

# Report to the Hearing Officer

DATE ISSUED: June 2, 2021 REPORT NO. HO-21-024

HEARING DATE: June 9, 2021

SUBJECT: Leidy Residence CDP, Process Three Decision

PROJECT NUMBER: <u>639782</u>

OWNER/APPLICANT: David B. Leidy and Pamela K. Leidy/Chandra Slaven

#### **SUMMARY**

<u>Issue:</u> Should the Hearing Officer approve a Coastal Development Permit and Easement Vacation for the demolition of an existing single dwelling unit and the construction of a 6,582-square-foot, two-story single dwelling unit with basement, 405-square-foot garage, 661-square-foot accessory dwelling unit located at 6216 Avenida Cresta within the La Jolla Community Plan Area?

# **Staff Recommendation:**

- 1. Approve Coastal Development Permit No. 2309399.
- 2. Approve Easement Vacation No. 2535513.

<u>Community Planning Group Recommendation</u>: On January 9, 2020 the La Jolla Community Planning Group voted 14-0-1 to recommend approval of the proposed project without conditions/recommendations.

<u>Environmental Review</u>: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15301, Existing Facilities and Section 15303, New Construction or Conversion of Small Structures. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 3, 2020 and the opportunity to appeal that determination ended December 17, 2020.

### BACKGROUND

The 0.24-acre (10,544-square-foot) project site is located at 6216 Avenida Cresta, directly adjacent to Avenida Cresa to the East, Via del Norte to the North and Camino de la Costa to the South and West (Attachment 1). The site is in the RS-1-5 Zone and designated as Low Density Residential with 5 to 9

dwelling units per acre (DU/AC) within the La Jolla Community Plan (the Community Plan) and Local Coastal Program (LCP) (Attachment 2). The project site is also located within the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones. Surrounding properties are developed with single-family residences and designated Low Density Residential in the Community Plan. Properties directly to the North, South, East and West of the project site are zoned RS-1-5.

The project has site has been previously graded and developed with an existing single dwelling unit built in 1980. The existing structures on the site are not designated as a historical resource and are not located within a designated historic district. The structures were built less than 45 years ago and therefore, the project did not undergo historical review by staff.

## **DISCUSSION**

The project is within the appealable Coastal Overlay Zone and requires a Coastal Development Permit per San Diego Municipal Code (SDMC) <u>Section 126.0707(b)</u> to demolish the existing dwelling unit and to construct a new dwelling unit with a basement, garage and accessory dwelling unit. The project also proposes to vacate a portion of an existing sewer easement and requires a Public Service Easement Vacation per SDMC <u>Section 125.1010(a)</u>, which states that an applicant may request the vacation of a public service easement pursuant to local adopted procedure in SDMC <u>Section 125.1030(b)</u> as an alternative to the procedures for the vacation of public service easements in the California Streets & Highways Code.

# **Project Description**

The project proposes to demolish an existing dwelling unit and construct a 6,582-square-foot, two-, story dwelling unit. The basement includes a workshop, laundry area, 405-square-foot two-car garage, and a 661-square-foot accessory dwelling unit (ADU) with a kitchen, full bathroom, living area, and sleeping area. The ground floor includes the main residence's family room, kitchen, dining room, living room, bedroom with in-suite bathroom, and powder room. The second floor hosts the main bedroom with in-suite bathroom and walk-in closet, terrace with spa, two bedrooms with insuite bathrooms, study, playroom, and terrace.

The project complies with all required regulations in the SDMC, the Community Plan and the LCP. The project site is in the RS-1-5 Zone, which is a residential zone intended to provide for flexibility in the development of single dwelling units that allow reasonable use of property while minimizing adverse impact to adjacent properties. Based on the density outlined in <a href="Table 131-04D">Table 131-04D</a>, one dwelling unit is allowed per lot, and therefore, the proposed single dwelling unit is consistent with the prescribed density for the site. The total proposed floor ratio (FAR) of 0.52 complies with the maximum FAR of 0.54. Furthermore, the project's lot coverage of 29.79% is below the maximum allowed lot coverage of 50%. The proposed two off-street parking spots meet the required parking for the site. The project has been designed in conformance with all required setbacks, including the 20-foot minimum front setback, side and street setback calculation, and 20-foot minimum rear setback. Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC Section 113.0270(a)(4)(D).

The proposed ADU also complies with all required regulations in the SDMC, Community Plan and LCP. In accordance with SDMC Section 141.0302(a)(2)(B), ADU's are not subject to the density limitations for the premises. Therefore, the proposed ADU does not affect the prescribed density for the site. The sole ADU proposed complies with the maximum single ADU permitted on the premises with a proposed single dwelling unit. Furthermore, the proposed ADU complies with the required gross floor area maximum of 1,200 square-feet and minimum of 150-square-feet. As the ADU is proposed in the basement of the single dwelling unit, the ADU complies with required setbacks as well. The project has also been conditioned so that the ADU is not sold separately from the primary dwelling unit and that the ADU is not rented for a term shorter than 30 days (Permit Conditions No. 24 and 25).

The proposed project requires the approval of a Process Three, Coastal Development Permit for development in the Coastal Overlay Zone (Appealable).

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The project proposes to vacate a 103.44 square-foot portion of the subject existing sewer easement, as the proposed easement vacation area is one that is currently not in use due to the sewer line terminating at the manhole located before the portion to be vacated. The action will remove the City's liability for an area that is not needed or required. The Public Utilities Department has confirmed that that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review).

# Community Plan Consistency

The Community Plan designates the site and surrounding areas to the North, South, East and West as Low Density Residential with a density of 5-9 DU/AC. The proposed two-story, 6,582 square-foot single dwelling unit with a 661-square-foot ADU is consistent with the underlying land-use designation. The Residential Land Use section of the Community Plan includes goals for maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (pg. 67). The neighborhood is developed with one- and two-story single-family residential development ranging from older construction to more recent development, and the proposed single dwelling unit would serve to maintain the present diverse design themes of the surrounding area.

The project site is located approximately 415 feet from the Pacific Ocean. The roadway immediately adjacent to the project site, Avenida Cresta, is not identified as a public vantage point in the Community Plan and LCP (pg. 35). Via del Norte (North of the site), Avenida Cortez (South of the site), and Camino De La Costa (West of the site) are identified as Scenic Overlooks and Intermittent or Partial Vistas (pg. 35). However, the project would not impact public view of the Pacific Ocean, as the project is observing all required setbacks and the proposed project is contained within the existing lot area. Therefore, the project will not impede upon any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. Additionally, the Residential Land Use section of the Community Plan recommends that the new

development maintain the existing 30-foot height limit of the single dwelling unit zones in order to maintain La Jolla's community character (pg. 76). The project includes a basement and has a proposed height of 33 feet, 2 inches from lowest adjacent grade (basement) to the highest point of building. However, the height of the front façade facing Avenida Cresta is approximately 27 feet and is in keeping with the existing character of the community, is consistent with the goals of the Community Plan and LCP and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community. Furthermore, the Residential Land Use section also recommends the promotion of development of a variety of housing types and styles in La Jolla, and the project's contemporary design will diversify the architectural styles in the neighborhood while still conforming to the bulk and scale of adjacent properties, proposing an open courtyard on the south side (side yard), which reduces the massing and integrates a view corridor for pedestrians located at the street.

The proposed sewer easement vacation does not change any land use or impact existing or proposed sewer collection services. Therefore, there will be no impact on the Community Plan and/or the LCP.

#### Conclusion:

City Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted policies and regulations of the Land Development Code. Staff has provided draft findings (Attachments 5 and 7) to support the proposed development, and draft conditions of approval (Attachment 6). Staff recommends that the Hearing Officer approve the project as proposed.

# <u>ALTERNATIVES</u>

- 1. Approve Coastal Development Permit No. 2309399 and Easement Vacation Permit No. 2535513, with modifications.
- 2. Deny Coastal Development Permit No. 2309399 and Easement Vacation Permit No. 2535513, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Ben Hafertepe, Development Project Manager

### Attachments:

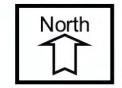
- 1. Project Location Map
- 2. Community Plan Land Use Map
- 3. Aerial Photograph
- 4. Project Data Sheet
- 5. Draft Resolution with Findings
- 6. Draft Permit with Conditions

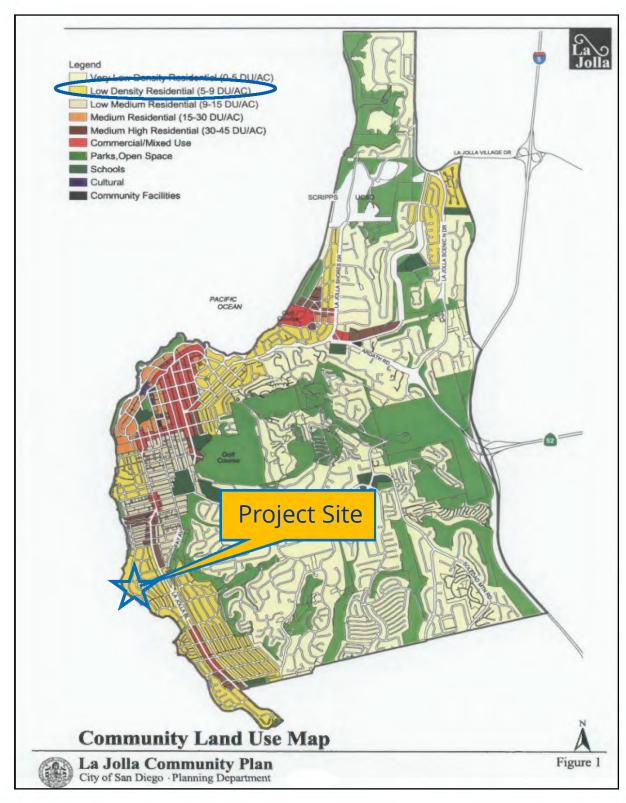
- 7. Draft Easement Vacation Resolution
- 8. Environmental Exemption
- 9. Community Planning Group Recommendation
- 10. Ownership Disclosure Statement
- 11. Project Plans
- 12. Map Exhibit Easement Vacation



# **Project Location Map**

<u>Leidy Residence CDP / 6216 Avenida Cresta</u> PROJECT NO. 639782

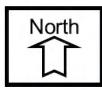






# **Land Use Map**

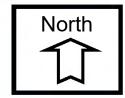
<u>Leidy Residence CDP / 6216 Avenida Cresta</u> PROJECT NO. 639782







**Aerial Photo**Leidy Residence CDP / 6216 Avenida Cresta
PROJECT NO. 639782



PROJECT DATA SHEET				
PROJECT NAME:	Leidy Residence CDP			
PROJECT DESCRIPTION:	Public Service Easement Vacation and Coastal Development Permit for the demolition of an existing single dwelling unit and the construction of a 6,582 square-foot, two-story single dwelling unit with a basement that includes a 405 square-foot garage and a 661-square-foot accessory dwelling unit. The project also proposes vacating a portion of an existing sewer easement.			
COMMUNITY PLAN AREA:	La Jolla Community Plan			
<b>DISCRETIONARY ACTIONS:</b> Coastal Development Permit, Public Service Easement Vacation				
COMMUNITY PLAN LAND USE DESIGNATION:	L Low Density Residential (5-9 DU/AC)			
ZONING INFORMATION:				

ZONE: RS-1-5

**HEIGHT LIMIT: 30 feet** 

**LOT SIZE:** 0.24 acres

FLOOR AREA RATIO: 0.54
FRONT SETBACK: 20 feet

SIDE SETBACK: 8% of lot width
STREETSIDE SETBACK: 10% of lot width

**REAR SETBACK:** 20 feet

PARKING: 2

ADIACENT DEODEDTIES:	LAND LICE DECICNATION 9				
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE			
NORTH:	Low Density Residential (5-9 DU/AC); RS-1-5	Single-family residential			
SOUTH:	Low Density Residential (5-9 DU/AC); RS-1-5 Single-family residential				
EAST:	Low Density Residential (5-9 DU/AC); RS-1-7	Single-family residential			
WEST:	Low Density Residential (5-9 DU/AC); RS-1-5 Single-family residential				
DEVIATION REQUESTED:	None				
COMMUNITY PLANNING GROUP RECOMMENDATION:	On January 9, 2020, the La Jolla Community Planning Group voted 14-0-1 to recommend approval of the project without conditions.				

HEARING OFFICER RESOLUTION NO. COASTAL DEVELOPMENT PERMIT NO. 2309399

LEIDY RESIDENCE CDP - PROJECT NO. 639782

WHEREAS, DAVID B. LEIDY AND PAMELA K. LEIDY, Husband and Wife as Joint Tenants,

Owner/Permittee, filed an application with the City of San Diego for a Costal Development Permit

and a Public Service Easement Vacation to demolish an existing single dwelling unit and to construct

a 6,582 square-foot, two-story single dwelling unit with basement, 405 square-foot garage, 661

square-foot accessory dwelling unit, and to vacate a portion of an existing sewer easement (as

described in and by reference to the approved Exhibits "A" and corresponding conditions of

approval for the associated Permit No. 2309399 on portions of a 0.24-acre site;

WHEREAS, the project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and Coastal Overlay (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 14, Block 3, La Jolla Hermosa, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof NO. 1810, filed in the Office of the County Recorded of San Diego County, November 21, 1924; Also Known as: 6216 Avenida Cresta, La Jolla, CA 92037; APN #: 357-012-13-00;

WHEREAS, on December 3, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301, Existing Facilities, and Section 15303, New Construction or Conversion of Small Structures; and there was no appeal of the

Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on June 9, 2021, the Hearing Officer of the City of San Diego considered Coastal

Development Permit No. 2309399 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2309399;

# A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

- 1. <u>Findings for all Coastal Development Permits:</u>
  - (a) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot accessory dwelling unit (ADU). The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The Community Plan designates the site and surrounding areas to the North, South, East and West as Low Density Residential with a density of 5 to 9 dwelling units per acre (DU/AC). The proposed two-story, 6,582 square-foot single dwelling unit with a 661 square-foot ADU is consistent with the underlying landuse designation. The Residential Land Use section of the Community Plan includes goals for maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (pg. 67). The neighborhood is developed with one- and two-story single-family residential development ranging from older construction to more recent development, and the proposed single dwelling unit would serve to maintain the

present diverse design themes of the surrounding area. Furthermore, the Residential Land Use section also recommends the promotion of development of a variety of housing types and styles in La Jolla, and the project's contemporary design will diversify the architectural styles in the neighborhood while still conforming to the bulk and scale of adjacent properties, proposing an open courtyard on the south side (side yard), which reduces the massing and integrates a view corridor for pedestrians located at the street.

The project site is located approximately 415 feet from the Pacific Ocean. The roadway immediately adjacent to the project site, Avenida Cresta, is not identified as a public vantage point in the Community Plan and LCP (pg. 35). Via del Norte (North of the site), Avenida Cortez (South of the site), and Camino De La Costa (West of the site) are identified as Scenic Overlooks and Intermittent or Partial Vistas (pg. 35). However, the project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and the proposed project is contained within the existing lot area. Due to all development taking place within the project premises, the project will not encroach upon any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. Additionally, the Residential Land Use section of the Community Plan recommends that the new development maintain the existing 30-foot height limit of the single dwelling unit zones in order to maintain La Jolla's community character (pg. 76). Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC Section 113.0270(a)(4)(D). Moreover, the height of the front façade facing Avenida Cresta is approximately 27 feet and is in keeping with the existing character of the community, is consistent with the goals of the Community Plan and LCP and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community.

Therefore, the proposed development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program land use plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

# (b) The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located at 6216 Avenida Cresta and is currently developed with an existing single dwelling unit within the Community Plan area. The project proposes to demolish the existing dwelling unit and to construct a two-story single dwelling unit with a basement that includes a 405 square-foot garage and 661 square-foot ADU on a 0.24-acre site. The project site was a previously graded

and developed site located within an urbanized area and is located approximately 415 feet from the Pacific Ocean. However, the project site does not contain or is not adjacent to any steep hillsides, sensitive biological resources, sensitive coastal bluffs, or Special Flood Hazard Areas. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

# (c) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two- story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The project complies with all required regulations in the SDMC, the Community Plan and the LCP. The project site is in the RS-1-5 Zone, which is a residential zone intended to provide for flexibility in the development of single dwelling units that allow reasonable use of property while minimizing adverse impact to adjacent properties. Based on the density outlined in Table 131-04D, one dwelling unit is allowed per lot, and therefore, the proposed single dwelling unit is consistent with the prescribed density for the site. The total proposed floor ratio (FAR) of 0.52 complies with the maximum FAR of 0.54. Furthermore, the project' lot coverage of 29.79% is far below the maximum allowed lot coverage of 50%. The proposed two off-street parking spots meet the required parking for the site. The project has been designed in conformance with all required setbacks, including the 20-foot minimum front setback, side and street setback calculation, and 20-foot minimum rear setback. Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC section 113.0207(a)(4)(D).

The proposed ADU complies with all required regulations in the SDMC, Community Plan and LCP. In accordance with SDMC Section 141.0302(a)(2)(B), ADU's are not subject to the density limitations for the premises. Therefore, the proposed ADU does not affect the prescribed density for the site. The sole ADU proposed complies with the maximum single ADU permitted on the premises with a proposed single dwelling unit. Furthermore, the proposed ADU complies with the required gross floor area maximum of 1,200 square-feet and minimum

of 150-square-feet. As the ADU is proposed in the basement of the single dwelling unit, the ADU complies with required setbacks as well.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The project proposes to vacate a 103.44 square-foot portion of the subject existing sewer easement, as the proposed easement vacation area is one that is currently not in use due to the sewer line terminating at the manhole located before the portion to be vacated. The action will remove the City's liability for an area that is not needed or required. The Public Utilities Department has confirmed that that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review).

The project site is located approximately 415 feet from the Pacific Ocean. The roadway immediately adjacent to the project site, Avenida Cresta, is not identified as a public vantage point in the Community Plan and LCP (pg. 35). Via del Norte (North of the site), Avenida Cortez (South of the site), and Camino De La Costa (West of the site) are identified as Scenic Overlooks and Intermittent or Partial Vistas (pg. 35). However, the project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and the proposed project is contained within the existing lot area. Due to all development taking place within the project premises, the project will not encroach upon any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC Section 113.0270(a)(4)(D). Moreover, the height of the front façade facing Avenida Cresta is approximately 27 feet and is in keeping with the existing character of the community, is consistent with the goals of the Community Plan and LCP and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community.

The project has been designed in compliance with all the applicable provisions of the Community Plan and LCP, and the San Diego Municipal Code (SDMC) and does not require or request any deviations. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

(d) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project proposes to demolish the existing dwelling unit and to construct a two-story single dwelling unit with a basement that includes a 405 square-foot garage and 661 square-foot ADU on a 0.24-acre site. The project also proposes the vacation of a portion of an existing sewer easement.

The project site is located approximately 415 feet from the Pacific Ocean, on Avenida Cresta. There is no existing or proposed public access to the beach on the project site as identified in the Community Plan and LCP and therefore, the project would not impact any or adversely affect any public access. The development is proposed on private property and designed in conformance with all applicable development regulations. Due to its location, the development would not block views to and along the shoreline from public areas, as identified in the Community Plan and LCP (pg. 35). The project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and does not impede on any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. The project site is not located in an area identified for public recreation and will not impact existing public recreation areas. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Coastal Development Permit No. 2309399 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2309399, a copy of which is attached hereto and made a part hereof.

Ben Hafertepe
Development Project Manager
Development Services

# **ATTACHMENT 5**

Adopted on: June 9, 2021

IO#: 24008303

# **RECORDING REQUESTED BY**

CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

**INTERNAL ORDER NUMBER: 24008303** 

SPACE ABOVE THIS LINE FOR RECORDER'S USE

# COASTAL DEVELOPMENT PERMIT NO. 2309399 LEIDY RESIDENCE - PROJECT NO. 639782 HEARING OFFICER

This Coastal Development Permit No. 2309399 is granted by the Hearing Officer of the City of San Diego to David B. Leidy and Pamela K. Leidy, Husband and Wife as Joint Tenants, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.24-acre site is located at 6216 Avenida Cresta in the RS-1-5 Zone and Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the La Jolla Community Planning area. The project site is legally described as: Lot 14, Block 3, La Jolla Hermosa, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1810, filed in the Office of the County Recorded of San Diego County, November 21, 1924; Also known as: 6216 Avenida Cresta, La Jolla, CA 92037; AP #: 357-012-13-00.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new single dwelling unit with basement, garage, and accessory dwelling unit as described and identified by size, dimension, quantity, type and location on the approved exhibits [Exhibit "A"] dated June 9, 2021, on file in the Development Services Department.

### The project shall include:

- a. The demolition of an existing 1,876 square-foot dwelling unit and construction of a 6,582 square-foot, two-story single dwelling unit with basement with a 405 square-foot garage and 661 square-foot accessory dwelling unit, and sewer easement vacation.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services
  Department to be consistent with the land use and development standards for this site in
  accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

### **STANDARD REQUIREMENTS:**

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by DATE.
- 2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
- 3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
- 8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

- 9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
- 10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

# **CLIMATE ACTION PLAN REQUIREMENTS:**

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

# **ENGINEERING REQUIREMENTS:**

- 13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of existing driveway with City standard curb, gutter and sidewalk, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
- 14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new City standard 12 ft driveway, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
- 15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond to reconstruct the existing damaged curb with City Standard curb and gutter, adjacent to the site on Avenida Cresta, satisfactory to City Engineer.
- 16. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing damaged sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
- 17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscape in the Avenida Cresta Right-of-Way, satisfactory to the City Engineer.
- 18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
- 19. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.
- 20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
- 21. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

# **PLANNING/DESIGN REQUIREMENTS:**

- 22. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
- 23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

- 24. The accessory dwelling unit may not be sold or conveyed separately from the primary dwelling unit.
- 25. The accessory dwelling unit shall not be used for a rental term of less than 30 consecutive days.
- 26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

# **GEOLOGICAL REQUIREMENTS**

- 27. Prior to the issuance of any construction permits (either grading or building), the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy the Geology Section of the Development Services Department prior to issuance of any construction permits.
- 28. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The asgraded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to the exoneration of the bond and grading permit close-out.

# **PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

- 29. Prior to any Building Construction Permit being issued, all domestic, irrigation, and fire water services serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD); or, one of the following two notes must be included on the title sheet of the building construction plans being permitted:
  - a. THIS RESIDENTIAL DEVELOPMENT HAS, OR WILL HAVE AS A CONSEQUENCE OF THIS WORK, A COMBINED DOMESTIC/FIRE PROTECTION WATER SERVICE UTILIZING A PASSIVE PURGE STYLE OF DESIGN AND IS THEREFORE EXEMPT FROM INSTALLING A BACKFLOW PREVENTION DEVICE; or,
  - b. THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE INSTALLATION OF A PRIVATE, ABOVE GROUND, BACKFLOW PREVENTION DEVICE TO BE LOCATED IN-LINE WITH THE SERVICE AND JUST INSIDE THE PROPERTY (IMMEDIATELY ADJACENT TO THE PROPERTY LINE). \*\* Note: Any configuration other than as detailed above must be specifically authorized in advance by the City's Cross-Connection Control Section (please contact Anthony Diaz ADDiaz@sandiego.gov or 858-614-5752).
- 30. If an existing water service to be retained is found to be inadequately sized to serve the proposed project, the applicant must obtain a Permit to Work in the Public right-of-way to abandon

(kill) that existing water service line at the main, and install a new water service in a location acceptable to the Public Utilities Director. To ensure acceptability, the new service line should be at least 30" from any prior service line alignment, 5 feet from any driveway or tree, and 10 feet from any active sewer lateral.

- 31. Prior to any Building Construction Permit being issued, the sewer lateral(s) serving this development must pass through an acceptable sewer cleanout (as defined below); or, the following note must be included on the title sheet of the building construction plans being permitted: THIS RESIDENTIAL DEVELOPMENT HAS, OR WILL HAVE AS A CONSEQUENCE OF THIS WORK, INSTALLED A PERMITTED SEWER LATERAL CLEANOUT, THE CONDITION AND LOCATION OF WHICH IS ACCEPTABLE TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.
- 32. Prior to any Building Construction Permit being issued, any private improvements within a public ROW or public easement which lies on or adjacent to this project site and which could inhibit the City's right to access, maintain, repair, or replace its public water and sewer facilities (including but not limited to landscaping\*, enhanced paving, storage, or structures of any kind) must be removed. \* No trees or shrubs exceeding three feet in height at maturity shall be installed or remain within ten feet of any public sewer facilities or within five feet of any public water facilities.

# **INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement
  or continued operation of the proposed use on site. Any operation allowed by this
  discretionary permit may only begin or recommence after all conditions listed on this permit
  are fully completed and all required ministerial permits have been issued and received final
  inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 9, 2021 and [Approved Resolution Number].

# **ATTACHMENT 6**

Permit Type/PTS Approval No.: Coastal Development Permit No. 2309399 Date of Approval: June 9, 2021

AUTHENTICATED BY THE CITY OF SAN DII	EGO DEVELOPMENT SERVICES DEPARTMENT
Ben Hafertepe	
Development Project Manager	
NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.	
	execution hereof, agrees to each and every condition of
this Permit and promises to perform eac	h and every obligation of Owner/Permittee hereunder.
this Permit and promises to perform eac	h and every obligation of Owner/Permittee hereunder.  Owner/Permittee
triis Permit and promises to periorm eac	

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

Pamela K. Leidy Wife as Joint Tenant RESOLUTION NUMBER \_\_\_\_\_

DATE OF FINAL PASSAGE June 9, 2021

A RESOLUTION VACATING PUBLIC SERVICES EASEMENT NO. 2535513 FOR THE LEIDY RESIDENCE CDP-PROJECT NO. 639782

WHEREAS, San Diego Municipal Code section 125.1010(a) provides a procedure for the vacation of public service easements and San Diego Municipal Code section 112.0103 provides a procedure for consolidating the processing of multiple approvals by the decision maker at the highest level of authority for that development, in this instance the Hearing Officer; and

WHEREAS, DAVID B. LEIDY AND PAMELA K. LEIDY, Husband and Wife as Joint Tenants,

Owner/Permittee, filed an application to vacate a Public Service Easement, located at 6216 Avenida

Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach

Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones;

and

WHEREAS, it is proposed that a portion of a six-foot wide sewer easement be vacated; and WHEREAS, on December 3, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301, Existing Facilities, and Section 15303, New Construction or Conversion of Small Structures, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on June 9, 2021, the Hearing Officer of the City of San Diego considered Easement Vacation No. 2535513 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED, by the Hearing Officer, that with respect to the sewer easement located within the property located at 6216 Avenida Cresta, the Hearing Officer adopts the following findings with respect to Easement Vacation No. 2535513 pursuant to SDMC Section 125.1040:

(a) There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

The Leidy Residence CDP project (Project) proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot accessory dwelling unit (ADU). The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and designated as Low Density Residential with 5 to 9 dwelling units per acre (DU/AC) within the La Jolla Community Plan (the Community Plan) and Local Coastal Program (LCP). The project site is also located within the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The project proposes to vacate a 103.44 square-foot portion of the subject existing sewer easement, as the proposed easement vacation area is one that is currently not in use due to the sewer line terminating at the manhole located before the portion of the easement to be vacated. The action will remove the City's liability for an area that is not needed or required. The Public Utilities Department has confirmed that that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review).

There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved utilization of the land made available by the vacation.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. There are no utilities or public services within

the portion to be vacated, as the public sewer line terminates at the manhole located prior to the portion of the easement to be vacated.

As outlined in Finding (a) listed above, the project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The proposed vacation of a portion of the sewer easement will allow for the future development of land that was previously not developable. Additionally, the public will also benefit through improved utilization of the land because the area of privately-owned land subject to property tax will be increased, which would contribute to an incremental increase to the tax base. Therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

# (c) The vacation is consistent with any applicable land use plan.

As outlined in Finding (a) listed above, the project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The Community Plan designated the site and surrounding areas to the North, South, East and West as Low Density Residential with a density of 5-9 DU/AC. The proposed two-story, 6,582 square-foot single dwelling unit with a 661 square-foot ADU is consistent with the underlying land-use designation.

The Community Plan does not reference easement vacations directly. However, the proposed sewer easement vacation does not change any land use, as it does not affect the prescribed density for the site. It also does not impact existing or proposed sewer collection services. Therefore, the vacation is consistent with any applicable land use plan.

# (d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The easement was originally acquired for the City to access and maintain the sewer line that is located within the project site. There are no utilities or public services within the portion to be vacated, as the public sewer line terminates at the manhole located prior to the portion of the easement to be vacated. Additionally, the Public Utilities Department has confirmed that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review.) Therefore, the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

**ATTACHMENT 7** (R-[Reso Code])

BE IT FURTHER RESOLVED, that the public service easement located within 6216 Avenida

Cresta in connection with Coastal Development Permit No. 2309399, as more particularly described

in the legal description marked as Exhibit "A," and shown on Drawing No. 42405-B, marked as Exhibit

"B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a

quitclaim deed with an attached copy of this resolution and any exhibits, in the Office of the County

Recorder releasing to the property owner, all rights title and interest in said easement.

Ben Hafertepe

Development Project Manager

**Development Services** 

Adopted on: June 9, 2021

IO No.: 24008303

Page 4 of 4

# 639782NOTICE OF EXEMPTION

(Chec	ck one d	Per both) Recorder/County Clerk P.O. Box 1750, MS A-33 1600 Pacific Hwy, Room 260 San Diego, CA 92101-2400 Office of Planning and Research	From:	City of San Diego Development Services Department 1222 First Avenue, MS 501 San Diego, CA 92101	
	Ш	1400 Tenth Street, Room 121 Sacramento, CA 95814			
Proje	ct Nam	e/Number: Leidy Residence CDP / 639782			
SCH I	<b>No.:</b> N/	A			
Proje	ct Loca	tion-Specific: 6216 Avenida Cresta, La Jolla, CA 92	2037		
Proje	ct Loca	tion-City/County: San Diego/San Diego			
<b>Description of nature and purpose of the Project:</b> Coastal Development Permit to construct a 6,582 square-foot, two-story single dwelling unit with basement, 405 square-foot garage, 661 square-foot Companion Unit, and sewer easement vacation located at 6216 Avenida Cresta. The 0.24-acre site is in the RS-1-5 Zone and the Coastal (Appealable) Overlay Zone within the La Jolla Community Plan area and Council District 1. This development is within the Coastal Overlay Zone and the application was filed on July 18, 2019.					
Name	of Pul	olic Agency Approving Project: City of San Diego			
<b>Name</b> 564-4		rson or Agency Carrying Out Project: David and Pa	am Leidy,	3408 Lantz Circle, Plano, TX 75025, 214-	
Exem	Ministo Declar Emerg Catego	us: (CHECK ONE) erial (Sec. 21080(b)(1); 15268) ed Emergency (Sec. 21080(b)(3); 15269(a)) ency Project (Sec. 21080(b)( 4); 15269 (b)(c)) orical Exemption: Section 15301 and Section 1530 ory Exemptions:	93		
categ	orically	y project is exempt: The City of San Diego determ exempt from CEQA pursuant to Section 15301 at 5300.2 would not apply.			
Lead	Agency	Contact Person: Courtney Holowach	Т	'elephone: 619-446-5187	
1.	Attach	plicant: certified document of exemption finding. notice of exemption been filed by the public agen	ncy approv	ving the project?	

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

for Jeff Szymanski, Senior Planner	5/12/21
Signature/Title	Date
Check One:  ☐ Signed By Lead Agency ☐ Signed by Applicant	Date Received for Filing with County Clerk or OPR



City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101

# Community Planning Committee Distribution Form Part 1

Project Name:	Project Num	iber:	Distribution I	Date:	
Project Scope/Location:	1			1	
Applicant Name:		Applic	cant Phone	Number:	
Project Manager:	Phone Number:		umber: 321-3200	E-mail Address:	

**Project Issues (To be completed by Community Planning Committee for initial review):** 

Attach Additional Pages If Necessary.

Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101

Printed on recycled paper. Visit our web site at <a href="www.sandiego.gov/development-services">www.sandiego.gov/development-services</a>. Upon request, this information is available in alternative formats for persons with disabilities.



City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101

# Community Planning Committee Distribution Form Part 2

Project Name:			ject N	Number:	Distribution Date:	
Project Scope/Location:		<u> </u>				
Applicant Name:				Applicant Phone Number:		
Project Manager:	Phone Numb	er:	Fax	Number:	E-mail Address:	
•				9) 321-3200		
Committee Recommendations (To be completed for	Initial Review	·):			•	
☐ Vote to Approve	Member	rs Yes	M	Iembers No	Members Abstain	
☐ Vote to Approve With Conditions Listed Below	Members Y		Yes Members No		Members Abstain	
☐ Vote to Approve With Non-Binding Recommendations Listed Below		s Yes   Members No		Iembers No	Members Abstain	
☐ Vote to Deny Member			rs Yes   Members No		Members Abstain	
☐ No Action (Please specify, e.g., Need further information, Split vote, Lac quorum, etc.)			Lack	of	☐ Continued	
CONDITIONS:						
				T		
NAME:				TITLE:		
SIGNATURE:				DATE:		
Attach Additional Pages If Necessary.  Please return to: Project Management City of San Diego Development Service 1222 First Avenue, San Diego, CA 921			vices e, MS	Department		
Printed on recycled paper. Visit of Upon request, this information is available.	ır web site at <u>ww</u>	w.sandi	iego.g			

# La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: www.lajollacpa.org info@lajollacpa.org

President: Tony Crisafi Vice President: Matt Mangano 2<sup>nd</sup> Vice President: Dave Gordon Secretary: Suzanne Weissman

Treasurer: Mike Costello

\_\_\_\_\_

# FINAL MINUTES—

Regular Meeting | Thursday, January 9, 2020 – 6 p.m.

1.0 Welcome and Call to Order: Tony Crisafi, President, presiding, 6:01 pm

This is a full agenda, recorded meeting therefore, the following rules will be enforced:

- Mobile devices off or on silent mode.
- All public and trustee comment will be addressed to the chair. Public & trustee comment will be limited to 2 minutes.
- Comments will be directed to the project or matter stated in third person for the purpose of respect & clarity
- o Chair may ask for member votes. Please keep hands raised until the vote tally is announced.
- Chair will alternate order of trustee comment. Upon consensus, Chair will close discussion and call for a motion.
- Please notify chair of any organized public presentation requests prior to meeting preferably a week.

**Quorum present:** Brady, Costello, Crisafi, Fitzgerald, Fremdling, Gordon, Ish, Jackson, Little, Mangano, Manno, Neil, Shannon, Weissman, Will. **Absent**: Courtney, Kane

### 2.0 Adopt the Agenda

Motion: Adopt agenda, (Brady/Fitzgerald) /Vote: Unanimous, Chair abstains, Motion carries.

### 3.0 Meeting Minutes Review and Approval:

### 3.1- Regular meeting minutes

**Neil:** Question whether 3<sup>rd</sup> paragraph of Secretary Report, item 5.2, should state that to be a trustee a person must have attended 3 meetings as a member (28 days after submitting application) or just have attended 3 meetings in the prior 12 months?

**Boyden**: Clarified by stating that you don't have to attend 3 meetings after becoming a member; you only have to attend 3 meetings. For example: one could attend in March and June, 2019, then join in Feb. 2020, and be qualified for a trustee.

Minutes will remain as written. There is a minor correction for \$2.00 in the Treasurer's Report making the Ending Balance \$545.16.

Motion: Approve minutes as amended (Jackson/Neil) Vote: 13-0-2, Motion carries.

In Favor:. Brady, Costello, Fitzgerald, Fremdling, Gordon, Ish, Jackson, Little, Mangano, Manno, Neil,

Weissman, Will Opposed: none

Abstain: Shannon, Crisafi (chair)

## 4.0 Consent Agenda - 4.1 - 4.5

The Consent Agenda allows the LICPA to <u>ratify recommendations of the community joint committees and boards</u> in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LICPA. Projects may be pulled from consent agenda by anyone present. Items will be moved to full review at the present of following regular LICPA meeting.

# The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LICPA.

PDO – Planned District Ordinance Committee, Chair Deborah Marengo, 2nd Monday, 4:00 pm

DPR - Development Permit Review Committee, Chair Brian Will, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair David Gordon, 3rd Monday, 4:00 pm

T&T - Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

## 4.1 - 8441 Whale Watch Way - Morgan Residence - Project No. 635054,

Process 3, SDP & CDP to Demolish an existing residence & construct a two-story, 11,952 s.f. single family residence on 0.46-acre property. Property is within the s.f. zone of the La Jolla Shores Planned District, Coastal (Non-appealable Overlay zone and within the La Jolla Community Plan Area within Council District 1.

PRC motion to approve 6-0-0

4.2 – Completion of concrete re-paving project on section of Coast Blvd. near The Cave Store – City project to restore the street following emergency repairs.

T&T motion to approve 9-0-0

# 4.3 - Leidy Residence - 6216 Avenida Cresta - Project No. 639782,

Process 3, CDP for a new 7,172 s.f. two story single family residence with basement, 788 s.f. garage, 629 s.f. guest quarter and a detached 423 s.f. companion unit. The .24 acre site is in the RS-1-5 and Coastal Overlay (appealable) zone within the La Jolla Community Plan area, Council District 1.

DPR motion to approve 4-0-1

### 4.4 - 7815 Cuvier and 614 Sea Lane - Project No. 641955,

Process 3, CDP & tentative map waiver for an addition to two existing single story units that total 1,167 s.f. each. The scope includes a 2nd story addition with roof deck that will create two detached residential condos that total 2,034 s.f. and 2,160 s.f. The .13 acre site is in the RM -1-1 zone and the coastal (non-appealable) overlay zone within the La Jolla Community Plan area, Council District 1.

DPR motion to approve 4-0-1

### 4.5 – 5421 Bellevue Ave. LLA – Project No. 558873

Process 2, CDP for a lot line adjustment and consolidation of lots 11,12, 13 & 14 in block 26 of Bird Rock Addition of Map 1083 to make two parcels located at 5421 Bellevue Ave. The site is in the RS-1-7 coastal (non-appealable) overlay zone within the La Jolla Community Plan area and Council District 1.

DPR motion to approve 6-0-1

See Committee minutes and/or agenda for description of projects, deliberations, and vote. Anyone may request a consent item be pulled for full discussion by the LJCPA.

None pulled. **Motion:** approve consent agenda, (Gordon/Mangano) **Vote**: unanimous, chair abstains. **Motion carries**.

## 5.0 Officer Reports:

### 5.1 Treasurer - Mike Costello's report -

# La Jolla Community Planning Association Treasurer's Report for January 9, 2020 Regular Meeting

**Beginning Balance** as of December 1, 2019 \$545.16

#### Income

•	Collections, Dec. 5, 2019	\$148.00
•	CD Sales	\$ 00.00

02 04.00	Ψ 00.00
Total Income Expenses	<u>\$148.00</u>
<ul> <li>Agenda printing , Dec. 5, 2019</li> <li>City Treasurer (Rec Center over-time)</li> <li>GoDaddy ( LJCPA email &amp; website)</li> </ul>	\$72.41 00.00 \$414.34
Total Expenses Net Income/(Loss)	<u>\$486.75</u> (-) \$338.75

**Ending Balance** of December 31, 2019

\$206.41

City staff agreed to continue to not charge for overtime on this room saving us about \$540.

**Little:** How does price of website compare to other options.

**Jackson:** The website was out of date from years ago; it was about \$100 to bring it up to date. About \$300 went for 3 year service with email account. This is not the cheapest but not most expensive either.

## 5.2 Secretary -

If you want your attendance recorded today, you should sign in at the back of the room or let me know that you want your attendance recorded. You are welcome to attend without signing in or joining.

LJCPA is a membership organization open to La Jolla residents, property owners and local business and non-profit owners at least 18 years of age.

Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: www.lajollacpa.org/.

We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March.

You can become a Member after completing the application and attending one meeting. You can maintain your membership by documented attendance at one meeting per year. If you do not attend one meeting per year, your membership will expire.

To qualify as a candidate in an election to become a Trustee, a member must have documented attendance at **three** LJCPA meetings in the preceding 12-month period.

The attendance spreadsheet is posted on the LJCPA website. If you have any questions let me know. The spreadsheet updated through January will go onto the website in a day or two. We will have a Membership Committee meeting before the next election after the February Regular CPA meeting probably on Feb. 10 or 11. The meeting will be noticed.

# 6.0 Elected Officials – Information Only

# 6.1 Council District 1: Councilmember Barbara Bry.

Rep: Steven Hadley, 619-236-6972, <a href="mailto:srhadley@sandiego.gov">srhadley@sandiego.gov</a>

Hadley: Passed out copies of the Bry Bulletin. Councilmember Bry received the letter sent last month requesting more timely notice and more time to respond to policy issues that come to the city such as the task force on planning groups. The councilmember will share that with the mayor when she meets with him the concerns we have with things that come out too late for this group to respond. I also promise to get anything that may be of interest to you to you as soon as we hear of it to give you a heads up. I am also working to get a brush clearing contract in final stages of being awarded to focus on Fay Ave. extensions among other things. With the current rains it is fairly easy to distinguish the brown weeds from green vegetation. We are working with the mayor's office to move along some of the under-grounding in the Muirlands area where SDGE has had trouble with soil and trenching. They are not coming back with a resolution and dragging on. In the meantime, we will get them to post electronic signs when they are having closures on Nautilus and other streets causing rerouting and traffic delays. Also we are working on Hillside Dr. I discovered by looking on Google Maps that in March of last year, trucks more than 4 tons were prohibited from going up Hillside. The new signage now allows trucks up to 5 tons to turn up that road. My question to traffic engineers is why we are allowing bigger trucks than a year ago to turn up Hillside Dr.

Last thing I am working on is a letter to Air B&B asking them to take the home on Blackgold Rd. off their platforms after the second newsworthy call about people being not only harassed but also harmed. Councilmember Bry is not against capitalism, people sharing their homes, but when our police resources are being used to baby sit unrestricted parties, these things need to be addressed and she is willing to do that

The State of the City meeting is next Wednesday night at 6:00 pm at the Balboa Theater. Please connect with me there: find me and I will connect you with City staff there. The State of the District Address by Councilmember Barbara Bry will be on Wednesday night, January 29, 6:30 pm at University City High School Library.

**Little:** What a difference it makes to get scooters off the board walks. Will there be another vote on that? **Reply:** Yes, there is a 2<sup>nd</sup> reading of that ban on scooters on Mission Beach, Pacific Beach and the Shores **Little:** What is your reading on how that vote will go? Reply: we expect it to pass. The reason for a 2<sup>nd</sup> vote is that it is called for in an ordinance perhaps allowing time for people to change their vote.

Gordon: A recent announcement that Lime Scooters are leaving SD.

**Manno:** Is your office aware that the brush around Hillside Dr. is classified by the fire Department as extremely hazardous. I have heard nothing about the city doing anything to clear that brush. **Reply:** we have maps showing parks that are open space. We rely on private property owners to address brush on their property.

- 6.2 78th Assembly District: Assembly member Todd Gloria
  - Rep: Mathew Gordon 619-645-3090, <u>mathew.gordon@asm.ca.gov</u> Not present
- **6.3 39th Senate District: State Senator Toni Atkins, Senate President pro Tempore** Rep: Miller Saltzman, 619-518-8188, Miller.saltzman@sen.ca.gov Not present

# 7.0 President's Report – Information only unless otherwise noted

7.1 Annual trustee election will be held on March 5, 2020. Announcement, item 10.1

**7.2** La Jolla Community Foundation invites Community Planning Group members to view and discuss the Streetscape Plan – the village of La Jolla improvements – on Thursday, January 16<sup>th</sup> from 4:00 to 6:00 at the La Jolla Recreations Center – flyer attached

**Little:** Who is this group? **Crisafi:** privately funded through LJ Community Fdn. Part of the SD Foundation, an independent non-profit that relies on private donations. The MAD gets funding from property owners.

**Little:** What authority do they have to make changes? **Reply:** They have no authority; they have to get community approval and raise money to do improvement

#### 8.0 Public Comment

Opportunity for public to speak on matters <u>not</u> on the agenda, 2 minutes or less.

8.1 City of San Diego - Community Planner: Marlon Pangilinan, mpangilinan@sandiego.gov Not present.

8.2 UCSD – Senior Community Planner: Alyssa Helper: ahelper@ucsd.edu

We are hosting an open house about the proposed future College Living and Learning Neighborhood.

Wednesday, January 22, 2020, 5 – 7 pm., UC San Diego Faculty Club, Atkinson Pavilion.

This is an opportunity to express concerns, support.

Recently broke ground on Franklin Antonio Hall Project, engineering building. We are now resuming our Community Advisory Group focusing on implementation of the Long Range Development Plan. We met on Dec. 11, including 3 members from this group; next meeting will be in February.

#### 8.3 General Public

Joe LaCava: I'm running for SD City Council District 1. I am giving this update as absentee ballots will be out on February 3. I have knocked on 600 doors and have been endorsed by Sherri Lightner, Donna Frye, Kristine Kehoe, Save SD Neighborhoods and the Sierra Club. Some folks wanted me to come back and answer questions about the ideas the City of SD is trying to do to change the nature of city planning groups as reported in the LJ Light three weeks ago. I am happy to do that next month at the will of the Chair.

**Costello**: Regarding the question about slates from the grand jury report; do we have to change our bylaws?

La Cava: This is a work in progress; nothing is final, but you should pay attention because some of the suggestions will disincentivize people from joining community planning groups. The idea of a slate is that outside members may recruit members they want to get elected, put a slate together, advertise it to the voters encouraging them to vote for that slate. The understanding has been that the planning group itself cannot put together a slate because we want open democracy; we want as many individuals to come forward. At a recent hearing city staff indicated they were going to change that and allow planning groups to put together their own slate. That was a shock and counter intuitive to the idea of being more inclusive encouraging individuals to show up. That is not policy yet.

Phil Merten: The project on 7615 Hillside Dr. on a lot steeply sloping down the street:

- Maximum height is 30' above grade per the Municipal Code.
- Overall maximum structure height on a sloping lot if there is 10' maximum elevation difference under the house the maximum height would be 40'.
- This project is a 3 story, 30' structure
- Immediately behind it is a second structure consisting of 25' high retaining walls with storage space underneath connected to the main structure.
- The Municipal Code states that if you have 2 structures that are separated by 6 horizontal feet, each structure is measured separately.
- On this site we have a 30' structure connected to a 25' structure with an overall height of 55'.
- The City has issued a notice of correction to the contractor.

- Since this project was permitted under an SDP and a CDP, changes and modifications to this building to bring it into compliance should come back to the community for review.
- The City has said they will approve the modifications and move ahead when they approve the modified drawings.
- I am requesting that you request the City to bring the modifications back to you for review and comments before the City approves any modifications.

Ray Weiss: I sent a message to the Development Permit Review committee on July 11, last year asking when the project at 1220 Park Row will be heard again with accurate measurements and drawings as was requested last February. As yet there has been no response to these requests by the applicant. Surely the applicant cannot stonewall the committee indefinitely? Is there a plan to hear this project again or to compel the applicant to comply? The residents of Park Row care deeply about the impact of the code violations on their community. Brian Will, chair of the DPR committee inquired at the City and was told by the Project Manager that this was still an open matter. Does City staff have any obligation to move these stalled projects along? Could this group write a letter requesting the City to act on this project? I would like to see this inaction by the City changed.

### 9.0 Non-Agenda Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less

**Fitzgerald:** Recommend trustees and audience go on website and look at recommendations for CPGs and comments from City Attorney. There are some very significant changes proposed. The material on the CPA website shows the City recommendations, what the CPG group recommended—the extent of the changes is eye opening.

**Will:** I will read an email from Project Manager, Xavier del Valle, on the Park Row project: "My apologies for the delayed response. I believe the ball is in our court regarding several issues that have been raised about the project. Since several staff working on the project are no longer with the City, we have delayed our response to the applicant. Based on our past meetings with the applicant on the outstanding issues, we anticipate another submittal in the near future and will deliver another set of plans for your review."

**Ish:** Has there been a response from the UT or La Jolla Light about our letter about the Beach Groins? **Crisafi:** By email I was referred to the advertising department, I think to place an ad with our letter.

**Ish:** Could a letter be sent as a letter to the editor? Also I spoke with the City concerning the 13<sup>th</sup> code update. It is now called the 2020 Update. The code monitoring committee has been disbanded; all code revisions are now going through the Community Planners Committee. There is a time constraint because the update with the issues we have concerning the serial permits and carports will be on the agenda at the CPG soon and then will go to the Planning Commission. I suggest that the 50% rule and other concerns be put on the agenda at DPR this month so they can go to the CPA next month.

Manno: Will the DPR recommendations be an action item for the CPA in February? Reply: Yes.

**Costello**: The Coastal Commission meeting will be on February 12 – 14 in LA – Orange County. The Substantial Conformance Review on blocking of the ramp to the Childrens' Pool will be on that agenda. The permit for the lifeguard tower a decade ago specifically stated the ramp would remain open. The City, without consulting anyone, blocked the access ramp. I will let you know as soon as I have the date and time.

Also SB 50 may come up for a vote again. Could Councilmember Bry help us out to oppose that? **Little:** SB 50 is a terrible thing; it will make every residence a 4-plex.

**Shannon**: SB 1069 and AB 68 are already on the books. SB 1069 allows accessory dwelling units and AB 68 provides for a 2<sup>nd</sup> accessory dwelling unit thus allowing 3 units on any lot. A lot of new legislation is in already in place and City staff has not kept up with implementing them.

**Neil:** Could you prepare a brief description of these bills for distribution to the trustees.

#### 10.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

#### 10.1 Election Committee - Kathleen Neil

- There are 7 seats open for the election March 5, 2020, 6 for 3 year terms, 1 for 2 year term.
- A candidate forum will be held at the February 6, regular CPA meeting. Interested candidates can speak for 2 minutes each or can submit candidate statement to be read if they cannot attend.
- Eligible members who have attended 3 LJCPA meetings from March 2019 through February 2020 may declare their candidacy until the end of the Feb. 6, meeting.
- The election will be held from 3 to 7 pm on March 5, 2020 in this building
- The election now has 4 members, Kathleen Neil, Nancy Manno, Mike Costello, Janie Emerson

#### 10.2 Community Planners Committee - Dave Gordon

A special Community Planners Committee meeting was held on Dec. 10, that I was unable to attend. The Planning Department is asking for the public to complete a survey to ask for public opinions on planning groups. The survey is on the website until Jan. 16. Also the Land Use and Housing committee met to review the matrix covering the Grand Jury Report, City Attorney and CPG recommendations for planning groups.

#### **10.2** Coastal Access & Parking Board – did not meet

#### 10.3 UC San Diego advisory Committee -

**Mangano:** I recommend all to attend the UCSD open house on Jan. 22, reported earlier. I commend UCSD as an economic driver and powerhouse in the community and for their thoughtful expansion plans. At the meeting they reviewed the phasing and sequencing plans for the huge future construction tol have minimum impact on the campus and the surrounding community.

**Gordon:** I commend UCSD for being thoughtful of our community when they do not have to abide by all local rules. They have been mandated by the Regents to expand the campus by 35%. They are trying to minimize the impact to our community by moving more housing onto campus, getting more people off the roads and staging construction within the campus. The new living and learning center near the LJ Playhouse will cause the closing of the current parking lot but hey are trying to develop plans for parking and transportation asking for community input.

**Boyden:** I am concerned about the lack of a plan for parking at the LJ Playhouse for the period during construction before the underground parking is available. Gordon: a plan will be in place before construction begins.

- **10.4** Hillside Drive Ad Hoc Committee Diane Kane, Chair did not meet
- **10.5** Airport Noise Advisory Committee Matthew Price did not meet
- **10.6** Playa Del Norte Stanchion Committee did not meet

The following agenda items are ACTION ITEMS unless otherwise noted and may be *de novo* considerations. Prior actions by committees/boards are listed for information only.

### 11.0 - LJCPA Review and Action Matter

11.1 CPA to draft a letter regarding recent approval of a vested Coastal Development Permit at 7819

Lookout Drive without community input via Substantial Conformance Review. The CDP was vested with a legal lot Line adjustment. Subsequent designs for the proposed single family residence have not been routed through the LJCPA. Proposed action is to clarify and correct the Substantial Conformance Review process with respect to Community review.

The proposed letter was passed out at meeting and is attached to these minutes as Exhitit A

Crisafi: I move to continue this item to next month since Diane Kane who initiated this item is not here.

Discussion followed whether an item on the agenda can be postponed if a presenter is not present. A presenter came forward from the audience so all agreed to hear the item.

**Deseree Kellogg, neighbor**: We are requesting to send a letter to the mayor requesting City staff to reverse its decision to approve an expired permit from 2005 for a project that significantly differs from the original permit.

- In 2005 the structure was 22% smaller, called for minimal grading. Now they are excavating the entire site with a swimming pool in front yard in violation of the Municipal Code.
- We request public input at the Community Planning Association before approval

**Phil Merten:** According to DSD this building application is still under review and has not yet been issued. I am not familiar with this particular project, but I am very familiar with the regulations that control it.

- According to the description on the agenda a CDP was issued to construct a new home and a lot line adjustment.
- Lot line adjustment are required to go through the coastal development permit process.
- My understanding is that recently through the Substantial Conformance Review process modifications to the design of the structure and a realignment of the property line -- Lot Line Adjustment (LLA) -- were approved.
- The LLA is the issue in this case. This particular site is next to a site that Tony's office has been handling.
- The Municipal Code states that a LLA can occur provided the resulting parcels are in conformance with the MC. The La Jolla Shores Planned District Ordinance says that lots approved subsequent to the adoption of the LJSPDO must comply with the ordinance.
- The ordinance says that any lot created or modified must not be smaller than the average size of all parcels within 300 ft. of the site.
- One of these parcels is well below the average size of parcels within 300 ft. of it.
- This LLA needs to be looked at carefully. It made a substandard, non-conforming lot by reducing one of the lots, increasing the density of that lot which is prohibited by the Code and cannot be a finding for a CDP.
- The City issued IB 500 which says that any LLA that increases density on a parcel cannot be approved by a SCR. Those LLA's can only be approved by a CDP, not an over the counter review by City staff.
- I think this LLA approval by a ministerial SCR was probably issued by staff who are unfamiliar with the regulations, no illegal intent implied.
- Any development permit issued in contradiction of the MC in not legal and not valid. Bottom line this is a situation that needs careful review by this group.

**Boyden**: SCR's do come to the Permit Review Committee. In this case an amendment to the permit is required that should be treated as a new permit.

**Merten:** The City's newsletter on SCR's says that those reviews shall be done by City staff with no public notification – a change in policy.

**Crisafi:** In the past LLA's and permit vesting have been handled differently regarding the SCR processes going to the community. It is not mandatory to send a SCR to the community for review. If the proposed dwelling unit under this CDP requires an amendment, we could simply ask for the opportunity to review the proposed residence. That might be more effective to state under current code that is required.

**Kane:** One of the problems is there is no information on this on Open DSD; the lot doesn't exist, none of the previous permits are mentioned there, the address is not there. There have been 3 coastal permits and a LLA and none of this is online. When we asked to see the plans, we were told they were proprietary and could not be viewed. We have asked politely to review them and chat with staff about our concerns. We have received no response.

**Crisafi:** I don't disagree with the letter; it could be distilled to get the point across asking DSD whether a SCR or coastal amendment is appropriate and to release the drawings to the public.

**Neil:** Are we going to entertain a motion or try to revise the letter? I see creep occurring regarding development that is not open and not available for review.

**Manno:** I have the same concern as Trustee Neil. This letter covers a number of things, is much too long and complicated. It needs to make 2 or 3 main points demanding a response.

With further discussion the trustees agreed that the biggest issues are that no information on the project has been available for public review, time is of the essence, we need to get someone's attention.

**Brady: Motion:** I move we send this letter as an attachment to a letter from the CPA president that conveys our major concern that there is no information available to the public and we want to a review. (Brady/Little)

**Crisafi**: I will send a cover letter by email outlining our main concerns for the record, to make information available to the public and request community review so the neighborhood can provide input to DSD.

Vote: Unanimous, Chair abstains. Motion carries.

Final audience comment, **Phil Merten**: A California Supreme Court decision in 1924: regardless of what has happened in the past, when a project is built on a specific date it has to comply with rules and regulations on that date. That undermines everything you have heard from the City of SD ecause we all rely on previous approvals. That supreme court decision has not been changed since 1924.

XX. Adjourn at 7:58 pm. to next regular LJCPA Meeting: Thursday, February 6, 2020 at 6:00 pm.

#### **EXHIBIT A**

The Honorable Kevin Faulkner Mayor of City of San Diego

#### Dear Mayor Faulkner:

The La Jolla Community Planning Association (LJCPA) is officially recognized to advice the City of San Diego on land use matters within the La Jolla Community Plan boundaries. Our duties include recommendations for improvements to the La Jolla Community Plan, as well as conformance of individual development projects with the Land Development Code, Community Plan and General Plan. In our small community, the LJCPA recognizes the impact of every new development on surrounding residents, and we are dedicated to scrupulously maintaining the standards of our Community Plan.

The LICPA has recently become aware of two different situations that we believe violate the City's land use regulations as they apply in La Jolla Shores. As the CPA with responsibility for the area, we expected to be consulted before approvals were issued. However, in both cases, Staff has proceeded to approve intrusive and non-conforming developments on Lookout Drive without seeking advice about Community Plan conformance or community impacts from the LICPA. We believe Staff has set a very adverse precedent with both these cases that must be reversed to protect the future of our La Jolla community.

Stale or Expired Permits. During the height of the building boom before 2008, tentative parcel maps, Coastal Development Permits and Site Development Permits were approved for many projects that were never built. Now that the home building industry has recovered, many developers are trying to revive permits after more than a decade of inactivity. In cases where a developer had already made a substantial financial investment in the property before halting work, Municipal Code §126.0108 allowed the permit to remain in suspension until the market rebounded so the expenditures would not be wasted. However, for smaller projects where LLA/PM recordation did not require a substantial financial investment, the City added a requirement to its CDPs: "Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City following all appeal. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted." This permit condition was intended to insure the approval would not remain in effect indefinitely unless the owner had commenced physical construction, at least without giving the City and CPA an opportunity to revisit the appropriateness of the development.

The LJCPA has been very concerned to learn that Staff has been treating LLA/PM and Coastal Development Permits as "vested" in direct violation of the CDP condition requiring <a href="physical">physical</a> construction. The proposed building permit at 7837 Lookout Drive is a poster child for this concern. LLA 107757, CDP 107758 and LLA/PM 107759 were approved in 2005, concurrently with CDP 104484 and SDP 104485. The CDP required commencement of "construction, grading or demolition" (i.e. physical alteration of the property) within 36 months. Instead, although the LLA/PM was recorded in 2008, the lots remained physically untouched for more than 14 years, until a building permit application was submitted in 2019 for new construction. Staff accepted the application because the LLA/PM had been recorded, without considering whether the CDP and related approvals had <a href="expired">expired</a> because of a total failure to comply with the physical construction condition. The LJCPA strongly objects to any interpretation of the Municipal Code or CDP condition that allows a site development plan to be suspended without any activity for more than a decade, and then modified without additional community review to ensure that it remains consistent with the PDO and LUP.

<u>Substandard Lot Sizes</u>. The La Jolla Planned Development Ordinance (PDO) sets minimum lots sizes as "the average dwelling unit density (units per acre) of the developed Single-Family Zone within 300 feet." On Lookout Drive, the average lot size exceeds 11,000 square feet. Therefore, the minimum lot size on Lookout Drive is 11,000 square feet under the PDO and 8,000 square feet under Local Coastal Program Land Use Plan (LUP). When reviewing a proposed development at 7727-7729 Lookout Drive, the LICPA discovered the City had approved a lot line adjustment/parcel map (LLA/PM) containing lots of only 5,000 square feet in 1997. The LICPA cannot explain why lots less than half the size required under the PDO were approved in violation of San Diego Municipal Code §102.0207, which prohibits approval of a LLM/PM unless all lots meet mandatory minimum lot sizes. In the case of the Lookout Drive LLA/PM #17817, more than half the lots were +/-5,000 square feet in a +11,000 square foot neighborhood. In the case of 7837 Lookout Drive, the City allowed recordation of LLA/PM 107759 in 2008 with only substandard lots, including a reduction in the square footage of one lot below its original size.

It is not too late for the City to correct its erroneous approval of these LLC/PM in La Jolla Shores. If they were approved without valid Coastal Development Permits, as seems likely, there is not statute of limitations because they were never effective in any event. The remedy for invalid LLA/PMs under Municipal Code 125.0710 is lot merger, which can be implemented any time after the City is notified of the original error. Building permits issued in reliance on expired or invalid CDPs are subject to immediate revocation, even after construction.

The LJCPA is disappointed that it has been unable to resolve these important and precedential issues with Staff. However, without further discussion and explanation, we believe these projects and any similar applications violate multiple City regulations in violation of San Diego Municipal Code §121.0308(a). The LJCPA therefore requests Mayor Faulkner to exercise his authority under Municipal Code §121.0308(b) to require rescission of the approvals in accordance with the Land Development Code.

Thank you for your attention to our commitment to protecting the La Jolla Community.



City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000

## Ownership Disclosure Statement

FORM

**DS-318** 

October 2017

Approval Type: Check appropriate box for type of approval(s) request ☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land	☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
Project Title: Leidy Residence	Project No. For City Use Only: 039182
Project Address: 6216 Avenida Cresta	Troject No. 7 or City 632 6 my.
La Jolla CA, 92037	
Specify Form of Ownership/Legal Status (please check):	
☐ Corporation ☐ Limited Liabillty -or- ☐ General – What State?	Corporate Identification No.
□ Partnership 🛚 Individual	
with the City of San Diego on the subject property with the inten owner(s), applicant(s), and other financially interested persons of the individual, firm, co-partnership, joint venture, association, social clie with a financial interest in the application. If the applicant include individuals owning more than 10% of the shares. If a publicly-own officers. (A separate page may be attached if necessary.) If any per ANY person serving as an officer or director of the nonprofit or A signature is required of at least one of the property owners. A notifying the Project Manager of any changes in ownership during	owledge that an application for a permit, map or other matter will be filed at to record an encumbrance against the property. Please list below the he above referenced property. A financially interested party includes any ub, fraternal organization, corporation, estate, trust, receiver or syndicate es a corporation or partnership, include the names, titles, addresses of all ned corporation, include the names, titles, and addresses of the corporate rson is a nonprofit organization or a trust, list the names and addresses of rganization or as trustee or beneficiary of the nonprofit organization. Attach additional pages if needed. Note: The applicant is responsible for g the time the application is being processed or considered. Changes in anys prior to any public hearing on the subject property. Failure to provide in the hearing process.
Property Owner  David and Pam Leidy	
Name of Individual: David and Pam Leidy	图 Owner □ Tenant/Lessee □ Successor Agency
Street Address: 3408 Lantz Circle	TV 75005
City: Plano	State: TX z <sub>lp:</sub> 75025
Phone No.: (214) 564 4413 Fax No.:	Emall: dleidy@spectrumvoip.com
Signature: ////////////////////////////////////	Date: 05.22.19
Additional pages Attached: 🖸 Yes 💆 No	
Applicant Dovid and Dom Loidy	
Name of Individual: David and Pam Leidy	M Owner □ Tenant/Lessee □ Successor Agency
Street Address: 3408 Lantz Circle	
City: Plano	State; TX zip: 75025
Phone No.: (214) 564 4413 Fax No.:	Emall: dleidy@spectrumvoip.com
Signature: Om Just	Date: 05.22.19
Additional pages Attached: 다 Yes 법 No	
Other Financially Interested Persons	
Name of Individual:	☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
Street Address:	
City:	State: Zip:
Phone No.: Fax No.:	Email:
Signature:	Date:
Additional pages Attached: 🗆 Yes 🗀 No	

LA JOLLA RESIDENCE # 1806

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BUILDING PROJECTS LLC

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

11.19.2020: Bid Documents 12.10.2019: La Jolla Permit Review Committee Meeting 05.20.2019: Issue to Consultants 05.10.2019: Design Development 1 02.11.2019: Preliminary Design Presentation 02.11.2019: Original Drawing Preparation Date

05.12.2021: CDP Hearing

PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037

NO SCALE

T1.0

Sheet No. 1 / 62

WITHIN THE PROJECT MANUAL, THE NOTES WITHIN THE PROJECT MANUAL SUPERCEDE DRAWINGS NOTES.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THESE NOTES AND NOTES

1. The word "Contractor" means the General Contractor, and where applicable by trade, Subcontractors.

3. The specifications, general conditions and all issued addenda and change orders are

uniform building code and all other applicable codes and requirements.

2. Contractor shall be responsible for reviewing all notes prior to finalizing construction

part of the design drawings. 4. All construction and details shall be completed in full compliance with the California

5. The General Contractor shall maintain a full set of drawings and specifications and all required permits on the job site at all times. They shall be made available to the Designer and Owner at request.

6. Prior to finalizing contract prices, Contractor shall be responsible for reviewing and coordinating all notes and drawings to include any subcontract requirements or information which may not be indicated on subcontractor's sheets or notes, but which are indicated elsewhere in the construction documents.

7. The contractor (and his sub-contractors) shall study and compare the contract documents and shall at once report to the architect in writing all errors, inconsistencies or omissions discovered and verify all dimensions on site prior to commencing the work. If the contractor proceeds with any of the work so affected without written instructions of the Designer, the contractor shall make good at his own cost any resulting error, damage, defects, or time delays so caused. The contractor shall perform no portion of the work without contract documents or, where required, approved shop drawings, product data or samples for such portion of the work.

8. Contractor shall provide a blanket one-year guarantee for the total job with the separate guarantee for specific trades/equipment items, with the names of local representatives to be contracted for service. Provide operating and maintenance brochures as required.

9. Contractor shall provide one marked up print drawing indicating all differences, changes, ect., actual locations of concealed work, before final inspection.

10. Where specified items are mentioned, the contractor may submit alternate materials for approval by the architect. Package to contain brochure, cut sheets, specifications, costs, availability, references, ect... contractor to reimburse Designer for time spent evaluating alternatives or substitutions.

11. Written dimensions on drawings shall take precedence over dimensions scaled from

12. The Designer will submit contract documents for "plan check" and make any necessary corrections. The owner will pay charges, fees and assessments levied by public authorities for connection to the public sewer.

13. Contractor shall consult with representatives of applicable utilities, including gas, water, power, sewer, telephone, and cable television and determine exact locations and availability of utilities and determine the condition of existing service prior to commencing work or connecting utilities.

14. Contractor shall provide all walls, terraces, walks, and drives as shown on plans and also provide any expansion joints, curbs, etc. that may be required for durable construction to be approved by the Design Professional

15. Contractor to stake out all works as shown on plans, confirm existing conditions and property line locations, and verify compliance with setbacks and clearances required by

16. Improvements on the site, work in progress, stored materials, and public and private improvements on property adjacent to the site, shall be protected by the contractor from damage arising from the work. All damage so occurring shall be repaired or replaced by the contractor at no cost to the owner.

17. Submittal documents for deferred submittal items shall be submitted to the Design Professional or engineer of record who shall review them and forward them to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with the design of the building. The deferred submittal items shall not be installed until their design and submittal documents have been approved by the building official.

18. Structural observation by the engineer shall be preformed. A statement in writing shall be given to the building official, stating that site visits have been made and whether or not any observed deficiencies have been corrected to conform to the approved plans and specifications.

19. Contractor shall correlate work between design drawings and specifications and consultant drawings and specifications.

20. Contractor shall confirm any discrepancies between drawings or specs and job site conditions with Design Professional prior to starting portions of the work affected.

21. Written dimensions shall prevail over scaled dimensions on drawings. In no event is dimension to be scaled off the drawings without prior approval from the Design

22. Dimensions marked "clear" are not adjustable without the authorization of the

23. Details are intended to show final affect of parts of construction. Minor modifications may be required to suit particular job site dimensions or conditions and shall be included within the scope of the work and Construction Contract. Any modifications required in details are to be first reviewed and confirmed with the Design Professional prior to

24. Contractor shall review all items noted "verify or confirm with owner or Designer" which might affect costs prior to finalizing construction contract and subcontractors, and shall confirm final decisions regarding selection, materials, color, finish or other specifications not yet decided regarding these items. Contractor shall include the cost of these items within the original contract price.

25. Unless items are specifically itemized as not included in contract (NIC), they will be assumed to be included in the estimate or contract price.

26. The Design Professional, prior to the commencement of the work must approve all change orders in writing. Otherwise the contractor will take full responsibility for all the costs. Contractor shall immediately notify the Owner of any extra costs arising from the execution of his contract or subcontracts and shall receive Owner's written approval of it prior to doing the work.

27. Design work is the responsibility of the architect and any design changes made by the contractor shall be the full responsibility and liability of the contractor.

28. Contractor shall be responsible for supervising that all general and subcontract work is being accomplished according to the most current construction documents, including revisions. The contractor shall also be responsible for the coordination of work of subcontractors under separate contract with the owner.

29. Four sets of shop drawings shall be submitted to the Design Professional for approval. All shop drawings will require at least 10 working days for design review.

30. Contractor shall provide proper ventilation, clearances, and fire protection for all new fireplaces, ovens, hot water heaters, furnaces, vents and flues as required by the drawings, specifications and code.

31. Details marked "(typical)" shall apply in all cases, unless specifically noted otherwise. Where no detail is shown, construction shall be as shown for other similar work.

32. All unspecified materials shall be new first line products of a recognized manufacturer. No substitutions from specifications shall be used unless approved by the architect. If available, manufacturers guarantee shall be provided in writing.

33. A separate permit shall be secured for all electrical, plumbing and heating-ventilating

34. Licenses and permits necessary to the performance completion and approval of the work, and all inspection and other applicable fees (excluding building permit fees) shall be secured and paid for by the contractor.

35. Contractor shall have evidence of current workmen's compensation insurance coverage on file with the Department of Building and Safety in compliance with Section

3800 of the California Labor Code. 36. Contractor shall submit Haul Route Memo to Department of Building and Safety for

approval.37. The Contractor shall submit structural calculations, signed by a State Licensed Engineer, for skylight, and store front assemblies for review and approval. 38. Dimensions are to face of plywood, face of masonry, face of concrete, and to grid

lines unless otherwise noted. 39. All insulation materials shall be certified by the manufacturer as complying with the

California Quality Standards of Insulating Material. 40. No door except bathroom doors in the path of travel of a means of escape shall be less than 32 inches (71.12 cm) wide.

41. Every bathroom door lock shall be designed to permit the opening of the locked door from the outside in an emergency.

42. Interior wall finishes shall have a minimum flame spread classification of III (T-42-b).

43. Overflow drains shall be connected to drain lines independent from the roof drains. 44. Mechanical ventilation system in lieu of operable windows in bathroom/toilet room/ laundry to furnish five air changes per hour direct to the outside is required. (1205-a)

45. Glazing and insulation shall conform to the State Energy Insulation Standards. 46. Provide a 1-hour fire resistive occupancy separation per Building Code Table 5B or

Title 24, Table 5B. 47. Fire resistive assemblies for protection of openings to comply with Building Code #4306 or Title 24, #4306.

48. Exit doors shall be operable from the inside without use of a key or any special knowledge or effort. Building Code #3304(c), Fire Code #12.104, or Title 24, #2-3303

49. Width and height of required exit doorways to comply with Building Code #3304(e) or Title 24, #2-3303(e).

50. Comply with Building Code #1210(a) regarding fire warning system smoke detectors.

51. Comply with Building Code #1204 regarding access.

52. Clearance of brush and vegetative growth will be maintained per Fire Code #11.502

53. A permit from the Dept. of Public Works is required for a protection fence or canopy on or over any street or public space (91.4407).

54. No trenches or excavations 5 feet or more in depth into which a person is required to

55. Contractor shall erect and maintain temporary barricades as needed for protection against accident, and shall continuously maintain adequate protection of his work and the owner's property from damage or loss arising in connection with construction.

56. G.C. shall clean glass, remove stains, spots, marks and dirt from all work, clean all hardware, remove paint spots from all surfaces, clean all fixtures and floors.

57. Temporary electric power and sanitary facilities are to be provided and paid for by 58. No part of the structure shall be overloaded beyond its safe carrying capacity by the

placing of materials, equipment, tools, machinery or any other item. 59. Contractor shall protect all floor surfaces from damage and equip mobile equipment

with pneumatic tires. 60. All metal flashing, gutter, and downspout joints shall be lapped, joined, and sealed so

that they are water tight and provide for positive water flow. 61. Contractor shall arrange with the necessary utility companies to connect utilities

underground. 62. When demolition is required on site all debris must be removed from the site at the expense of the contractor and a demolition permit must be obtained by a licensed wrecking contractor (class c-21), or by a licensed general contractor (class b-1) who is

also the contractor for a new building to be erected on the same site. Contractor's

license shall be verified prior to issuance of permit.

FRAMING

63. In addition to any structural grade requirements, all exposed wood beams and posts shall be selected for best appearance grade, with a minimum of knots, cracks and

64. Contractor shall provide access to all attic areas and plumbing as required by code and shall confirm access locations with Design Professional prior to framing.

65. Contractor shall coordinate framing with proposed locations of electrical, mechanical and plumbing work so as to avoid changes in framing which might conflict with proposed equipment, fixture of diffuser locations.

66. Provide framed openings for medicine cabinets during rough framing, confirming size, location and heights of openings with Design Professional prior to construction.

67. Provide blocking as required for cabinets, toilet paper holders, towel bars and other

68. All exposed wood beams, decking or other members installed prior to enclosing the building envelope and completing roof membrane shall be protected during construction against moisture, staining and other damage by protecting with weatherproof plastic wrappers and additional protective measures as may be required.

STRUCTURAL

69. All welding to be done by welders certified by the appropriate city building department.

70. Glued-laminated lumber shall be fabricated in accordance with uniform building code standard no. 25-10. Exposed structural glued-laminated lumber shall be moisture-resistant treated wood or wood of natural resistance to decay.

71. All posts, plates, sleepers, etc. bearing on or embedded in concrete or masonry shall be pressure treated lumber.

ROOF, ROOF FLASHING AND DRAINAGE

72. Contractor and Roofing Contractor shall furnish an unconditional written guarantee to Owner covering all materials and installation of new roofing, flashings and membranes for a period of 10 years following final completion of construction.

73. Contractor shall employ a qualified independent inspection service for inspection of the roof installation, including any insulation and flashings, and shall confirm arrangements with Owner, Design Professional, manufacturer's representative and roofing contractor prior to construction.

74. All built up or single-ply membrane roof areas shall have minimum 1/4" per foot pitch to drains for spans up to 20'-0", 1/2" per foot for spans over 20'-0". Emergency overflow scuppers or drains shall be installed with outlets 2" above principal roof drains, and shall be independent of principal roof drains or gutters.

75. All roofs, parapets, chimney and other flashings shall be installed so that they are watertight. Notify Design Professional of any points where water or moisture may penetrate for additional water protective measures.

76. All scuppers, gutters, downspouts, leader boxes or other sheet metal work shall be properly flashed and shall have welded or sealed waterproof joints. All bends, seams, splices, or other connections shall be straight, smooth and continuous without dimples or dents. Unless specified, sheet metal gauge shall be sufficient to withstand denting or

77. Provide galvanic or bituminous insulation as approved by Design Professional between dissimilar metals.

78. Unless otherwise noted, all concealed interior roof drain downspouts shall be PVC schedule 40, min. 4" diameter or larger as specified sufficient to handle roof areas. All connections shall be watertight...

DOORS, WINDOWS

79. Exit doors must open over a landing not more than 1/2" below the threshold.

80. Glazed openings within 40" of a door lock shall be tempered glass.

81. All glazing in shower areas shall be of approved shatter resistant material.

82. Shower areas shall be finished with a hard non-absorptive surface to a height of 70"

84. Glass doors, adjacent panels, and all glazed openings within 18" of the adjacent floor shall be of glass approved for impact hazard 91.1711(d) (hsc 25997 eff. 3/4/72). All glazing to be fully tempered glass with no bugs or tong marks and should be

accompanied by written certificates indicating tempering.

83. See ENERGY section for additional information regarding weather-stripping, etc.

85. Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction 91.6709.1 -Door stops of in-swinging doors shall be one-piece construction with the jamb or joined by rabbet of the jamb. 91.6709.4

86. All pin-type door hinges accessible from the outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for the latches and the holding devise for the projecting dead bolts in wood construction wall shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. 91.6709.5, 91.6709.7

87. Provide dead bolts with hardened inserts: deadlocking latch with key-operated locks on exterior. Locks must be openable from inside without key, special knowledge or special effort (latch not required in B, F, and S occupancies. 91.6709.2

88. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug dead bolt shall have a minimum throw of 3/4". 91.6709.2

89. The use of a locking system which consists of a deadlocking latch operated by a doorknob and a deadbolt operated by a non -removable thumb turn which is independant of the deadlocking latch and which must be seperatly operated, shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be seperated by more than 8 inches.

Mullions shall be considered part of adjacent panels except mullions not over 18 in. long may have an overall width not less than 3 inches in width. 91. Sliding doors shall be provided with a device in the upper channel of the moving

90. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions

not less than 1/4 in. thick and indvidual panels must be no more than 300 sq. in. in area.

panel to prohibit raising and removing of the moving panel in the closed or partially open position. 91.6710 92. Sliding glass doors shall be equipped with locking devises and shall be so

93. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated. 91.6711

constructed and installed that they remain intact and engaged when subjected to the

tests specified in 91.6717.1

94. Provide metal guides at top and bottom of metal accordian grate or grill-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. 91.6712

95. Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open positiion. 91.6715.1

96. Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified

MISCELLANEOUS

97. Contractor shall provide temporary toilet facilities at the job as necessary and required by code.

98. All grading shall be accomplished in accordance with the uniform building code. All excess excavated material resulting from grading shall be removed from the site by the

99. All glass doors and windows shall be certified and labeled to show compliance with air infiltration standards of 1972 ansi a134.1, a134.2, a134.3, and a134.4

SECURITY NOTES

All openings marked by the symbol \* on the door/window schedule are security openings and the following requirments shall apply:

100. Sliding doors and windows shall be provided with a device in the upper channel or the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.

101. Swinging doors.

102. Doorstops of in-swinging doors shall be of one-piece construction with the jamb or be provided with some device to prevent the door from being opened should the stop be

103. Stops on out-swinging doors to be one-piece construction or fastened wih 3/4" screws 6" o.c.

104. All pin-type hinges that are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have a minimum 1/4" diameter steel jamb stud with 1/4" minimum protection.

105. The strike plate (min. 16 us gauge, stud, bronze or brass) for latches and the holding device for projecting deadbolts shall be secured to the jamb and wall framing with 2" long screws.

106. All exterior doors shall be flush-type wood doors 1-3/4" thick with solid core construction, or fully tempered glass if glass, and shall be installed with dead locking latches. Deadbolts shall have a minimum 1" throw and a minimum 5/8" embedment (straight type) and shall contain hardened inserts. Locks shall be flush, key-operated cylinders on the exterior and shall be openable without key , special knowledge, or special effort on the interior.

107. Jambs shall be installed with solid backing for a 6" vertical distance on each side of the lock strike area.

108. Trimmers shall be full door length with solid backing against sole and header plates. 109. Horizontal blocking shall be placed between studs at lock strike height for 3 stud

110. All security doors shall be equipped with locks that incorporate the following features: deadbolt with minimum 1" projection and minimum 5/8" embedment in strike plate, cylinder guard and minimum 5 pin tumbler locks, and minimum 1/4" diameter connecting screws.

111. Double doors (inactive leafs) shall be secured with both head and base flush bolts with a minimum 5/8" embedment.

112. Window provisions

113. Sliding glass windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the test specified in 91.5731 and 91.6732, LA city building code.

114. Windows and openings within 12 feet of ground level with over a 96 sq.in. area are deemed "accessible."

115. Glazing and glazed assemblies for "accessible" openings shall be certified as

meeting test provisions of ubc 41-2 116. Glazing in exterior doors or within 40" of any locking mechanism shall be tempered or burglary resistant.

**ENERGY NOTES** 

117. The requirements of title 24, part 2. chapter 2-53 have been reviewed and the

design submitted conforms with these regulations signed by the Design Professional. 118. The contractor shall provide the original occupant a list of heating, cooling, water heating, lighting, and conservation of solar devises installed in the building and instructions on how to use them efficiently.

119. A maintenance label shall be affixed to all equipment requiring preventative maintenance, and a copy of the maintenance instructions shall be provided for the owners use.

120. Insulation shall be certified by the manufacturer to comply with the California quality standards for insulating material.121. After installing insulation, the installer shall post in a conspicuous location a certificate signed by the installer stating that the installation is consistent with the plans and specifications for which the building permit was issued, and conforms with the requirements of chapter 2-53. The certificate shall also state the manufacturer's name and material identification, the installed "r value," and, if loose-fill insulation, the minimum installed weight per sq.ft. consistent with the manufacturer's labeled installed design density for the desired "r value."

122. Ceiling/.roof shall be insulated (as per 2-5352 [a]) between framing members with insulation having an installed thermal resistance of r-19 or greater.

123. Wood-framed walls shall be insulated between framing members with insulation having an installed thermal resistance r-11 or greater. Framed foundation walls of heated basements or heated crawl spaces shall be insulated above the adjacent outside ground line with insulation having an installed thermal resistance of r-7.

124. All doors and windows between conditioned and unconditioned space shall be fully weather-stripped.

125. All openings in the building envelope such as frame, framing and panel joints, electrical and plumbing line openings, and masonry/wood framing joints shall be caulked or otherwise sealed to limit infiltration.

126. Manufactured doors and windows shall be certified and labeled indicating that they meet the infiltrations standards listed in table 2-53v, t-24, section2.

thermostat with a clock mechanism which the building occupant can manually program to

127. Fan or other exhaust systems exhausting air from conditioned space to the outside shall be provided with backdraft dampers to prevent air leakage. 128. Thermostatically controlled heating or cooling systems shall have an automatic

automatically set back the thermostat points for at least two periods within 24 hours.

129. Specify water heater size, fuel type, and that it is state listed.

130. Storage type water heaters shall be externally wrapped with insulation having an installed thermal resistance of r-12 or greater.

131. All showerheads, lavatory faucets and sink faucets shall be certified by the

manufacturer as complying with the applicable California appliance efficiency standards.

132. Lamps used in luminaries for general lighting in kitchens and bathrooms shall have an efficiency of not less than 25 lumens per watt (i.e. fluorescent). Luminaries which are the only lighting in a kitchen or bathroom will be considered general lighting. Lighting to be used only for specific visual tasks or decorative effect are exempt from this requirement. Such exempt lighting includes luminaries that are meant to light only a

specific task area such as a kitchen counter or sink, a dinning table, or a bathroom

FINISHES, CABINETRY, RAILINGS, ETC.

133. Contractor shall submit actual material samples for Design Professional's review of

all finish materials, paint and stains prior to ordering materials.

134. All window door and other opening corners shall be reinforced with expanded metal lath nailed diagonally across corner.

135. Stucco surfaces shall be straight and plumb with no wobble, wave or irregularities over the course of the wall plane.

136. Confirm stucco finish and color with Design Professional prior to finalizing estimate. 137. Unless noted otherwise, all plaster and drywall materials and installation shall be according to current U.S. Gypsum Handbook specifications and applicable code

wet areas. 138. Interior gypsum board shall be 5/8" thickness in all areas taped and finished smooth for wall paint. All gypsum board shall be installed using flathead drywall screws only.

requirements. Use waterproof drywall in all bathrooms, kitchens, janitor's closets, and

139. The use of gypsum board for tiled walls or ceilings in showers and other wet areas

140. The use of Wonder Board or Durock will be acceptable for backing only with Architect's written approval, and only if a waterproof membrane is installed behind board over studs. Use full sheets wherever possible to eliminate joints. Where joints are unavoidable, hold boards apart 1/8" and use 2" fiberglass tape to reinforce joints. Apply

141. Contractor shall be responsible for ordering all ceramic tile and other finish materials with enough lead time so that ordered material can be confirmed as acceptable, and any unacceptable material replaced, without delaying construction.

min. 1/2" thick mortar bed plus 1/8" bonding over backing surfaces.

142. Contractor shall include in construction contract installation of all finish hardware, including but not limited to cabinet pulls, knobs, door stops, towel bars, toilet paper holders and other miscellaneous items, regardless of whether those items are supplied by Owner or an allowance.

See PAINTING section for painting notes.

Countersink all screw heads.

PAINTING

143. Contractor shall include within the scope of his work preparation, priming, and finish painting of exterior walls affected by additions and remodeling and interior walls and ceilings, including doors, sash and trim work. Confirm any exposed beams, decking, cabinets or wood to be stained and/or clear sealed prior to ordering. Confirm paint, stain and finish selections and specifications with Architect, submit color samples and apply sample colors on actual surfaces to be painted for Design Professional's review prior to ordering material.

144. Before beginning, inspect all work to be painted and report to Design professional any conditions which will prevent a quality finish from being accomplished. Commencing of

work by the Contractor indicates his acceptance of the surfaces. UTILITIES, PLUMBING, DRAINAGE, ETC.

145. Contractor shall consult representatives of local utilities, including gas, water, power, sewer, telephone and TV where applicable, concerning locations and availability of utilities prior to commencing work or connecting utilities, and shall be responsible for any damage to existing utility lines. Locations and elevations of all exiting and new mains and meters shall be confirmed on the record drawings.

146. Plastic drain, waste or vent pipe, where permitted, shall be A.B.S. as approved per ASTM Standard D2261-73. Waste lines inside the structure shall be fully wrapped with insulation to reduce sound through walls and ceilings.

147. Flush out new and old water supply lines prior to connecting fixtures.

148. Contractor shall maintain adequate and constant water supply to all existing plumbing fixtures, hose bibs and sprinkler systems desired by Owner during

149. General Contractor shall confirm arrangements for any temporary power and

telephone service with Owner prior to finalizing contract. See Electrical Plans for

electrical work.

150. All plumbing lines in ceiling & walls to be cast iron. 151. Showers are to be provided with pressure balancing valves.

152. Contractor shall verify that copper water supply lines are sized to provide acceptable pressure and volume. Contractor shall connect waste lines to sewer and provide clean-outs and ventilation as required by the uniform plumbing code. All copper used shall be type k.

153. Access panel (12"x12") or utility space to be provided for all plumbing fixtures having slip joint connections.

154. Seismic gas shut off valve to be installed on each fuel gas line for new buildings. For permit information contact the plumbing division at (213) 485-2311

155. Gas piping shall not be installed in or on the ground under any building or structure.

156. Low consumption water closets shall be installed.

157. Contractor shall provide low flush toilets (1.6 gallons/flush) and low flow

showerheads. 158. Water heater must be strapped to wall, with approved strapping per UPC 510.5,

MECHANICAL, SHEET METAL NOTES

separate piping from structure.

fixtures prior to finalizing contract.

to ordering.

building and instruction on how to use them efficiently.

along with installer's name, address and telephone number.

strap shall be ICBO approved.

159. All sheet metal work shall be in accordance with SMANA Manual standards and applicable codes. 160. The Contractor shall provide the Owner a list of the heating, cooling, ventilating, water heater and lighting systems and conservation or solar devices installed in the

161. Furnish complete maintenance information. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. Label shall be affixed to all equipment requiring preventive maintenance, and a copy of the maintenance instruction shall be provided for the Owner's use. Contractor to provide Owner complete maintenance instructions, i.e., belt replacement, oil and lubricating

162. Provide submittal shop drawings and manufacturer's specifications for Design Professional's review, if equipment deviates from that specified.

163. Contractors to thoroughly clean all portions of their work, remove all debris and leave installation in perfect condition, ready for use.

164. EER rating and heating combustion efficiency rating of each HVAC unit shall comply with state requirements.

sound transmission to usable areas. Use ribbed neoprene pads, sound isolators, spring hangers and/or equivalent vibration reducing devices to isolate equipment from structure. 166. Condenser refrigerant piping in the structure shall be installed so as not to touch

structure, framing or wall surfaces. Install foam rubber cushions at penetrations to

165. All furnaces, condensers, fans or other noise-producing equipment to be installed

inside or on the building structure shall be mounted and insulated so as to minimize

167. Insulation lining must be approved by the building department and shall meet or exceed NFPA standards.

168. Controls shall be adjustable to provide a temperature range of up to 10 degrees between full heating and cooling. 169. All bathroom and exhaust fans, range vents and built-in ovens shall be vented to the

outside. Confirm all vent locations with Design Professional prior to ducting.

See ENERGY Section for additional information regarding thermostats, insulation, etc. **ELECTRICAL NOTES** 

underground. Any exceptions are to be reviewed and confirmed in writing to the Design Professional. 171. Contractor shall confirm all electrical loads and requirements for existing and new

appliances, heating and air conditioning systems and other electrical equipment and

170. Unless noted otherwise, all conduits shall be concealed in structure, attic spaces or

172. Contractor to verify that any existing service, meter, main, panel, conduits and wiring to remain are adequate. Advise Owner prior to finalizing contract of any changes

173. Contractor to verify clearances for all recessed fixtures and advise Design Professional of any conflicts prior to ordering.

174. Confirm fixture trim selection, diffuser and finish options with Design Professional prior

175. All recessed fixture trims shall be gasketed and tight fitting to prevent light leaks. 176. All wiring shall be copper, in flexible or rigid conduit as specified by code. No "Romex" or other non-conduited wiring permitted when permitted by code.

177. Confirm material and color of all switches, outlets and cover plates with Design Professional prior to ordering.

devices with Owner prior to ordering and wiring.

178. Contractor shall provide Title 24, Form 5, if required.

179. Light controls shall be 3'-10" to center above finished floor, unless noted otherwise. 180. All wall duplex receptacles, telephone, TV, and other outlets shall be mounted 15"

to top of box above finished floor, except at counters and where otherwise noted. 181. Ground fault interrupter required for all exterior outlets, bathrooms, temporary panels and other wet areas required by code.

182. Every dwelling unit shall be provided with smoke detectors conforming to U.B.C. standard 43-6. Smoke detectors shall be located in every room used for sleeping purposed and in corridors or areas giving access to such rooms. Detectors shall be mounted on the ceiling or on a wall within twelve (12) inches of the ceiling when located in a room and in the ceiling or wall at a point centrally located in the corridor or area giving access to such rooms. In an efficiency dwelling unit, the detector shall be located on the ceiling of the main room. Where sleeping rooms are on upper level, a detector shall be placed at the center of the ceiling directly above the stairway. All detectors shall be located in accordance with approved manufacturer's instructions. When actuated, the detector shall provide an alarm in the dwelling unit. Confirm type and locations of all

183. Contractor to verify fire alarm system, computer system, security system, lighting control system, stereo wiring, intercom system, low voltage landscape lighting, and other special systems or electrical requirements with Design Professional and Owner prior to finalizing contract.

184. The indoor storage of combustible materials shall be regulated in relation to

arrangement, location, size of areas, height, separations and housekeeping.

185. Provide a portable fire extinguisher with a rating of not less than 2-a or 2-b 10bc within 75 feet of travel distance to all portions of the building.

186. Location of fire extinguisher to be as required fire/building inspector.

187. In each dwelling unit & guest room provide a smoke detector mounted on the ceiling or wall of each sleeping room at a point centrally located on the wall or ceiling of the hallway or room giving access to the sleeping room at the top of the stairway with sleeping rooms at the upper level.

188. Smoke detectors hardwired & interconnected per UBC.

189. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of hook-up. The construction shall be not within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

**EXITING** 

190. Exit door shall be openable from the inside without use of a key, special knowledge, or effort. Flush or surface bolts are prohibited.

191. Exit doorways shall not be less than 36" in width nor less than 6'-8" in height. Projections including panic hardware if required shall not reduce the opening width to less than 32" clear.

STORM WATER - BEST MANAGEMENT PRACTICES

This project shall implement the Best Management Practices identified on attachment "A" entitled "Minimum Requirements for Construction Projects/Certification Statement".

Note: A Wet Weather Erosion Control Plan utilizing sediment and erosion control BMP's, for projects that leave disturbed soil during the rainy season (October 1 to April 15) is required. The WWECP must be prepared, for projects that have already broken ground, not less than 30 days prior to the beginning of each rainy season during which soil will be disturbed, and implemented throughout the entire rainy season. A copy of the WWECP sall be kept on the project site at all times beginning 30 days prior to the start of the rainy season through the end of the rainy season. For projects that will begin construction during the rainy season, the WWECP must be available 30 days before construction commences. The WWECP must be submitted to the Bureau of Engineering, Public Works for review and approval.

# PLAN CHECK CORRECTION NOTES

All the material contained within these documents are property to O+ L BUILDING PROJECTS LLC and Daryl Olesinski and are furnished in confidence for the purpose of evaluation, bidding and construction of the building described. All other uses are prohibited and any reuse or release required written permission by O+L BUILDING PROJECTS LLC and Daryl Olesinski. Any discrepancies found between the existing and described

BUILDING PROJECTS LLC

11.19.2020: Bid Documents 12.10.2019: La Jolla Permit Review Committee Meeting 05.20.2019: Issue to Consultants 05.10.2019: Design Development 1 02.11.2019: Preliminary Design Presentation 02.11.2019: Original Drawing Preparation Date

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 GENERAL NOTES NO SCALE

Sheet No. 2 / 59

LA JOLLA RESIDENCE # 1806

information provided shall be reported to

O+ L BUILDING PROJECTS LLC.

 $\odot$  O+ L building projects LLC 2019

4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

PROJECT LOG:

www.icc-es.org | (800) 423-6587 | (562) 699-0543 A Subsidiary of the International Code Council®

Most Widely Accepted and Trust

This report is subject to renewal November 2019.

<sup>1</sup>/<sub>2</sub>-inch [12.7 mm] <sup>5</sup>/<sub>6</sub>-inch [15.9 mm] or <sup>3</sup>/<sub>4</sub>-inch

top rail and/or handrail [various profiles are made of

the top rails are required to have higher yield strength

than specified in 304 or 316 which are verified through mi

certifications for the stainless steel sheets), brass

6063-T61 to construct building guards. A complete GRS

profile and material: glass thickness with the maximum and

specific dry glazing method); base shoe; and anchorage to

the supporting structure. When a handrail is used, the

handrail profile, mounting bracket, and mounting bracket

spacing must be specified. A complete installation require

installed with non-structural cladding of any compatible

material bonded to it with adhesive. Figure 1 shows the typical guard elevation with the components. The complete

the building official for approval.

various top rails are detailed in Section 4.2.4.

RS specifications must be noted on plans submitted to

The profiles, section properties and strengths of the

various base shoes are detailed in Section 4.2.3 of this

report are inherently corrosion-resistant. The material type

Installation of the GRS glass balustrade guards must

with full engagement of the nut. When installation is to

weld blocks, drainage blocks or solid shims more tha

2 inches (51 mm) long by the full base shoe width at each

4.2.3.1.1 Surface-mounted to Steel: The allowable wind

loads must be as shown in Table 2a. Guard height (Hg) is

from bottom of base shoe to top of guard. An appropriate

4.2.3.1.2 Fascia-mounted to Steel: The allowable wind

loads must be as shown in Table 2b (heights from top of

4.2.3.2 Concrete Substrate: The base shoe is attached

attachment is made using either a 3/8-inch-diameter-by

accordance with ESR-3027, or a Hilti HSL-3 M8 x 3<sup>3</sup>/<sub>4</sub>-inch

(95 mm) anchor in accordance with ESR-1545. Minimum

spacing between anchors is 6 inches (152 mm). For

locations may be moved to avoid reinforcement, provided

the same number of anchors is provided and no two

anchors are closer than 6 inches (152 mm) center-to-

**4.2.3.2.1 Concrete Strength:** The allowable wind load (W¹) for concrete strengths between 3000 psi (20.6 MPa)

adjustment factor in the following equation:

where W is allowable wind load from the tables

f'c = specified concrete compressive strength, in psi

4.2.3.2.2 Sand-lightweight Concrete: When installation

from the tables in this report must be reduced by a factor of

4.2.3.2.3 Adjusted Wind Load: For a 42-inch (1067 mm)

guard height, the allowable wind load from the tables in

order for the guard anchorage to be able to support the

50 plf (0.73 kN/m) live load. When typical anchor spacing

is 12 inches (305 mm) on center, additional anchors may

be added to the base shoe (for 10-foot (304 mm) base

shoes or shorter lengths) as follows to provide a 26 psf

(1.25 kN/m<sup>2</sup>) allowable wind load and a 50 plf (0.73 kN/m)

Added anchors must be distributed to divide the base

4.2.3.2.4 Surface-mounted: When edge distance

equal to or greater than 3.75 inches (95 mm) (concrete

edge parallel to the anchor and to the centerline of the

anchor), the allowable wind loads must be as provided in

• 26.0 psf ≥ W' > 23.6 psf, add one anchor

23.6 psf ≥ W'> 21.7 psf, add two anchors

psf ≥ W' > 20.0 psf, add three anchors

shoe into approximately equal segments.

For **SI**: 1 psf =  $0.0479 \text{ kN/m}^2$ 

this report must be greater than 26 psf (1.25 kN/m<sup>2</sup>) i

 $W' = c_w * W$ 

top rail live load:

screws installed into tapped holes. When installation is in load must be as provided in Table 2d. Linear interpolation

and 5,000 psi (34.4 MPa) may be adjusted by applying the

5 inches and minimum compression strength of 3,000 ps

top rail or grab rail must be used.

Page 2 of 18

submitted to the building official, when requested.

4.0 DESIGN AND INSTALLATION

either a top rail or a handrail. The base shoe may be

mplying with C26000, or aluminum complying wit

mum light widths; glazing system (either wet or a

stainless steel complying with 304 or 316 (in some cases,

9.1 mm], depending on use) which support the selected

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ESR-3269

REPORT HOLDER: C.R. LAURENCE COMPANY, INC. **EVALUATION SUBJECT:** GRS™ GLASS BALUSTRADE GUARD SYSTEM FOR

**ICC-ES Evaluation Report** 

MONOLITHIC TEMPERED GLASS APPLICATIONS 1.0 EVALUATION SCOPE Compliance with the following codes: ■ 2015, 2012, 2009 and 2006 International Building Code® (IBC) ■ 2015, 2012, 2009 and 2006 International Residential ■ 2013 Abu Dhabi International Building Code (ADIBC)<sup>†</sup>

 $^{\dagger}\text{The ADIBC}$  is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC. various handrails are detailed in Section 4.2.7. Properties evaluated: Structural Durability 2.0 USES The GRS Glass Rail System structural glass balustrades described in this report are intended for interior and The materials incorporated in the system described in this exterior weather-exposed applications, and are suitable for use in most natural environments. The GRS system specified must be appropriate for the environment of the

may be used for residential, commercial and industrial applications for guards along balconies, porches, mezzanines, stairs and similar locations except where vehicle impact resistance is required. The system is compatible with all construction types. 3.0 DESCRIPTION 3.1 General: The GRS Glass Rail System utilizes an extruded aluminum report and 2015 IBC Sections 1015 and 1607.8.1, 201 base shoe, complying with 6063-T52, to anchor and IBC Sections 1013 and 1607.8.1, 2009 or 2006 support single fully tempered structural glass balustrades Sections 1013 and 1607.7.1, IBC Section 2407, or IRC

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ESR-3269 | Most Widely Accepted and Trusted Section R312, whichever is applicable. Handrails/grab rails a through-bolt condition, the cap screw length must be nust comply with 2015 IBC Sections 1011.11 and 1014, 2012 IBC Sections 1012 and 1009.15, 2009 IBC Sections 1012 and 1009.12, 2006 IBC Sections 1012 and 1009.10 or 2015 or 2012 IRC Section R311.7.8 and R311.8.3, 2009 RC Section R311.7.7 and R311.8.3, or 2006 IRC Section R3115.6 and R311.6.3, whichever is applicable. The "GRS Glass Railing Dry Glaze Taper-Loc System for available at the jobsite at all times during installation. In manufacturer's instructions, this report governs.

4.2.1 Loading: The applicable project-specific loads must be identified. Minimum required loads are one of the • 50 plf (0.73 kN/m) on the top rail in any direction 200 lbs (0.89 kN) on the top rail in any direction, and 50 lbs (0.22 kN) on one square foot at any location perpendicular to the glass balustrade

. The wind load on the full area of glass, in psf Wind load must be determined by a qualified individual based on the project-specific conditions, taking into account the balustrade location on the structure. For stallations in compliance with the IRC Section R312, the 50 plf (0.73 kN/m) top rail load is not applicable. 4.2.2.1 General: Sandblasted glass must have a 3/4-inch

nominal thickness, with the allowable loads based on a 1/2inch (12.7 mm) thickness, as noted in the tables of this Minimum spacing between glass panels is 1/4 inch (6.4 mm) for  $^{1}/_{2}$ -inch- and  $^{5}/_{8}$ -inch-thick (12.7 and 15.9 mm) glass panels, and  $^{1}/_{2}$  inch (12.7 mm) for  $^{3}/_{4}$ -inchthick (19.1 mm) glass panels.

Holes and notches must not be located within the first third of the balustrade height from the base shoe. Holes and notches must conform to ASTM C1048. 4.2.2.2 Live Loads: The allowable live load glass panel stress is equal to the modulus of rupture divided by a 4.2.2.3 Wind Loads: Table 1 provides the allowable wind loads. This is based on an allowable wind load stress 4.2.3 Base Shoes: The appropriate base shoe must be selected based on glass thickness, installation method and loading, Figure 2

shows the base shoe options. Tables 2a through 2g provide the allowable wind loads for the base shoes, glass ickness and anchorages. The base shoe must be installed in accordance with the manufacturer's published nstallation instructions and this report. The end anchor must be installed no less than  $1^{1}/_{2}$  inches nor more than 2 inches from the end of the base shoes to the centerline of the anchor. A minimum of two anchors are required for 4.2.3.1 Steel Substrate: The base shoe is attached to a structural steel member with a minimum thickness of F-837 Alloy Group 1 (condition AF with a minimum tensile shoe. For edge distances less than 3.75 inches (95 mm strength of 67.5 ksi), stainless steel, socket head cap required for the full anchor strength, the allowable win

between Tables 2c and 2d is permitted for edge distances from 1.75 inches to 3.75 inches. 4.2.3.2.4.1 When installation is to drainage blocks or solid

anchor, the allowable wind loads must be as provided in 4.2.3.2.5 Fascia-mounted: When fascia-mounted to a slab edge, beam, wall or similar item, the minimum concrete thickness must be 6 inches (152 mm). The top and bottom of the base shoe must not extend past the concrete edge. The allowable wind load must be as etermined using Table 2f, where guard height is total height above the top of the base shoe. Applicable adjustment factors from Sections 4.2.3.2.1 and 4.2.3.2. must be applied. Minimum wind loads must be verified in 4.2.3.2.5.1 Fascia-mounted over Drainage Blocks: When installation is with aluminum drainage blocks anchor, the allowable wind load must be reduced by multiplying by 0.95 as shown in the following equation:

content under 19 percent at the time of fabrication and be a species and grade with specific gravity G ≥ 0.49. For exterior locations all base shoes, fasteners must be so that the base shoe is in tight contact with the supporting 4.2.3.3.1 Surface-mounted: All base shoes are similar and interchangeable. 4.2.3.3.1.1 Wet service (Moisture content of wood may exceed 19% at any extended period of time): Direct surface mounting of the base shoes to wood in wet

The profiles section properties and strengths of the attached to steel or aluminum brackets or continuous angles which are directly attached to the wood structure. The profiles, section properties and strengths of the Refer to Figure 3 for the aluminum bracket. Refer to Figure 4 for the steel bracket. The allowable wind loads The glass must be Kind FT fully tempered glas using the steel or aluminum brackets are: conforming to the requirements of ANSI Z97.1-14. ASTM 36-inch quard height, W = 46.7 psf (2.24 kN/m<sup>2</sup>) 42-inch guard height, W = 34.3 psf (1.64 kN/m<sup>2</sup>) must have an average Modulus of Rupture  $F_r \ge 24,000 \text{ ps}$ Glass type, condition, class, form, quality and finish as The continuous angles must be L5x5x<sup>5</sup>/<sub>16</sub> inch and defined in ASTM C1036 must meet these standards and comply with ASTM A36 with a G90 galvanization or 6063

> The base shoe must be connected to the steel angle with  $l_2$  inch (12.7 mm) diameter by  $l_4$  inch (19.1 mm) long ASTM F837 Alloy Group 1 (condition AF with a minimum tensile strength of 67.5 ksi) stainless steel socket head cap screws into tapped holes spaced 12 inches o.c. The attachment of the continuous angle to the wood substrate must be with minimum No. 14x3-inch (76 mm) stainless steel wood screws spaced 3 inches on center Allowable wind load using the continuous angles is:

42-inch guard height, W = 68.8 psf (3.289 kN/m<sup>2</sup>) 4.2.3.3.1.2 Dry service (Moisture content of wood ≤ 19% at all times): Dry service conditions include interior and exterior 42 inches (1067 mm) must be as shown in Table 4. Posts locations where the wood is adequately protected so that the moisture content remains at or below 19% at all times.

may either match glass thickness or fit tightly into the base shoe.

**4.2.5.1 Description:** This is a dry glazing system where

Loc® Shoe Setting Plate (an L-shaped piece on the back

side) and the Taper-Loc Shim Plates (front side), as illustrated in Figure 8. The glass is locked in place by the

compressive forces created by the Taper-Loc® shim plates

being compressed together by the installation tool. Use of

the calibrated installation tool assures that the proper compressive forces are developed. The Taper-Loc®

system is compatible with all base shoes except for the

**4.2.5.2 Use:** The appropriate Taper-Loc® set must be

installed in accordance to the manufacturer's printed

**4.2.6 Wet Glazing:** Glass may be wet glazed into any of

the base shoes using a pourable grout that is compatible

4.2.6.1 Installation: Minimum grout compressive strength

mixed, placed and cured in accordance with the grout

e roll-in rubber glazing channel in the base shoe.

nanufacturer's instructions. Wet glazing grout must be

continuous in the base shoe, filling all voids, and extend to

4.2.7.1 Use: Handrails are required along ramps and

stairs in accordance with 2015 IBC Sections 1011.11 and

1012.8, 2012 IBC Sections 1009.15 and 1010.9, 2009 IBC

Sections 1009.12 and 1010.8, 2006 IBC Sections 1009.10

and 1010.8, 2015 and 2012 IRC Sections R311.7.8 and

2006 IRC Sections R311.5.6 and R311.6.3, as applicable

Also, the handrail must comply with the applicable code

4.2.7.2 Brackets: The handrails may use any of the

brackets or combination of brackets shown in this report

C.R. Laurence brackets covered by this report are HR2S

HR2D, HR3E, HR2F, HR15G, and HR2J (see Figure 11).

4.2.7.3 Handrail: The handrails may use any of the rails

1<sup>1</sup>/<sub>4</sub>-inch Schedule 40 pipe - steel, stainless steel or

• 11/2-inch Schedule 40 pipe - steel, stainless steel or

 $\bullet$  1 $^{1}$ / $_{2}$ -inch OD by  $^{1}$ / $_{8}$ -inch tube - stainless steel or

4.2.7.4 Installation: Handrails may be installed to glas

brackets shown in this report (see Figure 11). T

manufacturer's instructions. The glass holes must comply

4.2.7.5 Support: The handrail must be installed so as to

remain in place in the event of the failure of any one glass

light. This requires the use of a minimum of three glass lights or a combination of other handrail supports and

glass lights totaling three, minimum, similar to the toprail

1<sup>1</sup>/<sub>2</sub>-inch OD by 0.05-inch tube - stainless steel

2-inch OD by 0.05-inch tube - stainless steel

sections noted in Section 4.1 of this report.

Taper-Loc® sets must be as noted in Figure 8.

instructions using the calibrated installation tool. Figure 8

the glass is clamped inside the base shoe by the Taper-

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4.2.5 Taper-Loc® X Dry Glazed System:

B5L, which is too shallow for the tapers.

with aluminum and glass (see Figure 9).

4.2.7 Handrails:

Base shoes are surface mounted directly to wood with a specific gravity G ≥ 0.49 and a compressive strength erpendicular to the grain ≥ 625 psi (4.1 MPa). shims, 2 inches long by the full base shoe width at each

The base shoe must be anchored with  $^3/_{e}$ -inch (9.5 mm) diameter by 5-inch (127 mm) long lag screws. The B5L base shoe must not be used for surface mounting to wood when guard height exceeds 24 inches

Lag screw length must be increased as needed to obtain a minimum of 3<sup>1</sup>/<sub>2</sub>" embedment into the solid wood when 4.2.3.3.1.2.1 One- and Two-family Dwellings and IRC Applications [(200 pounds (0.89 kN) Top Rail Live Load must be installed at 12 inches (305 mm) on center or less. For a 36-inch (914 mm) guard height, the minimum number of anchors is four; and for a 42-inch (1067 mm 2 inches (51 mm) wide by 4 inches (102 mm) deep at each guard height, the minimum number of anchors is five. 4.2.3.3.1.2.2 Other Locations [(50 plf (0.73 kN/m) Top Rail Live Load): When installed in applications where the 50 plf (0.73 kN/m) live load is applicable in accordance with 2015 and 2012 IBC Section 1607.8.1 or 2009 and 4.2.3.3 Wood Substrate: Wood must have a moisture 2006 IBC Section 1607.7.1, the anchors must be installe at 6 inches (152 mm) on center or less. The minimum number of anchors in any guard segment is five. 4.2.3.3.2 Fascia-mounted: The base shoes must be attached with 1/2-inch-by-4-inch (12.7 mm by 102 mm) lag

The top of the base shoe must be flush with or below the below the bottom of the base shoe. The allowable wind Linear interpolation for other heights or anchor spacing is service locations is prohibited. The base shoe must be 4.2.4 Top Rails: A top rail is required for a codecompliant guard installation, except as noted in Figure 1 The term "cap rail" denotes the same thing as "top rail" and the two may be used interchangeably. The top rail is installed in accordance with the details provided in the manufacturer's installation details referenced in Section 4.2.4.1 Support: The top rail must be installed so as to remain in place in the event of the failure of any one glass

crews installed directly to the structural wood membe

light. This requires the use of a minimum of three glass lights or a combination of other top rail supports and glass hts totaling three, minimum. Figure 5 illustrates the top ail support conditions. The top rail end condition (Figure 6) must be checked to verify that the rail will remain in place in the event of failure of the end glass light. End support must be designed when required for a code compliant installation. The stabilizing end cap shown in Figure 14 is an acceptable method of end support. 4.2.4.2 Top Rail Profiles: The top rail profiles are shown in Figure 7. The maximum middle and end spans of the top rail profiles supported by glass only are given in Table 4.2.4.3 Stainless Steel End Post: Where the end glass panel width exceeds the maximum end top rail span in Table 3, the top rail must be supported at the end by a post or the wall. A stainless steel post inserted in the base shoe and top rail may be used, as shown in Figure 6. The

post minimum width for a maximum glass height o

support illustrated in Figure 5. The handrail end condition

in the event of failure of the end glass light. End support

4.2.7.6 Spacing: The bracket spacing must be within the

4.2.7.7 Attachment: The handrail, when supported by

limits shown in Table 5, with dimensions as defined in

the glass balustrade, must be attached to one of the

brackets noted in this report in accordance with the detail

shown in Figure 12, and to the glass as shown in Figure

13 Alternative attachment must be designed to safe

1607.8.1 or 2009 and 2006 IBC Section 1607.7.

a wall or perpendicular post face.

subject to vehicle impacts.

report, this report governs.

5.0 CONDITIONS OF USE

whichever is applicable. The stabilizing end cap shown in

The C.R. Laurence Glass Rail System described in this

specified in those codes listed in Section 1.0 of this report

5.1 The product is limited to installation where it is not

**5.2** Installation must comply with this report, the

5.3 Under the 2015 IBC the single fully tempered glass is

manufacturer's published installation instructions, and

Sections of the IBC or Sections of the IRC, identifie

in Section 4.1 of this report, whichever is applicable

limited to uses in handrails and guardrails where there

surface is permanently protected from the risk of

falling glass, as noted in the exception in Section

constructed to support the loads imposed by the GRS

anchorage to the frame must be as specified in this

report or designed to provide the required strength fo

the specified balustrade height and imposed loads

Drawings and design details for the GRS system

building official for approval. The drawings and details

where required by the statutes of the jurisdiction in

the GRS guards must not exceed the values noted in

this report. For glass heights other than those noted in

 $W = (M_{amax}/2.5)$ 

 $M_{gmax}/2.5 = 352$  ft-lb for  $^{1}/_{2}$ -inch fully tempered glass

this report, the allowable wind loads must not exceed

(0.55\*H<sup>2</sup>)

5.5 When use is in exterior locations, the wind loads on

the value calculated by the following equation

H = glass height above supports, in feet

566.4 ft-lb for <sup>5</sup>/<sub>8</sub>-inch fully tempered glass

827.2 ft-lb for <sup>3</sup>/<sub>4</sub>-inch fully tempered glass

For SI: 1 ft - 1 lbf = 1.356 N-m

which the project is to be constructed.

using the information noted in this report, must be

report complies with, or is a suitable alternative to what is

used for the specified base shoe and glass thickness, and support the loads as given in 2015 or 2012 IBC Section

shows the applicable dimensions. The spacing of the Figure 14 may be used to attach the handrail or top rail to

must exceed 1,500 psi (10.3 Mpa) at 24 hours, and subject to the following conditions:

nust be checked to verify that the rail will remain in place

Page 4 of 18

ESR-3269 | Most Widely Accepted and Trusted 5.6 When installed where exposed to moisture, the base 6.0 EVIDENCE SUBMITTED shoe anchors must be of a material intended for the

6.1 Data in accordance with the ICC-ES Acceptance use and identified by the manufacturer as acceptable Criteria for Glass Railing and Balustrade Systems for exterior applications. When installed in a corrosive (AC439) dated February 2014 (editorially revised July environment, such as one where there is exposure to salt water or pool water, the anchors must be 316 **5.7** All metals in contact with aluminum must be either an **7.0 IDENTIFICATION** alloy approved for direct aluminum contact, or isolated

7.1 The CRL GRS™ and Taper-Loc® guard system from the aluminum by an approved coating. 5.8 The GRS systems described in this report must not be used in Wind-Borne Debris Regions.

6.2 Manufacturer's published installation instructions components described in this report are identified by a stamp on the packaging bearing the manufacturer's abbreviated as CRL); product description and/or part 5.9 A proper top rail or handrail must be installed in number; and the ICC-ES evaluation report numbe this report when guards are required by 2015 IBC

Section 1015; 2012, 2009 and 2006 IBC Section 7.2 The report holder's contact information is the C.R. LAURENCE COMPANY, INC 5.10 All glass must be fully tempered, fabricated, and inspected in accordance with ASTM C1048, and the ARCHITECTURAL RAILING DIVISION LOS ANGELES, CALIFORNIA 90058 compliance with ASTM C1058 for fully tempered glass. Glass must be procured directly from a qualified glass fabricator and is not produced or www.crlaurence.com www.crl-arch.com **5.11** The CRL GRS <sup>™</sup> and Taper-Loc  $^{®}$  components, except

Page 6 of 18

Max. Height

Live Load<sup>2</sup> 50 plf

Max. Height

Max. Height

Live Load<sup>2</sup>

Max. Height

ESR-3269 | Most Widely Accepted and Trusted

5G B5S B5T 8B

Total Guard Height (Hg)

Fotal Guard Height (Hg)

Total Guard Height (Hg)

G, B5S, B5T, 8B

5G, B5S, B5T, 8B

B5L (3.047-inches min edge dist)

or SI: 1 inch = 25.4 mm; 1 psf = 0.04

35G. B5S. B5T. 8B

TABLE 1—GLASS PANELS STRENGTH GLASS

GLASS PANEL THICKNESS (in.)	MINIMUM GLASS PANEL THICKNESS (in.)	MINIMUM GLASS PANEL WIDTH <sup>2</sup> (in,)	GUARD HEIGHT (Hg) <sup>1</sup> , (in.)	HEIGHT ABOVE TOP OF BASE SHOE (in.)	ALLOWABLE WIND PRESSURE (psf)	50 PLF MAXIMUM HEIGHT ABOVE TOP OF BASE SHOE (in.) BASED ON:		
(111.)			(111.)			STRESS	1" DEFLECTION	
1/2	0.469	2'-6"	36	32	71.1	52.75	40.08	
/2	0.409	2'-10.5"	42	38	52.2	32.73	40.08	
<sup>5</sup> / <sub>8</sub>	<sup>5</sup> / <sub>8</sub> 0.595	1'-7"	36	32	114.4	84.0	50.84	
78 0.595	0.595	1'-10"	42	38	84.1	04.0	50.64	
3,	0.740	1'-0"	36	32	167.1	124	64.44	
3/4 0.719	0.719	1'-3"	42	38	122.8	124	04.44	
r SI: 1 inch = 25.	4 mm; 1 foot = 305 r	nm; 1 psf = 0.0479	kN/m².	L			1	
ne allowable wind	d loads may be adjus	sted for other pane	I heights by:					
$W' = W_{42}*42^2$	H <sub>a</sub> <sup>2</sup>							

where  $H_a$  = total guard height measured from bottom of base shoe to top of top rail in inches.  $W_{42}$  = Allowable load at 42-inch guard height.

ESR-3269 | Most Widely Accepted and Trusted

inch cap screw to steel Base

8B, B5G, B5S, B5T

inch cap screw to stee Base Shoe

1013, or Section 312 of the IRC, as applicable.

for the glass, are supplied by C.R. Laurence Co., Inc.

supplied by C.R. Laurence Co., Inc.

<sup>2</sup>Minimum glass panel width is defined as the minimum width of glass required to support the 200 pound concentrated live load acting horizontall The minimum glass light width is 6 inches when top rail is continuous across a total glass width of 1.5 times the minimum width or attached to additional supports at rail ends. Where the top rail is continuous, multiple adjacent glass lights may be added together to provide the tota

TABLE 2A—SURFACE-MOUNTED SHOE

Surface mounted to steel with 1/2-inch cap screws @ 12 inches on center

Total guard height (Hg) from bottom of base shoe

Allowable wind load

49.8 psf 58.0 psf 60.9 psf

36-inch Height

Allowable wind load

- CRL TAPERLOC

Allowable wind load may be limited by glass strength. See Table 1 in this report.

CRL BASE SHOE

Allowable wind load

TABLE 2C—ANCHORAGE TO CONCRETE anchorage to concrete Surface Mounted:

nch diameter x 4-inch Hilti HUS-EZ (KH-EZ) in accordance with ESR-3027 or Hilti HSL-3 M8 x 3³/4-inch anchor in accordance with R-1545. fc = 3,000 psi³ (20.6 MPa)² embed depth = 2.5-inches (63.7 mm) effective depth Live Load<sup>5</sup> 50 plf Max. Height B5G, B5S, B5T, 8B 39.0 psf 45.6 psf 47.9 psf Base Shoe Max. Height B5G, B5S, B5T, 8B For SI: 1 inch = 25.4 mm: 1 psf m2. See footnotes at the end

TABLE 2D—ANCHORAGE TO CONCRETE Surface Mounted Base Shoes: Concrete anchors 2.35-inches edge distance<sup>1</sup> chor spacing to concrete 12-inches on-center Allowable wind load Allowable wind load Max. Height B5G, B5S, B5T, 8B <sup>a</sup>Does not meet 50 plf live load on top rail required by Section 1607.8.1 of the IBC. See Section 4.2. Anchor spacing to concrete 6-inches on-cent Base Shoe Allowable wind load Allowable wind load Max. Height 45.6 psf 53.3 psf 56.0 psf 61.9 psf B7S 2.35-inches edge distance For SI: 1 inch = 25.4 mm; 1 psf = 0.0479 kN/m <sup>1</sup>Linear interpolation between quard heights, anchor spacing and edge distances is permitte-Littlea interpotation between goard neights, and or spacing and edge distances is permitted. Adjustment for concrete strength other than f<sub>e</sub> = 3,000 psi, see section 4.2.3.2.1 of this report. Adjustment for sand light-weight concrete: W = 0.6°W Allowable wind load maybe limited by glass strength. See Table 1 in this report. Other loads listed in Section 4.2.1 must be considered.

TABLE 2E—SURFACE MOUNTED WITH DRAIN BLOCKS ON CONCRETE

Concrete anchors ≥ 3.75-inches edge distance

Anchor spacing to concrete 12-inches on-cent

Anchor spacing to concrete 6-inches on-center

Concrete anchors ≥ 2.35-inches edge distance

Anchor spacing to concrete 12-inches on-center

Concrete anchors ≥ 2.35-inches edge distance

TABLE 2F—FASCIA MOUNTED WITH DRAIN BLOCKS (CONCRETE SUBSTRATE)

Allowable wind load

Allowable wind load

52.3 psf 54.8 psf

Allowable wind load

Allowable wind load

36-inches Allowable wind load

37.0 psf 44.0 psf 50.5 psf

Allowable wind load

71.2 psf 74.6 psf

Allowable wind load

Allowable wind load

Adjustment for concrete strength other than  $f_c = 3,000$  psi. See Section 4.2.3.2.1

<sup>4</sup>Allowable wind load may be limited by glass strength. See Table 1 in this report.

Allowable wind load

Allowable wind load

TABLE 2G—FASCIA MOUNTED OVER DRAIN BLOCKS (WOOD SUBSTRATE Total Guard Height (Hg) Max. Height 5G, B5S, B5T, 8B Live Load<sup>5</sup> 50 plf Base Shoe Allowable wind load Allowable wind load Max. Height 5G, B5S, B5T, 8B or wet locations M<sub>c</sub>>1 Live Load<sup>5</sup> 50 plf Allowable wind load Max. Height 5G. B5S. B5T. 8B 29.4 psf 34.5 psf 34.5 psf L (3.047-inches min edge dist 34 in. 41 in. 41 in. Live Load⁵ 50 plf Allowable wind load Allowable wind load Base Shoe Max. Height 5G B5S B5T 8B For SI: 1 inch = 25.4 mm; 1 psf = 0.0479 kN The allowable wind loads may be adjusted for other light heights by equation 3: Where H<sub>G</sub> = glass height measured from top of base shoe to top of top rail in inches.

(Based on the top rail spanning over a minimum of three glass panels)

83

96

assed on the capacity of the top rail considering the worst case between a 50 plf uniform load and a 200 lb. concentrated load ne maximum middle glass panel widths must not be greater than the maximum middle top rail span.

When the top rail is attached to a wall or post, the maximum top rail end span may be increased to the same for the maximum middle

TABLE 4—PLATE POST SIZES

1.81

Based on the capacity of the plate post considering the worst case between a 50 plf uniform load and a 200 lb. concentrated load

ne maximum end glass panel must not be greater than the maximum end top rail span.

The maximum end span of the top rail next to the post must not be greater than that in Table 3.

ESR-3269 | Most Widely Accepted and Trusted

GR15 Stainless

GRS/GRSC15 Stainless

GR16 Stainless

GR19 Aluminum

GR20 Stainless

GR20 Brass

GR25 Stainless

GR25 Brass

GR25 Aluminum

GR30 Stainless

GR35 Stainless

GR35 Aluminum

GR40 Brass

GR257 Stainless

GR257 Brass

GR307 Stainless

GR307 Brass

CR307M Aluminum

GROV4 Aluminum

WCR25 Wood

WCR20 Wood

WCR30 Wood

GRL10 Stainless

or SI: 1 inch = 25.4 mm.

1,125

1.25

GRLC10 Stainless

GR30 Brass

GRS25 Stainless

GRS/GRSC20 Stainless

GR15 Brass

Page 8 of 18

Max. Height

Max. Height

Max. Height

\_\_50plf\_\_ Max\_Height

Live Load<sup>5</sup> 50 plf Max. Height

TABLE 5—BRACKET SPACING 6063-T6 AI 1<sup>1</sup>/<sub>4</sub>-inch Sched 40 1<sup>1</sup>/<sub>2</sub>-inch Sched 40 St or SS 1<sup>1</sup>/<sub>2</sub>-inch Sched 40 6063-T6 AI 1<sup>1</sup>/<sub>2</sub>-inch x <sup>1</sup>/<sub>8</sub>-inch Tube 1<sup>1</sup>/<sub>2</sub>-inch x 0.05-inch Tube 2-inch x 0.05-inch Tube <sup>1</sup>See Figure 10 for additional details. <sup>2</sup>St = A53 Steel, SS = 304 or 316 Stainless Steel

FIGURE 1—TYPICAL GLASS RAILING ELEVATION

Note: A top rail or handrail must be installed.

2 3/4"

**B7S SERIES BASE SHOE** 

FIGURE 4—STEEL BRACKET TO WOOD

When a handrail is required to be installed per the applicable code.

then the top rail is optional.

ESR-3269 | Most Widely Accepted and Trusted

21/2

B5G SERIES BASE SHOE B6S SERIES BASE SHOE

IGURE 3-ALUMINUM BRACKET TO WOO

Page 10 of 18

15

21

- 33 - - -

20

58

---69

37

64

60

21

36

24

24

B7 series

B5 series

B6 series

B7 series

· Ideal for both new and reroof applications Abrasion and puncture resistant to withstand foot traffic and hail

PRODUCT DATA: ROOFING MEMBRANE

One of many cool roofing solutions from Firestone Building Products

Now there's a one-step way to get the advantages of reflective cool roofing in a

when manufactured, provide a highly reflective surface for enhanced energy

Firestone UltraWhite nominal reflectivity rating

is 0.73, when tested in accordance with the Cool

it meets all requirements for compliance with

California's Title 24 regulations. Plus, UltraWhite

granules can help achieve points in the U.S.

Green Building Council's LEED®

Available in SBS and APP Cap Sheets

Formula allows application in cold weathe

rating system.

Features:

Outstanding reflectivity

Excellent durability

Page 12 of 18

Roof Rating Council (CRRC) program. That means

modified bitumen system—without the need for liquid coatings after the roof has

been installed. Firestone UltraWhite™ granules, applied to either APP or SBS capsheets

APP & SBS Capsheets

 Helps reduce heat-island effects • Title 24 Cool Roof option\* • Delays heat gain during peak hours, when energy costs are highest Reflectivity consistent with the Cool Roof Rating Council Permanent, Factory-applied UltraWhite granule surface • 20-year Red Shield™ and 30-year Red Shield™ Platinum · Saves labor costs over field-applied systems • Cleaner application without the use of coatings Exceeds ASTM standards for granule loss · Can be applied with hot asphalt, heat welding or cold

Firestone

Firestone Quality

From UltraWhite™ roofing that helps keep buildings cooler, to SunWave™ Daylighting System and the Firestone SkyScape™ Roof System that take sustainability to new heights, Firestone is making sure we put our environmental responsibility into action Styrene Butadiene Styrene (SBS) • SBS Glass • SBS Premium\* • APP 180 • APP 180 FR • SBS Premium FR\* • SBS Premium Torch SBS Glass FR Torch SBS FR Torch SBS Premium FR Torch
 APP 180 FR COOL

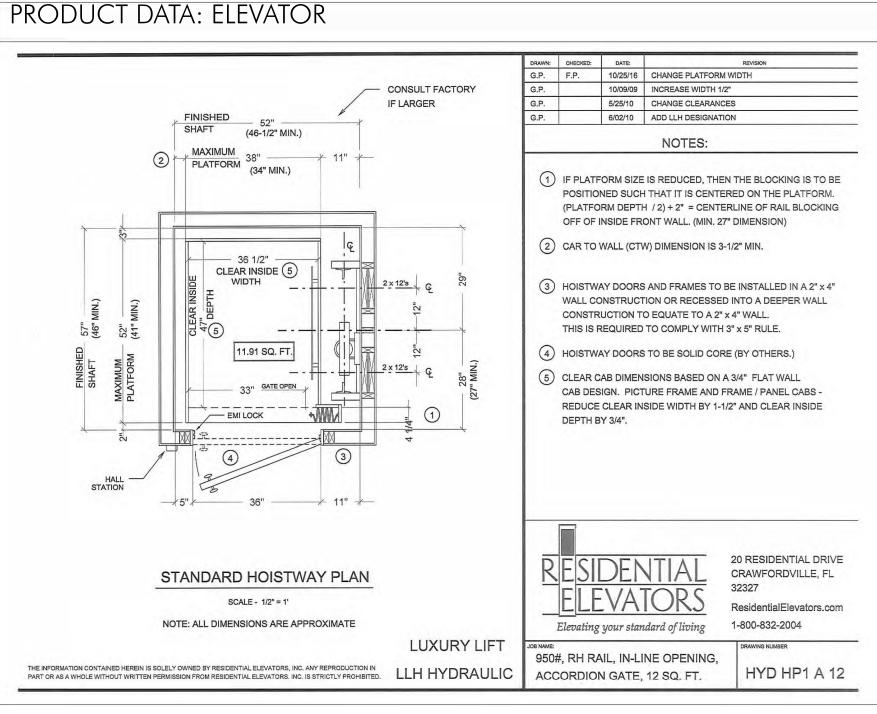
At Firestone Building Products, we're committed to brighter ideas for a greener planet

\*CCMC 13263-L Why cool roofs matter. Firestone Building Products modified bitumen membranes with UltraWhite granules provide excellent light reflectivity and heat emissivity, which means the roof stays cooler, with lower building energy consumption and reduced demand for electricity during peak periods. Reflective roofs using Firestone UltraWhite granules can also reduce the "heat island effect" that occurs when developed urban areas have significantly higher average temperatures than the rural areas surrounding them.

The competition is no competition. When compared to other manufacturers' roofing systems, Firestone UltraWhite APP and SBS products are clearly superior. They go on easily and smoothly, and

are guaranteed not to wrinkle since no metal or plastic film is added to the surface

Additional benefits include: No coatings to crack or peel Excellent hail resistance Good granule retention Good resistance to foot traffic International Offices:



## PRODUCT DATA: DIRECT VENT FIREPLACE

TABLE 2B-FASCIA-MOUNTED SHOE

Total Guard Height above top of base shoe

Allowable wind load

Allowable wind load

inted to steel with 1/2-inch cap screws @ 12 inches on cente

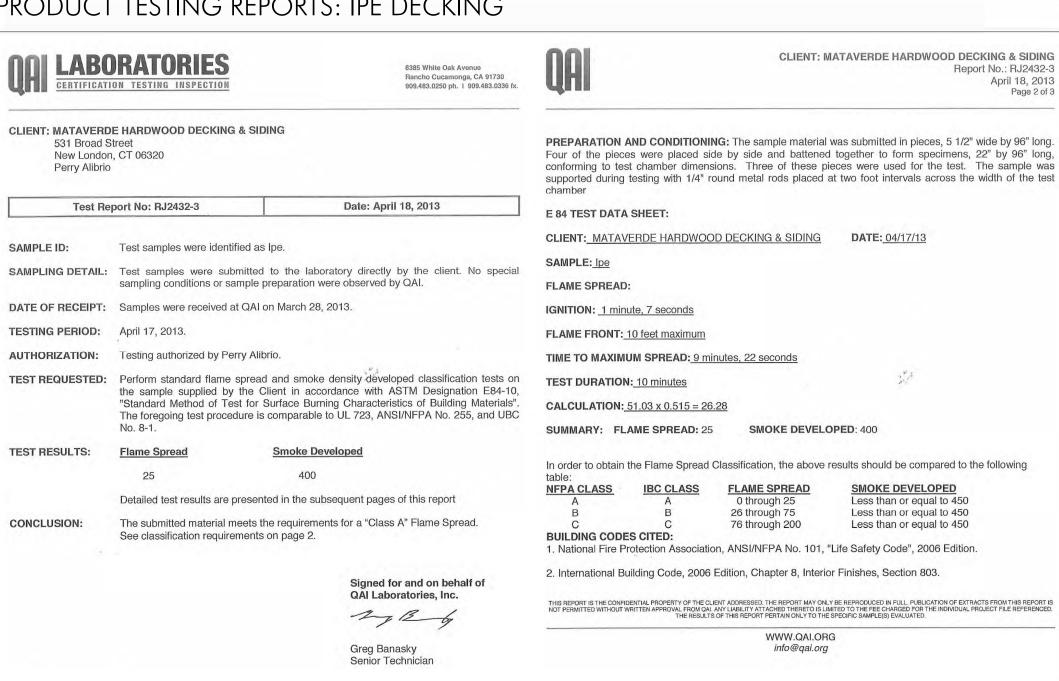
Allowable wind load

35.3 psf 51.2 psf 51.2 psf

Allowable wind load

	Duplicate S/N	538
Listed/Nom: VENTED GAS FIREPLACE HEATER / FOCUMENT CONTROL CON	AFTER FIRST SALE. REGENCY	NE PAS ENLEVER CETTE ÉTIQUETTE Serial No./ No de série 538
Minimum supply pressure 5.0" WC/C.E. (1.25 kPa) Pression d'a Manifold pressure - High Manifold pressure - Low 1.1" WC/C.E. (0.94 kPa) Pression de WC/C.E. (0.27 kPa) Pression de VC/C.E. (	alimentation minimale e sortie (manifold) - Haute e sortie (manifold) - Basse	m Clearances to Combustibles / aux par rapport aux matériaux combustibles in² Side Walls / Murs latéraux A 8" (203 mm) Ceiling / Plafond B 52" (1321 mm) Min. Mantel Height /Hteur Min Manteau C 9" (229 mm) with 12" mantel Max. Mantel Depth/Profondeur Max
Minimum supply pressure 11" WC/C.E. (2.73 kpa) Pression d'a Manifold pressure - High 10.5" WC/C.E. (2.62 kPa) Pression de Manifold pressure - Low 2.9" WC/C.E. (0.72 kPa) Pression de Orifice size #50 DMS Taille de l'or Maximum input 36,000 Btu/h (10.54 kW) Débit calorit	alimentation minimale s sortie (manifold) - Haute s sortie (manifold) - Basse	Manteau D 12" (305 mm) Alcove Width/Largeur Alcôve E 109.5" (2781 mm) Alcove Depth/Profondeur Alcôve F 35" (889 mm)
This appliance must be installed in accordance with local codes, if any; if none, follow his appliance must be installed in accordance with the Standard CAN/CSA Z240 MH, Nutited States, or when such a standard is not applicable, ANSI/NCSBCS A225.1/NFPA 5 his appliance is only for use with the type(s) of gas indicated on the rating plate and may accorded codes. See owner's manual for details. This appliance is supplied with a conversion appareil doit être installé conformément aux codes et règlements locaux, ou, en l'abse propane Installation Code en vigueur.  L'appareil doit être installé conformément à la norme CAN/CSA-Z240, Série MM, Maisor applicables, veuillez vous référer à la norme ANSI/NCSBCS A225.1/NFPA 501A.  Let appareil doit être utilisé uniquement avec les types de gaz indiqués sur la plaque signocaux le permettent. Voir la notice de l'utilisateur pour plus de renseignements. Une trou	Mobile Housing, in Canada, or with the Manufactured Home Construction and 01A, Manufactured Home Installations Standard.  I be installed in an aftermarket, permanently located, manufactured home (US kit.)  Ince de tels règlements, selon les codes d'installation National Fuel Gas Code ins mobiles, ou la norme 24 CFR Part 3280, Manufactured Home Construction inalétique et peut être installé dans une maison préfabriquée (ÉU. seulement) isse de conversion est fournie avec cet appareil.	Safety Standard, Title 24 CFR, Part 3280, in the A only) or mobile home, where not prohibited by ANSI Z223.1, ou CSA-B149.1 Natural Gas and and Safety Standard. Si ces normes ne sont pas ou mobile installée à demeure si les règlements
For Use Only with Barriers CV60E (Part #940-519/P) Follow installation instruct Itiliser uniquement avec l'écrans CV60E (n° 940-519/P) Suivre les instructions FOR USE WITH GLASS DOORS CERTIFIED WITH THE APPLIANCE Clectrical supply / Alimentation électrique 115VAC, 2.5A, 60Hz. Part No. 946-556 HeatWave Kit may be used. Le système HeatWave (pièce n° 946-VENTED GAS FIREPLACE HEATER - NOT FOR USE WITH	d'installation. Ne pas utiliser de filtre à DNLY DOIT ÊTRE UTILISÉ UNIQUEMENT AVEC LES PORT 556) peut être utilisé. I SOLID FUELS. FPI Fireplace Prod	ucts International Ltd. Delta, BC, Canada
FOYER AU GAZ À ÉVACUATION - NE PAS UTILISER AVEC Model/Modèle : CV60E-NG CV	C UN COMBUSTIBLE SOLIDE.	de in Canada/ Fabriqué au Canada
CANADIAN ENERGY PERFORMANCE VERIFIED  CSA P.4.1 Fireplace Efficiency (FE) /Efficacité énergé Natural Gas / Gaz patural 51 22%	etique des fovers (EEF) CSA P.4.1	

# PRODUCT TESTING REPORTS: IPE DECKING



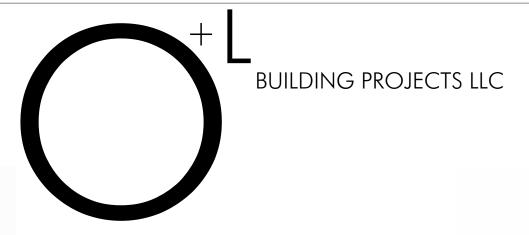


T1.1b

Sheet No. 3 / 59

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4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

11.19.2020: Bid Documents 12.10.2019: La Jolla Permit Review Committee Meeting 05.20.2019: Issue to Consultants 05.10.2019: Design Development 02.11.2019: Preliminary Design Presentation 02.11.2019: Original Drawing Preparation Date PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037

27 March 2013

C.R. Laurence Co., Inc. ATTN: Chris Hanstad 2503 East Vernon Los Angeles, CA 90058

SUBJ: CRL SRS STANDOFF RAILING SYSTEM GLASS BALUSTRADE GUARDS

The SRS Standoff Railing System is an engineered guardrail system that utilizes point supported glass balustrades. When constructed in accordance with the attached details and installation guidelines the guardrail will safely support the following loading conditions:

200 pound point load on top rail, vertical or horizontal 50 plf load on top rail, vertical or horizontal or 25 psf uniform load on glass panel horizontal or 50 lb conc load on 1 sf

Wind load 25 psf or higher loads in accordance with the wind load tables herein. For single family residential construction only the 200# concentrated top rail load, 50# concentrated load and wind load are applicable.

The SRS is to be used with tempered glass only, laminated or monolithic. Laminated glass shall be made with DuPont SentryGlas+ interlayer.

Glass light stresses may be evaluated using either the simplified methods shown herein or by finite

element analysis models for the specific proposed installation. For these conditions the railing meets applicable requirements of the 2006, 2009 and 2012 International Building Code and state codes adopted from the IBC codes, SEI/ASCE 8-02 and all

Edward Robison, P.E.

**Table of Contents** Typical Installations Signature Page Glass Strength Glass Panel Loads Wind Loading Glass Bending Moments 1/2" Glass 3/4" Glass 1/2 Glass height-width Glass Standoffs 17 - 18Custom Standoff lengths RSOB20 Fitting Grab Rails and Cap rails Other Glass Thicknesses

requirements of ASTM E 2358-04.

**Typical Installation:** For single family residential: 1/2" tempered glass 2 pairs of standoffs:

Interior installation, 5' maximum width and 44" maximum height above standoffs. Exterior installation 4' maximum width and 44" maximum height above standoffs, 15.3 psf.

3 pairs of standoffs: Interior installation, 7' maximum width and 44" maximum height above standoffs. Exterior installation 5' maximum width and 44" maximum height above standoffs, 15.9 psf.

For commercial and other applications:

3/4" tempered glass 2 pairs of standoffs:

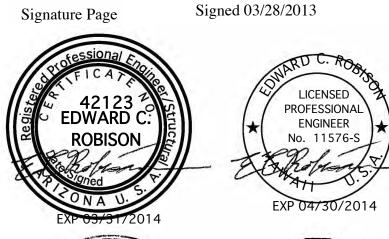
5'-6" maximum width and 44" maximum height above standoffs, 30.8 psf.

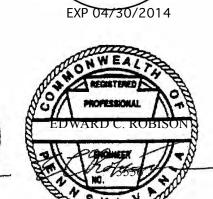
3 pairs of standoffs:

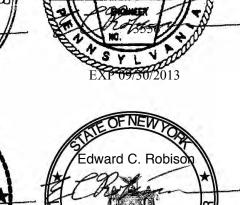
7' maximum width and 44" maximum height above standoffs, 28 psf. For other light sizes and wind loads refer to the equations and figures herein.

No. C 65883

NO. 63683













ROBISON

DWARD C. ROBISOI

100688

CENSED

EXP 12/31/2013

ROBISON \

STRUCTURAL

No. 49757

GLASS BALUSTRADE GUARD RAIL

GLASS STRENGTH All glass is fully tempered glass conforming to the specifications of ANSI Z97.1, ASTM C 1048-97b and CPSC 16 CFR 1201. For the 1/2" glass the typical Modulus of Rupture, F<sub>r</sub> is 24,000 psi. The applicable safety factor against glass rupture is 4.0 in accordance with IBC 2407.1.1 Allowable glass bending stress: 24,000/4 = 6,000 psi. – Tension stress calculated.

Bending strength of glass for the given thickness:  $S = 12^{**} (t)^2 = 2^* (t)^2 in^3/ft$ 

Use the minimum glass thickness for stress calculations: For 1/2" glass,  $t_{min} = 0.469$ "; Weight = 6.5 psf  $S = 2*(0.469)^2 = 0.44 \text{ in}^3/\text{ft}$ 

 $M_{alive} = 6,000 \text{psi} * 0.44 \text{ in}^3/\text{ft} = 2,640" \#/\text{ft} = 220" \#$ For 5/8" glass,  $t_{min} = 0.595$ "; Weight = 9.8 psf  $S = 2*(0.595)^2 = 0.708 \text{ in}^3/\text{ft}$  $M_{alive} = 6,000 \text{psi} * 0.708 \text{ in}^3/\text{ft} = 4,248" \#/\text{ft} = 354" \#$ 

For 3/4" glass,  $t_{min} = 0.719$ "; Weight = 9.8 psf  $S = 2*(0.719)^2 = 1.034 \text{ in}^3/\text{ft}$  $M_{alive} = 6,000 \text{psi} \times 1.034 \text{ in}^3/\text{ft} = 6,204$ "#/ft = 517"#

The allowable moments are based on the minimum glass thickness allowed for the nominal thickness. The section properties and allowable moments may be calculated based on the actual glass thickness supplied.

Laminated glass shall be evaluated based on the effective thickness determined in accordance with ASTM E1300 or the DuPont online laminated glass calculator.

For wind loading the allowable glass stress may be increased in accordance with ASTM E1300. It is recommended that a maximum allowable stress of 9,600 psi be used for wind loads. For wind loads the allowable moment may be taken as:  $M_{awind} = M_{alive} *9,600/6000 = 1.6 M_{alive}$ 

For cantilevered elements basic beam theory for cantilevered beams is used.  $M_u = \gamma W^*h^2/2$  for uniform load u or  $M_p = \chi P^*h/B$  for concentrated load P or  $M_U = \chi U^*h$  for uniform top rail load U or  $M_w = \gamma W^*h^{2*}0.55$  for uniform wind load W

 $x = f(\alpha)$  where the function is derived from FEA models and

Where  $\chi$  is the moment amplification factor accounting for the increased maximum moment caused by the point supports. Where:

MOMENT AMPLIFICATION FACTORS:

The moment amplification factors were derived from a series of FEA models. The equations are applicable for the geometric configurations shown. In lieu of using the amplification factors shown herein the glass light stresses may be evaluated using either the simplified methods shown herein or by finite element analysis models for the specific proposed installation.

GLASS PANELS LOADS: From IBC 1607.7 On hand rail or top of glass – 200lb concentrated or 50 plf

Or On panel – 25 psf horizontal load Or Wind load horizontal to glass either direction.

For vertical glass dead loads will not cause glass bending stress and glass bearing stresses are small and may be ignored.

ALLOWABLE WIND LOAD Allowable wind load pressure may be calculated from:  $W = 1.6*M_{alive}/(\chi 0.55*h^2) = 2.9*M_{alive}/(\chi *h^2)$ 

WIND LOADING

For wind load surface area is full area of guard: Calculated in accordance with SEI/ASCE 7 Section 6.5.13 Design Wind Loads on Open Buildings and Other Structures. This section is applicable for free standing building guardrails, wind walls and balcony railings that return to building walls. Section 6.5.12.4.4 Parapets may be applicable when the rail is along a roof perimeter. Actual wind loads must be determined by a qualified individual for a specific installation.

 $p = q_p(GC_p) = q_zGC_f \text{ (SEI/ASCE 7-05 eq. 6-26)}$ For guardrails the coefficients have the following values: G = 0.925 from section 6.5.8.2 for a very flexible structure.

 $C_f = 2.5*0.8*0.6 = 1.2$  Figure 6-20 with reduction for solid and end returns, will vary.  $Q_z = K_z K_{zt} K_d V^2 I$  Where:

I = 1.0K<sub>z</sub> from Table 6-3 at the height z of the railing centroid and exposure.  $K_d = 0.85$  from Table 6-4.

K<sub>zt</sub> From Figure 6-4 for the site topography, typically 1.0. V = Wind speed (mph) 3 second gust, Figure 6-1 or per local authority. Exp B Exp C Exp D Exp D Wind Sp Kzt Kd GCp Wind Sp Kzt Kd GCp

Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp
120	1	0.85	1.11	120	1	0.85	1.11	120	1	0.85	1.11
Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)
30	0.7	21.9	24.3	15	0.85	26.6	29.6	15	1.03	32.3	35.8
40	0.76	23.8	26.4	20	0.9	28.2	31.3	20	1.08	33.8	37.6
Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp
130	1	0.85	1.11	130	1	0.85	1.11	130	1	0.85	1.11
Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)
30	0.7	25.7	28.6	15	0.85	31.3	34.7	15	1.03	37.9	42.0
40	0.76	27.9	31.0	20	0.9	33.1	36.7	20	1.08	39.7	44.1
Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp
140	1	0.85	1.11	140	1	0.85	1.11	140	1	0.85	1.11
Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)
30	0.7	29.9	33.1	15	0.85	36.3	40.2	15	1.03	43.9	48.8
40	0.76	32.4	36.0	20	0.9	38.4	42.6	20	1.08	46.1	51.1
Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp	Wind Sp	Kzt	Kd	GCp
150	1	0.85	1.11	150	1	0.85	1.11	150	1	0.85	1.11
Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)	Height	Kz	qz	p (psf)
30	0.7	34.3	38.0	15	0.85	41.6	46.2	15	1.03	50.4	56.0
40	0.76	37.2	41.3	20	0.9	44.1	48.9	20	1.08	52.9	58.7
								o a build 5.14 and	_		s shall

CR Laurence Standoff Rail System – SRS

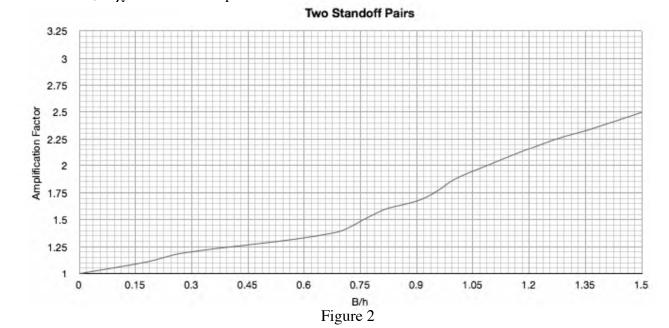
CALCULATE PEAK GLASS MOMENT DETERMINATION OF  $\chi$ For two pairs of standoffs: Applicability – Light Geometry Standoffs in pairs are located 4" apart. a: 6"  $\leq$  a  $\leq$  2h  $12" \le b \le 60"$ 3"  $\leq$  c  $\leq$  h  $2" \le d \le 10"$ limited by glass stress

b+2d

Example:

 $\alpha = B/h$ : 0.1<  $\alpha \le 2.0$ 

Glass light width B = 48" and h = 48"  $\alpha = B/h = 48/48 = 1.0$  $\chi = 1.85$  Determine value of  $\chi$  from graph, figure 2 Load = 50 plf or 200# or 25 psf:  $M_u = \chi u * h^2/2 = 1.90 * 25 psf * 4'^2/2 = 380' # / ft$  $M_p = \chi P^*h/B = 1.90^*200\#4'/4' = 380'\#/ft$  $M_U = \chi U^*h = 1.90*50plf*4' = 380'\#/ft$ 

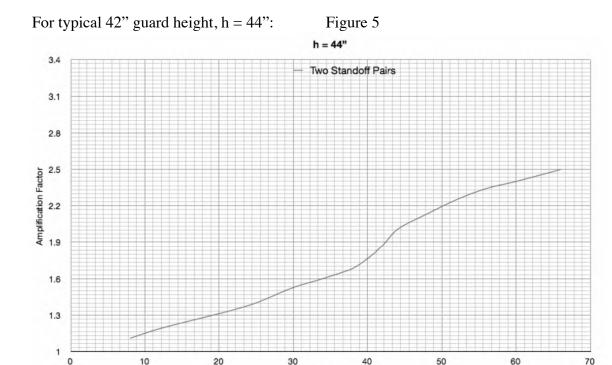


Page 7 of 21

Figure 1

For 200# concentrated load on 1 sf of glass (at top corner for worst case) the moment is distributed across the panel width at the standoffs so that moment is essentially the same as for a top rail applied load. C = lesser of B or h

 $M_p = \chi P^*(h-6)''/C = 1.90^*200\#(4'-0.5')/4' = 332.5'\#/ft$ 



1/2" Glass Applications Acceptable light sizes for 1/2" glass: For 1/2" glass,  $t_{min} = 0.469$ "  $S = 2*(0.469)^2 = 0.44 \text{ in}^3/\text{ft}$  $M_{alive} = 6,000 \text{psi} * 0.44 \text{ in}^3/\text{ft} = 2,640" \#/\text{ft} = 220" \#$ For single family residential applications apply 200# concentrated top rail load –

With top rail distributing concentrated load to two lights minimum – 100# each light For Two Support Pairs: Try minimum light size of 32", height 44";  $\alpha = 32/44 = 0.727$ 

 $M = 1.57*100#*44" = 6,908"# \le 2.667"*2,640"#/ft = 7,041"#$ 

50 plf load is not applicable.

 $\chi_2 = 1.57$  for 2 pairs

 $\chi_2 = 2.133$  for 2 pairs

For interior residential applications infill load = 5 psf for differential pressure:  $M = 1.57*5psf*3.667^2/2 = 52.78' \#/ft for 32'' light width$ Maximum uniform load = 220/52.78\*5 = 20.8 psf

Check maximum light width of 66" x 44" high  $\chi_2 = 2.5$  for 2 pairs  $M = 2.5*5psf*3.667^2/2 = 84.04'\#/ft$  for 32" light width Maximum wind load = W =  $2.9*M_{alive}/(\chi*h^2) = 2.9*220/(2.5*3.667^2) = 19 \text{ psf}$ 

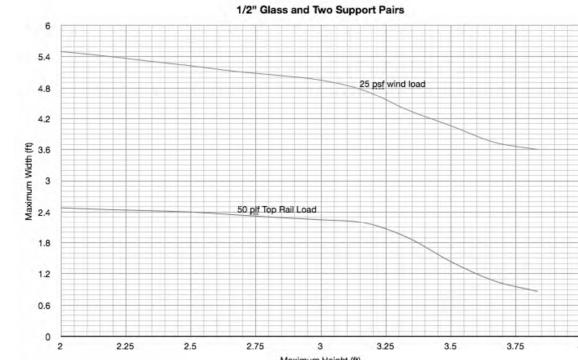
okay for 85 mph 3 sec gust exposure B below 30' Check wind load for a standard light width, B = 48" and h = 44"  $\alpha = 48/44 = 1.091$ 

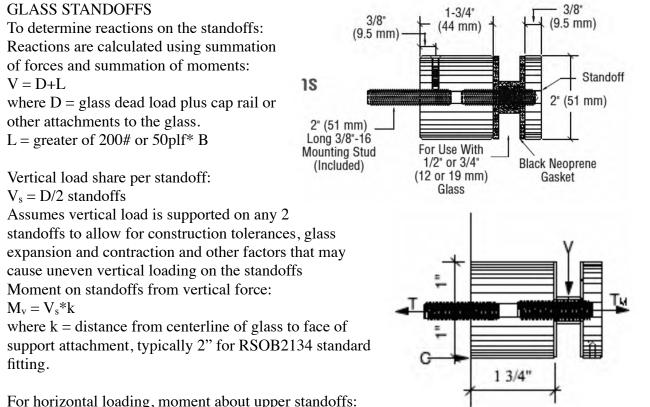
 $M = 2.133*Wpsf*3.6672*0.55 \le 1.6*220'\#$  solving for W  $W = 220' #*1.6/(2.133*0.55*3.667^2) = 22.3 psf$ General Equation for 1/2" glass and 2 support pairs:

Allowable wind load = 640'#/( $\chi_2$ \*h<sup>2</sup>)

For Non-single family residential applications guard must be designed for 50 plf top rail For  $\chi_2 = 2.4$ , a = 1.364 determine the maximum height: h = 220/(2.4\*50) = 1.833' (1'-10") B = 1.833'\*1.364 = 2.5' (30")

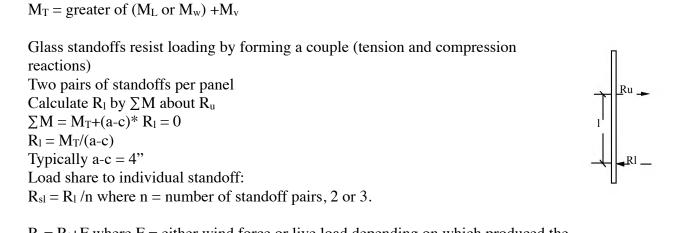
Typically 1/2" Glass is not to be used in Non-single family residential applications.





For horizontal loading, moment about upper standoffs:  $M_L = 50plf*B*h \text{ or } 200\#h$  $M_w = w*B*h^2*0.55$ W = w\*B\*h

 $M_T$  = greater of  $(M_L \text{ or } M_w) + M_v$ 



 $R_u = R_1 + F$  where F = either wind force or live load depending on which produced the greatest moment.  $R_{su} = R_u / n$ 

Standoff anchors -3/8" stainless steel threaded rod to standoff and 3/8" rod to steel

Tensile area of 3/8" threaded rod (UNC) =  $0.0775 \text{ in}^2$ Rod strength =  $(0.6*75 \text{ksi}) * 0.0775 \text{ in}^2 = 3,487 \text{\#}$ Check thread strength into standoff – minimum thread embed = 3/8" Internal thread stripping area =  $0.828 \text{ in}^2 \text{ for } 3/8 - 16 \text{ threads}$ 

Standoff welded to plate -1/8" fillet weld: (welded option)  $T_a = 0.9*1/8"*\pi*2"*40 \text{ ksi}/1.6 = 17.7 \text{ k}$  $V_a = 0.3*17.7 \text{ k} = 5.3 \text{ k}$ 

Determine tension and shear on mounting stud: From  $\Sigma$  forces:  $T = T_M + V * 2"/1"$ 

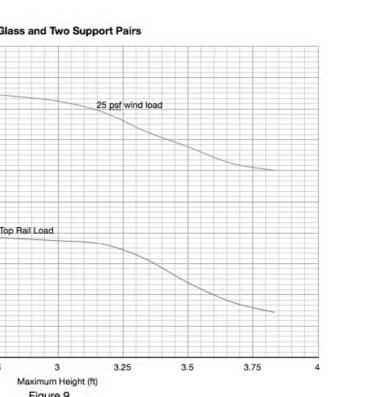
Check Interaction of shear and tension. H# + V# = 0.44 < 1.2 Ok2.700# 1.744

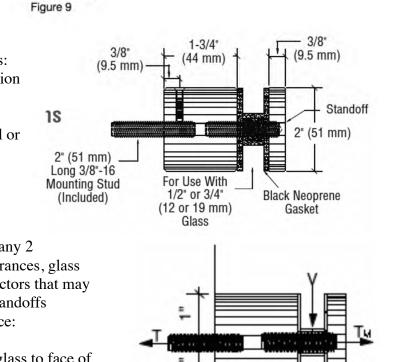
Example for a glass light, 3/4" x 52" tall x 84" long with 25 psf wind loading: D = 9.8\*(7'\*4.333')/2 = 149# < 1,744#Tension component of reaction W = 25psf\*3.667'\*7'/2 = 321# to standoffM = (25psf\*3.667'2\*7'/2)\*0.55 = 647.1'#

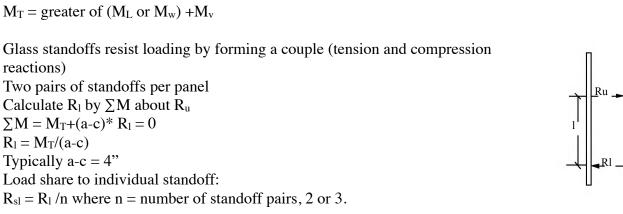
STANDOFF STRENGTH IS ADEQUATE FOR ALL ACCEPTABLE LIGHT SIZES.

Edward C. Robison, P.E. 10012 Creviston DR NW Gig Harbor, WA 98335

253-858-0855 fax 253-858-0856 email: elrobison@narrows.com







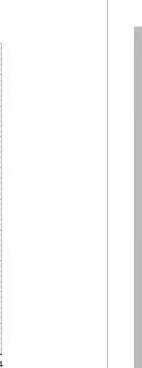
Allowable load on threads =  $0.58*A_{sn}*t*F_{tu}/3 = 0.58*0.828*(3/8)*45ksi/3 = 2,700#$ Allowable shear strength =  $0.3*75 \text{ ksi}*0.0775 \text{ in}^2 = 1,744#$ 

For welded standoff case the button attachment strength limits the loading.

Vertical loads will increase tension force in mounting stud:

Check combined tension and shear on anchors

 $R_1 = (647.1*12)/(4") = 1,941#$  $R_u = 1,941+321 = 2,262#$ T = 2,262+149\*2"/1" = 2,560 < 2,700Combined tension and shear: 2,560# + 149# = 1.03 < 1.2 Ok2.700# 1.744



Sika® Canada's EnergySmart Roof colour family consists of White, Tan, Light Grey, and ■ Excellent dimensional stability. ■ Meets LEED/Green Globe Requirements for Cool Roofing (see chart). ■ Awarded Platinum Certification under NSF/ANSI 347 Sustainable Single Ply Roofing. Recycled content (see chart).

Sika® Sarnafil® Adhered System.

Sarnafil® G410 EnergySmart Roof

▲ 1.2 mm (48 mil) ▲ 1.5 mm (60 mil) ▲ 1.8 mm (72 mil)

PRODUCT DATA: ROOFING MEMBRANE GREEN ROOF

Product Data Sheet

Membrane

▲ 2.0 mm (80 mil) ▲ Feltback

Edition 11.2013/v1

Composition

■ Lacquer coated to reduce dirt pick up. ■ Hot-air welded seams for long-term performance. Proven membrane performance. Sika® Canada's Adhered Systems using G410 PVC membranes are classified by

coating applied to the top of the membrane to reduce dirt pick up.

The Sarnafil® G410 EnergySmart Roof membrane is a heat-weldable membrane produced

The G410 EnergySmart Roof membrane is a high-quality, thermoplastic PVC membrane with a fibreglass reinforcement. The Sarnafil® G410 roof membrane has a unique lacquer

with an integral fibreglass mat reinforcement for excellent dimensional stability, for use in a

Underwriters Laboratories, Inc., Underwriters Laboratories of Canada, FM Global, Miami-Dade and Florida Building Code. Sarnafil® membranes also meet the material requirements of the International Building Code. For more information, please visit the "technical downloads" section of our website. Packaging/Storage Membrane rolls are wrapped in a protective film and strapped to a wood pallet.

EnergySmart White, Tan and Light Grey are available as 3 m (10 ft) wide.

EnergySmart Patina Green is available as 2 m (6.5 ft) wide. 1.2 mm (48 mils) / 1.5 mm (60 mils) /1.8 mm (72 mils) / 2.0 mm (80 mils) ■ Weight (depending on thickness of membrane and feltbacking) 2 m (6.5 ft) rolls weigh between 73 - 88 kg (161 - 195 lb) 3 m (10 ft) rolls weigh between 120 - 170 kg (265 - 375 lb) G410 is installed by a Sika® Canada Authorized Applicator. After proper preparation of the substrate. G410 is unrolled into Sarnacol adhesive in accordance with Sika Canada's

Technical requirements and then pressed into place with a minimum 100 lb linoleum roller. The G410 is then heat-welded together by trained operators using Sika® Sarnafil®'s hot-air welding equipment. Different Sarnacol adhesives require different application methods Please consult Sika Canada's Applicator Handbook for detailed installation procedures. The G410 roof membrane is available directly from Sika Canada Authorized Applicators when used within a Sarnafil® Roofing or Waterproofing System. Contact Sika Canada or visit www.sika.ca for further information.

> Upon successful completion of the installed roof by the Sika Canada Authorized Applicator, Sika Canada can provide a Warranty to the Building Owner via the Authorized Applicator.

> > Sarnafil®

The G410 roof membrane requires no maintenance. As a prudent preventative measure, Sika Canada recommends that the Owner or that the Owner's designated representative inspect the installed roof system for damage, plugged drains, weathered

sealants, etc. at least twice a year and after each storm. Technical Support Sika Canada provides technical support. Technical staff is available to advise applicators as to the proper installation method.

Technical Data (as manufactured). nt Typical Physical Properties 1,2 (48) 1,5 (60) 1,8 (72) 2,0 (80) mm (mil) 1.14 (45) 1.2 (48) 1.5 (60) 1.8 (72) 2.0 (80) Thickness Above Scrim... Tensile Strength, min. MPa (ps -Cross Direction Elongation at Break, (%) -Machine Direction Seam Strength, min.

ENERGY STAR is only valid in the United States.

305 (9) 305 (9) 305 (9) 305 (9) Pass Pass Pass Pass Retention of Properties After Heat -Tensile Strength, min. (% of Pass Pass Pass Pass Pass Pass Pass Pass . 45 (10) 67 (15) 78 (17.5) 91 (20.5) 98 (22) Pass Pass Pass Pass 5000 h 10 000 h 10 000 h 10 000 h (Florescent Light, UV exposure) -Discoloration (by observation) - Negligible Negligible Negligible Negligible Negligible - Crazing (7x magnification) - None None None None Linear Dimensional Change (%) D1204 0,10 max. -0.02 -0.01 -0.01 Weight Change After Immersion in D570
Water (%) ± 3.0 max. 2.4 1.9 1.8 Pass Pass Pass Pass Pass \* Failure occurs through membrane rupture not seam failure. 3 year Reflectance 0.70 0.65 0.44 0.46 Initial Thermal Emittance 0.90 0.85 0.84 0.86 3 year Thermal Emittance 3 year Solar Reflectance Index 85 78 49 51



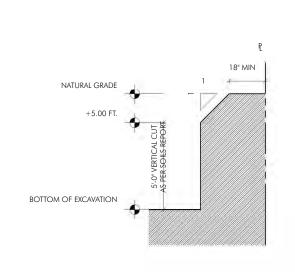
proprietary rights of third parties must be observed. All orders are accepted subject to our current terms of sale and delivery. Users should always refer to the most recent issue of the Product Data Sheet for the product concerned, copies of which will be supplied on request or can be accessed in the Internet under www.sika.ca. Sika Canada Inc. www.sika.ca Sarnafil® G410 EnergySmart Roof Membrane

The information, and in particular, the recommendations relating to the application and end-use of Sika products, are given in

good faith based on Sika's current knowledge and experience of the products when properly stored, handled and applied unde normal conditions, within their shelf life. In practice, the differences in materials, substrates and actual site conditions are such that

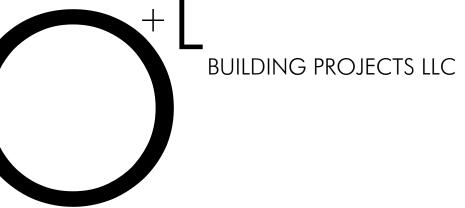
no warranty in respect of merchantability or of fitness for a particular purpose, nor any liability arising out of any legal relationshi whatsoever, can be inferred either from this information, or from any recommendations, or from any other advice offered. Th

TEMPORARY EXCAVATION



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PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037

PROJECT FORMS AND APPROVALS NO SCALE T1.1c

Sheet No. 4 / 59

SITE PLAN LEGEND

— -- PROPERTY LINE

— — SET BACK LINE

— — LINE OF EASEMENT

---- LINE OF FINISHED GRADE

- - - OUTLINE OF FLOOR ABOVE

----- OUTLINE OF ROOF ABOVE

LINE OF NATURAL GRADE

OUTLINE OF BASEMENT BELOW

OUTLINE OF EXISTING DRIVEWAY TO BE REMOVED

ELEVATION MARKER

FG FINISHED GROUND
NG NATURAL GROUND

TRW TOP OF RETAINING WALL
TF TOP OF FENCE

RW RETAINING WALL
SW SCREEN WALL

SCREEN WALL

TOP OF RETAINING WALL
SEE TITLE SHEET T1.0
FOR SITE WALL NOTES

TOP OF WALL

SITE PLAN NOTES

. RECONSTRUCT THE DAMAGED EXISTING SIDEWALK AND CURB WITH CURRENT CITY STANDARD SIDEWALK, CURB AND GUTTER, ADJACENT TO SITE.

2. CLOSURE OF ALL NON-UTILIZED DRIVEWAYS WITH CURRENT CITY STANDARD CURB, GUTTER AND SIDEWALK.

3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/ PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS

4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/ PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

5. EXISTING WATER METER AND SEWER LATERAL SERVICES ARE TO REMAIN

FLOOR PLAN DATA:

LOT SIZE: 10,554.00 SQ. FT.

LOT COVERAGE: 3,123.00 SQ. FT.
3,123.00 SQ. FT. / 10,544.00 SQ. FT

= 0.2968 (29.68 %)

LOT AREA FRONT YARD: 1,369.00 SQ. FT.

HARD SCAPE FRONT YARD: 371.00 SQ. FT.

= 0.2710 (27.10 %)

LANSCAPE AREA: LOT SIZE: 10,554.00 SQ. FT. POOL AREA: 860.00 SQ. FT.

CONTRACTOR TO CROSS

PROFESSIONAL IF ANY

DISCREPANCIES OCCUR.

REFERENCE DETAIL CALL OUTS OF

FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN

PE AREA: LOT SIZE: 10,554.00 SQ. FT. (100.00 %)
POOL AREA: 860.00 SQ. FT. (8.15 %)
ROOF AREA: 3,652.00 SQ. FT. (34.60 %)
PERMIABLE AREA: 3,020.00 SQ. FT. (28.61 %)
IMPERMIABLE AREA: 3,022.00 SQ. FT. (28.63 %)

PERMIABLE AREA: 3,020.00 SQ. FT. (28.61 %)
IMPERMIABLE AREA: 3,022.00 SQ. FT. (28.63 %)

371.00 SQ. FT. / 1,369.00 SQ. FT.

N

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Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 SITE PLAN

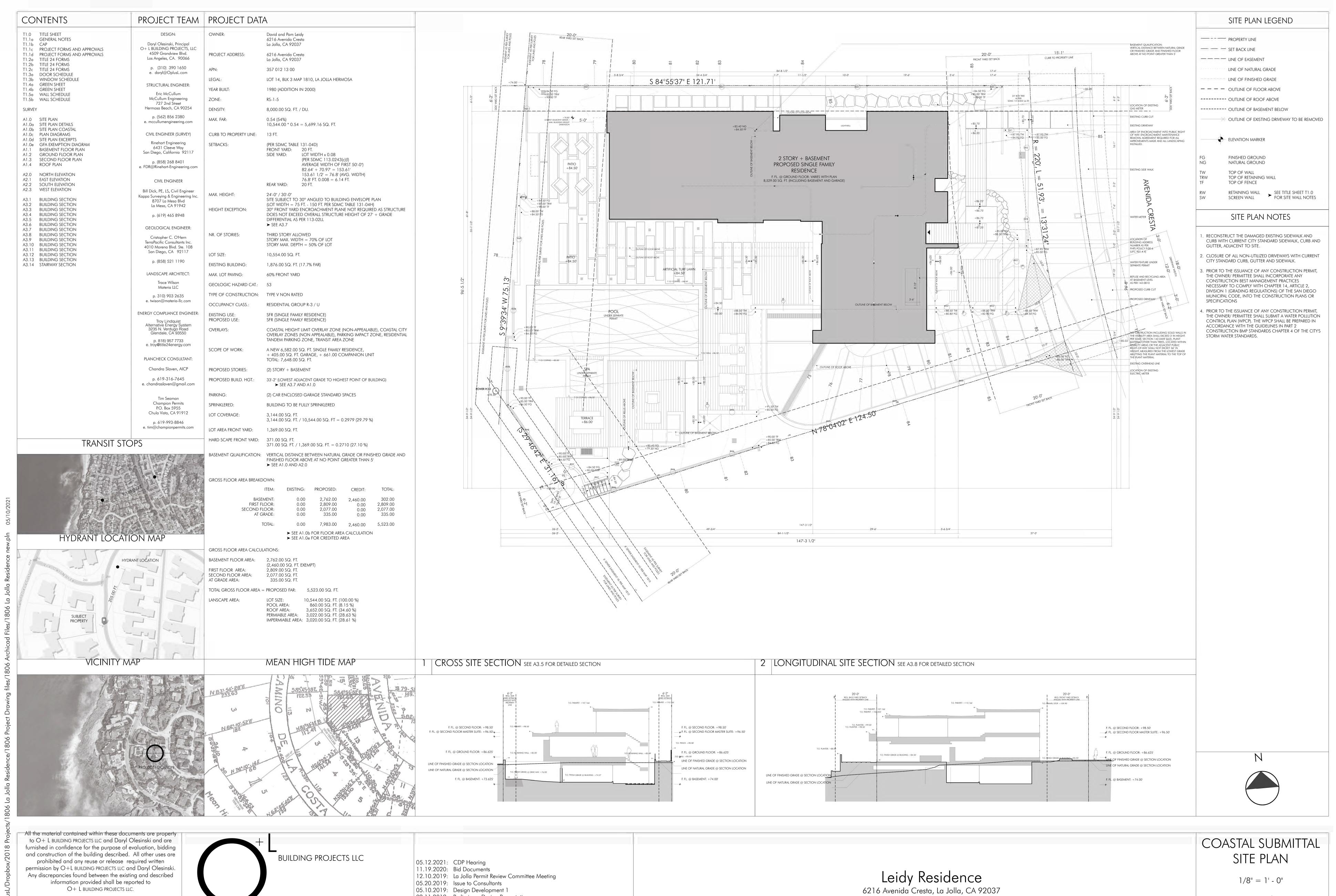
1/8" = 1' - 0"

A1.0

Sheet No. 14 / 62

A1.0b

Sheet No. 16 / 62



02.11.2019: Preliminary Design Presentation

PROJECT LOG:

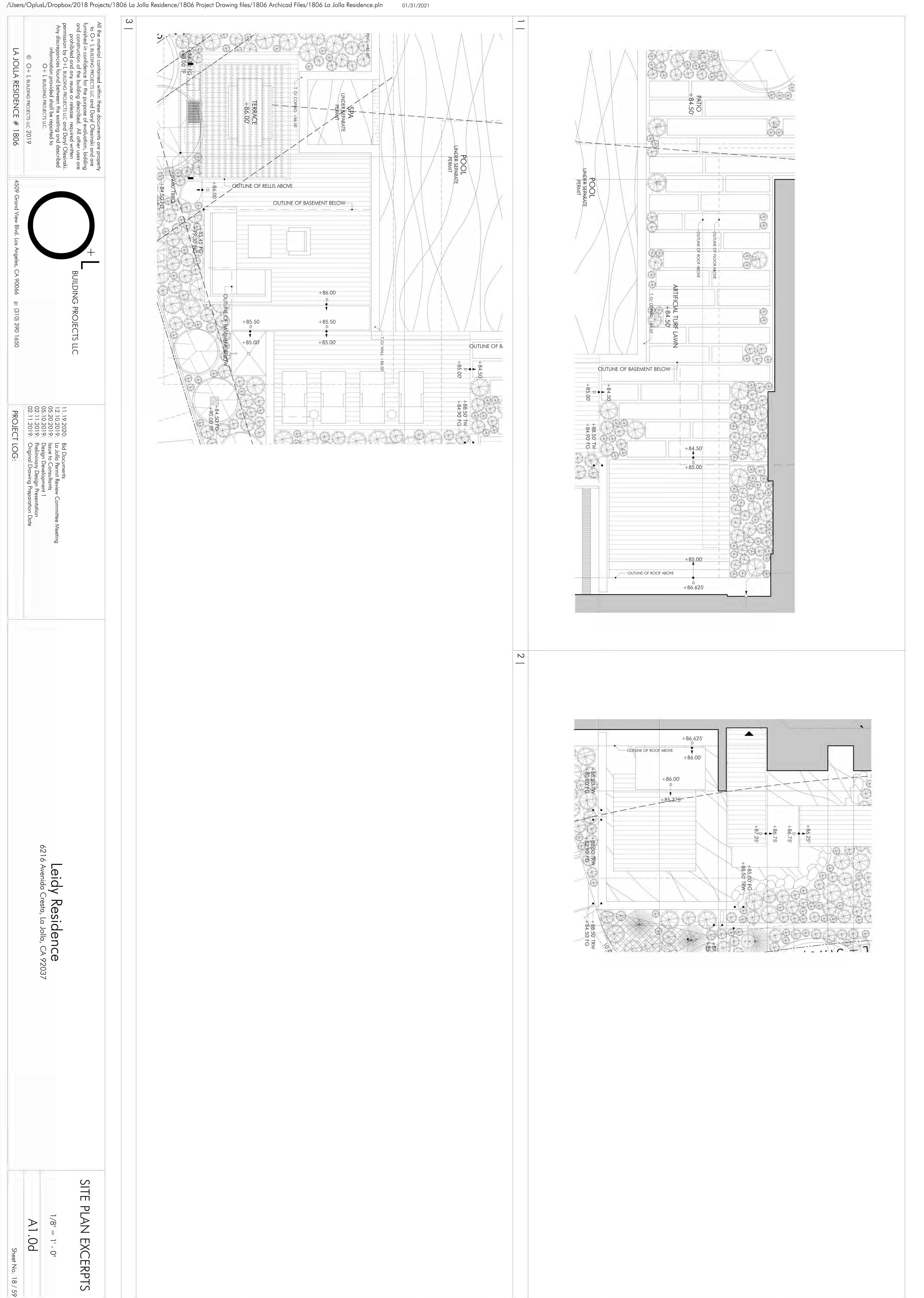
02.11.2019: Original Drawing Preparation Date

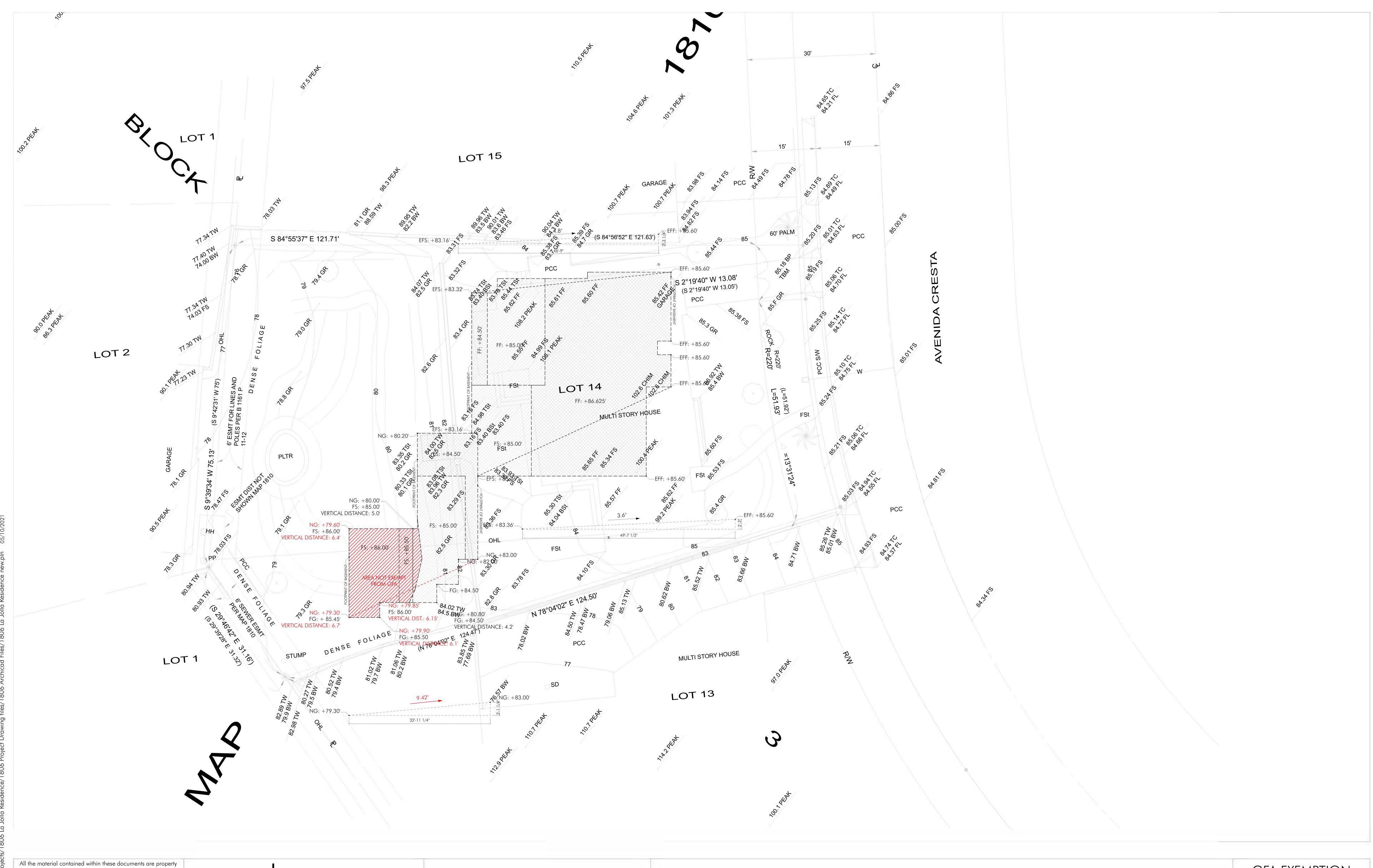
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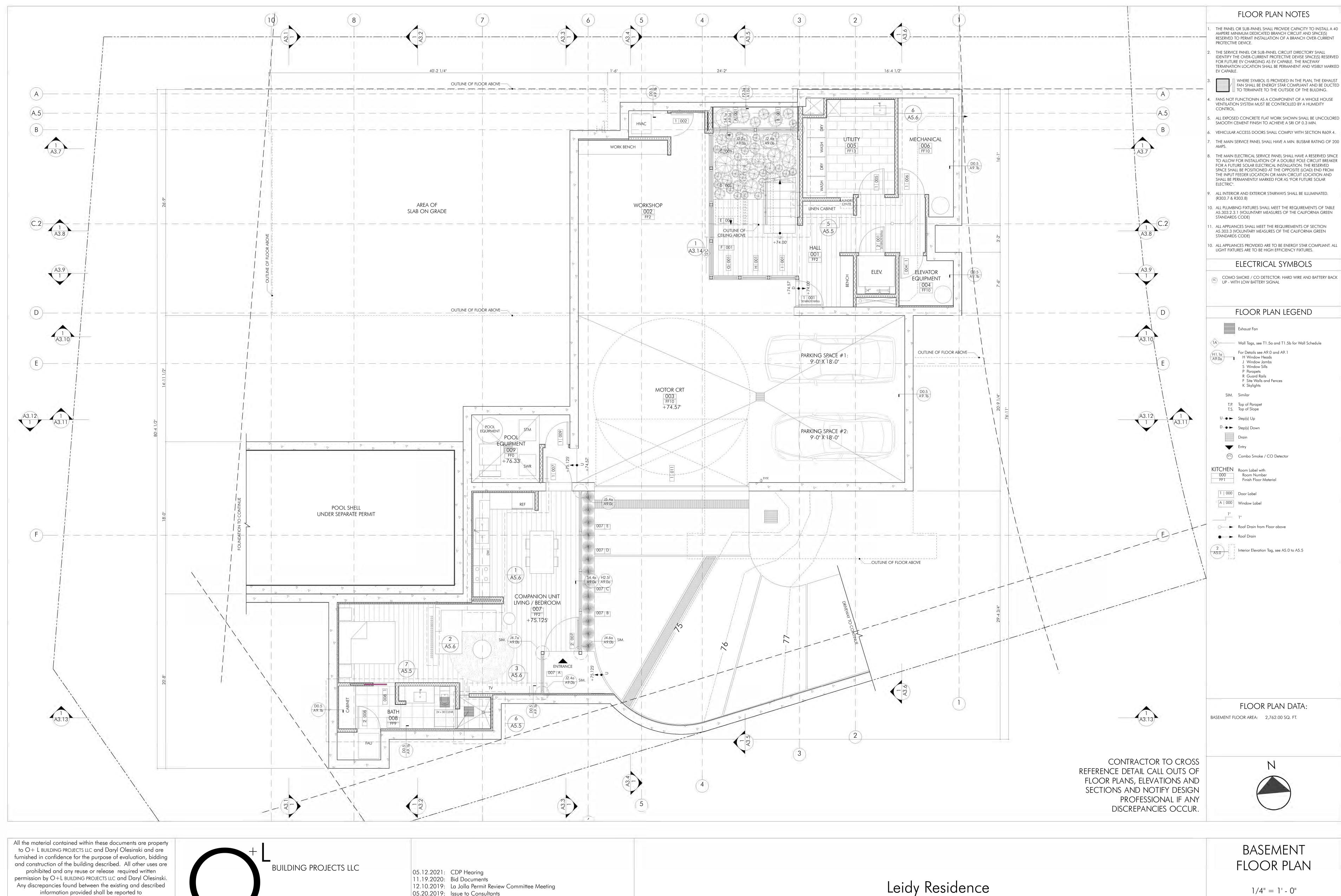
PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 GFA EXEMPTION
DIAGRAM

N.T.S.

A1.0e

Sheet No.18b/ 62



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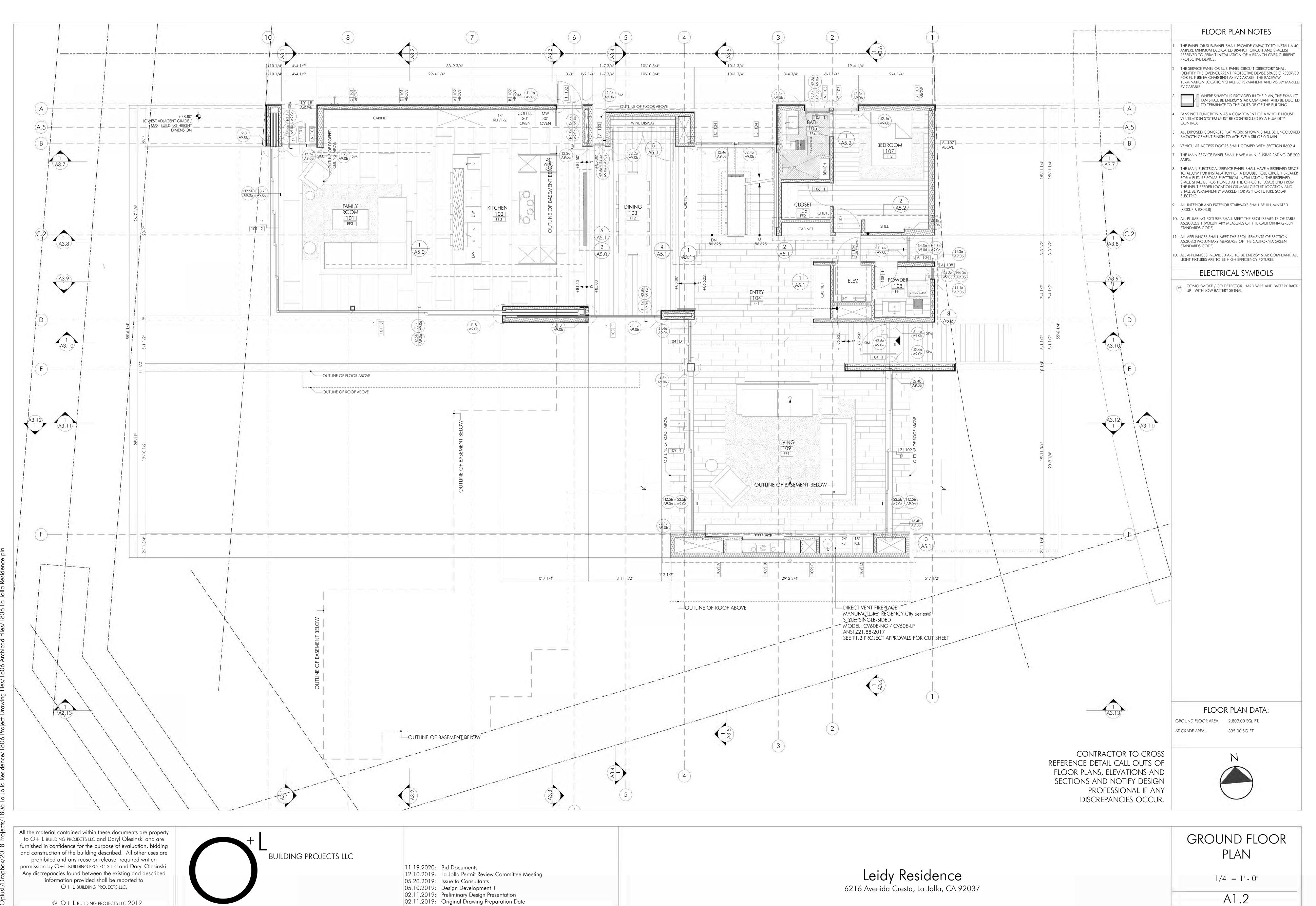
1/4" = 1' - 0"

A1.1

Sheet No. 19 / 62

A1.2

Sheet No. 20 / 59

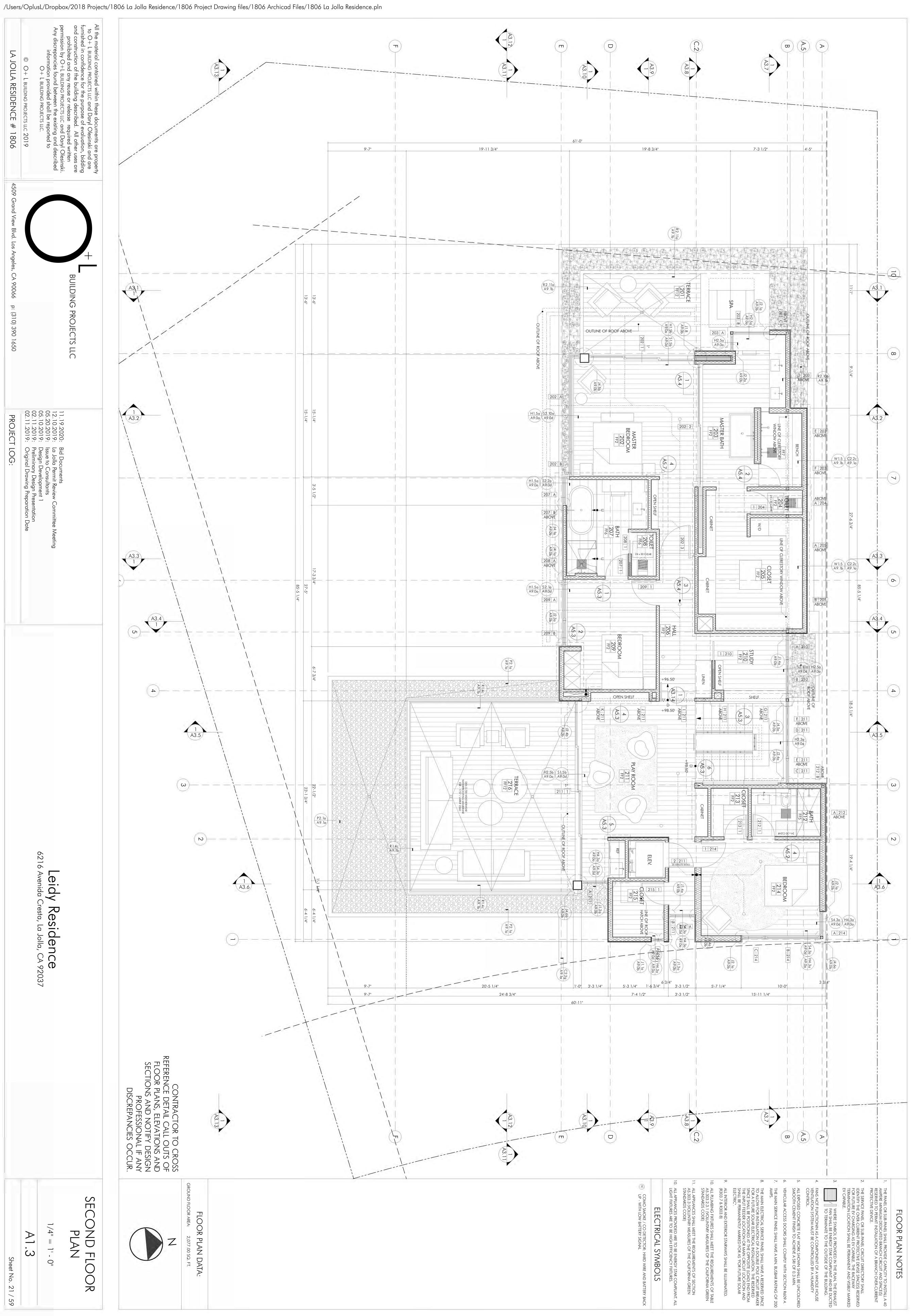


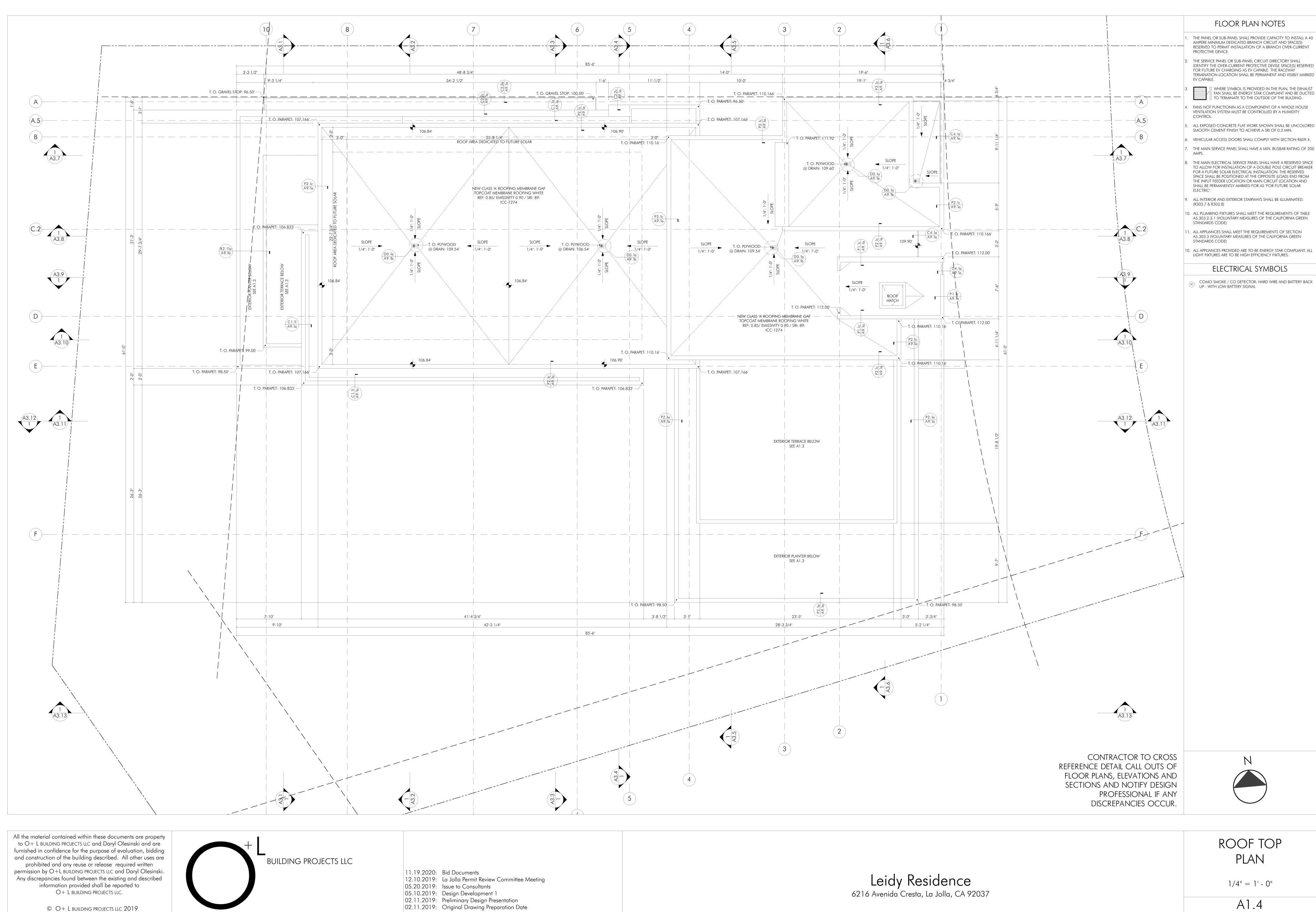
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PROJECT LOG:





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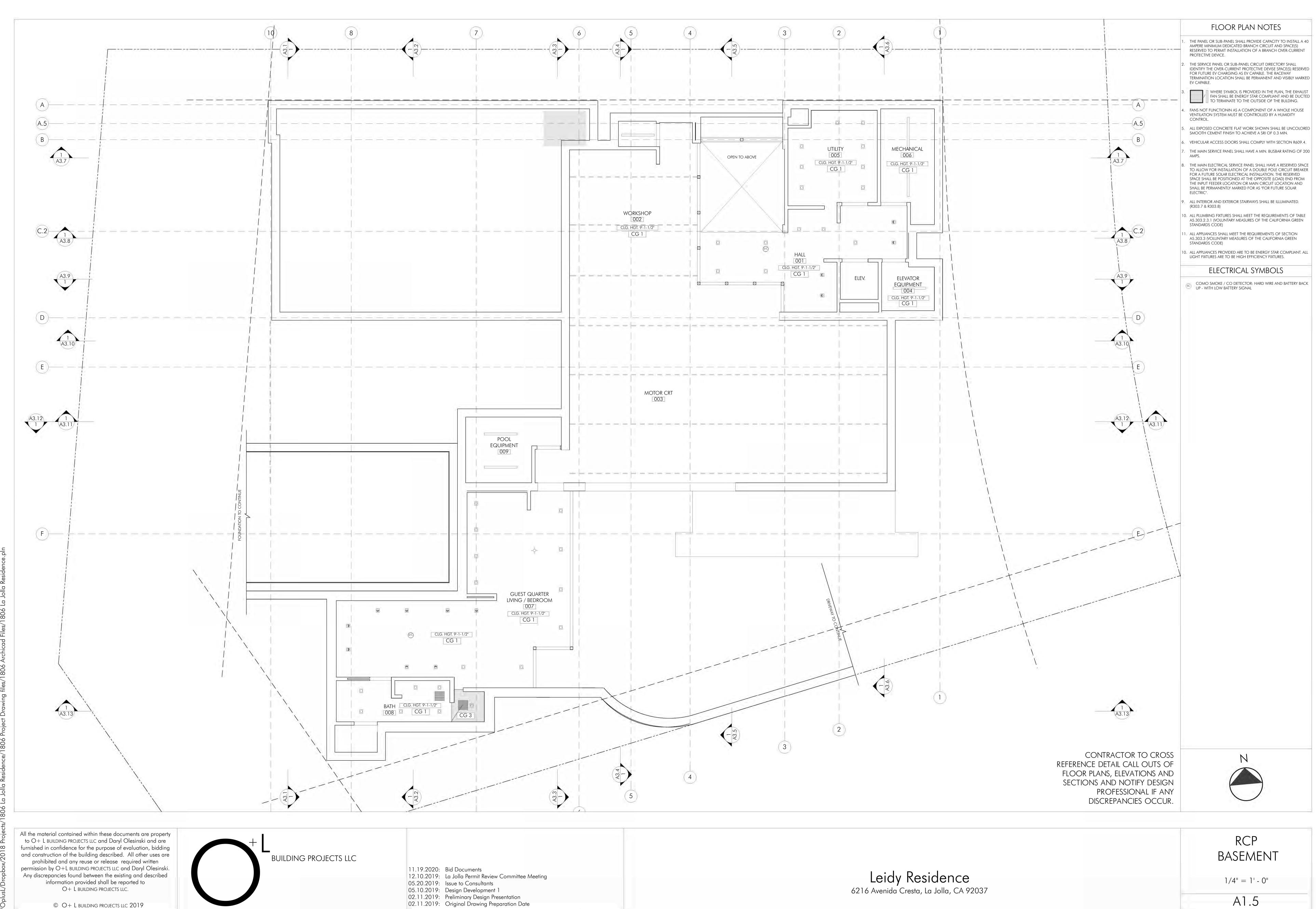
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PROJECT LOG:

A1.4

Sheet No. 22 / 59

Sheet No. 16 / 59



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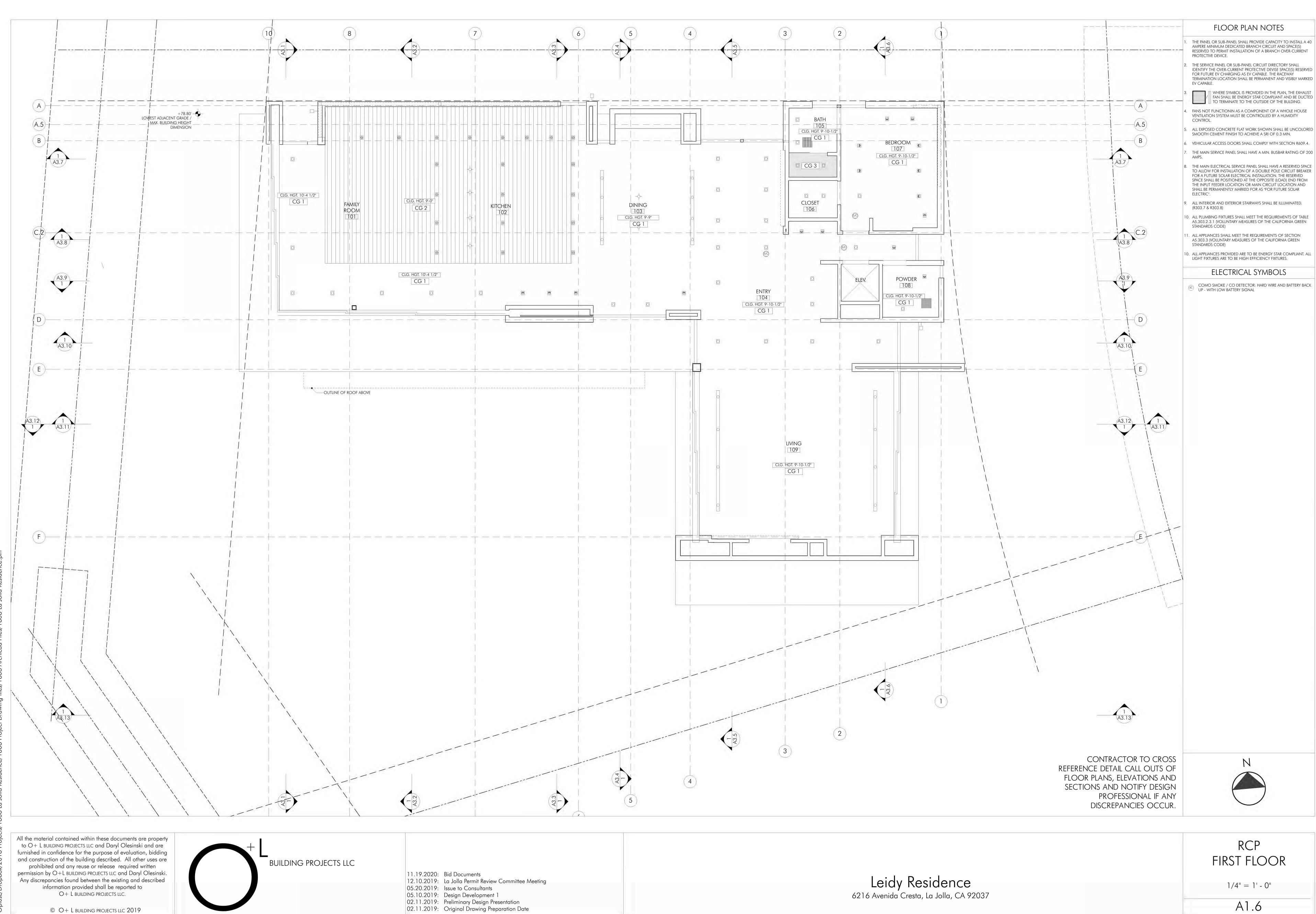
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PROJECT LOG:

A1.6

Sheet No. 17 / 59



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PROJECT LOG:



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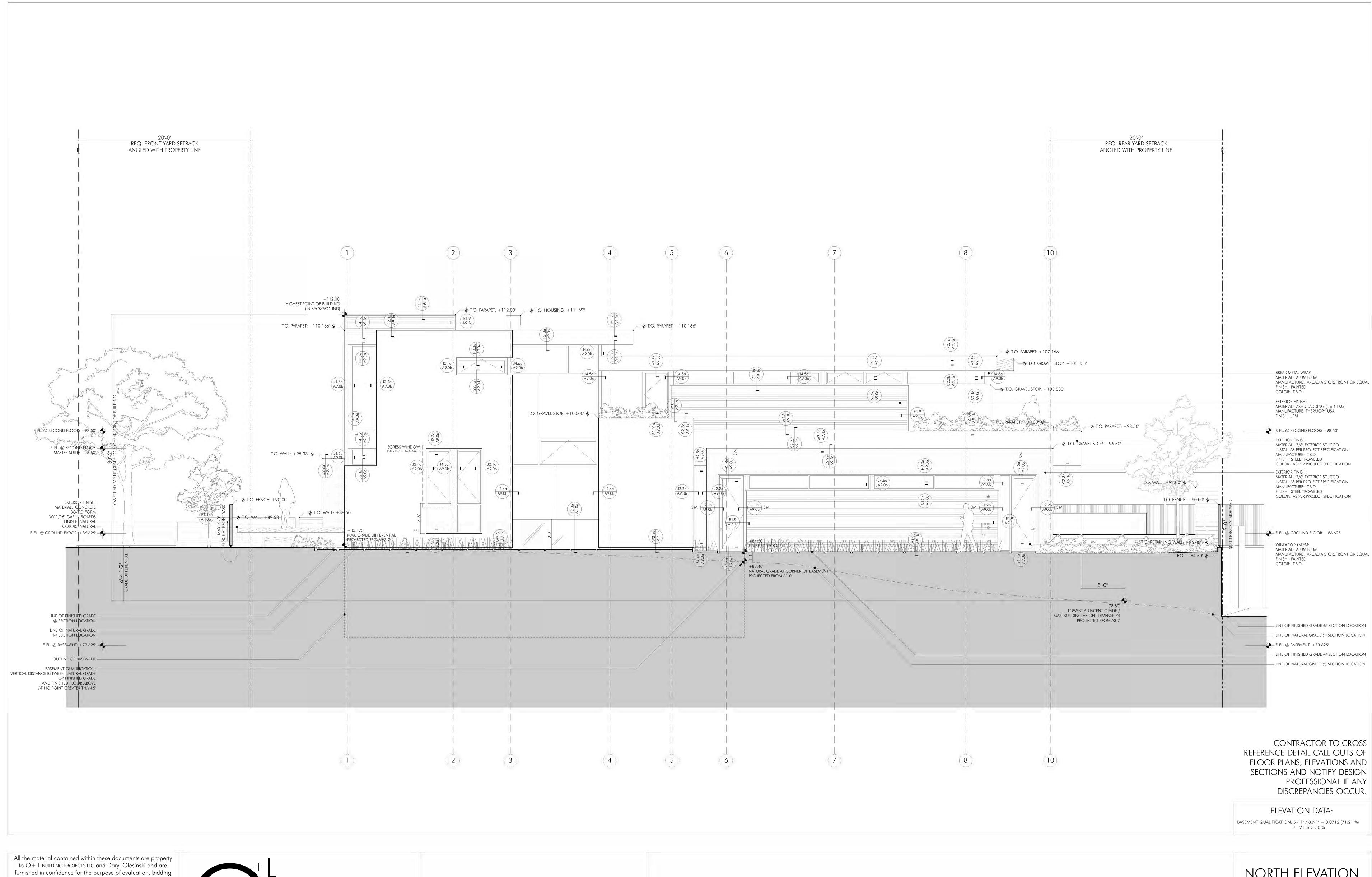
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SECOND FLOOR 1/4" = 1' - 0"

A1.7

Sheet No. 18 / 59



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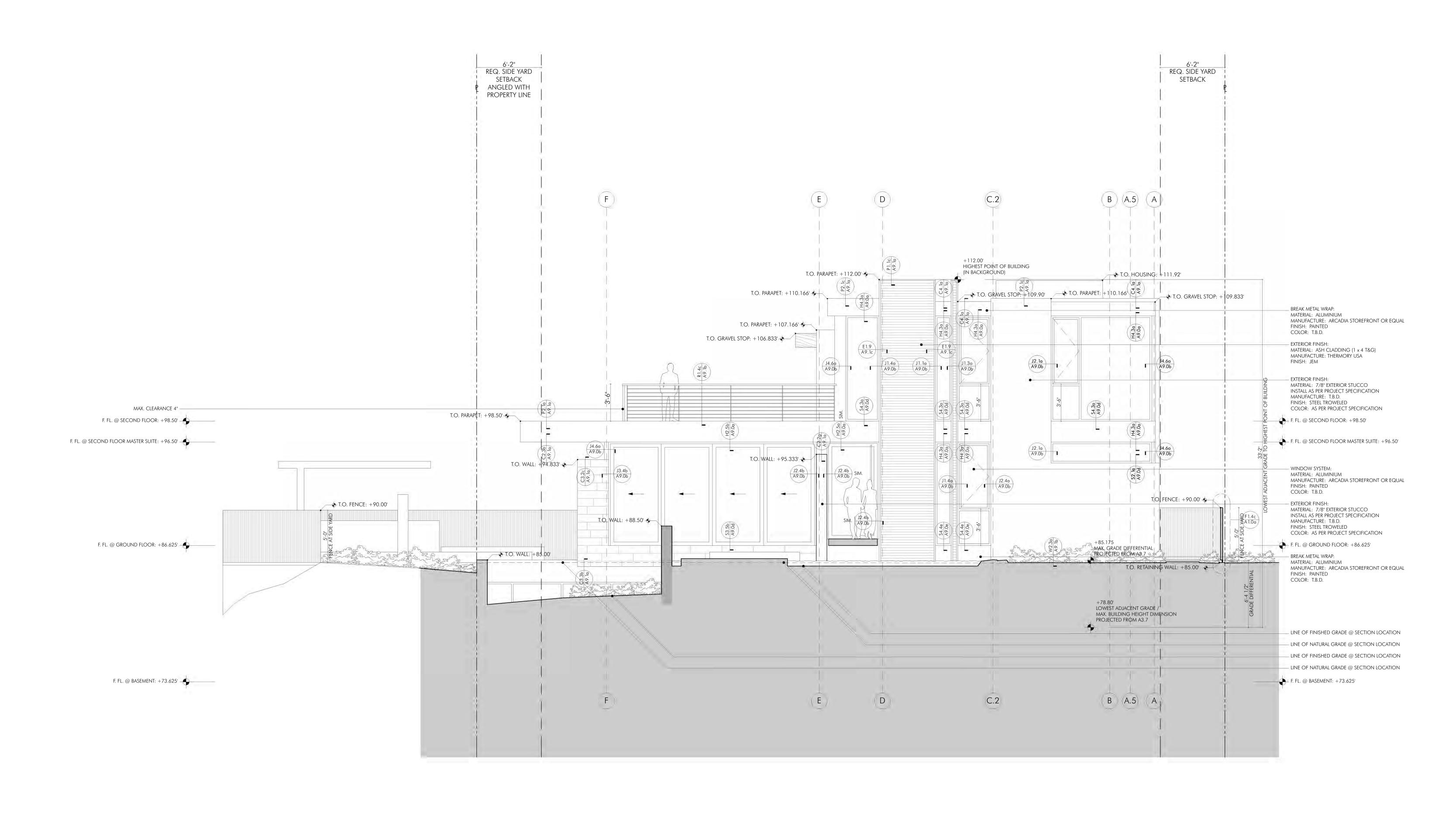
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NORTH ELEVATION

1/4" = 1' - 0"

A2.0

Sheet No. 23 / 62



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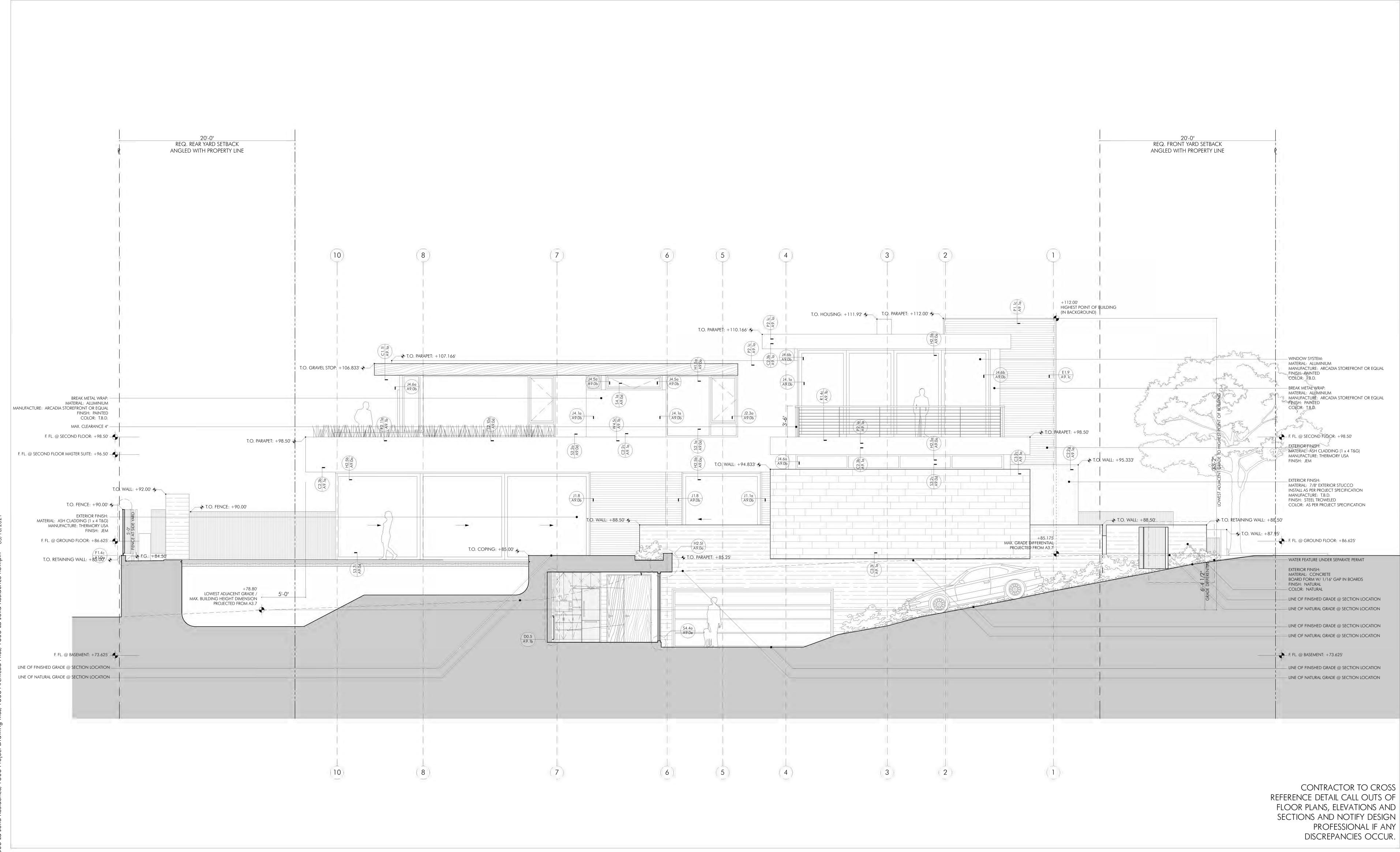
PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 EAST ELEVATION

1/4" = 1' - 0"

A2.1

Sheet No. 24 / 62



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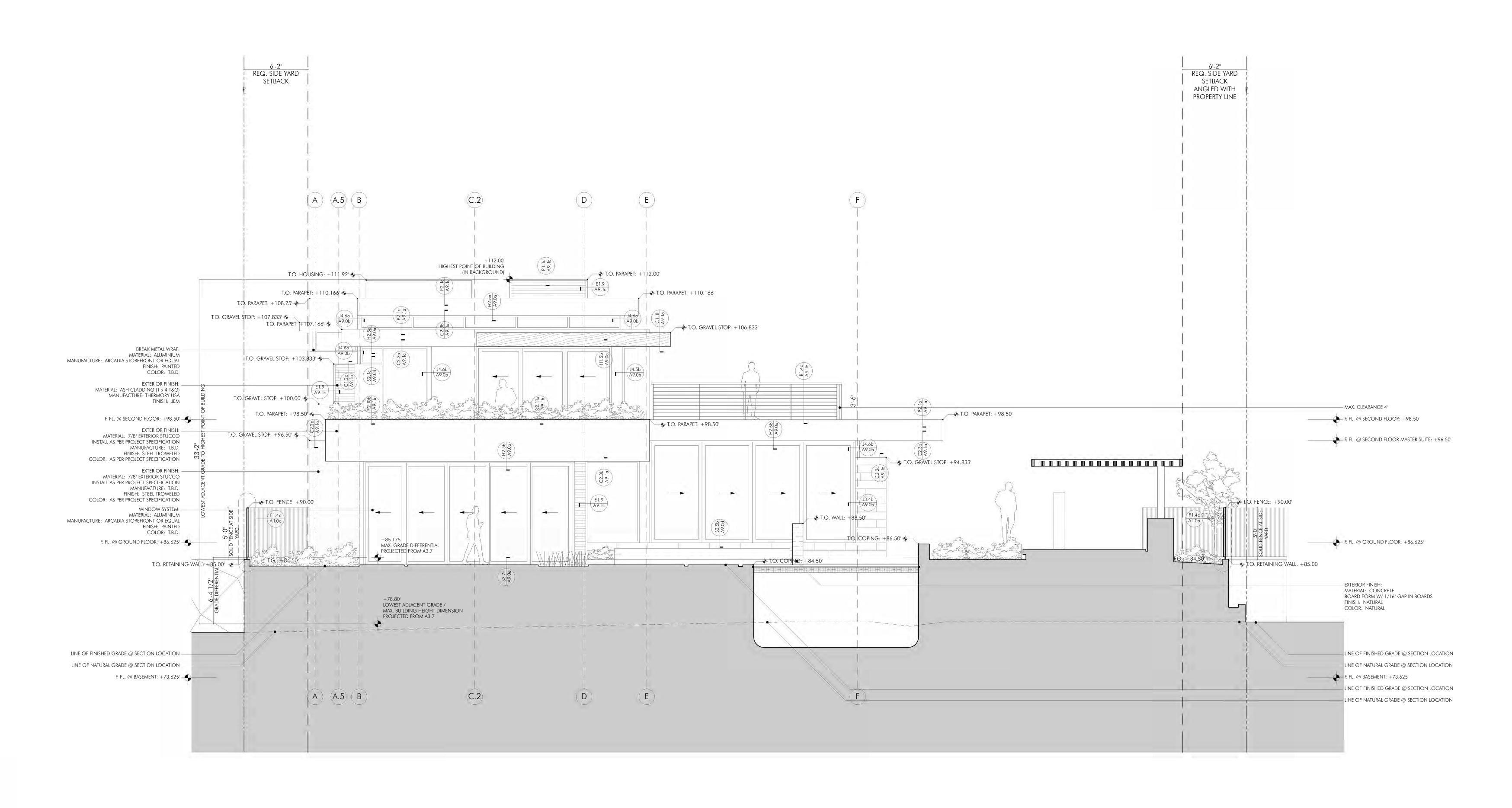
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PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 SOUTH ELEVATION 1/4" = 1' - 0"

A2.2

Sheet No. 25 / 62



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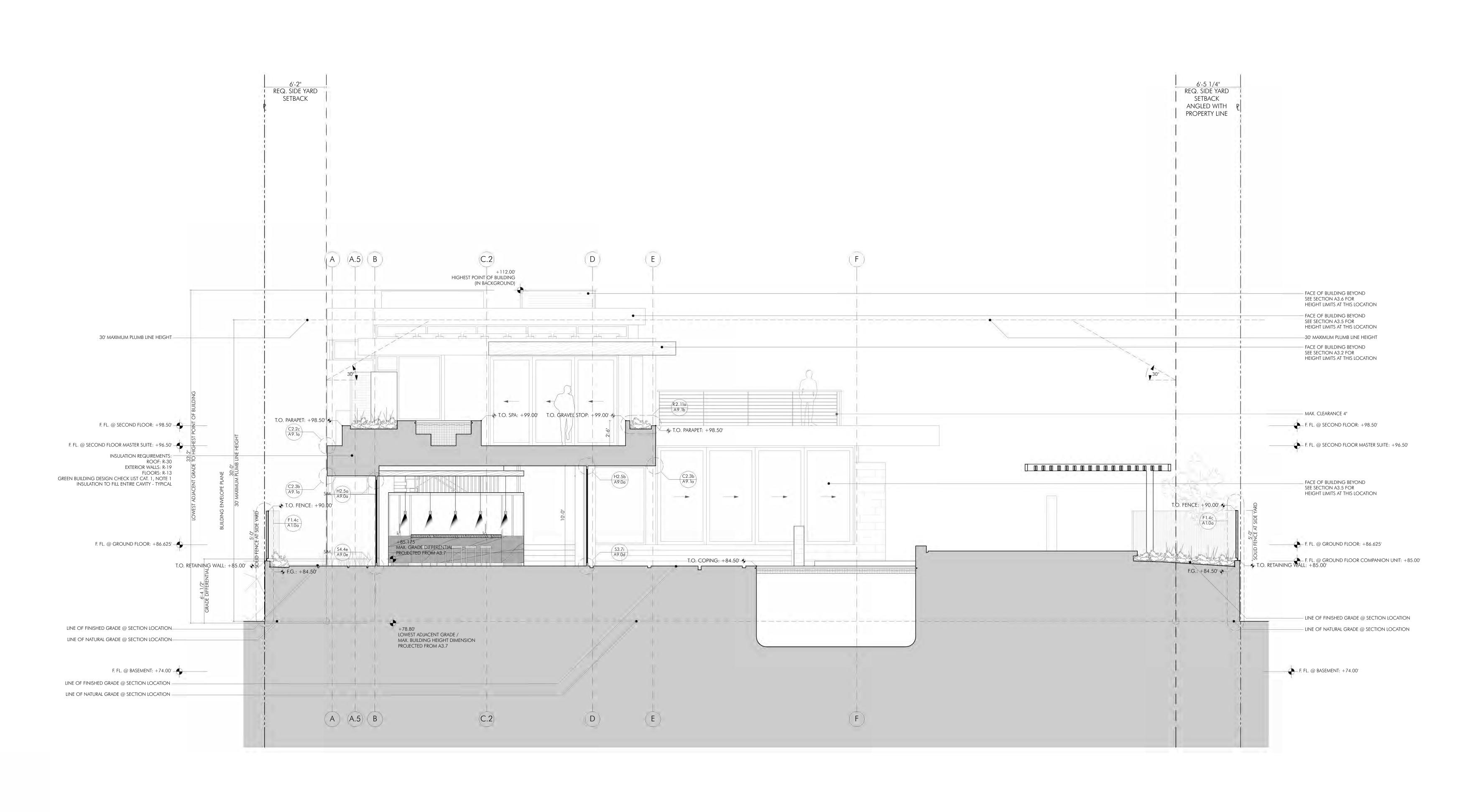
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WEST ELEVATION 1/4" = 1' - 0" A2.3

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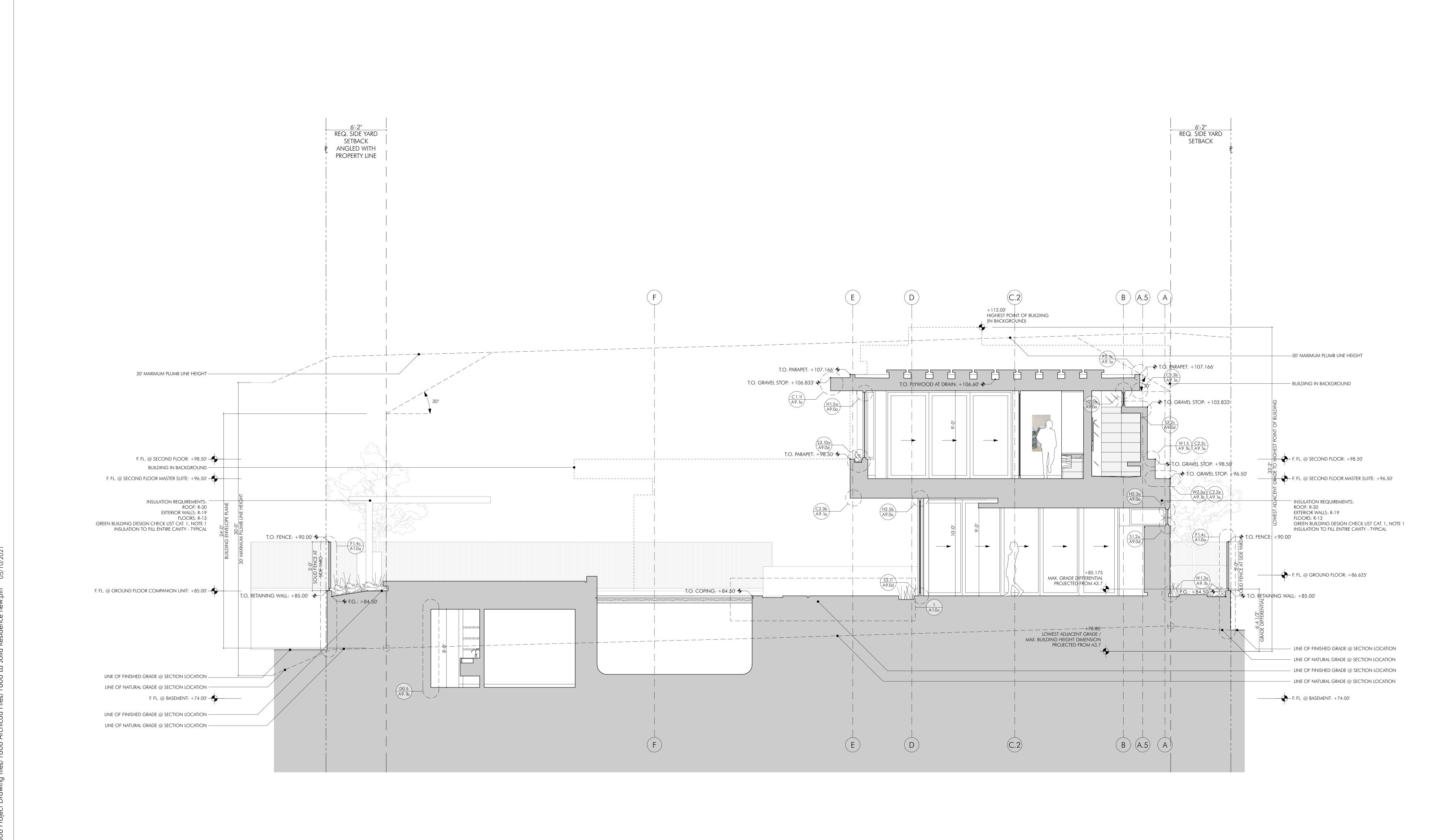
PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 BUILDING SECTION

1/4" = 1' - 0"

A3.1

Sheet No. 28 / 62



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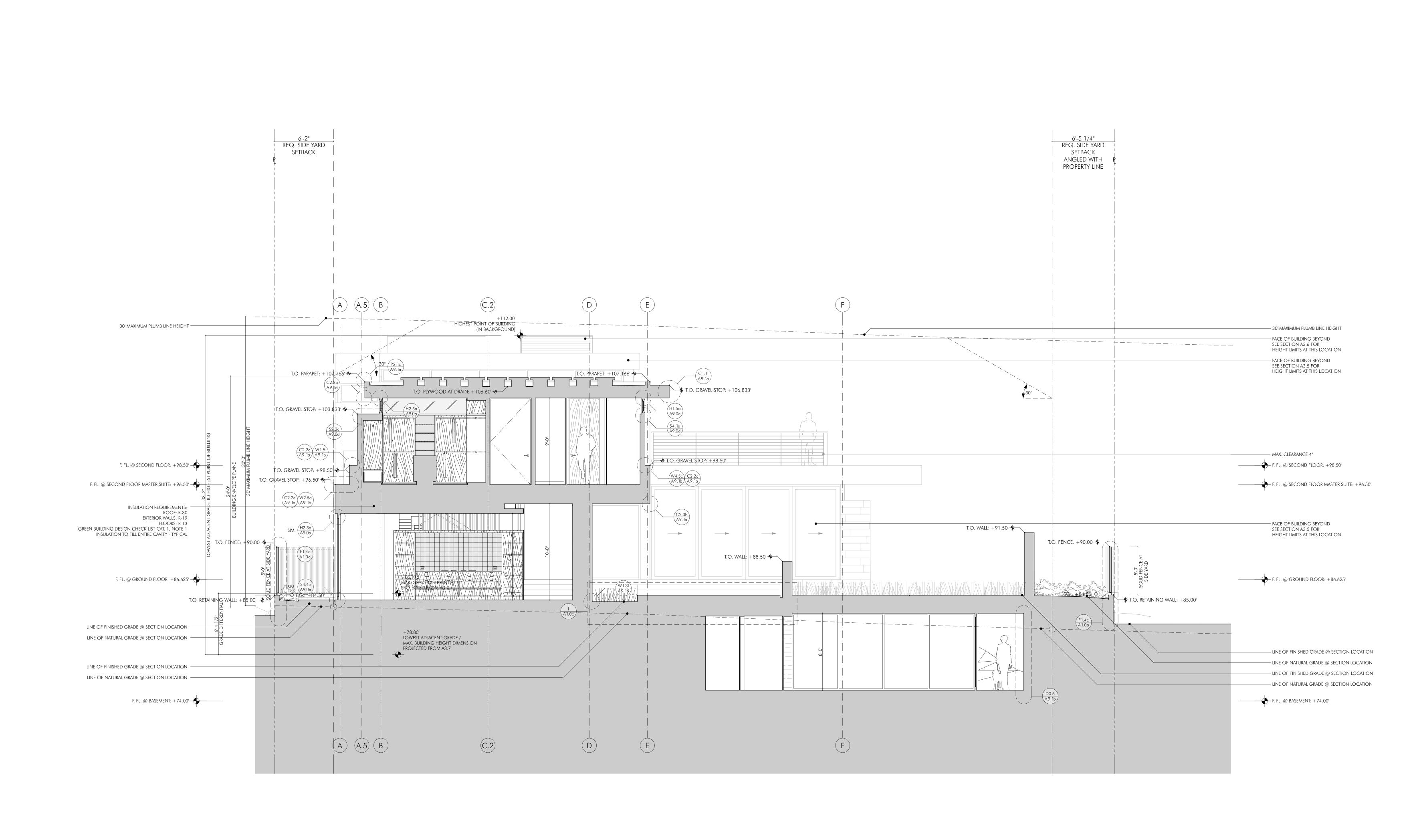
PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 BUILDING SECTION

1/4" = 1' - 0"

A3.2

Sheet No. 29 / 62



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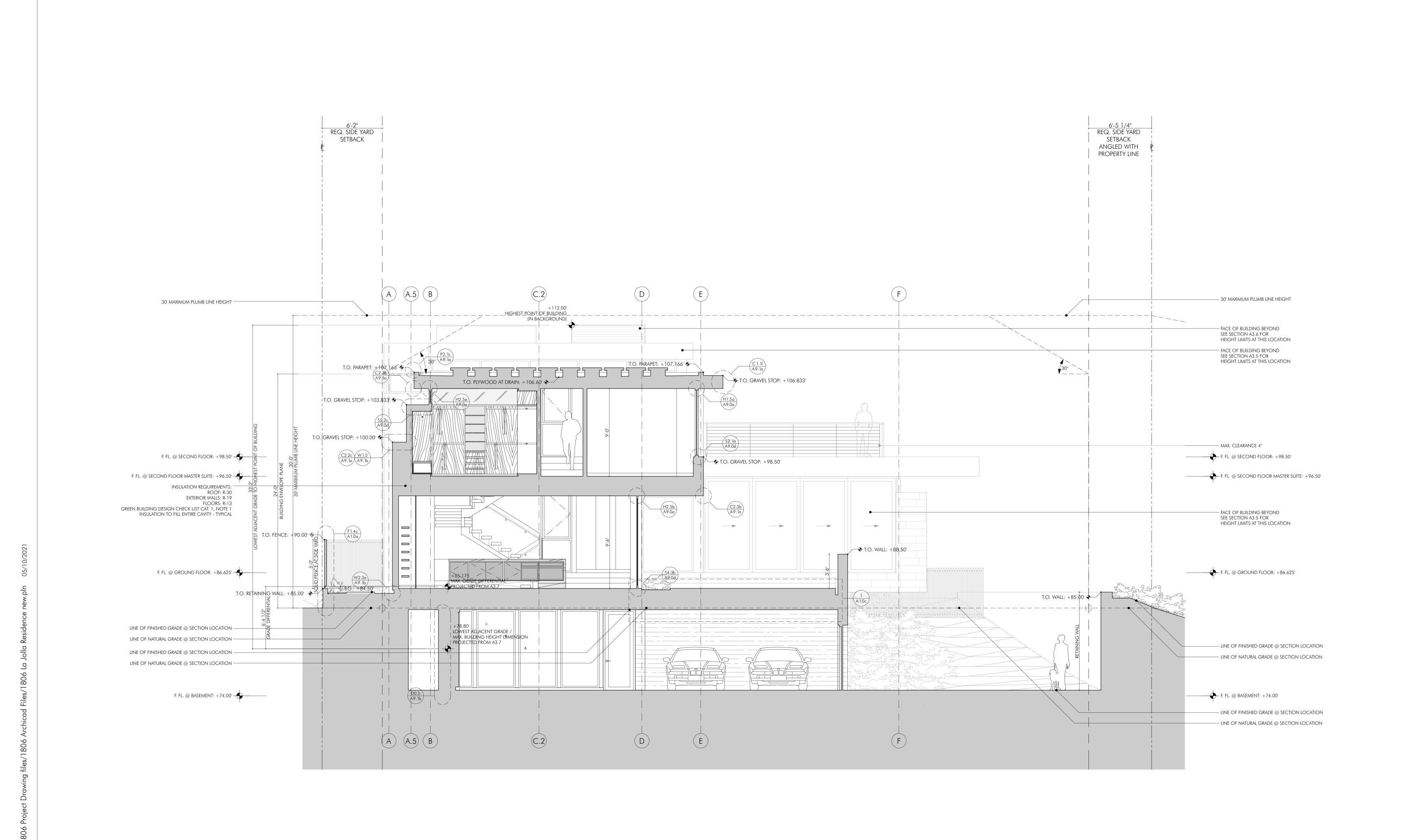
PROJECT LOG:

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1/4" = 1' - 0"

A3.3

Sheet No. 30 / 62



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PROJECT LOG:

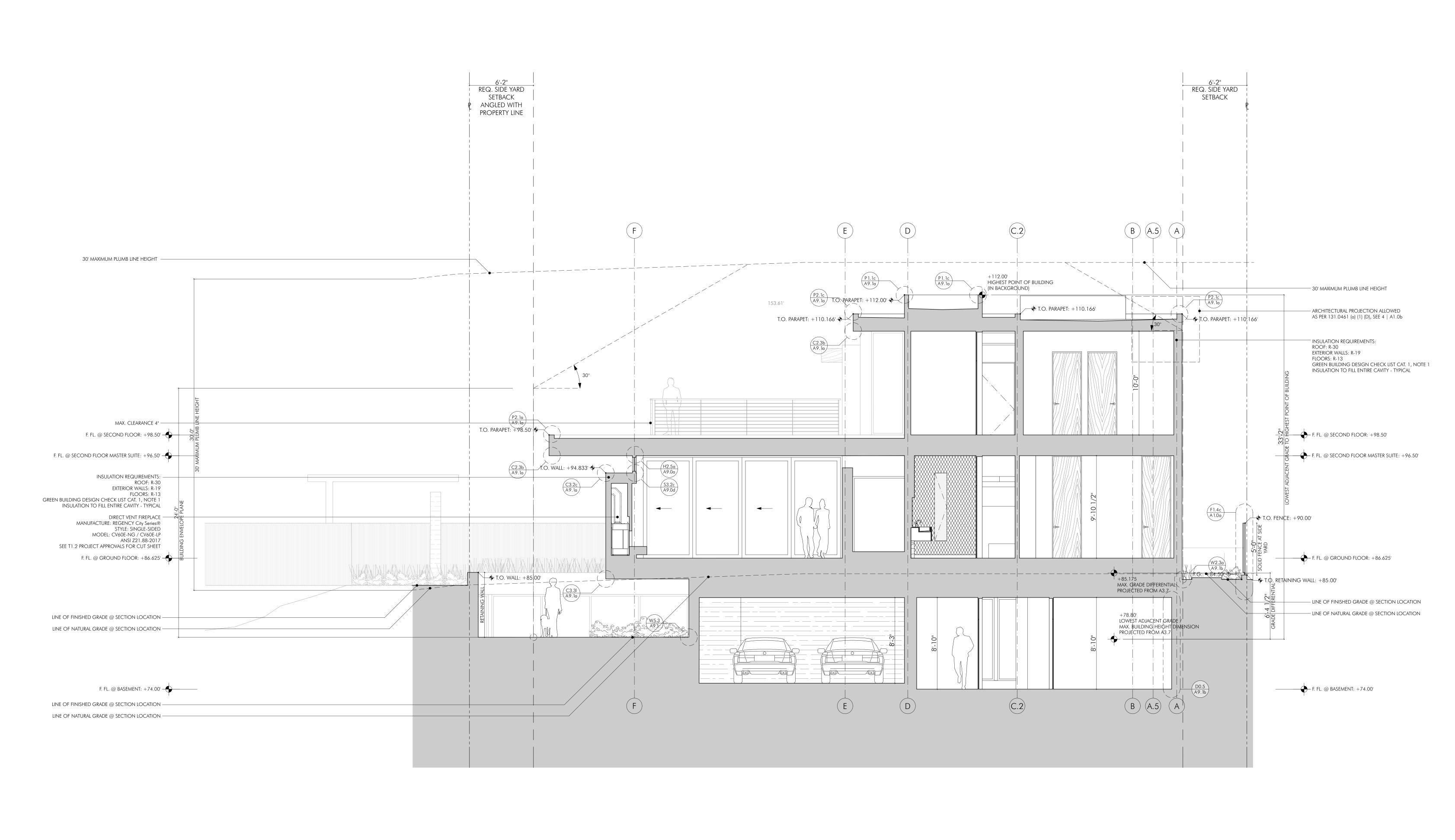
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A3.4

Sheet No. 31 / 62

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Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037		REO SIDE YARD SETEACK
BUILDING SECTION  1/4" = 1' - 0"  A3.5  Sheet No. 32 / 62	CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND	



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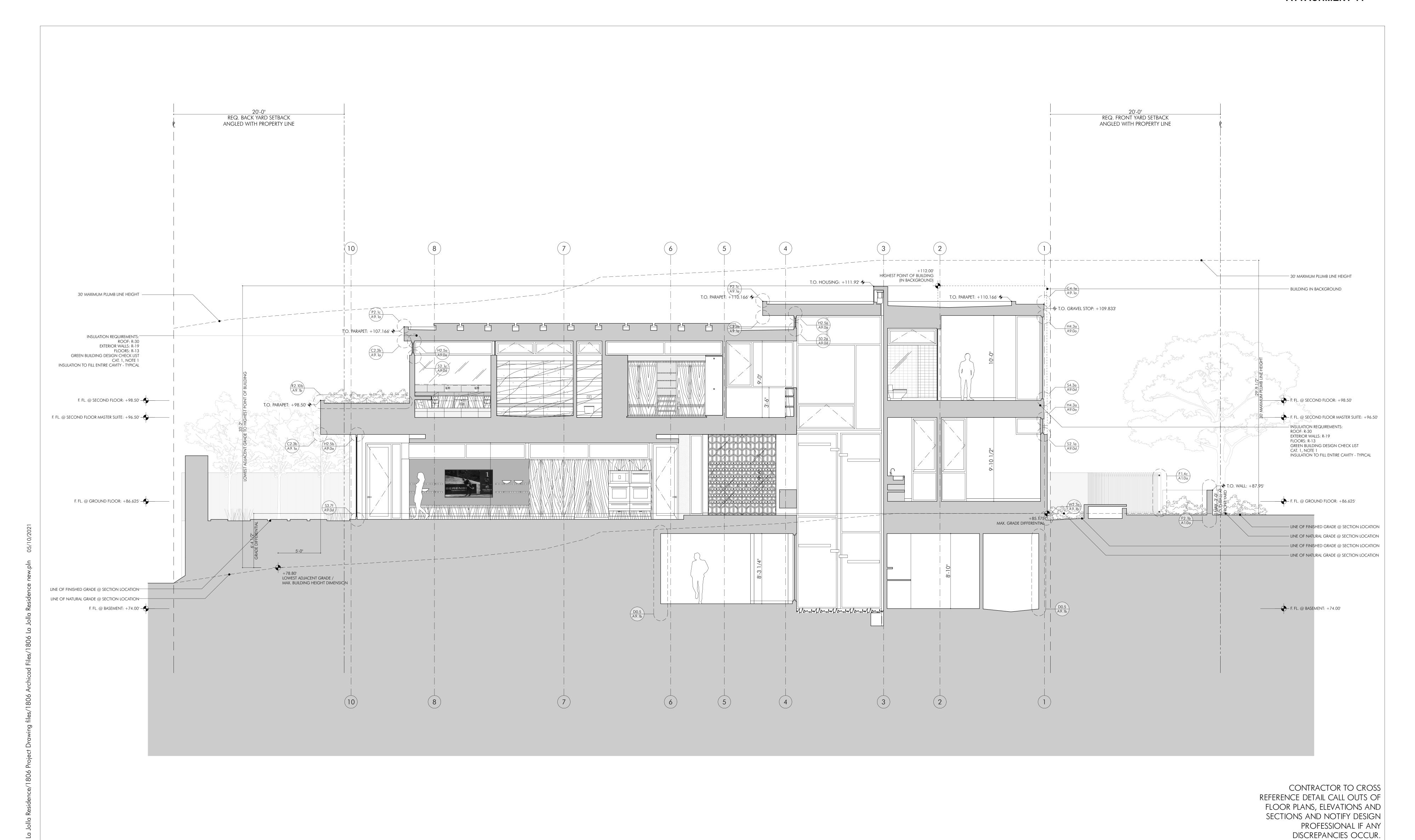
PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 BUILDING SECTION

1/4" = 1' - 0"

A3.6

Sheet No. 33 / 62



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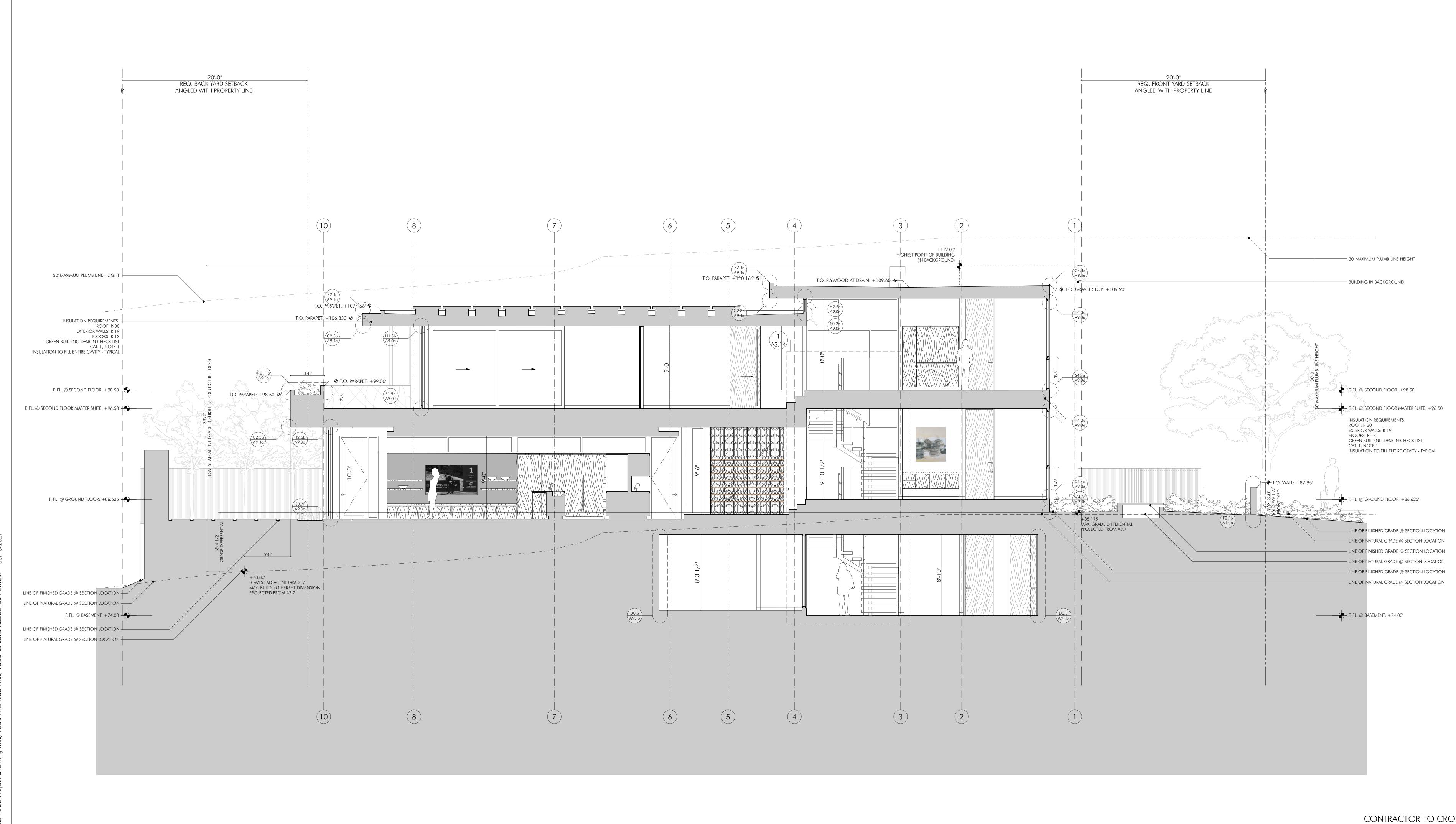
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BUILDING SECTION

A3.7

1/4" = 1' - 0"

Sheet No. 34 / 62



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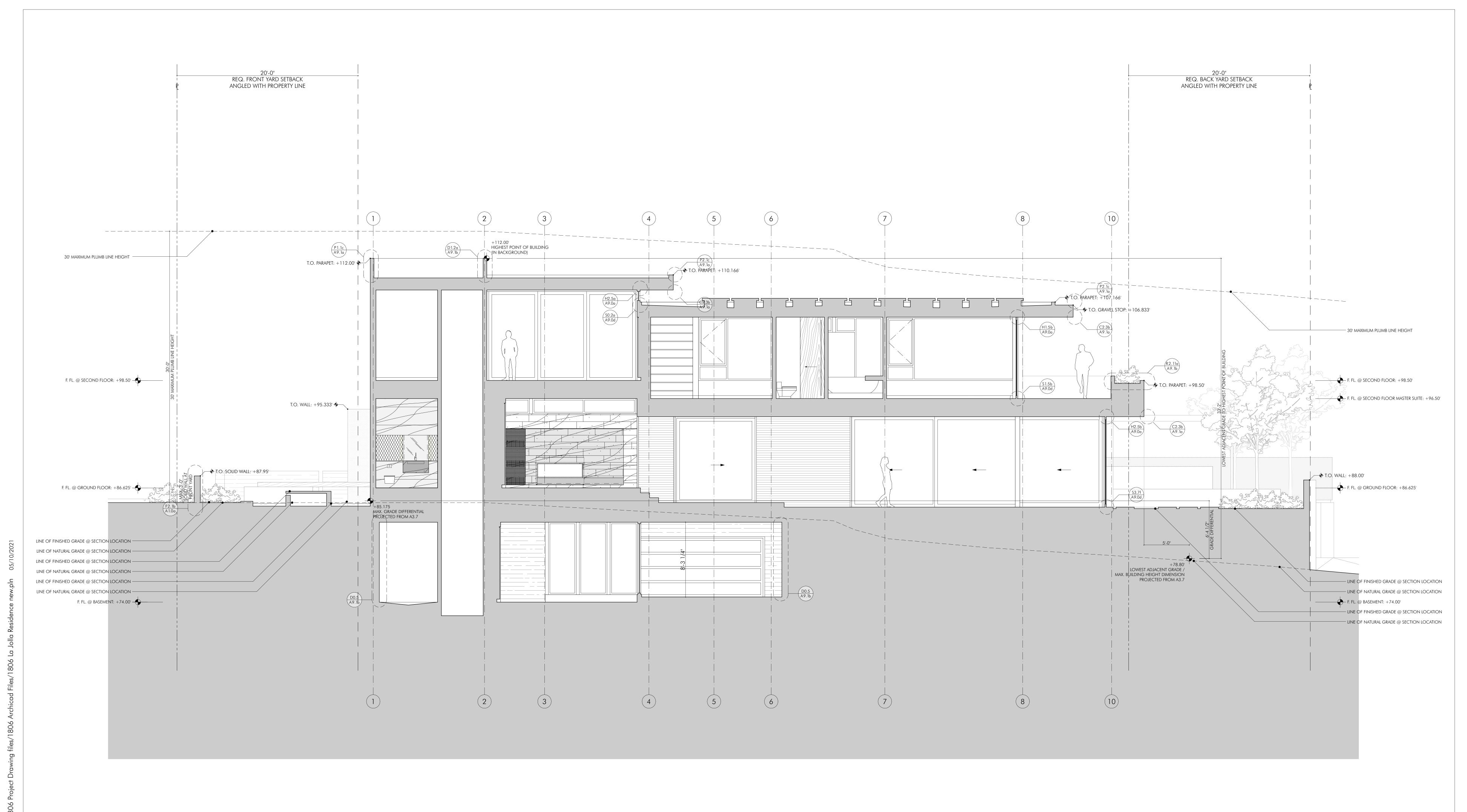
PROJECT LOG:

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A3.8

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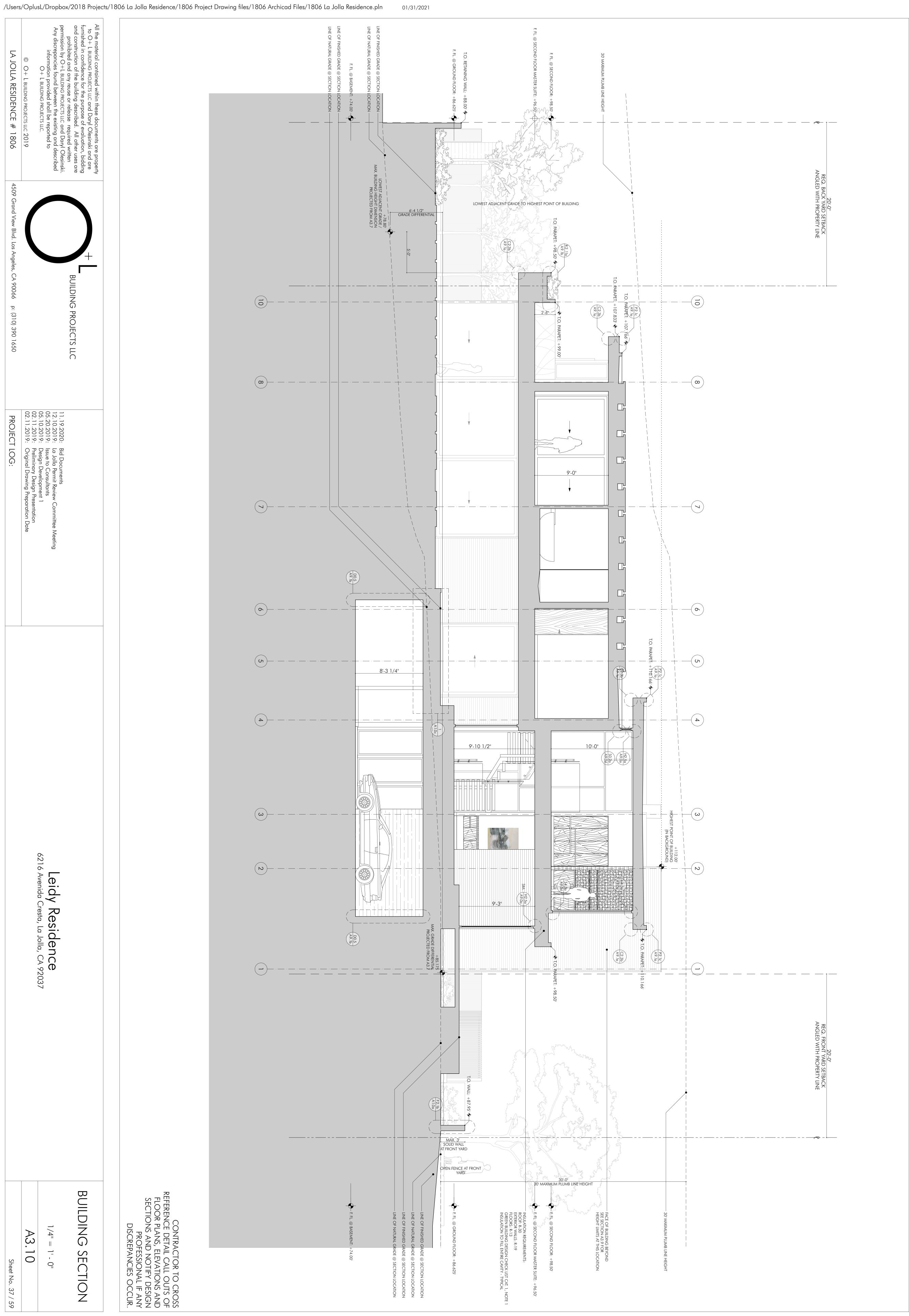
PROJECT LOG:

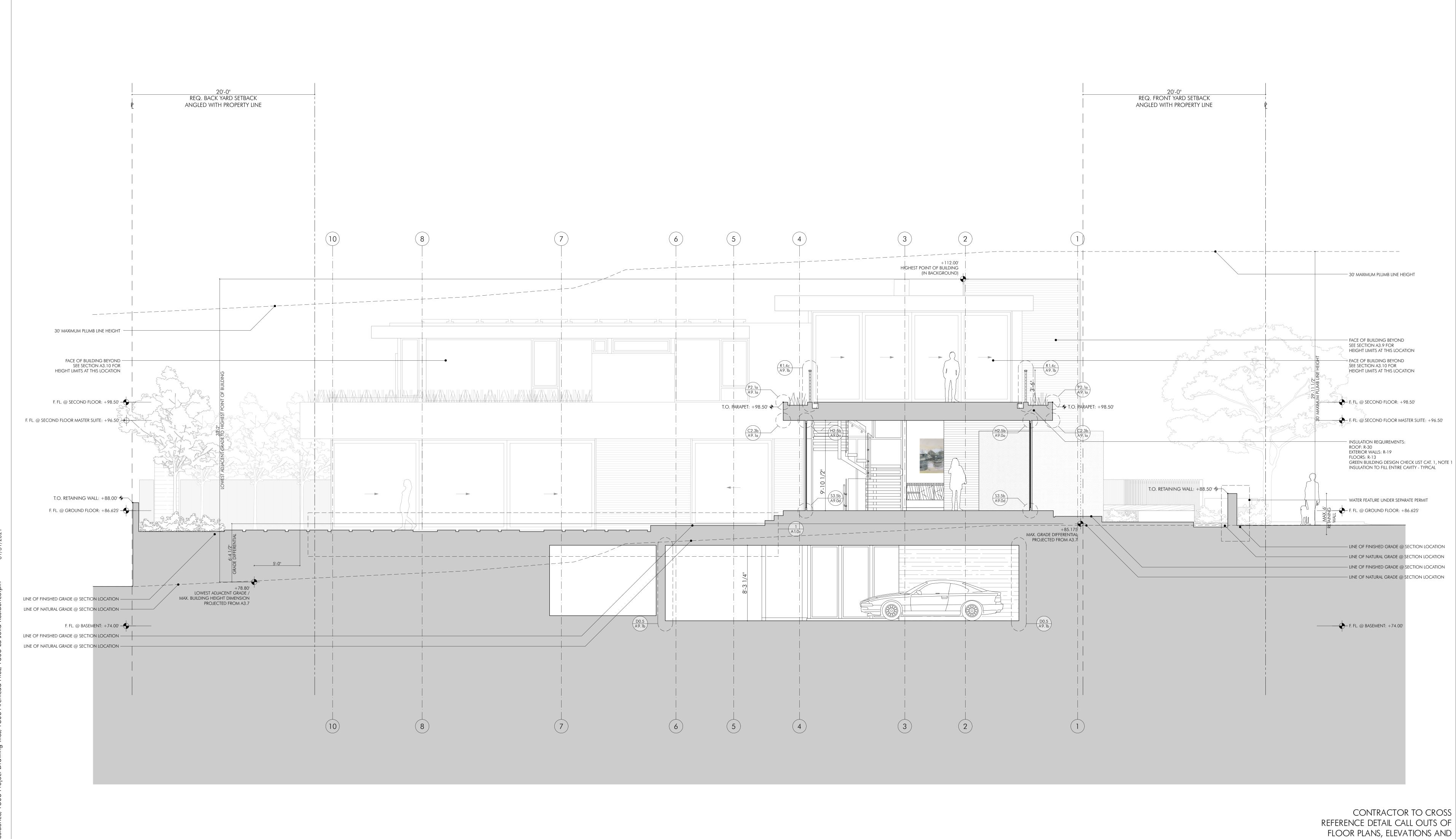
Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 BUILDING SECTION

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A3.9

Sheet No. 36 / 62





SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.

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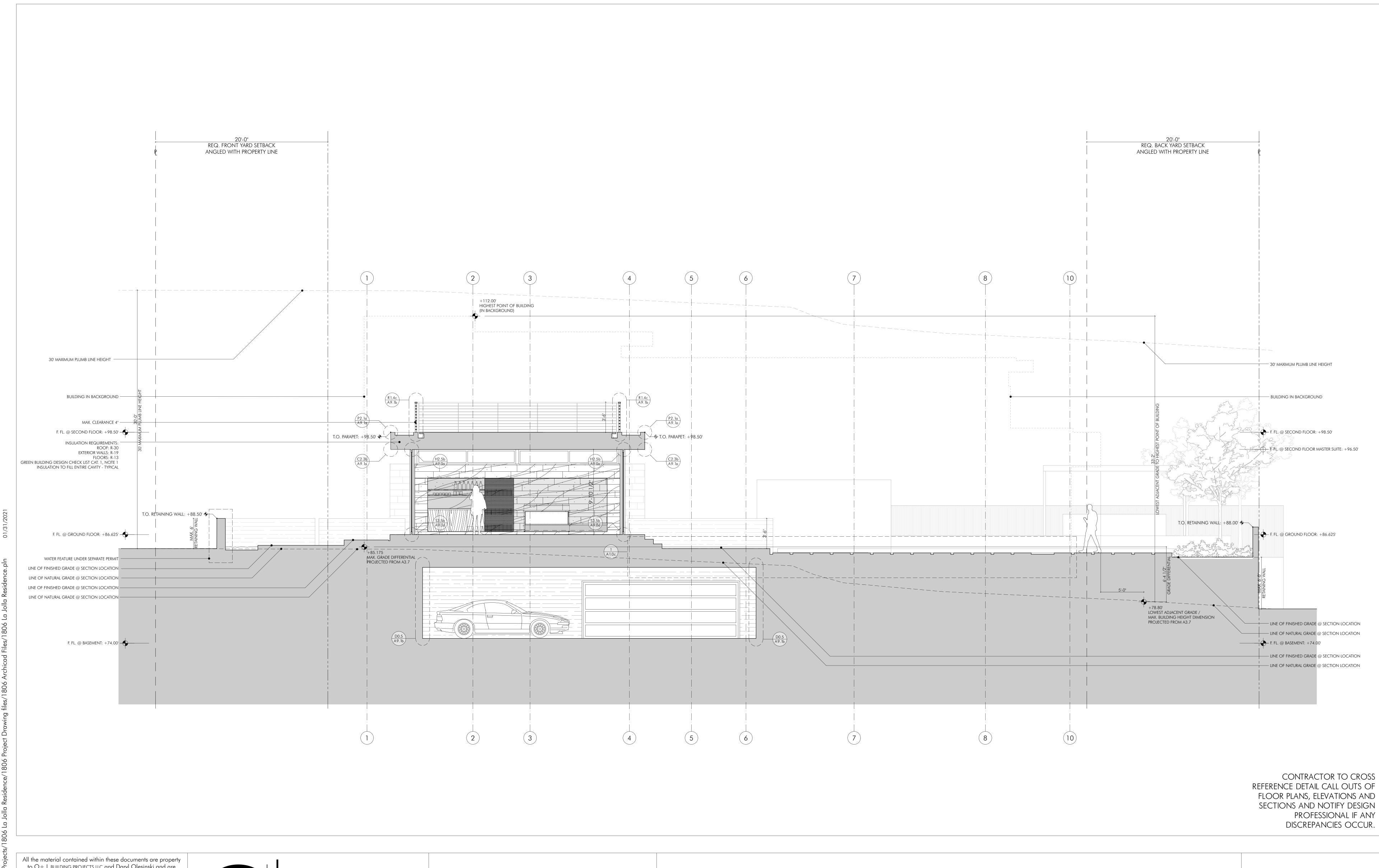
Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037

BUILDING SECTION

1/4" = 1' - 0"

A3.11

Sheet No. 38 / 59



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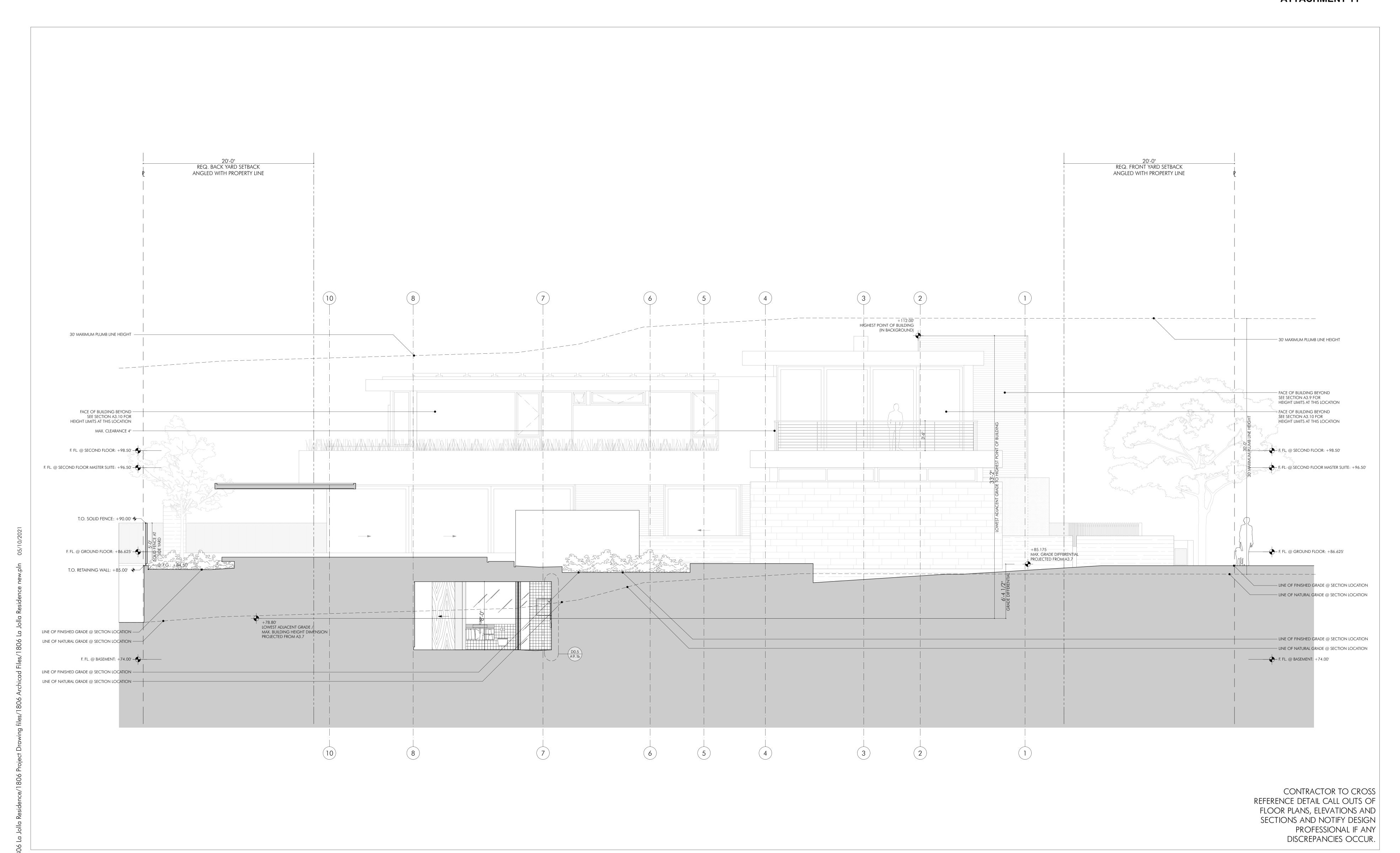
PROJECT LOG:

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 BUILDING SECTION

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A3.12

Sheet No. 39 / 59



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Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037 BUILDING SECTION

1/4" = 1' - 0"

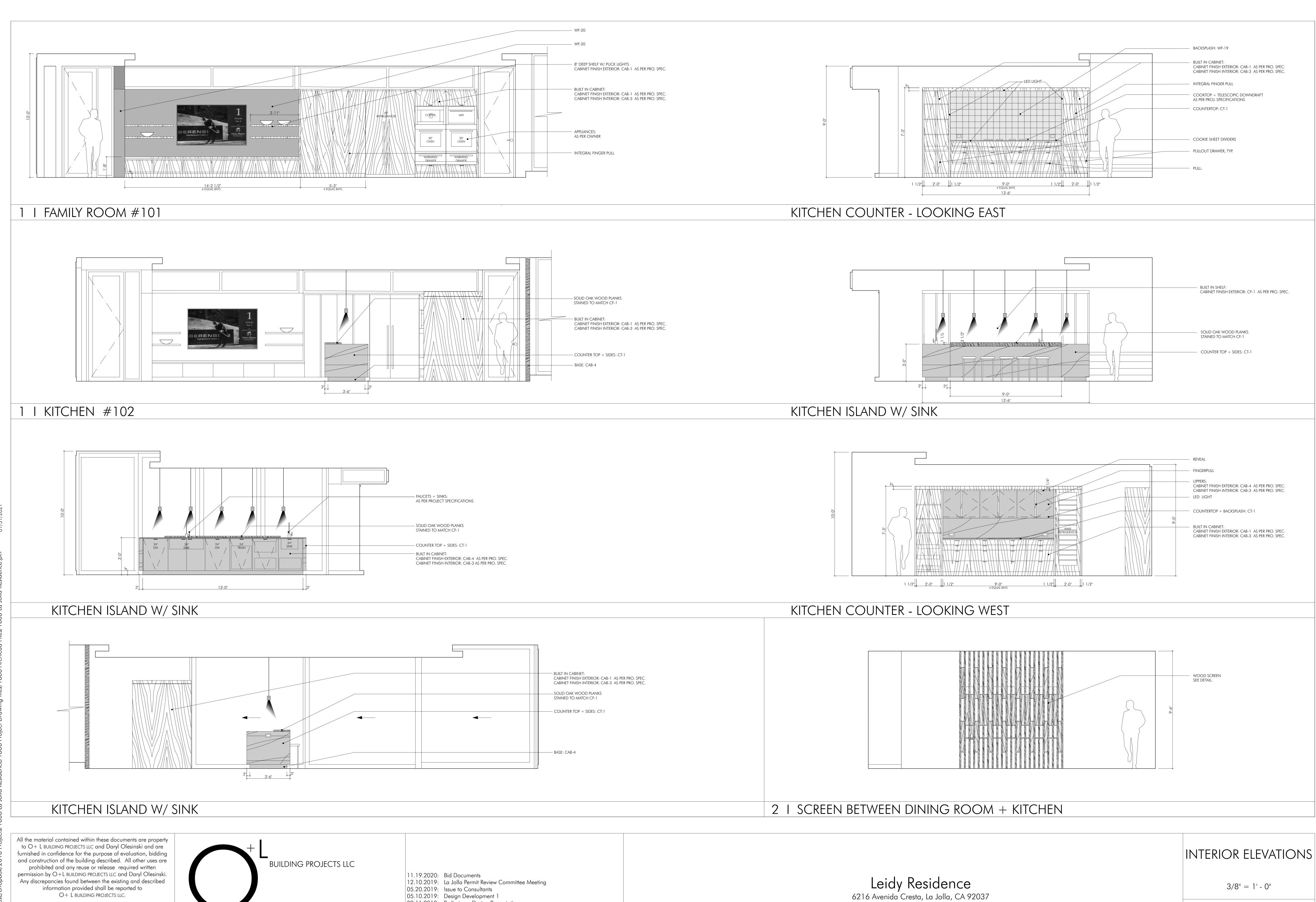
A3.13

Sheet No. 40 / 62

3/8" = 1' - 0"

A5.0

Sheet No. 42 / 59



05.20.2019: Issue to Consultants

PROJECT LOG:

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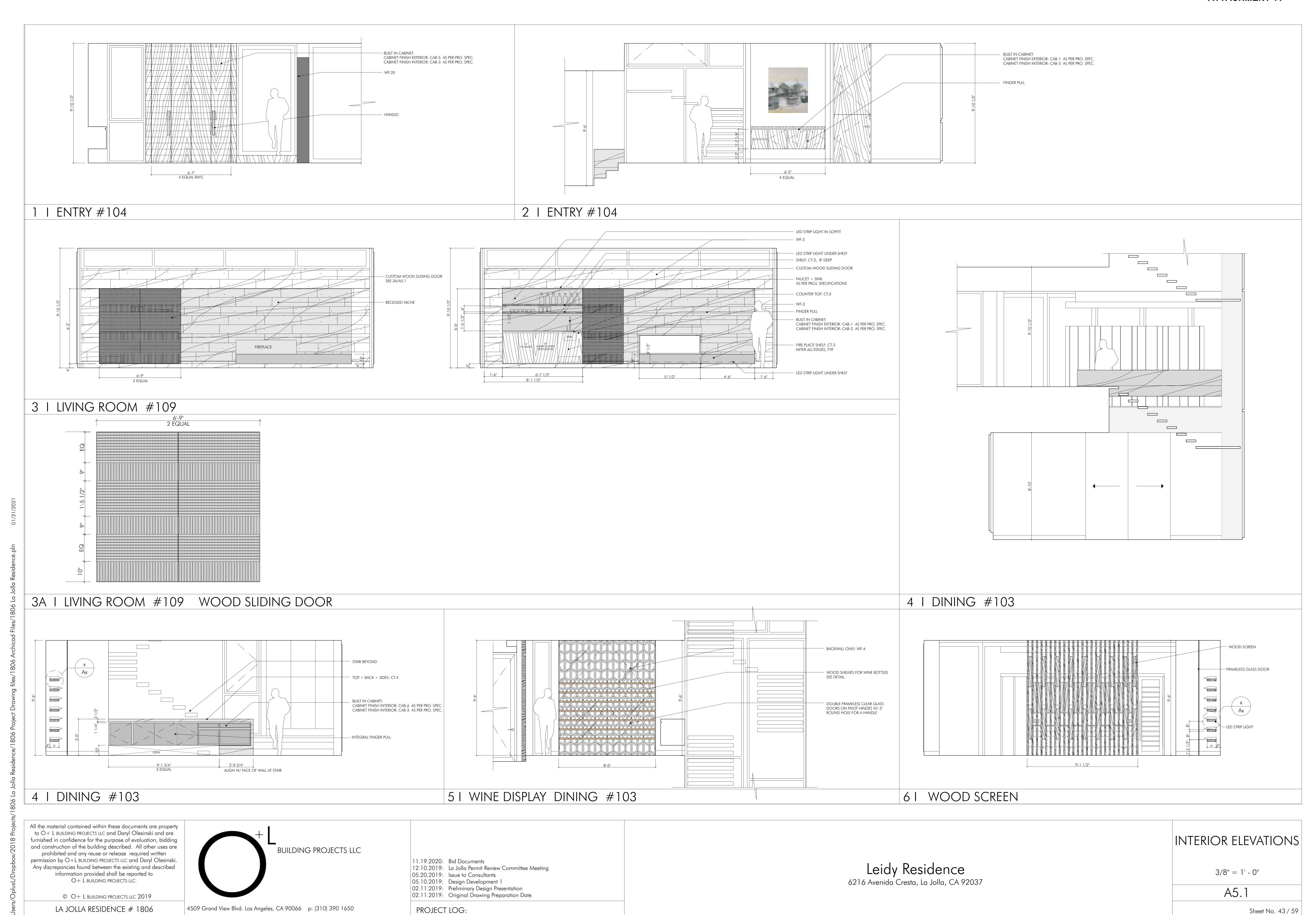
information provided shall be reported to

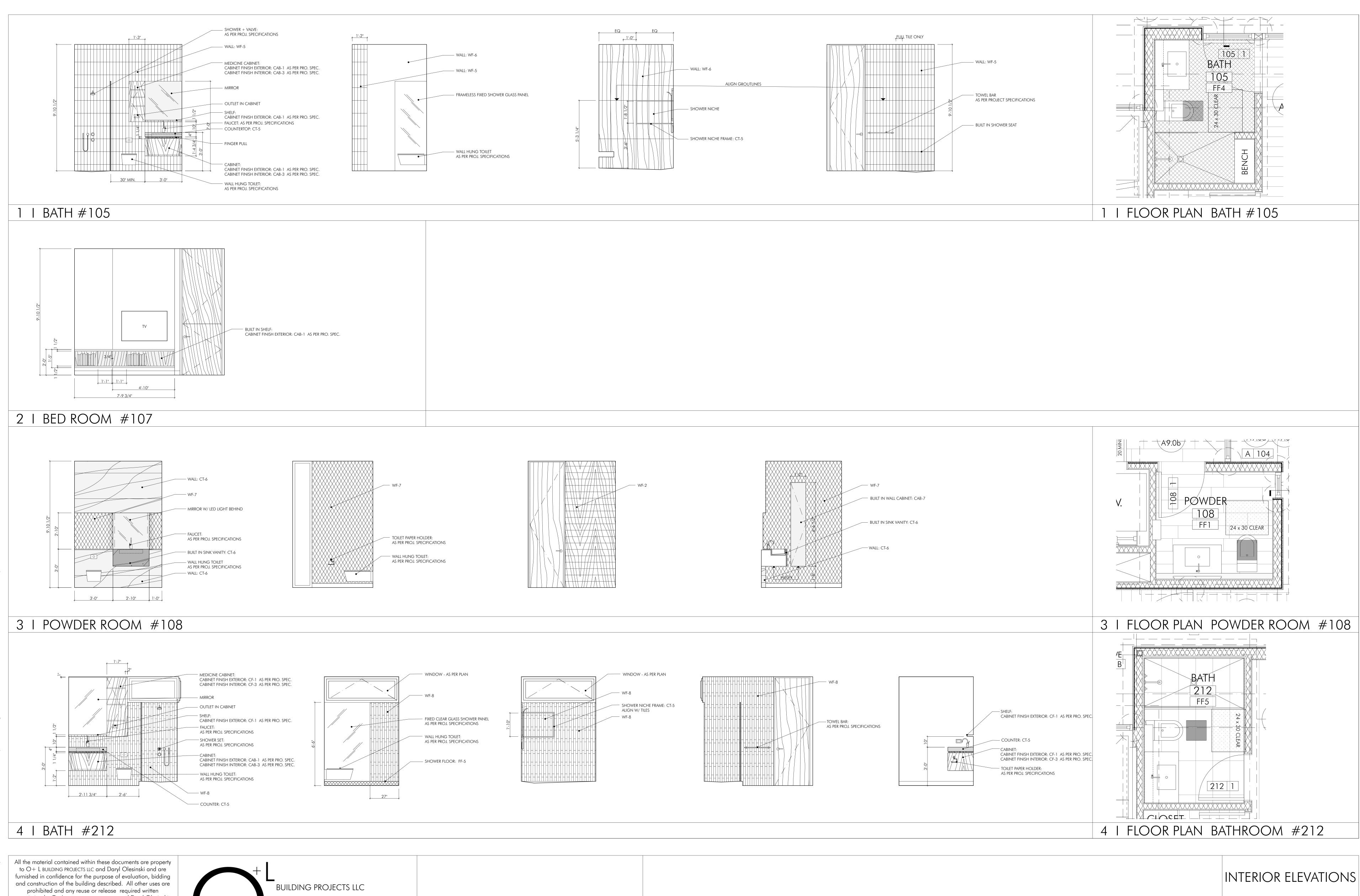
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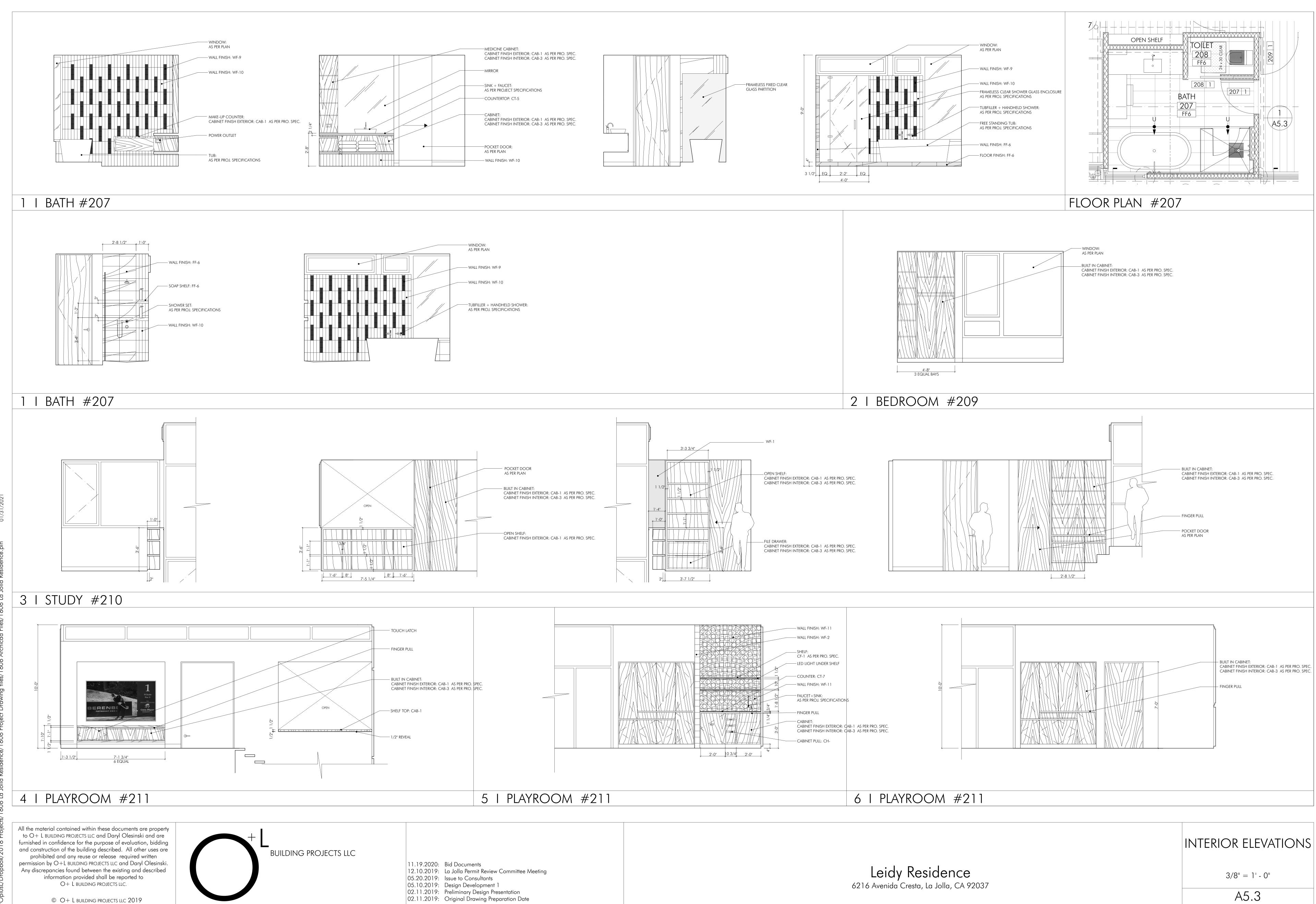
3/8" = 1' - 0" A5.2

Sheet No. 44 / 59

Leidy Residence 6216 Avenida Cresta, La Jolla, CA 92037

A5.3

Sheet No. 45 / 59



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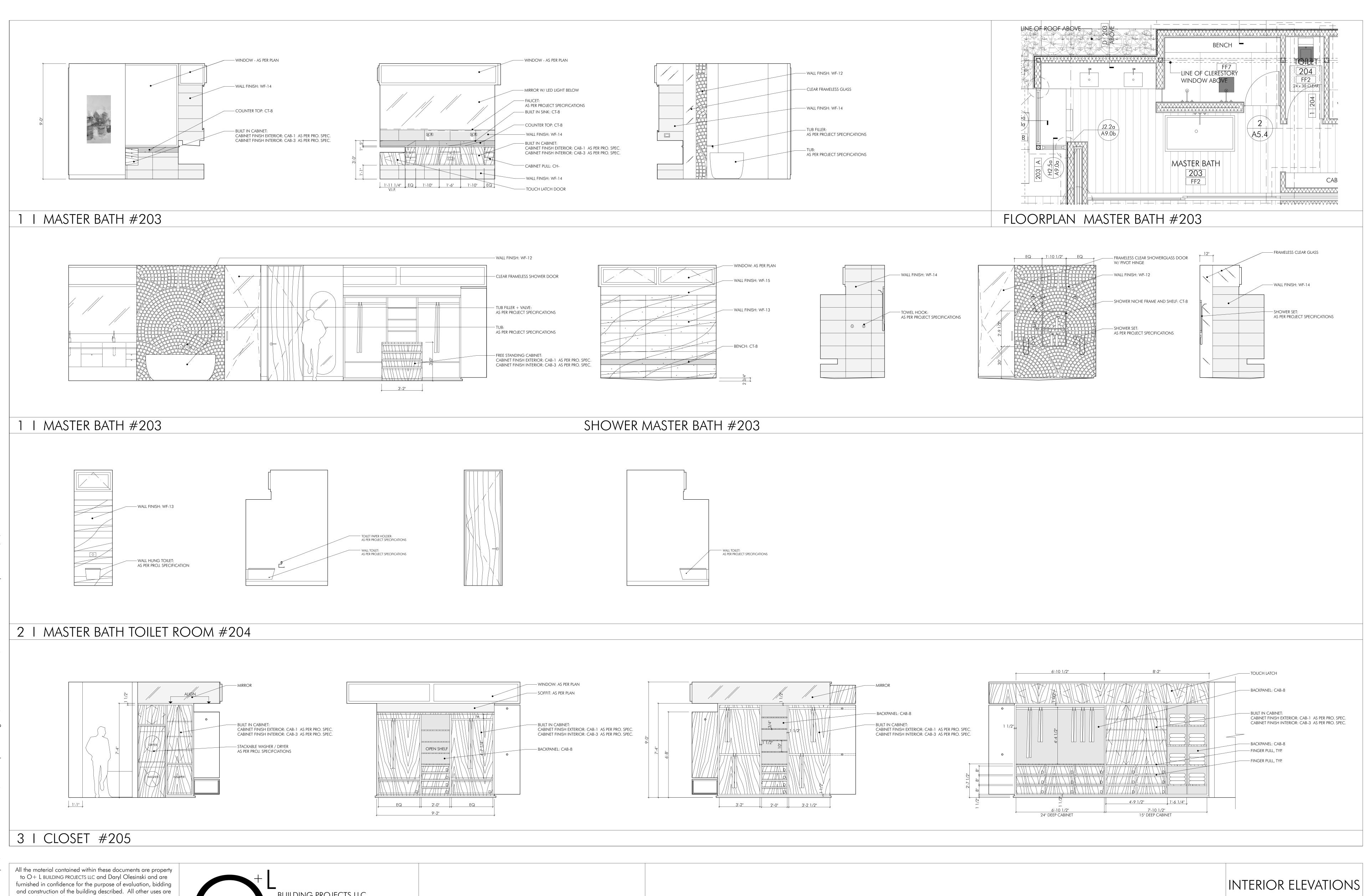
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PROJECT LOG:

3/8" = 1' - 0"

A5.4

Sheet No. 46 / 59



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PROJECT LOG:

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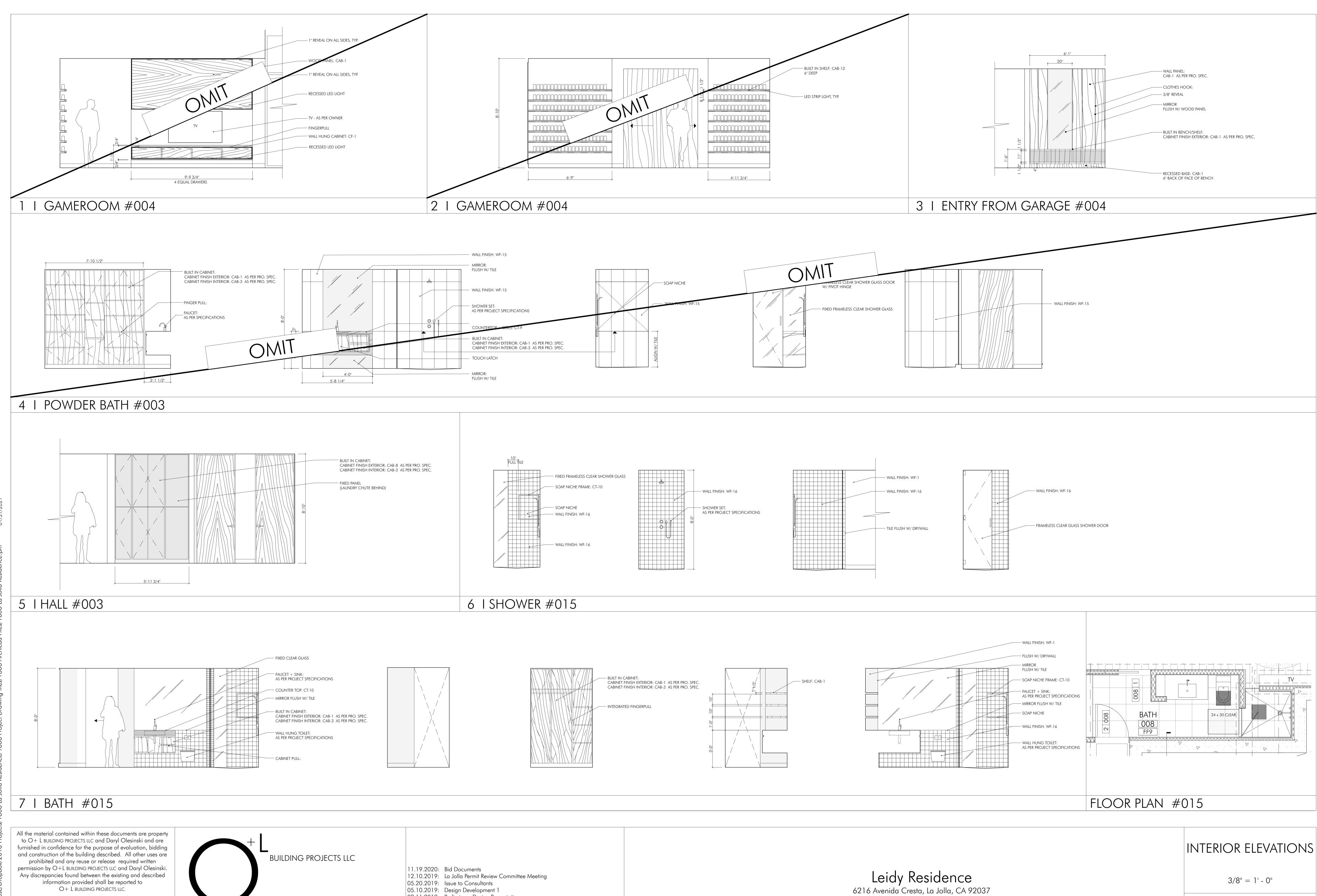
05.10.2019: Design Development 1 02.11.2019: Preliminary Design Presentation

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A5.5

Sheet No. 47 / 59



05.10.2019: Design Development 1 02.11.2019: Preliminary Design Presentation

PROJECT LOG:

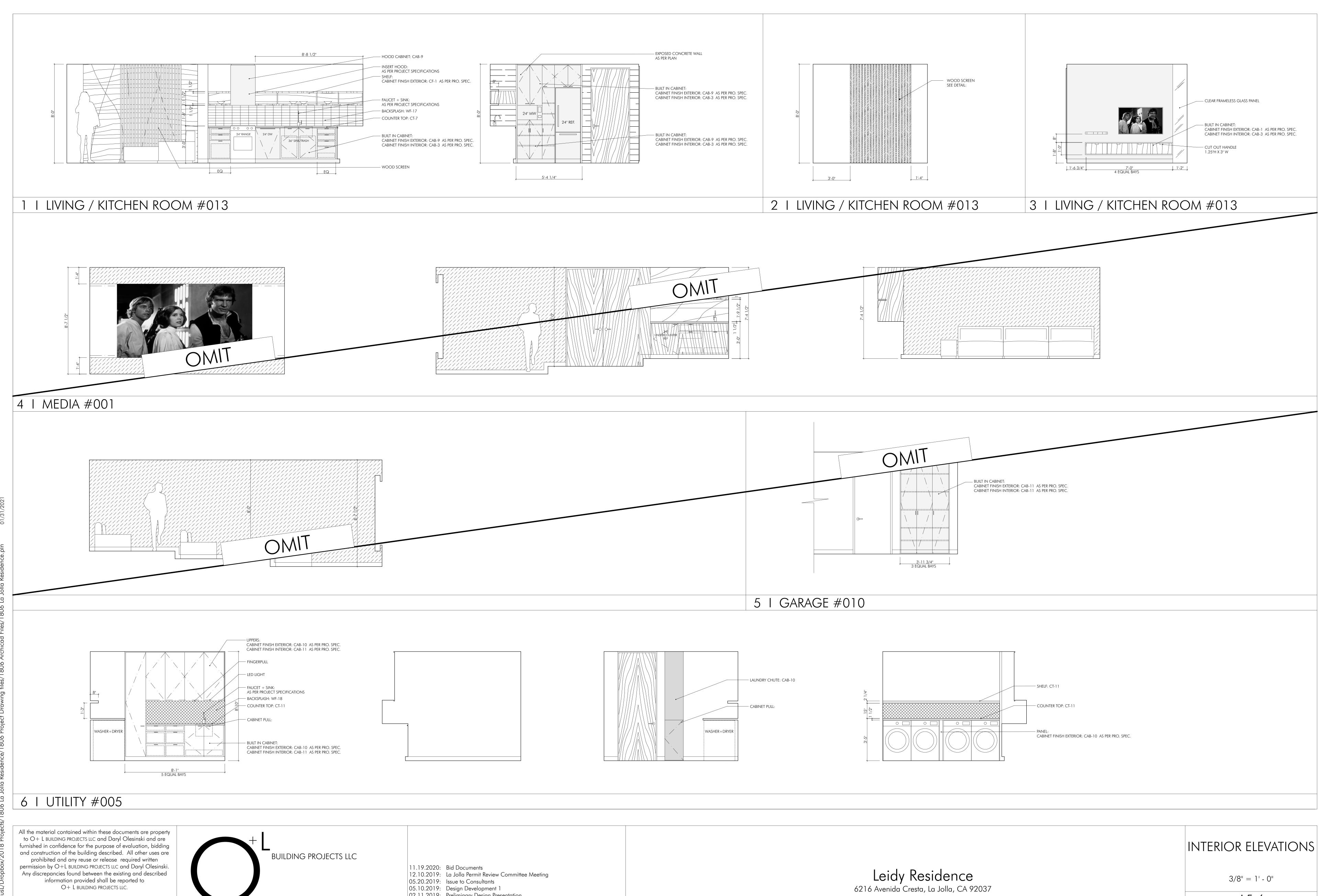
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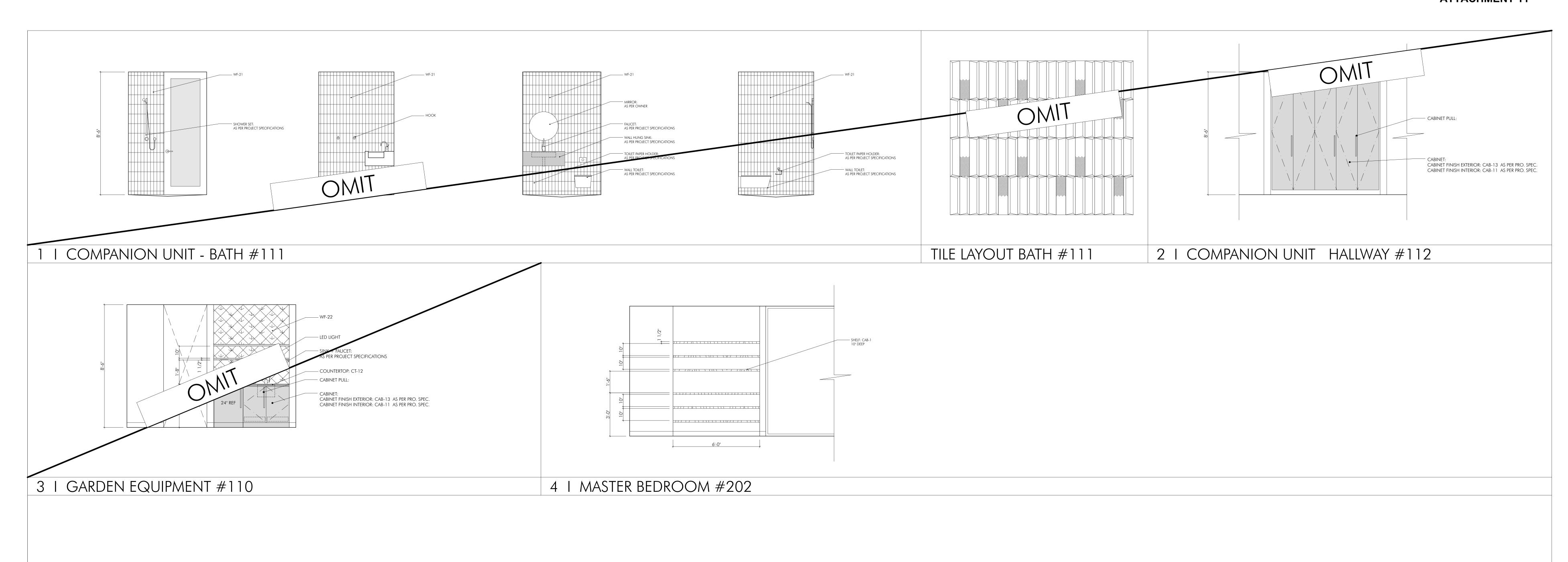
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A5.6 Sheet No. 48 / 59



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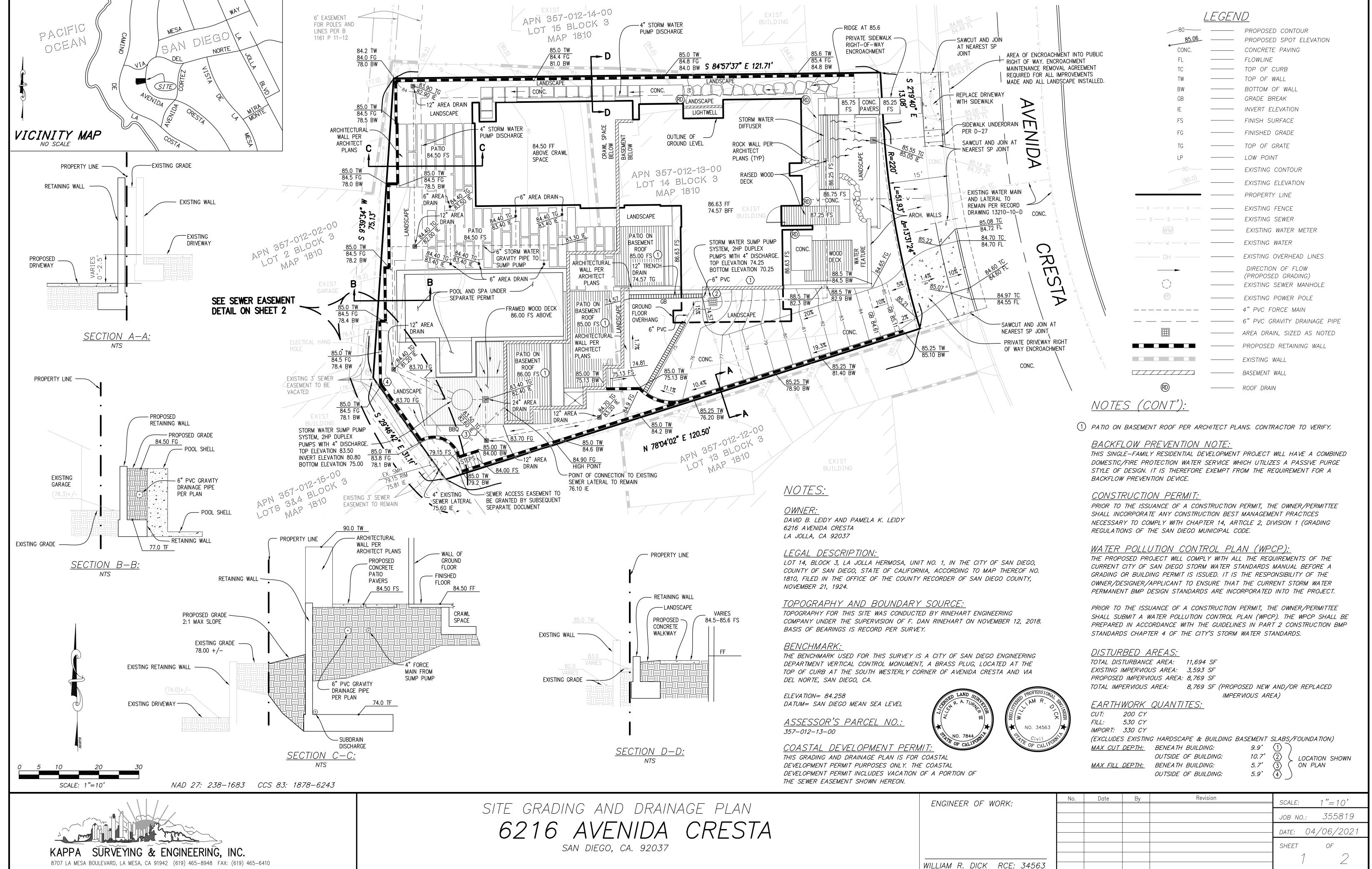
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INTERIOR ELEVATIONS 3/8" = 1' - 0"

A5.7

Sheet No. 49 / 59



5819 AVENIDA CRESTA

## Storm Water Requirements Applicability Checklist

Project Number: 639782 SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the <u>Storm Water Standards Manual</u>. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP)<sup>1</sup>, which is administered by the State Regional Water Quality Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

## PART A: Determine Construction Phase Storm Water Requirements.

Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)

Yes; SWPPP required, skip questions 2-4 No; next question

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?

Yes; WPCP required, skip questions 3-4 No; next question

Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)

Yes; WPCP required, skip question 4 No; next question 4. Does the project only include the following Permit types listed below?

Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit,

Individual Right of Way Permits that exclusively include only ONE of the following activities: water service,

Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.

Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2.

More information on the City's construction BMP requirements as well as CGP requirements can be found at:

Printed on recycled paper. Visit our web site at <a href="https://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a>. Upon request, this information is available in alternative formats for persons with disabilities.

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

## PART B: Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

a. Projects located in the ASBS watershed.

High Priority

> a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed.

Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.

Medium Priority

a. Projects that are not located in an ASBS watershed or designated as a High priority site. b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS

c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.

Low Priority

a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS

SECTION 2. Permanent Storm Water BMP Requirements.

Additional information for determining the requirements is found in the <a href="Storm Water Standards Manual">Storm Water Standards Manual</a>.

PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the <u>Storm Water Standards Manual</u> are not subject to Permanent Storm Water

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

Does the project only include interior remodels and/or is the project entirely within an

existing enclosed structure and does not have the potential to contact storm water?

Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?

Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine ☐ Yes ☒ No replacement of damaged pavement (grinding, overlay, and pothole repair).

Clear Page 2

☐ Yes ☒ No

☐ Yes 区 No

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist PART D: PDP Exempt Requirements.

PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:

- Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
- Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or; Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual?

Yes; PDP exempt requirements apply No; next question

. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the <u>City's Storm Water Standards Manual</u>?

Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).

Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".

f "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, ☐Yes ☒No mixed-use, and public development projects on public or private land.

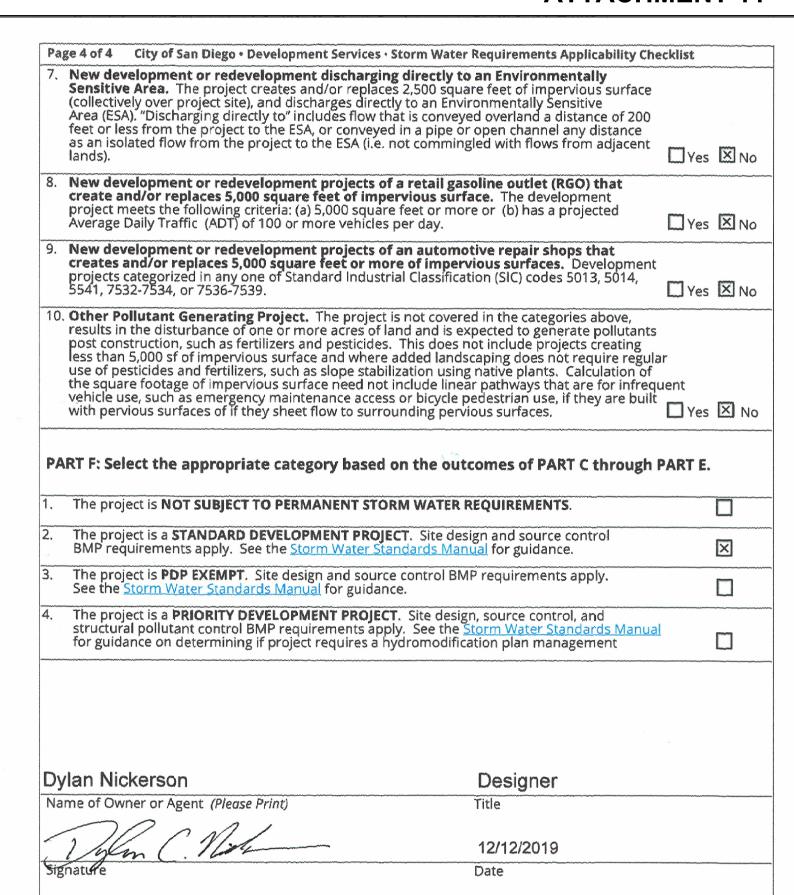
Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.

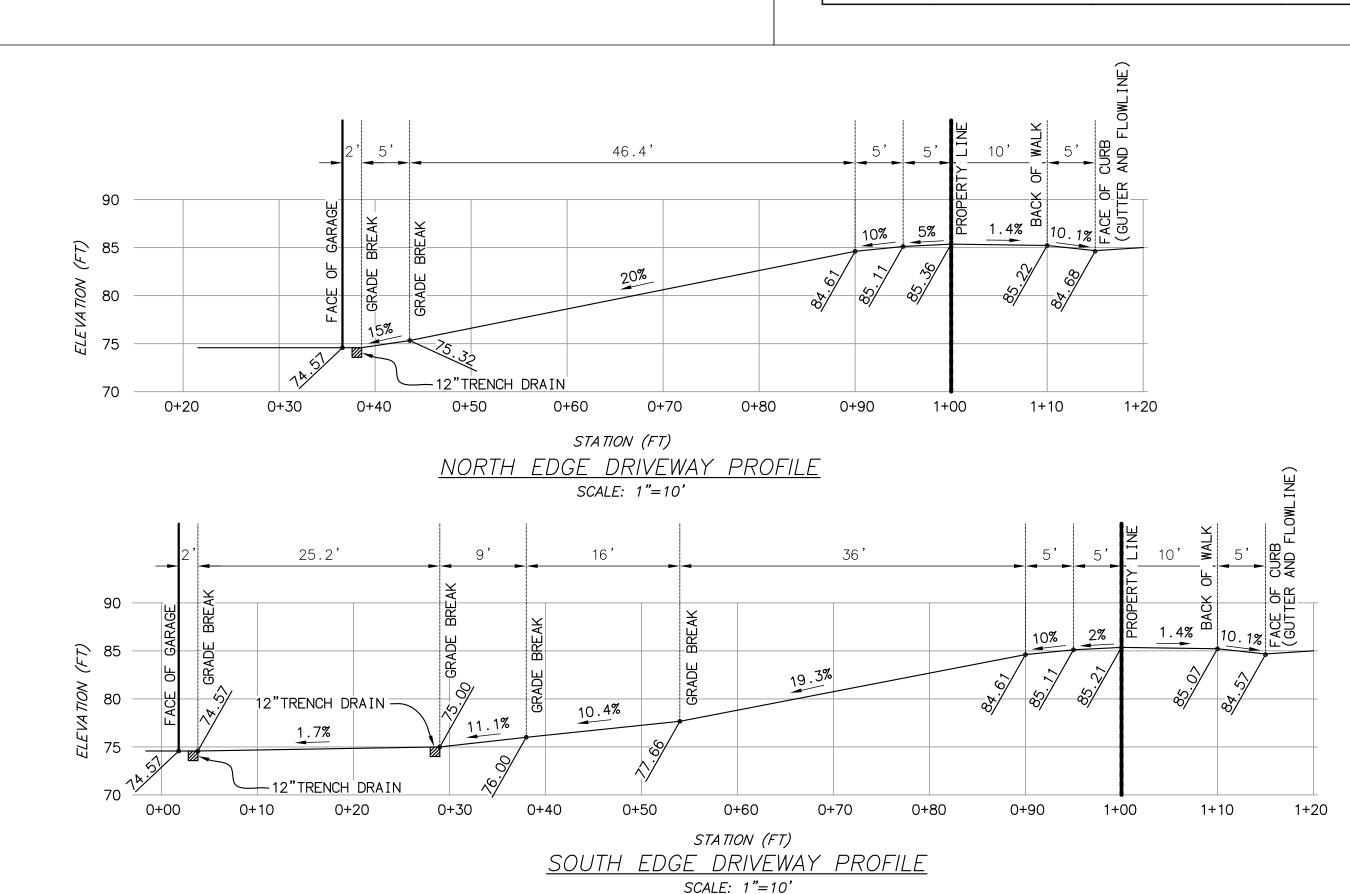
☐Yes ☒No New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface.

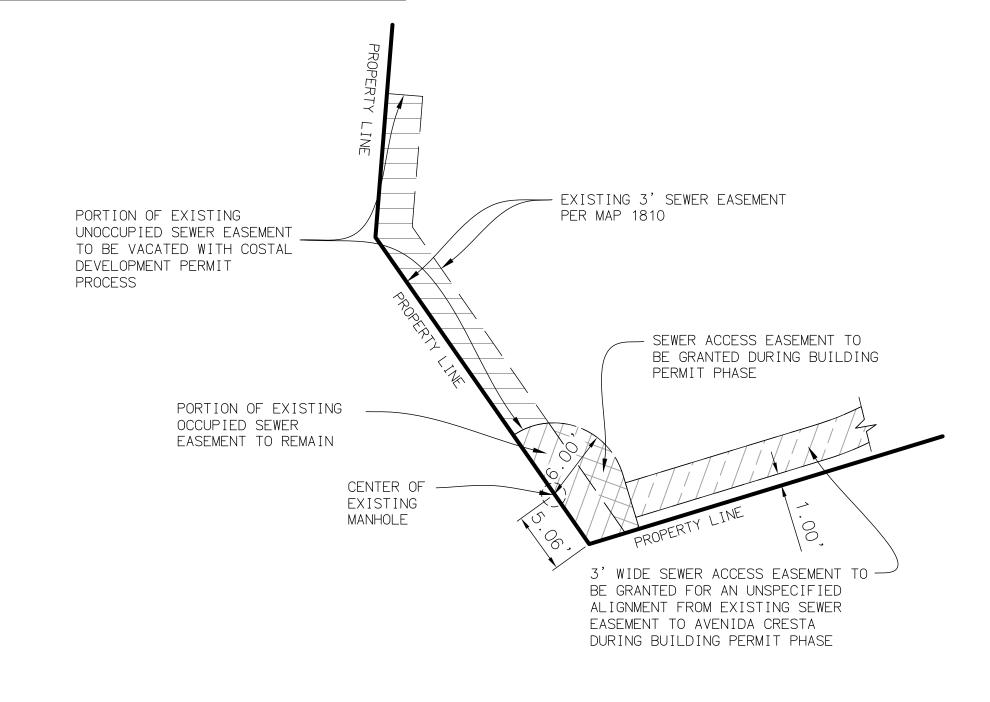
**New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where □Yes ⊠No the development will grade on any natural slope that is twenty-five percent or greater.

New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). □Yes ⊠No

New development or redevelopment of streets, roads, highways, freeways, and **driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). 🗆 Yes 🗵 No







SEWER EASEMENT DETAIL SCALE: 1"=8"

STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST

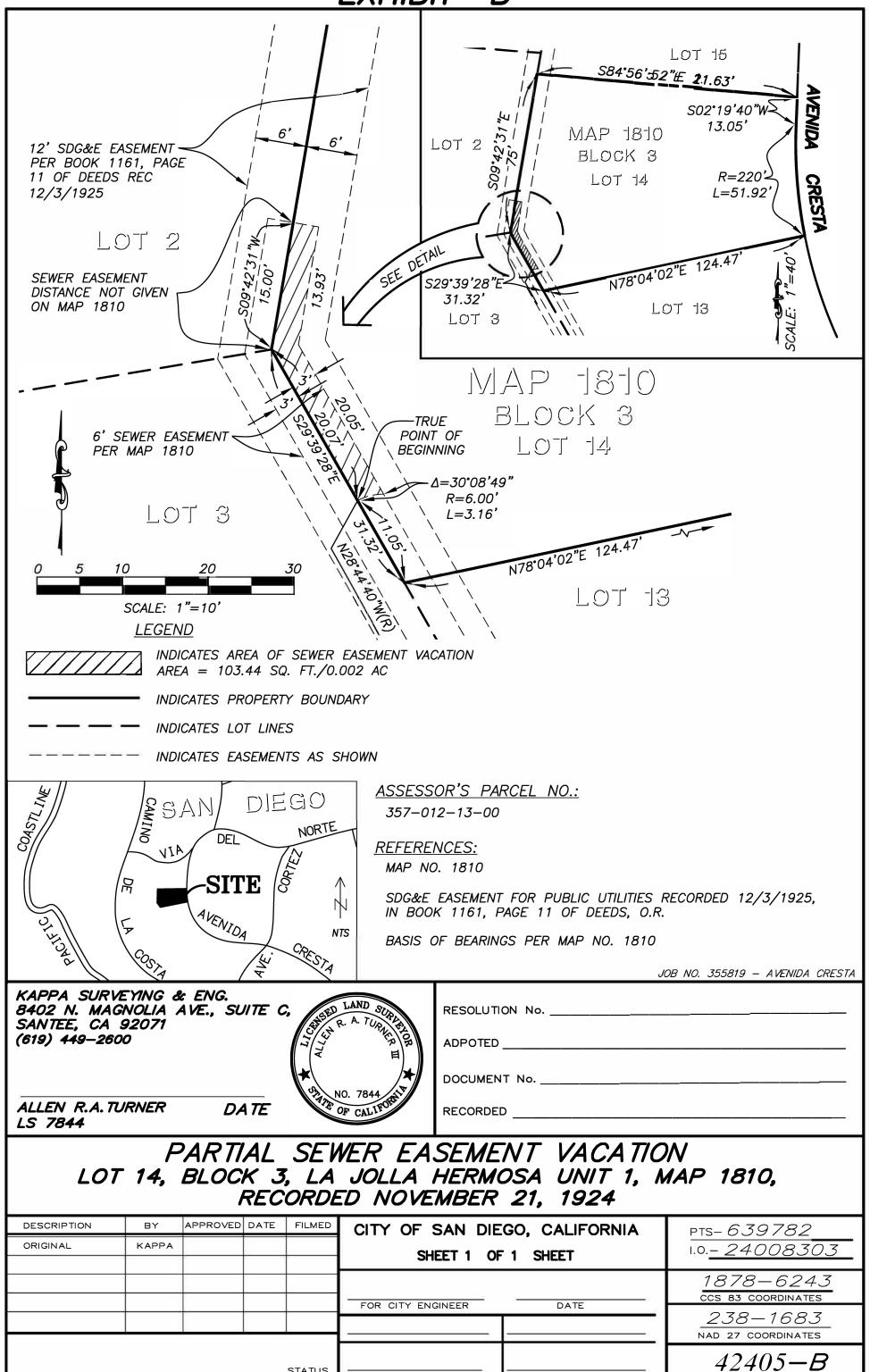
6216 AVENIDA CRESTA

SAN DIEGO, CA. 92037

ENGINEER OF WORK:	No.	Date	Ву	Revision	SCALE: 1"=10'
					JOB NO.: 355819
					DATE: 04/06/2021
					SHEET OF
WILLIAM R. DICK RCE: 34563					$\frac{1}{2}$ $\frac{2}{3}$

8707 LA MESA BOULEVARD, LA MESA, CA 91942 (619) 465-8948 FAX: (619) 465-6410





STATUS