



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: October 30, 2019 REPORT NO. HO-19-099

HEARING DATE: November 6, 2019

SUBJECT: VERIZON CARMEL RESORT, Process Three Decision

PROJECT NUMBER: [634099](#)

OWNER/APPLICANT: City of San Diego/Technology Associates for Verizon Wireless

SUMMARY

Issue: Should the Hearing Officer approve a new Conditional Use Permit (CUP) for an existing Wireless Communication Facility (WCF) located on City property at 10985 Avenida Maria in the Rancho Peñasquitos Community Planning Area?

Staff Recommendation: Approve CUP No. 2349454.

Community Planning Group Recommendation: On September 4, 2019, the Rancho Peñasquitos Planning Board voted 13-0-0 to recommend approval of the proposed project without conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15302 (Replacement or Reconstruction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 27, 2019 and the opportunity to appeal that determination ended October 12, 2019.

BACKGROUND

The Verizon Carmel Resort project is located in eastern Rancho Peñasquitos on Public Utilities Department property (water tank) at [10985 Avenida Maria](#) in the RS-1-14 zone. The site is designated Open Space with the Rancho Peñasquitos Community Plan. The tank is surrounded by a separate, larger open space parcel also owned by the City and designated Open Space. The site and all nearby properties are zoned RS-1-14. Nearby uses include single-dwelling units to the north, east, and south, and open space to the west. Peñasquitos Drive is located to the east of the site.

The existing WCF was previously entitled by Neighborhood Use Permit 532000 and Site Development Permit 580922, approved by the Hearing Officer as Project 150787 on March 4, 2009. That approval expired on March 4, 2019. The current application was submitted on April 5, 2019.

A WCF located on a premises containing a non-residential use in a residential zone requires a Conditional Use Permit, Process Three pursuant to [SDMC 141.0420\(e\)\(1\)](#). The WCF Regulations were updated effective September 9, 2019; this code reference is to the version in effect at the time of application.

PROJECT DESCRIPTION

Six antennas currently exist on the faux tree. The Verizon Carmel Resort project proposes to remove and replace two antennas, relocate two existing antennas, and add one surge protector, on an existing 25-foot-tall faux pine tree. The faux tree will also be re-branched. The project does not increase the footprint of the existing structure; therefore, it is exempt from the requirement for a Neighborhood Development Permit or Site Development Permit under the Environmentally Sensitive Lands (ESL) regulations per [SDMC 143.0110\(c\)\(1\)](#).

COMMUNITY AND GENERAL PLAN ANALYSIS

The [Rancho Peñasquitos Community Plan](#) does not address wireless communication facilities as a specific land use. The General Plan addresses wireless facilities in the Urban Design Element. Policy A.15 states that WCFs shall be concealed within existing structures whenever possible. Facilities should be designed to be aesthetically pleasing, and respectful of the neighborhood context, and equipment should be concealed in unobtrusive structures.

In proposing the continued use of an existing faux tree that integrates into an existing landscape setting, the proposed project meets the intent of Policy UD-A.15.

CONCLUSION:

Based on its design, the project complies with the WCF Regulations (SDMC 141.0420). Staff has prepared draft findings in the affirmative to approve the CUP and recommends approval of CUP No. 2349454 (Attachment 6).

ALTERNATIVES

1. Approve CUP No. 2349454, with modifications.
2. Deny CUP No. 2349454, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Travis Cleveland
Development Project Manager

Attachments:

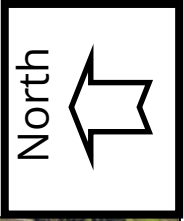
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Photo Survey
10. Community Planning Group Recommendation
11. City Consent Form (Ownership Disclosure)
12. Photo Simulations
13. Project Plans



Aerial Photo



Project Site

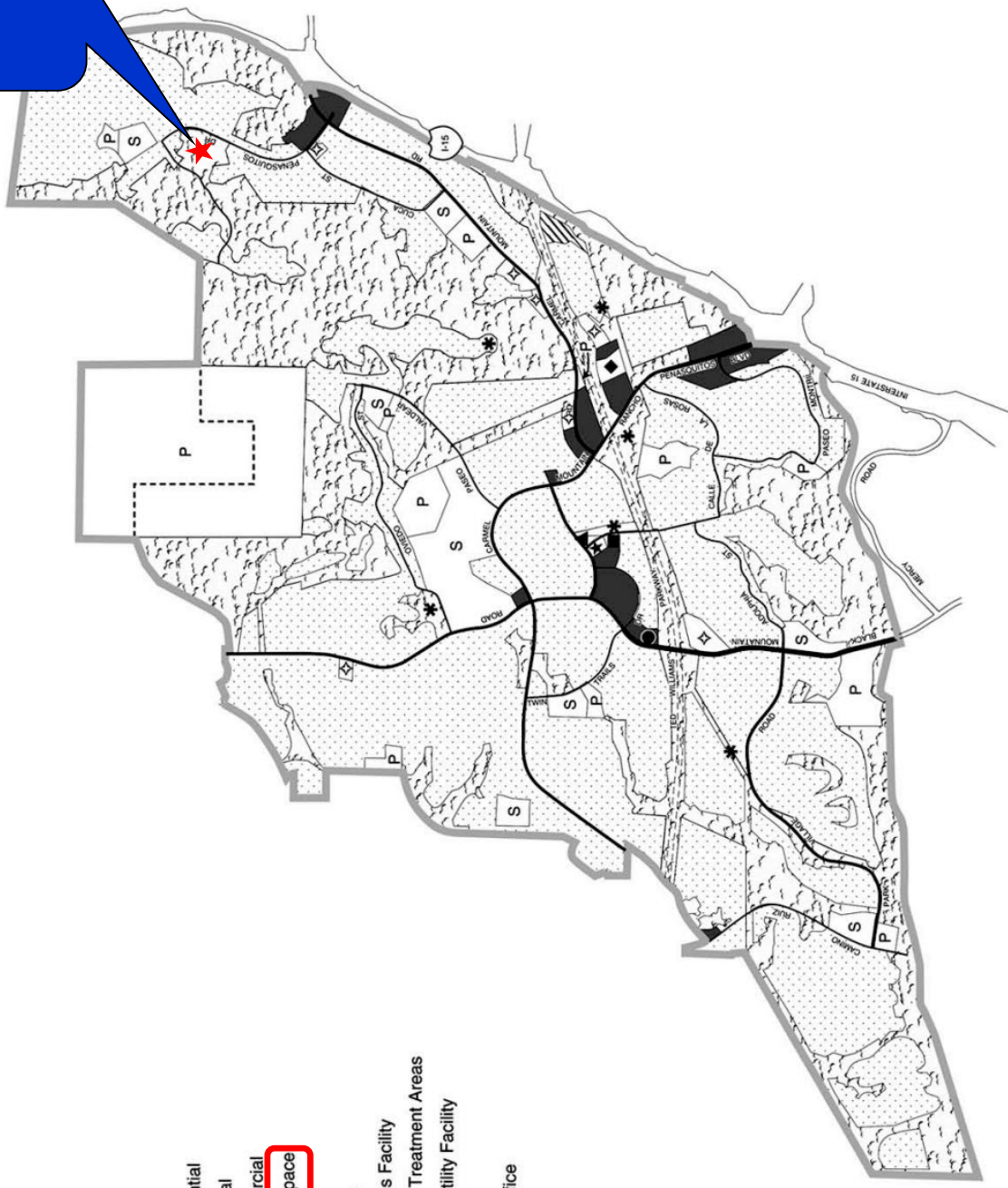


Verizon Carmel Resort, Project No. 634099
10985 Avenida Maria

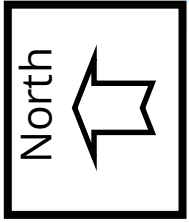


Community Plan

Project Site



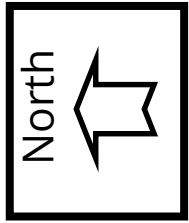
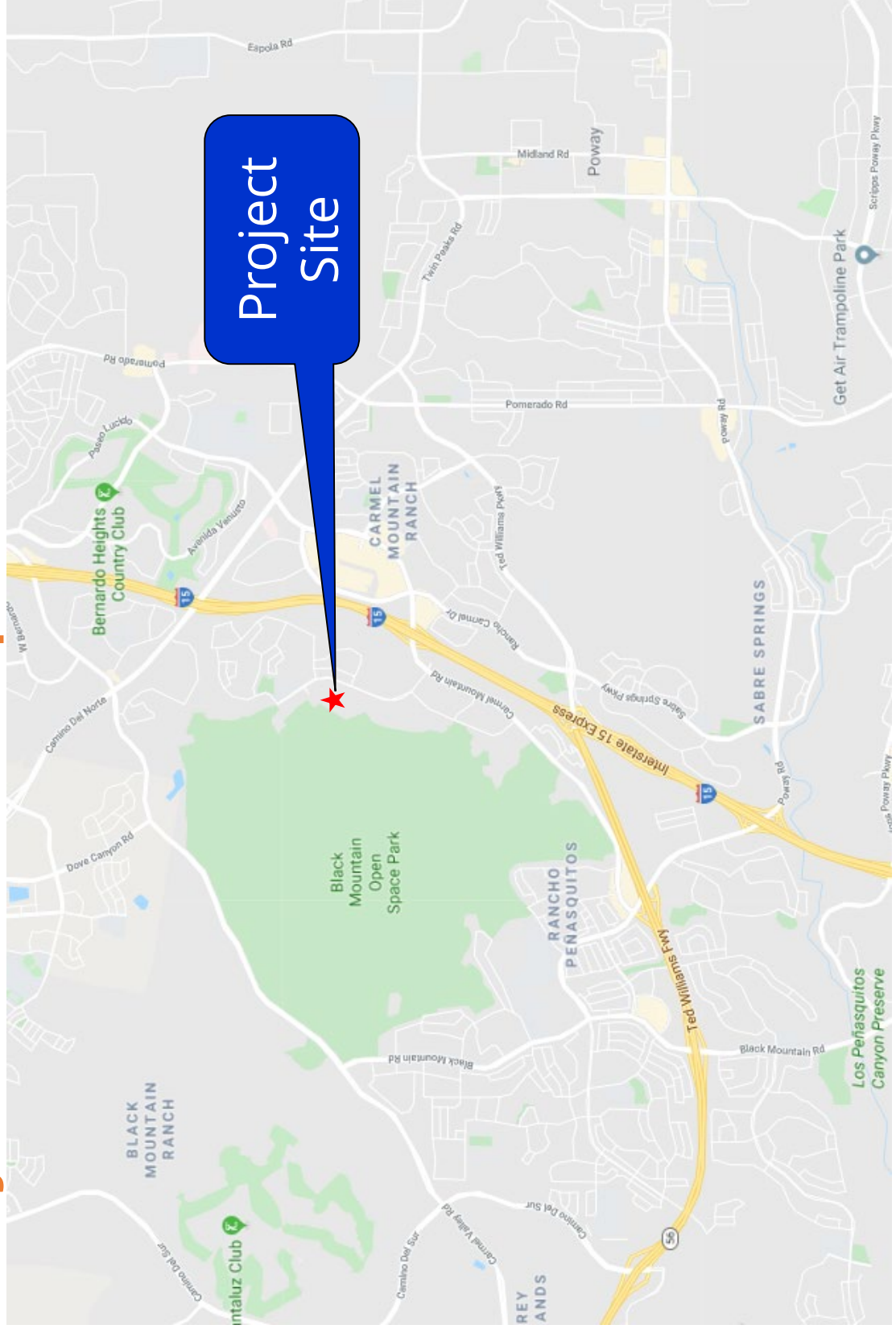
- Residential
- Industrial
- Commercial
- Open Space
- Parks
- Schools
- Religious Facility
- Special Treatment Areas
- Major Utility Facility
- Library
- Post Office
- Police
- Fire



Verizon Carmel Resort, Project No. 634099
10985 Avenida Maria



Project Location Map



Verizon Carmel Resort, Project No. 634099
10985 Avenida Maria

PROJECT DATA SHEET		
PROJECT NAME:	Verizon Carmel Resort	
PROJECT DESCRIPTION:	Remove and replace two antennas, relocate two existing antennas, and add one surge protecto, on an existing 25-foot-tall faux pine tree at an existing Water Department facility,. The faux tree will also be re-branched.	
COMMUNITY PLAN AREA:	Rancho Peñasquitos	
DISCRETIONARY ACTIONS:	Conditional Use Permit (CUP)	
COMMUNITY PLAN LAND USE DESIGNATION:	Open Space	
ZONING INFORMATION:		
ZONE: RM-3-7		
LOT SIZE: 1.95 acres		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Open Space (Residential further to the north), RS-1-14	Open Space (single dwelling units further to the north)
SOUTH:	Open Space (Residential further to the south), RS-1-14	Open Space (single dwelling units further to the north)
EAST:	Open Space (Residential further to the south), RS-1-14	Open Space (single dwelling units further to the north)
WEST:	Open Space, RS-1-14	Open Space
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 4, 2019, the Rancho Peñasquitos Planning Board voted 13-0-0 to recommend approval of the proposed project without conditions.	

HEARING OFFICER RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 2349454
VERIZON CARMEL RESORT - PROJECT NO. 634099

WHEREAS, CITY OF SAN DIEGO, Owner and VERIZON WIRELESS (VAW) LLC, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (WCF, as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2349454), on portions of a 1.95-acre site;

WHEREAS, the project site is located at 10985 Avenida Maria in the RS-1-14 zone and the Rancho Peñasquitos Community Planning Area;

WHEREAS, the project site is legally described as Portion of Section 4, Township 14 South, Range 2 West, San Bernardino Meridian in the City of San Diego, County of San Diego, State of California, according to official plat thereof;

WHEREAS, on September 27, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on November 6, 2019, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2349454 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2349454:

A. Conditional Use Permit [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed project will remove and replace two antennas, relocate two existing antennas, and add one surge protector, on an existing 25-foot-tall faux pine tree. The faux tree will also be re-branched, along with ancillary work. The project site is located on Public Utilities Department property at 10985 Avenida Maria in the RS-1-14 zone within the Rancho Peñasquitos Community Plan.

The Rancho Peñasquitos Community Plan does not address wireless communication facilities as a specific land use; however, Policy UD-A.15 of the Urban Design section of the City of San Diego's General Plan does address wireless facilities. The General Plan states that wireless facilities should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. In proposing the continued use of an existing faux tree that integrates into an existing landscape setting, the proposed project meets the intent of Policy UD-A.15.

The WCF will be installed according to standards found both in the WCF Regulations and the Wireless Guidelines; therefore, the Verizon Carmel Resort project will not adversely affect the Rancho Peñasquitos Community Plan or the General Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project was determined to be exempt from CEQA pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

In addition, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. To ensure that the FCC standards are being met, a cumulative RF study demonstrating compliance with the applicable FCC regulations has been collected.

Therefore, based on the above, the project would not result in any significant health, safety, or welfare risks to the surrounding area within matters of the City's jurisdiction.

c. The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code.

The proposed project will remove and replace two antennas, relocate two existing antennas, and add one surge protector, on an existing 25-foot-tall faux pine tree. The faux tree will also be re-branched, along with ancillary work. The project site is located on Public Utilities Department property at 10985 Avenida Maria in the RS-1-14 zone within the Rancho Peñasquitos Community Plan.

WCFs are allowed in the RS-1-14 zone on sites with non-residential uses with a Conditional Use Permit. The existing facility was first approved by the Hearing Officer on March 4, 2009. Based on its design, the project complies with the Wireless Ordinance (SDMC 141.0420). There will be no perceivable change in appearance except to repair/repaint any existing concealment elements. The modifications will enable Verizon to continue to serve the surrounding area. The project complies with the development regulations of the RS-1-14 zone and the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project site is located on Public Utilities Department property at 10985 Avenida Maria in the RS-1-14 zone within the Rancho Peñasquitos Community Plan. The proposed project will remove and replace two antennas, relocate two existing antennas, and add one surge protector, on an existing 25-foot-tall faux pine tree. The faux tree will also be re-branched, along with ancillary work.

All the existing and proposed antennas and equipment will be integrated into a faux pine tree, concealed within updated branches that will improve the look of the tree. Existing landscaping and topography serve to further blend the faux tree into the setting. The project allows Verizon to continue serving the surrounding area. The Verizon facility has existed at this location for many years with no known complaints. Existing and proposed WCF components will be hidden from view. This facility is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2349454 is hereby GRANTED to the referenced

ATTACHMENT 5

Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2349454, a copy of which is attached hereto and made a part hereof.

Travis Cleveland
Development Project Manager
Development Services

Adopted on: November 6, 2019

IO#: 11003679

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT 2349454
VERIZON CARMEL RESORT PROJECT NO. 634099
HEARING OFFICER

This Conditional Use Permit No. 2349454 is granted by the Hearing Officer of the City of San Diego to CITY OF SAN DIEGO, Owner, and VERIZON WIRELESS (VAW) LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0305 and 141.0420. The 1.95-acre site is located at located 10985 Avenida Maria in the RS-1-14 zone and the Rancho Peñasquitos Community Planning Area. The project site is legally described as: Portion of Section 4, Township 14 South, Range 2 West, San Bernardino Meridian in the City of San Diego, County of San Diego, State of California, according to official plat thereof;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 6, 2019, on file in the Development Services Department.

The project shall include:

- a. Six antennas on an existing faux pine tree (three measuring 72.9" x 11.9" x 7.1" , two 72" x 11.9" x 7.1", and one measuring 48.8" x 6.1" x 3.2", six Remote Radio Units (RRUs), three raycaps, and associated work, including a re-branching of the faux tree;
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has

been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 21, 2022.

2. The above utilization date notwithstanding, the granting of this discretionary permit does not entitle the continued operation of the existing, expired facility. Within 60 days of permit approval, applications must be made for all required construction permits. Within 90 days of application, all required construction permits must be issued. Within 90 days of permit issuance, final inspection must be obtained.

3. This permit and corresponding use of this site shall expire **November 21, 2029**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.

4. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.

5. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.

6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

10. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

11. The improvements permitted by this project require construction permits. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

13. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

14. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

LANDSCAPE REQUIREMENTS:

15. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy

PLANNING/DESIGN REQUIREMENTS:

16. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

17. No overhead cabling is permitted.

18. The WCF shall conform to the approved construction plans.

19. Photo simulations shall be printed in color on the construction plans.

20. The City may require the Owner/Permittee to provide a topographical survey conforming to the provisions of the SDMC may be required if the City determines during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

21. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

22. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.

23. Use of or replacement of any building façade or mechanical screen with RF-transparent material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All RF-transparent material shall be painted and textured to match the original building and adjacent building surfaces.

24. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.

25. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise

ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

26. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

27. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

28. All proposed hand-holes shall be covered with bark material to match the monopine trunk to the satisfaction of the Development Services Department.

29. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. "Doghouse" cable housings are not permitted.

30. All branches at the antenna level shall extend a minimum of 24-inches beyond the entire vertical face of the proposed antennas to the satisfaction of the Development Services Department.

31. Starting branch height shall be no higher than 10-feet, as illustrated on the stamped, approved Exhibit "A."

32. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.

33. RF socks fully covering the front and back of the antennas (and any other components) shall be used.

34. The applicant shall provide color samples of monopine branches and bark prior to Building Permit issuance. This is to ensure that the proposed components integrate with the surrounding landscape. Staff will pre-approve the color sample prior to Building Permit issuance. The exact samples shall be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built faux tree.

35. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5407 to

schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.

- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 6, 2019 and [Approved Resolution Number].

DRAFT

Permit Type/PTS Approval No.: Conditional Use Permit 2349454
Date of Approval: November 6, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Travis Cleveland
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CITY OF SAN DIEGO
Owner/Permittee

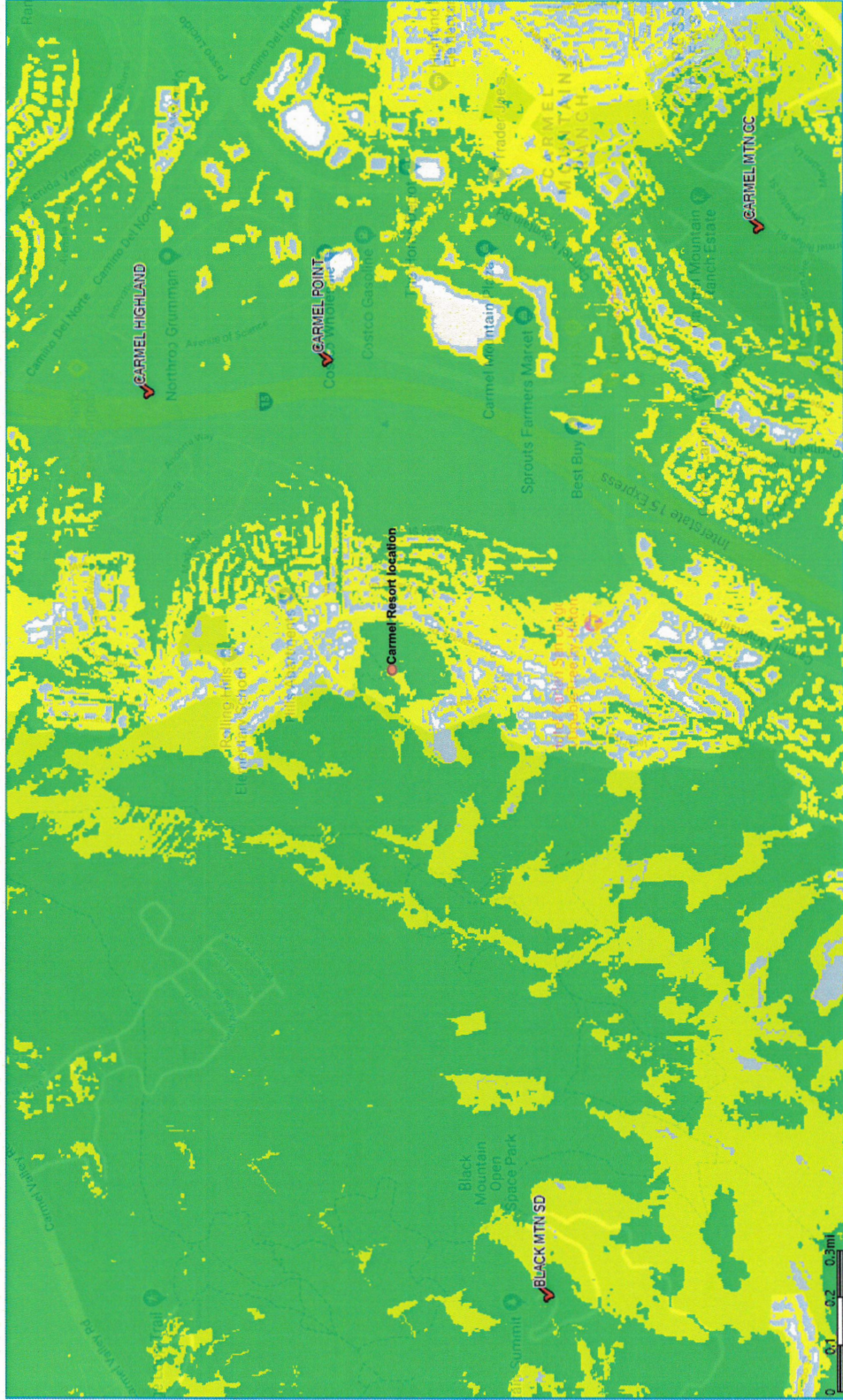
By _____
CYBELE THOMPSON
Director of Real Estate Assets

VERIZON WIRELESS (VAW) LLC
Permittee

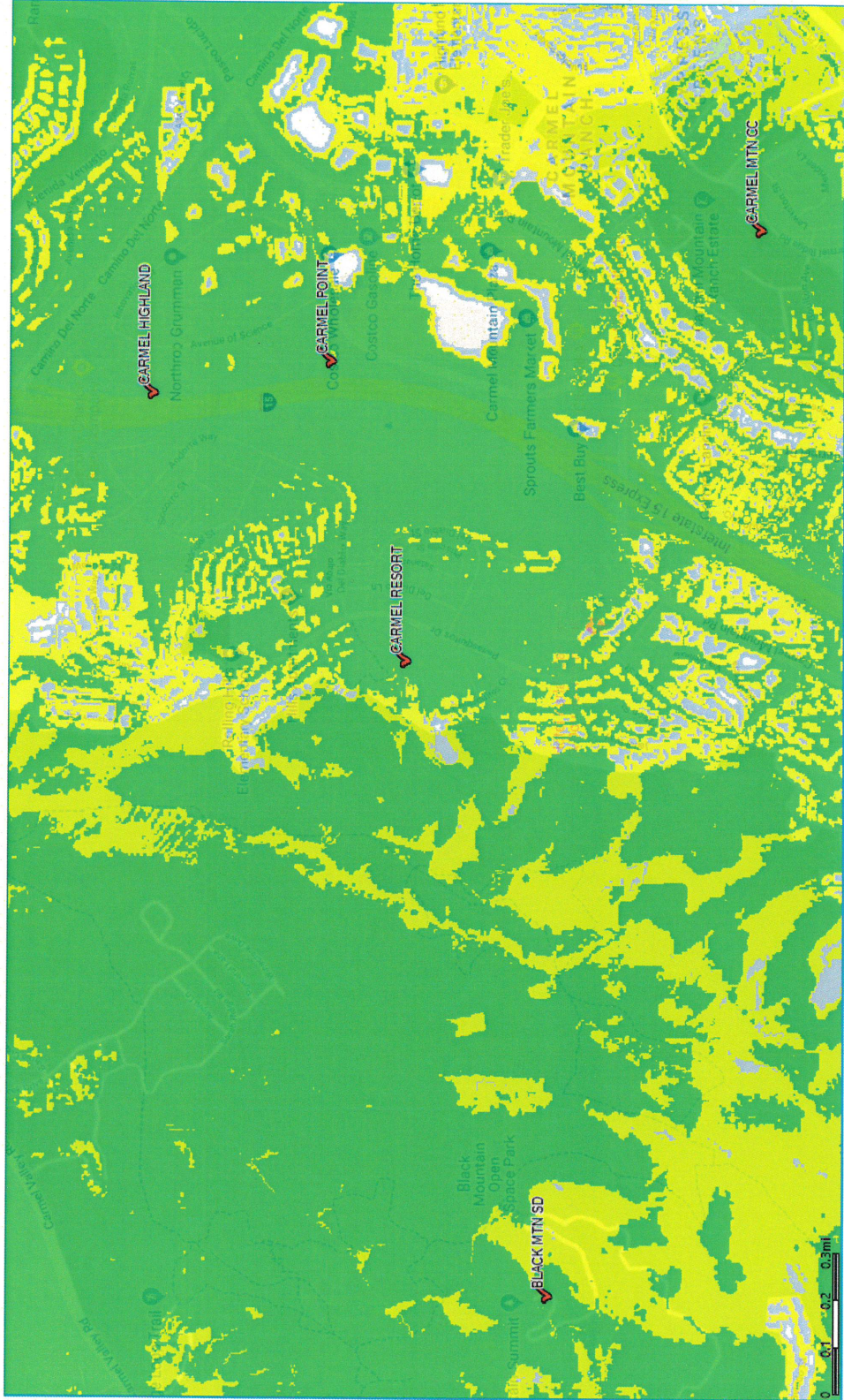
By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Coverage without Carmel Resort



Coverage with Carmel Resort



- GOOD COVERAGE
- FAIR COVERAGE
- POOR COVERAGE



NOTICE OF EXEMPTION

ATTACHMENT 8

(Check one or both)

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name/Number: Verizon Carmel Resort /634099

SCH No.: N/A

Project Location-Specific: 10985 Avenida Maria, San Diego CA 92129

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A Conditional Use Permit (CUP) to remove and replace two antennas, relocate two antennas, add three Remote Radio Units (RRUs), add one raycap, and rebranch an existing faux pine tree at a previously-permitted Wireless Communication Facility (WCF). The project is located on City of San Diego Public Utilities Department property at 10985 Avenida Maria in the RS-1-14 zone and City Council District 5.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Joann Stoddard, Verizon Wireless, 2851 Camino del Rio South, Ste. 200, San Diego, CA 92108, 619-857-7277

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: Section 15302 (Replacement or Reconstruction)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction) which allows for the replacement of existing utility systems and or facilities involving negligible or no expansion of capacity. Since the project would only relocate and replace WCF equipment, without expanding capacity, it was determined that the replacement exemption was appropriate. Additionally, the project would occur on a site devoid of sensitive resources and the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: J. Szymanski

Telephone: 619-446-5324

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

10/24/19

Date

Courtney Adams for JS Senior Planner
Signature/Title

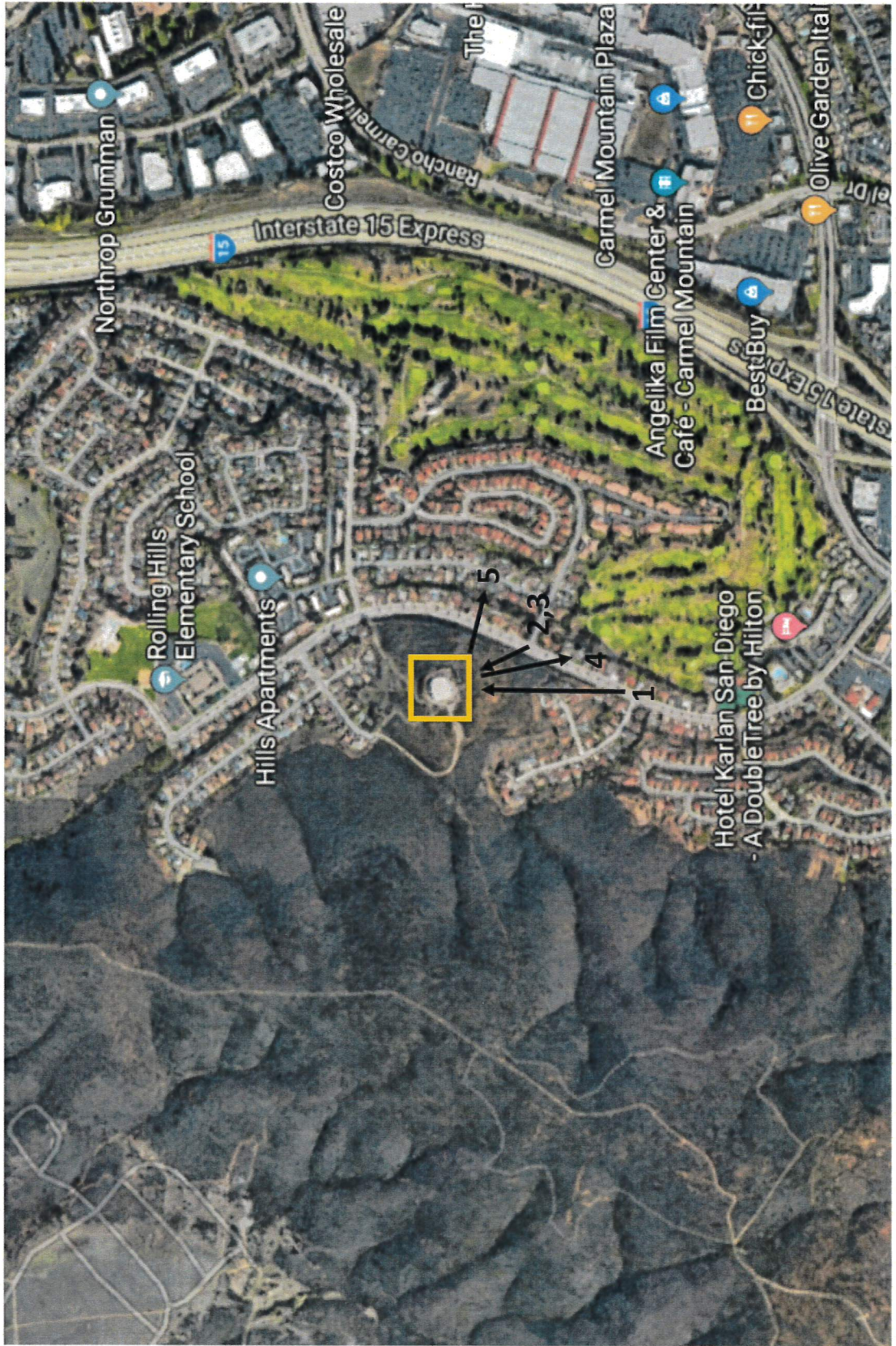
Check One:

Signed By Lead Agency

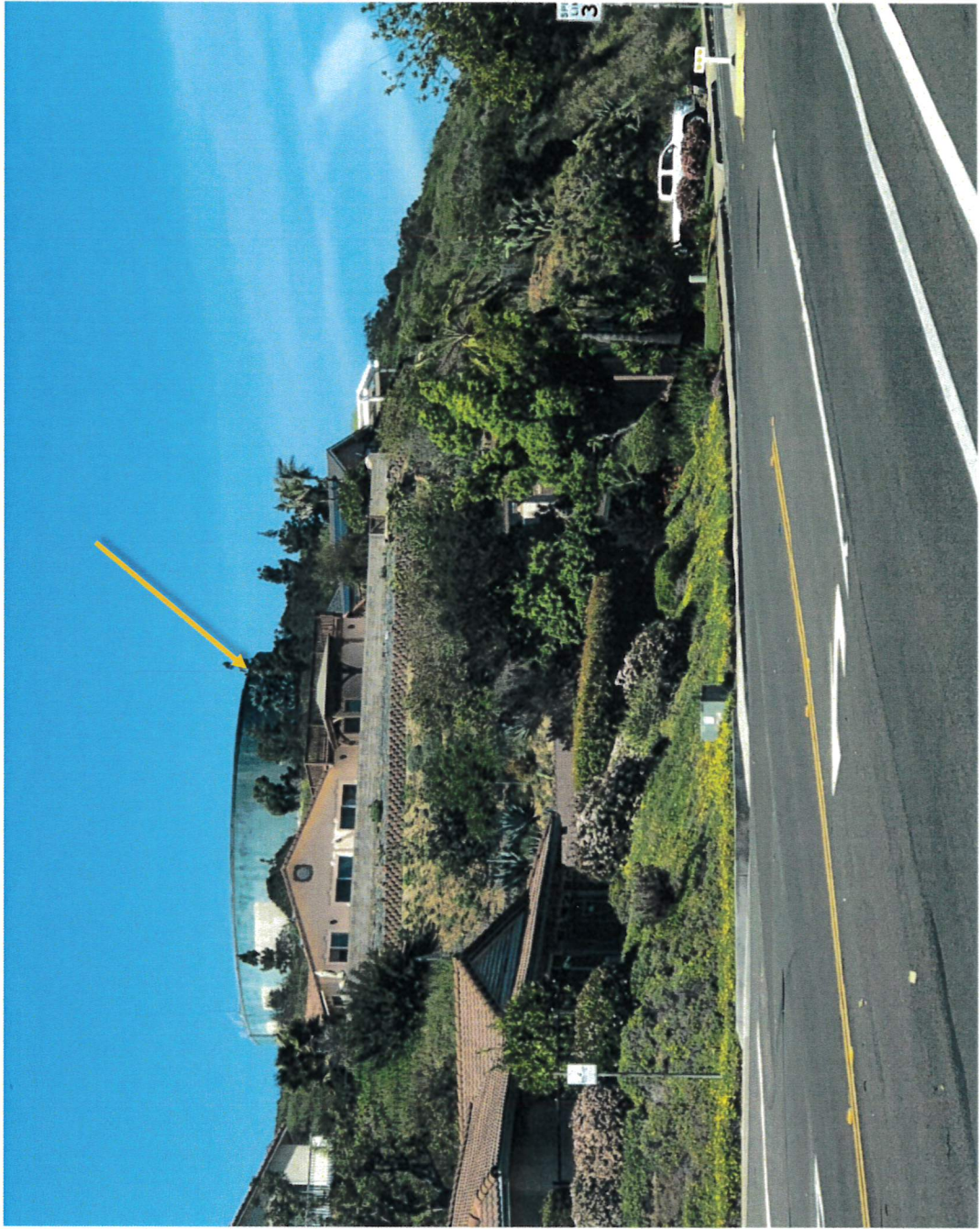
Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Verizon Wireless— Carmel Resort— Photo Survey



1. View looking North toward tree from Penasquitos Drive



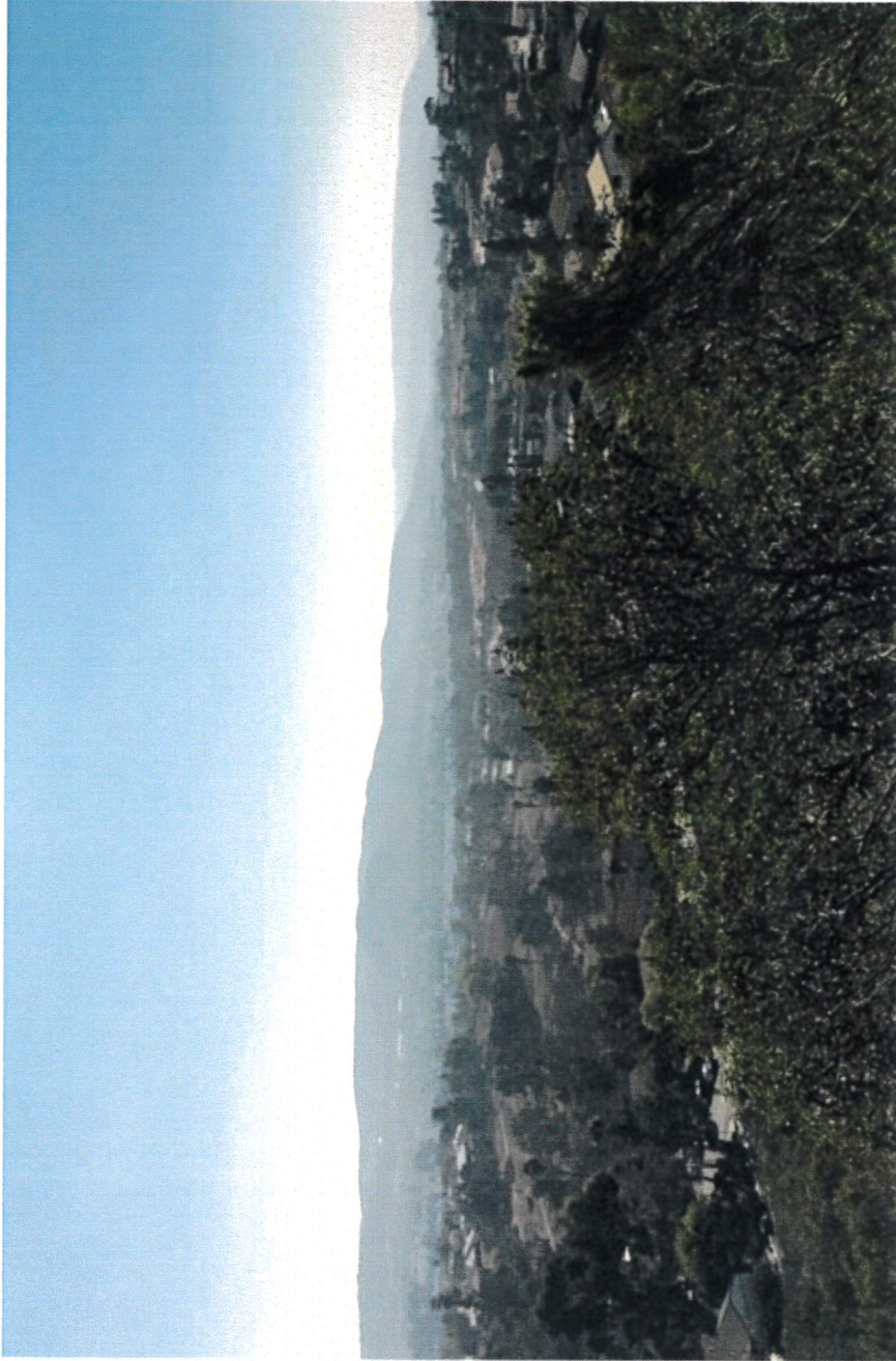
2.View looking West towards tree from corner of Del Diablo Street



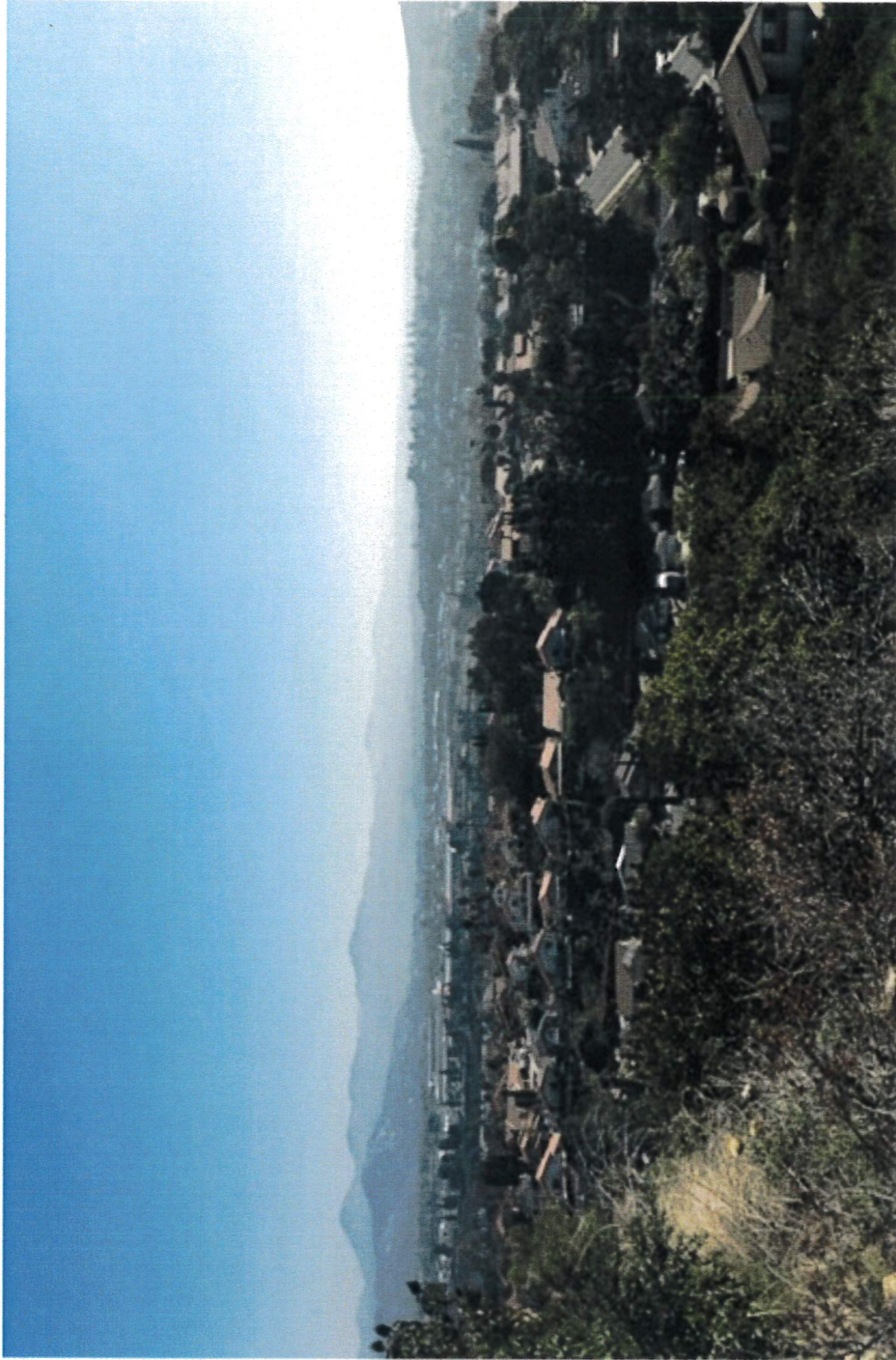
3. View looking West (zoomed) towards tree from corner of Del Diablo St



4. View looking South East from base of tree



5 View looking East from base of tree



View of equipment enclosure and tree along with other trees



View of tree from water tank property—branches to be replaced





City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 1

Project Name: Verizon Carmel Resort CUP	Project Number: 634099	Distribution Date: 6/14/2019	
Project Scope/Location: Conditional Use Permit to remove and replace two antennas, relocate two antennas, add three RRUs, add one raycap, and rebranch an existing faux pine tree at a previously-permitted site. Located on Public Utilities Department property at 10985 Avenida Maria in the RS-1-14 zone and City Council District 5. Other overlay zones may apply to the property but they are not relevant to Wireless Communication Facilities.			
Applicant Name: Paul Slotemaker, TAEC for Verizon Wireless		Applicant Phone Number: 503-421-2258	
Project Manager: Travis Cleveland	Phone Number: (619) 446-5407	Fax Number: (619) 321-3200	E-mail Address: tcleveland@sandiego.gov
Project Issues (To be completed by Community Planning Committee for initial review): Project was studied by the Wireless committee and the full Rancho Peñasquitos Planning Board with no objections and approved as submitted.			
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Verizon Carmel Resort CUP		Project Number: 634099	Distribution Date: 6/14/2019
Project Scope/Location: Conditional Use Permit to remove and replace two antennas, relocate two antennas, add three RRUs, add one raycap, and rebranch an existing faux pine tree at a previously-permitted site. Located on Public Utilities Department property at 10985 Avenida Maria in the RS-1-14 zone and City Council District 5. Other overlay zones may apply to the property but they are not relevant to Wireless Communication Facilities.			
Applicant Name: Paul Slotemaker, TAEC for Verizon Wireless		Applicant Phone Number: 503-421-2258	
Project Manager: Travis Cleveland	Phone Number: (619) 446-5407	Fax Number: (619) 321-3200	E-mail Address: tcleveland@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 13	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes 13	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes 13	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Deny	Members Yes 13	Members No 0	Members Abstain 0
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: Jon Becker,		TITLE: Chair	
SIGNATURE: Digitally signed by Jon Becker DN: C=US, E=jbecker@projectdesign.com, O=Project Design Consultants, CN=Jon Becker		DATE: 9/4/2019	
Attach Addition Date: 2019.09.24 12:19:55-07'00'		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
		Clear Forms	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



Real Estate
Assets
City Consent Application

For installation / modification of Telecommunication antenna facility on City owned property

3/20/2019

Date

The City of San Diego
Real Estate Assets Department
1200 Third Avenue, Suite 1700
San Diego, California 92101

RE: Site Name: Carmel Resort (Los Penasquitos Water Tank) Project # _____
Site Address: 10985 Avenida Maria, San Diego (the "Property")
Agreement: Agreement dated May 4, 2011 (the "agreement") between The City of San Diego ("City") and Verizon Wireless (VAW) LLC, ("Lessee" or "Permittee").

Verizon Wireless is seeking Consent from the City to perform the following to the above referenced site:

- Modify, upgrade or changes to existing equipment or Site as describe in the attached plans / photos.
- Installation of a New Wireless Communication Facility on City owned property.
- Apply for new Permit/New Agreement on existing facility - **NO** modifications or changes to Existing equipment or site.

Describe proposed project below:


Description of Proposed Installations / Modifications

- Install (2) new antennas (1 per sector) to be mounted on dual mount
 - Relocate (2) existing antennas onto dual mount with new antennas
 - Install (3) new RRUs to replace (2) existing RRUs
 - Install (1) new raycap near antennas
 - Remove existing LTE 6102 cabinet and SBE battery cabinet
 - Install new Charles cabinet with New 6601
- Install additional tree branches onto monopine

Pursuant to Improvements and Alterations, section of the above referenced agreement, "Lessee / Permittee shall not construct any improvements, structures or installations of the Premises or make any alterations to the Premises (with the exception of equipment replacement or repairs) without City's prior written approval."

In order to comply with such requirements, Verizon Wireless would like to request City's consent to submit to Development Services Department for review of the proposed items above.

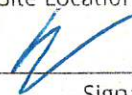
Sincerely, Jo Ann Stoddard, agent for Verizon Wireless

Applicant Signature: 

A one-time, **non-refundable Processing Fee** (\$4,920 for long term agreements - \$980 for Short term or ROE Permits) payable to City Treasures, MUST be paid at the time of application. This fee applies even if the agreement is never executed.

City PUD Department has provided its consent and approval to allow applicant to submit application for Required Permits needed for the proposed items listed herein, **with the understanding that the Department will be allowed to review the improvement plans prior to any permits being issued** and that a pre-construction meeting will be conducted with staff before any work begins, if required.

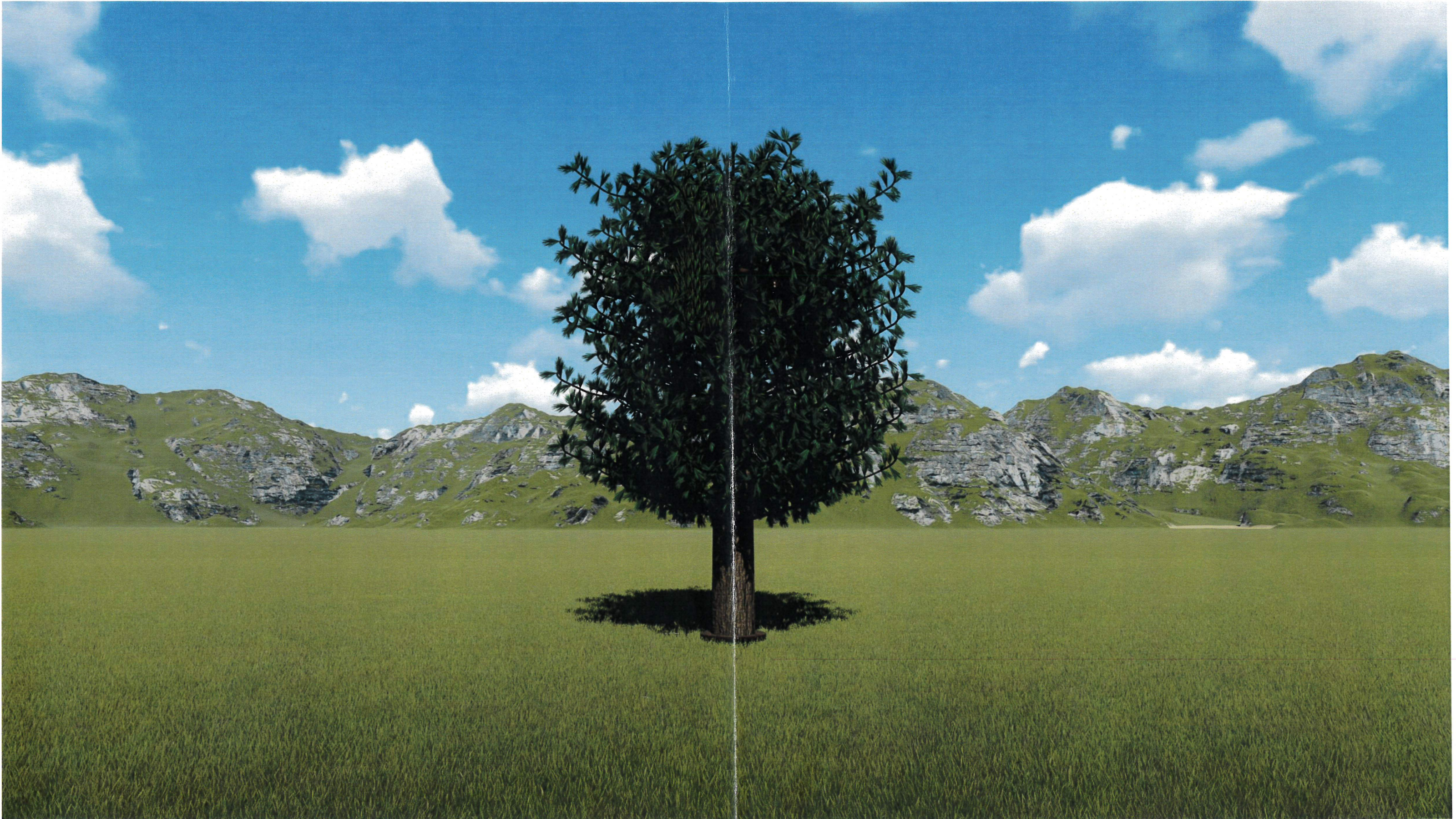
3-20-19 Wilson Lau, Associate Eng. 
Date Print Name & Title Signature

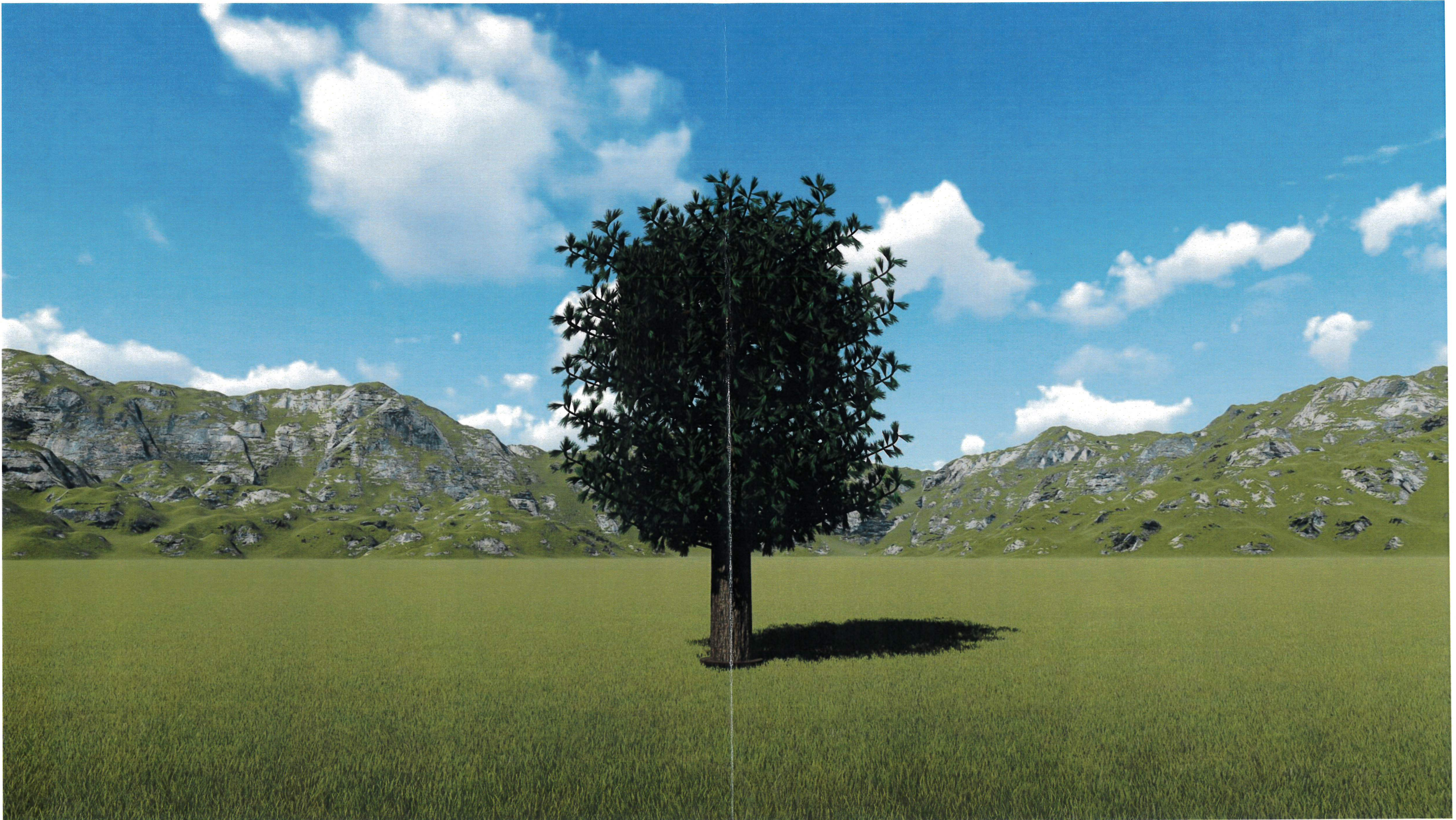
City of San Diego, acknowledgement and consent for Penasquitos Reservoir - 10985 Avenida Maria
3/20/19 Cybele L. Thompson, Director READ 
Date Print Name & Title Site Location Signature

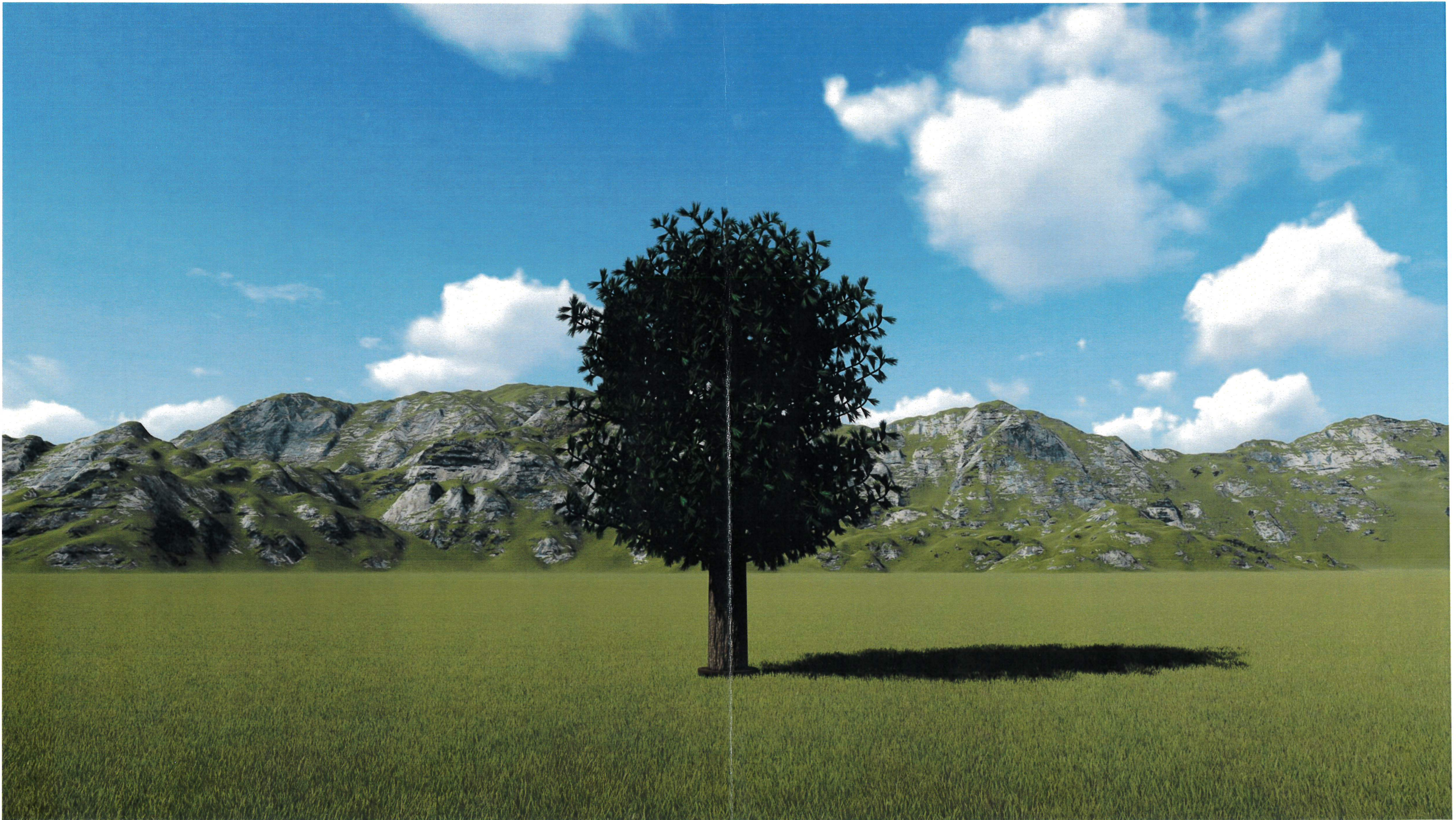
For READ ONLY
 Approved and Stamped plans received and attached
 Scan as Amendment to Agreement when executed
 Processing fee received

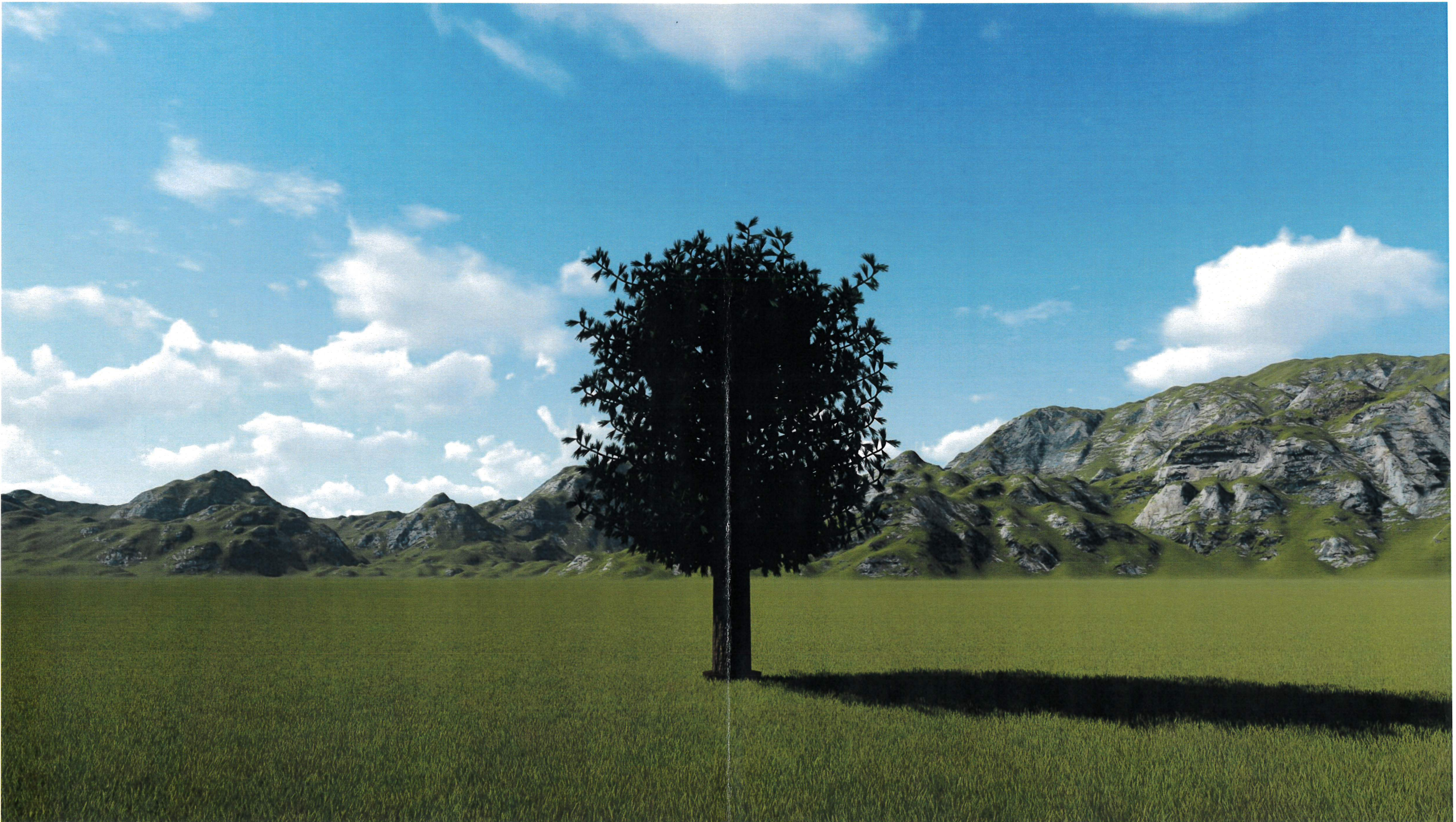


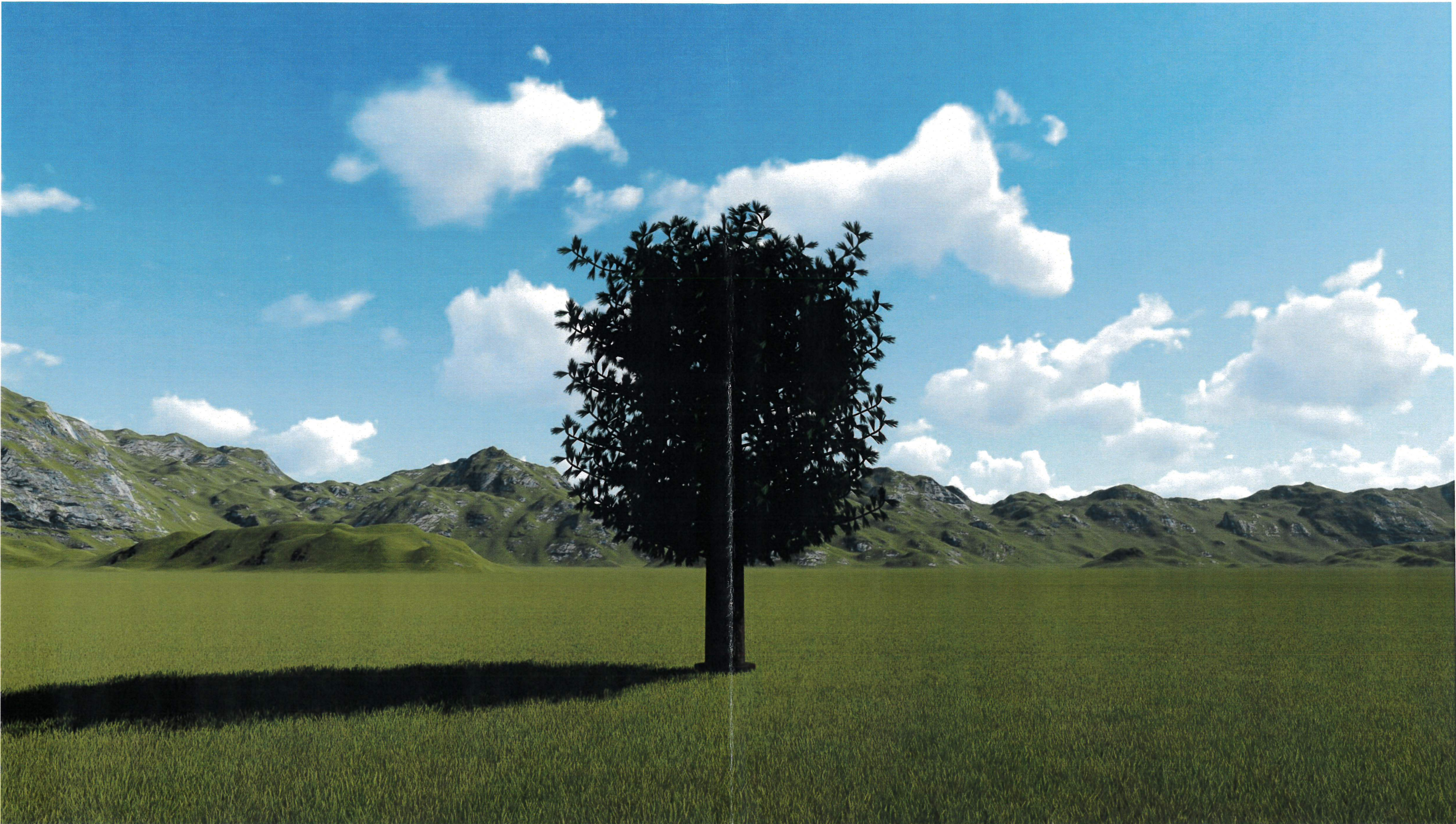
Real Estate Assets

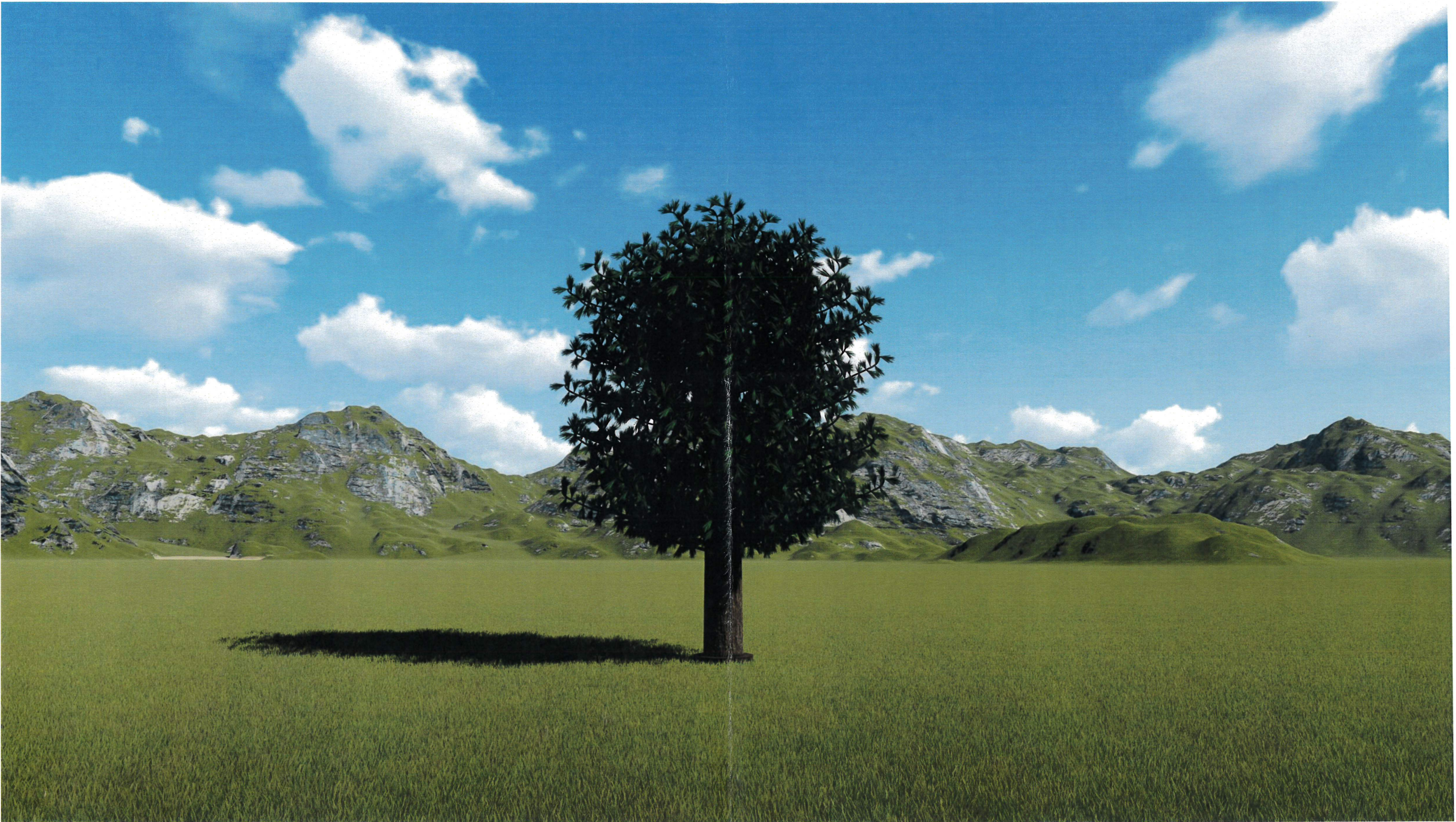


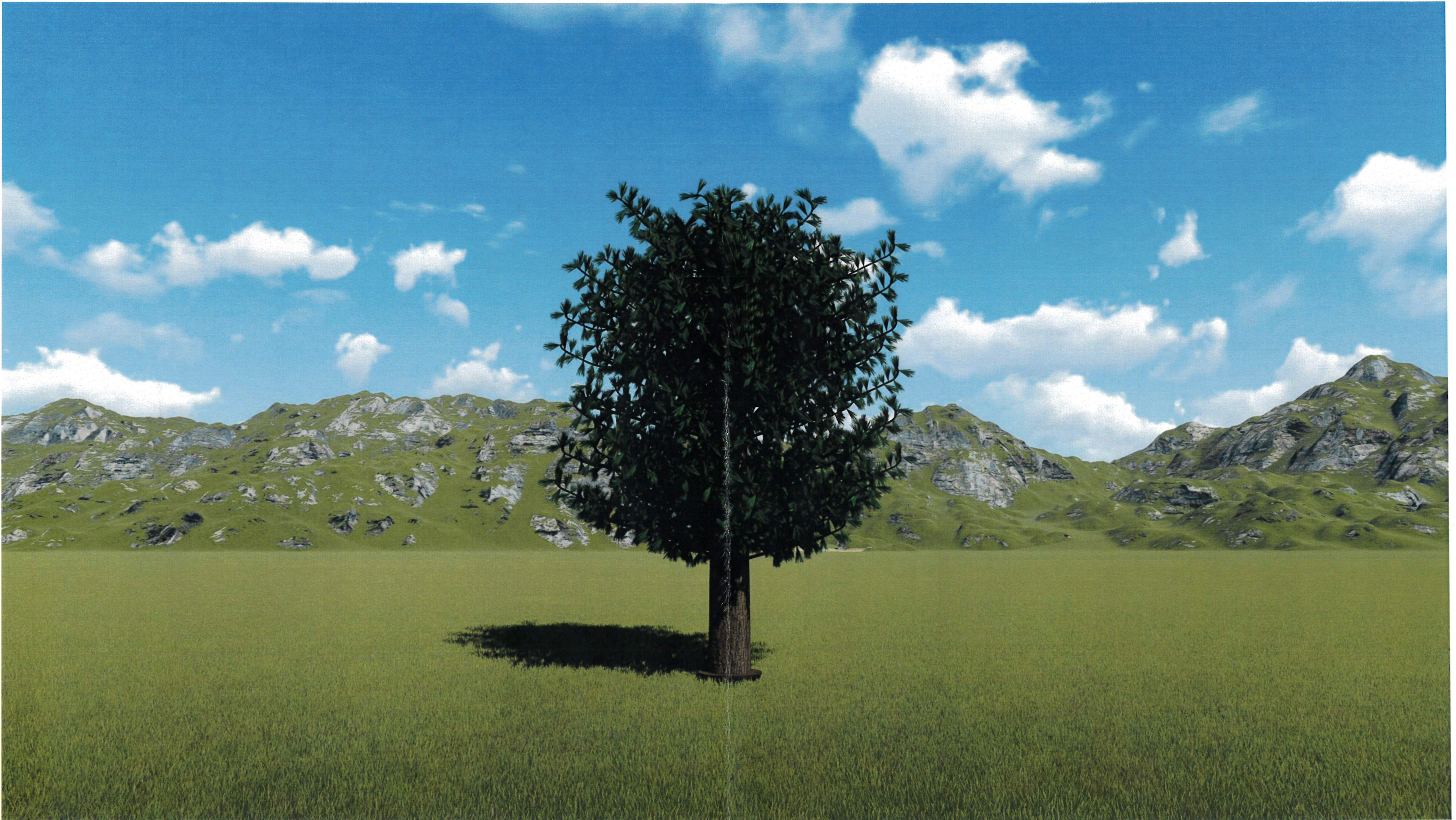














PROPRIETARY INFORMATION
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PREPARED FOR



15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA	02/20/18
90% CDS	DATE
JEFFREY ROME	05/17/18
100% CDS	DATE
ROBIN NELSON	07/19/18
100% CDS WITH STRUCTURALS	DATE

SITE NAME

**CARMEL RESORT (AWS-3
 850 LTE ADD)**

10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18	PRELIM CDS (P1-B1)
05/17/18	100% CD'S (P1-B2)
06/25/18	REV. 100% CD'S (P1-B3)
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05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

TITLE SHEET

T-1



**CARMEL RESORT (AWS-3/850 LTE ADD)
 10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129**

SPECIAL INSPECTIONS

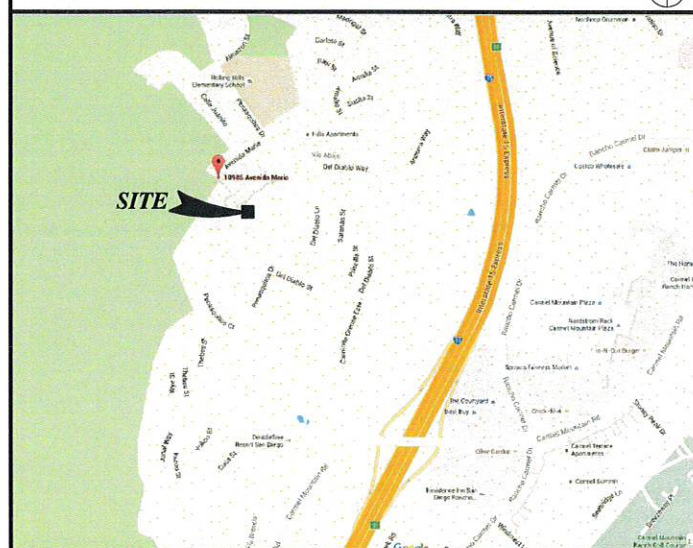
NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD:
 BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HERIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL AND TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER:
 BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS, YOU AGREE TO COMPLY WITH THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL AND TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

- | | |
|---|---|
| 1 CONCRETE | 13.1 VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT |
| 2 BOLTS INSTALLED IN CONCRETE | 13.2 VERIFY THAT FOUNDATION EXCAVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA |
| 3 CONCRETE MOMENT-RESISTING SPACE FRAME | 13.3 PROVIDE SOIL COMPACTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES |
| 4 REINFORCING STEEL AND PRESTRESSING STEEL | 13.4 PROVIDE SOIL EXPANSION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, ON-GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE |
| 5.1 ALL STRUCTURAL WELDING | 14 SMOKE CONTROL SYSTEM |
| 5.2 WELD TESTING DUCTILE MOMENT-RESISTING STEEL FRAME | 15 SPECIAL CASES (DESCRIBE) |
| 5.3 WELDING REINFORCING STEEL | 16 OFF-SITE FABRICATION OF BUILDING COMPONENTS |
| 6 HIGH-STRENGTH BOLTING | 17 OTHER SPECIAL INSPECTIONS AS REQUIRED BY DESIGNER |
| 7 STRUCTURAL MASONRY | 18 NONE |
| 8 REINFORCED GYPSUM CONCRETE | |
| 9 INSULATING CONCRETE FILL | |
| 10 SPRAY-APPLIED FIREPROOFING | |
| 11 DEEP FOUNDATIONS (PILING, DRILLED & CAISSONS) | |
| 12 SHOTCRETE | |

NO.	DESCRIPTION OF TYPE OF INSPECTION REQUIRED, LOCATION, REMARKS.
17	POST INSTALLED ANCHORS - HILTI KWIK BOLT TZ - ESR-1917 - DETAIL 1, SHEET 5.

VICINITY MAP



CONSULTANT TEAM

CLIENTS REPRESENTATIVE:

TECHNOLOGY ASSOCIATES EC INC.
 2851 CAMINO DEL RIO SOUTH, SUITE 200
 SAN DIEGO, CALIFORNIA 92108
PHONE: (619) 857-7277
CONTACT: JO ANN STODDARD

ARCHITECT:

JEFFREY ROME & ASSOCIATES
 131 INNOVATION DRIVE
 SUITE: 100
 IRVINE, CALIFORNIA 92617
PHONE: (949) 760-3929
FAX: (949) 760-3931
CONTACT: JEFFREY ROME

STRUCTURAL ENGINEER:

WESTERN UTILITY/TELECOM, INC.
 5032 SALEM-DALLAS HWY,
 SALEM, OREGON 97304
PHONE: (503) 587-0101
FAX: (503) 316-1864
CONTACT: ADRIAN McJUNKIN

STRUCTURAL ENGINEER (TREE BRANCHING):

CELL TREES, INC.
 5401 S. CANADA PLACE
 TUCSON, ARIZONA 85706
PHONE: (520) 663-1330
CONTACT: TBD

LEGAL DESCRIPTION

PORTION OF SECTION 4, TOWNSHIP 14 SOUTH, RANGE 2 WEST, SAN BERNADINO MERIDIAN IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO OFFICIAL PLAT THEREOF.

DEVELOPMENT SUMMARY

APPLICANT:

VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618

LAND OWNER:

CITY OF SAN DIEGO
 ENZA CHARLES
 (619) 236-6052
 1200 THIRD AVENUE, SUITE 1700
 SAN DIEGO, CALIFORNIA 92101

EXISTING USE:

COMMERCIAL UNMANNED WIRELESS FACILITY

PROPOSED USE:

COMMERCIAL UNMANNED WIRELESS FACILITY

OTHER ON-SITE TELECOM FACILITIES:

NO

ASSESSORS PARCEL NUMBER:

313-810-08

EXISTING ZONING:

RS-1-14

PROPOSED PROJECT AREA:

NO CHANGE TO (E) LEASE AREA S.F.

EXISTING TYPE OF CONSTRUCTION:

V-B

PROPOSED TYPE OF CONSTRUCTION:

V-B

EXISTING OCCUPANCY:

B/U

PROPOSED OCCUPANCY:

B/U

JURISDICTION:

CITY OF SAN DIEGO

LAND USE APPROVAL:

CONDITIONAL USE PERMIT

CONSTRUCTION VALUATION:

\$185,200

LATITUDE:

32.985614

LONGITUDE:

-117.092503

PROJECT DESCRIPTION

VERIZON WIRELESS PROPOSES TO MODIFY AN UNOCCUPIED TELECOMMUNICATIONS FACILITY.

- INSTALL (N) (2) ANTENNAS TO REPLACE (E) (2) ANTENNAS MOUNTED ON (N) DUAL MOUNT.
- RELOCATE (E) (2) ANTENNAS TO (N) DUAL MOUNT.
- REMOVE (E) (2) ANTENNAS.
- INSTALL (N) (3) RRUS TO REPLACE (E) (2) RRUS NEAR ANTENNAS.
- INSTALL (N) (1) RAYCAP NEAR ANTENNAS.
- REMOVE EXISTING LTE 6102 CABINET AND SBE BATTERY CABINET.
- INSTALL (N) (1) CHARLES CABINET WITH (N) 6601.
- INSTALL (N) ADDITIONAL TREE BRANCHES ON (E) MONOPINE.

TOTALS AT THE END OF THE MODIFICATION:

- (6) VZW ANTENNAS.
- (6) VZW RRUS.
- (2) VZW RAYCAPS.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

SHEET INDEX

T-1 TITLE SHEET

- A-0 SITE PLAN
- A-1 ENLARGED SITE PLAN
- A-1.1 EXISTING AND PROPOSED EQUIPMENT PLAN
- A-2 EXISTING AND PROPOSED SOUTH ELEVATION
- A-2.1 EXISTING AND PROPOSED EAST ELEVATION
- A-3 EXISTING AND PROPOSED ANTENNA PLAN
- A-3.1 EXISTING AND PROPOSED ANTENNA AND RRU SCHEDULE
- A-4 DETAILS
- A-4.1 DETAILS
- A-4.2 DETAILS
- A-5 EQUIPMENT CABINET DETAILS

- MP-1 TITLE SHEET
- MP-2 ELEVATION VIEW & NOTES
- MP-3 DETAILS
- MP-4 ANTENNA MOUNT DETAILS
- MP-5 FOUNDATION
- MP-6 BRANCH TABLES

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- CALIFORNIA FIRE CODE, 2016 EDITION
- CALIFORNIA BUILDING CODE, 2016 EDITION
- CALIFORNIA PLUMBING CODE, 2016 EDITION
- CALIFORNIA MECHANICAL CODE, 2016 EDITION
- CALIFORNIA ELECTRICAL CODE, 2016 EDITION
- CALIFORNIA GREEN BUILDING CODE, 2016 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

NOTES

THE PROPOSED WIRELESS FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCIES IN ACCORDANCE WITH THE TELECOMMUNICATIONS ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY THE STATE OR FEDERAL REGULATORY AGENCIES.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24"X36" FORMAT. IF THIS DRAWING SET IS NOT 24"X36", THIS SET IS NOT TO SCALE.

SITE PLAN KEYNOTES

- 1 (N) & (E) VZW ANTENNAS MOUNTED TO (E) MONOPINE; SEE SHEET A-1.
- 2 (E) VZW EQUIPMENT ENCLOSURE; SEE SHEET A-1.
- 3 (E) PROPERTY LINE.
- 4 (E) WATER TANK.
- 5 (E) RAW LAND HILLSIDE.
- 6 (E) OTHER CARRIER EQUIPMENT ENCLOSURE.
- 6A (E) OTHER CARRIER EQUIPMENT.
- 7 (E) CHAINLINK FENCE.
- 8 (E) ACCESS ROAD.
- 9 (E) 60'-0" RIGHT-OF-WAY ROAD AND PUBLIC UTILITY EASEMENT.
- 10 (E) SDG&E PAD MOUNT TRANSFORMER AND (E) VZW POWER POINT OF CONNECTION.
- 11 (E) VZW METER PEDESTAL AND STEP-UP TRANSFORMER ON A CONCRETE PAD; SEE SHEET E-1.
- 12 (E) VZW UNDERGROUND UTILITY ROUTE (TELCO & ELECTRICAL).

COAX SCHEDULE		
SECTOR	AZIMUTH	LENGTH
A	160°	110'
B	40°	110'

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

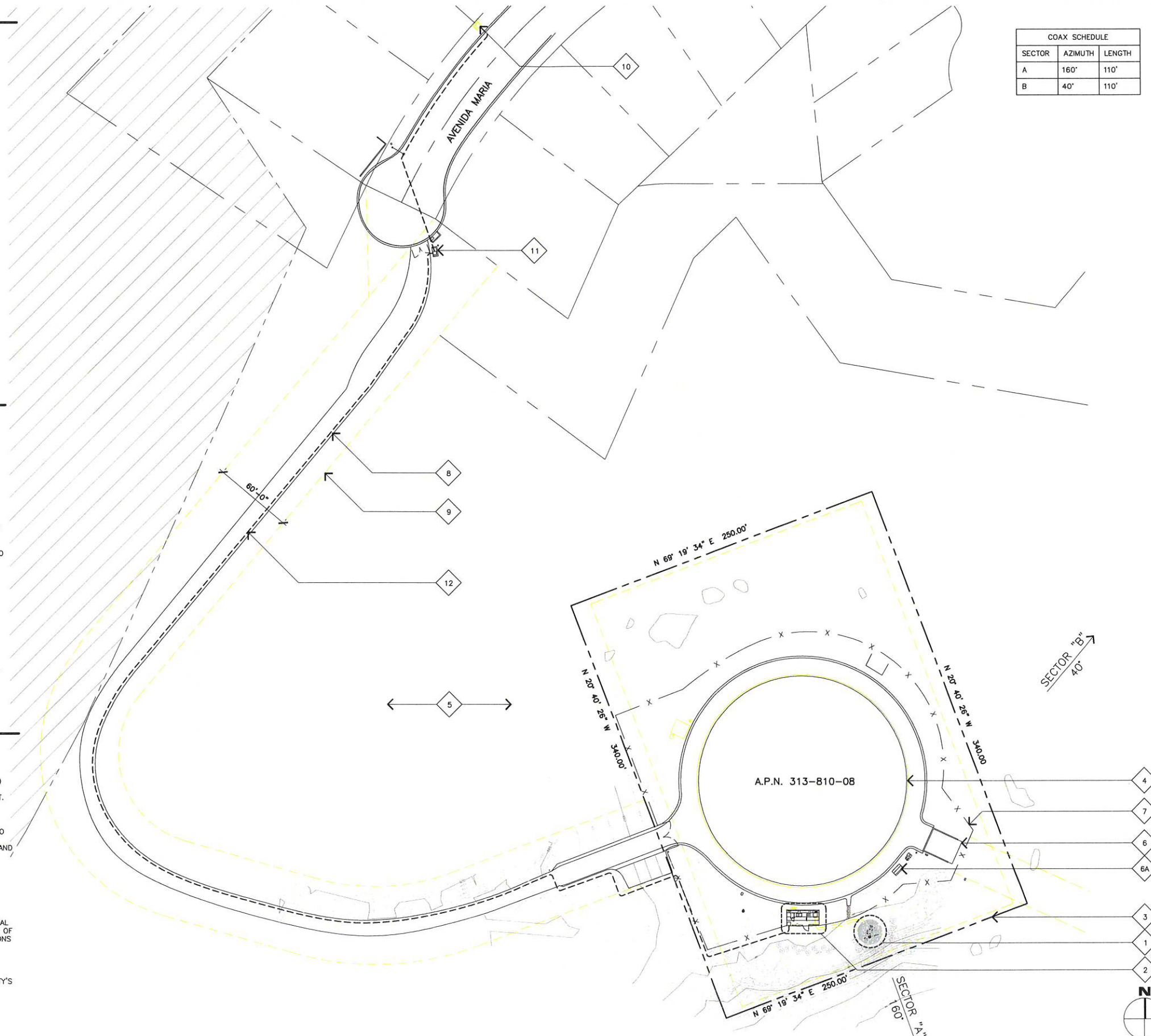
THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

GENERAL NOTES:

1. INTEGRATE ALL (N) INSTALLATIONS WITH (E) EQUIPMENT.
2. THE LOCATION OF THE (E) EQUIPMENT AVAILABILITY AND SPACE SHOULD BE VERIFIED BY THE GC BEFORE INSTALLATION.
3. (N) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.
4. NO EXISTING PARKING SPACES WILL BE USED OR REMOVED BY THIS PROJECT.
5. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
6. NOTE TO APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
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8. NO NEW BATTERIES ARE TO BE ADDED AS PART OF THIS PROJECT.
9. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.



SITE PLAN

SCALE:
1"=40'

1

Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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PREPARED FOR
verizon
 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA	02/20/18
90% CDS	DATE
JEFFREY ROME	05/17/18
100% CDS	DATE
ROBIN NELSON	07/19/18
100% CDS WITH STRUCTURALS	DATE

SITE NAME
**CARMEL RESORT (AWS-3
 850 LTE ADD)**
 10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18	PRELIM CDS (P1-B1)
05/17/18	100% CD'S (P1-B2)
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02/12/19	RE-BRANCH POLE (P1-B5)
05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE
SITE PLAN

A-0
 JRA JOB NUMBER: 170165

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PREPARED FOR



15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



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**CARMEL RESORT (AWS-3
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10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

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06/25/18	REV. 100% CD'S (P1-B3)
12/12/18	PLAN CHECK COMMENTS (P1-B4)
02/12/19	RE-BRANCH POLE (P1-B5)
05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

**EXISTING AND (N)
 EQUIPMENT PLAN**

A-1.1

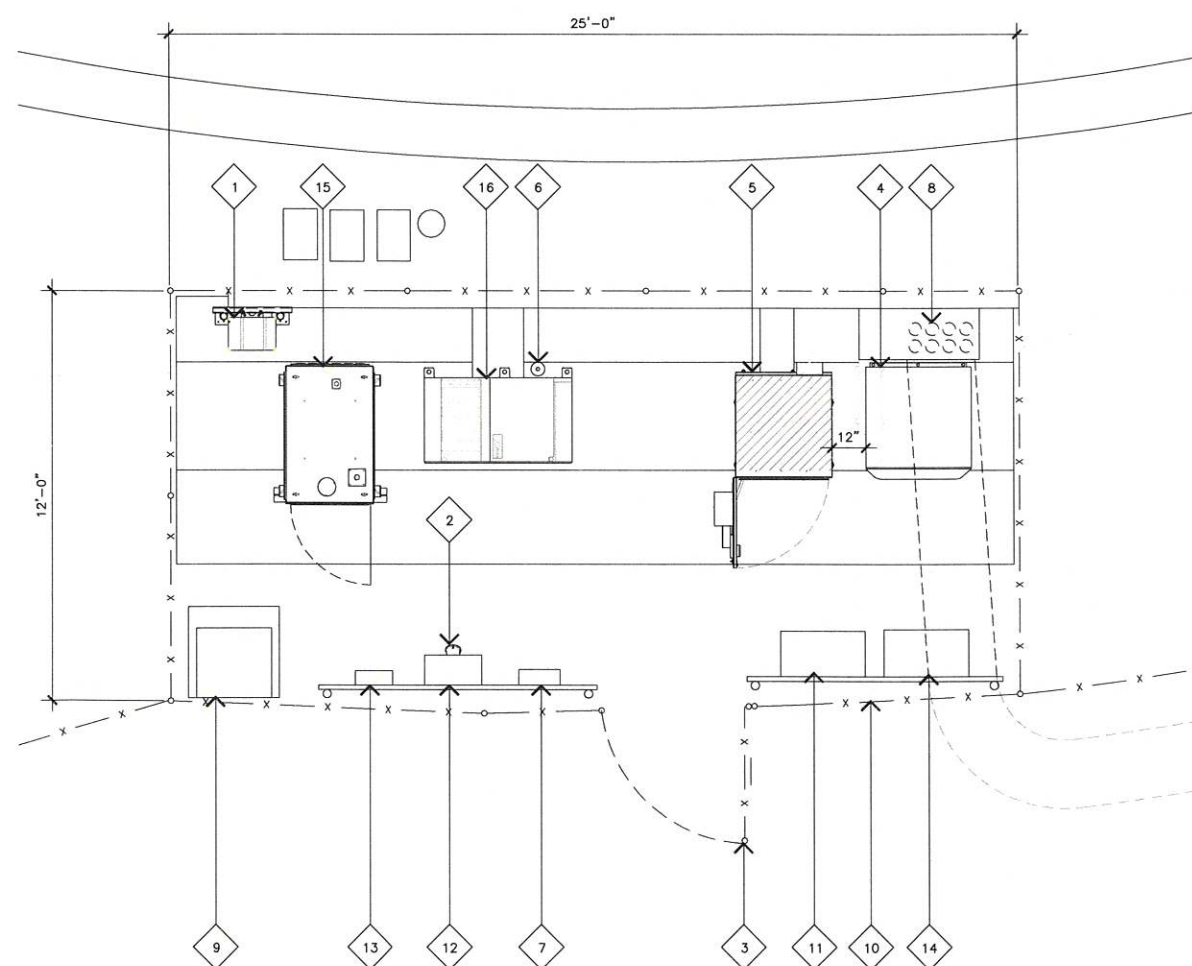
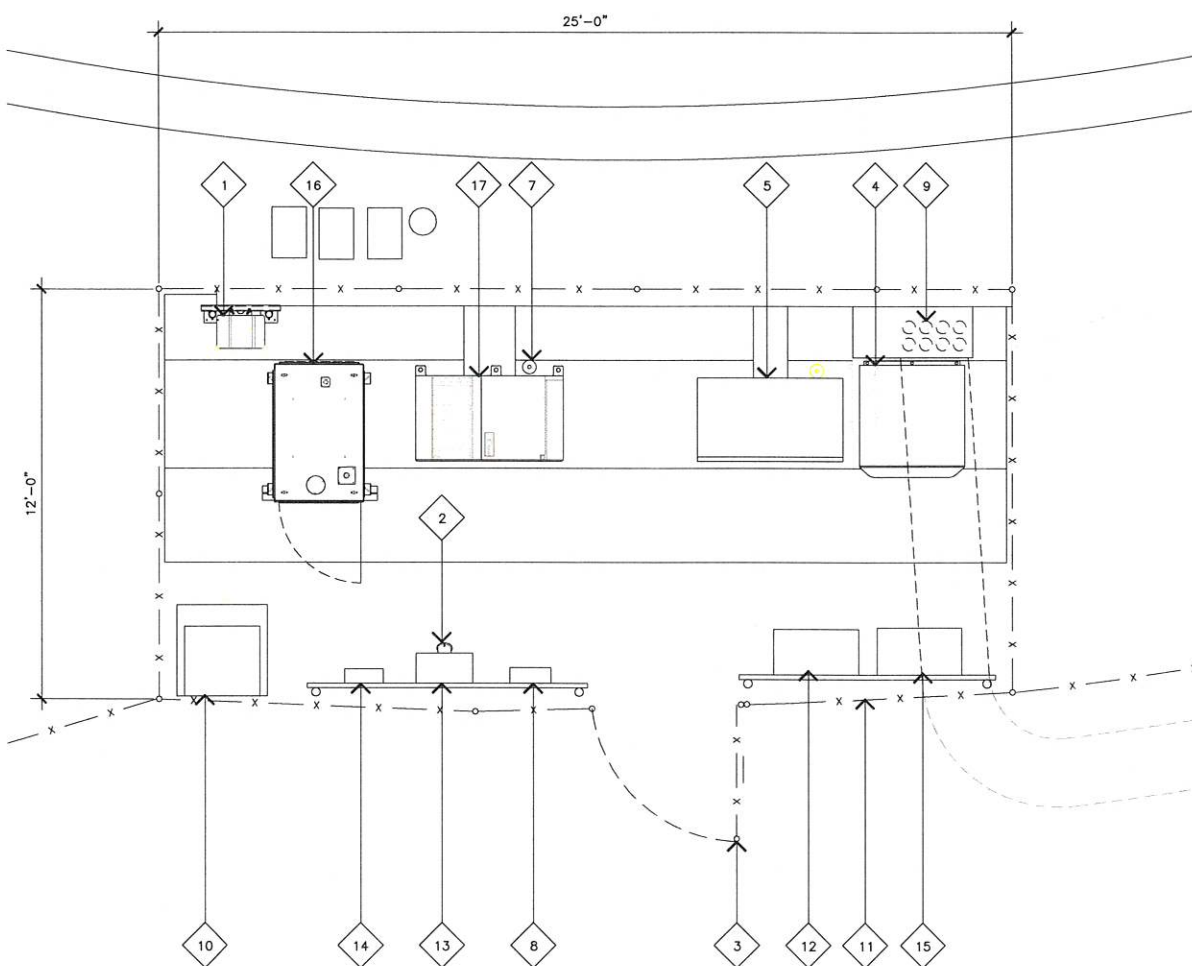
JRA JOB NUMBER: 170165

EQUIPMENT PLAN KEYNOTES

- 1 (E) VZW RAYCAP MOUNTED TO (E) UNISTRUT (1 TOTAL).
- 2 (E) VZW GENERATOR PLUG BELOW MANUEL TRANSFER SWITCH.
- 3 (E) VZW ACCESS GATE.
- 4 (E) 84" TALL VZW RBA BATTERY/POWER PLANT CABINET.
- 5 (E) VZW LTE 6102 CABINET TO BE REMOVED.
- 6 NOT USED.
- 7 (E) VZW GPS ANTENNA.
- 8 (E) VZW ELECTRICAL PANEL.
- 9 (E) VZW CONDUIT STUB-UPS.
- 10 (E) VZW ELECTRICAL TRANSFORMER.
- 11 (E) VZW CHAIN LINK FENCE EQUIPMENT ENCLOSURE.
- 12 (E) TELCO PANEL.
- 13 (E) VZW MANUEL TRANSFER SWITCH.
- 14 (E) VZW DISCONNECT.
- 15 (E) VZW FIBER CABINET.
- 16 (E) VERIZON 15KW DC POWER STAND-BY GENERATOR WITH 54 GALLON DIESEL FUEL TANK.
- 17 (E) CM01 CABINET.

EQUIPMENT PLAN KEYNOTES

- 1 (E) VZW RAYCAP MOUNTED TO (E) UNISTRUT (1 TOTAL).
- 2 (E) VZW GENERATOR PLUG BELOW MANUEL TRANSFER SWITCH.
- 3 (E) VZW ACCESS GATE.
- 4 (E) 84" TALL VZW RBA BATTERY/POWER PLANT CABINET.
- 5 (N) CHARLES CABINET WITH (N) RBS-6601 INSTALLED IN CABINET; SEE DETAIL 3/A-5.
- 6 (E) VZW GPS ANTENNA.
- 7 (E) VZW ELECTRICAL PANEL.
- 8 (E) VZW CONDUIT STUB-UPS.
- 9 (E) VZW ELECTRICAL TRANSFORMER.
- 10 (E) VZW CHAIN LINK FENCE EQUIPMENT ENCLOSURE.
- 11 (E) TELCO PANEL.
- 12 (E) VZW MANUEL TRANSFER SWITCH.
- 13 (E) VZW DISCONNECT.
- 14 (E) VZW FIBER CABINET.
- 15 (E) VERIZON 15KW DC POWER STAND-BY GENERATOR WITH 54 GALLON DIESEL FUEL TANK.
- 16 (E) CM01 CABINET.



NOTE:
 NO (N) BATTERIES PROPOSED AS PART OF THIS PROJECT.

EXISTING EQUIPMENT PLAN

SCALE: 3/8"=1'-0"
 0 1' 2' 3'

2

(N) EQUIPMENT PLAN

SCALE: 3/8"=1'-0"
 0 1' 2' 3'

1

Jeffrey Rome
ASSOCIATES
architecture | telecommunications
131 Innovation Drive, Suite 100
Irvine, California 92617
tel 949.760.3929 | fax 949.760.3931

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PREPARED FOR



15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA	02/20/18
90% CDS	DATE
JEFFREY ROME	05/17/18
100% CDS	DATE
ROBIN NELSON	07/19/18
100% CDS WITH STRUCTURALS	DATE

SITE NAME

**CARMEL RESORT (AWS-3
850 LTE ADD)**

10985 AVENIDA MARIA
SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18	PRELIM CDS (P1-B1)
05/17/18	100% CD'S (P1-B2)
06/25/18	REV. 100% CD'S (P1-B3)
12/12/18	PLAN CHECK COMMENTS (P1-B4)
02/12/19	RE-BRANCH POLE (P1-B5)
05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

ENLARGED SITE PLAN

A-1

JRA JOB NUMBER: 170165

ENLARGED SITE PLAN KEYNOTES

- 1 (N) & (E) ANTENNAS MOUNTED TO (E) MONOPINE; SEE SHEET A-3.
- 2 (E) VZW EQUIPMENT ENCLOSURE; SEE SHEET A-1.1.
- 3 (E) LIGHT STANDARD.
- 4 (E) VZW UNDERGROUND TRENCH.
- 5 (E) WATER TANK.
- 6 (E) RIP-RAP.
- 7 (E) CHAINLINK FENCE.
- 8 (E) PROPERTY LINE.
- 9 (E) SET BACK.
- 10 (E) TREE; SEE PLANTING LEGEND.

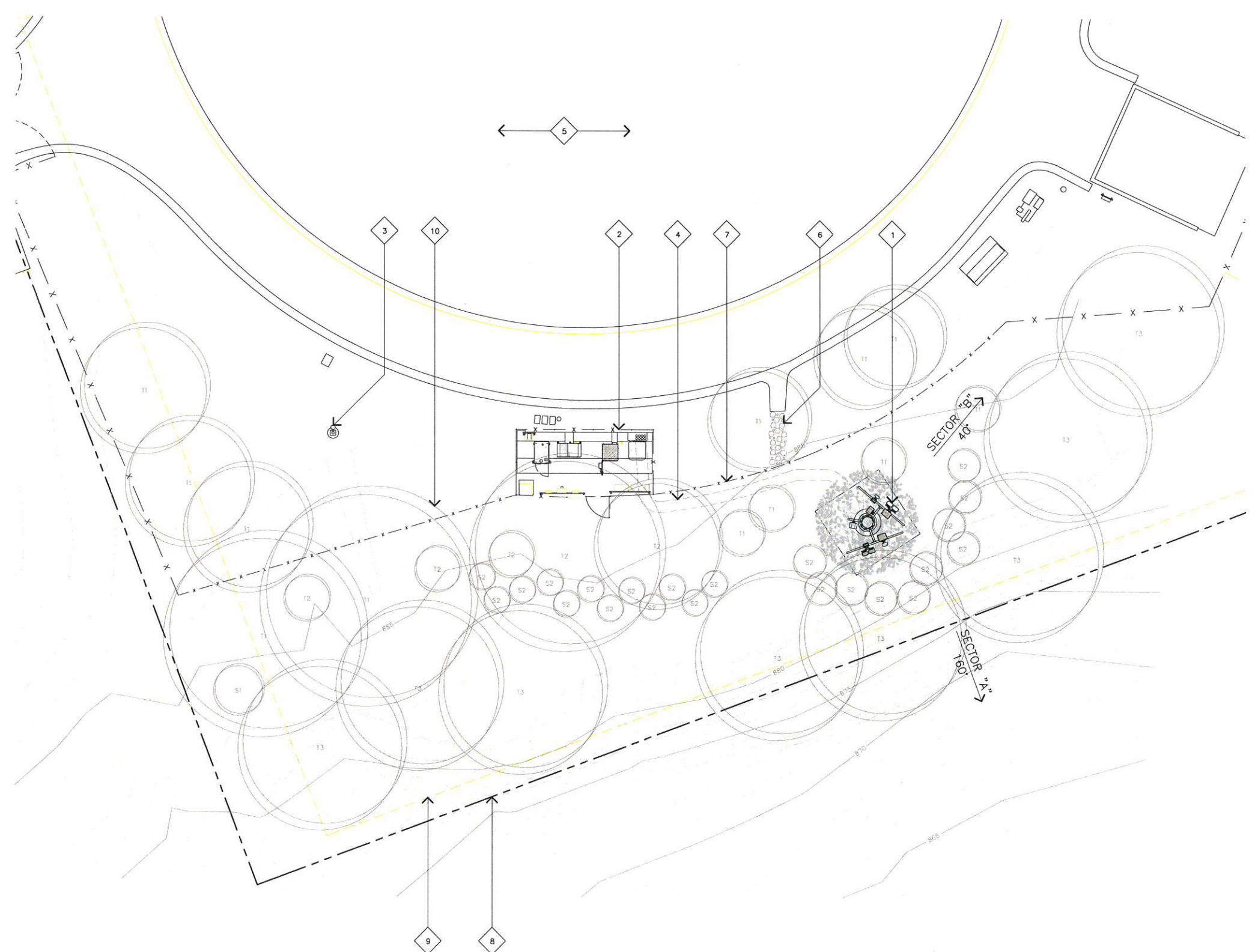
PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
T1	MYOPORUM LAETUM "CARSONI"	COAST MYOPORUM
T2	PINUS CANRIENSIS	CANARY ISLAND PINE
T3	PINUS CANRIENSIS	CANARY ISLAND PINE
S1	ARCTOSTAPHYLOS EDMUNDII	DANVILLE MANZANITA
S2	CEANTHUS CONCHA	CALIFORNIA LILAC

ALL LANDSCAPING SHOWN IS EXISTING

NOTE:

1. INTEGRATE ALL (N) INSTALLATIONS WITH (E) EQUIPMENT.
2. THE LOCATION OF THE (E) EQUIPMENT AVAILABILITY AND SPACE SHOULD BE VERIFIED BY THE GC BEFORE INSTALLATION.
3. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/PERMITTEE SHALL REPAIR AND/OR REPLACE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR CERTIFICATION OF OCCUPANCY.



ENLARGED SITE PLAN

SCALE:
1"=10'



1

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15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA	02/20/18
90% CDS	DATE
JEFFREY ROME	05/17/18
100% CDS	DATE
ROBIN NELSON	07/19/18
100% CDS WITH STRUCTURALS	DATE

SITE NAME

**CARMEL RESORT (AWS-3
 850 LTE ADD)**

10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18	PRELIM CDS (P1-B1)
05/17/18	100% CD'S (P1-B2)
06/25/18	REV. 100% CD'S (P1-B3)
12/12/18	PLAN CHECK COMMENTS (P1-B4)
02/12/19	RE-BRANCH POLE (P1-B5)
05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

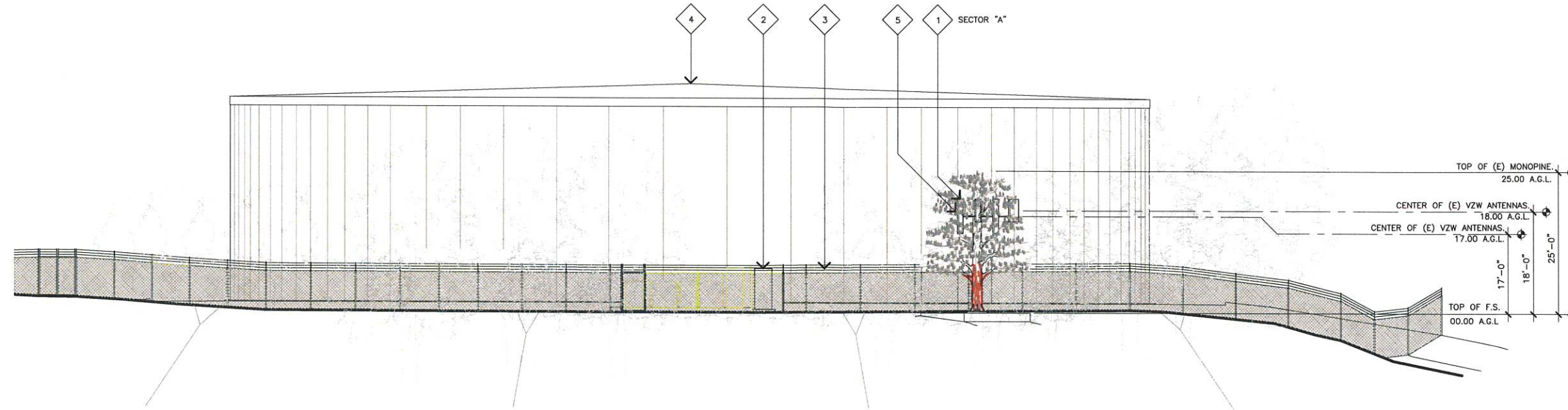
**EXISTING AND PROPOSED
 SOUTH ELEVATION**

A-2

JRA JOB NUMBER: 170165

ELEVATION KEYNOTES

- 1 (E) VZW ANTENNAS MOUNTED TO (E) MONOPINE.
- 2 (E) VZW EQUIPMENT ENCLOSURE.
- 3 (E) CHAINLINK FENCE.
- 4 (E) WATER TANK.
- 5 (E) VZW RRUS.



EXISTING SOUTH ELEVATION

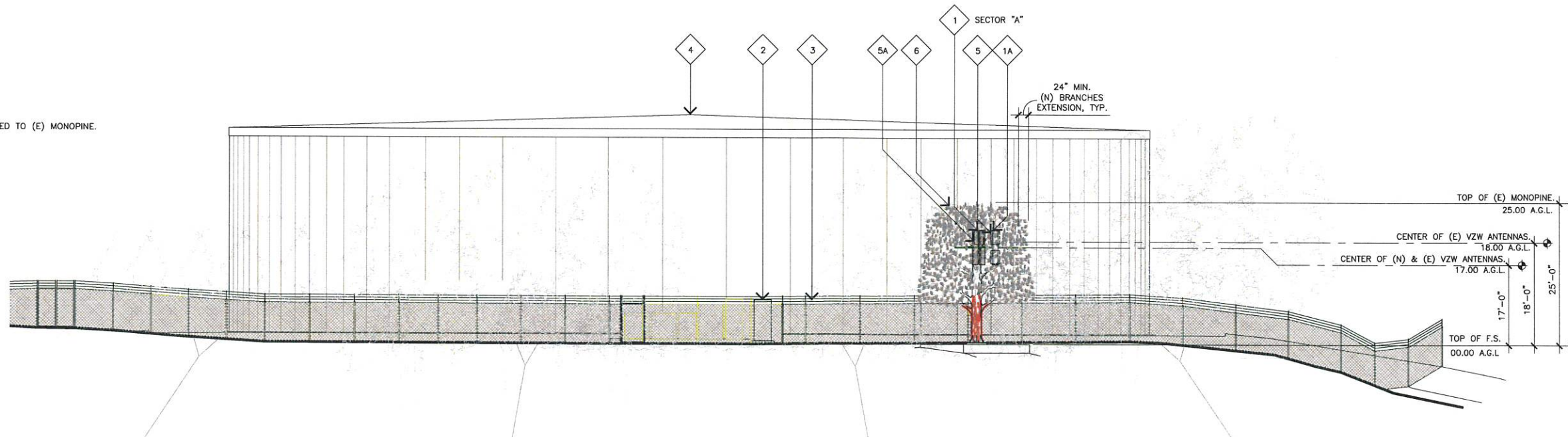
SCALE: 1/8"=1'-0" 0 4' 8' **2**

ELEVATION KEYNOTES

- 1 (N) VZW ANTENNAS MOUNTED TO (E) MONOPINE.
- 1A (E) VZW ANTENNAS MOUNTED TO (E) MONOPINE.
- 2 (E) VZW EQUIPMENT ENCLOSURE.
- 3 (E) CHAINLINK FENCE.
- 4 (E) WATER TANK.
- 5 (N) VZW RRUS.
- 5A (E) VZW RRUS.
- 6 (N) TREE BRANCHES ADDED TO (E) MONOPINE.

NOTES

- (N) & (E) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.



PROPOSED SOUTH ELEVATION

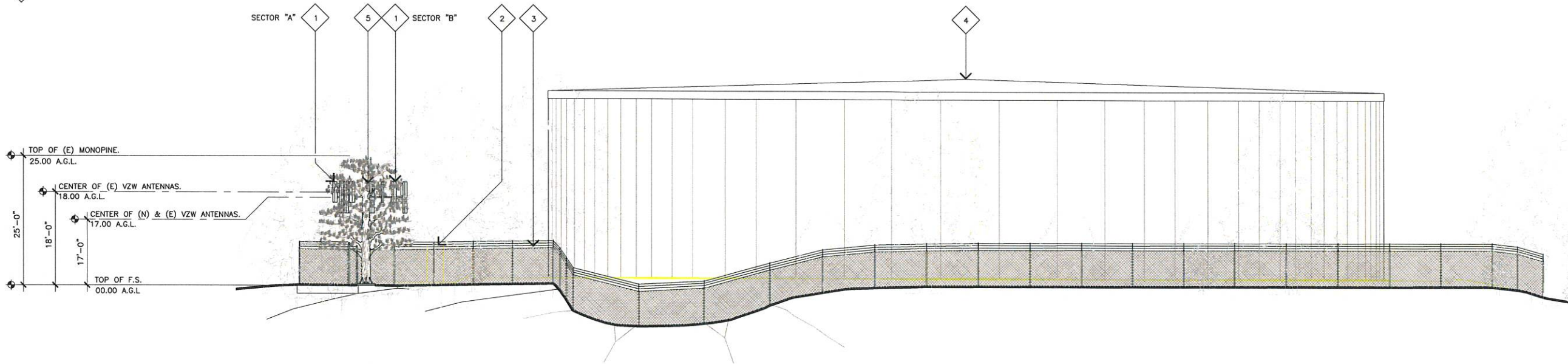
SCALE: 1/8"=1'-0" 0 4' 8' **1**

ELEVATION KEYNOTES

- 1 (E) VZW ANTENNAS MOUNTED TO (E) MONOPINE.
- 2 (E) VZW EQUIPMENT ENCLOSURE.
- 3 (E) CHAINLINK FENCE.
- 4 (E) WATER TANK.
- 5 (E) VZW RRUS.

NOTES

- 1. (N) & (E) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.



EXISTING EAST ELEVATION

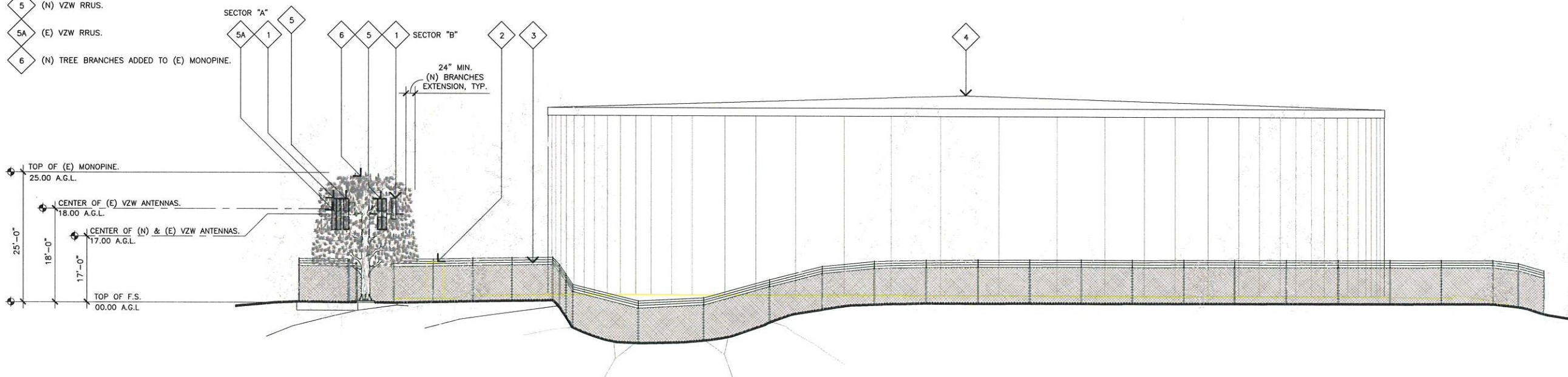
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ELEVATION KEYNOTES

- 1 (N) & (E) VZW ANTENNAS MOUNTED TO (E) MONOPINE.
- 2 (E) VZW EQUIPMENT ENCLOSURE.
- 3 (E) CHAINLINK FENCE.
- 4 (E) WATER TANK.
- 5 (N) VZW RRUS.
- 5A (E) VZW RRUS.
- 6 (N) TREE BRANCHES ADDED TO (E) MONOPINE.

NOTES

- 1. (N) & (E) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.



PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 1

Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA	02/20/18
90% CDS	DATE
JEFFREY ROME	05/17/18
100% CDS	DATE
ROBIN NELSON	07/19/18
100% CDS WITH STRUCTURALS	DATE

SITE NAME

**CARMEL RESORT (AWS-3
 850 LTE ADD)**

10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18	PRELIM CDS (P1-B1)
05/17/18	100% CD'S (P1-B2)
06/25/18	REV. 100% CD'S (P1-B3)
12/12/18	PLAN CHECK COMMENTS (P1-B4)
02/12/19	RE-BRANCH POLE (P1-B5)
05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

**EXISTING AND PROPOSED
 EAST ELEVATION**

A-2.1

JRA JOB NUMBER: 170165

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15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA	02/20/18
90% CDS	DATE
JEFFREY ROME	05/17/18
100% CDS	DATE
ROBIN NELSON	07/19/18
100% CDS WITH STRUCTURALS	DATE

SITE NAME

**CARMEL RESORT (AWS-3
 850 LTE ADD)**

10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18	PRELIM CDS (P1-B1)
05/17/18	100% CD'S (P1-B2)
06/25/18	REV. 100% CD'S (P1-B3)
12/12/18	PLAN CHECK COMMENTS (P1-B4)
02/12/19	RE-BRANCH POLE (P1-B5)
05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

**EXISTING AND PROPOSED
 ANTENNA PLAN**

A-3

JRA JOB NUMBER: 170165

ANTENNA PLAN KEYNOTES

- 1 (E) VZW ANTENNA TO BE REPLACED AND RELOCATED ON (N) DUAL MOUNT AT POS. 3 (2 TOTAL).
- 1A (E) VZW ANTENNA TO BE RELOCATED ON (N) DUAL MOUNT AT POS. 3 (2 TOTAL).
- 1B (E) VZW ANTENNA TO BE REMOVED (2 TOTAL).
- 1C (E) VZW ANTENNA TO REMAIN (2 TOTAL).
- 2 (E) VZW RRU TO BE REPLACED AND RELOCATED TO POS. 2 (1 TOTAL).
- 2A (E) VZW RRU TO BE REPLACED AND RELOCATED TO POS. 3 (1 TOTAL).
- 2B (E) VZW RRU TO REMAIN (2 TOTAL).
- 2C (E) VZW RRU TO BE RELOCATED TO POS. 2 (1 TOTAL).
- 3 (E) VZW RAYCAP TO REMAIN (1 TOTAL).
- 4 (E) VZW MONOPINE.

LEGEND

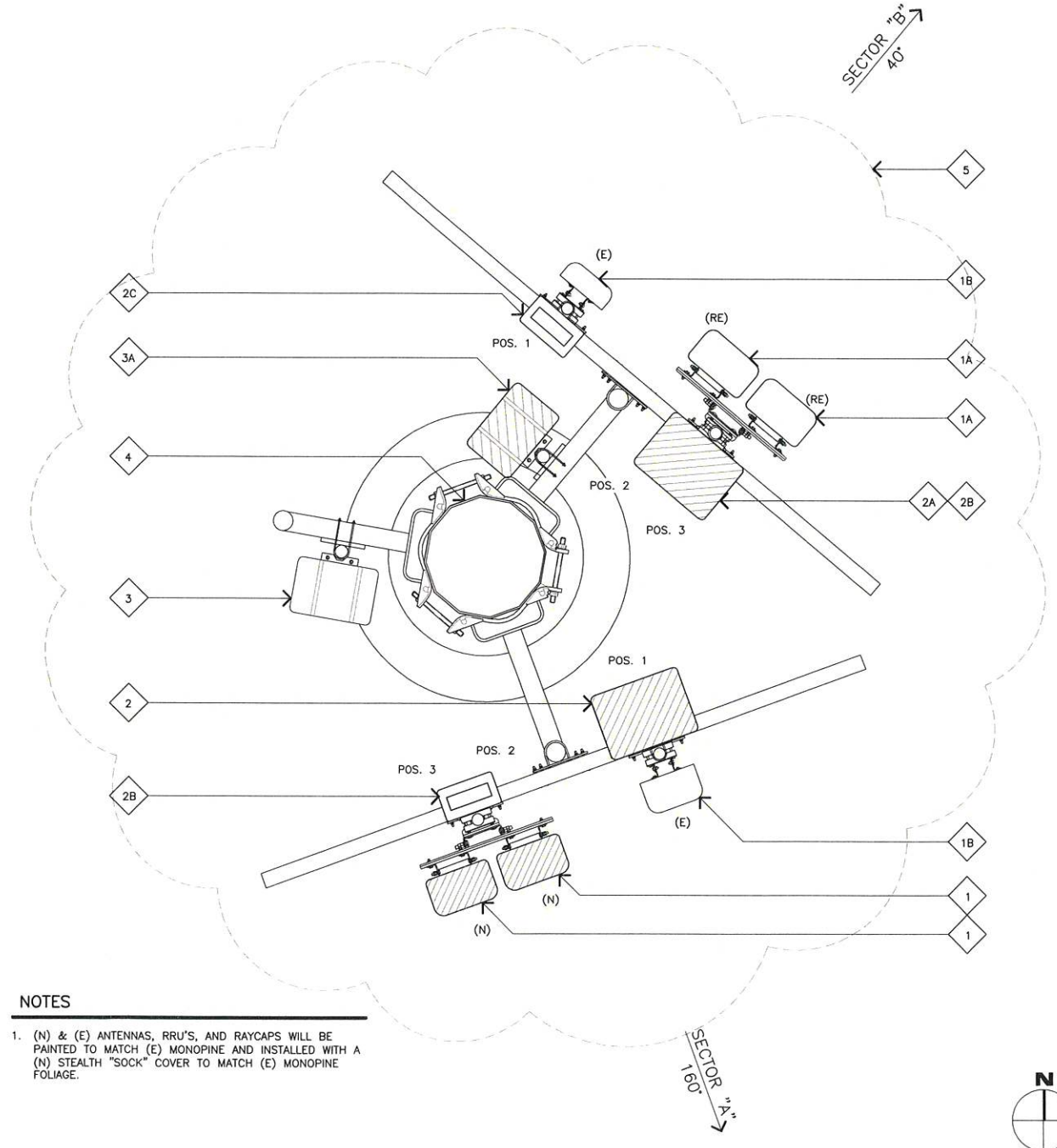
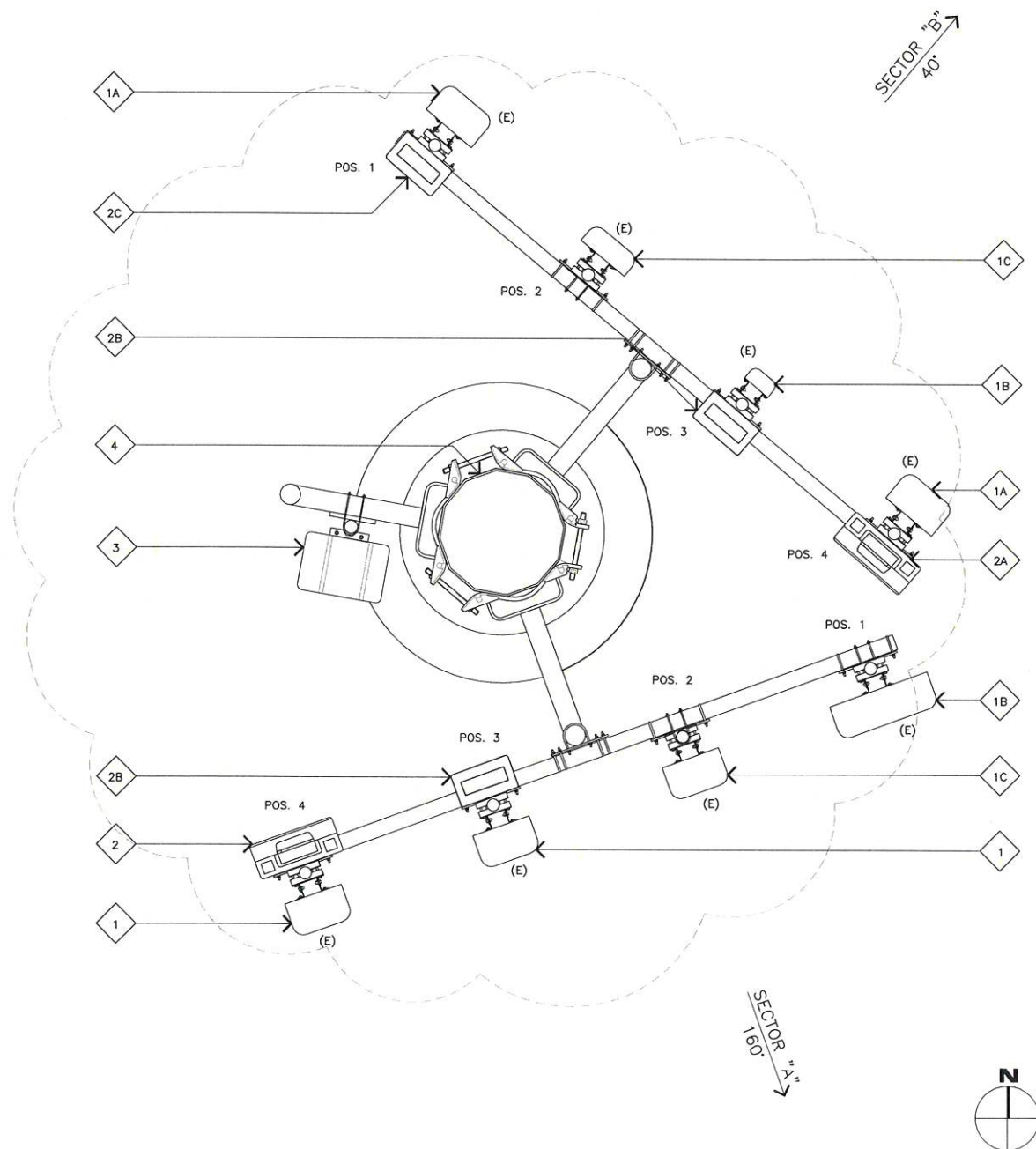
(E) EXISTING

ANTENNA PLAN KEYNOTES

- 1 (N) VZW ANTENNA MOUNTED ON (N) DUAL MOUNT (2 TOTAL); SEE DETAILS 2/A-4, AND 3/A-4.2.
- 1A (E) RELOCATED VZW ANTENNAS ON (N) DUAL MOUNT (2 TOTAL); SEE DETAILS 4/A-4 AND 3/A-4.2.
- 1B (E) VZW ANTENNA (2 TOTAL); SEE DETAILS 3/A-4, 4/A-4 AND 5/A-4.
- 2 (N) (2) STACKED VZW RRU'S (16" MIN. VERTICAL CLEARANCE) MOUNTED BEHIND (E) ANTENNA (2 TOTAL); SEE DETAILS 3/A-4.1, 4/A-4.1 AND 3/A-4.2.
- 2A (N) RRU (16" MIN. VERTICAL CLEARANCE) MOUNTED ABOVE (E) VZW RRU (1 TOTAL); SEE DETAILS 3/A-4.1 AND 3/A-4.2.
- 2B (E) VZW RRU (2 TOTAL); SEE DETAIL 4/A-4.1.
- 2C (E) RELOCATED VZW RRU (1 TOTAL); SEE DETAIL 4/A-4.1.
- 3 (E) VZW RAYCAP MOUNTED TO (E) MONOPINE (1 TOTAL); SEE DETAIL 2/A-4.1.
- 3A (N) VZW RAYCAP MOUNTED TO (E) MONOPINE (1 TOTAL); SEE DETAILS 1/A-4.1 AND 2/A-4.1.
- 4 (E) VZW MONOPINE.
- 5 (N) MONOPINE BRANCHES ADDED TO (E) MONOPINE; SEE SHEETS MP-1 THROUGH MP-6.

LEGEND

(E) EXISTING
 (RE) RELOCATED
 (N) NEW



NOTES

1. (N) & (E) ANTENNAS, RRU'S, AND RAYCAPS WILL BE PAINTED TO MATCH (E) MONOPINE AND INSTALLED WITH A (N) STEALTH "SOCK" COVER TO MATCH (E) MONOPINE FOLIAGE.

EXISTING ANTENNA PLAN

SCALE: 3/4"=1'-0"
 0 .5' 1' 2'

2

PROPOSED ANTENNA PLAN

SCALE: 3/4"=1'-0"
 0 .5' 1' 2'

1

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PREPARED FOR



15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA 02/20/18
 90% CDS DATE
 JEFFREY ROME 05/17/18
 100% CDS DATE
 ROBIN NELSON 07/19/18
 100% CDS WITH STRUCTURALS DATE

SITE NAME

**CARMEL RESORT (AWS-3
 850 LTE ADD)**

10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18 PRELIM CDS (P1-B1)
 05/17/18 100% CD'S (P1-B2)
 06/25/18 REV. 100% CD'S (P1-B3)
 12/12/18 PLAN CHECK COMMENTS (P1-B4)
 02/12/19 RE-BRANCH POLE (P1-B5)
 05/10/19 PLAN CHECK COMMENTS (P1-B6)
 05/20/19 EME ANTENNA UPDATE (P1-B7)
 08/13/19 PLANNING COMMENTS (P1-B8)

SHEET TITLE

**EXISTING AND
 PROPOSED ANTENNA
 AND RRU SCHEDULE**

A-3.1

EQUIPMENT SCHEDULE						
SECTOR	SPECIFICATIONS					
	EQUIPMENT	TYPE	MODEL #	SIZE (HxWxD)	QTY	WEIGHT
SECTOR "A"	-	-	-	-	-	-
	RRU B2	ERICSSON	-	27.2"x12.1"x7.1"	1	53 LBS.
	RRU B4	ERICSSON	-	20.4"x18.5"x7.5"	1	55 LBS.
SECTOR "B"	RRU B2	ERICSSON	-	27.2"x12.1"x7.1"	1	53 LBS.
	RRU B66A	ERICSSON	-	27.2"x12.1"x7.1"	1	53 LBS.
	RRU B4	ERICSSON	-	20.4"x18.5"x7.5"	1	55 LBS.
SECTOR "C"	-	-	-	-	-	-
	-	-	-	-	-	-
	-	-	-	-	-	-
	RAYCAP	-	RCMDC 3315-PF-48	28.93"x15.30"x10.25"	1	32 LBS.

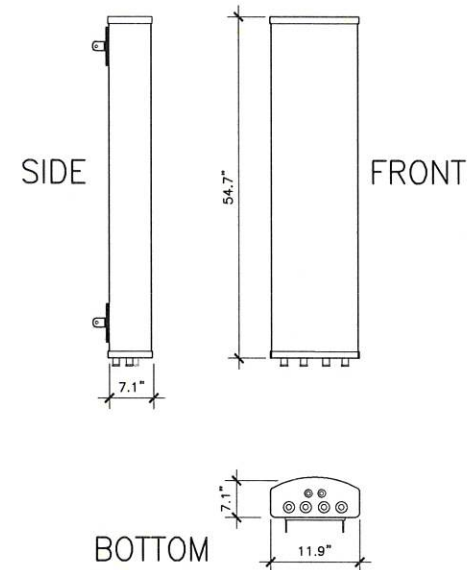
ANTENNA SCHEDULE									
SECTOR		ANTENNA				ANTENNA AZIMUTH	RAD CENTER	TRANSMISSION LINES	
		TYPE	MODEL #	SIZE	WEIGHT			CABLES	LENGTH
SECTOR "A"	A1	AMPHENOL	HTXC033S17R000G	53.7"x20.7"x7.1"	43.3	160'	18'	(1) 1 5/8" HYBRID	±60'-0"
	A2	ANDREW	SBNHH-1D65B	72.9"x11.9"x7.1"	40.6	160'	17'		
	A3	ANDREW	SBHH-1D3817TB	54.7"x11.9"x7.1"	37.1	160'	18'		
	A4	ANDREW	SBNHH-1D65B	72.9"x11.9"x7.1"	40.6	160'	18'		
SECTOR "B"	B1	ANDREW	SBNHH-1D65B	72.9"x11.9"x7.1"	40.6	40'	17'	(1) 1 5/8" HYBRID	±60'-0"
	B2	AMPHENOL	BXA-80063-4CF-EDIN-5	47.4"x11.2"x4.5"	9.9	40'	18'		
	B3	AMPHENOL	BXA-185063-8CF-2	48.8"x6.1"x3.2"	10.0	40'	18'		
	B4	ANDREW	SBNHH-1D65B	72.9"x11.9"x7.1"	40.6	40'	17'		
SECTOR "C"	C1	-	-	-	-	-	-	-	-
	C2	-	-	-	-	-	-		
	C3	-	-	-	-	-	-		
	C4	-	-	-	-	-	-		

EQUIPMENT SCHEDULE						
SECTOR	SPECIFICATIONS					
	EQUIPMENT	TYPE	MODEL #	SIZE (HxWxD)	QTY	WEIGHT
SECTOR "A"	-	-	-	-	-	-
	RRU 4449	ERICSSON	-	18.0"x13.2"x11.4"	1	75 LBS.
	RRU B66A	ERICSSON	-	27.2"x12.1"x7.1"	1	53 LBS.
SECTOR "B"	RRU B2	ERICSSON	-	27.2"x12.1"x7.1"	1	53 LBS.
	RRU B66A	ERICSSON	-	27.2"x12.1"x7.1"	1	53 LBS.
	RRU 4449	ERICSSON	-	18.0"x13.2"x11.4"	1	75 LBS.
	RAYCAP	-	RCMDC 3315-PF-48	28.93"x15.30"x10.25"	1	32 LBS.
SECTOR "C"	-	-	-	-	-	-
	-	-	-	-	-	-
	-	-	-	-	-	-
	RAYCAP	-	RCMDC 3315-PF-48	28.93"x15.30"x10.25"	1	32 LBS.

ANTENNA SCHEDULE									
SECTOR		ANTENNA				ANTENNA AZIMUTH	RAD CENTER	TRANSMISSION LINES	
		TYPE	MODEL #	SIZE	WEIGHT			CABLES	LENGTH
SECTOR "A"	A1	ANDREW	SBNHH-1D65B	72.9"x11.9"x7.1"	40.6	160'	17'	(1) 1 5/8" HYBRID	±60'-0"
	A2	COMMSCOPE	NHH-65B-R2B	72.0"x11.9"x7.1"	43.7	160'	17'		
	A3	COMMSCOPE	NHH-65B-R2B	72.0"x11.9"x7.1"	43.7	160'	17'		
	A4	-	-	-	-	-	-		
SECTOR "B"	B1	AMPHENOL	BXA-80063-4CF-EDIN-5	48.8"x6.1"x3.2"	9.9	40'	18'	(1) 1 5/8" HYBRID	±60'-0"
	B2	ANDREW	SBNHH-1D65B	72.9"x11.9"x7.1"	40.6	40'	17'		
	B3	ANDREW	SBNHH-1D65B	72.9"x11.9"x7.1"	40.6	40'	17'		
	B4	-	-	-	-	-	-		
SECTOR "C"	C1	-	-	-	-	-	-	-	-
	C2	-	-	-	-	-	-		
	C3	-	-	-	-	-	-		
	C4	-	-	-	-	-	-		

ANDREW SBHH-1D3817TB

ANTENNA COLOR: LIGHT GRAY
 ANTENNA MATERIAL: FIBERGLASS, UV RESISTANT
 DIMENSIONS, HxWxD: (54.7"x11.9"x7.1")
 WEIGHT: 37.1 lbs

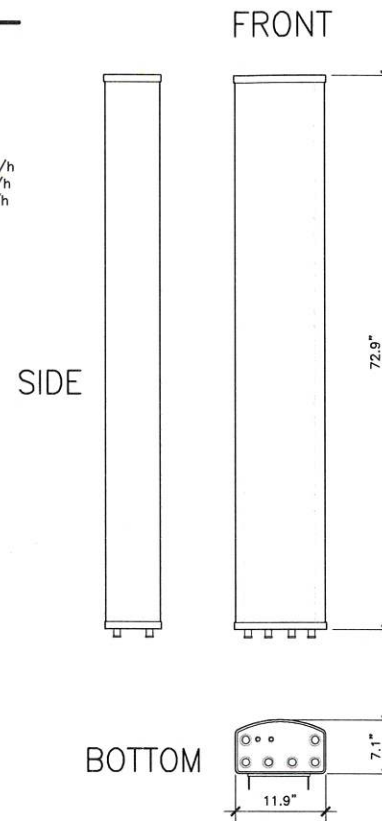


(E) ANTENNA SPECIFICATIONS

SCALE: NONE **6**

COMMSCOPE SBNHH-1D65B

ANTENNA MATERIAL: GRP
 ANTENNA COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: 72.9"x11.9"x7.1"
 WEIGHT: 40.6 lbs
 WIND LOAD: FRONTAL: 618.0 N @ 150 km/h
 LATERAL: 197.0 N @ 150 km/h
 REAR: 728.0 N @ 150 km/h
 CONNECTOR: 7-16 DIN FEMALE

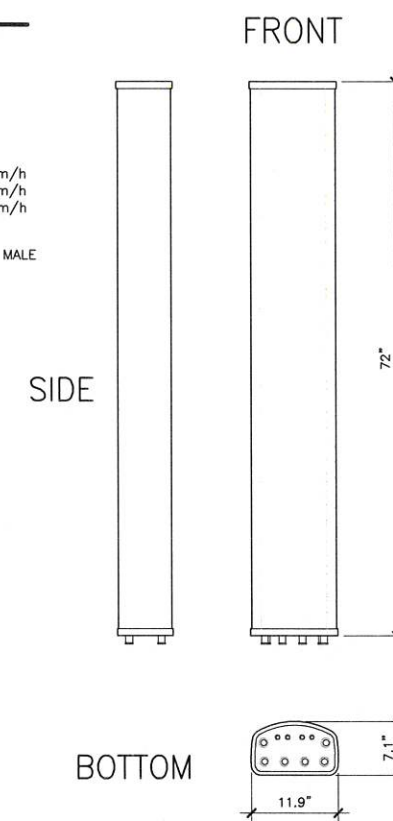


(E) ANTENNA SPECIFICATIONS

SCALE: NONE **4**

COMMSCOPE NHH-65B-R2B

ANTENNA MATERIAL: GRP
 ANTENNA COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: 72"x11.9"x7.1"
 WEIGHT: 43.7 lbs
 WIND LOAD: FRONTAL: 610.0 N @ 150 km/h
 LATERAL: 195.0 N @ 150 km/h
 REAR: 717.0 N @ 150 km/h
 RF CONNECTOR INTERFACE: 8-pin DIN FEMALE/8-pin DIN MALE
 RF CONNECTOR LOCATION: BOTTOM

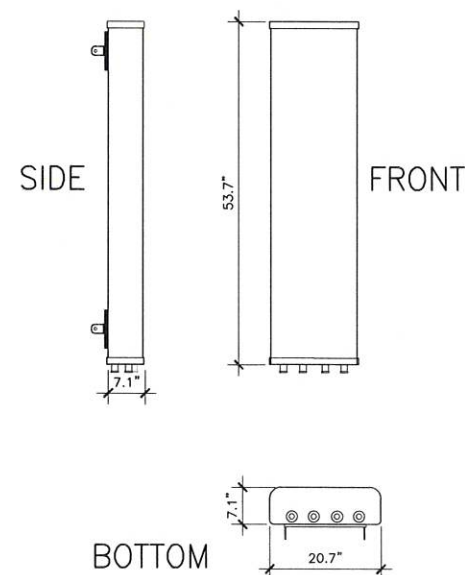


(N) ANTENNA SPECIFICATIONS

SCALE: NONE **2**

AMPHENOL HTXC033S17R000G

DIMENSIONS, HxWxD: (53.7"x20.7"x7.1")
 WEIGHT: 43.3 lbs

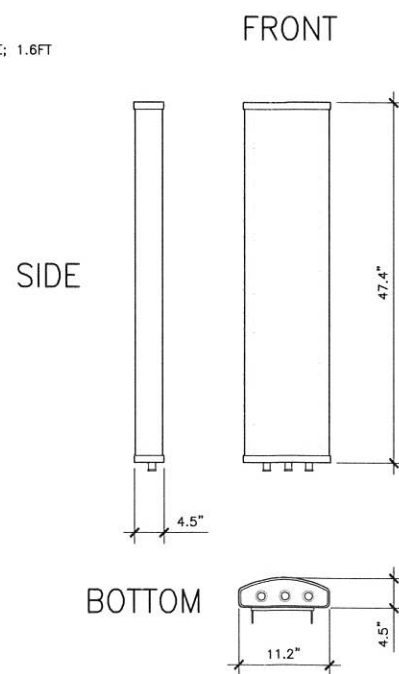


(E) ANTENNA TO BE REMOVED

SCALE: NONE **5**

AMPHENOL BXA-80063/ 4CF_5

ANTENNA MATERIAL: GRP
 ANTENNA COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: (47.4"x11.2"x4.5")
 WEIGHT: 9.9 lbs
 WIND LOAD: FRONT: 3.9FT/ SIDE: 1.6FT

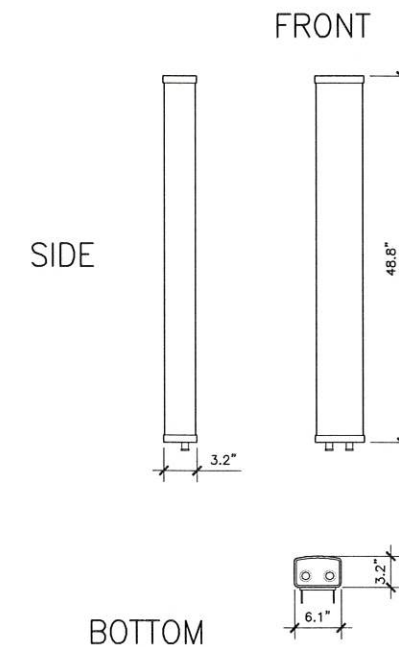


(E) ANTENNA SPECIFICATIONS

SCALE: NONE **3**

AMPHENOL BXA-185063-8CF

ANTENNA MATERIAL: GRP
 ANTENNA COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: (48.8"x6.1"x3.2")
 WEIGHT: 10.0 lbs



(E) ANTENNA TO BE REMOVED

SCALE: NONE **1**

Jra Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

PROPRIETARY INFORMATION
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PREPARED FOR



15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA	02/20/18
90% CDS	DATE
JEFFREY ROME	05/17/18
100% CDS	DATE
ROBIN NELSON	07/19/18
100% CDS WITH STRUCTURALS	DATE

SITE NAME

**CARMEL RESORT (AWS-3
 850 LTE ADD)**

10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18	PRELIM CDS (P1-B1)
05/17/18	100% CD'S (P1-B2)
06/25/18	REV. 100% CD'S (P1-B3)
12/12/18	PLAN CHECK COMMENTS (P1-B4)
02/12/19	RE-BRANCH POLE (P1-B5)
05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

DETAILS

A-4

JRA JOB NUMBER: 170165

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15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



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90% CDS	DATE
JEFFREY ROME	05/17/18
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100% CDS WITH STRUCTURALS	DATE

SITE NAME

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10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

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05/20/19	EME ANTENNA UPDATE (P1-B7)
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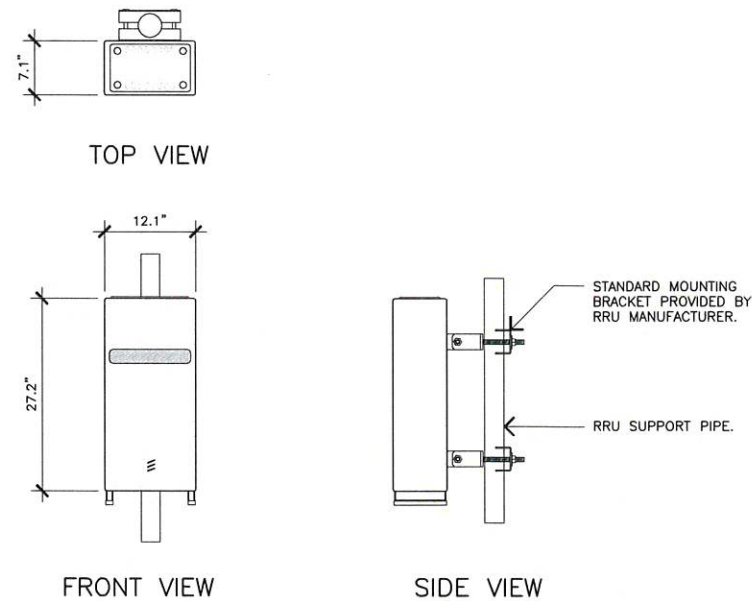
SHEET TITLE

DETAILS

A-4.1

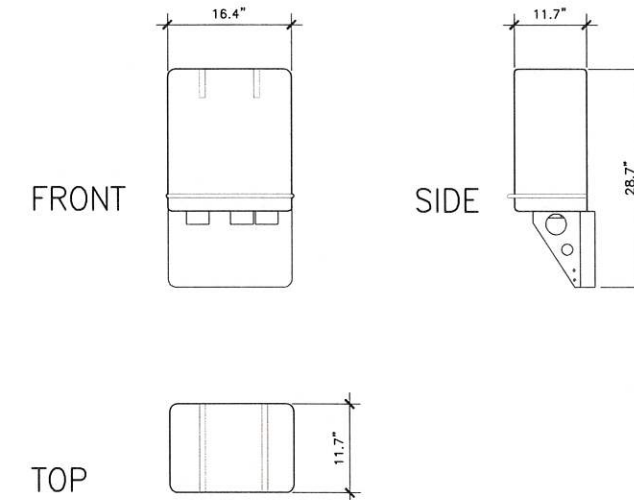
RRUS-32 B2 & B66A

CABINET COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: (27.2"x12.1"x7")
 WEIGHT: 53 lbs
 RF CONNECTOR: 7/16 DIN



RAYCAP RCMDC 3315-PF-48

COLOR: GRAY
 DIMENSIONS, HxWxD: 28.7"x16.4"x11.7"
 WEIGHT: 32.0 lbs



NOT USED

SCALE:
 NONE

6

(E) AND (N) RRUS-32

SCALE:
 NONE

4

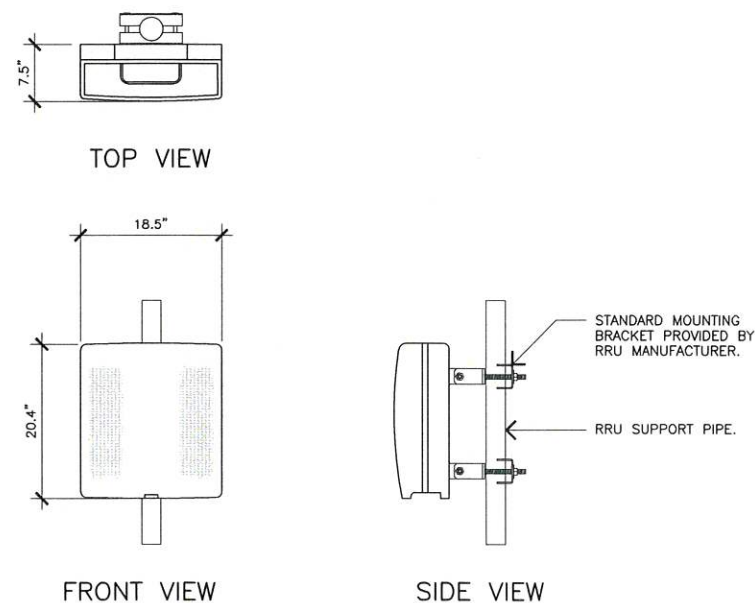
(E) AND (N) RAYCAP SPECIFICATIONS

SCALE:
 NONE

2

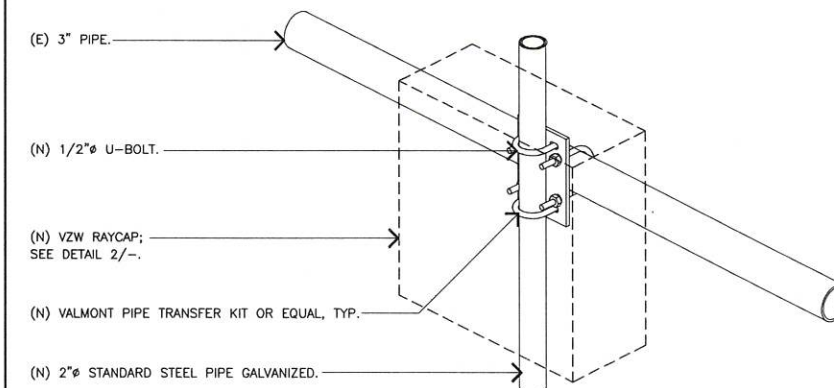
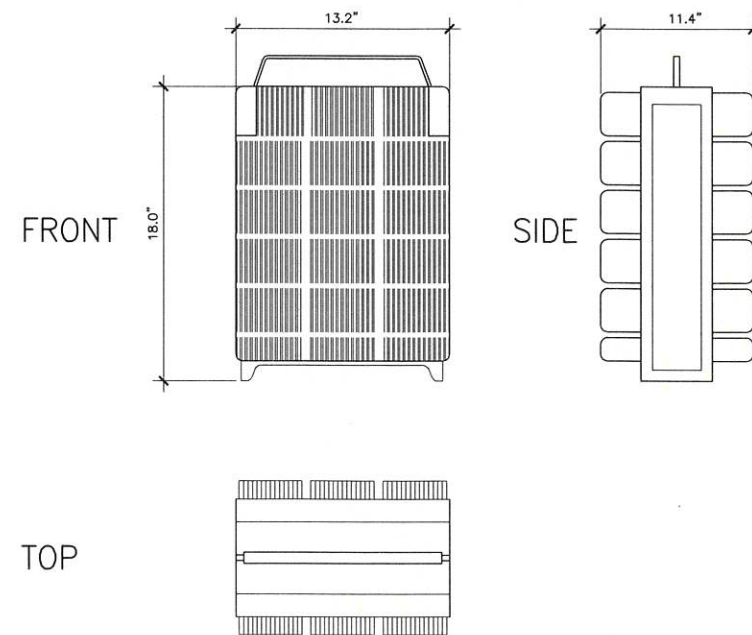
ERICSSON RRUS-12 B4

CABINET COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: (20.4"x18.5"x7.5")
 WEIGHT: 55 lbs
 RF CONNECTOR: 7/16 DIN



RRU 4449

COLOR: WHITE
 DIMENSIONS: 18.0" TALL x 13.2" WIDE x 11.4" DEEP
 (WITH PROTRUDING ITEMS)
 WEIGHT: ±75.0 LBS



(E) RRUS-12

SCALE:
 NONE

5

(N) RRUS 4449

SCALE:
 NONE

3

RAYCAP MOUNT DETAIL

SCALE:
 NONE

1

JRA Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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 IRVINE, CALIFORNIA 92618



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90% CDS	DATE
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100% CDS	DATE
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100% CDS WITH STRUCTURALS	DATE

SITE NAME

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 850 LTE ADD)**

10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

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12/12/18	PLAN CHECK COMMENTS (P1-B4)
02/12/19	RE-BRANCH POLE (P1-B5)
05/10/19	PLAN CHECK COMMENTS (P1-B6)
05/20/19	EME ANTENNA UPDATE (P1-B7)
08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

DETAILS

A-4.2

JRA JOB NUMBER: 170165

NOT USED

SCALE:
NONE

6

NOT USED

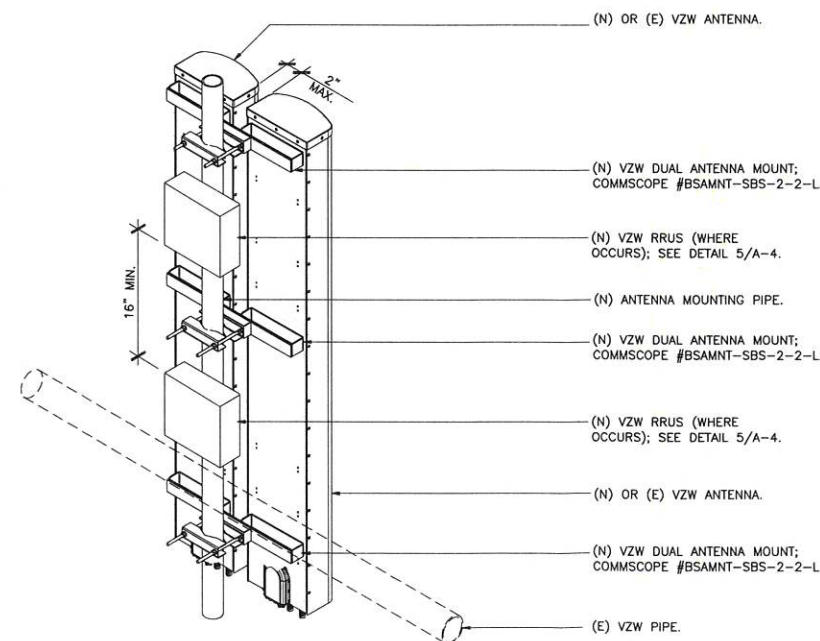
SCALE:
NONE

4

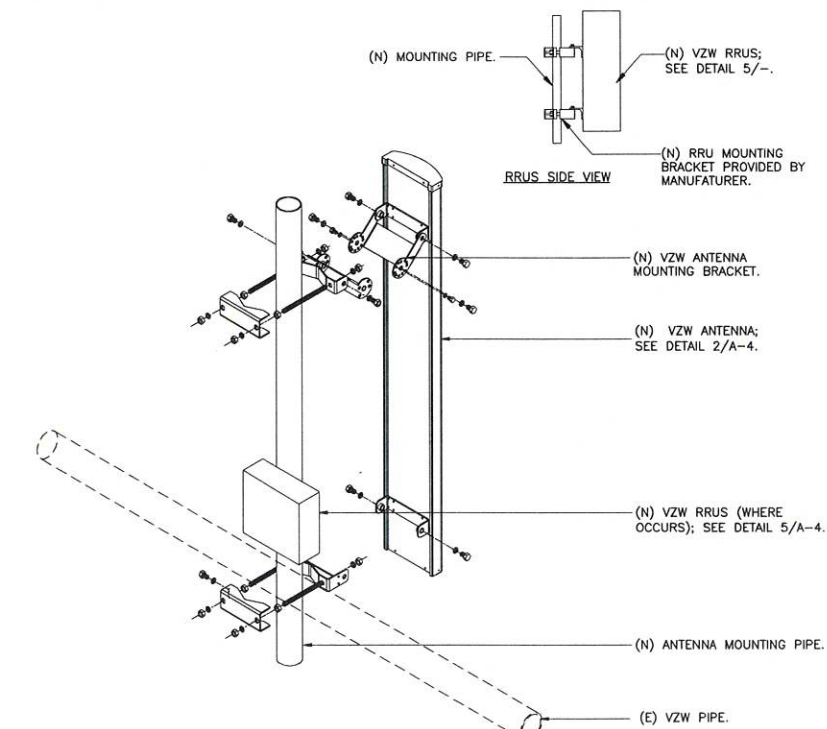
NOT USED

SCALE:
NONE

2



NOTES:
 1. ALL (N) STEEL TO BE HOT-DIPPED GALVANIZED.
 2. SEE ANTENNA MANUFACTURER SPECS. FOR COMPLETE ANTENNA AND BRACKET SPECIFICATIONS.
 3. ALL (E) PIPES TO BE REPLACED WITH (N) STEEL PIPES SAME LENGTH AS (N) ANTENNAS.



NOTES:
 1. SEE ANTENNA MANUFACTURER SPECS. FOR COMPLETE ANTENNA AND BRACKET SPECIFICATIONS.
 2. ALL (E) PIPES TO BE REPLACED WITH (N) STEEL PIPES SAME LENGTH AS (N) ANTENNAS.
 3. ALL (N) STEEL TO BE HOT-DIPPED GALVANIZED.

NOT USED

SCALE:
NONE

5

ANTENNA / RRU MOUNTING

SCALE:
NONE

3

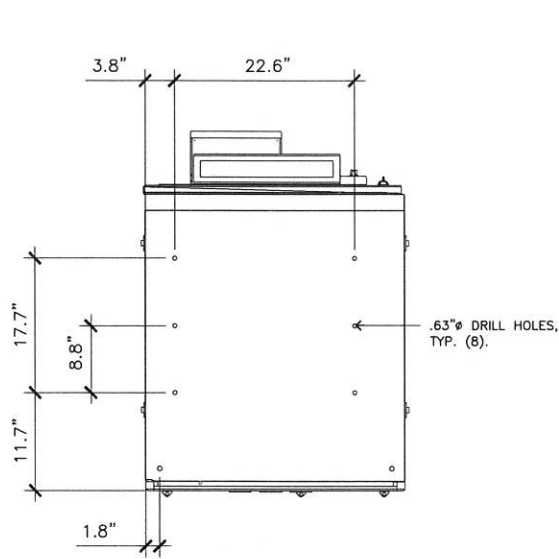
ANTENNA / RRU MOUNTING

SCALE:
NONE

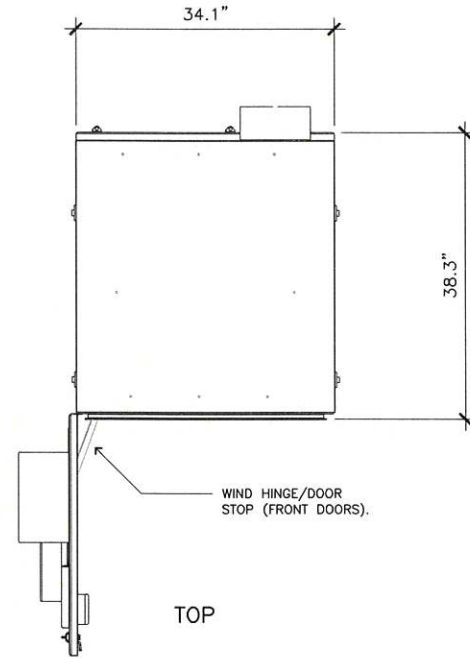
1

LT-SS4C218XXX CHARLES CABINET

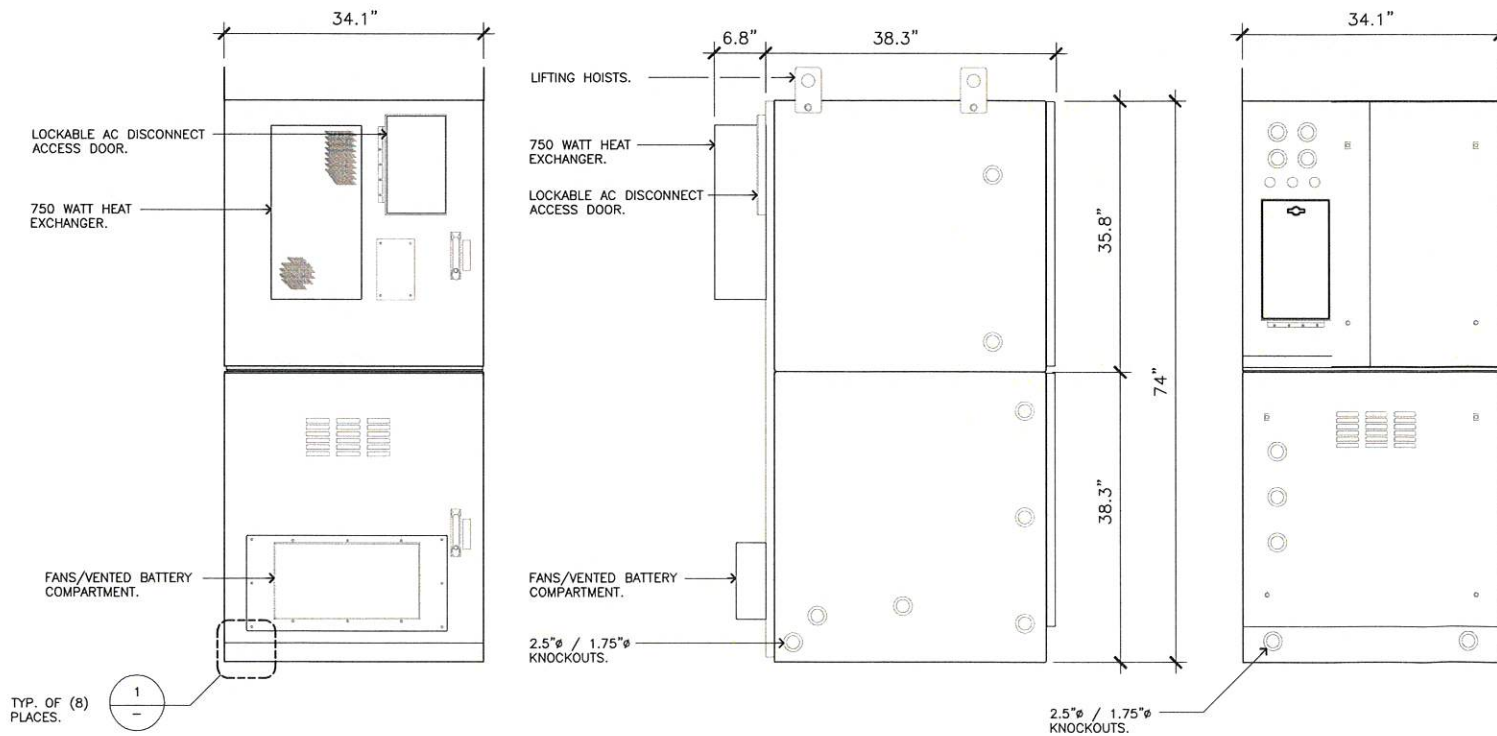
DIMENSIONS, HxDxW: 74"x45.1"x34.1"
 TOTAL WEIGHT: 2,000 LBS W/ BATTERIES AND RECTIFIERS
 COOLING TECHNOLOGY: HEAT EXCHANGER W/ CONTROLLER AND VARIABLE SPEED FANS



BOTTOM



TOP



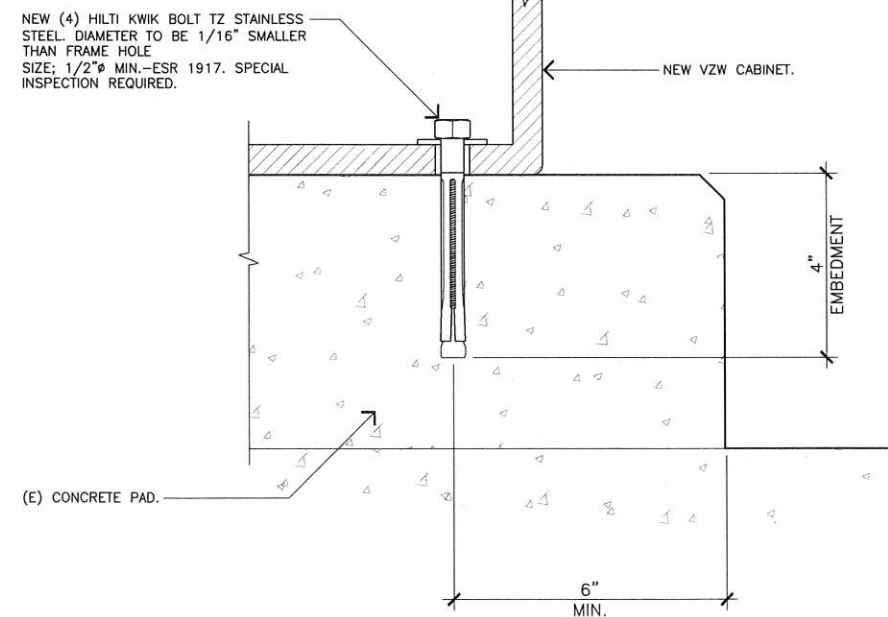
FRONT

SIDE

BACK

NOT USED

SCALE: NONE 2



EQUIPMENT CABINET ANCHORAGE DETAIL

SCALE: NONE 1

JRA Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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PREPARED FOR



15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

EMMANUEL FIGUEROA	02/20/18
90% CDS	DATE
JEFFREY ROME	05/17/18
100% CDS	DATE
ROBIN NELSON	07/19/18
100% CDS WITH STRUCTURALS	DATE

SITE NAME

**CARMEL RESORT (AWS-3
 850 LTE ADD)**

10985 AVENIDA MARIA
 SAN DIEGO, CALIFORNIA 92129

DRAWING DATES

02/20/18	PRELIM CDS (P1-B1)
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08/13/19	PLANNING COMMENTS (P1-B8)

SHEET TITLE

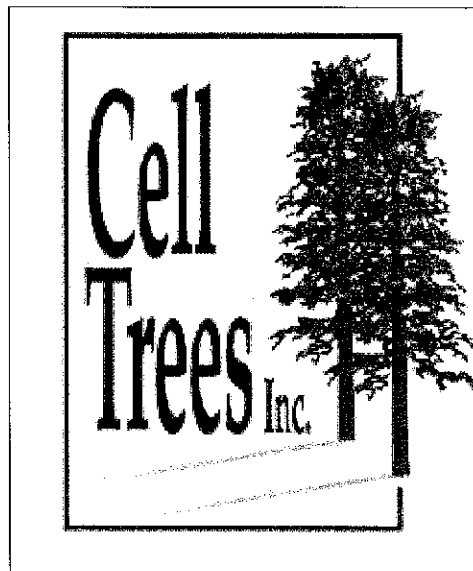
EQUIPMENT CABINET DETAILS

A-5

JRA JOB NUMBER: 170165

EQUIPMENT CABINET SPECIFICATIONS

SCALE: NONE 3



**5401 S. CANADA PLACE
TUCSON, AZ 85706
PH: (520) 663-1330**



DATE: 1/25/17 DESIGNED: MEG DRAFTER: MEG

REVISIONS	
DATE	DESCRIPTION

VERIZON

CARMEL RESORT STRUCTURAL ANALYSIS FOR 25'-0" TALL MONOPINE

CELL TREES, INC. JOB #:
17-508

LOCATION:
**10985 AVENIDA MARIA
SAN DIEGO, CA 92129
SAN DIEGO COUNTY**

DRAWING INDEX

- MP-1 TITLE SHEET
- MP-2 ELEVATION VIEW & NOTES
- MP-3 DETAILS
- MP-4 ANTENNA MOUNT DETAILS
- MP-5 FOUNDATION
- MP-6 BRANCH TABLES



**5401 S. CANADA PLACE
TUCSON AZ 85706
PH: 520-663-1330
JOB #: 17-508**

NOTE: THESE DRAWINGS DEPICT THIS MONOPINE STRUCTURE AS SHOWN IN THE ENGINEERING DESIGN DRAWINGS COMPLETED BY DAVINCI ENGINEERING, INC., PROJECT 1511225-043, STAMPED 3/31/2011 AND SHOULD BE VERIFIED BY OTHERS. VECTOR HAS NOT VISITED THE SITE; THUS NO OBSERVATIONS HAVE BEEN MADE OF THE STRUCTURAL INTEGRITY, MATERIALS USED, OR QUALITY OF WORK OF ANY PORTIONS OF THE STRUCTURE. VECTOR STRUCTURAL ENGINEERING MAKES NO CLAIM AS TO THE CURRENT CONDITION OF THE STRUCTURE. THE STRUCTURE IS ASSUMED TO BE IN GOOD CONDITION, FREE OF DAMAGE OR DETERIORATION. THE CONTRACTOR OR OWNER SHALL NOTIFY VECTOR STRUCTURAL ENGINEERING IMMEDIATELY SHOULD ANY DAMAGE, DETERIORATION, OR DISCREPANCIES BETWEEN THE AS-BUILT CONDITION OF THE EXISTING STRUCTURE AND THE ASSUMED CONDITION BE FOUND.

DISCLAIMERS

1) ALL STRUCTURAL COMPONENTS TO BE CONNECTED TOGETHER SHALL BE COMPLETELY FIT UP ON THE GROUND OR OTHERWISE VERIFIED FOR COMPATIBILITY PRIOR TO LIFTING ANY COMPONENT INTO PLACE. REPAIRS REQUIRED DUE TO FIT-UP OR CONNECTION COMPATIBILITY PROBLEMS AFTER PARTIAL ERECTION ARE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.

TITLE SHEET

**CARMEL RESORT
STRUCTURAL ANALYSIS FOR
25'-0" TALL MONOPINE**
10985 AVENIDA MARIA
SAN DIEGO, CA 92129

U1212-538-171

MP-1 REV **0**



9189 S. State St., Suite 101 (801) 990-1775
Sandy, UT 84070 (801) 990-1776 FAX
www.vectorse.com

DATE: 1/26/17 DESIGNED: MEG DRAFTER: MEG

REVISIONS	
DATE	DESCRIPTION

VERIZON



5401 S. CANADA PLACE
TUCSON AZ 85706
PH: 520-663-1330

JOB #: 17-508

ELEVATION VIEW & NOTES

CARMEL RESORT
STRUCTURAL ANALYSIS FOR
25'-0" TALL MONOPINE
10985 AVENIDA MARIA
SAN DIEGO, CA 92129

U1212-538-171

MP-2 REV 0

GENERAL DESIGN NOTES:

STRUCTURAL DESIGN IS BASED ON THE CALIFORNIA BUILDING CODE, 2016 EDITION (2015 IBC) AND THE TIA-222-G STANDARD

DESIGN LOADS:

WIND:
BASIC WIND SPEED: 110 MPH (3-SEC GUST) PER ASCE 7-10
RISK CATEGORY / STRUCTURE CLASS: II
EXPOSURE: C
TOPOGRAPHIC CATEGORY: 3
CREST HEIGHT: 130 FT

ICE: NONE

SEISMIC:

IMPORTANCE FACTOR: 1.00
MAPPED SPECTRAL RESPONSE ACCELERATIONS:
 $S_s = 0.919g$, $S_1 = 0.360g$
SITE CLASS: C
SPECTRAL RESPONSE COEFFICIENTS:
 $S_{ps} = 0.633g$, $S_{p1} = 0.346g$
SEISMIC DESIGN CATEGORY: D
BASIC SEISMIC-FORCE-RESISTING-SYSTEM:
TELECOMMUNICATION TOWER: STEEL POLE
SEISMIC BASE SHEAR, V: 1.6 K
SEISMIC RESPONSE COEFFICIENT, C_s : 0.422
RESPONSE MODIFICATION FACTOR, R: 1.5
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE

MATERIAL NOTES:

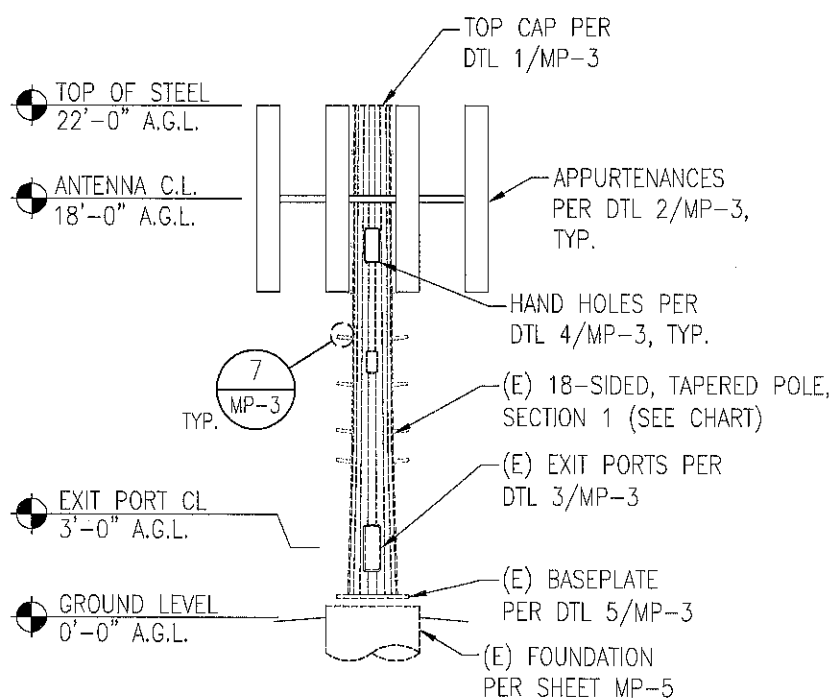
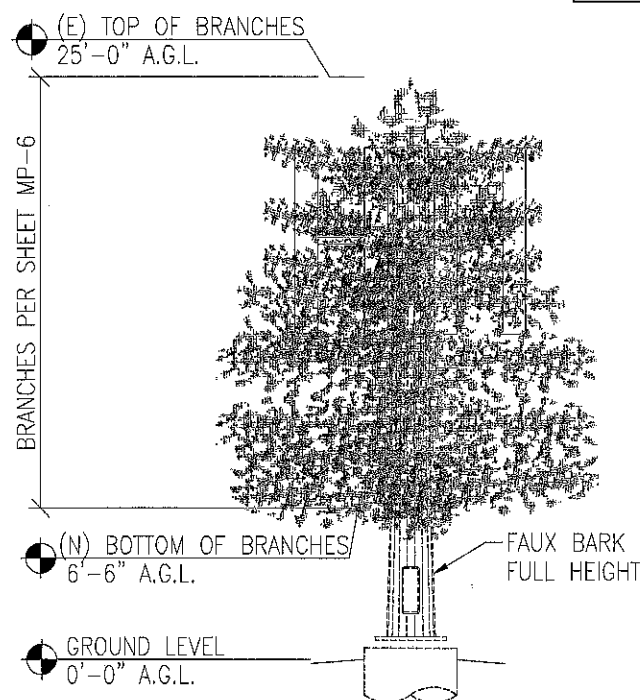
- 18-SIDED MONOPOLE SHAFT STEEL SHALL CONFORM w/ ASTM A572 GR. 65, U.N.O.
- BASE PLATE STEEL TO BE PER ASTM A572, GR. 50, U.N.O.
- PORT STEEL SHALL CONFORM w/ ASTM A572 GR. 65, U.N.O.
- ALL STEEL PIPE TO BE PER ASTM A53 GR. B (35 KSI), U.N.O.
- ALL OTHER STEEL SHAPES & PLATES SHALL CONFORM w/ ASTM A36, U.N.O.
- ALL BOLTS FOR STEEL-TO-STEEL CONNECTIONS SHALL CONFORM w/ ASTM A325N, U.N.O.
- ALL ANCHOR BOLTS SHALL CONFORM w/ A615 GR. 75, U.N.O.
- ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS IN ACCORDANCE w/ THE LATEST VERSION OF THE AMERICAN WELDING SOCIETY AWS D1.1.
- ALL STEEL SURFACES SHALL BE GALVANIZED IN ACCORDANCE w/ ASTM A123 AND ASTM A153 STANDARDS.
- ALL BOLTED CONNECTIONS SHALL BE TIGHTENED PER THE "TURN-OF-NUT" METHOD AS DEFINED BY AISC.
- SUBMIT FABRICATION DRAWINGS FOR ALL STEEL PARTS TO ENGINEER OF RECORD FOR REVIEW AND APPROVAL.

BASE DESIGN REACTIONS:

MOMENT, M = 195 K-FT (1.0 WIND)
SHEAR, V = 13.5 K (1.0 WIND)
AXIAL, P = 4.5 K (1.2 DEAD)

NOTE: BRANCHES ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT SHOWN TO SCALE.

NOTE: (N) DENOTES NEW & (E) DENOTES EXISTING



MONOPOLE SECTION CHART					
SECTION	LENGTH	TOP ϕ	BOTTOM ϕ	THICKNESS	WEIGHT*
1	21'-0"	20.00"	26.00"	3/16"	1.8 K

*WEIGHT LISTED INCLUDES TOP CAP, PORT, AND BASE PLATE WEIGHT
POLE TAPER = 0.286 IN/FT

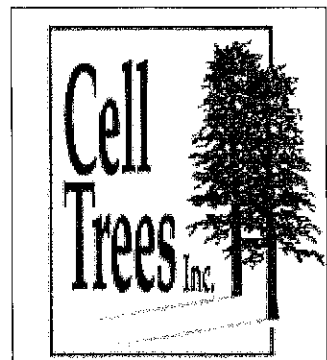
ELEVATIONS

N.T.S. 1

VECTOR ENGINEERS
 9138 S. State St., Suite 101 (801) 990-1775
 Sandy, UT 84070 (801) 990-1776 FAX
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DATE: 1/25/17	DESIGNED: MEG	DRAFTER: MEG
REVISIONS		
DATE	DESCRIPTION	

VERIZON

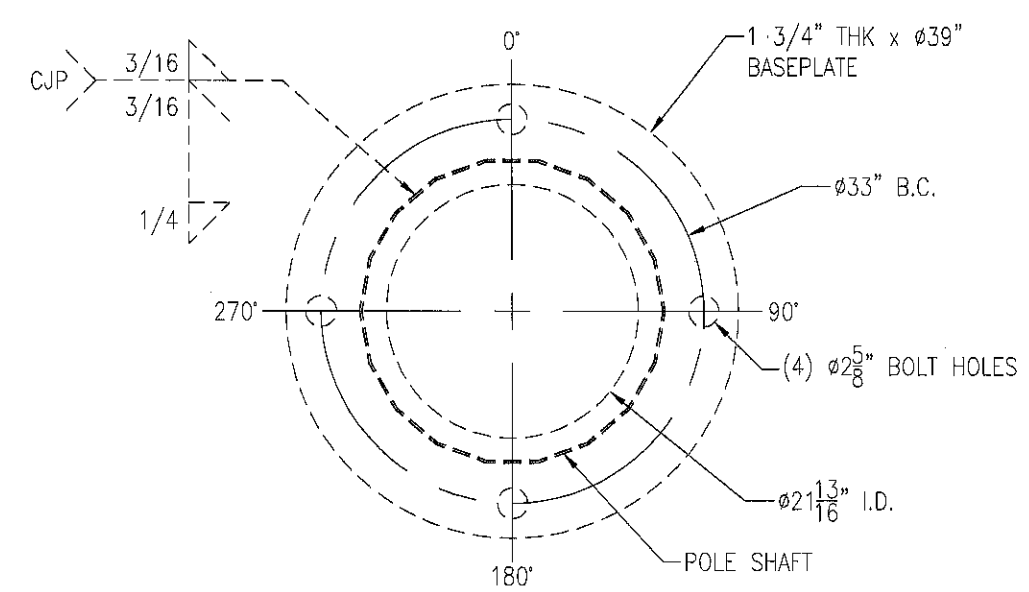


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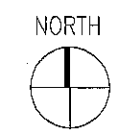
DETAILS
 CARMEL RESORT
 STRUCTURAL ANALYSIS FOR
 25'-0" TALL MONOPINE
 10985 AVENIDA MARIA
 SAN DIEGO, CA 92129

U1212-538-171

MP-3 REV 0

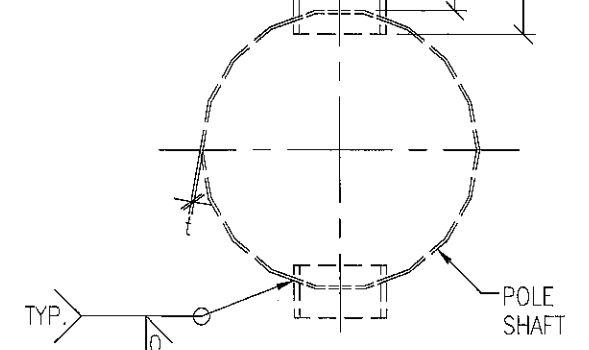


EXISTING BASEPLATE

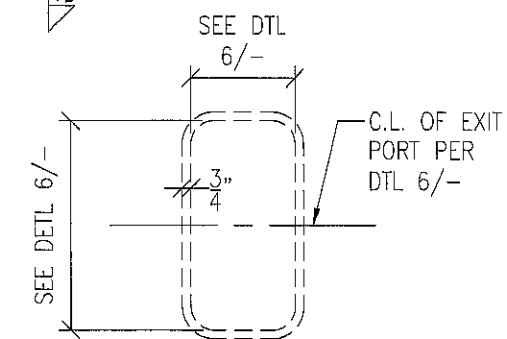


N.T.S. 5

NOTE: SEE DETAIL 6/- FOR PORT QUANTITY & AZIMUTHS



SECTION VIEW

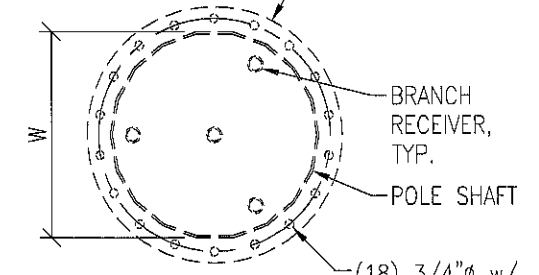


ELEVATION VIEW

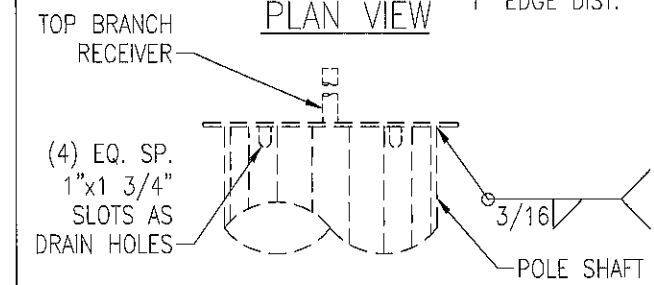
EXISTING EXIT PORTS

N.T.S. 3

COORDINATE HOLE LOCATIONS WITH STANDOFF ARM AZIMUTHS



PLAN VIEW

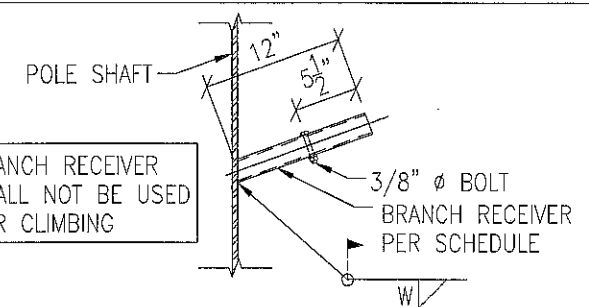


ELEVATION VIEW

EXISTING TOP CAP

N.T.S. 1

- DESIGN LOADING:**
 ANTENNA C.L. @ 18'-0" A.G.L.:
- (4) SBNHH-1D65B PANEL ANTENNAS
 - (4) HTXC033S17X00 PANEL ANTENNAS
 - (3) 20.4"x18.5"x10.8" RRUS-12 w/A2's
 - (2) 27.17"x12.05"x7.01" RRUS-32
 - (1) RAYCAP RxxDC-3315-PF-48 SURGE SUPPRESSOR
 - (E) MOUNTS PER DTL 1/MP-4



BRANCH RECEIVER SCHEDULE		
MAX BRANCH LENGTH	PIPE	W
6'-0"	1" SCH. 40	1/4
8'-0"	1" SCH. 80	1/4

NOTE: ANY GALVANIZED SURFACES THAT BECOME DAMAGED DURING SHIPPING, ERECTION, OR FIELD WELDING MUST BE COATED WITH A MINIMUM OF TWO COATS OF COLD GALVANIZING COMPOUND THAT COMPLIES WITH THE REQUIREMENTS OF ASTM A780.

- SPECIAL INSPECTION:**
1. FIELD WELDING IS ALLOWED ONLY WHERE NOTED ON THE PLANS
 2. THE FOLLOWING SPECIAL INSPECTIONS SHALL BE PERFORMED ACCORDING TO THE 2013 CBC:
 - PERIODIC SPECIAL INSPECTION OF FIELD WELDING

BRANCH RECEIVER (NEW, WHERE OCCURS)

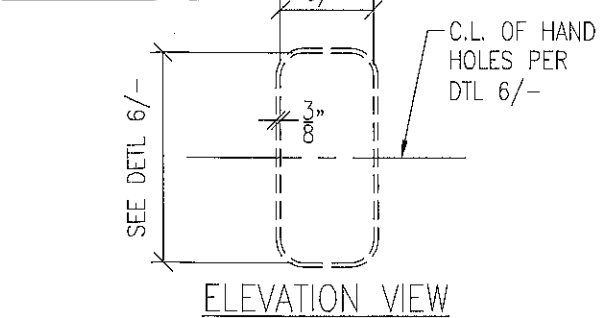
N.T.S. 7

COAX PORT HOLE SCHEDULE				
ELEV.	PORT SIZE	QTY	AZIMUTH	REF. DTL
16'-0"	8"x18"	3	16°/136°/256°	4/-
11'-0"	6"x12"	1	77°	4/-
3'-0"	9"x24"	2	158°/338°	3/-

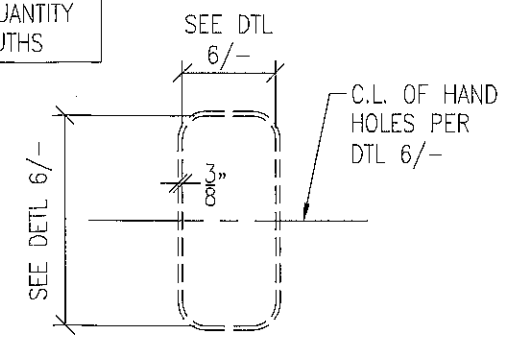
EXISTING PORT SCHEDULE

N.T.S. 6

NOTE: SEE DETAIL 6/- FOR PORT QUANTITY & AZIMUTHS



SECTION VIEW



ELEVATION VIEW

EXISTING HAND HOLES

N.T.S. 4

APPURTENANCES

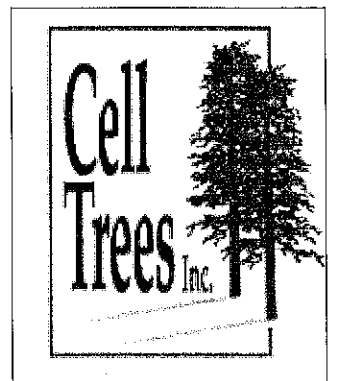
N.T.S. 2

VECTOR ENGINEERS
 9138 S. State St., Suite 101 (801) 990-1775
 Sandy, UT 84070 (801) 990-1776 FAX
 www.vectorse.com

DATE: 1/25/17 DESIGNED: MEG DRAFTER: MEG

REVISIONS	
DATE	DESCRIPTION

VERIZON



5401 S. CANADA PLACE
 TUCSON AZ 85706
 PH: 520-663-1330
 JOB #: 17-508

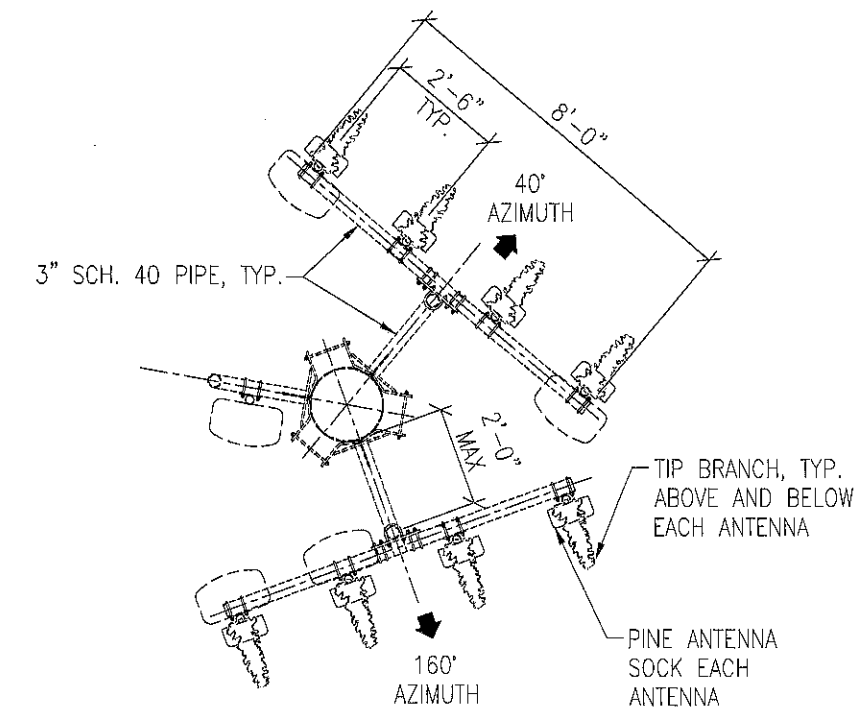
ANTENNA MOUNT DETAILS

CARMEL RESORT
 STRUCTURAL ANALYSIS FOR
 25'-0" TALL MONOPINE
 10985 AVENIDA MARIA
 SAN DIEGO, CA 92129

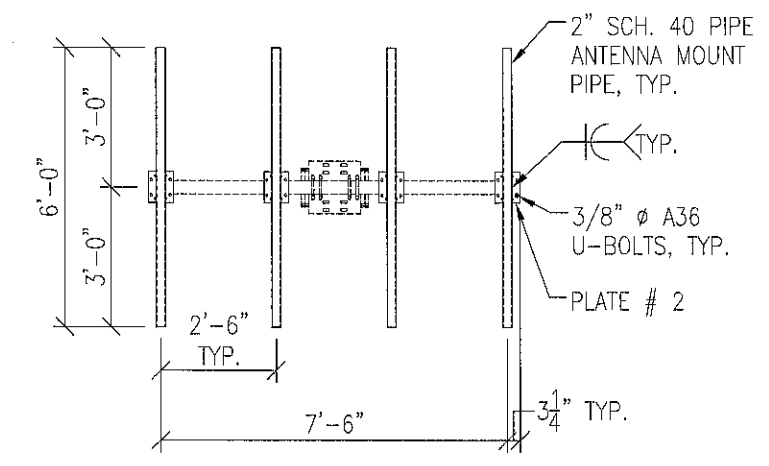
U1212-538-171

MP-4 REV 0

NOTE: THE MOUNTS HAVE BEEN ANALYZED FOR LOADING AS DEPICTED BELOW AND SPECIFIED IN DTL 2/MP-3



PLAN VIEW



ELEVATION VIEW

EXISTING ANTENNA MOUNT

NOT USED

4

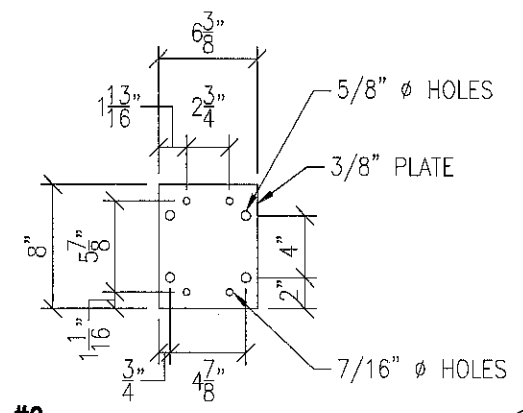


PLATE #2

5

NOT USED

6

NOT USED

2

NOT USED

3

1

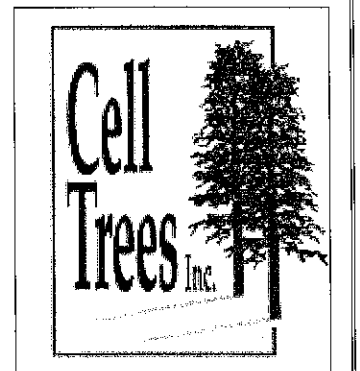
VECTOR
ENGINEERS

8138 S. State St., Suite 101 (801) 990-1775
Sandy, UT 84070 (801) 990-1776 FAX
www.vectorse.com

DATE: 1/25/17 DESIGNED: MEG DRAFTER: MEG

REVISIONS	
DATE	DESCRIPTION

VERIZON



5401 S. CANADA PLACE
TUCSON AZ 85706
PH: 520-663-1330
JOB #: 17-508

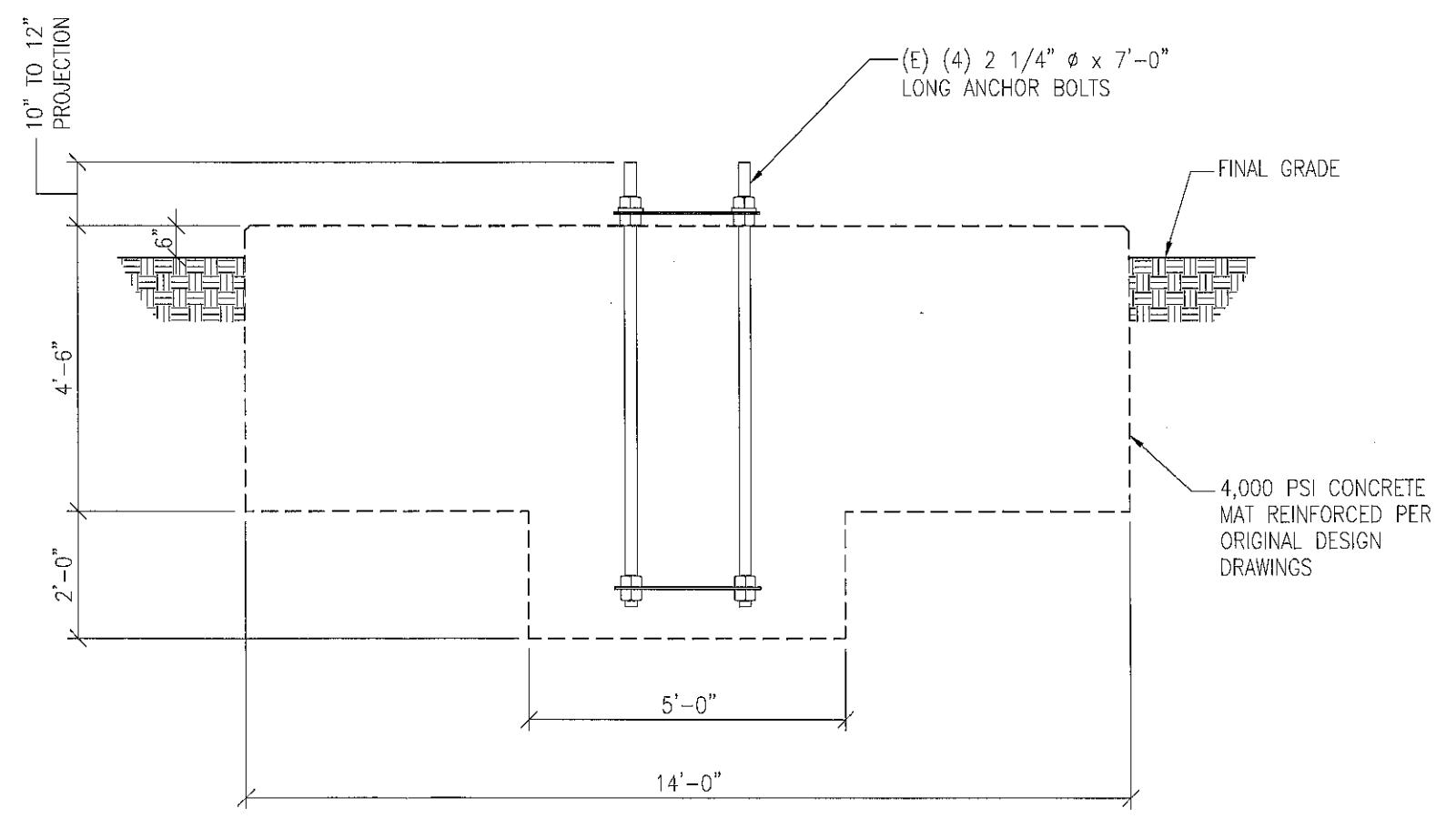
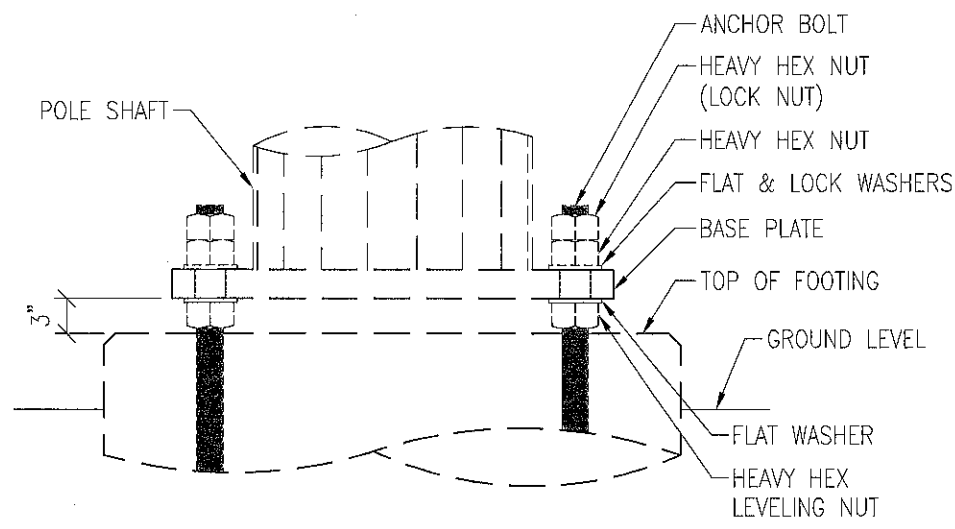
FOUNDATION
CARMEL RESORT
STRUCTURAL ANALYSIS FOR
25'-0" TALL MONOPINE
10985 AVENIDA MARIA
SAN DIEGO, CA 92129

U1212-538-171

MP-5 REV 0

FOUNDATION NOTES:

- FOUNDATION SHOWN IS BASED ON THE ORIGINAL DRAWINGS BY:
DAVINCI ENGINEERING, INC.
JOB #: 1511225-043
STAMPED DATE: MARCH 31, 2011
- FOUNDATION ANALYSIS IS BASED ON THE ORIGINAL GEOTECHNICAL REPORT:
TORO INTERNATIONAL
REPORT: 07-119.30
DATE: DECEMBER 15, 2009



EXISTING MAT FOUNDATION

EXISTING FOUNDATION

N.T.S. 2

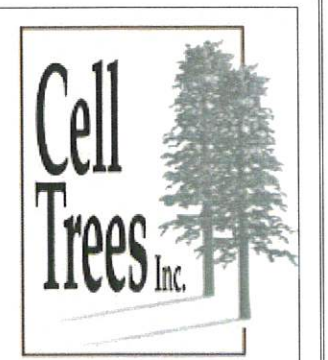
N.T.S. 1



DATE: 1/25/17 DESIGNED: MEG DRAFTER: MEG

REVISIONS	
DATE	DESCRIPTION

VERIZON

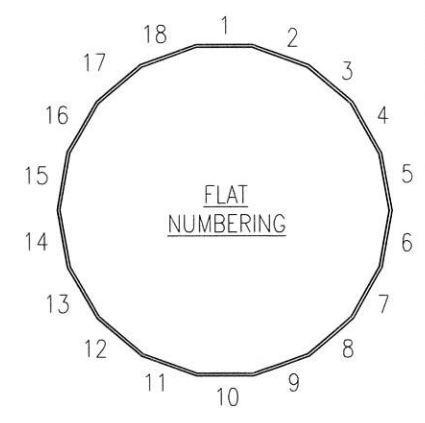
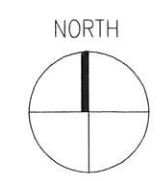


5401 S. CANADA PLACE
TUCSON AZ 85706
PH: 520-663-1330
JOB #: 17-508

BRANCH TABLES
CARMEL RESORT
STRUCTURAL ANALYSIS FOR
25'-0" TALL MONOPINE
10985 AVENIDA MARIA
SAN DIEGO, CA 92129

U1212-538-171

MP-6 REV 0



- T = BRANCH TIPS
- BB = BOOM BRANCH
- X = VACANT RECEIVER
- 2 = 2'-0" BRANCH
- 3 = 3'-0" BRANCH
- 4 = 4'-0" BRANCH
- 5 = 5'-0" BRANCH
- 6 = 6'-0" BRANCH
- 7 = 7'-0" BRANCH
- 8 = 8'-0" BRANCH
- 9 = 9'-0" BRANCH
- 10 = 10'-0" BRANCH
- TOTAL BRANCH COUNT = 55
- AVERAGE = 3.55 BRANCHES PER FOOT

		BRANCH LAYOUT																	
Elev	Deg	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
22.00	90										3								
22.00	30					3							3						3
21.25	30		4						4						4				
20.75	15				4						4					4			
20.25	15		T		T		6		T		T		6						6
19.75	15	T		6		T		T		6		T				6			
19.25	15	6		T		T		6		T		T			6				
18.75	0	T		T		6		T		T		6							6
18.00	0																		
17.25	0		6		T		T		6		T		T		6				
16.25	15		T		6		T		T		6		T				6		
15.25	15		T		T		8		T		T		8						8
14.25	15	T		8		T		T		8		T				8			
13.25	15	8						8				8			8				8
12.00	15					8						8							8
11.00	15		8						8						8				
10.00	15				8						8					8			
8.75	15						6					6							6
7.50	15			6						6					6				
6.50	15	6						6						6					