



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: June 12, 2019 REPORT NO. HO-19-060

HEARING DATE: June 19, 2019

SUBJECT: Felton House NDP/Variance, Process Three

PROJECT NUMBER: [572795](#)

OWNER/APPLICANT: Ana Karen Robinson, Owner and Thomas Strafford Investments, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the construction of a one-story over basement, single-family dwelling unit with garage, patio and deck totaling 3,180-square-feet on a vacant site located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street within the North Park Area Community Plan area?

Staff Recommendation:

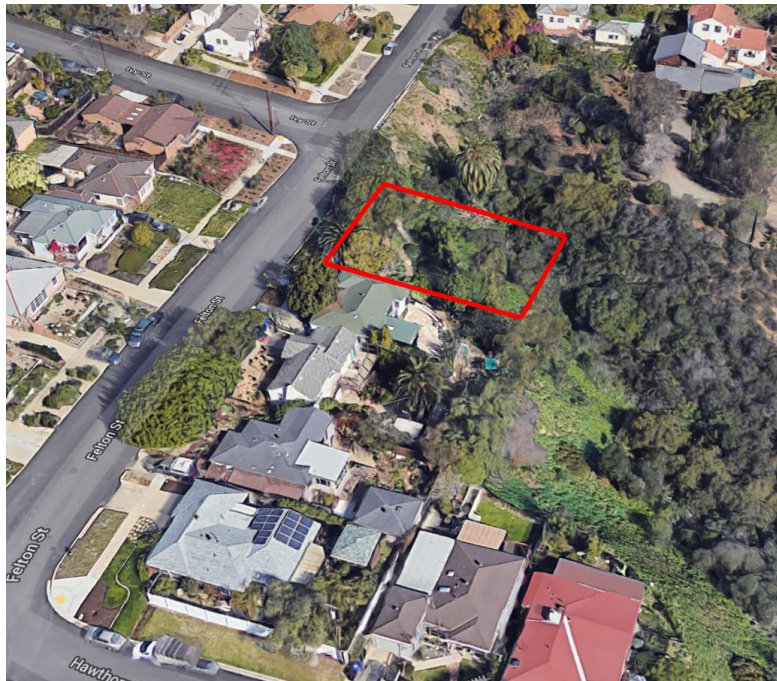
1. Approve Neighborhood Development Permit No. 2024666; and
2. Approve Variance No. 2268647.

Community Planning Group Recommendation: On January 16, 2018, the North Park Planning Group voted 14-0-0 to recommend approval of the proposed project without recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15303(a) (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 26, 2019, and the opportunity to appeal that determination ended April 10, 2019.

BACKGROUND

The vacant 0.11-acre project site is located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street. The project site is within a developed urban neighborhood surrounded



by single-family residential to the south and west. To the east and the north lies undeveloped urban canyon (34th Street Canyon). Lot elevations range from approximately 253-feet above mean sea level (MSL) at the southwest corner to 214-feet MSL at the northeast corner. The site is within the City's Multiple Species Conservation Program (MSPC) Subarea Plan and the 34th Street Canyon crosses over the northeast corner of the parcel and is part of the Multi-Habitat Planning Area (MHPA). The project site contains Environmental Sensitive Lands (ESL) in the form of Sensitive Biological Resources.

The project site is located in the RS-1-1 and RS-1-7 zones within the North Park Community plan (Attachment 1). The community plan designates the site as Residential Low density (Attachment 2) and allows for the development of a single dwelling unit onsite. The site is also located in the Residential Tandem Parking Overlay, San Diego International Airport (Airport Influence Area -Review Area 2), Fire: Brush Management (100-foot Setback), Very High Fire Hazard Severity Zone and within the Multiple Habitat Planning Area.

DISCUSSION

Project Description

The Felton House project (Project) proposes to construct a one-story, single-family dwelling unit over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot. The 34th Street Canyon crosses over the northeastern corner of the parcel and is part of the Multi-Habitat Planning Area (MHPA), however this project proposes no impacts to the area outside of the parcel and will comply with MHPA land use adjacency guidelines to ensure minimal impacts would occur to the MHPA. Additionally, the project will comply with Brush Management Zones (BMZ) One and Two along the eastern portion of the site. To protect ESL in perpetuity, a covenant of easement will be recorded on the far eastern portion of the property.

The project requires a Neighborhood Development Permit (NDP), as described in [SDMC Section 126.0402\(b\)](#), for a single-family dwelling unit development on an individual lot that is less than or equal to 15,000-square-feet and contains sensitive biological resources as described in [SDMC Section 143.0110](#).

The project also requires a Variance as described in SDMC Section 126.0502 for proposed development that does not comply with the development regulations of the Land Development Code for the RS-1-1 and RS-1-7 zones as further described in the Variance section below.

The applications for the NDP and Variance shall be consolidated for processing and decided in accordance with Process Three, Hearing Officer decision with appeal rights to Planning Commission.

Neighborhood Development Permit

A NDP, as described in [SDMC Section 126.0402\(b\)](#), is required for single-family dwelling unit development on an individual lot that is less than or equal to 15,000-square-foot and contains sensitive biological resources as described in the [San Diego Municipal Code \(SDMC\) 143.0110](#). The impact to tier II disturbed southern mixed chaparral sensitive biological resources was 0.04-acres and according to the City of San Diego's Significance Determination Guidelines, impact of less than 0.1-acre are not considered significant and do not require mitigation. The project site does not contain steep hillsides or wetlands as defined in the SDMC Section 143.0110. The project complies with all other applicable regulations in regards to parking, building height, brush management and design standards of the San Diego Municipal Code.

Variance

A Variance for one deviation, to allow a front yard setback of 6-feet where 15-feet is required within the RS-1-7 zone by the [San Diego Municipal Code \(SDMC\) Table 131-04D](#), is required. The project proposes to situate the structure within the allowed front yard setback, shifting the structure towards Felton Street to allow for minimum disturbance to the sensitive biological resources located along the eastern portion of the property. The following is a list of surrounding properties which were developed with Variances to the front yard setback:

1. 2435 Felton Street, Variance No. C-16798 granted a zero-foot setback at the property line for parking spaces where 15-feet were required. To create a level pad, retaining walls ranging in height from 8-inches to 6-feet were also granted.
2. 2427 Felton Street, Variance C-18766, granted a 1.5-foot, front yard setback.
3. 2419 Felton Street, Hillside Review Permit 96-7867 granted a front yard setback of 7.5-feet where 25-feet was required to develop a 3,000-square-foot, single-family dwelling unit on a 5,000-square-foot lot and a FAR of .60 where .45 is required.
4. 2411 Felton Street, Variance C-20976, regulated by R1-40,000 zone (conversion is equivalent to RS-1-1). The project was granted a 3-foot front yard setback where 15-feet were required.
5. 2405 Felton Street, Variance C-16731 was granted a 3-foot front yard setback where 15-feet were required.

Community Plan Analysis

The North Park Community Plan (NPCP) area designates the site for Residential – Low use at a recommended density of 5-9 dwelling units per acre or one unit on-site. The Project proposes one dwelling unit on a 0.11-acre site which is consistent with the NPCP and the RS-1-1 and RS-1-7 zones.

To the south and west of the project site, along Felton Street, the existing homes are primarily one-story dwelling units facing the street. The project proposes a design that is consistent with the surrounding neighborhood. The primary wall surface material is stucco, offsets are incorporated into the design to break up building wall mass on all four side elevations with various superficial elements such as railing and balconies. Located on a hillside, the building mass is stepping to follow the natural line of the existing topography. The submitted design concept, as show on elevations, is consistent with the architectural values of adjoining neighbors in the immediate vicinity and meets the goals of the objectives of the Community Plan and General Plan.

Conclusion

Staff has reviewed the request for the development of a single-family dwelling unit for a Neighborhood Development Permit and a Variance to development regulations. Staff has found the project to be in conformance with the applicable sections of the San Diego Municipal Code including any allowed deviations pursuant to the Land Development Code. Therefore, staff recommends the Hearing Officer approve Neighborhood Development Permit No. 2024666 and Variance No. 2268647 (Attachment 4 and 5).

ALTERNATIVES

1. Approve Neighborhood Development Permit No. 2024666 and Variance No. 2268647, with modifications.
2. Deny Neighborhood Development Permit No. 2024666 and Variance No. 2268647, if the findings required to approve the project cannot be affirmed.

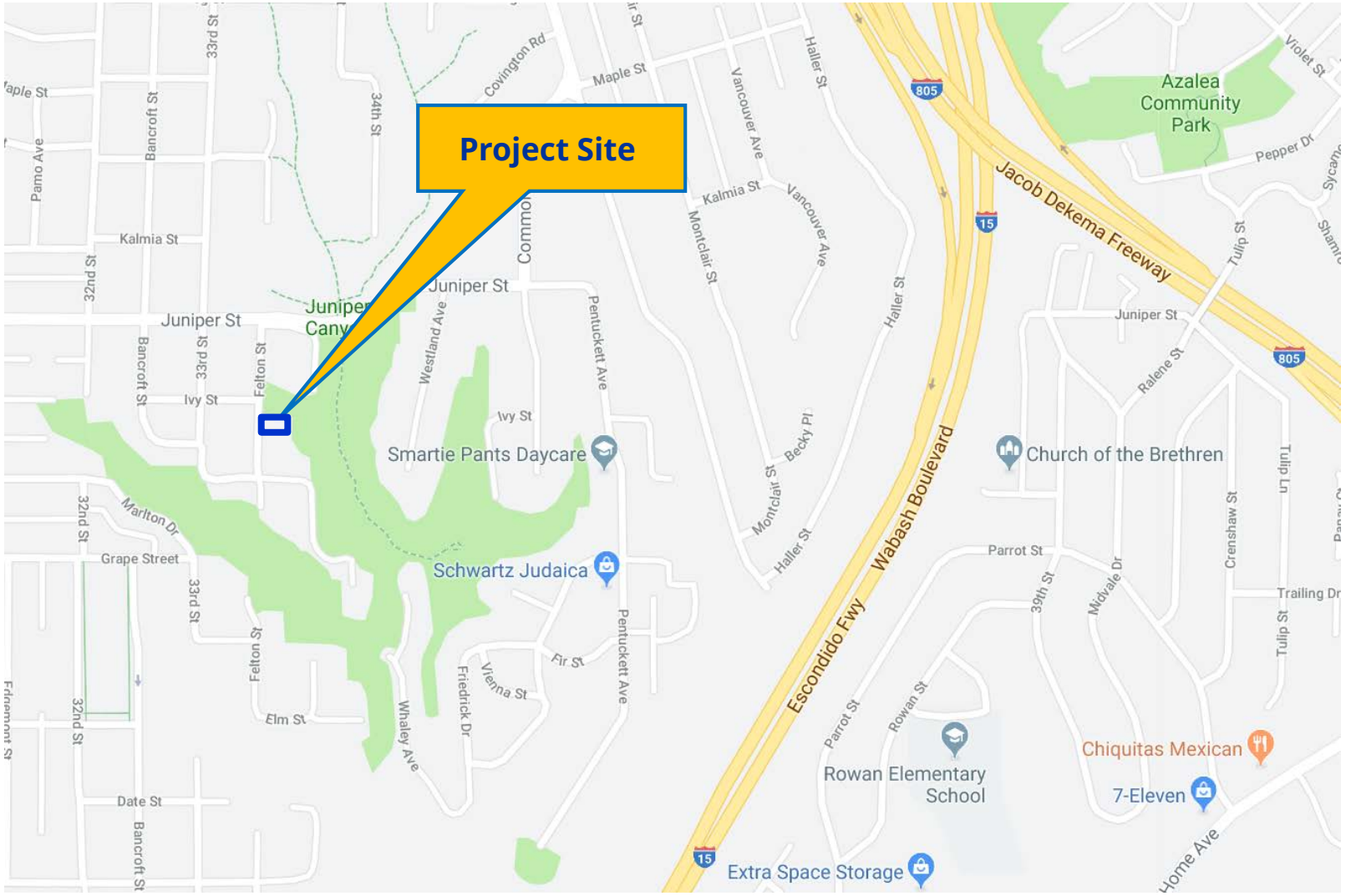
Respectfully submitted,



Hugo Castaneda, Development Project Manager

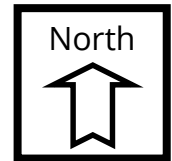
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption or Draft Environmental Resolution (ND) or Draft Environmental
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

Felton House NDP/Variance / Felton Street
PROJECT NO. 572795





LEGEND

Residential

- Residential - Low : 5-9 Du/Ac
- Residential - Low Medium : 10-15 Du/Ac
- Residential - Medium : 16-29 Du/Ac
- Residential - Medium High : 30-44 Du/Ac *
- Residential - High : 45-54 Du/Ac
- Residential - Very High : 55-73 Du/Ac

Commercial, Employment, Retail, and Services

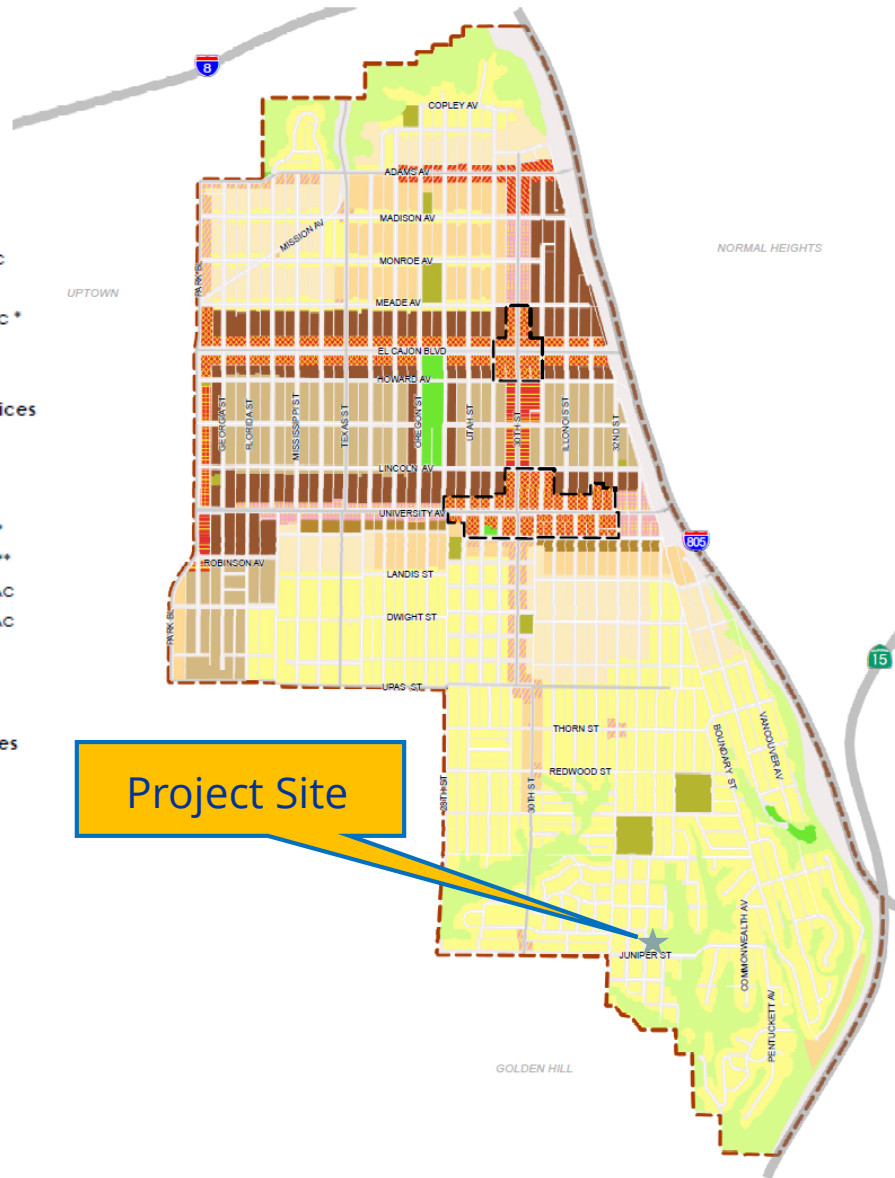
- Community Commercial : 0-29 Du/Ac
- Community Commercial : 0-44 Du/Ac
- Community Commercial : 0-54 Du/Ac
- Community Commercial : 0-73 Du/Ac**
- Community Commercial : 0-109 Du/Ac***
- Neighborhood Commercial : 0-29 Du/Ac
- Neighborhood Commercial : 0-73 Du/Ac

Park, Open Space, and Recreation

- Open Space
- Park

Institutional, and Public/Semi-Public Facilities

- Institutional
- Community Village
- Community Plan Boundary

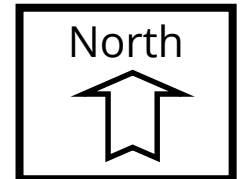


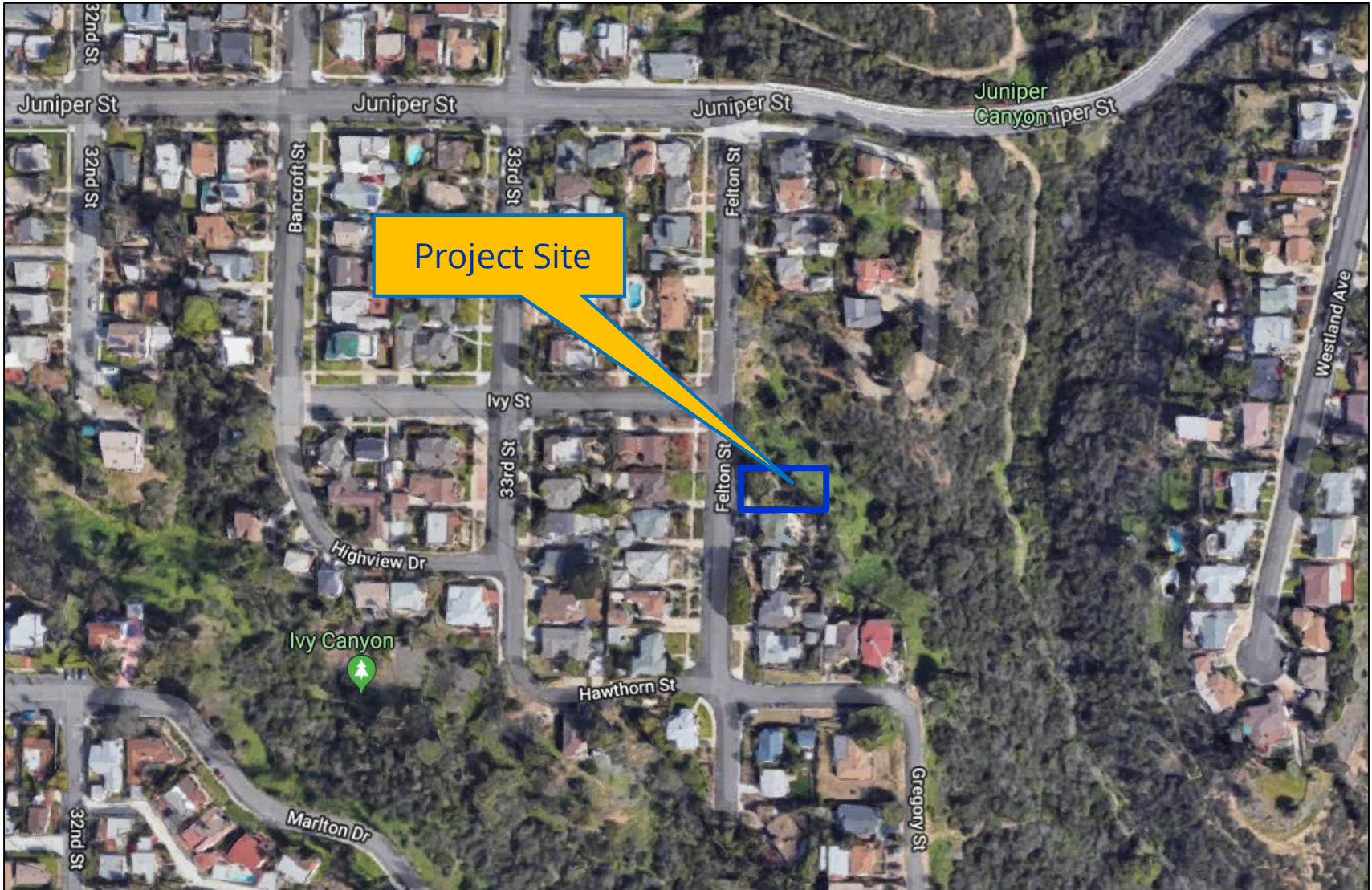
Project Site



Community Land Use Map

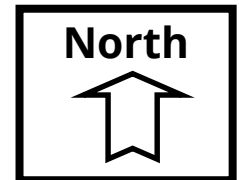
Felton House NDP/Variance / Felton Street
PROJECT NO. 572795





Aerial Photograph

Felton House NDP/Variance / Felton Street
PROJECT NO. 572795



HEARING OFFICER RESOLUTION NO. [REDACTED]
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2024666
VARIANCE NO. 2268647
FELTON HOUSE – NDP/VARIANCE PROJECT NO. 572795

WHEREAS, ANA KAREN ROBINSON, Owner and THOMAS STRAFFORD INVESTMENTS, Permittee, filed an application with the City of San Diego for a permit to construct a new, one-story single-family dwelling over basement with garage, patio and deck totaling 3,180 square-feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2024666 and 2268647) on portions of a 0.11-acre site;

WHEREAS, the project is located on a vacant lot on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street in the RS-1-1 and RS-1-7 ZONE(S) of the North Park Community Plan

WHEREAS, the project site is legally described as Lot 5 in Block 48 of Eastern Addition to New San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 295, filed in the Office of the County Recorder of San Diego County;

WHEREAS, on January 4, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303(a) (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on June 19, 2019, the Hearing Officer of the City of San Diego considered Neighborhood Development Permit No. 2024666 and Variance No. 2268647 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Neighborhood Development Permit No. 2024666 and Variance No. 2268647:

A. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC Section 126.0404(a)(b)]

a) Findings for all Neighborhood Development Permits [Section 126.0404(a)]:

1. The proposed development will not adversely affect the applicable land use plan.

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located within Environmentally Sensitive Lands (ESL). The 0.11-acre site is located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street, in the RS-1-1 and RS-1-7 Zone within the North Park Community Plan area. The site is adjacent to single-family residential development to the south and west. Undeveloped urban canyon lies to the east and north.

The proposed project is consistent with the land use residential designation for the North Park Community Plan. The Community Plan designates the site as Residential Low for 5-9 dwelling units per acre (Figure 2-1, page 15), or 1-2 units allowed on site. The RS-1-1 and RS-1-7 Zone allow for the development of a single dwelling unit on site. The proposed project is requesting a Variance for a front yard deviation

The project site is within the City's Multiple Species Conservation Program (MSCP) Subarea Plan. The 34th Street Canyon crosses over the northeastern corner of the parcel and is part of the Multi-Habitat Planning Area (MHPA), however this project proposed no impacts to the area outside of the parcel and will comply with the MHPA land use adjacency guidelines to ensure minimal impacts would occur in the MHPA. Additionally, the project will comply with Brush Management Zones (BMZ) One and Two along the eastern portion of the site. To protect ESL in perpetuity, a covenant of easement will be recorded on the far eastern portion of the property. Finally, the massing of the structure follows the topography, terracing down through split-levels as it follows the natural terrain. With these protections in place and a topographically-sensitive design, the project is consistent with the Natural Resource Conservation of the Community Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located within Environmentally Sensitive Lands (ESL). The 0.11-acre site is located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street, in the RS-1-1 and RS-1-7 Zone within the North Park Community Plan area.

The Environmental Analysis Section has reviewed the proposed project and determined the project was exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guideline Section 15303(a) (New Construction or Conversion of Small Structures). The project is located in a developed urban neighborhood as is served by all existing utilities and accessed from a developed public right-of-way. The permit controlling the development and use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulation and other regional, state, and federal regulation to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. In addition, the project will be required to comply with BMZ regulations. Dual tempered paned windows will be required for the eastern side of the home in compliance with the City's requirement for the Fire Plan. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located within Environmentally Sensitive Lands (ESL). The 0.11-acre site is located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street, in the RS-1-1 and RS-1-7 Zone within the North Park Community Plan area. The site is adjacent to single-family residential development to the south and west. To the east and north lies undeveloped urban canyon.

A Variance is requested for one deviation, to allow a front yard setback of 6-feet where 15-feet is required. The proposed deviation would allow the structure to be situated towards Felton Street, which would allow for the single-family dwelling to be consistent in bulk and scale with the neighboring homes. Further, the proposed deviation would allow for minimum disturbance to the sensitive biological resources and respects the contours of the existing grade. The following is a list of surrounding properties which were developed with Variances to the front yard setback:

1. 2435 Felton Street, Variance No. C-16798 granted a zero-foot setback at the property line for parking spaces where 15-feet were required. To create a level pad, retaining walls ranging in height from 8-inches to 6-feet were also granted.
2. 2427 Felton Street, Variance C-18766, granted a 1.5-foot, front yard setback.

3. 2419 Felton Street, Hillside Review Permit 96-7867 granted a front yard setback of 7.5-feet where 25-feet was required to develop a 3,000-square-foot, single-family dwelling unit on a 5,000-square-foot lot and a FAR of .60 where .45 is required.
4. 2411 Felton Street, Variance C-20976, regulated by R1-40,000 zone (conversion is equivalent to RS-1-1). The project was granted a 3-foot front yard setback where 15-feet were required.
5. 2405 Felton Street, Variance C-16731 was granted a 3-foot front yard setback where 15-feet were required.

As allowed through a Variance per SDMC Section 126.0804, the project is requesting one deviation to allow for a front yard setback of 6-feet where 15-feet is required. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

b) Supplemental Findings -Environmentally Sensitive Lands [SDMC Section 126.0404(b)]:

- 1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located within Environmentally Sensitive Lands (ESL) in the form of sensitive biological resources. The 0.11-acre site is located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street, in the RS-1-1 and RS-1-7 Zone within the North Park Community Plan area. The site is adjacent to single-family residential development to the south and west. To the east and north lies undeveloped urban canyon.

A Variance is requested for one deviation, to allow a front yard setback of 6-feet where 15-feet is required. Placing the proposed project within the required 15-foot front yard setback would generate impact to the sensitive biological resources located along the eastern portion of the property and BMZ Two area proposed along the eastern portion of the property. Per the SDMC Section 142.0412(h)(2), no structures shall be constructed in BMZ Two. Therefore, situating the structure towards Felton Street (western side of parcel) which is the flattest portion of the property allows for minimum disturbance to the tier II Disturbed Southern Mixed Chaparral sensitive biological resources and no impact to the proposed BMZ Two located at the eastern portion of the property.

The project site is within the City's Multiple Species Conservation Program (MSCP) Subarea Plan. The 34th Street Canyon crosses over the northeastern corner of the

parcel and is part of the Multi-Habitat Planning Area (MHPA), however this project would not impact the area outside of the parcel and will comply with MHPA land use adjacency guidelines to ensure minimal impacts would occur in the MHPA. To protect ESL in perpetuity, a covenant of easement will be recorded on the far eastern portion of the property. As stated in a biology report prepared for the project by Kyle McCann of Keystone Ecological on October 16, 2018, the project as currently proposed is not considered significant and would not require mitigation. The proposed project would not have a significant effect on biological resources and would be in compliance with all federal, state, and City regulations.

Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street. The site contains ESL in the form of sensitive biological resources along the eastern portion of the property. The property is within the Geologic Hazard Zone 52 (low risk). An updated preliminary geotechnical investigation was prepared by Advanced Geotechnical Solutions, Inc that indicated the site is safe from geologic hazards.

The proposed project is adjacent to the 34th Street Canyon and a Brush Management Plan was prepared for the project. By incorporating required BMZ the project would not result in an undue risk from fire hazards. The project is not within a flood overlay zone but is in a potentially sensitive are for fire hazards, duel tempered paned windows will be required for the eastern side of the home in compliance with the City's requirement for the Fire Plan. The project has been designed to minimize grading, geologic hazards, drainage impacts and fire risk through brush management. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located within Environmentally Sensitive Lands (ESL) in the form of sensitive biological resources on the eastern side of the parcel.

A Variance is requested for one deviation, to allow a front yard setback of 6-feet where 15-feet is required. Placing the proposed project within the required 15-foot front yard setback would generate impact to the sensitive biological resources located along the eastern portion of the property and BMZ Two area proposed along the eastern portion of the property. Per the SDMC Section 142.0412(h)(2), no structures shall be constructed in BMZ Two. Therefore, situating the structure towards Felton Street (western side of parcel) which is the flattest portion of the property allows for minimum disturbance to the tier II Disturbed Southern Mixed Chaparral sensitive biological resources and no impact to the proposed BMZ Two located at the eastern portion of the property.

The project site is within the City's Multiple Species Conservation Program (MSCP) Subarea Plan. The 34th Street Canyon crosses over the northeastern corner of the parcel and is part of the Multi-Habitat Planning Area (MHPA), however this project proposes no impacts to the area outside of the parcel and will comply with MHPA land use adjacency guidelines to ensure minimal impacts would occur in the MHPA. The project also includes the provision of BMZ, as required by the Land Development Code. The development area is located on the west side of the site, closest to Felton Street, which is the least biologically sensitive portion of the site. The project will minimize grading and disturbance of slope areas and most biologically sensitive portions of the site and is required to comply with all relevant Brush Management and MHPA land use adjacency guidelines. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmental sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street. The site contains ESL in the form of sensitive biological resources along the eastern portion of the property.

The project site is within the City's Multiple Species Conservation Program (MSCP) Subarea Plan. The 34th Street Canyon crosses over the northeastern corner of the parcel and is part of the Multi-Habitat Planning Area (MHPA), however this project proposed no impacts to the area outside of the parcel and will comply with MHPA land use adjacency guidelines to ensure minimal impacts would occur in the MHPA. Additionally, the project will comply with Brush Management Zones (BMZ) One and Two along the eastern portion of the site. To protect ESL in perpetuity, a covenant of easement will be recorded on the far eastern portion of the property. Therefore, the proposed development will be consistent with the City of San Diego's MSCP Subarea Plan.

B. VARIANCE [SDMC Section 126.0805(a-d)]

- a. There are special circumstances or conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.**

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street. The site contains ESL in the form of sensitive biological resources along the eastern portion of the property.

A Variance is requested for one deviation, to allow a front yard setback of 6-feet where 15-feet is required. The proposed site does include special site conditions, the 34th Street Canyon Crosses over the northeastern corner of the property and a portion of the property is part of the MHPA. Project is required to comply with the BMZ One and Two along the eastern portion of the site and impacts the building area allowed for this parcel. Placing the proposed structure within the required 15-foot front yard setback would generate impact to the sensitive biological resources located along the eastern portion of the property and BMZ Two area proposed along the eastern portion of the property. Per the SDMC Section 142.0412(h)(2), no structures shall be constructed in BMZ Two. Therefore, situating the structure towards Felton Street (western side of parcel) which is the flattest portion of the property allows for minimum disturbance to the tier II Disturbed Southern Mixed Chaparral sensitive biological resources and no impact to the proposed BMZ Two located at the eastern portion of the property.

1. 2435 Felton Street, Variance No. C-16798 granted a zero-foot setback at the property line for parking spaces where 15-feet were required. To create a level pad, retaining walls ranging in height from 8-inches to 6-feet were also granted.
2. 2427 Felton Street, Variance C-18766, granted a 1.5-foot, front yard setback.
3. 2419 Felton Street, Hillside Review Permit 96-7867 granted a front yard setback of 7.5-feet where 25-feet was required to develop a 3,000-square-foot, single-family dwelling unit on a 5,000-square-foot lot and a FAR of .60 where .45 is required.
4. 2411 Felton Street, Variance C-20976, regulated by R1-40,000 zone (conversion is equivalent to RS-1-1). The project was granted a 3-foot front yard setback where 15-feet were required.
5. 2405 Felton Street, Variance C-16731 was granted a 3-foot front yard setback where 15-feet were required.

The 15-foot front yard setback required for the specific project site and the sensitive biological resources located on the eastern portion of the site are conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.

- b. The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.**

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street. The site contains ESL in the form of sensitive biological resources along the eastern portion of the property.

A Variance is requested for one deviation, to allow a front yard setback of 6-feet where 15-feet is required by the San Diego Municipal Code (SDMC) Table 131-04D. The proposed site does include special site conditions, the 34th Street Canyon Crosses over the northeastern corner of the property and a portion of the property is part of the MHPA. Project is required to comply with the BMZ One and Two along the eastern portion of the site and impacts the building area allowed for this parcel. Placing the proposed structure within the required 15-foot front yard setback would generate impact to the sensitive biological resources located along the eastern portion of the property and BMZ Two area proposed along the eastern portion of the property. Per the SDMC Section 142.0412(h)(2), no structures shall be constructed in BMZ Two. Therefore, situating the structure towards Felton Street (western side of parcel) which is the flattest portion of the property allows for minimum disturbance to the tier II Disturbed Southern Mixed Chaparral sensitive biological resources and no impact to the proposed BMZ Two located at the eastern portion of the property. Therefore, the development will provide a 6-foot minimum front setback due to the presence of the sensitive biological resources located on the eastern portion of the property. Here is a list of surrounding properties which were developed with Variances to the front yard setback:

1. 2435 Felton Street, Variance No. C-16798 granted a zero-foot setback at the property line for parking spaces where 15-feet were required. To create a level pad, retaining walls ranging in height from 8-inches to 6-feet were also granted.
2. 2427 Felton Street, Variance C-18766, granted a 1.5-foot, front yard setback.
3. 2419 Felton Street, Hillside Review Permit 96-7867 granted a front yard setback of 7.5-feet where 25-feet was required to develop a 3,000-square-foot,

single-family dwelling unit on a 5,000-square-foot lot and a FAR of .60 where .45 is required.

4. 2411 Felton Street, Variance C-20976, regulated by R1-40,000 zone (conversion is equivalent to RS-1-1). The project was granted a 3-foot front yard setback where 15-feet were required.
5. 2405 Felton Street, Variance C-16731 was granted a 3-foot front yard setback where 15-feet were required.

The 15-foot front yard setback required for the specific project site and the sensitive biological resources located on the eastern portion of the site are circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.

c. The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare; and

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street. The site is adjacent to single-family residential development to the south and west. To the east and north lies undeveloped urban canyon and contains ESL in the form of sensitive biological resources along the eastern portion of the property.

In order to construct and occupy the proposed one-story over basement, single-family dwelling unit, the building structure must avoid impacts to any adjacent environmental sensitive lands. Achieving this requirement will require locating the proposed building structure within the RS-1-7 zone's 15-foot minimum front setback as required by the SDMC Table 131-04D. Therefore, the development will provide a 6-foot minimum front yard setback due to the presence of sensitive biological resources located along the eastern portion of the property.

The permit controlling this development contains conditions addressing compliance with the City's regulation and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. All Uniform Building Codes governing the construction and continued operation of the development will apply to this site to prevent adverse effects to those persons or other properties in the vicinity. Therefore, considering the sensitive biological resources located along the eastern portion of the property, existing topography and lot location of the proposed single-family dwelling unit, the proposed development with reduced front setback is in harmony with the general

purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare.

- d. The granting of the variance will not adversely affect the applicable land use plan. If the variance is being sought in conjunction with any proposed coastal development, the required finding shall specify that granting of the variance conforms with, and is adequate to carry out, the provisions of the certified land use plan.**

The proposed project is for the construction of a new, one-story, single-family dwelling over basement with garage, patio and deck totaling 3,180-square-feet on a vacant lot located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street. The site contains ESL in the form of sensitive biological resources along the eastern portion of the property.

The proposed project is consistent with the land use residential designation for the North Park Community Plan. The Community Plan designates the site as Residential Low for 5-9 dwelling units per acre (Figure 2-1, page 15), or 1-2 units allowed on site. The RS-1-1 and RS-1-7 Zone allow for the development of a single dwelling unit on site. The proposed project is requesting a Variance for a front yard deviation, which would result in minimum disturbance to the sensitive biological resources and respects the contours of the existing grade.

The project site is within the City's Multiple Species Conservation Program (MSCP) Subarea Plan. The 34th Street Canyon crosses over the northeastern corner of the parcel and is part of the Multi-Habitat Planning Area (MHPA), however this project proposes no impacts to the area outside of the parcel and will follow all MHPA land use adjacency guidelines to ensure minimal impacts would occur in the MHPA. Additionally, the project will comply with Brush Management Zones (BMZ) One and Two along the eastern portion of the site. To protect ESL in perpetuity, a covenant of easement will be recorded on the far eastern portion of the property. Finally, the massing of the structure follows the topography, terracing down through split-levels as it follows the natural terrain. Therefore, with these protections in place, placement of the structure and a topographically-sensitive design, the granting of the variance will not adversely affect the adopted Community Plan. The project is not within a coastal development area with a certified land use plan.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Neighborhood Development Permit No. 2024666 and Variance No. 2268647 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms

and conditions as set forth in Permit No. 2024666 and 2268647, a copy of which is attached hereto and made a part hereof.

Hugo Castaneda
Development Project Manager
Development Services

Adopted on: June 19, 2019

IO#: 24007460

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007460

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NEIGHBORHOOD DEVELOPMENT PERMIT No. 2024666
VARIANCE No. 2268647

FELTON HOUSE NDP/VARIANCE PROJECT NO. 572795
HEARING OFFICER

This Neighborhood Development Permit, No. 2024666 is granted by the Hearing Officer of the City of San Diego to Ana Robinson, Owner, and Thomas Strafford Investments, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0402 and 126.0802. The 0.11-acre site is located on the east side of Felton Street, south of Ivy Street and north of Hawthorn Street, in the RS-1-1 and RS-1-7 zone(s) of the North Park Community Plan. The project site is legally described as: Lot 5 in Block 48 of Eastern Addition to New San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 295, filed in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a single dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 19, 2019, on file in the Development Services Department.

The project shall include:

- a. The construction of a new one-story single dwelling unit over basement with a patio and deck, totaling 3,180 square feet, which includes 2,008 square feet of habitable area, a 298-square-foot garage, 184-square-foot storage, 421-square-foot patio and a 269-square-foot deck;
- b. 6-foot front yard setback where 15-feet is required;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 5, 2022.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant

Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and

costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 100 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development is private and subject to approval by the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12 feet wide driveway per current City Standards, adjacent to the site on Felton Street satisfactory to the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to replace the existing curb with current city standard curb and gutter along entire frontage, adjacent to the site on Felton Street, satisfactory to the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the landscape/trees, tree grates, irrigation and private walkways in the Felton Street Right-of-Way.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any construction permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Development Services Department.

21. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-sq.ft. area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy Final Inspection.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

24. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit 'A' on file in the Development Services Department.

25. Zone Two Reduction w/ Alternative Compliance:
The Brush Management Program shall be based on a standard Zone One of 35-ft. in width and a Zone Two of 65-ft. in width, exercising the Zone Two reduction option and Alternative Compliance measures set forth under §142.0412(f), §142.0412(i), and §142.0412(j). Zone One shall range from 5-ft. to 25-ft. in width with a corresponding Zone Two of 19-ft. to 39-ft. in width, extending out from the habitable structures towards the native/naturalized vegetation as shown on Exhibit 'A.' Where the full brush management zones cannot be provided, openings along the brush side of the habitable structures, plus a 10-ft. perpendicular return along adjacent wall faces, shall be upgraded to dual-glazed, dual-tempered panes as alternative compliance for the reduced brush management zones.

MULTIPLE SPECIES CONSERVATION PROGRAM:

26. Prior to the issuance of any construction permits, the Owner/Permittee shall grant the on-site Multiple Habitat Planning Area [MHPA] to the City's Multiple Species Conservation Program [MSCP]

preserve through either fee title to the City, or a covenant of easement granted in favor of the City and the U.S. Fish and Wildlife Service [USFWS] and the California Department of Fish and Wildlife [CDFW], as shown on Exhibit "A." Conveyance of any land in fee to the City shall require approval from the Park and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other stormwater control facilities, brush management areas, landscape/revegetation areas, and graded slopes. The Owner/Permittee shall ensure all property approved for conveyance in fee title to the City for MHPA purposes shall be free and clear of all private easements, private encroachments, private agreements and/or liens. Any on-site MHPA lands that are not dedicated in fee title to the City shall grant a covenant of easement in favor of the City, USFWS, and CDFW. The Owner/Permittee shall maintain in perpetuity any MHPA lands granted by covenant of easement unless otherwise agreed to by the City.

PLANNING/DESIGN REQUIREMENTS:

27. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. Prior to the issuance of any construction permits the applicant shall execute and record a covenant of easement over the remaining Environmentally Sensitive Lands (Sensitive Biological Resources) and lands within the MHPA in the location outlined on Exhibit A in accordance with procedures set forth in Section 143.0152.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENTS

31. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Development Services Department of the City of San Diego on June 19, 2019 and [Approved Resolution Number].

DRAFT

Neighborhood Development Permit, Approval No. 2024666
Date of Approval: June 19, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Hugo Castaneda
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Ana Robinson
Owner

By _____
NAME
TITLE

Thomas Strafford Investments
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: March 26, 2019

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007460

PROJECT NAME / NUMBER: Felton House NDP/Variance / 572795

COMMUNITY PLAN AREA: Greater North Park

COUNCIL DISTRICT: 3

LOCATION: a vacant lot located east of Felton Street, south of Ivy Street and north of Hawthorn Street

PROJECT DESCRIPTION: A Neighborhood Development Permit (NDP) and Variance to construct a new one-story single-family dwelling, patio, and deck, over a basement with garage, totaling to 3,180 square feet. The project includes a front yard setback deviation. The vacant lot is located east of Felton Street, south of Ivy Street, and north of Hawthorn Street. A portion of the site is located within environmentally sensitive lands. The 0.11-acre site is in the RS-1-1 and RS-1-7 zones, within the Greater North Park Community Plan area and Council District 3.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Development Services

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303(a) New Construction or Conversion of Small Structures

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Section 15303(a) New Construction or Conversion of Small Structures. Section 15303(a) consists of construction and location of limited numbers of new, small facilities or structures. This exemption includes one single-family residence, or a second dwelling unit in a residential zone. None of the exceptions listed in CEQA Guidelines Section 15300.2 apply, therefore this exemption is applicable to the proposed project.

DEVELOPMENT PROJECT MANAGER: Hugo Castaneda

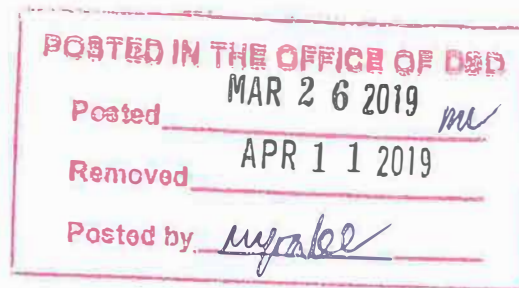
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153

PHONE NUMBER / EMAIL: (619) 446-5220 / hcastaneda@sandiego.gov

On March 26, 2019 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (April 10, 2019). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 Felton House 572795

Project Address:
 0000 Felton, San Diego CA 92104 (APN: 539-202-02-00)

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Ana Robinson
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 877 Island Ave
 City/State/Zip:
 San Diego, CA 92101
 Phone No: _____ Fax No: _____
 619-202-7280
 Signature: *Ana Robinson* Date: 09/07/2017
 07:47 PM GMT

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____



**NORTH PARK PLANNING COMMITTEE (NPPC)
DRAFT MEETING MINUTES
January 16, 2018; 6:30 pm
2901 North Park Way, 2nd Floor**

www.northparkplanning.org
info@northparkplanning.org

Like us: [NorthParkPlanning](https://www.facebook.com/NorthParkPlanning) Follow us: [@NPPlanning](https://twitter.com/NPPlanning)

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<https://www.facebook.com/NorthParkPlanning/app> 100265896690345

I. **Call to Order: 6:39 PM**

1. Attendance Report

Member	Kate Callen	Dennis Campbell	Dionné Carlson	Kathleen Ferrier	Daniel Gebreselassie	Robert Gettinger	Peter Hill	Brandon Hilpert	Megan Kucharski	Sarah McAlear	Dang Nguyen	Melissa Stayner	Tim Taylor	Eduardo Velasquez	René Vidales
Attendance	1		2	3	4	5	6	7	8	9	10	11	12	13	14
Late															
Absences	2	3	2	3		3				3		2	1	1	

II. **Parliamentary Items**

1. **Consent Agenda Items:** Urban Design/Project Review. Members present: Hill, Stayner, Vidales, Taylor

a. **Neighborhood Development Permit – 2135 Felton St. (Process 2) Neighborhood Development Permit to construct a new one-story single-family dwelling over basement totaling 2,947-sqft which includes 1,998-sqft of habitable area, a 259-sqft attached garage and 690-sqft of covered patio and deck within Environmentally Sensitive Lands. The 0.11-acre vacant lot is located on the east side of Felton St, south of Ivy St & north of Hawthorn St, and is in the RS-1-1 & RS-1-7 zones of the Greater North Park Community Plan area. Andrew Greer, Applicant. PTS 572795. MOTION: To approve the Neighborhood Development Permit (NDP) for the project as presented and recommend the application for deviation that allows tandem parking and deviation for front yard setback from 15’ to 9’ at 2135 Felton St. Stayner/Hill 4-0-0**

b. **Neighborhood Use Permit – T-Mobile - 2828 University Ave.** Resubmittal of project originally approved at June 5, 2017 UD/PR. Resubmittal due to design change. A Neighborhood Use Permit (Process 2) application, to continue the use of an existing Wireless Communication Facility (WCF) located at 2828 University Avenue in the CC-3-9 zone of the North Park Planning area. The WCF supports nine facade mounted panel antennas with side and bottom skirts, painted to match the surface of the building and rooftop equipment. Dail Richard, Applicant. PTS 544682. MOTION: To support the proposal for Neighborhood Use Permit (NUP) for T-Mobile at 2828 University Ave. with the addition of a decorative element facing Utah St. that complements the Palisades sign on University Ave. in relation to the former roller skating rink. Vidales/Hill 4-0-0

MOTION: To approve consent Agenda. Hilpert/UDPR on Consent 14-0-0

2. **Minutes:** Approval of the November 21, 2017 Minutes.
MOTION: To approve November 21, 2017 Minutes. Dang/Hilpert 12-0-2 (Gettinger, Carlson abstained due to absence to that meeting)

3. **Treasurer’s Report:** Brandon Hilpert
 - a. Current balance - 968.88
 - b. Reimbursable
 - i. \$14.94 – Vidales (supplies)
 - ii. \$95.88 – Hilpert (web hosting)
 - iii. \$30 – Hilpert (checks)
 - iv. 140.82 Total

MOTION: To approve expenses totaling \$140.82. Stayner/Carlson 14-0-0

4. **Appointment of NPPC Secretary.**

MOTION: To approve Robert Getting as board secretary. Carlson/McAlear 14-0-0

III. **Non-Agenda Public Comment:** None

IV. **Announcements & Event Notices:** Limited to One minute each.

1. **Utility Undergrounding Master Plan.** Coordination of undergrounding of overhead utility lines throughout the City. Draft available at:
https://www.sandiego.gov/sites/default/files/uup_updated_draft_master_plan.pdf
 Open houses on the following dates, times and locations:
 - a. January 17, 6-8 p.m. Otay Mesa-Nestor Branch Library, 3003 Coronado Ave.
 - b. January 22, 5:30-7:30. Jacobs Center for Neighborhood Innovation. 404 Euclid Ave.
 - c. January 24, 5:30-7:30. Energy Innovation Center, 4760 Clairemont Mesa Blvd.
2. **North Park Thursday Market (Farmers Market).** Every Thursday 3pm-7:30pm year round
3. **Ray at Night.** San Diego’s largest and longest-running monthly art walk. Second Saturday of every month from 6-10pm. Next event is February 10.
4. **Spreckels Organ Pavilion in Balboa Park –** Dang Nguyen announced that Raul Prieto Ramirez has been appointed as the new organist. Performances every Sunday 2-3pm

V. **Elected Official Reports & contact Info:** Reports are limited to 2 Min Max

1. **Jessica Poole, Hon. Susan Davis, US Congress Dist. 53,** 619-208-5353, Jessica.Poole@mail.house.gov. Emergency warning system or seismic alarm is currently not funded. Committees in house and senate are working to keep funding for federal government.
2. **Nick Serrano, Hon. Todd Gloria, State Assembly Dist. 78,** 619-645-3090, Nick.Serrano@asm.ca.gov. Hon. Gloria in town every Thursday night. Continue to invite him to events. Hon. Gloria has been added to housing and community development committee. SB-100: Gloria co-author, get CA to renewable energy sooner rather than later
3. **Toni Duran, Hon. Toni Atkins, State Senate Dist. 39,** 619-645-3133, Toni.Duran@sen.ca.gov. Hon. Atkins recently elected to be leader of State Senate
4. **Tyler Renner, Hon. Chris Ward, City Council Dist. 3,** 619-236-6633 TRenner@sandiego.gov. Hon. Ward new chair of Economic Development Committee. Hon. Ward new chair of Select Committee for the Homeless. There is a new quality of life officer in North Park – another layer of protection against those committing crimes. Community Coffee – 1/30 5pm – at Communal Coffee. City attorney gave NP Observatory a public notice about building violations. Get it Done app – City app that is being expanded including graffiti abatement
5. **Planner’s Report:** Elizabeth Ocampo Vivero, 619-236-6301, EOcampo@sandiego.gov

VI. **Information Item.**

1. **University Heights Water Tower Retrofit Project.** This project will replace the corroded anchor bolt washers, extend column footing foundation, install new tie rod bracing, install new gusset plates and pin connectors, abatement of lead coating, and recoat the lower portions of the tower columns. The project has been reviewed and approved by historical staff to make sure that the historical integrity of the water tower will remain untouched. Maryam Kargar, Associate Engineer, Public Works, 619-533-6673, mkargar@sandiego.gov

Overview. The project is a seismic retrofit; start construction by spring 2018 and construction will last 5 months; funding comes from *Capital Improvement Fund* with total project cost \$2.163 million; Working hours 8:30am-3:30pm and contractor is contracted to get soccer schedule to not impede on their games with no work at night.

Audience Questions:

- Matt Thompson – no painting on tank or roof, why?
 - A. Priority is the seismic retrofit

Board Questions:

- Vidales – does the project description match the recent NPPC’s priority list?
- Carlson – Will new coating repeal graffiti?
- Gebreselassie – remove or disassemble tower?
 - A. Tower will stay

VII. **Action Item:** (1 Min Max per Speaker; Chair can award more time)

1. **NPPC Bylaws Update.** Discussion limited to Article 6, Section 2 (b)(ii) 5 through 9. Previously approved changes on July 18, 2017 are not effective yet. Current Bylaws available at http://northparkplanning.org/pdfs/nppc_bylaws.pdf. Peter Hill explained the updates to the Bylaws, which were mostly due to suggestions by the City from the last review of the July 18, 2017 changes.

Public Comment:

- Matt Thompson – is there a mechanism the requires the MAD to see budgets for upcoming infrastructure budget? Does NPPC give teeth to the MAD to go about the above?

Board Comment:

- Daniel – do we still get opportunity to vote if you don’t live in MAD boundaries?
 - Yes
- Daniel – are we going to get meeting minutes from the MAD?
 - Yes, will be on distribution list similar to any other subcommittee

MOTION: To adopt the proposed amendments as presented. Callen/McAlear 13-1-0 (Gebreselassie)

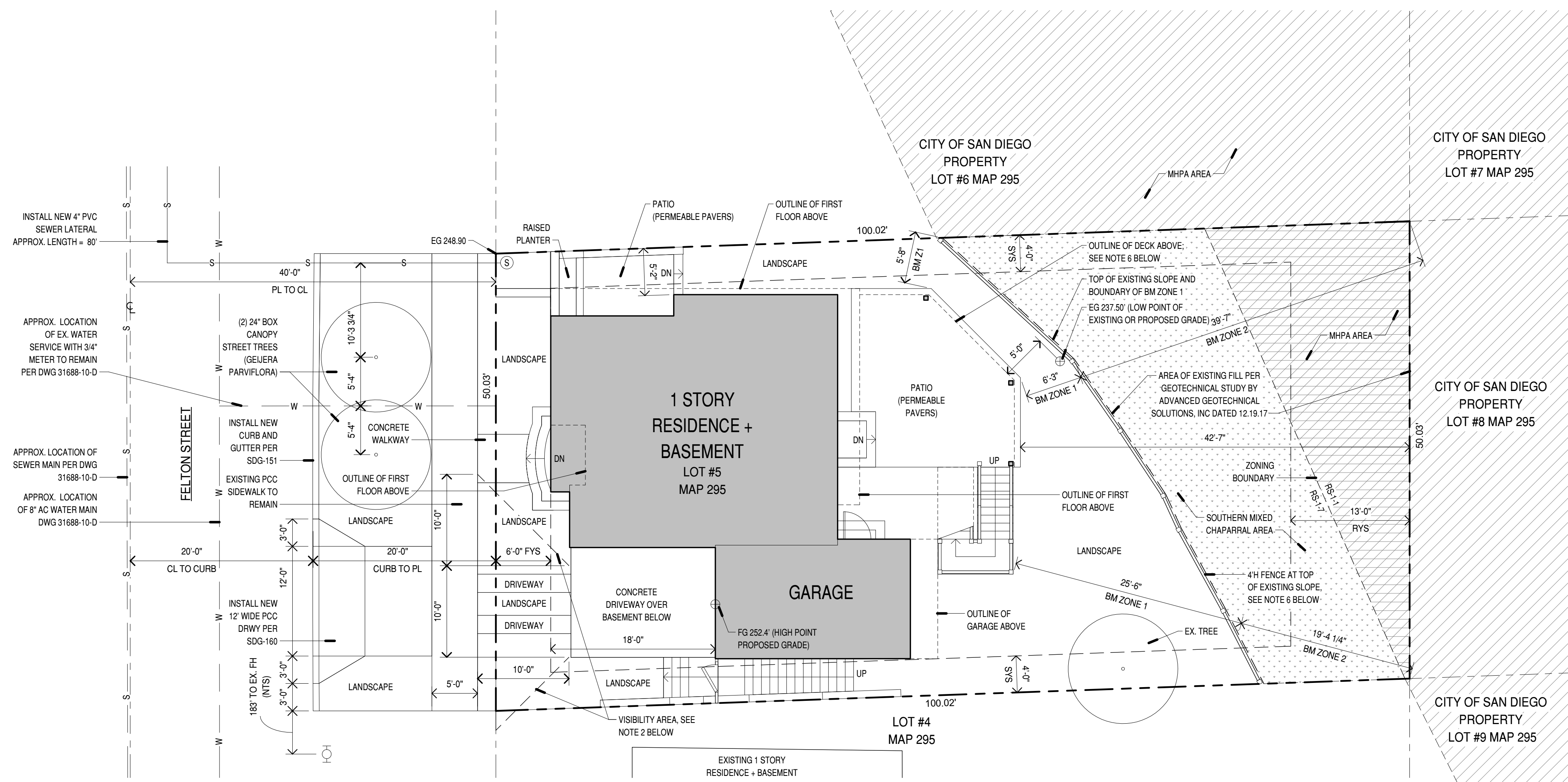
VIII. **NPPC Reports**1. **Chair’s Report**

- a. **Elections.** To be eligible to run for the NPPC Board or vote in the election, you must have a Valid Registration Form on file and have signed-in at one NPPC Board meeting from March 2017 through February 2018.
 - i. Considering doing separate special meeting for a Candidates Forum before the election that complies with the Brown Act. Can only talk about generalities and not specific projects.
 - ii. Public comment – SoNo also having a candidates’ forum. Question on eligibility requirements for voting.

- b. **Valle Vista Terrace Historic District.** Update on the appeal to November 2017 decision from Historic Resources Board (HRB)
 - i. February 6 @ 2pm City Council hearing on appeal. The hearing will also include an appeal for Golden Hill Historic District. Staff recommendation is to deny appeal.
 - c. **University Avenue Mobility Plan.** For most recent update see article on the December 15th edition of the Uptown News, available at: www.sduptownnews.com. NPMS will be funding the landscape up keeping.
 - d. **Community Planners Committee (CPC).** Tuesday, January 23, 2018, 7-9 pm. 202 C St Civic Concourse. Terrace Level Silver Room. For more info: <http://www.sandiego.gov/planning/community/cpc/agendas/index.shtml>
 - i. Capital Improvement Program (CIP) Prioritization After Action Report
 - ii. Utility Undergrounding Master Plan
 - iii. Changes to Park and Recreation Councils
 - iv. Expanded Staff Report
2. **Social Media** Brandon Hilpert. No major update
 3. **NPPC Website Update** Brandon Hilpert. Before election will be adding maps to see borders. New section with documents on eligibility form & bylaws
 4. **Subcommittee Reports:** Limited to Items Not on the Agenda & 5 Min. Max. each)
 - a. **Urban Design/Project Review (UDPR):** Peter Hill Chair, Melissa Stayner Vice Chair – NP Rec Center Social Room, 6:00 pm 1st Monday. All items are on the consent agenda. Next meeting is Monday, February 5, 2018. Cell Site antenna installation on the new building at Howard & Texas will be on the agenda.
 - b. **Public Facilities & Transportation (PF&T):** Eduardo Velasquez Chair, Dennis Campbell Vice Chair – NP Adult Center, 6:00 pm, 2nd Wednesday. Will look at parking conversions. Next meeting February 14, 2018
 5. **Liaisons Reports:** Limited to 1 Min. Max per Report
 - a. **Balboa Park Committee.** Rob Steppke. Incoming restaurant going to have footprint that won't allow for a visitor information center
 - b. **Maintenance Assessment District.** Peter Hill. Discussion about completing tree planting in front of St. Luke's church on 30th St. Next meeting is Monday, February 12.
 - c. **North Park Main Street.** Tim Taylor. NPMS would like more information on the NPPC motion not to support park curfews, especially regarding the mini park. The NPMS Board elected new officers. Joseph Balestrieri is the new President. There was a presentation on the PBID, and approval of the budget. PBID actions will be integrated into the existing committees. The NPMS Board voted against having a fence around the Mini Park, largely due to the negative impression it might make on community character. There is a new project to select artists to paint/repaint some utility boxes. Next NPMS meeting is February 8th
 - d. **Adams Avenue Business Association.** Dionne Carlson. Holding annual breakfast meeting 1/30 @ 8am @ El Zarape; cost is \$10. Election of board of directors. Looking for sponsor for banners along antique avenue
 - e. **El Cajon Boulevard Business Improvement Assoc.** Dang Nguyen. No meeting last month. Meeting this Thursday at 5:30pm
 - f. **Community Review Board for Police Practices.** Brandon Hilpert. Review Board voted for measure G and waiting on Mayor's office to implement it.

IX. **Future NPPC Meeting Dates & Agenda Items:** Next meeting is Tuesday, February 20, 2018

X. **Adjournment.** Meeting adjourned at 8:29 PM.



1 SITE PLAN

1/8" = 1'-0"

SITE PLAN NOTES

- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY LOCATED IN THE VISIBILITY AREAS SHALL NOT EXCEED 24" IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- NO ROOF, DECK OR BALCONY DRAINS ARE PROPOSED FOR THIS PROJECT.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO EXISTING HILLSIDE AREAS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- DECK AND FENCE ARE LOCATED IN BRUSH MANAGEMENT ZONE 1 AND WILL BE BUILT WITH NON COMBUSTIBLE, 1HR FIRE RATED OR HEAVY TIMBER CONSTRUCTION AS REQUIRED PER SDMC 142.0412(G)(2).

MHPA NOTES

- IN ORDER TO COMPLY WITH THE MHPA ADJACENCY GUIDELINES, STORMWATER WILL BE DIVERTED AWAY AND/OR FILTERED PRIOR TO RELEASE TO EUSL/MHPA AREAS. REFER TO CIVIL PLANS FOR MORE INFORMATION.
- LIGHTING WILL BE DIRECTED AWAY FROM THE MHPA.
- THE USE OF TOXINS INCLUDING LANDSCAPE CHEMICALS WILL BE AVOIDED / MINIMIZED ON-SITE AND WILL NOT BE ALLOWED TO ENTER THE MHPA.
- INVASIVE NON-NATIVE PLANT SPECIES WILL BE PREVENTED FROM ENTERING THE MHPA.
- IN BM22 AREA, (E) NON-NATIVE PLANTS WILL BE CONTROLLED & (N) NATIVE PLANTS WILL BE HAND PLANTED. REFER TO BRUSH MANAGEMENT PLAN BM-1 FOR MORE INFORMATION.

FRONT YARD HARDSCAPE CALC'S

- FRONT YARD AREA: 50.03 x 6' = 300 SF
- AREA OF HARDSCAPE: 68 SF
- HARDSCAPE %: 22.7% (60% MAX ALLOWED)

FAA SELF CERTIFICATION NOTICE

I, COLIN LOWRY, DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15 (A) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

NEIGHBORHOOD DEVELOPMENT PERMIT / VARIANCE

- A NEIGHBORHOOD DEVELOPMENT PERMIT IS REQUIRED FOR THE PROPOSED DEVELOPMENT DUE TO SENSITIVE BIOLOGICAL RESOURCES LOCATED ON THE PROPERTY.
- THE PROJECT IS REQUESTING THE FOLLOWING VARIANCE:
 - A. REDUCED FRONT YARD SETBACK OF 6'.

COVENANT OF EASEMENT AREA

PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT, A COVENANT OF EASEMENT WILL BE RECORDED OVER THE REMAINING ENVIRONMENTALLY SENSITIVE LANDS (SENSITIVE BIOLOGICAL RESOURCES) AND LANDS WITHIN THE MHPA. TOTAL AREA OF EASEMENT = 574 SF (0.01 ACRES).

SITE PLAN LEGEND

PROPOSED BUILDING	
MHPA AREA	
SOUTHERN MIX CHAPARRAL AREA	
COVENANT OF EASEMENT AREA	
PROPERTY LINE	
SETBACK LINE	
OUTLINE OF ROOF OR BALCONY ABOVE	
FIRE HYDRANT	HOH

VICINITY MAP



PROJECT INFORMATION

ADDRESS	2135 FELTON STREET SAN DIEGO, CA 92104
ASSESSOR'S PARCEL NUMBER	539-202-02
LEGAL DESCRIPTION	LOT 5, BLOCK 48, MAP 295 (EASTERN ADDITION TO NEW SAN DIEGO)
SITE AREA	5,004 SF (.11 ACRES)
PROJECT DESCRIPTION	THE SCOPE OF WORK INCLUDES THE NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE CONSISTING OF 1 STORY PLUS BASEMENT, GARAGE, REAR YARD DECK, AND 2 PATIOS.
ZONING CLASSIFICATION	RS-1-1, RS-1-7
ZONING OVERLAYS	AIRPORT INFLUENCE AREA, FIRE BRUSH ZONES 300' BUFFER, FIRE HAZARD SEVERITY ZONE, SENSITIVE BIOLOGIC RESOURCES, FAA PART 77 NOTIFICATION AREA
CONSTRUCTION TYPE	TYPE V-B
OCCUPANCY	R-3 (RESIDENTIAL-SINGLE FAMILY DWELLING)
DWELLING UNITS	1 DU PER LOT
PARKING	REQUIRED: 2 SPACES PER 1 DU PROVIDED: 2 SPACES (1 ENCLOSED, 1 UNENCLOSED)
SPRINKLERS	PROVIDED: NFPA 13D
FAR	MAX: 0.59 (2,952 SF) PROVIDED: 0.45 (2,257 SF, SEE AREA CALCULATIONS)
GEOLOGICAL HAZARD AREA	52

PROJECT TEAM

OWNER/APPLICANT	ANDREW GREER 3559 4TH ST SAN DIEGO, CA 92047 P 858 703 7361
ARCHITECT	CLAD INC. COLIN LOWRY, AIA C-35202 4766 32ND ST SAN DIEGO, CA 92116 P 619 800 8105
CIVIL ENGINEER	PASCO LARET SUITER & ASSOCIATES WILL MACK, PE, PLS, ASSOCIATE PRINCIPAL 535 NORTH HIGHWAY 101, STE A SOLANA BEACH, CA 92075 P 858 259 9212 EXT 112 F 858 259 4812
BIOLOGIST	KEYSTONE ECOLOGICAL KYLE MCCANN, STAFF BIOLOGIST / PROJECT MANAGER 6804 HYDE PARK DRIVE UNIT D SAN DIEGO, CA 92119 P 951 258 4131
BRUSH MANAGEMENT	NERI LANDSCAPE ARCHITECTURE JIM NERI 928 HORNBLEND STREET, SUITE #3 SAN DIEGO, CA 92109 P 858 274 3222

AREA CALCULATIONS

FLOOR AREA CALCULATION	
BASEMENT	
LIVING	1,095 SF
STORAGE	184 SF
TOTAL	1,279 SF
FIRST FLOOR	
LIVING	913 SF
GARAGE	298 SF
TOTAL	1,211 SF
TOTAL FLOOR AREA	
	2,490 SF
OUTDOOR AREA CALCULATION	
LOWER LEVEL	
UNCOVERED PATIO	98 SF
COVERED PATIO	323 SF
UPPER LEVEL	
UNCOVERED DECK	269 SF
TOTAL OUTDOOR AREA	
	690 SF

DRAWING INDEX

A100	SITE PLAN, PROJECT INFORMATION AND DRAWING INDEX
A101	BASEMENT FLOOR PLAN
A102	FIRST FLOOR PLAN
A103	ELEVATIONS
A104	CAP CHECKLIST
C1.0	PRELIMINARY SITE DRAINAGE AND PRECISE GRADING PLAN
C2.0	PRELIMINARY SITE LID PLAN
C3.0	GEOLOGIC CROSS SECTION
BM-1	BRUSH MANAGEMENT PLAN
TS	TOPOGRAPHIC SURVEY

Architect:



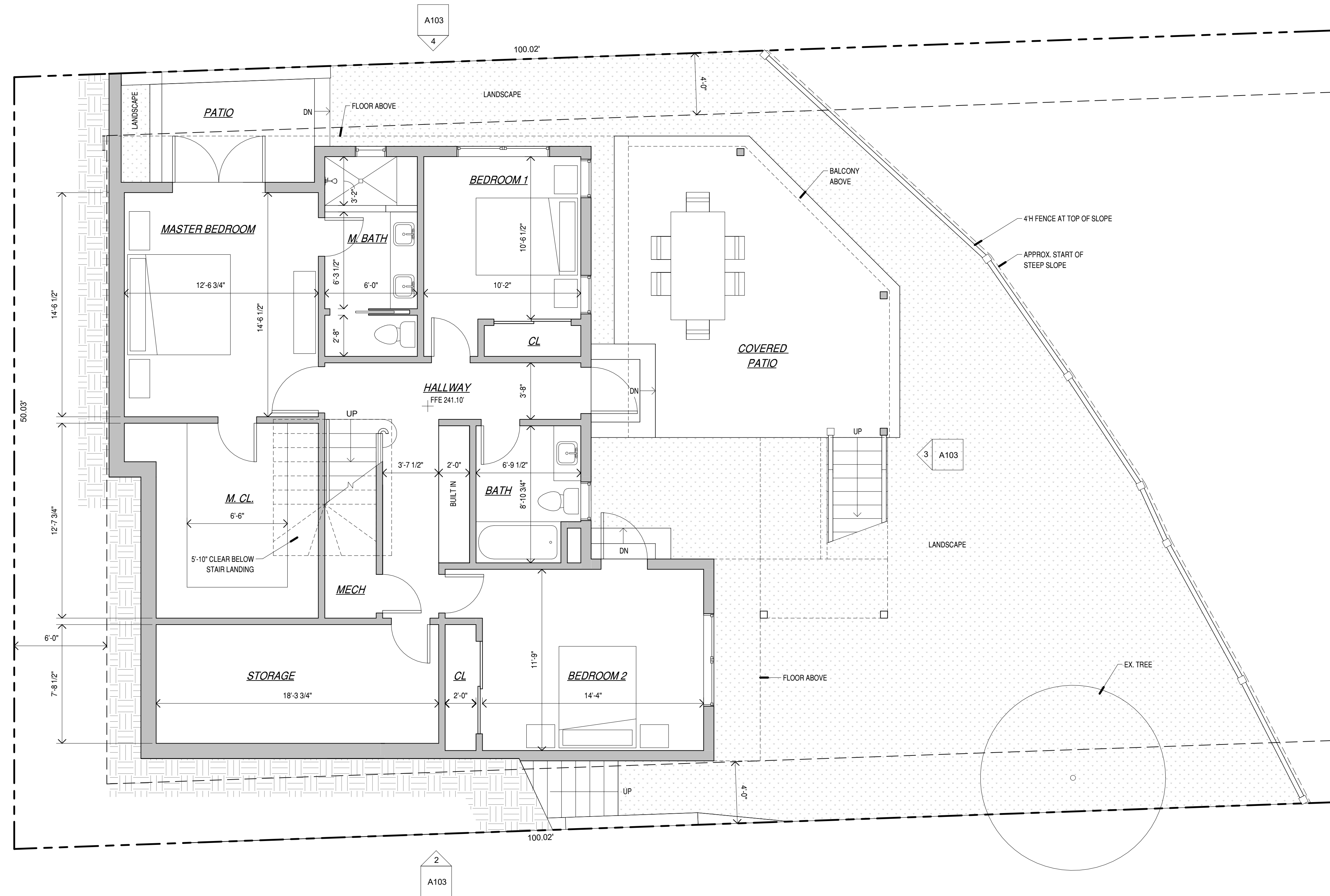
CLAD Inc.
4766 32nd Street, San Diego, CA 92116
619.800.8105

Project Number:	1704
Drawn By:	CL
Date:	10.24.2018
Revision:	
No:	Date: Notes:

Sheet Name:

SITE PLAN, PROJECT INFORMATION AND DRAWING INDEX

Sheet Number:



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

Architect:



CLAD Inc.
4766 32nd Street, San Diego, CA 92116
619.800.8105

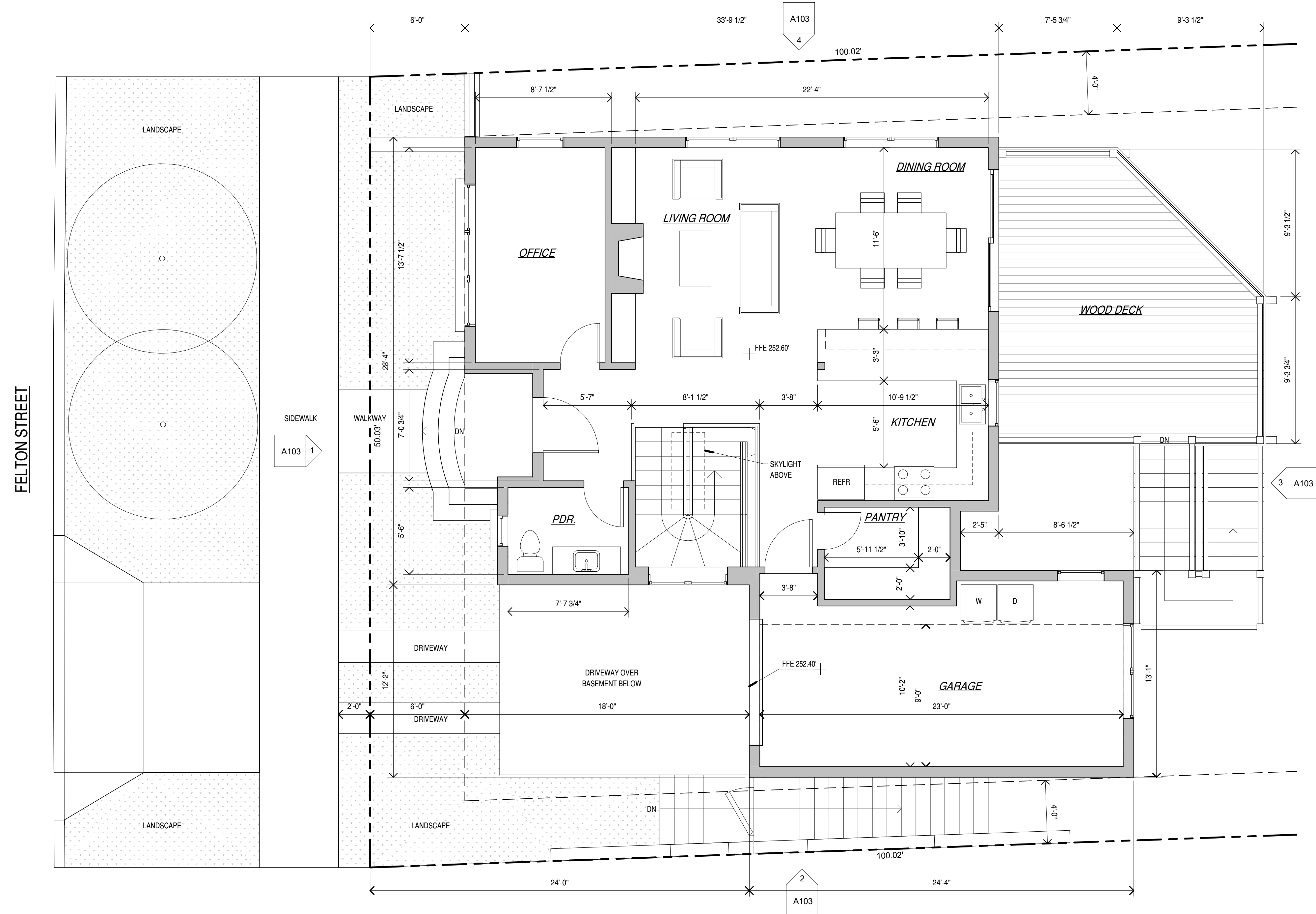
Project Number:	1704
Drawn By:	CL
Date:	08.20.2018
Revision:	
No:	Date: Notes:

Sheet Name:

BASEMENT FLOOR PLAN

Sheet Number:

A101



1 FIRST FLOOR PLAN
1/4" = 1'-0"



Architect:



CLAD Inc.
4766 32nd Street, San Diego, CA 92116
619.800.8105

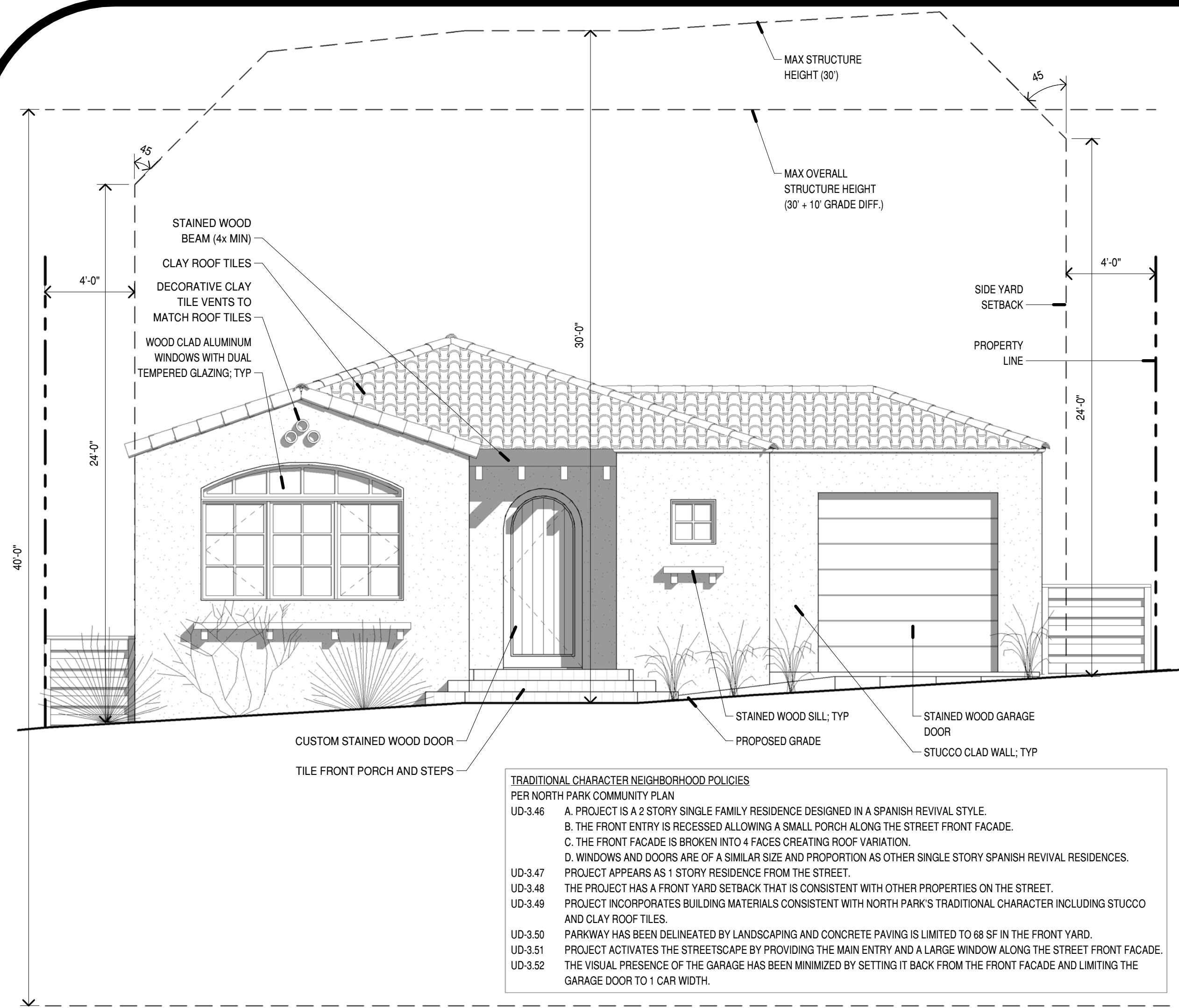
Project Number:	1704
Drawn By:	CL
Date:	08.20.2018
Revision:	
No:	Date: Notes:

Sheet Name:

FIRST FLOOR PLAN

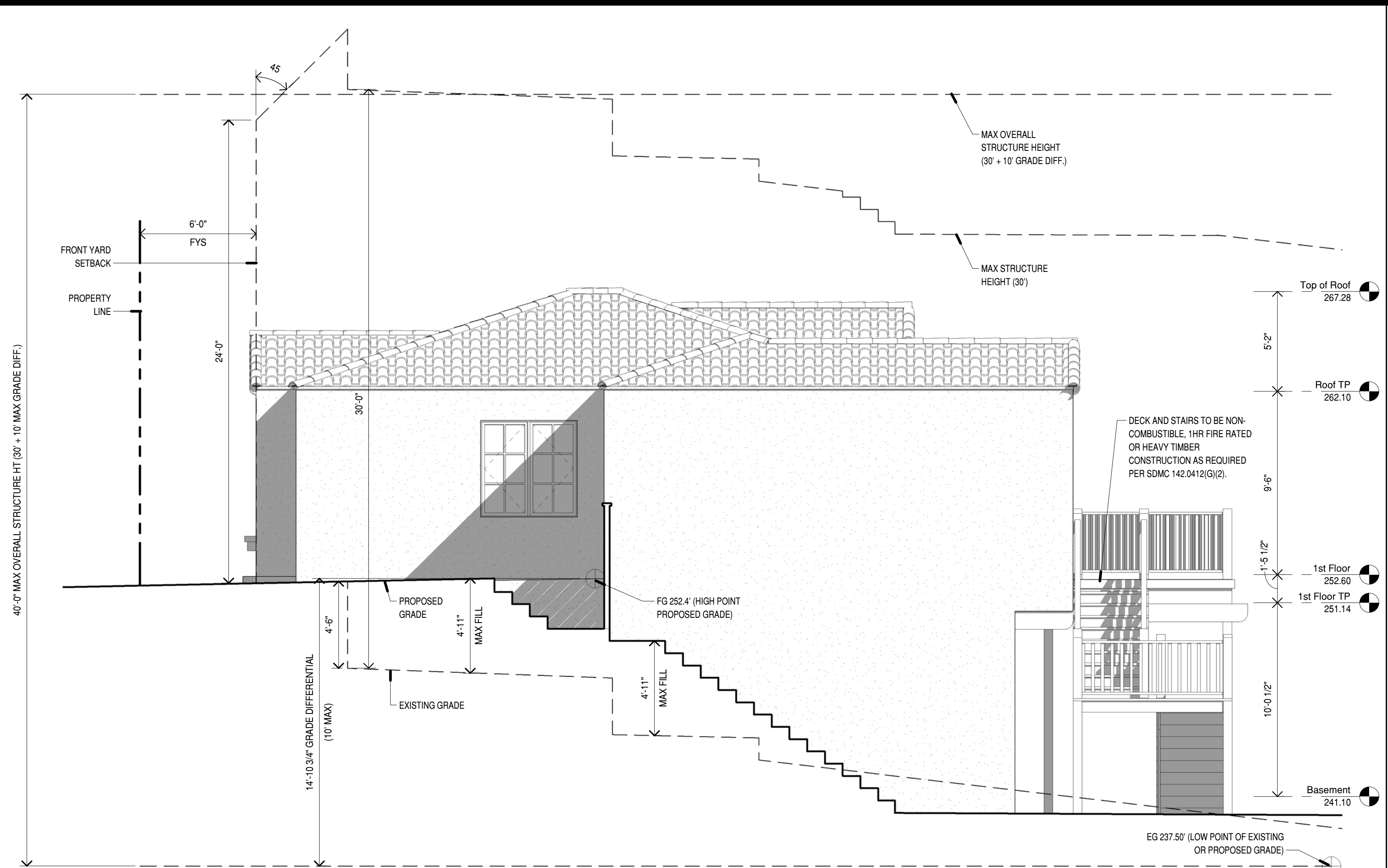
Sheet Number:

A102



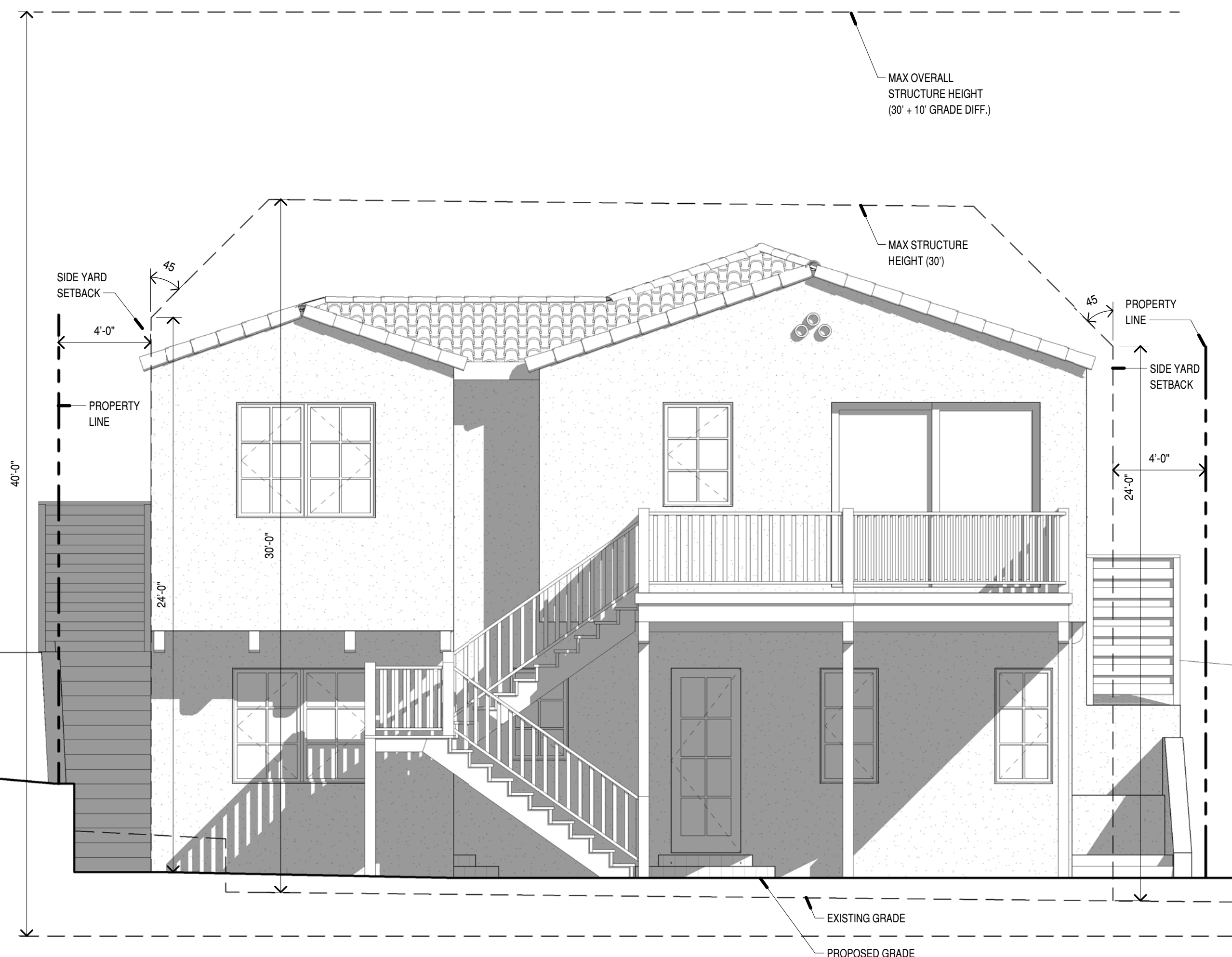
1 Front Elevation (West)

1/4" = 1'-0"



2 Side Elevation (South)

1/4" = 1'-0"



3 Rear Elevation (East)

1/4" = 1'-0"



4 Side Elevation (North)

1/4" = 1'-0"

Felton Street Residence

2135 Felton Street San Diego, CA 92104

Architect:



CLAD Inc.
4766 32nd Street, San Diego, CA 92116
619.800.8105

Project Number:	1704
Drawn By:	CL
Date:	08.20.2018
Revision:	
No:	Date: Notes:

Sheet Name:

ELEVATIONS

Sheet Number:

A103

SD CAP CONSISTENCY CHECKLIST SUBMITTAL APPLICATION

- The Checklist is required only for projects subject to CEQA review.²
- If required, the Checklist must be included in the project submittal package. Application submittal procedures can be found in [Chapter 11: Land Development Procedures](#) of the City's Municipal Code.
- The requirements in the Checklist will be included in the project's conditions of approval.
- The applicant must provide an explanation of how the proposed project will implement the requirements described herein to the satisfaction of the Planning Department.

Application Information	
Contact Information	
Project No./Name:	Felton Street Residence
Property Address:	2135 Felton Street, San Diego, CA 92104
Applicant Name/Co.:	Andrew Greer
Contact Phone:	858-703-7351
Contact Email:	andrew@thomas-strafford.com
Was a consultant retained to complete this checklist?	<input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, complete the following
Consultant Name:	Colin Lowry
Contact Phone:	619-800-8105
Company Name:	CLAD Inc.
Contact Email:	colin@cladinc.us

Project Information	
1. What is the size of the project (acres)?	.11 acres
2. Identify all applicable proposed land uses:	
<input checked="" type="checkbox"/> Residential (indicate # of single-family units):	1
<input type="checkbox"/> Residential (indicate # of multi-family units):	
<input type="checkbox"/> Commercial (total square footage):	
<input type="checkbox"/> Industrial (total square footage):	
<input type="checkbox"/> Other (describe):	
3. Is the project or a portion of the project located in a Transit Priority Area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
4. Provide a brief description of the project proposed:	THE SCOPE OF WORK INCLUDES THE NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE CONSISTING OF 1 STORY PLUS BASEMENT, GARAGE, REAR YARD DECK, AND 2 PATIOS.

² Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial level review. See Supplemental Development Regulations in the project's community plan to determine applicability.

3 City Council Approved July 12, 2016 Revised June 2017

Strategy 3: Bicycling, Walking, Transit & Land Use

<p>3. Electric Vehicle Charging</p> <ul style="list-style-type: none"> Multiple-family projects of 17 dwelling units or less: Would 3% of the total parking spaces required, or a minimum of one space, whichever is greater, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official, to allow for the future installation of electric vehicle supply equipment to provide electric vehicle charging stations at such time as it is needed for use by residents? Multiple-family projects of more than 17 dwelling units: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use by residents? Non-residential projects: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use? <p>Check "N/A" only if the project is a single-family project or would not require the provision of listed cabinets, boxes, or enclosures connected to a conduit linking the parking spaces with electrical service, e.g., projects requiring fewer than 10 parking spaces.</p> <p>N/A</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Strategy 3: Bicycling, Walking, Transit & Land Use
(Complete this section if project includes non-residential or mixed uses)

<p>4. Bicycle Parking Spaces</p> <p>Would the project provide more short- and long-term bicycle parking spaces than required in the City's Municipal Code (Chapter 14, Article 2, Division 5)?⁶</p> <p>Check "N/A" only if the project is a residential project.</p> <p>N/A</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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⁶ Non-portable bicycle corrals within 600 feet of project frontage can be counted towards the project's bicycle parking requirements.

7 City Council Approved July 12, 2016 Revised June 2017

SD CAP CONSISTENCY CHECKLIST QUESTIONS

Step 1: Land Use Consistency

The first step in determining CAP consistency for discretionary development projects is to assess the project's consistency with the growth projections used in the development of the CAP. This section allows the City to determine a project's consistency with the land use assumptions used in the CAP.

Step 1: Land Use Consistency		
Checklist Item (Check the appropriate box and provide explanation and supporting documentation for your answer)	Yes	No
A. Is the proposed project consistent with the existing General Plan and Community Plan land use and zoning designations? ⁷ QR	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B. If the proposed project is not consistent with the existing land use plan and zoning designations, and includes a land use plan and/or zoning designation amendment, would the proposed amendment result in an increased density within a Transit Priority Area (TPA) ⁸ and implement CAP Strategy 3 actions, as determined in Step 3 to the satisfaction of the Development Services Department? ⁹ QR	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C. If the proposed project is not consistent with the existing land use plan and zoning designations, does the project include a land use plan and/or zoning designation amendment that would result in an equivalent or less GHG-intensive project when compared to the existing designations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

If "Yes," proceed to Step 2 of the Checklist. For question B above, complete Step 3. For question C above, provide estimated project emissions under both existing and proposed designation(s) for comparison. Compare the maximum buildout of the existing designation and the maximum buildout of the proposed designation.

If "No" in accordance with the City's Significance Determination Thresholds, the project's GHG impact is significant. The project must nonetheless incorporate each of the measures identified in Step 2 to mitigate cumulative GHG emissions impacts unless the decision maker finds that a measure is infeasible in accordance with CEQA Guidelines Section 15091. Proceed and complete Step 2 of the Checklist.

Property is zoned RS-1-7 and RS-1-1

⁷ This question may also be answered in the affirmative if the project is consistent with SANDAG Series 12 growth projections, which were used to determine the CAP projections, as determined by the Planning Department.

⁸ This category applies to all projects that answered in the affirmative to question 3 on the previous page: Is the project or a portion of the project located in a transit priority area.

4 City Council Approved July 12, 2016 Revised June 2017

5. **Shower facilities**

If the project includes nonresidential development that would accommodate over 10 tenant occupants (employees), would the project include changing/shower facilities in accordance with the voluntary measures under the [California Green Building Standards Code](#) as shown in the table below?

Number of Tenant Occupants (Employees)	Shower/Changing Facilities Required	Two-Tier (12' X 15' X 72") Personal Effects Lockers Required
0-10	0	0
11-50	1 shower stall	2
51-100	1 shower stall	3
101-200	1 shower stall	4
Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants	1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants

Check "N/A" only if the project is a residential project, or if it does not include nonresidential development that would accommodate over 10 tenant occupants (employees).

N/A

8 City Council Approved July 12, 2016 Revised June 2017

Step 2: CAP Strategies Consistency

The second step of the CAP consistency review is to review and evaluate a project's consistency with the applicable strategies and actions of the CAP. Step 2 only applies to development projects that involve permits that would require a certificate of occupancy from the Building Official or projects comprised of one and two family dwellings or townhouses as defined in the California Residential Code and their accessory structures.⁵ All other development projects that would not require a certificate of occupancy from the Building Official shall implement Best Management Practices for construction activities as set forth in the [Greenbook](#) (for public projects).

Step 2: CAP Strategies Consistency			
Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A
Strategy 1: Energy & Water Efficient Buildings			
1. Cool/Green Roofs.			
<ul style="list-style-type: none"> Would the project include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (Attachment A)? QR Would the project roof construction have a thermal mass over the roof membrane, including areas of vegetated (green) roofs, weighing at least 25 pounds per square foot as specified in the voluntary measures under California Green Building Standards Code? QR Would the project include a combination of the above two options? <p>Check "N/A" only if the project does not include a roof component.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

⁵ Actions that are not subject to Step 2 would include, for example: 1) discretionary map actions that do not propose specific development; 2) permits allowing wireless communication facilities; 3) special events permits; 4) use permits or other permits that do not result in the expansion or enlargement of a building (e.g., decks, garages, etc.); and 5) non-building infrastructure projects such as roads and pipelines. Because such actions would not result in new occupancy buildings from which GHG emissions reductions could be achieved, the items contained in Step 2 would not be applicable.

5 City Council Approved July 12, 2016 Revised June 2017

6. **Designated Parking Spaces**

If the project includes a nonresidential use in a TPA, would the project provide designated parking for a combination of low-emitting, fuel-efficient, and carpool/vanpool vehicles in accordance with the following table?

Number of Required Parking Spaces	Number of Designated Parking Spaces
0-5	0
10-25	2
26-50	4
51-75	6
76-100	9
101-150	11
151-200	18
201 and over	At least 10% of total

This measure does not cover electric vehicles. See Question 4 for electric vehicle parking requirements.

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces. The required designated parking spaces are to be provided within the overall minimum parking requirement, not in addition to it.

Check "N/A" only if the project is a residential project, or if it does not include nonresidential use in a TPA.

N/A

9 City Council Approved July 12, 2016 Revised June 2017

2. **Plumbing fixtures and fittings**

With respect to plumbing fixtures or fittings provided as part of the project, would those low-flow fixtures/appliances be consistent with each of the following:

- Residential buildings:
- Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi
 - Standard dishwashers: 4.25 gallons per cycle;
 - Compact dishwashers: 3.5 gallons per cycle; and
 - Clothes washers: water factor of 6 gallons per cubic feet of drum capacity?
- Nonresidential buildings:
- Plumbing fixtures and fittings that do not exceed the maximum flow rate specified in [Table AS-303.2.3.1 \(voluntary measures\)](#) of the [California Green Building Standards Code](#) (See Attachment A); and
 - Appliances and fixtures for commercial applications that meet the provisions of [Section AS-303.3 \(voluntary measures\)](#) of the [California Green Building Standards Code](#) (See Attachment A)?

Check "N/A" only if the project does not include any plumbing fixtures or fittings.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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6 City Council Approved July 12, 2016 Revised June 2017

7. **Transportation Demand Management Program**

If the project would accommodate over 50 tenant-occupants (employees), would it include a transportation demand management program that would be applicable to existing tenants and future tenants that includes:

- At least one of the following components:
- Parking cash out program
 - Parking management plan that includes charging employees market-rate for single-occupancy vehicle parking and providing reserved, discounted, or free spaces for registered carpools or vanpools
 - Unbundled parking whereby parking spaces would be leased or sold separately from the rental or purchase fees for the development for the life of the development
- And at least three of the following components:
- Commitment to maintaining an employer network in the SANDAG iCommute program and promoting its RideMatcher service to tenants/employees
 - On-site carsharing vehicle(s) or bikesharing
 - Flexible or alternative work hours
 - Telework program
 - Transit, carpool, and vanpool subsidies
 - Pre-tax deduction for transit or vanpool fares and bicycle commute costs
 - Access to services that reduce the need to drive, such as cafes, commercial stores, banks, post offices, restaurants, gyms, or childcare, either onsite or within 1.320 feet (1/4 mile) of the structure use?

Check "N/A" only if the project is a residential project or if it would not accommodate over 50 tenant-occupants (employees).

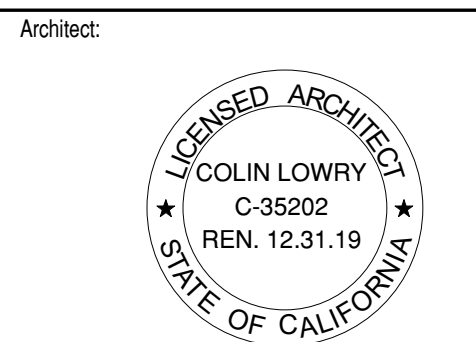
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N/A

10 City Council Approved July 12, 2016 Revised June 2017

Felton Street Residence

2135 Felton Street San Diego, CA 92104



CLAD Inc.
4766 32nd Street, San Diego, CA 92116
619.800.8105

Project Number: 1704
Drawn By: CL
Date: 08.20.2018
Revision:
No: Date: Notes:

Sheet Name:

CAP CHECKLIST
Sheet Number:

PRELIMINARY SITE DRAINAGE & PRECISE GRADING PLAN FOR 2135 FELTON STREET

OWNER:

ANDREW GREER
3554 FOURTH AVE
SAN DIEGO, CA 92103
858.703.7361

SITE INFORMATION:

SITE ADDRESS: 2135 FELTON STREET APN: 539-202-02 SITE AREA: 5,000 SQ.FT. / 0.11 ACRES

LEGAL DESCRIPTION:

LOT 5, BLOCK 48, MAP 295 (EASTERN ADDITION TO NEW SAN DIEGO)

BASIS OF ELEVATIONS:

CITY OF SAN DIEGO BENCHMARK
MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB
LOCATION: NORTHWEST CORNER OF JUNIPER STREET AND 33RD STREET
DATUM: M.S. (NAD 29)
ELEVATION: 281.24'

SURVEY NOTE:

SURVEY COMPLETED BY: VERNON V. FRANCK, LS 7927
METROPOLITAN MAPPING
3712 30TH STREET
SAN DIEGO, CA 92104
(619) 564-6091
DATE COMPLETED: 03/09/16

WORK TO BE DONE:

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE MOST RECENT EDITION OF SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS

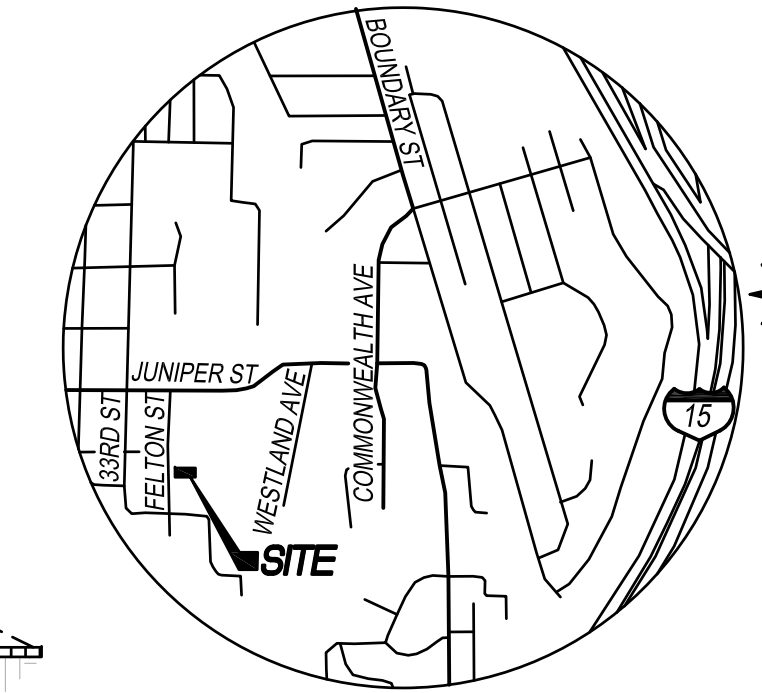
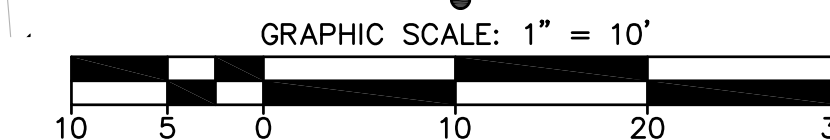
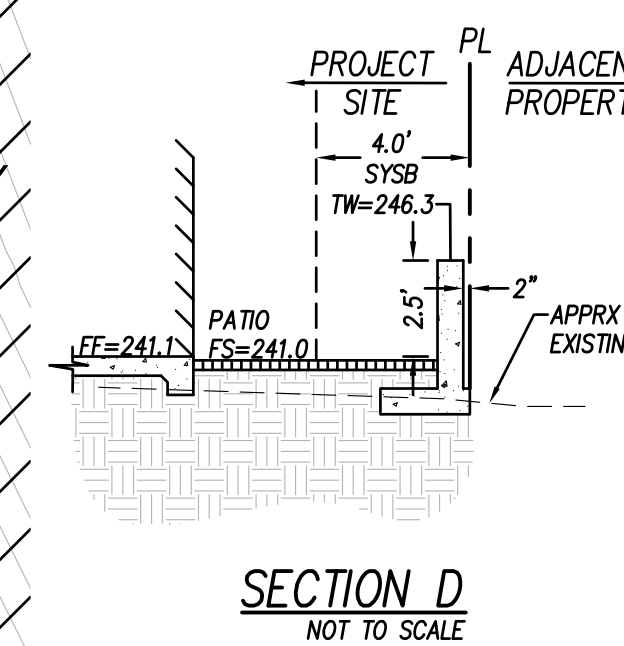
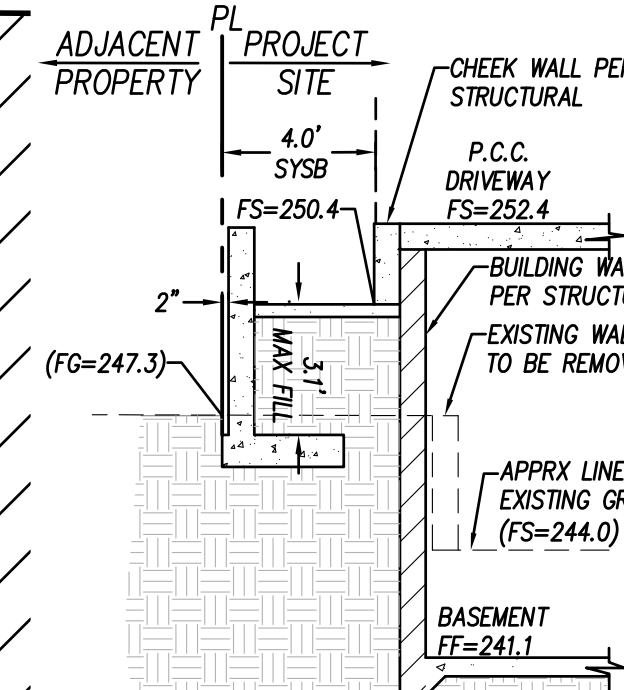
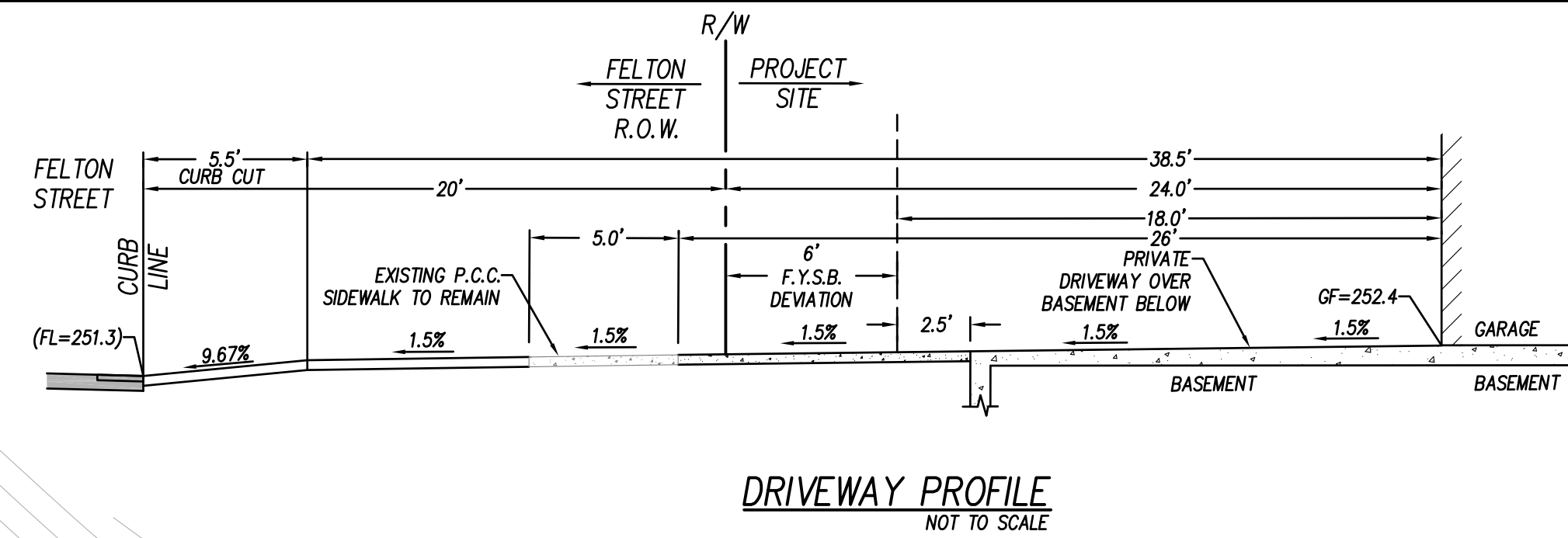
DOCUMENT NO. DESCRIPTION
PW1070116-01 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2015 ED.
PW1070116-02 CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2015 EDITION
PW1092816-07 CA DEPARTMENT OF TRANSPORTATION MUTCD, 2014 EDITION
PW1092816-05 CA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2015 ED.

STANDARD DRAWINGS

DOCUMENT NO. DESCRIPTION
PW1070116-03 CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2016 ED.
PW1092816-06 CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2015 ED.

LEGEND

Table with 2 columns: Legend Item and Symbol. Items include: ADJOINING RIGHT OF WAY, EXISTING BUILDING, EXISTING CURB, RIGHT OF WAY CENTERLINE, EXISTING WATER SERVICE WITH 3" METER, FINISHED SURFACE ELEVATION, EXISTING CONTOUR, EXISTING BUILDING, EXISTING PCC, EXISTING SEWER MAIN, EXISTING WATER MAIN, EXISTING WALL, PROPOSED BUILDING, PROPOSED 4" SEWER LATERAL, PROPOSED P.C.C. HARDSCAPE, PROPOSED 6" CURB & GUTTER, PROPOSED CONTOURS, PROPOSED RETAINING WALL (PER SEPARATE PERMIT), PROPOSED LID AREA, PROPOSED TRENCH RESURFACING, SAW CUT LINE, GRIND & OVERLAY, LIMIT OF WORK, TOP OF SLOPE.



IMPORTANT NOTICE
Section 4216 of the Government Code requires that a Dig Alert Identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert I.D. Number Call Underground Service Alert at 8-1-1 Two working days before you dig

GRADING TABULATIONS:

TOTAL AMOUNT OF SITE TO BE GRADED: AREA = 0.08 ACRES
AMOUNT OF CUT: 120 CY
MAXIMUM DEPTH OF CUT OUTSIDE BUILDING FOOTPRINT: 4.6'
MAXIMUM DEPTH OF CUT WITHIN BUILDING FOOTPRINT: 6.7'
AMOUNT OF FILL: 20 CY
MAXIMUM DEPTH OF FILL OUTSIDE BUILDING FOOTPRINT: 3.1'
MAXIMUM DEPTH OF FILL WITHIN BUILDING FOOTPRINT: 1.3'
NET IMPORT/EXPORT OF SOIL: 100 CUBIC YARDS EXPORT

IMPERVIOUS AREA TABULATIONS:

TOTAL DISTURBANCE AREA: 3,439 SF
TOTAL SITE AREA: 5,001 SF
EXISTING IMPERVIOUS AREA: 441 SF / 9%
PROPOSED IMPERVIOUS AREA: 1,782 SF / 36%
TOTAL IMPERVIOUS AREA: 1,782 SF
IMPERVIOUS % INCREASE: 27%

PASCO LARET SUITER & ASSOCIATES
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
595 North Highway 101, Ste A, Solana Beach, CA 92075
ph 858.259.9212 | fx 858.259.4812 | pln@pascoengineering.com

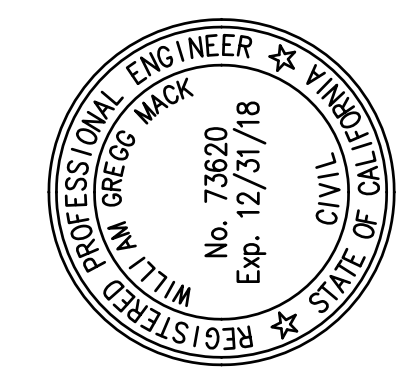
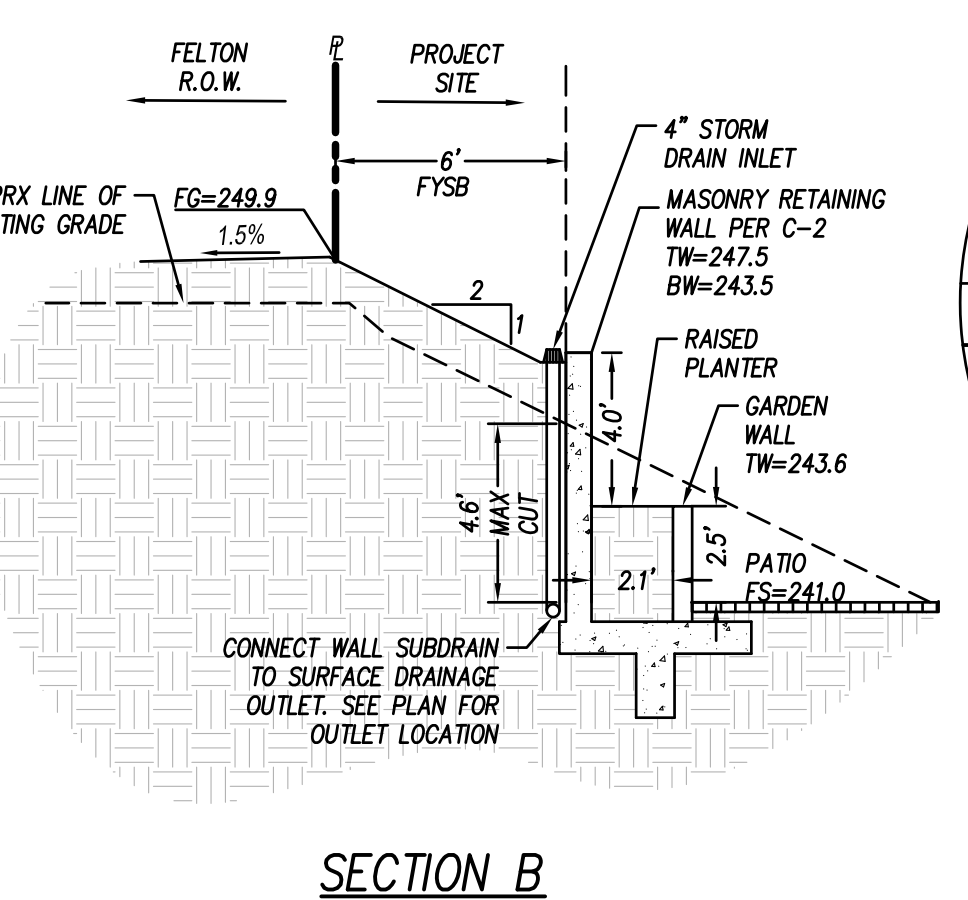
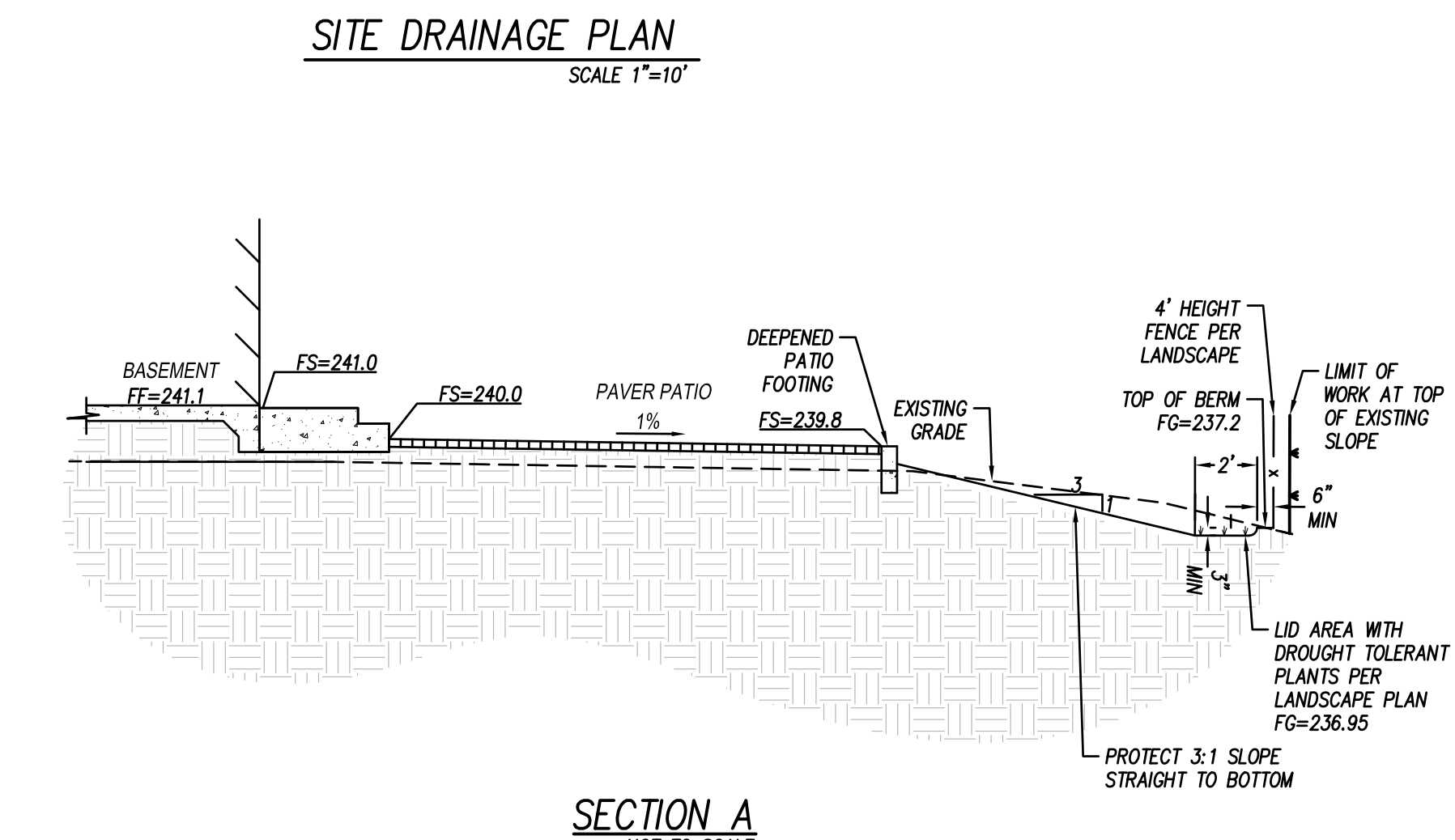
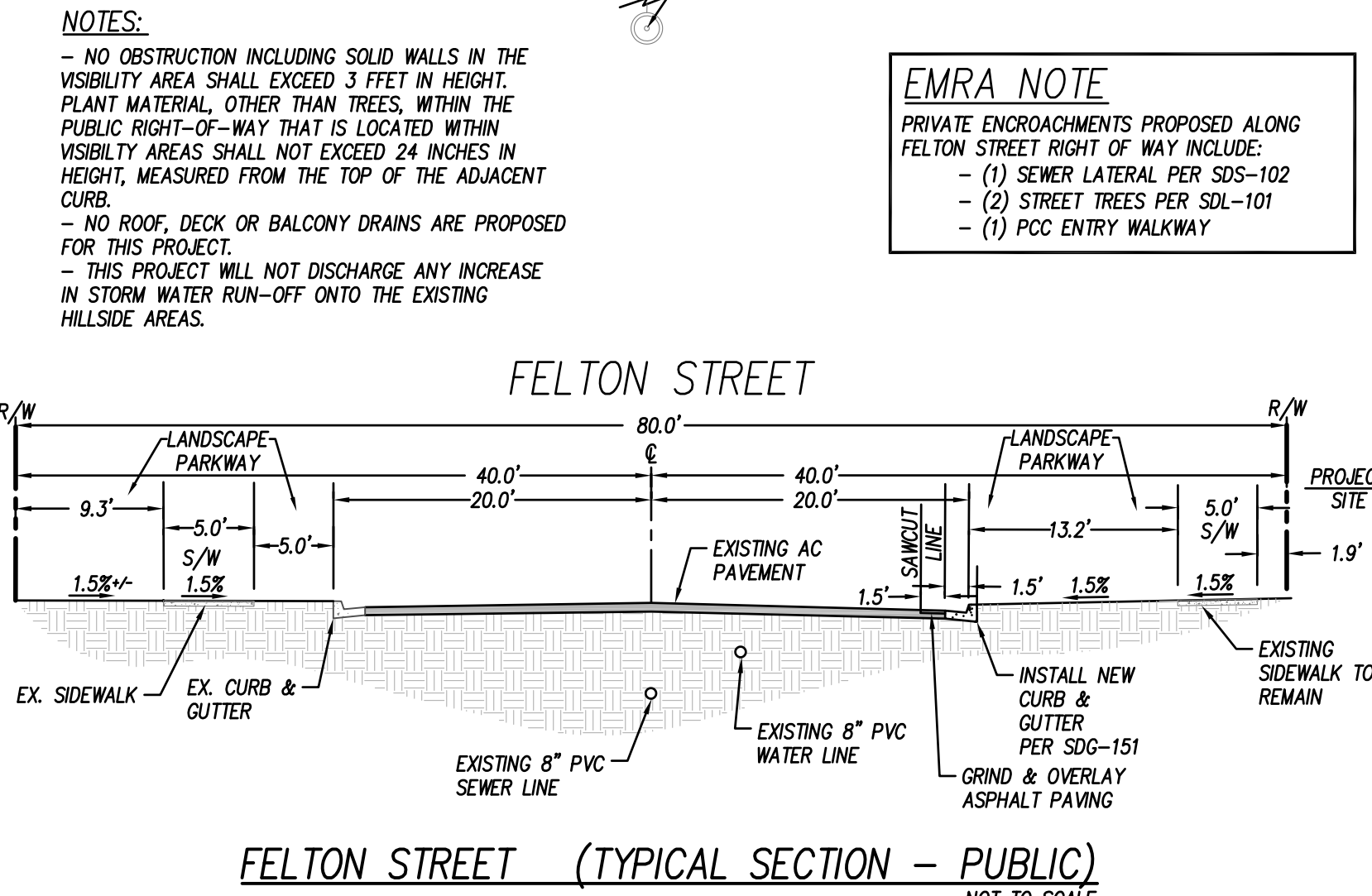
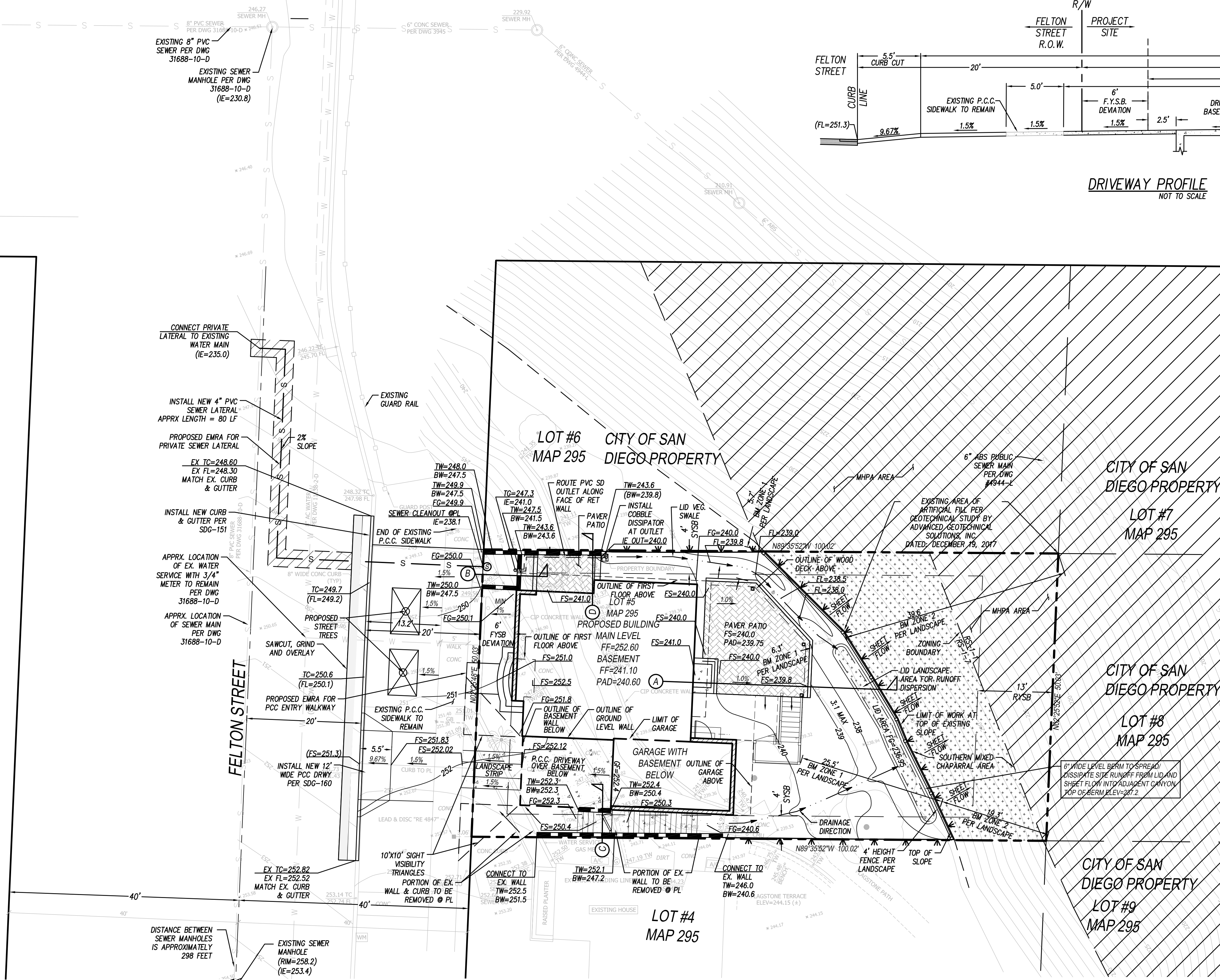


Table with 2 columns: revision, date. Includes drawing date 08/30/2018, drawn by LSM, checked by WGM, job PLSA 2721, and sheet number C1.0 of 3.



NOTES:
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
- PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- NO ROOF, DECK OR BALCONY DRAINS ARE PROPOSED FOR THIS PROJECT.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.

EMRA NOTE
PRIVATE ENCROACHMENTS PROPOSED ALONG FELTON STREET RIGHT OF WAY INCLUDE:
- (1) SEWER LATERAL PER SDS-102
- (2) STREET TREES PER SDL-101
- (1) PCC ENTRY WALKWAY

ASBS CONDITIONS

THIS PROJECT HAS BEEN IDENTIFIED AS BEING WITHIN AN AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS) WATERSHED ACCORDING TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB).

IN ACCORDANCE WITH RWQCB RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS:

- THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQCB;
- THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS, AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND
- THE DISCHARGES:
 - ARE ESSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE;
 - ARE DESIGNED TO PREVENT SOIL EROSION;
 - OCCUR ONLY DURING WET WEATHER; AND
 - ARE COMPOSED OF ONLY STORM WATER RUNOFF.

NON-STORM WATER DISCHARGES (I.E. HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS AREAS IS PROHIBITED AS DEFINED IN ORDER NO. R9-2010-0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED TO THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.

CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE WATER QUALITY TECHNICAL REPORT (WQTR) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMP'S SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCL WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCL.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND AFTER EACH RAIN EVENT.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DISCHARGE. AS SOON AS PRACTICAL, ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH NON STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCL SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXIT AREA SHALL BE ON LEVEL, STABILIZED GROUND. THE ENTRANCE AND EXIT AREA SHALL BE CONSTRUCTED BY OVERLAYING THE STABILIZED ACCESS AREA WITH 3 TO 6" DIAMETER STONES. THE AREA SHALL BE MINIMUM 50' LONG X 30' WIDE. IN LIEU OF STONE COVERED AREA, THE CONTRACTOR MAY CONSTRUCT RUMBLE RACKS OF STEEL PANELS WITH RIDGES MINIMUM 20' LONG X 30' WIDE CAPABLE OF PREVENTING THE MIGRATION OF CONSTRUCTION MATERIALS INTO THE TRAVELED WAYS.
- PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING WATER POLLUTION CONTROL MEASURES BASED ON PERFORMANCE STANDARDS. PERFORMANCE STANDARDS SHALL INCLUDE:
 - NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MEP3. STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MEP.
 - EROSION SHALL BE CONTROLLED BY ACCEPTABLE BMP'S TO THE MEP. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMP'S INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.
 - AN INACTIVE AREA SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION:** ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES:** DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING:** POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

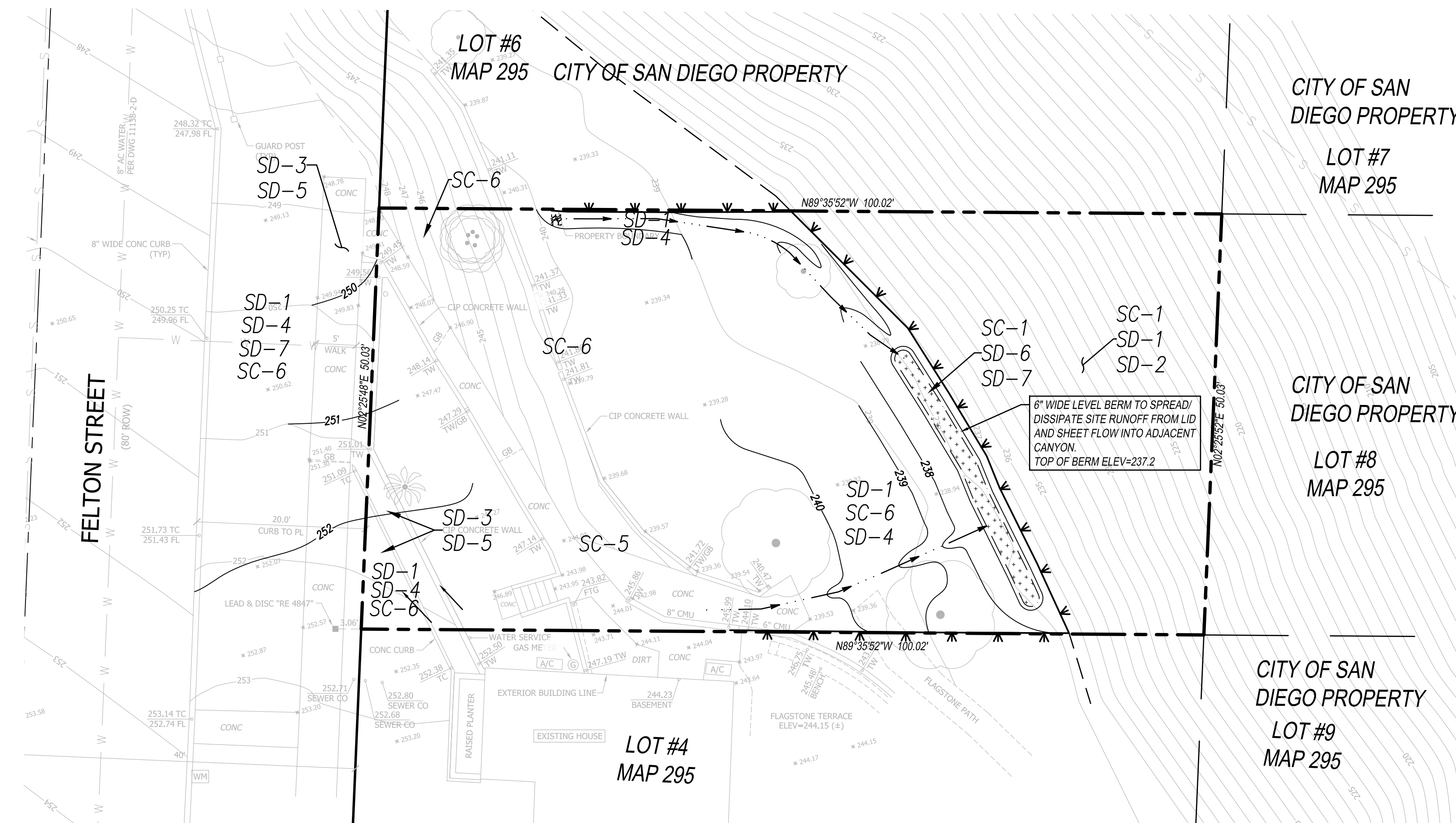
PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

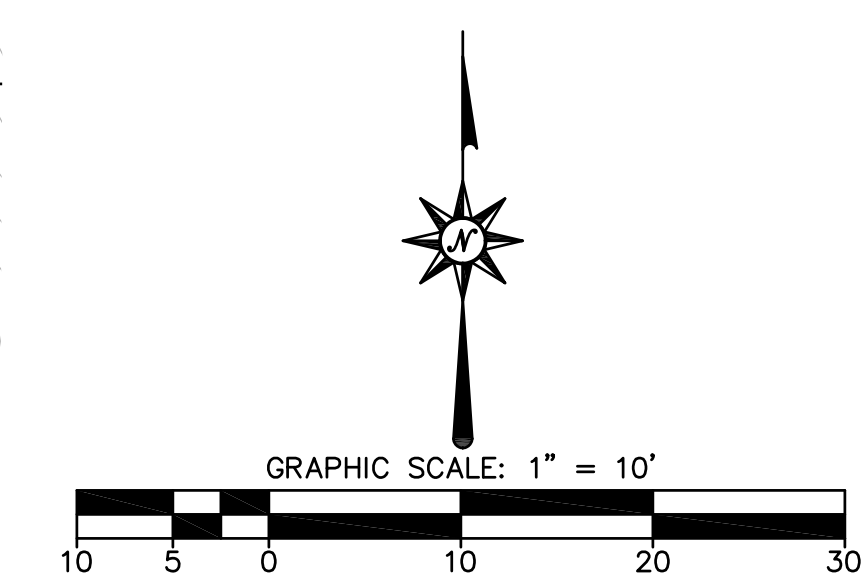
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EMRA	STREET TREES	FUTURE	FUTURE	1
EMRA	ENTRY WALKWAY	FUTURE	FUTURE	1
EMRA	DRIVEWAY	FUTURE	FUTURE	1

WATER & SEWER NOTES

- LOCATE WATER SERVICE (METER BOX) AND SEWER HOUSE CONNECTIONS (SEWER CLEANOUT) OUT OF DRIVEWAYS AND WALKWAYS (UNLESS OTHERWISE APPROVED BY THE R.E.). SEWER AND WATER HOUSE CONNECTIONS SHALL BE LOCATED NO LESS THAN 5 FEET AWAY FROM DRIVEWAYS. THE SEWER LATERAL AND THE WATER SERVICE LINE SHALL BE SEPARATED AT A HORIZONTAL DISTANCE OF 5 FEET AND A VERTICAL DISTANCE OF 1 FOOT (WITH THE WATER SERVICE AT THE HIGHER ELEVATION). THE SEWER LATERAL AND THE WATER SERVICE LINE SHALL BE INSTALLED IN A RELATIVE LOCATION SO THAT THE SEWER LATERAL IS LOCATED IN THE DOWNSTREAM DIRECTION OF THE STREET. IF THE ABOVE CRITERIA CANNOT BE MET, THE SEWER LATERAL AND THE WATER SERVICE LINE SHALL BE SEPARATED BY 10 FEET.
- ALL BURIED DUCTILE IRON PIPES, FITTINGS, VALVES, AND APPURTENANCES SHALL HAVE CORROSION CONTROL MEASURES AS REQUIRED BY THE CITY OF SAN DIEGO'S SEWER AND WATER DESIGN GUIDES. IF THE CORROSIIVITY OF THE SOIL HAS NOT BEEN DETERMINED BY JOB-SPECIFIC TESTING, ALL BURIED DUCTILE IRON PIPE AND FITTINGS SHALL BE INSTALLED WITH A BONDED DIELECTRIC COATING AND CATHODIC PROTECTION. BONDED DIELECTRIC COATINGS SHALL BE 24 MIL DFT FUSION BONDED EPOXY (AWWA C213/C116), LIQUID EPOXY (AWWA C210), OR POLYURETHANE (AWWA C222). A COLD, FIELD APPLIED, THREE-PART PETROLEUM WAX TAPE COATING SYSTEM (AWWA C217) MAY BE SUBSTITUTED FOR THE BONDED DIELECTRIC COATING, IF APPROVED BY THE RESIDENT ENGINEER.
- ALL PROPOSED WATER AND SEWER FACILITY INSTALLATIONS SHALL BE CONSTRUCTED WITH MATERIALS CURRENTLY LISTED IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER UTILITIES DEPARTMENT APPROVED MATERIALS LIST AS REFERENCED IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. RECENT REVISIONS INCLUDE BUT ARE NOT LIMITED TO THE REQUIREMENT FOR POLYMER CONCRETE WATER METER BOXES INSTEAD OF STANDARD PRECAST CONCRETE WATER METER BOXES.
- NO TREES ALLOWED WITHIN 10 FEET OF ANY SEWER MAIN OR SEWER LATERAL, FIRE HYDRANTS, WATER AND RECLAIMED WATER MAIN OR SERVICES.
- ALL EXISTING UNUSED SEWER LATERALS SHALL BE PLUGGED AT THE PROPERTY LINE OR FACE OF SHORING BY CONTRACTOR.



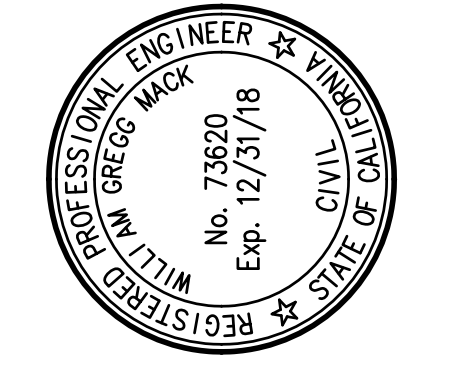
SITE LID PLAN
SCALE 1"=10'



SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS		FORM I-4			
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S SC-1 THROUGH SC-6. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST					
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS					
SOURCE CONTROL REQUIREMENT	APPLIED?				
SC-1 PREVENTION OF ILLICIT DISCHARGES INTO THE MSA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SC-2 STORM DRAIN STENCILING OR SIGNAGE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SC-6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INTERIOR PARKING GARAGES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FOOD SERVICE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REFUSE AREAS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INDUSTRIAL PROCESSES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FUEL DISPENSING AREA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LOADING DOCKS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FIRE SPRINKLER TEST WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:					

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS		FORM I-5			
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S SD-1 THROUGH SD-8. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST					
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS					
SITE DESIGN REQUIREMENT	APPLIED?				
SD-1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-3 MINIMIZE IMPERVIOUS AREA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-6 RUNOFF COLLECTION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SD-8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:					

PRELIMINARY SITE LID PLAN
FOR
2135 FELTON STREET



PASCO LARET SUITER & ASSOCIATES
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
535 North Highway 101, Ste. A, Solana Beach, CA 92075
ph 858.259.8212 | fx 858.259.4812 | pascoengineering.com

WILLIAM G. MACK
R.C.E. # 73620

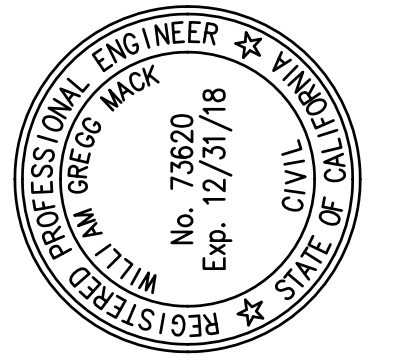
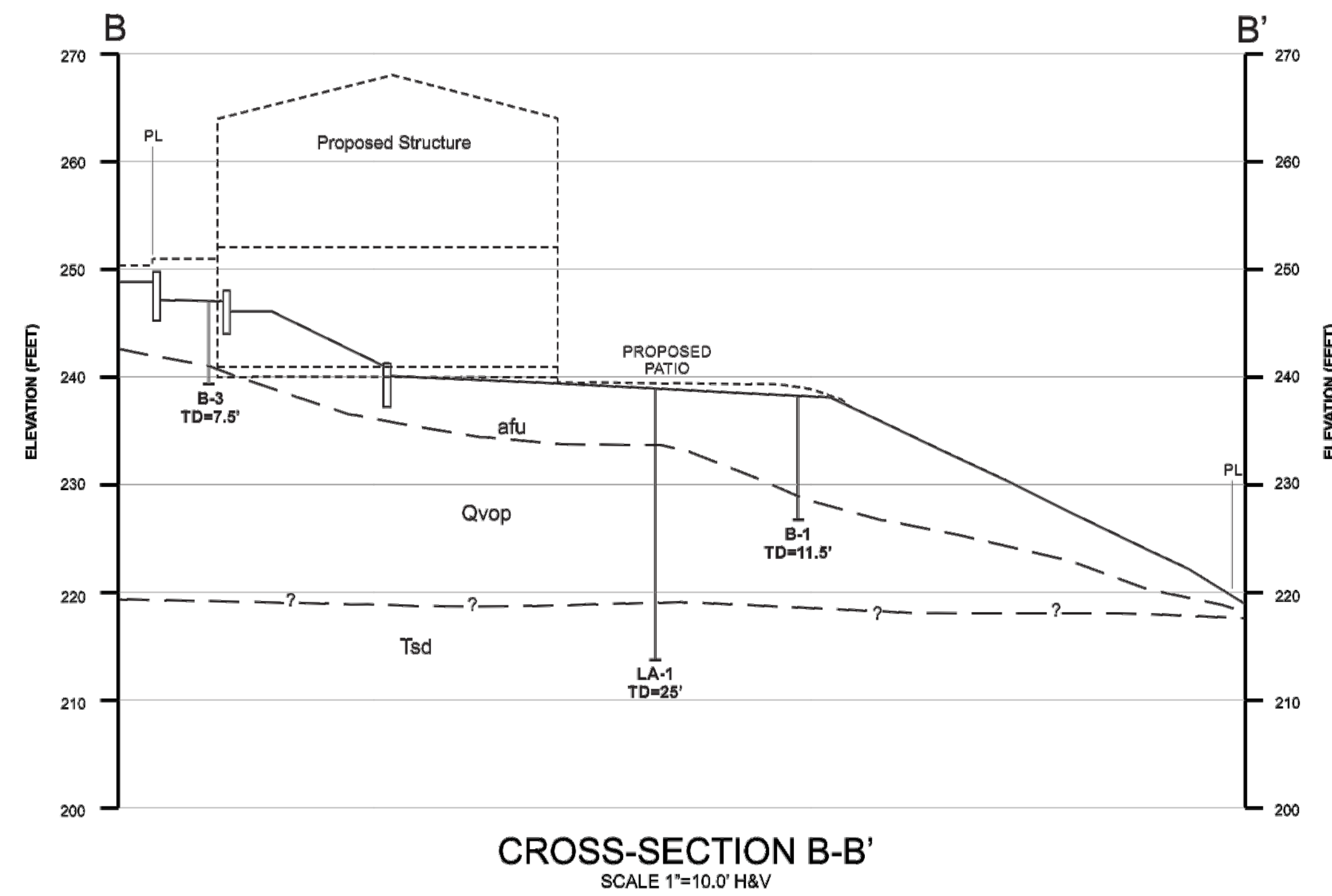
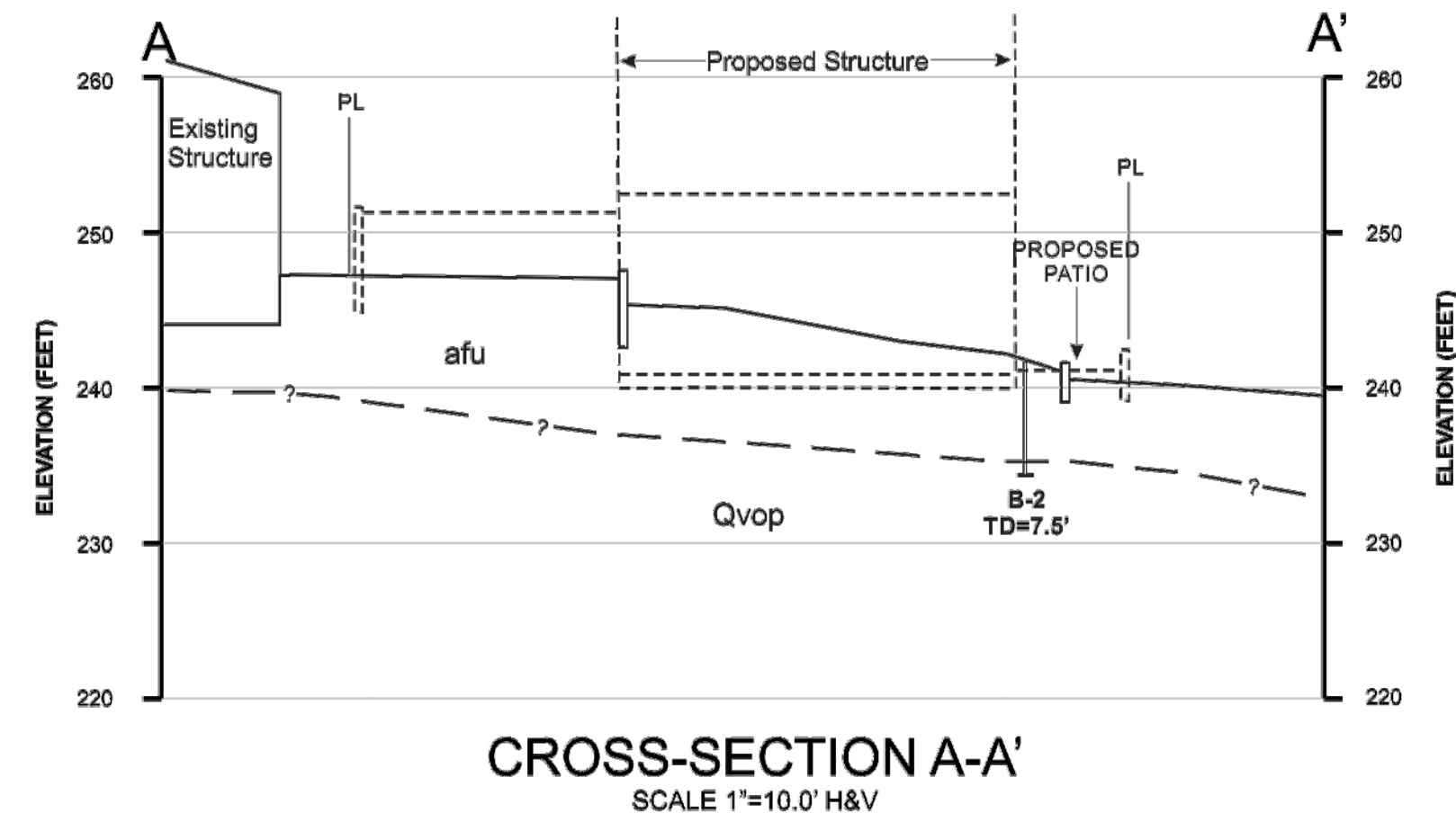
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checked by:	WGM
job:	PLSA 2721
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**GEOLOGIC CROSS SECTIONS
FOR
2135 FELTON STREET**

LEGEND:

LA-4	Approximate location of limited access borings (AGS, May 2017)
B-3	Approximate location of limited access borings (AGS, Feb. 2017)
afu	Artificial Fill (Undocumented)
Qvop	Very Old Paralac Deposits (Bracketed where buried)
Tsd	San Diego Formation (Bracketed where buried)
---	Approximate location of Geologic Contact (Querried where uncertain)
—	Existing Grade
- - -	Proposed Grade

INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. PLEASE REFER TO GEOTECHNICAL STUDY BY ADVANCED GEOTECHNICAL SOLUTIONS, INC. DATED DECEMBER 19, 2017 FOR SECTIONS A-A' & B-B' LOCATIONS AND COMPLETE GEOTECHNICAL REPORT..



PASCO LARET SUITER & ASSOCIATES
 CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
 535 North Highway 101, Ste. A, Solana Beach, CA 92075
 ph 858.259.8212 | fx 858.259.4812 | plsengineering.com

WILLIAM G. MACK R.C.E. # 73620

revision	date
date:	08/30/2018
drawn by:	LSM
checked by:	WGM
job:	PLSA 2721

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PLATE 2
 Geologic Cross-Sections
 A-A' & B-B'
AGS
 ADVANCED GEOTECHNICAL SOLUTIONS, INC.
 Project: P/W 1702-02 Report: 1702-02-B-2 Date: Dec. 2017

BRUSH MANAGEMENT ZONES

BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES ON PUBLICLY OR PRIVATELY OWNED PREMISES THAT ARE WITHIN 100 FEET OF A STRUCTURE AND CONTAIN NATIVE OR NATURALIZED VEGETATION.

BRUSH MANAGEMENT ZONES:

- BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE, SHALL BE LEAST FLAMMABLE, AND SHALL TYPICALLY CONSIST OF PAVEMENT AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING.
- BRUSH MANAGEMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND TYPICALLY CONSISTS OF THINNED, NATIVE OR NATURALIZED NON-IRRIGATED VEGETATION.

ALL ZONE REQUIREMENTS

A. THINNING AND PRUNING, NATIVE/NATURALIZED VEGETATION - TWO KEY FACTORS IN CREATING A FIRE SAFE LANDSCAPE ARE PROVIDING FUEL DISCONTINUITY BY THE SEPARATION OF THE FLAMMABLE PLANT COVER (THINNING) AND REDUCTION IN FUEL LOAD BY CUTTING OUT DEAD AND EXCESSIVE GROWTH OF THE NATIVE/NATURALIZED VEGETATION (PRUNING). PLANTS TO BE RETAINED SHOULD BE CONSISTENT WITH THE ALLOWABLE COVERAGE, MASSING AND SPACING REQUIRED IN THE BRUSH MANAGEMENT REGULATIONS AND THE LANDSCAPE STANDARDS. WHENEVER POSSIBLE, A PERSON KNOWLEDGEABLE ABOUT THE USE AND MAINTENANCE OF NATIVE PLANTS SHOULD BE CONSULTED TO OVERSEE THE SELECTION, THINNING, AND PRUNING OF THESE PLANTS.

THE PROGRESSION OF WORK SHOULD PROCEED AS FOLLOWS:

- REMOVE DEAD PLANTS.
- THIN OUT BRUSH MANAGEMENT AREAS TO THE REQUIRED COVERAGE.
- PRUNE REMAINING PLANTS.
- DISPOSE OR MULCH DEBRIS AND TRIMMINGS, AND
- MAINTAIN ZONE ONE ON A YEAR-ROUND BASIS, ZONE TWO ON A SEASONAL BASIS.

1. THINNING - THIS FIRST STEP REQUIRES IDENTIFICATION OF THE NATIVE/NATURALIZED SPECIES AND A FAMILIARITY WITH THEIR VARIOUS CHARACTERISTICS SUCH AS ROOTING DEPTH, FUEL LOADS, FLAMMABILITY, AS WELL AS HABITAT AND AESTHETIC VALUE.

THINNING SHOULD BE PRIORITIZED AS FOLLOWS: 1) INVASIVE NON-NATIVE SPECIES WITH THE EXCEPTION OF EUCALYPTUS TREES IN EUCALYPTUS WOODLAND AREAS, 2) NON-NATIVE SPECIES, 3) FLAMMABLE NATIVE SPECIES, 4) NATIVE SPECIES, AND 5) REGIONALLY SENSITIVE SPECIES.

ALL VEGETATION THAT IS NOT TO BE REMOVED DURING THE INITIAL THINNING SHOULD BE NOTED OR FLAGGED. THE REMAINING PLANTS WHICH ARE NOT TO BE SAVED SHOULD BE CUT SIX INCHES ABOVE THE GROUND WITHOUT PULLING OUT THE ROOTS.

CERTAIN NATIVE PLANTS, SUCH AS THOSE FOUND IN COASTAL SAGE SCRUB, SHOULD BE CUT BACK TO WITHIN 12 INCHES OF THE ROOT CROWN, AS SPROUTING AND RE-GROWTH OCCUR. THESE PLANTS CAN BE MAINTAINED AS LOW, SUCCULENT MOUNDS. EXAMPLES INCLUDE ARTEMISIA CALIFORNICA (CALIFORNIA SAGEBRUSH), SALVIA MELIFERA (BLACK SAGE), ADEENOSTOMA FASCICULATUM (CHAMISE) AND ERIOGONUM FASCICULATUM (BUCKWHEAT).

2. PRUNING - AFTER THINNING OF THE NATIVE/NATURALIZED VEGETATION, THE FUEL LOAD SHOULD BE FURTHER REDUCED BY PRUNING THE PLANTS THAT HAVE NOT BEEN REMOVED. WHILE PRUNING INDIVIDUAL PLANTS IS NOT FEASIBLE IN COASTAL SAGE SCRUB, IT IS VERY EFFECTIVE FOR MANY HARD CHAPARRAL SPECIES, SUCH AS CEANOETHUS (WILD LILAC), HETEROMELES (TOYON), RHUS (LEMONADE BERRY, SUGARBUSH), AND RHAMNUS (COFFEEBERRY, REDBERRY). THESE PLANTS CAN BE SHAPED INTO ATTRACTIVE, FIRE SAFE SPECIMENS BY PRUNING DEAD AND EXCESSIVELY TWIGGY GROWTH. REMOVE THE LIMBS TOUCHING THE GROUND AND A LARGE VOLUME OF MATERIAL FROM THE CANOPY. THE LIMBS THAT REMAIN SHOULD BE THOSE WITH YOUNG, VIGOROUS SHOOTS.

TREES AND LARGE TREE FORM SHRUBS (E.G., OAKS, SUMAC, TOYON) WHICH ARE BEING RETAINED SHALL BE PRUNED TO PROVIDE CLEARANCE OF THREE TIMES THE HEIGHT OF THE UNDERSTORY PLANT MATERIAL OR SIX FEET, WHICHEVER IS HIGHER. DEAD AND EXCESSIVELY TWIGGY GROWTH SHALL ALSO BE REMOVED.

ALL PLANTS OR PLANT GROUPINGS EXCEPT CACTI, SUCCULENTS, TREES AND TREE-FORM SHRUBS SHALL BE SEPARATED BY A DISTANCE THREE TIMES THE HEIGHT OF THE TALLEST ADJACENT

PLANTS.

MAXIMUM COVERAGE AND AREA LIMITATIONS AS STATED HEREIN SHALL NOT APPLY TO INDIGENOUS NATIVE TREE SPECIES (I.E., PINUS, QUERCUS, PLATANUS, SALIX AND POPULUS).

TREE & SHRUB SPACING

VERTICAL CLEARANCE BETWEEN TREES AND SHRUBS CAN BE CREATED BY PRUNING UP THE TREE CANOPY, REDUCING HEIGHT OF THE SHRUBS, OR A COMBINATION THEREOF. CANOPIES OF EXISTING TREES THAT EXTEND TO WITHIN 10 FEET OF ANY STRUCTURE SHALL BE PRUNED TO MAINTAIN A MINIMUM HORIZONTAL AND VERTICAL CLEARANCE OF 10 FEET. PORTIONS OF TREE CANOPIES THAT EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY SHALL BE PRUNED TO MAINTAIN A MINIMUM HORIZONTAL AND VERTICAL CLEARANCE OF 10 FEET.

ZONE ONE REQUIREMENTS

- THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
- PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
- TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING

AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:

- (A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT.
- WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
- ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

ZONE TWO REQUIREMENTS

- THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
- NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
- WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
- WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
- THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL. INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE.

ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.

- NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
- ALL NEW ZONE TWO PLANTINGS SHALL IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOWFLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
- WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
- ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.
- EXCEPT AS PROVIDED IN SECTION 142.0412(I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

GENERAL NOTES:

- ADJACENT PROPERTIES THAT ARE NOT BEING PROPERLY MAINTAINED SHALL BE SUBJECT TO A NOTICE OF VIOLATION ISSUED BY THE FIRE DEPARTMENT THROUGH THE FIRE HAZARD ADVISOR AT (619)533-4444. PLANT COMMUNITY IS A MIX OF COASTAL SAGE SCRUB AND NON-NATIVE NATURALIZED VEGETATION.
- ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY A STRUCTURE, SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY MANAGER THAT THE THINNING WOULD BE CONSISTENT WITH CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER/PERMITTEE TO SCHEDULE A PRE-CONSTRUCTION MEETING ON SITE WITH THE CONTRACTOR AND THE DEVELOPMENT SERVICES DEPARTMENT TO DISCUSS AND OUTLINE THE IMPLEMENTATION OF THE BRUSH MANAGEMENT PROGRAM.

DESIGN METHOD

ZONE 1 SHALL MEASURE 35' FROM THE EDGE OF THE WOODEN DECK STRUCTURE TOWARD THE PROPERTY LINE. THIS AREA SHALL ADHERE TO THE ZONE 1 REQUIREMENTS FOR BOTH PLANTING AND IRRIGATION.

ZONE 2 SHALL BE THE REMAINING AREA BETWEEN ZONE 1 AND THE PROPERTY LINE.

THE SLOPE IS CURRENTLY PLANTED WITH A MIX OF NATURALIZED PLANT MATERIAL AND SUCCULENT GROUND COVER. IT IS THE INTENT FOR THIS PLANT MATERIAL TO REMAIN IN PLACE TO ACT AS EROSION CONTROL AND FIRE PREVENTION WITH THINNING AS OUTLINED IN THE GENERAL NOTES

MAINTENANCE

THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, CONSISTENT WITH THE LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY.

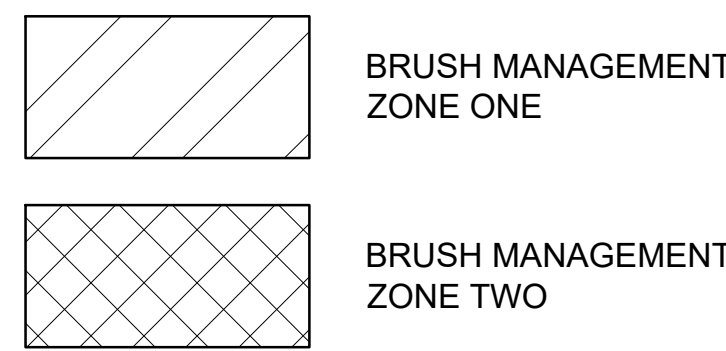
ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED UNDER CONDITIONS OF THE PERMIT.

LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

KEY NOTES

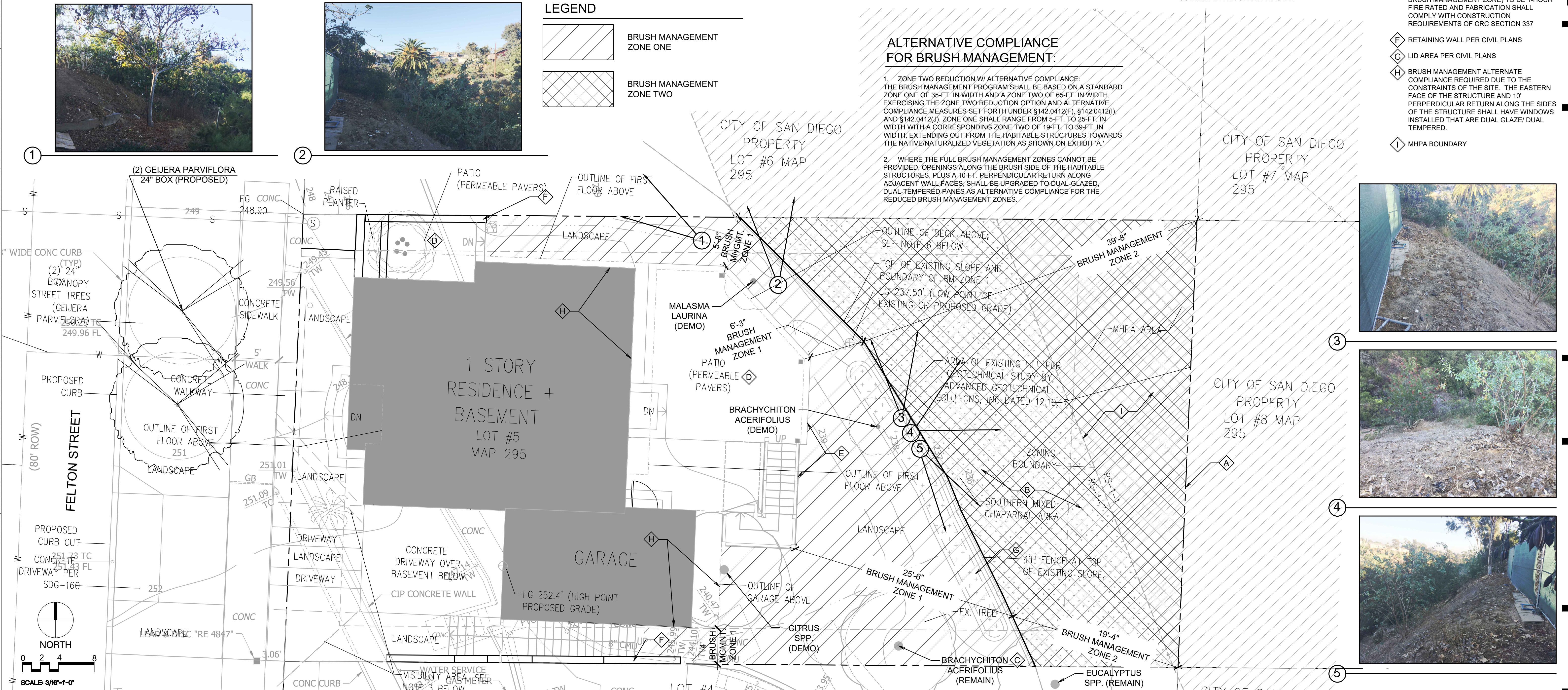
- A REAR PROPERTY LINE OF ADJACENT RESIDENTIAL LOT
- B LIMITS OF SENSITIVE VEGETATION (SOUTHERN MIXED CHAPARRAL)
- C EXISTING TREES TO REMAIN. PRUNE BRANCHES TO BE A MINIMUM OF 10' FROM ANY STRUCTURE INCLUDING STRUCTURES ON ADJACENT PROPERTIES
- D HARDSCAPE PATIO
- E BRUSH MANAGEMENT ALTERNATE COMPLIANCE REQUIRED DUE TO THE CONSTRAINTS OF THE SITE. STAIRS AND DECK (LOCATED INSIDE ZONE 1 BRUSH MANAGEMENT ZONE) TO BE 1-HOUR FIRE RATED AND FABRICATION SHALL COMPLY WITH CONSTRUCTION REQUIREMENTS OF CRC SECTION 337
- F RETAINING WALL PER CIVIL PLANS
- G LID AREA PER CIVIL PLANS
- H BRUSH MANAGEMENT ALTERNATE COMPLIANCE REQUIRED DUE TO THE CONSTRAINTS OF THE SITE. THE EASTERN FACE OF THE STRUCTURE AND 10' PERPENDICULAR RETURN ALONG THE SIDES OF THE STRUCTURE SHALL HAVE WINDOWS INSTALLED THAT ARE DUAL GLAZE/ DUAL TEMPERED.
- I MHPA BOUNDARY

LEGEND



ALTERNATIVE COMPLIANCE FOR BRUSH MANAGEMENT:

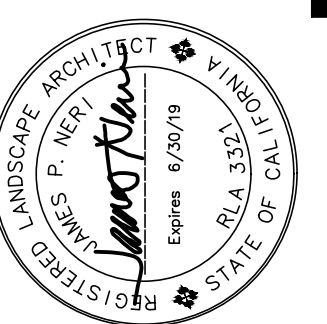
- ZONE TWO REDUCTION W/ ALTERNATIVE COMPLIANCE: THE BRUSH MANAGEMENT PROGRAM SHALL BE BASED ON A STANDARD ZONE ONE OF 35-FT. IN WIDTH AND A ZONE TWO OF 65-FT. IN WIDTH, EXERCISING THE ZONE TWO REDUCTION OPTION AND ALTERNATIVE COMPLIANCE MEASURES SET FORTH UNDER §142.0412(F), §142.0412(I), AND §142.0412(J). ZONE ONE SHALL RANGE FROM 5-FT. TO 25-FT. IN WIDTH WITH A CORRESPONDING ZONE TWO OF 19-FT. TO 39-FT. IN WIDTH, EXTENDING OUT FROM THE HABITABLE STRUCTURES TOWARDS THE NATIVE/NATURALIZED VEGETATION AS SHOWN ON EXHIBIT 'A'.
- WHERE THE FULL BRUSH MANAGEMENT ZONES CANNOT BE PROVIDED, OPENINGS ALONG THE BRUSH SIDE OF THE HABITABLE STRUCTURES, PLUS A 10-FT. PERPENDICULAR RETURN ALONG ADJACENT WALL FACES, SHALL BE UPGRADED TO DUAL-GLAZED, DUAL-TEMPERED PANES AS ALTERNATIVE COMPLIANCE FOR THE REDUCED BRUSH MANAGEMENT ZONES.



ALL PLANS, DESIGNS AND IDEAS SHOWN ON THIS DRAWING ARE THE PROPERTY OF NERI LANDSCAPE ARCHITECTURE AND SHALL NOT BE USED, DISCLOSED OR REPRODUCED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE, WITHOUT WRITTEN CONSENT FROM NERI LANDSCAPE ARCHITECTURE.

Project No. - XXX
Drawn - JS
Checked - JPN

NERI LANDSCAPE ARCHITECTURE
928 HORNBLAND STREET, SUITE # 3
SAN DIEGO, CA 92109
TEL: 619.594.7422 FAX: 619.594.7423
WWW.NERILA.COM



LANDSCAPE BRUSH MANAGEMENT PLAN FOR
2135 FELTON STREET
San Diego, CA 92104

FOR APPROVAL
31 August 2018

Brush Management Plan

BM-1

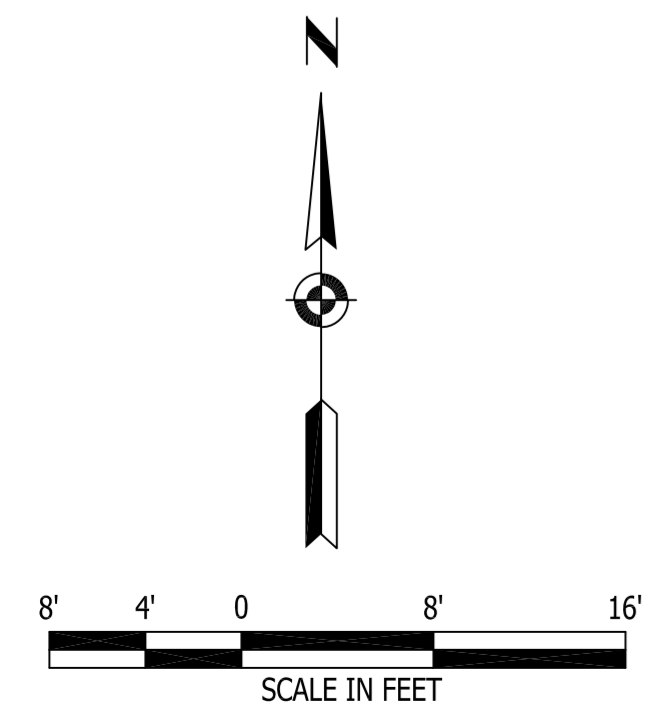
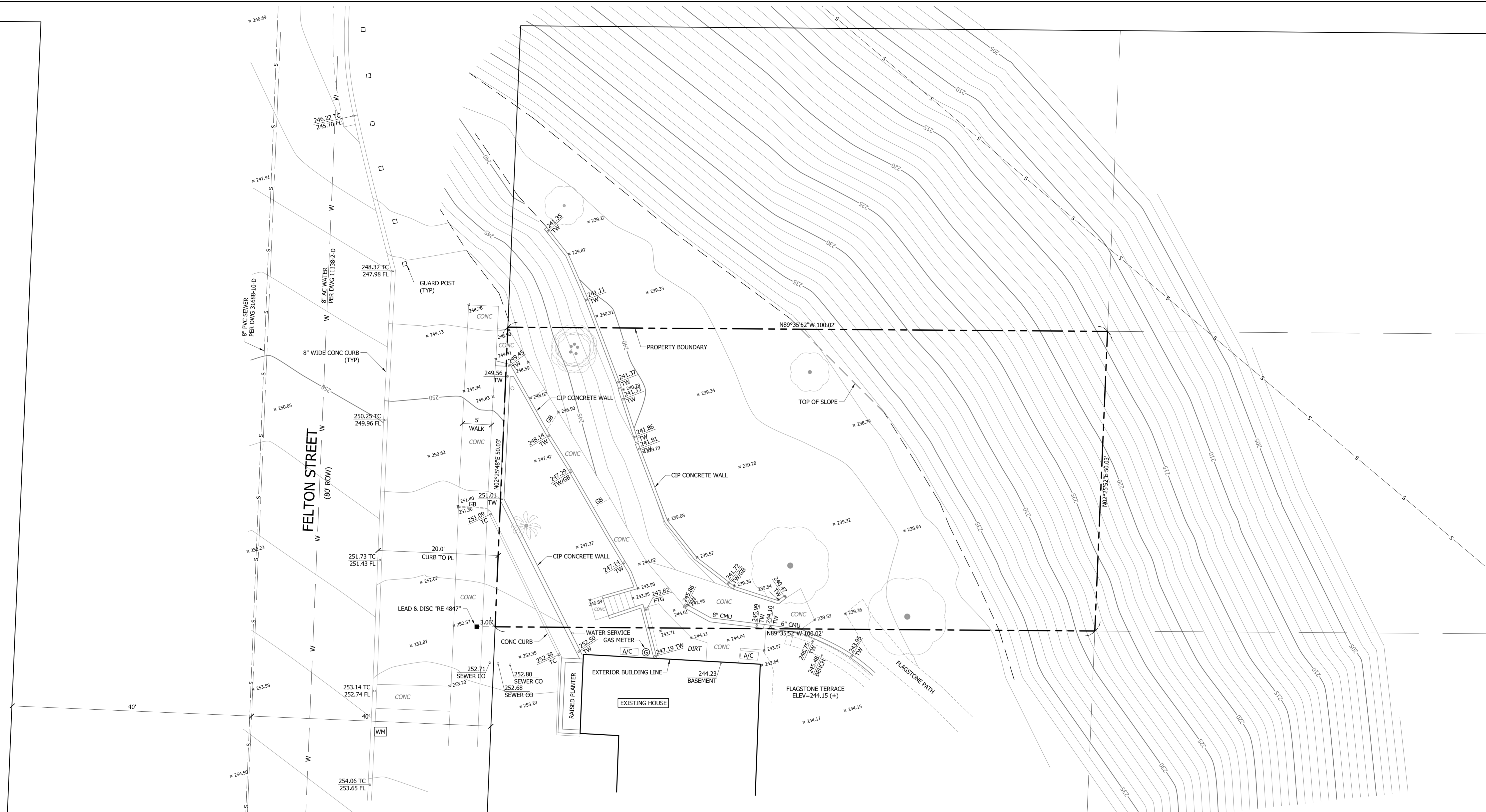




METROPOLITAN MAPPING
3712 30TH STREET
SAN DIEGO, CA 92104
(619) 564-6091
metromap.sd@gmail.com

REVISIONS:

TOPOGRAPHIC SURVEY
2129 FELTON STREET
SAN DIEGO, CA 92104



ABBREVIATIONS	
AP	ANGLE POINT
ASPH	ASPHALT
BLDG	BUILDING
CIP	CAST IN PLACE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
DI	DRAIN INLET
EL	ELEVATION
FF	FINISHED FLOOR
FL	FLOWLINE
FNC	FENCE
GB	GRADE BREAK
GRND	GROUND
MH	MANHOLE
PP	UTILITY POLE
(R)	RADIAL BEARING
ROW	RIGHT OF WAY
SS	SANITARY SEWER
TC	TOP OF CURB
TG	TOP OF GRATE (DRAIN)
TW	TOP OF WALL
TYP	TYPICAL
VGB	VERTICAL GRADE BREAK
WM	WATER METER

LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY
	BOUNDARY LINE DATA (BEARING/DISTANCE)
	FOUND BOUNDARY MONUMENT
	EDGE OF CONCRETE
	CONCRETE CURB
	RETAINING WALL
	CONCRETE SURFACE
	SEWER LINE
	WATER LINE

LEGEND	
	TREE (TRUNK DRAWN TO SCALE)
	SPOT ELEVATION
	GROUND CONTOUR (5' INTERVAL)
	GROUND CONTOUR (1' INTERVAL)
	(NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)

PROPERTY LEGAL DESCRIPTION
LOT 5, BLOCK 48, MAP 295 (EASTERN ADDITION TO NEW SAN DIEGO)

ASSESSORS PARCEL NUMBER
539-202-02

BASIS OF ELEVATIONS
CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB
LOCATION: NORTHWEST CORNER OF JUNIPER STREET AND 33RD STREET
DATUM: MSL (NGVD 29)
ELEVATION: 281.24 FEET

NOTE
THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEPICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

THE LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

SURVEY DATE
MARCH 9, 2017

MAP/DRAWING DATE
MARCH 23, 2017

SCALE: 1/8"=1'-0"

DRAWN BY: VF

JOB No:

SHEET TITLE: