



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: September 9, 2020 REPORT NO. HO-20-043

HEARING DATE: September 16, 2020

SUBJECT: Cuvier Street CDP/TMW, Process Three Decision

PROJECT NUMBER: [641955](#)

OWNER/APPLICANT: John Waldichuk, Owner / Leppert Engineering, Applicant

### SUMMARY:

Issue: Should the Hearing Officer approve a Coastal Development Permit for second story additions to two existing single-family residential units on a single lot, and a Tentative Map Waiver to convert them to condominiums at a site located at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan area?

Staff Recommendation: Approve Coastal Development Permit No. 2329975 and Tentative Map Waiver No. 2330612.

Community Planning Group Recommendation: On January 9, 2020, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the project (Attachment 8).

Environmental Review: The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303, New Construction or Conversion of Small Structures. The environmental exemption determination for this project was made on June 5, 2020, and the opportunity to appeal the determination ended on June 19, 2020. There were no appeals to the environmental determination.

### BACKGROUND

The project site is a 0.13-acre lot located at the northeast corner of Cuvier Street and Sea Lane (Attachment 1). The site is developed with two detached single-story, residential units at 7315 Cuvier Street (1,167 square feet) and 614 Sea Lane (1,167 square feet) that were built in 1954. The site was reviewed for historical significance and staff determined that the existing units do not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The surrounding properties are fully developed and within a well-established residential neighborhood (Attachment 3). The site is in the RM-1-1 Zone, the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Coastal Impact), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) area.

Pursuant to San Diego Municipal Code Section (SDMC) 126.0707(a), a Coastal Development Permit, Process Two staff decision, is required for all coastal development of a premises within the Coastal Non-Appealable Overlay Zone. Pursuant to SDMC Section [125.0120](#), a Subdivider may request a Tentative Map Waiver, Process Three Hearing Officer Decision, for a condominium conversion project creating four or fewer condominium units. The two discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in [SDMC Section 112.0103](#). Therefore, the decision to approve, conditionally approve, or deny this project will be made by the Hearing Officer and is appealable to the Planning Commission.

### DISCUSSION

The project includes second story additions to two existing, detached 1,167 square-foot residential units and roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver. As a condition of approval for the Tentative Map Waiver, a Parcel Map to consolidate and subdivide the property into two residential condominium units shall be recorded with the County Recorder prior to the expiration of the Tentative Map Waiver, if approved. This mapping action also updates the property legal description, which currently covers two map lots (portions of lots 4 and 5).

The project site is not located within the First Public Roadway, and there is no public accessway or public views from the project site, as identified in the Community Plan. The 0.13-acre site is designated in the Community Plan for low medium residential uses (9-15 dwelling units/acre), and the project conforms with the prescribed density. The project promotes the Community Plan goal of creating home ownership opportunities and a range of housing types in La Jolla. The Community Plan also encourages residential projects to construct energy efficient buildings through design, building orientation as well as incorporating energy efficient appliances and technology. The project complies with this community goal by creating an energy efficient building that will include lighting controls, smart home technology, and a tankless water heater system. The project also includes exterior siding composites, recycled materials, and engineered lumber.

The project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including density, building setbacks, and height that is below the 30-foot height limit, and floor area ratio that is below the .75 maximum requirement. No deviations or variances are required. The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include constructing City standard driveways and sidewalks, implementing construction best management practices, constructing any necessary water and sewer services, installing private back flow prevention devices, requiring a controlled

irrigation system, granting the City a Pedestrian Access Easement, and providing visibility triangles for pedestrian and vehicular safety.

The project site does not contain nor is adjacent to any sensitive biological resources, environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

#### ALTERNATIVES

1. Approve Coastal Development Permit No. 2329975 and Tentative Map Waiver No. 2330612, with modifications.
2. Deny Coastal Development Permit No. 2329975 and Tentative Map Waiver No. 2330612, if the findings required to approve the project cannot be affirmed.

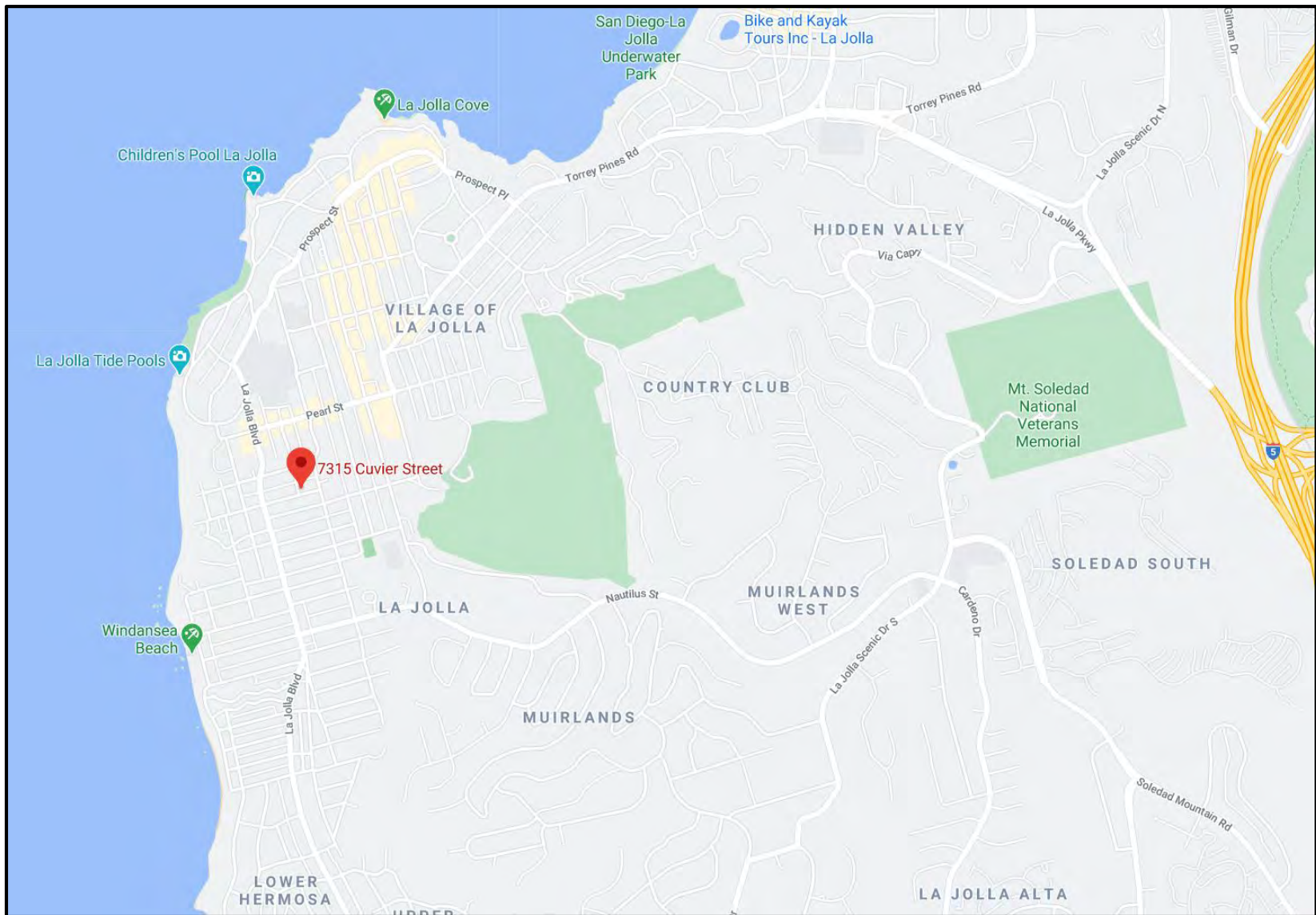
Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Xavier Del Valle', is written over a light blue rectangular background.

Xavier Del Valle, Development Project Manager

#### Attachments:

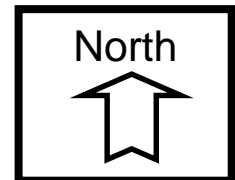
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Map Waiver Resolution
7. Map Waiver Conditions
8. Community Planning Association Recommendation
9. Ownership Disclosure Statement
10. Project Plans



## Project Location Map

Cuvier Street CDP/TMW

Project No. 641955 – 7315 Cuvier Street and 614 Sea Lane

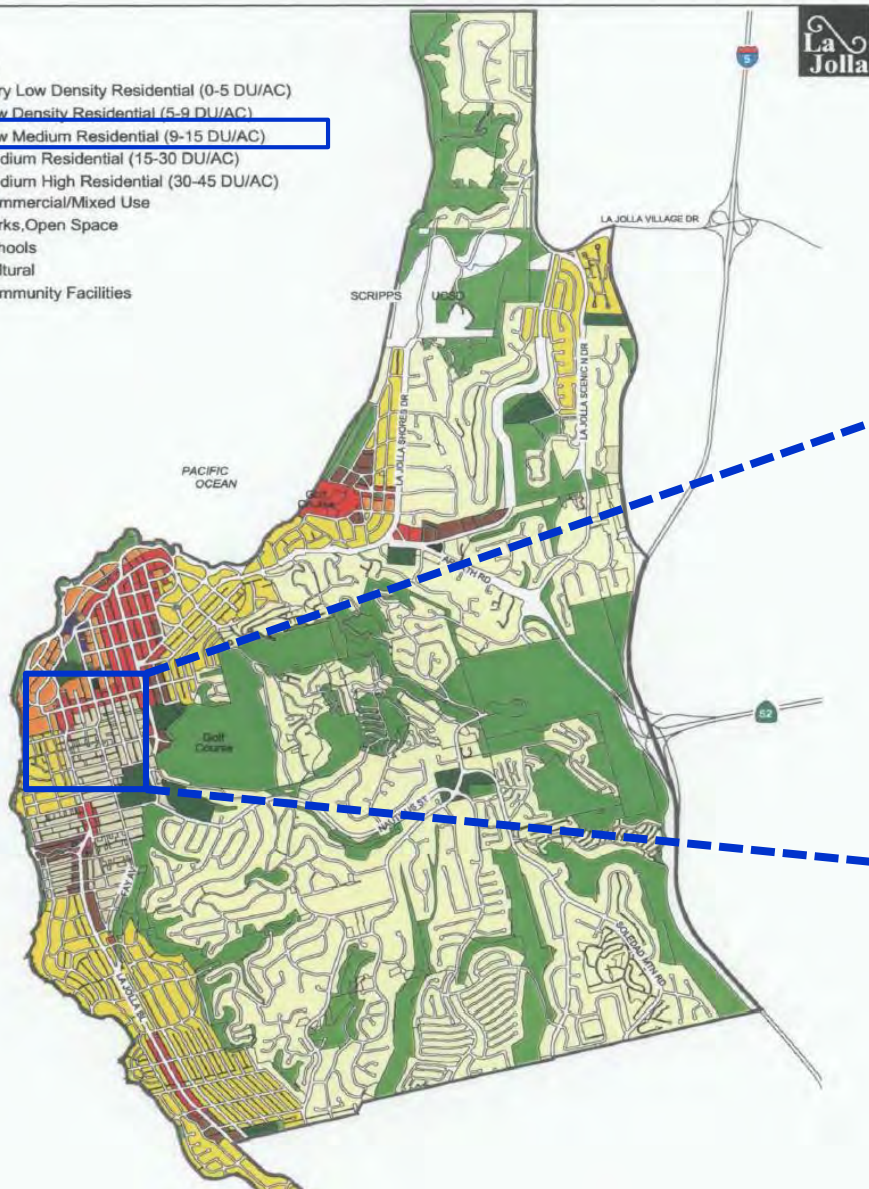




Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

La Jolla



Project Site



## Land Use Map

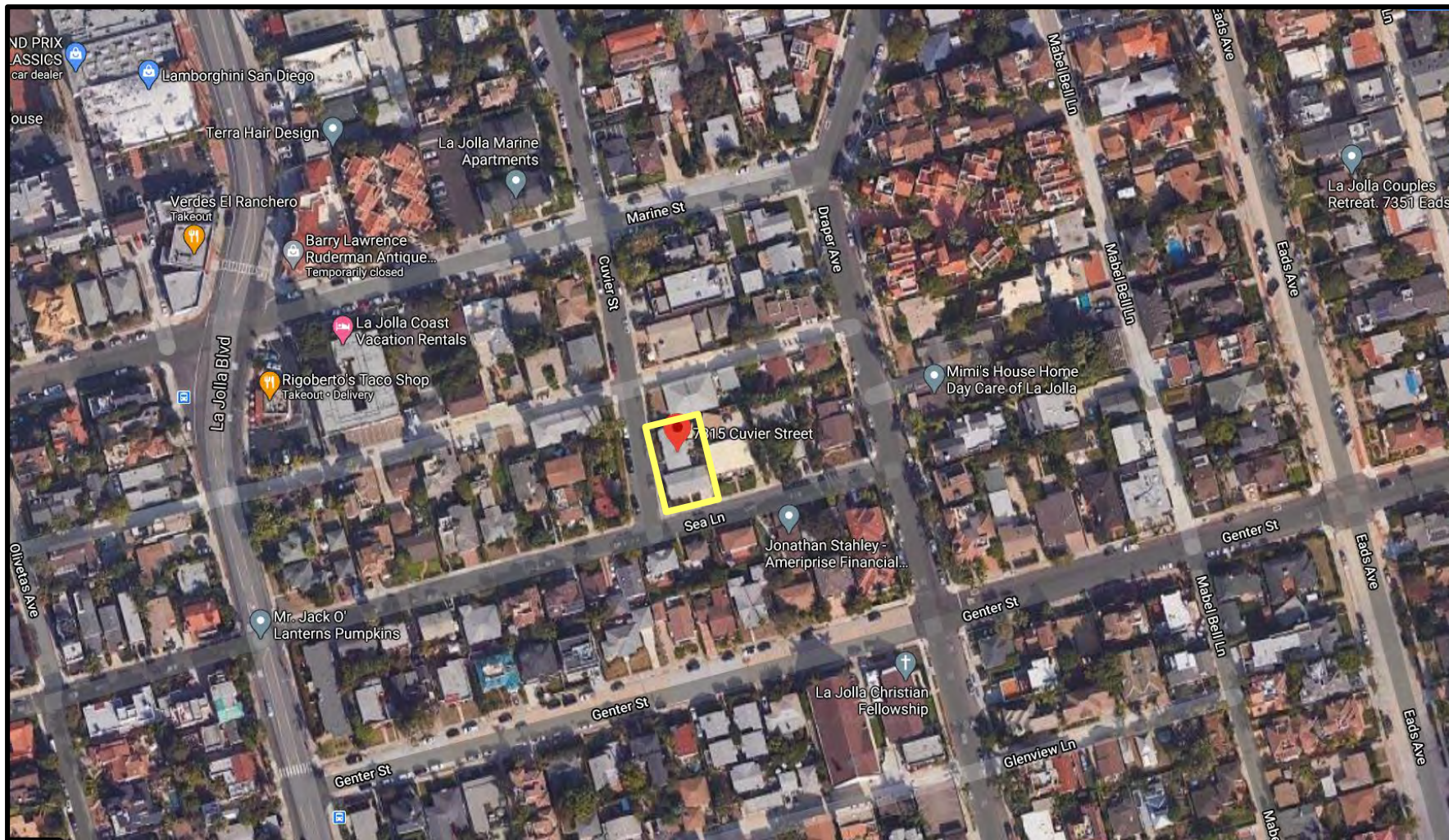
Cuvier Street CDP/TMW

Project No. 641955 - 7315 Cuvier Street and 614 Sea Lane

North



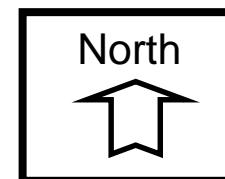




## Aerial Photograph

Cuvier Street CDP/TMW

Project No. 641955 - 7315 Cuvier Street and 614 Sea Lane



HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 2329975  
**CUVIER STREET CDP/TMW - PROJECT NO. 641955**

WHEREAS, JOHN WALDICHUK, Owner/Permittee, filed an application with the City of San Diego for a permit to construct an addition for two detached residential condominiums (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2329975), on portions of a 0.13-acre site;

WHEREAS, the project site is located at 7315 Cuvier Street and 614 Sea Lane and is in the RM-1-1 Zone, the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Coastal Impact), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as that portion of Lots 4 and 5 in Block 13 of F.T. Scripps addition to La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 897, filed in the Office of the County Recorder of San Diego County, July 22, 1903;

WHEREAS, on June 5, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 16, 2020, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2329975 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2329975:

**A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver.

The project site is not located within the First Public Roadway, and there is no public accessway or public views from the project site, as identified in the Community Plan. The project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, and floor area ratio. No deviations or variances are required. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed development will not adversely affect environmentally sensitive lands.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story

residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver. The project site does not contain nor is adjacent to any sensitive biological resources, environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. An environmental determination was made that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15303 (New Construction or Conversion of Small Structures). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver.

The project site is not located within the First Public Roadway, and there is no public accessway or public views from the project site, as identified in the Community Plan. The 0.13-acre site is designated in the Community Plan for low medium residential uses (9-15 dwelling units/acre), and the project conforms with the prescribed density. The project promotes the Community Plan goal of creating home ownership opportunities and a range of housing types in La Jolla. The Community Plan also encourages residential projects to construct energy efficient buildings through design, building orientation as well as incorporating energy efficient appliances and technology. The project complies with this community goal by creating an energy efficient building that will include lighting controls, smart home technology, and a tankless water heater system. The project also includes exterior siding composites, recycled materials, and engineering lumber.

The project was designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including density, building setbacks, and height that is below the 30-foot height limit, and floor area ratio that is below the .75 maximum requirement. No deviations or variances are required. The site was also reviewed for historical significance and staff determined that the existing units do not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.



- d. **For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver. The project site is not located within the First Public Roadway, and there is no public accessway or public views from the project site, as identified in the Community Plan. The project will be developed entirely within private property and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2329975 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2329975, a copy of which is attached hereto and made a part hereof.

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Xavier Del Valle  
Development Project Manager  
Development Services

Adopted on September 16, 2020  
IO#: 24008335

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24008335

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2329975  
**CUVIER STREET CDP/TMW - PROJECT NO. 641955**  
HEARING OFFICER

This Coastal Development Permit No. 2329975 is granted by the Hearing Officer of the City of San Diego to JOHN WALDICHUK, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.13-acre site is located at 7315 Cuvier Street and 614 Sea Lane and is in the RM-1-1 Zone, the Coastal (Non-Appealable) Overlay Zone, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Coastal Impact), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan area. The project site is legally described as: That portion of Lots 4 and 5 in Block 13 of F.T. Scripps addition to La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 897, filed in the Office of the County Recorder of San Diego County, July 22, 1903.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct additions to two existing detached residential single family residential units described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 16, 2020, on file in the Development Services Department.

The project shall include:

- a. An 867 square-foot, second story addition and roof deck to an existing 1,167 square-foot single family residence located at 614 Sea Lane for a total of 2,034 square feet;
- b. A 993 square-foot second story addition and roof deck to an existing 1,167 square-foot single family residence located at 7315 Cuvier Street for a total of 2,160 square feet;
- c. 614 Sea Lane and 7315 Cuvier Street will be converted to condominium ownership per Tentative Map Waiver No. 2330612; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by dated September 30, 2023.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until the Owner/Permittee signs and returns the Permit to the Development Services Department, and the Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**AFFORDABLE HOUSING REQUIREMENTS:**

12. Owner/Permittee shall comply with the provisions of Chapter 14, Article 2, Division 13 of the San Diego Municipal Code ("Inclusionary Affordable Housing Regulations") by paying the Condominium Conversion Inclusionary Affordable Housing Fee in one of the following, manners:

- a. Deferring payment of the Condominium Conversion Inclusionary Affordable Housing Fee until the close of escrow of the first condominium sold at the development by entering into a written agreement with the San Diego Housing Commission securing payment of the Condominium Conversion Inclusionary Affordable Housing Fee, which

shall be recorded against the development and secured by a recorded deed of trust in favor of the San Diego Housing Commission. If Owner/Permittee elects future payment of the Condominium Conversion Inclusionary Affordable Housing, the fee shall be calculated using the rate in effect at the close of escrow of the first condominium unit sold at the development; or

- b. Pre-paying the Condominium Conversion Inclusionary Affordable Housing Fee to the City based upon the aggregate square footage of all residential units in the project. If Owner/Permittee pre-pays the Condominium Conversion Inclusionary Affordable Housing, the fee shall be calculated using the rate in effect on the date of pre-payment.

**ENGINEERING REQUIREMENTS:**

- 13. The Coastal Development Permit shall comply with all Conditions of the Tentative Map Waiver No. 2330612.
- 14. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the reconstruction of one City standard 12-foot driveway, adjacent to the site on Cuvier Street, in a manner satisfactory to the City Engineer.
- 15. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of a current City Standard sidewalk, including maintaining the existing sidewalk scoring pattern, and preserving the contractor's stamp adjacent to the site on Cuvier Street, in a manner satisfactory to the City Engineer.
- 16. Prior to the issuance of any constructions permits, the Owner/Permittee shall grant to the City of San Diego a Pedestrian Access Easement as shown on the approved Exhibit "A," in a manner satisfactory to the City Engineer.
- 17. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC.
- 18. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
- 19. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the proposed non-standard driveway on Sea Lane Right-of-Way, in a manner satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

- 20. The following note shall be included on the Landscape Plan: "All landscape and irrigation shall conform to the standards of the City's Landscape Regulations, the Land Development Manual Landscape Standards, and all other landscape related City and Regional Standards."



21. The following note shall be included on the Landscape Plan: "Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by SDMC Section 142.0403(c) for proper irrigation, development, and maintenance of vegetation in a healthy and disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected." In addition, the plans shall indicate the proposed types of irrigation systems (i.e., spray, drip, etc.) for the project.

22. The following note shall be included on the Landscape Plan: "A minimum root zone of 40 square feet in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC Section 142.0403(b)(5)."

23. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit for approval complete landscape construction documents for public right-of-way improvements to the Development Services Department. The improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.

24. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

25. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**PUBLIC UTILITIES DEVELOPMENT REQUIREMENTS**

27. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the design and construction of new water and sewer services outside of any driveway or drive aisle, including the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

28. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices (BFPD) on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities

Director and the City Engineer. The BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the public right-of-way.

29. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the private sewer facilities encroaching into the public right-of-way.

30. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check process.

31. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

32. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with the established criteria in the current edition of the City's Water and Sewer Facility Design Guidelines, and with the City regulations, standards and practices.

#### **TRANSPORTATION REQUIREMENTS**

33. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall comply with the requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

34. The owner/permittee shall provide a 25-foot x 25-foot visibility triangle at the northeast corner of the intersection of Cuvier Street and Sea Lane measured along the property line. No obstructions higher than 36 inches shall be located within this area (i.e., landscaping, walls, columns, signs, etc.)

35. The owner/permittee shall provide a 10-foot x 10-foot visibility triangle at each side of the driveway on Cuvier Street measured along the property line.

36. The owner/permittee shall provide 10-foot x 10-foot visibility triangle at each side of the driveway on Sea Lane measured along the property line.

#### **INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

## ATTACHMENT 5

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on dated September 16, 2020 and [Approved Resolution Number].

DRAFT

## ATTACHMENT 5

Permit Type/PTS Approval No.: Coastal Development Permit No. 2329975  
Date of Approval: September 16, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Xavier Del Valle  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**OWNER/PERMITTEE**

By \_\_\_\_\_  
John Waldichuk

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
TENTATIVE MAP WAIVER NO. 2330612  
**CUVIER STREET CDP/TMW - PROJECT NO. 641955**

WHEREAS, JOHN WALDICHUK, Subdivider, and Leppert Engineering, submitted an application with the City of San Diego for Map Waiver No. 2330612 to waive the requirement for a Tentative Map to create two detached residential condominiums. The project site is located at 7315 Cuvier Street and 614 Sea Lane and is in the RM-1-1 Zone within the La Jolla Community Plan area; The property is legally described that portion of Lots 4 and 5 in Block 13 of F.T. Scripps addition to La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 897, filed in the Office of the County Recorder of San Diego County, July 22, 1903; and

WHEREAS, the Map proposes the subdivision of a 0.13-acre site into one lot for two detached residential condominiums; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is two; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act section 66491(a) and San Diego Municipal Code sections 144.0220(a) and 144.0220(b); and

WHEREAS, on June 5, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 *et. seq.*) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code section 112.0520; and



WHEREAS, on September 16, 2020, the Hearing Officer of the City of San Diego considered Map Waiver No. 2330612 pursuant to sections 125.0122 and 125.0444 of the San Diego Municipal Code and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Map Waiver No. 2330612:

**1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver.

The project site is not located within the First Public Roadway, and there is public accessway or public views from the project site, as identified in the Community Plan. The 0.13-acre site is designated in the Community Plan for low medium residential uses (9-15 dwelling units/acre), and the project conforms with the prescribed density. The project promotes the Community Plan goal of creating home ownership opportunities and a range of housing types in La Jolla. The Community Plan also encourages residential projects to construct energy efficient buildings through design, building orientation as well as incorporating energy efficient appliances and technology. The project complies with this community goal by creating an energy efficient building that will include lighting controls, smart home technology, and a tankless water heater system. The project also includes exterior siding composites, recycled materials, and engineered lumber.

The existing units and proposed additions were designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including density, building setbacks, and height that is below the 30-foot height limit, and floor area ratio that is below the .75 maximum requirement. No deviations or variances are required. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The two units will be converted to condominium ownership through a Tentative Map Waiver. The subdivision complies with SDMC Section [125.0120](#) and a Tentative Map Waiver is authorized for a conversion project that creates four or fewer condominiums units.

The project was also designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including density, building setbacks, and height that is below the 30-foot height limit, and floor area ratio that is below the .75 maximum requirement. No deviations or variances are required. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code.

**3. The site is physically suitable for the type and density of development.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver.

The 0.13-acre site is designated in the Community Plan for low medium residential uses (9-15 dwelling units/acre), and the project conforms with the prescribed density. The project was also designed to comply with all of the development standards required by the underlying RM-1-1 Zone, including density, building setbacks, height, and floor area ratio. No deviations or variances are required. The project site is served by existing public infrastructure/utilities and does not contain nor is adjacent to any sensitive biological resources, environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. Therefore, the site is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project site does not contain nor is adjacent to any sensitive biological resources, environmentally sensitive lands, and is not located within a coastal bluff, beach, or special flood area. Therefore, the design of the subdivision or the proposed improvements will not

cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver.

The project shall not be detrimental to the public health, safety, and welfare. The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include constructing City standard driveways and sidewalks, implementing construction best management practices, constructing any necessary water and sewer services, installing private back flow prevention devices, installing a controlled irrigation system, granting the City a Pedestrian Access Easement, and providing visibility triangles for pedestrian and vehicular safety.

The Tentative Map Wavier for the project was reviewed and determined to be in compliance with the SDMC and Subdivision Map Act. The project must satisfy conditions of approval of Tentative Map Waiver No. 2330612 and Coastal Development Permit No. 2329975 to achieve compliance with the regulations of the SDMC. Therefore, the design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The project site does not contain any easements acquired by the public at large for access or use of property within the subdivision. A condition of approval requires the Subdivider to grant the City a Pedestrian Access Easement for the project.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver.

The Community Plan encourages residential projects to construct energy efficient buildings through design, building orientation as well as incorporating energy efficient appliances and technology. The project complies with this community goal by creating an energy efficient building that will include lighting controls, smart home technology, and a tankless water heater system. The project also includes exterior siding composites, recycled materials, and engineered lumber. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The project site is located on a single lot at 7315 Cuvier Street and 614 Sea Lane within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The project site is developed with two detached single-story residential units that total 1,167 square feet each and are located within an established residential area. The project includes second story additions to each unit with roof decks that will total 2,034 square feet for Sea Lane and 2,160 square feet for Cuvier Street. The units will be converted to condominium ownership through a Tentative Map Waiver.

The project promotes the Community Plan goal of creating home ownership opportunities and a range of housing types in La Jolla. The conversion of the two existing single-story residential units into residential condominiums does not adversely impact public resources. The decision maker has reviewed the administrative record, including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region, and determined that the proposed subdivision for the creation of two residential condominiums is consistent with the housing needs in the La Jolla community. Therefore, the decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

**9. The notices required by San Diego Municipal Code section 125.0431 have been given in the manner required.**

A condition of approval for the Tentative Map Waiver requires the Subdivider to provide a Notice of Tenants Rights and Notices for Condominium Conversion, consistent with the Land Development Manual. Therefore, the notices required by San Diego Municipal Code Section 125.0431 shall be given in the manner required.

**10. The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low-income housing.**

The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low-income housing. A condition of approval requires the Subdivider to pay the San Diego Housing Commission a Condominium Conversion Inclusionary Affordable Housing Fee.

- 11. For any project that was developed to provide housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed.**

The project does not provide housing for the elderly, disabled or low-income housing.

That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Map Waiver No. 2330612 is hereby granted to Subdivider subject to the attached conditions which are made part of this resolution by this reference.

By \_\_\_\_\_  
Xavier Del Valle  
Development Project Manager  
Development Services

ATTACHMENT: Map Waiver Conditions

Internal Order No. 24008335



## ATTACHMENT 7

HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
TENTATIVE MAP WAIVER NO. 2330612  
**CUVIER STREET CDP/TMW - PROJECT NO. 641955**  
ADOPTED BY RESOLUTION NO. \_\_\_\_\_ ON \_\_\_\_\_

### **GENERAL**

1. This Map Waiver will expire on September 30, 2023.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map unless otherwise noted.
3. Prior to the Map Waiver expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Parcel Map shall conform to the provisions of Coastal Development Permit No. 2329975.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify the Subdivider of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

### **CONDOMINIUM CONVERSION**

7. The Subdivider shall provide a Notice of Tenants Rights and Notices for Condominium Conversion, consistent with the Land Development Manual to be provided as follows:
  - a. For existing tenants, within 10 days of the project application for the condominium conversion being deemed complete; or
  - b. For prospective tenants, upon application for the rental of a unit in the proposed condominium conversion.

## **ATTACHMENT 7**

8. The Subdivider shall provide each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the Subdivision Map Act.
9. The Subdivider shall provide each of the tenants of the proposed condominiums written notice of intention to convert at least 180 days prior to termination of tenancy due to the conversion or proposed conversion in conformance with Subdivision Map Act section 66427.1(a)(2)(E). The provisions of this condition shall neither alter nor abridge the rights or obligations of the parties in performance of their covenants, including, but not limited to, the provision of services, payment of rent, or the obligations imposed by Civil Code sections 1941, 1941.1 and 1941.2.
10. The Subdivider shall provide the tenants of the proposed condominiums with written notification within 10 days after approval of a Parcel Map for the proposed conversion, in conformance with Subdivision Map Act section 66427.1(a)(2)(D).
11. The Subdivider shall give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (San Diego Municipal Code § 125.0431(a)(4)).
12. The Subdivider shall provide each of the tenants of the proposed condominiums notification of their exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, in conformance with Subdivision Map Act section 66427.1(a)(2)(F) and San Diego Municipal Code section 125.0431(a)(5). The right shall commence on the date the subdivision public report is issued, as provided in section 11018.2 of the Business and Professions Code, and shall run for a period of not less than 90 days, unless the tenant gives prior written notice of his or her intention not to exercise the right. (San Diego Municipal Code § 125.0431(a)(5)).
13. The Subdivider shall provide a copy of the Building Conditions Report to a prospective purchaser prior to the opening of an escrow account. (San Diego Municipal Code § 144.0504(c)).
14. Prior to the recordation of the Parcel Map, the Subdivider shall demonstrate conformance with the San Diego Municipal Code provisions for building and landscape improvements (San Diego Municipal Code § 144.0507), to the satisfaction of the City Engineer.

### **ENGINEERING**

15. Compliance with all conditions shall be assured to the satisfaction of the City Engineer prior to recordation of the Parcel Map, unless otherwise noted.
16. The Tentative Map Waiver shall comply with the conditions of Coastal Development Permit No. 2329975.

### **MAPPING**

17. This is a Condominium Project as defined in section 4125 of the Civil Code of the State of California and is filed pursuant to the Subdivision Map Act. The total number of residential units is two.
18. As a condition of approval for the Tentative Map Waiver, a Parcel Map to consolidate and subdivide the property into two residential condominium units shall be recorded with the County Recorder prior to the expiration of the Tentative Map Waiver.
19. Prior to the recordation of Parcel Map, the City will perform a field monument inspection to verify that all property corners are marked with survey monuments. If any survey monument is missing, each shall be replaced prior to the recordation of the Parcel Map.
20. Prior to the recordation of the Parcel Map, all conditions in the Tentative Map Waiver Resolution of approval must be satisfied.
21. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition. If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.

### **INFORMATION:**

- The approval of this Map Waiver by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. § 1531 *et seq.*).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Map Waiver will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Map Waiver, may protest the imposition within 90 days of the approval of this Map Waiver by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in

## **ATTACHMENT 7**

the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24008335

# La Jolla Community Planning Association

Regular Meetings: 1<sup>st</sup> Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: [www.lajollacpa.org](http://www.lajollacpa.org)

[info@lajollacpa.org](mailto:info@lajollacpa.org)

President: Tony Crisafi

Vice President: Matt Mangano

2<sup>nd</sup> Vice President: Dave Gordon

Secretary: Suzanne Weissman

Treasurer: Mike Costello

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## FINAL MINUTES–

Regular Meeting | Thursday, January 9, 2020 – 6 p.m.

### 1.0 Welcome and Call to Order: Tony Crisafi, President, presiding, 6:01 pm

**This is a full agenda, recorded meeting therefore, the following rules will be enforced:**

- Mobile devices off or on silent mode.
- All public and trustee comment will be addressed to the chair. Public & trustee comment will be limited to 2 minutes.
- Comments will be directed to the project or matter stated in third person for the purpose of respect & clarity
- Chair may ask for member votes. Please keep hands raised until the vote tally is announced.
- Chair will alternate order of trustee comment. Upon consensus, Chair will close discussion and call for a motion.
- Please notify chair of any organized public presentation requests prior to meeting – preferably a week.

**Quorum present:** Brady, Costello, Crisafi, Fitzgerald, Fremdling, Gordon, Ish, Jackson, Little, Mangano, Manno, Neil, Shannon, Weissman, Will. **Absent:** Courtney, Kane

### 2.0 Adopt the Agenda

**Motion:** Adopt agenda, (Brady/Fitzgerald) **/Vote:** Unanimous, Chair abstains, **Motion carries.**

### 3.0 Meeting Minutes Review and Approval:

#### 3.1– Regular meeting minutes

**Neil:** Question whether 3<sup>rd</sup> paragraph of Secretary Report, item 5.2, should state that to be a trustee a person must have attended 3 meetings as a member (28 days after submitting application) or just have attended 3 meetings in the prior 12 months?

**Boyden:** Clarified by stating that you don't have to attend 3 meetings after becoming a member; you only have to attend 3 meetings. For example: one could attend in March and June, 2019, then join in Feb. 2020, and be qualified for a trustee.

Minutes will remain as written. There is a minor correction for \$2.00 in the Treasurer's Report making the Ending Balance \$545.16.

**Motion:** Approve minutes as amended (Jackson/Neil) **Vote:** 13-0-2, **Motion carries.**

**In Favor:** Brady, Costello, Fitzgerald, Fremdling, Gordon, Ish, Jackson, Little, Mangano, Manno, Neil, Weissman, Will

**Opposed:** none

**Abstain:** Shannon, Crisafi (chair)

## 4.0 Consent Agenda – 4.1 – 4.5

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. Projects may be pulled from consent agenda by anyone present. Items will be moved to full review at the present of following regular LJCPA meeting.

**The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.**

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair David Gordon, 3rd Monday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

### **4.1 – 8441 Whale Watch Way – Morgan Residence – Project No. 635054,**

Process 3, SDP & CDP to Demolish an existing residence & construct a two-story, 11,952 s.f. single family residence on 0.46-acre property. Property is within the s.f. zone of the La Jolla Shores Planned District, Coastal (Non-appealable Overlay zone and within the La Jolla Community Plan Area within Council District 1.

**PRC motion to approve 6-0-0**

### **4.2 – Completion of concrete re-paving project on section of Coast Blvd. near The Cave Store – City project to restore the street following emergency repairs.**

**T&T motion to approve 9-0-0**

### **4.3 – Leidy Residence – 6216 Avenida Cresta – Project No. 639782,**

Process 3, CDP for a new 7,172 s.f. two story single family residence with basement, 788 s.f. garage, 629 s.f. guest quarter and a detached 423 s.f. companion unit. The .24 acre site is in the RS-1-5 and Coastal Overlay (appealable) zone within the La Jolla Community Plan area, Council District 1.

**DPR motion to approve 4-0-1**

### **4.4 – 7815 Cuvier and 614 Sea Lane – Project No. 641955,**

Process 3, CDP & tentative map waiver for an addition to two existing single story units that total 1,167 s.f. each. The scope includes a 2nd story addition with roof deck that will create two detached residential condos that total 2,034 s.f. and 2,160 s.f. The .13 acre site is in the RM -1-1 zone and the coastal (non-appealable) overlay zone within the La Jolla Community Plan area, Council District 1.

**DPR motion to approve 4-0-1**

### **4.5 – 5421 Bellevue Ave. LLA – Project No. 558873**

Process 2, CDP for a lot line adjustment and consolidation of lots 11,12, 13 & 14 in block 26 of Bird Rock Addition of Map 1083 to make two parcels located at 5421 Bellevue Ave. The site is in the RS-1-7 coastal (non-appealable) overlay zone within the La Jolla Community Plan area and Council District 1.

**DPR motion to approve 6-0-1**

See Committee minutes and/or agenda for description of projects, deliberations, and vote.  
Anyone may request a consent item be pulled for full discussion by the LJCPA.

None pulled. **Motion:** approve consent agenda, (Gordon/Mangano) **Vote:** unanimous, chair abstains.  
**Motion carries.**

## 5.0 Officer Reports:

### 5.1 Treasurer - Mike Costello's report –

#### La Jolla Community Planning Association Treasurer's Report for January 9, 2020 Regular Meeting

<b>Beginning Balance</b> as of December 1, 2019	\$545.16
<b>Income</b>	
• Collections, Dec. 5, 2019	\$148.00
• CD Sales	\$ 00.00
<b>Total Income</b>	<u>\$148.00</u>
<b>Expenses</b>	
• Agenda printing , Dec. 5, 2019	\$72.41
• City Treasurer (Rec Center over-time)	00.00
• GoDaddy ( LJCPA email & website)	\$414.34
<b>Total Expenses</b>	<u>\$486.75</u>
<b>Net Income/(Loss)</b>	(-) \$338.75
<b>Ending Balance</b> of December 31, 2019	\$206.41

City staff agreed to continue to not charge for overtime on this room saving us about \$540.

**Little:** How does price of website compare to other options.

**Jackson:** The website was out of date from years ago; it was about \$100 to bring it up to date. About \$300 went for 3 year service with email account. This is not the cheapest but not most expensive either.

### 5.2 Secretary -

If you want your attendance recorded today, you should sign in at the back of the room or let me know that you want your attendance recorded. You are welcome to attend without signing in or joining.

LJCPA is a membership organization open to La Jolla residents, property owners and local business and non-profit owners at least 18 years of age.

Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: [www.lajollacpa.org/](http://www.lajollacpa.org/).

We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March.

You can become a Member after completing the application and attending one meeting. You can maintain your membership by documented attendance at one meeting per year. If you do not attend one meeting per year, your membership will expire.

To qualify as a candidate in an election to become a Trustee, a member must have documented attendance at **three** LJCPA meetings in the preceding 12-month period.

The attendance spreadsheet is posted on the LJCPA website. If you have any questions let me know. The spreadsheet updated through January will go onto the website in a day or two. We will have a Membership Committee meeting before the next election after the February Regular CPA meeting probably on Feb. 10 or 11. The meeting will be noticed.

## 6.0 Elected Officials – Information Only

### 6.1 Council District 1: Councilmember Barbara Bry.

Rep: Steven Hadley, 619-236-6972, [srhadley@sandiego.gov](mailto:srhadley@sandiego.gov)

**Hadley:** Passed out copies of the Bry Bulletin. Councilmember Bry received the letter sent last month requesting more timely notice and more time to respond to policy issues that come to the city such as the task force on planning groups. The councilmember will share that with the mayor when she meets with him the concerns we have with things that come out too late for this group to respond. I also promise to get anything that may be of interest to you to you as soon as we hear of it to give you a heads up. I am also working to get a brush clearing contract in final stages of being awarded to focus on Fay Ave. extensions among other things. With the current rains it is fairly easy to distinguish the brown weeds from green vegetation. We are working with the mayor's office to move along some of the under-grounding in the Muirlands area where SDGE has had trouble with soil and trenching. They are not coming back with a resolution and dragging on. In the meantime, we will get them to post electronic signs when they are having closures on Nautilus and other streets causing rerouting and traffic delays. Also we are working on Hillside Dr. I discovered by looking on Google Maps that in March of last year, trucks more than 4 tons were prohibited from going up Hillside. The new signage now allows trucks up to 5 tons to turn up that road. My question to traffic engineers is why we are allowing bigger trucks than a year ago to turn up Hillside Dr.

Last thing I am working on is a letter to Air B&B asking them to take the home on Blackgold Rd. off their platforms after the second newsworthy call about people being not only harassed but also harmed. Councilmember Bry is not against capitalism, people sharing their homes, but when our police resources are being used to baby sit unrestricted parties, these things need to be addressed and she is willing to do that.

The State of the City meeting is next Wednesday night at 6:00 pm at the Balboa Theater. Please connect with me there: find me and I will connect you with City staff there. The State of the District Address by Councilmember Barbara Bry will be on Wednesday night, January 29, 6:30 pm at University City High School Library.

**Little:** What a difference it makes to get scooters off the board walks. Will there be another vote on that?

**Reply:** Yes, there is a 2<sup>nd</sup> reading of that ban on scooters on Mission Beach, Pacific Beach and the Shores

**Little:** What is your reading on how that vote will go? **Reply:** we expect it to pass. The reason for a 2<sup>nd</sup> vote is that it is called for in an ordinance perhaps allowing time for people to change their vote.

**Gordon:** A recent announcement that Lime Scooters are leaving SD.

**Manno:** Is your office aware that the brush around Hillside Dr. is classified by the fire Department as extremely hazardous. I have heard nothing about the city doing anything to clear that brush. **Reply:** we have maps showing parks that are open space. We rely on private property owners to address brush on their property.

### 6.2 78th Assembly District: Assembly member Todd Gloria

Rep: Mathew Gordon 619-645-3090, [mathew.gordon@asm.ca.gov](mailto:mathew.gordon@asm.ca.gov) Not present

**6.3 39th Senate District: State Senator Toni Atkins, Senate President pro Tempore** Rep: Miller Saltzman, 619-518-8188, [Miller.saltzman@sen.ca.gov](mailto:Miller.saltzman@sen.ca.gov) Not present

## 7.0 President's Report – Information only unless otherwise noted

**7.1** Annual trustee election will be held on March 5, 2020. Announcement, item 10.1



**7.2** La Jolla Community Foundation invites Community Planning Group members to view and discuss the Streetscape Plan – the village of La Jolla improvements – on Thursday, January 16<sup>th</sup> from 4:00 to 6:00 at the La Jolla Recreations Center – flyer attached

**Little:** Who is this group? **Crisafi:** privately funded through LJ Community Fdn. Part of the SD Foundation, an independent non-profit that relies on private donations. The MAD gets funding from property owners.

**Little:** What authority do they have to make changes? **Reply:** They have no authority; they have to get community approval and raise money to do improvement

## 8.0 Public Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

**8.1 City of San Diego – Community Planner:** Marlon Pangilinan, [mpangilinan@sandiego.gov](mailto:mpangilinan@sandiego.gov) Not present.

**8.2 UCSD – Senior Community Planner:** Alyssa Helper: [ahelper@ucsd.edu](mailto:ahelper@ucsd.edu)

We are hosting an open house about the proposed future College Living and Learning Neighborhood. Wednesday, January 22, 2020, 5 – 7 pm., UC San Diego Faculty Club, Atkinson Pavilion.

This is an opportunity to express concerns, support.

Recently broke ground on Franklin Antonio Hall Project, engineering building. We are now resuming our Community Advisory Group focusing on implementation of the Long Range Development Plan. We met on Dec. 11, including 3 members from this group; next meeting will be in February.

## 8.3 General Public

**Joe LaCava:** I'm running for SD City Council District 1. I am giving this update as absentee ballots will be out on February 3. I have knocked on 600 doors and have been endorsed by Sherri Lightner, Donna Frye, Kristine Kehoe, Save SD Neighborhoods and the Sierra Club. Some folks wanted me to come back and answer questions about the ideas the City of SD is trying to do to change the nature of city planning groups as reported in the LJ Light three weeks ago. I am happy to do that next month at the will of the Chair.

**Costello:** Regarding the question about slates from the grand jury report; do we have to change our bylaws?

**La Cava:** This is a work in progress; nothing is final, but you should pay attention because some of the suggestions will disincentivize people from joining community planning groups. The idea of a slate is that outside members may recruit members they want to get elected, put a slate together, advertise it to the voters encouraging them to vote for that slate. The understanding has been that the planning group itself cannot put together a slate because we want open democracy; we want as many individuals to come forward. At a recent hearing city staff indicated they were going to change that and allow planning groups to put together their own slate. That was a shock and counter intuitive to the idea of being more inclusive encouraging individuals to show up. That is not policy yet.

**Phil Merten:** The project on 7615 Hillside Dr. on a lot steeply sloping down the street:

- Maximum height is 30' above grade per the Municipal Code.
- Overall maximum structure height on a sloping lot if there is 10' maximum elevation difference under the house the maximum height would be 40'.
- This project is a 3 story, 30' structure
- Immediately behind it is a second structure consisting of 25' high retaining walls with storage space underneath connected to the main structure.
- The Municipal Code states that if you have 2 structures that are separated by 6 horizontal feet, each structure is measured separately.
- On this site we have a 30' structure connected to a 25' structure with an overall height of 55'.
- The City has issued a notice of correction to the contractor.

- Since this project was permitted under an SDP and a CDP, changes and modifications to this building to bring it into compliance should come back to the community for review.
- The City has said they will approve the modifications and move ahead when they approve the modified drawings.
- I am requesting that you request the City to bring the modifications back to you for review and comments before the City approves any modifications.

**Ray Weiss:** I sent a message to the Development Permit Review committee on July 11, last year asking when the project at 1220 Park Row will be heard again with accurate measurements and drawings as was requested last February. As yet there has been no response to these requests by the applicant. Surely the applicant cannot stonewall the committee indefinitely? Is there a plan to hear this project again or to compel the applicant to comply? The residents of Park Row care deeply about the impact of the code violations on their community. Brian Will, chair of the DPR committee inquired at the City and was told by the Project Manager that this was still an open matter. Does City staff have any obligation to move these stalled projects along? Could this group write a letter requesting the City to act on this project? I would like to see this inaction by the City changed.

## 9.0 Non-Agenda Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less

**Fitzgerald:** Recommend trustees and audience go on website and look at recommendations for CPGs and comments from City Attorney. There are some very significant changes proposed. The material on the CPA website shows the City recommendations, what the CPG group recommended—the extent of the changes is eye opening.

**Will:** I will read an email from Project Manager, Xavier del Valle, on the Park Row project: “My apologies for the delayed response. I believe the ball is in our court regarding several issues that have been raised about the project. Since several staff working on the project are no longer with the City, we have delayed our response to the applicant. Based on our past meetings with the applicant on the outstanding issues, we anticipate another submittal in the near future and will deliver another set of plans for your review.”

**Ish:** Has there been a response from the UT or La Jolla Light about our letter about the Beach Groins?

**Crisafi:** By email I was referred to the advertising department, I think to place an ad with our letter.

**Ish:** Could a letter be sent as a letter to the editor? Also I spoke with the City concerning the 13<sup>th</sup> code update. It is now called the 2020 Update. The code monitoring committee has been disbanded; all code revisions are now going through the Community Planners Committee. There is a time constraint because the update with the issues we have concerning the serial permits and carports will be on the agenda at the CPG soon and then will go to the Planning Commission. I suggest that the 50% rule and other concerns be put on the agenda at DPR this month so they can go to the CPA next month.

**Manno:** Will the DPR recommendations be an action item for the CPA in February? **Reply:** Yes.

**Costello:** The Coastal Commission meeting will be on February 12 – 14 in LA – Orange County. The Substantial Conformance Review on blocking of the ramp to the Childrens’ Pool will be on that agenda. The permit for the lifeguard tower a decade ago specifically stated the ramp would remain open. The City, without consulting anyone, blocked the access ramp. I will let you know as soon as I have the date and time.

Also SB 50 may come up for a vote again. Could Councilmember Bry help us out to oppose that?

**Little:** SB 50 is a terrible thing; it will make every residence a 4-plex.

**Shannon:** SB 1069 and AB 68 are already on the books. SB 1069 allows accessory dwelling units and AB 68 provides for a 2<sup>nd</sup> accessory dwelling unit thus allowing 3 units on any lot. A lot of new legislation is in already in place and City staff has not kept up with implementing them.

**Neil:** Could you prepare a brief description of these bills for distribution to the trustees.

## 10.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

### 10.1 Election Committee – Kathleen Neil

- There are 7 seats open for the election March 5, 2020, 6 for 3 year terms, 1 for 2 year term.
- A candidate forum will be held at the February 6, regular CPA meeting. Interested candidates can speak for 2 minutes each or can submit candidate statement to be read if they cannot attend.
- Eligible members who have attended 3 LJCPA meetings from March 2019 through February 2020 may declare their candidacy until the end of the Feb. 6, meeting.
- The election will be held from 3 to 7 pm on March 5, 2020 in this building
- The election now has 4 members, Kathleen Neil, Nancy Manno, Mike Costello, Janie Emerson

### 10.2 Community Planners Committee – Dave Gordon

A special Community Planners Committee meeting was held on Dec. 10, that I was unable to attend. The Planning Department is asking for the public to complete a survey to ask for public opinions on planning groups. The survey is on the website until Jan. 16. Also the Land Use and Housing committee met to review the matrix covering the Grand Jury Report, City Attorney and CPG recommendations for planning groups.

### 10.2 Coastal Access & Parking Board – did not meet

### 10.3 UC San Diego advisory Committee –

**Mangano:** I recommend all to attend the UCSD open house on Jan. 22, reported earlier. I commend UCSD as an economic driver and powerhouse in the community and for their thoughtful expansion plans. At the meeting they reviewed the phasing and sequencing plans for the huge future construction to have minimum impact on the campus and the surrounding community.

**Gordon:** I commend UCSD for being thoughtful of our community when they do not have to abide by all local rules. They have been mandated by the Regents to expand the campus by 35%. They are trying to minimize the impact to our community by moving more housing onto campus, getting more people off the roads and staging construction within the campus. The new living and learning center near the LJ Playhouse will cause the closing of the current parking lot but they are trying to develop plans for parking and transportation asking for community input.

**Boyd:** I am concerned about the lack of a plan for parking at the LJ Playhouse for the period during construction before the underground parking is available. Gordon: a plan will be in place before construction begins.

### 10.4 Hillside Drive Ad Hoc Committee – Diane Kane, Chair – did not meet

### 10.5 Airport Noise Advisory Committee – Matthew Price - did not meet

### 10.6 Playa Del Norte Stanchion Committee – did not meet

The following agenda items are ACTION ITEMS unless otherwise noted and may be *de novo* considerations. Prior actions by committees/boards are listed for information only.

## 11.0 – LJCPA Review and Action Matter

### 11.1 CPA to draft a letter regarding recent approval of a vested Coastal Development Permit at 7819

**Lookout Drive without community input via Substantial Conformance Review. The CDP was vested with a legal lot Line adjustment. Subsequent designs for the proposed single family residence have not been routed through the LJCPA. Proposed action is to clarify and correct the Substantial Conformance Review process with respect to Community review.**

The proposed letter was passed out at meeting and is attached to these minutes as Exhibit A

**Crisafi:** I move to continue this item to next month since Diane Kane who initiated this item is not here.

Discussion followed whether an item on the agenda can be postponed if a presenter is not present. A presenter came forward from the audience so all agreed to hear the item.

**Deseree Kellogg, neighbor:** We are requesting to send a letter to the mayor requesting City staff to reverse its decision to approve an expired permit from 2005 for a project that significantly differs from the original permit.

- In 2005 the structure was 22% smaller, called for minimal grading. Now they are excavating the entire site with a swimming pool in front yard in violation of the Municipal Code.
- We request public input at the Community Planning Association before approval

**Phil Merten:** According to DSD this building application is still under review and has not yet been issued. I am not familiar with this particular project, but I am very familiar with the regulations that control it.

- According to the description on the agenda a CDP was issued to construct a new home and a lot line adjustment.
- Lot line adjustment are required to go through the coastal development permit process.
- My understanding is that recently through the Substantial Conformance Review process modifications to the design of the structure and a realignment of the property line -- Lot Line Adjustment (LLA) -- were approved.
- The LLA is the issue in this case. This particular site is next to a site that Tony's office has been handling.
- The Municipal Code states that a LLA can occur provided the resulting parcels are in conformance with the MC. The La Jolla Shores Planned District Ordinance says that lots approved subsequent to the adoption of the LJSPDO must comply with the ordinance.
- The ordinance says that any lot created or modified must not be smaller than the average size of all parcels within 300 ft. of the site.
- One of these parcels is well below the average size of parcels within 300 ft. of it.
- This LLA needs to be looked at carefully. It made a substandard, non-conforming lot by reducing one of the lots, increasing the density of that lot which is prohibited by the Code and cannot be a finding for a CDP.
- The City issued IB 500 which says that any LLA that increases density on a parcel cannot be approved by a SCR. Those LLA's can only be approved by a CDP, not an over the counter review by City staff.
- I think this LLA approval by a ministerial SCR was probably issued by staff who are unfamiliar with the regulations, no illegal intent implied.
- Any development permit issued in contradiction of the MC is not legal and not valid. Bottom line this is a situation that needs careful review by this group.

**Boyden:** SCR's do come to the Permit Review Committee. In this case an amendment to the permit is required that should be treated as a new permit.

**Merten:** The City's newsletter on SCR's says that those reviews shall be done by City staff with no public notification -- a change in policy.

**Crisafi:** In the past LLA's and permit vesting have been handled differently regarding the SCR processes going to the community. It is not mandatory to send a SCR to the community for review. If the proposed dwelling unit under this CDP requires an amendment, we could simply ask for the opportunity to review the proposed residence. That might be more effective to state under current code that is required.

**Kane:** One of the problems is there is no information on this on Open DSD; the lot doesn't exist, none of the previous permits are mentioned there, the address is not there. There have been 3 coastal permits and a LLA and none of this is online. When we asked to see the plans, we were told they were proprietary and could not be viewed. We have asked politely to review them and chat with staff about our concerns. We have received no response.

**Crisafi:** I don't disagree with the letter; it could be distilled to get the point across asking DSD whether a SCR or coastal amendment is appropriate and to release the drawings to the public.

**Neil:** Are we going to entertain a motion or try to revise the letter? I see creep occurring regarding development that is not open and not available for review.

**Manno:** I have the same concern as Trustee Neil. This letter covers a number of things, is much too long and complicated. It needs to make 2 or 3 main points demanding a response.

With further discussion the trustees agreed that the biggest issues are that no information on the project has been available for public review, time is of the essence, we need to get someone's attention.

**Brady: Motion:** I move we send this letter as an attachment to a letter from the CPA president that conveys our major concern that there is no information available to the public and we want to a review. (Brady/Little)

**Crisafi:** I will send a cover letter by email outlining our main concerns for the record, to make information available to the public and request community review so the neighborhood can provide input to DSD.

**Vote:** Unanimous, Chair abstains. **Motion carries.**

Final audience comment, **Phil Merten:** A California Supreme Court decision in 1924: regardless of what has happened in the past, when a project is built on a specific date it has to comply with rules and regulations on that date. That undermines everything you have heard from the City of SD ecause we all rely on previous approvals. That supreme court decision has not been changed since 1924.

XX. Adjourn at 7:58 pm. to next regular LJCPA Meeting: Thursday, February 6, 2020 at 6:00 pm.

## EXHIBIT A

The Honorable Kevin Faulkner  
Mayor of City of San Diego

Dear Mayor Faulkner:

The La Jolla Community Planning Association (LJCPA) is officially recognized to advise the City of San Diego on land use matters within the La Jolla Community Plan boundaries. Our duties include recommendations for improvements to the La Jolla Community Plan, as well as conformance of individual development projects with the Land Development Code, Community Plan and General Plan. In our small community, the LJCPA recognizes the impact of every new development on surrounding residents, and we are dedicated to scrupulously maintaining the standards of our Community Plan.

The LJCPA has recently become aware of two different situations that we believe violate the City's land use regulations as they apply in La Jolla Shores. As the CPA with responsibility for the area, we expected to be consulted before approvals were issued. However, in both cases, Staff has proceeded to approve intrusive and non-conforming developments on Lookout Drive without seeking advice about Community Plan conformance or community impacts from the LJCPA. We believe Staff has set a very adverse precedent with both these cases that must be reversed to protect the future of our La Jolla community.

Stale or Expired Permits. During the height of the building boom before 2008, tentative parcel maps, Coastal Development Permits and Site Development Permits were approved for many projects that were never built. Now that the home building industry has recovered, many developers are trying to revive permits after more than a decade of inactivity. In cases where a developer had already made a substantial financial investment in the property before halting work, Municipal Code §126.0108 allowed the permit to remain in suspension until the market rebounded so the expenditures would not be wasted. However, for smaller projects where LLA/PM recordation did not require a substantial financial investment, the City added a requirement to its CDPs: "Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City following all appeal. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted." This permit condition was intended to insure the approval would not remain in effect indefinitely unless the owner had commenced physical construction, at least without giving the City and CPA an opportunity to revisit the appropriateness of the development.

The LJCPA has been very concerned to learn that Staff has been treating LLA/PM and Coastal Development Permits as "vested" in direct violation of the CDP condition requiring physical construction. The proposed building permit at 7837 Lookout Drive is a poster child for this concern. LLA 107757, CDP 107758 and LLA/PM 107759 were approved in 2005, concurrently with CDP 104484 and SDP 104485. The CDP required commencement of "construction, grading or demolition" (i.e. physical alteration of the property) within 36 months. Instead, although the LLA/PM was recorded in 2008, the lots remained physically untouched for more than 14 years, until a building permit application was submitted in 2019 for new construction. Staff accepted the application because the LLA/PM had been recorded, without considering whether the CDP and related approvals had expired because of a total failure to comply with the physical construction condition. The LJCPA strongly objects to any interpretation of the Municipal Code or CDP condition that allows a site development plan to be suspended without any activity for more than a decade, and then modified without additional community review to ensure that it remains consistent with the PDO and LUP.

Substandard Lot Sizes. The La Jolla Planned Development Ordinance (PDO) sets minimum lots sizes as "the average dwelling unit density (units per acre) of the developed Single-Family Zone within 300 feet." On Lookout Drive, the average lot size exceeds 11,000 square feet. Therefore, the minimum lot size on Lookout Drive is 11,000 square feet under the PDO and 8,000 square feet under Local Coastal Program Land Use Plan (LUP). When reviewing a proposed development at 7727-7729 Lookout Drive, the LJCPA discovered the City had approved a lot line adjustment/parcel map (LLA/PM) containing lots of only 5,000 square feet in 1997. The LJCPA cannot explain why lots less than half the size required under the PDO were approved in violation of San Diego Municipal Code §102.0207, which prohibits approval of a LLM/PM unless all lots meet mandatory minimum lot sizes. In the case of the Lookout Drive LLA/PM #17817, more than half the lots were +/-5,000 square feet in a +11,000 square foot neighborhood. In the case of 7837 Lookout Drive, the City allowed recordation of LLA/PM 107759 in 2008 with only substandard lots, including a reduction in the square footage of one lot below its original size.

It is not too late for the City to correct its erroneous approval of these LLC/PM in La Jolla Shores. If they were approved without valid Coastal Development Permits, as seems likely, there is not statute of limitations because they were never effective in any event. The remedy for invalid LLA/PMs under Municipal Code 125.0710 is lot merger, which can be implemented any time after the City is notified of the original error. Building permits issued in reliance on expired or invalid CDPs are subject to immediate revocation, even after construction.

The LJCPA is disappointed that it has been unable to resolve these important and precedential issues with Staff. However, without further discussion and explanation, we believe these projects and any similar applications violate multiple City regulations in violation of San Diego Municipal Code §121.0308(a). The LJCPA therefore requests Mayor Faulkner to exercise his authority under Municipal Code §121.0308(b) to require rescission of the approvals in accordance with the Land Development Code.

Thank you for your attention to our commitment to protecting the La Jolla Community.





**City of San Diego**  
**Development Services**  
 1222 First Ave., MS 302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**FORM**  
**DS-318**

October 2017

**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance  
☒ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title:** CUVIER ST. TM / CDP **Project No. For City Use Only:** 641955

**Project Address:** 7315 CUVIER STREET & 614 SEA LANE

SAN DIEGO, CA 92037

**Specify Form of Ownership/Legal Status (please check):**

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: JOHN WALDICHUK ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: 4690 Leathers Street  
 City: San Diego State: CA Zip: 92117  
 Phone No.: (858) 405-3228 Fax No.: N/A Email: waldichuk@gmail.com  
 Signature: [Signature] Date: 1/14/19  
 Additional pages Attached: ☐ Yes ☐ No

**Applicant**

Name of Individual: \_\_\_\_\_ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).  
 Upon request, this information is available in alternative formats for persons with disabilities.



1. THIS IS AN APPLICATION FOR A TENTATIVE MAP WAIVER FOR CONDOMINIUM PURPOSES PURSUANT TO SECTION 125.0120(b)(2)(A) OF THE MUNICIPAL CODE.
2. THIS DEVELOPMENT PROPOSES SECOND STORY ADDITIONS WITH ROOF DECKS AND OTHER IMPROVEMENTS TO TWO EXISTING SINGLE-STORY UNITS.
3. ALL STREET IMPROVEMENTS AND UTILITIES ON CUIVER STREET AND SEA LANE ARE EXISTING, AND ARE ONLY TO BE REPLACED/RELOCATED AS INDICATED.
4. PROPOSED RESIDENTIAL CONDOMINIUM UNITS: 2
5. EXISTING NUMBER OF LOTS: 2, PROPOSED NUMBER OF LOTS: 1

NOTE: EASEMENTS ARE PER PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE CO. ORDER NO. 73719000726, DATED JANUARY 29, 2019. THE NUMBERS USED HEREON MATCH THOSE LISTED ON SAID PRELIMINARY TITLE REPORT.

#4) PRIVATE SEWER LATERAL EASEMENT GRANTED TO THE CITY OF SAN DIEGO, RECORDED ON MARCH 25, 1952 AS DOCUMENT 1952-37048 OF O.R. THE WESTERLY 4.0' OF THE EASTERLY 28.0' OF THE SOUTHERLY 45' OF LOT 5

INVERT ELEVATIONS SHOWN PER CITY OF SAN DIEGO DRAWING 16875-D ADJUSTED  
TO MSL PER NOTE ON PLAN.

UTILIZATION OF EXISTING SEWER LATERALS IS AT THE SOLE RISK AND RESPONSIBILITY OF THE DEVELOPER TO ENSURE THE LATERALS ARE FUNCTIONAL AND CONNECTED TO A PUBLIC SEWER FACILITY. PRIOR TO CONNECTING TO ANY EXISTING SEWER LATERAL, THE LATERAL SHALL BE INSPECTED USING A CLOSED-CIRCUIT TELEVISION (CCTV) BY A CALIFORNIA LICENSED PLUMBING CONTRACTOR TO VERIFY THE LATERAL IS IN GOOD WORKING CONDITION AND FREE OF ALL DEBRIS.

TMW-1	TENTATIVE MAP WAIVER
T-1.0	TITLE SHEET
T-1.1	TOPOGRAPHY SURVEY
T-1.2	SITE PHOTOS
T-1.3	PARCEL INFORMATION AND FIRE DEPT. NOTES
T-1.4	CAP CHECKLIST
A-0.1	DEMOLITION FIRST FLOOR PLAN - SOUTH BUILDING
A-0.2	DEMOLITION FIRST FLOOR PLAN - NORTH BUILDING
A-1.1	PROPOSED SITE PLAN
A-1.1	PROPOSED FIRST FLOOR PLAN - SOUTH BUILDING
A-1.2	PROPOSED SECOND FLOOR PLAN - SOUTH BUILDING
A-2.1	PROPOSED FIRST FLOOR PLAN - NORTH BUILDING
A-2.2	PROPOSED SECOND FLOOR PLAN - NORTH BUILDING
A-4.1	PROPOSED ROOF PLAN - SOUTH BUILDING
A-4.2	PROPOSED ROOF PLAN - NORTH BUILDING
A-5.1	PROPOSED SOUTH ELEVATION - SOUTH BUILDING
A-5.1.2	PROPOSED EAST ELEVATION - SOUTH BUILDING
A-5.2	PROPOSED NORTH ELEVATION - SOUTH BUILDING
A-5.2.1	PROPOSED WEST ELEVATION - SOUTH BUILDING
A-5.2.1	PROPOSED SOUTH ELEVATION - NORTH BUILDING
A-5.2.2	PROPOSED EAST ELEVATION - NORTH BUILDING
A-5.2.3	PROPOSED NORTH ELEVATION - NORTH BUILDING
A-5.2.4	PROPOSED WEST ELEVATION - NORTH BUILDING
A-6.1	PROPOSED BUILDING SECTION - SOUTH BUILDING
A-6.1.2	PROPOSED BUILDING SECTION - SOUTH BUILDING
A-6.2.1	PROPOSED BUILDING SECTION - NORTH BUILDING
A-6.2.2	PROPOSED BUILDING SECTION - NORTH BUILDING

PROJECT BOUNDARY  
EXISTING LOT LINE  
EXISTING SEWER  
EXISTING WATER  
EX. SURVEY MONUMENT, AS NOTED  
EXISTING WATER METER  
EXISTING STREET LIGHT  
EXISTING SPOT ELEVATIONS  
EXISTING STRUCTURE

1. PRESENT AND PROPOSED ZONING IS RM-1-1  
COMMUNITY PLAN: LA JOLLA  
OVERLAY ZONES: COASTAL HEIGHT LIMITATION  
APPEALABLE COASTAL CITY  
RESIDENTIAL TANDEM PARKING  
TRANSIT AREA  
PARKING IMPACT  
GEOLOGICAL HAZARD CATEGORY: 5.3
2. TOTAL LOT AREA: 5,845 SF = 0.13 ACRE
3. TOTAL NUMBER OF EXISTING LOTS = 2  
TOTAL NUMBER OF PROPOSED LOTS = 1
4. THIS PROJECT IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL UNITS IS 2.

TOTAL NUMBER OF PROPOSED UNITS:			
UNIT:	<u>7315</u>	<u>614</u>	<u>TOTAL</u>
FIRST FLOOR	1,167	1,167	2,334
SECOND FLOOR	993	867	1,860
DECKS	<752>	<366>	<1,118>
TOTAL GFA	2,160	2,034	4,194

<XXX> = NON-GFA PER MC

PURSUANT TO SECTION 142.0525 OF THE MUNICIPAL CODE THE PROJECT IS REQUIRED TO PROVIDE A MINIMUM OF 2 AUTOMOBILE SPACES.

AUTOMOBILE SPACES - TRANSIT AREA SDMC SECTION 142.0525			
TYPE	NO. OF UNITS	RATE	TOTAL
2 BEDROOMS	2	1	2

<u>GARAGE PARKING SPACES:</u>	<u>2 SPACES (1 PER DU)</u>
<u>TOTAL PARKING PROVIDED:</u>	<u>2 SPACES</u>

5. FACILITIES:  
WATER: CITY OF SAN DIEGO (UNDERGROUND)  
SEWER: CITY OF SAN DIEGO (UNDERGROUND)  
GAS & ELECTRIC: S.D.G.&E. (ELECTRIC-UNDERGROUND)  
FIRE AND POLICE PROTECTION: CITY OF SAN DIEGO  
CABLE T.V. TIME WARNER (UNDERGROUND)  
SCHOOLS: SAN DIEGO UNIFIED SCHOOL DISTRICT  
  
\*UNDERGROUND UTILITIES SHOWN HEREON ARE FROM AVAILABLE RECORDS.
6. GRADING:  
THERE IS GROUND DISTURBANCE ANTICIPATED WITH THE CONSTRUCTION OF THE PROPOSED 2ND STORY. HOWEVER, THE AMOUNT OF GRADING INVOLVED WOULD BE EXEMPT FROM A GRADING PERMIT.
7. DRAINAGE:  
NO CHANGES TO SITE DRAINAGE ARE PROPOSED WITH THIS APPLICATION.
8. ALL LENGTHS, DISTANCES, LOT DIMENSIONS, AND CURVE RADII ARE PER PS 1306
9. TOPOGRAPHY IS FROM SANGIS 2015 TOPO FIELD VERIFIED BY LEPPERT ENGINEERING CORPORATION ON 10 OCTOBER 2018
10. IMPROVEMENTS:  
EXISTING WATER METER AND SERVICE SHALL BE KILLED AND RELOCATED OUTSIDE OF THE DRIVEWAY APRON AND WINGS, AND THE TWO EXISTING DRIVEWAYS SERVING THE PROPERTY SHALL BE REPLACED WITH TWO NEW DRIVEWAYS AS SHOWN HEREON PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE PROPOSED ADDITION.

GRADED AREA: 0 AC	MAX CUT DEPTH: 0 FT
CUT QUANTITY: 0 CY	MAX CUT SLOPE RATIO: 2:1
FILL QUANTITY: 0 CY	MAX FILL DEPTH: 0 FT
IMPORT/EXPORT: 0 CY	MAX FILL SLOPE RATIO: 2:1

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE.

PORTION OF LOTS 4 AND 5 IN BLOCK 13 OF F.T. SCRIPPS  
ADDITION TO LA JOLLA PARK, IN THE CITY OF SAN DIEGO,  
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO  
MAP THEREOF NO. 897, FILED IN THE OFFICE OF THE COUNTY  
RECORDER OF SAN DIEGO COUNTY, JULY 22, 1903.

APN:  
351-024-11-00

JOHN WALDICHUK, SUCCESSOR TRUSTEE OF THE ANDREE  
WALDICHUK BYPASS TRUST CREATED DECEMBER 21, 2011.  
7315 CUIVER STREET  
LA JOLLA, CA 92037

7315 CUVIER STREET & 614 SEA LANE;  
LA JOLLA, CA 92037

TENTATIVE MAP WAIVER NO. - 2330612  
PROJECT TRACKING NO. - 641955

COASTAL DEVELOPMENT PERMIT, APPROVAL # 2329975

THE VERTICAL BENCHMARK FOR THIS SITE IS A BRASS PLUG ON THE TOP OF THE CURB AT THE SOUTHWEST RETURN OF THE INTERSECTION OF CUIVIER STREET AND MARINE STREET, BEING SAN DIEGO VERTICAL CONTROL BENCHMARK #2457 ELEVATION: 92.198 M.S.L.

THE BASIS OF BEARINGS FOR THIS MAP IS THE  $\odot$  OF SEA LANE  
PER PARCEL MAP 4151 I.E.: N74° 37' 02"E

6" A.C. WATER MAINS	7075-W
8" SEWER MAIN	16875-D

A LOT CONSOLIDATION PARCEL MAP WILL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE PARCEL MAP.

COMMUNITY PLAN:  
FROM LA JOLLA COMMUNITY PLAN AREA  
BASE ZONE:

- OVERLAY ZONES: COASTAL HEIGHT LIMITATION  
APPEALABLE COASTAL CITY  
RESIDENTIAL TANDEM PARKING  
TRANSIT AREA  
PARKING IMPACT  
GEOLOGICAL HAZARD CATEGORY: 53
- SETBACKS:
- FRONT YARD: STD. 20' MIN 15' (MAX. 50% OF BLDG  
ENVELOPE WIDTH)
- SIDEYARD: 5' LOT WIDTH LESS THAN 50'
- STREET SIDE: 10'
- REARYARD: 15'

LEPPERT ENGINEERING CORPORATION  
5190 GOVERNOR DRIVE, SUITE 205  
SAN DIEGO, CA 92122

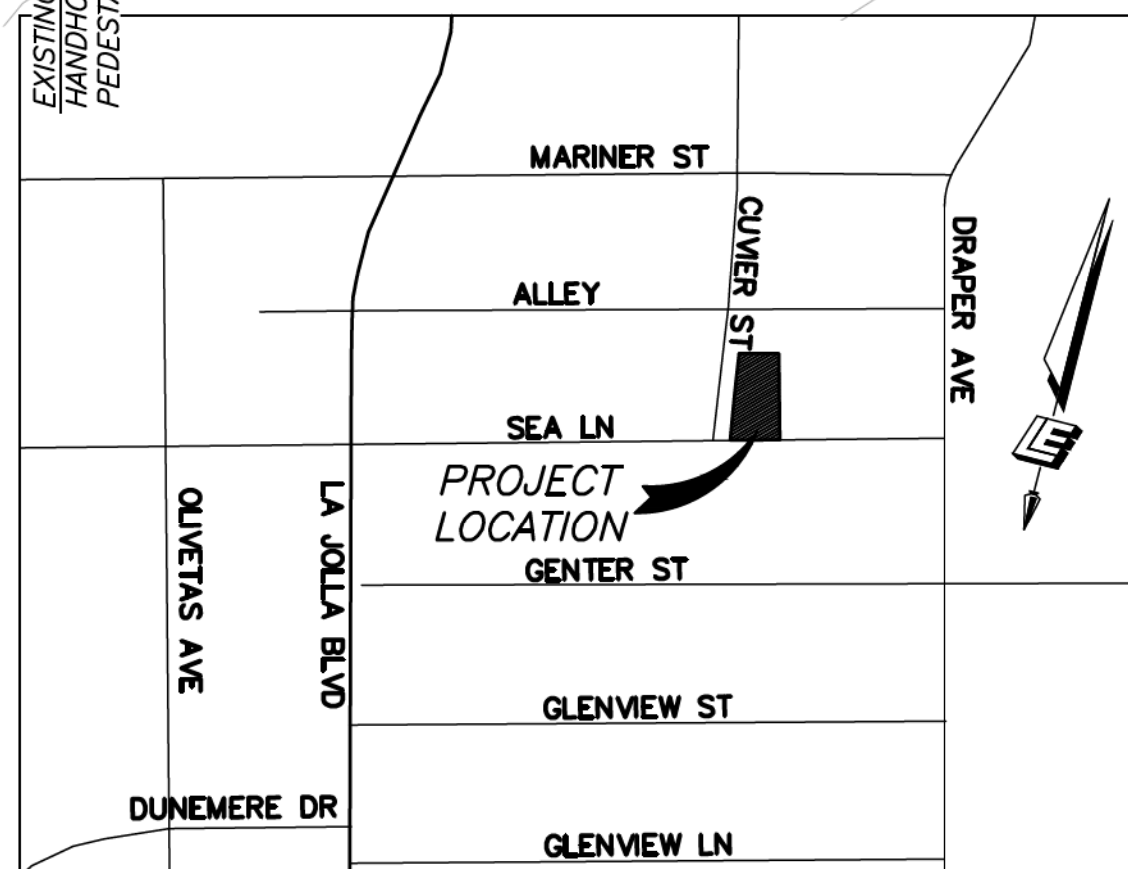
BY: [Signature] DATE: 03/06/20

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.

[illegible]

VICINITY MAP  
N.T.S.

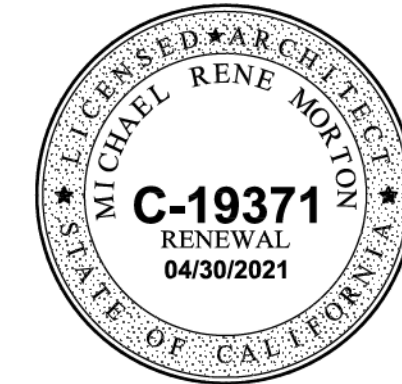






Marengo Morton Architects

7724 Girard Ave.  
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Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo DESA



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SEA LANE  
CUVIER CONDO  
7315 CUVIER ST. / 614 SEA LN.  
LA JOLLA, CA 92037

REVISIONS  
05/06/19 START OF FEASIBILITY  
06/01/19 START OF COASTAL PHASE  
06/28/19 COASTAL SUBMITTAL  
01/22/20 COASTAL RESUBMITTAL



PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: ASD

DATE: 01/22/2020

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties warrant that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signatures of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

SHEET TITLE  
TITLE SHEET

T-1

SEA LANE CUVIER CONDOS


7315 CUVIER ST. / 614 SEA LN.  
LA JOLLA, CA 92037

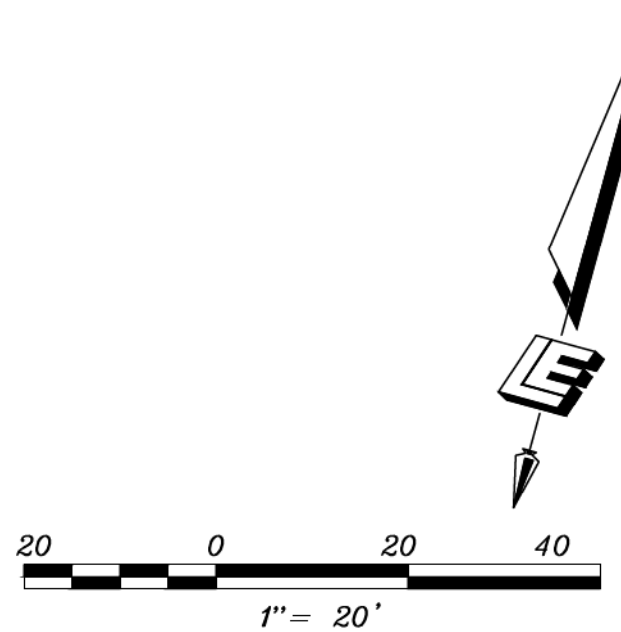


<p><b>STRUCTURAL NOTES</b></p> <p>1. PROP "D" HEIGHT LIMIT AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p> <p>2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO SHEETS A-5.1, A-5.2 FOR BUILDING HEIGHT DOCUMENTATION.</p>	<p><b>SPECIAL INSPECTION &amp; OFF-SITE FABRICATION</b></p> <p>SPECIAL INSPECTION: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>REFER TO SHEET S1A FOR "SPECIAL INSPECTION PROGRAM".</p> <p>1. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION. OFF-SITE FABRICATION: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>1. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.</p> <p>2. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.</p> <p>NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.</p> <p>NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.</p>	<p><b>VICINITY MAP</b></p>	<p><b>SCOPE OF WORK</b></p> <p>REQUEST OF A COASTAL DEVELOPMENT PERMIT AND TENTATIVE MAP FOR PROPOSED 2 UNITS THROUGH CONDOMINIUM MAPPING PROCESS.</p> <p>SECOND STORY ADDITION WITH ROOF DECK AND IMPROVEMENTS TO 2-EXISTING SINGLE STORY UNITS OVER GARAGE.</p>	<p><b>PROJECT DATA</b></p> <table><tr><td colspan="2">PROJECT INFORMATION</td></tr><tr><td>PROJECT ADDRESS:</td><td>7315 CUVIER ST. / 614 SEA LN. LA JOLLA, CA 92037</td></tr><tr><td>ASSESSORS PARCEL NUMBER:</td><td>351-024-11-00</td></tr><tr><td>LEGAL DESCRIPTION:</td><td>000897 BLK 13*LOTS 4 &amp; 5*POR*</td></tr><tr><td>YEAR BUILT</td><td></td></tr><tr><td>BUILDING CODE:</td><td>CALIFORNIA RESIDENTIAL CODE (CRC), 2016 EDITION &amp; ASSOCIATED AMENDMENTS IN SDMC. CALIFORNIA BLDG. CODE (CBC) BASED ON 2016 IBC. 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<p><b>DEFERRED SUBMITTALS</b></p> <p>Note: Plans for the deferred submittal shall be submitted in a timely manner that allows a minimum of 30 working days for initial plan review. All comments related to the deferred submittal must be addressed to the satisfaction of the Plan Check Division prior to approval of the submittal items. <i>LDM Vol. 1, Ch. 1, Sec. 2.</i></p>	<p><b>STRUCTURAL OBSERVATION</b></p> <p>STRUCTURAL OBSERVATION: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:</p> <p>1. REFER TO SHEET S1A FOR "STRUCTURAL OBSERVATION PROGRAM".</p> <p>STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, AS OUTLINED IN THE STRUCTURAL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.</p>	<p><b>PROJECT TEAM</b></p> <p><b>OWNER</b> MR. ANTHONY WALDICHUK 614 SEA LANE LA JOLLA, CA 92037</p> <p><b>ARCHITECT</b> MARENGO MORTON ARCHITECTS 7724 GIRARD AVENUE, SECOND FLOOR LA JOLLA, CA 92037 TELEPHONE: (858) 459-3769 FAX: (858) 459-3768 CONTACT: CLAUDE ANTHONY MARENGO cmarengo@san.rn.com CELL: (619) 417-1111</p> <p><b>CIVIL ENGINEER</b> LEPPERT ENGINEERING CORPORATION 5190 GOVERNOR DR., SUITE 205 SAN DIEGO, CA 92122 TELEPHONE: (858) 597-2001 CONTACT: MATT DEVINCENZO matti@leppertengineering.com</p>	<p><b>SHEET INDEX</b></p> <p>T-1.0 TITLE SHEET T-1.1 TOPOGRAPHY SURVEY T-1.2 SITE PHOTOS T-1.3 PARCEL INFORMATION AND FIRE DEPT. NOTES T-1.4 CAP CHECKLIST</p> <p>A-0.1 DEMOLITION FIRST FLOOR PLAN - SOUTH BUILDING A-0.2 DEMOLITION FIRST FLOOR PLAN - NORTH BUILDING A-1.1 PROPOSED SITE PLAN A-2.1.1 PROPOSED FIRST FLOOR PLAN - SOUTH BUILDING A-2.1.2 PROPOSED SECOND FLOOR PLAN - SOUTH BUILDING A-2.2.1 PROPOSED FIRST FLOOR PLAN - NORTH BUILDING A-2.2.2 PROPOSED SECOND FLOOR PLAN - NORTH BUILDING A-4.1.1 PROPOSED ROOF PLAN - SOUTH BUILDING A-4.2.1 PROPOSED ROOF PLAN - NORTH BUILDING A-5.1.1 PROPOSED SOUTH ELEVATION - SOUTH BUILDING A-5.1.2 PROPOSED EAST ELEVATION - SOUTH BUILDING A-5.1.3 PROPOSED NORTH ELEVATION - SOUTH BUILDING A-5.1.4 PROPOSED WEST ELEVATION - SOUTH BUILDING A-5.2.1 PROPOSED SOUTH ELEVATION - NORTH BUILDING A-5.2.2 PROPOSED EAST ELEVATION - NORTH BUILDING A-5.2.3 PROPOSED NORTH ELEVATION - NORTH BUILDING A-5.2.4 PROPOSED WEST ELEVATION - NORTH BUILDING A-6.1.1 PROPOSED BUILDING SECTION - SOUTH BUILDING A-6.2.1 PROPOSED BUILDING SECTION - SOUTH BUILDING A-6.2.2 PROPOSED BUILDING SECTION - NORTH BUILDING A-6.2.3 PROPOSED BUILDING SECTION - NORTH BUILDING A-6.2.4 PROPOSED BUILDING SECTION - NORTH BUILDING</p> <p>L-1.1 PROPOSED LANDSCAPE PLAN L-1.2 LANDSCAPE DEVELOPMENT PLAN</p>																																																																																																																																																											





6				12			
5				11			
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2				8			
1				7			
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
<div> <b>Leppert Engineering</b> CORPORATION 5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848 Phone: (619) 597-2001 Fax: (619) 597-2009</div>				APPROVED BY ENGINEER OF WORK FILE CODE <b>LJ 64.01-13.13</b> REGISTRATION R C E <b>26283</b> DATE			
				PREPARATION AND REVISION LOG			





S:\Projects\2019 Projects\2019-07 Sea Lane Cuvier Condo\CAD Drawings\Architectural\Design Phase\_CURRENT\Sheet-Sea Lane\T-1.2 PHOTOS.dwg Jun 27, 2019 9:40:50am



1 (E) SOUTH ELEVATION - SOUTH BLDG



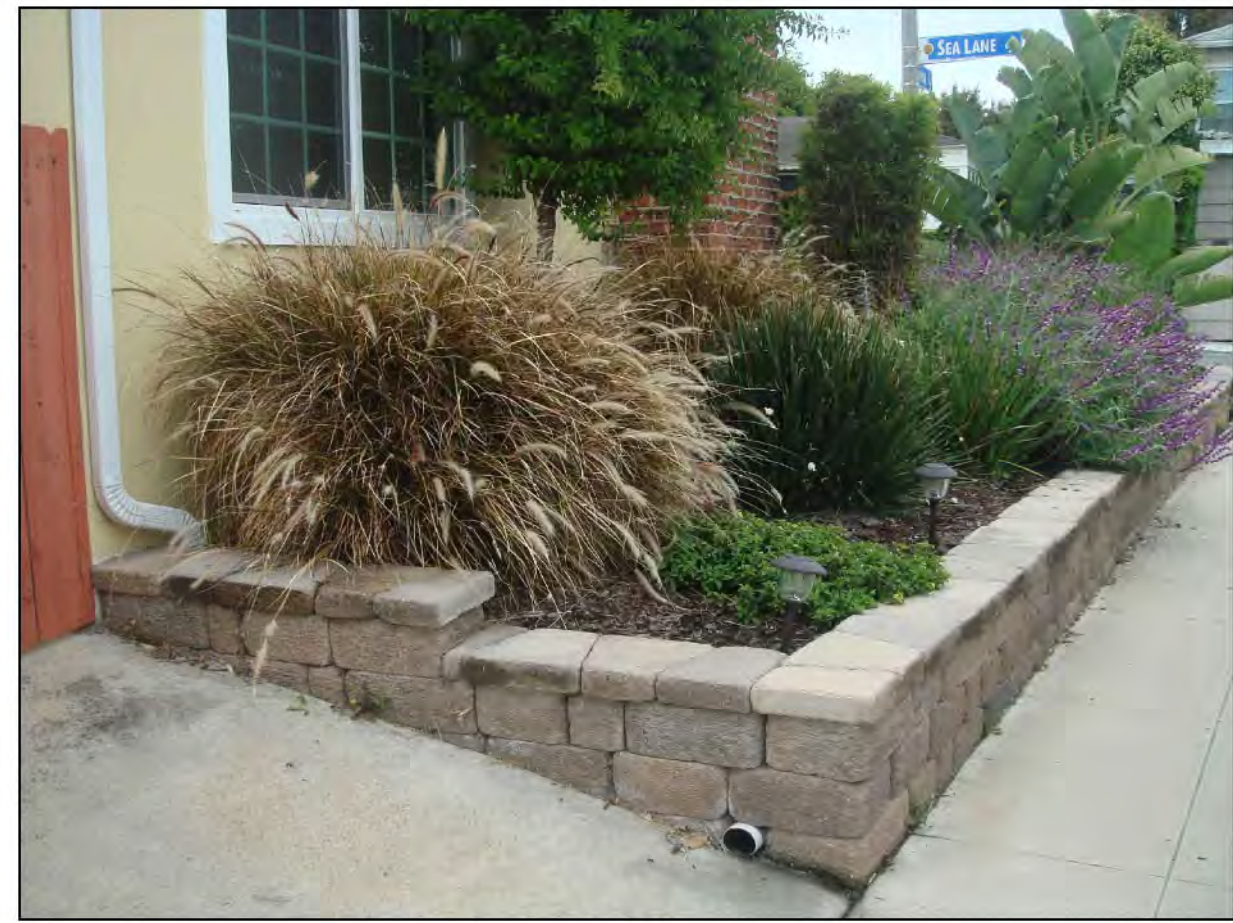
2 (E) WEST ELEVATION - NORTH BLDG



3 (E) WEST ELEVATION - SOUTH BLDG



4 (E) WEST ELEVATION - SOUTH BLDG



5 (E) PLANTER AT STREET SIDE



6 (E) NORTH ELEVATION - SOUTH BLDG



7 (E) EAST ELEVATION - SOUTH BLDG

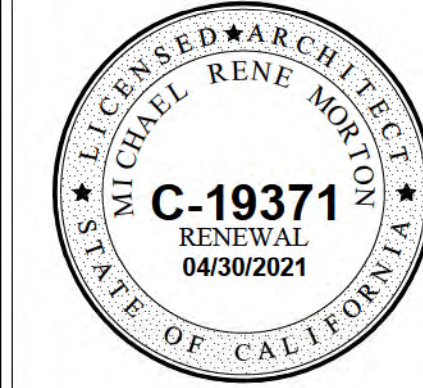


8 (E) PATIO BETWEEN BUILDINGS



**Marengo  
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Michael Morton AIA  
Claude Anthony Marengo Desa



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SEA LANE  
CUVIER CONDO  
7315 CUVIER ST. / 614 SEA LN.  
LA JOLLA, CA 92037

REVISIONS  
05/06/19 START OF FEASIBILITY  
06/01/19 START OF COASTAL PHASE  
06/28/19 COASTAL SUBMITTAL



PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: CS


DATE: 06/26/2019

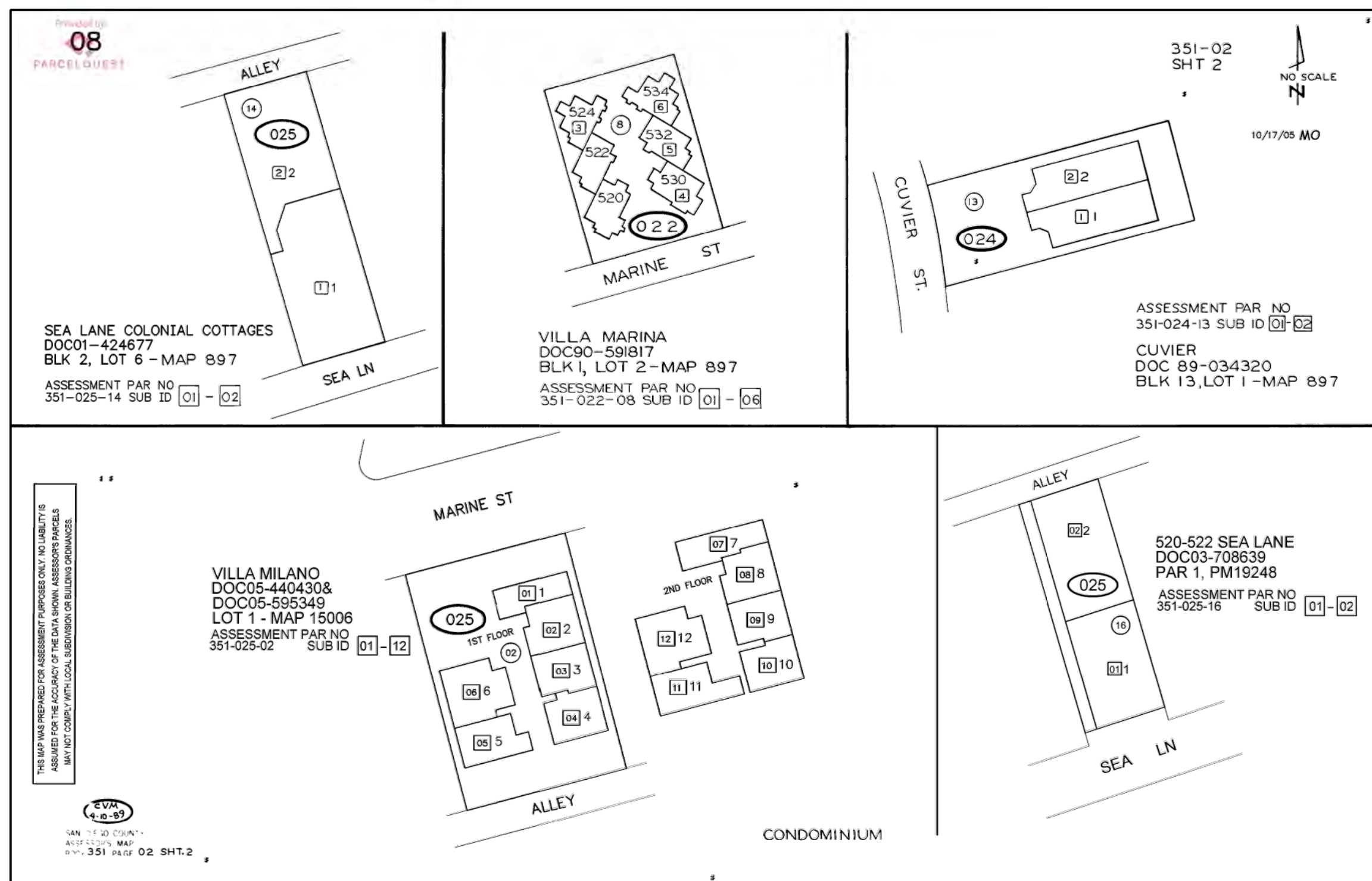
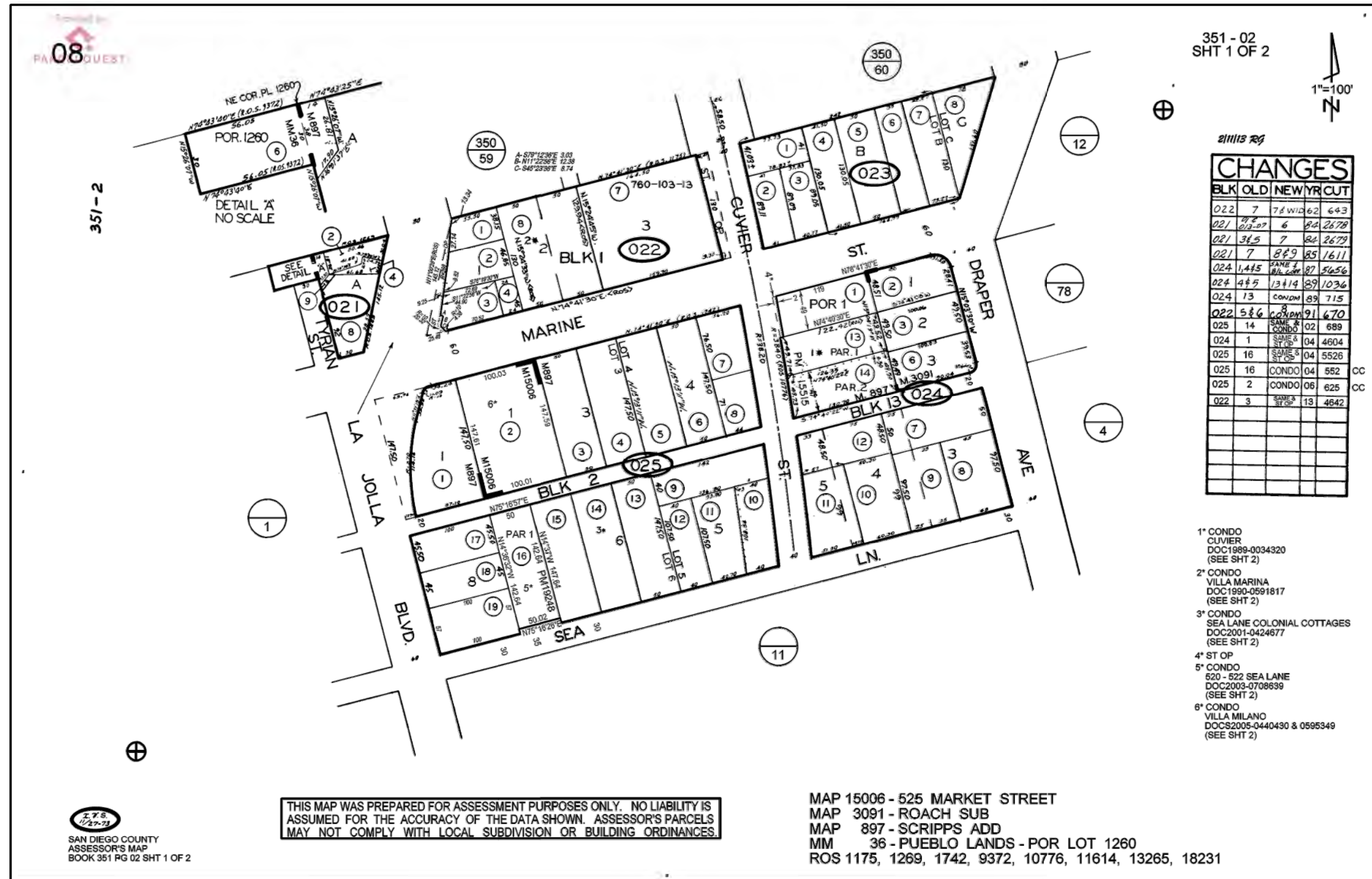
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SHEET TITLE  
EXISTING SITE  
AND BUILDING  
PHOTOS

T-1.2



 <b>City of San Diego</b> Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 448-5000		<b>FORM</b> <b>DS-302</b> February 2010
<h2 style="text-align: center;">Parcel Information</h2>		
<p>This Parcel Information is an important tool that will assist you in determining the City of San Diego's planning, zoning, and/or building regulations that apply to your project. Additional information is referenced in the Land Development Manual, Project, Submittal Requirements, Section 1 (Guide to Project Submittal Process). By evaluating this information <b>BEFORE</b> to designing your project, you can avoid mistakes early in the process, save time, and reduce processing costs. The information below can be obtained with staff assistance, at the self-help computer on the 3rd floor of the Development Services Center or by faxing the request to (619) 448-5050. <b>NOTE:</b> Project Submittal Requirements (Sections 2-4) require all completed information below to be on the plans.</p>		
Project Address: <b>7315 Cuvier Street, La Jolla CA 92037</b>	Assessor Parcel Number: <b>351-024-11-00</b>	
Base Zone: <b>T2M-1-</b>	Planned District (if Applicable):	
<b>Overlays</b> (check all that apply):		
<div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"> <input type="checkbox"/> Airport Approach  <input type="checkbox"/> Airport Influence Area (AIA)  <input type="checkbox"/> (CUPD) Facility-Deficient Neighborhoods  <input type="checkbox"/> Clearmont Mesa Height Limit  <input checked="" type="checkbox"/> Coastal Height Limit  <input checked="" type="checkbox"/> Coastal (City)  <input type="checkbox"/> Coastal (State)  <input type="checkbox"/> Community Plan Implementation (A)  <input type="checkbox"/> Community Plan Implementation (B)  <input type="checkbox"/> Fire Hazard Zones 300' Buffer  <input type="checkbox"/> Fire Hazard Severity Zone         </div> <div style="width: 50%;"> <input type="checkbox"/> First Public Road-Way  <input type="checkbox"/> Mission Trails Design District  <input type="checkbox"/> Mobilehome Park  <input checked="" type="checkbox"/> Parking Impact  <input type="checkbox"/> Prime Industrial Land  <input checked="" type="checkbox"/> Residential Tandem Parking  <input type="checkbox"/> Sensitive Coastal  <input checked="" type="checkbox"/> Transit Area  <input type="checkbox"/> Urban Village  <input type="checkbox"/> No Overlay Zones         </div> </div>		
<b>Environmentally Sensitive Lands:</b> Does the project site contain or is it adjacent to any site that contains any of the following Environmentally Sensitive Lands as identified in Municipal Code Section 113.0103?		
<div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Sensitive Biologic Resources  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Steep Hillside  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Coastal Beaches         </div> <div style="width: 50%;"> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Sensitive Coastal Bluffs  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 100-Year Floodplain         </div> </div>		
<b>Historic Districts:</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (If Yes) Name: _____ Designated Historic <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<b>Geologic Hazard Categories:</b> <u>S3</u> Earthquake Fault Buffer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Yes = Hazard Category 12)		
<b>Airports:</b> FAA Part 77 Notification Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (If Yes, see Information Bulletin 520, Federal Aviation Administration Notification and Evaluation Process)		
<small>Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a>. Upon request, this information is available in alternative formats for persons with disabilities. DS-302 (02-10)</small>		



## 2 PARCEL MAP

## FIRE DEPARTMENT NOTES

### GENERAL PLAN PROVISIONS

- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 14. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 26.
- Provide fire protection for the building during construction in accordance with California Title 19 and CFC, chapter 9.
- Building shall comply with the 1998 CFC Article 81 for high pile combustible stock.
- Storage, dispensing or use of any flammable or combustible liquids, flammable gases, and hazardous chemical shall comply with the California Fire Code regulations.
- BUILDING INTERIOR FIRE PROTECTION PROVISIONS**
  - Provide and install a minimum of one 2A 10BC classification fire extinguisher within 75' travel distance for each 3,000 sq. ft. or portion thereof on each floor. (U.F.C. ARTICLE 10, DIVISION III, U.F.C. STANDARDS 10-1 AND C.A.C. T-19 & 3.29). Mount handle a maximum of 40" Above Finish Floor (A.F.F.).
  - Doors in the means of egress system to be openable from the inside without the use of a key or any special knowledge or effort (CBC 1008.1.9). No dead bolts, surface bolts, sliding bolts, or other locking devices are permitted except as noted in (CBC 1008.1.8.1.8 AND U.F.C. 1207.3). At main entry doors provide a readily visible, durable sign on or adjacent to the door, stating, "This door must remain unlocked during business hours". Letters to be 1" high on a contrasting background and any locking device shall be readily distinguishable as locked.
  - Contractor to secure all permits required by the fire department from the fire prevention bureau prior to occupying this building.
  - Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.3 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative material shall be properly treated by the product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego.
  - All penetrations of fire resistive wall assemblies must be protected per (CBC Section 712).
  - Duct penetrations of fire rated floors, corridors, walls and ceilings shall use fire dampers per (CBC Section 909.10.4).
  - Maintain one hour fire resistive wall construction at built-in fixtures such as Fire Extinguisher cabinets, and electrical panels exceeding 16 sq. in. In area. (CBC Section 906.1)

### BUILDING EMERGENCY SIGNAGE PROVISIONS

- Exit signs and illumination (egress identification) shall be provided per (CBC Section 1011). Exit signs must be internally illuminated. The word "Exit" shall be in high contrast with their background as noted in this section. Provide two separate power sources for exit signs conforming to (U.F.C. SECTION 1211 and 1212; CBC Section 1011.5.3). Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connections shall not be concealed by curtains, mirrors, or other decorative material.
- Address identification shall be provided for all new and existing building in a location that is plainly visible and legible from the street or road fronting the property. where access is by way of a private road and the building address cannot be viewed from the publicway, an approved sign shall be used to identify the structure. Premises identification shall conform to Section 96.0209 of the San Diego Municipal Code and CBC 501.2.
- Key boxes shall be provided for all (high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking levels, doors giving access to alarm panels and/or annunciators, and any other) structures or areas where access to an area is restricted.

### BUILDING FIRE SUPPRESSION SYSTEM PROVISIONS

- This building (is / is not) equipped with an approved automatic sprinkler system.** Submit design -building plans for modification and upgrades indicating fire department approval to Architect/Owner prior to installations. Changes to accommodate field conditions shall be re-submitted for final approval with no additional charge to the Owner.
- Fire sprinkler heads shall be centered in ceiling tiles and soffits. Locate in center of soffit for all conditions unless noted otherwise. Align with centerline of window mullion or center head between mullions only. Center heads between light fixture and adjacent wall. Random or asymmetrical placement of sprinkler heads is not acceptable. Heads shall be recessed at soffit and areas were finished gypsum ceiling occur.
- Plans for all fixed fire protection equipment such as standpipes, sprinkler systems, site utilities (detector check, Fire Dept. Connection, etc.), and fire alarm systems must be submitted by the installing contractor to, and approved by, the Fire Prevention Bureau, owner's insurance organization, and architect before this equipment is installed.
- The installation of automatic sprinkler systems shall comply with the (CBC Section 901.2), for combined systems. Automatic fire sprinkler system shall be design-build.
- When serving more than 100 sprinklers, automatic sprinkler systems shall be supervised by an approved central, proprietary or remote station service for a local alarm, which will give an audible signal at a constantly attended location. (Approved by the Fire Department, U.F.C. SECTION 1003.3).
- It shall be the fire sprinkler contractor's responsibility to review the plans and provide fire sprinklers in all void spaces, canopy overhangs, etc. as required by the uniform fire code and local ordinances. Any access openings shall be coordinated and approved by general contractor and owner prior to installation. Fire stops must be provided in accordance with (CBC Section 717) in the following locations:
  - In concealed spaces of stud walls and partitions, including furred spaces, at 10 foot intervals along the length of the wall
  - In concealed spaces of stud walls and partitions, including furred spaces, at 10 foot intervals along the length of the wall
  - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceiling and covered ceilings.
  - In concealed spaces between stair stringers at the soffits, drop ceiling and covered ceilings and in line with the run of stairs if unfinished.
  - In openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels with non combustible materials.
- A fire sprinkler system, if required (as noted on SHEET #CS1), will be supplied and installed at contractor's sole cost and expense. System shall be installed in compliance with all codes, including local. Supply lines, valves, and pop-up heads, without drops, and any necessary temporary threaded galvanized plugs for installed drops and heads to all rooms and areas of the premises required by applicable codes. Monitoring devices, alarms, pulls, enunciator panels, visual and audio warning indicators, strobes, and any other required materials, system testing, inspection approval by the local fire inspector, and monitoring fees including telephone lines, if required, are the responsibility of the contractor.
- Life safety systems (i.e. smoke alarms and fire detection systems) are the responsibility of the landlord. Landlord is responsible for any monthly monitoring and associated fees.
- Emergency fire devices: where required by the Fire Department, (contractor to verify prior to bid) contractor shall provide design-build (including all city & fire dept. Approvals) visual emergency warning systems where audible emergency warning systems are required. This system shall be designed and installed in accordance with the (NFPA 72 AND 72G AS AMENDED IN CHAPTER 60, 6003 AND 6004).
- Accessibility requirements for emergency Fire Devices:
  - Install fire alarm pull devices and equipment @48" A.F.F. to center line or highest operable part.
  - If emergency warning systems are required, they shall include visual warning devices that are designed and installed per (NFPA 72 AND 72G AS AMENDED IN CHAPTER 35/60).
  - Place visual alarms at 80" A.F.F. to 6" below ceiling line (whichever is higher) in common use areas including lobbies, restrooms and hallways.
  - Visual alarms flash < 60 times per minute shall comply with state fire marshal standards when audible emergency warning systems are supplied.
  - Install visual alarms < 50'-0" apart in common use areas or max. 100'-0" apart when partitions/obstacles are < 72" A.F.F., in lieu of hanging them from the ceiling. (NFPA 72G)
  - Locate visual notification devices in common use areas i.e.: restrooms, music rooms, corridors, gymnasiums, rooms with excessive noise, multiple purpose rooms, occupational shops, lobbies, meeting rooms. (CBC Section 907.9.1.1).

### FIRE DEPARTMENT REQUIREMENTS

- Fire access roadway signs/red curbs shall be installed per FOPS policy (A-00-1. FIRE ACCESS ROADWAYS [U.F.C. 901.4.2])
- Fire hydrants shall comply with (FOPS F-00-1) for on-site fire hydrants.
- Fire hydrant locations shall be identified by the installation of reflective markers. [CFC 901.4.3]
- An approved access walkway leading from fire apparatus access roads to exterior openings required by fire or the building code shall be provided. Show walkway on the plans. [CFC 901.4.3]
- Fire apparatus access roads and water supplies for fire protection, shall be installed and made serviceable prior to and during time of construction. [CFC 1408,1410,1412,1413]
- In buildings four or more stories in height, standpipes shall be provided during construction when the height reaches 40 feet above the lowest level of fire department access. A fire department connection shall be no more than 100 feet from the available fire department vehicle access roadways. [CFC 1410,1413]
- Emergency plans shall be submitted to fire and life safety services, 1010 second Ave., Ste. 300, for review and approval to occupancy. See (FOPS E00-2 [CFC 1303.4.2, T., 19, SECT. 3.09])
- Decorative materials shall be maintained in a flame-retardant condition. [TITLE 19, SECT. 3.08, 3.21; CFC 804]
- REQUIREMENTS FOR PORTABLE FIRE EXTINGUISHERS:**
  - At least one 2-A-10-BC fire extinguisher shall be provided so that the travel distance from anywhere in the building does not exceed 75 feet to an extinguisher. Extinguishers shall be located along the normal path of travel and in a readily visible and accessible location, with the bottom of the extinguisher at least 4 inches above the floor
  - At least one fire extinguisher with a minimum rating of 4A20BC shall be provided outside of each mechanical, electrical or boiler room. [CFC 1002, U.F.C. STANDARD 10-1, TITLE 19, SEC. 3.29]
  - A sodium bicarbonate or potassium bicarbonate dry-chemical type portable fire extinguisher having a minimum rating of 10b shall be installed within 30 feet of commercial food heat-processing equipment. [CFC 1006.2.7]
  - During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable and combustible liquids are stored or used, and where other special hazards are present per CFC 1415.1
- FIRE EXTINGUISHING SYSTEMS:**
  - Complete plans and specifications for fire-extinguishing systems, including automatic sprinklers and standpipe systems and other fire extinguishing systems and related appurtenances shall be submitted to the City of San Diego for review and approval prior to installation. [CFC 901.2]
  - Locations and classifications of extinguishers shall be in accordance with CFC 906 and California Code of Regulations (CCR), Title 19
  - All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically monitored where the number of sprinklers is 20 or more [CBC 903.4]. Automatic fire sprinkler system(s) and all control valve, with the exception of those listed in CBC 903.4 shall be monitored by a UL listed central alarm station.
  - Approved automatic fire extinguishing systems shall be provided for the protection of commercial-type cooking equipment. Separate complete plans for these systems shall be submitted to fire and life safety for review and approval to installation. [CFC 1006.2.1]
- FIRE ALARM SYSTEMS**
  - Complete plans and specifications for fire alarm systems shall be submitted to the City of San Diego Development Services for review and approval prior to installation. [CFC 907.1.1]
  - Fire alarm systems shall be installed in accordance with CBC 907.6
  - One approved audible device must be connected to every automatic sprinkler system in an approved location on the exterior of the structure CBC 903.4.2
- Complete plans and specification for the operation of elevators shall be submitted to fire and life safety for review and approval prior to installation. [CBC Sec. 3001.1]
- Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308
- The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths.
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated [CFC 304.3]

Rev. 1-21-2013

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**SEA LANE CUVIER CONDO**  
 7315 CUVIER ST. / 614 SEA LN.  
 LA JOLLA, CA 92037

REVISIONS  
 05/06/19 START OF FEASIBILITY  
 06/01/19 START OF COASTAL PHASE  
 06/28/19 COASTAL SUBMITTAL  
 01/22/20 COASTAL RESUBMITTAL



PHASE: **COASTAL PHASE**

PROJECT NO. **2019-07**

REVIEWED BY: **CAM**

DRAWN BY: **ASD**

DATE: **01/22/2020**

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SHEET TITLE  
**PARCEL INFORMATION AND FIRE DEPT NOTES**

# T-1.3









Marengo Morton Architects

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La Jolla, CA 92037  
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Claude Anthony Marengo DESA



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SEA LANE  
CUIVIER CONDO  
7315 CUIVIER ST. / 614 SEA LN.  
LA JOLLA, CA 92037

REVISIONS	
05/06/19	START OF FEASIBILITY
06/01/19	START OF COASTAL PHASE
06/28/19	COASTAL SUBMITTAL



PHASE:	COASTAL PHASE
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PROJECT NO.	2019-07
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REVIEWED BY:	CAM
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DRAWN BY:	CS
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DATE:	06/26/2019
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SHEET TITLE  
FIRST FLOOR  
DEMO PLAN  
SOUTH BUILDING  
A-0.1

South Bldg. First Level Perimeter Calculation Worksheet

Project Name		Sea Lane Cuvier Condos			
Project Address		7315 Cuvier St La Jolla, CA 92037			
Existing Residence Perimeter Lengths					
Direction Existing Wall Faces	Existing Length	Length Remaining	Length Removed		
A- North	48.08 LF	48.08 LF	0.00 LF		
B- South	48.08 LF	44.75 LF	3.33 LF		
C- East	24.31 LF	24.31 LF	0.00 LF		
D- West	25.81 LF	25.81 LF	0.00 LF		
Total Exist. Main Level Perimeter Length	146.28 LF	142.95 LF	3.33 LF		
		73.14	69.81	LF above 50%	
Existing Perimeter Wall Remaining		142.95 LF			
Total Existing Building Perimeter Length		146.28 LF			
98% Percentage of Existing Perimeter Wall Which Remains (50% of existing wall must remain to qualify for coastal exemption)					

DEMOLITION LEGEND

- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- INDICATES DIMENSION OF EXISTING WALLS THAT REMAIN IN PLACE
- INDICATES DIMENSION OF EXISTING WALLS TO BE REMOVED
- REMOVED WINDOW
- REMOVED DOOR

DEMOLITION KEYNOTES

- DEMO EXISTING WALL AS SHOWN
- REMOVE EXISTING DOOR/WINDOW
- EXISTING RAILING TO BE REMOVED
- REMOVE PLUMBING FIXTURES
- EXISTING STAIRS TO REMAIN

DEMOLITION NOTES

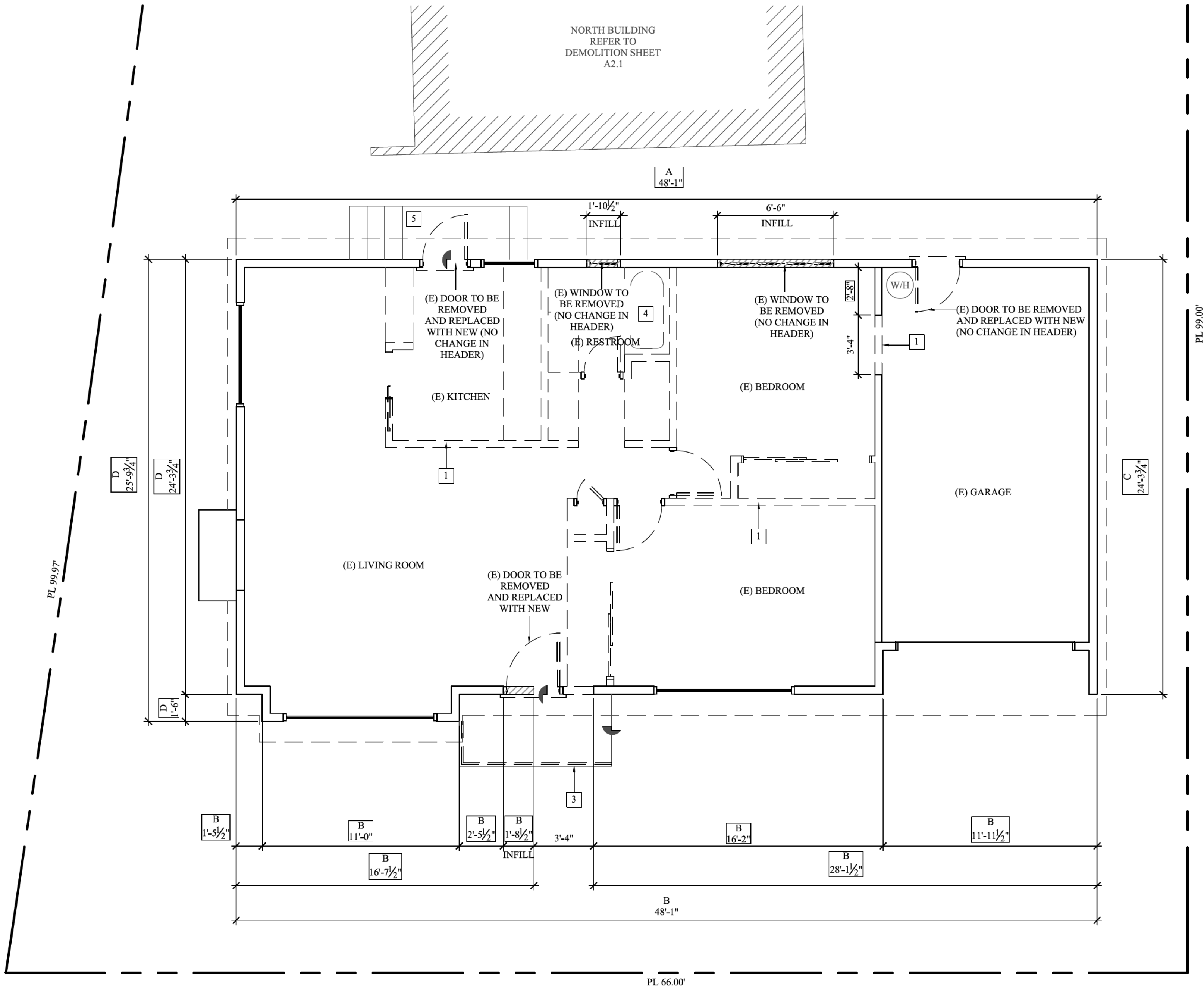
- ARCHITECT SHALL BE NOTIFIED IMMEDIATELY WHEN ANY DISCREPANCY WITH ARCHITECTURAL OR STRUCTURAL DRAWINGS ARE FOUND AT THE PROJECT SITE. ALL DRAWINGS MAY HAVE TO BE MODIFIED UPON REMOVAL OF EXISTING CONSTRUCTION. DO NOT PROCEED WITH WORK IN QUESTION UNTIL THE ARCHITECT ISSUES DIRECTIONS.
- CONTRACTOR SHALL VERIFY LAYOUT OF EXISTING STRUCTURE, PROPERTY BOUNDARIES, LOCATION OF SITE UTILITIES - UNDERGROUND AND OVERHEAD, AND FIELD CONDITIONS AS SHOWN ON THE PLANS PRIOR TO DEMOLITION.
- BEFORE START OF DEMOLITION CONTRACTOR SHALL VERIFY WITH THE OWNER ANY ITEM TO BE SAVED (S), COVERED, OR STORED, VERIFY STORAGE LOCATIONS WITH OWNER BEFORE DEMOLITION COMMENCES.
- ANY OUTDOOR STRUCTURES OR LANDSCAPING MARKED TO BE SAVED, SHALL BE PROTECTED, FENCED AND/OR COVERED TO AVOID DAMAGE. ALL DEMOLITION MATERIAL SHALL BE TRANSPORTED OFF SITE AND PROPERLY DISPOSED AT CITY-APPROVED LOCATIONS BY THE CONTRACTOR.
- CONTRACTOR TO VERIFY DUMPSTER LOCATION WITH ARCHITECT BEFORE DEMOLITION COMMENCES.
- CONTRACTOR SHALL ALSO REFER TO FLOOR PLANS AND OTHER CONSTRUCTION PLANS FOR NEW WORK TO BE INCORPORATED INTO THE PROJECT AND TO PROCEED WITH DEMOLITION ACCORDINGLY.
- CAREFULLY REMOVE STRUCTURE AS SHOWN ON PLAN. REMOVE ALL MATERIALS CAREFULLY TO AVOID DAMAGE TO ADJACENT SURFACES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IF ANY OF THE EXPOSED WOOD SHOW EVIDENCE OF ACTIVE WATER LEAKS, TERMITES OR DRY ROT. PREPARE EXISTING WINDOW FRAMING OPENINGS (TO REMAIN) TO RECEIVE NEW WINDOW UNITS. SEE NEW FLOOR PLAN AND ELEVATIONS FOR NEW WINDOW SIZE.
- WHEN DEMOLITION IS COMPLETE, THE STRUCTURE AND SITE SHALL BE BROOM CLEAN AND READY TO RECEIVE NEW WORK.
- REMOVE ALL EXISTING LANDSCAPE AND TREE ROOTS WITH IN 3 FEET OF THE OUTLINE OF NEW STRUCTURE. IF THE REMOVAL OF TREE ROOTS PRODUCES POTENTIALLY UNSTABLE TREES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT A TREE SPECIALIST TO MAKE A RECOMMENDATION.
- DEMOLITION OF OPENINGS IN ROOF AND EXTERIOR WALLS SHALL BE COVERED EACH NIGHT WITH PLASTIC TARPS AND SECURED TO PREVENT WATER AND DUST FROM ENTERING THE BUILDING.
- EXISTING FLOORS SHALL BE COVERED DURING CONSTRUCTION. OPENINGS SHALL BE TAPED AND SEALED TO WALLS AT EDGES OF CONSTRUCTION ZONE TO MINIMIZE DUST. TEMPORARY WALL SHALL BE BUILT AND SEALED AS IF NEEDED OR SHOWN ON PLANS.
- SHOULD ANY PORTION OF THE STRUCTURE BEING REMOVED PRODUCE UNSTABLE OF UNSAFE CONDITIONS THE CONTRACTOR SHALL PROVIDE SHORING AND BRACING.
- EXISTING FAU & WATER HEATER SHALL BE TURNED OFF AND SALVAGED UNITS REMOVED AND STORED FOR RE-USE. EXISTING NATURAL GAS SERVICE SHALL BE TURNED OFF AND LINES TEMPORARILY CAPED AT RESIDENCE.
- ELECTRICAL SERVICE SHALL BE TURNED OFF AT RESIDENCE AND PROVISIONS FOR TEMPORARY POWER MADE DURING CONSTRUCTION.
- PLEASE BE ADVISED THIS IS A REMODEL PROJECT. CONCEALED CONDITIONS OF ALL TYPES SHALL BE TAKEN INTO ACCOUNT AND/OR VERIFIED PRIOR TO COMPLETION OF FINAL PROJECT BID.
- CONTRACTOR SHALL VERIFY IN THE FIELD THE CONDITION OF ALL FOUNDATIONS, STEM WALLS, SILL ATTACHMENTS, PIER-FOOTING CONDITIONS AND ATTACHMENT TO FRAMING. DEFICIENCIES, CRACKS OR OTHER STRUCTURAL ISSUES IN FOUNDATIONS OR FOOTINGS OR LACK THEREOF SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- EXISTING FRAMING AND FLOOR SURFACES MAY BE OUT OF PLUMB AND NOT LEVEL. THEY SHALL BE INSPECTED AND MADE PLUMB AND LEVELED UPON NOTIFICATION TO THE ARCHITECT AND A WRITTEN APPROVAL HAS BEEN DOCUMENTED. WOOD FRAMING ADJACENT TO SOIL MAY BE ENCOUNTERED AND MODIFICATIONS AND/OR PROTECTION MEASURES SHALL BE TAKEN.
- ELEVATION CHANGES BETWEEN DOOR OPENINGS AND ADJACENT GRADE SHALL BE VERIFIED IN THE FIELD AND IF DISCREPANCIES EXIST BETWEEN FIELD CONDITIONS AND PLANS EXIST, NOTIFY THE ARCHITECT TO MAKE MODIFICATIONS AND/OR OTHER CORRECTIVE MEASURES.
- IF SOILS REPORT OR SURVEY NOT INCLUDED WITH THIS SET OF DOCUMENTS, THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES, MODIFICATIONS, ORDERED REPORTS OR SURVEY OR OTHER ADDITIONAL ISSUES CAUSED BY LACK OF INFORMATION FROM THOSE DOCUMENTS.

COASTAL PROJECTS ADDITIONAL NOTES

- THIS IS A COASTAL PROJECT. NO EXTERIOR WALLS SHALL BE DEMOLISHED OTHER THAN THOSE SPECIFIED ON THE DEMOLITION SHEET WITHOUT PRIOR WRITTEN INSTRUCTION FROM ARCHITECT.
- IT IS THE GENERAL CONTRACTORS SOLE RESPONSIBILITY THAT ALL EXISTING WALL SHOWN TO REMAIN SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES DURING THE PROJECT CONSTRUCTION.

DEMOLITION NOTES FOR COASTAL EXEMPTION

- AT LEAST 50% OF THE EXISTING EXTERIOR WALLS (FROM THE FOUNDATION TO THE TOP PLATE) OF THE PRINCIPAL HABITABLE FLOOR MUST BE LEFT STANDING AND IN PLACE THROUGHOUT CONSTRUCTION AND INCORPORATED INTO THE COMPLETED STRUCTURE.
- THE WALL MUST CONTINUE TO BE USED AS EXTERIOR WALLS IN THE COMPLETED PROJECT (MAY NOT BE USED AS INTERIOR WALLS OR USED IN A "DOUBLE WALL" CONFIGURATION WITH ANY NEW WALL).
- ANY DOOR OR WINDOW LOCATED WITHIN A SEGMENT OF THE WALL WHICH IS COUNTED TOWARD THE LENGTH OF AN EXISTING EXTERIOR WALL TO BE LEFT STANDING (AT LEAST 50%) CANNOT HAVE THEIR LOCATION OR SIZE MODIFIED.
- THE SURFACE OF THE WALL CAN BE MODIFIED OR REMOVED DOWN TO THE STUDS BUT WITH BOTH THE TOP AND BOTTOM PLATES IN PLACE. REMOVAL OF THE STUD WALLS, EVEN ON A TEMPORARY BASIS DOES NOT MEET EXEMPTION CRITERIA (FOR COASTAL EXEMPTION) AND IS NOT TO BE DONE.
- WALLS, WHICH ARE DESIGNATED TO REMAIN, CANNOT BE REPLACED, HEIGHTENED OR RELOCATED FOR ANY REASON, INCLUDING REASONS OF STRUCTURAL INTEGRITY (DRY ROT, TERMITES).
- REINFORCEMENT IN THE FORM OF SISTERING MEMBERS (STUDS AND PLATES) IS PERMITTED AS LONG AS THEY DO NOT INTERRUPT THE ASSEMBLY OF TOP PLATE STUDS AND SLATE STUDS.
- PENETRATION THROUGH TOP PLATE IS PERMITTED - ONLY THE WIDTH OF THE ACTUAL CUT WILL BE INCLUDED IN THE CALCULATION (E.G. ONLY ACTUAL WIDTH OF A 2X4 OR A 4X4 GOING THROUGH THE TOP PLATE WILL DEDUCT THAT AMOUNT).
- CRIPPLE WALLS ARE PERMITTED (PLACING A NEW BOTTOM PLATE ON AN EXISTING TOP PLATE TOGETHER WITH NEW STUDS AND A NEW TOP PLATE FOR THE PURPOSES OF INCREASING FLOOR TO CEILING HEIGHT).
- FOUNDATION REPLACEMENT IS ACCEPTABLE ONLY IF EXISTING WALLS CAN BE PROPERLY SUPPORTED IN THEIR PRE-EXISTING POSITION DURING REPLACEMENT OR REPAIR.
- A WINDOW MAY BE REPLACED OR MAY BE REDUCED IN AREA OR DIMENSION OR MAY BE COVERED OVER (FILLED IN) PROVIDED THAT THE EXISTING STUDS AND HEADERS ARE RETAINED IN THEIR ORIGINAL POSITION.
- REINFORCEMENT IN THE FORM OF FURRING IS PERMITTED FOR SINGLE WALL CONSTRUCTION ONLY IF IT IS DONE IN SUCH A MANNER THAT THE WALL IS NOT EXTENDED OUTWARD. ALL FURRING IS TO THE INTERIOR & VERIFIED BY THE ARCHITECT.
- THERE SHALL BE NO SIGNIFICANT ALTERATION OF LAND FORMS INCLUDING REMOVAL OR PLACEMENT OF VEGETATION, ON A BEACH, WETLAND OR SAND DUNE, OR WITHIN 100 FEET OF THE EDGE OF A COASTAL BLUFF WITHOUT FIRST OBTAINING APPROVAL FROM THE GOVERNING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

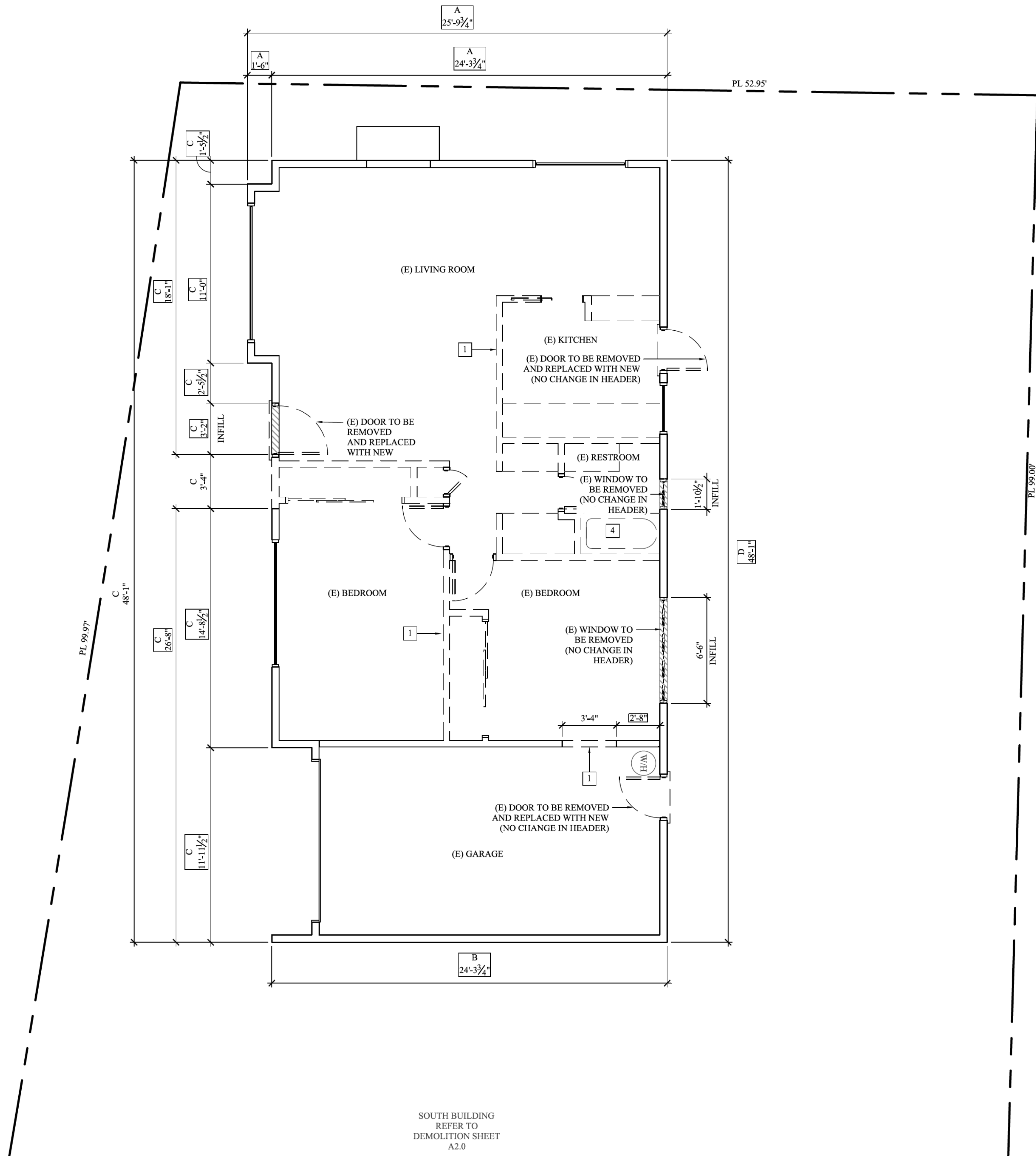


1 FIRST FLOOR DEMOLITION PLAN - SOUTH BUILDING



S:\Projects\2019\Projects\2019-04-01 Sea Lane Cuvier Condo\Drawings\Architectural\Coastal\Phase CURRENT\Sheets\A-0.1-A-0.2-DEMOL PLAN.dwg Jan 27/2020 1:59pm

1 FIRST FLOOR DEMOLITION PLAN - NORTH BUILDING



North Bldg. First Level Perimeter Calculation Worksheet					
Project Name		Sea Lane Cuvier Condos			
Project Address		7315 Cuvier St / 614 Sea Ln La Jolla, CA 92037			
Existing Residence Perimeter Lengths					
Direction Existing Wall Faces	Existing Length	Length Remaining		Length Removed	
A- North	25.81	LF	25.81	LF	0.00
B- South	24.31	LF	24.31	LF	0.00
C- East	48.08	LF	48.08	LF	0.00
D- West	48.08	LF	44.75	LF	3.33
Total Exist. Main Level Perimeter Length	146.28	LF	142.95	LF	3.33
	71.14		69.81		LF above 30"
Existing Perimeter Wall Remaining	142.95	LF			
Total Existing Building Perimeter Length	146.28	LF			
98% Percentage of Existing Perimeter Wall Which Remains (50% of existing wall must remain to qualify for coastal exemption)					

DEMOLITION LEGEND

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Marengo Morton Architects

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Tel. (858) 459-3769  
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Michael Morton AIA  
Claude Anthony Marengo DESA



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SEA LANE  
CUVIER CONDO  
7315 CUVIER ST. / 614 SEA LN.  
LA JOLLA, CA 92037

REVISIONS  
05/06/19 START OF FEASIBILITY  
06/01/19 START OF COASTAL PHASE  
06/28/19 COASTAL SUBMITTAL



PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: CS

DATE: 06/26/2019

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties acknowledge that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signatures of the Architect of Record are the Architect's Instruments of Service and are the only true and correct documents of record.

SHEET TITLE  
FIRST FLOOR  
DEMO PLAN  
NORTH BUILDING  
A-0.2





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REVISIONS
05/06/19 START OF FEASIBILITY
06/01/19 START OF COASTAL PHASE
06/28/19 COASTAL SUBMITTAL
01/22/20 COASTAL RESUBMITTAL



PHASE:	COASTAL PHASE
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PROJECT NO.	2019-07
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REVIEWED BY:	CAM
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DRAWN BY:	MS
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DATE:	03/12/2020
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SHEET TITLE
PROPOSED SITE PLAN

A-1.1

GENERAL SITE NOTES

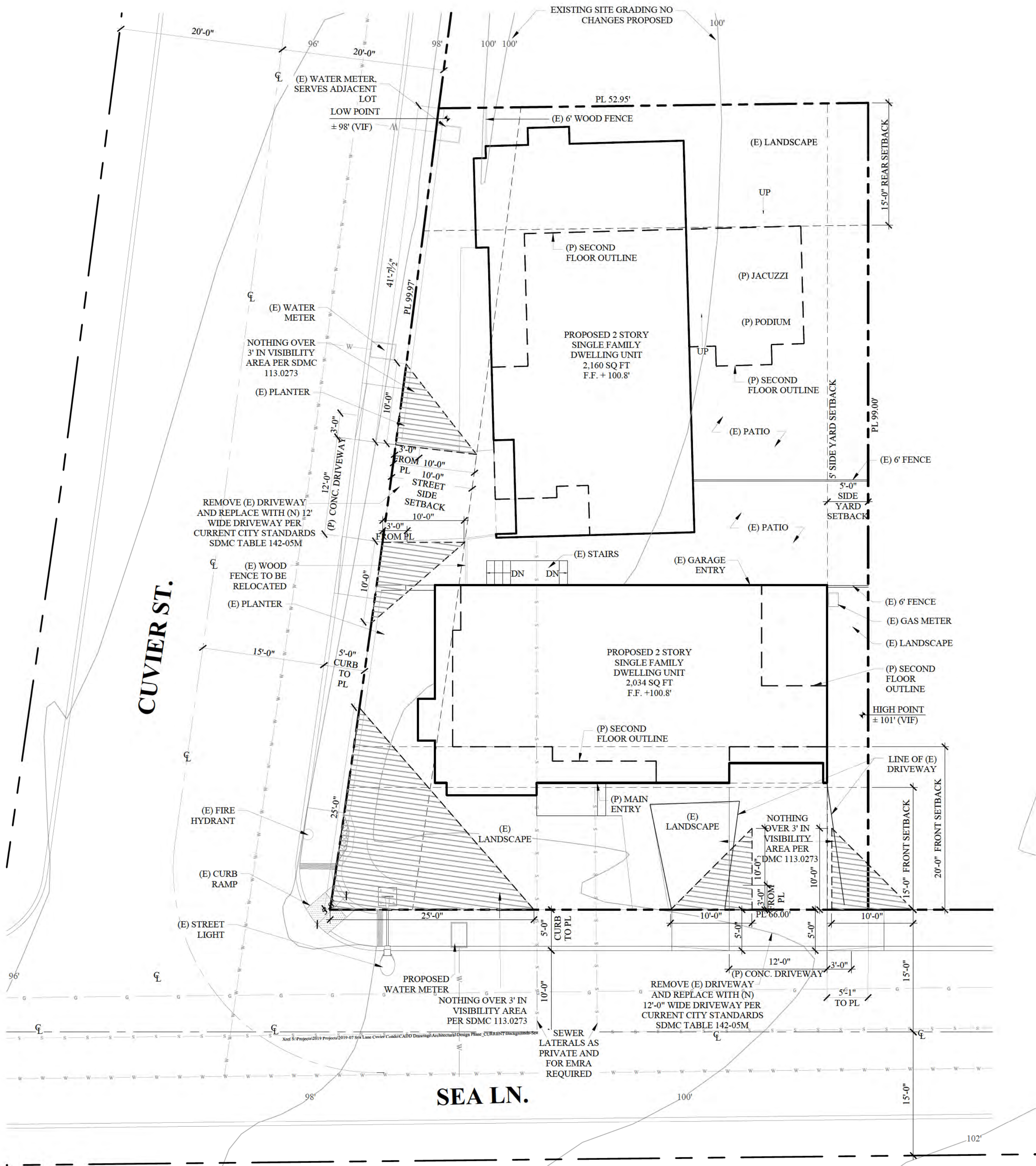
- THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
- THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT'S OFFICE.
- PROTECT AND MARK ALL EXISTING BUILDING STRUCTURE INCLUDING WALLS, BEAMS, COLUMNS, AREA SEPARATION WALLS, AND OTHER ITEMS THAT ARE PART OF THE EXISTING STRUCTURE AND NOT PART OF THE SCOPE OF THE PROJECT, AND MARK PERIMETER OF CONSTRUCTION ZONE.
- COORDINATE WITH OTHER TENANTS THE TEMPORARY SHUT-OFF OF ANY SITE UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL SERVICE, GAS SERVICE, WATER SERVICE, SEWER SERVICE, TELEPHONE SERVICE, CABLE OR OTHER DATA LINKS WITH ARE CONNECTED TO THE BUILDING.
- LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY IN ACCORDANCE WITH LOCAL JURISDICTION'S REQUIREMENTS.
- VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS, WHICH WILL NOT BE CHANGED, SO THAT ANY ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

SITE LEGEND

- EXISTING FIRST LEVEL
- PROPOSED SECOND LEVEL
- PROPERTY LINE
- SETBACK

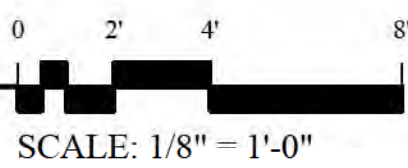
NOTE:

THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT



1

PROPOSED SITE PLAN

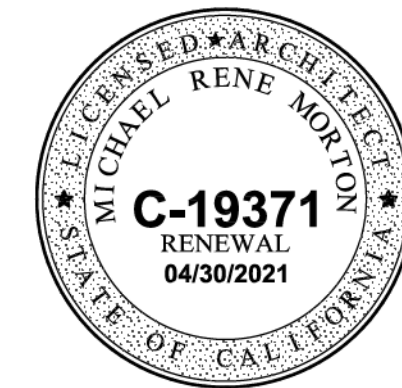






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Claude Anthony Marengo DESA



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SEA LANE  
CUVIER CONDO  
7315 CUVIER ST. / 614 SEA LN.  
LA JOLLA, CA 92037

REVISIONS  
05/06/19 START OF FEASIBILITY  
06/01/19 START OF COASTAL PHASE  
06/28/19 COASTAL SUBMITTAL  
01/22/20 COASTAL RESUBMITTAL



PHASE: COASTAL  
PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: AD

DATE: 01/22/2020

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SHEET TITLE

PROPOSED  
SECOND FLOOR PLAN  
SOUTH BUILDING PLAN

A-2.1.2

FLOOR PLAN LEGEND

- 2 X 4 EXISTING INTERIOR WALL - GYP. EACH SIDE
- 2 X 6 EXISTING EXTERIOR WALL - GYP., STUCCO EXTERIOR
- EXISTING 8" THICK CMU WALL
- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
- NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
- ONE HOUR CONSTRUCTION  
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE.
- NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
- NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
- SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
- PROPOSED EXTERIOR LIGHTING

NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED

4 1/2" U.O.N.

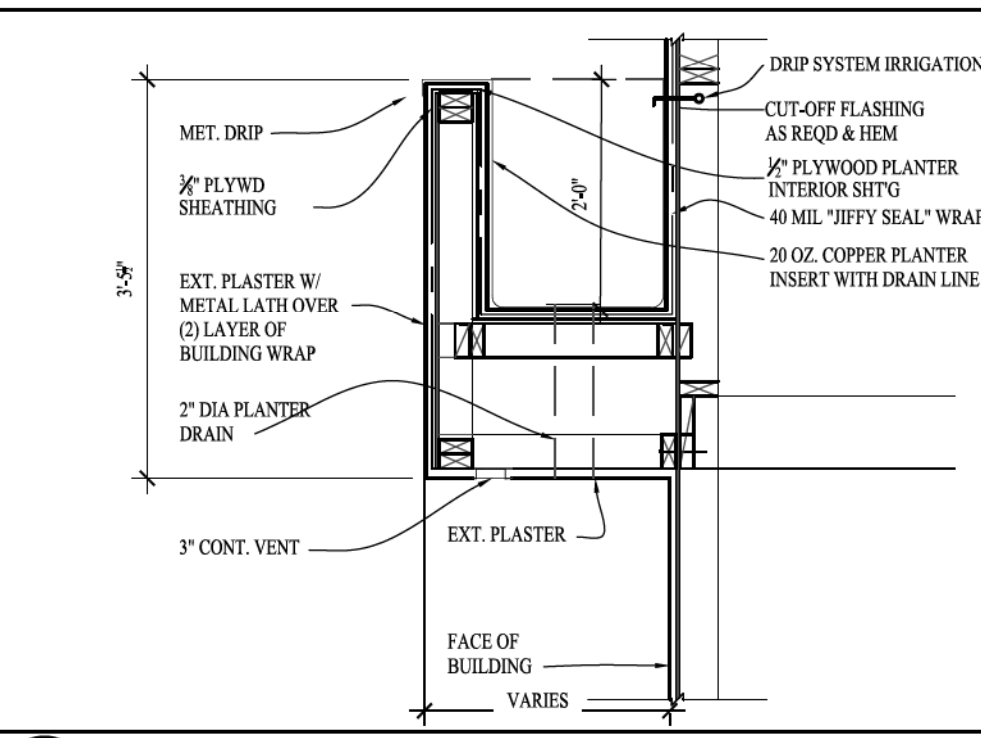
4 1/2" U.O.N.

- EXISTING STRUCTURE DIMENSION
- PROPOSED STRUCTURE DIMENSION

NEW EXTERIOR WALL DIMENSIONS TO FACE OF STUD.  
NEW INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.  
EXISTING EXTERIOR WALL DIMENSIONS TO FACE OF FINISH.  
EXISTING INTERIOR WALL DIMENSIONS TO FACE OF FINISH.  
FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

PLANT LEGEND

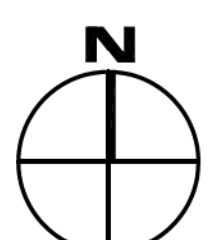
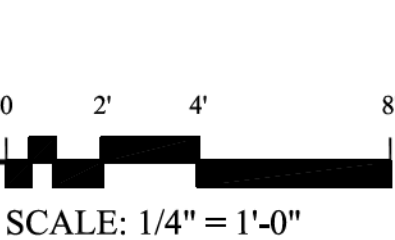
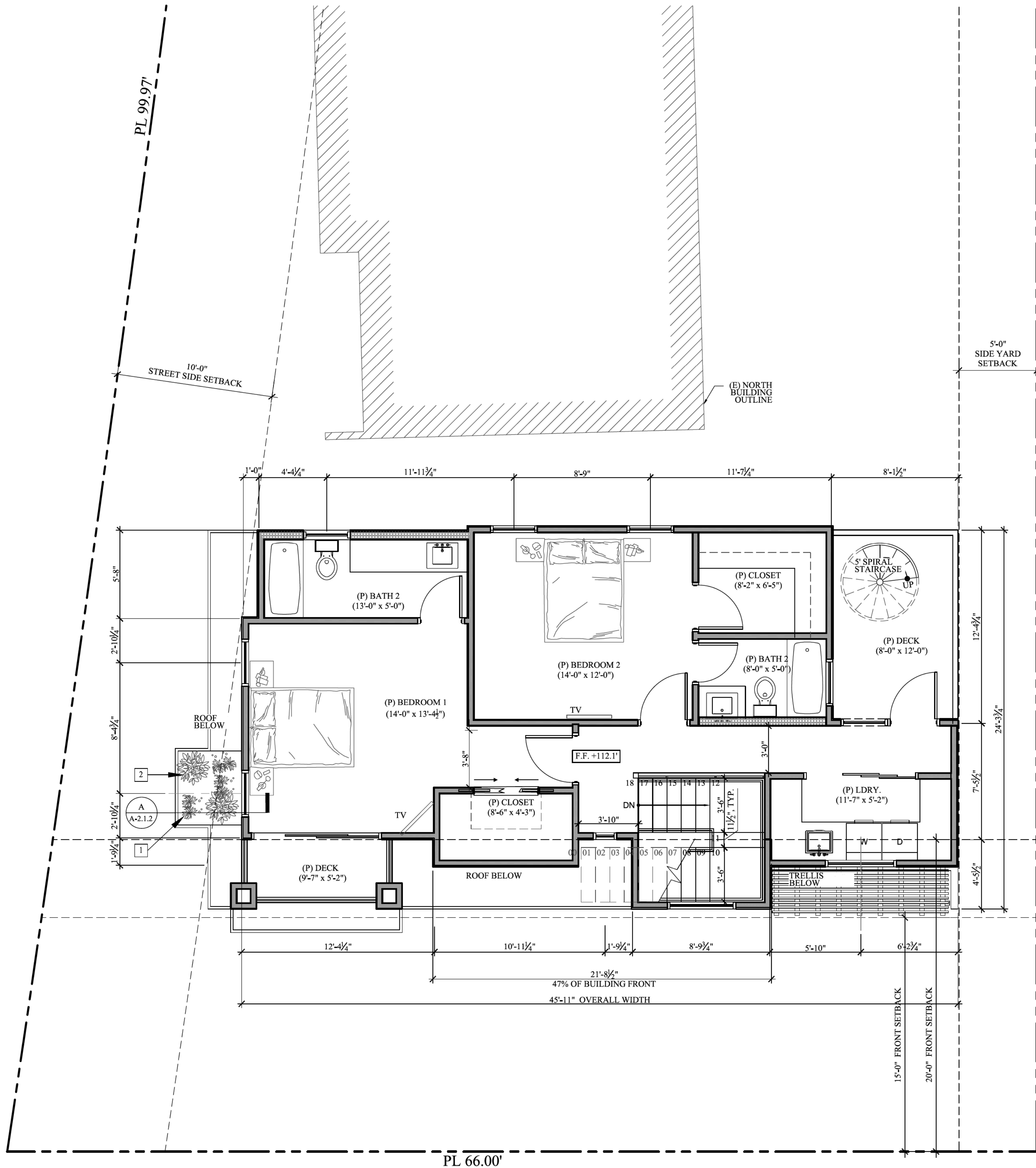
- 1 SYRINGA VULGARIS (LILAC)
- 2 HYDRANGEA MACROPHYLLA (FRENCH HYDRANGEA)



EXT. PLANTER DETAIL  
SCALE: 1" = 1'-0"

FLOOR PLAN NOTES

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- B. FOR PLUMBING, APPLIANCE AND OTHER FIXTURES SEE SCHEDULE ON A-8.2
- C. INSULATION: R-13 BATT INSULATION AT ALL NEW EXTERIOR 2X4 WALLS.  
R-19 BATT INSULATION AT ALL NEW 2X6 EXTERIOR WALLS AND RAISED FLOOR AREAS  
R-13 BATT INSULATION AT ALL ACCESSIBLE INTERIOR WALLS FOR SOUND CONTROL.  
R-30 BATT INSULATION AT CEILING & ROOF AREAS.  
R-4.5 INSULATION WRAP ON ALL NEW HOT WATER PIPING.  
R-4.5 INSULATION WRAP ON ALL NEW SUPPLY DUCTS.
- D. HVAC DUCTS: SEE MECHANICAL NOTES ON SHEETS M-1.1 TO M-1.3.
- E. HVAC EQUIPMENT: SEE EQUIPMENT ON ME-2 AND TITLE-24 CALCULATIONS ON T-1.2
- F. WATER HEATER: SEE EQUIPMENT ON ME-2 AND TITLE-24 CALCULATIONS ON T-1.2
- G. SMOKE DETECTORS: SHALL BE INSTALLED IN EACH BEDROOM AND ON ACCESS POINT TO EACH SLEEPING AREA AND ON EACH STORY AND BASEMENTS. DETECTOR SHALL HAVE AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.2. UNIT SHALL BE PERMANENTLY WIRED AND EQUIPPED WITH BATTERY BACKUP. C.B.C. SEC. 310.9.1.3.
- M. WATER HEATER: NEW AQUASTAR 240FXNG INSTANT GAS WATER HEATER, .81 EF (OR EQ) TYP OF 1, TANKLESS
- N. HVAC: NEW RHEEM RGPJ10NAMER, 80,000 BTU GAS FAU, .80 AFUE (OR EQ) TYP OF 1
- O. ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
- P. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.
- Q. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- R. WHOLE BUILDING VENTILATION: INDOOR AIR QUALITY EXHAUST FAN WITH VENTILATION RATE OF 120 CFM .
- S. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO.26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE.
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- V. FIRE-BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATIONS SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.

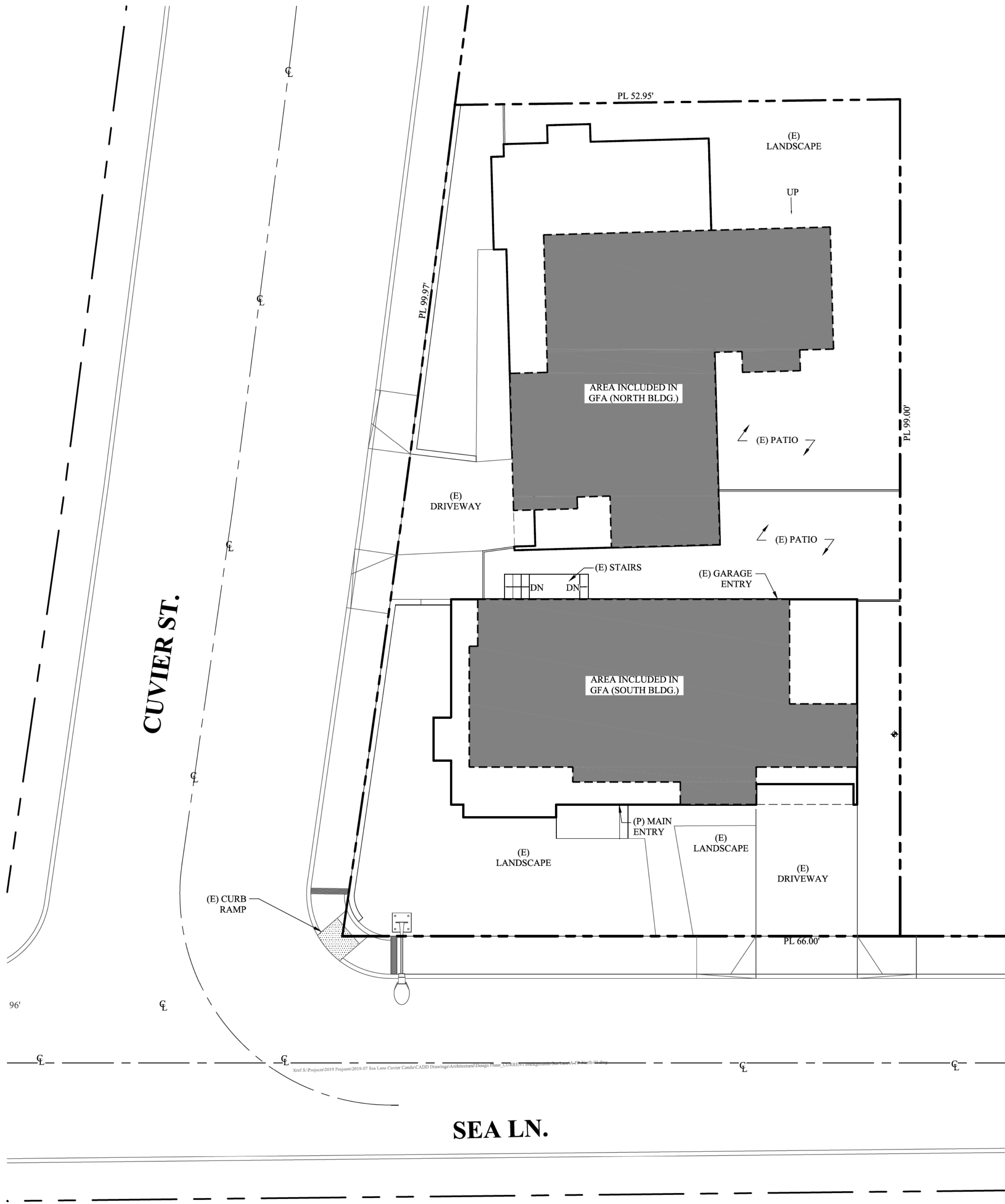


1 PROPOSED SECOND FLOOR PLAN - SOUTH BUILDING (867 S.F. + 155 S.F. FOR DECKS)

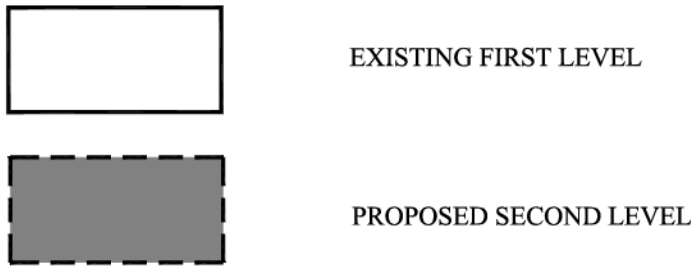


S:\Projects\2019 Projects\2019-07 Sea Lane Cuvier Condo\CAD Drawings\Architectural\Condo Phase CURRENT\Sheets\A-1.1.1\_GFA ANALYSIS.dwg Jan 27, 2020 2:50pm

1 PROPOSED GFA PLAN



SITE LEGEND



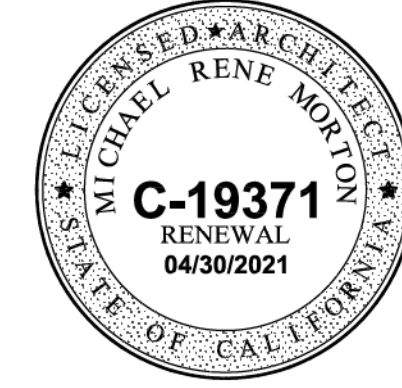
GROSS FLOOR AREA CALCS.

FIRST FLOOR SOUTH BUILDING	1,167 S.F.
FIRST FLOOR NORTH BUILDING	1,167 S.F.
FIRST FLOOR LEVEL TOTAL	2,334 S.F.
SECOND FLOOR SOUTH BUILDING	867 S.F.
SECOND FLOOR NORTH BUILDING	993 S.F.
SECOND FLOOR LEVEL TOTAL	1,860 S.F.
FIRST & SECOND FLOOR LEVEL TOTAL	4,194 S.F.



Marengo Morton Architects

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PHASE:	COASTAL PHASE
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PROJECT NO.	2019-07
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REVIEWED BY:	CAM
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DRAWN BY:	AO
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DATE:	01/22/2020
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SHEET TITLE  
GFA ANALYSIS  
SITE PLAN

A-1.1.1





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SHEET TITLE PROPOSED FIRST FLOOR PLAN SOUTH BUILDING

A-2.1.1

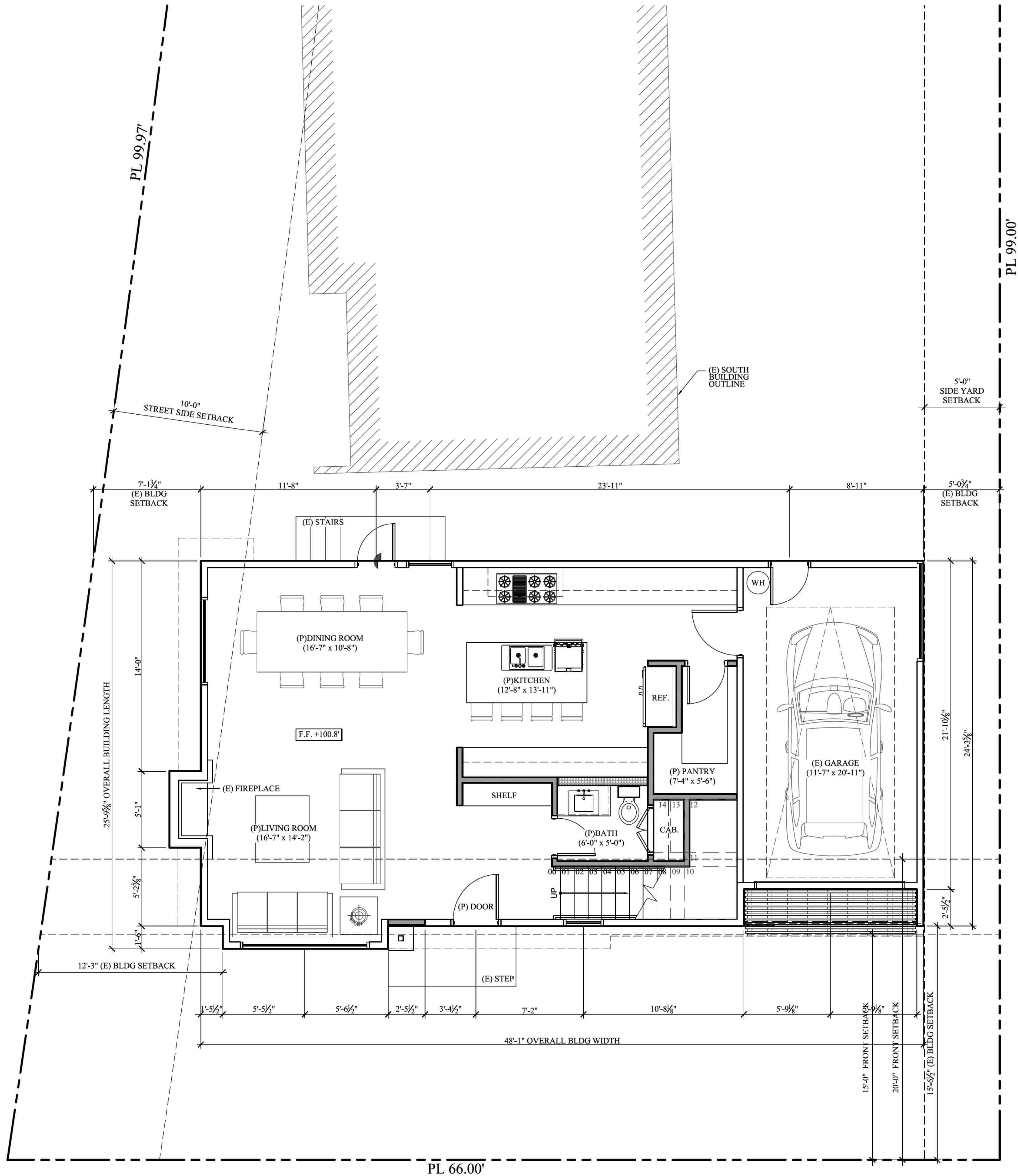
FLOOR PLAN LEGEND

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- 2 X 6 EXISTING EXTERIOR WALL - GYP., STUCCO EXTERIOR
- EXISTING 8" THICK CMU WALL
- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
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- PROPOSED STRUCTURE DIMENSION

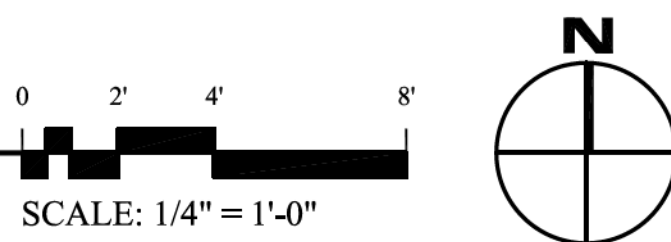
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NEW INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.  
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FLOOR PLAN NOTES

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- B. FOR PLUMBING, APPLIANCE AND OTHER FIXTURES SEE SCHEDULE ON A-8.2
- C. INSULATION: R-13 BATT INSULATION AT ALL NEW EXTERIOR 2X4 WALLS.  
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R-4.5 INSULATION WRAP ON ALL NEW HOT WATER PIPING.  
R-4.5 INSULATION WRAP ON ALL NEW SUPPLY DUCTS.
- D. HVAC DUCTS: SEE MECHANICAL NOTES ON SHEETS M-1.1 TO M-1.3.
- E. HVAC EQUIPMENT: SEE EQUIPMENT ON ME-2 AND TITLE-24 CALCULATIONS ON T-1.2
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- G. SMOKE DETECTORS: SHALL BE INSTALLED IN EACH BEDROOM AND ON ACCESS POINT TO EACH SLEEPING AREA AND ON EACH STORY AND BASEMENTS. DETECTOR SHALL HAVE AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.2. UNIT SHALL BE PERMANENTLY WIRED AND EQUIPPED WITH BATTERY BACKUP. C.B.C. SEC. 310.9.1.3.
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- O. ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
- P. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.
- Q. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
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- V. FIRE-BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATIONS SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.



1 PROPOSED FIRST FLOOR PLAN - SOUTH BUILDING (EXISTING 1,167 S.F.)

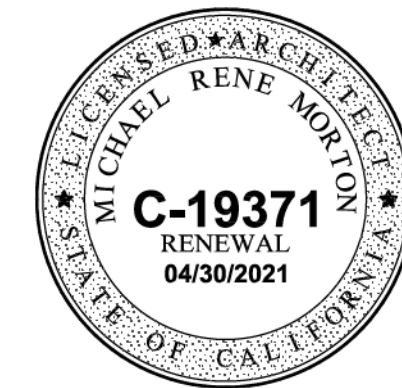






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PHASE: COASTAL  
PHASE

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SHEET TITLE PROPOSED  
FIRST FLOOR PLAN  
NORTH BUILDING

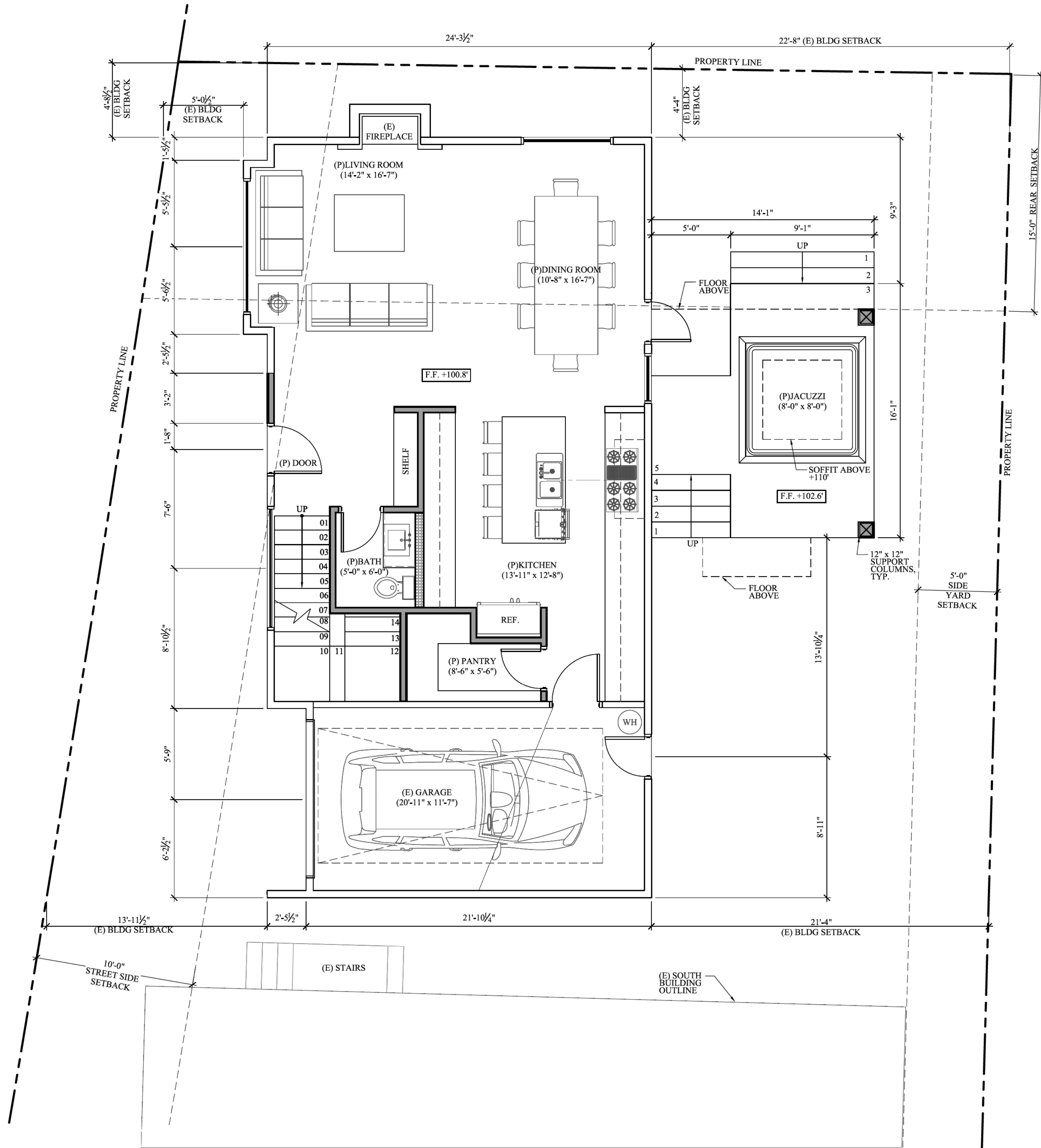
A-2.2.1

FLOOR PLAN LEGEND

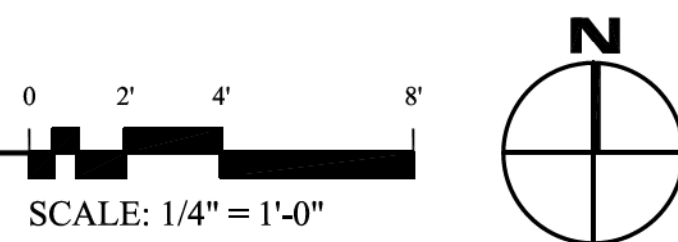
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- Q. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- R. WHOLE BUILDING VENTILATION: INDOOR AIR QUALITY EXHAUST FAN WITH VENTILATION RATE OF 120 CFM .
- S. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO.26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE.
- T. SHOWER COMPARTMENT & BATHTUBS W/ INSTALLED SHOWERHEADS SHALL BE FINISHED W/ A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FT ABOVE FLR. CRC R307.2
- U. WATER METERS FOR COMBINED DOMESTIC WATER & FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BLDG OFFICIAL.
- V. FIRE-BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATIONS SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.



1 PROPOSED FIRST FLOOR PLAN - NORTH BUILDING (EXISTING 1,167 S.F.)







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SEA LANE  
CUVIER CONDO  
7315 CUVIER ST. / 614 SEA LN.  
LA JOLLA, CA 92037

REVISIONS  
05/06/19 START OF FEASIBILITY  
06/01/19 START OF COASTAL PHASE  
06/28/19 COASTAL SUBMITTAL  
01/22/20 COASTAL RESUBMITTAL



PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: AD

DATE: 01/22/2020

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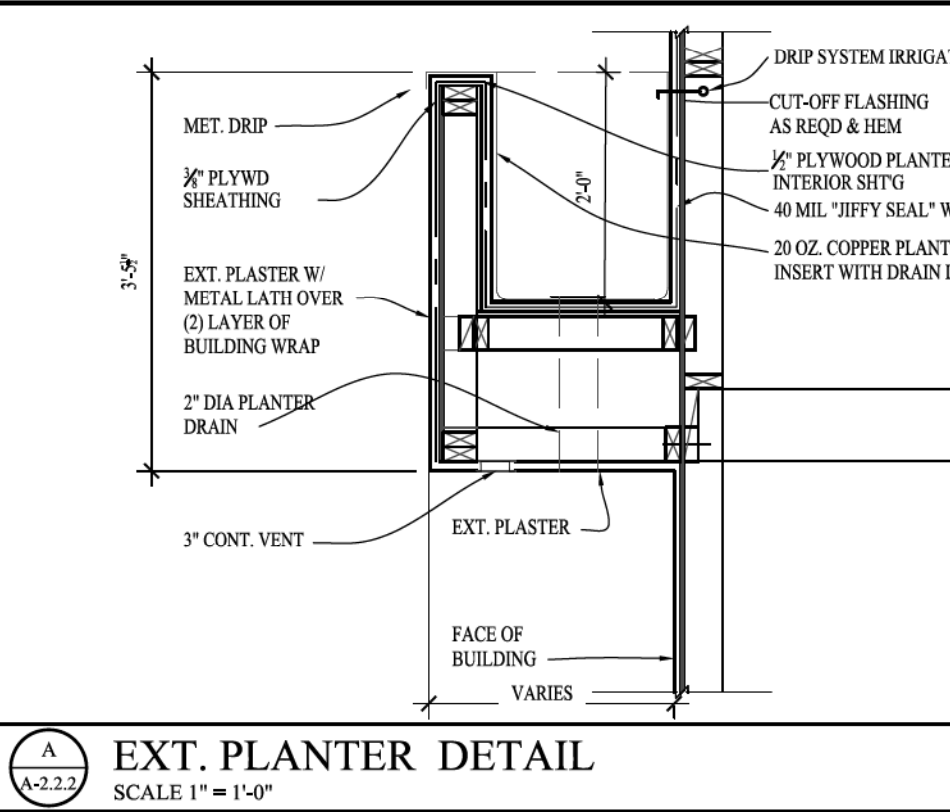
SHEET TITLE  
PROPOSED  
SECOND FLOOR PLAN  
NORTH BUILDING  
A-2.2.2

FLOOR PLAN LEGEND

- 2 X 4 EXISTING INTERIOR WALL - GYP. EACH SIDE
- 2 X 6 EXISTING EXTERIOR WALL - GYP., STUCCO EXTERIOR
- EXISTING 8" THICK CMU WALL
- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
- NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
- ONE HOUR CONSTRUCTION  
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE.
- NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
- NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
- SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
- PROPOSED EXTERIOR LIGHTING
- NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- EXISTING STRUCTURE DIMENSION
- PROPOSED STRUCTURE DIMENSION
- NEW EXTERIOR WALL DIMENSIONS TO FACE OF STUD.  
NEW INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.  
EXISTING EXTERIOR WALL DIMENSIONS TO FACE OF FINISH.  
EXISTING INTERIOR WALL DIMENSIONS TO FACE OF FINISH.  
FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

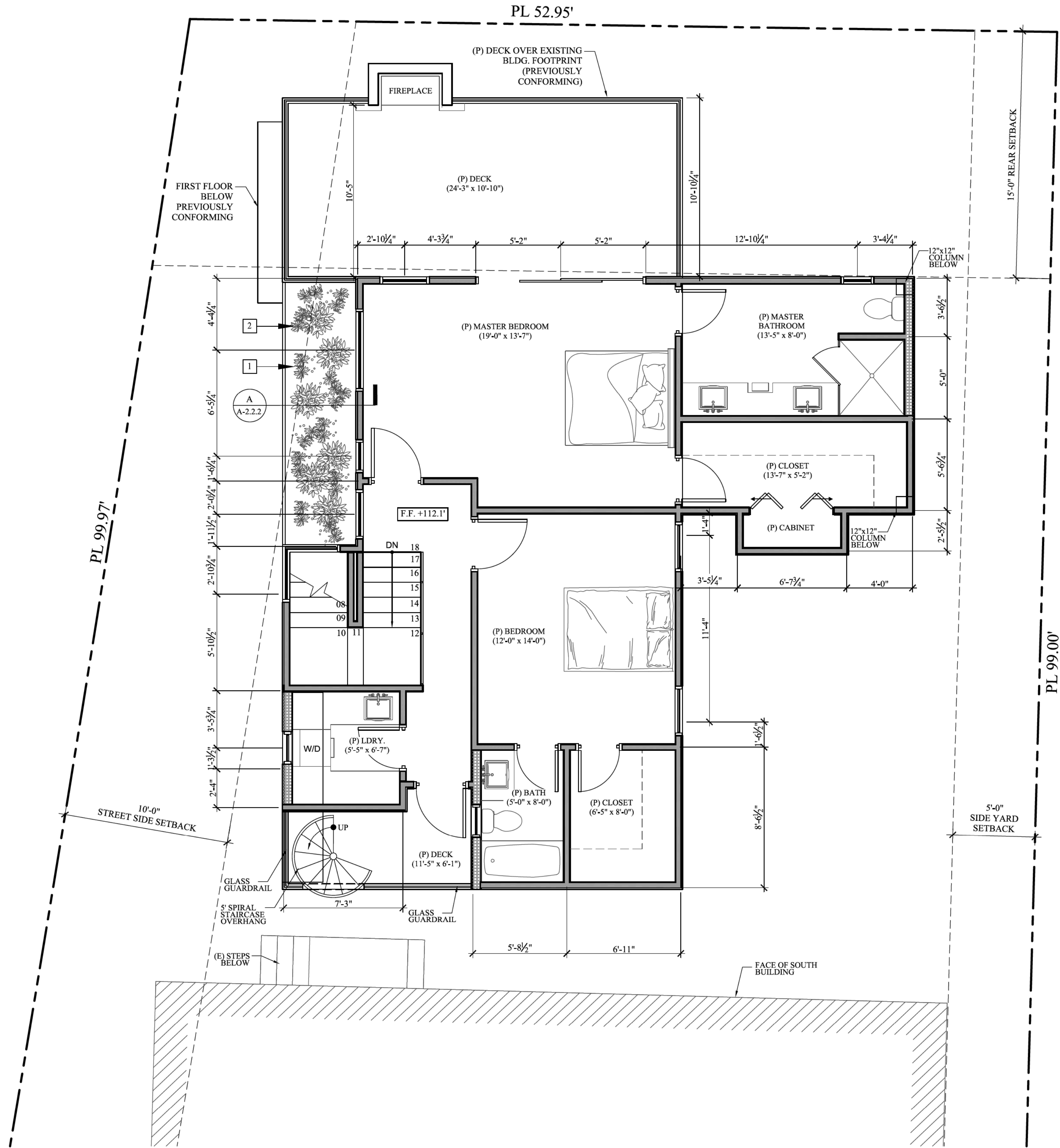
PLANT LEGEND

- 1 SYRINGA VULGARIS (LILAC)
- 2 HYDRANGEA MACROPHYLLA (FRENCH HYDRANGEA)

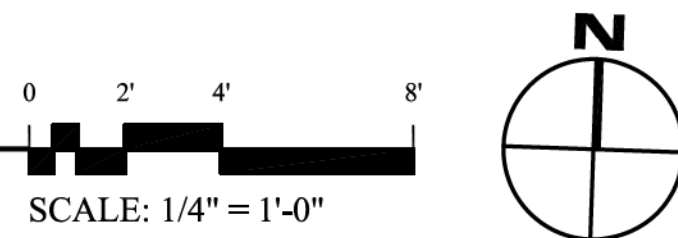


FLOOR PLAN NOTES

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- B. FOR PLUMBING, APPLIANCE AND OTHER FIXTURES SEE SCHEDULE ON A-8.2
- C. INSULATION: R-13 BATT INSULATION AT ALL NEW EXTERIOR 2X4 WALLS.  
R-19 BATT INSULATION AT ALL NEW 2X6 EXTERIOR WALLS AND RAISED FLOOR AREAS  
R-13 BATT INSULATION AT ALL ACCESSIBLE INTERIOR WALLS FOR SOUND CONTROL.  
R-30 BATT INSULATION AT CEILING & ROOF AREAS.  
R-4.5 INSULATION WRAP ON ALL NEW HOT WATER PIPING.  
R-4.5 INSULATION WRAP ON ALL NEW SUPPLY DUCTS.  
HVAC DUCTS: SEE MECHANICAL NOTES ON SHEETS M-1.1 TO M-1.3.
- E. HVAC EQUIPMENT: SEE EQUIPMENT ON ME-2 AND TITLE-24 CALCULATIONS ON T-1.2
- F. WATER HEATER: SEE EQUIPMENT ON ME-2 AND TITLE-24 CALCULATIONS ON T-1.2
- G. SMOKE DETECTORS: SHALL BE INSTALLED IN EACH BEDROOM AND ON ACCESS POINT TO EACH SLEEPING AREA AND ON EACH STORY AND BASEMENTS. DETECTOR SHALL HAVE AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.2. UNIT SHALL BE PERMANENTLY WIRED AND EQUIPPED WITH BATTERY BACKUP. C.B.C. SEC. 310.9.1.3.
- M. WATER HEATER: NEW AQUASTAR 240FXNG INSTANT GAS WATER HEATER, .81 EF (OR EQ) TYP OF 1, TANKLESS
- N. HVAC: NEW RHEEM RGPJ10NAMES, 80,000 BTU GAS FAU, .80 AFUE (OR EQ) TYP OF 1
- O. ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
- P. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.
- Q. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
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- U. WATER METERS FOR COMBINED DOMESTIC WATER & FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BLDG OFFICIAL.
- V. FIRE-BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATIONS SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.



1 PROPOSED SECOND FLOOR PLAN - NORTH BUILDING (993 S.F. + 320 S.F. FOR DECKS )

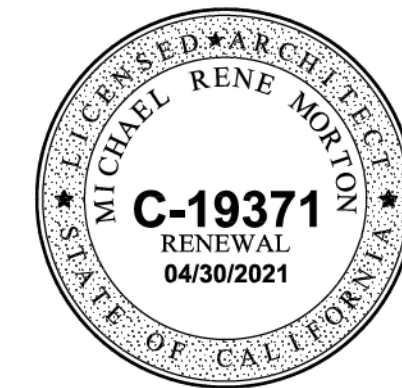






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REVISIONS	
05/06/19	START OF FEASIBILITY
06/01/19	START OF COASTAL PHASE
06/28/19	COASTAL SUBMITTAL
01/22/20	COASTAL RESUBMITTAL



PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: AD

DATE: 01/22/2020

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SHEET TITLE PROPOSED ROOF PLAN SOUTH BUILDING

A-4.1

STORM DRAINAGE NOTES

1. THE PRIMARY STORM DRAINAGE SYSTEM SHALL CONNECT TO THE BUILDING STORM WATER THAT CONNECTS TO AN UNDERGROUND PUBLIC STORM SEWER
2. THE SECONDARY ROOF DRAINAGE SYSTEM SHALL DISCHARGE ABOVE GRADE, IN A LOCATION OBSERVABLE BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL

HEIGHT NOTES

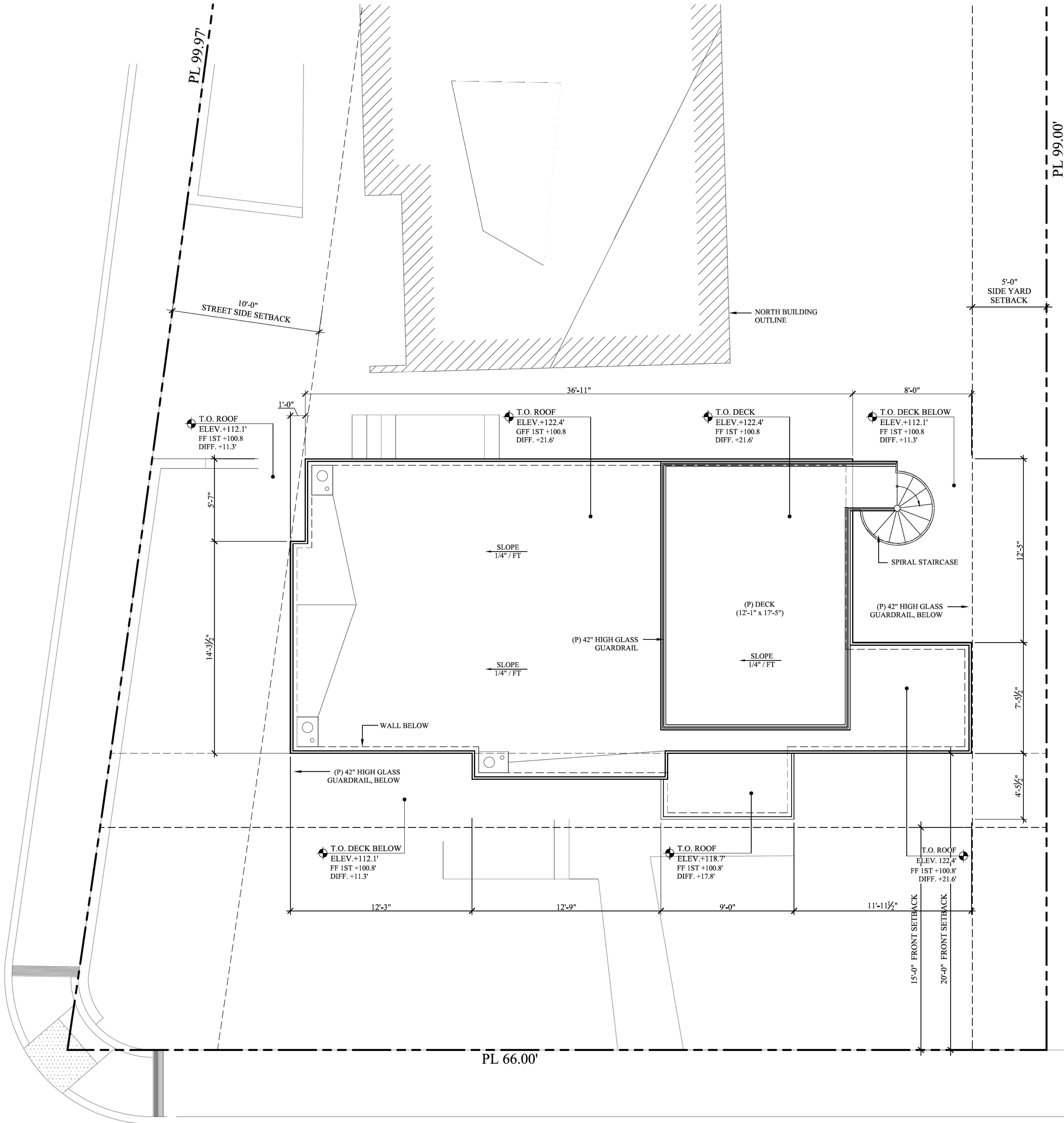
1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
2. NO PORTION OF THE PROPOSED STRUCTURE WILL EXCEED THE EXISTING BUILDING HEIGHT. PROPOSED HEIGHT TO BE FIELD VERIFIED TO ENSURE COMPLIANCE

ROOF NOTES

1. **ROOFING UNDERLAYMENT** SLOPE 3:12 OR LESS: "ICE AND WATER SHIELD" BY W.R. GRACE, ESR-1677, OR "WINTER GUARD HT" BY CERTAIN TEED CORP. ESR-1492 (OR ARCHITECT APPROVED EQUAL). INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL A #40 FIBERGLASS REINFORCED FELT SHEET OVER ROOF MEMBRANE.
2. **COUNTER-SLOPES:** ¼" PER 12" (MINIMUM) TOWARDS DRAINS CREATED USING G-26 (LATEX -CEMENT) FLOORING UNDERLAYMENT BY CROSSFIELD PRODUCTS CORP.
3. **ROOF EDGE DRIP, METAL FLASHING, PANEL CLIPS AND COUNTER FLASHING:** ALL EXTERIOR FLASHING TO BE 16 OZ COPPER UNLESS OTHERWISE NOTED. SOLDER OR SEAL ALL SEAMS. HEM ALL EXPOSED EDGES.
4. **BUILT-UP ROOFING SYSTEM:** BY GAF, GAFGLAS 4-PLY HOT MOPPED MODIFIED BITUMEN MINERAL SURFACED ROOFING SYSTEM. PROVED A ¼" PER FOOT MINIMUM ROOF SLOPE. INSTALL PER MANUFACTURES INSTRUCTION. ROOFING SYSTEM SHALL HAVE A MINIMUM 10 YEAR LABOR AND MATERIAL WARRANTY. PER SPECIFICATION DIVISION 7.1, SECTION G, FOR FLASHING, "SPRINGLOK" FLASHING SYSTEM, TYPE STX, BY FRY REGLET CORP. MATERIAL 26 GA. PROVIDE "WINDLOK" CLIPS AND PREFABRICATED MITERED CORNER SECTIONS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. **ROOFING SYSTEM SHALL BE A UL CLASS "A" RATED, ICC REPORT UL E81366-02.**
5. **PLUMBING VENT:** ABS PLASTIC TO BE FLASHED WITH CARLISLE-SYNTEC TPO PRE-MOLDED PIPE FLASHING.
6. **PARAPET, TRANSITIONS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING:** MEMBRANE WATERPROOFING SHALL BE JIFFY SEAL 140/60 BY PROTECTO WRAP. EXTEND MEMBRANE A MINIMUM OF 6" BELOW EDGE OF PARAPET, EACH SIDE. PROVIDE A MINIMUM END LAP OF 4" OVER ADJOINING MEMBRANE SHEETS. WHERE MEMBRANE ABUTS VERTICAL SURFACES, THE MEMBRANE SHALL EXTEND 6" UP SURFACE, AND BE OVERLAPPED BY BUILDING WRAP, ESR-1127.
7. **ROOF DRAIN, ROOF DRAIN SHALL BE TPO-DR2NH - 2" TPO-CLAD NO-HUB BOTTOM OUTLET DRAIN BY THUNDERBIRD PRODUCTS WITH A.B.S. DOME STRAINER, TELEPHONE (800) 658-2473. PROVIDE 3" I.D. ABS DRAIN LINES WITH MIN ¼":1' SLOPE. CONNECT TO BUILDING STORM WATER.**
8. **FIREPLACE VENT:** FIREPLACE VENT SHALL BE TYPE B STAINLESS STEEL AS REQUIRED BY FIREPLACE MANUFACTURER. MINIMUM SIZE MESH IN SPARK ARRESTOR SHALL BE ¼", MESH SHALL BE STAINLESS STEEL OR COPPER.
9. ROOF VENT: TPO PRE-MOLDED ROOF VENTING SEE DETAIL 6/A-10.4.1.
10. **CLAY TILE ROOFING:** ROOFING SHALL BE TWO-PIECE MISSION TILE, TO BE "CARMEL BLEND BY US TILE, ESR-1017. PROVIDE A 3"x3" SAMPLE OF MOCK OF TALE PATTERN AND COLOR FOR OWNER AND ARCHITECTS APPROVAL PRIOR TO ORDERING MATERIAL. INSTALL WITH RANDOM EXPOSURE PATTERN. PROVIDE 20% RANDOM FIELD BOOSTERS. INSTALL PER MANUFACTURERS INSTRUCTIONS OVER 40# ROOFING FELT UNDERLAYMENT AT ROOF WITH A MINIMUM OF 3 TO 12 SLOPE. ALL ROOFING MATERIALS SHALL BE CLASS "A".
11. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
12. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
13. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019" (#26 COPPER GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MIN. 36"-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
14. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS.
15. ENCLOSED RAFTER ASSEMBLIES NOT REQUIRED TO BE VENTED PER CRC R806.5.
16. THE ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING THAT IS AT LEAST CLASS 'A' WHEN THE AREA OF THE ADDITION TO THE EXISTING BUILDING IS MORE THAN TWENTY-FIVE PERCENT (25%) OF THE ORIGINAL FLOOR AREA OF THE BUILDING [SDMC 149.0902(A)(2)].

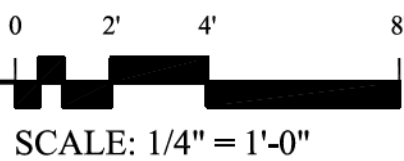
PLANT LEGEND

- |   |  |  |
|---|--|--|
| 1 | SYRINGA VULGARIS (LILAC)                 |  |
| 2 | HYDRANGEA MACROPHYLLA (FRENCH HYDRANGEA) |  |



WIPEOUT

1 PROPOSED ROOF PLAN - SOUTH BUILDING (211 S.F. DECK)

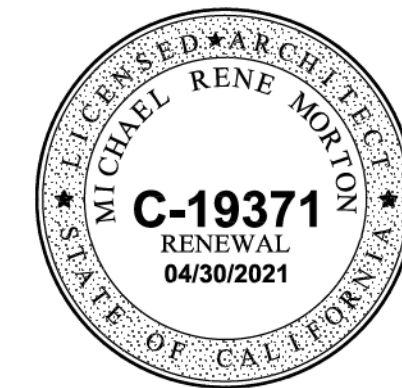






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REVISIONS
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06/28/19 COASTAL SUBMITTAL
01/22/20 COASTAL RESUBMITTAL



PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

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SHEET TITLE PROPOSED ROOF PLAN NORTH BUILDING

A-4.2

STORM DRAINAGE NOTES

1. THE PRIMARY STORM DRAINAGE SYSTEM SHALL CONNECT TO THE BUILDING STORM WATER THAT CONNECTS TO AN UNDERGROUND PUBLIC STORM SEWER
2. THE SECONDARY ROOF DRAINAGE SYSTEM SHALL DISCHARGE ABOVE GRADE, IN A LOCATION OBSERVABLE BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL

HEIGHT NOTES

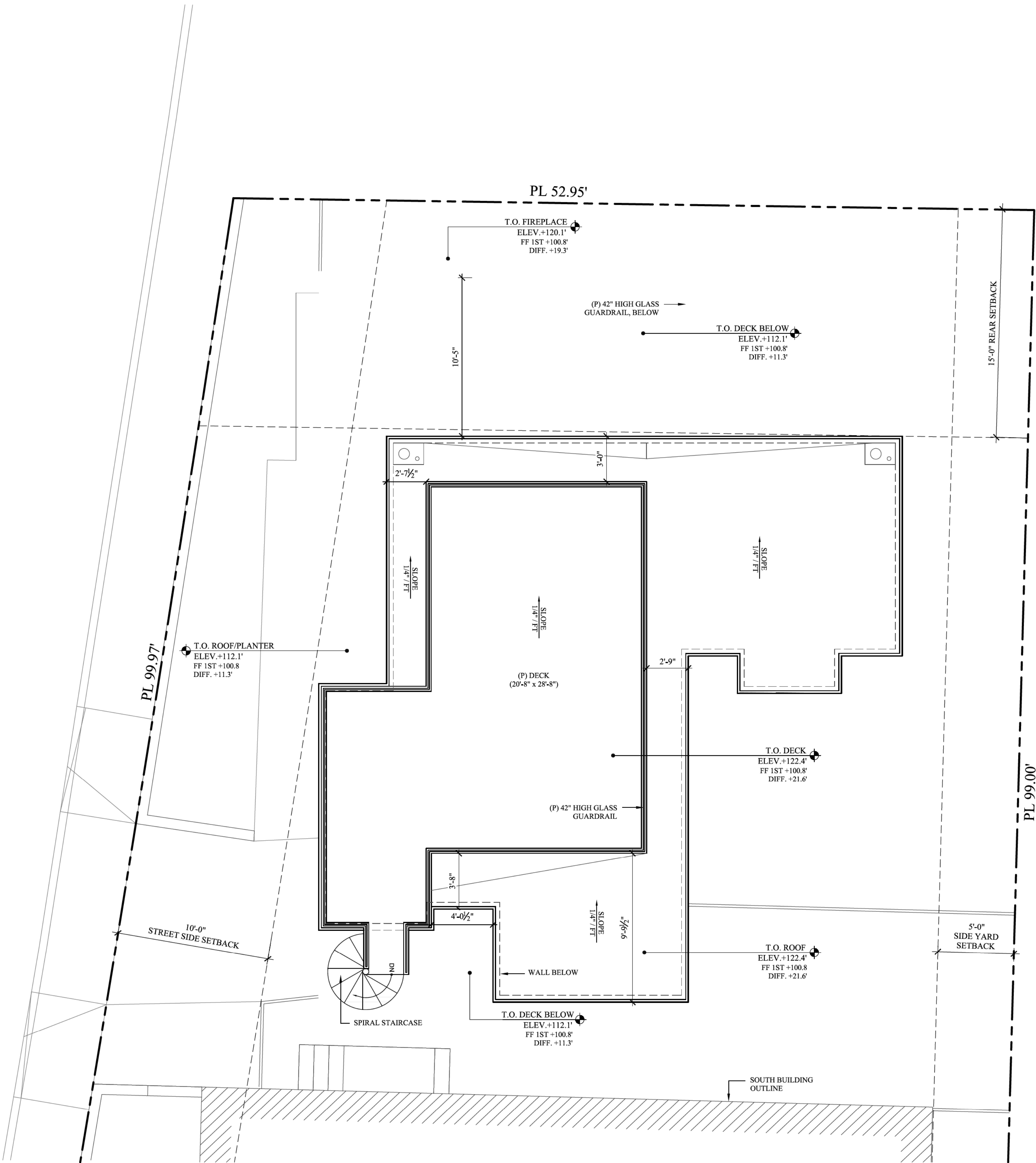
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ROOF NOTES

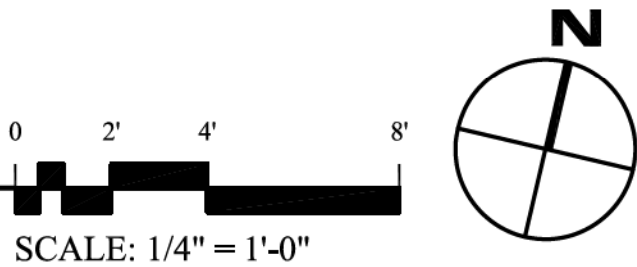
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2. **COUNTER-SLOPES:** 1/4" PER 12" (MINIMUM) TOWARDS DRAINS CREATED USING G-26 (LATEX-CEMENT) FLOORING UNDERLAYMENT BY CROSSFIELD PRODUCTS CORP.
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PLANT LEGEND

- |   |  |  |
|---|--|--|
| 1 | SYRINGA VULGARIS (LILAC)                 |  |
| 2 | HYDRANGEA MACROPHYLLA (FRENCH HYDRANGEA) |  |



1 PROPOSED ROOF PLAN - NORTH BUILDING (432 SQ. FT. DECK)







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LA JOLLA, CA 92037

REVISIONS  
05/06/19 START OF FEASIBILITY  
06/01/19 START OF COASTAL PHASE  
06/28/19 COASTAL SUBMITTAL  
01/22/20 COASTAL RESUBMITTAL



PHASE: COASTAL  
PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

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DATE: 01/22/2020

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SHEET TITLE  
PROPOSED EXTERIOR  
ELEVATIONS  
SOUTH BUILDING

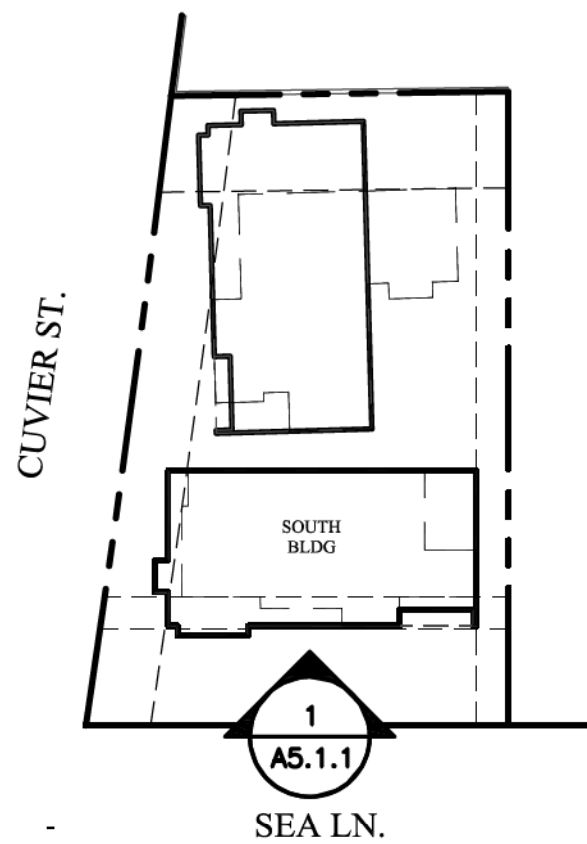
A-5.1.1

ELEVATION NOTES

- ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
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KEY PLAN



1 PROPOSED SOUTH EXTERIOR ELEVATION - SOUTH BUILDING

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"



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Second Floor  
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A diagram showing three triangles stacked vertically on a horizontal line. The bottom triangle is shaded gray, and the two triangles above it are white with black outlines.

PROJECT NO.	2019-07
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REVIEWED BY: CAMDRAWN BY: 

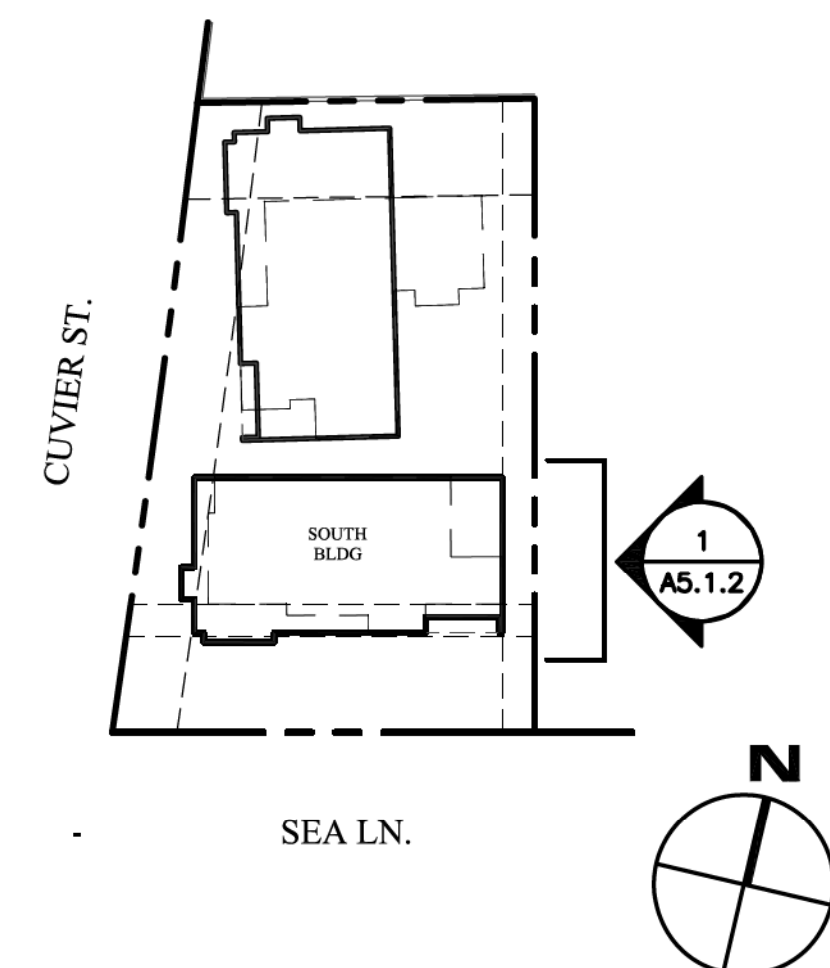
DATE: 01/22/2020

SHEET TITLE

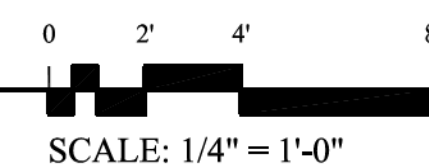
PROPOSED EXTERIOR  
ELEVATIONS  
SOUTH BUILDING

A-5.1.2

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
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1 PROPOSED EAST EXTERIOR ELEVATION - SOUTH BUILDING





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PROJECT NO.	2019-07
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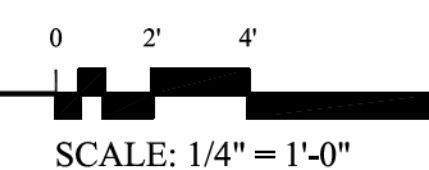
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ELEVATIONS  
SOUTH BUILDING

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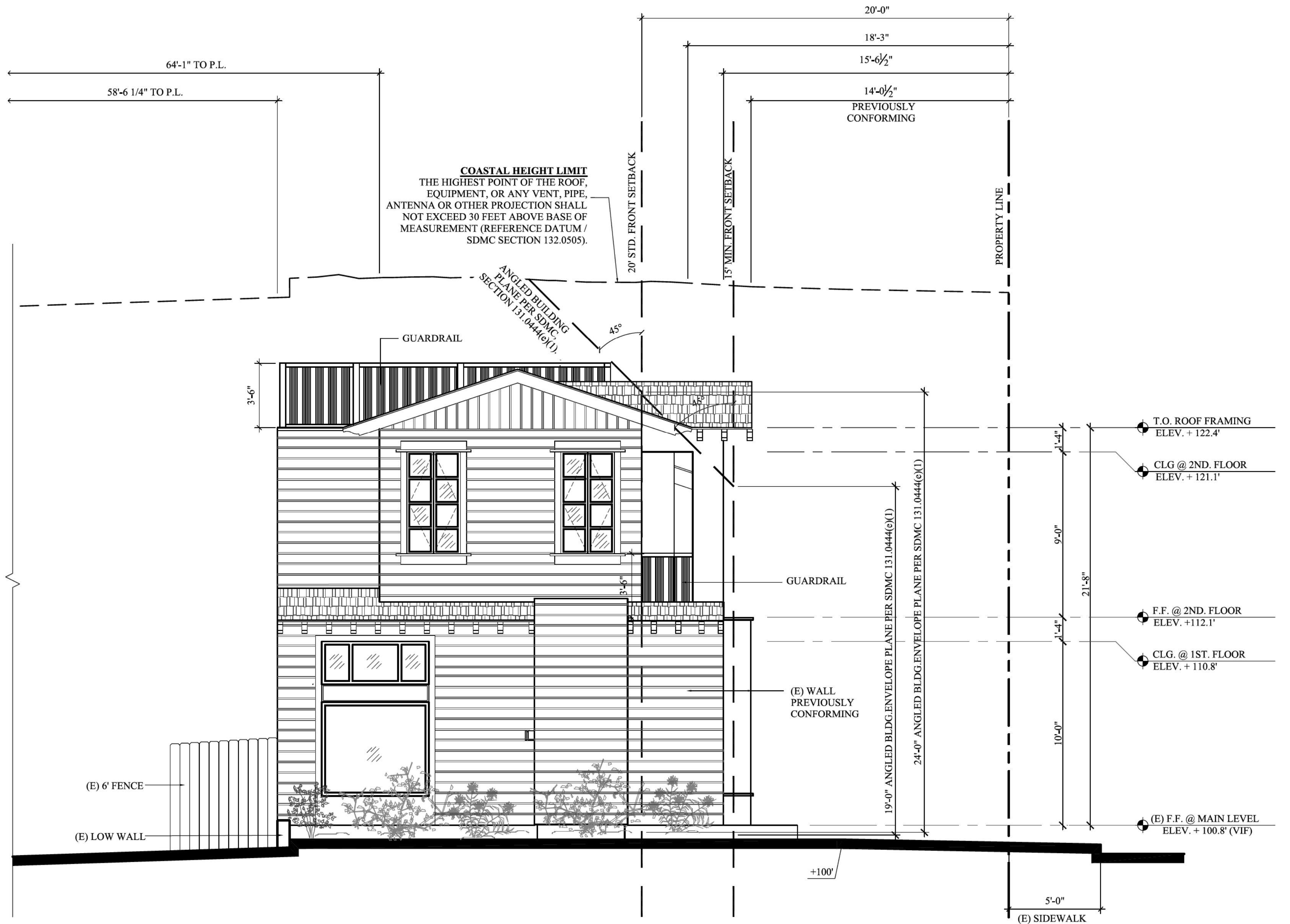
1 PROPOSED NORTH EXTERIOR ELEVATION - SOUTH BUILDING





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1 PROPOSED WEST EXTERIOR ELEVATION - SOUTH BUILDING

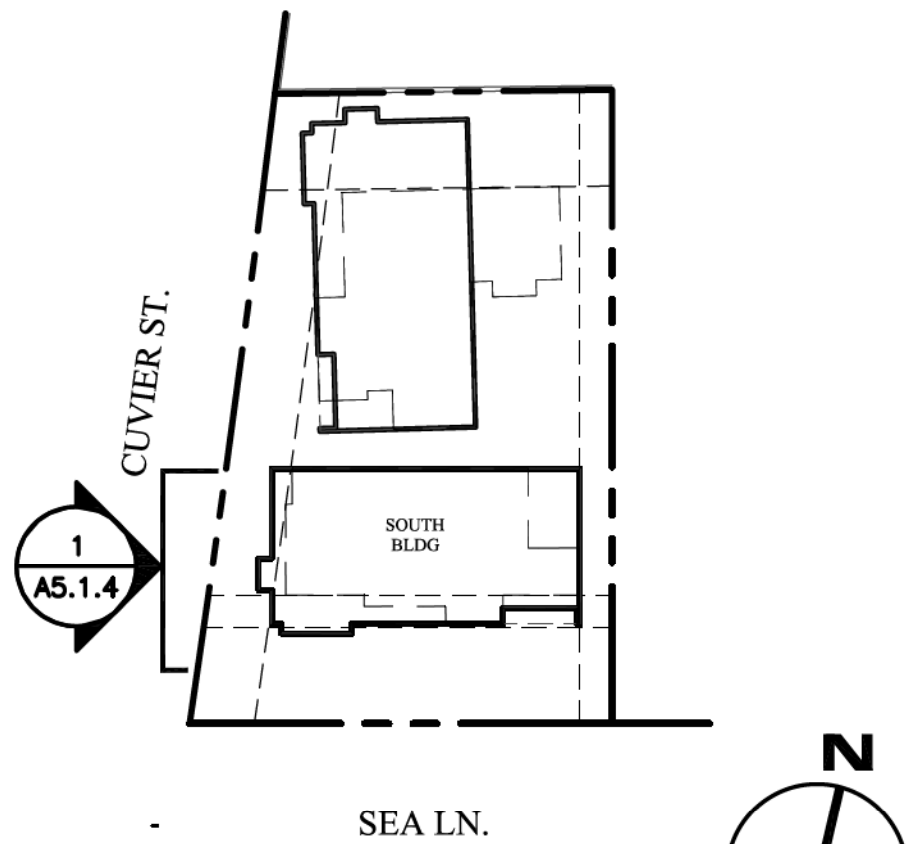


0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

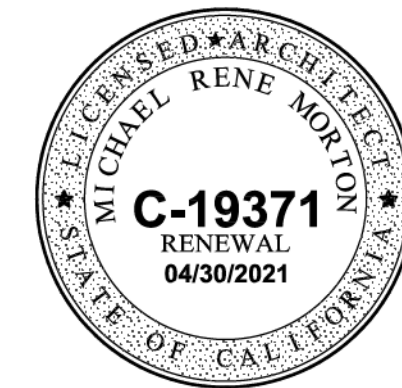
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KEY PLAN



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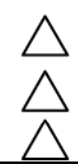
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REVISIONS  
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01/22/20 COASTAL RESUBMITTAL



PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: AO

DATE: 01/22/2020

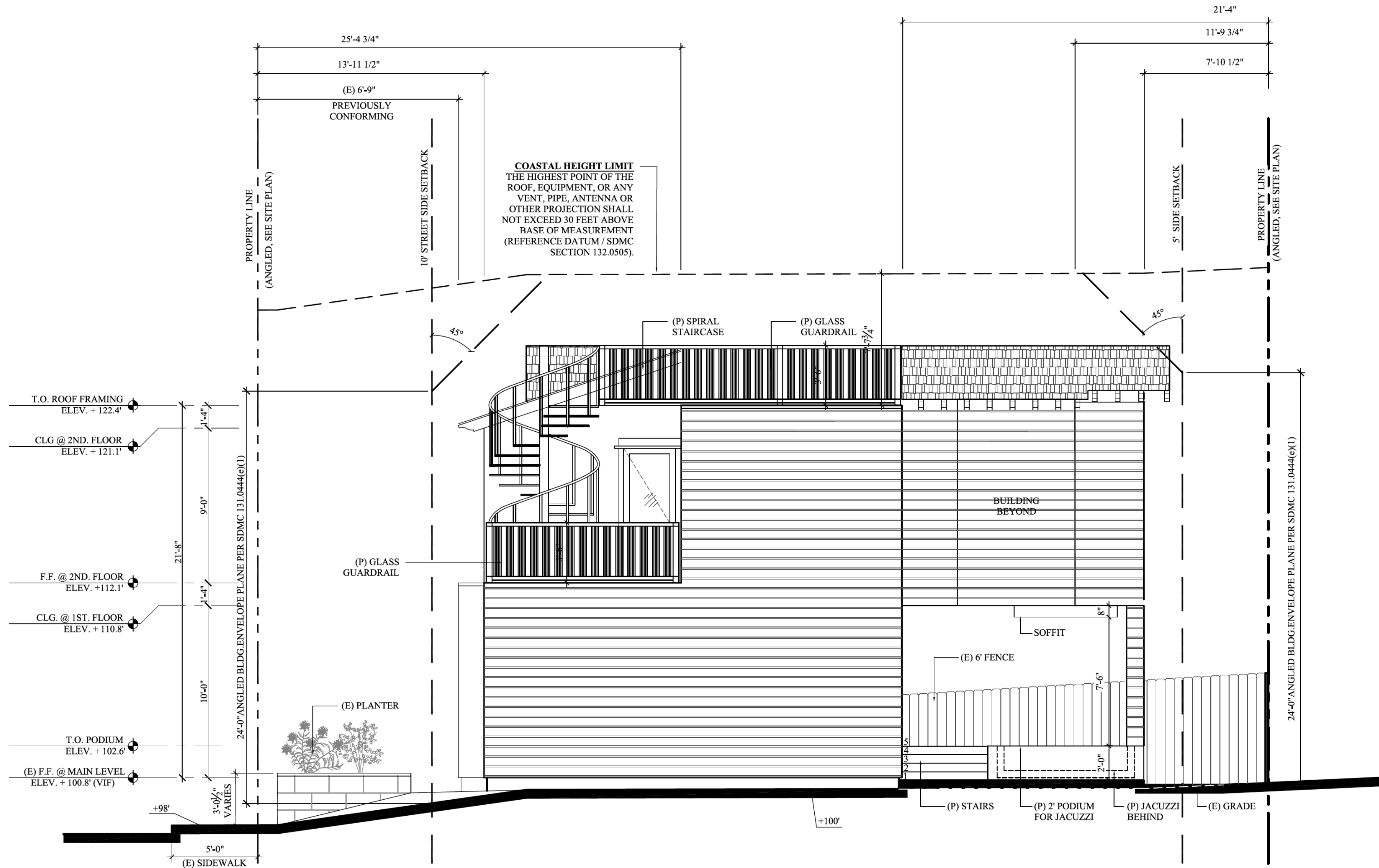
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SHEET TITLE  
PROPOSED EXTERIOR ELEVATIONS  
SOUTH BUILDING  
A-5.1.4



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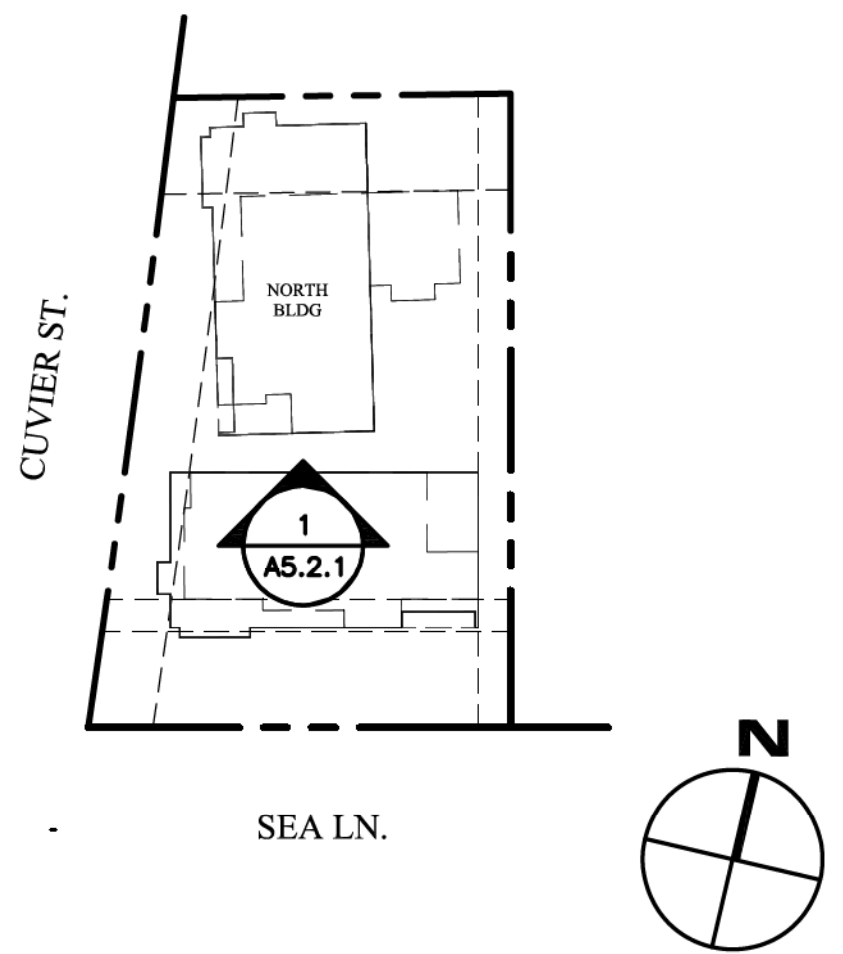
1 PROPOSED SOUTH EXTERIOR ELEVATION - NORTH BUILDING



ELEVATION NOTES

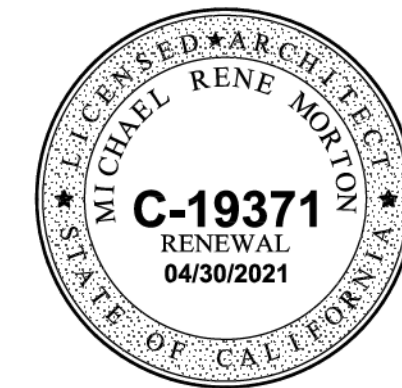
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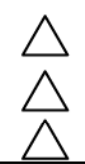
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01/22/20 COASTAL RESUBMITTAL



PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: AO

DATE: 01/22/2020

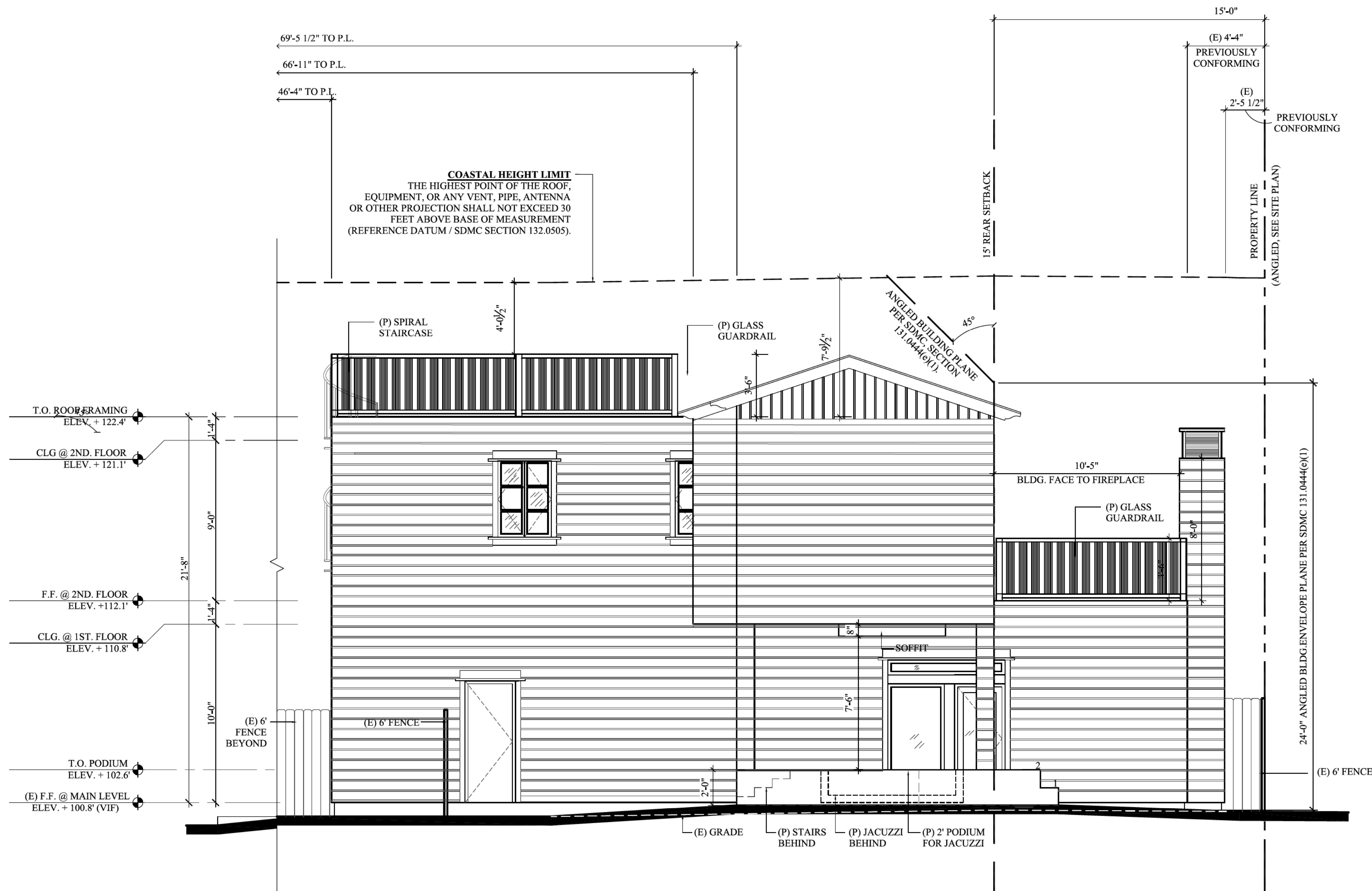
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PROPOSED EXTERIOR  
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NORTH BUILDING  
A-5.2.1



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1 PROPOSED EAST EXTERIOR ELEVATION - NORTH BUILDING

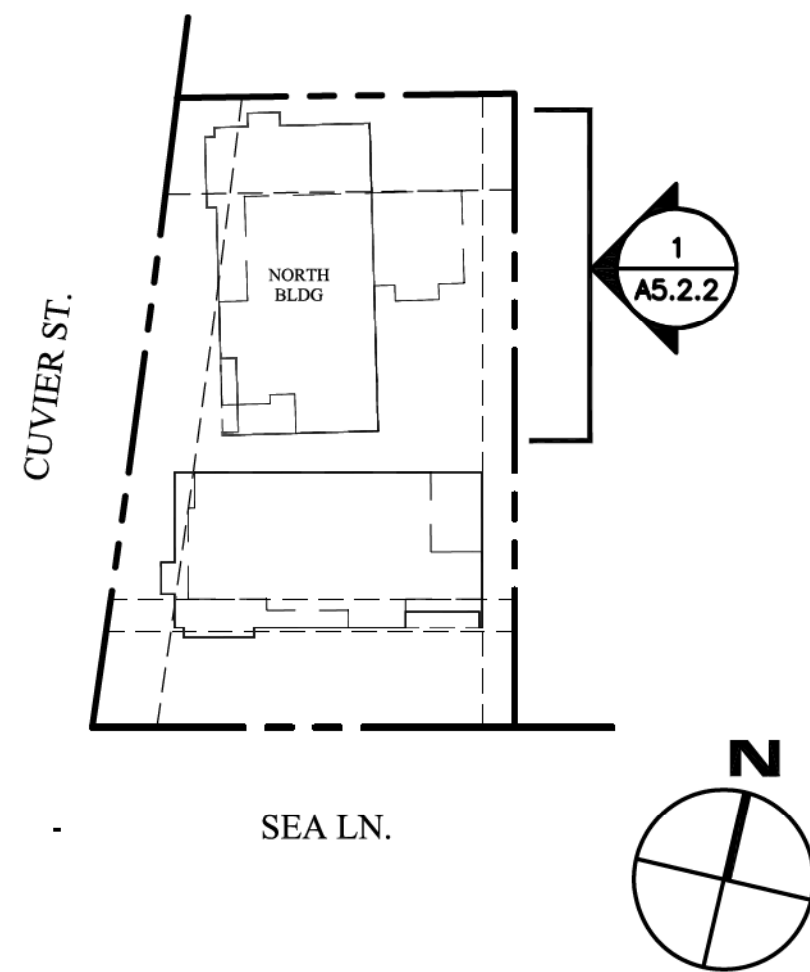


0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

## ELEVATION NOTES

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## KEY PLAN



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PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

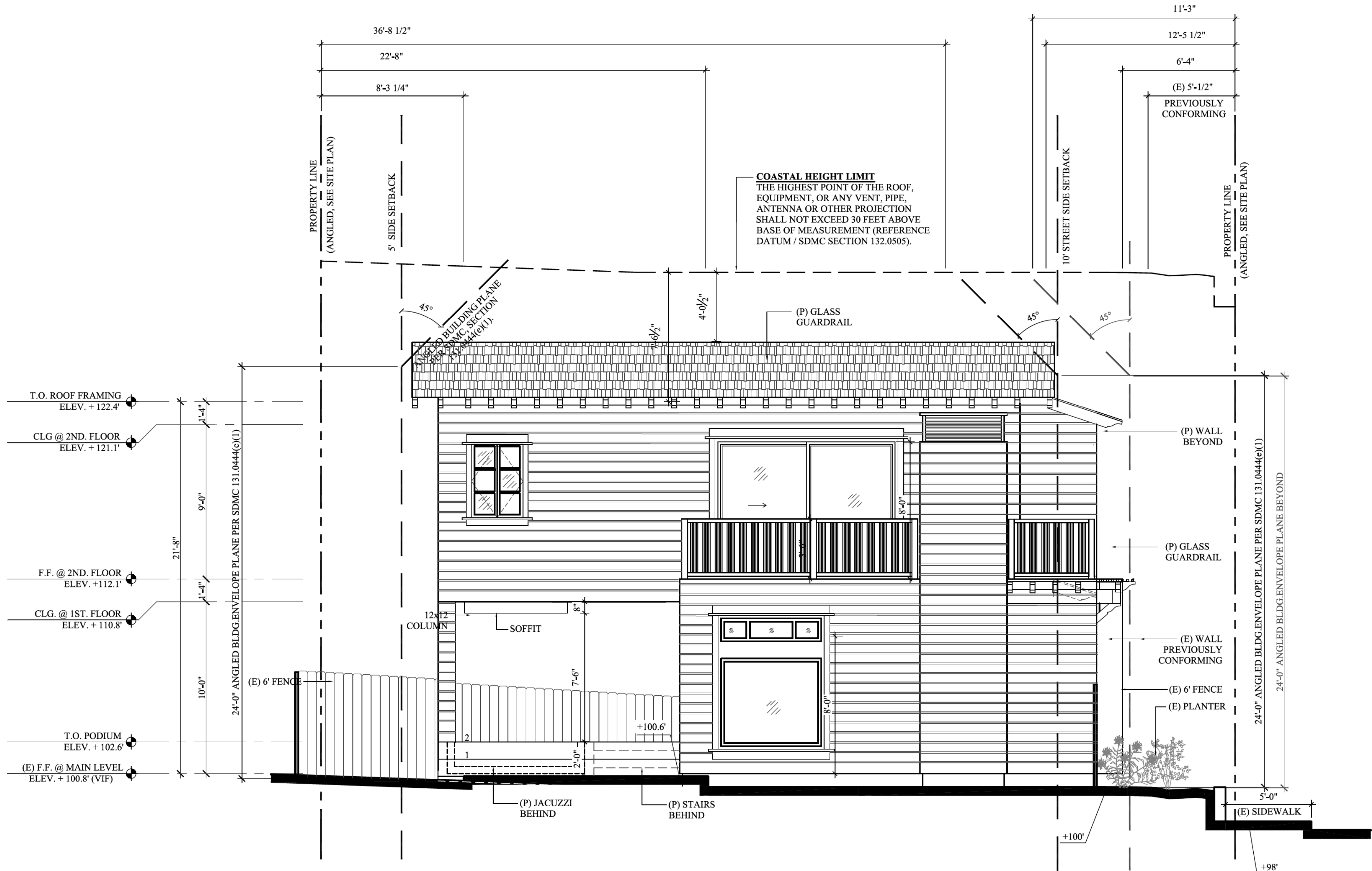
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DATE: 01/22/2020

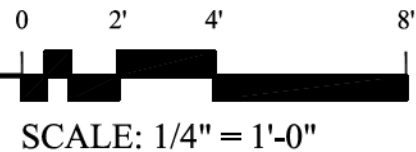
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NORTH BUILDING  
A-5.2.2





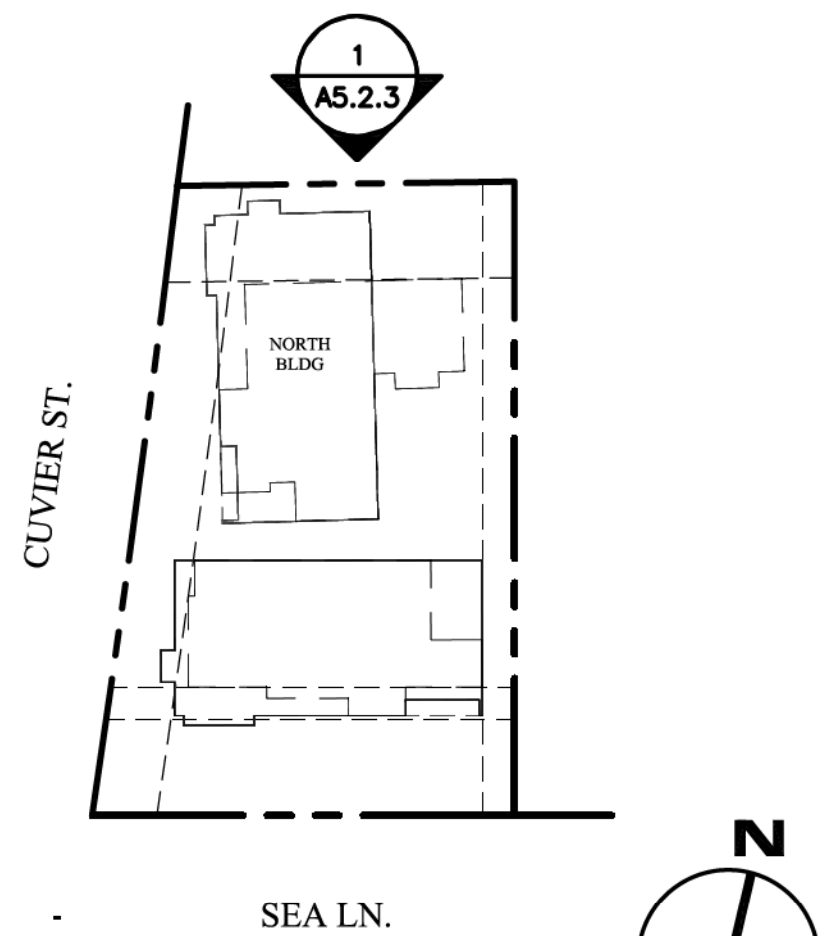
1 PROPOSED NORTH EXTERIOR ELEVATION - NORTH BUILDING



## ELEVATION NOTES

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PHASE: COASTAL PHASE

PROJECT NO. 2019-07

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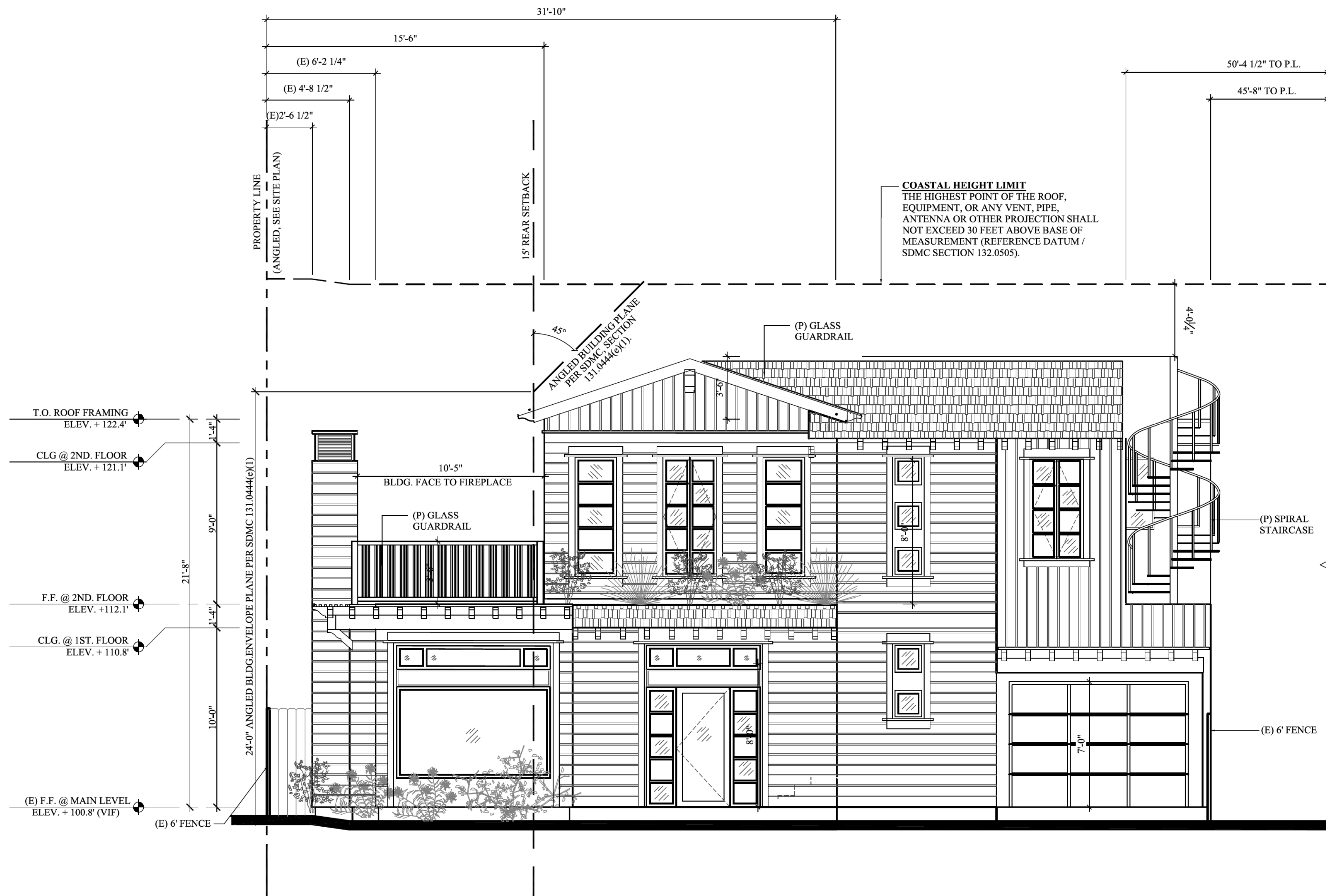
SHEET TITLE  
PROPOSED EXTERIOR  
ELEVATIONS  
NORTH BUILDING

A-5.2.3



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1 PROPOSED WEST EXTERIOR ELEVATION - NORTH BUILDING

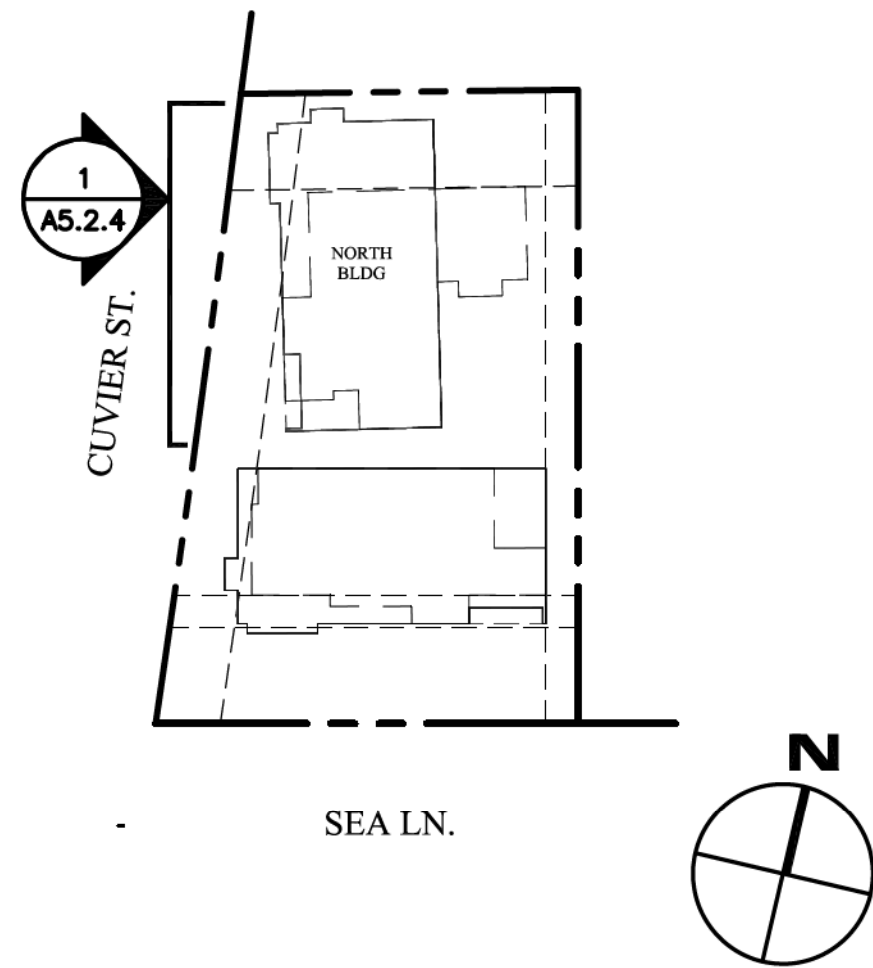


0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

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PHASE: COASTAL PHASE

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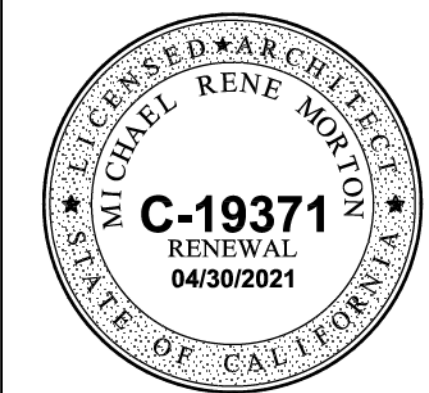
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A-5.2.4



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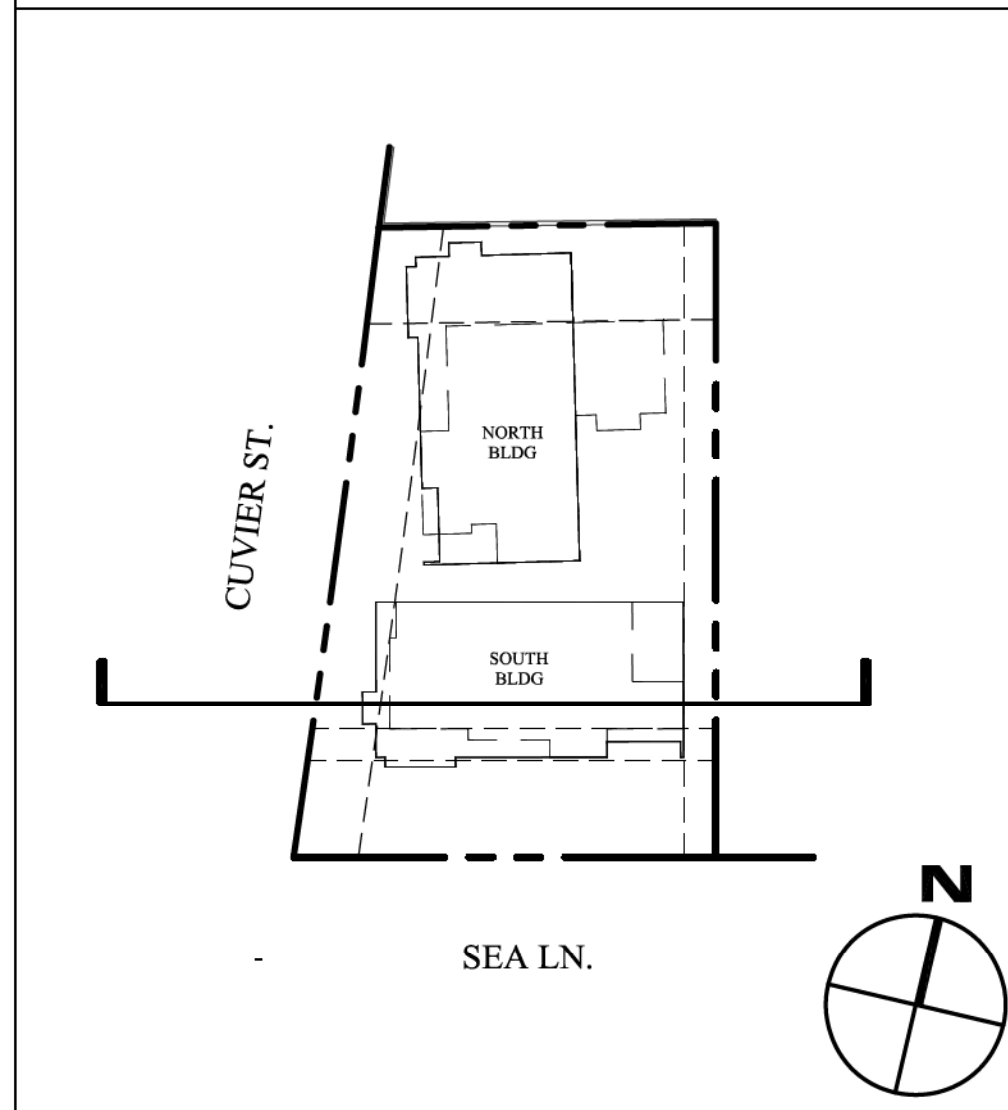
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DATE: 01/22/2020

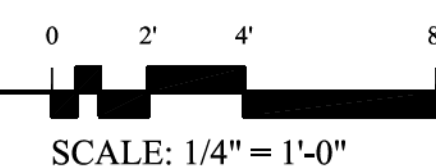
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SHEET TITLE
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PROPOSED BUILDING  
SECTION  
SOUTH BUILDING  
**A-6.1.1**



(A) PROPOSED BUILDING SECTION - SOUTH BUILDING

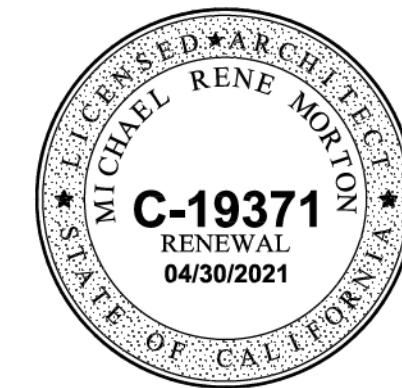






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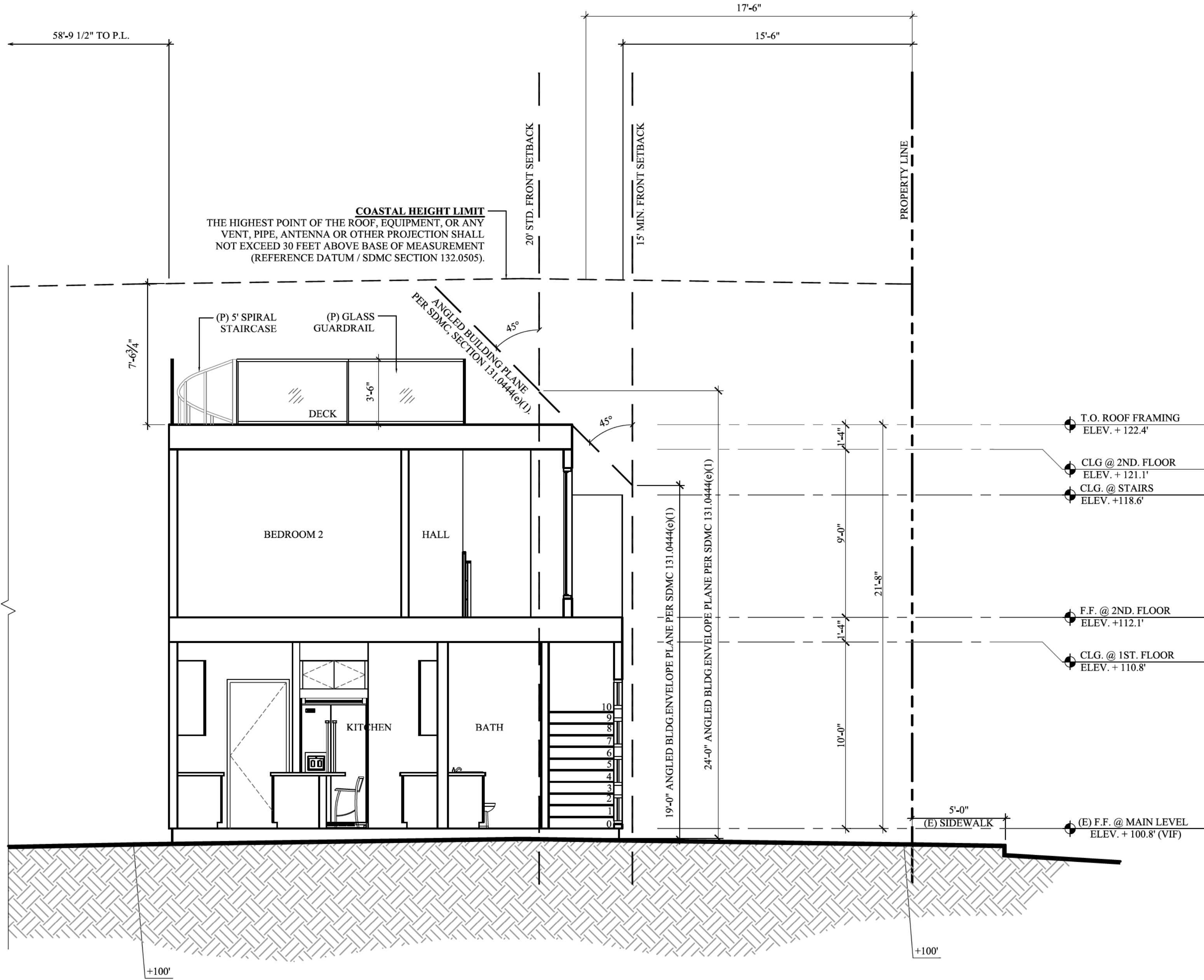
REVISIONS	
05/06/19	START OF FEASIBILITY
06/01/19	START OF COASTAL PHASE
06/28/19	COASTAL SUBMITTAL
01/22/20	COASTAL RESUBMITTAL



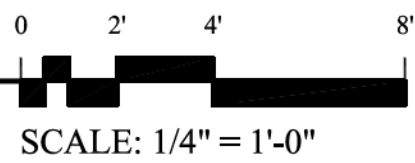
PHASE:	COASTAL PHASE
PROJECT NO.	2019-07
REVIEWED BY:	CAM
DRAWN BY:	BW
DATE:	01/22/2020

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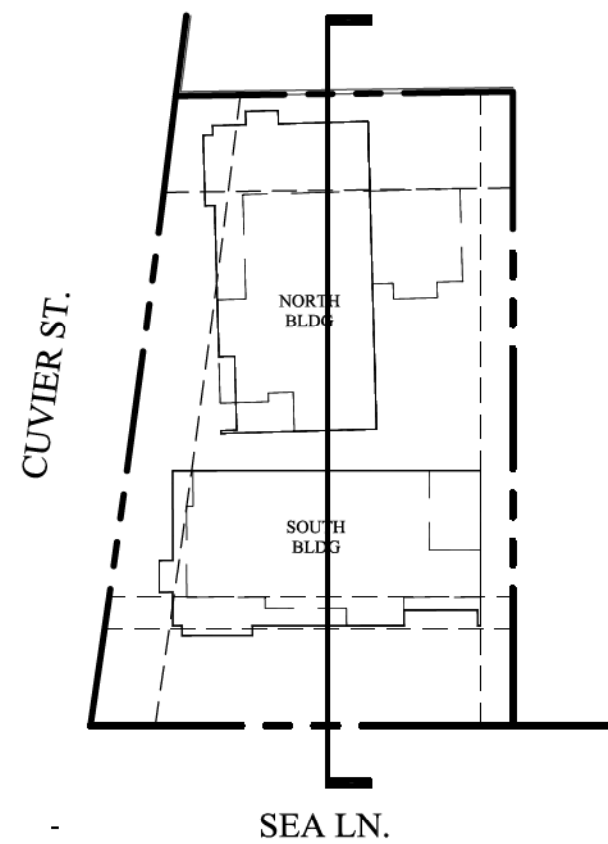
SHEET TITLE  
PROPOSED BUILDING  
SECTION  
SOUTH BUILDING  
A-6.1.2



PROPOSED BUILDING SECTION - SOUTH BUILDING

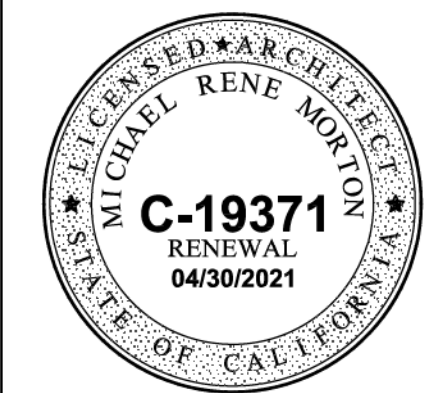


KEY PLAN








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PHASE:	COASTAL PHASE
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PROJECT NO.	2019-07
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REVIEWED BY: CAM

DRAWN BY: 

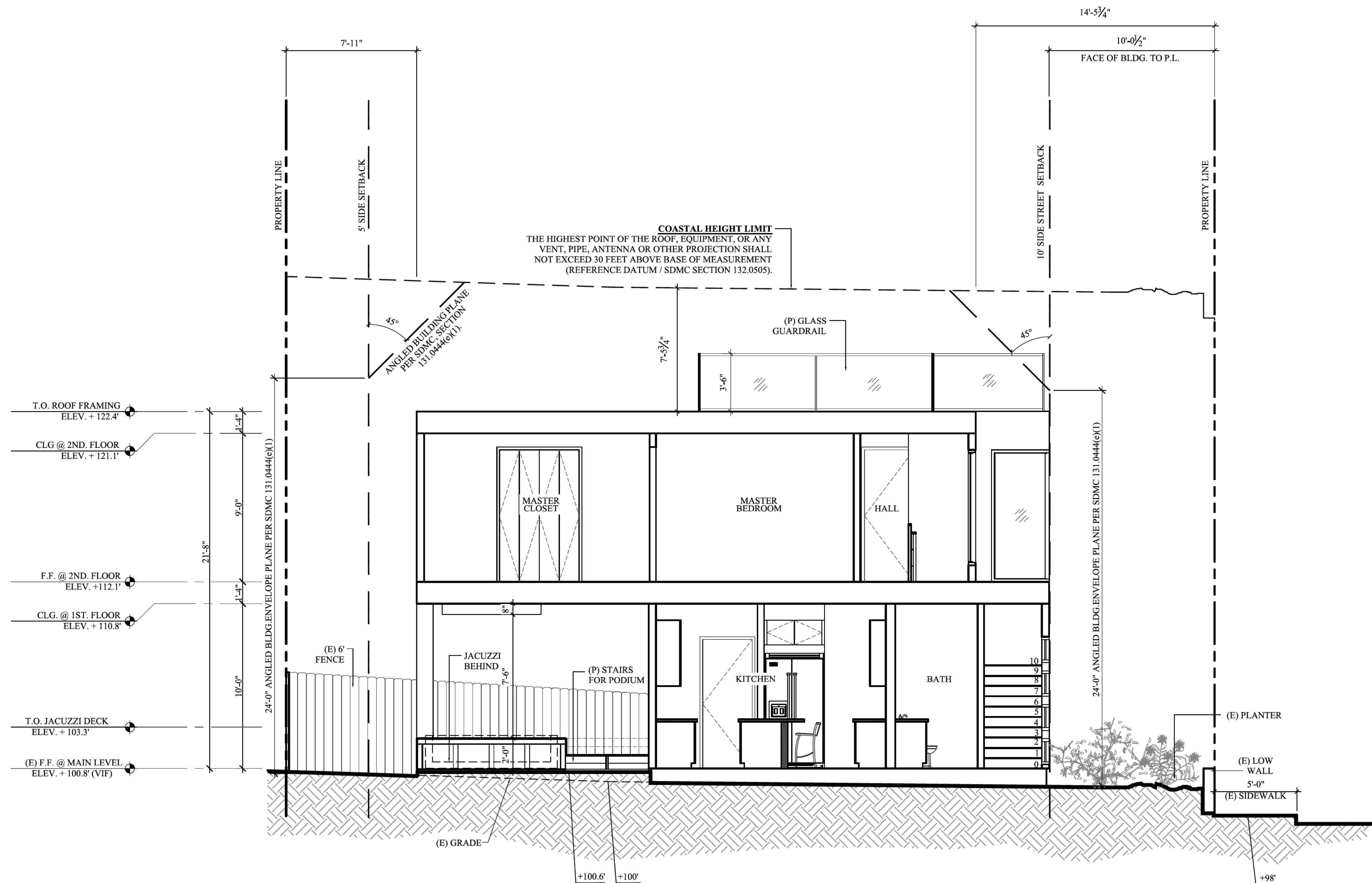
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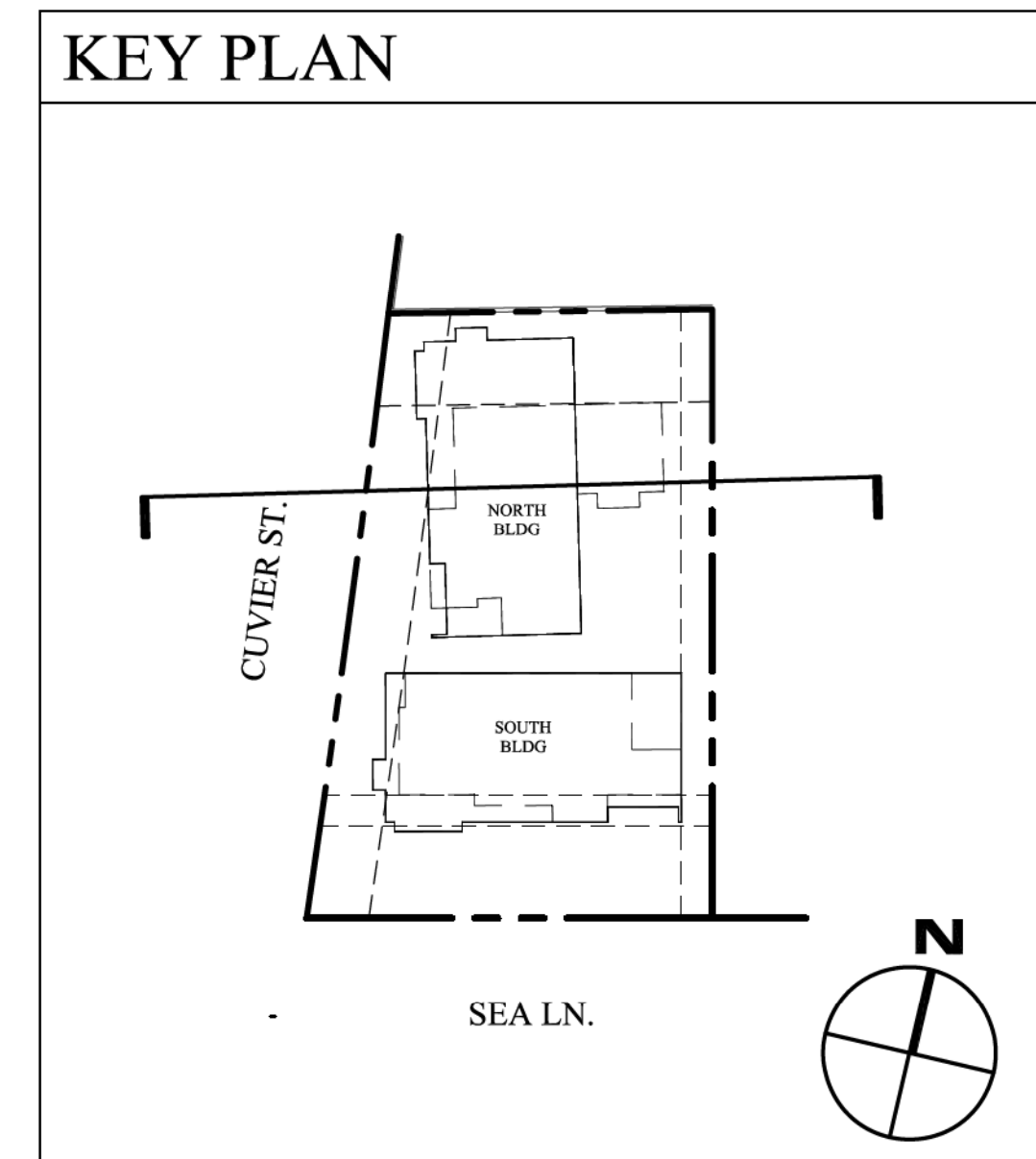
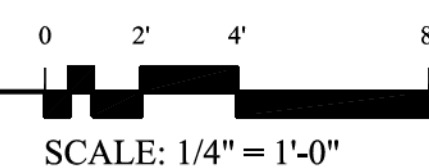
SHEET TITLE

PROPOSED BUILDING  
SECTIONS  
NORTH BUILDING

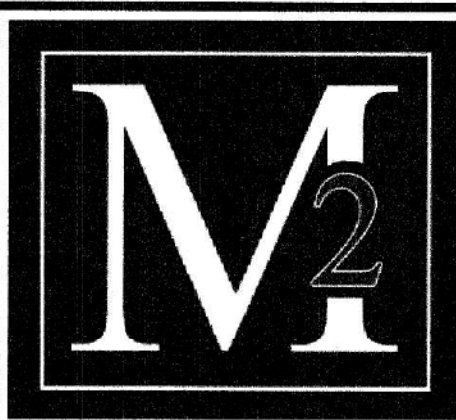
**A-6.2.2**



**A PROPOSED BUILDING SECTION - NORTH BUILDING**







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06/28/19 COASTAL SUBMITTAL  
01/22/20 COASTAL RESUBMITTAL

PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: MS

DATE: 03/12/2020

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SHEET TITLE  
PROPOSED LANDSCAPE PLAN  
BASEMENT

L-1.1

REQUIRED LANDSCAPE AREA

LANDSCAPE REQUIREMENTS (SDMC 1510.0304-b)	AREA (SQ.FT.)	PERCENTAGE
LOT AREA	5,653.0	100%
REQUIRED LANDSCAPING	1,695.9	30%
PROPOSED LANDSCAPE AREA	1,848.0	33%
PROPOSED IMPERVIOUS AREA	3,951.0	69%

WATER CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) =
$(ET_o)(0.62) [(0.55)(LA) + (0.45)(SLA)]$
$(40)(0.62 \text{ GAL.}) [(0.55)(1,848 \text{ Sq. Ft.}) + (0.45)(0)] = 25,206.72 \text{ Gal./Yr.}$
ESTIMATED TOTAL WATER USE (ETWU) =
$(ET_o)(0.62) (PF / IE \times HA) + (SLA)$
$(40)(0.62 \text{ GAL.}) (4 / 9 \times 1,848 \text{ SQ. FT.}) + 0 = 20,369.1 \text{ Gal./Yr.}$

LANDSCAPE LEGEND

- NEW ARTIFICIAL GRASS (34% OF TOTAL LANDSCAPE AREA)
- AREA OF HARDSCAPE
- AREA OF LANDSCAPE

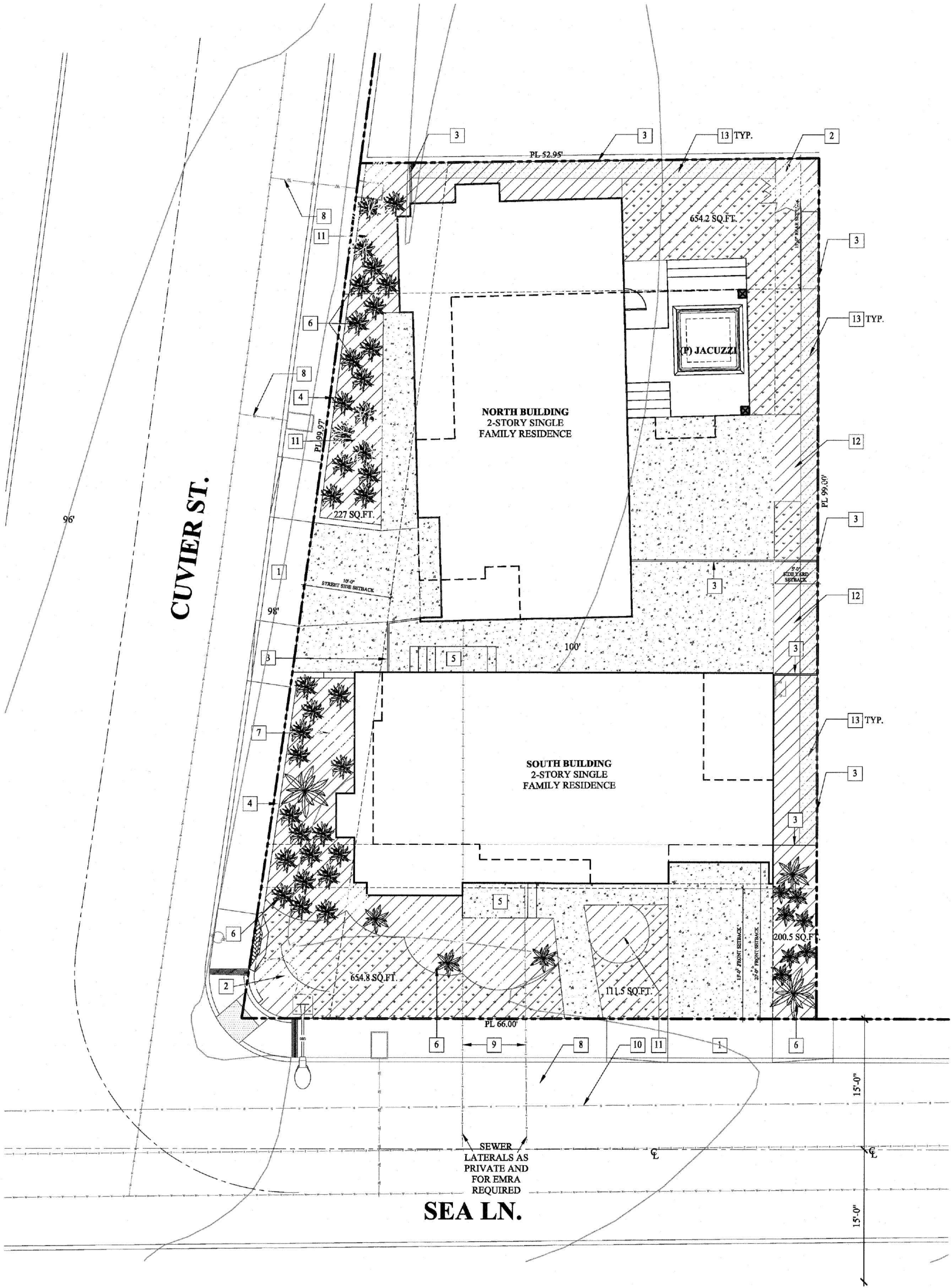
ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. REQUIRED LANDSCAPE AREA SHALL INCLUDE LOW-GROWING WOODY OR HERBACEOUS GROUND COVER, TURF, SHRUBS, OR TREES, OR UNATTACHED UNIT PAVERS, LOOSE ORGANIC OR INORGANIC MATERIALS, OR HARDSCAPE. AREAS OF ARTIFICIAL TURF MAY NOT BE USED FOR REQUIRED LANDSCAPE AREA.

KEYNOTES

- PROPOSED CONC. DRIVEWAY
- EXISTING BROAD HEAD FEATHER PALM TREE TO REMAIN
- EXISTING FENCE TO REMAIN
- EXISTING PLANTER TO REMAIN
- EXISTING STEPS TO REMAIN
- EXISTING SHRUBS TO REMAIN, CAPE RUSH AND FLAX LILY
- EXISTING 24" BOX CANOPY TREE TO REMAIN, INDIAN LAUREL FIG
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING GAS LINE
- NEW KOELREUTERIA BIPINALA (CHINESE FLAME TREE) - 15 GAL.
- NEW MAGNOLIA GRANDIFLORA (LITTLE GEM) - 24" BOX
- NEW FICUS (RETUSA) NITIDA - INDIAN LAUREL FIG - 15 GAL. 2 FEET APART

GENERAL LANDSCAPE NOTES

- THE PLAN IS FOR GENERAL LANDSCAPE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL THE OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
- THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT'S OFFICE.
- NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- MINIMUM TREE SEPARATION DISTANCE:
  - TO TRAFFIC SIGNALS / STOP SIGNS : 20 FT.
  - TO UNDERGROUND UTILITY LINES : 5 FT. (10 FT. TO SEWER)
  - TO ABOVE GROUND UTILITY STRUCTURES : 10 FT.
  - TO DRIVEWAY (ENTRIES): 10 FT. (5' FOR RESIDENTIAL STREETS <25MPH)
- INTERSECTIONS (INTERSECTING CURB LINE OF TWO STREETS): 25 FT.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED DRAIN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS, INCLUDING IN THE RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF PERMIT.
- NOT USED
- PER SD MUNICIPAL CODE 142.0409: MINIMUM OF ONE 24-INCH BOX TREE FOR EVERY 30 FT. OF STREET FRONTAGE OR ONE 10-FOOT BROWN TRUNK HEIGHT PALM TREE FOR EACH 20 FEET OF STREET FRONTAGE.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF TRAVEL WAY PER THE SDMC 142.0403(b)(10).
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED TO NOT EXCEED 3FT IN HEIGHT IN ORDER TO PRESERVE PUBLIC VIEWS
- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR STRUCTURES, THE OWNER/PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL
- OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES.



1 PROPOSED LANDSCAPE PLAN

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"







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06/01/19 START OF COASTAL PHASE  
06/28/19 COASTAL SUBMITTAL  
01/22/20 COASTAL RESUBMITTAL

PHASE: COASTAL PHASE

PROJECT NO. 2019-07

REVIEWED BY: CAM

DRAWN BY: MS

DATE: 03/12/2020

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SHEET TITLE  
PROPOSED LANDSCAPE DEVELOPMENT PLAN

L-1.1.2

City of San Diego Development Services 1222 First Ave., MS-501 San Diego, CA 92101-4154 (619) 446-6000		Landscape Calculations Worksheet Multiple Dwelling Unit Development in All Zones	
Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.			
<b>STREET YARD</b>			
• A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 6 ft. • At least one-half of the required planting points shall be achieved with trees.			
Planting Area Required [142.0404]		Planting Area Provided	Excess Area Provided
Total Area	1,849 sq. ft. x 50% = 924.5 sq. ft.	1,229 sq. ft.	304.5 sq. ft.
Planting Points Required [142.0404]		Plant Points Provided	Excess Points Provided
Total Area	1,849 sq. ft. x 0.05 = 92.45 points	208 points	113.55 points
Points achieved with trees: 400 points			
Planting Area allowable as hardscape or unattached unit pavers [142.0405(b)(1)(B)]		Provided	
Total Area	1,849 sq. ft. x 10% = 184.9 sq. ft.	702 sq. ft.	
<b>REMAINING YARD - 2 Dwelling Units</b>			
Plant Points Required		Plant Points Provided	Points Achieved with trees (at least 50%)
80 points in the remaining yard		230 points	105 Points
<b>REMAINING YARD - 3 or more Dwelling Units</b>			
Plant Points Required		Plant Points Provided	Points Achieved with trees (at least 50%)
80 points x # of buildings		points	Points
<b>VEHICULAR USE AREA (VUA) - See separate worksheet (DS-5)</b>			
<b>ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS</b>			
If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.			
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			
DS-006 (03-09)		Reset Form	

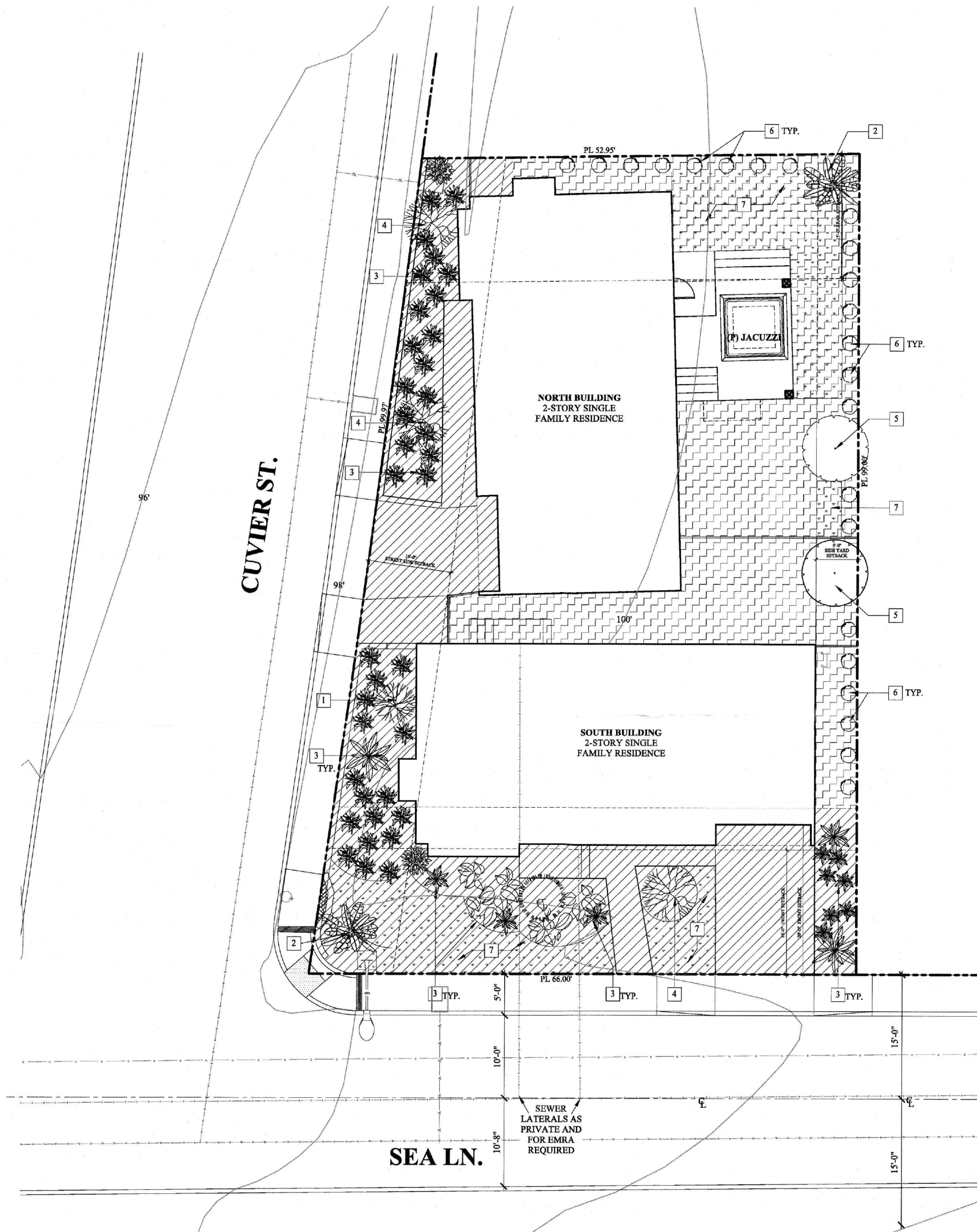
## LANDSCAPE LEGEND

	STREET YARD: 1849 SQ. FT. TOTAL
	REMAINING YARD: 1387 SQ. FT. TOTAL

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## PLANT LEGEND

No.	DESCRIPTION	SYMBOL	QTY.
1	EXISTING 24" BOX CANOPY TREE TO REMAIN, INDIAN LAUREL OR LAUREL FIG		1
2	EXISTING BROAD HEAD FEATHER PALM TREE TO REMAIN		2
3	EXISTING PLANTS: DIANELLA REVOLUTA "BLUE FLAX LILY"		11
3	EXISTING PLANTS: CHONDRPETALUM TECTORUM "CAPE RUSH"		36
4	NEW KOELREUTERIA BIPINNATA CANOPY TREE (CHINESE FLAME TREE OR CHINESE GOLDEN RAIN TREE) 15 GAL		3
5	NEW MAGNOLIA GRANDIFLORA CANOPY TREE (SOUTHERN MAGNOLIA OR BULL BAY) 24" BOX		2
6	NEW FICUS (RETUSA) NITIDA CANOPY TREE (INDIAN LAUREL OR LAUREL FIG) 15 GALLON 2 FEET APART		23
7	NEW ARTIFICIAL GRASS (619 S.F. 34% OF TOTAL LANDSCAPE)		



## 1 LANDSCAPE DEVELOPMENT PLAN

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

