



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: October 30, 2019 REPORT NO. HO-19-100

HEARING DATE: November 6, 2019

SUBJECT: McCASLAND RESIDENCE SDP, Process Three Decision

PROJECT NUMBER: [553305](#)

OWNER/APPLICANT: Susan and Troy McCasland, Owner / Rob Balentine, Applicant

SUMMARY

Issue: Should the Hearing Officer approve an application to construct a detached 855 square-foot guest quarters at a site located at 2555 Ardath Road within the La Jolla Community Plan area?

Staff Recommendation: Approve Site Development Permit No. 1955589.

Community Planning Group Recommendation: On April 5, 2018 the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the project (Attachment 7).

La Jolla Shores Planned District Advisory Board Recommendation: On November 30, 2016, the La Jolla Shores Planned District Advisory Board voted 4-1-0 to recommend approval of the project (Attachment 8).

Environmental Review: The project was determined to be exempt from the California Environmental Quality Act pursuant to Section 15303. The environmental exemption determination for this project was made on September 13, 2019, and the opportunity to appeal the determination ended on September 27, 2019. There were no appeals to the environmental determination.

BACKGROUND

The project is located at 2555 Ardath Road and is developed with a 2,693 square-foot, one story single-family residence within an urbanized area in the La Jolla Community Plan area (Attachment 1). The surrounding properties are fully developed in a well-established residential neighborhood (Attachment 3). The project site is not located within the First Public Roadway as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan)

The 0.33-acre site is in the La Jolla Shores Plan District Single Family Zone, the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limit Overlay Zone, and the Parking Impact Overlay Zone (Coastal). Pursuant to San Diego Municipal Code Section (SDMC) 1510.0201, a Process Three, Site Development Permit is required for the construction of the project within the La Jolla Shores Planned District. A Coastal Development Permit is not required since the project does not include a kitchen.

DISCUSSION

The project includes the construction of a detached 855 square-foot guest quarters without a kitchen. The project is consistent with the Community Plan and the La Jolla Shores Precise Plan (Precise Plan), since guest quarters are an accessory use to an existing single-family residence, a land use supported by the Community Plan and Precise Plan. There are no public view corridors, vantage points, or physical access routes from the project site.

The project site is designated by the Community Plan for low density residential uses (5-9 dwelling units/acre), and the project is consistent with this land use designation. In addition, the project complies with all the development standards required by the La Jolla Shores Plan District Single Family Zone, including height, density, building setbacks, and lot coverage, and parking. There are no deviations or variances necessary or requested.

The project will not be detrimental to the public health, safety, and welfare. The Permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscaping improvements, and ensuring the construction of the residential driveway to current City standards. In addition, the project site does not contain any sensitive biological resources or environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area.

City staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration. Staff recommends that the Hearing Officer approve Site Development Permit No. 1955589 for the project.

ALTERNATIVES

1. Approve Site Development Permit No. 1955589, with modifications.
2. Deny Site Development Permit No. 1955589, if the findings required to approve the project cannot be affirmed.

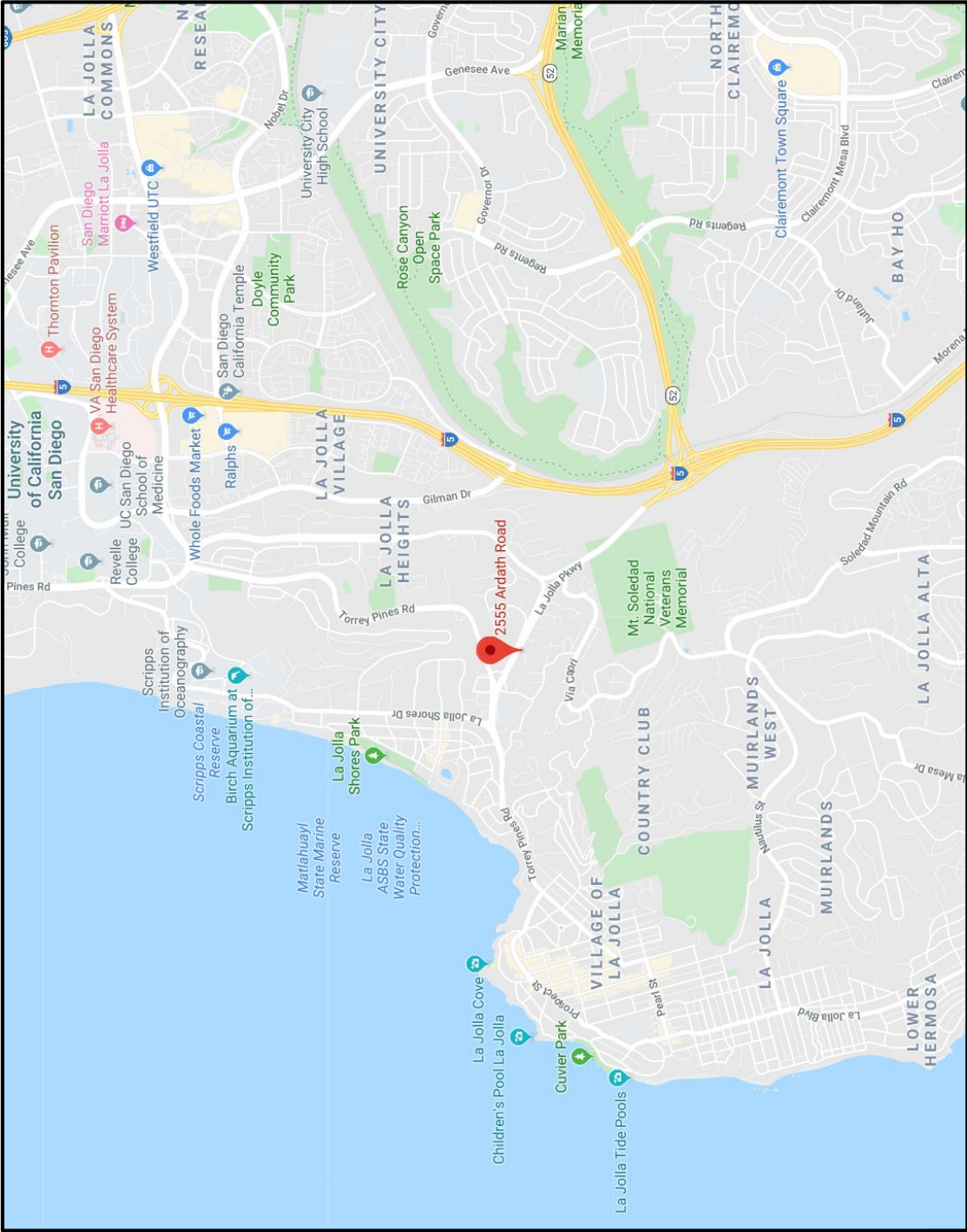
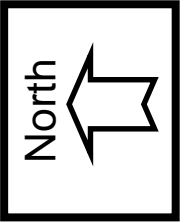
Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Xavier Del Valle", written in a cursive style.

Xavier Del Valle, Development Project Manager

Attachments:

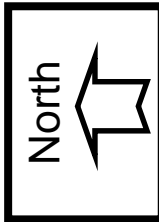
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. NORA Environmental Determination
7. Community Planning Association Recommendation
8. La Jolla Shores Planned District Advisory Board Recommendation
9. Ownership Disclosure Statement
10. Project Plans



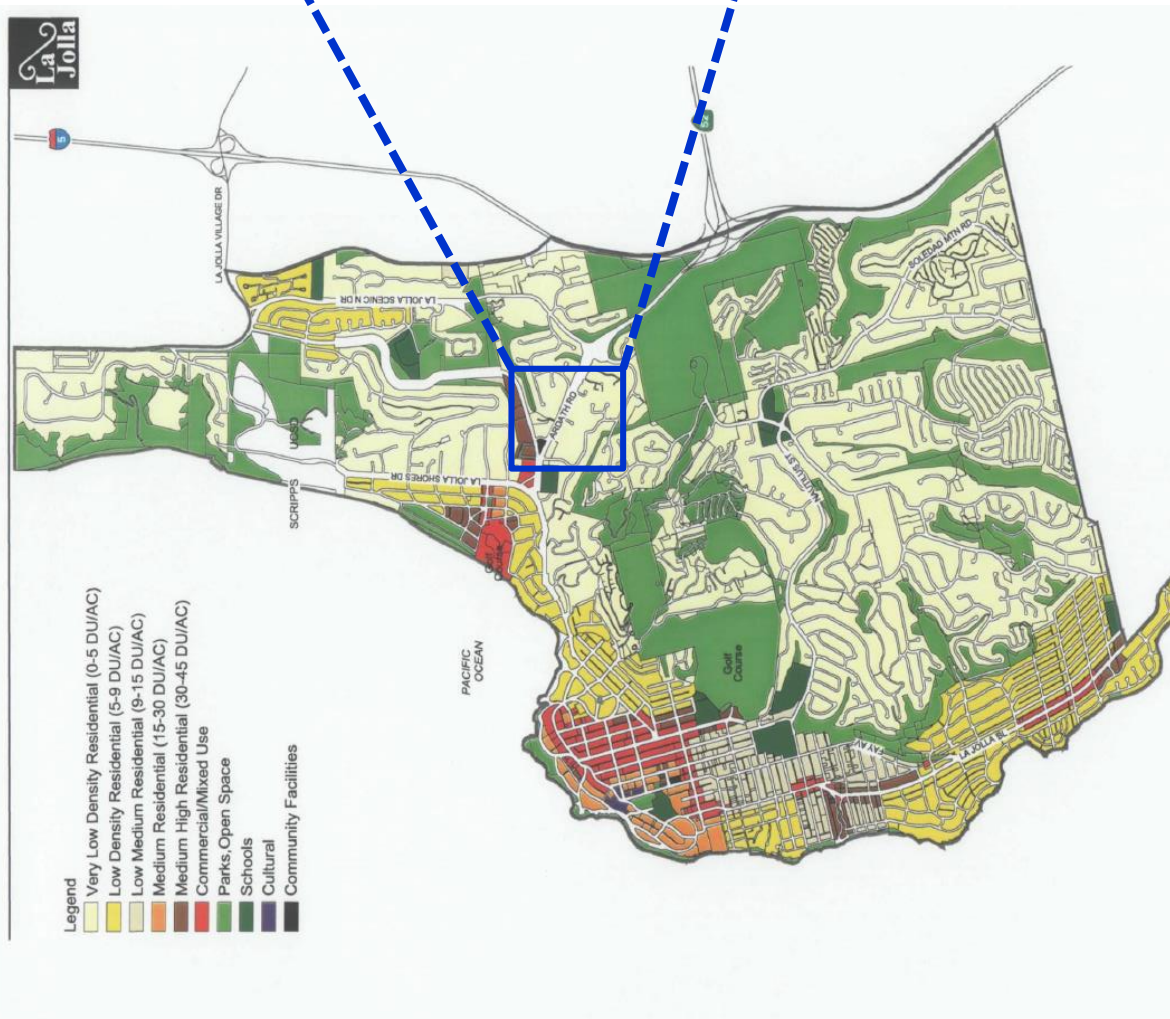
Project Location Map

McCasland Residence SDP
Project No. 553305 – 2555 Ardath Road





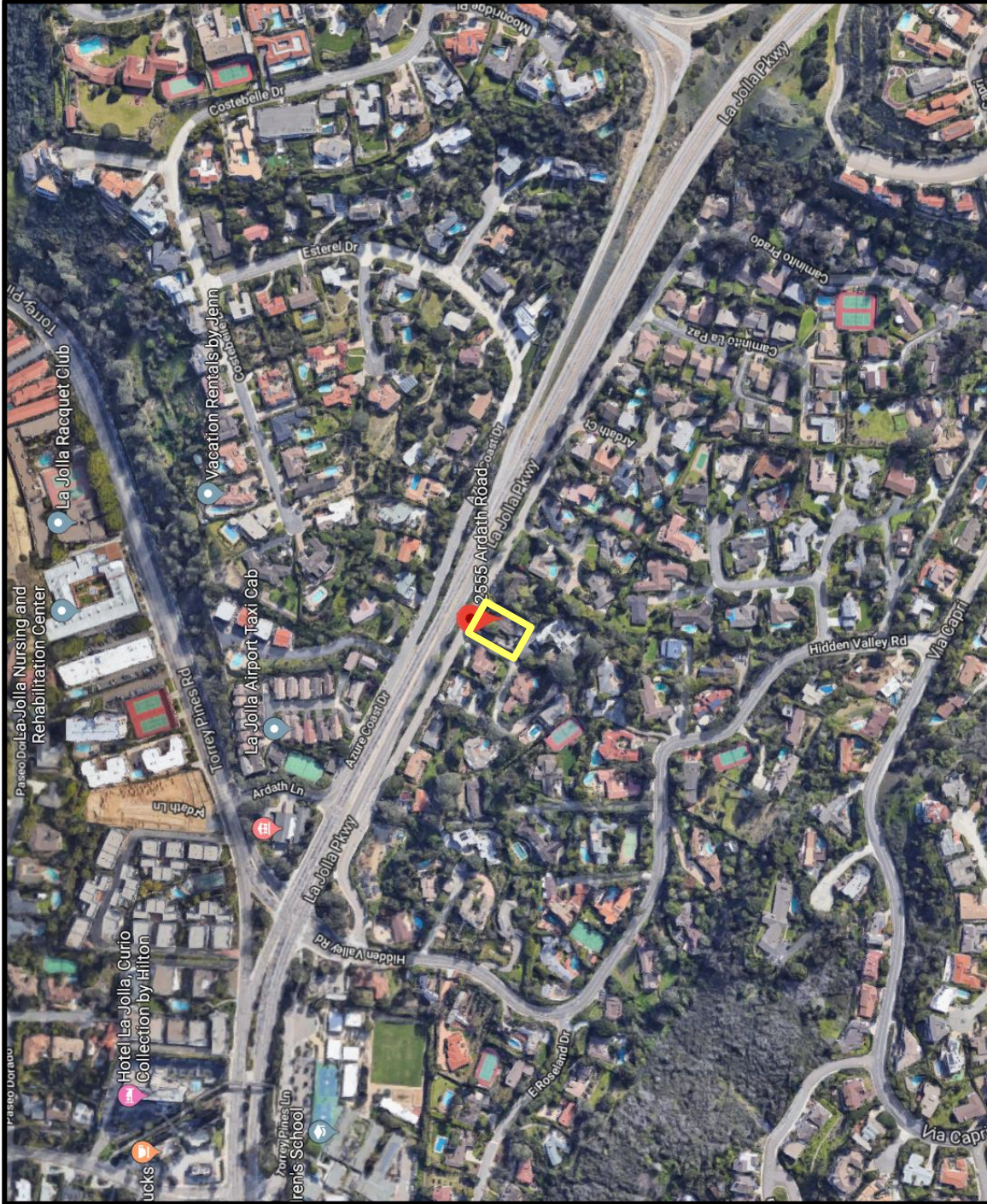
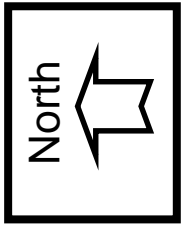
Project Site



Land Use Map

McCasland Residence SDP
Project No. 553305 – 2555 Ardath Road





Aerial Photograph

McCasland Residence SDP

Project No. 553305 - 2555 Ardath Road



HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. 1955589
MCCASLAND RESIDENCE SDP - PROJECT NO. 553305

WHEREAS, TROY W. MCCASLAND and SUSAN A. MCCASLAND, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a detached 855 square-foot guest quarters (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 1955589), on portions of a 0.33-acre site;

WHEREAS, the project site is located at 2555 Ardath Road and is in the La Jolla Shores Plan District Single Family Zone, the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limit Overlay Zone, and the Parking Impact Overlay Zone (Coastal) within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 1288 of Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to map thereof made by James Pascoe in 1870;

WHEREAS, on September 13, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on November 6, 2019, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1955589 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 1955589:

A. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project is located at 2555 Ardath Road and is developed with a 2,693 square-foot, one story, single family residence within an urbanized area in the La Jolla Community Plan area. The project includes the construction of a detached 855 square-foot guest quarters with no kitchen. The a 0.33-acre site is designated by the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan) for low density residential uses (5-9 dwelling units/acre), and the project is consistent with this land use designation.

In addition, the project is consistent with the Community Plan and the La Jolla Shores Precise Plan (Precise Plan) since guest quarters are an accessory use to an existing single-family residence, a land use supported by the Community Plan and Precise Plan. There are no public view corridors, vantage points, or physical access routes from the project site. Therefore, the project will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public, health, safety, and welfare.

The project is located at 2555 Ardath Road and is developed with a 2,693 square-foot, one story, single family residence within an urbanized area in the La Jolla Community Plan area. The project includes the construction of a detached 855 square-foot guest quarters with no kitchen. The project will not be detrimental to the public health, safety, and welfare. The project provides an accessory use to an existing single-family residence, a land use supported by the La Jolla Community Plan and the La Jolla Shores Precise Plan.

In addition, the Permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. Permit requirements include implementing storm water construction best management practices, maintaining landscaping improvements, and ensuring the construction of the residential driveway to current City standards. The project site does not contain any sensitive biological resources or environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. Therefore, the project will not be detrimental to the public, health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project is located at 2555 Ardath Road and is developed with a 2,693 square-foot, one story, single family residence within an urbanized area in the La Jolla Community Plan area. The project includes the construction of a detached 855 square-foot guest quarters with no kitchen. The project provides an accessory use to an existing single-family residence, a land use supported by the La Jolla Community Plan (Community Plan) and the La Jolla Shores Precise Plan.

In addition, the project complies with the all the development standards required by the La Jolla Shores Plan District Single Family Zone, including height, density, building setbacks, and lot coverage, and parking. There are no deviations or variances necessary or requested. Therefore, the project will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1955589 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1955589, a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on: November 6, 2019

IO#: 24007315

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007315

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1955589
McCASLAND RESIDENCE SDP PROJECT NO. 553305
HEARING OFFICER

This Site Development Permit No. 1955589 is granted by the Hearing Officer of the City of San Diego to Troy W. McCasland and Susan A. McCasland, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0505. The 0.33-acre site is located at 2555 Ardath Road and is in the La Jolla Shores Plan District Single Family Zone, the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limit Overlay Zone, and the Parking Impact Overlay Zone (Coastal) within the La Jolla Community Plan. The project site is legally described as Lot 1288 of Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to map thereof made by James Pascoe in 1870.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a detached 855 square-foot guest quarters described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 6, 2019, on file in the Development Services Department.

The project shall include:

- a. A detached 855 square-foot guest quarters without a kitchen; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable

guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 21, 2022.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until the Owner/Permittee signs and returns the Permit to the Development Services Department, and the Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the

discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment and Maintenance Removal Agreement from the City Engineer for the private sign within the Ardath Road public right-of-way.

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of a current City Standard driveway adjacent to the site on Ardath Road, in a manner satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards

LANDSCAPE REQUIREMENTS:

16. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District, the La Jolla Community Plan Residential Street Tree District, and the Land Development Manual – Landscape Standards.
17. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including within the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.
18. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
19. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
21. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 6, 2019, and [Approved Resolution Number].

DRAFT

ATTACHMENT 5

Site Development Permit No. 1955589
Date of Approval: November 6, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Troy W. McCasland

Owner/Permittee

By _____
Susan A. McCasland

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: September 13, 2019

**NOTICE OF RIGHT TO APPEAL
ENVIRONMENTAL DETERMINATION
DEVELOPMENT SERVICES DEPARTMENT**

SAP No. 24007315

PROJECT NAME / NUMBER: McCasland Residence SDP / 553305

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 2555 Ardath Road, La Jolla, CA 92037

PROJECT DESCRIPTION: The project proposes a Site Development Permit for a detached 855-square-foot habitable accessory structure to an existing residence located at 2555 Ardath Rd. The 0.33-acre site is designated Low Density Residential pursuant to the La Jolla Community Plan and Local Coastal Program and is subject to the Single Family (SF) zone of the La Jolla Shores Planned District. The project is also subject to the Coastal (Non-appealable) Overlay zone, Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Coastal), and Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303(a), "New Construction or Conversion of Small Structures."

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City conducted an environmental review which determined that the project is exempt from CEQA pursuant to CEQA Guidelines Section 15303, which allows for the construction and location of limited numbers of new, small facilities or structures, more specifically in subsection (a), *second dwelling unit*. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

DEVELOPMENT PROJECT MANAGER: Xavier Del Valle

MAILING ADDRESS: 1222 First Avenue, MS 301, San Diego, CA 92101-4153

PHONE NUMBER / EMAIL: (619) 557-7941 / XDelValle@sandiego.gov

Attachment 6

On September 13, 2019 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (September 27, 2019). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



La Jolla Community Planning Association

Date: April 24, 2018

To: Tim Daly, City of San Diego

CC: Rob Balentine

Subject: La Jolla Community Planning Association Vote

RE: McCasland Addition Project

On April 5, at the Regular meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed the McCasland Addition Project as an action item on the consent agenda.

10.3 McCasland Addition Project 2255 Ardath Road, Project # 553305 (Process 3). Site development Permit and Coastal Development Permit for the addition of an 855 sq. ft. single story companion unit to an existing 2,693 sq. ft. single story single family dwelling with an FAR of 0.18. The site is located at 2555 Ardath Road within the Coastal Overlay Zone (non-appealable) in the LJSPD-SF zone(s) of the La Jolla Shores Planned District Area within Council District 1.

PRC Motion: Findings CAN be made for a Site Development Permit and Coastal Development Permit for Project Description for Project # 553305. Vote: 7-0.

The LJCPA voted on consent to accept the recommendation of the PRC subcommittee. Vote 14-0-1.

Sincerely,

**Bob Steck
President**

858-456-7900



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

Meeting Minutes for November 30th, 2016

615 Prospect Street, Room 2

La Jolla, CA 92037

Trustee	Attendance	Trustee	Attendance
Dolores Donovan	Present	Herbert Lazerow	Present
Dan Goese	Present	Jane Potter	Present
Andrea Moser	Present	Susanne Weissman	Present

1. **Call to Order:** 11:00am
2. **Announcement of New Advisory Board Members**
Welcome to Andrea Moser and Herbert Lazerow
3. **Approval of the Agenda**
Correction to Information Item A - Current gross square footage should be 4,300 sf and to Action Item A - Total square footage should be 1,795 sf. **Motion:** Approve agenda with corrections. Lazerow/Donovan. 5-0-0.
4. **Approval of the Minutes**
Approval of the minutes continued for lack of a quorum of members who were present at the August 19, 2016 meeting.
5. **Public Comment:**
None.
6. **Project Review**

ACTION ITEMS / INFORMATION ITEMS

Action Item A

Project: Calle Corta (Continued from August 19th Meeting)

2337 Calle Corta APN: 346-120-1300

Presented by: Francis Czerner

Description:

Addition to an existing 4,133 sq. ft. two story residence on a 0.72-acre site. Single story addition includes two new bedrooms, bathrooms, an exercise room, and guest kitchenette

totaling 1,795 sf.

Presentation

- Revised plans include an articulated wall to respond to Advisory Board members' concerns
- Windows already included along the wall.
- Setbacks related to the addition have been brought to 5 feet from the property line

Comments

- Questions asked regarding the definition of a "guest kitchenette" and a companion unit.
- Question asked regarding how far existing neighboring residences are from the project. According to the architect the nearest building is approximately 35 feet away.
- Concerns over whether the proposed project could be a separate unit. According to the architect the addition is designed to accommodate visiting family and to facilitate medical care for the property owner.

Motion: Approve project as Major Project – Process 3. Project conforms to the LJSPD as adopted by the City Council. Potter/Donovan. 5-0-0. Motion passed.

Action Item B

Project: Elkins Residence

8260 Paseo del Ocaso APN: 346-231-1700

Presented by: Tim Golba

Description

CDP/SDP for demolition of existing single-family home w/ attached garage on a 7,886 sf lot and construct a new 2-story single family residence with basement, roof deck, and attached garage.

Presentation

- Project has obtained all City reviewer clearances including Climate Action Plan (CAP) checklist evaluation
- Project is located on a U-shaped lot that is open to the west
- Project is being designed in an L-shape to allow courtyard and sun access. Also includes pool and roof deck.
- Design is considered an "Inverted House" with living room and kitchen on the 2nd floor and bedrooms on the 1st floor
- Basement included as a result of soils report requirement for digging out compacted soils

Comments

- Questions asked of guestroom. Architect explains that it will be for the nanny.
- Landscaping will meet 30% plantable area requirement
- Basement not included in FAR calculation since it's located underground

- Project will not result in shading other adjacent properties

Motion: Approve project as a Major Project Process 3. Project conforms to the LJSPD as adopted by the City Council. Donovan/Potter. 5-0-0.

Approval of item B followed by general discussion by Board Members about better project notification to adjacent neighbors and how the protection of private views are not within the purview of the advisory body.

Action Item C

Project: PTS 496475 - McCasland Residence

2557 Ardath Road APN: 352-083-3100

Presented by: Rob Balentine

Description

Combination Building Permit for a new companion unit including 2 bedrooms, bath, kitchen, and storage to an existing single-family residence.

Presentation

- Kitchenette design pursued to be eligible for Process 1 review and avoid Coastal Development Permit processing
- Project includes a 855 sf granny flat that would replace the existing shack along Ardath Road and be separated from the main building by 6 feet

Comments

- Concerns regarding 38% increase in square footage
- Project will be visible from the public right-of-way
- Difficult to see how the proposed project would be a Process 1.

Motion: Approve project as a Major Project Process 3. Project conforms to the LJSPD as adopted by the City Council. Potter/Moser. 4-1-0. Motion approved.

Approval of item C followed by general discussion by Board Members concerning clarification of Site Development Permits and Coastal Development Permits and an emphasis on projects returning if they change their scope after the Advisory Board provides a recommendation. It was also mentioned that in the past when the Advisory Board approved an increase in over 20% FAR, the proposed addition was not visible from the street. It was suggested that if applicants have projects that are proposing a significant increase in FAR that they provide information typically associated with Process 3 Major projects (e.g. comparison of existing FAR's in the neighborhood).

Action Item D

Project: PTS 514417 - Manicet Addition

8144 La Jolla Shores Drive APN: 346-283-1300

Presented by: Eduardo Frischwasser

Description

Existing single story home is proposing a room addition (family room) and covering an existing patio to convert into a dining room. Total addition 394 SF.

Presentation

- Project will add 394 sf to an existing single-family house
- Addition is not visible from the street
- Includes 100 sf for courtyard
- Project results in 24% increase in building square footage

Comments

- Given no additional bath or kitchen – project appears to look like a real remodel
- Project remodel is considered “small” compared to what has been typically proposed along La Jolla Shores Drive

Motion: Approve project as a Minor Project Process 1. Lazerow/Potter. 4-0-0. motion approved.

Board Member Donovan leaves meeting at 12:00pm. Quorum is maintained with 4 members present: Goese, Moser, Potter, and Lazerow.

Information Item A

Project: Cliffridge Lane Addition

8893 Cliffridge Lane

Presented by: Brian Will

Two-story Addition of 800 to 1,000 sf to an existing 3,612 sf two-story house with existing 700 sf garage on a 10,000 sf lot. Current Gross Floor Area is 4,300 sf with an existing FAR of 0.43.

Presentation

- Project seeking direction on proposal
- Project includes a bridgeway connecting 2nd story of the addition to the main house
- Addition includes guest room with bath on the 1st floor and home office with ½ bath on the 2nd floor

Comments

- Sensitivity to views important with relationships with neighbors as it relates to neighborhood character
- Starting dialogue with adjacent neighbor about the proposed design can be beneficial

Adjournment: 12:50pm



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title *McCASLAND RES. GUEST QUARTERS* **Project No. For City Use Only**

Project Address:
2555 AROATH RD. LA JOLLA, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
TROY & SUSAN McCASLAND
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
2555 AROATH RD.
 City/State/Zip:
LA JOLLA, CA 92037
 Phone No: _____ Fax No: _____

Signature: *[Signature]* Date: *3/14/17*

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 City/State/Zip:
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

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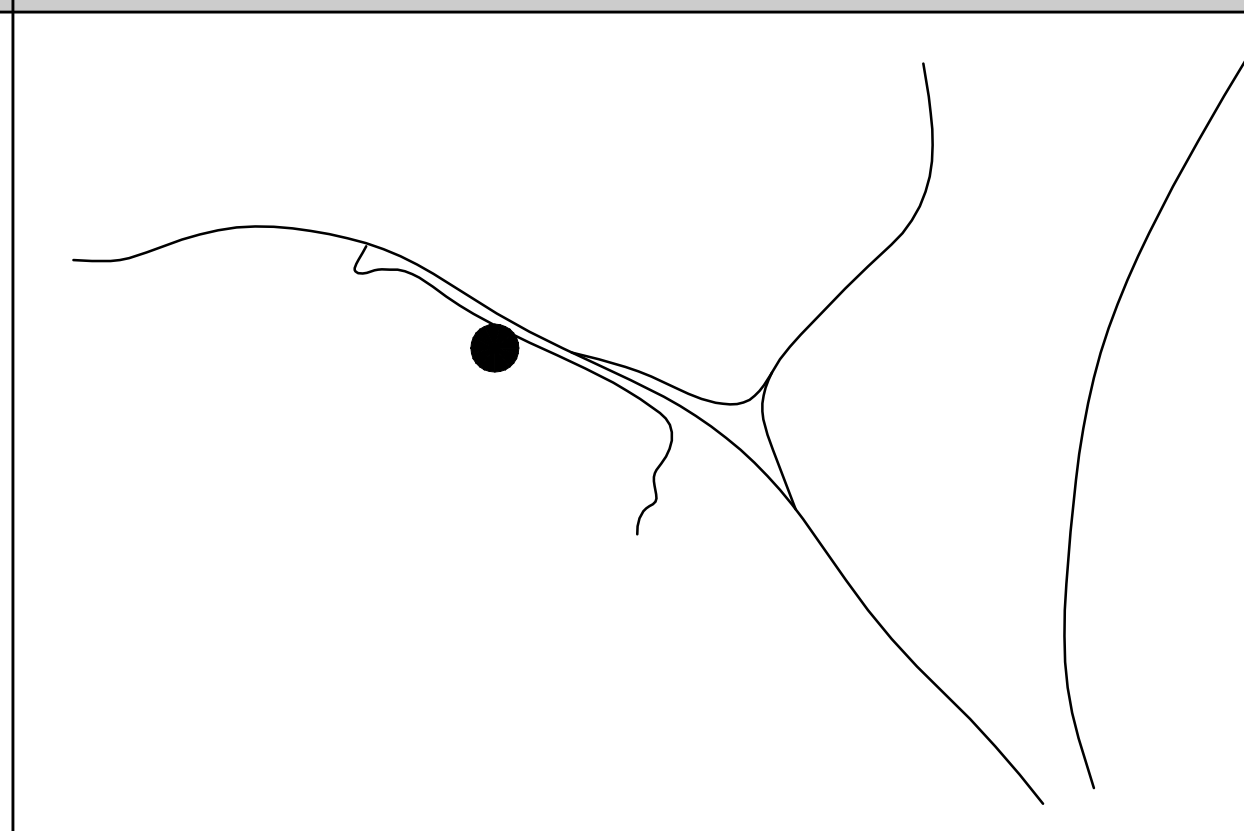
Street Address:
 City/State/Zip:
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

SITE PLAN NOTES

VICINITY MAP

- DESIGNER IS NOT RESPONSIBLE FOR LAND SURVEY OR TOPOGRAPHICAL INFORMATION. FIELD VERIFY ALL INFORMATION.
- THE CONTRACTOR OR OWNER/BUILDER SHALL BE RESPONSIBLE FOR SITE SURVEY, SETBACKS, ETC. IF DISCREPANCIES WITH DIMENSIONS OF SITE PLAN TO FLOOR PLAN AND LOCAL ZONING ORDINANCES CANNOT BE MET, NOTIFY THE DESIGNER PRIOR TO TRENCHING OF FOOTINGS, EXCAVATING, ETC.
- THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL WORK TO BE DONE TO PREPARE THE SITE FOR THE NEW OR REMODELED CONSTRUCTION.
- ALL FINISH GRADES AROUND THE EXTERIOR OF THE STRUCTURE SHALL BE SLOPED TO DRAIN SURFACE WATER AWAY FROM THE STRUCTURE(S). THE GRADE SHALL FALL A MINIMUM OF 6" INCHES (5% SLOPE) WITHIN THE FIRST 10'-0".
- THE CONTRACTOR OR OWNER/BUILDER SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROTECT ANY EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING ANY WORK ON THE PROJECT.
- PLAN CHANGES REQUIRE PRIOR APPROVAL OF THE COMMUNITY DEVELOPMENT DEPARTMENT. PROPOSED PLAN CHANGES SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS DUE TO THE CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S, WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET. A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT INTO THE STREET.
- ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS, WHICH PROPOSED THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.

- THE CONTRACTOR SHALL RESTORE ALL EROSION / SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACHES ITS EFFECTIVENESS.
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REVISIONS	BY

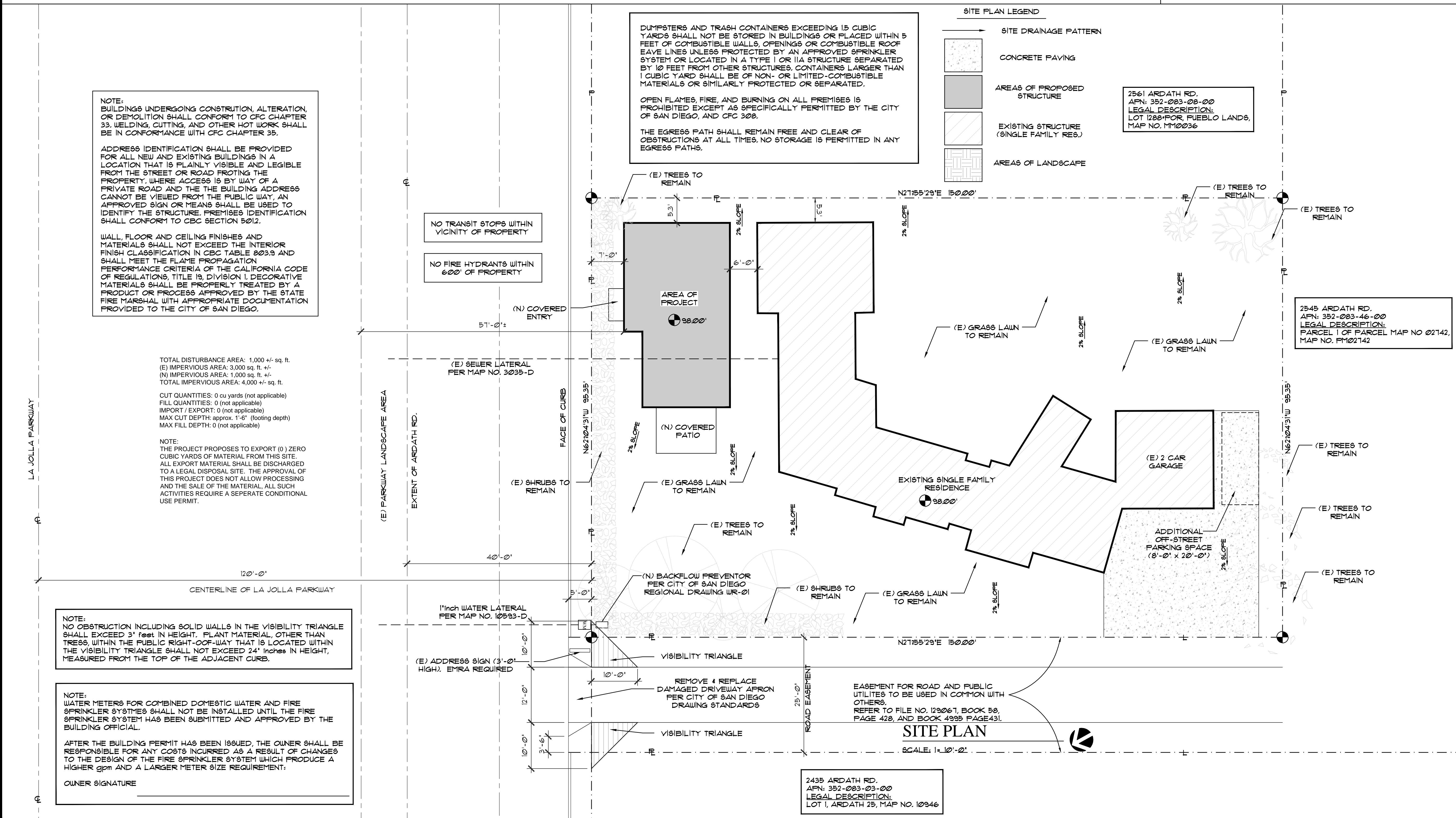
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 10755 SCRIPPS POWAY PKWY., SUITE 226
 SAN DIEGO, CALIFORNIA 92131
 (619) 531-5106 www.BalentineConsulting.com

McCASLAND RESIDENCE
 RESIDENCE
 2555 Ardath Road
 La Jolla, California 92037
 DETACHED GUEST QUARTERS

SITE PLAN
 SDP APPROVAL SET

DRAWN	RMB
DATE	2/1/19
JOB NUMBER	16020
SHEET	A2.1

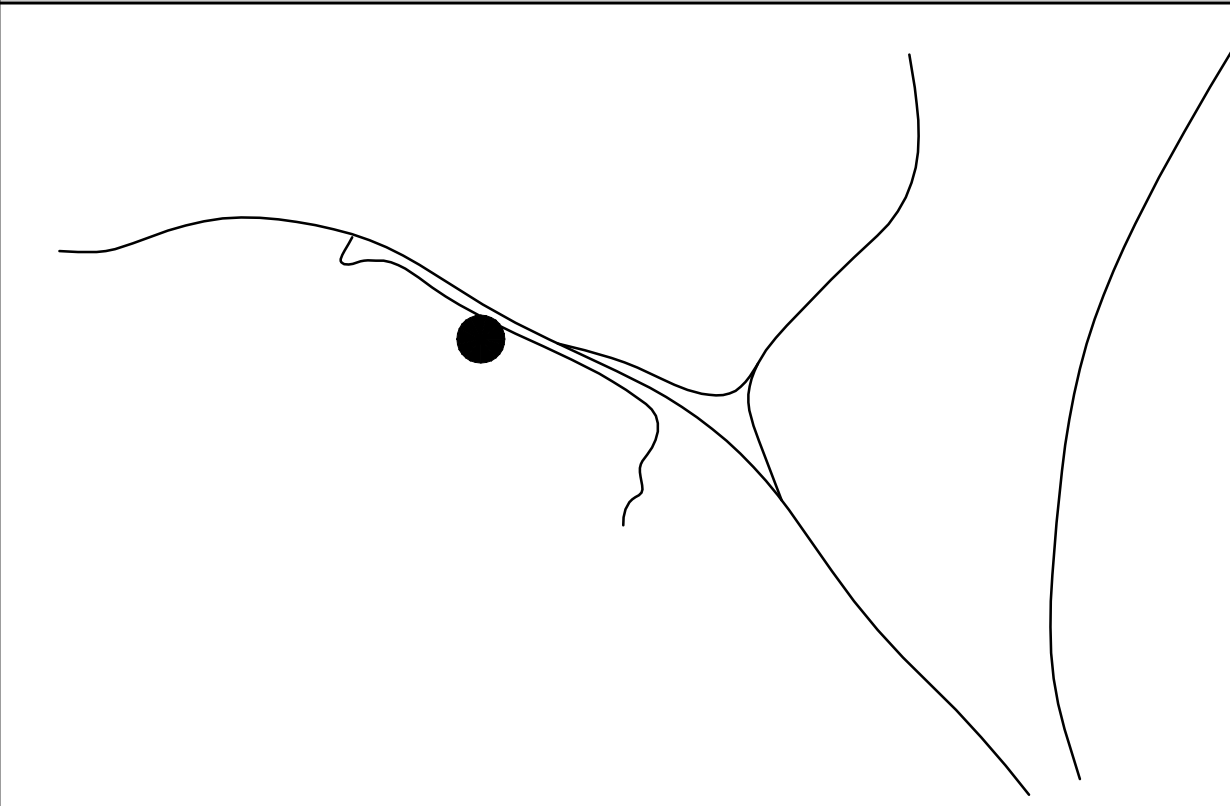
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SITE PLAN NOTES

VICINITY MAP

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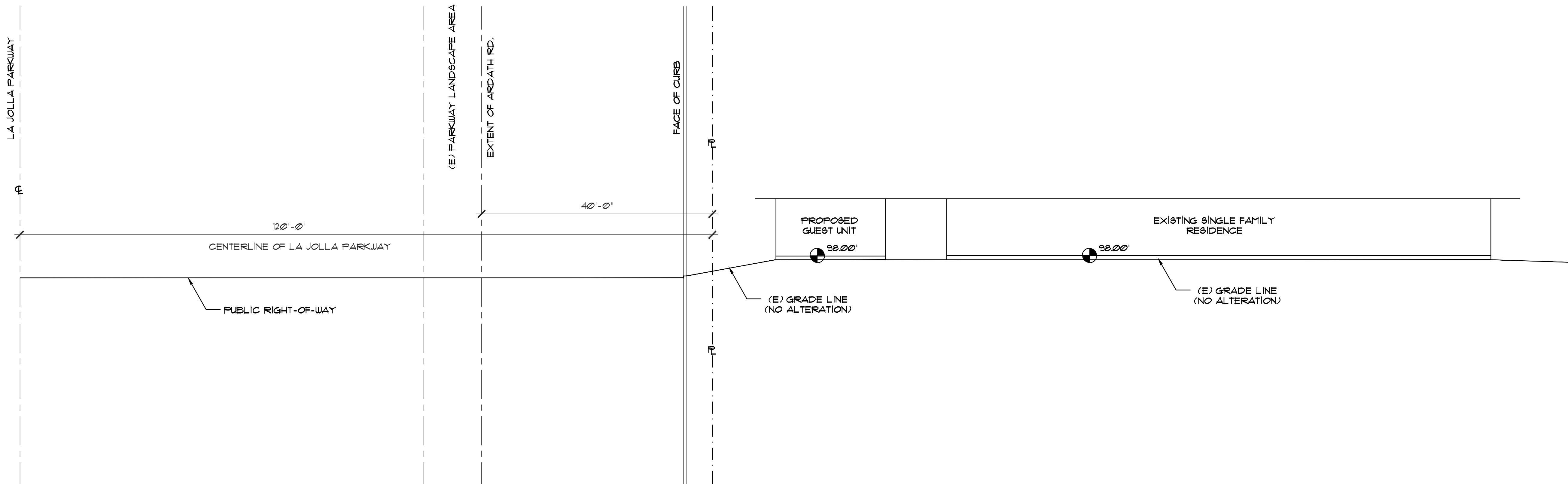


REVISIONS	BY

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CONSULTING

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McCASLAND RESIDENCE
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La Jolla, California 92037
DETACHED GUEST QUARTERS



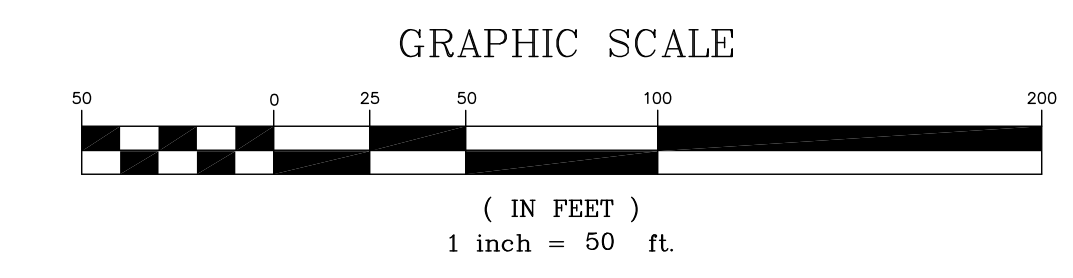
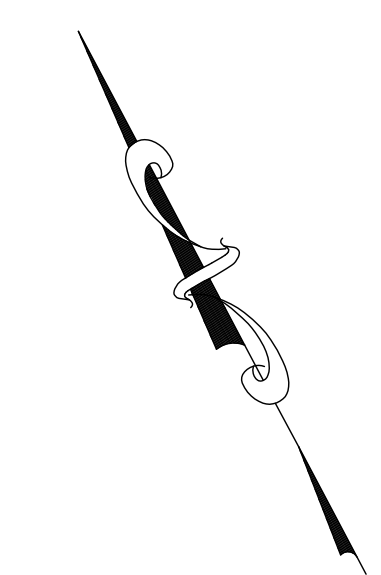
TYPICAL SITE CROSS-SECTION
SDP APPROVAL SET

TYPICAL SITE CROSS-SECTION
SCALE: 1" = 10'-0"

DRAWN	RFB
DATE	2/1/19
JOB NUMBER	16020
SHEET	

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SETBACK EXHIBIT
2555 ARDATH ROAD
LA JOLLA, CA 92037

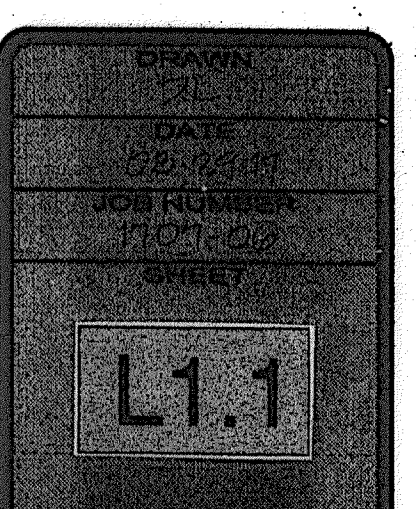


REVISIONS	BY

livingston
a s o c i a t e s
landscape architecture & planning
6595 lamda drive san diego, california 92120
tel: 619.553.4105
ca license #2320 ar license #16824

MCCASLAND RESIDENCE
RESIDENCE
2537 Ardath Road
La Jolla, California 92037
DETACHED GUEST UNIT

CONCEPTUAL LANDSCAPE
DEVELOPMENT PLAN
EXISTING CONDITIONS PLAN



Irrigation & Landscape Notes:

Design Concept:
The existing landscape has been maintained to enhance an existing one-story residence with a guest-house addition along the street side of the residence. It is a high priority to maintain the existing plant material surrounding the existing residence as much as possible. The landscape has been developed to maintain existing shrubs and trees along the front of the residence when possible for privacy from the very busy street. The existing street trees help provide privacy to the front of the house which also faces onto a private access drive.

Irrigation Concept:
An existing irrigation system shall be maintained as required for proper irrigation, development and maintenance of the vegetation. The existing irrigation system incorporates the proper anti-siphon backflow prevention device with the four (4) existing electric remote control valves.

Landscape:
All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.

Improvement and Minimum Distance to Street Tree:

Traffic signals (stop signs) -	20 feet
Underground utility lines (except sewer) -	5 feet
Sewer lines	10 feet
Above ground utility structures -	10 feet
Driveway (entries) -	10 feet
Intersections (intersecting curb lines of 2 streets) -	25 feet

Maintenance:
All landscape areas shall be maintained free of debris and litter with plant material maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit. The private individual homeowner will be the responsible party of landscape maintenance.

Existing Plant Material:
The existing trees and shrubs as indicated on the plan shall remain and be protected from damage during the construction process.

Damage:
If any existing landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired and / or replaced in kind and of equivalent size per the approved plans.

Landscape Legend and Notes:

Designated Project Area Notes:

Previously Conforming Properties: This is an existing single-family residence with the percentage increase between the additional gross floor area (855 s.f.) and the existing gross floor area (2,693 s.f.) is 31.8%. (According to Previously Conforming Properties Landscape Requirements Article 142.0401 Landscape Regulations.)

Street Trees: Existing and proposed street tree plantings include the following:

- Ardath Road - 95 lineal feet (three street trees required / two street trees are existing, one tree proposed)
- Existing - One (1) Schinus terebinthifolius / Brazilian Pepper Tree (35ft. ht. x 42ft. spr., 42" caliper)
- Existing - One (1) Schinus terebinthifolius / Brazilian Pepper Tree (40ft. ht. x 25ft. spr., 36" caliper)
- Proposed - One (1) Platanus x acerifolia 'Bloodgood' / Sycamore Bloodgood (24" box)

Street Yard Area: Within the Street Yard Area, where possible, the existing plant material shall remain, see Landscape Legend and Notes.

No Construction Zone: Existing street trees (typical) have a construction free zone that shall be maintained at a minimum of 40 square feet.

Existing fixed improvements to remain:

- (A) Existing address monument wall to remain.
- (B) Existing 25ft. private access drive easement to remain.
- (C) Existing brick walkway and brick steps to remain.
- (D) Existing railroad tie retaining wall to remain.
- (E) Existing brick walkway to remain.
- (F) Existing asphalt driveway to remain.
- (G) Existing irrigation valves and irrigation controller to remain.

Proposed fixed improvement:

- (a) Proposed brick walkway to front door entry.

Existing plant material to remain:

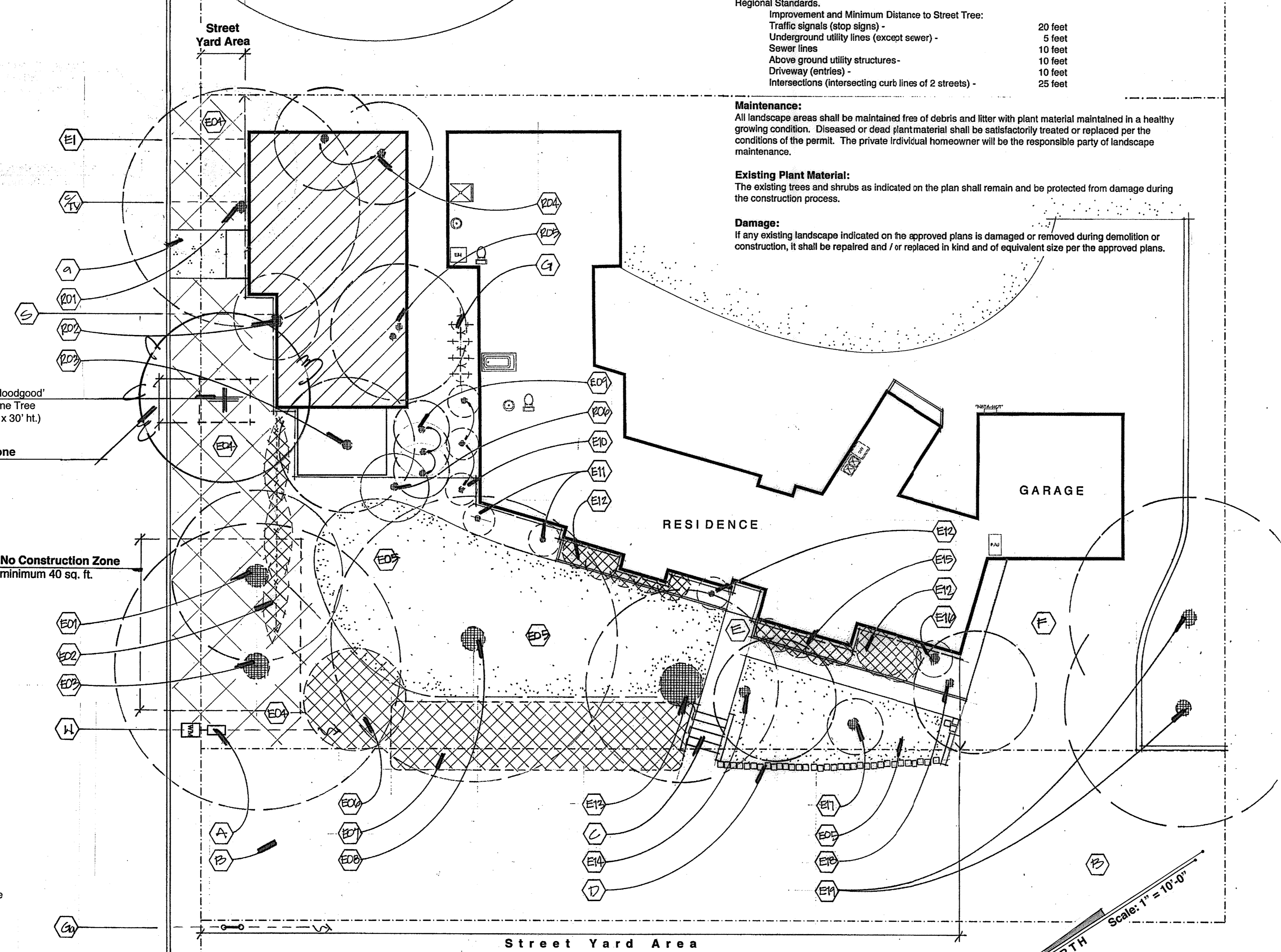
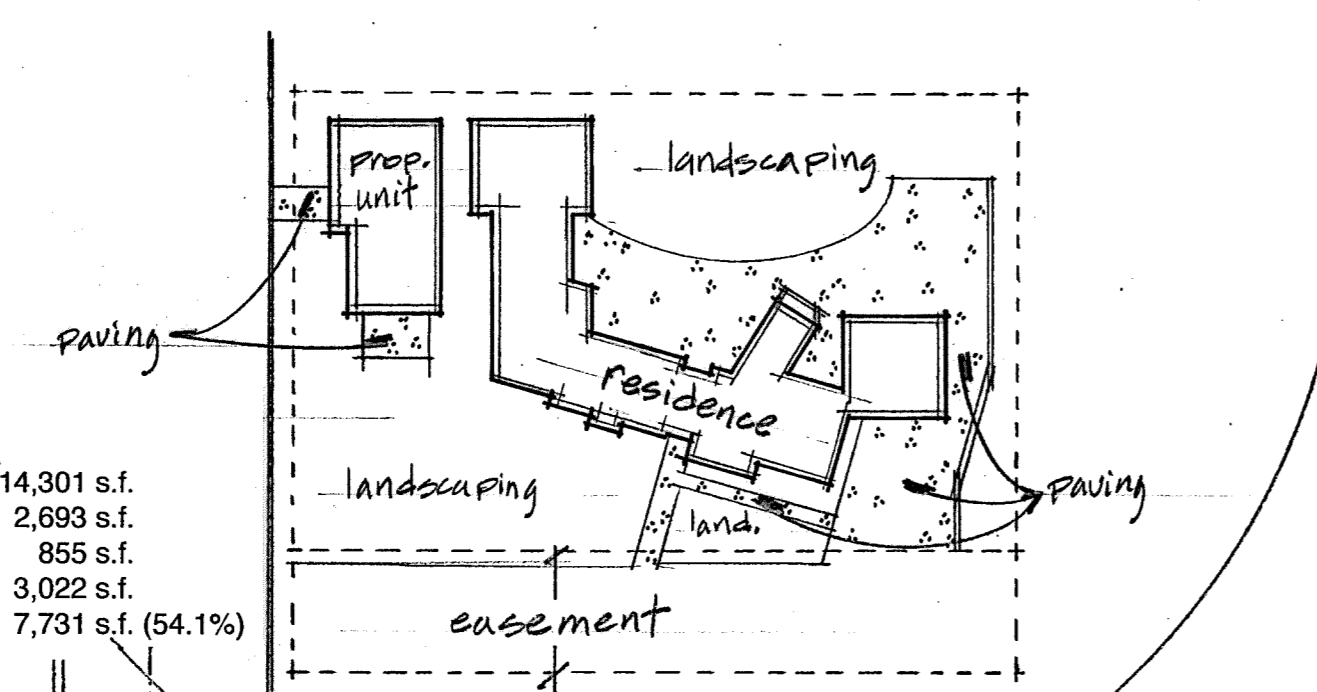
- (E01) Existing Schinus terebinthifolius / Brazilian Pepper, 40ft. ht. x 25ft. spr., 36in. caliper to remain
- (E02) Existing Clytostoma specie / Trumpet Vine on fence, 6ft. ht. x 30ft. length, to remain
- (E03) Existing Schinus terebinthifolius / Brazilian Pepper, 35ft. ht. x 45ft. spr., 42in. caliper to remain
- (E04) Existing Hedera helix 'Needlepoint' / Needlepoint Ivy groundcover to remain
- (E05) Existing turf to remain
- (E06) Existing Philodendron bipinnatifidum / Split-leaf Philodendron clump, 6ft. ht. x 15ft. to remain
- (E07) Existing Xylosma congestum / Xylosma (hedge), 20ft. ht. x 10ft. spr., to remain
- (E08) Existing Platanus x acerifolia / London Plane Tree, 50ft. ht. x 45ft. spr., 36in. caliper to remain
- (E09) Existing Yucca elephantipes / Spineless Yucca (qty. 3), 20ft. ht. x 8ft. spr., 4", 4", 6" caliper to remain
- (E10) Existing Camellia specie / Camellias (qty. 3), 6ft. ht. x 4ft. spr., to remain
- (E11) Existing Ilex specie / Holly (qty. 2), 9ft. ht. x 4ft. spr., trimmed shrub to remain
- (E12) Existing Camellia shrubs and Leather Leaf Fern hedge to remain
- (E13) Existing Yucca elephantipes / Spineless Yucca, 30ft. ht. x 28ft. spr., multi-trunk from 6" to 12" caliper to remain
- (E14) Existing Pinus thunbergii / Japanese Black Pine, 20ft. ht. x 18ft. spr., 12in. caliper to remain
- (E15) Existing Myrtus communis / Myrtle (hedge), 4ft. ht. x 8ft. spr. to remain
- (E16) Existing Dicksonia Antarctica / Tasmanian Tree Fern, 10ft. ht. x 5ft. spr., 12in. caliper to remain
- (E17) Existing Cycas revoluta / Sago Palm (multi-trunk), 5ft. ht. x 8ft. spr., 12in. caliper to remain
- (E18) Existing Pinus thunbergii / Japanese Black Pine, 18ft. ht. x 18ft. spr., 9in. caliper to remain
- (E19) Existing Ficus microcarpa / Indian Laurel Fig (qty. 2), 35ft. ht. x 35ft. spr., 24in. caliper to remain

Existing plant material to be REMOVED:

- (R01) Remove existing Xylosma congestum / Xylosma Tree, 40ft. ht. x 35ft. spr., 12in. caliper
- (R02) Remove existing Schinus terebinthifolius / Brazilian Pepper, 25ft. ht. x 12ft. spr., 12in. caliper
- (R03) Remove existing Citrus Tree / Citrus, 15ft. ht. x 20ft. spr., 10in. caliper
- (R04) Remove existing Citrus Tree / Citrus (qty.2), 15ft. ht. x 15ft. spr., 8", 8" calipers
- (R05) Remove existing Macadamia Nut Tree / Macadamia Tree, 25ft. ht. x 20ft. spr., 6", 6" calipers
- (R06) Remove existing Prunus Tree Species / Fruiting Plum Tree, 12ft. ht. x 10ft. spr., 6in. caliper

Site Landscape Quantities:

Total Existing Lot Square Footage -	14,301 s.f.
Total Existing Residence Square Footage -	2,693 s.f.
Total Proposed Companion Unit Square Footage -	855 s.f.
Total Approximate Paving Square Footage -	3,022 s.f.
Total Landscape Area -	7,731 s.f. (54.1%)



Street Tree
1
24" box
Platanus x acerifolia 'Bloodgood'
Bloodgood London Plane Tree
(mature height 45' spr. x 30' ht.)

No Construction Zone
minimum 40 sq. ft.

No Construction Zone
minimum 40 sq. ft.

Assumed Location of Existing Utilities:

See symbols on plans

- (Clv) Approximate and assumed location of existing cable and television service to property site obtained from site visit, field verify
- (Ei) Approximate and assumed location of existing electrical service to property site obtained from site visit, field verify
- (Ga) Approximate and assumed location of existing gas service to property site obtained from site visit, field verify
- (S) Approximate and assumed location of existing sewer service to property site obtained from archive records and area typical installations, field verify
- (W) Approximate and assumed location of existing water service to property site obtained from site visit, field verify

Planting Calculations:

Zone: Zone LJSPD-SF
Setbacks: La Jolla Shores - acceptable setbacks are designed to mimic the typical setbacks in the surrounding neighborhood

location	existing	proposed
front yard, north property line	36 ft.	7 ft.
side yard, west property line	14 ft.	±40 ft.
side yard, east property line	5.3 ft.	5.3 ft.
rear yard, south property line	no influence	

Street Yard:

Square Feet of Planting	
Required:	1,920 square feet (3,840 (s.f.) x .5 (50%) = 1,920 s.f.)
Achieved:	3,634 square feet
Excess:	1,714 square feet

Plant Material Points	
Required:	192 points (3,840 (s.f.) x .05 = 192 points)
Achieved:	900 points, (existing London Plane Tree only = 900 pts.)
Excess:	over 708 points, (Other trees and shrubs have not been included within this calculation, as the London Plane Tree itself is enough to put the necessary points over the required threshold.)

Street Trees: Ardath Road, 95 lineal feet street frontage

Street Trees

Required: 3 trees (95 / 30 = 3.16 trees)

Achieved: 3 trees along public right-of-way

- *Existing - One (1) Schinus terebinthifolius / Brazilian Pepper Tree (35ft. ht. x 42ft. spr., 42" caliper)
- *Existing - One (1) Schinus terebinthifolius / Brazilian Pepper Tree (40ft. ht. x 25ft. spr., 36" caliper)
- *Proposed - One (1) Platanus x acerifolia 'Bloodgood' / Sycamore Bloodgood (24" box)

Signature: Date: 08.29.17
Registered Landscape Architect #2320, exp. 10.31.18



ATTACHMENT 10	
REVISIONS	BY

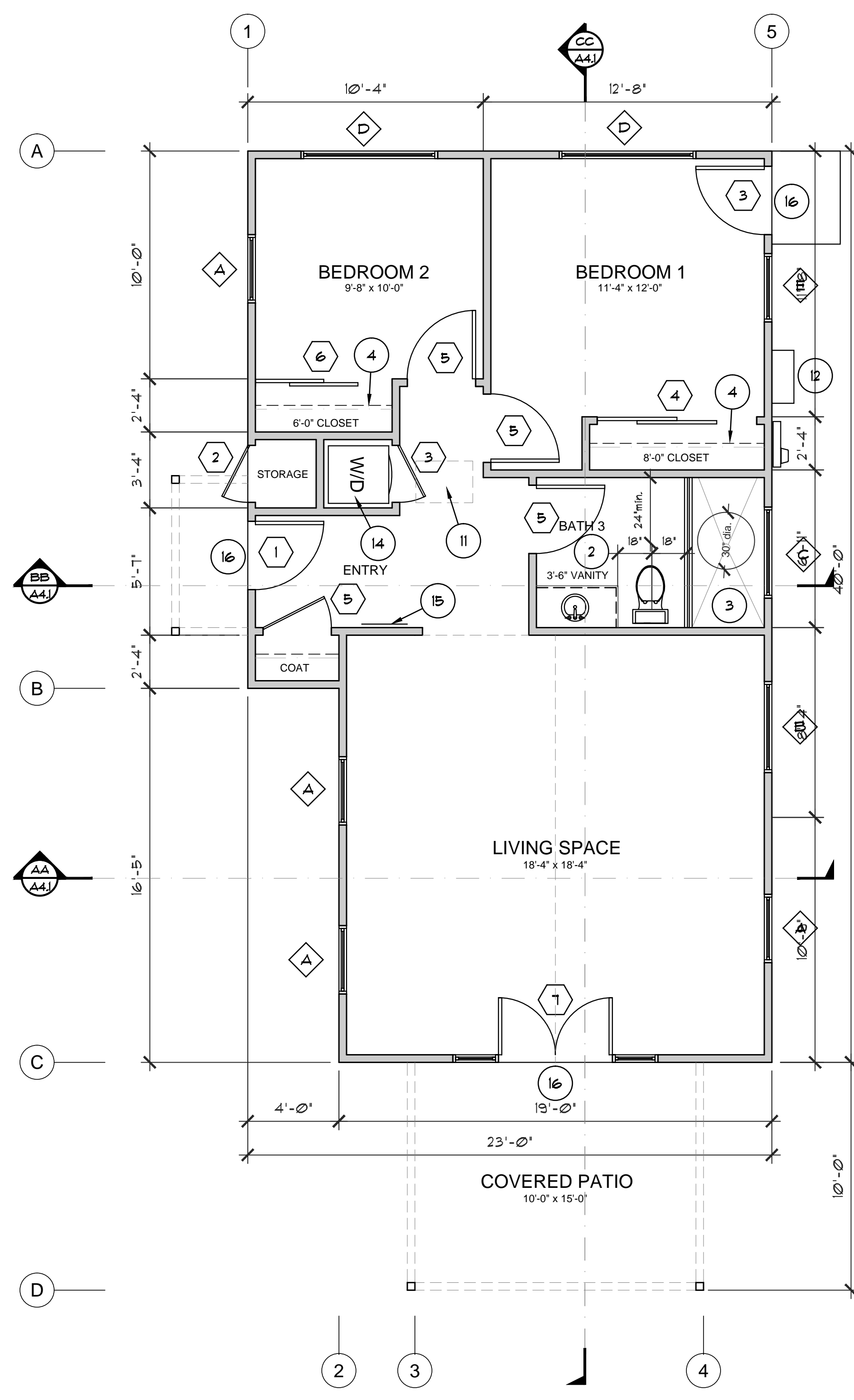
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PROPOSED FLOOR & ROOF PLANS
 SDP APPROVAL SET

DRAWN	RMB
DATE	2/1/19
JOB NUMBER	16020
SHEET	A3.1

A3.1



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
 BATHTUB & SHOWER FLOORS AND WALLS ABOVE BATHTUBS w/ INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED w/ A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN SIX (6) FEET ABOVE THE FLOOR.

NOTE:
 KITCHEN LAYOUT, CABINET TYPES & STYLES, COUNTERTOPS, APPLIANCE TYPES & LOCATION, PLUMBING FIXTURES TO BE SELECTED & VERIFIED BY OWNER. LAYOUT SHOWN IS TO ESTABLISH BASIC KITCHEN REQUIREMENTS.

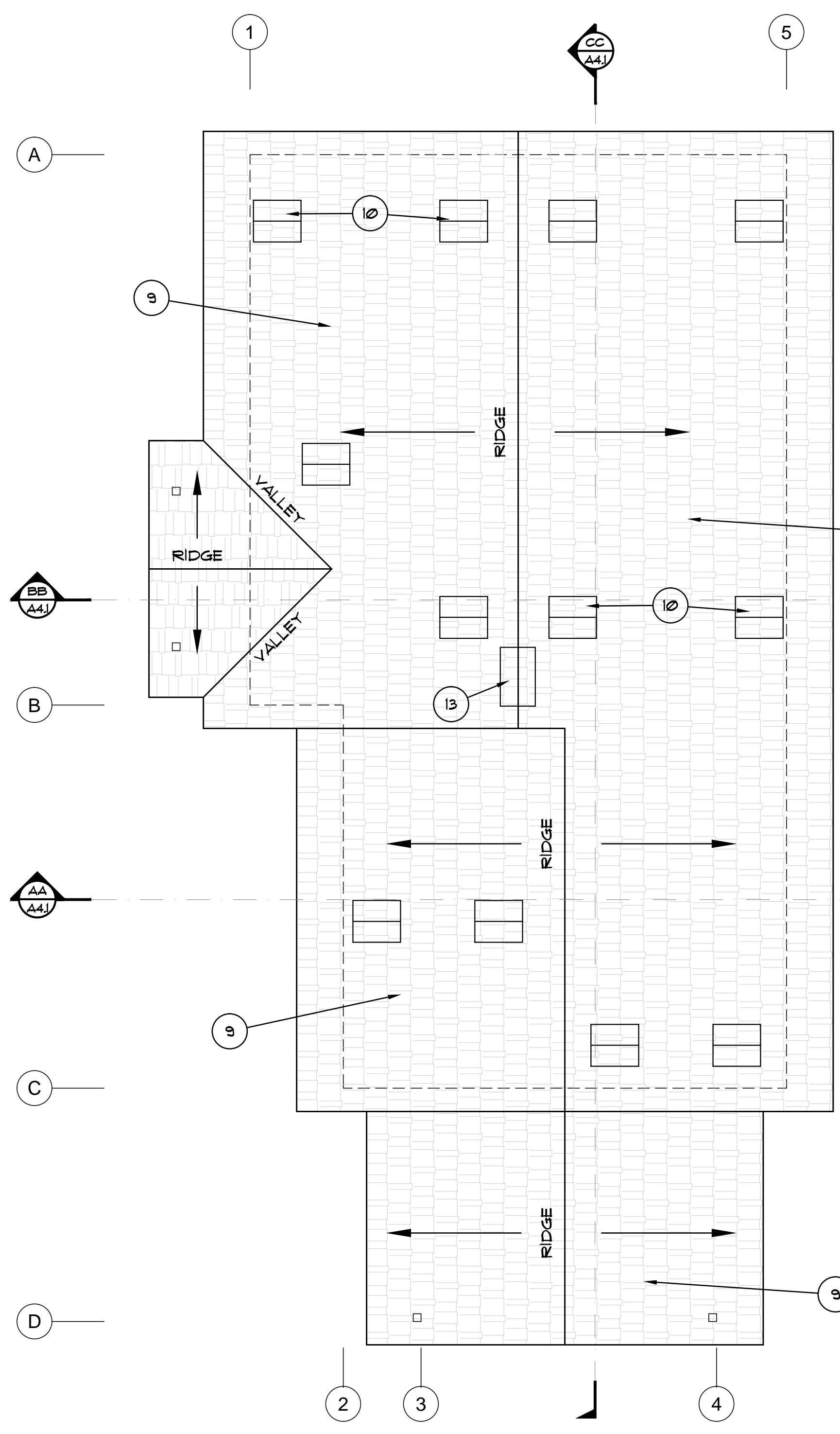
NEW CONSTRUCTION KEYNOTES:

- AA. ALL (N) EXTERIOR WALL FRAMING TO BE 2x4 TYP. (U.O.N) w/ R-13 (min.) WALL INSULATION.
- BB. ALL (N) CEILING INSULATION TO BE R-30 (min.)
- CC. MIN. 1/2" INCH GYP. BD. TYPICAL ALL INTERIOR INTERIOR WALLS. VERIFY ALL INTERIOR WALL TEXTURE w/ OWNER PRIOR TO APPLICATION.

NEW CONSTRUCTION KEYNOTES:

- 1. NOT USED.
- 2. (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
- 3. (N) HOT-MOPPED, TILE SHOWER ENCLOSURE. IF GLASS DOOR IS DESIRED PROVIDE A MIN. 24" INCH WIDE, TEMPERED GLASS DOOR.
- 4. (N) CLOSET ROD & SHELF, TYP. VERIFY w/ OWNER(S). 2x4 "HARDPLANK" TRIM.
- 5. "HARD-PLANK" FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E9R-2292).
- 6. (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
- 7. (N) TRUSS ROOF FRAMING PER STRUCTURAL.
- 8. (N) COMPOSITION (ASPHALT) SHINGLES. PROVIDE 30# FELT (min.) UNDERLAYMENT. ROOF SHEATHING (PER STRUCTURAL). MIN. CLASS "A" ASSEMBLY REQUIRED. ROOFING BY "CERTAINTED", ICC REPORT # E9R-1389. INSTALL PER MFR'S RECOMMENDATIONS. AN ALTERNATE MFR IS ACCEPTABLE PROVIDED:
 - OWNER(S) PRIOR NOTIFICATION & APPROVAL,
 - DESIGNER IS PREVIOUSLY NOTIFIED
 - A CURRENT/VALID ICC REPORT (or SIMILAR) IS PROVIDED.
- 9. LOW PROFILE ROOF VENTS BY 'O'HAGIN', ICC REPORT # 9650A. CONTRACTOR TO VERIFY / CONFIRM LOCATIONS.
- 10. MIN. 22' x 30' ATTIC ACCESS HATCH.
- 11. (N) TANKLESS WATER HEATER BY 'RHEEM'. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 12. (N) 30,000 BTU OUTPUT HEATING CAPACITY FAU TO BE LOCATED IN ATTIC.
- 13. (N) STACKABLE WASHER / DRYER. VENT DRYER UP THROUGH ROOF.

NOTE: DRYER VENT LENGTH NOT TO EXCEED 14'-0" w/ (2) OFFSETS. IF VENT LENGTH EXCEEDS 14'-0", PROVIDE AN IN-LINE VENT BOOSTER. DRYER VENT TO BE A MIN. OF 3'-0" FROM ANY OPENING.
- 14. RETURN AIR GRILL LOCATION. CONTRACTOR TO VERIFY / CONFIRM ADEQUACY OF LOCATION INDICATED.
- 15. PROVIDE A MIN. 36" DEEP LANDING AT EXTERIOR OF DOOR WITH A SLOPE NOT EXCEEDING 1/4" / FT. SLOPE. THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVING IT.



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTE:
 WATER HEAT VENT REQUIREMENTS:
 - EXTEND NOT LESS THAN 5' FEET ABOVE WATER HEATER DRAFT COLLAR.
 - EXTEND NOT LESS THAN 3' FEET ABOVE ROOF.
 - TERMINATE NOT LESS THAN 2' FEET ABOVE ANY PART OF BUILDING WITHIN 10' FEET OF VENT.

NOTE:
 FAU. ATTIC INSTALLATIONS MUST COMPLY WITH 2010 CMC SECTIONS 904, 908 & 909.
 - PROVIDE ADEQUATE PLYWOOD BASE, AND CONFIRM REQUIRED CLEARANCES PRIOR TO INSTALLATION.
 - PROVIDE AN UNOBSTRUCTED PASSAGE WAY LARGE ENOUGH TO REMOVE THE EQUIPMENT, NOT LESS THAN 30" HIGH BY 30" WIDE.
 - HAS CONTINUOUS SOLID FLOORING NOT LESS THAN 3/4" WIDE, IS NOT MORE THAN 20" IN LENGTH, MEASURED ALONG THE CENTER OF THE PASSAGEWAY.

ATTIC VENTILATION

ROOF
 855 sq. ft. x 1/150 = 5.70 (6.0) sq. ft. VENTILATION REQUIRED
 O'HAGIN VENTS = 12.0 sq. in. (50 sq. ft.) OF NET FREE VENT AREA
 6.0 / 30 = 12.0 (12) O'HAGIN VENTS REQUIRED (AT MINIMUM).
NOTES:
 ROOF VENTS TO BE CORROSION RESISTANT 'O'HAGIN' (ICC # 9450A) LOW PROFILE VENTS. EACH VENT IS A MIN. 12.0 sq. in. (50 sq. ft.) CONTRACTOR TO VERIFY QUANTITY OF VENTS FOR ADEQUATE VENTILATION REQUIREMENTS.

ATTACHMENT 10

REVISIONS	BY

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RESIDENCE

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La Jolla, California 92037

DETACHED GUEST QUARTERS

EXTERIOR ELEVATIONS
& BUILDING CROSS-SECTIONS

SDP APPROVAL SET

DRAWN
RFB
DATE
2/18
JOB NUMBER
16020
SHEET

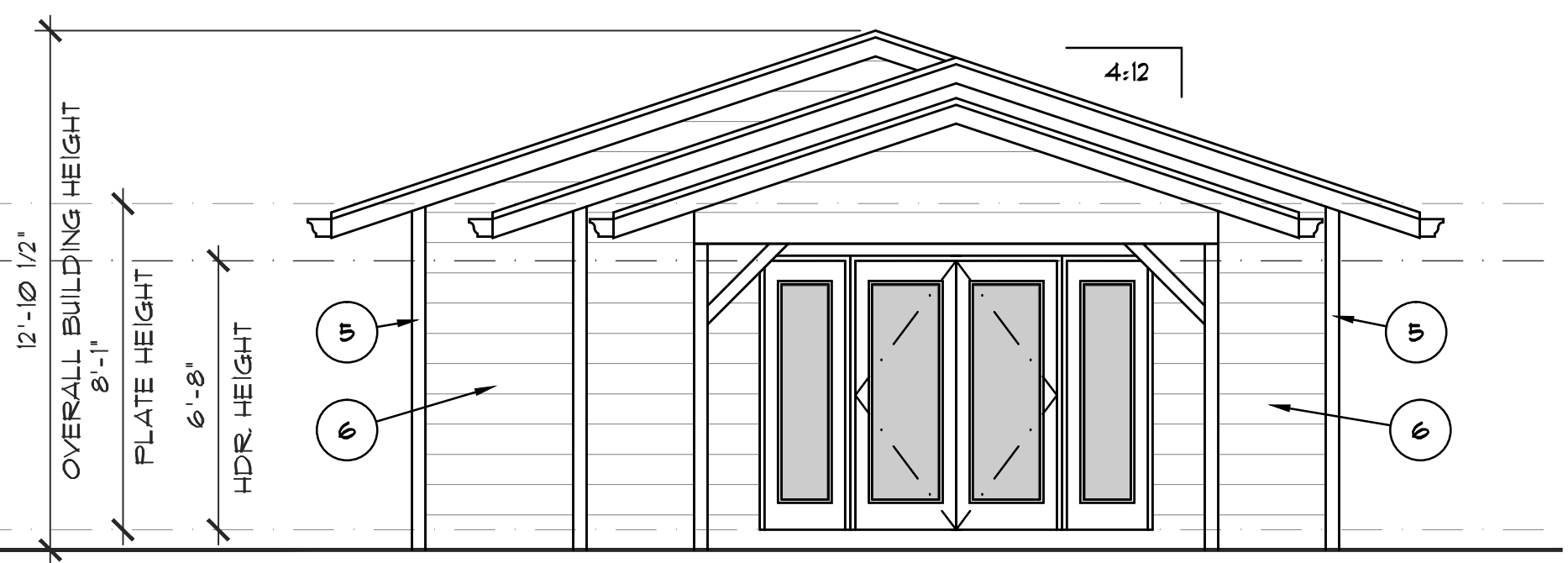
A4.1

NEW CONSTRUCTION KEYNOTES:

- AA. ALL (N) EXTERIOR WALL FRAMING TO BE 2x4 TYP. (UON) w/ R-13 (min.) WALL INSULATION.
- BB. ALL (N) CEILING INSULATION TO BE R-30 (min.)
- CC. MIN. 1/2" INCH GYP. BD. TYPICAL ALL INTERIOR INTERIOR WALLS. VERIFY ALL INTERIOR WALL TEXTURE w/ OWNER PRIOR TO APPLICATION.

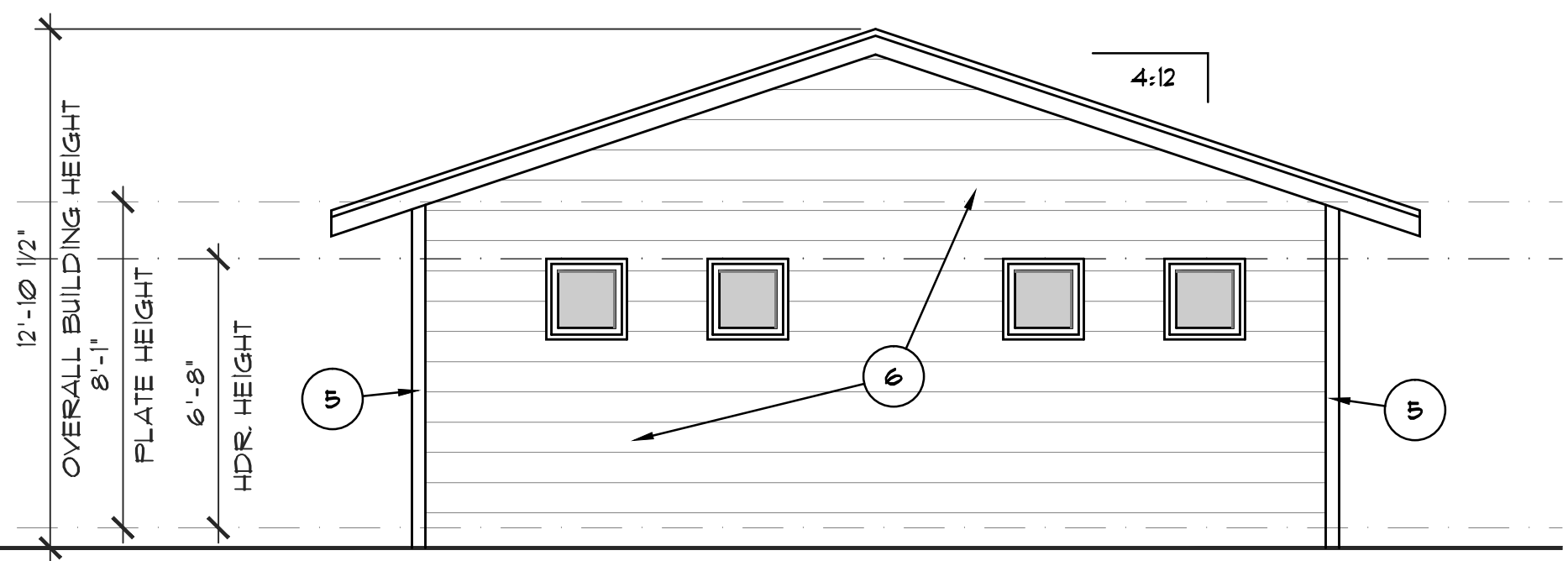
NEW CONSTRUCTION KEYNOTES:

1. NOT USED.
2. (N) BATHROOM FIXTURES, CABINETS & COUNTERTOPS PER OWNER(S) DIRECTION, TYPICAL.
3. (N) HOT-MOPPED TILE SHOWER ENCLOSURE. IF GLASS DOOR IS DESIRED PROVIDE A MIN. 24" INCH WIDE, TEMPERED GLASS DOOR.
4. (N) CLOSET ROD & SHELF, TYP. VERIFY w/ OWNER(S).
5. 2x4 'HARDPLANK' TRIM.
6. 'HARDI-PLANK' FIBER-CEMENT LAP SIDING PAINTED TO MATCH EXISTING TYP. (E8R-2290).
7. (N) CONC. SLAB & FOOTINGS PER STRUCTURAL, TYP.
8. (N) TRUSS ROOF FRAMING PER STRUCTURAL.
9. (N) COMPOSITION (ASPHALT) SHINGLES, PROVIDE 30° FELT (min.) UNDERLAYMENT, ROOF SHEATHING (PER STRUCTURAL), MIN. CLASS 'A' ASSEMBLY REQUIRED. ROOFING BY 'CERTAINTED' ICC REPORT # E8R-1989. INSTALL PER MFR'S RECOMMENDATIONS. AN ALTERNATE MFR. IS ACCEPTABLE PROVIDED:
 - OWNER(S) PRIOR NOTIFICATION & APPROVAL,
 - DESIGNER IS PREVIOUSLY NOTIFIED
 - A CURRENT/VALID ICC REPORT (or SIMILAR) IS PROVIDED.
10. LOW PROFILE ROOF VENTS BY 'O'HAGIN', ICC REPORT # 9650A. CONTRACTOR TO VERIFY / CONFIRM LOCATIONS.
11. MIN. 22" x 30" ATTIC ACCESS HATCH.
12. (N) TANKLESS WATER HEATER BY 'RHEEM', INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
13. (N) 30,000 BTU OUTPUT HEATING CAPACITY FAU TO BE LOCATED IN ATTIC.
NOTE: DRYER VENT LENGTH NOT TO EXCEED 14'-0" w/ (2) OFFSETS. IF VENT LENGTH EXCEEDS 14'-0", PROVIDE AN IN-LINE VENT BOOSTER. DRYER VENT TO BE A MIN. OF 3'-0" FROM ANY OPENING.
14. (N) STACKABLE WASHER / DRYER. VENT DRYER UP THROUGH ROOF.
15. RETURN AIR GRILL LOCATION. CONTRACTOR TO VERIFY / CONFIRM ADEQUACY OF LOCATION INDICATED.
16. PROVIDE A MIN. 36" DEEP LANDING AT EXTERIOR OF DOOR, WITH A SLOPE NOT EXCEEDING 1/4" / ft. SLOPE. THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVING IT.



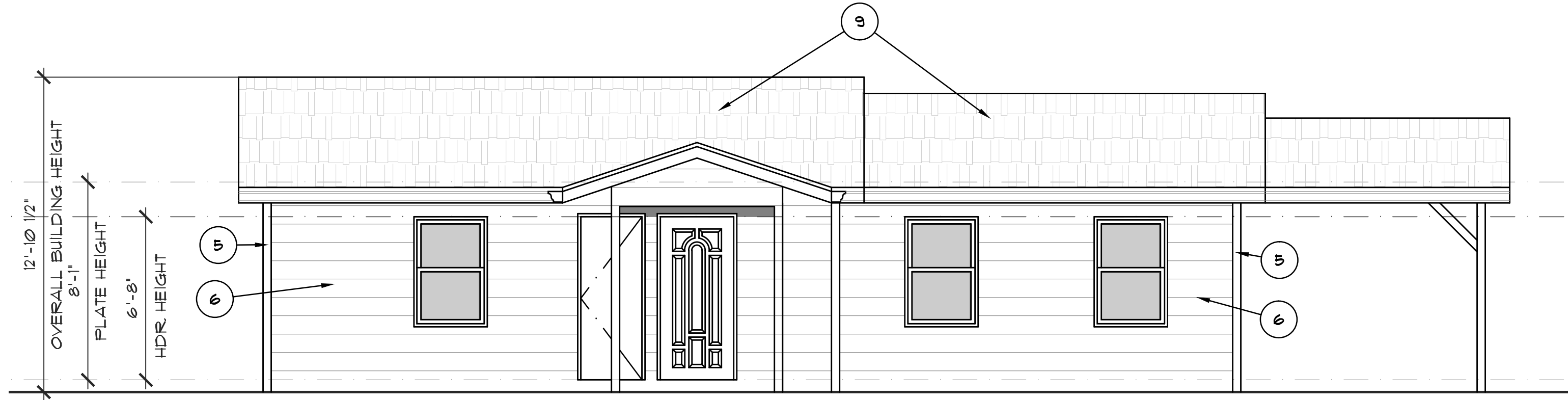
PROPOSED FRONT ELEVATION - WEST -

SCALE: 1/4" = 1'-0"



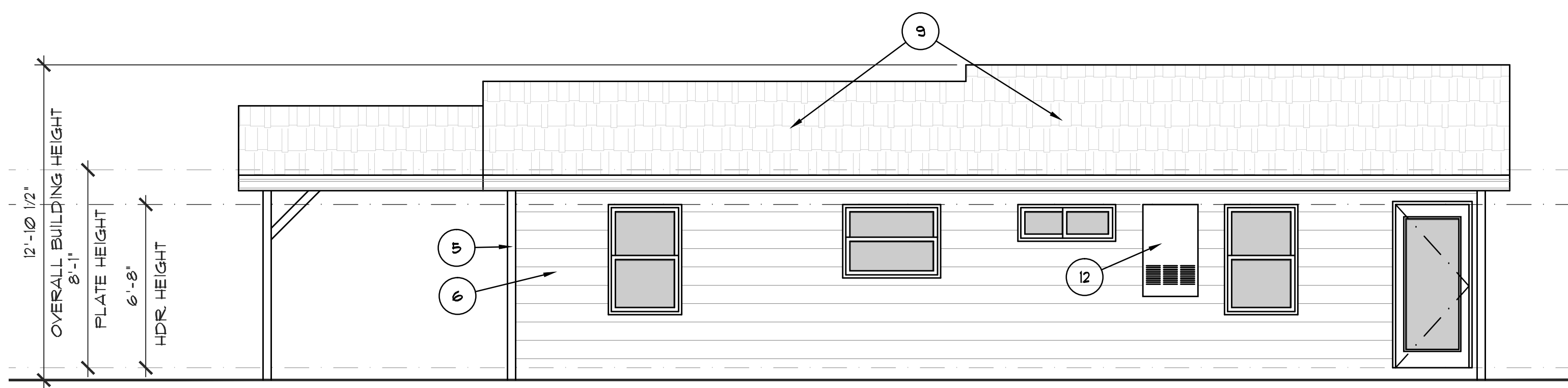
PROPOSED REAR ELEVATION - EAST -

SCALE: 1/4" = 1'-0"



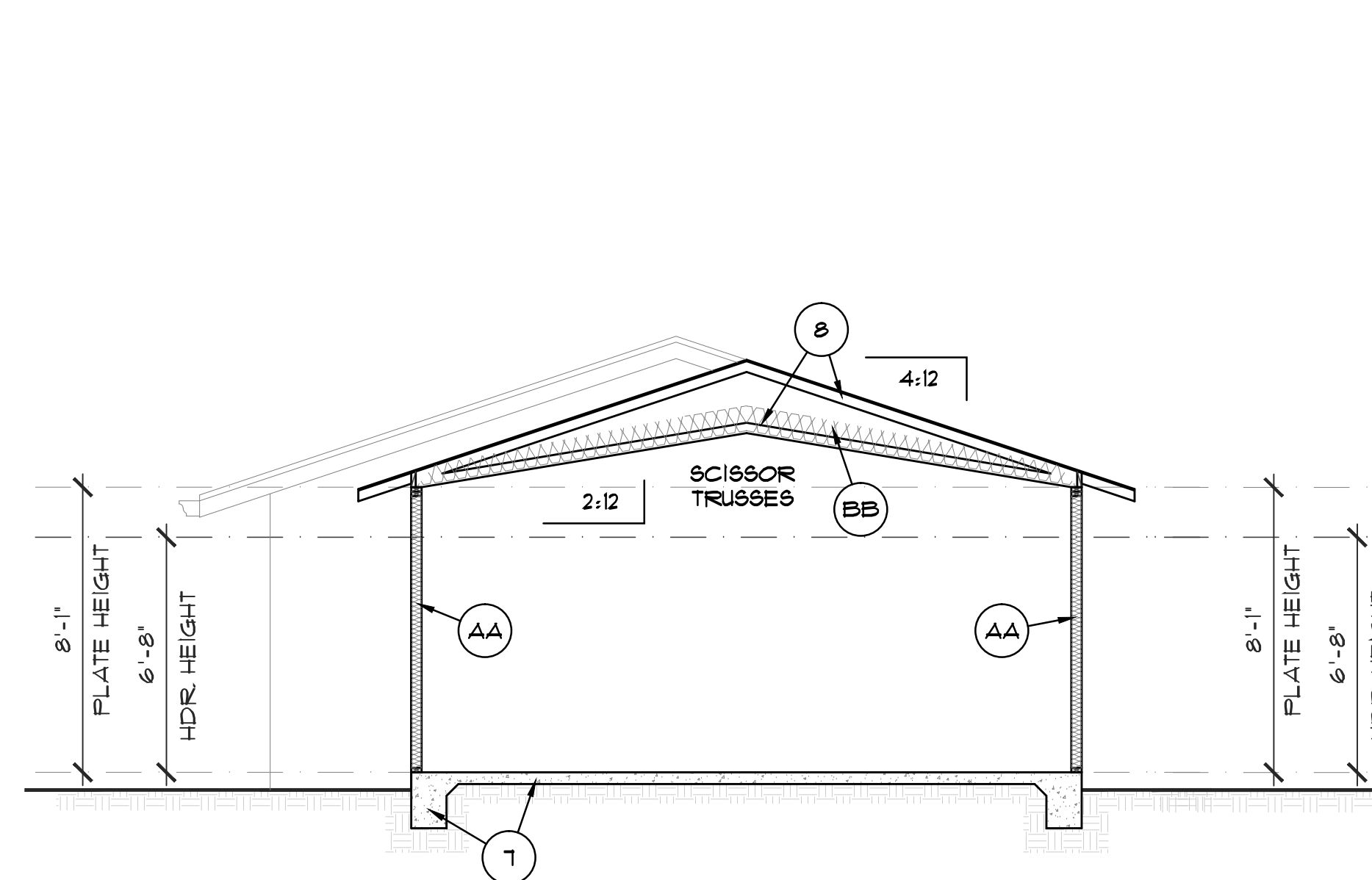
PROPOSED LEFT SIDE ELEVATION - NORTH -

SCALE: 1/4" = 1'-0"



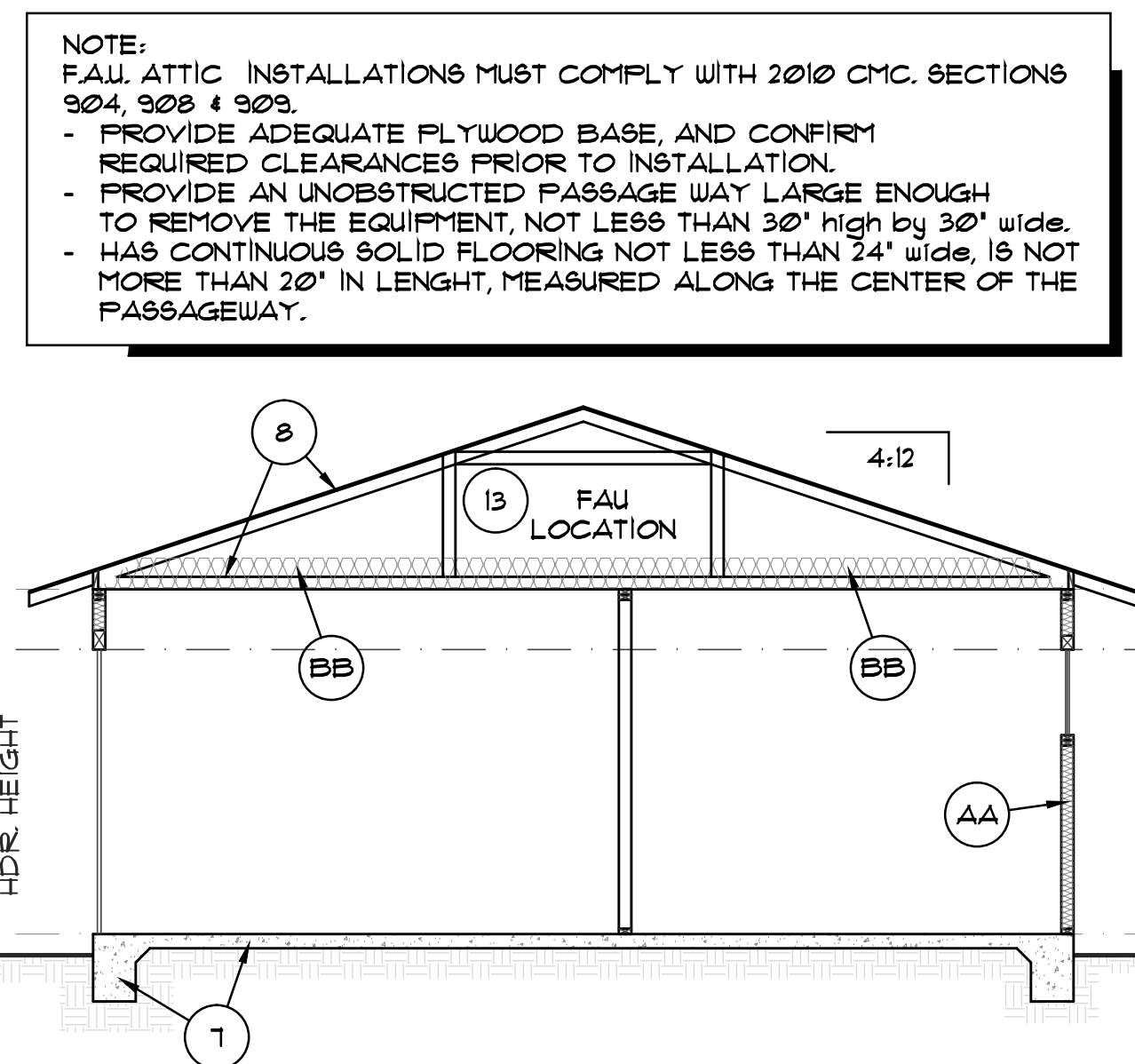
PROPOSED RIGHT SIDE ELEVATION - SOUTH -

SCALE: 1/4" = 1'-0"



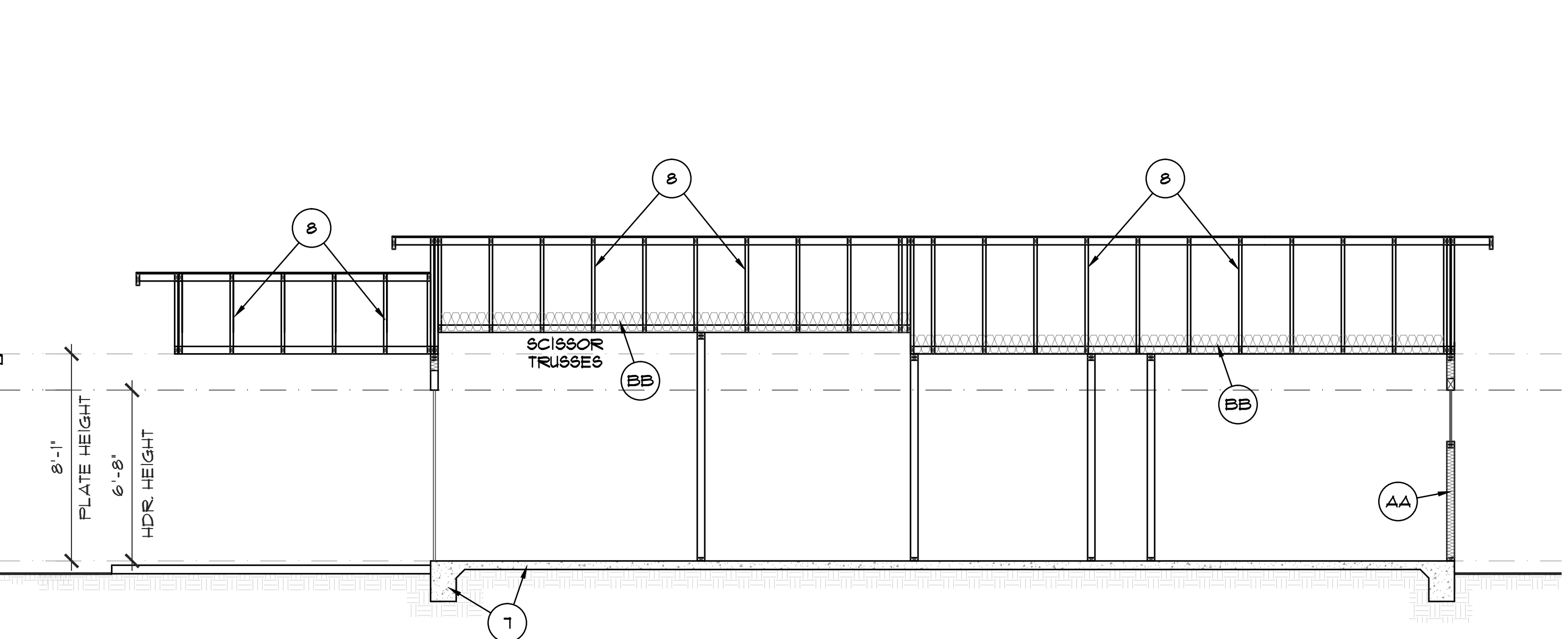
PROPOSED BUILDING CROSS-SECTION "A-A"

SCALE: 1/4" = 1'-0"



PROPOSED BUILDING CROSS-SECTION "B-B"

SCALE: 1/4" = 1'-0"



PROPOSED BUILDING CROSS-SECTION "C-C"

SCALE: 1/4" = 1'-0"

NOTE:
FAU, ATTIC INSTALLATIONS MUST COMPLY WITH 2010 CMC. SECTIONS 904, 908 & 909.
- PROVIDE ADEQUATE PLYWOOD BASE, AND CONFIRM REQUIRED CLEARANCES PRIOR TO INSTALLATION.
- PROVIDE AN UNOBSTRUCTED PASSAGE WAY LARGE ENOUGH TO REMOVE THE EQUIPMENT, NOT LESS THAN 30" high by 30" wide.
- HAS CONTINUOUS SOLID FLOORING NOT LESS THAN 24" wide, IS NOT MORE THAN 20" IN LENGTH, MEASURED ALONG THE CENTER OF THE PASSAGEWAY.

REVISIONS	BY

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 DETACHED GUEST QUARTERS

CONCEPTUAL LIGHTING & POWER PLANS
 SDP APPROVAL SET

DRAWN	RMB
DATE	2/1/19
JOB NUMBER	16070
SHEET	

A5.1

LIGHTING FIXTURE SCHEDULE	
FIXTURE	DESCRIPTION
A	RECESSED 'LED' CAN-LIGHT
B	INTERIOR WALL MOUNTED LIGHT
C	SURFACE MOUNTED LIGHT (CEILING)
D	EXTERIOR WALL MOUNTED LIGHT
E	KITCHEN EXHAUST FAN (MIN. 100 cfm)
F	SOLATUBE (E9R - 2253)
G	RECESSED WALL LIGHT
H	VENT FAN (MIN. 50 cfm)
I	LENS W/ SHOWER LIGHT (WATER PROOF)
J	HANGING PENDANT LIGHT
K	INTERIOR CEILING FAN W/ LIGHT
L	EXTERIOR RECESSED LIGHT (WATER PROOF)
M	EXTERIOR CEILING FAN W/ LIGHT

- S₃ THREE POLE SWITCH, SWITCHED AT TWO LOCATIONS
- S SWITCH
- S₅ DIMMER SWITCH
- ⊖ DUPLEX OUTLET (110 v)
- ⊖- DUPLEX OUTLET (110 v) - HALF SWITCHED
- ⊖- DUPLEX OUTLET (220 v)
- ⊖- FLOOR / CEILING DUPLEX OUTLET (110 v)
- GFCI GROUND FAULT INTERRUPTION CIRCUIT
- WP GFCI WATER PROOF - GROUND FAULT INTERRUPTION CIRCUIT
- (PW) Ⓢ SMOKE DETECTOR (HARD WIRED)
- Ⓢ CARBON MONOXIDE DETECTOR

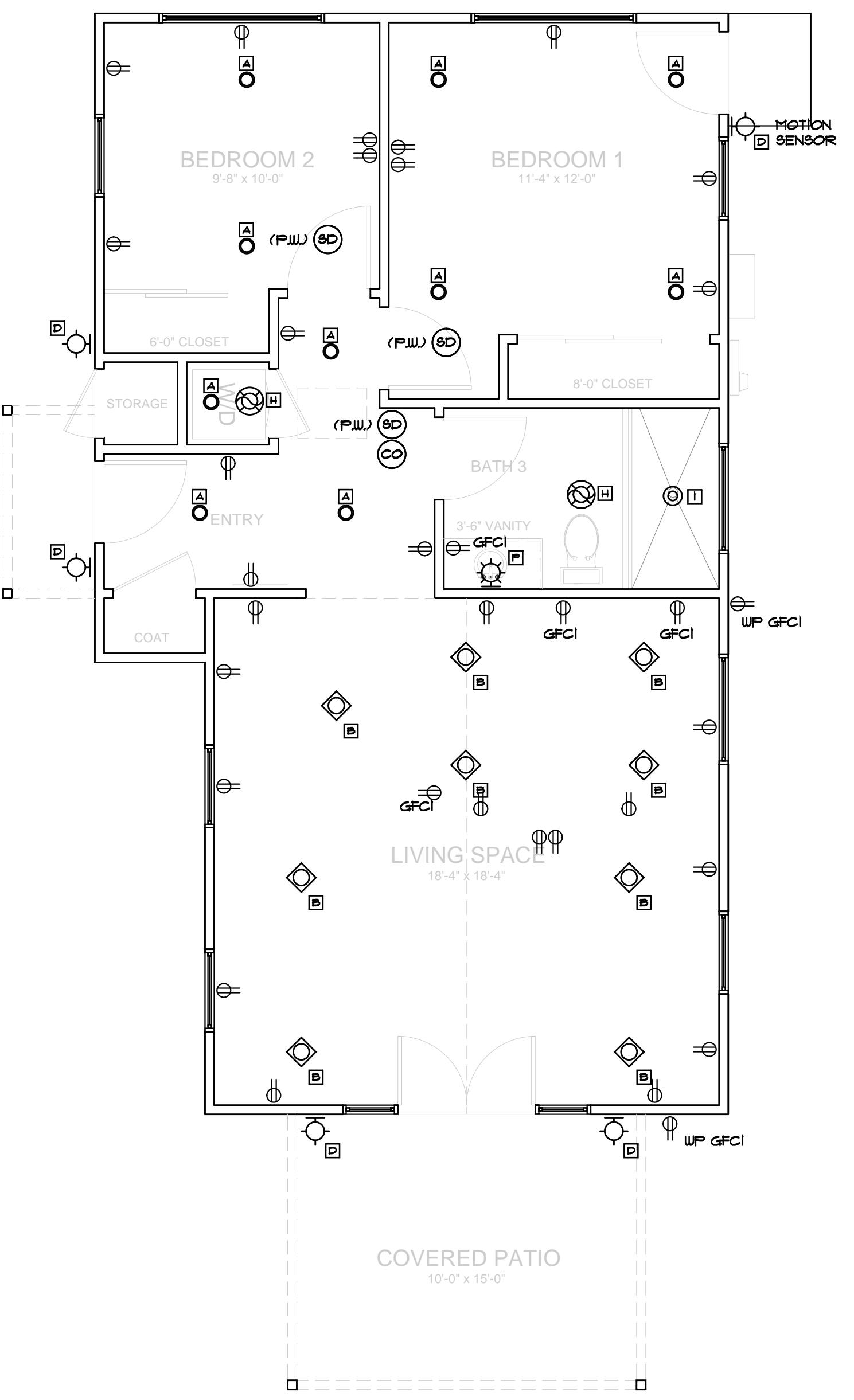
- LIGHTING FIXTURE NOTES:**
- ALL LIGHTING FIXTURES ARE TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED OTHERWISE.
 - LIGHTING LAYOUT IS FOR DESIGN INTENT ONLY. CONFIRM LAYOUT WITH OWNER PRIOR TO ORDERING & INSTALLATION.
 - LUMINAIRES THAT ARE RECESSED INTO INSULATED CEILING ARE REQUIRED TO BE IC RATED (INSULATION CONTACT & AIR TIGHT) AND UL LISTED.
 - LUMINAIRES THAT ARE RECESSED INTO CEILING SHALL NOT BE EQUIPPED WITH A STANDARD MEDIUM BASED SCREW SHELL LAMP HOLDER.
 - HIGH-EFFICACY LUMINAIRES TO BE BAYONET TYPE.
 - ALL OPENINGS FOR RECESSED LIGHTING HOUSINGS TO BE SEALED / CAULKED.

- MECHANICAL NOTES:**
- PROVIDE VOLUME ADJUSTABLE REGISTERS FOR ALL DIFFUSERS.
 - A MECHANICAL EXHAUST SYSTEM, SUPPLY SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR COMPLYING WITH ASHRAE STANDARD 62.2-2001 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
 - AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST SYSTEM (WITH OUTDOOR AIR) SHALL BE INSTALLED IN EACH KITCHEN AND BATHROOM COMPLYING WITH ASHRAE STANDARD 62.3-2001 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL VENTILATION EXHAUST AIRFLOW RATES SHALL BE 50 cfm IN BATHROOMS AND 100 cfm IN KITCHENS. CONTINUOUS LOCAL VENTILATION EXHAUST AIRFLOW RATES SHALL BE 20 cfm IN BATHROOMS AND 5 ach (AIR CHANGES / HOUR) IN KITCHENS BASED ON KITCHEN VOLUME.
 - BATHROOM AND LAUNDRY EXHAUST FANS SHALL BE A MIN. OF 50 cfm's.
 - KITCHEN EXHAUST FANS SHALL BE A MIN. OF 100 cfm's AND A MAX. SOME SOUND RATING OF (1) ONE FOR CONTINUOUS USE, OR (3) THREE FOR INTERMITTENT USE.
 - PER 2016 GREEN BLDG. CODE, MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 - a. FANS SHALL BE 'ENERGY STAR' COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - b. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
 - ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
 - EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM THAT CONTAINS A SHOWER OR TUB. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH CAN ADJUST BETWEEN 50 TO 80 PERCENT AND BE ENERGY STAR COMPLIANT.
 - EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
 - ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3' FEET FROM A PROPERTY LINE AND 3' FEET FROM OPENINGS INTO THE BUILDING.
 - DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MIN. NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

- ELECTRICAL NOTES:**
- ONLY NEW ELECTRICAL FIXTURES ARE SHOWN. EXISTING FIXTURES TO REMAIN UNLESS: 1. OTHERWISE INDICATED BY OWNER, 2. REQUESTED TO BE MODIFIED AND / OR REMOVED BY THE GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THIS PROJECT, 3. ARE AFFECTED IN SOME FASHION BY THE CONSTRUCTION PROCESS.
 - LOCATIONS, TYPES & QUANTITIES OF ELECTRICAL OUTLETS, LIGHTING, POWER & SWITCHES ARE SHOWN FOR DESIGN INTENT ONLY. VERIFY REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION OF ALL ELECTRICAL & POWER FIXTURES.
 - CONTRACTOR TO VERIFY ADEQUACY OF ELECTRICAL PANEL TO SERVE NEW LOADS.
 - ALL RECEPTACLE OUTLET WILL COMPLY WITH CEC ART. 210-52(a).
 - ALL COUNTERTOP RECEPTACLE OUTLETS IN KITCHENS AND DINING AREAS SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12 INCHES. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTERTOPS 12" INCHES BY 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONE RECEPTACLE. COUNTERTOP SPACES SEPARATED BY RANGE, REFRIGERATOR, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES.
 - ALL NEW OUTLETS LOCATED IN LAUNDRY ROOMS, KITCHENS & BATHROOMS, SHALL BE GFCI (GROUND-FAULT CIRCUIT-INTERRUPT) & TAMPER RESISTANT RECEPTACLES.
 - ALL NEW OUTLETS (EXCEPT THOSE IN LAUNDRY ROOMS, KITCHENS & BATHROOMS) SHALL BE AFCI (ARC-FAULT CIRCUIT-INTERRUPT) COMBINATION TYPE, & TAMPER RESISTANT RECEPTACLES.

- PLUMBING NOTES:**
- KITCHEN FAUCETS SHALL HAVE A MAX. FLOW OF 1.8 gpm @ 60psi. LAVATORY FAUCETS A MAX. 1.2 gpm @ 60psi.
 - PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 gpm (GALLONS PER MINUTE). IF MULTIPLE SHOWER HEADS ARE USED WITHIN A SINGLE SHOWER ENCLOSURE, THE COMBINED TOTAL FLOW SHALL NOT EXCEED 1.8 gpm.
 - PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
 - WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME OF NOT MORE THAN 120 GALLONS PER MINUTE (GPM). TANK TYPE WATER CLOSET SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR TANK-TYPE TOILETS.
 - STATE HEALTH AND SAFETY CODE SEC 119219 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
 - ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND COMPLY WITH THE 2016 CGBSC SEC. 4.3011.
 - PER 2016 CGBSC SEC. 4.3032, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401J OF THE CPC.
 - ALL ABS AND PVC PIPING AND FITTING SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE 'X' GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
 - THE CONTROL VALVES IN SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
 - ALL HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION:
 - 1/2" PIPE = 1/2" INSULATION / 3/4" PIPE = 1" INSULATION
 - 1" TO 1-1/2" PIPE = 1-1/2" INSULATION
 - BOTH HOT & COLD WATER PIPING TO KITCHEN SINK TO BE MIN. 1" INSULATION
 - BELOW GRADE HOT WATER PIPING IS REQUIRED TO BE INSTALLED IN A WATER PROOF AND NON-CRUSHABLE SLEEVE OR CASING THAT ALLOWS FOR REPLACEMENT OF BOTH THE PIPING AND INSULATION.
 - ALL EXISTING NON-COMPLIANT FIXTURES (TOILETS THAT USE MORE THAN 1.6 gal/flush, URINALS THAT USE MORE THAN 1.0 gal/flush, SHOWERHEADS THAT HAVE A FLOW CAPACITY OF MORE THAN 2.5 gal/min, AND INTERIOR FACUETS THAT EMIT MORE THAN 2.2 gal/min) SHALL ALL BE REPLACED, TYPICAL. CERTIFICATION OF COMPLIANCE SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO FINAL PERMIT APPROVAL.
 - INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED.
 - OUTDOOR SHOWER DRAINS AND SINKS ARE NOT PERMITTED TO CONNECT TO THE PUBLIC SEWER SYSTEM UNLESS EQUIPPED WITH AN APPROVED COVER. HOT AND COLD WATER CONNECTIONS ARE ALLOWED.
 - WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS and/or OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 gpm at 80 psi, or the SHOER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. HANDHELD SHOWERS ARE CONSIDERED SHOWERHEADS.

- LIGHTING NOTES:**
- ALL INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON / OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER. ALL UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPERATELY.
 - ALL LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY ROOMS & UTILITY ROOMS SHALL BE HIGH EFFICACY (LED) / FLUORESCENT and SHALL BE CONTROLLED BY AN OCCUPANCY SENSOR.
 - ALL LUMINAIRES SHALL BE HIGH EFFICACY AND HAVE A MANUAL ON / OFF SWITCH and BE CONTROLLED BY AN OCCUPANCY SENSOR / DIMMER. CLOSETS THAT ARE 10 sq. ft. or LESS ARE EXEMPT.
 - ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES and MUST BE CONTROLLED BY A MANUAL ON / OFF SWITCH, and BE CONTROLLED BY ONE OF THESE AUTOMATIC CONTROL TYPES: PHOTO CONTROL and a MOTION SENSOR or ASTRONOMICAL TIME CLOCK, or ENERGY MANAGEMENT CONTROL SYSTEMS.
 - LIGHTING IN BATHROOMS SHALL A BE HIGH-EFFICACY LUMINAIRE, WITH (1) ONE LUMINAIRE CONTROLLED BY VACANCY SENSOR.
 - LIGHTS AT ALL INTERIOR STAIR-WELLS SHALL HAVE AN ILLUMINATION CAPACITY OF NOT LESS THAN ONE FOOT-CANDLE. FOR STAIRWAYS WITH (6) SIX OR MORE RISERS, A SWITCH SHALL BE PROVIDED AT EACH LANDING (TOP & BOTTOM).



NOTE:
 ALL LIGHTING, POWER & SWITCHES SHOWN ARE INTENDED TO ESTABLISH A BASIC LEVEL OF ELECTRICAL ELEMENTS. CONTRACTOR TO VERIFY WITH OWNER THE SPECIFIC LOCATIONS, TYPES & QUANTITIES OF ALL ELECTRICAL ELEMENTS.

NOTE:
 MIN. (2) TWO 20 AMP, DEDICATED CIRCUITS (GFCI) FOR KITCHEN COUNTERTOPS.

NOTE:
 UP TO 50% PERCENT OF THE TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS MAY BE IN LUMINAIRES THAT ARE NOT HIGH-EFFICACY LUMINAIRES, PROVIDED THAT THESE LUMINAIRES ARE CONTROLLED BY SWITCHES SEPARATE FROM THOSE CONTROLLING THE HIGH-EFFICACY LUMINAIRES. THE WATTAGE OF HIGH-EFFICACY LUMINAIRS SHALL BE THE TOTAL NOMINAL RATED WATTAGE OF THE INSTALLED HIGH EFFICACY LAMP(S).

NOTE:
 BATHROOM RECEPTACLE OUTLETS SHALL BE SERVED BY AT LEAST ONE 20-AMP BRANCH CIRCUIT. NO OTHER RECEPTACLES MAY BE INSTALLED ON THIS CIRCUIT. MORE THAN ONE BATHROOM MAY BE SERVED BY THE DEDICATED BRANCH CIRCUIT.

SMOKE DETECTOR / CO DETECTOR NOTES

- IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION. (2016 CRC SEC. R314)
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE PERMANENTLY WIRED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- CONTRACTOR TO VERIFY PRESENCE OF SMOKE DETECTORS AND CARBON MONOXIDE ALARMS IN ALL AREAS AS INDICATED PER PLAN. IF NO SMOKE DETECTORS ARE PRESENT, CONTRACTOR TO INSTALL BATTERY OPERATED SMOKE DETECTORS AND CARBON MONOXIDE ALARMS.
- COMBINATION SMOKE DETECTORS / CARBON MONOXIDE ALARMS ARE AVAILABLE FROM 'FIRE X'. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHALL LISTED AND APPROVED IN ACCORDANCE WITH CCR, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.
- SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075.
- ALL SMOKE DETECTORS GREATER THAN 10 YEARS OLD SHALL BE REPLACED, TYPICAL.
- SMOKE ALARMS and SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN A 3-FOOT HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY OTHER SECTIONS OF THE 2016 CRC.
- SMOKE ALARMS and SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN A 36-INCH HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM and SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW OF THOSE REGISTERS.
- CARBON MONOXIDE DETECTORS SHALL BE INSTALLED PER 2016 CBC SEC. R315. CONTRACTOR TO VERIFY THE PRESENCE OF REQUIRED SMOKE / CO DETECTORS IN ALL REQUIRED LOCATIONS. IF NONE EXIST, PROVIDE (N) DETECTORS IN THE FOLLOWING LOCATIONS:
 - EACH SLEEPING ROOM
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS

CONCEPTUAL LIGHTING & POWER PLAN

SCALE: 1/4" = 1'-0"

**** IMPORTANT ****

ALL DOORS & WINDOWS SHOWN ON THE SCHEDULES BELOW ARE TO BE CONFIRMED, VERIFIED & APPROVED BY THE OWNER(S) PRIOR TO ORDERING & INSTALLATION.

DOOR SCHEDULE							
NO.	DOOR SIZE (WxH)	MAT.	GLAZING	STYLE / TYPE	QNTY.	TEMP.	NOTES
1	3'-0" x 6'-8"	TBS	N/A	EXT. HINGED SINGLE - FRONT ENTRY	1	NO	1, 2, 3, 5, 14, 15, 18
2	2'-0" x 6'-8"	TBS	N/A	EXT. HINGED SINGLE	1	NO	1, 2, 3, 5, 14, 15, 18
3	2'-6" x 6'-8"	TBS	N/A	INT. BI-FOLDING - LOUVERED	1	NO	1, 2, 3, 5, 20
4	1'-0" x 6'-8"	TBS	N/A	INT. SLIDING DOUBLE - (CLOSET, TRACK MOUNT)	1	NO	1, 2, 3, 5
5	3'-0" x 6'-8"	TBS	N/A	INT. HINGED SINGLE	4	NO	1, 2, 3, 5
6	6'-0" x 6'-8"	TBS	N/A	INT. SLIDING DOUBLE - (CLOSET, TRACK MOUNT)	1	NO	1, 2, 3, 5
7	5'-0" x 6'-8" (24" SIDELITE)	TBS	N/A	EXT. HINGED DOUBLE - 24" SIDELITES EA. SIDE	1	YES	1, 2, 3, 5, 14, 15, 19

WINDOW SCHEDULE							
TYPE	WINDOW SIZE (WxH)	MAT.	GLAZING	STYLE / TYPE	QNTY.	TEMP.	NOTES
A	3'-0" x 5'-0"	VINYL	DUAL	DOUBLE HUNG	4	NO	1, 3, 4, 5, 6, 8, 13, 15
B	4'-0" x 3'-0"	VINYL	DUAL	DOUBLE HUNG	1	NO	1, 3, 4, 5, 6, 8, 13, 15
C	4'-0" x 1'-6"	VINYL	DUAL	HORIZONTAL SLIDER	1	YES	1, 3, 4, 5, 6, 13, 15, 19
D	6'-0" x 2'-0"	VINYL	DUAL	HORIZONTAL SLIDER	2	NO	1, 3, 4, 5, 6, 13, 15
E	3'-0" x 5'-0"	VINYL	DUAL	DOUBLE HUNG	1	YES	1, 3, 4, 5, 6, 8, 13, 15, 19

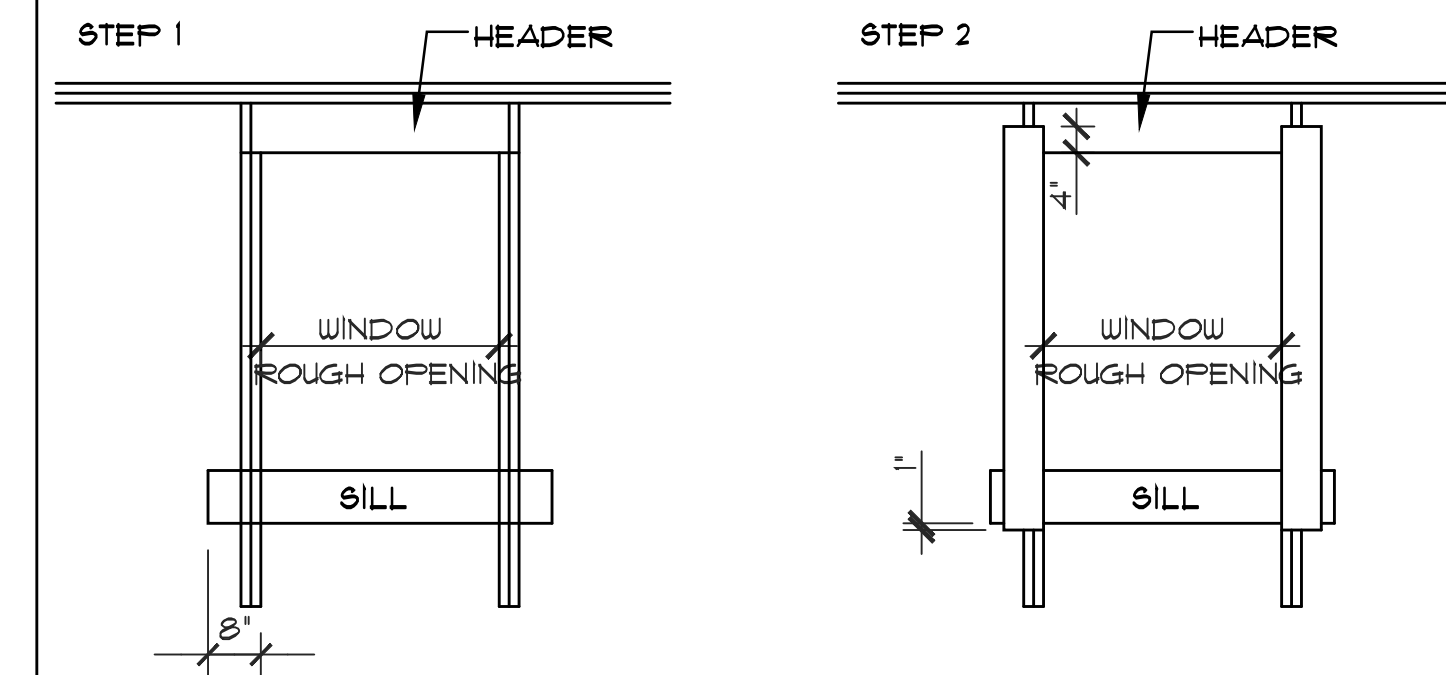
DOOR & WINDOW FOOTNOTES:

- DOOR & WINDOW FINISHES & COLORS INSIDE AND OUT TO BE SELECTED BY OWNER.
- SEE FLOOR PLANS FOR SWING DIRECTION.
- DOOR & WINDOW MANUFACTURER'S ARE NOT SPECIFIED.
- CERTIFIED TO THE MOST CURRENT EDITION OF ANSI / AAMA / NWWDA 101/15.T. STRUCTURAL REQUIREMENTS.
- CONFIRM WITH OWNER AS TO STYLE, TYPE & MATERIAL OF DOORS & WINDOWS PRIOR TO ORDERING.
- ALL WINDOWS TO BE DUAL GLAZED, LOW-E.
- GARAGE DOOR SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS OR BE CONSTRUCTED OF WOOD MEMBERS NOT LESS 1-1/2" INCHES IN THICKNESS.
- WHERE DOORS & WINDOWS ARE NOTED TO BE REPLACED, CAREFULLY MEASURE THE EXISTING OPENING AND MATCH THE SIZE. VERIFY PRIOR TO ORDERING.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 sq. ft. THE MINIMUM NET CLEAR OPENING FOR EMERGENCY ESCAPE GRADE-LEVEL OPENINGS SHALL BE 5 sq. ft.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
- SKYLIGHTS TO BE TEMPERED OR MULTI-LAYERED GLASS.
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF (1) TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO NFPA 251, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF 9FM12-1A-2. (CBC SEC. 104A3.2.2)
- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD 9FM 12-1-A-1 OR SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4" INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO NFPA 251.
- APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 711. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH.
- WHERE DOORS / WINDOWS ARE NOTED TO BE RE-USED, VERIFY THE EXISTING DIMENSIONS AND FRAME THE (N) LOCATION ACCORDINGLY. NOTIFY DESIGNER IMMEDIATELY IF DISCREPANCIES BETWEEN FIELD CONDITIONS AND SCHEDULE OCCUR.
- DOORS SEPERATING GARAGES FROM HABITABLE SPACE ARE TO BE A 20 MIN. FIRE RATED (MINIMUM), SELF-CLOSING, SELF-LATCHING, SOLID CORE DOOR - NO LESS THAN 1-3/8" INCHES THICK.
- EXTERIOR DOORS MAY SWING OUTWARD PROVIDED AN EXTERIOR LANDING IS NOT MORE THAN 1-1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD. 2016 CRC SEC. R313.1
- TEMPERED GLASS, WHEN REQUIRED, SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- DOOR TO PROVIDE A LOUVERED OPENING OF 100 sq. inches FOR MAKE-UP AIR.

SHGC FOR ALL WINDOWS TO MEET .35
U-FACTOR FOR ALL WINDOWS TO MEET .39

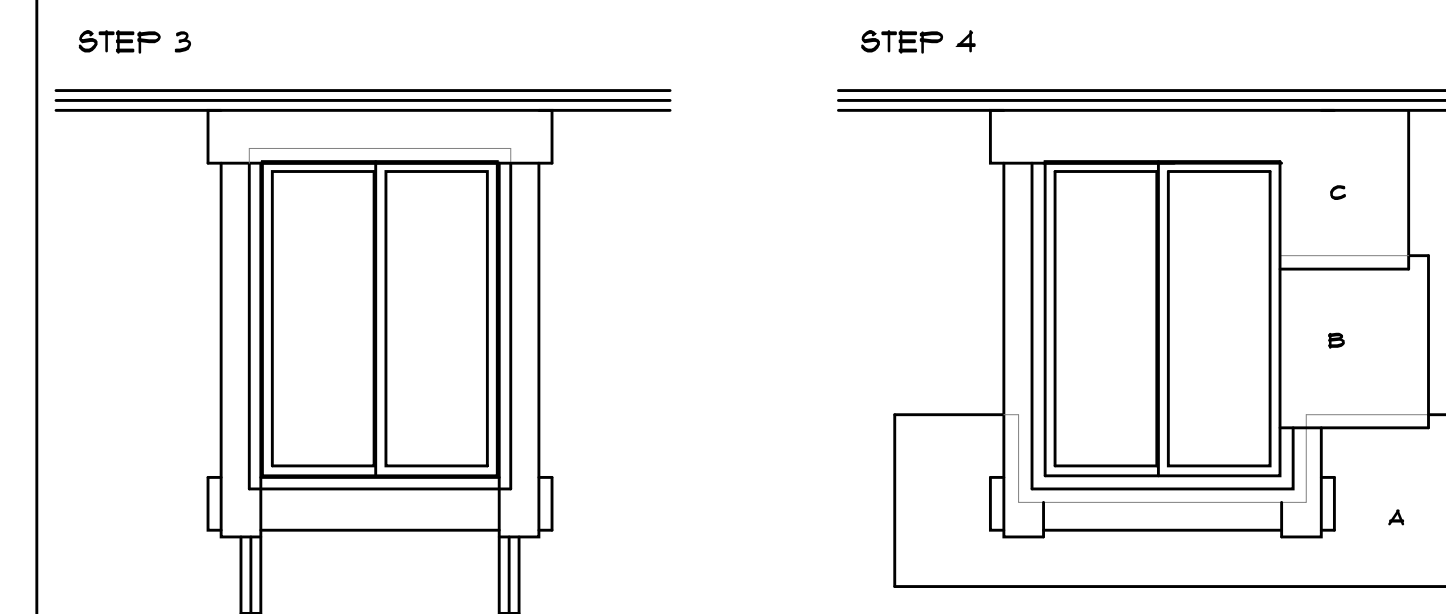
1. REQUIRED FLASHING:
2010 CRC SECTION 406 & 703 STATES THAT ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER TO MAKE THEM WATERPROOF.

2. ACCEPTABLE METHODS:
SINCE METHODS OF FLASHING ARE NOT SPECIFIED IN THE 2010 CBC / CRC, THE FOLLOWING PROCEDURE WILL BE CONSIDERED AN ACCEPTABLE METHOD FOR THE FLASHING OF METAL OR WOOD FRAMES. IT MAY BE USED FOR ALL OPENINGS IN WOOD FRAMED EXTERIOR WALL CONSTRUCTION WHEN THE EXTERIOR WALL FINISH IS APPLIED OVER BUILDING PAPER OR FELT. THIS PROCEDURE COVERS ONLY ONE OF THE MOST COMMONLY USED SURFACE-MOUNTED FRAME INSTALLATIONS AND CANNOT BE USED FOR APPLICATION TO WEATHERPROOF PANEL-TYPE SIDING. SPECIAL ATTENTION MUST BE PAID IN ALL CASES TO THE MANUFACTURER'S RECOMMENDATIONS.



ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL. EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8" INCHES. SECURE ALL APPROVED FLASHING MATERIAL w/ GALVANIZED NAILS or POWER-DRIVEN STAPLES.

ATTACH JAMB STRIPS w/ SIDE EDGE EVEN w/ ROUGH JAMB FRAMING. START STRIP 1" INCH BELOW EDGE OF SILL STRIP AND EXTEND 4" INCHES ABOVE LOWER EDGE OF LINTEL.



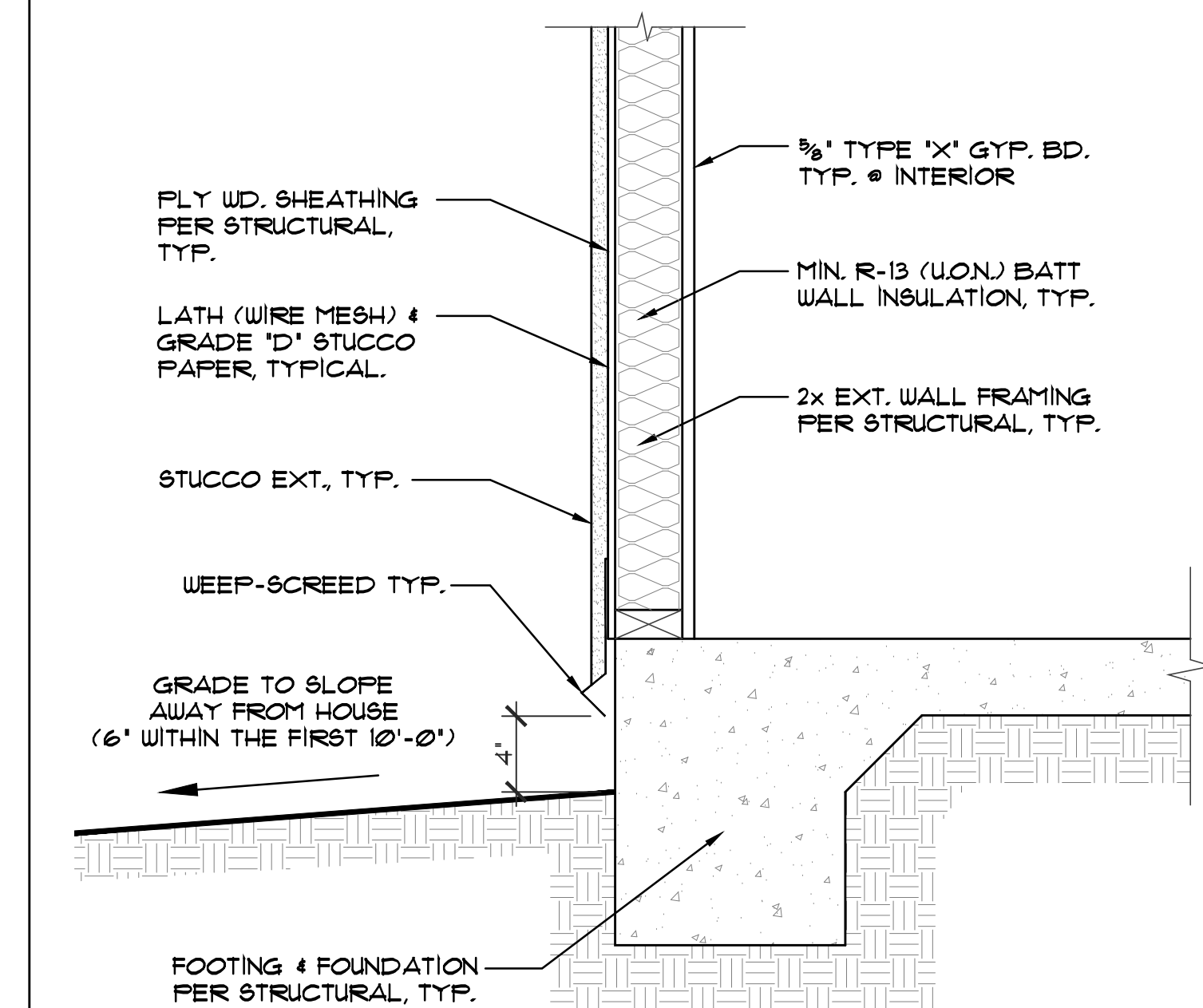
INSTALL WINDOW INTO ROUGH OPENING w/ SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED FLASHING. ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.

COMMENCING AT THE BOTTOM (SILL FLANGE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP.

NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF OPENING.

DO NOT SLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B, C, D, ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

1 TYPICAL FLASHING DETAIL
NOT TO SCALE



2 TYPICAL WEEP SCREED DETAIL
SCALE: 1-1/2" = 1'-0"

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RESIDENCE
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DETACHED GUEST QUARTERS

ARCHITECTURAL DETAILS,
DOOR & WINDOW SCHEDULES

SDP APPROVAL SET

DRAWN
RMB
DATE
2/19
JOB NUMBER
16020
SHEET

A6.1