



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: November 13, 2019 REPORT NO. HO-19-095

HEARING DATE: November 20, 2019

SUBJECT: PARZEN ADDITION AND RENOVATION Process Three Decision

PROJECT NUMBER: 633944

OWNER/APPLICANT: PARZEN-RILES REVOCABLE TRUST

SUMMARY

Issue: Should the Hearing Officer approve the construction of first and second story additions totaling 494 square-feet and the remodel of an existing 2,292 square foot, two-story, dwelling unit, located at 584 San Antonio Avenue, within the Peninsula Community Plan and Local Coastal Program Land Use Plan area?

Staff Recommendation: Approve an application for Coastal Development Permit No. 2280456.

Community Planning Group Recommendation: On July 18, 2019, the Peninsula Community Planning Board voted 14-0-1 to recommend approval of the proposed project without conditions (Attachment 7).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 18, 2019, and the opportunity to appeal that determination ended October 2, 2019 (Attachment 6).

BACKGROUND

The 0.28-acre site is located at 584 San Antonio Avenue (Attachment 1) in the Residential (RS-1-7) Zone, Coastal (Appealable), First Public Roadway, Coastal Height Limitation, Airport Influence, FAA Part 77 Noticing Area, and Parking Impact Overlay Zones within the Peninsula Community Plan and Local Coastal Program Land Use Plan (Community Plan) area. The Community Plan land use designation for the site is Single Dwelling Unit Residential (6-9 dwelling unit per acre) (Attachment 2) and within the Residential (RS-1-7) Zone. The 0.28-acre site would support one dwelling unit and a companion unit consistent with the land use and implementing zoning. The site is currently

developed with an existing two-story 2,292 square-foot dwelling unit (Attachment 3). Development in the vicinity of the site are one and two-story dwellings units.

The San Diego Municipal Code (SDMC) Section 143.0212 requires City staff to review all projects impacting a parcel that contains structure(s) 45 years of age or older to determine whether a potentially significant historical resource exists on site. A historical assessment was performed in 2016 under project No. 524119, and City staff determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property did not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

DISCUSSION

Project Description

The project proposes to construct first and second story additions totaling 494 square-feet and the remodel of an existing 2,292 square foot, two-story, dwelling unit. The first-floor addition is 11 square feet and a second story addition of 483 square feet over the existing first floor footprint (Attachment 9).

The site is 247 feet from San Diego Bay, within the first public roadway parallel to the sea, but is not within the floodplain. The project site is a sloping lot with an elevation of approximately 18 feet mean sea level (MSL) at the eastern front of the lot rising to approximately 37 feet MSL at the northwestern corner of the lot. The property is not within or adjacent to the Multiple Species Conservation Program's Multiple Habitat Planning Area and the slope does not meet the definition for Environmentally Sensitive Lands as defined in San Diego Municipal Code (SDMC) Section 113.0103

The Community Plan's Residential Objectives calls to maintain and complement the existing scale and character of the residential areas of Peninsula. The surrounding vicinity is marked by large two-story dwelling units of various architectural styles. The proposed additions and remodel of the existing dwelling unit will retain the existing architectural style fitting in with the eclectic mix of dwellings in the vicinity. The new second story will be two feet below the existing roof ridge height of 28.08 feet in conformance with the Coastal Height Limitation Overlay Zone maximum of thirty-feet.

The Community Plan's Urban Design Guidelines call for structures to be designed to protect views of natural scenic amenities, especially the ocean shoreline, and San Diego Bay. San Antonio Avenue in this location has views eastward, over a row of dwellings downslope at the San Diego Bay edge. The area is identified in the Community Plan as a Coastal Vista View area. The proposed additions will be below the existing roof ridgeline and in conformance with the Coastal Height Limitation Overlay Zone. Further, the dwelling unit will observe a 50-foot front setback, a 78.5 feet rear setback, an east side setback of 11.1 feet and a west side setback of 7.5 feet, exceeding the setbacks required of the implementing zoning.

The Environmental Analysis Section conducted an environmental review of this site, in accordance with CEQA guidelines. The project was determined to be categorically exempt from CEQA pursuant

to Sections 15301(e)(1) (Existing Facilities). Therefore, the proposed development would not adversely affect the environment.

Conclusion:

Staff has reviewed the proposed project, and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the Land Development Code. Staff has provided draft conditions of approval (Attachment 5) and draft findings to support approval of the project (Attachment 4). Staff recommends that the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2280456, with modifications.
2. Deny Coastal Development Permit No. 2280456, if the findings required to approve the project cannot be affirmed.

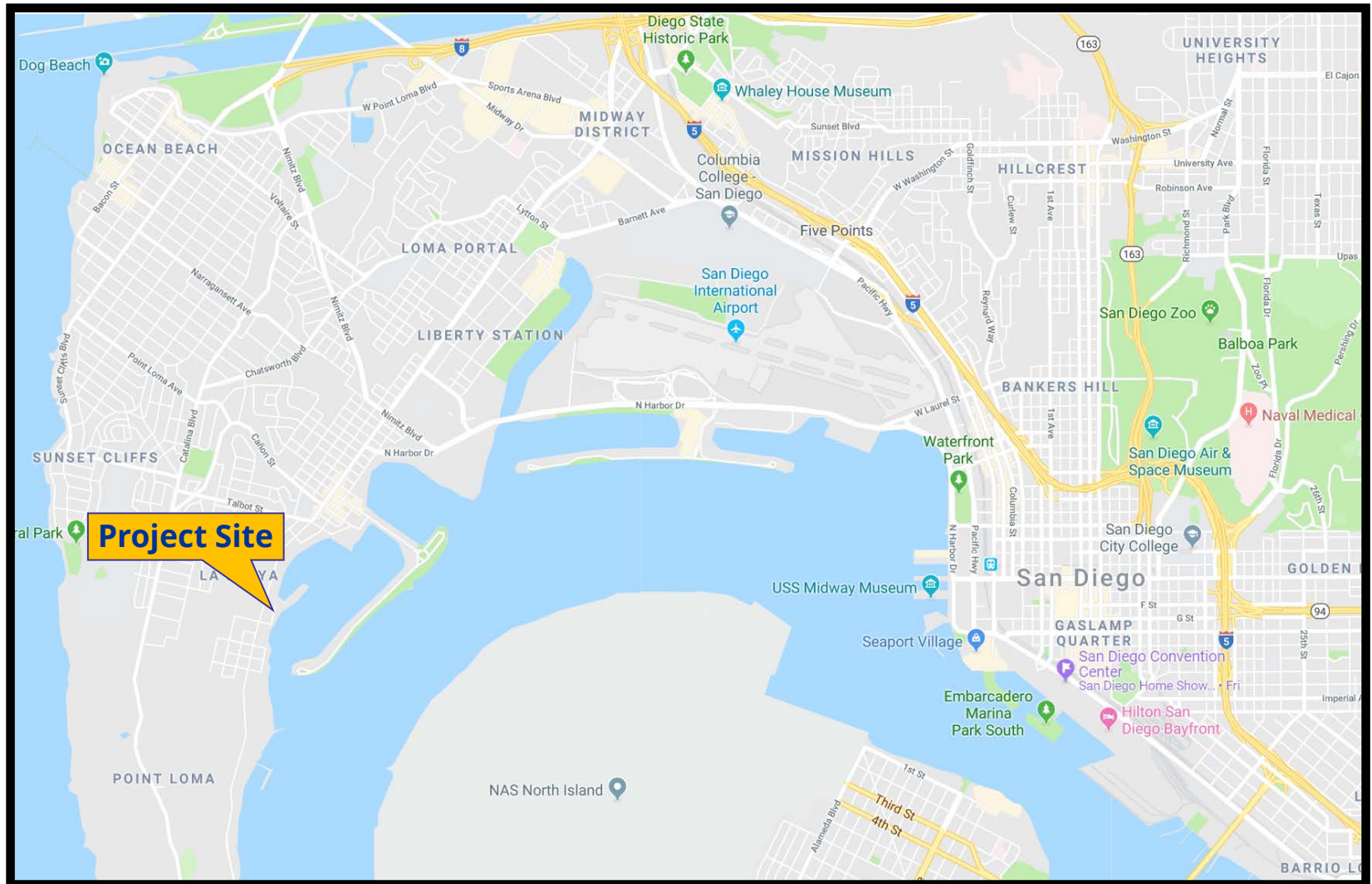
Respectfully submitted,



Karen Bucey, Development Project Manager

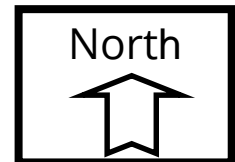
Attachments:

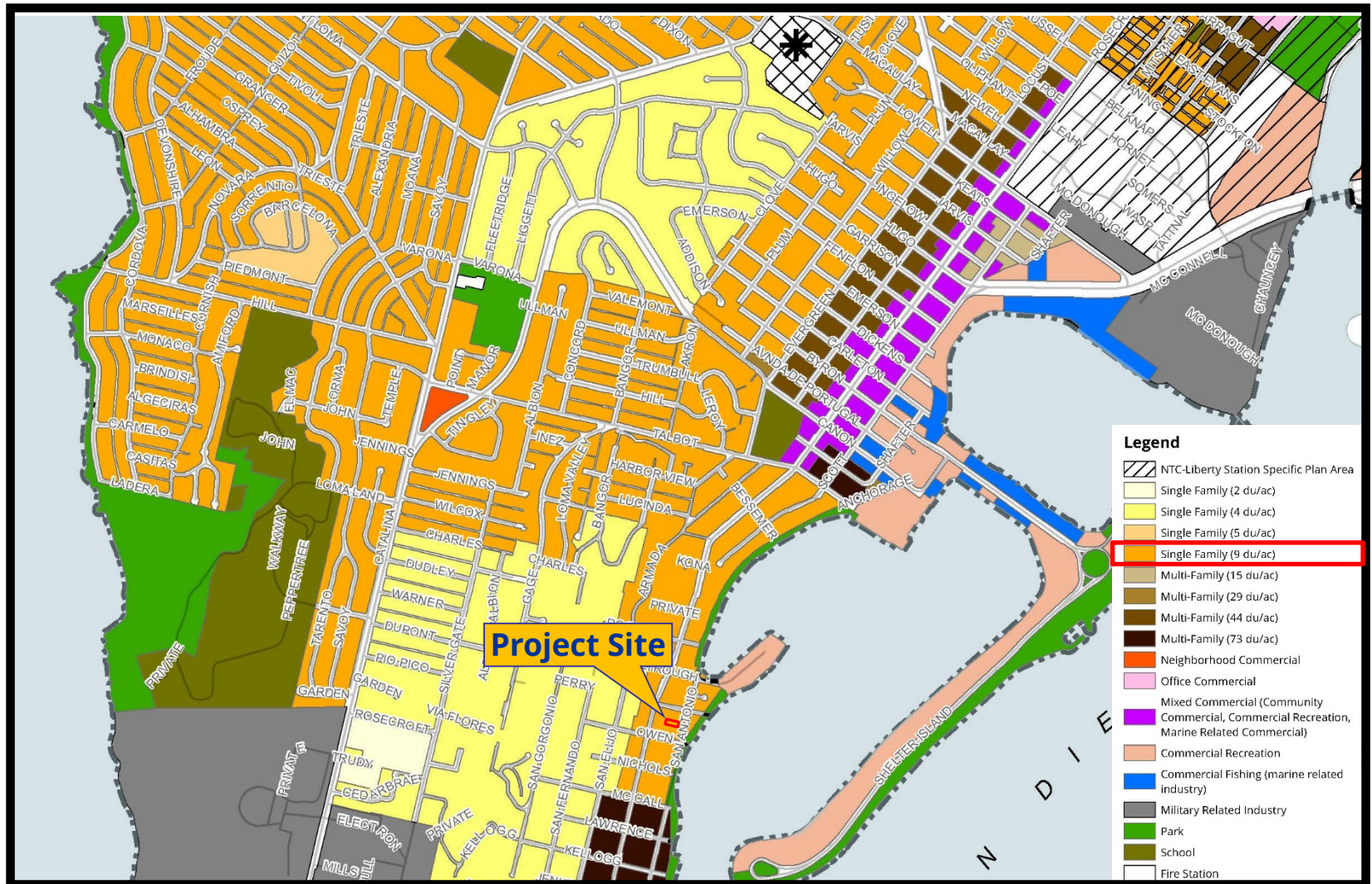
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Project Data Sheet
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

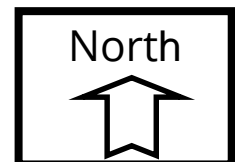
Parzen Addition and Renovation; Project No. 633944
584 San Antonio Avenue





Community Plan Land Use Map

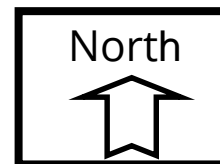
Parzen Addition and Renovation; Project No. 633944
584 San Antonio Avenue





Aerial Photograph

Parzen Addition and Renovation; Project No. 633944
584 San Antonio Avenue



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2280456
PARZEN ADDITION AND RENOVATION PROJECT NO. 633944

WHEREAS, PARZEN-RILES REVOCABLE TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a 494 square-foot addition and the remodel of an existing 2,292 square foot, two-story, single dwelling unit for a total of 2,786 square feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2280456);

WHEREAS, the 0.28-acre site is located at 584 San Antonio Avenue in the Residential (RS-1-7) Zone, Coastal Appealable, Coastal Height Limitation, First Public Roadway, Airport Influence Areas, FAA Part 77 Noticing Area, and Parking Impact Overlay Zones within the Peninsula Community Plan and Local Coastal Program;

WHEREAS, the project site is legally described as described as:

Parcel 1A:

The southerly 50 feet of the northeast quarter of lot 156 of the Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by Charles H. Poole, in 1856 and being generally known and called the south 50 feet of lot 3 of block 156 of La Playa.

Also, all that portion, of the westerly 25 feet of San Antonio Avenue adjoining the aforesaid premises on the east that was closed to public use May 23, 1914, by Resolution No. 17359 of the Common Council of the City of San Diego.

Parcel 1B:

The northerly 20 feet of the southeast quarter of lot 156 of the Pueblo Lands of San Diego, according to Map thereof by Charles H. Poole in 1856, a copy of which said Map was filed in the Recorder's Office November 14, 1921 and is known as miscellaneous Map No. 35 (said southeast quarter being generally known as Lot 4 in Block 156 of La Playa).

Also, all that portion of the westerly 25 feet of San Antonio Avenue lying easterly of and adjoining said northerly 20 feet, as vacated and closed to public use on May 25, 1914, by Resolution No. 17359 of the Common Council of the City of San Diego;

WHEREAS, on September 18, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on November 20, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2280456 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following written Findings with respect to Coastal Development Permit No. 2280456:

A. COASTAL DEVELOPMENT PERMIT (San Diego Municipal Code Section 126.0708)

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The 0.28-acre site is located at 584 San Antonio Avenue. The project proposes to construct first and second story additions totaling 494 square-feet and the remodel of an existing 2,292 square foot, two-story, single dwelling unit. The site is located in the Residential (RS-1-7) Zone, Coastal Appealable, Coastal Height Limitation, First Public Roadway, Airport Influence Areas, FAA Part 77 Noticing Area, and Parking Impact Overlay Zones within the Peninsula Community Plan and Local Coastal Program.

The site is approximately 247 feet from San Diego Bay, within the first public roadway parallel to the sea, but is not within the floodplain. San Antonio Avenue in this location has views eastward, over a row of dwellings downslope at the San Diego Bay edge. The area is identified in the Peninsula Community Plan and Local Coastal Program Land Use Plan (Community Plan) as a Coastal Vista View area.

The Community Plan's Urban Design Guidelines calls for structures to be designed to protect views of natural scenic amenities, especially the ocean shoreline, and San Diego Bay. The existing dwelling unit will continue to observe the following setbacks: a 50-foot front setback where 15 feet is required, a 78.5 feet rear setback where 17.5 feet is required, an east side setback of 11.1 feet where 5.7 feet is required and a west side setback of 7.5 feet where 5.7

feet is required. In addition to the dwelling unit, the site includes an existing single-story garage and boathouse accessory structure that were legally permitted within the setback. The proposed project does not include any modifications to the existing accessory structures.

The additions to the dwelling unit are within the existing building footprint and the expanded second-story is over the first-floor footprint. The height of the new second story will be two feet below the existing roof ridge height of 28.08 feet. The proposed structure height is in conformance with the Coastal Height Limitation Overlay Zone maximum of thirty-feet. The development is entirely within private property and will not impact designated public views as specified in the Community Plan.

The project is not requesting, nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use plan. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The 0.28-acre site is located at 584 San Antonio Avenue. The project proposes to construct first and second story additions totaling 494 square-feet and the remodel of an existing 2,292 square foot, two-story, dwelling unit.

The site is 247 feet from San Diego Bay, within the first public roadway parallel to the sea, but is not within the floodplain. The project site is a sloping lot with an elevation of approximately 18 feet mean sea level (MSL) at the eastern front of the lot rising to approximately 37 feet MSL at the northwestern corner of the lot. The property is not within or adjacent to the Multiple Species Conservation Program's Multiple Habitat Planning Area, does not contain sensitive vegetation, and the slope does not meet the definition for Environmentally Sensitive Lands as defined in San Diego Municipal Code (SDMC) Section 113.0103.

The Environmental Analysis Section conducted an environmental review of this site, in accordance with CEQA guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15301(e)(1) of CEQA Guidelines (Existing Facilities). Therefore, the proposed coastal development would not adversely affect any environmentally sensitive lands as no such lands exist on or adjacent to the project site.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The 0.28-acre site is located at 584 San Antonio Avenue. The project proposes to construct first and second story additions totaling 494 square-feet and the remodel of an existing 2,292 square foot, two-story, dwelling unit.

The Community Plan's land use designation for the site is Single Dwelling Unit Residential (6-9 dwelling unit per acre); implemented through the Residential Single Dwelling Unit (RS-1-7) Zone. The single dwelling unit is consistent with the land use and implementing zoning.

The Community Plan's Residential Objectives calls to maintain and complement the existing scale and character of the residential areas of Peninsula. The surrounding vicinity is marked by large two-story residential dwelling units of various architectural styles. The proposed additions and remodel of the existing dwelling will retain the existing architectural style fitting in with the eclectic mix of dwellings in the vicinity.

The Community Plan's Urban Design Guidelines calls for structures to be designed to protect views of natural scenic amenities, especially the ocean shoreline, and San Diego Bay. The existing dwelling unit will continue to observe the following setbacks: a 50-foot front setback where 15 feet is required, a 78.5 feet rear setback where 17.5 feet is required, an east side setback of 11.1 feet where 5.7 feet is required and a west side setback of 7.5 feet where 5.7 feet is required. In addition to the dwelling unit, the site includes an existing single-story garage and boathouse accessory structure that were permitted within the setback. The proposed project does not include any modifications to the existing accessory structures. The proposed structure height of 28.08 feet is in conformance with the Coastal Height Limitation Overlay Zone maximum of thirty-feet. Therefore, the development is in conformity with the Certified Local Coastal Program land use plan and certified implementation program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.28-acre site is located at 584 San Antonio Avenue. The project proposes to construct first and second story additions totaling 494 square-feet and the remodel of an existing 2,292 square foot, two-story, dwelling unit.

The site is 247 feet from San Diego Bay and within the first public roadway parallel to the sea. The project site does not contain public access way or recreational resources and would not encroach upon beaches or the coastline access way or recreational areas. Therefore, the project is in conformance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2280456 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2280456, a copy of which is attached hereto and made a part hereof.

Karen Bucey
Development Project Manager
Development Services

Adopted on: November 20, 2019

IO#: 12002110

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 12002110

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2280456
PARZEN ADDITION AND RENOVATION PROJECT NO. 633944
HEARING OFFICER

This Coastal Development Permit No. 2280456 is granted by the Hearing Officer of the City of San Diego to PARZEN-RILES REVOCABLE TRUST, Owner and Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0702(a) and 126.0707(b). The 0.28-acre site is located at 584 San Antonio Avenue in the Residential (RS-1-7) Zone, Coastal Appealable, Coastal Height Limitation, First Public Roadway, Airport Influence Areas, FAA Part 77 Noticing Area, and Parking Impact Overlay Zones within the Peninsula Community Plan and Local Coastal Program. The project site is legally described as:

Parcel 1A:

The southerly 50 feet of the northeast quarter of lot 156 of the Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by Charles H. Poole, in 1856 and being generally known and called the south 50 feet of lot 3 of block 156 of La Playa.

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Also, all that portion of the westerly 25 feet of San Antonio Avenue lying easterly of and adjoining said northerly 20 feet, as vacated and closed to public use on May 25, 1914, by Resolution No. 17359 of the Common Council of the City of San Diego.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a 494 square-foot addition and the remodel of an existing two-story

dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated November 20, 2019, on file in the Development Services Department.

The project shall include:

- a. The addition of 11 square feet to the first floor, 483 square feet on the second floor and interior renovations to the existing two-story 2,292 square-foot dwelling unit;
- b. Off-street parking spaces;
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 20, 2022.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial construction modifications and site improvements may be required to comply with applicable construction, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the

Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for all private improvements in the San Antonio Avenue Right-of-Way including non-standard brick pavers, driveway, planters and stairs, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

16. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part Two Construction BMP Standards Chapter Four of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

17. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 20, 2019 and HO-_____.

DRAFT

ATTACHMENT 5

Permit Type/PTS Approval No.: Coastal Development Permit No. 2280456
Date of Approval: November 20, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Bucey
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

PARZEN-RILES REVOCABLE TRUST
Owner/Permittee

By _____
Micah David Parzen
Trustee

PARZEN-RILES REVOCABLE TRUST
Owner/Permittee

By _____
Elizabeth M. Riles Parzen
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

Attachment 6

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT No.: 633944

PROJECT TITLE: Parzen Addition and Renovation CDP

PROJECT LOCATION-SPECIFIC: 584 San Antonio Avenue, San Diego, CA 92106

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A Coastal Development Permit (CDP) for a remodel and 494 square-foot addition to an existing 2,292 square-foot two-story single-family dwelling unit. The 0.28-acre site is located in the RS-1-7 base zone, and the Coastal (Appealable), First Public Roadway, Coastal Height Limitation, Airport Influence Area, FAA Part 7 Notification Area, and Parking Impact overlay zones, within the Peninsula Community Plan area and Council District 2.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Marguerite Parzen, 584 San Antonio Avenue, San Diego, CA 92106; 619-987-8693

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL
☐ DECLARED EMERGENCY
☐ EMERGENCY PROJECT
☒ CATEGORICAL EXEMPTION: SECTION 15301(E)(1): EXISTING FACILITIES

REASONS WHY PROJECT IS EXEMPT: The project has been determined to be exempt from CEQA pursuant to Section 15301(e)(1) of CEQA Guidelines. Section 15301(e)(1) applies to additions to existing structures that will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore this exemption is applicable to the proposed project.

LEAD AGENCY CONTACT PERSON: M. Brunette

TELEPHONE: (619) 446-5379

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
☐ YES ☐ NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



MARK BRUNETTE, SENIOR PLANNER

OCTOBER 3, 2019
DATE

CHECK ONE:

- (X) SIGNED BY LEAD AGENCY
() SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



PCPB Thursday July 18, 2019 Minutes

Point Loma Branch Library, 3701 Voltaire Street

General

Meeting called to order by Bob Goldyn at 6:00pm

Approval of agenda - passed, 13-0-2 (Don Sevens abstained).

Present: Bob Goldyn, David Dick, Brad Herrin, Mark Krencik, Scott Deschenes, Robert Tripp Jackson, Jim Hare, Fred Kosmo, Sarah M Alemany, Korla Eaquina, Margaret Virissimo, Don Sevens, Lucky Morrison, Eva Schmitt, Mandy Havlik.

No members were absent.

Non-Agenda Public Comment

Government and Community Reports

Applicant-Initiated Action Items

1. Port Master Plan Update- no action taken.
2. Barton Companion Unit CDP - Motion to approve 14-0-1.
3. Sprint PLNU CUP - Motion to approve- 14-0-1.
4. Parzen Remodel CDP- Motion to approve by Virissimo/Deschenes 14-0-1.
5. Niagara Homes CDP - Motion to approve- 8-6-0 opposed (Havlik, Tripp Jackson, Morrison, Schmitt, Sevens, and Virissimo). Motion passed.

Information Items

Board-Initiated Action Items

PCPB Reports & Parliamentary Matters

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	Ownership Disclosure Statement	FORM DS-318 October 2017
---	---	---	--

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: PARZEN REMODEL **Project No. For City Use Only:** 633944

Project Address: 584 SAN ANTONIO AVENUE
SAN DIEGO CA 92106

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner ELIZABETH

Name of Individual: MICAH AND MARGUERITE PARZEN ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 584 SAN ANTONIO AVENUE

City: SAN DIEGO State: CA Zip: 92106

Phone No.: 619.987.8693 Fax No.: N/A Email: mparzen@sbcglobal.net

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: MARGUERITE PARZEN ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 584 SAN ANTONIO AVENUE

City: SAN DIEGO State: CA Zip: 92106

Phone No.: 619.987.8693 Fax No.: N/A Email: mparzen@sbcglobal.net

Signature: M. Parzen Date: 4/4/2019

Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

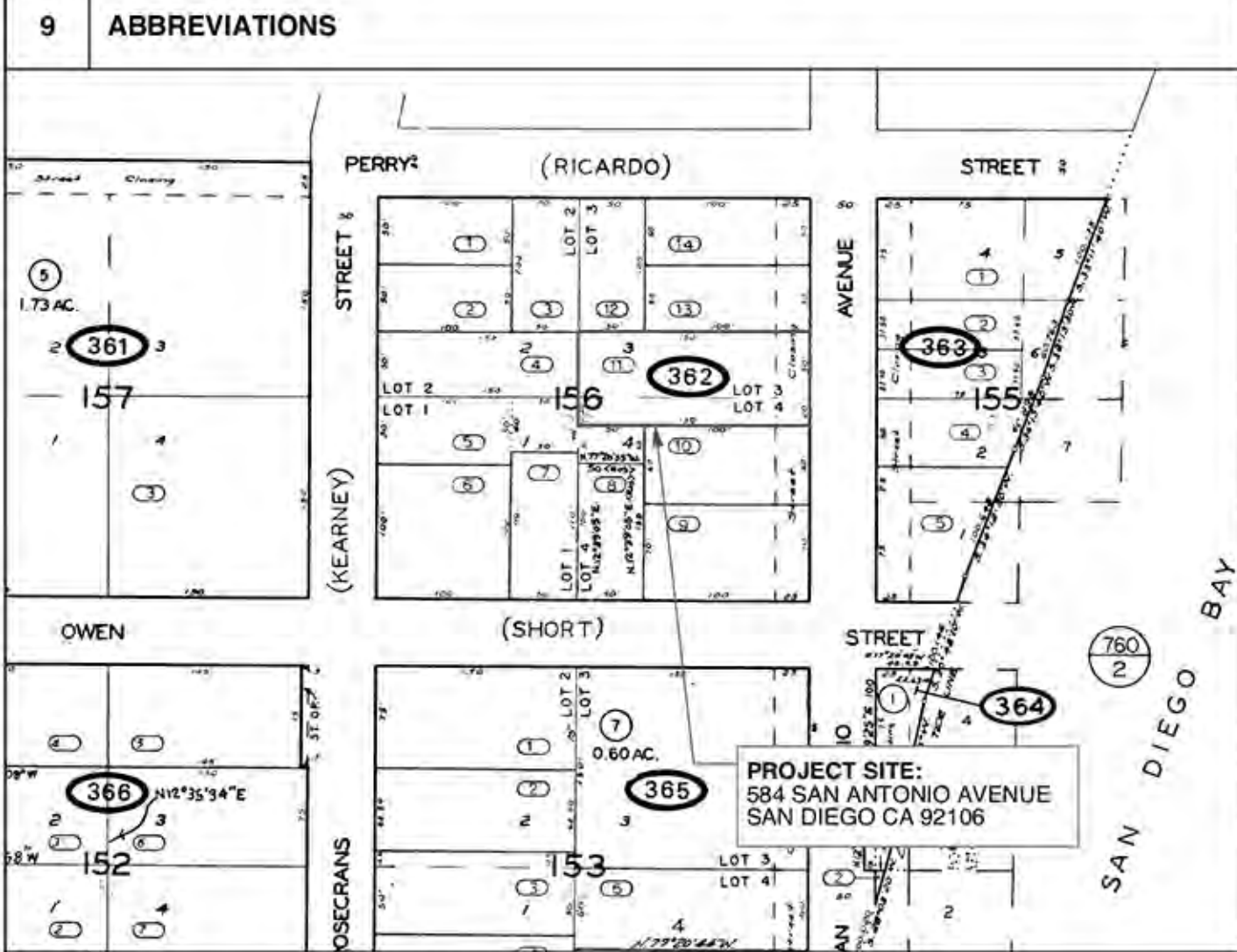
Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

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 Upon request, this information is available in alternative formats for persons with disabilities.

@	AT	DWG	DRAWING	JB	JUNCTION BOX	RV	ROOF VENT
AB	ANCHOR BOLT	DWR	DRAWER	JST	JOIST	RWL	RAIN WATER LEADER
ABV	ABOVE	E	EAST (or) EXISTING	JT	JOINT	S	SOUTH
AC	AIR CONDITIONING	EA	EACH	KPL	KICKPLATE	SAF	SELF-ADHERING FLASHING
ACOUS	ACOUSTIC	ED	EXISTING	LAM	LAMINATED	SB	SETBACK
ACT	ACTUAL	EL	ELEVATION	LP	LOW POINT	SC	SOLID CORE
		EL	ELEVATOR	LTG	LIGHTING	SCHD	SCHEDULE
AD	AREA DRAIN	EP	ELECTRIC PANEL	LTV	LOUVER	SECT	SECTION
ADD	ADDENDUM	ELEC	ELECTRIC	LVR	LOUVER	SHD	SHOWER HEAD
ADDL	ADDITIONAL	ELV	ELEVATION	MAS	MASONRY	SHTH	SHEATHING
ADJ	ADJUSTABLE	EQ	EQUAL	MAX	MAXIMUM	SHT	SHEET
AFF	ABOVE FINISHED FLOOR	EW	EACH WAY	MB	MACHINE BOLT	SHT MTL	SHEET METAL
		EXST	EXISTING	MC	MEDICINE CABINET	SHWR	SHOWER
ALT	ALTERNATE	EXP	EXPANDED	MECH	MECHANICAL	SL	SLIDING
ALUM	ALUMINUM	EXP JT	EXPANSION JOINT	MEMB	MEMBRANE	SL GL	SLIDING GLASS
ANOD	ANODIZED	EXT	EXTERIOR	MFR	MANUFACTURER	SMT	SEALANT
AP	ACCESS PANEL	FAU	FORCED AIR UNIT	MH	MANHOLE	SPEC	SPECIFICATIONS
APP	APPROVED	FD	FLOOR DRAIN	MIN	MINIMUM	S&P	SHELF & POLE
APPROX	APPROXIMATE	FF	FINISHED FLOOR	MISC	MISCELLANEOUS	SP	SHEAR PANEL
APR	APPROVED	FG	FIXED GLASS	MAS	MASONRY OPENING	SO	SQUARE
ARCH	ARCHITECT	FI	FINISHED	MTD	MOUNTED	SO FT	SQUARE FOOT
ASPH	ASPHALT	FJ	FLOOR JOIST	MTL	METAL	SSD	SEE STRUCTURAL DRAWINGS
AVG	AVERAGE	FOC	FACE OF CONCRETE	NA	N/A	STD	STANDARD
BD	BOARD	FOM	FACE OF MASONRY	NAT	NATURAL	STL	STEEL
BLDG	BUILDING	FOS	FACE OF STUD	N	NORTH (or) NEW	SS	STAINLESS STEEL
BKG	BLOCKING	FPF	FIREPROOFING	NC	NOT IN CONTRACT	STOR	STORAGE
BM	BEAM	FR	FRAME	NO	NUMBER	STRUC	STRUCTURAL
BOJ	BOTTOM OF JOIST	FS	FULL SIZE	NOM	NOMINAL	SUSP	SUSPENDED
BOW	BOTTOM OF WALL	FT	FOOT	NTS	NOT TO SCALE	T	TREAD
BRK	BRICK	FTG	FOOTING	OBS	OBSCURED	TC	TRASH
BRZ	BRONZE	FUR	FURRED(ING)	OC	ON CENTER	TEL	ENCLOSURE
CA	APPROXIMATELY	FURN	FURNISHED	OD	OUTSIDE	TEL	TELEPHONE
CAB	CABINET	GA	GAUGE	OF	OVERFLOW	TERR	TERRAZZO
CBS	CATCH BASIN	GALV	GALVANIZED	OH	OVERHEAD	TGS	TONGUE & GROOVE
CEM	CEMENT	GD	GARAGE	OPNG	OPENING	THSLO	THRESHOLD
CERT	CERAMIC TILE	GEN	GENERAL	OPP	OPPOSITE	TOC	TOP OF CURB
CJ	CEILING JOIST	GFRG	GLASS FIBER REINFORCED CONCRETE	PL	PLATE/PLATE LINE/PROPERTY LINE	TOCONG	TOP OF CONCRETE
CJT	CONTROL JOINT			PLAM	PLASTIC LAMINATE	TOM	TOP OF MASONRY
CKT	CIRCUIT	GFRG	GLASS FIBER REINFORCED GYPSUM	PLAS	PLASTIC	TOS	TOP OF SLAB
CL	CLOSET	GI	GALVANIZED IRON GLASS	PNL	PANEL	TOW	TOP OF WALL
CLG	CENTER LINE	GR	GRADE	PAI	PAINTED	TYP	TYPICAL
CLD	CLOSED	GSM	GALVANIZED SHEET METAL	PROJ	PROJECT	UG	UNDERGROUND
CLR	CLEAR			PSF	POUNDS/SQ. FT.	UNL	UNLESS OTHERWISE NOTED
CMU	CONCRETE MASONRY UNIT	GWB	GYPSUM WALLBOARD	PT	TREATED	UTL	UTILITY
CNDT	CONDUIT	HB	HOSE BIB	OT	QUARRY TILE	VERT	VERTICAL
COMP	COMPUTER	HC	HOLLOW CORE	R	RISER	VCT	VINYL COMPOSITE TILE
CONC	CONCRETE	HDR	HEADER	RAD	RADIUS	VIF	VERIFY IN FIELD
CONST	CONSTRUCTION	HDWD	HARDWOOD	RAG	RETURN AIR GRILL	VT	VINYL TILE
CONT	CONTINUOUS	HWE	HARDWARE	RD	ROOF DRAIN	W	WEST
CONTR	CONTRACTOR	HGT	HEIGHT	RDWD	REDWOOD	W/	WITH
CS	COUNTERSINK	HM	HOLLOW METAL	REC	RECESSED	WO	WASHER/DRYER
CT	CURTAIN TRACK	HP	HIGH POINT	REIN	REINFORCING	WO	WITHOUT
CUS	CUSTOM	HORIZ	HORIZONTAL	REC	REINFORCED	WC	WATER CLOSET
CW	COLD WATER	HTG	HEATING	REF	REFERENCE	WO	WOOD
Ø	DIAMETER	HVAC	HEATING, VENTING & AIR CONDITIONING	REIN	REINFORCED	WH	WATER HEATER
DBL	DOUBLE	HW	HOT WATER	REIN	REINFORCED	WIND	WINDOW
DBL GL	DOUBLE GLAZE	HWH	HOT WATER HEATER	RES T	REVISION	WP	WATERPROOF(ING)
DEFS	DIRECT EXTERIOR FINISH SYSTEM	HYD	HYDRANT	RFG	ROOFING	WRB	WATER RESISTANT BARRIER
DF	DOUGLAS FIR	ID	INSIDE DIAMETER	RFL	REFLECT(ED)	WWF	WELDED WIRE FABRIC
DG	DECOMPOSED GRANITE	IN	INCH	RJ	ROUGH JOIST	YD	YARD
DIM	DIMENSION	INCL	INCLUDED	RM	ROOM		
DN	DOWN	INSUL	INSULATION	RND	ROUND		
DR	DOOR	INT	INTERIOR	RO	ROUGH OPENING		
DS	DOWNSPOUT	INV	INVERT	RS	ROUGH SAWN		
DTLDET	DETAIL			RTN	RETURN		
DW	DISHWASHER						



7 PRELIMINARY RENDERING: VIEW FROM EAST

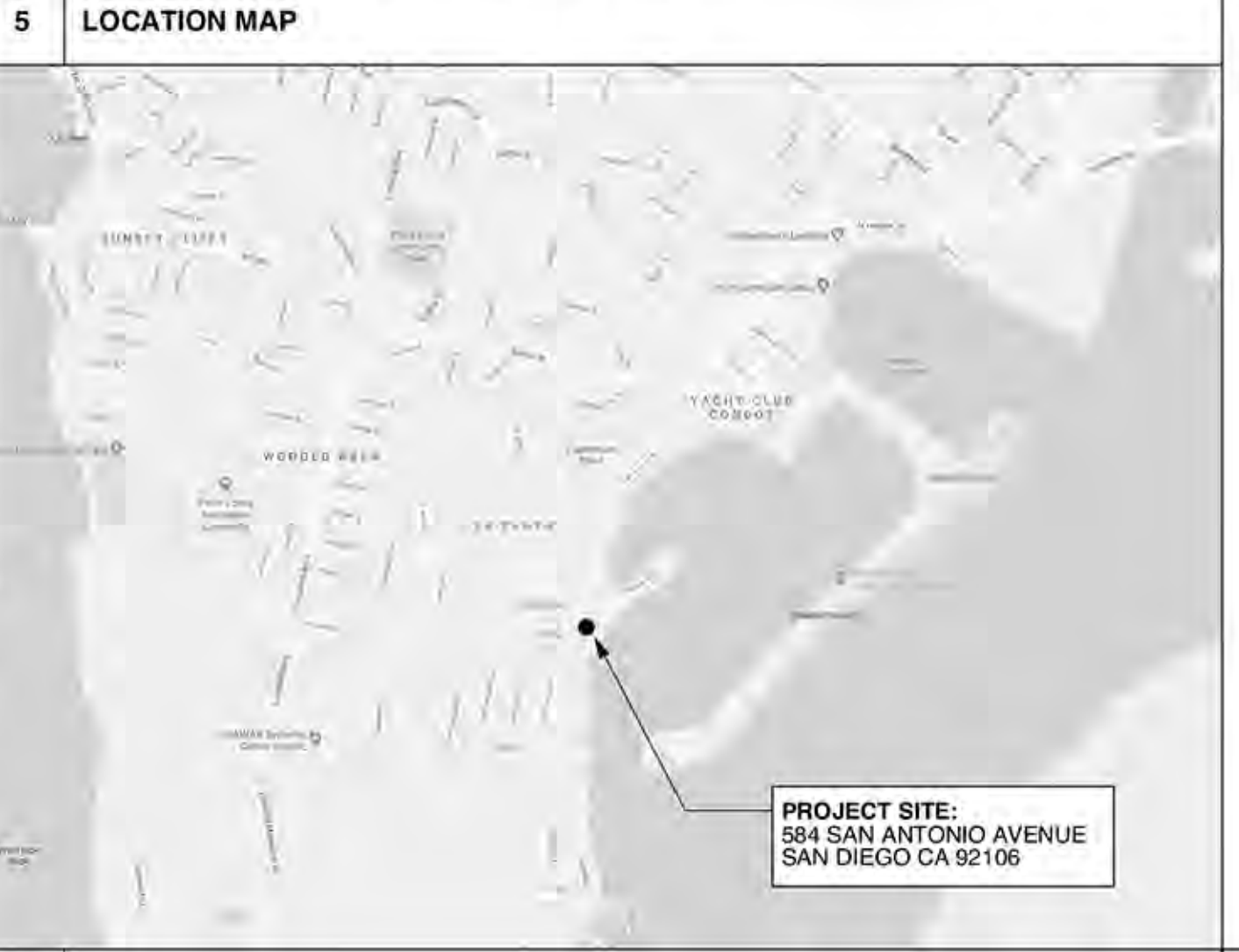
PER SECTION 77.15 OF THE CODE OF FEDERAL REGULATIONS (CFR) PART 77, NO PERSON IS REQUIRED TO NOTIFY THE ADMINISTRATOR FOR ANY OBJECT THAT WOULD BE SHIELDED BY EXISTING STRUCTURES OF A PERMANENT AND SUBSTANTIAL CHARACTER OR BY NATURAL TERRAIN OR TOPOGRAPHIC FEATURES OF EQUAL OR GREATER HEIGHT, AND WOULD BE LOCATED IN THE CONGESTED AREA OF A CITY, TOWN, OR SETTLEMENT WHERE IT IS EVIDENT BEYOND ALL REASONABLE DOUBT THAT THE STRUCTURE SO SHIELDED WILL NOT ADVERSELY AFFECT SAFETY IN AIR NAVIGATION.

I, PAUL BURGIN, DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15 (A) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE IN RELATION TO THE FAA PART 77 NOTIFICATION SURFACE REQUIREMENTS. THE PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED. CALL (858) 581-7111 TO SCHEDULE THE PRE-CONSTRUCTION INSPECTION. CONTACT THE INSPECTION SERVICES OFFICE AT (858) 492-5070 IF YOU HAVE ANY QUESTIONS PERTAINING TO THE PRE-CONSTRUCTION INSPECTION.

18 SEPTEMBER 2018

7 FAA PART 77 NOTIFICATION



4 VICINITY MAP

PROJECT DESCRIPTION: ADDITION TO, AND RENOVATION OF, EXISTING TWO-STORY SINGLE FAMILY RESIDENCE WITH NEW EXTERIOR DECK

EXISTING USE: SINGLE FAMILY RESIDENCE

PROPOSED USE: SINGLE FAMILY RESIDENCE

SITE ADDRESS: 584 SAN ANTONIO AVENUE SAN DIEGO CA 92106

APN: 532-362-11-00

LEGAL DESCRIPTION: LOT 4, BLOCK 156, MAP MM35 [PART OF LOTS 384, LOT 156 PUEBLO LANDS PER MM35]

ZONING: RS-1-7

ZONING OVERLAYS: - AIRPORT INFLUENCE AREA (AIA) - COASTAL HEIGHT LIMIT - COASTAL (CITY) - FIRST PUBLIC ROADWAY - PARKING IMPACT

LOT SIZE: 12,250 SF

FLOOD ZONE: N/A

HISTORIC DISTRICT: N/A

AIRPORTS: YES

ENVIRONMENTALLY SENSITIVE LANDS: NONE

YEAR BUILT: MAIN HOUSE: 1935 BOAT GARAGE: UNKNOWN CAR GARAGE: UNKNOWN

GEOLOGIC ZONE: 53

SCHOOL DISTRICT: SAN DIEGO

PLANNED DISTRICT: NONE

SQUARE FOOTAGE MATRIX:	EXISTING	EXISTING TO REMAIN	EXISTING TO BE REMOVED	NEW	TOTAL RESULTANT
MAIN HOUSE:					
1ST FLOOR	1511.4 SF	1411.4 SF	100.0 SF	111.0 SF	1522.4 SF
2ND FLOOR	780.9 SF	779.1 SF	1.8 SF	484.3 SF	1263.4 SF
MAIN HOUSE SUBTOTALS:	2292.3 SF	2190.5 SF	101.8 SF	595.3 SF	2785.8 SF
OUTBUILDINGS:				NET ADDITION OF 493.5 SF	
CAR GARAGE	364.7 SF	364.7 SF	0 SF	0 SF	364.7 SF
BOAT GARAGE	281.9 SF	281.9 SF	0 SF	0 SF	281.9 SF
SITE TOTAL	2938.9 SF	2837.1 SF	101.8 SF	595.3 SF	3432.4 SF

(SEE A1.0 FOR DETAILED SQUARE FOOTAGE CALCULATIONS; SEE DE1/DE2 FOR DEMOLITION CALCULATIONS)

SITE CONSTRAINT MATRIX:	CODE SECTION	EXISTING	ALLOWABLE/REQUIRED	PROPOSED
FLOOR/AREA RATIO (FAR)	\$131.0446 / TABLE 131-04J	2837.1 / 12,250 = 23.1%	12,250 SF LOT = 52% ALLOWABLE	3330.7 / 12,250 = 27.2%
LOT COVERAGE	\$131.0445	N/A	N/A - SITE SLOPE = 7.5% (<25%)	N/A
BUILDING HEIGHT	\$131.0444(b) / TABLE 131-04D	27'-11" MAX (SEE 2/A3.2)	24' / 30'	28'-1" MAX (SEE 2/A3.4)
FRONT SETBACK	TABLE 131-04D	50'-0"	15'-0"	35'-0"
SIDE SETBACK (NORTH)	TABLE 131-04D	11'-1 1/2"	5'-8"	11'-1 1/2"
SIDE SETBACK (SOUTH)	TABLE 131-04D	7'-5 1/2"	5'-8"	7'-5 1/2"
REAR SETBACK	TABLE 131-04D	78'-9 1/2"	13'-0"	66'-0"
VEHICLE PARKING	\$TBD	2	2	2
BICYCLE PARKING	\$N/A	N/A	N/A	N/A

CONSTRUCTION TYPE: V-B

OCCUPANCY: R-3 (RESIDENTIAL) S (STORAGE - GARAGE)

APPLICABLE CODES: ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING CODE
2018 SAN DIEGO MUNICIPAL CODE

2 PROJECT DIRECTORY

A0.0	COVER SHEET
SU1.0	SURVEY
C1	GRADING AND DRAINAGE PLAN
DE1	FIRST FLOOR DEMOLITION PLAN
DE2	SECOND FLOOR DEMOLITION PLAN
A1.0	AREA CALCULATIONS
A1.1	EXISTING SITE PLAN
A1.2	PROPOSED SITE PLAN
A2.1	EXISTING FIRST FLOOR PLAN
A2.2	EXISTING SECOND FLOOR PLAN
A2.3	EXISTING ROOF PLAN
A2.4	PROPOSED FIRST FLOOR PLAN
A2.5	PROPOSED SECOND FLOOR PLAN
A2.6	PROPOSED ROOF PLAN
A3.1	EXTERIOR ELEVATIONS (EXISTING)
A3.2	EXTERIOR ELEVATIONS (EXISTING)
A3.3	EXTERIOR ELEVATIONS (PROPOSED)
A3.4	EXTERIOR ELEVATIONS (PROPOSED)
A4.1	SITE SECTION A-A (EXISTING/PROPOSED)
A4.2	SITE SECTION B-B (EXISTING/PROPOSED)
A4.3	BUILDING SECTIONS (EXISTING/PROPOSED)
A9.1	EXTERIOR DOOR AND WINDOW SCHEDULES
A9.2	INTERIOR DOOR SCHEDULE
A9.3	FIXTURE / APPLIANCE / FINISH SCHEDULES
S1.1	EXISTING FOUNDATION PLAN / FIRST FLOOR FRAMING PLAN
S1.2	EXISTING SECOND FLOOR FRAMING PLAN
S1.3	EXISTING ROOF FRAMING PLAN
S2.1	PROPOSED SECOND FLOOR FRAMING PLAN (W/ FNDN NOTES)
S2.2	PROPOSED ROOF FRAMING PLAN
E1.1	PROPOSED FIRST FLOOR ELECTRICAL PLAN / REFLECTED CEILING PLAN
E1.2	PROPOSED SECOND FLOOR ELECTRICAL PLAN / REFLECTED CEILING PLAN

3 PROJECT DATA

OWNER: MICAH AND MARGUERITE PARZEN 584 SAN ANTONIO AVENUE SAN DIEGO CA 92106 TEL: 619.987.8693 CONTACT: MARGUERITE PARZEN (mparzen@sbcglobal.net)

ARCHITECT: PAUL BURGIN ARCHITECTURE, INC. 3607 PORTOLA DRIVE SANTA CRUZ CA 95062 TEL: 831.535.2103 CONTACT: PAUL BURGIN (pb@paulburginarchitecture.com)

STRUCTURAL ENGINEER: HARIRI ENGINEERING 7723 FAY AVENUE #6 LA JOLLA CA 92037 TEL: 858.456.9666 CONTACT: SALEH HARIRI (hariri_engineering@yahoo.com)

SURVEY: RINEHART ENGINEERING 6431 CLEEVE WAY SAN DIEGO CA 92117 TEL: 858.268.8401 CONTACT: DAN RINEHART (ldr@rinehart-engineering.com)

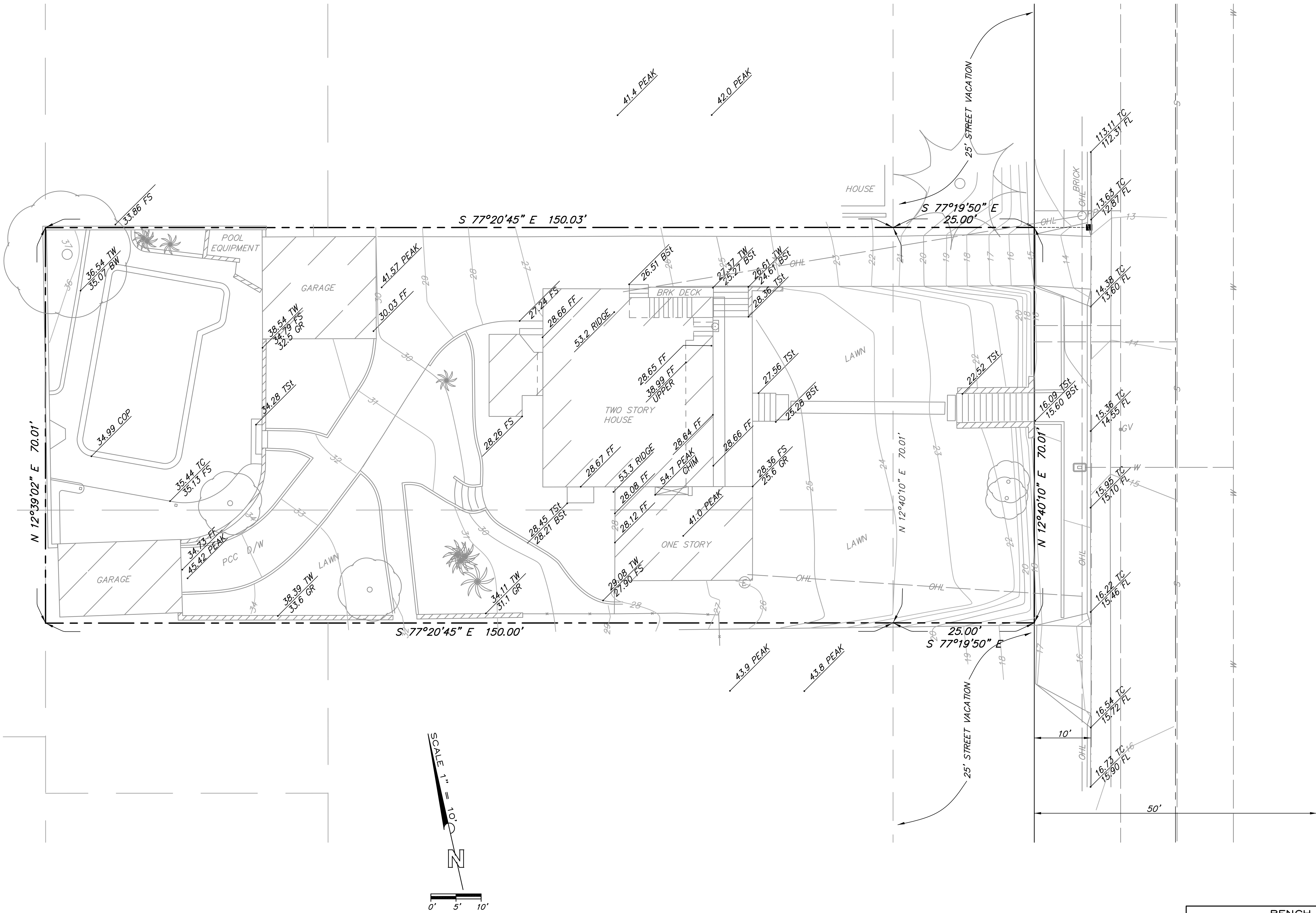
GEOTECHNICAL ENGINEER: GEOTECHNICAL EXPLORATION INCORPORATED 7420 TRADE STREET SAN DIEGO CA 92121 TEL: 858.549.7222 CONTACT: JON BROWNING (jbrowning@gei-sd.com)

INTERIOR DESIGNER: CM NATURAL DESIGNS 1224 SAVOY STREET MILL VALLEY CA 94541 TEL: 619.573.3443 CONTACT: CORINE MAGGIO (corine@cmnaturaldesigns.com)

GENERAL CONTRACTOR: ON-TIME HOME IMPROVEMENTS 1224 SAVOY STREET SAN DIEGO CA 92107 TEL: 619.675.6109 CONTACT: MARC BOYE (mboyee@gmail.com)

ENERGY CONSULTING: TITLE 24 DATA CORP. 633 MONTEREY TRAIL / PO BOX 2199 FRAZIER PARK CA 93225-2199 TEL: 800.237.8824 CONTACT: JONATHAN WIGG (inbox@title24data.com)

1 SHEET INDEX

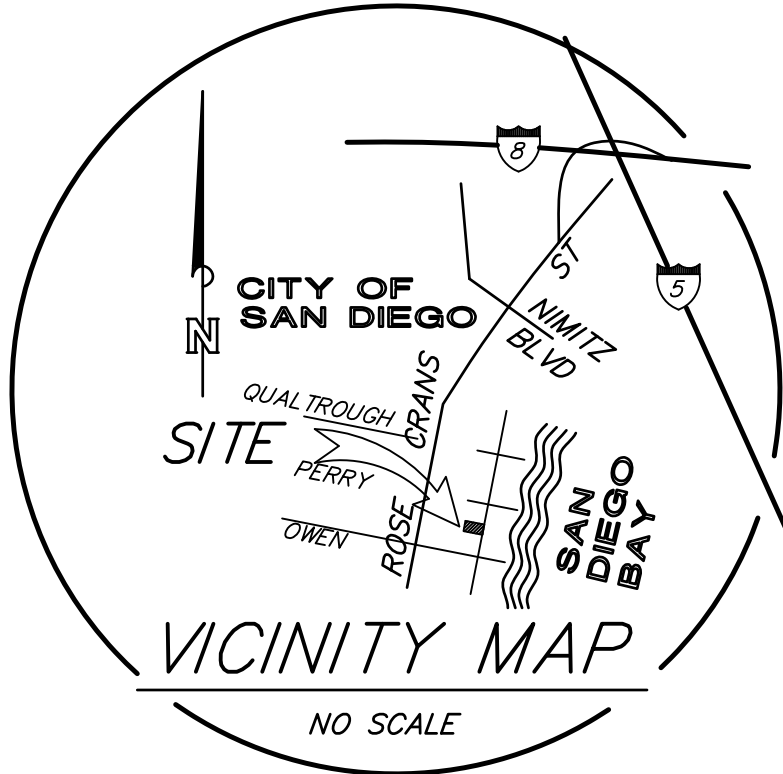


LEGEND

DESCRIPTION	N 78°48'15" E 48.25'
PROPERTY BOUNDARY	---
RIGHT OF WAY	R/W
EASEMENT	---
TELEPHONE CABLE	OHL
ELECTRICAL CABLE	OHL
GAS MAIN	G
WATER MAIN (SIZE AS SHOWN)	W
SEWER (SIZE AS SHOWN)	S
CABLE TV	OHL
RETAINING WALL / WALL	///
EXISTING CONTOUR	200

LEGAL

PART OF LOTS 3&4, LOT 156 PUEBLO LANDS PER MM35



NOTE

THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGN OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OR EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY AND REPRESENTS ONLY AVAILABLE INFORMATION RELATING TO THE BOUNDARY OF THE PARCEL AND/OR EASEMENTS WHICH ARE INCLUDED TO SHOW THE APPROXIMATE RELATIVE LOCATION OF THESE LINES TO THE TOPOGRAPHIC FEATURES. THE LOCATION OF THE PARCEL AND THE BEARING AND DISTANCES SHOWN ARE BASED ON FOUND MONUMENTS, MM 35 AND ROS 11762 AND MAY VARY FROM THE DEED OR MAP DESCRIPTION. THE ACTUAL LOCATION OF THE BOUNDARY MUST BE DETERMINED BY A BOUNDARY SURVEY. NO MONUMENTS WERE FOUND EXCEPT AS SHOWN AND NO MONUMENTS WERE SET. BECAUSE OF THE APPARENT ENCROACHMENTS AND LACK OF SUFFICIENT LOT MONUMENTATION, IT IS RECOMMENDED THAT THE BOUNDARY BE SURVEYED TO DETERMINE THE LOCATION OF PARCEL BOUNDARIES AND/OR EASEMENTS.

EASEMENTS PER CHICAGO TITLE COMPANY PRELIMINARY TITLE REPORT No. 73716006506-PM DATED MAY 10, 2016; NO PLOTTABLE EASEMENTS.

LOCATION OF UTILITIES SHOWN ON THIS PLAN IS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES AND/OR FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE EXACT LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION. PLEASE CONTACT THESE COMPANIES DIRECTLY FOR MARK-OUT AND LOCATIONS PRIOR TO EXCAVATION.

RINEHART ENGINEERING
6431 CLEEVE WAY SAN DIEGO, CA 92117
FDR@RINEHART-ENGINEERING.COM
(658) 268-8401

**TOPOGRAPHIC MAP OF
PORTION OF LOTS 3&4,
BLOCK 156, MM 35**



DATE OF SURVEY: JULY 20, 2016
SURVEYOR: F. DAN RINEHART
DRAWN BY: FDR
SCALE: 1"=10'
JOB NUMBER: 16208TOA.DWG
SHEET 1 OF 1

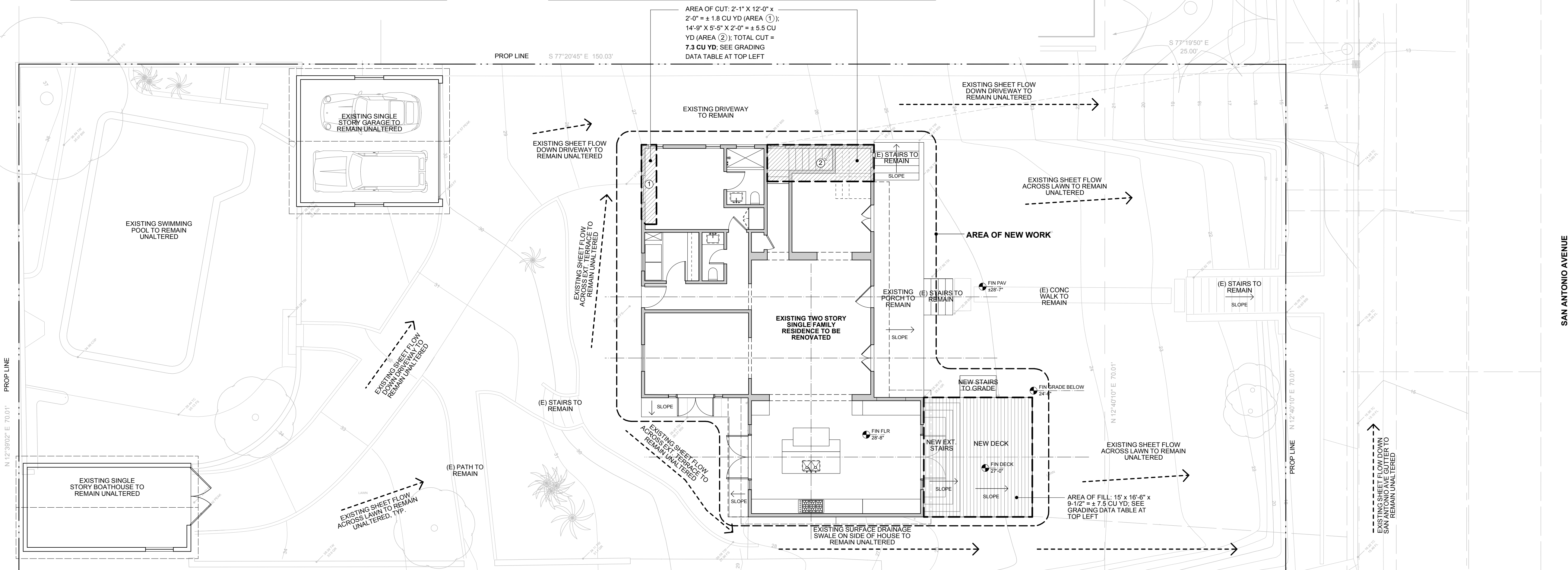
BENCH MARK
DESCRIPTION: BRASS PLUG TOP OF CURB
LOCATION: NW'LY CORNER OF OWEN STREET
AND ROSECRANS STREET
RECORD FROM: CITY OF SAN DIEGO VERTICAL CONTROL
ELEVATION: 54.771 DATUM: SAN DIEGO MEAN SEA LEVEL

NOTICE: THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF PAUL BURGINS ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF PAUL BURGINS ARCHITECTURE, INC.

GRADING DATA TABLE			
LOCATION	CUT (C.Y. ±)	FILL (C.Y. ±)	
HOUSE/CRAWL SPACE/FOUNDATIONS 1	7.5	Ø	
FRONT YARD 2	Ø	7.5	
REAR YARD	Ø	Ø	
DRIVEWAY	Ø	Ø	
TOTAL	7.5	7.5	
TOTAL OFFHAUL: Ø CU YD			
NOTES:			
1. SEE PLAN FOR AREA OF PREVIOUSLY UNOCCUPIED BUILDING FOOTPRINT (CONCRETE DRIVEWAY) ON NORTH SIDE OF HOUSE TO BE EXCAVATED TO A DEPTH OF 2' FOR NEW CRAWL SPACE = 7.5 CU YD.			
2. USE FOUNDATION CUT AS 49-3/4" OF COMPACTED FILL AT NEW DECK (248 S.F. x 9-3/4" = 7.5 CU YD); REMAINDER OF NEW DECK TO BE BUILT UP WITH FOAM AND CONCRETE.			
3. NO SITE OR ROOF DRAINS TO MATCH EXISTING. ROOF HAS NO GUTTERS OR DOWNSPOUTS. SITE DRAINAGE IS ALL ACHIEVED THROUGH SHEET FLOW AS INDICATED BELOW.			
4. SEE PLAN BELOW FOR AREAS OF CUT (DIAGONAL HATCH) AND FILL (VERTICAL HATCH) AS INDICATED ABOVE.			

MISC. NOTES:

1. THE PROPOSED PROJECT WILL COMPLY WITH ALL OF THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
2. EXISTING SITE DOES NOT HAVE ANY KNOWN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENTS (EMRAs).
3. WHILE NO NON-STANDARD IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE ANTICIPATED AS PART OF THE SCOPE OF THIS PROJECT, NOTE THAT ANY SUCH IMPROVEMENTS MUST BE APPROVED BY THE CITY ENGINEER IN THE FORM OF AN EMRA.
4. PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS AND SPECIFICATIONS.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.



STORM WATER BEST MANAGEMENT PRACTICES (BMPs) – SOURCE CONTROL:

1. PREVENT ILLICIT DISCHARGES INTO THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4). FOR RESIDENTIAL PROJECTS, THESE CAN INCLUDE THE FOLLOWING:
 - PROVIDE ACCESSIBLE SANITARY SEWER CLEANOUT FOR POOLS, SPAS, AND PONDS.
 - REDUCE EXPOSURE OF REFUSE AREAS.
 - DURING THE CONSTRUCTION PROCESS, MONITOR OUTDOOR STORAGE OF EQUIPMENT AND MATERIALS AND MINIMIZE CONTACT WITH STORMWATER RUNOFF (SEE NOTE 3 BELOW).
 - PROVIDE FLOOR DRAIN (WITH ACCESSIBLE SANITARY SEWER CLEANOUT) AT VEHICLE WASHING AREAS.
2. PROVIDE STENCILING AT ALL STORM DRAIN INLETS AND/OR CATCH BASINS WITHIN OR IMMEDIATELY ADJACENT TO THE PROJECT. INLET STENCILING MAY INCLUDE CONCRETE STAMPING, CONCRETE PAINTING, PLACARDS, OR OTHER METHODS APPROVED BY THE LOCAL MUNICIPALITY. LANGUAGE SHALL READ "NO DUMPING – DRAINS TO BAY" OR "NO DUMPING – DRAINS TO OCEAN," AS APPROPRIATE.
3. MATERIALS WITH THE POTENTIAL TO POLLUTE STORM WATER RUNOFF SHALL BE STORED IN A MANNER THAT PREVENTS CONTACT WITH RAINFALL AND STORM WATER RUNOFF. CONTAMINATED RUNOFF SHALL BE MANAGED FOR TREATMENT AND DISPOSAL (E.G. SECONDARY CONTAINMENT DIRECTED TO SANITARY SEWER. APPROVAL MUST BE OBTAINED FROM THE SANITARY SEWER AGENCY). ALL DEVELOPMENT PROJECTS SHALL INCORPORATE THE FOLLOWING STRUCTURAL OR POLLUTANT CONTROL BMPs FOR OUTDOOR MATERIAL STORAGE AREAS, AS APPLICABLE AND FEASIBLE:
 - MATERIALS WITH THE POTENTIAL TO CONTAMINATE STORM WATER SHALL BE:
 - PLACED IN AN ENCLOSURE SUCH AS, BUT NOT LIMITED TO, A CABINET, OR SIMILAR STRUCTURE, OR UNDER A ROOF OR AWNING THAT PREVENTS CONTACT WITH RAINFALL RUNOFF OR SPILLAGE TO THE STORM WATER CONVEYANCE SYSTEM, OR
 - PROTECTED BY SECONDARY CONTAINMENT STRUCTURES SUCH AS BERMS, DIKES, OR CURBS.
 - THE STORAGE AREAS SHALL BE PAVED AND SUFFICIENTLY IMPERVIOUS TO CONTAIN LEAKS AND SPILLS, WHERE NECESSARY.
 - THE STORAGE AREA SHALL BE SLOPED TOWARDS A PUMP OR ANOTHER EQUIVALENT MEASURE THAT IS EFFECTIVE TO CONTAIN SPILLS.
 - RUNOFF FROM DOWNSPOUTS/ROOF DRAINS SHALL BE DIRECTED AWAY FROM STORAGE AREAS.
 - THE STORAGE AREA SHALL HAVE A ROOF OR AWNING THAT EXTENDS BEYOND THE STORAGE AREA TO MINIMIZE COLLECTION OF STORM WATER WITHIN THE SECONDARY CONTAINMENT AREA. A MANUFACTURED STORAGE SHED MAY BE USED FOR SMALL CONTAINERS.
4. PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL. OUTDOOR WORK AREAS HAVE AN ELEVATED POTENTIAL FOR POLLUTANT LOADING AND SPILLS. ALL DEVELOPMENT PROJECTS SHALL INCLUDE THE FOLLOWING STRUCTURAL OR POLLUTANT CONTROL BMPs FOR ANY OUTDOOR WORK AREAS WITH POTENTIAL FOR POLLUTANT GENERATION, AS APPLICABLE AND FEASIBLE:
 - CREATE AN IMPERMEABLE SURFACE SUCH AS CONCRETE OR ASPHALT, OR A PREFABRICATED METAL DRIP PAN, DEPENDING ON THE SIZE NEEDED TO PROTECT THE MATERIALS.
 - COVER THE AREA WITH A ROOF OR OTHER ACCEPTABLE COVER.
 - BERM THE PERIMETER OF THE AREA TO PREVENT WATER FROM ADJACENT AREAS FROM FLOWING ON TO THE SURFACE OF THE WORK AREA.
 - DIRECTLY CONNECT RUNOFF TO SANITARY SEWER OR OTHER SPECIALIZED CONTAINMENT SYSTEMS, AS NEEDED AND WHERE FEASIBLE. THIS ALLOWS THE MORE HIGHLY CONCENTRATED POLLUTANTS FROM THESE AREAS TO RECEIVE SPECIAL TREATMENT THAT REMOVES PARTICULAR CONSTITUENTS. APPROVAL FOR THIS CONNECTION MUST BE OBTAINED FROM THE APPROPRIATE SANITARY SEWER AGENCY.
 - LOCATE THE WORK AREA AWAY FROM STORM DRAINS OR CATCH BASINS.
5. PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL. STORM WATER RUNOFF FROM AREAS WHERE TRASH IS STORED OR DISPOSED OF CAN BE POLLUTED. IN ADDITION, LOOSE TRASH AND DEBRIS CAN BE EASILY TRANSPORTED BY WATER OR WIND INTO NEARBY STORM DRAIN INLETS, CHANNELS, AND/OR CREEKS. ALL DEVELOPMENT PROJECTS SHALL INCLUDE THE FOLLOWING STRUCTURAL OR POLLUTANT CONTROL BMPs, AS APPLICABLE:
 - DESIGN TRASH CONTAINER AREAS SO THAT DRAINAGE FROM ADJACENT ROOFS AND PAVEMENT IS DIVERTED AROUND THE AREAS TO AVOID RUN-ON. THIS CAN INCLUDE BERMING OR GRADING THE WASTE HANDLING AREA TO PREVENT RUN-ON OF STORM WATER.
 - ENSURE TRASH CONTAINER AREAS ARE SCHEDULED OR WALLED TO PREVENT OFFSITE TRANSPORT OF TRASH.
 - PROVIDE ROOFS, AWNINGS, OR ATTACHED LIDS ON ALL TRASH CONTAINERS TO MINIMIZE DIRECT PRECIPITATION AND PREVENT RAINFALL FROM ENTERING CONTAINERS.
 - LOCATE STORM DRAINS AWAY FROM IMMEDIATE VICINITY OF THE TRASH STORAGE AREA AND VICE VERSA.
 - POST SIGNS ON ALL DUMPSTERS INFORMING USERS THAT HAZARDOUS MATERIAL ARE NOT TO BE DISPOSED.

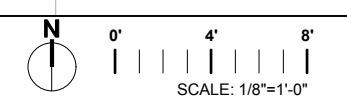
STORM WATER BEST MANAGEMENT PRACTICES (BMPs) – SITE DESIGN:

1. MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES: MAINTAIN OR RESTORE NATURAL STORAGE RESERVOIRS AND DRAINAGE CORRIDORS (INCLUDING TOPOGRAPHIC DEPRESSIONS, AREAS OF PERMEABLE SOILS, NATURAL SWALES, AND EPHEMERAL AND INTERMITTENT STREAMS).
 - BUFFER ZONES FOR NATURAL WATER BODIES (WHERE BUFFER ZONES ARE TECHNICALLY INFEASIBLE, REQUIRE PROJECT APPLICANT TO INCLUDE OTHER BUFFERS SUCH AS TREES, ACCESS RESTRICTIONS, ETC.).
 - EVALUATE SURFACE DRAINAGE AND TOPOGRAPHY IN CONSIDERING SELECTION OF SITE DESIGN BMPs THAT WILL BE MOST BENEFICIAL FOR A GIVEN PROJECT SITE, WHERE FEASIBLE. MAINTAIN TOPOGRAPHIC DEPRESSIONS FOR INFILTRATION.
 - OPTIMIZE THE SITE LAYOUT AND REDUCE THE NEED FOR GRADING, WHERE POSSIBLE, CONFORM TO THE SITE LAYOUT ALONG NATURAL LANDFORMS, AVOID GRADING AND DISTURBANCE OF VEGETATION AND SOILS, AND REPLICATE THE SITE'S NATURAL DRAINAGE PATTERNS. INTEGRATING EXISTING DRAINAGE PATTERNS INTO THE SITE PLAN WILL HELP MAINTAIN THE SITE'S PREDEVELOPMENT HYDROLOGIC FUNCTION.
 - PRESERVE EXISTING DRAINAGE PATHS AND DEPRESSIONS, WHERE FEASIBLE AND APPLICABLE, TO HELP MAINTAIN THE TIME OF CONCENTRATION AND INFILTRATION RATES OF RUNOFF, AND DECREASE PEAK FLOW.
 - STRUCTURAL BMPs CANNOT BE LOCATED IN BUFFER ZONES IF A STATE AND/OR FEDERAL RESOURCE AGENCY (E.G. SDRWOC, CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE, U.S. ARMY CORPS OF ENGINEERS, ETC.) PROHIBITS MAINTENANCE OR ACTIVITY IN THE AREA.
2. CONSERVE NATURAL AREAS, SOILS AND VEGETATION. CONSERVE NATURAL AREAS WITHIN THE PROJECT FOOTPRINT INCLUDING EXISTING TREES, OTHER VEGETATION, AND SOILS.
 - TO ENHANCE A SITE'S ABILITY TO SUPPORT SOURCE CONTROL AND REDUCE RUNOFF, THE CONSERVATION AND RESTORATION OF NATURAL AREAS MUST BE CONSIDERED IN THE SITE DESIGN PROCESS. BY CONSERVING OR RESTORING THE NATURAL DRAINAGE FEATURES, NATURAL PROCESSES ARE ABLE TO INTERCEPT STORM WATER, THEREBY REDUCING THE AMOUNT OF RUNOFF.
3. MINIMIZE IMPERVIOUS AREA.
 - CONSTRUCT STREETS, SIDEWALKS OR PARKING LOTS ASILES TO THE MINIMUM WIDTHS NECESSARY, PROVIDED PUBLIC SAFETY IS NOT COMPROMISED.
 - MINIMIZE THE IMPERVIOUS FOOTPRINT OF THE PROJECT.
4. MINIMIZE SOIL COMPACTION.
 - AVOID DISTURBANCE IN PLANNED GREEN SPACE AND PROPOSED LANDSCAPED AREAS WHERE FEASIBLE. THESE AREAS THAT ARE PLANNED FOR RETAINING THEIR BENEFICIAL HYDROLOGICAL FUNCTION SHOULD BE PROTECTED DURING THE GRADING/CONSTRUCTION PHASE SO THAT VEHICLES AND CONSTRUCTION EQUIPMENT DO NOT INTRUDE AND INADVERTENTLY COMPACT THE AREA.
 - IN AREAS PLANNED FOR LANDSCAPING WHERE COMPACTION COULD NOT BE AVOIDED, RETILL THE SOIL SURFACE TO ALLOW FOR BETTER INFILTRATION CAPACITY. SOIL AMENDMENTS ARE RECOMMENDED AND MAY BE NECESSARY TO INCREASE PERMEABILITY AND ORGANIC CONTENT. SOIL STABILITY, DENSITY REQUIREMENTS, AND OTHER GEOTECHNICAL CONSIDERATIONS ASSOCIATED WITH SOIL COMPACTION MUST BE REVIEWED BY A QUALIFIED LANDSCAPE ARCHITECT OR LICENSED GEOTECHNICAL, CIVIL, OR OTHER PROFESSIONAL ENGINEER.
5. DISPERSE IMPERVIOUS AREAS.
 - DISCONNECT IMPERVIOUS SURFACES THROUGH DISTRIBUTED PEROUVIOUS AREAS.
 - DESIGN AND CONSTRUCT LANDSCAPED OR OTHER PEROUVIOUS AREAS TO EFFECTIVELY RECEIVE AND INFILTRATE, RETAIN AND/OR TREAT RUNOFF FROM IMPERVIOUS AREAS PRIOR TO DISCHARGING TO THE MS4.
6. COLLECT RUNOFF.
 - AVOID DISTURBANCE LOCATED AT, OR AS CLOSE TO AS POSSIBLE TO THE SOURCES (E.G. THE POINT WHERE STORM WATER INITIALLY MEETS THE GROUND) TO MINIMIZE THE TRANSPORT OF RUNOFF AND POLLUTANTS TO THE MS4 AND RECEIVING WATERS.
 - USE PERMEABLE MATERIALS FOR PROJECTS WITH LOW TRAFFIC AREAS AND APPROPRIATE SOIL CONDITIONS.
7. LANDSCAPE WITH NATIVE OR DROUGHT-TOLERANT SPECIES. ALL DEVELOPMENT PROJECTS ARE REQUIRED TO SELECT A LANDSCAPE DESIGN AND PLANT PALETTE THAT MINIMIZES REQUIRED RESOURCES (IRRIGATION, FERTILIZERS AND PESTICIDES) AND POLLUTANTS GENERATED FROM LANDSCAPE AREAS. NATIVE PLANTS REQUIRE LESS FERTILIZERS AND PESTICIDES BECAUSE THEY ARE ALREADY ADAPTED TO THE RAINFALL PATTERNS AND SOIL CONDITIONS. PLANTS SHOULD BE SELECTED TO BE BROUGHT TOLERANT AND NOT REQUIRE WATERING AFTER ESTABLISHMENT (3 TO 5 YEARS). WATERING SHOULD ONLY BE REQUIRED DURING PROLONGED DRY PERIODS AFTER PLANTS ARE ESTABLISHED. FINAL SELECTION OF PLANT MATERIALS NEEDS TO BE MADE BY A LANDSCAPE ARCHITECT EXPERIENCED WITH LID TECHNIQUES. MICROCLIMATES VARY SIGNIFICANTLY THROUGHOUT THE REGION AND CONSULTING LOCAL MUNICIPAL RESOURCES WILL HELP TO SELECT PLANT MATERIAL SUITABLE FOR A SPECIFIC GEOGRAPHIC LOCATION. PROJECTS CAN INCORPORATE THIS REQUIREMENT BY LANDSCAPING WITH NATIVE AND DROUGHT-TOLERANT SPECIES.
8. HARVEST AND USE PRECIPITATION. CAPTURE AND STORE STORM WATER RUNOFF FOR LATER USE. HARVEST AND USE CAN BE APPLIED AT SMALLER SCALES (STANDARD PROJECTS) USING RAIN BARRELS OR AT LARGER SCALES (PDPs) USING CISTERNS. THIS HARVEST AND USE TECHNIQUE HAS BEEN SUCCESSFUL IN REDUCING RUNOFF DISCHARGED TO THE STORM DRAIN SYSTEM CONSERVING POTABLE WATER AND RECHARGING GROUNDWATER.

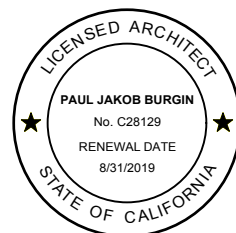
NOTE: NEW ROOF WILL HAVE NO GUTTERS OR DOWNSPOUTS, TO MATCH EXISTING. UPSTAIRS BALCONY, EXISTING PORCH, AND NEW DECK ON 1ST FLOOR WILL ALL SLOPE TO DRAIN TO EAST, AND DRAIN INTO SHEET FLOW ACROSS SITE (TO MATCH EXISTING).

GENERAL GRADING AND DRAINAGE NOTES:

1. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
2. WHEN APPLICABLE, ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE ORDINANCES, SPECIFICATIONS AND STANDARDS OF THE CITY OF SAN DIEGO, UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) PRIOR TO START OF CONSTRUCTION.
4. ALL STORM DRAIN PIPES SHALL BE PVC SDR 35 PER ASTM D 3034, OR BETTER. STORM DRAIN PIPE INSTALLATION SHALL BEGIN FROM THE DOWNSTREAM POINT OF CONNECTION.
5. UNLESS OTHERWISE SPECIFIED, ALL ONSITE AREA DRAINS SHALL BE CHRISTY-TYPE PRECAST CONCRETE OR APPROVED EQUAL.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLYING MATERIAL FOR DEFICIENCIES TO BRING DRIVEWAY AND BUILDING PADS TO REQUIRED GRADE.
7. UTILITIES AND UNDERGROUND FACILITIES INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER NOR THE CITY OR THE ARCHITECT ASSUMES RESPONSIBILITY THAT THE UTILITIES AND UNDERGROUND FACILITIES INDICATED WILL BE THE UTILITIES AND UNDERGROUND FACILITIES ENCOUNTERED.
8. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, GRADING, ETC. AND TO AVOID ABRUPT OR APPARENT CHANGES IN CROSS SLOPES, LOW SPOTS, AREAS PRONE TO PONDING, OR HAZARDOUS CONDITIONS.
9. THE EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PLAN PREPARED BY RINEHART ENGINEERING, LICENSED LAND SURVEYOR, DATED 7/20/2016 (INCLUDED IN THIS DRAWING SET; SEE SU1.0).
10. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL WORK SHOWN ON THIS PLAN.
11. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THE WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
12. THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY GEOTECHNICAL EXPLORATION INC., DATED 10 DECEMBER 2018 SHALL BE MADE A PART OF THIS PLAN.



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SCALE
As Noted
DESCRIPTION
CDP Submittal (Rev 1)
ISSUE DATE
5 July 2019
REV DATE

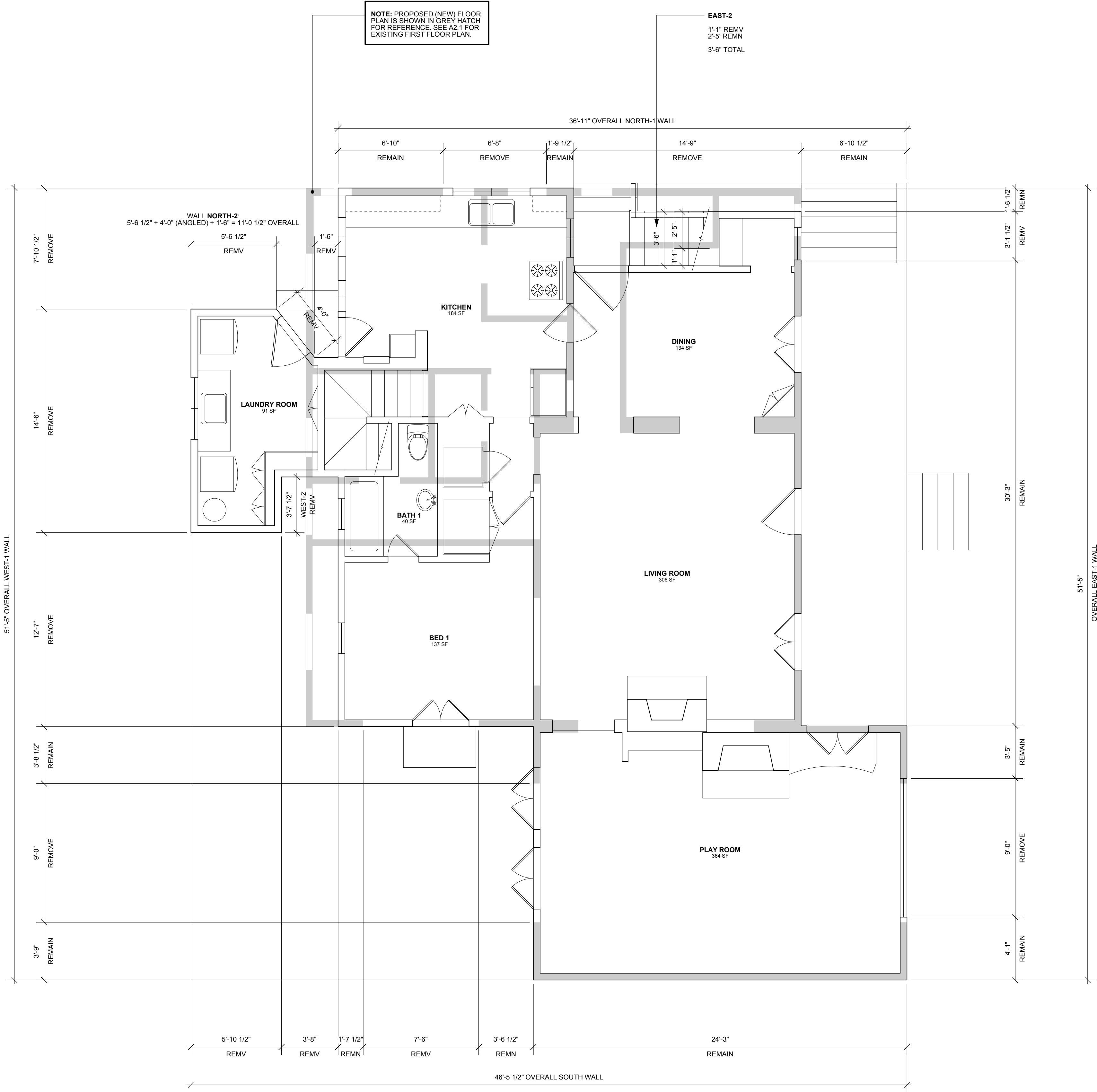
SHEET TITLE
1F Demo Plan



PERCENTAGE DEMOLITION CALCULATIONS			
WALL	TOTAL LENGTH	EXISTING TO REMAIN	EXISTING TO BE REMOVED
WEST-1	51'-5"	8'-4"	43'-1"
WEST-2	3'-7 1/2"	Ø	3'-7 1/2"
SOUTH	46'-5 1/2"	29'-5"	17'-0 1/2"
EAST-1	51'-5"	39'-3 1/2"	12'-1 1/2"
EAST-2	3'-6"	2'-5"	1'-1"
NORTH-1	36'-11"	15'-6"	21'-5"
NORTH-2	11'-0 1/2"	Ø	11'-0 1/2"
SUBTOTAL 1F	204'-4 1/2"	94'-11 1/2"	109'-5"
WEST	31'-5"	Ø	31'-5"
SOUTH	27'-8 1/2"	7'-4"	20'-4 1/2"
EAST-1	31'-5"	23'-9"	7'-8"
EAST-2	1'-5"	Ø	1'-5"
EAST-3	1'-2 1/2"	1'-2 1/2"	Ø
NORTH	27'-11"	Ø	27'-11"
SUBTOTAL 2F	121'-1"	32'-3 1/2"	88'-9 1/2"
TOTALS	325'-5 1/2"	127'-3"	198'-2 1/2"
TOTALS	100%	39.1%	60.9%

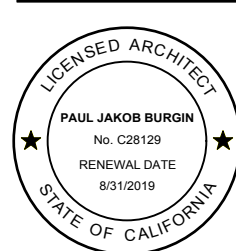
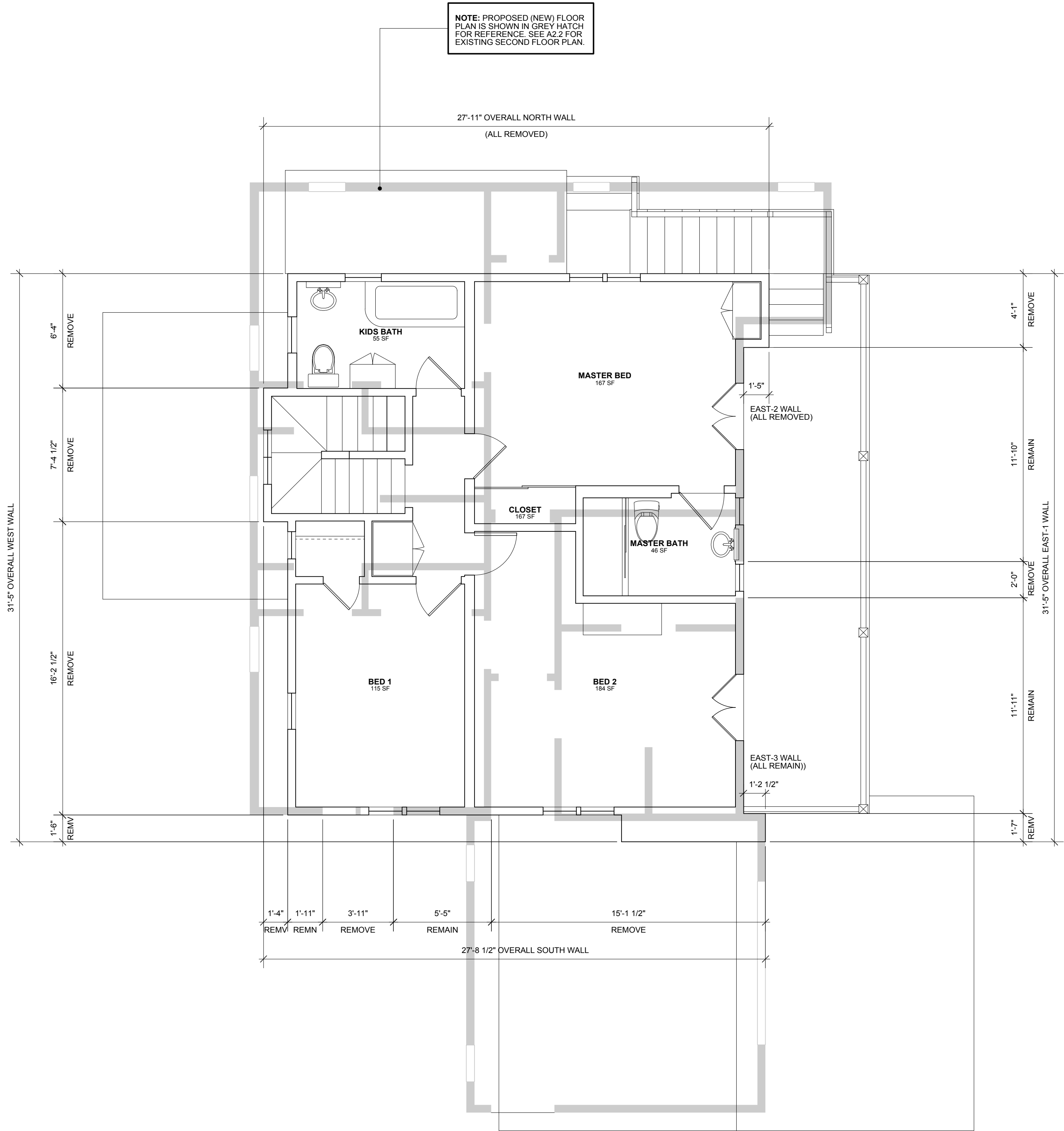
DEMOLITION NOTES:

1. WALLS ON THIS PLAN THAT ARE NOTED "REMAIN" SHALL REMAIN INTACT FROM THE BOTTOM PLATE ALL THE WAY UP TO THE DOUBLE TOP PLATE, INCLUDING EVERYTHING IN BETWEEN.
2. WALLS ON THIS PLAN THAT ARE NOTED "REMOVED" DESIGNATES THAT THAT PARTICULAR PIECE OF WALL CAN BE REMOVED ONLY FOR THE DIMENSION SHOWN.
3. ANY DISCREPANCIES IN THIS PLAN OR ITS DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.



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 3. ANY DISCREPANCIES IN THIS PLAN OR ITS DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 4. SEE SHEET DE1 FOR PERCENTAGE DEMOLITION CALCULATIONS.



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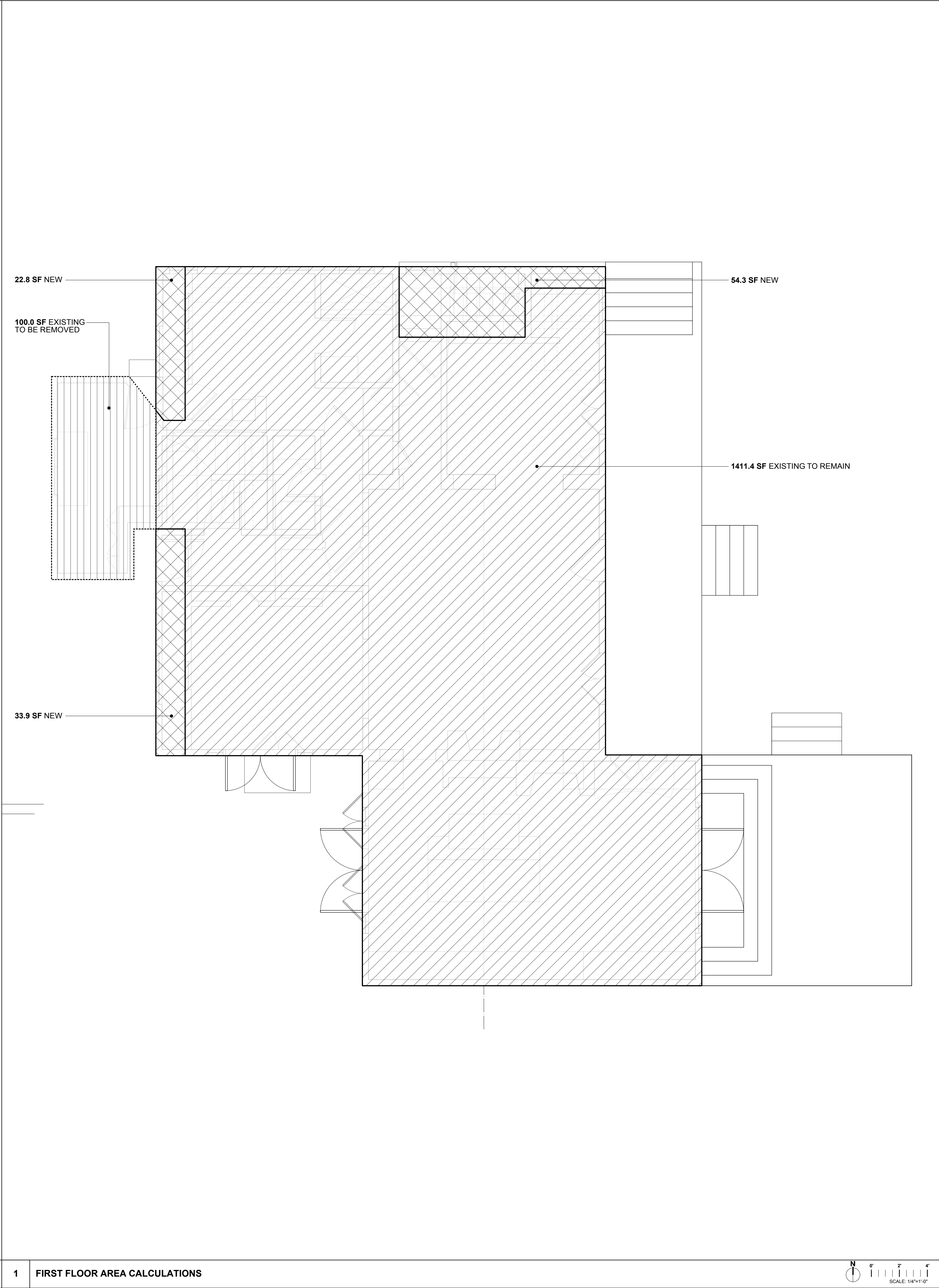
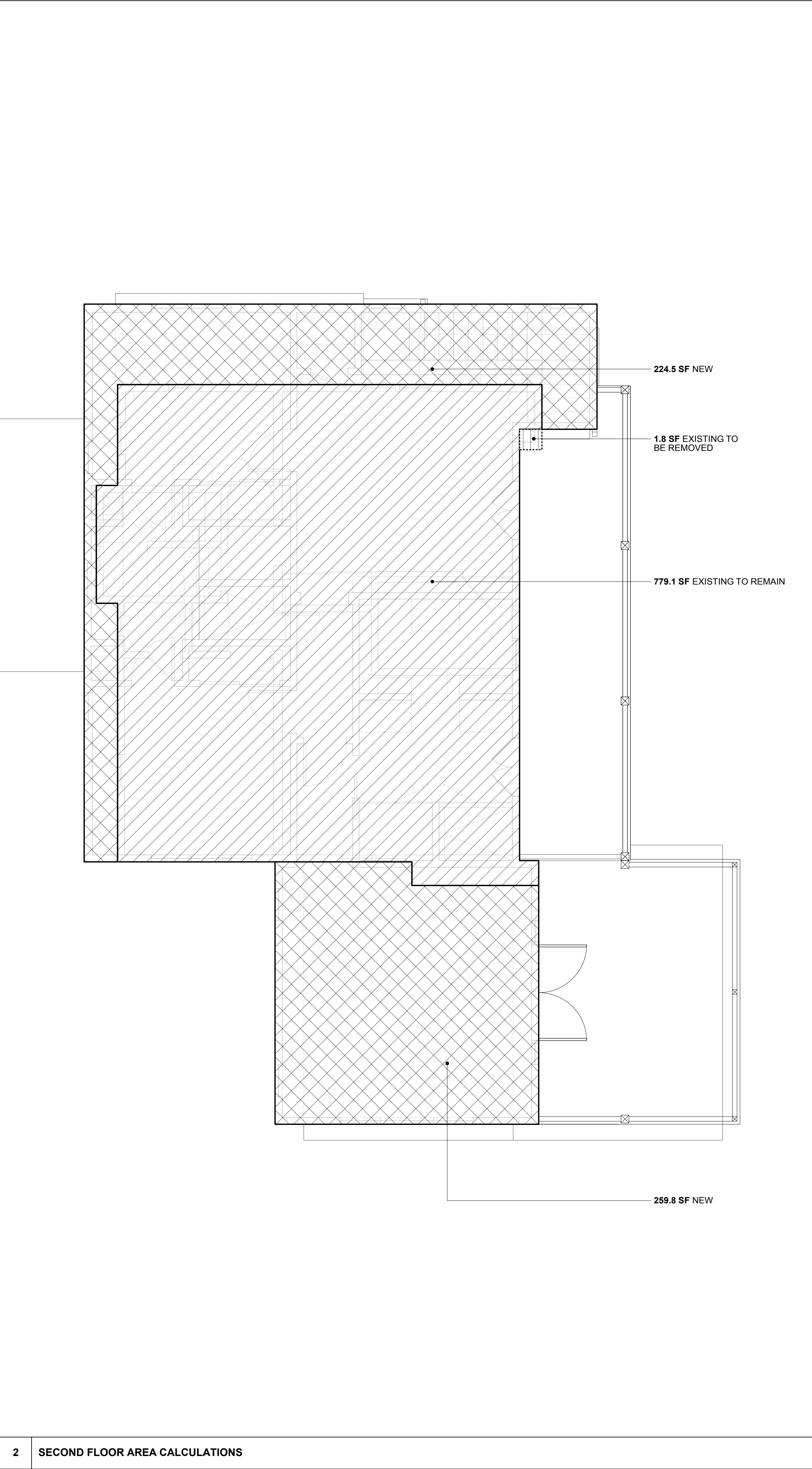
SHEET TITLE
2F Demo Plan

DE2

PARZEN
Residence: Addition/Renovation
584 San Antonio Avenue / San Diego CA 92106

PAUL BURGIN ARCHITECTURE
3607 PORTOLA DRIVE
SANTA CRUZ CALIFORNIA 95062
831.535.2103
WWW.PAULBURGINARCHITECTURE.COM

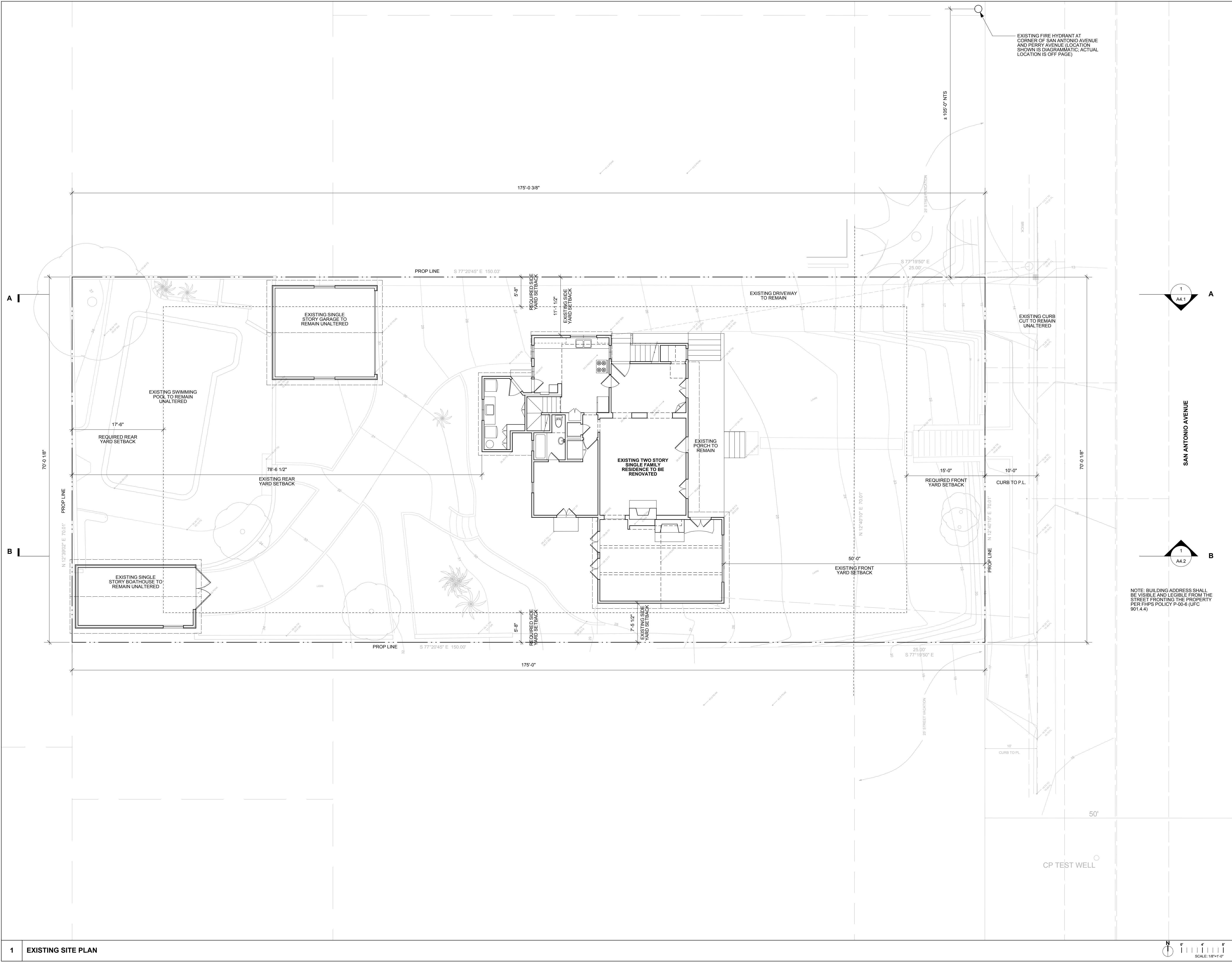
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- LEGEND:
- EXISTING ENCLOSED SQUARE FOOTAGE TO REMAIN
 - EXISTING ENCLOSED SQUARE FOOTAGE TO BE REMOVED
 - NEW SQUARE FOOTAGE

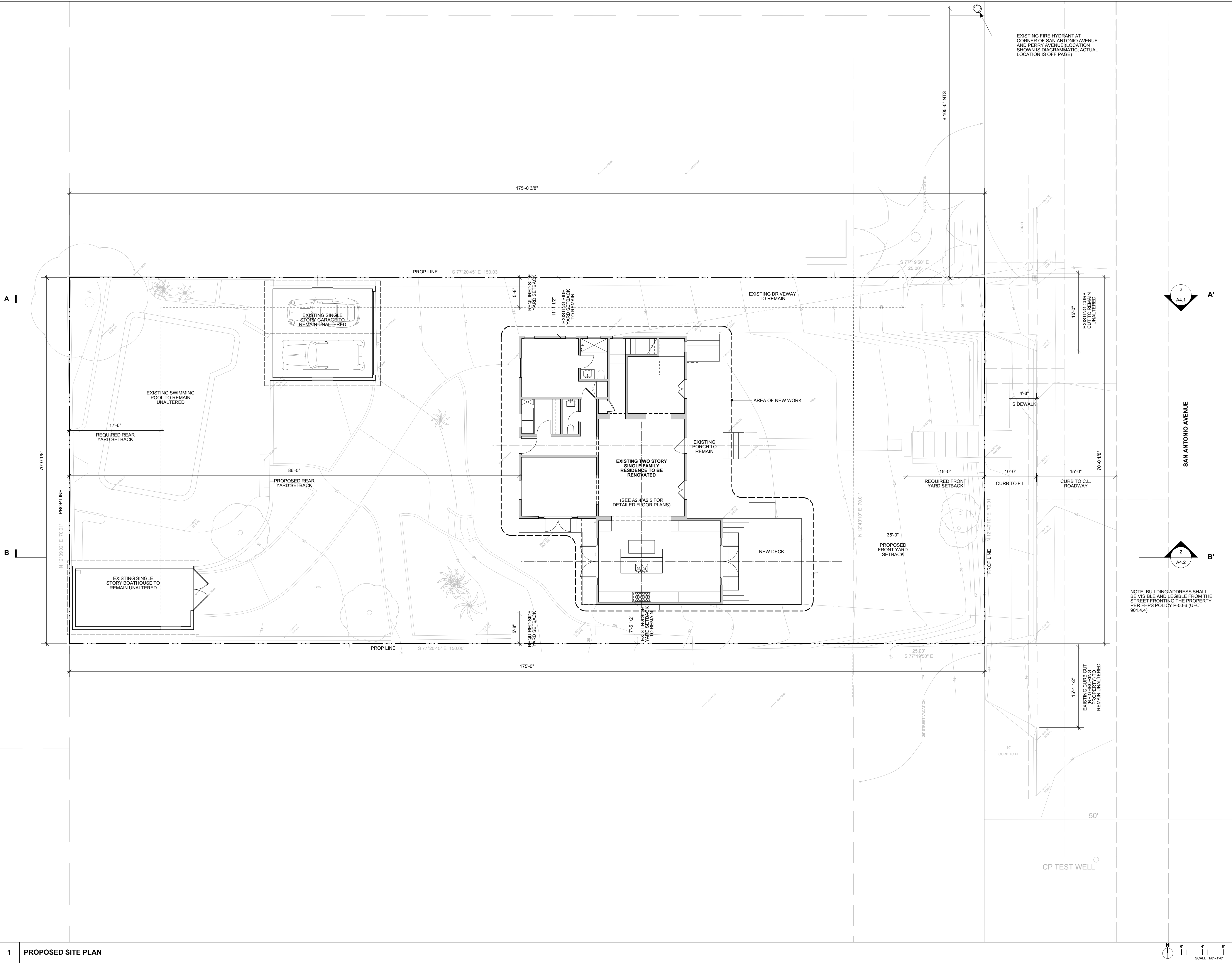


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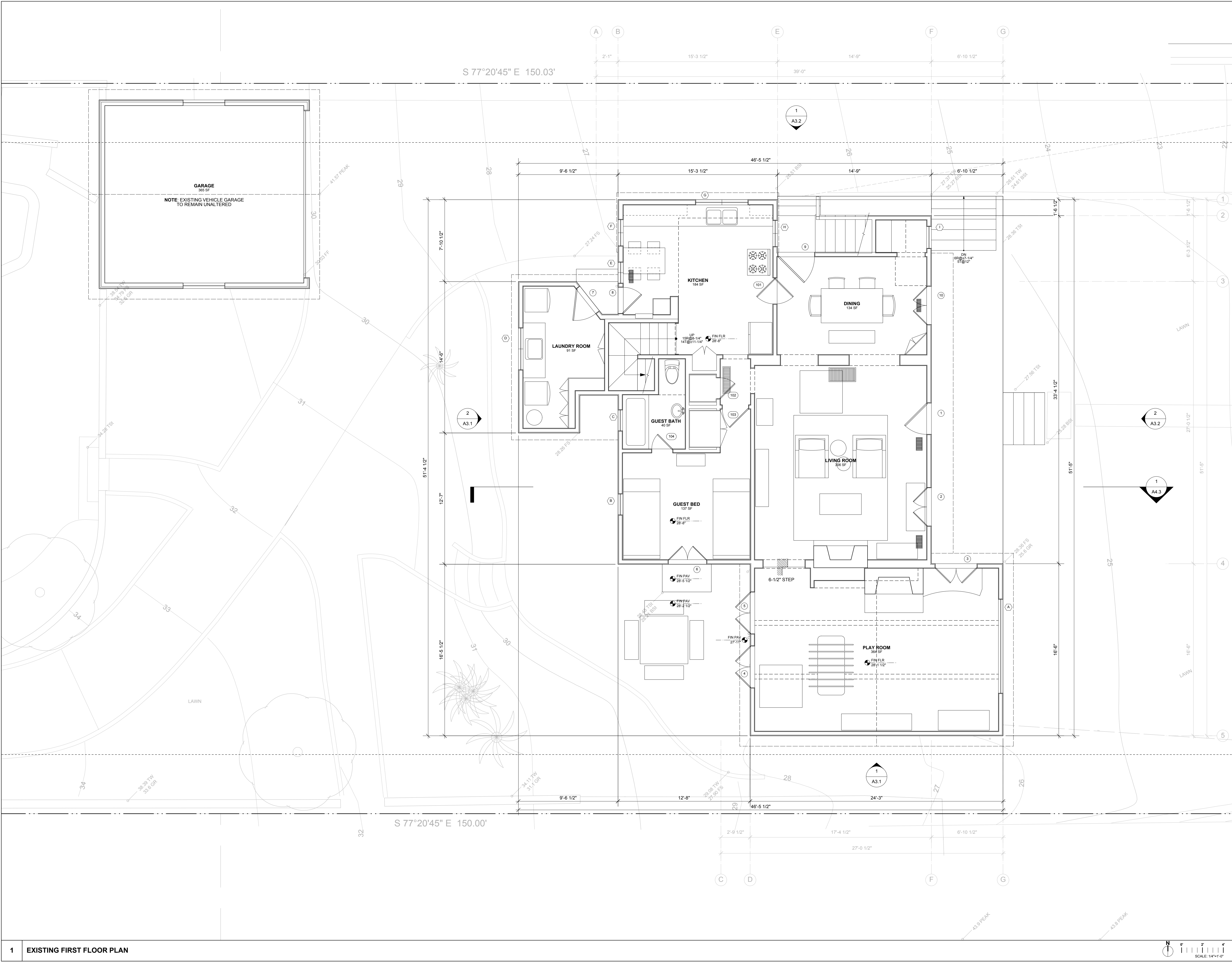
1 EXISTING SITE PLAN

NOTICE: THESE DRAWINGS AND SPECIFICATIONS AND THE IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PRODUCT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF PAUL BURGIN ARCHITECTURE, INC.

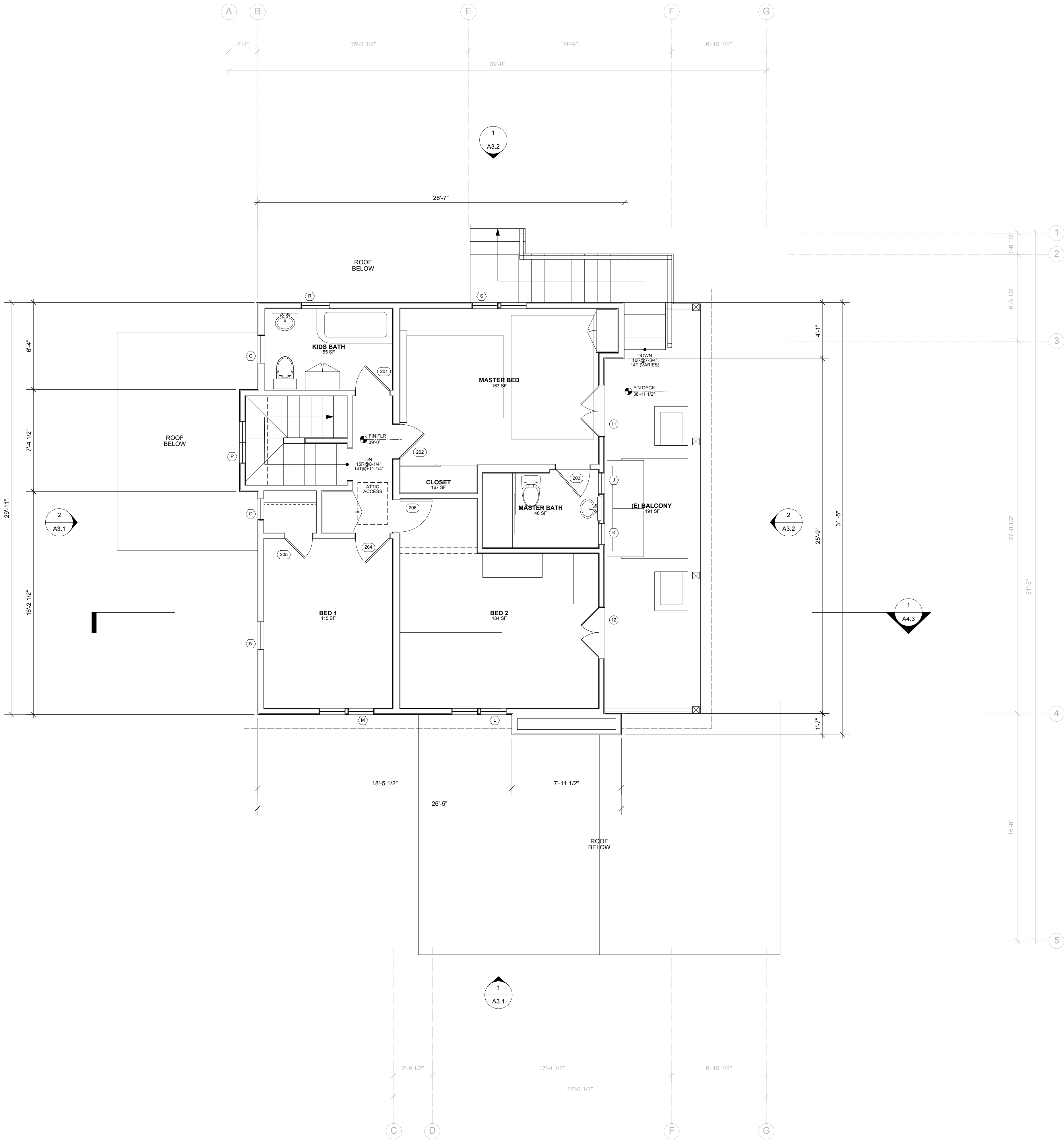


1 PROPOSED SITE PLAN

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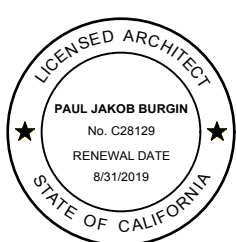


1 EXISTING SECOND FLOOR PLAN

N
0' 2' 4'
SCALE: 1/4"=1'-0"

PARZEN
Residence: Addition/Renovation

584 San Antonio Avenue / San Diego CA 92106



SCALE
As Noted
DESCRIPTION
CDP Submittal (Rev 1)
ISSUE DATE
5 July 2019
REV DATE

SHEET TITLE
Existing 2F Plan

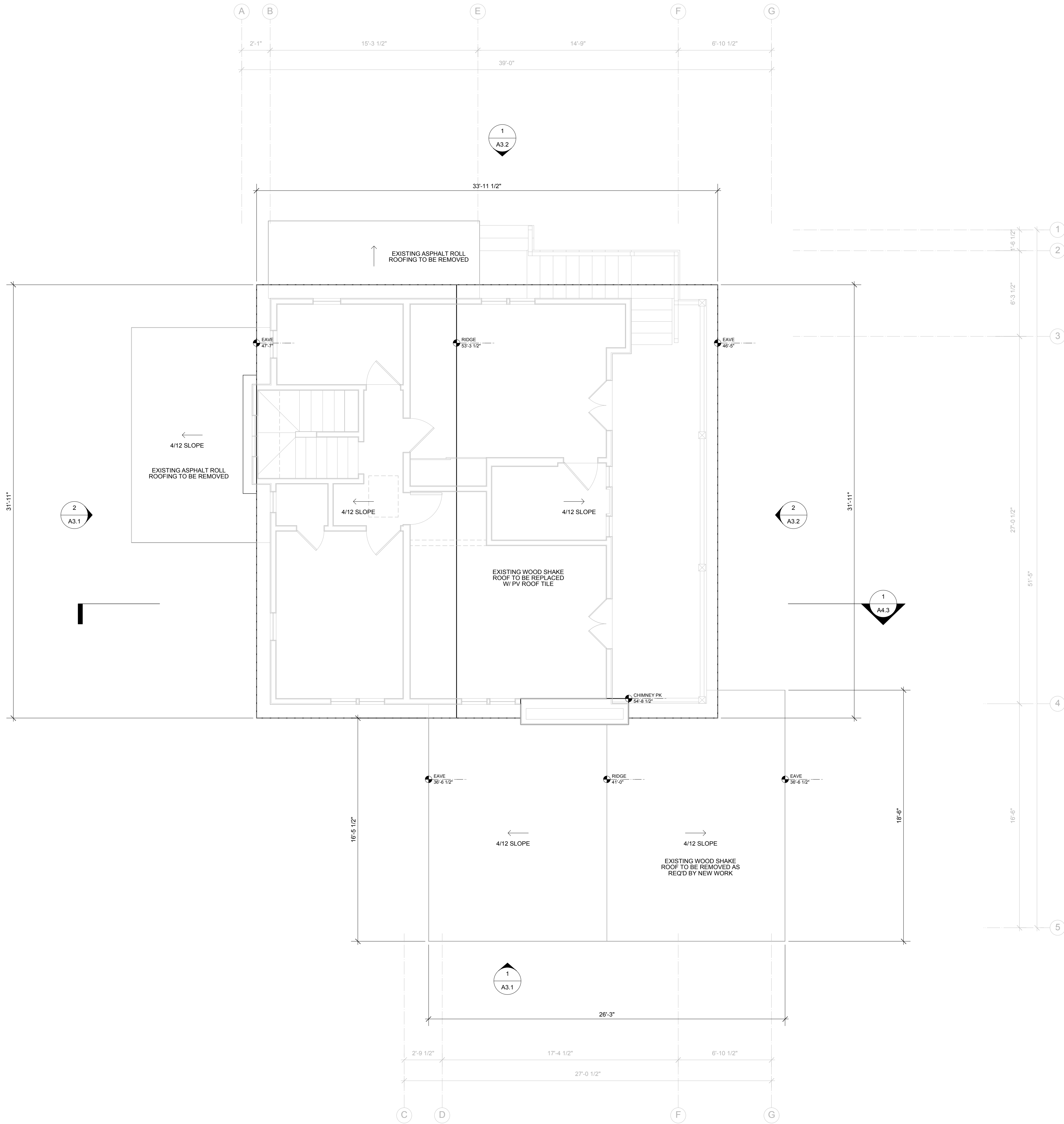
A2.2

PAUL BURGIN ARCHITECTURE

3607 PORTOLA DRIVE SANTA CRUZ CALIFORNIA 95062 831.535.2103 WWW.PAULBURGINARCHITECTURE.COM

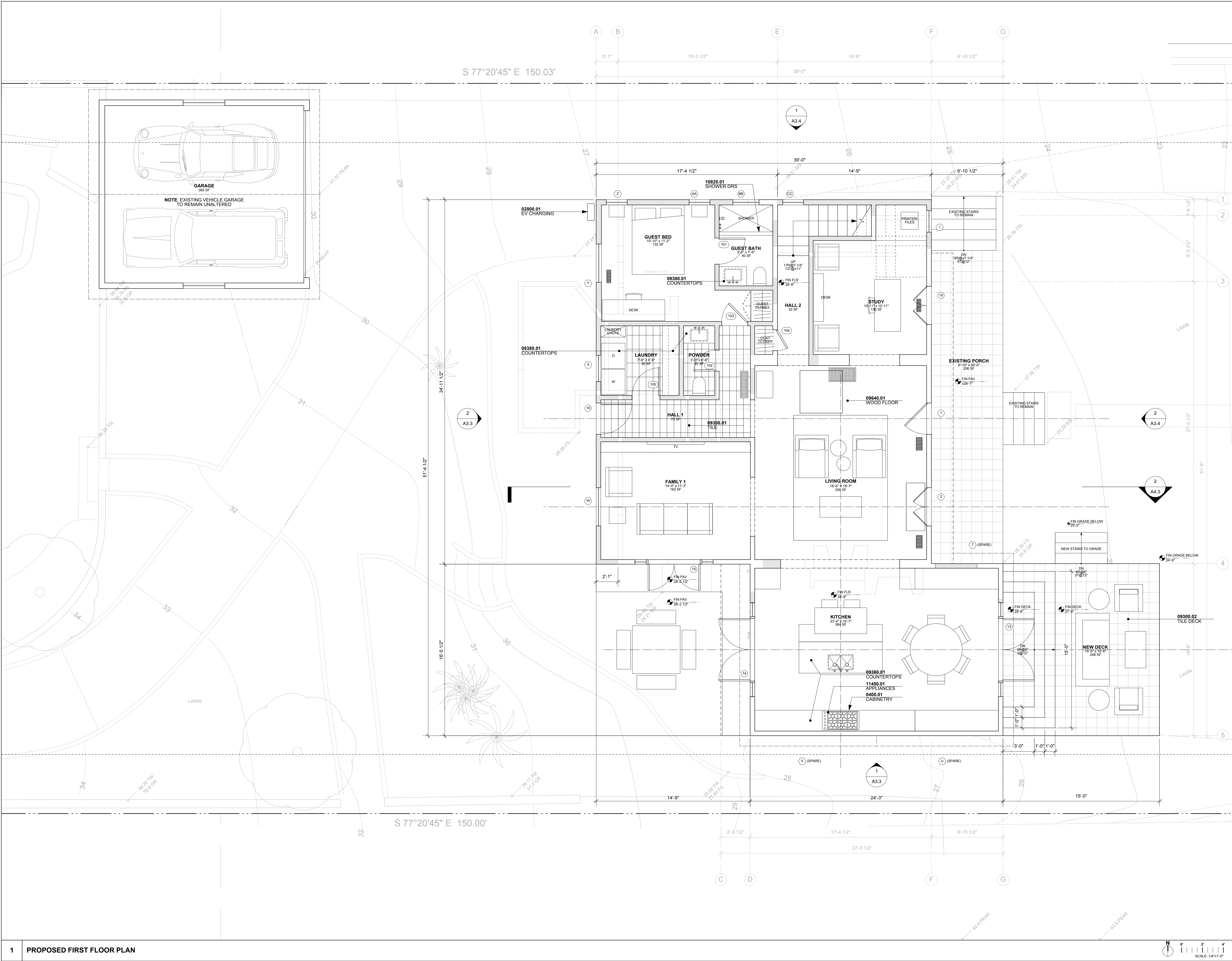
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1 EXISTING ROOF PLAN



- LEGEND:
- EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE DEMOLISHED
 - NEW WALL
 - OBJECT ABOVE
 - ELEVATION MARKER
 - SECTION MARKER
 - ELEVATION BENCHMARK
 - WINDOW TAG
 - EXTERIOR DOOR TAG
 - INTERIOR DOOR TAG
 - PROPERTY LINE
 - INTERIOR ELEV. MARKER
 - DETAIL MARKER

NOTICE: THESE DRAWINGS AND SPECIFICATIONS AND THE IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PRODUCT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF PAUL BURGIN ARCHITECTURE, INC.



LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL
- OBJECT ABOVE
- ELEVATION MARKER
- SECTION MARKER
- ELEVATION BENCHMARK
- WINDOW TAG
- EXTERIOR DOOR TAG
- INTERIOR DOOR TAG
- PROPERTY LINE
- INTERIOR ELEV. MARKER
- DETAIL MARKER

02000.01 - LANDSCAPE
PROVIDE PRICING ALLOWANCE FOR RETAINING WALL AT TERRACE EAST OF KITCHEN AND OTHER MISCELLANEOUS SITE ELEMENTS AS SHOWN ON PLANS.

02800.01 - EV CHARGING
RELOCATE EXISTING ELECTRIC VEHICLE CHARGING STATION AS REQUIRED BY NEW WORK.

06400.01 - CABINETS
PROVIDE ALLOWANCE FOR CABINETS BASED ON LINEAL FOOTAGE.

- GUEST BATH 3'
- STUDY 5'
- LAUNDRY 14'
- POWDER 3'
- KITCHEN 32'
- KIDS BATH 7'
- MASTER CLOSET 10'
- MASTER BATH 7'
- TOTAL: ± 81'

09300.01 - TILE
TILE, UNDERLAYMENT, AND HOT-MOP WATERPROOFING (FOR SHOWERS) AS REQUIRED BY LOCATIONS INDICATED ON PLANS. ALLOW \$6/SF FOR FINISH TILE.

09300.02 - TILE DECK
NEW TILE DECK AT EAST SIDE OF KITCHEN WITH ALL FINISHES TO MATCH EXISTING ENTRY PORCH.

09380.01 - COUNTERTOPS
COUNTERTOP MATERIAL TBD - PROVIDE ALLOWANCE BASED ON 24" DEPTH (UON) AND THE FOLLOWING LINEAL FOOTAGES:

- GUEST BATH 2'-8"
- LAUNDRY WEST 6'-8" (x 1'-10" DEEP)
- LAUNDRY EAST 6'-8" (x 1'-10" DEEP)
- POWDER 3'-0"
- KITCHEN ISLAND 8'-0" (x 3'-0" DEEP)
- KIDS BATH 7'-1"
- MASTER BATH (2) x 3'-4" = 6'-8"

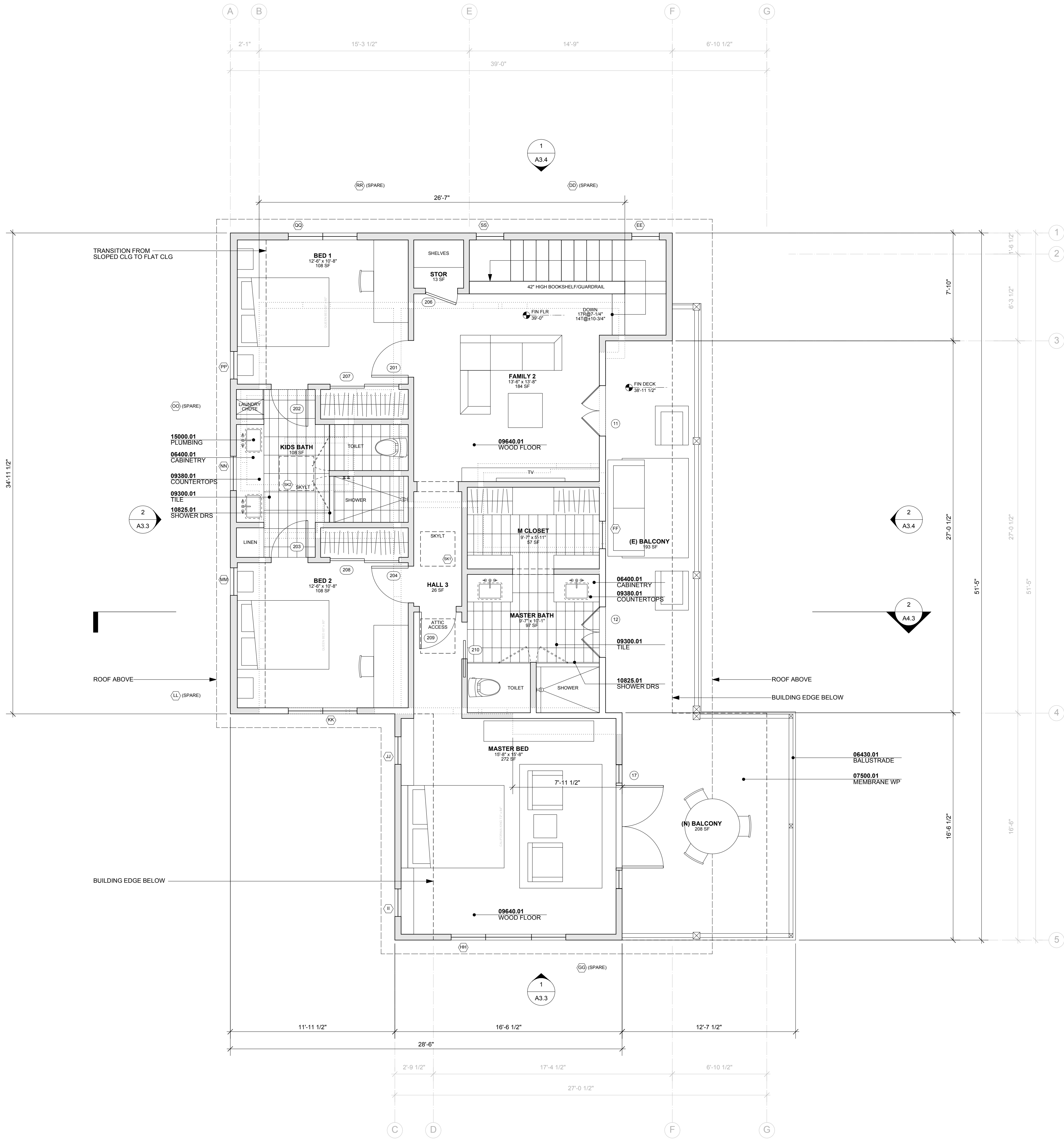
09640.01 - WOOD FLOOR
NEW SOLID 3/4" WOOD FLOOR (SPECIES, CUT, SEALER, ETC. TBD - ASSUME MATCHING EXISTING FOR PRICING PURPOSES) THROUGHOUT FIRST AND SECOND FLOORS, EXCEPT AT TILE LOCATIONS NOTED PER PLAN.

10825.01 - SHOWER DOORS
ALLOW FOR TRANSLUCENT TEMPERED GLASS SHOWER AND TOILET ROOM PARTITIONS (WITH CRL "GENEVA" HINGES/HARDWARE) AT GUEST BATH, MASTER BATH, AND KIDS BATH BASED ON 6'-8" HEIGHT AND THE FOLLOWING LINEAL FOOTAGES:

- GUEST BATH 8'
- KIDS BATH 2 x 3'-6" = 7'
- MASTER BATH 2 x 5' = 10'
- TOTAL: ± 22'

15000.01 - PLUMBING
UPGRADE EXISTING PLUMBING SYSTEM AS REQUIRED: NEW MAIN LINE, NEW 3/4" COPPER WATER LINES (REDUCED TO 1/2" AT FIXTURE), NEW ABS WASTE LINES AND MAIN SEWER LINE. INSTALL NEW GAS LINE AS REQUIRED BY NEW GAS FIXTURES (BBO, COOKTOP, POSSIBLE FIRE FEATURE AT REAR YARD). INSTALL ALL NEW PLUMBING FIXTURES (AND REUSED FIXTURES AS NOTED, E.G. MASTER TOILET, WASHER/DRYER) FOR A FULLY FUNCTIONAL SYSTEM.

NOTICE: THESE DRAWINGS AND SPECIFICATIONS AND THE IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF PAUL BURGIN ARCHITECTURE, INC.

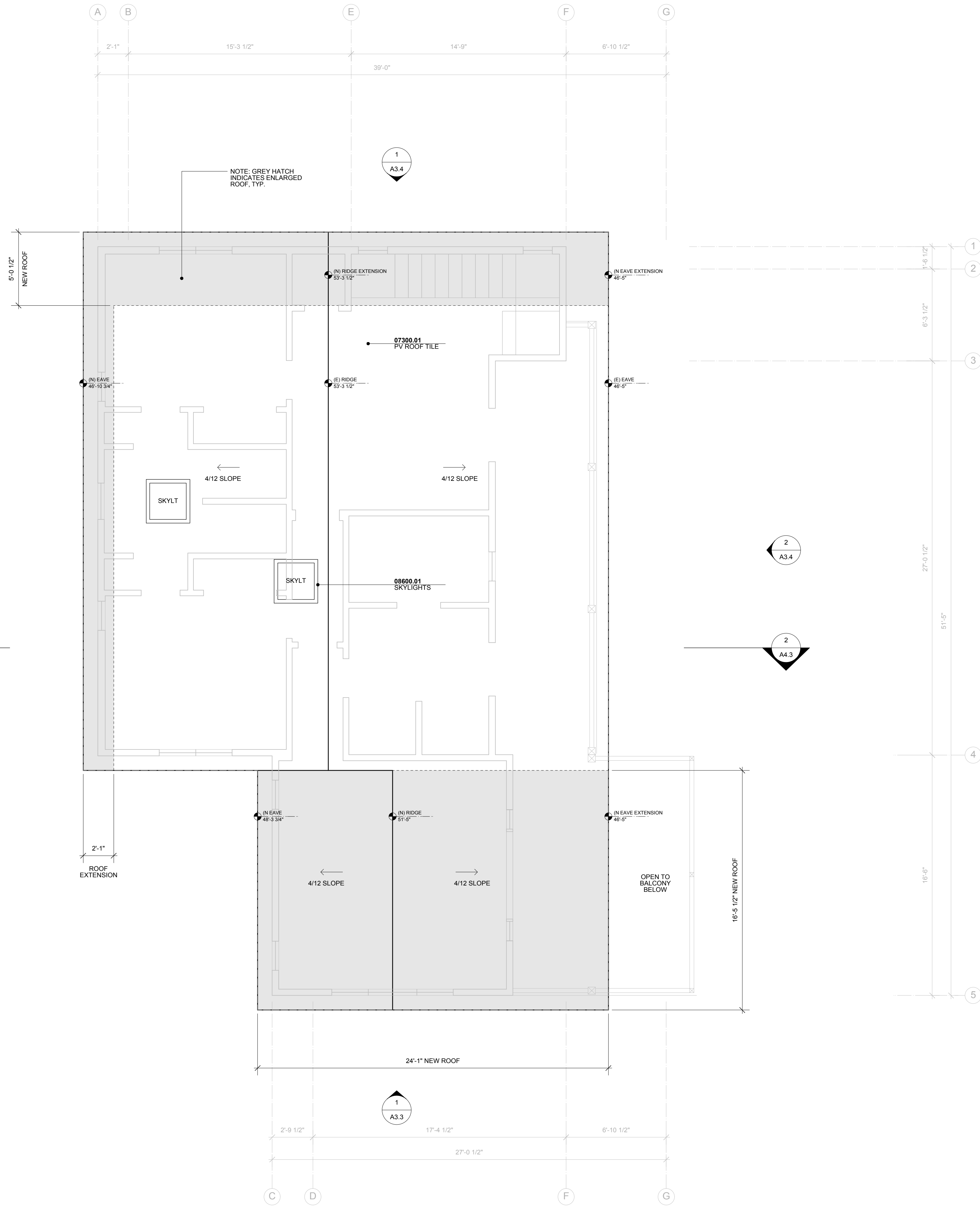


LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL
- OBJECT ABOVE
- ELEVATION MARKER
- SECTION MARKER
- ELEVATION BENCHMARK
- WINDOW TAG
- EXTERIOR DOOR TAG
- INTERIOR DOOR TAG
- PROPERTY LINE
- INTERIOR ELEV. MARKER
- DETAIL MARKER

- 06400.01 - CABINETS**
PROVIDE ALLOWANCE FOR CABINETS BASED ON LINEAL FOOTAGE:
• GUEST BATH 3'
• STUDY 5'
• LAUNDRY 14'
• POWDER 3'
• KITCHEN 32'
• KIDS BATH 7'
• MASTER CLOSET 10'
• MASTER BATH 7'
• TOTAL: ± 81'
- 06430.01 - BALUSTRADE**
REBUILD ENTIRE EXISTING BALUSTRADE TO COMPLY WITH 2016 CALIFORNIA BUILDING CODE. NO OPENING GREATER THAN 4" Ø. FINISH HEIGHT MIN. 42" ABOVE ADJACENT WALKING SURFACE.
- 07500.01 - MEMBRANE WATERPROOFING**
WESTCOAT WATERPROOFING SYSTEM TO MATCH EXISTING AT NEW SECOND FLOOR BALCONY.
- 09300.01 - TILE**
TILE UNDERLAYMENT, AND HOT-MOP WATERPROOFING (FOR SHOWERS) AS REQUIRED BY LOCATIONS INDICATED ON PLANS. ALLOW \$8/SF FOR FINISH TILE.
- 09380.01 - COUNTERTOPS**
COUNTERTOP MATERIAL TBD - PROVIDE ALLOWANCE BASED ON 2" DEPTH (UON) AND THE FOLLOWING LINEAL FOOTAGES:
• GUEST BATH 2'-8"
• LAUNDRY WEST 6'-8"
• LAUNDRY EAST 6'-8" (x 1'-10" DEEP)
• POWDER 3'-0"
• KITCHEN SOUTH 11'-4"
• KITCHEN ISLAND 8'-0" (x 3'-0" DEEP)
• KIDS BATH 7'-1"
• MASTER BATH (2) x 3'-4" = 6'-8"
• TOTAL: ± 22'
- 09640.01 - WOOD FLOOR**
NEW SOLID 3/4" WOOD FLOOR (SPECIES, CUT, SEALER, ETC. TBD - ASSUME MATCHING EXISTING FOR PRICING PURPOSES) THROUGHOUT FIRST AND SECOND FLOORS, EXCEPT AT TILE LOCATIONS NOTED PER PLAN.
- 10825.01 - SHOWER DOORS**
ALLOW FOR TRANSLUCENT TEMPERED GLASS SHOWER AND TOILET ROOM PARTITIONS (WITH OR "GENEVA" HINGES/HARDWARE) AT GUEST BATH, MASTER BATH, AND KIDS BATH BASED ON 6'-8" HEIGHT AND THE FOLLOWING LINEAL FOOTAGES:
• GUEST BATH 5'
• KIDS BATH 2 x 3'-8" = 7'
• MASTER BATH 2 x 5' = 10'
• TOTAL: ± 22'
- 15000.01 - PLUMBING**
UPGRADE EXISTING PLUMBING SYSTEM AS REQUIRED: NEW MAIN LINE, NEW 3/4" COPPER WATER LINES (REDUCED TO 1/2" AT FIXTURE), NEW ABS WASTE LINES AND MAIN SEWER LINE. INSTALL NEW GAS LINE AS REQUIRED BY NEW GAS FIXTURES (BBQ, COOKTOP, POSSIBLE FIRE FEATURE AT REAR YARD). INSTALL ALL NEW PLUMBING FIXTURES (AND REUSED FIXTURES AS NOTED, E.G. MASTER TOILET, WASHER(DRYER) FOR A FULLY FUNCTIONAL SYSTEM.

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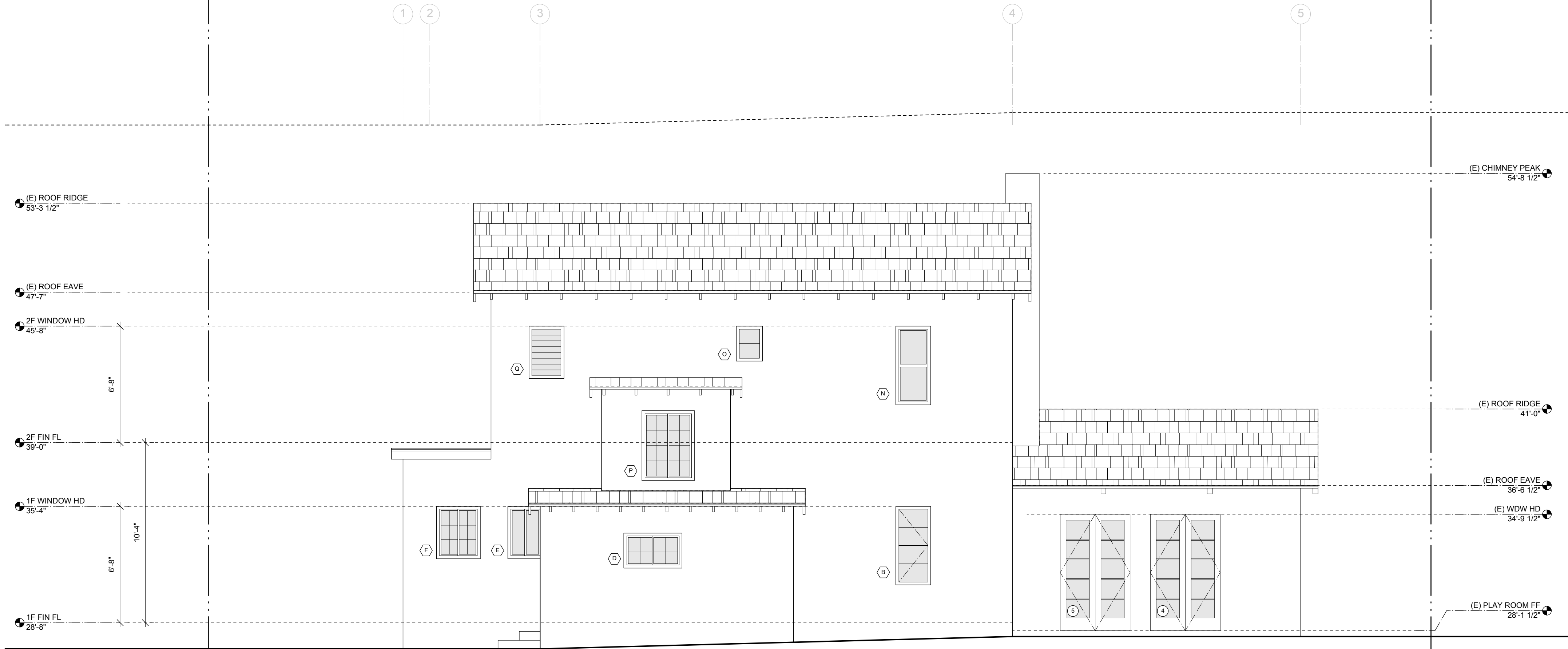
- LEGEND:**
- EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE DEMOLISHED
 - NEW WALL
 - OBJECT ABOVE
 - ELEVATION MARKER
 - SECTION MARKER
 - ELEVATION BENCHMARK
 - WINDOW TAG
 - EXTERIOR DOOR TAG
 - INTERIOR DOOR TAG
 - PROPERTY LINE
 - INTERIOR ELEV. MARKER
 - DETAIL MARKER

07300.01 - PHOTOVOLTAIC ROOF TILE
TESLA SOLAR ROOF TILES. TEXTURED FINISH (NOTE: PRODUCT IS CURRENTLY IN DEVELOPMENT. ARCHITECT AND OWNER ARE SOLICITING PRICING FROM MANUFACTURER). ALLOW FOR ASPHALT SHINGLE ROOF (GAF "TIMBERLINE HD" CHARCOAL) W/ CONVENTIONAL P.V. PANELS AS ALTERNATE IF TESLA TILE IS NOT FEASIBLE.

08600.01 - SKYLIGHTS
CLEAR GLASS, FIXED, CURB-MOUNTED SKYLIGHT BY VELUX OR EQUAL AS INDICATED ON PLANS AND SCHEDULES.

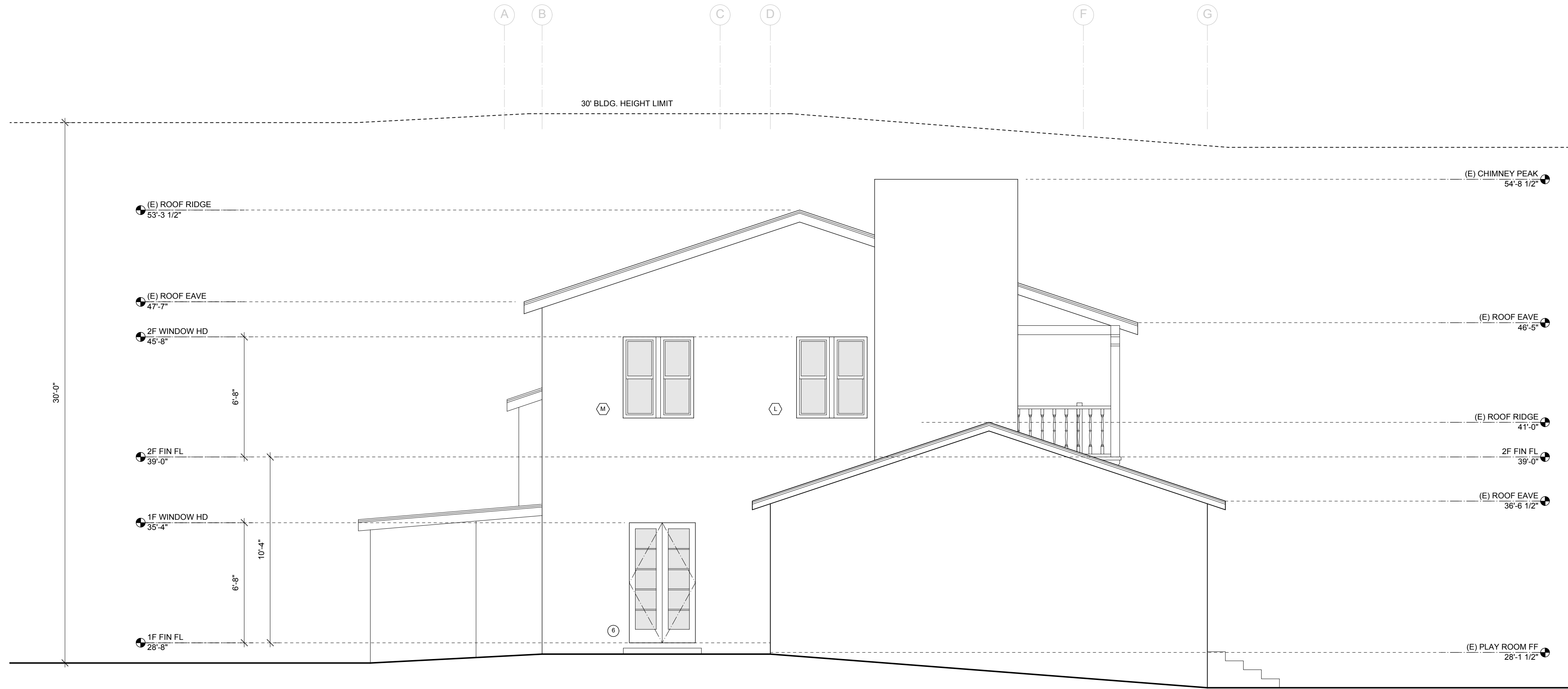
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2 EXISTING WEST ELEVATION



0' 2' 4'
SCALE: 1/4"=1'-0"

1 EXISTING SOUTH ELEVATION



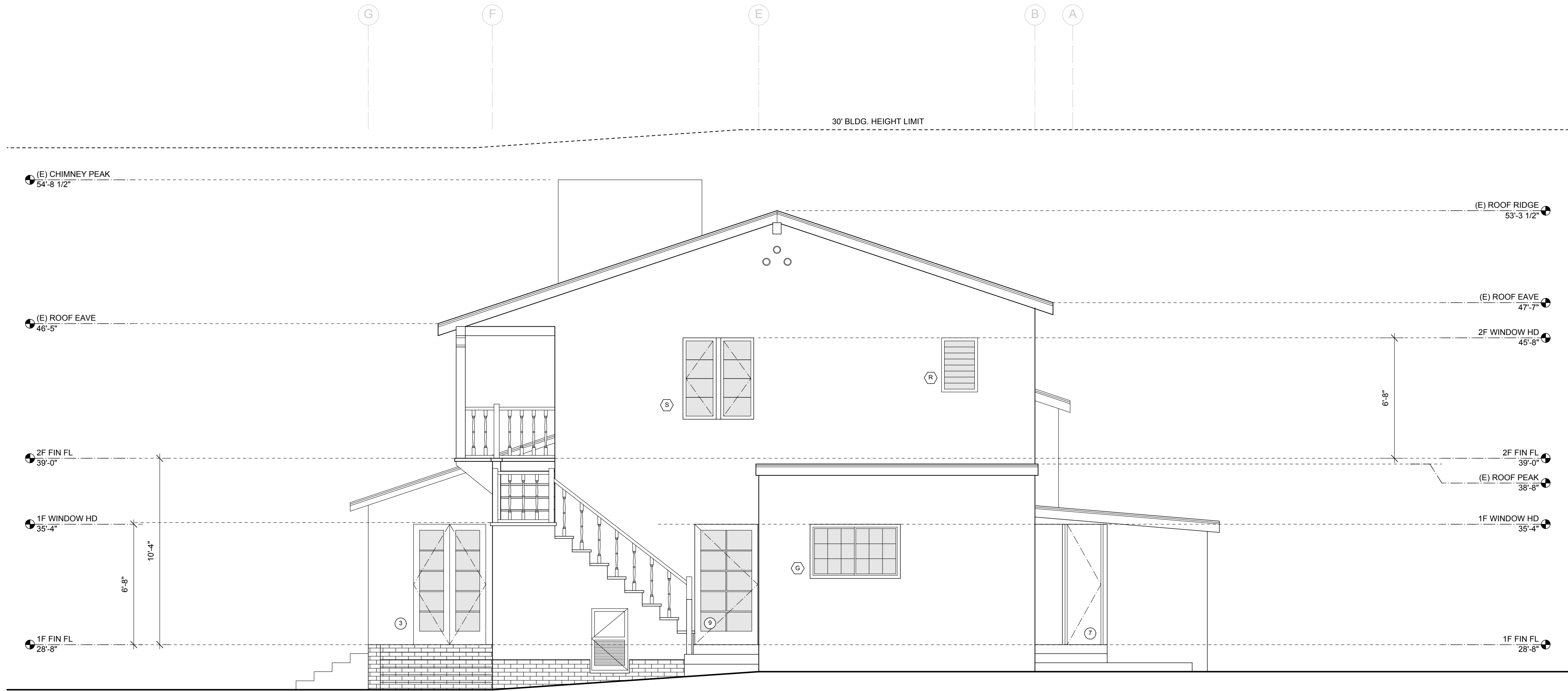
0' 2' 4'
SCALE: 1/4"=1'-0"

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2 EXISTING EAST ELEVATION

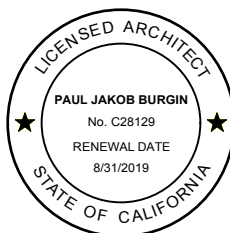


1 EXISTING NORTH ELEVATION



PARZEN
Residence: Addition/Renovation

584 San Antonio Avenue / San Diego CA 92106



SCALE
As Noted
DESCRIPTION
CDP Submittal (Rev 1)
ISSUE DATE
5 July 2019
REV DATE

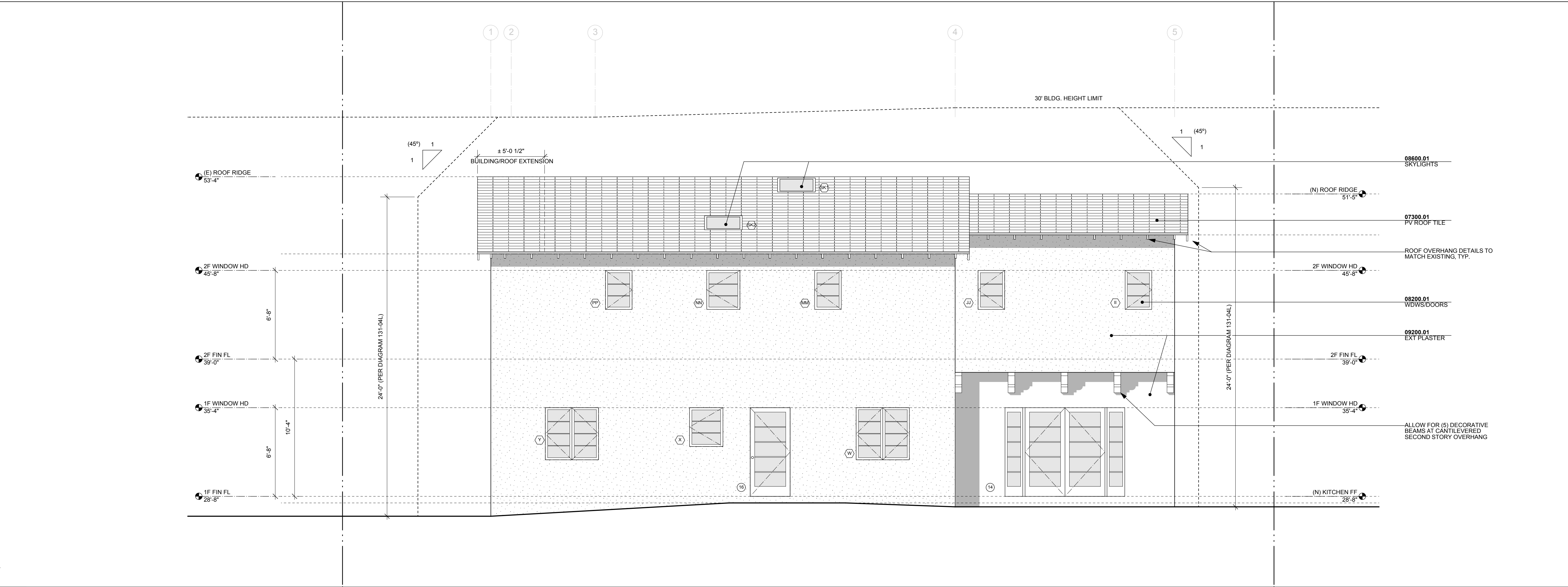
SHEET TITLE
Existg Ext. Elevations

A5.2

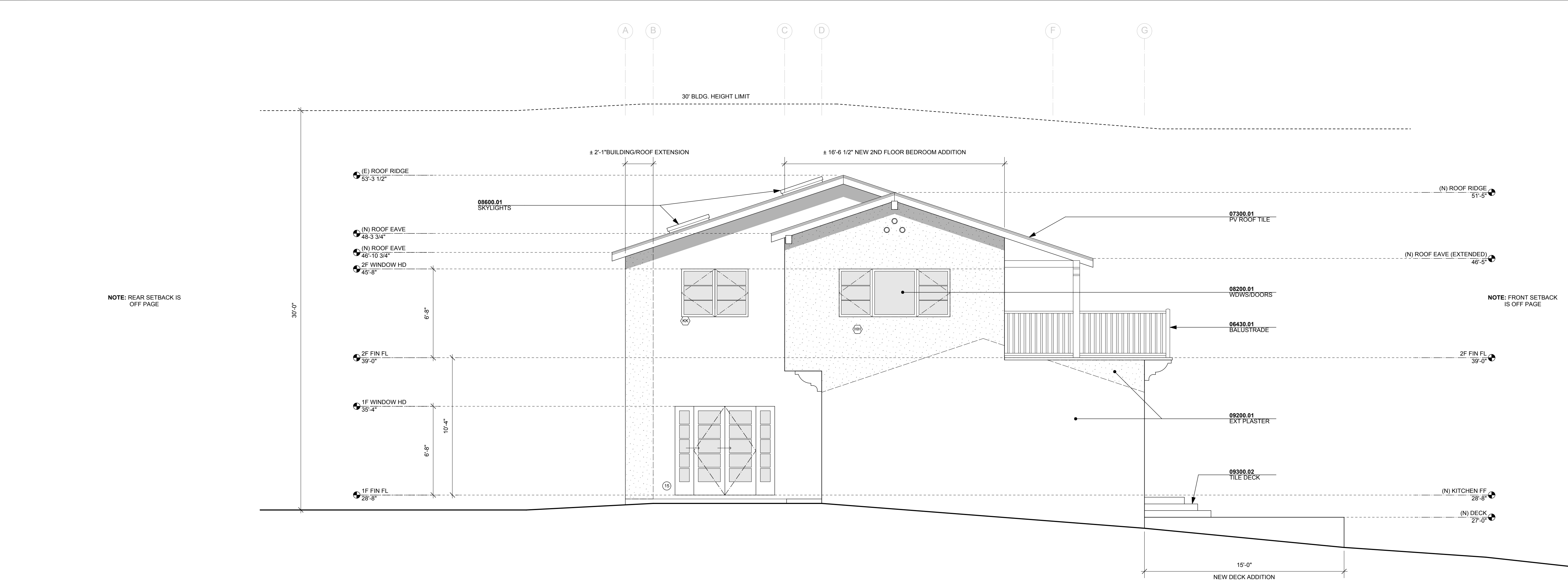
PAUL BURGIN ARCHITECTURE

3607 PORTOLA DRIVE SANTA CRUZ CALIFORNIA 95062 831.535.2103 WWW.PAULBURGINARCHITECTURE.COM

NOTICE: THESE DRAWINGS AND SPECIFICATIONS AND THE IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PRODUCT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF PAUL BURGIN ARCHITECTURE, INC.

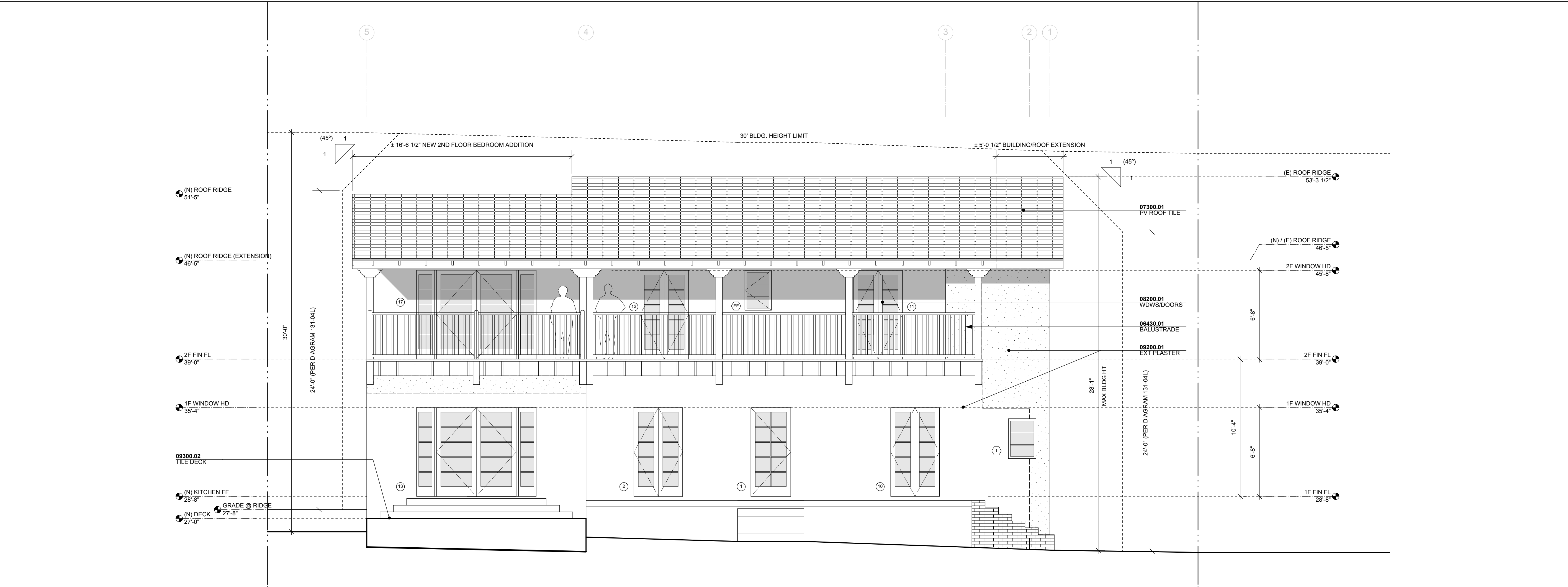


2 PROPOSED WEST ELEVATION



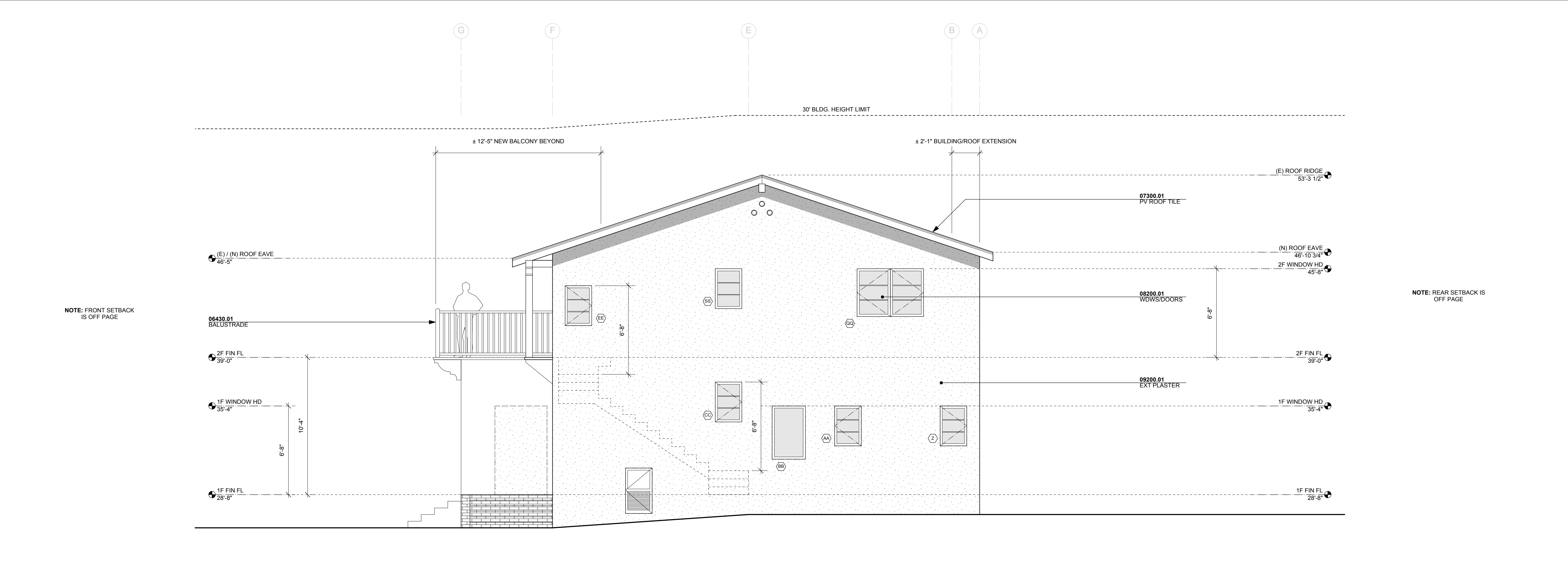
1 PROPOSED SOUTH ELEVATION

NOTICE: THESE DRAWINGS AND SPECIFICATIONS AND THE IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF PAUL BURGIN ARCHITECTURE, INC.



2 PROPOSED EAST ELEVATION

0' 2' 4'
SCALE: 1/4"=1'-0"



NOTE: FRONT SETBACK IS OFF PAGE

NOTE: REAR SETBACK IS OFF PAGE

1 PROPOSED NORTH ELEVATION

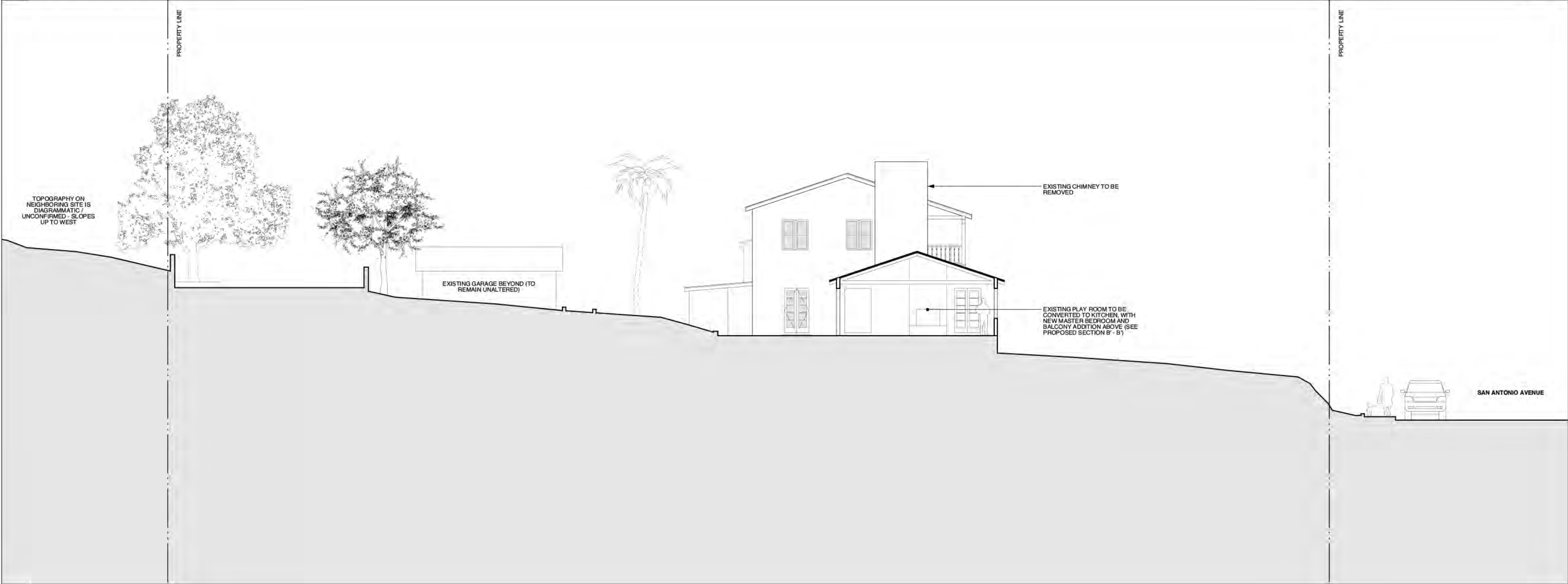
0' 2' 4'
SCALE: 1/4"=1'-0"





2 PROPOSED SITE SECTION B' - B'

0' 4' 8'
SCALE: 1/8"=1'-0"



1 EXISTING SITE SECTION B-B

0' 4' 8'
SCALE: 1/8"=1'-0"

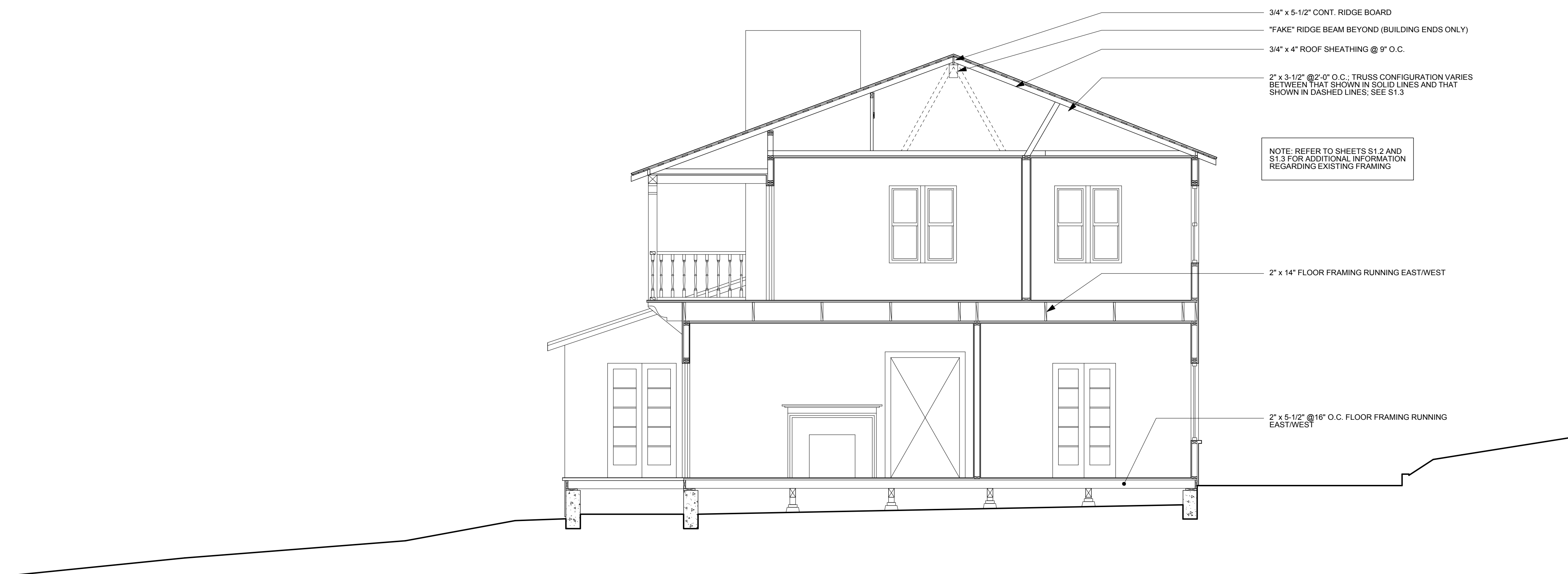
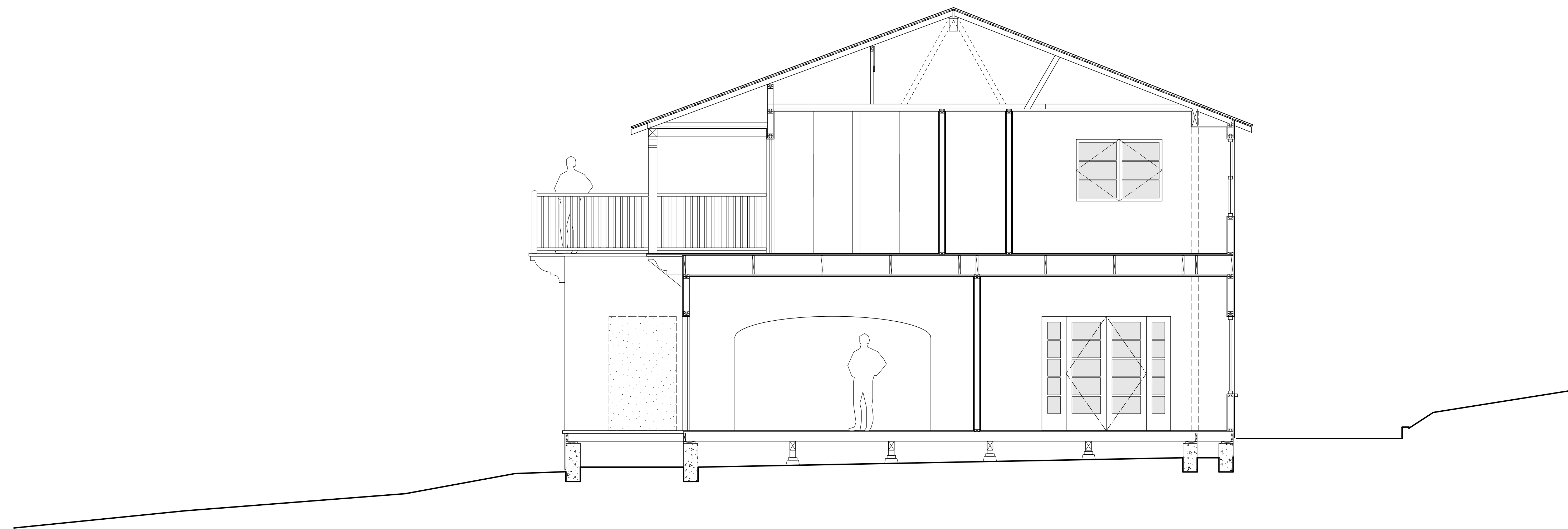
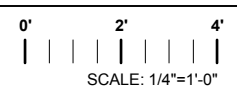


SCALE	As Noted
DESCRIPTION	CDP Submittal (Rev 1)
ISSUE DATE	5 July 2019
REV DATE	

SHEET TITLE
Building Sections

A4.5

2	PROPOSED BUILDING SECTION (DIAGRAMMATIC)
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NOTE: REFER TO SHEETS S1.2 AND
S1.3 FOR ADDITIONAL INFORMATION
REGARDING EXISTING FRAMING

1	EXISTING BUILDING SECTION
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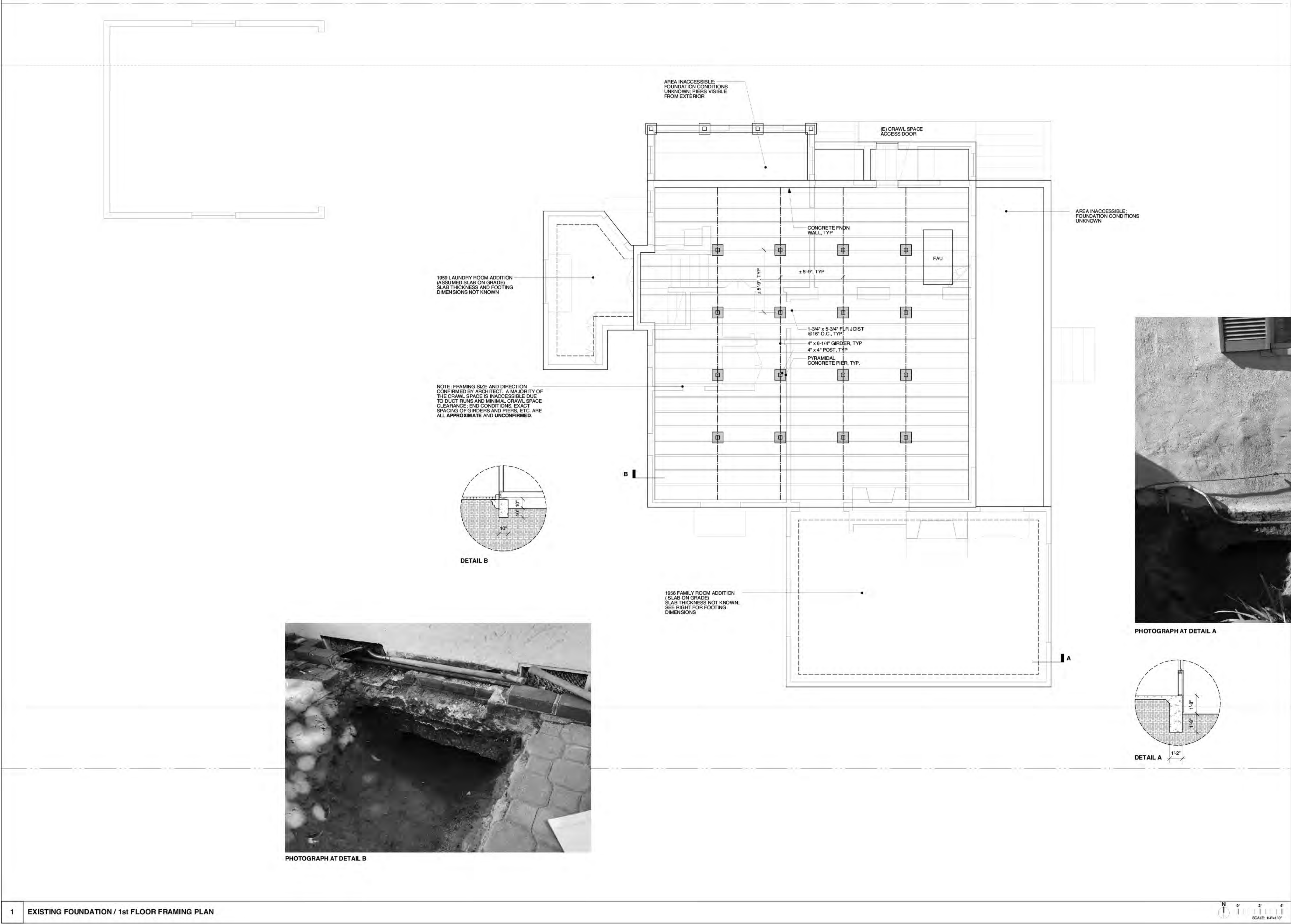
NOTE: HARDWARE SCHEDULE IS IN DEVELOPMENT. PROVIDE ALLOWANCE IN BUDGET FOR ANY HARDWARE NOT PROVIDED BY WINDOW AND DOOR MANUFACTURERS.

<div>NOTE: HARDWARE SCHEDULE IS IN DEVELOPMENT. PROVIDE ALLOWANCE IN BUDGET FOR ANY HARDWARE NOT PROVIDED BY WINDOW AND DOOR MANUFACTURERS.</div>						NO.	LOCATION	W I D T H			H E I G H T			OPERATION	GLAZING/GLAZING TYPE	CONSTRUCTION		NOTES	HDW GROUP		
								ROUGH OPENING	UNIT DIMENSION	SHIM SPACE	ROUGH OPENING	UNIT DIMENSION	SHIM SPACE								(SEE 2/A9.1)
						FIRST FLOOR - EXISTING															
						①	LIVING ROOM	N/A	3'-0"	N/A	N/A	6'-8"	N/A	SINGLE SWING DOOR	CLEAR, SINGLE GLAZED	WOOD		EXISTING ENTRY DOOR TO REMAIN (ADD ALT 1: REPLACE)	TBD		
						②	LIVING ROOM	N/A	3'-8"	N/A	N/A	6'-8"	N/A	DOUBLE SWING DOORS	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOORS TO REMAIN (ADD ALT 1: REPLACE)	TBD		
						③	(E) PLAY / (N) KITCHEN	N/A	4'-0"	N/A	N/A	6'-8"	N/A	DOUBLE SWING DOORS	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOORS TO BE REMOVED	TBD		
						④	(E) PLAY / (N) KITCHEN	N/A	4'-0"	N/A	N/A	6'-8"	N/A	DOUBLE SWING DOORS	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOORS TO BE REMOVED	TBD		
						⑤	(E) PLAY / (N) KITCHEN	N/A	4'-0"	N/A	N/A	6'-8"	N/A	DOUBLE SWING DOORS	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOORS TO BE REMOVED	TBD		
						⑥	(E) GUEST BED / (N) FAMILY 1	N/A	3'-8"	N/A	N/A	6'-8"	N/A	DOUBLE SWING DOORS	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOORS TO BE REMOVED	TBD		
						⑦	(E) LAUNDRY	N/A	3'-0"	N/A	N/A	6'-8"	N/A	"DUTCH" DOOR	N/A	WOOD		EXISTING DOOR TO BE REMOVED	TBD		
⑧	(E) KITCHEN	N/A	2'-8"	N/A	N/A	6'-8"	N/A	SINGLE SWING DOOR	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOOR TO BE REMOVED	TBD								
⑨	(E) DINING / (N) STUDY	N/A	3'-6"	N/A	N/A	6'-8"	N/A	SINGLE SWING DOOR	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOOR TO BE REMOVED	TBD								
⑩	(E) DINING / (N) STUDY	N/A	3'-8"	N/A	N/A	6'-8"	N/A	DOUBLE SWING DOORS	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOORS TO REMAIN (ADD ALT 1: REPLACE)	TBD								
FIRST FLOOR - NEW																					
⑬	(N) KITCHEN	N/A	9'-0"	N/A	N/A	6'-8"	N/A	OUTSWING FRENCH	CLEAR, DOUBLE GLAZED	WOOD/CLAD		(2) 3'-0" DRS W/ (2) 18" FIXED SIDELIGHTS/CUSTOM DIVIDED LITES	TBD								
⑭	(N) KITCHEN	N/A	9'-0"	N/A	N/A	6'-8"	N/A	OUTSWING FRENCH	CLEAR, DOUBLE GLAZED	WOOD/CLAD		(2) 3'-0" DRS W/ (2) 18" FIXED SIDELIGHTS/CUSTOM DIVIDED LITES	TBD								
⑮	(N) FAMILY 1	N/A	7'-6"	N/A	N/A	6'-8"	N/A	OUTSWING FRENCH	CLEAR, DOUBLE GLAZED	WOOD/CLAD		(2) 2'-4" DRS W/ (2) 15" FIXED SIDELIGHTS/CUSTOM DIVIDED LITES	TBD								
⑯	(N) HALL 1	N/A	3'-0"	N/A	N/A	6'-8"	N/A	SINGLE SWING DOOR	CLEAR, DOUBLE GLAZED	WOOD/CLAD			TBD								
SECOND FLOOR - EXISTING																					
⑪	(E) MASTER BED / (N) FAMILY 2	N/A	3'-8"	N/A	N/A	6'-8"	N/A	DOUBLE SWING DOORS	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOORS TO REMAIN (ADD ALT 1: REPLACE)	TBD								
⑫	(E) BED 2 / (N) MASTER BATH	N/A	3'-8"	N/A	N/A	6'-8"	N/A	DOUBLE SWING DOORS	CLEAR, SINGLE GLAZED	WOOD		EXISTING DOORS TO REMAIN (ADD ALT 1: REPLACE)	TBD								
SECOND FLOOR - NEW																					
⑰	(N) MASTER BED	N/A	9'-0"	N/A	N/A	6'-8"	N/A	OUTSWING FRENCH	CLEAR, DOUBLE GLAZED	WOOD/CLAD		(2) 3'-0" DRS W/ (2) 18" FIXED SIDELIGHTS/CUSTOM DIVIDED LITES	TBD								
2 EXTERIOR DOOR SCHEDULE																					
NO.	LOCATION		W I D T H		H E I G H T				OPERATION	GLAZING/GLAZING TYPE	CONSTRUCTION	TYPE	NOTES	HDW GROUP							
		ROUGH OPENING	UNIT DIMENSION	SHIM SPACE	ROUGH OPENING	UNIT DIMENSION	SHIM SPACE					(SEE A9.5)		(SEE 2/A9.1)							
FIRST FLOOR - EXISTING																					
A	(E) PLAY / (N) KITCHEN	N/A	9'-0"	N/A	N/A	4'-6"	N/A	FIXED	CLEAR, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
B	(E) GUEST BED / (N) FAMILY 1	N/A	2'-0"	N/A	N/A	4'-6"	N/A	OUTSWING CASEMENT	CLEAR, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
C	(E) GUEST BATH	N/A	2'-0"	N/A	N/A	3'-0"	N/A	LOUVER	TRNSLCNT, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
D	(E) LAUNDRY	N/A	4'-0"	N/A	N/A	2'-0"	N/A	SLIDER	CLEAR, SINGLE GLAZED	VINYL			EXISTING WINDOW TO BE REMOVED	TBD							
E	(E) KITCHEN	N/A	2'-0"	N/A	N/A	3'-0"	N/A	SLIDER	CLEAR, SINGLE GLAZED	VINYL			EXISTING WINDOW TO BE REMOVED	TBD							
F	(E) KITCHEN	N/A	2'-6"	N/A	N/A	3'-0"	N/A	SLIDER	CLEAR, SINGLE GLAZED	VINYL			EXISTING WINDOW TO BE REMOVED	TBD							
G	(E) KITCHEN	N/A	5'-0"	N/A	N/A	3'-0"	N/A	SLIDER	CLEAR, SINGLE GLAZED	VINYL			EXISTING WINDOW TO BE REMOVED	TBD							
H	(E) KITCHEN	N/A	2'-6"	N/A	N/A	3'-0"	N/A	SLIDER	CLEAR, SINGLE GLAZED	VINYL			EXISTING WINDOW TO BE REMOVED	TBD							
I	(E) DINING / (N) STUDY	N/A	2'-1"	N/A	N/A	3'-0"	N/A	FIXED	CLEAR, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE RELOCATED (ADD ALT 1: REPLACE)	TBD							
FIRST FLOOR - NEW																					
W	(N) FAMILY 1	N/A	4'-0"	N/A	N/A	3'-11 1/8"	N/A	FRENCH CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA4848E	TBD							
X	(N) LAUNDRY	N/A	2'-6"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA3036	TBD							
Y	(N) GUEST BED)	N/A	4'-0"	N/A	N/A	3'-11 1/8"	N/A	FRENCH CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA4848E	TBD							
Z	(N) GUEST BED)	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436	TBD							
AA	(N) GUEST BED)	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, SINGLE GLAZED	WOOD/CLAD			MARVIN CUCA2436	TBD							
BB	(N) GUEST BATH	N/A	2'-6"	N/A	N/A	4'-0"	N/A	FIXED	CLEAR, DOUBLE GLAZED	VINYL			ALT: MARVIN "INTEGRITY" (FIBERGLASS)	TBD							
CC	(N) STAIR	N/A	2'-0"	N/A	N/A	3'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436 (TEMPERED AT THIS LOCATION)	TBD							
SECOND FLOOR - EXISTING																					
J	(E) M BATH	N/A	1'-6"	N/A	N/A	2'-0"	N/A	LOUVER	TRNSLCNT, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
K	(E) M BATH	N/A	1'-6"	N/A	N/A	2'-0"	N/A	LOUVER	TRNSLCNT, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
L	(E) BED 2	N/A	3'-11"	N/A	N/A	4'-6"	N/A	PAIR SINGLE HUNG	CLEAR, SINGLE GLAZED	ALUMINUM			EXISTING WINDOW TO BE REMOVED	TBD							
M	(E) BED 1	N/A	3'-11"	N/A	N/A	4'-6"	N/A	PAIR SINGLE HUNG	CLEAR, SINGLE GLAZED	ALUMINUM			EXISTING WINDOW TO BE REMOVED	TBD							
N	(E) BED 1	N/A	2'-0"	N/A	N/A	4'-6"	N/A	SINGLE HUNG	CLEAR, SINGLE GLAZED	ALUMINUM			EXISTING WINDOW TO BE REMOVED	TBD							
O	(E) BED 1 CLOSET	N/A	1'-6"	N/A	N/A	2'-0"	N/A	HOPPER	CLEAR, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
P	(E) STAIR	N/A	3'-0"	N/A	N/A	4'-0"	N/A	SLIDER	CLEAR, SINGLE GLAZED	VINYL			EXISTING WINDOW TO BE REMOVED	TBD							
Q	(E) KIDS BATH	N/A	2'-0"	N/A	N/A	3'-0"	N/A	LOUVER	TRNSLCNT, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
R	(E) KIDS BATH	N/A	2'-0"	N/A	N/A	3'-0"	N/A	LOUVER	TRNSLCNT, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
S	(E) MASTER BED	N/A	3'-11"	N/A	N/A	4'-6"	N/A	PAIR CASEMENT	CLEAR, SINGLE GLAZED	WOOD			EXISTING WINDOW TO BE REMOVED	TBD							
SECOND FLOOR - NEW																					
EE	(N) FAMILY 2	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436	TBD							
FF	(N) MASTER CLOSET	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436	TBD							
GG	NOT USED																				
HH	(N) MASTER BED	N/A	8'-4"	N/A	N/A	3'-7 1/8"	N/A	CSMNT / FIXED / CSMNT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA3044E/CUCAP4044/CUCA3044E - SEE ELEVS	TBD							
II	(N) MASTER BED	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436	TBD							
JJ	(N) MASTER BED	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436	TBD							
KK	(N) BED 2	N/A	5'-0"	N/A	N/A	2'-11 1/8"	N/A	FRENCH CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA6044E	TBD							
LL	NOT USED																				
MM	(N) BED 2	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436	TBD							
NN	(N) KIDS BATH	N/A	2'-6"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA3036	TBD							
OO	NOT USED																				
PP	(N) BED 1	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436	TBD							
QQ	(N) BED 1	N/A	5'-0"	N/A	N/A	2'-11 1/8"	N/A	FRENCH CASEMENT	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA6044E	TBD							
RR	NOT USED																				
SS	(N) STAIR	N/A	2'-0"	N/A	N/A	2'-11 1/8"	N/A	FIXED	CLEAR, DOUBLE GLAZED	WOOD/CLAD			MARVIN CUCA2436 (FIXED)	TBD							
3	HARDWARE SCHEDULE					1	WINDOW SCHEDULE														

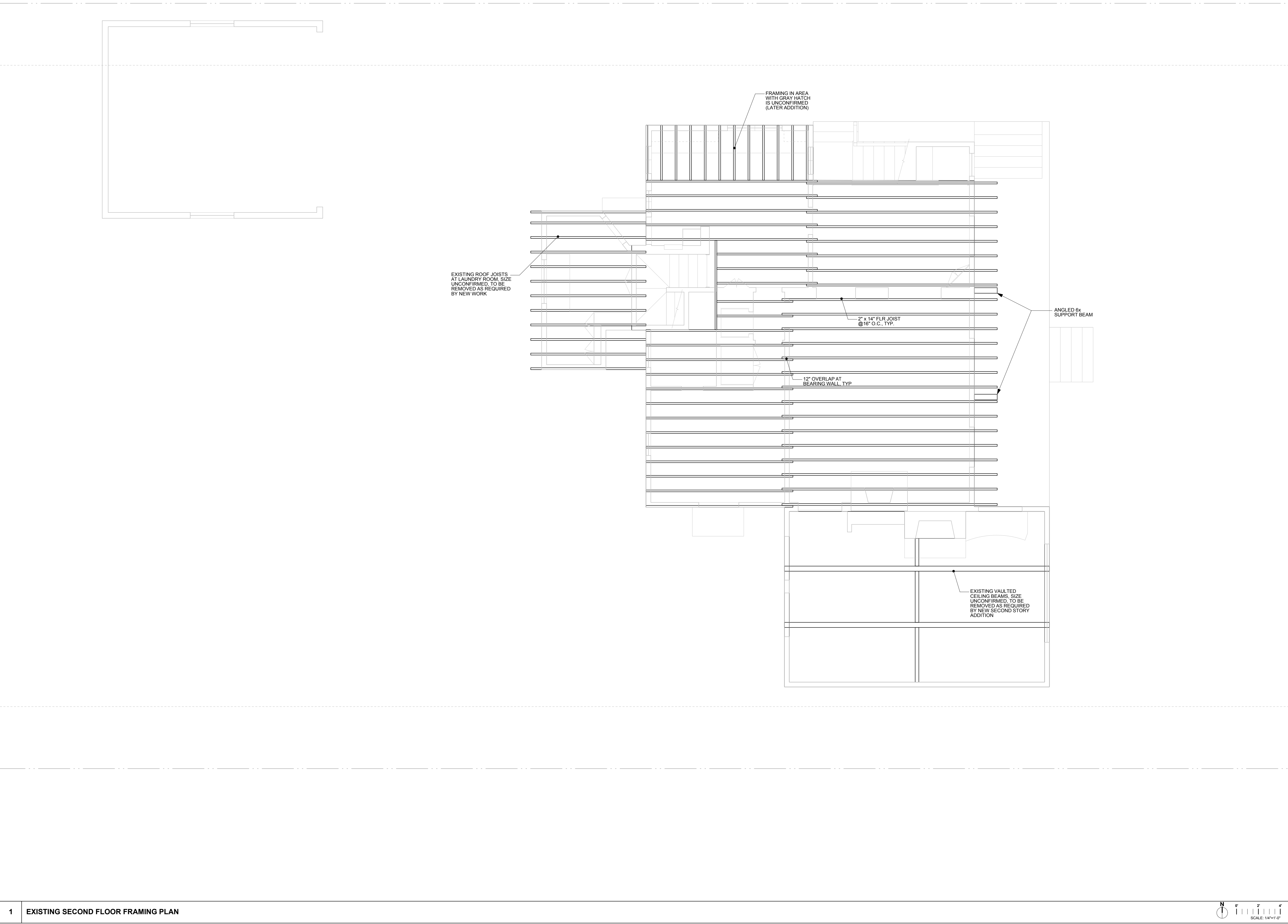
NOTES:
1. GENERAL CONTRACTOR AND WINDOW/EXTERIOR DOOR SUPPLIER SHALL VERIFY THAT ALL NEW WINDOWS AND EXTERIOR DOORS MEET THE REQUIREMENTS OF THE PROJECT-SPECIFIC TITLE 24 ANALYSIS (U-FACTOR AND SHGC) PRIOR TO ORDERING.
ADD ALTERNATE 1:
PROVIDE "ADD ALTERNATE" PRICING FOR REPLACEMENT OF EXISTING DOORS 1, 2, 10, 11, AND 12 AND WINDOW 1 WITH NEW DUAL GLAZED UNITS (ALL OTHER FEATURES TO MATCH EXISTING.)

MAXIMUM FIXTURE FLOW RATES:
KITCHEN FAUCETS: MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GPM AT 90 PSI.
STANDARD DISHWASHERS: 4.25 GALLONS PER CYCLE.
COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE.
CLOTHES WASHERS: WATER FACTOR OF 6 GALLONS PER CUBIC FEET OF DRUM CAPACITY.

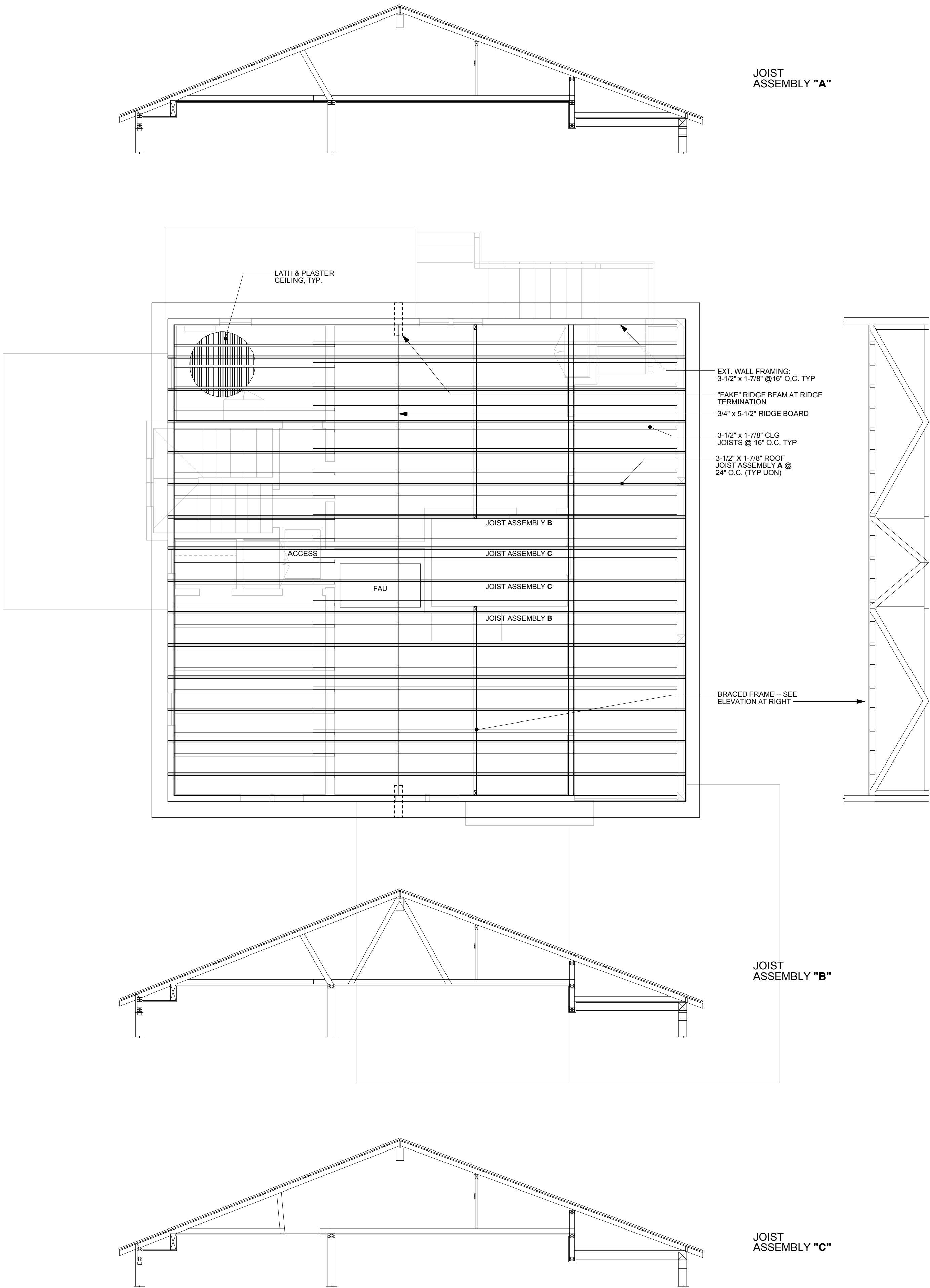
NOTES: THESE DRAWINGS AND SPECIFICATIONS TOWARD THE DESIGN, CONSTRUCTION AND PERFORMANCE OF THE PROJECT ARE THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. AND SHALL REMAIN THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. ANY REUSE, REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PAUL BURGIN ARCHITECTURE, INC. IS PROHIBITED.



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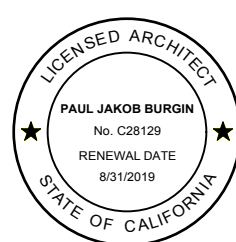
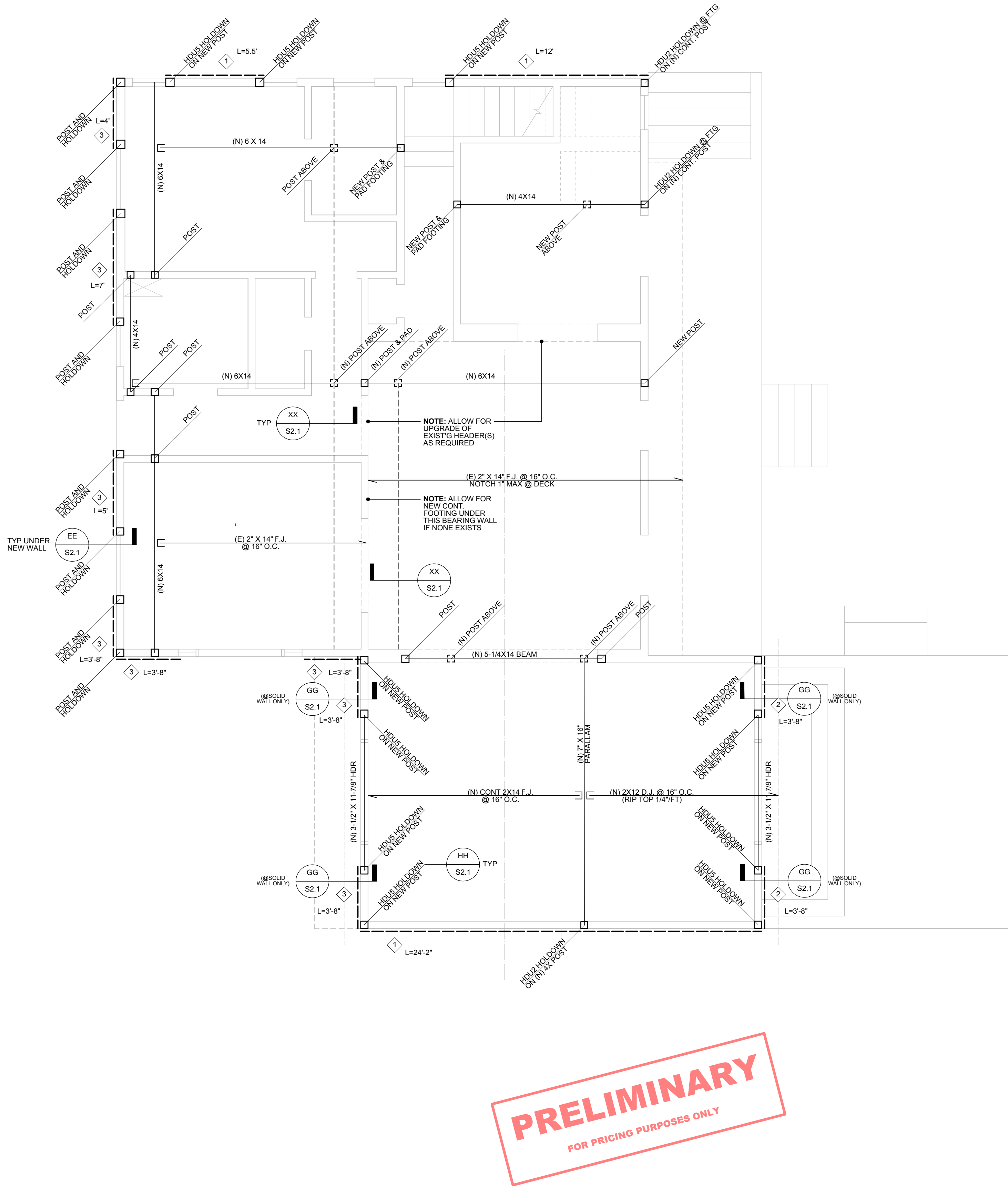
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GG	UNDERPOUR FOOTING	HH	TYP HOLDOWN												
<table><tr><th>MARK</th><th>PLYWOOD</th><th>NAILING</th></tr><tr><td>1</td><td>3/8" STRUCT I, PLYWOOD SHEAR</td><td>6" / 12"</td></tr><tr><td>2</td><td>3/8" STRUCT I, PLYWOOD SHEAR</td><td>4" / 12"</td></tr><tr><td>3</td><td>3/8" STRUCT I, PLYWOOD SHEAR</td><td>3" / 12"</td></tr></table>				MARK	PLYWOOD	NAILING	1	3/8" STRUCT I, PLYWOOD SHEAR	6" / 12"	2	3/8" STRUCT I, PLYWOOD SHEAR	4" / 12"	3	3/8" STRUCT I, PLYWOOD SHEAR	3" / 12"
MARK	PLYWOOD	NAILING													
1	3/8" STRUCT I, PLYWOOD SHEAR	6" / 12"													
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3	3/8" STRUCT I, PLYWOOD SHEAR	3" / 12"													
CC		PRELIMINARY SHEAR WALL SCHEDULE													
EE	FTG UNDER NEW WALL	FF	ANCHOR BOLT AT (E) WALL												
XX	PRELIMINARY FRAMING DETAIL: NEW BLOCKING AT SECOND FLOOR														

1 PROPOSED SECOND FLOOR FRAMING PLAN (WITH FOUNDATION NOTES)



SCALE
As Noted
DESCRIPTION
CDP Submittal (Rev 1)
ISSUE DATE
5 July 2019
REV DATE

SHEET TITLE
Proposed 2F Framing

NOTICE: THESE DRAWINGS AND SPECIFICATIONS AND THE IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PRODUCT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF PAUL BURGIN ARCHITECTURE, INC.

DD

NOT USED

MARK	PLYWOOD	NAILING
1	3/8" STRUCT I, PLYWOOD SHEAR	6" / 12"
2	3/8" STRUCT I, PLYWOOD SHEAR	4" / 12"
3	3/8" STRUCT I, PLYWOOD SHEAR	3" / 12"

CC

PRELIMINARY SHEAR WALL SCHEDULE

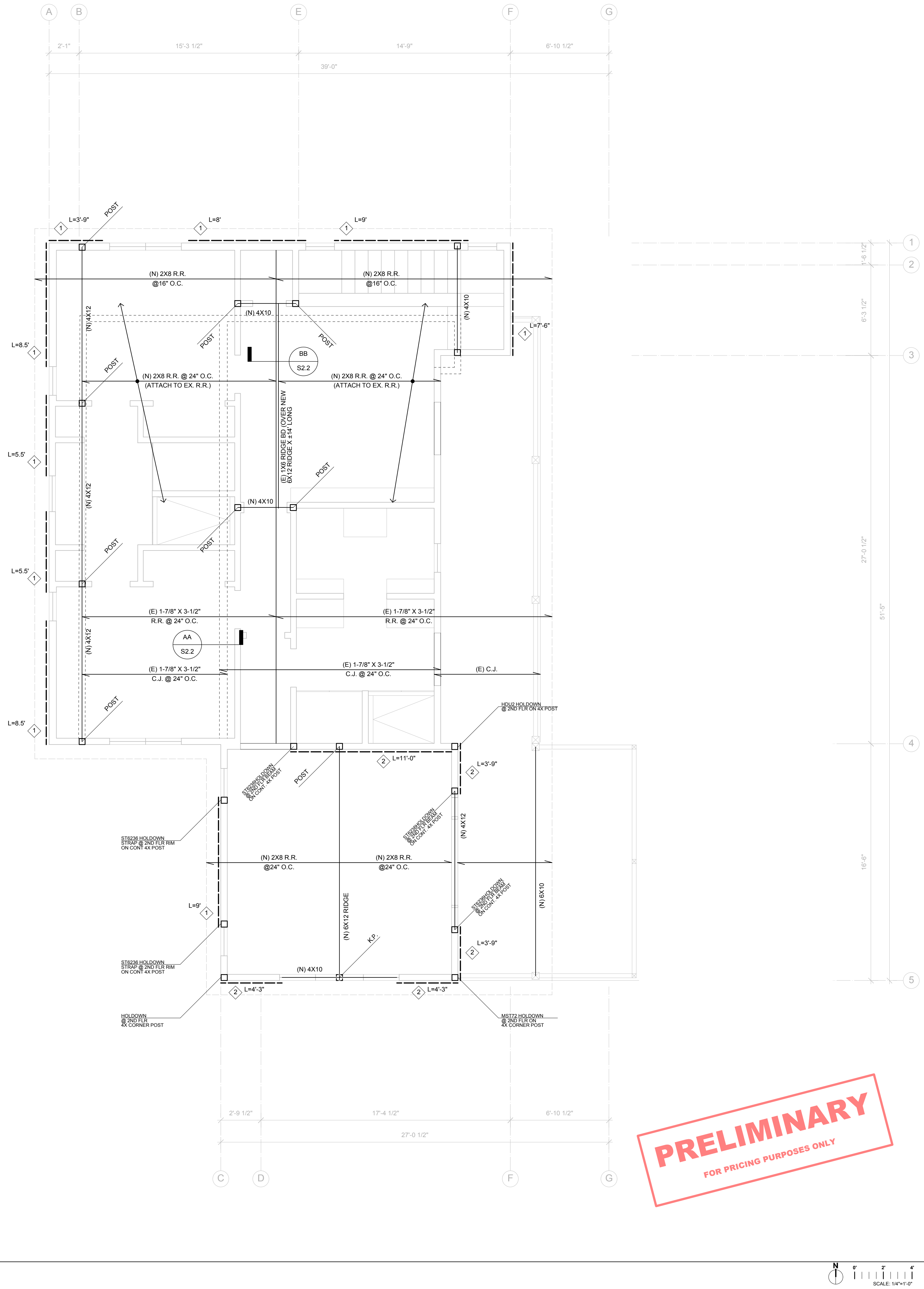
BB

PRELIMINARY FRAMING DETAIL

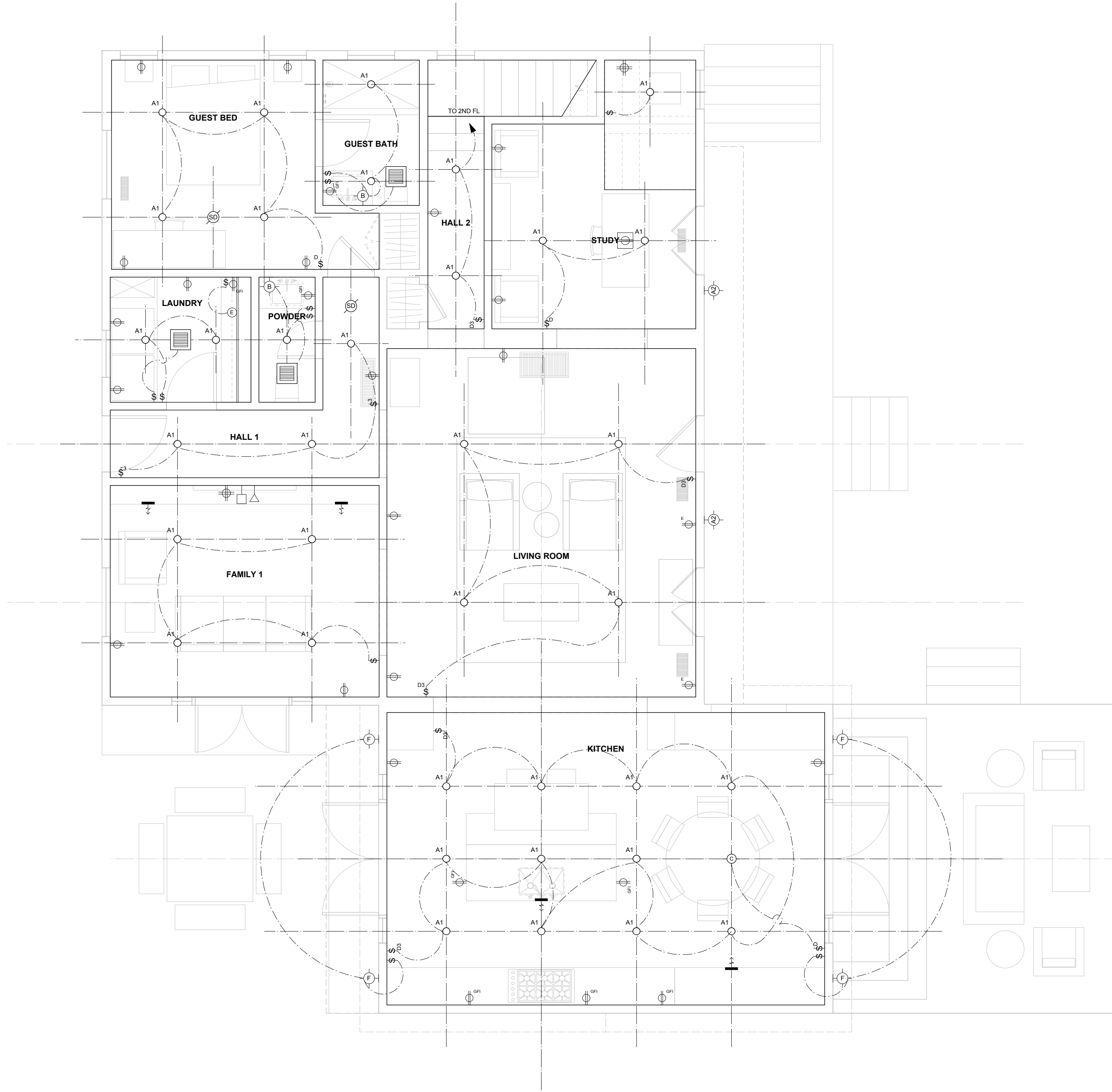
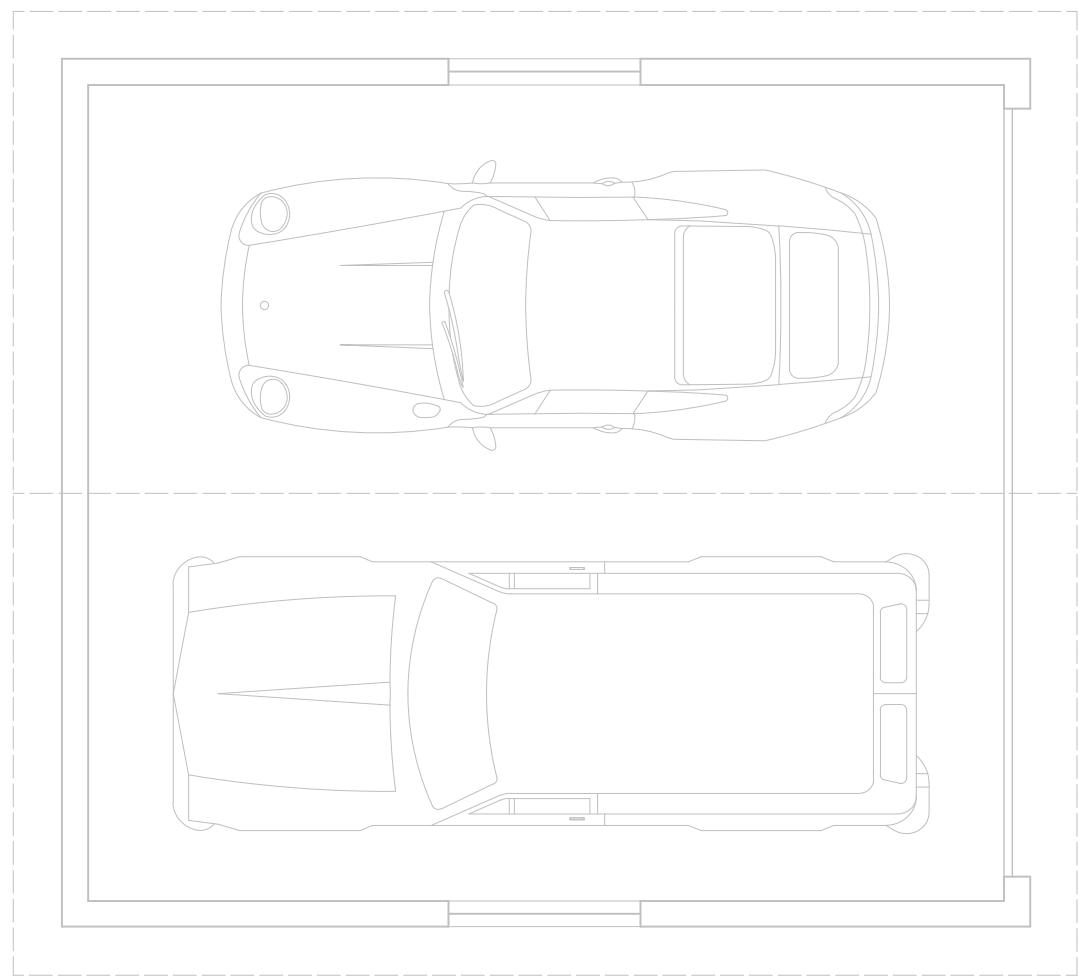
AA

PRELIMINARY FRAMING DETAIL

1 PROPOSED ROOF FRAMING PLAN



NOTICE: THESE DRAWINGS AND SPECIFICATIONS AND THE IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF PAUL BURGIN ARCHITECTURE, INC. AND NO PART THEREOF OR PRODUCT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF PAUL BURGIN ARCHITECTURE, INC.



LEGEND:

SWITCHING

- CONVENTIONAL SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- JAMB SWITCH
- LUTRON HOMEWORK QS - SMART "MAESTRO" DIMMER
- LIGHTING CONTROL KEYPAD, WITH STATION #
- LIGHTING CONTROL ZONE
- OCCUPANCY SENSOR LUTRON LOS-C SERIES
- DUPLEX OUTLET
- DUPLEX OUTLET (EXISTING TO REMAIN)
- QUAD OUTLET
- GFI OUTLET
- WATERPROOF GFI OUTLET
- OUTLET W/DEDICATED CIRCUIT
- FLOOR OUTLET STEELCITY 663-P60Q-P62CP
- IGNITION DEVICE

LIGHTING

- RECESSED CLG LIGHT FIXT
- WALL MTD LIGHT FIXTURE
- CLG MTD LIGHT FIXTURE
- LINEAR LIGHT FIXTURE (FLUORESCENT/UNDERCAB)
- HVAC
- THERMOSTAT NEST OR APPROVED EQUAL
- RADIANT HEAT MANIFOLD
- EXHAUST FAN PANASONIC FV-0511VK2
- HEATING/COOLING SUPPLY (CEILING)
- HEATING/COOLING SUPPLY (WALL/KICK)

FIRE PROTECTION

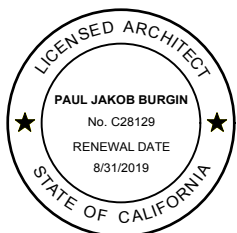
- RECESSED SPRINKLER HEAD
- EXPOSED SPRINKLER HEAD
- TEL / COMM / AV
- TEL/DATA (CAT 5E + CAT6)
- WIRELESS ACCESS POINT
- RCA AUDIO INPUT (IPOD / SIM)
- CLG SPEAKER (LEFT/RIGHT)
- STRUCTURED CABLE @ CABLE TV OR DEDICATED LOCATION (2 COAX+2 CAT6)
- LOCAL AUDIO CONTROL

SECURITY

- SECURITY KEYPAD
- HARDWIRED SMOKE/C.O. DETECTOR (CEILING MOUNT)
- HARDWIRED SMOKE/C.O. DETECTOR (WALL MOUNT)
- MOTION DETECTOR
- CCTV CAMERA LOCATION

MISCELLANEOUS

- HOSE BIBB ACORN 8150 BOX
- MOTORIZED SHADE W/ ZONE # (VERIFY SHADE DIMENSIONS IN FIELD)
- MOTORIZED SHADE POCKET
- SHADE JOINT BREAK LOCATION
- NATURAL GAS



1 PROPOSED SECOND FLOOR ELECTRICAL PLAN / REFLECTED CEILING PLAN



SWITCHING

- ## LIGHTING

- ## FIRE PROTECTION

- SECURITY**

- ### MISCELLANEOUS

- HB** HOSE BIBB
ACORN 8150 BOX
- MOTORIZED SHADE W/ ZONE # (VERIFY
SHADE DIMENSIONS IN FIELD)
- MOTORIZED SHADE POCKET
- SHADE JOINT BREAK LOCATION
- NATURAL GAS

SHEET TITLE
Proposed 2F RCF