



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 29, 2019 REPORT NO. HO-19-056

HEARING DATE: June 5, 2019

SUBJECT: 24 HOUR FITNESS CUP/SDP, Process Three Decision

PROJECT NUMBER: [610554](#)

OWNER/APPLICANT: Vestar California XXI LLC, Owner / Mackenzie, Applicant

SUMMARY

Issue: Should the Hearing Officer approve a 24 Hour Fitness health club that will include tenant improvements within an existing 30,068-square-foot commercial building, and demolition of the existing loading area to provide a 3,550-square-foot pool and spa area at a site located at 14331 Peñasquitos Drive within the Rancho Peñasquitos Community Plan area?

Staff Recommendation:

Approve Conditional Use Permit No. 2183886/Site Development Permit No. 2183904.

Community Planning Group Recommendation: On February 6, 2019, the Rancho Peñasquitos Community Board voted 15-0-0 to recommend approval of the project (Attachment 8).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15301 (Existing Facilities). The environmental exemption determination for this project was made on April 24, 2019, and the opportunity to appeal that determination ended May 8, 2019.

BACKGROUND

The project site is located at 14331 Peñasquitos Drive, and is currently developed with a commercial shopping center within an urbanized area in the Rancho Peñasquitos Community Plan area (Attachment 1). Surrounding uses include the I-15 to the east, residential uses to the south and southwest, a resort hotel to the west, and a former golf course to the north (Attachment 3). The 3.94-acre project site is designated commercial, employment, retail and services, and is located within the CC-1-3 Zone. In addition, the project site is located within the Airport Land Use

Compatibility Overlay Zone (MCAS Miramar and Montgomery Field), the Airport Influence Area (MCAS Miramar- Review Area 2), and the Community Plan Implementation Overlay Zone B (CPIOZ-B).

The proposed project is allowed in the CC-1-3 Zone with the approval of a Conditional Use Permit (CUP) pursuant to San Diego Municipal Code (SDMC) sections 131.0522 and 141.0602. In addition, SDMC section 126.0502 requires a Site Development Permit (SDP) for projects in the (CPIOZ-B). A decision on the application for a CUP/SDP shall be made in accordance with a Process Three decision, and is appealable to the Planning Commission.

DISCUSSION

The project proposes a 24 Hour Fitness health club that will operate 24 hours a day, seven days a week. The project will include tenant improvements within an existing 30,068-square-foot commercial building, and demolition of the existing loading area to provide a 3,550-square-foot pool and spa area. The proposed deviation to authorize a 24 hour use may be requested through a CUP subject to SDMC Section 141.0602(b)(4), which staff supports as the project is consistent with the Rancho Peñasquitos Community Plan (Community Plan) policies and goals, and is compatible with the allowed uses within the CC-1-3 Zone. The project will be subject to Citywide sign regulations, and noise and light regulations per the SDMC. In addition, the CUP/SDP contains specific requirements to ensure compliance with the regulations of the Land Development Code. For example, requirements include reconstructing the damaged portions of the sidewalk to current City Standards, implementing storm water construction best management practices, maintaining landscaping improvements, and constructing parking spaces in accordance with SDMC requirements.

A primary goal of the commercial element of the Community Plan is to provide attractive commercial development serving the community's day-to-day shopping, service and recreational requirements. The Community Plan also specifies that a sufficient commercial area should be provided for retail, professional and recreational uses, and other commercial services to meet the basic requirements of present and future community residents. The fitness club will be located within an existing commercial zone and land use designation, and will provide for recreational uses within the community. An environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines 15301 (Existing Facilities).

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration. Staff recommends that the Hearing Officer approve Conditional Use Permit No. 2183886/Site Development Permit No. 2183904 for the project.

ALTERNATIVES

1. Approve Conditional Use Permit No. 2183886/Site Development Permit No. 2183904 with modifications.

2. Deny Conditional Use Permit No. 2183886/Site Development Permit No. 2183904, if the findings required to approve the project cannot be affirmed.

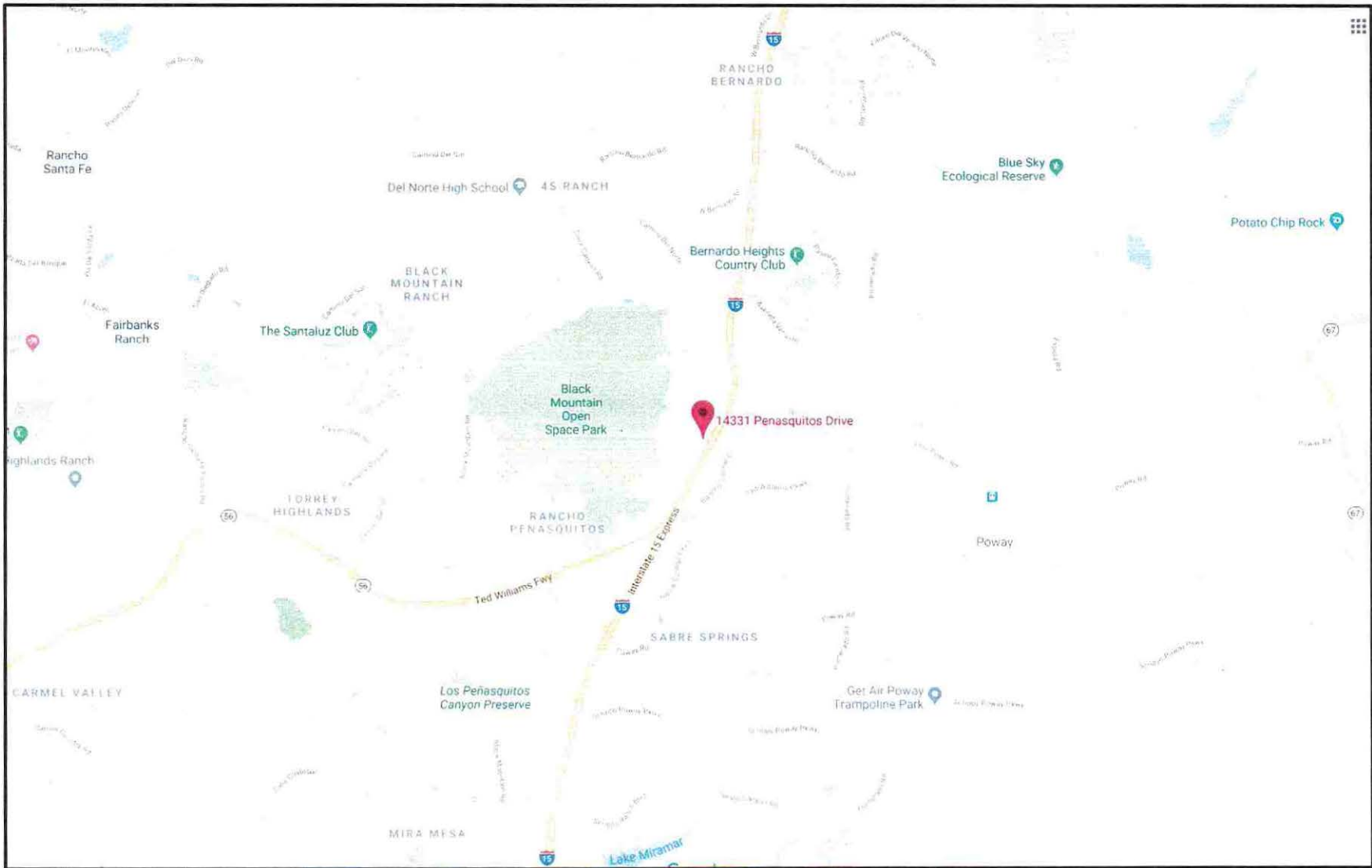
Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Xavier Del Valle", is written over a horizontal line.

Xavier Del Valle, Development Project Manager

Attachments:

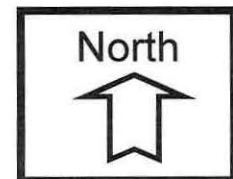
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. NORA Environmental Determination
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



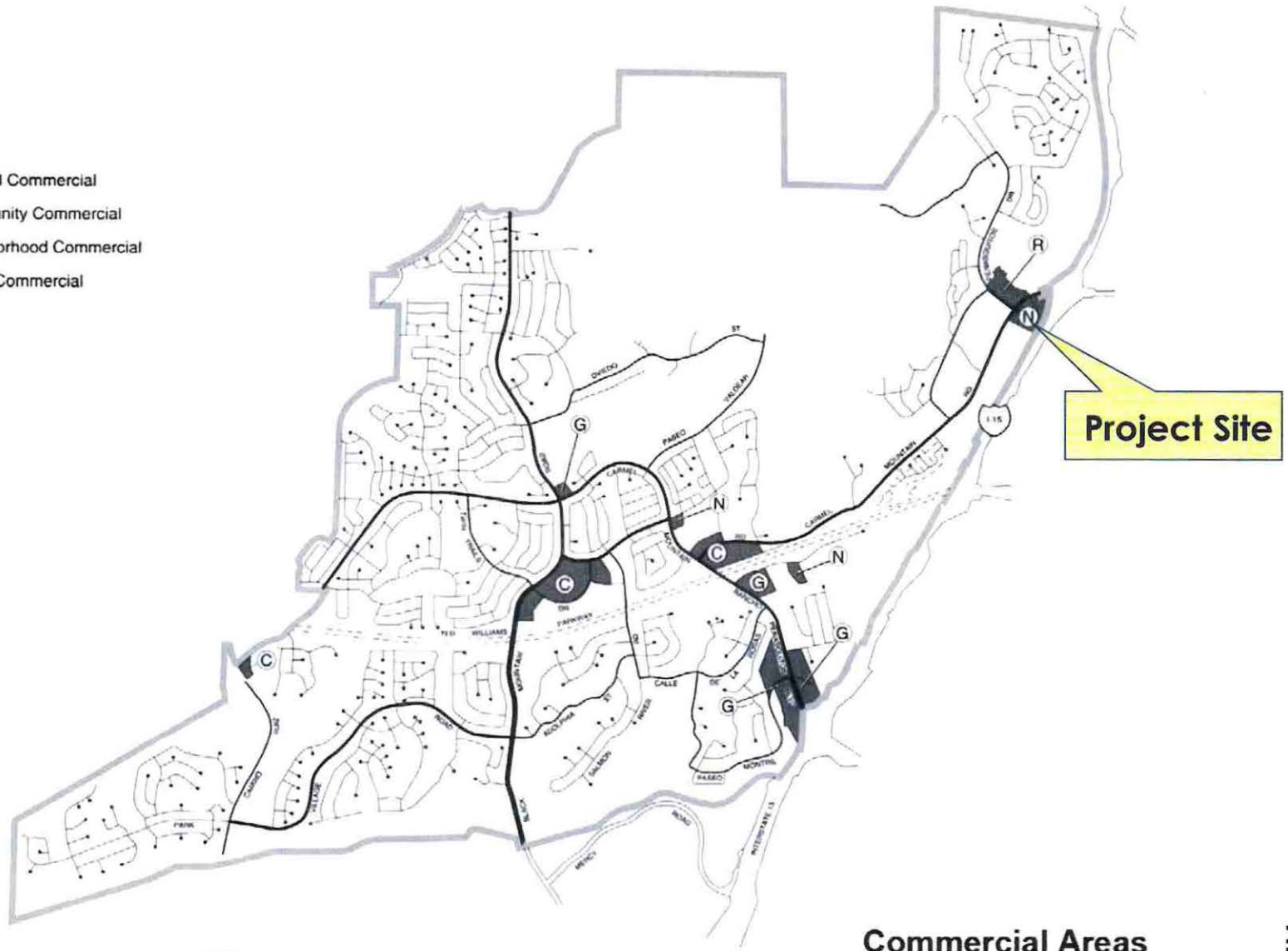
Project Location Map

24 Hour Fitness CUP/SDP

Project No. 610554 – 14331 Peñasquitos Drive



- G** General Commercial
- C** Community Commercial
- N** Neighborhood Commercial
- R** Visitor Commercial



Commercial Areas



Land Use Map
 24 Hour Fitness CUP/SDP
 Project No. 610554 - 14331 Peñasquitos Drive



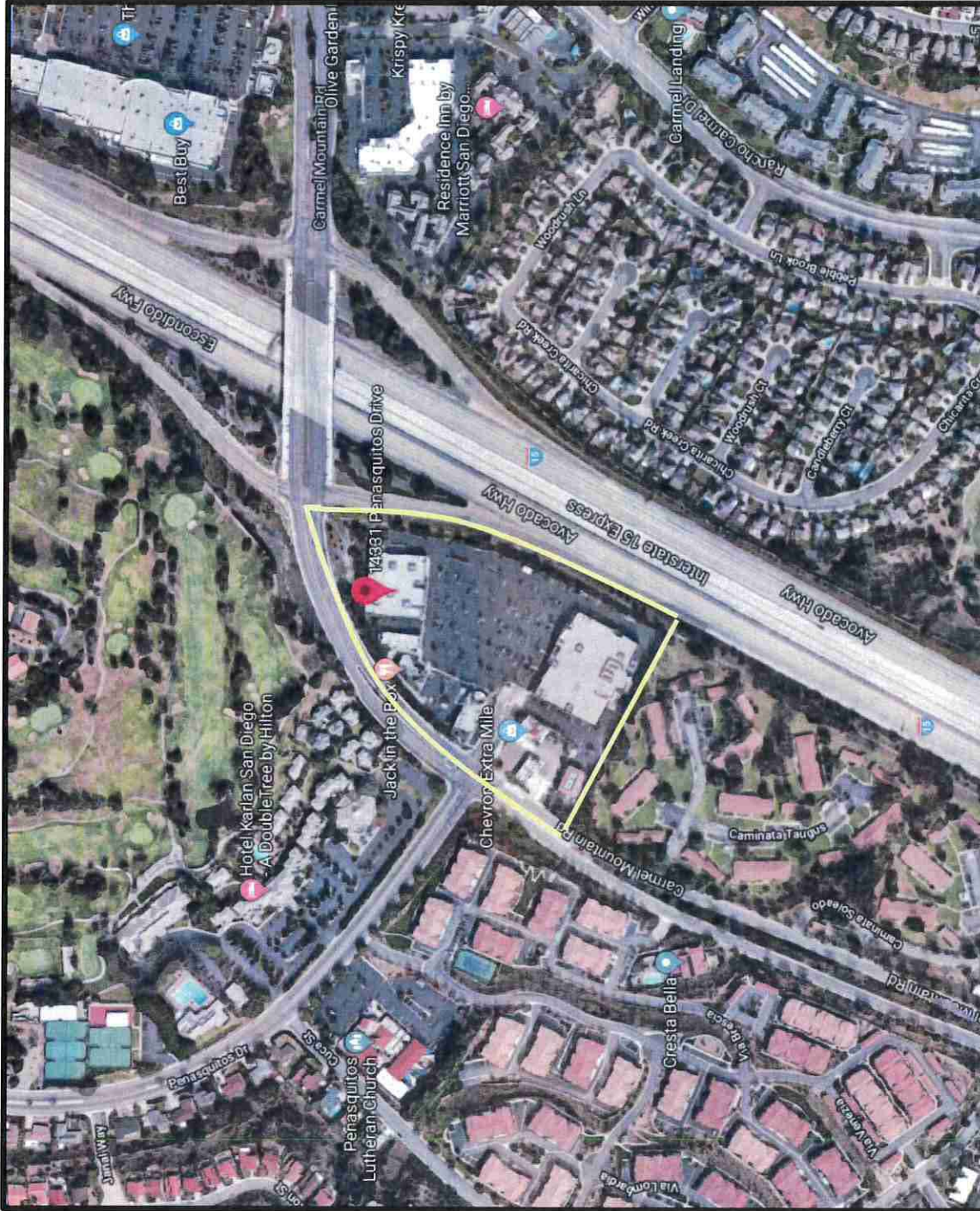
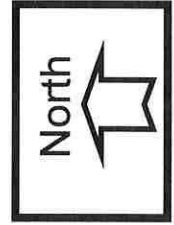
ATTACHMENT 2



Aerial Photograph

24 Hour Fitness CUP/SDP

Project No. 610554 - 14331 Peñasquitos Drive



HEARING OFFICER RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 2183886
SITE DEVELOPMENT PERMIT NO. 2183904
24 HOUR FITNESS CUP/SDP PROJECT NO. 610554

WHEREAS, Vestar California XXI LLC, an Arizona limited liability company, Owner/Permittee, filed an application with the City of San Diego for a permit to operate a 24 Hour Fitness health club (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 2183886/Site Development Permit No. 2183904), on portions of a 3.94-acre site;

WHEREAS, the project site is located at 14331 Peñasquitos Drive in the CC-1-3 Zone, the Community Plan Implementation Overlay Zone B (CPIOZ-B), the Airport Land Use Compatibility Overlay Zone (MCAS Miramar and Montgomery Field), and the Airport Influence Area (MCAS Miramar- Review Area 2) within the Rancho Peñasquitos Community Plan area;

WHEREAS, the project site is legally described as Parcels 2 and 3 of Parcel Map No. 18099, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, August 28, 1998, as File No. 1998-550641; and

WHEREAS, on April 24, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on June 5, 2019, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2183886/Site Development Permit No. 2183904 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2183886/Site Development Permit No. 2183904:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project site is located at 14331 Peñasquitos Drive, and is currently developed with a commercial shopping center within an urbanized area in the Rancho Peñasquitos Community Plan area. The 3.94-acre site is designated commercial, employment, retail and services, and is located in the CC-1-3 Zone and the Community Plan Implementation Overlay Zone B (CPIOZ-B). The project proposes a 24 Hour Fitness health club that will operate 24 hours a day, seven days a week. The project will include tenant improvements within an existing 30,068-square-foot commercial building, and demolition of the existing loading area to provide a 3,550-square-foot pool and spa area. The project is allowed in the CC-1-3 Zone with the approval of a Conditional Use Permit (CUP) pursuant to San Diego Municipal Code sections 131.0522 and 141.0602. In addition, SDMC section 126.0502 requires a Site Development Permit (SDP) for projects in the CPIOZ-B.

A primary goal of the commercial element of the Rancho Penasquitos Community Plan (Community Plan) is to provide attractive commercial development serving the community's day-to-day shopping, service and recreational requirements. In addition, the Community Plan specifies that a sufficient commercial area should be provided for retail, professional and recreational uses, and other commercial services to meet the basic requirements of present and future community residents. The fitness club will be located within an existing commercial zone and land use designation, and will provide for recreational uses within the community. Therefore, the project will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project site is located at 14331 Peñasquitos Drive, and is currently developed with a commercial shopping center within an urbanized area in the Rancho Peñasquitos Community Plan area. The 3.94-acre site is designated commercial, employment, retail and services, and is located within the CC-1-3 Zone and the Community Plan Implementation Overlay Zone B (CPIOZ-B). The project proposes a 24 Hour Fitness health club that will operate 24 hours a day, seven days a week. The project will include tenant improvements within an existing 30,068-square-foot commercial building, and demolition of the existing loading area to provide a 3,550-square-foot pool and spa area. The project is allowed in the CC-1-3 Zone with the approval of a Conditional Use Permit (CUP) pursuant to San Diego Municipal Code

sections 131.0522 and 141.0602. In addition, SDMC section 126.0502 requires a Site Development Permit (SDP) for projects in the CPIOZ-B.

The project will not be detrimental to the public health, safety, and welfare. The proposed deviation to authorize a 24 hour use may be requested through a CUP subject to SDMC Section 141.0602(b)(4), which staff supports as the project is consistent with the community plan policies and goals, and is compatible with the allowed uses within the zone. The project will be subject to Citywide sign regulations, and noise and light regulations per the SDMC. In addition, the CUP/SDP contains specific requirements to ensure that the project is not detrimental to the public health, safety, and welfare. For example, requirements include reconstructing the damaged portions of the sidewalk to current City Standards, implementing storm water construction best management practices, maintaining landscaping improvements, entering into a shared parking agreement, and constructing parking spaces in accordance with SDMC requirements. In addition, an environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines 15301 (Existing Facilities). Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 14331 Peñasquitos Drive, and is currently developed with a commercial shopping center within an urbanized area in the Rancho Peñasquitos Community Plan area. The 3.94-acre site is designated commercial, employment, retail and services, and is located within the CC-1-3 Zone and the Community Plan Implementation Overlay Zone B (CPIOZ-B). The project proposes a 24 Hour Fitness health club that will operate 24 hours a day, seven days a week. The project will include tenant improvements within an existing 30,068-square-foot commercial building, and demolition of the existing loading area to provide a 3,550-square-foot pool and spa area. The project is allowed in the CC-1-3 Zone with the approval of a Conditional Use Permit (CUP) pursuant to San Diego Municipal Code sections 131.0522 and 141.0602. In addition, SDMC section 126.0502 requires a Site Development Permit (SDP) for projects in the CPIOZ-B.

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SDMC requirements. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project site is located at 14331 Peñasquitos Drive, and is currently developed with a commercial shopping center within an urbanized area in the Rancho Peñasquitos Community Plan area. Surrounding uses include the I-15 to the east, residential uses to the south and southwest, a resort hotel to the west, and a former golf course to the north. The 3.94-acre project site is designated commercial, employment, retail and services, and is located within the CC-1-3 Zone and the Community Plan Implementation Overlay Zone B (CPIOZ-B). The project proposes a 24 Hour Fitness health club that will operate 24 hours a day, seven days a week. The project will include tenant improvements within an existing 30,068-square-foot commercial building, and demolition of the existing loading area to provide a 3,550-square-foot pool and spa area. The project is allowed in the CC-1-3 Zone with the approval of a Conditional Use Permit (CUP) pursuant to San Diego Municipal Code sections 131.0522 and 141.0602. In addition, SDMC section 126.0502 requires a Site Development Permit (SDP) for projects in the CPIOZ-B.

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B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project site is located at 14331 Peñasquitos Drive, and is currently developed with a commercial shopping center within an urbanized area in the Rancho Peñasquitos Community Plan area. The 3.94-acre site is designated commercial, employment, retail and services, and is located within the CC-1-3 Zone and the Community Plan Implementation Overlay Zone B (CPIOZ-B). The project proposes a 24 Hour Fitness health club that will operate 24 hours a day, seven days a week. The project will include tenant improvements within an existing 30,068-square-foot commercial building, and demolition of the existing loading area to provide a 3,550-square-foot pool and spa area. The project is allowed in the CC-1-3 Zone with the approval of a Conditional Use Permit (CUP) pursuant to San Diego Municipal Code

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c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

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The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2183886/Site Development Permit No. 2183904 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Conditional Use Permit No. 2183886/Site Development Permit No. 2183904, a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on: June 5, 2019

IO#: 24007914

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007914

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2183886
SITE DEVELOPMENT PERMIT NO. 2183904
24 HOUR FITNESS CUP/SDP PROJECT NO. 610554
HEARING OFFICER

This Conditional Use Permit No. 2183886/Site Development Permit No. 2183904 [Permit] is granted by the Hearing Officer of the City of San Diego to Vestar California XXI, LLC, an Arizona limited liability company, Owner/ Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0303 and 126.0502. The 3.94-acre site is located at 14331 Peñasquitos Drive in the CC-1-3 Zone and the Community Plan Implementation Overlay Zone B within the Rancho Peñasquitos Community Plan area. In addition, the project site is located within the Airport Land Use Compatibility Overlay Zone (MCAS Miramar and Montgomery Field), and the Airport Influence Area (MCAS Miramar- Review Area 2). The project site is legally described as: Parcels 2 and 3 of Parcel Map No. 18099, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, August 28, 1998, as File No. 1998-550641.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee, to operate a 24 Hour Fitness health club described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 5, 2019, on file in the Development Services Department. The project shall include:

- a. Tenant improvements within an existing 30,068-square-foot commercial building, and demolition of the loading area to provide a 3,550-square-foot pool and spa area; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 19, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to

comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export 16 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by the Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern, and preserving the contractor's stamp, adjacent to the site on Carmel Mountain Road.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate into the construction plans or specifications, any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code (SDMC).

16. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

17. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

18. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree, which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.

19. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit for approval complete landscape and irrigation construction documents, which are consistent with the Landscape Standards. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan that is on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities, unless otherwise approved per §142.0403(b)5.

20. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted that identifies all landscape areas consistent with Exhibit "A," Landscape Development Plan that is on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area."

21. The Owner/Permittee shall be responsible for the maintenance of all landscaping improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscaping shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and in an equivalent size, per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

26. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the San Diego Municipal Code (SDMC). All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

27. Prior to the issuance of the first building permit, the applicant shall provide a recorded Share Parking Agreement between all affected properties, in a manner satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

28. Prior to issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment and Maintenance Removal Agreement (EMRA) for proposed improvements of any kind, including utilities, landscaping, enriched paving, and electrical conduits that are installed within the public right-of-way or public easement.

29. Prior to the issuance of any construction permit, if it is determined during the permit review process that the existing water and sewer service will not be adequate to serve the proposed

project, the Owner/Permittee shall assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle, and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

30. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code, and will be reviewed as part of the building permit plan check process.

31. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities, and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 5, 2019 and [Approved Resolution Number].

ATTACHMENT 5

Conditional Use Permit No. 2183886
Site Development Permit No. 2183904
Date of Approval: June 5, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Vestar California XXI, LLC
Owner/Permittee

By _____
Rich Hearn
Vice President - Leasing

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: April 24, 2019

**NOTICE OF RIGHT TO APPEAL
ENVIRONMENTAL DETERMINATION
DEVELOPMENT SERVICES DEPARTMENT**

SAP No. 24007914

PROJECT NAME / NUMBER: 24 Hour Fitness CUP/SDP / 610554

COMMUNITY PLAN AREA: Rancho Peñasquitos

COUNCIL DISTRICT: 5

LOCATION: 14331 Peñasquitos Drive, San Diego, California

PROJECT DESCRIPTION: A CONDITIONAL USE PERMIT and SITE DEVELOPMENT PERMIT for tenant improvement within an existing 30,068-square-foot building for a health club (24-hour Fitness). Exterior improvements consist of the demolition of a loading area to provide a 3,550-square-foot pool and spa area. The project site is located at 14331 Peñasquitos Drive. The site is designated commercial, employment, retail and services and zoned CC-1-3 zone within the Rancho Peñasquitos Community Plan Area. Additionally, the project site is within the Airport Land Use Compatibility Overlay Zone (MCAS Miramar and Montgomery Field), the Airport Influence Area (MCAS Miramar- Review Area 2), and the Community Plan Implementation Overlay Zone (CPIOZ- B). (LEGAL DESCRIPTION: Parcels 2 and 3 of Parcel Map No. 18099.)

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Development Services Department

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Sections 15301 (Existing Facilities) which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features involving negligible or no expansion of existing or former use. Examples include interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances. Furthermore, the exceptions listed in 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER:

Xavier Del Valle

MAILING ADDRESS:

1222 First Avenue, MS 301, San Diego, CA 92101-4153

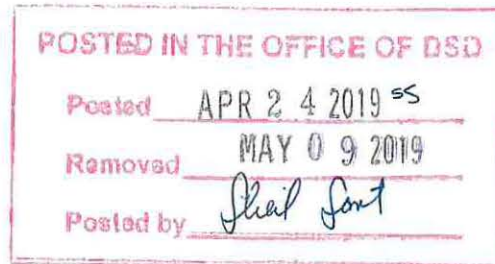
PHONE NUMBER / EMAIL:

(619) 557-7941 / xdelvalle@sandiego.gov

On April 24, 2019 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (May 8, 2019). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, February 6, 2019 at 7:30 PM

All Times listed are approximate.

Attendance					
District	Board Member	Present	District	Board Member	Present
District 1	Geoffrey Patrick	X	District 2	Stephen Egbert	
District 3	Thom Clark (C)	X	District 4	Mike Shoecraft	X
District 5	Ramesses Surban	X	District 6	VACANT	
District 7	Corey Buckner	X	District 8	VACANT	
District 9	Cynthia Macshane	X	District 10	Darshana Patel	X
District 11	Jon Becker (VC)	X	BMR1	Joseph Schmelzer (S)	X
BMR2	VACANT		Commercial 1	Pamela Blackwill	X
Commercial 2	Alex Plishner	X	Rec Council	Steve Leffler	
Renter-at-Large	Brian Reschke	X	Torrey Highlands 1	Sabrina Leitner	X
Torrey Highlands 2	Brooke Whalen	X	RP Town Council	Jonathan Palinkas	X

X: present, seated

P: present, not seated

Community Members (Voluntary Sign-in)	
Jocelyn Lomahan	Polly Dong
Susan McClatchey	Jasmine Kotlarz
David Birdsall	Mariella Birdsall
Chris Slaven	Robert Laerd
Christian Aravena	Randy Steffler

Time	Item	Notes
7:30 PM	Call to Order	
7:32 PM	Agenda Modifications	
	<i>Motion to remove the Agenda Item: Ratification of Secretary's Report on Ineligible Status of Commercial Seat #2 Representative & Declaration of Vacancy</i>	MSC: Thom Clark / Joe Schmelzer: 13/1/1/0 Abstain: Alex Plishner PASS
7:35 PM	Approval of Minutes	
	<i>Motion to approve December 5, 2018 RPPB Minutes</i>	MSC: Corey Buckner / Darshana Patel : 14/0/0/1 Recuse: Ramesses Surban (due to being absent at the Dec meeting) PASS



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, February 6, 2019 at 7:30 PM

Time	Item	Notes
	<i>Motion to approve January 2, 2019 RPPB Minutes</i>	<p>MSC: Corey Buckner / Darshana Patel : 13/0/2/0</p> <p>Abstain: Jon Becker, Ramesses Surban (due to being absent at the Dec meeting)</p> <p>PASS</p>
7:40 PM	Public Safety Agencies Report	Fire Station 40, San Diego Police Northeastern Substation
		<i>Not present, no report</i>
7:45 PM	Public Forum	Non-Agenda Items
	Speaker: Gary Leavitt / Merge 56	<p>The project is waiting for a US Fish and Wildlife Service document. Then Army Corps, then it can move forward...</p> <p>If we (Merge 56) don't get the grading by Feb 15 then have to wait until Aug 15 for bird season to pass.</p> <p>A lawyer from Luna has filed a suit. The underlining zoning is actually worse than the claims being made by the Plaintiff. There is no underlying EIR for the public streets. The streets project was pulled from Merge 56.</p> <p>Appeal from Gary to get a letter to the City to have the streets built.</p> <p>The lawsuit is holding up a public improvement.</p>
	Speaker: Alex Plishner / Pacific Villages	<p>There will be 600 homes for sale, 276 apartments being built by Atlantic/Pacific.</p> <p>Demo is complete. Rock crushing is ongoing. Asphalt will become base material for roads. Much of the demoed material has been recycled. Grading was supposed to start this week, will start next week due to rain.</p> <p>Permits have issued. Public improvements were approved. Should start in next 3-4 weeks. Demo work will start on CMR. Tie-in work will start.</p> <p>Two signals to be put in. (Lots of lead-time required). One by the school is modification. Building permits in with the city. April start for work.</p>
8:12 PM	Public Officials	



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, February 6, 2019 at 7:30 PM

Time	Item	Notes
	San Diego Planning Department	Dan Monroe: DMMonroe@sandiego.gov
		Not present, no report Sara sent an email to notify the RPPB that she was moving on and that another person will be taking her place. The email said to contact Dan Monroe at DMMonroe@sandiego.gov for more details.
	San Diego City Council, 5 th District, Mark Kersey	<p>Quinton Grounds (qgrounds@sandiego.gov) reporting.</p> <p>Striping on Camino Del Sur: City sat with developer and told them they have to stripe the road as part of the scope of the work. They will do that. Timeline to be sent to the RPPB.</p> <p>Audit committee on Jan 30 heard an information item, forwarded to committees and full council.</p> <p>Sink hole: The underlying water main that was placed under in the late 80s dirt began to collapse. Assessing pipe to begin addressing sink hole. Crews will be at the site until the issue has been addressed. Trying to make sure the hole doesn't get bigger. Packing around the drain began to crumble and collapse.</p> <p>Emergency contract is being drafted to get someone on the site ASAP.</p> <p>Question: Ramesses: Do we have similar conditions that could represent an issue in RPQ? Answer: Not sure. City is reviewing.</p> <p>Request: Darshana Patel: Please keep RPPB up to date.</p>
	San Diego City Council, 6 th District, Chris Cate	<p>Maddy Garrett representing. mgarrett@sandiego.gov</p> <p>Quinton Grounds indicated Mady Garrett is taking over for Daniel Manley.</p>
	San Diego County, District 3 Supervisor Kristin Gaspar	Jason Paguio representing. Jason.Paguio@sdcounty.ca.gov
		1. Not present, no report



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, February 6, 2019 at 7:30 PM

Time	Item	Notes
	CA State 77th Assembly District, Member Brian Maienschein	Lance Witmondts representing. Lance.Witmondts@asm.ca.gov
		Not present, no report
	CA State Senate District 39, Senator Toni Atkins	Jason Weisz: representing. Jason.Weisz@sen.ca.gov
		Not present, no report
	US Congressman 52nd District, Scott Peters	Jason Bercovitch representing. Jason.Bercovitch@mail.house.gov
		Not present, no report
Business		
8: 21PM	Information Item	
	<p>Presentation on the Fiscal Year 2020 Affordable Housing Fund Annual Plan – City of San Diego Manager, Special Programs & Compliance</p> <p>Jasmine Kotlarz</p>	<p>Purpose of the visit is to explain the purpose of the Affordable Housing Fund (AHF), to go through it and ask questions.</p> <p>Review requirements.</p> <p>Reviewing fiscal 2020 projections.</p> <p>Question: Corey Buckner: What is affordable housing? Why have we removed low income and replaced with “affordable”?</p> <p>Answer: Not sure.</p> <p>Question: Ramesses Surban: What funding is planned for RPQ?</p> <p>Answer: none.</p> <p>How long has AHF been doing funds?</p> <p>Since 1990.</p> <p>When was the last time something was funded in RPQ?</p> <p>Prior to 2014...</p>
8:51PM	Acton Item	<p>Presentation and request for approval of Project #610554 for the repurposing of the building at 14331 Peñasquitos Drive (former Office Depot lease space) to be a 24-hr Fitness Center in the Rancho Peñasquitos Community Planning Area -- Michael Chen of Mackenzie</p>



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, February 6, 2019 at 7:30 PM

Time	Item	Notes
		<p>Conditional Use Permit submitted. For the hours operation. Current code restricts clubs and retail.</p> <p>Site deviation permit (SDP) is for the outdoor pool.</p> <p>30K sf. Vacant for 2 years. Reduced to a 2 lane pool because of the 50 foot set back.</p> <p>Question: Is pool area covered? Answer: No.</p> <p>Presented to LUC before. Expected to open in 2019.</p>
	Motion to approve Project #610554 for the repurposing of the building at 14331 Peñasquitos Drive (former Office Depot lease space) to be a 24-hr Fitness Center in the Rancho Peñasquitos Community Planning Area	<p>MSC: Jon Becker / Ramesses Surban / 15/0/0/0</p> <p>PASS</p>
9:07PM	Action Item	Approve 2018-2019 Expenses incurred by RPPB and request City of San Diego Reimbursement– Jon Becker
		<p>Jon Becker: there are three Godaddy accounts: Torey Highlands, Rancho Peñasquitos, Black Mountain Ranch</p> <p>\$18/yr/each</p> <p>Submit expenses by March</p> <p>Pam Blackwill to get a small audio setup (Bluetooth) featuring two mics and a speaker</p>
	Motion to TABLE 2018-2019 Expenses incurred by RPPB and request City of San Diego Reimbursement	<p>MSC: Corey Buckner / Brooke Whalen / 15/0/0/0</p> <p>PASS</p>
9:14PM	Information Item	2019 RPPB Election Information & Candidate Introductions – Mike Shoecraft

RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes



Wednesday, February 6, 2019 at 7:30 PM

Time	Item	Notes
9:24 PM	Reports	
	Chair Report	<ol style="list-style-type: none"> 1. Continuing discussion about the Preserve. The letter from the RPPB has been sent. 2. A phone call from TH resident was received. This person who called has stated that Cisterra's Team is meeting with the Sierra Club to discuss some sort of ongoing payment for maintenance. Board will send position letter on Cisterra project. 3. Audit. Community Planning Groups need reform, according to the city. 4. More projects <ul style="list-style-type: none"> • Easement vacation BMR • Ceto residence 5. The golf course sold again. Purchased by Lennar. 6. Carmel Valley Sabre Springs. A 48 unit 4-story affordable housing unit is planned.
	Vice-Chair Report	<p>Jon Becker. jbecker@projectdesign.com</p> <p>Discussion about parking areas around transit areas. The market is driven by developers to put any parking.</p> <p>Certain kinds of projects are able to be proposed without parking.</p> <p>CPC: Review of the 12th update to the land development code. 2PM on Friday. 9485 Aero Drive.</p>
	Secretary Report	<p>Joseph Schmelzer. rppb.secretary@gmail.com</p> <p>No report</p>
9:30 PM	Standing Committee Reports	
	Land Use Committee	<p>Alex Plishner: alex.plishner@calatl.com</p> <p>Junipers project update was presented.</p> <p>No action was taken.</p> <p>Request from public for agendas to be more clear in the future.</p>

RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes



Wednesday, February 6, 2019 at 7:30 PM

Time	Item	Notes
		Clear description of what will be discussed and what actions will be discussed.
		There was a discussion about the Land use Committee time could be more efficiently managed.
	Wireless Communications Facilities	Joseph Schmelzer, Chair.
		No meeting
	Ad Hoc Committee Reports	
	Media Communications / Website	Brooke Whalen
		Nothing to report
	Liaison and Organization Reports	
	Black Mountain Open Space Park	Mike Shoecraft
		Nothing to report
	Community Funds	Thom Clark
		Nothing to report
	MCAS Miramar CLF	Stephen Egbert
		Nothing to report
	PQ Fire Safe Council	Mike Shoecraft
		Feb 21 st is the next meeting
	PQ Town Council	Jonathan Palinkas
		Meeting at Karlan at 730PM to discuss Farmer's Market, Father Daughter Dance Feb 15
		PQ Community fun run Saturday
		Fiesta is Cinco De Mayo (May 5) Theme of the Fiesta is modeled after SD Fair Wiz of Oz, There's No Place Like PQ
		Approved funding for Mt Carmel HS SAAD students against destructive decisions
		New banners coming up soon, SDCCU sponsor
	Motion to extend the meeting 10 minutes.	MSC: Thom Clark / Corey Buckner / 14/1/0/0



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, February 6, 2019 at 7:30 PM

Time	Item	Notes
		PASS
	PQ Recreation Council	Steve Leffler
		Nothing to report
	Los Peñasquitos Canyon Preserve CAC	Joseph Schmelzer
		Nothing to report
	Park Village LMAD	Jon Becker
		Site walk on Feb 14 to discuss Phase 1 plans by Rumex
	Peñasquitos East LMAD	Geoffrey Patrick
		Nothing to report
	Torrey Highlands LMAD	Sabrina Leitner
		Nothing to report
	Black Mountain Ranch South MAD	Brian Reschke
		Nothing to report
	Transportation Agencies	Corey Buckner
		<ul style="list-style-type: none"> - Lennar is going to do striping - Sink hole may take a week repair after they figure out the extent of the issues. - Suggestion: build a bridge over it.
9:45 PM	Adjournment	
Note:	<p>Motions are recorded as follows:</p> <p>Vote count F/A/B/R</p>	<p>“MSC” =</p> <p>M = Motion made by</p> <p>S = Motion seconded by</p> <p>C = Conclusion (or results)</p> <p>F = For</p> <p>A = Against</p> <p>B = Abstain</p> <p>R = Recuse</p> <p>Example: 12/2/1/1 means 12 for, 2 against, 1, abstain, 1 recuse</p>

Committee Meetings	
Land Use Committee	See notes
Wireless Facilities Meeting	See notes

Future Meetings	Will be held at the Hotel Karlan (Doubletree Resort), same room as board meeting, 14455 Peñasquitos Drive.
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RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, February 6, 2019 at 7:30 PM

	03/6/2019; 04/3/2019; 05/1/2019; 06/5/2019; 07/3/2019; 9/4/19; 10/2/2019; 11/6/2019; 12/4/2019
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	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	Ownership Disclosure Statement	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: _____ Project No. For City Use Only: 610554
 Project Address: _____

Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
 Name of Individual: VESTAR CALIFORNIA XXI, LLC Owner Tenant/Lessee Successor Agency
 Street Address: 2425 E. CAMELBACK ROAD, SUITE 750
 City: PHOENIX State: AZ Zip: 85016
 Phone No.: 602.846.0900 Fax No.: 602.956.9721 Email: DDUNCAN@VESTAR.COM
 Signature: _____ Date: 1-13-2018
 Additional pages Attached: Yes No

Handwritten note: may need to be updated based grant deed

Applicant
 Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: WA Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Other Financially Interested Persons
 Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: WA Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: 6/11/18
 Additional pages Attached: Yes No

This form is provided as a guide only. It does not constitute a contract. The City of San Diego is not responsible for the accuracy of the information provided. The City of San Diego reserves the right to modify this form without notice.

Attachment 9
Project Plans

24 Hour Fitness CUP/SDP
Project No. 610554
June 5, 2019



24 HOUR FITNESS CARMEL MOUNTAIN RANCH

14331 PENASQUITOS DRIVE
SAN DIEGO, CALIFORNIA

PROJECT TEAM:

OWNER

VESTAR CALIFORNIA XXI, LLC
2425 EAST CAMELBACK ROAD, SUITE 750
PHOENIX, AZ 85016
CONTACT: DANA DUNCAN
PHONE: (602) 866-0800
EMAIL: DDUNCAN@VESTAR.COM

APPLICANT/CONSULTANT

MACKENZIE
500 UNION STREET, SUITE 545
SEATTLE, WA 98101
CONTACT: MICHAEL CHEN
PHONE: (206) 749-9993
EMAIL: MCHEN@MCKNZE.COM

PROPERTY OWNER

VESTAR CALIFORNIA XXI, LLC
3405 KENYON STREET, SUITE 405
SAN DIEGO, CA 92110
PHONE: (619) 223-9400

TENANT

24 HOUR FITNESS
27921 LA PAZ ROAD, SUITE "B"
LAGUNA NIGUEL, CA 92677
CONTACT: MEDI MAYNECHI
PHONE: (949) 851-0024 X. 5276
EMAIL: MAYNECHI@24HOURFIT.COM

ENGINEER

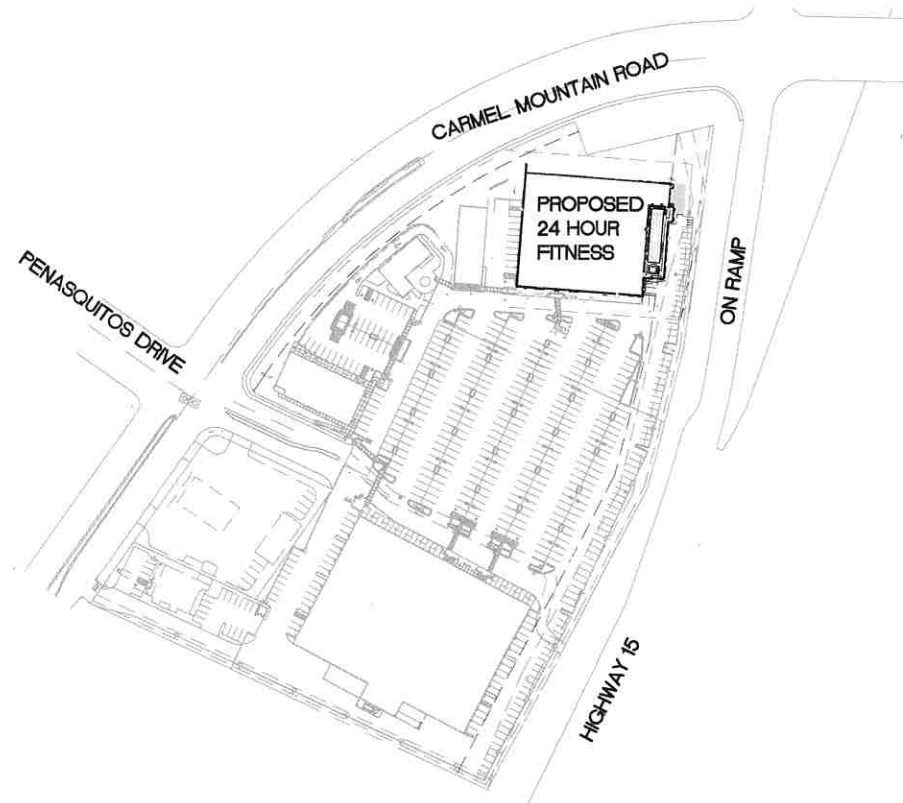
MACKENZIE
RIVEREAST CENTER
1515 SE WATER WAVE, SUITE 100
PORTLAND, OR 97214
CONTACT: GREG MINO
PHONE: (503) 224-9560
EMAIL: GMINO@MCKNZE.COM

ARCHITECT

MACKENZIE
RIVEREAST CENTER
1515 SE WATER WAVE, SUITE 100
PORTLAND, OR 97214
CONTACT: MIKE RUETER
PHONE: (503) 224-9560
EMAIL: MRUETER@MCKNZE.COM

TYPE OF CONSTRUCTION: TYPE V-B
OCCUPANCY CONSTRUCTION: A-3 (PROPOSED)
ZONING: CC-1-3 COMMERCIAL-COMMUNITY
GROSS SITE AREA: 171,626 SF
GROSS BUILDING FLOOR AREA: PER AREA SUMMARY TABLE AT UPPER RIGHT OF PAGE
EXISTING USE: VACANT OFFICE DEPOT
PROPOSED USE: 24 HOUR FITNESS
YEAR STRUCTURE CONSTRUCTED: 1998
GEOLOGIC HAZARD CATEGORY: CATEGORY 53: LEVEL OR SLOPING TERRAIN, UNFAVORABLE GEOLOGIC STRUCTURE, LOW TO MODERATE RISK
LANDSCAPE AREA SQUARE FOOTAGE: 0, NO NEW LANDSCAPE PROPOSED
LEGAL DESCRIPTION: PARCELS 2 AND 3 OF PARCEL MAP NO. 18099, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 28, 1999

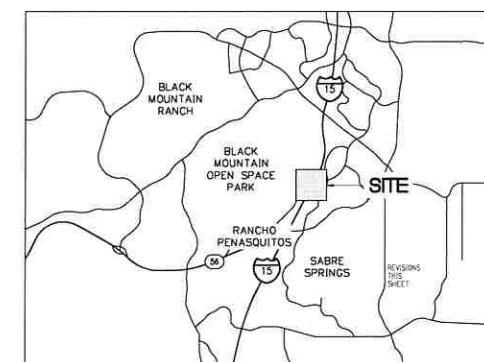
NOTE: ASSEMBLY USE REGULATIONS DEVIATION - 141.0602, EXCEED MAXIMUM OF 300 PEOPLE, HOURS OF OPERATION DEVIATION TO REMAIN OPEN BETWEEN 10:00PM AND 6:00AM, 7 DAYS A WEEK.



24-HR FITNESS AREA SCHEDULE			
ROOM NAME	AREA	OCCUPANT	TOTAL OCCUPANCY
A-2			
STUDIO 1	1524 SF	50	73
WORKOUT	17,600 SF	50	350
VESTIBULE	154 SF	50	4
STUDIO 2	913 SF	1	23
17,718 SF 455			
B			
RECEPTION	99 SF	7	13
FRONT DESK	210 SF	100	3
MEMBERSHIP SERVICES	395 SF	100	4
CLUB MANAGER	137 SF	100	2
SERVICE MANAGER	137 SF	100	2
ALL GENDER LOCKER	150 SF	100	2
TEAM MEMBERS	190 SF	100	2
TECH	135 SF	100	2
EXIT CORRIDOR	213 SF	50	2
STEAM	143 SF	15	10
SALINA	241 SF	15	10
WOMEN'S LOCKERS	2,112 SF	10	83
MEN'S LOCKERS	1,577 SF	50	35
6,995 SF 159			
M			
RETAIL	351 SF	60	4
351 SF 4			
S-1			
RETAIL STORAGE	135 SF	100	3
POOL EQUIPMENT	534 SF	200	2
ELECTRICAL	80 SF	100	2
STEAM GEN	43 SF	100	2
HANTOR	136 SF	100	2
TILED	62 SF	300	1
ELECTRICAL	77 SF	100	1
880 SF 8			
TOTAL 29,445 SF 608			
OUTDOOR AREAS**			
A-3			
SKIM	140 SF	10	14
POOL	1,825 SF	10	65
POOL DECK	1,472 SF	15	79
3,438 SF 205			
TOTAL 3,438 SF 205			

SHEET INDEX

- G0.00 COVER SHEET
- C0.01 CIVIL NOTES
- C1.02 DEMOLITION PLAN
- C1.10 SITE PLAN
- C1.11 ENLARGED SITE PLAN
- C1.20 GRADING PLAN
- C1.21 GRADING SECTIONS
- C1.30 UTILITY PLAN
- A2.10 FLOOR PLAN
- A2.12 ROOF PLAN
- A3.10 BUILDING ELEVATIONS
- A3.11 SITE ELEVATION



1 SITE PLAN
00.00 NTS



Know what's below.
Call before you dig.

PROJECT DESCRIPTION

CUP APPROVAL IS REQUESTED IN CONJUNCTION WITH REMODEL AND CHANGE OF USE FOR THE 30,066 SF OFFICE SUPPLY STORE (CURRENTLY VACANT) INTO A 24-HOUR FITNESS CLUB. IMPROVEMENTS ARE LIMITED TO TENANT IMPROVEMENT WORK AND THE ADDITION OF AN OUTDOOR POOL AND SPA.

DATUM NOTE

THIS PROJECT IS BASED ON THE HORIZONTAL AND VERTICAL COORDINATES OBTAINED FROM THE SURVEY PREPARED BY GLOBAL GEO-ENGINEERING ON AUGUST 20, 2018 WHICH ASSIGNED THE 24-HOUR FITNESS BUILDING FINISHED FLOOR AT 100.62' AND THE BEARING OF THE SOUTH WALL TO BE N41°16'42"E. A MAG NAIL HAS BEEN SET FLUSH IN THE ASPHALT NEAR THE SOUTHEAST CORNER OF THE ABANDONED OFFICE DEPOT BUILDING TO DEMARCATTE THE 100.00 ELEVATION.

2 REGION VICINITY MAP
00.00 NTS



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REVISIONS:

NO.	REVISION	REVISION DATE	CLOSING DATE
1	REVISED		
2	REVISED		
3	REVISED		

SHEET TITLE:
COVER SHEET

DRAWN BY: BMR

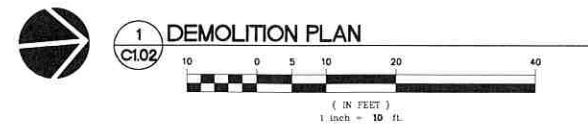
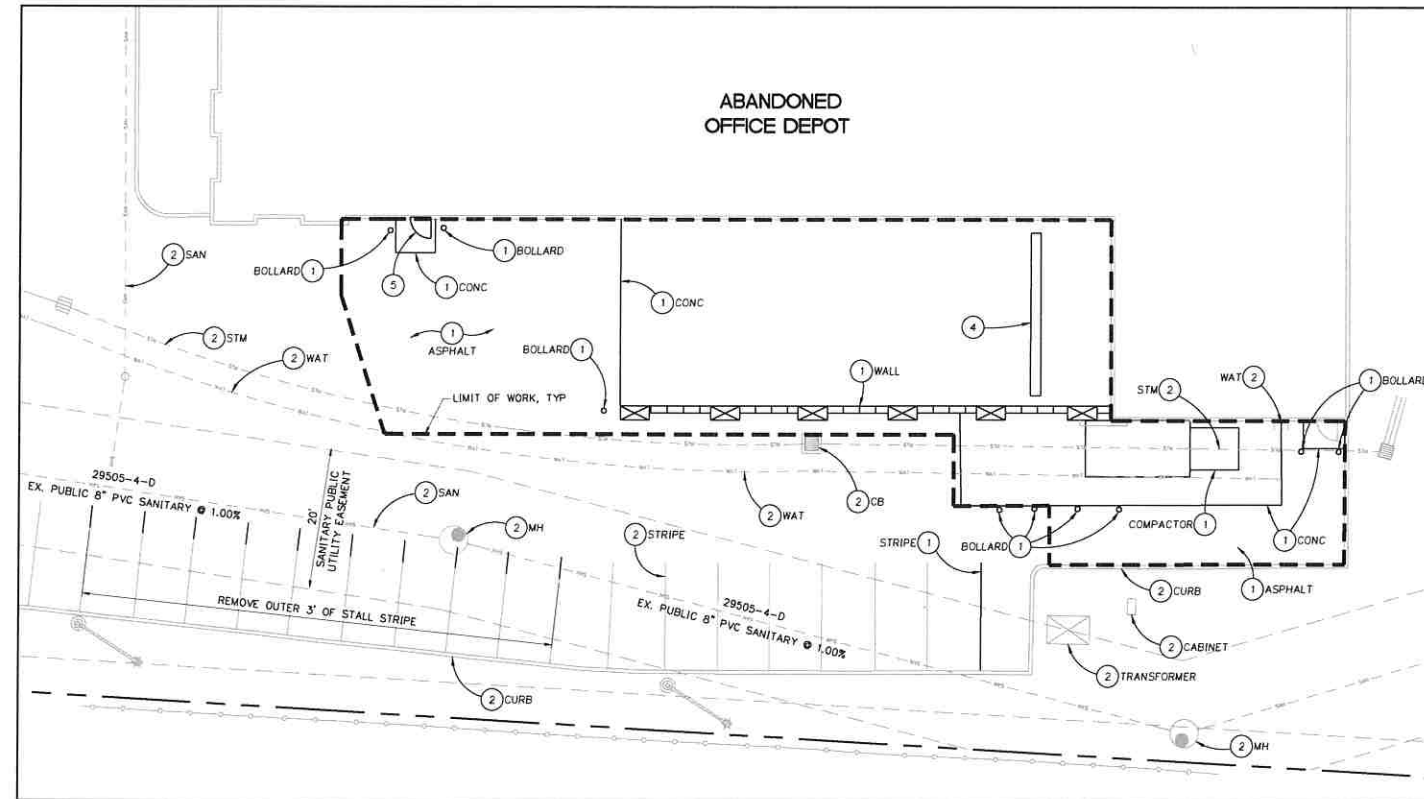
CHECKED BY: GIM

SHEET

G0.00

JOB NO. 2170228.00

CUP REVISIONS 01/31/19



KEYNOTES

1. REMOVE ITEM
2. PROTECT ITEM
3. REMOVE POLE AND ATTACHED SIGN. RELOCATE POLE AND SIGN OUT OF ACCESSIBLE PATH OF TRAVEL
4. REMOVE TRENCH DRAIN AND PIPE. CAP PIPE AT MAINLINE
5. EXISTING EXTERIOR DOOR TO BE WELDED SHUT PER ARCH PLANS

LEGEND

PROPERTY LINE	---
EASEMENT LINE	- - - -
STORM SEWER LINE	---
SANITARY SEWER LINE	---
MANHOLE	⊙
CATCH BASIN	⊙
FIRE HYDRANT ASSEMBLY	⊙
WATER LINE	---
LIMIT OF WORK	- - - -
SITE LIGHT	⊙

POOL AREA PER SEPARATE PERMIT

NOTE:
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REVISIONS:

NO.	REVISIONS	REVISION DELTA	CLOSING DATE

SHEET TITLE:
**DEMOLITION
PLAN**

DRAWN BY: BMR
CHECKED BY: GIM
SHEET

C1.02

JOB NO. 2170228.00



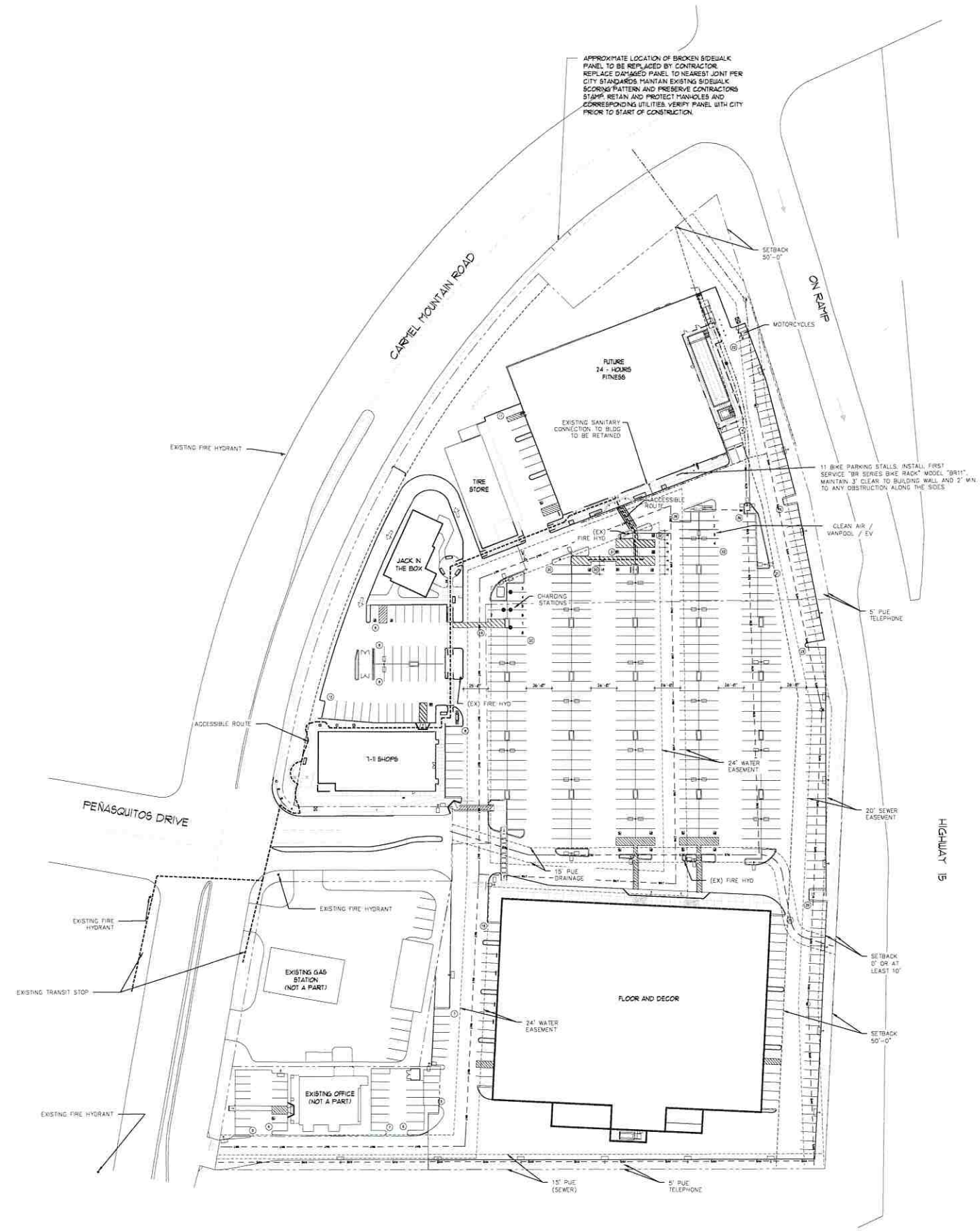
**PENASQUITOS VILLAGE
 PATH OF TRAVEL REPAIRS**
 CARMEL MOUNTAIN ROAD AND PENASQUITOS DRIVE
 SAN DIEGO, CA 92128

CUP SUBMITTAL: 06/13/2018
 CUP REVISIONS: 01/16/2019

ENR: JMC
 JLL 2170228.03

SITE PLAN

C1.10



Rancho Penasquitos Parking Calculation

Building	Use	Gross Building Area	Parking Required
Floor & Decor	Retail Sales	57,540 sq. ft.	288 spaces
24-Hour Fitness	Assembly & Entertainment	30,000 sq. ft.	150 spaces
Winston Tire	Automotive Retail Sales	4,400 sq. ft.	22 spaces
Jack in the Box	Restaurant (Drive Thru)	3,045 sq. ft.	15 spaces
Shop Building	Retail Sales/Commercial Services	7,082 sq. ft.	35 spaces
Totals		102,155 sq. ft.	511 spaces

Per SDMC Table 142.05E Mixed Use Development 5.0 spaces per 1,000 sq. ft. GSF required

Existing Parking Stalls	520 spaces
Parking Required	511 spaces
Parking Provided	511 spaces

24-hour Fitness Requirements

Parking Required for 24-hour Fitness (5 spaces per 1,000 GSF)	150 spaces
Carpool/Vanpool/Electric Vehicle/Zero Emissions Vehicles *Per SDMC Section 142.05B(4)(1)B(i)(vi) for 101-150 spaces - 11 spaces req'd	11 EV/Vanpool Spaces*
EV Charging Stations (Per 2016 Green Standards Table 5.106.5.3.3)	7 EV charging stations
Calculate Clean Air/Vanpool/EV Spaces (Eleven (11) EV stations required - Seven (7) Charging Stations)	4 Clean Air/Vanpool/EV Spaces
Motorcycle Parking Required (2% or 2 - whichever greater) (SDMC Section 142.0530(g))	3 motorcycle spaces

Office / Retail Building Parking Calculation

Building	Use	Gross Building Area	Parking Required
Office/Retail	Office/Retail	6,400 sq. ft.	32 spaces

Per SDMC Table 142.05E Mixed Use Development 5.0 spaces per 1,000 sq. ft. GSF required

Parking Required	32 spaces
Parking Provided	32 spaces

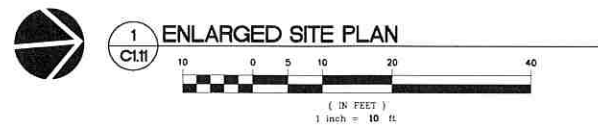
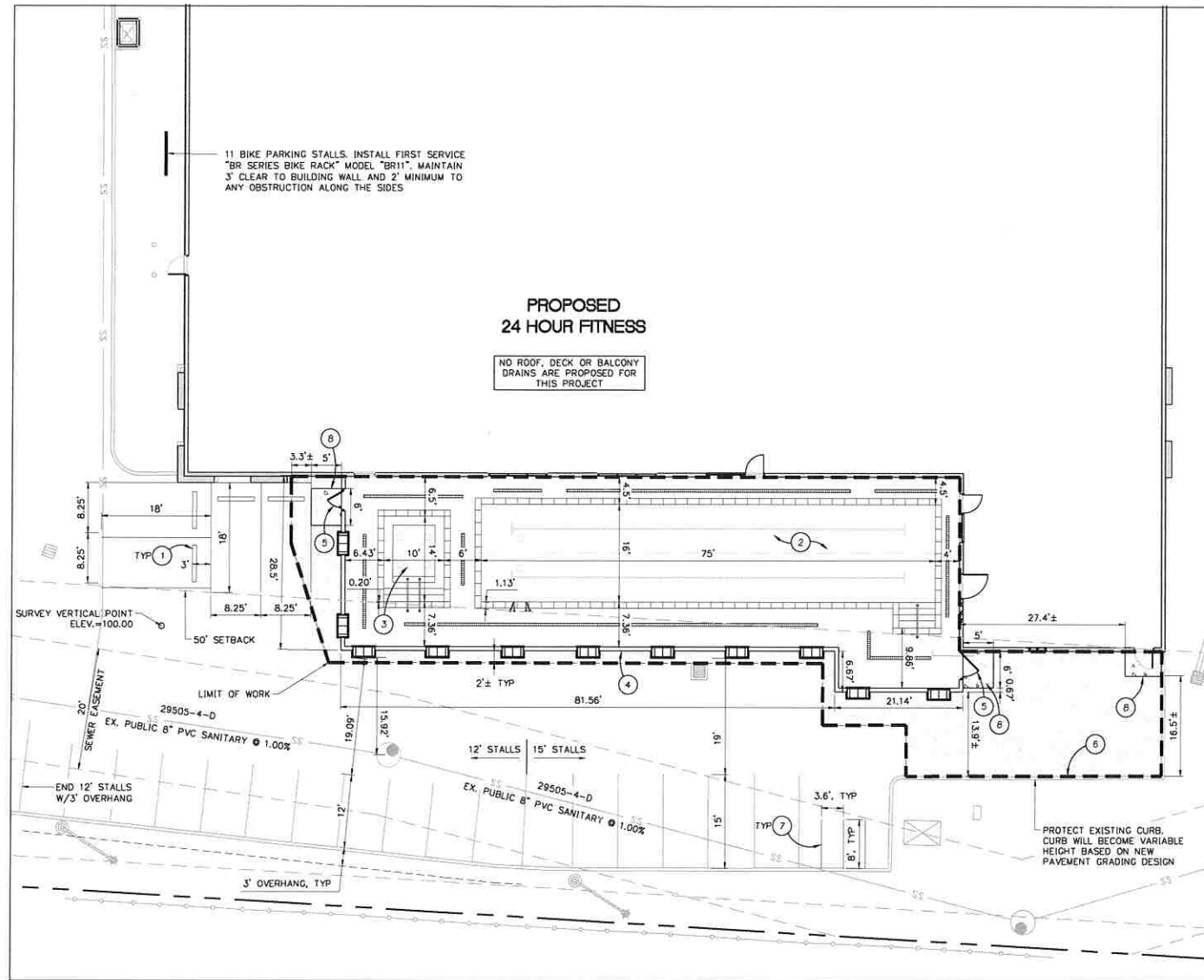
PARKING CALCULATIONS

OVERALL SITE PLAN- KEY PLAN

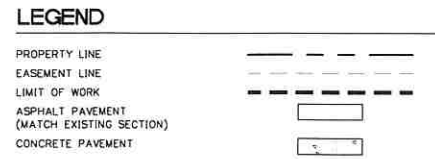
SCALE = 1" = 50'-0"

NORTH

CUP REVISIONS 03/14/19



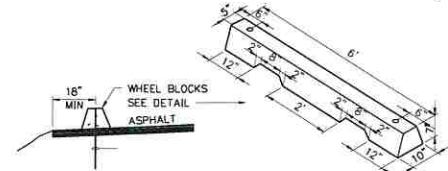
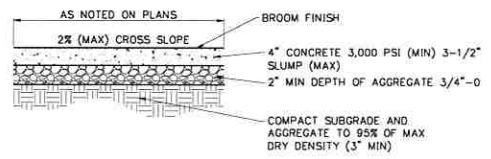
- KEYNOTES**
1. CURB STOP PER 3/C1.11
 2. POOL PER SEPARATE PERMIT
 3. SPA PER SEPARATE PERMIT
 4. CMU WALL WITH FENCE. SEE C1.20 FOR GRADING DEFINING RETAINED HEIGHTS. SEE ARCHITECTURAL PLANS FOR WALL AND FENCE DETAILS
 5. FENCE GATE. SEE ARCHITECTURAL DETAILS
 6. PAINT CURB RED. IN WHITE LETTERING PAINT "FIRE LANE" TO THE SATISFACTION OF THE CITY INSPECTOR
 7. 4" WHITE STRIPING PER SPECS
 8. CONCRETE LANDING PER DETAIL 2/C1.11. CROSS SLOPE TO BE 2% MAX



POOL AREA PER SEPARATE PERMIT

NOTE:
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NEW/REPLACED IMPERVIOUS SURFACE = 4,288 SF



2 CONCRETE LANDING
N.T.S.

3 PRECAST CURB STOP
N.T.S.



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REVISIONS:

NO.	REVISIONS	REVISION DELTA	CLOSING DATE

SHEET TITLE:
**ENLARGED
SITE PLAN**

DRAWN BY: BMR
CHECKED BY: GJM
SHEET

C1.11



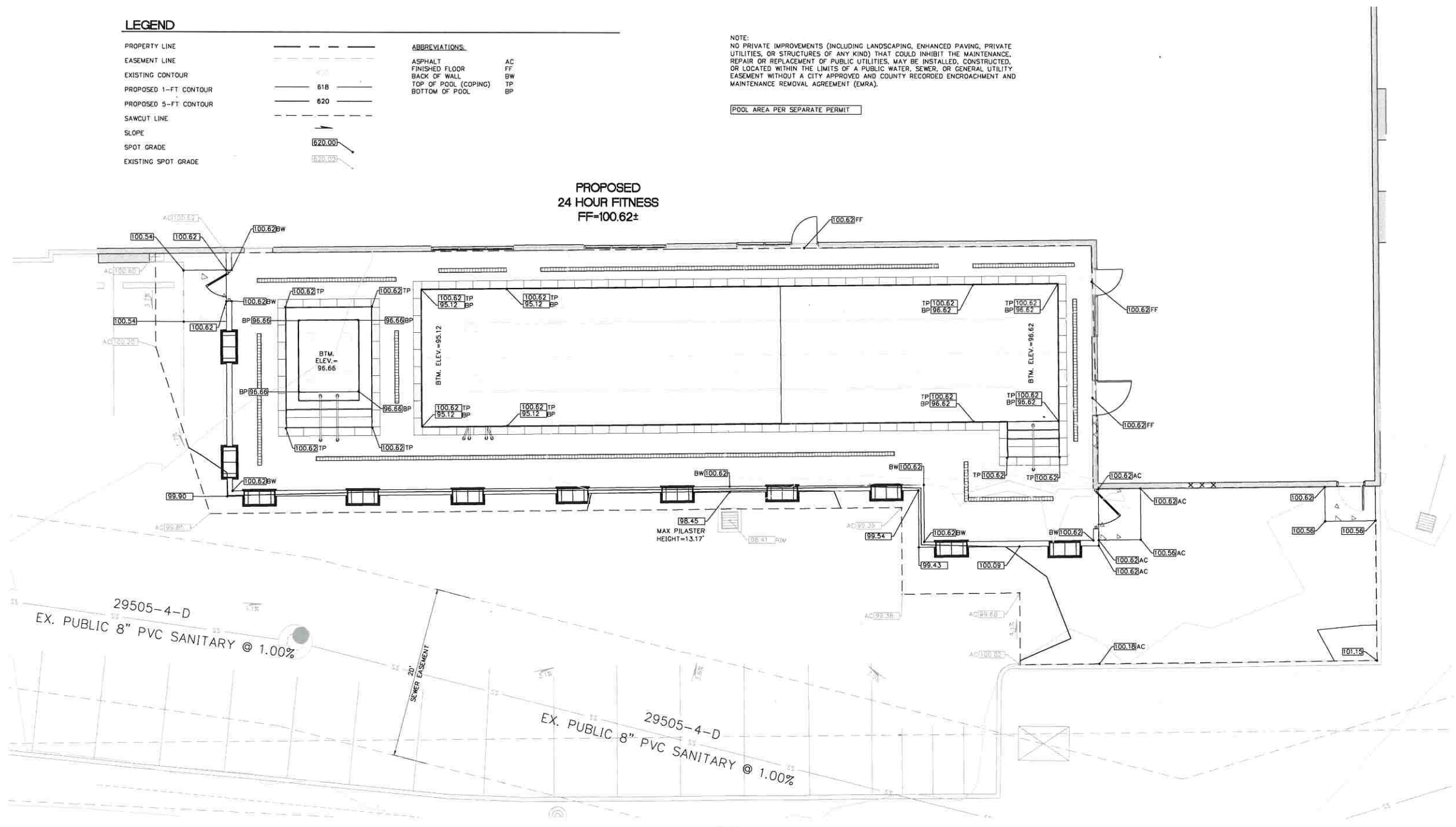
LEGEND

PROPERTY LINE		ABBREVIATIONS	
EASEMENT LINE		ASPHALT	AC
EXISTING CONTOUR		FINISHED FLOOR	FF
PROPOSED 1-FT CONTOUR		BACK OF WALL	BW
PROPOSED 5-FT CONTOUR		TOP OF POOL (COPING)	TP
SAWCUT LINE		BOTTOM OF POOL	BP
SLOPE			
SPOT GRADE			
EXISTING SPOT GRADE			

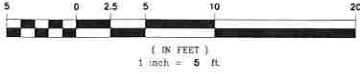
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POOL AREA PER SEPARATE PERMIT

**PROPOSED
24 HOUR FITNESS
FF=100.62±**



1 GRADING PLAN
SCALE: 1"=5'



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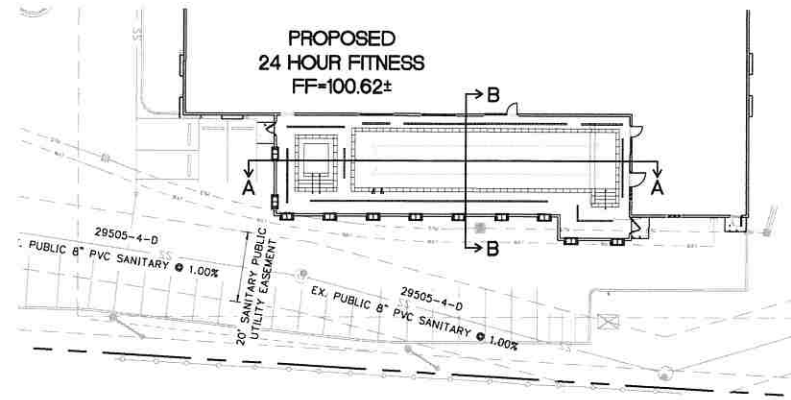
REVISIONS:

NO.	REVISIONS	REVISION DATE	CLOSING DATE

SHEET TITLE:
GRADING PLAN

DRAWN BY: BMR
CHECKED BY: GIM
SHEET

C1.20

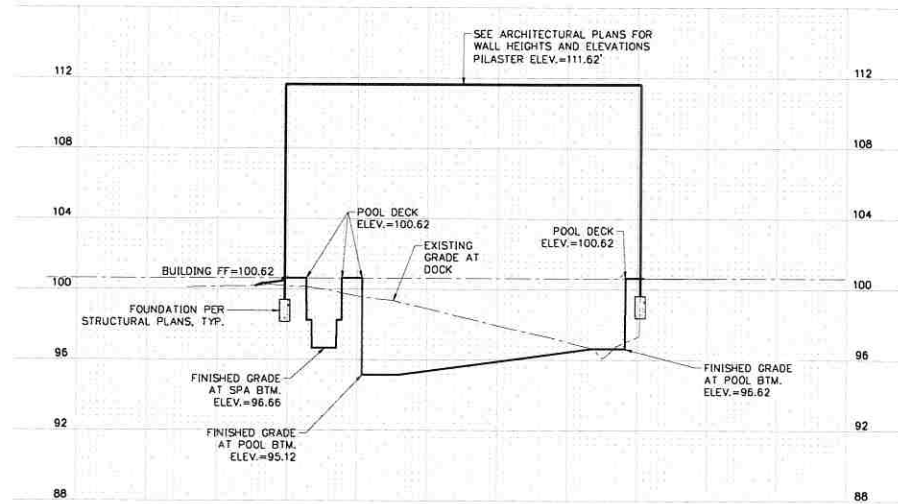


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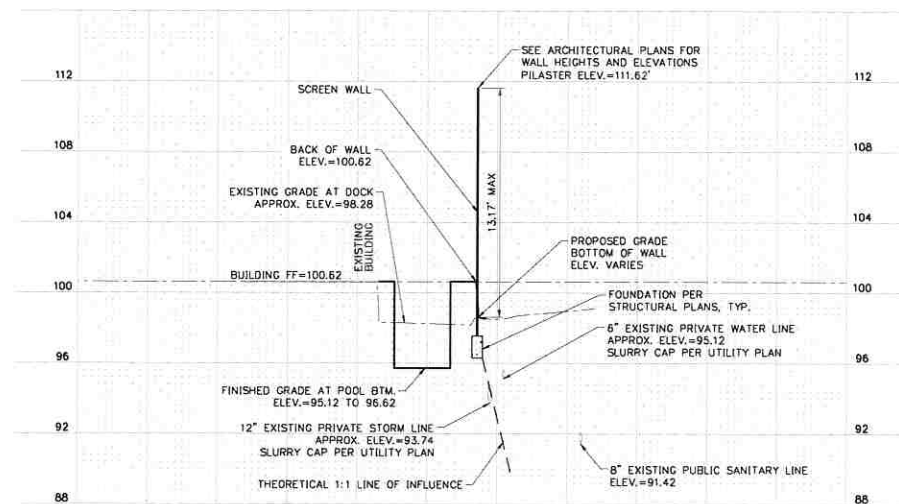
111 CY CUT
 95 CY FILL
 16 CY EXPORT

POOL AREA PER SEPARATE PERMIT

1 VICINITY MAP
 SCALE: 1"=20'



2 PROFILE A - POOL AND SPA
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



3 PROFILE B - POOL
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



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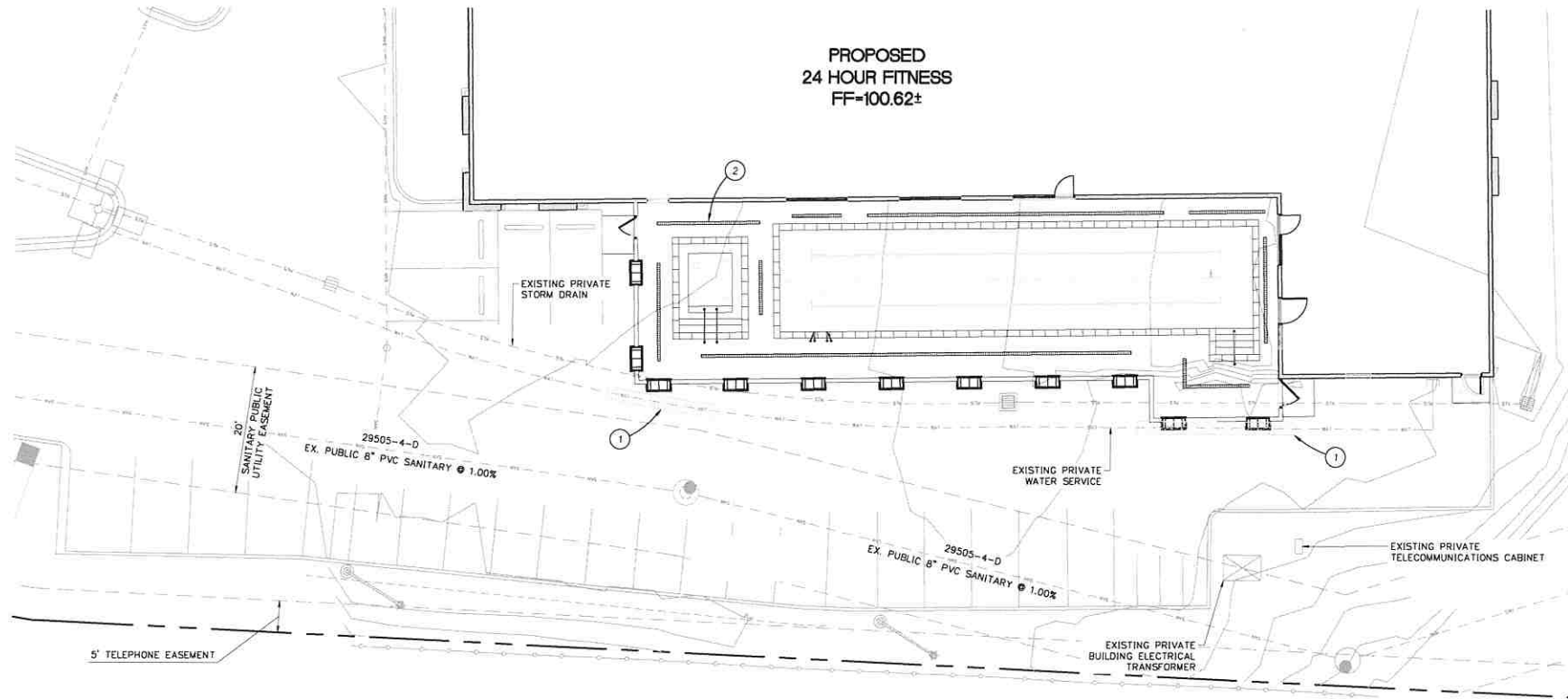
NO.	REVISIONS	REVISION DATE
1	ISSUE FOR PERMIT	03/14/19
2	ISSUE FOR PERMIT	03/14/19
3	ISSUE FOR PERMIT	03/14/19
4	ISSUE FOR PERMIT	03/14/19
5	ISSUE FOR PERMIT	03/14/19
6	ISSUE FOR PERMIT	03/14/19
7	ISSUE FOR PERMIT	03/14/19
8	ISSUE FOR PERMIT	03/14/19

SHEET TITLE:
**GRADING
 SECTIONS**

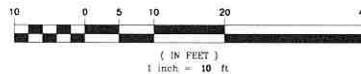
DRAWN BY: BUR
 CHECKED BY: GIM
 SHEET

C1.21

JOB NO. 2170228.00



1 UTILITY PLAN
C130 SCALE: 1"=10'



KEYNOTES

- CONTROLLED DENSITY FILL CAP TO 5 FEET ON EITHER SIDE OF NEW POOL AREA. CAP TO BE 6 INCH MINIMUM THICK AND EXTEND 12 INCHES ON EITHER SIDE OF UTILITY
- CONNECT POOL AREA DRAINAGE SYSTEM TO BUILDING SANITARY SYSTEM (NO DISCHARGE TO STORM SYSTEM). SEE PLUMBING PLANS FOR FURTHER INFORMATION ON DECK DRAINAGE.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
STORM SEWER LINE	---	---
SANITARY SEWER LINE	---	---
MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
FIRE HYDRANT ASSEMBLY	⊙	⊙
WATER LINE	---	---

UTILITY NOTES

- CONTRACTOR TO POTHOLE VERIFY THE EXISTING STORM AND WATER LINES WITHIN LIMITS OF WORK PRIOR TO CONSTRUCTION. IF EXISTING LINES CAN BE PROTECTED AND ARE FOUND TO BE OUTSIDE OF THE THEORETICAL 1:1 LINE OF INFLUENCE FROM THE POOL, WALL FOOTINGS, OR ANY OTHER STRUCTURES, THE LINES MAY REMAIN IN PLACE. IF EXISTING LINES CAN BE PROTECTED BUT ARE WITHIN THE THEORETICAL 1:1 LINE OF INFLUENCE, CONTINUE THE GDF CAP THROUGHOUT THE LIMITS OF WHERE THE LOADING INFLUENCE OCCURS. IN NO CASE SHALL THE NEW CONSTRUCTION BE WITHIN 12 INCHES OF THE EXISTING LINES.
- CONTRACTOR TO IDENTIFY ANY EXISTING BUILDING DOWNSPOUTS THAT MAY BE IN CONFLICT WITH PROPOSED CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF THEIR LOCATIONS.
- NO PRIVATE IMPROVEMENTS (INCLUDING LANDSCAPING, ENHANCED PAVING, PRIVATE UTILITIES, OR STRUCTURES OF ANY KIND) THAT COULD INHIBIT THE MAINTENANCE, REPAIR OR REPLACEMENT OF PUBLIC UTILITIES, MAY BE INSTALLED, CONSTRUCTED, OR LOCATED WITHIN THE LIMITS OF A PUBLIC WATER, SEWER, OR GENERAL UTILITY EASEMENT WITHOUT A CITY APPROVED AND COUNTY RECORDED ENCROACHMENT AND MAINTENANCE REMOVAL AGREEMENT (EMRA).

POOL AREA PER SEPARATE PERMIT



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REVISIONS:

NO.	REVISIONS	REVISION DATE	CLOSING DATE
1	ISSUED FOR PERMIT	03/14/19	

SHEET TITLE:
UTILITY PLAN

DRAWN BY: BMR
CHECKED BY: GIM
SHEET

C1.30

JOB NO. 2170228.00



Project
**24 HOUR FITNESS
CARMEL MOUNTAIN
RANCH**
14331 Penasquitos Dr.
San Diego, CA 92129

STRUCTURAL
GRIMM + CHEN STRUCT. ENG.
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ELECTRICAL
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Revision Schedule	
Revision Delta	Issue Date

SHEET TITLE
FLOOR PLAN

DRAWN BY: AAK / AJY

CHECKED BY: WHM / MJR

SHEET

A2.10

LEGEND - FLOOR PLAN

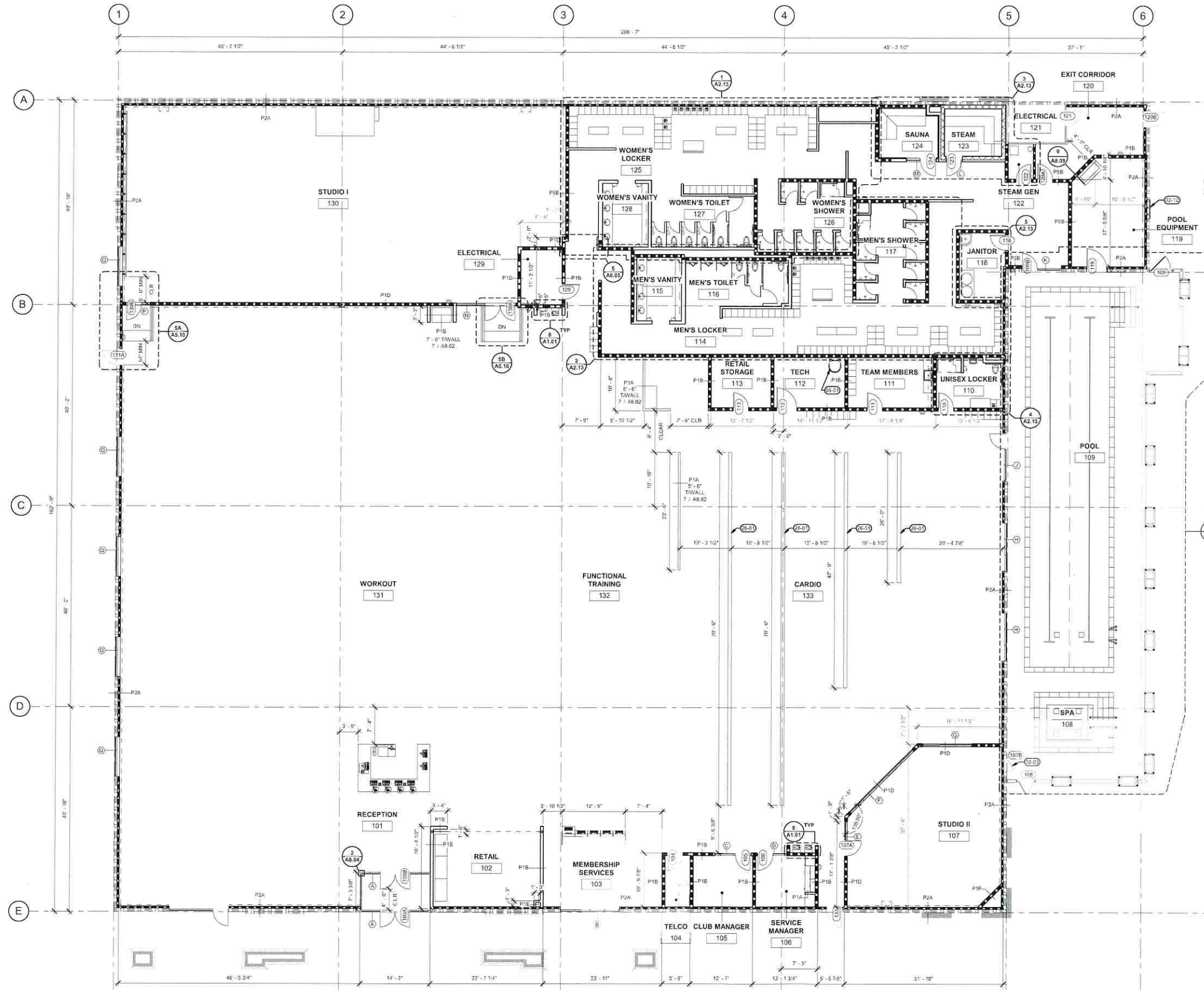
- EXISTING WALL TO REMAIN
- EXISTING 2-HR RATED WALL TO REMAIN
SEE SHEET T2.21 FOR UL ASSEMBLY INFORMATION
- FULL HEIGHT 1-HR RATED WALL. SEE
DETAIL SAJ.02 FOR HEAD AND SILL
CONDITIONS U.N.C. DETAILS 10 &
11A.02 FOR SHAFT WALLS AND T2.20
FOR UL ASSEMBLIES
- FULL HEIGHT NON-RATED WALL. SEE
DETAIL JAB.02 & JAB.02 FOR HEAD
CONDITION AT ROOF DECK. SEE DETAIL
1A.02 FOR SILL CONDITION, U.N.C.
- THROUGH GRID WALL. SEE DETAIL SAJ.02
FOR HEAD CONDITION. SEE DETAIL 1A.02
FOR SILL CONDITION, U.N.C.
- WALL TYPE PER DETAILS ON SHEET AB.01
- WINDOW TYPE - SEE SHEET A1.03
- RECESSED SLAB TRANSITION LOCATION
- ROOF DRAIN
- MIRROR, SEE 5A.06

GENERAL NOTES - FLOOR PLAN

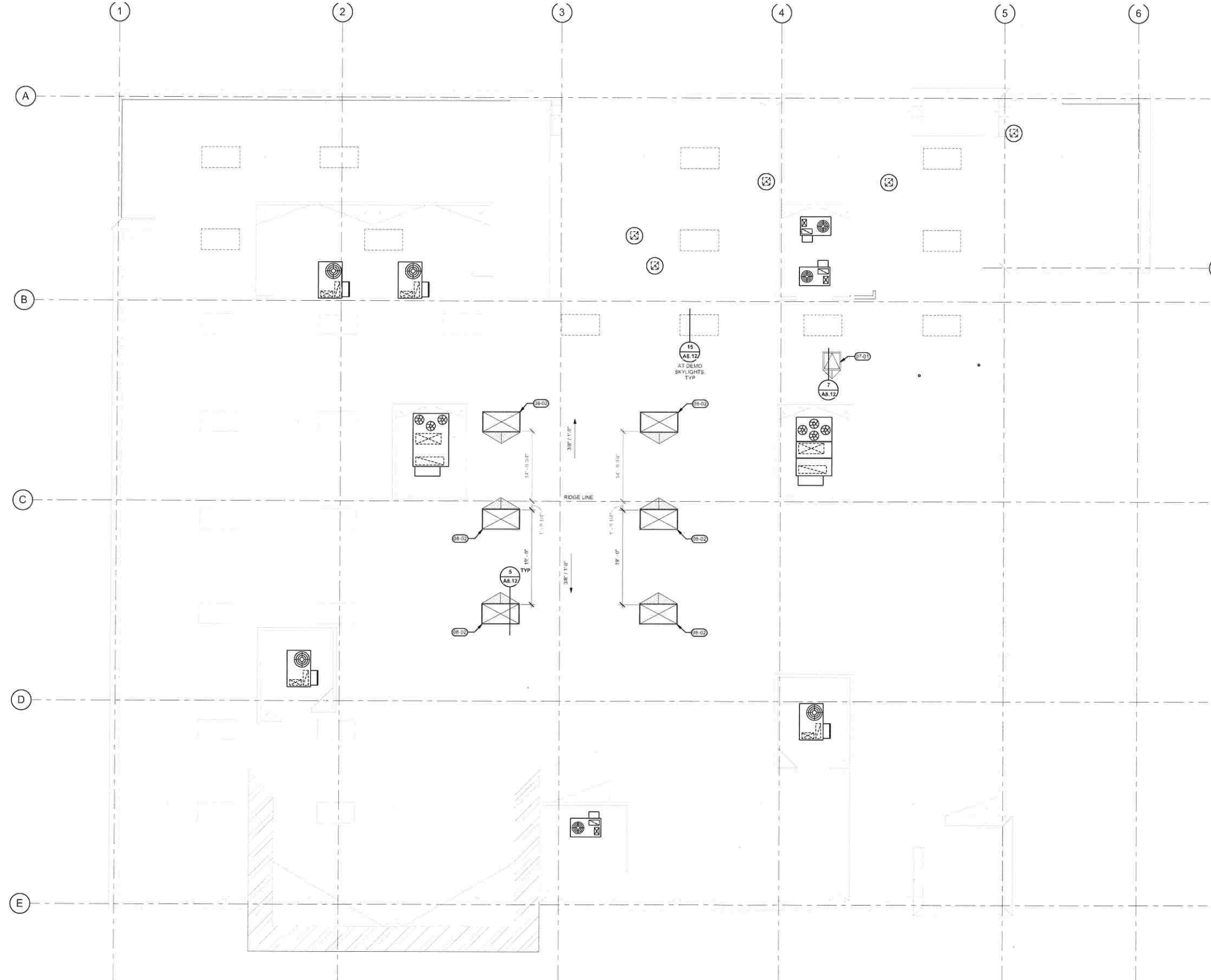
- A. VERIFY & CONFIRM ALL DIMENSIONS & CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- B. PATCH & REPAIR EXISTING WORK DAMAGED DURING CONSTRUCTION TO NEW CONDITION.
- C. THIS SCOPE OF WORK IS FOR TENANT MODIFICATION & OCCUPANCY ONLY.
- D. SEE SHEETS T3.10, T3.11 & T3.12 FOR PRODUCT & MATERIAL SPECIFICATIONS.
- E. SEE SHEET A1.01 FOR ACCESSIBILITY DETAILS & MOUNTING HEIGHTS.
- F. DOORS NOT DIMENSIONED ARE TO BE 4" FROM FACE OF WALL TO FACE OF JAMB.
- G. DETAIL & KEYNOTE REFERENCES SHOULD BE APPLIED TO ALL INSTANCES WHERE THE SAME INSTANCE OCCURS.
- H. ALL WET AREA WALLS TO SIT ON CONCRETE CURB. SEE ENLARGED PLANS AND FINISH PLANS.
- I. REFER TO ENLARGED PLANS WHERE INDICATED FOR ADDITIONAL INFORMATION.
- J. ALL OUTSIDE CORNERS OF KID'S CLUB WALLS TO HAVE BULLNOSE EDGES.
- K. ONE DRINKING FOUNTAIN TO BE MOUNTED AT ADA HEIGHT, U.N.C. SEE 1A.01 FOR HEIGHT.
- L. ALIGN NEW WALLS WITH EXISTING BUILDING SHELL WALLS WHERE OCCURS, U.N.C.
- M. DIMENSIONS TO FACE OF STUD. U.N.C.
- N. CLEAR DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS TO DETERMINE SIZES. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO START OF WORK.
- O. COORDINATE WITH BUILDING SHELL DOCUMENTS AS REQUIRED FOR SHELL CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- P. REFER TO SHEET A1.03 AND INTERIOR ELEVATIONS FOR STOREFRONT INFORMATION.
- Q. REFER TO 2A.06 FOR TYPICAL DOOR JAMB DETAIL.
- R. REFER TO 1.2.3.A&B.09 FOR TYPICAL SLAB DETAILS.
- S. REFER TO INTERIOR ELEVATIONS AND DETAILS FOR FURTHER CABEWORX INFORMATION.
- T. SEE DETAIL 16A1.01 FOR ACCESSIBLE SIGNAGE REQUIREMENTS.
- U. SEE DETAIL 16A1.01 FOR ACCESSIBLE CLEAR FLOOR SPACE AND REACH REQUIREMENTS.
- V. THERE WILL BE A MAXIMUM OF (10) 24 HOUR FITNESS EMPLOYEES PER SHIFT.

KEYNOTES








- 02-03. EXISTING DOOR TO BE WELDED SHUT. SEE DOOR SCHEDULE ON SHEET A1.02.
- 02-12. REMOVE EXISTING TRASH CHUTE AND N/FILL TO MATCH EXISTING CMU WALL. SEE DETAIL 11A.03 FOR FURTHER INFO.
- 05-01. ROOF ACCESS LADDER TO ROOF HATCH. SEE DETAIL 6A.12.
- 26-01. ELECTRICAL RACEWAY FOR EXERCISE EQUIPMENT. COORDINATE WITH EQUIPMENT PLANS AND ELECTRICAL DRAWINGS. VERIFY EQUIPMENT LAYOUT PRIOR TO CURB FABRICATION.



FLOOR PLAN
1/8" = 1'-0"



LEGEND - ROOF PLAN

-  NEW SKYLIGHT
-  EXISTING SKYLIGHT
-  EXISTING SKYLIGHT TO BE DEMOLISHED
-  EXISTING ROOF DRAIN TO REMAIN
-  EXHAUST FAN
-  NEW CRICKET
-  NEW ROOF HATCH

GENERAL NOTES - ROOF PLAN

- A. VERIFY & CONFIRM ALL DIMENSIONS & CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- B. PATCH & REPAIR EXISTING WORK DAMAGED DURING CONSTRUCTION TO NEW CONDITION. MATCH EXISTING MATERIALS & FINISHES AS OCCURS.
- C. DETAIL AND KEYNOTE REFERENCES SHOULD BE APPLIED AT ALL INSTANCES WHERE SAME CONDITION OCCURS.
- D. DO NOT SCALE DRAWING TO DETERMINE SIZES OR DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- E. GRID LINES INDICATE CENTERLINE OF COLUMN OR FACE OF WALL, UNLESS NOTED OTHERWISE.
- F. DIMENSIONS ARE GIVEN TO COLUMN LINES, FACE OF WALL AND TO ROUGH OPENINGS UNLESS NOTED OTHERWISE.
- G. ALL ELEVATIONS ARE RELATIVE TO 0'-0" FINISH FLOOR.
- H. ROOFTOP EQUIPMENT SHOWN FOR REFERENCE. VERIFY SIZE AND LOCATION OF CURBS FOR UNITS WITH MECHANICAL ENGINEER. COORDINATE WITH STRUCTURAL.
- I. MAINTAIN 1/4" FT MINIMUM ROOF SLOPE. PROVIDE 1/2" FT SLOPE AT ALL CRICKETS.
- J. PLACE CRICKETS ON HIGH SIDE OF ALL ROOF HATCHES AND HVAC CURBS.
- K. SEE DETAIL 308-13 FOR TYPICAL ROOFTOP PIPE PENETRATION.

KEYNOTES



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Planning Engineering

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Seattle, WA
206.444.0941
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MACKENZIE



Project
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RANCH**
14331 Penasquitos Dr.
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Revision Schedule	
Revision Delta	Issue Date

SHEET TITLE:
ROOF PLAN

DRAWN BY: AAK / AJY
CHECKED BY: WHM / MJR
SHEET

A2.12

1 ROOF PLAN
A2.12 1/8" = 1'-0"



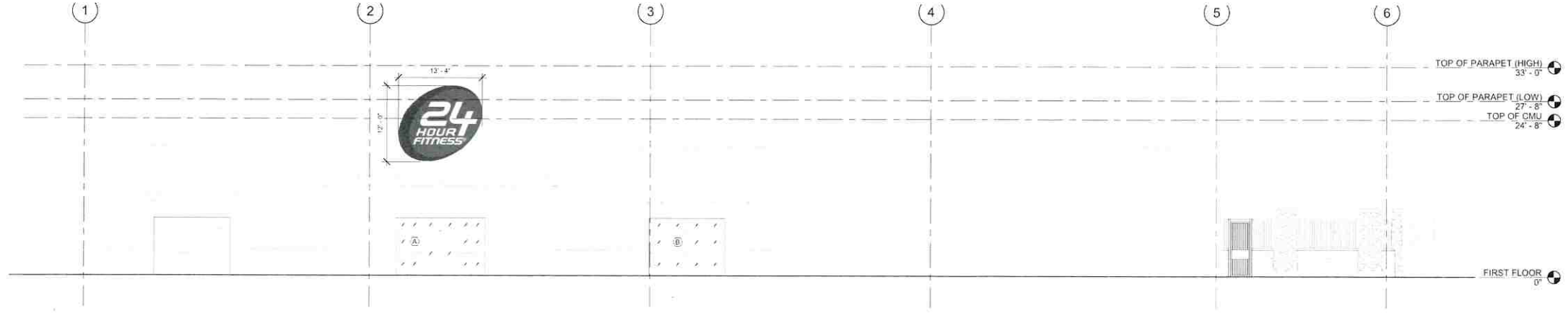
Architecture Interiors
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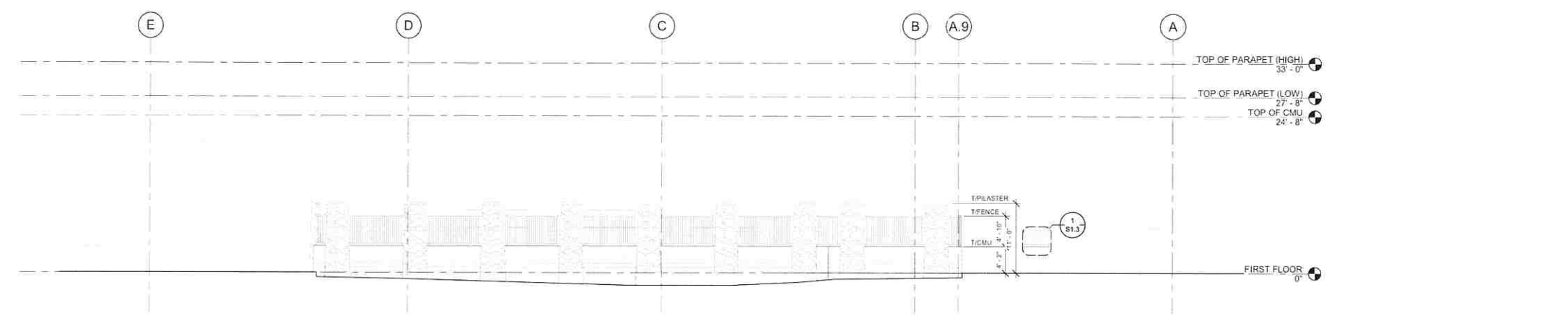
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GENERAL NOTES

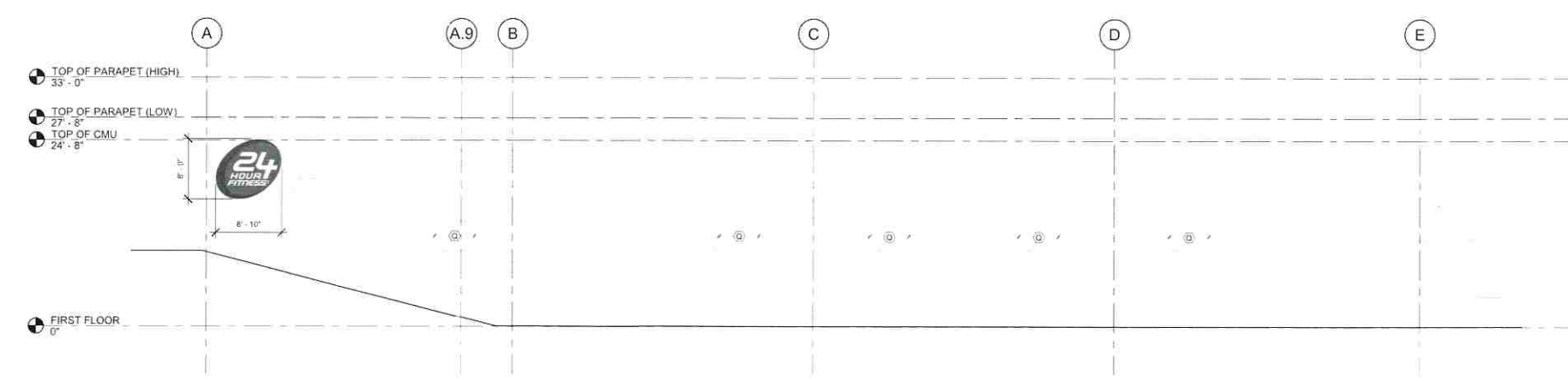
- A. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF DEMOLITION.
- B. DRAWINGS DO NOT MAKE ASSUMPTIONS REGARDING THE PRESENCE OF HAZARDOUS MATERIALS. CONTRACTOR SHALL PERFORM REQUIRED INVESTIGATION, REMEDIATION, OR REMOVAL OF HAZARDOUS MATERIALS.
- C. MAINTAIN SPRINKLER SYSTEM, ELECTRICAL POWER, NATURAL GAS, HVAC, DOMESTIC WATER & OTHER UTILITIES IN OPERATING ORDER DURING DEMOLITION OPERATION. COORD. WITH UTILITY PROVIDERS AS REQUIRED.
- D. PATCH AND REPAIR ALL EXISTING WORK TO REMAIN THAT HAS BEEN DAMAGED BY DEMOLITION OPERATIONS TO NEW CONDITION UNLESS NOTED OTHERWISE.
- E. DETAIL AND KEYNOTE REFERENCES SHOULD BE APPLIED AT ALL INSTANCES WHERE SAME CONDITION OCCURS.
- F. DO NOT SCALE DRAWING TO DETERMINE SIZES OR DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- G. ALL EXISTING STOREFRONT TO REMAIN (I.N.O.)
- H. ALL EXISTING EXTERIOR DOORS TO REMAIN (I.N.O.)
- I. SEE SHEET A1.03 FOR STOREFRONT DIMENSIONS AND DETAILS.
- J. SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT AND IS SHOWN FOR REFERENCE ONLY.



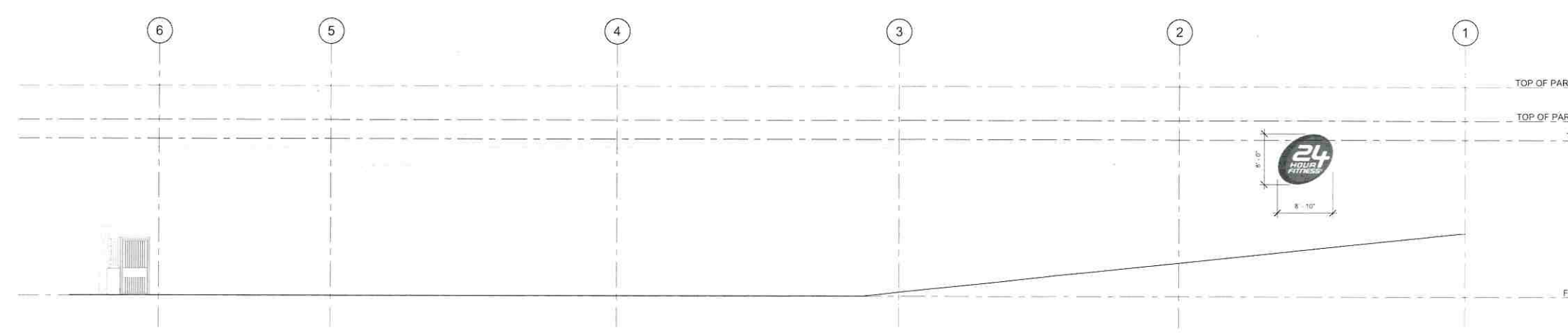
1 SOUTH ELEVATION
A3.10 1/8" = 1'-0"



2 EAST ELEVATION
A3.10 1/8" = 1'-0"



3 WEST ELEVATION
A3.10 1/8" = 1'-0"



4 NORTH ELEVATION
A3.10 1/8" = 1'-0"

Project
**24 HOUR FITNESS
CARMEL MOUNTAIN
RANCH**
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San Diego, CA 92129

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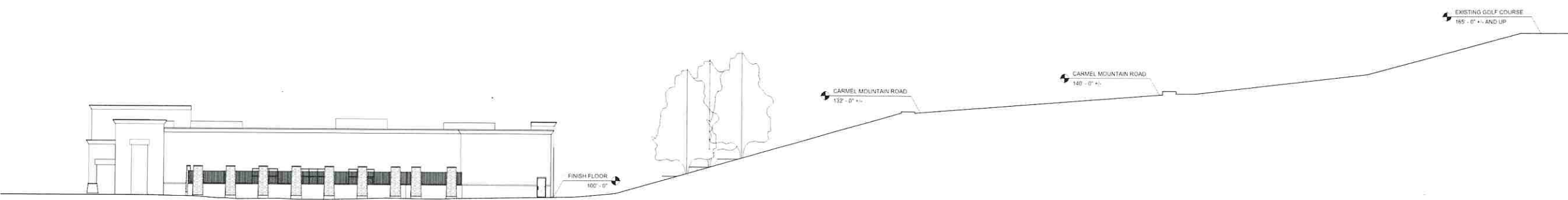
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Revision Schedule	
Revision Delta	Issue Date

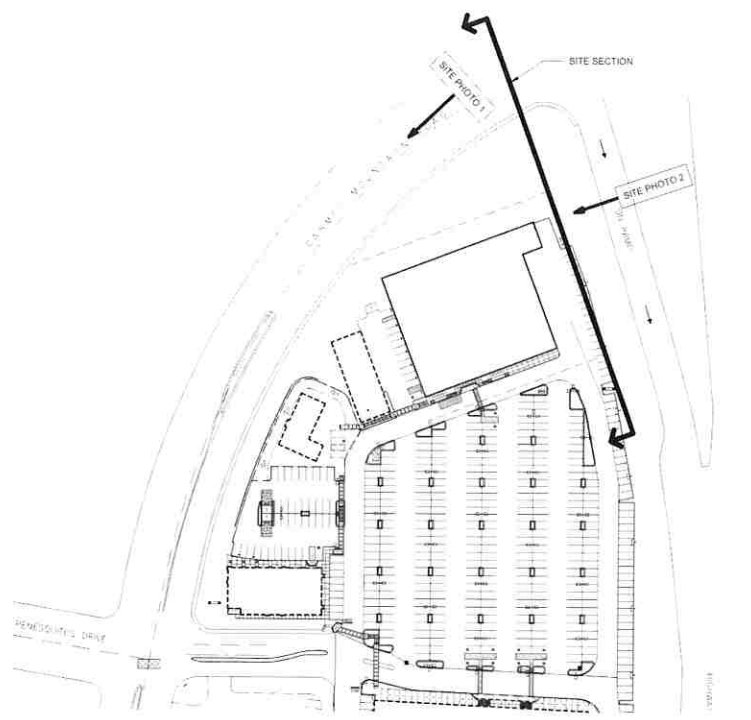
SHEET TITLE
**BUILDING
ELEVATIONS**

DRAWN BY: SWC/AJK
CHECKED BY: WHM/MJR
SHEET

A3.10



1 SITE SECTION
A3.11 1/16" = 1'-0"



2 SITE MAP
A3.11



3 OVERALL SITE PHOTO
A3.11 1/2" = 1'-0"



4 SITE PHOTO 1
A3.11 1/2" = 1'-0"



5 SITE PHOTO 2
A3.11 1/2" = 1'-0"

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Revision Schedule	
Revision Delta	Issue Date

SHEET TITLE
**SITE
ELEVATION**

DRAWN BY: Author
CHECKED BY: Checker

SHEET

A3.11