



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 25, 2019 REPORT NO. HO-19-089

HEARING DATE: October 2, 2019

SUBJECT: STUPIN RESIDENCE CDP, Process Three Decision

PROJECT NUMBER: [633674](#)

OWNER/APPLICANT: Jeremy S. Stupin and Taylor H. Stupin, Owner / Golba Architecture, Inc.,
Applicant

SUMMARY:

Issue: Should the Hearing Officer approve demolishing an existing single-family residence and constructing a new 4,493-square-foot, two-story, single-family residence with basement, roof deck and attached garage at 5191 Chelsea Street within the La Jolla Community Plan area?

Staff Recommendation: APPROVE Coastal Development Permit No. 2274369

Community Planning Group Recommendation: As of the printing of this report, a recommendation from the La Jolla Community Planning Association was not available and the applicant has decided to continue with the public hearing process. If a recommendation from the La Jolla Community Planning Association becomes available, their recommendation will be presented at the hearing.

Environmental Review: The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) and Section 15303 (New Construction). The environmental exemption determination for this project was made on July 30, 2019, and the opportunity to appeal the determination ended on August 13, 2019. There were no appeals to the environmental determination.

BACKGROUND

The project site is located at 5191 Chelsea Street, and is developed with a single-family residence in an urbanized area within the La Jolla Community Plan area (Attachment 1). In addition, the project site is located just east of the First Public Roadway (Chelsea Street) and within 200 feet from the Pacific Ocean. The surrounding properties are fully developed and consists of a well-established residential neighborhood (Attachment 3).

The 0.18-acre site is in the RS-1-7 Zone, the Coastal (Appealable) Overlay Zone, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Beach & Coastal), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Transit Priority Area. Pursuant to San Diego Municipal Code (SDMC) Section 126.0702(a), a Coastal Development Permit is required for all coastal development of a premises within the Coastal Overlay Zone. In addition, projects within the appealable area of the Coastal Overlay Zone requires a Process Three decision, per SDMC Section 126.0707(b).

DISCUSSION

The project includes demolishing an existing single-family residence and constructing a new 4,493 square-foot, two-story, single-family residence with 1,883 square-foot basement, roof deck and attached garage. The project site is designated for low density residential uses (5-9 dwelling units per acre) and includes one single family dwelling unit on a 0.18-acre site. The project results in a density of approximately six dwelling units per acre, which implements the prescribed density. There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

A goal of the Community Plan is to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The relationship between bulk and scale of the project with the adjacent single-family neighborhood is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RS-1-7 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. There are no deviations or variances necessary or requested.

The existing structure does not meet the local historic designation criteria as an individually significant resource and is exempt from the City's Inclusionary Housing Ordinance. In addition, the project site does not contain any sensitive biological resources, environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration. Staff recommends that the Hearing Officer approve Coastal Development Permit No. 2274369 for the project.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2274369 with modifications.
2. Deny Coastal Development Permit No. 2274369 if the findings required to approve the project cannot be affirmed.

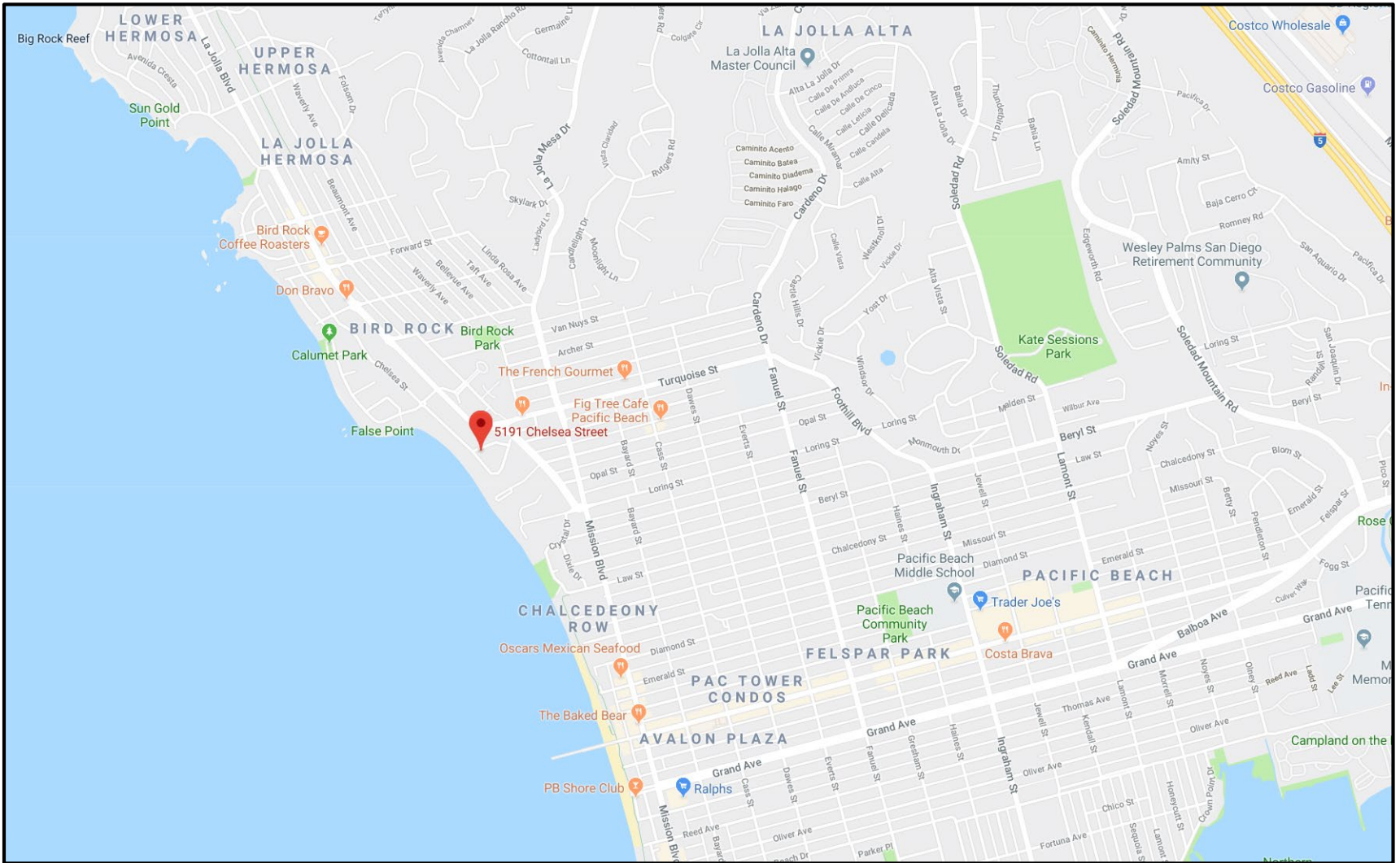
Respectfully submitted,



Xavier Del Valle, Development Project Manager

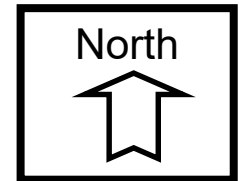
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Notice or Right to Appeal Environmental Determination
7. Ownership Disclosure Statement
8. Project Plans



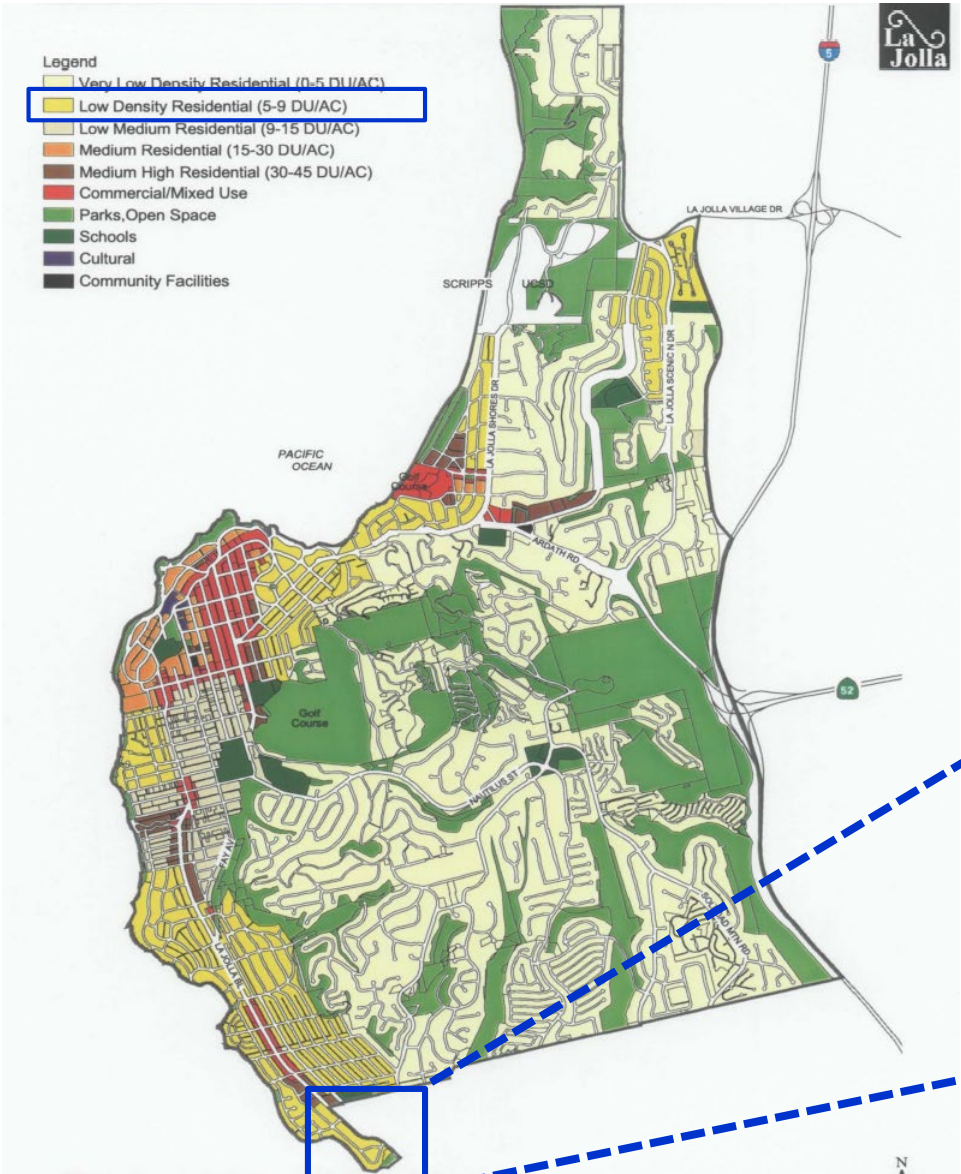
Project Location Map

Stupin Residence CDP
Project No. 633674 – 5191 Chelsea Street

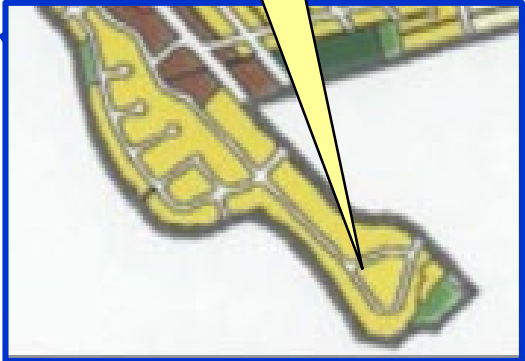


Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

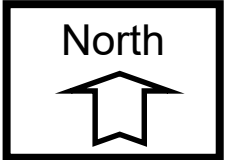


Project Site



Land Use Map

Stupin Residence CDP
Project No. 633674 - 5191 Chelsea Street

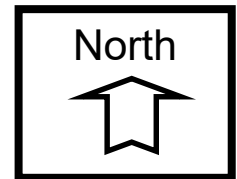




Aerial Photograph

Stupin Residence CDP

Project No. 633674 - 5191 Chelsea Street



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2274369
STUPIN RESIDENCE CDP – PROJECT NO. 633674

WHEREAS, JEREMY S. STUPIN and TAYLOR H. STUPIN, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single-family residence and construct a new 4,493 square-foot, two-story, single-family residence with basement, roof deck and attached garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2274369) on portions of a 0.18-acre site;

WHEREAS, the project site is located at 5191 Chelsea Street and is in the RS-1-7 Zone, the Coastal (Appealable) Overlay Zone, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Beach & Coastal), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 9 in Block 5 of Pacific Riviera Villa, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County, December 23, 1948;

WHEREAS, on July 30, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on October 2, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2274369 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2274369:

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located at 5191 Chelsea Street, and is developed with a single-family residence in an urbanized area within the La Jolla Community Plan area. The project includes demolishing the existing single-family residence and constructing a new 4,493 square-foot, two-story, single-family residence with an 1,883 square-foot basement, roof deck, and attached garage.

The project site is located east of the First Public Roadway (Chelsea Street) and approximately 200 feet from the Pacific Ocean. There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is located at 5191 Chelsea Street, and is developed with a single-family residence in an urbanized area within the La Jolla Community Plan area. The project includes demolishing the existing single-family residence and constructing a new 4,493 square-foot, two-story, single-family residence with an 1,883 square-foot basement, roof deck, and attached garage.

The project site does not contain any sensitive biological resources, environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. In addition, the City's environmental review determined the project to be exempt from the California Environmental Quality Act pursuant to Section 15301 (Existing Facilities) and Section 15303 (New Construction). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 5191 Chelsea Street, and is developed with a single-family residence in an urbanized area within the La Jolla Community Plan area. The project includes demolishing the existing single-family residence and constructing a new 4,493 square-foot, two-story, single-family residence with an 1,883 square-foot basement, roof deck, and attached garage. The project site is designated for low density residential uses (5-9 dwelling units per acre) and includes one single-family dwelling unit on the 0.18-acre site. Therefore, the project results in a density of approximately six dwelling units per acre, which implements the prescribed density.

The project site is located east of the First Public Roadway (Chelsea Street) and approximately 200 feet from the Pacific Ocean. There is no public view from the project site, as identified in the Community Plan. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

A goal of the Community Plan is to maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The relationship between bulk and scale of the project with the adjacent single-family neighborhood is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage.

The existing structure does not meet the local designation criteria as an individually significant resource under any adopted Historical Resource criteria. In addition, the project is exempt from the City's Inclusionary Housing Ordinance since there is no net increase in dwelling units on the property. The project has been designed in compliance with all the applicable provisions of the Community Plan and the San Diego Municipal Code, and there are no deviations or variances necessary or requested. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located at 5191 Chelsea Street, and is developed with a single-family residence in an urbanized area within the La Jolla Community Plan area. The project includes demolishing the existing single-family residence and constructing a new 4,493 square-foot, two-story, single-family residence with an 1,883 square-foot basement, roof deck, and attached garage.

The project site is located east of the First Public Roadway (Chelsea Street) and approximately 200 feet from the Pacific Ocean. There is no public view from the project site, as identified in the Community Plan. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2274369 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2274369, a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on: October 2, 2019

IO#: 24008225

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008225

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2274369
STUPIN RESIDENCE CDP - PROJECT NO. 633674
HEARING OFFICER

This Coastal Development Permit No. 2274369 is granted by the Hearing Officer of the City of San Diego to Jeremy S. Stupin and Taylor H. Stupin, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.18-acre site is located at 5191 Chelsea Street and is in the RS-1-7 Zone, Coastal (Appealable) Overlay Zone, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Beach & Coastal), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan area. The project site is legally described as Lot 9 in Block 5 of Pacific Riviera Villa, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County, December 23, 1948.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single-family residence and construct a new 4,493 square-foot, two-story single-family residence with basement, roof deck and attached garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 2, 2019 on file in the Development Services Department.

The project shall include:

- a. Demolishing an existing single-family residence and constructing a new 4,493-square-foot two-story, single-family residence with an 1,883 square-foot basement, roof deck and attached garage; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 16, 2022.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until the Owner/Permittee signs and returns the Permit to the Development Services Department, and the Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permit for a building structure, the Owner/Permittee shall dedicate an additional 3 feet of right-of-way along the entire project frontage on Chelsea Street and Crystal Drive to provide a 10-foot curb-to-property-line distance, in a manner satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12-foot wide City standard driveway on Crystal Drive, in a manner satisfactory to the City Engineer.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the damaged rolled curb, adjacent to the site on Chelsea Street, in a manner satisfactory to the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond the removal of the existing brick wall and stair from the Chelsea Street right-of-way, in a manner satisfactory to the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

19. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Development Services Department of the City of San Diego on October 2, 2019 and [Approved Resolution Number].

ATTACHMENT 5

Coastal Development Permit No. 2274369
Date of Approval: October 2, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Jeremy S. Stupin

Owner/Permittee

By _____
Taylor H. Stupin

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: July 30, 2019

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24008225

PROJECT NAME / NUMBER: Stupin Residence CDP / 633674**COMMUNITY PLAN AREA:** La Jolla Community Plan**COUNCIL DISTRICT:** 1**LOCATION:** 5191 Chelsea Street, La Jolla, CA 92037

PROJECT DESCRIPTION: Coastal Development Permit (CDP) to demolish an existing single family residence and construct a new 4,493-square-foot two-story single family residence with roof deck and attached garage at a site located at 5191 Chelsea Street. The scope of work also includes an 1,883-square-foot basement. The 0.183-acre site is located in the RS-1-7 zone and Coastal (Appealable) Overlay Zone within the La Jolla Community Plan area, and Council District 1. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with all public utilities in place to serve the residence.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities) and Section 15303 (New Construction),**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) and Section 15303 (New Construction). Section 15301 allows for the demolition of one single family residence. Section 15303 allows for the construction of one single family residence. Since the proposed project is the demolition of an existing single dwelling unit and the reconstruction of a new single dwelling unit, the exemptions are appropriate. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply because no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER: Xavier Del Valle**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153**PHONE NUMBER / EMAIL:** (619) 557-7941 / xdelvalle@sandiego.gov

On July 30, 2019 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (August 13, 2019). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Stupin Residence Project No. For City Use Only: _____

Project Address: 5191 Chelsea St., La Jolla, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Jeremy and Taylor Stupin Owner Tenant/Lessee Successor Agency

Street Address: 5191 Chelsea St.

City: La Jolla State: CA Zip: 92037

Phone No.: 646-483-7950 Fax No.: _____ Email: jstupin@gmail.com

Signature: _____ Date: March 19, 2019

Additional pages Attached: Yes No

Applicant

Name of Individual: Jeremy and Taylor Stupin Owner Tenant/Lessee Successor Agency

Street Address: 5191 Chelsea St.

City: La Jolla State: CA Zip: 92037

Phone No.: 646-483-7950 Fax No.: _____ Email: jstupin@gmail.com

Signature: _____ Date: March 19, 2019

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Attachment 8
Project Plans

Stupin Residence CDP
Project No. 633674
October 2, 2019

STUPIN RESIDENCE

5191 CHELSEA ST.
LA JOLLA, CA 92037



© ARTISTIC REPRESENTATION OF PROPOSED FINAL PRODUCT

COASTAL DEVELOPMENT PERMIT SET

Prepared By:
Golba Architecture
1940 Garnet Ave. #100
San Diego, CA 92104
(619) 231-4405
fax: 858-750-3471

Project Address:
5191 CHELSEA ST.
LA JOLLA, CA 92037

Project Name:
STUPIN RESIDENCE

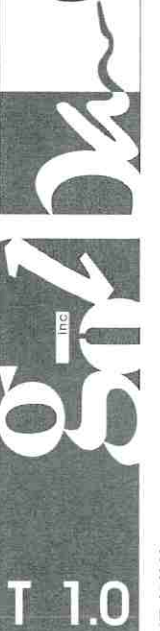
Sheet Title:

COVER SHEET

Revision 14:
Revision 13:
Revision 12:
Revision 11:
Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1: 06-11-19
Original Date: 04-02-19
Sheet 1 of 9

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
1940 Garnet Ave. #100 San Diego California 92109
Phone: (619) 231-4405 Fax: (858) 750-3471

STUPIN RESIDENCE
5191 CHELSEA ST.
LA JOLLA, CA 92037



SYMBOLS

SHEET NUMBER
A1.5
 SHEET NUMBER
 CATEGORY NUMBER
 DISCIPLINE LETTER

NORTH ARROW

ELEVATION MARKS
 17'-6" F.F.
 X' F.F.

BUILDING SECTION MARKS
 SECTION DESIGNATION
 SHEET NUMBER

WALL SECTION MARKS
 SHEET NUMBER
 DETAIL DESIGNATION

DETAIL TARGETS
 SHEET NUMBER
 DETAIL DESIGNATION

PLAN BLOW-UP DETAILS
 SHEET NUMBER
 DETAIL DESIGNATION

DOOR SYMBOL
 DOOR SCHEDULE REFERENCE NUMBER

WINDOW SYMBOL
 WINDOW SCHEDULE REFERENCE NUMBER

BATT INSULATION

PLAN NOTE TARGET
 NOTE NUMBER

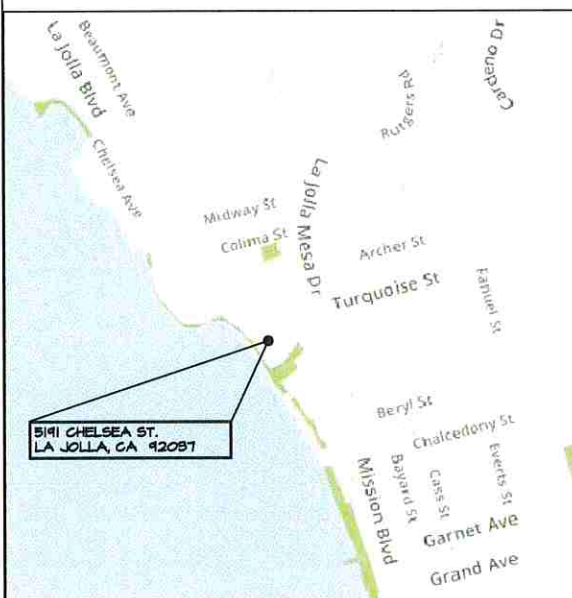
ELEVATION TARGETS
 SHEET NUMBER
 DETAIL DESIGNATION

INTERIOR ELEVATION TARGETS
 DETAIL DESIGNATION
 SHEET NUMBER
 ORIENTATION (SHOWN SHADED)

ABBREVIATIONS

ACOUS. ACOUSTICAL	ACOUS. ACOUSTICAL	MATL. MATERIAL	MATL. MATERIAL
A.C.T. MAX.	ACOUS. ACOUSTICAL	MAX. MAXIMUM	MECH. MECHANICAL
AD.J. ADJUSTABLE	ACOUS. ACOUSTICAL	MECH. MECHANICAL	MEMBR. MEMBRANE
A.F.F. AT FINISHED FLOOR	ACOUS. ACOUSTICAL	MEZ. MEZZANINE	MFR. MANUFACTURER
AGG. AGGREGATE	ALUM. ALUMINUM	MIN. MINIMUM	MISC. MISCELLANEOUS
ALUM. ALUMINUM	ALUM. ALUMINUM	M.O. MASONRY OPENING	M.O. MASONRY OPENING
ALT. ALTERNATE	ALUM. ALUMINUM	MOY. MOVABLE	MTD. MOUNTED
A.P. APPROX.	ALUM. ALUMINUM	MTL. METAL	MLL. MILLION
APPROX. APPROXIMATE	ALUM. ALUMINUM	N. NORTH	
ARCH. ARCHITECTURAL	ALUM. ALUMINUM	N.I.C. NOT IN CONTRACT	
ASPH. ASPHALT	ALUM. ALUMINUM	NO. NUMBER	
ASST. ASSISTANT	ALUM. ALUMINUM	NOM. NOMINAL	
AUTO. AUTOMATIC	ALUM. ALUMINUM	N.T.S. NOT TO SCALE	
	ALUM. ALUMINUM	OA. OVERALL	
	ALUM. ALUMINUM	OC. ON CENTER	
	ALUM. ALUMINUM	OD. OUTSIDE DIAMETER	
	ALUM. ALUMINUM	O.F.D. OVERFLOW DRAIN	
	ALUM. ALUMINUM	OFF. OFFICE	
	ALUM. ALUMINUM	OH. OVERHEAD	
	ALUM. ALUMINUM	OPNS. OPENING	
	ALUM. ALUMINUM	OPPS. OPPOSITE	
	ALUM. ALUMINUM	PAV. PAVING	
	ALUM. ALUMINUM	P.C. PRE-CAST	
	ALUM. ALUMINUM	PL. PLATE	
	ALUM. ALUMINUM	PLAM. PLASTIC LAMINATE	
	ALUM. ALUMINUM	PLAS. PLASTER	
	ALUM. ALUMINUM	PLBS. PLUMBING	
	ALUM. ALUMINUM	PLY. PLYWOOD	
	ALUM. ALUMINUM	PNT. PAINT	
	ALUM. ALUMINUM	PNL. PANEL	
	ALUM. ALUMINUM	PO. POURED	
	ALUM. ALUMINUM	PROP. PROPERTY	
	ALUM. ALUMINUM	P.S.F. POUNDS PER SQUARE FOOT	
	ALUM. ALUMINUM	P.S.I. POUNDS PER SQUARE INCH	
	ALUM. ALUMINUM	PTD. PAINTED	
	ALUM. ALUMINUM	PTN. PARTITION	
	ALUM. ALUMINUM	PT. POINT	
	ALUM. ALUMINUM	QTY. QUANTITY	
	ALUM. ALUMINUM	R. RUBBER	
	ALUM. ALUMINUM	RECEP. RECEPTION	
	ALUM. ALUMINUM	REINF. REINFORCING	
	ALUM. ALUMINUM	R.O.W. RIGHT OF WAY	
	ALUM. ALUMINUM	RAD. RADIUS	
	ALUM. ALUMINUM	R.B. RUBBER BASE	
	ALUM. ALUMINUM	R.C.P. REFLECTED CEILING PLAN	
	ALUM. ALUMINUM	R.D. ROOF DRAIN	
	ALUM. ALUMINUM	REC. RECESSED	
	ALUM. ALUMINUM	REF. REFERENCE	
	ALUM. ALUMINUM	REFR. REFRIGERATOR	
	ALUM. ALUMINUM	REINF. REINFORCED	
	ALUM. ALUMINUM	REQD. REQUIRED	
	ALUM. ALUMINUM	RESL. RESULTANT	
	ALUM. ALUMINUM	REVISION REVISION	
	ALUM. ALUMINUM	RFS. ROOFING	
	ALUM. ALUMINUM	RM. ROOM	
	ALUM. ALUMINUM	R.O. ROUGH OPENING	
	ALUM. ALUMINUM	S. SOUTH	
	ALUM. ALUMINUM	SAN. SANITARY	
	ALUM. ALUMINUM	SCHED. SCHEDULE	
	ALUM. ALUMINUM	SECT. SECTION	
	ALUM. ALUMINUM	SECUR. SECURITY	
	ALUM. ALUMINUM	S.F. SQUARE FOOT	
	ALUM. ALUMINUM	SHR. SHOWER	
	ALUM. ALUMINUM	SHT. SHEET	
	ALUM. ALUMINUM	SIM. SIMILAR	
	ALUM. ALUMINUM	S.L. STAIR	
	ALUM. ALUMINUM	S.P. STANDPIPE	
	ALUM. ALUMINUM	SPEC. SPECIFICATION	
	ALUM. ALUMINUM	SPKR. SPEAKER	
	ALUM. ALUMINUM	SQ. SQUARE	
	ALUM. ALUMINUM	S.S.T. STAINLESS STEEL	
	ALUM. ALUMINUM	STA. STATION	
	ALUM. ALUMINUM	STD. STANDARD	
	ALUM. ALUMINUM	STL. STEEL	
	ALUM. ALUMINUM	STOR. STORAGE	
	ALUM. ALUMINUM	STRUC. STRUCTURAL	
	ALUM. ALUMINUM	SUSP. SUSPENDED	
	ALUM. ALUMINUM	SYM. SYMMETRICAL	
	ALUM. ALUMINUM	T. TREAD	
	ALUM. ALUMINUM	T.O. TOP OF	
	ALUM. ALUMINUM	T.#B. TOP AND BOTTOM	
	ALUM. ALUMINUM	T.#S. TONGUE AND GROOVE	
	ALUM. ALUMINUM	TEL. TELEPHONE	
	ALUM. ALUMINUM	TEMP. TEMPERED	
	ALUM. ALUMINUM	TER. TERRAZZO	
	ALUM. ALUMINUM	THK. THICK	
	ALUM. ALUMINUM	TLT. TOILET	
	ALUM. ALUMINUM	TOPO. TOPOGRAPHY	
	ALUM. ALUMINUM	T.V. TELEVISION	
	ALUM. ALUMINUM	TYP. TYPICAL	
	ALUM. ALUMINUM	UNEXG. UNEXCAVATED	
	ALUM. ALUMINUM	UNF. UNFINISHED	
	ALUM. ALUMINUM	UNO. UNLESS OTHERWISE NOTED	
	ALUM. ALUMINUM	UTL. UTILITY	
	ALUM. ALUMINUM	VAC. VACUUM	
	ALUM. ALUMINUM	V.C.T. VINYL COMPOSITION TILE	
	ALUM. ALUMINUM	VENT. VENTILATION	
	ALUM. ALUMINUM	VERT. VERTICAL	
	ALUM. ALUMINUM	VEST. VESTIBULE	
	ALUM. ALUMINUM	V.I.F. VERIFY IN FIELD	
	ALUM. ALUMINUM	VOL. VOLUME	
	ALUM. ALUMINUM	V.T. VINYL TILE	
	ALUM. ALUMINUM	W. WEST	
	ALUM. ALUMINUM	W.C. WATER CLOSET	
	ALUM. ALUMINUM	WD. WOOD	
	ALUM. ALUMINUM	W.F. WIDE FLANGE	
	ALUM. ALUMINUM	WH. WATER HEATER	
	ALUM. ALUMINUM	WIN. WINDOW	
	ALUM. ALUMINUM	WM. WIRE MESH	
	ALUM. ALUMINUM	WTPS. WATERPROOFING	
	ALUM. ALUMINUM	WT. WATER	
	ALUM. ALUMINUM	W.W.F. WELDED WIRE MESH	
	ALUM. ALUMINUM	YD. YARD	

VICINITY MAP NTS



HISTORICAL CLEARANCE

Cycle Issues

Project Information
 Project No: 22225
 Project Name: Cycle Issues
 Project Date: 05/11/2019

Review Information
 Cycle Type: 1 Plan Review - History
 Reviewing Engineer: Anthony, Shanon
 Review Date: 05/11/2019
 Hours of Review: 2.0
 Issue Review Method: Field/Photo/Record

Issue Details

Issue No.	Issue Title	Issue Description
1	1. The applicant has submitted a preliminary plan for the property located at 5191 Chelsea Street, La Jolla, CA 92037. The applicant is requesting a preliminary plan review for the proposed project. The applicant is requesting a preliminary plan review for the proposed project. The applicant is requesting a preliminary plan review for the proposed project.	
2	2. The applicant has submitted a preliminary plan for the property located at 5191 Chelsea Street, La Jolla, CA 92037. The applicant is requesting a preliminary plan review for the proposed project. The applicant is requesting a preliminary plan review for the proposed project. The applicant is requesting a preliminary plan review for the proposed project.	
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PROJECT DATA

PROJECT DESCRIPTION: DEMOLISH EXISTING SINGLE FAMILY RESIDENCE. CONSTRUCT NEW 2-STORY OVER BASEMENT SINGLE FAMILY RESIDENCE WITH ROOF DECK AND ATTACHED GARAGE

SITE ADDRESS: 5191 CHELSEA STREET LA JOLLA, CA 92037

ASSESSORS PARCEL NUMBER: 415-213-05-00

LEGAL DESCRIPTION: LOT 4, BLOCK 5, PACIFIC RIVIERA VILLAS UNIT #1, MAP NO. 002531

EXISTING HISTORICAL REVIEW: SINGLE DISCIPLINE PRELIMINARY REVIEW - HISTORICAL, PTS # 632275 - CLEARED

REQUIRED DISCRETIONARY PERMITS: COASTAL DEVELOPMENT PERMIT

YEAR EXISTING STRUCTURES WERE BUILT: 1951

EXISTING SOIL CONDITIONS: PREVIOUSLY GRADED & DISTURBED

LOT USE EXISTING: SINGLE FAMILY RESIDENCE

LOT USE PROPOSED: SINGLE FAMILY RESIDENCE

LOT ZONING: RS-1-1

OVERLAY ZONE DESIGNATION: COASTAL HEIGHT LIMITATION OVERLAY ZONE, COASTAL OVERLAY ZONE (APPEALABLE), PARKING IMPACT OVERLAY ZONE (BEACH & COASTAL), RESIDENTIAL TANDEM PARKING OVERLAY ZONE, TRANSIT AREA OVERLAY ZONE, TRANSIT PRIORITY AREA, LA JOLLA COMMUNITY PLAN

LOT SIZE: 7,470 S.F.

MAXIMUM F.A.R.: 0.57 = 4,542.9 S.F. ALLOWED

OCCUPANCY: R-3

BUILDING CODES: 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA GREEN BUILDING CODE, 2016 CALIFORNIA FIRE CODE

CONSTRUCTION TYPE: TYPE VB, SPRINKLERED IN ACCORDANCE WITH NFPA 10B OR CRG SECTION R313

NUMBER OF STORIES EXISTING: 2 STORIES

NUMBER OF STORIES PROPOSED: 2 STORIES

BUILDING HEIGHT EXISTING: 22'-0"

BUILDING HEIGHT PROPOSED: 27'-0" (24'-6" PER PROP. D)

GEOLOGICAL HAZARD CATEGORY: 5B

LANDSCAPE AREA SQUARE FOOTAGE: 2,820 S.F.

AREA CALCULATIONS

MAXIMUM F.A.R.: 0.57

AREA OF SITE: 7,470 S.F.

ALLOWABLE AREA: 4,542.9 S.F.

BASEMENT HABITABLE: 1,883 S.F. (EXEMPT FROM G.F.A.)

FIRST LEVEL HABITABLE: 1,844 S.F.

SECOND LEVEL HABITABLE: 1,880 S.F.

TOTAL HABITABLE G.F.A.: 3,824 S.F.

GARAGE: 669 S.F.

TOTAL PROPOSED: 4,493 S.F. (3,824 HABITABLE + 669 GARAGE) < 4,535 S.F. ALLOWED

AREA OF DECKS & COVERED PORCHES:

LEVEL 1: ENTRY/ COVERED PORCHES & CABANA: 763 S.F.

LEVEL 2: DECKS: 134 S.F.

ROOF: DECK: 415 S.F.

TOTAL: 2,508 S.F.

SHEET INDEX

GENERAL

T1.0 COVER SHEET AND PROJECT DATA

TS TOPOGRAPHIC SURVEY

ARCHITECTURAL

A0.0 SITE PLAN

A1.0 BASEMENT & FIRST FLOOR PLANS

A1.1 SECOND FLOOR & ROOF PLANS

A2.0 ELEVATIONS

A2.1 ELEVATIONS

A3.0 SITE SECTIONS

PROJECT DIRECTORY

OWNER: JEREMY & TAYLOR STUPIN
 5191 CHELSEA STREET
 LA JOLLA, CA 92037

ARCHITECT: GOLBA ARCHITECTURE, INC.
 1940 GARNET AVE, SUITE 100
 SAN DIEGO, CA 92104
 TEL: (619) 231-4905
 CONTACT: SARAH HORTON

SURVEYOR: A QUICK SURVEY
 2163 WOODLAND HEIGHTS 6LEN
 ESCONCADO, CA 92526
 TEL: (760) 525-0944
 CONTACT: MICHAEL THOMPSON

SELF-CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

- I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
- I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
- I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
- MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
- SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
- IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
- THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4.

RESPONSIBLE CERTIFIED PROFESSIONAL NAME: TIMOTHY GOLBA

SIGNATURE _____ **DATE** _____

Prepared By: Golba Architecture
 1940 Garnet Ave, #100
 San Diego, CA 92104
 (619) 231-4905
 fax: 858-750-3471

Project Address: 5191 CHELSEA ST, LA JOLLA, CA 92037

Project Name: STUPIN RESIDENCE

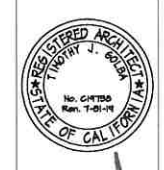
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Sheet 2 of 4

Sheet Title:
LEGEND & PROJECT DATA

GOLBA ARCHITECTURE
 Architecture ■ Space Planning ■ Interior Design
 1940 Garnet Ave, #100 San Diego California 92109
 Phone: (619) 231-9905 Fax: (858) 750-3471

STUPIN RESIDENCE
 5191 CHELSEA ST.
 LA JOLLA, CA 92037





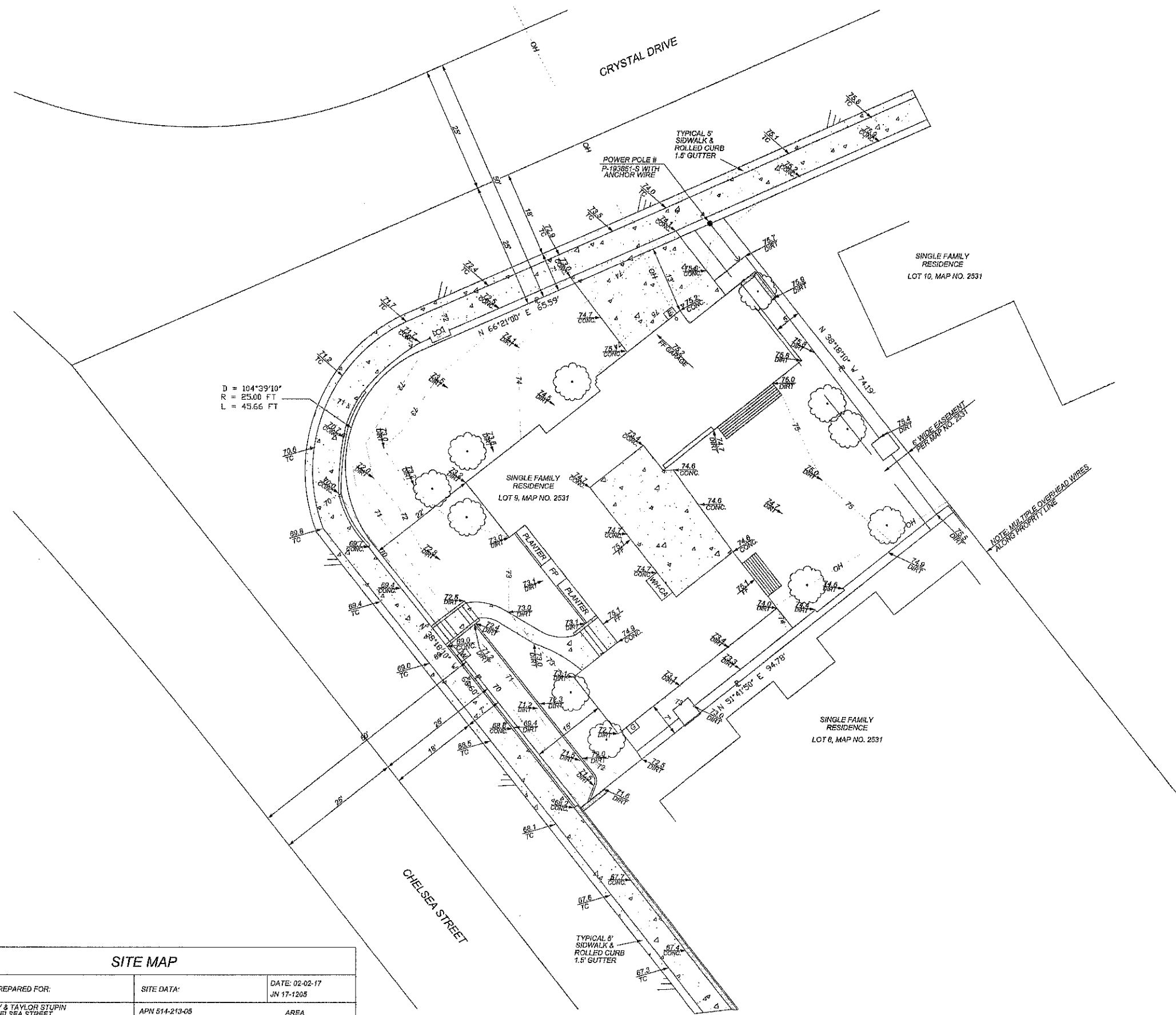
NOTES: THIS PLOT IS IN SUPPORT OF FUTURE SITE IMPROVEMENTS BY OTHERS
 BOUNDARY BEARING AND DISTANCES SHOWN ARE RECORD FROM MAP NO. 2531
 NOT ALL LANDSCAPE AND HOUSE FEATURES ARE SHOWN

ALL BUILDING TIE SHOTS TAKEN AT OUTSIDE WOOD, BRICK OR STUCCO WALL. NO ROOF OVERHANG OR SECOND FLOOR BUILDING POP-OUTS ARE SHOWN.

ELEVATION IS BASED ON CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK CRYSTAL DRIVE AND CHELSEA STREET N 2345, E 10890, EL=69.596, MSL, SEBP

AREA SHOWN BELOW RIGHT IS APPROXIMATE AND MAY OR MAY NOT AGREE WITH CITY OR COUNTY TAX AREA. "A QUICK SURVEY" ACCEPTS NO LIABILITY FOR THE USE OF SAID APPROXIMATE AREA AS IT IS SUBJECT TO CHANGE. CONTACT YOUR GOVERNING AGENCY FOR TAXED AREA INFORMATION.

- CONC. = CONCRETE
- BLDG. = BUILDING
- (FF) = FINISH FLOORS ARE APPROXIMATE
- E = PROPERTY LINE
- G = GAS METER
- W = WATER METER
- E = ELECTRIC METER
- TC = TOP CURB
- FP = FIRE PLACE
- WH-CA = WATER HEATER AND CENTRAL AIR
- FD = FIRE HYDRANT
- TB = TOP BANK
- OH = INDICATES OVERHEAD WIRES
- [Hatched Box] = INDICATES WOOD DECK
- [Dotted Box] = INDICATES CONCRETE AND OR BRICK FLAT WORK
- [Brick Pattern Box] = INDICATES BLOCK OR BRICK WALL HEIGHT & STYLE VARIES
- [Dashed Line] = INDICATES WOOD AND OR WIRE FENCE, HEIGHT & STYLE VARIES CONDITION VARIES
- [Elevation Symbol] = INDICATES ELEVATION MEAN SEA LEVEL & LOCATION
- [Tree Symbol] = INDICATES EXISTING MATURE TREE



PLAT PREPARED BY:

"A QUICK SURVEY"
 2163 WOODLAND HEIGHTS GLEN
 ESCONDIDO, CA 92026
 (760) 525-0694 CELL
 zla5706-work@jehoo.com

Michael Thompson
 MICHAEL THOMPSON, P.L.S. 5706

02/02/17
 DATE

SITE MAP		
PLAT PREPARED FOR:	SITE DATA:	DATE: 02-02-17 JN 17-1205
JEREMY & TAYLOR STUPIN 5191 CHELSEA STREET LA JOLLA, CA, 92037	APN 514-213-05 5191 CHELSEA STREET LA JOLLA, CA, 92037 LOT 9, BLOCK 5, MAP NO. 2531	AREA 0.1791 AC PLUS OR MINUS TB MAP=1247 G-5
CONTACT: TIM GOLBA (GOLBA ARCHITECT INC.) (619) 231-9905 tgolba@golba.com		

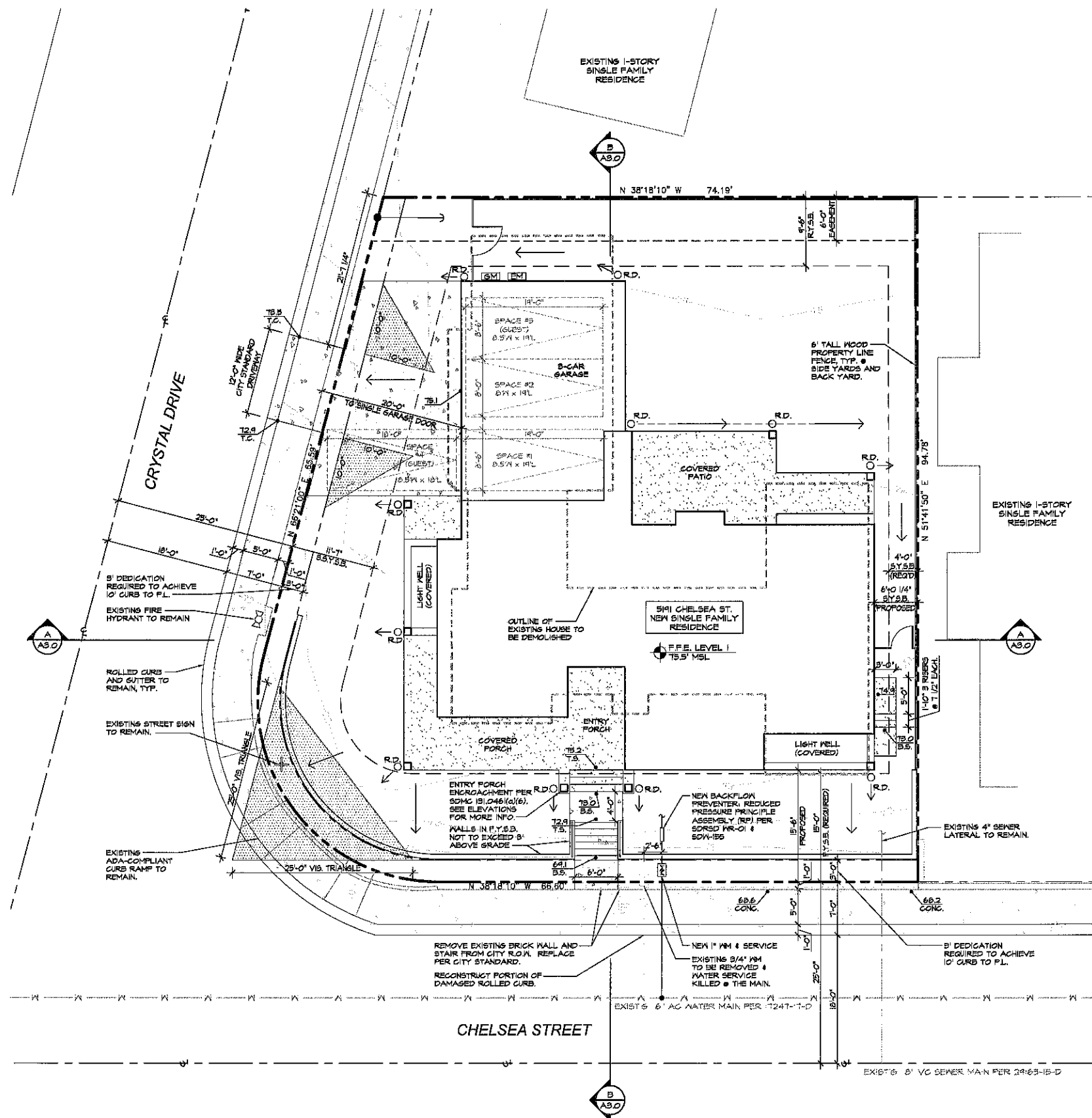
PROFESSIONAL DESIGN SERVICES PROVIDED ON THE BASIS OF THE PROPERTY OF GOLBA ARCHITECTURE AND DEVELOPER FOR HIS USE IN CONNECTION WITH THE PROJECT. PROJECT AND ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE ARCHITECT ASSUMES NO LIABILITY FOR THE FULL COMPLIANCE AND PROTECTIVE CONCEPTS OF THIS ARCHITECTURE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE FULL COMPLIANCE AND PROTECTIVE CONCEPTS OF THIS ARCHITECTURE. ALL PATENTS, TRADEMARKS, AND COPYRIGHTS ARE THE PROPERTY OF GOLBA ARCHITECTURE. ANY USE OF MATERIAL SHALL BE SUBJECT TO PATENT RIGHTS TO GOLBA ARCHITECTURE.

TOTAL DISTURBANCE AREA	
NEW BUILDING FOOTPRINT:	5,415 S.F.
NEW HARDSCAPE/CONCRETE AREAS:	645 S.F.
NEW LANDSCAPE AREAS:	1,824 S.F.
REMOVAL OF BUILDING FOOTPRINTS:	122 S.F.
REMOVAL OF HARDSCAPE AREAS:	0 S.F.
REMOVAL OF LANDSCAPE AREAS:	0 S.F.
TOTAL DISTURBANCE AREA:	6,211 S.F.

IMPERVIOUSNESS AREA	
LOT SIZE:	7,970 S.F.
EXISTING IMPERVIOUS AREA:	5,861 S.F. (42.2%)
PROPOSED IMPERVIOUS AREA:	4,060 S.F. (50.9%)
IMPERVIOUS % INCREASE:	8.7%

GRADING DATA TABLE:	
MAX. CUT DEPTH OUTSIDE OF BUILDING FOOTPRINT:	2'-0"
MAX. CUT DEPTH WITHIN BUILDING FOOTPRINT:	2'-0"
AMOUNT OF CUT:	274 CU. YDS.
MAX. FILL DEPTH:	2'-0"
AMOUNT OF FILL:	15 CU. YDS.
TOTAL EXPORT:	264 CU. YDS.
TOTAL IMPORT:	0 CU. YDS.

GRADING NOTE: THE PROJECT PROPOSES TO EXPORT 264 CUBIC YARDS OF MATERIAL FROM THE PROJECT SITE. ALL EXCAVATED MATERIAL LISTED TO BE EXPORTED SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, (THE "GREEN BOOK") 2004 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.



SITE LEGEND:

- INDICATES PROPERTY LINE
- - - - - INDICATES SETBACK LINE
- [Pattern] NEW HARDSCAPE OR DECK
- [Pattern] NEW CONCRETE PAVING
- [Pattern] EXISTING CONCRETE PAVING
- [Pattern] VISIBILITY AREA - NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT
- [EM] ELECTRIC METER
- [GM] GAS METER
- [WM] WATER METER
- ← DIRECTION OF DRAINAGE
- ← R.D. ROOF DRAIN/DECK DRAIN DOWNSPOUT DISCHARGE INTO LANDSCAPE AREA

- SITE NOTES:**
- THIS STRUCTURE SHALL NOT EXCEED 80' IN HEIGHT IN CONFORMANCE WITH SDMG SECTION 115.02(10).
 - THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS.
 - PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (MFC 901.4.4).
 - METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E.
 - SEE ATTACHED TOPOGRAPHIC SURVEY FOR THE SOURCE OF TOPOGRAPHIC INFORMATION.
 - CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - NO GRADING IS PROPOSED.
 - NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT PER SDMG SECTION 142.04(4) (B)(2). PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

DEDICATION
 THE APPLICANT SHALL DEDICATE AND IMPROVE AN ADDITIONAL 3 FEET ADJACENT TO THE SITE ON CRYSTAL DRIVE AND CHELSEA STREET, SATISFACTORY TO THE CITY ENGINEER.

EMRA:
 ALL PRIVATE & NON-STANDARD IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE CITY ENGINEER'S APPROVAL VIA ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA).

SCALE: 1/8" = 1'-0"

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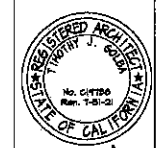
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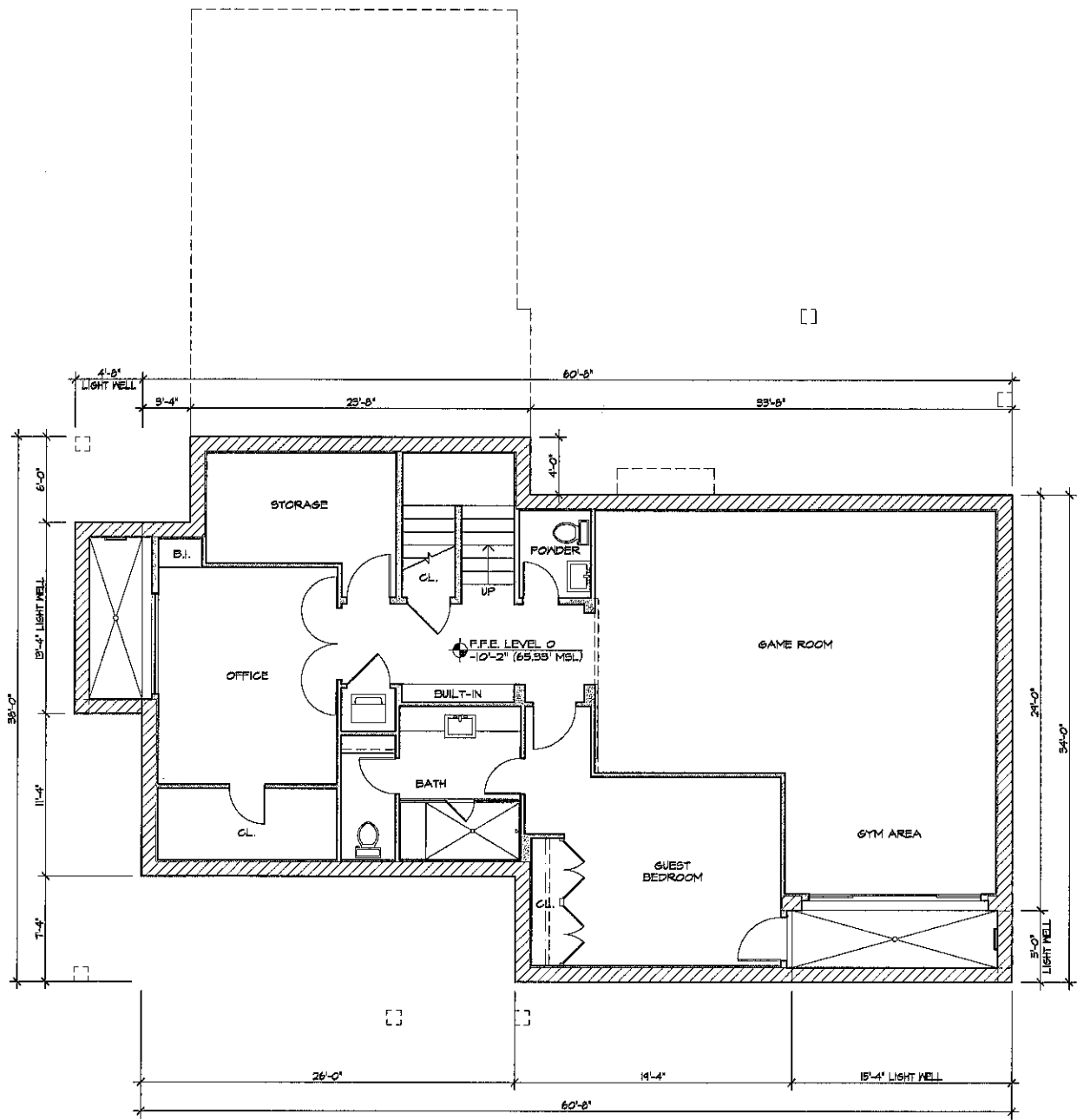
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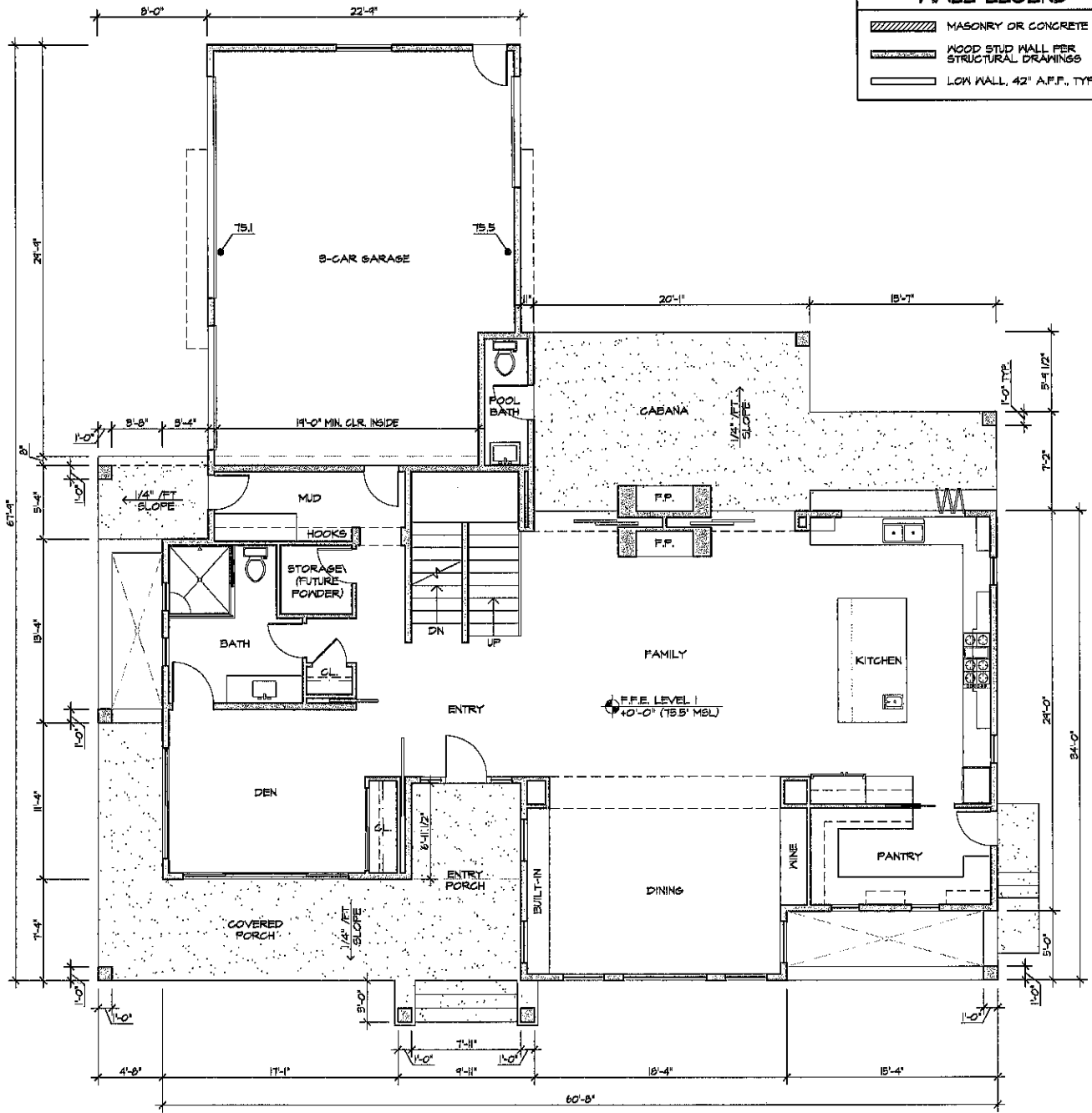
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BASEMENT FLOOR PLAN
SCALE: 3/16"=1'-0"



FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



WALL LEGEND	
	MASONRY OR CONCRETE WALL
	WOOD STUD WALL PER STRUCTURAL DRAWINGS
	LOW WALL, 42' A.F.F., TYP.

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Sheet Title:
BASEMENT & FIRST FLOOR PLANS

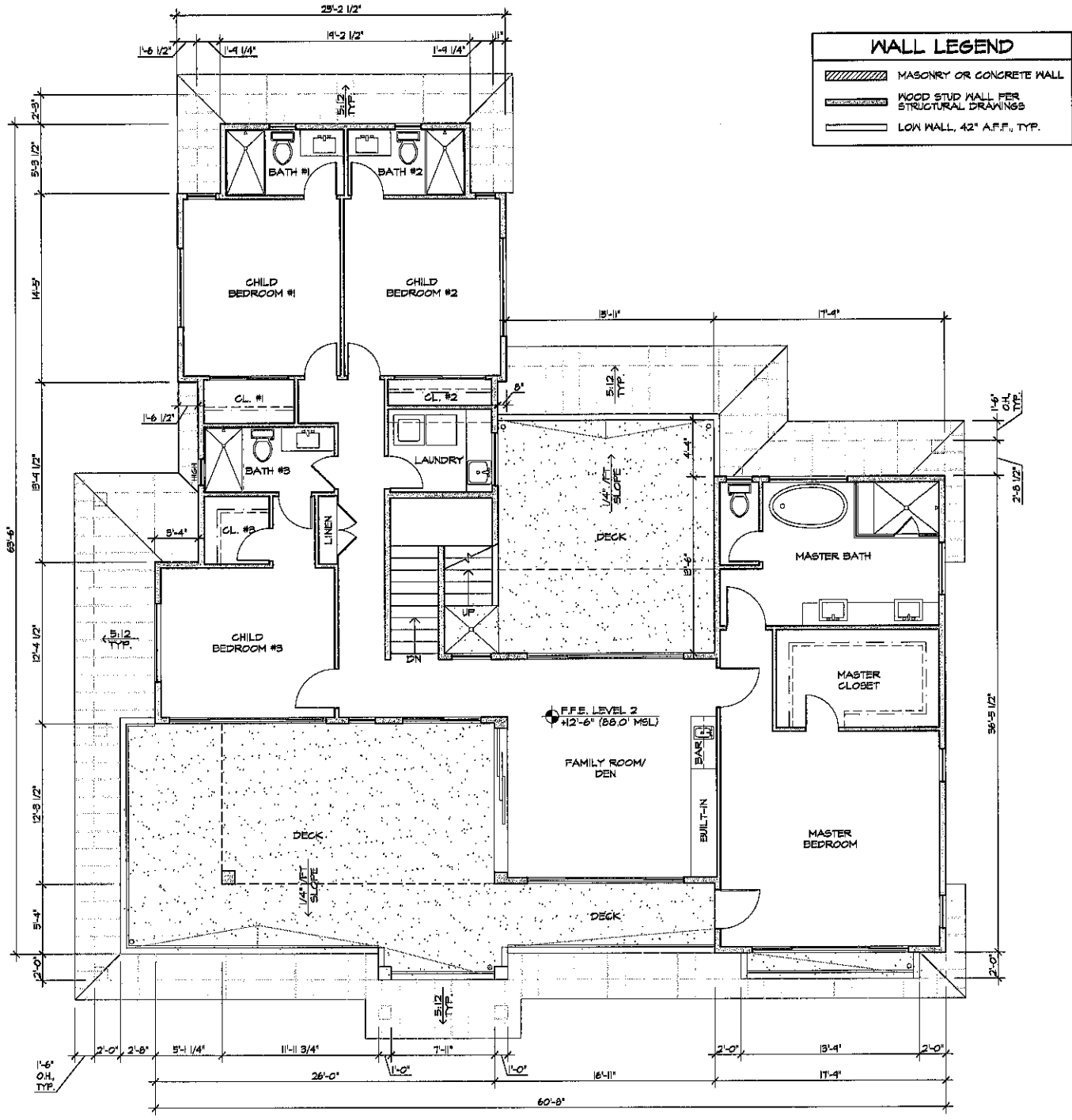
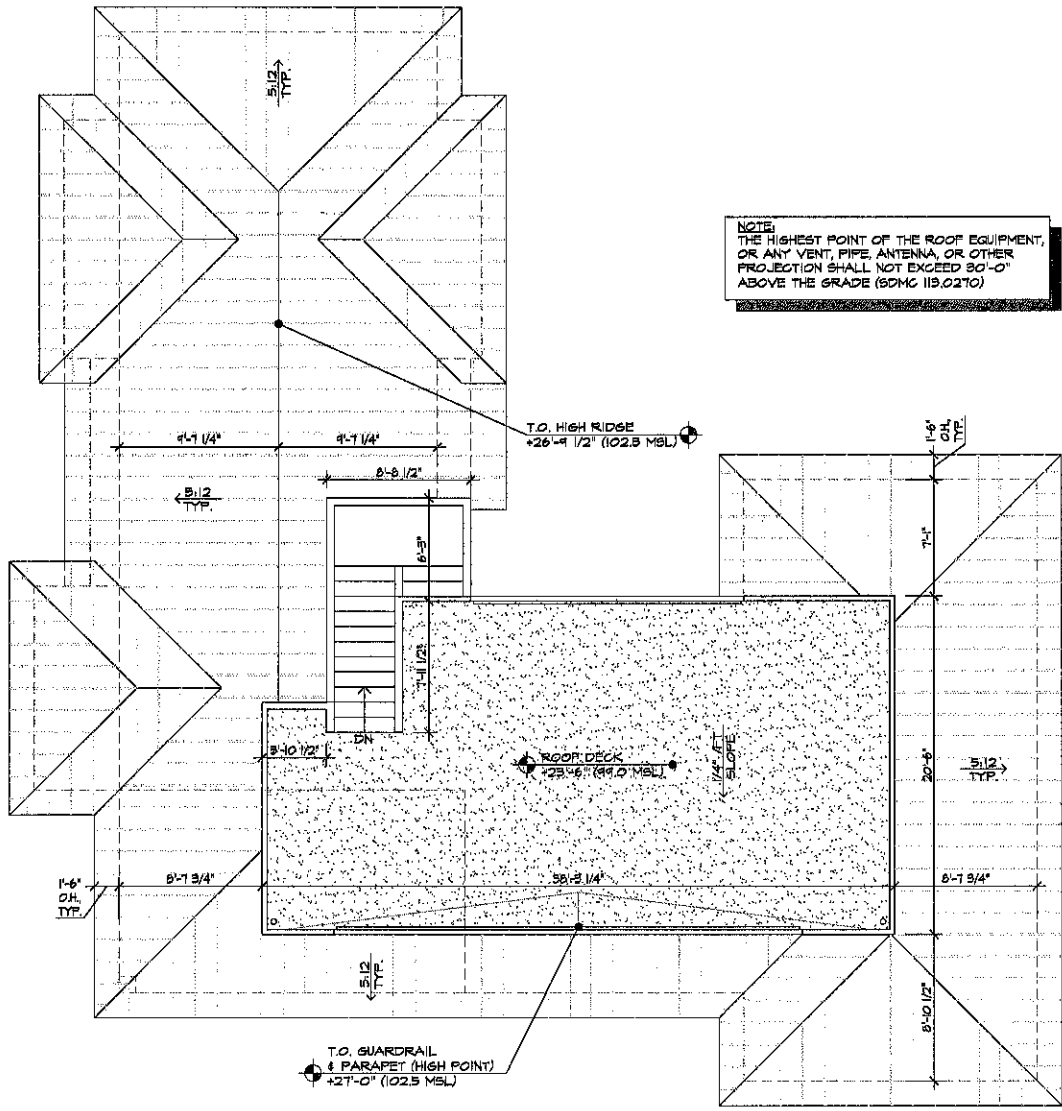
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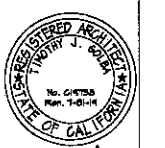
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Revision 1: 06-11-19

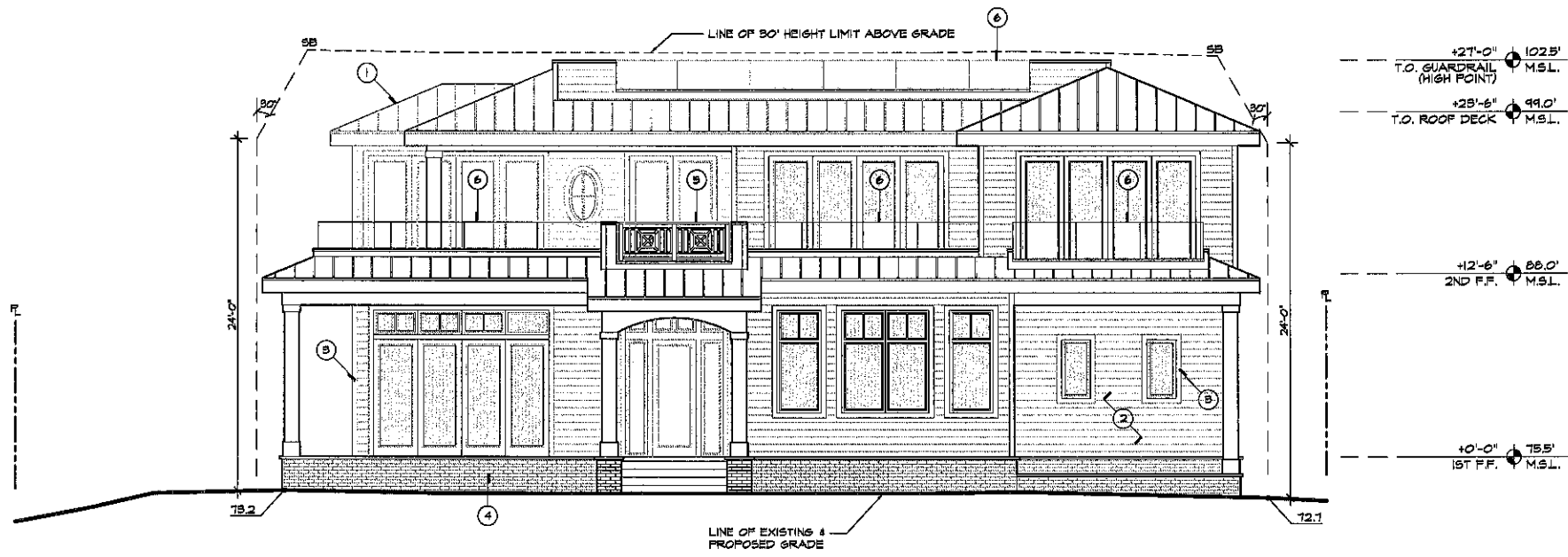
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Sheet Title:
SECOND FLOOR & ROOF PLANS

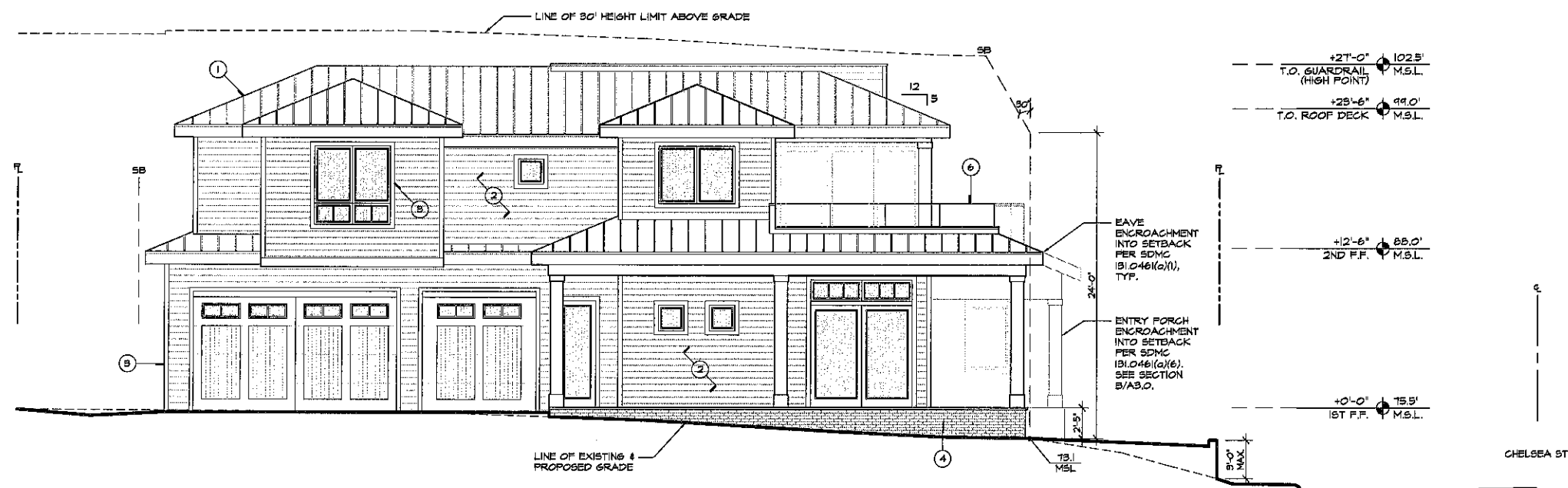
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WEST (FRONT) ELEVATION
SCALE: 3/16"=1'-0"



NORTH (STREET SIDE) ELEVATION
SCALE: 3/16"=1'-0"

NOTE:
THE HIGHEST POINT OF THE ROOF EQUIPMENT,
OR ANY VENT, PIPE, ANTENNA, OR OTHER
PROJECTION SHALL NOT EXCEED 30'-0"
ABOVE THE GRADE. (SDMC 119.0210)

ELEVATION NOTES:

- ① STANDING BEAM METAL ROOF, TYP.
- ② JAMES HARDI HARDPLANK 6" EXPOSURE LAF SIDING CEDARMILL FINISH, BLIND NAIL, COLOR: WHITE. INSTALL PER MANUF. SPECS.
- ③ JAMES HARDI HARDTRIM 4" TRIM, CEDARMILL FINISH, TYPICAL @ BUILDING CORNERS & AROUND OPENINGS, COLOR: WHITE. INSTALL PER MANUF. SPECS.
- ④ EL DORADO STONE BRICK VENSER, COLOR PATTERN PER OWNER'S APPROVAL. INSTALL PER MANUF. SPECS. ICC-ES REPORT ESR-1215.
- ⑤ WOOD GUARDRAIL PER OWNER APPROVAL, 42" ABOVE FINISHED FLOOR.
- ⑥ GLASS GUARDRAIL, 42" ABOVE FINISHED FLOOR.

SCALE: 3/16"=1'-0"

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Sheet Title:
**EXTERIOR
ELEVATIONS**

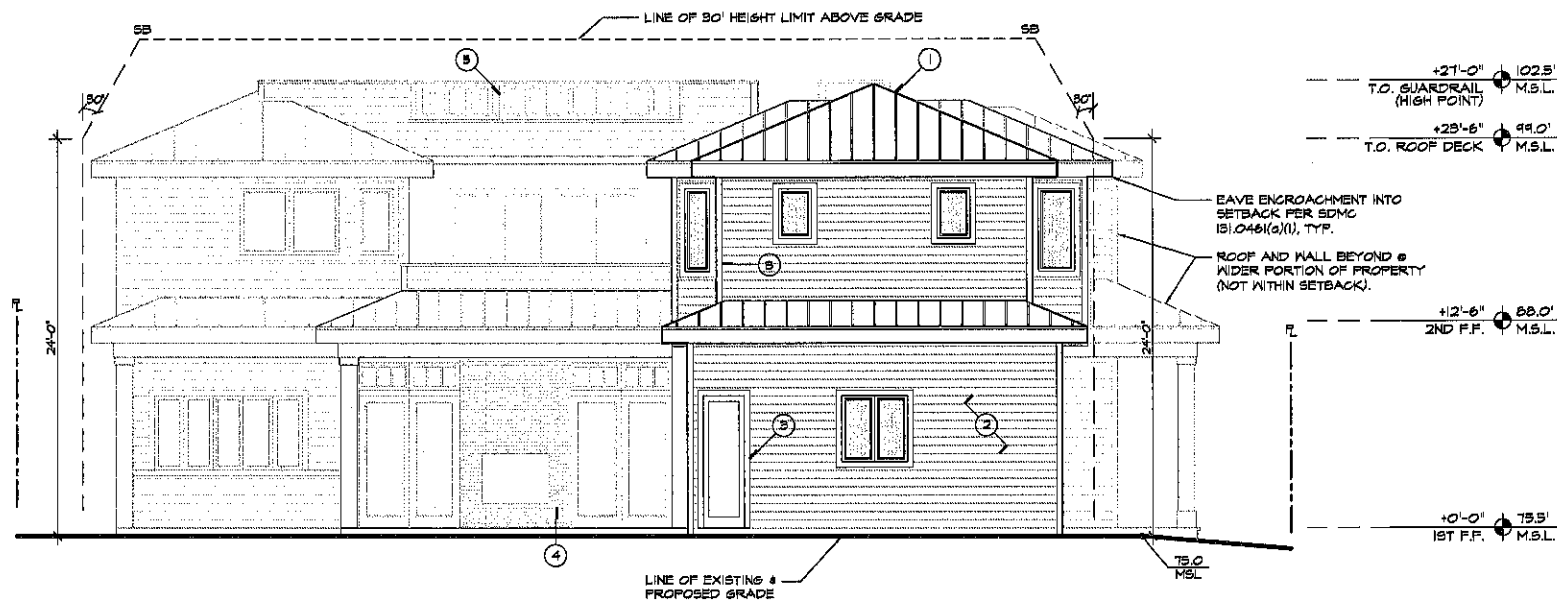
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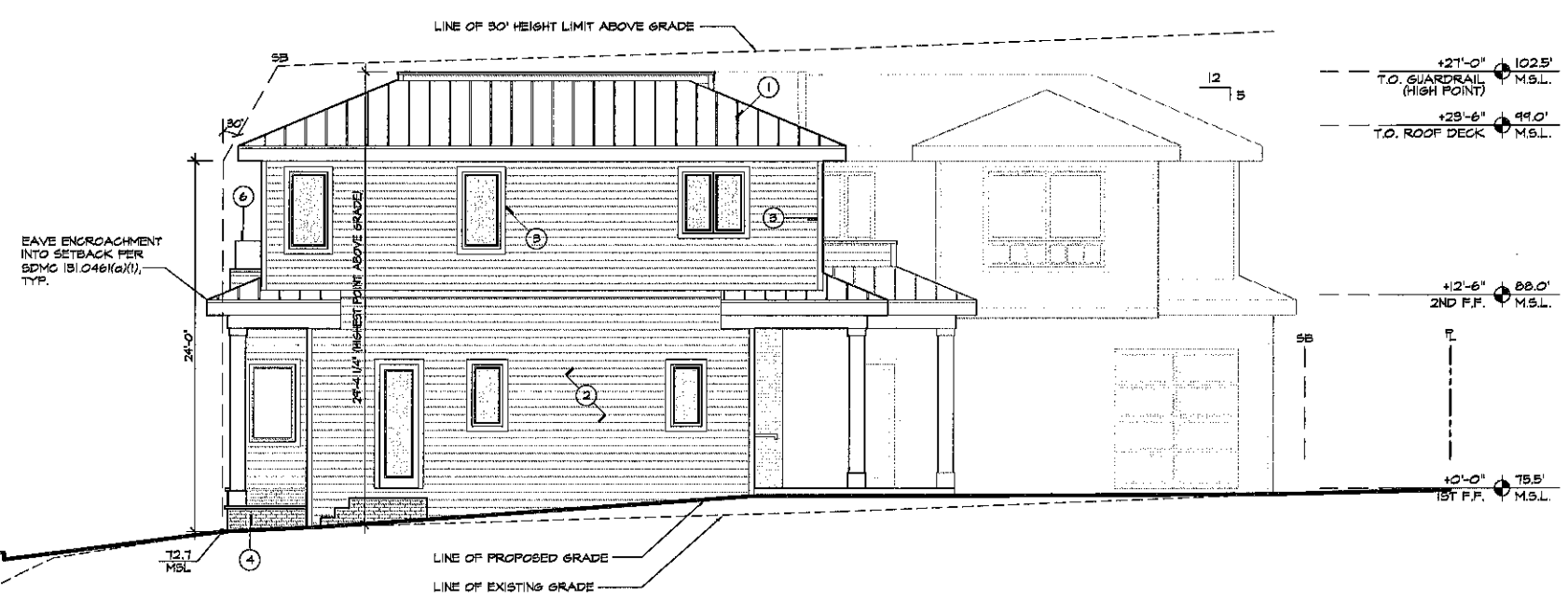


EAST (BACK YARD) ELEVATION
SCALE: 3/16"=1'-0"

NOTE:
THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE. (SDMG 181.0270)

ELEVATION NOTES:

- 1 STANDING SEAM METAL ROOF, TYP.
- 2 JAMES HARDI HARD/PLANK 6" EXPOSURE LAP SIDING, CEDARMILL FINISH, BLIND NAIL, COLOR: WHITE. INSTALL PER MANUF. SPECS.
- 3 JAMES HARDI HARDTRIM 4" TRIM, CEDARMILL FINISH, TYPICAL @ BUILDING CORNERS & AROUND OPENINGS. COLOR: WHITE. INSTALL PER MANUF. SPECS.
- 4 EL Dorado Stone BRICK VENEER, COLOR: PATTERN PER OWNER'S APPROVAL. INSTALL PER MANUF. SPECS. ICC-ES REPORT ESR-125.
- 5 WOOD GUARDRAIL PER OWNER APPROVAL, 42" ABOVE FINISHED FLOOR.
- 6 GLASS GUARDRAIL, 42" ABOVE FINISHED FLOOR.



SOUTH (SIDE YARD) ELEVATION
SCALE: 3/16"=1'-0"

SCALE: 3/16"=1'-0"

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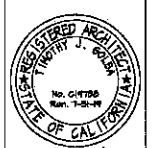
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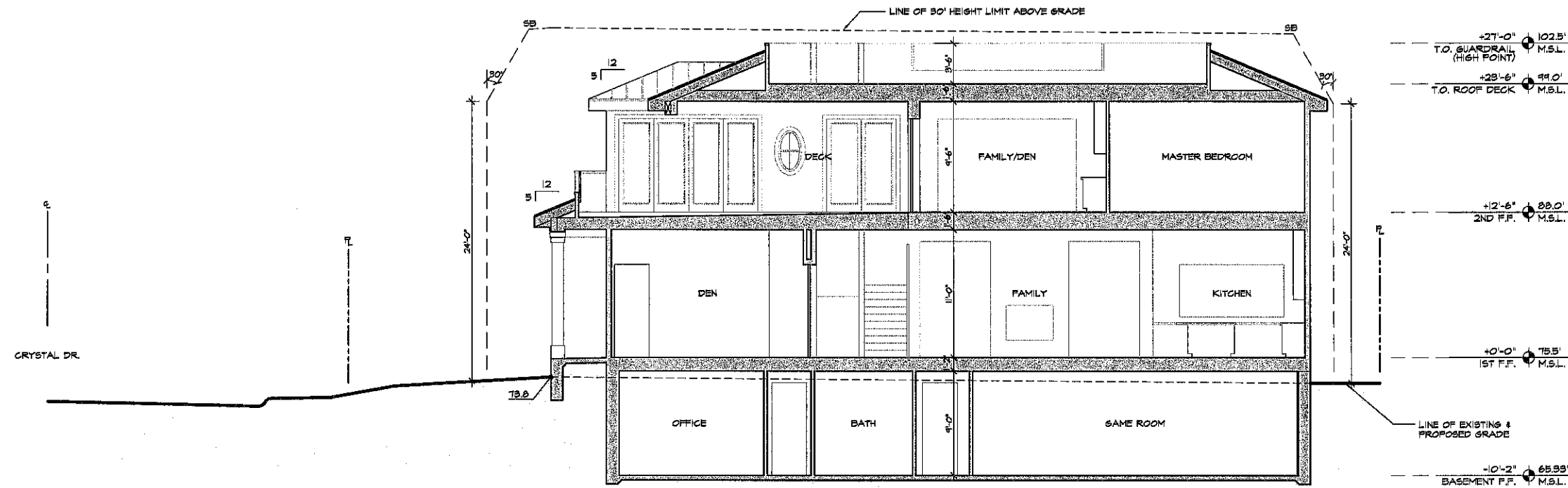
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Sheet Title:
EXTERIOR ELEVATIONS

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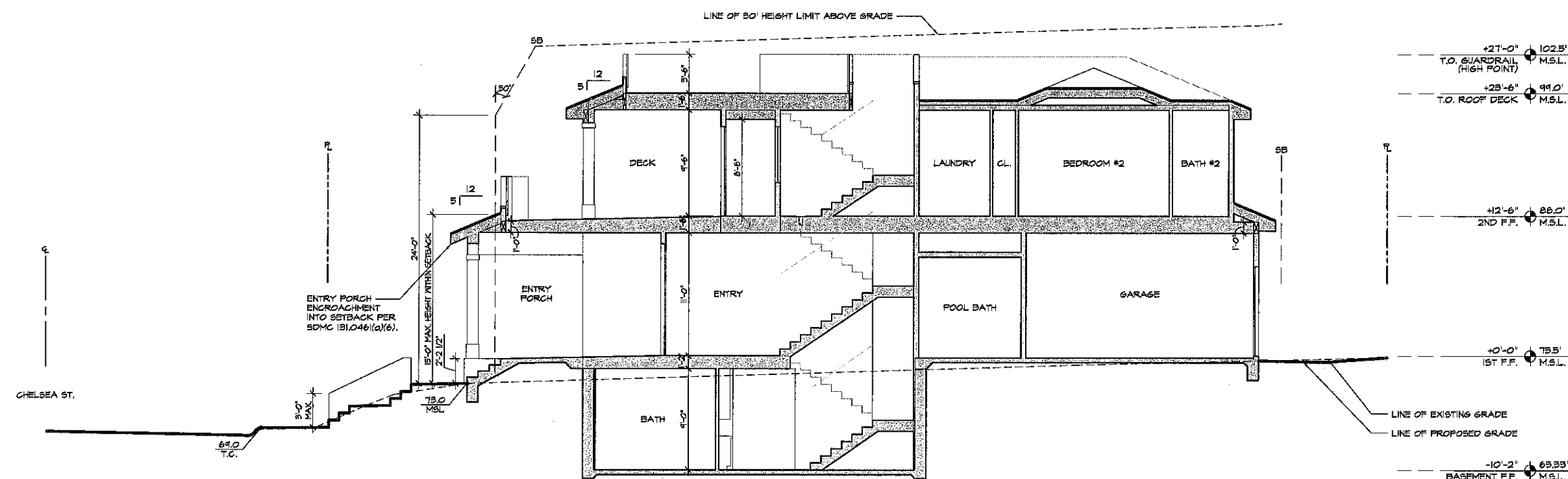




+27'-0" 102.5' M.S.L. T.O. GUARDRAIL (HIGH POINT)
 +28'-6" 99.0' M.S.L. T.O. ROOF DECK
 +12'-6" 88.0' M.S.L. 2ND F.F.
 +0'-0" 75.5' M.S.L. 1ST F.F.
 -10'-2" 65.55' M.S.L. BASEMENT F.F.

NOTE:
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE. (SDMC 115.0210)

BUILDING SECTION
 SCALE: 1/4"=1'-0"



+27'-0" 102.5' M.S.L. T.O. GUARDRAIL (HIGH POINT)
 +28'-6" 99.0' M.S.L. T.O. ROOF DECK
 +12'-6" 88.0' M.S.L. 2ND F.F.
 +0'-0" 75.5' M.S.L. 1ST F.F.
 -10'-2" 65.55' M.S.L. BASEMENT F.F.

BUILDING SECTION
 SCALE: 1/4"=1'-0"

SCALE: 3/16"=1'-0"

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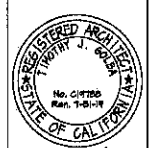
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SITE SECTIONS

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