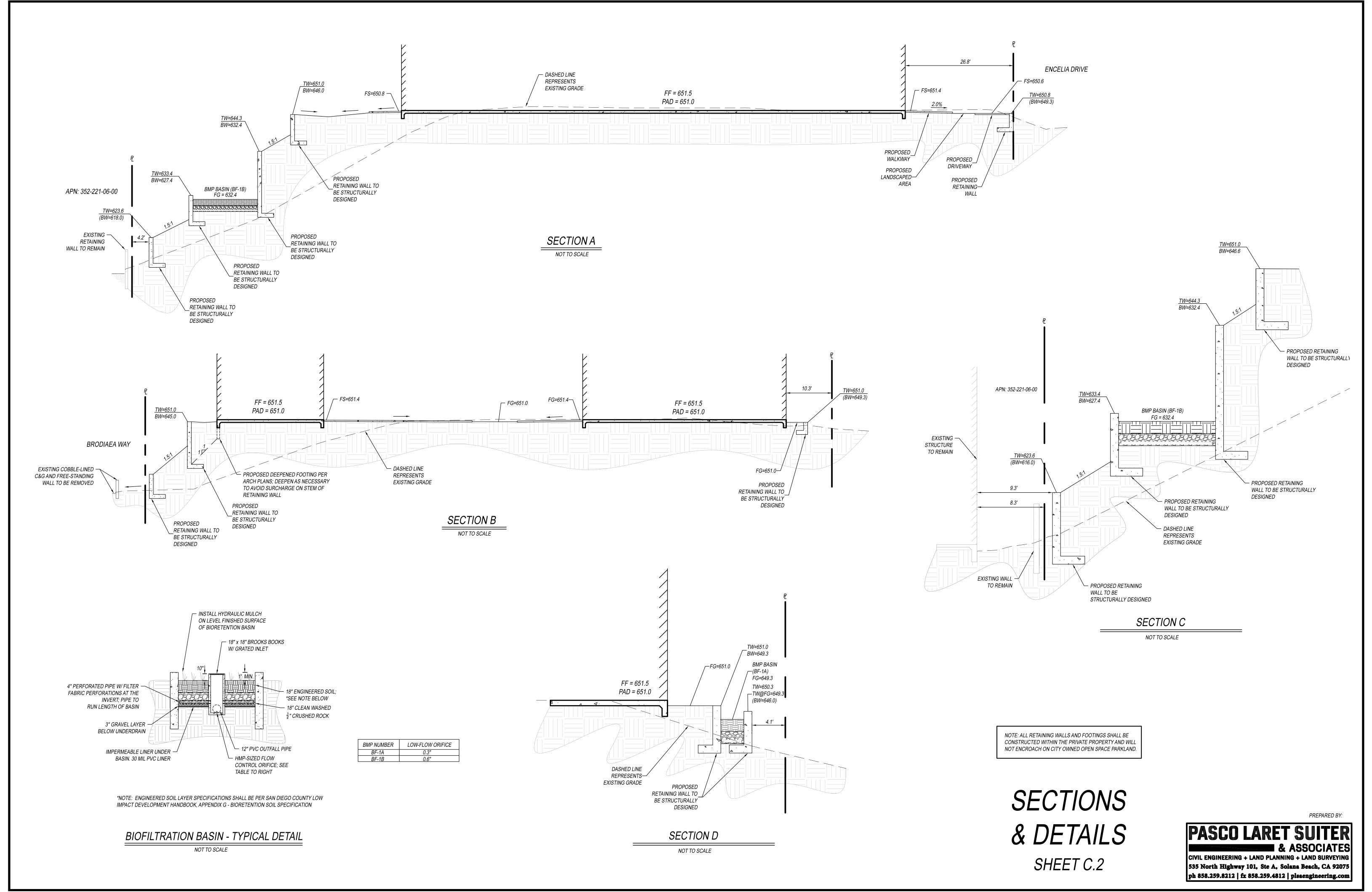
PLSA 2762-01

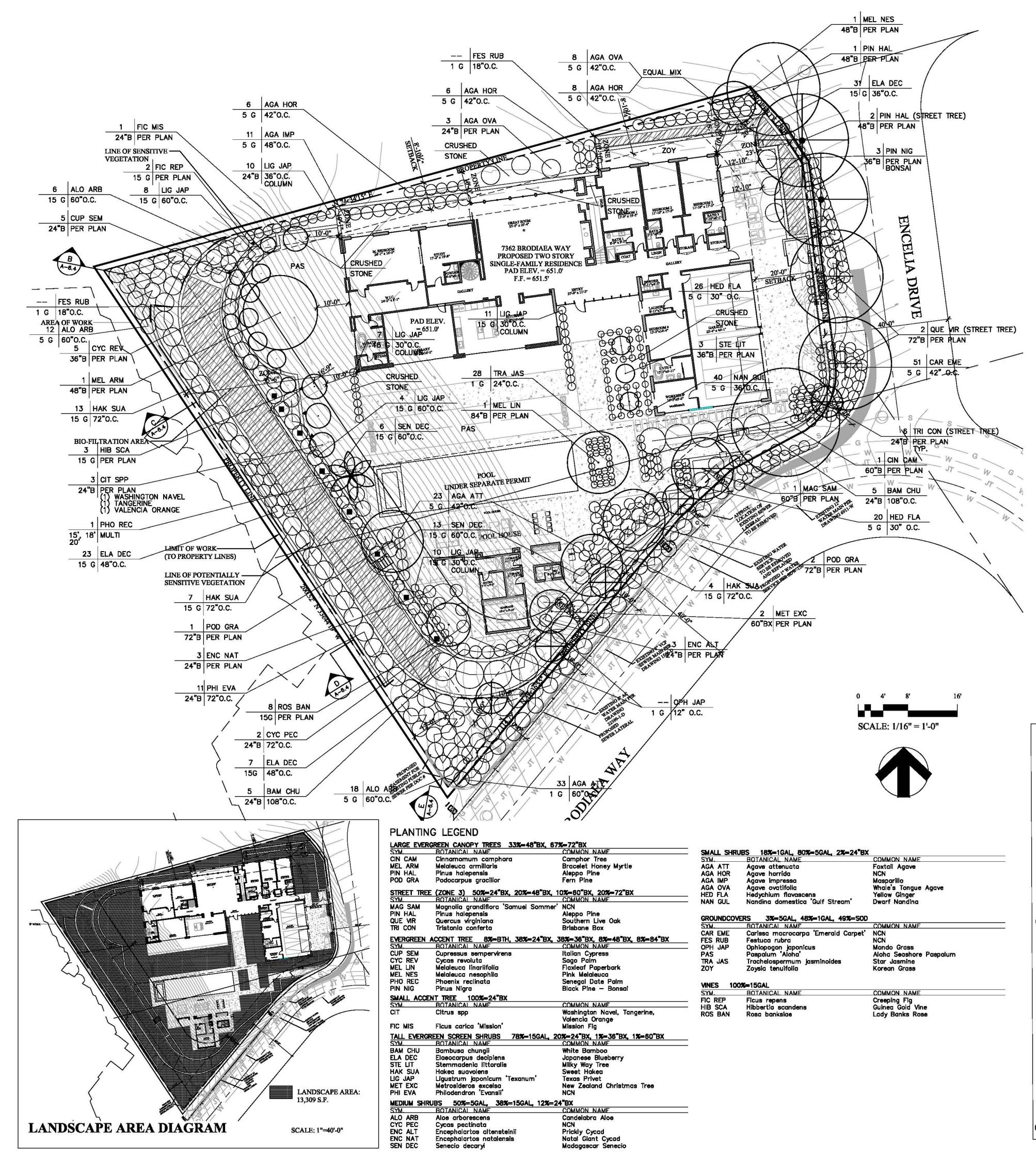
& ASSOCIATES

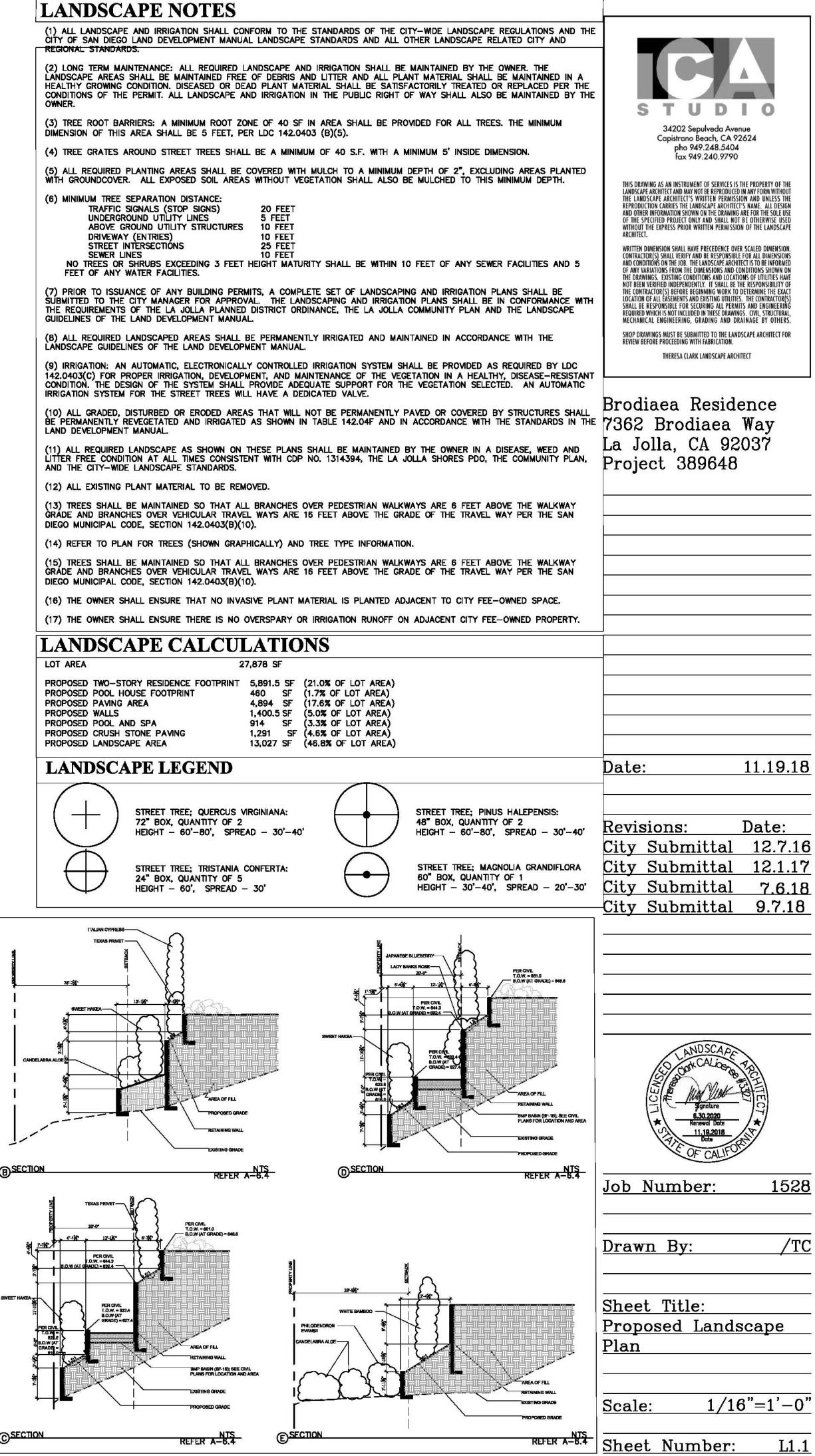
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING

535 North Highway 101, Ste A, Solana Beach, CA 92075

ph 858.259.8212 | fx 858.259.4812 | plsaengineering.con

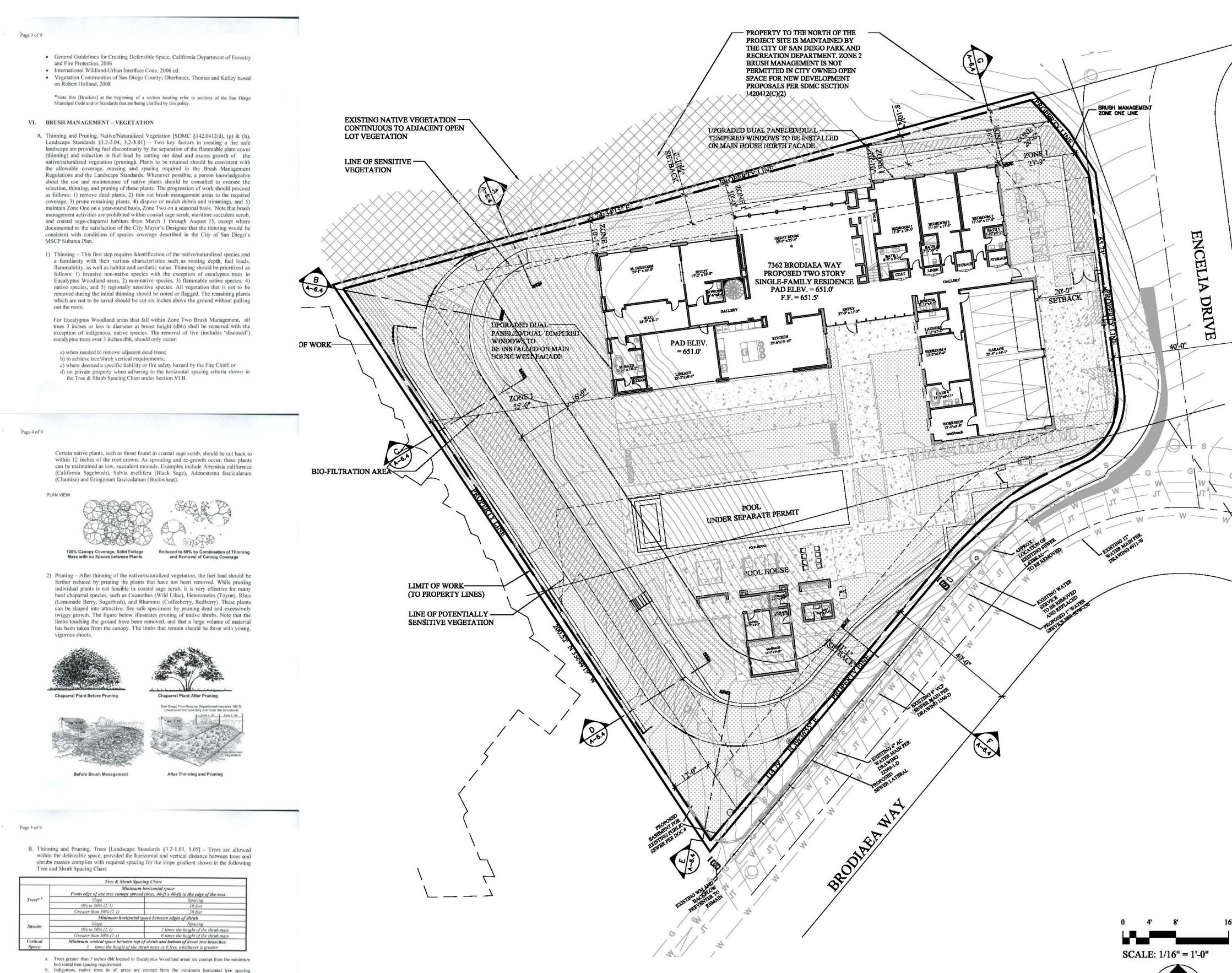






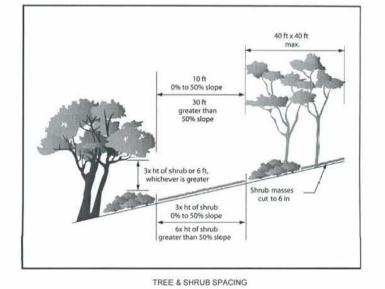
**ATTACHMENT 9** 

B SECTION



	Tree & Shrub Spo	acing Chart		
	Minimum horizontal space From edge of one tree canopy spread (max. 40-ft x 40-ft) to the edge of the next			
Treesa, b	Stope	Spacing		
	0% to 50% (2:1)	10 feet		
	Greater than 50% (2:1)	30 feet		
0	Minimum horizontal space between edges of shrub			
Shrubs	Slope	Spacing		
Shrubs	0% 10 50% (2:1)	3 times the height of the shrub mass		
	Greater than 50% (2:1)	6 times the height of the shrub mass		
Vertical Space	Minimum vertical space between top of shrub and bottom of lower tree branch 3 times the height of the shrub mass or 6 feet, whichever is greater			

horizontal tree spacing requirement. b. Indigenous, native trees in all areas are exempt from the minimum horizontal tree spacing

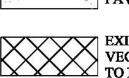


Vertical clearance between trees and shrubs can be created by pruning up the tree canopy, reducing height of the shrubs, or a combination thereof. Canopies of existing trees that extend to within 10 feet of any structure shall be pruned to maintain a minimum horizontal and vertical clearance of 10 feet. Portions of tree canopies that extend within 10 feet of the

# **BRUSH MANAGEMENT LEGEND**

PROPOSED LANDSCAPE AREA - 13,309 S.F.

AREA OF PROPOSED PAVING - 4,253 S.F.

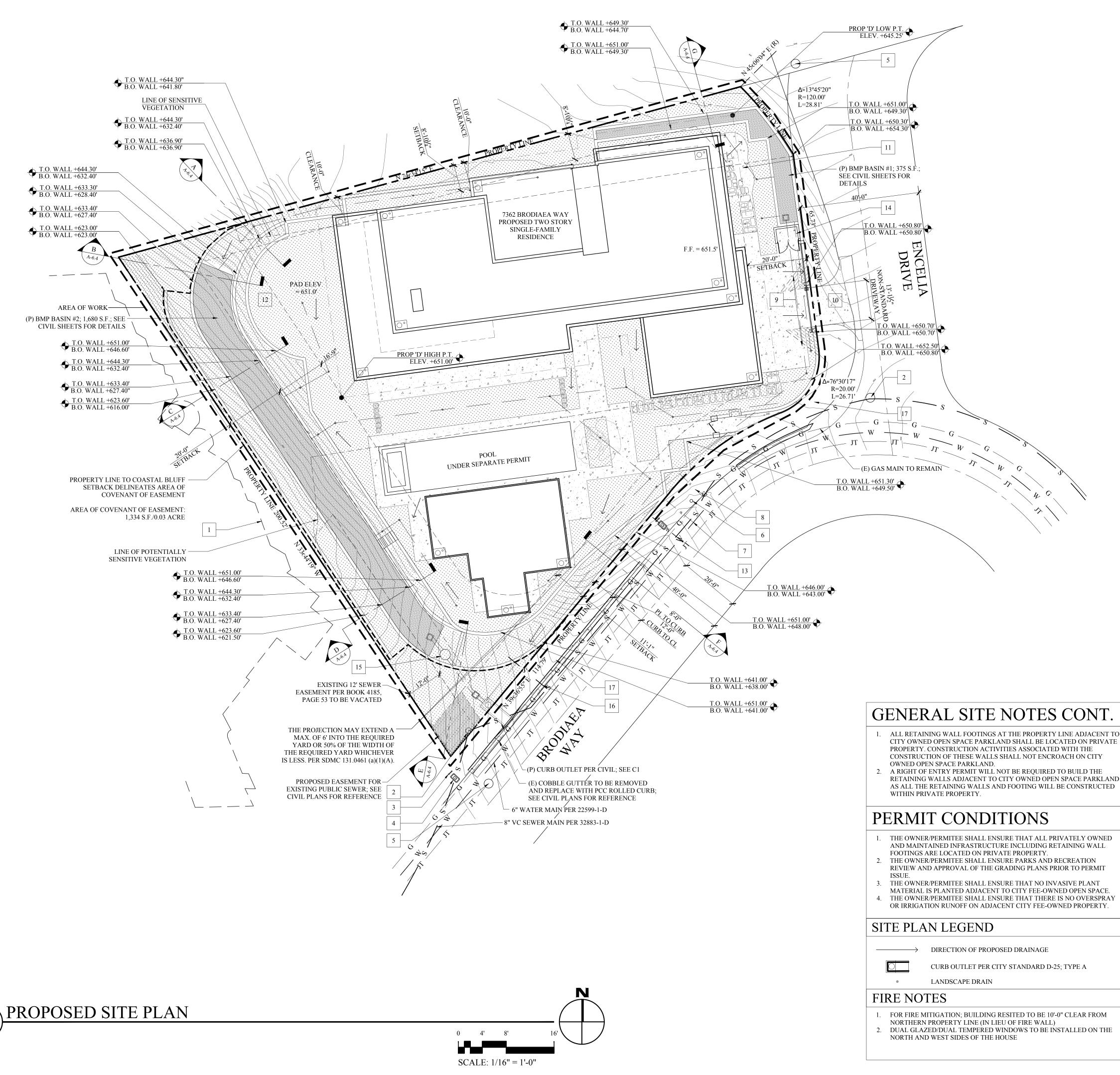


EXISTING NATIVE VEGETATION TO REMAIN



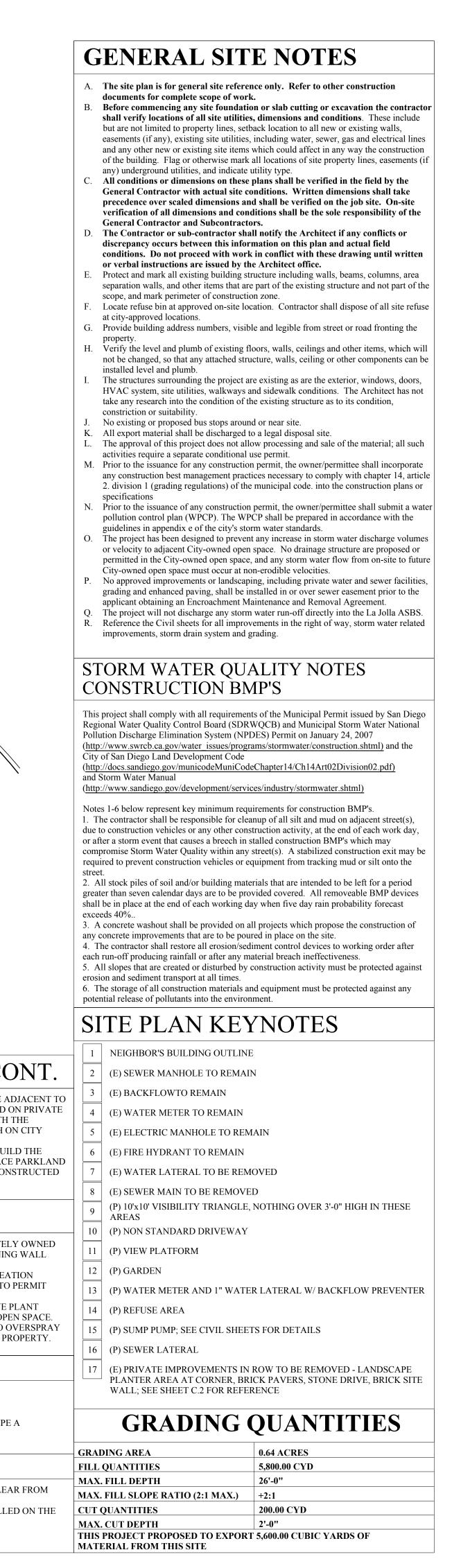
### **ATTACHMENT 9**

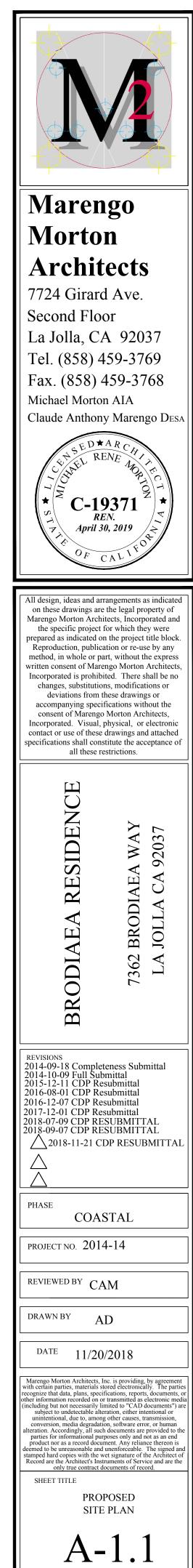
	BRUSH MANAGEMENT ZONE NOTES	
/	Brush Management Zone One This is the most critical area for fire and watershed safety. Brush management Zone one is the area adjacent to the structure, shall be least flammable, and shall consist of pavement and permanently irrigated ornamental planting. Brush management Zone one shall not be allowed on slopes with a gradient greater than 4:1 (4 horizontal feet to 1 vertical foot) unless the property that received tentative map approval before	S T U D I O
	November 15, 1989. Zone One Requirements [Section 142.0412(g)] (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.	34202 Sepulveda Avenue Capistrano Beach, CA 92624 pho 949.248.5404 fax 949.240.9790
	(2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures; and non-habitable gazebos that are located within brush management Zone one shall be of non-combustible construction.	THIS DRAWING AS AN INSTRUMENT OF SERVICES IS THE PROPERTY OF THE LANDSCAPE ARCHITECT AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE LANDSCAPE ARCHITECT'S WRITTEN PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE LANDSCAPE ARCHITECT'S NAME. ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR THE SOLE USE OF THE SPECIFIED PROJECT ONLY AND SHALL NOT BE OTHERWISE USED
	(3) Plants within Zone One shall be primarily low—growing and less than 4 feet in height with the exception of trees. Plants shall be low—fuel and fire—resistive.	WITHOUT THE EXPRESS PRIOR WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSION. CONTRACTOR(S) SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE LANDSCAPE ARCHITECT IS TO BE INFORMED
	(4) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.	OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. EXISTING CONDITIONS AND LOCATIONS OF UTILITIES HAVE NOT BEEN VERIFIED INDEPENDENTLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) BEFORE BEGINNING WORK TO DETERMINE THE EXACT LOCATION OF ALL EASEMENTS AND EXISTING UTILITIES. THE CONTRACTOR(S)
	<ul> <li>(5) Permanent irrigation is required for all planting areas within Zone One except as follows:</li> <li>(A) When planting areas contain only species that do not grow taller than 24 inches in height, or</li> <li>(B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.</li> </ul>	SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND ENGINEERING REQUIRED WHICH IS NOT INCLUDED IN THESE DRAWINGS. CIVIL, STRUCTURAL, MECHANICAL ENGINEERING, GRADING AND DRAINAGE BY OTHERS. SHOP DRAWINGS MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW BEFORE PROCEEDING WITH FABRICATION. THERESA CLARK LANDSCAPE ARCHITECT
	(6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.	
	(7) Zone one shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.	Brodiaea Residence 7362 Brodiaea Way
	Brush management Zone Two Brush management Zone Two is the area between Zone One and any area of native or naturalized vegetation and shall consist of thinned, native or non—irrigated vegetation.	La Jolla, CA 92037 Project 389648
	Zone Two Requirements [Section 142.0412(h)] (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure to the edge of undisturbed vegetation.	12 Yeld dar 🕐 Add Spac yr Ynge dde 62d 32- yeddiodd
	(2) No structures shall be constructed in Zone Two	
G	(3) Within Zone two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.	
1	(4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non—native plants shall be pruned before native plants are pruned.	
/	<ul> <li>(5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:</li> <li>(A) All new plant material for Zone Two shall be native nonirrigated, low-fuel, and fire-resistive. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.</li> <li>(B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through</li> </ul>	
	<ul> <li>ladder fueling.</li> <li>(C) All new Zone Two plantings shall be irrigated temporarily until established to the satisfaction of the City Manager. Only low flow, low-gallonage spray heads may be used in Zone Two.</li> <li>Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.</li> <li>(D) Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The</li> </ul>	Date: 11.19.18 Revisions: Date: City Submittal 12.7.16
	remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.	City Submittal 12.1.17
	(6) Zone Two shall be maintained on a regular basis by pruning and thinning plants, controlling weeds.	City Submittal 7.6.18 City Submittal 9.7.18
	BRUSH MANAGEMENT NOTES	
	(1) A pre-construction meeting shall be held with the City's Landscape Inspector prior to implementing the Brush Management Program.	
	(2) All landscape and irrigation shall conform to the standards of the City–Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.	O LANDSCAPE O LANDSCAPE
5'	(3) Maintenance: All required landscape areas shall be maintained by Owner. Landscape & irrigation areas in the public ROW shall be maintained by Owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.	Cont CALice with Signature Signature €30.2020 ★ Renewal Date 1.19.2018
	(4) An automatic, electrically controlled irrigation system shall be installed as shown on the plans and in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards. Irrigation systems shall be maintained for proper development and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.	Job Number: 1528
	(5) Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15-gallon size or 60-inch box size material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15-gallon shrub or 60-inch box tree.	Drawn By: /TC
	(6) Brush management activities are prohibited within coastal sage scrub, maritime succulent shrub, and chaparrel habitats during the breeding season of federally protected species, from March 1 to August 15, except where documented to satisfaction of the City of San Diego that the thinning would be consistent with the conditions of species described in the City of San Diego's MSCP Subarea plan.	<u>Sheet Title:</u> Brush Management Plan
	(7) All required onsite landscape and brush management as shown on these plans shall be maintained by the Property Owner. Offsite brush management on City Open Space shall be conducted by the Park and Recreation Department, Open Space Division based on Priority Maps and Schedules determined by the Fire-rescue Department. Alternatively, Owner may elect to obtain a Right-of-Entry Permit to perform seasonal brush management in this area. Contact Park and Recreation Department, Open Space Division at (619) 685-1313.	<u>Scale: 1/16"=1'-0"</u> Sheet Number: L1.2





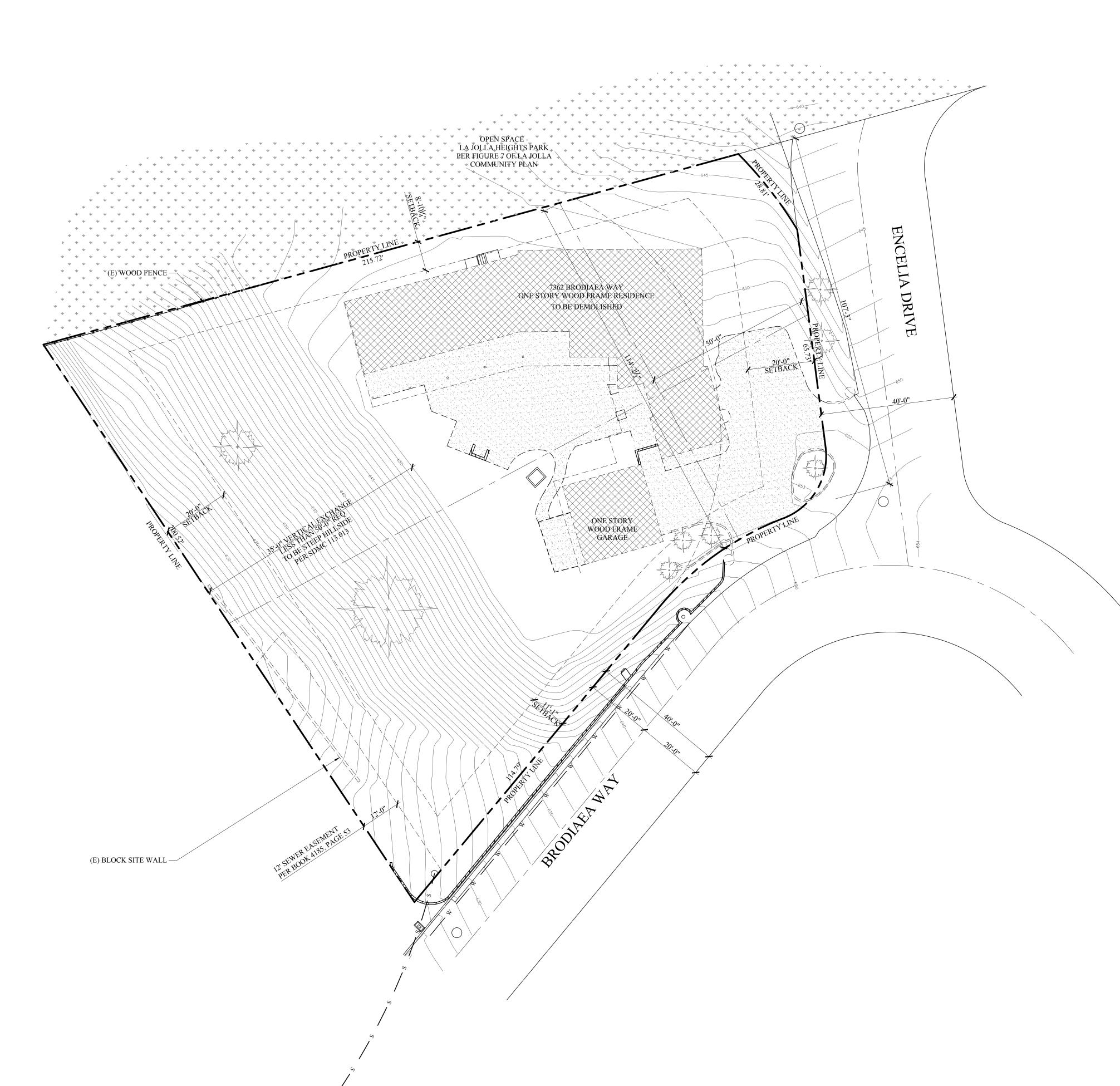
## **ATTACHMENT 9**

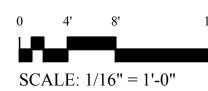












## **ATTACHMENT 9**

## **SETBACK CALCULATION**

FRONT PROPERTY LINE LENGTH:	107'-3"
LENGTH OF LINE 50'-0" FROM FRONT:	114'-2 1/2"
TOTAL LENGTH:	221'-5 1/2"
AVERAGE LENGTH:	110'-8 3/4"
AVERAGE LENGTH x .08 (SDMC TABLE 131-04C)	8'-10 1/4"
SIDE SETBACK SHOWN: NORTH SIDE	8'-10 1/4"
AVERAGE LENGTH x .10 (SDMC TABLE 131-04C)	11'-1"
STREET SETBACK SHOWN: SOUTH SID	E 11'-1"

## LJ COMMUNITY PLAN

- 1. <u>HILLSIDES</u> NO STEEP HILLSIDES AS DEFINED BY PER SDMC 113.0103, SEE PLAN
- 2. <u>COASTAL BLUFFS</u> NONE PRESENT 3. <u>PUBLIC ACCESS</u> NONE PRESENT PER FIGURE 6, PAGE 30
- 4. <u>VIEW RESOURCES</u> NONE PRESENT PER FIGURE 9, PAGE 47
- 5. <u>OPEN SPACE</u> ADJACENT TO LA JOLLA HEIGHTS PARK PER FIGURE 7, PAGE 43

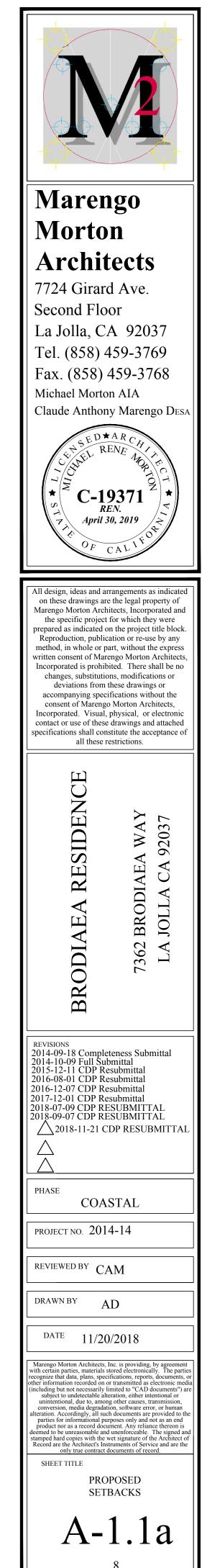
# LEGEND

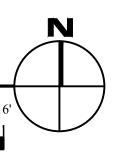


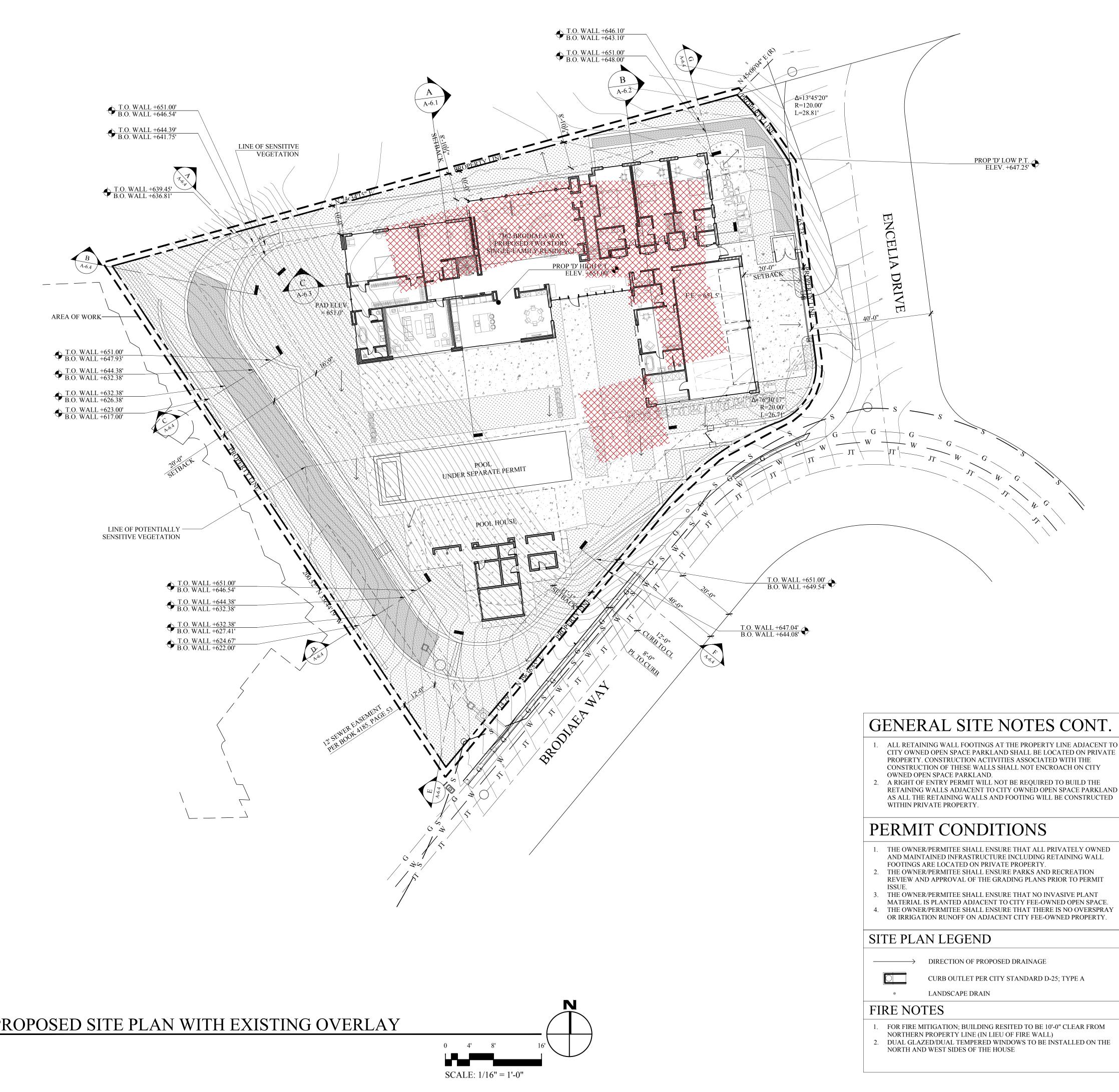
EXISTING BUILDING



EXISTING HARDSCAPE

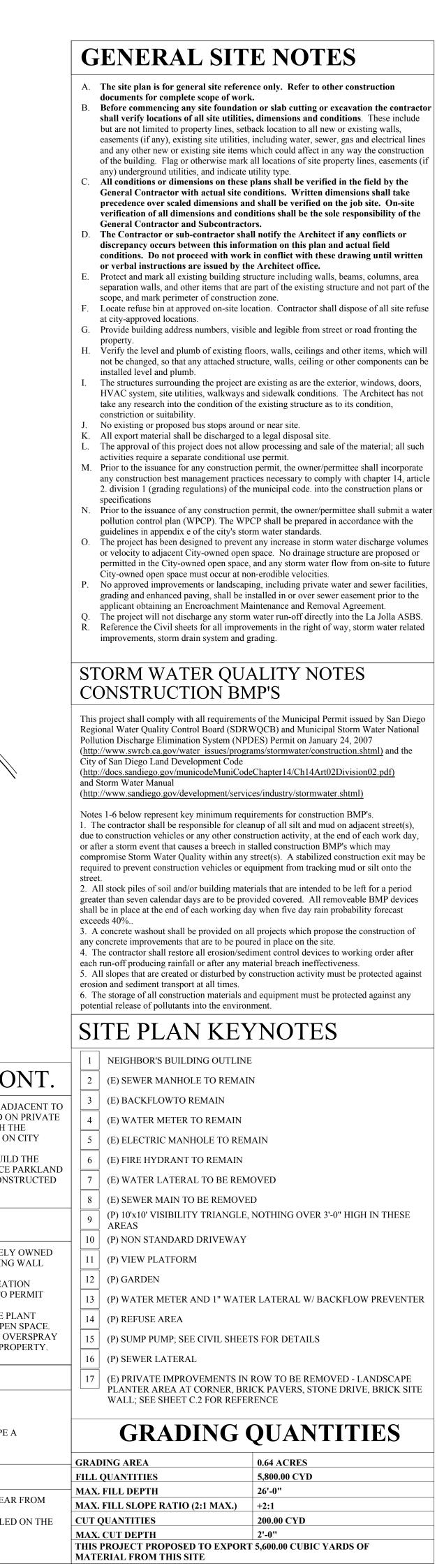


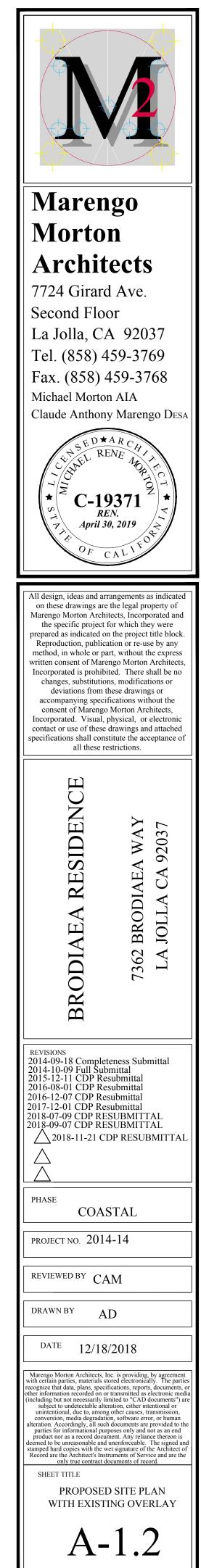




PROPOSED SITE PLAN WITH EXISTING OVERLAY

## **ATTACHMENT 9**







1 EXISTING AERIAL VIEW OF SITE AND SURROUNDINGS

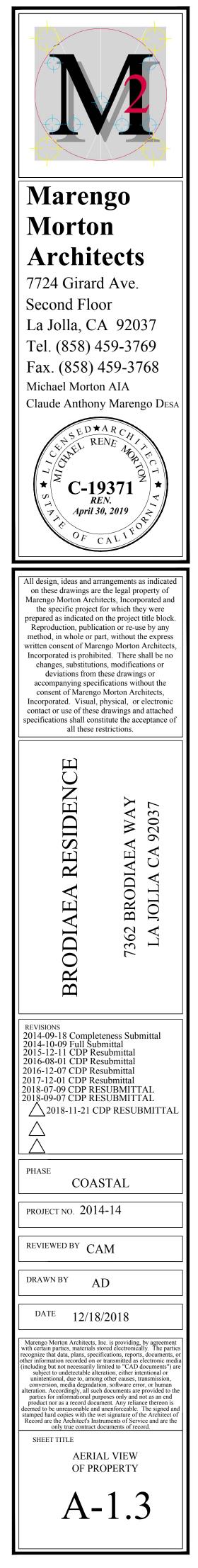
La Jolla Natural Park

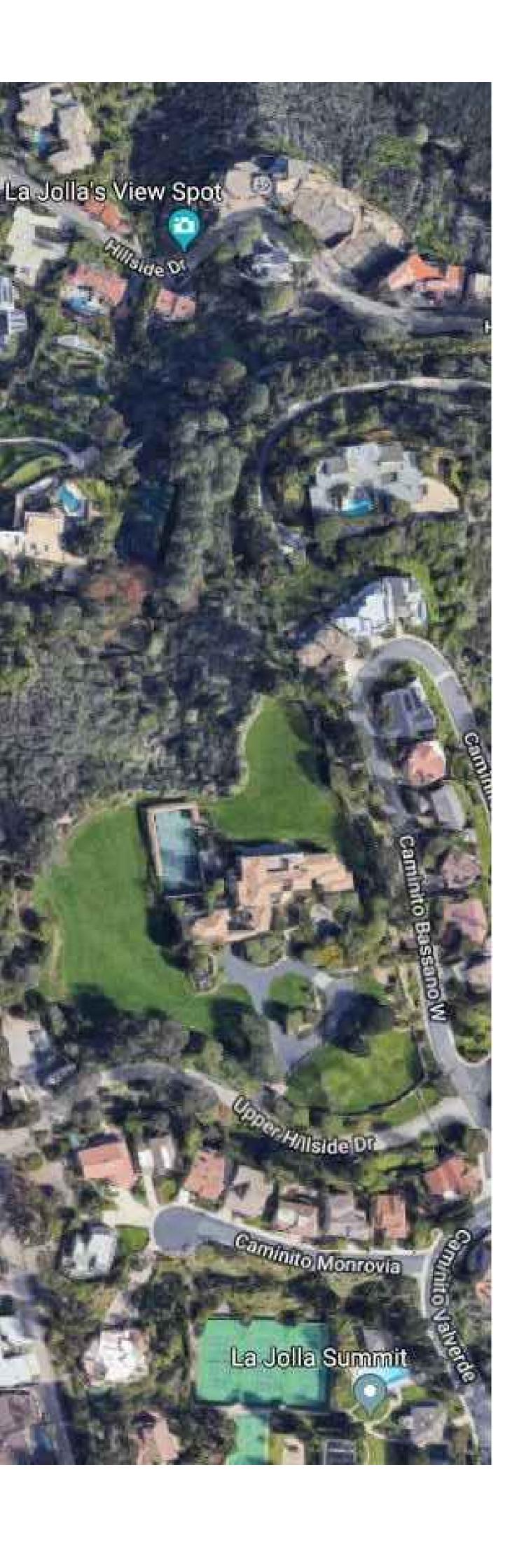
7362 Brodiaea Way

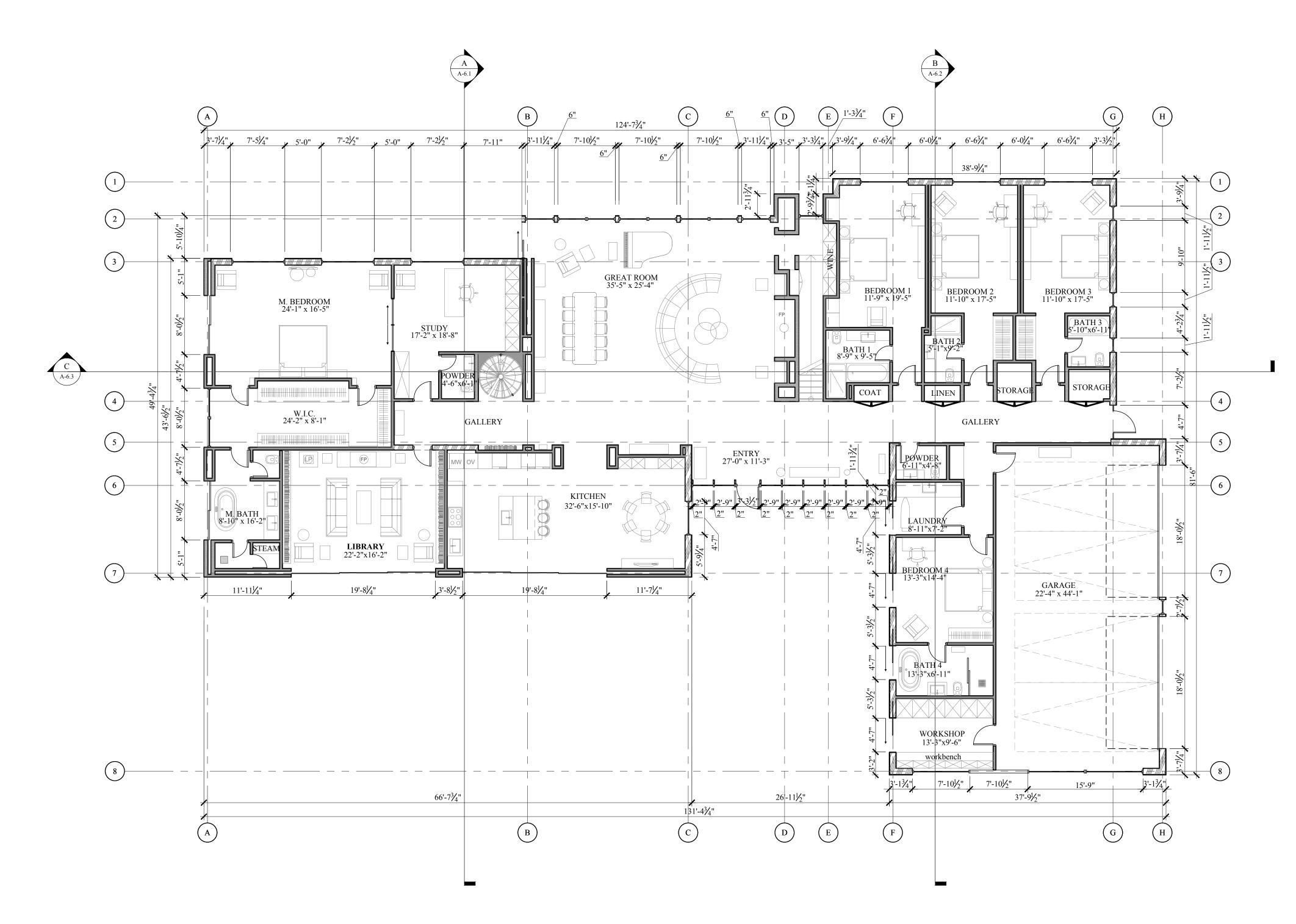
Monarch | Arredon Contemporary

Rometo

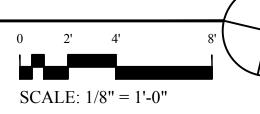


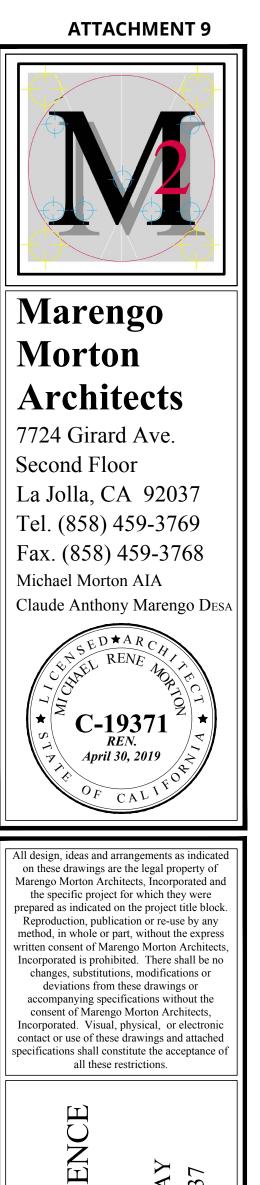






PROPOSED FIRST FLOOR PLAN SCALE: 1/8" = 1'-0"





# FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1 D. For Interior Finish See Schedule On Sheet A-8.2
- E. For lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to
- E-1.4 F. For demolition, see sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls. R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised

Floor Areas R-13 Batt Insulation at all accessible interior walls for sound

control. R-30 Batt Insulation at Ceiling & Roof Areas.

- R-4.5 Insulation Wrap On All New Hot Water Piping.
- R-4.5 Insulation Wrap On All New Supply Ducts. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquastar 240fxng instant gas water heater, .81 EF (or eq) typ of 1, TANKLESS N. HVAC: New Rheem RGPJ10NAMER, 80,000 BTU gas FAU,
- .80 AFUE (or eq) typ of 1
- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC) P. Provide 5 air changes per hour for bathroom and laundry room
- ventilation. Q. All ABS and PVC piping and fittings shall be enclosed within
- walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventialtion rate of 120 cfm
- S. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2
- U. Dual glazed/dual tempered windows to be installed on the north and west sides of the house.

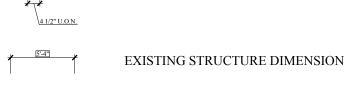
# FLOOR PLAN LEGEND

NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.

NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE

- **ONE HOUR CONSTRUCTION** 2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE DETAIL 5/A10.3. NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8 1
- NEW WINDOW AND WINDOW SYMBOL, SEE  $\langle A \rangle$ SCHEDULE ON A8.1
- SMOKE DETECTOR PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR (S)EXISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
- PROPOSED EXTERIOR LIGHTING





¥ 5'-4" ¥ PROPOSED STRUCTURE DIMENSION

EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS. AY )37 4 W 920 BRODIAEA JOLLA CA 9  $\mathbf{A}$ 362 LA

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BRODL

EVISIONS 2014-09-18 Completeness Submittal 2014-10-09 Full Submittal 2015-12-11 CDP Resubmittal 2016-08-01 CDP Resubmittal 2016-12-07 CDP Resubmittal 2017-12-01 CDP Resubmittal 2018-07-09 CDP RESUBMITTAL 2018-09-07 CDP RESUBMITTAL

2018-11-21 CDP RESUBMITTAL

PHASE COASTAL

PROJECT NO. 2014-14

REVIEWED BY CAM

DRAWN BY AD

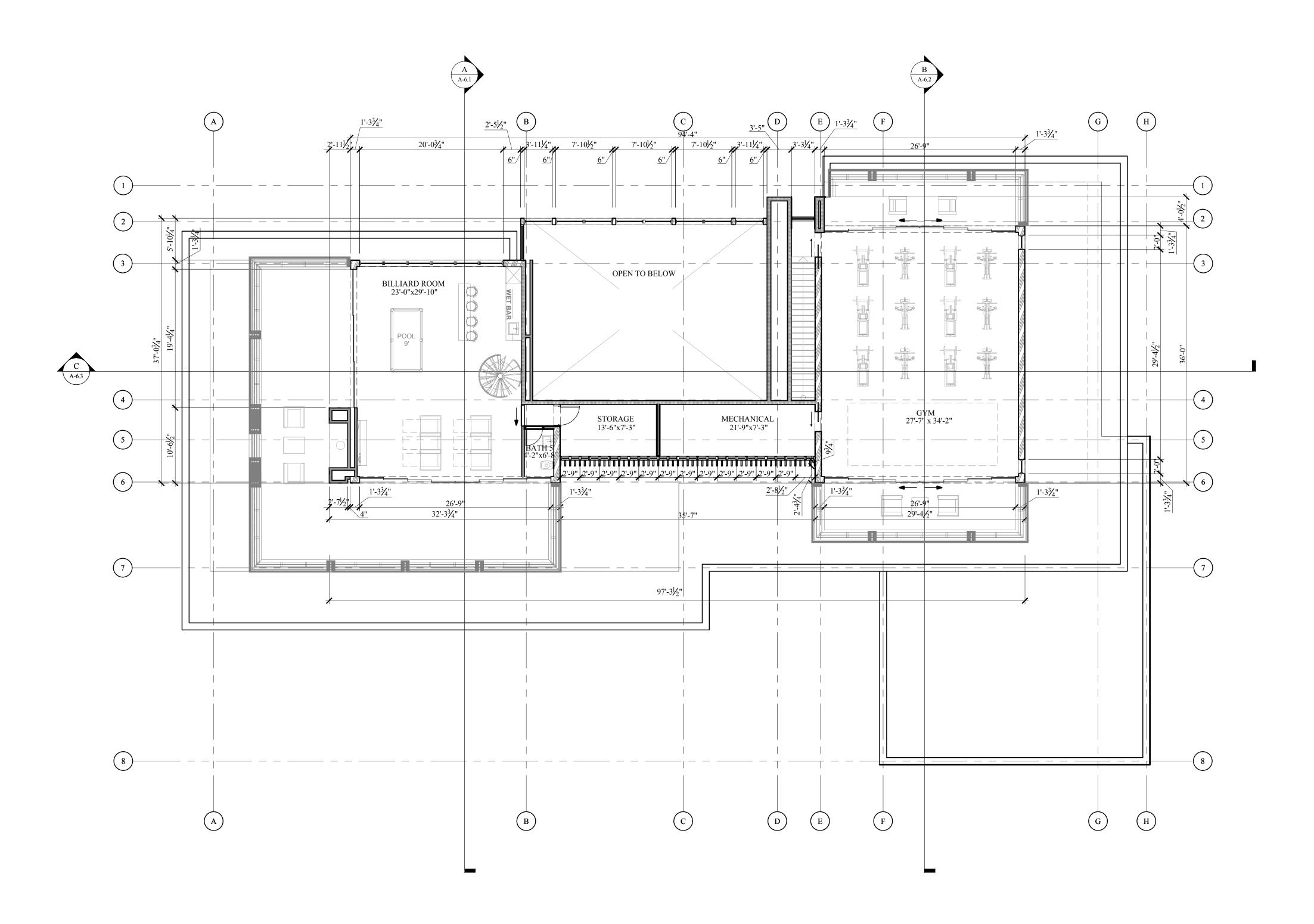
DATE 11/20/2018

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The partie recognize that data, plans, specifications, reports, documents, o other information recorded on or transmitted as electronic medi (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

only true contract documents of record. SHEET TITLE PROPOSED

FIRST FLOOR PLAN A-2.1





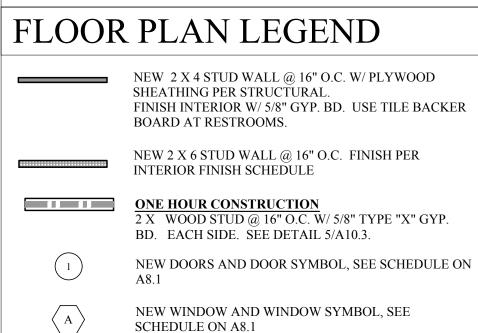
PROPOSED SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

### **ATTACHMENT 9** FLOOR PLAN NOTES A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the B. Refer to Site Plan for Site and Utility Information. C. For Door and Windows See Schedules On Sheet A-8.1 D. For Interior Finish See Schedule On Sheet A-8.2 E. For lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to Marengo F. For demolition, see sheets A-2.1 & A-2.2 G. For Plumbing, Appliance and other Fixtures See Schedule on Morton H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Architects R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised 7724 Girard Ave. R-13 Batt Insulation at all accessible interior walls for sound Second Floor La Jolla, CA 92037 R-30 Batt Insulation at Ceiling & Roof Areas. R-4.5 Insulation Wrap On All New Hot Water Piping. Tel. (858) 459-3769 R-4.5 Insulation Wrap On All New Supply Ducts. Fax. (858) 459-3768 HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to Michael Morton AIA J. HVAC Equipment: See Equipment on ME-2 and Title-24 Claude Anthony Marengo DESA SED\*AR, 1 contel RENE C-19371 April 30, 2019 All design, ideas and arrangements as indicate on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of S. Ducts in the garage and ducts penetrating the walls or ceilings all these restrictions. separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and E ENC Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a AY )37 4 W 920 SIL BRODIAEA JOLLA CA 9 $\mathbf{A}$ ГЦ N ГЦ 362 LA BRODL EVISIONS 2014-09-18 Completeness Submittal 2014-10-09 Full Submittal 2015-12-11 CDP Resubmittal 2016-08-01 CDP Resubmittal 2016-12-07 CDP Resubmittal 2017-12-01 CDP Resubmittal 2018-07-09 CDP RESUBMITTAL 2018-09-07 CDP RESUBMITTAL 2018-11-21 CDP RESUBMITTAL PHASE COASTAL SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR PROJECT NO. 2014-14 FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0" REVIEWED BY CAM FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS DRAWN BY AD PROPOSED EXTERIOR LIGHTING DATE 11/20/2018 Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties recognize that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional, our unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record. NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED only true contract documents of record. SHEET TITLE PROPOSED SECOND FLOOR EXISTING STRUCTURE DIMENSION PLAN PROPOSED STRUCTURE DIMENSION A-2.2

EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.





EXISTING CONDITIONS

height not less than 6 feet above floor. CRC R307.2 U. Dual glazed/dual tempered windows to be installed on the north and west sides of the house.

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4 1/2" U.O.N

\* <sup>5'-4"</sup> \*

¥ 5'-4" ¥

NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD

K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2 SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and

work in question.

E-1.4

Walls.

control.

M-1.3

calculations on Sheet T-1.2

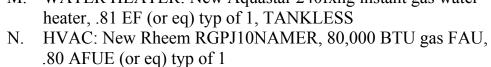
Sheet 8.2

Floor Areas

- basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquastar 240fxng instant gas water
- heater, .81 EF (or eq) typ of 1, TANKLESS
- .80 AFUE (or eq) typ of 1
- O. Attic/Underfloor installation must comply with Sections 904, 908,
- and 909 of the California Mechanical Code (CMC)
- P. Provide 5 air changes per hour for bathroom and laundry room
- ventilation. Q. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventialtion rate of 120 cfm

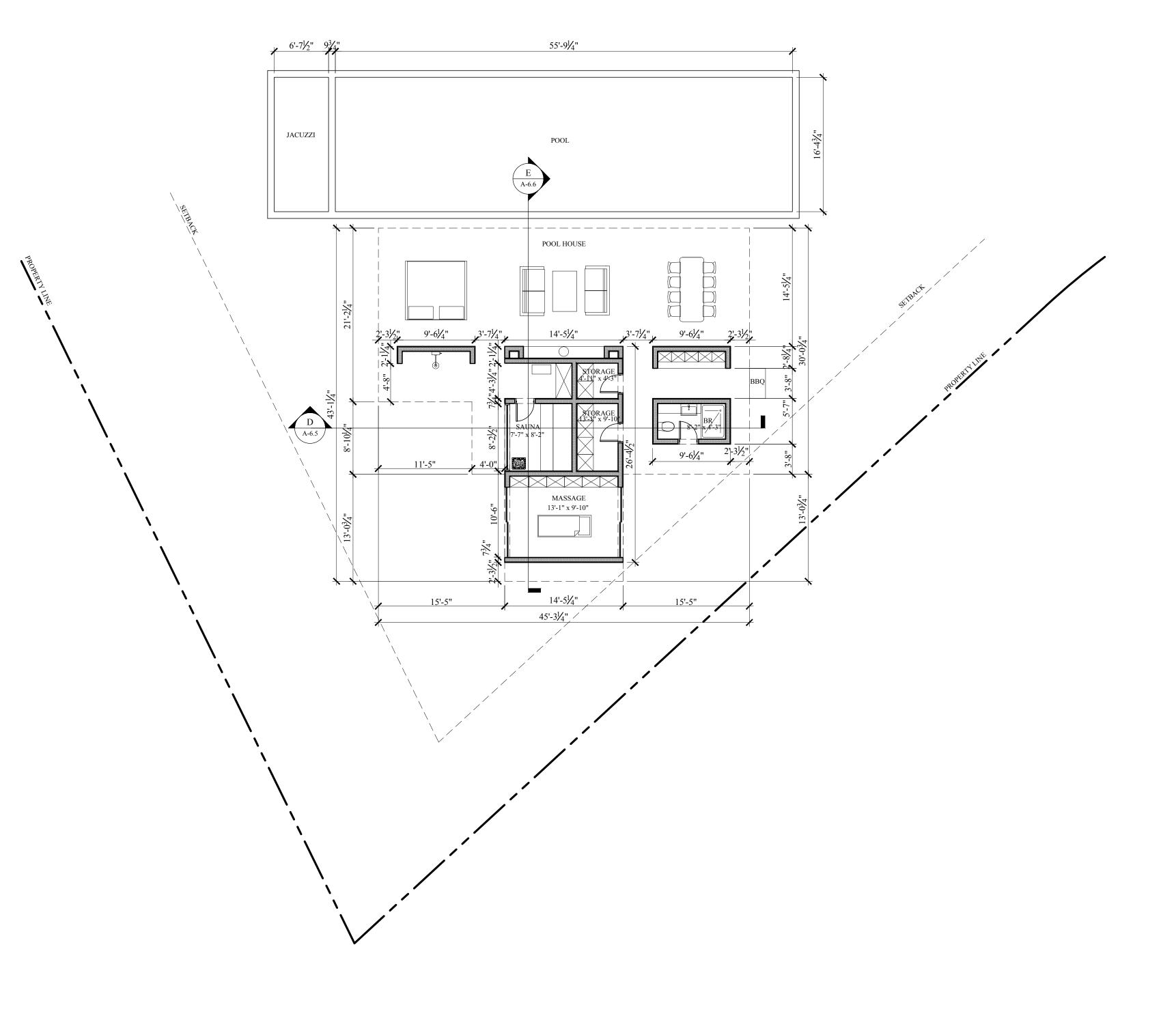
shall have no opening into the garage.

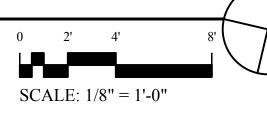
- Protection of membrane penetrations is not required.

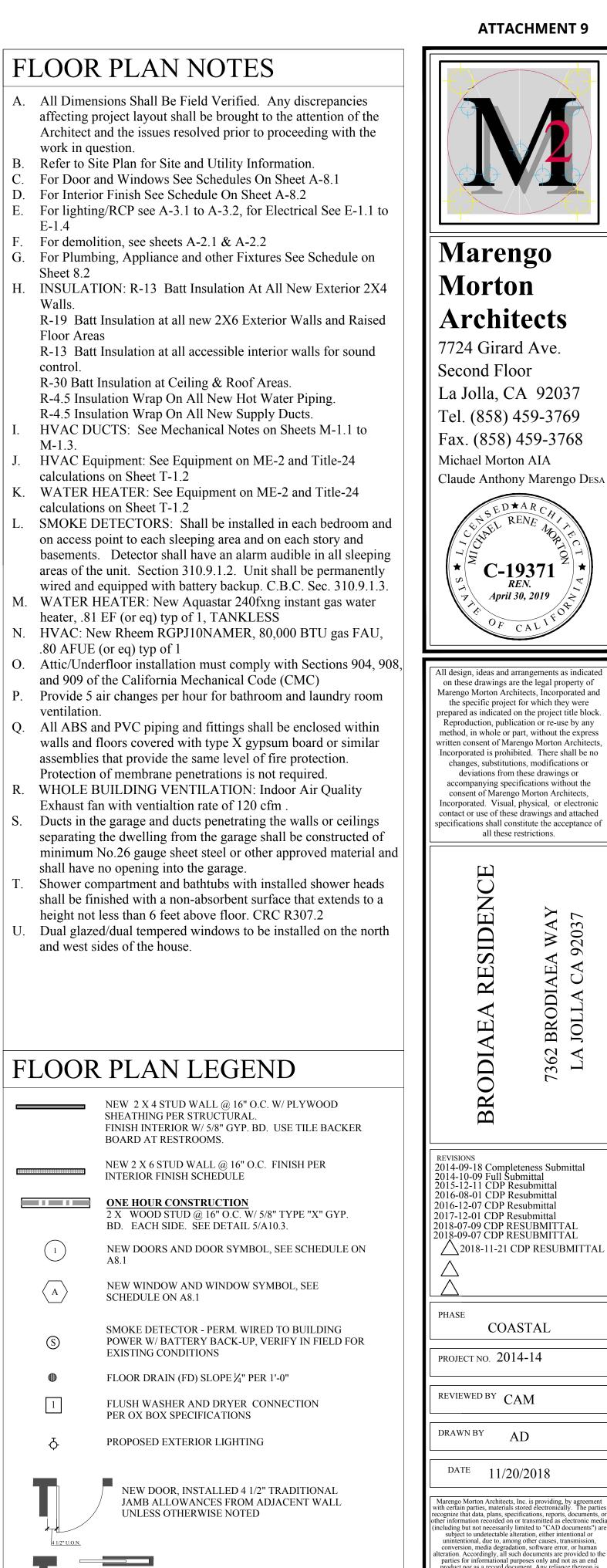












E-1.4

Walls.

control.

M-1.3.

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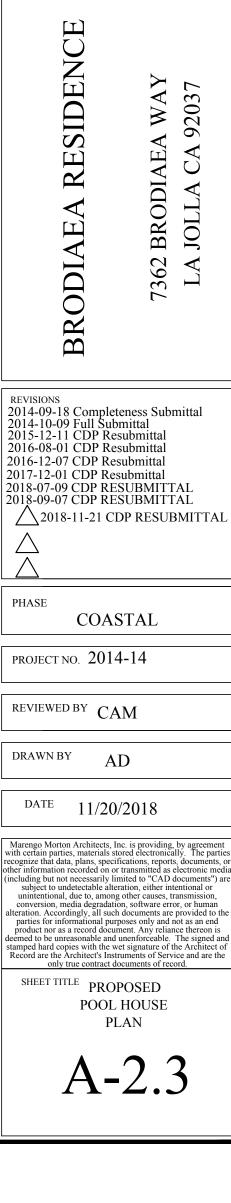
4 1/2" U.O.N

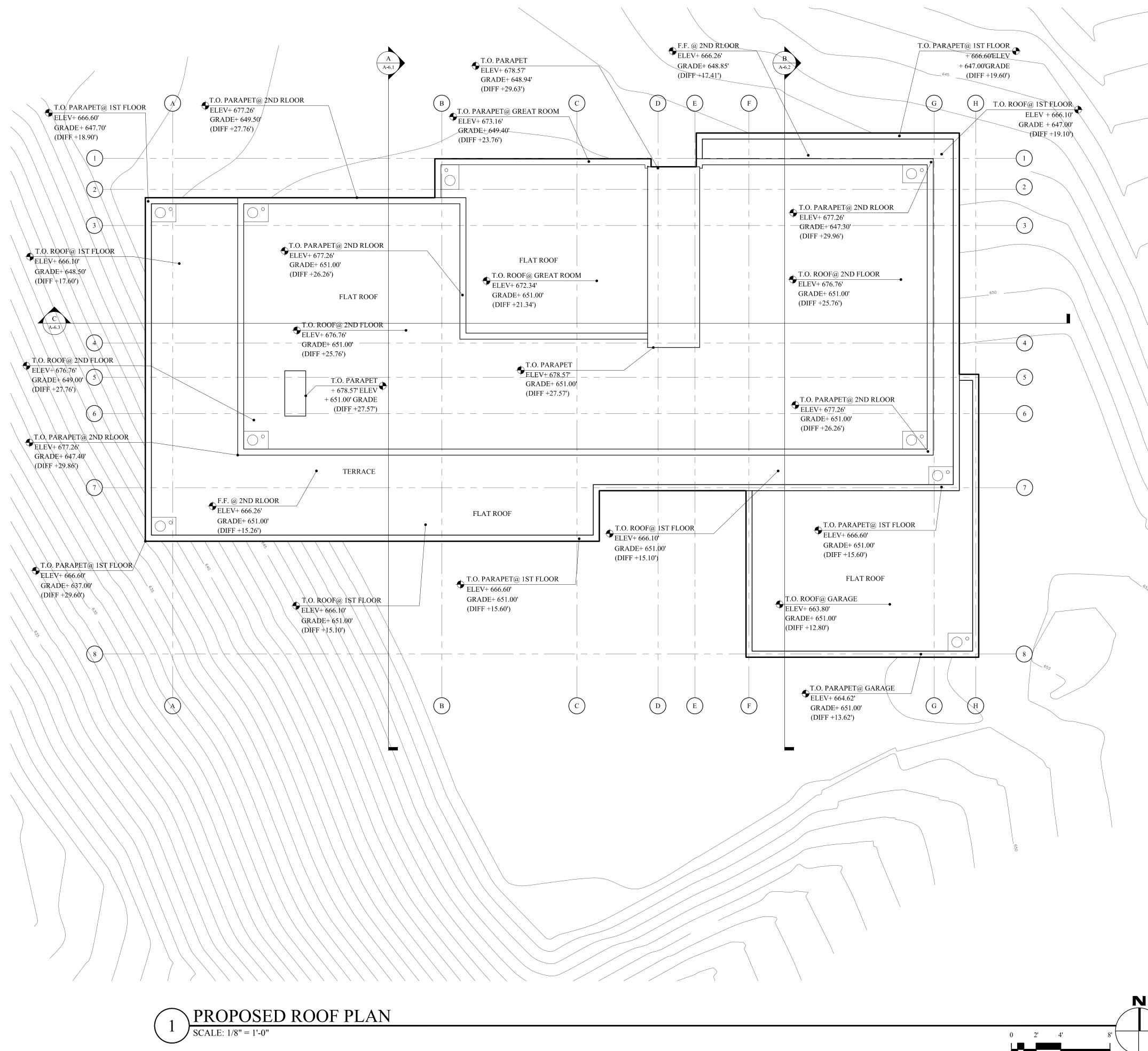
5'-4"

¥ 5'-4" ¥ PROPOSED STRUCTURE DIMENSION

EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

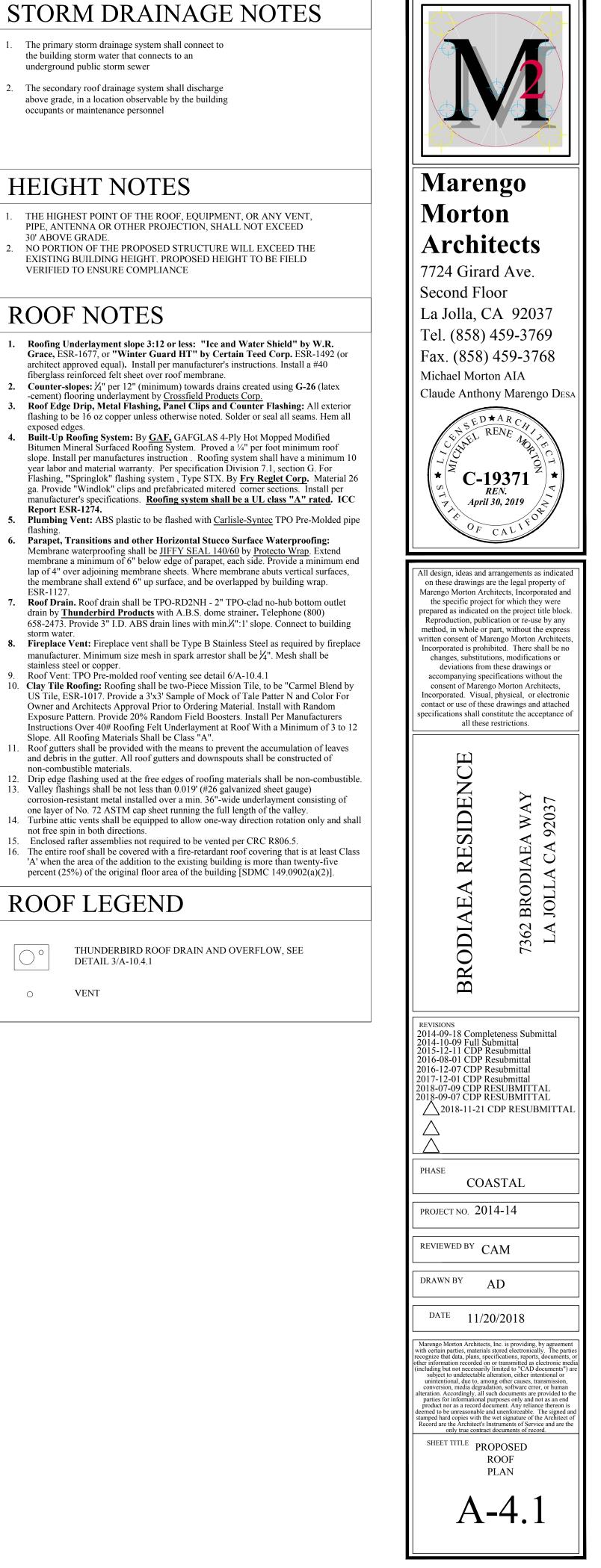
EXISTING STRUCTURE DIMENSION





SCALE: 1/8" = 1'-0"

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## HEIGHT NOTES

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- NO PORTION OF THE PROPOSED STRUCTURE WILL EXCEED THE EXISTING BUILDING HEIGHT. PROPOSED HEIGHT TO BE FIELD VERIFIED TO ENSURE COMPLIANCE

## **ROOF NOTES**

- Roofing Underlayment slope 3:12 or less: "Ice and Water Shield" by W.R. Grace, ESR-1677, or "Winter Guard HT" by Certain Teed Corp. ESR-1492 (or architect approved equal). Install per manufacturer's instructions. Install a #40 fiberglass reinforced felt sheet over roof membrane.
- flashing to be 16 oz copper unless otherwise noted. Solder or seal all seams. Hem all exposed edges.
- **Built-Up Roofing System:** By **GAF**, GAFGLAS 4-Ply Hot Mopped Modified Bitumen Mineral Surfaced Roofing System. Proved a <sup>1</sup>/<sub>4</sub>" per foot minimum roof slope. Install per manufactures instruction. Roofing system shall have a minimum 10 year labor and material warranty. Per specification Division 7.1, section G. For Flashing, "Springlok" flashing system, Type STX. By <u>Fry Reglet Corp</u>. Material 26 ga. Provide "Windlok" clips and prefabricated mitered corner sections. Install per manufacturer's specifications. <u>Roofing system shall be a UL class "A" rated</u>. ICC Report ESR-1274. Plumbing Vent: ABS plastic to be flashed with Carlisle-Syntec TPO Pre-Molded pipe
- flashing.
- lap of 4" over adjoining membrane sheets. Where membrane abuts vertical surfaces, the membrane shall extend 6" up surface, and be overlapped by building wrap. ESR-1127
- Roof Drain. Roof drain shall be TPO-RD2NH 2" TPO-clad no-hub bottom outlet drain by **Thunderbird Products** with A.B.S. dome strainer. Telephone (800) 658-2473. Provide 3" I.D. ABS drain lines with min.¼":1' slope. Connect to building storm water.
- manufacturer. Minimum size mesh in spark arrestor shall be  $\frac{1}{4}$ ". Mesh shall be
- US Tile, ESR-1017. Provide a 3'x3' Sample of Mock of Tale Patter N and Color For Owner and Architects Approval Prior to Ordering Material. Install with Random Exposure Pattern. Provide 20% Random Field Boosters. Install Per Manufacturers Instructions Over 40# Roofing Felt Underlayment at Roof With a Minimum of 3 to 12
- non-combustible materials.
- Drip edge flashing used at the free edges of roofing materials shall be non-combustible.
   Valley flashings shall be not less than 0.019' (#26 galvanized sheet gauge) corrosion-resistant metal installed over a min. 36"-wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley.
- not free spin in both directions. 15. Enclosed rafter assemblies not required to be vented per CRC R806.5.
- 16. The entire roof shall be covered with a fire-retardant roof covering that is at least Class 'A' when the area of the addition to the existing building is more than twenty-five percent (25%) of the original floor area of the building [SDMC 149.0902(a)(2)].

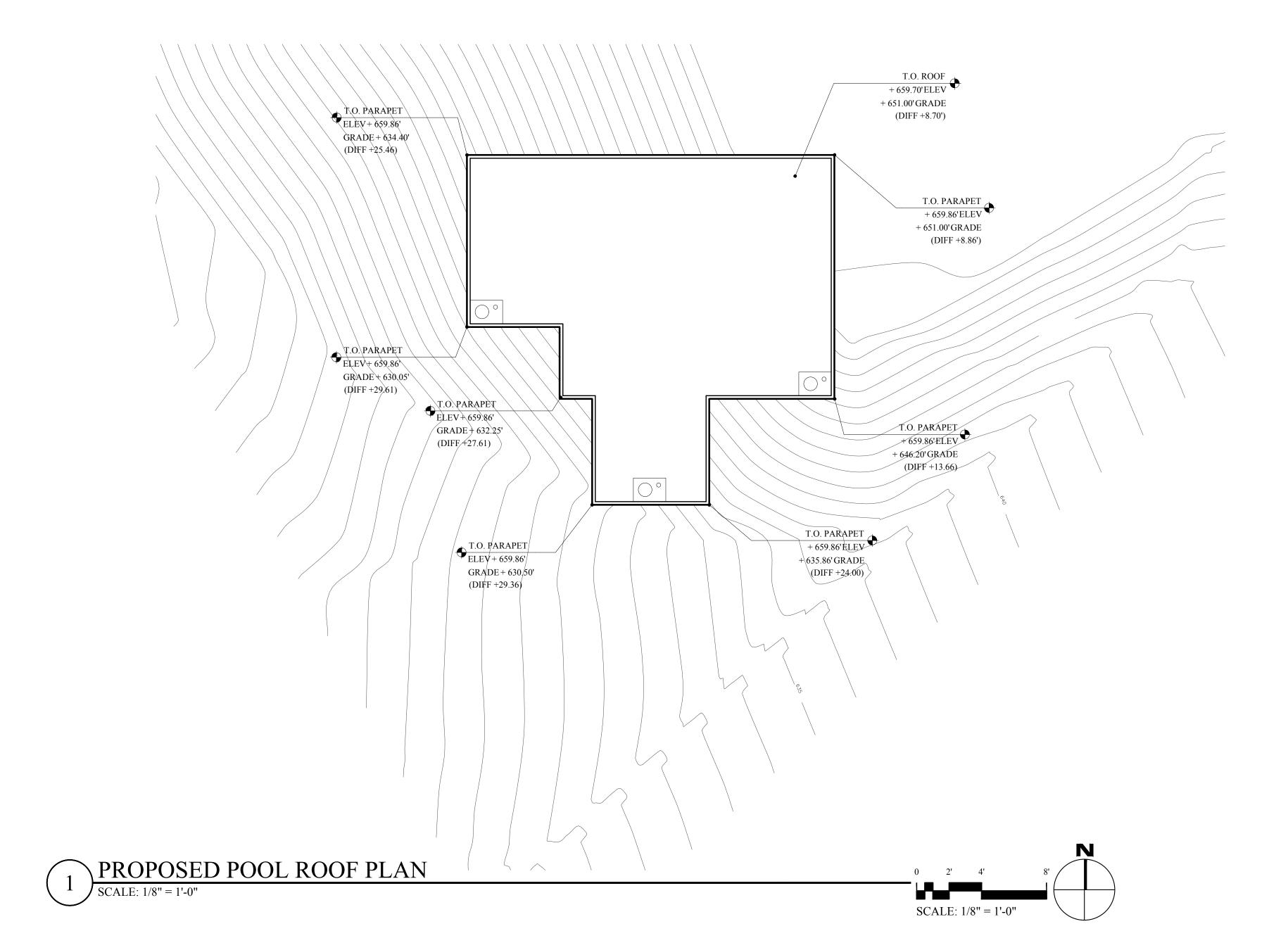
## ROOF LEGEND

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THUNDERBIRD ROOF DRAIN AND OVERFLOW, SEE

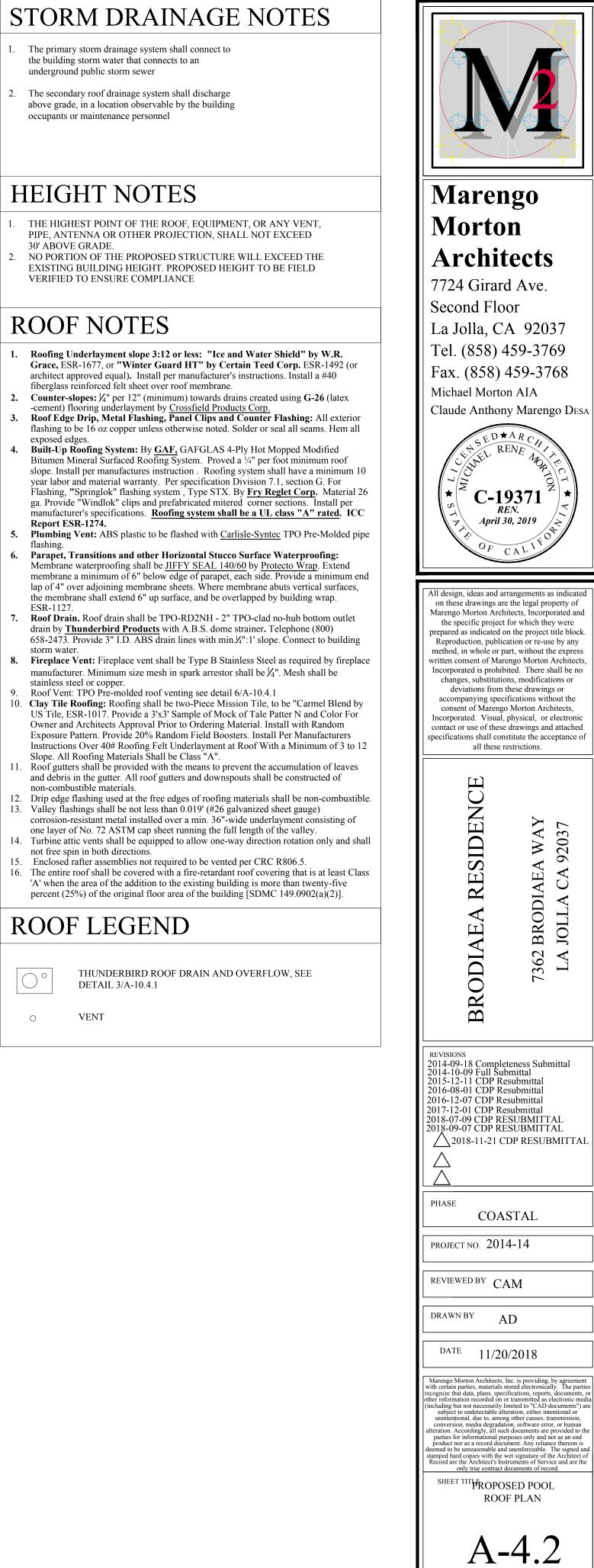
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## HEIGHT NOTES

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- EXISTING BUILDING HEIGHT. PROPOSED HEIGHT TO BE FIELD VERIFIED TO ENSURE COMPLIANCE

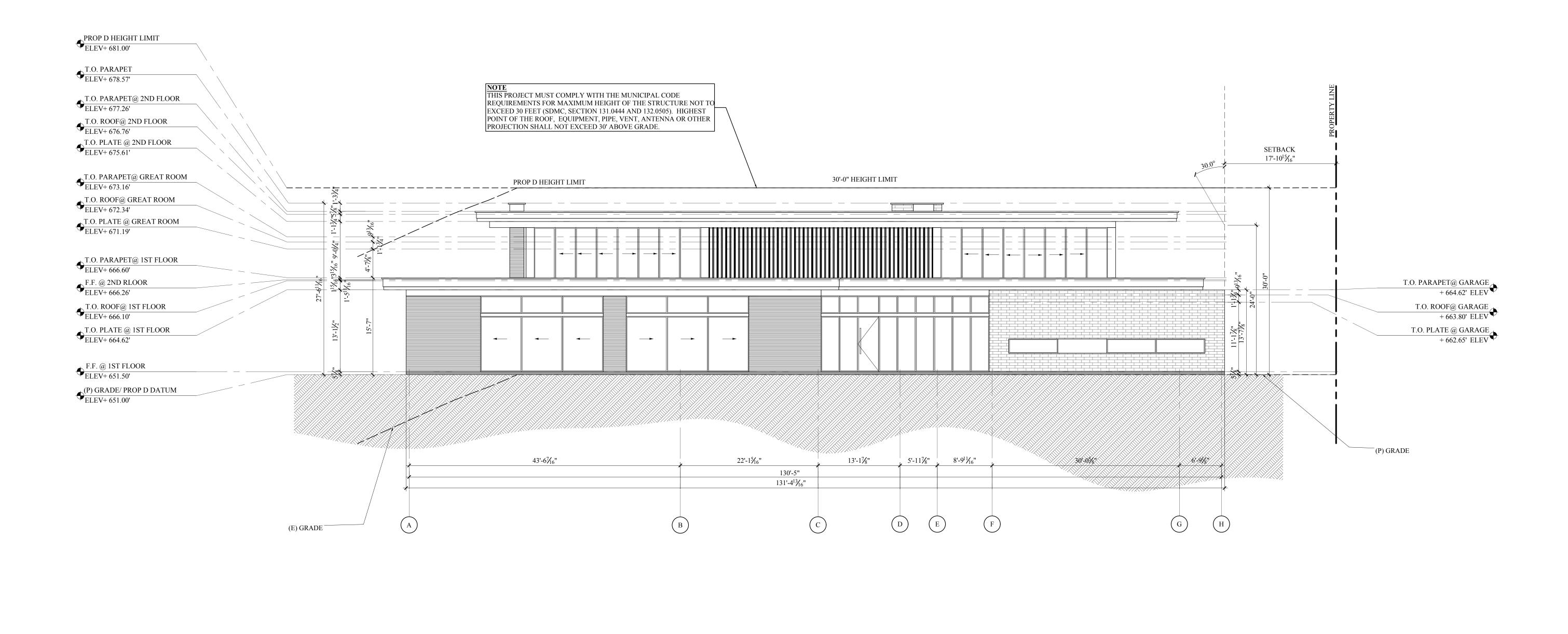
# **ROOF NOTES**

- Grace, ESR-1677, or "Winter Guard HT" by Certain Teed Corp. ESR-1492 (or architect approved equal). Install per manufacturer's instructions. Install a #40
- flashing to be 16 oz copper unless otherwise noted. Solder or seal all seams. Hem all
- **Built-Up Roofing System:** By **GAF**, GAFGLAS 4-Ply Hot Mopped Modified Bitumen Mineral Surfaced Roofing System. Proved a <sup>1</sup>/<sub>4</sub>" per foot minimum roof slope. Install per manufactures instruction. Roofing system shall have a minimum 10 year labor and material warranty. Per specification Division 7.1, section G. For Flashing, "Springlok" flashing system, Type STX. By <u>Fry Reglet Corp</u>. Material 26 ga. Provide "Windlok" clips and prefabricated mitered corner sections. Install per manufacturer's specifications. <u>Roofing system shall be a UL class "A" rated</u>. ICC Report ESR-1274.
- flashing. 6. Parapet, Transitions and other Horizontal Stucco Surface Waterproofing:
- lap of 4" over adjoining membrane sheets. Where membrane abuts vertical surfaces, the membrane shall extend 6" up surface, and be overlapped by building wrap. ESR-1127.
- Roof Drain. Roof drain shall be TPO-RD2NH 2" TPO-clad no-hub bottom outlet drain by **Thunderbird Products** with A.B.S. dome strainer. Telephone (800) 658-2473. Provide 3" I.D. ABS drain lines with min.¼":1' slope. Connect to building storm water.
- manufacturer. Minimum size mesh in spark arrestor shall be  $\frac{1}{4}$ ". Mesh shall be stainless steel or copper.
- US Tile, ESR-1017. Provide a 3'x3' Sample of Mock of Tale Patter N and Color For Owner and Architects Approval Prior to Ordering Material. Install with Random Exposure Pattern. Provide 20% Random Field Boosters. Install Per Manufacturers Instructions Over 40# Roofing Felt Underlayment at Roof With a Minimum of 3 to 12 Slope. All Roofing Materials Shall be Class "A".
- non-combustible materials.
- 13. Valley flashings shall be not less than 0.019' (#26 galvanized sheet gauge) corrosion-resistant metal installed over a min. 36"-wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley.
- not free spin in both directions. 15. Enclosed rafter assemblies not required to be vented per CRC R806.5. 16. The entire roof shall be covered with a fire-retardant roof covering that is at least Class 'A' when the area of the addition to the existing building is more than twenty-five

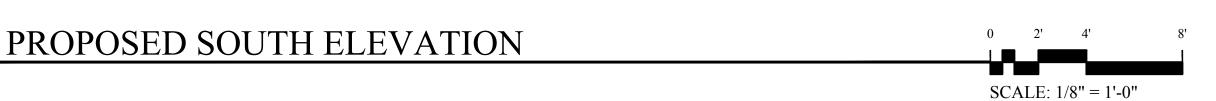
# **ROOF LEGEND**

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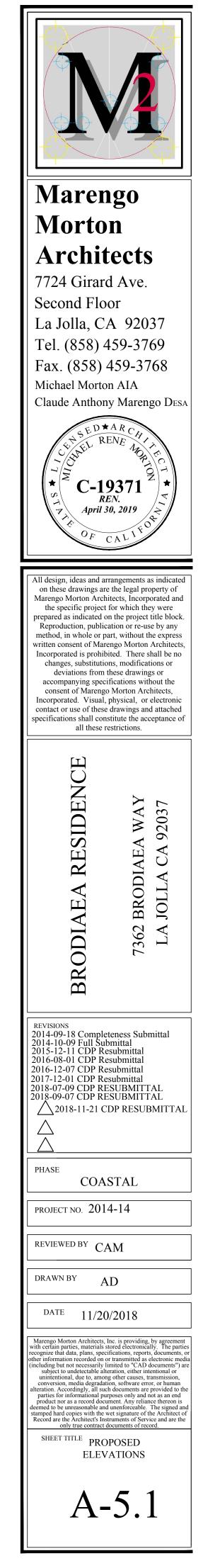
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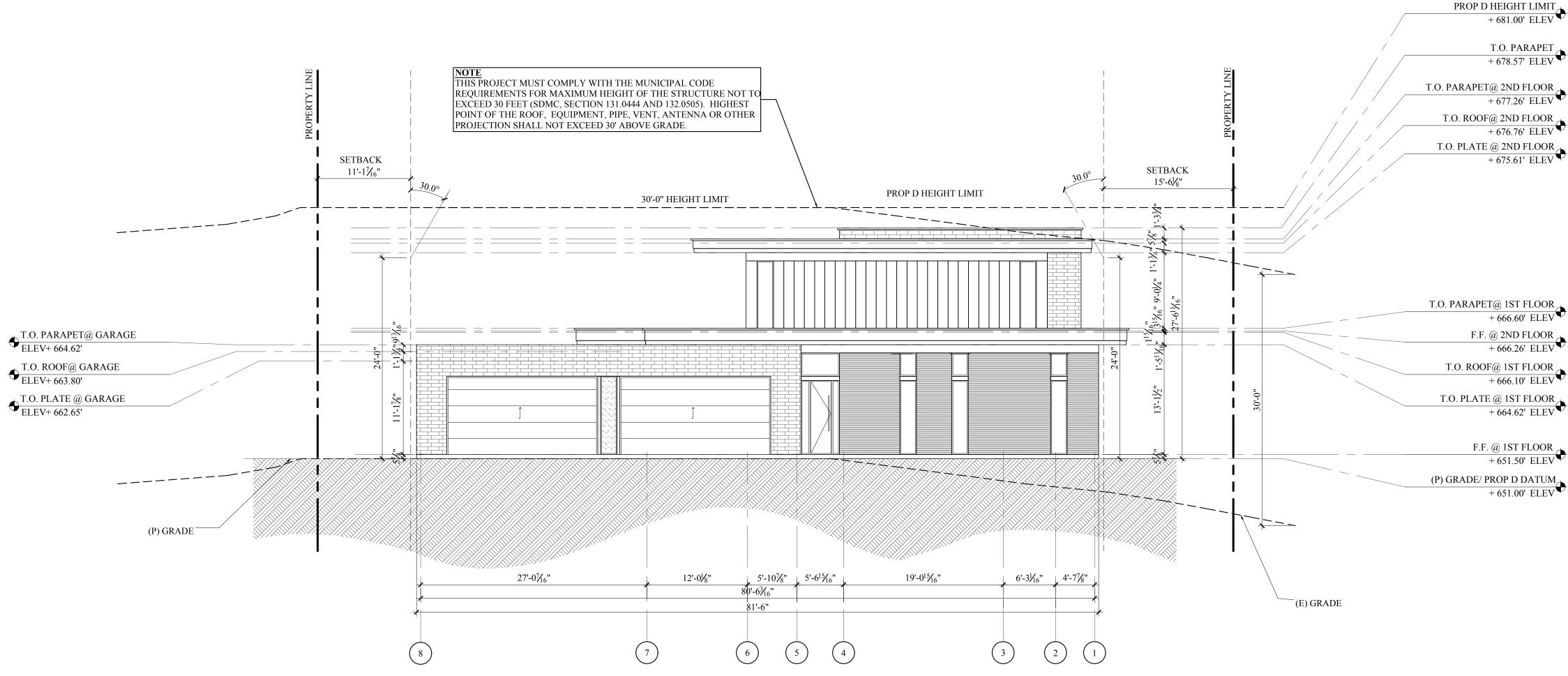


- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. Refer to sheet A-6.1 and A-6.2 for Building Sections.
- D. For Door and Windows See Schedules on sheet A-8.1 and A-8.2. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- E. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet SP-2 Div. 09-200 3B criteria with the approval of the architect for locations.





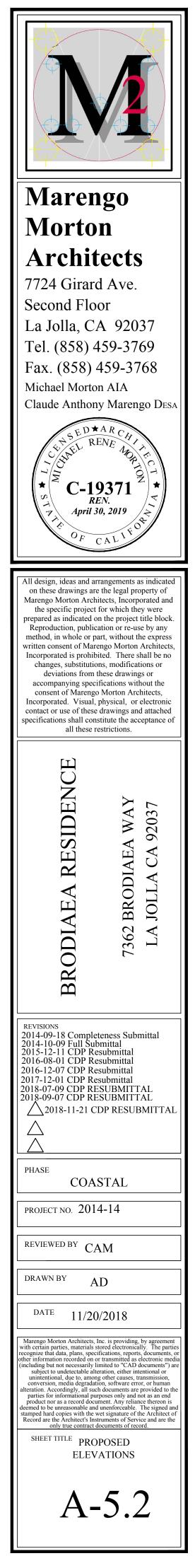




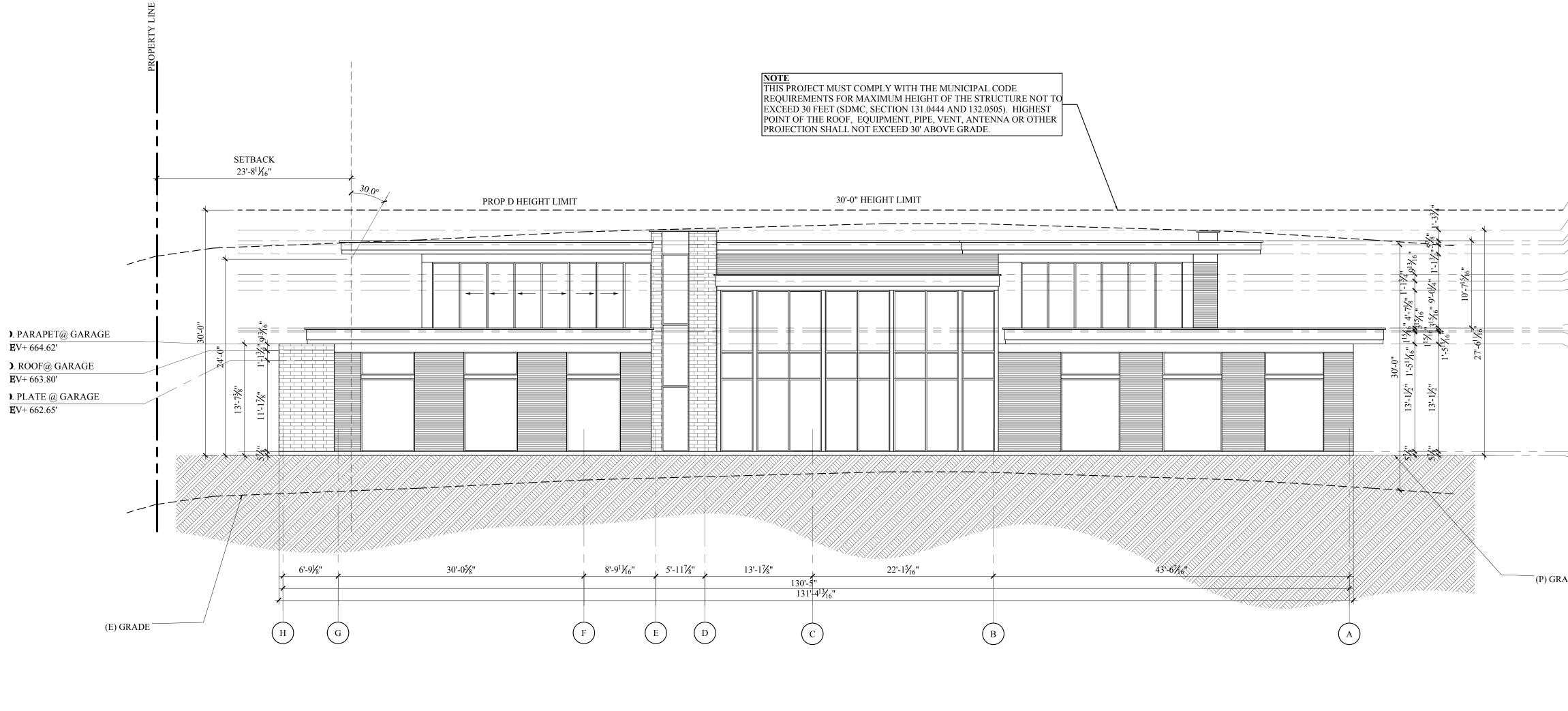


- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. Refer to sheet A-6.1 and A-6.2 for Building Sections.
- D. For Door and Windows See Schedules on sheet A-8.1 and A-8.2. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet SP-2 Div. 09-200 3B criteria with the approval of the architect for locations.

0 2' 4' SCALE: 1/8" = 1'-0"



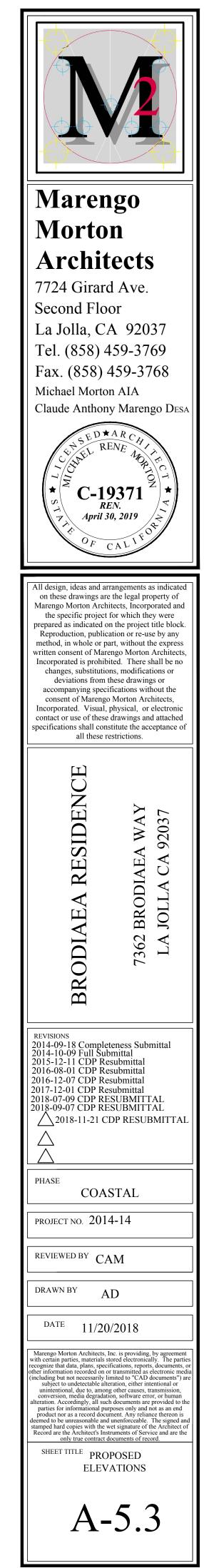
- + 681.00' ELEV
- T.O. PARAPET + 678.57' ELEV
- + 677.26' ELEV 🛡 + 676.76' ELEV
- + 675.61' ELEV 🛡
- + 666.60' ELEV + 666.26' ELEV + 666.10' ELEV





- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. Refer to sheet A-6.1 and A-6.2 for Building Sections.
- D. For Door and Windows See Schedules on sheet A-8.1 and A-8.2. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- E. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet SP-2 Div. 09-200 3B criteria with the approval of the architect for locations.

0 2' 4' SCALE: 1/8" = 1'-0"



PROP D HEIGHT LIMIT
+ 681.00' ELEV

T.O. PARAPET + 678.57' ELEV

T.O. PARAPET@ 2ND FLOOR

+ 677.26' ELEV 🛡 T.O. ROOF@ 2ND FLOOR

+ 676.76' ELEV

T.O. PLATE @ 2ND FLOOR + 675.61' ELEV

T.O. PARAPET@ GREAT ROOM + 673.16' ELEV

T.O. ROOF@ GREAT ROOM + 672.34' ELEV T.O. PLATE @ GREAT ROOM + 671.19' ELEV

T.O. PARAPET@ 1ST FLOOR + 666.60' ELEV

> F.F. @ 2ND FLOOR + 666.26' ELEV

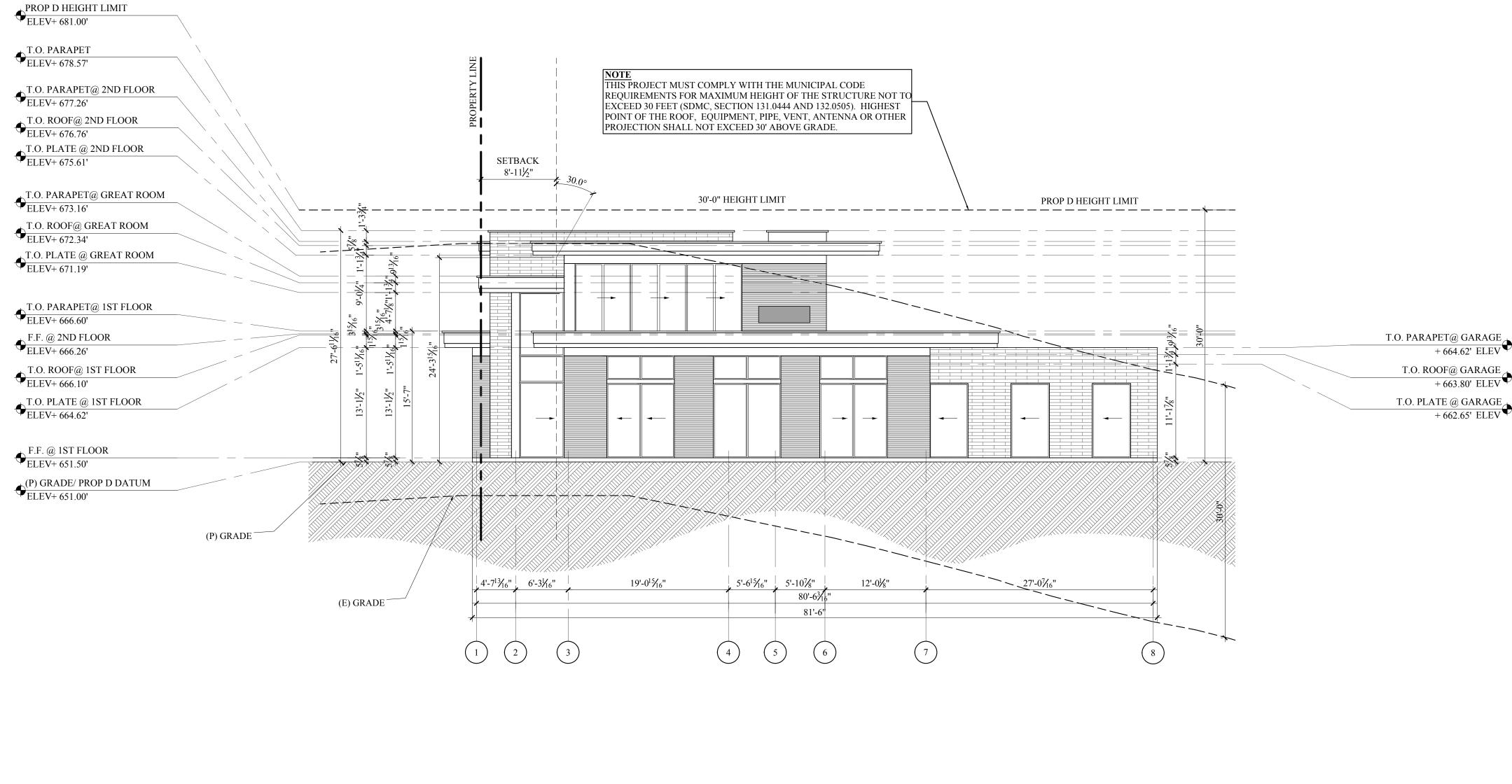
T.O. ROOF@ 1ST FLOOR + 666.10' ELEV

T.O. PLATE @ 1ST FLOOR + 664.62' ELEV

F.F. @ 1ST FLOOR + 651.50' ELEV

(P) GRADE/ PROP D DATUM + 651.00' ELEV

(P) GRADE



# PROPOSED WEST ELEVATION 4

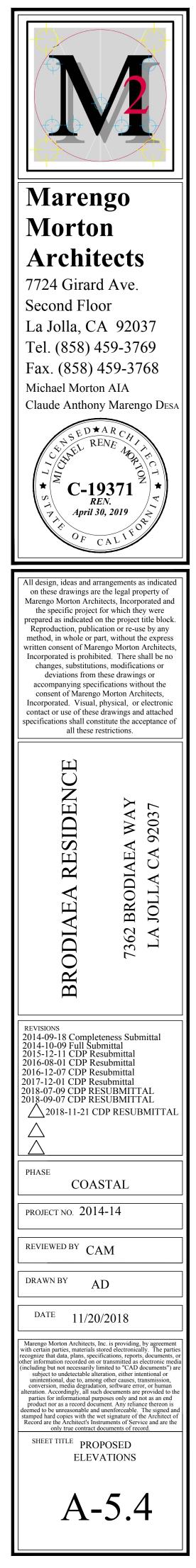
# **ELEVATION NOTES**

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the
- Architect and the issues resolved prior to proceeding with the work in question. B. Refer to Site Plan for Site and Utility Information.
- C. Refer to sheet A-6.1 and A-6.2 for Building Sections.
- D. For Door and Windows See Schedules on sheet A-8.1 and A-8.2. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet SP-2 Div. 09-200 3B criteria with the approval of the architect for locations.

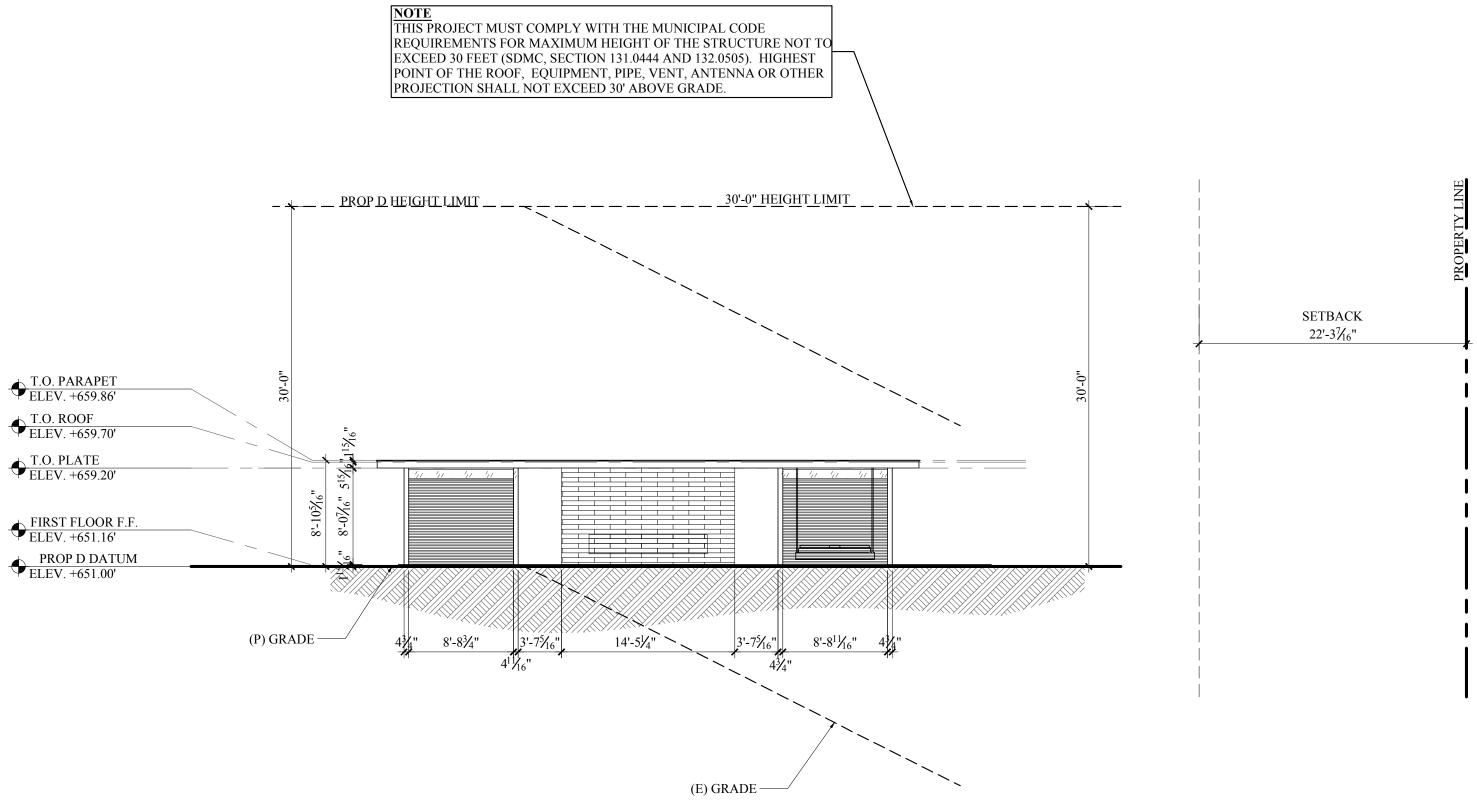
SCALE: 1/8" = 1'-0"

0 2' 4'

**ATTACHMENT 9** 



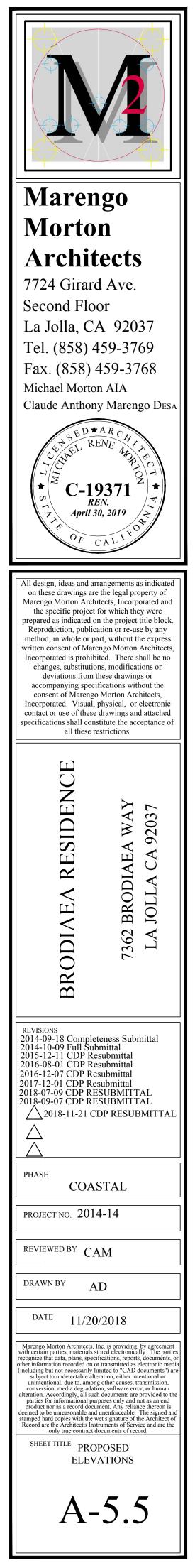
+ 664.62' ELEV T.O. ROOF@ GARAGE + 663.80' ELEV T.O. PLATE @ GARAGE + 662.65' ELEV

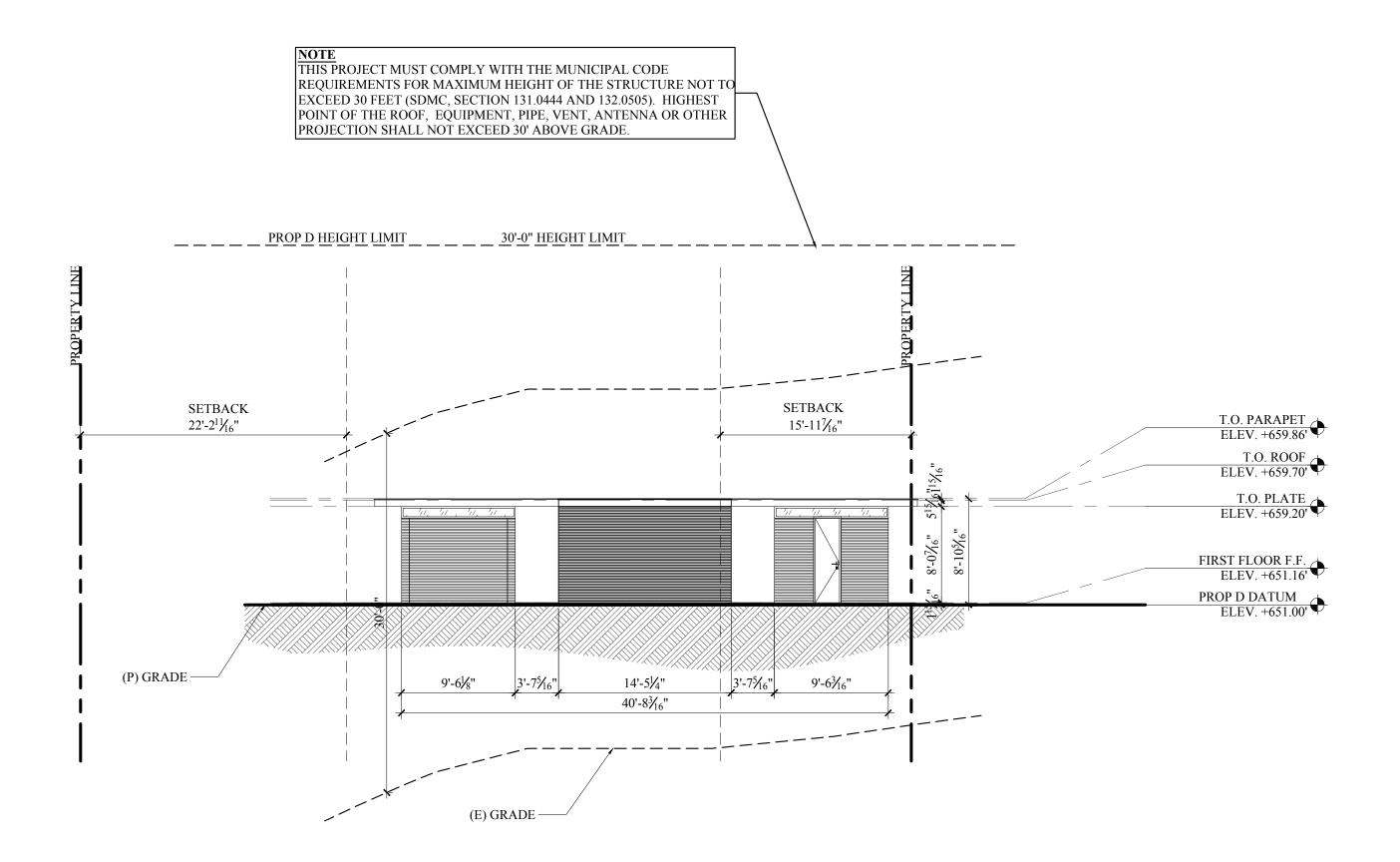




- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. Refer to sheet A-6.1 and A-6.2 for Building Sections.
- D. For Door and Windows See Schedules on sheet A-8.1 and A-8.2. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- E. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet SP-2 Div. 09-200 3B criteria with the approval of the architect for locations.

### POOL HOUSE - PROPOSED NORTH ELEVATION 0 2' 4' ┤<mark>┙╹╍┙</mark>╹┸┸┩ SCALE: 1/8" = 1'-0"

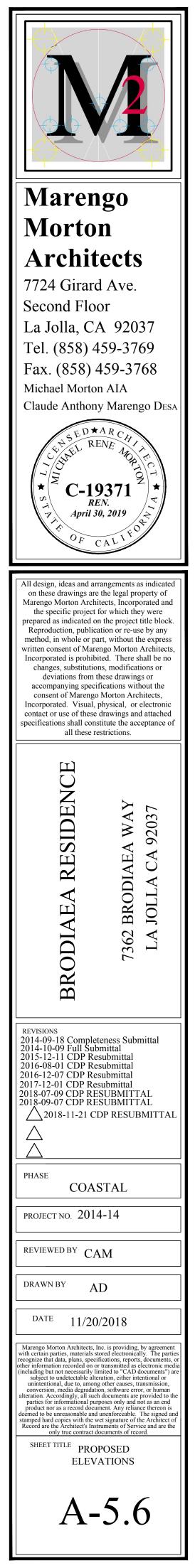


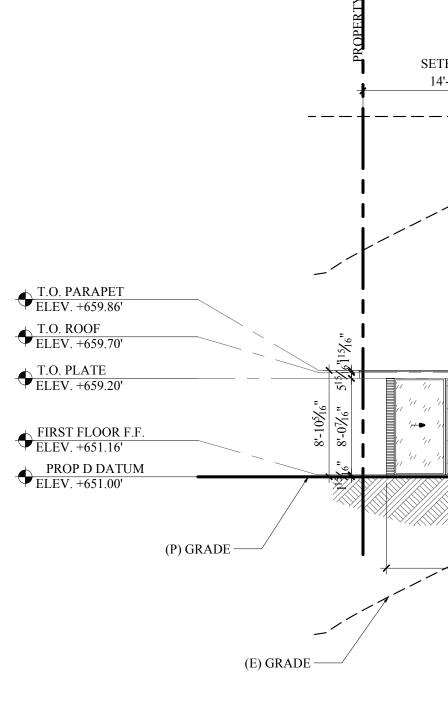




- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. Refer to sheet A-6.1 and A-6.2 for Building Sections.
- D. For Door and Windows See Schedules on sheet A-8.1 and A-8.2. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- E. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet SP-2 Div. 09-200 3B criteria with the approval of the architect for locations.

0 2' 4' SCALE: 1/8" = 1'-0"

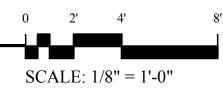


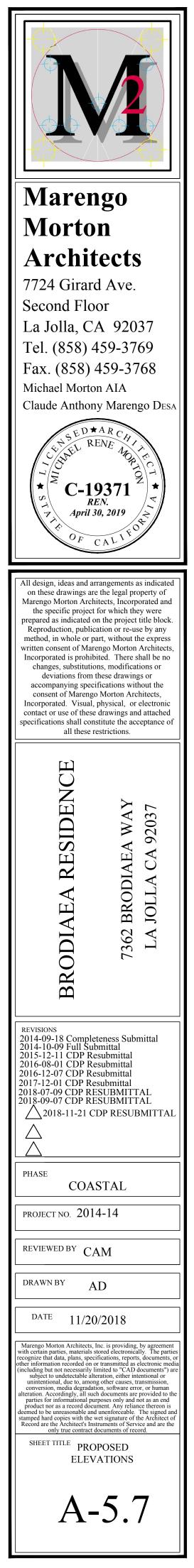


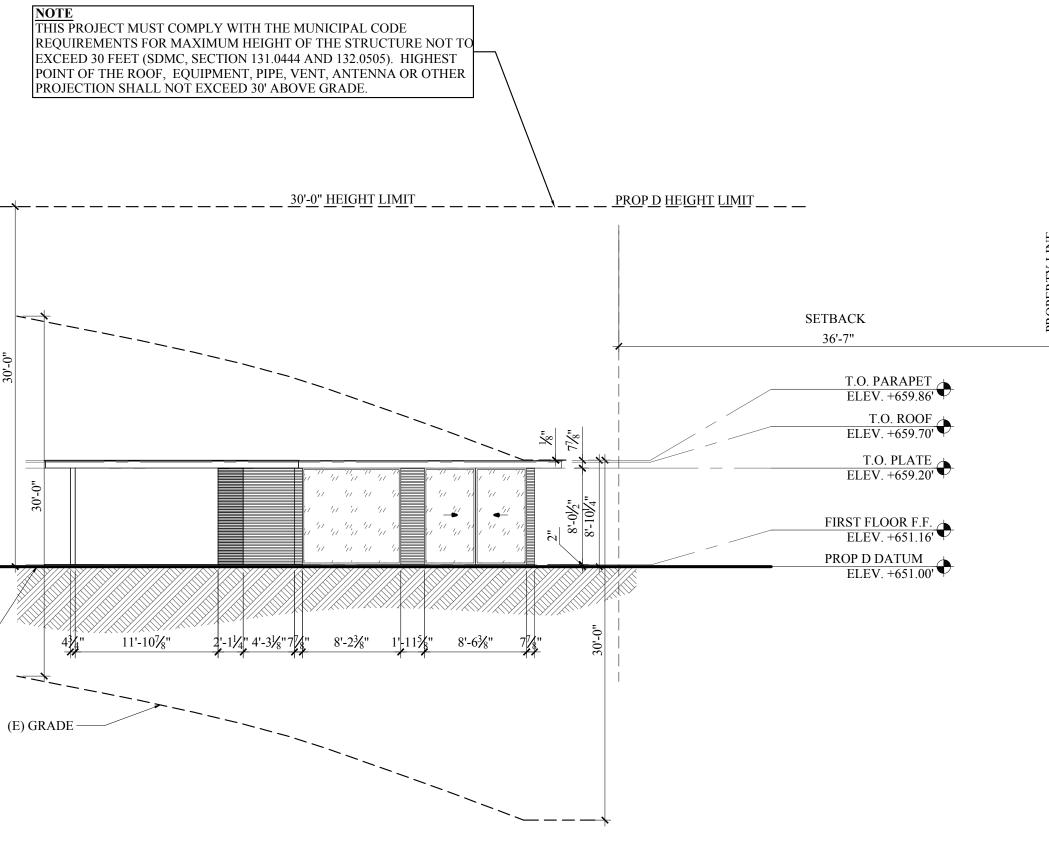


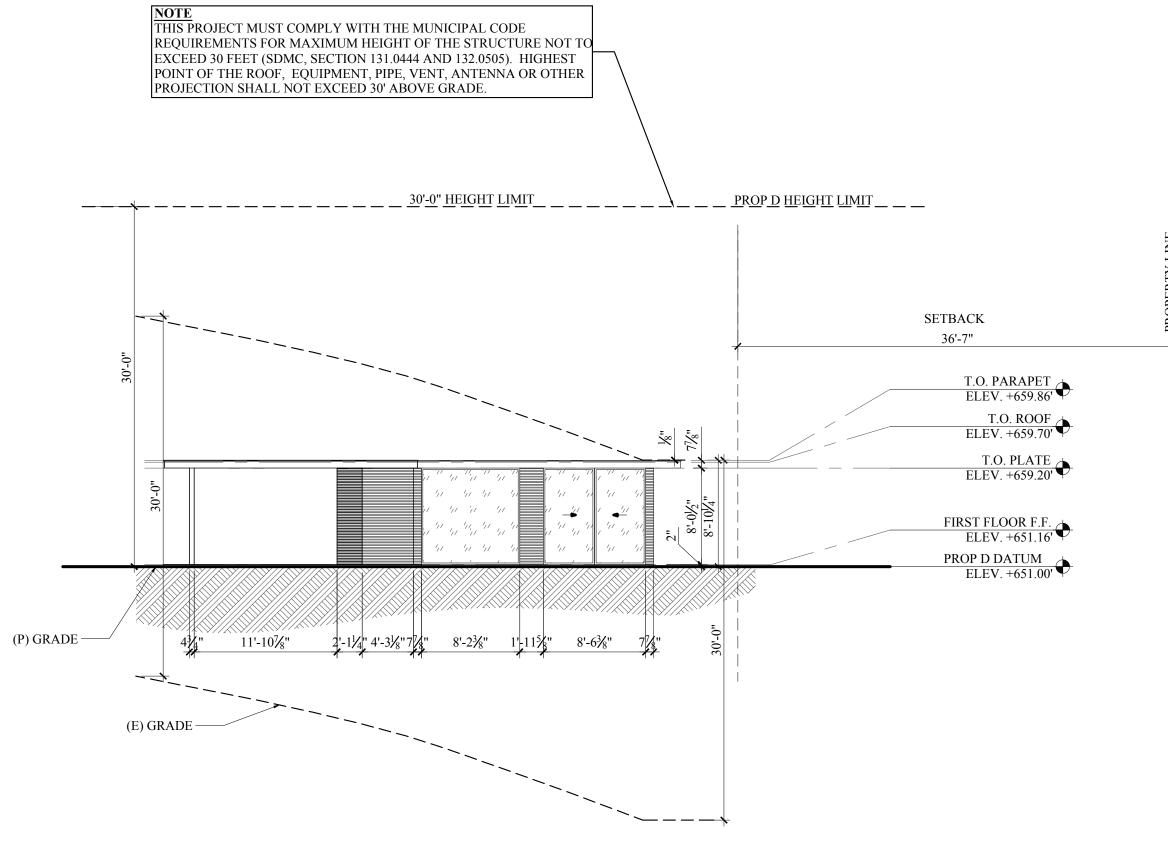
- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. Refer to sheet A-6.1 and A-6.2 for Building Sections.
  D. For Door and Windows See Schedules on sheet A-8.1 and A-8.2. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- E. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet SP-2 Div. 09-200 3B criteria with the approval of the architect for locations.

ETBACK .4'-8¾"	NOTE THIS PROJECT MUST COMPLY WITH TI REQUIREMENTS FOR MAXIMUM HEIG EXCEED 30 FEET (SDMC, SECTION 131. POINT OF THE ROOF, EQUIPMENT, PIP PROJECTION SHALL NOT EXCEED 30' A 30'-0" HEIGHT LIMIT		
		30'-0"	
	5'-6 <sup>15</sup> / <sub>16</sub> " 3'-8 <sup>1</sup> / <sub>8</sub> " 2'-8 <sup>5</sup> / <sub>16</sub> " 11'-10 <sup>15</sup> /		



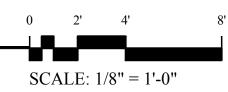


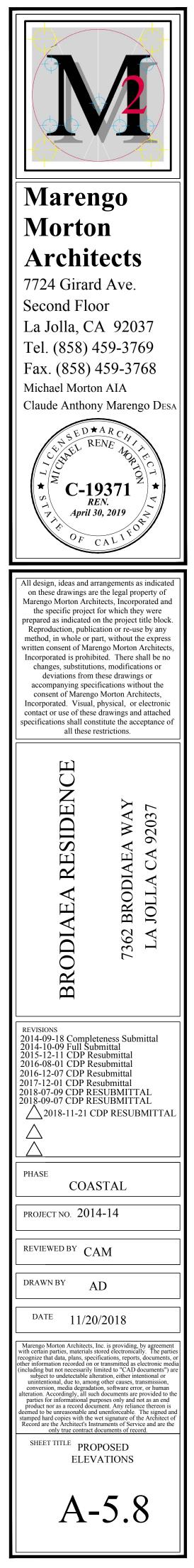


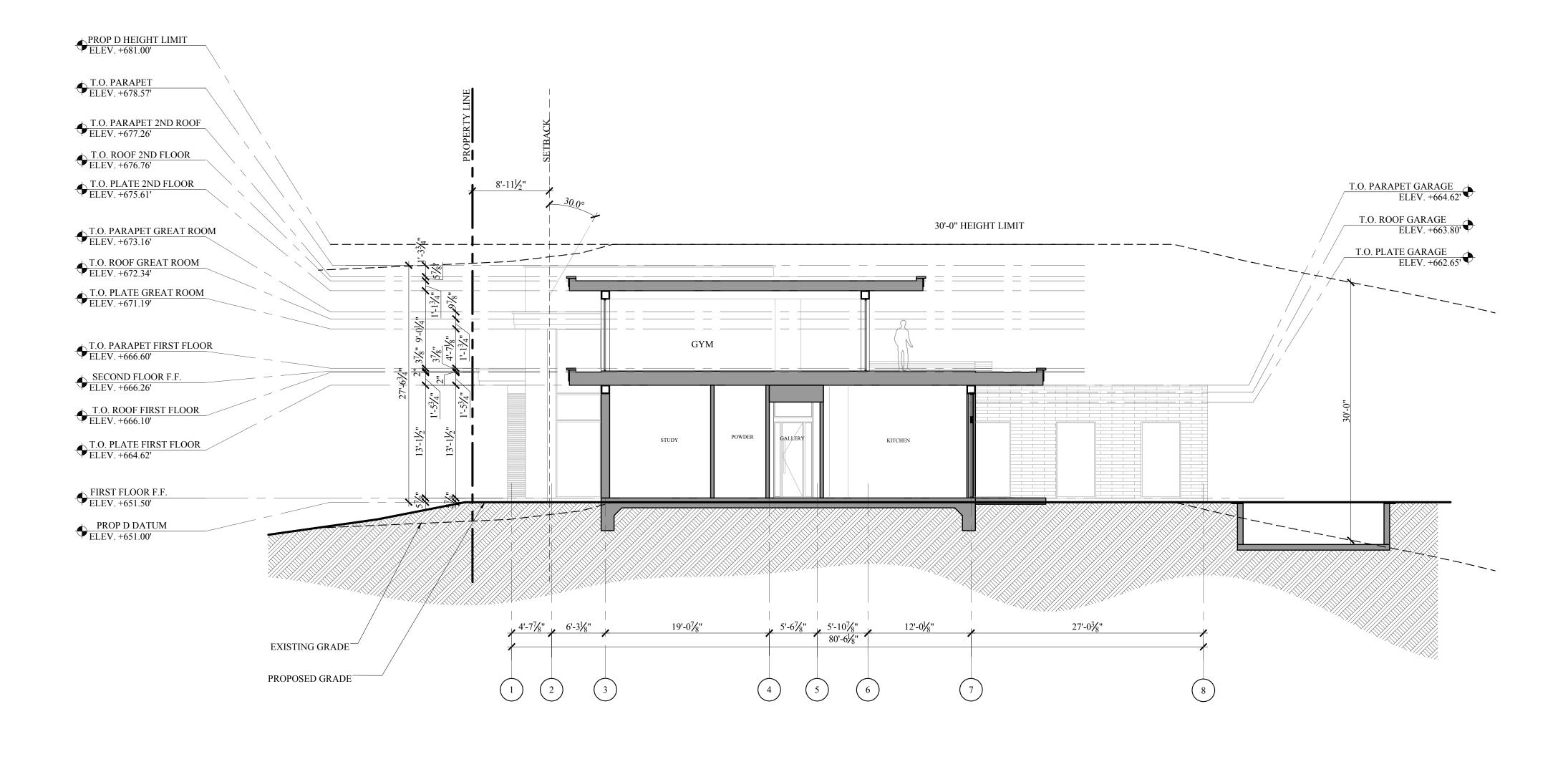




- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the
- Architect and the issues resolved prior to proceeding with the work in question. B. Refer to Site Plan for Site and Utility Information.
- C. Refer to sheet A-6.1 and A-6.2 for Building Sections.
- D. For Door and Windows See Schedules on sheet A-8.1 and A-8.2. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet SP-2 Div. 09-200 3B criteria with the E. approval of the architect for locations.

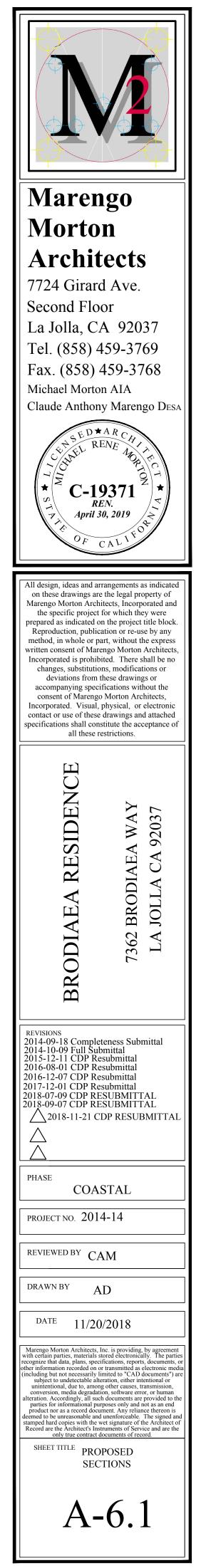


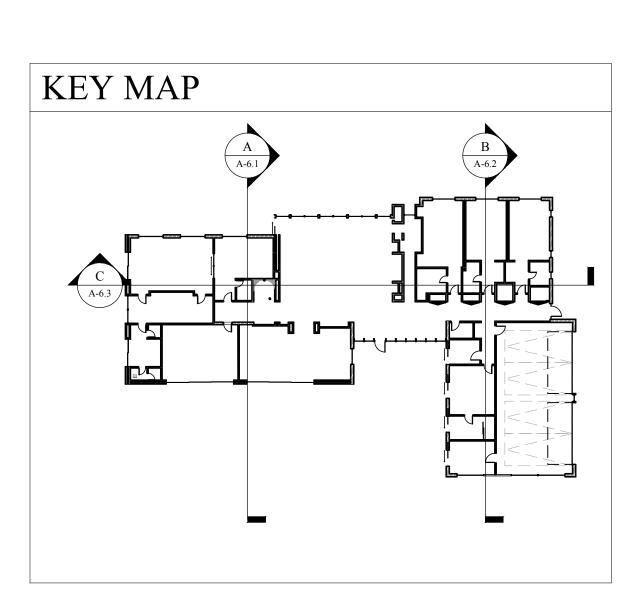




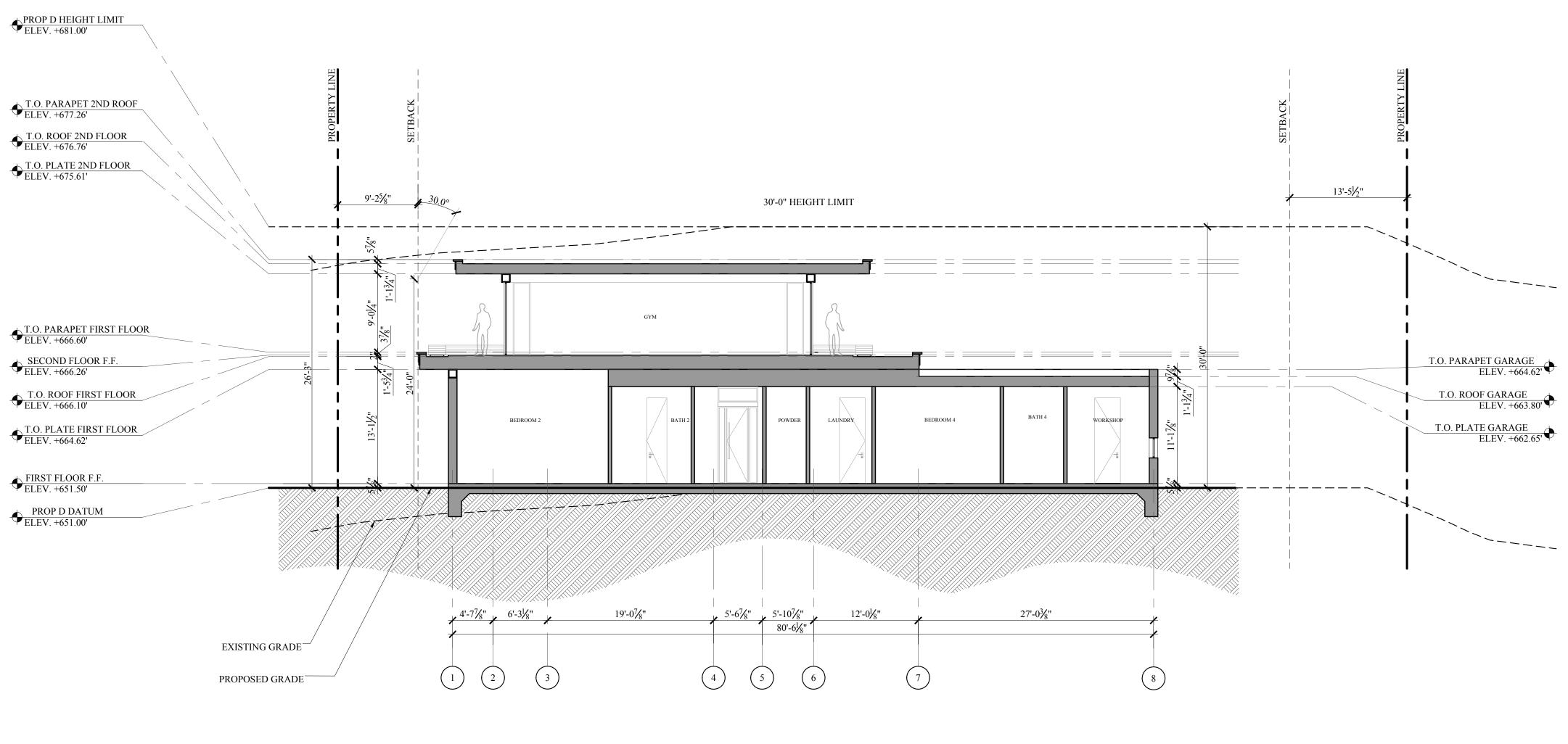


0	2'	4'	8	
SCALE: 1/8" = 1'-0"				

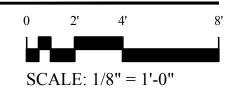


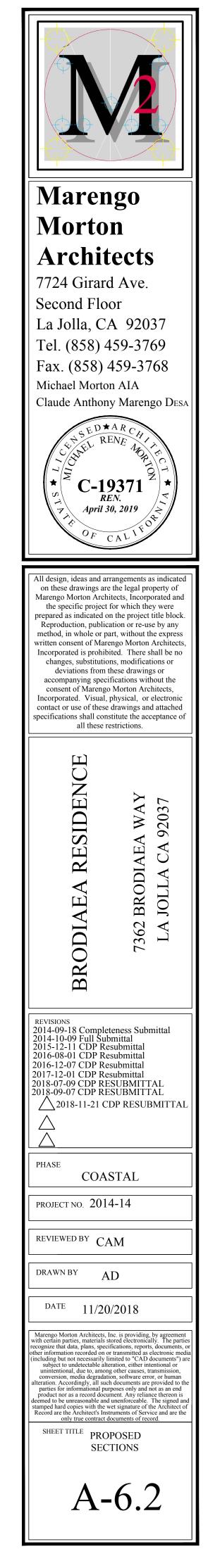


14'-8"



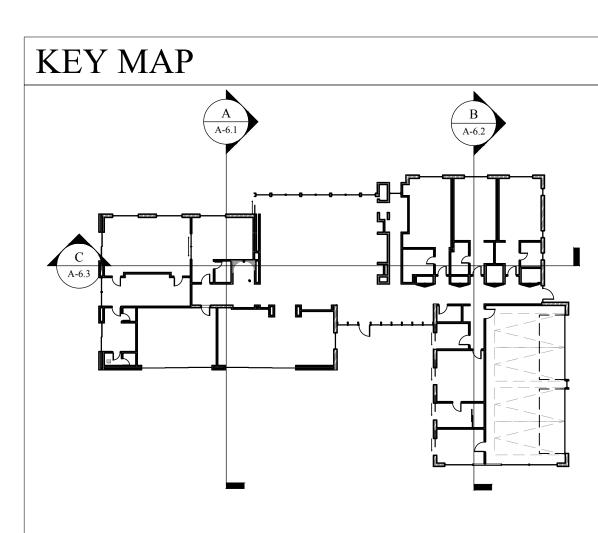


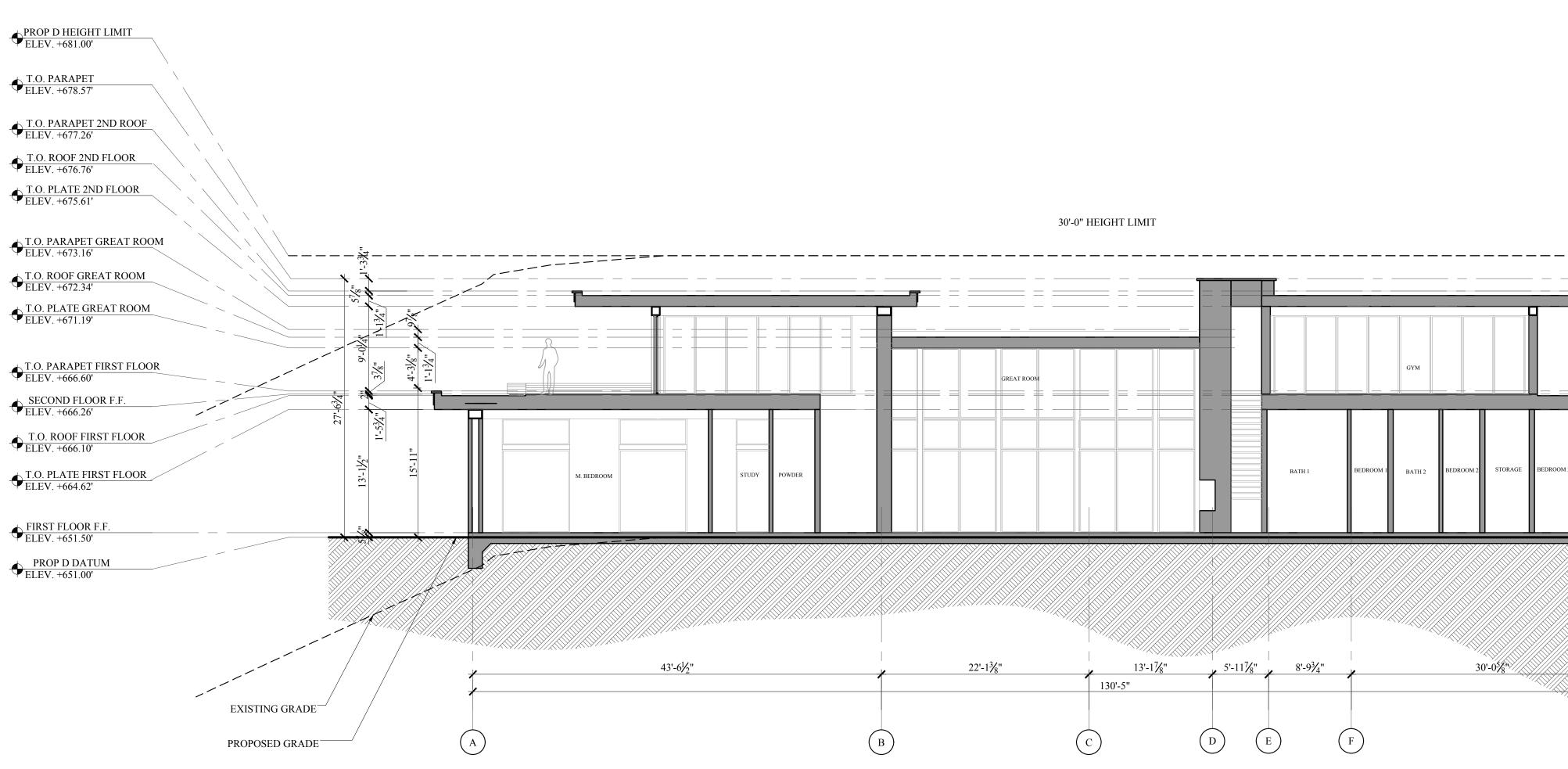


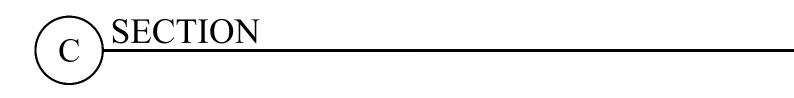


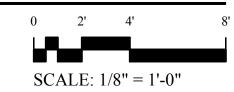
T.O. ROOF GARAGE ELEV. +663.80' T.O. PLATE GARAGE ELEV. +662.65'

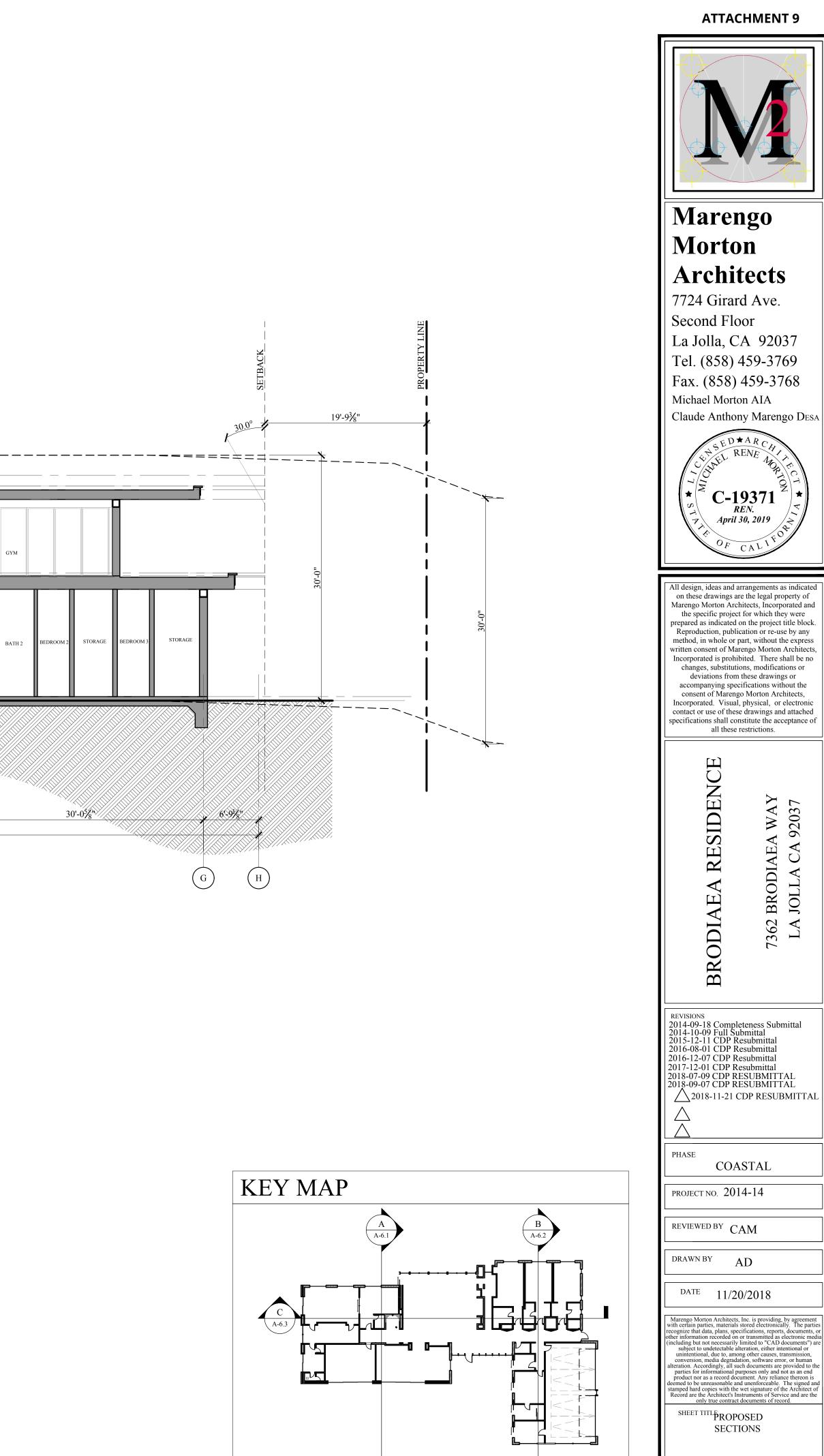
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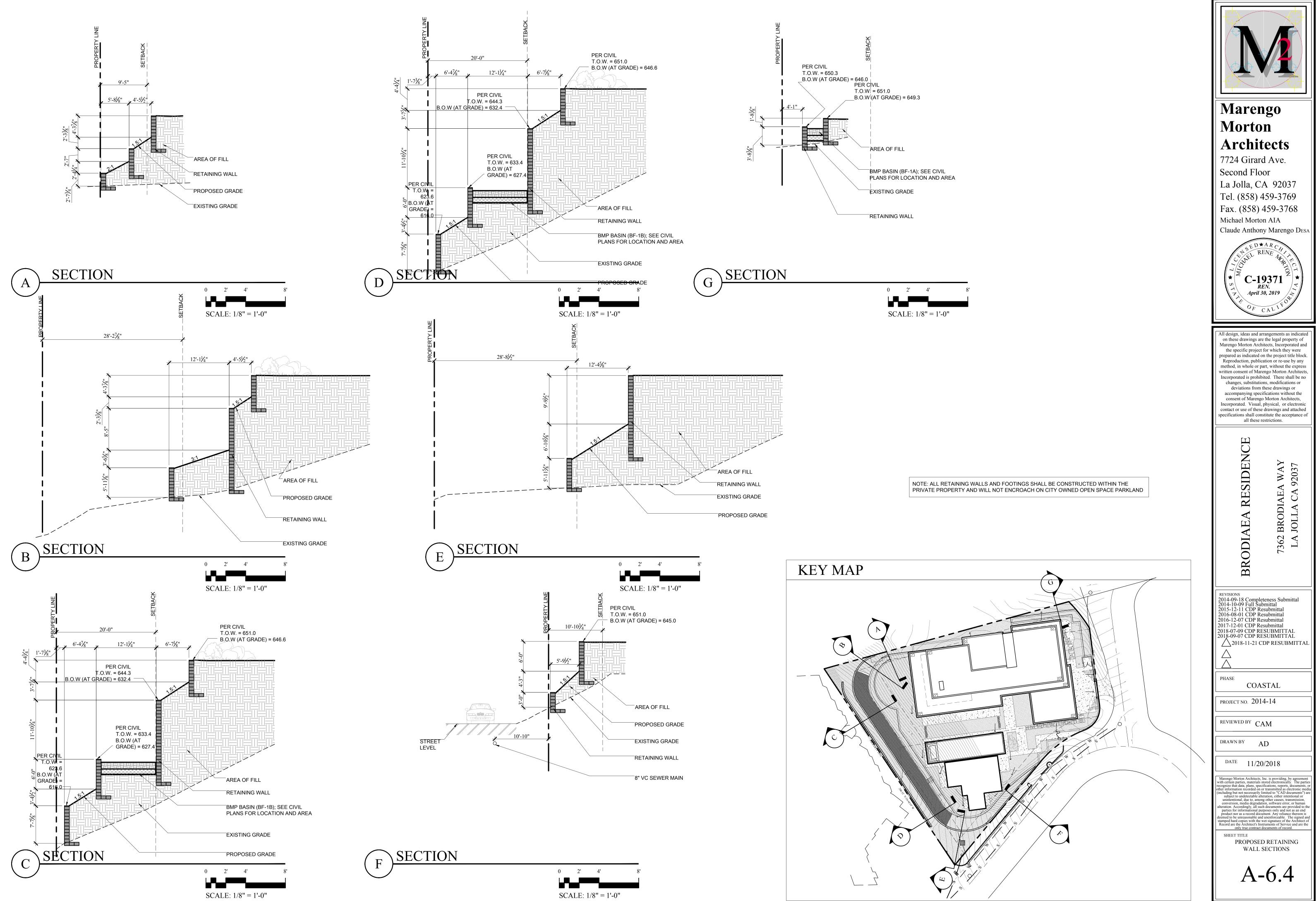




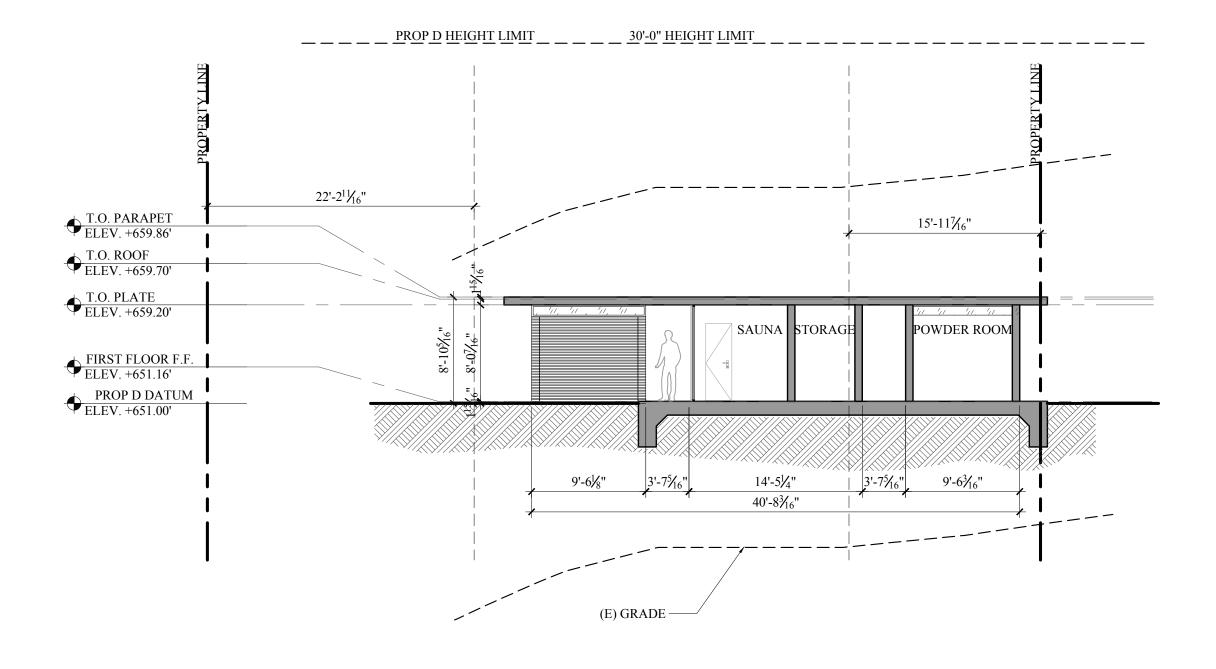


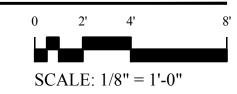


A-6.3

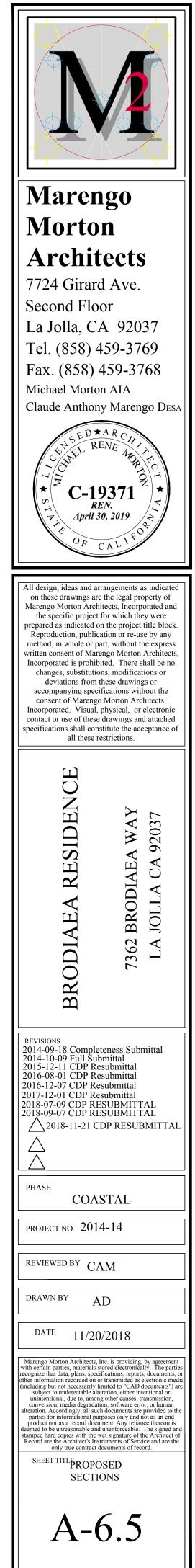


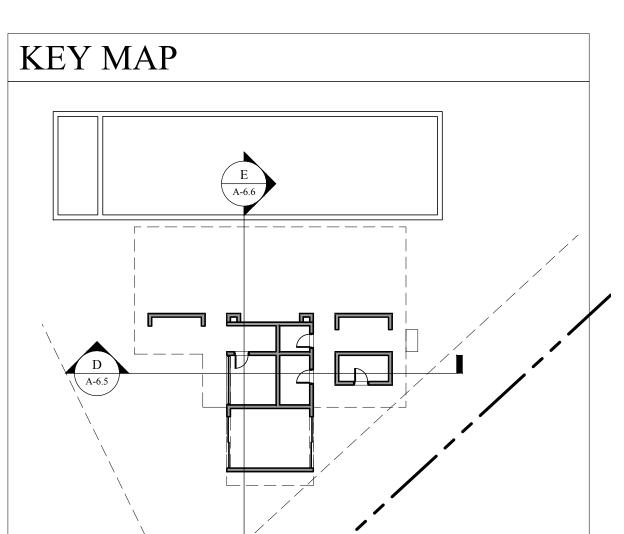
D SECTION





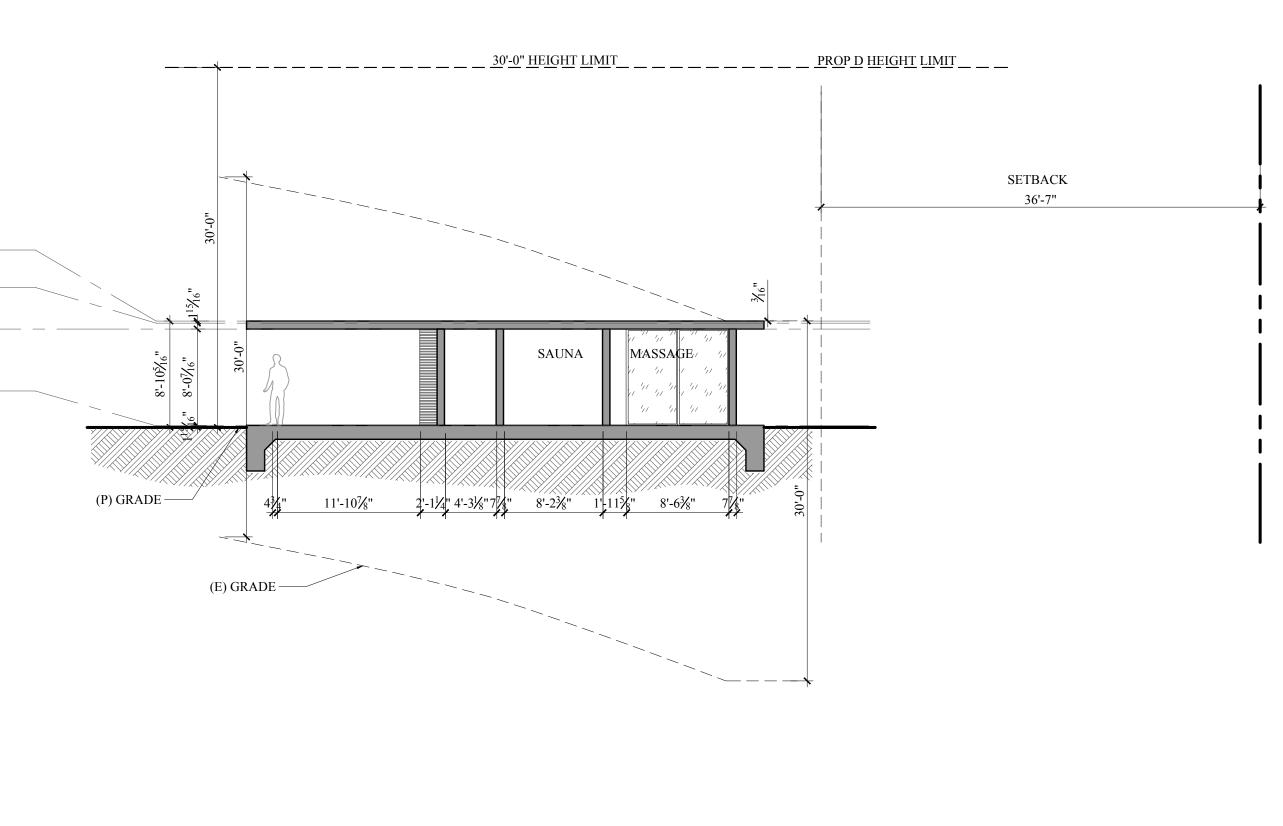






E SECTION

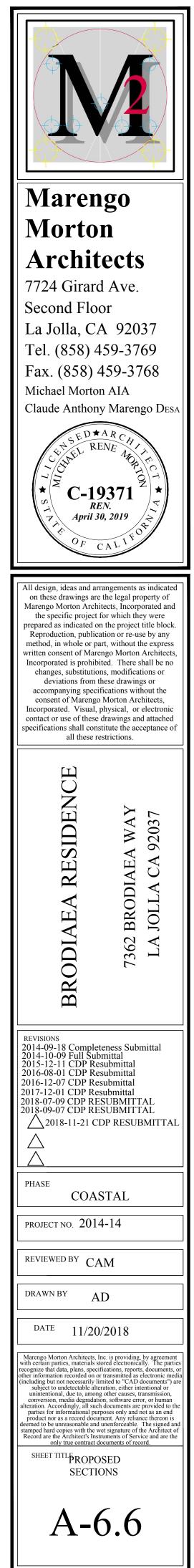
FIRST FLOOR F.F. ELEV. +651.16' PROP D DATUM ELEV. +651.00'

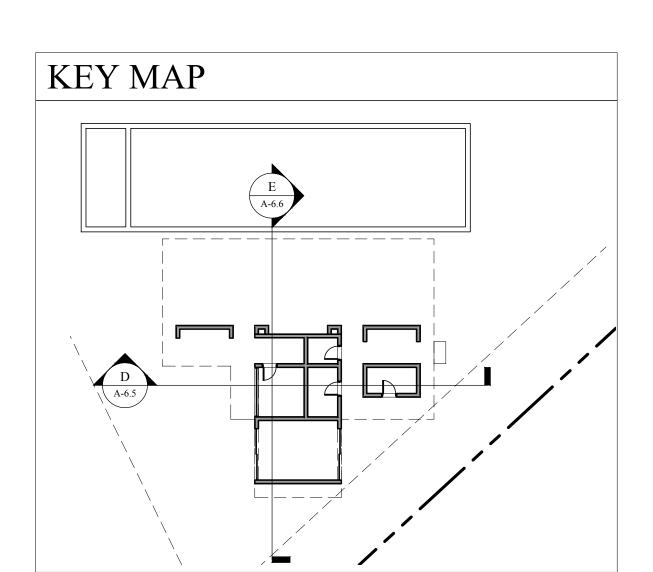


0 2' 4'

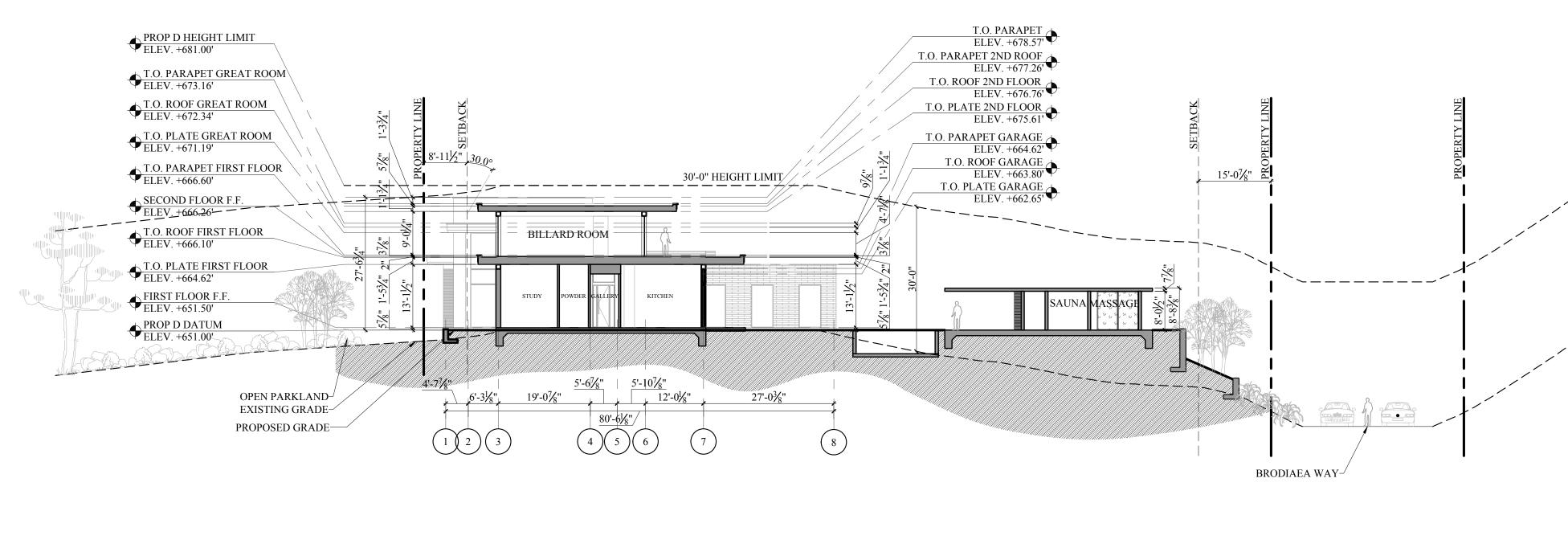
SCALE: 1/8" = 1'-0"





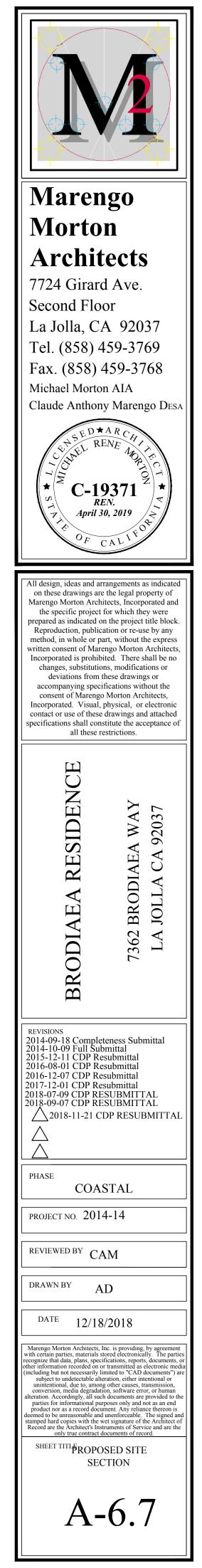




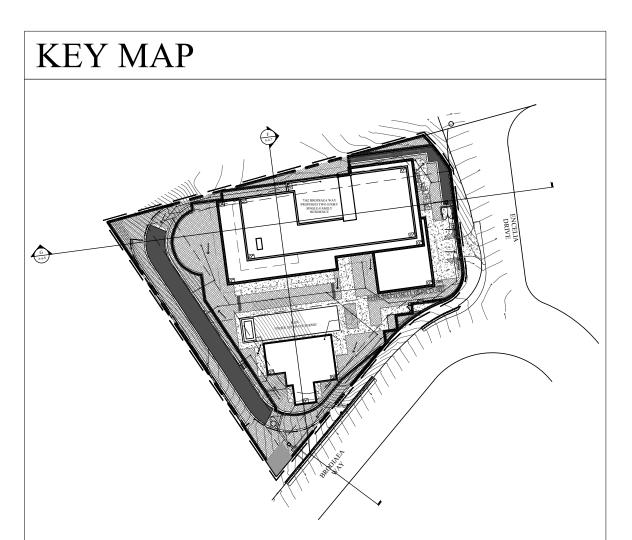


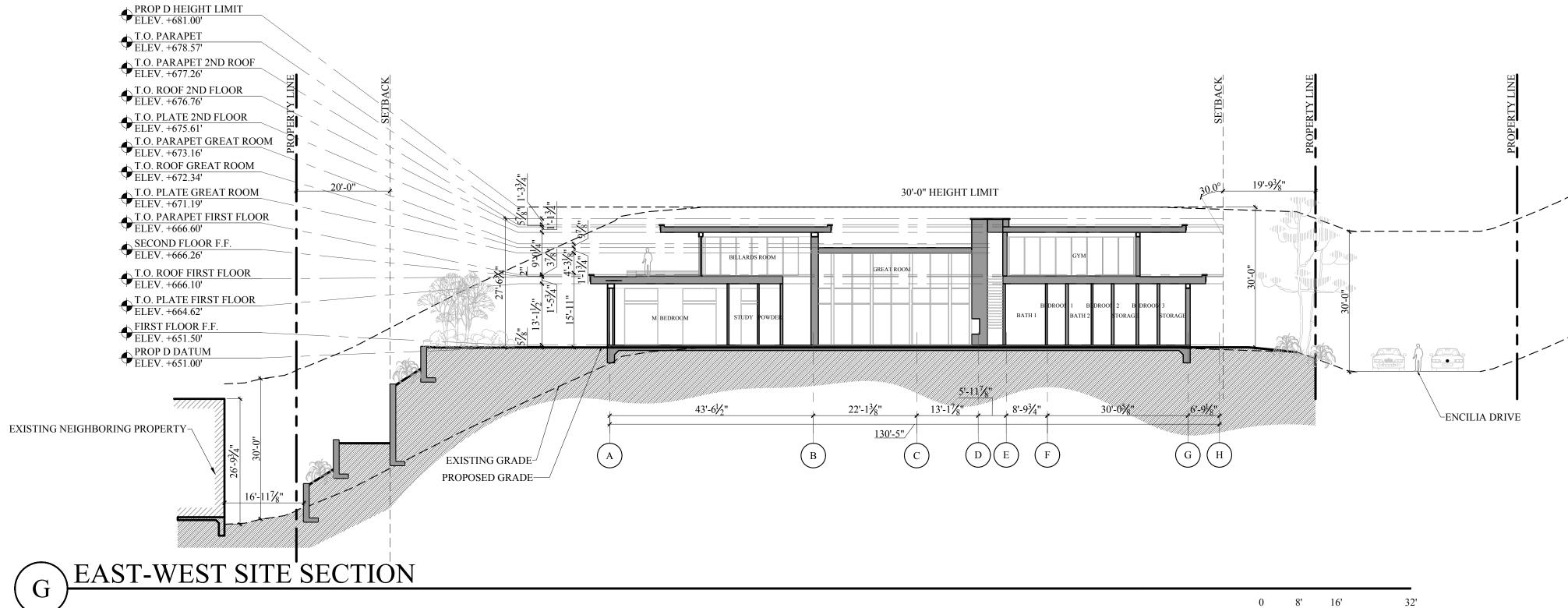
0 8' 16' 32 SCALE: 1/16" = 1'-0"





-EXISTING NEIGHBORING PROPERTY





0	8'	16'	32
SC	ALE:	1/16" = 1'-0	0"



