



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: October 30, 2019 REPORT NO. HO-19-102

HEARING DATE: November 6, 2019

SUBJECT: ISRANI RESIDENCE CDP/SDP, Process Three Decision

PROJECT NUMBER: [604651](#)

OWNER/APPLICANT: Ashok Israni, Managing Member of 7310 VDM LLC, Owner/  
John Dodge, Architect/Applicant

### SUMMARY:

Issue: Should the Hearing Officer approve an application to demolish an existing single-family dwelling unit and construct a new, three-story single-family dwelling unit with an attached four-car garage located at 7310 Vista Del Mar, within the La Jolla Community Planning area?

### Staff Recommendation:

1. Approve Coastal Development Permit No. 2133171; and
2. Approve Site Development Permit No. 21386331.

Community Planning Group Recommendation: On October 3, 2019, the La Jolla Community Planning Association voted 10-3-1 to recommend denial of the project, with no conditions (Attachment 7).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15302 (Replacement or Reconstruction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 9, 2019, and the opportunity to appeal that determination ended September 23, 2019.

## BACKGROUND

The 0.32-acre project site is located at 7310 Vista Del Mar, on the west side of Vista Del Mar, which is within the First Public Roadway, and directly adjacent to the Pacific Ocean (Attachment 1). The existing three-story 7,361-square-foot home was built in 1985. The surrounding neighborhood is a mix of one and two-story single dwelling units that form a well-established residential neighborhood (Attachment 3). The project site is in the RS-1-7 zone and is designated Low Density Residential within the La Jolla Community Plan (Community Plan). The site is also located in the Coastal Overlay Zone (Appealable Area), Sensitive Coastal Overlay Zone, Coastal Height Limitation Overlay Zone, Coastal and Beach Parking Impact Overlay Zone, Residential Tandem Parking Overlay Zone.

The proposed project requires a Coastal Development Permit per San Diego Municipal Code (SDMC) [Section 126.0702](#) for the proposed construction on property within the Coastal Overlay Zone. A Site Development Permit is required per SDMC [Section 143.0110](#) for development on a premise containing Environmentally Sensitive Lands (ESL) in the form of Coastal Bluffs.

## DISCUSSION

The project proposes to demolish an existing three-story residence and construct a three-story, 6,845-square-foot single-family residence with an attached four-car garage. The Community Plan designates the site as Low Density (5-9 DU/AC) Residential land use (Attachment 2). The proposed residential use of the 0.32-acre property is consistent with that land use designation, however, it is below the density range with a density of 3.1 DU/AC. The property consists one lot, along with portions of other lots, currently developed with one existing single-family dwelling unit, as is allowed by the RS-1-7 zone.

### SENSITIVE COASTAL BLUFFS

The site contains Sensitive Coastal Bluffs on the project's west side, which are considered ESL. SDMC Section 142.0340(f) requires that all proposed development, including buildings and accessory structures, be set back at least 40 feet or more from the coastal bluff edge, with a possible reduction to a 25-foot setback when supported by the geotechnical analysis. The proposed development will occur within previously disturbed areas of the site and has been designed to observe a 40-foot bluff edge setback, in conformance with SDMC 143.0143(f)(1) ("Development Regulations for Sensitive Coastal Bluffs").

The submitted Geotechnical Investigation Reports were prepared and reviewed to analyze bluff stability and any other potential geologic hazards. According to the reports, the project site's gross slope stability was found to be adequate overall and the site was found to be suitable for the proposed development at the 40-foot bluff setback. The coastal bluff area will be protected with the recording of a Covenant of Easement, which is a condition of the permit (Attachment 5, Condition No. 28). All surface drainage run-off will be conveyed through a new drainage system with the aid of a sump pump which will convey surface flow away from the coastal bluff area and towards the public drain system within the Vista Del Mar public right-of-way. All construction will be built on previously disturbed area with proposed grading quantities of 600 cubic yards of cut, 130 cubic

yards of fill and 470 cubic yards of export. The proposed residence will be approximately 26 feet, 6 inches in height, in compliance with the allowed 30-foot height limit.

#### PUBLIC VIEWS

There are no public views on or adjacent to project site as identified by the La Jolla Community Plan and Local Coastal Land Use Plan (Attachment 9). However, the project site is located within the First Public Roadway and the ocean, along the west side of Vista Del Mar and there is an intermittent view from the public right of way between the structures on the north side of the project. This Intermittent view down the north side setback area, running the full depth of the premises is being preserved and enhanced through the recording of a ten-foot-wide view easement along that side yard setback area as a condition of the permit. All fencing, landscaping, and other improvements in the view corridor will be restricted by a recorded view easement to protect and maintain public view to the ocean in perpetuity (Attachment 5, Condition No. 29). There is no Intermittent view along the south setback area, due to a jog in the lot line. An existing structure is located directly to the west of the project site along the southern property line and obstructs this potential Intermittent view. This project as proposed conforms to the protected public view regulations, goals, policies and public vantage point figures in the Land Development Code and La Jolla Community Plan and Local Coastal Program Land Use Plan.

#### PUBLIC ACCESS

Vista Del Mar is identified within the Community Plan and Local Coastal Program Land Use Plan as an Alternative Pedestrian Access (Attachment 10). City sidewalks currently exist along the project frontage and will be re-constructed to current standards. The curb to property line distance will be increased from a width of seven feet to current engineering standards of ten feet. These public improvements will be providing a safe pedestrian environment and access for the public in conformance with the La Jolla Community Plan and Local Coastal Program Land Use Plan. In addition to the Alternative Pedestrian Access, there are other dedicated public access points to the Pacific Ocean that are located north of the site via a stairway at the foot of Marine Street and south via a pathway and stairs from the west end of Sea Lane.

#### CONCLUSION:

This proposed project is designed to comply with the development regulations of the RS-1-7 zone, the Environmentally Sensitive Lands regulations, the Beach Parking Impact Overlay Zone regulations and the public access and public views as identified by the La Jolla Community Plan and Local Coastal Program Land Use Plan. Staff supports a determination that the project is in conformance with the applicable sections of the San Diego Municipal Code and has provided draft findings and conditions of approval. Staff recommends the Hearing Officer approve Coastal Development Permit No. 2133171 and Site Development Permit No. 21386331, as proposed.

#### ALTERNATIVES

1. Approve Coastal Development Permit No. 2133171 and Site Development Permit No. 21386331, with modifications.

2. Deny Coastal Development Permit No. 2133171 and Site Development Permit No. 21386331, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

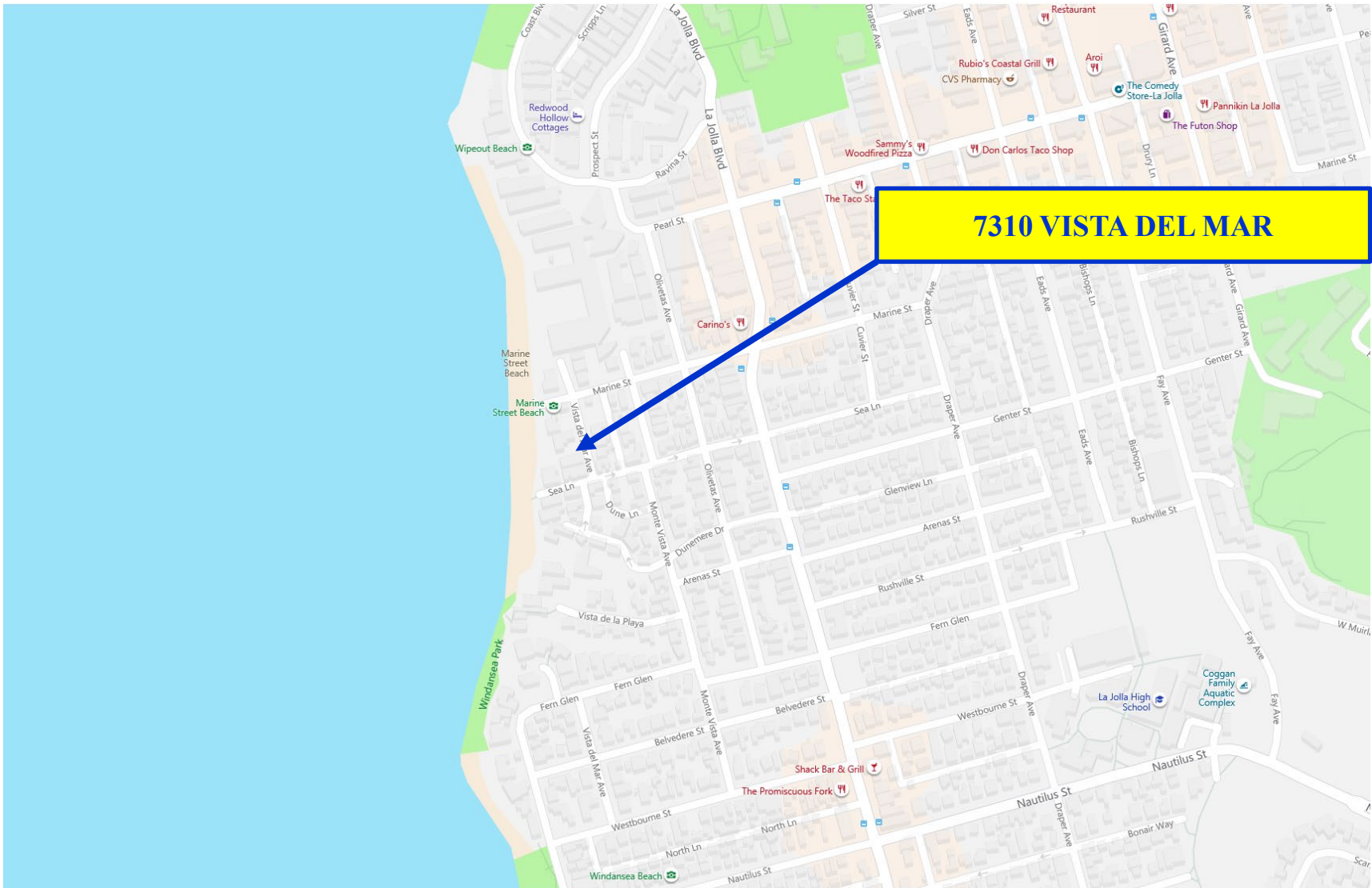


Glenn R. Gargas, Development Project Manager

Attachments:

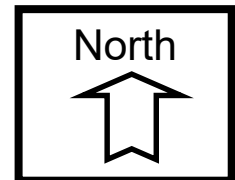
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Notice of Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. La Jolla Community Plan – Figure F – Subarea F Windandsea – Visual Access
10. La Jolla Community Plan – Figure F – Subarea F Windandsea – Physical Access
11. Project Plans

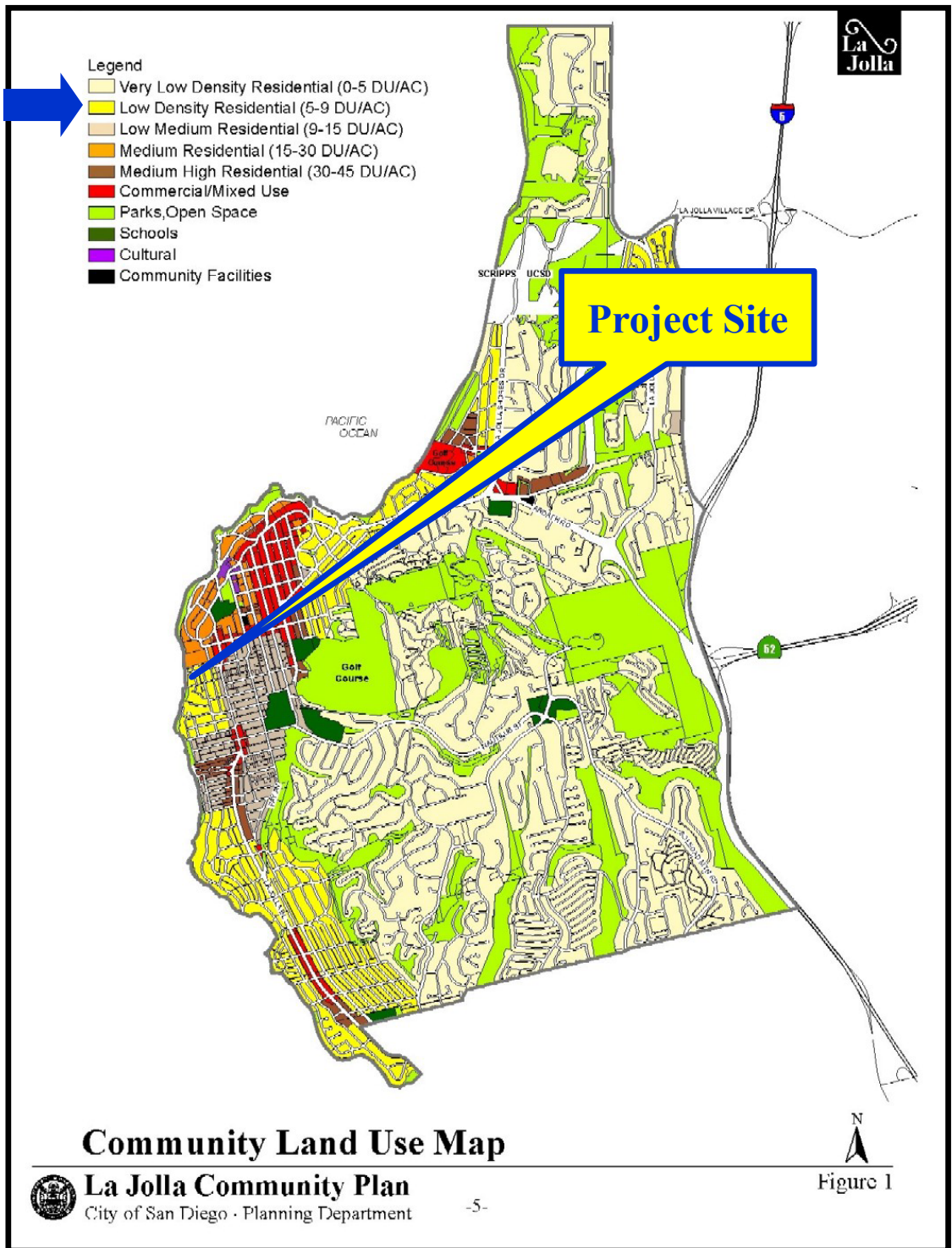




## Project Location Map

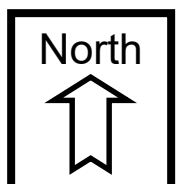
**ISRANI RESIDENCE CDP/SDP – 7310 VISTA DEL MAR**  
**PROJECT NO. 604651**





## Land Use Map

**ISRANI RESIDENCE CDP/SDP – 7310 VISTA DEL MAR**  
**PROJECT NO. 604651 La Jolla**

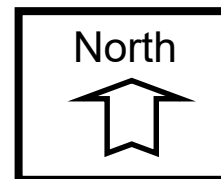






## Aerial Photo

ISRANI RESIDENCE CDP/SDP - 7310 VISTA DEL MAR  
PROJECT NO. 604651



HEARING OFFICER RESOLUTION NO. \_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 2133171/  
SITE DEVELOPMENT PERMIT NO. 21386331  
ISRANI RESIDENCE CDP/SDP - PROJECT NO. 604651

WHEREAS, 7310 VDM LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit for the demolition of an existing three-story residence and the construction of a three-story, single-family residence with an attached four-car garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2133171, and 21386331), on portions of a 0.32-acre property;

WHEREAS, the project site is located at 7310 Vista Del Mar, in the RS-1-7 zone, Coastal (appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Sensitive Coastal Overlay Zone, First Public Roadway, Parking Impact Overlay Zone (Beach Impact Area), Residential Tandem Parking Overlay Zone and within the La Jolla Community Plan area;

WHEREAS, the site is legally described as; Lot 9, the southerly 1.00 foot of Lot 8, and the northerly 50.00 feet of Lots 13 through 16 inclusive, all in Block 5 of La Jolla Beach, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 893 1/2, filed in the office of the County Recorder of San Diego County, April 28, 1903, together with the easterly 7.50 feet of the alley lying adjacent to the southerly 25.00 feet of the northerly 50.00 feet of Lot 13, as vacated by document recorded April 25, 1979, as File No. 79-169710 of official records.

WHEREAS, on November 6, 2019, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2133171 and Site Development Permit No. 21386331, pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2133171 and Site Development Permit No. 21386331:

FINDINGS:

**Coastal Development Permit – San Diego Municipal Code (SDMC) Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.32-acre site, located at 7310 Vista Del Mar and currently developed with an existing residence, is located within a developed residential neighborhood directly adjacent to the Pacific Ocean coastline. The site is located on the west side of Vista Del Mar and east of the Pacific Ocean. The project site is located within the RS-1-7 zone of the La Jolla Community Plan area within the Coastal Overlay Zone (appealable area), Coastal Height Limitation Overlay Zone, Sensitive Coastal Overlay Zone, First Public Roadway and within the La Jolla Community Plan area. The project proposes demolition of an existing three-story residence and the construction of a three-story, single-family

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residence with an attached four-car garage. This project is designed to comply with the public access and public views identified for this site by the La Jolla Community Plan and Local Coastal Program Land Use Plan.

There are no public views on or adjacent to the project site, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. However, there is an intermittent view from along the public right of way between the structures located on the north side of the project site. A ten-foot wide Intermittent view down the north side setback area is being preserved and enhanced through the recording of view easement along that setback area as a condition of the permit. The permit has been conditioned to specify that all existing/proposed vegetation placed in the side yard shall not exceed the requisite three-foot height limit and that any proposed fencing in the side yards shall be a minimum of 75 percent open which will create, enhance, and protect this public view.

The west side of Vista Del Mar also contains an Alternative Pedestrian Access as identified by the La Jolla Community Plan and Local Coastal Land Use Plan. The Alternative Pedestrian Access is along the project site's street frontage within the Vista Del Mar public right-of-way. This pedestrian access is existing in the form of a public sidewalk, which will be improved to current City standards and available for public use. Thus, the proposed project as designed will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the La Jolla Local Coastal Program land use plan; and the proposed development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the La Jolla Community Plan and Local Coastal Program Land Use Plan.

### **2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site was previously graded and has been developed with a residence since 1985. A review of resource maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. Furthermore, the project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA)-designated lands. However, the project site contains environmentally sensitive resources in the form of coastal bluffs on the project's west side.

The proposed development is not located on the coastal beach or within a special flood hazard area. The proposed development will occur within previously disturbed areas of the site and has been designed to observe a 40-foot bluff edge setback, as allowed by San Diego Municipal Code (SDMC) Section 143.0143(f)(1) ("Development Regulations for Sensitive Coastal Bluffs"). The submitted Geotechnical Investigation Reports were prepared and reviewed to analyze bluff stability and any other potential geologic hazards. According to the reports, the project site's gross slope stability was found to be adequate overall and the site was found to be suitable for the proposed development at the 40-foot bluff setback. The western portion of the site that contains the coastal bluffs area that will be protected with the recording of a Covenant of Easement, which is a condition of the permit. Site drainage is designed to drain away from the coastal bluffs with the aid of a sump pump and toward the Vista Del Mar public street right-of-way. All construction will be built on previously disturbed area with proposed grading quantities of 600 cubic yards of cut, 130 cubic yards of fill and 470 cubic yards of export. No natural slopes, sensitive coastal or marine resources or other environmentally sensitive areas will be adversely affected by the proposed project. The project was determined to be

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categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15302 (replacement or Reconstruction).

The proposed development will observe the 40-foot bluff setback and bring the property in to conformance with current Sensitive Coastal Bluff regulations. Thus, this proposed coastal development will not adversely affect Environmentally Sensitive Lands.

### **3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot. The project is in an area identified as Low Density Residential (5-9 DU/AC) land use designation by the La Jolla Community Plan. The proposed residential use of the 0.32-acre property is consistent with that land use designation, however, it is below the density range with a density of 3.1 DU/AC. The property consists one lot, along with portions of other lots, currently developed with one existing single-family dwelling unit, as is allowed by the RS-1-7 zone. The proposed project would adhere to community goals as it has been designed in a manner to not negatively impact any identified public views or public access. The proposed development has also been designed to achieve a harmonious visual relationship between the bulk and scale of the existing and the adjacent structures.

The La Jolla Community Plan states on Page 82 in Community Character: "single dwelling unit residential development in La Jolla covers a spectrum of densities and architectural styles and expressions. One of the more critical issues associated with the single dwelling unit is the relationship between the bulk and scale of infill development to existing single family dwelling units."

Community Character is defined on Page 84 of the Plan: "... to promote good design and harmony with the visual relationships and transitions between new and older structures..."

"Community Character" is defined within the Community Plan on Pages 81 (4<sup>th</sup> bullet point "harmonious visual relationship"), Page 84 which states in part "... to promote good design and harmony with the visual relationships and transitions between new and older structures...", and on Page 90

- a) "in order to maintain and enhance the existing neighborhood character ambience promote good design and visual harmony in the transitions between new and existing structures and preserve the following elements: (1) bulk and scale with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space."

Community Character is defined as the visual relationship between newer and older structures within the community as viewed from the street, parks and open space.

As viewed from the street, the design of the proposed home addresses each of the standards, design guidelines, and policies contained within the Community Plan, including; community character, dealing with the avoidance of extreme and intrusive changes to residential scale, bulk, the design and harmony of the visual relationship in transitions between newer and older structures, landscape and streetscape, sensitive design, and larger side yard setback along the project's north side.

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Consistent with the Plan Pages 89 and 90, the proposed home addresses all of the recommendations concerning bulk and scale, height, transitions, street landscape, increased side yard setback, stair step design, articulation and offsetting planes, and the treatment and variation within setback areas. The proposed home will result in an appropriate transition between the existing older development and newer development within the neighborhood. The proposed development complies with all development regulations and will observe height and setback requirements.

The site is on the west side of Vista Del Mar which has an Alternative Pedestrian Access identified by the La Jolla Community Plan and Local Coastal Land Use Plan. The Alternative Pedestrian Access is along the project site's street frontage within the Vista Del Mar public right-of-way. This pedestrian access is existing in the form of a public sidewalk and will be improved to current City standards, remaining open and available for public use.

There are no public views on or adjacent to project site as identified by the La Jolla Community Plan and Local Coastal Program Land Use Plan. However, the project site is located within the First Public Roadway and the ocean, along the west side of Vista Del Mar. There is an intermittent view from the public right of way between the structures on the north side of the project site. This Intermittent view down the north side setback area, running full depth of the premises is being preserved and enhanced through the recording of a ten-foot-wide view easement along that side yard setback areas as a condition of the permit. All fencing, landscaping, and other improvements in the view corridor will be restricted by a recorded view easement to protect and maintain public view to the ocean in perpetuity. There is no Intermittent view along the south setback area, due to a jog in the lot line. An existing structure is located directly to the west of the project site along the southern property line and obstructs this potential Intermittent view. This project as proposed conforms to the protected public view regulations, goals, policies and public vantage point figures in the Land Development Code and La Jolla Community Plan and Local Coastal Program Land Use Plan.

The proposed development will occur within previously disturbed areas of the site and has been designed to observe a 40-foot bluff edge setback, in conformance with the San Diego Municipal Code (SDMC) Section 143.0143(f)(1) ("Development Regulations for Sensitive Coastal Bluffs"). The submitted Geotechnical Investigation Reports were prepared and reviewed to analyze bluff stability and any other potential geologic hazards. According to the reports, the project site's gross slope stability was found to be adequate overall and the site was found to be suitable for the proposed development. The project as designed and conditioned will ensure the coastal bluff will not be adversely impacted by the proposed development.

The proposed project is consistent with the recommended land use, and development standards in effect for the subject property per the adopted La Jolla Community Plan and Local Coastal Program Land Use Plan, and the City of San Diego's Progress Guide and General Plan, which recommend that the subject property be developed with single-family residential development in accordance with development regulations of the existing RS-1-7 zone. The proposed project will comply with all applicable provisions of the Municipal Code and the adopted La Jolla Community Plan and Local Coastal Program Land Use Plan, and no deviations or variances are requested. Thus, this proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the**



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### **Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located within the first public road (Vista Del Mar) and the Pacific Ocean, within the Coastal Overlay Zone. The project site is in an area where there are intermittent views along that public right of way between the structures. Currently many of the intermittent view areas are significantly obstructed by solid walls/fences and/or mature vegetation. An Intermittent view down the north side setback area is being opened, preserve and enhance through the recording of ten-foot wide view easement along that setback areas as a condition of the permit. The south side yard setback area has a jog in the lot line and the intermittent view is obstructed by an adjacent structure.

The project site is in an area identified as containing Alternative Pedestrian Access along the Vista Del Mar street frontage. City-standard sidewalks currently exist and will be improved along the project frontage, providing a safe pedestrian environment and access for the public in conformance with the La Jolla Community Plan and Local Coastal Program Land Use Plan. In addition to the Alternative Pedestrian Access, there are other dedicated public access points to the Pacific Ocean that is located south of the site via a stairway at the foot of Sea Lane. The proposed development is located completely on private property and will not obstruct or negatively impact public access or public recreation. Due to these factors the project is in conformance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

### **Site Development Permit – Section 126.0504**

#### **1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot. The La Jolla Community Plan designates this lot for single-family residential development. The proposed residential use of the 0.32-acre property is consistent with that land use designation, however, it is below the density range with a density of 3.1 DU/AC. The property consists one lot, along with portions of other lots, currently developed with one existing single-family dwelling unit, as is allowed by the RS-1-7 zone. The project site is within the RS-1-7 zone, Coastal Overlay Zone (appealable area), Coastal Height Limit, and the First Public Roadway and within the boundaries of the La Jolla Community Plan. The project involves the construction of a, three-story, single-family residence on a previously developed ocean front lot. The design of the home will be compatible with the appearance of the existing neighborhood and incorporate façade, articulation, and architectural details that will improve the aesthetic appeal when viewed from the street and along the coast.

There are no public views on or adjacent to the project site as identified within the La Jolla Community Plan and Local Coastal Program Land Use Plan. The proposed single-family residence will not negatively impact public views. The proposed residence is centered in the middle of the project site, having a side yard setback of five-feet from the southern property line and proposed residential structure stays within the allowed building envelope and under the maximum 30-foot height limit. An Intermittent view down the north side setback area is being preserved and enhanced through the recording of ten-foot-wide view easement along that setback area as a condition of the permit.

The project has been evaluated for compliance with the applicable land use plans and the proposed development plans will not conflict with the La Jolla Community Plan and Local Coastal Program Land



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Use Plan. Through the review of the proposed project, it was determined to be consistent with the plan's land use designation and the development regulations of the RS-1-7 zone. Therefore, the proposed development will not adversely affect the applicable Land Use Plan.

### **2. The proposed development will not be detrimental to the public health, safety and welfare.**

The project proposes to demolish the existing residence and construct a 6,845-square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot. This project has been designed to comply with all the applicable development regulations. The subject site is developed and zoned for, and surrounded by, single-family residential use. The permit controlling the development and continued use of the development proposed for this site contains conditions addressing project compliance with the City's regulations and other regional, state and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area.

The submitted Geotechnical Investigation Reports were prepared and reviewed to analyze bluff stability and any other potential geologic hazards. According to the reports, the project site's gross slope stability was found to be adequate overall and the site was found to be suitable for the proposed development at the proposed 40-foot bluff setback, which is a greater setback than the existing development. The proposed single-family residential structure will meet current safety standards to minimize risk from geologic hazards.

Conditions of approval require compliance with several operational constraints and development controls intended to assure the continued health, safety, and general welfare of persons residing or working in the area. All Building, Fire, Plumbing, Electrical, Mechanical Code and the City regulations governing the construction and continued operation of the development apply to this site to prevent adverse effects to those persons or other properties in the vicinity. All aspects of the development comply with the land use regulations so that the proposed development with the conditions of the permit, which include compliance with all applicable building codes, regulations, and standards, will not be detrimental to the public health, safety, and welfare.

### **3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot. This project complies with the development regulations of the RS-1-7 zone, and the Local Coastal Program in the La Jolla. The scale, design and character incorporated into the proposed home are consistent with the scale, design and character of the existing single-family development in the surrounding area. The proposed home will incorporate building materials and colors consistent with existing homes in the vicinity. The proposed project will be visually compatible with the architectural materials and varied design themes of existing one and two story residential developments along this coastal zone.

There are no public views on or adjacent to the project site, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. However, this project site is located within the First Public Roadway and there is an intermittent view from along the public right of way between the structures. A ten-foot wide Intermittent view down the north side setback area is being preserved

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and enhanced through the recording of view easement along that setback area as a condition of the permit. The permit has been conditioned to specify that all existing/proposed vegetation placed in the side yard shall not exceed the requisite three-foot height limit and that any proposed fencing in the side yards shall be a minimum of 75 percent open which will create, enhance, and protect this intermittent public view.

With the adoption of the permit conditions, the proposed single-family residence will be in conformance with all relevant regulations including floor area ratio, setbacks, height, parking and all other relevant regulations. The development of the project has been designed to comply with the land use regulations of the City of San Diego and the La Jolla Community Plan and Local Coastal Program Land Use Plan. Therefore, the proposed development complies with the applicable regulations of the San Diego Municipal Code/Land Development Code.

### **Supplemental Findings--Environmentally Sensitive Lands**

#### **1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The project site is located within an urbanized area of La Jolla and has been developed with a single-family residence since 1985. The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot. All construction will be built on previously disturbed area with proposed grading quantities of 600 cubic yards of cut, 130 cubic yards of fill and 470 cubic yards of export. A Geologic Report and addendums were prepared and reviewed that address geologic hazards for the Israni Residence project site by Christian Wheeler Engineering, April 12, 2018, September 5, 2018 and July 15, 2019. It was determined that the project site is not located on a fault. The proposed development was also determined to be located outside the defined Sensitive Coastal Bluff Zone per the City of San Diego's Coastal Bluffs and Beaches and Steep Slopes Guidelines. Compliance with the City's Geology permit conditions will ensure that proposed coastal development will be built to reduce the potential for geologic impacts from regional hazards. The project is not within a flood overlay zone or a potentially sensitive area for fire hazards. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

#### **2. The proposed development will not be detrimental to the public health, safety and welfare.**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached two-car garage on a 0.32-acre lot. This project has been designed to comply with all the applicable development regulations. The subject site is developed and zoned for, and surrounded by, single-family residential use. The permit controlling the development and continued use of the development proposed for this site contains conditions addressing project compliance with the City's regulations and other regional, state and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area.

A 40-foot coastal bluff edge setback can be supported for the project based upon evidence contained in the geologic investigation report and subsequent addendums. The submitted Geotechnical

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Investigation Reports were prepared and reviewed to analyze bluff stability and any other potential geologic hazards. According to the reports, the project site's gross slope stability was found to be adequate overall and the site was found to be suitable for the proposed development at the 40-foot bluff setback. The proposed addition/remodeled structure will meet current safety standards to minimize risk from geologic hazards.

Conditions of approval require compliance with several operational constraints and development controls intended to assure the continued health, safety, and general welfare of persons residing or working in the area. All Building, Fire, Plumbing, Electrical, Mechanical Code and the City regulations governing the construction and continued operation of the development apply to this site to prevent adverse effects to those persons or other properties in the vicinity. All aspects of the development comply with the land use regulations so that the proposed development with the conditions of the permit, which include compliance with all applicable building codes, regulations, and standards, will not be detrimental to the public health, safety, and welfare.

### **3. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot. The site is located at 7310 Vista Del Mar, RS-1-7 zone, Coastal (appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Sensitive Coastal Overlay Zone, First Public Roadway, Parking Impact Overlay Zone (Beach Impact Area), and the Residential Tandem Parking Overlay Zone.

A Geologic Report and addendums were prepared and reviewed that address geologic hazards for the Israni Residence project site by Christian Wheeler Engineering, April 12, 2018, September 5, 2018 and July 15, 2019. It was determined that the project site is not located on a fault. The site was also determined to be outside the defined Sensitive Coastal Bluff Zone per the City of San Diego's Coastal Bluffs and Beaches and Steep Slopes Guidelines. According to the reports, the project site's gross slope stability was found to be adequate overall and the site was found to be suitable for the proposed development at the proposed 40-foot bluff setback, which is a greater setback than the existing development. Compliance with the City's Geology permit conditions will ensure that new structures will be built to reduce the potential for geologic impacts from regional hazards. The project is not within a flood overlay zone or a potentially sensitive area for fire hazards. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

### **4 The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot.

The project site contains Environmentally Sensitive Lands in the form of Coastal Bluffs along the project site's western edge. The proposed development will take place entirely within private property and not encroach on to the coastal bluffs or any environmentally sensitive lands. The western portion of the site that contains the coastal bluffs area will remain and be protected with the recording of a Covenant of Easement, which is a condition of the permit. Site drainage is designed to

## ATTACHMENT 4

drain toward the Vista Del Mar public street right-of-way with the aid of a sump pump. All construction will be built on previously disturbed area with proposed grading quantities of 600 cubic yards of cut, 130 cubic yards of fill and 470 cubic yards of export. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

**5. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot.

The site is not within, or adjacent to, the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). Therefore, the project is not subject to the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan. The project site does not contain any vernal pools and is not subject to the VPHCP.

**6. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot. The proposed development takes place entirely within private property and stays within the area of existing development. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. Site drainage is designed to drain away from the coastal bluffs and towards the Vista Del Mar public street right-of-way with the aid of a sump pump. All construction will be built on previously disturbed area with proposed grading quantities of 600 cubic yards of cut, 130 cubic yards of fill and 470 cubic yards of export. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

**7. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

The project proposes to demolish the existing residence and construct a 6,845 square-foot, three-story single-family residence with an attached four-car garage on a 0.32-acre lot. The City of San Diego's Environmental Analysis Section conducted a preliminary review consistent with CEQA Guidelines and determined that the proposed project would not result in any significant environmental impacts and the preparation of an Environmental Impact Report was not required. The project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15302 (Replacement or Reconstruction) and no mitigation measures were required. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

## **ATTACHMENT 4**

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2133171 and Site Development Permit No. 21386331 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2133171 and 21386331, a copy of which is attached hereto and made a part hereof.

---

Glenn R. Gargas  
Development Project Manager  
Development Services

Adopted on: November 6, 2019.

Job Order No. 24007818

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24007818

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**COASTAL DEVELOPMENT PERMIT NO. 2133171**  
**SITE DEVELOPMENT PERMIT NO. 21386331**  
**ISRANI RESIDENCE CDP/SDP - PROJECT NO. 604651**  
**HEARING OFFICER**

This Coastal Development Permit No. 2133171 and Site Development Permit No. 2138631, is granted by the Hearing Officer of the City of San Diego to 7310 VDM LLC, a California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708 and 143.0110. The 0.32-acre site is located at 7310 Vista Del Mar, in the RS-1-7 Zone, Coastal (Appealable) Overlay Zone, Sensitive Coastal Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach Impact Area), First Public Roadway, Residential Tandem Parking Overlay Zone and within the La Jolla Community Plan area. The project site is legally described as: Lot 9, The Southerly 1.00 foot of Lot 8, and the northerly 50.00 feet of Lots 13 through 16 inclusive, all in Block 5 of La Jolla Beach, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 893 1/2, filed in the office of the County Recorder of San Diego County, April 28, 1903, together with the easterly 7.50 feet of the alley lying adjacent to the southerly 25.00 feet of the northerly 50.00 feet of Lot 13, as vacated by document recorded April 25, 1979, as File No. 79-169710 of official records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of the existing three-story residence and the construction of a three-story, single-family residence with attached garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 6, 2019, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single-family dwelling unit and construction of a three-story, 6,845-square-foot single family dwelling unit over basement, which consists of a 464-square-foot basement above grade/ above grade/3,687 square feet of basement below grade (non-gross floor area), a 3,815-square-foot main floor and a 2,566-square-foot upper floor with a four-car garage on a 14,005-square-foot property;
- b. Landscaping (planting, irrigation and landscape related improvements);

- c. Off-street parking;
- d. Site walls, retaining wall, fences, patio, and walkways; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November \_\_, 2022 (Pending California Coastal Commission Appeal Period).
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but

not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.



**CLIMATE ACTION PLAN REQUIREMENTS:**

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate an additional 5 feet on Vista Del Mar Avenue to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for proposed curb outlet and landscaping/irrigation on Vista Del Mar Ave, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12-foot wide driveway per current City Standards, adjacent to the site on Vista Del Mar Avenue, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to construct new curb/gutter and sidewalk per current City Standard adjacent to the site on Vista Del Mar to satisfaction of the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**LANDSCAPE REQUIREMENTS:**

20. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Development Services Department.

21. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

22. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-sq.ft. area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

23. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind, and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

### **PLANNING/DESIGN REQUIREMENTS:**

26. The Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement, in accordance with the requirements of the San Diego Municipal Code, Section 143.0142, against title to the affected premises and executed in favor of the City. The Covenant of Easement shall contain a description of the premises affected by the permit with a description of the development area and the Environmentally Sensitive Lands that shall be preserved.

29. Prior to the issuance of construction permits for the proposed single-family residence, the Owner/Permittee shall record a Deed Restriction preserving a visual corridor a minimum 10 feet wide along the northern side yard setback of the proposed main structure, in accordance with the requirement of the San Diego Municipal Code Section 132.0403 (b). Open fencing and landscaping may be permitted within this visual corridor, provided such improvements do not significantly obstruct public views of the ocean. Responsibility for maintenance of said lands shall remain with the owner of the fee title of said land, and nothing contained herein shall be construed to assign any maintenance responsibility to the City of San Diego, nor shall anything contained herein be construed to confer any rights to the general public.

30. Prior to the issuance of any construction permits, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement for Sensitive Coastal Bluffs in accordance with SDMC section 143.0143, in a form and content acceptable to the Director of the Development Services Department, or designated representative, which shall provide: (a) that the Owner/Permittee understands that new accessory structures or landscape features customary and incidental to residential uses are prohibited within 5 feet of the Coastal Bluff Edge or on the face of the Bluff, as illustrated on approved plan Exhibit "A;" (b) that the Owner/Permittee understands that the site may be subject to extraordinary hazard from coastal bluff erosion, and the Owner/Permittee assumes all liability from such hazards; and (c) the Owner/Permittee unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify, and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns.

31. Any future at grade accessory structures and landscape features customary and incidental to residential uses shall not be closer than five feet to the coastal bluff edge, in accordance with the requirements of the Land Development Code.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

### **GEOLOGY REQUIREMENTS:**

33. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

34. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 6, 2019, by Resolution No.

\_\_\_\_\_.

## ATTACHMENT 5

Permit Type/PTS Approval No.: CDP No. 2133171 & SDP No. 2138631  
Date of Approval: November 6, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

---

Glenn R. Gargas  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

7310 VDM, LLC  
Owner/Permittee

By \_\_\_\_\_  
Ashok Israni, Managing Member

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

**NOTICE OF EXEMPTION****ATTACHMENT 6***(Check one or both)*

TO:   X   RECORDER/COUNTY CLERK  
P.O. Box 1750, MS A-33  
1600 PACIFIC HWY, ROOM 260  
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO  
DEVELOPMENT SERVICES DEPARTMENT  
1222 FIRST AVENUE, MS 501  
SAN DIEGO, CA 92101

           OFFICE OF PLANNING AND RESEARCH  
1400 TENTH STREET, ROOM 121  
SACRAMENTO, CA 95814

Project No.: 604651

Project Title: Israni Residence

PROJECT LOCATION-SPECIFIC: The project is located at 7310 Vista Del Mar, San Diego, CA.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: Coastal Development Permit (CDP) and Site Development Permit (SDP) for the demolition of an existing single-family dwelling unit and construction of a three-story, 6,845-square-foot single family dwelling unit. Included in the proposal is an above grade 464-square-foot basement and a 3,687 basement below grade basement (non-gross floor area). The gross floor area includes a 3,815-square-foot main floor and a 2,566-square-foot upper floor with the above grade basement totaling, 6,845 square feet. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with the public utilities in place to serve the residence. The 0.32-acre site is located at 7310 Vista Del Mar, in the RS-1-7 Zone, Coastal (Appealable) Overlay Zone, Sensitive Coastal Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach Impact Area), First Public Roadway, Residential Tandem Parking Overlay Zone and within the La Jolla Community Plan area.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Daniel Architecture- Daniel Alvear, 445 Marine View Ave. Del Mar, CA, 92014 (858) 792-2800.

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)).
- ☒ CATEGORICAL EXEMPTION: Section 15302 (Replacement or Reconstruction)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). The exemption allows for the replacement of existing structures with new ones and where the structures would be located on the same site and would have substantially the same purpose and capacity. Since the project would replace one residence with another residence the project qualifies to be categorical exempt from CEQA. Additionally, the site is located in an area where public services exist, is devoid of sensitive resources, and the exceptions listed in CEQA Section 15300.2 do not apply.

## ATTACHMENT 6

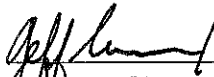
LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
( ) YES      ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

 SENIOR PLANNER

10/17/2019

SIGNATURE/TITLE

DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY

CLERK OR OPR:



THE CITY OF SAN DIEGO

City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

# Community Planning Committee Distribution Form Part 1

<b>Project Name:</b>		<b>Project Number:</b>	<b>Distribution Date:</b>
<b>Project Scope/Location:</b>			
<b>Applicant Name:</b>		<b>Applicant Phone Number:</b>	
<b>Project Manager:</b>	<b>Phone Number:</b>	<b>Fax Number:</b> (619) 321-3200	<b>E-mail Address:</b>
<b>Project Issues (To be completed by Community Planning Committee for initial review):</b>			
<i>Attach Additional Pages If Necessary.</i>		<b>Please return to:</b> <b>Project Management Division</b> <b>City of San Diego</b> <b>Development Services Department</b> <b>1222 First Avenue, MS 302</b> <b>San Diego, CA 92101</b>	
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			





THE CITY OF SAN DIEGO

City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

## Community Planning Committee Distribution Form Part 2

<b>Project Name:</b>		<b>Project Number:</b>	<b>Distribution Date:</b>
<b>Project Scope/Location:</b>			
<b>Applicant Name:</b>		<b>Applicant Phone Number:</b>	
<b>Project Manager:</b>	<b>Phone Number:</b>	<b>Fax Number:</b> (619) 321-3200	<b>E-mail Address:</b>
<b>Committee Recommendations (To be completed for Initial Review):</b>			
<input type="checkbox"/> <b>Vote to Approve</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>Vote to Approve With Conditions Listed Below</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>Vote to Approve With Non-Binding Recommendations Listed Below</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>Vote to Deny</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)</b>			<input type="checkbox"/> <b>Continued</b>
<b>CONDITIONS:</b>			
<b>NAME:</b>		<b>TITLE:</b>	
<b>SIGNATURE:</b>		<b>DATE:</b>	
<i>Attach Additional Pages If Necessary.</i>		<b>Please return to:</b> <b>Project Management Division</b> <b>City of San Diego</b> <b>Development Services Department</b> <b>1222 First Avenue, MS 302</b> <b>San Diego, CA 92101</b>	
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			

**Community Planning Group attachment: Israni Residence, Project # 604651**

**La Jolla Community Planning Group Regular Meeting, 10.3.2019**

Item was pulled from consent agenda on September 5 to be reviewed by entire committee on October 3, 2019


Applicant did not show at the meeting.

Several neighbors were in attendance to speak to the project as it was properly noticed to the community.

The neighbors were allowed to speak. Since the applicant was not there to present the project the group voted to deny the project because they could not justify approving a project that they had not seen.

The community group was concerned about the bulk and scale that not compatible with the neighborhood.

They were also concerned that the sub committee was not in agreement to approve.

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="text-align: center;">Ownership Disclosure Statement</h1>	<b>FORM</b>
			<b>DS-318</b>
			<b>October 2017</b>

**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance  
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other \_\_\_\_\_

**Project Title:** Israni Residence

**Project No. For City Use Only:** 604651

**Project Address:** 7310 Vista Del Mar, San Diego, CA, 92037

**Specify Form of Ownership/Legal Status (please check):**

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? California Corporate Identification No. \_\_\_\_\_  
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: 7310 VDM LLC ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 1775 Hancock St Suite 200

City: San Diego State: CA Zip: 92110

Phone No.: 619 296 9000 Fax No.: 619 296 9090 Email: aisrani@pacificacompanies.com

Signature: [Signature] Date: 4/9/2018

Additional pages Attached: ☐ Yes ☒ No

**Applicant**

Name of Individual: Ashok Israni ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 1775 Hancock St Suite 200

City: San Diego State: CA Zip: 92110

Phone No.: 619 296 9000 Fax No.: 619 296 9090 Email: aisrani@pacificacompanies.com

Signature: [Signature] Date: 4/9/2018

Additional pages Attached: ☐ Yes ☐ No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

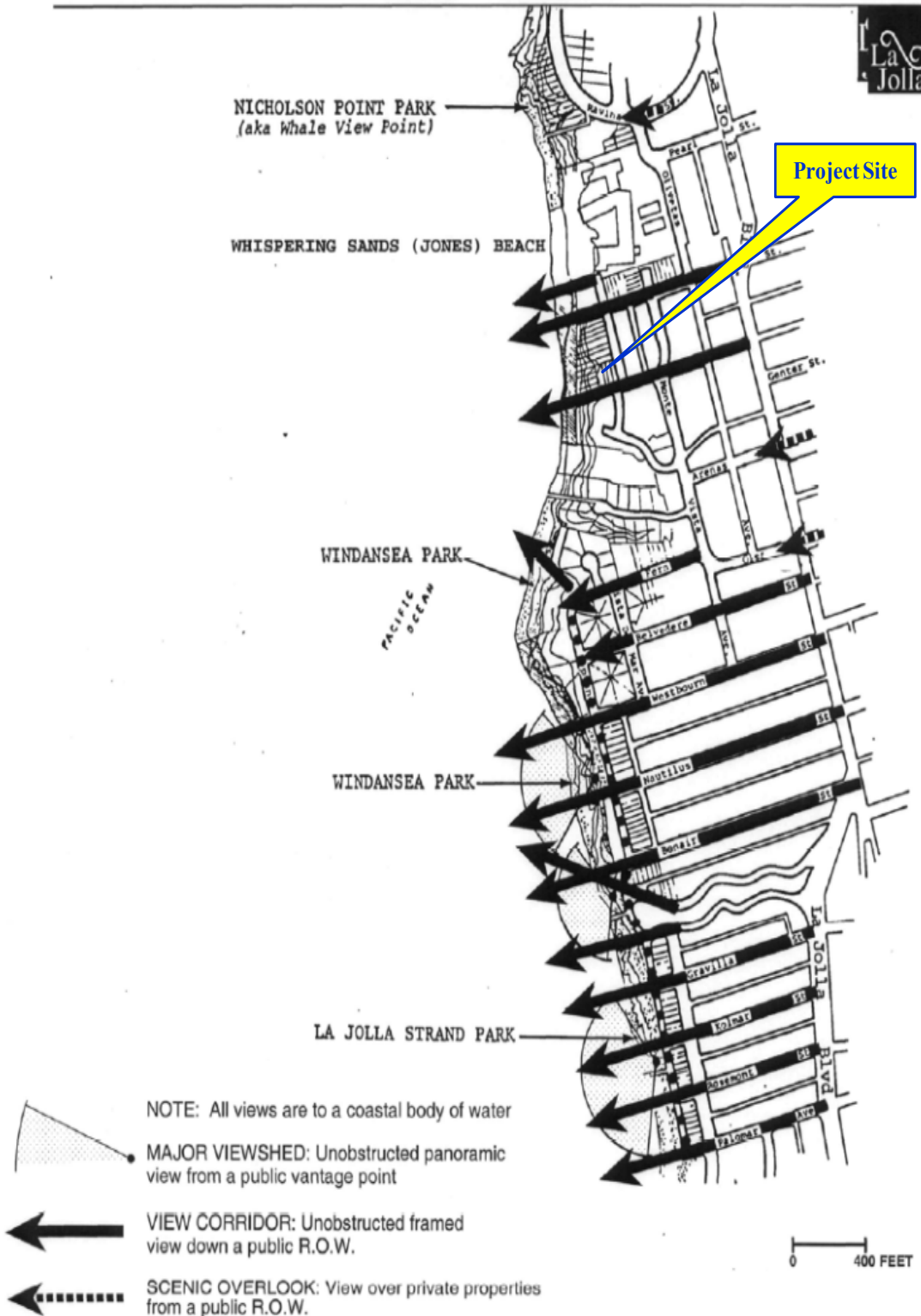
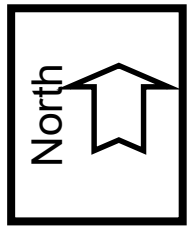
Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached: ☐ Yes ☐ No



## Visual Access

ISRANI RESIDENCE CDP / SDP - 7310 VISTA DEL MAR  
PROJECT NO. 604651

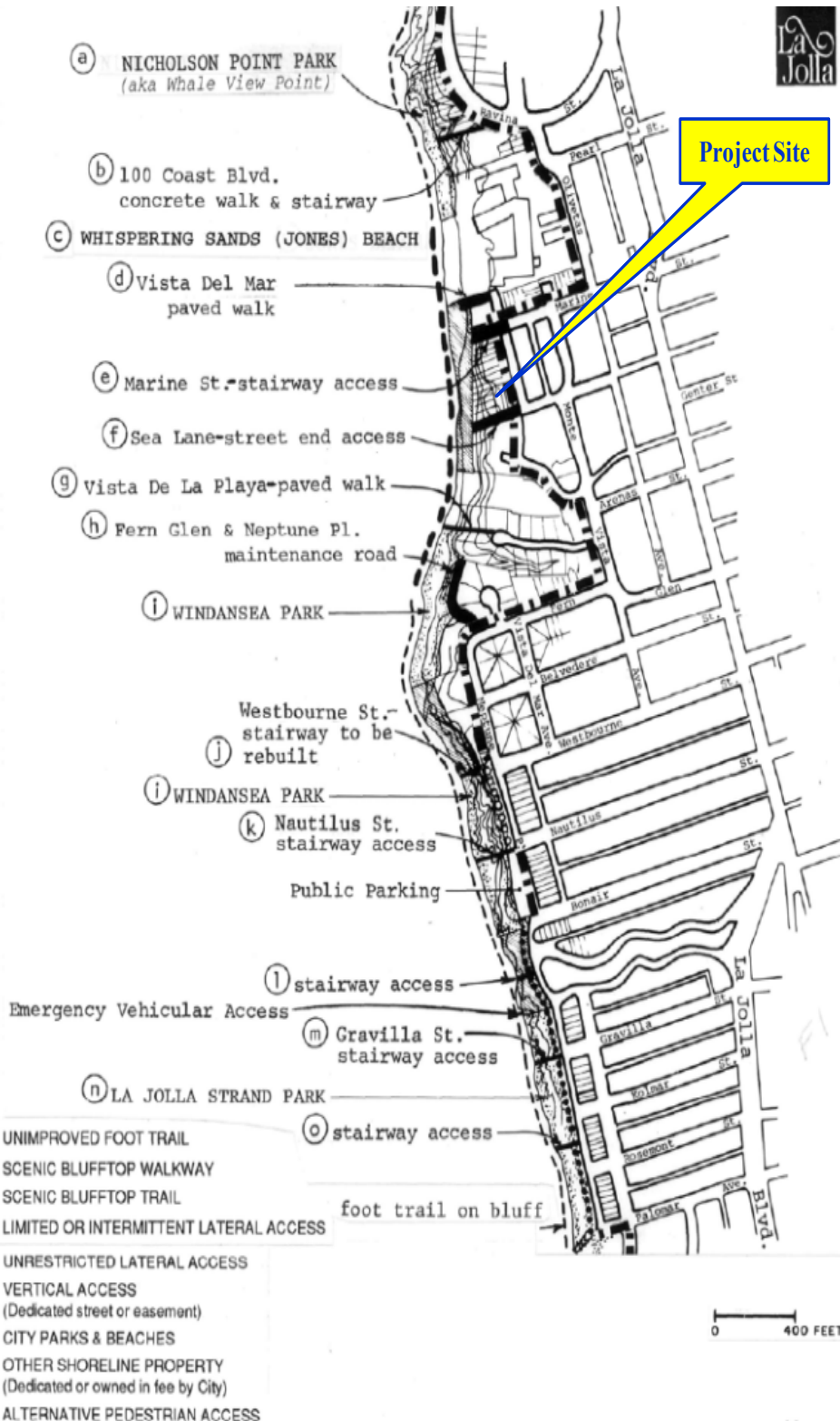
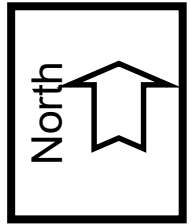


### Subarea F: Windandsea - Visual Access



La Jolla Community Plan  
City of San Diego • Planning Department

Figure F



## Physical Access

ISRANI RESIDENCE CDP / SDP - 7310 VISTA DEL MAR  
PROJECT NO. 604651



## Subarea F: Windansea - Physical Access



La Jolla Community Plan  
City of San Diego • Planning Department

Figure F



ISRANI RESIDENCE

7310 VISTA DEL MAR AVE.



DEVELOPMENT SUMMARY

PROJECT ADDRESS:	7310 VISTA DEL MAR AVE., LA JOLLA, CA 92037		
PROJECT SCOPE OF WORK:	- COASTAL AND SITE DEVELOPMENT PERMIT APPROVAL REQUIRED - DEMOLISH AN EXISTING 3 STORY SINGLE FAMILY HOME W/ ATTACHED GARAGE- CONSTRUCTION OF A NEW 3 STORY SINGLE FAMILY HOME W/ ATTACHED GARAGE		
	- EXTERIOR SITE IMPROVEMENTS: + REMOVE EXISTING IN-GROUND POOL + SITE RE-GRADING + SITE WALLS		-STREET ROW IMPROVEMENTS + REPLACE EXISTING CURB CUT AND APRON
DISCRETIONARY PERMIT:	COASTAL DEVELOPMENT PERMIT		
PROJECT TEAM:	DESIGNER: CIVIL ENGINEERS: LANDSCAPE ARCHITECTS:	DODGE DESIGN GROUP CIVIL LAND WORKS MCCULLOUGH LANDSCAPE	619 930-9830 760 908-8745 619 296-3150
LEGAL DESCRIPTION:	MAP 351, BLOCK 017, LOT 10		
A.P.N.:	351-017-10-00		
OWNER NAME & ADDRESS:	7310 VDM LLC 1773 HANCOCK ST. STE. 200, SAN DIEGO, CA 92110		
CONSTRUCTION TYPE:	V-A, SPRINKLED		
OCCUPANCY CLASS: USE EXISTING: USE PROPOSED:	GROUP R3, RESIDENTIAL RESIDENTIAL, SINGLE FAMILY RESIDENTIAL, SINGLE FAMILY		
ZONING DESIGNATION: ZONING OVERLAYS:	RS-1-7 -COASTAL HEIGHT LIMIT, -COASTAL (CITY) -FIRST PUBLIC ROADWAY -PARKING IMPACT -RESIDENTIAL TANDEM PARKING		
YEAR CONSTRUCTED:	1985		
HISTORIC DISTRICT:	PHILLIP BARBER		
GEOLOGIC HAZARD CATAGORY:	44, 53		
AREA SUMMARY: SITE AREA: BASEMENT MAIN LEVEL UPPER LEVEL BUILDING GROSS FLR AREA	= 14,005 SQ.FT. = 464 GSF = 3,815 GSF = 2,566 GSF = 6,845 GSF TOTAL		
PROPOSED F.A.R.	= .50 (ALLOWABLE GROSS FLOOR AREA = 7,002 Sq.Ft.		
GROSS FLR AREA CALCS DETERMINED PER SDMC 113.0234 - BASEMENT AREA NOT INCLUDED IN GFA PER SDMC 113.0234(B) = 3,687 SF			

SYMBOLS AND LEGEND

<b>ELEVATION SYMBOL</b>  DETAIL LETTER DIRECTION OF VIEW DETAIL SHEET	<b>REVISION SYMBOL</b>  REVISION NUMBER
<b>BUILDING SECTION SYMBOL</b>  DETAIL LETTER DIRECTION OF VIEW DETAIL SHEET	<b>DOOR SYMBOL</b>  DOOR NUMBER
<b>WALL SECTION SYMBOL</b>  DETAIL NUMBER DIRECTION OF VIEW DETAIL SHEET	<b>WINDOW SYMBOL</b>  WINDOW LETTER
<b>DETAIL SYMBOL</b>  DETAIL NUMBER DETAIL SHEET	<b>KEYNOTE SYMBOL</b>  KEYNOTE NUMBER
<b>WALLS</b>  EXISTING WALL TO BE REMOVED. NEW 2x FRAMED WALL EXISTING WALL TO REMAIN CONCRETE MASONRY WINDOW	<b>GRIDLINE SYMBOL</b>  GRIDLINE NUMBER
<b>OTHER</b>  PLYWOOD BLOCKING METAL SOIL PLASTER GRAVEL PLANTING INSULATION GAS OUTLET HOSE BIB ROOF DRAIN CARBON MONOXIDE ALARM EXHAUST FAN SMOKE ALARM	<b>DATUM SYMBOL</b>  DATUM/ELEVATION POINT

PROJECT DIRECTORY

<b>OWNER:</b> 7310 VDM LLC 1773 HANCOCK ST. STE. 200 SAN DIEGO, CA 92110 TEL: 619-296-9000	<b>DESIGNER:</b> DODGE DESIGN GROUP JOHN DODGE 2750 HISTORIC DECATUR RD SUITE 205 SAN DIEGO, CA 92106 TEL: 619-930-9830	<b>CIVIL ENGINEER:</b> CIVIL LANDWORKS DAVID CARSON 110 COPPERWOOD WAY SUITE P OCEANSIDE, CA 92058 TEL: 760-908-8745	<b>LANDSCAPE ARCHITECT:</b> MCCULLOUGH LANDSCAPE ARCHIT. DAVID MCCULLOUGH 703 16TH STREET, SUITE 100 SAN DIEGO, CA 92101 TEL: 619-296-3150	<b>GEOTECHNICAL:</b> CHRISTIAN WHEELER ENG. DAVID RUSSELL 3980 HOME AVE. SAN DIEGO, CA 92105 TEL: 619-550-1721
---	---	--	---	---

VICINITY MAP

NOT TO SCALE



ENERGY EFFICIENCY

THE NEW SINGLE FAMILY RESIDENCE PROPOSES TO CONSTRUCT AN ENERGY EFFICIENT BUILDING BY COMPLYING WITH CALIFORNIA'S 2016 BUILDING ENERGY STANDARDS FOR RESIDENTIAL PROJECTS. ACHIEVING THIS GOAL BY USING THE FOLLOWING BUILDING FEATURES; ALL FEATURES TO BE TESTED AND CERTIFIED TO MEET THE MANDATORY MEASURES, APPLICABLE CODES AND STANDARDS;

- COOL ROOFS

- REDUCE AIR & MOISTURE PENETRATION W/ ENVELOPE SEALING

- ENERGY COMPLIANT FENESTRATIONS

- ENERGY COMPLIANT APPLIANCES AND FIXTURES
- ROOF OVERHANGS & SHADE ELEMENTS

- MEET INSULATION REQUIREMENTS

- ENERGY COMPLIANT HVAC EQUIPMENT

SHEET INDEX

CDP SUBMITTAL SET

- T100 COVER SHEET
- T101 SQUARE FOOTAGE DETERMINATION

CIVIL

- C-1 TOPOGRAPHICAL SURVEY OF EXISTING
- C-1 CIVIL GRADING PLAN

LANDSCAPE

- L01 LANDSCAPE DEVELOPMENT PLAN
- L02 LANDSCAPE PLANTING PLAN
- L03 LANDSCAPE MAWA CALCULATIONS

ARCHITECTURAL

- A100 SITE PLAN
- A101 BASEMENT LEVEL FLOOR PLAN
- A102 MAIN LEVEL FLOOR PLAN
- A103 UPPER LEVEL FLOOR PLAN
- A104 ROOF PLAN
- A201 ELEVATIONS
- A202 ELEVATIONS
- A301 SITE SECTION
- A302 SITE SECTION

CDP No. = 604651

PREPARED BY:	Revision 14
Name: JOHN DODGE	Revision 13
DODGE DESIGN GROUP	Revision 12
2750 HISTORIC DECATUR RD, SUITE 205	Revision 11
SAN DIEGO, CA 92106	Revision 10
Phone: 619-930-9830	Revision 9
Project Address:	Revision 8
7310 VISTA DEL MAR AVE.	Revision 7
LA JOLLA, CA	Revision 6
92037	Revision 5
Project Name:	Revision 4
ISRANI RESIDENCE	Revision 3
Revision 2	Revision 2
Revision 1	Revision 1
Original Date	Original Date
08-19-19	08-19-19
Sheet Name:	Sheet
COVER SHEET	1 of 15
DEPR	DEPR

ISSUED:

07-31-18

DODGE  
DESIGN  
group

DODGEDESIGNGROUP.COM  
2750 HISTORIC DECATUR RD  
STUDIO 205  
SAN DIEGO, CA 92106  
(619) 930-9830

ISRANI RESIDENCE  
7310 VISTA DEL MAR AVE.  
LA JOLLA, CA 92037

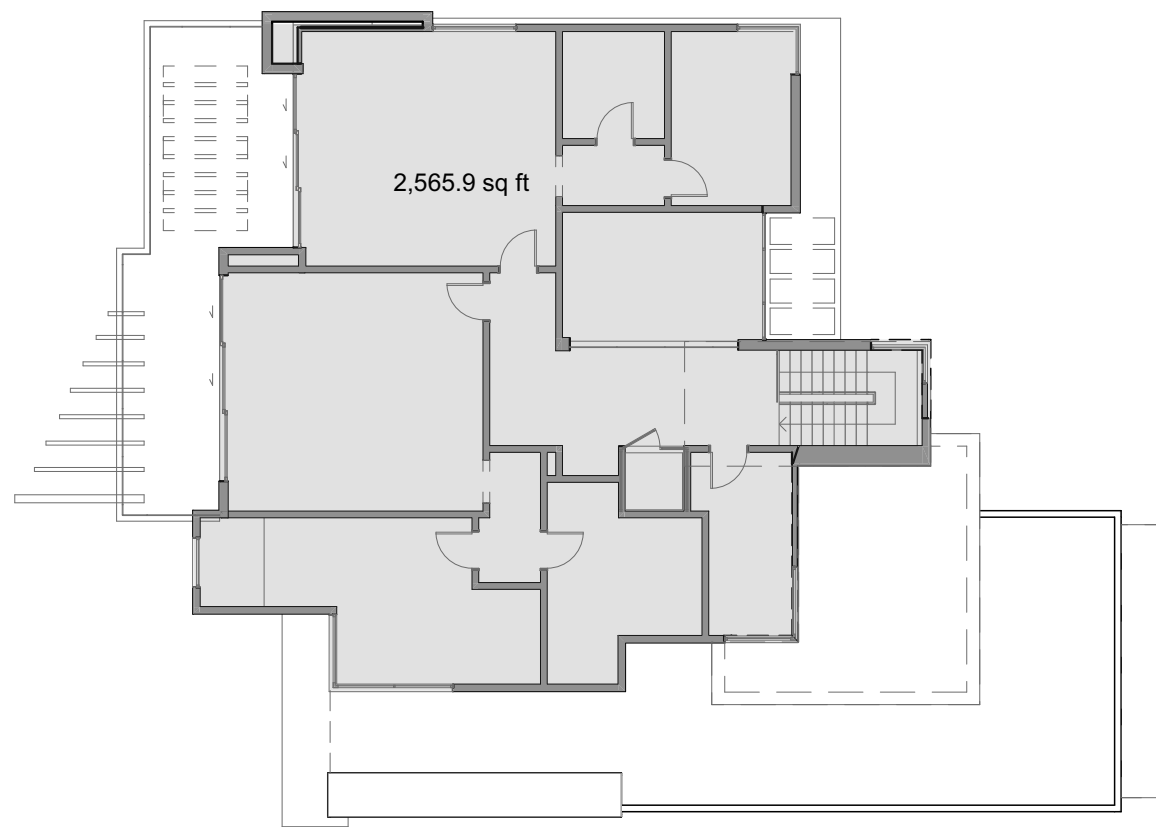
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DATE : 08-19-19

COVER SHEET

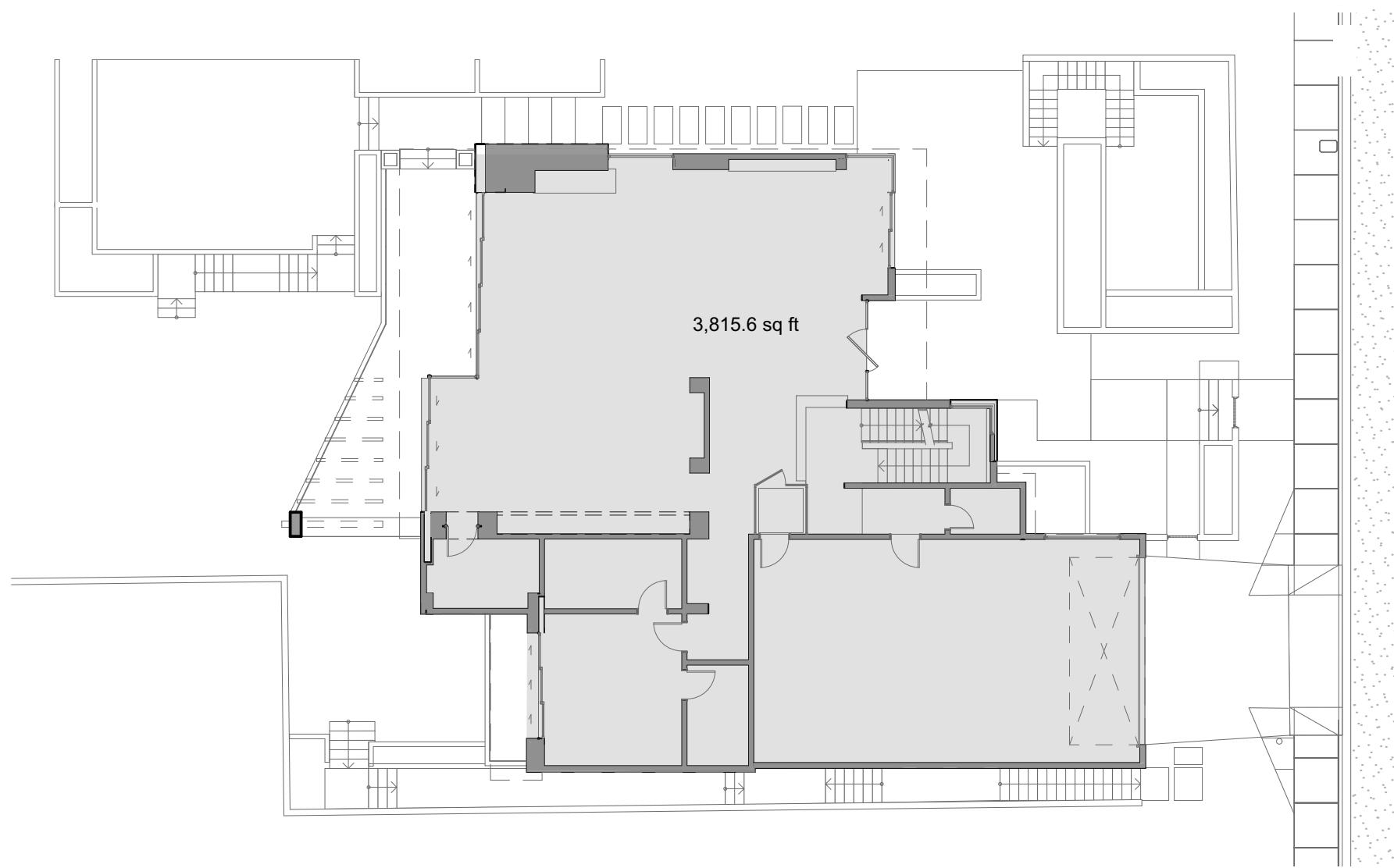
T100





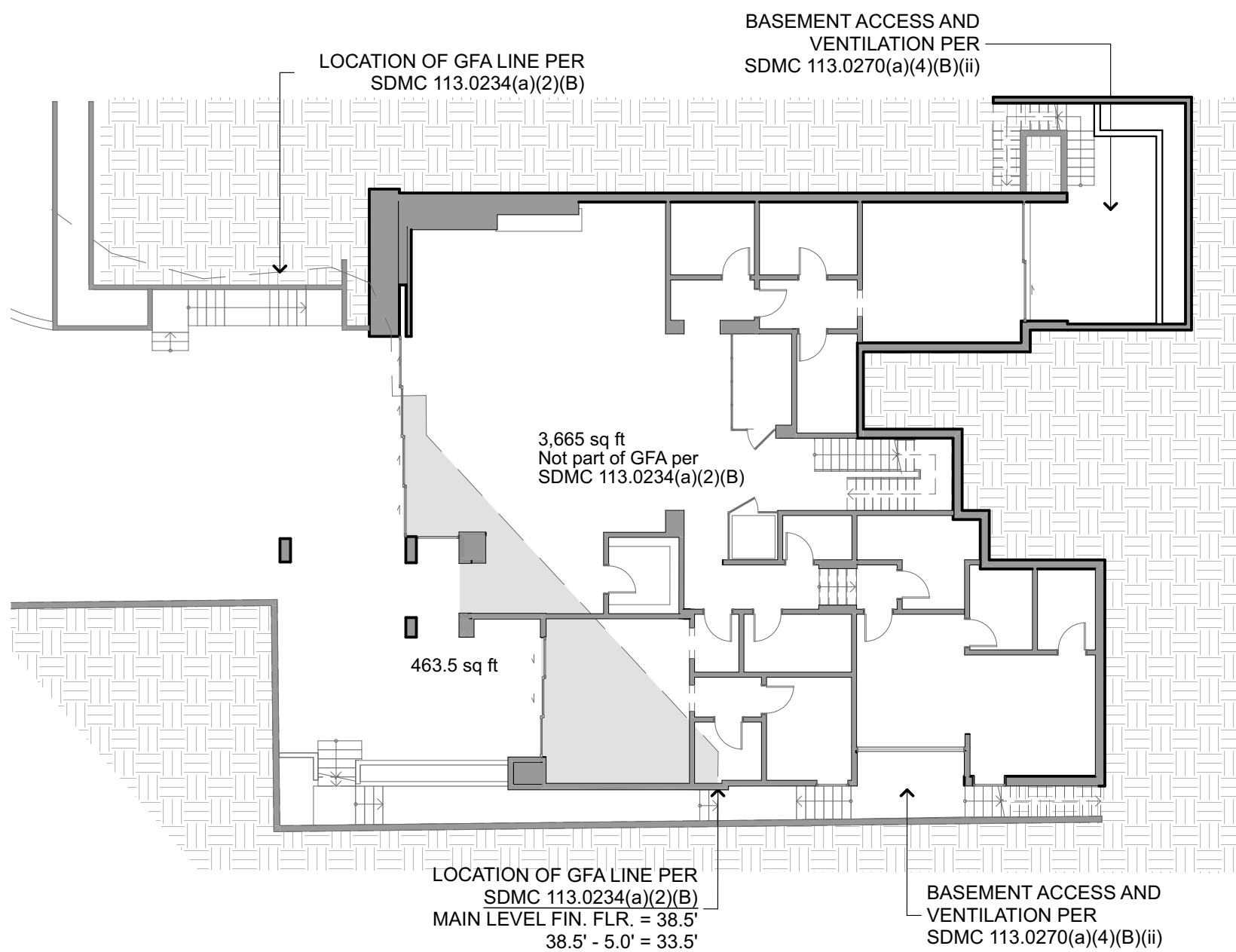
UPPER LEVEL SF CALCS.

SCALE: 1/16" = 1'-0"



MAIN LEVEL SF CALCS.

SCALE: 1/16" = 1'-0"



LOWER LEVEL SF CALCS.

SCALE: 1/16" = 1'-0"

<b>AREA SUMMARY:</b>	
SITE AREA:	= 14,005 SQ.FT.
UPPER LEVEL	= 2,566 GSF
MAIN LEVEL	= 3,815 GSF
BASEMENT INCLUDED IN GFA	= 464 GSF
(BASEMENT NOT INCLUDED IN GFA)	= (3,665 GSF) SDMC 113.0234(a)(2)(B)
TOTAL GROSS FLR AREA	= 6,845 GSF TOTAL
PROPOSED F.A.R.	= .50 (ALLOWABLE GROSS FLOOR AREA = 7,002 Sq.Ft.)

§113.0234

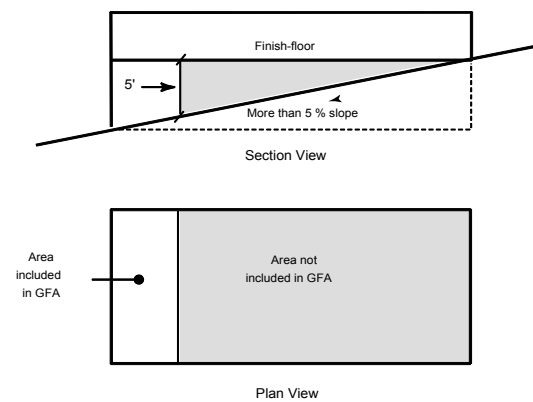
Calculating Gross Floor Area

Gross floor area is calculated in relationship to the structure and grade adjacent to the exterior walls of a building. The elements included in the gross floor area calculation differ according to the type of development proposed and are listed in Section 113.0234(a)-(c). Gross floor area does not include the elements listed in Section 113.0234(d). The total gross floor area for a premises is regulated by the floor area ratio development standard.

- (a) Elements Included in Gross Floor Area for Development in All Zones
- (1) Gross floor area includes all existing and proposed floors within the horizontal area delineated by the exterior surface of the surrounding exterior walls of the building.
- (2) Gross floor area for basements is calculated as follows:
- (A) For lots that slope less than 5 percent along each edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 3 feet, 6 inches as shown in Diagram 113-021.
- (B) For lots that slope 5 percent or more along any edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 5 feet, as shown in Diagram 113-02J.

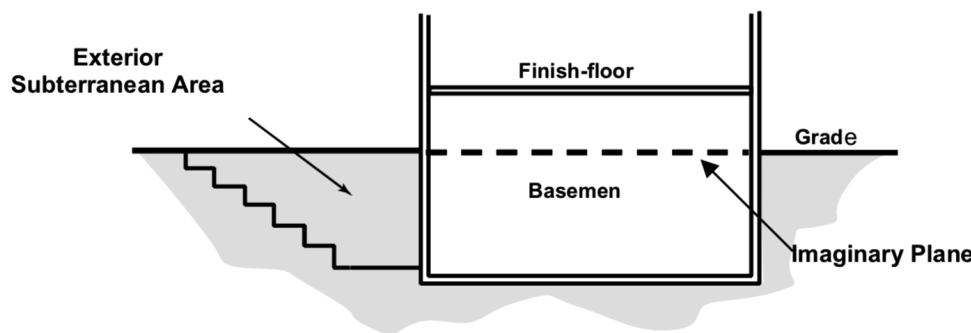
Diagram 113-02J

Basements with 5 Percent or More Slope



§113.0270(a)(4)(B)(ii) Exterior Subterranean Areas.

The overall structure height measurement shall not include subterranean vehicular access, exterior subterranean pedestrian access or ventilation to a basement. Overall structure height shall instead be measured from an imaginary plane connecting to the lowest adjacent grade immediately above the exterior subterranean space, as shown in Diagram 113-020O.



CDP No. = 604651

PREPARED BY:	
Name:	JOHN DODGE
	DODGE DESIGN GROUP
	2750 HISTORIC DECATUR RD, SUITE 205
	SAN DIEGO, CA 92106
Phone:	619-930-9830
Project Address:	7310 VISTA DEL MAR AVE.
	LA JOLLA, CA
	92037
Project Name:	ISRANI RESIDENCE
Revision 2	09-10-18
Revision 1	07-31-18
Original	08-19-19
Date	
Sheet Name:	SQUARE FOOTAGE
	DETERMINATION

Revision 14	
Revision 13	
Revision 12	
Revision 11	
Revision 10	
Revision 9	
Revision 8	
Revision 7	
Revision 6	
Revision 5	
Revision 4	
Revision 3	
Revision 2	09-10-18
Revision 1	07-31-18
Original	08-19-19
Date	
Sheet	of 15
DEP#	

ISSUED:

07-31-18

DODGE  
DESIGN  
group

DODGEDESIGNGROUP.COM  
2750 HISTORIC DECATUR RD  
STUDIO 205  
SAN DIEGO, CA 92106  
(619) 930-9830

ISRANI RESIDENCE  
7310 VISTA DEL MAR AVE.  
LA JOLLA, CA 92037

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DATE : 08-19-19

SQUARE  
FOOTAGE  
DETERMINATION

T101

TOPOGRAPHIC SURVEY

OWNER:  
7310 VDM LLC., A CALIFORNIA LIMITED LIABILITY COMPANY  
ADDRESS:  
7310 VISTA DEL MAR AVENUE,  
LA JOLLA, CA 92037  
APN:  
351-017-10, 351-017-15, 351-017-11  
BENCHMARK:

CITY OF SAN DIEGO BENCHMARK NO. 2454, SAN  
DIEGO COUNTY ENGINEERING DEPARTMENT BRASS  
PLUG SET IN TOP OF CURB AT THE SOUTHEAST  
INTERSECTION OF MARINE STREET AND VISTA DEL  
MAR AVENUE.  
ELEVATION = 31.292'  
DATUM = MSL

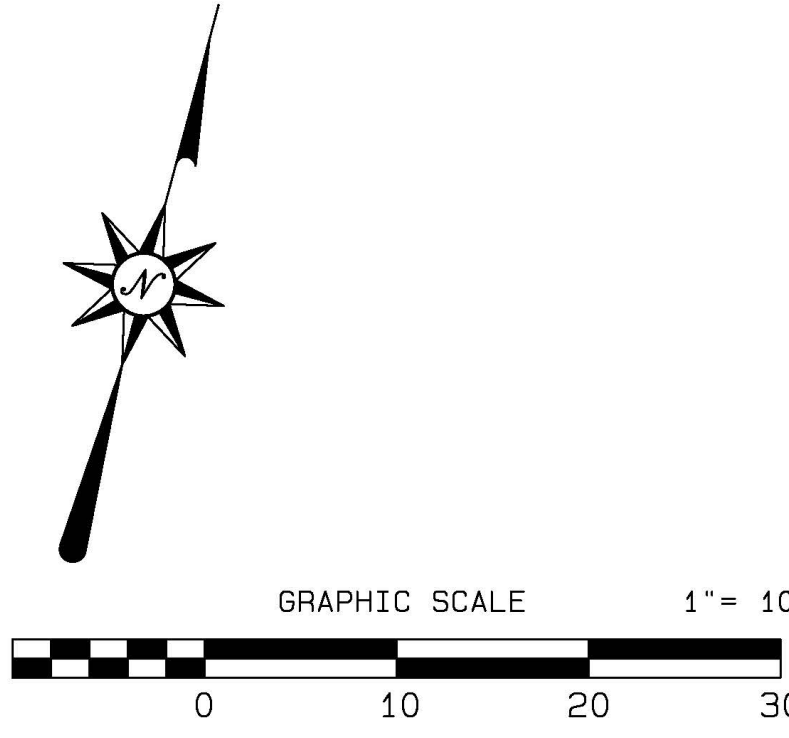
LEGAL DESCRIPTION:  
LOT 9, AND A PORTION OF LOTS 7, 8, AND 13  
THROUGH 16 INCLUSIVE, ALL IN BLOCK 5 OF LA  
JOLLA BEACH, IN THE CITY OF SAN DIEGO,  
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA,  
ACCORDING TO MAP THEREOF NO. 893 1/2, FILED  
IN THE OFFICE OF SAID COUNTY RECORDER APRIL  
28, 1903, TOGETHER WITH A PORTION OF THE  
ALLEY LYING ADJACENT TO THE SOUTHERLY 25.00  
FEET OF THE NORTHERLY 50.00 FEET OF LOT 13,  
EXCEPTING THEREFROM THAT PORTION THEREOF, IF  
ANY, HERETOFORE OR NOW LYING BELOW THE  
ORDINARY HIGH TIDE LINE OF THE PACIFIC OCEAN,  
SAID PROPERTY BEING MORE PARTICULARLY  
DESCRIBED IN DEED TO 7310 VDM LLC, RECORDED  
ON JANUARY 12, 2017 AS DOC. NO.  
2017-0019952 OF OFFICIAL RECORDS.

NOTES:  
1. BOUNDARY LINES SHOWN HEREON ARE DERIVED  
FROM RECORD DATA, ARE NOT THE RESULT OF  
A PRECISE BOUNDARY SURVEY AND ARE FOR  
GRAPHICAL PURPOSES ONLY.  
2. PLEASE NOTE THAT THIS SURVEY HAS NOT  
IDENTIFIED ANY UNDERGROUND UTILITIES THAT  
MAY EXIST UNLESS OTHERWISE SHOWN.

LEGEND:  
AD INDICATES AREA DRAIN (GRATE ELEV. DEPICTED)  
BS INDICATES BOTTOM OF SLOPE  
EC INDICATES EDGE OF CONCRETE  
EM INDICATES ELECTRIC METER  
FFE INDICATES FINISHED FLOOR ELEVATION  
FL INDICATES FLOW LINE  
FS INDICATES FINISHED SURFACE  
G INDICATES GROUND  
GM INDICATES GAS METER  
IC INDICATES IRRIGATION CONTROL  
TBC INDICATES TOP BACK OF CURB  
TCOL INDICATES TOP OF COLUMN  
TS INDICATES TOP OF SLOPE  
TW INDICATES TOP OF WALL  
WALL  
HANDRAIL  
WOOD FENCE  
WOOD & GLASS FENCE  
SEWER MANHOLE

PREPARED BY:  
COASTAL LAND SOLUTIONS, INC.  
577 SECOND STREET  
ENCINITAS, CA 92024  
760-230-6025  
DATE OF SURVEY: OCT. 2017

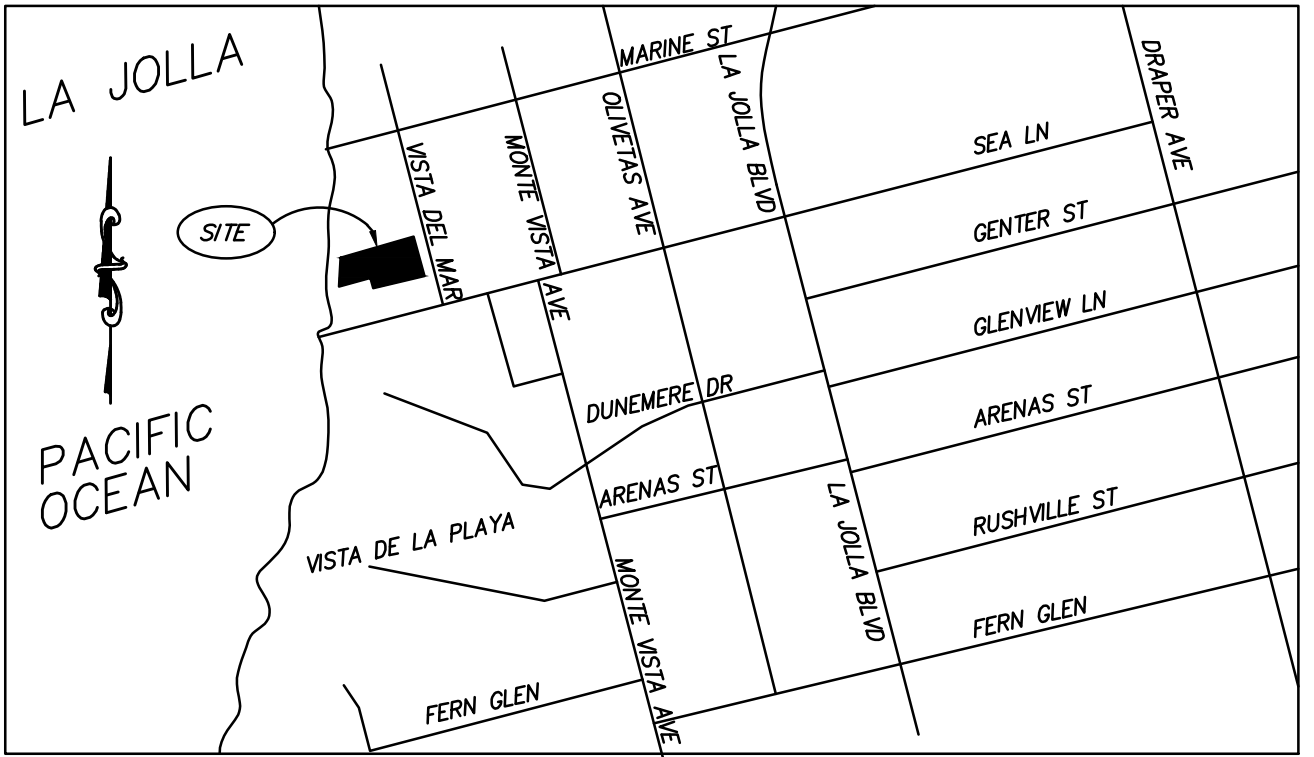
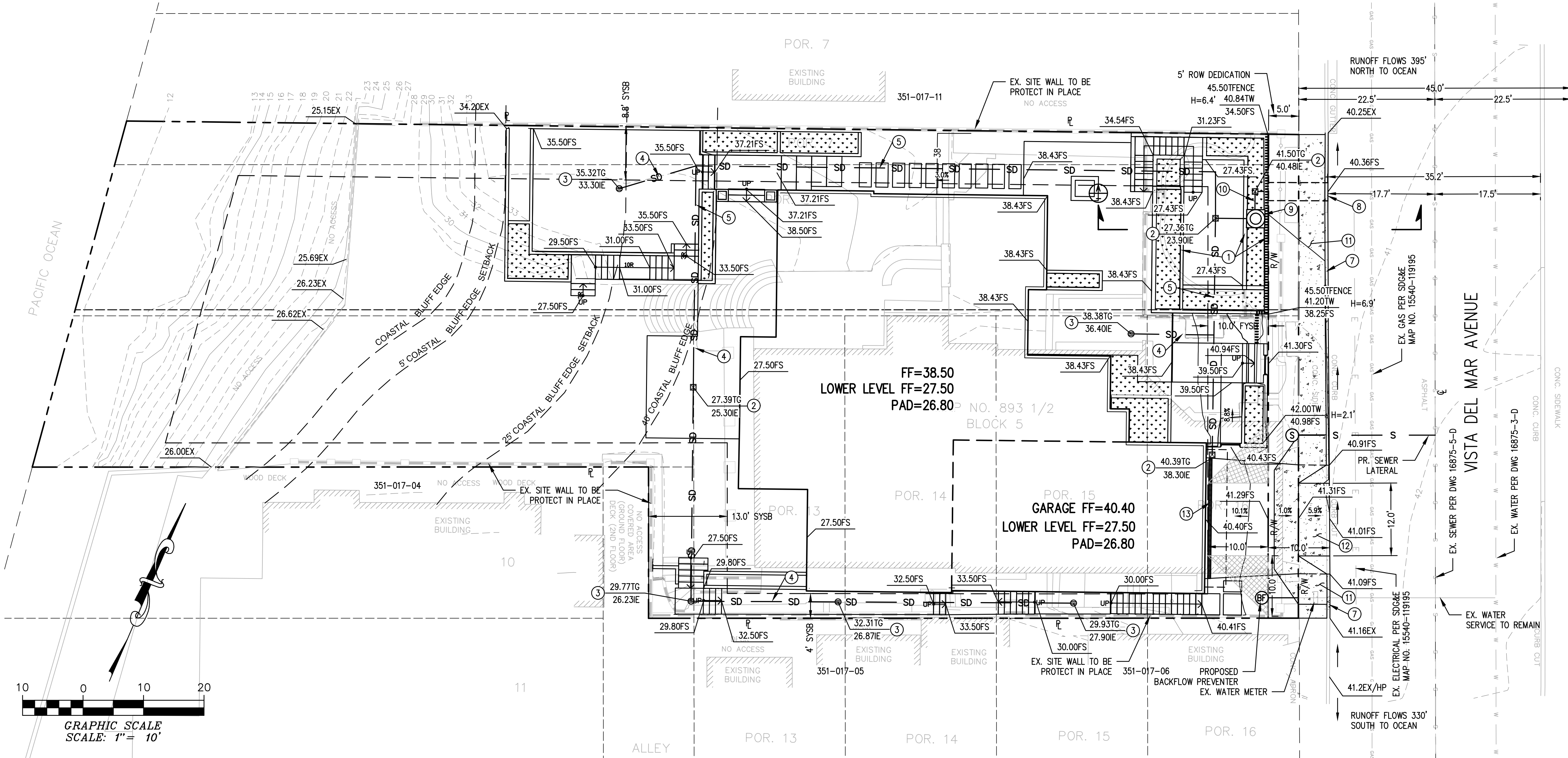
PRELIMINARY  
SEAN C. ENGLERT, LS 7959 DATE



CLS#1489  
COASTAL LAND SOLUTIONS, INC.  
577 SECOND STREET  
ENCINITAS, CA 92024  
PH (760) 230-6025  
FAX (760) 230-6025



ISRANI RESIDENCE (NOT FOR CONSTRUCTION)  
LA JOLLA, CA 92037



VICINITY MAP  
NO SCALE

LEGEND:

PROPERTY LINE	---
RIGHT OF WAY	---
CENTERLINE	---
EXISTING CONTOUR (MAJOR)	490
EXISTING CONTOUR (MINOR)	490
PROPOSED CONTOUR (MAJOR)	490
PROPOSED CONTOUR (MINOR)	490
EX. CURB AND GUTTER	---
EX. SEWER LINE	S
EX. WATER LINE	W
EX. GAS LINE	GAS
EXISTING SITE WALL	---
DAYLIGHT LINE	---
DIRECTION OF DRAINAGE	---
PR. STORM DRAIN LINE	SD
PR. SEWER	S
PR. STORM INLET	---
RETAINING WALL	---
CURB AND GUTTER	---
TRENCH GRATE	---
CONCRETE SIDEWALK	---
LANDSCAPE	---
AREA DRAIN	---
SUMP PUMP AND WETWELL	---
CONCRETE DRIVEWAY	---
PR. CURB OUTLET	---

CONSTRUCTION NOTES:

1. CONSTRUCT RETAINING WALL
2. CONSTRUCT 12" X 12" GRATE INLET
3. CONSTRUCT AREA DRAIN
4. CONSTRUCT 4" HDPE STORM DRAIN
5. CONSTRUCT 6" HDPE STORM DRAIN
7. CONSTRUCT CURB AND GUTTER PER SDG-151
8. CONSTRUCT CURB OUTLET PER SDG-151
9. CONSTRUCT SUMP PUMP AND WETWELL
10. CONSTRUCT 2" FORCE MAIN
11. CONSTRUCT CONCRETE SIDEWALK PER SDG-155
12. CONSTRUCT CONCRETE DRIVEWAY PER SDG-159
13. CONSTRUCT 8" WIDE TRENCH GRATE
14. CONSTRUCT 42" HEIGHT GLASS FENCE PER ARCHITECTURAL PLANS

SITE ADDRESS

7310 VISTA DEL MAR AVENUE  
LA JOLLA, CA 92037

ASSESSOR'S PARCEL NO.

351-017-10, 351-017-15, 351-017-11

UTILITIES

SEWER: CITY OF SAN DIEGO (UNDERGROUND)  
WATER: CITY OF SAN DIEGO (UNDERGROUND)  
GAS: SAN DIEGO GAS AND ELECTRIC (UNDERGROUND)  
ELECTRIC: SAN DIEGO GAS AND ELECTRIC (OVERHEAD)  
TELEPHONE: AT&T (UNDERGROUND)  
CABLE: COX CABLE (UNDERGROUND)

SITE AREAS

EX IMPERVIOUS AREA = 8,093 SF  
EX PERVIOUS AREA = 5,912 SF  
PROPOSED IMPERVIOUS AREA = 9,727 SF  
PROPOSED PERVIOUS AREA = 4,278 SF

BENCHMARK

CITY OF SAN DIEGO BENCHMARK NO. 2454, SAN DIEGO COUNTY ENGINEERING DEPARTMENT  
BRASS PLUG SET IN TOP OF CURB AT THE SOUTHEAST INTERSECTION OF MARINE STREET  
AND VISTA DEL MAR AVENUE.

ELEVATION = 31.292'

DATUM = MSL

TOPOGRAPHY

TOPOGRAPHIC SURVEY IS BASED UPON A FIELD SURVEY ON OCTOBER 2017 BY COASTAL LAND  
SOLUTION INC., AND REPRESENTS THE TOPOGRAPHIC FEATURE OF THIS SITE. CONTRACTOR TO  
VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

OWNER

7310 VDM LLC, A CALIFORNIA LIMITED LIABILITY COMPANY  
7310 VISTA DEL MAR AVENUE  
LA JOLLA, CA 92037

NAME: DATE:

ENGINEER

DAVID V. CARON

CIVIL LANDWORKS CORP.  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
760-908-8745



LEGAL DESCRIPTION

LOT 9, AND A PORTION OF LOTS 7, 8, AND 13 THROUGH 16 INCLUSIVE, ALL IN BLOCK  
5 OF LA JOLLA BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF  
CALIFORNIA, ACCORDING TO MAP THEREOF NO. 893 1/2, FILED IN THE OFFICE OF SAID  
COUNTY RECORDER APRIL 28, 1903, TOGETHER WITH A PORTION OF THE ALLEY LYING  
ADJACENT TO THE SOUTHERLY 25.00 FEET OF THE NORTHERLY 50.00 FEET OF LOT 13,  
EXCEPTING THEREFROM THAT PORTION THEREOF, IF ANY, HERETOFORE OR NOW LYING  
BELOW THE ORDINARY HIGH TIDE LINE OF THE PACIFIC OCEAN, SAID PROPERTY BEING  
MORE PARTICULARLY DESCRIBED IN DEED TO 7310 VDM LLC, RECORDED ON JANUARY  
12, 2017 AS DOC. NO. 2017-0019952 OF OFFICIAL RECORDS.

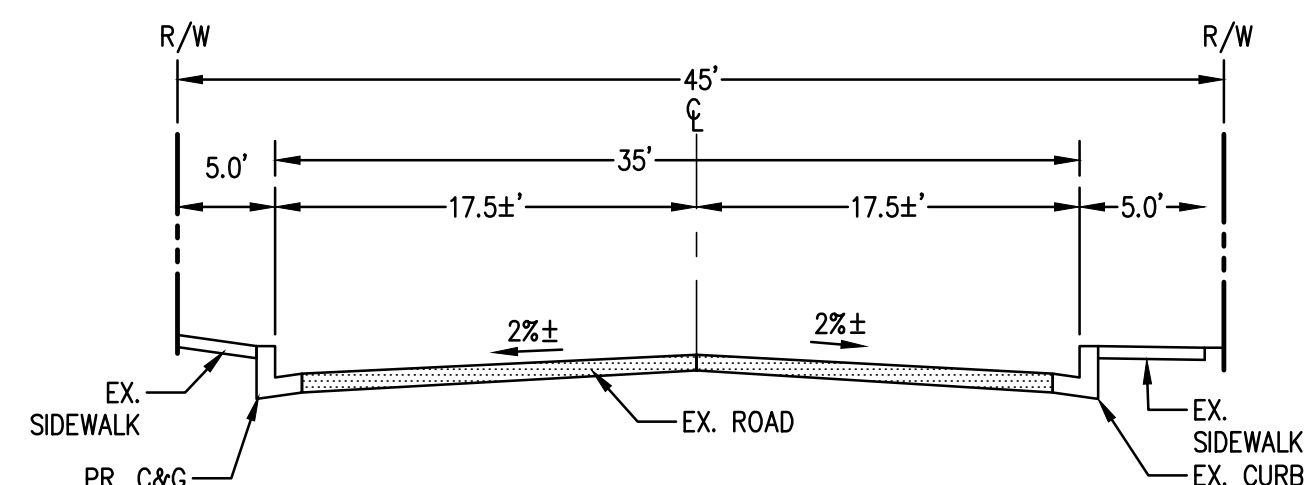
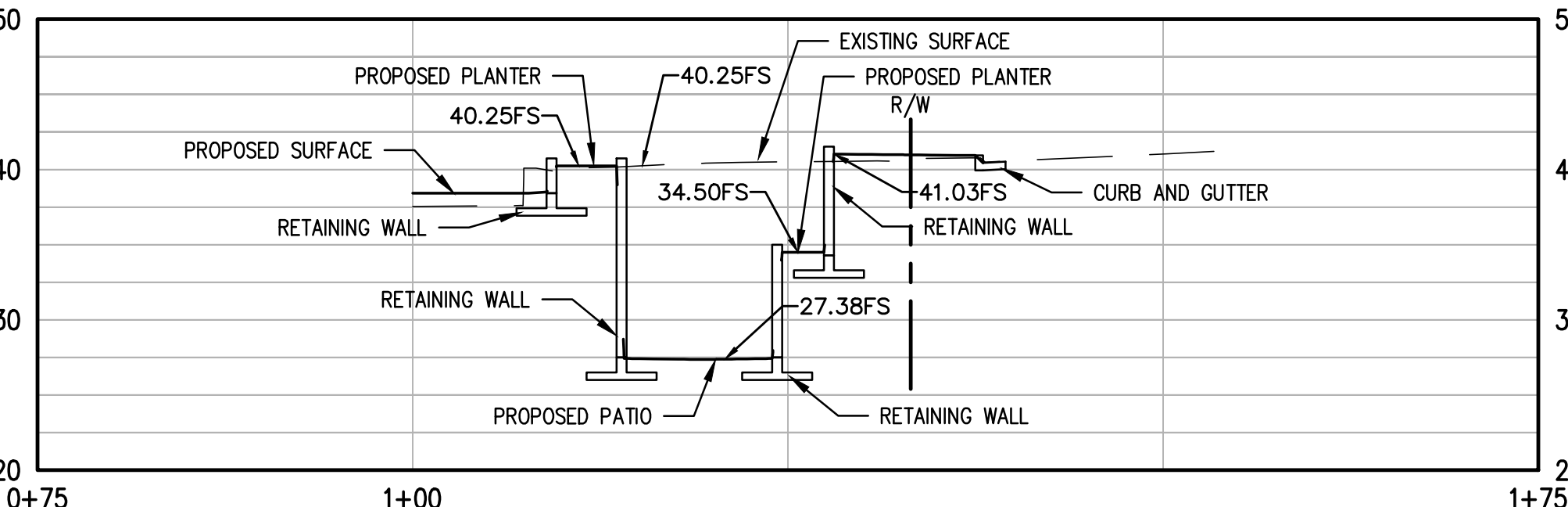
EARTHWORK DATA

CUT = 600 C.Y. FILL = 130 C.Y.  
EXPORT = 470 C.Y.

TOTAL LOT AREA = 14,004 S.F.  
TOTAL DISTURBED AREA = 9,660 S.F.  
DEPTH OF CUT = 13.3 FEET  
DEPTH OF FILL = 5.0 FEET  
\*DEPTH OF CUT AND FILL DO NOT INCLUDE GEOTECHNICAL REMEDIATION RECOMMENDATIONS  
THESE QUANTITIES DO NOT INCLUDE ANY LOSSES DUE TO SHRINKAGE, SUBSIDENCE,  
OVEREXCAVATION, OR ANY SPECIAL REQUIREMENTS THAT MAY BE SPECIFIED IN THE  
PRELIMINARY SOILS REPORT. THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. ALL  
CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF  
EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.

NOTE

1. ALL PRIVATE IMPROVEMENTS ARE SUBJECT TO APPROVAL OF CITY ENGINEER AND MAY REQUIRE  
ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA).
2. NO OBJECT TALLER THAN 3' IS ALLOWED WITHIN VISIBILITY TRIANGLES.



VISTA DEL MAR AVE.  
TYPICAL CROSS-SECTION

CDP NO. = 604651

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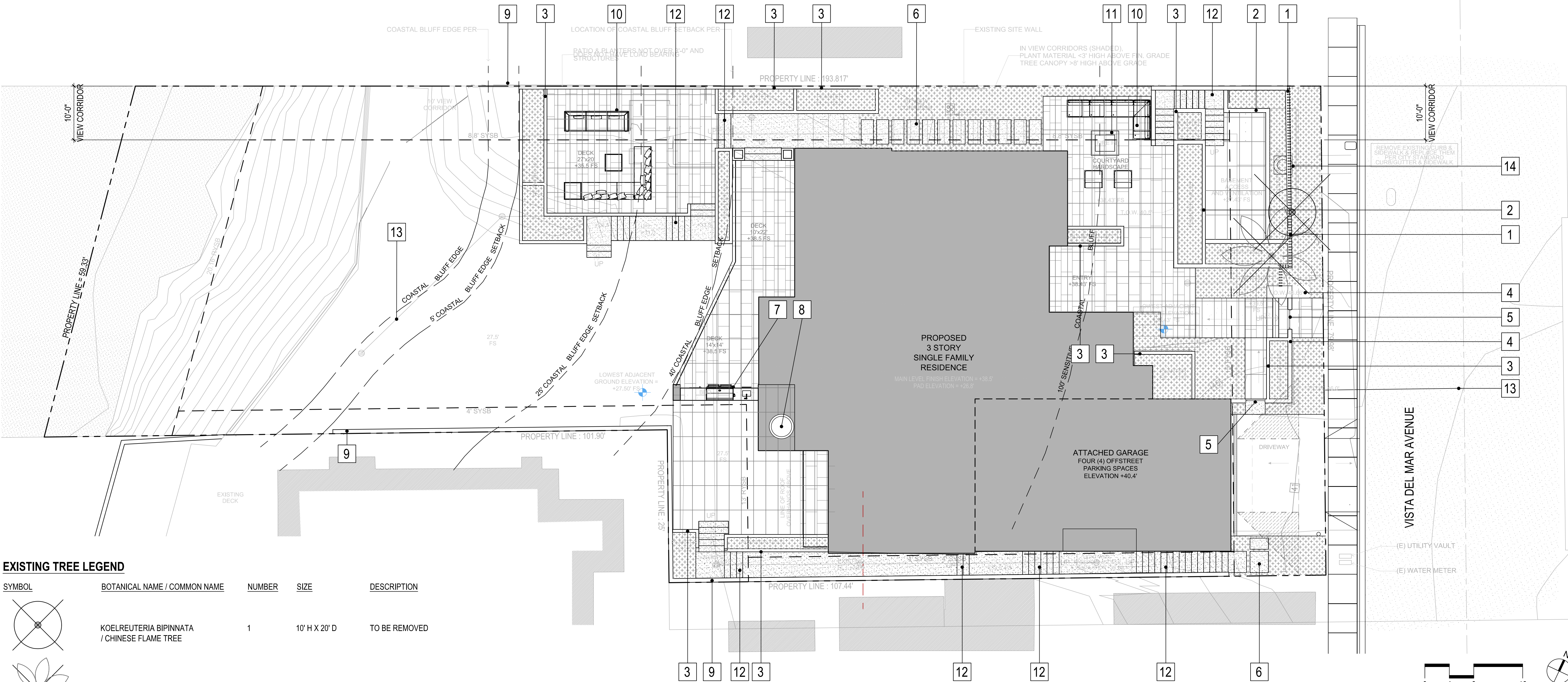
PROJECT NAME:  
THE ISRANI RESIDENCE

SHEET TITLE:  
PRELIMINARY GRADING PLAN

REVISION 14:  
REVISION 13:  
REVISION 12:  
REVISION 11:  
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REVISION 5:  
REVISION 4:  
REVISION 3:  
REVISION 2:  
REVISION 1:

ORIGINAL: 04/11/18  
SHEET 2 OF 15  
DEP#





EXISTING TREE LEGEND

SYMBOL	BOTANICAL NAME / COMMON NAME	NUMBER	SIZE	DESCRIPTION
	KOELREUTERIA BIPINNATA / CHINESE FLAME TREE	1	10' H X 20' D	TO BE REMOVED
	PHOENIX CANARIENSIS / CANARY ISLAND DATE PALM	1	20' H X 15' D	TO BE REMOVED

LANDSCAPE DEVELOPMENT PLAN LEGEND

TAG	DESCRIPTION	TAG	DESCRIPTION	SYMBOL	DESCRIPTION
1	5' HT. TUBULAR STEEL PICKET FENCE	11	PREMANUFACTURED FIREPIT		CONCRETE PAVING
2	SITE RETAINING WALL WITH STONE VENEER	12	CONCRETE STAIRS		ENHANCED PAVING
3	PLANTER WALL WITH STONE VENEER	13	STORM DRAIN LINES BY CIVIL		PLANTER AREA
4	FREE STANDING WALL WITH STONE VENEER	14	SUMP PUMP AND WET WELL BY CIVIL		
5	5' HT. WOOD ENTRY GATE				
6	CONCRETE STEPPERS				
7	OUTDOOR BBQ				
8	POTTERY				
9	EXISTING SITE PERIMETER WALL				
10	SITE FURNITURE				

ROOT BARRIER NOTE

NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES PER LDC 142.0403.

DISTURBED AREA NOTE

ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL (142.0411(A)).

MAINTENANCE

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

PLANT MATERIAL NEAR SEWER LINES

NO TREE OR SHRUB EXCEEDING 3' IN HEIGHT SHALL BE PLANTED WITHIN 10' OF ANY PUBLIC SEWER FACILITIES.

UTILITY SCREENING

ALL WATER, SEWER, AND GAS UTILITIES SHALL BE EFFECTIVELY SCREENED WITH PLANT MATERIAL AT THE TIME OF PLANT INSTALLATION.

MULCHING NOTE

ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

PUBLIC RIGHT OF WAY

ANY EXISTING CONCRETE STAMPS ON EXISTING R.O.W. CONCRETE SHALL BE PRESERVED IN PLACE.

ADDITIONAL NOTES

ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.

1. ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET (WIDTH) MEASURED FROM THE INSIDE FACE OF PAVEMENT.

2. EACH TREE SHALL BE PLANTED IN AN AIR AND WATER PERMEABLE PLANTING AREA OF AT LEAST 40 SQUARE FEET WITH A MINIMUM FINISHED DIMENSION (WIDTH) OF 5 FEET MEASURED FROM THE INSIDE FACE OF PAVEMENT. THE PLANTING AREA SHALL BE UNENCUMBERED BY UTILITIES.

3. ALL IRRIGATION DESIGN AND INSTALLATION SHALL CONFORM WITH THE LANDSCAPE STANDARDS. IT IS THE RESPONSIBILITY OF THE DESIGNER TO BE FAMILIAR WITH AND IMPLEMENT THE LANDSCAPE STANDARDS.

4. ANY CHANGES TO THE SITE AND/OR LANDSCAPE PLANS SHALL BE SUBMITTED TO THE CITY LANDSCAPE PLANNER FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING.

5. ANY DISCREPANCY OR CONFLICTS IN DIMENSIONS, LANDSCAPE AREA OR MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE CITY LANDSCAPE PLANNER, THE OWNERS, AND THE DESIGNER/ ARCHITECT PRIOR TO INSTALLATION.

6. TREES REQUIRED BY THIS DIVISION SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET WITHIN 8 YEARS OF PLANTING.

7. THE IRRIGATION SYSTEM SHALL BE INSTALLED WITH A RAIN SHUT-OFF DEVICE.

8. GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TACKIFIER AS NEEDED BETWEEN APRIL 2ND AND AUGUST 31ST FOR DUST/EROSION CONTROL WITH SUBSEQUENT APPLICATION OF THE HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST. AND APRIL 1ST. SUPPLEMENTAL MANUAL IRRIGATION WILL BE IMPLEMENTED IF DEEMED NECESSARY BY THE PROJECT BIOLOGIST AND/OR THE DEVELOPMENT SERVICES DEPARTMENT AND MAY INCLUDE HAND WATERING OR UTILIZATION OF A WATER TRUCK. IF USED, SUPPLEMENTAL WATERING FREQUENCIES WOULD MIMIC NATURAL RAINFALL CYCLES.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MINIMUM DISTANCE TO
STREET TREE	20 FEET
TRAFFIC SIGNALS (STOP SIGN)	5 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER LINES)	10 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	25 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	10 FEET
SEWER LINES	

9. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE

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CONCEPT PLANT SCHEDULE

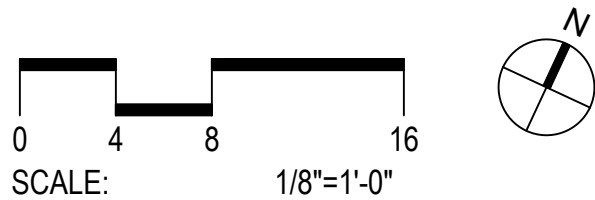
SYMBOL	BOTANICAL NAME / COMMON NAME	MATURE HEIGHT / SPREAD	SIZE
	STREET TREE QTY. 3 ARCHONTOPHOENIX CUNNINGHAMIANA / MULTI-TRUNK KING PALM ARECASTRUM ROMANZOFFIANUM / QUEEN PALM BAUHINIA BLAKEANA / ORCHID TREE METROSIDEROS EXCELSUS / NEW ZEALAND CHRISTMAS TREE SPATHODEA CAMPANULATA / AFRICAN TULIP TREE TABEBUIA AVELLANEDAE / TRUMPET TREE	25'-40' SPREAD	36" BOX
	BROAD HEADED CANOPY SHADE TREE QTY. 1 ARCHONTOPHOENIX CUNNINGHAMIANA / MULTI-TRUNK KING PALM OLEA EUROPAEA 'SWAN HILL' TM / SWAN HILL OLIVE SYAGRUS ROMANZOFFIANA / QUEEN PALM WASHINGTONIA FILIFERA / CALIFORNIA FAN PALM SCHEFFLERA ACTINOPHYLLA / SCHEFFLERA	25'-40' SPREAD	36" BOX
	EVERGREEN ACCENT SHRUB DIETES GRANDIFLORA / FORTNIGHT LILY STRELITZIA REGINAE / BIRD OF PARADISE STRELITZIA NICHOLAI / GIANT BIRD OF PARADISE CLIVIA MINIATA / BUSH LILY AGAPANTHUS AFRICANUS / LILY OF THE NILE CYCAS REVOLUTA / SAGO PALM PHILODENDRON SCANDENS / HEART-LEAF PHILODENDRON CANNA INDICA / CANNA CANNA X GENERALIS 'BENGAL TIGER' / BENGAL TIGER CANNA ALPINIA AERUMBET 'VARIEGATA' / VARIEGATED SHELL GINGER NANDINA DOMESTICA 'GULF STREAM' / HEAVENLY BAMBOO FATSIA JAPONICA 'VARIEGATA' / VARIEGATED FATSIA CYATHEA COOPERI / AUSTRALIAN TREE FERN	3'-4" H., 24" O.C. 4'-5" H., 48" O.C. 8'-10" H. 1'-2" H., 18" O.C. 2'-3" H., 24" O.C. 4'-5" H., 48" O.C. 4'-5" H., 48" O.C. 4'-5" H., 38" O.C. 4'-5" H., 38" O.C. 2'-3" H., 24" O.C. 2'-3" H., 24" O.C. 4'-5" H., 48" O.C. 8'-10" H.	50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 15 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 15 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 15 GAL
	EVERGREEN SCREENING SHRUB PITTOSPORUM TOBIRA 'VARIEGATA' / JAPANESE MOCK ORANGE LIGUSTRUM JAPONICUM 'TEXANUM' / WAXLEAF PRIVET XYLOSMA CONGESTUM / SHINY XYLOSMA LAURUS NOBILIS 'SARATOGA' / SWEET BAY	4'-5" H., 48" O.C. 4'-5" H., 48" O.C. 3'-4" H., 38" O.C. 4'-5" H., 48" O.C.	50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL
	EVERGREEN FLOWERING VINE CAMPSIS RADICANS / TRUMPET VINE BOUGAINVILLEA SPP. / BOUGAINVILLEA DISTICTIS SPP. / SCARLET TRUMPET VINE CALLIANDRA HAEMATOCOPHALA / PINK POWDER PUFF FICUS PUMILA / CREEPING FIG		50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL
	EVERGREEN GROUNDCOVER LOMANDRA LONGIFOLIA / DWARF MAT RUSH BOUGAINVILLEA SPP. / BOUGAINVILLEA LIRIOPE MUSCARI / LILY TURF HEUCHERA SANGUINEA / CORAL BELL THYMUS PRAECOX / CREEPING THYME DIANELLA CAERULEA 'CASSA BLUE' / CASSA BLUE FLAX LILY DIETES IRIDIODES 'JOHN'S RUNNER' / FORTNIGHT LILY TRACHELOSPERMIUM JASMINOIDES 'MADISON' / CONFEDERATE JASMINE ASPARAGUS DENSIFLORUS 'MYERS' / MYERS ASPARAGUS WOODWARDIA FIMBRIATA / GIANT CHAIN FERN	1'-2" H., 18" O.C. 2'-3" H., 48" O.C. 1'-2" H., 18" O.C. 1'-2" H., 18" O.C. 8" H., 8" O.C. 1'-2" H., 24" O.C. 2'-3" H., 24" O.C. 8" H., 48" O.C. 2'-3" H., 24" O.C. 2'-3" H., 24" O.C.	50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL 50% 1 GAL, 50% 5 GAL

STREET TREE CALCULATIONS [142.0409]

VISTA DEL MAR AVENUE	
LENGTH OF STREET FRONTAGE	79 FEET
STREET TREES REQUIRED ((1) 24" BOX PER 30 LF)	3
STREET TREES PROVIDED	3

NOTES

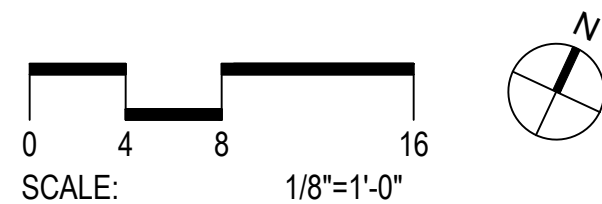
- ANY BLUFF FACE EXPOSED THROUGH REMOVAL OF EXISTING DEVELOPMENT SHOULD BE REVEGETATED WITH NATIVE, DROUGHT RESISTANT PLANTS.
- THERE SHALL BE NO IRRIGATION WITHIN THE 40-FT. SETBACK AREA OF ON THE BLUFF FACE.



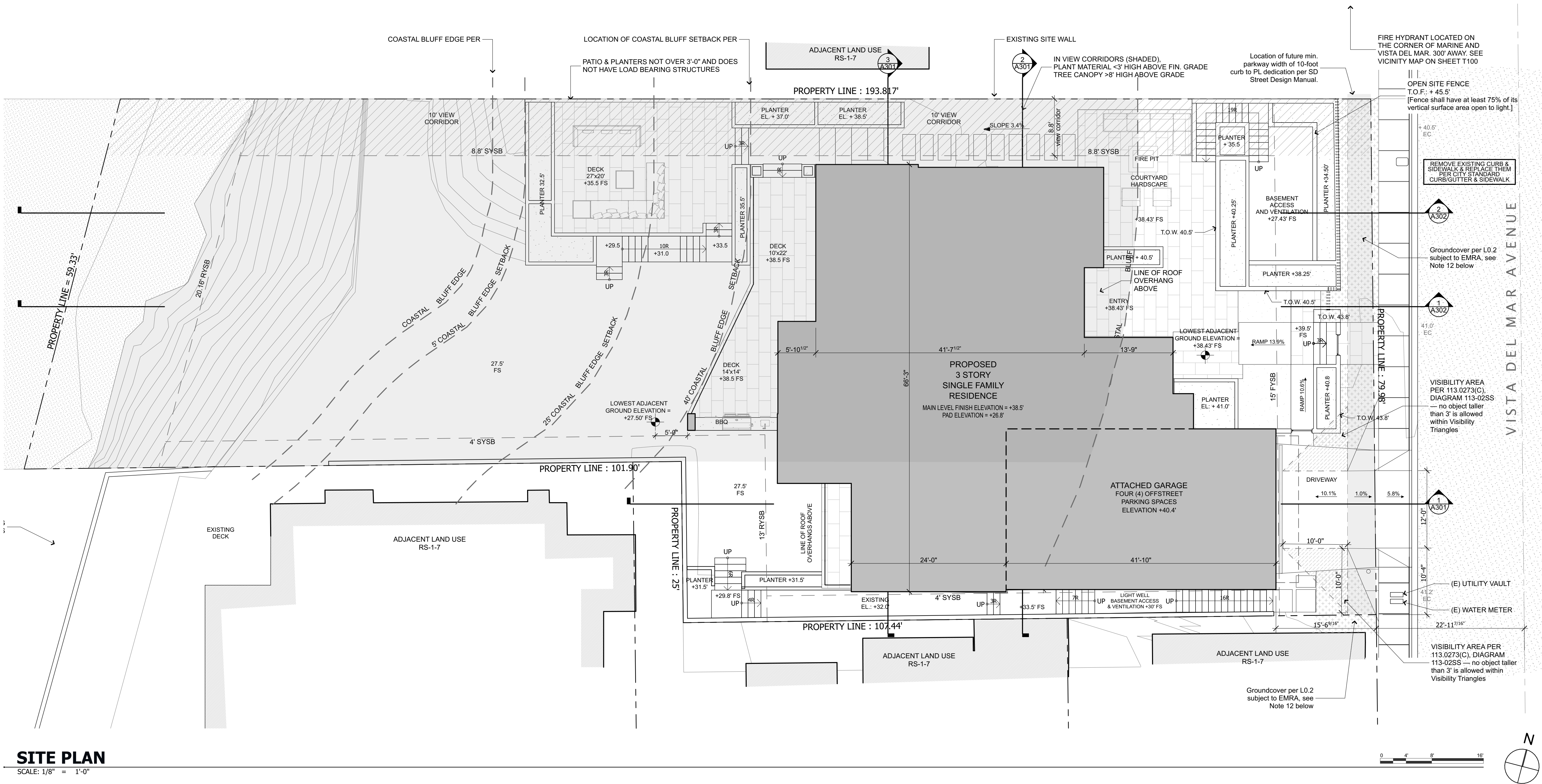
CDP NO. = 604651

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**SITE PLAN**  
SCALE: 1/8" = 1'-0"

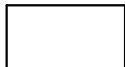
**SITE LEGEND:**



DIRECTION OF SITE DRAINAGE  
REFER TO GRADING PLAN FOR  
DRAINAGE PATTERNS



PROPOSED STRUCTURE



EXISTING STRUCTURE



VIEW CORRIDOR



SENSITIVE COASTAL BLUFF

SETBACK LINE

PROPERTY LINE

**SITE NOTES:**

- 1) SITE IS CURRENTLY NOT DIRECTLY ADJACENT TO ANY PROPOSED OR EXISTING TRANSIT STOPS
- 2) PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- 3) NUMBER OF OFF-STREET PARKING SPACES PROPOSED = 4 (FOUR)
- 4) DRAINAGE: SEE CIVIL GRADING PLAN FOR DRAINAGE PATTERNS
- 5) UTILITIES: SEE CIVIL GRADING PLAN FOR UTILITY LOCATIONS, IMPROVEMENTS AND CITY DRAWING NUMBERS
- 6) NO EXISTING OR PROPOSED EASEMENTS LOCATED ON SITE.
- 7) NO ACCESS GATE SHALL SWING OPEN INTO THE RIGHT OF WAY.
- 8) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS

9) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

10) ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM ANY COASTAL BLUFF AND EITHER INTO AN EXISTING OR IMPROVED PUBLIC STORM DRAIN SYSTEM OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF. ALL DRAINAGE FROM UNIMPROVED AREAS SHALL BE APPROPRIATELY COLLECTED AND DISCHARGED IN ORDER TO REDUCE, CONTROL, OR MITIGATE EROSION OF THE COASTAL BLUFF. (LDC 143.0143(d))

11) ONLY NATIVE OR OTHER DROUGHT-TOLERANT PLANT SPECIES SHALL BE USED IN LANDSCAPED AREAS IN ORDER TO MINIMIZE IRRIGATION REQUIREMENTS AND TO REDUCE POTENTIAL SLIDE HAZARDS DUE TO OVERWATERING OF THE COASTAL BLUFFS. (SDMC 143.0143(c))

12) IN THE PARKWAY AREA OF VISTA DEL MAR AVENUE, ALL PRIVATE IMPROVEMENTS ARE SUBJECT TO APPROVAL OF CITY ENGINEER AND MAY REQUIRE ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA).

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	PROJECT NAME:	ISRANI RESIDENCE	REVISION 6	
	PROJECT NAME:		REVISION 5	
	PROJECT NAME:		REVISION 4	
	PROJECT NAME:		REVISION 3	
	PROJECT NAME:		REVISION 2	09-10-18
	PROJECT NAME:		REVISION 1	07-31-18
	ORIGINAL DATE:	08-19-19	DATE	
	SHEET NAME:	SITE PLAN	SHEET	6 of 15
	SHEET NAME:		DEPS	

ISSUED:

07-31-18

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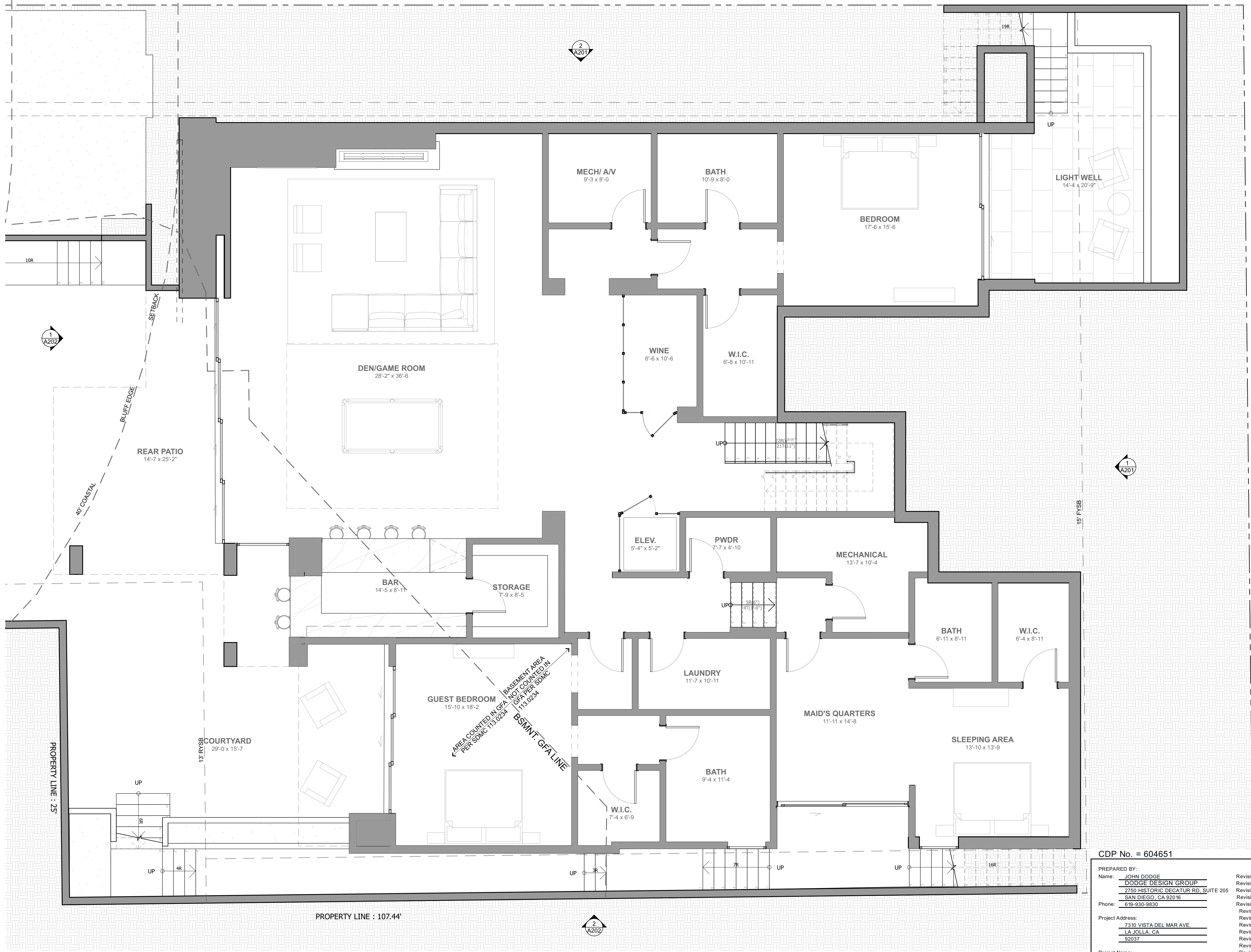
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DATE : 08-19-19

SITE PLAN

A100





LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

CDP No. = 604651

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92037  
Project Name:  
ISRANI RESIDENCE  
Revision 2  
Revision 1  
Original Date  
Sheet Name:  
BASEMENT LEVEL  
FLOOR PLAN

Revision 14  
Revision 13  
Revision 12  
Revision 11  
Revision 10  
Revision 9  
Revision 8  
Revision 7  
Revision 6  
Revision 5  
Revision 4  
Revision 3  
Revision 2  
Revision 1  
Original Date  
Sheet Name:  
BASEMENT LEVEL  
FLOOR PLAN

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07-31-18

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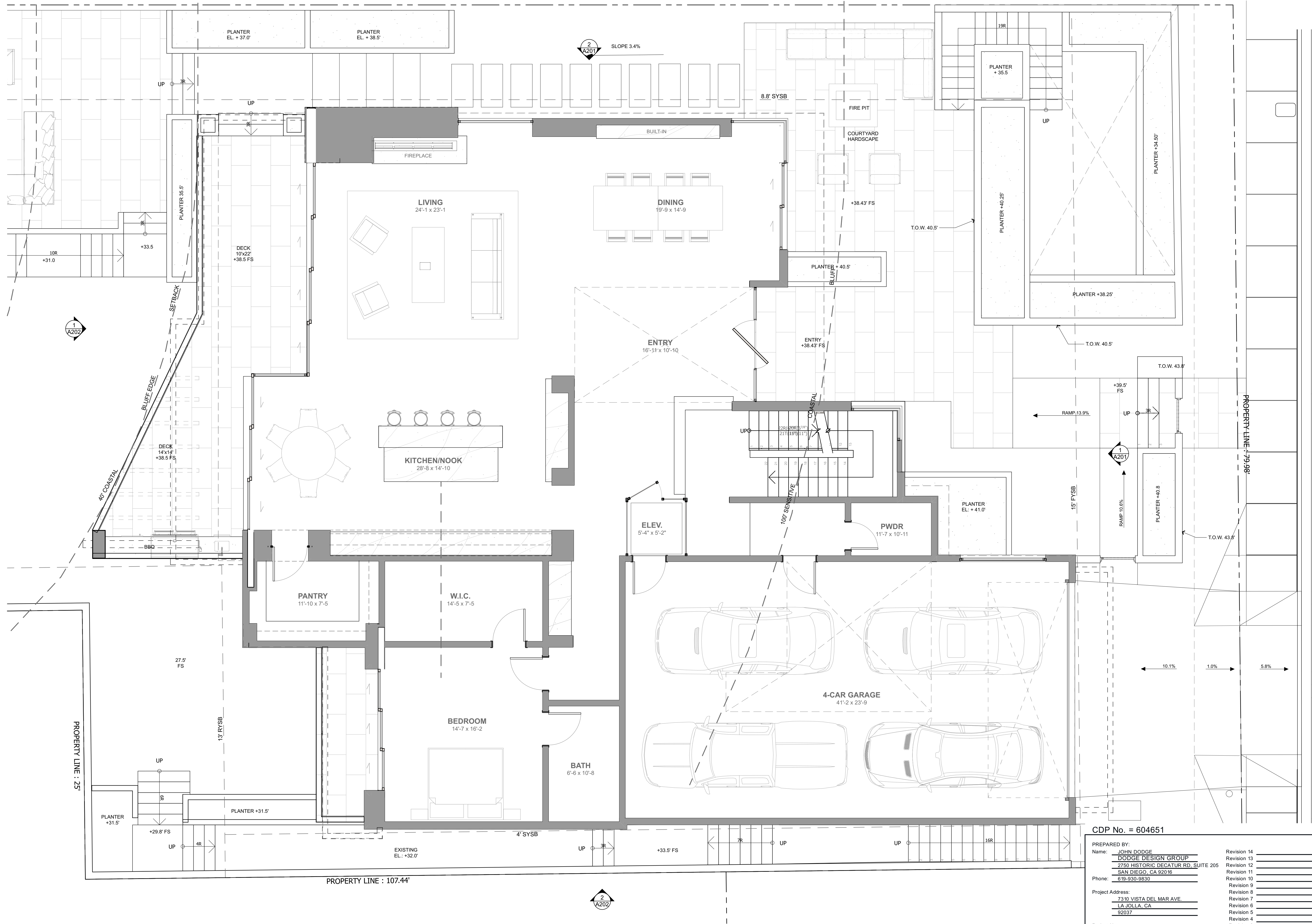
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DATE : 08-19-19

BASEMENT  
LEVEL FLOOR  
PLAN

A101



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

CDP No. = 604651

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Project Name:  
ISRANI RESIDENCE  
Sheet Name:  
MAIN LEVEL FLOOR  
PLAN

Revision 14  
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Revision 11  
Revision 10  
Revision 9  
Revision 8  
Revision 7  
Revision 6  
Revision 5  
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Revision 2  
Revision 1  
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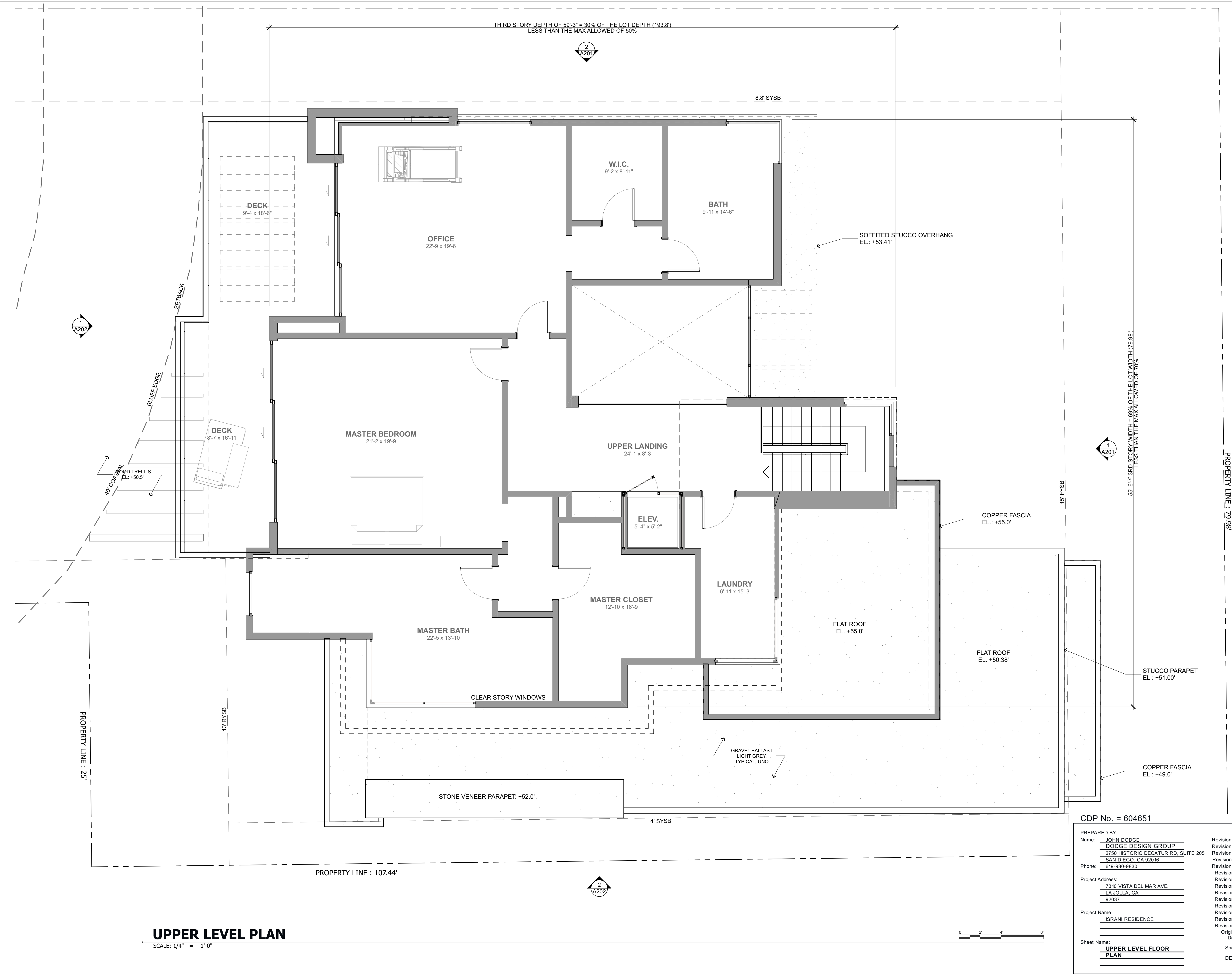
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MAIN LEVEL  
FLOOR PLAN

A102





UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

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UPPER LEVEL  
FLOOR PLAN

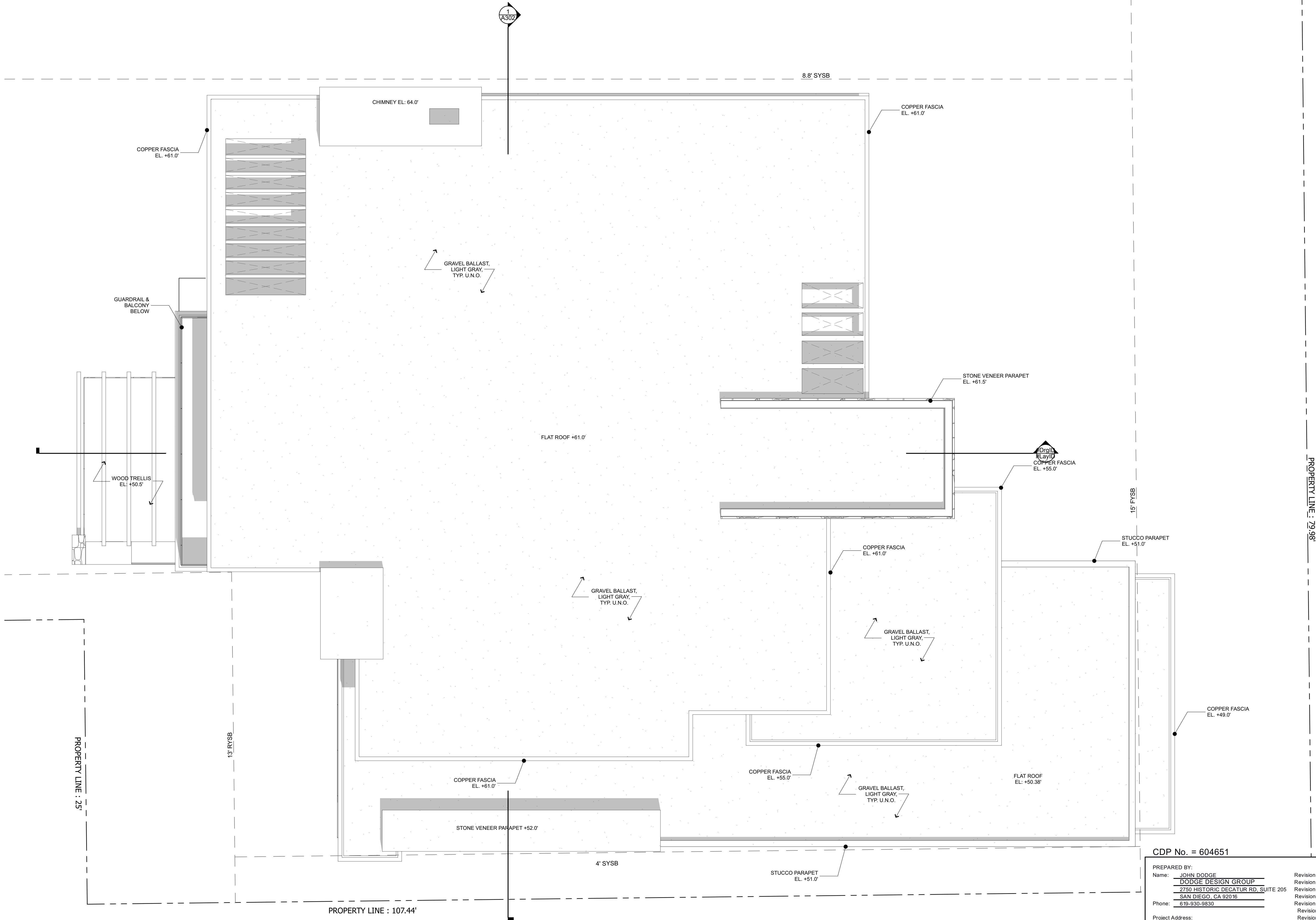
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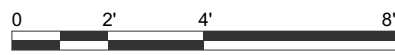
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Project Name:  
ISRANI RESIDENCE  
Sheet Name:  
UPPER LEVEL FLOOR  
PLAN

Revision 14	_____
Revision 13	_____
Revision 12	_____
Revision 11	_____
Revision 10	_____
Revision 9	_____
Revision 8	_____
Revision 7	_____
Revision 6	_____
Revision 5	_____
Revision 4	_____
Revision 3	_____
Revision 2	09-10-18
Revision 1	07-31-18
Original	08-19-19
Date	08-19-19
Sheet	9 of 15
DEPS	_____





**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



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Phone: 619-930-9830  
Project Address:  
7310 VISTA DEL MAR AVE.  
LA JOLLA, CA  
92037  
Project Name:  
ISRANI RESIDENCE  
Revision 2  
Revision 1  
Original Date  
Sheet Name:  
ROOF PLAN

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Revision 13  
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Revision 6  
Revision 5  
Revision 4  
Revision 3  
Revision 2  
Revision 1  
Original Date  
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DEPS

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07-31-18

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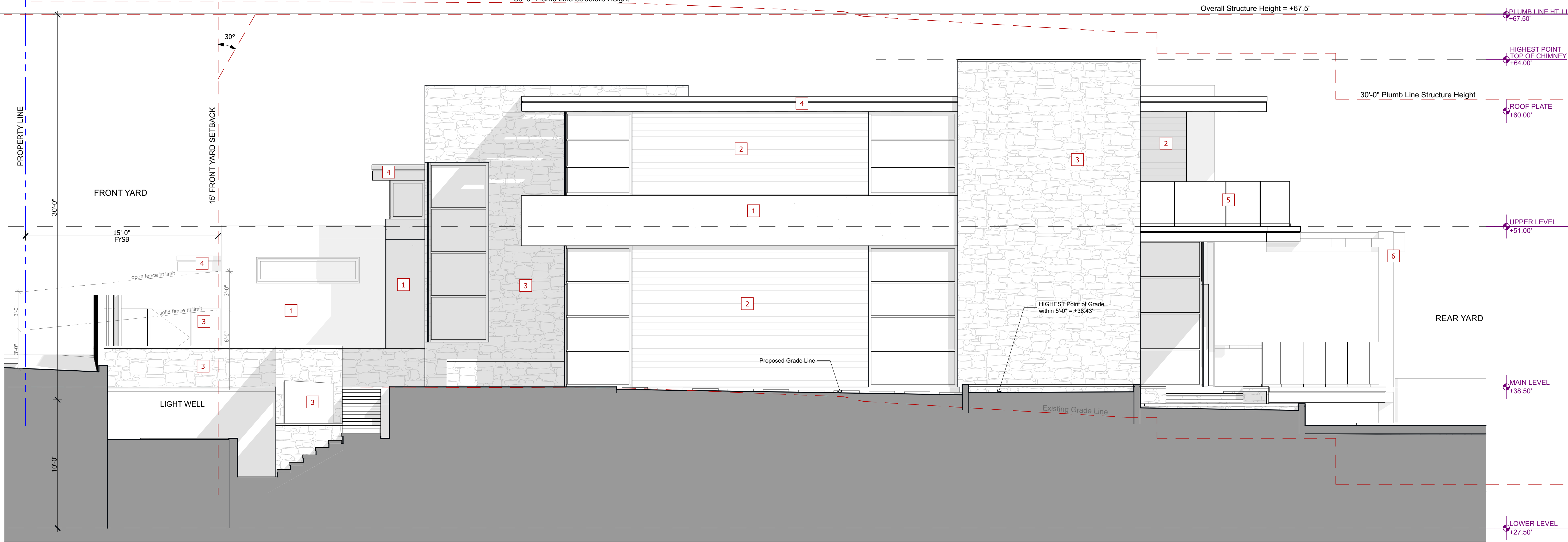
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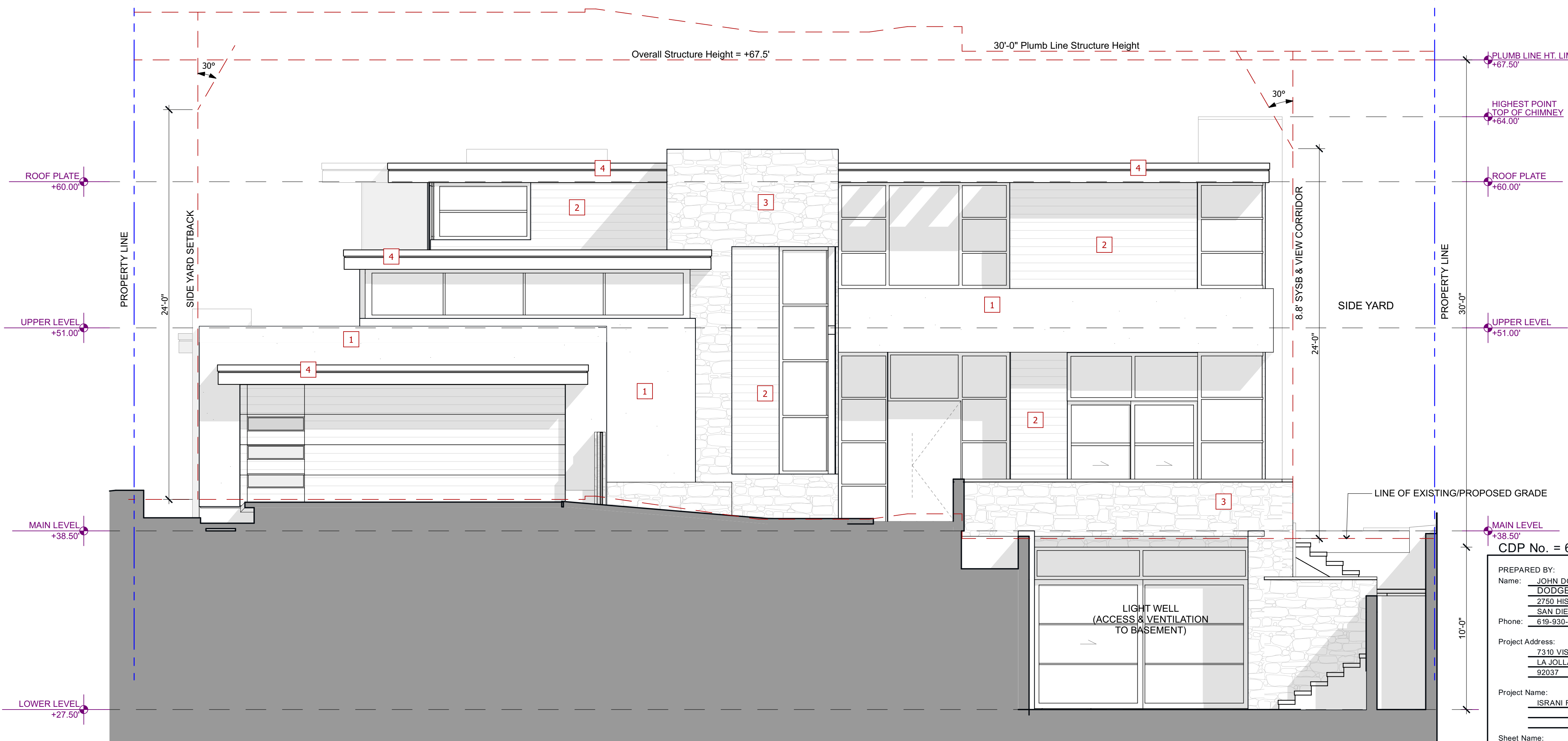
DATE : 08-19-19

ROOF PLAN

**A104**



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

- |   |                         |
|---|-------------------------|
| 1 | STUCCO; WHITE           |
| 2 | WOOD                    |
| 3 | STONE                   |
| 4 | COPPER OVER HANG        |
| 5 | GLASS QUADRAIL 42" TALL |
| 6 | WOOD TRELLIS            |

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08-19-19  
Sheet Name:  
ELEVATIONS  
CDP No. = 604651

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ELEVATIONS

A201



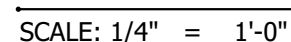
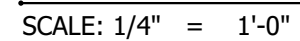
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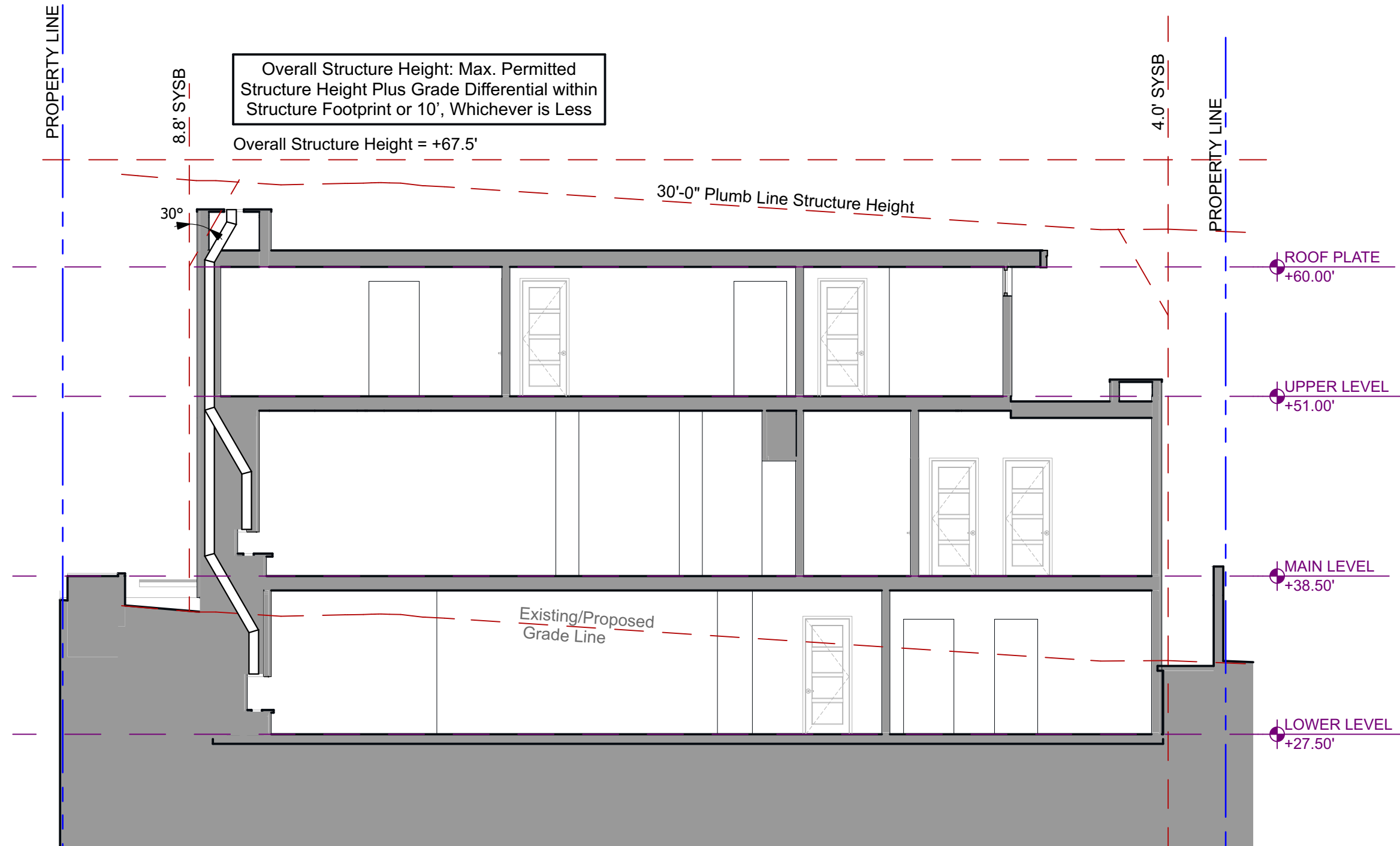
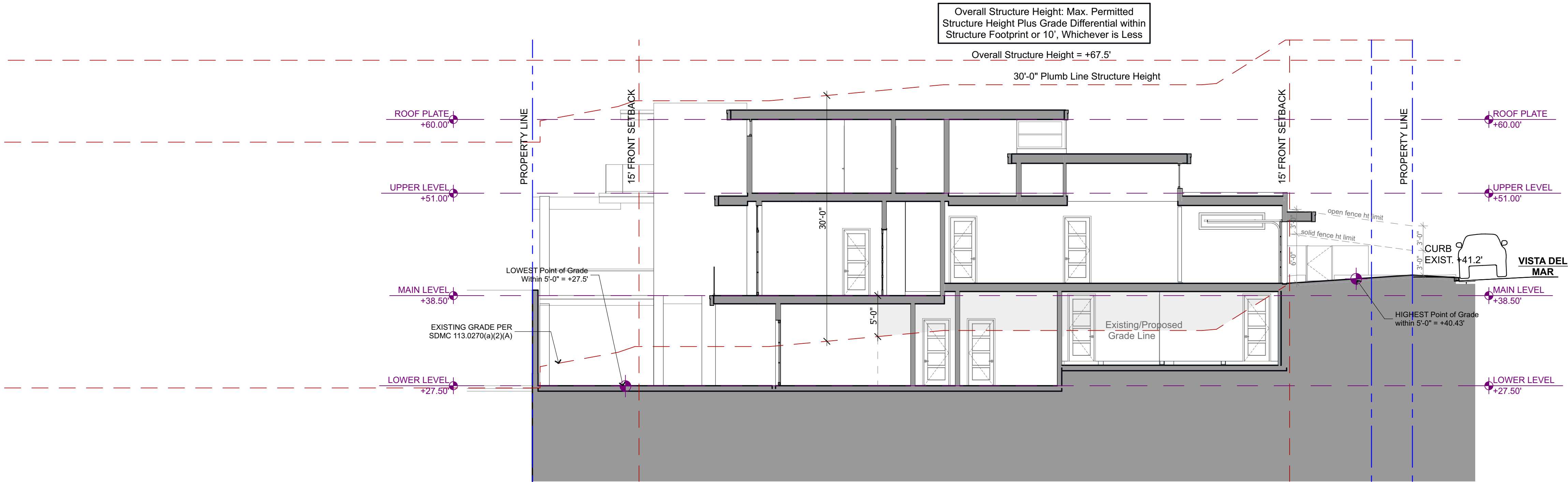
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## ELEVATIONS

# A202



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|---------------|----------|
| Revision 14   |          |
| Revision 13   |          |
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| Revision 9    |          |
| Revision 8    |          |
| Revision 7    |          |
| Revision 6    |          |
| Revision 5    |          |
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| Revision 3    |          |
| Revision 2    | 09-10-18 |
| Revision 1    | 07-31-18 |
| Original Date | 08-19-19 |
| Sheet         | 12 of 15 |
| DEP#          |          |



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SITE SECTION

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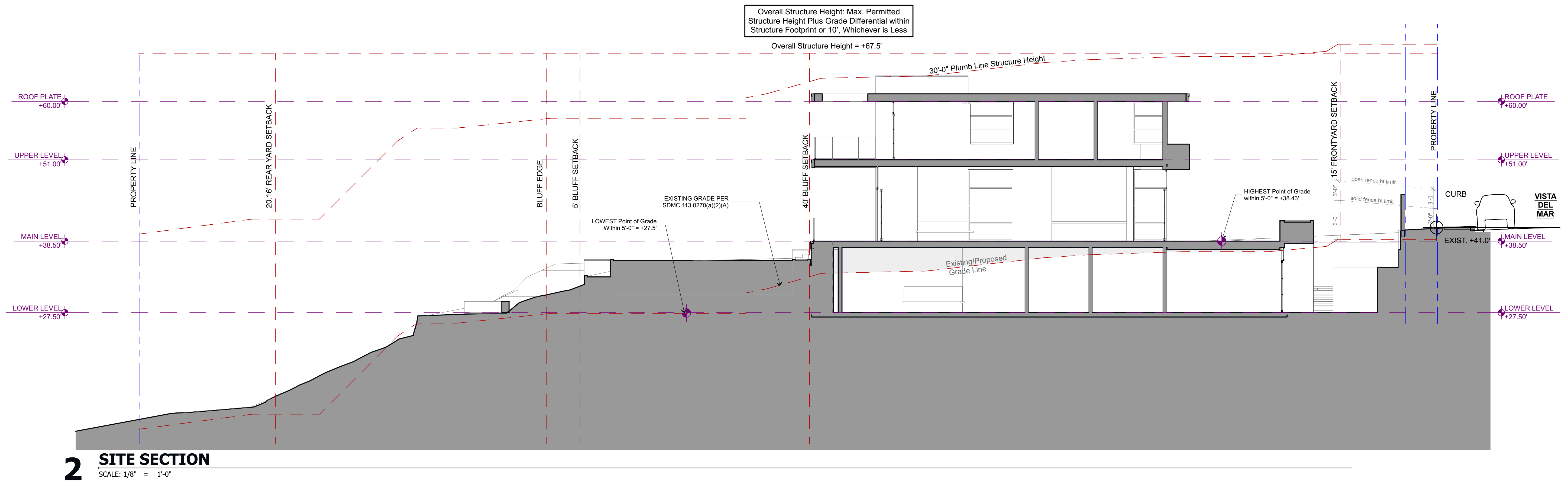
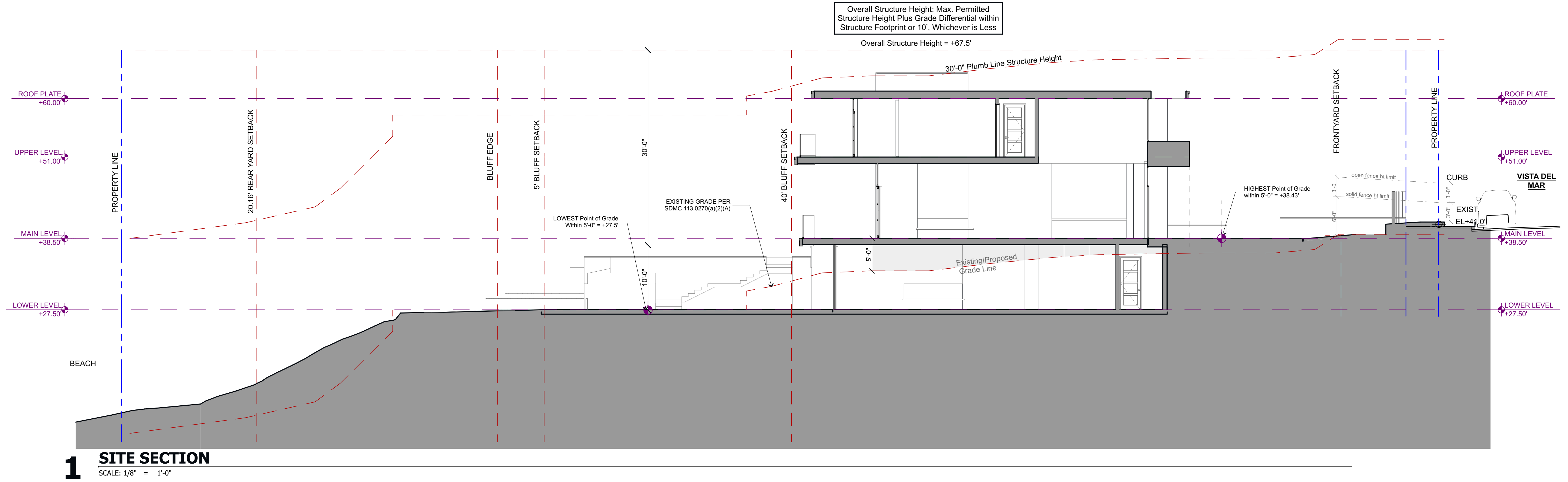
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SITE SECTION

A302



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