



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: June 2, 2021 REPORT NO. HO-21-023

HEARING DATE: June 9, 2021

SUBJECT: BELLAVA CDP/SDP/TM, Process Three Decision

PROJECT NUMBER: [655382](#)

OWNER/APPLICANT: BELLAVA CONSTRUCTION LLC, Owner and Shani Sparks, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing single dwelling unit and attached garage, the subdivision of an existing lot into two small lots, and the construction of two new two-story single dwelling units with one attached garage and one detached garage on each lot?

Staff Recommendations:

1. ADOPT Mitigated Negative Declaration No. 655382 and ADOPT the Mitigation Monitoring and Reporting Program;
2. Approve Coastal Development Permit No. 2392732;
3. Approve Site Development Permit No. 2416304; and
4. Approve Tentative Map No. 2392731

Community Planning Group Recommendation: On June 4, 2020, the La Jolla Community Planning Association voted 15-0-2 to recommend approval of the proposed project without conditions.

Environmental Review: A Mitigated Negative Declaration No. 655382 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring Reporting Program has been prepared and will be implemented to reduce to a level below significance, potential impacts identified in the environmental review process.

BACKGROUND

The project site is located at 7306 Draper Avenue within the La Jolla Community Plan and Local Coastal Program Land Use Plan area (Attachment 1). The 0.14-acre site is in the RM-1-1 Zone and designated for Low Medium Residential with 9 to 15 dwelling units per acre (DU/AC) (Attachment 2). The project site is also located within the Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area. The rectangular lot is bordered on the north and west by residential development, Draper Avenue to the east, and Sea Lane to the south (Attachment 3).

The project site currently contains one single dwelling unit and an attached garage that were built in 1950. A review of the existing site was conducted by City staff to determine if potential significant historic resources exist on the site in accordance to San Diego Municipal Code (SDMC) section [143.0212](#). Based on the documentation provided, staff determined the property does not meet local designation criteria as an individually significant historic resource under any adopted Historic Resources Board criteria.

The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA), and does not contain any other type of Environmentally Sensitive Lands (ESL) as defined in SDMC section [113.0103](#). The project site is approximately 1,800 linear feet away from the ocean and is not located within the First Public Roadway. There are no public view corridors, vantage points, or physical access routes from the project site, as identified in the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

DISCUSSION

The project is within the Coastal Overlay Zone and requires a Coastal Development Permit pursuant to SDMC section [126.0702](#). Pursuant to SDMC section [126.0502\(b\)](#), a Process Three, Site Development Permit is required for residential development that involves development of a small lot subdivision in accordance with SDMC section [143.0365](#) and [Table 143-03C](#). A Process Three, Tentative Map is required for each subdivision of land when additional lots are created in accordance to SDMC section [125.0430](#).

The project proposes the demolition of an existing single dwelling unit and attached garage, the subdivision of an existing lot into two lots, and construction of one new single dwelling unit on each lot for a total of two new single dwelling units. The new single dwelling unit with a new detached garage located at the north lot would total 2,250 square feet, and the new single dwelling unit with a new attached garage located at the south lot would total 2,496 square feet. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide the 0.14-acre lot into two parcels shall be recorded with the County Recorder's Office.

The project is consistent with the land use designation of single-family residential development (maximum of 15 dwelling units/acre) in the Community Plan. The 0.14-acre site could accommodate one unit per small lot pursuant to SDMC [Table 143-03C](#). The project site is not located within the First Public Roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan. In addition, the project will not

encroach upon any existing physical way legally used by the public or any proposed public accessway identified in the Community Plan ([Figure 9, Pages 35-36](#)). The project complies with the small lot subdivision regulations and development standards required by the underlying RM-1-1 Zone including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the project is not requesting any deviations or variances from the applicable regulations.

The proposed project may result in a potentially significant environmental effect to Cultural Resources (Archaeology) and Tribal Cultural Resources. MND No. 655382 has been prepared for the project in accordance with state of California Environmental Quality Act (CEQA) guidelines and a MMRP will be implemented which will reduce to any potential impacts identified in the environmental review process to below a level of significance.

CONCLUSION

City staff has reviewed this application for a Coastal Development Permit, Site Development Permit, and Tentative Map and has determined that the project is consistent with the recommended land use and development standards in effect for the site. Staff has provided draft findings (Attachment 4) and conditions (Attachment 5 and 7) to support approval of the project. Therefore, staff recommends that the Hearing Officer Adopt MND No. 655382 and Adopt the MMRP, and Approve Coastal Development Permit No. 2392732, Site Development Permit No. 2416304, and Tentative Map No. 2392731.

ALTERNATIVES

1. Adopt MND No. 655382 and Adopt the MMRP, and Approve Coastal Development Permit No. 2392732, Site Development Permit No. 2416304, and Tentative Map No. 2392731 with modifications.
2. Deny MND No. 655382 and Deny the MMRP, and Deny Coastal Development Permit No. 2392732, Site Development Permit No. 2416304, and Tentative Map No. 2392731, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

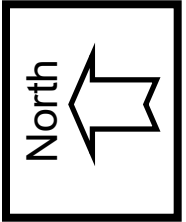
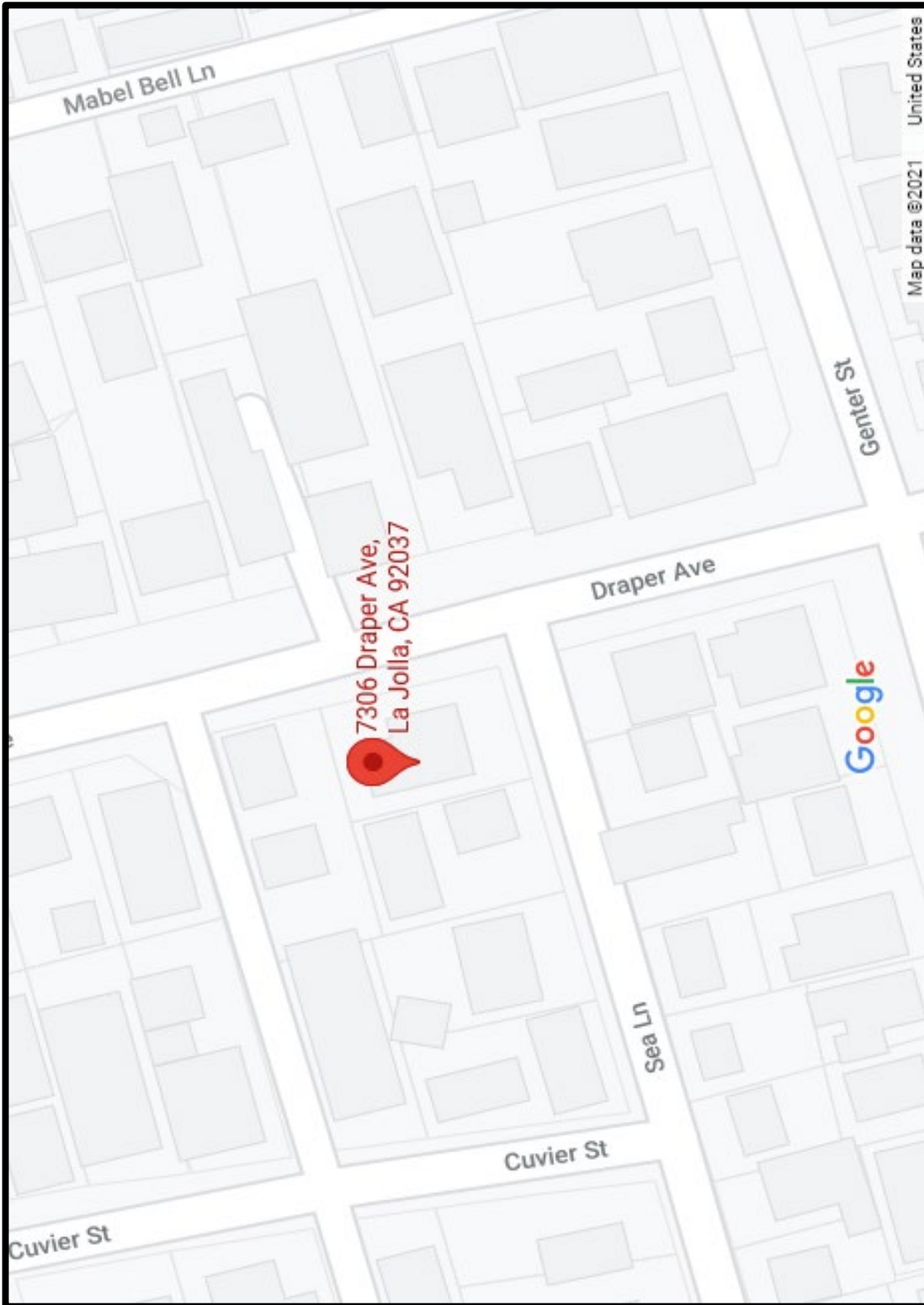


Benjamin Hafertepe, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Draft Tentative Map Resolution
7. Draft Tentative Map Conditions

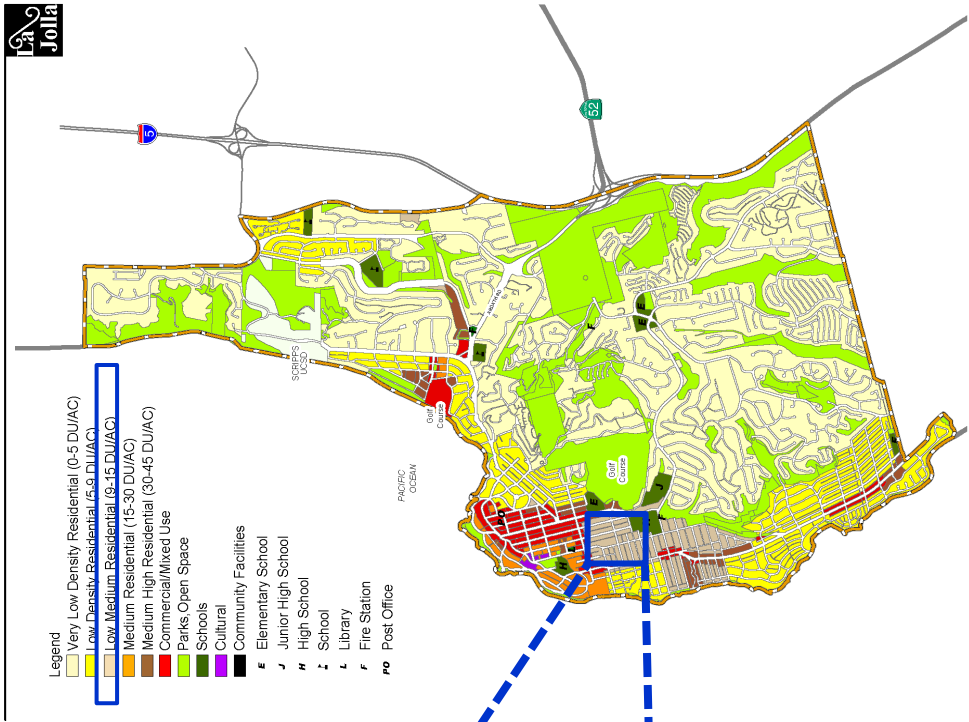
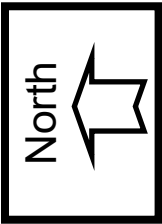
8. Draft Environmental Resolution
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans



Project Location Map

Bellava CDP/SDP/TM
Project No. 655382 – 7306 Draper Avenue



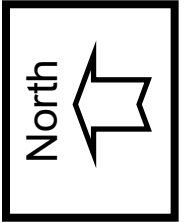
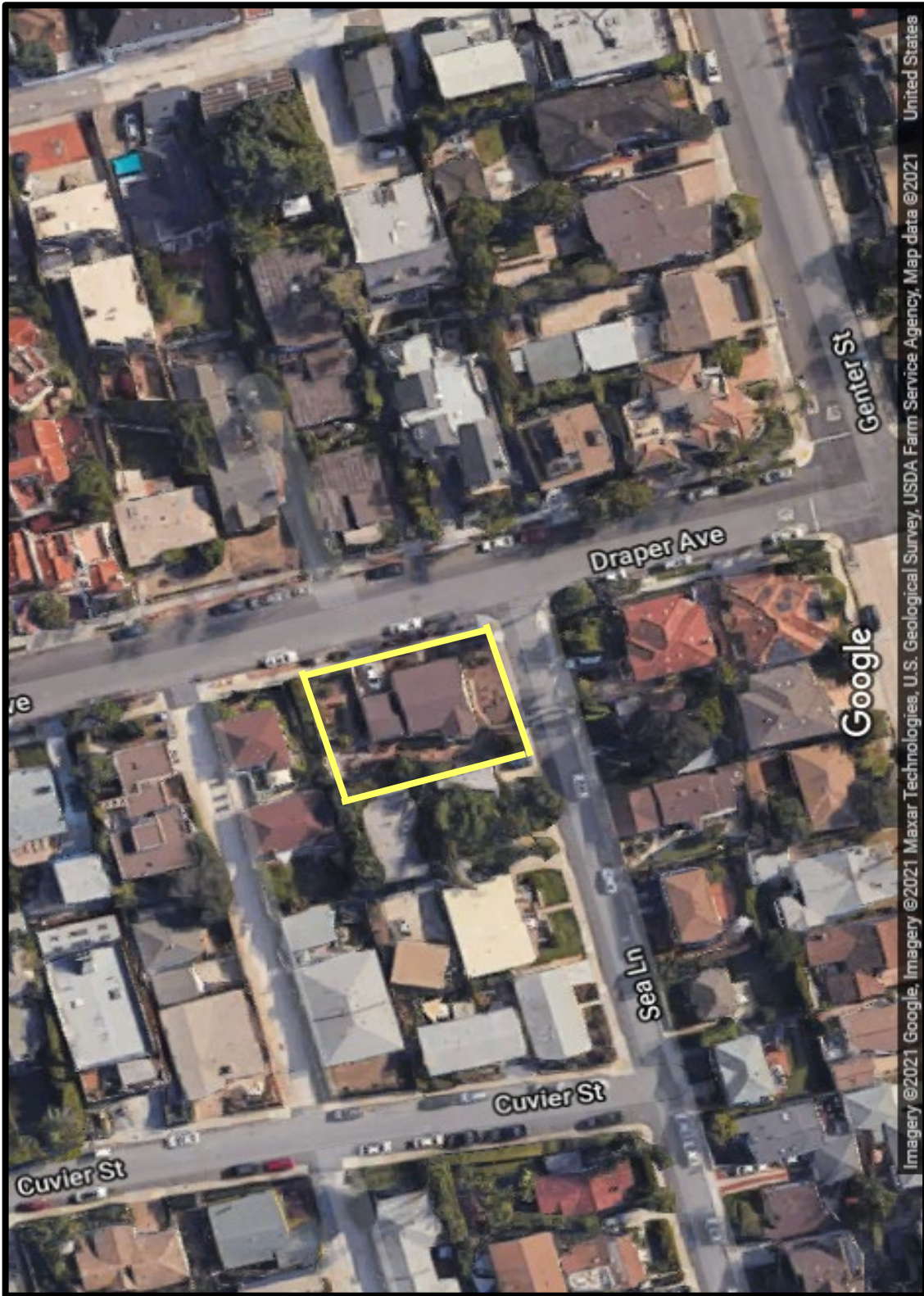


Project Site



Land Use Map

Bellava CDP/SDP/TM
Project No. 655382 – 7306 Draper Avenue



Aerial Photograph

Bellava CDP/SDP/TM

Project No. 655382 - 7306 Draper Avenue



HEARING OFFICER
RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2392732
SITE DEVELOPMENT PERMIT NO. 2416304
BELLAVA CDP/SDP/TM PROJECT NO. 655382 [MMRP]

WHEREAS, BELLAVA CONSTRUCTION LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single dwelling, subdivide a 0.14-acre lot into two lots, and construct a new two-story single dwelling unit with basement and attached garage on the south lot, and a new two-story single dwelling unit with basement and detached garage on the north lot totaling approximately 4,746 square feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2392732, Site Development Permit No. 2416304, and Tentative Map No. 2392731), on portions of a 0.14-acre site;

WHEREAS, the project site is located at 7306 Draper Avenue in the RM-1-1 Zone, Coastal Overlay Zone (Non-Appealable Area 2), and Coastal Height Limitation Overlay Zones within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as The Portion of Lot 3 of Block 13 of F.T. Scripps Addition to La Jolla Park in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 897, filed in the Office of the County Recorder of San Diego County, July 22, 1903. Lying Easterly of the Easterly line of the Westerly 35 feet of said Lot 3, expecting therefrom the Northerly 50 feet of said Lot 3.;

WHEREAS, on June 9, 2021, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2392732 and Site Development Permit No. 2416304 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2392732 and Site Development Permit No. 2416304:

A. COASTAL DEVELOPMENT PERMIT [SDMC SECTION 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The proposed new single dwelling units would be constructed on the existing developed lot that contains no physical accessways used or proposed for public use. The proposed development will enhance and protect public views by keeping all development within the 30-foot coastal height limit, as well as removing existing non-conforming structures from the right of way and setback area. The La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) does not identify any public views from this property along the ocean. Furthermore, the proposed coastal development will not degrade and will not remove, eliminate, or detract from any protected public views to and along the ocean and other scenic coastal areas as specific in the Local Coastal Program land use plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. Review of resource maps, aerial and street photography shows that the project site does not contain any Environmentally Sensitive Lands as defined in San Diego Municipal Code section 113.0103. The project site does not contain and is not adjacent to any sensitive biological resources, sensitive coastal bluffs, steep hillsides, or special flood hazard areas, and is not located within or adjacent to the City's Multiple Species Conservation Program/Multiple Habitat Planning Area. Therefore, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The 0.14-acre site could accommodate one unit per small lot pursuant to San Diego Municipal Code Table 143-03C. The project is consistent with the land use designation of single-family residential development (9-15 dwelling units/acre) in the Community Plan.

The project site is not located within the First Public Roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan. In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public accessway identified in the Community Plan. The project complies with the development standards required by the underlying RM-1-1 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the project is not requesting any deviations or variances from the applicable regulations. Therefore, the redevelopment of the site to subdivide the 0.14-acre lot into two lots and construct two, two-story single dwelling units with one attached garage and one detached garage on each lot is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program. It complies and implements the Implementation Program because the project is subject to and is obtaining all necessary entitlements for the redevelopment (a Coastal Development Permit, Site Development Permit, and Tentative Map).

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The 0.14-acre lot is currently developed with an existing single dwelling unit and attached garage proposed to be demolished. The subdivision of the existing lot into two lots, and construction of two new two-story single dwelling units with an attached garage on the south lot and detached garage on the north lot totaling 2,496 and 2,6250 square feet, respectively, will be built in its place. The site is located within an urbanized and predominantly residential neighborhood. As such, the single-family residences will be part of an established single-family and multi-family residential neighborhood. The project site is not located between the first public road and the sea or shoreline of any body of water located within the Coastal Overlay Zone. No public access or public recreation facilities exist

on the project site. Therefore, the proposed project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT [SDMC SECTION 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The project is consistent with the land use designation of single-family residential development (9-15 dwelling units/acre) in the Community Plan.

The site is surrounded by both single-family and multi-family residences. The project site is not located within the first public roadway, and there are no public view corridors, vantage points, or physical access routes from the project site, as identified in the Community Plan. In addition, the project will not encroach upon any existing physical way legally used by the public or any proposed public accessway identified in the Community Plan. The project complies with the development standards required by the underlying RM-1-1 Zone and small lot subdivision regulations including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the project is not requesting any deviations or variances from the applicable regulations and therefore, the redevelopment of the site for the subdivision of the 0.14-acre lot into two lots, and construction of two, two-story single family residences with one attached garage and one detached garage on each lot will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre). The project will not be detrimental to the public health, safety, and welfare. A condition of approval requires a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. City staff has reviewed and accepted a preliminary geotechnical report prepared for the site project, which concludes the site's soil and geologic conditions have been adequately addressed.

The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include assuring by permit and bond the installation of City standard full height curb/gutter along the project frontages on Sea Lane and Draper Avenue, assuring by permit and bond the installation of two new 12-foot wide City Standard driveways adjacent to the site on Sea lane and Draper Avenue, implementing construction best management practices (BMPs); and entering into an Encroachment Maintenance Removal Agreement for sidewalk under drain/curb outlet, street trees, irrigation, and landscaping within Right-of-Way. Therefore, the project will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The 0.14-acre site could accommodate one unit per small lot pursuant to San Diego Municipal Code Table 143-03C. The project is consistent with the land use designation of single-family residential development (9-15 dwelling units/acre) in the Community Plan.

The project is not requesting, nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, and development standards in effect for the site. The project complies with the development standards required by the underlying RM-1-1 Zone and small lot subdivision regulations including height, density, building setbacks, floor area ratio, lot coverage, and parking. The project is not requesting any deviations or variances from the applicable regulations. Therefore, the project will comply with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2392732 and Site Development Permit No. 2416304 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits,

ATTACHMENT 4

terms and conditions as set forth in Coastal Development Permit No. 2392732 and Site Development Permit No. 2416304, a copy of which is attached hereto and made a part hereof.

Benjamin Hafertepe
Development Project Manager
Development Services

Adopted on: June 9, 2021

IO#: 24008493

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008493

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2392732
SITE DEVELOPMENT PERMIT NO. 2416304
BELLAVA CDP/SDP/TM PROJECT NO. 655382 [MMRP]
HEARING OFFICER

This Coastal Development Permit No. 2392732, and Site Development Permit No. 2416304 is granted by the Hearing Officer of the City of San Diego to BELLAVA CONSTRUCTION LLC., a California limited liability company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 125.0440, 126.0505, 126.0708. The 0.14-acre site is located at 7306 Draper Avenue in the RM-1-1 Zone, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal Impact), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area within the La Jolla Community Plan area. The project site is legally described as: The Portion of Lot 3 of Block 13 of F.T. Scripps Addition to La Jolla Park in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 897, filed in the Office of the County Recorder of San Diego County, July 22, 1903. Lying Easterly of the Easterly line of the Westerly 35 feet of said Lot 3, expecting therefrom the Northerly 50 feet of said Lot 3.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single dwelling, subdivide a 0.14-acre lot into two lots, and construct a new two-story single dwelling unit with basement and attached garage on the south lot, and a new two-story single dwelling unit with basement and detached garage on the north lot totaling approximately 4,746 square feet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date], on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single dwelling unit;
- b. The Subdivision of an existing 0.14-acre lot into two lots;

- c. Construction of a new two-story single dwelling unit with basement and attached garage on the south lot totaling 2,496 square feet, and a new two-story single dwelling unit with basement and detached garage on the north lot totaling 2,250 square feet;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking;
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [ENTER DATE typically 3 years, including the appeal time].
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but

not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 655382 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 655382 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Cultural Resources (Archaeology)
Tribal Cultural Resources

CLIMATE ACTION PLAN REQUIREMENTS:

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

15. The Coastal Development Permit and Site Development Permit shall comply with all Conditions of the Final Map for the Tentative Map No. 2392731.
16. Prior to the issuance of any building permit the Owner/Permittee shall dedicate an additional 5 feet on Sea Lane to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.
17. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond the installation of City standard full height curb/gutter along the project frontages on Sea Lane and Draper Avenue to satisfaction of the City Engineer.
18. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond the installation of two new 12-foot wide City Standard driveways adjacent to the site on Sea Lane and Draper Avenue satisfactory to the City Engineer.
19. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond the replacement of the existing sidewalk with the same scoring pattern City Standards sidewalk, preserving the contractor's stamp, adjacent to the site on Sea Lane and Draper Avenue satisfactory to the City Engineer.

20. Prior to the issuance of any building permit the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for sidewalk under drain/curb outlet and street trees, irrigation/ landscaping within Right-of-Way adjacent to the site satisfactory to the City Engineer.
21. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
23. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
25. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
26. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.
27. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy [Final Inspection].

PLANNING/DESIGN REQUIREMENTS:

30. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

31. Owner/Permittee shall maintain off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

34. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

35. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed

project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

36. Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

37. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit application.

38. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

GEOLOGY REQUIREMENTS

39. Prior to the issuance of any construction permits (either grading or building), the Owner/ Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

40. The Owner/ Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 9, 2021 and [Approved Resolution Number].

DRAFT

ATTACHMENT 5

Coastal Development Permit No. 2392732

Site Development Permit No. 2416304

Tentative Map No. 2392731

Date of Approval: June 9, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Benjamin Hafertepe
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

BELLAVA CONSTRUCTION LLC
a California limited liability company
Owner/Permittee

By

Maria Elena Gonzalez
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NUMBER HO-_____
TENTATIVE MAP NO. 2392731
BELLAVA CDP/SDP/TM - PROJECT NO. 655382

WHEREAS, BELLAVA CONSTRUCTION LLC, Subdivider, and COFFEY ENGINEERING, INC., submitted an application to the City of San Diego for a Tentative Map No. 2392731 for the subdivision of a 0.14-acre lot into two single-family residential lots, and to waive the requirement to underground existing offsite overhead utilities. The project site is located at 7306 Draper Avenue in the RM-1-1 Zone, Coastal Overlay Zone (Non-Appealable Area 2), and Coastal Height Limitation Overlay Zones within the La Jolla Community Plan area. The property is legally described as The Portion of Lot 3 of Block 13 of F.T. Scripps Addition to La Jolla Park in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 897, filed in the Office of the County Recorder of San Diego County, July 22, 1903. Lying Easterly of the Easterly line of the Westerly 35 feet of said Lot 3, expecting therefrom the Northerly 50 feet of said Lot 3.; and

WHEREAS, the Map proposes the Subdivision of a 0.14-acre lot into two single-family residential lots; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on June 9, 2021, the Hearing Officer of the City of San Diego considered Tentative Map No. 2392731 including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0440, 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public

hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 2392731:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) designates the site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The project is consistent with the land use designation of single-family residential development (maximum of 15 dwelling units/acre) in the Community Plan. The project site is not located within the First Public Roadway, and there are no view corridors, vantage points, or physical access routes from the project site. The proposed residential subdivision and construction of two dwelling units is consistent with Community Plan land use designation, and promotes the Community Plan goal of creating home-ownership opportunities and a range of housing types within La Jolla. In addition, there are no adverse impacts to any public view or coastal access as identified in the Community Plan. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The Community Plan designates the project site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The project is consistent with the land use designation of single-family residential development (maximum of 15 dwelling units/acre) in the Community Plan. The project site is not located within the First Public Roadway, and there are no view corridors, vantage points, or physical access routes from the project site.

The project is not requesting, nor does it require any deviations or variances from the applicable regulations and policy documents, and the project is consistent with the recommended land use designation and development standards in effect for the site. The project

complies with the development standards required by the underlying RM-1-1 Zone and small lot subdivision regulations including height, density, building setbacks, floor area ratio, lot coverage, and parking. The project is not requesting any deviations or variances from the applicable regulations. Therefore, the project will comply with the applicable zoning and development regulations of the Land Development Code.

3. The site is physically suitable for the type and density of development.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The lot is currently improved with a single dwelling unit, attached garage, and associated appurtenances, including site walls and hardscape. The topography of the rectangular shaped lot is relatively flat. Site grading will include excavation for the basements and removal and recompaction of surface soils in non-basement areas. The project proposes a land use that is compliant with the Land Development Code and is supported by the Community Plan. The Community Plan designates the site for Low Medium Residential uses (9-15 dwelling units/acre) and is zoned RM-1-1. The project is consistent with the land use designation of single-family residential development (maximum of 15 dwelling units/acre) in the Community Plan. The 0.14-acre site could accommodate one unit per small lot pursuant to San Diego Municipal Code Table 143-03C. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet.

The project site is within an urbanized community. The project site is not located near the Multiple Habitat Planning Area and does not contain Environmentally Sensitive Lands as defined by the San Diego Municipal Code, therefore it does not adversely impact any environmentally sensitive lands or wildlife habitat. Therefore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two

lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet.

The project will not be detrimental to the public health, safety, and welfare. The environmental analysis did not find any significant impacts to public health and safety. The project will not have any impact on the provision of essential public services. The project will not be detrimental to public health, safety, and welfare in that the permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations, and other regional state, and federal regulations to prevent detrimental impacts the health, safety, and welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine if the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The project does not contain any easements acquired by the public at large for access or use of property within the subdivision. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed subdivision of a 0.14-acre lot into two lots for residential development will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading. With the independent design of the proposed subdivision, each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The subject site is located at 7306 Draper Avenue in La Jolla. The site is currently developed with an existing single dwelling unit and attached garage. The development proposes to

ATTACHMENT 6

(R-[Reso Code])

demolish the existing single dwelling unit and attached garage, subdivide the 0.14-acre lot into two lots, and construct two, two-story single dwelling units with an attached garage on the south lot and a detached garage on the north lot totaling approximately 4,746 square feet. The project site was previously developed with a dwelling unit. Therefore, the project will not adversely impact public resources.

In addition, the project establishes a land use that is compliant with the Land Development Code and is supported by the Community Plan. The project promotes the Community Plan goal of creating home-ownership opportunities and a range of housing types within La Jolla. Therefore, the decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map No. 2392731, including the waiver of the requirement to underground existing offsite overhead utilities, hereby granted to BELLAVA CONSTRUCTION LLC subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Benjamin Hafertepe
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24008493

HEARING OFFICER
CONDITIONS FOR TENTATIVE MAP NO. 2392731
BELLAVA CDP/SDP/TM PROJECT NO. 655382 [MMRP]
ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Tentative Map will expire **[IF PROCESS 3 OR 4 INSERT** Date - 3 Years from decision date].
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The project shall conform to the provisions of Coastal Development Permit No. 2392732 and Site Development Permit No. 2416304.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

6. The Tentative Map shall comply with the conditions of Coastal Development Permit No. 2392732 and Site Development Permit No. 2416304.
7. Compliance with all conditions shall be assured, to the satisfaction of the city Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
8. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.

9. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
10. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
11. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

12. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide the 0.14 acres property into two (2) Parcels shall be recorded at the San Diego County Recorder's Office.
13. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition.

If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.
14. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.

All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
15. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
16. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].

17. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
18. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24008493

DRAFT

RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, on March 3, 2020, Shani Sparks submitted an application to the Development Services Department for a Coastal Development Permit, Site Development Permit, and Tentative Map for the Bellava (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on June 9, 2021; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 655382 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

ATTACHMENT 8

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101 or City Clerk, 202 C Street, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Department is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Benjamin Hafertepe
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

Coastal Development Permit No. 2392732
 Site Development Permit No. 2416304
 Tentative Map No. 2392731

PROJECT NO. 655382

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 655382 shall be made conditions of Coastal Development Permit No. 2392732 Site Development Permit No. 2416304 and Tentative Map No. 2392731 as may be further described below.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:**A. GENERAL REQUIREMENTS – PART I****Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<https://www.sandiego.gov/development-services/forms-publications/design-guidelines-templates>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure

the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO

BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

Qualified Archaeologist

Qualified Native American Monitor

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**

b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) #655382 and /or Environmental Document #655382, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder

obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

None Required

4. MONITORING EXHIBITS

All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to Preconstruction Meeting
Cultural Resources (Archaeology)	Monitoring Report(s)	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

HISTORICAL RESOURCES ARCHAEOLOGICAL and NATIVE AMERICAN MONITORING

I. Prior to Permit Issuance or Bid Opening/Bid Award

A. Entitlements Plan Check

1. Prior to permit issuance or Bid Opening/Bid Award, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.
- B. Letters of Qualification have been submitted to ADD
 1. Prior to Bid Award, the applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
 3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 1. The PI shall provide verification to MMC that a site-specific records search (1/4-mile radius) has been completed. Verification includes but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.
- B. PI Shall Attend Precon Meetings
 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 2. Acknowledgement of Responsibility for Curation (CIP or Other Public Projects)

The applicant shall submit a letter to MMC acknowledging their responsibility for the cost of curation associated with all phases of the archaeological monitoring program.
 3. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native

American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

The AME shall be based on the results of a site-specific records search as well as information regarding the age of existing pipelines, laterals and associated appurtenances and/or any known soil conditions (native or formation).

MMC shall notify the PI that the AME has been approved.

4. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as age of existing pipe to be replaced, depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.
5. Approval of AME and Construction Schedule
After approval of the AME by MMC, the PI shall submit to MMC written authorization of the AME and Construction Schedule from the CM.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
 4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly **(Notification of Monitoring Completion)**, and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
 4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval of the program from MMC, CM and RE. ADRP and any mitigation must be approved by MMC, RE and/or CM before ground disturbing activities in the area of discovery will be allowed to resume.
Note: If a unique archaeological site is also an historical resource as defined in CEQA Section 15064.5, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
 - (1). Note: For pipeline trenching and other linear projects in the public Right-of-Way, the PI shall implement the Discovery Process for Pipeline Trenching projects identified below under "D."
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.
 - (1). Note: For Pipeline Trenching and other linear projects in the public Right-of-Way, if the deposit is limited in size, both in length and depth; the information value is limited and is not associated with any other resource; and there are no unique features/artifacts associated with the deposit, the discovery should be considered not significant.
 - (2). Note, for Pipeline Trenching and other linear projects in the public Right-of-Way, if significance cannot be determined, the Final Monitoring Report and Site Record (DPR Form 523A/B) shall identify the discovery as Potentially Significant.
- D. Discovery Process for Significant Resources - Pipeline Trenching and other Linear Projects in the Public Right-of-Way
- The following procedure constitutes adequate mitigation of a significant discovery encountered during pipeline trenching activities or for other linear project types within

the Public Right-of-Way including but not limited to excavation for jacking pits, receiving pits, laterals, and manholes to reduce impacts to below a level of significance:

1. Procedures for documentation, curation and reporting
 - a. One hundred percent of the artifacts within the trench alignment and width shall be documented in-situ, to include photographic records, plan view of the trench and profiles of side walls, recovered, photographed after cleaning and analyzed and curated. The remainder of the deposit within the limits of excavation (trench walls) shall be left intact.
 - b. The PI shall prepare a Draft Monitoring Report and submit to MMC via the RE as indicated in Section VI-A.
 - c. The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) the resource(s) encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines. The DPR forms shall be submitted to the South Coastal Information Center for either a Primary Record or SDI Number and included in the Final Monitoring Report.
 - d. The Final Monitoring Report shall include a recommendation for monitoring of any future work in the vicinity of the resource.

IV. **Discovery of Human Remains**

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. Notification
 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate discovery site
 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.
 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenience.
 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains **ARE** determined to be Native American

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being granted access to the site, OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner shall reinter the human remains, and items associated with Native American human remains with appropriate dignity on the property in a location not subject to further and future subsurface disturbance, THEN
 - c. To protect these sites, the landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement; or
 - (3) Record a document with the County. The document shall be titled "Notice of Reinternment of Native American Remains" and shall include a legal description of the property, the name of the property owner, and the owner's acknowledged signature, in addition to any other information required by PRC 5097.98. The document shall be indexed as a notice under the name of the owner.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVr and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact the RE and MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC via the RE for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe as a result of delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program or Pipeline Trenching Discovery Process shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological

- Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI via the RE for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC via the RE for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection C.
 3. The PI shall submit the Accession Agreement and catalogue record(s) to the RE or BI, as appropriate for donor signature with a copy submitted to MMC.
 4. The RE or BI, as appropriate shall obtain signature on the Accession Agreement and shall return to PI with copy submitted to MMC.
 5. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC of the approved report.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

Page 3	City of San Diego • Information Bulletin 620		May 2020
	<p>City of San Diego Development Services</p>	<p>Community Planning Committee Distribution Form</p>	
Project Name: Belava - 7306 Draper, LJ		Project Number: 655382	
Community: La Jolla			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<p><input checked="" type="radio"/> Vote to Approve</p> <p><input type="checkbox"/> Vote to Approve with Conditions Listed Below</p> <p><input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below</p> <p><input type="checkbox"/> Vote to Deny</p>			
# of Members Yes 15	# of Members No 0	# of Members Abstain 2	
Conditions or Recommendations: approved on consent, 6/4/20			
<p><input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)</p>			
NAME: Suzanne Weissmann			
TITLE: Secretary, LJCPA		DATE: June 19, 2020	
<p><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>			



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: BELLAVA SMALL LOT SUBDIVISION

Project No. For City Use Only: 1655382

Project Address: 7306 DRAPER AVE

SAN DIEGO, CA 92037

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: MARIA ELENA GONZALEZ ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 27019 EDGEWATER LN

City: VALENCIA

State: CA Zip: 91355

Phone No.: (818)253-5555

Fax No.: _____

Email: bellavaconstruction@hotmail.com

Signature: _____

Date: 12/13/2019

Additional pages Attached: ☐ Yes

☒ No

Applicant

Name of Individual: MARIA ELENA GONZALEZ ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 27019 EDGEWATER LN

City: VALENCIA

State: CA Zip: 91355

Phone No.: (818)253-5555

Fax No.: _____

Email: bellavaconstruction@hotmail.com

Signature: _____

Date: 12/13/19

Additional pages Attached: ☐ Yes

☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes

☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

	REVISIONS
	2019-12-18 COMPLETENESS CHECK
	2020-02-25 CDPS/DSP/ITM SUBMITTAL
	2020-06-08 CDPS/DSP/ITM REVIEW
	2020-09-01 CDPS/DSP/ITM REVIEW
	2020-12-22 CDPS/DSP/ITM REVIEW
	PHASE
	PLANNING DOCUMENTS
	DATE
	2020-09-01
	JOB NO.
	19-06

COVER SHEET

CS1



BELLAVA SMALL LOT SUB DIVISION
7306 DRAPER AVE
LA JOLLA, CA 92037

OWNER

BELLAVA CONSTRUCTION, LLC
SERGIO NUNEZ AND MARIA ELENA GONZALEZ
27019 EDgewater LANE
VALENCIA, CA 91355

ARCHITECT

EOS ARCHITECTURE INC.
CONTACT: JENNIFER BOLVIN
7542 FAY AVE.
LA JOLLA, CA 92037
PH (858) 459-0575

SURVEY

TOGERSEN SURVEYING INC.
1012 MAR VISTA DR.
VISTA CA 92081

LANDSCAPE

BRAD COLE
371 WEST SAN RAMON AVE
FRESNO CA 93704
PH (559) 284-4934
BRADC559@GMAIL.COM

CIVIL

COFFEY ENGINEERING
JOHN COFFEY
10660 SCRIPPS RANCH BLVD SUITE 102
SAN DIEGO, CA 92131
PH (858) 831-0179

PROJECT DIRECTORY

COVER SHEET

BOUNDARY AND TOPOGRAPHIC SURVEY

PRELIMINARY GRADING PLAN

TENTATIVE PARCEL MAP

LANDSCAPE PLANTING PLAN

SCOPE OF WORK:

DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE. SUBDIVISION OF EXISTING 6328 SF LOT INTO TWO SINGLE LOTS PER SMALL LOT SUBDIVISION ORDINANCE THE SOUTH LOT SHALL CONSIST OF 3,328 SF AND NORTH LOT SHALL CONSIST OF 3,000 SF.

CONSTRUCTION OF TWO SINGLE FAMILY RESIDENCES AS FOLLOWS:
SOUTH LOT: NEW TWO STORY SINGLE FAMILY RESIDENCE OVER A FULL BASEMENT, TWO CAR GARAGE, ASSOCIATED FENCING, LANDSCAPE AND HARDSCAPE.
NORTH LOT: NEW TWO STORY SINGLE FAMILY RESIDENCE OVER A FULL BASEMENT, TWO CAR GARAGE. ASSOCIATED RETAINING WALLS, FENCING, LANDSCAPE AND HARDSCAPE.

LEGAL

THAT PORTION OF LOT 3 OF BLOCK 13 OF F.T. SCRIPPS ADDITION TO LA JOLLA PARK IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THERE OF NO. 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 22, 1903, LYING EASTERLY OF THE EASTERLY LINE OF THE WESTERLY 35 FEET OF SAID LOT 3, EXCEPTING THEREFROM THE NORTHERLY 50 FEET OF SAID LOT 3.

A.P.N.:

351-024-08

EXISTING USE:

SINGLE FAMILY RESIDENCE (1950)

PROPOSED USE:

(2) SINGLE FAMILY RESIDENCE

ZONE

RM-1-1

ZONE OVERLAY:

COASTAL OVERLAY (NON-APPEALABLE AREA 2)
PARKING IMPACT OVERLAY ZONE (COASTAL)
RESIDENTIAL TANDEM PARKING OVERLAY ZONE
TRANSIT AREA OVERLAY ZONE
TRANSIT PRIORITY AREA

OCCUPANCY:

R-3

CONSTRUCTION TYPE:

VB-SPRINKLERED
PER CFC SECTION 903.2.1.1. INSTALLED PER NFPA 13D
PER CIVIL DRAWINGS

PROPOSED GRADING:

30'-0"/ 30'-0" PROP D' HEIGHT LIMIT

HEIGHT LIMIT:

GROSS LOT SIZE:

6,328 SF EXISTING
SUBDIVIDED INTO TWO LEGAL LOTS PER SMALL LOT SUBDIVISION ORDINANCE
SOUTH LOT - LOT 1 : 3,328 SF
NORTH LOT - LOT 2 : 3,000 SF

FLOOR AREA

MIN LOT SIZE (PER BASE ZONE): RM 1-1 - 3,000 SF

LOT SIZE:

LOT 1/ HOUSE 1: 3,328 SF
LOT 2/ HOUSE 2: 3,000 SF

ALLOWABLE FAR:

0.75 MAXIMUM, PER BASE ZONE RM-1-1
LOT 1/ HOUSE 1: 2,496 SF MAX
LOT 2/ HOUSE 2: 2,250 SF MAX

PROPOSED FAR:

LOT 1: 2,496 SF
LOT 2: 2,250 SF

BUILDING AREA CALCULATION- HOUSE 1 (SOUTH)

BASEMENT - TOTAL (EXCLUDED FROM FAR)

1,290 SF

LIVABLE:

1,059 SF

GARAGE:

231 SF

FIRST FLOOR - TOTAL

1,272 SF

LIVABLE:

853 SF

GARAGE:

419 SF

SECOND FLOOR - LIVABLE

1,189 SF

ROOF DECK - ELEVATOR TOWER

35 SF

TOTAL BUILDING AREA INCLUDED IN FAR

2,496 SF

TOTAL LIVABLE AREA:

3,136 SF

TOTAL BUILDING AREA:

3,786 SF

BUILDING AREA CALCULATION- HOUSE 2 (NORTH)

BASEMENT - TOTAL (EXCLUDED FROM FAR)

1,230 SF

LIVABLE:

960 SF

GARAGE:

270 SF

FIRST FLOOR - TOTAL

1,274 SF

LIVABLE:

960 SF

SINGLE CAR GARAGE:

314 SF

SECOND FLOOR - LIVABLE

938 SF

ROOF DECK - ELEVATOR TOWER

38 SF

TOTAL BUILDING AREA INCLUDED IN FAR

2,250 SF

TOTAL LIVABLE AREA

2,896 SF

TOTAL BUILDING AREA:

3,480 SF

LANDSCAPE AREA:

TOTAL LANDSCAPE AREA FOR HOUSE 1 & 2 = 1,717 SF

2019 CA BUILDING STANDARD CODE
2019 CA RESIDENTIAL CODE
2019 CA GREEN BUILDING CODE
2019 CA ELECTRICAL CODE
2019 CA MECHANICAL CODE
2019 CA PLUMBING CODE

NOTES

1. ADDRESS NUMBERS: STREET NUMBERS: APPROVED NUMBERS AND/ OR ADDRESSES SHALL BE PLACES ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS, AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH. SAID NUMBERS SHALL CONTRACT WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MIN. STANDARDS AS TO SIZE: 4" HIGH WITH A ½" STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A ¾" STROKE FOR COMMERCIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS, 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY FIRE MARSHAL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS AND ENTRANCES TO COMMERCIAL CENTERS.

2. AUTOMATIC FIRE SPRINKLERS SYSTEMS: ONE AND TWO FAMILY DWELLINGS: STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT.

3. SMOKE DETECTORS/ CARBON MONOXIDE ALARMS/ FIRE SPRINKLER SYSTEMS: SMOKE DETECTORS/ CARBON MONOXIDE ALARMS/FIRE SPRINKLERS SHALL BE INSPECTED BY THE CITY OF SAN DIEGO FIRE DEPARTMENT

4. CLASS "A" ROOF: ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO SATISFACTION OF THE CITY OF SAN DIEGO FIRE DEPARTMENT.

VICINITY MAP

The vicinity map shows the project location in San Diego. The site is located at the corner of Pearl St and Ocean St, south of Marine St and east of Center St. The map includes labels for Pearl St, Ocean St, Marine St, Center St, and various landmarks like Public Transit, Fire Hydrant, and the Site. A north arrow is also present.

CDP/SDP/TM REVIEW

2020.09.01

CDP/SDP/TM REVIEW

2020.12.22

CDP/SDP/TM REVIEW

PHASE

PLANNING DOCUMENTS

DATE

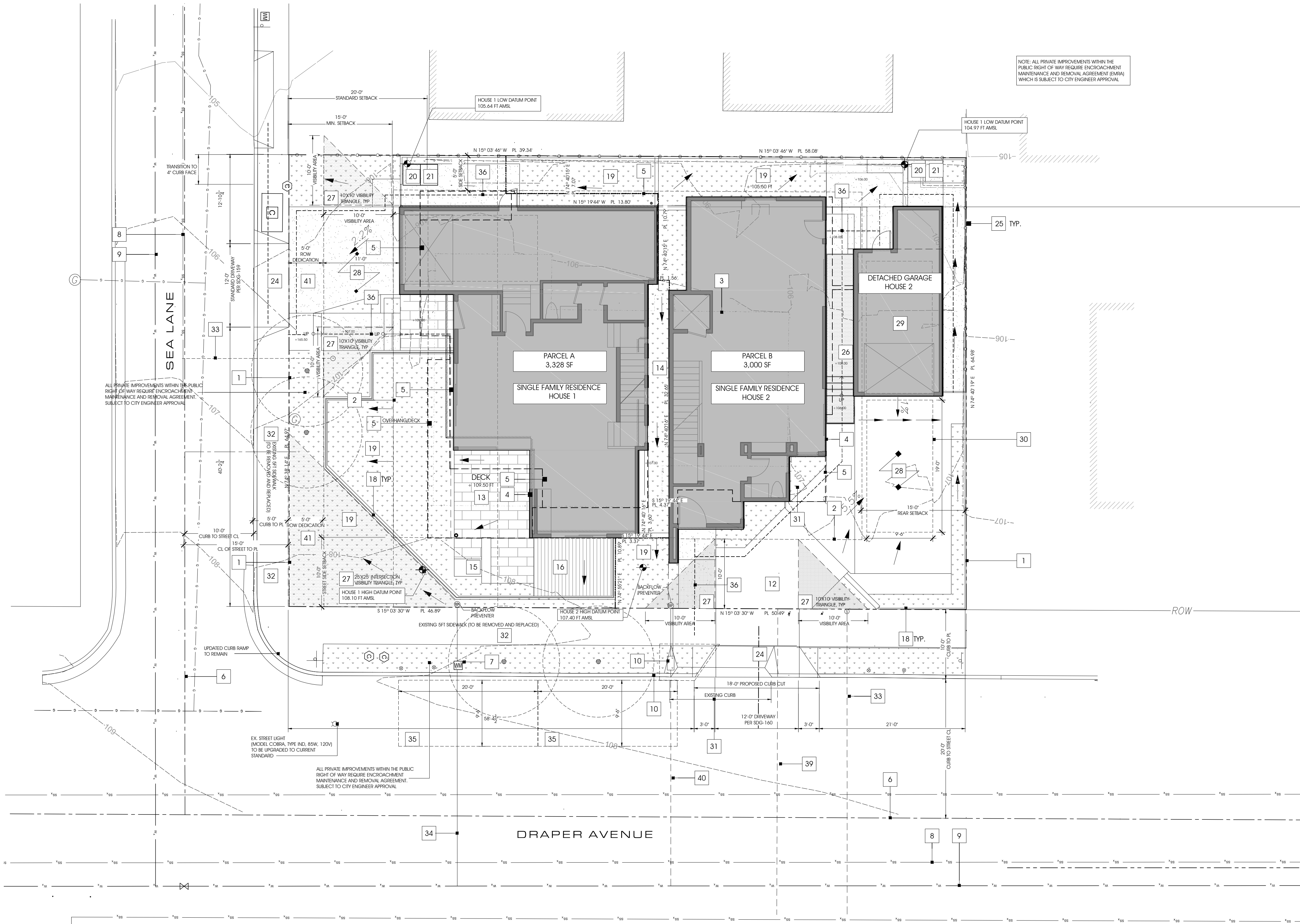
2020-09-01

JOB NO.

19-06

COVER SHEET

CS1



SITE PLAN

SCALE: 1/8" = 1'-0"



KEYNOTES

- 1 PROPERTY LINE, TYP.
- 2 SETBACK LINE, TYP.
- 3 LINE OF EXISTING RESIDENCE TO BE DEMOISHED
- 4 LINE OF PROPOSAL RESIDENCE FIRST FLOOR
- 5 LINE OF PROPOSED RESIDENCE SECOND FLOOR ABOVE
- 6 CENTER LINE OF STREET
- 7 EXISTING 3/4" WATER METER TO REMAIN PER CIVIL
- 8 EXISTING SEWER MAIN
- 9 EXISTING WATER MAIN
- 10 PROPOSED 1" WATER METER, PER CIVIL
- 12 GRASS CONCRETE PAVER DRIVEWAY
- 13 TILE DECK
- 14 LIGHTWELL
- 15 BBQ AREA
- 16 WOOD DECK
- 17 STAIR AT GRADE LEVEL
- 18 PROPOSED FENCE AND GATE TO BE MAX. HEIGHT 6'-0".
- 19 LANDSCAPE PER LANDSCAPE PLANS
- 20 RECYCLABLE MATERIAL STORAGE LOCATION, 12 SF MINIMUM. PER SDMC 142.0805
- 21 TRASH STORAGE LOCATION
- 22 - NOT USED -
- 23 REMOVE AND REPLACE EXISTING CURB PER SDG-156 INSTALL CURB AND GUTTER PER SG-151
- 24 PROPOSED DRIVEWAY PER CITY STANDARD, SEE TENTATIVE PARCEL MAP SHEET FOR MORE INFORMATION
- 25 EXISTING WOOD FENCE OVER CMU WALL TO REMAIN, PROTECT IN PLACE
- 26 PERFORATED METAL FLOOR OVER LIGHTWELL
- 27 VISIBILITY AREA PER SDMC 113.0273. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3FT IN HEIGHT. PER SDMC 142.0409(B)(2), PLANT MATERIAL OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREA OR ADJACENT PUBLIC RIGHT-OF-WAYSHALL NOT EXCEED 36" IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
- 28 ACID ETCHED EXPOSED AGGREGATE COLORED CONCRETE
- 29 DETACHED GARAGE WITH MECHANICAL LIFT
- 30 OFF-STREET PARKING TO BE 9.5' x19' FT, NOT TO ENCR OACH ON SIDE STREET SETBACK
- 31 EXISTING CURB CUDT TO BE REMOVED AND REPLACED WITH CURB/GUTTER PER PER CITY STANDARDS
- 32 REMOVE AND REPLACE EXISTING SIDEWALK PER SDG-156 MATCHING EXISTING SCORING PATER AND PRESERVING HISTORICAL MARKS. SIDEWALK CONSTRUCTION PER SDG-155
- 33 PROPOSED SEWER LATERAL, REFER TO CIVIL DRAWING FOR MORE INFORMATION
- 34 EXISTING 3/4" WATER SERVICE TO REMAIN
- 35 IN LIEU OF PARCEL A 20FT DRIVEWAY DISTANCE, TWO ON-STREET PARKING SPACE, ABUTTING PROPERTY TO BE PROVIDED
- 36 PEDESTRIAN ACCESS. ON SITE PEDESTRIAN CIRCULATION
- 37 ROOF/DECK DRAINS. ALL ROOF, DECK AND/OR BALCONY DRAINS SHALL DRAIN TO LANDSCAPED AREAS PRIOR TO DISCHARGING RUNOFF FROM THE SITE. NO DIRECT DISCHARGES TO THE CURB AND GUTTER ARE PROPOSED.
- 38 PROPOSED BACKFLOW DEVICE PER CITY APPROVED LIST
- 39 EXISTING SEWER LATERAL, CAP AT MAIN
- 40 PROPOSED 1" WATER SERVICE, SEE CIVIL
- 41 5FT RIGHT OF WAY DEDICATION. NO DEVELOPMENT SHALL OCCUR IN THE DESIGNATED DEDICATION AREA. PARKWAY IMPROVEMENTS SHALL BE DIRECTLY ADJACENT TO SEA LANE PER ENGINEERING STANDARDS. SEE CIVIL SHEETS FOR

NOTES

1. FOR MORE PUBLIC IMPROVEMENT INFORMATION REFER TO CIVIL SHEET C-1 TM EXHIBIT/GRADING PLAN AND TOPOGRAPHIC SURVEY SHEET.
2. BUILDING ADDRESS NUMBER, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER POLICY P-00-6 (JLFC 901.4.4) CONSIST OF THE FOLLOWING:
3. PER SAN DIEGO MUNICIPAL CODE SECTION 14.0240(B)(3), THE PROJECT IS A SINGLE FAMILY SUBDIVISION OF FOUR LOTS OR LESS AND THEREFORE IS EMPT FROM THE REQUIREMENT TO UNDERGROUND OVERHEAD FACILITIES IN THE DRAPER AVE RIGHT OF WAY
4. NEAREST TRAINS IT STOP 1,056 FT FROM SITE PROPERTY LINE

PARKING CALCULATION

PARKING SPACES REQUIRED:	2 PER UNIT
NUMBER OF UNITS PROPOSED:	2 UNITS
NUMBER OF SPACES REQUIRED:	4 SPACES
TOTAL PARKING SPACES PROPOSED:	4 GARAGE PARKING SPACES 1 TANDEM EXTERIOR PARKING SPACE

WATER AND SEWER NOTES

WATER DEMAND:	SEWER FLOW GENERATION:
HOUSE 1: 47.0 GPM	CALCULATED DU PER PLANS 2.0
HOUSE 2: 47.0 GPM	POLLUTION PER DU: 3.0
	EQUIVALENT POPULATION SERVED 6.0
	AVERAGE DRY WEATHER FLOW (80 GALLONS/DAY/CAPITA) 480.0
	DRY WEATHER PEAKING FACTOR 1.50
	WET WEATHER PEAKING FACTOR 1.0
	PEAK WET WEATHER FLOW (DESIGN FLOW) GPD 720
	MGD 0.001
	CFS 0.0011

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JENNIFER
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Architect

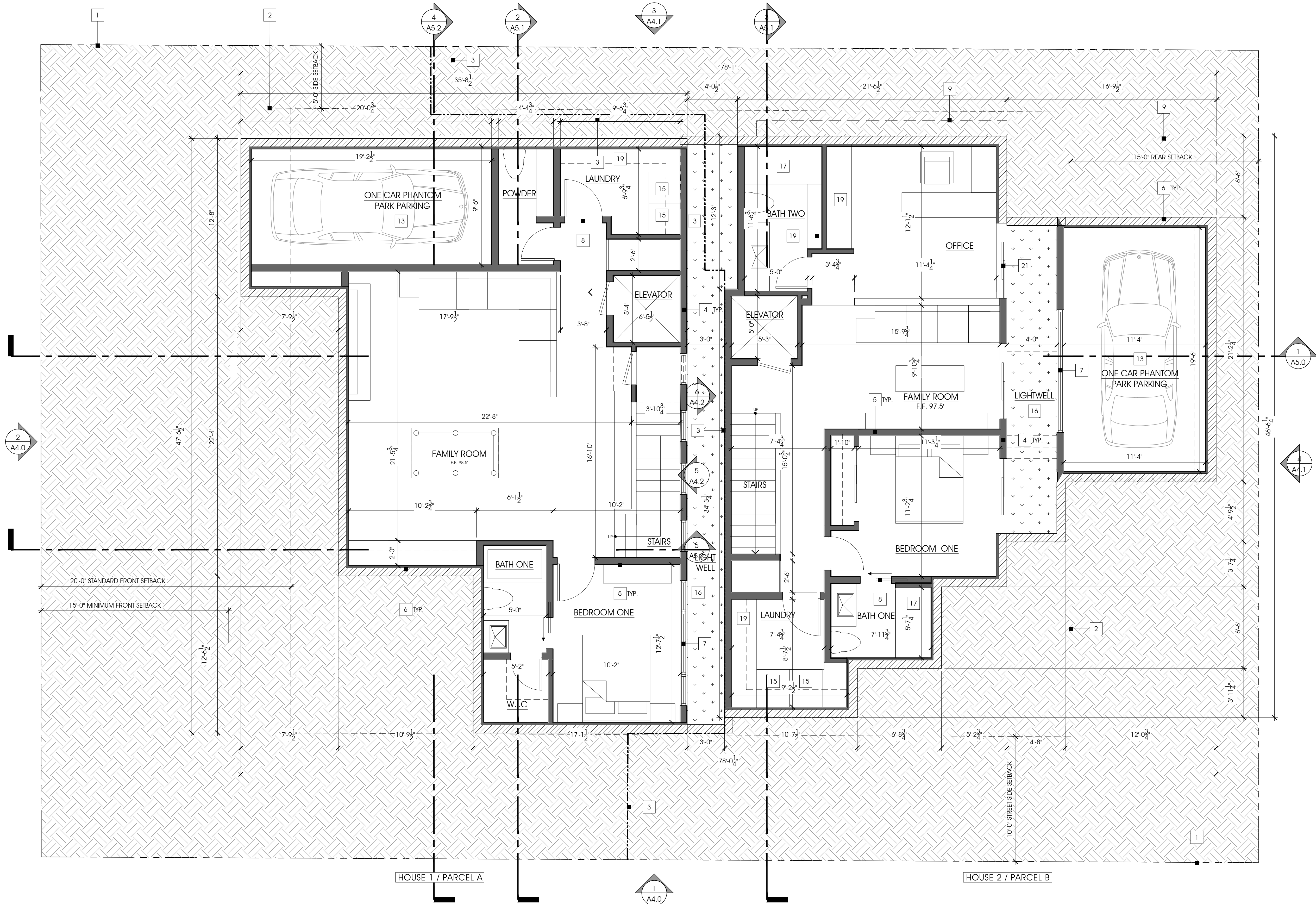
BELLAVA SMALL LOT SUB DIVISION
7306 DRAPER AVE
LA JOLLA, CA 92037

REVISIONS
2019.12.18 COMPLETENESS CHECK
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PHASE PLANNING DOCUMENTS
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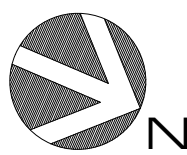
SITE PLAN

SP1



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



KEYNOTES

- 1 EXISTING PROPERTY LINE, TYP.
 - 2 SETBACK LINE, TYP.
 - 3 PROPOSED PROPERTY LINE, TYP.
 - 4 EXTERIOR WALL: 2x WOOD STUD FRAMING PER STRUCTURAL W/ R-19 BATT INSULATION AT 2 X 6, R-13 BATT INSULATION AT 2 X 4 WALLS. EXTERIOR FINISH PER EXTERIOR ELEVATIONS O/ 2 LAYERS MIN. GRADE 'D' BUILDING PAPER.
 - 5 INTERIOR WALL: 2x WOOD STUD FRAMING W/ R-19 BATT INSULATION @ 2x4 & R-13 BATT INSULATION @ 2x4. 5/8" GWB THROUGHOUT
 - 6 RETAINING WALL WITH 2X FURRING, FULL HEIGHT INSULATION, AND 5/8" GYP FINISH
 - 7 WINDOW, TYP.
 - 8 DOOR, TYP.
 - 9 LINE OF BUILDING ABOVE
 - 10 LINE OF LOWER LEVEL BELOW
 - 11 LINE OF DECK/ROOF ABOVE
 - 12 LINE OF BEAM/SOFFIT ABOVE
 - 13 GARAGE WITH PHANTOM PARK PARKING LIFT TO HAVE TWO PARKING SPACES. PARCEL B TO HAVE ONE ADDITIONAL EXTERIOR TANDEM PARKING SPACE
 - 14 TILE DECK
 - 15 APPLIANCE PER OWNER
 - 16 LIGHTWELL
 - 17 WALK-IN SHOWER, PROVIDE TRENCH DRAIN UNDER BENCH TO CONCEAL.
 - 18 TUB
 - 19 BUILT IN/ CABINETRY
 - 20 GARAGE DOOR
 - 21 SLIDING DOOR
 - 22 FIREPLACE
 - 23 DETACHED GARAGE ENCROACHMENT PER SDMC 131.0461(A) (12). CONNECTED TO MAIN BUILDING BY NON-STRUCTURAL ELEMENT
 - 24 HORIZONTAL TRELLIS
 - 25 42" GUARDRAIL
 - 26 PARKING TO BE 19'-0" X 9'-6" CLEAR
 - 27 TRASH & RECYCLING LOCATION
 - 28 FENCE - MAX HEIGHT 6'-0"
 - 29 ROOF PER ROOF PLAN
 - 30 PERFORATED METAL GRATE OVER LIGHTWELL
 - 31 COVERED DECK EXCLUDED FROM FAR. TWO ELEVATIONS MORE THAN 40% OPENED. PER SDMC 113.0234 (B) (3) DIAGRAM 113.02N
 - 32 LINE OF STORAGE ABOVE, TO BE FULLY ENCLOSED. MIN. 240 CUBIC FEET, WITH MIN. 7 FT HORIZONTAL DIMENSION
 - 33 PRIVATE EXTERIOR SPACE PER SDMC 143.0365 (D) (2) AND SDMC 131.0455
 - 34 EV CHARGING

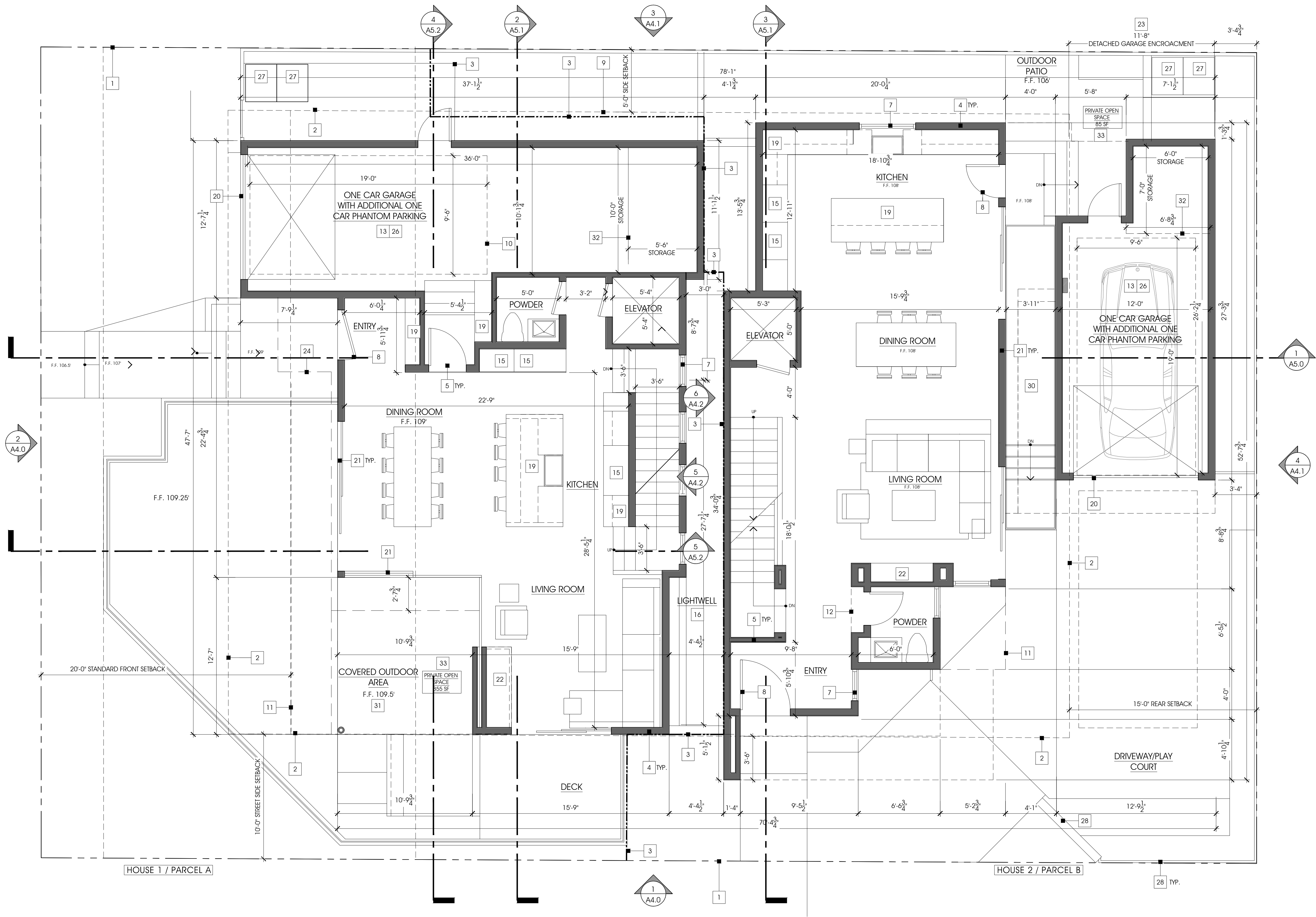
REVISIONS

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	2020.06.08 CDP/SDP/TM REVIEW
	2020.09.01 CDP/SDP/TM REVIEW
	2020.12.22 CDP/SDP/TM REVIEW

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BASEMENT FLOOR
PLAN

A1.0



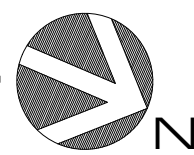
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5	INTERIOR WALL: 2x WOOD STUD FRAMING W/ R-19 BATT INSULATION @ 2x6 & R-13 BATT INSULATION @ 2x4. 5/8" GWB THROUGHOUT
6	RETAINING WALL WITH 2X FURRING, FULL HEIGHT INSULATION, AND 5/8" GYP FINISH
7	WINDOW, TYP.
8	DOOR, TYP.
9	LINE OF BUILDING ABOVE
10	LINE OF LOWER LEVEL BELOW
11	LINE OF DECK/ROOF ABOVE
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13	GARAGE WITH PHANTOM PARK PARKING LIFT TO HAVE TWO PARKING SPACES. PARCEL B TO HAVE ONE ADDITIONAL EXTERIOR TANDEM PARKING SPACE
14	TILE DECK
15	APPLIANCE PER OWNER
16	LIGHTWELL
17	WALK-IN SHOWER, PROVIDE TRENCH DRAIN UNDER BENCH TO CONCEAL.
18	TUB
19	BUILT IN CABINETRY
20	GARAGE DOOR
21	SLIDING DOOR
22	FIREPLACE
23	DETACHED GARAGE ENCROACHMENT PER SDMC 131.0461(A) (12). CONNECTED TO MAIN BUILDING BY NON-STRUCTURAL ELEMENT
24	HORIZONTAL TRELLIS
25	42" GUARDRAIL
26	PARKING TO BE 19'-0" X 9'-6" CLEAR
27	TRASH & RECYCLING LOCATION
28	FENCE - MAX HEIGHT 6'-0"
29	ROOF PER ROOF PLAN
30	PERFORATED METAL GRATE OVER LIGHTWELL
31	COVERED DECK EXCLUDED FROM FAR. TWO ELEVATIONS MORE THAN 40% OPENED. PER SDMC 113.0234 (B) (3) DIAGRAM 113.02N
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FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

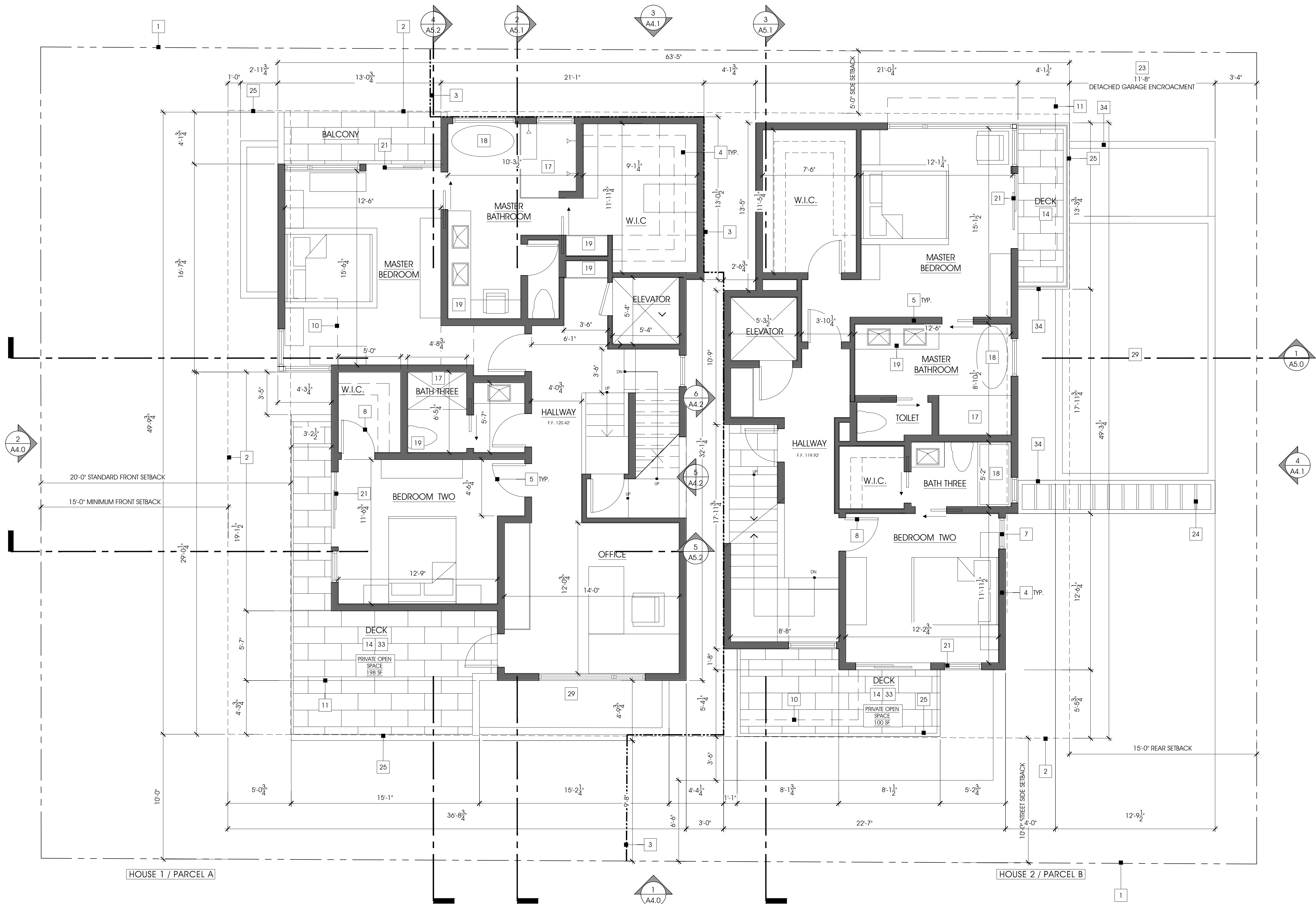


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KEYNOTES

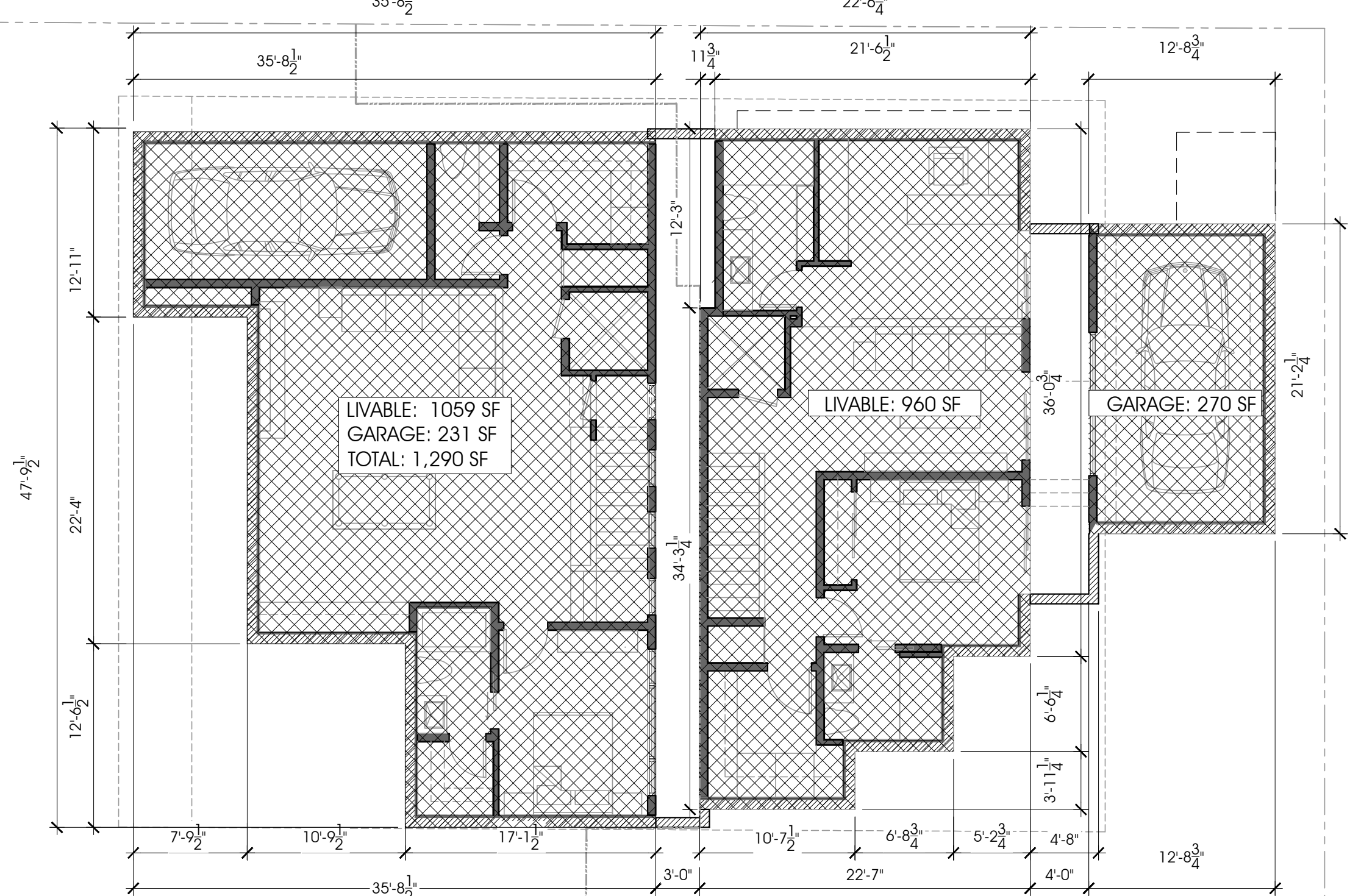
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 - INTERIOR WALL: 2x WOOD STUD FRAMING W/ R-19 BATT INSULATION @ 2x6 & R-13 BATT INSULATION @ 2x4. 5/8" GWB THROUGHOUT
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 - LINE OF BUILDING ABOVE
 - LINE OF LOWER LEVEL BELOW
 - LINE OF DECK/ROOF ABOVE
 - LINE OF BEAM/SOFFIT ABOVE
 - GARAGE WITH PHANTOM PARK PARKING LIFT TO HAVE TWO PARKING SPACES. PARCEL B TO HAVE ONE ADDITIONAL EXTERIOR TANDEM PARKING SPACE
 - TILE DECK
 - APPLIANCE PER OWNER
 - LIGHTWELL
 - WALK-IN SHOWER, PROVIDE TRENCH DRAIN UNDER BENCH TO CONCEAL.
 - TUB
 - BUILT IN/ CABINETRY
 - GARAGE DOOR
 - SLIDING DOOR
 - FIREPLACE
 - DETACHED GARAGE ENCROACHMENT PER SDMC 131.046(1) (A) 12. CONNECTED TO MAIN BUILDING BY NON-STRUCTURAL ELEMENT
 - HORIZONTAL TRELLIS
 - 42" GUARDRAIL
 - PARKING TO BE 19'-0" X 9'-6" CLEAR
 - TRASH & RECYCLING LOCATION
 - FENCE - MAX HEIGHT 6'-0"
 - ROOF PER ROOF PLAN
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 - EV CHARGING



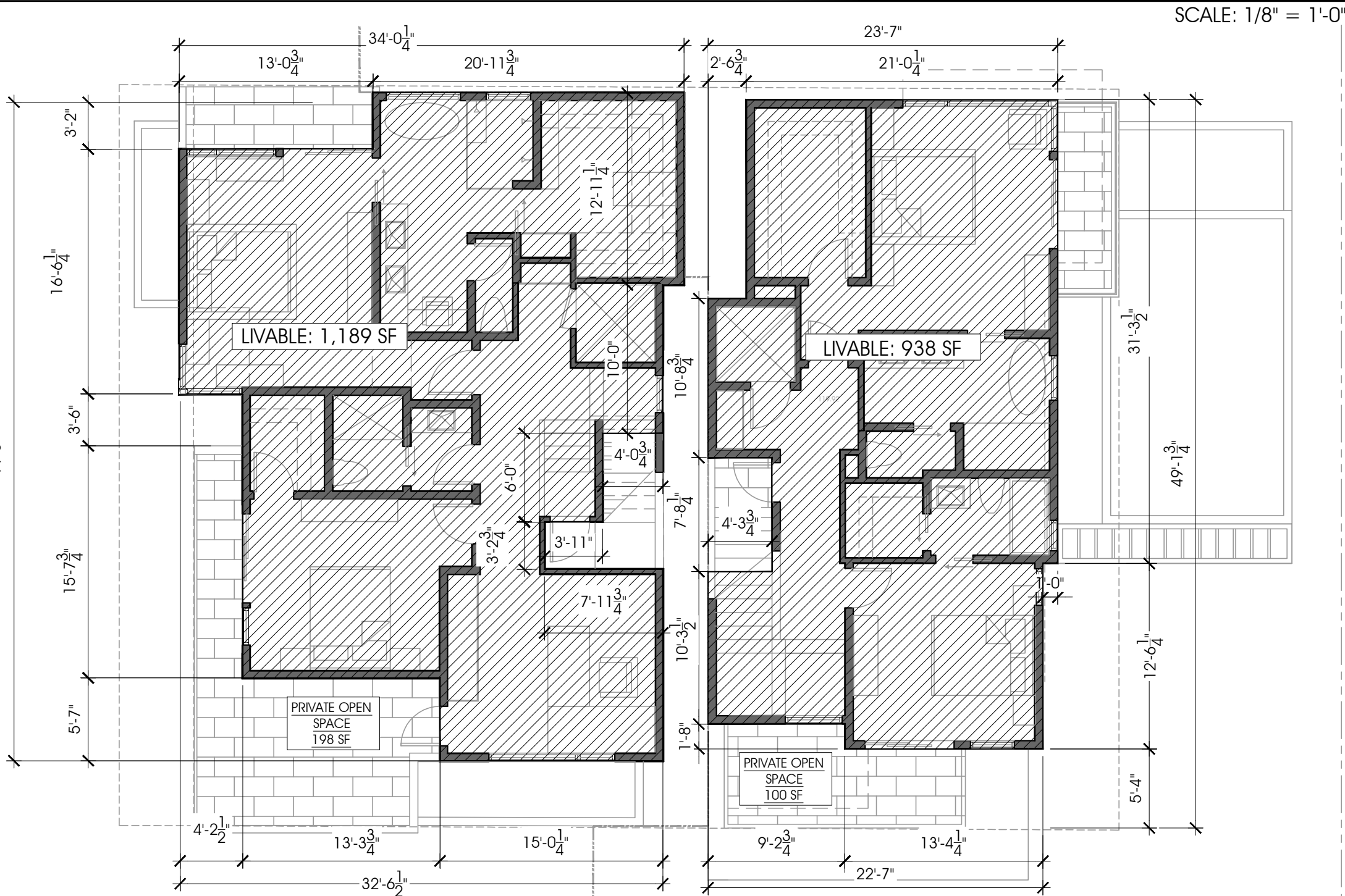
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

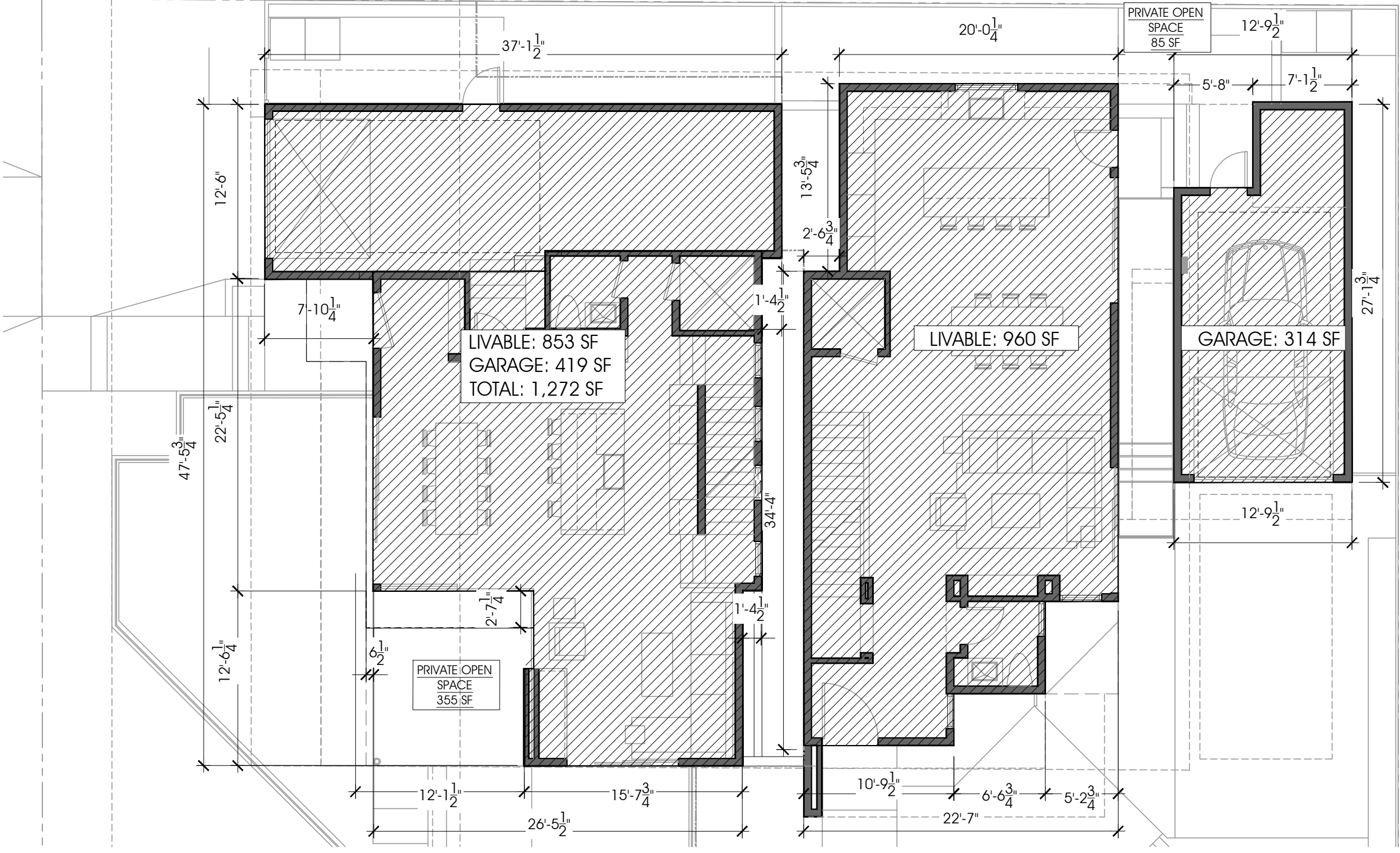




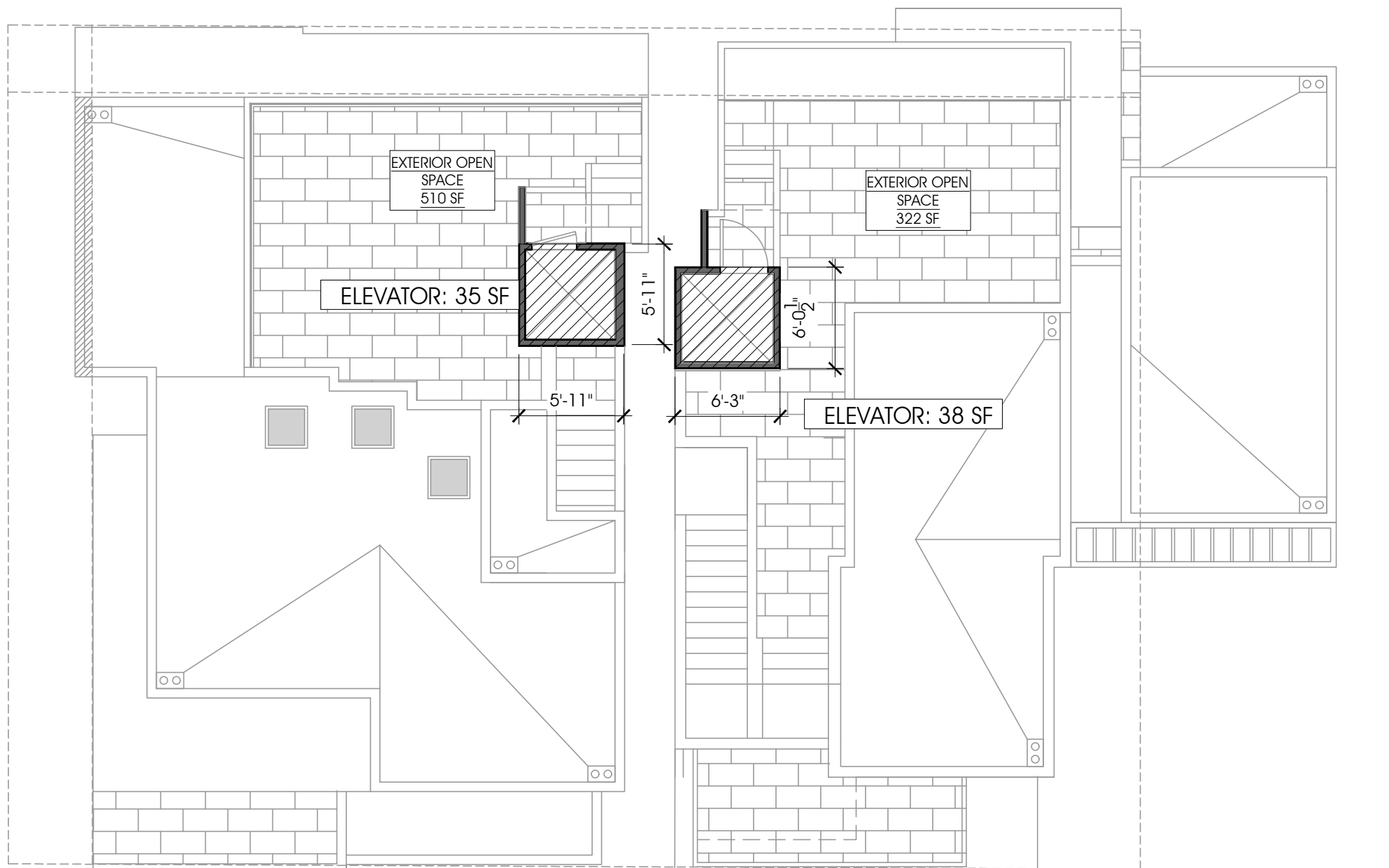
BASEMENT F.A.R. DIAGRAM



SECOND FLOOR F.A.R. DIAGRAM



FIRST FLOOR F.A.R. DIAGRAM



ROOF PLAN F.A.R. DIAGRAM

PROJECT INFORMATION

SCOPE OF WORK:	DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE. SUBDIVISION OF EXISTING 6328 SF LOT INTO TWO SINGLE LOTS PER SMALL LOT SUBDIVISION ORDINANCE THE SOUTH LOT SHALL CONSIST OF 3,328 SF AND NORTH LOT SHALL CONSIST OF 3,000 SF. CONSTRUCTION OF TWO STORY SINGLE FAMILY RESIDENCE OVER A FULL BASEMENT, TWO CAR GARAGE, ASSOCIATED FENCING, LANDSCAPE AND HARDSCAPE. NORTH LOT: NEW TWO STORY SINGLE FAMILY RESIDENCE OVER A FULL BASEMENT, TWO CAR GARAGE, ASSOCIATED RETAINING WALLS, FENCING, LANDSCAPE AND HARDSCAPE.
LEGAL	THAT PORTION OF LOT 3 OF BLOCK 13 OF F.T. SCRIPPS ADDITION TO LA JOLLA PARK IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THERE OF NO. 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 22, 1903, LYING EASTERLY OF THE EASTERLY LINE OF THE WESTERLY 35 FEET OF SAID LOT 3, EXCEPTING THEREFROM THE NORTHERLY 50 FEET OF SAID LOT 3.
A.P.N.:	351-024-08
EXISTING USE:	SINGLE FAMILY RESIDENCE (1950)
PROPOSED USE:	(2) SINGLE FAMILY RESIDENCE
ZONE	RM-1-1
ZONE OVERLAY:	COASTAL OVERLAY (NON-APPEALABLE AREA 2) PARKING IMPACT OVERLAY ZONE (COASTAL) RESIDENTIAL TANDEM PARKING OVERLAY ZONE TRANSIT AREA OVERLAY ZONE TRANSIT PRIORITY AREA
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	VB SPRINKLERED PER CFC SECTION 903.2.1.1. INSTALLED PER NFPA 13D
PROPOSED GRADING:	PER CIVIL DRAWINGS
HEIGHT LIMIT:	30'-0" / 30'-0" PROP 'D' HEIGHT LIMIT
GROSS LOT SIZE:	6,328 SF EXISTING SUBDIVIDED INTO TWO LEGAL LOTS PER SMALL LOT SUBDIVISION ORDINANCE SOUTH LOT - LOT 1: 3,328 SF NORTH LOT - LOT 2: 3,000 SF

FLOOR AREA

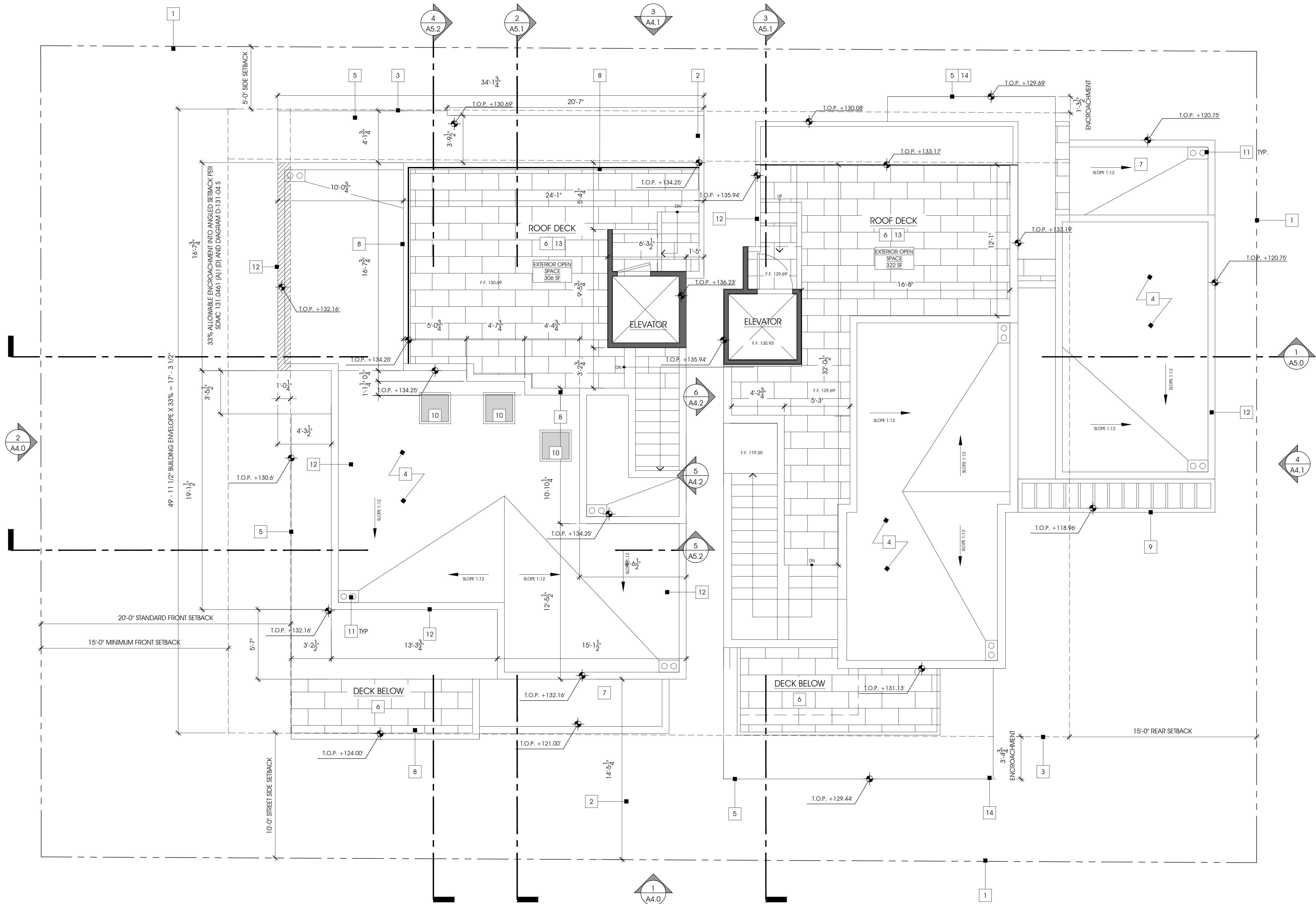
MIN LOT SIZE (PER BASE ZONE: RM 1-1 - 3,000 SF)	
LOT SIZE:	LOT 1/ HOUSE 1: 3,328 SF LOT 2/ HOUSE 2: 3,000 SF
ALLOWABLE FAR:	0.75 MAXIMUM, PER BASE ZONE RM-1-1 LOT 1/ HOUSE 1: 2,496 SF MAX LOT 2/ HOUSE 2: 2,250 SF MAX
PROPOSED FAR:	LOT 1: 2,496 SF LOT 2: 2,250 SF
BUILDING AREA CALCULATION- HOUSE 1 (SOUTH)	
BASEMENT - TOTAL (EXCLUDED FROM FAR)	1,290 SF
LIVABLE:	1,059 SF
GARAGE:	231 SF
FIRST FLOOR - TOTAL	1,272 SF
LIVABLE:	853 SF
GARAGE:	419 SF
SECOND FLOOR - LIVABLE	1,189 SF
ROOF DECK - ELEVATOR TOWER	35 SF
TOTAL BUILDING AREA INCLUDED IN FAR	2,496 SF
TOTAL LIVABLE AREA:	3,136 SF
TOTAL BUILDING AREA:	3,786 SF
BUILDING AREA CALCULATION- HOUSE 2 (NORTH)	
BASEMENT - TOTAL (EXCLUDED FROM FAR)	1,230 SF
LIVABLE:	960 SF
GARAGE:	270 SF
FIRST FLOOR - TOTAL	1,274 SF
LIVABLE:	960 SF
SINGLE CAR GARAGE:	314 SF
SECOND FLOOR - LIVABLE	938 SF
ROOF DECK - ELEVATOR TOWER	38 SF
TOTAL BUILDING AREA INCLUDED IN FAR	2,250 SF
TOTAL LIVABLE AREA:	2,896 SF
TOTAL BUILDING AREA:	3,480 SF
LANDSCAPE AREA:	
TOTAL LANDSCAPE AREA FOR HOUSE 1 & 2 = 1,717 SF	
2019 CA BUILDING - STANDARD CODE 2019 CA RESIDENTIAL CODE 2019 CA GREEN BUILDING CODE 2019 CA ELECTRICAL CODE 2019 CA MECHANICAL CODE 2019 CA PLUMBING CODE	

LEGEND

	HATCH INDICATES PROPOSED SQUARE FOOTAGE INCLUDED IN F.A.R.
	HATCH INDICATES PROPOSED SQUARE FOOTAGE EXCLUDED FROM F.A.R. (BASEMENT)

NOTES

ALL DIMENSIONS SHOWN ON THE FAR DIAGRAM ARE MEASURED TO THE EXTERIOR WALL SURFACES.



KEYNOTES

- 1 EXISTING PROPERTY LINE, TYP.
- 2 PROPOSED PROPERTY LINE, TYP.
- 3 SETBACK LINE, TYP.
- 4 B.U.R. ROOF
- 5 OVERHANG
- 6 DECK
- 7 GRAVEL OVER ROOF
- 8 42" H GUARDRAIL PER EXTERIOR ELEVATIONS
- 9 STEEL TRELLIS
- 10 SKYLIGHT
- 11 ROOF DRAIN
- 12 PARAPET WALL
- 13 EXTERIOR OPEN SPACE PER SDMC 143.0365(D)(1), MINIMUM 200 SF.
HOUSE 1 306 SF
HOUSE 2 322 SF
- 14 ALLOWABLE ROOF ENCROACHMENT PER SDMC 131.0461

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JENNIFER BOLYN Architect

All ideas, designs, and arrangements indicated on these drawings are the property of EOS Architecture Inc. and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the approval of the architect. There shall be no changes or deviations from these drawings or the accompanying specifications without the written consent of the architect.

BELLAVA SMALL LOT SUB DIVISION
7306 DRAPER AVE
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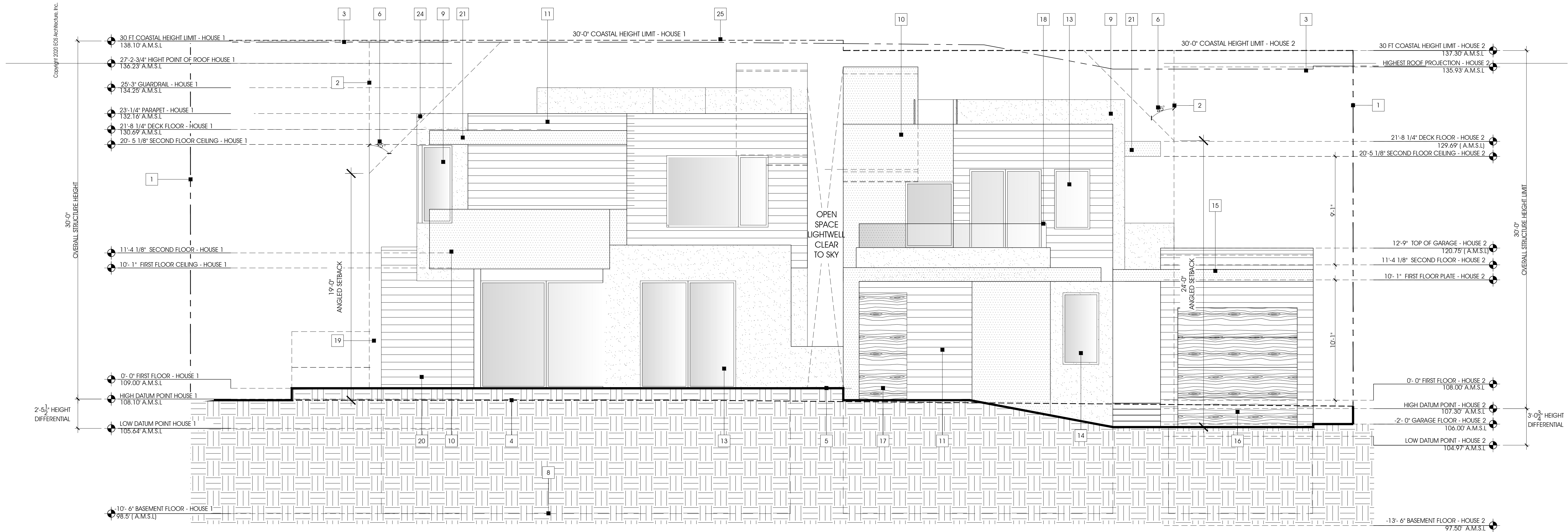
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ROOF PLAN

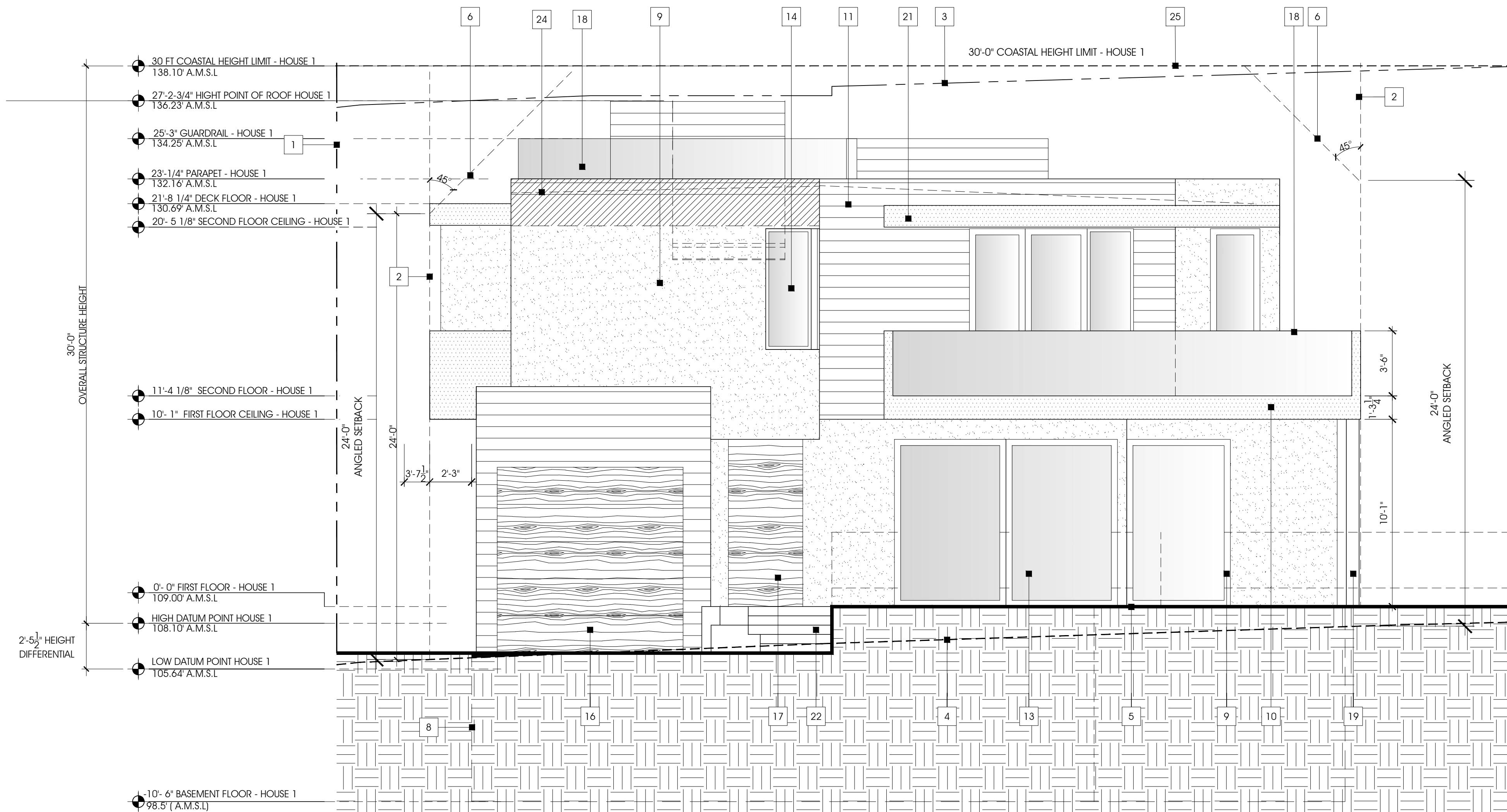
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ROOF FLOOR PLAN



1- EAST ELEVATION - HOUSE 1/ HOUSE 2

SCALE: 1/4" = 1'-0"

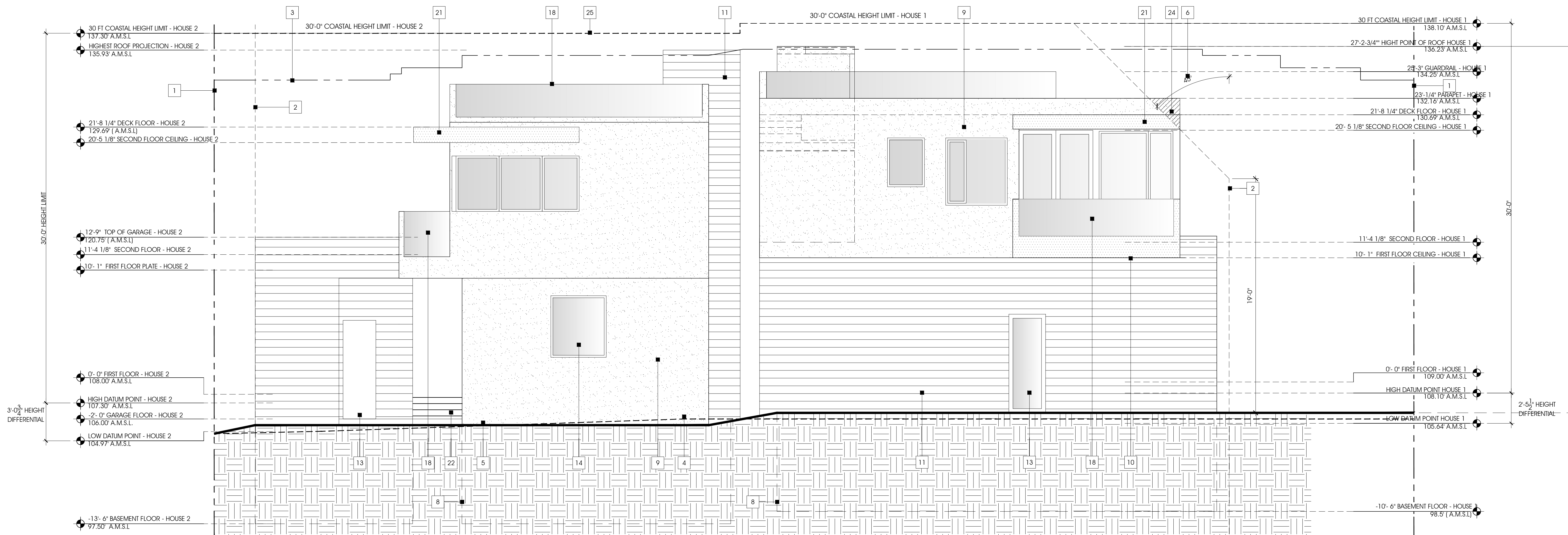


2 - SOUTH ELEVATION - HOUSE 1

SCALE: 1/4" = 1'-0"

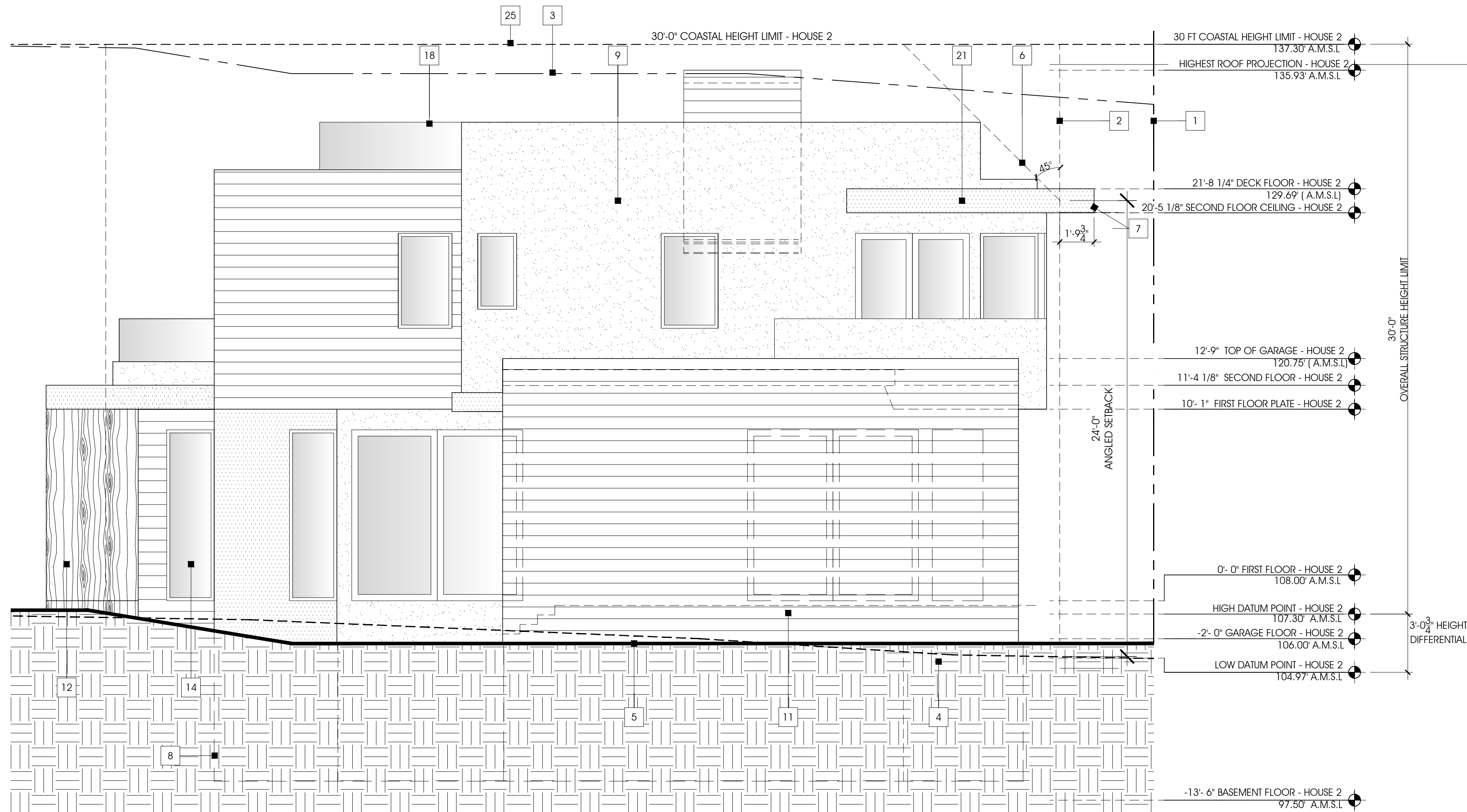
KEYNOTES

1	PROPERTY LINE, TOP.
2	SETBACK LINE, TOP.
3	LINE OF 30'-0" PLUMB HEIGHT LIMIT FROM LOWER OF EXISTING OR PROPOSED GRADE, PER SDMC 113.0270 (2)(A)
4	LINE OF EXISTING GRADE
5	LINE OF PROPOSED GRADE AT BUILDING LINE
6	45 DEGREE ANGLED BUILDING SETBACK PER SDMC 131.044
7	ALLOWABLE OVERHANG PROJECTION IN BUILDING SETBACK, PER 131.0461
8	LINE OF BASEMENT BELOW
9	STUCCO FINISH 2 - SENERGY STUCCO, TWO COAT ACRYLIC FINISH LIGHT CREAM COLOR PER ARCHITECT
10	STUCCO FINISH - SENERGY STUCCO, TWO COAT ACRYLIC FINISH BROWN COLOR PER ARCHITECT
11	SIDING BY HARDI OR EQUAL, PAINTED GRAY
12	WOOD CLADDING / PANEL
13	DOOR, TOP
14	WINDOW, TOP
15	METAL TRELLIS PAINTED IN DARK GRAY
16	STAINED WOOD GARAGE DOOR
17	STAINED WOOD ENTRY DOOR TO BE SELECTED BY OWNER/ARCHITECT
18	GLASS GUARDRAIL 42" ABOVE FINISHED FLOOR
19	METAL CLAD SUPPORT COLUMN
20	HORIZONTAL TRELLIS PAINTED IN DARK GRAY
21	OVERHANG, KYNAR FINISH ALUMINUM FASCIA
22	SITE STAIRS PER PLAN
23	LIGHTWELL RETAINING WALL, STUCCO FINISH TO MATCH THE RESIDENCE WHERE EXPOSED TO VIEW
24	ALLOWABLE ENCROACHMENT PER ROOF PLAN
25	OVERALL STRUCTURE HEIGHT LIMIT PER SDMC 113.0270 (2)(B)



3 - WEST ELEVATION HOUSE 2 / HOUSE 1

SCALE: 1/4" = 1'-0"



4 - NORTH ELEVATION - HOUSE 2

SCALE: 1/4" = 1'-0"

KEYNOTES	
1	PROPERTY LINE, TYP.
2	SETBACK LINE, TYP.
3	LINE OF 30'-0" PLUMB HEIGHT LIMIT FROM LOWER OF EXISTING OR PROPOSED GRADE, PER SDMC113.0270 (2)(A)
4	LINE OF EXISTING GRADE
5	LINE OF PROPOSED GRADE AT BUILDING LINE
6	45 DEGREE ANGLED BUILDING SETBACK PER SDMC 131.044
7	ALLOWABLE OVERHANG PROJECTION IN BUILDING SETBACK, PER 131.0461
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11	SIDING BY HARDI OR EQUAL, PAINTED GRAY
12	WOOD CLADDING / PANEL
13	DOOR, TYP
14	WINDOW, TYP
15	METAL TRELLIS PAINTED IN DARK GRAY
16	STAINED WOOD GARAGE DOOR
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25	OVERALL STRUCTURE HEIGHT LIMIT PER SDMC113.0270 (2)(B)



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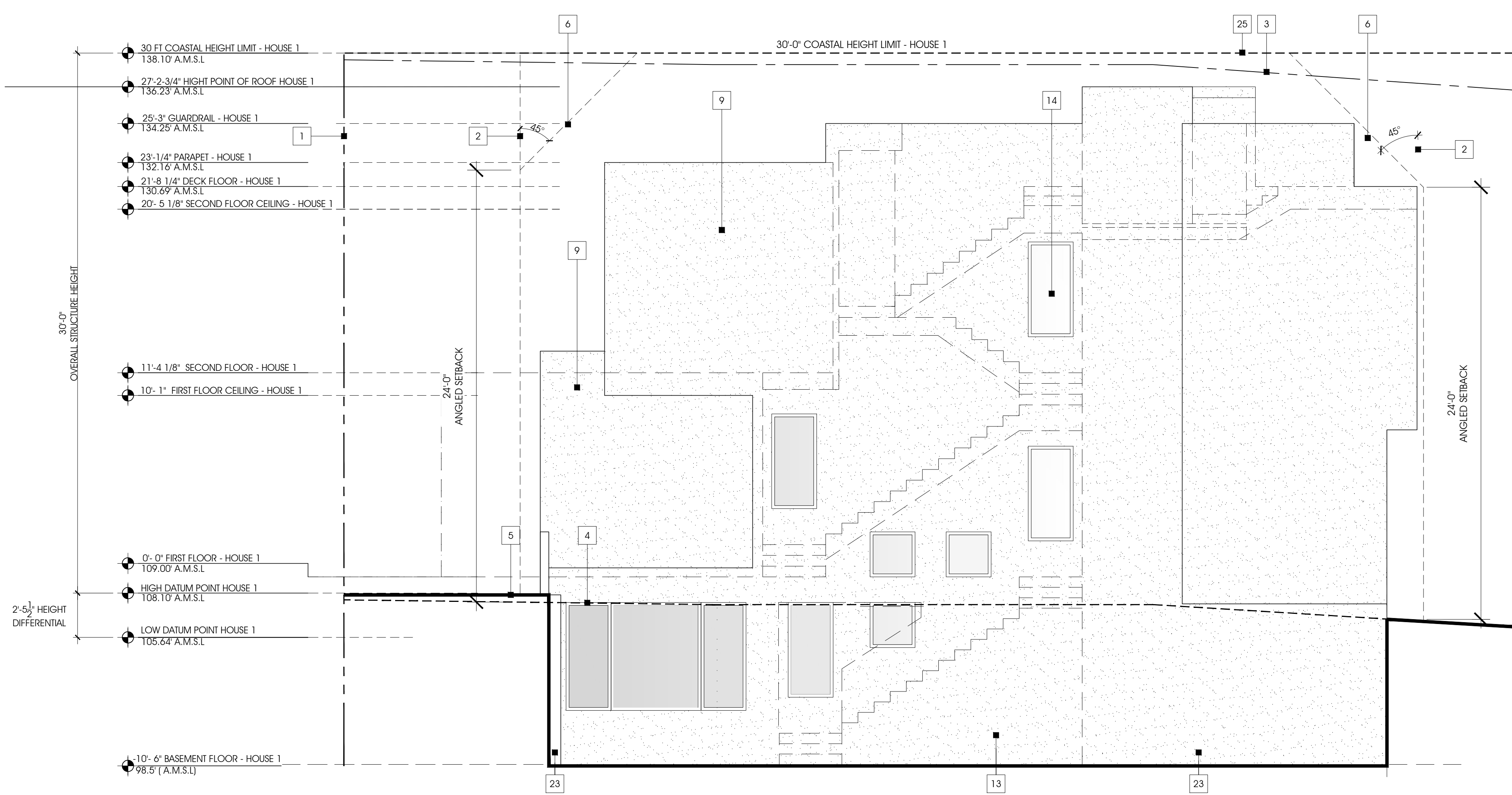
JENNIFER BOLDYN Architect

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BELLAVA SMALL LOT SUB DIVISION
7306 DRAPER AVE
LA JOLLA, CA 92037

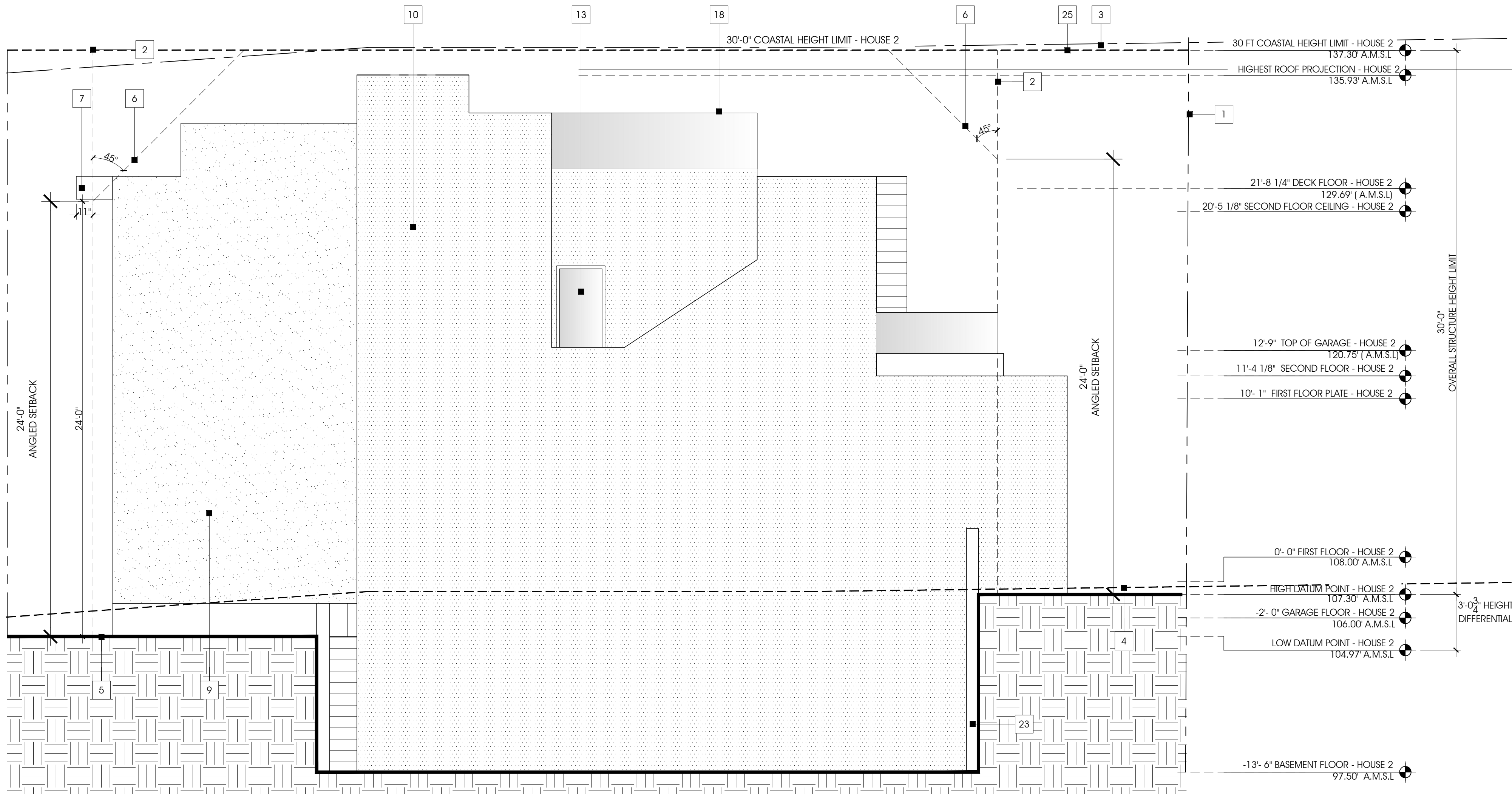
REVISIONS	
2019.12.18	COMPLETENESS CHECK
2020.02.25	CDP/SDP/TM SUBMITAL
2020.06.08	CDP/SDP/TM REVIEW
2020.09.01	CDP/SDP/TM REVIEW
2020.12.22	CDP/SDP/TM REVIEW
PHASE	
PLANNING DOCUMENTS	
DATE	
2020-09-01	
JOB NO.	
19-06	
ELEVATIONS	

A4.1



5 - NORTH ELEVATION - HOUSE 1

SCALE: 1/4" = 1'-0"



6 - SOUTH ELEVATION - HOUSE 2

SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 PROPERTY LINE, TYP.
- 2 SETBACK LINE, TYP.
- 3 LINE OF 30'-0" PLUMB HEIGHT LIMIT FROM LOWER OF EXISTING OR PROPOSED GRADE, PER SDMC 113.0270 (2)(A)
- 4 LINE OF EXISTING GRADE
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- 6 45 DEGREE ANGLED BUILDING SETBACK PER SDMC 131.044
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- 11 SIDING BY HARDI OR EQUAL, PAINTED GRAY
- 12 WOOD CLADDING / PANEL
- 13 DOOR, TYP
- 14 WINDOW, TYP
- 15 METAL TRELLIS PAINTED IN DARK GRAY
- 16 STAINED WOOD GARAGE DOOR
- 17 STAINED WOOD ENTRY DOOR TO BE SELECTED BY OWNER/ARCHITECT
- 18 GLASS GUARDRAIL 42" ABOVE FINISHED FLOOR
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- 21 OVERHANG, KYNAR FINISH ALUMINUM FASCIA
- 22 SITE STAIRS PER PLAN
- 23 LIGHTWELL RETAINING WALL, STUCCO FINISH TO MATCH THE RESIDENCE WHERE EXPOSED TO VIEW
- 24 ALLOWABLE ENCROACHMENT PER ROOF PLAN
- 25 OVERALL STRUCTURE HEIGHT LIMIT PER SDMC 113.0270 (2)(B)

REVISIONS

2019.12.18	COMPLETENESS CHECK
2020.02.25	CDP/SDP/TM SUBMITTAL
2020.06.08	CDP/SDP/TM REVIEW
2020.09.01	CDP/SDP/TM REVIEW
2020.12.22	CDP/SDP/TM REVIEW

PHASE PLANNING DOCUMENTS

DATE

2020-09-01

JOB NO.

19-06

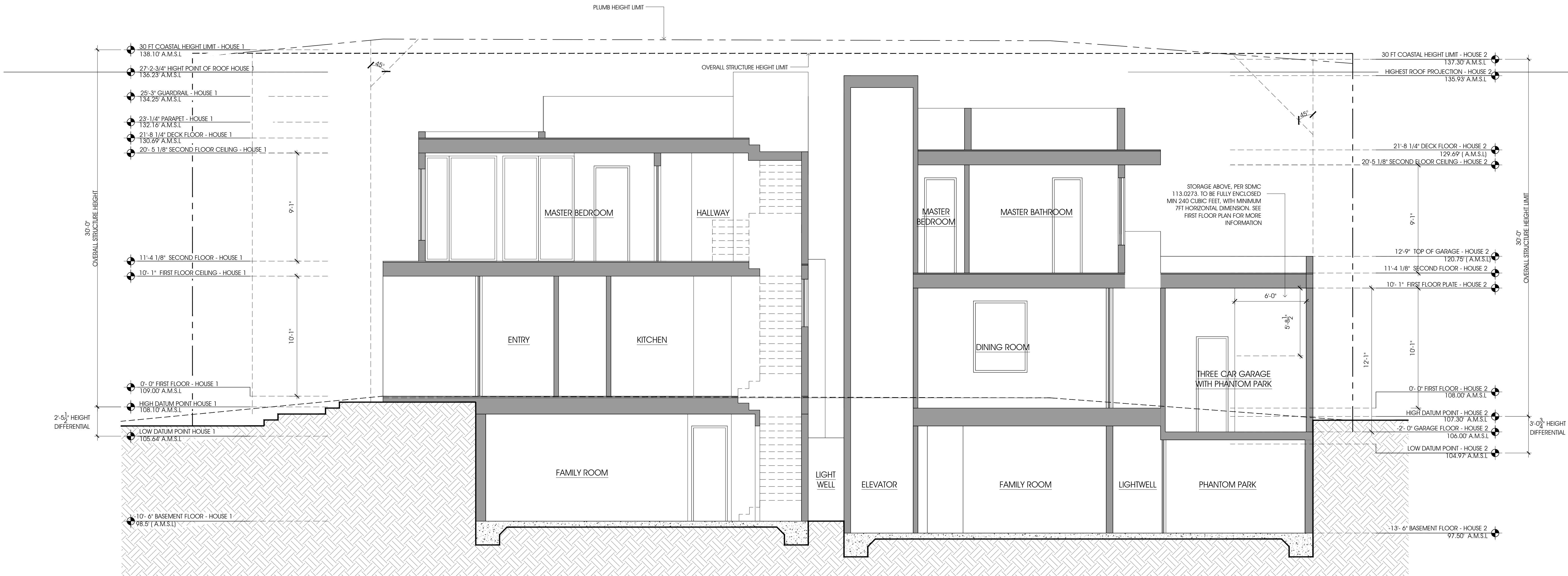
ELEVATIONS

REVISIONS
2019.12.18 COMPLETENESS CHECK
2020.02.25 CDP/SDP/TM SUBMITTAL
2020.06.08 CDP/SDP/TM REVIEW
2020.09.01 CDP/SDP/TM REVIEW
2020.12.22 CDP/SDP/TM REVIEW

PHASE
PLANNING
DOCUMENTS
DATE
2020-09-01
JOB NO.
19-06

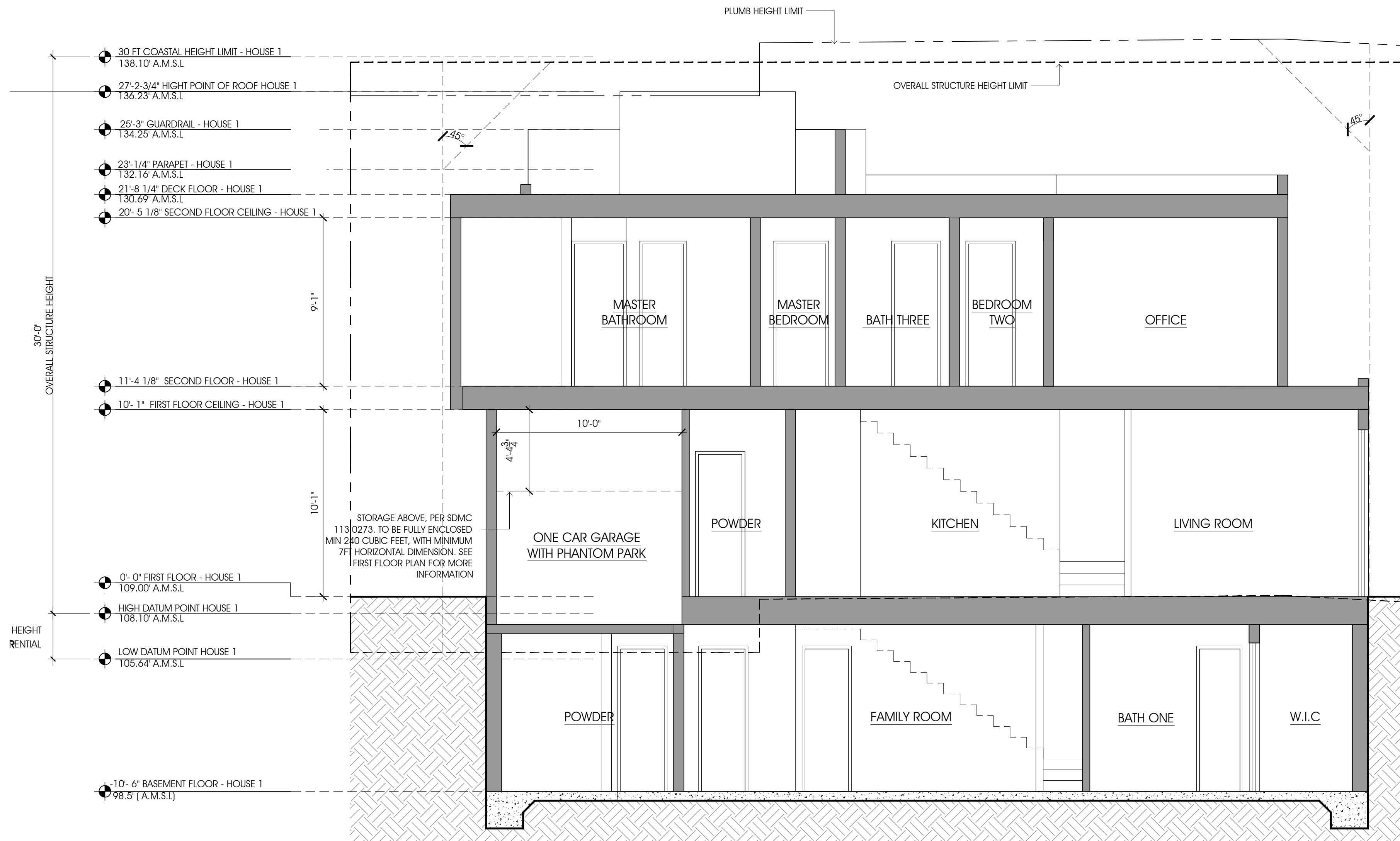
SECTIONS

A5.0

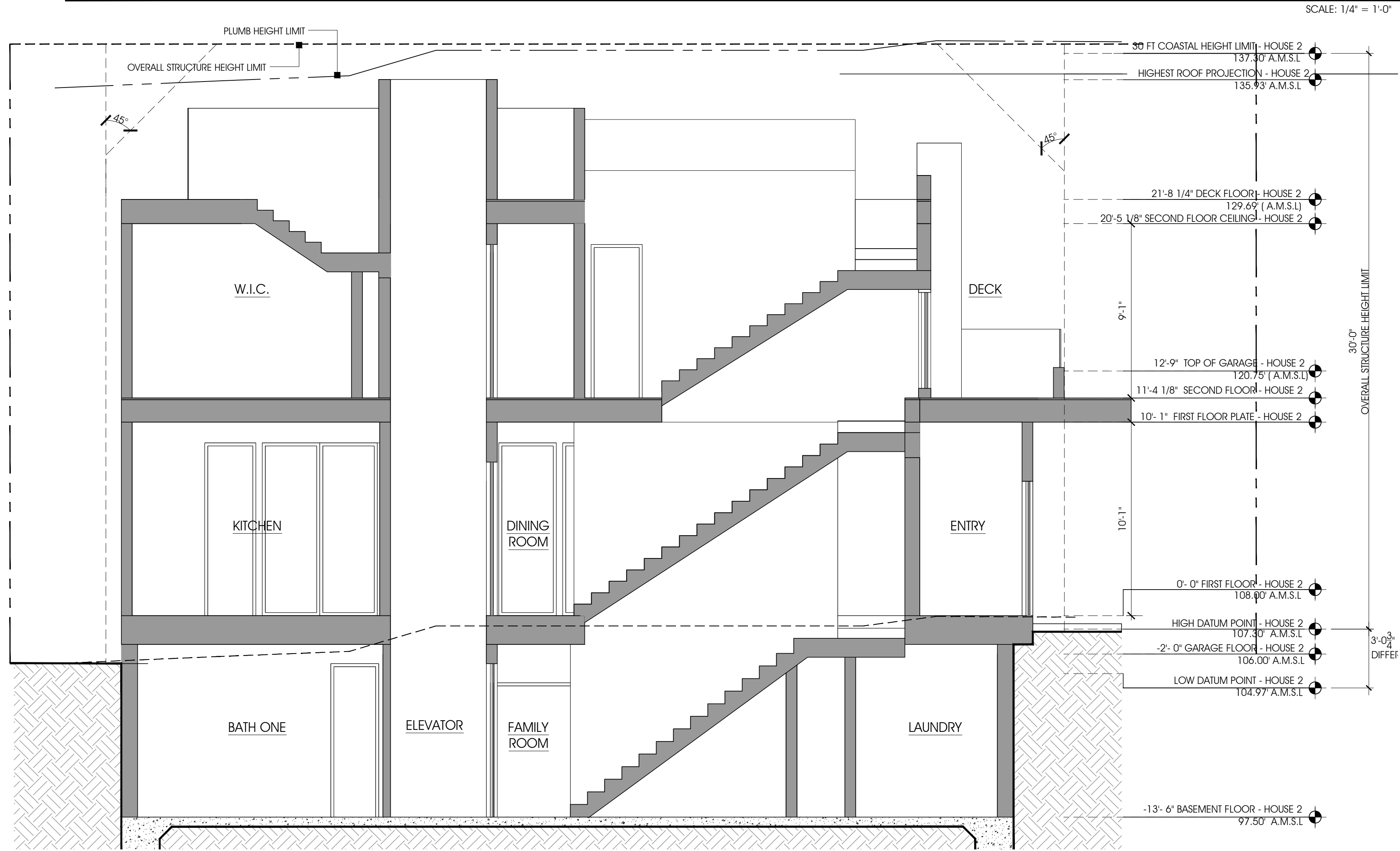


1-BUILDING SECTION HOUSE 1 / HOUSE 2

SCALE: 1/4" = 1'-0"

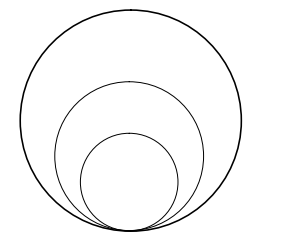


SECTION 2



SECTION 3

SCALE: 1/4" = 1'-0"



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JENNIFER
BOLYN
Architect

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BELLAVA SMALL LOT SUB DIVISION
7306 DRAPER AVE
LA JOLLA, CA 92037

REVISIONS

2019.12.18	COMPLETENESS CHECK
2020.02.25	CDP/SDP/TM SUBMITTAL
2020.06.08	CDP/SDP/TM REVIEW
2020.09.01	CDP/SDP/TM REVIEW
2020.12.22	CDP/SDP/TM REVIEW

PHASE
PLANNING
DOCUMENTS

DATE

2020-09-01

JOB NO.

19-06

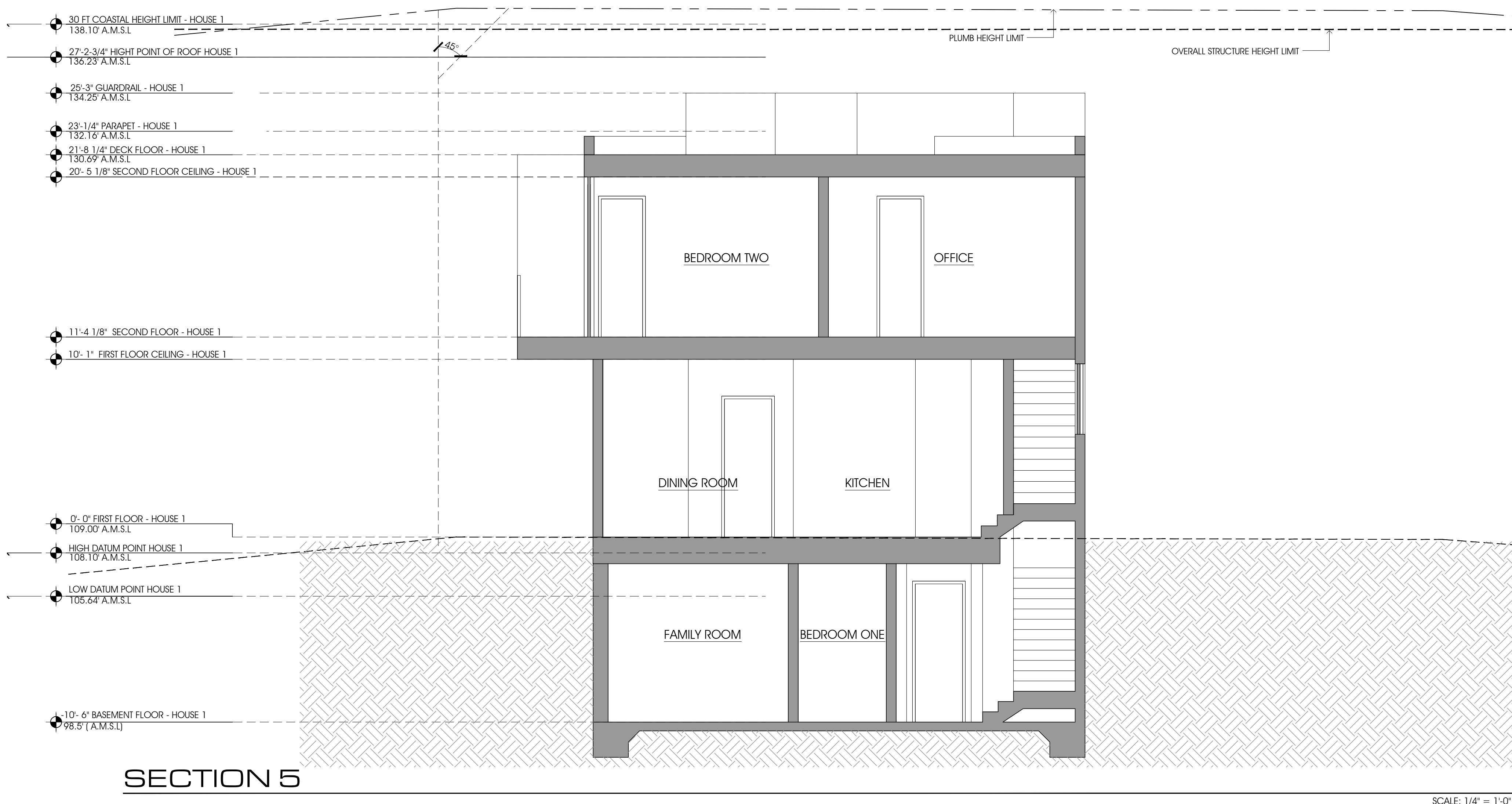
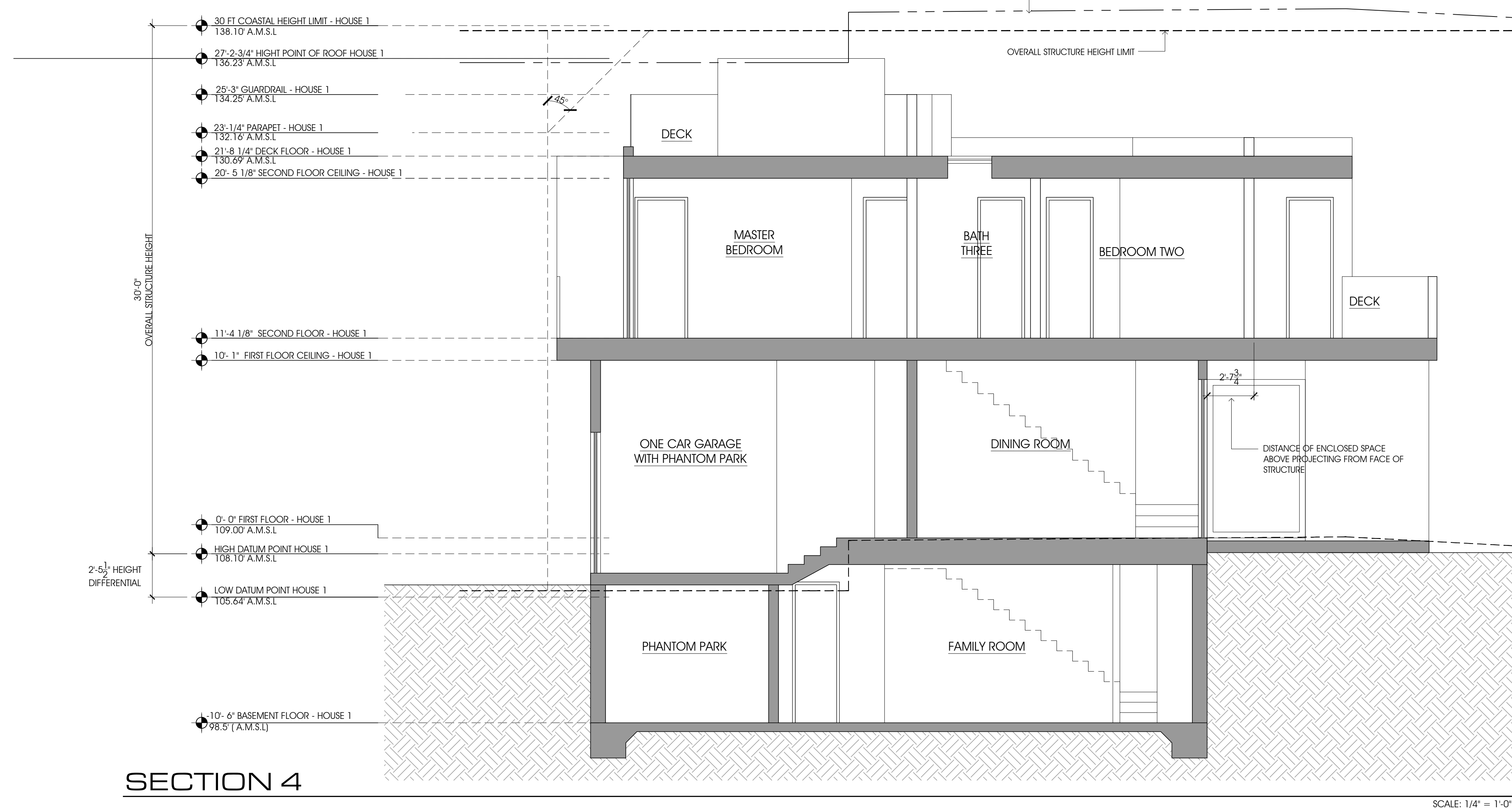
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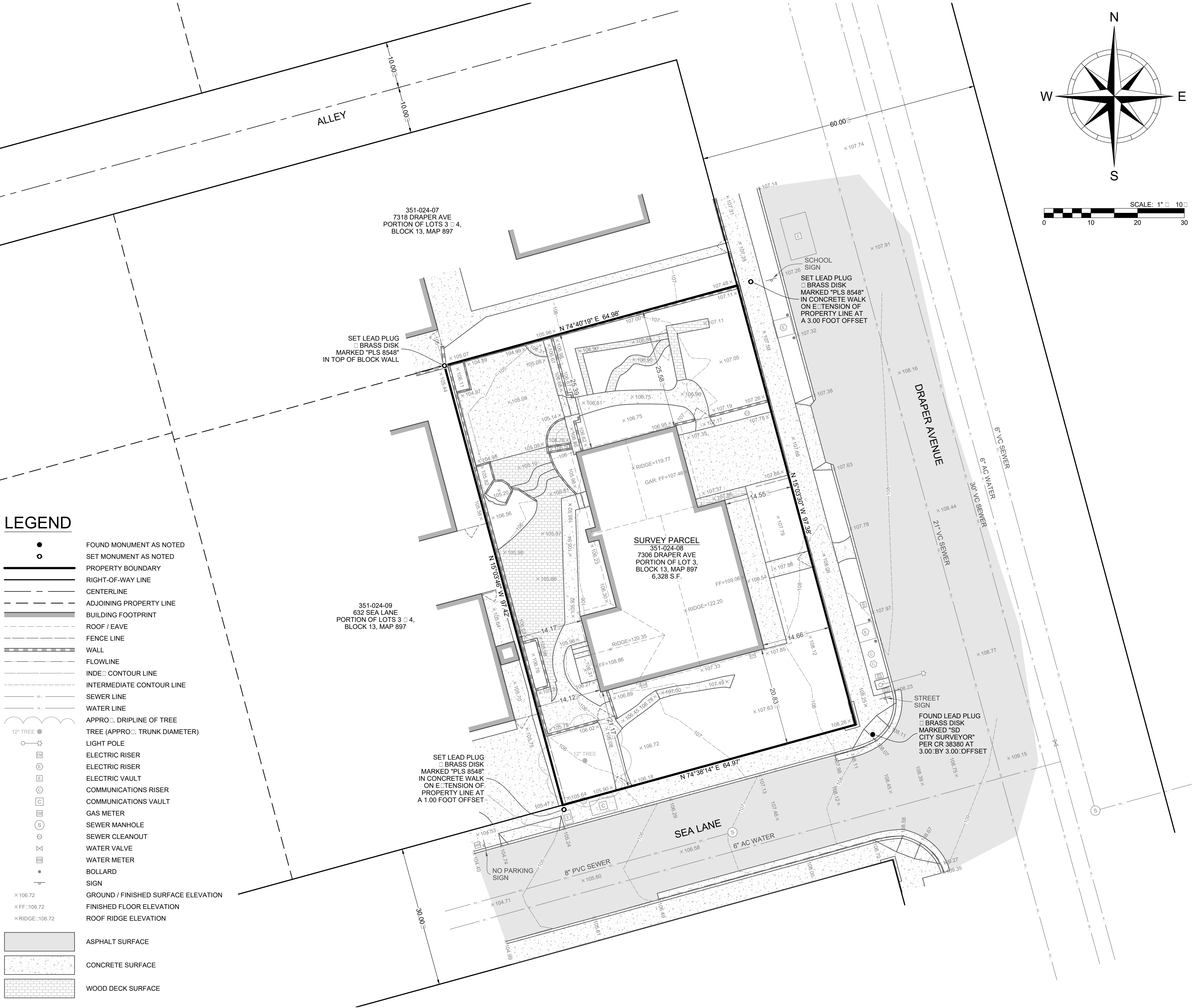
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REVISIONS	
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2020.06.08	CDP/SDP/TM REVIEW
2020.09.0	CDP/SDP/TM REVIEW
2020.12.2	CDP/SDP/TM REVIEW

PHASE
PLANNING DOCUMENTS
DATE
2020-09-01
JOB NO.
19-06

SECTIONS





SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT.

BLAKE E. TORGENSEN
PLS 8548

9-30-2018
DATE



NARRATIVE

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS N 15°03'30" W ALONG THE EASTERLY LINE OF BLOCK 13 OF MAP 897, AS SHOWN ON MAP 3091.
2. ELEVATIONS SHOWN HEREON ARE BASED ON A BRASS PLUG IN THE TOP OF CURB AT THE NORTHWEST CURB RETURN AT THE INTERSECTION OF DRAPER AVENUE AND MARINE STREET, PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK. MSL ELEV = 105.977
3. THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE ONLY. INFORMATION ABOUT WATER AND SEWER PIPE TYPES AND SIZES WAS OBTAINED FROM THE SANGIS/SANDAG GIS DATA WAREHOUSE. NO RECORD UTILITY PLANS WERE PROVIDED TO OR OBTAINED BY THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.

ABBREVIATED LEGAL DESCRIPTION

A PORTION OF LOT 3 OF BLOCK 13 OF F.T. SCRIPPS ADDITION TO LA JOLLA PARK IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 897.

(SEE DOCUMENT RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER ON JUNE 18, 2018 AS DOC# 2018-0246990 OF OFFICIAL RECORDS FOR THE COMPLETE DESCRIPTION OF THE PROPERTY SURVEYED.)

LEGEND

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- ADJOINING PROPERTY LINE
- BUILDING FOOTPRINT
- ROOF / EAVE
- FENCE LINE
- WALL
- FLOWLINE
- INDEX CONTOUR LINE
- INTERMEDIATE CONTOUR LINE
- SEWER LINE
- WATER LINE
- APPROX. DRIPLINE OF TREE
- TREE (APPROX. TRUNK DIAMETER)
- LIGHT POLE
- ELECTRIC RISER
- ELECTRIC RISER
- ELECTRIC VAULT
- COMMUNICATIONS RISER
- COMMUNICATIONS VAULT
- GAS METER
- SEWER MANHOLE
- SEWER CLEANOUT
- WATER VALVE
- WATER METER
- BOLLARD
- SIGN
- GROUND / FINISHED SURFACE ELEVATION
- FINISHED FLOOR ELEVATION
- ROOF RIDGE ELEVATION

- ASPHALT SURFACE
- CONCRETE SURFACE
- WOOD DECK SURFACE



TORGENSEN SURVEYING, INC.
1012 MAR VISTA DR, VISTA, CA 92081
619-535-8674 TORGSRV@GMAIL.COM

BOUNDARY TOPOGRAPHIC SURVEY
OF PROPERTY LOCATED AT

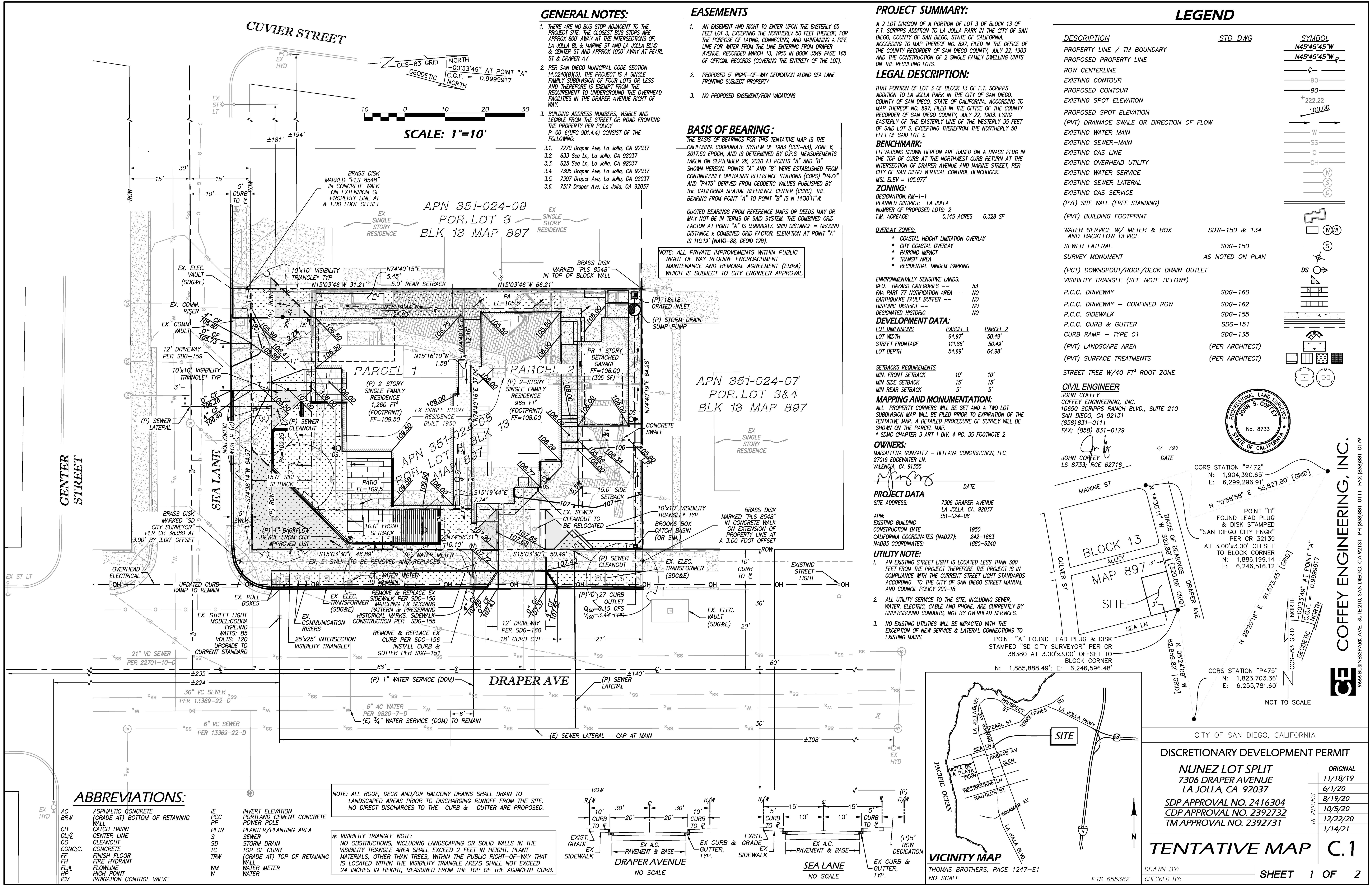
7306 DRAPER AVENUE
LA JOLLA, CA 92037

APN: 351-024-08
REFERENCE: MAP 3091

SURVEY DATE: 9-27-2018
DRAWING DATE: 9-29-2018

JOB # 1831

SHEET 1 OF 1



GENERAL NOTES:

1. THERE ARE NO BUS STOP ADJACENT TO THE PROJECT SITE. THE CLOSEST BUS STOPS ARE APPROX 800' AWAY AT THE INTERSECTIONS OF: LA JOLLA BL & MARINE ST AND LA JOLLA BLVD & CENTER ST AND APPROX 1000' AWAY AT PEARL ST & DRAPER AV.
2. PER SAN DIEGO MUNICIPAL CODE SECTION 14.0240(B)(3), THE PROJECT IS A SINGLE FAMILY SUBDIVISION OF FOUR LOTS OR LESS AND THEREFORE IS EXEMPT FROM THE REQUIREMENT TO UNDERGROUND THE OVERHEAD FACILITIES IN THE DRAPER AVENUE RIGHT OF WAY.
3. BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER POLICY P-00-6(UFC 901.4.4) CONSIST OF THE FOLLOWING:
 - 3.1. 7270 Draper Ave, La Jolla, CA 92037
 - 3.2. 633 Sea Ln, La Jolla, CA 92037
 - 3.3. 625 Sea Ln, La Jolla, CA 92037
 - 3.4. 7305 Draper Ave, La Jolla, CA 92037
 - 3.5. 7307 Draper Ave, La Jolla, CA 92037
 - 3.6. 7317 Draper Ave, La Jolla, CA 92037

EASEMENTS

1. AN EASEMENT AND RIGHT TO ENTER UPON THE EASTERLY 65 FEET LOT 3, EXCEPTING THE NORTHERLY 50 FEET THEREOF, FOR THE PURPOSE OF LAYING, CONNECTING, AND MAINTAINING A PIPE LINE FOR WATER FROM THE LINE ENTERING FROM DRAPER AVENUE. RECORDED MARCH 13, 1950 IN BOOK 3549 PAGE 165 OF OFFICIAL RECORDS (COVERING THE ENTIRETY OF THE LOT).
2. PROPOSED 5' RIGHT-OF-WAY DEDICATION ALONG SEA LANE FRONTING SUBJECT PROPERTY
3. NO PROPOSED EASEMENT/ROW VACATIONS

BASIS OF BEARING:

THE BASIS OF BEARINGS FOR THIS TENTATIVE MAP IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS-83), ZONE 6, 2017.50 EPOCH, AND IS DETERMINED BY G.P.S. MEASUREMENTS TAKEN ON SEPTEMBER 28, 2020 AT POINTS "A" AND "B" SHOWN HEREON. POINTS "A" AND "B" WERE ESTABLISHED FROM CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) "P472" AND "P475" DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC). THE BEARING FROM POINT "A" TO POINT "B" IS N 14°30'11"W.

QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM. THE COMBINED GRID FACTOR AT POINT "A" IS 0.9999917. GRID DISTANCE = GROUND DISTANCE x COMBINED GRID FACTOR. ELEVATION AT POINT "A" IS 110.19' (NAVD-88, GEOID 12B).

NOTE: ALL PRIVATE IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY REQUIRE ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) WHICH IS SUBJECT TO CITY ENGINEER APPROVAL.

PROJECT SUMMARY:

A 2 LOT DIVISION OF A PORTION OF LOT 3 OF BLOCK 13 OF F.T. SCRIPPS ADDITION TO LA JOLLA PARK IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 22, 1903 AND THE CONSTRUCTION OF 2 SINGLE FAMILY DWELLING UNITS ON THE RESULTING LOTS.

LEGAL DESCRIPTION:

THAT PORTION OF LOT 3 OF BLOCK 13 OF F.T. SCRIPPS ADDITION TO LA JOLLA PARK IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 22, 1903, LYING EASTERLY OF THE EASTERLY LINE OF THE WESTERLY 35 FEET OF SAID LOT 3, EXCEPTING THEREFROM THE NORTHERLY 50 FEET OF SAID LOT 3.

BENCHMARK:

ELEVATIONS SHOWN HEREON ARE BASED ON A BRASS PLUG IN THE TOP OF CURB AT THE NORTHWEST CORNER RETURN AT THE INTERSECTION OF DRAPER AVENUE AND MARINE STREET, PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK. MSL ELEV. 105.977'

ZONING:

DESIGNATION: RM-1-1
PLANNED DISTRICT: LA JOLLA
NUMBER OF PROPOSED LOTS: 2
T.M. ACREAGE: 0.145 ACRES 6,328 SF

OVERLAY ZONES:

- * COASTAL HEIGHT LIMITATION OVERLAY
- * CITY COASTAL OVERLAY
- * PARKING IMPACT
- * TRANSIT AREA
- * RESIDENTIAL TANDEM PARKING

ENVIRONMENTALLY SENSITIVE LANDS:

- | | |
|-----------------------------------|----|
| GEOL. HAZARD CATEGORIES: | 53 |
| FMA PART 77 NOTIFICATION AREA --- | NO |
| EARTHQUAKE FAULT BUFFER --- | NO |
| HISTORIC DISTRICT --- | NO |
| DESIGNATED HISTORIC --- | NO |

DEVELOPMENT DATA:

LOT DIMENSIONS	PARCEL 1	PARCEL 2
LOT WIDTH	64.97'	50.49'
STREET FRONTAGE	111.86'	50.49'
LOT DEPTH	54.69'	64.98'

SETBACKS REQUIREMENTS:

MIN. FRONT SETBACK	10'	10'
MIN. SIDE SETBACK	15'	15'
MIN. REAR SETBACK	5'	5'

MAPPING AND MONUMENTATION:

ALL PROPERTY CORNERS WILL BE SET AND A TWO LOT SUBDIVISION MAP WILL BE FILED PRIOR TO EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP.
* SOMC CHAPTER 3 ART 1 DIV. 4 PG. 35 FOOTNOTE 2

OWNERS:

MARIAELENA GONZALEZ - BELLAVA CONSTRUCTION, LLC.
27019 EDGEWATER LN.
VALENCIA, CA 91355

PROJECT DATA

SITE ADDRESS: 7306 DRAPER AVENUE
LA JOLLA, CA 92037
351-024-08

UTILITY NOTE:

1. AN EXISTING STREET LIGHT IS LOCATED LESS THAN 300 FEET FROM THE PROJECT THEREFORE THE PROJECT IS IN COMPLIANCE WITH THE CURRENT STREET LIGHT STANDARDS ACCORDING TO THE CITY OF SAN DIEGO STREET MANUAL AND COUNCIL POLICY 200-18
2. ALL UTILITY SERVICE TO THE SITE, INCLUDING SEWER, WATER, ELECTRIC, CABLE AND PHONE, ARE CURRENTLY BY UNDERGROUND CONDUITS, NOT BY OVERHEAD SERVICES.
3. NO EXISTING UTILITIES WILL BE IMPACTED WITH THE EXCEPTION OF NEW SERVICE & LATERAL CONNECTIONS TO EXISTING MAINS.

POINT "A" FOUND LEAD PLUG & DISK STAMPED "SD CITY SURVEYOR" PER CR 38380 AT 3.00"x3.00" OFFSET TO BLOCK CORNER
N: 1,885,888.49'; E: 6,246,596.48'

LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE / TM BOUNDARY		N45°45'45"W
PROPOSED PROPERTY LINE		N45°45'45"W
ROW CENTERLINE		—C—
EXISTING CONTOUR		90
PROPOSED CONTOUR		90
EXISTING SPOT ELEVATION		+222.22
PROPOSED SPOT ELEVATION		100.00
(PVT) DRAINAGE SWALE OR DIRECTION OF FLOW		→
EXISTING WATER MAIN		W
EXISTING SEWER—MAIN		SS
EXISTING GAS LINE		G
EXISTING OVERHEAD UTILITY		OH
EXISTING WATER SERVICE		W
EXISTING SEWER LATERAL		S
EXISTING GAS SERVICE		G
(PVT) SITE WALL (FREE STANDING)		—W—
(PVT) BUILDING FOOTPRINT		—B—
WATER SERVICE W/ METER & BOX AND BACKFLOW DEVICE	SDW-150 & 134	—W/B—
SEWER LATERAL	SDG-150	—S—
SURVEY MONUMENT	AS NOTED ON PLAN	—M—
(PCT) DOWNSPOUT/ROOF/DECK DRAIN OUTLET		—D—
VISIBILITY TRIANGLE (SEE NOTE BELOW*)		—V—
P.C.C. DRIVEWAY	SDG-160	—D—
P.C.C. DRIVEWAY — CONFINED ROW	SDG-162	—D—
P.C.C. SIDEWALK	SDG-155	—S—
P.C.C. CURB & GUTTER	SDG-151	—C—
CURB RAMP — TYPE C1	SDG-135	—C—
(PVT) LANDSCAPE AREA	(PER ARCHITECT)	—L—
(PVT) SURFACE TREATMENTS	(PER ARCHITECT)	—T—
STREET TREE W/40 FT* ROOT ZONE		—T—

CIVIL ENGINEER

JOHN COFFEY
COFFEY ENGINEERING, INC.
10650 SCRIPPS RANCH BLVD., SUITE 210
SAN DIEGO, CA 92131
(858) 831-0111
FAX: (858) 831-0179



JOHN COFFEY
LS 8733; RCE 62716
DATE: 9/1/20

CORS STATION "P472"
N: 1,904,390.65'
E: 6,299,296.91'

POINT "B"
FOUND LEAD PLUG & DISK STAMPED
"SAN DIEGO CITY ENGR"
PER CR 32139
AT 3.00"x3.00" OFFSET
TO BLOCK CORNER
N: 1,886,199.14
E: 6,246,516.12

CORS STATION "P475"
N: 1,823,703.36'
E: 6,255,781.60'

NOT TO SCALE

CITY OF SAN DIEGO, CALIFORNIA

DISCRETIONARY DEVELOPMENT PERMIT

NUNEZ LOT SPLIT
7306 DRAPER AVENUE
LA JOLLA, CA 92037

SDP APPROVAL NO. 2416304
CDP APPROVAL NO. 2392732
TM APPROVAL NO. 2392731

TENTATIVE MAP C.1

DRAWN BY:
CHECKED BY:

SHEET 1 OF 2

COFFEY ENGINEERING, INC.



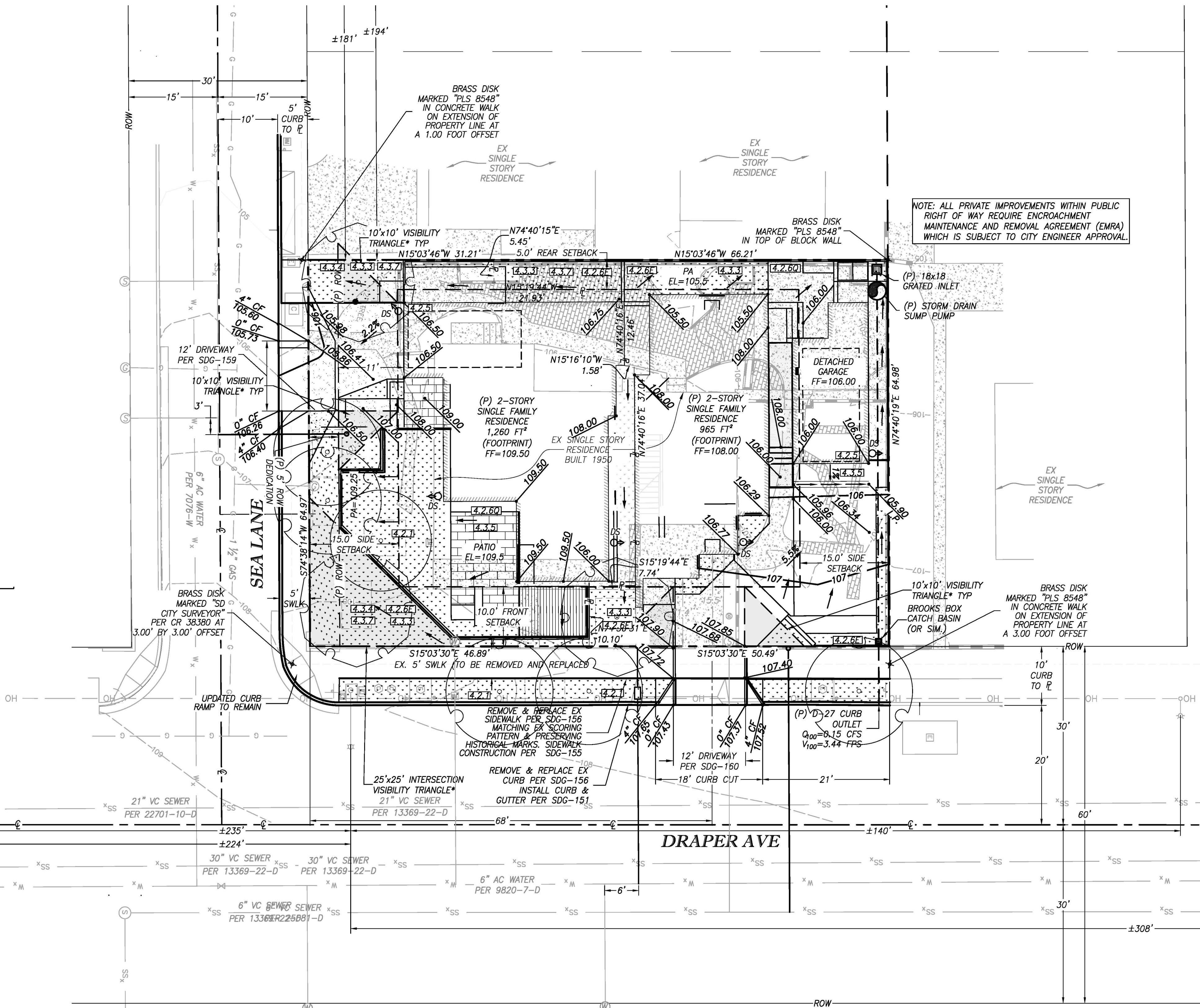
9466 BUSINESSPARK AVE., SUITE 210, SAN DIEGO, CA 92131 PH (858) 831-0111 FAX (858) 831-0179

GRADING TABULATIONS**

TOTAL AMOUNT OF SITE TO BE GRADED: 6,300	% OF TOTAL SITE: 100%
AMOUNT OF CUT: 765 CUBIC YARDS	MAXIMUM DEPTH OF CUT: 10.1 FEET
AMOUNT OF FILL: 125 CUBIC YARDS	MAXIMUM DEPTH OF FILL: 4.4 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S): N/A FEET	SLOPE RATIO: N/A
MAXIMUM HEIGHT OF CUT SLOPE(S): N/A FEET	SLOPE RATIO: N/A
AMOUNT OF IMPORT/EXPORT SOIL: 640 CUBIC YARDS	
MAX CUT DEPTH UNDER THE BUILDING FOOTPRINT: 11.4 FEET	MAX FILL DEPTH OUTSIDE THE BUILDING FOOTPRINT: 4.4 FEET
MAX CUT DEPTH OUTSIDE THE BUILDING FOOTPRINT 1.0 FEET	MAXIMUM HEIGHT: 2.75 FEET
RETAINING/ CRIB WALLS: LENGTH 90	

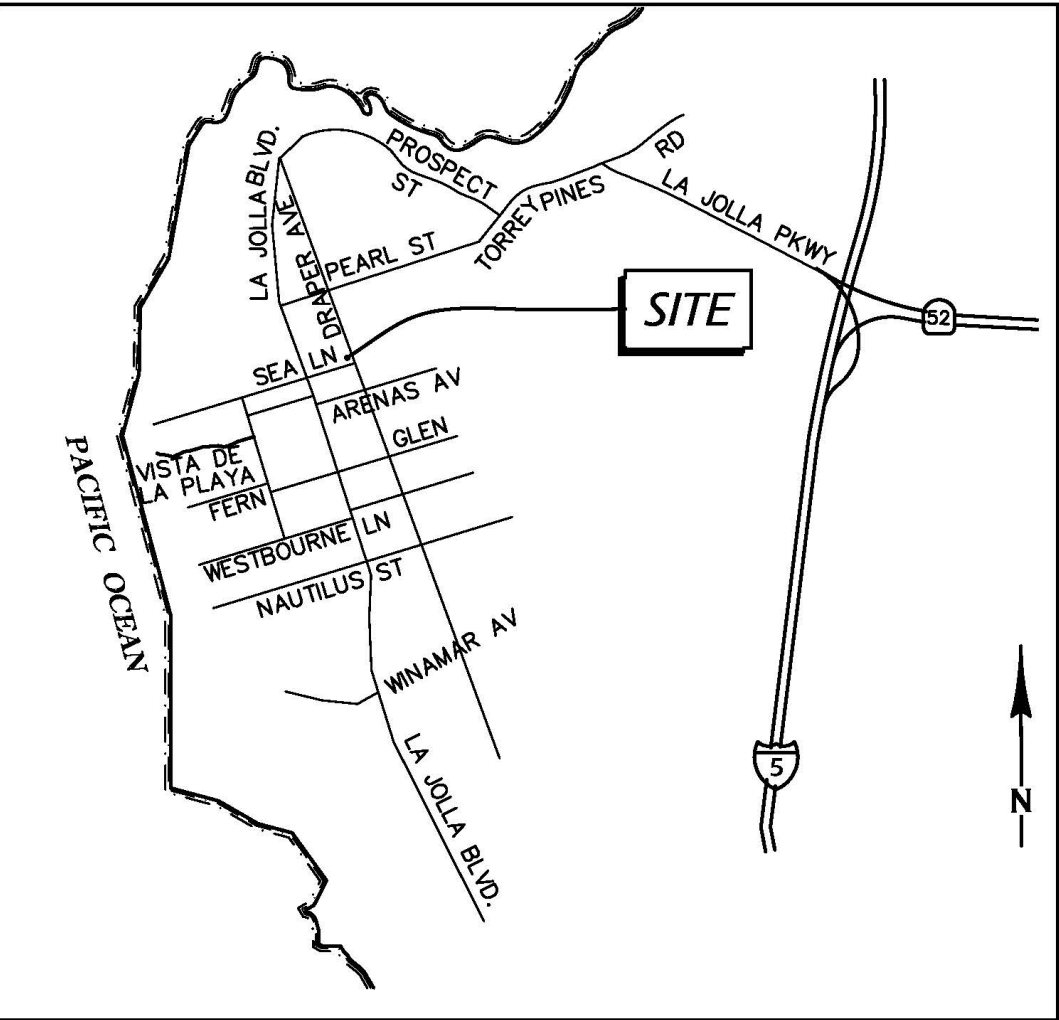
* THE PROJECT PROPOSES TO EXPORT 660 CUBIC YARDS OF MATERIAL FROM THIS SITE. ANY AND ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

**THE GRADING QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMIT PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO COMPACTION, EXPANSION, FOOTING EXCAVATIONS, DEBRIS, VEGETATION, INTERPRETATION OF USE OF MATERIALS, AND OTHER FACTORS. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING TAKE-OFFS FOR THE GRADING WORK SHOWN HEREON.



NOTE: ALL ROOF, DECK AND/OR BALCONY DRAINS SHALL DRAIN TO LANDSCAPED AREAS PRIOR TO DISCHARGING RUNOFF FROM THE SITE. NO DIRECT DISCHARGES TO THE CURB & GUTTER ARE PROPOSED.

* VISIBILITY TRIANGLE NOTE:
NO OBSTRUCTIONS, INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY TRIANGLE AREA SHALL EXCEED 2 FEET IN HEIGHT. PLANT MATERIALS, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN THE VISIBILITY TRIANGLE AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.



VICINITY MAP

THOMAS BROTHERS, PAGE 1247-E1
NO SCALE

SOURCE CONTROL BMPs

DESCRIPTION	SYMBOL
PREVENTION OF ILLICIT DISCHARGES	4.2.1
PROTECT TRASH STORAGE AREAS	4.2.5
LANDSCAPE/OUTDOOR PESTICIDE USE	4.2.6a
PLAZAS, SIDEWALKS, DRIVEWAYS	4.2.6b

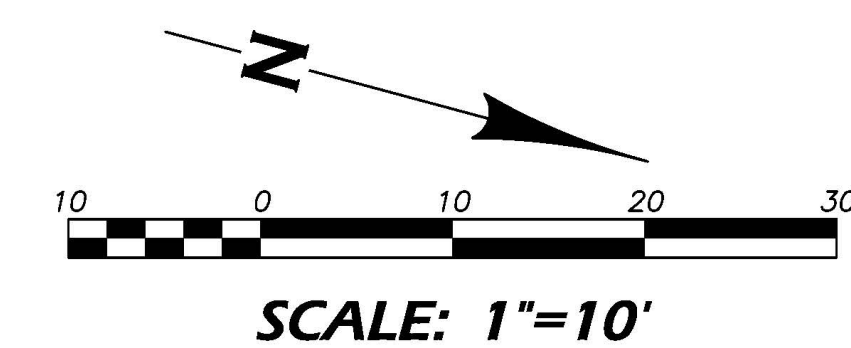
SITE DESIGN (LID) BMPs

MINIMIZE IMPERVIOUS AREA	4.3.3
MINIMIZE SOIL COMPACTION	4.3.4
IMPERVIOUS AREA DISPERSION	4.3.5
NATIVE OR DROUGHT TOLERANT VEGETATION	4.3.7

SITE DESIGN & SOURCE CONTROL (LID) BMPs PER THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL 2018

UTILITY NOTES

- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, IF IT IS DETERMINED DURING THE BUILDING PERMIT REVIEW PROCESS THE EXISTING WATER AND SEWER SERVICE WILL NOT BE ADEQUATE TO SERVE THE PROPOSED PROJECT, THE OWNER/PERMITEE SHALL, ASSURE BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF NEW WATER AND SEWER SERVICE(S) OUTSIDE OF ANY DRIVEWAY OR DRIVE AISLE AND THE ABANDONMENT OF ANY EXISTING UNUSED WATER AND SEWER SERVICES WITHIN THE RIGHT-OF-WAY ADJACENT TO THE PROJECT SITE, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
- SUBDIVIDER SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICE(S), ON EACH WATER SERVICE (DOMESTIC, FIRE AND IRRIGATION), IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER. BFPDS SHALL BE LOCATED ABOVE GROUND ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY.
- ALL PROPOSED PRIVATE WATER AND SEWER FACILITIES ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.



PTS 655382

PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
PROPERTY LINE / TM BOUNDARY		N45°45'45"W
PROPOSED PROPERTY LINE		N45°45'45"W
ROW CENTERLINE		C
EXISTING CONTOUR		90
PROPOSED CONTOUR		90
EXISTING SPOT ELEVATION		+222.22
PROPOSED SPOT ELEVATION		100.00
(PVT) DRAINAGE SWALE OR DIRECTION OF FLOW		W
EXISTING WATER MAIN		SS
EXISTING SEWER-MAIN		G
EXISTING GAS LINE		OH
EXISTING OVERHEAD UTILITY		W
EXISTING WATER SERVICE		S
EXISTING SEWER LATERAL		G
EXISTING GAS SERVICE		C
(PVT) SITE WALL (FREE STANDING)		
(PVT) BUILDING FOOTPRINT		
WATER SERVICE W/ METER & BOX SDW-150 & 134 AND BACKFLOW DEVICE		
SEWER LATERAL	SDG-150	
(PVT) DOWNSPOUT/ROOF/DECK DRAIN OUTLET	(SEE NOTE AT LEFT)	
VISIBILITY TRIANGLE		
P.C.C. DRIVEWAY	SDG-160	
P.C.C. DRIVEWAY	SDG-159	
P.C.C. SIDEWALK	SDG-155	
P.C.C. CURB & GUTTER	SDG-151	
SURVEY MONUMENT	AS NOTED ON PLAN	
(PVT) LANDSCAPE AREA	(PER ARCHITECT)	
(PVT) SURFACE TREATMENTS	(PER ARCHITECT)	

TOPOGRAPHY SOURCE

TORGENSEN SURVEYING, INC.
1012 MAR VISTA DRIVE
VISTA, CA 92081
TOPO SOURCE METHOD: FIELD SURVEY - DATED SEPTEMBER 2018

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON A BRASS PLUG IN THE TOP OF CURB AT THE NORTHWEST CURB RETURN AT THE INTERSECTION OF DRAPER AVENUE AND MARINE STREET, PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK. MSL ELEV = 105.97'

PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

CONSTRUCTION PERMIT NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

LEGAL DESCRIPTION:

THAT PORTION OF LOT 3 OF BLOCK 13 OF F.T. SCRIPPS ADDITION TO LA JOLLA PARK IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 22, 1903, LYING EASTERLY OF THE EASTERLY LINE OF THE WESTERLY 35 FEET OF SAID LOT 3, EXCEPTING THEREFROM THE NORTHERLY 50 FEET OF SAID LOT 3.

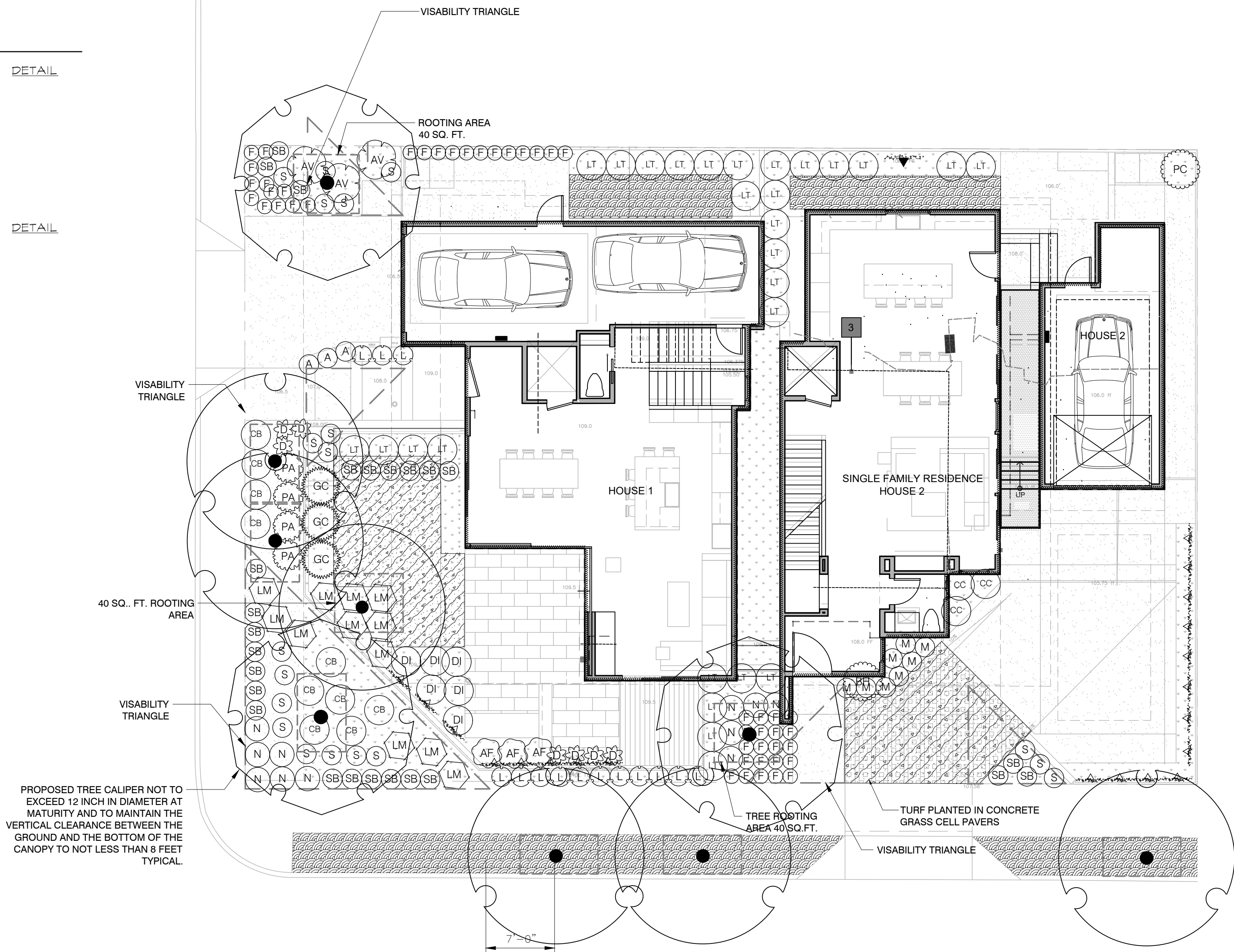
CITY OF SAN DIEGO, CALIFORNIA	
DISCRETIONARY DEVELOPMENT PERMIT	
NUNEZ LOT SPLIT 7306 Draper Avenue La Jolla, CA 92037	
SDP APPROVAL NO. 2416304 CDP APPROVAL NO. 2392732 TM APPROVAL NO. 2392731	
PRELIMINARY GRADING PLAN	
DRAWN BY: SHEET 2 OF 2	
CHECKED BY:	

ORIGINAL	11/18/19
2/22/20	
6/24/20	
8/19/20	
12/22/20	
1/14/21	

C.2

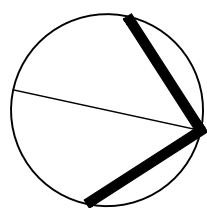
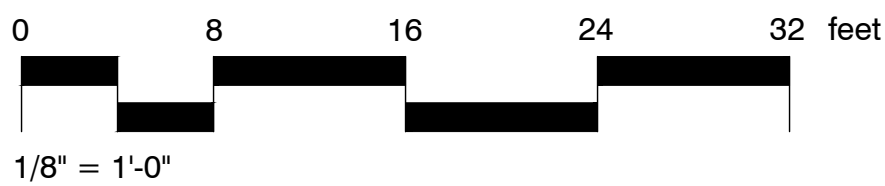
TREES		CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		QTY	DETAIL
		BAU BLA	Bauhinia x blakeana	Hong Kong Orchid Tree	24"			5	
		JAC MIM	Jacaranda mimesifolia	Jacaranda	36"			3	
		LAU XSA	Laurus 'Saratoga' Nucols Factor .3	Saratoga Laurel	24" Box			1	
SHRUBS		CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		QTY	DETAIL
		AV	Agave attenuata 'Variegata'	Variegated Agave	5 gal			3	
		D	Aloe dorotheseae	Sunset Aloe	1 gal			3	
		BH	Alibegone huegelli Standard Form NUCOLS Factor .3	Blue Hibiscus	15 gal.			1	
		A	Armeria maritima	Common Thrift	1 gal			3	
		CB	Ceanothus x 'Celestial Blue' Nucols Factor .3 Low Water Use	Celestial Blue California Lilac	5 gal			10	
		M	Clivia miniata 'San Marcos Yellow'	San Marcos Yellow Bush Lily	5 gal			8	
		CL	Clytostoma callistegioides	Violet Trumpet Vine	5 gal			1	
		CC	Cyrtomium carvotidemum Nucols Factor .5 Medium	Holly Fern	5 gal.			3	
		F	Festuca ovina glauca 'Sea Urchin'	Blue Sheep Fescue	1 gal			45	
		GC	Grevillea lanigera 'Coastal Gem'	Coastal Gem Grevillea	5 gal			3	
		LM	Lantana sellowiana 'White Lightnin' TM	Trailing Lantana	5 gal			12	
		LT	Ligustrum texanum	Texas Privet	5 gal	.2		28	
		L	Limonium perezii	Statice	1 gal			14	
		N	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal			11	
		PA	Pennisetum advena 'Rubrum'	Fountain Grass	5 gal			4	
		PC	Prunus caroliniana 'Bright 'N Tight' TM	Bright 'N Tight Carolina Laurel	5 gal			1	
		S	Sedum x 'Autumn Joy'	Autumn Joy Sedum	1 gal			19	
	SB	Senecio mandraliscae 'Blue Chalk Sticks'	Senecio	1 gal			25		
	TJ	Trachelospermum jasminoides	Chinese Star Jasmine	5 gal			20		
GROUND COVERS		CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY	DETAIL
		PAS VAG	Paspalum vaginatum NUCOLS Factor .6	Aloha Seashore Paspalum	sod			387 sf	
		THY PUR	Thymus praecox 'Purple Carpet'	Mother of Thyme	Plugs		12" o.c.	468	

1. ALL SHRUB PLANTING AREAS SHALL RECEIVE 3" LAYER OF COMPOSTED MULCH. ALL MULCH AREAS TO RECEIVE GRANULAR PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATION.
2. NO OBJECTS HIGHER THAN 24" WILL BE PROPOSED IN THE VISIBILITY AREAS.



Plant Quantity Requirements			
Points per Sq. Ft Street Yard		Total Plant Points Required	
	0.05		
Area Street Yard	1121		56.05
Area Remaining Yard	1346		N/A
Total Area	2179		N/A
Total Plant Points Provided			389

UNDERGROUND UTILITY LINES:	5 FT.
SEWER LINE:	10 FT.
DRIVEWAY ENTRIES	10 FT.
ABOVE GROUND UTILITY STRUCT.	10 FT.
CURB LINES OF TWO STREET	25 FT.

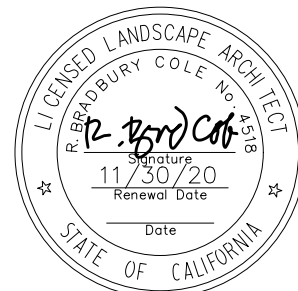


R. BRAD COLE, LANDSCAPE ARCHITECT

DATE.

PLANTING PLAN

**NUNEZ RESIDENCE
7306 DRAPER AVENUE
LA JOLLA, CA 92037**

[illegible]

L-1