



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: June 2, 2021

REPORT NO. HO-21-024

HEARING DATE: June 9, 2021

SUBJECT: Leidy Residence CDP, Process Three Decision

PROJECT NUMBER: [639782](#)

OWNER/APPLICANT: David B. Leidy and Pamela K. Leidy/Chandra Slaven

### SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit and Easement Vacation for the demolition of an existing single dwelling unit and the construction of a 6,582-square-foot, two-story single dwelling unit with basement, 405-square-foot garage, 661-square-foot accessory dwelling unit located at 6216 Avenida Cresta within the La Jolla Community Plan Area?

#### Staff Recommendation:

1. Approve Coastal Development Permit No. 2309399.
2. Approve Easement Vacation No. 2535513.

Community Planning Group Recommendation: On January 9, 2020 the La Jolla Community Planning Group voted 14-0-1 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15301, Existing Facilities and Section 15303, New Construction or Conversion of Small Structures. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 3, 2020 and the opportunity to appeal that determination ended December 17, 2020.

### BACKGROUND

The 0.24-acre (10,544-square-foot) project site is located at 6216 Avenida Cresta, directly adjacent to Avenida Cresa to the East, Via del Norte to the North and Camino de la Costa to the South and West (Attachment 1). The site is in the RS-1-5 Zone and designated as Low Density Residential with 5 to 9

dwelling units per acre (DU/AC) within the La Jolla Community Plan (the Community Plan) and Local Coastal Program (LCP) (Attachment 2). The project site is also located within the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones. Surrounding properties are developed with single-family residences and designated Low Density Residential in the Community Plan. Properties directly to the North, South, East and West of the project site are zoned RS-1-5.

The project has site has been previously graded and developed with an existing single dwelling unit built in 1980. The existing structures on the site are not designated as a historical resource and are not located within a designated historic district. The structures were built less than 45 years ago and therefore, the project did not undergo historical review by staff.

## DISCUSSION

The project is within the appealable Coastal Overlay Zone and requires a Coastal Development Permit per San Diego Municipal Code (SDMC) [Section 126.0707\(b\)](#) to demolish the existing dwelling unit and to construct a new dwelling unit with a basement, garage and accessory dwelling unit. The project also proposes to vacate a portion of an existing sewer easement and requires a Public Service Easement Vacation per SDMC [Section 125.1010\(a\)](#), which states that an applicant may request the vacation of a public service easement pursuant to local adopted procedure in SDMC [Section 125.1030\(b\)](#) as an alternative to the procedures for the vacation of public service easements in the California Streets & Highways Code.

## Project Description

The project proposes to demolish an existing dwelling unit and construct a 6,582-square-foot, two-, story dwelling unit. The basement includes a workshop, laundry area, 405-square-foot two-car garage, and a 661-square-foot accessory dwelling unit (ADU) with a kitchen, full bathroom, living area, and sleeping area. The ground floor includes the main residence's family room, kitchen, dining room, living room, bedroom with in-suite bathroom, and powder room. The second floor hosts the main bedroom with in-suite bathroom and walk-in closet, terrace with spa, two bedrooms with in-suite bathrooms, study, playroom, and terrace.

The project complies with all required regulations in the SDMC, the Community Plan and the LCP. The project site is in the RS-1-5 Zone, which is a residential zone intended to provide for flexibility in the development of single dwelling units that allow reasonable use of property while minimizing adverse impact to adjacent properties. Based on the density outlined in [Table 131-04D](#), one dwelling unit is allowed per lot, and therefore, the proposed single dwelling unit is consistent with the prescribed density for the site. The total proposed floor ratio (FAR) of 0.52 complies with the maximum FAR of 0.54. Furthermore, the project's lot coverage of 29.79% is below the maximum allowed lot coverage of 50%. The proposed two off-street parking spots meet the required parking for the site. The project has been designed in conformance with all required setbacks, including the 20-foot minimum front setback, side and street setback calculation, and 20-foot minimum rear setback. Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC [Section 113.0270\(a\)\(4\)\(D\)](#).



The proposed ADU also complies with all required regulations in the SDMC, Community Plan and LCP. In accordance with SDMC [Section 141.0302\(a\)\(2\)\(B\)](#), ADU's are not subject to the density limitations for the premises. Therefore, the proposed ADU does not affect the prescribed density for the site. The sole ADU proposed complies with the maximum single ADU permitted on the premises with a proposed single dwelling unit. Furthermore, the proposed ADU complies with the required gross floor area maximum of 1,200 square-feet and minimum of 150-square-feet. As the ADU is proposed in the basement of the single dwelling unit, the ADU complies with required setbacks as well. The project has also been conditioned so that the ADU is not sold separately from the primary dwelling unit and that the ADU is not rented for a term shorter than 30 days (Permit Conditions No. 24 and 25).

The proposed project requires the approval of a Process Three, Coastal Development Permit for development in the Coastal Overlay Zone (Appealable).

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The project proposes to vacate a 103.44 square-foot portion of the subject existing sewer easement, as the proposed easement vacation area is one that is currently not in use due to the sewer line terminating at the manhole located before the portion to be vacated. The action will remove the City's liability for an area that is not needed or required. The Public Utilities Department has confirmed that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review).

#### Community Plan Consistency

The Community Plan designates the site and surrounding areas to the North, South, East and West as Low Density Residential with a density of 5-9 DU/AC. The proposed two-story, 6,582 square-foot single dwelling unit with a 661-square-foot ADU is consistent with the underlying land-use designation. The [Residential Land Use](#) section of the Community Plan includes goals for maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (pg. 67). The neighborhood is developed with one- and two-story single-family residential development ranging from older construction to more recent development, and the proposed single dwelling unit would serve to maintain the present diverse design themes of the surrounding area.

The project site is located approximately 415 feet from the Pacific Ocean. The roadway immediately adjacent to the project site, Avenida Cresta, is not identified as a public vantage point in the Community Plan and LCP (pg. 35). Via del Norte (North of the site), Avenida Cortez (South of the site), and Camino De La Costa (West of the site) are identified as Scenic Overlooks and Intermittent or Partial Vistas (pg. 35). However, the project would not impact public view of the Pacific Ocean, as the project is observing all required setbacks and the proposed project is contained within the existing lot area. Therefore, the project will not impede upon any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. Additionally, the Residential Land Use section of the Community Plan recommends that the new

development maintain the existing 30-foot height limit of the single dwelling unit zones in order to maintain La Jolla's community character (pg. 76). The project includes a basement and has a proposed height of 33 feet, 2 inches from lowest adjacent grade (basement) to the highest point of building. However, the height of the front façade facing Avenida Cresta is approximately 27 feet and is in keeping with the existing character of the community, is consistent with the goals of the Community Plan and LCP and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community. Furthermore, the Residential Land Use section also recommends the promotion of development of a variety of housing types and styles in La Jolla, and the project's contemporary design will diversify the architectural styles in the neighborhood while still conforming to the bulk and scale of adjacent properties, proposing an open courtyard on the south side (side yard), which reduces the massing and integrates a view corridor for pedestrians located at the street.

The proposed sewer easement vacation does not change any land use or impact existing or proposed sewer collection services. Therefore, there will be no impact on the Community Plan and/or the LCP.

Conclusion:

City Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the Land Development Code. Staff has provided draft findings (Attachments 5 and 7) to support the proposed development, and draft conditions of approval (Attachment 6). Staff recommends that the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2309399 and Easement Vacation Permit No. 2535513, with modifications.
2. Deny Coastal Development Permit No. 2309399 and Easement Vacation Permit No. 2535513, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



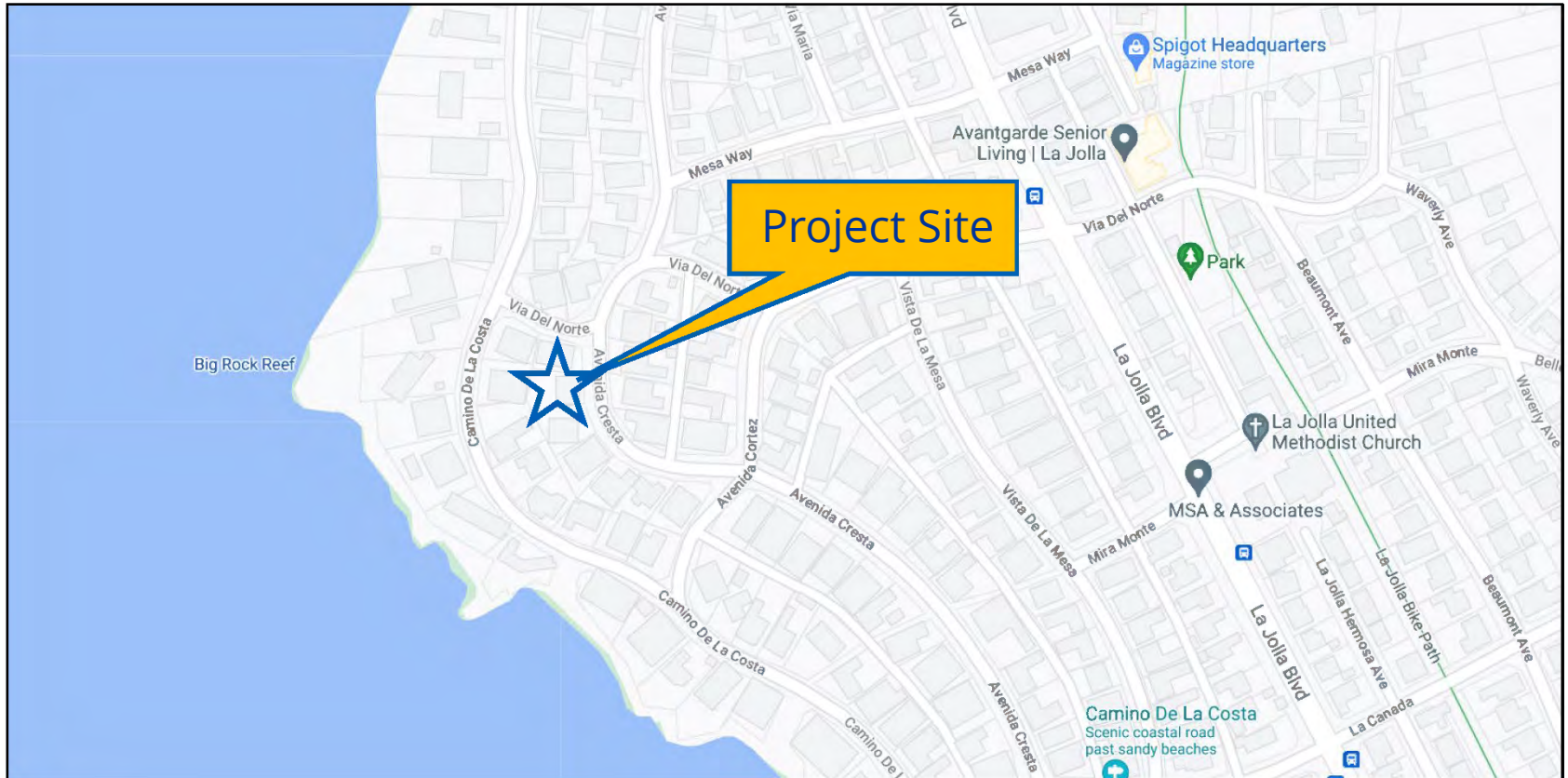
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Ben Hafertepe, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions

7. Draft Easement Vacation Resolution
8. Environmental Exemption
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans
12. Map Exhibit – Easement Vacation

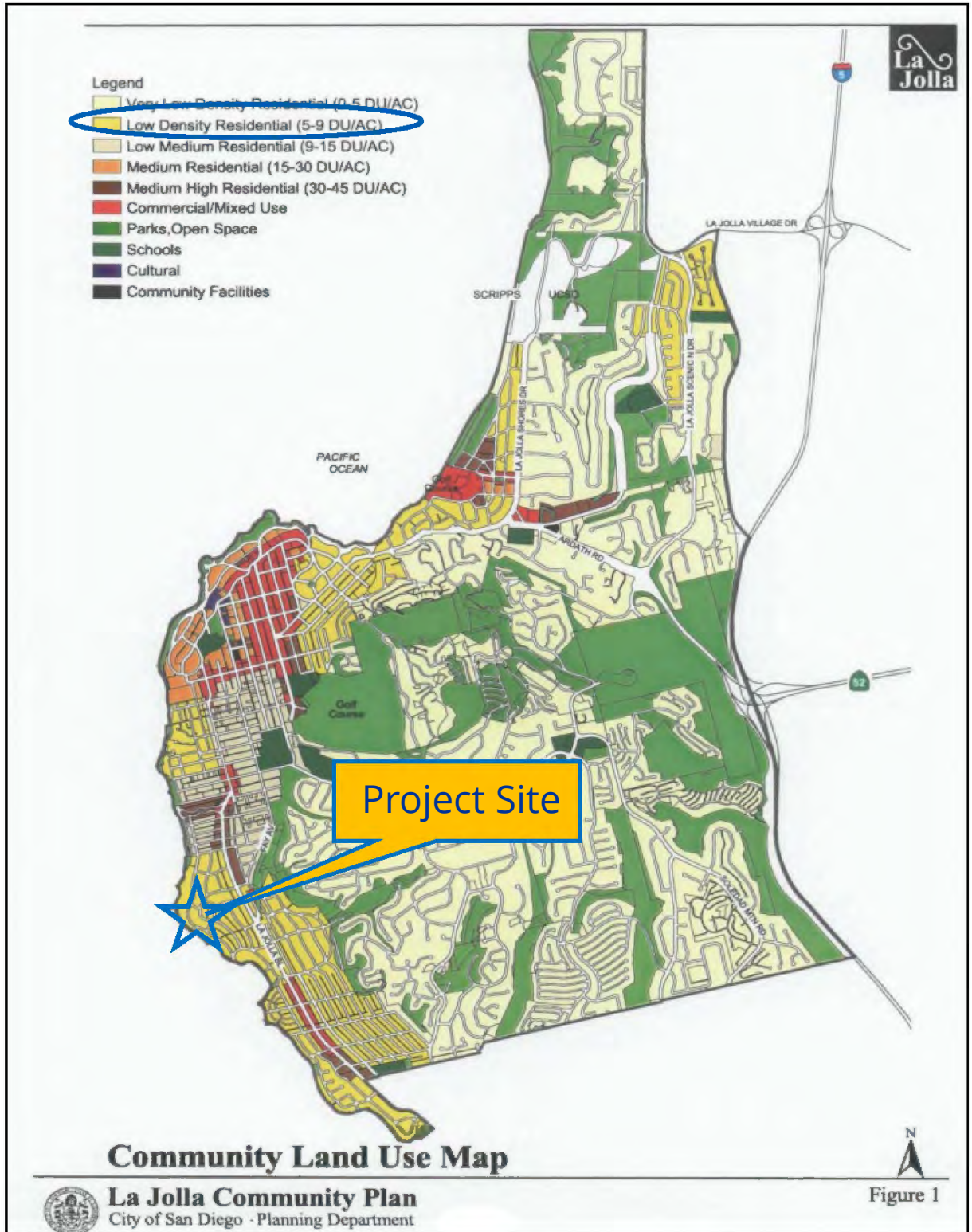


## Project Location Map

Leidy Residence CDP / 6216 Avenida Cresta  
PROJECT NO. 639782

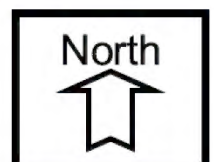






## Land Use Map

Leidy Residence CDP / 6216 Avenida Cresta  
PROJECT NO. 639782



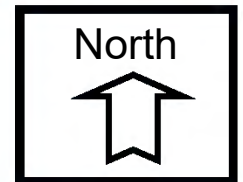




## **Aerial Photo**

Leidy Residence CDP / 6216 Avenida Cresta

PROJECT NO. 639782



PROJECT DATA SHEET		
<b>PROJECT NAME:</b>	Leidy Residence CDP	
<b>PROJECT DESCRIPTION:</b>	Public Service Easement Vacation and Coastal Development Permit for the demolition of an existing single dwelling unit and the construction of a 6,582 square-foot, two-story single dwelling unit with a basement that includes a 405 square-foot garage and a 661-square-foot accessory dwelling unit. The project also proposes vacating a portion of an existing sewer easement.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla Community Plan	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit, Public Service Easement Vacation	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Low Density Residential (5-9 DU/AC)	
<p style="text-align: center;"><b>ZONING INFORMATION:</b></p> <p style="text-align: center;"> <b>ZONE:</b> RS-1-5  <b>HEIGHT LIMIT:</b> 30 feet  <b>LOT SIZE:</b> 0.24 acres  <b>FLOOR AREA RATIO:</b> 0.54  <b>FRONT SETBACK:</b> 20 feet  <b>SIDE SETBACK:</b> 8% of lot width  <b>STREETSIDE SETBACK:</b> 10% of lot width  <b>REAR SETBACK:</b> 20 feet  <b>PARKING:</b> 2         </p>		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Low Density Residential (5-9 DU/AC); RS-1-5	Single-family residential
<b>SOUTH:</b>	Low Density Residential (5-9 DU/AC); RS-1-5	Single-family residential
<b>EAST:</b>	Low Density Residential (5-9 DU/AC); RS-1-7	Single-family residential
<b>WEST:</b>	Low Density Residential (5-9 DU/AC); RS-1-5	Single-family residential
<b>DEVIATION REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On January 9, 2020, the La Jolla Community Planning Group voted 14-0-1 to recommend approval of the project without conditions.	



HEARING OFFICER RESOLUTION NO. [REDACTED]  
COASTAL DEVELOPMENT PERMIT NO. 2309399  
**LEIDY RESIDENCE CDP - PROJECT NO. 639782**

WHEREAS, DAVID B. LEIDY AND PAMELA K. LEIDY, Husband and Wife as Joint Tenants, Owner/Permittee, filed an application with the City of San Diego for a Coastal Development Permit and a Public Service Easement Vacation to demolish an existing single dwelling unit and to construct a 6,582 square-foot, two-story single dwelling unit with basement, 405 square-foot garage, 661 square-foot accessory dwelling unit, and to vacate a portion of an existing sewer easement (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2309399 on portions of a 0.24-acre site;

WHEREAS, the project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and Coastal Overlay (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 14, Block 3, La Jolla Hermosa, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof NO. 1810, filed in the Office of the County Recorder of San Diego County, November 21, 1924; Also Known as: 6216 Avenida Cresta, La Jolla, CA 92037; APN #: 357-012-13-00;

WHEREAS, on December 3, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301, Existing Facilities, and Section 15303, New Construction or Conversion of Small Structures; and there was no appeal of the

Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on June 9, 2021, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2309399 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2309399;

**A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- (a) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot accessory dwelling unit (ADU). The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The Community Plan designates the site and surrounding areas to the North, South, East and West as Low Density Residential with a density of 5 to 9 dwelling units per acre (DU/AC). The proposed two-story, 6,582 square-foot single dwelling unit with a 661 square-foot ADU is consistent with the underlying land-use designation. The Residential Land Use section of the Community Plan includes goals for maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (pg. 67). The neighborhood is developed with one- and two-story single-family residential development ranging from older construction to more recent development, and the proposed single dwelling unit would serve to maintain the

present diverse design themes of the surrounding area. Furthermore, the Residential Land Use section also recommends the promotion of development of a variety of housing types and styles in La Jolla, and the project's contemporary design will diversify the architectural styles in the neighborhood while still conforming to the bulk and scale of adjacent properties, proposing an open courtyard on the south side (side yard), which reduces the massing and integrates a view corridor for pedestrians located at the street.

The project site is located approximately 415 feet from the Pacific Ocean. The roadway immediately adjacent to the project site, Avenida Cresta, is not identified as a public vantage point in the Community Plan and LCP (pg. 35). Via del Norte (North of the site), Avenida Cortez (South of the site), and Camino De La Costa (West of the site) are identified as Scenic Overlooks and Intermittent or Partial Vistas (pg. 35). However, the project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and the proposed project is contained within the existing lot area. Due to all development taking place within the project premises, the project will not encroach upon any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. Additionally, the Residential Land Use section of the Community Plan recommends that the new development maintain the existing 30-foot height limit of the single dwelling unit zones in order to maintain La Jolla's community character (pg. 76). Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC Section 113.0270(a)(4)(D). Moreover, the height of the front façade facing Avenida Cresta is approximately 27 feet and is in keeping with the existing character of the community, is consistent with the goals of the Community Plan and LCP and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community.

Therefore, the proposed development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program land use plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

**(b) The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is located at 6216 Avenida Cresta and is currently developed with an existing single dwelling unit within the Community Plan area. The project proposes to demolish the existing dwelling unit and to construct a two-story single dwelling unit with a basement that includes a 405 square-foot garage and 661 square-foot ADU on a 0.24-acre site. The project site was a previously graded

and developed site located within an urbanized area and is located approximately 415 feet from the Pacific Ocean. However, the project site does not contain or is not adjacent to any steep hillsides, sensitive biological resources, sensitive coastal bluffs, or Special Flood Hazard Areas. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**(c) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The project complies with all required regulations in the SDMC, the Community Plan and the LCP. The project site is in the RS-1-5 Zone, which is a residential zone intended to provide for flexibility in the development of single dwelling units that allow reasonable use of property while minimizing adverse impact to adjacent properties. Based on the density outlined in Table 131-04D, one dwelling unit is allowed per lot, and therefore, the proposed single dwelling unit is consistent with the prescribed density for the site. The total proposed floor ratio (FAR) of 0.52 complies with the maximum FAR of 0.54. Furthermore, the project's lot coverage of 29.79% is far below the maximum allowed lot coverage of 50%. The proposed two off-street parking spots meet the required parking for the site. The project has been designed in conformance with all required setbacks, including the 20-foot minimum front setback, side and street setback calculation, and 20-foot minimum rear setback. Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC section 113.0207(a)(4)(D).

The proposed ADU complies with all required regulations in the SDMC, Community Plan and LCP. In accordance with SDMC Section 141.0302(a)(2)(B), ADU's are not subject to the density limitations for the premises. Therefore, the proposed ADU does not affect the prescribed density for the site. The sole ADU proposed complies with the maximum single ADU permitted on the premises with a proposed single dwelling unit. Furthermore, the proposed ADU complies with the required gross floor area maximum of 1,200 square-feet and minimum

of 150-square-feet. As the ADU is proposed in the basement of the single dwelling unit, the ADU complies with required setbacks as well.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The project proposes to vacate a 103.44 square-foot portion of the subject existing sewer easement, as the proposed easement vacation area is one that is currently not in use due to the sewer line terminating at the manhole located before the portion to be vacated. The action will remove the City's liability for an area that is not needed or required. The Public Utilities Department has confirmed that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review).

The project site is located approximately 415 feet from the Pacific Ocean. The roadway immediately adjacent to the project site, Avenida Cresta, is not identified as a public vantage point in the Community Plan and LCP (pg. 35). Via del Norte (North of the site), Avenida Cortez (South of the site), and Camino De La Costa (West of the site) are identified as Scenic Overlooks and Intermittent or Partial Vistas (pg. 35). However, the project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and the proposed project is contained within the existing lot area. Due to all development taking place within the project premises, the project will not encroach upon any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC Section 113.0270(a)(4)(D). Moreover, the height of the front façade facing Avenida Cresta is approximately 27 feet and is in keeping with the existing character of the community, is consistent with the goals of the Community Plan and LCP and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community.

The project has been designed in compliance with all the applicable provisions of the Community Plan and LCP, and the San Diego Municipal Code (SDMC) and does not require or request any deviations. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- (d) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes to demolish the existing dwelling unit and to construct a two-story single dwelling unit with a basement that includes a 405 square-foot garage and 661 square-foot ADU on a 0.24-acre site. The project also proposes the vacation of a portion of an existing sewer easement.

The project site is located approximately 415 feet from the Pacific Ocean, on Avenida Cresta. There is no existing or proposed public access to the beach on the project site as identified in the Community Plan and LCP and therefore, the project would not impact any or adversely affect any public access. The development is proposed on private property and designed in conformance with all applicable development regulations. Due to its location, the development would not block views to and along the shoreline from public areas, as identified in the Community Plan and LCP (pg. 35). The project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and does not impede on any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. The project site is not located in an area identified for public recreation and will not impact existing public recreation areas. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Coastal Development Permit No. 2309399 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2309399, a copy of which is attached hereto and made a part hereof.

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Ben Hafertepe  
Development Project Manager  
Development Services

Adopted on: June 9, 2021

IO#: 24008303

DRAFT



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24008303

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2309399  
**LEIDY RESIDENCE - PROJECT NO. 639782**  
HEARING OFFICER

This Coastal Development Permit No. 2309399 is granted by the Hearing Officer of the City of San Diego to David B. Leidy and Pamela K. Leidy, Husband and Wife as Joint Tenants, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.24-acre site is located at 6216 Avenida Cresta in the RS-1-5 Zone and Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the La Jolla Community Planning area. The project site is legally described as: Lot 14, Block 3, La Jolla Hermosa, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1810, filed in the Office of the County Recorder of San Diego County, November 21, 1924; Also known as: 6216 Avenida Cresta, La Jolla, CA 92037; AP #: 357-012-13-00.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new single dwelling unit with basement, garage, and accessory dwelling unit as described and identified by size, dimension, quantity, type and location on the approved exhibits [Exhibit "A"] dated June 9, 2021, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing 1,876 square-foot dwelling unit and construction of a 6,582 square-foot, two-story single dwelling unit with basement with a 405 square-foot garage and 661 square-foot accessory dwelling unit, and sewer easement vacation.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **DATE**.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of existing driveway with City standard curb, gutter and sidewalk, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new City standard 12 ft driveway, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond to reconstruct the existing damaged curb with City Standard curb and gutter, adjacent to the site on Avenida Cresta, satisfactory to City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing damaged sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscape in the Avenida Cresta Right-of-Way, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
19. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
21. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**PLANNING/DESIGN REQUIREMENTS:**

22. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. The accessory dwelling unit may not be sold or conveyed separately from the primary dwelling unit.

25. The accessory dwelling unit shall not be used for a rental term of less than 30 consecutive days.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**GEOLOGICAL REQUIREMENTS**

27. Prior to the issuance of any construction permits (either grading or building), the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy the Geology Section of the Development Services Department prior to issuance of any construction permits.

28. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to the exoneration of the bond and grading permit close-out.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

29. Prior to any Building Construction Permit being issued, all domestic, irrigation, and fire water services serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD); or, one of the following two notes must be included on the title sheet of the building construction plans being permitted:

- a. THIS RESIDENTIAL DEVELOPMENT HAS, OR WILL HAVE AS A CONSEQUENCE OF THIS WORK, A COMBINED DOMESTIC/FIRE PROTECTION WATER SERVICE UTILIZING A PASSIVE PURGE STYLE OF DESIGN AND IS THEREFORE EXEMPT FROM INSTALLING A BACKFLOW PREVENTION DEVICE; or,
- b. THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE INSTALLATION OF A PRIVATE, ABOVE GROUND, BACKFLOW PREVENTION DEVICE TO BE LOCATED IN-LINE WITH THE SERVICE AND JUST INSIDE THE PROPERTY (IMMEDIATELY ADJACENT TO THE PROPERTY LINE). \*\* Note: Any configuration other than as detailed above must be specifically authorized in advance by the City's Cross-Connection Control Section (please contact Anthony Diaz - ADDiaz@sandiego.gov or 858-614-5752).

30. If an existing water service to be retained is found to be inadequately sized to serve the proposed project, the applicant must obtain a Permit to Work in the Public right-of-way to abandon

(kill) that existing water service line at the main, and install a new water service in a location acceptable to the Public Utilities Director. To ensure acceptability, the new service line should be at least 30" from any prior service line alignment, 5 feet from any driveway or tree, and 10 feet from any active sewer lateral.

31. Prior to any Building Construction Permit being issued, the sewer lateral(s) serving this development must pass through an acceptable sewer cleanout (as defined below); or, the following note must be included on the title sheet of the building construction plans being permitted: THIS RESIDENTIAL DEVELOPMENT HAS, OR WILL HAVE AS A CONSEQUENCE OF THIS WORK, INSTALLED A PERMITTED SEWER LATERAL CLEANOUT, THE CONDITION AND LOCATION OF WHICH IS ACCEPTABLE TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.

32. Prior to any Building Construction Permit being issued, any private improvements within a public ROW or public easement which lies on or adjacent to this project site and which could inhibit the City's right to access, maintain, repair, or replace its public water and sewer facilities (including but not limited to landscaping\*, enhanced paving, storage, or structures of any kind) must be removed. \* No trees or shrubs exceeding three feet in height at maturity shall be installed or remain within ten feet of any public sewer facilities or within five feet of any public water facilities.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 9, 2021 and [Approved Resolution Number].

## ATTACHMENT 6

Permit Type/PTS Approval No.: Coastal Development Permit No. 2309399  
Date of Approval: June 9, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Ben Hafertepe  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By \_\_\_\_\_  
David B. Leidy  
Husband as Joint Tenant

Owner/Permittee

By \_\_\_\_\_  
Pamela K. Leidy  
Wife as Joint Tenant

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



RESOLUTION NUMBER \_\_\_\_\_

DATE OF FINAL PASSAGE June 9, 2021

A RESOLUTION VACATING PUBLIC SERVICES EASEMENT NO. 2535513  
FOR THE LEIDY RESIDENCE CDP-PROJECT NO. 639782

WHEREAS, San Diego Municipal Code section 125.1010(a) provides a procedure for the vacation of public service easements and San Diego Municipal Code section 112.0103 provides a procedure for consolidating the processing of multiple approvals by the decision maker at the highest level of authority for that development, in this instance the Hearing Officer; and

WHEREAS, DAVID B. LEIDY AND PAMELA K. LEIDY, Husband and Wife as Joint Tenants, Owner/Permittee, filed an application to vacate a Public Service Easement, located at 6216 Avenida Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones; and

WHEREAS, it is proposed that a portion of a six-foot wide sewer easement be vacated; and

WHEREAS, on December 3, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301, Existing Facilities, and Section 15303, New Construction or Conversion of Small Structures, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on June 9, 2021, the Hearing Officer of the City of San Diego considered Easement Vacation No. 2535513 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED, by the Hearing Officer, that with respect to the sewer easement located within the property located at 6216 Avenida Cresta, the Hearing Officer adopts the following findings with respect to Easement Vacation No. 2535513 pursuant to SDMC Section 125.1040:

- (a) **There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.**

The Leidy Residence CDP project (Project) proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot accessory dwelling unit (ADU). The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and designated as Low Density Residential with 5 to 9 dwelling units per acre (DU/AC) within the La Jolla Community Plan (the Community Plan) and Local Coastal Program (LCP). The project site is also located within the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The project proposes to vacate a 103.44 square-foot portion of the subject existing sewer easement, as the proposed easement vacation area is one that is currently not in use due to the sewer line terminating at the manhole located before the portion of the easement to be vacated. The action will remove the City's liability for an area that is not needed or required. The Public Utilities Department has confirmed that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review).

There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

- (b) **The public will benefit from the action through improved utilization of the land made available by the vacation.**

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. There are no utilities or public services within

the portion to be vacated, as the public sewer line terminates at the manhole located prior to the portion of the easement to be vacated.

As outlined in Finding (a) listed above, the project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The proposed vacation of a portion of the sewer easement will allow for the future development of land that was previously not developable. Additionally, the public will also benefit through improved utilization of the land because the area of privately-owned land subject to property tax will be increased, which would contribute to an incremental increase to the tax base. Therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

**(c) The vacation is consistent with any applicable land use plan.**

As outlined in Finding (a) listed above, the project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The Community Plan designated the site and surrounding areas to the North, South, East and West as Low Density Residential with a density of 5-9 DU/AC. The proposed two-story, 6,582 square-foot single dwelling unit with a 661 square-foot ADU is consistent with the underlying land-use designation.

The Community Plan does not reference easement vacations directly. However, the proposed sewer easement vacation does not change any land use, as it does not affect the prescribed density for the site. It also does not impact existing or proposed sewer collection services. Therefore, the vacation is consistent with any applicable land use plan.

**(d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.**

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The easement was originally acquired for the City to access and maintain the sewer line that is located within the project site. There are no utilities or public services within the portion to be vacated, as the public sewer line terminates at the manhole located prior to the portion of the easement to be vacated. Additionally, the Public Utilities Department has confirmed that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review.) Therefore, the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that the public service easement located within 6216 Avenida Cresta in connection with Coastal Development Permit No. 2309399, as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing No. 42405-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a quitclaim deed with an attached copy of this resolution and any exhibits, in the Office of the County Recorder releasing to the property owner, all rights title and interest in said easement.

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Ben Hafertepe  
Development Project Manager  
Development Services

Adopted on: June 9, 2021

IO No.: 24008303

639782NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk  
P.O. Box 1750, MS A-33  
1600 Pacific Hwy, Room 260  
San Diego, CA 92101-2400

From: City of San Diego  
Development Services Department  
1222 First Avenue, MS 501  
San Diego, CA 92101

☐ Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, CA 95814

**Project Name/Number:** Leidy Residence CDP / 639782

**SCH No.:** N/A

**Project Location-Specific:** 6216 Avenida Cresta, La Jolla, CA 92037

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** Coastal Development Permit to construct a 6,582 square-foot, two-story single dwelling unit with basement, 405 square-foot garage, 661 square-foot Companion Unit, and sewer easement vacation located at 6216 Avenida Cresta. The 0.24-acre site is in the RS-1-5 Zone and the Coastal (Appealable) Overlay Zone within the La Jolla Community Plan area and Council District 1. This development is within the Coastal Overlay Zone and the application was filed on July 18, 2019.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** David and Pam Leidy, 3408 Lantz Circle, Plano, TX 75025, 214-564-4413

**Exempt Status:** (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268)  
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))  
☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))  
☒ Categorical Exemption: Section 15301 and Section 15303  
☐ Statutory Exemptions:  
☐ Other:

**Reasons why project is exempt:** The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 and Section 15303; and where the exceptions listed in Section 15300.2 would not apply.

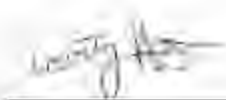
**Lead Agency Contact Person:** Courtney Holowach

**Telephone:** 619-446-5187

**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



for Jeff Szymanski, Senior Planner

Signature/Title

5/12/21

Date

**Check One:**

- ☒ Signed By Lead Agency  
☐ Signed by Applicant

Date Received for Filing with County Clerk or OPR:



THE CITY OF SAN DIEGO

City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

# Community Planning Committee Distribution Form Part 1

<b>Project Name:</b>		<b>Project Number:</b>	<b>Distribution Date:</b>
<b>Project Scope/Location:</b>			
<b>Applicant Name:</b>		<b>Applicant Phone Number:</b>	
<b>Project Manager:</b>	<b>Phone Number:</b>	<b>Fax Number:</b> (619) 321-3200	<b>E-mail Address:</b>
<b>Project Issues (To be completed by Community Planning Committee for initial review):</b>			
<i>Attach Additional Pages If Necessary.</i>		<b>Please return to:</b> <b>Project Management Division</b> <b>City of San Diego</b> <b>Development Services Department</b> <b>1222 First Avenue, MS 302</b> <b>San Diego, CA 92101</b>	
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			





THE CITY OF SAN DIEGO

City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

## Community Planning Committee Distribution Form Part 2

<b>Project Name:</b>		<b>Project Number:</b>	<b>Distribution Date:</b>
<b>Project Scope/Location:</b>			
<b>Applicant Name:</b>		<b>Applicant Phone Number:</b>	
<b>Project Manager:</b>	<b>Phone Number:</b>	<b>Fax Number:</b> (619) 321-3200	<b>E-mail Address:</b>
<b>Committee Recommendations (To be completed for Initial Review):</b>			
<input type="checkbox"/> <b>Vote to Approve</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>Vote to Approve With Conditions Listed Below</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>Vote to Approve With Non-Binding Recommendations Listed Below</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>Vote to Deny</b>	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> <b>No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)</b>			<input type="checkbox"/> <b>Continued</b>
<b>CONDITIONS:</b>			
<b>NAME:</b>		<b>TITLE:</b>	
<b>SIGNATURE:</b>		<b>DATE:</b>	
<i>Attach Additional Pages If Necessary.</i>		<b>Please return to:</b> Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			

# La Jolla Community Planning Association

Regular Meetings: 1<sup>st</sup> Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

## Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: [www.lajollacpa.org](http://www.lajollacpa.org)

[info@lajollacpa.org](mailto:info@lajollacpa.org)

President: Tony Crisafi

Vice President: Matt Mangano

2<sup>nd</sup> Vice President: Dave Gordon

Secretary: Suzanne Weissman

Treasurer: Mike Costello

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## FINAL MINUTES—

**Regular Meeting | Thursday, January 9, 2020 – 6 p.m.**

### **1.0 Welcome and Call to Order: Tony Crisafi, President, presiding, 6:01 pm**

**This is a full agenda, recorded meeting therefore, the following rules will be enforced:**

- Mobile devices off or on silent mode.
- All public and trustee comment will be addressed to the chair. Public & trustee comment will be limited to 2 minutes.
- Comments will be directed to the project or matter stated in third person for the purpose of respect & clarity
- Chair may ask for member votes. Please keep hands raised until the vote tally is announced.
- Chair will alternate order of trustee comment. Upon consensus, Chair will close discussion and call for a motion.
- Please notify chair of any organized public presentation requests prior to meeting – preferably a week.

**Quorum present:** Brady, Costello, Crisafi, Fitzgerald, Fremdling, Gordon, Ish, Jackson, Little, Mangano, Manno, Neil, Shannon, Weissman, Will. **Absent:** Courtney, Kane

### **2.0 Adopt the Agenda**

**Motion:** Adopt agenda, (Brady/Fitzgerald) **/Vote:** Unanimous, Chair abstains, **Motion carries.**

### **3.0 Meeting Minutes Review and Approval:**

#### **3.1– Regular meeting minutes**

**Neil:** Question whether 3<sup>rd</sup> paragraph of Secretary Report, item 5.2, should state that to be a trustee a person must have attended 3 meetings as a member (28 days after submitting application) or just have attended 3 meetings in the prior 12 months?

**Boyden:** Clarified by stating that you don't have to attend 3 meetings after becoming a member; you only have to attend 3 meetings. For example: one could attend in March and June, 2019, then join in Feb. 2020, and be qualified for a trustee.

Minutes will remain as written. There is a minor correction for \$2.00 in the Treasurer's Report making the Ending Balance \$545.16.

**Motion:** Approve minutes as amended (Jackson/Neil) **Vote:** 13-0-2, **Motion carries.**

**In Favor:** Brady, Costello, Fitzgerald, Fremdling, Gordon, Ish, Jackson, Little, Mangano, Manno, Neil, Weissman, Will

**Opposed:** none

**Abstain:** Shannon, Crisafi (chair)

## 4.0 Consent Agenda – 4.1 – 4.5

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. Projects may be pulled from consent agenda by anyone present. Items will be moved to full review at the present of following regular LJCPA meeting.

**The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.**

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair David Gordon, 3rd Monday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

### **4.1 – 8441 Whale Watch Way – Morgan Residence – Project No. 635054,**

Process 3, SDP & CDP to Demolish an existing residence & construct a two-story, 11,952 s.f. single family residence on 0.46-acre property. Property is within the s.f. zone of the La Jolla Shores Planned District, Coastal (Non-appealable Overlay zone and within the La Jolla Community Plan Area within Council District 1.

**PRC motion to approve 6-0-0**

### **4.2 – Completion of concrete re-paving project on section of Coast Blvd. near The Cave Store – City project to restore the street following emergency repairs.**

**T&T motion to approve 9-0-0**

### **4.3 – Leidy Residence – 6216 Avenida Cresta – Project No. 639782,**

Process 3, CDP for a new 7,172 s.f. two story single family residence with basement, 788 s.f. garage, 629 s.f. guest quarter and a detached 423 s.f. companion unit. The .24 acre site is in the RS-1-5 and Coastal Overlay (appealable) zone within the La Jolla Community Plan area, Council District 1.

**DPR motion to approve 4-0-1**

### **4.4 – 7815 Cuvier and 614 Sea Lane – Project No. 641955,**

Process 3, CDP & tentative map waiver for an addition to two existing single story units that total 1,167 s.f. each. The scope includes a 2nd story addition with roof deck that will create two detached residential condos that total 2,034 s.f. and 2,160 s.f. The .13 acre site is in the RM -1-1 zone and the coastal (non-appealable) overlay zone within the La Jolla Community Plan area, Council District 1.

**DPR motion to approve 4-0-1**

### **4.5 – 5421 Bellevue Ave. LLA – Project No. 558873**

Process 2, CDP for a lot line adjustment and consolidation of lots 11,12, 13 & 14 in block 26 of Bird Rock Addition of Map 1083 to make two parcels located at 5421 Bellevue Ave. The site is in the RS-1-7 coastal (non-appealable) overlay zone within the La Jolla Community Plan area and Council District 1.

**DPR motion to approve 6-0-1**

See Committee minutes and/or agenda for description of projects, deliberations, and vote.  
Anyone may request a consent item be pulled for full discussion by the LJCPA.

None pulled. **Motion:** approve consent agenda, (Gordon/Mangano) **Vote:** unanimous, chair abstains.  
**Motion carries.**

## 5.0 Officer Reports:

### 5.1 Treasurer - Mike Costello's report –

#### La Jolla Community Planning Association Treasurer's Report for January 9, 2020 Regular Meeting

Beginning Balance as of December 1, 2019	\$545.16
Income	
• Collections, Dec. 5, 2019	\$148.00
• CD Sales	\$ 00.00
Total Income	<u>\$148.00</u>
Expenses	
• Agenda printing , Dec. 5, 2019	\$72.41
• City Treasurer (Rec Center over-time)	00.00
• GoDaddy ( LJCPA email & website)	\$414.34
Total Expenses	<u>\$486.75</u>
Net Income/(Loss)	(-) \$338.75
Ending Balance of December 31, 2019	\$206.41

City staff agreed to continue to not charge for overtime on this room saving us about \$540.

**Little:** How does price of website compare to other options.

**Jackson:** The website was out of date from years ago; it was about \$100 to bring it up to date. About \$300 went for 3 year service with email account. This is not the cheapest but not most expensive either.

### 5.2 Secretary -

If you want your attendance recorded today, you should sign in at the back of the room or let me know that you want your attendance recorded. You are welcome to attend without signing in or joining.

LJCPA is a membership organization open to La Jolla residents, property owners and local business and non-profit owners at least 18 years of age.

Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: [www.lajollacpa.org/](http://www.lajollacpa.org/).

We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March.

You can become a Member after completing the application and attending one meeting. You can maintain your membership by documented attendance at one meeting per year. If you do not attend one meeting per year, your membership will expire.

To qualify as a candidate in an election to become a Trustee, a member must have documented attendance at **three** LJCPA meetings in the preceding 12-month period.

The attendance spreadsheet is posted on the LJCPA website. If you have any questions let me know. The spreadsheet updated through January will go onto the website in a day or two. We will have a Membership Committee meeting before the next election after the February Regular CPA meeting probably on Feb. 10 or 11. The meeting will be noticed.

## 6.0 Elected Officials – Information Only

### 6.1 Council District 1: Councilmember Barbara Bry.

Rep: Steven Hadley, 619-236-6972, [srhadley@sandiego.gov](mailto:srhadley@sandiego.gov)

**Hadley:** Passed out copies of the Bry Bulletin. Councilmember Bry received the letter sent last month requesting more timely notice and more time to respond to policy issues that come to the city such as the task force on planning groups. The councilmember will share that with the mayor when she meets with him the concerns we have with things that come out too late for this group to respond. I also promise to get anything that may be of interest to you to you as soon as we hear of it to give you a heads up. I am also working to get a brush clearing contract in final stages of being awarded to focus on Fay Ave. extensions among other things. With the current rains it is fairly easy to distinguish the brown weeds from green vegetation. We are working with the mayor's office to move along some of the under-grounding in the Muirlands area where SDGE has had trouble with soil and trenching. They are not coming back with a resolution and dragging on. In the meantime, we will get them to post electronic signs when they are having closures on Nautilus and other streets causing rerouting and traffic delays. Also we are working on Hillside Dr. I discovered by looking on Google Maps that in March of last year, trucks more than 4 tons were prohibited from going up Hillside. The new signage now allows trucks up to 5 tons to turn up that road. My question to traffic engineers is why we are allowing bigger trucks than a year ago to turn up Hillside Dr.

Last thing I am working on is a letter to Air B&B asking them to take the home on Blackgold Rd. off their platforms after the second newsworthy call about people being not only harassed but also harmed. Councilmember Bry is not against capitalism, people sharing their homes, but when our police resources are being used to baby sit unrestricted parties, these things need to be addressed and she is willing to do that.

The State of the City meeting is next Wednesday night at 6:00 pm at the Balboa Theater. Please connect with me there: find me and I will connect you with City staff there. The State of the District Address by Councilmember Barbara Bry will be on Wednesday night, January 29, 6:30 pm at University City High School Library.

**Little:** What a difference it makes to get scooters off the board walks. Will there be another vote on that?

**Reply:** Yes, there is a 2<sup>nd</sup> reading of that ban on scooters on Mission Beach, Pacific Beach and the Shores

**Little:** What is your reading on how that vote will go? **Reply:** we expect it to pass. The reason for a 2<sup>nd</sup> vote is that it is called for in an ordinance perhaps allowing time for people to change their vote.

**Gordon:** A recent announcement that Lime Scooters are leaving SD.

**Manno:** Is your office aware that the brush around Hillside Dr. is classified by the fire Department as extremely hazardous. I have heard nothing about the city doing anything to clear that brush. **Reply:** we have maps showing parks that are open space. We rely on private property owners to address brush on their property.

### 6.2 78th Assembly District: Assembly member Todd Gloria

Rep: Mathew Gordon 619-645-3090, [mathew.gordon@asm.ca.gov](mailto:mathew.gordon@asm.ca.gov) Not present

### 6.3 39th Senate District: State Senator Toni Atkins, Senate President pro Tempore Rep: Miller

Saltzman, 619-518-8188, [Miller.saltzman@sen.ca.gov](mailto:Miller.saltzman@sen.ca.gov) Not present

## 7.0 President's Report – Information only unless otherwise noted

**7.1** Annual trustee election will be held on March 5, 2020. Announcement, item 10.1

**7.2** La Jolla Community Foundation invites Community Planning Group members to view and discuss the Streetscape Plan – the village of La Jolla improvements – on Thursday, January 16<sup>th</sup> from 4:00 to 6:00 at the La Jolla Recreations Center – flyer attached

**Little:** Who is this group? **Crisafi:** privately funded through LJ Community Fdn. Part of the SD Foundation, an independent non-profit that relies on private donations. The MAD gets funding from property owners.

**Little:** What authority do they have to make changes? **Reply:** They have no authority; they have to get community approval and raise money to do improvement

## **8.0 Public Comment**

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

**8.1 City of San Diego – Community Planner:** Marlon Pangilinan, [mpangilinan@sandiego.gov](mailto:mpangilinan@sandiego.gov) Not present.

**8.2 UCSD – Senior Community Planner:** Alyssa Helper: [ahelper@ucsd.edu](mailto:ahelper@ucsd.edu)

We are hosting an open house about the proposed future College Living and Learning Neighborhood. Wednesday, January 22, 2020, 5 – 7 pm., UC San Diego Faculty Club, Atkinson Pavilion.

This is an opportunity to express concerns, support.

Recently broke ground on Franklin Antonio Hall Project, engineering building. We are now resuming our Community Advisory Group focusing on implementation of the Long Range Development Plan. We met on Dec. 11, including 3 members from this group; next meeting will be in February.

## **8.3 General Public**

**Joe LaCava:** I'm running for SD City Council District 1. I am giving this update as absentee ballots will be out on February 3. I have knocked on 600 doors and have been endorsed by Sherri Lightner, Donna Frye, Kristine Kehoe, Save SD Neighborhoods and the Sierra Club. Some folks wanted me to come back and answer questions about the ideas the City of SD is trying to do to change the nature of city planning groups as reported in the LJ Light three weeks ago. I am happy to do that next month at the will of the Chair.

**Costello:** Regarding the question about slates from the grand jury report; do we have to change our bylaws?

**La Cava:** This is a work in progress; nothing is final, but you should pay attention because some of the suggestions will disincentivize people from joining community planning groups. The idea of a slate is that outside members may recruit members they want to get elected, put a slate together, advertise it to the voters encouraging them to vote for that slate. The understanding has been that the planning group itself cannot put together a slate because we want open democracy; we want as many individuals to come forward. At a recent hearing city staff indicated they were going to change that and allow planning groups to put together their own slate. That was a shock and counter intuitive to the idea of being more inclusive encouraging individuals to show up. That is not policy yet.

**Phil Merten:** The project on 7615 Hillside Dr. on a lot steeply sloping down the street:

- Maximum height is 30' above grade per the Municipal Code.
- Overall maximum structure height on a sloping lot if there is 10' maximum elevation difference under the house the maximum height would be 40'.
- This project is a 3 story, 30' structure
- Immediately behind it is a second structure consisting of 25' high retaining walls with storage space underneath connected to the main structure.
- The Municipal Code states that if you have 2 structures that are separated by 6 horizontal feet, each structure is measured separately.
- On this site we have a 30' structure connected to a 25' structure with an overall height of 55'.
- The City has issued a notice of correction to the contractor.

- Since this project was permitted under an SDP and a CDP, changes and modifications to this building to bring it into compliance should come back to the community for review.
- The City has said they will approve the modifications and move ahead when they approve the modified drawings.
- I am requesting that you request the City to bring the modifications back to you for review and comments before the City approves any modifications.

**Ray Weiss:** I sent a message to the Development Permit Review committee on July 11, last year asking when the project at 1220 Park Row will be heard again with accurate measurements and drawings as was requested last February. As yet there has been no response to these requests by the applicant. Surely the applicant cannot stonewall the committee indefinitely? Is there a plan to hear this project again or to compel the applicant to comply? The residents of Park Row care deeply about the impact of the code violations on their community. Brian Will, chair of the DPR committee inquired at the City and was told by the Project Manager that this was still an open matter. Does City staff have any obligation to move these stalled projects along? Could this group write a letter requesting the City to act on this project? I would like to see this inaction by the City changed.

## 9.0 Non-Agenda Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less

**Fitzgerald:** Recommend trustees and audience go on website and look at recommendations for CPGs and comments from City Attorney. There are some very significant changes proposed. The material on the CPA website shows the City recommendations, what the CPG group recommended—the extent of the changes is eye opening.

**Will:** I will read an email from Project Manager, Xavier del Valle, on the Park Row project: “My apologies for the delayed response. I believe the ball is in our court regarding several issues that have been raised about the project. Since several staff working on the project are no longer with the City, we have delayed our response to the applicant. Based on our past meetings with the applicant on the outstanding issues, we anticipate another submittal in the near future and will deliver another set of plans for your review.”

**Ish:** Has there been a response from the UT or La Jolla Light about our letter about the Beach Groins?

**Crisafi:** By email I was referred to the advertising department, I think to place an ad with our letter.

**Ish:** Could a letter be sent as a letter to the editor? Also I spoke with the City concerning the 13<sup>th</sup> code update. It is now called the 2020 Update. The code monitoring committee has been disbanded; all code revisions are now going through the Community Planners Committee. There is a time constraint because the update with the issues we have concerning the serial permits and carports will be on the agenda at the CPG soon and then will go to the Planning Commission. I suggest that the 50% rule and other concerns be put on the agenda at DPR this month so they can go to the CPA next month.

**Manno:** Will the DPR recommendations be an action item for the CPA in February? **Reply:** Yes.

**Costello:** The Coastal Commission meeting will be on February 12 – 14 in LA – Orange County. The Substantial Conformance Review on blocking of the ramp to the Childrens’ Pool will be on that agenda. The permit for the lifeguard tower a decade ago specifically stated the ramp would remain open. The City, without consulting anyone, blocked the access ramp. I will let you know as soon as I have the date and time.

Also SB 50 may come up for a vote again. Could Councilmember Bry help us out to oppose that?

**Little:** SB 50 is a terrible thing; it will make every residence a 4-plex.

**Shannon:** SB 1069 and AB 68 are already on the books. SB 1069 allows accessory dwelling units and AB 68 provides for a 2<sup>nd</sup> accessory dwelling unit thus allowing 3 units on any lot. A lot of new legislation is in already in place and City staff has not kept up with implementing them.

**Neil:** Could you prepare a brief description of these bills for distribution to the trustees.

## **10.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.**

### **10.1 Election Committee – Kathleen Neil**

- There are 7 seats open for the election March 5, 2020, 6 for 3 year terms, 1 for 2 year term.
- A candidate forum will be held at the February 6, regular CPA meeting. Interested candidates can speak for 2 minutes each or can submit candidate statement to be read if they cannot attend.
- Eligible members who have attended 3 LJCPA meetings from March 2019 through February 2020 may declare their candidacy until the end of the Feb. 6, meeting.
- The election will be held from 3 to 7 pm on March 5, 2020 in this building
- The election now has 4 members, Kathleen Neil, Nancy Manno, Mike Costello, Janie Emerson

### **10.2 Community Planners Committee – Dave Gordon**

A special Community Planners Committee meeting was held on Dec. 10, that I was unable to attend. The Planning Department is asking for the public to complete a survey to ask for public opinions on planning groups. The survey is on the website until Jan. 16. Also the Land Use and Housing committee met to review the matrix covering the Grand Jury Report, City Attorney and CPG recommendations for planning groups.

### **10.2 Coastal Access & Parking Board – did not meet**

### **10.3 UC San Diego advisory Committee –**

**Mangano:** I recommend all to attend the UCSD open house on Jan. 22, reported earlier. I commend UCSD as an economic driver and powerhouse in the community and for their thoughtful expansion plans. At the meeting they reviewed the phasing and sequencing plans for the huge future construction to have minimum impact on the campus and the surrounding community.

**Gordon:** I commend UCSD for being thoughtful of our community when they do not have to abide by all local rules. They have been mandated by the Regents to expand the campus by 35%. They are trying to minimize the impact to our community by moving more housing onto campus, getting more people off the roads and staging construction within the campus. The new living and learning center near the LJ Playhouse will cause the closing of the current parking lot but they are trying to develop plans for parking and transportation asking for community input.

**Boyden:** I am concerned about the lack of a plan for parking at the LJ Playhouse for the period during construction before the underground parking is available. Gordon: a plan will be in place before construction begins.

### **10.4 Hillside Drive Ad Hoc Committee – Diane Kane, Chair – did not meet**

### **10.5 Airport Noise Advisory Committee – Matthew Price - did not meet**

### **10.6 Playa Del Norte Stanchion Committee – did not meet**

The following agenda items are ACTION ITEMS unless otherwise noted and may be *de novo* considerations. Prior actions by committees/boards are listed for information only.

## **11.0 – LJCPA Review and Action Matter**

### **11.1 CPA to draft a letter regarding recent approval of a vested Coastal Development Permit at 7819**

**Lookout Drive without community input via Substantial Conformance Review. The CDP was vested with a legal lot Line adjustment. Subsequent designs for the proposed single family residence have not been routed through the LJCPA. Proposed action is to clarify and correct the Substantial Conformance Review process with respect to Community review.**

The proposed letter was passed out at meeting and is attached to these minutes as Exhibit A



**Crisafi:** I move to continue this item to next month since Diane Kane who initiated this item is not here.

Discussion followed whether an item on the agenda can be postponed if a presenter is not present. A presenter came forward from the audience so all agreed to hear the item.

**Deseree Kellogg, neighbor:** We are requesting to send a letter to the mayor requesting City staff to reverse its decision to approve an expired permit from 2005 for a project that significantly differs from the original permit.

- In 2005 the structure was 22% smaller, called for minimal grading. Now they are excavating the entire site with a swimming pool in front yard in violation of the Municipal Code.
- We request public input at the Community Planning Association before approval

**Phil Merten:** According to DSD this building application is still under review and has not yet been issued. I am not familiar with this particular project, but I am very familiar with the regulations that control it.

- According to the description on the agenda a CDP was issued to construct a new home and a lot line adjustment.
- Lot line adjustment are required to go through the coastal development permit process.
- My understanding is that recently through the Substantial Conformance Review process modifications to the design of the structure and a realignment of the property line -- Lot Line Adjustment (LLA) -- were approved.
- The LLA is the issue in this case. This particular site is next to a site that Tony's office has been handling.
- The Municipal Code states that a LLA can occur provided the resulting parcels are in conformance with the MC. The La Jolla Shores Planned District Ordinance says that lots approved subsequent to the adoption of the LJSPDO must comply with the ordinance.
- The ordinance says that any lot created or modified must not be smaller than the average size of all parcels within 300 ft. of the site.
- One of these parcels is well below the average size of parcels within 300 ft. of it.
- This LLA needs to be looked at carefully. It made a substandard, non-conforming lot by reducing one of the lots, increasing the density of that lot which is prohibited by the Code and cannot be a finding for a CDP.
- The City issued IB 500 which says that any LLA that increases density on a parcel cannot be approved by a SCR. Those LLA's can only be approved by a CDP, not an over the counter review by City staff.
- I think this LLA approval by a ministerial SCR was probably issued by staff who are unfamiliar with the regulations, no illegal intent implied.
- Any development permit issued in contradiction of the MC is not legal and not valid. Bottom line this is a situation that needs careful review by this group.

**Boyden:** SCR's do come to the Permit Review Committee. In this case an amendment to the permit is required that should be treated as a new permit.

**Merten:** The City's newsletter on SCR's says that those reviews shall be done by City staff with no public notification -- a change in policy.

**Crisafi:** In the past LLA's and permit vesting have been handled differently regarding the SCR processes going to the community. It is not mandatory to send a SCR to the community for review. If the proposed dwelling unit under this CDP requires an amendment, we could simply ask for the opportunity to review the proposed residence. That might be more effective to state under current code that is required.

**Kane:** One of the problems is there is no information on this on Open DSD; the lot doesn't exist, none of the previous permits are mentioned there, the address is not there. There have been 3 coastal permits and a LLA and none of this is online. When we asked to see the plans, we were told they were proprietary and could not be viewed. We have asked politely to review them and chat with staff about our concerns. We have received no response.

**Crisafi:** I don't disagree with the letter; it could be distilled to get the point across asking DSD whether a SCR or coastal amendment is appropriate and to release the drawings to the public.

**Neil:** Are we going to entertain a motion or try to revise the letter? I see creep occurring regarding development that is not open and not available for review.

**Manno:** I have the same concern as Trustee Neil. This letter covers a number of things, is much too long and complicated. It needs to make 2 or 3 main points demanding a response.

With further discussion the trustees agreed that the biggest issues are that no information on the project has been available for public review, time is of the essence, we need to get someone's attention.

**Brady: Motion:** I move we send this letter as an attachment to a letter from the CPA president that conveys our major concern that there is no information available to the public and we want to a review. (Brady/Little)

**Crisafi:** I will send a cover letter by email outlining our main concerns for the record, to make information available to the public and request community review so the neighborhood can provide input to DSD.

**Vote:** Unanimous, Chair abstains. **Motion carries.**

Final audience comment, **Phil Merten:** A California Supreme Court decision in 1924: regardless of what has happened in the past, when a project is built on a specific date it has to comply with rules and regulations on that date. That undermines everything you have heard from the City of SD ecause we all rely on previous approvals. That supreme court decision has not been changed since 1924.

XX. Adjourn at 7:58 pm. to next regular LJCPA Meeting: Thursday, February 6, 2020 at 6:00 pm.

## EXHIBIT A

The Honorable Kevin Faulkner  
Mayor of City of San Diego

Dear Mayor Faulkner:

The La Jolla Community Planning Association (LJCPA) is officially recognized to advise the City of San Diego on land use matters within the La Jolla Community Plan boundaries. Our duties include recommendations for improvements to the La Jolla Community Plan, as well as conformance of individual development projects with the Land Development Code, Community Plan and General Plan. In our small community, the LJCPA recognizes the impact of every new development on surrounding residents, and we are dedicated to scrupulously maintaining the standards of our Community Plan.

The LJCPA has recently become aware of two different situations that we believe violate the City's land use regulations as they apply in La Jolla Shores. As the CPA with responsibility for the area, we expected to be consulted before approvals were issued. However, in both cases, Staff has proceeded to approve intrusive and non-conforming developments on Lookout Drive without seeking advice about Community Plan conformance or community impacts from the LJCPA. We believe Staff has set a very adverse precedent with both these cases that must be reversed to protect the future of our La Jolla community.

Stale or Expired Permits. During the height of the building boom before 2008, tentative parcel maps, Coastal Development Permits and Site Development Permits were approved for many projects that were never built. Now that the home building industry has recovered, many developers are trying to revive permits after more than a decade of inactivity. In cases where a developer had already made a substantial financial investment in the property before halting work, Municipal Code §126.0108 allowed the permit to remain in suspension until the market rebounded so the expenditures would not be wasted. However, for smaller projects where LLA/PM recordation did not require a substantial financial investment, the City added a requirement to its CDPs: "Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City following all appeal. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted." This permit condition was intended to insure the approval would not remain in effect indefinitely unless the owner had commenced physical construction, at least without giving the City and CPA an opportunity to revisit the appropriateness of the development.


The LJCPA has been very concerned to learn that Staff has been treating LLA/PM and Coastal Development Permits as "vested" in direct violation of the CDP condition requiring physical construction. The proposed building permit at 7837 Lookout Drive is a poster child for this concern. LLA 107757, CDP 107758 and LLA/PM 107759 were approved in 2005, concurrently with CDP 104484 and SDP 104485. The CDP required commencement of "construction, grading or demolition" (i.e. physical alteration of the property) within 36 months. Instead, although the LLA/PM was recorded in 2008, the lots remained physically untouched for more than 14 years, until a building permit application was submitted in 2019 for new construction. Staff accepted the application because the LLA/PM had been recorded, without considering whether the CDP and related approvals had expired because of a total failure to comply with the physical construction condition. The LJCPA strongly objects to any interpretation of the Municipal Code or CDP condition that allows a site development plan to be suspended without any activity for more than a decade, and then modified without additional community review to ensure that it remains consistent with the PDO and LUP.

Substandard Lot Sizes. The La Jolla Planned Development Ordinance (PDO) sets minimum lots sizes as "the average dwelling unit density (units per acre) of the developed Single-Family Zone within 300 feet." On Lookout Drive, the average lot size exceeds 11,000 square feet. Therefore, the minimum lot size on Lookout Drive is 11,000 square feet under the PDO and 8,000 square feet under Local Coastal Program Land Use Plan (LUP). When reviewing a proposed development at 7727-7729 Lookout Drive, the LJCPA discovered the City had approved a lot line adjustment/parcel map (LLA/PM) containing lots of only 5,000 square feet in 1997. The LJCPA cannot explain why lots less than half the size required under the PDO were approved in violation of San Diego Municipal Code §102.0207, which prohibits approval of a LLM/PM unless all lots meet mandatory minimum lot sizes. In the case of the Lookout Drive LLA/PM #17817, more than half the lots were +/-5,000 square feet in a +11,000 square foot neighborhood. In the case of 7837 Lookout Drive, the City allowed recordation of LLA/PM 107759 in 2008 with only substandard lots, including a reduction in the square footage of one lot below its original size.

It is not too late for the City to correct its erroneous approval of these LLC/PM in La Jolla Shores. If they were approved without valid Coastal Development Permits, as seems likely, there is not statute of limitations because they were never effective in any event. The remedy for invalid LLA/PMs under Municipal Code 125.0710 is lot merger, which can be implemented any time after the City is notified of the original error. Building permits issued in reliance on expired or invalid CDPs are subject to immediate revocation, even after construction.

The LJCPA is disappointed that it has been unable to resolve these important and precedential issues with Staff. However, without further discussion and explanation, we believe these projects and any similar applications violate multiple City regulations in violation of San Diego Municipal Code §121.0308(a). The LJCPA therefore requests Mayor Faulkner to exercise his authority under Municipal Code §121.0308(b) to require rescission of the approvals in accordance with the Land Development Code.

Thank you for your attention to our commitment to protecting the La Jolla Community.

	<b>City of San Diego</b> <b>Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<b>Ownership Disclosure Statement</b>	<b>FORM</b> <b>DS-318</b>  October 2017
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**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance  
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other \_\_\_\_\_

**Project Title:** Leidy Residence **Project No. For City Use Only:** 039182  
**Project Address:** 6216 Avenida Cresta  
La Jolla CA, 92037

**Specify Form of Ownership/Legal Status (please check):**

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: David and Pam Leidy ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: 3408 Lantz Circle  
 City: Plano State: TX Zip: 75025  
 Phone No.: (214) 564 4413 Fax No.: \_\_\_\_\_ Email: dleidy@spectrumvoip.com  
 Signature: [Signature] Date: 05.22.19  
 Additional pages Attached: ☐ Yes ☒ No

**Applicant**


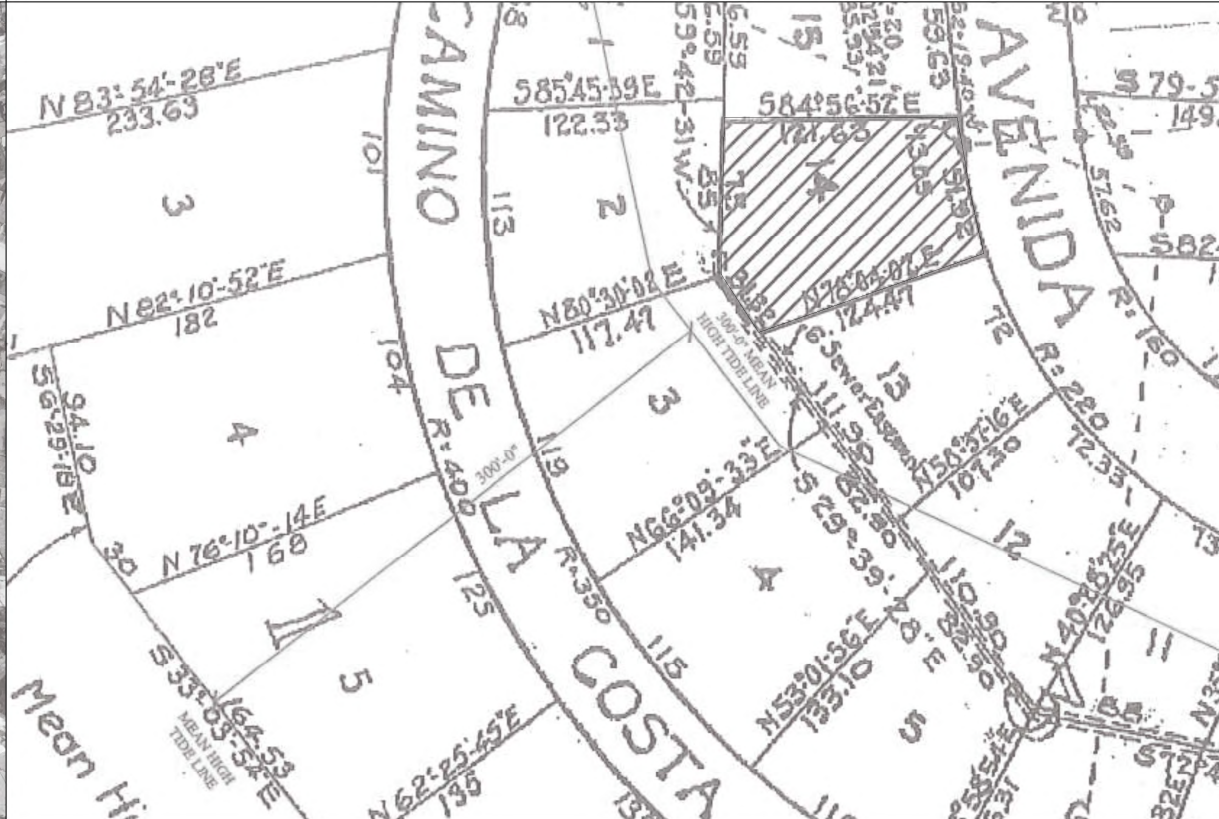
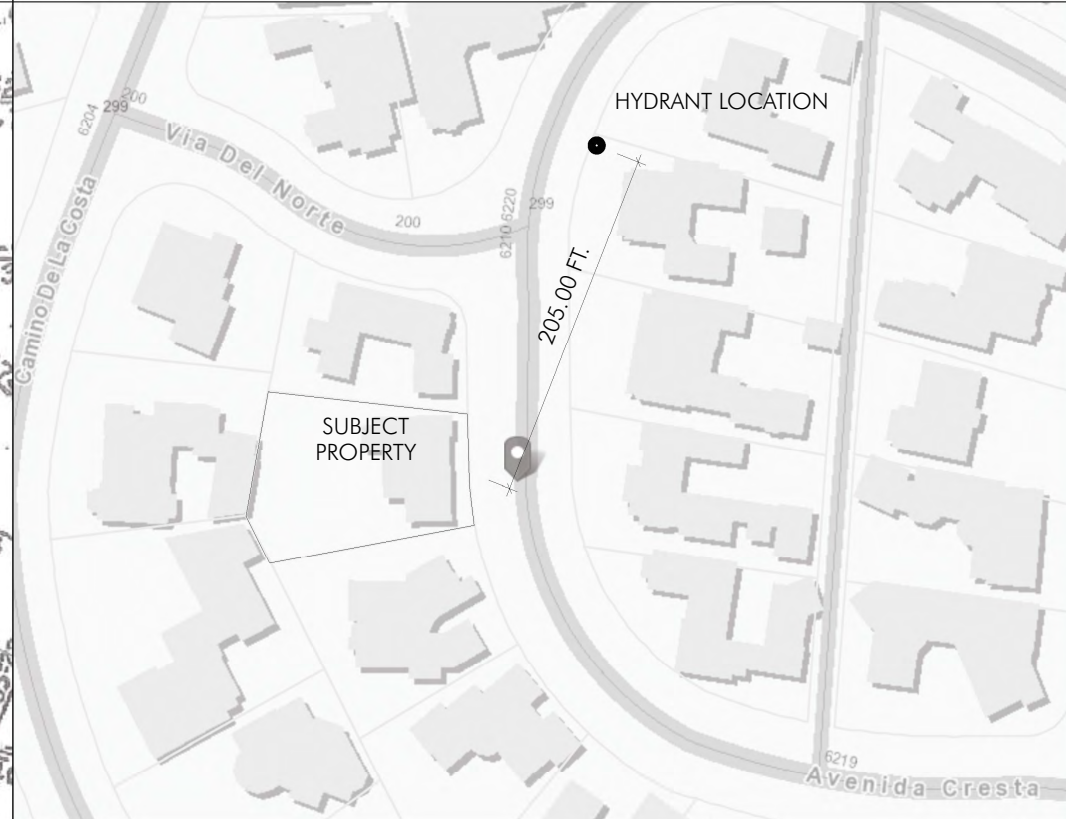

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 City: Plano State: TX Zip: 75025  
 Phone No.: (214) 564 4413 Fax No.: \_\_\_\_\_ Email: dleidy@spectrumvoip.com  
 Signature: [Signature] Date: 05.22.19  
 Additional pages Attached: ☐ Yes ☒ No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No

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 Upon request, this information is available in alternative formats for persons with disabilities.



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T1.0 TITLE SHEET T1.1a GENERAL NOTES T1.1b CAP T1.1c PROJECT FORMS AND APPROVALS T1.1d PROJECT FORMS AND APPROVALS T1.2a TITLE 24 FORMS T1.2b TITLE 24 FORMS T1.2c TITLE 24 FORMS T1.3a DOOR SCHEDULE T1.3b WINDOW SCHEDULE T1.4a GREEN SHEET T1.4b GREEN SHEET T1.5a WALL SCHEDULE T1.5b WALL SCHEDULE  SURVEY A1.0 SITE PLAN A1.0a SITE PLAN DETAILS A1.0b SITE PLAN COASTAL A1.0c PLAN DIAGRAMS A1.0d SITE PLAN EXCERPTS A1.0e GFA EXEMPTION DIAGRAM A1.1 BASEMENT FLOOR PLAN A1.2 GROUND FLOOR PLAN A1.3 SECOND FLOOR PLAN A1.4 ROOF PLAN  A2.0 NORTH ELEVATION A2.1 EAST ELEVATION A2.2 SOUTH ELEVATION A2.3 WEST ELEVATION  A3.1 BUILDING SECTION A3.2 BUILDING SECTION A3.3 BUILDING SECTION A3.4 BUILDING SECTION A3.5 BUILDING SECTION A3.6 BUILDING SECTION A3.7 BUILDING SECTION A3.8 BUILDING SECTION A3.9 BUILDING SECTION A3.10 BUILDING SECTION A3.11 BUILDING SECTION A3.12 BUILDING SECTION A3.13 BUILDING SECTION A3.14 STAIRWAY SECTION		OWNER: David and Pam Laidy 6216 Avenida Cresta La Jolla, CA 92037  PROJECT ADDRESS: 6216 Avenida Cresta La Jolla, CA 92037  APN: 357 012 13 00  LEGAL: LOT 14, BLK 3 PM 1810, LA JOLLA HERMOSA  YEAR BUILT: 1980 (ADDITION IN 2000)  ZONE: RS-1-5  DENSITY: 8,000.00 SQ. FT. / DU.  MAX. FAR: 0.54 (54%) 10,544.00 * 0.54 = 5,699.16 SQ. FT.  CURB TO PROPERTY LINE: 13 FT.  SETBACKS: (PER SDMC TABLE 131-04D) FRONT YARD: 20 FT. SIDE YARD: (PER SDMC 113.0243(c)(1)) AVERAGE WIDTH OF FIRST 50'-0" 82.64' + 70.97' = 153.61' 153.61 1/2' = 76.8' (AVG. WIDTH) 76.8 FT. 0.008 = 6.14 FT. 20 FT.  REAR YARD: 24'-0" / 30'-0" SITE SUBJECT TO 30° ANGLED TO BUILDING ENVELOPE PLAN (LOT WIDTH = 75 FT. - 150 FT. PER SDMC TABLE 131-04H) 30° FRONT YARD ENCROACHMENT PLANE NOT REQUIRED AS STRUCTURE DOES NOT EXCEED OVERALL STRUCTURE HEIGHT OF 27' + GRADE DIFFERENTIAL AS PER 113-02LL ▶ SEE A3.7  MAX. HEIGHT: 24'-0" / 30'-0" SITE SUBJECT TO 30° ANGLED TO BUILDING ENVELOPE PLAN (LOT WIDTH = 75 FT. - 150 FT. PER SDMC TABLE 131-04H) 30° FRONT YARD ENCROACHMENT PLANE NOT REQUIRED AS STRUCTURE DOES NOT EXCEED OVERALL STRUCTURE HEIGHT OF 27' + GRADE DIFFERENTIAL AS PER 113-02LL ▶ SEE A3.7  HEIGHT EXCEPTION: 30° FRONT YARD ENCROACHMENT PLANE NOT REQUIRED AS STRUCTURE DOES NOT EXCEED OVERALL STRUCTURE HEIGHT OF 27' + GRADE DIFFERENTIAL AS PER 113-02LL ▶ SEE A3.7  NR. OF STORIES: THIRD STORY ALLOWED STORY MAX. WIDTH = 70% OF LOT STORY MAX. DEPTH = 50% OF LOT  LOT SIZE: 10,554.00 SQ. FT.  EXISTING BUILDING: 1,876.00 SQ. FT. (17.7% FAR)  MAX. LOT PAVING: 60% FRONT YARD  GEOLOGIC HAZARD CAT.: S3  TYPE OF CONSTRUCTION: TYPE V NON RATED  OCCUPANCY CLASS.: RESIDENTIAL GROUP R-3 / U  EXISTING USE: SFR (SINGLE FAMILY RESIDENCE) PROPOSED USE: SFR (SINGLE FAMILY RESIDENCE)  OVERLAYS: COASTAL HEIGHT LIMIT OVERLAY ZONE (NON-APPEALABLE), COASTAL CITY OVERLAY ZONES (NON-APPEALABLE), PARKING IMPACT ZONE, RESIDENTIAL TANDEM PARKING ZONE, TRANSIT AREA ZONE  SCOPE OF WORK: A NEW 6,582.00 SQ. FT. SINGLE FAMILY RESIDENCE, + 405.00 SQ. FT. GARAGE, + 661.00 COMPANION UNIT TOTAL 7,648.00 SQ. FT.  PROPOSED STORIES: (2) STORY + BASEMENT  PROPOSED BUILD. HGT.: 33'-2" (LOWEST ADJACENT GRADE TO HIGHEST POINT OF BUILDING) ▶ SEE A3.7 AND A1.0  PARKING: (2) CAR ENCLOSED GARAGE STANDARD SPACES  SPRINKLERED: BUILDING TO BE FULLY SPRINKLERED  LOT COVERAGE: 3,144.00 SQ. FT. 3,144.00 SQ. FT. / 10,544.00 SQ. FT. = 0.2979 (29.79 %)  LOT AREA FRONT YARD: 1,369.00 SQ. FT.  HARD SCAPE FRONT YARD: 371.00 SQ. FT. 371.00 SQ. FT. / 1,369.00 SQ. FT. = 0.2710 (27.10 %)  BASEMENT QUALIFICATION: VERTICAL DISTANCE BETWEEN NATURAL GRADE OR FINISHED GRADE AND FINISHED FLOOR ABOVE AT NO POINT GREATER THAN 5' ▶ SEE A1.0 AND A2.0  GROSS FLOOR AREA BREAKDOWN: <table><thead><tr><th>ITEM:</th><th>EXISTING:</th><th>PROPOSED:</th><th>CREDIT:</th><th>TOTAL:</th></tr></thead><tbody><tr><td>BASEMENT:</td><td>0.00</td><td>2,762.00</td><td>2,460.00</td><td>302.00</td></tr><tr><td>FIRST FLOOR:</td><td>0.00</td><td>2,809.00</td><td>0.00</td><td>2,809.00</td></tr><tr><td>SECOND FLOOR:</td><td>0.00</td><td>2,077.00</td><td>0.00</td><td>2,077.00</td></tr><tr><td>AT GRADE:</td><td>0.00</td><td>335.00</td><td>0.00</td><td>335.00</td></tr><tr><td>TOTAL:</td><td>0.00</td><td>7,983.00</td><td>2,460.00</td><td>5,523.00</td></tr></tbody></table> ▶ SEE A1.0s FOR FLOOR AREA CALCULATION ▶ SEE A1.0s FOR CREDITED AREA  GROSS FLOOR AREA CALCULATIONS: BASEMENT FLOOR AREA: 2,762.00 SQ. FT. (2,460.00 SQ. FT. EXEMPT) FIRST FLOOR AREA: 2,809.00 SQ. FT. SECOND FLOOR AREA: 2,077.00 SQ. FT. AT GRADE AREA: 335.00 SQ. FT.  TOTAL GROSS FLOOR AREA – PROPOSED FAR: 5,502.00 SQ. FT.  LANDSCAPE AREA: LOT SIZE: 10,544.00 SQ. FT. (100.00 %) POOL AREA: 860.00 SQ. FT. (8.15 %) ROOF AREA: 3,652.00 SQ. FT. (34.60 %) PERMEABLE AREA: 3,022.00 SQ. FT. (28.63 %) IMPERMEABLE AREA: 3,020.00 SQ. FT. (28.61 %)		ITEM:	EXISTING:	PROPOSED:	CREDIT:	TOTAL:	BASEMENT:	0.00	2,762.00	2,460.00	302.00	FIRST FLOOR:	0.00	2,809.00	0.00	2,809.00	SECOND FLOOR:	0.00	2,077.00	0.00	2,077.00	AT GRADE:	0.00	335.00	0.00	335.00	TOTAL:	0.00	7,983.00	2,460.00	5,523.00	DESIGN: Daryl Oleinski, Principal O + L BUILDING PROJECTS, LLC 4501 Grandview Blvd Los Angeles, CA 90066  p. (310) 390 1650 e. doryl@Opulst.com  STRUCTURAL ENGINEER: Eric McCullum McCullum Engineering 727 2nd Street Hermosa Beach, CA 90254  p. (562) 856 2380 e. mccullum@mcengineering.com  CIVIL ENGINEER (SURVEY): Rinehart Engineering 6431 Cleone Way San Diego, CA 92117  p. (658) 268 8401 e. FDR@Rinehart-Engineering.com  CIVIL ENGINEER: Bill Dick, PE, LS, Civil Engineer Koppa Surveying & Engineering Inc. 8707 La Mesa Blvd La Mesa, CA 91942  p. (619) 465 8948  GEOLOGICAL ENGINEER: Christopher C. O'Hara TerraPacific Consultants Inc. 4010 Morena Blvd. Ste. 108 San Diego, CA 92117  p. (858) 521 1190  LANDSCAPE ARCHITECT: Trace Wilson Materia LLC  p. 310 903 2635 e. twilson@materia-llc.com  ENERGY COMPLIANCE ENGINEER: Troy Lindquist Alternative Energy System 3235 N. Verdugo Road Glendale, CA 91201  p. 818 957 7733 e. troy@the24energy.com  PLAN/CHECK CONSULTANT: Chandra Slaven, AICP  p. 619 316-7645 e. chandra.slaven@gmail.com  Tim Seaman Champion Permits PO Box 5955 Chula Vista, CA 91912  p. 619 993 8846 e. tim@championpermits.com		1. DURING CONSTRUCTION, AT LEAST ONE FIRE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STAIRWAYS AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 331.5.1. 2. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE IN CONFORMANCE WITH CFC CHAPTER 33. 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE MIN. 4 IN. HIGH WITH A MIN. STROKE WIDTH OF 0.5 IN. FOR RESIDENTIAL BUILDINGS CONFORMING WITH CFC. OTHER BUILDINGS; NUMBERS SHALL BE MIN. OF 6 IN. HIGH WITH A MIN. STROKE WIDTH OF 0.5 IN. [CFC, SEC. 505.1 AND SDMC SEC. 55.0505] 4. SHOWER COMPARTMENTS AND BATHURTS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC 9307.2  EVC GENERAL NOTES 5. A LISTED RACEWAY SHALL BE PROVIDED TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGER IN NEW ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES 6. RACEWAY SHALL BE NOT LESS THAN TRADE SIZE 1" (NOMINAL 1-IN INSIDE DIAMETER) TO ACCOMMODATE A DEDICATED 208/240V BRANCH CIRCUIT 7. THE EVCS RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV SPACE 8. THE EVCS RACEWAY SHALL BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREA AND SPACES 9. THE EVCS SERVICE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE 10. THE EVCS SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTLY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACES FOR FUTURE EV CHARGING PURPOSES AS EV CABLE AND THE RACEWAY TERMINATION LOCATION AS EV CABLE  CALGREEN GENERAL NOTES 11. THE CALIFORNIA GREEN BUILDING CODE (CALGREEN) APPLIES TO A: RESIDENTIAL BUILDINGS WHICH ARE UNDER THE JURISDICTION OF HCD. 12. CALGREEN APPLIES TO ALL NEW RESIDENTIAL OCCUPANCIES INCLUDING LOW RISE AND HIGH RISE 13. A PLUMBING/FITURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, A PLUMBING SUBCONTRACTOR OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT 14. NEW RESIDENTIAL DEVELOPMENTS WITH A LANDSCAPE AREA OVER 500 SF SHALL COMPLY WITH ONE OF THE FOLLOWING (CALGREEN 4.504.4): 1) LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO); 2) LANDSCAPE AREA LESS THAN 2500 SF MAY COMPLY WITH MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION 15. JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (CALGREEN 4.406.1) 16. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PLACED IN THE BUILDING. A SAMPLE OF THE MANUAL IS AVAILABLE ON THE HOUSING AND COMMUNITY DEVELOPMENT (HCD) WEBSITE. THE MANUAL SHOULD INCLUDE THE ITEMS LISTED IN 2016 CALGREEN 4.410.1 17. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION WITH TAPE, PLASTIC OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIP. (CALGREEN 4.504.1) 18. PAINTS, STAINS, COATINGS, ADHESIVES, SEALANTS AND CAULKS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN 2016 CALGREEN SECTION 4.504.2.1 19. THE VOC CONTENT VERIFICATION SHALL BE MADE AVAILABLE TO THE CITY STAFF UPON REQUEST 20. ALL NEW CARPET AND CARPET CUSHIONS INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: 1) CARPET AND RUG INSTITUTES GREEN LABEL PLUS PROGRAM; 2) CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350, 3) NSF/ANSI 40 AT THE GOLD LEVEL; 4) SCIENTIFIC CERTIFICATION SYSTEMS INDOOR ADVANTAGE TM GOLD 21. EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING (CALGREEN 4.504.4): 1) VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE; 2) CERTIFIED UNDER U. GREENGUARD GOLD; 3) CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFC) FLOOR SCORE PROGRAM; 4) MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION 01350 21. NEW HARDWOOD FLOORING, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD (MDF) COMPOSITE WOOD PRODUCT USED IN THE BLDG. SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN 2016 CALGREEN TABLE 4.504.5 22. THE FORMALDEHYDE EMISSIONS VERIFICATION SHALL BE MADE AVAILABLE TO CITY STAFF UPON REQUEST 23. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT (CALGREEN 4.505.3) 24. NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANCE AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH CAN ADJUST BETWEEN 50 TO 80% (2016 CALGREEN 4.506.1)  VHFSZ GENERAL NOTES 26. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAKES AND DEBRIS IN GUTTERS. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS PER CRC 9327.5-4; SDMC 149.0327(a) (1a) 27. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE PER SDMC 149.0327(a) (2a) 28. VALLEY FLASHING SHALL BE NOT LESS THAN 0.019 IN (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36 IN WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 22 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY PER CRC 9327.5.3 29. CHIMNEYS, FLUES OR STOVEPIES ATTACHED TO ANY FIREPLACE, STOVE, BARBECUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR PER SDMC 149.0327(b) 30. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS PER SDMC 149.0327(b) (3a) 31. GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERIOR AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA 101/11.5.2 STRUCTURAL REQUIREMENTS PER SDMC 149.0327(g)	
ITEM:	EXISTING:	PROPOSED:	CREDIT:	TOTAL:																																	
BASEMENT:	0.00	2,762.00	2,460.00	302.00																																	
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VICINITY MAP		MEAN HIGH TIDE MAP		HYDRANT LOCATION MAP		TRANSIT STOPS																															
																																					
AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)		AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)		AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)		AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS)																															
IN ACCORDANCE WITH RWQBC RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS: 1. THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQBC. 2. THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND 3. THE DISCHARGES: a. ARE ASSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE; b. ARE DESIGNED TO PREVENT SOIL EROSION; c. OCCUR ONLY DURING WEATHER AND d. ARE COMPOSED OF ONLY STORM WATER RUNOFF. NON-STORM WATER DISCHARGES (I.E. HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS ARE PROHIBITED AS DEFINED IN ORDER NO. RW 010.0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED OF THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.		IN ACCORDANCE WITH RWQBC RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS: 1. THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQBC. 2. THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND 3. THE DISCHARGES: a. ARE ASSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE; b. ARE DESIGNED TO PREVENT SOIL EROSION; c. OCCUR ONLY DURING WEATHER AND d. ARE COMPOSED OF ONLY STORM WATER RUNOFF. NON-STORM WATER DISCHARGES (I.E. HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS ARE PROHIBITED AS DEFINED IN ORDER NO. RW 010.0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED OF THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.		IN ACCORDANCE WITH RWQBC RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS: 1. THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQBC. 2. THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND 3. THE DISCHARGES: a. ARE ASSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE; b. ARE DESIGNED TO PREVENT SOIL EROSION; c. OCCUR ONLY DURING WEATHER AND d. ARE COMPOSED OF ONLY STORM WATER RUNOFF. NON-STORM WATER DISCHARGES (I.E. HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS ARE PROHIBITED AS DEFINED IN ORDER NO. RW 010.0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED OF THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.		IN ACCORDANCE WITH RWQBC RESOLUTION NO. 2012-0031, EXISTING STORM WATER DISCHARGES INTO AN ASBS ARE ALLOWED ONLY UNDER THE FOLLOWING CONDITIONS: 1. THE DISCHARGES ARE AUTHORIZED BY AN NPDES PERMIT ISSUED BY THE RWQBC. 2. THE DISCHARGES COMPLY WITH ALL OF THE APPLICABLE TERMS, PROHIBITIONS AND SPECIAL CONDITIONS CONTAINED IN THESE SPECIAL PROTECTIONS; AND 3. THE DISCHARGES: a. ARE ASSENTIAL FOR FLOOD CONTROL OR SLOPE STABILITY, INCLUDING ROOF, LANDSCAPE, ROAD, AND PARKING LOT DRAINAGE; b. ARE DESIGNED TO PREVENT SOIL EROSION; c. OCCUR ONLY DURING WEATHER AND d. ARE COMPOSED OF ONLY STORM WATER RUNOFF. NON-STORM WATER DISCHARGES (I.E. HYDROSTATIC TESTING, POTABLE WATER, ETC.) TO ASBS ARE PROHIBITED AS DEFINED IN ORDER NO. RW 010.0003. DISCHARGES SHALL BE LOCATED A SUFFICIENT DISTANCE FROM SUCH DESIGNATED AREAS TO ASSURE MAINTENANCE OF NATURAL WATER QUALITY CONDITIONS IN THESE AREAS. IF DISCHARGING TO THE SANITARY SEWER WITHIN THE ASBS, A REQUEST FOR AUTHORIZATION MUST BE SUBMITTED OF THE CITY PUBLIC UTILITIES DEPARTMENT FOR REVIEW AND APPROVAL.																															

OWNER:

David and Pam Leidy

6216 Avenida Cresta

La Jolla, CA 92037

PROJECT ADDRESS:

6216 Avenida Cresta

La Jolla, CA 92037

APN:

357 012 13 00

LEGAL:

LOT 14, BLK 3 MAP 1810, LA JOLLA HERMOSA

YEAR BUILT:

1980 (ADDITION IN 2000)

ZONE:

R-1-S

DENSITY:

8,000.00 SQ. FT. / DU.

MAX. FAR:

0.54 (54%)

10,544.00' 0.54 = 5,699.16 SQ. FT.

CURB TO PROPERTY LINE:

13 FT.

SETBACKS:

(PER SDMC TABLE 131-04D)

FRONT YARD: 20 FT.

LOT WIDTH x 0.08

(PER SDMC 113.0243(c)(i))

AVERAGE WIDTH OF FIRST 50'-0"

82.64' + 70.97' = 153.61'

153.61 1/2' = 76.8' (AVG. WIDTH)

76.8 FT. 0.008 = 6.14 FT.

20 FT.

REAR YARD:

MAX. HEIGHT:

24'-0" / 30'-0"

SITE SUBJECT TO 30° ANGLED TO BUILDING ENVELOPE PLAN

(LOT WIDTH – 75 FT. - 150 FT. PER SDMC TABLE 131-04H)

30° FRONT YARD ENCROACHMENT PLANE NOT REQUIRED AS STRUCTURE DOES NOT EXCEED OVERALL STRUCTURE HEIGHT OF 27' + GRADE DIFFERENTIAL AS PER 113-02LL

► SEE A3.7

HEIGHT EXCEPTION:

NR. OF STORIES:

THIRD STORY ALLOWED

STORY MAX. WIDTH = 70% OF LOT

STORY MAX. DEPTH = 50% OF LOT

LOT SIZE:

10,554.00 SQ. FT.

EXISTING BUILDING:

1,876.00 SQ. FT. (17.7% FAR)

MAX. LOT PAVING:

60% FRONT YARD

GEOLOGIC HAZARD CAT.:

53

TYPE OF CONSTRUCTION:

TYPE V NON RATED

OCCUPANCY CLASS.:

RESIDENTIAL GROUP R-3 / U

EXISTING USE:

SFR (SINGLE FAMILY RESIDENCE)

PROPOSED USE:

SFR (SINGLE FAMILY RESIDENCE)

OVERLAYS:

COASTAL HEIGHT LIMIT OVERLAY ZONE (NON-APPEALABLE), COASTAL CITY OVERLAY ZONES (NON-APPEALABLE), PARKING IMPACT ZONE, RESIDENTIAL TANDEM PARKING ZONE, TRANSIT AREA ZONE

SCOPE OF WORK:

A NEW 5,582.00 SQ. FT. SINGLE FAMILY RESIDENCE, + 405.00 SQ. FT. GARAGE, + 661.00 COMPANION UNIT

2: 7,648.00 SQ. FT.

p. 818.957-7733

e. troy@leidy24energy.com

PROPOSED STORIES:

(2) STORY + BASEMENT

PROPOSED BUILD. HGT.:

33'-2" (LOWEST ADJACENT GRADE TO HIGHEST POINT OF BUILDING)

► SEE A3.7 AND A1.0

PARKING:

(2) CAR ENCLOSED GARAGE STANDARD SPACES

SPRINKLERED:

BUILDING TO BE FULLY SPRINKLERED

LOT COVERAGE:

3,144.00 SQ. FT.

3,144.00 SQ. FT. / 10,544.00 SQ. FT. = 0.2979 (29.79 %)

LOT AREA FRONT YARD:

1,369.00 SQ. FT.

HARD SCAPE FRONT YARD:

371.00 SQ. FT.

371.00 SQ. FT. / 1,369.00 SQ. FT. = 0.2710 (27.10 %)

BASEMENT QUALIFICATION:

VERTICAL DISTANCE BETWEEN NATURAL GRADE OR FINISHED GRADE AND FINISHED FLOOR ABOVE AT NO POINT GREATER THAN 5'

► SEE A1.0 AND A2.0

GROSS FLOOR AREA BREAKDOWN:

ITEM:	EXISTING:	PROPOSED:	CREDIT:	TOTAL:
BASEMENT:	0.00	2,762.00	2,460.00	302.00
FIRST FLOOR:	0.00	2,809.00	0.00	2,809.00
SECOND FLOOR:	0.00	2,077.00	0.00	2,077.00
AT GRADE:	0.00	335.00	0.00	335.00
TOTAL:	0.00	7,983.00	2,460.00	5,523.00

► SEE A1.0b FOR FLOOR AREA CALCULATION

► SEE A1.0b FOR CREDITED AREA

GROSS FLOOR AREA CALCULATIONS:

BASEMENT FLOOR AREA:	2,762.00 SQ. FT.	(2,460.00 SQ. FT. EXEMPT)
FIRST FLOOR AREA:	2,809.00 SQ. FT.	
SECOND FLOOR AREA:	2,077.00 SQ. FT.	
AT GRADE AREA:	335.00 SQ. FT.	
TOTAL GROSS FLOOR AREA – PROPOSED FAR:	5,502.00 SQ. FT.	

LANDSCAPE AREA:

LOT SIZE:	10,544.00 SQ. FT. (100.00 %)
POOL AREA:	860.00 SQ. FT. (8.15 %)
ROOF AREA:	3,652.00 SQ. FT. (34.60 %)
PERMEABLE AREA:	3,022.00 SQ. FT. (28.63 %)
IMPERMEABLE AREA:	3,022.00 SQ. FT. (28.61 %)

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1. DURING CONSTRUCTION, AT LEAST ONE FIRE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 331.5.

2. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33, WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS EMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE MIN. 4 IN. HIGH WITH A MIN. STROKE WIDTH OF 0.5 IN. FOR RESIDENTIAL BUILDINGS. ALL OTHER BUILDINGS NUMBERS SHALL BE MIN. OF 6 IN. HIGH WITH A MIN. STROKE WIDTH OF 0.5 IN. (CFC, SEC. 505.1 AND SDMC SEC. 55.0505)

4. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2

EVC GENERAL NOTES

5. A LISTED RACEWAY SHALL BE PROVIDED TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGER IN NEW ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES

6. RACEWAY SHALL BE NOT LESS THAN TRADE SIZE 1" (NOMINAL 1-IN INSIDE DIAMETER) TO ACCOMMODATE A DEDICATED 208/240V BRANCH CIRCUIT

7. THE EVCS RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV SPACE

8. THE EVCS RACEWAY SHALL BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREA AND SPACES

9. THE EVCS SERVICE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40- AMPERE MINIMUM DERATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE

10. THE EVCS SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTLY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACES FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE AND THE RACEWAY TERMINATION LOCATION AS EV CHARGE

CALGREEN GENERAL NOTES

11. THE CALIFORNIA GREEN BUILDING CODE (CALGREEN) APPLIES TP A.; RESIDENTIAL BUILDINGS WHICH ARE WITHIN THE JURISDICTION OF HCD.

12. CALGREEN APPLIES TO ALL NEW RESIDENTIAL OCCUPANCIES INCLUDING LOW RISE AND HIGH RISE

13. A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, A PLUMBING SUBCONTRACTOR OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT

14. NEW RESIDENTIAL DEVELOPMENTS WITH A LANDSCAPE AREA OVER 500 SF SHALL COMPLY WITH ONE OF THE FOLLOWING (CALGREEN 4.304.4): 1.) LOCAL WATER EFFICIENT LANDSCAPE ORDNANCE OR CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO); 2.) LANDSCAPE AREA LESS THAN 2500 SF MAY COMPLY WITH MWEO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION

15. JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUTIS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (CALGREEN 4.406.1)

16. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PLACED IN THE BUILDING. A SAMPLE OF THE MANUAL IS AVAILABLE ON THE HOUSING AND COMMUNITY DEVELOPMENT (HCD) WEBSITE. THE MANUAL SHOULD INCLUDE THE ITEMS LISTED IN 2016 CALGREEN 4.410.1

17. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION WITH TAPE, PLASTIC OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIP. (CALGREEN 4.504.1)

18. PAINTS, STAINS, COATINGS, ADHESIVES, SEALANTS AND CAULKS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN 2016 CALGREEN SECTION 4.504.2.1

19. THE VOC CONTENT VERIFICATION SHALL BE MADE AVAILABLE TO THE CITY STAFF UPON REQUEST

20. ALL NEW CARPET AND CARPET CUSHIONS INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: 1.) CARPET AND RUG INSTITUTES GREEN LABEL PLUS PROGRAM, 2.) CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION D1350, 3.) NSF/ANSI 40 AT THE GOLD LEVEL, 4.) SCIENTIFIC CERTIFICATION SYSTEMS INDOOR ADVANTAGE TM GOLD 21. EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING (CALGREEN 4.504.4): 1.) VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE, 2.) CERTIFIED UNDER UL GREENGUARD GOLD, 3.) CERTIFICATION UNDER THE RESIDENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM, 4.) MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION D1350

22. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD (MDF) COMPOSITE WOOD PRODUCT USED IN THE BLDG. SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN 2016 CALGREEN TABLE 4.504.5

23. THE FORMALDEHYDE EMISSIONS VERIFICATION SHALL BE MADE AVAILABLE TO CITY STAFF UPON REQUEST

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT (CALGREEN 4.504.3)

25. NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANCE AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH CAN ADJUST BETWEEN 50 TO 80% (2016 CALGREEN 4.506.1)

VHFSZ GENERAL NOTES

26. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN GUTTERS. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS PER CRC R337.5.4; SDMC 149.0327(e) (1)

27. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE PER SDMC 149.0327(e) (2)

28. VALLEY FLASHING SHALL BE NOT LESS THAN 0.019 IN. (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8 IN WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY PER CRC R337.5.3

29. CHIMNEYS, FLUES OR STOVEPIES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SNARK ARRESTOR PER SDMC 149.0327(h)

30. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS PER SDMC 149.0327(b) (3)

31. GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NW1004 101/1.5.2 STRUCTURAL REQUIREMENTS PER SDMC 149.0327(g)

ADDITIONAL GENERAL NOTES

ENVIRONMENTAL/MITIGATION REQUIREMENTS: PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER/OWNER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OF THE FIELD ENGINEERING DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION(MWMC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDERS REPRESENTATIVES, JOB SITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS: QUALIFIED PALEONTOLOGIST; CONTACT INFORMATION: a) THE PRIMARY POINT OF CONTACT IS THE RE AT THE FIELD ENGINEERING DIVISION 858-627-3200, b) FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS, IT IS ALSO REQUIRED TO CALL RE AND MMC AT# 858-627-3360. MMRP COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) NO. 437916 AND/OR ENVIRONMENTAL DOCUMENT NO. 437916 EHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT 437916 AND IMPLEMENTED TO THE SATISFACTION OF THE DSD'S ENVIRONMENTAL DESIGNER (EMDC) AND THE CITY ENGINEER (RE). THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTED (i.e. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.) ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (i.e. SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.)

SITE WALL NOTES

SEE ► A1.0 FOR SITE PLAN

NOTE: ALL SITE WALLS SHALL BE UNDER A SEPARATE PERMIT

NORTH - PROPERTY LINE WALLS:

1. RETAINING WALL #1:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 115'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL

1. RETAINING WALL #1:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 115'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL

EAST - FRONT YARD WALLS:

1. SCREEN WALL #1:

STUCCOED 8" CMU SCREEN WALL, MAX. 3'-0" ABOVE FINISH GRADE AND 5'-10" LONG. SEE F2.1b ON A1.0a FOR DETAIL

2. SCREEN WALL #2:

STUCCOED 8" CMU SCREEN WALL, MAX. 3'-0" ABOVE FINISH GRADE AND 28'-8" LONG. SEE F2.1b ON A1.0a FOR DETAIL

3. RETAINING WALL #3:

12" THICK BOARD FORM CONCRETE WALL, MAX. 4'-0" HIGH ABOVE FINISH GRADE AND 17'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN.

4. RETAINING WALL #4:

12" THICK BOARD FORM CONCRETE WALL, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 11'-5" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

5. RETAINING WALL #5:

STUCCOED CONCRETE WALL, MAX. 10'-6" HIGH ABOVE FINISH GRADE AND 69'-0" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

6. RETAINING WALL #6:

STUCCOED CMU, MAX. 5'-3" HIGH ABOVE FINISH GRADE AND 43'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL

7. RETAINING WALL #7:

STUCCOED CMU, MAX. 5'-3" HIGH ABOVE FINISH GRADE AND 43'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL

8. RETAINING WALL #8:

STUCCOED CMU, MAX. 7'-0" HIGH ABOVE FINISH GRADE AND 50'-0" LONG. SEE F1.4c ON A1.0a FOR DETAIL

9. RETAINING WALL #9:

STUCCOED CMU, MAX. 10'-6" HIGH ABOVE FINISH GRADE AND 22'-0" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

10. RETAINING WALL #10:

STUCCOED CMU, MAX. 6'-0" HIGH ABOVE FINISH GRADE AND 1'-8" LONG. SEE F1.4c ON A1.0a FOR DETAIL

11. RETAINING WALL #11:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

12. RETAINING WALL #12:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

13. RETAINING WALL #13:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

14. RETAINING WALL #14:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

15. RETAINING WALL #15:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

16. RETAINING WALL #16:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

17. RETAINING WALL #17:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

18. RETAINING WALL #18:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

19. RETAINING WALL #19:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

20. RETAINING WALL #20:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

21. RETAINING WALL #21:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

22. RETAINING WALL #22:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

23. RETAINING WALL #23:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

24. RETAINING WALL #24:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

25. RETAINING WALL #25:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

26. RETAINING WALL #26:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

27. RETAINING WALL #27:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

28. RETAINING WALL #28:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

29. RETAINING WALL #29:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

30. RETAINING WALL #30:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

31. RETAINING WALL #31:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

32. RETAINING WALL #32:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

33. RETAINING WALL #33:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

34. RETAINING WALL #34:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

35. RETAINING WALL #35:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

36. RETAINING WALL #36:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

37. RETAINING WALL #37:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

38. RETAINING WALL #38:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

39. RETAINING WALL #39:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

40. RETAINING WALL #40:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

41. RETAINING WALL #41:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

42. RETAINING WALL #42:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

43. RETAINING WALL #43:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

44. RETAINING WALL #44:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

45. RETAINING WALL #45:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

46. RETAINING WALL #46:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

47. RETAINING WALL #47:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

48. RETAINING WALL #48:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

49. RETAINING WALL #49:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

50. RETAINING WALL #50:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

51. RETAINING WALL #51:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

52. RETAINING WALL #52:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

53. RETAINING WALL #53:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

54. RETAINING WALL #54:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

55. RETAINING WALL #55:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

56. RETAINING WALL #56:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

57. RETAINING WALL #57:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

58. RETAINING WALL #58:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

59. RETAINING WALL #59:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

60. RETAINING WALL #60:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

61. RETAINING WALL #61:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

62. RETAINING WALL #62:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

63. RETAINING WALL #63:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

64. RETAINING WALL #64:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

65. RETAINING WALL #65:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

66. RETAINING WALL #66:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

67. RETAINING WALL #67:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

68. RETAINING WALL #68:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

69. RETAINING WALL #69:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

70. RETAINING WALL #70:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

71. RETAINING WALL #71:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

72. RETAINING WALL #72:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

73. RETAINING WALL #73:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

74. RETAINING WALL #74:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

75. RETAINING WALL #75:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

76. RETAINING WALL #76:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

77. RETAINING WALL #77:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4" LONG. REFER TO STRUCTURAL DRAWINGS FOR WALL DESIGN AND THICKNESS. REFER TO CIVIL FOR EXTENT OF RETAINING WALL.

78. RETAINING WALL #78:

STUCCOED CMU, MAX. 11'-0" HIGH ABOVE FINISH GRADE AND 13'-4




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				<p>NO SCALE</p> <p>T1.1</p> <p>Sheet No. 2 / 59</p>



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**Certified to / Certifié :** ANSI Z21.88-2017 • CSA-2.33-2017

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**QAI LABORATORIES**  
CERTIFICATION TESTING INSPECTION

QAI CLIENT: MATAVERDE HARDWOOD DECKING & SIDING  
Report No.: RJ2432-  
April 18, 2011  
Page 2 of 2

### Firestone Ultrathin Modified Bitumen Product Options

Special Reinforced Systems		Standard Reinforced Systems		Single Ply Reinforced Systems	
ULS-Car®	150-SSS	150S PermaSeal™	150P	150S PermaSeal™	150P
ULS-Car®/Car	150S-Car	150S PermaSeal™/Car	150P/Car	150S PermaSeal™	150P
ULS-Truck	150S-Car/Truck	150S PermaSeal™/Truck	150P/Truck	150S PermaSeal™	150P
ULS-Truck/Truck	150S-Car/Truck/Truck	150S PermaSeal™/Truck/Truck	150P/Truck/Truck	150S PermaSeal™	150P

NOTE: See 150S-Car/Truck/Truck for details.

### Why cool roofs matter.

Firestone Building Products modified bitumen membranes with Ultrathin® products provide excellent light reflectivity and heat resistance which means the roof stays cooler and less likely to experience temperature and reduced demand for electricity during peak periods. Reflective roofs can reduce Firestone Ultrathin® products can also reduce the "heat island effect" that occurs when asphalt roofing surfaces have significantly higher average temperatures than the urban areas surrounding them.

	150S Products	150P Products	150S PermaSeal™ Products	150P PermaSeal™ Products
IR Reflectance	0.73	0.82	0.89	0.89
IR Emissivity	0.73	0.86	0.89	0.89

### The competition is in competition.

When compared to other manufacturer's roofing systems, Firestone Ultrathin® ASP and 150 products are clearly superior. They go on easily and smoothly, and are guaranteed not to wrinkle even when not in place. Here is a table of the additional benefits include:

- No peeling or need to use glue
- Excellent heat resistance
- Good granule retention
- Good resistance to foot traffic

### Firestone Building Products

150S PermaSeal™  
Firestone Building Products  
150P PermaSeal™  
Corporate Office • 800-438-4642 • 1570-0750  
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Firestone Building Products Latin America  
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Dallas, Texas 75236 • U.S.A.  
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## Firestone® Modified Bitumen Capshells w/ Ultrathin® Granules

### WARRANTY

20-Year Roof Shield® or 30-Year Roof Shield®/RoofShield® warranty available

### APPLICATION METHOD

- Commercial Flat Roofs
- Heat-Welding
- Streetside Rollouts
- MB Cold Adhesive

### COMPATIBLE SURFACES

- Steel
- Structural Concrete
- Plywood
- Reinforced-weld

### CODE APPROVALS

- IBC
- FM
- California Title 24
- Miami Code Query

### For details, visit us at California Title 24

### Access Products

PROJECT FORMS  
AND APPROVALS

NO SCALE

T1.1b



## FRAMELESS GLASS RAIL APPROVAL DATA

*Edward C. Robison, P.E.*

27 March 2013

C.R. Laurence Co., Inc.  
ATTN: Chris Hanstad  
2503 East Vernon  
Los Angeles, CA 90058

SUBJ: CRL SRS STANDOFF RAILING SYSTEM  
GLASS BALUSTRADE GUARDS

The SRS Standoff Railing System is an engineered guardrail system that utilizes point supported glass balustrades. When constructed in accordance with the attached details and installation guidelines the guardrail will safely support the following loading conditions:

- 200 pound point load on top rail, vertical or horizontal
- 50 plf load on top rail, vertical or horizontal or
- 25 psf uniform load on glass panel horizontal or
- 50 lb conc load on 1 sf

Wind load 25 psf or higher loads in accordance with the wind load tables herein.

For single family residential construction only the 200# concentrated top rail load, 50# concentrated load and wind load are applicable.

The SRS is to be used with tempered glass only, laminated or monolithic. Laminated glass shall be made with DuPont SentryGlas+ interlayer.

Glass light stresses may be evaluated using either the simplified methods shown herein or by finite element analysis models for the specific proposed installation.

For these conditions the railing meets applicable requirements of the 2006, 2009 and 2012 International Building Code and state codes adopted from the IBC codes, SEI/ASCE 8-02 and all requirements of ASTM E 2358-04.

Edward Robison, P.E.

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Typical Installation:  
For **single family residential**:  
1/2" tempered glass  
2 pairs of standoffs:  
Interior installation, 5" maximum width and 44" maximum height above standoffs.  
Exterior installation 4" maximum width and 44" maximum height above standoffs, 15.3 psf.

3 pairs of standoffs:  
Interior installation, 7" maximum width and 44" maximum height above standoffs.  
Exterior installation 5" maximum width and 44" maximum height above standoffs, 30.8 psf.

For **commercial and other applications**:  
3/4" tempered glass  
2 pairs of standoffs:  
5'-6" maximum width and 44" maximum height above standoffs, 30.8 psf.

3 pairs of standoffs:  
7" maximum width and 44" maximum height above standoffs, 28 psf.  
For other light sizes and wind loads refer to the equations and figures herein.

Signature Page Signed 03/28/2013



## GLASS BALUSTRADE GUARD RAIL

## GLASS STRENGTH

All glass is fully tempered glass conforming to the specifications of ANSI Z97.1, ASTM C 1048-97b and CPSC 16 CFR 1201. For the 1/2" glass the typical Modulus of Rupture, F, is 24,000 psi.

The applicable safety factor against glass rupture is 4.0 in accordance with IBC 2407.1.1

Allowable glass bending stress: 24,000/4 = 6,000 psi. – Tension stress calculated.

Bending strength of glass for the given thickness:  
 $S = 12 \sqrt{t} (t)^2 = 2^* (t)^2 \text{ in}^3/\text{ft}$

Use the minimum glass thickness for stress calculations:

Figure 1

For 1/2" glass,  $t_{min} = 0.469"$ ; Weight = 6.5 psf

$S = 2^*(0.469)^2 = 0.44 \text{ in}^3/\text{ft}$   
 $M_{allow} = 6,000 \text{ psi} * 0.44 \text{ in}^3/\text{ft} = 2,640^* \text{ #}/\text{ft} = 220^* \text{ #}$

For 5/8" glass,  $t_{min} = 0.595"$ ; Weight = 9.8 psf

$S = 2^*(0.595)^2 = 0.708 \text{ in}^3/\text{ft}$   
 $M_{allow} = 6,000 \text{ psi} * 0.708 \text{ in}^3/\text{ft} = 4,248^* \text{ #}/\text{ft} = 354^* \text{ #}$

For 3/4" glass,  $t_{min} = 0.719"$ ; Weight = 9.8 psf

$S = 2^*(0.719)^2 = 1.034 \text{ in}^3/\text{ft}$   
 $M_{allow} = 6,000 \text{ psi} * 1.034 \text{ in}^3/\text{ft} = 6,204^* \text{ #}/\text{ft} = 517^* \text{ #}$

The allowable moments are based on the minimum glass thickness allowed for the nominal thickness. The section properties and allowable moments may be calculated based on the actual glass thickness supplied.

Laminated glass shall be evaluated based on the effective thickness determined in accordance with ASTM E1300 or the DuPont online laminated glass calculator.

For wind loading the allowable glass stress may be increased in accordance with ASTM E1300. It is recommended that a maximum allowable stress of 9,600 psi be used for wind loads. For wind loads the allowable moment may be taken as:

$$M_{wind} = M_{allow} * 9,600 / 6,000 = 1.6 M_{allow}$$

For cantilevered elements basic beam theory for cantilevered beams is used.

$$M_u = \chi W^* h^2 / 2 \text{ for uniform load } u \text{ or}$$

$$M_u = \chi P^* h / B \text{ for concentrated load } P \text{ or}$$

$$M_u = \chi U^* h \text{ for uniform top rail load } U \text{ or}$$

$$M_u = \chi W^* h^2 * 0.55 \text{ for uniform wind load } W$$

Where  $\chi$  is the moment amplification factor accounting for the increased maximum moment caused by the point supports. Where:

$$\chi = f(\alpha) \text{ where the function is derived from FEA models and}$$

$$\alpha = B/h$$

## MOMENT AMPLIFICATION FACTORS:

The moment amplification factors were derived from a series of FEA models. The equations are applicable for the geometric configurations shown. In lieu of using the amplification factors shown herein the glass light stresses may be evaluated using either the simplified methods shown herein or by finite element analysis models for the specific proposed installation.

## GLASS PANELS LOADS:

From IBC 1607.7

On hand rail or top of glass – 200lb concentrated or 50 plf

Any direction

Or On panel – 25 psf horizontal load

Or Wind load horizontal to glass either direction.

For vertical glass dead loads will not cause glass bending stress and glass bearing stresses are small and may be ignored.

## ALLOWABLE WIND LOAD

Allowable wind load pressure may be calculated from:

$$W = 1.6^* M_{allow} / (\chi * 0.55^* h^2) = 2.9^* M_{allow} / (\chi^* h^2)$$

## WIND LOADING

For wind load surface area is full area of guard:

Calculated in accordance with SEI/ASCE 7 section 6.5.13 Design Wind Loads on Open Buildings and Other Structures. This section is applicable for free standing building guardrails, wind walls and balcony railings that return to building walls. Section 6.5.12.4 Parapets may be applicable when the rail is along a roof perimeter. **Actual wind loads must be determined by a qualified individual for a specific installation.**

$p = q_i(GC_{pi}) = q_i GC_i$  (SEI/ASCE 7-05 eq. 6-26)

For guardrails the coefficients have the following values:

$$G_i = 0.925 \text{ from section 6.5.8.2 for a very flexible structure.}$$

$$C_i = 2.5^* 0.8^* 0.6 = 1.2 \text{ Figure 6-20 with reduction for solid and end returns, will vary.}$$

$$Q_z = K_z K_d K_{zt} V^3 \text{ Where:}$$

$$I = 1.0$$

$$K_z = \text{From Table 6-3 at the height } z \text{ of the railing centroid and exposure.}$$

$$K_d = \text{From Figure 6-4 for the site topography, typically 1.0.}$$

$$V = \text{Wind speed (mph) 3 second gust, Figure 6-1 or per local authority.}$$

Exp B	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>	Exp C	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>	Exp D	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>
120	1	0.85	1.11	120	1	0.85	1.11	120	1	0.85	1.11
Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)	Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)	Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)
30	0.7	21.9	24.3	15	0.85	26.6	29.6	15	1.03	32.3	35.8
40	0.76	23.8	26.4	20	0.9	28.2	31.3	20	1.08	33.8	37.6
Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>	Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>	Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>
130	1	0.85	1.11	130	1	0.85	1.11	130	1	0.85	1.11
Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)	Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)	Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)
30	0.7	25.7	28.6	15	0.85	31.3	34.7	15	1.03	37.9	42.0
40	0.76	27.9	31.0	20	0.9	33.1	36.7	20	1.08	39.7	44.1
Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>	Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>	Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>
140	1	0.85	1.11	140	1	0.85	1.11	140	1	0.85	1.11
Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)	Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)	Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)
30	0.7	29.9	33.1	15	0.85	36.3	40.2	15	1.03	43.9	48.8
40	0.76	32.4	36.0	20	0.9	38.4	42.6	20	1.08	46.1	51.1
Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>	Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>	Wind Sp	K <sub>zt</sub>	K <sub>d</sub>	GC <sub>p</sub>
150	1	0.85	1.11	150	1	0.85	1.11	150	1	0.85	1.11
Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)	Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)	Height	K <sub>z</sub>	q <sub>z</sub>	p (psf)
30	0.7	34.3	38.0	15	0.85	41.6	46.2	15	1.03	50.4	56.0
40	0.76	37.2	41.3	20	0.9	44.1	48.9	20	1.08	52.9	58.7

For free standing guards and wind walls that do not return to a building wind loads shall be determined in accordance with SEI/ASCE 7-05 section 6.15.14 and figure 6-20.

## CR Laurence Standoff Rail System – SRS

## CALCULATE PEAK GLASS MOMENT

DETERMINATION OF  $\chi$ :

For two pairs of standoffs:

Applicability – Light Geometry

Standoffs in pairs are located 4" apart.

$$a: 6" \leq a \leq 2h$$

$$b: 12" \leq b \leq 60"$$

$$c: 3" \leq c \leq h$$

$$d: 2" \leq d \leq 10"$$

h: limited by glass stress

$$\alpha = B/2d$$

$$\alpha = B/h: 0.1 < \alpha \leq 2.0$$

Example:

Glass light width B = 48" and h = 48"

$$\alpha = B/h = 48/48 = 1.0$$

$\chi = 1.85$  Determine value of  $\chi$  from graph, figure 2

Load = 50 plf or 200# or 25 psf:

$$M_u = \chi U^* h^2 / 2 = 1.90^* 25 \text{ psf}^* 4^2 / 2 = 380^* \text{ #}/\text{ft}$$

$$M_u = \chi P^* h / B = 1.90^* 200 \text{ #}^* 4^2 / 4 = 380^* \text{ #}/\text{ft}$$

$$M_u = \chi U^* h = 1.90^* 50 \text{ plf}^* 4 = 380^* \text{ #}/\text{ft}$$

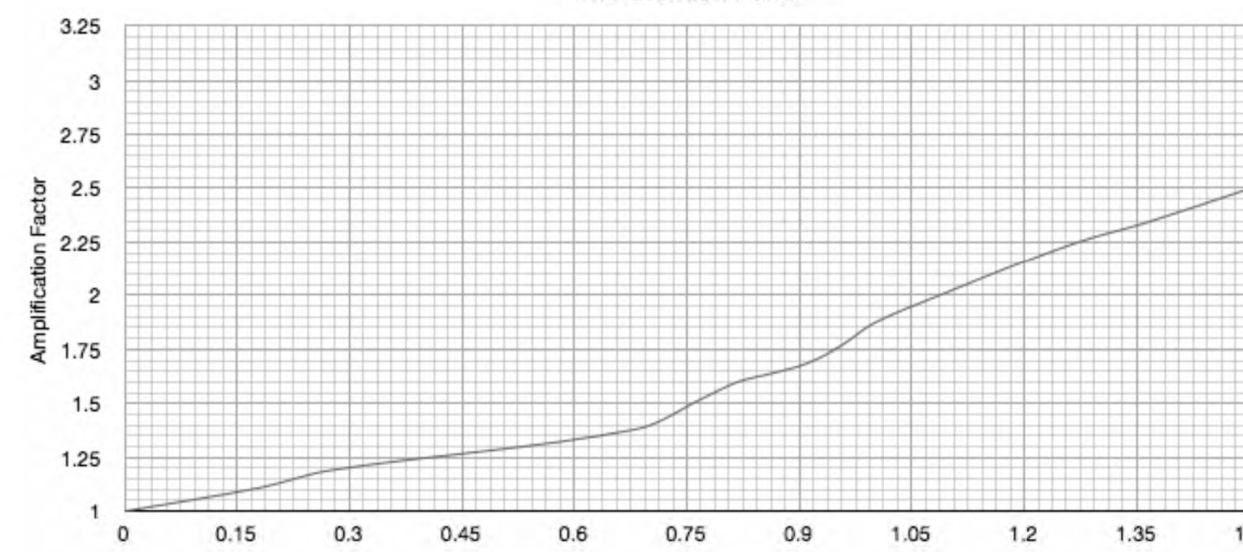


Figure 2

For 200# concentrated load on 1 sf of glass (at top corner for worst case) the moment is distributed across the panel width at the standoffs so that moment is essentially the same as for a top rail applied load. C = lesser of B or h

$$M_u = \chi P^* (h^2/C) = 1.90^* 200 \text{ #}^* (4^2 \cdot 0.5^2) / 4 = 332.5^* \text{ #}/\text{ft}$$

For typical 42" guard height, h = 44":

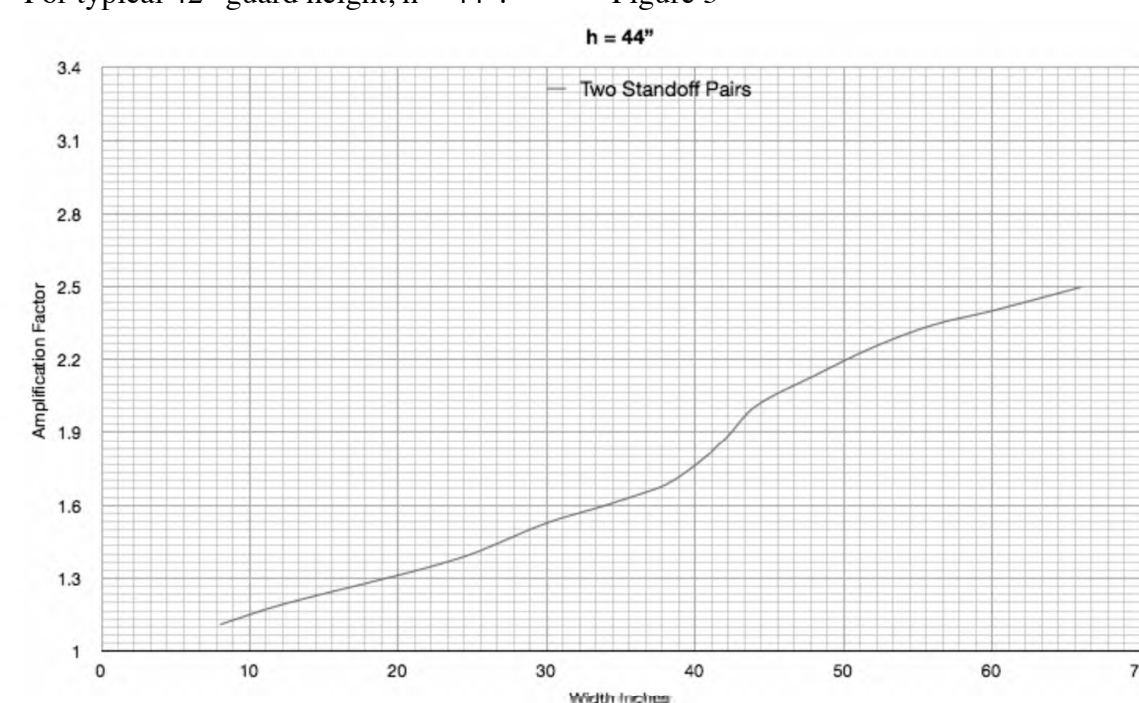


Figure 5

h = 44"

**1/2" Glass Applications**  
Acceptable light sizes for 1/2" glass:  
For 1/2" glass,  $t_{min} = 0.469"$   
 $S = 2^*(0.469)^2 = 0.44 \text{ in}^3/\text{ft}$   
 $M_{allow} = 6,000 \text{ psi} * 0.44 \text{ in}^3/\text{ft} = 2,640^* \text{ #}/\text{ft} = 220^* \text{ #}$   
For single family residential applications apply 200# concentrated top rail load – 50 plf load is not applicable.  
With top rail distributing concentrated load to two lights minimum – 100# each light

## For Two Support Pairs:

Try minimum light size of 32", height 44";  $\alpha = 32/44 = 0.727$

$$\chi_2 = 1.57 \text{ for 2 pairs}$$

$$M = 1.57^* 100 \text{ #}^* 44 = 6,908^* \text{ #} \leq 2.667^* 2,640^* \text{ #}/\text{ft} = 7,041^* \text{ #}$$

For interior residential applications infill load = 5 psf for differential pressure:

$$M = 1.57^* 5 \text{ psf}^* 3.667^2 / 2 = 52.78^* \text{ #}/\text{ft} \text{ for } 32" \text{ light width}$$

$$\text{Maximum uniform load} = 220/52.78^2 = 20.8 \text{ psf}$$

Check maximum light width of 66" x 44" high

$$\chi_2 = 2.5 \text{ for 2 pairs}$$

$$M = 2.5^* 5 \text{ psf}^* 3.667^2 / 2 = 84.04^* \text{ #}/\text{ft} \text{ for } 32" \text{ light width}$$

$$\text{Maximum wind uniform load} = W = 2.9^* M_{allow} / (\chi^2 h^2) = 2.9^* 220 / (2.5^2 \cdot 3.667^2) = 19 \text{ psf}$$

okay for 85 mph 3 sec gust exposure B below 30'

Check wind load for a standard light width, B = 48" and h = 44"

$$\alpha = 48/44 = 1.091$$

$$\chi_2 = 2.133 \text{ for 2 pairs}$$

$$M = 2.133^* W \text{ psf}^* 3.667^2 * 0.55 \leq 1.6^* 220^* \text{ #} \text{ solving for } W$$

$$W = 220^* \text{ #}^* 1.6 / (2.133^2 * 0.55^2 \cdot 3.667^2) = 22.3 \text{ psf}$$

## General Equation for 1/2" glass and 2 support pairs:

$$\text{Allowable wind load} = 640^* \text{ #}/(\chi_2^2 h^2)$$

For Non-single family residential applications guard must be designed for 50 plf top rail load:

For  $\chi_2 = 2.4$ ,  $\alpha = 1.364$  determine the maximum height:

$$h = 220 / (2.4^2 * 0.55) = 1.833^* (1^2 \cdot 10^4)$$

$$B = 1.833^* 1.364 = 2.5^* (30^*)$$

Typically 1/2" Glass is not to be used in Non-single family residential applications.

Page 7 of 21

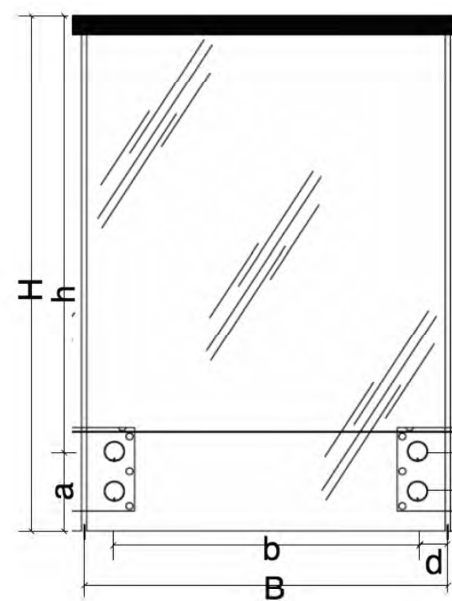
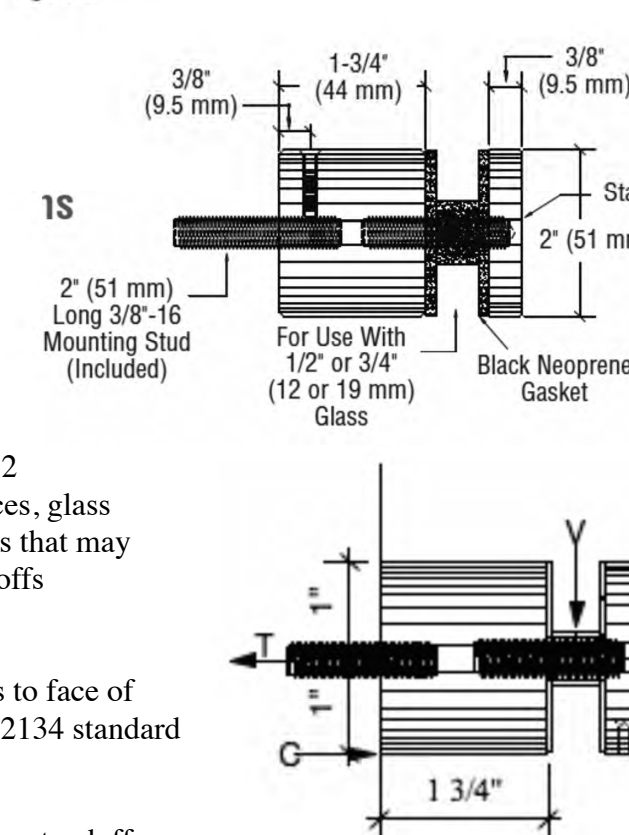
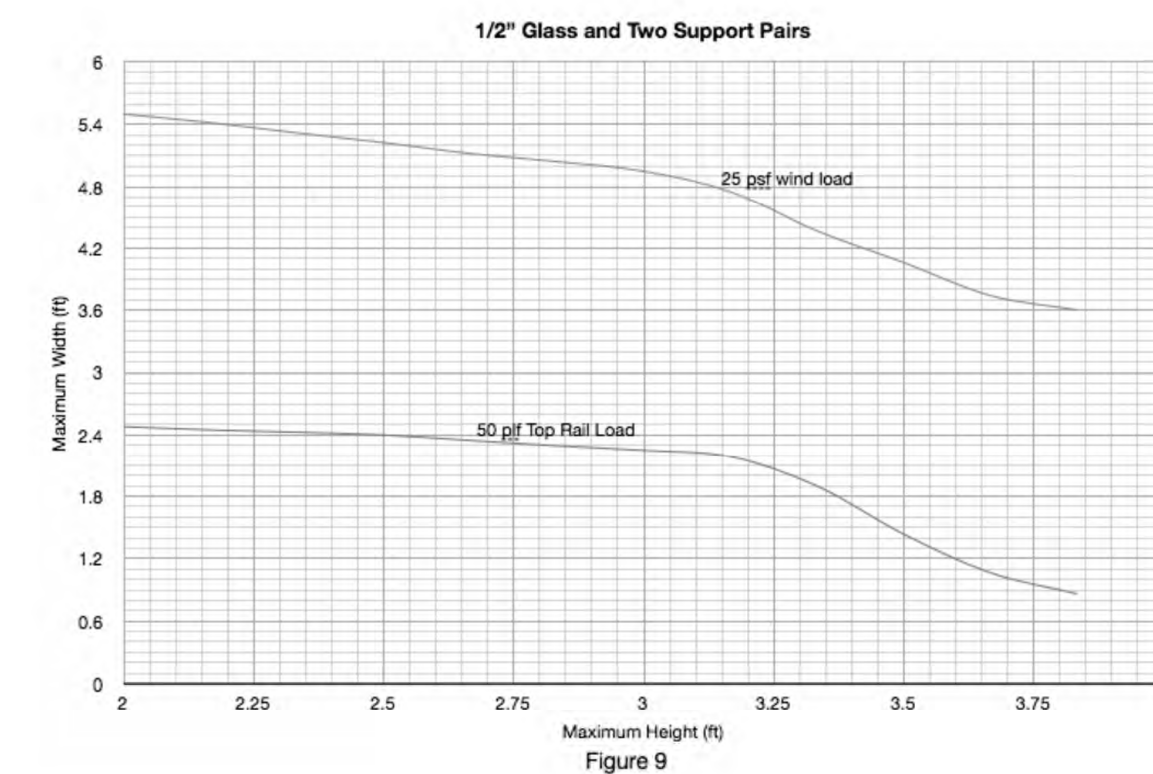


Figure 1



## GLASS STANDOFFS

To determine reactions on the standoffs:

Reactions are calculated using summation of forces and summation of moments:

$$V = D \cdot L$$

where D = glass dead load plus cap rail or other attachments to the glass.

$$L = \text{greater of } 200^* \text{ or } 50 \text{ plf}^* B$$

Vertical load share per standoff:

$$V_c = D/2 \text{ standoffs}$$

Assumes vertical load is supported on any 2

standoffs to allow for construction tolerances, glass

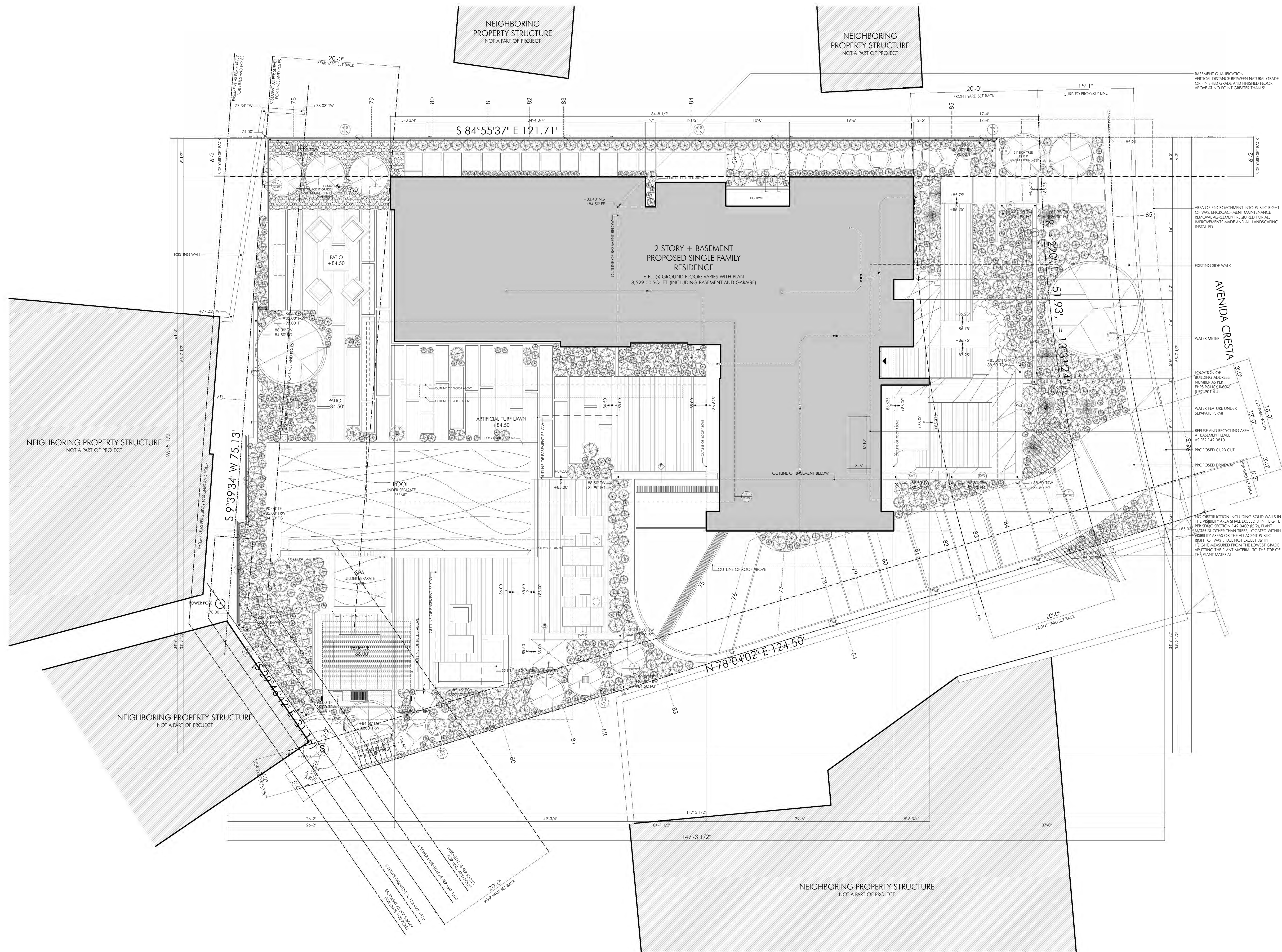
expansion and contraction and other factors that may

cause uneven vertical loading on the standoffs

Moment on standoffs from vertical force:

$$M_u = V_c^* k$$



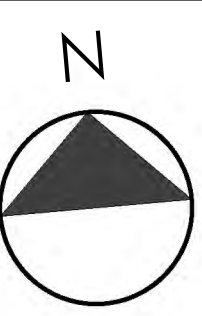


SITE PLAN LEGEND	
	PROPERTY LINE
	SET BACK LINE
	LINE OF EASEMENT
	LINE OF NATURAL GRADE
	LINE OF FINISHED GRADE
	OUTLINE OF FLOOR ABOVE
	OUTLINE OF ROOF ABOVE
	OUTLINE OF BASEMENT BELOW
	OUTLINE OF EXISTING DRIVEWAY TO BE REMOVED
	ELEVATION MARKER
FG	FINISHED GROUND
NG	NATURAL GROUND
TW	TOP OF WALL
TFW	TOP OF FENCE
TF	TOP OF FENCE
RW	RETAINING WALL
SW	SCREEN WALL

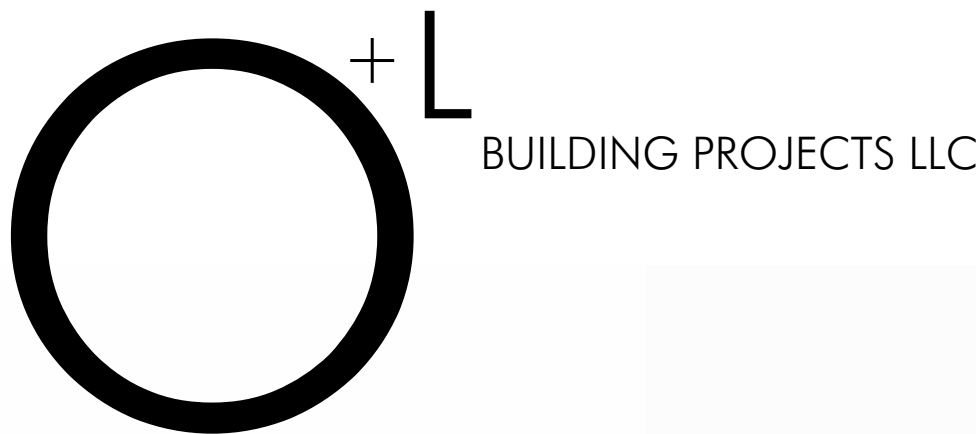
- SITE PLAN NOTES**
1. RECONSTRUCT THE DAMAGED EXISTING SIDEWALK AND CURB WITH CURRENT CITY STANDARD SIDEWALK, CURB AND GUTTER, ADJACENT TO SITE.
  2. CLOSURE OF ALL NON-UTILIZED DRIVEWAYS WITH CURRENT CITY STANDARD CURB, GUTTER AND SIDEWALK.
  3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/ PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/ PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
  5. EXISTING WATER METER AND SEWER LATERAL SERVICES ARE TO REMAIN.

FLOOR PLAN DATA:	
LOT SIZE:	10,554.00 SQ. FT.
LOT COVERAGE:	3,123.00 SQ. FT. / 10,544.00 SQ. FT. = 0.2968 (29.68 %)
LOT AREA FRONT YARD:	1,369.00 SQ. FT.
HARD SCAPE FRONT YARD:	371.00 SQ. FT. / 1,369.00 SQ. FT. = 0.2710 (27.10 %)
LANScape AREA:	LOT SIZE: 10,554.00 SQ. FT. (100.00 %) POOL AREA: 860.00 SQ. FT. (8.15 %) ROOF AREA: 3,652.00 SQ. FT. (34.40 %) PERMEABLE AREA: 3,020.00 SQ. FT. (28.61 %) IMPERMEABLE AREA: 3,022.00 SQ. FT. (28.63 %)

CONTRACTOR TO CROSS  
REFERENCE DETAIL CALL OUTS OF  
FLOOR PLANS, ELEVATIONS AND  
SECTIONS AND NOTIFY DESIGN  
PROFESSIONAL IF ANY  
DISCREPANCIES OCCUR.



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Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

SITE PLAN

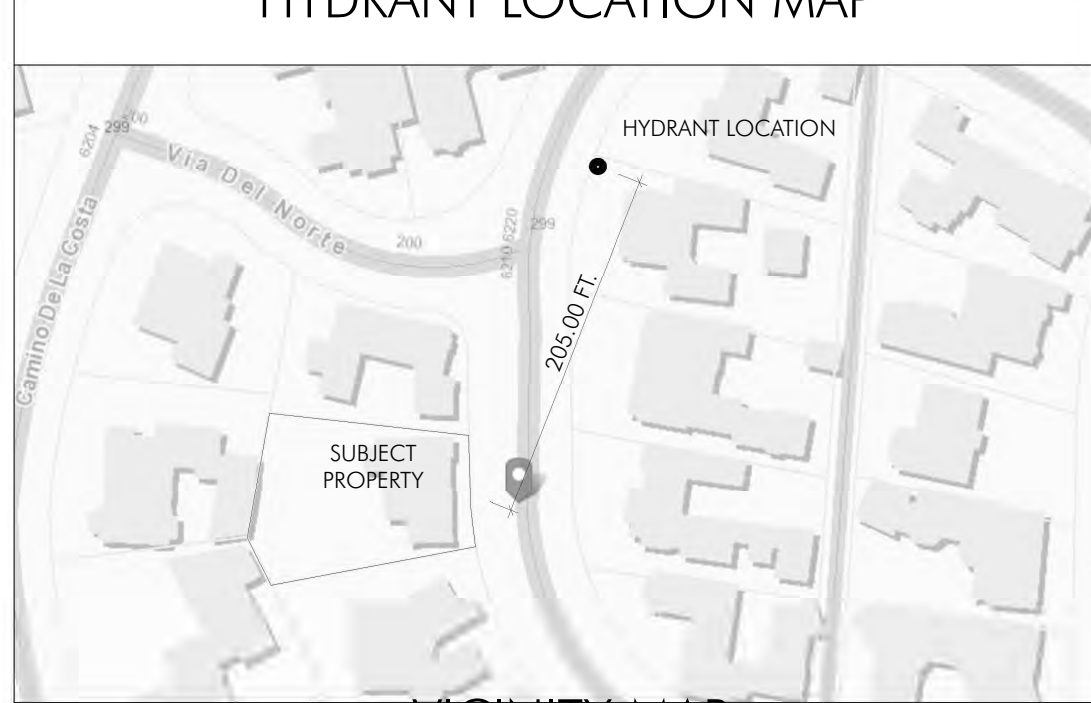
1/8" = 1' - 0"

A1.0

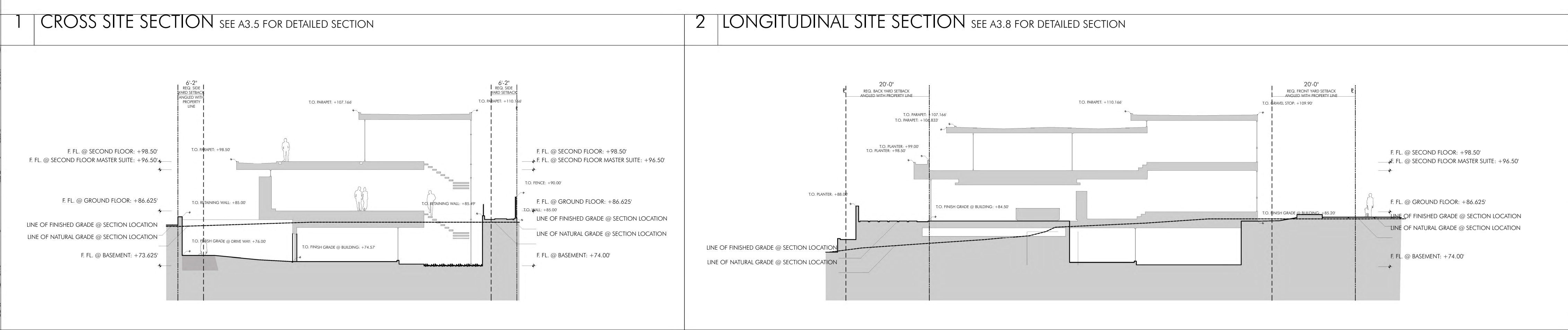
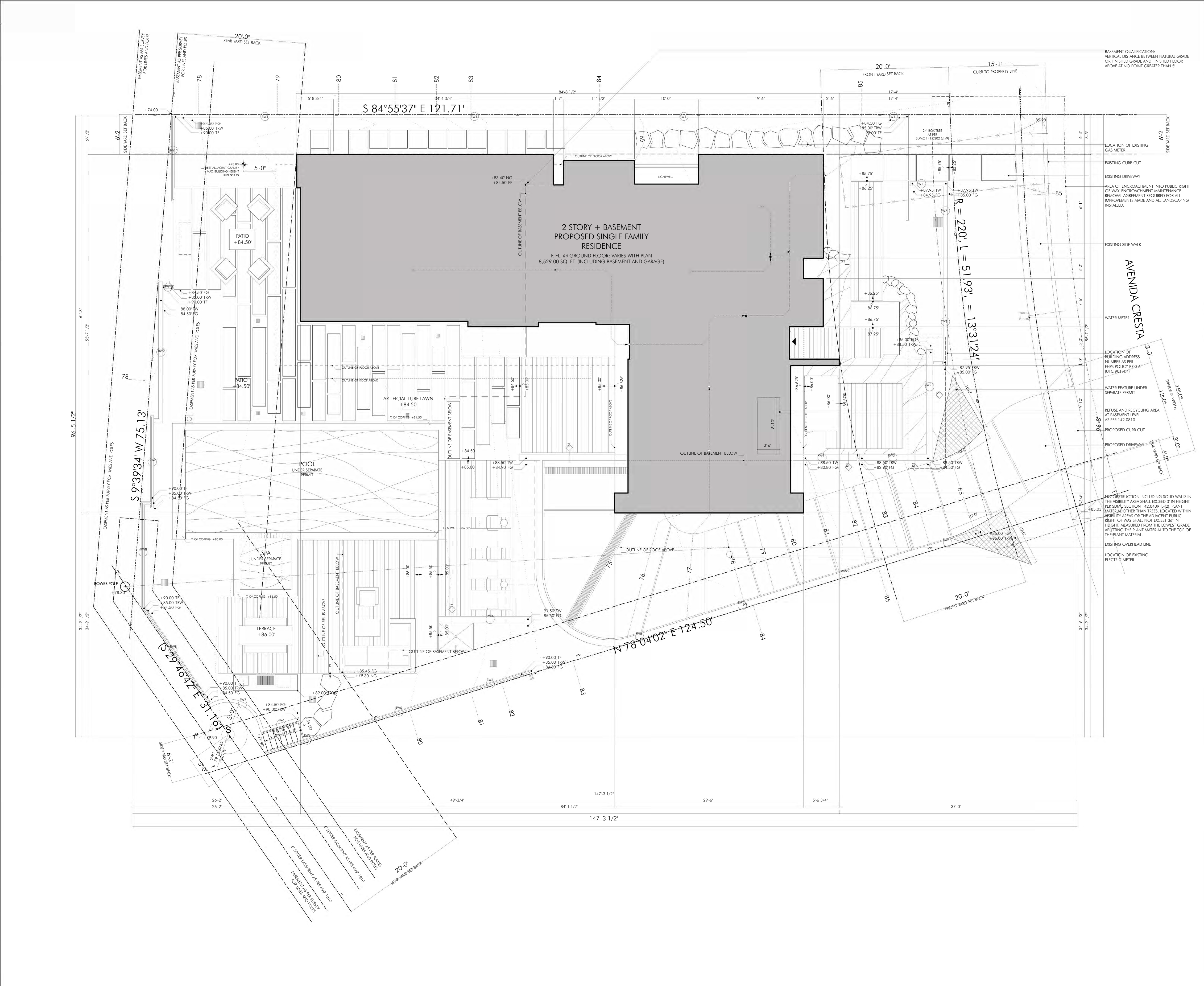
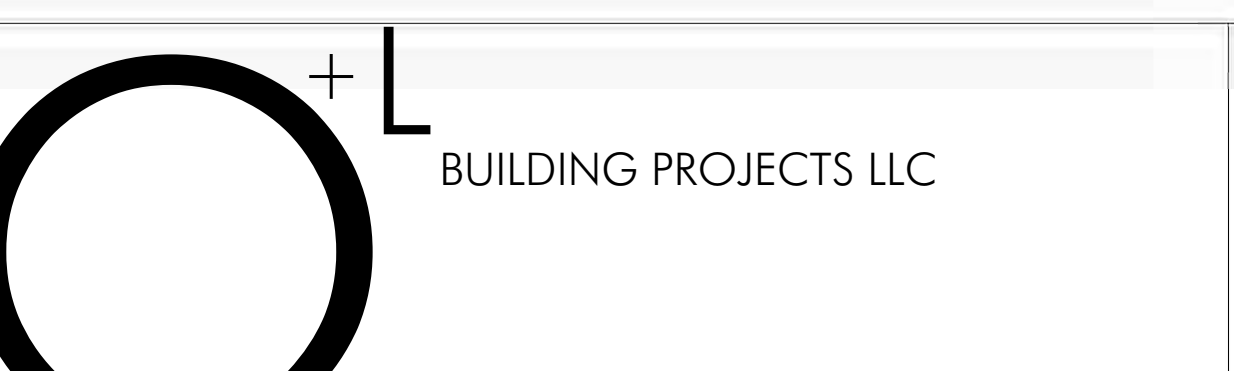
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CONTENTS		PROJECT TEAM	PROJECT DATA
T1.0 T1.1a T1.1b T1.1c T1.1d T1.2a T1.2b T1.2c T1.3a T1.3b T1.4a T1.4b T1.5a T1.5b	TITLE SHEET GENERAL NOTES CAP PROJECT FORMS AND APPROVALS PROJECT FORMS AND APPROVALS TITLE 24 FORMS TITLE 24 FORMS TITLE 24 FORMS DOOR SCHEDULE WINDOW SCHEDULE GREEN SHEET GREEN SHEET WALL SCHEDULE WALL SCHEDULE	DESIGN: Daryl Olesinski, Principal O + L BUILDING PROJECTS, LLC 4509 Grandview Blvd. Los Angeles, CA 90066  p. (310) 390 1650 e. daryl@oplusl.com  STRUCTURAL ENGINEER: Eric McCullum McCullum Engineering 727 2nd Street Hermosa Beach, CA 90254  p. (562) 856 2380 e. mccullumengineering.com  CIVIL ENGINEER (SURVEY) Rinehart Engineering 6431 Clave Way San Diego, California 92117  p. (858) 268 8401 e. FDR@Rinehart-Engineering.com  CIVIL ENGINEER Bill Dick, PE, LS, Civil Engineer Kappa Surveying & Engineering Inc. 8707 La Mesa Blvd La Mesa, CA 91942  p. (619) 465 8948  GEOLOGICAL ENGINEER: Christopher C. O'Hern TerraFaci Consultants Inc. 4010 Moreno Blvd. Ste. 108 San Diego, CA 92117  p. (858) 521 1190  LANDSCAPE ARCHITECT: Trace Wilson Materia LLC  p. 310 903 2635 e. twilson@materia-llc.com  ENERGY COMPLIANCE ENGINEER: Troy Lindquist Alternative Energy System 3635 N. Verapago Road Glendale, CA 91250  p. 818 967 7733 e. troy@tle2energy.com  PLAN/CHECK CONSULTANT: Chandra Sloven, AICP  p. 619-316-7645 e. chandra@sloven@gmail.com  Tim Seaman Champion Permits P.O. Box 5955 Chula Vista, CA 91912  p. 619-993-8846 e. tim@championpermits.com	OWNER: David and Pam Leidy 6216 Avenida Cresta La Jolla, CA 92037  PROJECT ADDRESS: 6216 Avenida Cresta La Jolla, CA 92037  APN: 357 012 13 00  LEGAL: LOT 14, BLK 3 MAP 1810, LA JOLLA HERMOSA  YEAR BUILT: 1980 (ADDITION IN 2000)  ZONE: RS-1-5  DENSITY: 8,000.00 SQ. FT. / DU.  MAX. FAR: 0.54 (54%) 10,544.00' * 0.54 = 5,699.16 SQ. FT.  CURB TO PROPERTY LINE: 13 FT.  SETBACKS: (PER SDMC TABLE 131-04D) FRONT YARD: 20 FT SIDE YARD: LOT WIDTH * 0.08 (PER SDMC 113.0243(c)(i)) AVERAGE WIDTH OF FIRST 50'-0" 82.64' + 70.97' = 153.61' 153.61 1/2' = 76.8' (AVG. WIDTH) 76.8' FT. 0.008 = 6.14 FT. 20 FT. REAR YARD: 24'-0" / 30'-0" SITE SUBJECT TO 30° ANGLED TO BUILDING ENVELOPE PLAN (LOT WIDTH = 75 FT. - 150 FT. PER SDMC TABLE 131-04H) 30° FRONT YARD ENCROACHMENT PLANE NOT REQUIRED AS STRUCTURE DOES NOT EXCEED OVERALL STRUCTURE HEIGHT OF 27' + GRADE DIFFERENTIAL AS PER 113-02LL ▶ SEE A3.7  NR. OF STORIES: THIRD STORY ALLOWED STORY MAX. WIDTH = 70% OF LOT STORY MAX. DEPTH = 50% OF LOT  LOT SIZE: 10,554.00 SQ. FT.  EXISTING BUILDING: 1,876.00 SQ. FT. (17.7% FAR)  MAX. LOT PAVING: 60% FRONT YARD  GEOLOGIC HAZARD CAT.: 53  TYPE OF CONSTRUCTION: TYPE V NON RATED  OCCUPANCY CLASS: RESIDENTIAL GROUP R-3 / U  EXISTING USE: PROPOSED USE: SFR (SINGLE FAMILY RESIDENCE) SFR (SINGLE FAMILY RESIDENCE)  OVERLAYS: COASTAL HEIGHT LIMIT OVERLAY ZONE (NON-APPEALABLE), COASTAL CITY OVERLAY ZONES (NON-APPEALABLE), PARKING IMPACT ZONE, RESIDENTIAL TANDEM PARKING ZONE, TRANSIT AREA ZONE  SCOPE OF WORK: A NEW 6,582.00 SQ. FT. SINGLE FAMILY RESIDENCE, + 405.00 SQ. FT. GARAGE, + 661.00 COMPANION UNIT TOTAL: 7,648.00 SQ. FT.  PROPOSED STORIES: (2) STORY + BASEMENT  PROPOSED BUILD. HGT.: 33'-2" (LOWEST ADJACENT GRADE TO HIGHEST POINT OF BUILDING) ▶ SEE A3.7 AND A1.0  PARKING: (2) CAR ENCLOSED GARAGE STANDARD SPACES  SPRINKLERED: BUILDING TO BE FULLY SPRINKLERED  LOT COVERAGE: 3,144.00 SQ. FT. 3,144.00 SQ. FT. / 10,544.00 SQ. FT. = 0.2979 (29.79 %)  LOT AREA FRONT YARD: 1,369.00 SQ. FT.

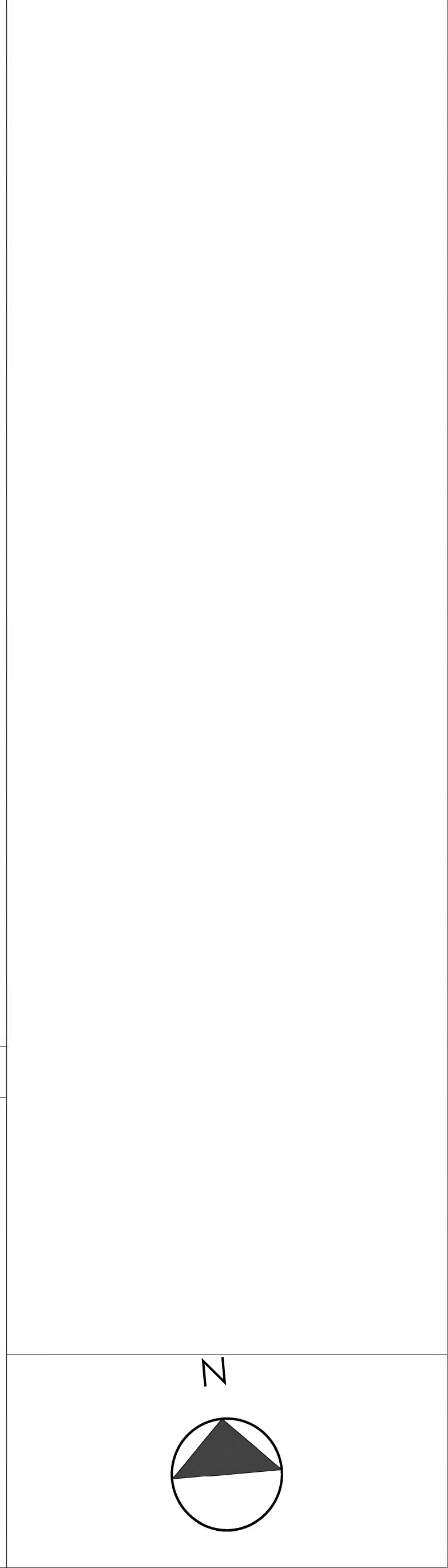


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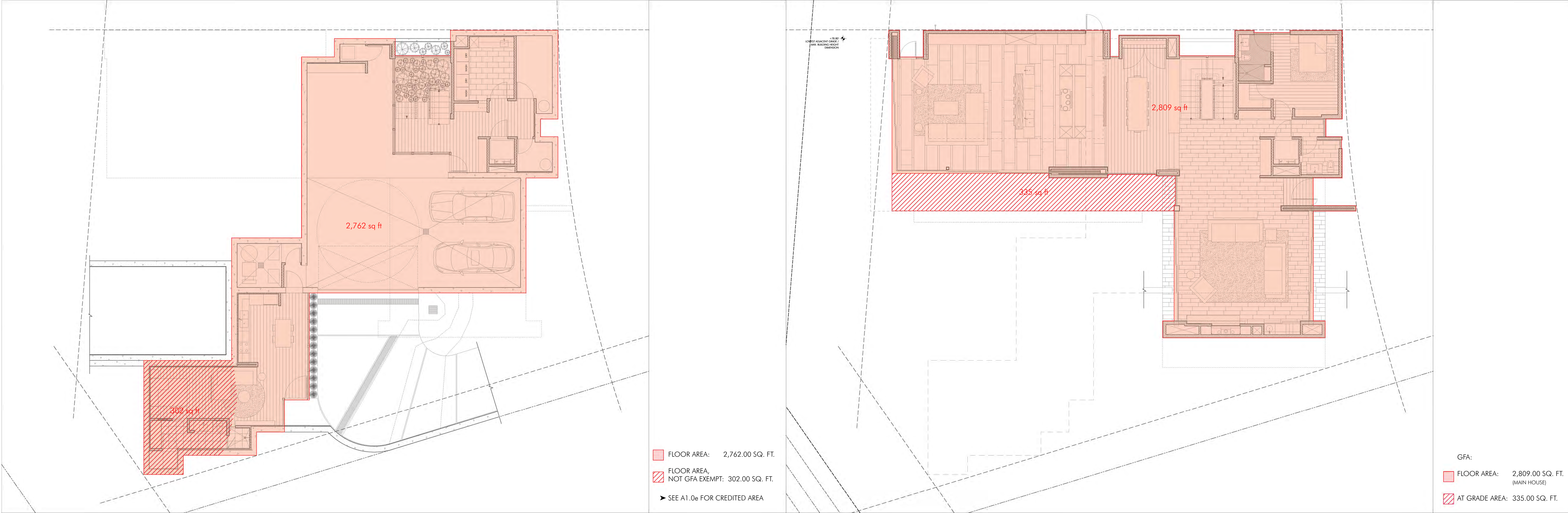


SITE PLAN LEGEND	
---	PROPERTY LINE
---	SET BACK LINE
---	LINE OF EASEMENT
---	LINE OF NATURAL GRADE
---	LINE OF FINISHED GRADE
---	OUTLINE OF FLOOR ABOVE
---	OUTLINE OF ROOF ABOVE
---	OUTLINE OF BASEMENT BELOW
---	OUTLINE OF EXISTING DRIVEWAY TO BE REMOVED
+	ELEVATION MARKER
FG	FINISHED GROUND
NG	NATURAL GROUND
TW	TOP OF WALL
TF	TOP OF FENCE
RW	RETAINING WALL
SW	SCREEN WALL

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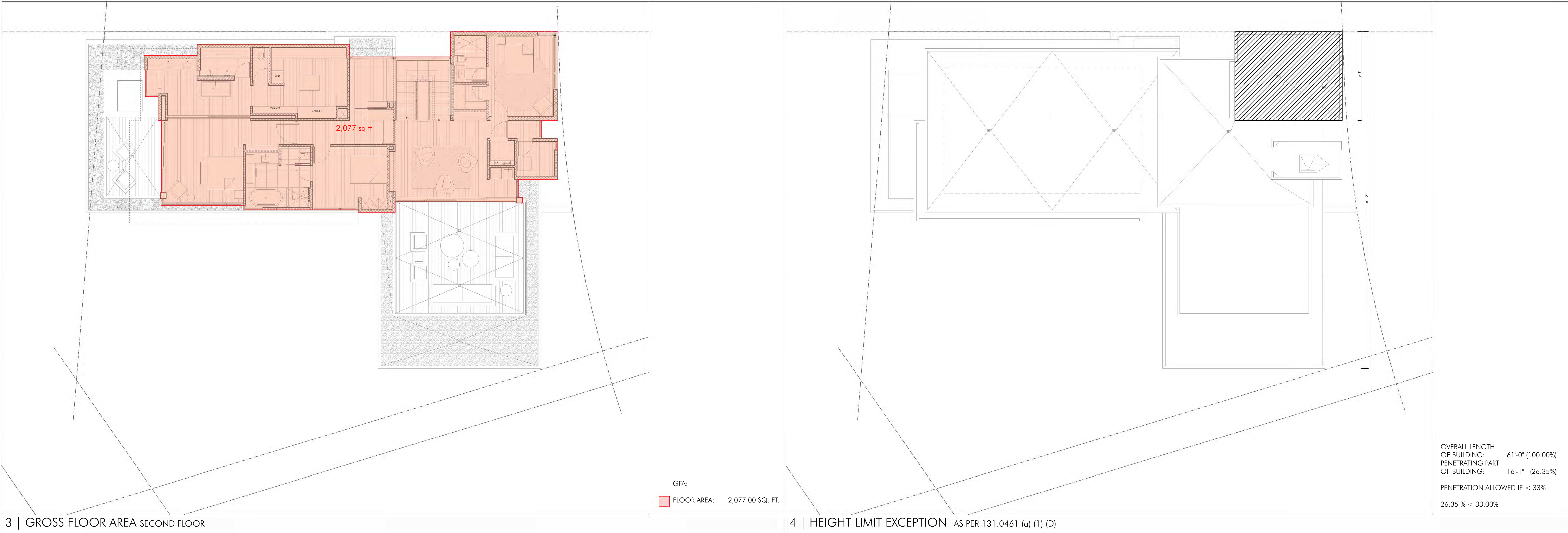




GROSS FLOOR AREA CALCULATION			
ITEM:	PROPOSED:	CREDIT:	TOTAL:
BASEMENT:	2,762.00	2,460.00	302.00
FIRST FLOOR:	2,809.00	0.00	2,809.00
SECOND FLOOR:	2,077.00	0.00	2,077.00
AT GRADE:	335.00	0.00	335.00
TOTAL:	7,983.00	2,460.00	5,523.00

GROSS FLOOR AREA CALCULATIONS:

BASEMENT FLOOR AREA:	2,762.00 SQ. FT.
FIRST FLOOR AREA:	(2,460.00 SQ. FT. EXEMPT)
SECOND FLOOR AREA:	2,809.00 SQ. FT.
AT GRADE AREA:	335.00 SQ. FT.
TOTAL GROSS FLOOR AREA - PROPOSED FAR:	5,523.00 SQ. FT.
TOTAL LOT AREA:	10,544.00 SQ. FT.
MAX. FAR:	0.54 (54%)
10,544.00 * 0.54 = 5,699.16 SQ. FT.	
5,523.00 SQ. FT. < 5,699.16 SQ. FT.	







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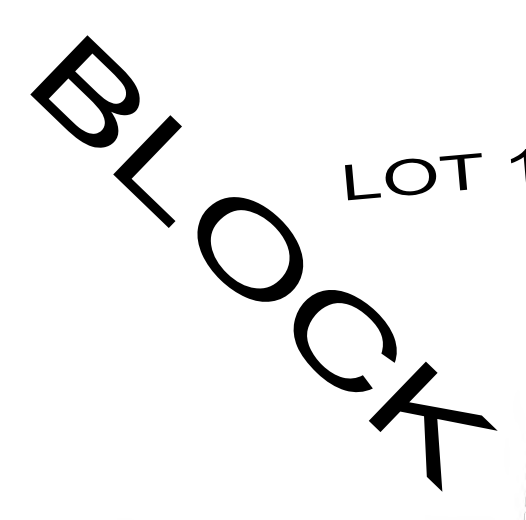
PROJECT LOG:

6216 Avenida Cresta, La Jolla, CA 92037

 $1/8'' = 1' - 0''$ 

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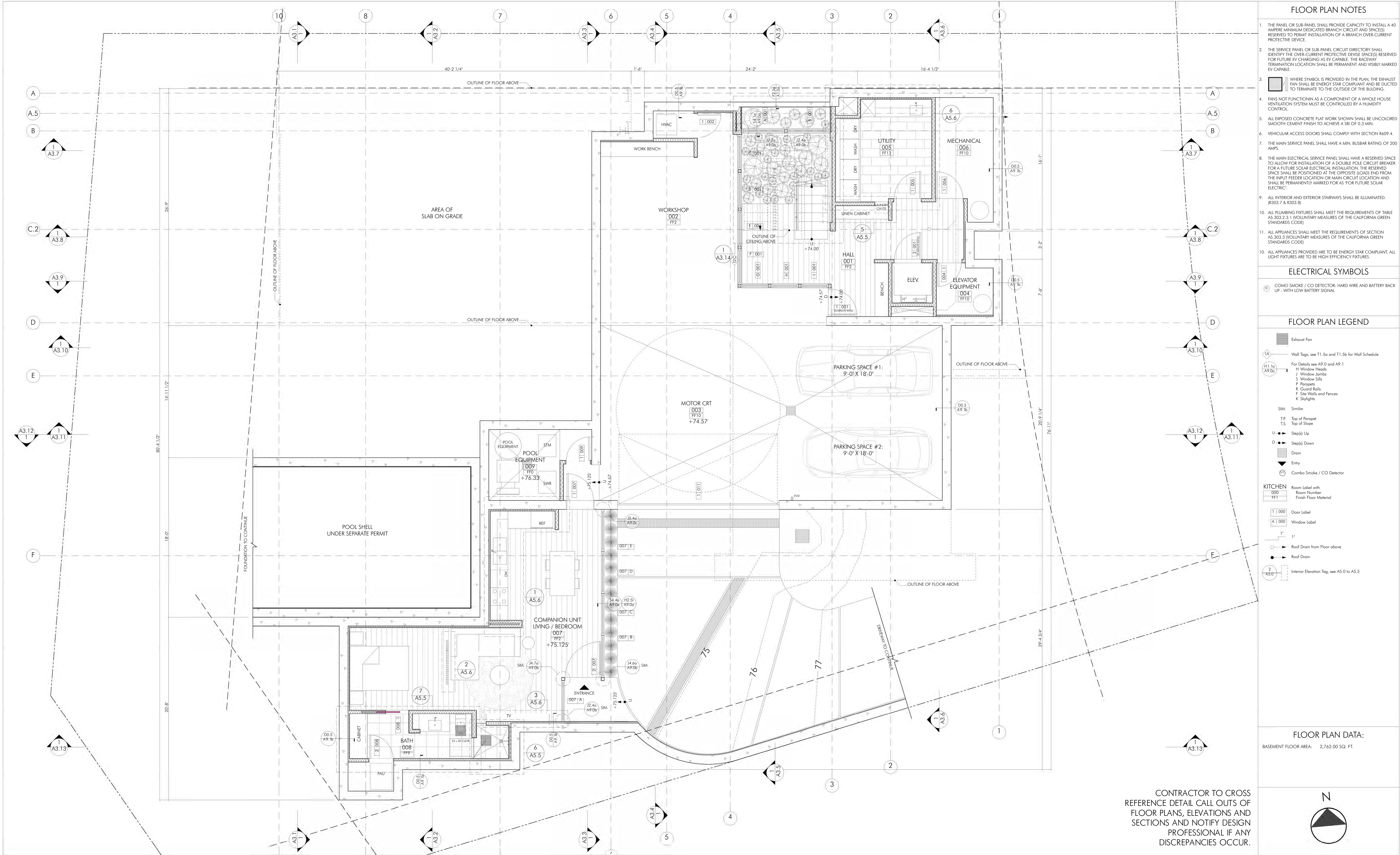




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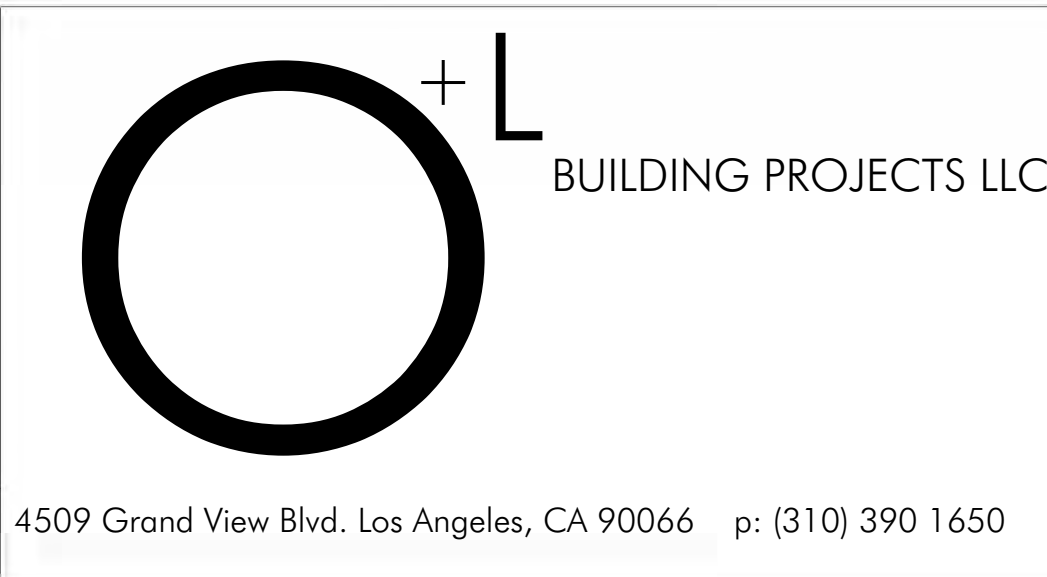




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LA JOLLA RESIDENCE # 1806



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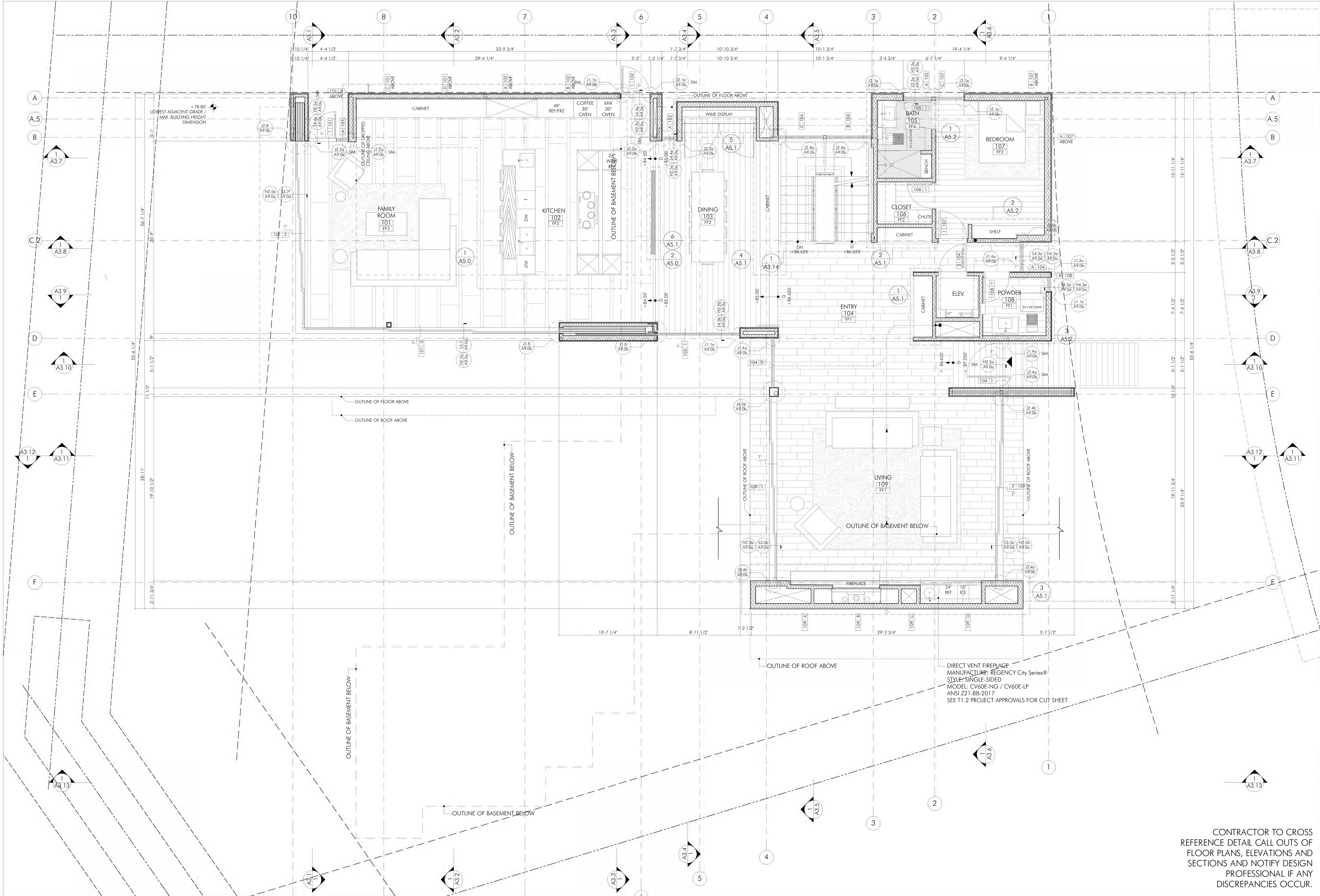
**BASEMENT FLOOR PLAN**

1/4" = 1' - 0"

**A1.1**

Sheet No. 19 / 62





FLOOR PLAN NOTES	
1.	THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMPERE MINIMUM DEDICATED BRANCH CIRCUIT (AND SPACES) RESERVED TO PERMIT INSTALLATION OF A BRANCH OVER-CURRENT PROTECTIVE DEVICE.
2.	THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICES RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
3.	WHERE SYMBOL IS PROVIDED IN THE PLAN, THE EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
4.	FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
5.	ALL EXPOSED CONCRETE FLAT WORK SHOWN SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SRI OF 0.3 MIN.
6.	VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.
7.	THE MAIN SERVICE PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS.
8.	THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR AS 'FOR FUTURE SOLAR ELECTRICAL'.
9.	ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)
10.	ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE AS 303.2.2.1 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
11.	ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION AS 303.3 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
10.	ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.
ELECTRICAL SYMBOLS	
(S)	COMO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL
FLOOR PLAN DATA:	
GROUND FLOOR AREA:	2,809.00 SQ. FT.
AT GRADE AREA:	335.00 SQ. FT.
CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.	
GROUND FLOOR PLAN	
1/4" = 1' - 0"	
A1.2	
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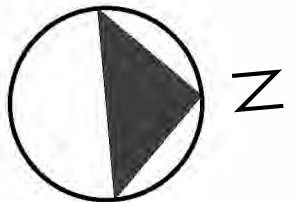




CONTRACTOR TO CROSS  
CHECK DETAIL CALL OUTS OF  
DRAWINGS, PLANS, ELEVATIONS AND  
SECTION AND NOTIFY DESIGN  
PROFESSIONAL IF ANY  
DISCREPANCIES OCCUR

FLOOR PLAN DATA:

GROUND FLOOR AREA: 2,077.00 SQ. FT.



## FLOOR PLAN NOTES

- [illegible]

## ELECTRICAL SYMBOLS

- COMO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK  
UP - WITH LOW BATTERY SIGNAL

## SECOND FLOOR

# PLAN

$$1/4'' = 1' - 0''$$

### A1.3

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Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

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LA JOLLA RESIDENCE # 1806

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

6216 Avenida Cresta, La Jolla, CA 92037

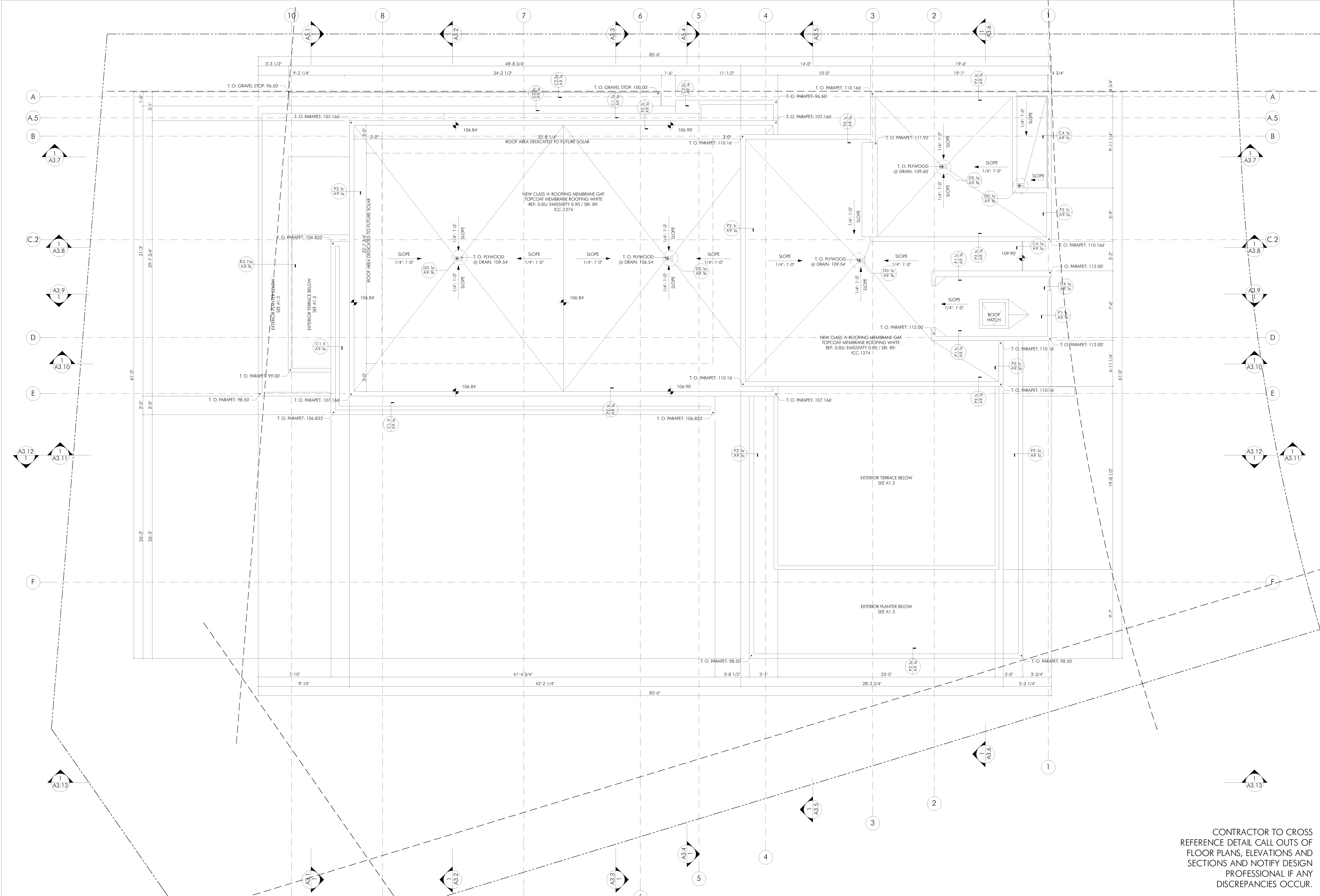
PROJECT LOG:


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O + L BUILDING PROJECTS LLC.

**LO**  
BUILDING PROJECTS, LLC

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8.	THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR AS 'FOR FUTURE SOLAR ELECTRIC'.
9.	ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)
10.	ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE AS 303.2.2.1 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
11.	ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION AS 303.3 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
10.	ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.
ELECTRICAL SYMBOLS	
(SC)	COMO SMOKE / CO DETECTOR. HARD WIRE AND BATTERY BACK UP - WITH LOW BATTERY SIGNAL

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LA JOLLA RESIDENCE # 1806



O+L

BUILDING PROJECTS LLC

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

PROJECT LOG:	
11.19.2020:	Bid Documents
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Leidy Residence

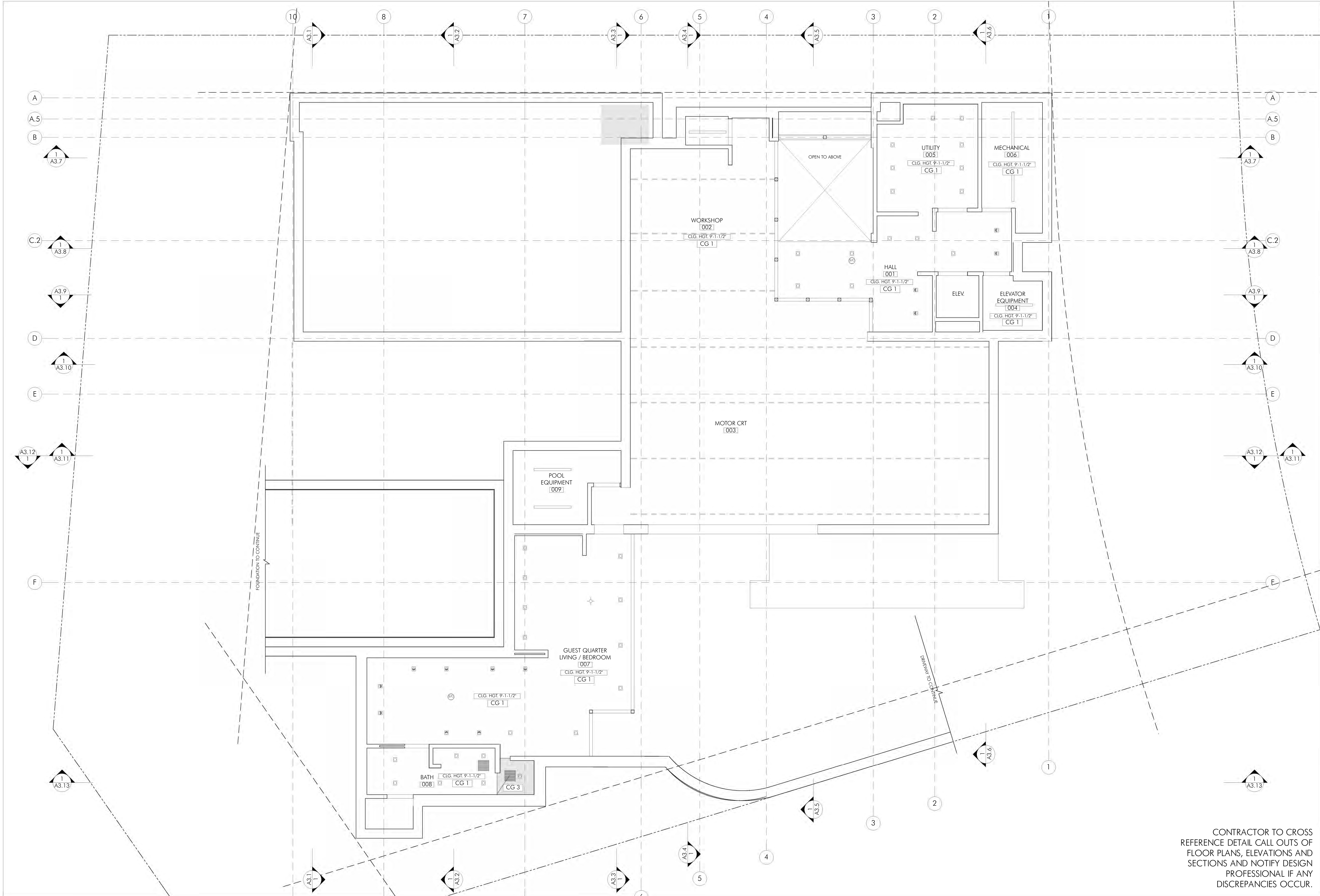
6216 Avenida Cresta, La Jolla, CA 92037

ROOF TOP PLAN

1/4" = 1' - 0"

A1.4

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**FLOOR PLAN NOTES**

- THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMPERE MINIMUM DEDICATED BRANCH CIRCUIT (AND SPACES) RESERVED TO PERMIT INSTALLATION OF A BRANCH OVER-CURRENT PROTECTIVE DEVICE.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICES RESERVED FOR FUTURE BY CHARGING AS BY CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.
- WHERE SYMBOL IS PROVIDED IN THE PLAN, THE EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- ALL EXPOSED CONCRETE FLAT WORK SHOWN SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SRI OF 0.3 MIN.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.
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**ELECTRICAL SYMBOLS**

(SC) COMMO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL

CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.

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Leidy Residence

6216 Avenida Cresta, La Jolla, CA 92037

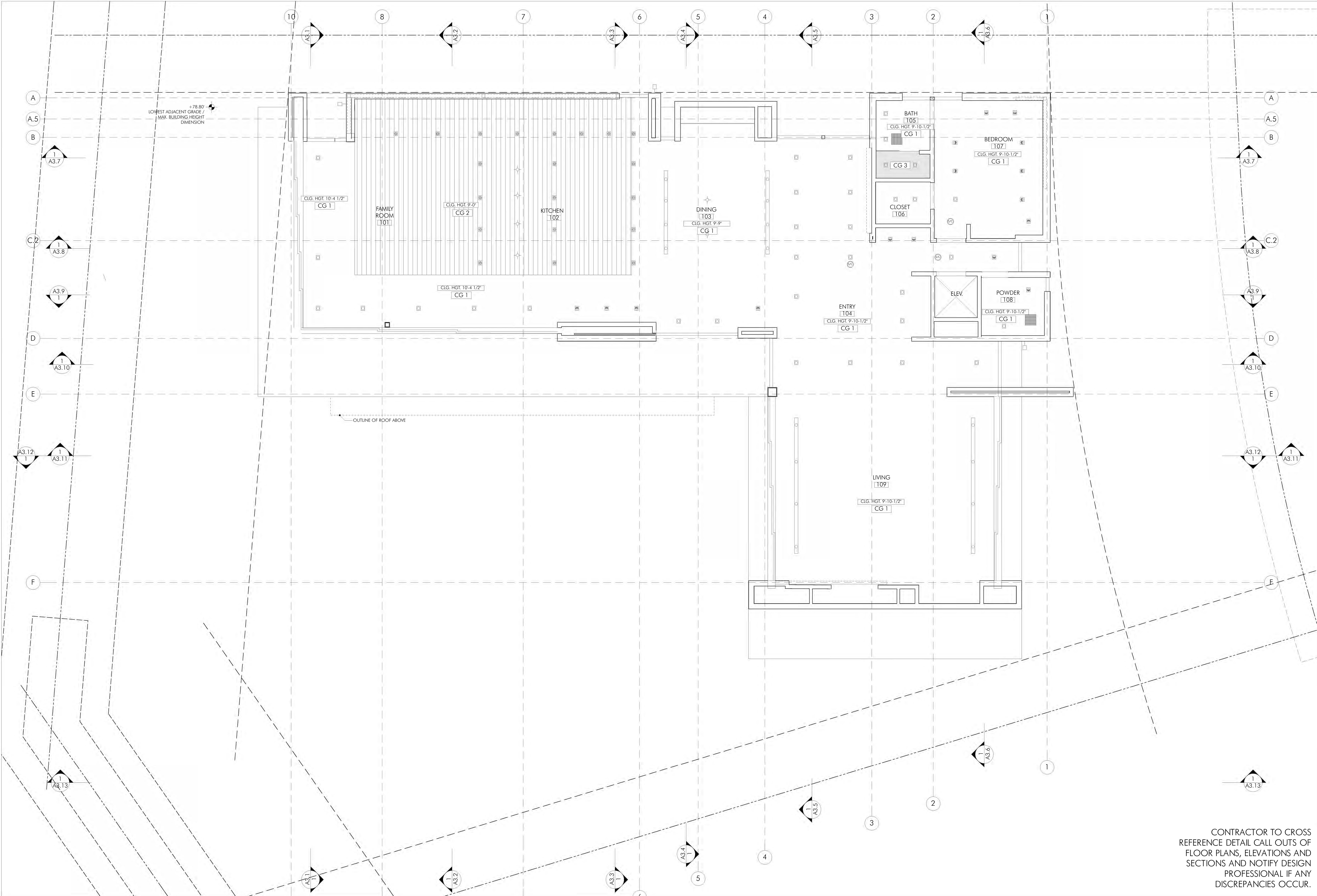
RCP BASEMENT

1/4" = 1' - 0"

A1.5

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**FLOOR PLAN NOTES**

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**ELECTRICAL SYMBOLS**

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**PROJECT LOG:**

**Leidy Residence**

6216 Avenida Cresta, La Jolla, CA 92037

**RCP**

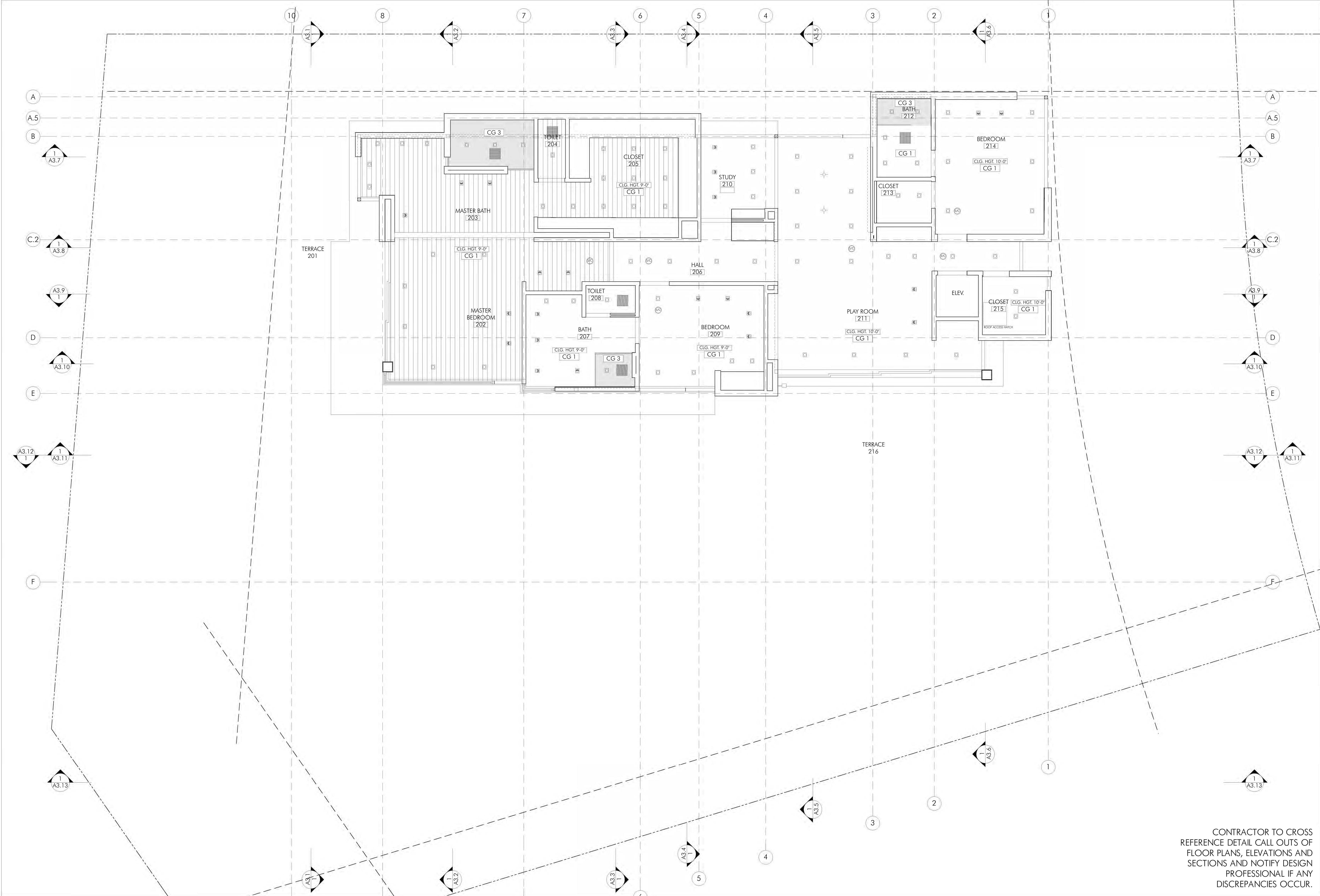
**FIRST FLOOR**

1/4" = 1' - 0"

**A1.6**

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**FLOOR PLAN NOTES**

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Leidy Residence

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RCP

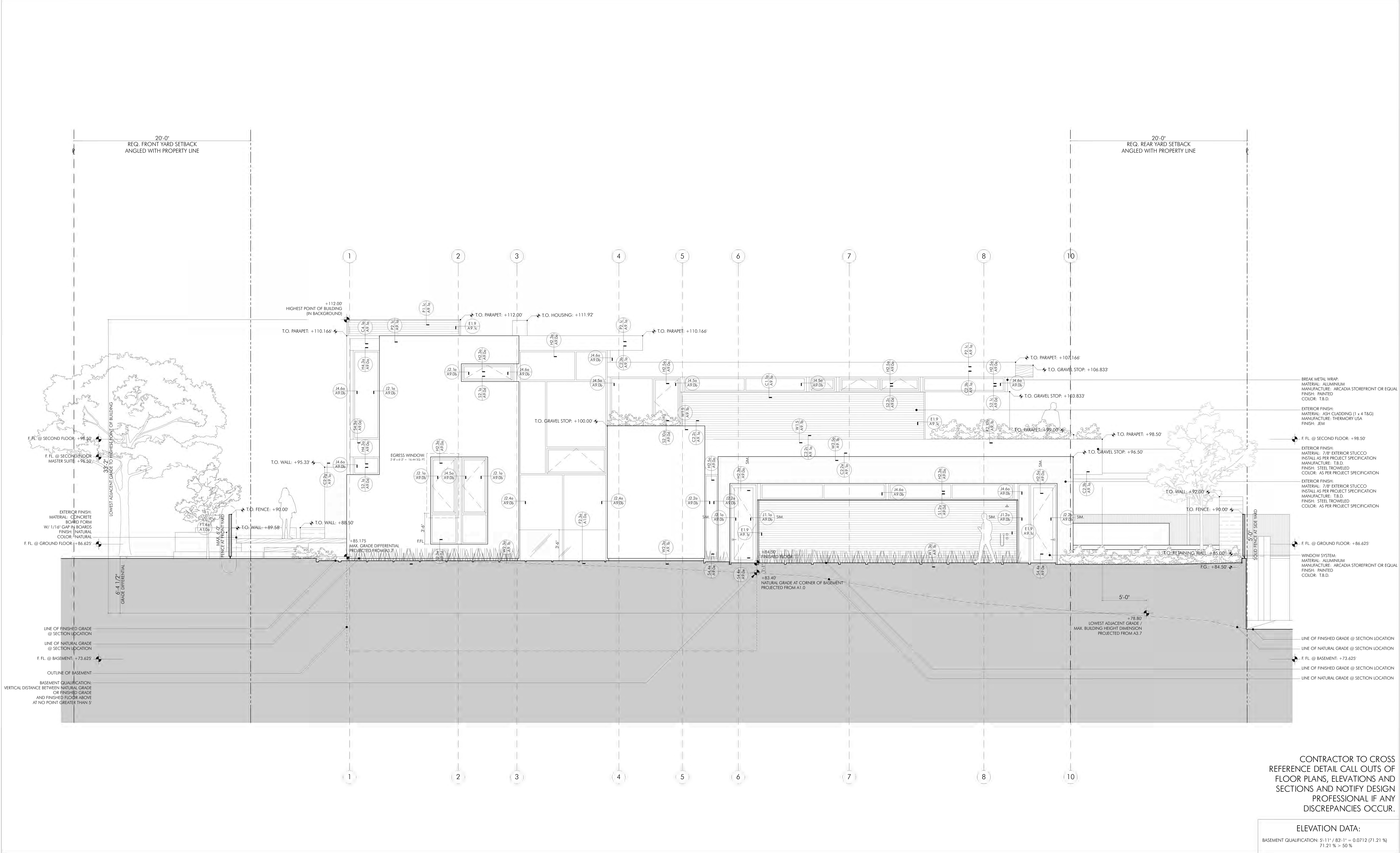
SECOND FLOOR

1/4" = 1' - 0"

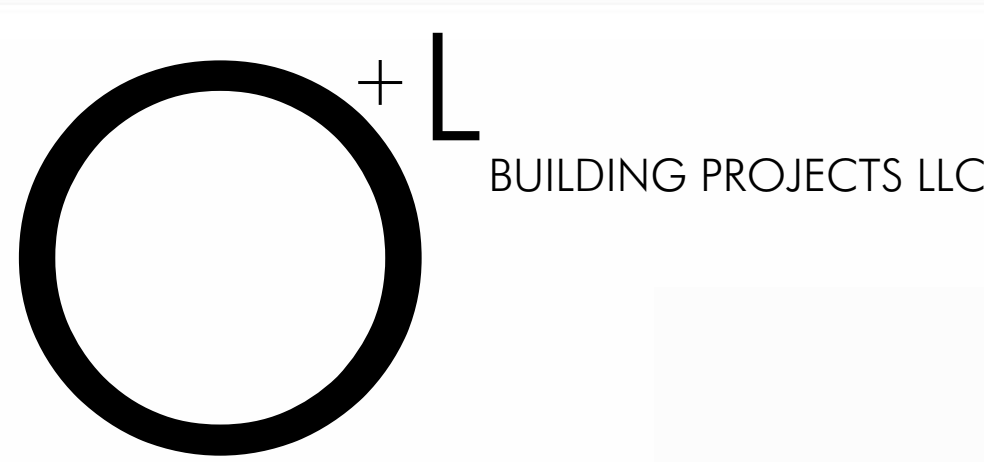
A1.7

Sheet No. 18 / 59





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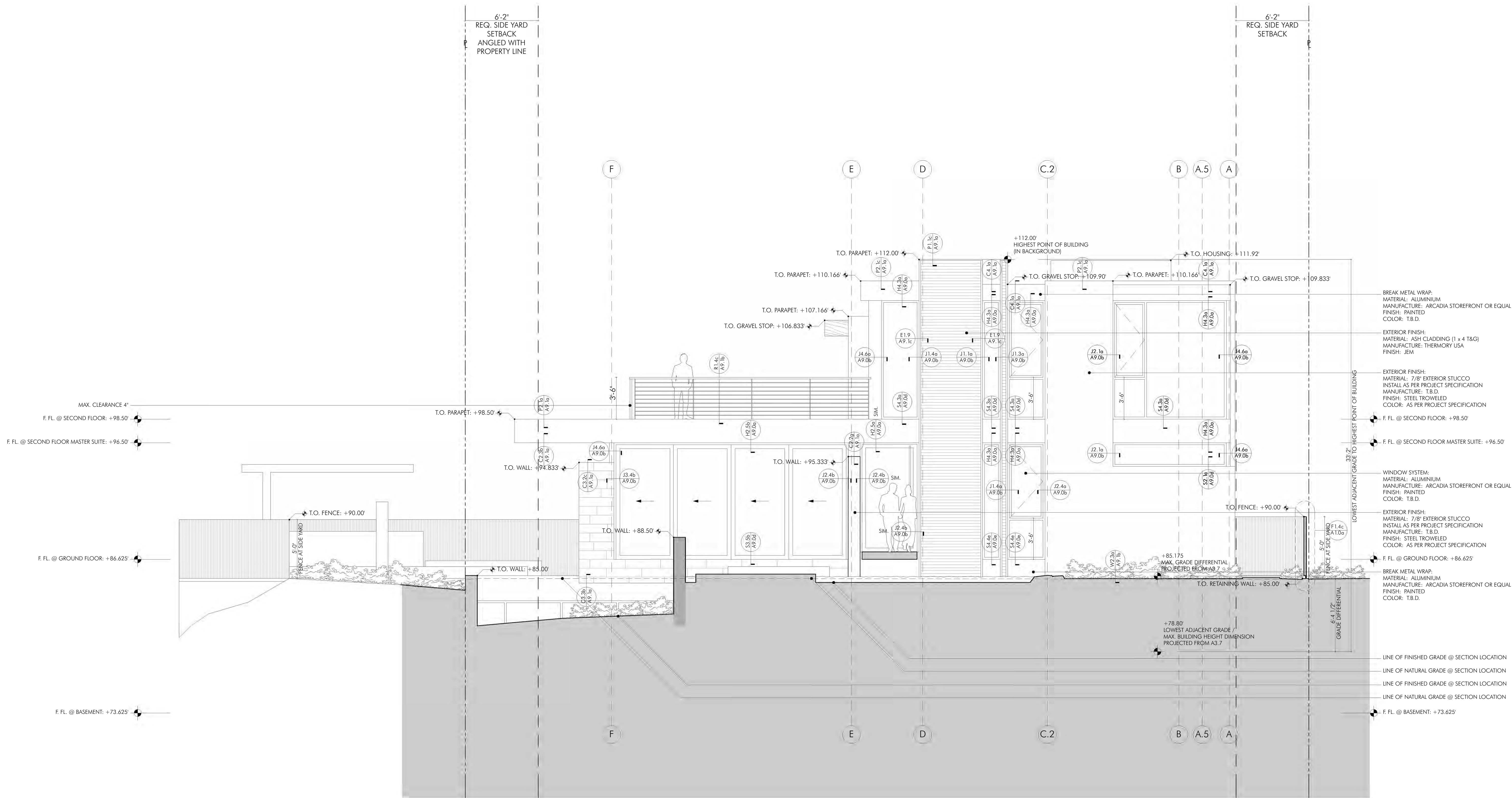
NORTH ELEVATION

1/4" = 1' - 0"

A2.0

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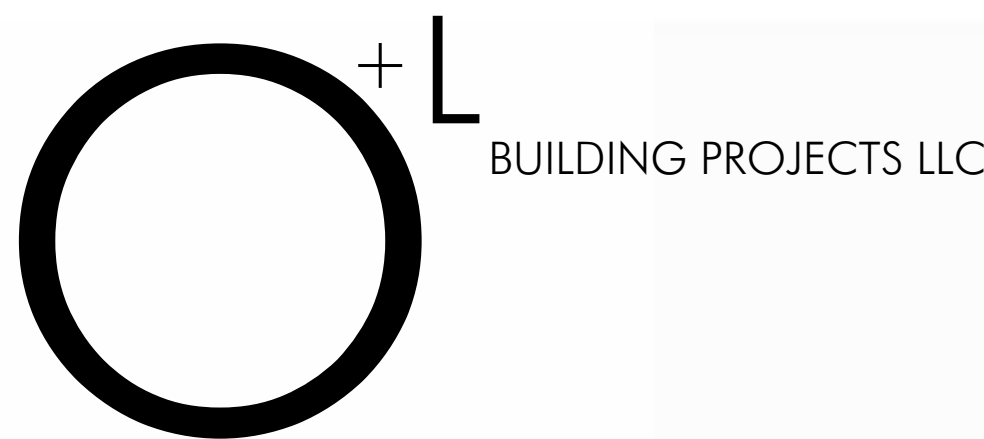


CONTRACTOR TO CROSS  
REFERENCE DETAIL CALL OUTS OF  
FLOOR PLANS, ELEVATIONS AND  
SECTIONS AND NOTIFY DESIGN  
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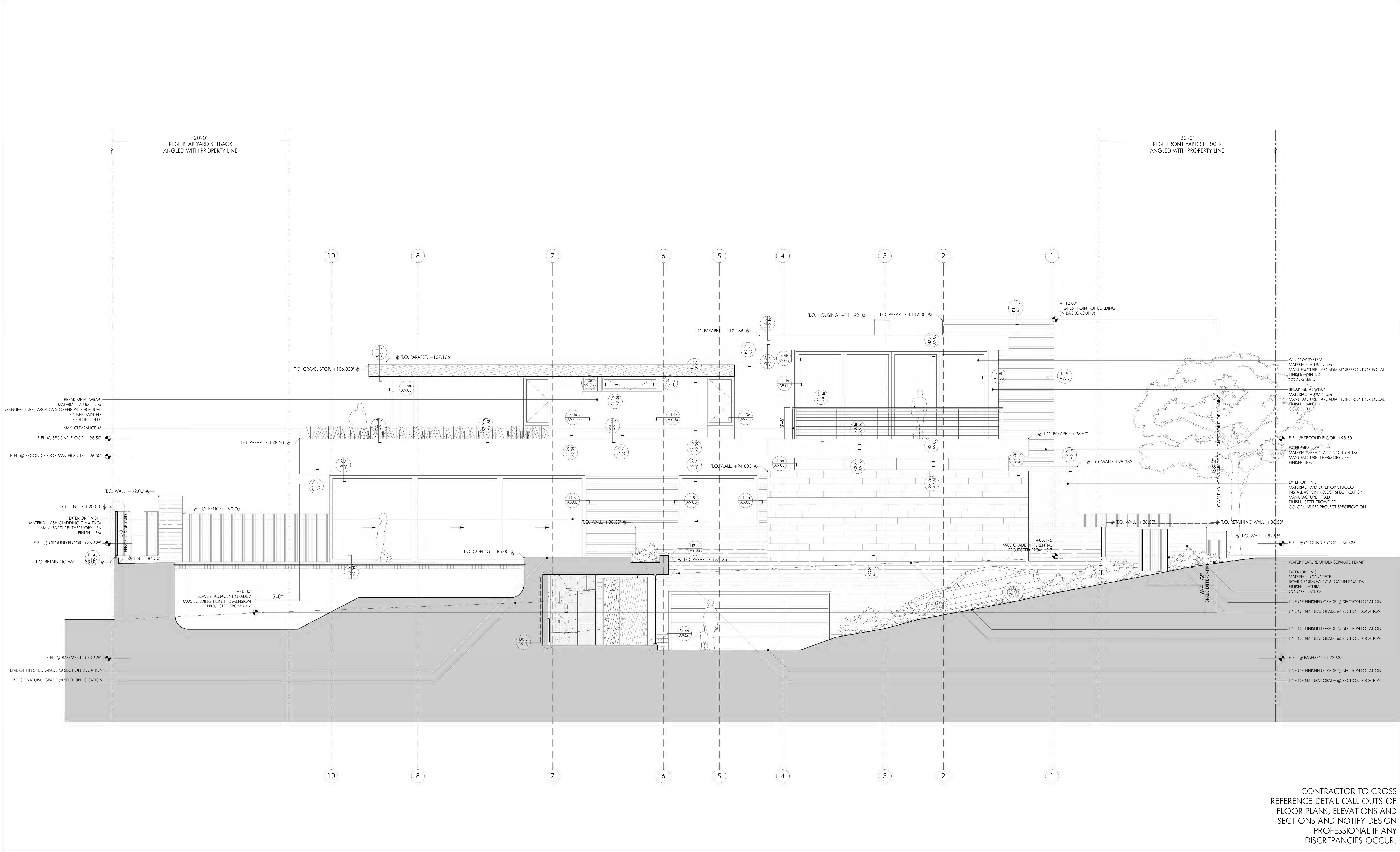
EAST ELEVATION

1/4" = 1' - 0"

A2.1

Sheet No. 24 / 62





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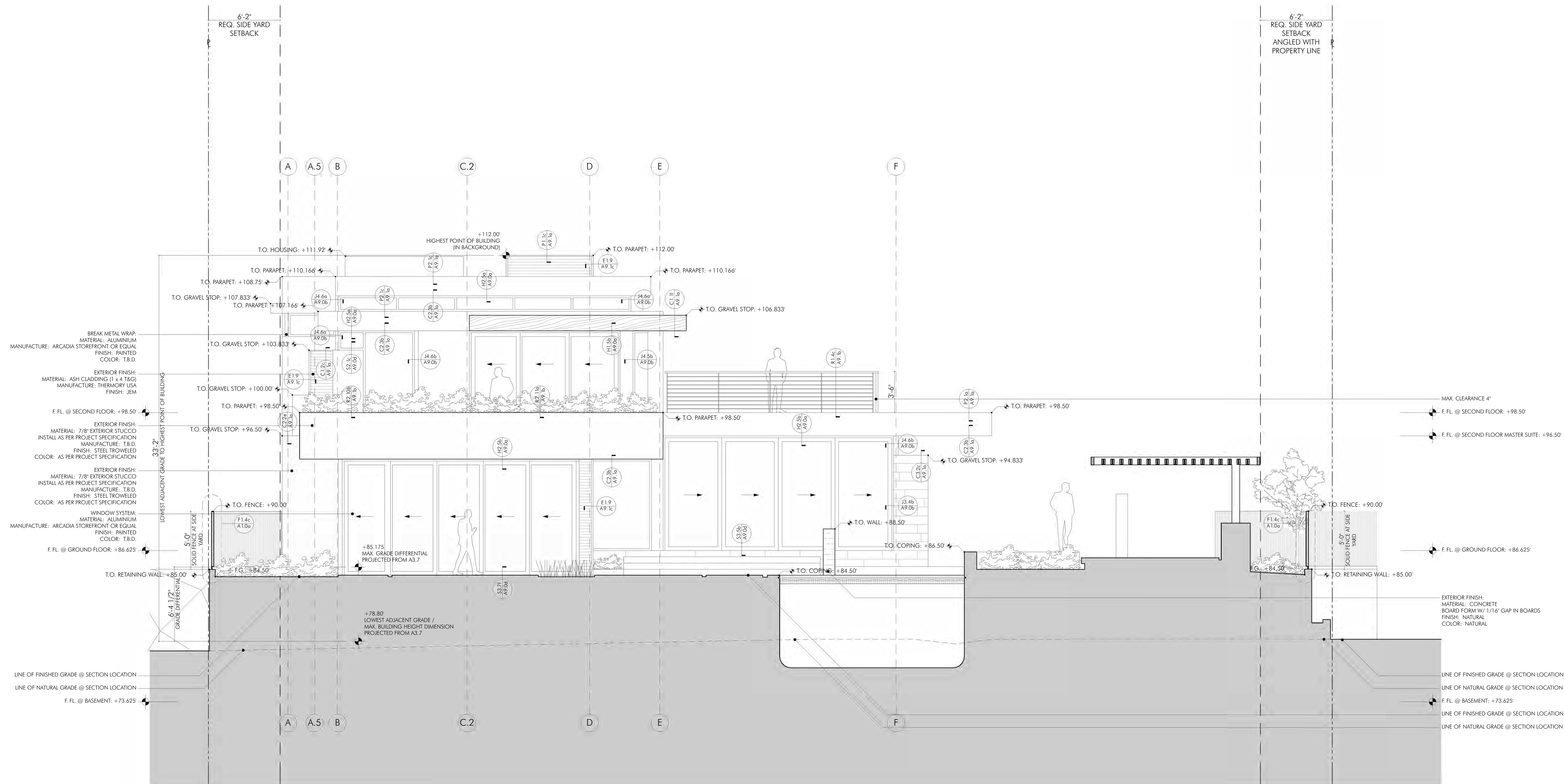
SOUTH ELEVATION

1/4" = 1' - 0"

A2.2

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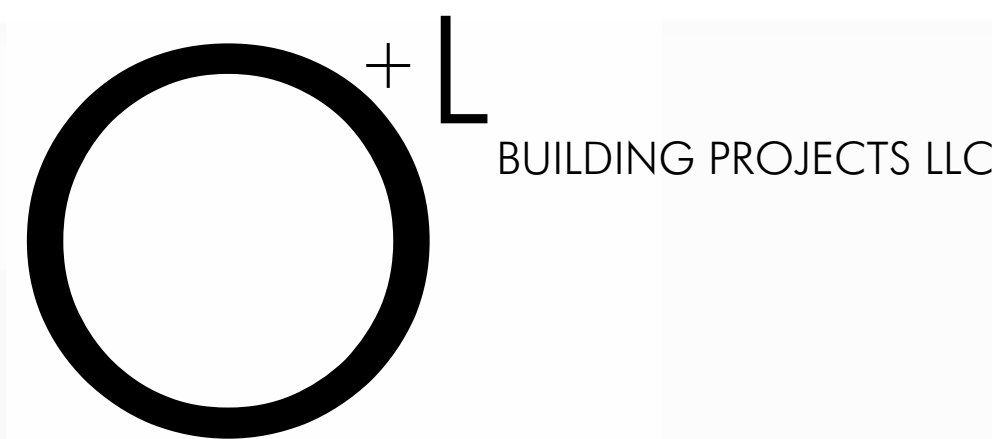


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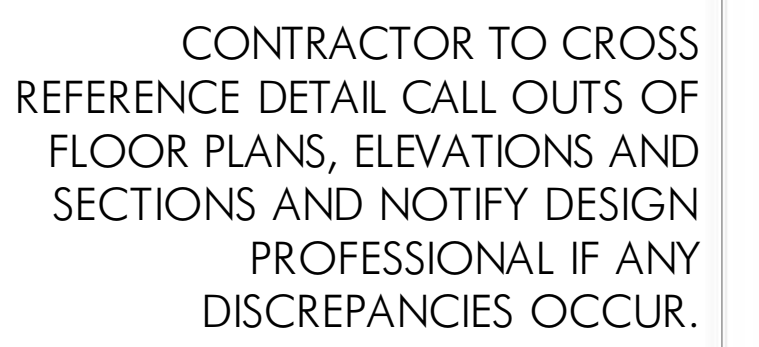
Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

WEST ELEVATION

1/4" = 1' - 0"

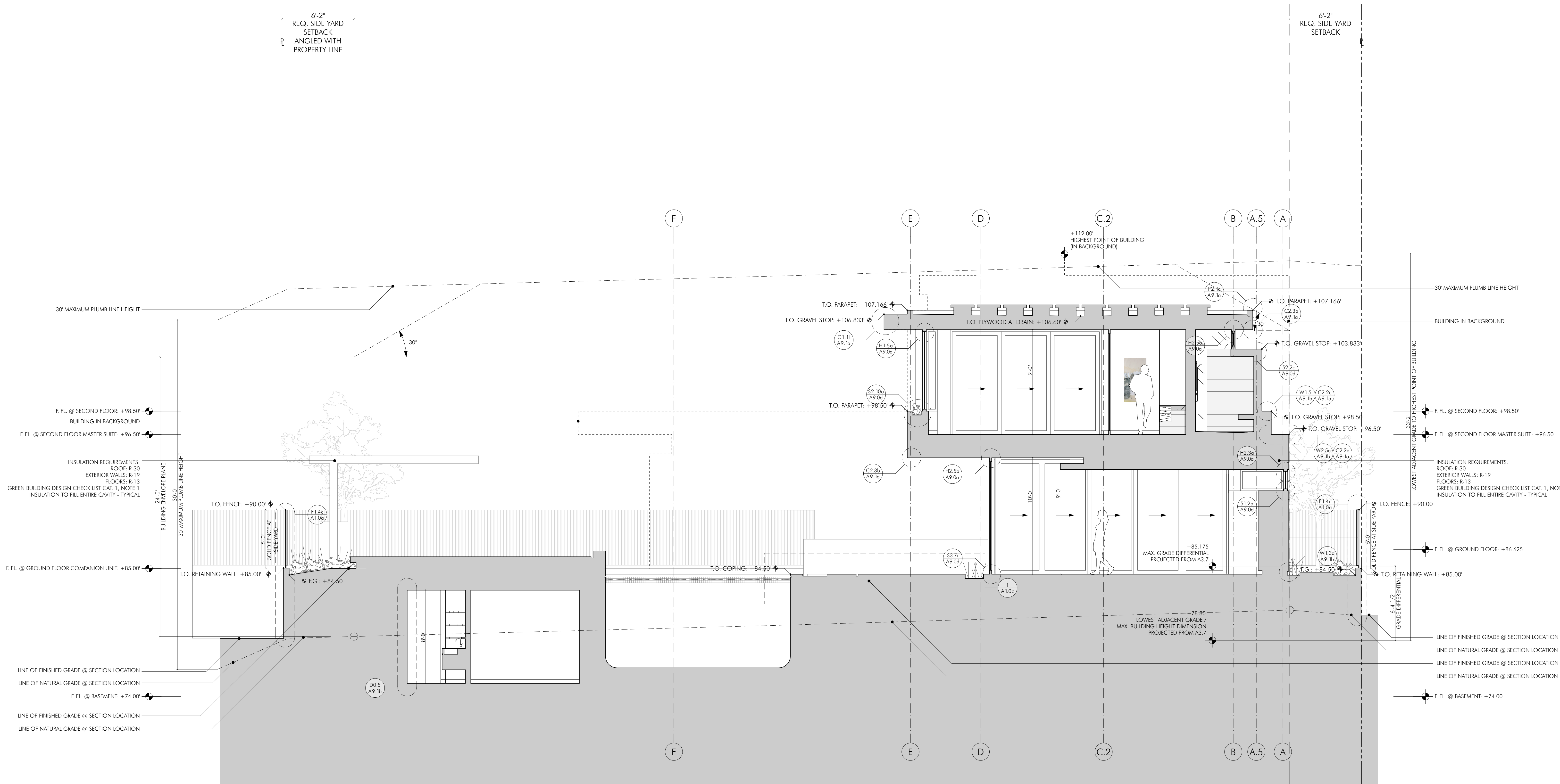
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Sheet No. 26 / 62



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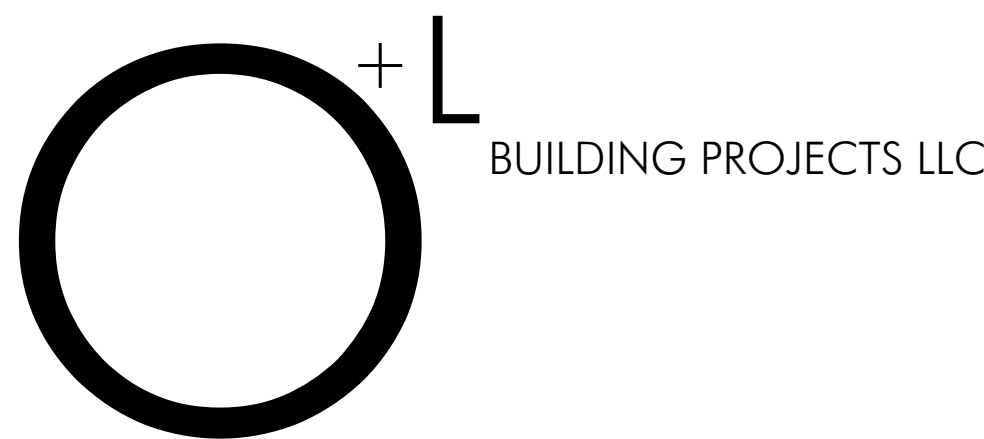


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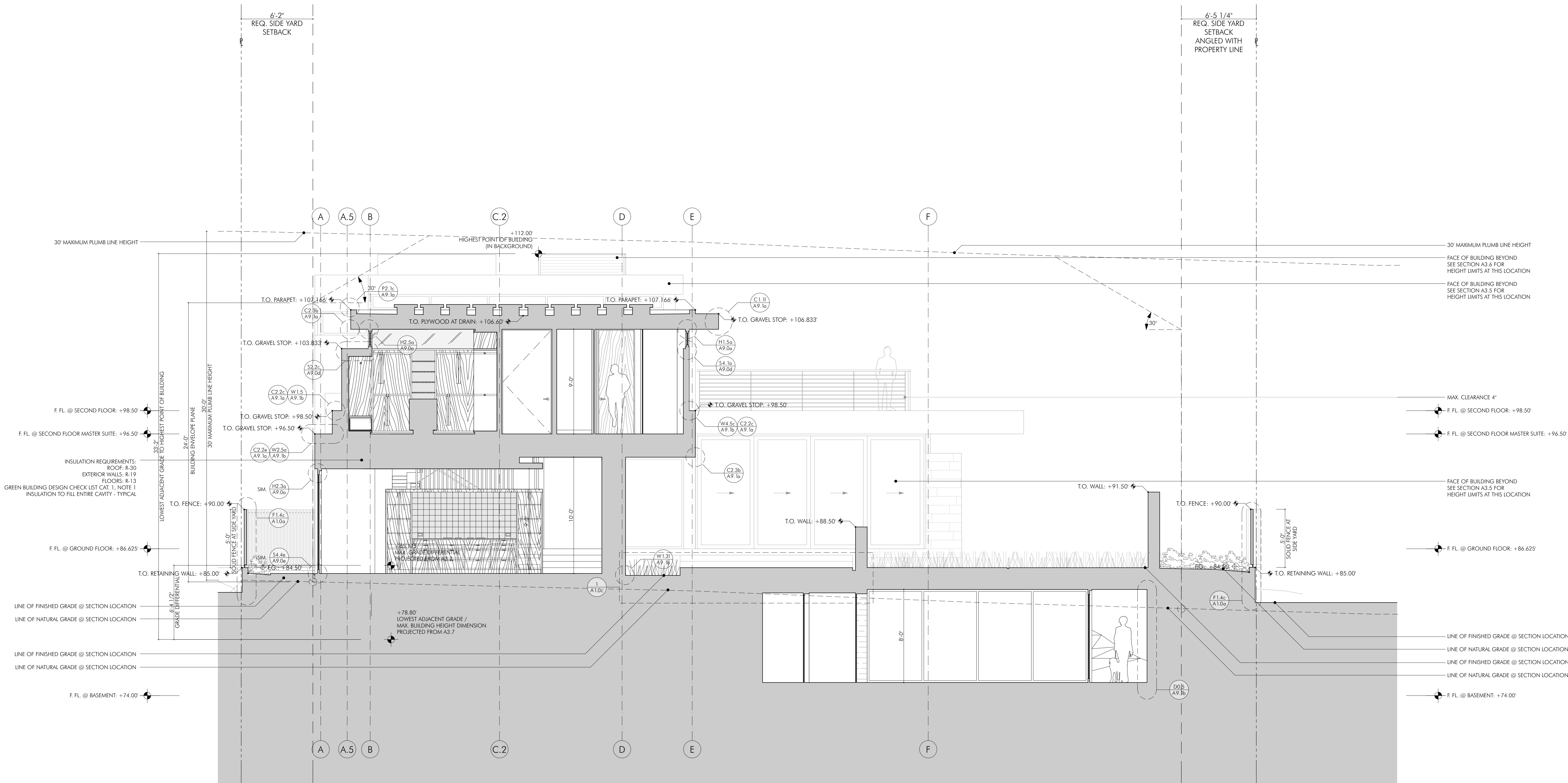
Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

BUILDING SECTION

1/4" = 1' - 0"

A3.2

Sheet No. 29 / 62

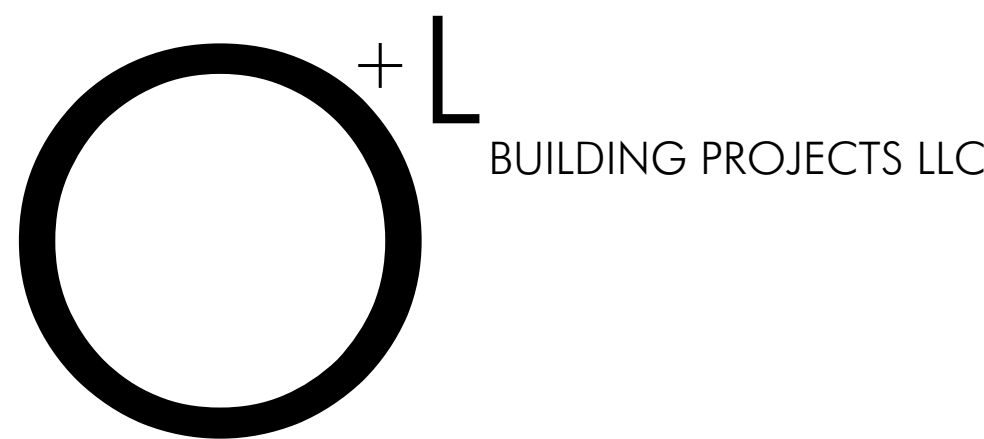


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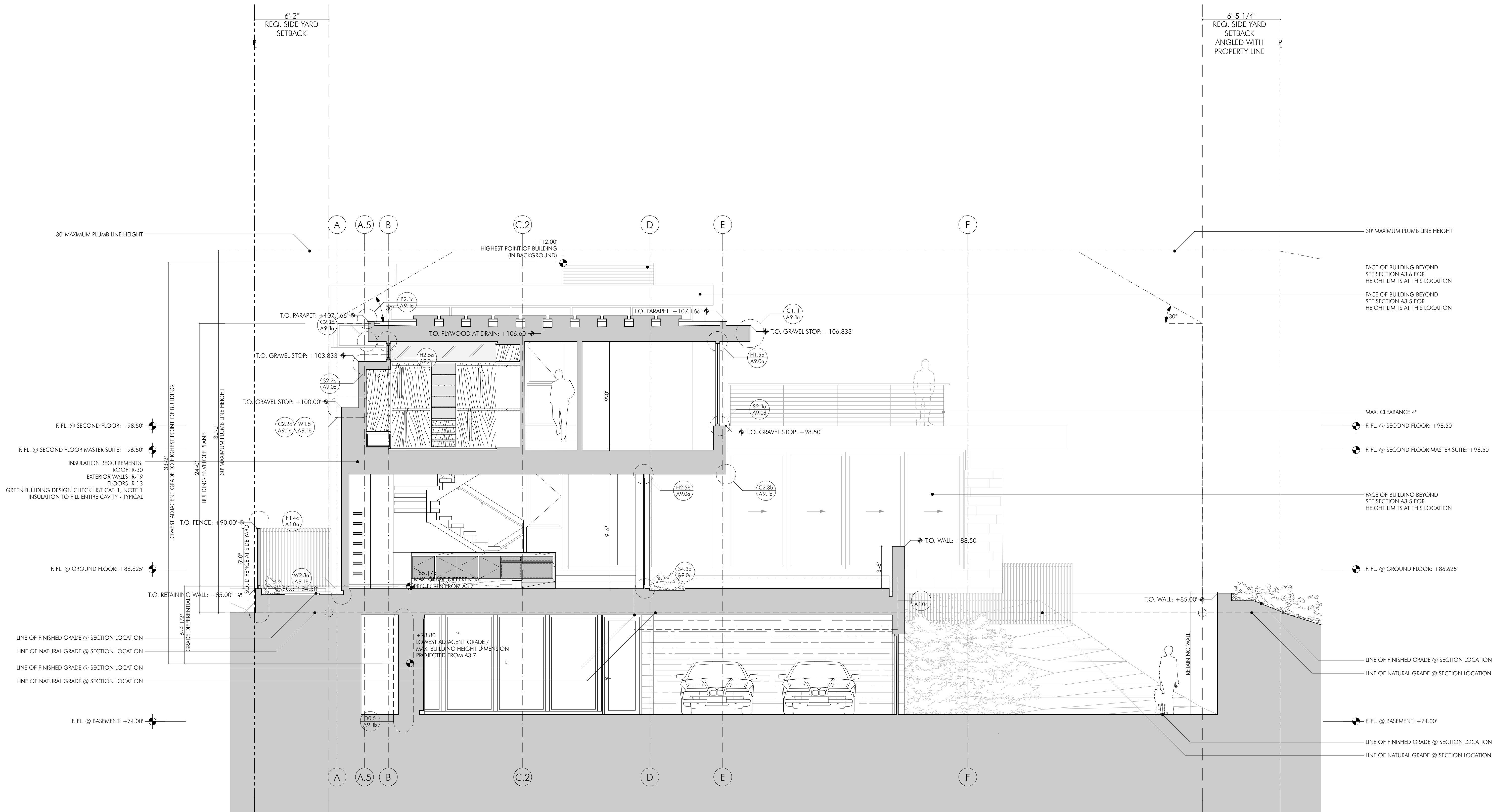
BUILDING SECTION

1/4" = 1' - 0"

A3.3

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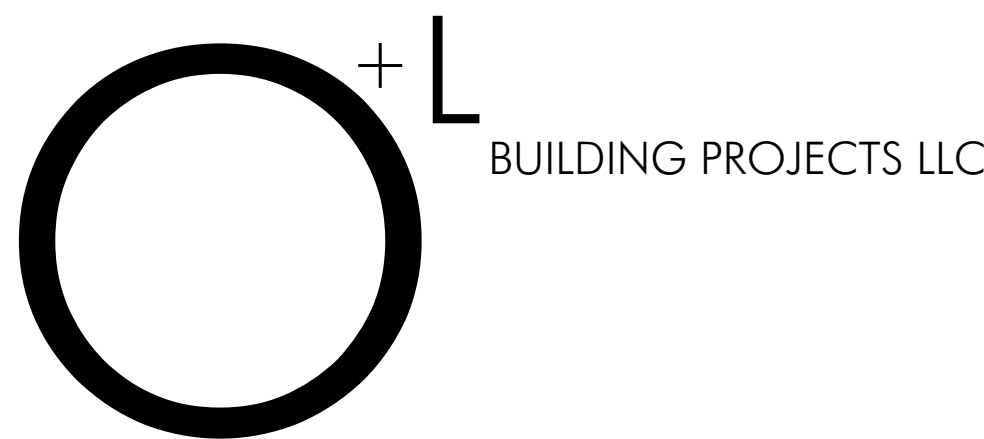


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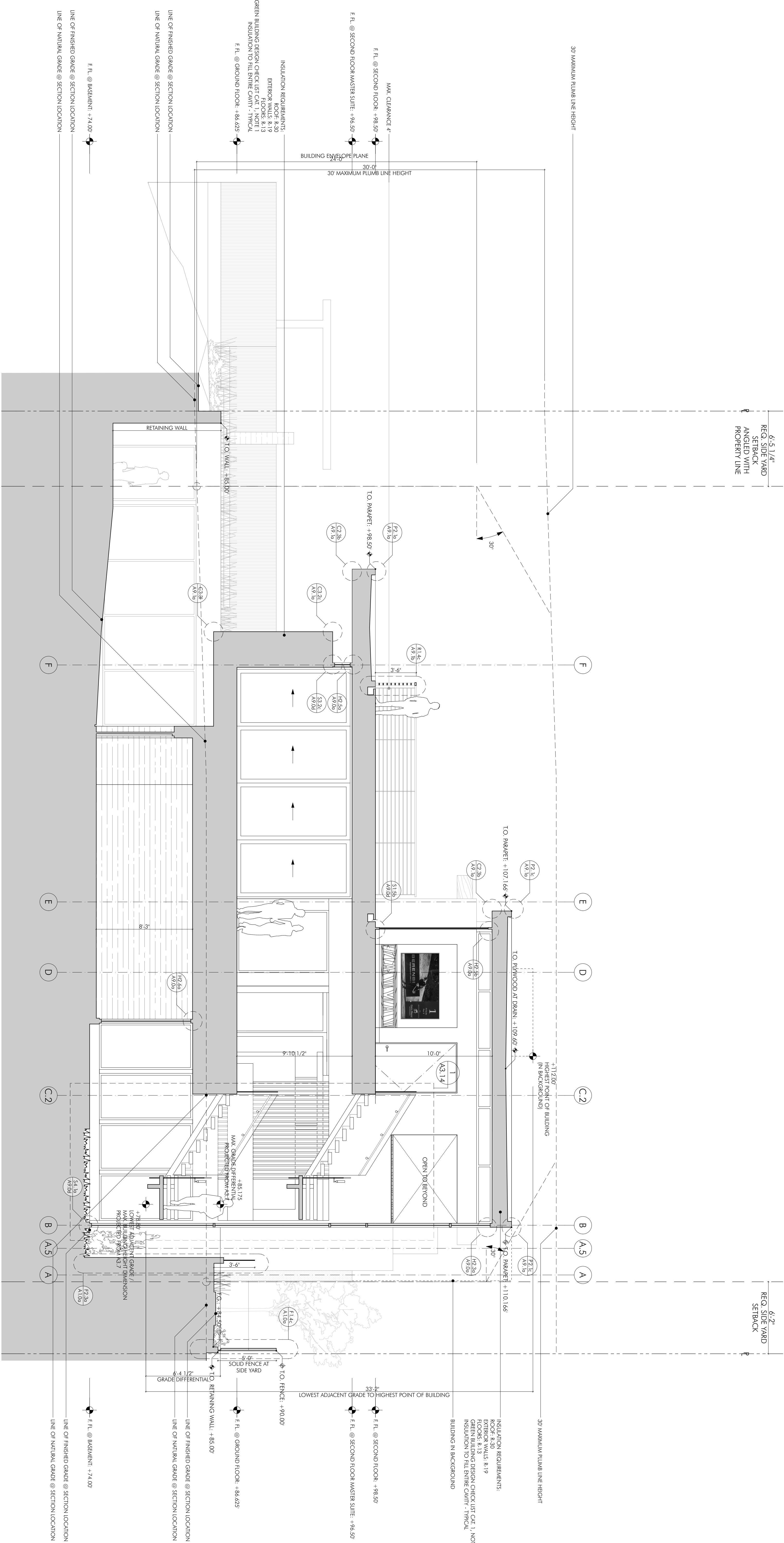
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BUILDING SECTION

1/4" = 1' - 0"

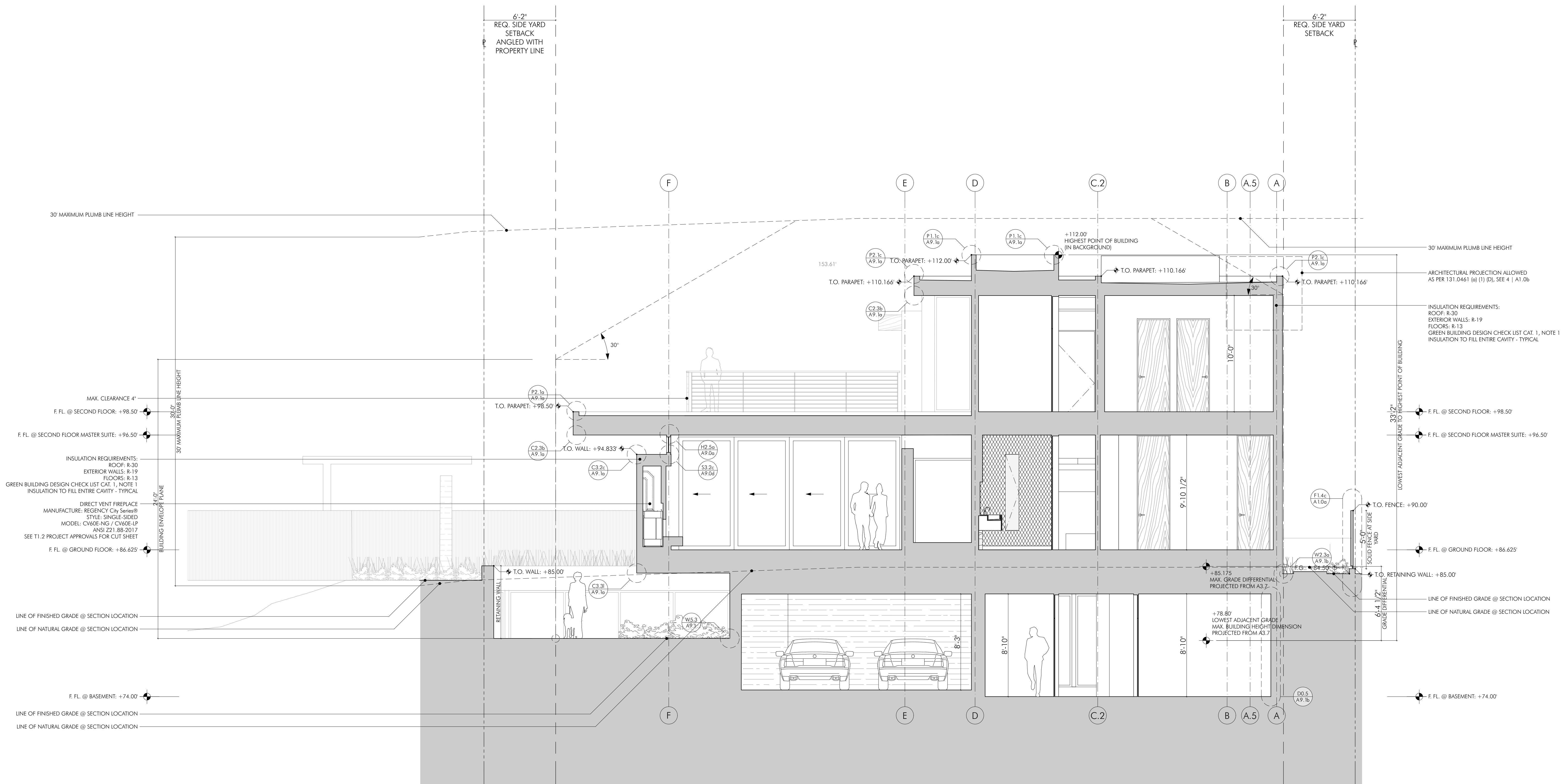
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Sheet No. 31 / 62



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LA JOLLA RESIDENCE # 1806		PROJECT LOG:	
4509 Grand View Blvd, Los Angeles, CA 90066 p: (310) 390 1650		6216 Avenida Cresta, La Jolla, CA 92037	
O + L BUILDING PROJECTS LLC 2019		BUILDING SECTION	
1/4" = 1' - 0"		A3.5	
Sheet No. 32 / 62			

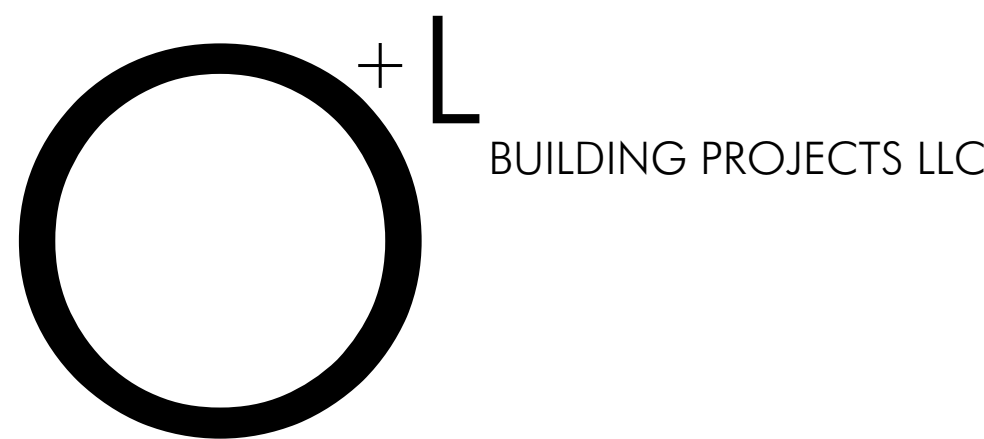


CONTRACTOR TO CROSS  
REFERENCE DETAIL CALL OUTS OF  
FLOOR PLANS, ELEVATIONS AND  
SECTIONS AND NOTIFY DESIGN  
PROFESSIONAL IF ANY  
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02.11.2019: Original Drawing Preparation Date

PROJECT LOG:

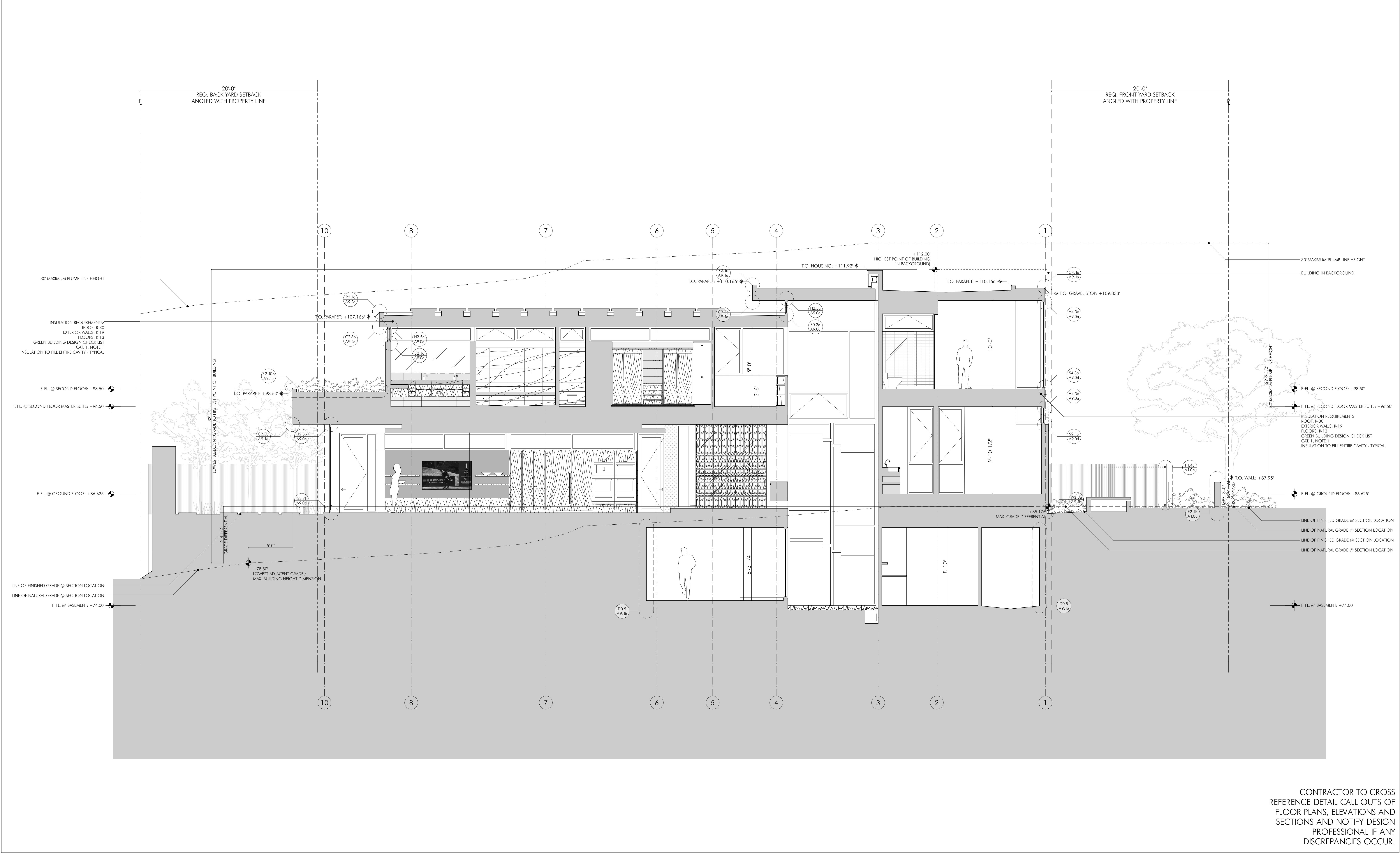
Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

BUILDING SECTION

1/4" = 1' - 0"

A3.6

Sheet No. 33 / 62



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PROJECT LOG:

Leidy Residence

6216 Avenida Cresta, La Jolla, CA 92037


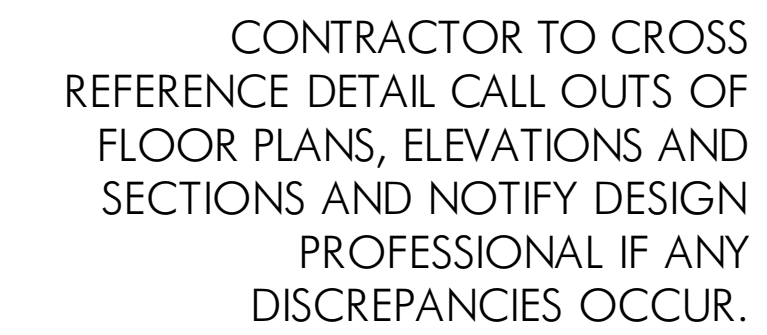
BUILDING SECTION

1/4" = 1' - 0"

A3.7

Sheet No. 34 / 62

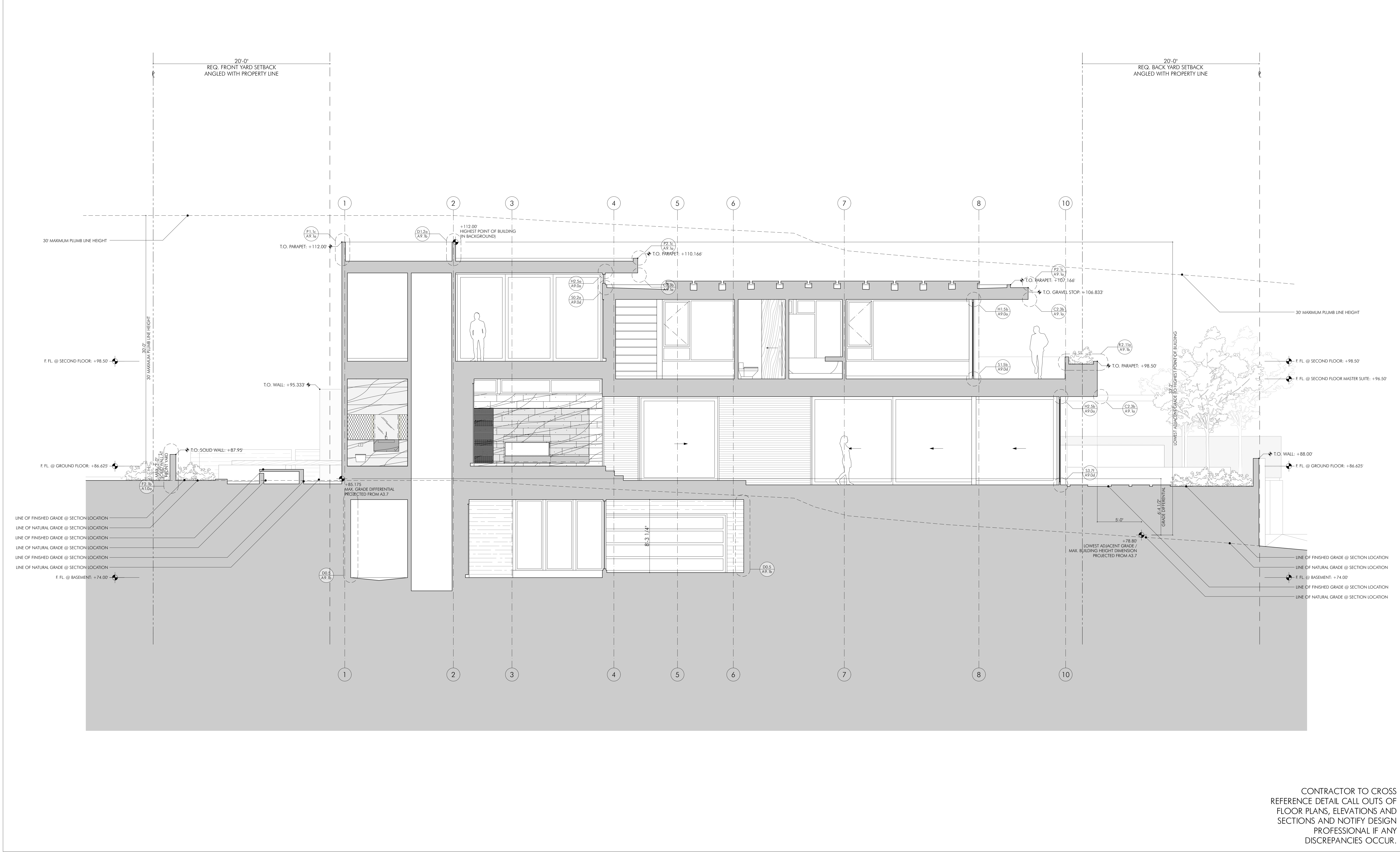




PROJECT LOG:

Sheet No. 35 / 62

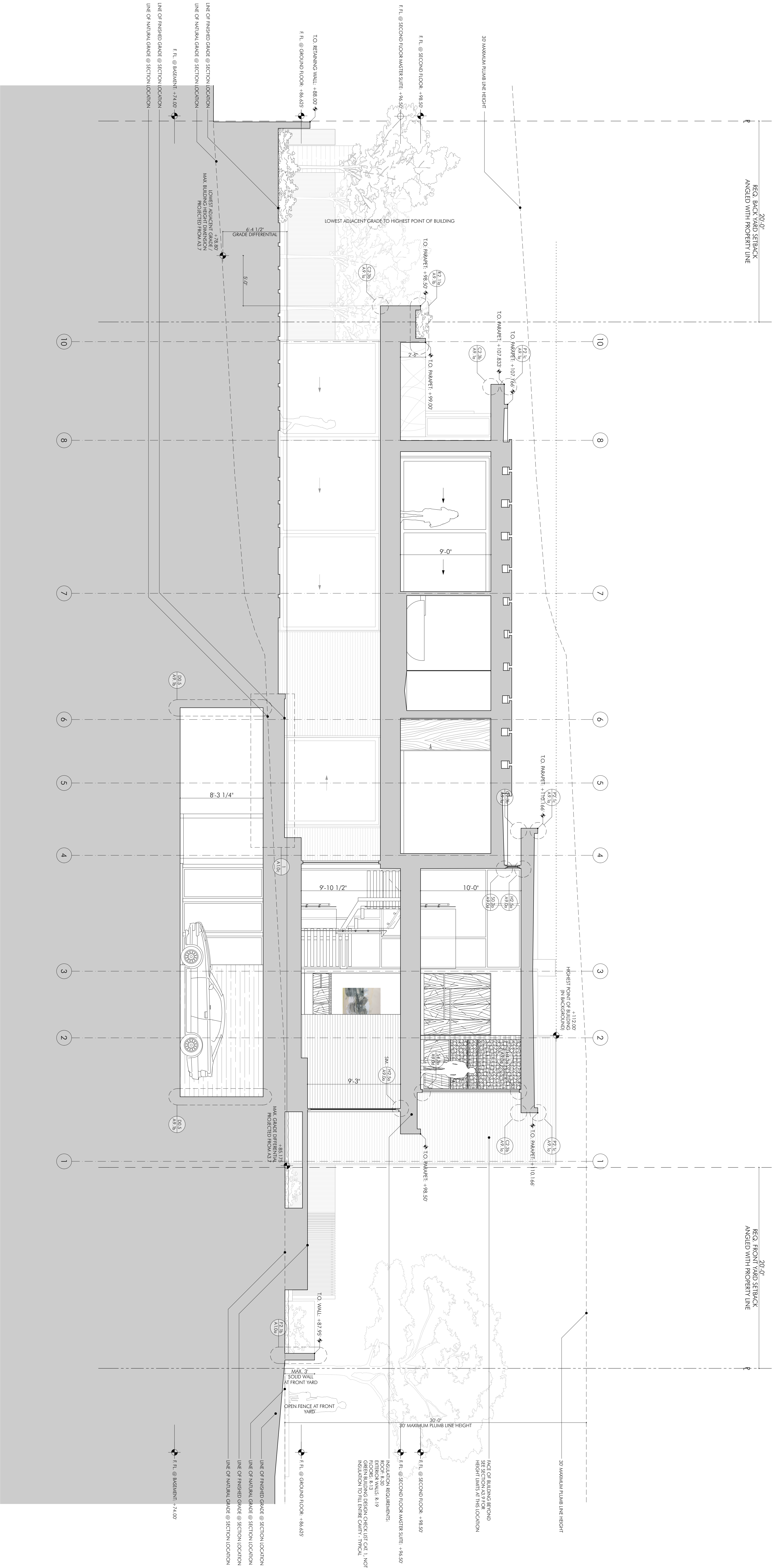




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**PROJECT LOG:**

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02.11.2019:	Preliminary Design Presentation
02.11.2019:	Original Drawing Preparation Date

**Leidy Residence**

6216 Avenida Cresta, La Jolla, CA 92037


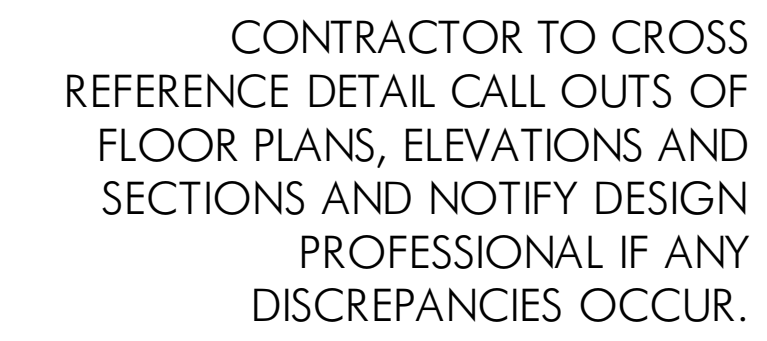
**BUILDING SECTION**

1/4" = 1' - 0"

**A3.10**

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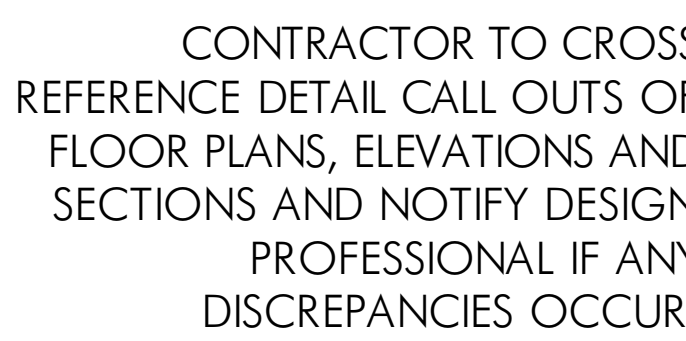




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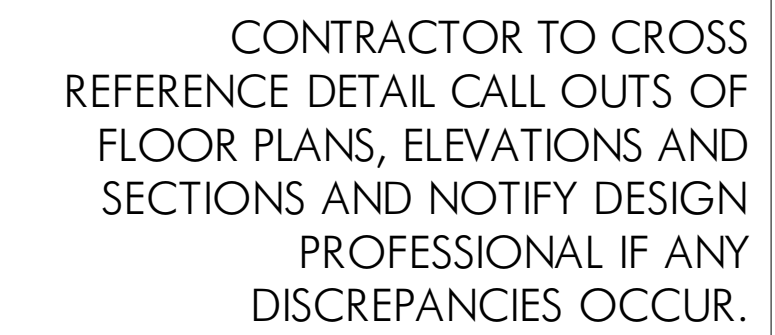
Sheet No. 38 / 59





PROJECT LOG:

Sheet No. 39 / 59

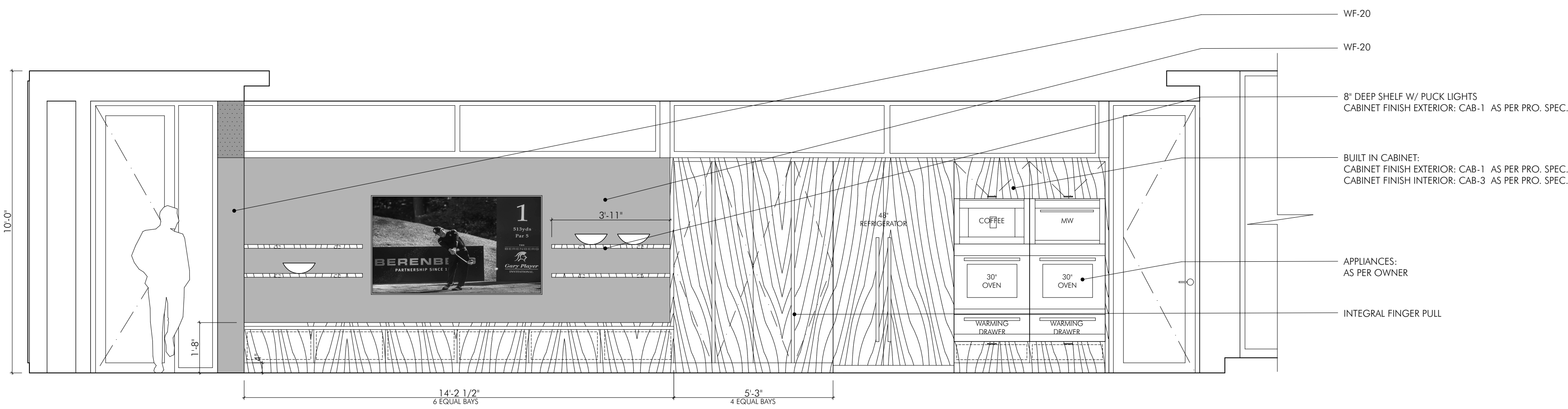


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BUILDING PROJECTS LLC

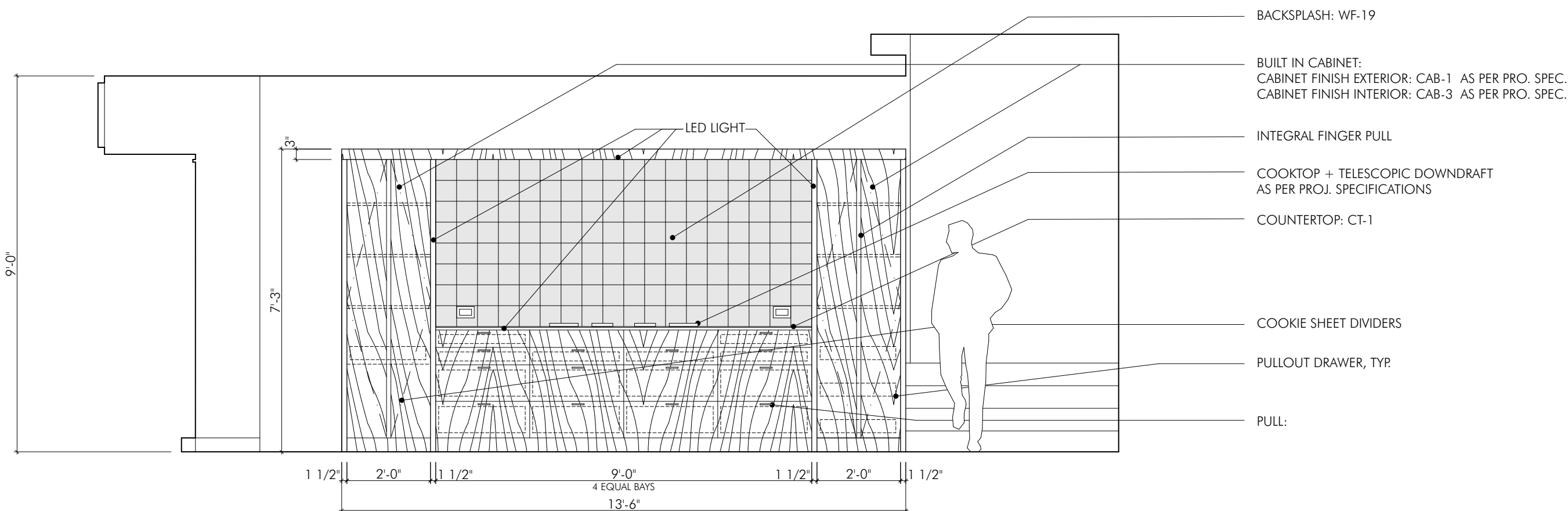
PROJECT LOG:

Sheet No. 40 / 62

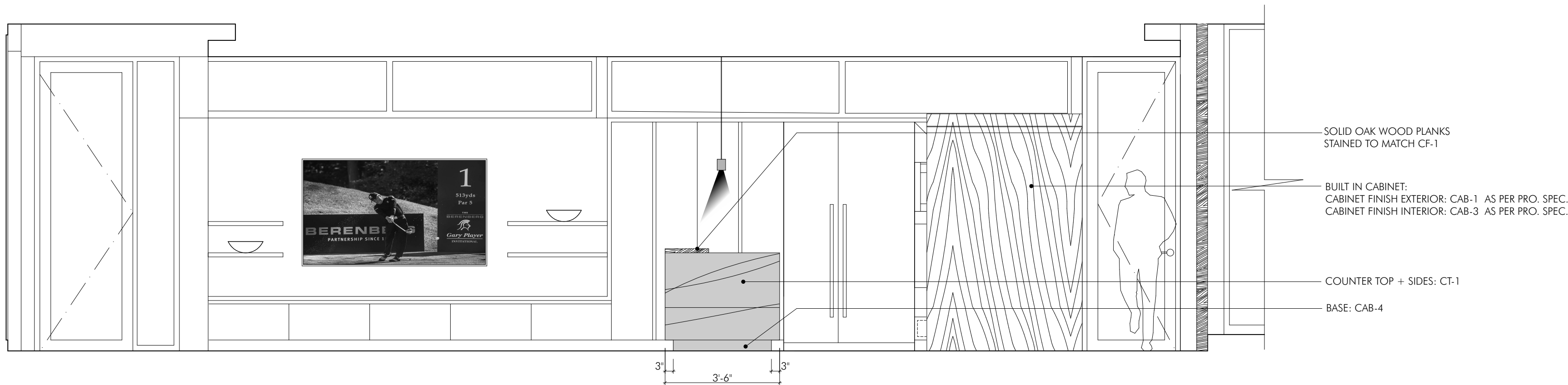




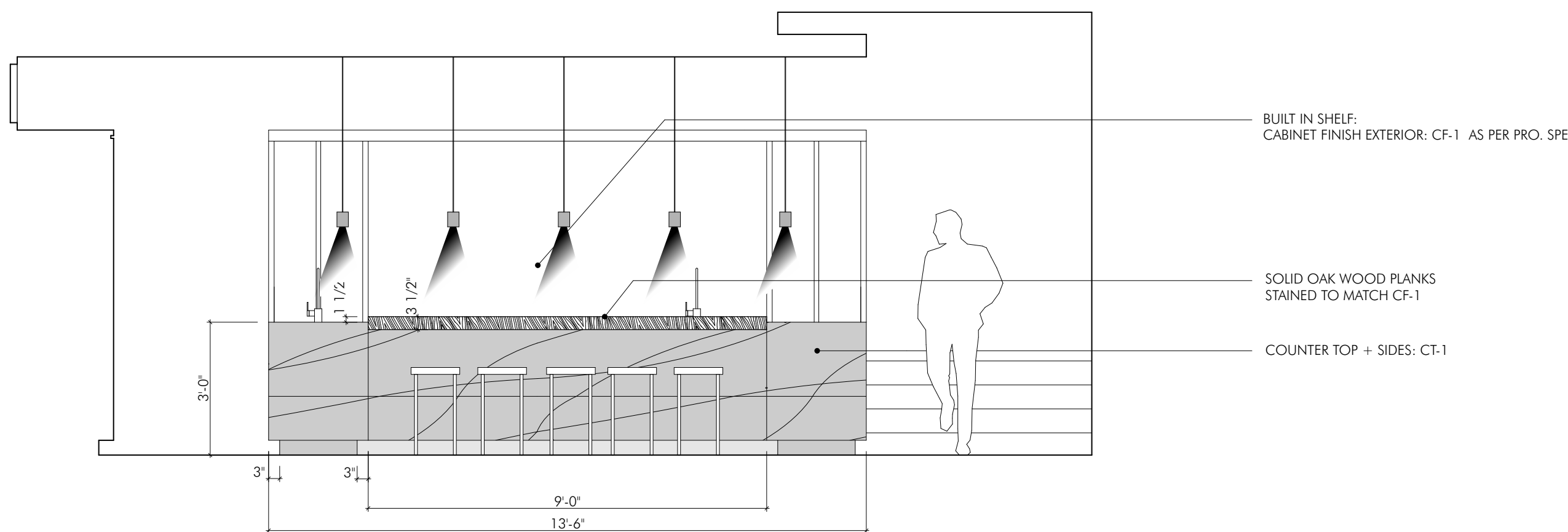
1 | FAMILY ROOM #101



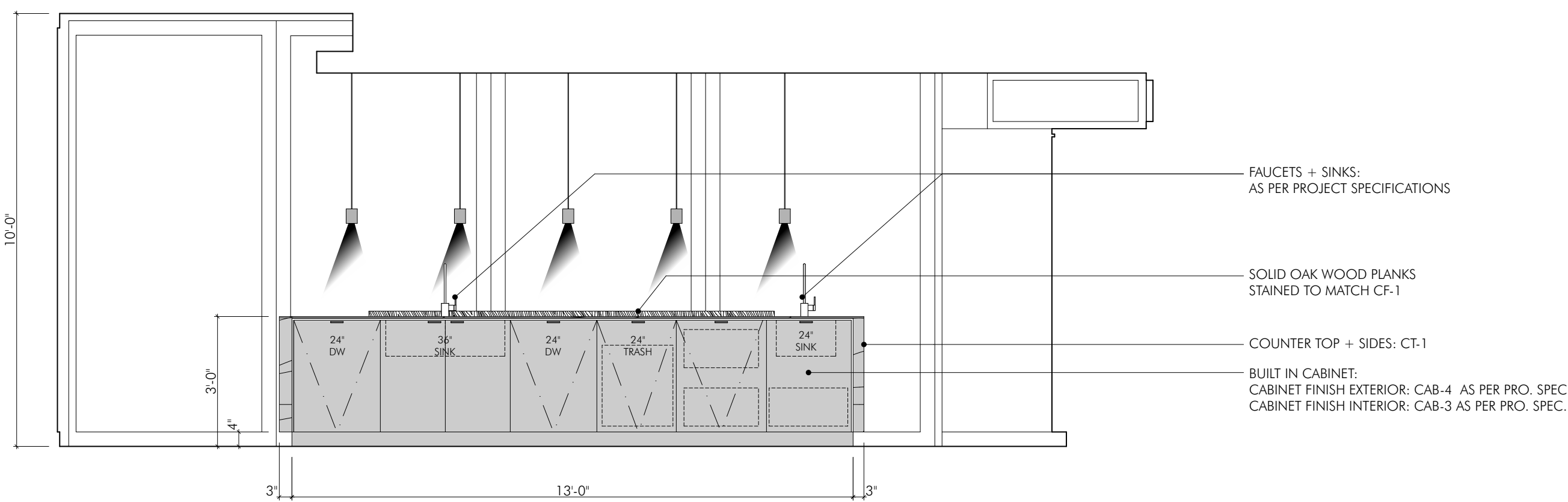
KITCHEN COUNTER - LOOKING EAST



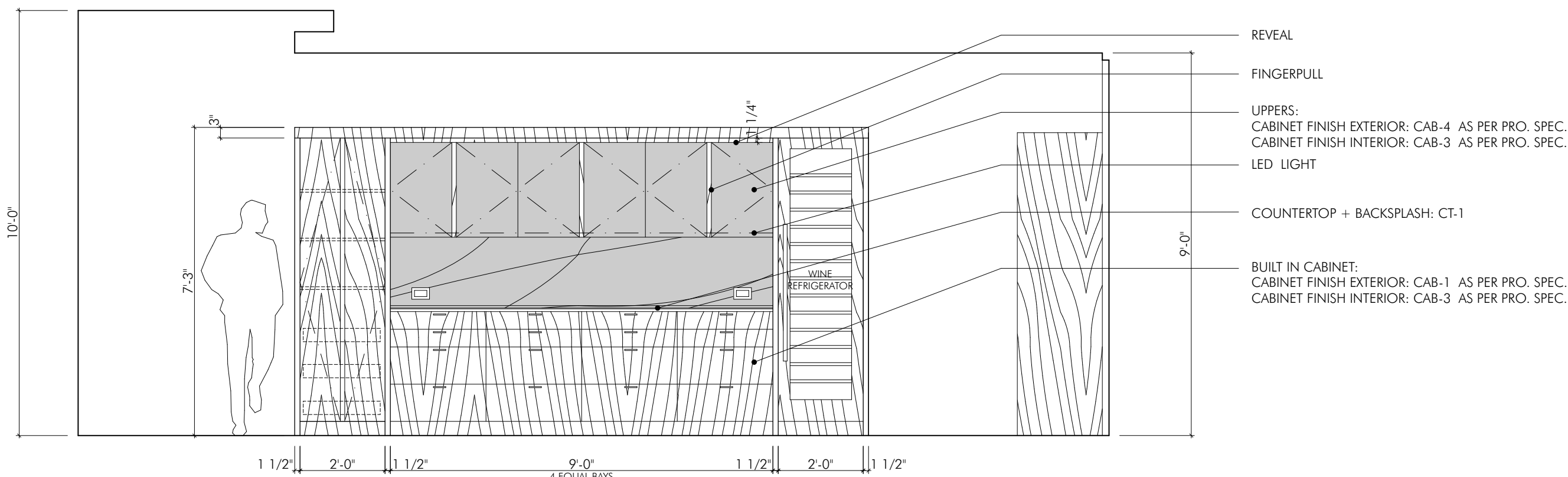
1 | KITCHEN #102



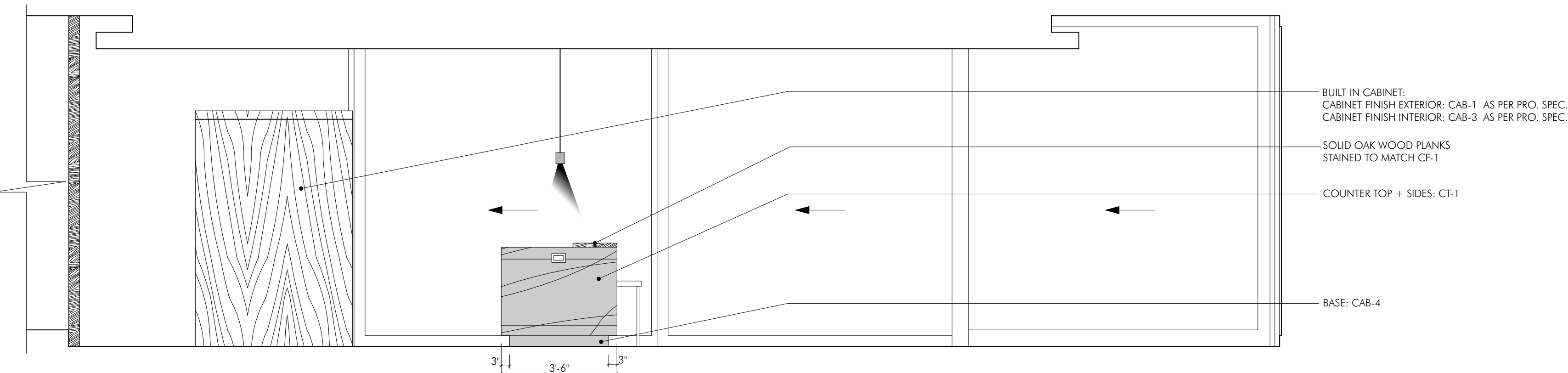
KITCHEN ISLAND W/ SINK



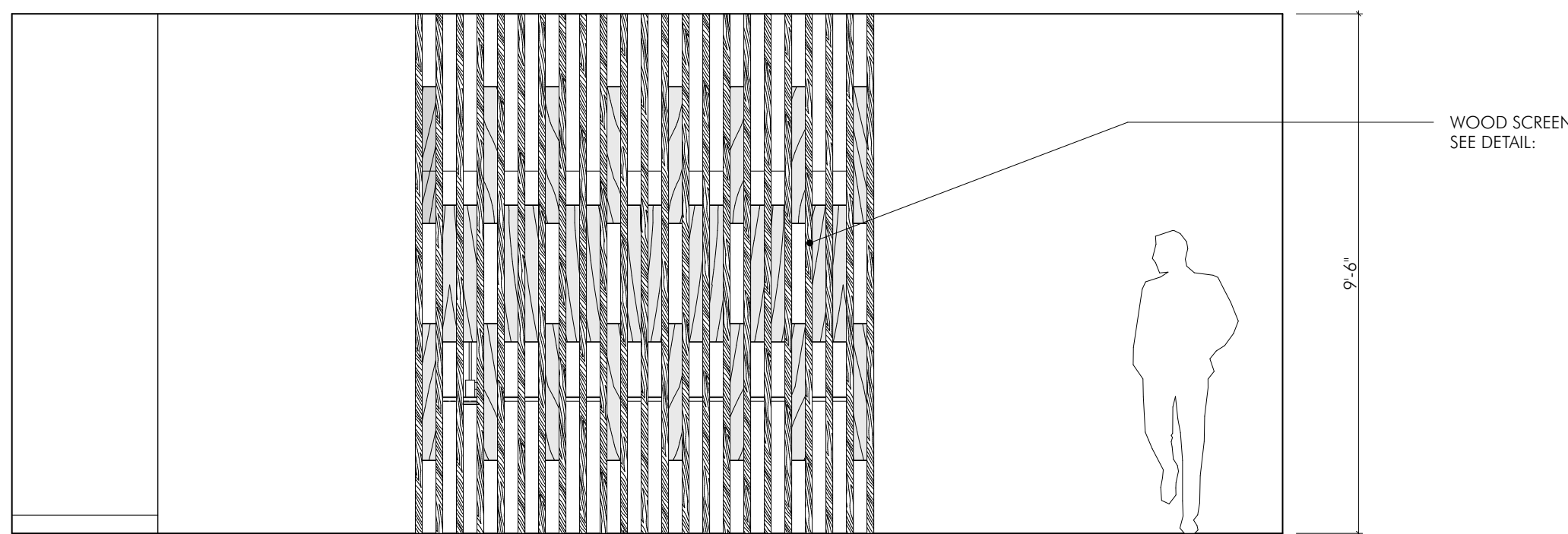
KITCHEN ISLAND W/ SINK



KITCHEN COUNTER - LOOKING WEST



KITCHEN ISLAND W/ SINK

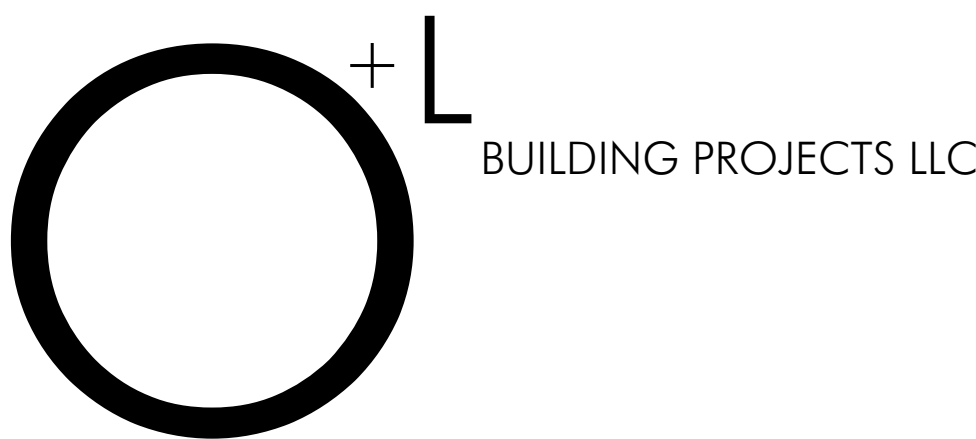


2 | SCREEN BETWEEN DINING ROOM + KITCHEN

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Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

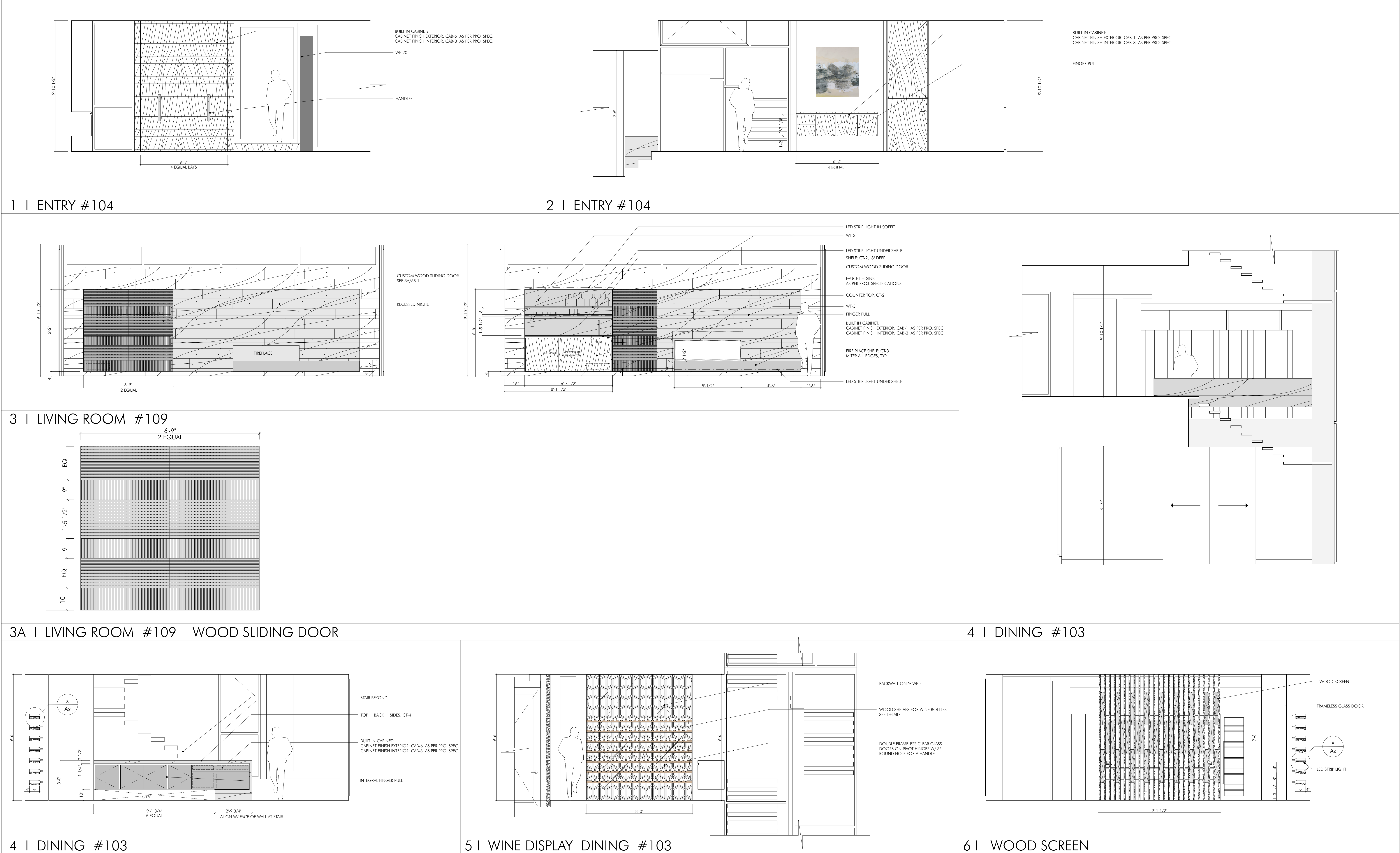
INTERIOR ELEVATIONS

3/8" = 1' - 0"

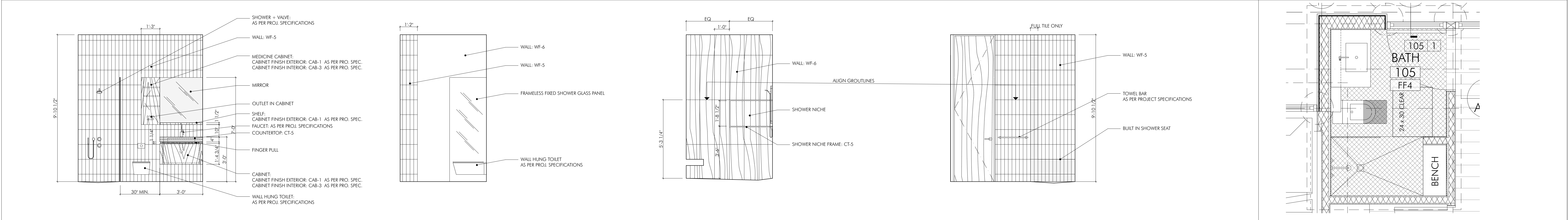
A5.0

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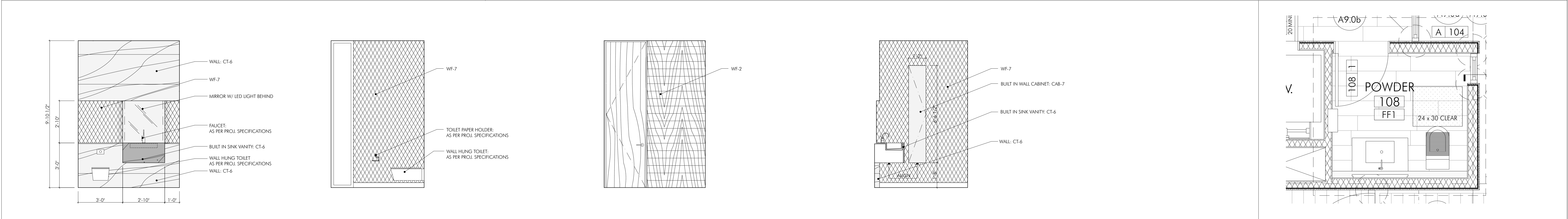


1 | BATH #105

1 | FLOOR PLAN BATH #105

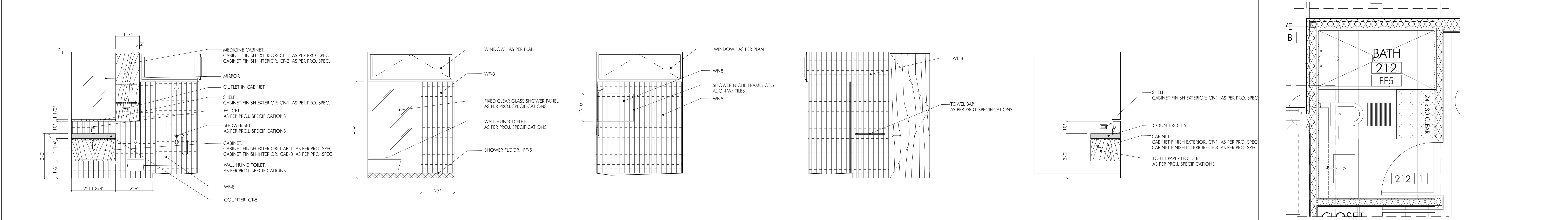


2 | BED ROOM #107



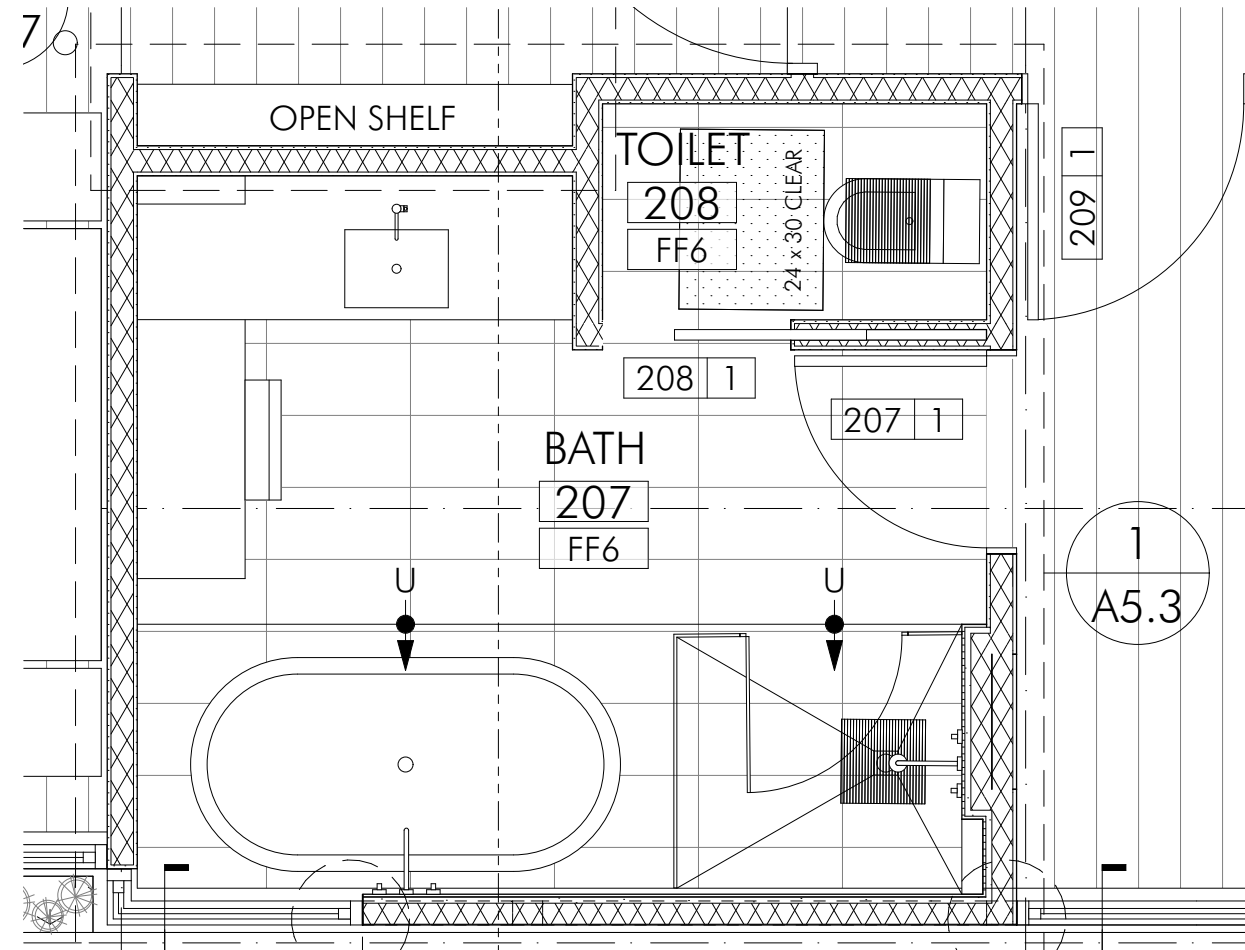
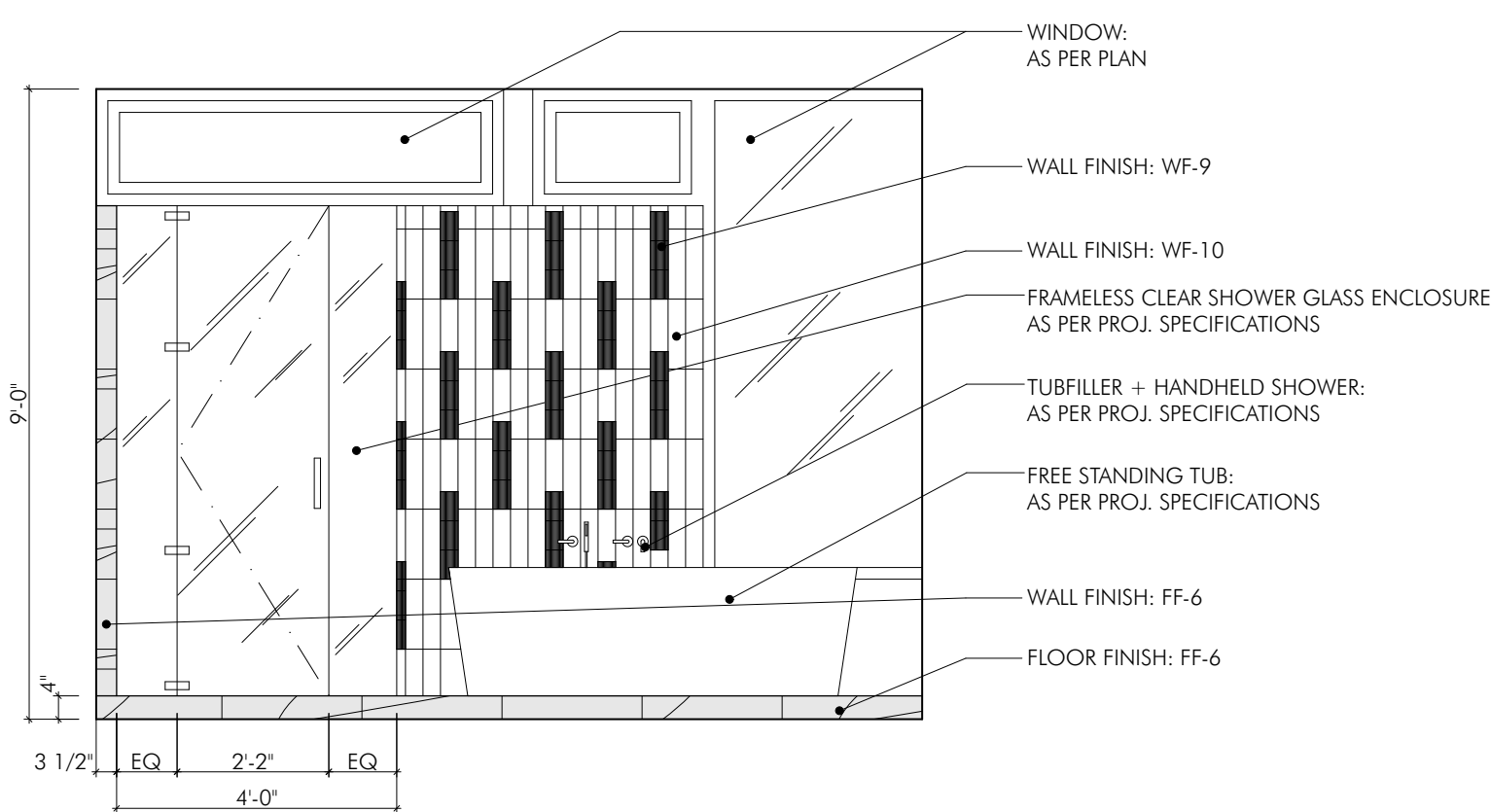
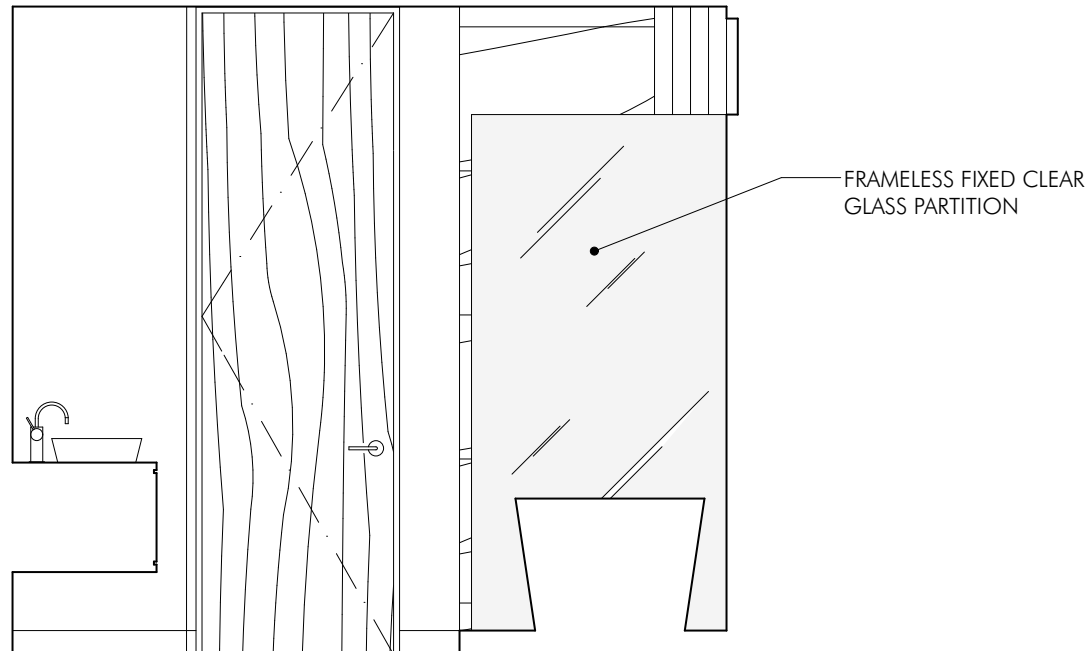
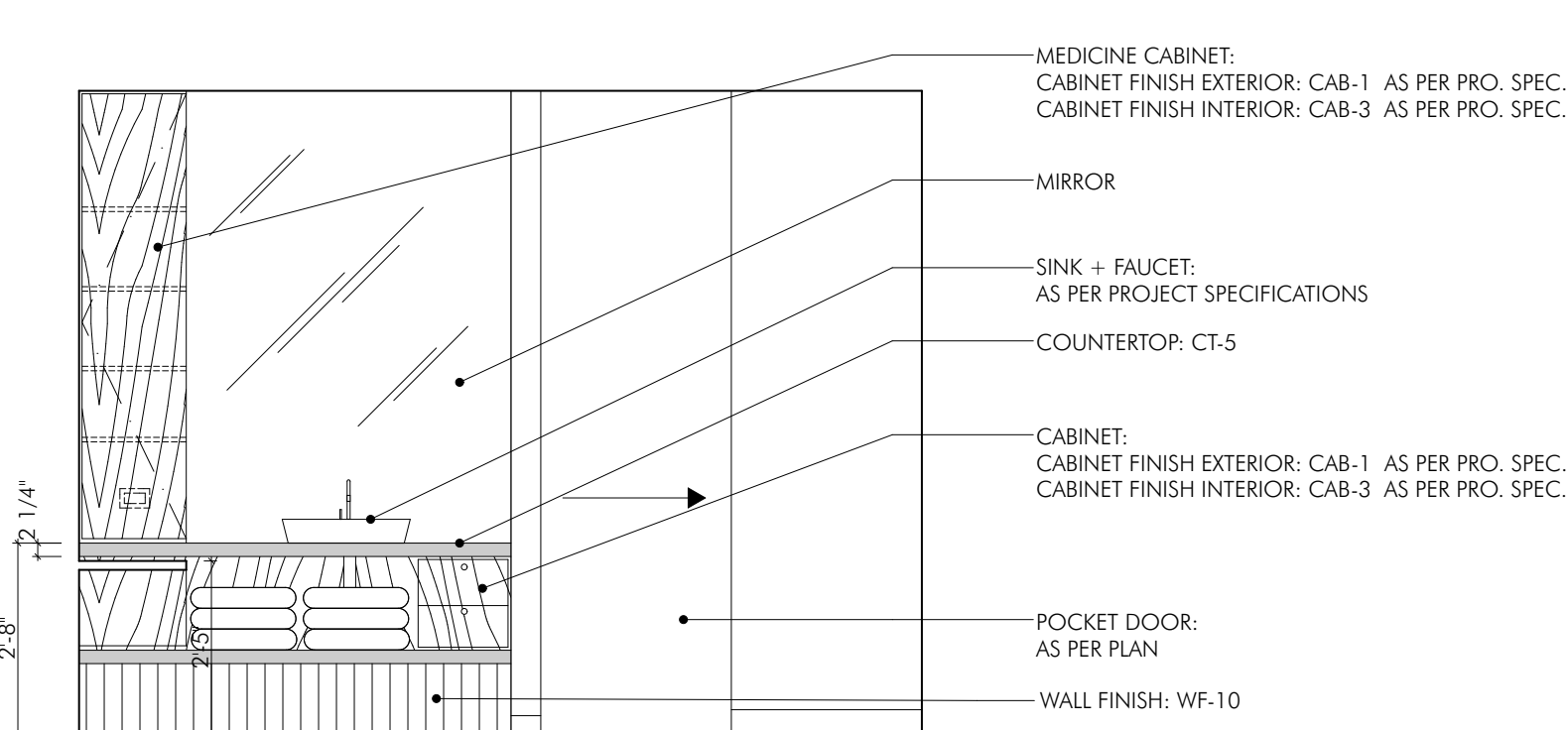
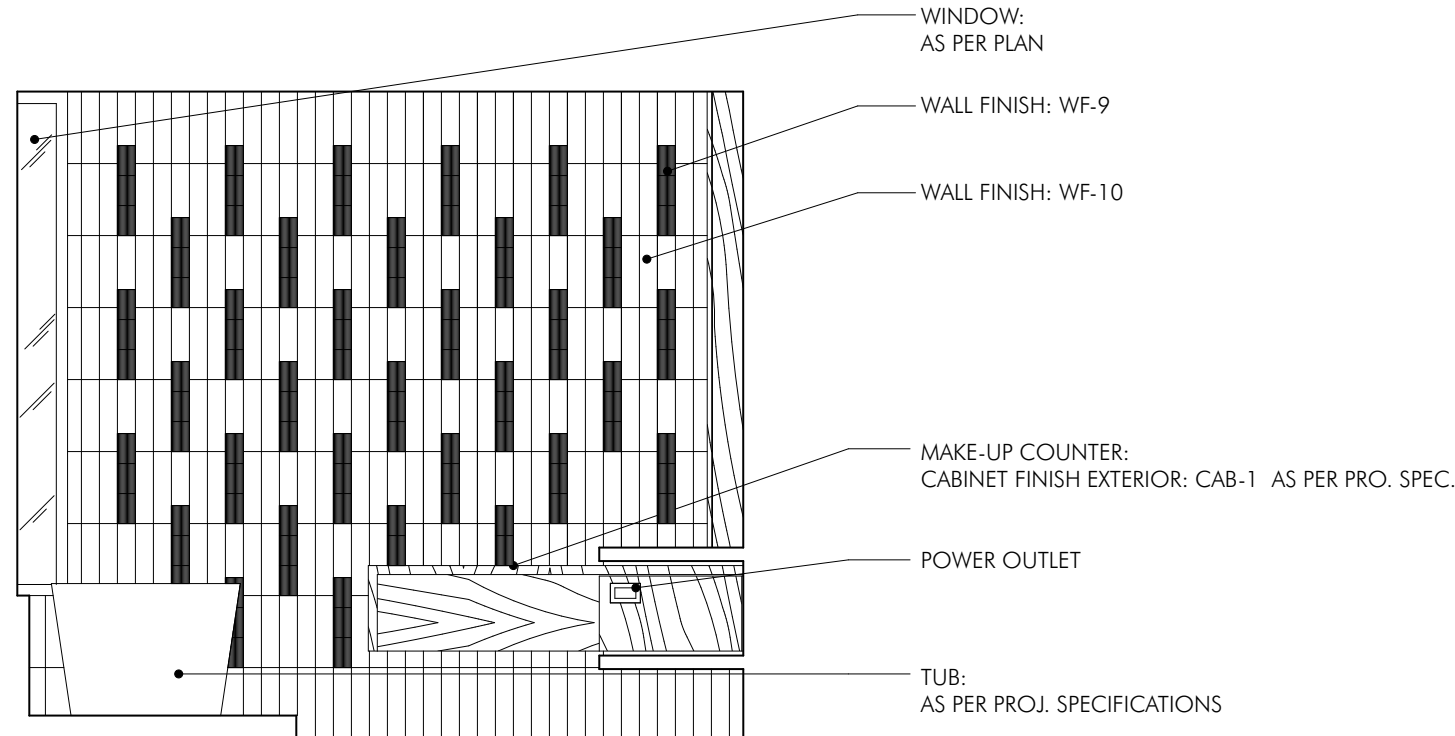
3 | POWDER ROOM #108

3 | FLOOR PLAN POWDER ROOM #108



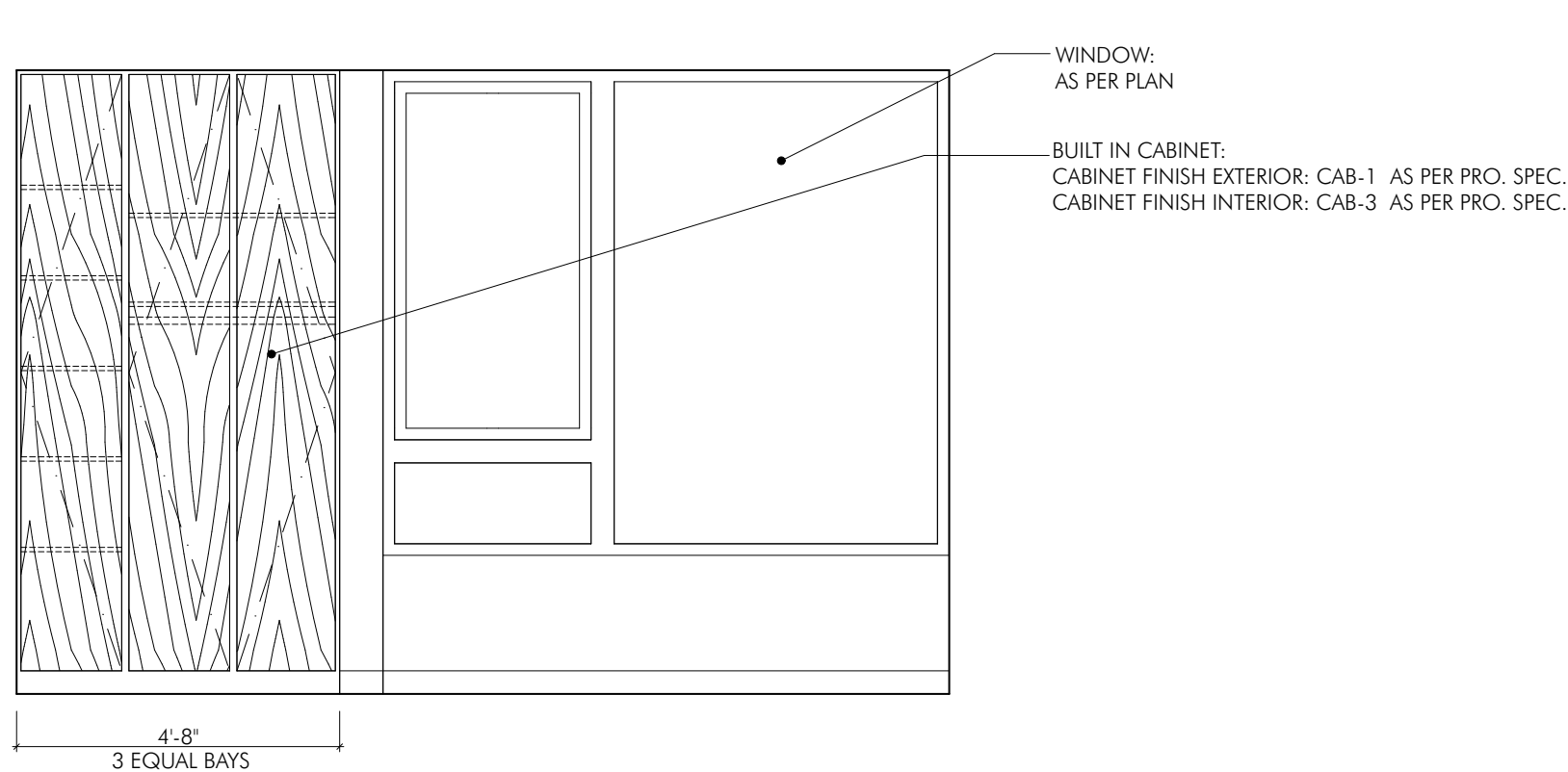
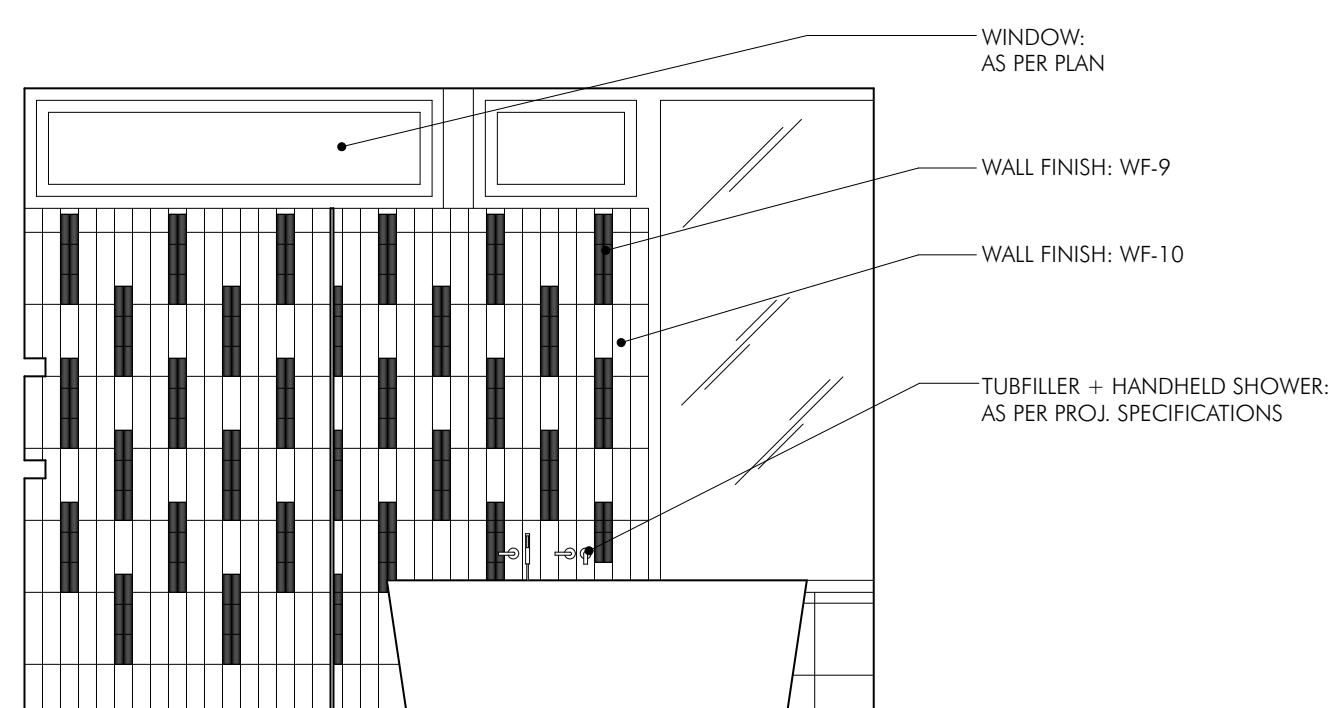
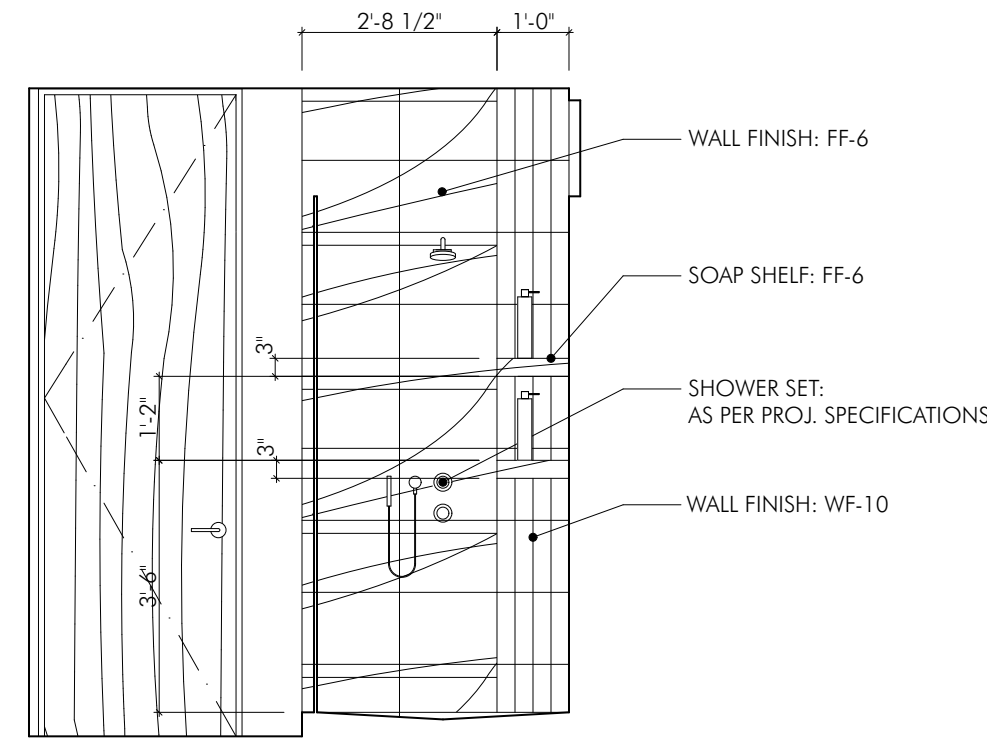
4 | BATH #212

4 | FLOOR PLAN BATHROOM #212



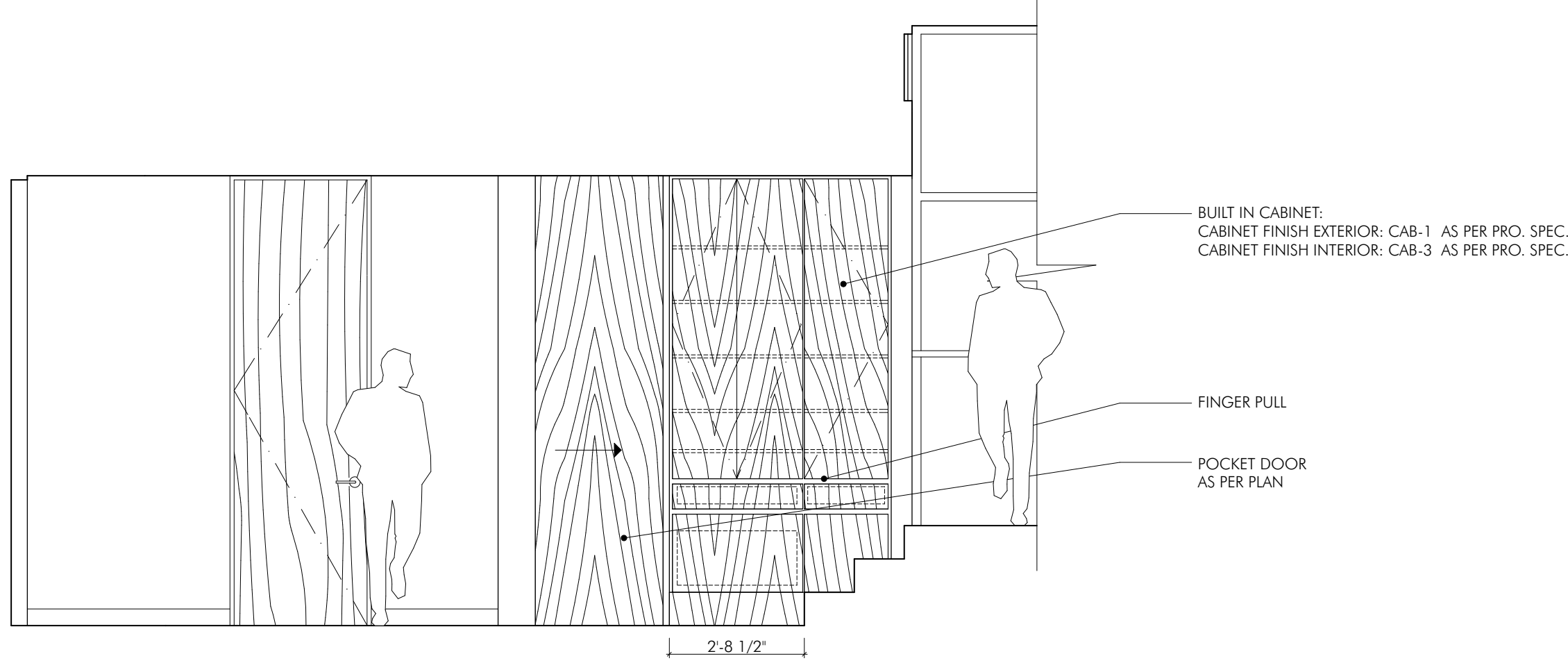
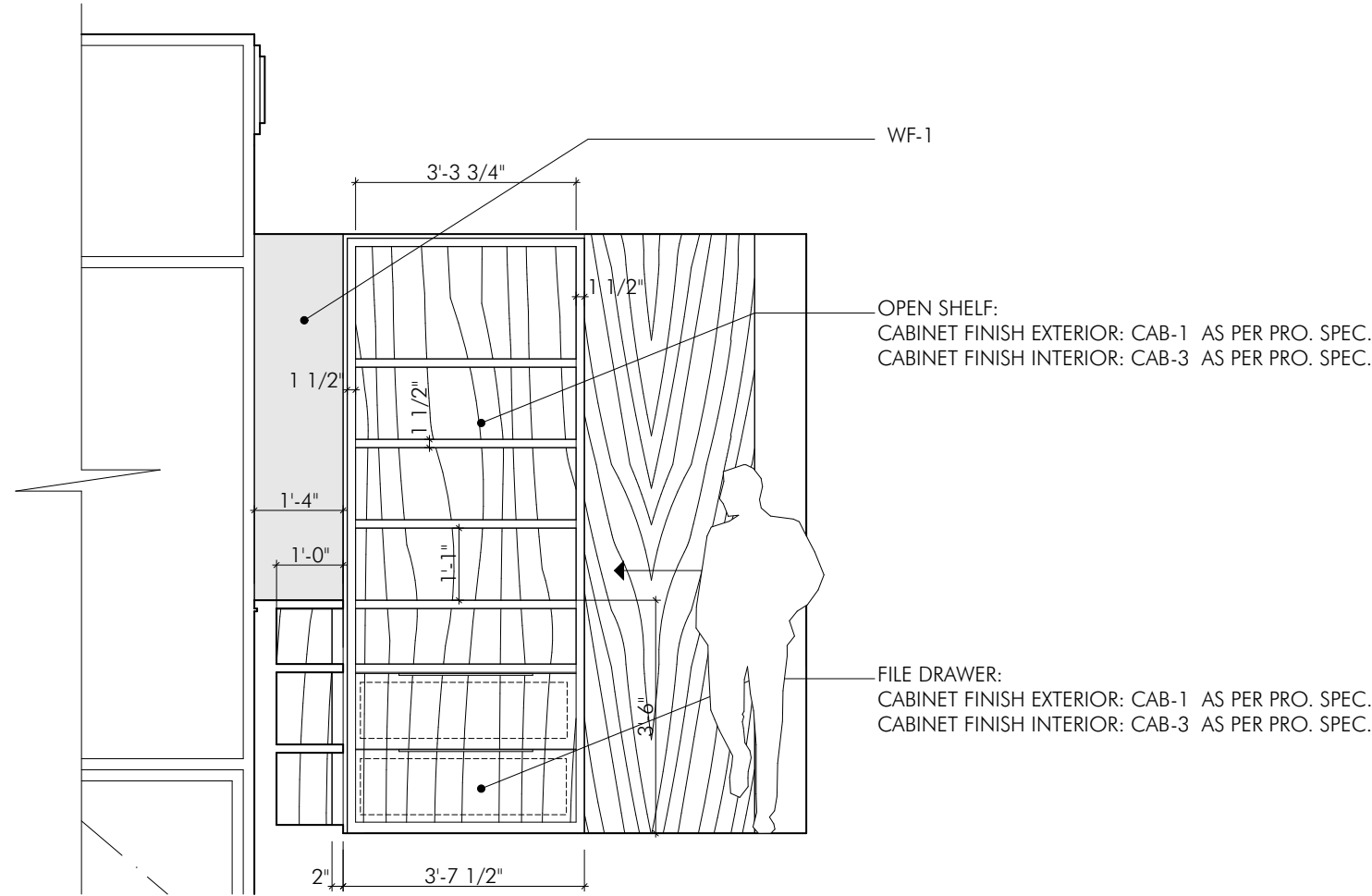
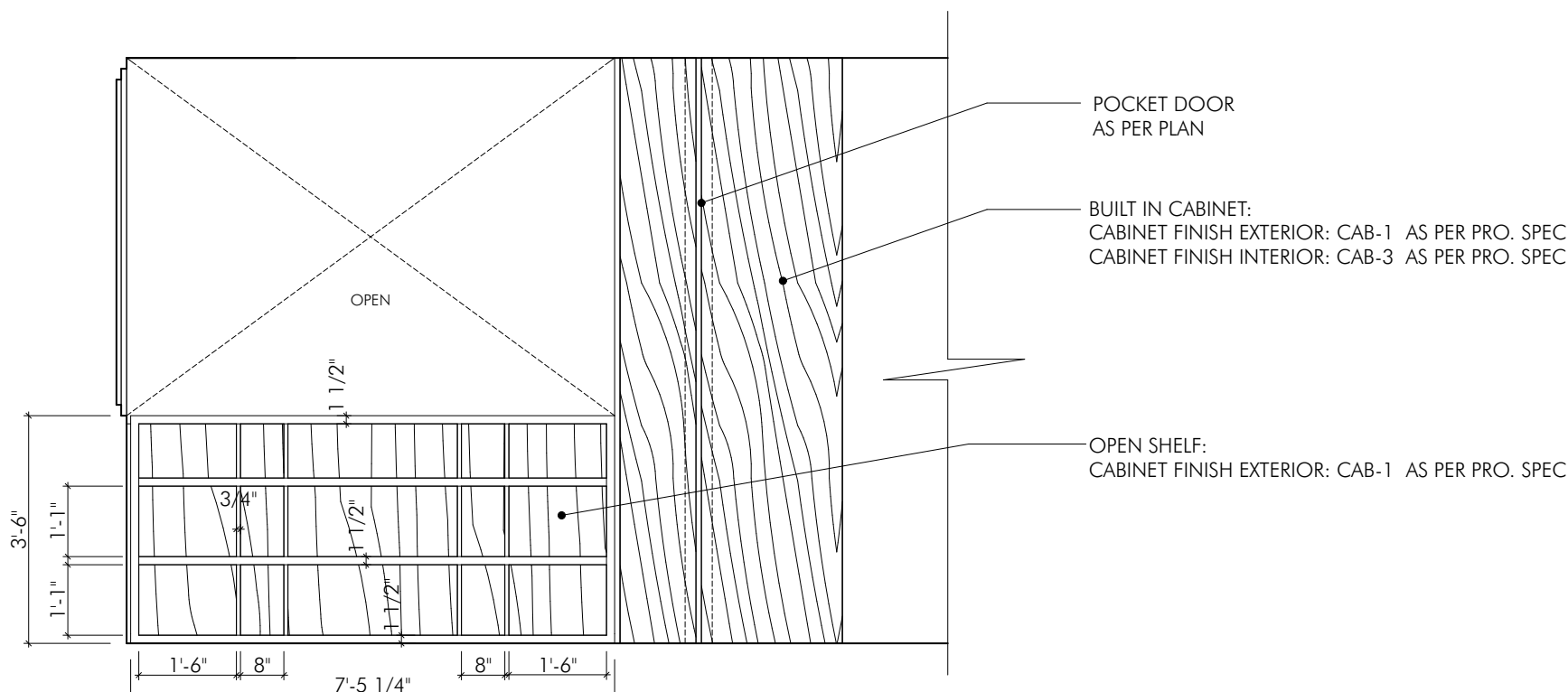
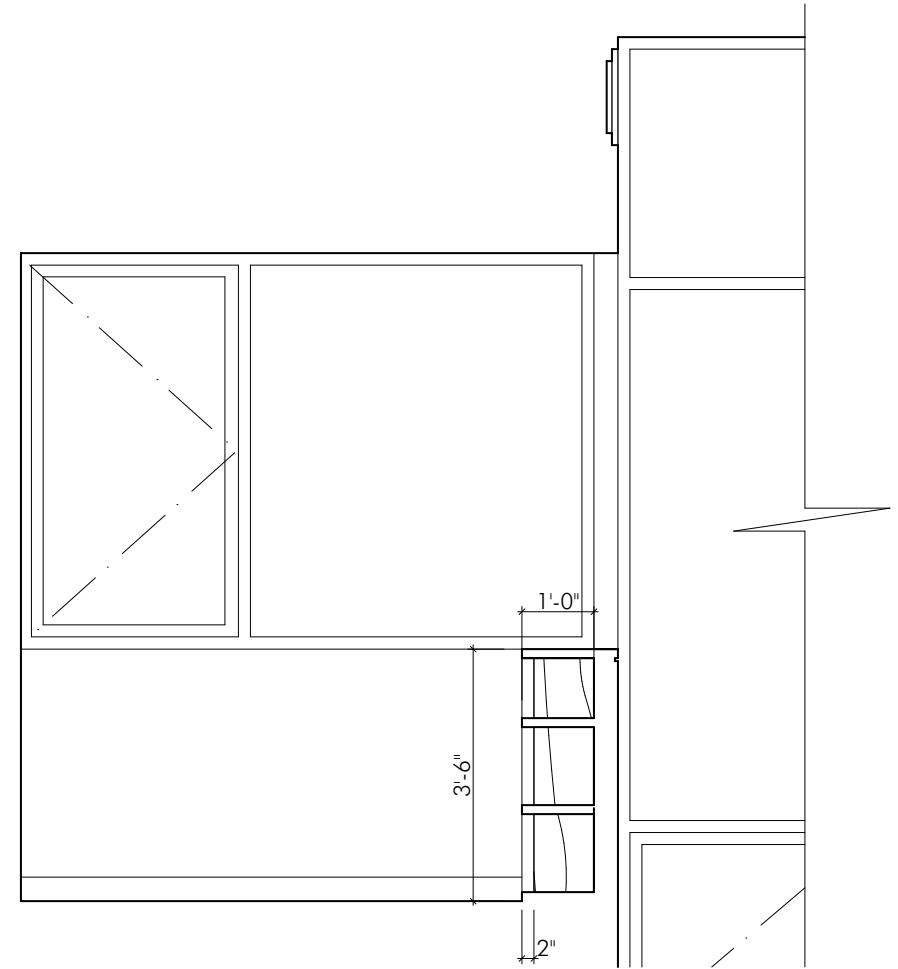
1 | BATH #207

FLOOR PLAN #207

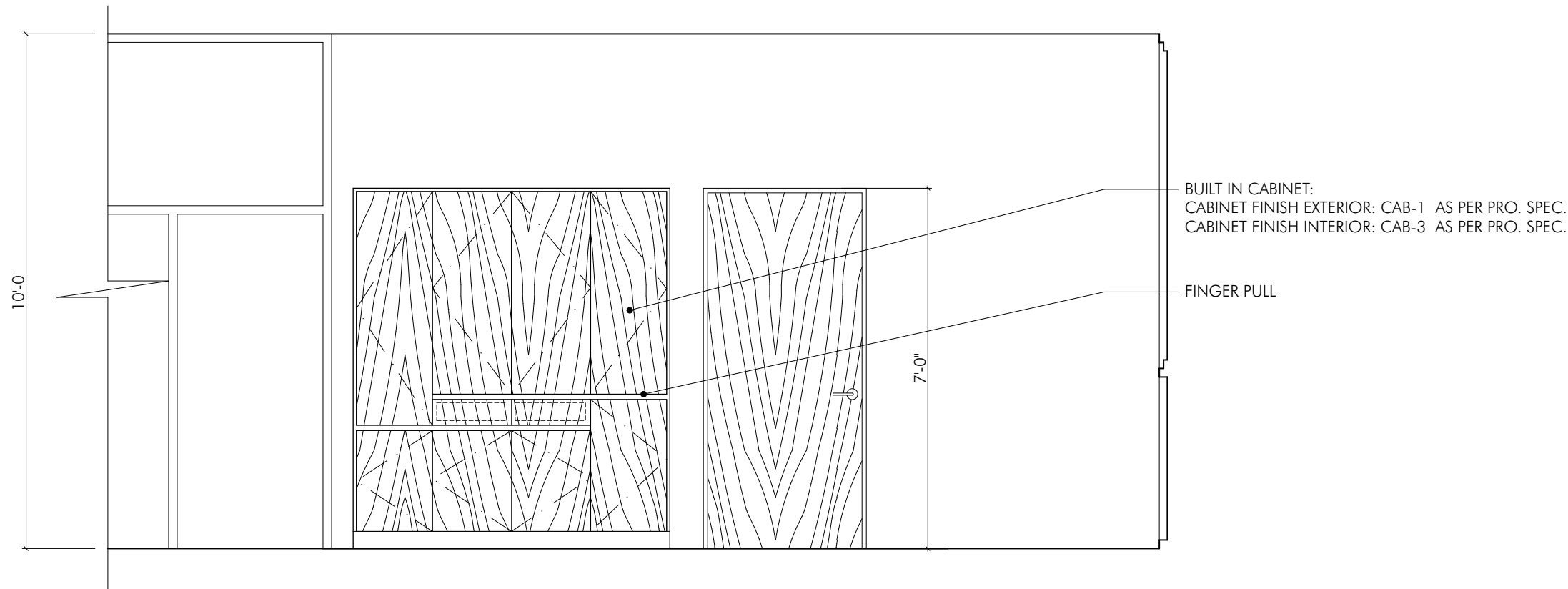
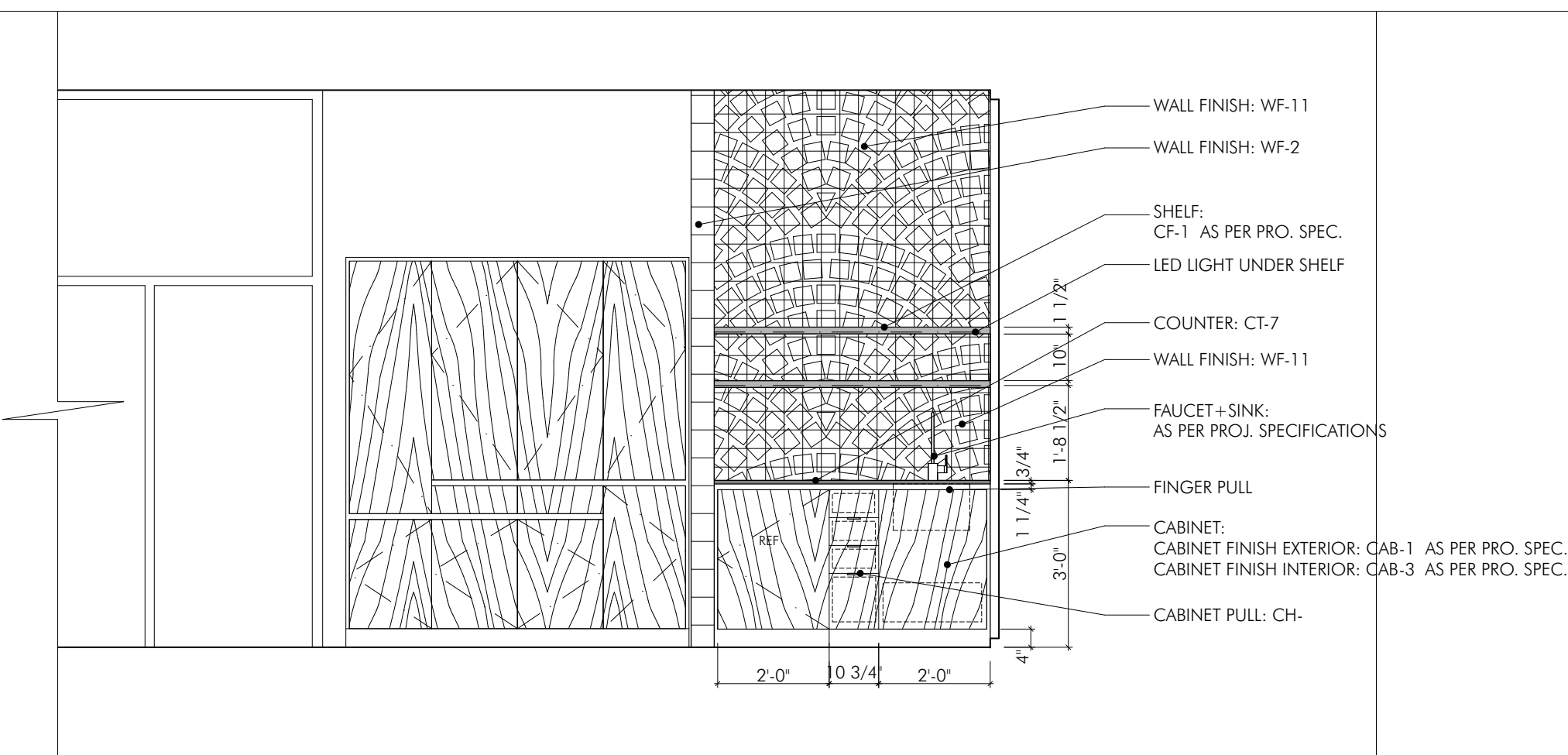
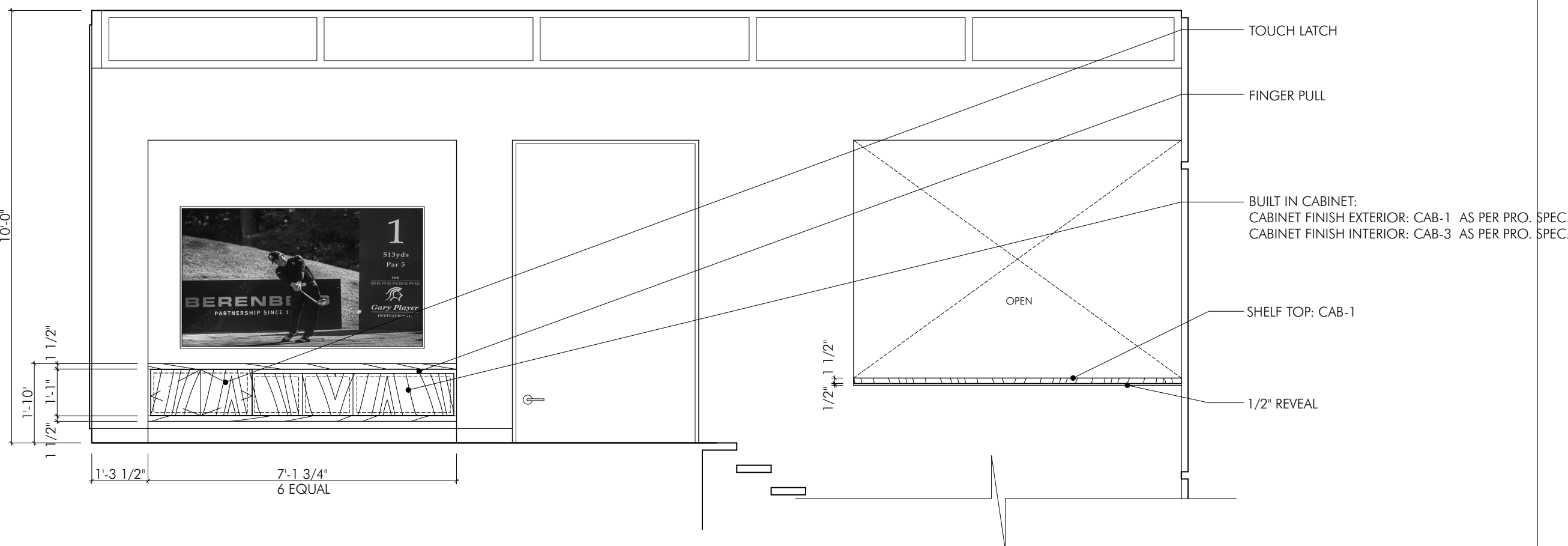


1 | BATH #207

2 | BEDROOM #209



3 | STUDY #210



4 | PLAYROOM #211

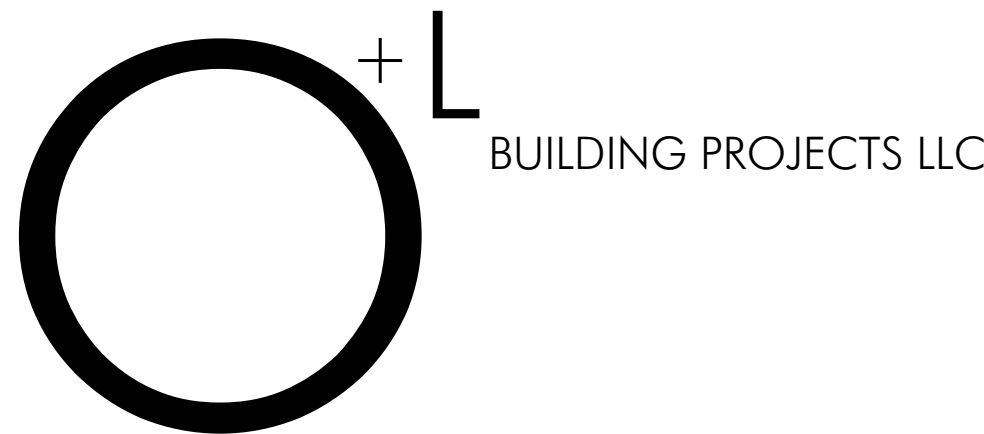
5 | PLAYROOM #211

6 | PLAYROOM #211

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PROJECT LOG:

Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

INTERIOR ELEVATIONS

3/8" = 1' - 0"

A5.3

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9'-0"

WINDOW - AS PER PLAN

WALL FINISH: WF-14

COUNTER TOP: CT-8

BUILT IN CABINET:  
CABINET FINISH EXTERIOR: CAB-1 AS PER PRO. SPEC.  
CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC.

3'-0"

1'-11 1/4" V.E.

EQ

1'-10"

1'-6"

1'-10"

EQ

TOUCH LATCH DOOR

WINDOW - AS PER PLAN

MIRROR W/ LED LIGHT BELOW  
AS PER PROJECT SPECIFICATIONS

BUILT IN SINK: CT-8

COUNTER TOP: CT-8

BUILT IN CABINET:  
CABINET FINISH EXTERIOR: CAB-1 AS PER PRO. SPEC.  
CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC.

CABINET PULL: CH

WALL FINISH: WF-14

WALL FINISH: WF-12

CLEAR FRAMELESS GLASS

WALL FINISH: WF-14

TUB FILLER:  
AS PER PROJECT SPECIFICATIONS

TUB:  
AS PER PROJECT SPECIFICATIONS

LINE OF ROOF ABOVE

BENCH

LINE OF CLERESTORY WINDOW ABOVE

FF7

204  
FF2  
24' x 30' CLEAR

TOILET

2  
A5.4

MASTER BATH  
203  
FF2

CAB

203  
A  
H2.50  
A9.00

J2.20  
A9.00

1 | MASTER BATH #203

FLOORPLAN MASTER BATH #203

WALL FINISH: WF-12

CLEAR FRAMELESS SHOWER DOOR

TUB FILLER + VALVE:  
AS PER PROJECT SPECIFICATIONS

TUB:  
AS PER PROJECT SPECIFICATIONS

FREE STANDING CABINET:  
CABINET FINISH EXTERIOR: CAB-1 AS PER PRO. SPEC.  
CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC.

WALL FINISH: WF-15

WALL FINISH: WF-13

BENCH: CT-8

WINDOW: AS PER PLAN

WALL FINISH: WF-14

TOWEL HOOK:  
AS PER PROJECT SPECIFICATIONS

WALL FINISH: WF-12

FRAMELESS CLEAR SHOWERGLASS DOOR  
W/ PIVOT HINGE

SHOWER NICHE FRAME AND SHELF: CT-8

SHOWER SET:  
AS PER PROJECT SPECIFICATIONS

FRAMELESS CLEAR GLASS

WALL FINISH: WF-14

SHOWER SET:  
AS PER PROJECT SPECIFICATIONS

WALL FINISH: WF-13

WALL HUNG TOILET:  
AS PER PROJ. SPECIFICATION

TOILET PAPER HOLDER:  
AS PER PROJECT SPECIFICATIONS

WALL TOILET:  
AS PER PROJECT SPECIFICATIONS

WALL TOILET:  
AS PER PROJECT SPECIFICATIONS

1 | MASTER BATH #203

SHOWER MASTER BATH #203

2 | MASTER BATH TOILET ROOM #204

MIRROR

BUILT IN CABINET:  
CABINET FINISH EXTERIOR: CAB-1 AS PER PRO. SPEC.  
CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC.

STACKABLE WASHER / DRYER  
AS PER PROJ. SPECIFICATIONS

WALL FINISH: WF-13

WALL HUNG TOILET:  
AS PER PROJ. SPECIFICATION

TOILET PAPER HOLDER:  
AS PER PROJECT SPECIFICATIONS

WALL TOILET:  
AS PER PROJECT SPECIFICATIONS

WALL TOILET:  
AS PER PROJECT SPECIFICATIONS

WINDOW: AS PER PLAN

SOFFIT: AS PER PLAN

BUILT IN CABINET:  
CABINET FINISH EXTERIOR: CAB-1 AS PER PRO. SPEC.  
CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC.

BACKPANEL: CAB-8

WALL FINISH: WF-14

TOWEL HOOK:  
AS PER PROJECT SPECIFICATIONS

MIRROR

BACKPANEL: CAB-8

BUILT IN CABINET:  
CABINET FINISH EXTERIOR: CAB-1 AS PER PRO. SPEC.  
CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC.

TOUCH LATCH

BACKPANEL: CAB-8

BUILT IN CABINET:  
CABINET FINISH EXTERIOR: CAB-1 AS PER PRO. SPEC.  
CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC.

BACKPANEL: CAB-8

FINGER PULL, TYP

FINGER PULL, TYP

3 | CLOSET #205

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PROJECT LOG:

Leidy Residence  
6216 Avenida Cresta, La Jolla, CA 92037

INTERIOR ELEVATIONS

3/8" = 1' - 0"

A5.4

Sheet No. 46 / 59

1 | GAMEROOM #004

2 | GAMEROOM #004

3 | ENTRY FROM GARAGE #004

4 | POWDER BATH #003

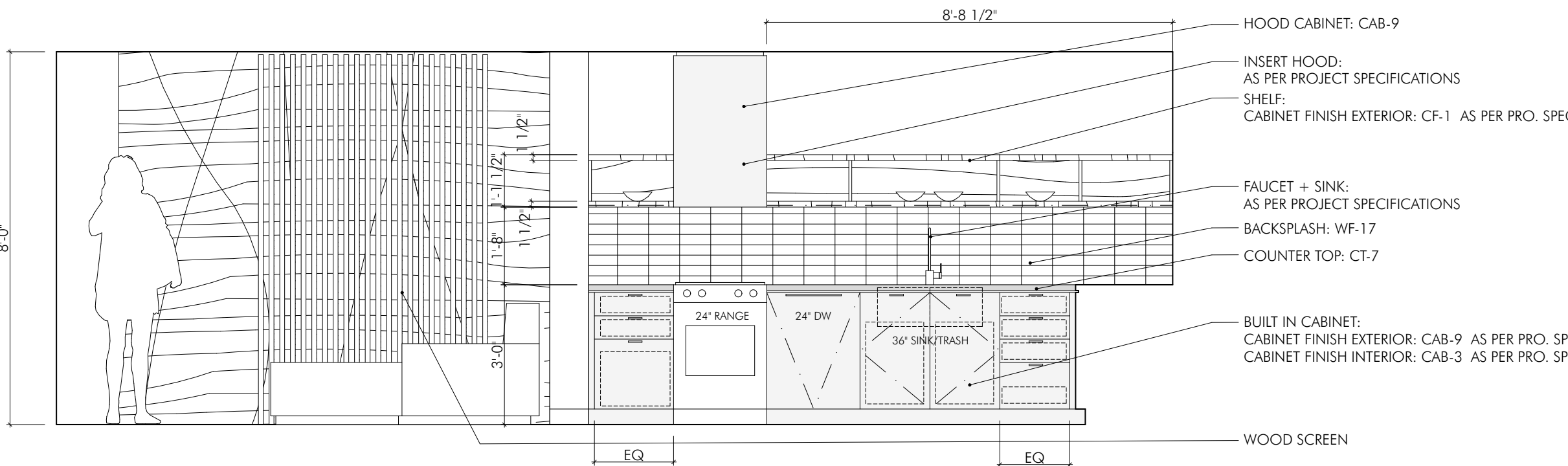
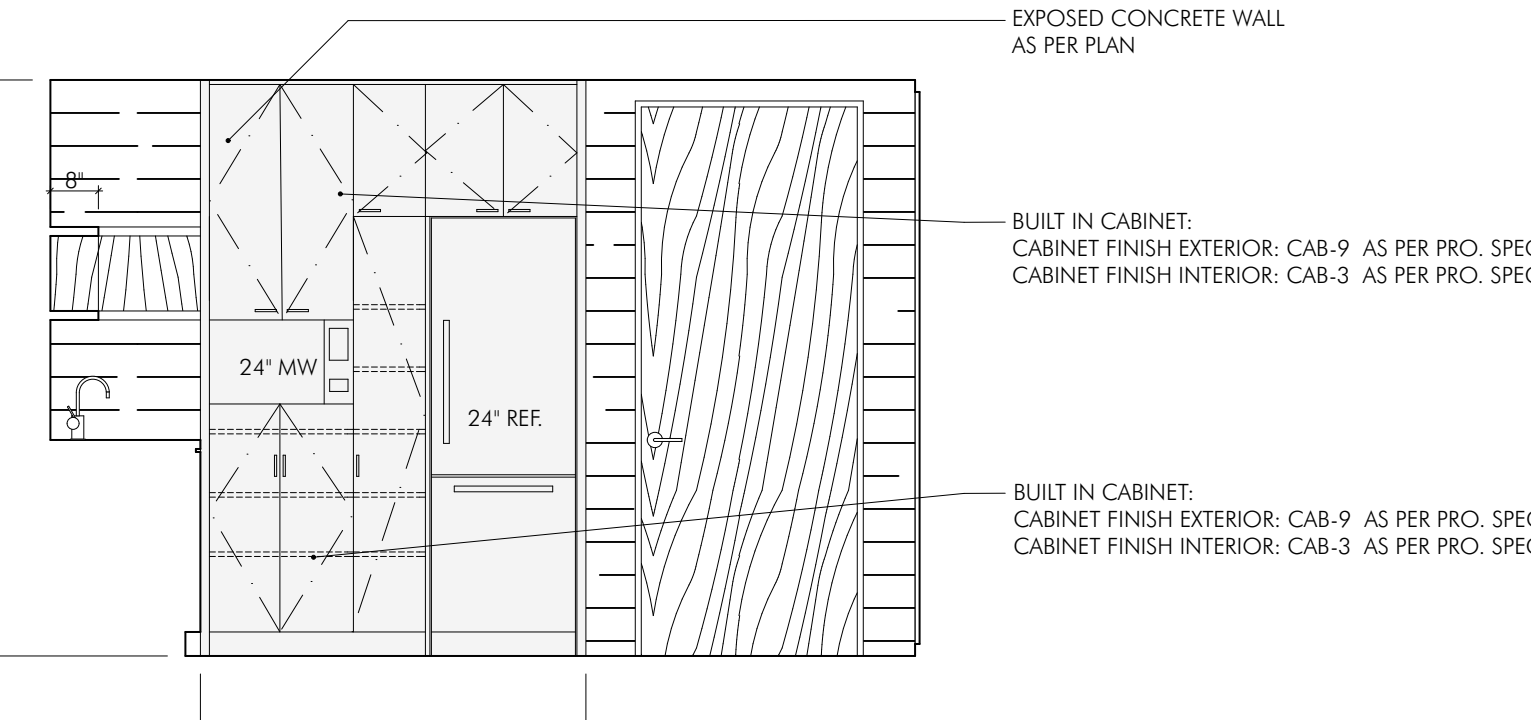
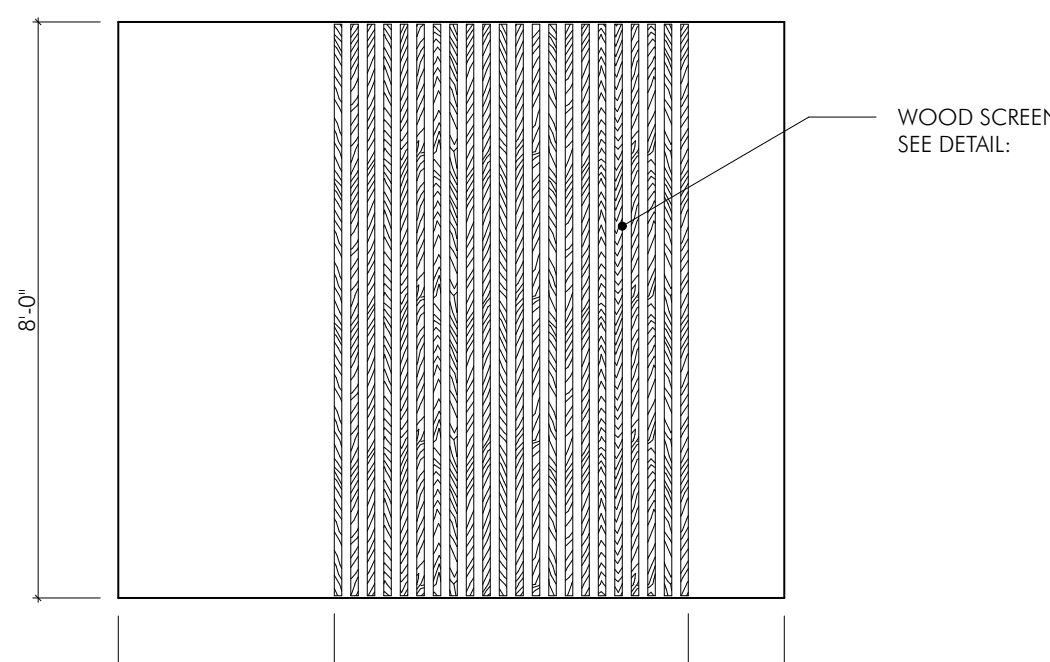
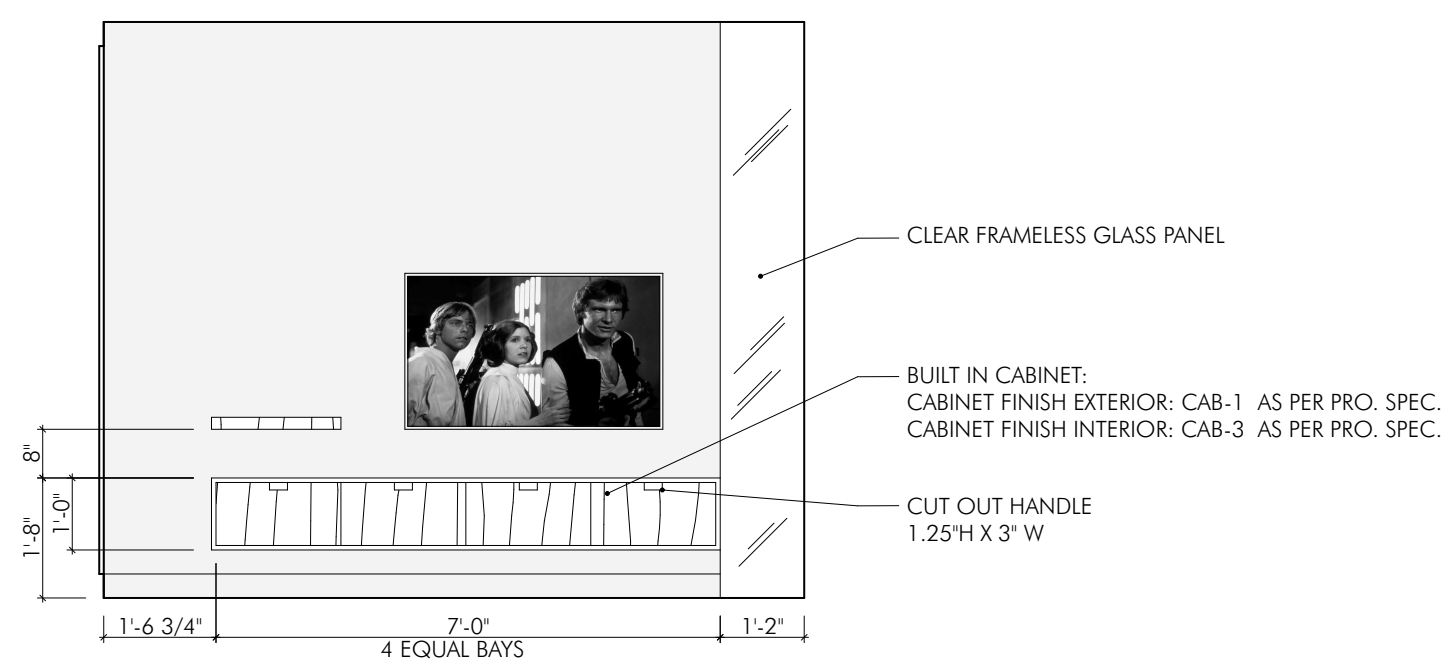
5 | HALL #003


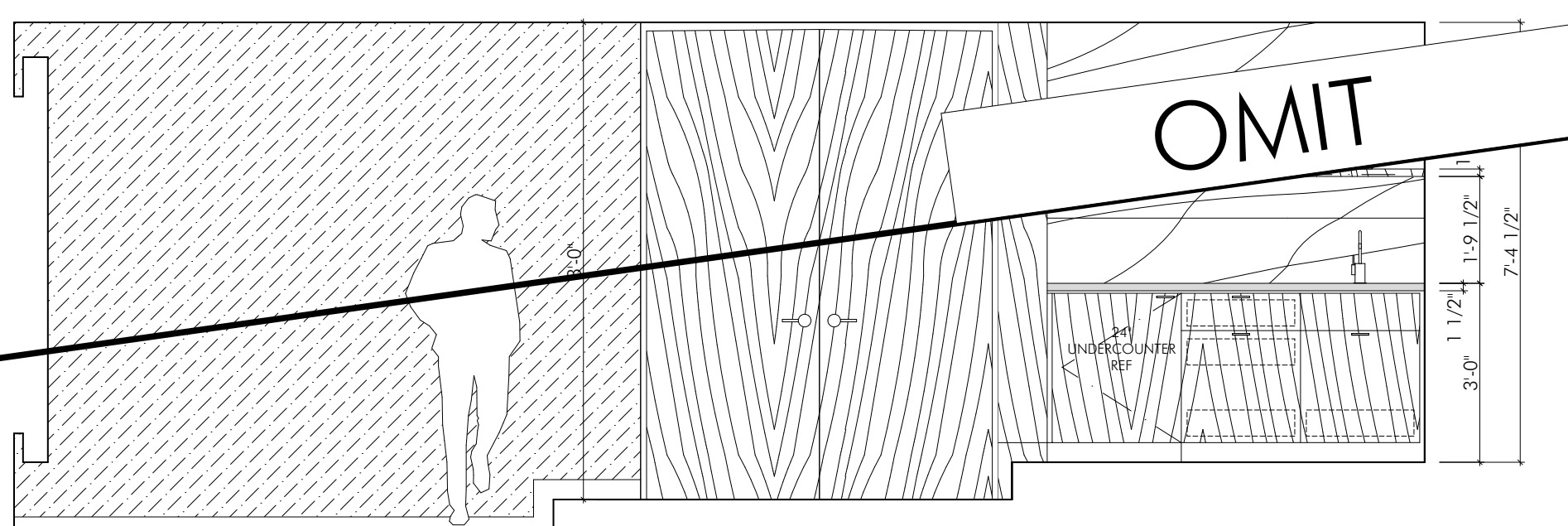
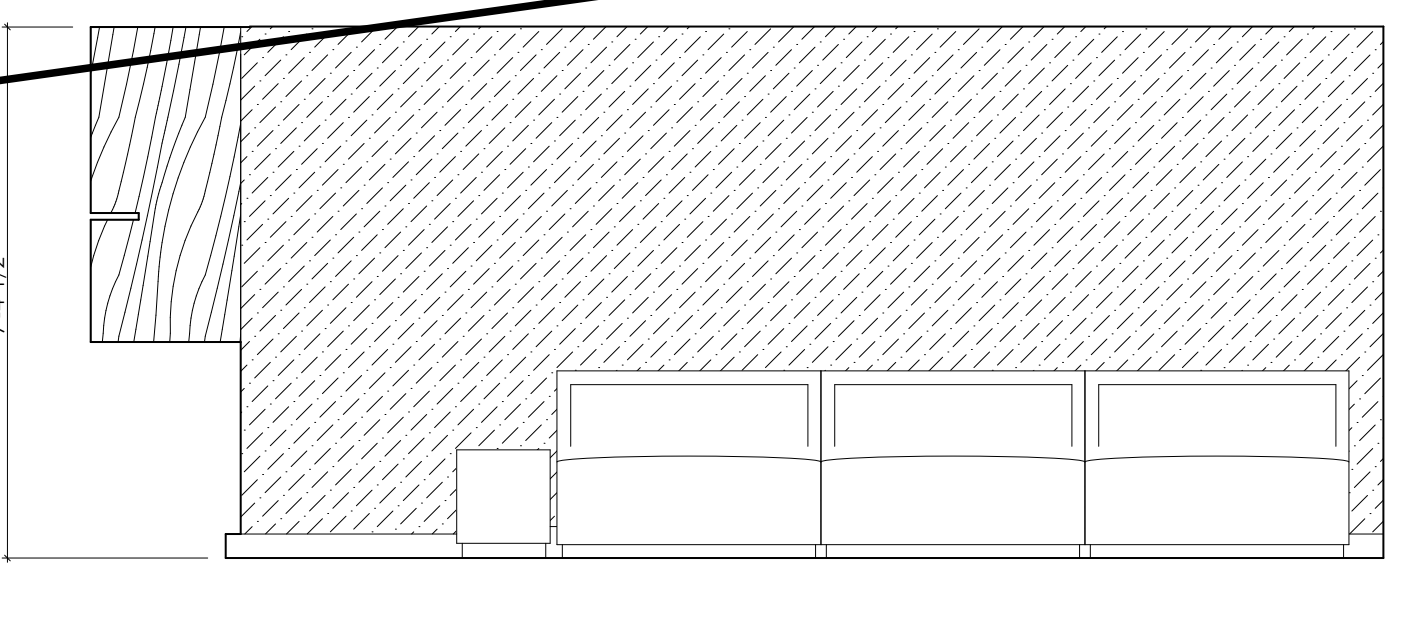
6 | SHOWER #015

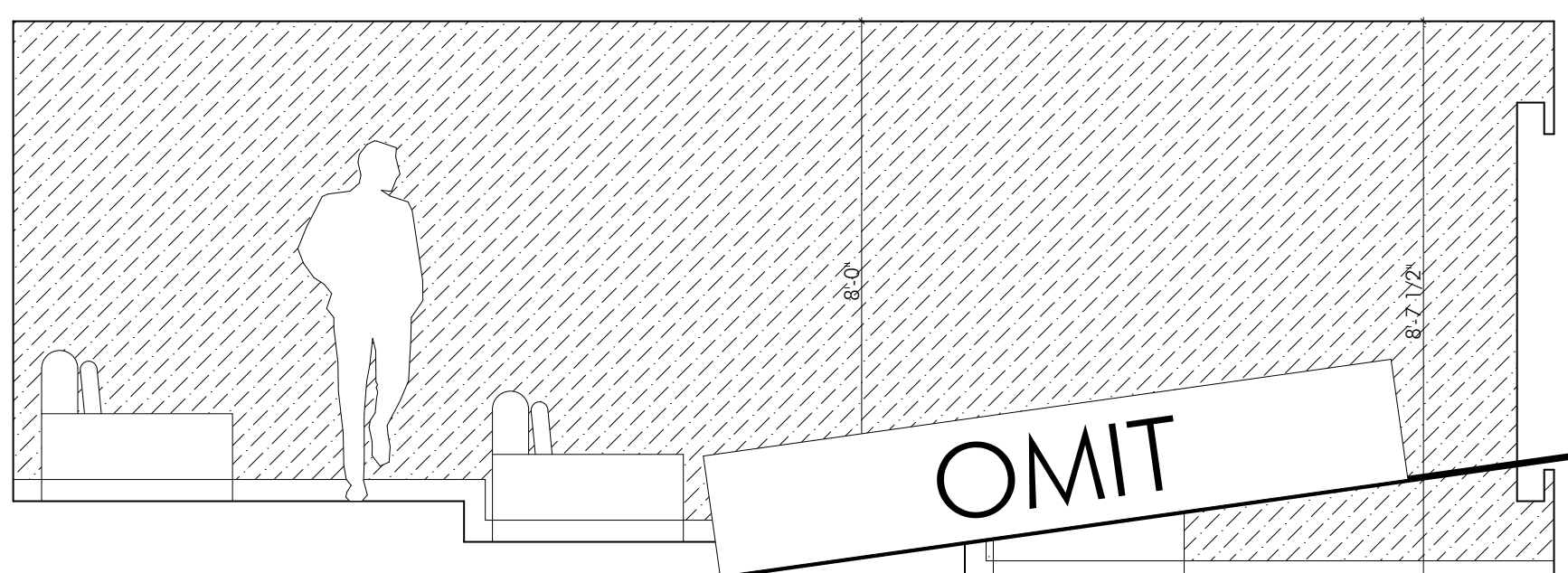
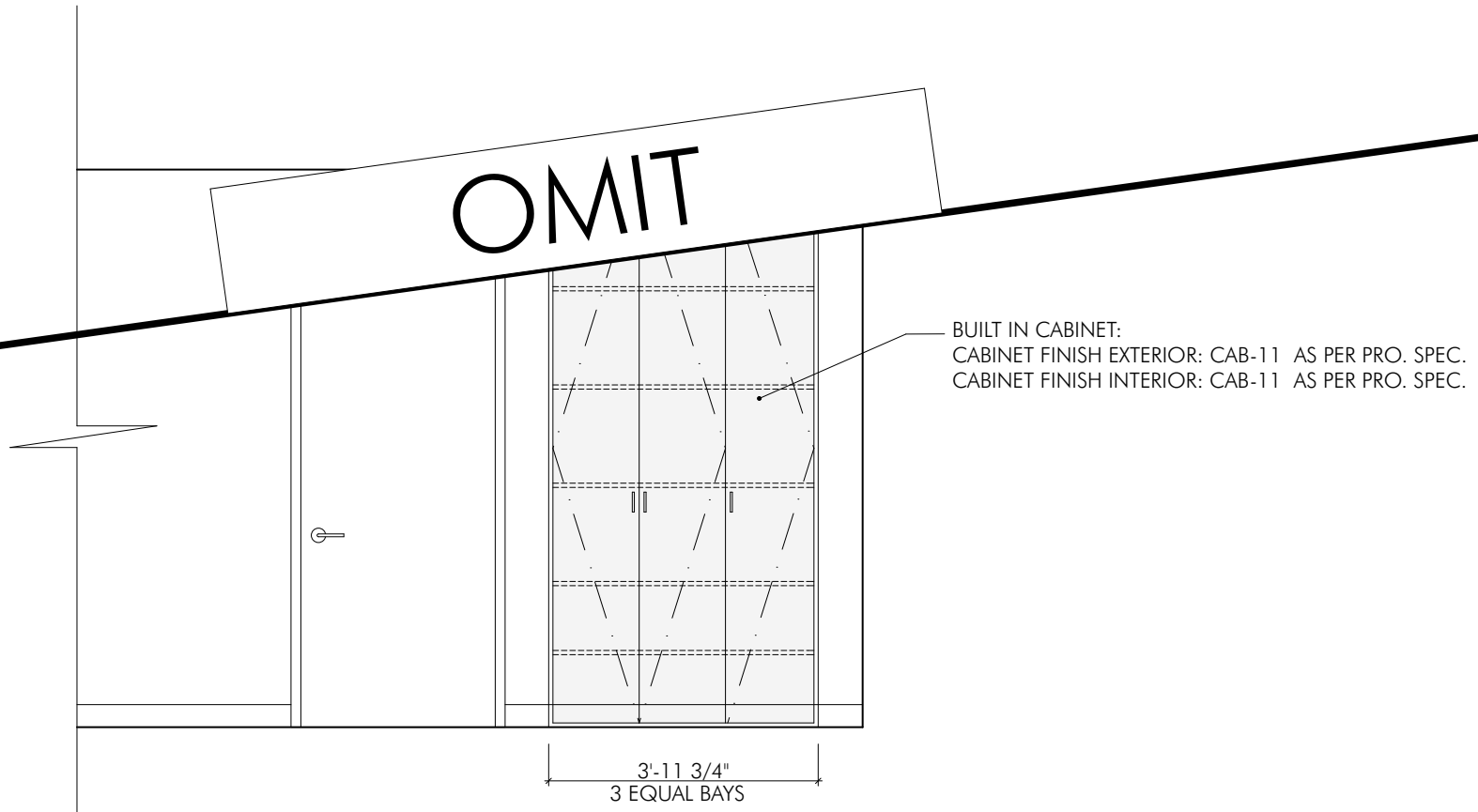
7 | BATH #015

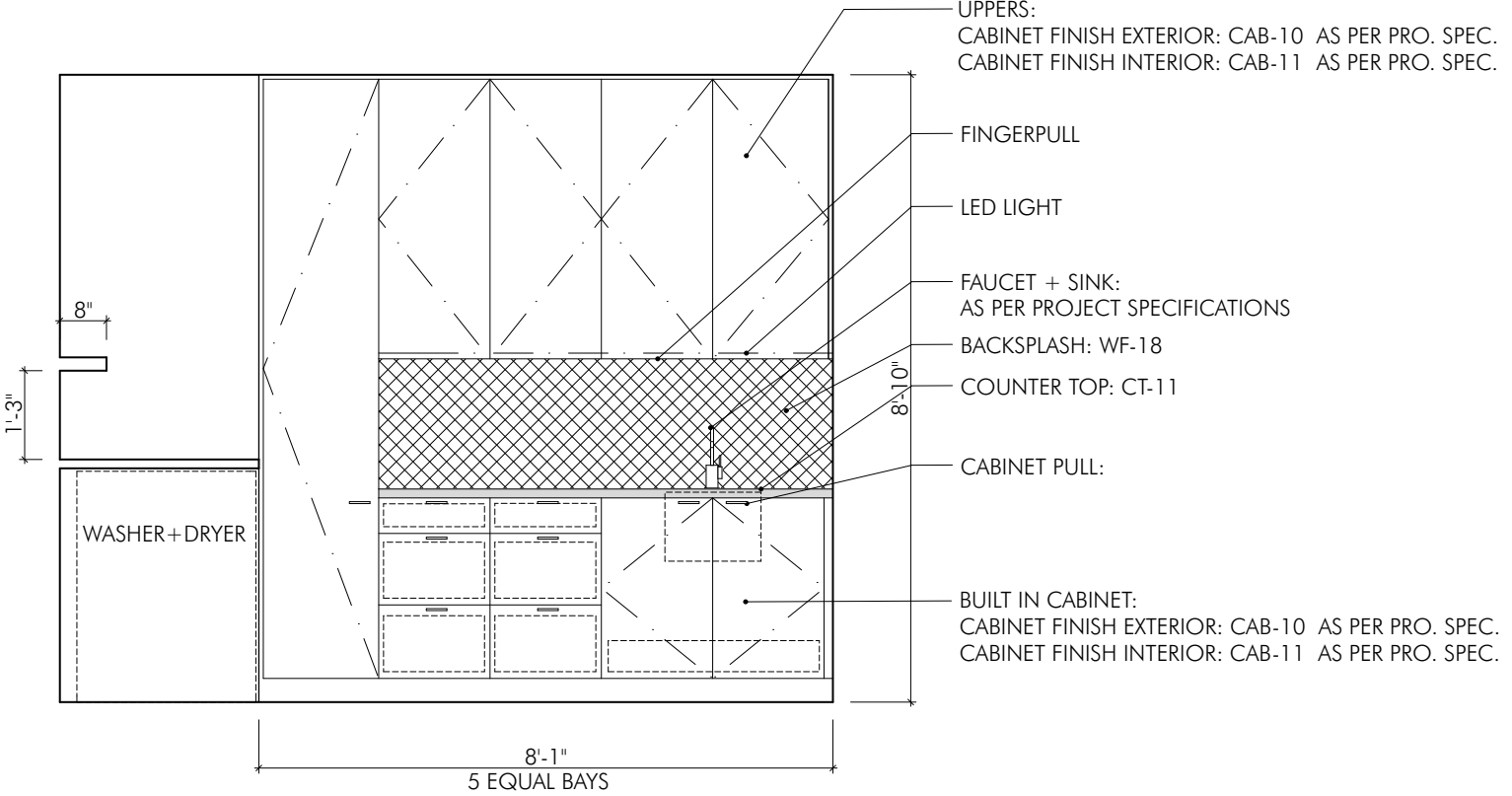
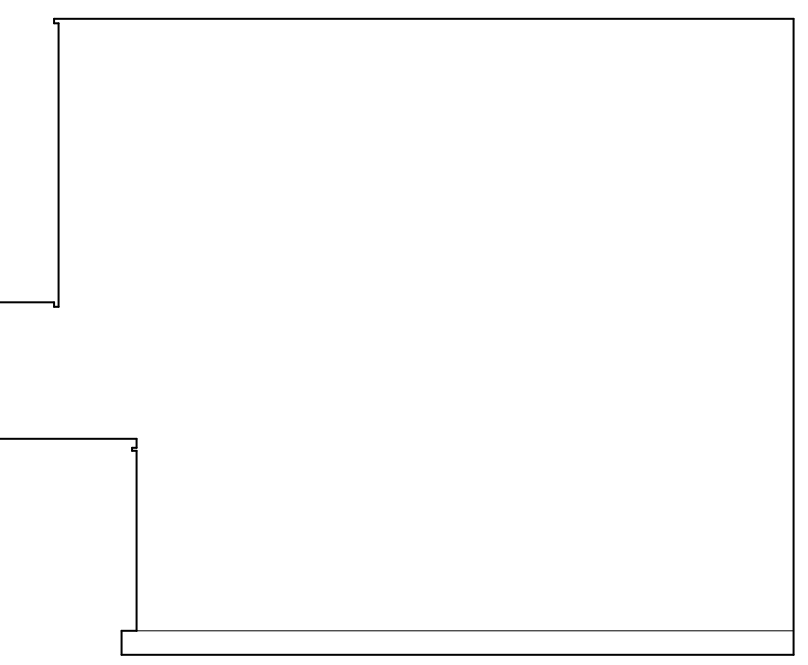
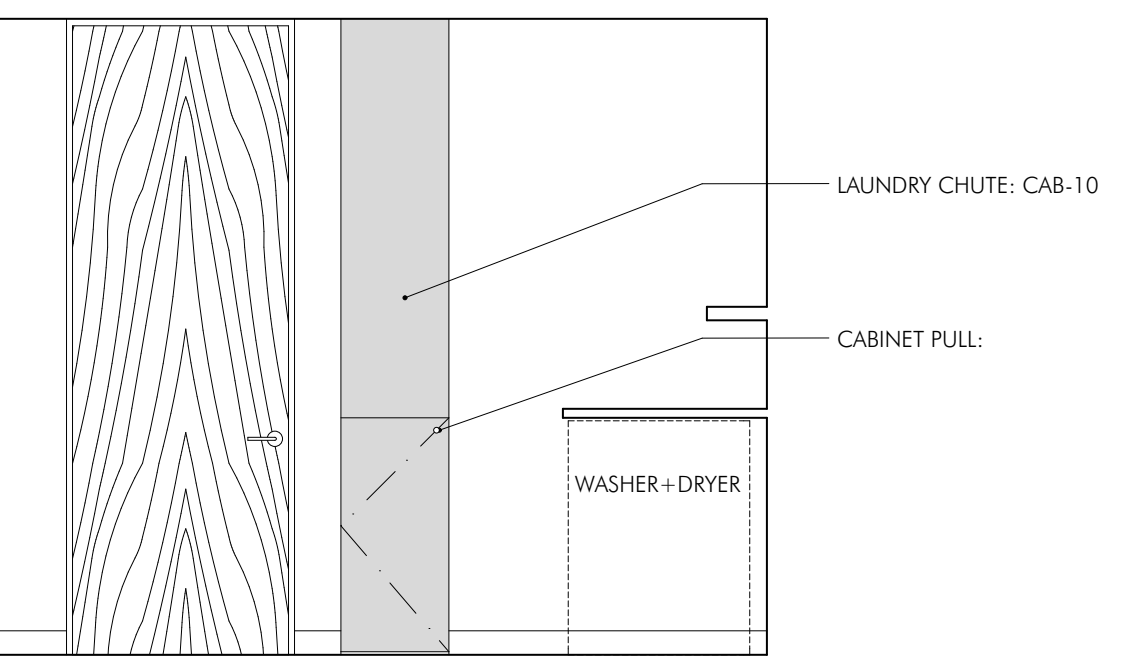
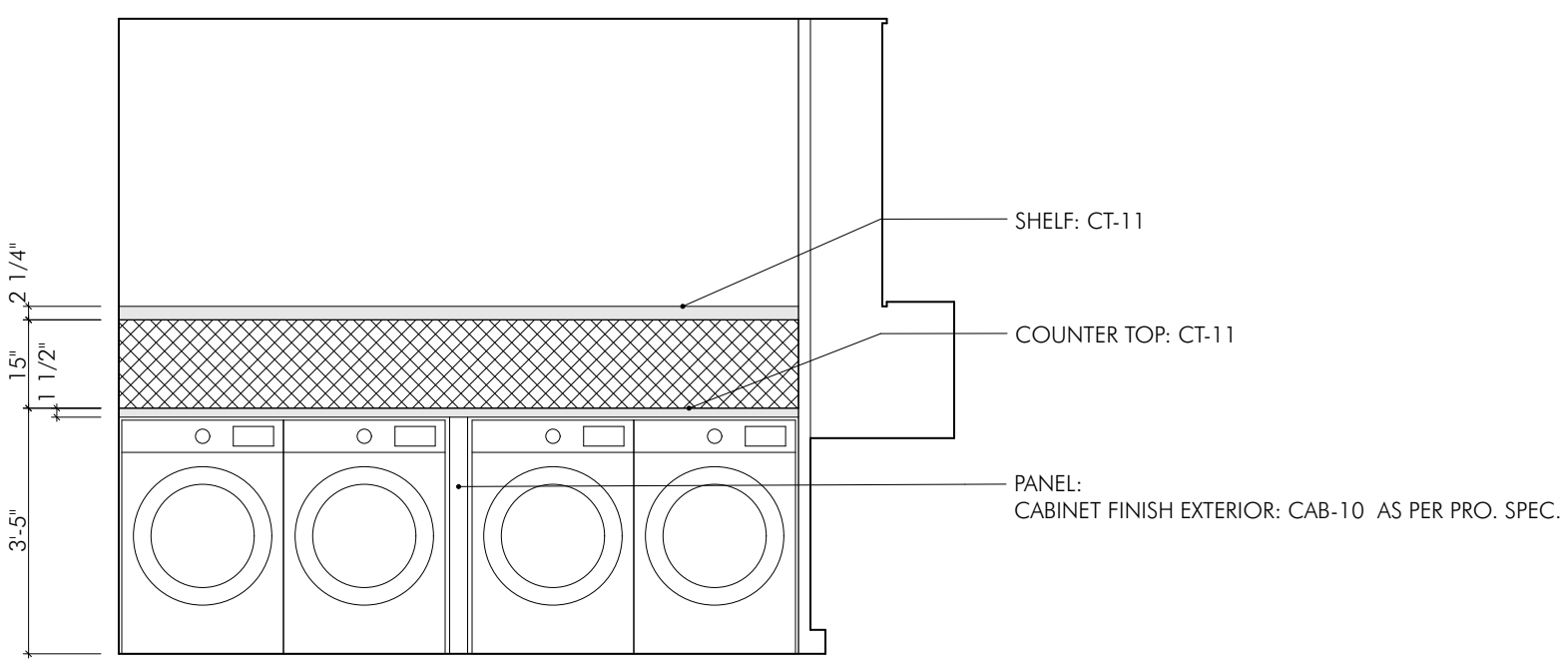
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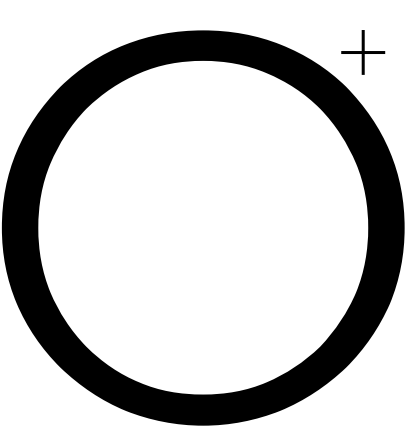


 <p>HOOD CABINET: CAB-9 INSERT HOOD: AS PER PROJECT SPECIFICATIONS SHELF: CABINET FINISH EXTERIOR: CF-1 AS PER PRO. SPEC. FAUCET + SINK: AS PER PROJECT SPECIFICATIONS BACKSPLASH: WF-17 COUNTER TOP: CT-7 BUILT IN CABINET: CABINET FINISH EXTERIOR: CAB-9 AS PER PRO. SPEC. CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC. WOOD SCREEN</p>	 <p>EXPOSED CONCRETE WALL AS PER PLAN BUILT IN CABINET: CABINET FINISH EXTERIOR: CAB-9 AS PER PRO. SPEC. CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC. BUILT IN CABINET: CABINET FINISH EXTERIOR: CAB-9 AS PER PRO. SPEC. CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC.</p>	 <p>WOOD SCREEN SEE DETAIL</p>	 <p>CLEAR FRAMELESS GLASS PANEL BUILT IN CABINET: CABINET FINISH EXTERIOR: CAB-1 AS PER PRO. SPEC. CABINET FINISH INTERIOR: CAB-3 AS PER PRO. SPEC. CUT OUT HANDLE 1.25" H X 3" W</p>
1   LIVING / KITCHEN ROOM #013	2   LIVING / KITCHEN ROOM #013	3   LIVING / KITCHEN ROOM #013	

 <p>OMIT</p>	 <p>OMIT</p>	 <p>OMIT</p>
4   MEDIA #001		

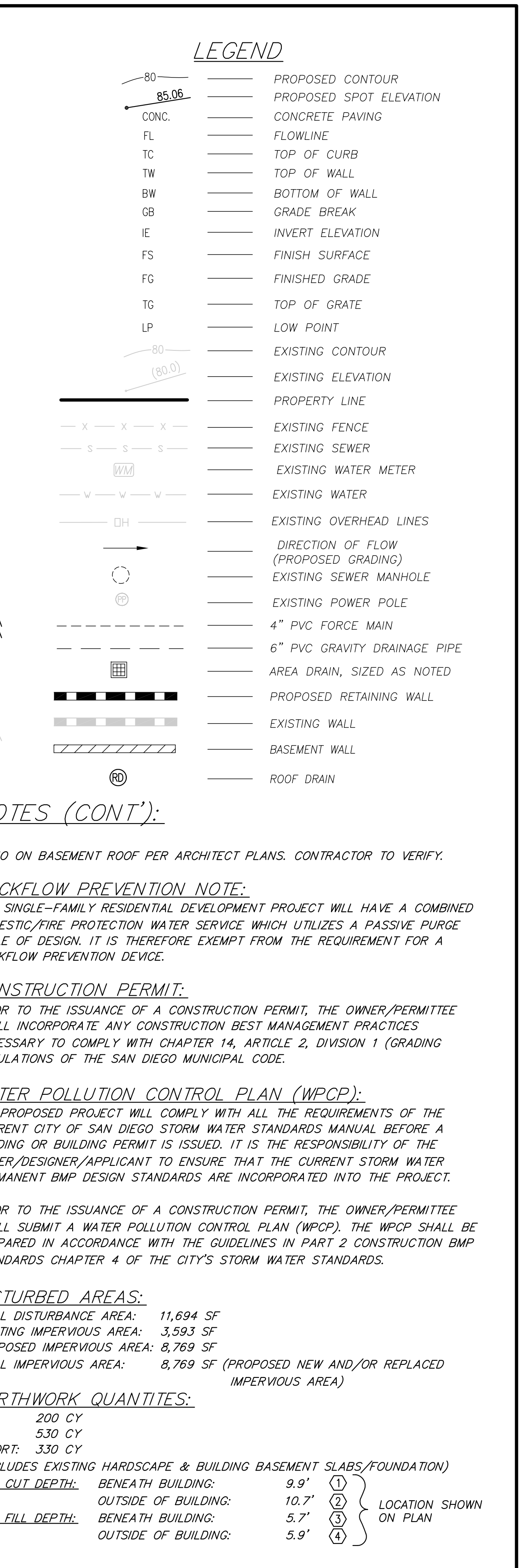
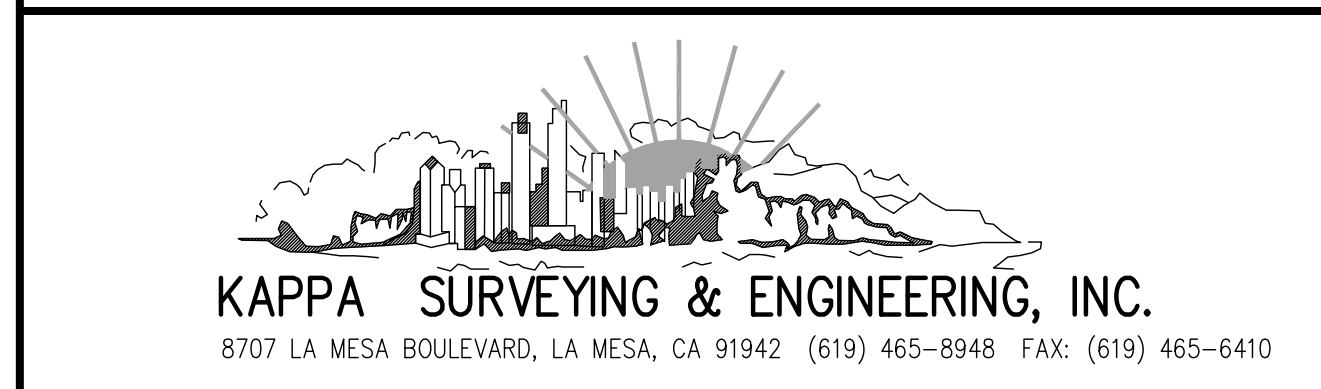
 <p>OMIT</p>	 <p>BUILT IN CABINET: CABINET FINISH EXTERIOR: CAB-11 AS PER PRO. SPEC. CABINET FINISH INTERIOR: CAB-11 AS PER PRO. SPEC.</p>
	5   GARAGE #010

 <p>UPPERS: CABINET FINISH EXTERIOR: CAB-10 AS PER PRO. SPEC. CABINET FINISH INTERIOR: CAB-11 AS PER PRO. SPEC. FINGERPULL LED LIGHT FAUCET + SINK: AS PER PROJECT SPECIFICATIONS BACKSPLASH: WF-18 COUNTER TOP: CT-11 CABINET PULL: BUILT IN CABINET: CABINET FINISH EXTERIOR: CAB-10 AS PER PRO. SPEC. CABINET FINISH INTERIOR: CAB-11 AS PER PRO. SPEC.</p>	 <p>WASHER + DRYER</p>	 <p>LAUNDRY CHUTE: CAB-10 CABINET PULL: WASHER + DRYER</p>	 <p>SHELF: CT-11 COUNTER TOP: CT-11 PANEL: CABINET FINISH EXTERIOR: CAB-10 AS PER PRO. SPEC.</p>
6   UTILITY #005			

<p>All the material contained within these documents are property to O+ L BUILDING PROJECTS LLC and Daryl Olesinski and are furnished in confidence for the purpose of evaluation, bidding and construction of the building described. All other uses are prohibited and any reuse or release required written permission by O+ L BUILDING PROJECTS LLC and Daryl Olesinski. Any discrepancies found between the existing and described information provided shall be reported to O+ L BUILDING PROJECTS LLC.</p> <p>© O+ L BUILDING PROJECTS LLC 2019</p> <p>LA JOLLA RESIDENCE # 1806</p>	 <p>O+L BUILDING PROJECTS LLC</p> <p>4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650</p>	<p>11.19.2020: Bid Documents 12.10.2019: La Jolla Permit Review Committee Meeting 05.20.2019: Issue to Consultants 05.10.2019: Design Development 1 02.11.2019: Preliminary Design Presentation 02.11.2019: Original Drawing Preparation Date</p> <p>PROJECT LOG:</p>	<p>Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037</p>	<p>INTERIOR ELEVATIONS</p> <p>3/8" = 1' - 0"</p> <p>A5.6</p> <p>Sheet No. 48 / 59</p>
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ENGINEER OF WORK:	No.	Date	By	Revision	SCALE: 1" = 10'
					JOB NO.: 355819
					DATE: 04/06/2021
					SHEET OF
					1 2
WILLIAM R. DICK RCE: 34563					



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**PART 8: Determine Construction Site Priority**

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

**Complete Part B and continued to Section 2**

1. ☐ **ASBS**
  - a. Projects located in the ASBS watershed.
2. ☐ **High Priority**
  - a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed.
  - b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.
3. ☐ **Medium Priority**
  - a. Projects that are not located in an ASBS watershed or designated as a High priority site.
  - b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed.
  - c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.
4. ☒ **Low Priority**
  - a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

**SECTION 2. Permanent Storm Water BMP Requirements.**

Additional information for determining the requirements is found in the [Storm Water Standards Manual](#).

**PART C: Determine if Not Subject to Permanent Storm Water Requirements.**

Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the [Storm Water Standards Manual](#) are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? ☐ Yes ☒ No
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? ☐ Yes ☒ No
3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). ☐ Yes ☒ No

Clear Page 2

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

**PART D: PDP Exempt Requirements.**

**PDP Exempt projects are required to implement site design and source control BMPs.**

If “yes” was checked for any questions in Part D, continue to Part F and check the box labeled “PDP Exempt.”

If “no” was checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
  - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable area? Or;
  - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
  - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City’s Storm Water Standards manual?

☐ Yes; PDP exempt requirements apply ☒ No; next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City’s Storm Water Standards Manual?
 

☐ Yes; PDP exempt requirements apply ☒ No; project not exempt.

**PART E: Determine if Project is a Priority Development Project (PDP).**

Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Development Plan (SWQMP).

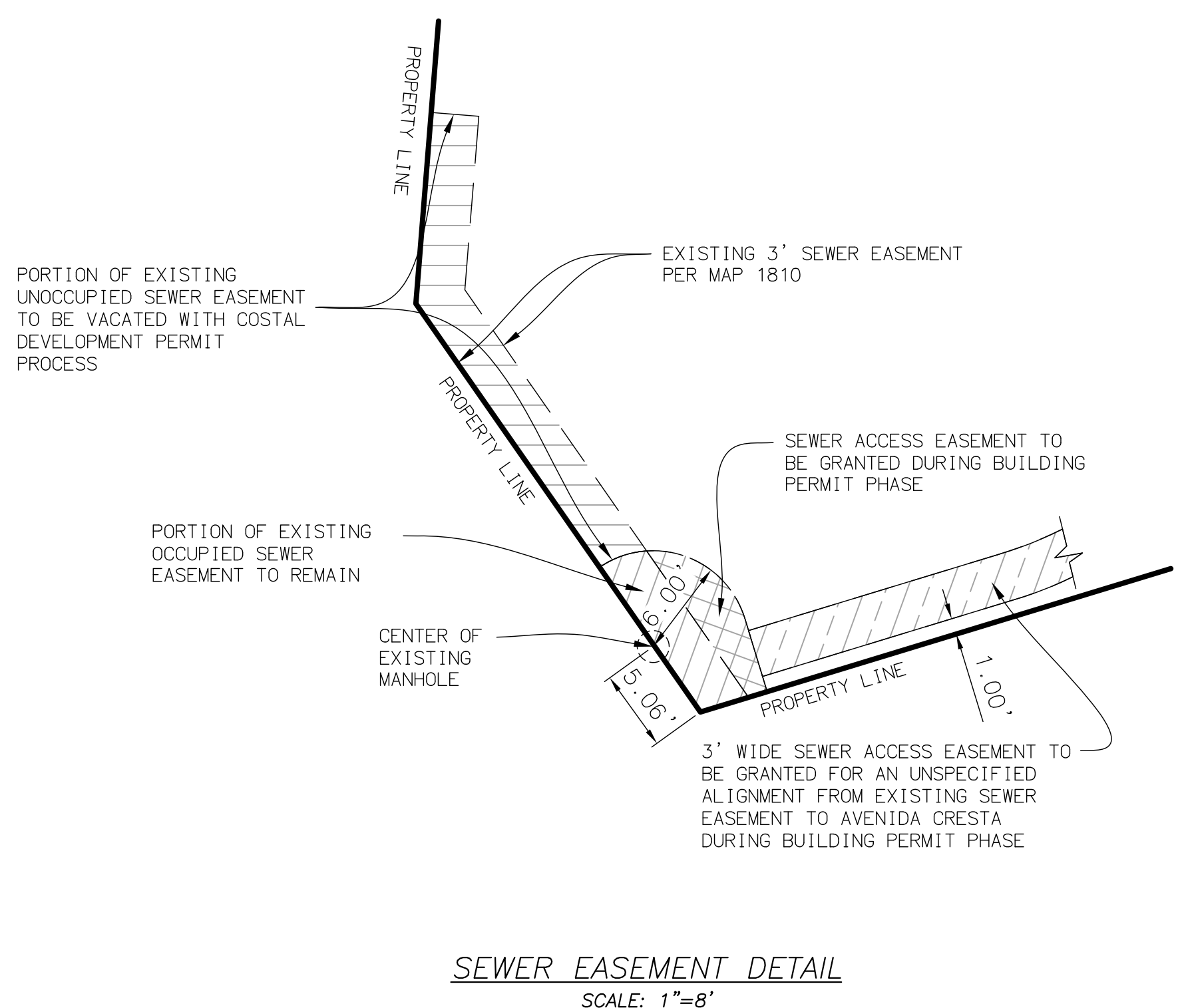
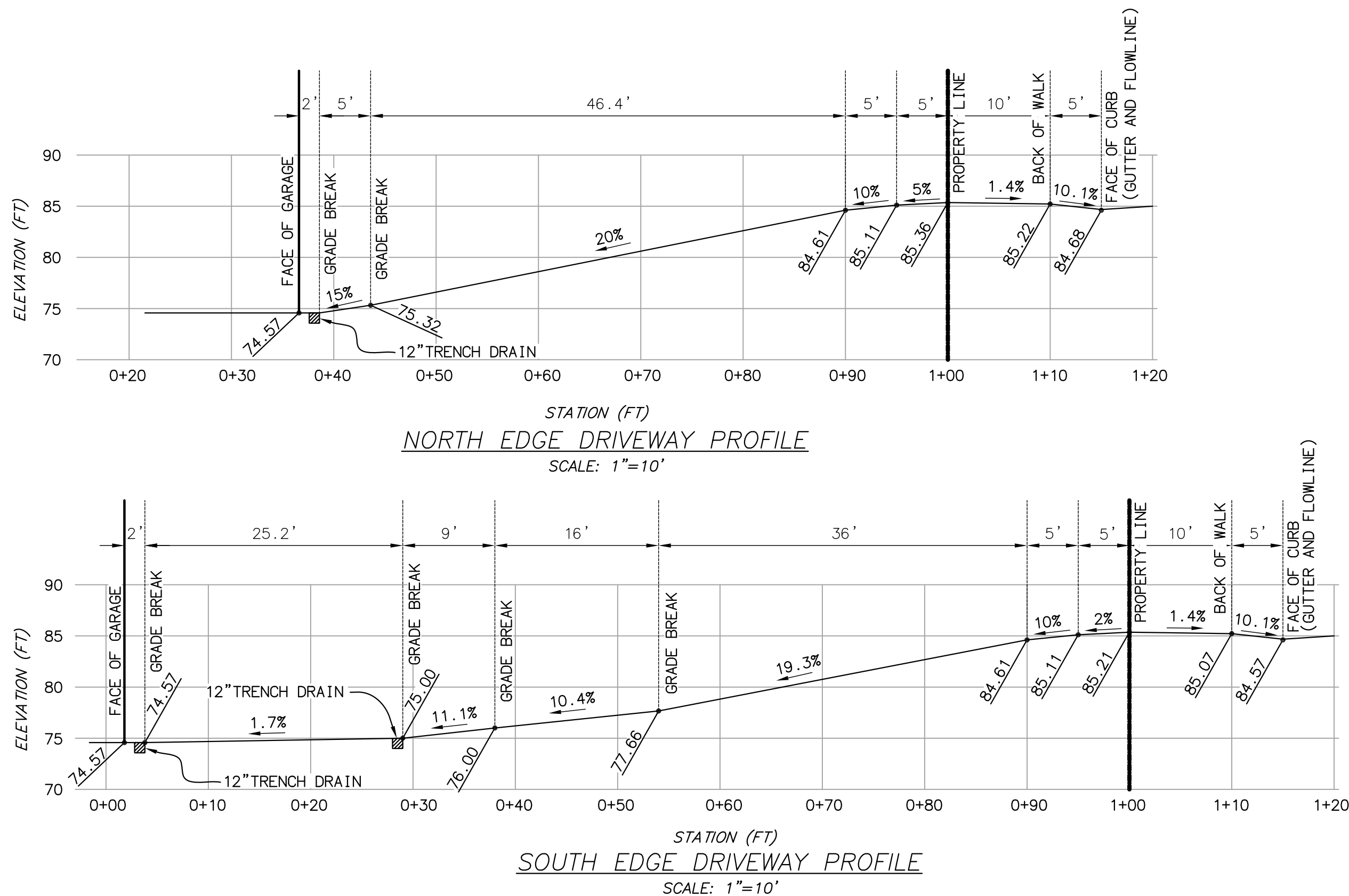
If “yes” is checked for any number in PART E, continue to PART F and check the box labeled “Priority Development Project”.

If “no” is checked for every number in PART E, continue to PART F and check the box labeled “Standard Development Project”.

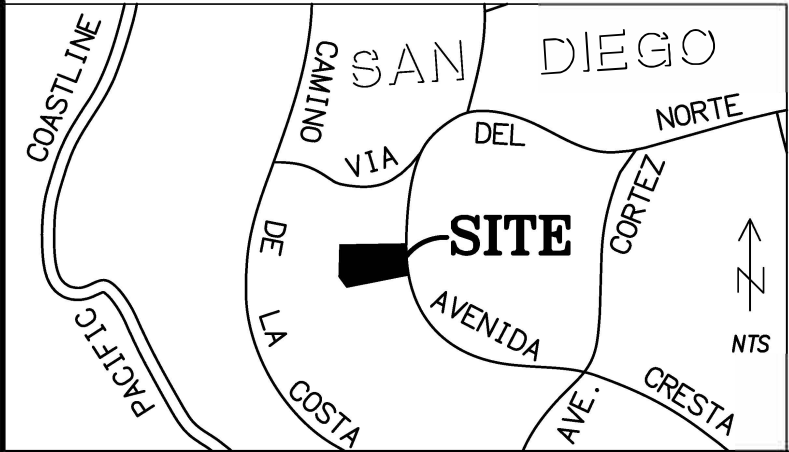
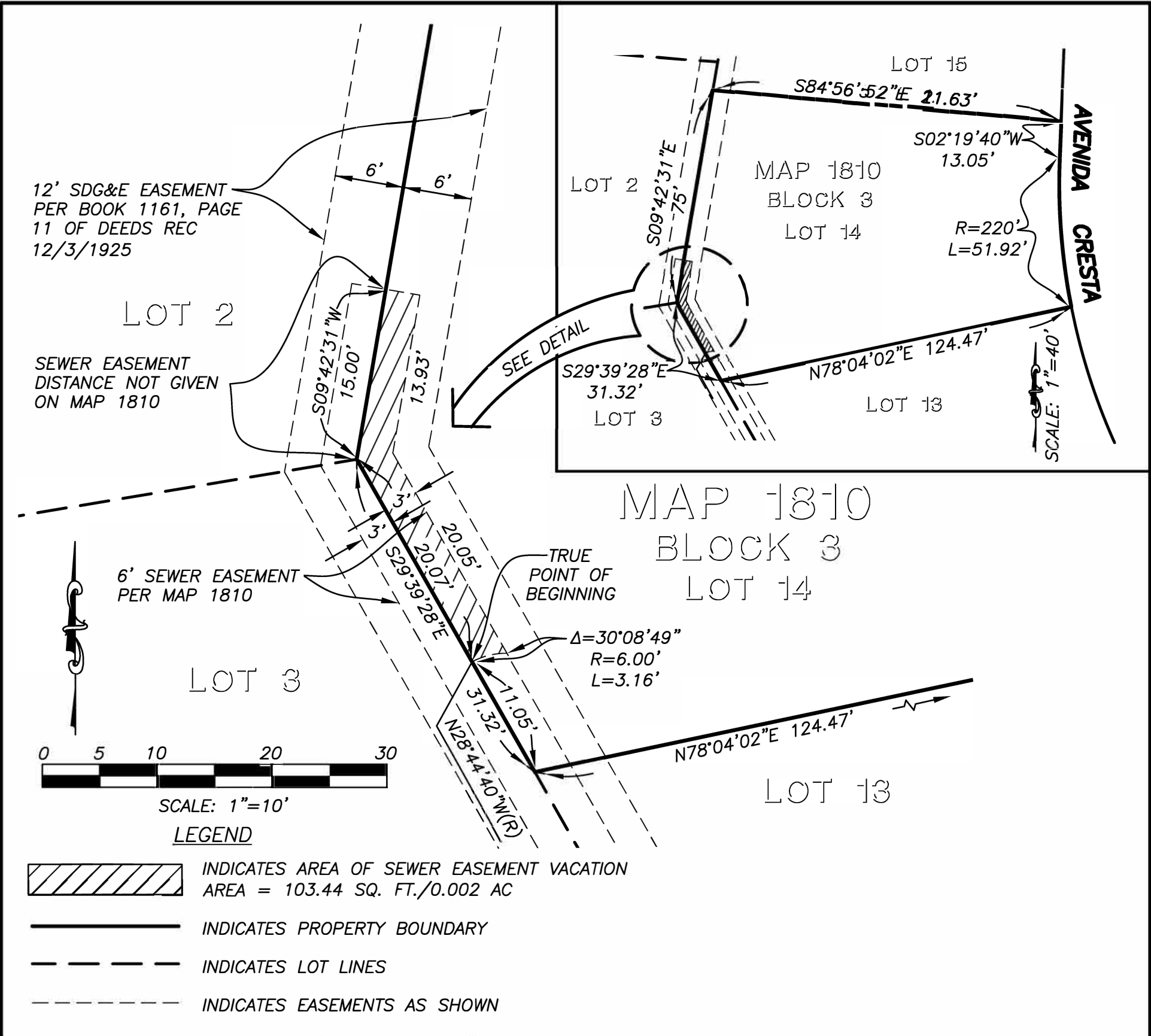
- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
- New development or redevelopment of a restaurant.** Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. ☐ Yes ☒ No
- New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. ☐ Yes ☒ No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** ☐ Yes ☒ No
- New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ☐ Yes ☒ No

Clear Page

Page 4 of 4		City of San Diego - Development Services - Storm Water Requirements Applicability Checklist	
<p>7. <b>New development or redevelopment discharging directly to an Environmentally Sensitive Area.</b> The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingling with flows from adjacent lands).</p>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>8. <b>New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface.</b> The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.</p>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>9. <b>New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces.</b> Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.</p>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>10. <b>Other Pollutant Generating Project.</b> The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces.</p>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p><b>PART F: Select the appropriate category based on the outcomes of PART C through PART E.</b></p>			
<p>1. The project is <b>NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.</b></p>		<input type="checkbox"/>	
<p>2. The project is a <b>STANDARD DEVELOPMENT PROJECT.</b> Site design and source control BMP requirements apply. See the <a href="#">Storm Water Standards Manual</a> for guidance.</p>		<input checked="" type="checkbox"/>	
<p>3. The project is <b>PDP EXEMPT.</b> Site design and source control BMP requirements apply. See the <a href="#">Storm Water Standards Manual</a> for guidance.</p>		<input type="checkbox"/>	
<p>4. The project is a <b>PRIORITY DEVELOPMENT PROJECT.</b> Site design, source control, and structural pollutant control BMP requirements apply. See the <a href="#">Storm Water Standards Manual</a> for guidance on determining if project requires a hydromodification plan management</p>		<input type="checkbox"/>	
<p>Dylan Nickerson</p> <p>Name of Owner or Agent (Please Print)</p>		<p>Designer</p> <p>Title</p>	
<p><i>Dylan C. Nickerson</i></p> <p>Signature</p>		<p>12/12/2019</p> <p>Date</p>	







ASSESSOR'S PARCEL NO.:

357-012-13-00

REFERENCES:

MAP NO. 1810

SDG&E EASEMENT FOR PUBLIC UTILITIES RECORDED 12/3/1925,  
IN BOOK 1161, PAGE 11 OF DEEDS, O.R.

BASIS OF BEARINGS PER MAP NO. 1810

JOB NO. 355819 - AVENIDA CRESTA

KAPPA SURVEYING & ENG.  
8402 N. MAGNOLIA AVE., SUITE C,  
SANTEE, CA 92071  
(619) 449-2600



ALLEN R.A. TURNER  
LS 7844

DATE

RESOLUTION No. \_\_\_\_\_

ADPOTED \_\_\_\_\_

DOCUMENT No. \_\_\_\_\_

RECORDED \_\_\_\_\_

**PARTIAL SEWER EASEMENT VACATION**  
**LOT 14, BLOCK 3, LA JOLLA HERMOSA UNIT 1, MAP 1810,**  
**RECORDED NOVEMBER 21, 1924**

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA	PTS- 639782
ORIGINAL	KAPPA				SHEET 1 OF 1 SHEET	I.O.- 24008303
						1878-6243
						CCS 83 COORDINATES
						238-1683
						NAD 27 COORDINATES
						42405-B
STATUS						