



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: January 20, 2021 REPORT NO. HO-21-001

HEARING DATE: January 27, 2021

SUBJECT: Zuckerman, Process Three Decision

PROJECT NUMBER: [637710](#)

OWNER/APPLICANT: Leo and Emma Zuckerman Trust, Owner and Permittee

SUMMARY

Issue: Should the Hearing Officer approve the demolition of a single dwelling unit and construction of a new dwelling unit with attached garage, a detached companion unit, and a lot line adjustment within the La Jolla Community Plan and Local Coastal Program area?

Staff Recommendation: Approve an application for Coastal Development Permit No. 2326770 and Site Development Permit 2326769.

La Jolla Community Planning Association Recommendation: On December 5, 2019, the La Jolla Community Planning Association voted 14-0-0 to recommend approval of the proposed project without conditions.

La Jolla Shores Planned District Advisory Board Recommendation: On September 16, 2019, the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend the project as a Major Project (Process 3) that conforms to the neighborhood and without conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15302, Replacement or Reconstruction. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 9, 2020 and the opportunity to appeal that determination ended July 23, 2020.

BACKGROUND

The project site is located at 2502 Calle Del Oro (Attachment 3), west of Prestwick Drive and east of La Jolla Shores Drive (Attachment 1). The site is in the Coastal Overlay (Non-Appealable), Coastal Height Limit, and within the La Jolla Community Plan and Local Coastal Program (Community Plan). The Community Plan land use designation is Very Low Density Residential at a density range of 0-5

dwelling units per acre (Attachment 2). The site is within the La Jolla Shores Planned District (LJSPD-SF) zone which allows for the development of a single dwelling unit. The project site can accommodate one dwelling unit based on the community plan land use and single-family zone.

The existing 3,730 square foot dwelling and 457 square foot attached garage at 2502 Calle Del Oro were developed in 1963. The City's Plan Historic section has reviewed the existing site and made the determination the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The lot line adjustment would include a portion of the adjacent 8380 Whale Watch Way site that includes a detached garage. The Whale Watch Way site was developed in 1975 and appears eligible for designation under one or more HRB designation criteria (HRB Criterion C). The lot line adjustment to include the detached garage is not a significant adverse impact to the potential resource as a whole and would not preclude the possibility of future designation. Any work to the garage structure must be consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties in order to avoid adverse impacts to the potential resource.

The project site is a previously graded slopping lot with a low point along the western boundary of 170.2 feet above mean sea level (AMSL) and rising in elevation eastward to 263.3 feet AMSL at the un-named alley entrance. The site does not contain Environmental Sensitive Lands as defined in San Diego Municipal Code Section 113.0103, is not within the First Public Roadway, nor is within the Flood Plain. The site does afford unobstructed views westward over the La Jolla Shores Beach area.

DISCUSSION

Project Description

The proposed project is the demolition of single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865.

The Community Plan Residential Element goals include maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. Residences in the immediate vicinity are one and two-story residences in coastal contemporary styles. The design of the dwelling will include multiple planes of articulation, stucco exterior finish with natural stone veneer, copper gutter, and glass railing systems. The varied roof planes are proposed to be finished in a slate style tesla roof shingle. The appearance and design are consistent with the surrounding development and community plan residential goals. The features aid in reducing the bulk and scale and are transitional between the project and the existing residences in the vicinity. Additionally, the proposed development height is 32.92 feet, minus an 8.5-foot grade differential, per SDMC Section 113.0270 (a)(2)(B), is consistent with the coastal height limit of 30 feet and development in the vicinity.

The proposed project requires the approval of a Process 3, Coastal Development Permit for development in the Coastal Overlay Zone (Non-Appealable) and a Process 3 Site Development

Permit for development within the La Jolla Shores Planned District. The permits are being processed concurrently consistent with San Diego Municipal Code Section 112.0103.

Environmental Analysis:

The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15302, which allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Conclusion:

The project is not requesting, nor does it require, any deviations or variances regulations. The project is consistent with the recommended land use designation of the community plan and the regulations of the San Diego Municipal Code. Therefore, staff recommends the Hearing Officer to approve the project.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2326770 and Site Development Permit 2326769, with modifications.
2. Deny Coastal Development Permit No. 2326770 and Site Development Permit 2326769, if the findings required to approve the project cannot be affirmed.

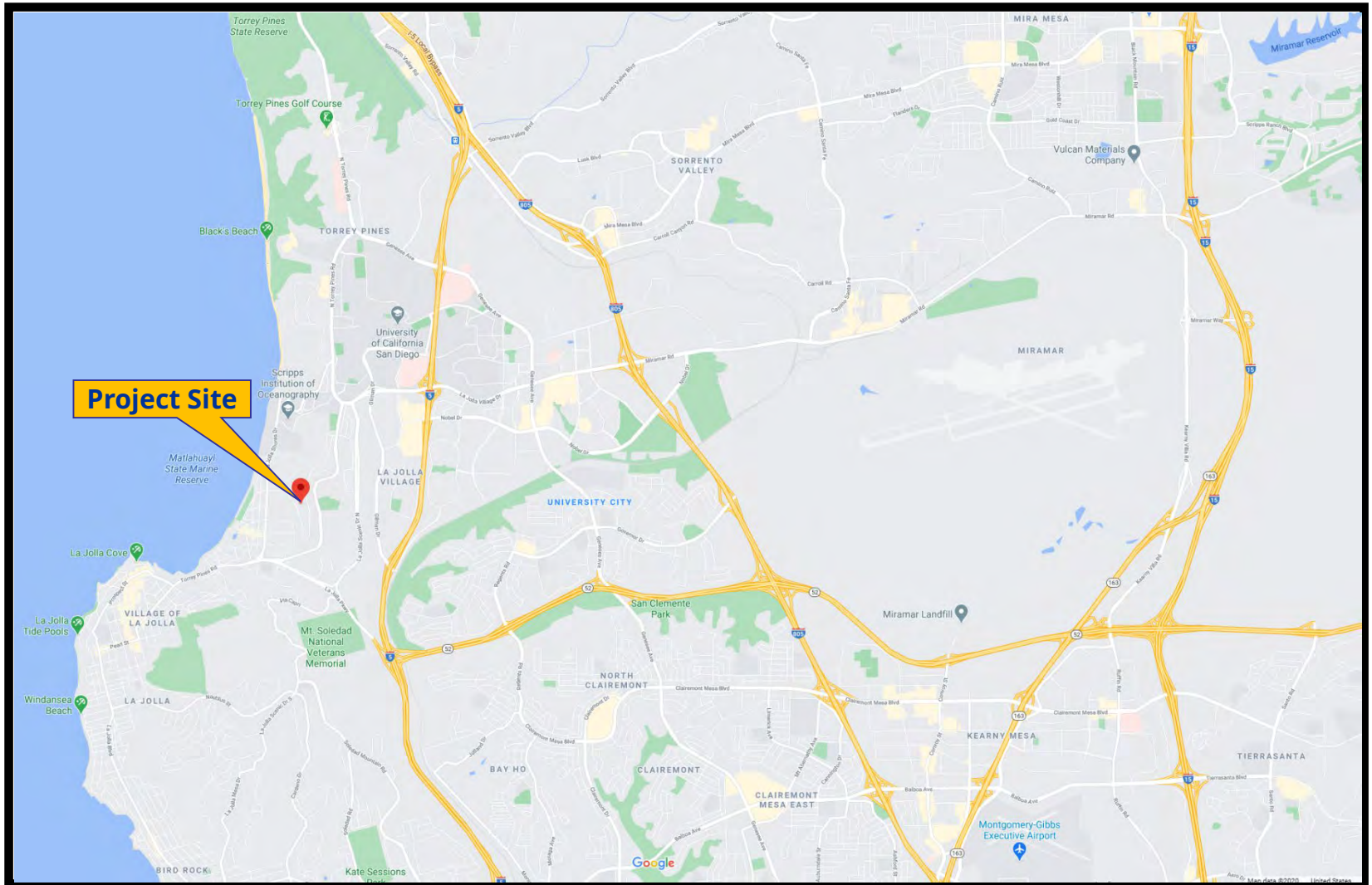
Respectfully submitted,



Karen Bucey, Development Project Manager

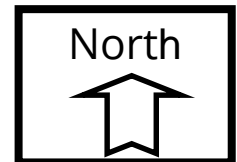
Attachments:

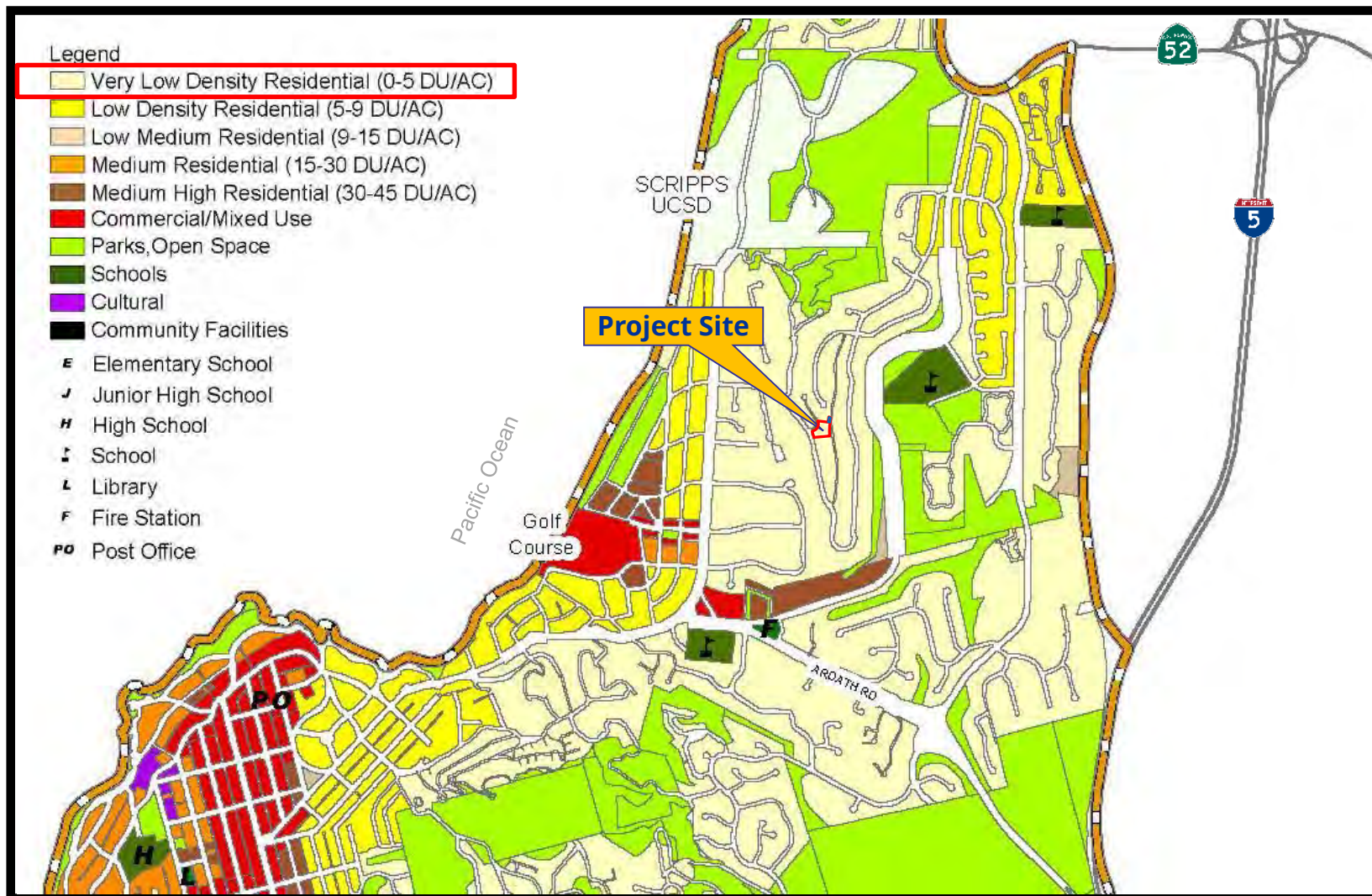
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Lot Line Adjustment Area
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. La Jolla Community Planning Association Recommendation
9. La Jolla Shores Planned District Advisory Board Recommendation
10. Ownership Disclosure Statement
11. Plan Set



Project Location Map

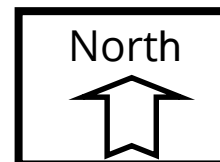
Zuckerman, Project No. 637710
2502 Calle Del Oro

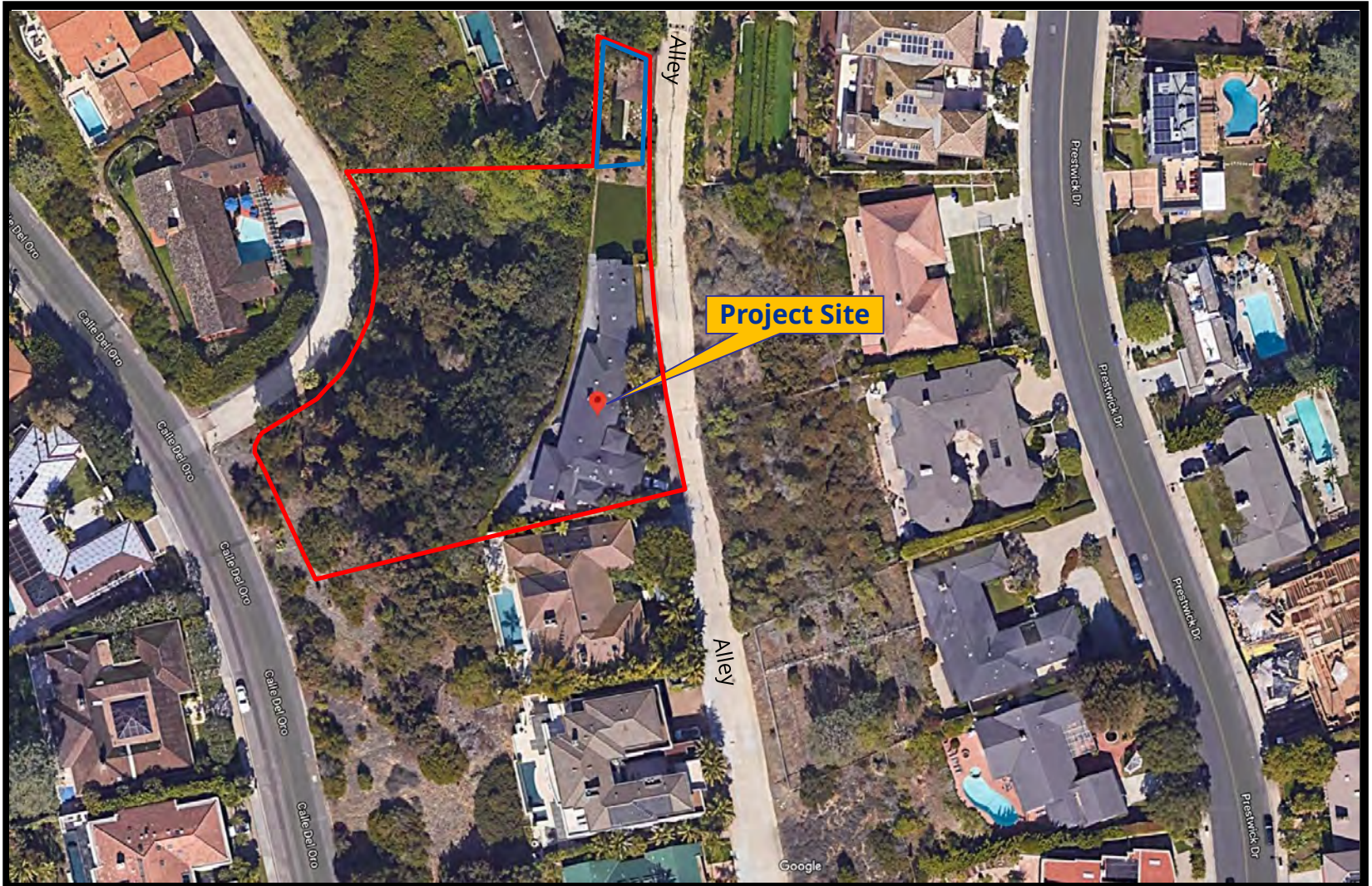




Community Plan Land Use Map

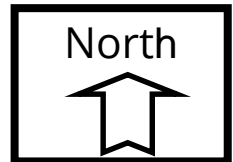
Zuckerman, Project No. 637710
2502 Calle Del Oro





Aerial Photograph

Zuckerman, Project No. 637710
2502 Calle Del Oro



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2326770 AND SITE DEVELOPMENT PERMIT NO. 2326769
ZUCKERMAN PROJECT NO. 637710

WHEREAS, Leo and Emma Zuckerman Trust, Owner, and Permittee, filed an application with the City of San Diego for a permit to demolish a single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and existing detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865 (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2326770 and Site Development Permit 2326769), on portions of a 1.18-acre site;

WHEREAS, the project site is located at 2502 Calle Del Oro in the La Jolla Shores Planned District Single Family (LJSPD-SF) Zone, Coastal Overlay (Non-Appealable), Coastal Height Limit and within the La Jolla Community Plan and Local Coastal Program (Plan);

WHEREAS, the project site is legally described as: Lot 84 of Prestwick Estates, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4392, filed in the Office of the County Recorder of San Diego County November 13, 1959. Additionally, Lot 18 of La Jolla Costa Dorado, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6865, filed in the Office of the County Recorder of San Diego County February 26, 1971 (for Lot Line Adjustment);

WHEREAS, on July 19, 2020 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302, Replacement or Reconstruction. and there was no appeal of

the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on January 27, 2021, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2326770 and Site Development Permit No. 2326769 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect Coastal Development Permit No. 2326770 and Site Development Permit No. 2326769:

A. COASTAL DEVELOPMENT PERMIT (SDMC Section 126.0708)

1. Findings for all Coastal Development Permits:

a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a local coastal program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic areas as specified in the local coastal program land use plan.

The 1.18-acre site is located at 2502 Calle Del Oro within the La Jolla Shores Planned District Single Family Residential (LJSPD-SF) Zone, Coastal (non-appealable), Coastal Height Limit, Fire Brush Zones 300' Buffer, Fire Hazard Severity, and Parking Impact Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The proposed project is the demolition of single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and existing detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865.

The proposed development will not encroach upon any existing or proposed access routes through the property. No physical access routes exist on the property and no public access routes are identified through the property in the Community Plan. Calle Del Oro and the alley adjacent to the property are not identified as View Corridors in the Community Plan. The proposed development conforms to all the requirements of the LJSPD-SF Zone and with the conditions of the permit will not obstruct coastal or scenic views from any public vantage points. Therefore, the proposed development will not encroach upon any existing physical accessway that is legally used by the public or any proposed accessway identified in a Local Coastal Program land use plan; and the

proposed development will protect and enhance public views to the ocean and other scenic coastal area resources or as specified in the Local Coastal Program Land Use Plan.

b. The proposed coastal development permit will not adversely affect environmentally sensitive lands.

The 1.18-acre site is located at 2502 Calle Del Oro within the La Jolla Shores Planned District Single Family Residential (LJSPD-SF) Zone, Coastal (non-appealable), Coastal Height Limit, Fire Brush Zones 300' Buffer, Fire Hazard Severity, and Parking Impact Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan

The proposed project is the demolition of single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and existing detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865.

The project site is a sloping site and was previously graded as part of the Prestwick Estates subdivision in 1959. The previously developed area of the lot spans from the alley, at the top of the property, to Calle Del Oro, at the bottom. There are no natural slopes remaining therefore the site does not meet the definition of Environmentally Sensitive Lands, per San Diego Municipal Code Section 113.0103.

The existing and proposed development will be located at the top of the property, accessible from the alley. The proposed development will include minor grading at previously disturbed areas of the property and retaining walls to expand the usable area around the residence and add a pool. No natural slopes, sensitive biological resources, or sensitive coastal areas will be adversely affected by the development. No deviations or variances are requested. Therefore, the proposed development will not adversely affect environmentally sensitive lands.

c. The coastal development is in conformity with the certified local coastal program land use plan.

The 1.18-acre site is located at 2502 Calle Del Oro within the La Jolla Shores Planned District Single Family Residential (LJSPD-SF) Zone, Coastal (non-appealable), Coastal Height Limit, Fire Brush Zones 300' Buffer, Fire Hazard Severity, and Parking Impact Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan.

The proposed project is the demolition of single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and existing detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865.

The project is within an area identified as Very Low Density Residential (0-5 du/ac), in the La Jolla Community Plan. The land use designation allows for the development of a single dwelling unit on the site. The Community Plan Residential Element goals include maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. Residences in the immediate vicinity are one and two-story residences in coastal contemporary styles. The design of the home will be compatible with the color, scale, and appearance of the existing residences in the vicinity and the two-story dwelling will provide articulation along the facades, a stepped back second story, and varied roof lines. The features aid in reducing the bulk and scale and are transitional between the project and the existing residences in the vicinity. Additionally, the proposed development height of 32.92 feet, minus an 8.5-foot slope differential will be consistent with the coastal height limit of 30 feet and the existing structures within the neighborhood.

The project is not requesting, nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every coastal development permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located with the coastal overlay zone the coastal development is in conformity with the public access and public recreation policies of chapter 3 of the California coastal act.

The 1.18-acre site is located at 2502 Calle Del Oro within the La Jolla Shores Planned District Single Family Residential (LJSPD-SF) Zone, Coastal (non-appealable), Coastal Height Limit, Fire Brush Zones 300' Buffer, Fire Hazard Severity, and Parking Impact Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan.

The proposed project is the demolition of single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and existing detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865.

The project site is not located between the First Public Roadway and the Pacific Ocean. The property is located approximately 2,500 feet from the Pacific Ocean. Therefore, the proposed development will conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act, as applicable.

B. SITE DEVELOPMENT PERMIT (SDMC Section 143.0505)

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The 1.18-acre site is located at 2502 Calle Del Oro within the La Jolla Shores Planned District Single Family Residential (LJSPD-SF) Zone, Coastal (non-appealable), Coastal Height Limit, Fire Brush Zones 300' Buffer, Fire Hazard Severity, and Parking Impact Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan.

The proposed project is the demolition of single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and existing detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865.

The project is within an area identified as Very Low Density Residential (0-5 du/ac), in the La Jolla Community Plan. The land use designation allows for the development of a single dwelling unit on the site. The Community Plan Residential Element goals include maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. Residences in the immediate vicinity are one and two-story residences in coastal contemporary styles. The design of the home will be compatible with the color, scale, and appearance of the existing residences in the vicinity and the two-story dwelling will provide articulation along the facades, a stepped back second story, and varied roof lines. The features aid in reducing the bulk and scale and are transitional between the project and the existing residences in the vicinity. Additionally, the proposed development height of 32.92 feet, minus an 8.5-foot slope differential will be consistent with the coastal height limit of 30 feet and the existing structures within the neighborhood.

The project is not requesting, nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development will not adversely affect the applicable Land Use Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The 1.18-acre site is located at 2502 Calle Del Oro within the La Jolla Shores Planned District Single Family Residential (LJSPD-SF) Zone, Coastal (non-appealable), Coastal Height Limit, Fire Brush Zones 300' Buffer, Fire Hazard Severity, and Parking Impact

Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan.

The proposed project is the demolition of single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and existing detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865.

This project has been designed to comply with all the applicable development regulations. The subject site is developed and zoned for, and surrounded by, single-dwelling units. The permit, controlling the development and continued use of this site, contains conditions addressing project compliance with the City's regulations and other regional, state and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area. Conditions of approval will require compliance with several operational constraints and development controls, to assure the continued health, safety, and general welfare of persons residing or working in the area. All Building, Fire, Plumbing, Electrical, Mechanical Code and the City regulations governing the construction and continued operation of the development apply to this site and prevent adverse effects to those persons or other properties in the vicinity. All aspects of the development comply with the land use regulations so that the proposed development with the conditions of the permit, which include compliance with all applicable building codes, regulations, and standards. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

The Environmental Analysis Section conducted an environmental review of this site, in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction).

The project would be required to obtain construction permits and a public improvement permit prior to the construction of the development. The construction plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code requirements, and development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code in effect for this project. Such conditions include and the removal of existing driveways and the construction of one new driveway, new curb and gutters, new sidewalks, new curb ramp, storm runoff restrictions, parking, and landscaping requirements. These conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the land development code, including any allowable deviations pursuant to the land development code.

The 1.18-acre site is located at 2502 Calle Del Oro within the La Jolla Shores Planned District Single Family Residential (LJSPD-SF) Zone, Coastal (non-appealable), Coastal Height Limit, Fire Brush Zones 300' Buffer, Fire Hazard Severity, and Parking Impact Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan.

The proposed project is the demolition of single dwelling unit and construction of a two-story, 7,543 square-foot single dwelling unit over basement level with attached and existing detached garages, detached 520 square-foot, single-story companion unit, pool, retaining walls, accessory improvements and a lot line adjustment of Parcel 1 of Map 4392 and Parcel 2 of Map 6865.

The existing 3,730 square foot dwelling and 457 square foot attached garage at 2502 Calle Del Oro were developed in 1963. The City's Plan Historic section has reviewed the existing site and made the determination the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The lot line adjustment would include a portion of the adjacent 8380 Whale Watch Way site that includes a detached 660-square foot garage. The Whale Watch Way site was developed in 1975 and appears eligible for designation under one or more HRB designation criteria (HRB Criterion C). The lot line adjustment to include the detached garage is not a significant adverse impact to the potential resource as a whole and would not preclude the possibility of future designation. Any work to the garage structure must be consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties in order to avoid adverse impacts to the potential resource.

The project proposes no deviations or variances from the applicable regulations and policy documents and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development will comply with the applicable regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2326770 and Site Development Permit No. 2326769 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits,

terms and conditions as set forth in Permit No. 2326770 and 2326769, a copy of which is attached hereto and made a part hereof.



Karen Bucey
Development Project Manager
Development Services

Adopted on January 27, 2021
IO#: 24008273

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24008273

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2326770 AND SITE DEVELOPMENT PERMIT NO. 2326769
ZUCKERMAN PROJECT NO. 637710
HEARING OFFICER

This Coastal Development Permit No. 2326770 Site Development Permit No. 2326769 is granted by the Hearing Officer of the City of San Diego to Leo and Emma Zuckerman Trust, husband and wife, as community property, Owner, and Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0505 for development in the Coastal zone and 1510.0201 for major development within the La Jolla Shore Planned District. The 1.18-acre site is located at 2502 Calle Del Oro in the La Jolla Shores Planned District Single Family (LJSPD-SF) Zone, Coastal Overlay (Non-Appealable), Coastal Height Limit and within the La Jolla Community Plan and Local Coastal Program (Plan). The project site is legally described as: Lot 84 of Prestwick Estates, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4392, filed in the Office of the County Recorder of San Diego County November 13, 1959. Additionally, Lot 18 of La Jolla Costa Dorado, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6865, filed in the Office of the County Recorder of San Diego County February 26, 1971 (for Lot Line Adjustment).

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a single dwelling unit and construction of a new dwelling unit with an attached, existing detached garages, a detached companion unit, and a lot line adjustment. described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 27, 2021, on file in the Development Services Department.

The project shall include:

- a.** The demolition of a single dwelling unit and construction of a 7,497 square foot, two-story dwelling unit with an attached garage, existing detached 660 square foot garage, a detached, 520 square foot, single-story companion unit, and lot line adjustment;
- b.** Landscaping (planting, irrigation and landscape related improvements);
- c.** Off-street parking;

- d. In ground pool; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 9, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the proposed landscaping and sidewalk underdrains/curb outlets in the Calle Del Oro Street Right-of-Way.
13. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.
14. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
16. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
19. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.
20. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

21. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

GEOLOGY REQUIREMENTS:

22. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

23. "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

PLANNING/DESIGN REQUIREMENTS:

24. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

25. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

26. The guest quarters or habitable accessory building shall not be rented, leased, or sold as a separate dwelling unit and shall be used solely by the occupants of the primary dwelling unit, their guests, or their employees.

27. Prior to issuance of a building permit, the Owner/Permittee shall submit a signed agreement with the City that neither the primary dwelling unit nor the guest quarters or habitable accessory building shall be sold or conveyed separately.

28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on January 27, 2021 and [Approved Resolution Number].

Coastal Development Permit No. 2326770 and Site Development Permit No. 2326769
January 27, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Bucey
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Leo and Emma Zuckerman Trust
Owner/Permittee

By _____
Leo Zuckerman
Trustee

Leo Zuckerman and Emma Zuckerman
Owner/Permittee

By _____
Emma Zuckerman
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

Attachment 7

(Check one or both)

TO: ☒ Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

☐ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name/Number: Zuckerman SDP CDP / 637710

SCH No.: N/A

Project Location-Specific: 2502 Calle Del Oro, San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The Project requests a Site Development Permit (SDP), Coastal Development Permit (CDP), and Lot Line Adjustment (LLA) to demolish an existing 4,187-square-foot single-family residence and construct a 7,744-square-foot single-family residence with a two-story configuration over an attached garage and construct a detached 520-square-foot single-story companion unit located at 2502 Calle Del Oro. The project includes Lot Line Adjustment of Parcel 1/Map 4392 and Parcel 2/Map 6865. The 1.18-acre site is designated Low-Medium Density Residential pursuant to the La Jolla Community Plan and is subject to the La Jolla Shores Planned District Single-Family Zone (SF-Zone-LJSPD). The project is also subject to the Coastal Overlay (Non-Appealable-2), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Coastal Impact), and Council District 1.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Mark D. Lyon, 410 Birdrock Ave., San Diego, CA 92037, (858) 459-1171

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: CEQA Guidelines Section 15302, *Replacement or Reconstruction*.

Reasons why project is exempt: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15302, which allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. The project, as included in the Project Description of this notice, would demolish an existing single-family residence on a previously developed site and construct a new single-family residence. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Rachael Ferrell

Telephone: (619) 446-5129

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Senior Planner

11/17/20

Date

Check One:

(X) Signed By Lead Agency

Date Received for Filing with County Clerk or OPR:

() Signed by Applicant

La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: www.lajollacpa.org

info@lajollacpa.org

President: Tony Crisafi

Vice President: Matt Mangano

2nd Vice President: Dave Gordon

Secretary: Suzanne Weissman

Treasurer: Mike Costello

FINAL MINUTES– Regular Meeting | Thursday, December 5, 2019 – 6 p.m.

1.0 Welcome and Call to Order: Tony Crisafi, President: 6:01 pm

Quorum present: Brady, Costello, Crisafi, Fitzgerald, Fremdling, Gordon, Ish, Jackson, Little, Mangano, Manno, Neil, Will, Weissman. **Absent:** Kane, Shannon, Courtney (arrived 6:20)

2.0 Adopt the Agenda - Motion: Adopt agenda as modified (Will/Fitzgerald) Vote: Unanimous.

3.0 Meeting Minutes Review and Approval: - Motion: approve minutes, (Jackson/Costello), Vote: Unanimous.

4.0 Consent Agenda – 4.1 – 4.5

4.1 – Approval of revision of LJ CPA Membership/Attendance List & subsequent placement on the LJCPA Website.

4.2 – 2502 Calle Del Oro – Zuckerman Residence - Project No. 637710, Process 3, CDP and SDP with a lot line adjustment to demo an existing dwelling unit and construct a new 7,744 sq. ft. two story single dwelling unit & attached garage, new single story, 520 s.f. companion unit & lot line adjustment. Parcel 1&2 of lot 84. The 1.18 acre site is located in the La Jolla Shores Planned District, Coastal Overlay Zone of the La Jolla Community Plan Area, Council District 1. **Motion: approve, (Gordon/Jackson) Vote: unanimous.**

4.3 – 2695 Hidden Valley Rd. – Crisafulli Residence – Project No. 648660

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5.0 Officer Reports:

6.0 Elected Officials – Information Only

7.0 President’s Report – Information only unless otherwise noted

8.0 Public Comment -- Opportunity for public to speak on matters not on the agenda

9.0 Non-Agenda Trustee Comment

10.0 Reports from Ad Hoc and non-LJCPA Committees

11.0 LJCPA Review and Action Matter

11.1 Request to eliminate red curbs on east side of La Jolla Farms Road. Vote: 10-3-2

11.2 Pearl Street mixed use development – Vote: 10-3-1.

11.3 Formation of Joint subcommittee to review protected view corridors and to establish parameters for review and advisement to city. Postponed due to absence of organizer, trustee Kane.

11.4 Approve letter to Councilmember Bry regarding LJCPA inability to review CPC public review items due to lack of time due to city’s calendar. Motion: approve with correction of 13th code update to 12th code update Vote: Unanimous.

11.5 Approve letter to San Diego Union Tribune and La Jolla Light regarding beach groins. Motion: Approve Vote: Unanimous.

XX. Adjourn at 8:45 pm. to next regular LJCPA Meeting: Thursday, January 9, 2020 at 6:00 pm.



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board

Meeting Minutes for September 16th, 2019
615 Prospect Street
La Jolla, CA 92037

| Trustee | Attendance | Trustee | Attendance |
|--------------|------------|------------------|------------|
| Jane Potter | Present | Herbert Lazerow | Present |
| Andrea Moser | Present | Susanne Weissman | Present |

1. **Call to Order:** 11:00 a.m.- Potter called the meeting to order at 11:00 a.m.
2. **Approval of the Agenda-** Weissman /Moser approve agenda without Item B. Approved 4-0-0.
3. **Approval of the Minutes** - Moser/Lazerow approve minutes as amended. Approved 4-0-0
4. **Public Comment-** None.
5. **Project Review**

ACTION ITEM A

Project: 641929 – Chambers Roof Upgrade - Motion: Moser/Potter approve as presented.
Motion passed 4-1-0

ACTION ITEM C

Project: 639998 – Ratniewski Addition - Motion: Lazerow deny approval as a Process 1 due to bulk and scale, increased height plus visibility from the street and lack of step-backs on second story. Motion passed 4-0-0.

ACTION ITEM D

Project: 637710 – Zuckerman Residence
Location: 2502 Calle Del Oro APN: 346-202-0500
Presented by: Mark D. Lyon, info@mdla.net, 858-459-1171

Description: Demo existing 4,187 sf single-family dwelling and attached garage, and construct a new 7,033 sf two-story dwelling with attached garage and uninhabitable basement and detached 520 single-story guest house. Scope includes a lot line adjustment to include an existing 660 sf detached garage.

Presentation

- Presenter said proposed FAR would be 0.137.
- Presenter said some existing fill on the property would necessitate the installation of caissons. He said the development would be thirty to forty feet away from the top of the slope. He said the City Engineer's report verified a factor of safety.
- Presenter mentioned that second story would be stepped back.
- The guest house would be located in the landscaped yard area between the house and garage.
- In response to Lazerow the presenter said most of the other houses in the neighborhood are two-story. In response to Weissman, the presenter said the second story would not be visible from below, as the existing story would block it. The existing six foot setback would be moved to eight feet.

Board comment:

- Moser expressed concern over the stability of the large lot with steep hillsides.

Motion: Lazerow/Potter approve as **presented as a Major (Process 3) project that conforms to the neighborhood**. Motion passed 4-0-0.

6. **Next meeting date:**

7. **Adjournment:** 12:15 p.m.

Minutes taken by Tony Kempton, Associate Planner, City of San Diego



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other

Project Title: ZUCKERMAN RESIDENCE **Project No. For City Use Only:** 637710

Project Address: 2502 CALLE DEL ORO, LA JOLLA CA 92037

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____

☐ Partnership ☒ Individual / Revocable Trust

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Leo Zuckerman and Emma Zuckerman ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
Trustees of the Leo and Emma Zuckerman Trust dated December 11, 1991

Street Address: 2502 Calle Del Oro

City: La Jolla

State: CA Zip: 92037

Phone No.: _____ Fax No.: _____ Email: _____

Signature: [Signature] Date: Dec. 3, 2020

Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: ARCHITECT MARK D. LYON, INC. ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 410 BIRD ROCK AVE

City: LA JOLLA

State: CA Zip: 92037

Phone No.: 858-459-1171

Fax No.: _____

Email: INFO@MDLA.NET

Signature: [Signature] Date: 12-9-20

Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
Upon request, this information is available in alternative formats for persons with disabilities.

ZUCKERMAN RESIDENCE

A CUSTOM RESIDENTIAL CONSTRUCTION DOCUMENTS PACKAGE

| | | | | | | | |
|--|--|---|--|-------------------------------------|--|--|--|
| <div>DEFERRED SUBMITTAL</div> <div>DEFERRED SUBMITTAL(S) SHALL BE PROVIDED FOR THE FOLLOWING BUILDING COMPONENTS/ELEMENTS: FIRE SPRINKLERS 1. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE BUILDING OFFICE FOR REVIEW AND APPROVAL BY THE PROJECT ARCHITECT, AND NOT BY THE INDIVIDUAL SUB-CONTRACTOR / CONSULTANT. 2. DEFERRED SUBMITTAL DOCUMENTS IN ADDITION TO THE SEAL OF THE RESPONSIBLE ENGINEER SHALL BEAR THE SHOP DRAWINGS APPROVAL STAMPS OF THE PROJECT ARCHITECT, ENGINEER OF RECORD, AND THE GENERAL CONTRACTOR ON ALL SHEETS OF PLANS AND COVER OF THE CALCULATIONS. 3. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF THIRTY CALENDAR DAYS FOR THE INITIAL PLAN REVIEW TURN-AROUND. 4. DEFERRED SUBMITTAL ITEMS SHALL NOT BE FABRICATED / INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. 5. PROVIDE TWO COPIES OF DEFERRED SUBMITTAL DOCUMENTS FOR FINAL APPROVAL.</div> | | <div>GENERAL NOTES</div> <div>1. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO. 2. SHOULD THERE BE OMISSIONS, OR SHOULD DISCREPANCIES BE FOUND TO EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR ANY PARTS OF EITHER, OR SHOULD THE LANGUAGE OF ANY PART OF THE CONTRACT PROVE TO BE AMBIGUOUS OR DOUBTFUL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, WHO WILL DECIDE AS TO THE TRUE INTENT AND MEANING. SHOULD THE CONTRACTOR FAIL TO OBTAIN CLARIFICATION IN WRITING, AND PROCEED WITH THE WORK SO ATTESTED WITHOUT RECEIVING PROPER INSPECTIONS FROM THE ARCHITECT, HE SHALL DO SO AT HIS OWN RISK, AND HE SHALL REMOVE AND REPLACE THE WORK SO AS TO BE IN COMPLIANCE WITH THE ARCHITECT'S INSTRUCTIONS. THE COST OF REPLACING SUCH WORK, AND OF ANY DAMAGES OR DEFECTS WHICH RESULT, SHALL BE PAID BY THE CONTRACTOR. 3. WHERE THE WORDS "EQUAL," "EQUIVALENT," "SATISFACTORY," "DIRECTED," "DESIGNATED," "SELECTED," "REQUIRED," AND WORDS OF SIMILAR MEANING ARE USED, THE WRITTEN APPROVAL, SELECTION, SATISFACTION, DIRECTION, OR SIMILAR ACTION OF THE ARCHITECT IS REQUIRED. 4. PROPOSITION D, THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GARAGE.</div> <div>ARCHITECT: ARCHITECT MARK D. LYON, INC. 410 BIRD ROCK AVENUE LA JOLLA, CA 92037 PHONE #: (858) 494-1171 GEOTECHNICAL ENGINEER: GEOLOGIC SURVEY/CIVIL ENGINEERING GEOLOGIC SURVEY/CIVIL ENGINEERING 1630 S. KNOX CANYON, INC. 1420 TRADE STREET SAN DIEGO, CA 92122 PHONE: (858) 544-7222 LANDSCAPE ARCHITECT: WIGMANN LANDSCAPE ARCHITECTURE 425 VIA DEL NORTE, SUITE G LA JOLLA, CA 92037 PHONE #: (858) 494-4220</div> <div>STRUCTURAL ENGINEER: NARAGHI ENGINEERING 6840 CHAPARRAL AVE., BLDG. B POHAY, CA 92064 PHONE #: (858) 435-4871 MECHANICAL, ELECTRICAL AND PLUMBING ENGINEER: SALDI ENGINEERING, INC Q7B5 SCRIPPS PAVWAY PKWY., SUITE 391 SAN DIEGO, CA 92131 PHONE #: (858) 271-5551 INTERIOR DESIGN: KERN & CO 130 S. CEDROS AVE., SUITE 100 SOLANA BEACH, CA 92078 PHONE #: (858) 294-7122</div> | | <div>VICINITY MAP</div> <div></div> | | <div>DETAILED SCOPE OF WORK</div> <div>Demo and remove existing single family residence, attached garage, demo and remove existing site improvements. * DEMO (3730 SQ. FT.) OF EXISTING SINGLE FAMILY RESIDENCE DEMO (80 SQ. FT.) EXISTING COVERED PORCH, DEMO (491 SQ. FT.) EXISTING ATTACHED GARAGE DEMCO (60 LIN. FT.) EXISTING CIVIL SITE WALLS, DEMO (240 LIN. FT.) EXISTING CMU RETAINING WALLS PROPOSED 2 STORY SINGLE FAMILY RESIDENCE WITH BASEMENT AND ATTACHED GARAGE: * 5730 SQ. FT. OF NEW LIVING AREA (5558 1ST FLOOR, 5452 2ND FLOOR) 6650 LIN. FT. OF NEW ATTACHED GARAGE W/ATTACHED PORCH 154 SQ. FT. OF UNHABITABLE BASEMENT AREA (NOT INCLUDED IN F.A.R.) 510 SQ. FT. OF NEW COVERED PORCH AND PATIO 528 SQ. FT. OF NEW TRELIS PATIO 278 SQ. FT. OF NEW DECK AREA PROPOSED 1 STORY GUEST QUARTERS: * 520 SQ. FT. OF NEW LIVING AREA RENOVATIONS TO EXISTING DETACHED GARAGE PROPOSED SITE IMPROVEMENTS, CONSISTING OF: 50 LIN. FT. OF NEW PRIVACY SCREENING WALL (VERTICAL 50. FT.) 260 LIN. FT. OF NEW RETAINING WALL (4040 VERTICAL 50. FT.) NEW 44' X 11' VANISHING EDGE SWIMMING POOL (UNDER SEPARATE PERMIT) PLAYGROUND FOR DRIVEWAY AND WALKWAYS AND TERRACE LOT LINE ADJUSTMENT PARCEL MAP TOTAL SCOPE OF WORK AREA: 1342 SQ. FT. AND 1870 VERTICAL 50. FT. OF SITE WALLS * ASSESSABLE AREA: 2,440 = (6,220 SQ. FT. NEW LIVING AREA + 5730 SQ. FT. DEMO (CREDIT+2,440)) UNDERLINED AREA = INCLUDED IN THE FLOOR AREA RATIO (F.A.R.)</div> | |
| <div>FIRE SPRINKLER NOTES</div> <div>1. THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION 903 HAS BEEN DEFERRED. 2. TO AVOID DELAYS IN CONSTRUCTION PLANS FOR FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A TRANSMITTAL THROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO THE APPROVAL OF THE FIRE SPRINKLER PLANS. 3. FIRE SPRINKLER TYPE: NFPA-850</div> | | <div>GAL GREEN NOTES</div> <div>1. CAL GREEN APPLIES TO ALL NEW RESIDENTIAL OCCUPANCIES INCLUDING LOW RISE AND HIGH RISE BUILDINGS. IT ALSO APPLIES TO ALL RESIDENTIAL ALTERATIONS AND ADDITIONS WHERE THE ALTERATION OR ADDITION INCREASES THE CONDITIONAL AREA VOLUME OR OVER THE REQUIREMENTS APPLY ONLY TO WITHIN THE SPECIFIC AREA OF THE ALTERATION OR ADDITION. 2. THE ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC). 3. A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR, PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOOR RATE OF THE SYSTEMS INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT. 4. ALL WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME OF NOT MORE THAN 128 GALLONS PER FLUSH. TANK TYPE WATER CLOSET SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION OF TANK-TYPE TOILETS. 5. ALL MOUNTED URINALS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 0.125 GALLONS PER FLUSH. ALL OTHER URINALS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 0.5 GALLONS PER FLUSH. 6. SHOWER HEADS, SINGLE SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. MULTIPLE SHOWER HEADS WHEN SERVED BY A SINGLE VALVE, SHALL HAVE A GOVERNED FLOW RATE NOT TO EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. 7. FAUCETS, RESIDENTIAL LAVATORY FAUCETS SHALL HAVE A MAXIMUM RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI AND A MINIMUM FLOW RATE OF NOT LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI. 8. FAUCET IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS MUST HAVE A MAXIMUM FLOW RATE OF 0.5 GALLONS PER MINUTE AT 60 PSI. 9. METRING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS MUST NOT DELIVER MORE THAN 0.2 GALLONS PER MINUTE. 10. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW RATE TO A MAXIMUM OF 2.2 GALLONS AT 60 PSI BUT MUST DEFAULT BACK TO THE 1.8 GALLONS PER MINUTE. 11. PLUMBING FIXTURES (WATER CLOSERS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 710.1 OF THE CPC. 12. NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES THAT MEET THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC). 13. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BASED. 14. SENTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 15. A MINIMUM OF 65 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER CALIFORNIA GREEN BUILDING STANDARDS CODE DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER. CONTRACTOR SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF THE MAINTENANCE MANUAL TO THE BUILDING OWNER. 17. AN OWNER MANUAL CERTIFICATE SHALL BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED / RECEIVED TO THE BUILDING OWNER. THE MANUAL SHALL INCLUDE, IN ADDITION TO OTHER ASPECTS, THE FOLLOWING: A. DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING FOR THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE. B. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING: 1. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT. 2. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPUTS. 3. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS. 4. LANDSCAPE AND IRRIGATION SYSTEMS. 5. WATER RE-USE SYSTEMS. C. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS. D. PUBLIC TRANSPORTATION AND/OR CARPOOL, AVAILABLE IN THE AREA. E. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS. F. INFORMATION ABOUT WATER-CONSERVATION LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER. G. INSTRUCTIONS FOR MAINTAINING OUTDOOR AND DOWNSPOTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM FOUNDATION. H. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO: CAULKING, PAINTING GRADING AROUND THE BUILDING, ETC. I. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE. J. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE. 34. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE SHALL COMPLY WITH EPA CLASS II APPROVED FOR THE TESTING AND EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES. 40. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. 41. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. 42. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. 43. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. 44. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING THAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. 45. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING THAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR. 46. WHERE RESILIENT FLOORING IS INSTALLED, EIGHTY PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: 46.a. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPT. OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 0350) CERTIFIED AS A GHPS LOW EMITTING MATERIAL. IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (GHPS) HIGH PERFORMANCE PRODUCTS DATABASE. 46.b. PRODUCTS CERTIFIED UNDER IL GREENGUARD GOLD. 46.c. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORCOVER PROGRAM. MEET THE CALIFORNIA</div> | | | | | |



**ZUCKERMAN
RESIDENCE**

2502 CALLE DEL ORO
LA JOLLA, CA 92037

| | |
|------------------------------------|--|
| REVISIONS: | |
| | |
| SUBMITTAL DATE: 05/17/2019 | |
| PHASE: COASTAL DEV. PERMIT | |
| PROJECT NUMBER: 1904 | |
| REVIEWED BY: MDL | |
| DRAWN BY: K.L. | |
| DATE: 05/01/2020 | |
| SHEET TITLE: TOPOGRAPHIC SURVEY | |
| SHEET NO.: C-1 | |

LEGAL DESCRIPTION

LOT 84 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 13, 1959.

NOTES

- EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. TITLE REPORT NOT PROVIDED.
- THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
- THE ADDRESS FOR THE SUBJECT PROPERTY IS 2502 CALLE DEL ORD, LA JOLLA, CA 92037.
- THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 346-202-05.
- THE TOTAL AREA OF THE SUBJECT PARCEL IS 1.17 ACRES.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE SOUTHEASTERLY CORNER OF PRESTWICK DRIVE AND INVERNESS DRIVE. ELEVATION 347.411' MEAN SEA LEVEL (N.G.V.D. 1929).



PATRICK F. CHRISTENSEN, P.L.S. 7208
Date 04-01-19

Prepared By:
CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE 'J'
SAN DIEGO, CA 92126
PHONE (858)271-9901 EMAIL:CEANDS@AOL.COM

Project Address:
2502 CALLE DEL ORD
LA JOLLA, CA 92037

Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1:

Project Name:
ZUCKERMAN RESIDENCE

Original Date: APRIL 1, 2019

Sheet Title: TOPOGRAPHIC MAP

Sheet 1 Of 1

DEP#

PREPARED BY:
Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

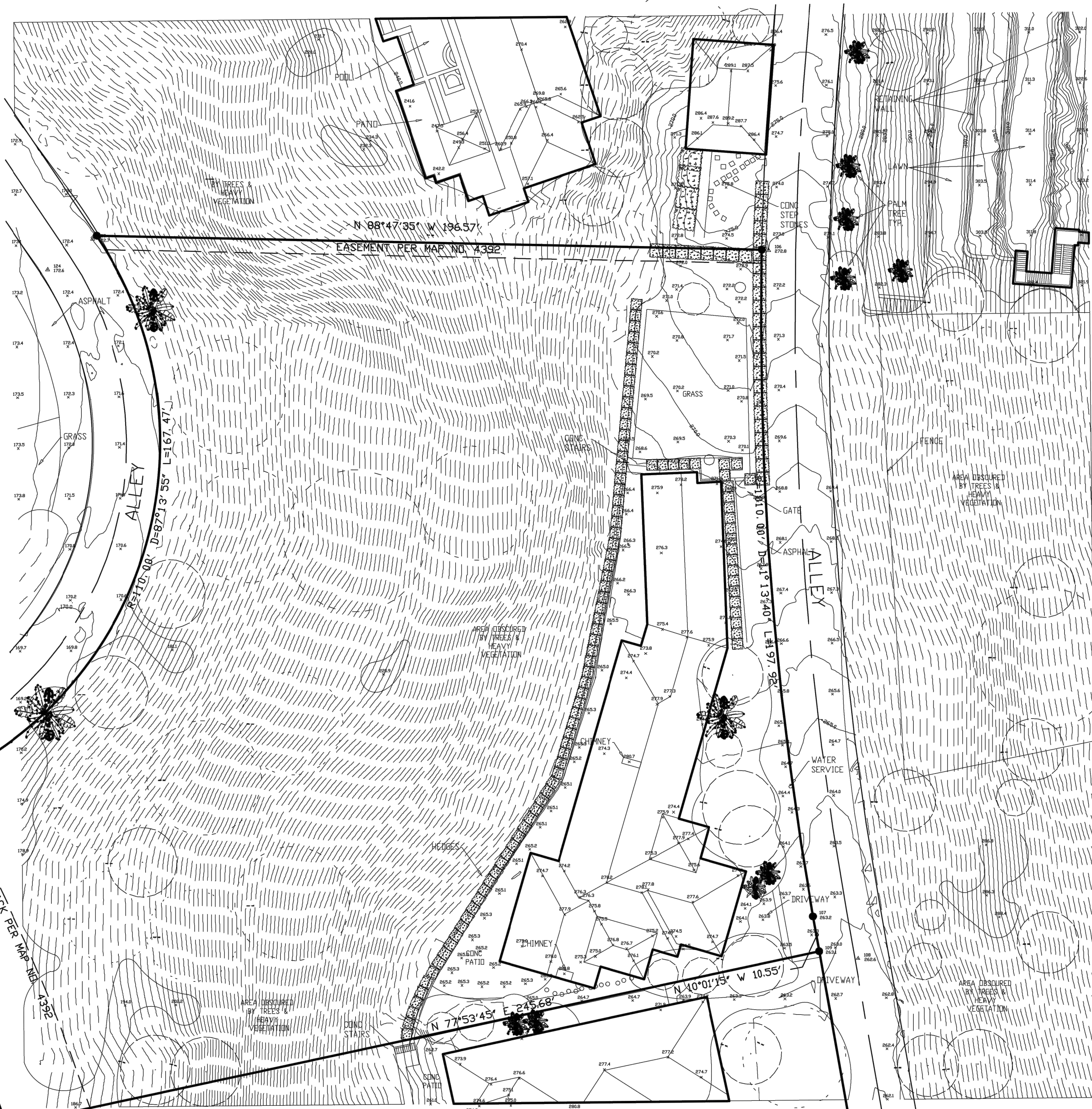
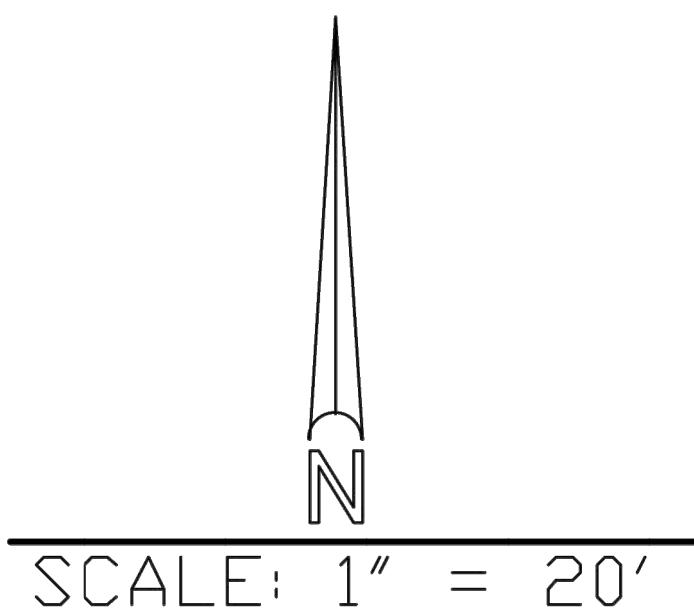
PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
TOPOGRAPHIC SURVEY

Revision 14:
Revision 13:
Revision 12:
Revision 11:
Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2:
Revision 1:

Original Date: 05/17/2019
Sheet 2 of 28
DEP#

CE & S CHRISTENSEN ENGINEERING & SURVEYING
CIVIL ENGINEERS LAND SURVEYORS PLANNERS
7888 SILVERTON AVENUE, SUITE 'J', SAN DIEGO, CALIFORNIA 92126
TELEPHONE: (858)271-9901 EMAIL:CEANDS@AOL.COM



COASTAL DEVELOPMENT PERMIT SITE DEVELOPMENT PERMIT LOT LINE ADJUSTMENT

LEGAL DESCRIPTION:

LOT 84 OF PRESTWICK ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 13, 1998.

LOT 18 OF LA JOLLA COSTA DORADO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6865, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY FEBRUARY 26, 1971 (FOR LOT LINE ADJUSTMENT).

APN: 346-202-05-00 & 346-690-18-00

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE SOUTHEASTLY CORNER OF PRESTWICK DRIVE AND INVERNESS DRIVE. ELEVATION 347.411 MEAN SEA LEVEL (N.G.V.D. 1929).

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS PHOTOGRAMMETRIC SURVEY CHRISTENSEN ENGINEERING & SURVEYING, DATED APRIL 01, 2019.
2. THE USE OF PROPOSED LOT IS FOR SINGLE-FAMILY RESIDENTIAL.
3. THE SUBJECT PROPERTY IS SERVED BY SANITARY SEWER LATERALS AND WATER SERVICES CONNECTED TO CITY OF SAN DIEGO MAINS.
4. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
6. EASEMENT EXIST ON SITE AS SHOWN.
7. AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE CURB OUTLET AND WALKWAYS WITHIN THE PUBLIC RIGHT OF WAY.
8. SITE RUNOFF WILL BE DIRECTED TO BIOPFILTRATION BASIN FOR TREATMENT BEFORE LEAVING SITE AT CURB OUTLET.
9. FOR LANDSCAPE AND HARDSCAPE, SEE LANDSCAPE PLAN.
10. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
11. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
12. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
13. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATION.
14. SEE ARCHITECT'S PLAN FOR ALLEY BACKUP DISTANCE FROM EXISTING AND PROPOSED GARAGES.

GRADING DATA

AREA OF SITE - 50,836 S.F. (1.167 AC)
 AREA OF SITE TO BE DISTURBED - 15,468 S.F.
 PERCENT OF SITE TO BE DISTURBED - 30.4%
 AMOUNT OF SITE WITH 25% SLOPES OR GREATER: AREA - 36653 SF, PERCENT OF TOTAL SITE - 72.1%
 AMOUNT OF SITE WITH SLOPES THAT ARE SUBJECT TO ESL REGS. (LDC SEC. 143.0110): 72.1%
 AMOUNT OF CUT - 865 C.Y. (TO FINISH SURFACE)
 AMOUNT OF FILL - 220 C.Y.
 AMOUNT OF EXPORT - 465 C.Y.
 MAXIMUM HEIGHT OF FILL SLOPE - NONE
 MAXIMUM HEIGHT OF CUT SLOPE - NONE
 MAXIMUM HEIGHT OF VERTICAL CUT: 12' (INCLUDING FOOTING) WITHIN BUILDING FOOTPRINT
 1' OUTSIDE OF BUILDING FOOTPRINT
 MAXIMUM HEIGHT OF VERTICAL FILL: 4.5' WITHIN BUILDING FOOTPRINT
 2.7' OUTSIDE BUILDING FOOTPRINT

RETAINING WALL: LENGTH: 470'; MAX HEIGHT: 10'

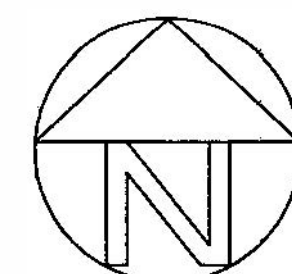
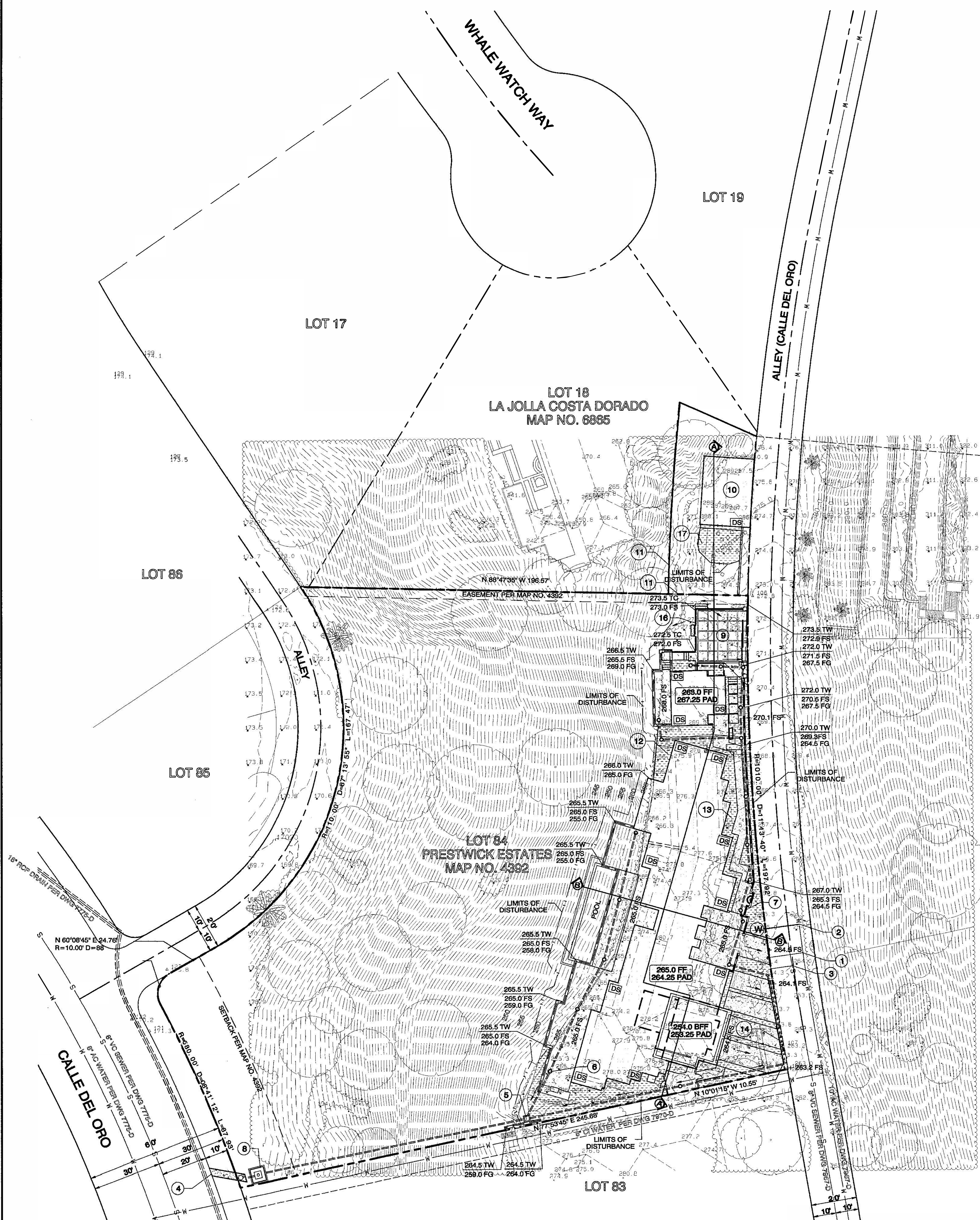
EXISTING IMPERVIOUS AREA = 0.254 AC (21.8%)
 PROPOSED CREATED/REPLACED IMPERVIOUS AREA = 0.270 AC (23.1%)

LEGEND

- — — — — PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - EXISTING OVERHEAD LINES
- G - G - EXISTING GAS LINE
- S - S - EXISTING SEWER LINE
- W - W - EXISTING WATER LINE
- (W) PROPOSED WATER SERVICE
- — — — — PROPOSED 6" TRENCH DRAIN
- — — — — PROPOSED CURB OUTLET
- — — — — PROPOSED FILTERRA UNIT (6' X 6')
- — — — — PROPOSED CATCH BASIN
- — — — — PROPOSED PVC DRAIN
- — — — — PROPOSED DOWNSPOUT
- — — — — PROPOSED AREA DRAIN
- — — — — PROPOSED LANDSCAPE AREA
- — — — — PROPOSED CONCRETE SURFACE
- — — — — PROPOSED PERMEABLE PAVERS
- — — — — PROPOSED RETAINING WALL
- — — — — PROPOSED 6" TYPE "G" CURB

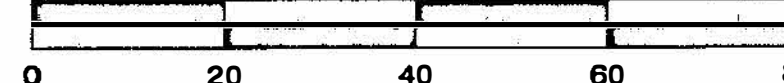
CONSTRUCTION NOTES

1. EXISTING WATER SERVICE TO BE KILLED
2. PROPOSED 1" WATER SERVICE WITH BFP
3. EX SEWER LATERAL TO BE PROTECTED IN PLACE
4. PROPOSED CURB OUTLET Q100 = 0.56 CFS, V100 = 2.33 FPS
5. PROPOSED CATCH BASIN (TYPICAL)
6. PROPOSED AREA DRAIN (TYPICAL)
7. PROPOSED RETAINING WALL (TYPICAL)
8. PROPOSED 6' X 6' FILTERRA UNIT
9. PROPOSED PERMEABLE PAVING (TYPICAL)
10. EXISTING GARAGE TO REMAIN
11. AREA OF LOT LINE ADJUSTMENT (SEE LOT LINE ADJUSTMENT PARCEL MAP)
12. EXISTING RESIDENCE TO BE REMOVED
13. PROPOSED LANDSCAPE AREA (TYPICAL)
14. PROPOSED TRENCH DRAIN
15. NOT USED
16. PROPOSED 6" TYPE "G" CURB
17. PROPOSED DEDICATED LANDSCAPE AREA THAT MEET REQUIREMENT IN SD-B AND SD-F FACT SHEET



SCALE: 1" = 20'

CONTOUR INTERVAL: 1'



Antony K. Christensen
 ANTONY K. CHRISTENSEN, RCE 54021

APRIL 23, 2020
 Date



Prepared By:
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Project Address:
 2502 CALLE DEL ORO
 LA JOLLA, CA 92037

Project Name:
 ZUCKERMAN RESIDENCE

Sheet Title:

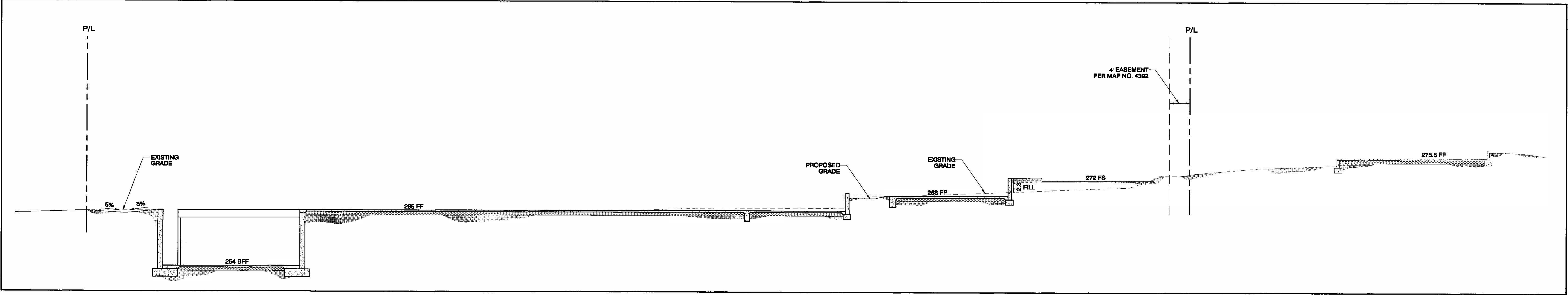
PRELIMINARY GRADING PLAN

Revision 5:
 Revision 4:
 Revision 3:
 Revision 2: 04-13-20 ADDRESS CITY COMMENTS
 Revision 1: 06-12-19 REVISE DESIGN

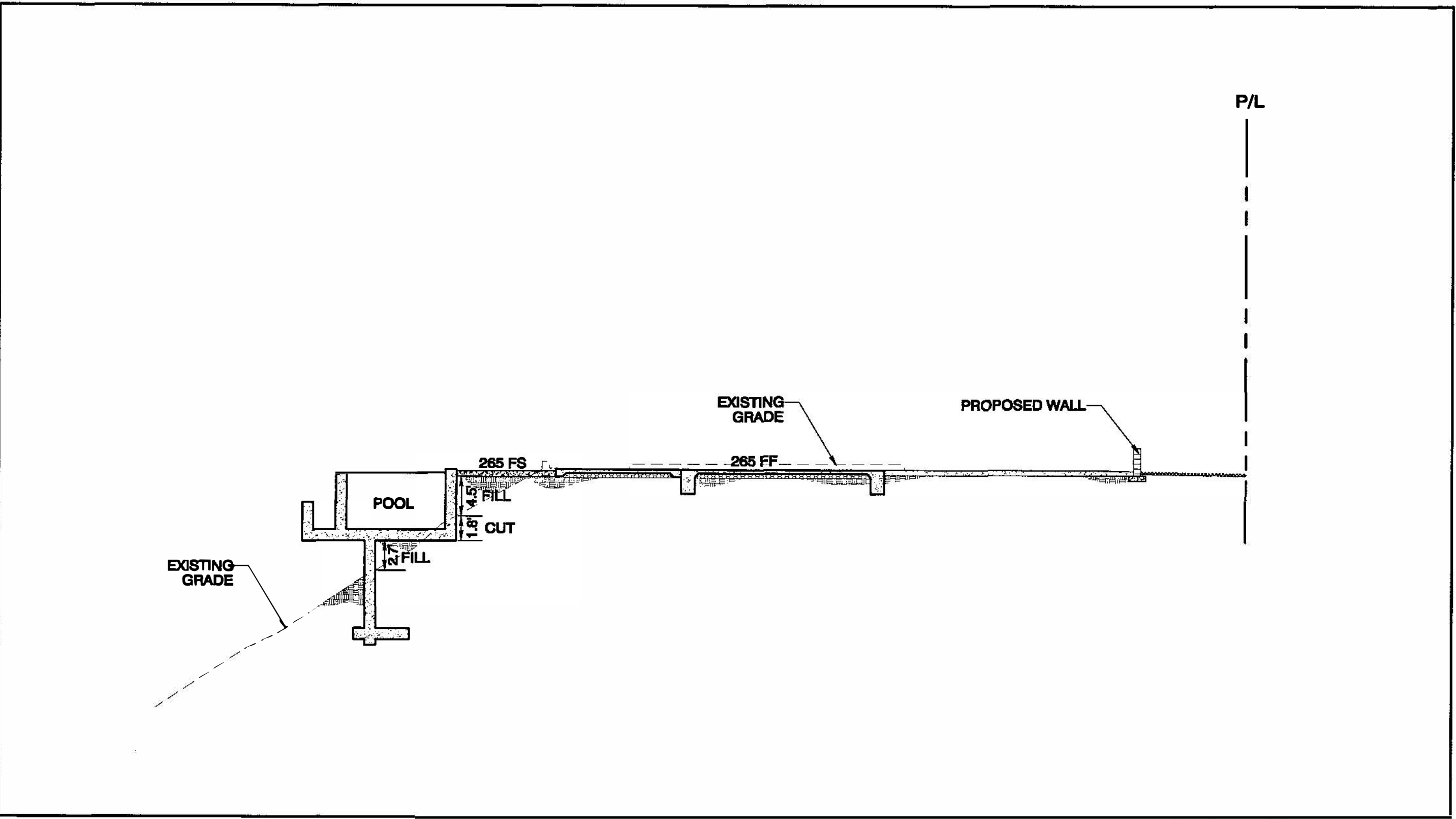
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Sheet of Sheets

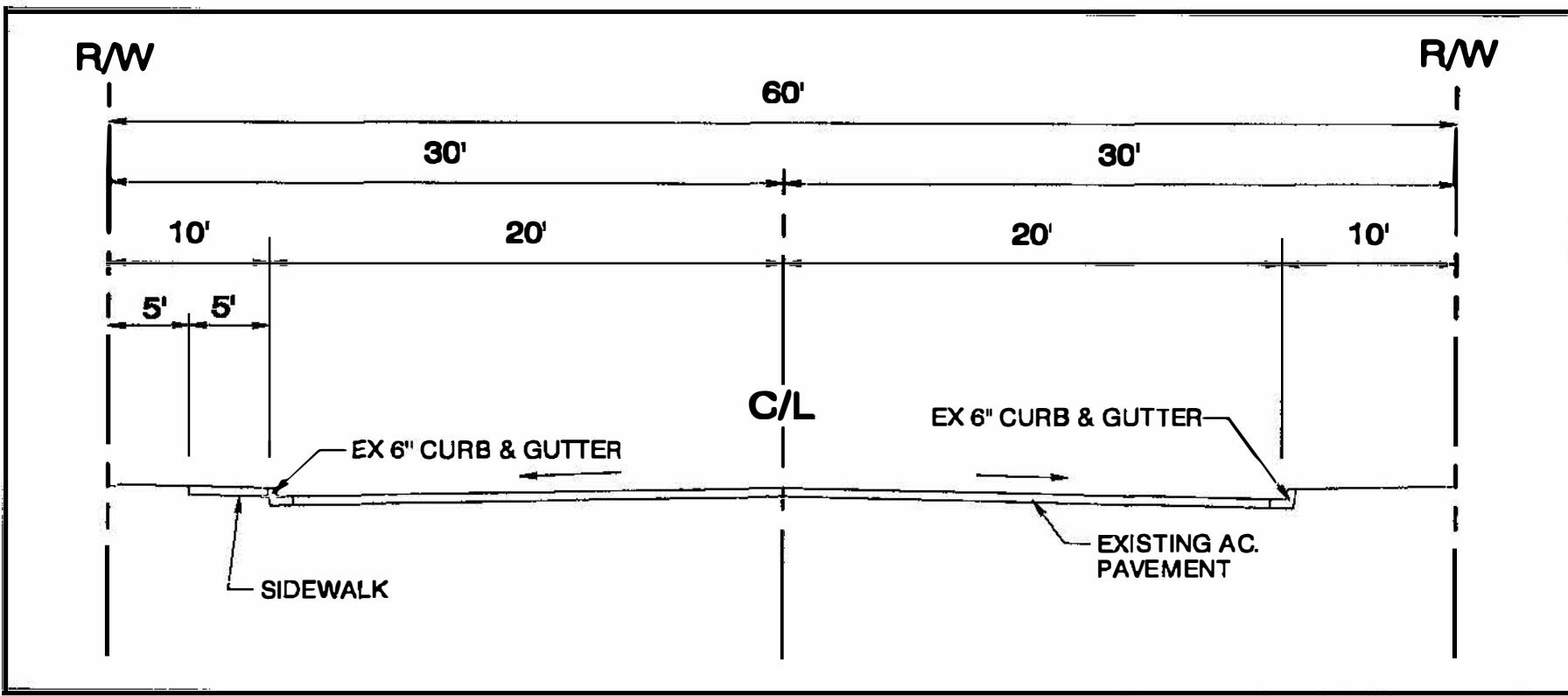
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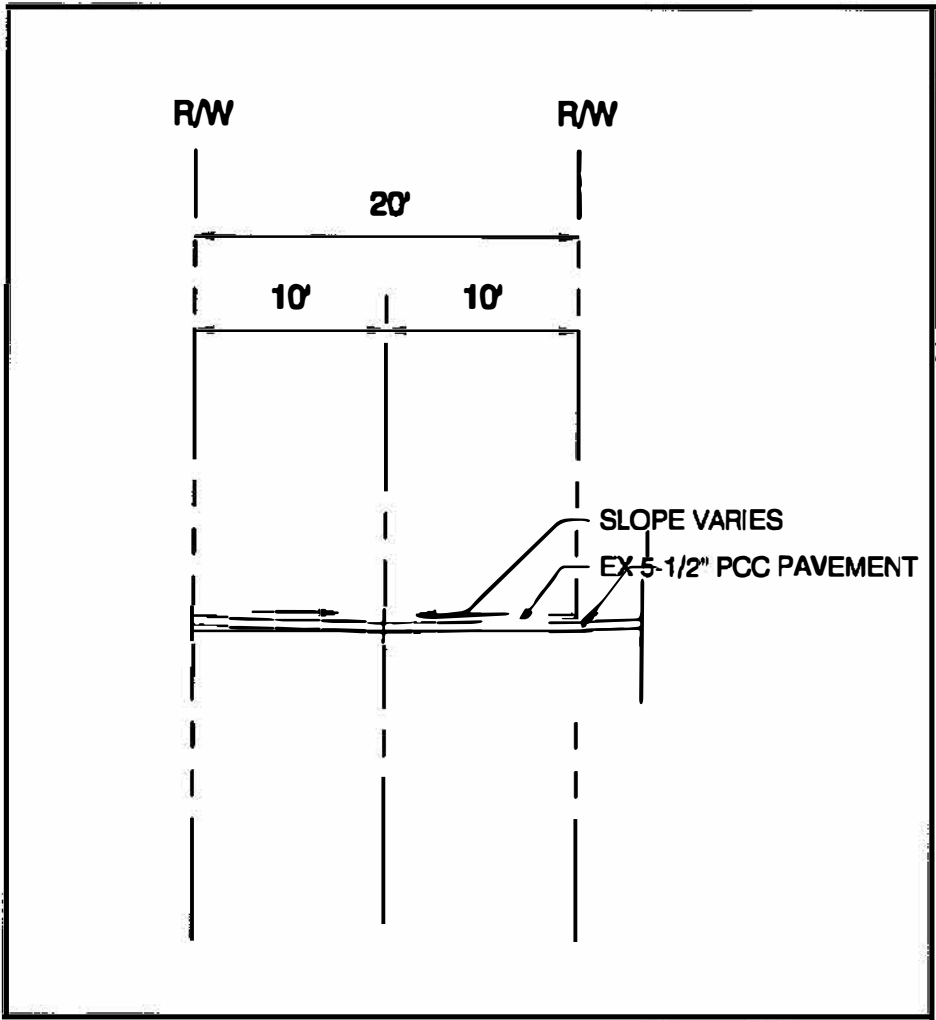
SECTION "A-A"
NOT TO SCALE



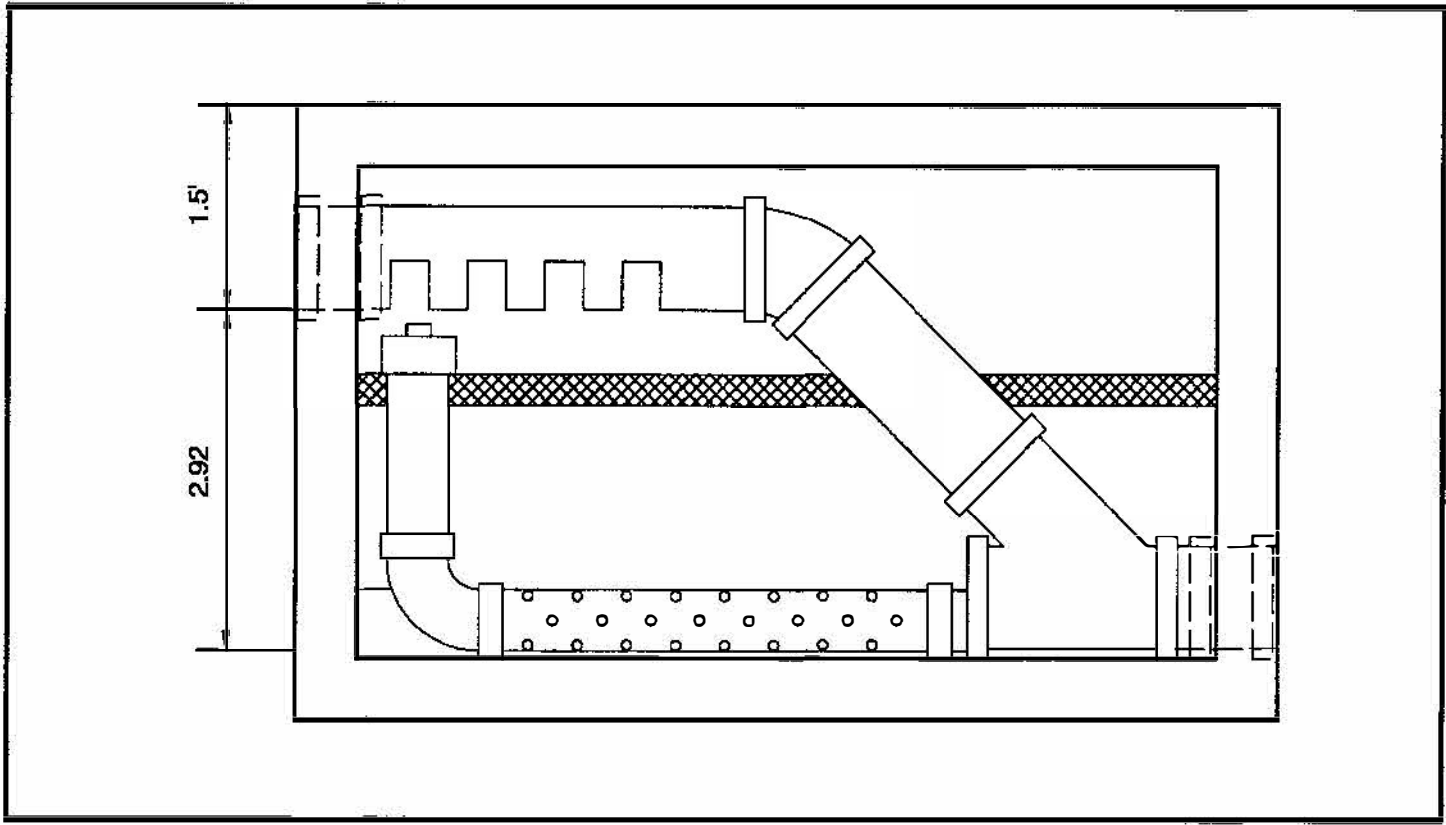
SECTION "B-B"
NOT TO SCALE



TYPICAL SECTION
CALLE DEL ORO
NOT TO SCALE



TYPICAL SECTION
ALLEY
NOT TO SCALE



6' X 6' FILTERRA WITH
6" PVC OVERFLOW
NOT TO SCALE

Antony K. Christensen
ANTONY K. CHRISTENSEN, ROE 54021
Date

APRIL 13, 2020
Date



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Project Address:
2502 CALLE DEL ORO
LA JOLIA, CA 92037

Project Name:
ZUCKERMAN RESIDENCE

Sheet Title:

PRELIMINARY GRADING PLAN

Revision 5:
Revision 4:
Revision 3:
Revision 2: 04-1320 ADDRESS CITY COMMENTS
Revision 1: 06-12-19 REVISE DESIGN

Original Date: MAY 08, 2019

Sheet of Sheets

PTS NO. 637710

PARCEL MAP NO.

SHEET 1 OF 2 SHEETS

OWNER'S CERTIFICATE

WE THE OWNERS OF OR HAVE INTEREST IN THE PROPERTY COVERED BY THIS MAP HEREBY APPROVE SAID MAP AND THE FILING THEREOF.

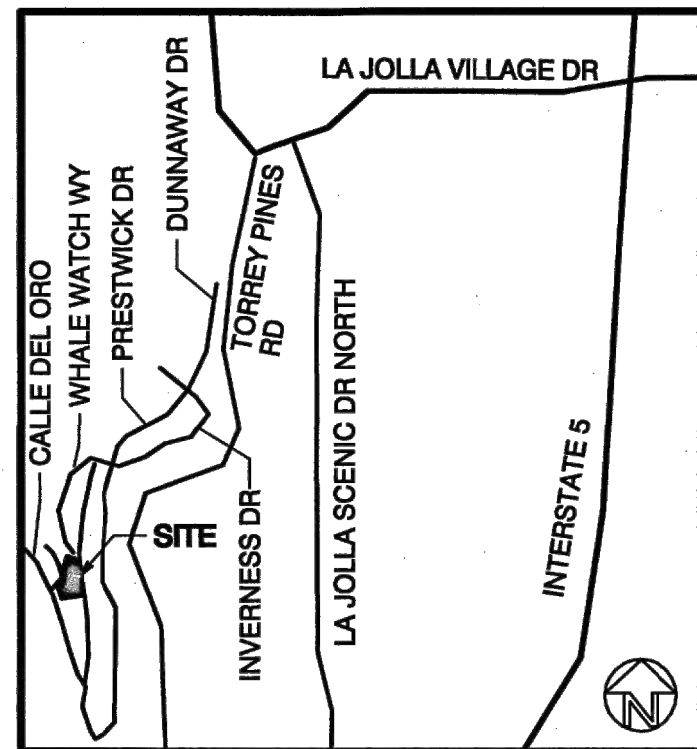
IT IS OUR INTENT TO SUBDIVIDE OUR ENTIRE INTEREST IN THE REAL PROPERTY SHOWN ON THIS MAP WITHIN THE HEAVY BORDER, INCLUDING ANY REVERSION RIGHTS THAT MAY EXIST WITHIN THE ADJOINING PUBLIC RIGHTS-OF-WAY. IT IS NOT OUR INTENT TO ALTER OR SEVER THE LEGITIMATE RIGHTS OF OTHERS WHO MAY HAVE A CLAIM ON THOSE REVERSION RIGHTS THROUGH PRIOR CONVEYANCES.

WE HEREBY DEDICATE TO THE PUBLIC USE THE PORTION OF THE ALLEY FOR USE AS PUBLIC STREET AND APPURTENANCES THERETO, AS SHOWN ON THIS MAP WITHIN THIS SUBDIVISION.

THE LEO AND EMMA ZUCKERMAN TRUST, UDT DECEMBER 11, 1991

BY: _____
LEO ZUCKERMAN, CO-TRUSTEE

BY: _____
EMMA ZUCKERMAN, CO-TRUSTEE



VICINITY MAP
NOT TO SCALE

NOTARY STATEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO)

ON _____ BEFORE ME, _____, A NOTARY PUBLIC,
(INSERT NAME AND TITLE OF THE OFFICER)

PERSONALLY APPEARED
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL
MY COMMISSION NUMBER IS _____
PRINCIPAL PLACE OF BUSINESS IS COUNTY OF _____
EXPIRES _____

SIGNATURE _____
PRINT NAME _____

NOTARY PUBLIC IN AND FOR STATE OF CALIFORNIA

NOTARY STATEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO)

ON _____ BEFORE ME, _____, A NOTARY PUBLIC,
(INSERT NAME AND TITLE OF THE OFFICER)

PERSONALLY APPEARED
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL
MY COMMISSION NUMBER IS _____
PRINCIPAL PLACE OF BUSINESS IS COUNTY OF _____
EXPIRES _____

SIGNATURE _____
PRINT NAME _____

NOTARY PUBLIC IN AND FOR STATE OF CALIFORNIA

CHRISTENSEN ENGINEERING & SURVEYING

PARCEL MAP

BEING A LOT LINE ADJUSTMENT OF LOT 84, OF PRESTWICK ESTATES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 13, 1959 AND OF LOT 18, LA JOLLA COSTA DORADA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6885, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY FEBRUARY 28, 1971.

PARCEL MAP GUARANTEE BY: CHICAGO TITLE COMPANY, ORDER NO.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS COMPILED FROM RECORD DATA IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF LEO ZUCKERMAN IN MAY 2019.

I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE AP-PROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY.

ALL EXISTING MONUMENTS SHOWN HEREON ARE BASED ON RECORD DATA AND SHOWN FOR THE PURPOSE OF PERPETUATION. NO MEASUREMENTS HAVE BEEN VERIFIED.



ANTONY K. CHRISTENSEN, LS 7508
MY REGISTRATION EXPIRES 12-31-19

DATE

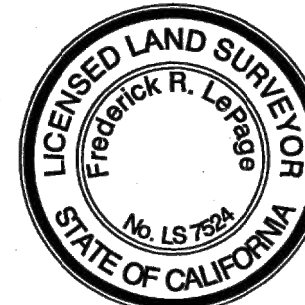
CITY LAND SURVEYOR'S STATEMENT

I HEREBY STATE THAT THIS MAP WAS EXAMINED BY ME OR UNDER MY DIRECT SUPERVISION; THAT IT SUBSTANTIALLY CONFORMS TO THE TENTATIVE MAP, IF ANY, AND ANY APPROVED ALTERATIONS THEREOF; THAT IT COMPLES WITH THE SUBDIVISION MAP ACT AND ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP AND THAT IT IS TECHNICALLY CORRECT.

I ACCEPT THOSE ITEMS LISTED IN THE CERTIFICATE SIGNED BY THE OWNERS UNDER THE CONDITIONS EXPRESSED THEREIN.

I ALSO CERTIFY THAT THERE ARE NO UNPAID BONDS ISSUED UNDER THE STREET IMPROVEMENT ACTS OF THE STATE OF CALIFORNIA AGAINST THIS SUBDIVISION

GREGORY P. HOPKINS
CITY LAND SURVEYOR



BY: FREDERICK R. LePAGE, DEPUTY
PLS 7524

DATE

RECORDER'S CERTIFICATE

FILE NO. _____

FILED THIS _____ DAY OF _____, 2019 AT _____ O'CLOCK _____ M.
IN THE BOOK OF PARCEL MAPS AT PAGE _____ AT THE REQUEST OF ANTONY K. CHRISTENSEN.

ERNEST J. DRONENBURG, JR. BY: _____
COUNTY RECORDER DEPUTY COUNTY RECORDER

FEES: \$ _____

L.C. 253-1695 CCS83 1893-6255 T.M.NONE P.T.S. I.O.

PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
LLA PARCEL MAP

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: _____

Original Date: 05/17/2019

Sheet 5 of 28
DEP#



ZUCKERMAN
RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE:
05/17/2019

PHASE:
COASTAL DEV. PERMIT

PROJECT NUMBER:
1904

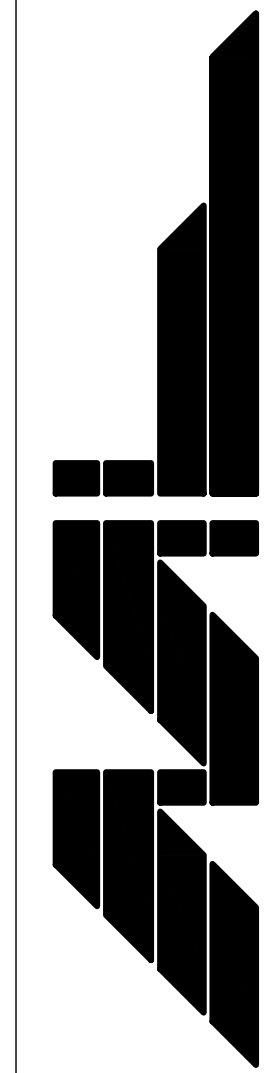
REVIEWED BY:
MDL

DRAWN BY:
K.J.L

DATE:
02/17/2020

SHEET TITLE:
LOT LINE ADJUSTMENT
PARCEL MAP
SHEET NO.:

C-4



ARCHITECT MARK D. LYON INC.
410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLA.NET



ZUCKERMAN
RESIDENCE

2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE:
05/17/2019

PHASE:
COASTAL DEV. PERMIT

PROJECT NUMBER:
1904

REVIEWED BY:
MDL

DRAWN BY:
K.J.L.

DATE:
02/17/2020

SHEET TITLE:
LOT LINE ADJUSTMENT
PARCEL MAP

SHEET NO.:

C-5

PARCEL MAP NO.

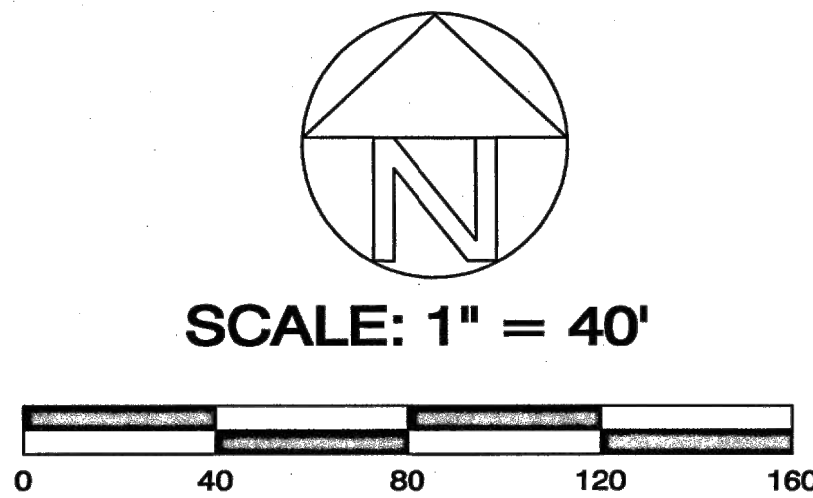
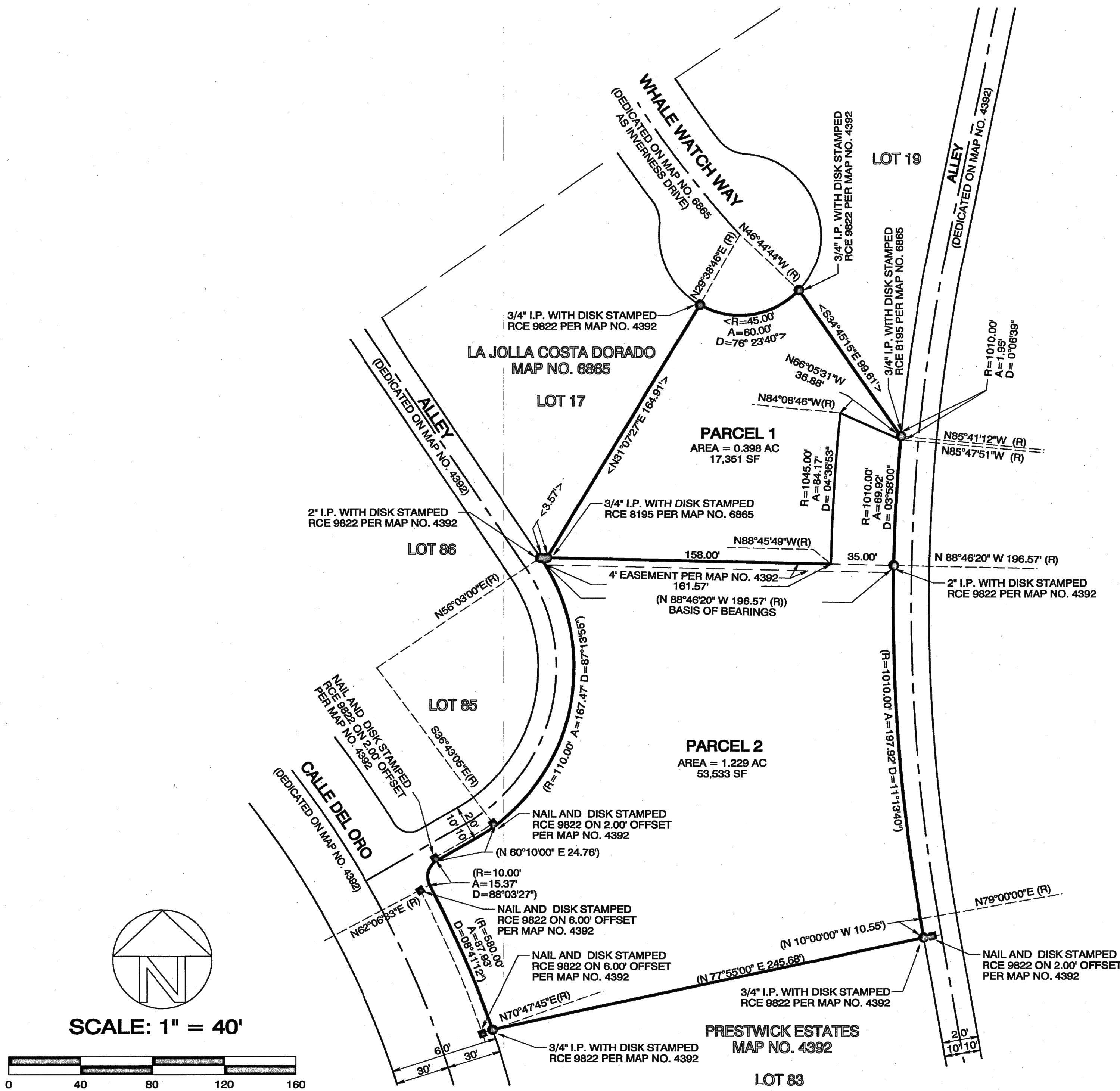
SHEET 2 OF 2 SHEETS

LEGEND

- () RECORD DATA PER MAP NO. 4392
< > RECORD DATA PER MAP NO. 6865
TOTAL NUMBER OF PARCELS = 2

BASIS OF BEARINGS

THE LINE COMMON BETWEEN LOT 84, MAP NO. 4392 AND LOT 18, MAP NO. 6865, I.E. N 88°46'20" W.



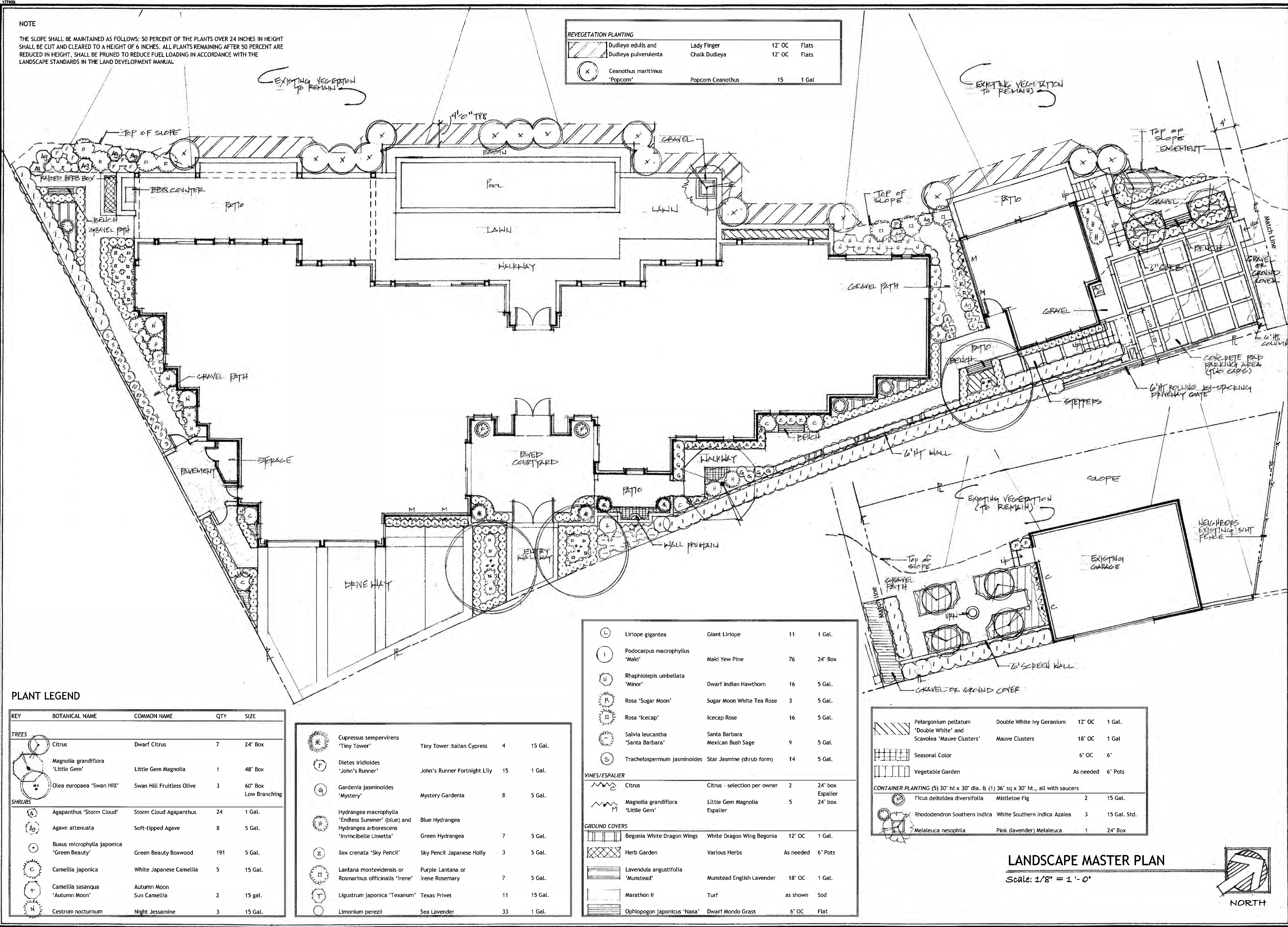
L.C. 253-1695 CCS83 1893-6255 T.M.NONE P.T.S. I.O.

PREPARED BY:
ARCHITECT MARK D. LYON, INC.
Address:
410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
LLA PARCEL MAP

| | |
|----------------|------------|
| Revision 14: | |
| Revision 13: | |
| Revision 12: | |
| Revision 11: | |
| Revision 10: | |
| Revision 9: | |
| Revision 8: | |
| Revision 7: | |
| Revision 6: | |
| Revision 5: | |
| Revision 4: | |
| Revision 3: | |
| Revision 2: | |
| Revision 1: | 02/17/2020 |
| Original Date: | 05/17/2019 |
| Sheet | 6 of 28 |
| DEP# | |



ZUCKERMAN RESIDENCE

2502 Calle Del Oro
La Jolla, CA 92037-2004

WICHMANN

LANDSCAPE ARCHITECTURE
SINCE 1977

405 VIA DEL NORTE, STE. C, LA JOLLA, CA 92037-6751
858-459-9220

DATE 6-20-19 **JOB #** P1905

Drawn By S/N **Revisions**

10-11-19 AS PER CITY 1-11-20 AS PER CITY

Sheet

L-1

OR

PLANTING NOTES

- PREPARE ALL PLANTING AREAS AS FOLLOWS. ALL QUANTITIES ARE BASED ON 1000 SQ. FT.: SCARIFY EXISTING SOIL TO A DEPTH OF 8"; REMOVE ALL DEBRIS, WEEDS AND ROCKS LARGER THAN 2" DIA.; APPLY 2 CU. YDS. NITRIFIED WOOD SHAVINGS, 150 LBS. AGRICULTURAL GYPSUM, 10 LBS. IRON SULPHATE, 50 LBS. TRI-C HUMATE AND 15 LBS. 6-20-20 FERTILIZER (EXCLUDING SLOPES TO BE HYDROSEEDED OR SLOPES EQUAL TO OR GREATER THAN 2:1). ROTOTILL IN TWO DIRECTION ALL AMENDMENTS INTO THE TOP 8" OF EXISTING SOIL, RAKE TO GRADE AND IRRIGATE THOROUGHLY.
- FERTILIZER/SOIL AMENDMENT TREATMENT ABOVE IS FOR BIDDING PURPOSES ONLY. SOILS TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE. ADJUSTMENTS (PLUS OR MINUS) MAY BE NECESSARY. CONTRACTOR SHALL OBTAIN A SOILS ANALYSIS TEST WITH AT LEAST TWO SOILS SAMPLES OF FINAL ROUGH GRADE AT SITE AND SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR INTERPRETATION AND RECOMMENDATIONS. COST OF LAB TEST SHALL BE PAID BY OWNER. SOIL TEST KITS ARE AVAILABLE BY CALLING 1-800-927-3311. CONTRACTOR TO SUBMIT MODIFIED SOIL PREPARATION BID TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO STARTING SOIL PREPARATION WORK.
- GROUND COVERS INCLUDING BERMUDA GRASS AND OTHER NOXIOUS WEEDS SHALL BE SPRAYED W/ 'ROUND-UP'. WAIT TWO WEEKS MIN. AND SPRAY A SECOND TIME IF NECESSARY AND THEN REMOVE. WEED ERADICATION SHALL TAKE PLACE DURING ACTIVE GROWING PERIOD (JUNE-OCTOBER) AND SHALL BE COMPLETED AT LEAST 10 DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING AND/OR IRRIGATION WORK.
- ALL NEWLY INSTALLED TREES SHALL HAVE ALL NURSERY STAKE(S) REMOVED AND SHALL BE RESTAKED WITH 2" DIA. LODGE POLE(S) OUTSIDE OF THE ROOTBALL. 15 GAL TREES SHALL BE STAKED WITH (1) LODGE POLE ON THE WINDWARD SIDE OF THE TREE. 24" BOX TREES SHALL HAVE (2) LODGE POLES OPPOSITE OF EACH OTHER. TREES LARGER THAN 24" BOX SHALL BE GUYED. INSTALL (2) PLASTIC CINCH TIES PER STAKE WITH ONE TWIST BETWEEN STAKE AND TRUNK.
- EVERY PLANT DELIVERED TO THE JOB SITE SHALL BE IN GOOD CONDITION, WITH A LEGIBLE PLANT TAG IDENTIFYING THE BOTANICAL GENUS, SPECIES AND VARIETY OF PLANT FOR VERIFICATION BY LANDSCAPE ARCHITECT WITH APPROVED PLANS AND OR PLANT LEGEND. PLANT MATERIAL WITHOUT TAGS WILL BE REJECTED AND RETURNED TO THE NURSERY AT THE CONTRACTORS COST.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411. MULCH SHALL BE 1 1/2" MINUS FOREST FINES FROM AGRISERVICE, 760-295-6255.
- TRAIN AND FAN OUT ALL VINES ON WALLS, TRELLISES ETC. W/ DEXTOL STICK AND TIE AS REQUIRED. REMOVE ALL CONTAINER STAKES.
- ALL PLANT MATERIAL SHOWING SIGNS OF DEFOLIATION, LEANING, CHLOROSIS (YELLOWING), OR SETTLING PRIOR TO, OR AT THE END OF MAINTENANCE SHALL BE REPLACED BY THE CONTRACTOR, INCLUDING GROUND COVER.
- LANDSCAPE CONTRACTOR TO PROVIDE GUARANTEES NORMAL TO THE TRADE FOR LONGEVITY OF ALL PLANT MATERIALS; THREE MONTHS FOR SHRUBS AND GROUND COVERS, AND ONE YEAR FOR TREES.
- LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM ONCE A WEEK MAINTENANCE SERVICE FOR A PERIOD OF 90 DAYS (MINIMUM 12 SERVICE DAYS OVERALL) BEGINNING THE FIRST DAY AFTER FINAL APPROVAL OF JOB COMPLETION BY CLIENT AND LANDSCAPE ARCHITECT.
- CONTRACTOR TO INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- IRRIGATION SYSTEM SHALL CONSIST OF ON-SURFACE DRIP SYSTEM AS WELL AS POP-UP OVER HEAD SPRAY WHERE APPROPRIATE FOR THE VEGETATION TO BE IRRIGATED
- OWNER TO MAINTAIN AND KEEP CLEAR ALL DRAINAGE SWALES AND INSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS TOWARDS SUBSURFACE DRAINAGE OR OFF SITE STORM DRAIN SYSTEMS AT A MINIMUM OF 2% SLOPE.
- CONTRACTOR SHALL INSTALL VERTICAL STAND PIPES ON ALL TREES WHERE SOIL DRAINAGE IS IMPAIRED AND/OR PLANT CULTURE REQUIRES FASTER DRAINING SOILS THAN EXISTING CONDITION PROVIDE. INSTALL (1) 4" DIA. STAND PIPE TO A DEPTH OF 24" BELOW ROOT BALL FOR EACH 15 GAL. TREE, (2) FOR EACH 24" BOX, (3) FOR EACH 36" & 48" BOX AND (4) FOR ALL TREES LARGER THAN 48" BOX. EACH STAND PIPE SHALL BE WRAPPED WITH MIRAFI #140 NL FILTER FABRIC WITH 1/2" - 3/4" DIA. CRUSHED ROCK. BETWEEN WRAP & STAND PIPE. INSTALL BLACK ATRIUM GRATE ON EACH STAND PIPE.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. INSTALL A 24 INCH DEEP "DEEP ROOT" ROOT BARRIER #UB 24-2 PER MANUFACTURERS SPECIFICATIONS. THE ROOT BARRIER WILL BE INSTALLED LINEARLY ALONG THE EDGE OF HARDSCAPE FOR A MINIMUM DISTANCE OF TEN (10) FEET IN BOTH DIRECTIONS FROM THE CENTER LINE OF TREE TRUNK FOR A MINIMUM TOTAL LENGTH OF TWENTY (20) FEET.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- INSTALL SOD AFTER AREAS TO BE SODDED ARE ROTOTILLED, SOIL CONDITIONERS INCORPORATED, ROCKS AND DEBRIS LARGER THAT 1 1/2" IN DIAMETER ARE REMOVED.
- POST FERTILIZATION FOR ALL PLANTING AREAS (16-6-8) SHALL OCCUR 45 DAYS AFTER PLANTING AT A RATE OF 15 LBS. PER 1,000 SQ. FT.
- THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT AS A PORTION OF THE SUPPORT DOCUMENTATION AS PROVIDED IN THE CONTRACT DOCUMENTS. WICHMANN LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR VERIFYING THE INFORMATION AS SUPPLIED, AND THE INCLUSION ON THESE DRAWINGS DOES NOT IMPLY ANY WARRANTY OF THE ACCURACY OR CORRECTNESS OF THE SUPPORT DOCUMENTATION. THE SUPPORT INFORMATION IS SHOWN FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL TAG AND PHOTOGRAPHY ALL SELECTED TREES AND SPECIMEN PLANTS AT THE NURSERY. PHOTOGRAPHS OF TAGGED TREES AND SPECIMEN PLANTS SHALL BE SUPPLIED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANT MATERIAL BEING SHIPPED AND OR PICKED-UP FROM NURSERY.

WATER BUDGET
LANDSCAPE WORKSHEET

This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

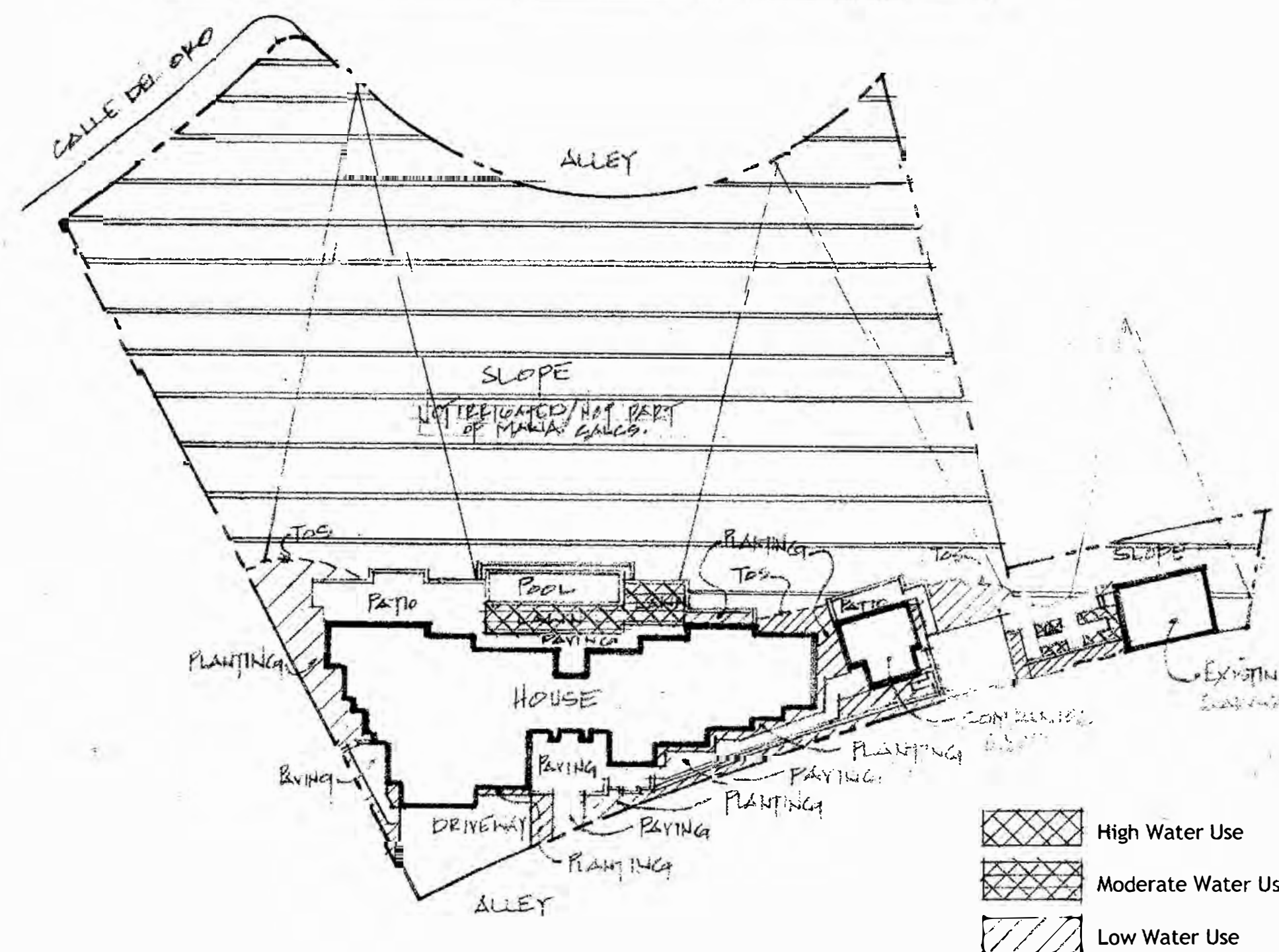
Project Name: Zuckerman Residence Project #: 637710
 Project Address: 2502 Calle Del Oro, La Jolla, CA 92037
 Steve Wichmann
 Individual/Business Completing the Worksheet Wichmann Landscape Architecture
 Phone Number 858-459-9220

MAWA Water Budget calculation = $(ET_0)(0.62) [(ETAF)(LA) + (1-ETAF)(SLA)] =$ gallons per year

$$40 \times 0.62 \times 0.55 \times 2,984 = 40,702 \text{ gallons per year}$$

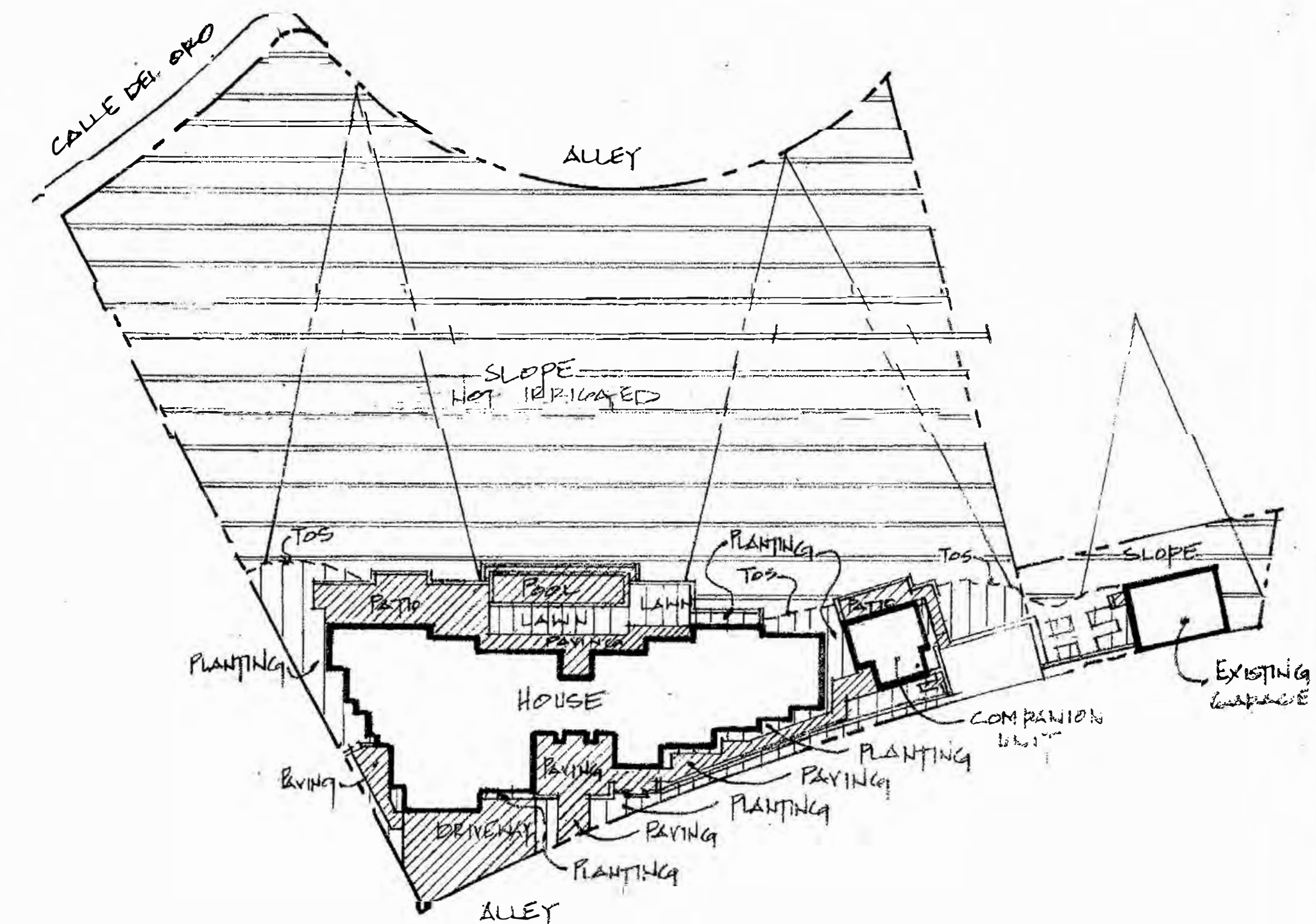
| Controller No. | Hydrozone No. | Valve Circuit | Plant Factor (PF) | Hydrozone Area in s.f. (HA) | Irrigation Method | Irrigation Efficiency (IE) | % Total Landscape Area |
|----------------|---------------|---------------|-------------------|-----------------------------|-------------------|----------------------------|------------------------|
| | 1 | | 0.6 | 624 | Spray | 0.75 | 21% |
| | 2 | | 0.7 | 207 | Drip | 0.81 | 7% |
| | 3 | | 0.3 | 2,153 | Drip | 0.81 | 72% |
| Total | | | | | | | 100% |

| Controller No. | ETWU $[(ET_0)(0.62)] \left[\left(\frac{PF \times HA}{IE} \right) + SLA \right]$ | Result in Gallons per Year |
|-----------------------------|---|----------------------------|
| | $40 \times 0.62 \times 0.8 \times 624 / 0.75$ | 16,507 |
| | $40 \times 0.62 \times 0.6 \times 207 / 0.81$ | 3,803 |
| | $40 \times 0.62 \times 0.3 \times 2153 / 0.81$ | 19,776 |
| Total ETWU gallons per year | | 40,086 |



Hydrozone Plan

Scale: 1" = 40'-0"



Landscape Area Diagram

Scale: 1" = 40'-0"

LANDSCAPE AREA CALCULATIONS

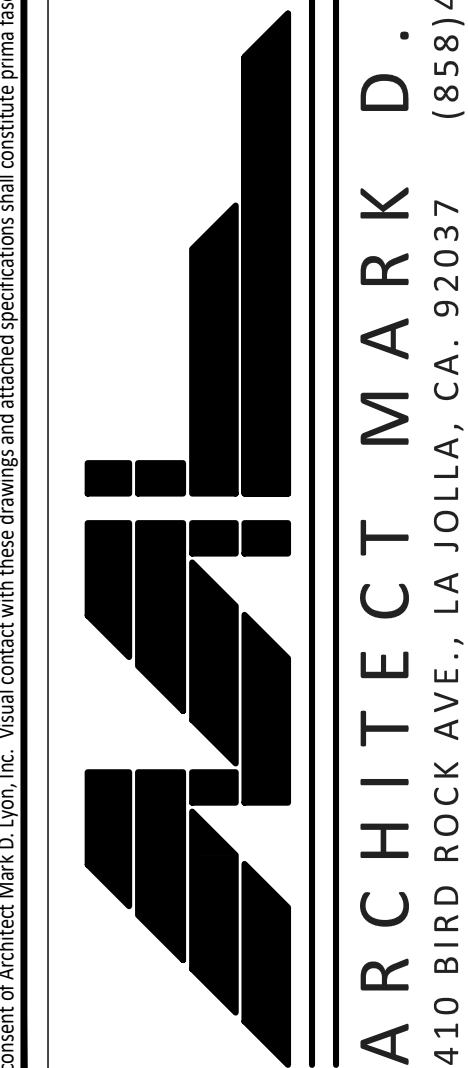
| | | |
|--------------------------------------|----------------|--|
| Lot Size | 50,836 sq. ft. | |
| Additional Property | 2,695 sq. ft. | |
| Total Land Area | 53,531 sq. ft. | |
| Main Residence | 5,595 sq. ft. | |
| Companion Unit | 505 sq. ft. | |
| Existing Garage | 660 sq. ft. | |
| Total Structures | 6,760 sq. ft. | |
| Total Hardscape | 4,440 sq. ft. | |
| Landscape Area Existing | 39,347 sq. ft. | |
| Landscape Area New | 2,984 sq. ft. | |
| Total Landscape Area | 42,331 sq. ft. | |
| Percent of Landscape Area | 79% | |
| Total Landscape Area With Irrigation | 2,984 sq. ft. | |

ZUCKERMAN RESIDENCE

2502 Calle Del Oro
La Jolla, CA 92037-2004WICHMANN
LANDSCAPE ARCHITECTURE
LA 92037405 VIA DEL NORTE, STE. C, LA JOLLA, CA 92037-6951
858-459-9220Date: 10-11-19
Drawn By: SW
Checked By: SW
Project: 637710

Sheet

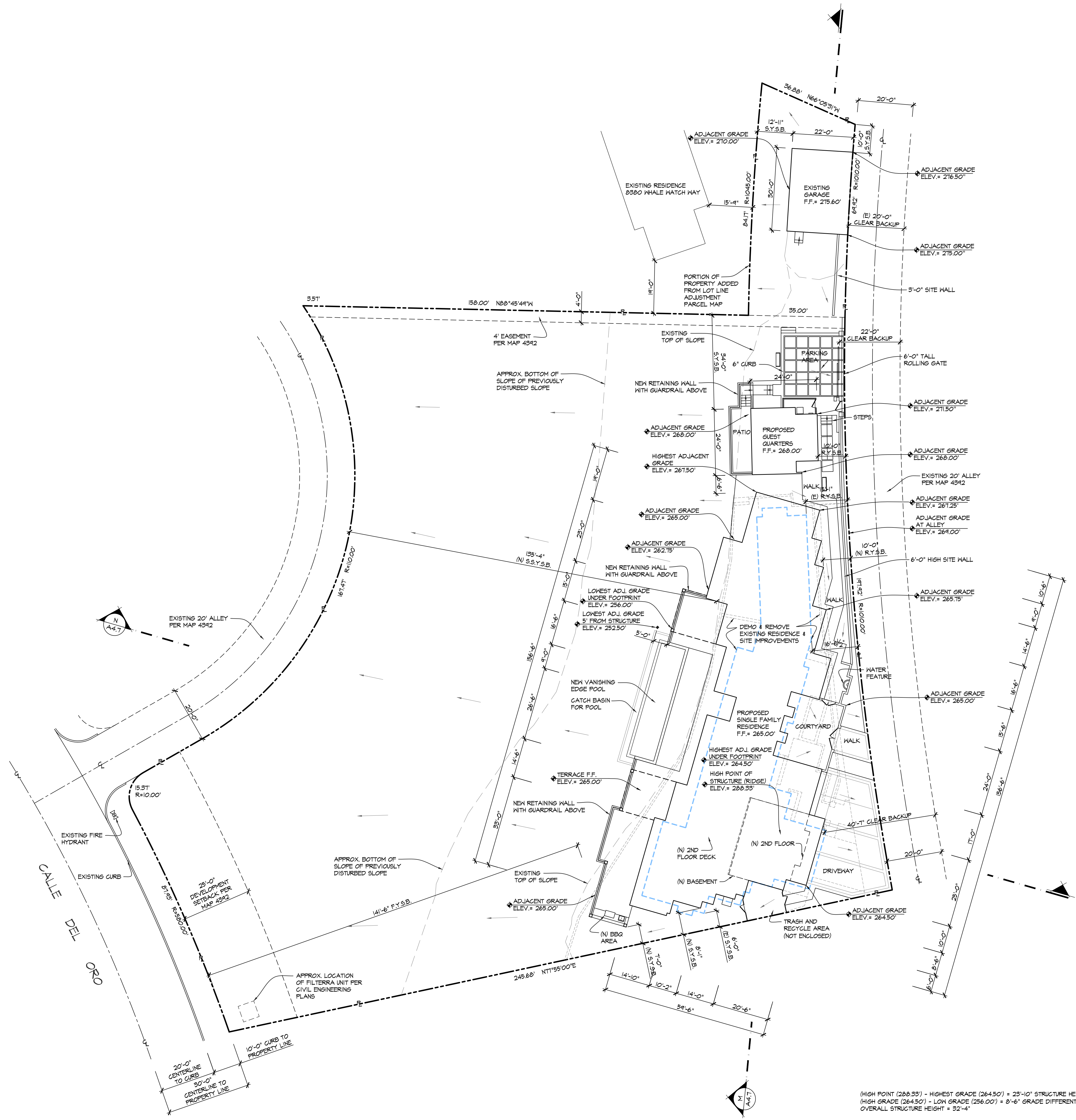
L-2
OF



**ZUCKERMAN
RESIDENCE**
2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS:

| | |
|-----------------|------------------------|
| SUBMITTAL DATE: | 05/17/2019 |
| PHASE: | CONSTRUCTION DOCUMENTS |
| PROJECT NUMBER: | 1904 |
| REVIEWED BY: | MDL |
| DRAWN BY: | K.J.L. |
| DATE: | 06/08/2020 |
| SHEET TITLE: | SITE PLAN |
| SHEET NO.: | AI.I |



(HIGH POINT (266.33') - HIGHEST GRADE (264.50') = 2'-10" STRUCTURE HEIGHT) +
(HIGHEST GRADE (264.50') - LOW GRADE (256.00') = 8'-6" GRADE DIFFERENTIAL) = 32'-4"
OVERALL STRUCTURE HEIGHT = 32'-4"

SITE PLAN
SCALE: 1/16" = 1'-0"

- NOTES**
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FRONT THE STREET OR ROAD FRONTING THE PROPERTY PER FHFS POLICY P-00-6 (UFC 901.4.4).
 - THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
 - EXISTING SITE DRAINAGE PATTERN TO REMAIN. NO ADDITIONAL RUNOFF TO PUBLIC RIGHT OF WAY.
 - LIGHTING SHALL BE UNOBTRUSIVE AND SHIELDED SO AS NOT TO FALL EXCESSIVELY ON ADJACENT PROPERTIES.
 - ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 50 PERCENT OF THE TOTAL PARCEL AREA.
 - STORM WATER FROM DOWNSPOUTS AND IMPERVIOUS AREAS SHALL BE ROUTED THROUGH BIOFILTRATION SYSTEM PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
 - (E) LANDSCAPED AREA TO REMAIN: 35,000 SQ. FT.
(N) LANDSCAPED AREA: 5,800 SQ. FT.
(N) HARDSCAPE AREA: 5,600 SQ. FT.
 - LOT COVERAGE SHALL BE LIMITED TO A MAXIMUM OF 60%. THE PROPOSED LOT COVERAGE IS 6.91% SQ. FT. / LOT SIZE 54,101 SQ. FT. = 0.128 = PROPOSED LOT COVERAGE = 12.8%
 - GUEST QUARTERS OR HABITABLE ACCESSORY BUILDINGS SHALL BE USED SOLELY BY THE OCCUPANTS OF THE PRIMARY DWELLING UNIT, THEIR GUESTS, OR THEIR EMPLOYEES.
 - GUEST QUARTERS OR HABITABLE ACCESSORY BUILDINGS SHALL NOT BE RENTED, LEASED, OR SOLD AS A SEPARATE DWELLING UNIT.
 - THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL, BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
 - THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14 (ARTICLE 2, DIVISION 1) (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

| | | | |
|----------------|------------------------------|--------------|------------|
| PREPARED BY: | ARCHITECT MARK D. LYON, INC. | Revision 14: | |
| Name: | 410 BIRD ROCK AVENUE | Revision 13: | |
| Address: | LA JOLLA, CA 92037 | Revision 12: | |
| Phone #: | (858)459-1171 | Revision 11: | |
| PROJECT NAME: | ZUCKERMAN RESIDENCE | Revision 10: | |
| | 2502 CALLE DEL ORO | Revision 9: | |
| | LA JOLLA, CA 92037 | Revision 8: | |
| SHEET TITLE: | SITE PLAN | Revision 7: | |
| | | Revision 6: | |
| | | Revision 5: | |
| | | Revision 4: | 06/08/2020 |
| | | Revision 3: | 06/01/2020 |
| | | Revision 2: | 02/11/2020 |
| | | Revision 1: | |
| Original Date: | 05/17/2019 | | |
| Sheet | 9 | of | 28 |
| DEP# | | | |



**ZUCKERMAN
RESIDENCE**

2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS: _____

SUBMITTAL DATE:

PHASE: COASTAL DEV. PERMIT

PROJECT NUMBER:
1904

REVIEWED BY:

MDL

DRAWN BY:

DATE: 11/19/2020

SHEET TITLE:

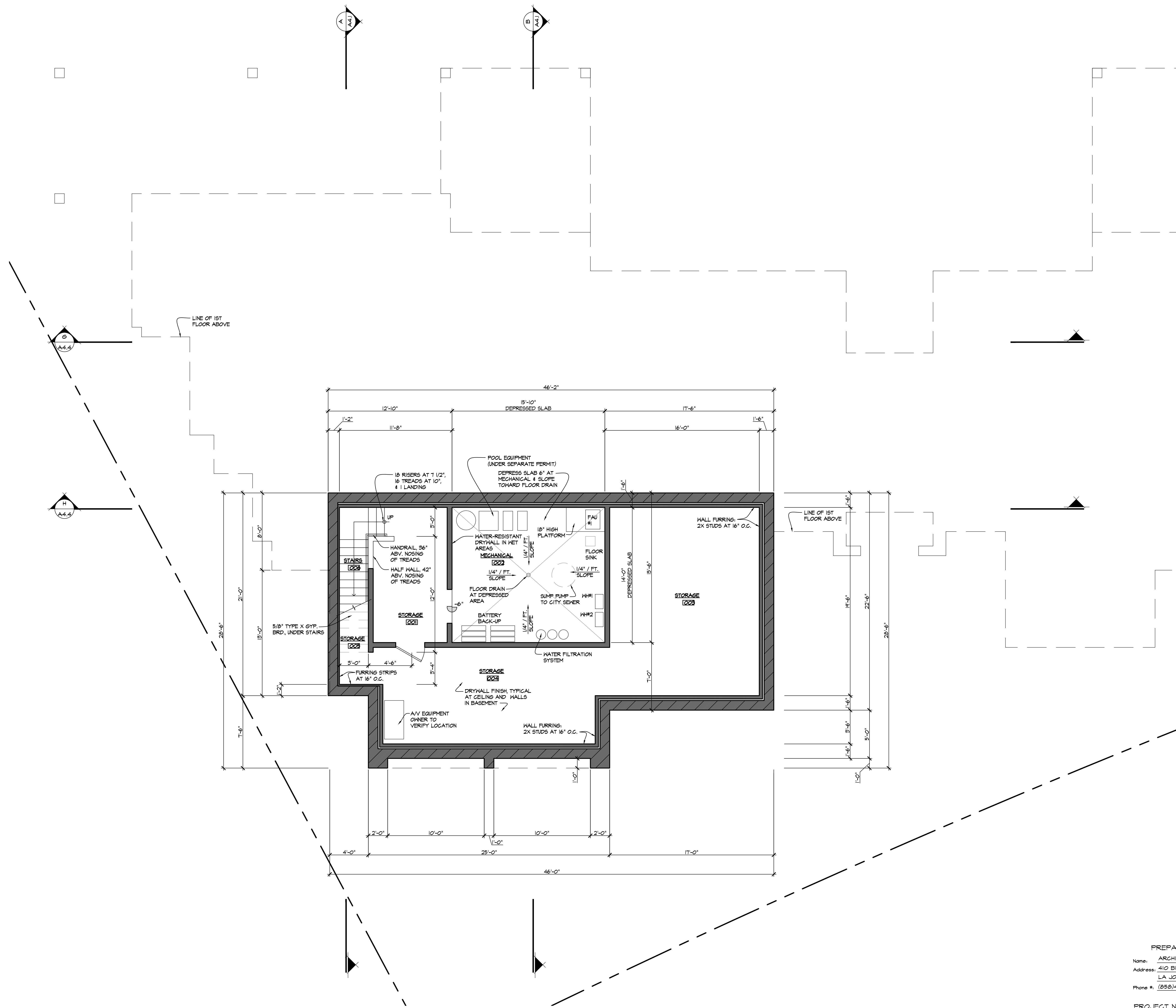
BASEMENT

FLOOR PLAN

SHEET NO:

ASU

A2.1



PROPOSED BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0" 1150 SQ. FT. (UNCONDITIONED)



PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.

Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037

Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
BASEMENT FLOOR PLAN

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: _____

Original Date: _____

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DEP# _____



**ZUCKERMAN
RESIDENCE**

2502 CALLE DEL ORO
LA JOLLA, CA 92037

INITIAL DATE:

COASTAL DEV. PERMIT

PROJECT NUMBER: 190

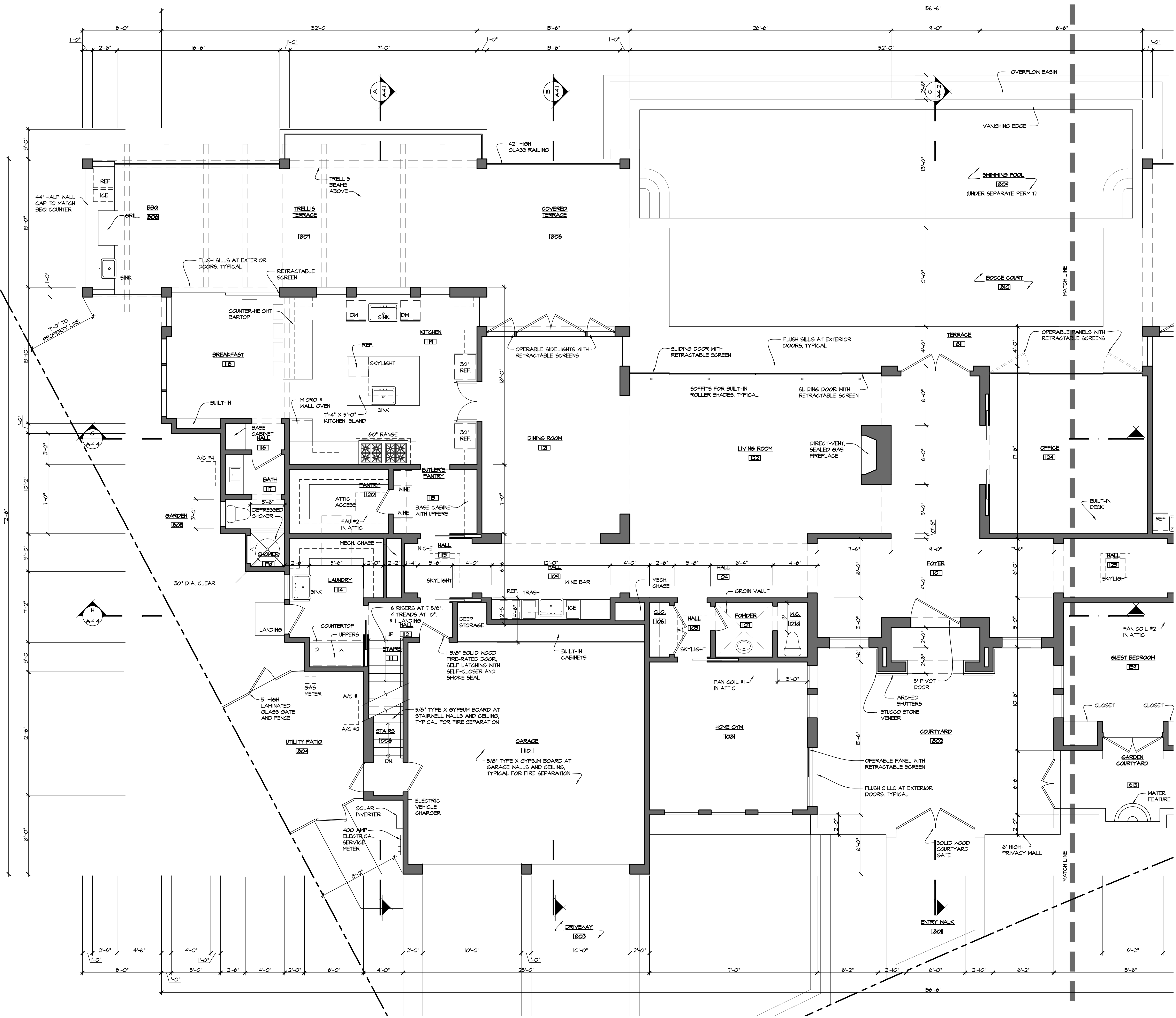
WED BY: MD

W/IN BY:

11/19/2020

PROPOSED 1ST
FLOOR PLAN (SOUTH)

A2.2



PROPOSED 1ST FLOOR PLAN (SOUTH)

SCALE: 1/4"=1'-0"

5158 SQ. FT. LIVING AREA
663 SQ. FT. GARAGE AREA
571 SQ. FT. COVERED PATIO
528 SQ. FT. TRELLIS AREA

NOTES:

1. THIS BUILDING SHALL INCORPORATE ENERGY EFFICIENT MEASURES TO COMPLY WITH TITLE 24, PART 6, THE CALIFORNIA ENERGY CODE, AND TITLE 24, PART II, THE CALIFORNIA GREEN BUILDING STANDARDS CODE.

PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

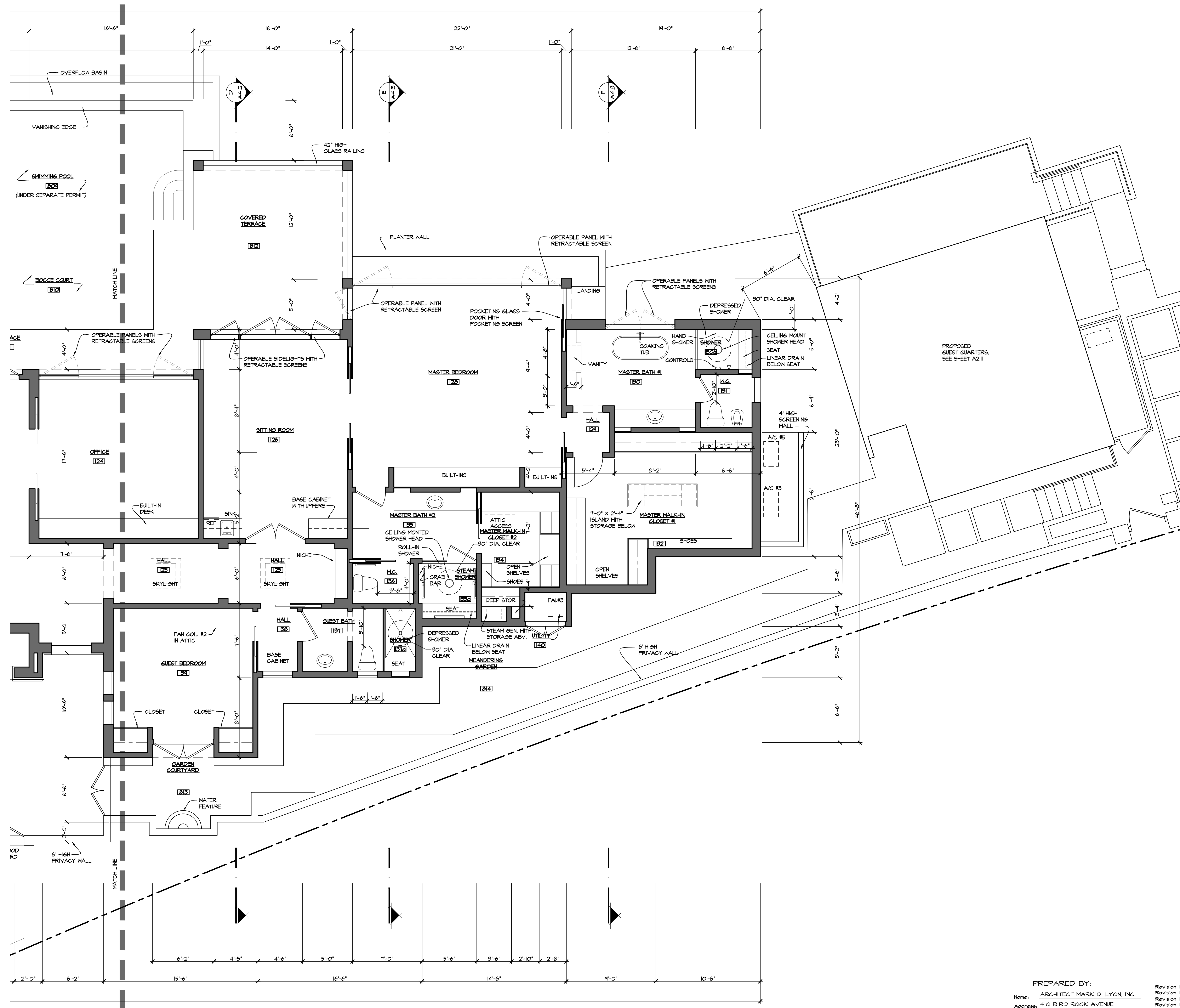
PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
1ST FLOOR PLAN (SOUTH)

Revision 14: _____
Revision 13: _____
Revision 12: _____
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Revision 2: _____
Revision 1: _____

11/19/2020
06/08/2020
05/01/2020
02/17/2020

Original Date: 05/17/2019
Sheet 12 of 28
DEP# _____



PREPARED BY:
 ARCHITECT MARK D. LYON, INC.
 Name:
 Address:
 LA JOLLA, CA 92037
 Phone #: (858)459-1171

PROJECT NAME:
 ZUCKERMAN RESIDENCE
 2502 CALLE DEL ORO
 LA JOLLA, CA 92037

SHEET TITLE:
 1ST FLOOR PLAN (NORTH)

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: 11/19/2020
 Revision 3: 06/08/2020
 Revision 2: 05/07/2020
 Revision 1: 02/11/2020

Original Date: 05/17/2019
 Sheet 13 of 28
 DEP# _____



**ZUCKERMAN
 RESIDENCE**
 2502 CALLE DEL ORO
 LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE: _____

PHASE: COASTAL DEV. PERMIT

PROJECT NUMBER: 1904

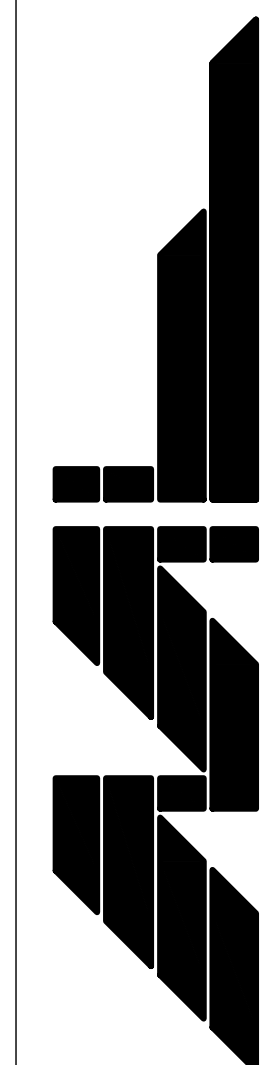
REVIEWED BY: MDL

DRAWN BY: KJL

DATE: 11/19/2020

SHEET TITLE:
 PROPOSED 1ST
 FLOOR PLAN (NORTH)
 SHEET NO.: A2.3

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**ZUCKERMAN
RESIDENCE**

2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS

SUBMITTAL DATE

PHASE: _____

COASTAL DEV. PERMIT

PROJECT NUMBER: 1904

REVIEWED BY:

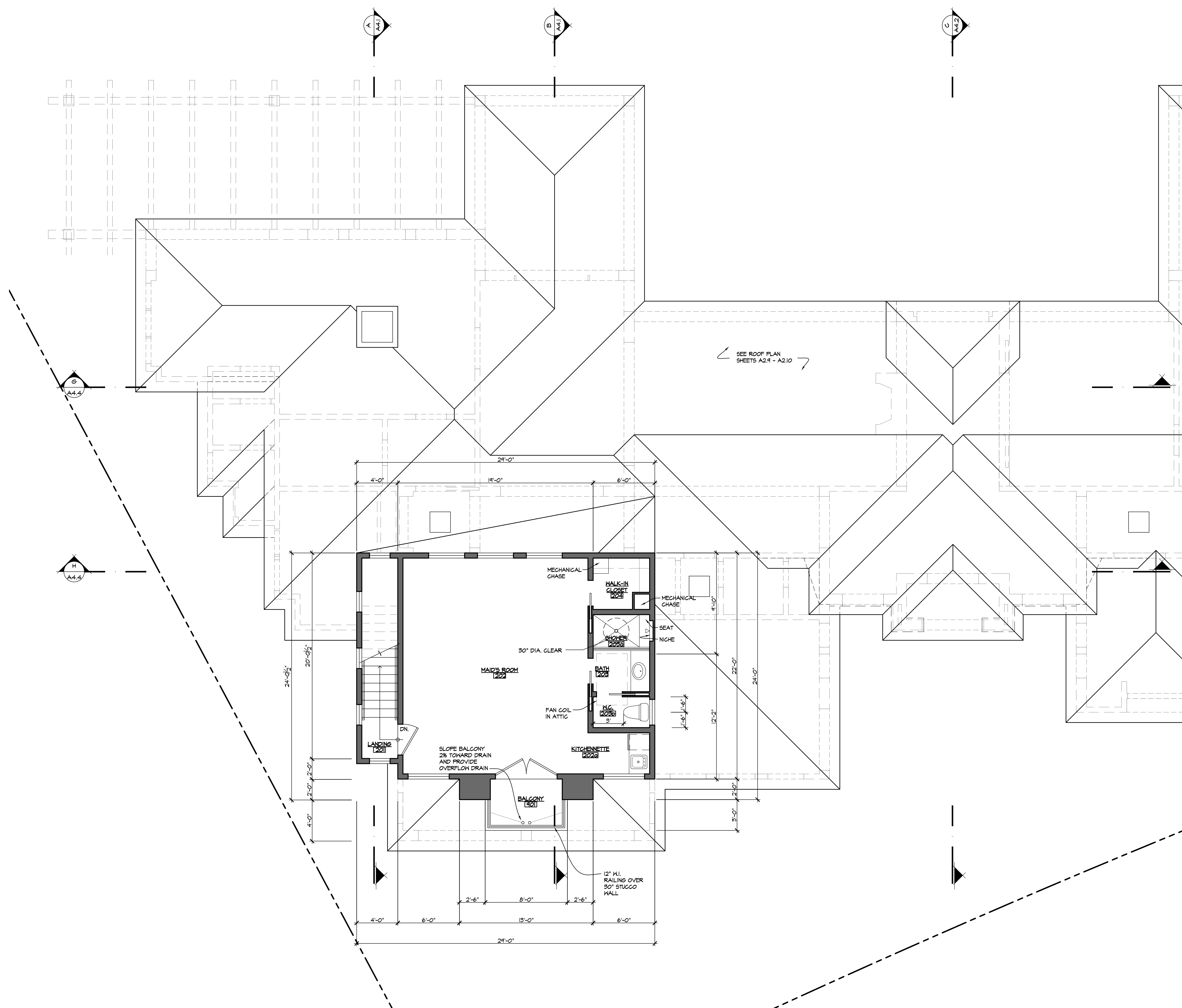
DRAWN BY: _____

DATE: 11/19/2020

SHEET TITLE:
PROPOSED 2ND
FLOOR PLAN

SHEET NO:

A2.4



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"

632 SQ. FT. LIVING AREA
38 SQ. FT. BALCONY AREA



PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.

Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037

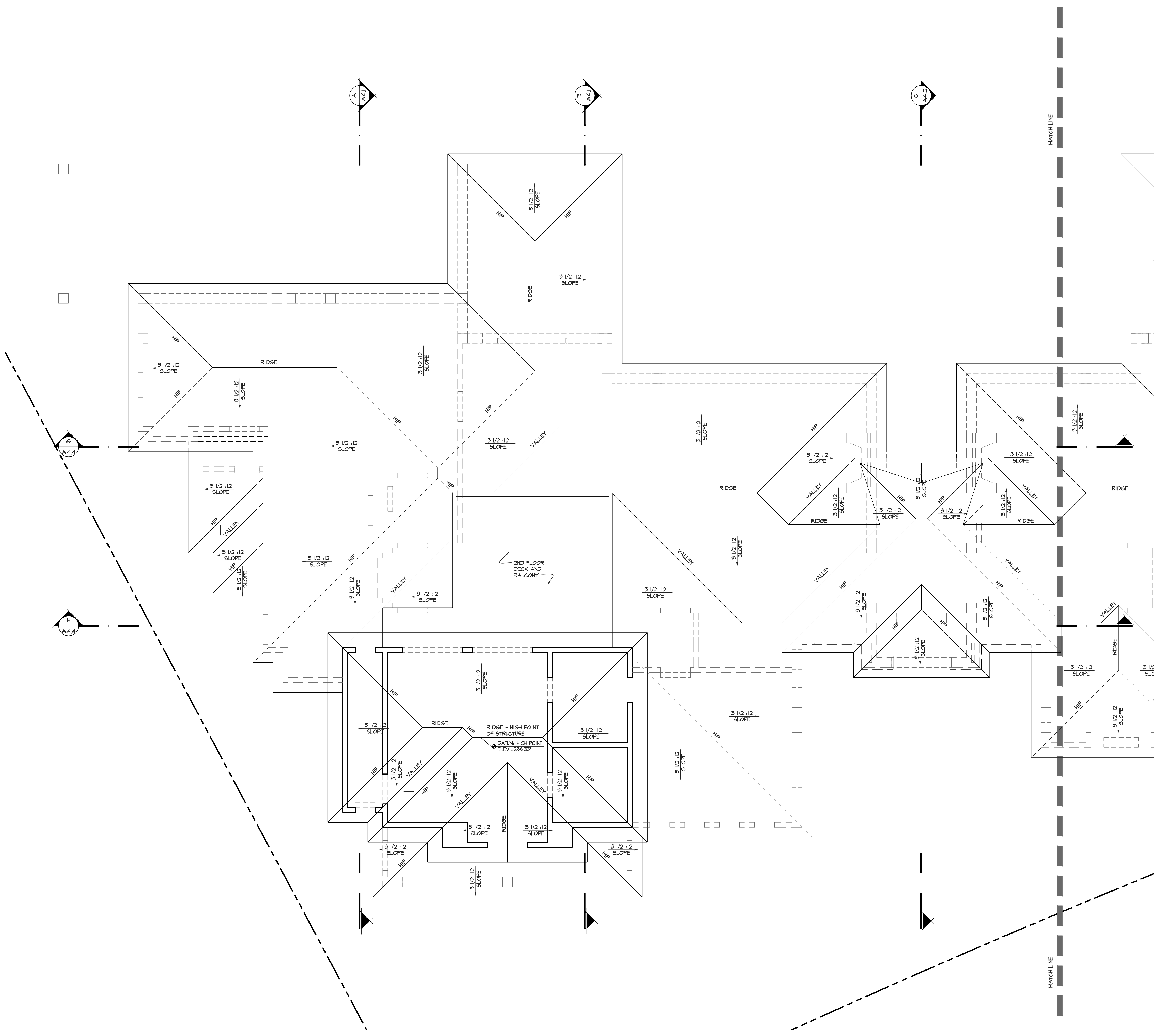
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA CA 92037

SHEET TITLE:
2ND FLOOR PLAN

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: 11/9/2020
Revision 3: 06/08/2020
Revision 2: 05/01/2020
Revision 1: 02/17/2020

Original Date: 05/17/2019
Sheet 14 of 28
DEF#



NOTE

1.) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 50' ABOVE GRADE.

2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER SDMC SEC 131.0444 & 132.0505

ROOF PLAN (SOUTH)

SCALE: 1/4"=1'-0"

| | |
|----------------|------------------------------|
| PREPARED BY: | |
| Name: | ARCHITECT MARK D. LYON, INC. |
| Address: | 410 BIRD ROCK AVENUE |
| | LA JOLLA, CA 92037 |
| Phone #: | (858)459-1171 |
| PROJECT NAME: | |
| | ZUCKERMAN RESIDENCE |
| | 2502 CALLE DEL ORO |
| | LA JOLLA, CA 92037 |
| SHEET TITLE: | |
| | ROOF PLAN (SOUTH) |
| Revision 14: | |
| Revision 13: | |
| Revision 12: | |
| Revision 11: | |
| Revision 10: | |
| Revision 9: | |
| Revision 8: | |
| Revision 7: | |
| Revision 6: | |
| Revision 5: | |
| Revision 4: | |
| Revision 3: | 05/01/2020 |
| Revision 2: | 02/11/2020 |
| Revision 1: | |
| Original Date: | 05/17/2019 |
| Sheet | 15 of 28 |
| DEP# | |



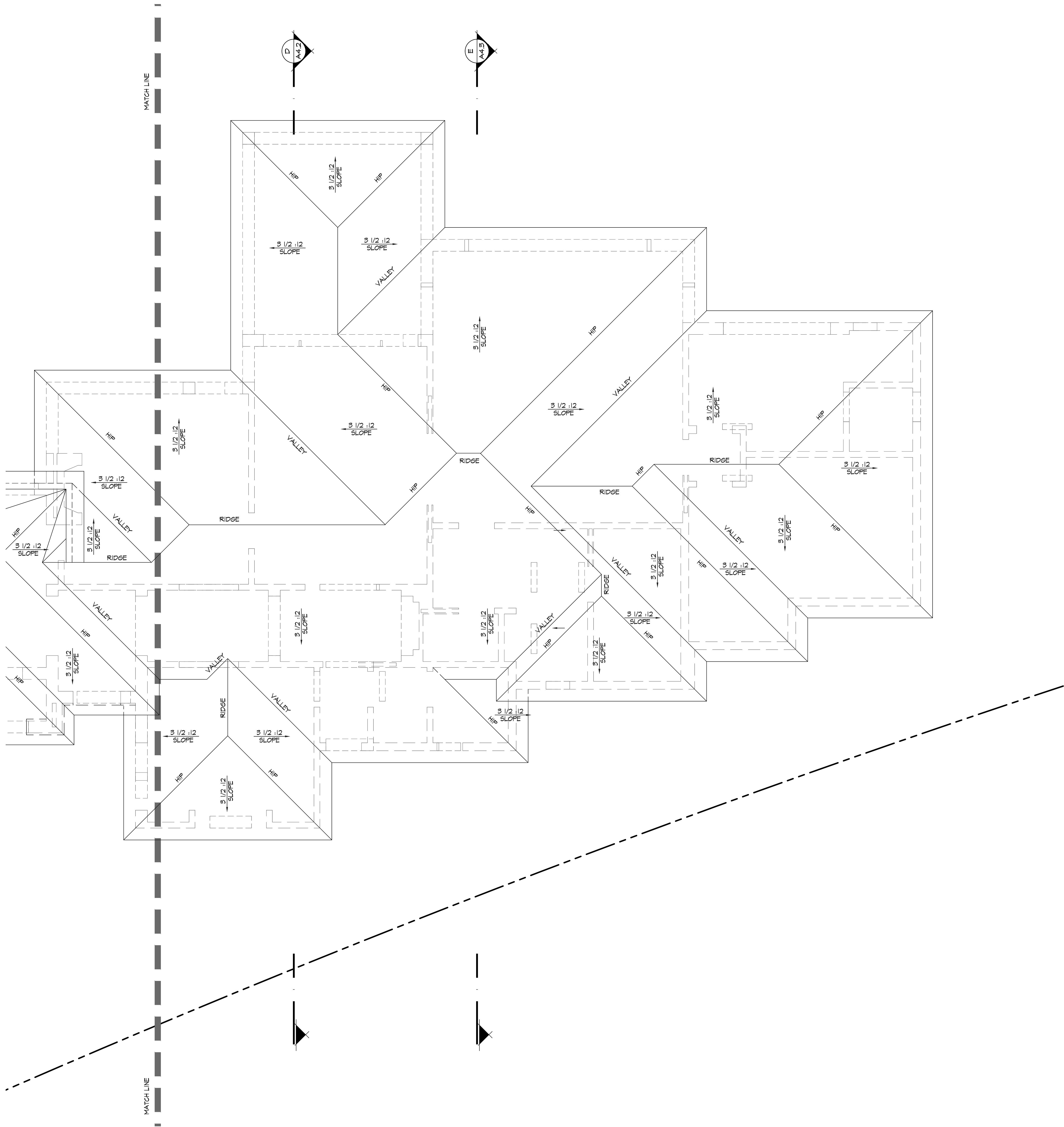
ZUCKERMAN
RESIDENCE

2502 CALLE DEL ORO
LA JOLLA, CA 92037

| | |
|---------------------|--|
| SUBMITTAL DATE: | |
| 05/17/2019 | |
| PHASE: | |
| COASTAL DEV. PERMIT | |
| PROJECT NUMBER: | |
| 1904 | |
| REVIEWED BY: | |
| MDL | |
| DRAWN BY: | |
| K.J.L | |
| DATE: | |
| 05/01/2020 | |
| SHEET TITLE: | |
| ROOF PLAN (SOUTH) | |
| SHEET NO.: | |
| A2.9 | |

ARCHITECT MARK D. LYON INC.

410 BIRD ROCK AVE., LA JOLLA, CA. 92037 (858)459-1171 INFO@MDLA.NET



NOTE

1.) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.

2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER SDMC SEC 131.0444 & 132.0505

ROOF PLAN (NORTH)

SCALE: 1/8"=1'-0"

PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.

Address: 410 BIRD ROCK AVENUE

LA JOLLA, CA 92037

Phone #: (858)459-1171

PROJECT NAME:

ZUCKERMAN RESIDENCE

2502 CALLE DEL ORO

LA JOLLA, CA 92037

SHEET TITLE:

ROOF PLAN (NORTH)

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: _____

Revision 3: _____

Revision 2: 05/01/2020

Revision 1: 02/11/2020

Original Date: 05/17/2019

Sheet 16 of 28

DEP# _____



ZUCKERMAN
RESIDENCE

2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS: _____

SUBMITTAL DATE: 05/17/2019

PHASE: COASTAL DEV. PERMIT

PROJECT NUMBER: 1904

REVIEWED BY: MDL

DRAWN BY: KJL

DATE: 05/01/2020

SHEET TITLE: ROOF PLAN (NORTH)

SHEET NO: A2.10

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2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE:

PHASE:
COASTAL DEV. PERMIT

PROJECT NUMBER:
1904

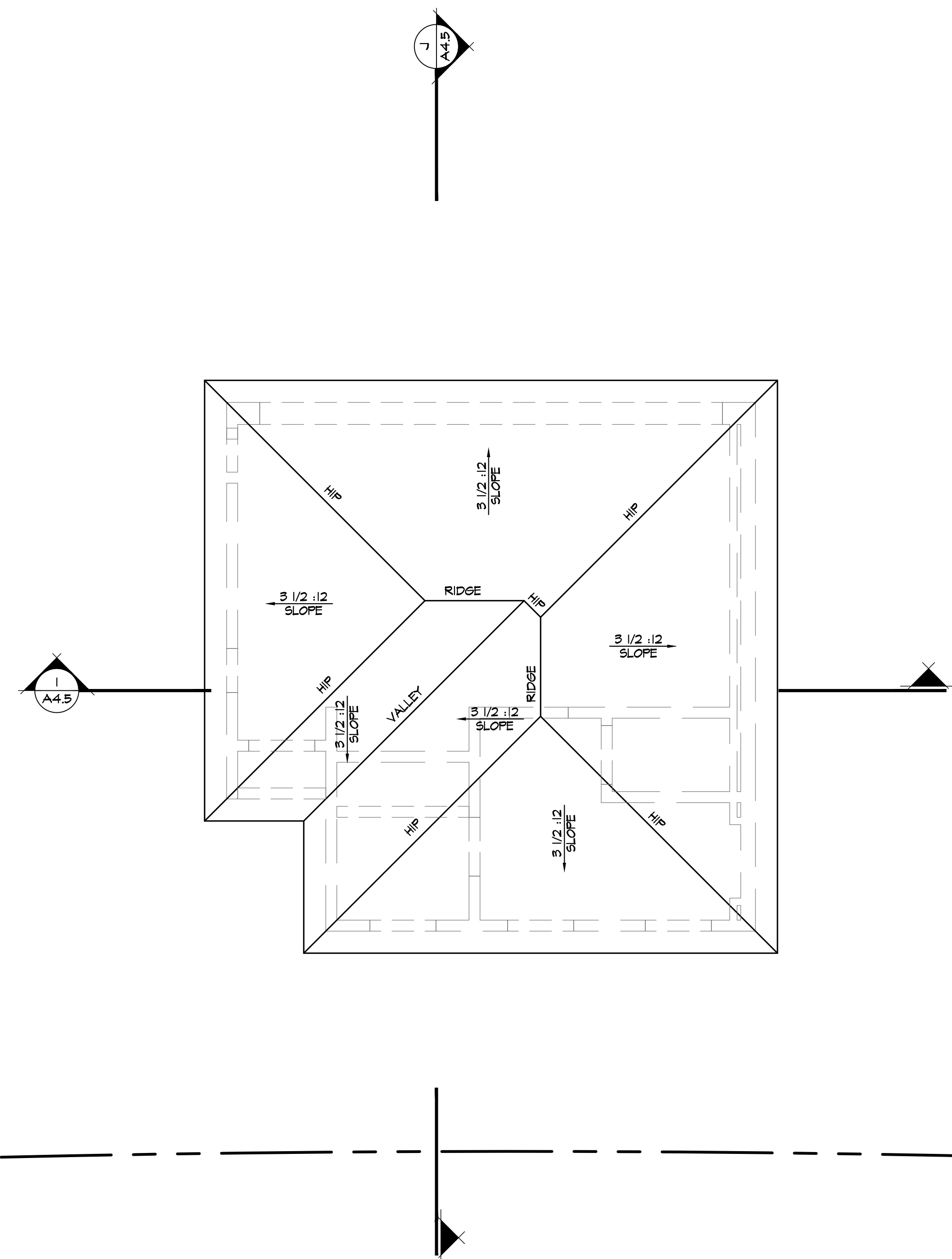
REVIEWED BY:
MDL

DRAWN BY:
K.J.L.

DATE:
11/19/2020

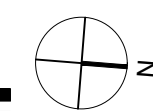
SHEET TITLE:
GUEST QUARTERS
FLOOR PLAN
AND ROOF PLAN
SHEET NO.:

A2.11



GUEST QUARTERS ROOF PLAN

SCALE: 1/4"=1'-0"



ATTIC VENTILATION CALCULATIONS (USING 1/2" RULE)

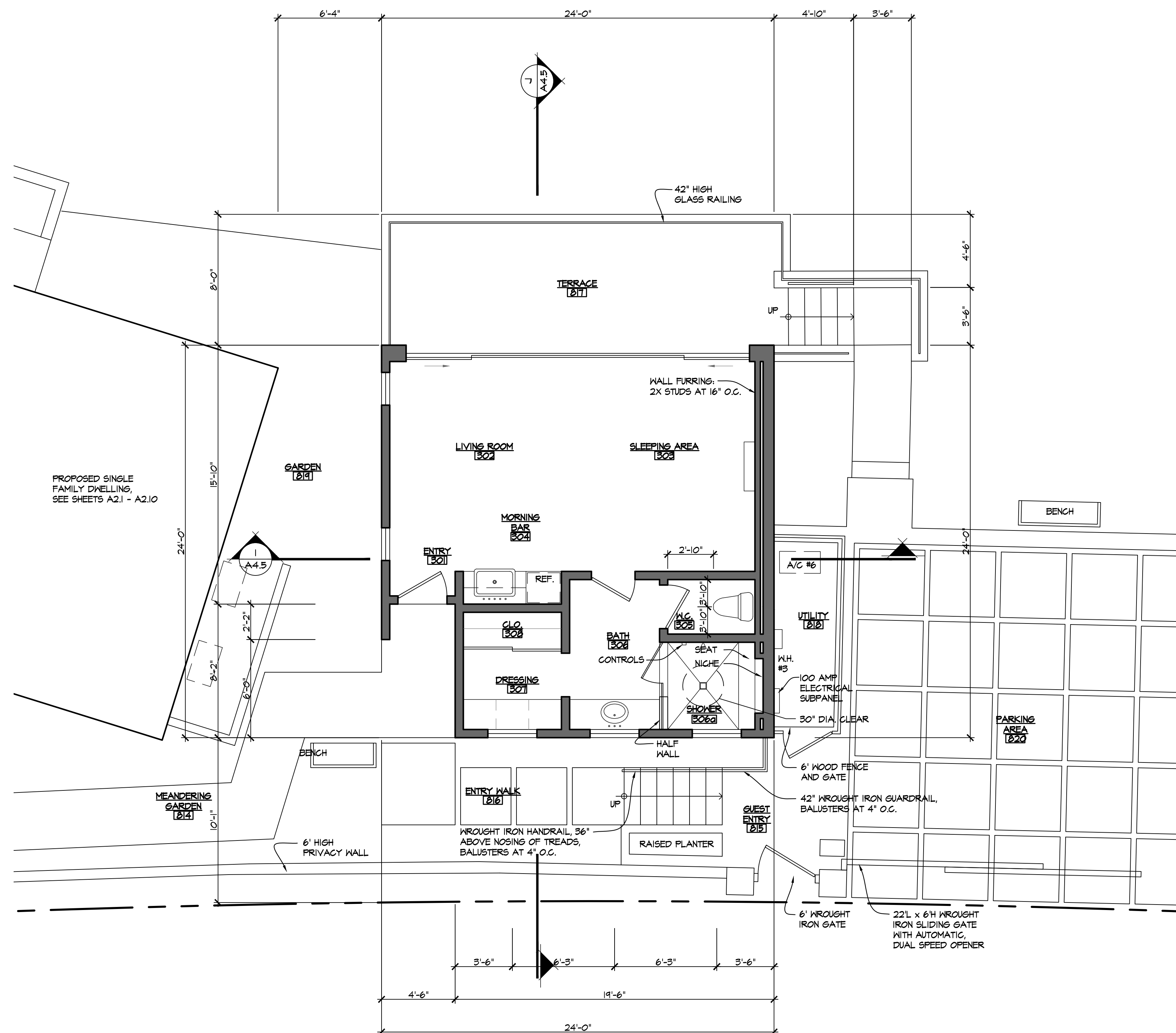
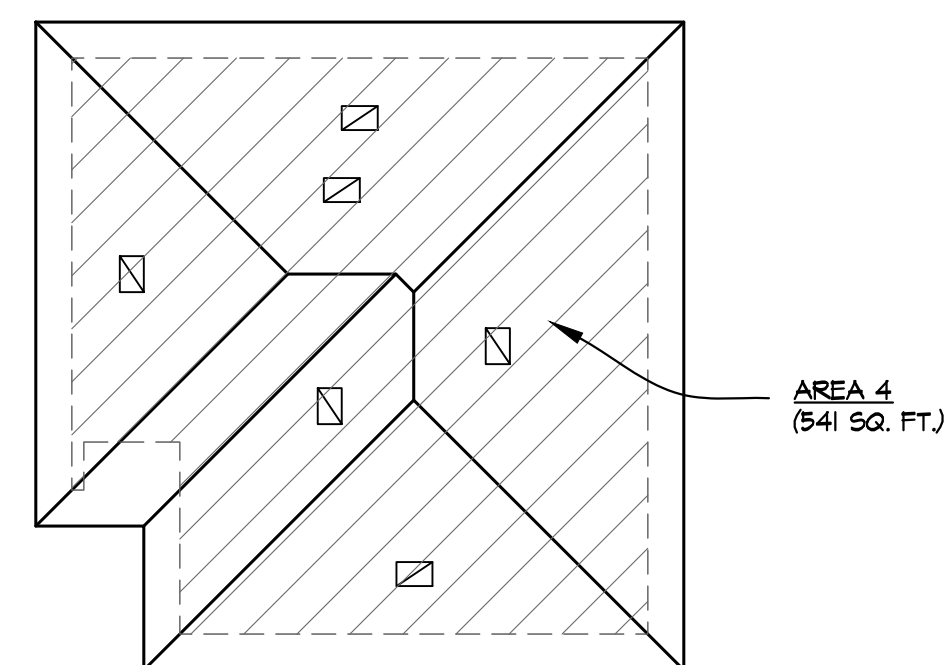
VENT = 81.75 SQ. IN. OF NFVA

AREA 4:
TOTAL VENTILATION AREA = 541 SQ. FT.
541 SQ. FT. / 150 = 3.6 SQ. FT.

3.6 SQ. FT. X 144 = 510 SQ. IN.

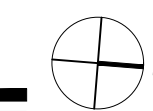
510 SQ. IN. / 81.75 SQ. IN. = 5.9 VENTS = (3) HIGH/(3) LOW

ATTIC AREAS MUST COMPLY WITH SECTIONS 904, 908, & 909 OF
THE CALIFORNIA MECHANICAL CODE



GUEST QUARTERS FLOOR PLAN

SCALE: 1/4"=1'-0"



NOTES:

1. GUEST QUARTERS OR HABITABLE ACCESSORY BUILDINGS SHALL NOT BE RENTED, LEASED, OR SOLD AS A SEPARATE DWELLING UNIT.
2. BEFORE A BUILDING PERMIT IS ISSUED FOR A GUEST QUARTERS OR HABITABLE ACCESSORY BUILDING, THE RECORD OWNER SHALL SUBMIT A SIGNED AGREEMENT WITH THE CITY THAT SPECIFIES THAT THE GUEST QUARTERS OR HABITABLE ACCESSORY BUILDING SHALL NOT BE USED AS, OR CONVERTED TO, A COMPANION UNIT OR ANY OTHER DWELLING UNIT. THE AGREEMENT SHALL INCLUDE THE STIPULATION THAT NEITHER THE PRIMARY DWELLING NOR THE GUEST QUARTERS OR HABITABLE ACCESSORY BUILDING SHALL BE SOLD OR CONVEYED SEPARATELY. THE CITY WILL PROVIDE THE AGREEMENT TO THE COUNTY RECORDER FOR RECORDATION.
3. GUEST QUARTERS OR HABITABLE ACCESSORY BUILDINGS SHALL BE USED SOLELY BY THE OCCUPANTS OF THE PRIMARY DWELLING UNIT, THEIR GUESTS, OR THEIR EMPLOYEES.
4. THIS BUILDING SHALL INCORPORATE ENERGY EFFICIENT MEASURES TO COMPLY WITH TITLE 24, PART 6, THE CALIFORNIA ENERGY CODE, AND TITLE 24, PART II, THE CALIFORNIA GREEN BUILDING STANDARDS CODE.

MATERIAL SPECIFICATIONS:

- ROOFING:** TESLA SOLAR ROOF TILES (OR EQUAL), SLATE STYLE, COLOR PER OWNER OVER 60# ORGANIC FELT UNDERLAYMENT. GLASS 'A' ROOFING; ROOFING SHALL COMPLY WITH 'COOL ROOF', AS SPECIFIED IN CGESC VOLUNTARY MEASURES
- GUTTERS:** CONCORD SHEET METAL (OR EQUAL), COPPER RAIN GUTTERS ECLIPSE MILLENNIUM STYLE, 16 OZ. OR BETTER. DOWNSPOUTS SHALL BE 4"X 18 OZ. WITH 4" MODERNE STRAPS AT 8'-0" O.C. VERTICAL.
- STUCCO:** LA HABRA STUCCO (OR EQUAL); EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER WITH METAL LATH OVER 2-LAYERS 5# ORGANIC FELT UNDERLAYMENT; TEXTURE TO BE SANTA BARBARA FINISH OR PER OWNER'S SELECTION; CO. OR PER OWNER.
- STONE VENEER:** KRC ROCK (OR EQUAL); NATURAL STONE VENEER, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- GUARDRAIL:** C.R. LAWRENCE (OR EQUAL); GLASS RAILING SYSTEM, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NOTE

- 1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- 2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMC SEC 151.0444 & 152.0505

PREPARED BY:

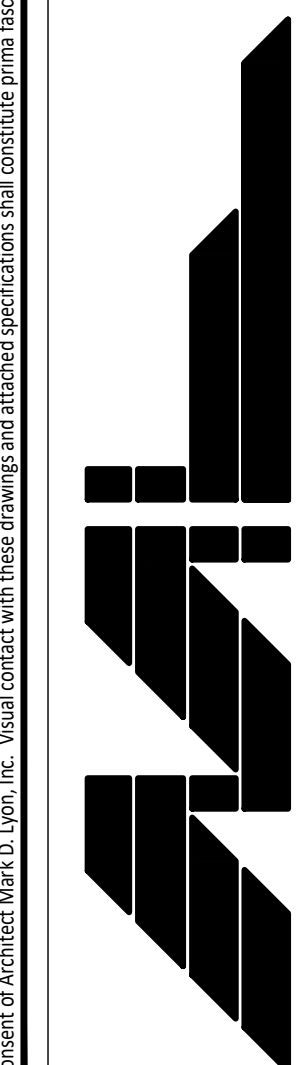
ARCHITECT MARK D. LYON, INC.
Name:
Address:
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
ACCESSORY DWELLING UNIT
FLOOR PLAN AND ROOF PLAN

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: 11/19/2020
Revision 3: 06/08/2020
Revision 2: 05/01/2020
Revision 1: 02/11/2020

Original Date: 05/17/2019
Sheet 17 of 28
DEP# _____

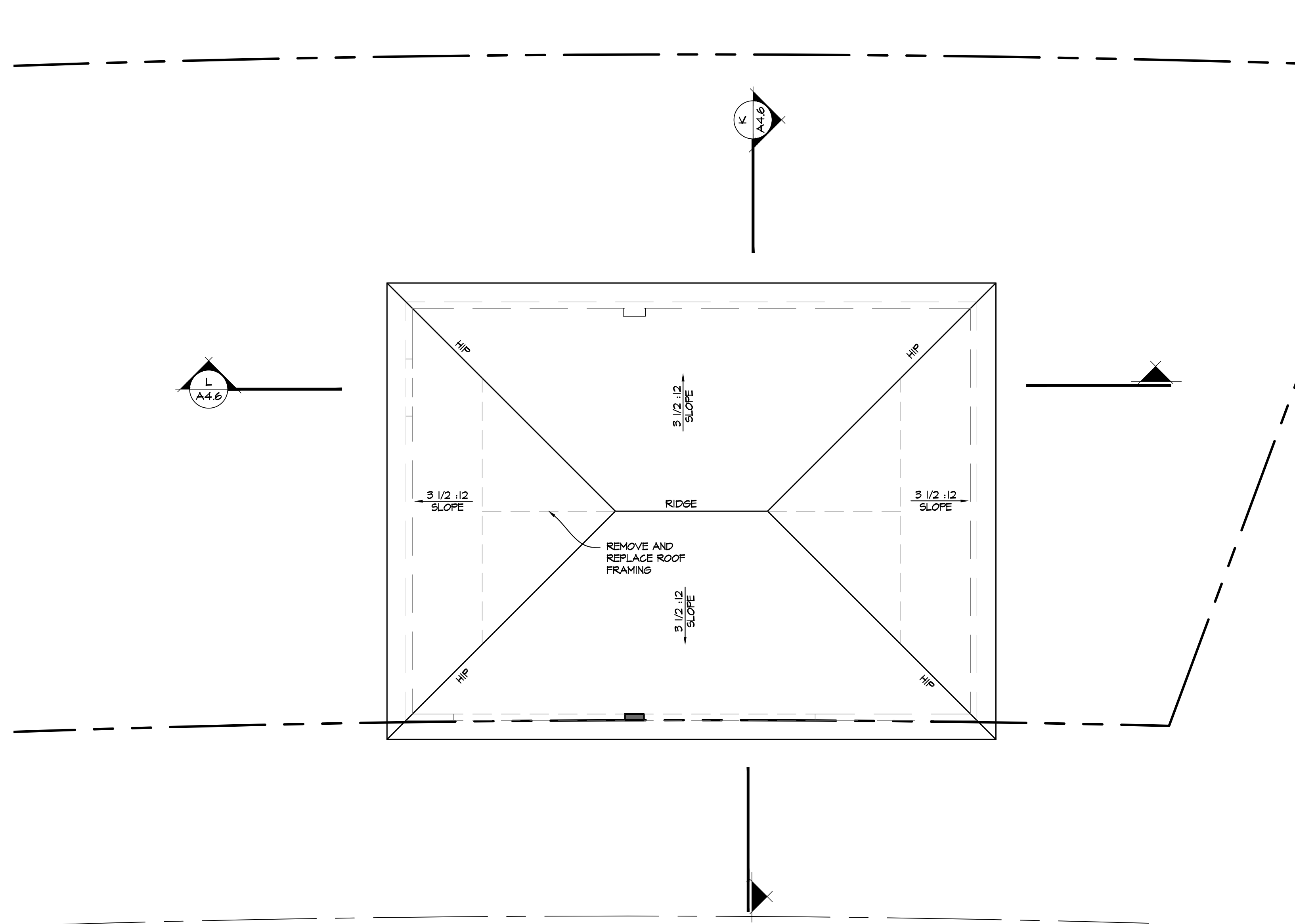


ARCHITECT MARK D. LYON INC.
110 BIRD ROCK AVE., LA JOLLA, CA. 92037
(858)459-1171 INFO@MDLA.NET



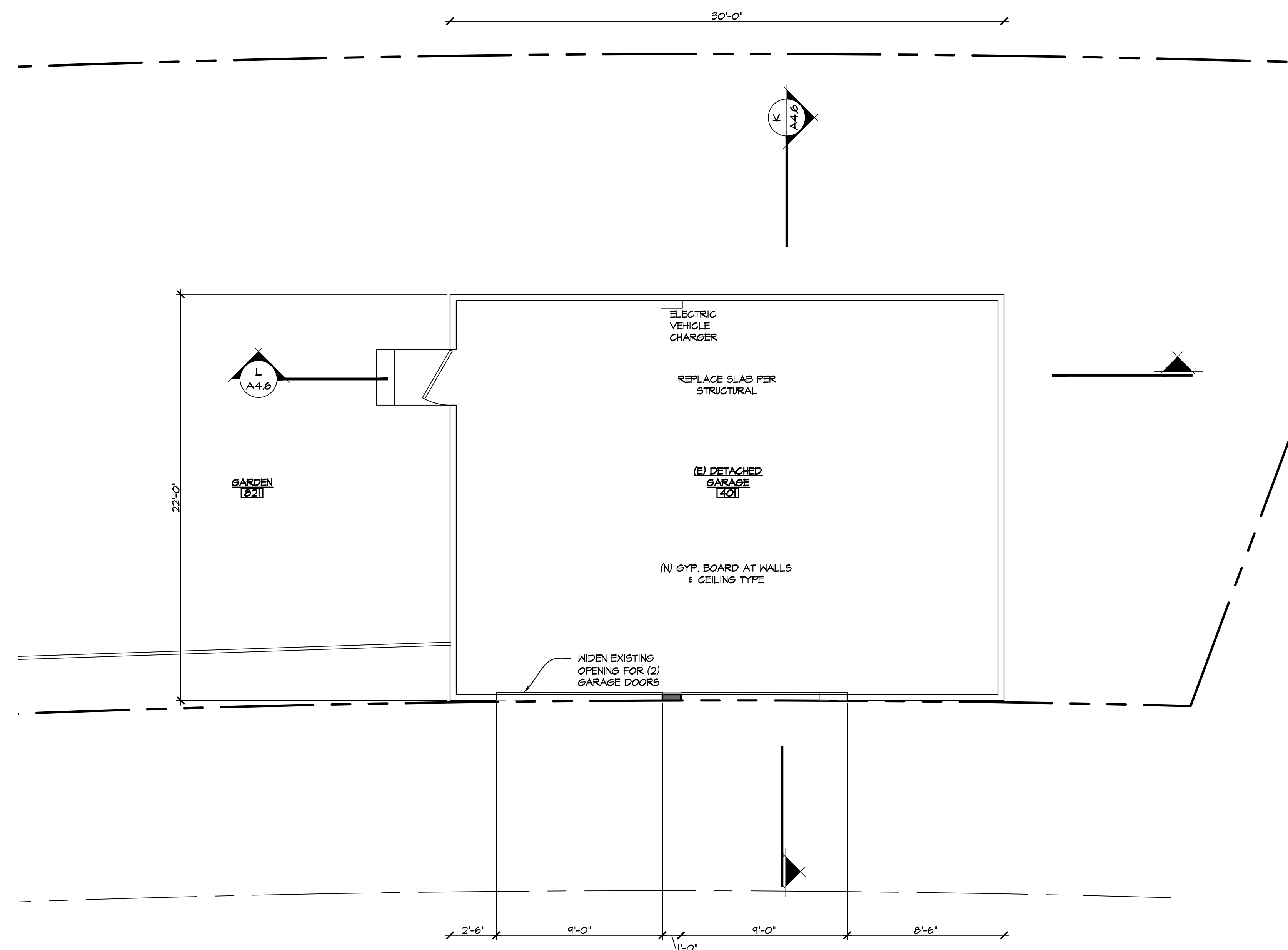
**ZUCKERMAN
RESIDENCE**

2502 CALLE DEL ORO
LA JOLLA, CA 92037



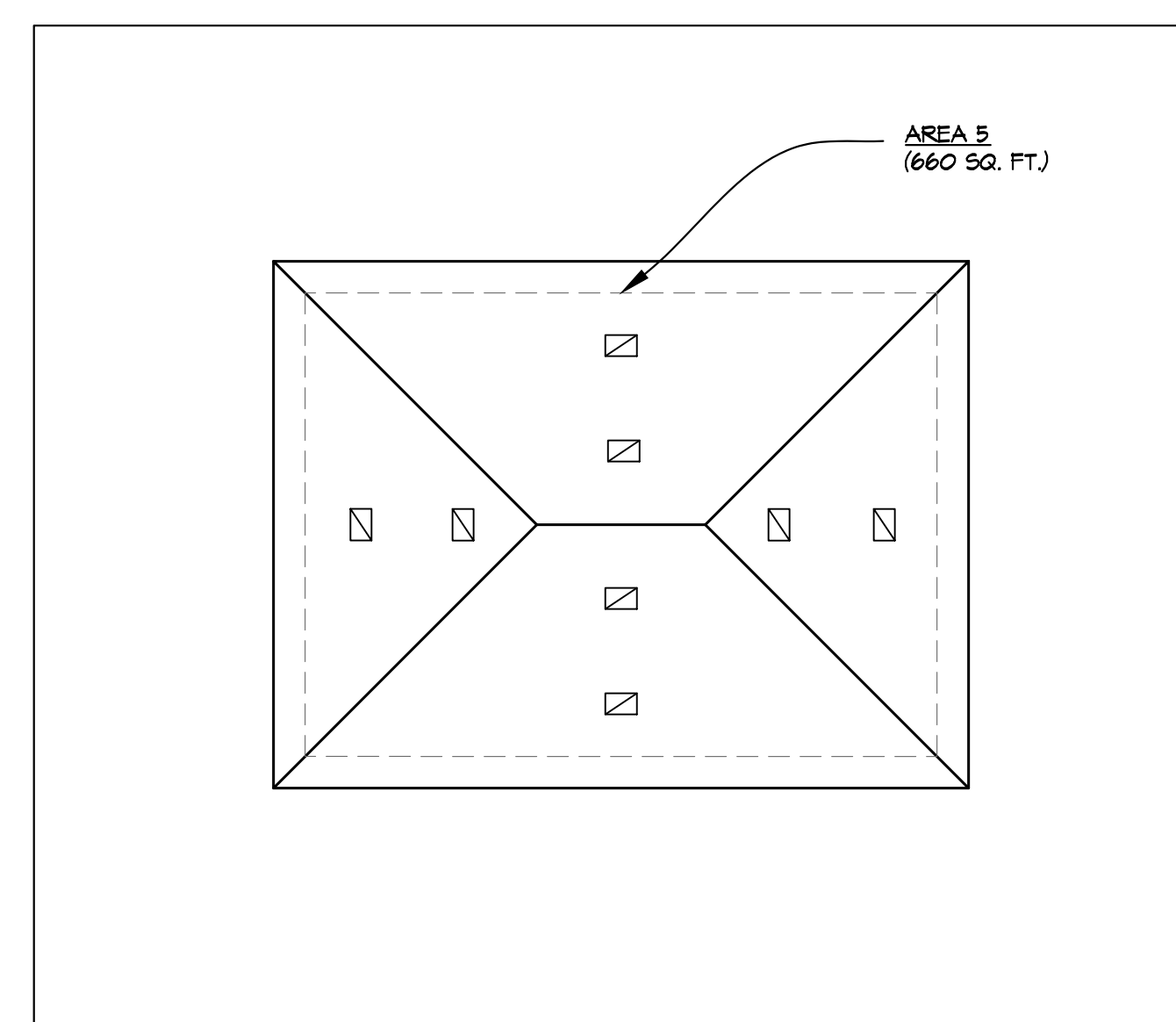
DETACHED GARAGE ROOF PLAN

SCALE: 1/4"=1'-0"



DETACHED GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"



ATTIC VENTILATION CALCULATIONS (USING K_{L20} RULE)

VENT = 87.75 SQ. IN. OF NFVA

AREA 5:
TOTAL VENTILATION AREA = 660 SQ. FT.
660 SQ. FT. / 150 = 4.4 SQ. FT.

$$4.4 \text{ SQ. FT.} \times 144 = 633.6 \text{ SQ. IN.}$$
$$633.6 \text{ SQ. IN.} / 81.75 \text{ SQ. IN.} = 7.75 \text{ VENTS} = 8 \text{ VENTS} = (4) \text{ HIGH} / (4) \text{ LOW}$$

ATTIC AREAS MUST COMPLY WITH SECTIONS 904, 908, & 909 OF
THE CALIFORNIA MECHANICAL CODE

MATERIAL SPECIFICATIONS:

ROOFING: TESLA SOLAR ROOF TILES (OR EQUAL); SLATE STYLE, COLOR PER OWNER OVER 60# ORGANIC FELT UNDERLAYMENT. CLASS 'A' ROOFING. ROOFING SHALL COMPLY WITH "COOL ROOF", AS SPECIFIED IN CGBSC VOLUNTARY MEASURES

GUTTERS: CONCORD SHEET METAL (OR EQUAL): COPPER RAIN GUTTERS
ECLIPSE MILLENNIUM STYLE, 16 OZ. OR BETTER.
DOWNSPOUTS SHALL BE 4"Ø 18 OZ. WITH 4" MODERNE
STRAPS AT 8'-0" O.C. VERTICAL.

STUCCO: LA HABRA STUCCO (OR EQUAL); EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER WITH METAL LATH OVER 2-LAYERS 15# ORGANIC FELT UNDERLAYMENT. TEXTURE TO BE SANTA BARBARA FINISH OR PER OWNER'S SELECTION. COLOR PER OWNER

STONE VENEER: KRC ROCK (OR EQUAL): NATURAL STONE VENEER, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

GUARDRAIL: C.R. LAWRENCE (OR EQUAL): GLASS RAILING SYSTEM,
INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NOTE

1.) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.

2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMC SEC 131.0444 & 132.0505

PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
DETACHED GARAGE
FLOOR PLAN AND ROOF PLAN

| | |
|--------------|------------|
| Revision 14: | |
| Revision 13: | |
| Revision 12: | |
| Revision 11: | |
| Revision 10: | |
| Revision 9: | |
| Revision 8: | |
| Revision 7: | |
| Revision 6: | |
| Revision 5: | 11/19/2020 |
| Revision 4: | 06/08/2020 |
| Revision 3: | 05/01/2020 |
| Revision 2: | 02/17/2020 |
| Revision 1: | |

Original Date: 05/17/2019
Sheet 18 of 28
DFP#

REVISIONS

SUBMITTAL DATE

PHASE: COASTAL DEV. PERMIT

PROJECT NUMBER: 190

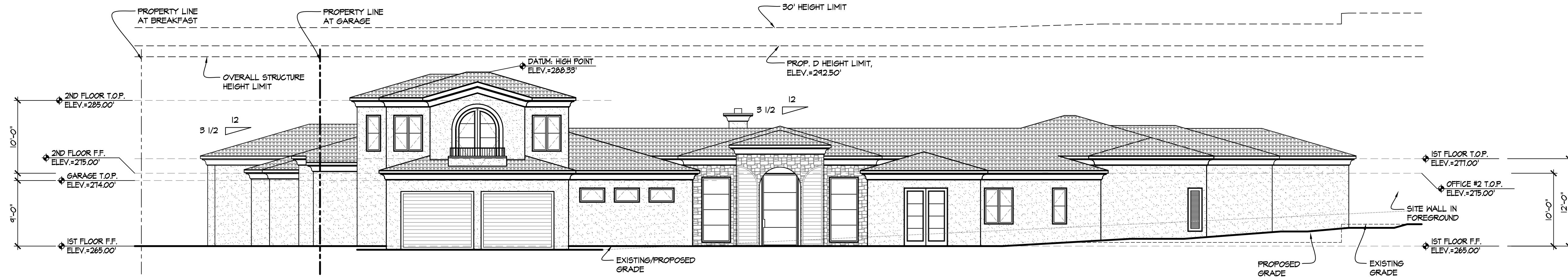
REVIEWED BY:

DRAWN BY: _____

DATE: 11/19/2020

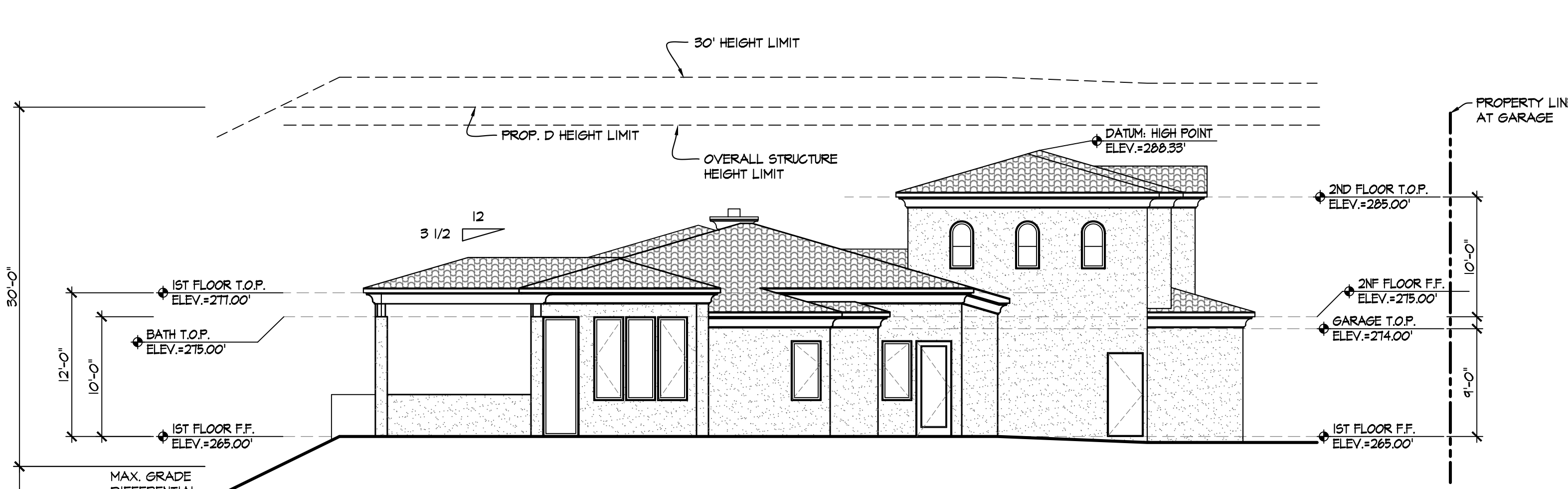
SHEET TITLE:
(E) DETACHED GARAGE
FLOOR PLAN
AND ROOF PLAN

A2.12



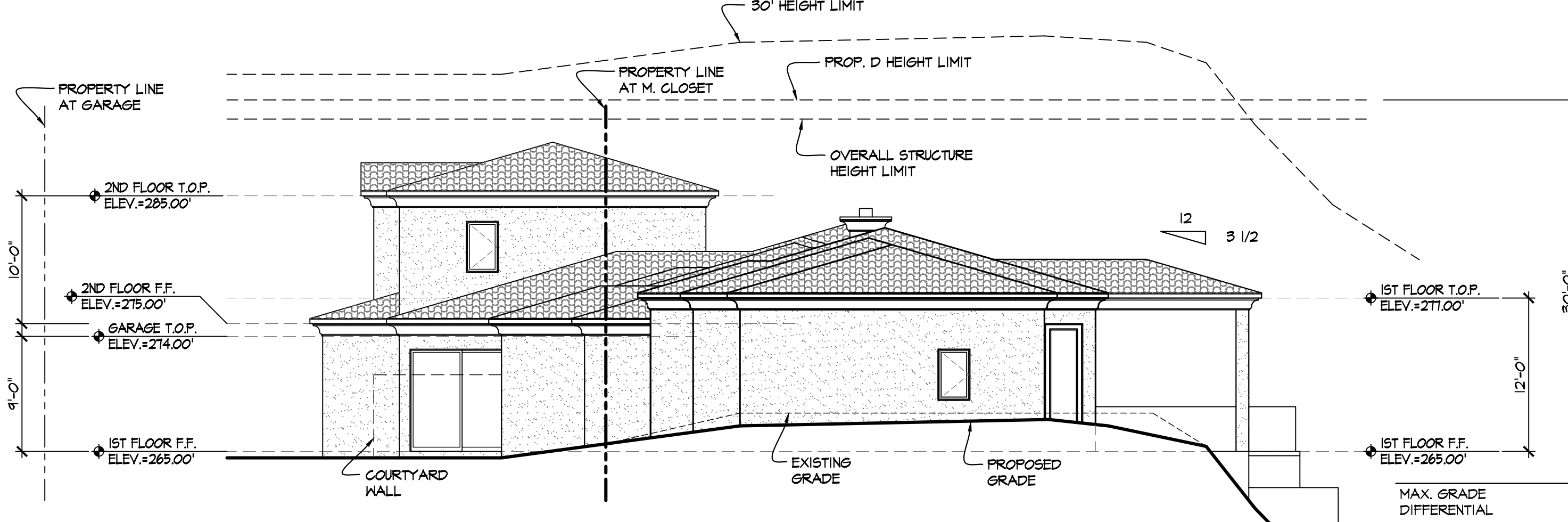
EAST ELEVATION

SCALE: 1/8"=1'-0"



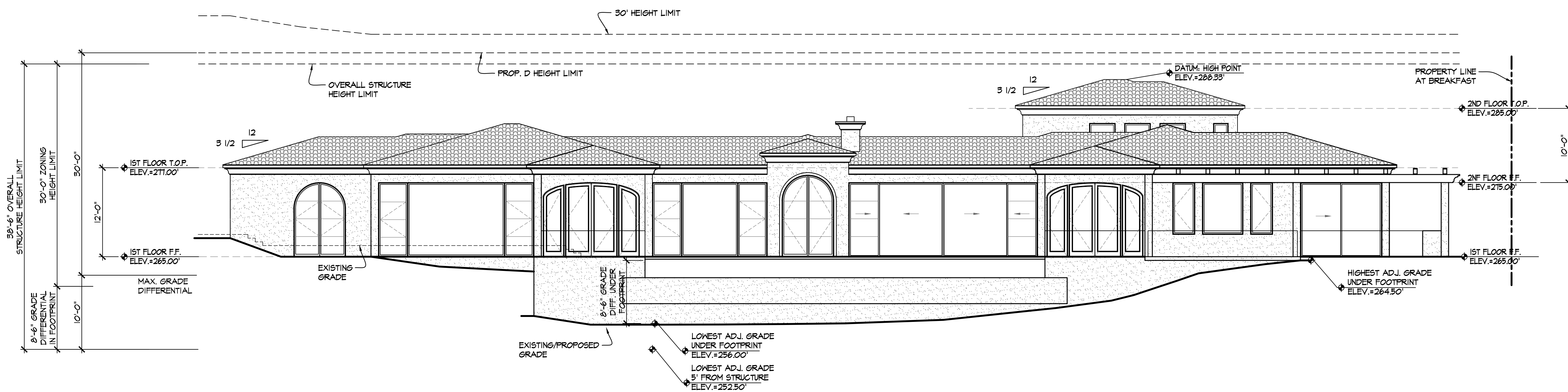
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



NORTH ELEVATION

SCALE: 1/8"=1'-0"



WEST ELEVATION

SCALE: 1/8"=1'-0"

NOTE
1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SOMC SEC 131.0444 & 132.0505

MATERIAL SPECIFICATIONS:
ROOFING: TESLA SOLAR ROOF TILES (OR EQUAL), SLATE STYLE. COLOR PER OWNER OVER 60" ORGANIC FELT UNDERLAYMENT, CLASS 'A' ROOFING. ROOFING SHALL COMPLY WITH 'COOL ROOF', AS SPECIFIED IN CCBSC VOLUNTARY MEASURES
GUTTERS: CONCORD SHEET METAL (OR EQUAL), COPPER RAIN GUTTERS ECLIPSE MILLENNIUM STYLE, 16 OZ. OR BETTER. DOWNSPOUTS SHALL BE 4" O.D. MODERNE STRAPS AT 8'-0" O.C. VERTICAL.
STUCCO: LA HABRA STUCCO (OR EQUAL), EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER WITH METAL LATH OVER 2-LAYERS 15# ORGANIC FELT UNDERLAYMENT. TEXTURE TO BE SANTA BARBARA FINISH OR PER OWNER'S SELECTION. COLOR PER OWNER.
STONE VENEER: KRC ROCK (OR EQUAL), NATURAL STONE VENEER, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
GUARDRAIL: C.R. LAWRENCE (OR EQUAL), GLASS RAILING SYSTEM, INSTALL PER MANUFACTURER'S SPECIFICATIONS.



ZUCKERMAN
RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------------|---------------------|
| 1 | 11/19/2020 | EXTERIOR ELEVATIONS |

SUBMITTAL DATE: 11/19/2020

PHASE: COASTAL DEV. PERMIT

PROJECT NUMBER: 1904

REVIEWED BY: MDL

DRAWN BY: KJL

DATE: 11/19/2020

SHEET TITLE: EXTERIOR ELEVATIONS

SHEET NO.: A3.1

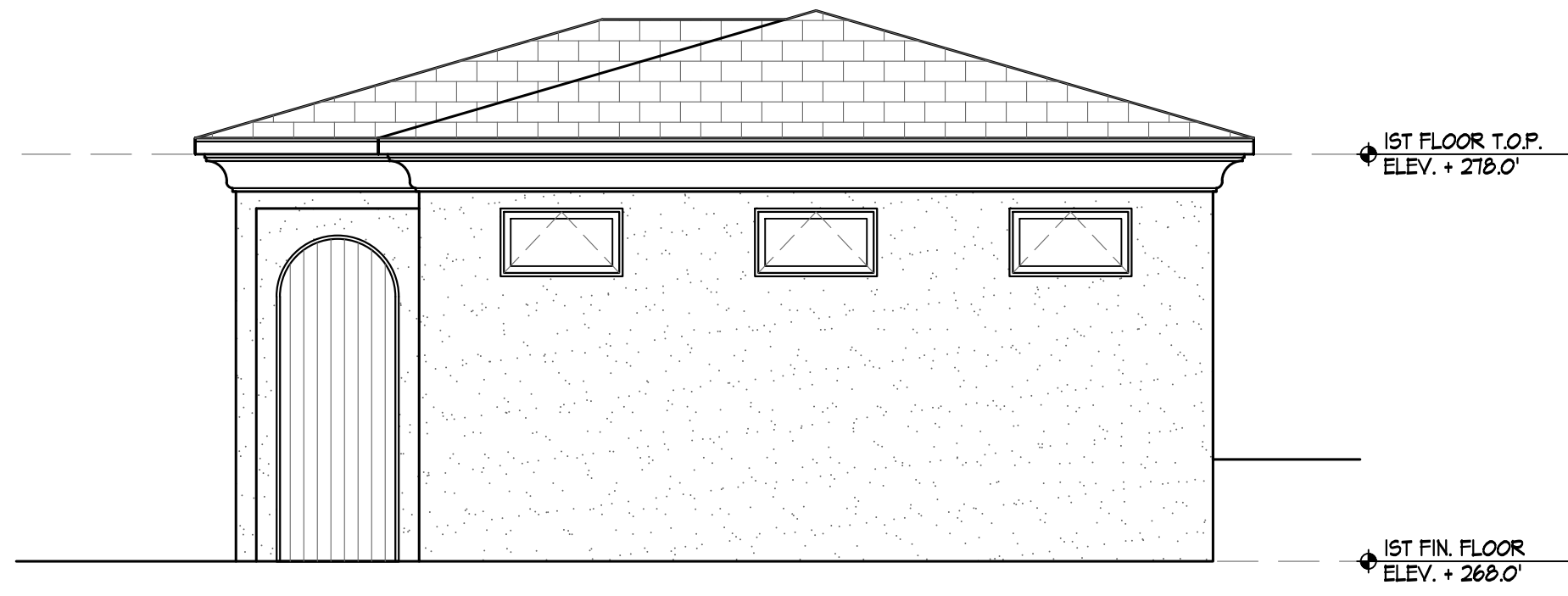
PREPARED BY:
ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
EXTERIOR ELEVATIONS

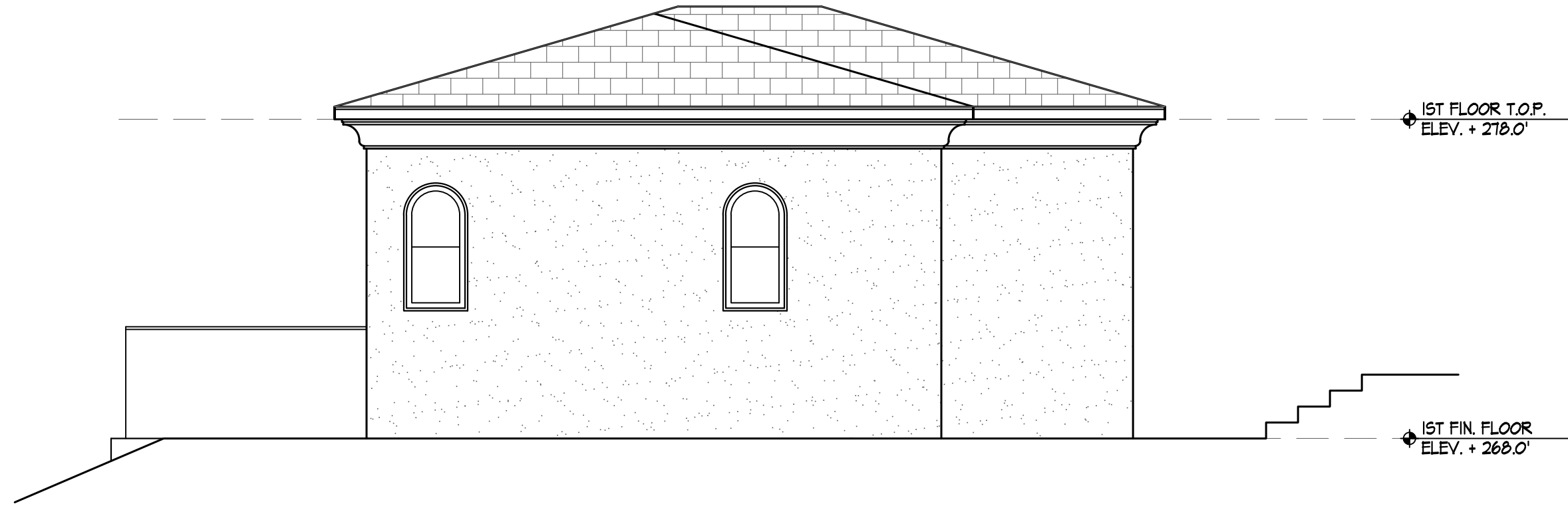
Revision 14: 05/17/2019
Revision 13: 06/08/2020
Revision 12: 06/08/2020
Revision 11: 06/08/2020
Revision 10: 06/08/2020
Revision 9: 06/08/2020
Revision 8: 06/08/2020
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Revision 5: 06/08/2020
Revision 4: 06/08/2020
Revision 3: 06/08/2020
Revision 2: 06/08/2020
Revision 1: 06/08/2020

Original Date: 05/17/2019
Sheet 19 of 28
DEP#



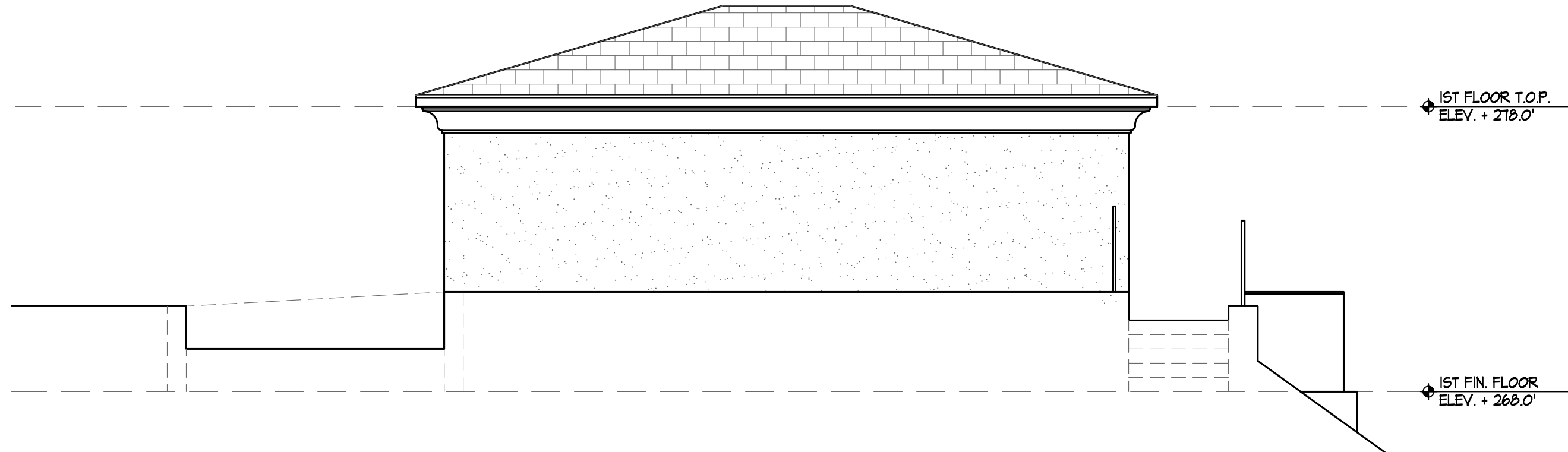
EAST ELEVATION

SCALE: 1/4"=1'-0"



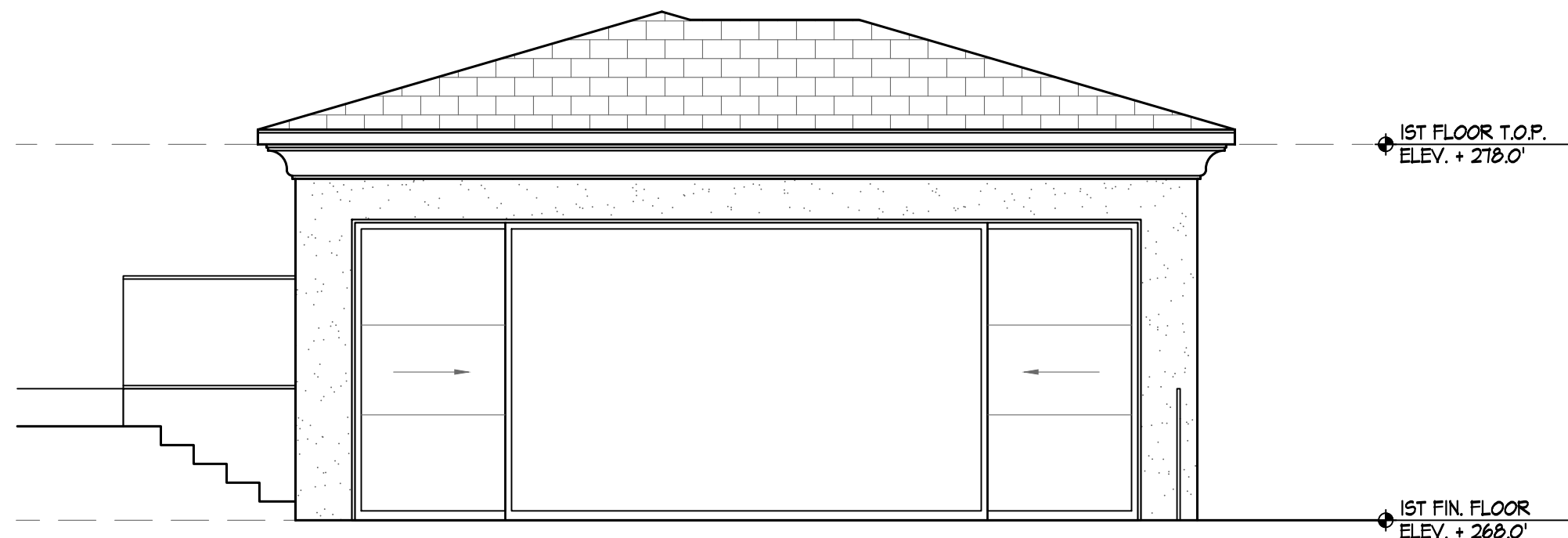
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

NOTE

1.) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 50' ABOVE GRADE.

2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER SDMG SEC 131.0444 & 132.0505

MATERIAL SPECIFICATIONS:

- ROOFING: TESLA SOLAR ROOF TILES (OR EQUAL); SLATE STYLE, COLOR PER OWNER OVER 60# ORGANIC FELT UNDERLAYMENT, GLASS 'A' ROOFING; ROOFING SHALL COMPLY WITH 'COOL ROOF', AS SPECIFIED IN C685C VOLUNTARY MEASURES
- GUTTERS: CONCORD SHEET METAL (OR EQUAL); CONCEALED COPPER RAIN GUTTERS, 16 OZ. OR BETTER, DOWNSPOUTS SHALL BE 4" O 10 OZ. CONCEALED IN WALLS, TO DRAINS.
- STUCCO: LA HABRA STUCCO (OR EQUAL); EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER WITH METAL LATH OVER 2-LAYERS 15# ORGANIC FELT UNDERLAYMENT, TEXTURE TO BE SANTA BARBARA FINISH OR PER OWNER'S SELECTION, COLOR PER OWNER.
- STONE VENEER: KRC ROCK (OR EQUAL); NATURAL STONE VENEER, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- GUARDRAIL: G.R. LAWRENCE (OR EQUAL); GLASS RAILING SYSTEM, INSTALL PER MANUFACTURER'S SPECIFICATIONS.



ZUCKERMAN
RESIDENCE

2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS:

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SUBMITTAL DATE: -

PHASE: COASTAL DEV. PERMIT

PROJECT NUMBER: 1904

REVIEWED BY: MDL

DRAWN BY: KJL

DATE: 11/19/2020

SHEET TITLE: GUEST QUARTERS EXTERIOR ELEVATIONS

SHEET NO.:

PREPARED BY: ARCHITECT MARK D. LYON, INC.
Name: 410 BIRD ROCK AVENUE
Address: LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME: ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE: ACCESSORY DWELLING UNIT EXTERIOR ELEVATIONS

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: 11/19/2020
Revision 3: 06/08/2020
Revision 2: 05/01/2020
Revision 1: 02/11/2020

Original Date: 05/17/2019

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A3.2

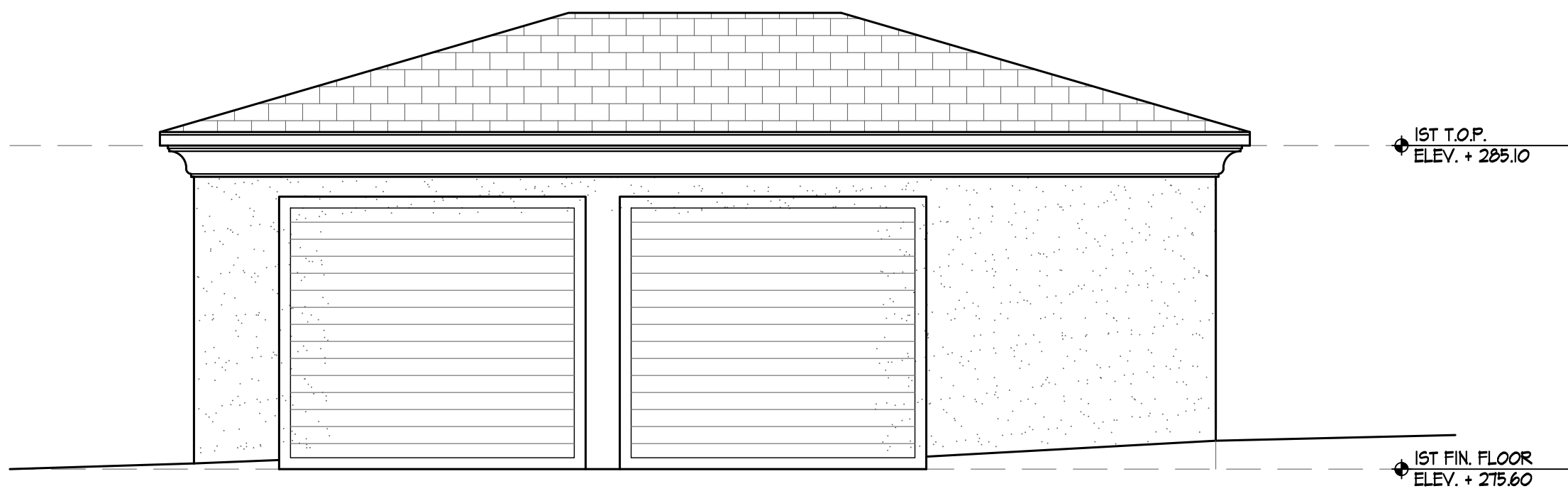
NOTE

1.) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 50' ABOVE GRADE.

2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 50 FEET IN HEIGHT PER SDMG SEC 131.0444 & 132.0505

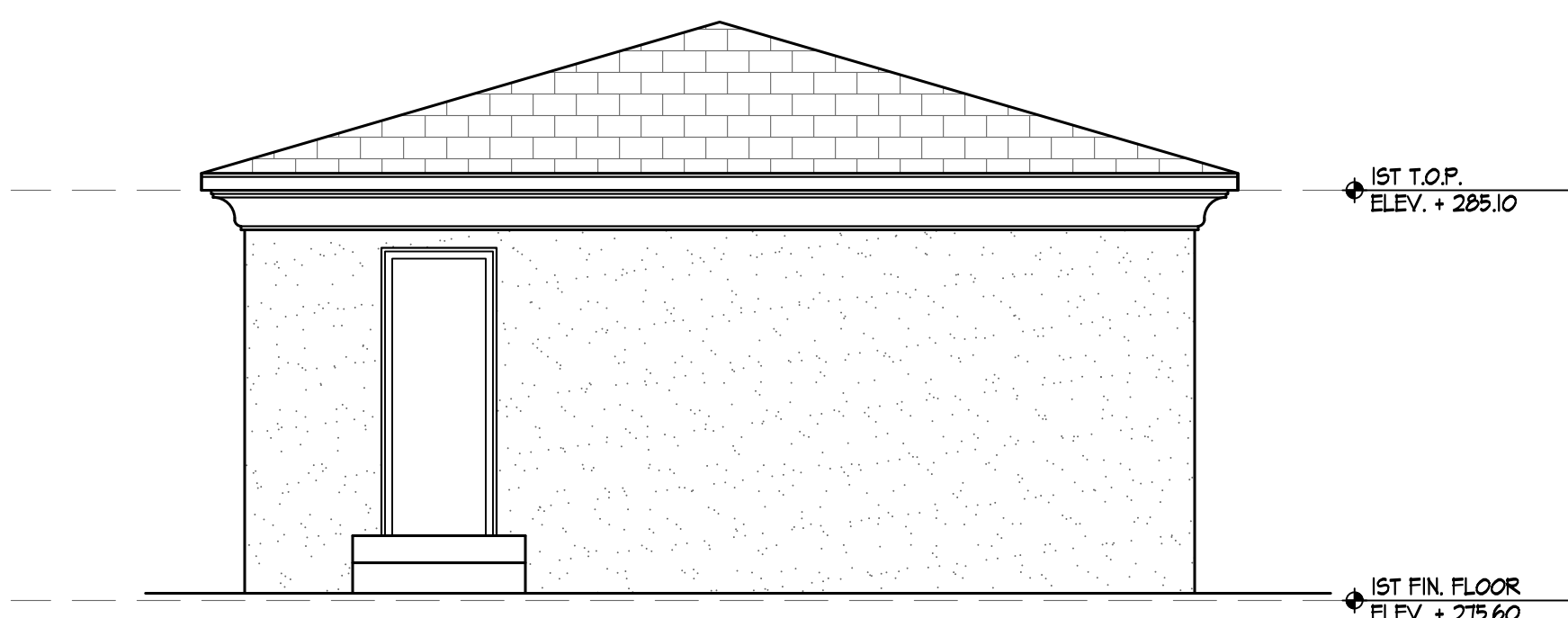
MATERIAL SPECIFICATIONS:

- ROOFING: US TILE (OR EQUAL), 2-PIECE MISSION CLAY ROOF TILE. 4-COLOR BLEND PER OWNER OVER 60# ORGANIC FELT UNDERLAYMENT. DOUBLE STACK FASCIA COURSE. ICC-ES REPORT # ESR-1071. CLASS 'A' ROOFING. 30-YEAR MINIMUM WARRANTY.
- GUTTERS: CONCORD SHEET METAL (OR EQUAL), COPPER RAIN GUTTERS ECLIPSE MILLENNIUM STYLE, 16 OZ. OR BETTER. DOWNSPOUTS SHALL BE 4"X 18 OZ. WITH 4" MODERNE STRAPS AT 8'-0" O.C. VERTICAL.
- STUCCO: LA HABRA STUCCO (OR EQUAL), EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER WITH METAL LATH OVER 2-LAYERS 1/4" ORGANIC FELT UNDERLAYMENT. TEXTURE TO BE SANTA BARBARA FINISH OR PER OWNER'S SELECTION. COLOR PER OWNER.
- STONE VENEER: KRC ROCK (OR EQUAL), NATURAL STONE VENEER, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- GUARDRAIL: C.R. LAWRENCE (OR EQUAL), GLASS RAILING SYSTEM, INSTALL PER MANUFACTURER'S SPECIFICATIONS.



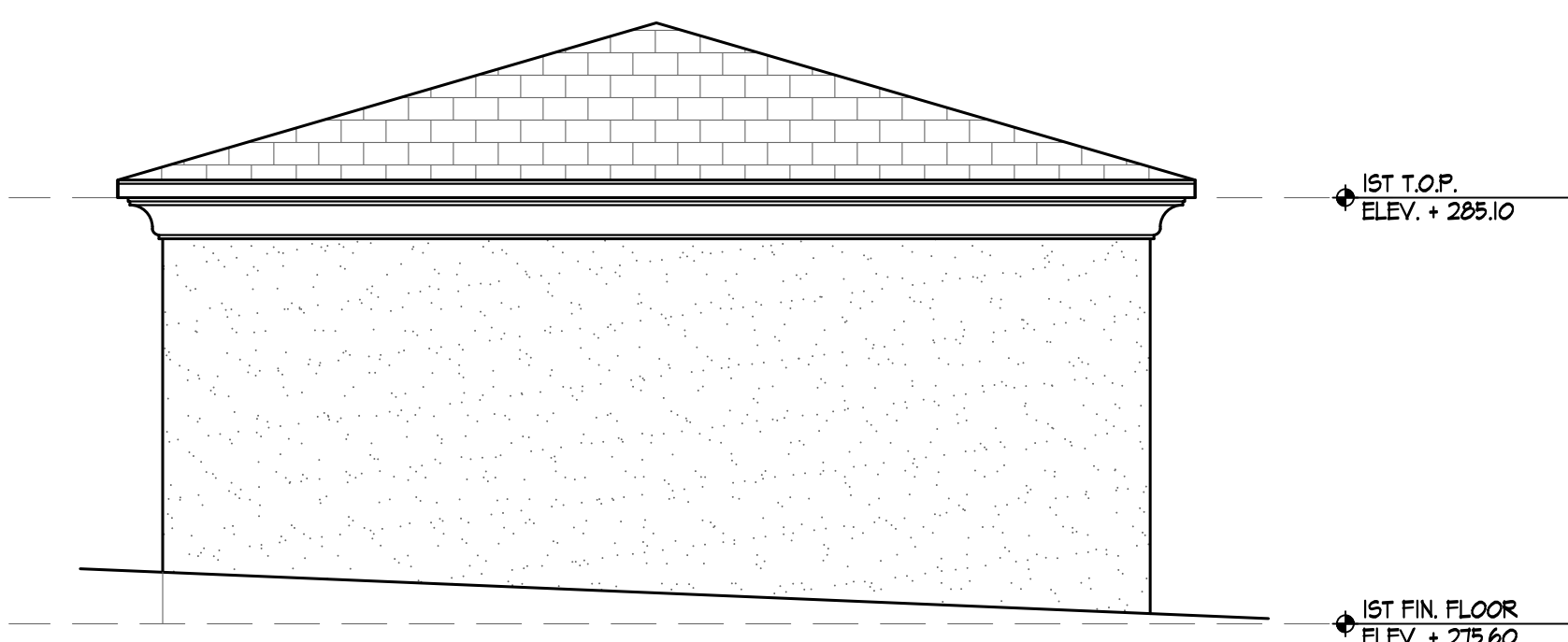
EAST ELEVATION

SCALE: 1/4"=1'-0"



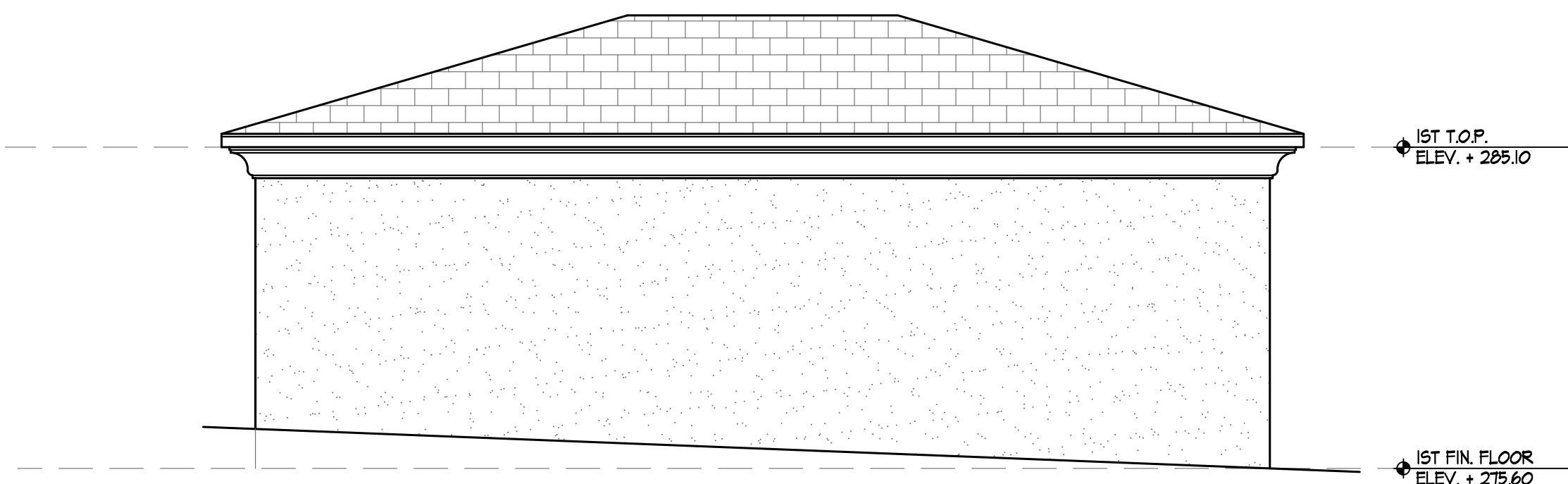
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

PREPARED BY:
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Name: _____
Address: 410 BIRD ROCK AVENUE _____
LA JOLLA, CA 92037 _____
Phone #: (858)459-1171 _____

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
(E) DETACHED GARAGE
EXTERIOR ELEVATIONS

Revision 14: _____
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Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
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Revision 4: 11/19/2020
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ZUCKERMAN
RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

REVISIONS:

SUBMITTAL DATE: -

PHASE: COASTAL DEV. PERMIT

PROJECT NUMBER: 1904

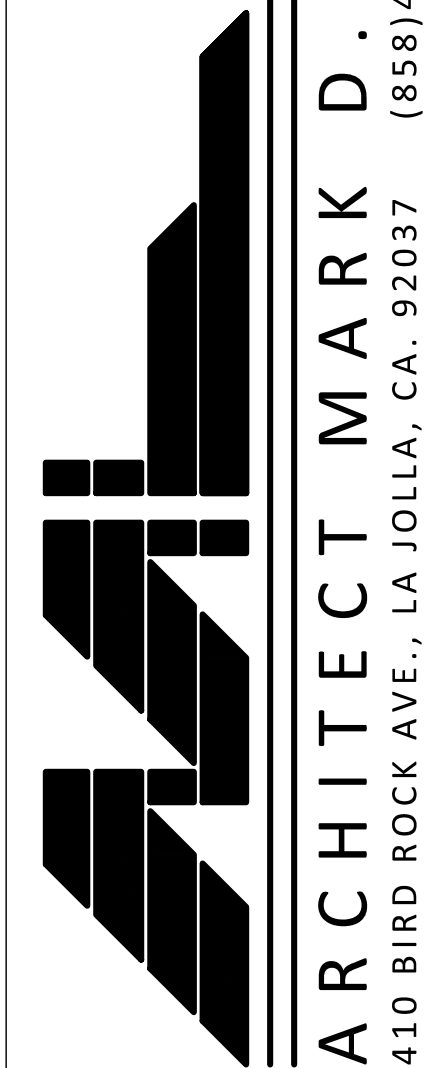
REVIEWED BY: MDL

DRAWN BY: KJL

DATE: 11/19/2020

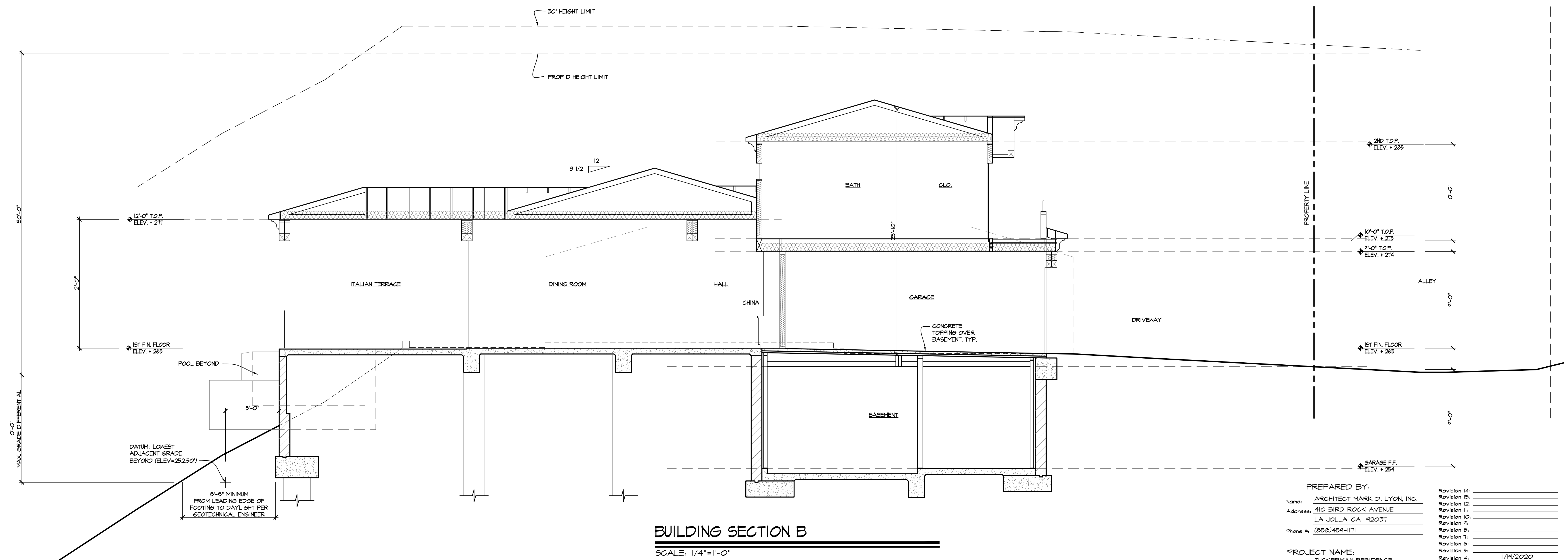
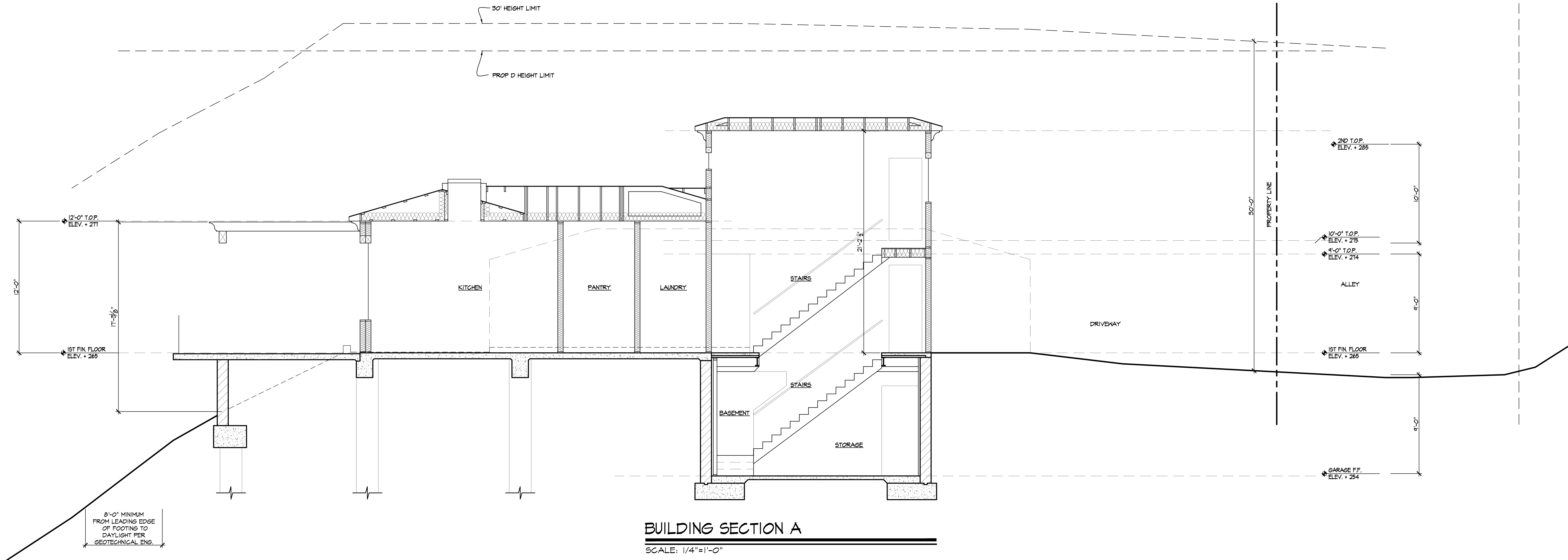
SHEET TITLE:
(E) DETACHED GARAGE
EXTERIOR ELEVATIONS
SHEET NO:

A3.3



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RESIDENCE**
2502 CALLE DEL ORO
LA JOLLA, CA 92037

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| SUBMITTAL DATE: - | |
| PHASE: | COASTAL DEV. PERMIT |
| PROJECT NUMBER: | 1904 |
| REVIEWED BY: | MDL |
| DRAWN BY: | KJL |
| DATE: | 11/19/2020 |
| SHEET TITLE: | BUILDING SECTIONS |
| SHEET NO: | A4.1 |



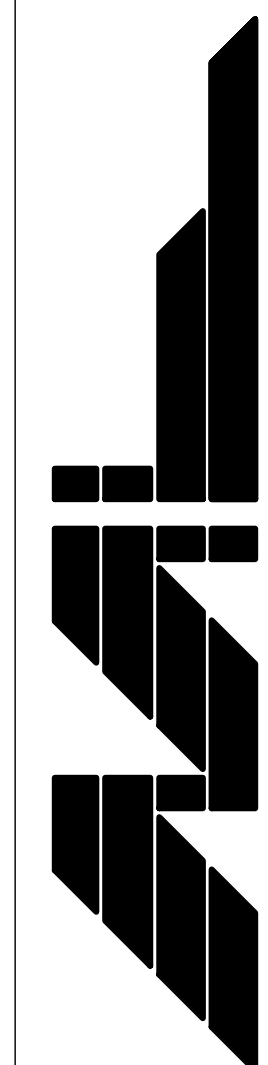
PREPARED BY:
ARCHITECT MARK D. LYON, INC.
Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
BUILDING SECTIONS

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| Revision 14: | |
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| Revision 7: | |
| Revision 6: | |
| Revision 5: | 11/19/2020 |
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Original Date: 05/17/2019
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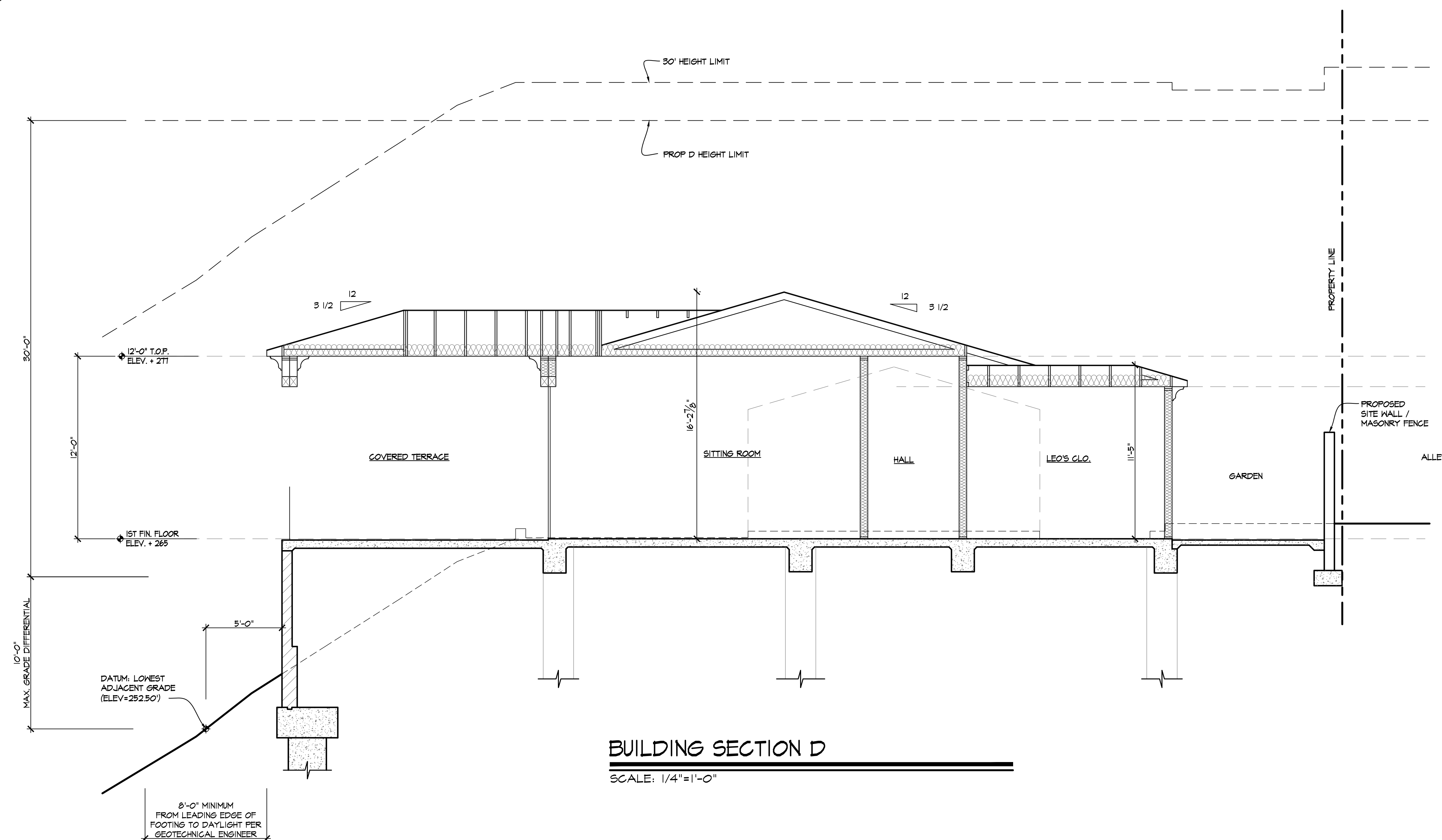
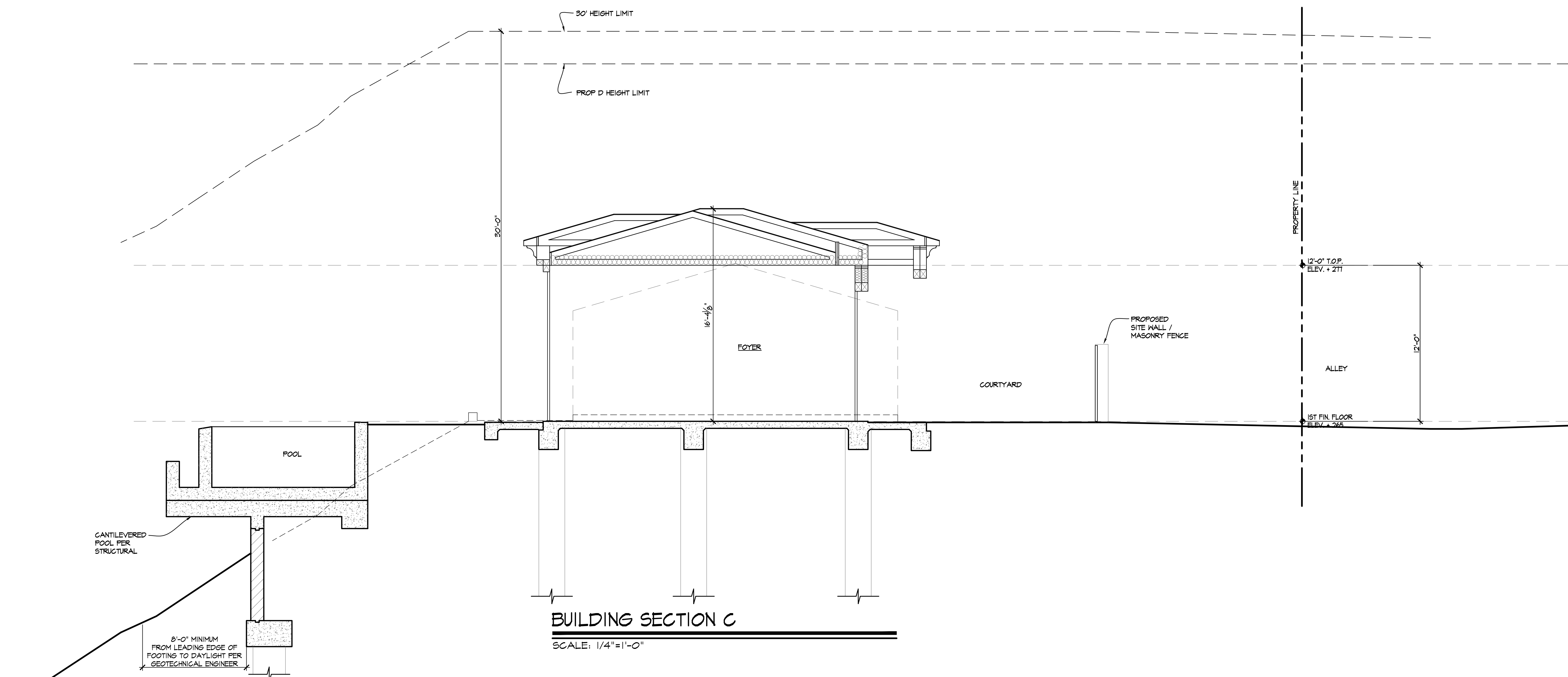
**ZUCKERMAN
RESIDENCE**
2502 CALLE DEL ORO
LA JOLLA, CA 92037

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SUBMITTAL DATE:

PHASE:
COASTAL DEV. PERMITPROJECT NUMBER:
1904REVIEWED BY:
MDLDRAWN BY:
KJLDATE:
11/19/2020SHEET TITLE:
BUILDING SECTIONS
SHEET NO.:

A4.2

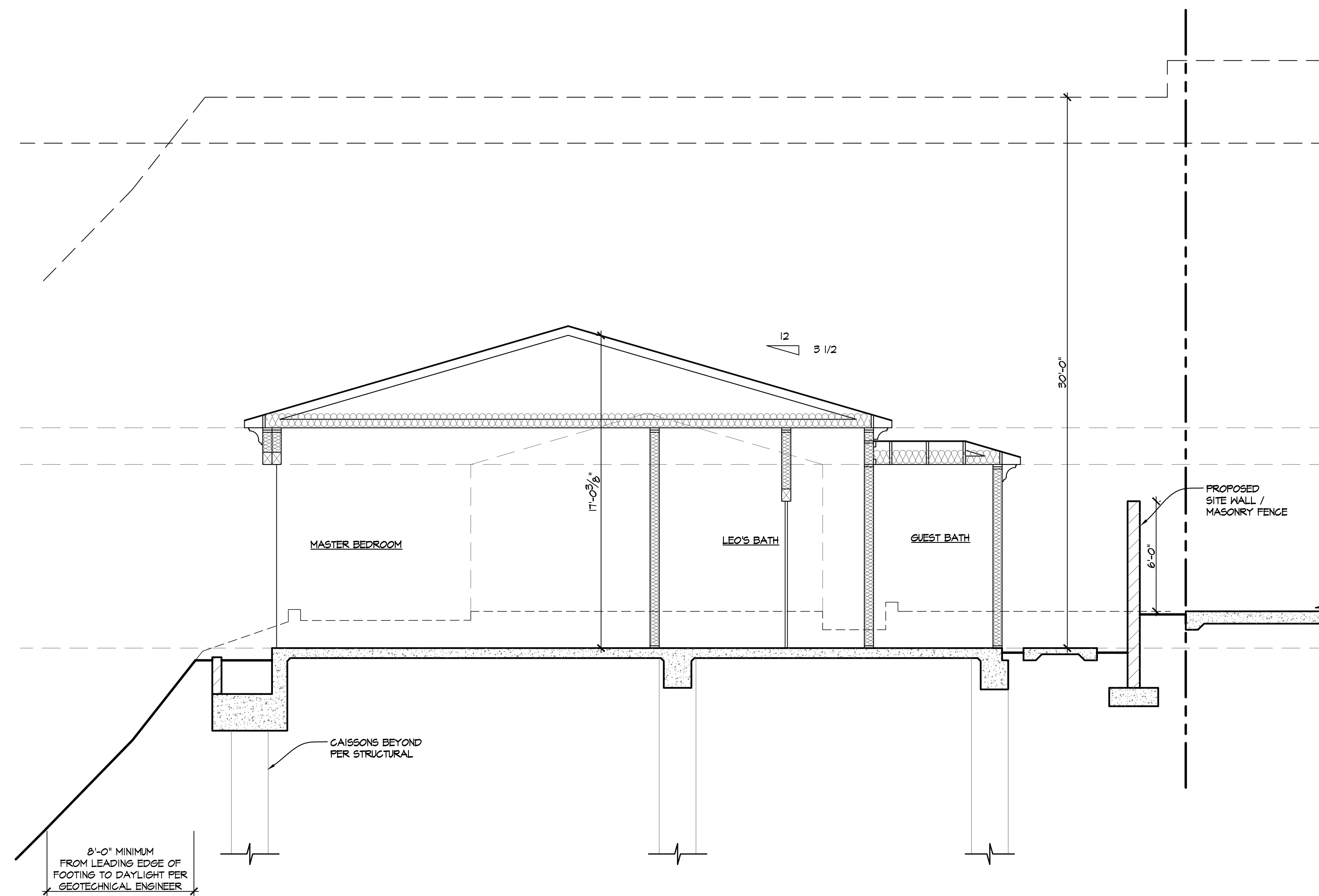


PREPARED BY:
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Name:
Address:
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

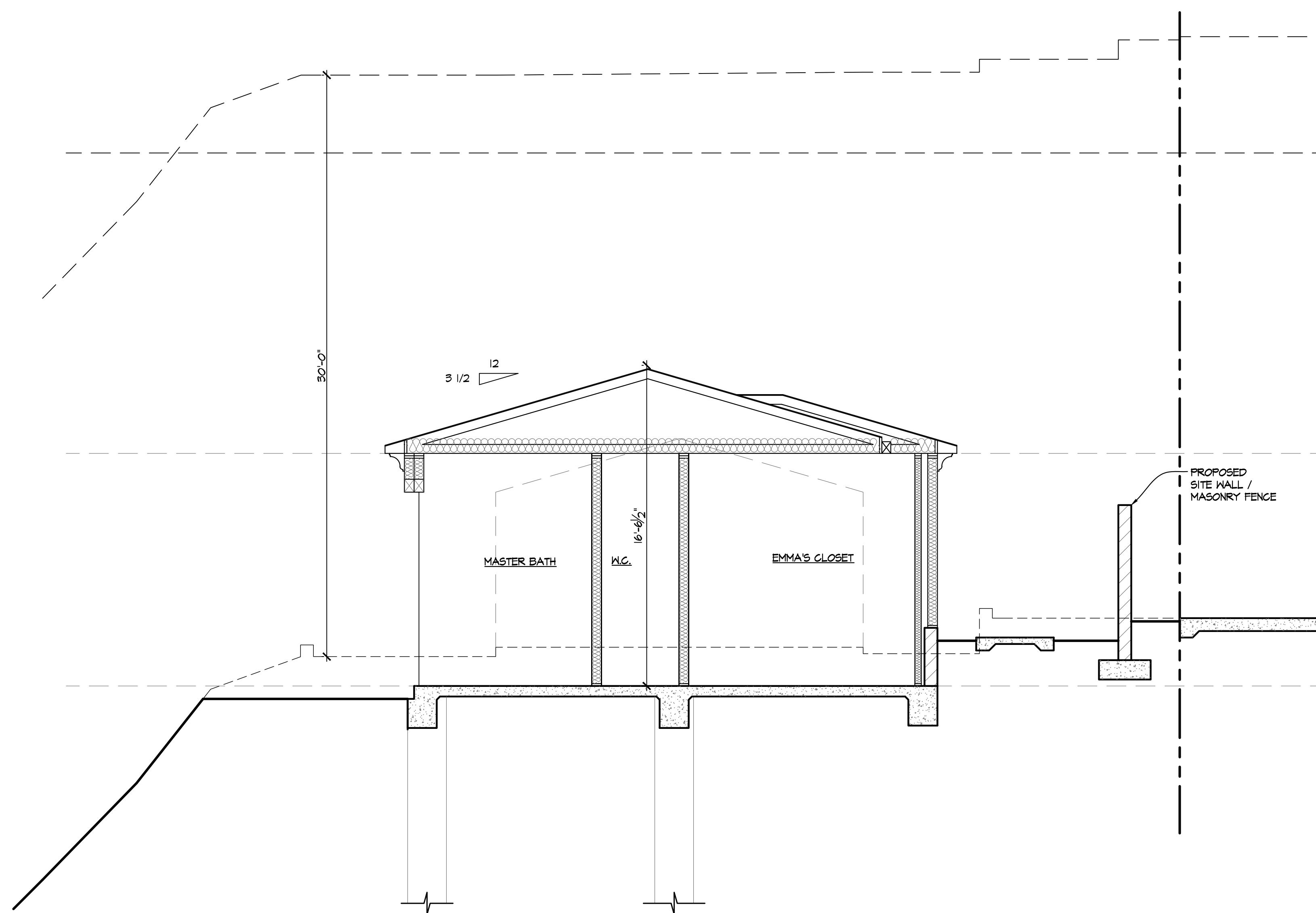
SHEET TITLE:
BUILDING SECTIONS

Revision 14: _____
Revision 13: _____
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DEP# _____



BUILDING SECTION E

SCALE: 1/4"=1'-0"



BUILDING SECTION F

SCALE: 1/4"=1'-0"

PREPARED BY:
 ARCHITECT MARK D. LYON, INC.
 Name: _____
 Address: 410 BIRD ROCK AVENUE
 LA JOLLA, CA 92037
 Phone #: (858)459-1171

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 ZUCKERMAN RESIDENCE
 2502 CALLE DEL ORO
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SHEET TITLE:
 BUILDING SECTIONS

Revision 14: _____
 Revision 13: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
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SUBMITTAL DATE:

PHASE:
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PROJECT NUMBER:
 1904

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 MDL

DRAWN BY:
 KJL

DATE:
 11/19/2020

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A4.3

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PROJECT NUMBER:

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REVIEWED BY:

MDL

DRAWN BY:

K.J.L

DATE:

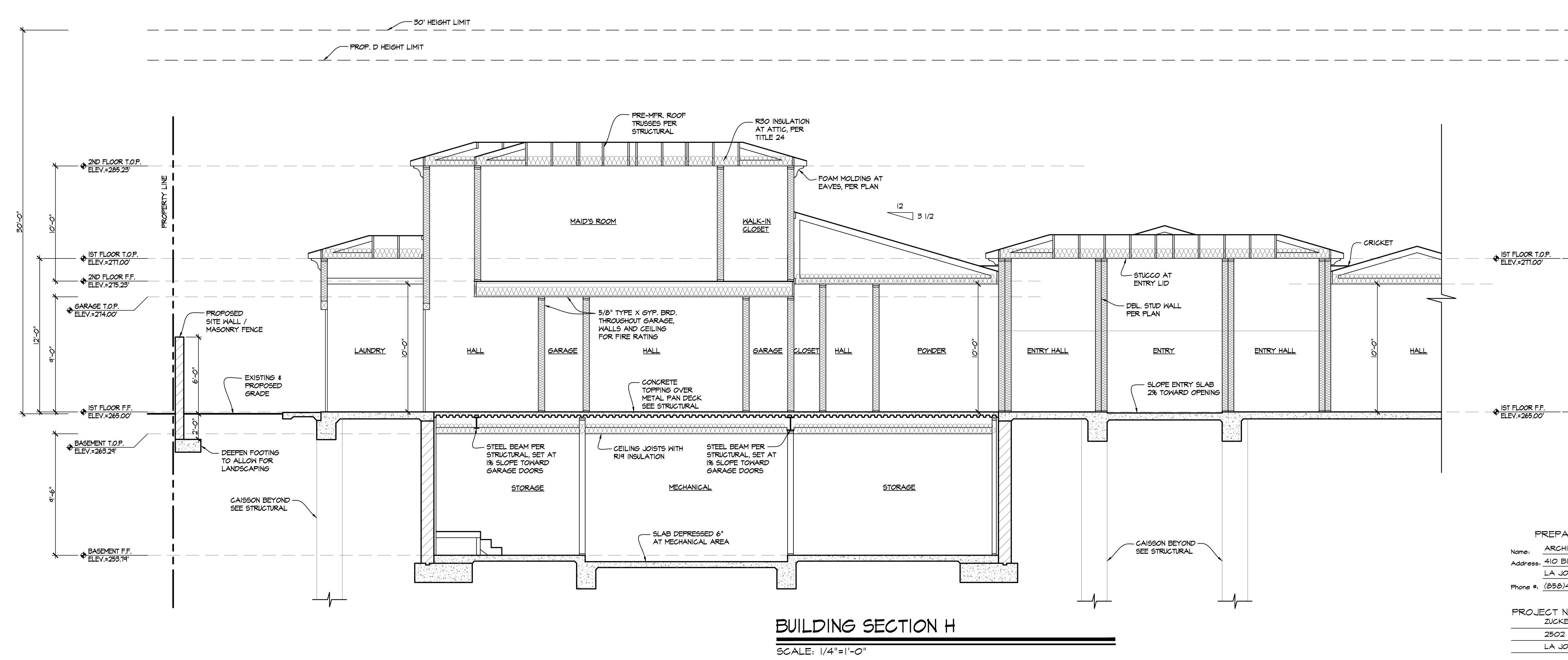
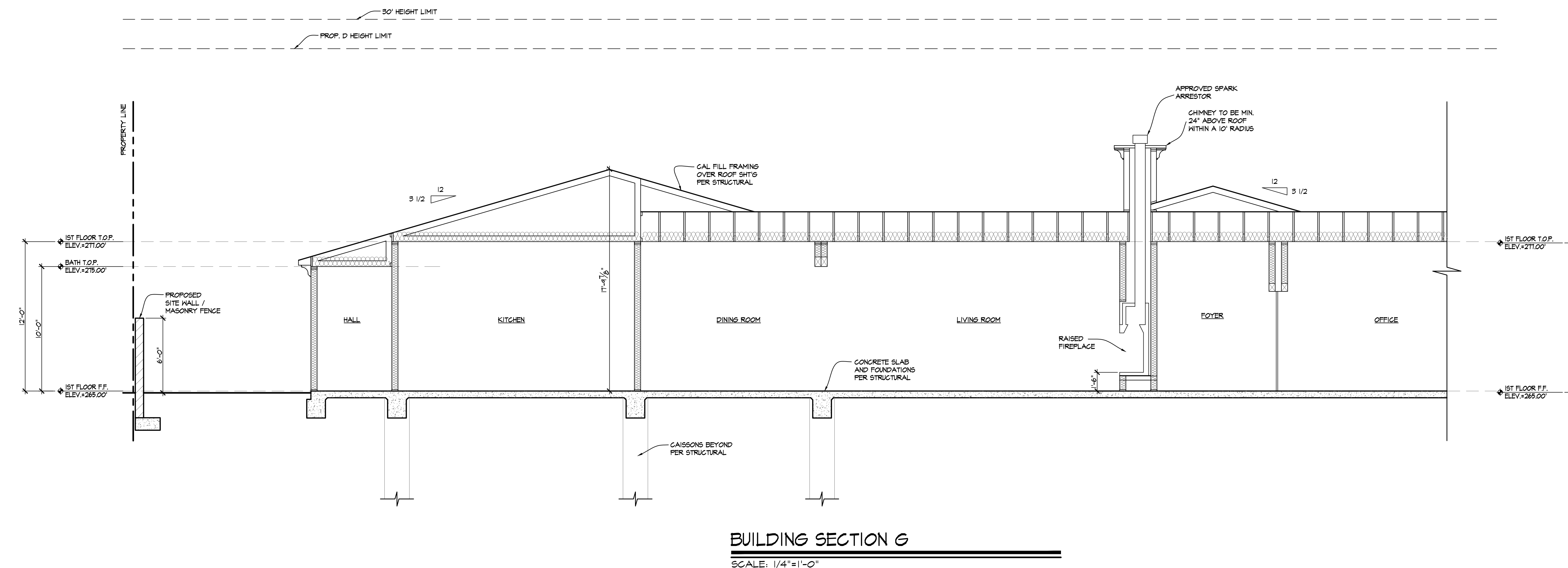
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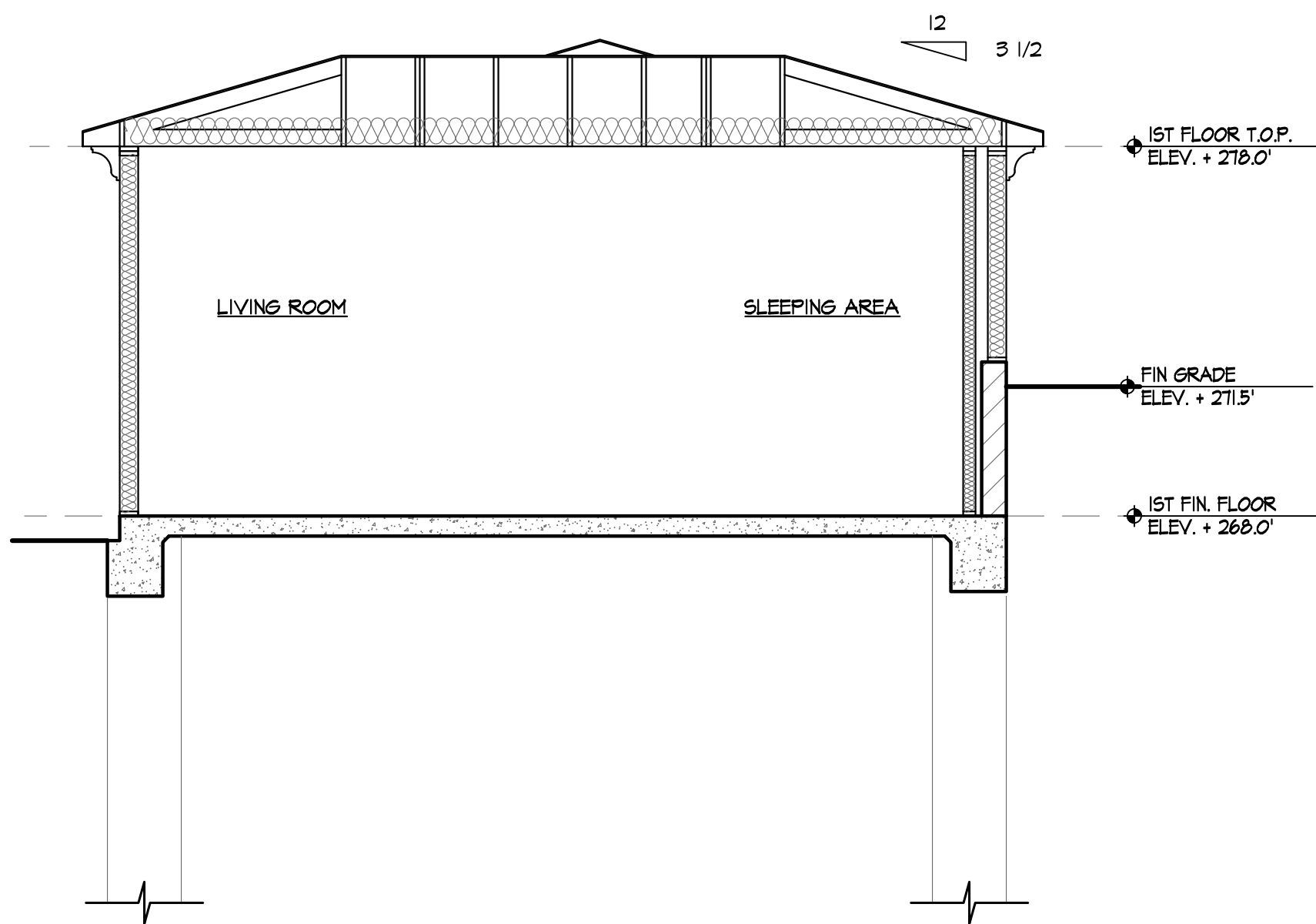
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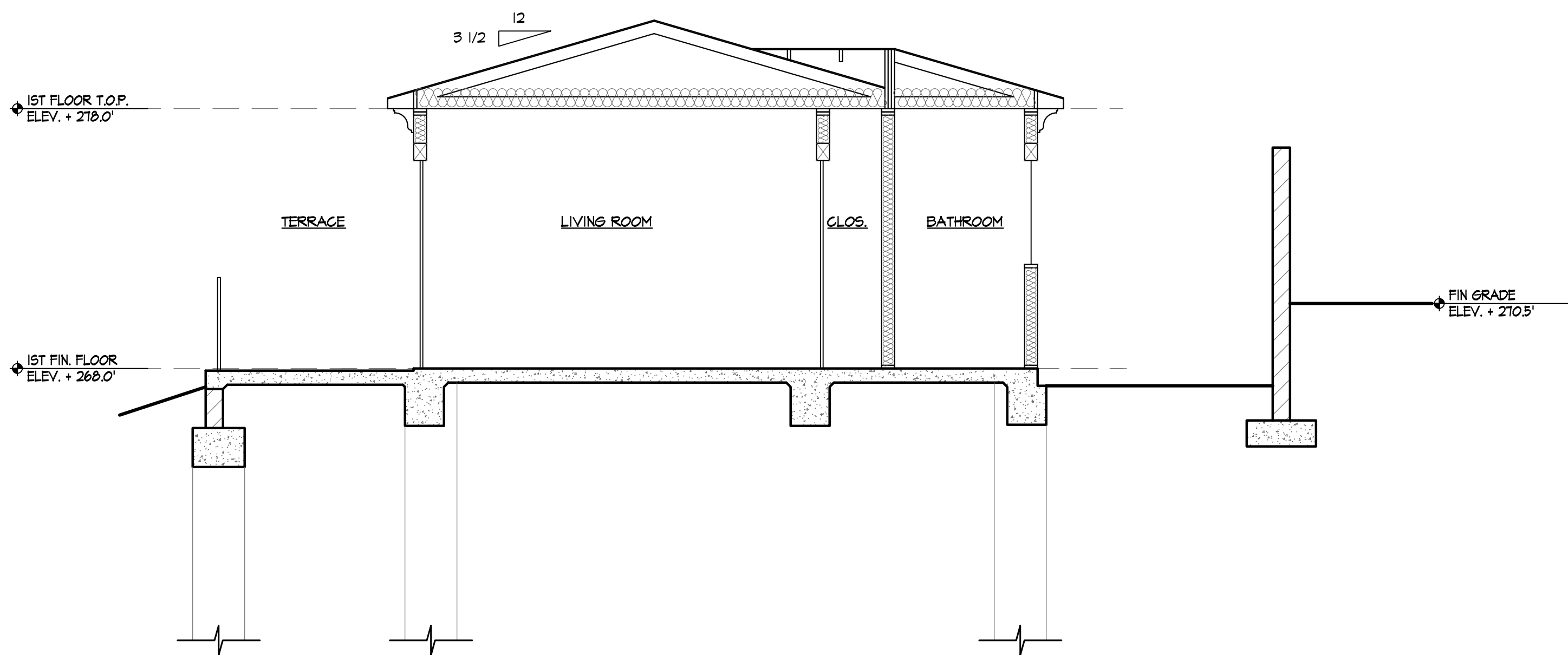
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| PREPARED BY: | | Revision 14: |
| Name: | ARCHITECT MARK D. LYON, INC. | Revision 13: |
| Address: | 410 BIRD ROCK AVENUE | Revision 12: |
| | LA JOLLA, CA 92037 | Revision 11: |
| Phone #: | (858)459-1171 | Revision 10: |
| | | Revision 9: |
| | | Revision 8: |
| | | Revision 7: |
| | | Revision 6: |
| | | Revision 5: |
| PROJECT NAME: | ZUCKERMANN RESIDENCE | Revision 4: 11/14/2020 |
| | 2502 CALLE DEL ORO | Revision 3: 06/08/2020 |
| | LA JOLLA, CA 92037 | Revision 2: 05/10/2020 |
| | | Revision 1: 02/17/2020 |
| SHEET TITLE: | BUILDING SECTIONS | Original Date: 05/17/2019 |
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GUEST QUARTERS BUILDING SECTION I
SCALE: 1/4"=1'-0"



GUEST QUARTERS BUILDING SECTION J
SCALE: 1/4"=1'-0"

PREPARED BY:
ARCHITECT MARK D. LYON, INC.
Name: _____
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Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
ACCESSORY DWELLING UNIT
BUILDING SECTIONS

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| Sheet | 26 of 28 |
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PHASE:
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1904

REVIEWED BY:
MDL

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KJL

DATE:
11/19/2020

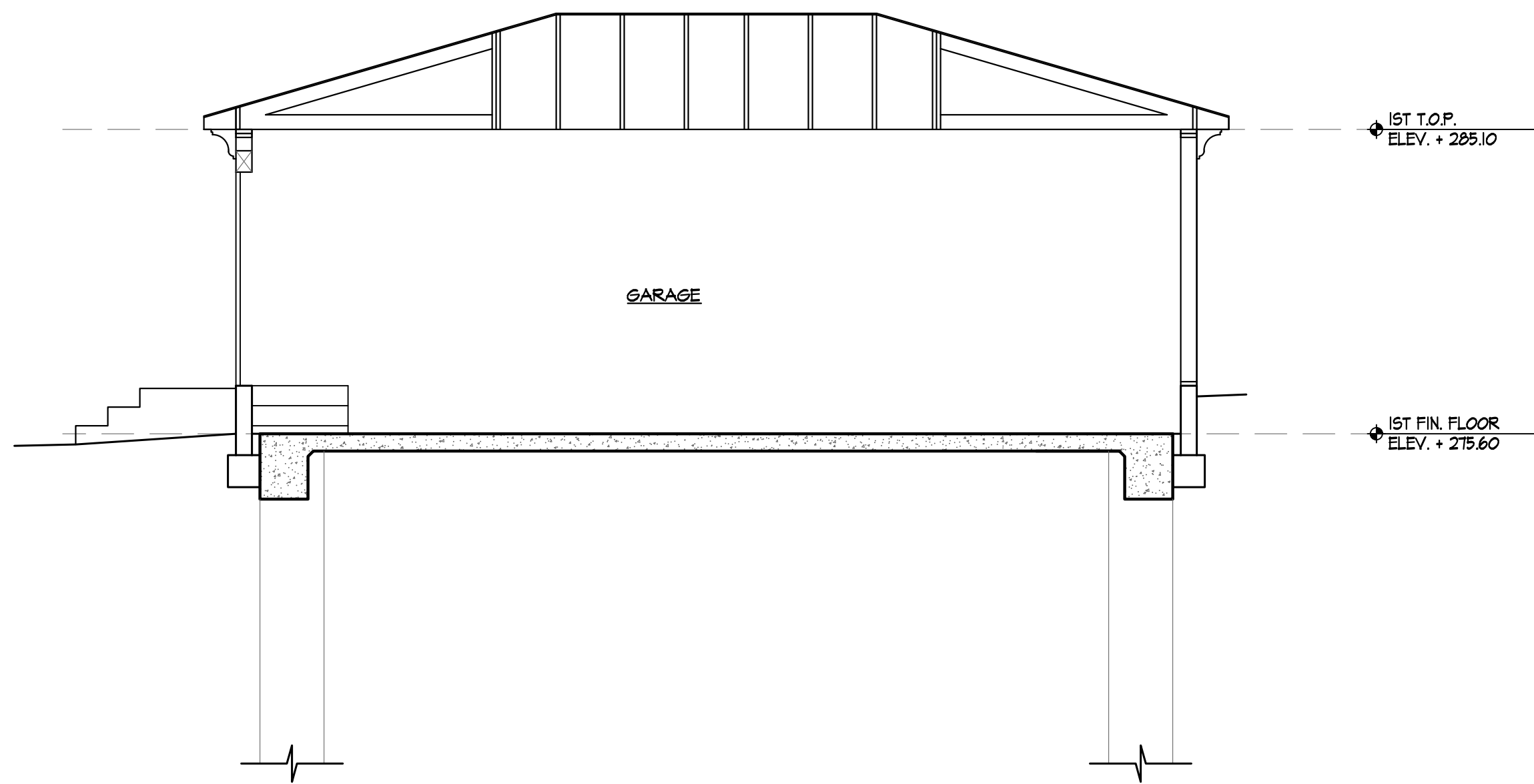
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GUEST QUARTERS
BUILDING
SECTIONS

SHEET NO.: _____

A4.5

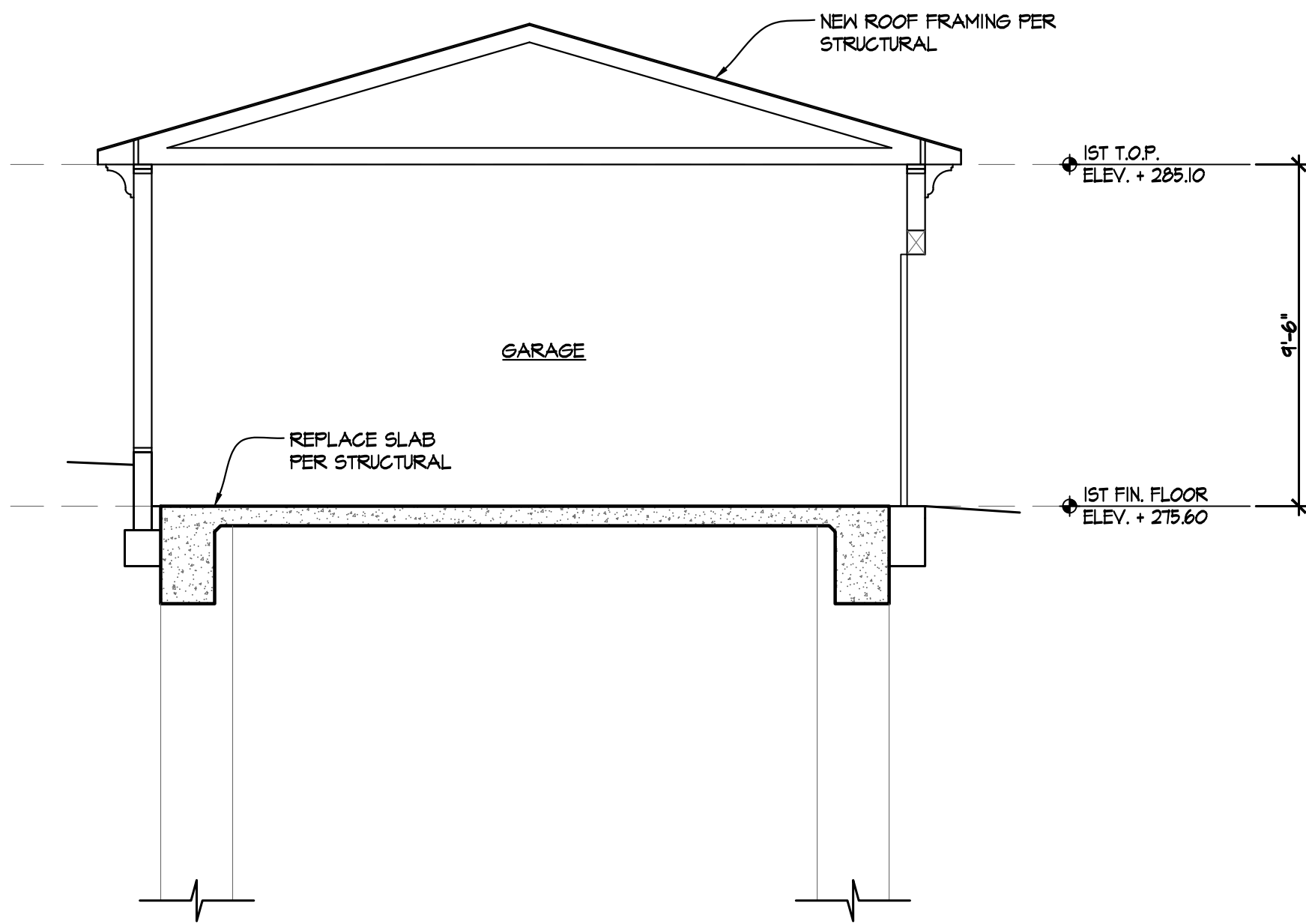
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(E) GARAGE BUILDING SECTION K

SCALE: 1/4"=1'-0"



(E) GARAGE BUILDING SECTION L

SCALE: 1/4"=1'-0"

PREPARED BY:
ARCHITECT MARK D. LYON, INC.
Name: _____
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
(E) DETACHED GARAGE
BUILDING SECTIONS

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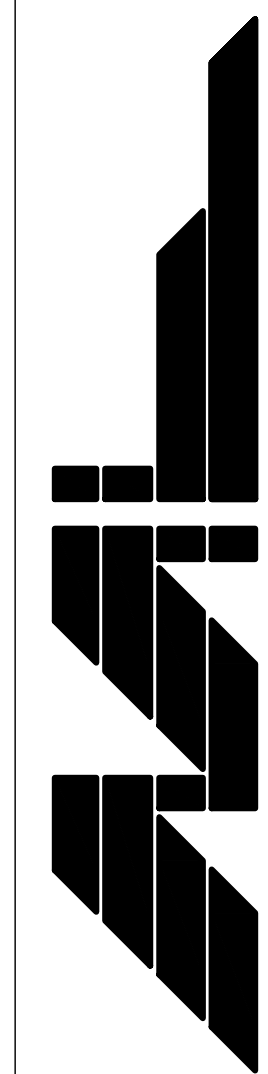
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PROJECT NUMBER: 1904
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DRAWN BY: KJL
DATE: 11/19/2020
SHEET TITLE:
(E) DETACHED GARAGE
BUILDING SECTIONS
SHEET NO: _____

A4.6



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LA JOLLA, CA 92037

REVISIONS:

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PROJECT NUMBER:
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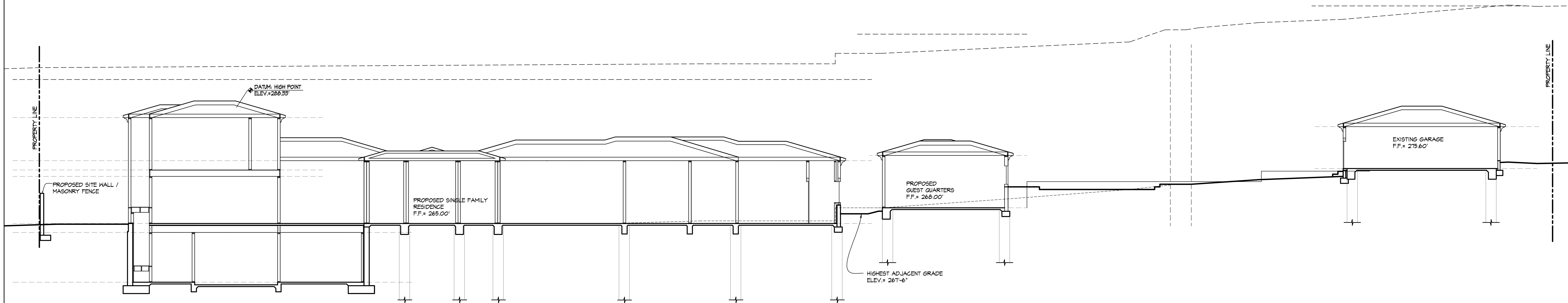
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MDL

DRAWN BY:
KJL

DATE:
11/19/2020

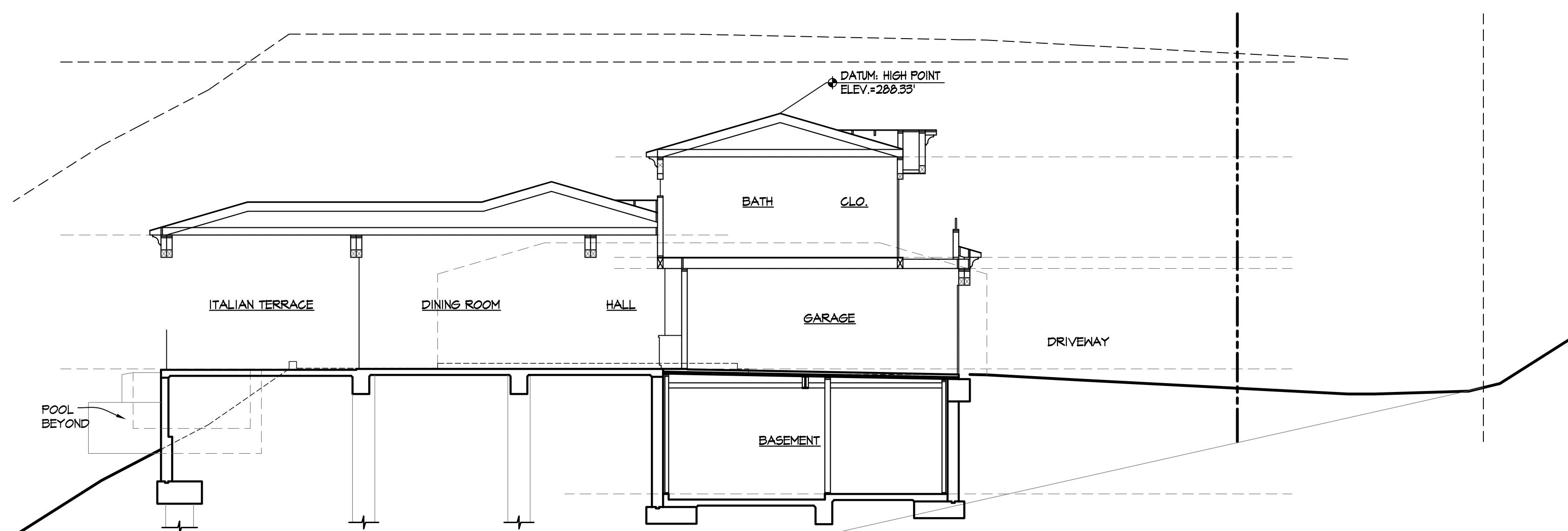
SHEET TITLE:
SITE SECTIONS
SHEET NO:

A4.7



SITE SECTION M

SCALE: 1/8"=1'-0"



SITE SECTION N

SCALE: 1/8"=1'-0"

PREPARED BY:

Name: ARCHITECT MARK D. LYON, INC.
Address: 410 BIRD ROCK AVENUE
LA JOLLA, CA 92037
Phone #: (858)459-1171

PROJECT NAME:
ZUCKERMAN RESIDENCE
2502 CALLE DEL ORO
LA JOLLA, CA 92037

SHEET TITLE:
SITE SECTIONS

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Sheet 28 of 28
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