



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 30, 2020 REPORT NO. HO-20-044

HEARING DATE: October 7, 2020

SUBJECT: Sprint Carmel Mountain, Process Three Decision

PROJECT NUMBER: [649020](#)

OWNER/APPLICANT: City of San Diego/T-Mobile

SUMMARY

Issue: Should the Hearing Officer approve a Wireless Communication Facility (WCF) within the Public Right-of-Way (ROW) located on the south side of Carmel Mountain Road, east of Harvest Run Drive, in the Carmel Valley Community Planning area?

Staff Recommendation: Approve Conditional Use Permit (CUP) No. 2462653.

Community Planning Group Recommendation: On January 23, 2020, the Carmel Valley Community Planning Board voted 7-0-0 to recommend approval of the project with no conditions (Attachment 9).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 10, 2020 and the opportunity to appeal that determination ended July 24, 2020 (Attachment 8).

BACKGROUND

Sprint is proposing to continue to operate and obtain a new entitlement for a Wireless Communication Facility (WCF) located in the Public Right-of-Way (ROW) on the south side of Carmel Mountain Road, east of Harvest Run Drive in the Carmel Valley Planned District- Educational Park (CVPD-EP) zone in the Carmel Valley Community Plan Area. Land uses surrounding the project site include single family residential uses with Sage Canyon Park to the south (Attachments 1, 2, 3).

The WCF was originally approved under Project No. 29437, a Neighborhood Use Permit (NUP), a process 2 approval, in July of 2004. The permit expired in July of 2014. The facility consists of a 30-

foot-tall city light standard supporting two panel antennas. The associated equipment is located in a subterranean vault adjacent to the light pole with a four-foot tall-strong box and two 3-foot-tall vent pipes above ground.



DISCUSSION

Sprint is proposing to upgrade the facility by replacing two antennas with three in addition to replacing three cabinets inside the vault. The majority of associated equipment is located in a subterranean vault with two vent pipes and one strong box above ground, adjacent to the pole. Three panel antennas will be mounted on the outside of the pole, below the mast arm and chin covers will be added to conceal the cables going from the antennas into the pole (Attachment 12). This project will allow Sprint to continue service in the area with upgraded technology.

Council Policy 600-43 (Wireless Communication Facilities) assigns preference levels to WCFs proposed on different land uses, with Preference 1 being the highest and Preference 4 the lowest. The preference levels correspond to the process levels in the Land Development Code. Generally, WCFs in the ROW are a higher preference level, but this project, because of the above ground equipment, is a preference 3, which corresponds to the required CUP.

Community Plan Analysis

The Carmel Valley Community Plan was written before the advent of wireless technology. However, the City of San Diego's General Plan Urban Design Element recommends that the visual impact of WCFs should be minimized by concealing them in existing structures or using camouflage and screening techniques to hide or blend them into the surrounding area. Furthermore, the Plan indicates that facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures.

The speed limit along Carmel Mountain Road is 45 miles per hour and the streetlights are spaced approximately every 100 feet along both sides of Carmel Mountain Road. Sprint's antennas will be painted to match the pole and chin covers will be added to the bottom of the antennas to conceal the coax cables. The light pole supporting Sprint's antennas integrates well into the community and

views of the WCF are negligible. Other than the vent pipes and the strong box, the remaining equipment is in a subterranean vault. Therefore, the Sprint Carmel Mountain project meets the intent of General Plan Urban Design Element Section UD-A.15.

Conclusion:

Based on the design and location, the project complies with the WCF Regulations (San Diego Municipal Code Section 141.0420) and is consistent with the Carmel Valley Community Plan. Staff has prepared draft findings in the affirmative to approve the project and recommends approval of Conditional Use Permit No. 2462653 (Attachment 5).

ALTERNATIVES

1. Approve Conditional Use Permit No. 2462653, with modifications.
2. Deny Conditional Use Permit No. 2462653, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

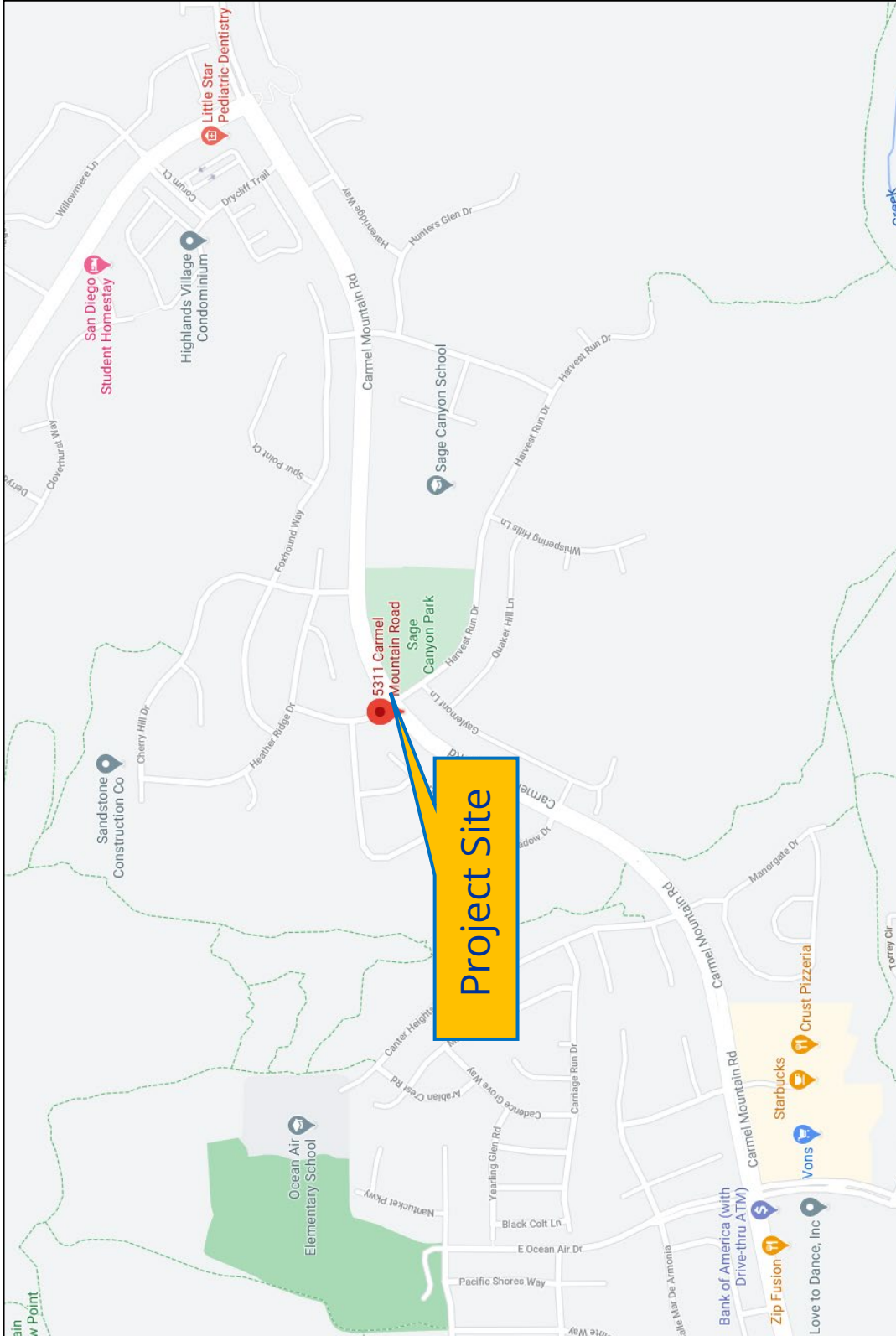
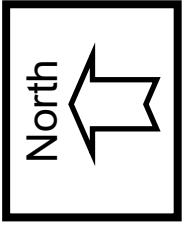
Respectfully submitted,



Nilia Safi, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Map
8. Environmental Exemption
9. Community Planning Group Recommendation
10. Photo Survey
11. Photo Simulations
12. Project Plans

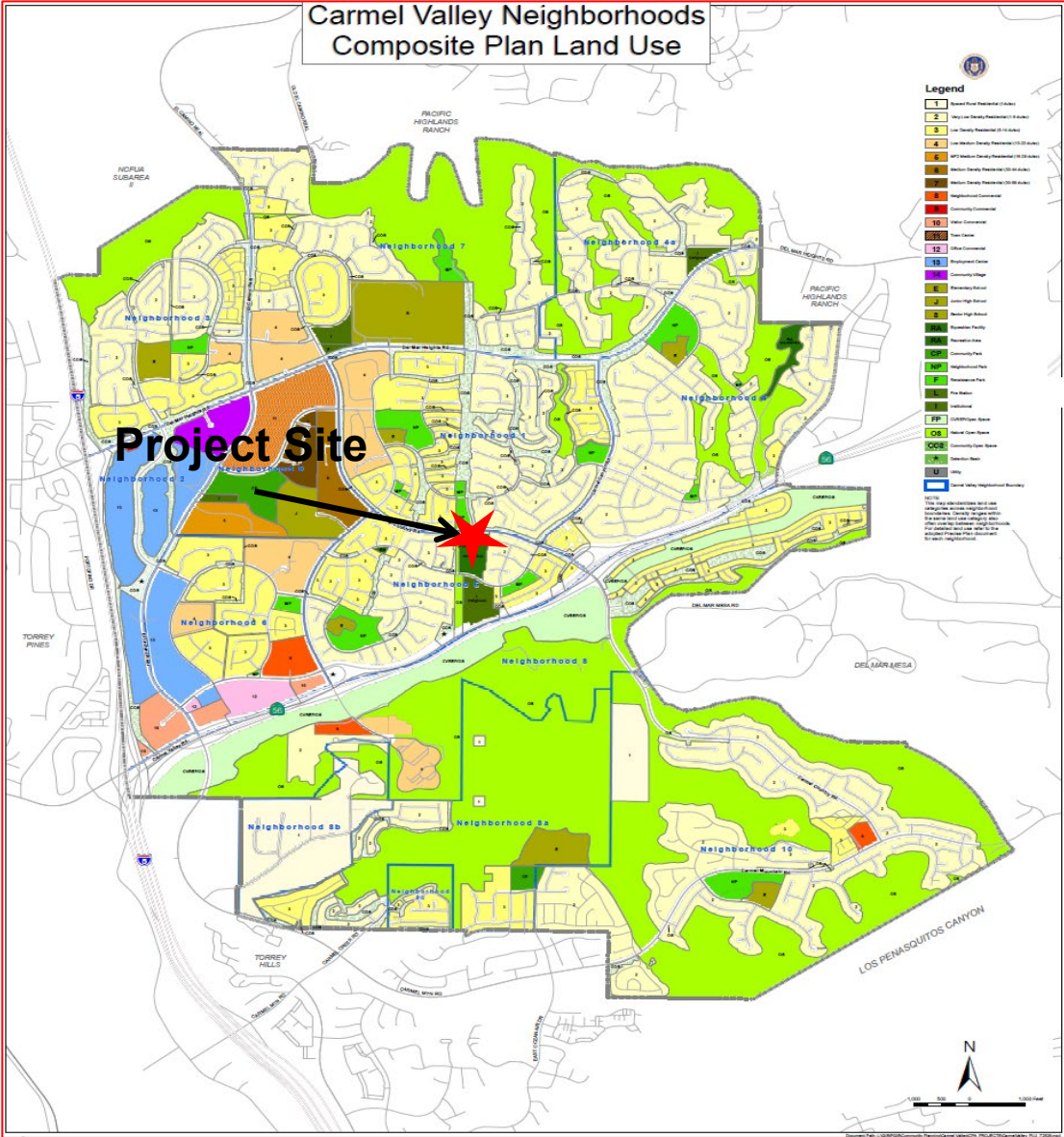


Project Location Map

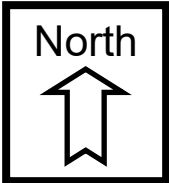
Sprint/Carmel Mountain
PROJECT NO. 649020

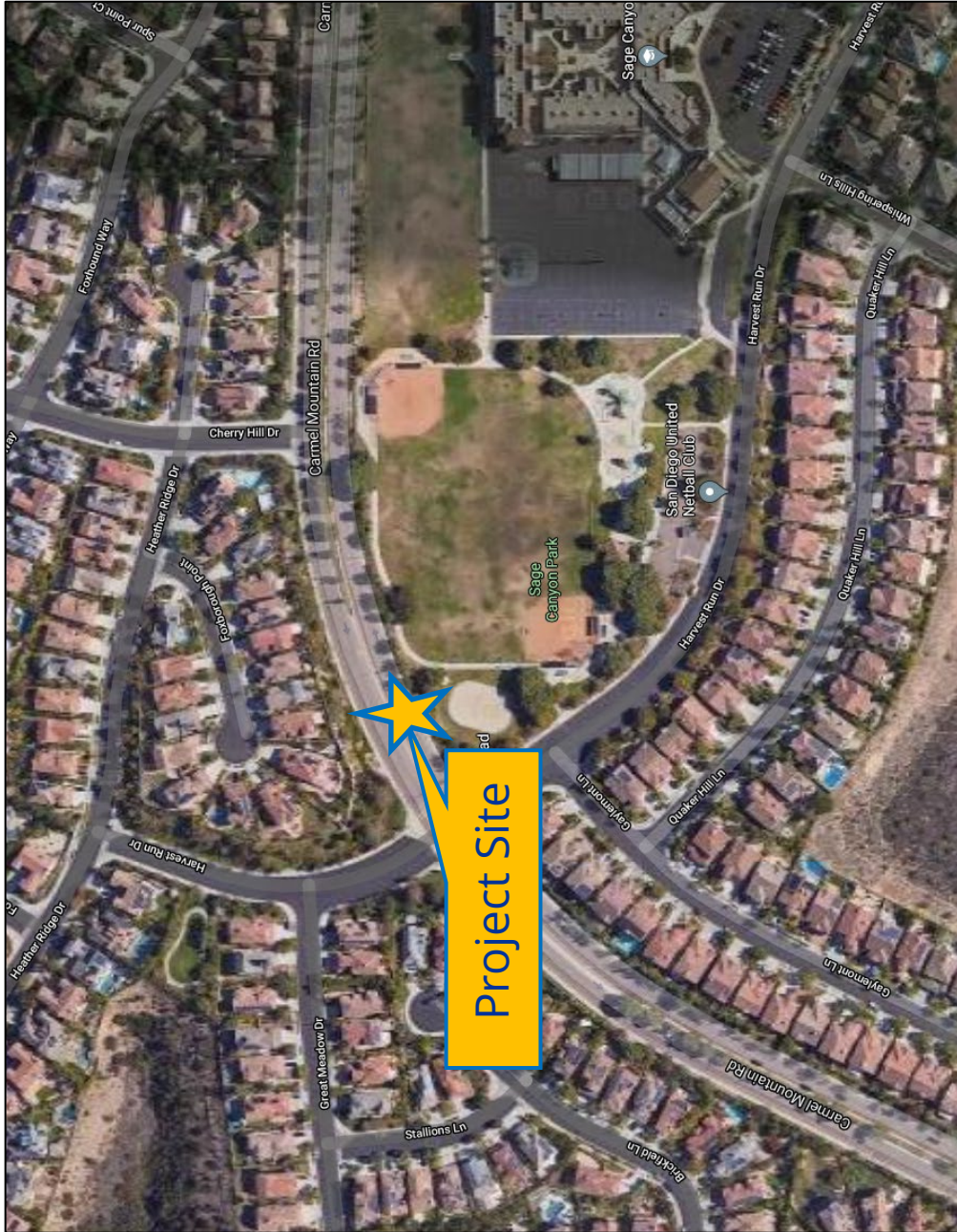
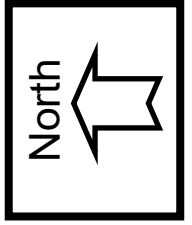


Carmel Valley Community Plan



Land Use Map
Sprint/Carmel Mountain
PROJECT NO. 649020





Aerial Photo
Sprint /Carmel Mountain
PROJECT NO. 649020



PROJECT DATA SHEET

PROJECT NAME:	Sprint Carmel Mountain	
PROJECT DESCRIPTION:	Placement of three antenna on a 30' standard street light with associated equipment located in a subterranean vault, adjacent to the pole.	
COMMUNITY PLAN AREA:	Carmel Valley	
DISCRETIONARY ACTIONS:	Conditional Use Permit (CUP)	
COMMUNITY PLAN LAND USE DESIGNATION:	Open Space	
ZONING INFORMATION:		
ZONE:	CVPD-EP - Carmel Valley Planned District Educational Park	
HEIGHT LIMIT:	30 feet	
LOT SIZE:	n/a	
FLOOR AREA RATIO:	n/a	
FRONT SETBACK:	n/a	
SIDE SETBACK:	n/a	
STREETSIDE SETBACK:	n/a	
REAR SETBACK:	n/a	
PARKING:	n/a	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	CVPD-SF3; Residential Low Density 5-14 Du/Ac	Single Family
SOUTH:	CVPD- EP; Educational Park	Park
EAST:	CVPD-SF3; Residential Low Density 5-14 Du/Ac	Single Family
WEST:	CVPD-SF3; Residential Low Density 5-14 Du/Ac	Single Family
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On Jan 23, 2020, the Carmel Valley Community Planning Group voted 7-0-0 to recommend approval of the project.	

**HEARING OFFICER,
RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 2462653
SPRINT CARMEL MOUNTAIN NO. 649020**

WHEREAS, City of San Diego, Owner and Sprint PCS Assets, L.L.C., a Delaware Limited Liability Company, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2462653) within the Public Right-of-Way (ROW);

WHEREAS, the project site is located in the Public Right-of-Way (ROW) on the south side of Carmel Mountain Road, east of Harvest Run Drive in the Carmel Valley Planned Development-Educational Park (CVPD-EP) zone of the Carmel Valley Community Plan area;

WHEREAS, on July 10, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on October 7, 2020, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2462653, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2462653:

CONDITIONAL USE PERMIT SDMC Section 126.0305

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes the continued operation of a Sprint Wireless Communication Facility (WCF) located in the Public Right-of-Way (ROW) on the south side of Carmel Mountain Road, east of Harvest Run Drive within the Carmel Valley Community Plan area. Sprint is proposing to remove two existing antennas from an existing 30-foot-tall standard City light pole and replace it with three antennas with chin covers (made out of molded fiberglass that match the antenna dimension and profile), to conceal the cables.

The Carmel Valley Community Plan was written prior to the advent of the wireless technology, but the City of San Diego General Plan, Urban Design Element (UD-A.15), requires that the visual impact of WCFs be minimized by concealing wireless facilities inside existing structures or using screening techniques to blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood characteristics through concealment of the associated equipment. Replacing the existing antennas with smaller antennas will reduce the visual impact of the current WCF in this location.

WCFs are permitted in all zones citywide with the appropriate permit process. WCFs are separately regulated uses, which have limitations or required compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. In this case, the panel antennas will be mounted to the existing light pole and painted to match. The addition of chin covers ensures that the cables between the antennas and pole are concealed, which will reduce any potential visual impacts. The majority of equipment is located within a subterranean vault with two vent pipes and one telco cabinet located adjacent to the pole on the ground. Pursuant to San Diego Municipal Code (SDMC) Section 141.0420(e)(3) the project consists of a WCF within the (ROW), which requires a Conditional Use Permit (CUP), Process 3, Hearing Officer decision.

As a result, the project complies with San Diego Municipal Code (SDMC) Section 141.0420, Wireless Communication Facilities, the WCF Design Guidelines, as well as the City's General Plan. The proposed development would not adversely affect the Carmel Valley Community Plan or the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project is located on the south of Carmel Mountain Road, east of Harvest Run Drive in the Carmel Valley Community Plan area. The project consists of the removal of two antennas from an existing 30-foot-tall City light pole and the installation of three panel antennas with chin covers (made out of molded fiberglass that match the antenna dimension and profile), to conceal the cables. The majority of equipment is located within a subterranean vault and a small cabinet and two vent pipes are located adjacent to the pole on the ground.

The project was determined to be exempt from CEQA pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare to include but not limited to height limitation, concealment requirements, and electromagnetic fields controls. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An Electromagnetic Energy Exposure Report was prepared, which concluded that the project will comply with FCC standards for RF emissions. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located within the CVPD-EP zone of the Carmel Valley Community Plan area. The project meets all applicable requirements of the zone. The WCF Regulations (Land Development Code Section 141.0420) contain design requirements for WCFs, which include the requirement to utilize the smallest, least visually intrusive antennas, components and other necessary equipment and to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration.

Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions. The speed limit along Carmel Mountain Road is 45-miles-per-hour and the streetlights are spaced approximately every 100 feet along both sides of Carmel Mountain Road. Sprint's antennas will be painted to match the pole and chin straps will be added to the bottom of the antennas to conceal the coax cables. The light pole supporting Sprint's antennas integrates well into the streetscape and views of the WCF are

negligible. Other than the vent pipes and the strong box, the remaining equipment is in a subterranean vault. Therefore, the Sprint Carmel Mountain project will comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The project is located in the Public Right-of-Way (ROW) on the south side of Carmel Mountain Road, east Harvest Run Drive in the Carmel Valley Community Plan area. Carmel Mountain is lined with standard City streetlights on both sides of the street, spaced approximately 100 feet apart. Sprint is proposing to replace two panel antennas with three panel antennas slightly longer than one foot. The new antennas will be located on top of the pole just below the mast arm and will be painted to match the pole reducing the potential for any visual impact. In addition, since streetlights are expected to be located within the ROW, for public service, placement of the antennas which also provides service, will maximize the use of the existing pole as the antennas are painted to blend with the light pole. This ensures that the proposed project is appropriate at this location.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2462653 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.2462653, a copy of which is attached hereto and made a part hereof.

Nilia Safi
Development Project Manager
Development Services

Adopted on October 7, 2020

IO#: 11003679

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER:11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2462653
SPRINT CARMEL MOUNTAIN PROJECT NO. 649020
HEARING OFFICER

This Conditional Use Permit No. 2462653 is granted by the Hearing Officer of the City of San Diego to, City of San Diego, Owner, and Sprint PCS Assets, L.L.C., a Delaware Limited Liability Company, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420 and 126.0303. The site is located within City of San Diego Public Right-of-Way on the south side of Carmel Mountain Road, east of Harvest Run Drive in the Carmel Valley Planned Development-Educational Park (CVPD-EP) zone of the Carmel Valley Community Plan area.

Subject to the terms and conditions set forth in this Permit, permission is granted to Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 7, 2020, on file in the Development Services Department.

The project shall include:

- a. An existing 30-foot-tall City light standard supporting three panel antennas measuring 15.7"x12.9"x9.8". Each antenna will include a chin cover to conceal coax cables. All antennas and chin covers will be painted to match the color and texture of the pole;
- b. Equipment located in a subterranean vault with associated above ground equipment located adjacent to the pole, as illustrated in the "Exhibit A" dated, October 7, 2020;
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 21, 2023.
2. The above utilization date notwithstanding, the granting of this discretionary permit does not entitle the continued operation of the existing, expired facility. Within 60 days of permit approval, applications must be made for all required construction permits. Within 90 days of application, all required construction permits must be issued. Within 90 days of permit issuance, final inspection must be obtained.
3. This permit and corresponding use of this site shall **expire on October 21, 2030**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
4. No later than ninety (90) days prior to the expiration of this approval, the Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
5. Under no circumstances, does approval of this permit authorize the Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.

9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

10. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

11. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

13. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

14. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement

or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any construction permit, the Permittee shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Carmel Mountain Road's Right-of-Way.

16. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Carmel Mountain Road's Right-of-Way.

17. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the Right-of-Way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

18. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials, and texture. Any future modifications to this permit must not defeat concealment.

19. No exposed cabling is permitted.

20. The Wireless Communication Facility (WCF) shall conform to the approved exhibits.

21. The Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Permittee shall be responsible for complying with all State and Federal regulations.

22. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
23. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
24. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
25. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.
26. Final inspection shall not be granted until the final product conforms to the stamped approved plans and approved photo simulation(s).

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Please note that a Telecom Planning Inspection Issues will be placed on the project prior to Final Clearance from the City Building Inspector to ensure compliance with the associated plans and associated conditions. Prior to calling for your final inspection from your building inspection official, please contact the project manager listed below at 619-446-5236 to schedule an inspection of the completed facility. Please schedule the administrative inspection at least five days ahead of the requested Final Inspection date.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 7, 2020.

ATTACHMENT 6

Permit Type/PTS Approval No.: CUP No.2462653
Date of Approval: October 7, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nilia Safi
Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

City of San Diego
Owner

By _____
NAME:
TITLE:

Sprint PCS Assets, L.L.C
Permittee

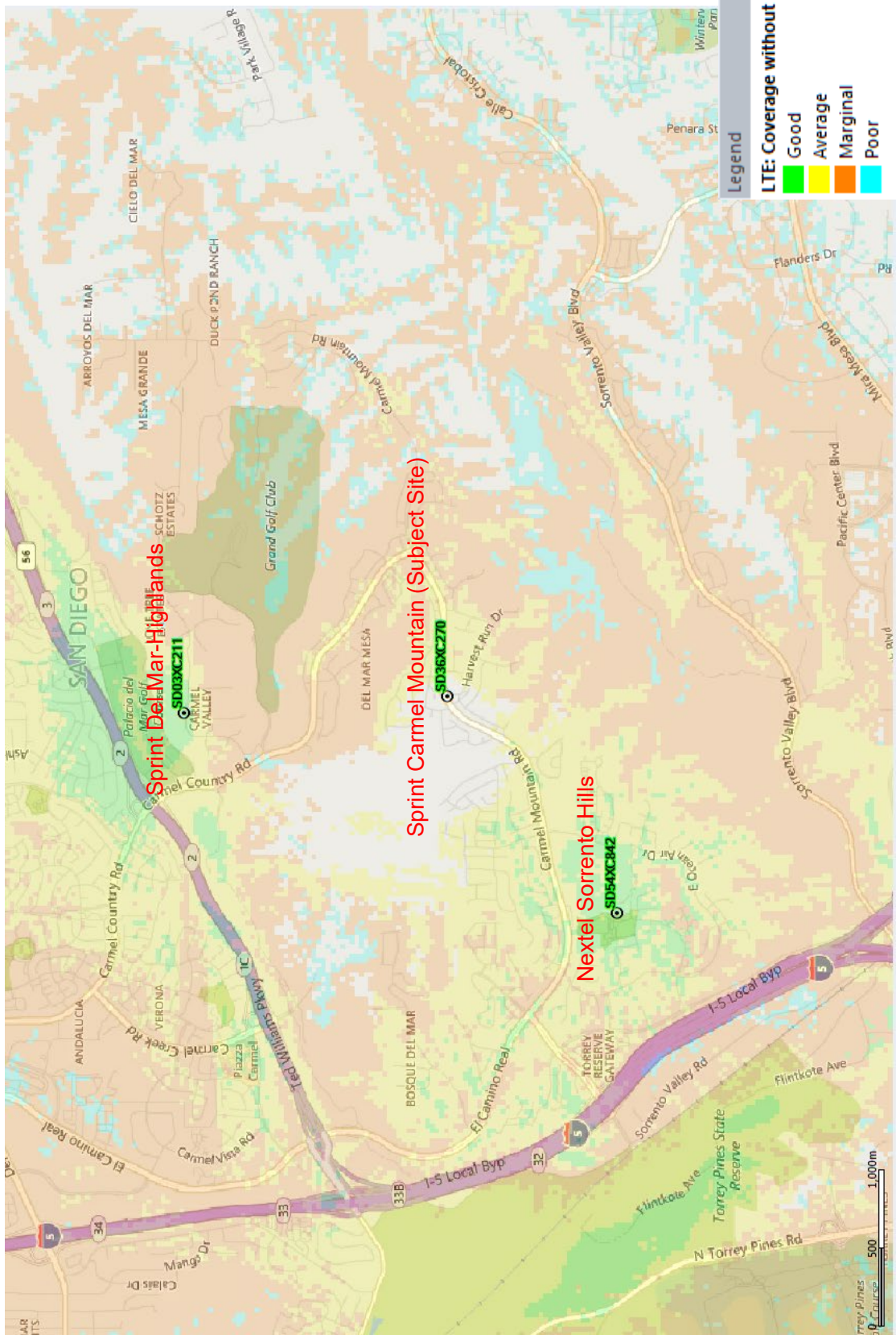
By _____
NAME:
TITLE:

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



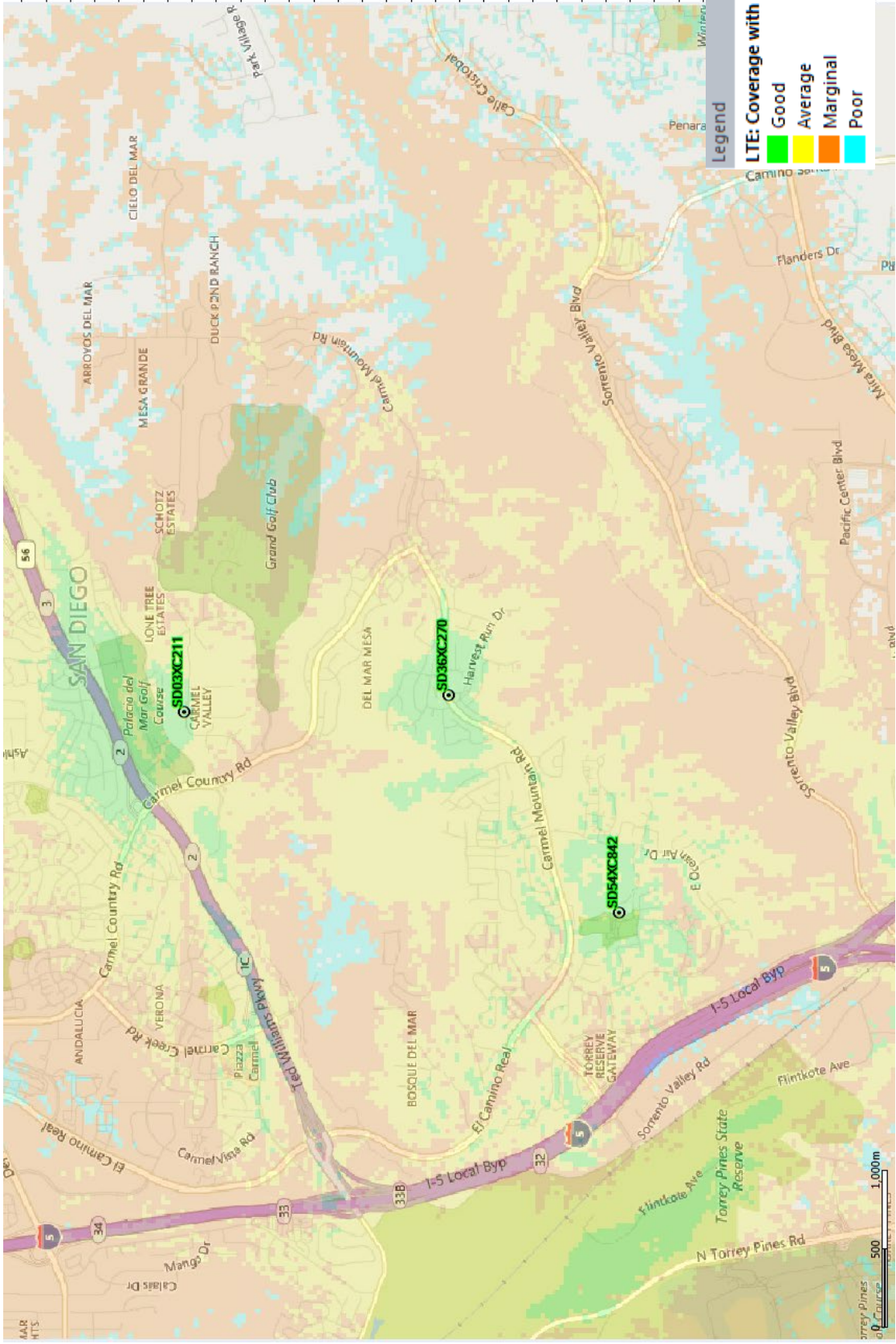
San Diego SD36XC270 RF Coverage Maps

1.9 LTE Coverage without SD36XC270



© 2013 Sprint. This information is subject to Sprint policies regarding use and is the property of Sprint and/or its relevant affiliates and may contain restricted confidential or privileged materials intended for the sole use of the intended recipient. Any review, use, distribution or disclosure is prohibited without authorization.

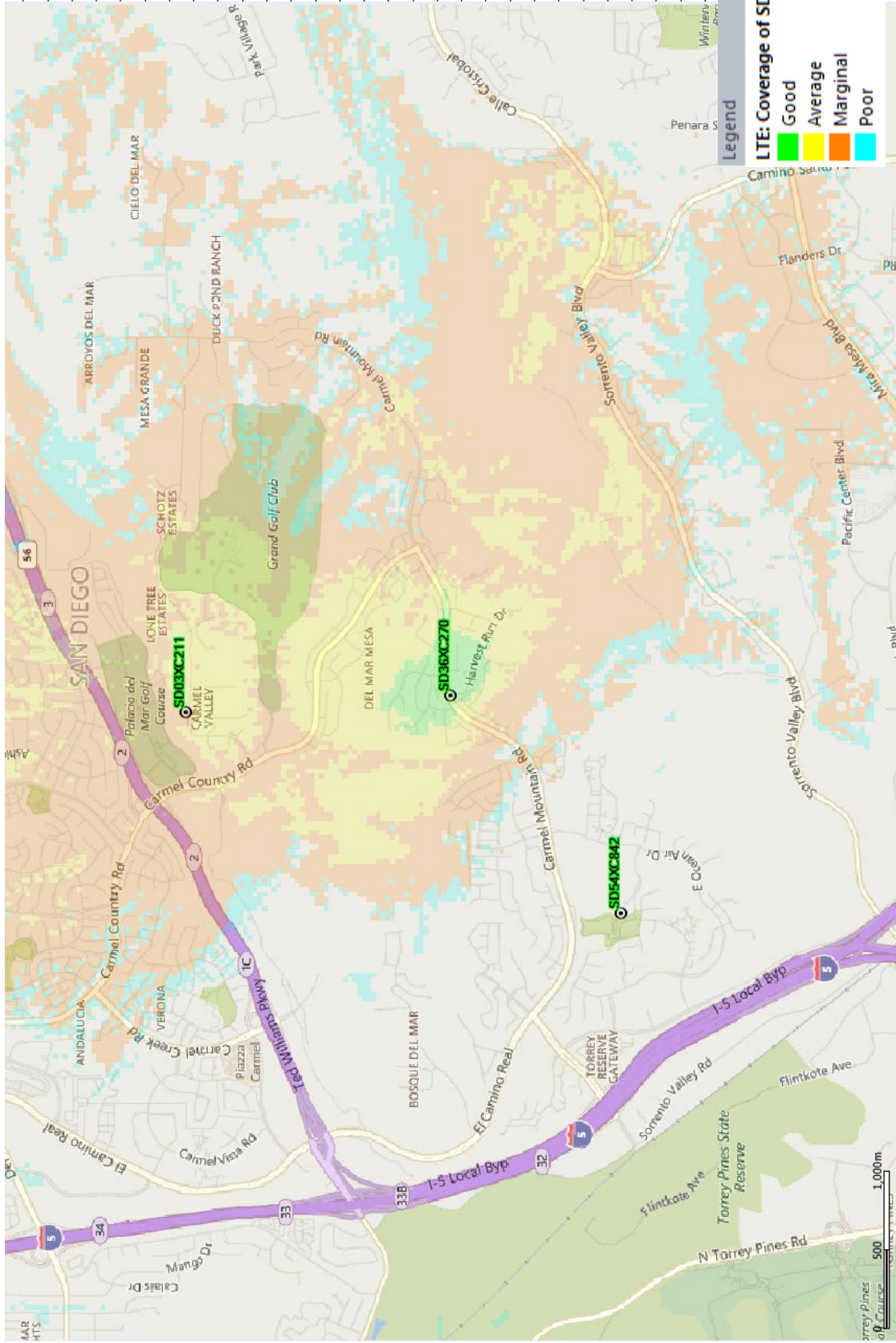
1.9 LTE Coverage with SD36XC270



© 2013 Sprint. This information is subject to Sprint policies regarding use and is the property of Sprint and/or its relevant affiliates and may contain restricted confidential or privileged materials intended for the sole use of the intended recipient. Any review, use, distribution or disclosure is prohibited without authorization.



1.9 LTE Coverage of SD36XC270



© 2013 Sprint. This information is subject to Sprint policies regarding use and is the property of Sprint and/or its relevant affiliates and may contain restricted confidential or privileged materials intended for the sole use of the intended recipient. Any review, use, distribution or disclosure is prohibited without authorization.

NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 649020

Project Title: Sprint Carmel Mountain

PROJECT LOCATION-SPECIFIC: The project is located in the Public Right of Way on the south side of Carmel Mountain Road and east of Harvest Run Drive, in close proximity to 8155 Carmel Mountain Road, San Diego CA.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) for an existing Sprint wireless facility located in right of way to remove two (2) existing Antennas and install three (3) new antennas, three (3) new RRH units in the existing underground vault with associated conduit connections. The site is in the Right of Way on the south side of Carmel Mountain Road and east of Harvest Run Drive in the CVPD-EP Base Zone. The WCF is unmanned and technicians would visit the site only as required for routine maintenance

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Mark Phillips, 2014 Granada Avenue, San Diego CA, 92104. (619) 379-3473.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: 15301 (Existing Facilities) and 15303 (New Construction)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. Since the proposed project would permit the existing facility without expanding the use of the WCF the exemption is appropriate. In addition, Section 15303 allows for the construction of small facilities and the project would only add features to the existing WCF the exemption. Therefore, no environmental impacts were identified and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Jeff Szymanski / SENIOR PLANNER
SIGNATURE/TITLE

9/9/2020
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY
CLERK OR OPR:

DATE RECEIVED FOR FILING WITH COUNTY

Page 3		City of San Diego · Information Bulletin 620		May 2020
		City of San Diego Development Services		Community Planning Committee Distribution Form
Project Name: Sprint Carmel Mountain			Project Number: 649020	
Community: Carmel Valley				
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>				
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny				
# of Members Yes 7		# of Members No 0		# of Members Abstain 0
Conditions or Recommendations:				
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.) Motion to approve the CUP renewal and swap of antennas.				
NAME: Frisco White				
TITLE: Chair			DATE: August 28, 2020	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>				



5311 1/3 CARMEL MOUNTAIN RD (ROW)

SPRINT CARMEL MOUNTAIN ROW

PHOTOGRAPHIC SURVEY

09-15-2019



1. LOOKING SOUTHWEST AT PROPOSED SITE



2. LOOKING SOUTH AT PROPOSED SITE



3. LOOKING SOUTHEAST AT PROPOSED SITE



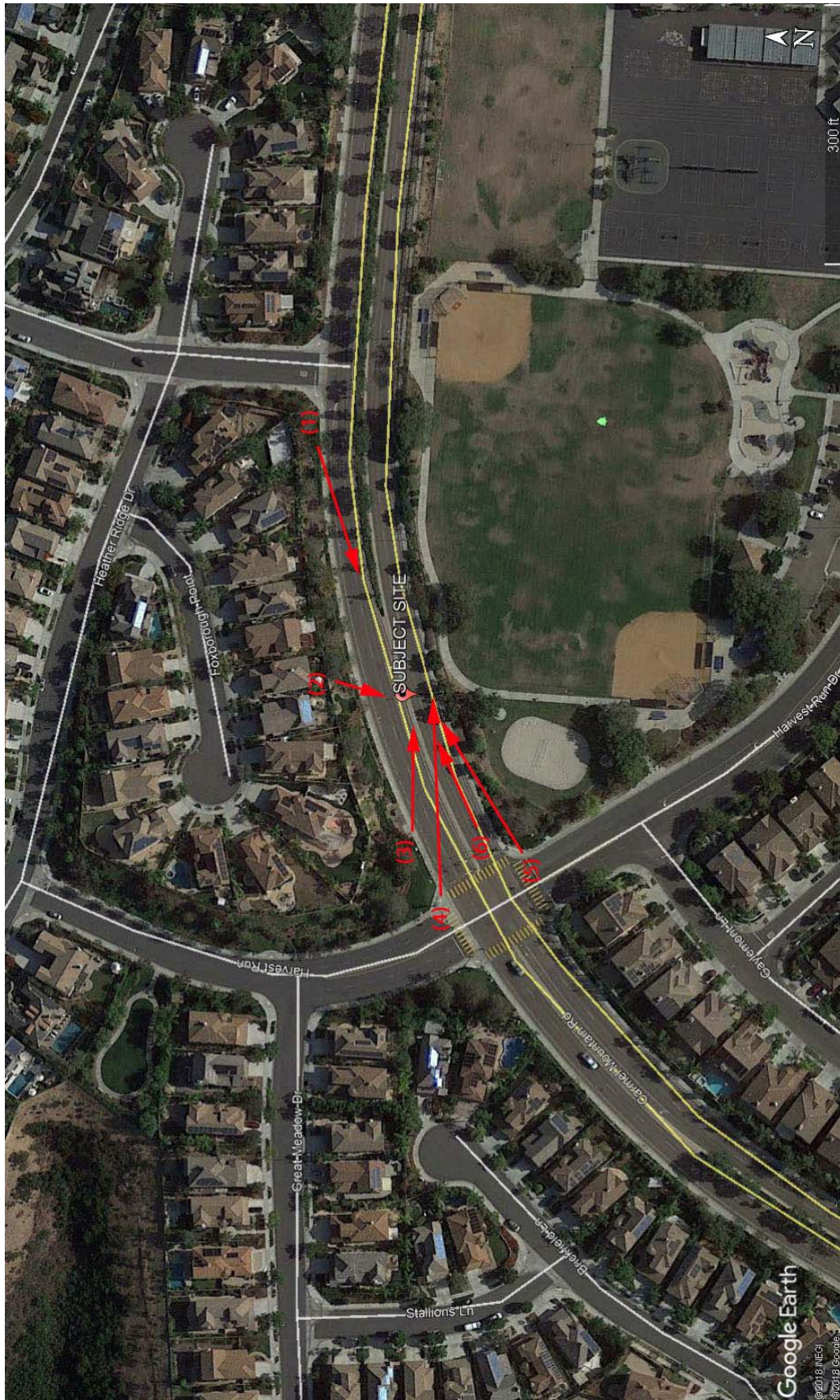
4. LOOKING EAST AT PROPOSED SITE



5. LOOKING NORTHEAST AT PROPOSED SITE



6. LOOKING EAST AT EXISTING EQUIPMENT VAULT



KEY MAP



©2019 Google Maps

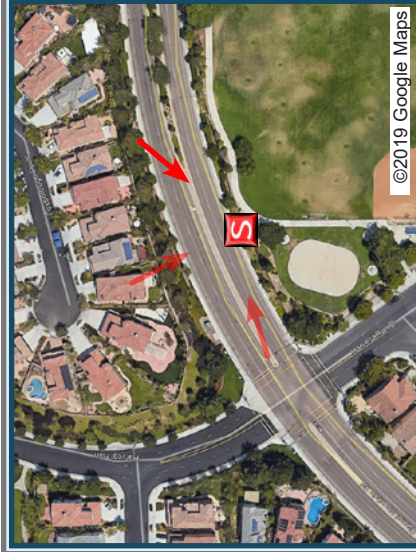


EXISTING



PROPOSED

LOOKING NORTHEAST FROM CARMEL MOUNTAIN ROAD



©2019 Google Maps



EXISTING



PROPOSED

LOOKING SOUTHWEST FROM CARMEL MOUNTAIN ROAD



©2019 Google Maps



EXISTING



PROPOSED LOOKING SOUTHEAST FROM CARMEL MOUNTAIN ROAD

SPRINT PROJECT MANAGER:

NAME: SPRINT
 ADDRESS: 3730 FIFTH AVENUE
 CITY, STATE, ZIP: SAN DIEGO, CA. 92109
 CONTACT: MARY HAMILTON
 PHONE: (858) 720-0166
 EMAIL: MARY.HAMILTON@SPRINT.COM

SPRINT RF ENGINEER:

NAME: SPRINT
 ADDRESS: 3730 FIFTH AVENUE
 CITY, STATE, ZIP: SAN DIEGO, CA. 92109
 CONTACT: MAYUR DESAI
 PHONE: (714) 876-4726
 EMAIL: MAYUR.DESAI@SPRINT.COM

SPRINT CONSTRUCTION MANAGER:

NAME: SPRINT
 ADDRESS: 3730 FIFTH AVENUE
 CITY, STATE, ZIP: SAN DIEGO, CA. 92109
 CONTACT: STEVE LAYMAN
 PHONE: (619) 417-6295
 EMAIL: STEVE.LAYMAN@SPRINT.COM

ENGINEER:

NAME: COASTAL COMMUNICATIONS
 ADDRESS: 5841 EDISON PL, STE. 200
 CITY, STATE, ZIP: CARLSBAD, CA 92008
 CONTACT: TODD THREW
 PHONE: (760) 929-0910 EXT. #101
 EMAIL: TODD@COASTALCOMMINC.COM

PROJECT TEAM



SD36XC270
 5311 1/3 CARMEL MOUNTAIN RD
 SAN DIEGO, CA
 (32.926906, -117.206675)



LOCAL VICINITY MAP

- SPRINT TO COMPLETE THE FOLLOWING:
- REMOVE (2) EXISTING ANTENNAS AND MOUNTING EQUIPMENT.
 - REMOVE EXISTING COAX.
 - INSTALL (6) NEW 7/8" COAX THROUGH EXISTING CONDUIT.
 - INSTALL (3) APXVFR12X-C-I20 ANTENNAS WITH MOUNTING KIT AMP40.
 - INSTALL CHIN STRAPS TO COVER COAX ENTRY, ON EACH SIDE OF POLE.
 - INSTALL (3) NEW NOKIA RRH2X50-800MHZ IN EXISTING VAULT.

PROJECT SUMMARY

SHEET NO.	DESCRIPTION:
T-1	TITLE SHEET
T-2	GENERAL NOTES
T-3	CITY NOTES
A-1	IMPROVEMENT PLAN
A-2	VAULT PROFILE
A-3	POLE PROFILE
D-1	DETAILS
S-1	PHOTO SIMULATION
S-2	PHOTO SIMULATION
S-3	PHOTO SIMULATION

SHEET INDEX:

CVPD-EP BASE ZONE
 BASE ZONE

PROJECT IS LOCATED:
 CAMEL VALLEY
 COMMUNITY PLANNING AREA

PROJECT IS LOCATED:
 DISTRICT 1
 COUNCIL DISTRICT

OWNER / DEVELOPER:

 3730 FIFTH AVENUE
 SAN DIEGO, CA. 92103

TITLE SHEET FOR:
 5311 1/3 CARMEL MOUNTAIN RD

CITY OF:
 SAN DIEGO

HUB ID:

PROJECT NUMBER:
 SD36XC270

PROJECT MANAGER:
 STEVE CARBULLIDO



1-800-227-2600
 CALL AT LEAST TWO DAYS BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT
 TICKET # _____

PLANS PREPARED BY:



REVISIONS:

DATE:	COMPLETED BY:

DRAFTED BY: S.N. DATE: 10/22/19

REVIEWED BY: P.L. DATE: 10/22/19

FILE NAME:
 PROJECTS/SP/SP/SP1000

SHEET NUMBER:

T-1

DECLARATION OF RESPONSIBLE CHARGE:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

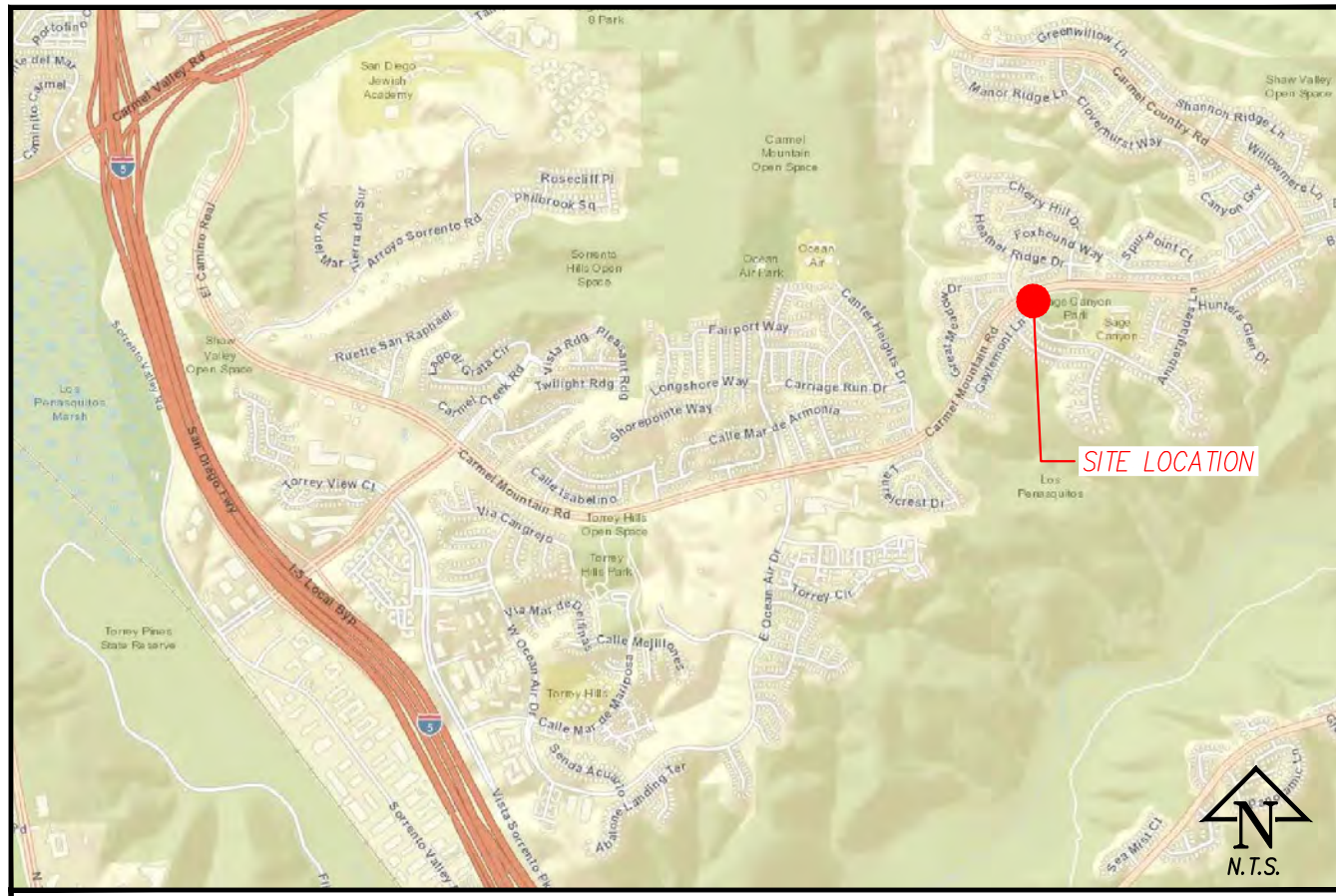
NOTE:

IF A CITY OF SAN DIEGO TRAFFIC DETECTOR LOOP IS TO BE CUT, NOTICE IS TO BE PROVIDED TO THE CITY TRAFFIC ENGINEERING DEPARTMENT 2 WORKING DAYS PRIOR TO CUTTING THE LOOP. LOOP MUST BE REPAIRED WITHIN 5 CALENDAR DAYS.

CODE COMPLIANCE

- STREET USE PERMIT SHALL BE OBTAINED BY CONTRACTOR PRIOR TO COMMENCING WORK.
 - ALL WORK TO BE CONDUCTED IN THE RIGHT OF WAY.
 - ALL DISTURBED LANDSCAPING SHALL BE REPLACED TO SIMILAR EXISTING CONDITION.
 - ANY SIDEWALK CLOSURE SHALL BE COORDINATED WITH THE CITY AND PROPER SIGNING WILL BE PLACED.
 - NO MATERIALS OR EQUIPMENT SHALL BE STORED ON PRIVATE PROPERTY OR BLOCK ACCESS TO PRIVATE PROPERTY.
 - CLEANUP OF SITE WILL BE COMPLETED EACH EVENING AND THE SITE WILL BE RETURNED TO EXISTING CONDITIONS AT THE COMPLETION OF CONSTRUCTION AT EACH SITE.
- CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR RESPONSIBLE FOR SAME.

GENERAL CONTRACTOR NOTES



OVERALL VICINITY MAP

	DESCRIPTION	QUANTITY
VAULTS (PVT)	11" X 17"	0
	13 5/8" X 19"	0
	2' X 3'	0
COAX (PVT)	7/8" PVC	0'
	1-1/4" PVC	0'
	3" PVC	0'

BILL OF MATERIALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

PROJECT MANAGER: _____ DATE: _____

CONSTRUCTION MANAGER: _____ DATE: _____

SPRINT RF ENGINEER: _____ DATE: _____

APPROVALS

EROSION AND SEDIMENT CONTROL NOTES:

- TEMPORARY EROSION/SEDEMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW.
- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED PUBLIC IMPROVEMENTS CONSISTENT WITH THE EROSION CONTROL PLAN AND/OR WATER POLLUTION CONTROL PLAN (WPCP), IF APPLICABLE.
 - FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
 - THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
 - THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
 - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAIN SEASON.
 - THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
 - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
 - ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED IMPROVEMENT PLAN SHALL BE INCORPORATED HERON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 - ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
 - THE CONTRACTOR WILL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF AN, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

NOTES:

- CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS.
- CONTRACTOR TO PLACE SANDBAGS AROUND ANY/ALL STORM DRAIN INLETS TO PREVENT CONTAMINATED WATER.
- SPOILS PILE WILL BE COVERED AND CONTAINED AND STREET WILL BE SWEEPED AND CLEANED AS NEEDED.
- CONTRACTOR REPAIR DAMAGED PUBLIC IMPROVEMENTS TO THE SATISFACTION OF THE CITY ENGINEER.
- CURB & GUTTER TO BE PROTECTED IN PLACE, SIDEWALK TO BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL RESTORE THE ROADWAY BACK TO ITS ORIGINAL CONDITION SATISFACTORY TO THE CITY ENGINEER INCLUDING, BUT NOT LIMITED TO PAVING, STRIPING, BIKE LANES, PAVEMENT LEGENDS, SIGHS, AND TRAFFIC LOOP DETECTORS.
- SIDEWALK SHALL BE RESTORED/REPLACED PER CITY OF COMPTON STANDARD DRAWINGS.
- PEDESTRIAN RAMP WILL NOT BE DISTURBED.

ROW GROUND CONSTRUCTION:

- GROUND CONSTRUCTION TO REMOVE/CLEAN ALL DEBRIS, NAILS, STAPLES, OR NON-USED VERTICALS OFF THE POLE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNT, STATE, FEDERAL, G095 AND G0128 STANDARDS AND REGULATIONS.
- CALL USA 48 HOURS PRIOR TO EXCAVATING AT (800) 277-600 OR 811.
- ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
- ALL EQUIPMENT TO BE BONDED.
- METERING CABINET REQUIRES 36" CLEARANCE AT DOOR OPENING.
- CAULK CABINET BASE AT PAD.

NORMAL LOCATION OF UNDERGROUND UTILITIES NOTES:

- LOCATION AND DEPTH OF EXISTING AND PROPOSED UTILITIES MUST BE PROVIDED BY THE SUBDIVIDER AND SHOWN ON ANY PLANS SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL.
- CHANGES MAY BE PERMITTED BY THE DEPARTMENT OF PUBLIC WORKS IN CASES OF CONFLICTING FACILITIES.
- CONFLICTS BETWEEN UTILITY OF COMPANIES FACILITIES, EXISTING AND PROPOSED, MUST BE MUTUALLY RESOLVED BY THE UTILITY COMPANIES.
- FOR COMMERCIAL SIDEWALKS, THE FIRE HYDRANT SHALL BE PLACED WITHIN THE SIDEWALK 1'-6" BEHIND FACE OF CURB.
- MAXIMUM 2" DIAMETER GAS MAINS MAY BE PLACED IN JOINT UTILITIES TRENCH SUBJECT TO APPROVAL OF CITY ENGINEER (IN TRACTS).

CALIFORNIA STATE CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PREFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ACCEPTED BY THE LOCAL GOVERNING AUTHORITIES NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2016 CALIFORNIA ADMINISTRATIVE CODES (INCLUDING TITLES 24 & 25) 2010
- 2016 CALIFORNIA BUILDING CODES WHICH ADOPTS THE 2014 UBC, 2015 UMC, 2015 UPC AND THE 2014 NEC.
- BUILDING OFFICIALS & CODE ADMINISTRATORS (BOCA)
- 2016 CALIFORNIA MECHANICAL CODE
- ANSI/EIA-222-F LIFE SAFETY CODE NFPA-101
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- CURRENT LOCAL BUILDING CODE
- CURRENT CITY/COUNTY ORDINANCES

ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, HANDICAPPED ACCESS REQUIREMENTS DO NOT APPLY IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE.

FCC NOTE:

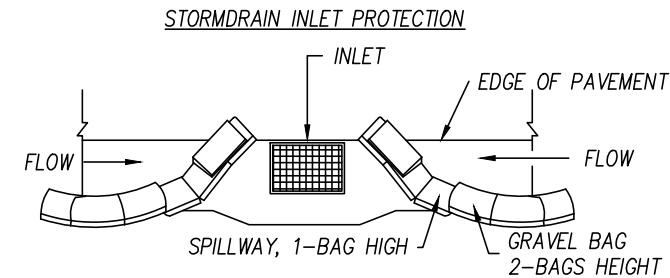
THIS WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY THE STATE OR FEDERAL REGULATORY AGENCIES.

MULTIPLE CIRCUIT NOTES:

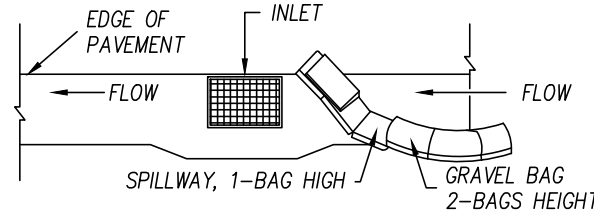
- WIRE CONNECTORS - WIRE CONNECTORS SHALL BEAR THE UNDERWRITERS LABORATORY SEAL OF APPROVAL. THE INSTALLATION PROCEDURE, INCLUDING CONNECTOR SIZE AND CRIMPING TOOLS SHALL CONFORM TO THE MANUFACTURER'S RECOMMENDATIONS. GENERALLY, BULKY OR ODD SHAPE CONNECTORS, NARROW CONNECTORS WHICH MAY DAMAGE THE WIRE, OR TWIST-ON AND SPLIT-BOLT TYPE CONNECTORS WILL NOT BE ALLOWED. THE MECHANICAL PERFORMANCE OBSERVED AFTER THE CONNECTOR IS SUBJECTED TO A COMBINATION OF HAND-APPLIED TWISTS AND PULLS, A SOLID CROSS SECTION WILL ALSO BE REQUIRED WHEN THE CONNECTOR IS SUBJECT TO SAW CUTTING. ALL WIRE CONNECTORS SHALL HAVE A NOMINAL CROSS SECTION ARE EQUIVALENT TO THE AREA OF THE LARGEST CONDUCTOR CONNECTED.

Landscaping Notes:

- The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
- If any required landscape (including existing or new planting, hardscape, landscape features, ect.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.



TYPICAL PROTECTION FOR INLET WITH OPPOSING FLOW DIRECTIONS

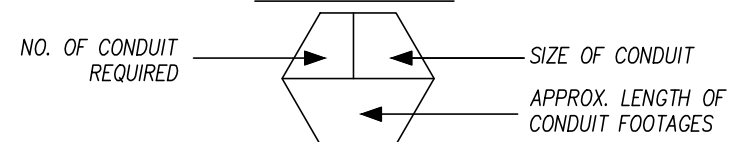


TYPICAL PROTECTION FOR INLET WITH SINGLE FLOW DIRECTION

NOTES:

- INTENDED FOR SHORT - TERM USE
- USE TO INHIBIT NON - STORM WATER FLOW.
- ALLOW FOR PROPER MAINTENANCE AND CLEANUP.
- BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETED.
- NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.

CONDUIT LEGEND



LEGEND

DESCRIPTION	SYMBOL
PROPOSED IMPROVEMENTS	
2' X 3' VAULT, STANDARD (PVT)	[Symbol]
17" X 30" HANDHOLE	[Symbol]
1' X 2' HANDHOLE	[Symbol]
PCC SIDEWALK REMOVE & REPLACE	[Symbol]
REMOVE & REPLACE CURB RAMP	[Symbol]
UNDERGROUND CONDUIT	[Symbol]
EXISTING STRUCTURES & EQUIPMENT	
STREET LIGHT	[Symbol]
SIGNAL	[Symbol]
HANDHOLE/VAULT	[Symbol]
SERVICE POLE	[Symbol]
MONO POLE	[Symbol]
EXISTING BUSH	[Symbol]
TREE	[Symbol]
PLANTER BOX	[Symbol]
PARKING METER	[Symbol]
SIGN POST/BUS STOP	[Symbol]
TRANSFORMER	[Symbol]
CABINET/PEDESTAL	[Symbol]
MONUMENT	[Symbol]
MANHOLE	[Symbol]
VALVE	[Symbol]
FIRE HYDRANT	[Symbol]
CURB RAMP	[Symbol]
CURB & GUTTER	[Symbol]
BIKE LANE	[Symbol]
CENTERLINE	[Symbol]
PROPERTY LINE	[Symbol]
RIGHT OF WAY	[Symbol]
EASEMENT	[Symbol]
SUBDIVISION BOUNDARY	[Symbol]
STATION POINTS (100')	[Symbol]
STORM DRAIN	[Symbol]
WATER VALVE	[Symbol]
WATER	[Symbol]
SEWER	[Symbol]
OIL/FUEL	[Symbol]
GAS VALVE	[Symbol]
GAS	[Symbol]
ELECTRIC	[Symbol]
TELEPHONE	[Symbol]
ABBREVIATIONS	
A/C	ASPHALT CURB
B.O.C.	BACK OF CURB
B/E.O.P.	BACK OF EDGE OF PAVEMENT
C&G	CURB & GUTTER
CL	CENTERLINE
EX	EXISTING
F.O.C.	FRONT OF CURB
F/E.O.P.	FRONT OF EDGE OF PAVEMENT
PL	PROPERTY LINE
R.O.W.	RIGHT OF WAY
S/B	SUBDIVISION BOUNDARY

OWNER / DEVELOPER:



3730 FIFTH AVENUE
SAN DIEGO, CA. 92103

NOTES & DETAILS FOR:

5311 1/3 CARMEL MOUNTAIN RD

CITY OF:

SAN DIEGO

HUB ID:

PROJECT NUMBER:

SD36XC270

PROJECT MANAGER:

STEVE CARBULLIDO



1-800-227-2600
CALL AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT
TICKET # _____

PLANS PREPARED BY:



5841 EDISON PLACE, STE. 200
CARLSBAD, CA 92008
PH: (760) 929-0910
FX: (760) 929-0936

REVISIONS:

DATE:	COMPLETED BY:

DRAFTED BY:	DATE:
S.N.	10/22/19

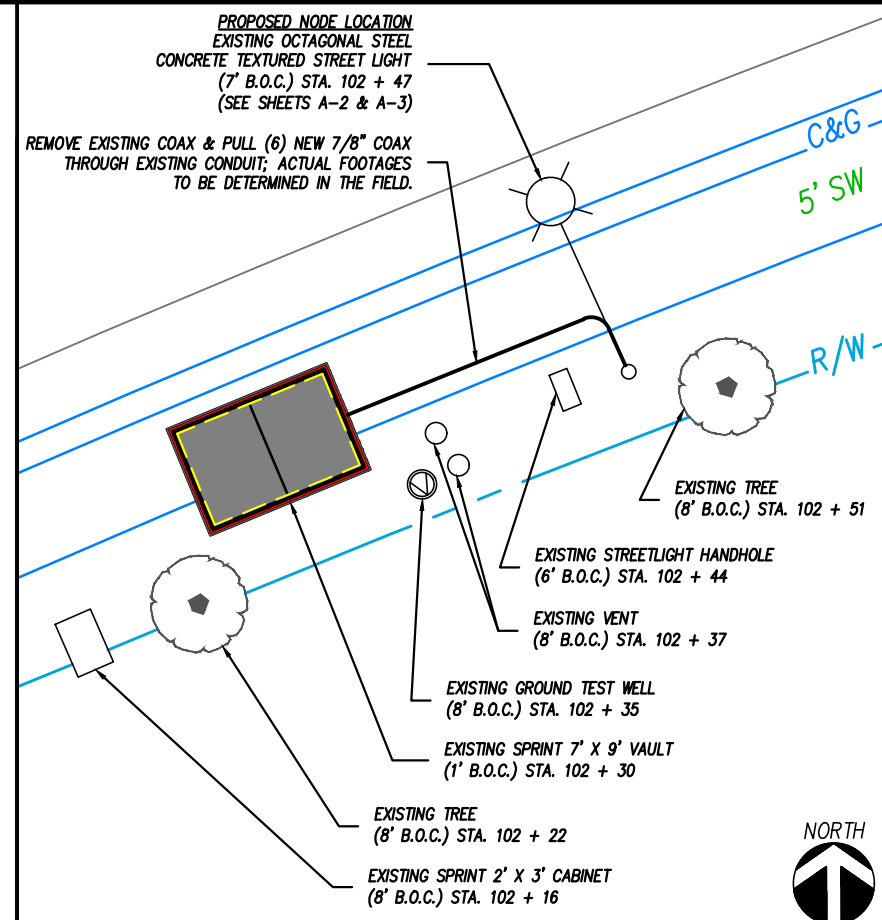
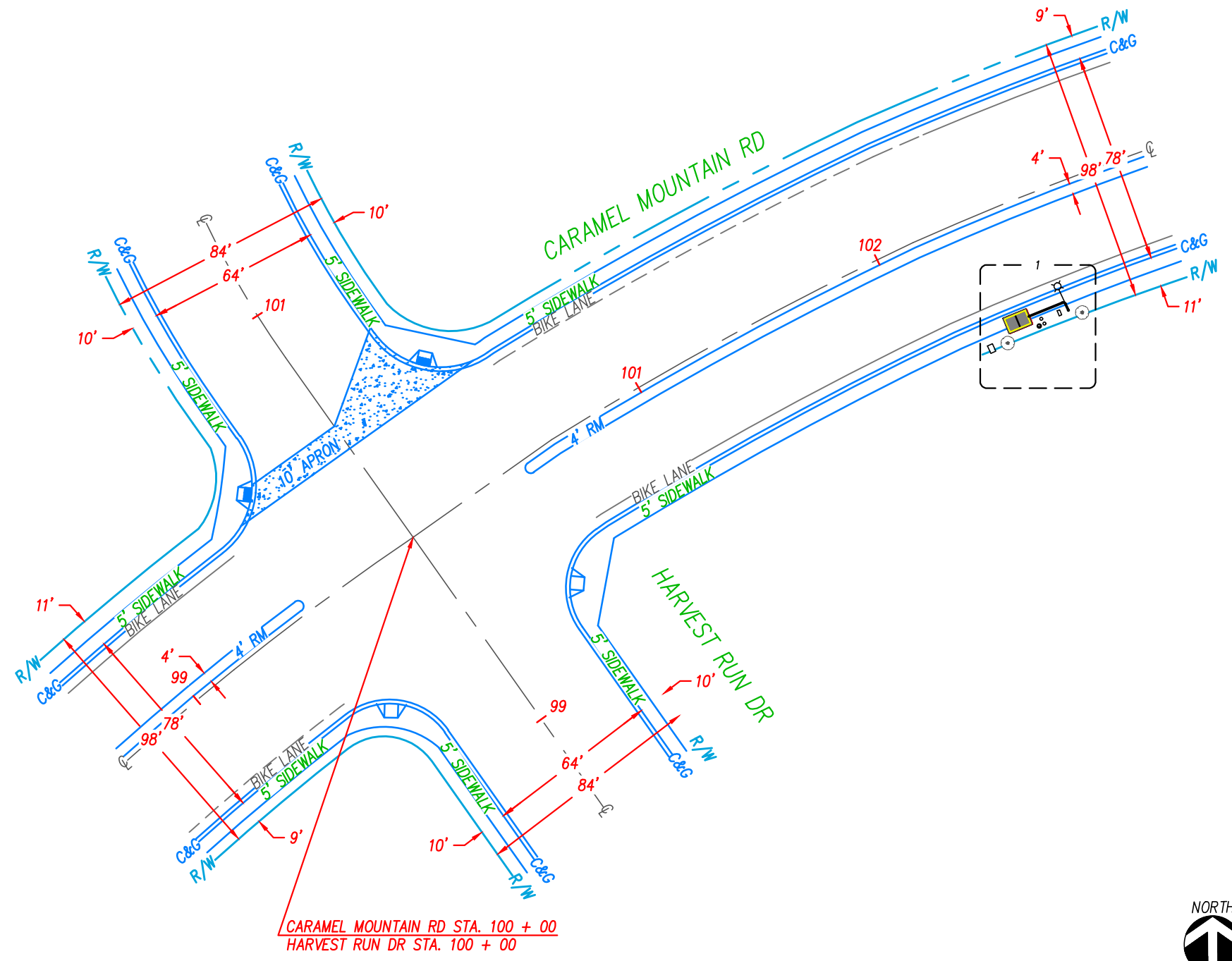
REVIEWED BY:	DATE:
P.L.	10/22/19

FILE NAME:
PROJECTS/SP/SP/SP1000

SHEET NUMBER:
T-2

STREET LIGHT POLE	#N/T
LATITUDE	32.926906
LONGITUDE	-117.206675
TOP OF EXISTING POLE	30'-3"
RAD CENTER	27'-0"
AZIMUTH	0°, 100° & 270°

- NOTES**
- CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS.
 - CONTRACTOR TO PLACE SANDBAGS AROUND ANY/ALL STORM DRAIN INLETS TO PREVENT CONTAMINATED WATER.
 - SPOILS PILE WILL BE COVERED AND CONTAINED AND STREET WILL BE SWEEPED AND CLEANED AS NEEDED.
 - CONTRACTOR TO REPAIR DAMAGED PUBLIC IMPROVEMENTS TO THE SATISFACTION OF THE CITY ENGINEER.
 - CURB & GUTTER TO BE PROTECTED IN PLACE. SIDEWALK TO BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
 - CONTRACTOR TO FIELD VERIFY EXISTING CONDUIT PATH.
 - THE APPLICANT SHALL OBTAIN A NONEXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE CARMEL MOUNTAIN ROAD'S RIGHT-OF-WAY ADJACENT TO PROJECT SITE.
 - THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED WORK IN THE CARMEL MOUNTAIN ROAD'S RIGHT-OF-WAY ADJACENT TO PROJECT SITE.



ENLARGED SITE PLAN 11"x17" SCALE: 1" = 10'-0" 24"x36" SCALE: 1" = 5'-0" 0" 5' 10' 2

OWNER / DEVELOPER:
Sprint
 3730 FIFTH AVENUE
 SAN DIEGO, CA. 92103

IMPROVEMENT SHEET FOR:
 5311 1/3 CARMEL MOUNTAIN RD

CITY OF:
 SAN DIEGO

HUB ID:

PROJECT NUMBER:
 SD36XC270

PROJECT MANAGER:
 STEVE CARBULLIDO



PLANS PREPARED BY:
Coastal Communications
 Telecommunications Engineering
 5841 EDISON PLACE, STE. 200
 CARLSBAD, CA 92008
 PH: (760) 929-0910
 FX: (760) 929-0936

REVISIONS:

DATE:	COMPLETED BY:

DRAFTED BY: S.N. DATE: 10/22/19

REVIEWED BY: P.L. DATE: 10/22/19

FILE NAME:
 PROJECTS/SP/SP/SP1000

SHEET NUMBER:
 A-1

OWNER / DEVELOPER:



3730 FIFTH AVENUE
SAN DIEGO, CA. 92103

VAULT PROFILE FOR:

5311 1/3 CARMEL MOUNTAIN RD

CITY OF:

SAN DIEGO

HUB ID:

PROJECT NUMBER:

SD36XC270

PROJECT MANAGER:

STEVE CARBULLIDO



1-800-227-2600
CALL AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT
TICKET # _____

PLANS PREPARED BY:



REVISIONS:

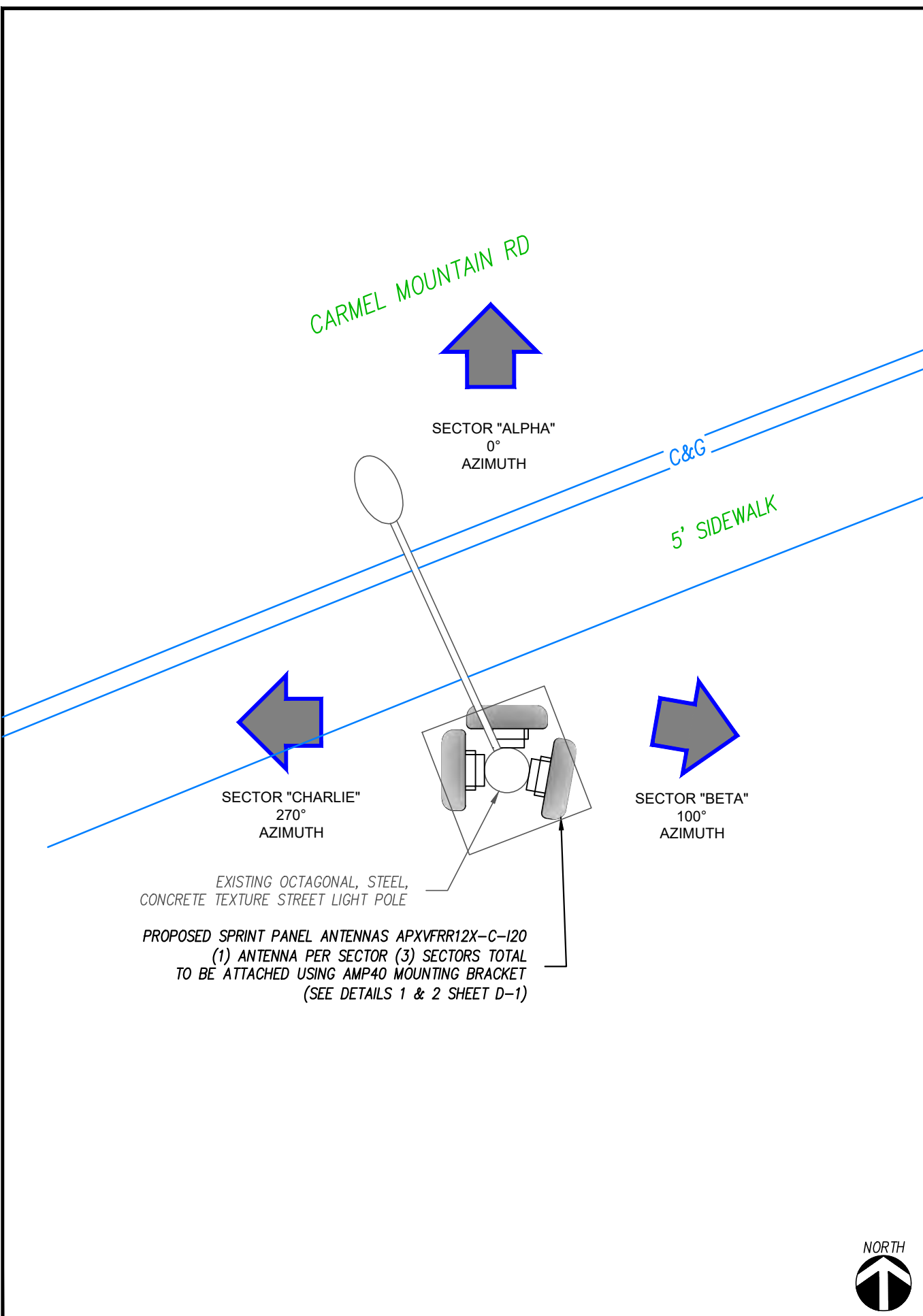
DATE:	COMPLETED BY:

DRAFTED BY: S.N. DATE: 10/22/19

REVIEWED BY: P.L. DATE: 10/22/19

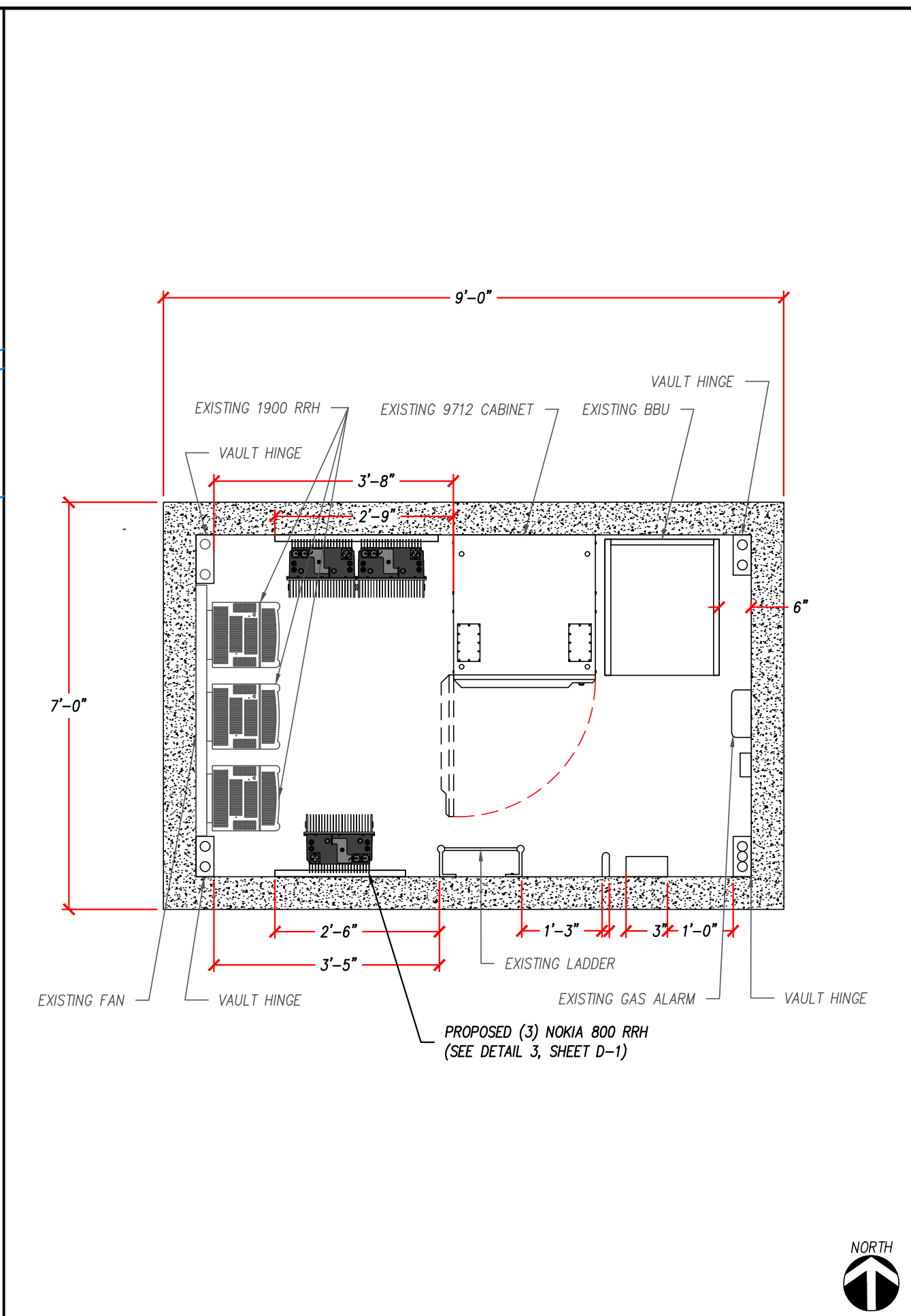
FILE NAME: PROJECTS/SP/SP/SP1000

SHEET NUMBER: A-2



ENLARGED ANTENNA PLAN

11"x17" SCALE: 3/16" = 1'-0"
24"x36" SCALE: 3/8" = 1'-0"



ENLARGED VAULT EQUIPMENT PLAN

11"x17" SCALE: 3/16" = 1'-0"
24"x36" SCALE: 3/8" = 1'-0"

OWNER / DEVELOPER:



3730 FIFTH AVENUE
SAN DIEGO, CA. 92103

POLE PROFILE FOR:

5311 1/3 CARMEL MOUNTAIN RD

CITY OF:

SAN DIEGO

HUB ID:

PROJECT NUMBER:

SD36XC270

PROJECT MANAGER:

STEVE CARBULLIDO



1-800-227-2600
CALL AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT
TICKET # _____

PLANS PREPARED BY:



5841 EDISON PLACE, STE. 200
CARLSBAD, CA 92008
PH: (760) 929-0910
FX: (760) 929-0936

REVISIONS:

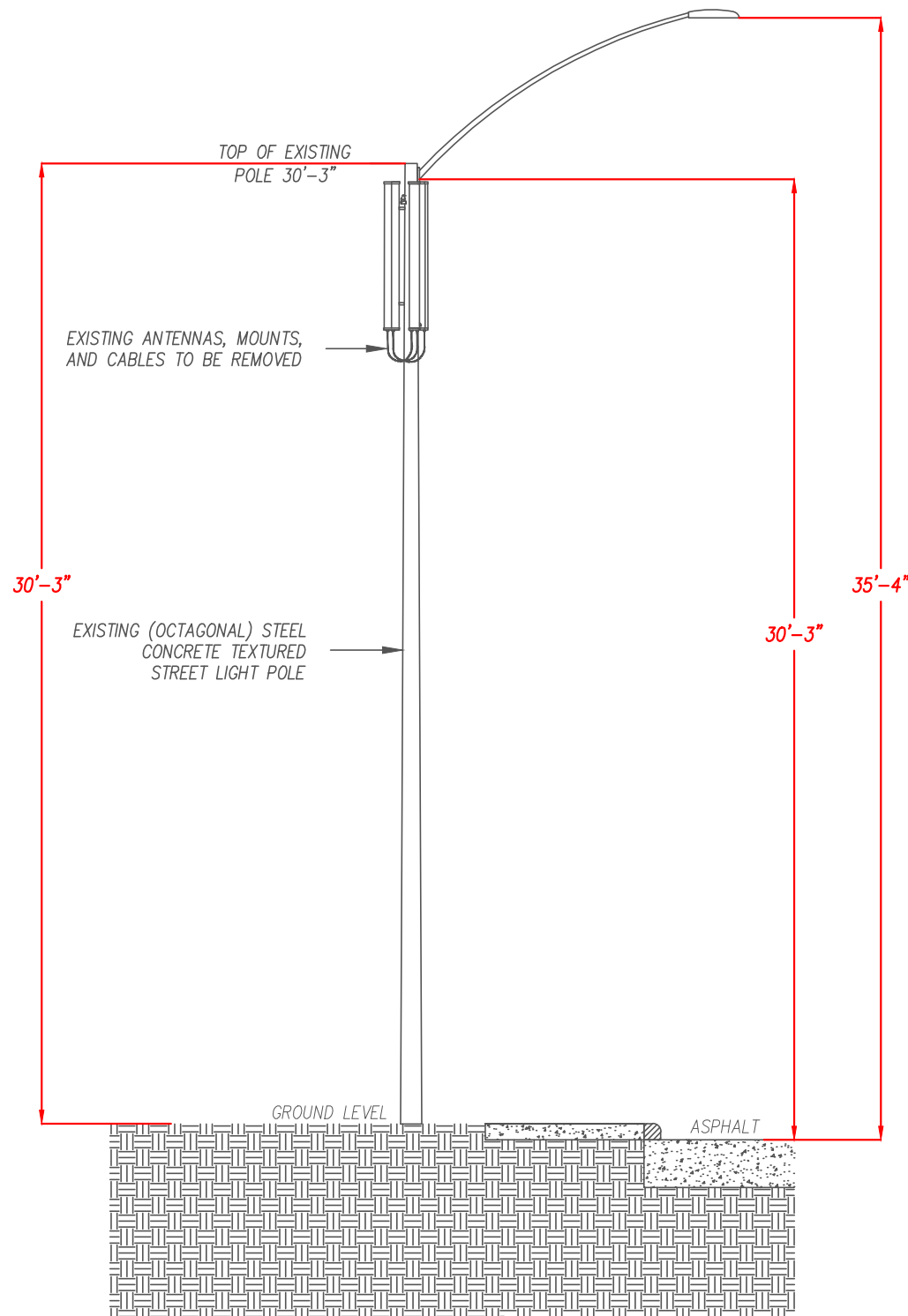
DATE:	COMPLETED BY:

DRAFTED BY: S.N. DATE: 10/22/19

REVIEWED BY: P.L. DATE: 10/22/19

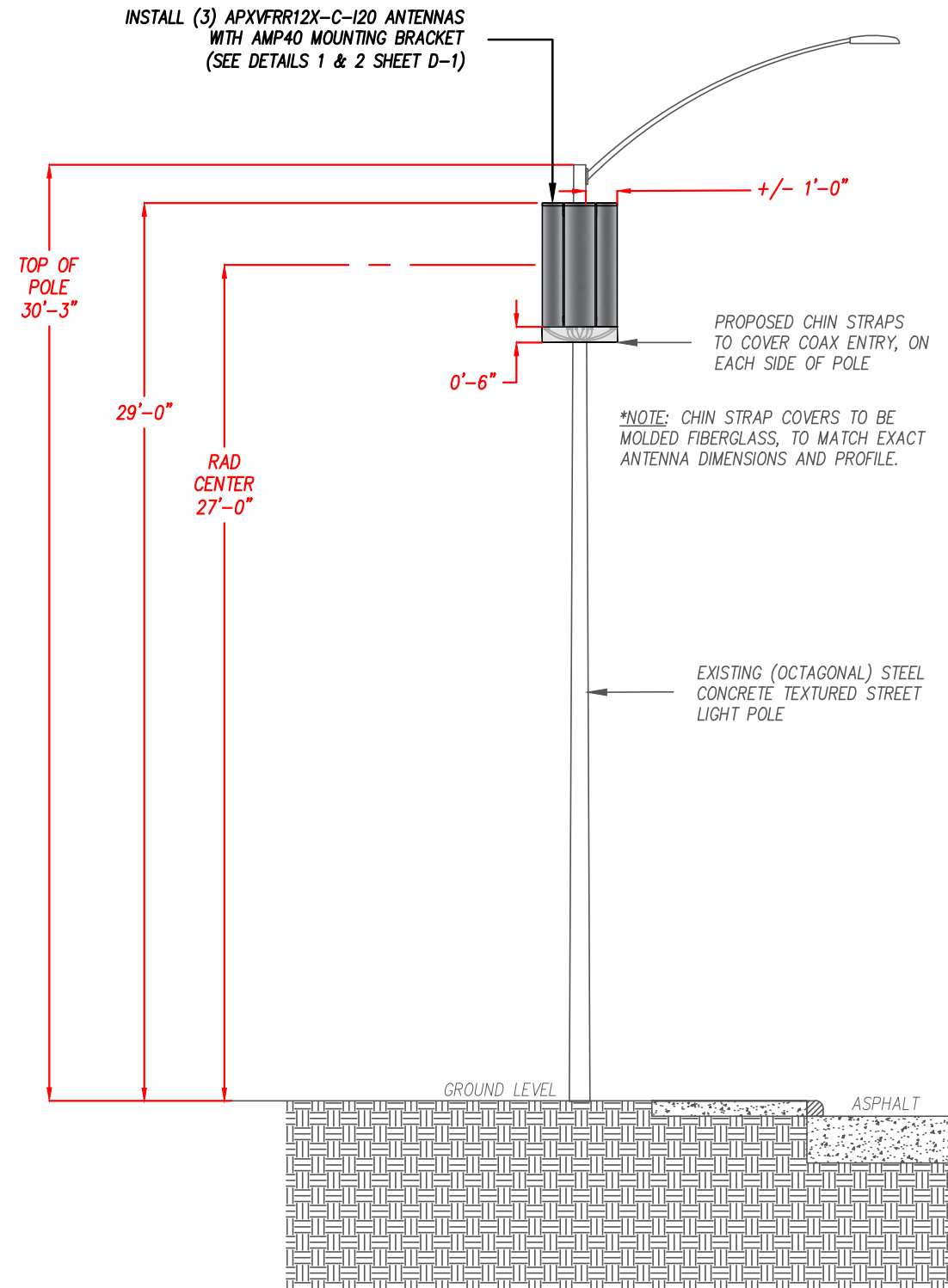
FILE NAME:
PROJECTS/SP/SP/SP1000

SHEET NUMBER:
A-3



EXISTING SERVICE POLE PROFILE: LOOKING EAST

11"x17" SCALE: 3/16" = 1'-0"
24"x36" SCALE: 3/8" = 1'-0"
0" 1' 2' 4'

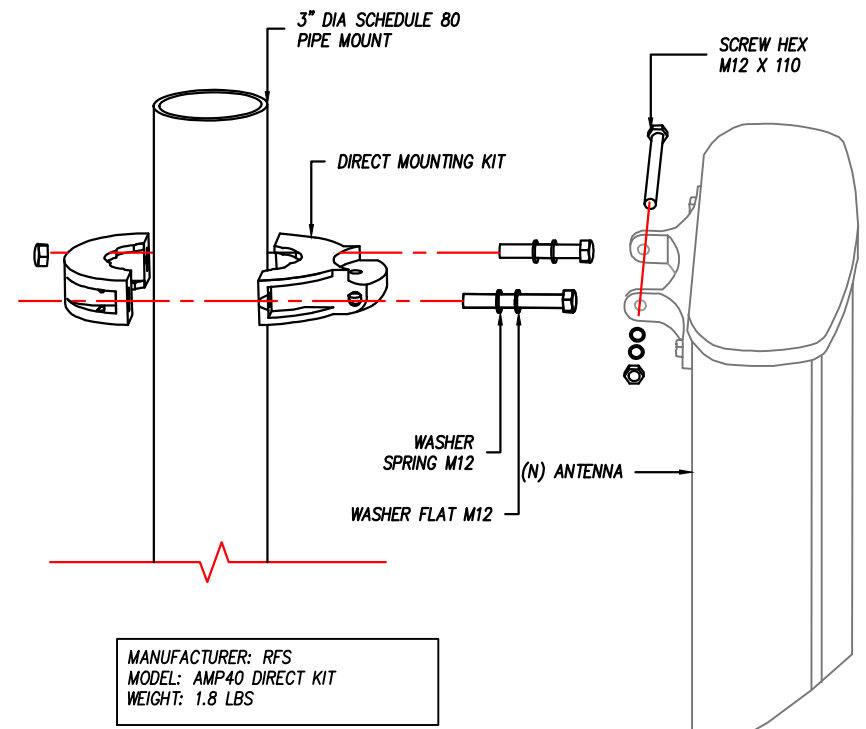


PROPOSED SERVICE POLE PROFILE: LOOKING EAST

11"x17" SCALE: 3/16" = 1'-0"
24"x36" SCALE: 3/8" = 1'-0"
0" 1' 2' 4'

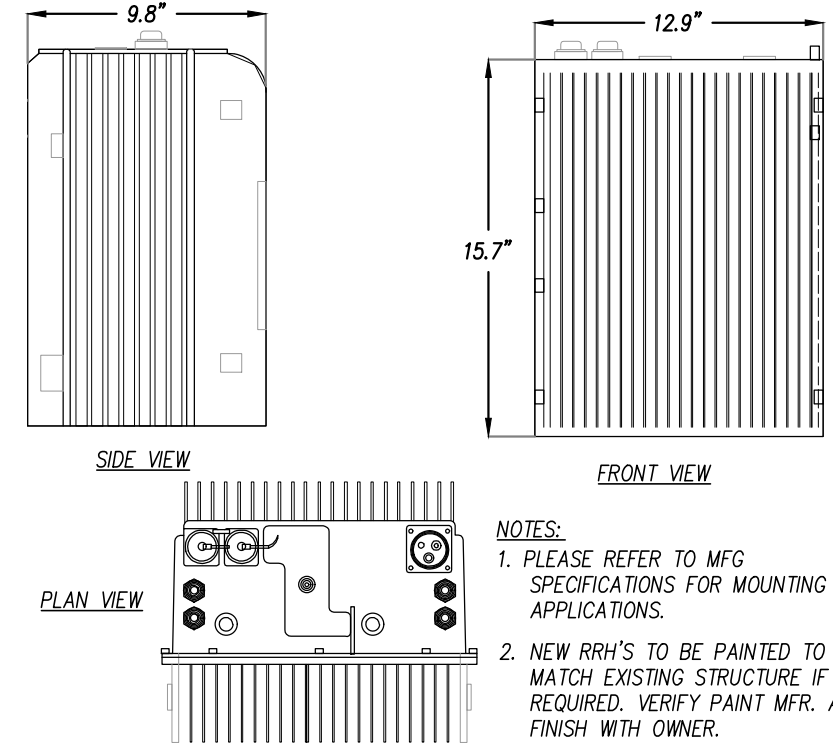


ELECTRICAL SPECIFICATIONS						
Frequency Range	MHz	698-806	806-894	1710-1880	1850-1990	1920-2170
Gain	dBi (dBD)	13 (10.9)	13.3 (11.2)	15.6 (13.5)	16 (13.9)	16.3 (14.2)
Horizontal Beamwidth	deg	72	72	65	65	65
Vertical Beamwidth	deg	20	17.5	8.7	8.5	8.0
Electrical DownTilt Range	deg	0-8	0-8	0-10	0-10	0-10
1st Upper Sidelobe Suppression	dB			18		
Front-To-Back Ratio	dB			27		
Polarization				Dual pol +/-45°		
VSWR				< 1.5:1		
Isolation between Ports	dB			>30 typ.		
3rd Order IMP @ 2 x 43 dBm	dBc			>153		
Impedance	Ohms			50.0		
Maximum Power Input	W			300.0		
MECHANICAL SPECIFICATIONS						
Lightning Protection				Direct Ground		
Connector Type/Location				(6) 7-16 Long Neck Female/Bottom		
Dimensions - HxWxD	mm (in)			1220 x 299 x 200 (48 x 11.8 x 7.9)		
Weight w/o Mtg Hardware	kg (lb)			20.9 (46)		
Survival/Rated Wind Speed	km/h (mph)			240 (150) / 150 (93.2)		
Applied Wind Load Standard				DIN 1055-4		
Wind Load @ Rated Wind, Front	N (lbf)			275 (62) 275		
Wind Load @ Rated Wind, Max.	N (lbf)			340 (77) null		
Wind Load @ Rated Wind, Side	N (lbf)			340 (77)		
Wind Load @ Rated Wind, Rear	N (lbf)			312 (71)		
TESTING AND ENVIRONMENTAL						
Operation temperature	°C (°F)			-40 to 60 (-40 to 140)		
MATERIAL						
Radome Material/Color				ASA/Light Grey RAL7035		
Mounting Hardware Material				Diecasted Aluminum and Galvanized Steel		



MANUFACTURER: RFS
 MODEL: AMP40 DIRECT KIT
 WEIGHT: 1.8 LBS

MANUFACTURER: NOKIA
 DIMENSIONS (W/ SOLAR SHIELD), HxWxD: 15.7x12.9x9.8"
 WEIGHT (W/ SOLAR SHIELD): 53 LBS



- NOTES:
- PLEASE REFER TO MFG SPECIFICATIONS FOR MOUNTING APPLICATIONS.
 - NEW RRH'S TO BE PAINTED TO MATCH EXISTING STRUCTURE IF REQUIRED. VERIFY PAINT MFR. AND FINISH WITH OWNER.

RFS #APXVFR12X-C-120 ANTENNA	N.T.S.	1	AMP40 DIRECT MOUNTING KIT	N.T.S.	2	NOKIA RRH2X50-800MHZ	N.T.S.	3
------------------------------	--------	---	---------------------------	--------	---	----------------------	--------	---

OWNER / DEVELOPER:

 3730 FIFTH AVENUE
 SAN DIEGO, CA. 92103

DETAILS FOR:
 5311 1/3 CARMEL MOUNTAIN RD

CITY OF:
 SAN DIEGO

HUB ID:

PROJECT NUMBER:
 SD36XC270

PROJECT MANAGER:
 STEVE CARBULLIDO



PLANS PREPARED BY:
Coastal Communications
 Telecommunications Engineering
 5841 EDISON PLACE, STE. 200
 CARLSBAD, CA 92008
 PH: (760) 929-0910
 FX: (760) 929-0936

REVISIONS:

DATE:	COMPLETED BY:

DRAFTED BY: S.N. DATE: 10/22/19

REVIEWED BY: P.L. DATE: 10/22/19

FILE NAME:
 PROJECTS/SP/SP/SP1000

SHEET NUMBER:
 D-1



SD36XC270

5311-1/3 CARMEL MOUNTAIN RD SAN DIEGO CA 92130



OWNER / DEVELOPER:
Sprint
 3730 FIFTH AVENUE
 SAN DIEGO, CA. 92103

PHOTO SIM FOR:
 5311 1/3 CARMEL MOUNTAIN RD

CITY OF:
 SAN DIEGO

HUB ID:

PROJECT NUMBER:
 SD36XC270

PROJECT MANAGER:
 STEVE CARBULLIDO

DIGALERT



PLANS PREPARED BY:



REVISIONS:

DATE:	COMPLETED BY:

DRAFTED BY: S.N. DATE: 10/22/19

REVIEWED BY: P.L. DATE: 10/22/19

FILE NAME:
 PROJECTS/SP/SP/SP1000

SHEET NUMBER:
 S-1

VIEW 1



EXISTING



PROPOSED LOOKING NORTHEAST FROM CARMEL MOUNTAIN ROAD

OWNER / DEVELOPER:



3730 FIFTH AVENUE
SAN DIEGO, CA. 92103

PHOTO SIM FOR:

5311 1/3 CARMEL MOUNTAIN RD

CITY OF:

SAN DIEGO

HUB ID:

PROJECT NUMBER:

SD36XC270

PROJECT MANAGER:

STEVE CARBULLIDO



1-800-227-2600
CALL AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT
TICKET # _____

PLANS PREPARED BY:



REVISIONS:

DATE:	COMPLETED BY:

DRAFTED BY:	DATE:
S.N.	10/22/19

REVIEWED BY:	DATE:
P.L.	10/22/19

FILE NAME:
PROJECTS/SP/SP/SP1000

SHEET NUMBER:
S-2



SD36XC270

5311-1/3 CARMEL MOUNTAIN RD SAN DIEGO CA 92130



VIEW 2



EXISTING



PROPOSED LOOKING SOUTHWEST FROM CARMEL MOUNTAIN ROAD



SD36XC270

5311-1/3 CARMEL MOUNTAIN RD SAN DIEGO CA 92130



OWNER / DEVELOPER:
Sprint
 3730 FIFTH AVENUE
 SAN DIEGO, CA. 92103

PHOTO SIM FOR:
 5311 1/3 CARMEL MOUNTAIN RD

CITY OF:
 SAN DIEGO

HUB ID:

PROJECT NUMBER:
 SD36XC270

PROJECT MANAGER:
 STEVE CARBULLIDO

DIGALERT



PLANS PREPARED BY:



REVISIONS:

DATE:	COMPLETED BY:

DRAFTED BY: S.N. DATE: 10/22/19

REVIEWED BY: P.L. DATE: 10/22/19

FILE NAME:
 PROJECTS/SP/SP/SP1000

SHEET NUMBER:
 S-3

VIEW 3

