



THE CITY OF SAN DIEGO

## Report to the Historical Resources Board

DATE ISSUED: March 9, 2022 REPORT NO. HRB-22-004

HEARING DATE: March 24, 2022

SUBJECT: **ITEM #01 – Union/Newton Sites - Site Development Permit/Coastal Development Permit/Neighborhood Development Permit No. 694291**

RESOURCE INFO: [California Historical Resources Inventory Database \(CHRID\) link](#)

APPLICANT: Jman Investments, Inc. / Jman at the Barrio, LLC

LOCATIONS: 1620 Union Street (west side of Union Street between West Date and West Cedar streets in the Little Italy neighborhood of the Downtown Community Plan area, Council District 3, APN 533-353-11-00)

2642-2648 Newton Avenue (north side of Newton Avenue between South 26<sup>th</sup> and South 27<sup>th</sup> streets in the Barrio Logan Community Plan area, Council District 8, APN 538-751-21-00, -22-00, and -23-00)

DESCRIPTION: Recommend to the Planning Commission adoption of the mitigation measures and findings associated with the Site Development Permit (SDP) as presented or recommend inclusion of additional permit conditions related to a designated historical resource.

### STAFF RECOMMENDATION

Recommend to the Planning Commission approval of the findings and mitigation measures associated with the SDP related to the designated historical resource currently located at 1620 Union Street (HRB Site No. 283, Andrew Cassidy Home) as presented.

### BACKGROUND

San Diego Municipal Code (SDMC) Section 126.0503(b)(2) requires a recommendation from the Historical Resources Board (HRB) prior to the Planning Commission decision on a SDP when a historical district or designated historical resource is present. The HRB has adopted the following procedure for making recommendations to decision-makers (Historical Resources Board Procedures, Section II.B):

When the HRB is taking action on a recommendation to a decision- maker, the Board shall make a recommendation on only those aspects of the matter that relate to the historical

aspects of the project. The Board's recommendation action(s) shall relate to the cultural resources section, recommendations, findings and mitigation measures of the final environmental document, the SDP findings for historical purposes, and/or the project's compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. If the Board desires to recommend the inclusion of additional conditions, the motion should include a request for staff to incorporate permit conditions to capture the Board's recommendations when the project moves forward to the decision maker.

Designated in 1990, the Andrew Cassidy Home is currently listed in the City of San Diego Register of Historical Resources as HRB Site No. 283 (Resolution R-90082213) ("Resource"). The Resource was constructed in 1888 in the Queen Anne Cottage architectural style. It is a one-story building constructed by Mr. Andrew Cassidy that is considered an example of the type of residence built to accommodate the influx of people moving to San Diego in the 1880's population boom that followed the completion of the transcontinental railroad connection. The historical designation resolution states that the Resource is architecturally significant because it reflects Victorian era craftsmanship and ornamentation and part of an intact collection of Victorian houses still on their original sites that reflect the early development of Downtown at the turn of the century. Over the years, however, many of the original Victorian homes in the vicinity of the Resource have been demolished, relocated, or substantially altered. The Resource was leased to various residential tenants and most recently used as office space.

The Resource is located within the Little Italy neighborhood of the Downtown Community Plan (DCP) area. The Little Italy neighborhood is envisioned in the DCP to continue to evolve as a cohesive, mixed use waterfront neighborhood. Redevelopment efforts in Little Italy will underscore the neighborhood's historic and contemporary qualities, with strategic intensification to accomplish housing goals and increase neighborhood vitality. The Resource is proposed to be relocated to a site within the Barrio Logan Community Plan (BLCP) area, which recommends that redevelopment of the neighborhood expands the population to increase the economic viability of the community. The BLCP also recommends the addition of new housing in established housing areas and infilling underutilized lots and intensifying development in the rear.

#### PROJECT DESCRIPTION

The Project consists of a SDP for the relocation of the Resource from 1620 Union Street in the DCP area (Council District 3) ("Little Italy site") to 2642-2648 Newton Avenue in the Barrio Logan Community Plan (BLCP) area (Council District 8) and within the Coastal Overlay Zone ("Barrio Logan site"). Once the Resource is relocated, the 5,013 SF Little Italy site is proposed to contain new construction of 24-story, 250-foot tall residential development with 73 dwelling units (DU) (including eight affordable DU) and 70 parking spaces in an automated mechanical parking garage (Attachment 3). The Resource is proposed to be placed along the street frontage of the Barrio Logan site and contain two DU. A three-story, 33'-9" tall mixed-use development with 12 DU (including two affordable DU) and 8,975 SF of warehouse space will be constructed behind the Resource (Attachment 4). The Barrio Logan site is within the Coastal Overlay Zone, within which a Coastal Development Permit (CDP) is required for any new construction. The Neighborhood Development Permit (NDP) is required at the Barrio Logan site for the encroachment of the porch stairs of the Resource into the right-of-way by four feet.

The Project on the Little Italy site is utilizing the Complete Communities Housing Solutions Regulations (CCHSR) (Chapter 14, Article 3, Division 10 of the SDMC) by providing 15% of the total DU in the Base FAR (20 DU) for rent by low income households at a cost that does not exceed 30% of 50% of the area median income (AMI) (3 DU), 15% for rent by moderate income households at a cost that does not exceed 30% of 120% of AMI (3 DU), and 10% for rent by low income households at a cost that does not exceed 30% of 60% of AMI (2 DU). A Project proposing development that is consistent with the requirements of the CCHSR is entitled to unlimited FAR per Sec. 143.1010(a)(1) and unlimited waivers from development regulations per Sec. 143.1010(j)(4). The Project on the Little Italy site proposes a FAR of 21.91 and the ten waivers, as listed on the Project Data Sheet (Attachment 1).

The Project on the Barrio Logan site is utilizing the Affordable Housing Regulations (AHR) (Chapter 14, Article 3, Division 7 of the SDMC) by providing 14% of the total base density (14 DU) for rent by very low income households at a cost that does not exceed 30% of 50% of the AMI (2 DU). A Project proposing development that is consistent with the requirements of the AHR is entitled to a 46.25% density bonus and four incentives to deviate from the development regulations per Table 143-07A and unlimited waivers from development regulations per Sec. 143.0743(e). The Project on the Barrio Logan site proposes one incentive and one waiver, as listed on the Project Data Sheet (Attachment 1).

## ANALYSIS

The Project proposes to relocate the Resource from the Little Italy site to the Barrio Logan site and proposes new construction on each site and the reuse of the Resource as residential DU on the Barrio Logan site. The full development plans for each site are included as Attachments 3 & 4.

The proposed relocation of the Resource is not consistent with the Secretary of Interior Standards for the treatment of historical properties which is, by definition, a substantial alteration requiring an SDP, consistent with SDMC Section 143.0250(a)(3). Specific SDP Supplemental Findings are required for projects proposing substantial alterations (including relocation) to a designated historical resource or within a historical district, including findings that require analysis of alternatives that could minimize the potential adverse effects on the Resource.

The required SDP Supplemental Findings regarding the Project's proposed substantial alteration to the Andrew Cassidy Home and supporting information are below. The Applicant-submitted Draft SDP findings are included as Attachment 9.

**1. There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on historical resources.**

The historical resource, the Andrew Cassidy Home, HRB Site No. 283 ("Resource"), was designated based on its architectural significance as a good example of the Queen Anne cottage design and as part of a significant, intact collection of Victorian houses still on their original sites which reflect the early development of Downtown at the turn of the century.

The current Project proposes the relocation of the existing Resource to the receiver site in Barrio Logan and constructing a new 24-story residential tower with eight levels of fully

automated mechanical parking, 73 residential dwelling units, of which eight are deed-restricted low and moderate income per the Complete Communities Housing Solutions Regulations (CCHSR) on the Little Italy site. The relocation of the Resource to a currently empty lot in Barrio Logan is not consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties due to the loss of integrity of location, setting, and association.

The Applicant retained London Moeder Advisors (LMA) to conduct an economic analysis of the proposed Project (“Base Project”) and two alternative designs. The designs were previously reviewed and approved by Historical Resources staff and the Historical Resources Board’s Design Assistance Subcommittee. A summary of the analyzed projects is located in the table below:

Alternative	Description
<b>BASE</b>	Relocate and restore resource to Barrio Logan site and construct a 23-level, 73-unit new development at Little Italy site
1	Rehabilitate and maintain the existing 1,470 SF historic structure on the current site as a single-family residence
2	Rehabilitate and integrate the existing 1,470 SF historic residence into new development on the current site by partially demolishing the existing structure and constructing a 46-unit building

As demonstrated by the LMA analysis, the Base Project, which proposes relocation of the Resource and the construction of 73 dwelling units, was the only economically feasible option. In contrast, the LMA analysis concluded that the two alternatives that included retaining the Resource on site (and thus had less impact on the Resource) are not economically feasible due to the reduced amount of revenue-producing residential dwelling units. Integrating the Resource into the new development (Alternative 2) was found to not be economically feasible in the LMA analysis and would also result in significant impacts to the Resource. The confined nature of the project site is physically challenging and integrating the historical structure into the new development would result in an increase of construction costs. Additionally, Alternative 2 would result in the loss of approximately 51% of the existing historic structure due to the construction of an eight-story tower to accommodate an additional 46 dwelling units. Alternative 1 has the least impact on the historic integrity of the Resource but is not economically feasible due to the high cost of land and the relatively low income produced by renting a single-family dwelling. In this scenario, the reduction of revenue producing units is unable to support the total project costs consisting of purchasing the land and renovating the historic structure. The Base Project, while not the project that has the least adverse impacts to the integrity of the Resource, is the only economically feasible alternative and provides the best balance between development of the site and preservation of the historic structure. Therefore, there are no feasible measures, including maintaining the Resource on site, that can further minimize the potential adverse effects on the designated historical resource.

**2. The proposed relocation will not destroy the historical, cultural, or architectural values of the historical resource, and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.**

The Base Project proposes to relocate the existing Resource, the Andrew Cassidy Home, to a vacant lot in Barrio Logan on Newton Avenue. The proposed relocation site is located primarily in the vicinity of single-family residential structures from the early twentieth century. The sizing and massing of the houses surrounding the Barrio Logan site is comparable to the historic structure and the location provides an appropriate setting for the Queen Anne style resource originally constructed in 1888.

In order to mitigate for the impacts to the Resource the applicant will be required to submit Historic American Building Survey (HABS) documentation, a Treatment Plan and Monitoring Plan. A set of HABS drawings and photos documenting the historic resource will be created prior to relocation to document the architecturally significant building in its current condition. The Treatment Plan and accompanying drawings specifies the methodology behind relocation of the structure and its treatment at the new location. During relocation, the resource will be transported in two pieces because it is necessary to remove eight feet of roof to avoid interference with the overhead MTS Trolley lines encountered on the route from Little Italy to Barrio Logan. Once at the new location, the resource will be restored consistent with the Secretary of the Interior's Standards and non-original features will be removed. Additionally, the project proposes a new structure behind the resource at the Barrio Logan Site. The new structure will be designed consistent with the Secretary of the Interior's Standards. A Monitoring Plan will be established that requires a Historical Monitor to document the relocation of the historic structure and submit reports to City staff for review. Preconstruction meetings will also be held at both sites prior to the relocation. The Treatment and Monitoring plans outline the steps necessary to relocate the historic structure and monitor progress of this project. Therefore, the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.

The Resource was designated based on its architectural significance as a good example of the Queen Anne cottage design and as part of a significant, intact collection of Victorian houses still on their original sites which reflect the early development of downtown at the turn of the century. Through the HABS documentation, and implementation of the Treatment and Monitoring Plans, the proposed relocation will not destroy the Resource's significance as a Queen Anne cottage. At the time of designation, the Resource was located on the west side of the 1600 block of Union Street, which contained five consecutive intact Victorian residences from the 1880s and 1890s. All five structures were designated by the HRB. The integrity of this row of residences has been significantly impaired by the demolition of the Oscar M. Millard Residence at 1610 Union Street (HRB No. 282), approved by City Council in 2017 under Centre City Development Permit, Centre City Planned Development Permit, Site Development Permit No. 2016-39, and the alteration of the residence at 1632 Union Street (HRB No. 123). In its current location, the Andrew Cassidy Home is no longer a part of an intact collection of Victorian residences; therefore, relocation

would not destroy the historical, cultural or architectural values of the designated historical resource.

**3. There are special circumstances or conditions apart from the existence of historical resources, applying to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.**

The Project includes relocation of the Resource from the Little Italy site to the Barrio Logan site, and construction on the Little Italy site of a high-density residential development on a 5,000 SF lot that, despite its small lot size, proposes 73 DU, which equates to approximately 663 units per acre. The relatively small lot size for a Downtown property is a development constraint that is compounded by the presence of the Resource on-site. Historically, each block in the Downtown area was subdivided into twelve 5,000 SF parcels. However, over the years, as allowable densities have increased and construction types have modernized, larger developments were accommodated by combining lots into larger parcels that provided more buildable area, making 5,000 SF lots less common.

The goals and policies of the DCP also generally stipulate that historical resources should be retained on-site and integrated into the Downtown fabric in a way that contributes to the achievement of the goals for significant development and population intensification (DCP, 9.2-G-1); however, one of the guiding principles of the DCP is to create an intense yet always livable community with a substantial and diverse Downtown population. An intense downtown is central to not only fostering vibrancy, but also to curtailing regional sprawl and minimizing growth pressures in mature neighborhoods. Increased residential population will contribute to Downtown's vitality, improve economic success, and allow people to live close to work, transit, and culture (DCP, Section 1.1). In pursuit of this, the goals and policies of the DCP target a residential population of approximately 90,000, and downtown employment of over 165,000 by 2030 (DCP, 3.2-G-1), which is accomplished by maintaining high overall intensities across Downtown to use land efficiently (DCP, 3.2-G-2).

Strict application of the Historical Resources Regulations and maintaining the Resource on-site would limit the buildable area for any new development, as the Resource currently occupies approximately 36% of the lot area. The resulting development on the remainder of the already-constrained site is estimated in the LMA analysis to yield a total of 46 DU, which is 27 DU less than the proposed Project. In contrast, the relocation of the Resource allows the amount of available buildable land on the small lot to be maximized, thereby using the land efficiently to advance the goal of achieving the target population by providing 73 new DU, while also avoiding total demolition of the Resource by relocating it to a compatible neighborhood. The Project on the Little Italy site is further optimizing the use of the site by utilizing the CCHSR, which allows for unlimited FAR on this site and throughout Downtown and waives from the development regulations of the CCPD. Due to the small lot size, with strict application of the historical resources regulations, the Project would not be able to fully take advantage of the housing and development tools provided by the San Diego Municipal Code, while also accommodating retention of the Resource and maintaining a financially feasible project.

To demonstrate the financial feasibility of the Project on the Little Italy site, the Applicant retained London Moeder Advisors (LMA) to conduct an economic analysis of the proposed Project (“Base Project”) and two alternative designs for potential feasible measures to avoid the relocation of the Resource. The LMA analysis used the Yield on Cost (YOC) and Internal Rate of Return (IRR) as measures to determine the economic feasibility of each alternative. As stated in the analysis, for a rental residential project to be economically feasible, it must achieve a minimum YOC of 1.5% and an IRR of 13% to 15% or higher; anything less would be unlikely to attract investors and achieve project financing. The table below summarizes the conclusions of the LMA analysis for each alternative.

Alternative	YOC Min: 1.5%	IRR Min: 13%
<b>Base</b>	<b>5.6%</b>	<b>18.4%</b>
1	1.4%	None
2	4.2%	8.9%

Alternative 1 proposed a full rehabilitation of the Resource and reuse as a single-family home rental. As demonstrated, due to the cost of rehabilitation and the land, Alternative 1 ultimately produces no financial return for the property owner, rather it results in a loss of approximately \$1.2 million. Alternative 2 maintained the Resource on-site and incorporated it into a new development on the site. Although maintaining most of the Resource on-site, Alternative 2 limits the buildable area of the site and results in a smaller project that would otherwise be achieved, producing 46 DU instead of the proposed Project’s 73 DU, which results in a YOC and IRR below the threshold of financing threshold. The economic analysis shows that the Base Project is the only financially feasible project and each alternative that strictly applies the provisions of the historical resources regulations to maintain the Resource on-site would result in a financial loss and therefore deprive the owner of a reasonable use of the land.

Therefore, the small lot size is a special circumstance apart of the existence of the Resource that applies to the land that is peculiar and not of the applicant’s making, whereby strict application of the provisions of the historical resource regulations and retention of the Resource on-site would prevent the development of a financially feasible project, thereby depriving the property owner of reasonable use of the land.

The Resource on the Little Italy site is currently a Mills Act property. It is the Applicant’s desire to pursue cancellation of the Mills Act agreement; however, cancellation is not part of the proposed action before the HRB or Planning Commission. Cancellation of the Mills Act agreement requires a separate noticed public hearing at City Council.

The projects were presented to the Community Planning Groups of their respective sites. The Project on the Little Italy site was presented to the Downtown Community Planning Council on September 15, 2021 and they voted 10-0 with one abstention to recommend approval. The Project on the Barrio Logan site was presented to the Barrio Logan Community Planning Group on October 20, 2021 and they voted 11-0 to recommend approval.

Staff recommends that the HRB recommend to the Planning Commission adoption of the mitigation measures and findings associated with the SDP related to the designated historical resource.

CONCLUSION

City Staff from the Urban Division and Historic Resources Division believe that there is sufficient evidence to support the SDP Supplemental Findings related to the Resource. In addition, Staff believes that the proposed mitigation measures of the Mitigation Monitoring and Reporting Plan (MMRP) (Attachment 7) and draft permit conditions (Attachment 5 and 6) are sufficient to mitigate to below a level of significance of impacts of the relocation of the Andrew Cassidy Home.

Attachments:

1. Project Data Sheet
2. Project Location Map
3. Development Plans – Little Italy site
4. Development Plans – Barrio Logan site
5. Draft Permit – Little Italy site
6. Draft Permit – Barrio Logan site
7. Draft Tiered Mitigated Negative Declaration No. 694291
8. London-Moeder Advisors Economic Analysis of Alternatives
9. Applicant-submitted Draft SDP Findings
10. Historical Resource Technical Report
11. Historic American Building Survey (HABS) documents
12. Historical Resource Treatment Plan with drawings
13. Historical Resource Monitoring Plan
14. Community Planning Group Recommendations

James Alexander  
Senior Planner  
Urban Division, DSD



Suzanne Segur  
Senior Planner  
Historical Resources Division, DSD



**PROJECT DATA SHEET  
PROJECT NO. 694291**

**Project on the Little Italy Site:**

Project Address	1620 Union Street										
Assessor's Parcel No.	533-353-11-00										
Site Area	5,013 SF										
Community Plan Area	Downtown										
Land Use District	Centre City Planned District—Residential Emphasis										
Min. FAR	3.5										
Base Max. FAR	6.0										
Max. FAR w/CCPDO Bonuses	8.0										
Max. FAR w/Complete Communities	Unlimited*										
Proposed FAR	21.91										
FAR Bonuses Proposed	+15.91 – Complete Communities										
Total Above-Grade Gross Floor Area	109,546 SF										
Stories/Height	23 stories / 250 feet										
Number of Dwelling Units	73										
Amount of Non-Residential Space	None										
Housing Units Summary	<table border="0"> <tr> <td>Total</td> <td>73</td> </tr> <tr> <td>Studios</td> <td>10</td> </tr> <tr> <td>1 Bedroom</td> <td>47</td> </tr> <tr> <td>2 Bedroom</td> <td>15</td> </tr> <tr> <td>3 Bedroom</td> <td>1</td> </tr> </table>	Total	73	Studios	10	1 Bedroom	47	2 Bedroom	15	3 Bedroom	1
Total	73										
Studios	10										
1 Bedroom	47										
2 Bedroom	15										
3 Bedroom	1										
Number of Buildings over 45 Years Old	1 – Andrew Cassidy Home, HRB Site No. 283 (constructed in 1888)										
Inclusionary Affordable Housing Compliance	Compliance with the Inclusionary Housing Ordinance will be provided on-site with 8 affordable units.										
On-Site Parking	<table border="0"> <tr> <td>Automobile</td> <td>70</td> </tr> <tr> <td>Motorcycle</td> <td>0**</td> </tr> <tr> <td>Bicycle</td> <td>16</td> </tr> </table>	Automobile	70	Motorcycle	0**	Bicycle	16				
Automobile	70										
Motorcycle	0**										
Bicycle	16										
Adjacent Properties	North – Multi-family residential (3 stories) South – Multi-family residential (8 stories) East – Hotel (20 stories) West – Surface parking lot										
Deviations	See below**										
Community Planning Group Recommendation	Presented to Downtown Community Planning Council on September 15, 2021 and voted 10-0 with one abstention to recommend approval.										

\* A Project proposing development that is consistent with the requirements of the Complete Communities Housing Solutions Regulations (CCHSR) is entitled to unlimited FAR per Sec. 143.1010(a)(1) of the San Diego Municipal Code (SDMC).

\*\* A Project proposing development that is consistent with the requirements of the CCHSR is entitled to unlimited waivers from development regulations per Sec. 143.1010(j)(4) of the SDMC. The Project on the Little Italy site proposes the following waivers:

1. Driveway Width (Sec. 142.0560(j)(1)) – Reduce the minimum driveway width from 14 feet to 10 feet.
2. Refuse and Recycling (Sec. 142.0820(b)) – Reduce the minimum refuse and recycling storage area from 288 SF to 145 SF.

## ATTACHMENT 1

3. Tower Setbacks (Sec. 156.0310(d)(3)(E)) – Reduce the tower setback from interior property lines from ten feet to three feet on both the north and west tower elevations.
4. Common Indoor Space (Sec. 156.0310(g)(2)) – Reduce the minimum area of common indoor space from 500 SF to zero SF.
5. Private Open Space (Sec. 156.0310(g)(3)) – Reduce the minimum area of private open space from 40 SF to 36 SF.
6. Pet Open Space (Sec. 156.0310(g)(5)) – Reduce the required pet open space from 100 SF to zero SF.
7. Transparency (Sec. 156.0311(d)(1)) – Reduce the minimum ground level transparency from 60% of the building façade to 28%.
8. Oriel Windows (Sec. 156.0311(h)(2)) – Increase the maximum width of oriel windows from 12 feet to 19'-4" and increase the maximum façade coverage of oriel windows from 30% to 76.3%
9. Electric Vehicle Parking (Sec. 156.0313(a)(2)(C)) – Reduce the number of required electric vehicle parking spaces from seven to six.
10. Motorcycle Parking (Sec. 156.0313(a)(2)(D)) – Reduce the number of required motorcycle parking spaces from seven to zero.

**PROJECT DATA SHEET  
PROJECT NO. 694291**

**Project on the Barrio Logan Site:**

Project Address	2642-2648 Newton Avenue										
Assessor's Parcel No.	538-751-21-00, -22-00, and -23-00										
Site Area	21,042 SF (0.48 acre)										
Community Plan Area	Barrio Logan										
Land Use District	Barrio Logan Planned District—Subdistrict A										
Base Max. Density	29 DU/acre										
Max. Density w/Affordable Housing Regulations	43.5 DU/acre										
Proposed Density	29 DU/acre (14 DU on 0.48 acre)										
Density Bonuses Proposed	None										
Total Above-Grade Gross Floor Area	14,927 SF										
Stories/Height	3 stories / 33'-9"										
Number of Dwelling Units	14										
Amount of Non-Residential Space	8,975 SF Light Industrial Warehouse										
Housing Units Summary	<table border="0"> <tr> <td>Total</td> <td>14</td> </tr> <tr> <td>Studios</td> <td>8</td> </tr> <tr> <td>1 Bedroom</td> <td>5</td> </tr> <tr> <td>2 Bedroom</td> <td>1</td> </tr> <tr> <td>3 Bedroom</td> <td>0</td> </tr> </table>	Total	14	Studios	8	1 Bedroom	5	2 Bedroom	1	3 Bedroom	0
Total	14										
Studios	8										
1 Bedroom	5										
2 Bedroom	1										
3 Bedroom	0										
Number of Buildings over 45 Years Old	None										
Inclusionary Affordable Housing Compliance	Compliance with the Inclusionary Housing Ordinance will be provided on-site with 2 affordable units.										
On-Site Parking	<table border="0"> <tr> <td>Automobile</td> <td>0* (5 on-street non-residential spaces)</td> </tr> <tr> <td>Motorcycle</td> <td>3</td> </tr> <tr> <td>Bicycle</td> <td>6</td> </tr> </table>	Automobile	0* (5 on-street non-residential spaces)	Motorcycle	3	Bicycle	6				
Automobile	0* (5 on-street non-residential spaces)										
Motorcycle	3										
Bicycle	6										
Adjacent Properties	North – Vacant lot/RV storage yard/single-family residential South – Single-family residential East – Single-family residential West – Single-family residential										
Deviations	See below*										
Community Planning Group Recommendation	Presented to Barrio Logan Community Planning Group on October 20, 2021 and voted 11-0 to recommend approval.										

\* A Project proposing development that is consistent with the requirements of the Affordable Housing Regulations (AHR) is entitled to four incentives to deviate from the development regulations per Table 143-07A and unlimited waivers from development regulations per Sec. 143.0743(e). The Project on the Barrio Logan site proposes one incentive and one waiver as follows:

1. Incentive – Parking (Sec. 142.0530(a)) – Reduce the parking requirement for the commercial land use component of the Project from 19 spaces to zero spaces.
2. Waiver – Side Yard Setback (Sec. 152.0304(c)(2)(A)) – Reduce the side yard setback of the third level from six feet to five feet.

PROJECT LOCATION MAP  
PROJECT NO. 694291

Project on the Little Italy Site:



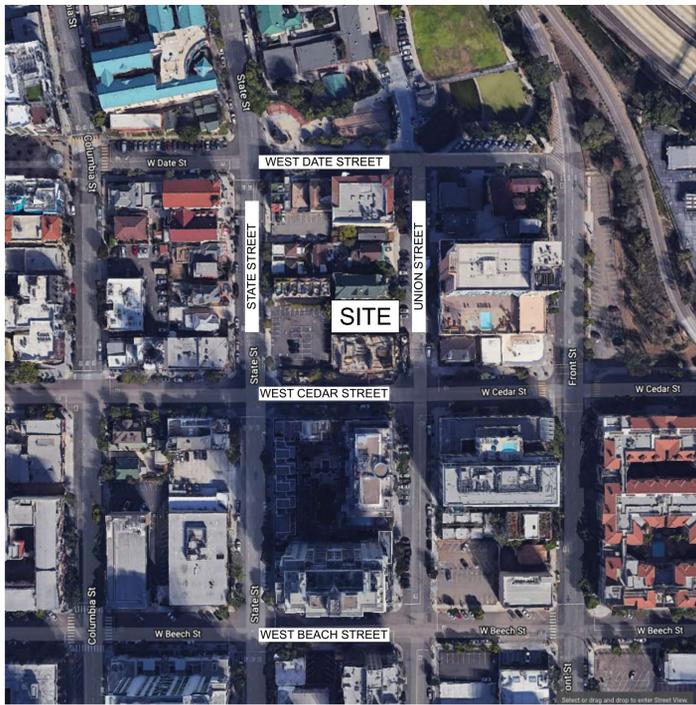
PROJECT LOCATION MAP  
PROJECT NO. 694291

Project on the Barrio Logan Site:





VICINITY MAP



PROJECT DESCRIPTION

AIR RIGHTS TOWER IS LOCATED ON A 5,000 SQ. FT LOT AT 1620 UNION STREET BETWEEN CEDAR AND DATE STREETS IN LITTLE ITALY SAN DIEGO. THE EXISTING HISTORIC RESIDENCE WILL BE RELOCATED TO THE VACANT LOT AT 2642, 2646, 2648 NEWTON AVE, SAN DIEGO, 92113. THE NEW CONSTRUCTION PROPOSED 24-STORY PROJECT, WITH A SINGLE LEVEL UNDERGROUND PROVIDES 73 RESIDENTIAL UNITS OF WHICH 8 ARE AFFORDABLE UNITS. THE 111,795 GROSS SQ FOOT PROJECT WILL PROVIDE A VARIETY OF UNIT TYPES INCLUDING STUDIOS, ONE BEDROOM AND TWO BEDROOMS AND A 3 BEDROOM. THE PROJECT HAS A 50 FOOT STREET FRONTAGE ON UNION STREET AND IS A MID BLOCK SITE. THE PROJECT UTILIZES THE AIR RIGHTS OF THE EXISTING CORNER MICRO HOUSING DEVELOPMENT TO HAVE FULL OPENINGS ON THE INTERIOR LOT LINE ELEVATION ENABLING WINDOWS ON THE 24-STORY BUILDING ABOVE THE ADJACENT STRUCTURE. THE GROUND LEVEL IS SPLIT BETWEEN BUILDING THE RESIDENTIAL LOBBY, FIRE CONTROL ROOM AND THE AUTOMATED PARKING SYSTEM. PARKING IS PROVIDED THROUGH A SINGLE POINT OF ENTRY INTO A FULLY AUTOMATED ROBOTIC PARKING SYSTEM. THIS SYSTEM PROVIDES 70 PARKING SPACES AND FILLS THE AREA SOUTH OF THE BUILDING CORE ON LEVELS GROUND THROUGH 6, WHICH WOULD OTHERWISE BE USELESS AND DARK ADJACENT TO THE EXISTING NEIGHBORING BUILDING TO THE SOUTH. THE RESIDENTIAL UNITS BEGIN AT LEVEL TWO AND CONTINUE THROUGH THE 23RD LEVEL OF THE BUILDING. LEVEL 24 IS COMPRISED OF A SMALL PRIVATE ROOF DECK AND A 600 SQ FOOT COMMON ROOF DECK AND FACES EAST, SOUTH AND WEST.

PROJECT TEAM

<p><b>OWNER:</b> UNION STREET CREATIVE HOUSE LLC 989 W. KALMIA STREET SAN DIEGO, CA 92101 952-240-2602 CONTACT: DOUGLAS HAMM EMAIL: DOUGLAS@URBANCA.COM</p>	<p><b>GEO TECHNICAL ENGINEER</b> GEOCON INCORPORATED 6960 FLANDERS DRIVE SAN DIEGO, CA 92121 858-558-6900 CONTACT: SHAWN WEEDON EMAIL: WEEDON@GEOCONINC.COM</p>
<p><b>APPLICANT DEVELOPER:</b> JMAN INVESTMENTS INC 3000 UPAS STREET SUITE 101 SAN DIEGO, CA 92104 619-993-6269 CONTACT: MATTHEW SEGAL EMAIL: MRMATTHEWSEGAL@GMAIL.COM</p>	<p><b>CIVIL ENGINEER:</b> PASCO LARET SUITER 535 N HWY 101 SOLANA BEACH, CA 92075 858-259-8212 CONTACT: WILL MACK EMAIL: WMACK@PLSAENGINEERING.COM</p>
<p><b>ARCHITECT:</b> JONATHAN SEGAL FAIA 3000 UPAS STREET SUITE 101 SAN DIEGO, CA 92104 619-993-6269 CONTACT: MATTHEW SEGAL EMAIL: MRMATTHEWSEGAL@GMAIL.COM</p>	<p><b>ELECTRICAL ENGINEER:</b> NEDC, INC 3103 FALCON STREET SUITE J SAN DIEGO, CA 92103 619-278-0076 CONTACT: DAVID NUTTER EMAIL: DAVID@NEDINC.NET</p>
<p><b>STRUCTURAL ENGINEER</b> DCI ENGINEERS 101 W. BROADWAY STE 1260 SAN DIEGO, CALIFORNIA 92101 619-400-1704 CONTACT: JON DECK EMAIL: JDECK@DCI-ENGINEERS.COM</p>	

PROJECT DATA

**PROJECT ADDRESS:**  
1620 UNION STREET, SAN DIEGO, CA 92101

**LEGAL DESCRIPTION:**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, LOT 8 IN BLOCK 33 OF MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO PARTITION MAP THEREOF MADE BY J.E. JACKSON ON FILE IN THE OFFICE OF THE COUNTY CLERK OF SAID SAN DIEGO COUNTY

**APN:**  
533-353-10-11

**USE / STRUCTURES ON SITE:**  
EXISTING: SINGLE FAMILY RESIDENCE USED AS A HOSTEL TO BE MOVED  
PROPOSED USE: RESIDENTIAL DEVELOPMENT

**ZONE:**  
COMPLETE COMMUNITIES HOUSING TIER 1  
CENTRE CITY DEVELOPMENT DISTRICT  
RESIDENTIAL EMPHASIS  
LITTLE ITALY SUN ACCESS (LISA)  
AIRPORT APPROACH OVERLAY (AAOZ)  
TRANSIT PRIORITY AREA  
RESIDENTIAL TANDEM PARKING  
FINE GRAIN OVERLAY  
FAA PART 77 NOTICING AREA  
SAN DIEGO INTERNATIONAL REVIEW AREA 2  
GEOLOGIC HAZARD CATEGORY 13

**TYPE OF CONSTRUCTION:** TYPE 1

**LOT SIZE:** 5013.44 SQ FT

**F.A.R**  
ALLOWED: UNLIMITED  
PROPOSED: 21.91 (CCHSR)

**BUILDING AREA:**  
ALLOWED: UNLIMITED  
TOTAL GROSS BLDG AREA: 113923 (CCHSR)  
TOTAL ABOVE GRADE: 109546  
TOTAL BELOW GRADE: 4377

**HEIGHT:**  
PROPOSED: 250'-0"

**PARKING:**  
REQUIRED: NO PARKING REQUIRED  
MAXIMUM ALLOWED: 1 PER DWELLING UNIT  
PROPOSED: 70 PARKING SPACES (FULLY AUTOMATED PARKING)  
ADA SPACES: 4 VAN ACCESSIBLE ADA SPACE (FULLY AUTOMATED)

**EV PARKING:** 70 x 10% = 7 PROVIDED: 6 LOCATIONS ON SITE (AUTOMATED GANTRY)  
1 LOCATION @ 320 WEST CEDAR STREET

**MOTORCYCLE:** 70/10 = 7 PROVIDED: NONE  
**BICYCLE (RES):** 73/ 5 = 14.6 REQUIRED: 15 PROVIDED: 16

**COMMON OUTDOOR SPACE**  
REQUIRED: 5014 x 10% = 501 SF  
PROPOSED: 550 SF

**PET OPEN SPACE:**  
REQUIRED: 100 SF  
PROPOSED: NONE

**COMMON INDOOR SPACE:**  
REQUIRED: 500 SF  
PROPOSED: NONE

**PRIVATE OUTDOOR SPACE:**  
REQUIRED: 50% OF UNITS, MIN 40 SF  
PROPOSED: 90% OF UNITS HAVE PATIOS  
9 UNITS 40 SQ FT  
9 UNITS 37 SQ FT  
22 UNITS 39 SQ FT  
22 UNITS 39 SQ FT  
2 UNITS 100 SQ FT  
1 UNIT 50 SQ FT  
1 UNIT 250 SQ FT  
1 UNIT 137 SQ FT

**STORAGE: (156.0310)(q)(4)**  
REQUIRED: EACH UNIT REQ'D TO HAVE 240. C.F.  
73 x 240 = 17520  
PROPOSED: 26 STORAGE UNITS OF VARYING SIZES ~ 10,000CF.

**REFUSE AND RECYCLING AREA:**  
REQUIRED: REFUSE: 144 SQ FT  
RECYCLING: 144 SQ FT  
PROPOSED: REFUSE/ RECYCLING TOTAL AREA: 145 SQ FT

PROJECT DATA

**REQUESTED WAIVERS:**

**DRIVEWAY CURBCUTS:** 142-05N  
REQUIRED: 20 FEET (20 PARKING SPACES) 14 FEET (6+ UNITS)  
PROPOSED: 10FT CURB CUT W/ 10 FT DRIVEWAY

**MOTORCYCLE PARKING:** 156.0313(a)(2)(D)  
REQUIRED: 7  
PROPOSED: NONE PROVIDED

**EV PARKING:** REQUIRED: 7  
PROVIDED: 6 LOCATIONS W/ AUTOMATIC GANTRY ONSITE  
1 LOCATION AT 320 WEST CEDAR STREET ADJACENT PER SHARED AGREEMENT

**NORTH SETBACK:** 156.0310(3)(E)(i)  
REQUIRED: 10 FEET  
PROPOSED: 3'-0" FROM PL @ GRND LEVEL TO ROOF FOR 100 FEET LINEAR FT

**WEST SETBACK:** 156.0310(3)(E)(i)  
REQUIRED: 10 FEET  
PROPOSED: 3'-0" FROM PL @ GROUND LEVEL TO 70'-0" FOR 46'-0" LINEAR FT  
3'-0" FROM PL @ 70'-1" TO ROOF FOR 26'-0" LINEAR FEET  
15'-8" FROM PL @ 70'-1"

**EAST ORIEL WINDOWS:** 153.0311(h)  
REQUIRED: MAXIMUM WIDTH 12'-0" SEPARATED BY 6'-0"  
NO MORE THAN 30% OF BUILDING FACADE  
PROPOSED: (1) 19'-4" WIDE FROM 16'-0" FT ABOVE GROUND TO ROOF  
(2) 15'-3" WIDE FROM 92'-0" FT ABOVE GROUND TO ROOF  
76.3% OF ELEVATION

**COMMON OUTDOOR SPACE:** 156.0310(g)(1)  
REQUIRED: MINIMUM DIMENSION 30 FT BOTH DIRECTIONS  
PROPOSED: ONE DIMENSION TO BE MINIMUM OF 30 FT  
ONE DIMENSION TO VARY FROM 8'-0" FT TO 15'-0" MIN

**PET OPEN SPACE:** REQUIRED: 100 SQ FT  
PROPOSED: NONE PROPOSED

**PRIVATE OUTDOOR SPACE:** REQUIRED: 50% OF UNITS, MIN 40 SF  
PROPOSED: 90% OF UNITS HAVE PATIOS W/ MINIMUM 36 SQ FT PATIO

**INDOOR COMMON AREA SPACE:** REQUIRED: 500 SQ FT  
PROPOSED: NONE PROPOSED

**GROUND FLOOR TRANSPARENCY:** 156.0311(d)(1)  
REQUIRED: 60 % BETWEEN 3-12 FT ABOVE SIDEWALK  
9'-0" x 49'-6" = 331.86 SQFT REQ'D 202.72  
PROPOSED: 92.97 SF & 28.01%

**REFUSE AND RECYCLING AREA:** 142.082  
REQUIRED: REFUSE: 144 SQ FT  
RECYCLING: 144 SQ FT  
PROPOSED: REFUSE/ RECYCLING AREA 1: 145 SQ FT

**AUTOMATIC WAIVERS PER CCHSR 143.1010(c)(1):**

**HEIGHT LIMIT (LISA)** 156.0310(c)(1)  
REQUIRED: BUILDING BASE MIN: 30  
BUILDING BASE MAX: 50  
PER FIGURE 'F' MAX OVERALL HEIGHT 150'  
PROPOSED: NONE PROPOSED

**UNLIMITED FAR** Figure L  
REQUIRED: BASE MAX 6.0  
PROPOSED: 21.9 FAR

**TOWER LOT COVERAGE** Table 156-0310-A  
REQUIRED: BASE MAX 50%  
PROPOSED: 85.50%

**STREET WALL HEIGHT** 156.0310(c)(1)(A)  
REQUIRED: MIN: 40 FT  
MAX: 85 FT  
PROPOSED: 250 FT

**LISA TOWER SETBACKS** 156.0310(d)(3)(D)  
REQUIRED: FROM ROW: 15 FT  
FROM INTERIOR PROPERTY LINE: 20FT  
PROPOSED: FROM ROW: 0 FT  
FROM INTERIOR SOUTH PL: 0 FT  
FROM NORTH PL: 3 FT MIN  
FROM WEST PL: 3 FT MIN

**SCALED DIF FEES** REQUIRED: DIF FEES PER UNIT  
PROPOSED: SCALED PER UNIT SIZE

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T1.4	EXISTING SITE CONDITIONS & PHOTOGRAPHIC STUDY
T1.5	PERSPECTIVE VIEWS
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**AIR RIGHTS TOWER**  
 1620 Union Street San Diego Ca, 92101  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #
SHEET TITLE:
TITLE SHEET
SCALE:
DATE:
9/1/21
REVISION 1:
10/12/21
REVISION 2:
11/23/21
REVISION 3:
12/21/21
REVISION 4:
REVISION 5:
REVISION 6:
SHEET: ___ OF ___
SHEET NAME:

Issued Date: 02/26/2021

Jonathan Segal  
Jman Investments Inc  
3000 Upas Street  
suite 101  
san diego, CA 92104

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building U-TOWER  
Location: SAN DIEGO, CA  
Latitude: 32-43-19.25N NAD 83  
Longitude: 117-09-56.50W  
Heights: 71 feet site elevation (SE)  
250 feet above ground level (AGL)  
321 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- \_\_\_ At least 10 days prior to start of construction (7460-2, Part 1)
- X  Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

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This determination expires on 08/26/2022 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before March 28, 2021. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager of the Rules and Regulations Group. Petitions can be submitted via mail to Federal Aviation Administration, 800 Independence Ave, SW, Washington, DC 20591, via email at OEPetitions@faa.gov, or via facsimile (202) 267-9328.

This determination becomes final on April 07, 2021 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Rules and Regulations Group via telephone – 202-267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does not include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative

Page 2 of 8

impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Vivian Vilaro, at (847) 294-7575, or vivian.vilaro@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2020-AWP-13014-OE.

Signature Control No: 457127699-470807380  
Mike Helvey  
Manager, Obstruction Evaluation Group

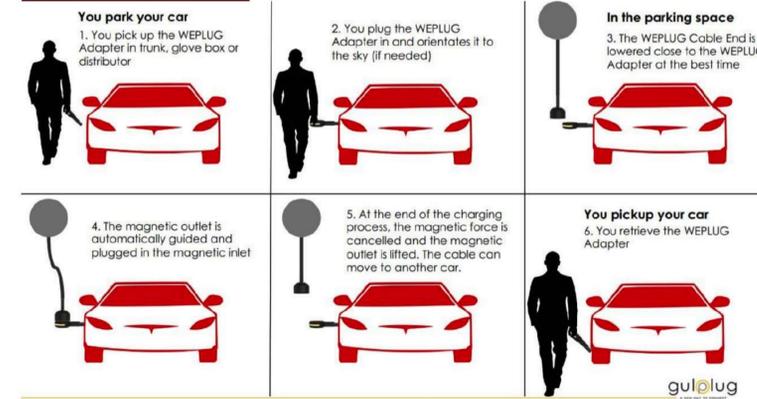
(DNH)

Attachment(s)  
Additional Information  
Map(s)

SDLofts, LLC  
QUO-01228-C5K4P9 Rev.0

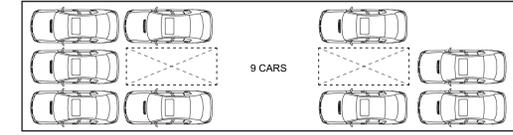
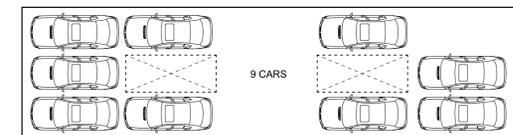
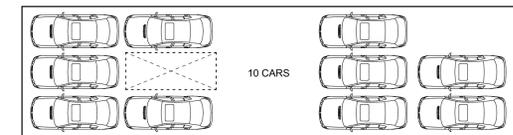
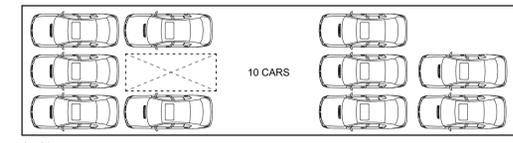
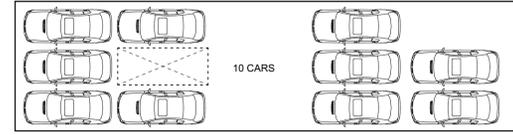
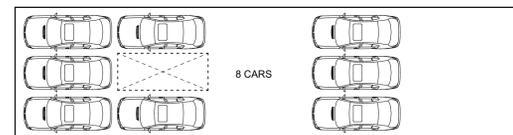
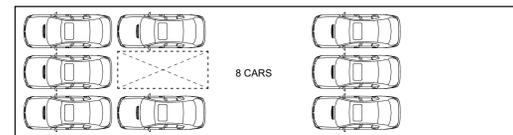
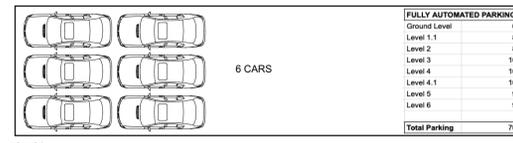


Typical process for the WEPLUG® system from a user's perspective



**WEPLUG®**  
the universal  
automatic  
flexible  
magnetic  
adapter

EV CHARGING GANTRY SYSTEM  
SCALE: 1:1.11 T1.1



PARKING LEVEL DIAGRAM  
SCALE: 1/16" = 1'-0" T1.1

Floor	Gross Area		Net Leasable	
Phantom Floor	486 sq ft	exceeds 15 ft	0	
24	4074 sq ft		0	
23	3978 sq ft		2683	
22	4285 sq ft		2971	
21	4208 sq ft		2990	
20	4262 sq ft		2897	
19	4262 sq ft		2863	
18	4262 sq ft		2863	
17	4262 sq ft		2863	
16	4262 sq ft		2863	
15	4262 sq ft		2863	
14	4262 sq ft		2863	
13	4262 sq ft		2863	
12	4262 sq ft		2863	
11	4262 sq ft		2863	
10	4262 sq ft		2863	
9	4098 sq ft		2827	
8	4119 sq ft		2863	
7	4172 sq ft		2700	
6	4431 sq ft		789	
5	4526 sq ft		789	
4	4526 sq ft		789	
3.1-Parking	2508 sq ft		0	
3	4526 sq ft		789	
2	4258 sq ft		745	
1.1-Parking	2340 sq ft		0	
Phantom Floor	1821 sq ft	exceeds 15 ft	0	
Ground	4308 sq ft		0	
Basement		4377 sq ft		
Gross building area	109546 sq ft	Net Rentable:	52462	
Base Site Area	5014 sq ft			
Base FAR	6.0			
Base Calc	30084 sq ft allowed			
Proposed Unit	73 total units (including affordable)			
Proposed FAR	21.9092			
Base unit count calc	19.9916017			
Type	Figure	Round Up	Round Down	Percent
Low Income 30% of 50% AMI	2.999	3	2	15%
Moderate income 30% of 120% AMI	2.999	3	2	15%
Low Income 30% of 60% AMI	1.999	2	1	10%
<b>Total Studio</b>	<b>10</b>	<b>14%</b>		
<b>Total 1 Bed</b>	<b>47</b>	<b>64%</b>		
<b>Total 2 Bed</b>	<b>15</b>	<b>21%</b>		
<b>Total 3 Bed</b>	<b>1</b>	<b>1%</b>		
<b>Total Units</b>	<b>73</b>	<b>86%</b>		

	Unit List	Unit Type	Net Rentable
Level 2	201	Studio	342
	202	Studio	403
Level 3	301	Studio	322
	302	Studio	467
Level 4	401	Studio	322
	402	Studio	467
Level 5	501	Studio	322
	502	Studio	467
Level 6	601	Studio	322
	602	Studio	467
Level 7	701	1 Bed	707
	702	1 Bed	520
	703	1 Bed	620
	704	2 Bed	853
Level 8	801	1 Bed	717
	802	1 Bed	527
	803	1 Bed	612
	804	2 Bed	1007
Level 9	901	1 Bed	717
	902	1 Bed	527
	903	1 Bed	578
	904	2 Bed	1005
Level 10	1001	1 Bed	717
	1002	1 Bed	527
	1003	1 Bed	612
	1004	2 Bed	1007
Level 11	1101	1 Bed	717
	1102	1 Bed	527
	1103	1 Bed	612
	1104	2 Bed	1007
Level 12	1201	1 Bed	717
	1202	1 Bed	527
	1203	1 Bed	612
	1204	2 Bed	1007
Level 13	1301	1 Bed	717
	1302	1 Bed	527
	1303	1 Bed	612
	1304	2 Bed	1007
Level 14	1401	1 Bed	717
	1402	1 Bed	527
	1403	1 Bed	612
	1404	2 Bed	1007
Level 15	1501	1 Bed	717
	1502	1 Bed	527
	1503	1 Bed	612
	1504	2 Bed	1007
Level 16	1601	1 Bed	717
	1602	1 Bed	527
	1603	1 Bed	612
	1604	2 Bed	1007
Level 17	1701	1 Bed	717
	1702	1 Bed	527
	1703	1 Bed	612
	1704	2 Bed	1007
Level 18	1801	1 Bed	717
	1802	1 Bed	527
	1803	1 Bed	612
	1804	2 Bed	1007
Level 19	1901	1 Bed	717
	1902	1 Bed	527
	1903	1 Bed	612
	1904	2 Bed	1007
Level 20	2001	1 Bed	527
	2002	1 Bed	685
	2003	1 Bed	361
	2004	2 Bed	1324
Level 21	2101	1 Bed	527
	2102	1 Bed	527
	2103	1 Bed	612
	2104	2 Bed	1324
Level 22	2201	1 Bed	527
	2202	1 Bed	533
	2301 LOWER	3 Bed	1911
Level 23	2301 UPPER	3 Bed	2683
<b>Total Net Rentable</b>			<b>52462</b>

**AIR RIGHTS TOWER**  
1620 Union Street San Diego Ca, 92101  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #

SHEET TITLE:  
PROJECT  
STATISTICS

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

REVISION 5:

REVISION 6:

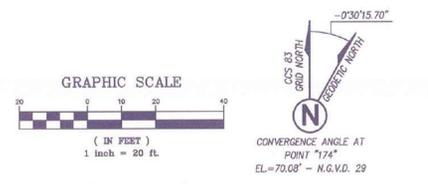
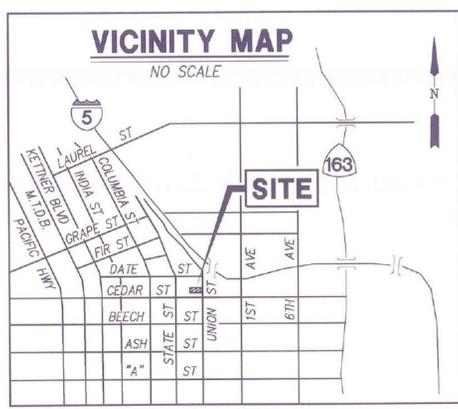
SHEET: OF

SHEET NAME:

T1.1

# A.L.T.A./NSPS LAND TITLE SURVEY

## 1620 UNION STREET, LITTLE ITALY, SAN DIEGO, CA



**NOTES**

- TOTAL AREA WITHIN ALTA SURVEY BOUNDARY = 0.115 ACRE / 5013.44 SQ. FT.
- TAX ASSESSOR PARCEL NO. 533-353-11
- BOUNDARY SURVEY FOR THIS SITE WAS PERFORMED IN APRIL 2019 BY PROJECT DESIGN CONSULTANTS.
- AS DETERMINED BY GRAPHIC PLOTTING ONLY, THIS SITE IS IN ZONE X (UNSHADED) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 08073C1885G, EFFECTIVE MAY 16, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- TOPOGRAPHY SHOWN ON THIS SURVEY IS BASED UPON A FIELD SURVEY BY PROJECT DESIGN CONSULTANTS IN APRIL 2019.
- UNDERGROUND UTILITIES SHOWN ARE FROM READILY OBSERVABLE EVIDENCE FOUND IN THE FIELD.
- THE ZONING INFORMATION SHOWN BELOW IS FROM THE SOURCE CITED AND SHOULD BE CONSIDERED INFORMATIVE BUT SUBJECT TO VERIFICATION BY THE CITY PLANNING DEPARTMENT.

ZONING: COPD-RE (CENTRE CITY PLANNED DISTRICT RESIDENTIAL EMPHASIS)

OVERLAY ZONE: PARK SUN ACCESS OVERLAY, FINE GRAIN DEVELOPMENT OVERLAY, NEW CORRIDOR STEPBACK OVERLAY (ALONG CEDAR STREET).

SETBACKS: THE STREET WALL SHALL BE LOCATED WITHIN 5' OF THE PROPERTY LINE ADJOINING ANY STREET (MEASURED AFTER ANY REQUIRED PUBLIC RIGHT-OF-WAY DEDICATION). IF THERE IS A TOWER, THE TOWER MUST BE SETBACK 15' FROM THE PUBLIC RIGHT OF WAY AND 20' FROM THE INTERIOR PROPERTY LINE (SEE SECTION 156.031(d)(3)(D) AND (E) FOR EXEMPTIONS). THE CODC PRESIDENT MAY REQUIRE UP TO A 10' INTERIOR PROPERTY LINE SETBACK WHERE A PROJECT IS ADDING AN EXISTING RESIDENTIAL PROJECT TO MAINTAIN MINIMUM PROVISIONS FOR LIGHT AND AIR.

HEIGHT: 500' UNLESS OTHERWISE CONSTRAINED.

FAR: MINIMUM 3.5, MAXIMUM 6.0 (ADDITIONAL FAR BONUSES MAY BE OBTAINED IF THE APPLICANT PROVIDES CERTAIN PUBLIC BENEFITS OR DEVELOPMENT AMENITIES - SEE SECTION 156.030(E)).

SOURCE: CITY OF SAN DIEGO ZONING MAP GRID TITLE IS, DATED 11/12/18 AND THE CENTRE CITY PLANNED DISTRICT ORDINANCE DATED 4/3/06.

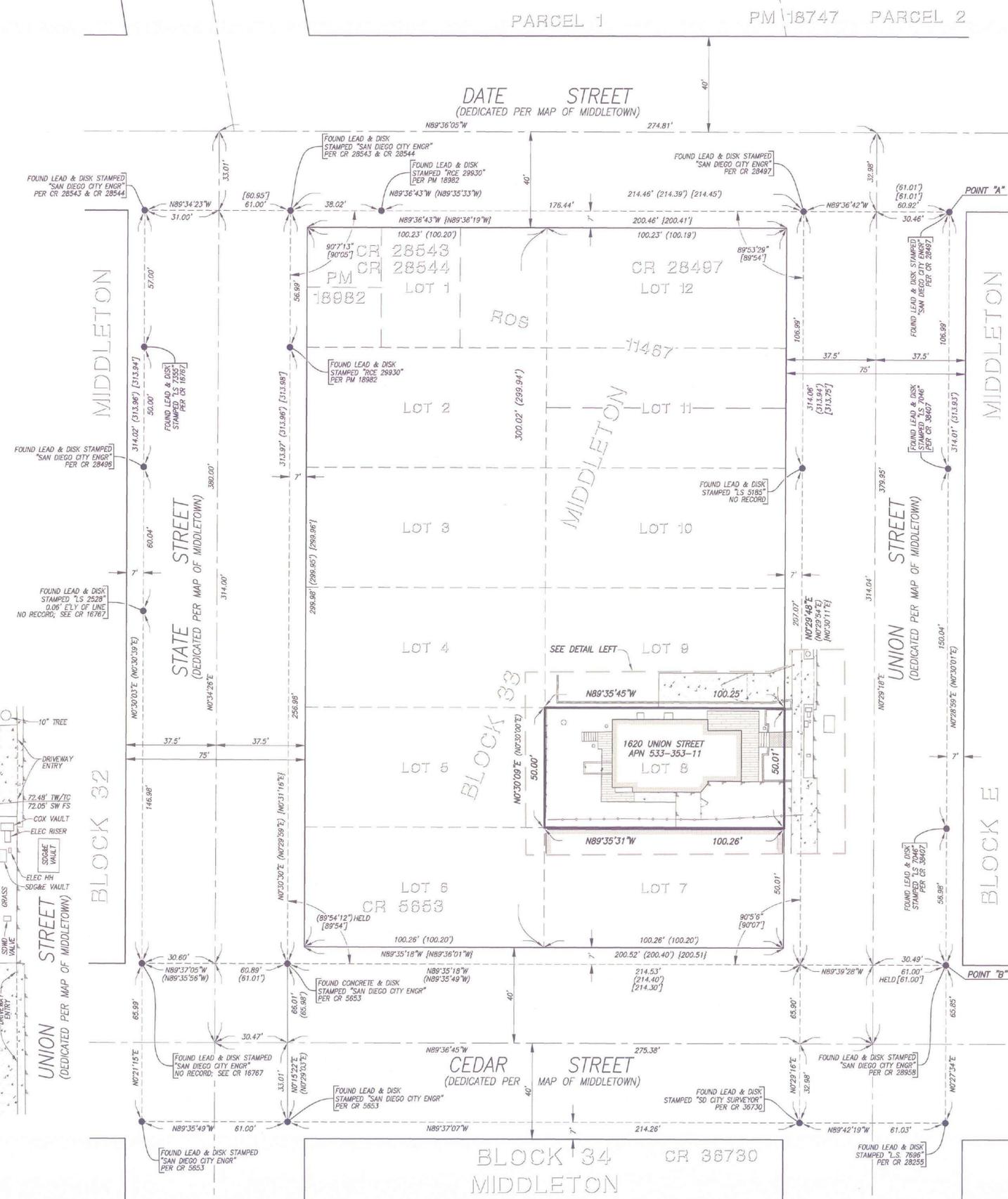
**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 8 IN BLOCK 33 OF MIDDLETON, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY J.E. JACKSON, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**EASEMENTS/ENCUMBRANCES**

THIS SURVEY IS BASED ON THE PRELIMINARY REPORT NO. 319312508 ISSUED BY LAWYERS TITLE INSURANCE COMPANY, DATED FEBRUARY 21, 2019. ENCUMBRANCE ITEMS SUCH AS TAXES, LIENS, FACTS, ORDINANCES, RESOLUTIONS, PERMITS, DEEDS OF TRUST AND RIGHTS APPEARING IN SCHEDULE A AS ITEMS NO. 1-7 HAVE BEEN REVIEWED, ARE NOT SURVEY RELATED, AND THEREFORE HAVE NOT BEEN SHOWN HEREON.

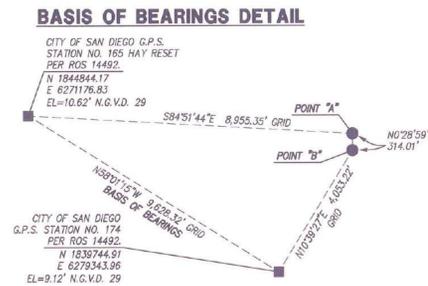


**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1993.35 GRID BEARING BETWEEN FIRST ORDER POINTS '174' AND '185' AS SHOWN HEREON PER ROS 14492.

I.E., NORTH 58°01'15" WEST

DISTANCES SHOWN HEREON ARE GROUND DISTANCES. TO OBTAIN GRID LEVEL DISTANCES, MULTIPLY DISTANCES BY 1.0000177. QUOTED BEARINGS FROM REFERENCE DEEDS/MAPS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.



**BENCHMARK**

CITY OF SAN DIEGO G.P.S. STATION NO. 174 MAY RESET PER ROS 14492.

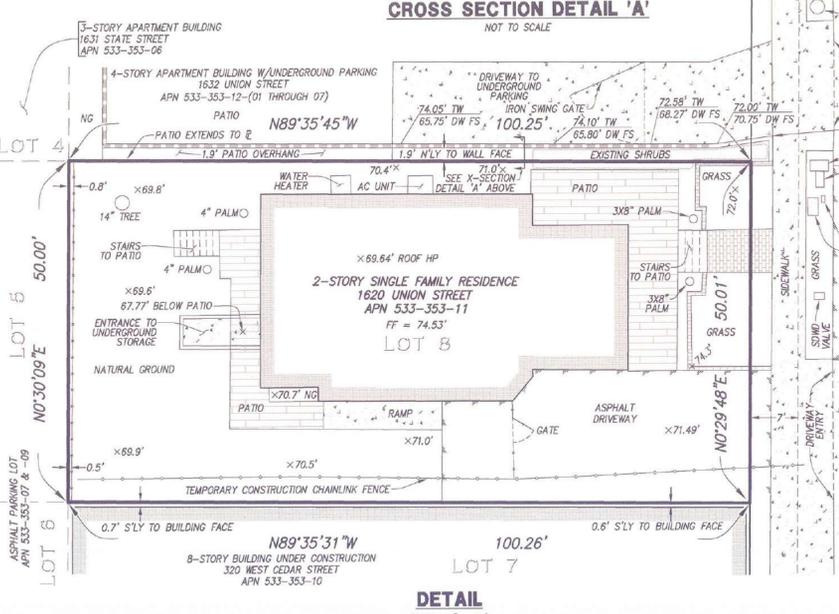
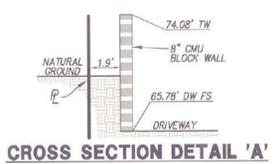
N 1844844.17  
E 6271176.83  
EL=70.08' N.G.V.D. 29

CITY OF SAN DIEGO G.P.S. STATION NO. 185 MAY RESET PER ROS 14492.

N 1839744.91  
E 6279343.96  
EL=9.12' N.G.V.D. 29

**LEGEND**

- INDICATES FOUND MONUMENT AS NOTED
- INDICATES A.L.T.A. SURVEY BOUNDARY
- ( ) INDICATES RECORD VALUE PER CITY THE SHEET NO. 25
- ( ) INDICATES RECORD VALUE PER RECORD OF SURVEY 11467
- { } INDICATES RECORD VALUE PER PARCEL MAP 19892
- HP INDICATES HIGH POINT
- DW INDICATES DRIVEWAY
- FS INDICATES FINISHED SURFACE
- TW INDICATES TOP OF WALL
- TC INDICATES TOP OF CURB
- SW INDICATES SIDEWALK
- ELEC INDICATES ELECTRIC
- HH INDICATES HAND HOLE
- SDG&E INDICATES SAN DIEGO GAS & ELECTRIC
- SDWD INDICATES SAN DIEGO WATER DISTRICT
- INDICATES CONCRETE
- INDICATES EXISTING BUILDING AT GROUND LEVEL
- INDICATES EDGE OF ASPHALT
- INDICATES BRICK SURFACE
- INDICATES WOODEN PATIO
- INDICATES SPOT ELEVATION
- INDICATES 8" CMU WALL
- INDICATES 6" HIGH WOODEN FENCE
- INDICATES WROUGHT IRON GATE



**CURRENT VESTED OWNER**

JAMES BLACK, PER GRANT DEED DOCUMENT NO. 2014-0296937, RECORDED JULY 15, 2014.

**SURVEYOR'S CERTIFICATE**

TO: DOUGLAS HAMM AND LAWYERS TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 5, 4, 5, 6, 8, 10(OBSERVED), 13, AND 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN APRIL, 2019.

DATE OF PLAT OR MAP: 05-03-2019

NOTE: SECTION 8770.6 OF THE PROFESSIONAL LAND SURVEYORS ACT IN THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" HEREON ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GARY L. HUS, L.S. 7019  
DATE: 05-03-2019

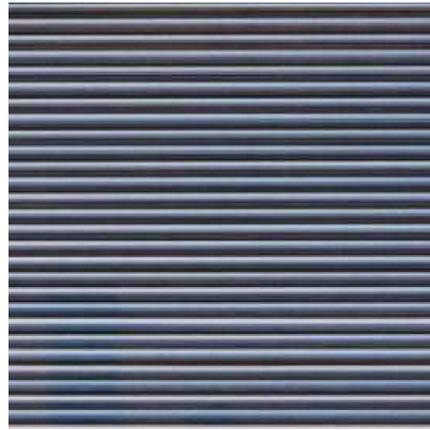
**PROJECT DESIGN CONSULTANTS**  
Planning | Landscape Architecture | Engineering | Survey

701 B Street, Suite 800  
San Diego, CA 92101  
619.236.6471 Tel  
619.234.0349 Fax

**AIR RIGHTS TOWER**  
1620 Union Street San Diego Ca, 92101  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE:	
SURVEY	
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	OF
SHEET NAME:	



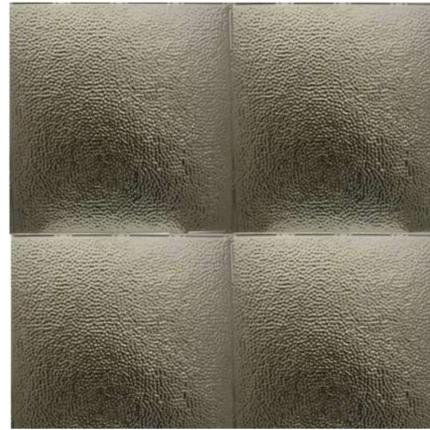
GARGE DOOR CORRUGATED METAL > 80% SOLID

1



DARK BRONZE ANNODIZED SHEETMETAL

2



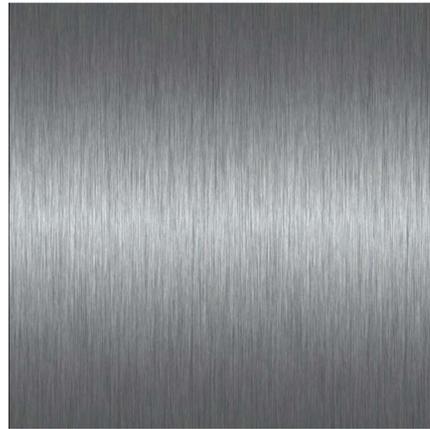
TEXTURED METALLIC SHEETING

3



SOLAR BAN 70 GLASS OFFSET GLAZING

4



METAL PANEL

5



DARK BRONZE POWDER COATED METAL

6



DUAL GLAZED SOLAR BAN 70 CENTER SET

7



CLEAR LAMINATED GUARDRAIL GLASS

8



CAST IN PLACE CONCRETE BOARD FORM

9



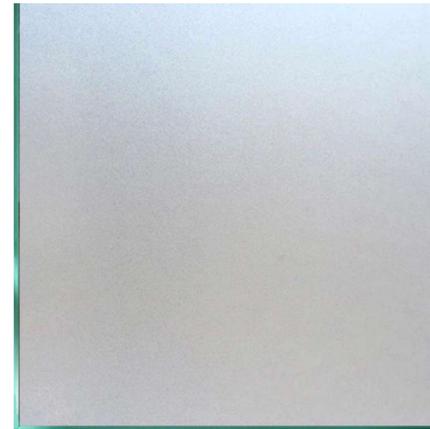
BLACK ANNODIZED SHEETMETAL

10



STUCCO PAINTED DARK BRONZE

11



FROSTED GLASS

12



WHITE/CREAM STUCCO SAND FINISH

13

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PROJECT #	
SHEET TITLE:	
MATERIALS BOARD	
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	
OF	
SHEET NAME:	



(12)



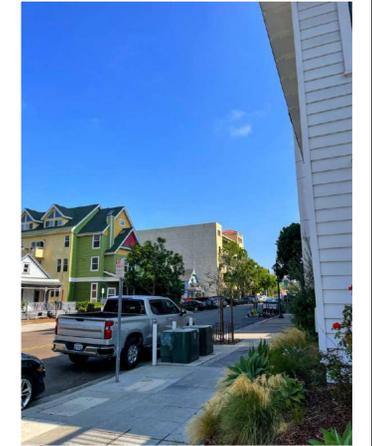
(11)



(10)



(9)



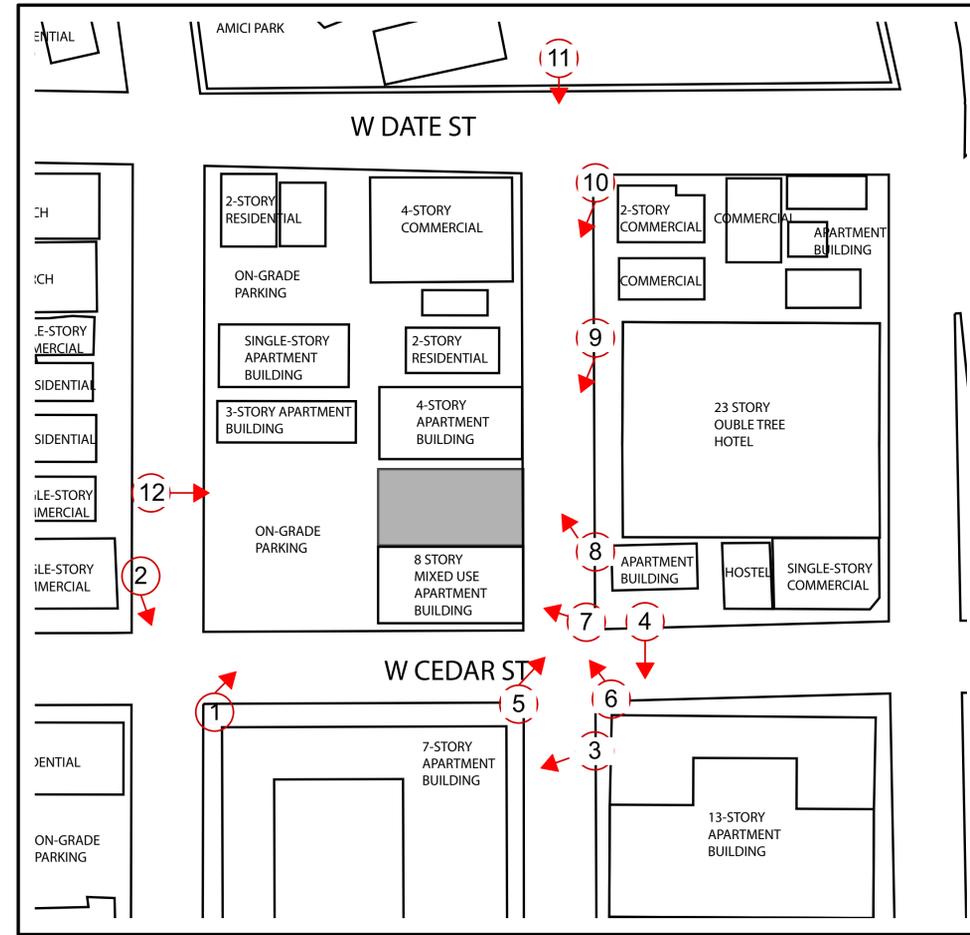
(8)



(7)



(1)



(2)



(3)



(5)



(4)



(6)

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PROJECT #

EXISTING SITE CONDITIONS & PHOTOGRAPHIC STUDY

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

REVISION 5:

REVISION 6:

SHEET: \_\_\_ OF \_\_\_

SHEET NAME:



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PROJECT #	
SHEET TITLE:	PERSPECTIVE VIEWS
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	__ OF __
SHEET NAME:	

AERIAL VIEW FROM SOUTH EAST LOOKING NORTH WEST



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3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # \_\_\_\_\_

SHEET TITLE:  
PERSPECTIVE  
VIEWS

SCALE: \_\_\_\_\_

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: \_\_\_\_\_

REVISION 5: \_\_\_\_\_

REVISION 6: \_\_\_\_\_

SHEET: \_\_\_\_\_ OF \_\_\_\_\_

SHEET NAME: \_\_\_\_\_

T1.6

VIEW FROM WEST CEDAR STREET LOOKING EAST



VIEW FROM WEST CEDAR STREET LOOKING WEST

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PROJECT #
SHEET TITLE: PERSPECTIVE VIEWS
SCALE:
DATE: 9/1/21
REVISION 1: 10/12/21
REVISION 2: 11/23/21
REVISION 3: 12/21/21
REVISION 4:
REVISION 5:
REVISION 6:
SHEET: __ OF __
SHEET NAME:

T1.7



AERIAL VIEW TO THE WEST



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PROJECT #

SHEET TITLE:  
PERSPECTIVE  
VIEWS

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

REVISION 5:

REVISION 6:

SHEET: \_\_\_ OF \_\_\_

SHEET NAME:

**T1.8**





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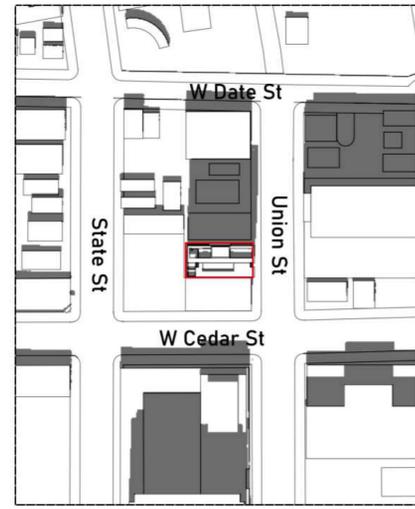
PROJECT #
SHEET TITLE: PERSPECTIVE VIEWS
SCALE:
DATE: 9/1/21
REVISION 1: 10/12/21
REVISION 2: 11/23/21
REVISION 3: 12/21/21
REVISION 4:
REVISION 5:
REVISION 6:
SHEET: __ OF __
SHEET NAME:

NORHT ELEVATION **T1.9A**

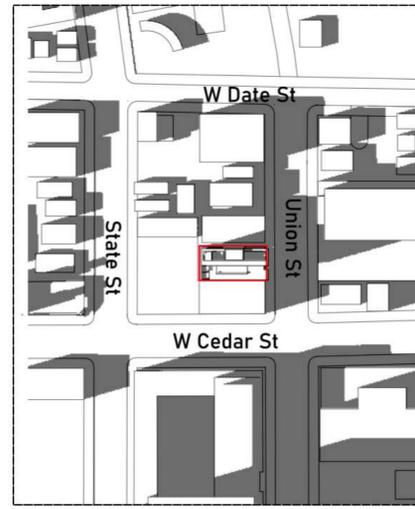
**T1.9A**



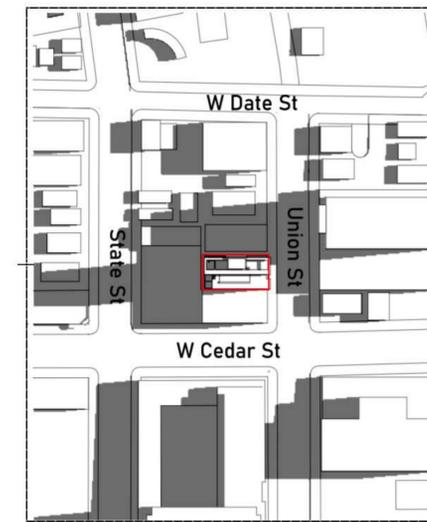
1:0.67 Sun\_Spring\_8am



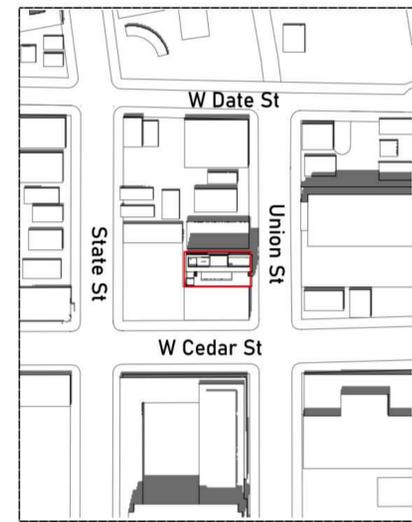
1:0.67 Sun\_Spring\_12pm



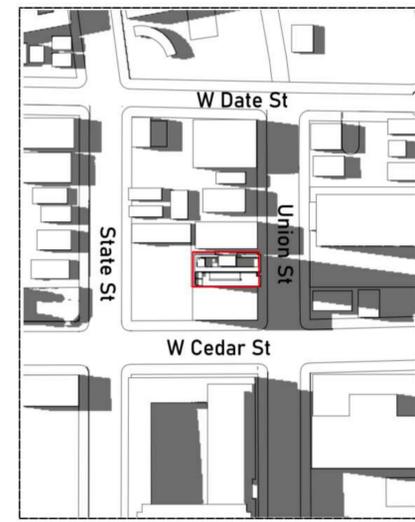
1:0.67 Sun\_Spring\_4pm



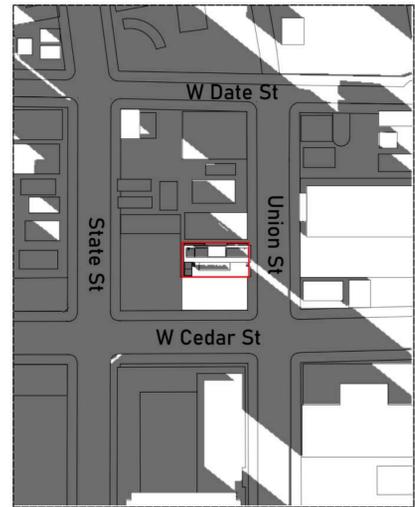
1:0.67 Sun\_Summer\_8am



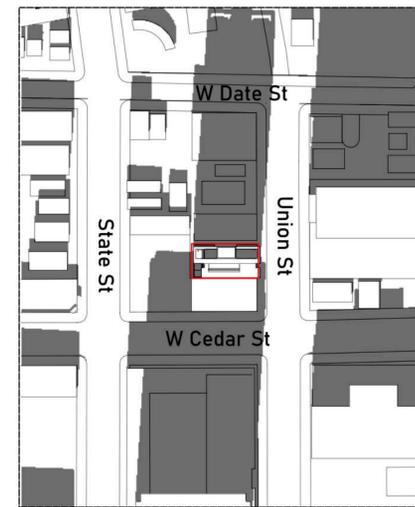
1:0.67 Sun\_Summer\_12pm



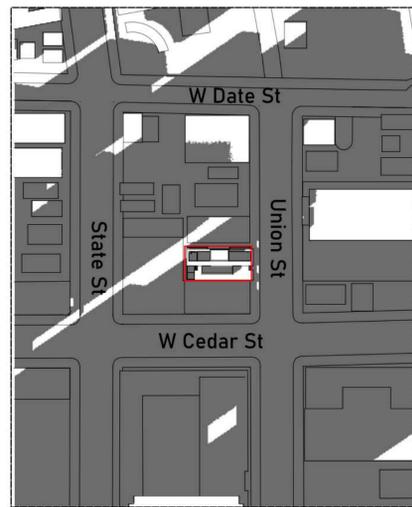
1:0.67 Sun\_Summer\_4pm



1:0.67 Sun\_Winter\_8am



1:0.67 Sun\_Winter\_12pm



1:0.67 Sun\_Winter\_4pm



1:0.28 Tower\_Vicinity\_Map

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PROJECT #

SHEET TITLE:  
 SOLAR STUDY /  
 VICINITY SITE PLAN  
 SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

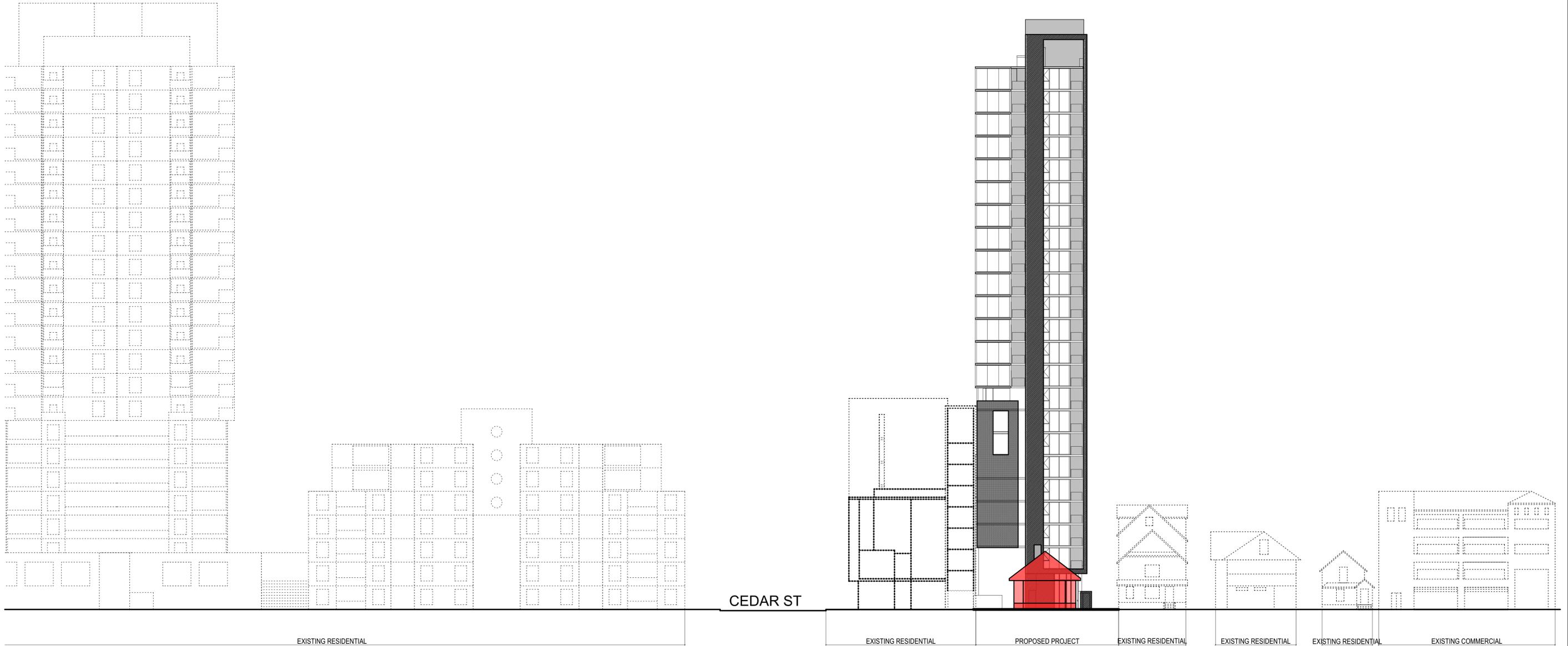
REVISION 4:

REVISION 5:

REVISION 6:

SHEET: \_\_\_ OF \_\_\_

SHEET NAME:



CEDAR ST

EXISTING RESIDENTIAL

EXISTING RESIDENTIAL

PROPOSED PROJECT

EXISTING RESIDENTIAL

EXISTING RESIDENTIAL

EXISTING RESIDENTIAL

EXISTING COMMERCIAL

EAST VICINITY ELEVATION  
SCALE: 1" = 20'

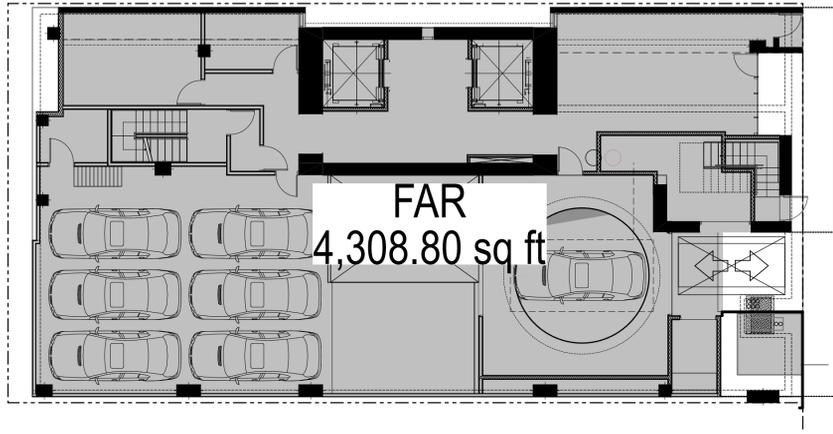
ELEV  
T2.1

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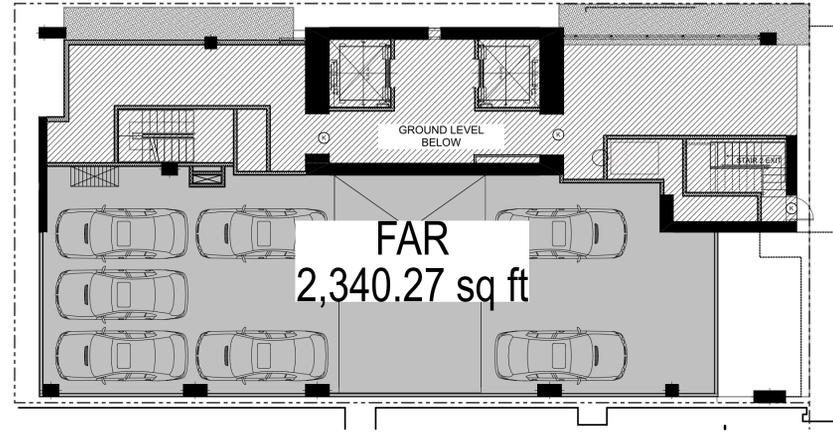


PROJECT #	
SHEET TITLE:	VICINITY ELEVATIONS
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	__ OF __
SHEET NAME:	

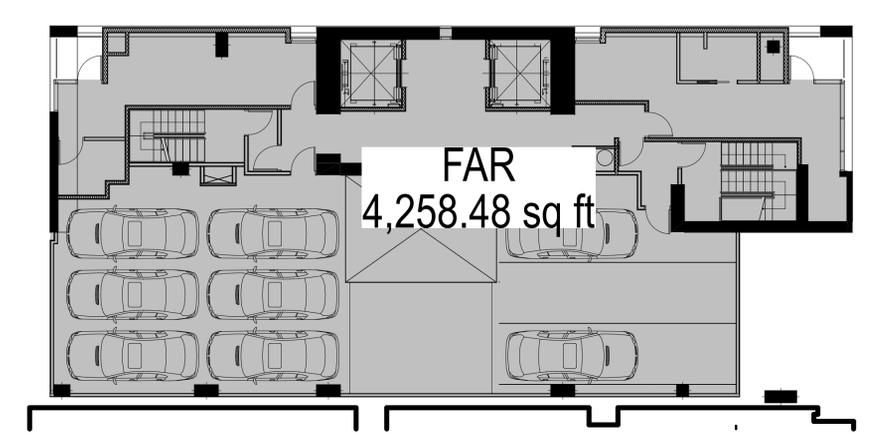
T2.1



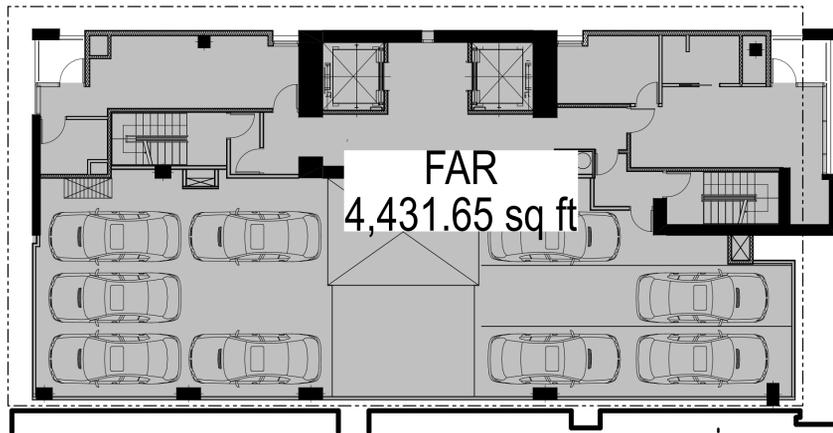
Ground Level FAR  
SCALE: 3/32" = 1'-0" 1



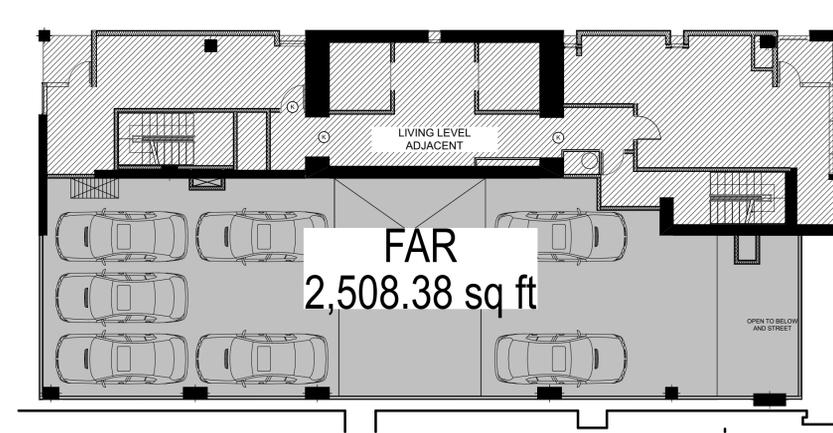
Level 1.1P FAR  
SCALE: 3/32" = 1'-0" 1.1



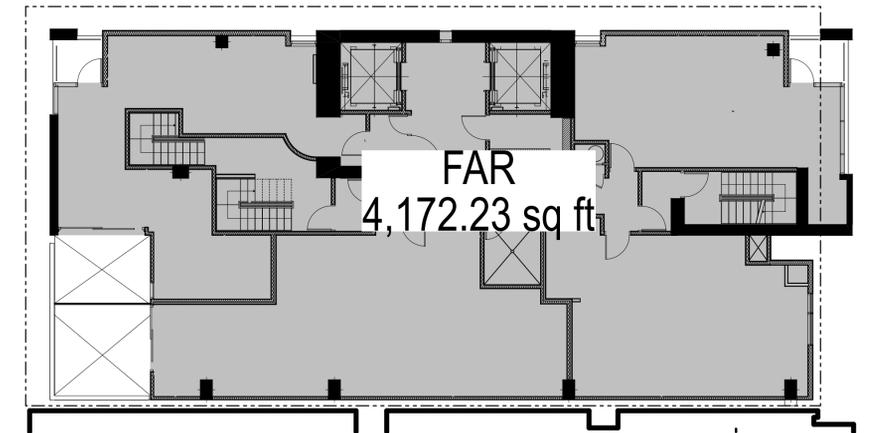
Level 2 FAR  
SCALE: 3/32" = 1'-0" 2



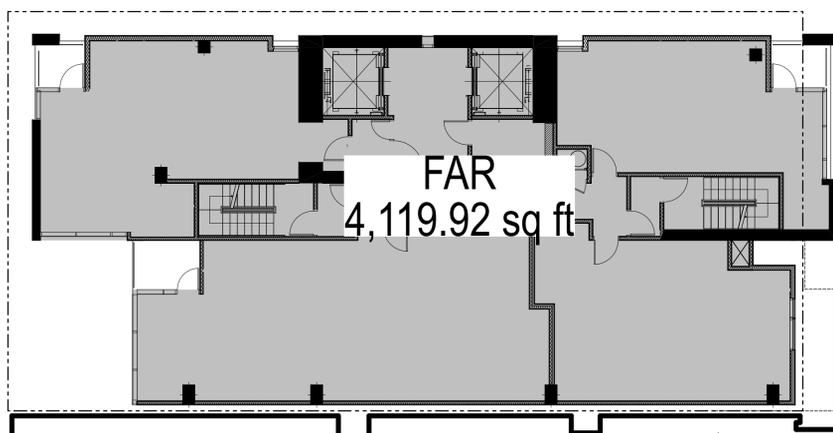
Level 3-6 FAR  
SCALE: 3/32" = 1'-0" 3-6



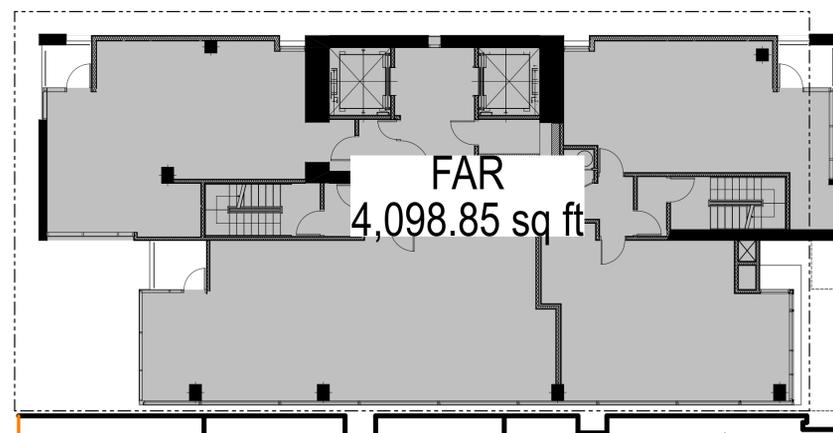
Level 4.1P FAR  
SCALE: 3/32" = 1'-0" 4.1



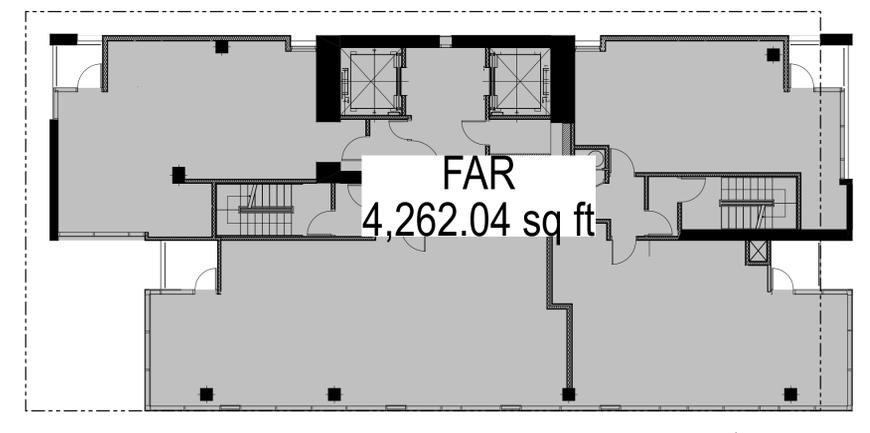
Level 7 FAR  
SCALE: 3/32" = 1'-0" 7



Level 8 FAR  
SCALE: 3/32" = 1'-0" 8



Level 9 FAR  
SCALE: 3/32" = 1'-0" 9

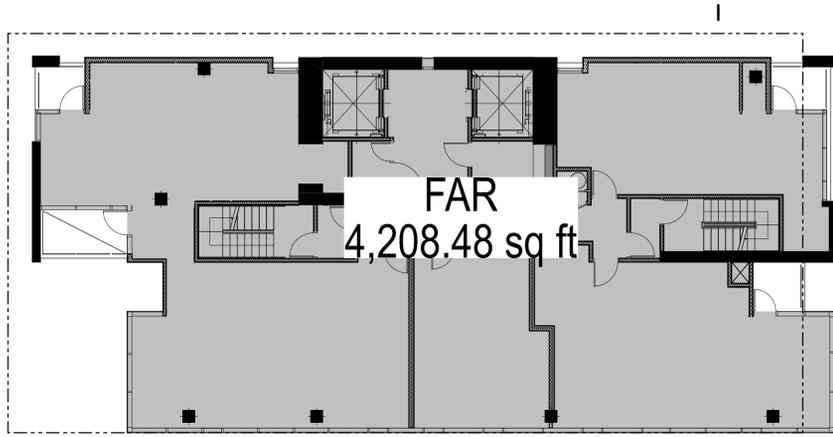


Level 10-19 TYP FAR  
SCALE: 3/32" = 1'-0" 10-19

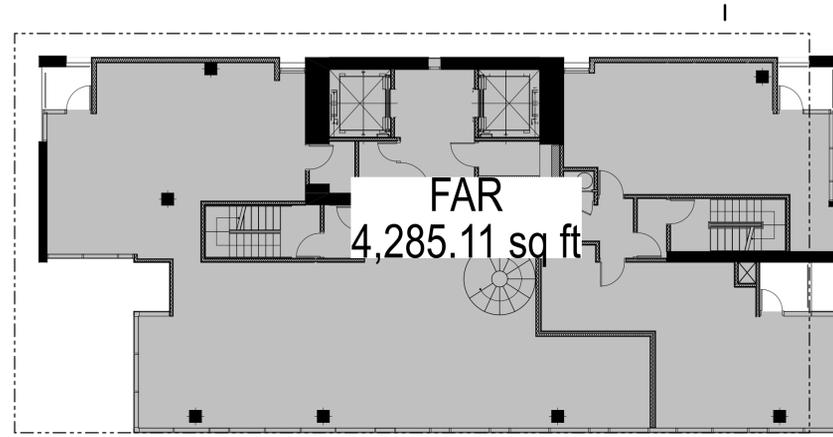
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3000 Upas Street Suite 101 San Diego, CA 92104



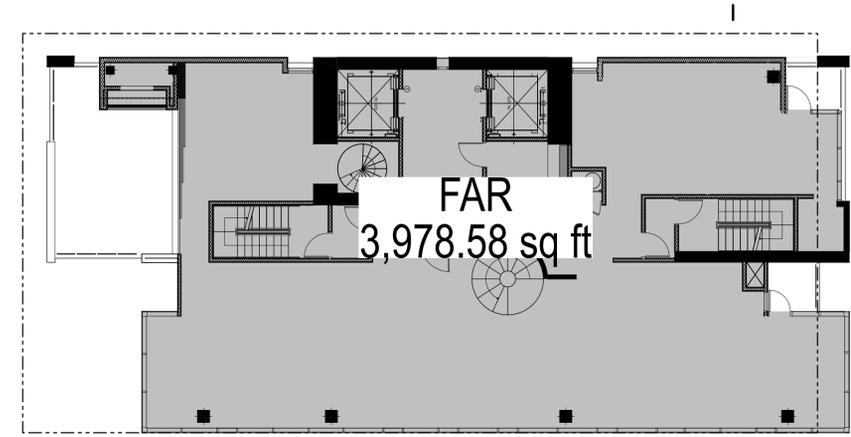
PROJECT #	
SHEET TITLE:	
FAR DIAGRAMS	
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	__ OF __
SHEET NAME:	



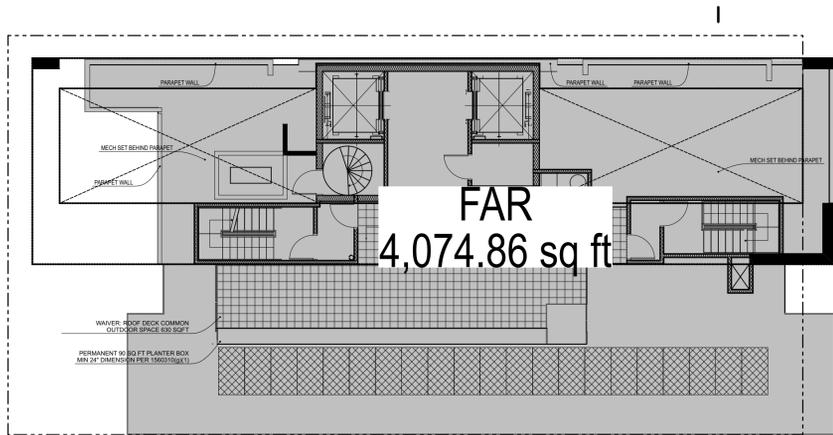
Level 20-21 FAR  
SCALE: 3/32" = 1'-0" 20-21



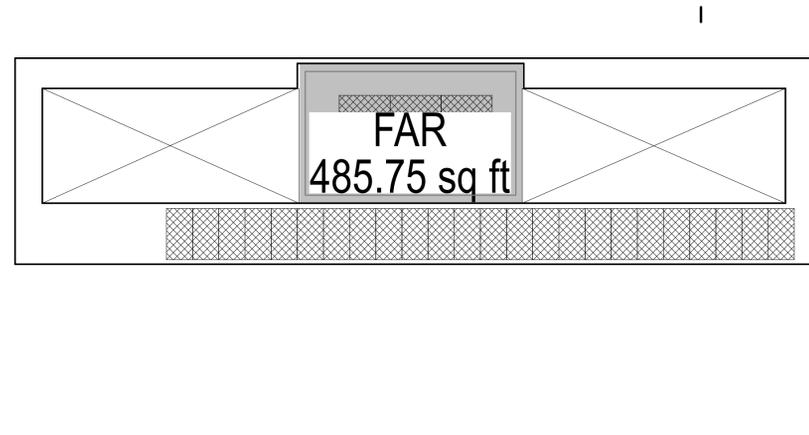
Level 22 Penthouse L1 FAR  
SCALE: 3/32" = 1'-0" 22



Level 23 Penthouse L2 FAR  
SCALE: 3/32" = 1'-0" 23



Roof FAR  
SCALE: 3/32" = 1'-0" 24



Upper Arch Roof FAR  
SCALE: 3/32" = 1'-0" 25

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3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # \_\_\_\_\_

SHEET TITLE: \_\_\_\_\_

FAR DIAGRAMS

SCALE: \_\_\_\_\_

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

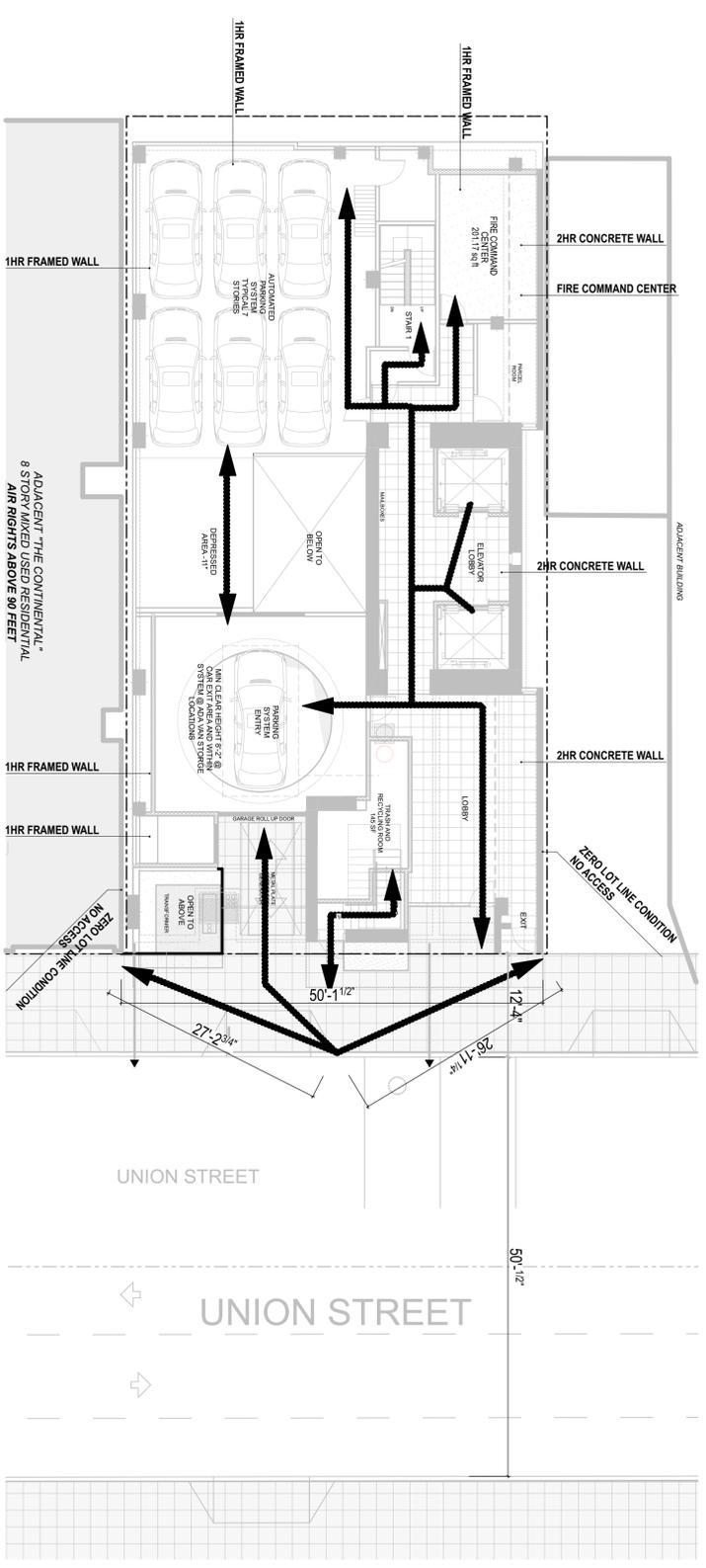
REVISION 4: \_\_\_\_\_

REVISION 5: \_\_\_\_\_

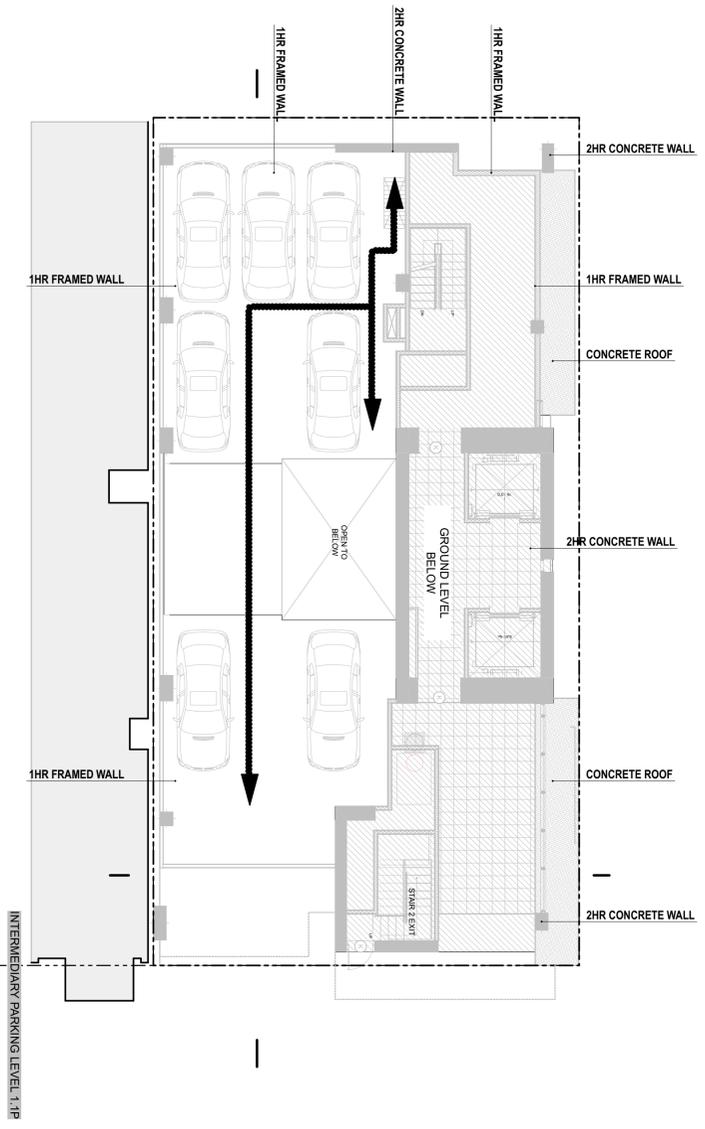
REVISION 6: \_\_\_\_\_

SHEET: \_\_\_ OF \_\_\_

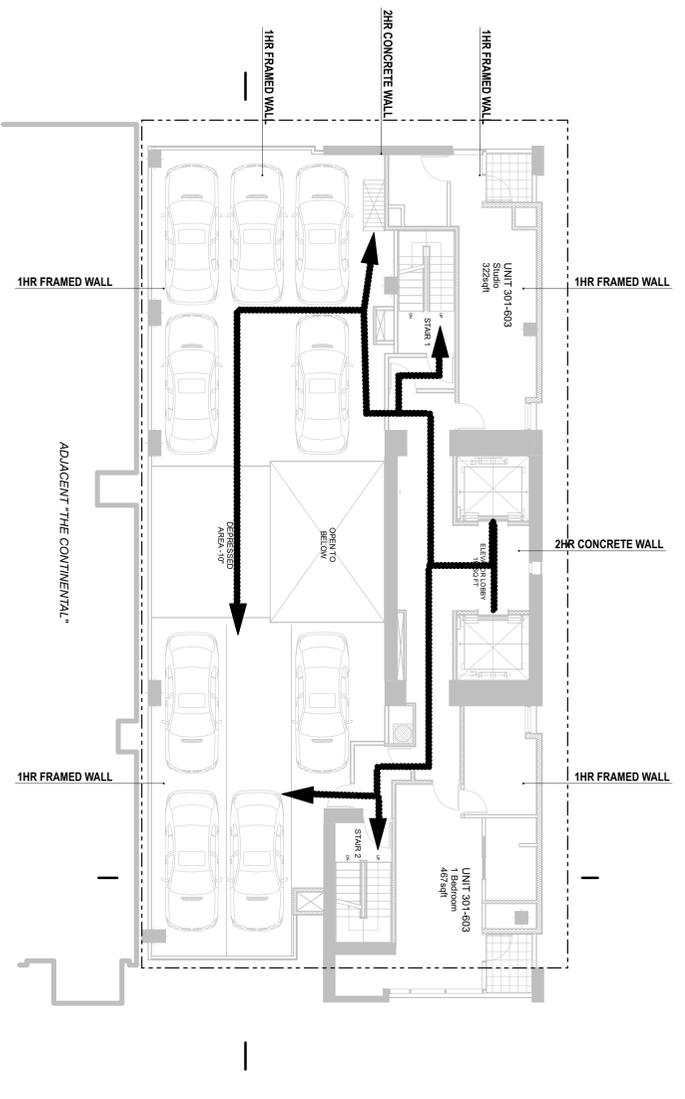
SHEET NAME: \_\_\_\_\_



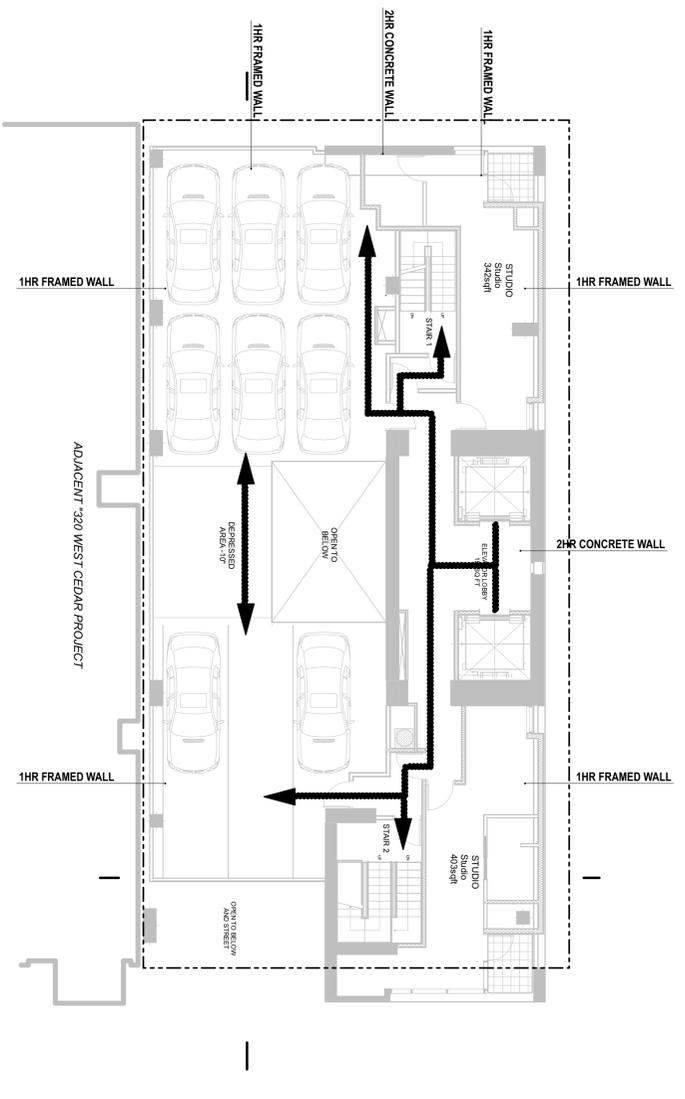
FIRE ACCESS PLAN  
SCALE: 1" = 10'  
T2.4



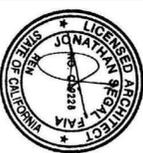
FIRE ACCESS LEVEL 1.1P  
SCALE: 1" = 10'  
T2.4



FIRE ACCESS LEVEL 3.6  
SCALE: 1" = 10'  
T2.4



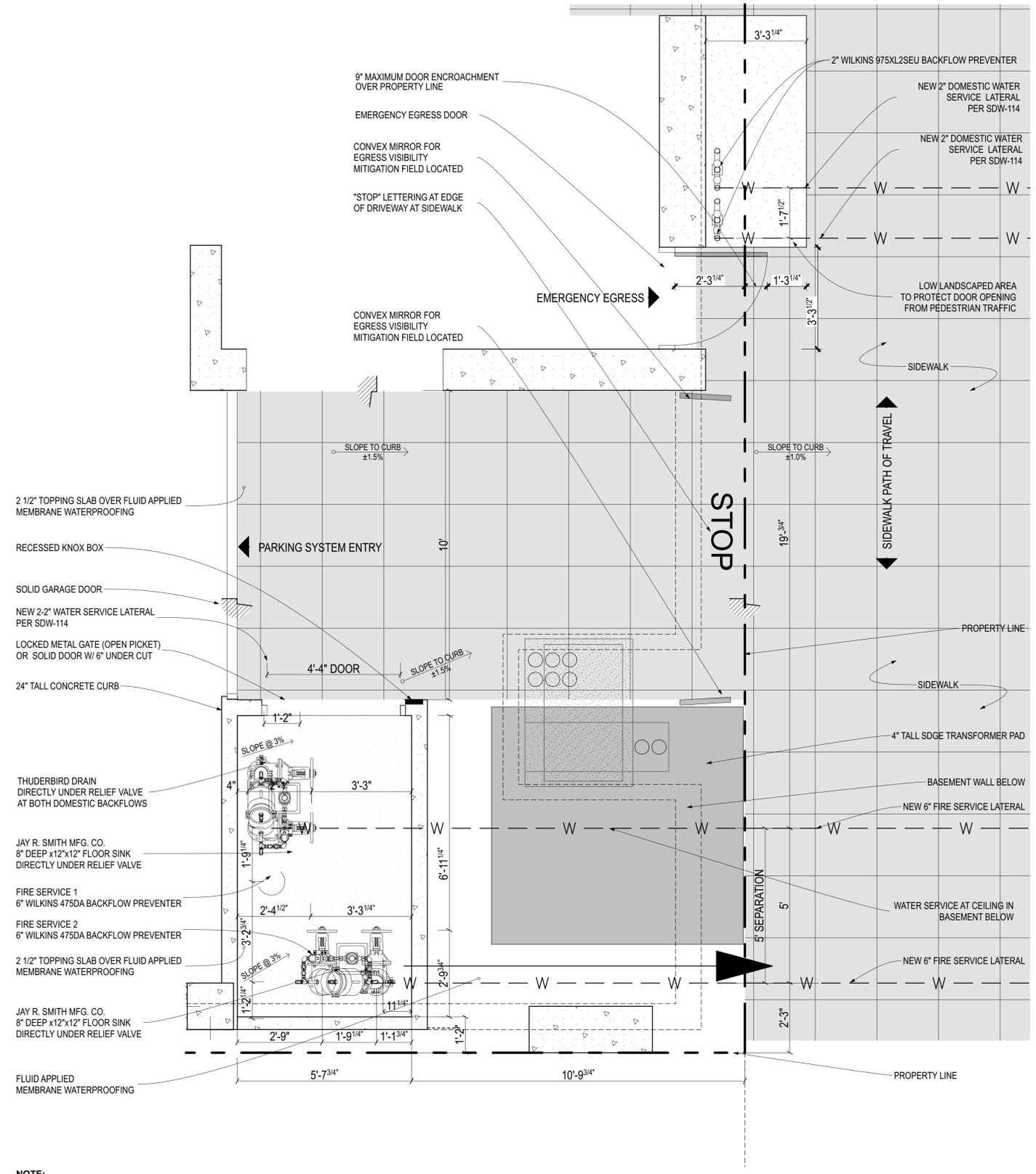
FIRE ACCESS L3  
SCALE: 1" = 10'  
T2.4



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JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104

PROJECT #	
SHEET TITLE:	FIRE ACCESS PLAN
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
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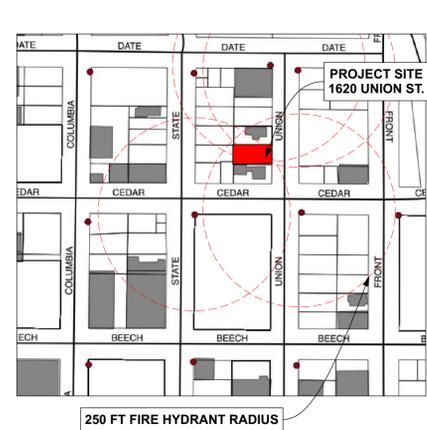
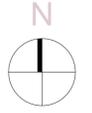
**NOTE:**  
 ALL PROPOSED PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PUBLIC UTILITIES APPROVED WATER METER DATA CARD.

ENLARGED WET UTILITY ROOM + SIDEWALK PLAN 1  
 SCALE: 1/2" = 1'-0" C1.1

**AIR RIGHTS TOWER**  
 1620 Union Street San Diego Ca, 92101  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
DATE	9/1/21
REVISION 1:	10/12/21
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REVISION 5:	
REVISION 6:	
SHEET:	1 OF 1
SHEET NAME:	



FIRE HYDRANT LOCATION MAP

**IMPERVIOUS AREA SUMMARY TABLE**

ONSITE	
TOTAL DISTURBANCE AREA	5,014 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	4,005 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	5,014 SF
TOTAL IMPERVIOUS AREA	5,014 SF
OFF-SITE (PUBLIC IMPROVEMENTS)	
TOTAL DISTURBANCE AREA	594 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	594 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	594 SF

**REQUIRED FIREFLOW & HYDRANTS**

CONSTRUCTION TYPE	TYPE 1A
TOTAL FLOOR AREA	8858 SF BASED ON THE LARGEST AREA OF 3 SUCCESSIVE FLOORS
FIREFLOW:	1500 GPM FOR 2 HOURS PER CFC TABLE B1.05.1
REQUIRED:	25% OF B105.1(2) PER 903.3.1.1
	NFPA 13R
	375 GPM NOT LESS THAN 1000 GPM
MAX DISTANCE TO FIRE HYDRANT: FEET	190

**FD POLICY 10-09**  
 1. CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC.  
 REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.

**CFC 3313.1**  
 EVERY BUILDING FOUR STORIES OR MORE IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN 1 STANDPIPE FOR USE DURING CONSTRUCTION INSTALLED IN ACCORDANCE WITH CFC 3313.1  
 STANDPIPE SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.

**FD POLICY:**  
 •HIGH RISE BUILDINGS FDC'S SHALL HAVE (4) FOUR 2-1/2" INLETS.  
 •HIGH RISE BUILDINGS SHALL HAVE (2) REMOTELY LOCATED FDC'S FOR EACH ZONE  
 •HIGH RISE AND OTHER BUILDINGS EQUIPPED WITH HOSE VALVES OF THE PRESSURE REGULATING TYPE (PRV) SHALL PROVIDE A SIGN INDICATING MINIMUM PRESSURE THE FIRE APPARATUS IS REQUIRED TO PUMP INTO THE FDC  
 •A WEATHER RESISTANT SIGN SECURED WITH CORROSION-RESISTANT CHAIN OR FASTENER, SHALL INDICATE THE ADDRESS, PORTION OF THE BUILDING SERVED.

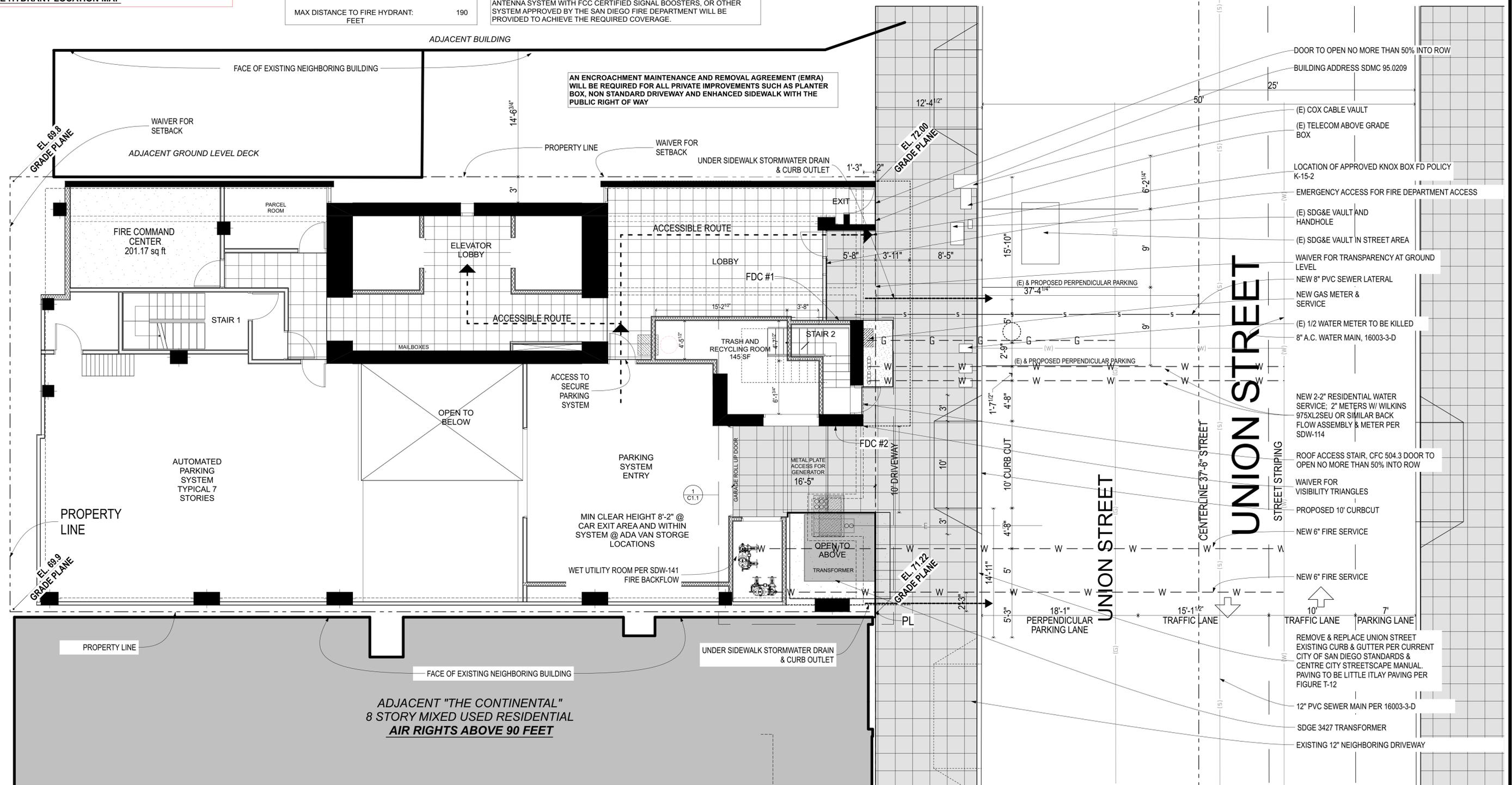
**CFC SECTION 510 EMERGENCY RESPONDER RADIO COVERAGE**  
 IF THIS BUILDING DOES NOT MEET THE SIGNAL STRENGTH REQUIREMENT OF -95DB INTO AND OUT OF THE BUILDING IN 95% OF THE AREAS ON EACH FLOOR OF THE BUILDING, A RADIATING CABLE SYSTEM, A DISTRIBUTED ANTENNA SYSTEM WITH FCC CERTIFIED SIGNAL BOOSTERS, OR OTHER SYSTEM APPROVED BY THE SAN DIEGO FIRE DEPARTMENT WILL BE PROVIDED TO ACHIEVE THE REQUIRED COVERAGE.

**FIRE ACCESS PLAN & NOTES**

- AERIAL ACCESS CAN BE OBTAINED UNION STREET PER THE REQUIRED SETBACK FROM FIRE DEPARTMENT POLICY A-14-1
- APPROVED STAIRWAY IDENTIFICATION SIGNS SHALL BE LOCATED AT EACH FLOOR LEVEL IN ALL ENCLOSED STAIRWAYS IN BUILDINGS FOUR OR MORE STORIES IN HEIGHT. SHOW DESIGN AND LOCATIONS OF SIGNS ON THE PLANS.
- A CLASS I (OR I AND II OR III STANDPIPE OUTLET CONNECTION IS REQUIRED IN OCCUPANCIES OF 4 OR MORE STORIES AT EVERY FLOOR-LEVEL CONNECTION OF EVERY REQUIRED STAIRWAY ABOVE OR BELOW GRADE. OUTLETS AT STAIRWAYS SHALL BE LOCATED WITH THE EXIT ENCLOSURE OR, IN THE CASE OF PRESSURIZED ENCLOSURES, WITHIN THE VESTIBULE OR EXTERIOR BALCONY, GIVING ACCESS TO THE STAIRWAY. THERE SHALL BE AT LEAST 1 OUTLET ABOVE THE ROOF LINE WHEN THE ROOF HAS A SLOPE OF LESS THAN 4/12 UNITS HORIZONTAL. IN BLDGS WHERE MORE THAN 1 STANDPIPE IS PROVIDED, THE STANDPIPES SHALL BE INTERCONNECTED.
- STAIRWAYS EXITING DIRECTLY TO THE EXTERIOR OF A BUILDING FOUR OR MORE STORIES IN HEIGHT SHALL BE PROVIDED WITH A MEANS FOR EMERGENCY ENTRY FOR FIRE DEPARTMENT ACCESS.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FD CONNECTIONS, PULL STATION, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.

**SITE PLAN NOTES:**

- OWNER WILL BE REQUIRED TO CAP (ABANDON) AT PROPERTY LINE ANY EXISTING UNUSED SEWER LATERALS AND INSTALL NEW SEWER LATERAL(S) WHICH MUST BE LOCATED OUTSIDE OF ANY DRIVEWAY OR VUA.
- OWNER WILL BE REQUIRED TO REMOVE (KILL) AT THE WATER MAIN ANY EXISTING UNUSED WATER SERVICES.
- CONTRACTOR DATE STAMPS ARE CONSIDERED SIGNIFICANT AND HISTORIC MARKINGS ARE TO BE PRESERVED ON SIDEWALK IN PLACE OR RELOCATED AND SET NEARBY
- ALL CITY CURB AND SIDEWALK TO BE REMOVED AND REPLACED ALONG ENTIRE PROPERTY LINE TO FULL HEIGHT CITY STANDARD CURB AND GUTTER
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- NO ARCHITECTURAL SCREENING ELEMENTS ON SITE FOR MECHANICAL
- NO EXISTING EASEMENTS
- A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF PROPOSED STRUCTURE IN RELATION TO THE FAA PART 77 NOTIFICATION SURFACE REQUIREMENTS. THE PRECONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED. CALL (858-581-7111) TO SCHEDULE THE PRE-CONSTRUCTION INSPECTION. CONTACT INSPECTION SERVICES OFFICE AT (858)492-5070, IF YOU HAVE ANY QUESTIONS PERTAINING TO THE PRE-CONSTRUCTION INSPECTION
- "NO SMOKING WITHIN 25' OF MAIN ENTRANCES EXISTS AND OPERABLE WINDOWS" SIGNS TO BE INSTALLED AS SHOWN ON PLAN



ADJACENT "THE CONTINENTAL"  
 8 STORY MIXED USED RESIDENTIAL  
 AIR RIGHTS ABOVE 90 FEET

**AIR RIGHTS TOWER**  
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 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #

SHEET TITLE:

SITE PLAN

SCALE:

DATE:

REVISION 1:

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REVISION 4:

REVISION 5:

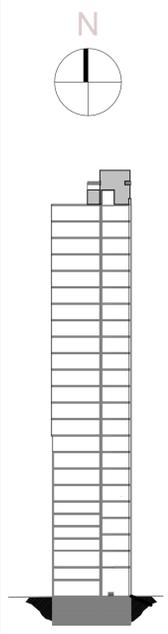
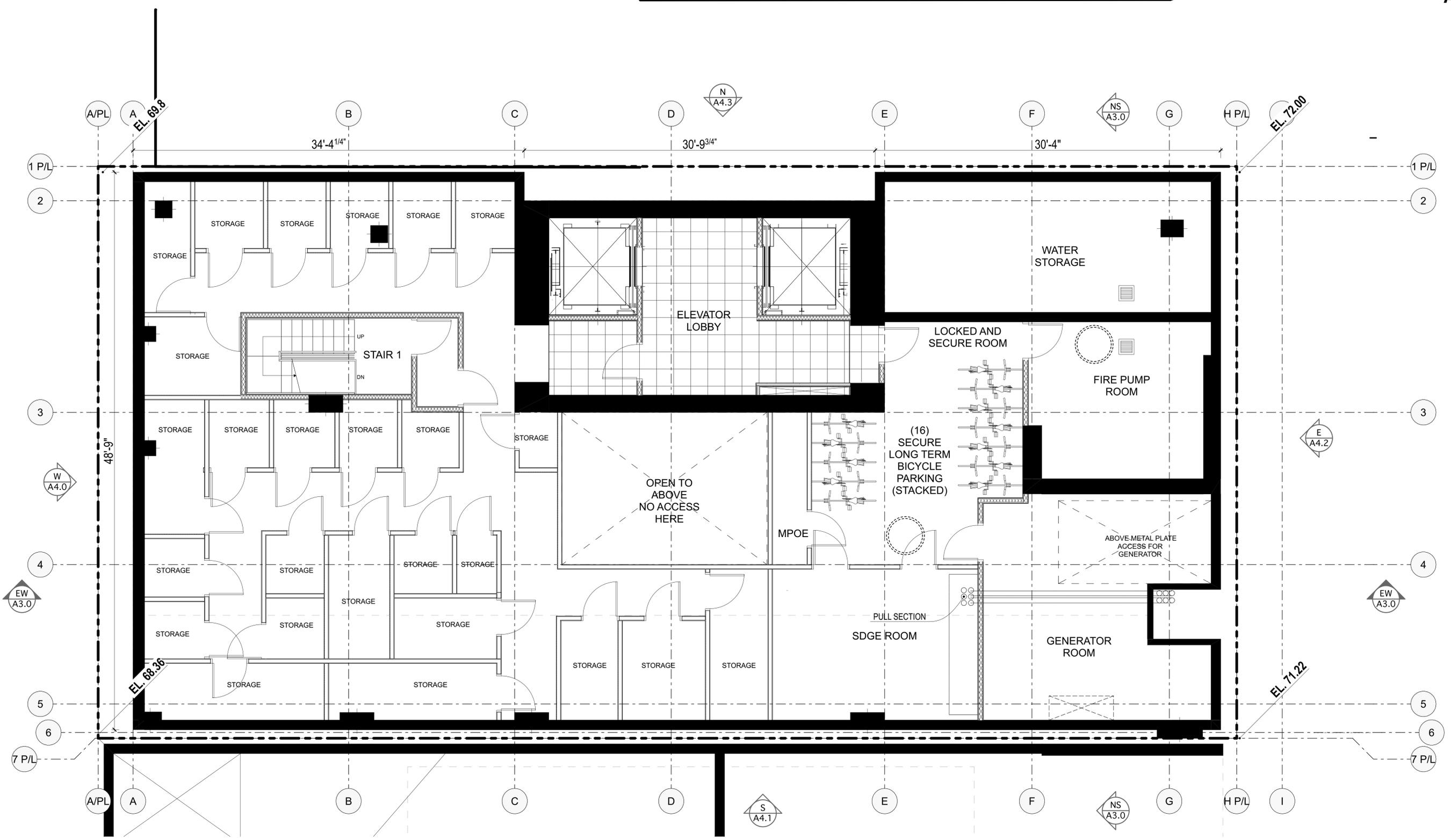
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SHEET NAME:

SITE PLAN  
 SCALE: 3/16" = 1'-0"

A0.0



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PROJECT # \_\_\_\_\_

SHEET TITLE:  
**BASEMENT**

SCALE:  
 1/4" = 1'-0"

DATE:  
 9/1/21

REVISION 1:  
 10/12/21

REVISION 2:  
 11/23/21

REVISION 3:  
 12/21/21

REVISION 4:  
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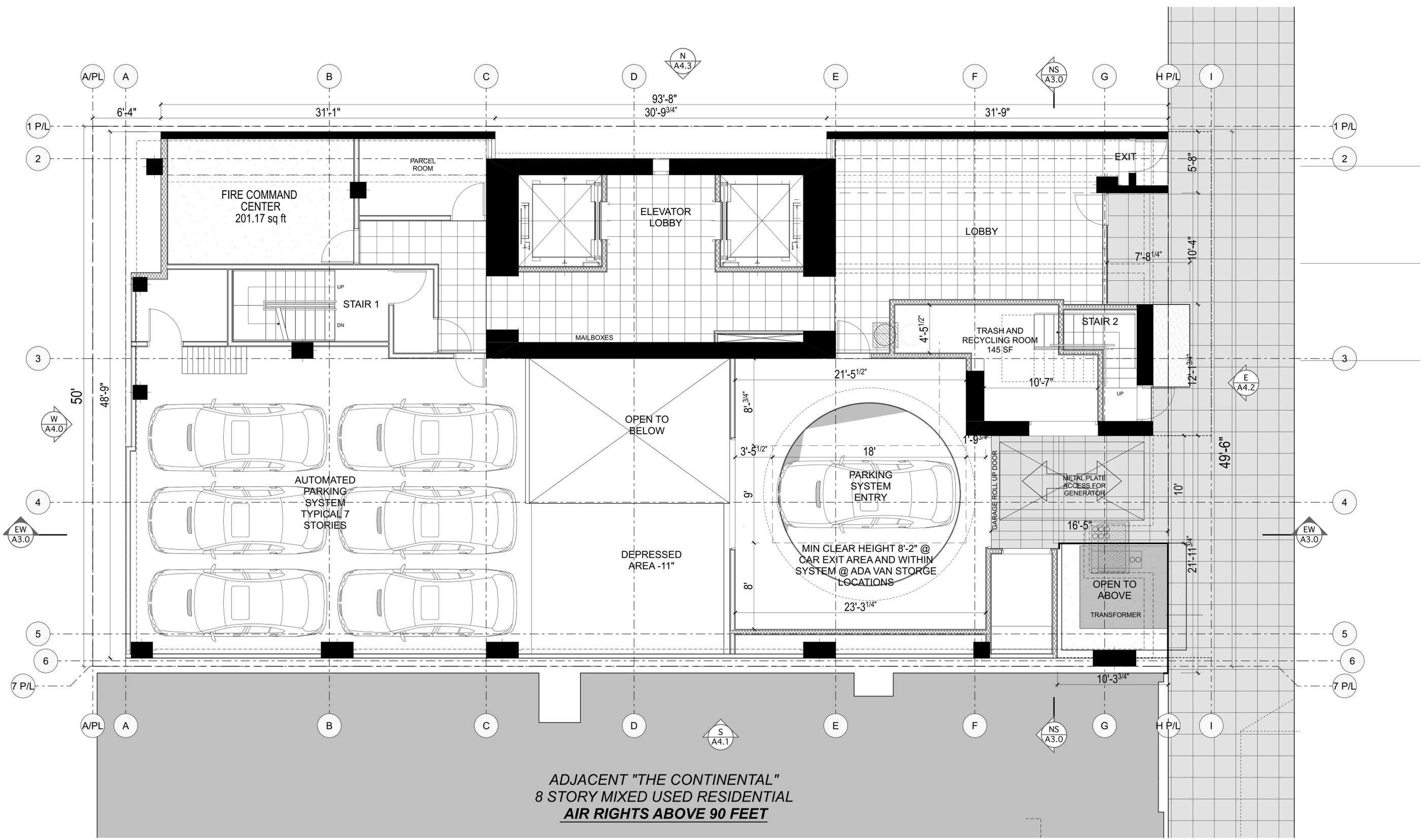
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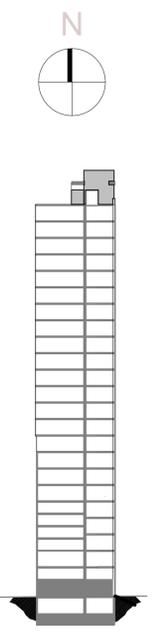
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 SCALE: 1/4" = 1'-0" **-1.**

**A1.0**



ADJACENT "THE CONTINENTAL"  
8 STORY MIXED USED RESIDENTIAL  
**AIR RIGHTS ABOVE 90 FEET**

GROUND LEVEL  
SCALE: 1/4" = 1'-0" 1



**AIR RIGHTS TOWER**  
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PROJECT #

SHEET TITLE:  
GROUND LEVEL  
SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

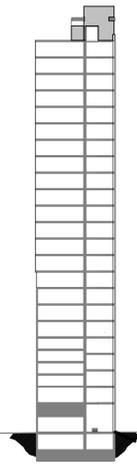
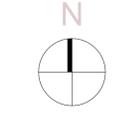
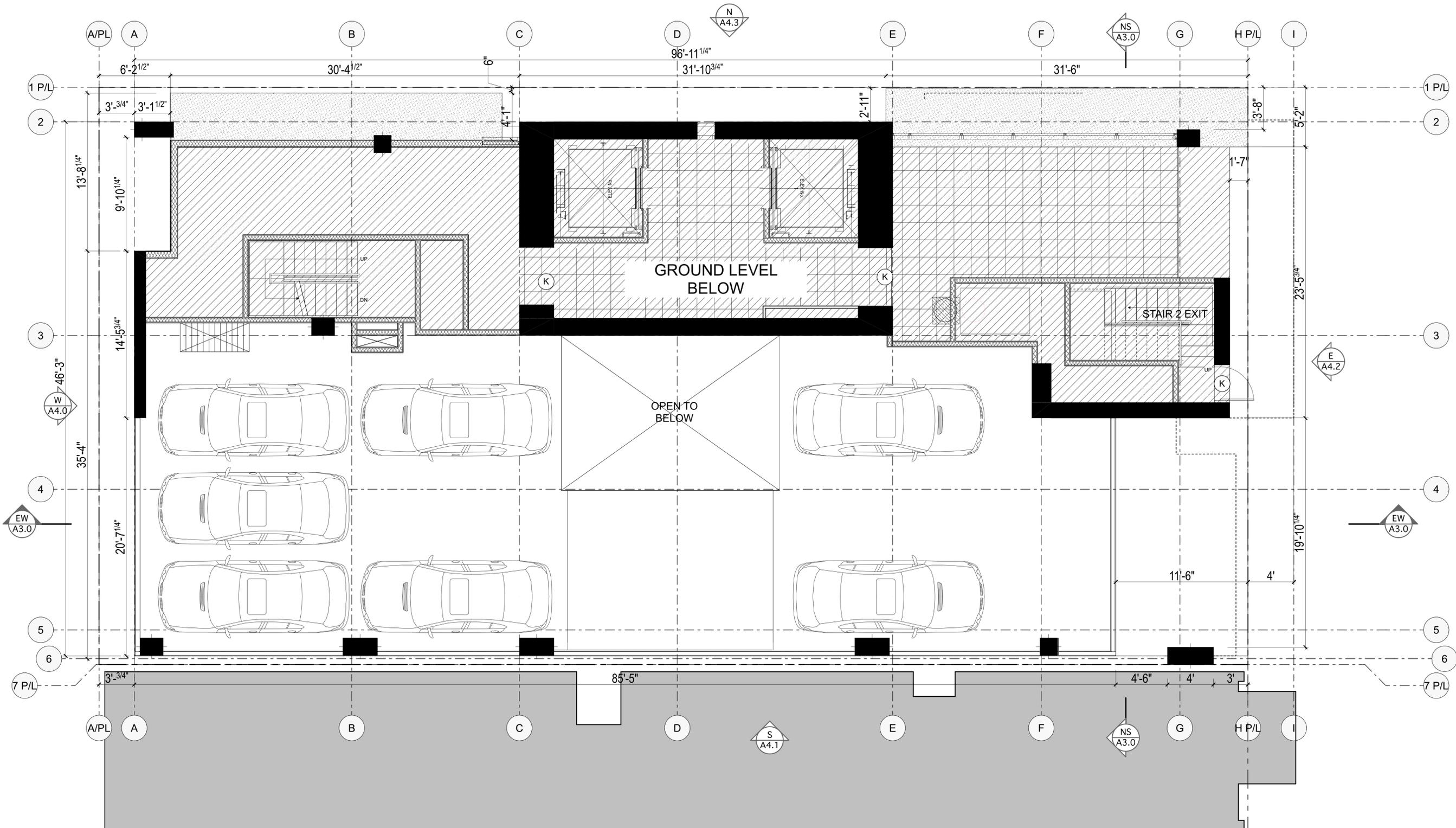
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SHEET NAME:



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PROJECT # \_\_\_\_\_

SHEET TITLE:  
 PARKING LEVEL 1P  
 SCALE: \_\_\_\_\_

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

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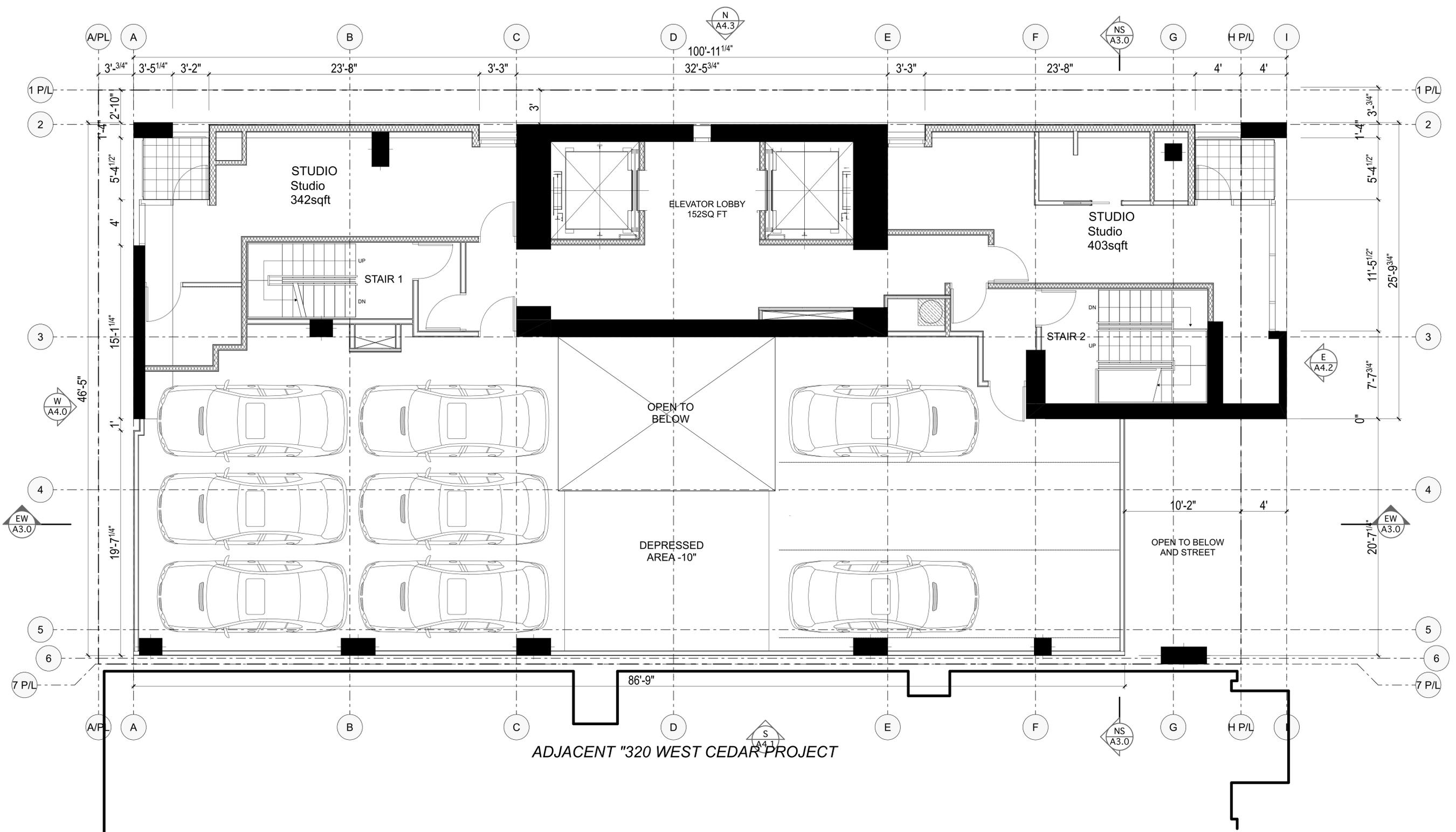
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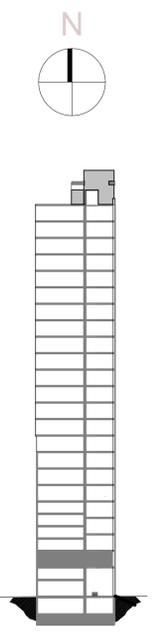
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INTERMEDIARY PARKING LEVEL 1P  
 SCALE: 1/4" = 1'-0" 1.1



ADJACENT "320 WEST CEDAR PROJECT"

LEVEL 2  
SCALE: 1/4" = 1'-0" 2.



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PROJECT #

SHEET TITLE:  
LEVEL 2

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

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REVISION 3: 12/21/21

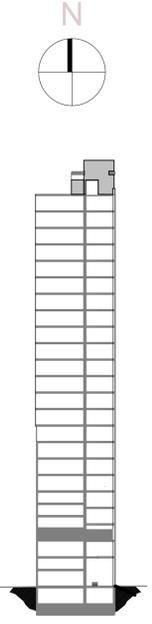
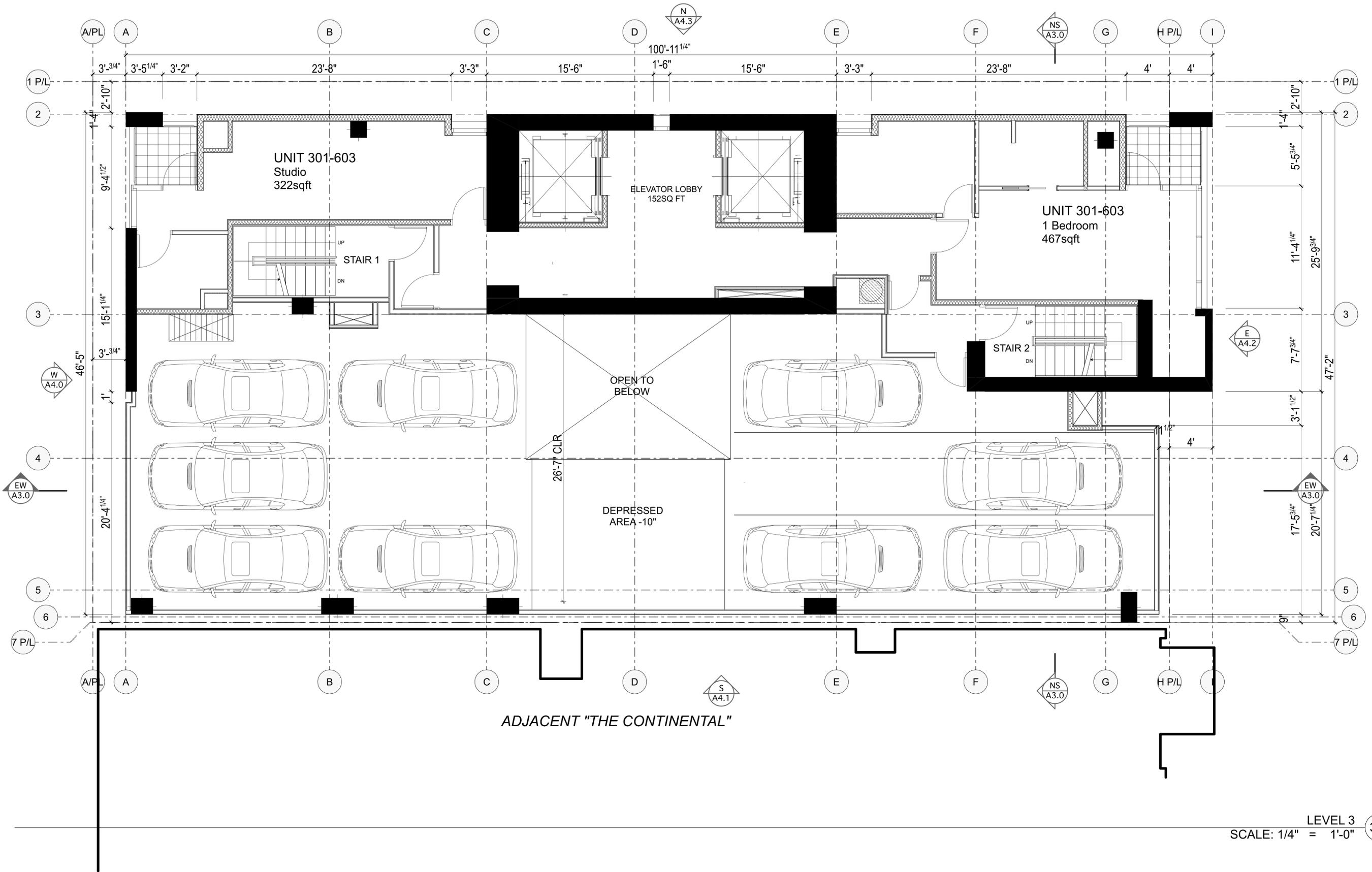
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SHEET NAME:



**AIR RIGHTS TOWER**  
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PROJECT # \_\_\_\_\_

SHEET TITLE:  
 LEVEL 3

SCALE:  
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DATE:  
 9/1/21

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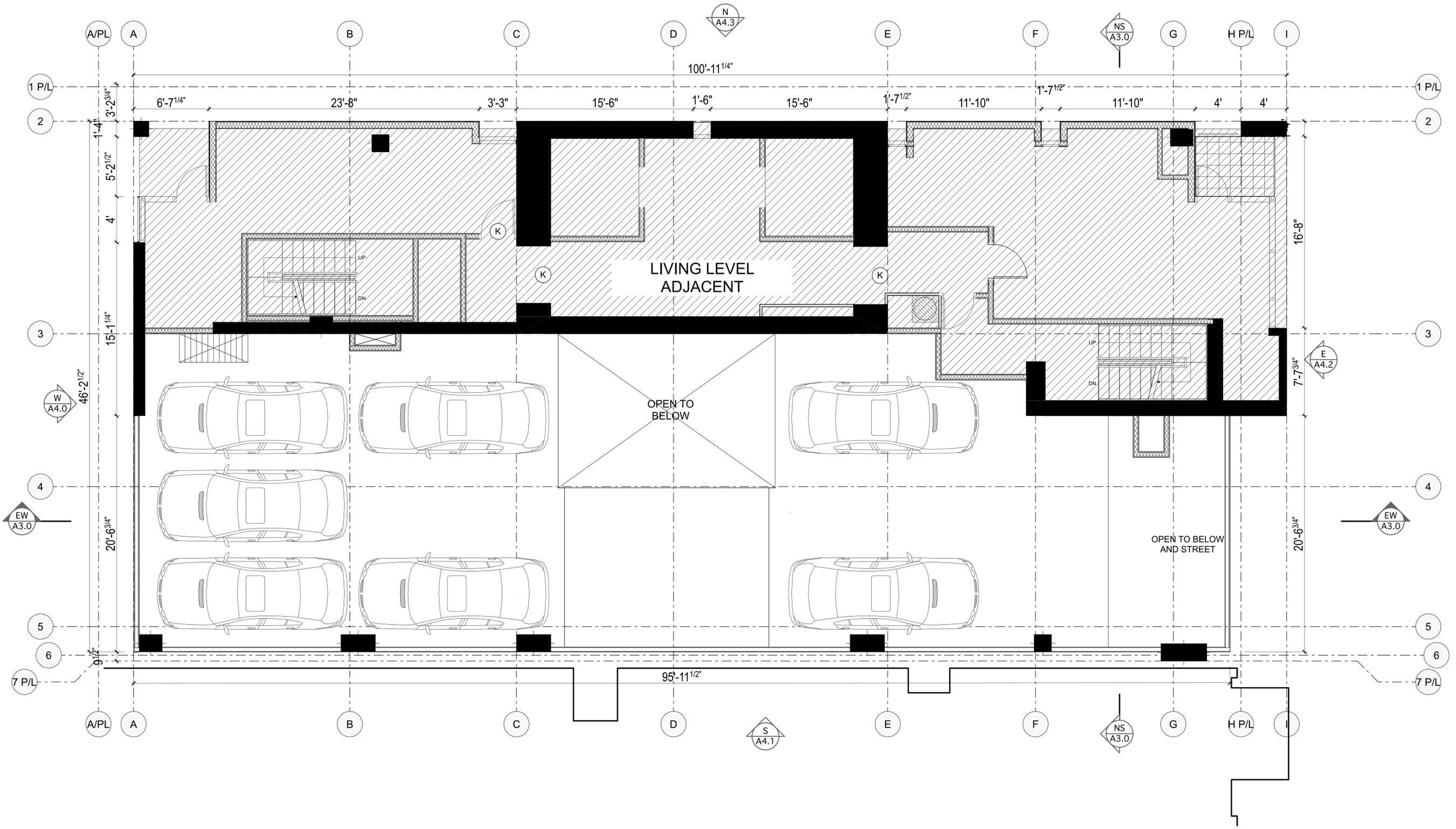
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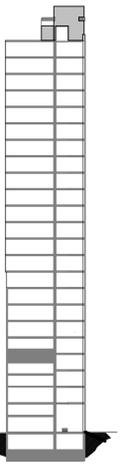
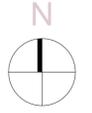
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LEVEL 3  
 SCALE: 1/4" = 1'-0" 3-6



INTERMEDIARY L LEVEL 4.1P  
SCALE: 1/4" = 1'-0" 4.1



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PROJECT #

SHEET TITLE:  
PARKING LEVEL 4.1P  
SCALE:

DATE: 9/1/21

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REVISION 3: 12/21/21

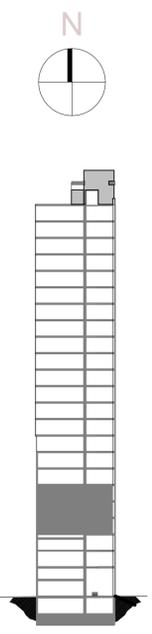
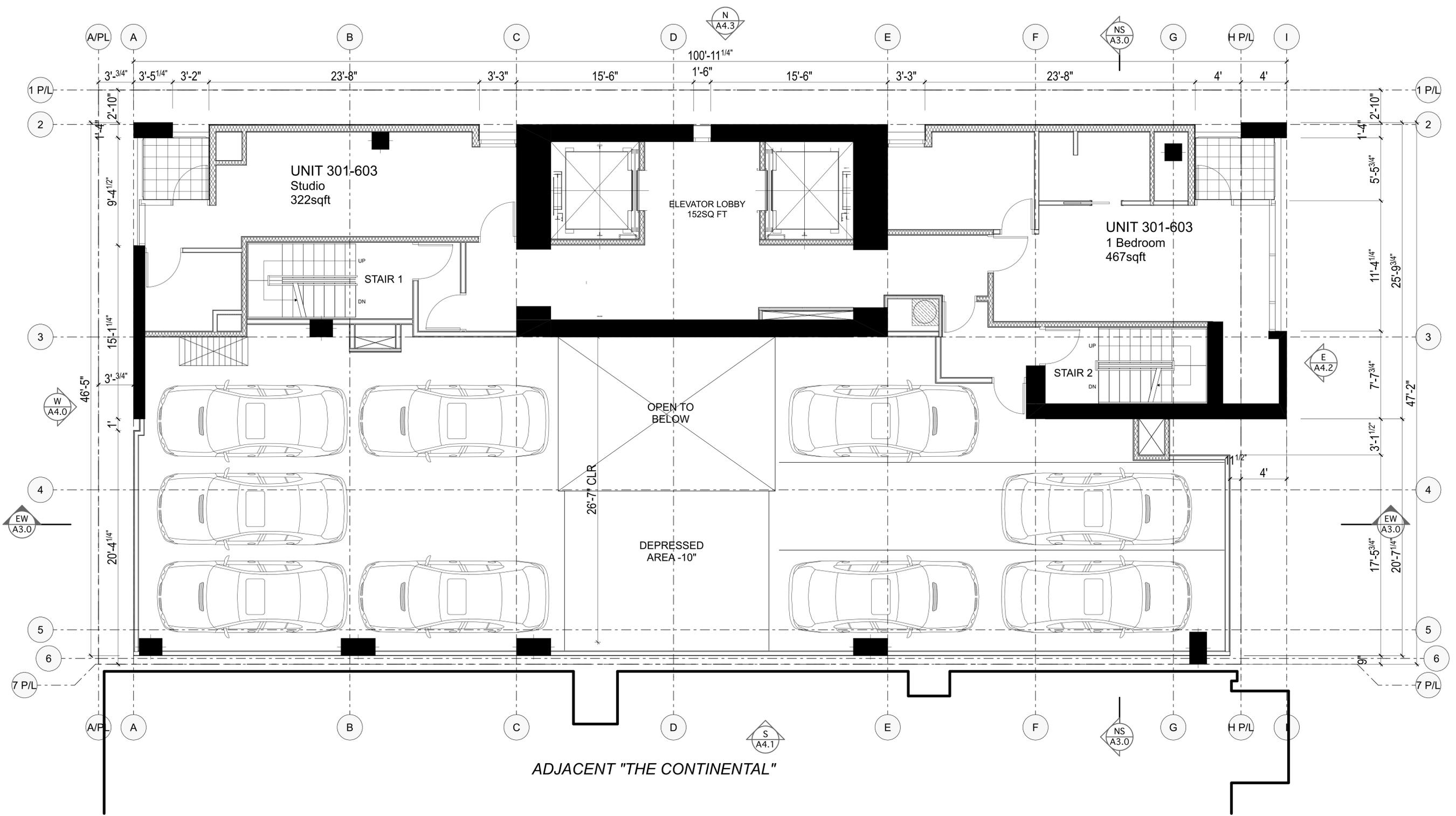
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SHEET NAME:



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PROJECT # \_\_\_\_\_

SHEET TITLE:  
 LEVEL 4-6

SCALE:  
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DATE:  
 9/1/21

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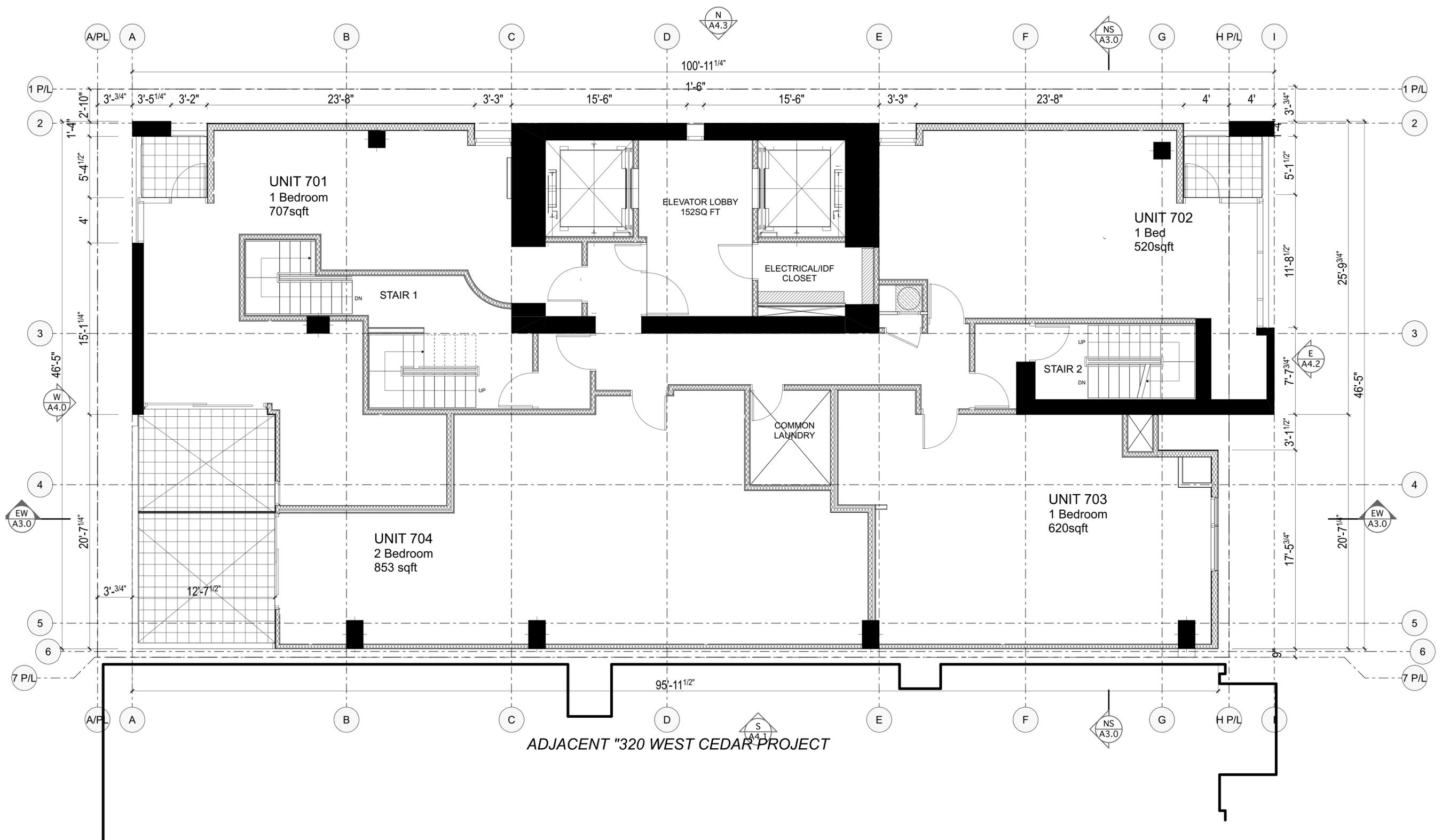
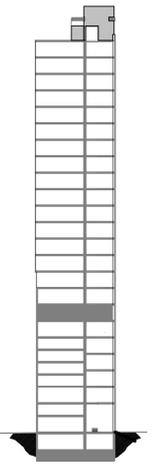
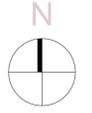
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LEVELS 4-6  
 SCALE: 1/4" = 1'-0" 3-6



ADJACENT "320 WEST CEDAR PROJECT"

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PROJECT # \_\_\_\_\_

SHEET TITLE:  
**LEVEL 7**

SCALE:  
 1/4" = 1'-0"

DATE:  
 9/1/21

REVISION 1:  
 10/12/21

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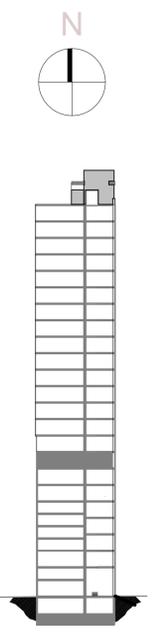
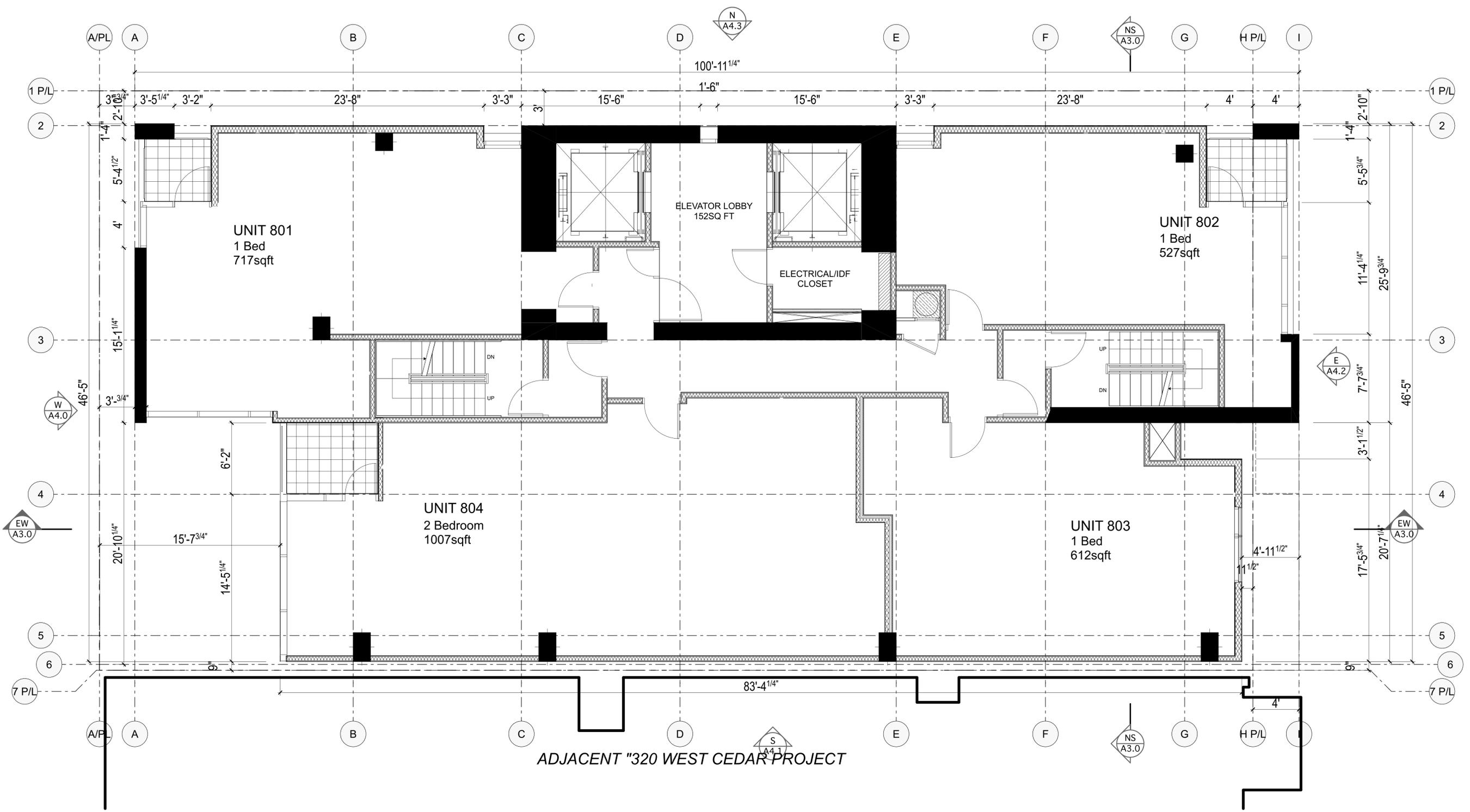
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**LEVEL 7**  
 SCALE: 1/4" = 1'-0" 7

**A1.5**



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PROJECT # \_\_\_\_\_

SHEET TITLE:  
 Level 8

SCALE:  
 SCALE: 1/4" = 1'-0"

DATE:  
 9/1/21

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 10/12/21

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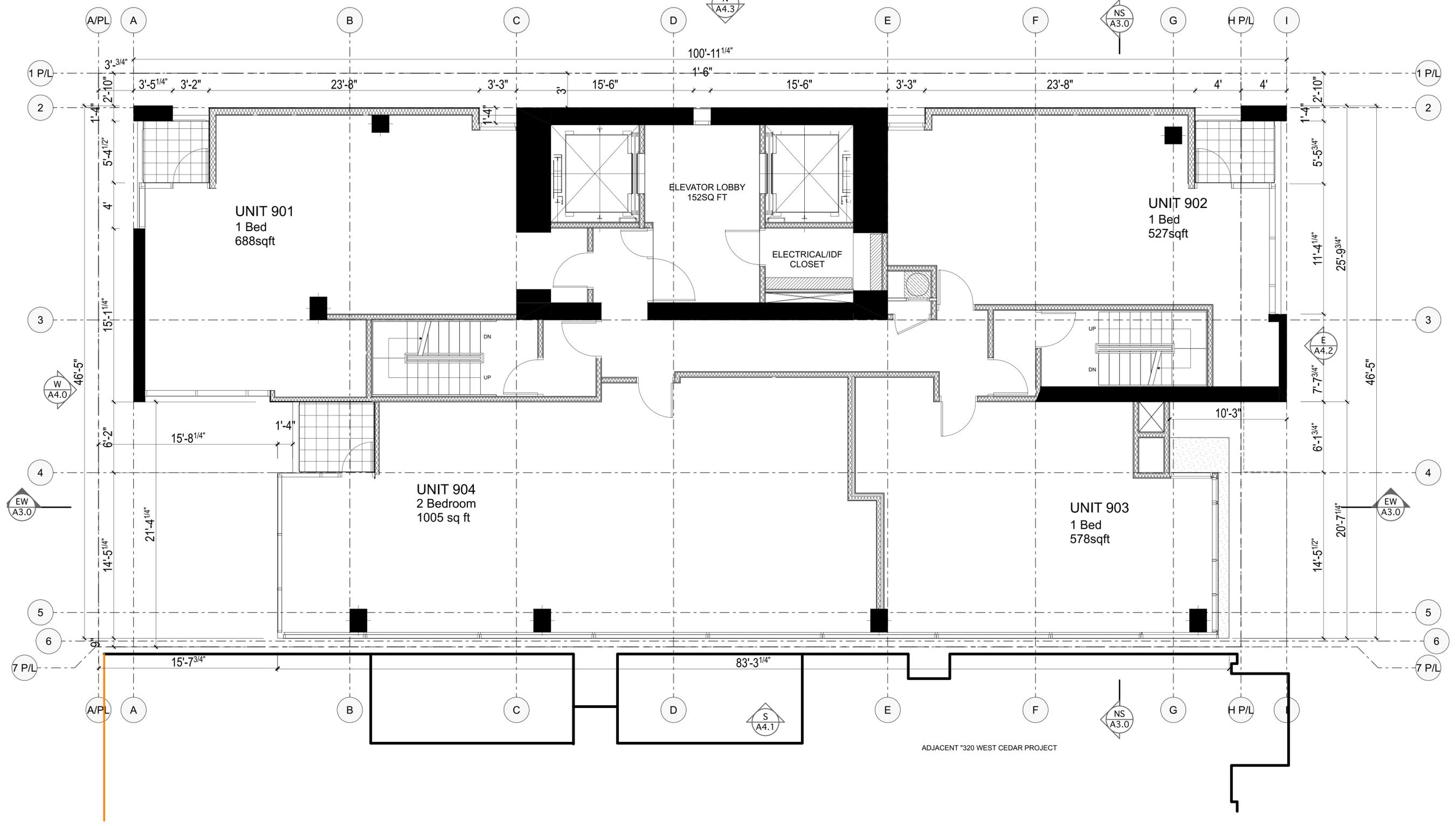
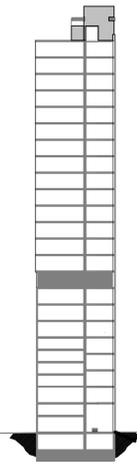
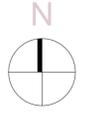
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LEVEL 8  
 SCALE: 1/4" = 1'-0" 8

A1.6



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PROJECT #

SHEET TITLE:  
Level 9

SCALE:

DATE:  
9/1/21

REVISION 1:  
10/12/21

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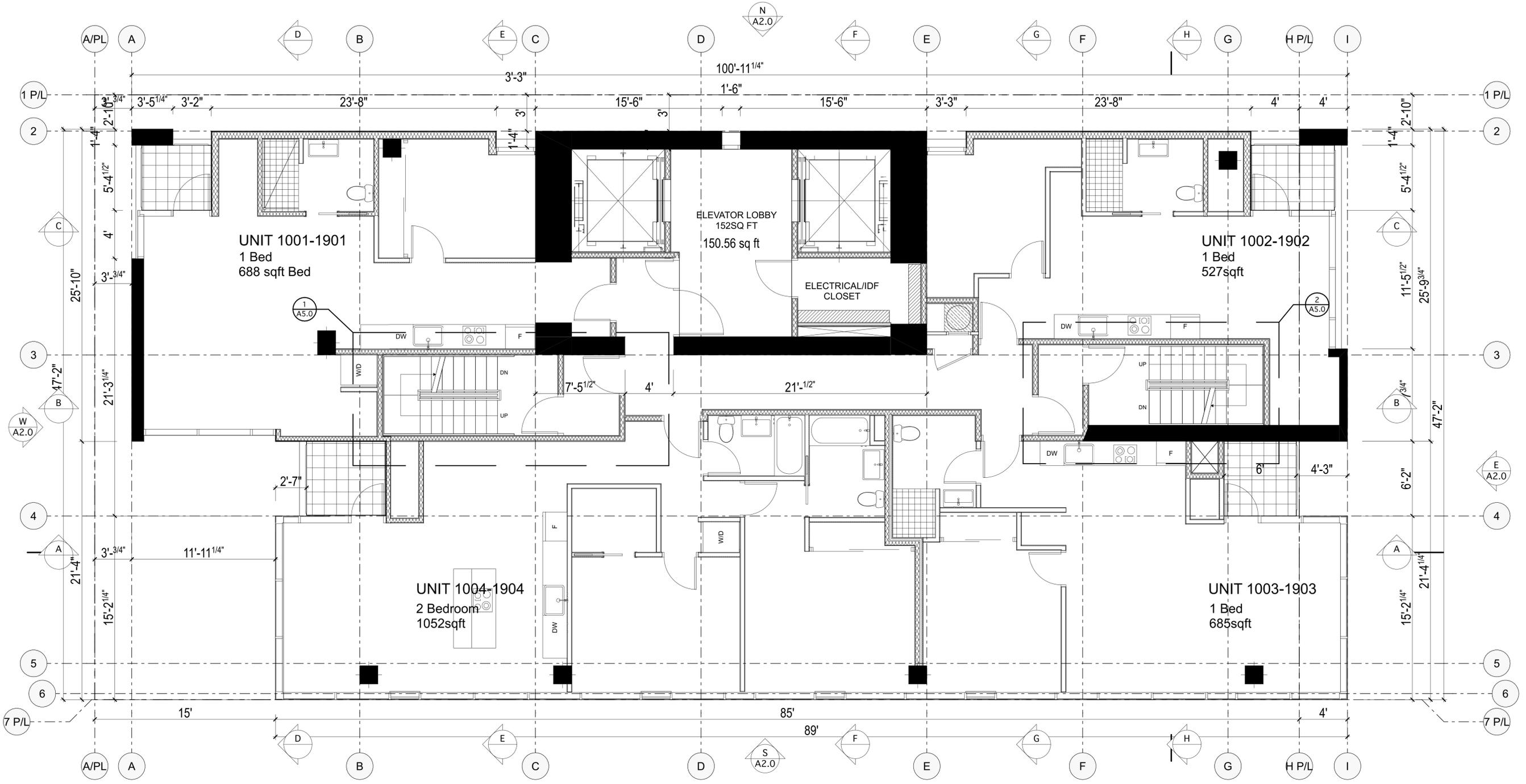
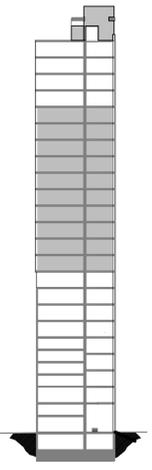
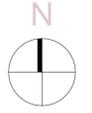
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LEVEL 9  
SCALE: 1/4" = 1'-0" 9



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PROJECT # \_\_\_\_\_

SHEET TITLE:  
 Level 10-19 TYP

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DATE:  
 9/1/21

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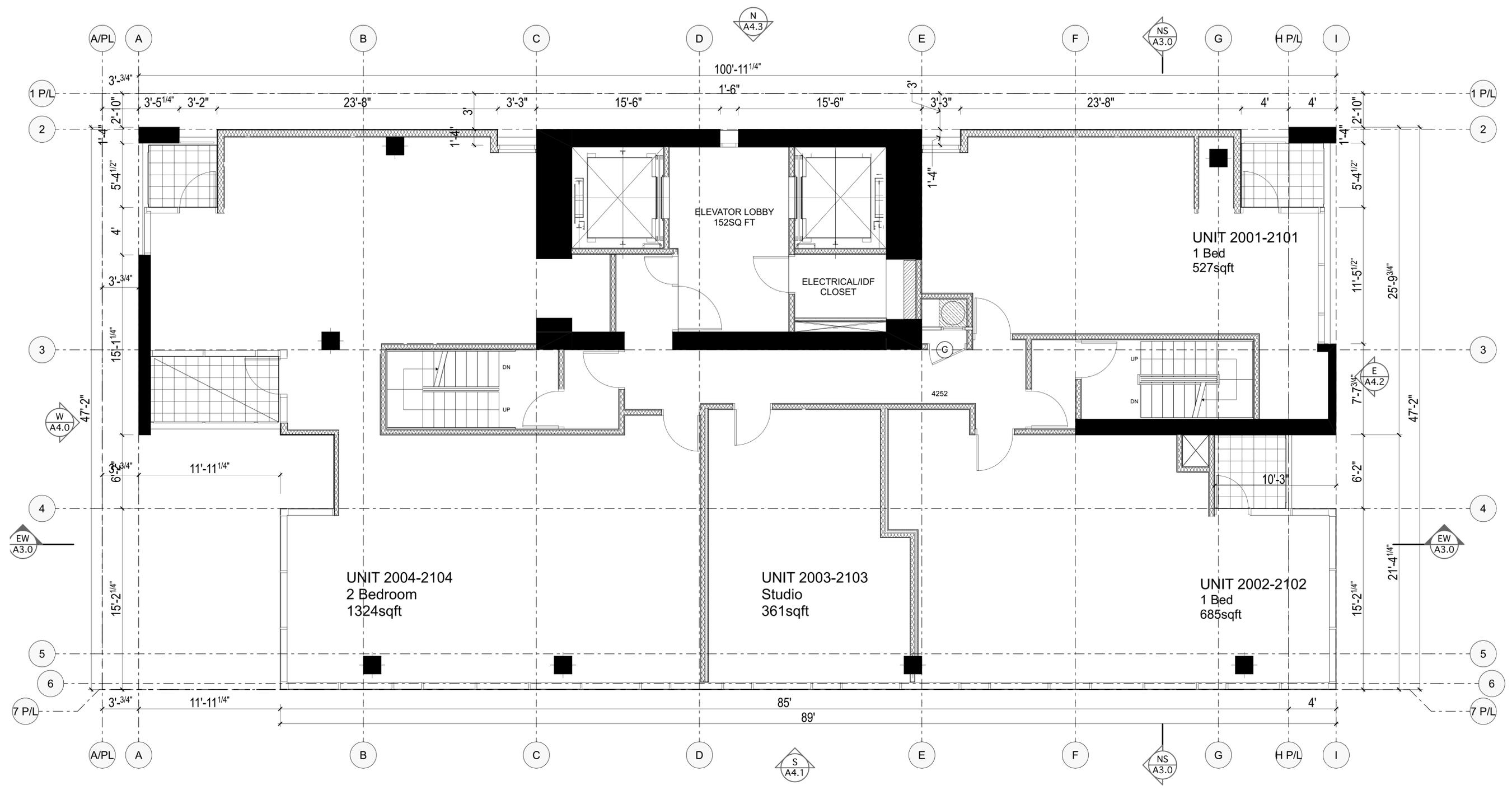
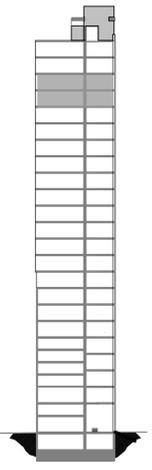
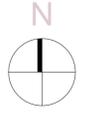
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SHEET NAME:  
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LEVEL 10-19 TYPICAL  
 SCALE: 1/4" = 1'-0"



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PROJECT # \_\_\_\_\_

SHEET TITLE:  
 Level 20-21

SCALE:  
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DATE:  
 9/1/21

REVISION 1:  
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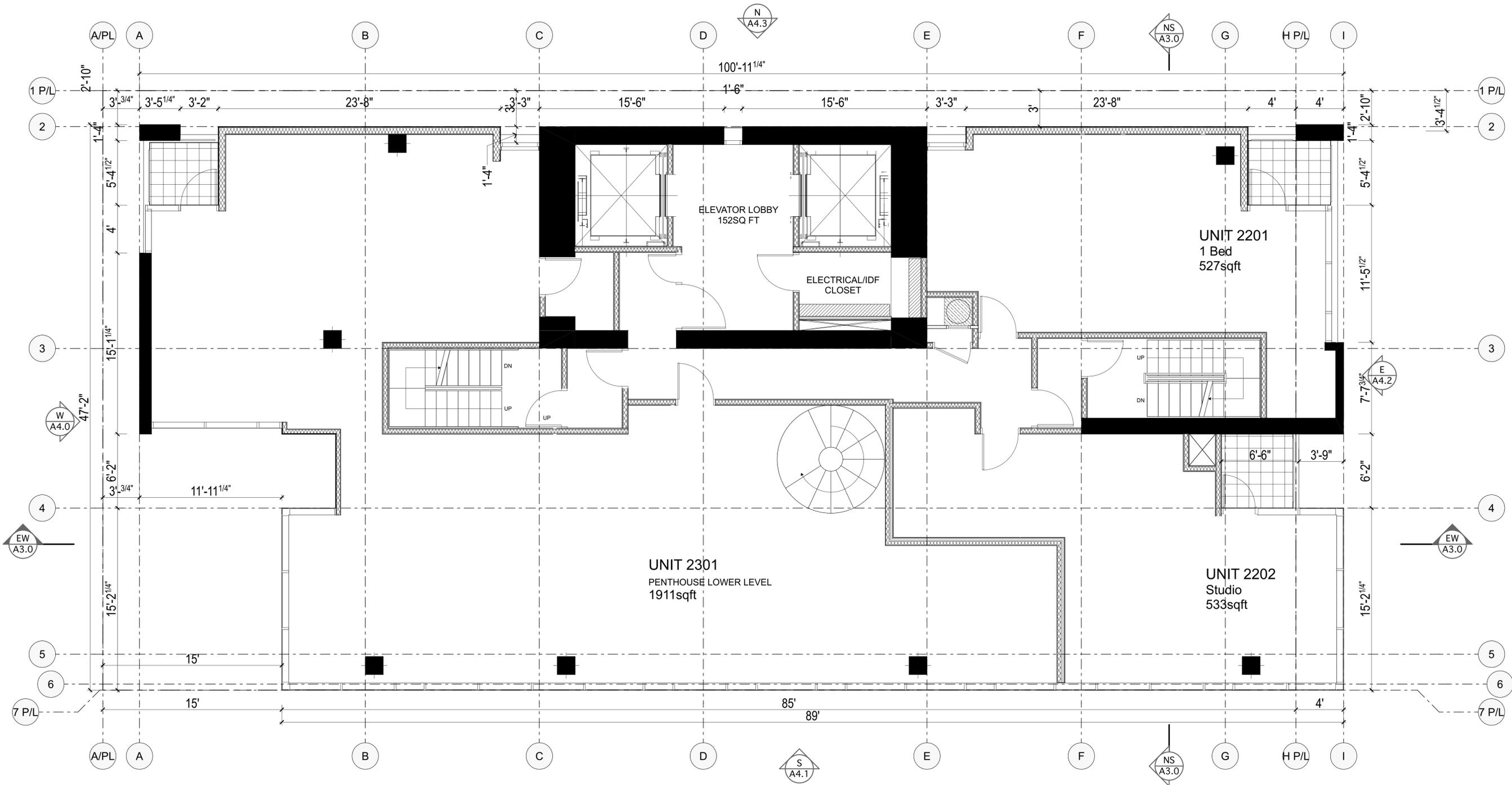
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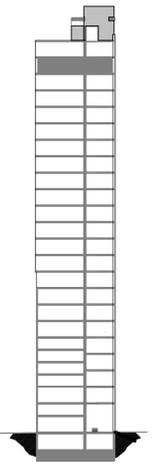
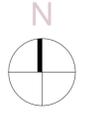
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LEVEL 20-21  
 SCALE: 1/4" = 1'-0"



PENTHOUSE LOWER LEVEL PLAN

LEVEL 22  
SCALE: 1/4" = 1'-0" 22

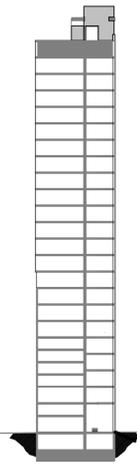
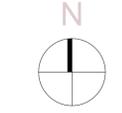
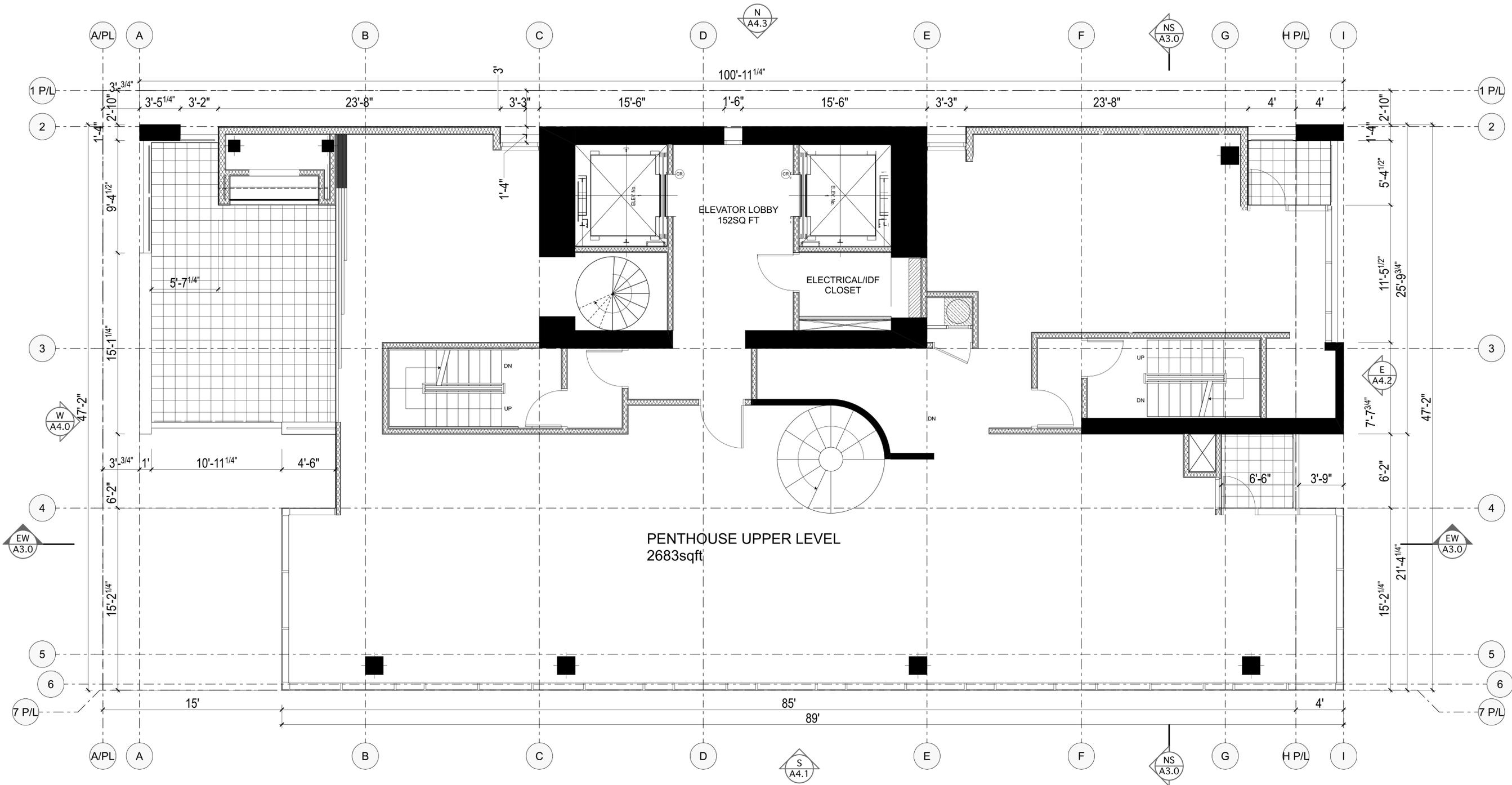


**AIR RIGHTS TOWER**  
1620 Union Street San Diego Ca, 92101  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE:	Level 22 P1
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	__ OF __
SHEET NAME:	

A1.10



**AIR RIGHTS TOWER**  
 1620 Union Street San Diego Ca, 92101  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #

SHEET TITLE:  
Level 23 P2

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

REVISION 5:

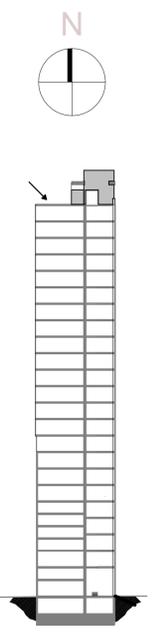
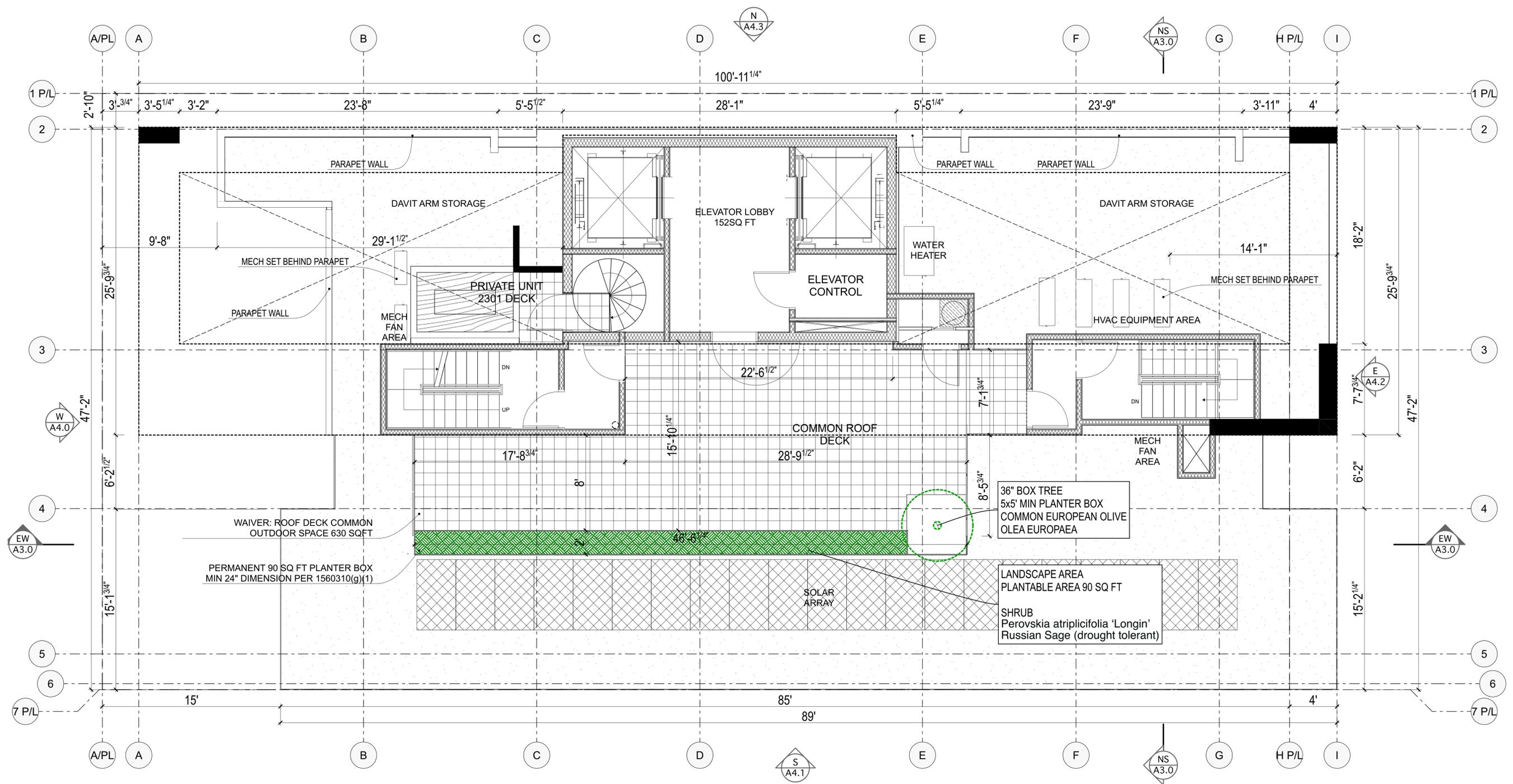
REVISION 6:

SHEET: \_\_\_ OF \_\_\_

SHEET NAME:

LEVEL 23  
 SCALE: 1/4" = 1'-0" 23

A1.11



**AIR RIGHTS TOWER**  
 1620 Union Street San Diego Ca, 92101  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # \_\_\_\_\_

SHEET TITLE:  
 Roof  
 SCALE: \_\_\_\_\_

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: \_\_\_\_\_

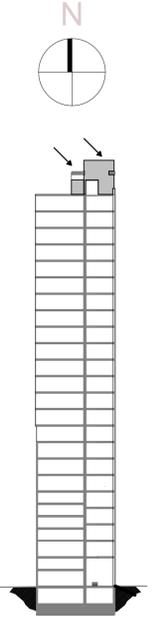
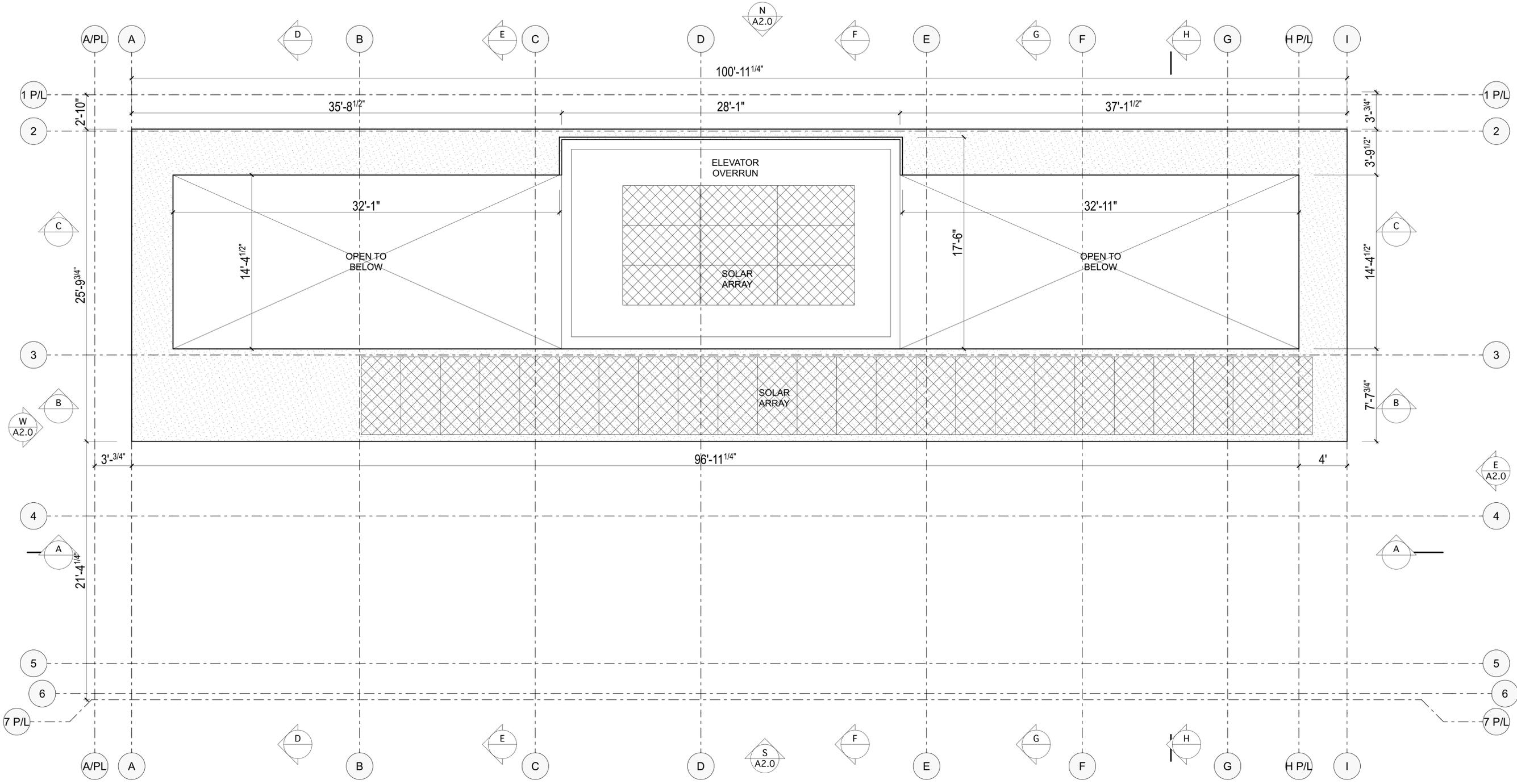
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REVISION 6: \_\_\_\_\_

SHEET: \_\_\_\_\_ OF \_\_\_\_\_

SHEET NAME: \_\_\_\_\_

LEVEL 24 ROOF  
 SCALE: 1/4" = 1'-0" 24



**AIR RIGHTS TOWER**  
 1620 Union Street San Diego Ca, 92101  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # \_\_\_\_\_

SHEET TITLE:  
 Upper Roof

SCALE:  
 \_\_\_\_\_

DATE:  
 9/1/21

REVISION 1:  
 10/12/21

REVISION 2:  
 11/23/21

REVISION 3:  
 12/21/21

REVISION 4:  
 \_\_\_\_\_

REVISION 5:  
 \_\_\_\_\_

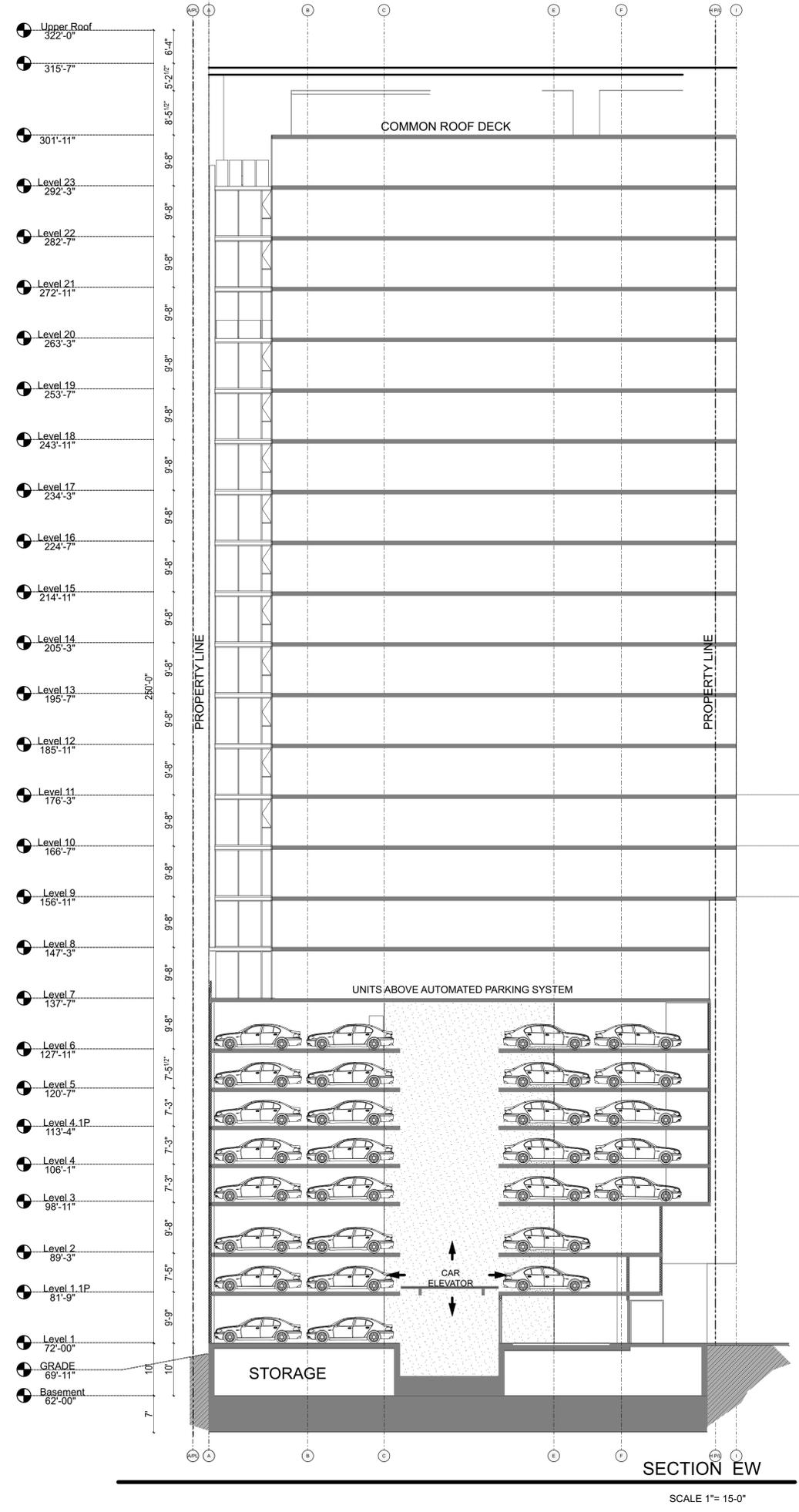
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SHEET:  
 \_\_\_ OF \_\_\_

SHEET NAME:  
 \_\_\_\_\_

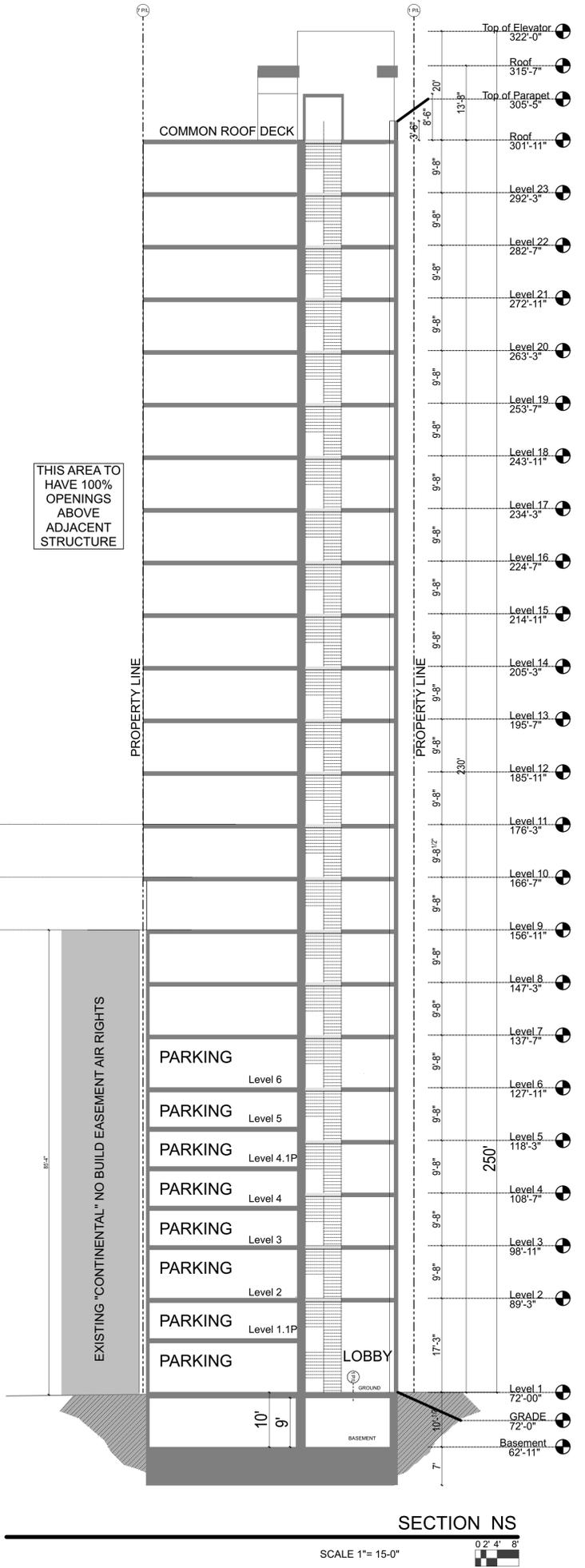
NOTE: NO MECHANICAL EQUIPMENT ON THIS UPPER ROOF

UPPER ARCHITECTURAL TRELLIS ROOF  
 SCALE: 1/4" = 1'-0" 25



SECTION EW

SCALE 1"= 15'-0"



SECTION NS

SCALE 1"= 15'-0"

**AIR RIGHTS TOWER**  
 1620 Union Street San Diego Ca, 92101  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # \_\_\_\_\_

SHEET TITLE: \_\_\_\_\_

BUILDING SECTION \_\_\_\_\_

SCALE: \_\_\_\_\_

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4: \_\_\_\_\_

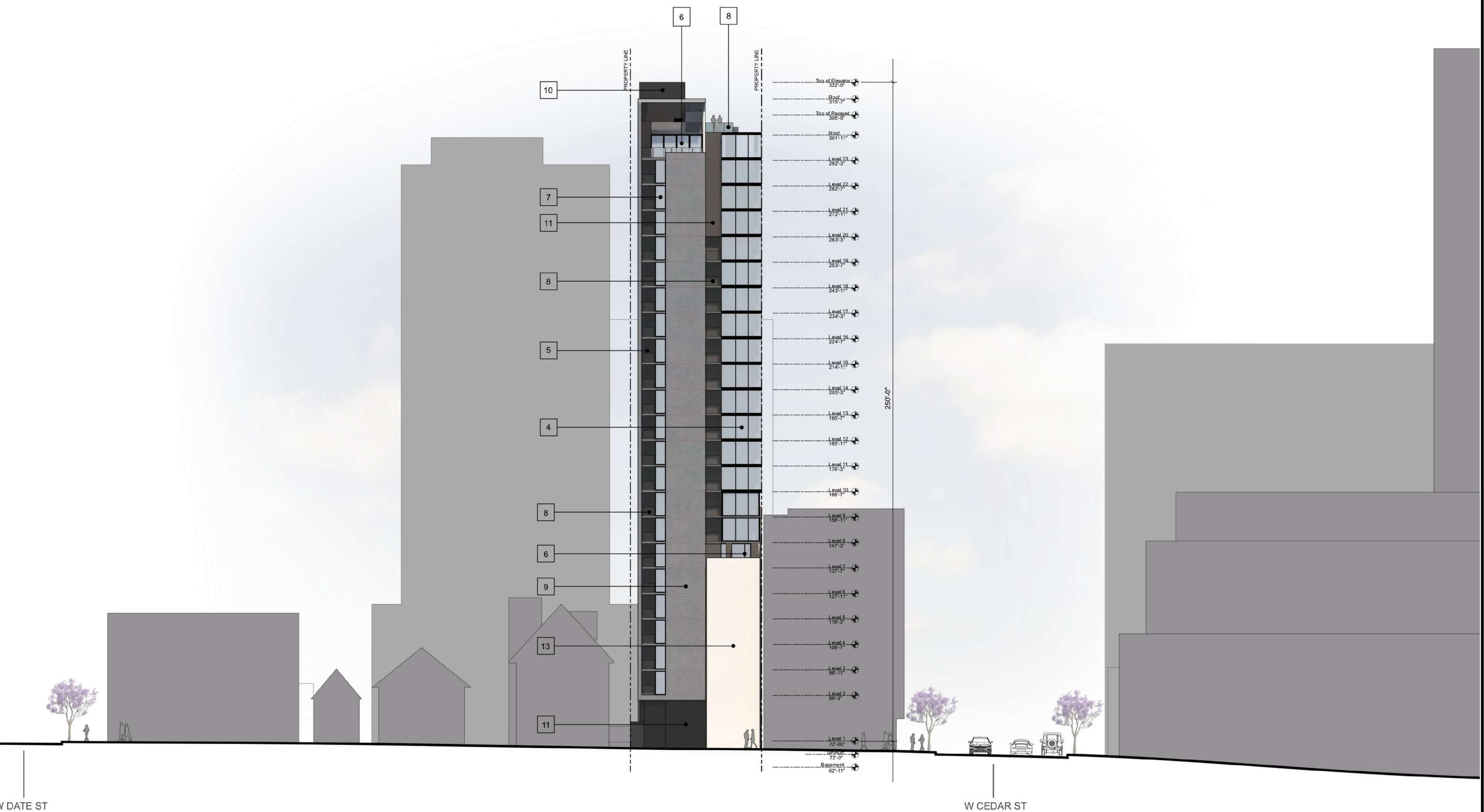
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SHEET NAME: \_\_\_\_\_

A3.0



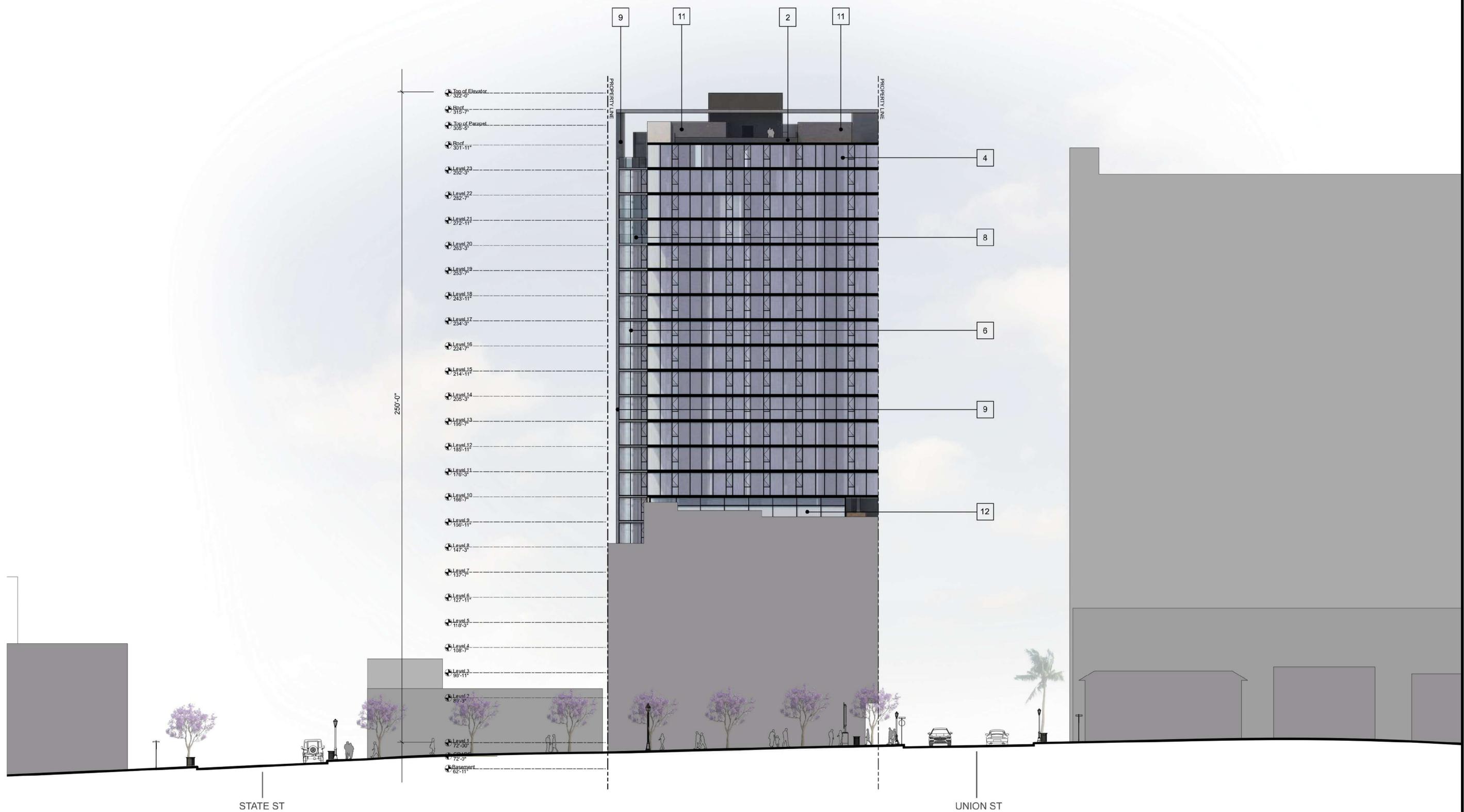
**AIR RIGHTS TOWER**  
 1620 Union Street San Diego Ca, 92101  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE:	WEST ELEVATION
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	__ OF __
SHEET NAME:	

A4.0

**WEST BUILDING ELEVATION**  
 SCALE: 1/16" = 1'-0"



- Top of Elevator 322'-0"
- Roof 315'-7"
- Top of Parapet 305'-5"
- Roof 301'-11"
- Level 23 292'-3"
- Level 22 282'-7"
- Level 21 272'-11"
- Level 20 263'-3"
- Level 19 253'-7"
- Level 18 243'-11"
- Level 17 234'-3"
- Level 16 224'-7"
- Level 15 214'-11"
- Level 14 205'-3"
- Level 13 195'-7"
- Level 12 185'-11"
- Level 11 176'-3"
- Level 10 166'-7"
- Level 9 156'-11"
- Level 8 147'-3"
- Level 7 137'-7"
- Level 6 127'-11"
- Level 5 118'-3"
- Level 4 108'-7"
- Level 3 99'-11"
- Level 2 89'-3"
- Level 1 72'-0"
- Basement 62'-11"

**SOUTH BUILDING ELEVATION**  
SCALE: 1/16" = 1'-0"

**AIR RIGHTS TOWER**  
1620 Union Street San Diego Ca, 92101  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE	SOUTH ELEVATION
SCALE	
DATE	9/1/21
REVISION 1	10/12/21
REVISION 2	11/23/21
REVISION 3	12/21/21
REVISION 4	
REVISION 5	
REVISION 6	
SHEET	__ OF __
SHEET NAME	



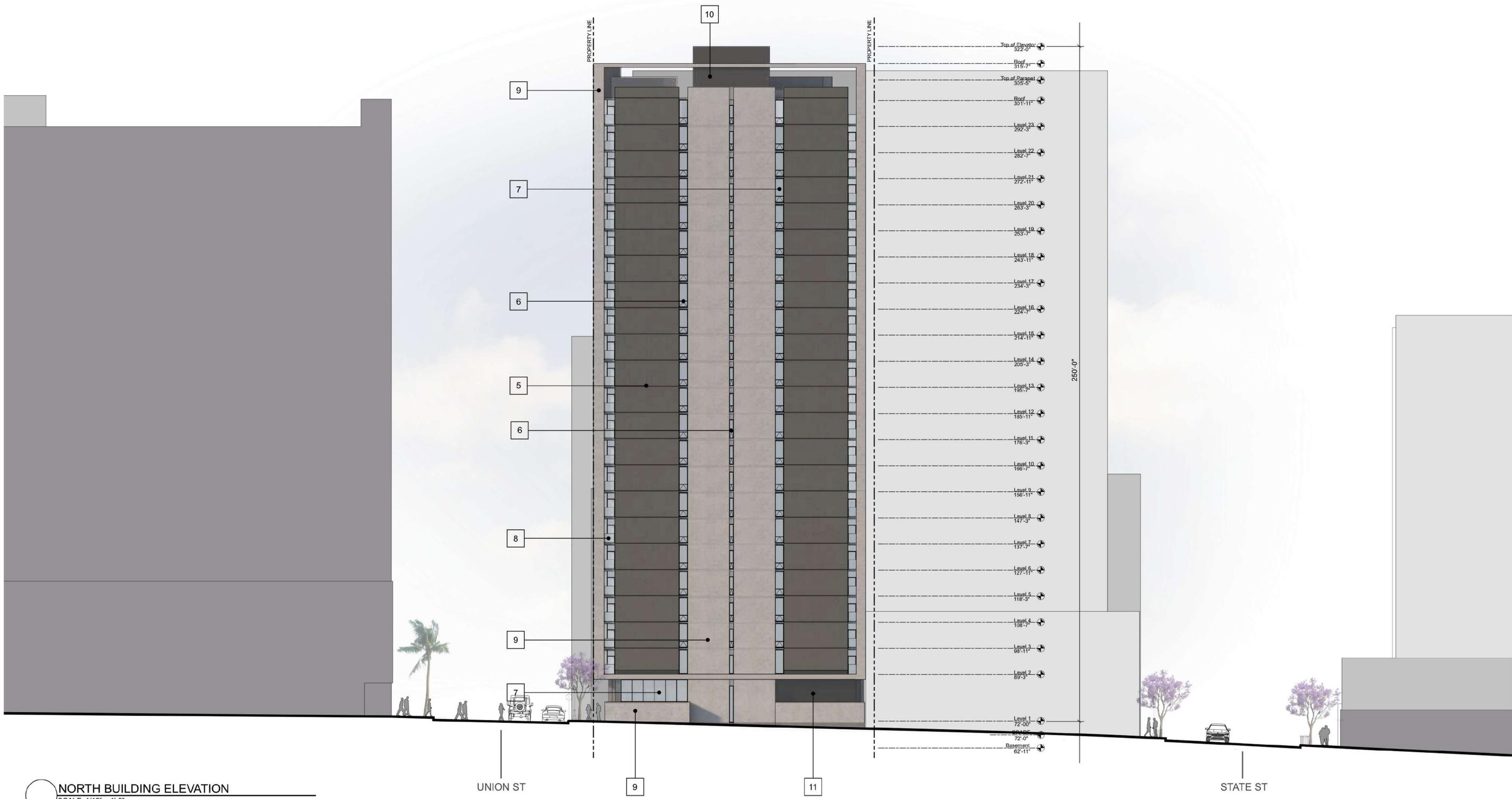
**AIR RIGHTS TOWER**  
 1620 Union Street San Diego Ca, 92101  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE:	EAST ELEVATION
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	__ OF __
SHEET NAME:	

A4.2

**EAST BUILDING ELEVATION**  
 SCALE: 1/16" = 1'-0"

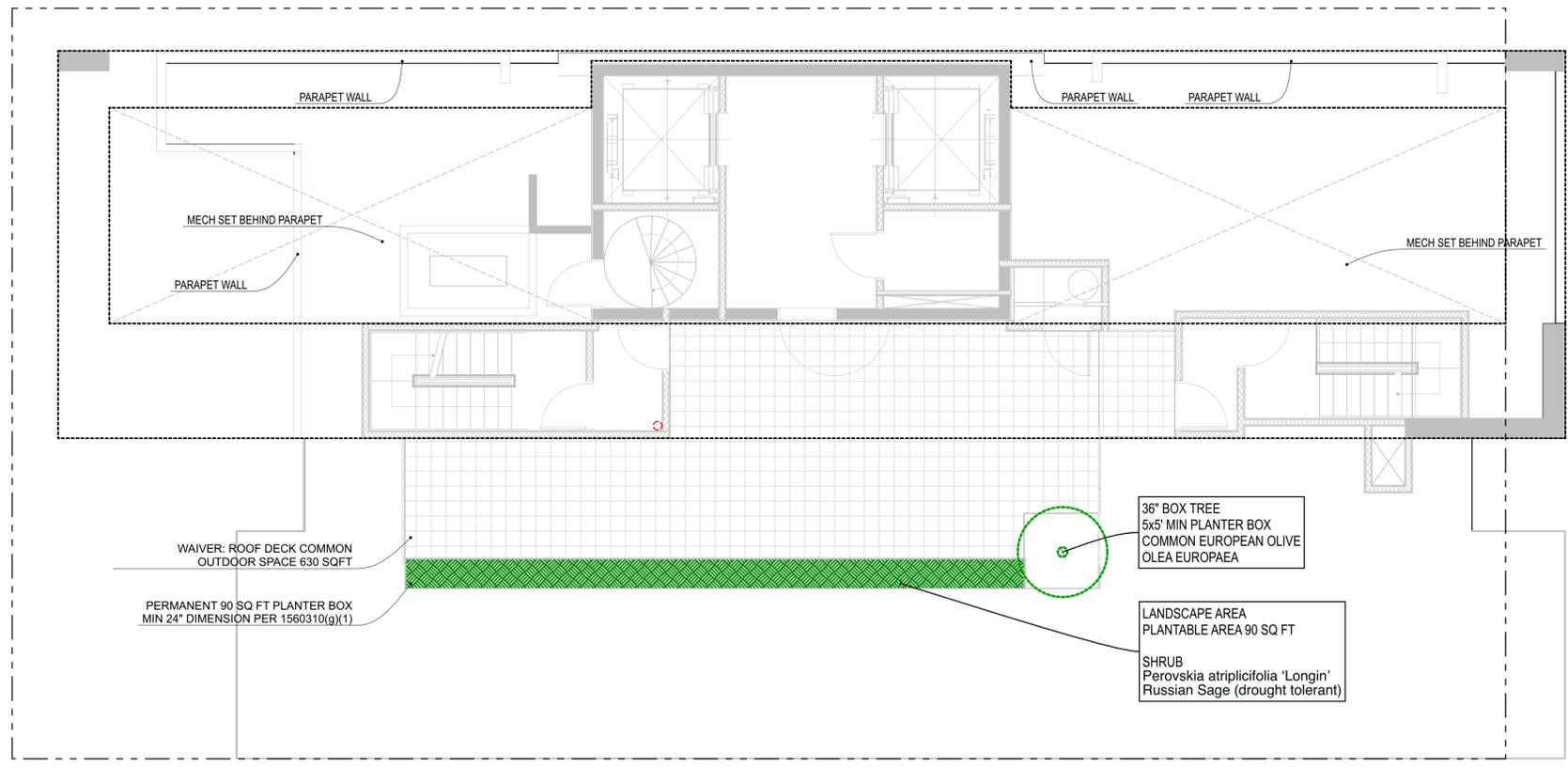


**NORTH BUILDING ELEVATION**  
SCALE: 1/16" = 1'-0"

**AIR RIGHTS TOWER**  
1620 Union Street San Diego Ca, 92101  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	
SHEET TITLE:	NORTH ELEVATION
SCALE:	
DATE:	9/1/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	__ OF __
SHEET NAME:	



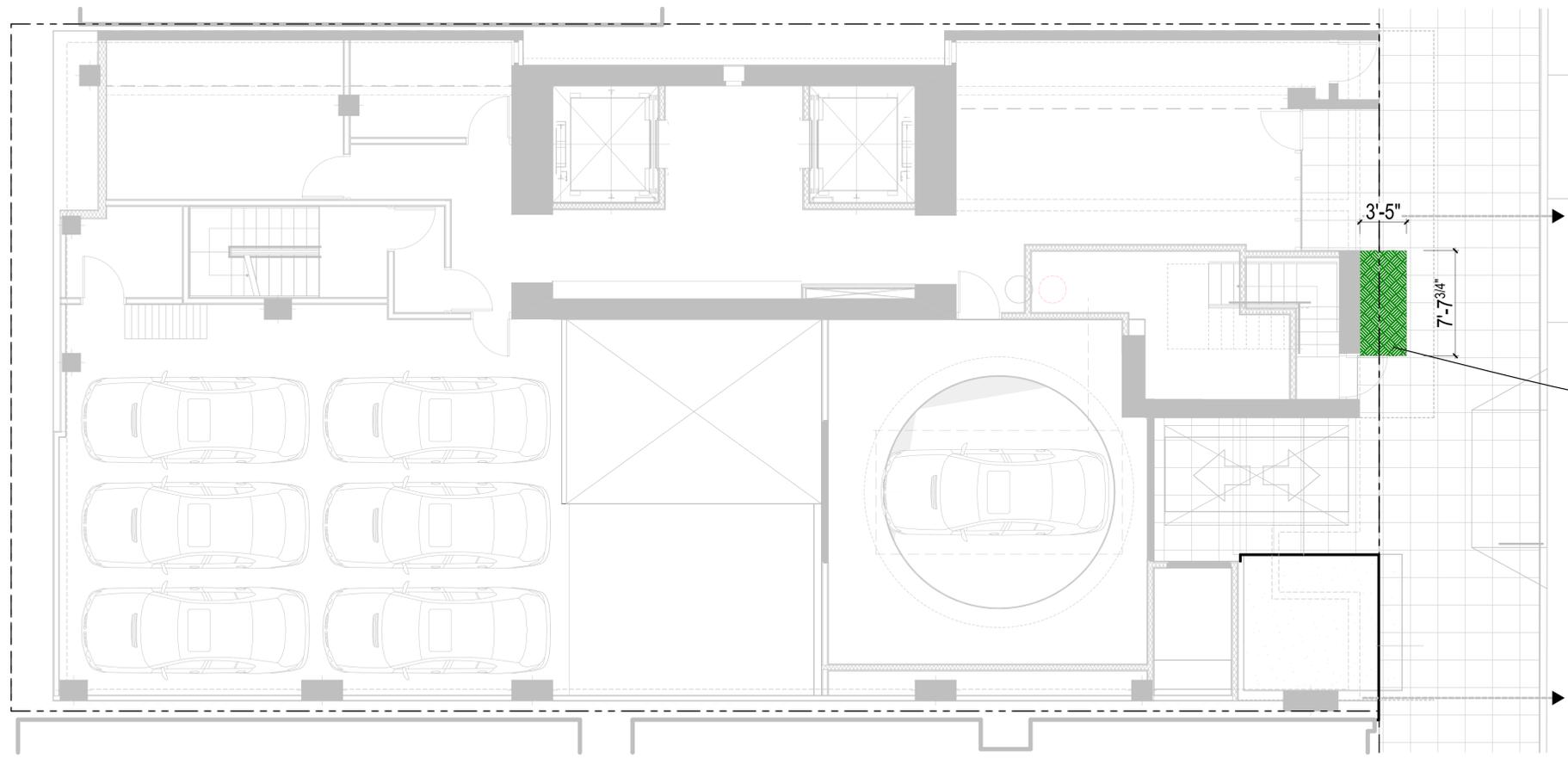
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS

36" BOX TREE  
5x5' MIN PLANTER BOX  
COMMON EUROPEAN OLIVE  
OLEA EUROPAEA

LANDSCAPE AREA  
PLANTABLE AREA 90 SQ FT  
SHRUB  
*Perovskia atriplicifolia* 'Longin'  
Russian Sage (drought tolerant)

LANDSCAPE PLAN ROOF DECK  
SCALE: 3/16" = 1'-0"

L1.0  
L1.0



LANDSCAPE AREA  
PLANTABLE AREA 26 SQ FT  
SHRUB  
*Perovskia atriplicifolia* 'Longin'  
Russian Sage (drought tolerant)

UNION STREET

LANDSCAPE PLAN  
SCALE: 3/16" = 1'-0"

L1.0  
L1.0

**AIR RIGHTS TOWER**  
1620 Union Street San Diego Ca, 92101  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #

SHEET TITLE:  
LANDSCAPE PLAN

SCALE:

DATE: 9/1/21

REVISION 1: 10/12/21

REVISION 2: 11/23/21

REVISION 3: 12/21/21

REVISION 4:

REVISION 5:

REVISION 6:

SHEET: \_\_\_ OF \_\_\_

SHEET NAME:

L1.0



GENERAL	
T1.0	PROJECT DATA AND DESCRIPTION
T1.1	ALTA SURVEY
T1.2	EXISTING SITE CONDITIONS & PHOTOGRAPHIC STUDY
T1.3	FIRE ACCESS PLAN
ARCHITECTURAL	
A0.0	SITE PLAN
A1.1	GROUND LEVEL PLAN
A1.2	LEVEL 2
A1.3	LEVEL 3
A1.4	ROOF PLAN
A3.0	BUILDING SECTIONS
A4.0	ELEVATIONS
LANDSCAPE	
L1.0	LANDSCAPE DRAWINGS
CIVIL	
C1.0	PRELIMINARY GRADING / CURB UTILIZATION PLAN

NEWTON IS A THREE STORY MIXED USE PROJECT LOCATED IN THE BARRIO LOGAN NEIGHBORHOOD OF SAN DIEGO. THE PROPERTY CONSISTS OF A 21,042 SQ FT LOT THAT FRONTS ON NEWTON AVE TO THE SOUTH, IS BOUNDED BY SINGLE FAMILY RESIDENTIAL TO THE WEST AND EAST AND AN ALLEY TO THE NORTH. THE PROPOSED PROJECT IS A MIXED USE PROJECT WITH 2 AFFORDABLE HOUSING UNITS, 10 MARKET RATE HOUSING, A HISTORIC HOME DIVIDED INTO 2 UNITS AND A LIGHT INDUSTRIAL WAREHOUSE BUILDING. THE TOTAL GROSS AREA OF NEW CONSTRUCTION INCLUDES 4482 SQUARE FEET OF NEW RESIDENTIAL, 1470 SQUARE FEET IN THE RELOCATED ANDREW CASSIDY HISTORIC HOME AND 8975 SQUARE FEET OF LIGHT INDUSTRIAL WAREHOUSE. THE RESIDENTIAL COMPONENT INCLUDES STUDIOS, 1 BEDROOMS, AND TWO BEDROOMS. THE WAREHOUSE IS LOCATED ON THE REAR 50% OF THE LOT WITH THE RESIDENTIAL COMPONENT SURROUNDING IT ON THE SOUTH AND WEST SIDES TO HIDE THE WAREHOUSE FROM NEWTON AVENUE. THE HISTORIC ANDREW CASSIDY HOME IS LOCATED ON THE WEST SIDE OF THE LOT WITH STEPS TO NEWTON AVENUE AND THE EXISTING PARKING LOT WILL REMAIN FOR FUTURE DEVELOPMENT OR STRUCTURE RELOCATION. BETWEEN THE PARKING LOT AND THE RELOCATED HOME WILL BE A NEW ADA RAMP TO ACCESS THE RESIDENTIAL AND COMMERCIAL COMPONENT OF THE DEVELOPMENT. THIS PROJECT ALSO INCLUDES A 24 FOOT CURB CUT AND DRIVEWAY ON NEWTON AVE.



PROJECT DATA

Unit List	Unit Type	Net Rentable	Notes
<b>Andrew Cassidy Home</b>			
1	101 2B/2ba	1129	
2	102 Studio	341	
<b>Relocated Net Rentable</b>		<b>1470</b>	
<b>Ground</b>			
3	103 1B/1BA	350	
4	104 Studio	350	
5	105 Studio	350	
<b>Level 2</b>			1050
6	201 1B/1BA	422	
7	202 Studio	422	
8	203 Studio	422	
9	204 Studio	289	
10	205 Studio	289	
11	206 Studio	289	
<b>Level 3</b>			2133
12	301 1Bed/1Ba	433	
13	302 1Bed/1Ba	433	
14	303 1Bed/1Ba	433	
<b>New Net Rentable</b>		<b>4482</b>	1299
<b>Total Net Rentable</b>		<b>5952</b>	
<b>Total Studio</b>		8	57%
<b>Total 1 Bed</b>		5	36%
<b>Total 2 Bed</b>		1	7%
<b>Total Units</b>		14	43%

Project Applicant:	Project Address:
694291	2642 Newton Ave
Project No:	Phone:
694291	6199936269
The purpose of this form is to determine the transportation amenity requirement per San Diego Municipal Code (SDMC) Section 142.0528. This applies to multifamily residential developments within Parking Standards Transit Priority Areas. This form must be completed by the project applicant and submitted to Development Services at time of project submittal.	
Step 1: Enter APN:	5387512100
(Please type in and do not copy and paste)	
Step 2: Find out if your parcel is located within a Parking Standards TPA?	Within a Parking Standards TPA; requirements not in effect in Coastal Overlay Zone
Please note: - If parcel is located within a Parking Standards TPA, zero minimum parking standards apply. - If parcel is located within Downtown, maximum parking requirements also apply. - If parcel is located within Coastal Overlay Zone, zero minimum parking standards are not in effect. - If parcel is NOT located within a Parking Standards TPA, zero minimum parking standards do not apply.	
Step 3: Enter Total Number of Units:	14
Step 4: Enter Total Number of Bedrooms:	7
Bedroom Ratio: Jobs Within a Mile (Walking): CalEnviro Screen: Employment within a 30-Minute Transit Trip: Bedroom Ratio Score: Jobs-Housing Score: Environmental Priority Index Score: Transit Commute Score: Transportation Amenity Score:	
<b>Transportation Amenity Requirement:</b>	

**PROJECT ADDRESS:**  
2642-2648 Newton Ave San Diego, CA 92113

**LEGAL DESCRIPTION:**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, LOTS 33 THROUGH 38, INCLUSIVE IN BLOCK 12 OF REED AND HUBBEL'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 327 FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO, JUNE 30, 1886

**APN:**  
538-751-21, 538-751-22, 538-751-23

**USE / STRUCTURES ON SITE:**  
EXISTING: INDUSTRIAL STORAGE ASPHALT LOT  
PROPOSED USE: MULTIFAMILY HOUSING LIGHT INDUSTRIAL (IL-3-1) (MAINTAIN EXISTING ASPHALT LOT FOR FUTURE STRUCTURE RELOCATIONS)

**ZONE:**  
BLPD-SUBD-A  
BARRIO LOGAN COMMUNITY PLAN AREA SUBDISTRICT A COASTAL OVERLAY ZONE (COZ) N-APP-2 TRANSIT AREA OVERLAY ZONE (TAOZ) AIRPORT INFLUENCE AREA (AIA) - REVIEW 2 TRANSIT PRIORITY AREA (TPA) PARKING STANDARDS TRANSIT PRIORITY AREA (PSTPA) FAA PART 77 NOTICING AREA GEOLOGIC HAZARD CATEGORY 13

**TYPE OF CONSTRUCTION:**  
TYPE 5 NON RATED

**LOT SIZE:**  
21,042 SQ FT  
0.483 ACRES

**BASE ZONING DENSITY:**  
1 DU PER 1500 SQ FT = 14 UNITS PROVIDED: 14

**INCLUSIONARY HOUSING:**  
UNITS PROVIDED: 2 / 14 = 14.3%  
UNITS TO BE RENT CONTROLLED VERY LOW INCOME UNITS PER INCLUSIONARY HOUSING REGULATIONS OF SAN DIEGO MUNICIPAL CODE CHAPTER 14, ARTICLE 2, DIVISION 13.

**F.A.R**  
ALLOWED RESIDENTIAL: INTERIOR LOT COVERAGE 40%  
ALLOWED COMMERCIAL: MAXIMUM FAR OF 2.0

**COMMERCIAL**  
PROPOSED GROUND LEVEL: 8975  
TOTAL AREA: 8975  
TOTAL COMMERCIAL FAR: 0.43

**RESIDENTIAL**  
RELOCATED ANDREW CASSIDY HOME: 1470  
PROPOSED NEW RESIDENTIAL: 4482  
TOTAL AREA: 5952  
TOTAL RESIDENTIAL FAR: 0.28  
TOTAL RESIDENTIAL SITE COVERAGE: 2520 = 11.9% < 40%

**SETBACKS:**  
FRONT REQUIRED: 5 FT  
PROPOSED: 5 FT  
SIDE REQUIRED: 3 FT ABOVE LEVEL 1 ADDITIONAL 3 FT  
PROPOSED: 3 & 5 FT WEST, > 3 FT AT EAST

**BUILDING AREA:**  
ALLOWED: UNLIMITED  
TOTAL NET BLDG AREA: 14927 SQ FT

**HEIGHT:**  
PROPOSED MAX: 33'-9"  
MAX HEIGHT ALLOWED: 35 FT

**PARKING:**  
REQUIRED RESIDENTIAL: NO PARKING REQUIRED  
REQUIRED COMMERCIAL: 2.1/1000 = 19 142.05(E)  
PROVIDED PER 152.0402(C)2: 5 ] ALONG NEWTON AVE- PUBLIC ROW

EV PARKING: 14 x 10% = 1.4 PROVIDED: NO ON SITE PARKING PROVIDED NO EV PARKING PROVIDED OR REQUIRED

MOTORCYCLE: RESIDENTIAL REQUIRED (TABLE -142-05C) (8 STUDIO x 0.05) + (5 - 1bdm x 0.1) + (1 1bdm x 0.1) = 1 REQUIRED PROVIDED: 1 MOTORCYCLE PARKING PROVIDED (RES) COMMERCIAL REQ'D = 2 PROVIDED: 2 PARKING INSIDE WAREHOUSE

LONG TERM BICYCLE (COM) 19 x .05 = 0.95 < MIN OF 1 REQUIRED: 1 INTERIOR PROVIDED: 3 INSIDE WAREHOUSE

SHORT TERM BICYCLE PARKING (COM) 15,431 x .1 /1000 = 1.5 > MIN OF 1 REQUIRED: 1.5 PROVIDED: 3 @ WALKWAY

BICYCLE STORAGE (RES) STUDIO 8 x.3 2.4 1BED 5x 0.4 2 2BED 1x .5 0.5 TOTAL: 4.9 REQUIRED RESIDENTIAL PROVIDED: 6 WITHIN BICYCLE STORAGE ROOM

**WAIVERS REQUESTED**  
SIDEYARD SETBACK: REQUEST REDUCTION OF WESTERN SIDEYARD SETBACK AT ALL LEVELS ABOVE GROUND LEVEL TO 5'-0" MAX AND AT HISTORIC HOUSE 3'-0"

**INCENTIVES REQUESTED:**  
PARKING: REQUEST PARKING REDUCTION FOR COMMERCIAL PARKING TO 5 TOTAL SPACES ALL OF WHICH WILL BE PROVIDED ON STREET ONLY IN PUBLIC ROW AND NO ONSITE PARKING

PROJECT TEAM

**OWNER:**  
JMAN AT THE BARRIO LLC  
3000 UPAS STREET SUITE 101  
SAN DIEGO, CA 92104  
619-993-6269  
CONTACT: MATTHEW SEGAL  
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

**APPLICANT DEVELOPER:**  
JMAN AT THE BARRIO LLC  
3000 UPAS STREET SUITE 101  
SAN DIEGO, CA 92104  
619-993-6269  
CONTACT: MATTHEW SEGAL  
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

**ARCHITECT:**  
JONATHAN SEGAL FAIA  
3000 UPAS STREET SUITE 101  
SAN DIEGO, CA 92104  
619-993-6269  
CONTACT: MATTHEW SEGAL  
EMAIL: MRMATTHEWSEGAL@GMAIL.COM

**STRUCTURAL ENGINEER**  
DCI ENGINEERS  
101 W. BROADWAY STE 1260  
SAN DIEGO, CALIFORNIA 92101  
619-400-1704  
CONTACT: JON DECK  
EMAIL: JDECK@DCI-ENGINEERS.COM

**GEOTECHNICAL ENGINEER**  
GEOCON INCORPORATED  
6960 FLANDERS DRIVE  
SAN DIEGO, CA 92121  
858-558-6900  
CONTACT: SHAWN WEEDON  
EMAIL: WEEDON@GEOCONINC.COM

**CIVIL ENGINEER:**  
PASCO LARET SUITER  
535 N HWY 101  
SOLANA BEACH, CA 92075  
858-259-8212  
CONTACT: WILL MACK  
EMAIL: WMACK@PLSAENGINEERING.

**ELECTRICAL ENGINEER:**  
NEDC, INC  
3103 FALCON STREET SUITE J  
SAN DIEGO, CA 92103  
619-278-0076  
CONTACT: DAVID NUTTER  
EMAIL: DAVID@NEDINC.NET

NEWTON  
2642-2646, 2648 Newton Ave  
San Diego, CA 92113  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #  
694291

SHEET TITLE  
TITLE SHEET

SCALE:

DATE:  
8/31/21

REVISION 1:  
10/12/21

REVISION 2:  
11/23/21

REVISION 3:  
12/21/21

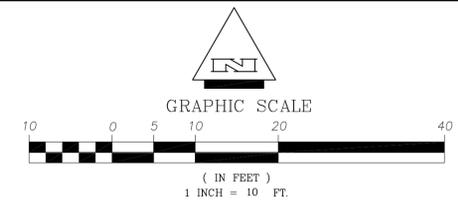
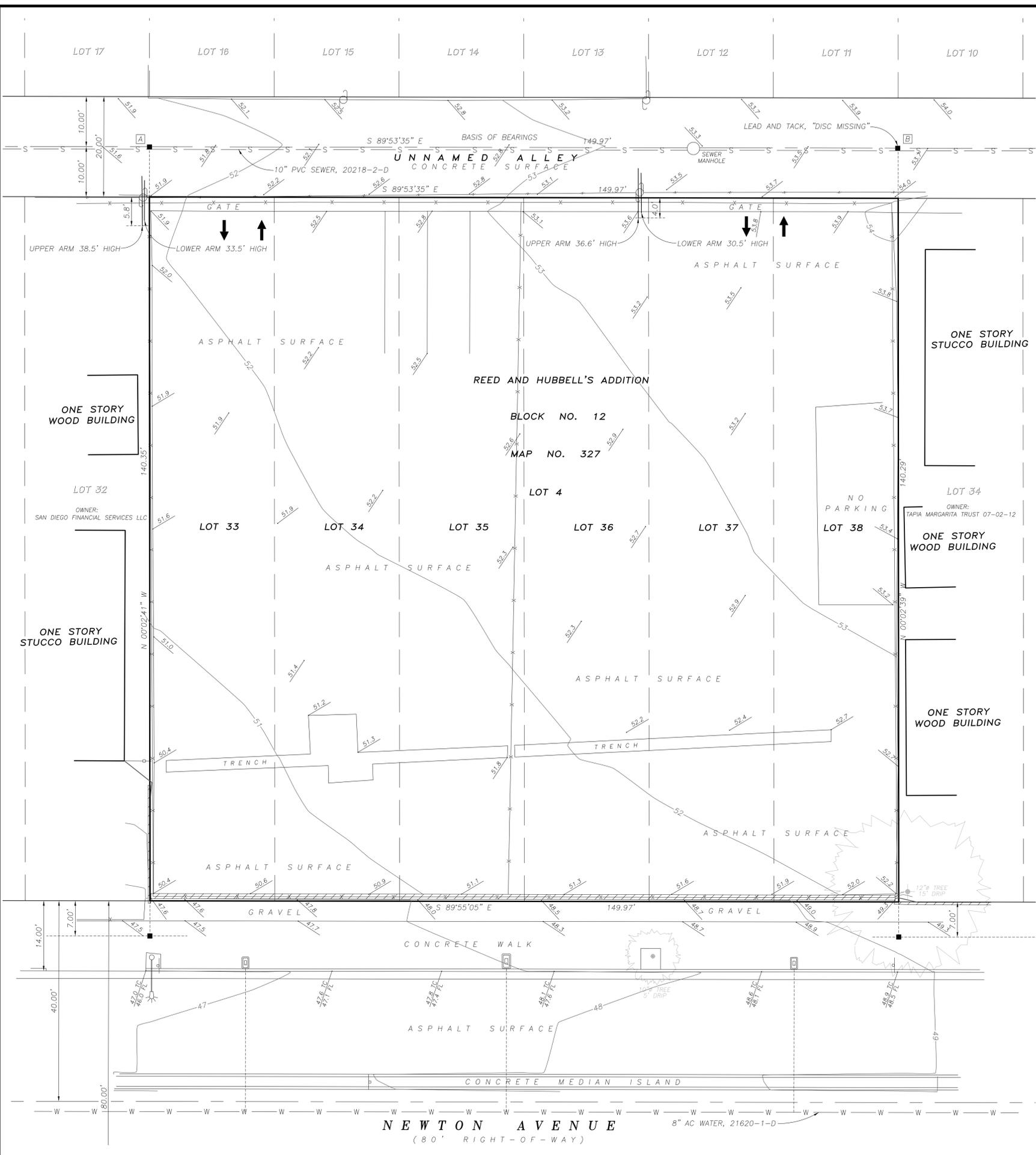
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REVISION 5:

REVISION 6:

SHEET:  
OF

SHEET NAME:



**LEGAL DESCRIPTION:**

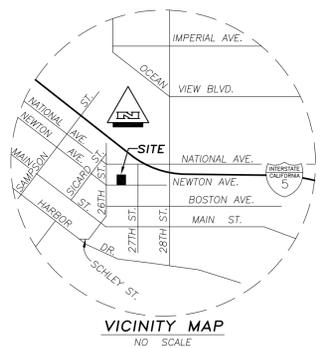
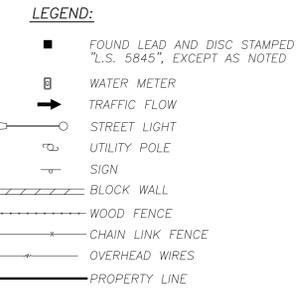
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOTS 33 THROUGH 38, INCLUSIVE IN BLOCK 12 OF REED AND HUBBELL'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 327 FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, JUNE 30, 1886.  
APN: 538-751-21, 538-751-22, 538-751-23

**NOTES REGARDING PRELIMINARY REPORT:**

THIS A.L.T.A./N.S.P.S. LAND TITLE SURVEY IS BASED ON INFORMATION FURNISHED IN THE CHICAGO TITLE COMPANY PRELIMINARY REPORT, DATED JULY 2, 2021 ORDER NO. 00155401-993-SD2-CFU.  
NO EXCEPTIONS TO PLOT.

**PROPERTY NOTES:**

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS 83, ZONE 6 EPOCH 1991.35 AND IS DETERMINED BY GPS MEASUREMENTS TAKEN IN JULY OF 2021 AT POINTS [A] AND [B] AS SHOWN HEREON. POINTS [A] AND [B] WERE ESTABLISHED FROM GPS STATION 173 AND GPS STATION 174 PER RECORD OF SURVEY 14492. THE BEARING FROM POINT [A] TO POINT [B] IS S 89°53'35" E AS SHOWN.
2. THE BASIS OF ELEVATION FOR THIS SURVEY IS THE SOUTHEAST BRASS PLUG AT THE INTERSECTION OF 26TH STREET AND BOSTON AVENUE. ELEVATION = 35.052 M.S.L. NGVD 1929. CITY OF SAN DIEGO VERTICAL CONTROL.
3. THE NUMBER OF STRIPED PARKING SPACES WITHIN THE BOUNDARY OF THE PROPERTY IS 3.
4. THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'X' (NON-SPECIAL FLOOD HAZARD AREA) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 06073C1884H WITH A DATE OF IDENTIFICATION OF DECEMBER 20, 2019, FOR COMMUNITY NO. 060295, IN SAN DIEGO COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.
5. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 21,042.94 SQUARE FEET / 0.483 ACRE.
7. THE PROPERTY HAS DIRECT ACCESS TO AND FROM A PUBLICLY USED AND MAINTAINED STREET OR HIGHWAY.
8. THERE WAS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.



**SURVEYORS CERTIFICATE:**

TO: JMAN INVESTMENTS, INC. AND CHICAGO TITLE INSURANCE COMPANY  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 13, 16, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 14, 2021.  
DATE OF PLAT: JULY 29, 2021

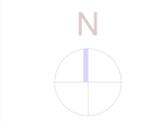
*Robert J. Bateman*  
ROBERT J. BATEMAN  
PROFESSIONAL LAND SURVEYOR  
REGISTRATION NO. 7046  
EMAIL: rbateman@sdlse.com



PROPERTY ADDRESS: 2642-2348 NEWTON AVENUE  
A.L.T.A./N.S.P.S. LAND TITLE SURVEY

For the exclusive use of: <b>JMAN INVESTMENTS, INC.</b> 3000 UPAS ST., SUITE 101 SAN DIEGO, CALIFORNIA 92104		
<b>San Diego Land Surveying &amp; Engineering, Inc.</b> 7028 Convoy Court, San Diego, CA 92111-1017 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 7-21-2021	Revised: 7-29-2021	Revised:
Scale: 1"=10'	Drawn by: R.J.B.	Sheet 1 of 1 Sheet
Drawing: Newton Ave 2642-2648 ALTA A.P.N. 538-751-21 & 22		

ZONING AND SITE REQUIREMENTS WERE NOT PROVIDED AT THE TIME OF SURVEY.



**NEWTON**  
2642-2646, 2648 Newton Ave  
San Diego, CA 92113  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # 694291  
SHEET TITLE:  
SURVEY  
SCALE:  
DATE: 8/31/21  
REVISION 1: 10/12/21  
REVISION 2: 11/23/21  
REVISION 3: 12/21/21  
REVISION 4:  
REVISION 5:  
REVISION 6:  
SHEET: OF  
SHEET NAME:



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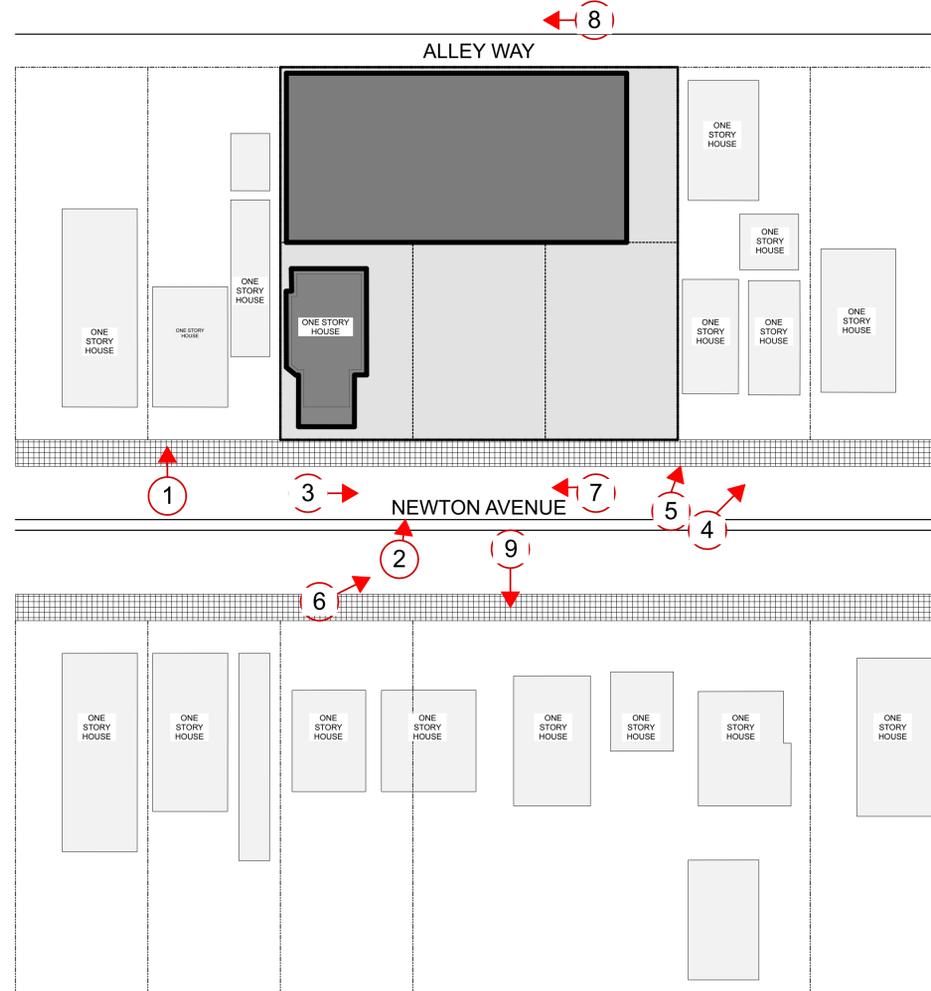
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2



6



3



4

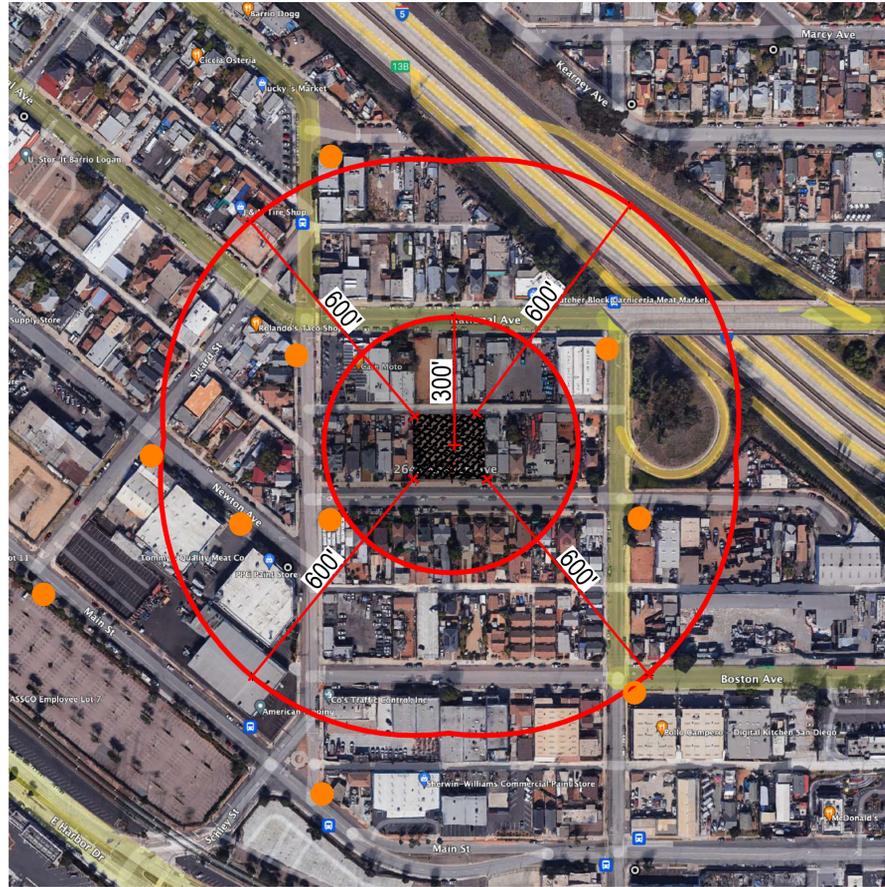


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**NEWTON**  
 2642, 2646, 2648 Newton Ave  
 San Diego, CA 92113  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



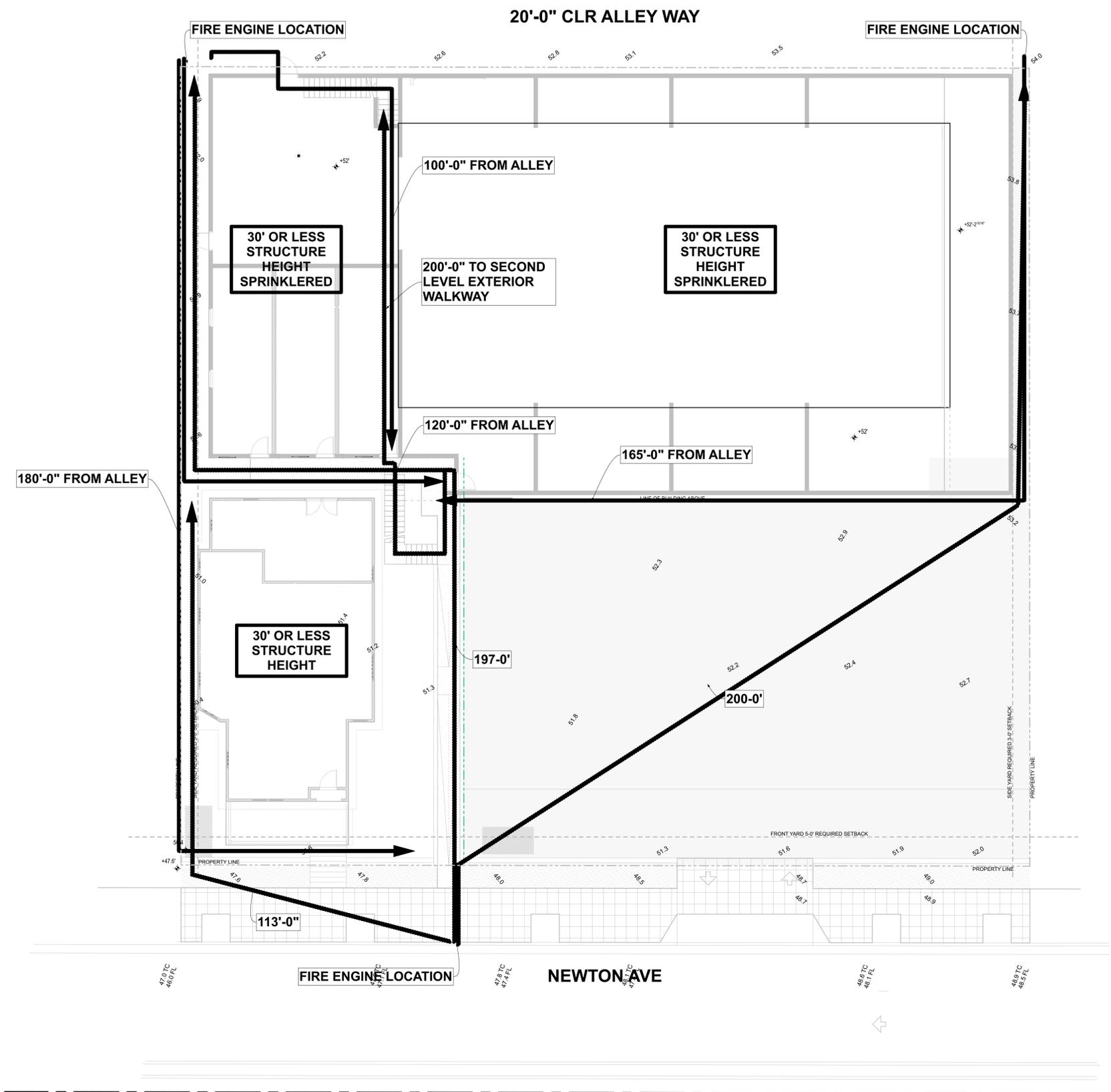
PROJECT # \_\_\_\_\_  
 EXISTING SITE CONDITIONS & PHOTOGRAPHIC STUDY  
 SCALE: \_\_\_\_\_  
 DATE: 8/31/21  
 REVISION 1: 10/12/21  
 REVISION 2: 11/23/21  
 REVISION 3: 12/21/21  
 REVISION 4: \_\_\_\_\_  
 REVISION 5: \_\_\_\_\_  
 REVISION 6: \_\_\_\_\_  
 SHEET: \_\_\_\_\_ OF \_\_\_\_\_  
 SHEET NAME: \_\_\_\_\_



FIRE HYDRANT DIAGRAM  
SCALE: 1" = 200'

**NOTE:**  
ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF THE SUBMITTED PROJECT

ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING PER POLICY A-14-1. HOSE PULL IS MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S) THE MAXIMUM HOSE PULL IS 200'. FOR NON SPRINKLERED BUILDINGS THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.



FIRE ACCESS PLAN  
SCALE: 1" = 10'

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PROJECT # 694291  
SHEET TITLE: FIRE ACCESS PLAN  
SCALE:  
DATE: 8/31/21  
REVISION 1: 10/12/21  
REVISION 2: 11/23/21  
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REVISION 4:  
REVISION 5:  
REVISION 6:  
SHEET: \_\_\_ OF \_\_\_  
SHEET NAME:





**FIRE HYDRANT LOCATION MAP**

**FD POLICY 10-09**

1. CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC.  
REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.

**FD POLICY:**

\*A WEATHER RESISTANT SIGN SECURED WITH CORROSION-RESISTANT CHAIN OR FASTENER, SHALL INDICATE THE ADDRESS, PORTION OF THE BUILDING SERVED.

**CFC SECTION 510 EMERGENCY RESPONDER RADIO COVERAGE**

IF THIS BUILDING DOES NOT MEET THE SIGNAL STRENGTH REQUIREMENT OF -95DB INTO AND OUT OF THE BUILDING IN 95% OF THE AREAS ON EACH FLOOR OF THE BUILDING, A RADIATING CABLE SYSTEM, A DISTRIBUTED ANTENNA SYSTEM WITH FCC CERTIFIED SIGNAL BOOSTERS, OR OTHER SYSTEM APPROVED BY THE SAN DIEGO FIRE DEPARTMENT WILL BE PROVIDED TO ACHIEVE THE REQUIRED COVERAGE.

**FIRE ACCESS PLAN & NOTES**

1. AERIAL ACCESS CAN BE OBTAINED UNION STREET PER THE REQUIRED SETBACK FROM FIRE DEPARTMENT POLICY A-14-1

2. APPROVED STAIRWAY IDENTIFICATION SIGNS SHALL BE LOCATED AT EACH FLOOR LEVEL IN ALL ENCLOSED STAIRWAYS IN BUILDINGS FOUR OR MORE STORIES IN HEIGHT. SHOW DESIGN AND LOCATIONS OF SIGNS ON THE PLANS.

3. A CLASS I (OR I AND II OR III STANDPIPE OUTLET CONNECTION IS REQUIRED IN OCCUPANCIES OF 4 OR MORE STORIES AT EVERY FLOOR-LEVEL CONNECTION OF EVERY REQUIRED STAIRWAY ABOVE OR BELOW GRADE. OUTLETS AT STAIRWAYS SHALL BE LOCATED WITH THE EXIT ENCLOSURE OR, IN THE CASE OF PRESSURIZED ENCLOSURES, WITHIN THE VESTIBULE OR EXTERIOR BALCONY, GIVING ACCESS TO THE STAIRWAY. THERE SHALL BE AT LEAST 1 OUTLET ABOVE THE ROOF LINE WHEN THE ROOF HAS A SLOPE OF LESS THAN 4/12 UNITS HORIZONTAL. IN BLDGS WHERE MORE THAN 1 STANDPIPE IS PROVIDED, THE STANDPIPES SHALL BE INTERCONNECTED.

4. STAIRWAYS EXITING DIRECTLY TO THE EXTERIOR OF A BUILDING FOUR OR MORE STORIES IN HEIGHT SHALL BE PROVIDED WITH A MEANS FOR EMERGENCY ENTRY FOR FIRE DEPARTMENT ACCESS.

5. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FD CONNECTIONS, PULL STATION, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.

**SITE PLAN NOTES:**

- OWNER WILL BE REQUIRED TO CAP (ABANDON) AT PROPERTY LINE ANY EXISTING UNUSED SEWER LATERALS AND INSTALL NEW SEWER LATERAL(S) WHICH MUST BE LOCATED OUTSIDE OF ANY DRIVEWAY OR VJA.
- OWNER WILL BE REQUIRED TO REMOVE (KILL) AT THE WATER MAIN ANY EXISTING UNUSED WATER SERVICES.
- CONTRACTOR DATE STAMPS ARE CONSIDERED SIGNIFICANT AND HISTORIC MARKINGS ARE TO BE PRESERVED ON SIDEWALK IN PLACE OR RELOCATED AND SET NEARBY
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- NO ARCHITECTURAL SCREENING ELEMENTS ON SITE FOR MECHANICAL
- NO EXISTING EASEMENTS
- A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF PROPOSED STRUCTURE IN RELATION TO THE FAA PART 77 NOTIFICATION SURFACE REQUIREMENTS. THE PRECONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED. CALL (858-581-7111 TO SCHEDULE THE PRE-CONSTRUCTION INSPECTION. CONTACT INSPECTION SERVICES OFFICE AT (858)492-5070. IF YOU HAVE ANY QUESTIONS PERTAINING TO THE PRE-CONSTRUCTION INSPECTION
- "NO SMOKING WITHIN 25' OF MAIN ENTRANCES EXISTS AND OPERABLE WINDOWS" SIGNS TO BE INSTALLED AS SHOWN ON PLAN

IMPERVIOUS AREA SUMMARY TABLE	
ONSITE	
TOTAL DISTURBANCE AREA	14,591 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	21,005 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	11,413 SF
TOTAL IMPERVIOUS AREA	19,000 SF
OFF-SITE (PUBLIC IMPROVEMENTS)	
TOTAL DISTURBANCE AREA	0 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	0 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	0 SF

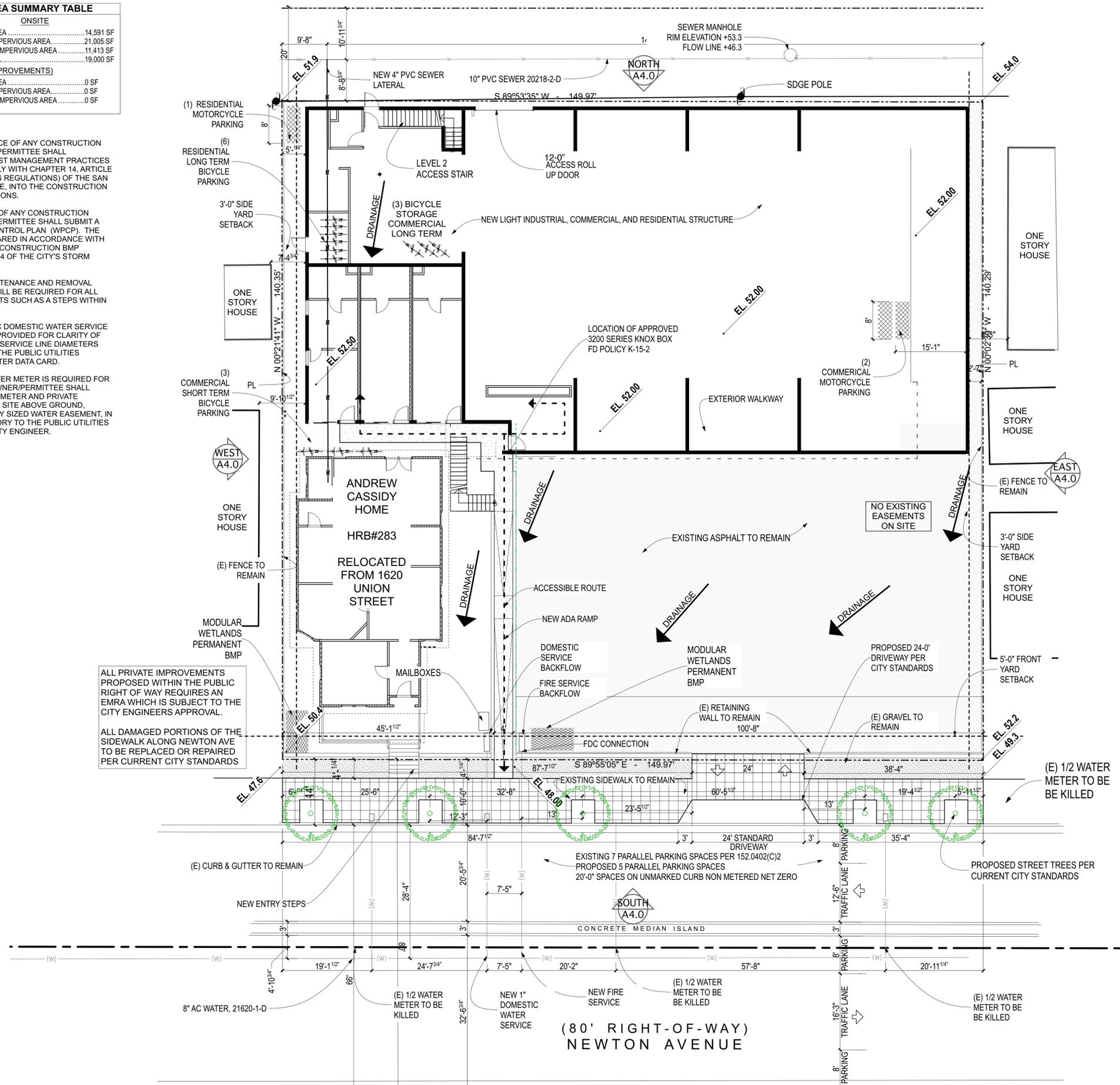
**NOTE:**  
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) WILL BE REQUIRED FOR ALL PRIVATE IMPROVEMENTS SUCH AS A STEPS WITHIN PRW.

ALL PROPOSED PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PUBLIC UTILITIES APPROVED WATER METER DATA CARD.

IF A 3" OR LARGER WATER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITTEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.

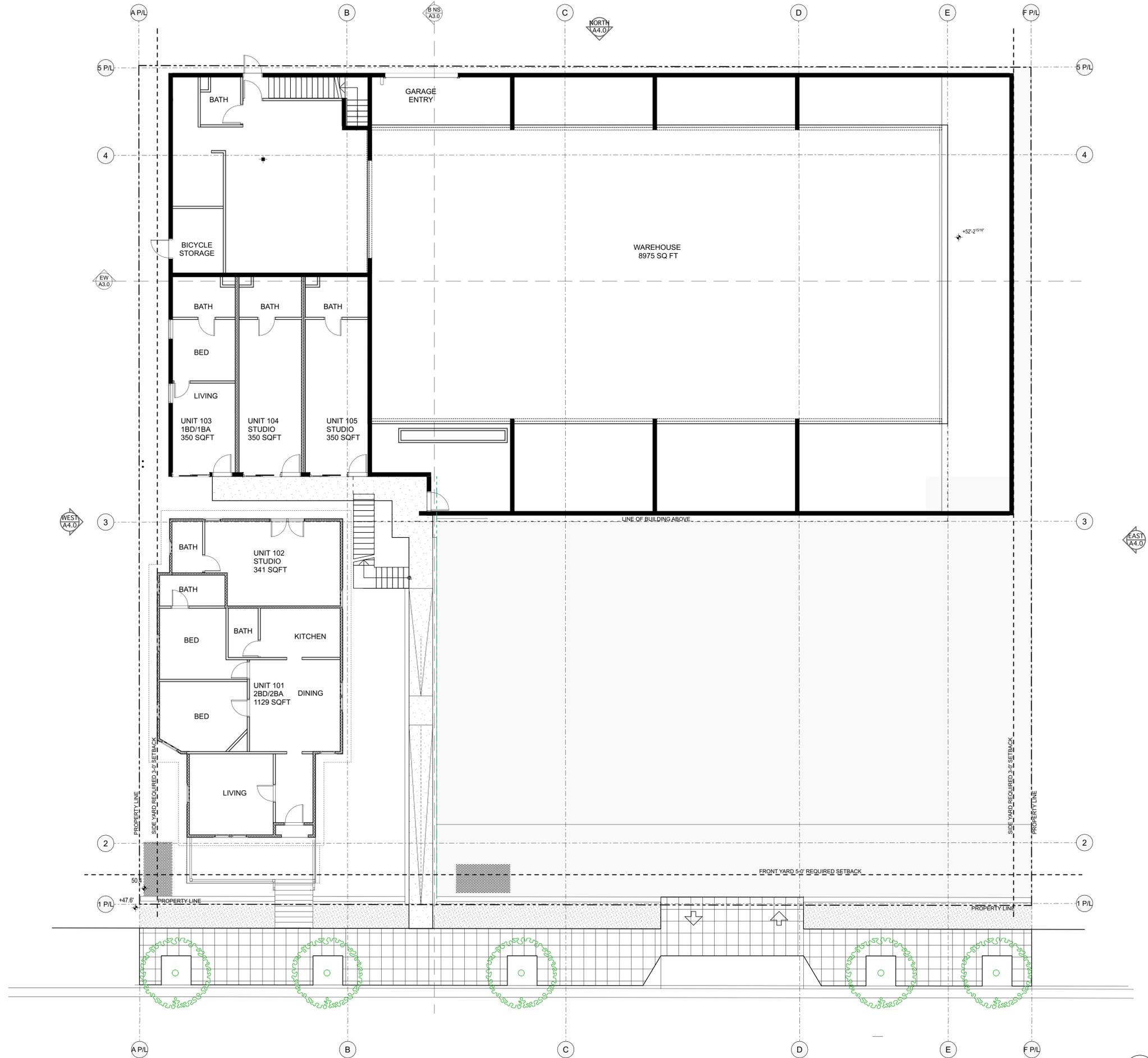


**NEWTON**  
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San Diego, CA 92113  
JONATHAN SEGAL / FAIA  
3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	694291
SHEET TITLE:	SITE PLAN
SCALE:	
DATE:	8/31/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
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SHEET:	OF
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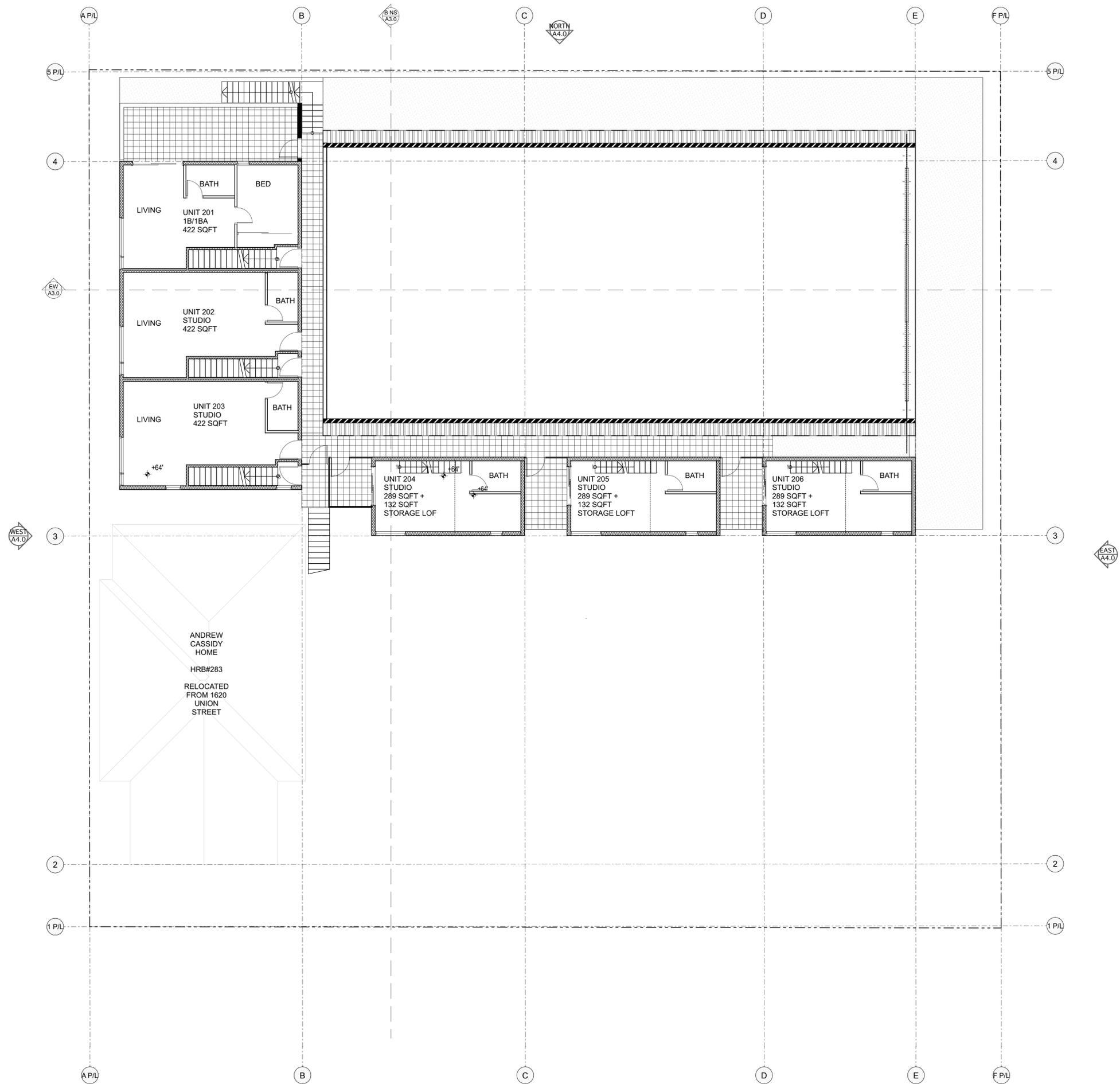


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PROJECT #	694291
SHEET TITLE:	GROUND LEVEL
SCALE:	
DATE:	8/31/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	1 OF 1
SHEET NAME:	

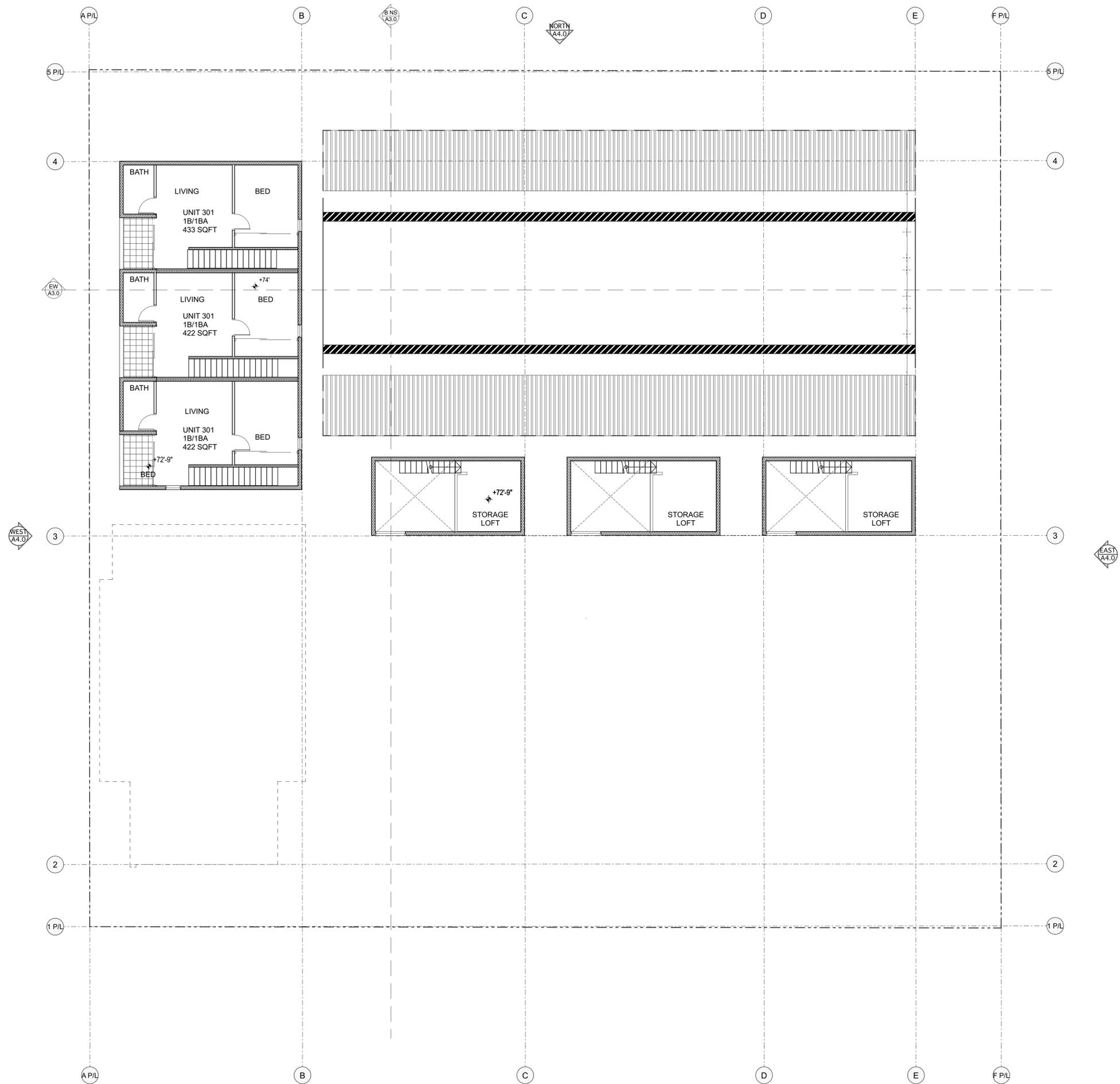
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**NEWTON**  
 2642, 2646, 2648 Newton Ave  
 San Diego, CA 92113  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT #	694291
SHEET TITLE:	LEVEL 2
SCALE:	
DATE:	8/31/21
REVISION 1:	10/12/21
REVISION 2:	11/23/21
REVISION 3:	12/21/21
REVISION 4:	
REVISION 5:	
REVISION 6:	
SHEET:	__ OF __
SHEET NAME:	



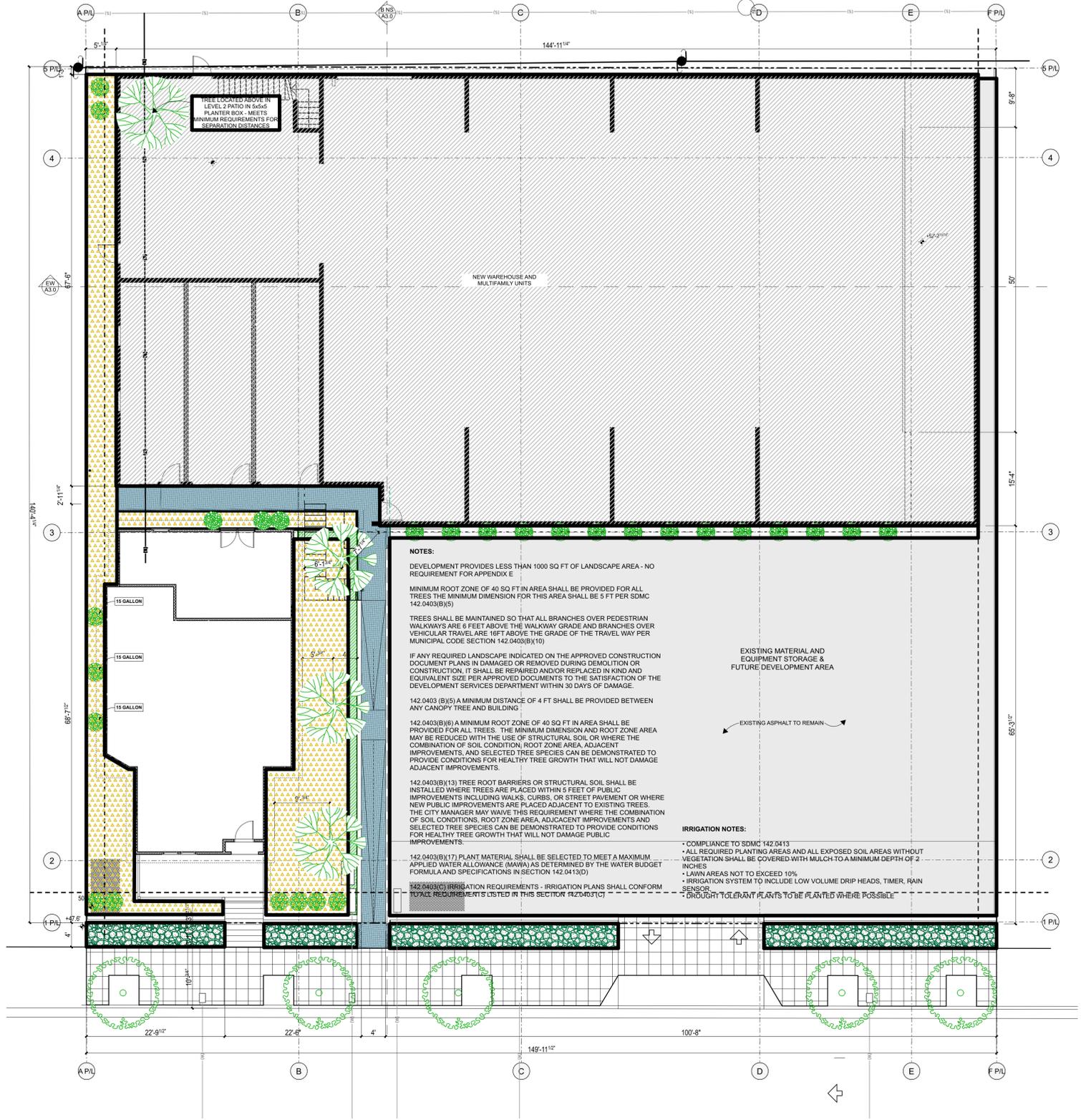
**NEWTON**  
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 San Diego, CA 92113  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # 694291  
 SHEET TITLE: LEVEL 3  
 SCALE:  
 DATE: 8/31/21  
 REVISION 1: 10/12/21  
 REVISION 2: 11/23/21  
 REVISION 3: 12/21/21  
 REVISION 4:  
 REVISION 5:  
 REVISION 6:  
 SHEET: \_\_\_ OF \_\_\_  
 SHEET NAME:







**NOTES:**  
 DEVELOPMENT PROVIDES LESS THAN 1000 SQ FT OF LANDSCAPE AREA - NO REQUIREMENT FOR APPENDIX E  
 MINIMUM ROOT ZONE OF 40 SQ FT IN AREA SHALL BE PROVIDED FOR ALL TREES THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FT PER SDMC 142.0403(B)(5)  
 TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL ARE 16 FT ABOVE THE GRADE OF THE TRAVEL WAY PER MUNICIPAL CODE SECTION 142.0403(B)(10)  
 IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.  
 142.0403 (B)(5) A MINIMUM DISTANCE OF 4 FT SHALL BE PROVIDED BETWEEN ANY CANOPY TREE AND BUILDING.  
 142.0403(B)(6) A MINIMUM ROOT ZONE OF 40 SQ FT IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION AND ROOT ZONE AREA MAY BE REDUCED WITH THE USE OF STRUCTURAL SOIL OR WHERE THE COMBINATION OF SOIL CONDITION, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE ADJACENT IMPROVEMENTS.  
 142.0403(B)(13) TREE ROOT BARRIERS OR STRUCTURAL SOIL SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE CITY MANAGER MAY WAIVE THIS REQUIREMENT WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE PUBLIC IMPROVEMENTS.  
 142.0403(B)(17) PLANT MATERIAL SHALL BE SELECTED TO MEET A MAXIMUM APPLIED WATER ALLOWANCE (MAWA) AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D)  
 142.0403(C) IRRIGATION REQUIREMENTS - IRRIGATION PLANS SHALL CONFORM TO THE REQUIREMENTS LISTED IN THIS SECTION (142.0403(C))

**IRRIGATION NOTES:**  
 • COMPLIANCE TO SDMC 142.0413  
 • ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES  
 • LAWN AREAS NOT TO EXCEED 10%  
 • IRRIGATION SYSTEM TO INCLUDE LOW VOLUME DRIP HEADS, TIMER, RAIN SENSOR  
 • DROUGHT TOLERANT PLANTS TO BE PLANTED WHERE POSSIBLE

LANDSCAPE PLAN SCALE: 1" = 10' L1.0

**LANDSCAPE**

SCIENTIFIC NAME	COMMON NAME	QTY	CONTAINER SIZE	MATURE SIZE	WATER NEEDS	EXPOSURE	POINTS
LAVANDULA ANGUSTIFOLIA	LAVENDER	PER PLAN	5 GALLON 15 GALLON	LOW SPREADING	REGULAR	FULL SUN	18x2 = 36 STREET YARD 6x10 = 60 REMAINING YARD
KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	2	36" BOX	40'H x 20'W	REGULAR	FULL SUN	50x3 = 150
JACARANDA MIMOSIFOLIA	JACARANDA	5	24" BOX	20'Hx30'W	REGULAR	FULL SUN	STREET TREE
FICUS BENJAMINA	FICUS	36" OC = 25	5 GALLON	8'Hx2'W	REGULAR	FULL SUN	25x2 = 50

HARDSCAPE	
10% Decomposed Granite Hardscape 90% plant Material (Bark)	3/4" Under Gravel (Existing)
Concrete Walkway	



**STREET YARD [5142.0404 - 5142.0405] - All Multiple Dwelling Unit Residential Development**  
 • Planting area in the public right-of-way is not counted towards fulfillment of the required street yard planting area.

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 1845 sq. ft. x 50% = 922 sq. ft.	1067 sq. ft.	145 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 1845 sq. ft. x 0.05 = 92 points	236 points	144 points
		Plant Points Achieved with Trees (50%)
		150 points

**REMAINING YARD [5142.0404 - 5142.0405] - 5 Dwelling Units or More**

Option 1:  
 A minimum of 30 percent of the total area within a 10-foot offset from the structural envelope of each residential structure shall be planting area and shall be planted at a rate of 0.05 points per square foot of total area within the offset.

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 815 sq. ft. x 30% = 245 sq. ft.	547 sq. ft.	409 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 815 sq. ft. x 0.05 = 41 sq. ft.	110 points	28 points
		Plant Points Achieved with Trees (50%)
		60 points



LANDSCAPE AREA SCALE: 1" = 20'

**NEWTON**  
 2642, 2646, 2648 Newton Ave  
 San Diego, CA 92113  
 JONATHAN SEGAL / FAIA  
 3000 Upas Street Suite 101 San Diego, CA 92104



PROJECT # 694291  
 SHEET TITLE: LANDSCAPE PLAN  
 SCALE:  
 DATE: 8/31/21  
 REVISION 1: 10/12/21  
 REVISION 2: 11/23/21  
 REVISION 3: 12/21/21  
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 REVISION 6:  
 SHEET: \_\_\_ OF \_\_\_  
 SHEET NAME:

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
URBAN DIVISION  
THIRD FLOOR

**WHEN RECORDED MAIL TO**  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008970

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2573328  
**UNION/NEWTON SITES (1620 UNION STREET) - PROJECT NO. 694291**  
PLANNING COMMISSION

This Site Development Permit is granted by the Planning Commission of the City of San Diego ("City") to Jman Investments Inc., Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) Section 126.0505 to allow 1) the relocation of a historical resource and 2) the construction of a 23-story, 250-foot tall residential development ("Project"). The approximately 5,013 square-foot (SF) site is located at 1620 Union Street (west side of Union Street between West Date and West Cedar streets) in the Little Italy neighborhood of the Downtown Community Plan (DCP) area and within the Centre City Planned District. The Project site is legally described as Lot 8 in Block 33 of Middletown in the City of San Diego, County of San Diego, State of California, according to partition map thereof, made by J.E. Jackson on file in the Office of the County Clerk of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee to construct and operate a development and uses as described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated December 21, 2021, on file in the Development Services Department (DSD).

The Project shall include:

- Site Development Permit (SDP): Relocation of a designated Historical Resources Board (HRB) Site No. 238, the Andrew Cassidy Home, pursuant to Sec. 126.0502(d)(1)(E) from 1620 Union Street to 2642-2648 Newton Avenue.
- Construction of a 23-story, 250-foot tall residential development, totaling approximately 109,546 SF, and comprised of 73 residential dwelling units and 70 parking spaces within a fully-automated mechanical parking garage.
- Public and private accessory improvements determined by DSD to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 26, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to DSD; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is

required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

10. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.
12. Development Impact Fees: The development will be subject to Development Impact Fees. The fee shall be determined in accordance with the fee schedule in effect at the time of building permit issuance and with the SDMC. The Owner/Permittee shall provide all necessary documentation to the City's Planning Department.
13. This development shall comply with the standards, policies, and requirements in effect at the time of approval of this development, including any successor(s) or new policies, financing mechanisms, phasing schedules, plans and ordinances adopted by the City.
14. No permit for construction, operation, or occupancy of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until this Permit is recorded in the Office of the San Diego County Recorder.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

15. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program (MMRP) shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
16. The mitigation measures specified in the MMRP and outlined in TIERED MITIGATED NEGATIVE DECLARATION NO. 694291 (SCH NO. 2022020136) shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
17. The Owner/Permittee shall comply with the MMRP as specified in TIERED MITIGATED NEGATIVE DECLARATION NO. 694291 (SCH NO. 2022020136) to the satisfaction of DSD and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Cultural Resources (Archaeology), Cultural Resources (Built Environment), and Tribal Cultural Resources.

**CLIMATE ACTION PLAN REQUIREMENTS:**

18. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of DSD, including:
  - a. Cool/Green Roofs: Roofing materials with a minimum three-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (CAL Green).
  - b. Plumbing Fixtures & Fittings:
    - i. Residential:
      1. Kitchen faucets: Maximum flow rate not to exceed 1.5 gallons per minute at 60 PSI;
      2. Standard dishwashers: 4.25 gallons per cycle;
      3. Compact dishwashers: 3.5 gallons per cycle;
      4. Clothes washers: Water factor of six gallons per cubic feet of drum capacity.
  - c. Electric Vehicle Charging: Of the total required listed cabinets, boxes, or enclosures, 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use.
  - d. Bicycle Parking Spaces: Project provides more short- and long-term bicycle parking spaces than required in the SDMC.

**AFFORDABLE HOUSING REQUIREMENTS:**

19. Prior to issuance of any building permit associated with this Project, the Owner/Permittee shall demonstrate compliance with the provisions of the Complete Communities Housing Solutions Regulations of SDMC Chapter 14, Article 3, Division 10 and Inclusionary Affordable Housing Regulations of SDMC Chapter 14, Article 2, Division 13. The Owner/Permittee shall enter into a

written Agreement with the San Diego Housing Commission, which shall be drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust which incorporates applicable affordability conditions consistent with the SDMC. The Agreement will specify that in exchange for the City's approval of the Project, which contains a new unlimited floor area ratio density bonus, alone or in conjunction with any incentives or concessions granted as part of Project approval, the Owner/Permittee shall provide three affordable units with rents of no more than 30% of 50% of area median income (AMI), two affordable units with rents of no more than 30% of 60% of AMI, and three affordable units with rents of no more than 30% of 120% of AMI for no fewer than 55 years.

**AIRPORT REQUIREMENTS:**

20. The Owner/Permittee shall comply with conditions established by the City Airport Approach Overlay Zone (and any successor or amendment thereto) which were approved by the Airport Land Use Commission (ALUC) on October 1, 2021. The ALUC Board made the determination that the project is conditionally consistent with the San Diego International Airport Land Use Compatibility Plan (ALUCP). Owner/Permittee shall comply with the following ALUC conditions:
- a. The structure and temporary construction crane shall be marked and lighted in accordance with Federal Aviation Administration (FAA) procedures.
  - b. An aviation easement for airspace shall be recorded with the County Recorder prior to building permit issuance.
  - c. The ALUCP requires that a means of overflight notification be provided for new residential land uses. In instances when an aviation easement is required, the overflight notification requirement is satisfied.

**CULTURAL RESOURCES (PALEONTOLOGICAL RESOURCES) REQUIREMENTS:**

21. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and construction Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents in "verbatim" as referenced in the City of San Diego Land Development Manual for Paleontological Resources.
22. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC)/Environmental Designee (ED) identifying the Principal Investigator (PI), Monitors, and all persons for the project and the names of all persons involved in the paleontological monitoring program, as identified in City of San Diego Land Development Manual for Paleontological Resources.

23. MMC/ED will provide a letter to the applicant confirming the qualifications of the PI, Monitors, and all persons involved in the paleontological monitoring of the project. Professional Qualifications shall meet the following standards:
  - a. The Principal Investigator (PI) should have a Ph.D. or M.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Four cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required. Two of the four years must be in a supervisory capacity (crew chief or above).
  - b. Paleontological Monitors should have a B.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Two cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required.
24. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

**ENGINEERING REQUIREMENTS:**

25. Prior to the issuance of any building permits, the Owner/Permittee shall provide any ROW dedication to meet a minimum 12-foot curb to property line required along Union Street frontage to satisfaction of the City Engineer.
26. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new ten-foot driveway adjacent to the site on Union Street to satisfaction of the City Engineer.
27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to replace exiting curb and sidewalk with standard curb/gutter and sidewalk per current City Standards along Union Street frontage.
28. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for non-standard driveway, enhanced sidewalk, landscaping, trees and sidewalk underdrain/curb outlet in the Union Street ROW.
29. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
30. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**GEOLOGY REQUIREMENTS:**

31. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of DSD prior to issuance of any construction permits.
32. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology section of DSD prior to exoneration of the bond and grading permit close-out.

**HISTORICAL RESOURCES REQUIREMENTS:**

33. Prior to the issuance of any construction permits, the Owner/Permittee shall submit drawings that incorporate the Treatment Plan as approved by the Historical Resources Board (HRB) and City Historical Resources Staff.
34. Prior to the issuance of any construction permits, the Historic American Building Survey (HABS) documentation as approved by HRB and City Historical Resources Staff shall be submitted for archival storage with the City of San Diego HRB, South Coastal Information Center, the California Room of the City of San Diego Public Library, the San Diego Historical Society, and/or other historical society or group(s).
35. During construction of the Project, the Owner/Permittee shall implement the Monitoring Plan as approved by HRB and City Historical Resources staff. The Project's Principal Investigator shall send monitoring reports as described in the Monitoring Plan to the City's Mitigation Monitoring staff and Historical Resources staff. The Principal Investigator may submit a detailed letter to City staff prior to the start of work or during construction requesting a modification to the Monitoring Plan. This request shall be based on relevant information and site conditions.
36. Prior to the issuance of a demolition permit for relocation, the requirements of the Mills Act contract shall be removed from the 1620 Union Street property and any required fees associated with the removal of the Mills Act contract shall be paid by the Owner/Permittee.

**LANDSCAPE REQUIREMENTS:**

37. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City Landscape Standards, Storm Water Design Manual, and to the satisfaction of DSD. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file at DSD.
38. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for ROW improvements to DSD for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

39. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to DSD for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in DSD. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per Sec. 142.0403(b)5.
40. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to DSD identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file at DSD. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'
41. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the ROW, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by DSD. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
42. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of DSD within 30 days of damage or Certificate of Occupancy.

**PUBLIC UTILITIES REQUIREMENTS:**

43. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.
44. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
45. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located outside of the ROW adjacent to the development's water meters, either within the building, a recessed alcove area, or within a plaza or landscaping area. The devices shall be screened from view from the ROW.
46. The Owner/Permittee shall be responsible for any damage caused to City of San Diego water and sewer facilities within the vicinity of the Project site, due to the construction activities associated with this Project, in accordance with SDMC Sec. 142.0607. In the event that any such

facility loses integrity, the Owner/Permittee shall repair or reconstruct any damaged public water and sewer facility in a manner satisfactory to the Public Utilities Director and the City Engineer.

47. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
48. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
49. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
50. The Owner/Permittee shall obtain approval from DSD - Fire Protection, prior to submission to PUD Water and Sewer ministerial review, then submit the final water study per the City's current Water Design Guide criteria prior to ministerial review approval.

**PLANNING/DESIGN REQUIREMENTS:**

51. Floor Area Ratio (FAR) Bonus: The Project achieves a FAR of **21.91** through the utilization of the Complete Community Housing Solutions Regulations (CCHSR), SDMC Chapter 14, Article 3, Division 10. A written agreement and a deed of trust securing the agreement shall be entered into by the Applicant and the President and Chief Executive Officer of the San Diego Housing Commission prior to the issuance of a building permit. Pursuant to Section 143.1010(j) of the CCHSR, the Project is granted the following waivers:
  - a. Driveway Width (Sec. 142.0560(j)(1)) – Reduce the minimum driveway width from 14 feet to 10 feet.
  - b. Refuse and Recycling (Sec. 142.0820(b)) – Reduce the minimum refuse and recycling storage area from 288 SF to 145 SF.
  - c. Tower Setbacks (Sec. 156.0310(d)(3)(E)) – Reduce the tower setback from interior property lines from ten feet to three feet on both the north and west tower elevations.
  - d. Common Indoor Space (Sec. 156.0310(g)(2)) – Reduce the minimum area of common indoor space from 500 SF to zero SF.
  - e. Private Open Space (Sec. 156.0310(g)(3)) – Reduce the minimum area of private open space from 40 SF to 36 SF.
  - f. Pet Open Space (Sec. 156.0310(g)(5)) – Reduce the required pet open space from 100 SF to zero SF.
  - g. Transparency (Sec. 156.0311(d)(1)) – Reduce the minimum ground level transparency from 60% of the building façade to 28%.

- h. Oriel Windows (Sec. 156.0311(h)(2)) – Increase the maximum width of oriel windows from 12 feet to 19'-4" and increase the maximum façade coverage of oriel windows from 30% to 76.3%
  - i. Electric Vehicle Parking (Sec. 156.0313(a)(2)(C)) – Reduce the number of required electric vehicle parking spaces from seven to six.
  - j. Motorcycle Parking (Sec. 156.0313(a)(2)(D)) – Reduce the number of required motorcycle parking spaces from seven to zero.
52. Parking: No on-site parking is required for the residential DUs and the Project shall not provide more than 73 parking spaces for the residential DUs (one space per DU, excluding tandem spaces). The Project proposes 70 total parking spaces within a fully-automated mechanical parking garage. The parking spaces shall be designed to City standards, except as permitted in SDMC Sec. 156.0313(k).
53. Bicycle Parking: Secured bicycle storage shall be provided to accommodate a minimum of 14 bicycles (one bicycle for every five DU). Bicycle storage areas shall be within a secured enclosure with access restricted to authorized persons and provide devices for the locking of individual bicycles.
54. Urban Design Standards: The Project, including its architectural design concepts and off-site improvements, shall be consistent with the Centre City Planned District Ordinance (CCPDO) and Centre City Streetscape Manual (CCSM). These standards, together with the following specific conditions, will be used as a basis for evaluating the development through all stages of the development process.
55. Architectural Standards: The architecture of the development shall establish a high quality of design and complement the design and character of the Little Italy neighborhood as shown in the approved Exhibit "A," on file at DSD. The development shall utilize a coordinated color scheme consistent with the approved Exhibit "A," on file at DSD.
56. Form and Scale: The development shall consist of a 23-story mixed-use development (approximately 250 feet tall) measured to the top of the roofline, with roof equipment enclosures, elevator penthouses, and mechanical screening above this height permitted per the CCPDO and the FAA. All building elements shall be complementary in form, scale, and architectural style.
57. Building Materials: All building materials shall be of a high quality as shown in Exhibit "A," on file at DSD and approved materials board. All materials and installation shall exhibit high-quality design, detailing, and construction execution to create a durable and high-quality finish. The base of the buildings shall be clad in upgraded materials and carry down to within one inch of finish sidewalk grade, as illustrated in the approved Exhibit "A," on file at DSD. Any graffiti coatings shall be extended the full height of the upgraded base materials or up to a natural design break such a cornice line. All downspouts, exhaust caps, and other additive elements

shall be superior grade for urban locations, carefully composed to reinforce the architectural design. Reflectivity of the glass shall be the minimum reflectivity required by Title 24 of the California Code of Regulations (Title 24). All construction details shall be of the highest standard, as shown in the approved Exhibit "A," on file at DSD, and executed to minimize weathering, eliminate staining, and not cause deterioration of materials on adjacent properties or the ROW. No materials/colors substitutions shall be permitted without prior written City consent.

58. **Street Level Design:** Street level windows shall be clear glass and may be lightly tinted. Architectural features such as awnings and other design features which add human scale to the streetscape are encouraged where they are consistent with the design theme of the structure. Exit corridors including garage entrances shall provide a finished appearance to the street with street level exterior finishes wrapping into the openings a minimum of ten feet, or the garage door, whichever is deeper. All exhaust caps, lighting, sprinkler heads, and other elements on the undersides of all balconies and surfaces shall be logically composed and placed to minimize their visibility, while meeting code requirements. All soffit materials shall be high quality and consistent with adjacent elevation materials and incorporate drip edges and other details to minimize staining and ensure long-term durability.
59. **Utilitarian Areas:** Areas housing trash, storage, or other utility services shall be completely concealed from view of the ROW and adjoining developments, except for utilities required to be exposed by the City or utility company. The development shall provide trash and recyclable material storage areas per SDMC Sec. 142.0810 and 142.0820. Such areas shall be provided within an enclosed building area and kept clean and orderly at all times.
60. **Mail and Delivery Locations:** It is the Owner/Permittee's responsibility to coordinate mail service and mailbox locations with the United States Postal Service and to minimize curb spaces devoted to postal and loading use. The Owner/Permittee shall locate all mailboxes and parcel lockers outside of the ROW either within the building or recessed into a building wall.
61. **Circulation and Parking:** Owner/Permittee shall prepare a plan which identifies the location of curbside parking control zones, parking meters, fire hydrants, valet services if any, trees, street lights to the satisfaction of the City, and consistent with the performance standards in the CCPDO and CCSM. Such plan shall be submitted in conjunction with Construction Permits. All parking shall meet the requirements of the Building Department, Fire Department and City Engineer. All parking shall be mechanically ventilated. The exhaust system for mechanically ventilated structures shall be located to mitigate noise and exhaust impacts on the public ROW. The garage doors shall be a minimum 80% opaque to prevent views into the garage areas.
62. **Open Space and Development Amenities:** A landscape plan that illustrates the relationship of the proposed on and off-site improvements and the location of water, and electrical hookups to the satisfaction of the City and consistent with the performance standards in the CCPDO, shall be submitted with construction drawings.
63. **Roof Tops:** A rooftop equipment and appurtenance location and screening plan and consistent with the performance standards in the CCPDO shall be prepared and submitted to the

satisfaction of the City with construction drawings. Any roof-top mechanical equipment shall be grouped, enclosed, and screened from surrounding views.

64. Lighting: A lighting plan which highlights the architectural qualities of the proposed development and also enhances the lighting of the public ROW shall be submitted with construction drawings. All lighting shall be designed to avoid illumination of, or glare to, adjoining properties, including those across any street.
65. Noise Control: All mechanical equipment, including but not limited to, air conditioning, heating and exhaust systems, shall comply with the City Noise Ordinance and California Noise Insulation Standards as set forth in Title 24. The Owner/Permittee shall provide evidence of compliance with construction drawings.
66. Street Address: Building address numbers shall be provided that are visible and legible from the ROW.
67. On-Site Improvements: All on-site improvements shall be designed as part of an integral site development. An on-site improvement plan shall be submitted to the satisfaction of the City with construction drawings.
68. Off-Site Improvements: Public improvements shall be installed in accordance with the Centre City Streetscape Manual (CCSM) and City Street Design Manual.
69. Sidewalk Paving: Paving in the ROW shall be Little Italy Paving, per the CCSM. The Little Italy Paving shall be a concrete sidewalk with scorelines creating a two (2) foot by two (2) foot grid, integrally colored French Gray (C-14) by Scofield or approved equal, and a medium broom finish with a light pressure wash. Any specialized paving materials shall be approved through the execution of an EMRA with the City.
70. Planters: Planters shall be permitted to encroach into the ROW a maximum of three feet. The planter encroachment shall be measured from the property line to the face of the curb/wall surrounding the planter. A minimum five-foot clear path shall be maintained between the face of the planter and the edge of any tree grate or other obstruction in the ROW.
71. Franchise Public Utilities: The Owner/Permittee shall be responsible for the installation or relocation of franchise utility connections including, but not limited to, gas, electric, telephone and cable, to the development and all extensions of those utilities in public streets. Existing franchised utilities located above grade serving the property and in the sidewalk ROW shall be removed and incorporated into the adjoining development. All franchise utilities shall be installed as identified in Exhibit A. Any above grade devices shall be screened from public view.
72. Construction Fence: Owner/Permittee shall install a construction fence pursuant to specifications of, and a permit from, the City Engineer. The fence shall be solid plywood with wood framing, painted a consistent color with the development's design, and shall contain a pedestrian passageway, signs, and lighting as required by the City Engineer. The fencing shall be maintained in good condition and free of graffiti at all times. The construction fence, any

construction staging area, any pedestrian passageway associated with the project construction, or any similar construction-related feature may not encroach into Third Avenue beyond the existing curb line on the east side of the street. All aforementioned construction features must be located within the extant Third Avenue sidewalk area.

73. Development Identification Signs: Prior to commencement of construction on the site, the Owner and/or Permittee shall prepare and install, at its cost and expense, one sign on the barricade around the site which identifies the development. The sign shall be at least four feet by six feet and be visible to passing pedestrian and vehicular traffic. The signs shall at a minimum include: 1) Color rendering of the development, 2) Development name, 3) Developer, 4) Completion Date, 5) For information call \_\_\_\_\_. Additional development signs may be provided around the perimeter of the site. All signs shall be limited to a maximum of 160 sq. ft. per street frontage. Graphics may also be painted on any barricades surrounding the site. All signs and graphics shall be submitted to the City for approval prior to installation.

APPROVED by the Planning Commission of the City of San Diego on April 21, 2022 and Resolution No. \_\_\_\_-PC.

Approval No. SDP 2573328  
Project No. 694291  
Date of Approval: April 21, 2022

AUTHENTICATED BY THE CITY OF SAN DIEGO URBAN DIVISION

\_\_\_\_\_  
James Alexander  
Senior Planner, Urban Division  
Development Services Department

**NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.**

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By \_\_\_\_\_  
Matthew Segal  
Jman Investments, Inc.

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

ATTACHMENT: Resolution No. \_\_\_\_-PC

DRAFT

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
URBAN DIVISION  
THIRD FLOOR

**WHEN RECORDED MAIL TO**  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008970

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2573328  
COASTAL DEVELOPMENT PERMIT NO. 2581703  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2594455  
**UNION/NEWTON SITES (2642-2648 NEWTON AVENUE) - PROJECT NO. 694291**  
PLANNING COMMISSION

This Site Development Permit, Coastal Development Permit, and Neighborhood Development Permit are granted by the Planning Commission of the City of San Diego ("City") to Jman at the Barrio LLC, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) Section 126.0505 and 126.0708 to allow 1) the relocation of a historical resource, 2) the construction of a three-story, 33'-9" tall mixed-use development, and 3) a four-foot encroachment of stairs into the public right-of-way (ROW) ("Project"). The approximately 21,042 square-foot (SF) site is located at 2642-2648 Newton Avenue (north side of Newton Avenue between South 26<sup>th</sup> and South 27<sup>th</sup> streets) in the Barrio Logan Community Plan (BLCP) area. The Project site is legally described as Lots 33 through 38, inclusive in Block 12 of Reed and Hubbel's addition in the City of San Diego, County of San Diego, State of California, according to partition map thereof No. 327, made by J.E. Jackson on file in the Office of the Recorder of San Diego County on June 30, 1886.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee to construct and operate a development and uses as described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated December 21, 2021, on file in the Development Services Department (DSD).

The Project shall include:

- Site Development Permit (SDP): Relocation of a designated Historical Resources Board (HRB) Site No. 238, the Andrew Cassidy Home, pursuant to Sec. 126.0502(d)(1)(E) from 1620 Union Street to 2642-2648 Newton Avenue.
- Coastal Development Permit (CDP): Construction of a three-story, 33'-9" tall mixed-use development with 12 dwelling units and 8,975 SF of warehouse space within the Coastal Overlay Zone.

- Neighborhood Development Permit (NDP): Encroachment of a private structure into the public ROW for the porch stairs of the historical resource by four feet, one-quarter inches.
- Public and private accessory improvements determined by DSD to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 26, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to DSD; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
10. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.
12. This development shall comply with the standards, policies, and requirements in effect at the time of approval of this development, including any successor(s) or new policies, financing mechanisms, phasing schedules, plans and ordinances adopted by the City.
13. No permit for construction, operation, or occupancy of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until this Permit is recorded in the Office of the San Diego County Recorder.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

14. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program (MMRP) shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
15. The mitigation measures specified in the MMRP and outlined in TIERED MITIGATED NEGATIVE DECLARATION NO. 694291 (SCH NO. 2022020136) shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
16. The Owner/Permittee shall comply with the MMRP as specified in TIERED MITIGATED NEGATIVE DECLARATION NO. 694291 (SCH NO. 2022020136) to the satisfaction of DSD and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Cultural Resources (Archaeology), Cultural Resources (Built Environment), and Tribal Cultural Resources.

**CLIMATE ACTION PLAN REQUIREMENTS:**

17. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of DSD, including:
  - a. Cool/Green Roofs: Roofing materials with a minimum three-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (CAL Green).
  - b. Plumbing Fixtures & Fittings:
    - i. Residential:
      1. Kitchen faucets: Maximum flow rate not to exceed 1.5 gallons per minute at 60 PSI;
      2. Standard dishwashers: 4.25 gallons per cycle;
      3. Compact dishwashers: 3.5 gallons per cycle;
      4. Clothes washers: Water factor of six gallons per cubic feet of drum capacity.
    - ii. Nonresidential:
      1. Plumbing fixtures and fittings that do not exceed the maximum flow rate specified in Table A5.303.2.3.1 (voluntary measures) of CAL Green.
      2. Appliances and fixtures for commercial applications that meet the provisions of Section A5.303.3 (voluntary measures) of CAL Green.
  - c. Bicycle Parking Spaces: Project provides more short- and long-term bicycle parking spaces than required in the SDMC.

**AFFORDABLE HOUSING REQUIREMENTS:**

18. Prior to issuance of any building permit associated with this Project, the Owner/Permittee shall demonstrate compliance with the provisions of the Affordable Housing Density Bonus Regulations of Chapter 14, Article 3, Division 7 of the SDMC and Inclusionary Affordable Housing Regulations of SDMC Chapter 14, Article 2, Division 13. The Owner/Permittee shall enter into a written Agreement with the San Diego Housing Commission which shall be drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust which incorporates applicable affordability conditions consistent with the SDMC. The Agreement will specify that in exchange for the City's approval of the Project, which contains a 42.5% density bonus (six units in addition to what is permitted by the underlying zoning regulations), alone or in conjunction with any incentives or concessions granted as part of Project approval, the Owner/Permittee shall provide two affordable units with rents of no more than 30% of 50% of AMI for no fewer than 55 years.

**CULTURAL RESOURCES (PALEONTOLOGICAL RESOURCES) REQUIREMENTS:**

19. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and construction Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents in "verbatim" as referenced in the City of San Diego Land Development Manual for Paleontological Resources.
20. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC)/Environmental Designee (ED) identifying the Principal Investigator (PI), Monitors, and all persons for the project and the names of all persons involved in the paleontological monitoring program, as identified in City of San Diego Land Development Manual for Paleontological Resources.
21. MMC/ED will provide a letter to the applicant confirming the qualifications of the PI, Monitors, and all persons involved in the paleontological monitoring of the project. Professional Qualifications shall meet the following standards:
  - a. The Principal Investigator (PI) should have a Ph.D. or M.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Four cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required. Two of the four years must be in a supervisory capacity (crew chief or above).
  - b. Paleontological Monitors should have a B.S. in a field related to paleontology, such as geology or biology with an emphasis in paleobiology. Two cumulative years of full-time professional field, research, and museum experience in working with the geological formations of Southern California is required.
22. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

**ENGINEERING REQUIREMENTS:**

23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 24-foot driveway per current City Standards, adjacent to the site on Newton Avenue.
24. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Newton Avenue.
25. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private stairs, curb outlets, trees, and hardscape within Newton Avenue public ROW.
26. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
27. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
28. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**GEOLOGY REQUIREMENTS:**

29. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of DSD prior to issuance of any construction permits.
30. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology section of DSD prior to exoneration of the bond and grading permit close-out.

**HISTORICAL RESOURCES REQUIREMENTS:**

31. Prior to the issuance of any construction permits, the Owner/Permittee shall submit drawings that incorporate the Treatment Plan as approved by the Historical Resources Board (HRB) and City Historical Resources Staff.
32. Prior to the issuance of any construction permits, the Historic American Building Survey (HABS) documentation as approved by HRB and City Historical Resources Staff shall be submitted for

archival storage with the City of San Diego HRB, South Coastal Information Center, the California Room of the City of San Diego Public Library, the San Diego Historical Society, and/or other historical society or group(s).

33. During construction of the Project, the Owner/Permittee shall implement the Monitoring Plan as approved by HRB and City Historical Resources staff. The Project's Principal Investigator shall send monitoring reports as described in the Monitoring Plan to the City's Mitigation Monitoring staff and Historical Resources staff. The Principal Investigator may submit a detailed letter to City staff prior to the start of work or during construction requesting a modification to the Monitoring Plan. This request shall be based on relevant information and site conditions.

**LANDSCAPE REQUIREMENTS:**

34. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City Landscape Standards, Storm Water Design Manual, and to the satisfaction of DSD. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file at DSD.
35. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for ROW improvements to DSD for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
36. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to DSD for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in DSD. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per Sec. 142.0403(b)5.
37. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to DSD identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file at DSD. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'
38. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the ROW, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by DSD. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
39. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the

Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of DSD within 30 days of damage or Certificate of Occupancy.

**PUBLIC UTILITIES REQUIREMENTS:**

40. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.
41. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
42. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located outside of the ROW adjacent to the development's water meters, either within the building, a recessed alcove area, or within a plaza or landscaping area. The devices shall be screened from view from the ROW.
43. The Owner/Permittee shall be responsible for any damage caused to City of San Diego water and sewer facilities within the vicinity of the Project site, due to the construction activities associated with this Project, in accordance with SDMC Sec. 142.0607. In the event that any such facility loses integrity, the Owner/Permittee shall repair or reconstruct any damaged public water and sewer facility in a manner satisfactory to the Public Utilities Director and the City Engineer.
44. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.
45. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
46. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

**PLANNING REQUIREMENT:**

47. The proposed multiple dwelling unit development shall provide transportation amenities based on its Transportation Amenity Score per the requirements of Appendix Q.
48. The Project is utilizing the Affordable Housing Regulations (AHR), SDMC Chapter 14, Article 3, Division 7. A written agreement and a deed of trust securing the agreement shall be entered into by the Applicant and the President and Chief Executive Officer of the San Diego Housing

Commission prior to the issuance of a building permit. Pursuant to Section 143.0740 and Section 143.0743 of the AHR, the Project is granted the following incentives and waivers:

- a. Incentive – Parking (Sec. 142.0530(a)) – Reduce the parking requirement for the commercial land use component of the Project from 19 spaces to zero spaces.
- b. Waiver – Side Yard Setback (Sec. 152.0304(c)(2)(A)) – Reduce the side yard setback of the third level from six feet to five feet.

**TRANSPORTATION REQUIREMENT:**

49. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

APPROVED by the Planning Commission of the City of San Diego on April 21, 2022 and Resolution No. \_\_\_\_-PC.

Approval No. SDP 2573328, CDP 2581703, NDP 2594455  
 Project No. 694291  
 Date of Approval: April 21, 2022

AUTHENTICATED BY THE CITY OF SAN DIEGO URBAN DIVISION

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James Alexander  
 Senior Planner, Urban Division  
 Development Services Department

**NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.**

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By \_\_\_\_\_

Matthew Segal  
Jman at the Barrio LLC

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

ATTACHMENT: Resolution No. \_\_\_\_-PC

DRAFT



THE CITY OF SAN DIEGO

## TIERED MITIGATED NEGATIVE DECLARATION

Project No. 694291  
SCH No. 2019060003

**SUBJECT: Union/Newton Sites SDP/CDP:** Site Development Permit and Coastal Development Permit for 1) the relocation of an historic house from Little Italy to Barrio Logan, 2) construction of a 24-story residential tower with 73 dwelling units (DU) (8 affordable) at 1620 Union St. in Little Italy, 3) construction of a 3-story mixed-use development with 8 DUs (1 affordable) and 4) the construction of a 7,949 square-foot warehouse at 2642-2648 Newton Ave. in Barrio Logan. APPLICANT: Jonathon Segal. LEGAL DESCRIPTION: (Union: The land referred to herein below is situated in the City of San Diego, Lot 8 in Block 33 of Middletown, in the City of San Diego, County of San Diego, State of California, according to partition map thereof made my J.E. Jackson on file in the office of the County Clerk of said San Diego County; Newton: The land referred to herein below is situated in the City of San Diego, County of San Diego, Lots 33 through 38, inclusive in block 12 of Reed and Hubbel's addition, in the City of San Diego, County of San Diego, State of California according to map thereof No. 327 filed in the Office of the recorder of San Diego, June 30, 1886.)

I. PROJECT DESCRIPTION:

See attached Tiered Initial Study.

II. ENVIRONMENTAL SETTING:

See attached Tiered Initial Study.

III. DOCUMENTATION:

The attached Tiered Initial Study documents the reasons to support the above Determination.

IV. MITIGATION, MONITORING AND REPORTING PROGRAM:

**A. GENERAL REQUIREMENTS - PART I Plan Check Phase (prior to permit issuance or Notice to Proceed)**

1. Prior to the issuance Bid Opening/Bid Award or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements have been incorporated.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/information/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

## **B. GENERAL REQUIREMENTS – PART II**

### **Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: **LIST APPROPRIATE MONITORS HERE**

**Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

#### CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
  - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) 694291, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's ED, MMC and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.)

**Note: Permit Holder’s Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

3. **OTHER AGENCY REQUIREMENTS:** Evidence that any other agency requirements or permits have been obtained or are in process shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency. *Not Applicable for this project OR IDENTIFY APPROPRIATE AGENCY PERMITS NEEDED .*
4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.
5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

<b>DOCUMENT SUBMITTAL/INSPECTION CHECKLIST</b>		
<b>Issue Area</b>	<b>Document Submittal</b>	<b>Associated Inspection/ Approvals/Notes</b>
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC ISSUE AREA CONDITIONS/REQUIREMENTS:**

**CULTURAL RESOURCES (ARCHITECTURAL RESOURCES)**

**HIST-1 MONITORING**

1. Preconstruction Meeting [City Historic Resources staff, Developer/Construction Manager (D/CM), Project Architect (PA), Historic Architect & Monitor (HA), Relocation Contractor (RC), General Contractor (GC), Building Inspector (BI)]
  - a. Overview of Treatment Plan and Monitoring Plan as related to the historic resource on Site A

- b. Overview of architectural, landscape, and engineering documents as related to Site B. Also visit Site B.
      - c. Review work required to prepare the site for arrival of the building.
- 2. Preparation of structure for moving (D/CM, HA)
  - a. Architect/Monitor to be present to observe removal of the masonry foundation, chimneys, and front steps. Other items, including disconnection/capping of utility connection, removal of exterior plumbing and electrical lines, removal non- historic porch enclosure, which are required for the relocation, shall be complete prior to the Preconstruction Meeting.
- 3. Pre-Move (D/CM, HA, RC, GC)
  - a. Observe temporary shoring and protection.
  - b. Review storage of salvaged building materials.
  - c. Approve structure as ready for relocation.
  - d. Review preparation work at Site B prior to relocation of building for new footings, foundation, utilities, and site preparation.
- 4. Move to Site B (D/CM, HA, RC, BI)
  - a. Review building relocation. Review overall Treatment Plan for rehabilitation of building as well as architectural, landscape, and engineering documents prior to commencement of relocation.
- 5. Continued Monitoring During Rehabilitation (D/CM, PA, HA, GC)
  - a. Monitoring to occur as required during rehabilitation.
  - b. Complete Consultant Site Visit Record forms, as needed.
  - c. Observe rehabilitation of the building in accordance with the Treatment Plan and approved architectural, landscape, and engineering documents.
- 6. Final Monitoring (D/CM, PA, HA)
  - a. Prepare final punch list of items to complete according to the Treatment Plan and architectural, landscape, and engineering documents.
- 7. Draft Monitoring Report (HA,BI)

- a. Draft report of monitoring process to be submitted to the BI for review following completion of rehabilitation.
- 8. Final Monitoring Report (D/CM, HA, BI)
  - a. Final Monitoring Report, review relevant documents with the BI to confirm compliance with the Site Development Permit following review and acceptance of the Draft Monitoring Report.

**HIST-2            PREPARATION, RELOCATION, & REHABILITATION REQUIREMENTS**

RELOCATION/RESTORATION STRATEGY: Prior to the development of the 1620 Union site the Andrew Cassidy home will be relocated to its new location at 2642 Newton Ave. The main structure will be transported in two pieces. Approximately 8 feet of roof will be removed and transported separately to accommodate overhead MTS trolley lines.

The future tenant of the restored home has not yet been identified however the proposed future use of the building will not change its occupancy classification from residential. The proposed site improvements include the addition of landscaping and new front stoops. Modifications to the Andrew Cassidy Residence shall be in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (The Standards), specifically *The Standards for Restoration*.

PREPARATION, RELOCATION, & RESTORATION REQUIREMENTS:

1. Preparation of the Structure Prior to Relocation:

Coordination Meeting & Monitoring: Prior to the start of any work the Project Architect and Historic Architect / Monitor shall meet on site with the moving contractor to review the scope of demolition, removal, salvage, temporary shoring and relocation. Through the course of all work, the moving contractor shall notify the Historic Architect / Monitor of discovery of any architectural elements on site. The Historic Architect / Monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with *The Secretary of the Interior's Standards for Restoration*.

Construction monitoring shall be provided prior to preparation of the building for relocation. The Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Temporary Shoring: The moving contractor shall provide and maintain necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur after review by the Project Architect. The mover shall outline any proposed points of entry and attachment for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to installation of shoring, catalogued, labeled and securely stored in a weathertight lockable container pending reinstallation at the final site.

Roof: Roofing shingles will be removed and roof 2x4s will be cut approximately 18" above the interior attic floor. The material above 18" will be disposed of. Below the 18" cut line all roofing and structure will remain in tact. The front gable will be disconnected from the attic 2x8 joists and plywood, braced and laid down flat onto the attic floor and secured horizontally for transport.

Windows: All windows shall be protected by ¾" exterior grade plywood prior to relocation installed without causing damage to the existing historic windows, frames, and trim.

Doors: The single existing historic exterior door at the front façade of the building shall be protected in place.

Cast in Place Concrete Foundation: The existing cast in place concrete foundation is non-original and will be demolished after the building relocation.

Chimneys: Prior to Relocation, the historic brick chimney located at the ridge of the gabled roof shall be disassembled above the roofline. Prior to disassembly the chimney shall be measured and photo documented. All documentation will be submitted to the City for review and approval prior to removal of the chimney. The brick shall be catalogued, salvaged and stored for reinstallation at the final site. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather tight lockable steel container that will be located at the relocation site adjacent to the building.

Front Steps and Porch: The front porch, including the porch floor, balustrade, columns, roof, trim, railings, and decorative elements shall be protected in place and securely shored in order to facilitate the structure relocation. The non-original front porch portion to the north of the porch roof will be disassembled and removed.

Rear Porch: The raised wood deck and stairs are non-original and will be demolished prior to relocation.

Side Ramp: The wood side ramp is non-original and and will be demolished prior to relocation.

2. **Relocation Procedures:** The Andrew Cassidy Home will be moved approximately 3.1 miles to its new site location at 2642 Newton Avenue San Diego, CA 92113. The building will be moved in two pieces and Restoration will commence.

The mover shall outline the route, schedule, and sequence of the move as well as the means by which the building will be secured for relocation. The Historic Architect / Monitor and City Staff shall approve the plan prior to the relocation date.

Monitoring: Construction monitoring shall be provided during the relocation process when the building is moved to its new location. Following each site visit, the Monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with The Standards.

3. **Building Restoration:** Following the relocation of the Andrew Cassidy Home, the exterior of the structure will be restored in accordance with The Secretary of the Interior's Standards for Restoration.

The foundation

Construction Monitoring: Periodic construction monitoring shall be provided during the restoration process. Following each site visit, the construction monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with *The Standards*.

Restoration Design: The future restoration of the building shall be completed in accordance with The Standards. The design team shall include the services of a historic architect that meets the Secretary of the Interior's Professional Qualification Standards. The restoration design will require review and approval by the City of San Diego Development Services Department and the Historical Resources Board staff and or Design Assistance Subcommittee.

## **ARCHAEOLOGICAL RESOURCES**

### **I. Prior to Permit Issuance**

#### **A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

#### **B. Letters of Qualification have been submitted to ADD**

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.

3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

**II. Prior to Start of Construction**

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site-specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
  - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
  - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
  - b. The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

**III. During Construction**

**A. Monitor(s) Shall be Present During Grading/Excavation/Trenching**

1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.
2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

**B. Discovery Notification Process**

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

**C. Determination of Significance**

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
  - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
  - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.
  - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

**IV. Discovery of Human Remains**

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

**A. Notification**

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

**B. Isolate discovery site**

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

**C. If Human Remains ARE determined to be Native American**

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.

5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
  - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being granted access to the site, OR;
  - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner shall reinter the human remains and items associated with Native American human remains with appropriate dignity on the property in a location not subject to further and future subsurface disturbance, THEN
  - c. To protect these sites, the landowner shall do one or more of the following:
    - (1) Record the site with the NAHC;
    - (2) Record an open space or conservation easement; or
    - (3) Record a document with the County. The document shall be titled "Notice of Reinterment of Native American Remains" and shall include a legal description of the property, the name of the property owner, and the owner's acknowledged signature, in addition to any other information required by PRC 5097.98. The document shall be indexed as a notice under the name of the owner.

**V. Night and/or Weekend Work**

- A. If night and/or weekend work is included in the contract
  1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  2. The following procedures shall be followed.
    - a. No Discoveries

In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVR and submit to MMC via fax by 8AM of the next business day.
    - b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.

c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

B. If night and/or weekend work becomes necessary during the course of construction

1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
2. The RE, or BI, as appropriate, shall notify MMC immediately.

C. All other procedures described above shall apply, as appropriate.

**VI. Post Construction**

A. Preparation and Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.

- a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.

b. Recording Sites with State of California Department of Parks and Recreation

The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources

Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.

2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
  4. MMC shall provide written verification to the PI of the approved report.
  5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
  2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
  3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
  2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
  3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.

2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

V. PUBLIC REVIEW DISTRIBUTION:

Draft copies or notice of this Tiered Mitigated Negative Declaration were distributed to:

State

State Clearinghouse  
Native American Heritage Commission

City

Central Library  
Development Services  
    EAS  
    Historic Resources  
    Transportation Development  
    Engineering  
    Planning Review  
    Water & Sewer Development  
    Urban Division  
Planning Department  
    Long Range Planning  
Historic Resources Board

Other Interested Organizations, Groups, and Individuals

Barrio Logan Planning Group  
Barrio Station Inc.  
Harborview Community Council  
Downtown San Diego Partnership  
Gaslamp Quarter Council  
Downtown Community Planning Council  
Historical Resources Board  
South Coastal Information Center  
San Diego History Center  
San Diego Archaeological Center  
Save Our Heritage Organization  
San Diego County Archaeological Society, Inc.  
Sierra Club San Diego Chapter  
Carmen Lucas  
Ron Christman  
Clint Linton  
Frank Brown – Inter-Tribal Cultural Resources Council  
Campo Band of Mission Indians

VI. RESULTS OF PUBLIC REVIEW:

- No comments were received during the public input period.
- Comments were received but did not address the accuracy or completeness of the draft environmental document. No response is necessary and the letters are incorporated herein.
- Comments addressing the accuracy or completeness of the draft environmental document were received during the public input period. The letters and responses are incorporated herein.

Copies of the tiered environmental document and associated project-specific technical appendices, if any, may be accessed on the City of San Diego's California Environmental Quality Act (CEQA) webpage at <https://www.sandiego.gov/ceqa>.

  
\_\_\_\_\_  
Jeff Szymanski  
Senior Planner  
Development Services Department

\_\_\_\_\_  
2/7/2022  
Date of Draft Report

\_\_\_\_\_  
Date of Final Report

Analyst: C. Holowach

Attachments:

- Initial Study
- List of Acronyms
- Figure 1
- Figure 2
- Figure 3
- Figure 4

## TIERED INITIAL STUDY CHECKLIST

### 1 INTRODUCTION

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#### 1.1 Tiered Initial Study

Pursuant to Section 15063 of the California Environmental Quality Act (CEQA) Guidelines (Title 14, California Code of Regulations, Sections 15000 et seq.), an Initial Study is a preliminary environmental analysis that is used by the lead agency as a basis for determining whether an EIR, a Mitigated Negative Declaration, or a Negative Declaration is required for a project. The CEQA Guidelines require that an Initial Study contain a project description, description of environmental setting, identification of environmental effects by checklist or other similar form, explanation of environmental effects, discussion of mitigation for significant environmental effects, evaluation of the project's consistency with existing, applicable land use controls, and the name of persons who prepared the study.

#### 1.2 Tiering Process

This environmental analysis is a Tiered Initial Study for the proposed Union/Newton Sites SDP/CDP (referred to as the "proposed project" or "project" throughout this document). This environmental analysis is tiered from the *Complete Communities: Housing Solutions and Mobility Choices Program EIR* in accordance with Sections 15152 and 15168 of the CEQA Guidelines and Public Resources Code Section 21094. The *Complete Communities: Housing Solutions and Mobility Choices Program EIR* was prepared pursuant to Section 15168 of the CEQA Guidelines.

The Complete Communities Housing Solutions (Housing Program) amended the San Diego Municipal Code (SDMC) to implement the Housing Program through the addition of a new division, Chapter 4, Article 3, Division 10, Complete Communities Housing Solutions Regulations. Future development projects that provide affordable housing would be permitted additional square footage and building height that would allow for additional units beyond what is otherwise permitted in the respective base zone, Planned District Ordinance, or Community Plan. In exchange for the additional density, building square-footage, and height, the Housing Program would require projects to provide new community-serving infrastructure improvements through either payment of a fee into a Neighborhood Enhancement Fund or by accommodating a public promenade that meets specified standards outlined in SDMC Section 143.1020 and the supplemental development standards in SDMC Section 143.1025.

The CEQA concept of "tiering" refers to the evaluation of general environmental matters in a broad program-level EIR, with subsequent focused environmental documents for individual projects that implement the program. This environmental document incorporates by reference the discussions in the *Complete Communities: Housing Solutions and Mobility Choices Program EIR* and concentrates on project-specific issues. CEQA and the CEQA Guidelines encourage the use of tiered environmental documents to reduce delays and excessive paperwork in the environmental review process. This is

accomplished in tiered documents by eliminating repetitive analyses of issues that were adequately addressed in the Program EIR and by incorporating those analyses by reference.

Section 15168(d) of the State CEQA Guidelines provides for simplifying the preparation of environmental documents on individual parts of the program by incorporating by reference analyses and discussions that apply to the program as a whole. Where an EIR has been prepared or certified for a program or plan, the environmental review for a later activity consistent with the program or plan should be limited to effects that were not analyzed as significant in the prior EIR or that are susceptible to substantial reduction or avoidance (CEQA Guidelines Section 15152[d]).

### **1.3 Appropriateness of a Tiered Initial Study**

The proposed project would be consistent with the scope of the program as described in the *Complete Communities: Housing Solutions and Mobility Choices Program EIR*. Accordingly, pursuant to Section 15152 of the State CEQA Guidelines, it is appropriate to tier this Initial Study from the *Complete Communities: Housing Solutions and Mobility Choices Program EIR*. This Tiered Initial Study evaluates whether the environmental effects of the proposed project were adequately addressed in the *Complete: Housing Solutions and Mobility Choices Program EIR*. For impacts that were adequately addressed, the Tiered Initial Study provides a cross reference to the relevant discussion in the *Complete Communities: Housing Solutions and Mobility Choices Program EIR*. Project-specific impacts that were not addressed in the *Complete Communities: Housing Solutions and Mobility Choices Program EIR*, are evaluated in detail in this Document. Project-specific mitigation has been identified where required.

**2 PROJECT INFORMATION**

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- 2.1 Project title/Project number: Union/Newton Sites SDP/CDP / 694291
- 2.2 Lead agency name and address: City of San Diego, 1222 First Avenue, MS-501, San Diego, California 92101
- 2.3 Contact person and phone number: Courtney Holowach / (619) 446-5187
- 2.4 Project location: 1620 Union Street San Diego, CA 92101 and 2642-2648 Newton Avenue, San Diego, CA 92104
- 2.5 Project Applicant/Sponsor's name and address: Matthew Segal, 3000 Upas Street, Suite 101, San Diego, CA 92104
- 2.6 General/Community Plan designation: Downton and Barrio Logan
- 2.7 Zoning: CCPD-R and BLPD-SUBD-A
- 2.8 Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement):  
None required

### 3 PROJECT DESCRIPTION

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#### 3.1 Environmental setting and surrounding land uses:

The proposed project is located at 1620 Union Street in the Downtown Community Plan area and 2642-2648 Newton Avenue in the Barrio Logan Community Plan area. The 1620 Union Street site is on the west side of Union Street between West Date and West Cedar streets 2642-2648 Newton Avenue on the north side of Newton Avenue between South 26th and South 27th streets. The zoning for the Union site is CCPD-R and the zoning for the Newton site is BLPD-SUBD-A. The Union site is situated amongst similar residential uses across the street from a hotel. The Newton site currently contains an asphalt storage lot.

#### 3.2 Description of project (Describe the whole action involved, including but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation.):

The Project consists of a Site Development Permit (SDP) for the relocation of a designated historical resource, the Andrew Cassidy Home (Historical Resources Board No. 283), from 1620 Union Street in the Downtown Community Plan area (Council District 3) to 2642-2648 Newton Avenue in the Barrio Logan Community Plan area (Council District 8) and a Coastal Development Permit (CDP) for new construction at 2642-2648 Newton Avenue within the Coastal Overlay Zone. The historic Andrew Cassidy Home was constructed in 1888 and was designated as a historic resource by the City of San Diego in 1990. The project proposes to relocate the Andrew Cassidy Home to the 21,042 square foot receiver site at 2642-2648 Newton Avenue. The receiver site is on the north side of Newton Avenue between South 26th and South 27th streets, which currently contains an industrial storage asphalt lot. Along with the relocation of the historical resource, to the Newton Avenue site the project would also construct a three-story, 33-foot-9-inch-tall mixed-use building containing 14 dwelling units (including two affordable units), and 8,975 square feet of warehouse space.

The front half of the lot along Newton Avenue would contain the historical resource and space for future development or a receiver site for two additional historical resources. The warehouse space is located at the rear half of the lot, with the residential units encapsulating it on the south and west sides. Eight studio units are proposed, five one-bedrooms, and one two-bedroom unit. The proposed mixed-use building is characterized by the use of white/cream stucco with a sand finish, concrete block, and rustic metal panels. A 24-foot curb-cut and driveway is proposed for vehicular access off Newton Avenue and a warehouse vehicle entry is also proposed for access from the rear alley. Proposed public improvements in the right-of-way include upgraded sidewalks and five street trees with tree grates.

Once the historical resource is moved from the 5,013 square foot donor site at 1620 Union Street the project would construct a 24-story, 250-foot tall residential tower development containing 73 dwelling units (including eight affordable units) and 70 parking spaces within a fully-automated parking garage incorporated into levels 1 through 6. The ground level contains the residential lobby and the car elevator of the automated parking garage.

Residential units are contained on levels 2 through 23 and would include ten studio units, 47 one-bedroom units, 15 two-bedroom units, and one three-bedroom unit. The tower is characterized primarily by glazing and board form concrete and accented by metal panels of various colors. Level 24 contains a 600 SF common area roof deck with a rooftop tree. At the ground level in the right-of-way, a ten-foot curb-cut is proposed for vehicular access off Union Street and the sidewalks will be upgraded to be consistent with the Centre City Streetscape Manual for sidewalks in the Little Italy neighborhood.

- 3.3 Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, has consultation begun?

See Section 6.8 of the Initial Study

Note: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21083.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

**4 ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED**

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The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Land Use                                  | <input type="checkbox"/> Air Quality  | <input type="checkbox"/> Biological Resources           |
| <input type="checkbox"/> Energy                                    | <input type="checkbox"/> Geology, Soils, and Seismicity                                       | <input type="checkbox"/> Greenhouse Gas Emissions       |
| <input type="checkbox"/> Health and Safety                         | <input checked="" type="checkbox"/> Historical, Archaeological, and Tribal Cultural Resources | <input type="checkbox"/> Hydrology/Water Quality        |
| <input type="checkbox"/> Noise                                     | <input type="checkbox"/> Paleontological Resources  | <input type="checkbox"/> Public Services and Facilities |
| <input type="checkbox"/> Public Utilities and Infrastructure       | <input type="checkbox"/> Transportation   | <input type="checkbox"/> Wildfire                       |
| <input type="checkbox"/> Visual Effects and Neighborhood Character | <input type="checkbox"/> Mandatory Findings of Significance                                   |   |

**5 DETERMINATION** (To be completed by Lead Agency)

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On the basis of this initial evaluation:

- The proposed project COULD NOT have a significant effect on the environment, and a TIERED NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A TIERED MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and a (SUBSEQUENT/SUPPLEMENTAL) ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (a) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (b) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. A (SUBSEQUENT/SUPPLEMENTAL) ENVIRONMENTAL IMPACT REPORT is required but must analyze only the effects that remain to be addressed.

## 6 EVALUATION OF ENVIRONMENTAL IMPACTS

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The City of San Diego has defined the column headings in the Tiered Initial Study Checklist as follows:

1. "Potentially Significant Impact" is appropriate if there is substantial evidence that the project's effect may be significant. If there is one or more "Potentially Significant Impact" entries a Project EIR will be prepared.
2. "Project Impact Adequately Addressed in PEIR" applies where the potential impacts of the proposed project were adequately addressed in the *Complete Communities: Housing Solutions and Mobility Choices Program EIR* Mitigation Measures, as specified in the analysis, will mitigate any impacts of the proposed project to the extent feasible. The potential impact of the proposed project is adequately addressed in the *Complete Communities: Housing Solutions and Mobility Choices Program EIR*. The impact analysis in this document summarizes and cross references (including section/page numbers) the relevant analysis in the *Complete Communities: Housing Solutions and Mobility Choices Program EIR*.
3. "Less Than Significant with Project-level Mitigation Incorporated" applies where the incorporation of project-specific mitigation measures will reduce an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." All project-specific mitigation measures must be described, including a brief explanation of how the measures reduce the effect to a less than significant level.
4. "Less Than Significant Impact" applies where the project will not result in any significant effects. The effects may or may not have been discussed in the *Complete Communities: Housing Solutions and Mobility Choices Program EIR*. The project impact is less than significant without the incorporation of project-specific mitigation.
5. "No Impact" applies where a project would not result in any impact in the category in question or the category simply does not apply. "No Impact" answers do not require an explanation if they are adequately supported by the information sources cited by the lead agency which show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
6. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
7. The discussion in each issue should include the following:
  - Discussion of *Complete Communities: Housing Solutions and Mobility Choices Program EIR* impact (direct and cumulative) conclusions
  - Discussion of potential project impacts
  - Additional project-level mitigation measures
  - Significance determination after all mitigation
8. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
9. Supporting Information Sources: A source list should be attached, and other sources utilized, or individuals contacted should be cited in the discussion.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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**6.1. LAND USE – Would the project:**

Issue 1: Cause a significant environmental impact due to a conflict with any land use plan, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

Complete Communities PEIR

The PEIR determined land use designations and policies associated with the Complete Communities Housing Solutions and Mobility Choices Program are consistent with the City’s overarching policy and regulatory documents including the General Plan and SDMC. Additionally, the PEIR is consistent with applicable goals objectives, or guidelines of the General Plan and other applicable plans and regulations and impacts would be less than significant.

Project

The Downtown Community Plan identifies the donor site for residential uses and the receiving site as residential. Relocating the Andrew Cassidy Home from the donor site to the receiving site is consistent with both Community Plans. The General Plan identifies both sites as residential, and the relocation of a single-family home and the development of 87 dwelling units is consistent with that designation. No impacts would result.

Project Cumulative

As discussed above proposed project is consistent with the land use designations of the underlying community plans. No impacts would result as result of the implementation of the project. Based upon the above analysis and information, there is no evidence that the proposed project would have any cumulative effects related to impacts due to a conflict with any land use plan, or regulation adopted for the purpose of avoiding or mitigating an environmental effect.

Issue 2: Lead to the development or conversion of General Plan or community designated open space or prime farmland to a more intensive land use, resulting in a physical division of the community?

Complete Communities PEIR

The Complete Communities PEIR determined that the project areas do not contain land designated as Prime Farmland. Further, the PEIR did not include the development or redesignation of open space; therefore, there would be no impacts associated with the development or conversion of

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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General Plan- or community plan-designated Open Space or Prime Farmland, and the impacts would, therefore, be less than significant.

Project

Both project sites are located in fully developed urban environments and are surrounded by existing buildings and streets. Neither project site contains community designated open space or prime farmland. Agricultural land is not present on the sites or in the general vicinity. No impact would result.

Project Cumulative

As discussed above the proposed project sites do not contain community designated open space or prime farmland. Agricultural lands are not present on the sites or in the general vicinity. Based on the above analysis and information, there is no evidence that the proposed project would cause a cumulative impact of development or conversion of General Plan or community designated open space or prime farmland to a more intensive land use, resulting in a physical division of the community.

Issue 3: Result in land uses which are not compatible with an adopted airport land use compatibility plan?

Complete Communities PEIR

The Complete Communities PEIR determined that implementation of the Complete Communities program would not result in impacts associated with existing ALUCPs, because future development would continue to be limited by airport land use compatibility policies and regulations. Until the policies of the SDIA and NOLF Imperial Beach ALUCPs are incorporated into the City's ALUCOZ, future multi-family development within TPAs located within SDIA or NOLF Imperial Beach AIA Review Area 1 will be subject to ALUC review of the development's consistency with ALUCP policies for all compatibility factors; projects within AIA Review Area 2 for these airports will be subject to review for all compatibility factors; projects within AIA Review Area 2 for these airports will be subject to review against overflight and airspace projection policies and may require FAA notification (if the proposed development project's maximum height exceeds the FAA's Part 77 Notification Surface) and/or recordation of an aviation easement subject to the City's AAOZ and Airport Environs Overlay Zone, which provides supplemental regulations for property surrounding SDIA. After incorporation of the policies of the SDIA and NOLF Imperial Beach ALUCPs into the ALUCOZ, development allowed by the proposed project will be subject to the requirements of the ALUCOZ.

Future development allowed under the proposed project within the AIAs for Brown Field, Montgomery Field, and MCAS Miramar will be subject to the regulations of the ALUCOS, which implements the policies of the applicable ALUCP's regarding noise, safety, airspace protection, and aircraft overflight. As a result, the proposed project would not result in land uses that are incompatible with an adopted ALUCP.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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The PEIR determined that the proposed project would be consistent with and assist with implementation of the General Plan City of Villages strategy. It is possible that additional project areas may be able to take advantage of the Housing Program if future zoning changes permit development of multi-family residential uses in additional areas within TPAs. If TPA boundaries change or are expanded, additional project areas with residential or commercial zoning that currently permit multi-family residential uses could be allowed to use the proposed program benefits in exchange for providing affordable housing and neighborhood-serving infrastructure amenities. Furthermore, as future community plans are updated, additional land use changes would occur. As discussed herein, application of the Housing Program would be consistent with all City plans and regulations including the Coastal Act. Any future community plan and/or rezone would be required to be evaluated for consistency with applicable plans. Future development both within the project areas and development beyond the project areas would be required to demonstrate consistency with applicable regulations such as the ESL Regulations and airport land use compatibility policies and regulations. Any future development within the project areas that is identified to encroach into ESL would be subject to review in accordance with the ESL Regulations (LDC Section 143.0101 et seq.). Based on the compatibility of the proposed project with the General Plan policy framework and other applicable land use plans and regulations, cumulative land use compatibility impacts would be less than significant. Therefore, impacts would be less than significant.

Project

The basic function of the ALUCPs (Or compatibility Plans) are to promote compatibility between airports and the land uses surrounding them to the extent that these areas are not already devoted to incompatible uses. With limited exception, California law requires a compatibility plan for each public-use and military airport in the state. Most counties have established an airport land use commission (ALUC), as provided for by law, to prepare comparability plans for the airports that county and to review land use plans and development proposal, as well as certain airport development plans, for consistency with the comparability plans. In San Diego County, the ALUC function rests with the San Diego County Regional Airport Authority (SDCRAA), as provided in Section 21670.3 of the California Public Utilities Code.

Neither project site is within an ALUCP. No impacts would occur.

Project Cumulative

The Complete Communities PEIR determined that implementation of the Complete Communities program would not result in impacts associated with existing ALUCPs, because future development would continue to be limited by airport land use compatibility policies and regulations. Based upon the above analysis, the proposed project would not result in any cumulative land uses which are not compatible with an adopted airport land use compatibility plan.

**6.2. AIR QUALITY: Would the project:**

Issue 1: Conflict with or obstruct implementation of the applicable air quality plan?

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Complete Communities PEIR

The Complete Communities PEIR determined that the CCAA requires air basins that are designated nonattainment of the CAAQs for criteria pollutants prepare and implement plans to attain the standards by the earlier practicable dates. The two pollutants addressed in the San Diego SIP and RAQs are reactive organic gas (ROG) and oxides of nitrogen (NOx), which are precursors to the formation of ozone (O3). The SIP and the RAQS, which in conjunction with the TCMs were most recently i[dated in 2016, serve as the air quality plans of the SDAB.

The basis for the SIP and RAQS is the distribution of population in the region as projected by SANDAG. The SDAPCD refers to approved general plans to forecast, inventory, and allocate regional emissions from land use and development-related sources. These emissions budgets are used in statewide air quality attainment planning efforts. As such, projects that proposed development at an intensity equal to or less than the population growth projects and land use intensity described in their located land use plans are inherently consistent.

The Housing Program is intended to incentivize high-density multi-family residential development where affordable housing and community-serving amenities are provided within TPAs. The proposed Housing Program could result in a redistribution of the density that was evaluated within recent community plan update (CPU) Environmental Impact Reports (EIRs). Densities could shift to focus more within TPAs, but it is not anticipated to exceed overall CPU densities that were evaluated in the respective CPU EIRs. However, in project areas within communities that have not undergone a recent comprehensive4 CPR, it is possible that the proposed Housing Program could result in additional new development.

Recent CPU EIRs recognized that as the community plans were updated, newly designated land uses would be forwarded to SANDAG for inclusion in future updates to the air quality plans for the SDAB. The current SUP and RAQs were last updated in 2016 and are intended to be updated on a three-year cycle. Therefore, densities with community plans adopted after 2016 would be reflected in the current air quality plans. Additional density allowed with communities without a recent comprehensive CPU would also not be reflected in the air quality plans. Thus, the implementation of the Housing Program could result in a significant impact due to conflicts with the land use assumptions used to develop current RAQs and SIP.

Project

The Union and Newton project sites are located in the San Diego Air Basin (SDAB) and are under the jurisdiction of the San Diego Air Pollution Control District (SDAPCD) and the California Air Resources Board (CARB). Both the State of California and the Federal government have established health-based Ambient Air Quality Standards (AAQS) for the following six criteria pollutants: carbon monoxide (CO); ozone (O3); nitrogen oxides (NOx); sulfur oxides (SOx); particulate matter up to 10 microns in diameter (PM10); and lead (Pb). O3 (smog) is formed by a photochemical reaction between NOx and reactive organic compounds (ROCs). Thus, impacts from O3 are assessed by evaluating impacts from NOx and ROCs. A new increase in pollutant emissions determines the

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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impact on regional air quality as a result of a proposed project. The results also allow the local government to determine whether a proposed project would deter the region from achieving the goal of reducing pollutants in accordance with the Air Quality Management Plan (AQMP) in order to comply with Federal and State AAQS.

The SDAPCD and San Diego Association of Governments (SANDAG) are responsible for developing and implementing the clean air plan for attainment and maintenance of the ambient air quality standards in the SDAB. The County Regional Air Quality Strategy (RAQS) was initially adopted in 1991, and is updated on a triennial basis (most recently in 2016). The RAQS outlines the SDAPCD's plans and control measures designed to attain the state air quality standards for ozone (O3). The RAQS relies on information from the CARB and SANDAG, including mobile and area source emissions, as well as information regarding projected growth in San Diego County and the cities in the county, to project future emissions and then determine the strategies necessary for the reduction of emissions through regulatory controls. CARB mobile source emission projections and SANDAG growth projections are based on population, vehicle trends, and land use plans developed by San Diego County and the cities in the county as part of the development of their general plans.

The RAQS relies on SANDAG growth projections based on population, vehicle trends, and land use plans developed by the cities and by the county as part of the development of their general plans. As such, projects that propose development that is consistent with the growth anticipated by local plans would be consistent with the RAQS. However, if a project proposes development that is greater than that anticipated in the local plan and SANDAG's growth projections, the project might be in conflict with the RAQS and may contribute to a potentially significant cumulative impact on air quality. The proposed project would not create a substantial increase in air pollutants. The proposed project would relocate an existing single-family home 4.5 miles south of its current location and provide exterior rehabilitation of the structure. The proposed project also would construct a 24-story residential tower with 73 dwelling units, a three-story, 33-foot-9-inch-tall mixed-use building containing 14 dwelling units, and 8,975 square foot of warehouse space. The project is consistent with the General Plan, Community Plan, and the underlying zone. Therefore, the project would be consistent at a sub-regional level with the underlying growth forecasts in the RAQS and would not obstruct implementation of the RAQS. No impact would result.

Project Cumulative

The proposed project would not result in cumulative air quality impacts. The project is consistent with the General Plan, Community Plan, and the underlying zone. Therefore, the project would be consistent at a sub-regional level with the underlying growth forecasts in the RAQS and would not obstruct implementation of the RAQS. No impact would result.

Issue 2: Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

Complete Communities PEIR

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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In reviewing recent comprehensive CPU FEIR analysis related to operational emissions, generally, where CPUs would result in additional density beyond the prior plan, operational emission impacts were found to be significant and unavoidable. Where densities proposed were the same as or below the existing plan buildout densities, impacts were found to be less than significant.

For purposes of analyzing potential operational emissions, it is assumed that development under the Housing Program could exceed emissions levels compared to existing plans as the Housing Program could increase multi-family residential densities within the Housing Program project areas.

The primary source of operational emissions resulting from residential development is vehicle emissions. While the proposed project could increase multi-family residential densities within Housing Program project areas; the redistribution of density to focus within TPAs would provide a more efficient land use pattern that will support a reduction in vehicle miles traveled (VMT) and associated operational air emissions. Additionally, high density residential development generally would result in less area source emissions associated with fireplaces and landscape equipment.

However, the Complete Communities project spans multiple community planning areas, including areas without recently adopted community plans. As the Housing Program could increase operational emissions within communities without recently adopted CPUs and would redistribute density within communities with recently adopted CPUs, it is possible that operational air emissions could be in excess of what was evaluated in the community plan EIRs completed for all of the project areas.

Thus, at this programmatic level of review, and without project-specific development plans, operational emissions impacts resulting from development under the Housing Program would be significant.

Project

Short Term (Construction) Emissions

Project construction activities could potentially generate combustion emissions from on-site heavy-duty construction vehicles and motor vehicles transporting the construction crew, and necessary construction materials. Exhaust emissions generated by construction activities would generally result from the use of typical construction equipment that may include excavation equipment, forklift, skip loader, and/or dump truck. Variables that factor into the total construction emissions potentially generated include the level of activity, length of construction period, number of pieces and types of equipment in use, site characteristics, weather conditions, number of construction personnel, and the amount of materials to be transported on- or off-site. It is anticipated that construction equipment would be used on-site for four to eight hours per day; however, construction would be short-term (approximately five months from initiation of relocation efforts until the Jones House is fully relocated, settled, and restored) and impacts to neighboring uses would be minimal and temporary. Excavation, grading, and relocation activities can cause fugitive dust emissions. Construction of the project would be subject to standard measures required by a

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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City of San Diego grading permit to reduce potential air quality impacts to less than significant. These measures include, but are not limited to, compliance with SDMC 142.0710, which prohibits airborne contaminants from emanating beyond the boundaries of the premises upon which the use emitting the contaminants is located. Some example measures are watering three times daily, reducing vehicle speeds to 15 miles per hour on unpaved or use architectural coatings that comply with San Diego Air Pollution Control District Rule 67.0 [i.e., architectural coatings that meet a volatile organic compounds (VOC) content of 100 grams per liter (g/l) for interior painting and 150 g/l for exterior painting] would be used during construction. Therefore, impacts associated with fugitive dust are considered less than significant and would not violate s air quality standard and would not contribute substantially to an existing or projected air quality violation. No mitigation measures are required.

Long-Term (Operational) Emissions

There would be no operational emissions associated with the proposed project. The project would not violate any air quality standard or contribute substantially to an existing or projected air quality violation. No operational impacts would result.

Project Cumulative

The proposed project would not result in cumulative impacts for any criteria pollutant. The project would not violate any air quality standard or contribute substantially to an existing or projected air quality violation. No operational impacts would result.

Issue 3: Expose sensitive receptors to substantial pollutant concentrations?                             

Complete Communities PEIR

The Complete Communities PEIR determined that the Housing Program would allow for increased height and square footage, and thus increased density, within TPAs for multi-family residential projects that meet all of the requirements of the ordinance, these projects could increase intersection volumes beyond what was evaluated in recent CPUs. While it is not reasonably foreseeable that the potential increase in intersection volumes could exceed the 31,600 vehicle-screening threshold based on the fact that projected volumes from the recent CPU EIRs have not exceeded the threshold, other communities, including communities within the project areas without a recent CPU, could have intersections with volumes approaching the screening threshold. As the Housing Program would allow for ministerial approval of multifamily residential developments, future projects would not be required to perform dispersion modeling to determine the potential for CO hot spots. It is possible that increased congestion within TPAs resulting from development under the Housing Program could increase volumes and delays at intersections, and could experience 31,600 vehicles per hour or more, resulting in a potentially significant impact related to localized CO hot spots.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project

As described above, construction operations could temporarily increase the emissions of dust and other pollutants. However, construction emissions would be temporary and short-term in duration; implementation of Best Management Practices (BMPs) would reduce potential impacts related to construction activities to a less than significant level. Based on the estimated operational emissions, the project would not exceed any screening-level criteria. Therefore, the project would not result in the exposure of sensitive receptors to substantial pollutant concentrations. Impacts would be less than significant.

Project Cumulative

The proposed project would not result in any cumulative impacts of exposing sensitive receptors substantial pollutant concentrations. Based on the estimated operational emissions, the project would not exceed any screening-level criteria. Therefore, the project would not result in the exposure of sensitive receptors to substantial pollutant concentrations. Impacts would be less than significant.

Issue 4: Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

Complete Communities PEIR

The Complete Communities PEIR determined facilities that generate objectionable odors typically include wastewater treatments plants, landfills, and paint/coating operations (e.g., auto body shops), among others. The proposed project Housing Program would facilitate the development of high-density multi-family residential development, as well as associated infrastructure improvements. These uses are not expected to result in objectionable odors. Impacts would be less than significant.

Project

Short-term (Construction)

Odors would be generated from vehicles and/or equipment exhaust emissions during construction of the project. Odors produced during construction would be attributable to concentrations of unburned hydrocarbons from tailpipes of construction equipment and architectural coatings. Such odors are temporary and generally occur at magnitudes that would not affect a substantial number of people. Therefore, impacts would be less than significant.

Long-term (Operational)

Residential dwelling units, in the long-term operation, are not uses typically associated with the creation of such odors nor are they anticipated to generate odors affecting a substantial number or

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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people. The Newton site does contain warehouse space but this type of use is not typically associated with the creation of odors. Therefore, project operations would result in less than significant impacts.

Project Cumulative

As discussed above the proposed project would not result in short- or long-term impacts related to odors. Therefore, there would be no cumulative impacts related to odors.

**6.3. BIOLOGICAL RESOURCES – Would the project:**

Issue 1: Result in a substantial adverse impact, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in the Multiple Species Conservation Program or other local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

Complete Communities PEIR

The Complete Communities PEIR determined that proposed Housing Program is intended to facilitate and streamline multi-family development within the project areas by allowing such development to occur ministerially, subject to the requirements of the proposed ordinance and other applicable regulatory requirements. While the Housing Program would allow ministerial multi-family development within TPAs and incentivize housing within existing Mobility Zones 1, 2, and 32, some project areas may support sensitive species as shown in Figure 4.3-1, and summarized in Table 4.3-1. Of these sensitive habitats, approximately 605 acres are located within lands designated as ESL, including lands within the MHPA.

Future ministerial development within the project areas would be reviewed by City staff as part of the intake process to determine the presence of ESL, which would include sensitive habitats that may support sensitive species (LDM, Project Submittal Requirements, Section 1). If the presence of ESL is unclear, City staff would request evidence to confirm the presence or absence of ESL. If ESL is present and would be impacted by the proposed project, the project would no longer be processed ministerially and would be required to obtain a discretionary permit as detailed in SDMC Table 143-01A, Applicability of Environmentally Sensitive Lands Regulations. This process would ensure that potentially sensitive habitats would be reviewed in accordance with ESL Regulations, the City’s Biology Guidelines, and the provisions of the MSCP. Development under the Housing Program on sites with ESL that are processed with a Site Development Permit could result in significant impacts to sensitive species. While the discretionary review process would generally ensure impacts would be mitigated to less than significant, it cannot be ensured at this program level of review whether all impacts could be fully mitigated. Thus, impacts associated with potential future discretionary development under the Housing Program would be significant.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project

Both project sites are fully developed within an urbanized area. No native habitat is located on or adjacent to either site. As such, the proposed project would not directly or through habitat modification effect any species identified as a candidate, sensitive, or special statues species in local or regional plans, policies, or regulations, or by CDFW or USFW. Additionally, the project sites are located outside the City’s Multi-Habitat Preservation Area (MHPA). No impacts would occur.

Project Cumulative

The proposed project would not result in any cumulative impacts related to biological resources. Both project sites are fully developed within an urbanized area. No native habitat is located on or adjacent to either site. No impacts would occur.

Issue 2: Result in a substantial adverse impact on any Tier I Habitats, Tier II Habitats, Tier IIIA Habitats, or Tier IIIB Habitats as identified in the Biology Guidelines of the Land Development Manual or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?

Complete Communities PEIR

The Complete Communities PEIR determined that implementation of the project could impact sensitive habitats. Pursuant to the ESL Regulations, ministerial projects would be reviewed for the presence of ESL. If the development area is determined to support ESL, the project would not be processed ministerially and would instead be required to undergo a discretionary permit process in accordance with ESL Regulations, the City’s Biology Guidelines, and the provisions of the MSCP and VPHCP. Thus, with implementation of existing regulatory protections for biological resources, impacts to sensitive habitats resulting from future ministerial development within the project areas would be less than significant. However, at this program level of review, impacts associated with potential future discretionary development under the proposed project would be significant.

Project

Refer to Issue 6.3.1 above. The proposed project would not directly or indirectly impact any riparian habitat or other plant community.

Project Cumulative

The proposed project would not result in any cumulative impacts resulting in a substantial adverse impacts on Tier I Habitats, Tier II Habitats, Tier IIIA Habitats, or Tier IIIB Habitats as identified in the

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Biology Guidelines of the Land Development Manual or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. The project would not directly or indirectly impact any riparian habitat or other plant community. Impacts would be less than significant.

Issue 3: Result in a substantial adverse effect on federally protected wetlands (including but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

Complete Communities PEIR

The Complete Communities PEIR determined that implementation of the proposed project would not likely impact wetlands, as areas where this habitat occurs would remain within open space and/or the MHPA. However, like other ESL, should wetland habitat be identified through project intake screening, it would not be processed ministerially, but would undergo a discretionary permit process in accordance with City and wildlife agency regulatory requirements. Thus, with implementation of existing regulatory protections for biological resources, impacts to wetlands resulting from future ministerial development within the project areas would be less than significant. However, where a discretionary review process is required consistent with the ESL Regulations, it cannot be ensured that all impacts can be fully mitigated at a program level of analysis. Impacts associated with potential future discretionary development under the proposed project would be significant.

Project

The project sites are fully developed and do not contain any Federally-protected wetlands as defined by Section 404 of the Clean Water Act. Also, please refer to response to Issue 6.3.1 above. No impact would occur.

Project Cumulative

The proposed project would not result cumulative impacts in a substantial adverse effect on federally protected wetlands (including but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means. The project sites are fully developed and do not contain any Federally-protected wetlands as defined by Section 404 of the Clean Water Act. Also, please refer to response to Issue 6.3.1 above. No impact would occur.

Issue 4: Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Complete Communities PEIR

The Complete Communities PEIR determined that impacts to wildlife corridors and nursery sites would be avoided through compliance with the MSCP and compliance with protections afforded to MHPA and MHPA-adjacent lands. Thus, through adherence to the existing regulatory framework in place, potential impacts to wildlife corridor and nursery sites would be less than significant.

Project

No formal and/or informal wildlife corridors are located on or near the project sites, as the sites are located within a fully urbanized area. Also, refer to Issue 1, above. No impacts would result.

Project Cumulative

Based upon the above discussion, the proposed project would not have cumulative impacts to wildlife corridors and nursery sites.

Issue 5: Result in a conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan, either within the Multiple Species Conservation Program (MSCP) plan area or in the surrounding region?

Complete Communities PEIR

The Complete Communities PERI determined that project areas located within MHPA and VPHCP preserve lands would be subject to the ESL Regulations which would ensure no conflicts would occur in relation to the MSCP Subarea Plan or VPHCP. Additionally, development adjacent to MHPA and VPHCP preserve lands would be subject to the Land Use Adjacency Guidelines in MSCP Subarea Plan Section 1.4.3 and Avoidance and Minimization Measures VPHCP Section 5.2.1. Thus, impacts related to conflicts with the MSCP Subarea Plan and VPHCP would be less than significant.

Project

Refer to Issue one above. The proposed project is not located within the MHPA. The project would not conflict with the provisions of the MSCP. No impact would result.

Project Cumulative

Based upon the above discussion, the proposed project would not have cumulative to impacts resulting in a conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan,

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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either within the Multiple Species Conservation Program (MSCP) plan are or in the surrounding region.

Issue 6: Result in a conflict with the provisions of an any local policies or ordinances protecting biological resources?	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
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Complete Communities PEIR

The Complete Communities PEIR determined that the proposed project would be consistent with ESL Regulations. No conflicts with the MSCP Subarea Plan and/or VPHCP were identified. Impacts related to conflicts with local policies or ordinances protecting biological resources would be less than significant.

Project

Refer to Issue 1 above. The project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Project Cumulative

Based upon the above analysis, the proposed project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. No cumulative impacts would occur.

**6.4. ENERGY – Would the project:**

Issue 1: Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Complete Communities PEIR

The Complete Communities PEIR determined that the long-term implementation of the proposed project would not create a land use pattern that would result in a wasteful, inefficient, or unnecessary use of energy. Impacts would be less than significant.

Project

The proposed project would be required to meet energy standards of the current California Energy Code (Title 24). In addition, the proposed project would be conditioned to meet building design measures per City code that incorporate energy conservation features (window treatments, efficient

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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HVAC systems etc.). the project would also be required to implement CAP strategies which are energy reducing (cool roof, etc.). Less than significant impact.

Project Cumulative

Based upon the above analysis, the proposed project would not result in cumulative impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation.

Issue 2: Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?                             

Complete Communities PEIR

The Complete Communities PEIR determined that future development implemented under the Housing Program, at a minimum, would be required to meet the mandatory energy requirements of CALGreen and the Energy Code (Title 24, Part 6 of the CCR) in effect at the time of development and would benefit from the efficiencies associated with these regulations as they relate to building heating, ventilating, and air conditioning mechanical systems, water heating systems, and lighting. Additionally, rebate and incentive programs that promote the installation and use of energy-efficient plug-in appliances and lighting would be available as incentives for future development. Adherence to mandatory energy requirements and regulations would help to meet targeted energy goals. Transportation infrastructure and improvements associated with implementation of the Mobility Choices Program would not conflict with any state or local plan for renewable energy or energy efficiency. Therefore, impacts would be less than significant.

Future projects resulting from implementation of the proposed project could contribute to cumulative impacts related to energy. However, all future development within the project areas would be subject to existing building and energy code regulations in place at the time of development. Other regulations that affect energy consumption described in Section 4.4.2 would continue to be implemented over time. As the Housing Program would support a more energy efficient land use pattern that promotes transit use, it would not contribute to a cumulative impact related to energy. Transportation infrastructure and amenities developed per the Mobility Choices Program would also not use excessive amounts of energy and would not contribute to a cumulative impact related to energy. Thus, cumulative impacts would be less than significant.

Project

The proposed project is consistent with the General Plan and Community Plan land use designations. Please refer to Energy, Issue 6.4.1 above.

Project Cumulative

The proposed project would not result in cumulative impacts relating to a conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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**6.5. GEOLOGY/SOILS/SEISMICITY – Would the project:**

Issue 1: Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault, strong seismic ground shaking, seismic-related ground failure, including liquefaction, or landslides?

Complete Communities PEIR

Implementation of the proposed project would not have direct or indirect significant environmental impacts in regard to seismic hazards because future development would be required to comply with the SDMC and CBC. This regulatory framework includes a requirement for site-specific geotechnical investigations to identify potential geologic hazards or concerns that would need to be addressed during grading and/or construction of a specific development project. Adherence to the SDMC grading regulations and construction requirements and implementation of recommendations contained within required site-specific geotechnical studies would preclude significant impacts related to seismic hazards. Thus, impacts would be less than significant.

Project

The proposed project sites could be affected by seismic activity as a result of earthquakes on major active faults located throughout the Southern California area. The project would utilize proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, in order to ensure that potential impacts from regional geologic hazards would remain less than significant and mitigation is not required.

Project Cumulative

The proposed project would not result in any cumulative impacts that would expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault, strong seismic ground shaking, seismic-related ground failure, including liquefaction, or landslides.

Issue 2: Result in substantial soil erosion or the loss of topsoil?

Complete Communities PEIR

Implementation of the proposed project would result in less than significant impacts related to erosion and loss of topsoil. SDMC regulations prohibit sediment and pollutants from leaving the worksite and require the property owner to implement and maintain temporary and permanent

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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erosion, sedimentation, and water pollution control measures. Conformance to mandated City grading requirements would ensure that proposed grading and construction operations would avoid significant soil erosion impacts. Thus, impacts would be less than significant.

Project

The project includes a landscape plan for each location that has been reviewed and approved by City staff that precludes erosion of topsoil. In addition, standard construction BMPs necessary to comply with SDMC Grading Regulations (Chapter 14, Article 2, Division 1) would be in place to ensure that the project would not result in a substantial amount of topsoil erosion. Impacts would be less than significant.

Project Cumulative

Demolition and construction activities would temporarily expose soils to increase erosion potential. The project would be required to comply with the City's Storm Water Standards, which requires the implementation of appropriate best management practices (BMPs). Grading activities would be required to comply with the City of San Diego Grading Ordinance as well as the Storm Water Standards, which would ensure soil erosion and topsoil loss is minimized to less than significant levels. Furthermore, permanent storm water BMPs would also be required post-construction consistent with the City's regulations. Therefore, the project would not result in substantial soils erosion or loss of topsoil; therefore, impacts including cumulative would be less than significant.

Issue 3: Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

Complete Communities PEIR

The Complete Communities PEIR determined that the implementation of the proposed project would not result in impacts related to landslides, lateral spreading, subsidence, liquefaction, or collapse. Future development within the project areas would be required to be constructed in accordance with the SDMC and CBC and would be required to prepare a site-specific geotechnical report and implement any recommendations within the report. Thus, impacts would be less than significant.

Project

Proper engineering design and utilization of standard construction practices would be verified at the construction permitting stage and would ensure that impacts in this category would not occur.

Project Cumulative

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Proper engineering design and utilization of standard construction practices would be verified at the construction permitting stage and would ensure that impacts in this category would not occur. The proposed project would not result in cumulative impacts in this issue area.

Issue 4: Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Complete Communities PEIR

The Complete Communities PEIR determined that the SDMC requires a geotechnical investigation prior to issuance of a building permit. If expansive soils are found at a particular project site within the project areas, the project would need to comply with both CBC and SDMC requirements. Compliance with existing regulations would ensure that impacts associated with expansive soils are reduced to less than significant.

Project

The proposed project is located on Olivenhain cobbly loam soil. This soil is not defined as expansive. No impacts would occur. Furthermore, proper engineering design and utilization of standard construction practices would be verified at the construction permitting stage and would ensure that impacts in this category would not occur.

Project Cumulative

The proposed project is not located on an expansive soil. Therefore, there are no cumulative impacts anticipated.

**6.6. GREENHOUSE GAS EMISSIONS - Would the project:**

Issue 1: Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Complete Communities PEIR

The Complete Communities PEIR determined that the proposed project would be consistent with the General Plan’s City of Villages strategy, and the City’s CAP by incentivizing the development of multi-family residential as well as other land uses to support the multi-family residential densities within TPAs and Mobility Zones 1, 2, and 32. The proposed project is intended to support the City in achieving CAP goals by supporting and incentivizing future development that will reduce GHG emissions, primarily through reductions in VMT. The proposed project would support the City in obtaining citywide GHG emissions reduction targets under the CAP. Impacts related to GHG emissions would be less than significant.

Project

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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On July 12, 2016, the City of San Diego adopted the Climate Action Plan (CAP) Consistency Checklist, which requires all projects subject to discretionary review to demonstrate consistency with the Climate Action Plan.

The CAP is a plan for the reduction of GHG emissions in accordance with CEQA Guidelines Section 15183.5. Pursuant to CEQA Guidelines Sections 15604 (h) (3), 15130 (d), and 15183 (b), a project's incremental contribution to a cumulative GHG emissions effect may be determined not to be cumulatively considerable if it complies with the requirements of the CAP.

Projects that are consistent with the CAP as determined through the use of this Checklist may rely on the CAP for the cumulative impacts of GHG emissions.

The submitted Climate Action Plan (CAP) Consistency Checklist was reviewed by EAS staff and found to be acceptable. The CAP Consistency Checklist includes a three-step process to determine project the project would result in a GHG impact. Step 1 consists of an evaluation to determine the project's consistency with existing General Plan, Community Plan, and zoning designations for the site. Step 2 consists of an evaluation of the project's design features compliance with the CAP strategies. Step 3 is only applicable if a project is not consistent with the land use and/or zone, but is also in a transit priority area to allow for more intensive development than assumed in the CAP.

Under Step 1 of the CAP Consistency Checklist, the project is consistent with the existing General Plan and Downtown and Barrio Logan Community Plan land use designations and zoning for the site. Therefore, the project is consistent with the growth projections and land use assumptions used in the CAP. Furthermore, completion of Step 2 of the CAP Consistency Checklist demonstrates that the project would be consistent with applicable strategies and actions for reducing GHG emissions. This includes project features consistent with the energy and water efficient buildings strategy, as well as bicycling, walking, transit, and land use strategy. These project features would be assured as a condition of project Approval. Thus, the project is consistent with the CAP. Step 3 of the CAP Consistency Checklist would not be applicable, as the project is not proposing a land use amendment or a rezone.

Based on the project's consistency with the City's CAP Consistency Checklist, the project's contribution of GHGs to cumulative statewide emissions would be less than cumulatively considerable. Therefore, the project's direct and cumulative GHG emissions would have a less than significant impact on the environment.

*Project Cumulative*

Based on the project's consistency with the City's CAP Consistency Checklist, the project's contribution of GHGs to cumulative statewide emissions would be less than cumulatively considerable. Therefore, the project's direct and cumulative GHG emissions would have a less than significant impact on the environment.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
Issue 2: Conflict with City's Climate Action Plan or another applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Complete Communities PEIR

The Complete Communities PEIR determined that future development under the proposed project would be consistent with state plans, SANDAG's San Diego Forward, the City's General Plan, and the City's CAP. Impacts associated with applicable GHG emission reduction plans would be less than significant.

Project

The project would not conflict with an applicable plan, policy, or regulation adopted for the purposes of reducing the emissions of GHGs. The project is consistent with the existing General Plan and Community Plan land use and zoning designations. Further based upon review and evaluation of the completed CAP Consistency Checklist for the project, the project is consistent with the applicable strategies and actions of the CAP. Therefore, the project would be consistent with the assumptions for relevant CAP strategies toward achieving the identified GHG reduction targets. Impacts would be less than significant.

Project Cumulative

Based on the project's consistency with the City's CAP Consistency Checklist, the project's contribution of GHGs to cumulative statewide emissions would be less than cumulatively considerable. Therefore, the project's direct and cumulative GHG emissions would have a less than significant impact on the environment.

**6.7. HEALTH AND SAFETY – Would the project:**

Issue 1: Create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Complete Communities PEIR

The Complete Communities PER determined that although construction activities associated with the proposed project could involve the transport, use, or disposal of hazardous materials, compliance with applicable federal, state, and local regulations would ensure that regulated hazardous materials are handled and disposed of properly. Operation of future development could use small amounts of hazardous materials for cleaning and maintenance; however, hazardous materials and waste would be managed and used in accordance with all applicable federal, state,

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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and local laws and regulations, which would ensure that no hazards would result during long-term operation of the project. Therefore, the project would not create a significant hazard to the public or environment. Impacts would be less than significant.

Project

The City's Thresholds states that significant impacts may occur if a project proposes the handling, storage and treatment of hazardous materials.

Construction activities for the project would involve the use of potentially hazardous materials including vehicle fuels, oils, transmission fluids, paint, adhesives, surface coatings and other finishing materials, cleaning solvents, and pesticides for landscaping purposes. However, the use of these hazardous materials would be temporary, and all potentially hazardous materials would be stored, used, and disposed of in accordance with manufacturers' specifications, applicable federal, state, and local health and safety regulations. As such, impacts associated with the transport, use, or disposal of hazardous materials would be less than significant during construction.

The operational phase of the project would occur after construction is completed. The project includes residential and commercial uses that are compatible with surrounding uses. These types of uses do not routinely transport, use, or dispose of hazardous materials, or present a reasonably foreseeable release of hazardous materials, with the potential exception of common commercial grade hazardous materials such as household and commercial cleaners, paint, etc. The project would not create a significant hazard through the routine transport, use, or disposal of hazardous materials, nor would a significant hazard to the public or to the environment through the reasonably foreseeable upset and accidental conditions involving the likely release of hazardous materials into the environment occur. Therefore, the proposed project would not create a significant hazard to the public or the environment and any impacts would be less than significant.

Project Cumulative

The proposed project would not have any cumulative impacts since the project does not propose the handling, storage and treatment of hazardous materials.

Issue 2: Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

Complete Communities PEIR

The Complete Communities PEIR determined that project would not create a significant hazard to the public or environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Impacts would be less than significant.

Project

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Please refer to issue 6.7.1 above. Impacts would be less than significant.

Project Cumulative

Based upon the above discussion, the proposed project would not create a significant hazard to the public or the environment and any impacts would be less than significant.

Issue 3: Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

Complete Communities PEIR

The Complete Communities PEIR determined project areas are located throughout the City and may be located within proximity to schools. The land uses that would be developed per the proposed project are not anticipated to result in hazardous emissions or exposure to acutely hazardous materials. In accordance with City, state, and federal requirements, any new development that involves contaminated property would necessitate the clean-up and/or remediation of the property in accordance with applicable requirements and regulations. No construction would be permitted to occur at a contaminated site until a “no further action” clearance letter from the County’s DEH, or a similar determination is issued by the SDFD, DTSC, RWQCB, or other responsible agency. Therefore, impacts to schools would be less than significant.

Project

As outlined in 6.7.1 and 6.7.2, the project would not store, transport, use or dispose of hazardous materials. Washington Elementary School is located within one-quarter mile of the Union site. No schools are located within one-quarter mile of the Newton site. Based on the described conditions no impacts related to emitting or handling hazardous materials waste or substances within one-quarter mile of a school site would occur. Impact would be less than significant.

Project Cumulative

The proposed project would not have any cumulative impacts since as outlined in 6.7.1 and 6.7.2, the project would not store, transport, use or dispose of hazardous materials. Cumulative impacts would not occur.

Issue 4: Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Complete Communities PEIR

The Complete Communities PEIR determined that implementation of the proposed project would be in accordance with City, county, state, and federal requirements, and any new development that involves contaminated property would necessitate the clean-up and/or remediation of the property in accordance with applicable requirements and regulations. No construction would be permitted at such locations until a “no further action” clearance letter from the County’s DEH, or a similar determination is issued by the SDFD, DTSC, RWQCB, or other responsible agency. Therefore, impacts related to hazardous materials sites and health hazards would be less than significant.

Project

A search of potential hazardous materials complied pursuant to Government Code Section 65962.5 was completed for both project sites. Based on the search conducted, neither project site is identified on a list of hazardous materials sites. As such, no impact would occur that would create a significant hazard to the public or environment.

Project Cumulative

A search of potential hazardous materials complied pursuant to Government Code Section 65962.5 was completed for both project sites. Based on the searched conducted, neither project site is identified on a list of hazardous materials sites. Project operations would be conducted in compliance with hazardous materials regulations, including the proper use, transport, and disposal of hazardous materials and preparation of a Hazardous Materials Business Plan (if warranted) for project operations. Compliance with hazardous materials regulations would ensure the project would not involve any changes that would increase the severity of a potential impact related to hazards and hazardous materials. Based on the above analysis and information the proposed project would no result in any cumulative impacts.

Issue 5: Result in a safety hazard for people residing or working within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport?

Complete Communities PEIR

The Complete Communities PEIR determined that the implementation of the proposed project would be consistent with adopted ALUCPs as future development would be required to show compatibility with the requirements of the ALUCPs, the SDMC, and associated FAA requirements. Impacts related to aircraft related hazards would be less than significant.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project

The project is not located within an airport land use plan, or within two miles of a public airport or public use airport. No impact would result.

Project Cumulative

As discussed above, the project is not located within an airport land use plan, or within two miles of a public airport or public use airport. Therefore, no cumulative impacts would result.

Issue 6: Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

Complete Communities PEIR

The San Diego County Emergency Operations Plan (County of San Diego 2018) identifies a broad range of potential hazards and a response plan for public protection, and identifies major interstates and highways within San Diego County that could be used as primary routes for evacuation. Additionally, the County of San Diego MJHMP provides methods to help minimize damage caused by natural and man-made disasters. The City and the OES of San Diego County continue to coordinate to update the MJHMP as hazards, threats, population, and land use, or other factors change to ensure that impacts to emergency response plans are less than significant. Therefore, impacts related to emergency evacuation and response plans would be less than significant.

Project

The project would not impair the implementation of, or physically interfere with, an adopted emergency response plan or evacuation plan. No roadway improvements are proposed that would interfere with circulation or access, and all construction would take place on-site. No impacts would occur.

Project Cumulative

The project would not impair the implementation of, or physically interfere with, an adopted emergency response plan or evacuation plan. No roadway improvements are proposed that would interfere with circulation or access, and all construction would take place on-site. Based on the above analysis and information the proposed project would no result in any cumulative impacts.

**6.8. HISTORICAL/ARCHAEOLOGICAL/TRIBAL CULTURAL RESOURCES - Would the project:**

Issue1: Result in an alteration, including the adverse physical or aesthetic effects and/or destruction of a historic building (including architecturally

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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significant building) structure, object, or site?

Complete Communities PEIR

The Complete Communities PEIR determined that all development projects with the potential to affect historical resources, such as designated historical resources, historical buildings, landscapes, objects, and structures; important archaeological sites, tribal cultural resources, and traditional cultural properties are subject to the City's Historical Resources Regulations and Historical Resources Guidelines. The City's Historical Resources Regulations (Chapter 14, Article 3, Division 2) include a number of requirements that would apply to future development evaluated under the proposed project that would ensure site specific surveys are completed to verify the presence of resources. Additionally, the Historical Resources Guidelines would be followed in the event site-specific surveys are required as part of the ministerial review process. Adherence to the Historical Resources Regulations and Guidelines would ensure that appropriate measures are applied to protection of historical resources consistent with City requirements. Such requirements may include archaeological and Native American monitoring, avoidance and preservation of resources, data recovery and repatriation or curation of artifacts, among other requirements detailed in the Historical Resources Guidelines.

Project

The purpose and intent of the Historical Resources Regulations of the Land Development Code (Chapter 14, Division 3, and Article 2) is to protect, preserve and, where damaged, restore the historical resources of San Diego. The regulations apply to all proposed development within the City of San Diego when historical resources are present on the premises. Before approving discretionary projects, CEQA requires the Lead Agency to identify and examine the significant adverse environmental effects which may result from that project. A project that may cause a substantial adverse change in the significance of a historical resource may have a significant effect on the environment (Sections 15064.5(b) and 21084.1). A substantial adverse change is defined as demolition, destruction, relocation, or alteration activities, which would impair historical significance (Sections 15064.5(b)(1)). Any historical resource listed in, or eligible to be listed in the California Register of Historical Resources, including archaeological resources, is considered to be historically or culturally significant.

The Andrew Cassidy Home, listed in the City of San Diego Register of Historical Resources (HRB #283). The property is not eligible for listing under National Register nor the California Register.

In addition to meeting one of the local, State, or Federal criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Andrew Cassidy Home.

The Andrew Cassidy Home is located on a rectangular lot, approximately 50' by 100', at 1620 Union Street. The building is wood framed and set on a cast-in-place concrete foundation stem wall. A

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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crawlspace access hatch is located on the west façade located underneath the non-historic wood accessibility ramp. The foundation wall is mostly covered with non-historic horizontal wood siding. The exterior walls consist of horizontal wood clapboard siding with a painted finish. There are vertical wood trim corner boards at the corners of each façade. A decorative wood base trim runs the perimeter of the building. Below the wood base trim is the non-historic wood siding over concrete stem wall.

The house located at 1620 Union Street appears to be in good condition and retains a good level of its historic integrity. Modifications appear to comply with The Secretary of the Interior’s Standards for the Treatment of Historic Properties and include a replacement roof, replacement front porch and railing, an addition at the rear not visible from the public right-of-way, and replacement windows.

The proposed project would result in a significant direct impact to the historical resource, the Andrew Cassidy Home, because of its relocation. Mitigation measures would reduce impacts to the historical resource to less than significant since the new location is situated within a similar residential block in the Barrio Logan community that is compatible with the original character and use of the Andrew Cassidy Home and will reintroduce the house to a residential neighborhood made-up of similar houses from the same period. Adherence to The Secretary of the Interior’s Standards for the Treatment of Historic Properties will be conducted on the relocated resource which will enable the building to continue to convey its architecture, retaining a high degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

Many areas of San Diego County, including mesas and the coast, are known for intense and diverse prehistoric occupation and important archaeological and historical resources. The region has been inhabited by various cultural groups spanning 10,000 years or more. The project area is located within an area identified as sensitive on the City of San Diego Historical Resources Sensitivity Maps. Qualified City staff conducted a records search of the California Historic Resources Information System (CHRIS) digital database; the search identified several previously recorded historic and prehistoric sites in the project vicinity. Based on this information, there is a potential for buried cultural resources to be impacted through implementation of the project.

Therefore, a Mitigation Monitoring Reporting Program, as detailed within Section V of the MND, would be implemented. With implementation of the historical resources monitoring program, potential impacts on historical resources would be reduced to below a level of significance.

Project Cumulative

The proposed project would result in a significant direct impact to the historical resource, the Andrew Cassidy Home, because of its relocation. No other known projects with impacts to historic resources are within the vicinity, however. Mitigation measures are included to reduce impacts to less than significant. Based upon the above analysis, no cumulative impacts would occur.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
Issue 2: Result in a substantial adverse change in the significance of a prehistoric or historic archaeological resource, a religious or sacred site, or the disturbance of any human remains those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Complete Communities PEIR

The Complete Communities PEIR that while existing regulations and the LDC would provide for the regulation and protection of archaeological resources and human remains, it is impossible to ensure the successful preservation of all archaeological resources. Therefore, potential impacts to archaeological resources and human remains are considered significant.

Project

There are no formal cemeteries or known burials in the immediate vicinity of the project site. In the unlikely event of a discovery of human remains, the project would be handled in accordance with procedures of the California Public Resources Code (§5097.98), State Health and Safety Code (§7050.5), and California Government Code Section 27491. These regulations detail specific procedures to follow in the event of a discovery of human remains, i.e. work would be required to halt and no soil would be exported off-site until a determination could be made via the County Coroner and other authorities as required. In addition, to reduce potential archaeological resource impacts to below a level of significance, all excavation within previously undisturbed soil would be monitored by a qualified archaeologist or archaeological monitor and Native American monitor. This monitoring would ensure that any remains are identified and handled in compliance with these regulations. As no known burials exist within the project site, it is not anticipated that human remains would be encountered during construction. Therefore, no impact would occur.

Project Cumulative

As no known burials exist within the project site, it is not anticipated that human remains would be encountered during construction.

Issue 3: Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- a. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k); or,

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Complete Communities PEIR

The Complete Communities PEIR determined that while existing regulations including the San Diego Historical Resources Regulations and Historical Resources Guidelines would provide for the protection of tribal cultural resources and would minimize potential impacts, it is not possible to ensure the successful preservation of all tribal cultural resources. Therefore, potential impacts to tribal cultural resources are considered significant.

Project

The project proposes the relocation and rehabilitation of the Andrew Cassidy House, which has been determined to be historic, within a built-out neighborhood of the City of San Diego. There are no tribal cultural structures on either the donor or receiving sites, and no impacts to tribal historic resources would occur. No tribal cultural resources are located on the project site that meet the criteria for listing on the local, State, or Federal registers as defined in PRC Section 5020.1(k). No impact would result.

Project Cumulative

Based on the above analysis and information the proposed project would no result in any cumulative impacts.

- b. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.

Complete Communities PEIR

The Complete Communities PEIR determined that while existing regulations including the San Diego Historical Resources Regulations and Historical Resources Guidelines would provide for the protection of tribal cultural resources and would minimize potential impacts, it is not possible to ensure the successful preservation of all tribal cultural resources. Therefore, potential impacts to tribal cultural resources are considered significant.

Project

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Tribal Cultural Resources include sites, features, places, cultural landscapes, and sacred places or objects that have cultural value or significance to a Native American Tribe. Tribal Cultural Resources include “non-unique archaeological resources” that, instead of being important for “scientific” value as a resource, can also be significant because of the sacred and/or cultural tribal value of the resource. The City, as lead agency, determined that Tribal Cultural Resources pursuant to subdivision Public Resources Code Section 5024.1(c) would not have the potential to be impacted through project implementation. No impact would occur.

Project Cumulative

Based on the above analysis and information the proposed project would no result in any cumulative impacts.

**6.9. HYDROLOGY/WATER QUALITY - Would the project:**

Issue 1: Result in flooding due to an increase in impervious surfaces or changes in absorption rates, drainage patterns, or the rate of surface runoff?

Complete Communities PEIR

All development occurring within the project areas would be subject to drainage and floodplain regulations in the SDMC, and would be required to adhere to the City’s Drainage Design Manual, ESL Regulations protecting floodplains, Federal Emergency Management Agency (FEMA) standards, and the City’s Storm Water Standards Manual. Thus, impacts related to changes in runoff patterns associated with future development would be less than significant.

Potential riverine flooding impacts would largely be avoided through compliance with ESL regulations; however, at a program level of analysis it cannot be ensured that every future project would fully mitigate potential flooding impacts, resulting in a significant and unavoidable impact. Additionally, for project areas protected by the provisionally accredited levy in Mission Valley, impacts would be significant.

Impacts associated with flooding due to a seiche or dam inundation would be less than significant, due to the lack of seiche hazards within the project areas, and based on applicable regulatory requirements and protections associated with development downstream of dams.

Impacts related to tsunami inundation would be significant and unavoidable due to the potential for increased development densities occurring within areas subject to tsunami inundation. Future development is anticipated to incorporate adequate design measures to protect development areas from potential mudflow and debris that could follow a fire event; however, areas with potential risk

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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of mudflow cannot be determined at this programmatic level of review and impacts would be significant.

Project

The project would comply with the City’s Stormwater Management and Discharge Control Ordinance (Municipal Code Chapter 4, Article 3, Division 3), Storm Water Runoff and Drainage Regulations (LDC Section 142.02 et al.), and other applicable storm water quality standards during and after construction. Treatment control best management practices (BMPs) have been selected that would ensure pollutants are not discharged to receiving waters. The project would employ site design, source control and structural BMPs. Site design BMPs include minimizing impervious areas, minimizing soil compaction, dispersing the impervious areas, collecting runoff in biofiltration basins, and use of native or drought-tolerant species for landscaping purposes. Source control BMPs include the placement of trash and storage areas in unit garages to prevent dispersion by rain, run-on, run-off, and wind. These requirements have been reviewed by qualified City staff and would be re-verified during the ministerial building permit process. Adherence to applicable water quality standards would ensure adverse impacts associated with compliance with quality standards and waste discharge requirements are avoided. Impacts would be less than significant.

Project Cumulative

Adherence to applicable water quality standards would ensure adverse impacts associated with compliance with quality standards and waste discharge requirements are avoided. Impacts would be less than significant. Based on the above analysis and information the proposed project would not result in any cumulative impacts.

Issue 2: Result in a substantial increase in pollutant discharge to receiving waters and increase of identified pollutants to an already impaired water body?

Complete Communities PEIR

The Complete Communities PEIR determined that new development occurring within the project areas would be required to implement Low Impact Development (LID) and storm water BMPs into the design of future projects within the project areas to address the potential for transport of pollutants of concern through either retention or filtration, consistent with the requirements of the Municipal Separate Storm Sewer System (MS4) Permit for the San Diego region and the City’s Storm Water Standards Manual. Implementation of LID design and storm water BMPs would reduce the amount of pollutants transported from the project areas to receiving waters. Thus, with compliance with the existing regulatory framework addressing protection of water quality, impacts would be less than significant.

Project

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project would implement low impact development principles ensuring that a substantial increase in the rate or amount of surface runoff resulting in flooding on or off-site, or a substantial alteration to the existing drainage pattern would not occur. Streams or rivers do not occur on or adjacent to the project site. Impacts would be less than significant, and no mitigation measures are required.

Project Cumulative

Adherence to applicable water quality standards would ensure adverse impacts associated with compliance with quality standards and waste discharge requirements are avoided. Impacts would be less than significant. Based on the above analysis and information the proposed project would not result in any cumulative impacts.

Issue 3: Deplete groundwater supplies, degrade groundwater quality, or interfere with groundwater recharge?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Complete Communities PEIR

The Complete Communities PEIR determined that storm water regulations that encourage infiltration of storm water runoff and protection of water quality would protect the quality of groundwater resources and support infiltration where appropriate. Impacts would be less than significant.

Project

The project does not require the construction of wells or the use of groundwater and therefore, the project would not substantially deplete groundwater supplies or interfere substantially with groundwater recharge. The project is located in an urban neighborhood where all infrastructures exist. The project would connect to the existing public water system. No impact would result.

Project Cumulative

As discussed above, the proposed project does not require the construction of wells or groundwater. Based upon the above analysis, the proposed project would not result in cumulative impacts.

**6.10. NOISE - Would the project:**

Issue 1: Result in generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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in the local general plan or noise ordinance, or applicable standards of other agencies?

Complete Communities PEIR

The Complete Communities PEIR determined:

**General Ambient Noise Levels**

Ambient noise levels in the project areas would increase as a result of implementation of the proposed project. The increase in ambient noise levels associated with additional potential density within the project areas could expose existing and future noise-sensitive receptors to a significant noise impact. The Housing Program includes design requirements to attenuate noise levels in outdoor usable open space areas through project design. While compliance with the design requirements would reduce potential impacts to existing and future noise sensitive land uses, future ambient noise levels could nevertheless exceed the City’s significance threshold. Therefore, impacts would be significant.

**Traffic-related Noise Levels**

Interior noise standards of 45 A-weighted decibels Community Noise Equivalent Level [dB(A) CNEL] for residential uses and 50 dB(A) for nonresidential uses will be achieved through compliance with Title 24 requirements during the building permit review. However, future development within the project areas could result in the exposure of residents to exterior noise levels which exceed the City’s significance thresholds. Recent Community Plan Update EIR analysis shows noise levels in the project areas are dominated by vehicle traffic exceeding allowable levels. While design requirements associated with the proposed ordinance would reduce potential impacts to existing and future noise sensitive land uses, future ambient noise levels could nevertheless exceed the City’s significance threshold. Therefore, impacts would be significant.

**Rail Noise City**

Rail and trolley lines pass through the project areas. New development located adjacent to rail operations could expose residents to noise levels that exceed noise standards. Therefore, at this programmatic level of review, impacts associated with rail noise would be significant.

**Noise Ordinance Compliance**

The project areas would contain residential and commercial interfaces. Mixed-use areas where residential uses are located in proximity to commercial sites could expose sensitive receptors to noise above allowable levels. While it is not anticipated that stationary sources associated with multi-family residential land uses located within TPAs would result in noise exceeding property line limits, at a programmatic level of review it cannot be verified. The City’s Noise Ordinance property line standards would apply to any future development processed under the proposed ordinances.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Although enforcement mechanisms for the violation of noise regulations in the Noise Abatement and Control Ordinance would provide for the correction of potential noise exceedances, impacts could remain potentially significant.

**Temporary Construction Noise Levels**

Construction activities related to implementation of the proposed project would potentially generate short-term noise levels in excess of 75 dB(A) hourly equivalent sound level (Leq) at adjacent properties. While the City regulates noise associated with construction equipment and activities through enforcement of its noise ordinance standards (e.g., days of the week and hours of operation), impacts associated with construction noise would be remain potentially significant.

Project

Short-term noise impacts would occur from the demolition, grading and construction activities from the project. Construction-related short-term noise levels would be higher than existing ambient noise levels in the project area but would no longer occur once construction is completed. Sensitive receptors (e.g. residential uses) occur in the immediate area and may be temporarily affected by construction noise; however, construction activities would be required to comply with the construction hours specified in City’s Municipal Code, (Section 59.5.0404, Construction Noise), which are intended to reduce potential adverse effects resulting from construction noise. With compliance to the City’s construction noise requirements, project construction noise levels would be reduced to less than significant, and no mitigation measures are required.

For the long-term, typical noise levels associated with the existing residential uses are anticipated, and the project would not increase in the existing ambient noise level. The project would not result in noise levels in excess of the standards established in the City of San Diego General Plan or Noise Ordinance. No significant long-term impacts would occur, and no mitigation measures are required.

Project Cumulative

As discussed above, the proposed project would not result in any short term or long term noise impacts. Based upon the above analysis, there would no cumulative impacts.

Issue 2: Cause the generation of, excessive groundborne vibration or groundborne noise levels?

Complete Communities PEIR

The Complete Communities PEIR determined that groundborne vibration impacts could occur as a result of trolley and train operations where development is located in proximity to a rail line. The specific location and orientation of future development is unknown at this time. Due to the anticipated proximity of future multi-family residential development near rail lines, impacts would be significant.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project

Pile driving activities that would potentially result in ground borne vibration or ground borne noise are not anticipated with construction of the project. Potential effects from construction noise would be reduced to below a level of significance through compliance with Section 59.5.0404 of the City's Municipal Code. Therefore, the project would not expose people to excessive generation of ground borne vibration or noise levels. Impacts would be less than significant.

Project Cumulative

As discussed above, the project would not expose people to excessive generation of ground borne vibration or noise levels. Cumulative impacts would be less than significant.

Issue 3: Be located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

Complete Communities PEIR

The Complete Communities PEIR determined that portions of the project areas are located within ALUCP identified noise contours. However, the proposed project does not propose a change to any existing land use designation and future multi-family residential development allowed under the proposed ordinance would be consistent with existing Community Plan allowed land uses and associated ALUC consistency determinations. However, During the building permit process for proposed projects, overflight notification requirements would apply. Therefore, impacts would be less than significant.

Project

Neither project site is located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport thereby exposing people residing or working in the project area to excessive noise levels. The San Diego International Airport (SDIA) is located 2.9 miles to the west of the Union project site and the Newton project site is 5.3 miles to the southeast of SDIA. Therefore, no impacts would occur.

Project Cumulative

As discussed above, the proposed project is not within the vicinity of a private airstrip or within an airport land use plan. The proposed project would not expose people residing or working in the project area to excessive noise levels. No cumulative impacts would occur.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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**6.11. PALEONTOLOGICAL RESOURCES - Would the project:**

Issue 1: Result in development that requires over 1,000 cubic yards of excavation in a high resources potential geologic deposit/formation/rock unit or over 2,000 cubic yards of excavation in a high resources potential geologic deposit/formation/rock unit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Complete Communities PEIR

The Complete Communities PEIR determined that implementation of the General Grading Guidelines for Paleontological Resources, as required by the SDMC and applicable to all new development, would require paleontological monitoring to ensure that potential paleontological resources impacts resulting from future grading activities would be less than significant.

Project

Both proposed project sites are located in an area with the high sensitivity for paleontological resources. The CEQA significant threshold for high sensitivity areas is grading of 1000 cubic yards to a depth of 10 feet. The proposed project would grade 2,931 cubic yards to a depth of 17 feet at the Union project site and 438 cubic yards to a depth of 3 feet at the Newton site. Based upon the amount of grading proposed paleontological monitoring will be required. This monitoring would become a condition of the permit.

Project Cumulative

Based upon the proposed project locations, the project could potentially impact paleontological resources. Paleontological monitoring is required as a condition of the permit. This regulatory compliance will reduce potential impacts to below a level of significance. Any future projects in the vicinity would also have to comply with these regulations. Based upon the above analysis, the proposed project would not any cumulative impacts.

**6.12. PUBLIC SERVICES AND FACILITIES – Would the project:**

Issue 1: Promote growth patterns resulting in the need for and/or provision of new or physically altered public facilities (including police, fire-rescue, schools, libraries, parks, or other recreational facilities), the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Complete Communities PEIR

Implementation of the Complete Communities project could result in the need for additional police, fire-rescue, school, library, and parks and recreation facilities. Additionally, transportation infrastructure and amenities constructed under the Mobility Choices program could result in environmental impacts. As the location and need for potential future facilities cannot be determined at this time, it is unknown what specific impacts may occur associated with the future construction and operation of such facilities. Thus, as it cannot be ensured all impacts associated with the construction and operation of potential future facilities would be mitigated to less than significant, impacts would be significant and unavoidable.

Project

Both project sites are located in an urbanized area where fire protection services are provided. The sites would continue to be served by the City. The project would not adversely affect existing levels of fire protection services to the area and would not require the construction of new or expanded governmental facilities. The project sites are located in an urbanized area where police protection services are provided. The sites would continue to be served by the City. The project would not adversely affect existing levels of police protection services to the area and would not require the construction of new or expanded governmental facilities. The project would not affect existing levels of public services and would not require the construction or expansion of a school facility. The project sites are located in an urbanized and developed area where public school services are available. The project would not significantly increase the demand on public schools over that which currently exists and is not anticipated to result in a significant increase in demand for public educational services. The project sites are located in an urbanized and developed area where City-operated parks are available. The project would not significantly increase the demand on existing neighborhood or regional parks or other recreational facilities over that which presently exists and is not anticipated to result in a significant increase in demand for parks or other offsite recreational facilities. The project sites are located in an urbanized and developed area where City services are already available. The project would not adversely affect existing levels of other public facilities and not require the construction or expansion of an existing governmental facility.

Project Cumulative

As discussed above, the proposed project would not adversely affect existing levels of other public facilities and not require the construction or expansion of an existing governmental facility. Impacts would be less than significant, including therefore cumulative impacts.

Issue 2: Increase the use of existing neighborhood and regional recreational facilities such that substantial deterioration of the facility would occur or be accelerated?

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Complete Communities PEIR

The Complete Communities PEIR determined that implementation of the proposed project could result in an increase in the use of existing neighborhood and regional parks or other recreational facilities. While the development of these future recreational amenities under the Housing Program could offset the potential increased use of existing recreational facilities, it is unknown where these future improvements will be located, what impacts could result from providing these facilities, and to what extent these future facilities will be able to accommodate increases in demand for recreational facilities. Thus, as it cannot be ensured that all impacts would be mitigated to a less than significant level, impacts would be significant and unavoidable.

Project

The project does not propose recreation facilities nor require the construction or expansion of any such facilities. Impacts would be less than significant.

Project Cumulative

As discussed above, the project does not propose recreation facilities nor require the construction or expansion of any such facilities. Impacts would be less than significant including cumulative.

Issue 3: Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

Complete Communities PEIR

The Complete Communities PEIR determined that implementation of the proposed project could result in an increase in the use of existing neighborhood and regional parks or other recreational facilities. While the development of future recreational amenities under the proposed Housing Program could offset the potential increased use of existing recreational facilities, it is unknown where these future improvements will be located, what impacts could result from providing these facilities, and to what extent these future facilities will be able to accommodate increases in demand for recreational facilities. Thus, as it cannot be ensured that all impacts would be mitigated to a less than significant level, impacts would be significant and unavoidable.

Project

Both project sites are located in urbanized and developed areas where City-operated parks are available. The project would not significantly increase the demand on existing neighborhood or regional parks or other recreational facilities over that which presently exists and is not anticipated

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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to result in a significant increase in demand for parks or other offsite recreational facilities. Impacts would be less than significant.

Project Cumulative

As discussed above the project would not significantly increase the demand on existing neighborhood or regional parks or other recreational facilities over that which presently exists and is not anticipated to result in a significant increase in demand for parks or other offsite recreational facilities. Impacts would be less than significant including cumulative.

**6.13. PUBLIC UTILITIES AND INFRASTRUCTURE – Would the project:**

Issue 1: Use excessive amounts of water beyond projected available supplies?                             

Complete Communities PEIR

The Complete Communities PEIR determined that according to Water Supply Assessments prepared for recent CPUs, water demand would not increase within project areas located in communities with a recent CPU. Within project areas that do not have a recent comprehensive CPU, it is possible that densities could be authorized in excess of what would have been considered in the latest water supply planning document. Thus, at this programmatic level of review, direct and cumulative impacts related to the availability of water supplies based on existing projections would be significant.

Project

The project does not meet the City's CEQA significance thresholds requiring the need for the project to prepare a water supply assessment. A water supply assessment is required for the following types of projects:

- a. Residential developments of more than 500 units;
- b. Shopping centers or businesses employing more than 1,000 people or having more than 500,000 square feet of floor space;
- c. Commercial office buildings employing more than 1,000 people or having more than 250,000 square feet of floor space;
- d. Hotels or motels having more than 500 rooms; e. Industrial, manufacturing, or processing plants or industrial parks planned to house more than 1,000 people or having more than 650,000 square feet of floor space;
- f. Mixed use projects that include one or more of the above types of projects;
- g. Projects that would demand an amount of water equivalent to, or greater than, the amount of water required by a 500 dwelling unit project.

The proposed project is the development of a total of 81 dwelling and 7,949 square-feet of warehouse space. This does not rise to the level of significance listed above.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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The existing project sites currently receives water service from the City, and adequate services are available to serve the site without requiring new or expanded entitlements. No impact would result.

Project Cumulative

As discussed above, the project does not meet the CEQA significance thresholds requiring the need for the project to prepare a water supply assessment. Based upon the above analysis, the proposed project would not result in impacts including cumulative.

Issue 2: Promote growth patterns resulting in the need for and/or provision of new or physically altered utilities, the construction of which could cause significant environmental impacts in order to maintain service ratios, or other performance objectives?

Complete Communities PEIR

The Complete Communities determined that mandatory compliance with City standards for the design, construction, and operation of storm water, water distribution, wastewater, and communications systems infrastructure would likely minimize significant environmental impacts associated with the future construction of and/or improvements to utility infrastructure. However, at this programmatic level of review and without the benefit of project specific development plans, both direct and cumulative impacts associated with the construction of storm water, water distribution, wastewater, and communication systems would be significant.

Project

The project is not anticipated to generate significant amounts of wastewater or stormwater. The project would not result in a significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources. Wastewater facilities used by the project would be operated in accordance with the applicable wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB). Existing sewer infrastructure exists within roadways surrounding the project site and adequate services are available to serve the project. Thus, impacts would be less than significant

Project Cumulative

As discussed above, the proposed project is not anticipated to generate significant amounts of wastewater or stormwater. Based upon the above analysis, impacts would be less than significance including cumulative.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
Issue 3: Result in impacts to solid waste management, including the need for construction of new solid waste infrastructure including organics management, materials recovery facilities, and/or landfills; or result in development that would not promote the achievement of a 75 percent target for waste diversion and recycling as required under AB 341 and the City's Climate Action Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Complete Communities PEIR

The Complete Communities PEIR determined that future development within the project areas would generate solid waste through demolition/construction and ongoing operations, which would increase the amount of solid waste generated within the region. However, future projects would be required to comply with City regulations regarding solid waste that are intended to divert solid waste from the Miramar Landfill to preserve capacity. Compliance with existing regulations requiring waste diversion would help preserve solid waste capacity. Therefore, impacts associated with solid waste would be less than significant.

Project

Adequate services are available to serve the site and the project would not require the construction or expansion of existing facilities. The project would be served by a landfill with sufficient permitted capacity to accommodate the project's disposal needs. Construction debris and waste would be generated from the construction of the new residential and commercial units. All construction waste from the project site would be transported to an appropriate facility, which would have adequate capacity to accept the limited amount of waste that would be generated by the project. Long-term operation of the project would be anticipated to generate typical amounts of solid waste associated with residential and commercial use. Furthermore, the project would be required to comply with the City's Municipal Code (including the Refuse and Recyclable Materials Storage Regulations (Municipal Code Chapter 14, Article 2, Division 8), Recycling Ordinance (Municipal Code Chapter 6, Article 6, Division 7), and the Construction and Demolition (C&D) Debris Deposit Ordinance (Municipal Code Chapter 6, Article 6, Division 6)) for diversion of both construction waste during the demolition phase and solid waste during the long-term, operational phase. Impacts would be less than significant.

Project Cumulative

As discussed above, adequate services are available to serve the site and the project would not require the construction or expansion of existing facilities. Based upon the above analysis, impacts including cumulative would be less than significant.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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**6.14. TRANSPORTATION – Would the project:**

Issue 1: Conflict with an adopted program, plan, ordinance, or policy addressing the transportation system, including transit, roadways, bicycle, and pedestrian facilities?

Complete Communities PEIR

Overall, the proposed project would support improved pedestrian, bicycle and transit facilities and foster increased safety for all alternative modes by facilitating the development of high density multi-family residential land uses close to existing transit areas. Additionally, the Mobility Choices Program would further support multi-modal opportunities within Mobility Zones 1, 2, and 32 consistent with City policies. Thus, impacts related to conflicts with adopted policies, plans, or programs supporting transportation would be less than significant. SB 743 requires the Governor’s OPR to identify new metrics for identifying and mitigating transportation impacts within CEQA. Consistent with the intent of SB 743, the City’s new CEQA significance threshold are required to be adopted by July 1, 2020.

Project

The project would not change existing circulation patterns on area roadways. The project would not conflict with any applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system. Therefore, no impact would occur.

Project Cumulative

As discussed above, the project would not change existing circulation patterns on area roadways. The project would not conflict with any applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system. Therefore, no impact would occur including cumulative.

Issue 2: Be located within an area on the SANDAG VMT screening maps estimated to generate resident VMT per capita greater than 85 percent of the base year regional average? For mixed-use projects with a commercial component, would the project be located within an area on SANDAG VMT screening maps estimated to generate resident VMT per capita and/or employee VMT per employee greater than 85 percent of the base year regional average?

Complete Communities PEIR

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Complete Communities PEIR determined that while VMT related impacts in the majority of the Housing Program project areas would result in less than significant impacts where development is located in VMT efficient areas (at or below 85 percent of the regional average), impacts in less efficient VMT per capita areas (greater than 85 percent of the regional average) would remain significant and unavoidable. Although development under the Housing Program combined with improvements resulting from the Mobility Choices Program are anticipated to result in the implementation of infrastructure improvements that could result in reductions in per capita VMT, at a program level, it cannot be determined whether those improvements would sufficiently reduce potentially significant VMT impacts to below the threshold of significance. The Mobility Choices Program would provide for additional transportation infrastructure and amenities that would support reductions in per capita VMT. Implementation of such infrastructure and amenities would not be associated with significant VMT related impacts, and impacts would be less than significant. Although the Mobility Choices Program is anticipated to result in the implementation of infrastructure improvements that could result in per capita VMT reductions, at a program level, potentially significant VMT impacts could nonetheless remain significant because it cannot be determined with certainty whether the improvements would be implemented at the time a future development project's VMT impacts could occur and whether those impacts would be mitigated to a less than significant level. VMT impacts associated with development under the Housing Program located in less efficient VMT areas would be significant and unavoidable.

Project

The proposed project locations are in two separate census tracks, 4.5 miles apart. The Union Street portion of the project is presumed to have a less than significant Vehicle Miles Traveled (VMT) impact due to its estimated trip generation of 292 ADT, which is under the 300 ADT trip generation screening criteria for Small Projects per the City of San Diego Transportation Study Manual (9/29/20). The Newton Ave portion of the project is presumed to have a less than significant VMT impact due to its estimated trip generation of 113 ADT, which is also under the 300 ADT trip generation screening criteria for Small Projects per the City of San Diego Transportation Study Manual (9/29/20). Therefore, impacts would be less than significant.

Project Cumulative

The proposed project locations are in two separate census tracks, 4.5 miles apart. As discussed above the Union Street portion of the project is presumed to have a less than significant Vehicle Miles Traveled (VMT) impact due to its estimated trip generation of 292 ADT, which is under the 300 ADT trip generation screening criteria for Small Projects per the City of San Diego Transportation Study Manual (9/29/20). The Newton Ave portion of the project is presumed to have a less than significant VMT impact due to its estimated trip generation of 113 ADT, which is under the 300 ADT trip generation screening criteria for Small Projects per the City of San Diego Transportation Study Manual (9/29/20). Therefore, impacts would be less than significant including cumulative.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
Issue 3: Substantially increase hazards due to a geometric design features (e.g., sharp curves or dangerous intersections) or incompatible use (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Complete Communities PEIR

The Complete Communities PEIR determined that any proposed improvements to roadways or amenities such as bicycle facilities would undergo review and approval by the City Engineer. Adherence to City standards, including the City’s Street Design Manual, would ensure that a substantial increase in hazards or incompatible uses would not occur as a result of the proposed project. The proposed project does not include any requirements that would result in a substantial increase in hazards due to design features or incompatible uses. Impacts would be less than significant.

Project

The Project consists of a Site Development Permit (SDP) for the relocation of a designated historical resource, the Andrew Cassidy Home (Historical Resources Board No. 283), from 1620 Union Street in the Downtown Community Plan area (Council District 3) to 2642-2648 Newton Avenue in the Barrio Logan Community Plan area (Council District 8) and a Coastal Development Permit (CDP) for new construction at 2642-2648 Newton Avenue within the Coastal Overlay Zone. Along with the relocation of the historical resource, 2642-2648 Newton Avenue is proposed to also include construction of a three-story, 33'-9" tall mixed-use development containing 14 dwelling units (including two affordable units), and 8,975 SF of warehouse space.

The 5,013 SF donor site at 1620 Union Street on the west side of Union Street between West Date and West Cedar streets from which the historical resource will be relocated, is proposed to include the construction of 24-story, 250-foot tall residential tower development containing 73 dwelling units (including eight affordable units) and 70 parking spaces within a fully-automated parking garage incorporated into levels 1 through 6.

Overall, the project complies with the Downtown and Barrio Logan Community Plans and is consistent with the land use and underlying zoning. Additionally, the project does not include any design features that would substantially increase hazards. No impacts would result.

Project Cumulative

The proposed project does not include any requirements that would result in a substantial increase in hazards due to design features or incompatible uses. Cumulative impacts would be less than significant.

Issue 4: Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Complete Communities PEIR

The Complete Communities PEIR determined that future development allowed under the proposed ordinances would be required to comply with all applicable City codes and policies related to emergency access and would be forwarded to the City Fire Marshall to ensure adequate emergency access. Therefore, impacts related to emergency access would be less than significant.

Project

Adequate emergency access would be provided during both short-term construction (with construction operating protocols) and long-term operations of the project. As such, the project would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. Impacts would be less than significant.

Project Cumulative

As discussed above, adequate emergency access would be provided during both short-term construction (with construction operating protocols) and long-term operations of the project. As such, the project would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. Impacts would be less than significant, including cumulative.

**6.15. WILDFIRE - Would the project:**

Issue 1: Expose people or structures, either directly or indirectly to a significant risk of loss, injury or death involving wildland fires?

Complete Communities PEIR

The Complete Communities PEIR determined that the Housing Program would incentivize development within Transit Priority Area (TPAs). Some of the project areas are located within or adjacent to High and Very High Fire Hazard Severity Zones as they are in proximity to vegetated areas including urban canyons with native vegetation that can pose a wildfire risk. These areas combined with the limited precipitation within the region results in the potential for wildland fires. Although some of the project areas are located within or near areas with a potential wildfire risk, the Housing Program would not change the allowable land uses within the project areas. However, due to the allowance for additional height and floor area ratio (FAR), development under the Housing Program could result in additional multi-family residential densities in certain locations compared to what would be allowed without participation in the program. By increasing the number of potential residents within areas subject to fire hazards, this could increase the exposure of people and

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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structures to wildfire. While the project generally incentivizes housing development within urban areas that are generally less prone to wildfire risk than surrounding suburban areas, there would still be wildfire risk and potential increases in exposure to wildfire resulting from the project.

Future development that would occur under the proposed project would be required to comply with the City’s Fire Code, Building Regulations, and Brush Management Regulations aimed at ensuring the protection of people or structures from potential wildland fire hazards. While implementation of and adherence to this regulatory framework would reduce potential wildfire impacts, the increase in the number of residents located within areas at risk of wildland fires could increase the exposure of people and structures to wildfires and impacts would be significant.

Project

The 2017 San Diego County Multi-Jurisdictional Hazard Mitigation Plan (SDHMP) is the San Diego region’s plan toward greater disaster resilience in accordance with section 322 of the Disaster Mitigation Act of 2000. The project would not conflict with the goals, objectives, and actions of the SDHMP. Per Action 1.D.6, High fire hazard areas shall have adequate access for emergency vehicles. Project sites are located in a previously developed area with existing infrastructure and facilities currently serving the site. Additionally, the project would provide adequate access for emergency vehicles. Therefore, the project would not conflict with emergency response and would not substantially impair an adopted emergency response plan. No impacts would result.

Project Cumulative

As discussed above, the project would not conflict with emergency response and would not substantially impair an adopted emergency response plan. No impacts would result including cumulative.

Issue 2: Due to slope, prevailing winds, and other factors, exacerbate wildfire risks and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?

Complete Communities PEIR

The Complete Communities PEIR determined that some of the project areas are located within or adjacent to High and Very High Fire Hazard Severity Zones. The potential for wildland fires represents a hazard, particularly within areas adjacent to open space or within close proximity to wildland fuels. Future development under the proposed project would be required to comply with the City’s Fire Code, Building Regulations, and Brush Management Regulations to ensure that wildfire risks are not exacerbated. Transportation infrastructure and amenities associated with the Mobility Choices Program would not exacerbate wildfire hazards due to the location of such improvements within existing urban road right-of-ways.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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However, the Mobility Choices Program would also incentivize housing development within Mobility Zones 1, 2, and 32 that could be exposed to wildfire risk. Implementation of the existing regulatory framework would help reduce the availability of fuels that could contribute to the spread of potential wildfires. Future development under the proposed project would be required to address site-specific factors to minimize the risk of fires in accordance with the applicable regulations.

Additionally, the proposed project would not change the allowable land uses within the project areas and it would not expand the potential locations of future multi-family development. However, the proposed project could increase the number of persons that would be located in areas subject to potential wildfire hazards. While it is not anticipated the proposed project would exacerbate wildfire risk, residents may be exposed to pollutant concentrations associated with wildfire. Therefore, impacts related to pollutant concentrations from a wildfire would be significant.

Project

Both project sites are generally flat, located within an existing urban neighborhood surrounded by residential uses and are not located in a Very High Fire Severity Zone. Due to the location of the project, the project would not have the potential to expose occupants to pollutant concentrations from a wildfire or the uncontrolled spread of wildfire. Therefore, no impacts would result.

Project Cumulative

Both project sites are generally flat, located within an existing urban neighborhood surrounded by residential uses and is not located in a Very High Fire Severity Zone. Due to the location of the project, the project would not have the potential to expose occupants to pollutant concentrations from a wildfire or the uncontrolled spread of wildfire. No cumulative impacts would occur.

Issue 3: Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?

Complete Communities PEIR

The Complete Communities PEIR determined that there are some areas within the project areas that may have existing infrastructure deficiencies and may require capacity improvements to serve future projects implemented under the proposed ordinances mandatory compliance with City standards would likely preclude significant environmental impacts associated with future construction and/or improvements to the existing utility infrastructure. However, given that future specific development projects are unknown at this time, the analysis concludes that the physical impacts associated with installation of and/or improvements to utilities infrastructure would be

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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significant and unavoidable. Future utility and infrastructure improvements would be focused within existing Mobility Zones 1, 2, and 32 and would be required to comply with all applicable City standards; thus, these improvements are not likely to exacerbate fire risk. However, at this programmatic level of review, potential temporary or ongoing impacts to the environment due to the installation or maintenance of infrastructure would be significant.

Project

The project is currently served by existing infrastructure which would service the site during and after construction. The project area has adequate fire hydrant services and street access. No new infrastructure is proposed to support the project that may exacerbate fire risk. No impacts would result.

Project Cumulative

As discussed above, no new infrastructure is proposed to support the project that may exacerbate fire risk. No cumulative impacts would occur.

Issue 4: Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

Complete Communities PEIR

The Complete Communities PEIR determined that impacts related to flooding were found to be significant and unavoidable primarily due to the fact that the proposed ordinances could facilitate and increase development potential within areas protected by a provisionally accredited levy within Mission Valley.

The PEIR determined that approximately 798 acres of the project areas are located on a geologic unit or soil that is at risk of landslides. However, implementation of site-specific recommendations provided within a required geotechnical investigation would reduce impacts associated with landslides, slope instability, and mudflows to less than significant.

The PEIR determined that the proposed project would not change existing allowable land uses within the project areas and it would not expand the locations where potential multi-family residential housing could be built. While the proposed project areas could be subject to risks associated with downstream flooding or landslides, the existing regulatory framework related to flooding and geologic hazards would minimize potential risks. However, based on the potentially significant flooding risk identified in, potential flooding risks would also be significant.

Project

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project area is within developed urban neighborhood. The project would comply with the City's Landscape Regulations and Land Development Code. The project would not expose people or structures to significant risk from flooding or landslide as a result of runoff, post-fire instability, or drainage changes. Therefore, no impacts would occur.

Project Cumulative

The project would not expose people or structures to significant risk from flooding or landslide as a result of runoff, post-fire instability, or drainage changes. No cumulative impacts would occur.

**6.16. VISUAL EFFECTS AND NEIGHBORHOOD CHARACTER - Would the project:**

Issue 1: Result in a substantial obstruction of a vista or scenic view from a public viewing area?                             

Complete Communities PEIR

The Complete Communities PEIR determined that the Housing Program would apply citywide within TPAs in zones that allow multi-family housing. In exchange for new development that provides affordable housing units and neighborhood-serving infrastructure improvements, the Housing Program would allow additional building square footage and height beyond what is otherwise allowed in the base zone, Planned District Ordinance (PDO), or applicable Community Plan. Height incentives would only apply outside the City's Coastal Zone. Within the Coastal Zone, the existing 30-foot height limit would continue to apply, which would limit the maximum height and densities that could be accommodated in coastal areas.

Development associated with the Housing Program is not anticipated to affect scenic views or vista from designated scenic highways in the City. The only state-designated scenic highway in close proximity to the project areas is SR-163. However, the designated scenic portion of SR-163 is located within a canyon and due to topography, surrounding future development would not be visible from this scenic road. Thus, the proposed project would not adversely affect scenic views or vistas from a state-designated scenic highway.

The Housing Program's height incentives would not apply within the Coastal Zone; therefore, impacts to scenic vistas or scenic views from a public viewing area within the Coastal Zone would be minimized as future development would be required to adhere to the 30-foot height limit. However, views toward the coast could be affected by development with TPAs that are located near coastal areas, but outside of the Coastal Zone. For example, development within TPAs along Morena Boulevard could block views toward the coast for residents in Clairemont Mesa. While residential views are not protected views, views toward the coast from public parks within Clairemont Mesa could be affected. Similarly, there are numerous scenic parks and public viewing locations throughout the City. Development under the Housing Program could change scenic views and vistas from public viewing locations where TPAs are visible throughout the City.

Project

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project site is not located within, or adjacent to a designated scenic vista or view corridor that is identified in the Downtown Community Plan or the Barrio Logan Community Plan. Therefore, the project would not have a substantial adverse effect on a scenic vista. No impact would result.

Project Cumulative

As discussed above, the project site is not located within, or adjacent to a designated scenic vista or view corridor that is identified in the Downtown Community Plan of the Barrio Logan Community Plan. Therefore, the project would not have a substantial adverse effect on a scenic vista. No impacts including cumulative impacts would result.

Issue 2: Result in a substantial adverse alteration (e.g., bulk, scale, materials, or style) to the existing or planned (adopted) character of the area?

Complete Communities PEIR

The Complete Communities PEIR determined the Housing Program would allow for additional building square footage and height beyond the allowance in the applicable base zone, PDO, or applicable Community Plan. Height incentives would only apply outside of the City's Coastal Zone. Within the Coastal Zone, the existing 30-foot height limit would continue to apply, which would limit the maximum densities that could be accommodated in coastal areas and reduce the potential for adverse impacts to neighborhood character that could result from structure heights that are greater than what currently exists. Within the Coastal Zone, FAR incentives would still apply; however, the ability to achieve the highest FAR would be limited by the 30-foot height limit. While the 30-foot height limit would restrict building square footage, the FAR incentives within the Coastal Zone could result in development that is inconsistent with the existing neighborhood character. Outside of the Coastal Zone, height restrictions related to development in proximity to airports would continue to apply which could limit the height and intensity of development that could occur within areas proximate to airports. Furthermore, market and construction factors could contribute to height limitations.

Under the Housing Program, development of a certain size would be required to provide public amenities as discussed in Section 3.5.1.3 of this PEIR. Future development would also be required to incorporate design features that enhance neighborhood character and minimize adverse impacts associated with increased bulk, scale, and height. Building materials, style, and architectural features would be reviewed to ensure the character of development meets required development standards.

Development would also be required to adhere to the City's landscape regulations which would support neighborhood compatibility. Nevertheless, implementation of the Housing Program could result in development at densities and heights that could substantially alter the existing neighborhood character. While the Housing Program is intended to create a more vibrant, pedestrian-oriented community with transit supportive development, implementation of the

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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proposed ordinance could result in a substantial change to the existing character within the project areas. Thus, at this programmatic level of review, impacts associated with neighborhood character would be significant.

Project

Both project sites are in fully developed urbanized areas. This type of development has been previously analyzed in the Complete Communities PEIR. The architecture of the Union site is utilizing the incentives of the Complete Communities PEIR. There are similar high-rise towers within the immediate vicinity of the Union site. The architecture of the Newton site is in line with existing development in the neighborhood. There would not be a substantial adverse alteration to the existing or planned (adopted) character of the area.

Project Cumulative

No impact that has not been previously analyzed would occur. . This type of development has been previously analyzed in the Complete Communities PEIR. The architecture of the Union site is utilizing the incentives of the Complete Communities PEIR. The proposed project sites are located in fully developed urbanized areas. The architecture of the proposed projects are in line with the surrounding development. There would not be a substantial adverse alteration to the existing or planner (adopted) character of the area. No cumulative impacts would occur.

Issue 3: Result in the loss of any distinctive or landmark tree(s), or stand of mature trees?

Complete Communities PEIR

While the City has policies related to tree preservation in place that are intended to preserve distinctive, landmark, and mature trees to the extent practicable, it is possible that future development could nonetheless adversely impact such trees. At this programmatic level of review, and without project-specific development plans, impacts associated with the loss of any distinctive or landmark trees or any stand of mature trees would be significant.

Project

The proposed project sites are in fully developed, urbanized areas. There are not any distinctive landmark tree(s) or stand of mature trees within either project site. No impacts would occur.

Project Cumulative

There are no distinctive landmark tree(s) or stand of mature trees within either project site. No cumulative impacts would occur.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
Issue 4: Result in a substantial change in the existing landform?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Complete Communities PEIR

The Complete Communities PEIR determined that transportation infrastructure resulting from implementation of the Mobility Choices Program is not anticipated to result in changes to the existing landform because improvements are anticipated to occur within public rights-of-way, and/or along existing developed streets. Due to the developed nature of such areas, landform alteration is not anticipated. Development associated with the Housing Program could result in changes to existing landforms depending on the constraints and slope associated with a particular project site. While existing canyons and slopes throughout the project areas are largely protected from development due to their status as Multi-Habitat Planning Areas (MHPA), the project areas could contain steep slopes or other topographical features that could be impacted by development. The City's Environmentally Sensitive Lands (ESL) regulations would protect steep hillsides (defined as hillsides at least 50 feet deep with a slope of 25 percent or greater). Should a proposed project include impacts to ESL-defined steep hillsides, the project would require a site development permit, including subsequent environmental review, in order to address potential impacts to ESL protected slopes. While existing protections are in place to preserve the City's canyons and steep slopes, specific development proposals and grading quantities are not known at this time. It is possible that future development under the Housing Program could result in substantial landform alteration. Even with future discretionary review for projects that impact ESL defined steep slopes, impacts would be significant.

Project

The proposed project sites are flat, developed lots, in urbanized areas. There would be no alteration to existing landforms.

Project Cumulative

The proposed project sites are flat, developed lots, in urbanized areas. There would be no alteration to existing landforms. No Cumulative impacts would occur.

Issue 5: Create substantial light or glare which would adversely affect daytime or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Complete Communities PEIR

Sources of light within the project areas include those typical of an urban community, such as building lighting for residential and commercial land uses, roadway infrastructure lighting, and signage. Future development associated with the Housing Program would introduce new residential interior and exterior lighting, parking lot lighting, commercial signage lighting, and lamps for streetscape and public recreational areas. Transportation infrastructure associated with the Mobility

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Choices Program could also include additional roadway lighting within or along public rights-of-way.

Future development would be required to comply with the applicable outdoor lighting regulations of the SDMC (§142.0740 et seq.) which would require development to minimize negative impacts from light pollution including light trespass, glare, and urban sky glow. Compliance with these regulations would preserve enjoyment of the night sky and minimize conflict caused by unnecessary illumination. New outdoor lighting fixtures must minimize light trespass in accordance with the California Green Building Standards Code, where applicable, or otherwise shall direct, shield, and control light to keep it from falling onto surrounding properties.

Future development associated with the Housing Program would also be required to comply with SDMC Section 142.0730 to limit the amount of reflective material on the exterior of a building that has a light reflectivity factor greater than 30 percent to a maximum of 50 percent. Additionally, per SDMC Section 142.0730(b), reflective building materials are not permitted where it is determined that their use would contribute to potential traffic hazards, diminish the quality of riparian habitat, or reduce enjoyment of public open space. Therefore, through regulatory compliance, the proposed project would not create substantial light or glare that would adversely affect daytime or nighttime views in the area, and impacts would be less than significant.

Project

The project would comply with the outdoor lighting standards in Municipal Code Section 142.0740 (Outdoor Lighting Regulations) that require all outdoor lighting be installed, shielded, and adjusted so that the light is directed in a manner that minimizes negative impacts from light pollution, including trespass, glare, and to control light from falling onto surrounding properties. Therefore, lighting installed with the project would not adversely affect day or nighttime views in the area, resulting in a less than significant lighting impact. Glare The project would comply with Municipal Code Section 142.0730 (Glare Regulations) that require exterior materials utilized for proposed structures be limited to specific reflectivity ratings. The structures would consist of wood siding, wood shingles, adobe and concrete blocks, brick, stucco, concrete, or natural stone. The project would have a less than significant glare impact. As such, the project would not create a new source of substantial light or glare that would adversely affect day or nighttime views in the area; impacts would be less than significant.

Project Cumulative

The project would have a less than significant glare impact. As such, the project would not create a new source of substantial light or glare that would adversely affect day or nighttime views in the area; impacts would be less than significant. Based upon the above analysis, the proposed project would have no cumulative impacts.

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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6.17. MANDATORY FINDINGS OF SIGNIFICANCE – The lead agency shall find that a project may have a significant effect on the environment and thereby require an EIR to be prepared for the project where there is substantial evidence, in light of the whole record, that any of the following conditions may occur. Where prior to commencement of the environmental analysis a project proponent agrees to mitigation measures or project modifications that would avoid any significant effect on the environment or would mitigate the significant environmental effect, a lead agency need not prepare an EIR solely because without mitigation the environmental effects would have been significant (per Section 15065 of the State CEQA Guidelines):

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

Complete Communities PEIR

The Complete Communities PEIR determined that the Housing Solutions and Mobility Choices would result in significant and unavoidable impacts related to air quality; biological resources; historical, archaeological, and tribal cultural resources; hydrology/water quality; noise; public services and facilities; transportation; public utilities and infrastructure; wildfire; and visual effects and neighborhood character.

Project

As documented in this Initial Study, the project may have the potential to degrade the quality of the environment, notably with respect to Cultural Resources (Built Environment), Cultural Resources (Archaeology), and Tribal Cultural Resources. As such, mitigation measures have been incorporated to reduce impacts to less than significant as outlined within the Initial Study.

Project Cumulative

As documented in this Initial Study, the project may have the potential to degrade the quality of the environment, notably with respect to Cultural Resources (Built Environment), Cultural Resources (Archaeology), and Tribal Cultural Resources. As such, mitigation measures have been incorporated to reduce impacts to less than significant as outlined within the Initial Study. Based upon the above analysis, the proposed project would have no cumulative impacts.

b) Does the project have impacts that are individually limited but cumulatively considerable (“cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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Complete Communities PEIR

The Complete Communities PEIR determined that the Housing Solutions and Mobility Choices would result in significant and unavoidable impacts related to air quality; biological resources; historical, archaeological, and tribal cultural resources; hydrology/water quality; noise; public services and facilities; transportation; public utilities and infrastructure; wildfire; and visual effects and neighborhood character.

Project

CEQA Guidelines Section 15064(i) states that a Lead Agency shall consider whether the cumulative impact of a project is significant and whether the effects of the project are cumulatively considerable. The assessment of the significance of the cumulative effects of a project must, therefore, be conducted in connection with the effects of past projects, other current projects, and probable future projects. Cumulative environmental impacts are those impacts that by themselves are not significant, but when considered with impacts occurring from other projects in the vicinity would result in a cumulative impact. Related projects considered to have the potential of creating cumulative impacts in association with the project consist of projects that are reasonably foreseeable and that would be constructed or operated during the life of the project. The project would be located in a developed area that is largely built out. No other construction projects are anticipated in the immediate area of the project.

As documented in this Initial Study, the project may have the potential to degrade the environment as a result of Cultural Resources (Archaeology), and Tribal Cultural Resources impacts, which may have cumulatively considerable impacts when viewed in connection with the effects of other potential projects in the area. As such, mitigation measures have been identified to fully mitigate and reduce impacts to a less than significant level. Other future projects within the surrounding area would be required to comply with applicable local, State, and Federal regulations to reduce potential impacts to less than significant, or to the extent possible. As such, the project is not anticipated to contribute to potentially significant cumulative environmental impacts. Project impacts would be less than significant.

Project Cumulative

As documented in this Initial Study, the project may have the potential to degrade the quality of the environment, notably with respect to Cultural Resources (Built Environment), Cultural Resources (Archaeology), and Tribal Cultural Resources. As such, mitigation measures have been incorporated to reduce impacts to less than significant as outlined within the Initial Study. Based upon the above analysis, the proposed project would have no cumulative impacts.

- c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?
 

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Complete Communities PEIR

Issues	Potentially Significant Impact	Project Impact Adequately Addressed in the PEIR	Less Than Significant with Project-Level Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Complete Communities PEIR determined that the Housing Solutions and Mobility Choices would result in significant and unavoidable impacts related to air quality; biological resources; historical, archaeological, and tribal cultural resources; hydrology/water quality; noise; public services and facilities; transportation; public utilities and infrastructure; wildfire; and visual effects and neighborhood character.

Project

As discussed throughout this document, it is not anticipated that the construction and operation of the project would cause environmental effects that would significantly directly or indirectly impact human beings. All impacts identified as being significant have been mitigated to below a level of significance. For this reason, all environmental effects fall below the thresholds established by the City of San Diego. Impacts would be less than significant.

Project Cumulative

As documented in this Initial Study, the project may have the potential to degrade the quality of the environment, notably with respect to Cultural Resources (Built Environment), Cultural Resources (Archaeology), and Tribal Cultural Resources. As such, mitigation measures have been incorporated to reduce impacts to less than significant as outlined within the Initial Study. Based upon the above analysis, the proposed project would have no cumulative impacts.

## 7 SUPPORTING INFORMATION SOURCES

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### **Land Use**

City of San Diego General Plan  
Barrio Logan Community Plan  
Downtown Community Plan  
City of San Diego Zoning Maps

### **Air Quality**

Regional Air Quality Strategies (RAQS) - APCD

### **Biology**

City of San Diego, Multiple Species Conservation Program (MSCP), Subarea Plan, 1997  
City of San Diego, "Vegetation Communities with Sensitive Species and Vernal Pools"  
City of San Diego, MSCP, "Multiple Habitat Planning Area maps, 1997"

### **Energy**

### **Geology/Soils/Seismicity**

City of San Diego Seismic Safety Study

### **Greenhouse Gas Emissions**

Union Newton Project Climate Action Plan Consistency Checklist

### **Health and Safety**

San Diego County Hazardous Materials Environmental Assessment Listing  
FAA Determination  
Airport Land Use Compatibility Plan

### **Historical/Archaeological/Tribal Cultural Resources**

City of San Diego Historical Resources Guidelines

### **Hydrology/Water Quality**

Federal Emergency Management (FEMA), National Flood Insurance Program-Flood Boundary and Floodway Map

**Noise**

City of San Diego General Plan

**Paleontological Resources**

City of San Diego Paleontological Guidelines

**Public Services and Facilities**

City of San Diego General Plan  
Barrio Logan Community Plan  
Downtown Community Plan

**Public Utilities and Infrastructure**

City of San Diego General Plan  
Barrio Logan Community Plan  
Downtown Community Plan

**Transportation**

City of San Diego General Plan  
Barrio Logan Community Plan  
Downtown Community Plan

**Wildfire**

**Visual Effects and Neighborhood Character**

Revised: January 2022

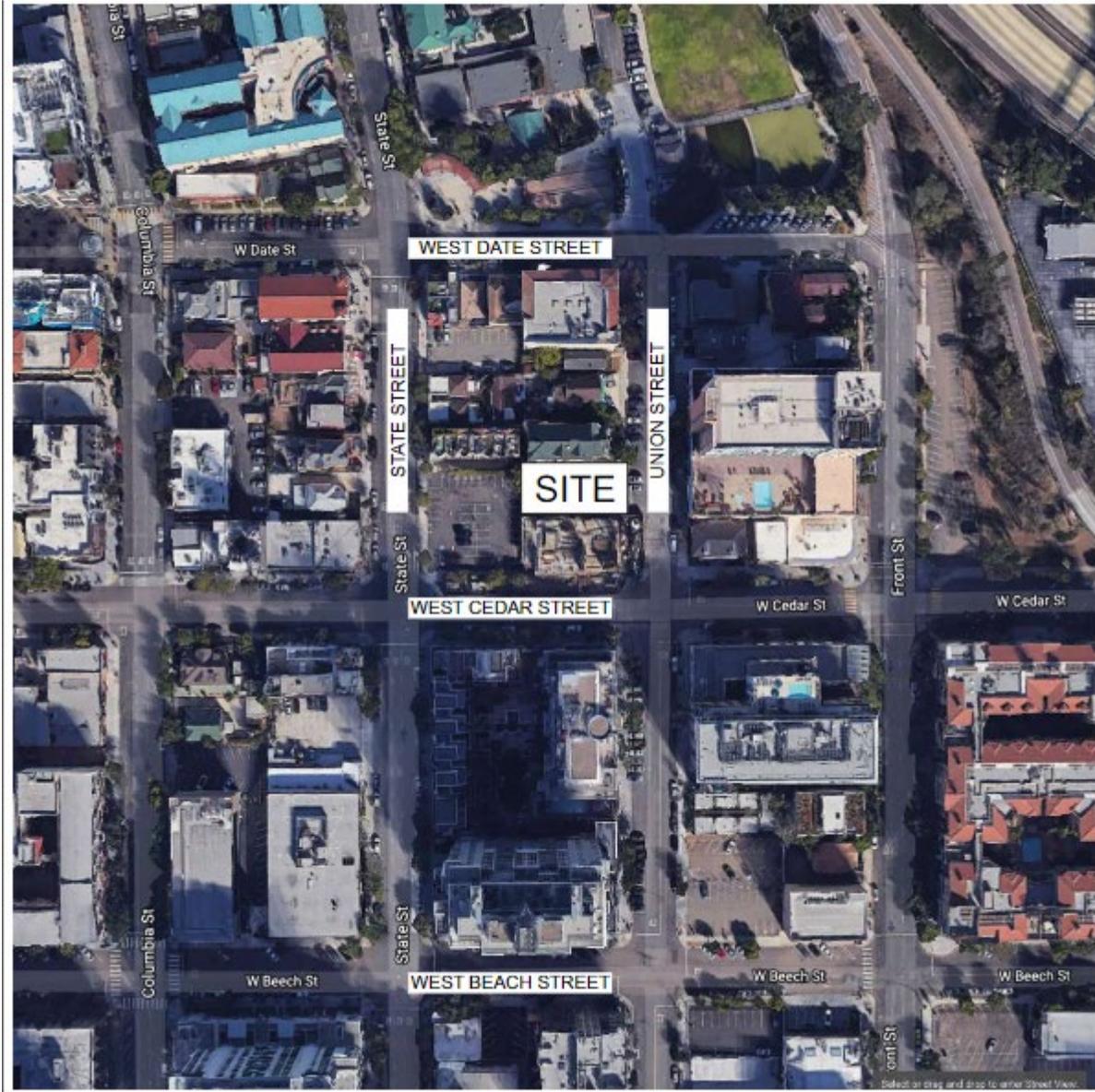
**8 LIST OF ABBREVIATED TERMS**

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*Sample*

EIR	Environmental Impact Report
MND	Mitigated Negative Declaration
Program EIR	Program Environmental Impact Report

All figures should be placed at the end of the Tiered ISMND



## Location Map -Union Site

Union Newton Sites CDP SDP/Project No. 694291  
City of San Diego – Development Services Department

**FIGURE**  
**No. 1**

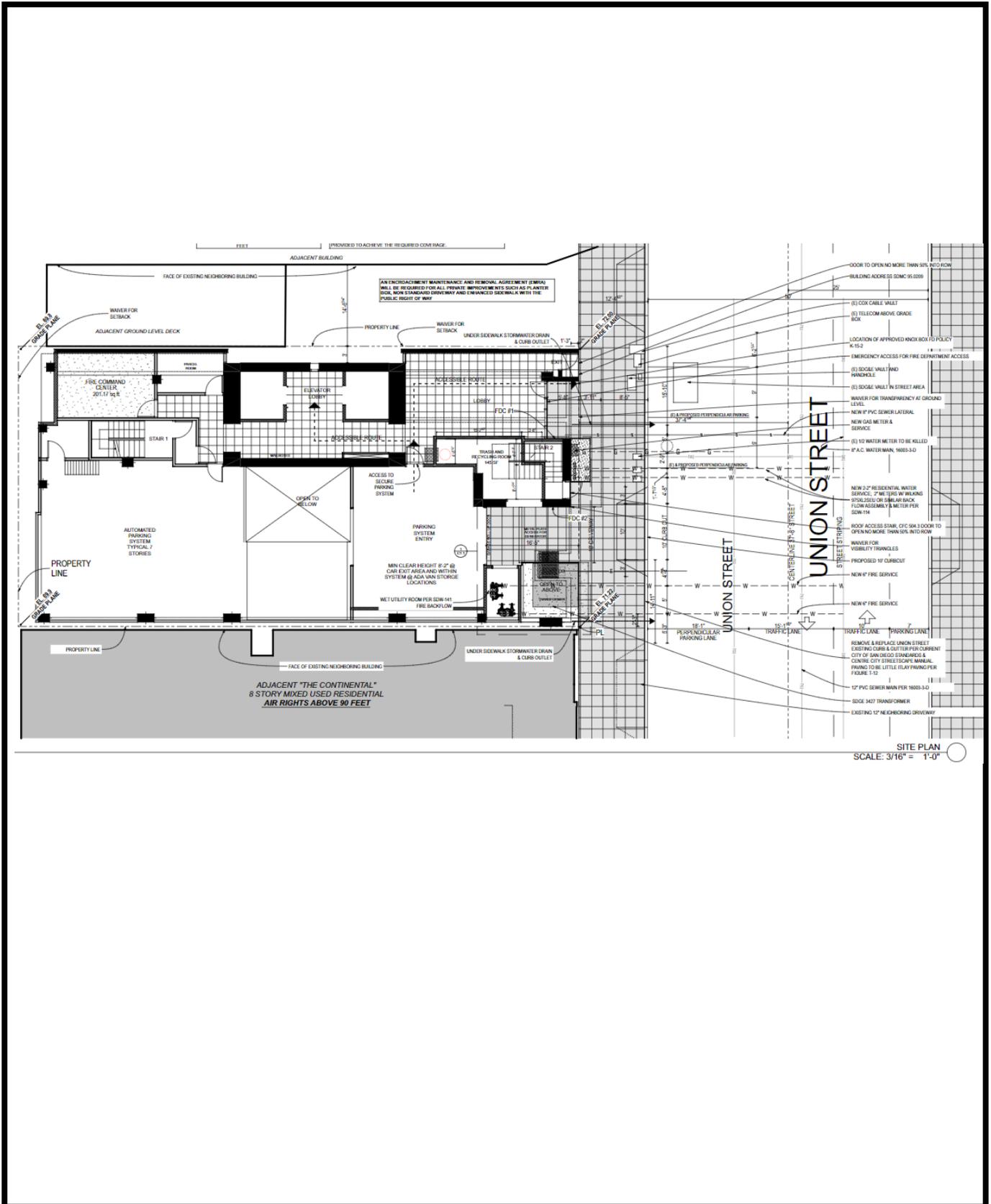


## Location Map -Newton Site

Union Newton Sites CDP SDP/Project No. 694291  
City of San Diego – Development Services Department

FIGURE

No. 2



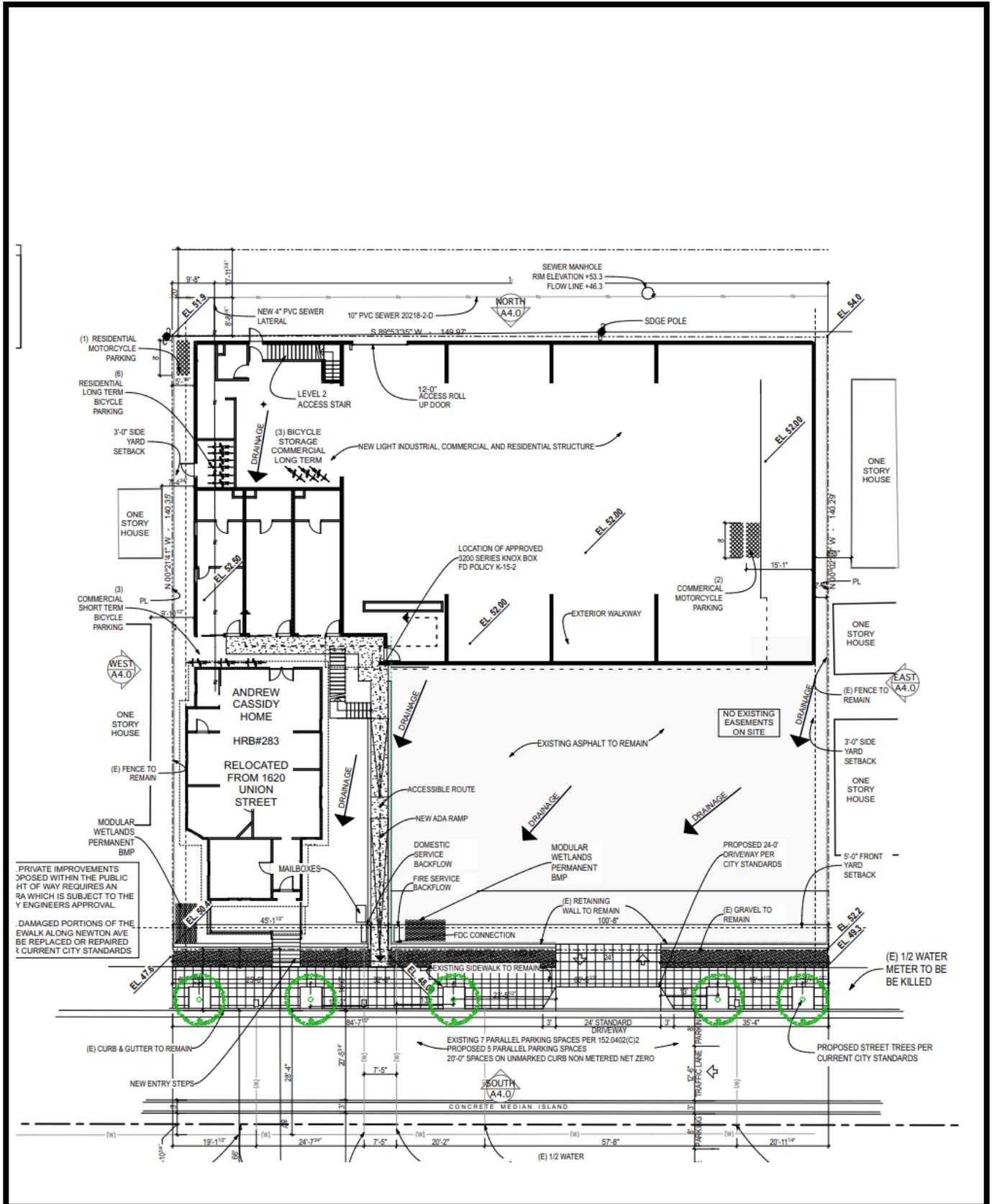
# Site Plan – Union Site

Union Newton Sites CDP SDP/Project No. 694291

City of San Diego – Development Services Department

FIGURE

No. 1



# Site Plan – Newton Site

Union Newton Sites CDP SDP/Project No. 694291

City of San Diego – Development Services Department

FIGURE

No. 3



london moeder  
advisors

Jonathan Segal FAIA & Development Company  
1620 Union Street — Little Italy, San Diego  
Economic Alternative Analysis

August 18, 2021

825 10<sup>th</sup> Avenue  
San Diego, CA 92101  
619. 269.4010

2792 Gateway Road #104  
Carlsbad, CA 92024  
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advisors

August 18, 2021

Mr. Jonathan Segal  
Jonathan Segal FAIA & Development Company

Via email: [jonathansegal@yahoo.com](mailto:jonathansegal@yahoo.com); [mrmatthewsegal@gmail.com](mailto:mrmatthewsegal@gmail.com)

## 1620 Union Street – Economic Alternative Analysis

Jonathan Segal FAIA & Development Company is currently in the entitlement phase of redeveloping a 5,015 square-foot parcel that currently houses a single-family home, considered of historical significance by the City of San Diego. The site is located at 1620 Union Street (“Subject Site”), between W. Date Street to the north and W. Cedar Street to the south in what is considered the Little Italy neighborhood of Downtown San Diego.

London Moeder Advisors has completed an economic analysis of various development alternatives for the property. The purpose of this analysis is to analyze the Proposed Project and the financial impacts and economic feasibility of the development alternatives. For the City’s assessment of whether there is substantial evidence to support a Site Development Permit’s Supplemental Findings for a Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource pursuant to (i) Supplemental Findings--Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource or Within a Historical District A Site Development Permit required in accordance with San Diego Municipal Code Section 125.0505(i), our report concludes the following:

1. There are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource or historical district.
2. The deviation is the minimum necessary to afford relief and accommodate the development and all feasible measures to mitigate for the loss of any portion of the historical resource that have been provided by the applicant.
3. The denial of the proposed development would result in economic hardship to the owner. For purposes of this finding, “economic hardship” means there is no reasonable beneficial use of a property, and it is not financially feasible to derive a reasonable economic return from the property.

We have analyzed the Proposed Project and two development alternatives for the property, which include:

- ➔ **Proposed Project (Rehabilitate & Relocate):** Rehabilitate the existing 1,470 square-foot historic structure and relocate it to an alternative site; then, construct a 23-level residential building consisting of 73 units (8 rent-restricted inclusionary units and 65 market-rate units), a ground floor lobby, and eight levels of above ground parking (70 spaces).
- ➔ **Alternative 1 (Rehabilitate & Maintain):** Rehabilitate the existing 1,470 square-foot historic structure and maintain it as a single-family home rental. Compared to the proposed project, this alternative is a less environmentally damaging alternative that can further minimize the

potential adverse effects on the designated historical resource because it proposes the rehabilitation of the historic structure and no new development on the Subject Site.

- ➔ **Alternative 2 (Rehabilitate & Integrate into Development)**: Remove approximately 51.4% of the 1,470 square-foot historic structure to accommodate new development on the remainder of the parcel. Then, rehabilitate the remaining 756 square-feet of the historic structure, maintain it as a single-family home rental, and construct a new eight-level residential building consisting of 46 units (6 rent-restricted inclusionary units and 40 market-rate units) while integrating the existing structure. Compared to the proposed project, this alternative is a less environmentally damaging alternative that can further minimize the potential adverse effects on the designated historical resource because it proposes rehabilitation of the historic structure and its integration into the proposed new development.

## Conclusions of Economic Feasibility

We analyzed the project performance of the Proposed Project for the property. The Proposed Project includes construction of a ground floor lobby and 23 levels of residential units including eight levels of parking. The average rentable area of the residential units is 719 square feet.

We have assumed a 12-month construction period with the lease up of residential units commencing immediately after completion, including two months of pre-leasing. The project will be sold after a 10-year holding period.

We have determined that only the Proposed Project is economically feasible. This project is estimated to generate a Net Operating Income ("NOI") at stabilization of \$2,051,220, which when compared to the total costs of the project (\$36,482,633) represents a Yield on Cost ("YOC") of 5.6%.

Based on performing feasibility analyses and consulting services on hundreds of real estate projects, it is our experience that a residential redevelopment project in the current market requires the YOC spread over existing cap rates to be 1.5% to be economically feasible and to qualify for project financing. Meaning if cap rates are approximately 4% for residential projects the targeted minimum YOC is 5.5%.

The internal rate of return ("IRR") of the Proposed Project is forecasted to be 18.4%. This also demonstrates that the project is economically feasible. The typical minimum IRR for rental housing projects in today's market ranges from 13% to 15%. Any IRR below this range would struggle to attract investors and achieve project financing.

The table on the following page summarizes the impacts to the Proposed Project under each of the two alternatives. None of the alternatives achieve the required minimum YOC or IRR, which demonstrates these alternatives are not economically feasible.



Summary of Scenarios 1620 Union Street - Little Italy, Downtown San Diego, CA																																	
<p style="text-align: center;"><b>Proposed Project</b> <i>Rehab. &amp; Relocate Historic Structure</i></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td colspan="2"><i>Development Summary</i></td></tr> <tr><td># Units:</td><td style="text-align: right;">73</td></tr> <tr><td>Total Rentable S.F.</td><td style="text-align: right;">52,462</td></tr> <tr><td>Total Gross S.F.</td><td style="text-align: right;">109,546</td></tr> <tr><td>Total Net Development Profit</td><td style="text-align: right;">\$35,039,187</td></tr> <tr><td>Yield on Cost</td><td style="text-align: right;">5.6%</td></tr> <tr><td>IRR</td><td style="text-align: right;">18.4%</td></tr> </table>	<i>Development Summary</i>		# Units:	73	Total Rentable S.F.	52,462	Total Gross S.F.	109,546	Total Net Development Profit	\$35,039,187	Yield on Cost	5.6%	IRR	18.4%	<p style="text-align: center;"><b>Alternative 1</b> <i>Rehab. &amp; Maintain Historic Structure</i></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td colspan="2"><i>Development Summary</i></td></tr> <tr><td># Units:</td><td style="text-align: right;">1</td></tr> <tr><td>Total Rentable S.F.</td><td style="text-align: right;">1,470</td></tr> <tr><td>Total Gross S.F.</td><td style="text-align: right;">1,470</td></tr> <tr><td>Total Net Development Profit</td><td style="text-align: right;">(\$1,206,349)</td></tr> <tr><td>Difference From Base Project (\$)</td><td style="text-align: right;">-\$36,245,536</td></tr> <tr><td>Difference From Base Project (%)</td><td style="text-align: right;">-103.4%</td></tr> <tr><td>Yield on Cost</td><td style="text-align: right;">1.4%</td></tr> <tr><td>IRR</td><td style="text-align: right;">-</td></tr> </table>	<i>Development Summary</i>		# Units:	1	Total Rentable S.F.	1,470	Total Gross S.F.	1,470	Total Net Development Profit	(\$1,206,349)	Difference From Base Project (\$)	-\$36,245,536	Difference From Base Project (%)	-103.4%	Yield on Cost	1.4%	IRR	-
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Yield on Cost	5.6%																																
IRR	18.4%																																
<i>Development Summary</i>																																	
# Units:	1																																
Total Rentable S.F.	1,470																																
Total Gross S.F.	1,470																																
Total Net Development Profit	(\$1,206,349)																																
Difference From Base Project (\$)	-\$36,245,536																																
Difference From Base Project (%)	-103.4%																																
Yield on Cost	1.4%																																
IRR	-																																
<p style="text-align: center;"><b>Alternative 2</b> <i>Rehabilitate &amp; Intigrate Historic Structure</i></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td colspan="2"><i>Development Summary</i></td></tr> <tr><td># Units:</td><td style="text-align: right;">47</td></tr> <tr><td>Total Rentable S.F.</td><td style="text-align: right;">17,847</td></tr> <tr><td>Total Gross S.F.</td><td style="text-align: right;">26,026</td></tr> <tr><td>Total Net Development Profit</td><td style="text-align: right;">\$6,853,506</td></tr> <tr><td>Difference From Base Project (\$)</td><td style="text-align: right;">-\$28,185,681</td></tr> <tr><td>Difference From Base Project (%)</td><td style="text-align: right;">-80.4%</td></tr> <tr><td>Yield on Cost</td><td style="text-align: right;">4.2%</td></tr> <tr><td>IRR</td><td style="text-align: right;">8.9%</td></tr> </table>		<i>Development Summary</i>		# Units:	47	Total Rentable S.F.	17,847	Total Gross S.F.	26,026	Total Net Development Profit	\$6,853,506	Difference From Base Project (\$)	-\$28,185,681	Difference From Base Project (%)	-80.4%	Yield on Cost	4.2%	IRR	8.9%														
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**Alternative 1** is not economically feasible. Under this alternative there is no construction of additional residential units. When rehabilitation of the existing structure is complete, the single-family home rental will generate a NOI of \$29,066. When compared to the high cost of land (\$1,800,000) the reduction in revenue producing units is unable to support the total project costs. With total project costs of \$2,053,986 (including \$200,000 in renovations and repairs), the resulting YOC is 1.4%. This is below the 5.5% YOC threshold required. The total profit in this alternative is also reduced by approximately \$36.2 million (-103.4%) compared to the Proposed Project. In addition, the NOI generated by the project is unable to support the estimated annual debt service of \$67,043, resulting in an economic loss to the developer.

**Alternative 2** is not economically feasible. Due to the confined nature of the Subject Site, it is physically challenging to integrate the historical structure into a new development, resulting in a 10% increase in direct construction costs. Additionally, the resulting development includes 46 residential units, a reduction of 27 units when compared to the Proposed Project. When compared to the cost of construction and acquisition, this reduction in revenue producing units is unable to support the total project costs (\$14,300,058). With an estimated NOI at stabilization of \$593,826 compared to the total project costs, the resulting YOC is 4.2%. This is below the 5.5% YOC threshold required. The total profit in this alternative is also reduced by approximately \$28.2 million (-80.4%) compared to the Proposed Project. In addition, the IRR for this alternative is only 8.9%, which is below the minimum targeted IRR of 13% to 15%.

## Approach to Analysis

To determine the impact to the project, we prepared financial proformas for the five alternatives and compared the performances to the Proposed Project proforma. In each proforma, we assumed the following:

- Construction period of 12 months for the Proposed Project and Alternative 2 and 6 months for Alternative 1.
- Rental residential units begin leasing immediately after construction is completed with two months of pre-leasing.
- Construction costs are provided by the developer based on similar projects and construction types.
- Rental rates and revenues were provided by the developer with cross-reference by our survey of market rents for competitive projects in the area.
- Residential rental units are estimated to stabilize at approximately a 5% vacancy rate.
- Lease rates will increase on average 3% per year.
- The following summarizes the financial proformas we have prepared for analyzing the project, which are included in the [Appendix](#).

## Proposed Project

The Proposed Project includes rehabilitation of the existing historic structure, relocation to an alternative site, renting as a 1,470 square-foot single-family home and the construction of a ground floor lobby and 23 levels of residential units (8 rent-restricted inclusionary units and 65 market-rate units) including eight levels of parking. The single-family home rental is assumed to be leased immediately after rehabilitation is complete. The 73 residential units are to begin leasing after construction is complete with two months of pre-leasing. The project is to be sold after a 10-year holding period.

The 73 residential units and the single-family home rental include an average of 719 and 1,470 square feet of rentable residential space, respectively. There will be a total of 70 parking spaces included in the parking levels of the building.

When the 73 residential units are leased after construction is completed, the forecasted average rent is estimated to be \$2,882, or \$4.01 per square foot of usable space (2021 dollars). The 1,470 square-foot single-family home is estimated to rent at \$3,500, or \$2.38 per square foot (2021 dollars).

The total gross profit generated from this investment is forecasted to be \$35,039,187. In addition, this project is estimated to generate an NOI at stabilization of \$2,051,220, which when compared to the total costs of the project represents a YOC of 5.6%, which satisfies the minimum requirement of 5.5% for project feasibility.

The IRR of the investment is forecasted to be 18.4%. This also demonstrates that the project is economically feasible. The typical minimum IRR for rental housing projects ranges from 13% to 15%. Any IRR below this range would struggle to attract investors and achieve project financing.

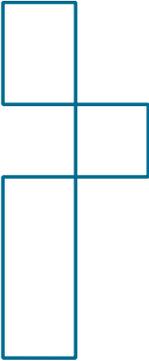
## Alternative 1 – Rehabilitate & Maintain the Historic Structure

Alternative 1 includes rehabilitation of the existing historic structure and renting the structure as a 1,470 square foot single-family home. The single-family home rental is assumed to be leased immediately after rehabilitation is complete. The project is to be sold after a 10-year holding period.

When the single-family home is leased after rehabilitation is completed, the forecasted rent is estimated to be \$4,000, or \$2.72 per square foot of rentable space (2021 dollars).

The forecasted sale price for the entire project is \$896,031. Total project costs are forecasted at \$2,053,986 (including \$200,000 of renovations and repairs).

When rehabilitation is complete the estimated NOI of \$29,066 cannot support the forecasted annual debt service of \$67,043, resulting in recurring negative cash flow to the developer. This translates to a total economic loss of \$1,206,349. This is the first indication that the project is not economically feasible. When compared to the total profit of the Proposed Project, this represents a reduction of \$36,245,536 (103.4% reduction).



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To further illustrate the infeasibility of Alternative 1, the forecasted YOC (1.4%) does not meet the minimum required of 5.5% to be economically feasible.

## Alternative 2 – Rehabilitate and Integrate the Historic Structure

Alternative 2 includes removal of 51.4% of the 1,470 square-foot historic structure, rehabilitation of the remaining 756 square-foot historic structure and construction of eight levels of residential units (6 rent-restricted inclusionary units and 40 market-rate units). The existing structure and the newly constructed residential building would be integrated into the same overall project. The 46 residential units are to begin leasing after construction is complete with two months of pre-leasing. The single-family home rental is assumed to be leased immediately after rehabilitation is complete. The project is to be sold after a 10-year holding period.

The 46 residential units and the single-family home rental include an average of 372 and 756 square feet of rentable residential space, respectively.

When the 46 residential units are leased after construction is completed, the forecasted average rent is estimated to be \$1,605, or \$4.32 per square foot of rentable space (2021 dollars). The 756 square-foot single-family home is estimated to rent at \$2,500, or \$3.31 per square foot (2021 dollars).

The forecasted sale price for the entire project is \$17,479,285. Total project costs are forecasted at \$14,300,058.

With a total forecasted profit at disposition of \$6,853,506, Alternative 2 would generate approximately \$28.2 million less total profit than the Proposed Project (80.4% reduction). More importantly, the project is not economically feasible because the forecasted YOC (4.2%) does not meet the minimum required of 5.5% to be economically feasible.

To further illustrate the infeasibility of Alternative 2, the IRR of this project is forecasted to be 8.9%. This also demonstrates that the project is infeasible because an IRR below 13% to 15% will struggle to attract investors and qualify for project financing.

Should you have any questions regarding this analysis, please feel free to contact our firm.

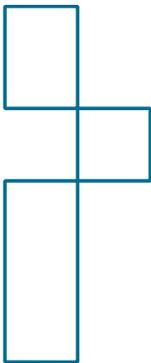
Sincerely,



Gary H. London



Nathan Moeder



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**Appendix**

**GENERAL ASSUMPTIONS**

Current Year	2021
Construction Start	2022
Hard Cost Escalation	0.0%
Impact Fees Escalation	0.0%
Construction Period	12 months
Op. Ex. Per Unit	\$550
Op. Ex. Inflation	2.0%
Revenue Inflation (Market Rate)	3.0%
Revenue Inflation (Affordable)	3.0%
Revenue Inflation (Other Income)	2.0%

**HOLDING & DISPOSITION**

Holding Period:	10 Years
Cap Rate @ Refi/Sale (Residential):	4.50%
Cap Rate @ Refi/Sale (Retail):	5.50%
Commissions & Closing Costs:	1.50%
Value at Time of Sale (Year 10)	\$59,073,373
Asset Value PSF	\$539

**BUILDING ASSUMPTIONS**

Total # of Units	73
Units Per Net Acre (Pad)	634.1
FAR (incl. parking)	21.8
Residential Gross S.F.	89,546
Ground Floor Lobby/Equipment	Incl.
Parking S.F.	20,000
Gross Building Area	109,546
Net Rentable Area (Residential)	58.6% Efficiency 52,462
Net Rentable Area (Retail)	100% Efficiency 0
Total Net Rentable Area	52,462

**Parking -**

Parking Spaces	70
Monthly Parking Rent	\$200 per space

**Storage Units -**

Storage Units	35
Monthly Storage Rent	\$90 per unit

**FINANCING**

<b>Construction Financing:</b>	
Loan Amount	\$22,801,645
Loan to Cost	62.5%
Interest Rate	3.8%
Term (Months)	24
<b>Refinance:</b>	
Refinance at End of Year:	2
Permanent Loan Amount	\$28,261,252
Less: Construction Loan	(\$22,801,645)
Less: Loan Fees	0.50% (\$141,306)
Net Proceeds From Refinance	\$5,318,300
<b>Permanent Loan Info:</b>	
Loan Amount	\$28,261,252
Amortization	30
Interest Rate	3.25%
Annual Debt Service	\$1,475,937
Next Year NOI @ Refi	\$2,051,220
Value at Refi	\$45,582,665
Loan To Value	62.0%
Debt Coverage Ratio	1.39
Debt Yield	7.26%

**PROJECT LAND VALUE**

Land S.F.	5,015
Land Acres	0.12
Land Value	\$1,800,000
\$/Unit	\$24,658

**PROJECT SUMMARY**

Residential					Base Rents	
Market Rate	# of Units	% of Mix	Residential Unit Size	Total Net Usable	Monthly Rent	\$/S.F. Rent
<b>Subtotal Mixed Units</b>	<b>65</b>	<b>100%</b>	<b>728</b>	<b>47,327</b>	<b>\$3,150</b>	<b>\$4.33</b>
<b>Affordable Units</b>						
Studio - Very Low	1	12.5%	310	310	\$635	\$2.05
1 Bed - Very Low	1	12.5%	565	565	\$660	\$1.17
1 Bed - Low	2	25.0%	565	1,130	\$661	\$1.17
1 Bed - Moderate	2	25.0%	565	1,130	\$662	\$1.17
2 Bed - Very Low	1	12.5%	1,000	1,000	\$790	\$0.79
2 Bed - Low	1	12.5%	1,000	1,000	\$910	\$0.91
<b>Subtotal</b>	<b>8</b>	<b>100.0%</b>	<b>642</b>	<b>5,135</b>	<b>\$705</b>	<b>\$1.10</b>
<b>Total</b>	<b>73</b>		<b>719</b>	<b>52,462</b>	<b>\$2,882</b>	<b>\$4.01</b>
<b>Historic Home</b>						
Net Rentable Area				1,470		
Monthly Rent				\$3,500		
\$ per SF				\$2.38		
<b>Retail</b>						
Retail S.F. (Gross)				0		
Retail S.F. (Net)				0		
Stabilized Occupancy		100%				
Stabilized Occupied S.F.				0		
Monthly Rent PSF (NNN - Base)				\$3.00		
Rental Rate Inflation				3.0%		
<b>Average Daily Trips</b>						
Retail		40 /1,000 SF		0		
<b>Total</b>				<b>0</b>		

**CONSTRUCTION COST SUMMARY**

	Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs	\$1,800,000	\$24,658	\$16.43	\$34.31
Predevelopment	\$785,000	\$10,753	\$7.17	\$14.96
Hard Costs	\$25,968,690	\$355,735	\$237.06	\$495.00
Soft Costs	\$5,193,738	\$71,147	\$47.41	\$99.00
Finance & Contingency	\$2,735,205	\$37,469	\$24.97	\$52.14
<b>Total Costs</b>	<b>\$36,482,633</b>	<b>\$499,762</b>	<b>\$333.03</b>	<b>\$695.41</b>
Less: Loan Amount	(\$22,801,645)	(\$312,351)	(\$208.15)	(\$5.95)
Initial Investment:	\$13,680,987	\$187,411	\$124.89	\$260.78

**INVESTMENT PERFORMANCE**

Stabilized NOI	Year 3	\$2,051,220
Total Project Costs		\$36,482,633
<b>Stabilized Yield On Cost</b>		<b>5.6%</b>
	<b>Return on Equity</b>	<b>Cash Flow</b>
Initial		(\$13,680,987)
Year 1		0.0%
Year 2		51.8%
Year 3		4.2%
Year 4		4.7%
Year 5		5.2%
Year 6		5.7%
Year 7		6.3%
Year 8		6.8%
Year 9		7.4%
Year 10		263.9%
<b>Total Profit</b>		<b>\$35,039,187</b>
<b>Before Tax IRR</b>		<b>18.4%</b>

Market Rate Units	65
Affordable Units	8
Total # of Units	73
Residential Gross S.F.	89,546
Ground Floor Lobby/Equipment	Incl.
Gross Building Area (excl. parking)	89,546
Parking S.F.	20,000
Gross Building Area	109,546
Net Rentable Area (Residential)	52,462
Net Rentable Area (Retail)	0
Total Net Rentable Area	52,462
Parking Spaces	70

		Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs		\$1,800,000	\$24,658	\$16.43	\$34.31
<b>Predevelopment</b>					
Site Work	incl.	\$0	\$0	\$0.00	\$0.00
Historical Preservation		\$200,000	\$2,740	\$1.83	\$3.81
Structure Relocation		\$85,000	\$1,164	\$0.78	\$1.62
Off-Site Land Costs		\$500,000	\$6,849	\$4.56	\$9.53
Predevelopment Subtotal		\$785,000	\$10,753	\$7.17	\$14.96
<b>Hard Costs</b>					
Hard Costs (Residential)		\$25,968,690	\$355,735	\$237.06	\$495.00
Parking	incl.	\$0	\$0	\$0.00	\$0.00
Hard Costs Subtotal		\$25,968,690	\$355,735	\$237.06	\$495.00
<b>Soft Costs</b>					
Soft Costs Subtotal	20%	\$5,193,738	\$71,147	\$47.41	\$99.00
<b>Finance &amp; Contingency</b>					
Contingency	5.0%	\$1,597,371	\$24,575	\$14.58	\$30.45
Construction Loan Interest		\$911,233	\$14,019	\$8.32	\$17.37
Loan Fee	1.0%	\$226,600	\$3,486	\$2.07	\$4.32
Finance & Contingency Subtotal		\$2,735,205	\$37,469	\$24.97	\$52.14
<b>Total Project Costs</b>		<b>\$36,482,633</b>	<b>\$499,762</b>	<b>\$333.03</b>	<b>\$695.41</b>
Total Project Costs (Excl. Land)		<b>\$34,682,633</b>	<b>\$475,105</b>	<b>\$316.60</b>	<b>\$661.10</b>



**GENERAL ASSUMPTIONS**

Current Year	2021
Construction Start	2022
Hard Cost Escalation	0.0%
Impact Fees Escalation	0.0%
Construction Period	6 months
Op. Ex. Per Unit	\$125
Op. Ex. Inflation	2.0%
Revenue Inflation (Market Rate)	3.0%
Revenue Inflation (Affordable)	3.0%
Revenue Inflation (Other Income)	2.0%

**HOLDING & DISPOSITION**

Holding Period:	10 Years
Cap Rate @ Refi/Sale (Residential):	4.50%
Cap Rate @ Refi/Sale (Retail):	5.50%
Commissions & Closing Costs:	1.50%
Value at Time of Sale (Year 10)	\$896,031
Asset Value PSF	\$610

**BUILDING ASSUMPTIONS**

Total # of Units	1
Units Per Net Acre (Pad)	8.7
FAR (incl. parking)	0.3
Residential Gross S.F.	1,470
Ground Floor Lobby/Equipment	Incl.
Parking S.F.	0
Gross Building Area	1,470
Net Rentable Area (Residential)	100.0% Efficiency 1,470
Net Rentable Area (Retail)	100% Efficiency 0
Total Net Rentable Area	1,470
<b>Parking -</b>	
Parking Spaces	0
Monthly Parking Rent	\$200 per space
<b>Storage Units -</b>	
Storage Units	0
Monthly Storage Rent	\$90 per unit

**FINANCING**

<b>Construction Financing:</b>	
Loan Amount	\$1,283,741
Loan to Cost	62.5%
Interest Rate	3.8%
Term (Months)	12
<b>Refinance:</b>	
Refinance at End of Year:	1
Permanent Loan Amount	\$0
Less: Construction Loan	\$0
Less: Loan Fees	0.50% \$0
Net Proceeds From Refinance	\$0
<b>Permanent Loan Info:</b>	
Loan Amount	\$1,283,741
Amortization	30
Interest Rate	3.25%
Annual Debt Service	\$67,043
Next Year NOI @ Refi	\$29,066
Value at Refi	-
Loan To Value	-
Debt Coverage Ratio	0.43
Debt Yield	2.26%

**PROJECT LAND VALUE**

Land S.F.	5,015
Land Acres	0.12
Land Value	\$1,800,000
\$/Unit	\$1,800,000

**PROJECT SUMMARY**

Residential					Base Rents	
Market Rate	# of Units	% of Mix	Residential Unit Size	Total Net Usable	Monthly Rent	\$/S.F. Rent
Historic Single-Family Home	1	100%	1,470	1,470	\$4,000	\$2.72
<b>Affordable Units</b>						
Studio - Very Low	0	-	1,470	0	\$635	
Subtotal	0	0.0%	0	0	\$0	
<b>Total</b>	<b>1</b>		<b>1,470</b>	<b>1,470</b>	<b>\$4,000</b>	<b>\$2.72</b>
<b>Retail</b>						
Retail S.F. (Gross)				0		
Retail S.F. (Net)				0		
Stabilized Occupancy				100%		
Stabilized Occupied S.F.				0		
Monthly Rent PSF (NNN - Base)				\$3.00		
Rental Rate Inflation				3.0%		
<b>Average Daily Trips</b>						
Retail	40 /1,000 SF			0		
<b>Total</b>				<b>0</b>		

**CONSTRUCTION COST SUMMARY**

	Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs	\$1,800,000	\$1,800,000	\$1,224.49	\$1,224.49
Predevelopment	\$200,000	\$200,000	\$136.05	\$136.05
Hard Costs	\$0	\$0	\$0.00	\$0.00
Soft Costs	\$10,000	\$10,000	\$6.80	\$6.80
Finance & Contingency	\$43,986	\$43,986	\$29.92	\$29.92
<b>Total Costs</b>	<b>\$2,053,986</b>	<b>\$2,053,986</b>	<b>\$1,397.27</b>	<b>\$1,397.27</b>
Less: Loan Amount	(\$1,283,741)	(\$1,283,741)	(\$873.29)	(\$873.29)
Initial Investment:	\$770,245	\$770,245	\$523.98	\$523.98

**INVESTMENT PERFORMANCE**

Stabilized NOI	Year 2	\$29,066
Total Project Costs		\$2,053,986
<b>Stabilized Yield On Cost</b>		<b>1.4%</b>
	<b>Return on Equity</b>	<b>Cash Flow</b>
Initial		(\$770,245)
Year 1	0.0%	\$0
Year 2	-4.9%	(\$37,977)
Year 3	-4.8%	(\$36,887)
Year 4	-4.6%	(\$35,759)
Year 5	-4.5%	(\$34,593)
Year 6	-4.3%	(\$33,388)
Year 7	-4.2%	(\$32,142)
Year 8	-4.0%	(\$30,853)
Year 9	-3.8%	(\$29,521)
Year 10	-21.4%	(\$164,983)
<b>Total Profit Before Tax IRR</b>		<b>(\$1,206,349)</b>
		<b>-</b>

Market Rate Units	1
Affordable Units	0
Total # of Units	1
Residential Gross S.F.	1,470
Ground Floor Lobby/Equipment	Incl.
Gross Building Area (excl. parking)	1,470
Parking S.F.	0
Gross Building Area	1,470
Net Rentable Area (Residential)	1,470
Net Rentable Area (Retail)	0
Total Net Rentable Area	1,470
Parking Spaces	0

		Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs		\$1,800,000	\$1,800,000	\$1,224.49	\$1,224.49
<b>Predevelopment</b>					
Site Work		\$0	\$0	\$0.00	\$0.00
Historical Preservation		\$200,000	\$200,000	\$136.05	\$136.05
Structure Relocation		\$0	\$0	\$0.00	\$0.00
Off-Site Land Costs		\$0	\$0	\$0.00	\$0.00
Predevelopment Subtotal		\$200,000	\$200,000	\$136.05	\$136.05
<b>Hard Costs</b>					
Hard Costs (Residential)		\$0	\$0	\$0.00	\$0.00
Parking	Incl.	\$0	\$0	\$0.00	\$0.00
Hard Costs Subtotal		\$0	\$0	\$0.00	\$0.00
<b>Soft Costs</b>					
Soft Costs Subtotal	5%	\$10,000	\$10,000	\$6.80	\$6.80
<b>Finance &amp; Contingency</b>					
Contingency	2.5%	\$5,250	\$5,250	\$3.57	\$3.57
Construction Loan Interest		\$25,978	\$25,978	\$17.67	\$17.67
Loan Fee	1.0%	\$12,758	\$12,758	\$8.68	\$8.68
Finance & Contingency Subtotal		\$43,986	\$43,986	\$29.92	\$29.92
<b>Total Project Costs</b>		<b>\$2,053,986</b>	<b>\$2,053,986</b>	<b>\$1,397.27</b>	<b>\$1,397.27</b>
Total Project Costs (Excl. Land)		<b>\$253,986</b>	<b>\$253,986</b>	<b>\$172.78</b>	<b>\$172.78</b>



**GENERAL ASSUMPTIONS**

Current Year	2021
Construction Start	2022
Hard Cost Escalation	0.0%
Impact Fees Escalation	0.0%
Construction Period	12 months
Op. Ex. Per Unit	\$400
Op. Ex. Inflation	2.0%
Revenue Inflation (Market Rate)	3.0%
Revenue Inflation (Affordable)	3.0%
Revenue Inflation (Other Income)	2.0%

**HOLDING & DISPOSITION**

Holding Period:	10 Years
Cap Rate @ Refi/Sale (Residential):	4.50%
Cap Rate @ Refi/Sale (Retail):	5.50%
Commissions & Closing Costs:	1.50%
Value at Time of Sale (Year 10)	\$17,479,285
Asset Value PSF	\$692

**BUILDING ASSUMPTIONS**

Total # of Units	46
Units Per Net Acre (Pad)	399.6
FAR (incl. parking)	5.0
Residential Gross S.F.	25,270
Ground Floor Lobby/Equipment	Incl.
Parking S.F.	0
Gross Building Area	25,270
Net Rentable Area (Residential)	67.6% Efficiency 17,091
Net Rentable Area (Retail)	100% Efficiency 0
Total Net Usable Area	17,091
<b>Parking -</b>	
Parking Spaces	0
Monthly Parking Rent	\$200 per space
<b>Storage Units -</b>	
Storage Units	0
Monthly Storage Rent	\$90 per unit

**FINANCING**

<b>Construction Financing:</b>	
Loan Amount	\$8,937,536
Loan to Cost	62.5%
Interest Rate	3.8%
Term (Months)	24
<b>Refinance:</b>	<b>Take-Out Refi</b>
Refinance at End of Year:	2
Permanent Loan Amount	\$8,181,606
Less: Construction Loan	(\$8,937,536)
Less: Loan Fees	0.50% (\$40,908)
Net Proceeds From Refinance	(\$796,839)
<b>Permanent Loan Info:</b>	
Loan Amount	\$8,181,606
Amortization	30
Interest Rate	3.25%
Annual Debt Service	\$427,282
Next Year NOI @ Refi	\$593,826
Value at Refi	\$13,196,138
Loan To Value	62.0%
Debt Coverage Ratio	1.39
Debt Yield	7.26%

**PROJECT LAND VALUE**

Land S.F.	5,015
Land Acres	0.12
Land Value	\$1,800,000
\$/Unit	\$39,130

**PROJECT SUMMARY**

Residential					Base Rents	
					Monthly Rent	\$/S.F. Rent
<b>Market Rate</b>	<b># of Units</b>	<b>% of Mix</b>	<b>Residential Unit Size</b>	<b>Total Net Usable</b>		
Subtotal Mixed Units	40	100%	372	14,862	\$1,750	\$4.71
<b>Affordable Units</b>						
Studio - Very Low	6	100.0%	372	2,229	\$635	\$1.71
Subtotal	6	100.0%	372	2,229	\$635	\$1.71
<b>Total</b>	<b>46</b>		<b>372</b>	<b>17,091</b>	<b>\$1,605</b>	<b>\$4.32</b>
<b>Historic Home</b>						
Net Rentable Area				756		
Monthly Rent				\$2,500		
\$ per SF				\$3.31		
<b>Retail</b>						
Retail S.F. (Gross)				0		
Retail S.F. (Net)				0		
Stabilized Occupancy		100%				
Stabilized Occupied S.F.				0		
Monthly Rent PSF (NNN - Base)				\$3.00		
Rental Rate Inflation				3.0%		

**Average Daily Trips**

Retail	40 /1,000 SF	0
<b>Total</b>		<b>0</b>

**CONSTRUCTION COST SUMMARY**

	Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs	\$1,800,000	\$39,130	\$71.23	\$105.32
Predevelopment	\$200,000	\$4,348	\$7.91	\$11.70
Hard Costs	\$9,400,050	\$204,349	\$371.98	\$550.00
Soft Costs	\$1,880,010	\$40,870	\$74.40	\$110.00
Finance & Contingency	\$1,019,998	\$22,174	\$40.36	\$59.68
<b>Total Costs</b>	<b>\$14,300,058</b>	<b>\$310,871</b>	<b>\$565.89</b>	<b>\$836.70</b>
Less: Loan Amount	(\$8,937,536)	(\$194,294)	(\$353.68)	(\$11.37)
Initial Investment:	\$5,362,522	\$116,577	\$212.21	\$313.76

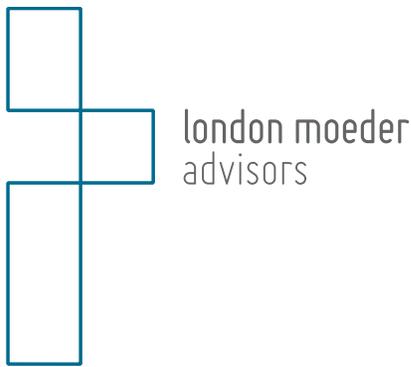
**INVESTMENT PERFORMANCE**

Stabilized NOI	Year 3	\$593,826
Total Project Costs		\$14,300,058
<b>Stabilized Yield On Cost</b>		<b>4.2%</b>
	<b>Return on Equity</b>	<b>Cash Flow</b>
Initial		(\$5,362,522)
Year 1	0.0%	\$0
Year 2	-5.0%	(\$265,516)
Year 3	3.1%	\$166,544
Year 4	3.5%	\$187,968
Year 5	3.9%	\$210,107
Year 6	4.3%	\$232,983
Year 7	4.8%	\$256,621
Year 8	5.2%	\$281,045
Year 9	5.7%	\$306,279
Year 10	202.1%	\$10,839,997
<b>Total Profit</b>		<b>\$6,853,506</b>
<b>Before Tax IRR</b>		<b>8.9%</b>

Market Rate Units	40
Affordable Units	6
Total # of Units	46
Residential Gross S.F.	25,270
Ground Floor Lobby/Equipment	Incl.
Gross Building Area (excl. parking)	25,270
Parking S.F.	0
Gross Building Area	25,270
Net Rentable Area (Residential)	17,091
Net Rentable Area (Retail)	0
Total Net Usable Area	17,091
Parking Spaces	0

		Total Cost	Cost Per Unit	Cost Per Gross S.F.	Cost Per Net S.F.
Land Costs		\$1,800,000	\$39,130	\$71.23	\$105.32
<b>Predevelopment</b>					
Site Work	incl.	\$0	\$0	\$0.00	\$0.00
Historical Preservation		\$200,000	\$4,348	\$7.91	\$11.70
Structure Relocation		\$0	\$0	\$0.00	\$0.00
Off-Site Land Costs		\$0	\$0	\$0.00	\$0.00
Predevelopment Subtotal		\$200,000	\$4,348	\$7.91	\$11.70
<b>Hard Costs</b>					
Hard Costs (Residential)		\$9,400,050	\$204,349	\$371.98	\$550.00
Parking	incl.	\$0	\$0	\$0.00	\$0.00
Hard Costs Subtotal		\$9,400,050	\$204,349	\$371.98	\$550.00
<b>Soft Costs</b>					
Soft Costs Subtotal	20%	\$1,880,010	\$40,870	\$74.40	\$110.00
<b>Finance &amp; Contingency</b>					
Contingency	5.0%	\$574,003	\$14,350	\$22.71	\$33.59
Construction Loan Interest		\$357,175	\$8,929	\$14.13	\$20.90
Loan Fee	1.0%	\$88,820	\$2,221	\$3.51	\$5.20
Finance & Contingency Subtotal		\$1,019,998	\$22,174	\$40.36	\$59.68
<b>Total Project Costs</b>		<b>\$14,300,058</b>	<b>\$310,871</b>	<b>\$565.89</b>	<b>\$836.70</b>
Total Project Costs (Excl. Land)		<b>\$12,500,058</b>	<b>\$271,740</b>	<b>\$494.66</b>	<b>\$731.38</b>





## Corporate Profile

### London Moeder Advisors

#### REPRESENTATIVE SERVICES

Market and Feasibility Studies	Development Services	Litigation Consulting
Financial Structuring	Fiscal Impact	Workout Projects
Asset Disposition	Strategic Planning	MAI Valuation
Government Processing	Capital Access	Economic Analysis

**London Moeder Advisors (formerly The London Group)** was formed in 1991 to provide real estate advisory services to a broad range of clientele. The firm principals, Gary London and Nathan Moeder, combine for over 60 years of experience. We have analyzed, packaged and achieved capital for a wide variety of real estate projects. Clients who are actively pursuing, developing and investing in projects have regularly sought our advice and financial analysis capabilities. Our experience ranges from large scale, master planned communities to urban redevelopment projects, spanning all land uses and development issues of all sizes and types. These engagements have been undertaken principally throughout North America and Mexico.

A snapshot of a few of the services we render for both the residential and commercial sectors:

- **Market Analysis** for mixed use, urban and suburban properties. Studies concentrate on market depth for specific products, detailed recommendations for product type, absorption and future competition. It also includes economic overviews and forecasts of the relevant communities.
- **Financial Feasibility Studies** for new projects of multiple types, including condominium, apartment, office, and master-planned communities. Studies incorporate debt and equity needs, sensitivity analyses, rates of return and land valuations.
- **Litigation support/expert witness services** for real estate and financial related issues, including economic damages/losses, valuations, historic market conditions and due diligence. We have extensive deposition, trial, mediation and arbitration experience.
- **Investment studies for firms acquiring or disposing of real estate.** Studies include valuation, repositioning projects and portfolios, economic/real estate forecasts and valuation of partnerships. Often, the commercial studies include the valuation of businesses.
- **Estate Planning services** including valuation of portfolios, development of strategies for disposition or repositioning portfolios, succession planning and advisory services for high net worth individuals. We have also been involved in numerous marriage dissolution assignments where real estate is involved.
- **Fiscal Impact, Job Generation and Economic Multiplier Effect Reports**, traditionally prepared for larger commercial projects and in support of Environmental Impact Reports. We have been retained by both developers and municipalities for these reports. The studies typically relate to the tax revenues and employment impacts of new projects.

The London Group also draws upon the experience of professional relationships in the development, legal services, financial placement fields as well as its own staff. Clients who are actively investigating and investing in apartment projects, retail centers, commercial projects, mixed use developments and large master plans have regularly sought our advice and financial analysis capabilities.

**San Diego:** 825 10<sup>th</sup> Ave | San Diego, CA 92101 | (619) 269-4010  
**Carlsbad:** 2792 Gateway Road #104 | Carlsbad, CA 92009 | (619) 269-4012

**APPLICANT-SUBMITTED DRAFT SDP FINDINGS  
PROJECT NO. 694291**

SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

**Supplemental Findings – Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource or Within a Historical District [SDMC Section 126.0505(i)]:**

**a. There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on the designated historical resources.**

The Project proposes the relocation of the existing Resource and replacing it with a 24 story residential tower with 8 levels of fully automated mechanical parking, 73 residential DU of which 8 are deed restricted low and moderate income per CCHSR.

To evaluate the Project and the two alternatives for potential feasible measures to avoid the relocation of the Resource, the Application retained London Moeder Advisors (LMA) to conduct an economic analysis of the Project (referred to as the “Base Project” in the LMA analysis) and the alternatives. The Applicant presented and approved these alternatives with the Historical Resources Board Staff and their Design Assistance Subcommittee prior to economic analysis. The City’s Urban Division Staff compared the LMA analysis to previous economic alternatives analyses for Downtown projects and found the assumptions to be consistent with those analyses. The following alternatives were evaluated in the LMA analysis and are summarized in the table below.

<b>Alternative</b>	<b>Description</b>
<b>BASE</b>	Relocate and Restore Resource at Newton Avenue Barrio Logan site, construct new residential high rise at 1620 Union Street
1	Rehabilitate and Maintain Existing 1,470 sq ft
2	Rehabilitate & Integrate into Development

As demonstrated by the Economic Feasibility Analysis prepared by London Moeder Advisors, the proposed Project would produce 73 Multi Family Rental Units (8 of which would be set-aside as affordable housing), and the proposed Project was determined to be economically feasible. In contrast, Alternatives 1 and 2 were not found to be economically feasible. The Project alternatives have issues that relate to increased cost of debt, cash flow shortfalls and the need for additional financing and would result in the elimination of any affordable housing component being financially feasible.

Therefore, The Base Project, which includes the relocation of the Resource to the Barrio Logan Community and the creation of 8 affordable and 65 market rate housing units is the only

economically feasible project. There are no feasible measures which include a less environmentally damaging alternative other than the Base Project that can further minimize the potential adverse effects on the designated historical resource or the historical district.

**b. The proposed relocation will not destroy the historical, cultural, or architectural values of the historical resource, and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.**

The Applicant has agreed to implement measures identified in the FEIR Mitigation, Monitoring and Reporting Program pertaining to the relocation, rehabilitation and reuse of designated historical resource #283, the Andrew Cassidy Home. The relocation site meets the requirements of the National Park Service's Criterion Consideration B for Moved Properties and the City's Historical Resources Regulations on the same subject.

The Andrew Cassidy Home's role in the residential and architectural development trends of San Diego is important and will continue to convey its architectural style in its relocated environment retaining a good degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

Therefore, the proposed Air Rights Tower project along Union Street would not eliminate the resource from its architectural association as an important example of a Queen Anne style residence significant to the early residential development of San Diego history and would not, therefore, result in a mandatory finding of significance.

Compliance with recommended mitigation measures would reduce the significance of impacts of relocation to a level that is less than significant. The exterior of the Andrew Cassidy Home will be restored at its new location in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Mitigation measures and adherence to *The Standards* will enable the building to continue to convey its architecture, retaining a sufficient degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation at its new location in the Barrio Logan Community.

A qualified historical architect monitor will supervise the relocation and rehabilitation project. The Resource's status as a designated historical resource will be maintained under the jurisdiction of the San Diego Historical Resources Board. These measures ensure that the proposed relocation, restoration and reuse will not destroy the historical, cultural, or architectural values of the historical resource and the relocation will be part of a definitive series of actions to assure the preservation of the designated historical resource.

**(c) There are special circumstances or conditions apart from the existence of historical resources, applying to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.**

## ATTACHMENT 9

The DCP and CCHSR's goals for the surrounding neighborhood call for greater housing development, higher densities, inclusionary housing, workforce housing proximate to employment and/or multimodal transportation facilities, and reduction in sprawl and especially on vacant land and underdeveloped, underutilized sites. In addition, due to the Statewide Housing Crisis all municipalities are now tasked with producing new housing and affordable housing especially in urban environments. Consistent with these goals, the area surrounding the site has seen an increase in density and larger scale development in the past several years. Included in this growth are multi-story development projects which are located directly northwest, south, southwest from the Andrew Cassidy Home. The existing site constraints which include the single fifty foot eastern right-of-way frontage on Union Street; the location of the historical resource which occupies a lot zoned for unlimited height and density; and the overall setting and context of the neighborhood constitute special circumstances and conditions which exist apart from the presence of the historical resource. These special circumstances applying to the land are peculiar to the land and are not of the developer's making. Therefore the strict application of the provisions of the Historical Resources Regulations would deprive the developer, as the property owner, of reasonable use of the land.

Historical Resources Technical Report

**ANDREW CASSIDY  
HOME  
1620 UNION STREET**

1620 UNION ST.

Prepared by:  
Heritage Architecture & Planning  
832 Fifth Avenue  
San Diego, CA 92101

Prepared for:  
Jonathan Segal, FAIA  
3000 Upas Street  
San Diego, CA 92104

October 2021



## EXECUTIVE SUMMARY

The Air Rights Tower project (project) proposes to redevelop the parcel occupying the entire 5,000 square foot lot bounded to the north and south by multifamily structures, to the west by a parking lot, and to the east by Union Street. It includes the construction of a 110,000 gross square foot, twenty-four story residential high-rise. Site improvements include a subterranean basement and new driveway. To facilitate the construction of the new development, the Andrew Cassidy Home will be relocated to 2642-2648 Newton Avenue, in the Barrio Logan community of San Diego with its primary façade facing south on Newton Avenue. Additional proposed development at the Newton Avenue site includes the adjacent southeast portion of the parcel remaining vacant for a potential future relocated structure and a new two-story, warehouse and multifamily residential structure to be constructed at the rear, north section of the Newton Avenue site with access from the alley.

Heritage Architecture & Planning was hired to provide a Historical Resources Technical Report (HRTR) for the Andrew Cassidy Home. The purpose of this HRTR is to evaluate the potential eligibility of resources located within the project study area for listing in the National, State, and/or Local Register of historic resources. In addition, the HRTR will address proposed project effects on identified historic resources in accordance with local, state, and national regulatory requirements.

This Historical Resources Technical Report has identified the Andrew Cassidy Home, located at 1620 Union Street in San Diego, as not historically significant for listing at the National or California Registers at the local, state, or national levels. The Andrew Cassidy Home is listed in the City of San Diego Historical Resources Register (HRB #283). Historic research and site evaluation reveal that the Andrew Cassidy Home has retained the majority of its architectural features and historical fabric. Its period of significance is 1899 encompassing the year of construction. The Andrew Cassidy Home appears to retain sufficient integrity to convey its historical significance. The residence retains its integrity of location, design, materials, workmanship, and association.

The proposed Air Rights Tower project would result in a significant direct impact to the historical resource due to the relocation of the Andrew Cassidy Home. The exterior of the Andrew Cassidy Home will be restored at its new location in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Mitigation measures and adherence to *The Standards* will enable the building to continue to convey its architecture, retaining a sufficient degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

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**ANDREW CASSIDY HOME – 1620 UNION STREET**

Historical Resources Technical Report - DRAFT

October 2021

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## SECTION I INTRODUCTION

The Air Rights Tower Project (project) is located at 1620 Union Street between West Cedar and West Date Streets in the Little Italy neighborhood of San Diego. The project site includes the Andrew Cassidy Home, a City of San Diego historically designated property (HRB #283).

The purpose of this Historical Resources Technical Report (HRTR) is to evaluate the potential eligibility of resources located within the project study area for listing in the National, State, and/or Local register of historic resources. In addition, this HRTR will address proposed project effects on identified historic resources in accordance with local, state, and national regulatory requirements.

This report contains the following information:

- Review of the existing exterior conditions of the property.
- Review of the history of the property and its physical development.
- Review of the subject property's eligibility under local, state, and national register designation criteria.
- An analysis of the effects of the proposed project on historic resources.

### A. REPORT ORGANIZATION

This HRTR has been prepared in compliance with the City of San Diego Historical Resources Board Historical Resource Technical Report Guidelines and Requirements. This report is organized into seven sections. The first section is the Introduction, providing purpose and overview of the report and resource location information. The Introduction is followed by the Project Setting, which describes the current environment as well its historical development. The third section, Methods and Results, details the work that was completed, such as research and field assessments, and provides a description of all resources within the project study area. The Significance Evaluations section provides an analysis of the significance of the resource against local, state, and national designation criteria. Section five, Findings and Conclusions, summarizes the results of the study and includes a potential impact discussion on identified historic resources. Next, the Bibliography notes all citations made in the document. Lastly, the Appendices includes necessary background information regarding the resources including building development information, ownership and occupancy information, maps, DPR forms, and preparer's qualifications.

### B. PROJECT STUDY AREA

The project study area and Area of Potential Effect (APE) have been limited to two sites. The first site includes the existing Andrew Cassidy Home parcel, 1620 Union Street (APN 5333531100) and the proposed relocation site at 2642-2648 Newton Avenue (APN 5387512100, 5387512200, 538751223) in San Diego with City of San Diego staff approval on September 9, 2021. (Figure 1-3) The subject resource is located in the City of San Diego Downtown Community Plan (DCP) area, within the City of San Diego, California.

#### 1. Site A

Current Property Name:	Andrew Cassidy Home
Property Address:	1620 Union Street
Current Assessor Parcel Number:	5333531100

Community Planning Area: Downtown Community Plan

Legal Description:

Lot 5 in Block 33 of Middleton, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by J.E. Jackson, filed in the Office of the County Recorder of San Diego County.

**2. Site B**

Relocation Address:

2642, 2646, 2648 Newton Avenue

Current Assessor Parcel Number:

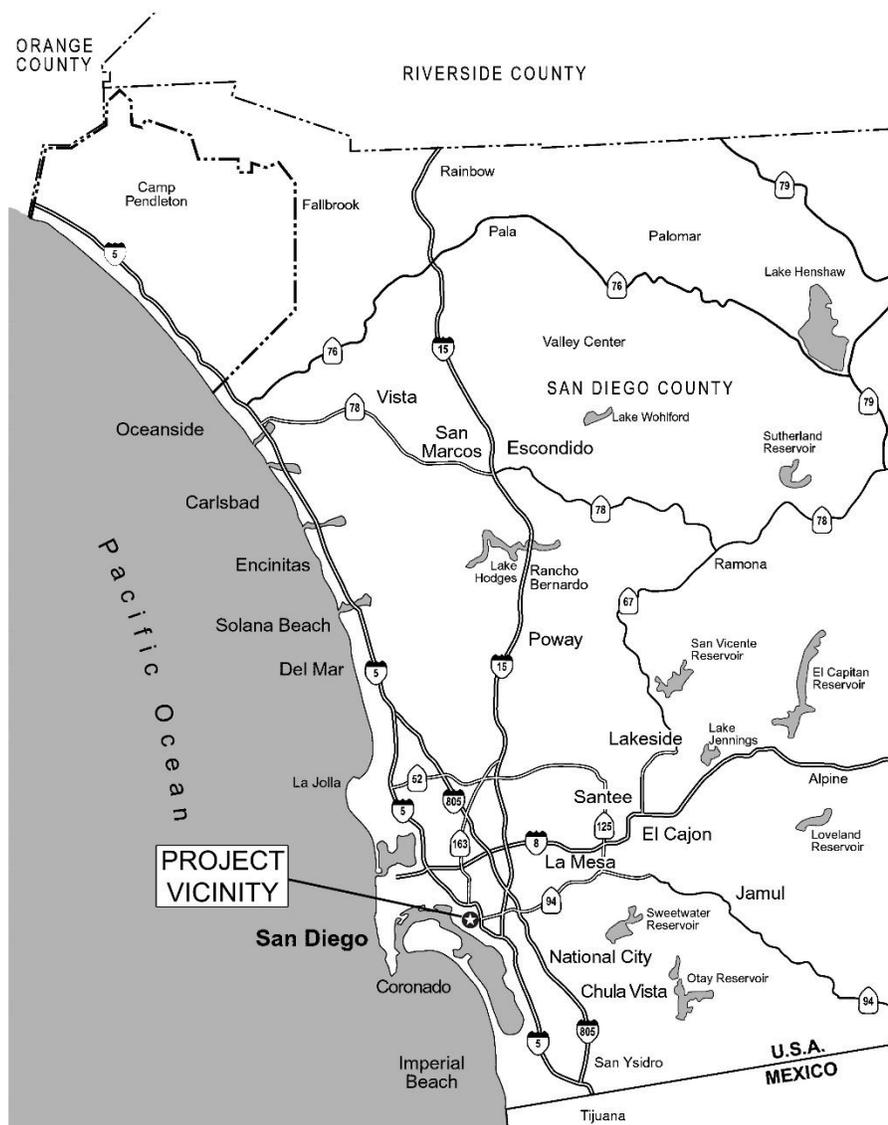
5387512100, 5387512200, 5387512300

Community Planning Area:

Barrio Logan Community Plan

Legal Description:

Lots 33 through 38, inclusive of Block 12, Reed and Hubbell’s Addition, in the City of San Diego, County of San Diego, State of California, according to Map No. 327, filed in the Office of the Recorder of San Diego County, June 30, 1886.



No Scale



Figure 1-1: Vicinity Map.



**C. PROJECT PERSONNEL**

Eileen Magno, Principal Historian/Architectural Historian, is the primary investigator for the project with assistance from Thomas Saunders, NCARB, Project Architect, and oversight by David Marshall, AIA, NCARB, Principal Architect. Heritage personnel qualifications meet or exceed *The Secretary of the Interior's Qualification Standards* as published in the Code of Federal Regulations, 36 CFR Part 61.

## SECTION II PROJECT SETTING

### A. PHYSICAL PROJECT SETTING

The Andrew Cassidy Home (project) is located at 1620 Union Street in downtown San Diego's Little Italy neighborhood. The project site consists of a 0.115-acre (5,015 square foot) parcel on Assessor's Parcel Number 5333531100, bound by W. Date Street to the north, State Street to the east, W. Cedar Street to the south, and Front Street to the west. The property is within the City of San Diego Downtown Community Plan (DCP) area, which designates the project site for a variety of uses, including office, residential, hotel, research and development, and educational and medical facilities.

The proposed relocation site is located at 2642-2648 Newton Avenue in the Barrio Logan community of San Diego. The relocation site consists of a 0.494-acre (21,531 square foot) combined parcel on Assessor's Parcel Numbers 5317512100, 5317512200, and 5317512300, bound by National Avenue to the north, S. 26<sup>th</sup> Street to the east, Newton Avenue to the south, and S. 27<sup>th</sup> Street to the west. The property is within the City of San Diego Barrio Logan Community Plan area, which identifies the area within the community's Historic Core.

### B. HISTORICAL OVERVIEW

#### Middletown and Little Italy<sup>1,2</sup>

The City of San Diego was incorporated as a City by the state legislature in 1849. One of the first acts of the new City Council was to approve earlier maps of the City and its tidelands. At the same time, pueblo lands were being divided up among buyers, mostly for speculation. West of Balboa Park, between Old Town and the future downtown, laid a strip of low hills and tidal flats originally referred to as Middletown.

In 1850, a group of investors led by attorney Thomas Sutherland, bought the 687 acres and laid out the streets and lots at the western border and established the Middletown tract. Thereafter, the tract was surveyed and subdivided into streets and blocks, and plans called for the construction of five public squares and an open community lot known as the Triangle.<sup>3</sup>

By 1880, development began. Workers for local government, construction and downtown businesses settled west of Front Street, larger and more impressive homes were built on the ridges. The subdivision closely followed the trends of Horton's Addition. By the late 1800s large, single family homes were being built along the western hillside ridges overlooking the bay, including Victorian, Georgian and Mediterranean style structures. The Middletown School was built in 1888. The community was also anchored by a small commercial node called Five Points at the intersection of Washington and India streets.<sup>4</sup>

<sup>1</sup> Office of Marie Burke Lia Attorney at Law. "Historical Resources Research Report Addendum for 1668 Columbia Street & 519 West Date Street." February 2012.

<sup>2</sup> City of San Diego, "Uptown Community Plan Area Draft Historic Resources Survey Report." 2015. Also see, City of San Diego, "Greater Golden Hill Community Plan Update Draft Historic Context Statement." June 2010.

<sup>3</sup> Steven Van Wormer and Susan Walter, "Uptown Historic Context Statement and Oral History Report." 2003.

<sup>4</sup> Ibid.

Thousands of Italian and Portuguese families settled in the area in the early 1900s along with Mexican and Japanese immigrants and toiled to build a local tuna fishing industry that became a source of great wealth for San Diego. At one time, more than 6,000 Italian families lived in the area. Other Italians who came had been wine growers, shepherders, and ranchers. The fishermen and founders of fish markets and restaurants arrived by 1900. All of these transplanted members of the Italian community founded social organizations with large memberships. At the same time, the Portuguese community was heavily involved with the tuna industry. The 1906 San Francisco earthquake drove more Italian fishermen to San Diego where the immigrants prospered for the next few decades.

Growth slowed after 1900 but revived with the Panama-California Exposition in 1915 and Spanish Eclectic style architecture became popular (1915-1960). Multi-family apartment buildings were constructed for visitors and residents; a trend that continued through WWII (1915-1960). The establishment of Lindbergh Field in the 1914s and 1930s caused early height limits to be imposed that also affected the development of this region, Point Loma, and Loma Portal.

By 1937, a different pattern had emerged for Middletown. The main business district was located at the Five Points intersection on Washington Street, at the north end. Fish canneries were established at the south end and residences of the Italian fishermen and employees of the growing aircraft industry were along the waterfront. During World War II, the San Diego Italian fishermen were ordered to move from homes close to the harbor as suspicious authorities considered them as having ties to Italy. Non-citizen Italians also had to move east. Many families moved back after the war was over. After the War, the tuna industry gradually declined on the west coast and the 1960s construction of the Interstate 5 freeway destroyed 35% of the buildings in the area, all of which led to the disintegration of the community. But in the early 1990s, the established property owners and family-run business owners decided to take their fate in their own hands, and today's thriving Little Italy business and residential community is the result.

### **Barrio Logan<sup>5</sup>**

As the development of New Town gained momentum by the 1870s, City leaders anticipated the addition of a major wharf and rail transportation would be necessary for City growth. Land to the south, known then as the East End and encompassing the area of present-day Barrio Logan and Logan Heights, was seen as the ideal location for a west coast transcontinental railroad terminus. City leaders set aside large portion of the East End for this purpose. At that time, the East End was only a sparsely vegetated series of hills sloping gently to the marshy tidelands of the bay. Both the Gila Railroad in the 1860s and the Texas and Pacific Railroad in 1872 failed and the land was reverted back to the city. The promise of dedicated railroad land and deep water port failed to induce a railroad company to locate its terminus in San Diego. Instead, the first transcontinental railroad to reach southern California bypassed San Diego for Los Angeles in 1876.

Despite early efforts to attract a railroad failed, real estate speculation continued. Joseph Manasse and Marcus Schiller filed the first subdivision in 1870, directly south of Horton's Addition and north of the railroad land. These streets were organized diagonally to those in Horton's Addition, taking advantage of the view of the bay. Three years later, Dr. C. Hoel recorded a subdivision just north of National City opening another portion of the area for development. These subdivisions were the foundation for the

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<sup>5</sup> Brian F. Smith and Associates, "Barrio Logan Historical Resources Survey." Prepared for the City of San Diego. February 1, 2011.

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development of Logan Heights and Barrio Logan. These subdivisions were established by the San Diego Land and Town Company, D.C. Reed and O.S. Hubbell, H.P. Whitney's Addition, South Chollas, James H. Guion, and E.E. Bergins.

Improvements in the local transportation system helped encourage development in the area, which was progressing slowly during the late 1800s. Transportation allowed residents to live comfortably in the East End while still providing an easy and inexpensive commute to the commercial center of downtown. In 1887, the National City and Otay Railway began local steam service along 28<sup>th</sup> Street (later rerouted to Newton Avenue). In 1891, a horse and mule drawn rail car line was extended into the community along National Avenue that provided service from downtown to 16<sup>th</sup> Street and then east on National Avenue to 31<sup>st</sup> Street. The line was replaced in 1892 by San Diego Electric Railway Company cars.

By the turn of the 20<sup>th</sup> century, development around the area included single-family residences, one per lot, most with outhouses and a stable. Logan Avenue between south 16<sup>th</sup> and 26<sup>th</sup> Street and National Avenue from South 16<sup>th</sup> Street and 27<sup>th</sup> Street contained the highest density. A smaller number of homes were present on Newton Avenue, Main Street, and Boston Avenue. Popular residential architectural styles during this period included Craftsman, Folk Victorian, and Colonial Revival.

By 1906, an emerging commercial district appeared on Logan Avenue between Beardsley and Sampson Streets. Logan Avenue contained six businesses including a drug store, a meat and produce shop, two offices, a grocery, a hay and grain store, and two warehouses. The San Diego Soda Works, the single industrial building shown on the 1906 map, was on the north side of Logan between Beardsley and Cesar Chavez. One street to the east, on National Avenue between Beardsley and Cesar Chavez, was a Chinese Laundry, and on Sigsbee and Newton, a hay and grain warehouse stood at the corner. Commercial buildings were built in a variety of architectural styles including False-Front Commercial and Folk Victorian. Some of the business structures were mixed-use, with residential units above the retail store fronts.

The 1915 Panama-California Exposition spurred growth throughout the city, including Barrio Logan and Logan Heights area. Residential development included single-family and multiple-family dwellings built in a variety of architectural styles including Folk Victorian and Colonial Revival, though by 1921, the Craftsman Bungalow had become the dominant style. Many of the outhouses on the rear of properties had disappeared, and were replaced by auto garages, demonstrating expanding automobile ownership and the presence of sewer service.

The 1920s to the 1950s was a period of significant change in Logan Heights, both in the ethnic composition of its residents and in the increase of residential and commercial growth. Mexican Americans, African Americans, and Asians moved into Logan Heights because it offered low-cost housing left in the wake of Anglo-Americans moving to other areas, and proximity to bayfront and railroad jobs. Immigrants were attracted by available housing, social and cultural familiarity, and the availability of unskilled occupations such as railroad construction, commercial fishing, local agriculture, building construction, and other commercial businesses and military-related industry.

Apartment buildings, duplexes, bungalow courts, apartment courts, and half courts were built to accommodate the new residents. Additionally, many small single-family residences were constructed on the rear of lots, behind larger and older homes. The new residential construction was built in a variety of architectural styles including Spanish Colonial Revival, Mission Revival, and Minimal Traditional.

During the 1950s, the City rezoned Barrio Logan from primarily residential to a mixed use classification. Subsequently, over the next twenty years, the neighborhood experienced a massive influx of automotive scrap yards, particularly along Main, National, Newton, and Logan as well as numerous other industrial businesses housed in large industrial lofts and warehouses.

The completion of Interstate 5 through the heart of Logan Heights in 1963 rewrote the boundaries of the neighborhood. The interstate splintered Logan Heights in two, with the area to the southwest of Interstate 5 becoming known as Barrio Logan and the area to the northeast known as Logan Heights.<sup>6</sup> Essentially, Interstate 5 displaced families and businesses and resulted in the destruction of all the structures in the path of the new freeway. It also cut off the neighborhood to the northeast of the interstate from the commercial center on Logan Avenue and made it difficult for those in Barrio Logan to reach the churches and schools on the opposite side. Further, the completion of the San Diego-Coronado Bay Bridge in 1969, which towered over Barrio Logan with its on-ramps and support pylons, displaced more families and businesses, creating a dramatic visual change to the neighborhood. The residents were not aware of their rights to protest against the bridge and many felt they had no choice but to leave. Barrio Logan's population soon dropped from 20,000 to 5,000 between 1969 and 1979 and many of the older homes and buildings were razed for industrial structures.

### Parcel History

#### Andrew Cassidy Home – 1625 Union Street

The undeveloped parcel was owned by Margaret J. O'Kane, Patrick Kerr, and Sarah Kerr and purchased by Andrew Cassidy on November 26, 1889. Acknowledged as a pioneer resident of San Diego, Andrew Cassidy was originally a native of County Cavan, Ireland and immigrated to American in 1834 when he was 17. Having received an education in his native country, he worked under the immediate direction of George McClellan in the Engineer Corps at West Point for three years. He transferred to Washington where he was employed in the Coast Survey office under the US Engineer Corps. Through the Engineer Corps he arrived in San Francisco in 1853 to set up a self-registering gauge at Fort Point. He later went on to San Diego where he built a self-recording tidal gauge station at La Playa and remained in charge of the tidal gauge and weather observations for the next seventeen years.<sup>7</sup> This gauge was known to have recorded a tsunami from Japan in December 1854 and a local earthquake in July 1854, which is believed to be the earliest recorded earthquake.<sup>8</sup> During this period, he lived in Old Town. While at La Playa, Cassidy also collected specimens for the Smithsonian Institution including birds,

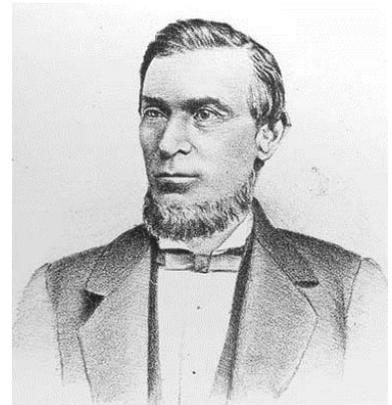


Figure 2-1: Andrew Cassidy. Source: San Diego History Center.

<sup>6</sup> "Barrio Logan" likely evolved from the Spanish speaking residents' practice of referring to Logan Heights as the barrio, or neighborhood. The City officially initiated the use of Barrio Logan to describe the area southwest of the Interstate 5 in the 1970s.

<sup>7</sup> Clarence Alan McGrew, *City of San Diego and San Diego County: The Birthplace of California*. (New York: The American Historical Society, 1922), 88.

<sup>8</sup> Helen Gohres, "Tidal Marigrams." *The Journal of San Diego History*. Vol. 10 No. 4, October 1964. Accessed September 3, 2021. <https://sandieghistory.org/journal/1964/october/marigrams/>

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fishes, reptiles, moths, and various smaller animals. The collection of fish coming from the Pacific Ocean, the Colorado River, and the Gulf of California was particularly valuable to the Smithsonian.<sup>9</sup>

He was married twice. His first wife was Rosa Serrano, daughter of Jose Antonio Serra, who died in September 10, 1869. His second wife, Mary Smith, was daughter of Albert B. Smith, a Mexican war hero. Cassidy held several public offices; one term as City Trustee in 1865, elected County Supervisor for two terms (four years) beginning in 1871, and was a long member of the Board of Public Works.<sup>10</sup>

In 1864, Cassidy acquired the 1,000-acre Soledad Rancho, in the present Sorrento Valley, and engaged in cattle ranching, raising up to 1,000 head of cattle.<sup>11</sup> He subdivided and sold the property in 1887, but retained other property in San Diego, including the 1620 Union Street property.

The San Diego Lot block Book Page shows the initial year of assessed improvements being completed at the Union Street parcel as 1890. Construction of the residence is noted as 1899 per the Residential Building Records. Historical research indicate that Cassidy never occupied the property but utilized it for income purposes. Its first documented occupant was Eugene Daney, an attorney whose office was located at the Lawyers Block in San Diego.<sup>12</sup> He lived at the Union Street residence from 1899 until 1905.

Born on October 11, 1862 in Bordeaux, France, Daney moved to the United States in 1866. He graduated from Hasting College of Law in 1885 and was admitted to the bar by the Supreme Court of California in San Francisco in 1885. He engaged in his law practice in San Francisco between 1885-1887 when he moved to San Diego. He continued his practice in San Diego until he was appointed as Assistant District Attorney in February 1888, which office he held until January 1891. He formed a partnership with L.A. Wright under the firm name Daney & Wright, which continued for eight years. He was elected the Bar Association of San Diego's first President in 1899 and served for three years. He was later appointed as Superior Judge in June 1908 and was general counsel for the Panama California Exposition in Balboa Park.<sup>13</sup>

In 1904, Cassidy sold the property to Richard O'Neill, Sr. who also leased the property to others. At the time of purchase of the Union Street property, Richard O'Neill was a partial owner of the Rancho Santa

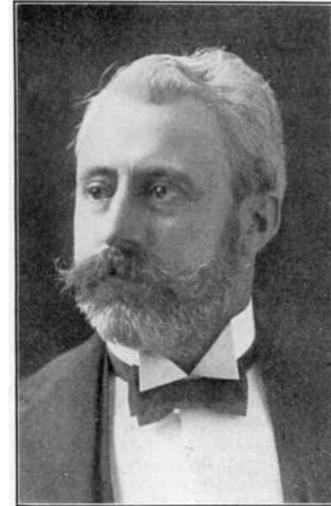


Figure 2-2: Eugene Daney.  
Source: San Diego History Center.



Figure 2-3: Richard O'Neill.  
Source: Orange County Registry.

<sup>9</sup> California Genealogy & History Archives, "Andrew Cassidy." *An Illustrated History of Southern California: Embracing the Counties of San Diego, San Bernardino, Los Angeles and Orange, and the Peninsula of Lower California.* (Chicago: The Lewis Publishing Company, 1890), 323-324. Accessed September 3, 2021. <http://www.rootsweb.ancestry.com/~cagha/index.htm>

<sup>10</sup> Ibid.

<sup>11</sup> William Ellsworth Smythe, *History of San Diego, 1542-1908.* (San Diego: History Co., 1907), 267-268. Accessed September 3, 2021.

<https://sandieghistory.org/archives/biographysubject/cassidy/>

<sup>12</sup> San Diego City and County Directory available publications begin 1874 and jumps to 1887-1888.

<sup>13</sup> Legal Aid Society of San Diego, "Legal Aid Society of San Diego – Legacy of a Dream." Accessed September 6, 2021.

<https://www.lasds.org/about/history>

Margarita y Las Flores and its adjoining Rancho Mission Viejo and Rancho Trabuco which he purchased from the Forester sons in 1882 along with James Flood, who put up most of the purchase money.<sup>14</sup> Collectively, the ranchos totaled more than 200,000 acres and encompassed the northern portion of San Diego County and southern end of Orange County.<sup>15</sup> O’Neill worked as the ranch manager and lived with his family at the Santa Margarita Ranch House as Flood was never concerned with the daily operations of the ranch. In 1906 the Flood family deeded O’Neill his half of the ownership.<sup>16</sup> Upon the death of Richard O’Neill in 1910, his estate, including the Union Street property, was passed to his family including son, Jerome O’Neill and daughters Mary A. Baumgartner and Alice T. McDade. The property was passed solely to Mary Baumgartner in 1922. During this period, the property continued to be leased.

In 1923, the property was deeded to Oakley R. and Grace Lawton. Mr. Lawton was a clerk at the Russ Lumber & Mill Company. The Lawtons occupied the residence until 1931 after which they rented out the premises to the Ralph J. and Alberta Widen family until the property was sold in 1940 to Sam Asaro, a fisherman, and his wife Rosaria. The Asaro family retained the parcel until 1972 when Rosaria died after which the property was passed to the eight Asaro children. The property was sold in 1978 to Mark and Deborah Godwin. Debbie Godwin converted the property as her business office, June’s Attorney Service, and subleased other sections as offices. They sold the property in 1989. It was acquired by attorneys David Bark and William Petterson, who utilized the building as their law office until 2014 when the property was granted to James Black. Petterson continued to hold his offices at the property. In 2019, the property was acquired by Union Street Creative House LLC, its current owners.

#### 2642-2648 Newton Avenue

The property at 2642, 2646, and 2648 Newton Avenue (Newton Avenue property) is located in the Barrio Logan community of the City of San Diego. Per Sanborn Fire Insurance Maps, these parcels were developed prior to 1904 as residential units and remained residential until the late 1960s when the residences were demolished, and the Newton Avenue property was used by an automobile wrecking company as their yard. Since 1966, the property was owned by Dwight D. and Annis E. Wineteer. In 1986, the property was sold to Phi Equity Exchange, Inc. and immediately deeded to Eugene S. and Mary F. Czubernat. The Czubernats retained the property until 2000 when it was sold to ABC Construction Company, Inc. In 2021, the property was granted to Jman at Barrio LLC, its current owners. It has continued to be used for vehicle and equipment storage.<sup>17</sup>

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<sup>14</sup> Rancho Mission Viejo. “Ranch History.” Accessed September 6, 2021. <http://corp.ranchomissionviejo.com/ranch-past-present/ranch-history/>

<sup>15</sup> Ibid.

<sup>16</sup> Lynne Newell Christenson and Ellen L. Sweet, *Ranchos of San Diego County*. (San Francisco: Arcadia Publishing, 2008), 82.

<sup>17</sup> GDS, Inc., “Phase I Environmental Site Assessment: 2642, 2646, and 2648 Newton Avenue, San Diego, California.” Prepared for JMAN Investments, Inc. July 12, 2021.

## SECTION III METHODS AND RESULTS

### A. ARCHIVAL AND HISTORICAL RESEARCH

This report was prepared using primary and secondary sources related to the resource's site development history.

Archival research has been conducted to determine the location of previously documented historic and architectural resources within the project study area and to help establish a context for resource significance. National, state, and local inventories of architectural/historic resources were examined in order to identify significant local historical events and personages, development patterns, and unique interpretations of architectural styles.

Information was solicited regarding the location of historic properties in the project area from local governments, public and private organizations, and other parties likely to have knowledge of or concerns about such resources. The following inventories, sources, and persons were consulted in the process of compiling this report:<sup>1</sup>

- Built Environment Resources Directory (BERD), Office of Historic Preservation
- California Historical Resources Information System (CHRIS) Information Center
- California Historical Landmarks
- California Points of Historical Interest
- California Register of Historic Resources
- California Office of Historic Preservation
- County of San Diego Assessor's Office
- City of San Diego Planning Department
- City of San Diego Historical Resources Board
- City of San Diego, Development Services Department, Records Office
- Library of Congress
- National Register of Historic Places
- San Diego History Center
- San Diego Central Public Library, California Room
- San Diego State University, Love Library
- South Coast Information Center
- University of California San Diego, Library Digital Collections

Materials included documentation of previous reports, photographs, building permits, news articles, City/County directories, title information, and maps. Published sources focusing on local history were consulted, as well as material relating to federal, state, and location designation requirements. Research for the report was not intended to produce a large compendium of historical and genealogical

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<sup>1</sup> This Historical Resource Technical Report was completed during the COVID-19 pandemic. As a result, standard methods of research had to be modified in light of unforeseen circumstances, including repository closures and restrictions on gathering. Heritage coordinated with archivists at the various repositories to gain remote access to documents, interviews, and ephemera within the archive's physical holdings to supplement online research.

material, but rather to provide specific information necessary to understand the evolution of the site and its significance.

## B. FIELD SURVEY

A site walk-through, existing conditions survey, field documentation, and photographs were conducted by Thomas Saunders, NCARB, Project Architect. The survey was conducted to record and understand the existing condition of the site, identify character-defining features, and assess the structure's condition and historical integrity. Analysis focused on the structure's exterior and did not include detailed assessments of the archaeological, structural, electrical, mechanical systems, or interiors. Following the fieldwork, the property was recorded on DPR 523 forms according to the *Instructions for Recording Historic Resources, Department of Parks and Recreation, Office of Historic Preservation, State of California*. The resource was photographed with a digital camera and representative photographs are included in this report and on the DPR 523 forms.

## C. DESCRIPTION OF SURVEYED RESOURCE

### Andrew Cassidy Home, 1620 Union Street

The Andrew Cassidy Home is located on a rectangular lot, approximately 50' by 100', at 1620 Union Street. The building is wood framed and set on a cast-in-place concrete foundation stem wall. A crawlspace access hatch is located on the west façade located underneath the non-historic wood accessibility ramp. The foundation wall is mostly covered with non-historic horizontal wood siding. The exterior walls consist of horizontal wood clapboard siding with a painted finish. There are vertical wood trim corner boards at the corners of each façade. A decorative wood base trim runs the perimeter of the building. Below the wood base trim is the non-historic wood siding over concrete stem wall.

**East Façade (Primary Façade):** At the gable of the east façade the exterior finish consists of diamond shaped wood shingles. A wood clad double-hung window with wood trim has been used to infill what was once a wood louvre attic vent. A front porch spans the width of the east façade. The porch roof consists of a flat roof with roll-on sheet roofing, and short hipped sides with diamond shaped wood shingles. The underside of the porch roof has a wood tongue and groove finish with a wood quarter round border. The roof is supported by exposed wood beams which bear upon decorative wood porch columns. Decorative wood spindlework runs along the underside of the porch roof beams and are supported by decorative carved wood brackets. All spindlework, columns and brackets are intact and in good condition.

The porch floor has been previously repaired and consists of oriented strand board (OSB) wood plank flooring and stairs with wood handrails. The wood handrails are heavily damaged at several locations and have temporary wood shoring at the base of some of the rail posts. The floor is supported by wood posts bearing on pre-cast concrete pier footings. A wood lattice runs along the base of the porch floor.

**South Façade:** At the south façade is a cast-in-place concrete and wood framed accessibility ramp with wood railing. The wood railing is anchored to the south façade with small wood blocks. One attachment point interrupts the run of the wood base trim. The non-historic vertical wood siding at the base of the south façade has been cut to allow the installation of the accessibility ramp.

Towards the east side of the south façade is a cantilevered roof overhang with carved wood brackets. Also at the east side is some non-historic surface mounted utility equipment.

**West Façade:** At the west façade is a non-historic OSB wood board landing with stairs that connects to the accessibility ramp with wood railing. At the west slope of the roof is a gabled dormer with a replacement wood clad double hung windows with dual glazing and vinyl window screen. At the second floor is a non-historic roof deck with wood railing. The roof deck is accessed by a pair of non-historic wood French doors.

**North Façade:** The north façade consists of horizontal wood clapboard siding with a wood trim base rail and non-historic wood clapboard siding over a cast-in-place concrete stem wall. Utility equipment has been installed along the north façade.

**Windows:** Fenestration consists of replacement wood clad double hung windows with dual glazing and vinyl window screens. The windows have a wood trim and sill with wood sill brackets. There is a wood fixed transom window above the main entry door. All windows appear to be in fair condition with the exception of the double hung window located in the roof gable at the east façade which has damage at the mid and bottom rail.

**Doors:** The main entry door at the east façade has three panels and glazing with non-historic door hardware and wood panel surround. Additionally, there is a wood fixed transom window above. At the west façade is a pair of non-historic wood French doors with non-historic accessible compliant hardware. The door threshold is also non-historic. At the second story of the west façade, a pair of wood French doors provide access to the roof deck. The door hardware and threshold appear to be non-historic. All doors appear to be in fair condition.

**Summary:** The house located at 1620 Union Street appears to be in good condition and retains a good level of its historic integrity. Modifications appear to comply with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* and include a replacement roof, replacement front porch and railing, an addition at the rear not visible from the public right-of-way, and replacement windows.

The cast-in-place concrete stem wall with non-historic wood clapboard siding underneath the wood base trim suggests that the house has been previously lifted to provide repairs to the building's foundation.

#### 2642-2648 Newton Avenue

The property at 2642, 2646, and 2648 Newton Avenue (Newton Avenue property) is located in the Barrio Logan community of the City of San Diego and is comprised of three contiguous parcels. The parcels have been physically divided by a chain link fence and are utilized for vehicle and container storage.



Figure 3-1: Photograph of 1620 Union Street, 1988. Source: City of San Diego.



Figure 3-2: Photograph of 1620 Union Street, 2000. Source: City of San Diego.



Figure 3-3: Perspective view looking northwest at the primary facade.



Figure 3-4: Perspective view of 1620 Union Street looking southwest.



Figure 3-5: Looking west at the primary east facade.



Figure 3-6: Looking west at the gable end of the east facade showing the diamond shaped wood shingles and replacement double hung window.



Figure 3-7: Detail photo showing the decorative wood spindlework and decorative column brackets at the front porch.



Figure 3-8: Looking west at the decorative porch columns.



Figure 3-9: Detail view showing the original three panel entry door with glazed lite and fixed wood transom window above. The original door hardware is missing.



Figure 3-10: Looking northwest at the front porch, front porch stairs and railing. The front porch is non-historic and has been replaced with OSB boards.



Figure 3-11: Looking southwest at the brick chimney with decorative corbelling.



Figure 3-12: Detail photo looking northwest at the projecting roof overhang on the south facade with decorative carved brackets.



Figure 3-13: Looking northwest at the accessibility ramp located at the south facade. The ramp is a combination of cast-in-place concrete and OSB wood boards.



Figure 3-14: Detail photo showing the impact to the base trim boards from the accessibility ramp handrail attachments.



Figure 3-15: Detail photo showing a typical replacement clad wood window with dual glazing and vinyl window screens.



Figure 3-16: Looking northeast at the non-historic OSB board ramp and landing with wood railing. The wood components are termite damaged.



Figure 3-17: Looking east at the west facade showing the non-historic pair of wood french doors.



Figure 3-18: Detail photo showing some of the utility equipment installed at the base of the north facade.

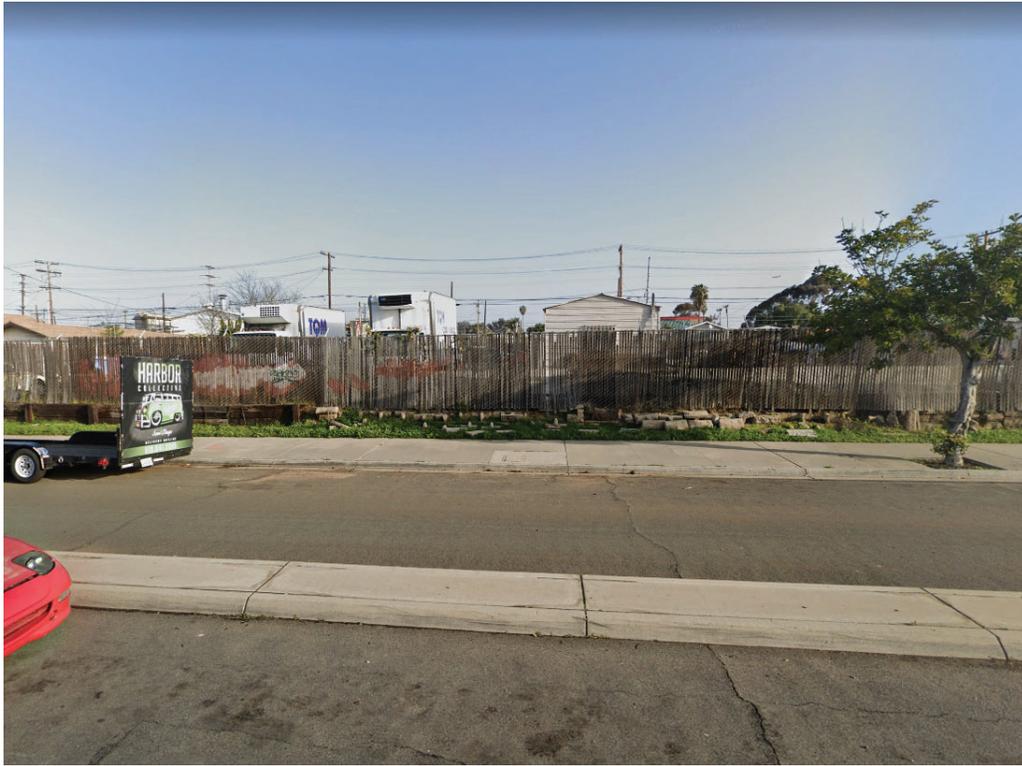


Figure 3-19: Newton Avenue streetview looking northwest at the property. Source: Google maps.



Figure 3-20: Looking southeast into the Newton Avenue parcel from the alley.

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## SECTION IV SIGNIFICANCE EVALUATION

### A. EVALUATION CRITERIA

Federal, state, and local historic preservation programs provide specific criteria for evaluating the potential historic significance of a resource. Although the criteria used by the different programs (as relevant here, the National Register of Historic Places, the California Register of Historical Resources, and the City of San Diego Register of Historical Resources) vary in their specifics, they focus on many of the same general themes. In general, a resource need only meet one criterion in order to be considered historically significant.

Another area of similarity is the concept of integrity — generally defined as the survival of physical characteristics that existed during the resource’s period of significance. Federal, state, and local historic preservation programs require that resources maintain sufficient integrity in order to be identified as eligible for listing as historic.

#### 1. National Designation: The National Register of Historic Places

The National Register of Historic Places (commonly referred to as the “National Register” or “NRHP”) is a Congressionally-authorized inventory of “districts, sites, building, structures, and objects significant in American history...” (16 U.S.C. § 470a). To be eligible for listing in the National Register, a resource must meet the following requirements.

**Criterion (A):** associated with events that have made a significant contribution to the broad patterns of our history

**Criterion (B):** associated with the lives of persons significant in our past

**Criterion (C):** embody the distinctive characteristics of a type, period, or method of construction; represent the work of a master; possess high artistic values; or represent a significant and distinguishable entity whose components may lack individual foundation

**Criterion (D):** has yielded or is likely to yield information important in prehistory or history.

Ordinarily cemeteries, birthplaces, graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, properties primarily commemorative in nature, and properties that have achieved significance within the past 50 years shall not be considered eligible for the National Register. However, such properties will qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:

**Criteria Consideration A:** A religious property deriving primary significance from architectural or artistic distinction or historical importance; or

**Criteria Consideration B:** A building or structure removed from its original location but which is primarily significant for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or

**Criteria Consideration C:** A birthplace or grave of a historical figure of outstanding importance if there is no appropriate site or building directly associated with his or her productive life; or

**Criteria Consideration D:** A cemetery which derives its primary importance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events; or

**Criteria Consideration E:** A reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived; or

**Criteria Consideration F:** A property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own exceptional significance; or

**Criteria Consideration G:** A property achieving significance within the past 50 years if it is of exceptional importance.

The property must also retain integrity. Integrity is “evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association” and it “must be judged with reference to the particular criteria under which a resource is proposed for eligibility.”

(36 C.F.R. § 60.4)

## 2. State Criteria Evaluation: California Register of Historical Resources

The California Register of Historical Resources (“California Register” or “CRHR”) identifies historical and archeological resources significant to the state. The eligibility requirements for listing in the California Register are very similar to the eligibility requirements for listing in the National Register, though they have a somewhat stronger focus on California-specific issues.

More specifically, to qualify as an historical resource for purposes of the California Register, a resource must meet at least one of four criteria:

**Criterion 1:** Associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage

**Criterion 2:** Associated with the lives of persons important to local, California, or national history

**Criterion 3:** Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic value

**Criterion 4:** Has yielded or has the potential to yield information important to the prehistory or history of the local area, California, or the nation.

(Cal. Pub. Res. Code § 5024.1).

In order to be eligible for listing in the California Register, an historical resource must have integrity. (Cal. Code Regs. tit. 14, § 4851).

## 3. Local Criteria Evaluation: City of San Diego Historical Resources

The Historical Resources Guidelines of the City of San Diego’s Land Development Manual (LDM) identifies the criteria under which a resource may be historically designated. It states that any improvement, building, structure, sign, interior element and fixture, site, place, district, area, or object, typically over 45 years old, regardless of whether they have been altered or continue to be used, may be designated a historical resource by the City of San Diego Historical Resources Board (HRB) if it meets one or more of the following designation criteria:

- A. Exemplifies or reflects special elements of the City's, a community's, or a neighborhood's, historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development;
- B. Is identified with persons or events significant in local, state or national history;
- C. Embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;
- D. Is representative of the notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman;
- E. Is listed or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources; or
- F. Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

## B. RESOURCE SIGNIFICANCE

### 1. National and California Register

#### *National Register Criterion A / California Register Criterion 1*

Research failed to disclose any information regarding the Union Street's nor the Newton Street's association with significant events that have contributed to the broad pattern of history both at the local, state, or national levels. The Cassidy property was primarily used as a residence then later as offices and the Newton Street property is a vacant lot utilized for parking. Therefore, both properties not qualify under National Register Criterion A and California Register Criterion 1.

#### *National Register Criterion B / California Register Criterion 2*

Research revealed that the Andrew Cassidy Home is identified with two San Diego County's pioneers: Andrew Cassidy and Richard O'Neill. The resource was also home to Eugene Daney, an early local attorney. Although the property is associated with these individuals, neither Cassidy nor O'Neill occupied the residence utilizing it only for income purposes. Further, they acquired the property in their later years and not during their more influential and significant period of their lives.

Moreover, although attorney Eugene Daney was elected as the first President of the Bar Association of San Diego and served for the following three years, no other research information elaborated on the extent of his decision-making process nor how those decisions may have changed or influenced future policy or judicial rulings. Further, his work would most likely be associated with his office, rather than his residence, where most of the work would have taken place. Finally, Daney's appointment as Superior Judge and later as general counsel for the Panama-California Exposition occurred after his occupancy of the resource.

There are no built resources on the Newton property that are associated with any persons that would have contributed to the broad pattern of history either at the local, state, or national levels.

Therefore, these properties do not qualify under National Register Criterion B and California Register Criterion 2 at the local, state, or national levels of significance.

#### *National Register Criterion C / California Register 3*

The Andrew Cassidy Home, located at 1620 Union Street in San Diego, is associated with the early residential development of Middletown, and specifically, Little Italy. It is one of several surviving Queen Anne buildings within the community. In its current condition, it retains a high degree of architectural integrity. Although the resource retains many of its Queen Anne character-defining features, there are many resources both in the city and county of San Diego that are better representatives of the style, such as the Hotel del Coronado (California Historical Landmark No. 844, California Register of Historical Resources, National Historic Landmark, and National Register of Historic Places), the George Keating Residence (HRB #198) at 2331 2<sup>nd</sup> Avenue, and the Long-Waterman House (HRB #37, NR 1976-06-14) at 2408 1<sup>st</sup> Avenue. Further, there are no built resources associated with the Newton Avenue property. Therefore, both parcels do not meet eligibility for individual listing in the National Register under Criterion C and the California Register under Criterion 3 at the local level of significance.

#### *National Register Criterion D / California Register Criterion 4*

Both resources in San Diego are not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

## **2. City of San Diego Register**

Constructed in 1899, Andrew Cassidy Home is locally designated under the City of San Diego Register of Historical Resources as HRB #283 under Criterion C for its Queen Anne architectural style. According to the nomination, “the building is an example of the type of residences constructed to accommodate the influx of people during the later 1880s boom period following the completion of the transcontinental railroad connection and is significant because it reflects Victorian era craftsmanship ornamentation and is part of a larger collection of significant Victorian homes.” The building has retained the majority of its Queen Anne features. Its period of significance is 1899 encompassing the year of construction.

There are no resources of the built environment located at the Newton Avenue property, therefore, this parcel is not significant under the City of San Diego designation criteria.

## **3. Integrity**

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Andrew Cassidy Home.

#### *Setting is the physical environment of a historic property.*

The Andrew Cassidy Home’s setting within the Little Italy community of Middletown in San Diego. The building is now surrounded by a mixture of period Victorians and more contemporary multifamily

residences and high rises within the block. Therefore, the Andrew Cassidy Home no longer retains its setting integrity.

*Location is the place where the historic property was constructed or the place where the historic event occurred.*

The location of the resource has remained the same since its construction in 1899, in Little Italy. Therefore, the property has retained its location integrity.

*Design is the combination of elements that create the form, plan, space, structure, and style of a property.*

There have been no major alterations or changes to the resource that have significantly impacted or diminished the building's form, plan, space, structure, or style. While there have been changes to the building outside of its period of significance, many of these changes occur at the rear of the property and would be considered small or negligible when considering the property as a whole and the extant character-defining features, which reflect its form, plan, space, structure, and style. Changes include the addition of the rear roof deck, accessibility ramp, window replacements, and porch repairs.

*Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.*

The resource continues to exhibit a good degree of materials integrity. The materials illustrate the choices, combinations, availability and technologies of the time. The retention of the exterior wood cladding, spindlework detail, decorative carved brackets, diamond shaped wood shingles at the roof and gabled ends, and period entry door, comprise the choice and configuration of building materials. Thus, the resource retains its materials integrity.

*Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.*

The workmanship that has gone into the construction of the residence is original including its Queen Anne style details: exterior wood cladding, spindlework detail, decorative carved brackets, diamond shaped wood shingles at the roof and gabled ends, and period entry door. Therefore, the building's workmanship element for integrity purposes has been mostly retained.

*Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.*

Together with other Victorian residences along Union Street, the Andrew Cassidy Home no longer retains its feeling aspect of integrity as an early residential development in Little Italy. Hence, the resource's integrity of feeling has been compromised.

*Association is the direct link between an important historic event or person and a historic property.*

The resource continues to embody its association as an early residential resource within the Middletown San Diego area. Therefore, the property retains its association integrity.

In summary, the Andrew Cassidy Home appears to retain sufficient integrity to convey its historical significance. The residence retains its integrity of location, design, materials, workmanship, and association.

October 2021

4-6

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## SECTION V FINDINGS AND CONCLUSIONS

The purpose of the Findings and Conclusions section is to assess the impacts of the proposed Air Rights Tower project on identified historical resources of the built environment. Under CEQA, the City of San Diego has established significance determination thresholds for significant impact, in accordance with CEQA Guidelines Section 21082.2. Significant impacts include direct, indirect, and cumulative impacts to historical resources, as described in the City's "CEQA Significance Determination Thresholds" dated January 2007.

The Area of Potential Effects (APE) contains one historic property, the Andrew Cassidy Home, listed in the City of San Diego Register of Historical Resources (HRB #283). The property does not appear to be eligible for listing under National Register nor the California Register.

### A. PROPOSED PROJECT DESCRIPTION

The Air Rights Tower project (project) proposes to redevelop the parcel occupying the entire 5,000 square foot lot bounded to the north and south by multifamily structures, to the west by a parking lot, and to the east by Union Street. It includes the construction of a 110,000 gross square foot, twenty-four story residential high-rise. Site improvements include a subterranean basement and new driveway.

To facilitate the construction of the new development, the Andrew Cassidy Home will be relocated to 2642-2648 Newton Avenue, in the Barrio Logan community of San Diego with its primary façade facing south on Newton Avenue. The relocation site is compatible with the original character and use of the Andrew Cassidy Home and will reintroduce the house to a residential neighborhood made-up of similar houses from the same period. The adjacent southeast portion of the parcel will remain vacant for one or two potential future relocated structures and a new two-story, warehouse and multifamily residential structure will also be constructed at the rear, north section of the Newton Avenue site with access to the alley.

Prior to the redevelopment of the Union Street site, the Andrew Cassidy Home will be relocated. The mover shall outline the details of the route, schedule, and sequence of the move as well as the means by which the house will be modified and secured for the relocation. The Historic Architect/Monitor and City staff shall approve the plan prior to the relocation date. After the completion of a new foundation on site, the Andrew Cassidy Home will be transported in two pieces. Approximately 8-feet of roof will be removed and transported separately in order to clear overhead MTS trolley lines. Following the relocation of the Andrew Cassidy Home, the exterior of the structure will be restored per *The Secretary of the Interior's Standards for Restoration*. Proposed site improvements include the addition of landscaping and new front stoop. The future tenant of the restored residence has not been identified; however, the building will continue its residential occupancy classification.



Figure 5-1: Street view looking northwest along Union Street. The Andrew Cassidy Home is located at the west portion of the street barely visible between two multifamily residential properties. Source: Google Maps.



Figure 5-2: Context and street view looking south along Union Street. Note extant Victorians along Union Street have a higher street visibility than the Andrew Cassidy Home. Source: Google Maps.



Figure 5-3: Looking west at the Andrew Cassidy Home located between two multifamily residences. Source: Matthew Segal.



Figure 5-4: Looking northeast at rear of the Andrew Cassidy Home located between two multifamily residences. Source: Matthew Segal.



Figure 5-5: Aerial photo simulation looking northwest at the proposed Air Rights Tower project along Union Street. Source: Matthew Segal.



Figure 5-6: Photo simulation of the proposed Air Rights Tower project development looking northwest along West Cedar Street. Source: Matthew Segal.



Figure 5-7: Relocation Map. Source: Matthew Segal.



Figure 5-8: Aerial context of the Newton Avenue site. Source: Google Maps.

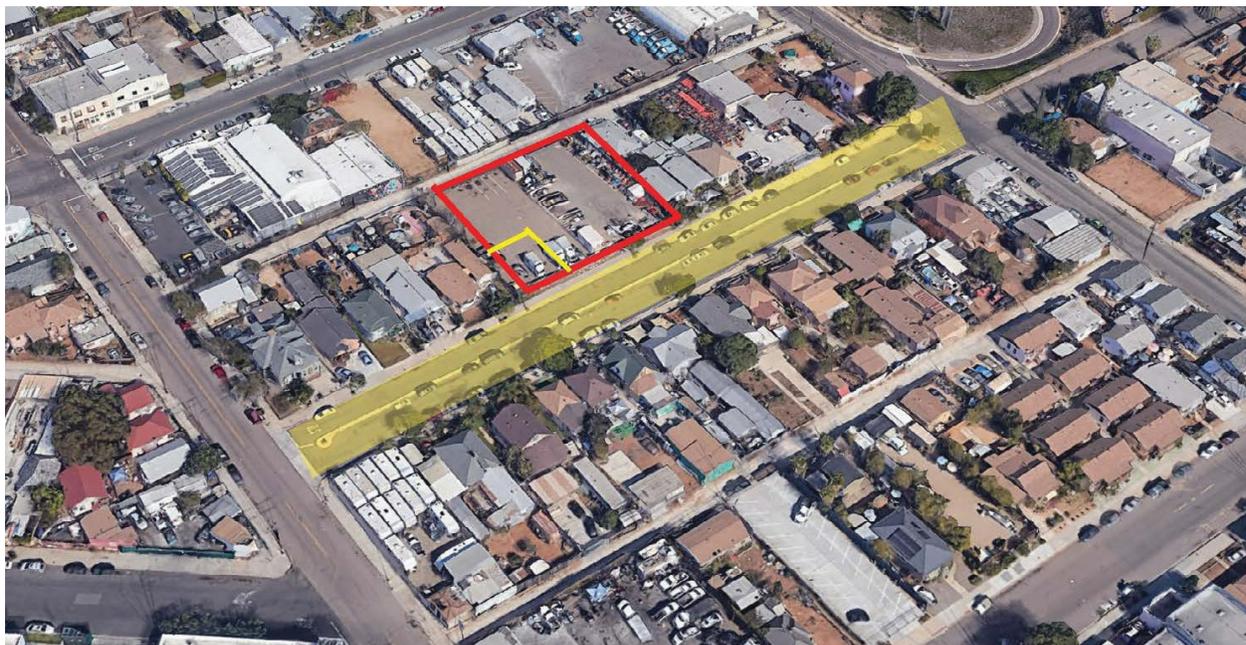


Figure 5-9: Aerial context of the Newton Avenue site and proposed location of the Andrew Cassidy Home at the southwest corner of the parcel. Source: Matthew Segal.

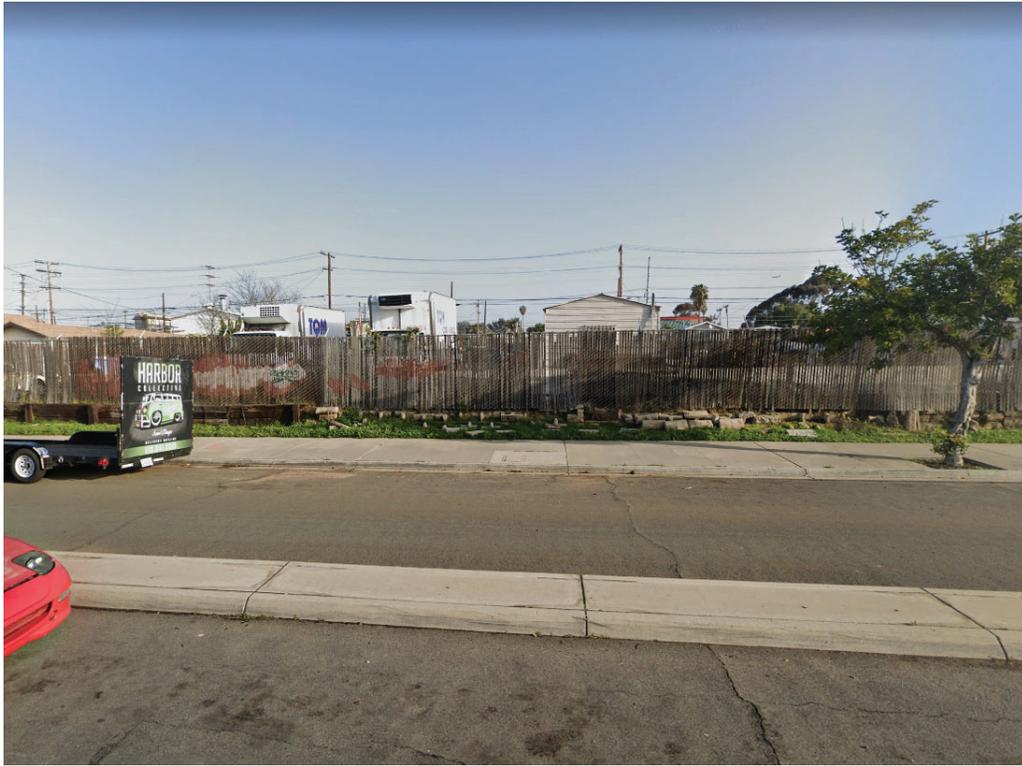


Figure 5-10: Newton Avenue street view looking northwest at the property. Source: Google Maps.



Figure 5-11: Looking southeast into the Newton Avenue parcel from the alley.



Figure 5-12: Adjacent properties looking northeast along Newton Avenue.

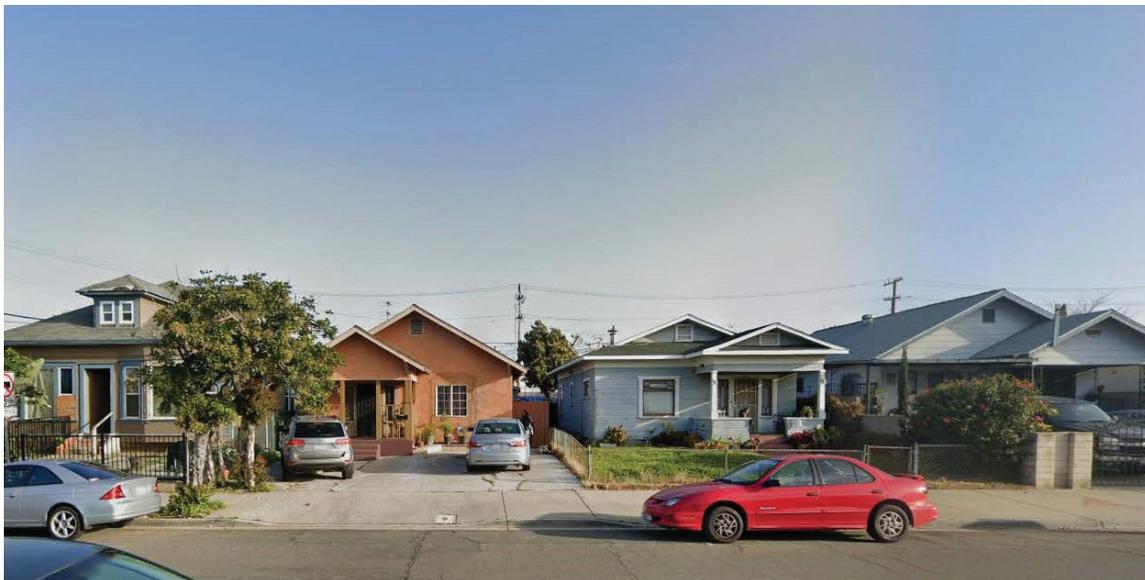


Figure 5-13: Similar residential housing and scale along Newton Avenue. Source: Matthew Segal.





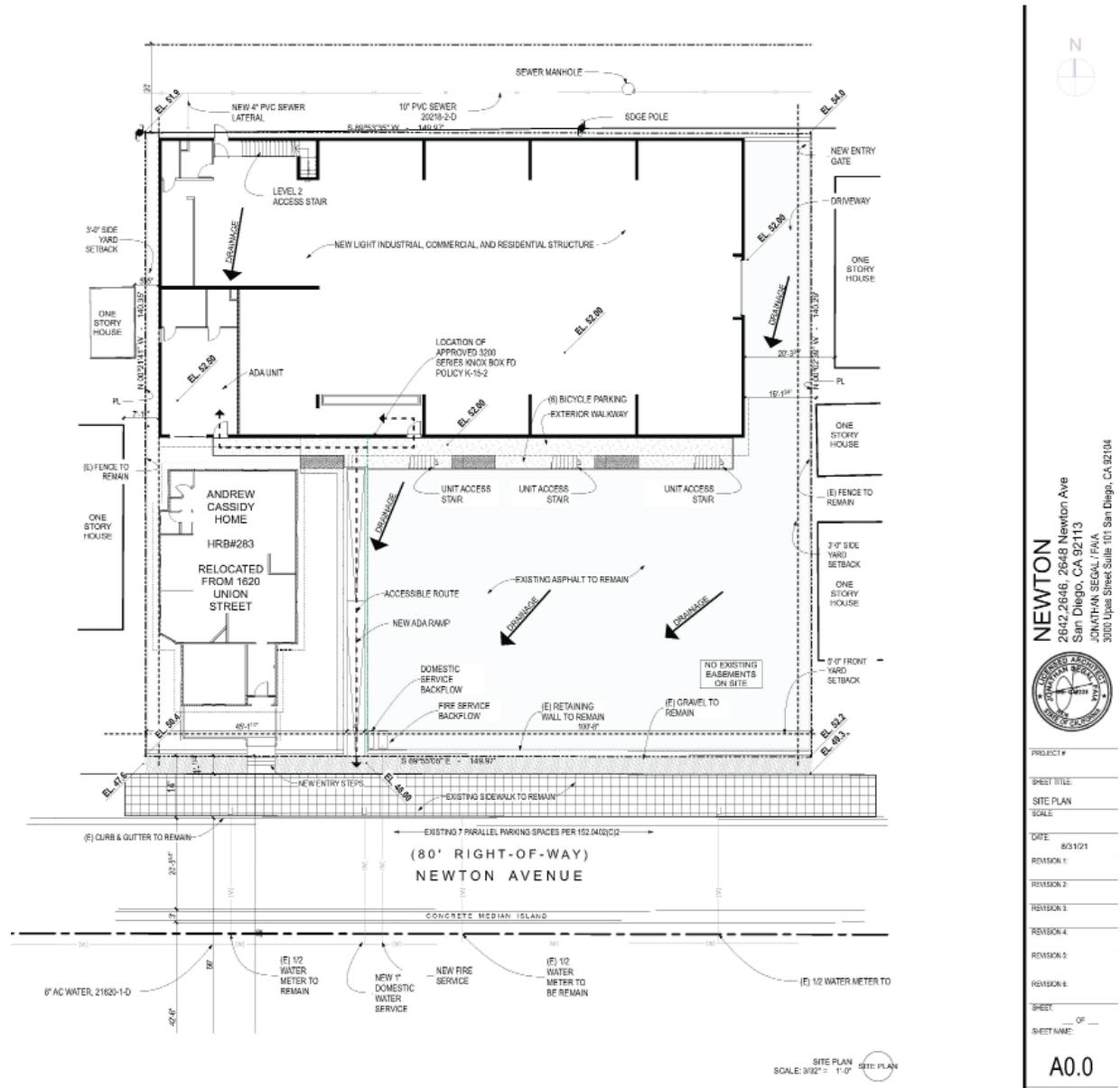


Figure 5-16: Newton Avenue Proposed Site Plan and future development. Source: Matthew Segal.

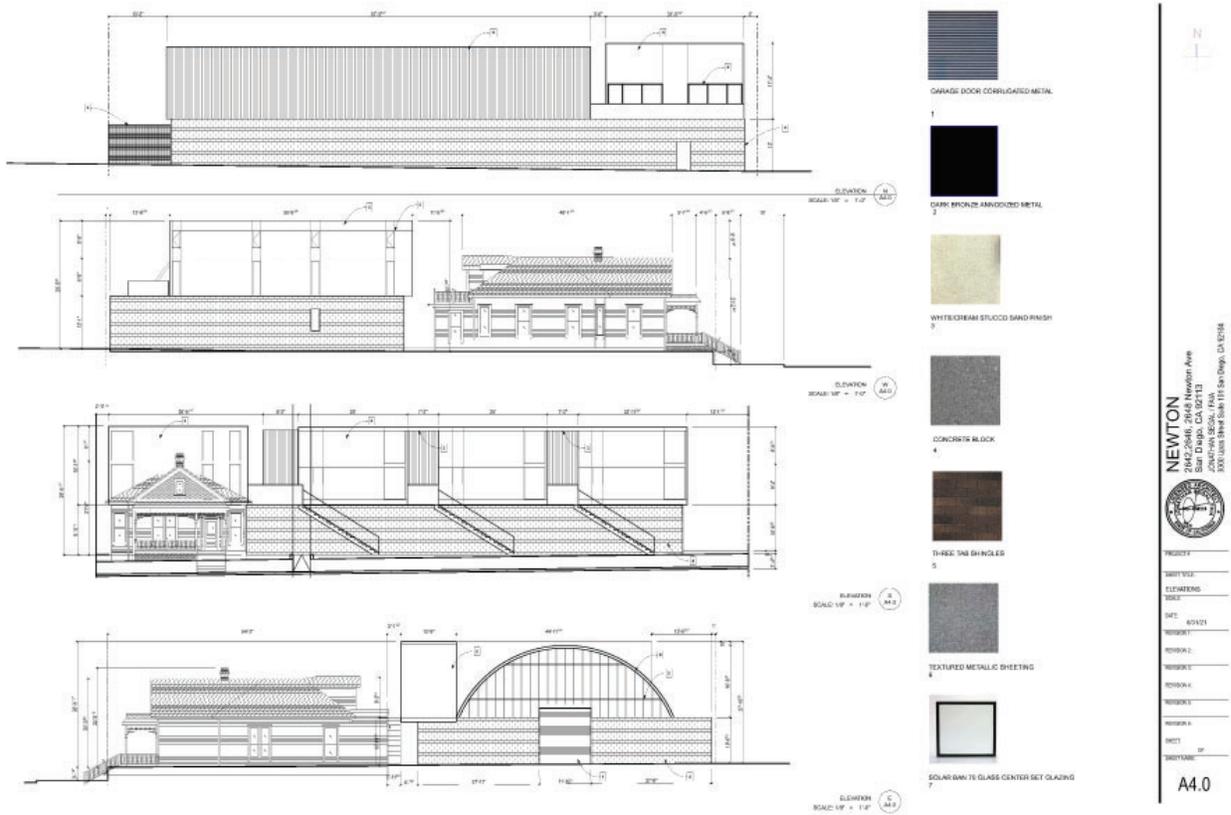


Figure 5-17: Proposed building elevations at the Newton Avenue site. Source: Matthew Segal.

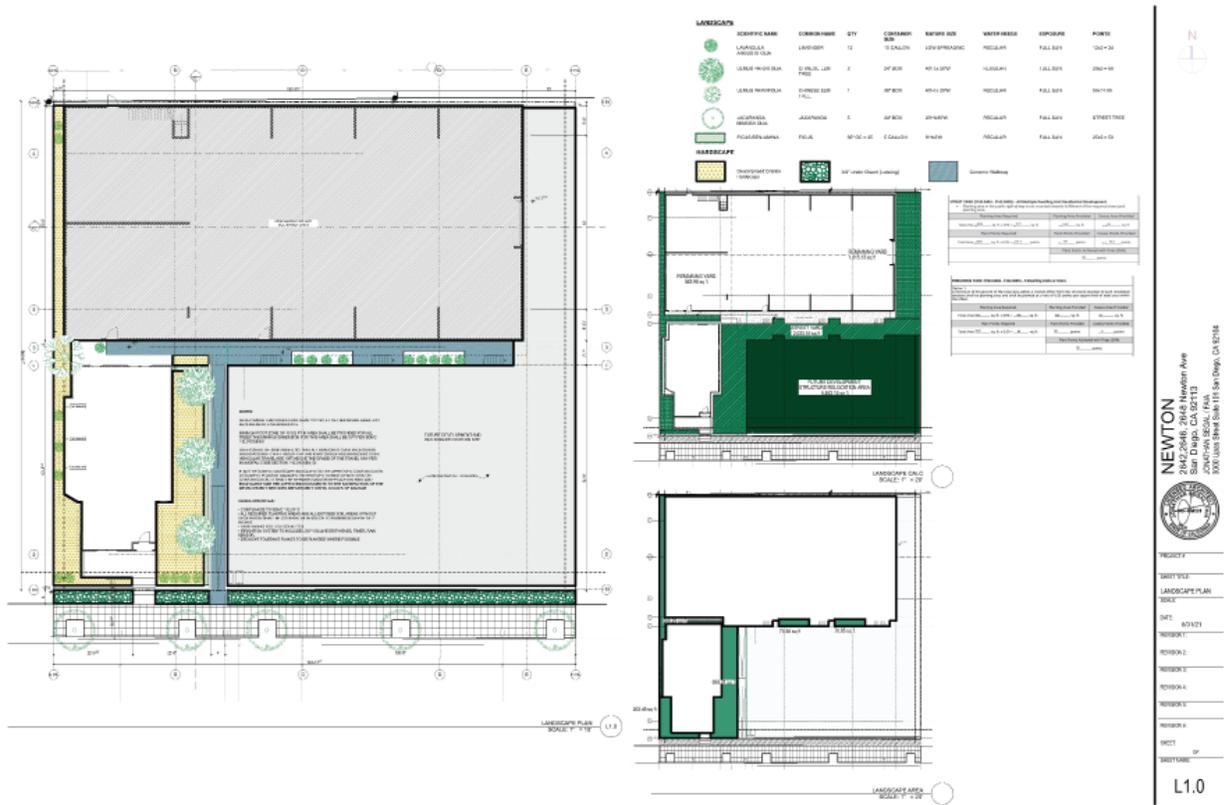


Figure 5-18: Proposed landscape plan at the Newton Avenue site. Source: Matthew Segal.

**B. IDENTIFYING HISTORICAL RESOURCES OF THE BUILT ENVIRONMENT**

Historical resources are recognized as part of the environment under the California Environmental Quality Act (CEQA) (PRC Sections 21002(b), 21083.2, and 21084.1). According to Public Resources Code §5020.1(j), “historical resource” includes, but is not limited to, any object, building site, area, place, record, or manuscript which is historically or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California.” More specifically, the California Environmental Quality Act (CEQA) Guidelines (Section 15064.5(a)(1-2) state that the term “historical resources” applies to such resources listed in or determined to be eligible for listing in the California Register of Historical Resources (California Register), included in a local register of historical resources, or determined to be historically significant by the Lead Agency.

The California Register is an authoritative guide to the state’s historical resources and to which properties are considered significant for purposes of CEQA. The California Register includes resources listed in or formally determined eligible for listing in the National Register of Historic Places, as well as some California State Landmarks and Points of Historical Interest. Properties of local significance that have been designated under a local preservation ordinance (local landmarks or landmark districts) or that have been identified in a local historical resources inventory may be eligible for listing in the California Register and are presumed to be significant resources for purposes of CEQA unless a preponderance of evidence indicates otherwise (PRC §5024.1, 14 CCR §4850).

Moreover, the City of San Diego’s CEQA Significance Determination Thresholds (Development Services Department, January 2011) notes that if a resource is not listed in, or determined eligible for listing in, the California Register, or not deemed significant in a historical resource survey, it may nonetheless be historically significant. The significance of a historical resource is based on the potential for the resource to meet one or more of the criteria presented below, including the potential to address important research questions as documented in a site specific technical report as part of the environmental review process.

This HRTR has identified one historic resource located within the project APE, that is the Andrew Cassidy Home.

**C. PROPOSED PROJECT IMPACTS**CEQA Impacts

The proposed Air Rights Tower project would result in the relocation of the Andrew Cassidy Home from the Little Italy site to a vacant lot along a residential street on Newton Avenue in Barrio Logan. The Andrew Cassidy Home will be located at the southwest corner of the parcel lot and rotated to face south along Newton Avenue.

In determining potential impacts on historical resources under CEQA, a “project with an effect that may cause a substantial adverse change in the significance of a historical resources is a project that may have significant effect on the environment” (CEQA Guidelines §15064.5). A “substantial adverse change” means “demolition, destruction, relocation, or alteration of the resource such that the significance of a historical resource would be materially impaired” [PRC §5020.1(q)]. Material impairment occurs when a project:

- Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance that justify its inclusion in, or eligibility for, listing in the California Register of Historical Resources; or
- Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significance; or
- Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA. [State CEQA Guidelines, §15064.5(b)(2)]

Direct or indirect effects can occur to the eligible historical resources with the implementation of the project. Direct effects can include alteration, demolition, or removal of buildings, structures, and cultural landscape elements. Direct effects can also include the addition of new buildings, structures, or infill elements which would alter the historic setting, the site lines, or view corridors from one point to another by changing spatial relationships of buildings to each other along with landscape elements.

Implementation of the proposed project would result in significant impacts to an on-site historical resource due to the relocation of the Andrew Cassidy Home. Compliance with recommended mitigation measures would reduce the significance of impacts to a level that is less than significant.

#### City of San Diego's Significance Thresholds

The City of San Diego's Significance document has identified various activities that will cause damage or have an adverse effect on the resource.

#### 1. Direct Impacts

##### Relocation from Original Site

The proposed project includes the relocation of the Andrew Cassidy Home to an off-site location in the Barrio Logan community.

##### Alteration or Repair of a Historic Structure

The relocation and exterior restoration of the Andrew Cassidy Home will be completed in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* specifically with the *Standards for Restoration (The Standards)* including removal of non-historic additions, and, therefore, shall be considered as mitigated to a level of less than a significant impact on the historical resource.

#### 2. Indirect Impacts

Indirect impacts were considered to determine if the project would cause the introduction of visual, audible, or atmospheric effects that are out of character with a historic resource or alter its setting.

The proposed Air Rights Tower project on Union Street is not expected to have a significant indirect or cumulative impact to historical resources due to the built-up nature of the area, new or recent development surrounding the property, lack of sensitive resources (including historic districts), and limited viewsheds. The proposed project will introduce an additional high rise to an area that has already been previously redeveloped.

The proposed project is not expected to have a significant indirect or cumulative impact to the Newton Avenue property or the surrounding street. The relocation site is compatible with the original character and use of the Andrew Cassidy Home and will reintroduce the house to a residential neighborhood made-up of similar houses from the same period. Contextually, the new two-story, warehouse and multifamily residential structure will be constructed at the rear, north section of the Newton Avenue site with access from the alley. Per *The Standards* the new building will be set back from the primary street and its design will be differentiated from the early 20<sup>th</sup> century neighboring residential properties.

### 3. Mandatory Findings Significance

CEQA sets forth mandatory findings of significance addressed below.

*Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of an endangered, rare or threatened species, or eliminate important examples of the major periods of California history or prehistory?*

The restoration of the Andrew Cassidy Home's exterior façade at its relocated site will be conducted in accordance with *The Standards*. The Andrew Cassidy Home's role in the residential and architectural development trends of San Diego is important and will continue to convey its architectural style in its relocated environment retaining a good degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

Therefore, the proposed Air Rights Tower project along Union Street would not eliminate the resource from its architectural association as an important example of a Queen Anne style residence significant to the early residential development of San Diego history and would not, therefore, result in a mandatory finding of significance.

## D. MITIGATION MEASURES

Per the City of San Diego's Land Development Manual – Historical Resources Guidelines, preferred mitigation is to avoid impacts to the resource through project redesign. If the negative impacts to the resource cannot be entirely avoided, all prudent and feasible measures to minimize harm to the resource shall be taken.

### Redesign Options

Depending upon project impacts, non-demolition measures can include, but not be limited to:

- a. Preparing a historic resource management plan;

- b. Adding new construction which is compatible in size, scale, materials, color and workmanship to the historic resource (such additions, whether portions of existing buildings or additions to historic districts, shall be clearly distinguishable from historic fabric);
- c. Repairing damage according to the Secretary of the Interior's Standards for Rehabilitation;
- d. Screening incompatible new construction from view through the use of berms, walls and landscaping in keeping with the historic period and character of the resource;
- e. Shielding historic properties from noise generators through the use of sound walls, double glazing and air conditioning; and
- f. Removing industrial pollution at the source of production.

### Relocation

If there are no other ways to save a building, structure, or object other than relocation, such measures shall be performed in accordance with National Park Service standards. Appropriate relocation sites shall duplicate, as closely as possible, the original location in terms of size, topography, neighborhood setting, orientation, and site landscaping.

### Recordation

If the resource cannot be accommodated through project redesign, it shall be documented according to HABS/HAER/HALS standards prior to relocation. Such documentation, including a written report, photographs, and in some cases, measured drawings and videotape shall be prepared by a qualified professional to the standards determined by the National Park Service.

Prior to relocation, Secretary of Interior-qualified professionals (in history or architectural history) (36 CFR Part 61) shall perform photo-recordation and documentation consistent with the standards of the National Park Service (NPS) Historic American Buildings Survey (HABS) documentation. HABS documentation is described by the NPS as "the last means of preservation of a property; when a property is to be demolished, its documentation provides future researcher access to valuable information that otherwise would be lost." The HABS record for the Andrew Cassidy Home shall consist of measured drawings, digital photographs, and written data that provide a detailed record that reflects the Andrew Cassidy's historical significance. Following completion of the HABS documentation and approval by the Historical Resources Board (HRB), the materials shall be placed on file with the City, San Diego History Center, and the San Diego Central Library.

### Interpretive Signage or Display Panels

Interpretive Signage, Display Panels/Plaques, Murals – Installation of interpretive signs, display panels, and/or wall mural in a publicly visible location that describe the history and significance of Andrew Cassidy Home. The interpretive signage and its location within the new project must be approved by the City's Historical Resources staff and shall include historic photographs and a brief narrative describing the history and significance of the resource. The signage or mural shall be displayed/installed in an appropriate public or open space area within the Newton Avenue site.

### Other Mitigation Opportunities

Salvaged Materials - Prior to relocation, distinctive representative architectural features shall be identified, and if feasible, salvaged for reuse in relation to the proposed plan, or perhaps removed to another location on site as provided in *The Secretary of the Interior's Standards*. If reuse onsite is not

feasible, opportunities shall be made for the features to be donated to various interested historical or archival depositories.

#### **E. CONCLUSION**

The proposed Air Rights Tower project would result in a significant direct impact to the historical resource, the Andrew Cassidy Home, because of its relocation. Mitigation measures would reduce impacts to the historical resource to less than significant since the new location is situated within a similar residential block in the Barrio Logan community that is compatible with the original character and use of the Andrew Cassidy Home and will reintroduce the house to a residential neighborhood made-up of similar houses from the same period. Adherence to *The Secretary of the Interior's Standards for the Treatment of Historic Properties* will be conducted on the relocated resource which will enable the building to continue to convey its architecture, retaining a high degree of its integrity of setting, design, workmanship, materials, feeling, and association, for which the property received its designation.

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**SECTION VII APPENDICES**

- A. BUILDING DEVELOPMENT INFORMATION**
- B. OWNERSHIP AND OCCUPANT INFORMATION**
- C. MAPS**
- D. DPR FORM**
- E. PREPARERS QUALIFICATIONS**

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**A. BUILDING DEVELOPMENT INFORMATION**

1. County Assessor's Building Record
2. Notice of Completion
3. Water/Sewer Connection Records
4. Construction Permits
5. Lot Block Book Page
6. Previous Historical Resources Survey Forms

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COUNTY ASSESSOR RESIDENTIAL BUILDING RECORD O.V. = 610  
 DIEGO CO. CALIFORNIA ADDRESS 1620 UNION ST. PARCEL F-30-32 SHEET 7 OF 1 SHEETS

DESCRIPTION OF BUILDING 533-353-11

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF		LIGHTING		AIR CONDITION		ROOM AND FINISH DETAIL						
				Light	Sub-Standard	Frame	Stucco on	Flat	Pitch	Wiring	Heating	Cooling	ROOMS	FLOORS	FLOOR FINISH	TRIM
D4.53 1 1/2 Car	Standard	Sheathing	Siding	Gable	Hip	X R.T.	Conduit	Forced	Clean'g	All	X	Material	Grade	TRIM	Walls	Ceilings
ARCHITECTURE	Standard	Concrete Block	Shingle	Cut Up	Dormers	X Few	X Cheap	Gravity	Humid.	Ent Hall	1	PINE	A	OP	Pl. PA	PT.
TYPE	Special	Brick	Snake	Roft.	Gutters	Arg.	Med.	Floor Unit	Zone Unit	Living	1					
Use Design	FOUNDATION	Adobe	Stone	Tile	Tile Trim	PLUMBING		Oil Burner		Dining	1					
X Single	X Concrete	Floor Joist	B & B	T & G.						Bed	1					
Double	Reinforced	1"								Bed	1					
Duplex	Brick	2"	Brick	Shingle	Shake	Water Softener		Fireplace								
Apartment	Wood	Sub-Floor	Stone	Shake												
Flat-Court	Piers	Concrete Floor	WINDOWS	Tile	Tile Trim											
Motel			X D.H.	Casement	Comp.											
		Insulated Ceilings	Metal Sash	Comp.	Water-Hot-Auto.	Water-Softener		Fireplace		Kitchen	1	LIN				
		Insulated Walls	X Screens	X Compa.	Shingle					Drain Bd.	Material: T	Lghts:	Fl. Splash:			

CONSTRUCTION RECORD				EFFEC. YEAR				APPR. YEAR				NORMAL % GOOD				RATING (E, G, A, F, P)				BATH DETAIL					
Permit No.	For	Amount	Date	Year	Year	Age	Remaining Life	Table	%	Cond.	Arch. Plan	Func. Plan	Con-Form	Storage Space	Wc. Cupbd	Wc. Closet	Wc. Minshp	Fl. No.	FINISH		FIXTURES		SHOWER		
			1899	1899	1900	59	9	855	34	A	A	A	FA	A	A	A	A	11	Floors	Walls	Wc. Lo. Tub	Type	Grade	Sf. Q.T.G.D.	Finish
				1899	1966	67	9	860	29											LIN	PL. PT	111	O	A	
					1977	78	5	860	24																

SPECIAL FEATURES			
Back Cases	Built in Rarrig.	Venetian Blinds	
Shutters	" " Oven & Plate		
Vent Fan	" " Dishwasher		

COMPUTATION															
Appraiser & Date		5-21-59		2-27-61		2-27-61		2-27-61		2-27-61		2-27-61		2-27-61	
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost								
LAND OFFICE	1470	5.80	8526							13.30	19551				
TILES															
CCP	126	3.00	378							4.40	554				
TOTAL			8904												20105
NORMAL % GOOD			39												24
R.C.L.N.D			3027												4825

A-11 8-56 A 3-54



Notice of Completion not available.

## 2. Notice of Completion.

Information not available.

### 3. Water/Sewer Connection Records.



214557

200

**City of San Diego**  
**Development Services**  
 1222 First Ave., MS-301  
 San Diego, CA 92101-4154  
 (619) 446-5000  
 www.ci.san-diego.ca.us/development-services

**General Application**

1. **Approval Type:** • Construction Permits:  Structure  Grading  Public Right-of-Way; •  Electrical •  Plumbing/Mechanical  
 •  Sign •  Subdivision •  Demolition/Removal • Development Permits:  Neighborhood Use  Coastal  Neighborhood Development  Site Development  Planned Development  Conditional Use  Variance •  Other \_\_\_\_\_

2. **Project Address:** Include Building or Suite No. **1620 UNION ST** **Project Title:** **CCDC Area 1 Ph 2 Job 2 UUD** **Project No. For City Use Only**

Lot No. \_\_\_\_\_ Block No. \_\_\_\_\_ Subdivision Name \_\_\_\_\_ Unit No. \_\_\_\_\_ Map No. \_\_\_\_\_

**Existing Use:** **Commercial** Parcel No. **533-353-11-00** Parcel Map No. \_\_\_\_\_ Assessor's Parcel No. \_\_\_\_\_

**Project Description:** **Underground Utility District** Total Floor Area \_\_\_\_\_

3. **Designer name** \_\_\_\_\_ **Address** \_\_\_\_\_ **Fax Number** \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ Telephone \_\_\_\_\_ License Number \_\_\_\_\_

4. **Applicant Name** Please check one  Contractor  Agent for Contractor  Owner  Agent for Owner **Southern Contracting Company** **Fax Number** \_\_\_\_\_  
 Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ Telephone \_\_\_\_\_  
**559 North Twin Oaks Valley Road San Marcos CA 92069 760-744-0760**

5. **Property Owner/Lessee Tenant Name** Please check one  Owner  Lessee or Tenant **WILLIAM PETERSON** **Fax Number** \_\_\_\_\_  
 Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ Telephone \_\_\_\_\_  
**3936 BAYSIDE WALK SAN DIEGO CA 92109-6947**

6. **Contractor Name** (not required for development permits) **Southern Contracting Company** **Fax Number** \_\_\_\_\_  
 Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_ Telephone \_\_\_\_\_  
**North Twin Oaks Valley Road San Marcos CA 92069 760-744-0760**  
 State License No. 222252 License Class A, C10 City Business Tax No. B1974004617

**Licensed Contractor's Declaration:** I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
 Signature [Signature] Title \_\_\_\_\_ Date 3/31/05

7. **Workers' Compensation Declaration:** I hereby affirm under penalty of perjury one of the following declarations:  
 a. I have and will maintain a certificate of consent to self-insure for workers' compensation as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued  
 b. I have and will maintain workers' compensation as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are  
 Insurance Company Ulico Casualty Company Policy No. WC437636300 Expiration Date 10/1/05  
 This section need not be completed if the permit is for one hundred dollars (\$100) or less  
 c. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions  
 Signature [Signature] Date 3/31/05  
 Warning: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided in Section 3715 of the Labor Code, interest, and attorney's fees

8. **Owner-Builder Declaration:** I hereby affirm that I am exempt from the Contractor's License Law for the following reason [Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, maintain or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500)]  
 I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)  
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with contractor(s) licensed pursuant to the Contractor's License Law.)  
 I am exempt under Section \_\_\_\_\_ B.&P.C. for this reason \_\_\_\_\_ Date \_\_\_\_\_

<b>Approval</b>	 THE CITY OF SAN DIEGO Development Services Department 1222 1st Avenue, San Diego, CA 92101-4154	8/4/21 12:40 pm Page 1 of 1
L64A-005		

<b>Project Information</b>		
Project Nbr: <b>447399</b>	Title: PVS 1620 Union St	
Project Mgr: Muz, Emerald	(619)446-5457	Muze@san Diego.gov

<b>Approval Information</b>		
Approval Nbr: <b>15 64712</b>	Type: Electrical-Photovoltaic	Status: Issued
Issued: 01/05/2016 10:53 am	Issued By: Muz, Emerald	Permit Holder: Ray, Dennis - Smart Energy Solar
Completed:	Completed By:	Owner Occupied: <input type="checkbox"/>
Extension Qty: 0	Extended By:	Cancel Reason:
Scope: Electrical permit to install a roof mounted photovoltaic system for SDU		Precancel Status:
		Land Doc Type:
		Recorded Map No.:
		Recorded Date:

<b>Job Location (1620 UNION ST)</b>	
<u>Address</u>	<u>Assessor Parcel</u>
1620 UNION ST	533-353-1100

<b>Fee Worksheet</b>		
<u>Fee</u>	<u>Quantity</u>	<u>Unit</u>
Issuance NoPlans/Other	1.00	Each
Photovoltaic-SDU/Duplex BP	1.00	Each
Photovoltaic-SDU/Duplex PC	1.00	Each
Records-No Plan Permits/Other	1.00	Each
Travel-Doc-Replac/Remod/Add	1.00	Floors

The San Diego County Assessor Lot Block Book Page shows the first year with assessed improvements as being 1890.

5. Lot Block Book Page.

ANDREW CASSIDY HOME - 1620 UNION STREET

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October 2021

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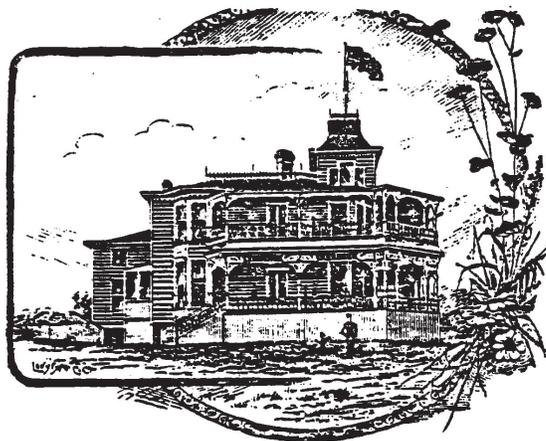
Block Lot	Map	Block	Lot	Area	Owner	Area	Block	Lot	Area	Owner
30	1888	30	1	700	A. E. Horton	33	1	1000	1890	A. E. Horton
			2	700	Unknown		2	1000		W. E. F. Foley
			3	700	Unknown		3	1000		Unknown
			4	700	F. F. Fugate		4	1000		W. A. S. B. Baker
			5	700	A. E. Horton		5	1000		Unknown
			6	700	James Kennedy		6	1000		W. A. S. B. Baker
			7	700	Unknown		7	1000		W. A. S. B. Baker
			8	700	James Kennedy		8	1000		W. A. S. B. Baker
			9	700	Unknown		9	1000		W. A. S. B. Baker
			10	700	James Kennedy		10	1000		W. A. S. B. Baker
			11	700	Unknown		11	1000		W. A. S. B. Baker
			12	700	W. H. Arnold		12	1000		W. A. S. B. Baker
31		31	1	700	A. E. Horton	34	1	1000	1890	W. A. S. B. Baker
			2	700	Unknown		2	1000		W. A. S. B. Baker
			3	700	Unknown		3	1000		W. A. S. B. Baker
			4	700	Unknown		4	1000		W. A. S. B. Baker
			5	700	Unknown		5	1000		W. A. S. B. Baker
			6	700	Unknown		6	1000		W. A. S. B. Baker
			7	700	Unknown		7	1000		W. A. S. B. Baker
			8	700	Unknown		8	1000		W. A. S. B. Baker
			9	700	Unknown		9	1000		W. A. S. B. Baker
			10	700	Unknown		10	1000		W. A. S. B. Baker
			11	700	Unknown		11	1000		W. A. S. B. Baker
			12	700	Unknown		12	1000		W. A. S. B. Baker
32		32	1	700	Unknown	35	1	1000	1890	W. A. S. B. Baker
			2	700	Unknown		2	1000		W. A. S. B. Baker
			3	700	Unknown		3	1000		W. A. S. B. Baker
			4	700	Unknown		4	1000		W. A. S. B. Baker
			5	700	Unknown		5	1000		W. A. S. B. Baker
			6	700	Unknown		6	1000		W. A. S. B. Baker
			7	700	Unknown		7	1000		W. A. S. B. Baker
			8	700	Unknown		8	1000		W. A. S. B. Baker
			9	700	Unknown		9	1000		W. A. S. B. Baker
			10	700	Unknown		10	1000		W. A. S. B. Baker
			11	700	Unknown		11	1000		W. A. S. B. Baker
			12	700	Unknown		12	1000		W. A. S. B. Baker

Block	Lot	1890	1891	1890	1891	Block	Lot	1890	1891	Value of Real Estate
176	28	113	Wm. Ketchum	400	Wm. Ketchum	177	30	1	Amos C. Ogden	400
		114	Wm. Ketchum	475	Amos C. Ogden			475		
		1	Amos C. Ogden	240	Amos C. Ogden			240		
		2	Amos C. Ogden	190	Amos C. Ogden			190		
		3	Amos C. Ogden	190	Amos C. Ogden			190		
		4	Amos C. Ogden	190	Amos C. Ogden			190		
		5	Amos C. Ogden	190	Amos C. Ogden			190		
		6	Amos C. Ogden	190	Amos C. Ogden			190		
		7	Amos C. Ogden	190	Amos C. Ogden			190		
		8	Amos C. Ogden	190	Amos C. Ogden			190		
		9	Amos C. Ogden	190	Amos C. Ogden			190		
		10	Amos C. Ogden	190	Amos C. Ogden			190		
30	29	1	Amos C. Ogden	400	Amos C. Ogden	177	31	1	Amos C. Ogden	400
		2	Amos C. Ogden	475	Amos C. Ogden			475		
		3	Amos C. Ogden	240	Amos C. Ogden			240		
		4	Amos C. Ogden	190	Amos C. Ogden			190		
		5	Amos C. Ogden	190	Amos C. Ogden			190		
		6	Amos C. Ogden	190	Amos C. Ogden			190		
		7	Amos C. Ogden	190	Amos C. Ogden			190		
		8	Amos C. Ogden	190	Amos C. Ogden			190		
		9	Amos C. Ogden	190	Amos C. Ogden			190		
		10	Amos C. Ogden	190	Amos C. Ogden			190		
		11	Amos C. Ogden	190	Amos C. Ogden			190		
		31	30	1	Amos C. Ogden			400	Amos C. Ogden	177
2	Amos C. Ogden			475	Amos C. Ogden	475				
3	Amos C. Ogden			240	Amos C. Ogden	240				
4	Amos C. Ogden			190	Amos C. Ogden	190				
5	Amos C. Ogden			190	Amos C. Ogden	190				
6	Amos C. Ogden			190	Amos C. Ogden	190				
7	Amos C. Ogden			190	Amos C. Ogden	190				
8	Amos C. Ogden			190	Amos C. Ogden	190				
9	Amos C. Ogden			190	Amos C. Ogden	190				
10	Amos C. Ogden			190	Amos C. Ogden	190				
11	Amos C. Ogden			190	Amos C. Ogden	190				

Historic Resources Inventory  
for Middletown Area, San Diego, California

Completed by the University of San Diego, January 1981

Dr. Ray Brandes, Project Director



RESIDENCE OF HON. A. E. HORTON, MIDDLETOWN HEIGHTS

6. Previous Historical Resource Survey Forms.

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

HABS _____		HAER _____		NR _____		SHL _____		Loc _____	
UTM: A _____		B _____		C _____		D _____			

H1620:1

IDENTIFICATION:

- 1.COMMON NAME:.....Godwin Residence.....
- 2.HISTORIC NAME:.....Andrew Cassidy Home.....
- 3.STREET OR RURAL ADDRESS:....1620 Union Street.....  
CITY:...San Diego.....ZIP:92101.COUNTY:San Diego
- 4.PARCEL NUMBER:.....533-353-11.....
- 5.PRESENT OWNER:...Mark and Deborah Godwin.....  
ADDRESS:.....1620 Union Street.....  
CITY:.....San Diego.....ZIP:.....92101.....  
OWNERSHIP IS: PUBLIC.....PRIVATE:.....XX.....
- 6.PRESENT USE:.....June's Attorney Service.....  
ORIGINAL USE:.....Residence.....

DESCRIPTION:

7A:ARCHITECTURAL STYLE:..Queen Anne Cottage.....

7B:BRIEFLY DESCRIBE THE PRESENT PHYSICAL DESCRIPTION OF THE SITE OR STRUCTURE AND DESCRIBE ANY MAJOR ALTERATIONS FROM ITS ORIGINAL CONDITION:

This one and one-half story Queen Anne cottage has a front veranda with gingerbread trim and decorative shingles on the gable end above. The landscaping is poor.

Legal Description: Middletown Block 33, lot 8.

Include within proposed historic district.

.....8.CONSTRUCTION DATE:

ATTACH PHOTO(S) HERE:



- . EST:.....C1888.....
- . FACTUAL:.....
- .9.ARCHITECT:....Unknown.....
- .10.BUILDER:..Unknown.....
- .11.APPROX.PROP.SIZE(IN FT):  
. FRONTAGE:.....50.....  
. DEPTH:.....100.....  
. OR APPROX.ACREAGE:
- .12.DATE(S) OF ENCLOSED PHOTOGRAPH(S):  
. ....October 1979.....

DPR 523 (Rev. 4/79)

ANDREW CASSIDY HOME - 1620 UNION STREET

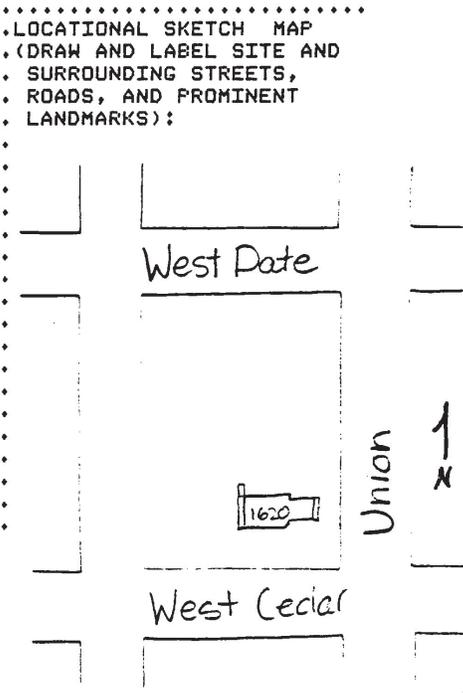
Historical Resources Technical Report - DRAFT

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- 13.CONDITION: EXCELL...GOOD.X.FAIR...DETERIORATED.....  
NO LONGER IN EXISTENCE.....
- 14.ALTERATIONS:.....Wrought iron railings.....
- 15.SURROUNDINGS:(CHK MORE THAN ONE IF NECESSARY)  
OPEN LAND...SCATTERED BLDGS...DENSELY BUILT-UP...X.....  
RESID..X.INDUST...COM'L.X..OTHER.....
- 16.THREAT TO SITE:NONE KNOWN.X..PVT DEVEL...ZONING.....  
VANDALISM...PUBLIC WORK PROJECT...OTHER.....
- 17.IS STRUCT.:ON ITS ORIG SITE?.X.MOVED?...UNKNOWN?.....
- 18.RELATED FEATURES:.....
- SIGNIFICANCE
- 19.BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE  
(INCLUDE DATES,EVENTS,AND PERSON ASSOC. WITH THE SITE.)  
This house is included within the proposed Historic District and is an example of the vanishing Queen Anne style cottages in San Diego. Between 1877 and 1933, lot 8 changed hands ten times: Wm. Jorres, (1886) R.B.Wiseman, (1889) Andrew Cassidy, (1904) Richard O'Neill, (1911) Alice McDade, (1922) Mary Baumgartner, (1926) O. E. Goshert, (1927) G. G. Olson, (1929) Marie Lauter, and (1933) Thomas Brownlow. Two water permits were issued: #1745 during the time Cassidy owned the place and #1747 prior to July 1, 1888. A sewer permit #1407 was issued to George Merritt on June 22, 1893. The only listing in the directories is from 1923 when Oakley R. Lawton, a clerk for the Russ Lumber Mill Company, and Grace Lawton lived there.
- 20.MAIN THEME OF THE HISTORIC RESOURCE:(IF MORE THAN ONE IS CHKD, NUMBER IN ORDER OF IMPORTANCE.)  
ARCHITECT.X.ARTS & LEISURE...  
ECONOMIC/INDUSTRIAL.....  
EXPLORATION/SETTLEMENT.....  
GOVT...MILITARY...RELIG...  
SOCIAL/EDUCATION.....  
21.SOURCES(LIST BOOKS,DOCUMENTS, PERSONAL INTERVIEWS,AND THEIR DATES).  
Title Insurance Co.  
1921 Sanborn Fire Map  
22.DATE FORM PREPARED.Spring'80.  
BY(NAME)...University of...  
ORGANIZATION..San Diego.....  
ADDRESS..Alcala Park.....  
CITY..San Diego...ZIP.92110..  
PHONE..(714) 293-4800.....



HISTORIC SITE INVENTORY OF  
HARBORVIEW

VOLUME II

INDIA STREET TO UNION STREET

## ANDREW CASSIDY HOME - 1620 UNION STREET

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## IDENTIFICATION

1. COMMON NAME: June's Attorney Service
2. HISTORIC NAME: Andrew Cassidy Home
3. ADDRESS: 1620 Union Street                      CITY: San Diego  
ZIP: 92101    4. PARCEL #: 533-353-11
5. PRESENT OWNER: Deborah Godwin  
ADDRESS: 1620 Union Street                      CITY: San Diego  
ZIP: 92101                      OWNERSHIP IS: PUBLIC: PRIVATE: X
6. PRESENT USE: Residence/Commercial  
ORIGINAL USE: Residence

## DESCRIPTION

- 7A. ARCHITECTURAL STYLE: Queen Anne Cottage
- 7B. BRIEFLY DESCRIBE THE PRESENT PHYSICAL DESCRIPTION OF STRUCTURE AND DESCRIBE ANY MAJOR ALTERATIONS FROM ITS ORIGINAL CONDITION.

Legal Description: Middletown, Block 33, Lot 8.

This asymmetrical, single-storied cottage has a combined front gable and hipped roof. The front porch, which extends across the front of the house, has a separate hipped roof, supported by turned posts with spindlework between them. Diamond shaped shingles were used for siding inside the front gable end and on the porch roof. Clapboarding was used for all other exterior wall surfaces. Portions of the front porch railing have been restored and extended. Windows chosen for the cottage were double hung sash. The sill of each window is supported by brackets. A bay window was designed for the south corner of the house. The front door was placed at the north end of the porch. This cottage retains most of its original integrity of design.



8. CONST. DATE: 1888  
EST: FACT: X
9. ARCHITECT:  
Unknown
10. BUILDER:  
Unknown
11. APPROX. PROP. SIZE(FT):  
50' x 100'
12. DATE OF PHOTO:  
1988

## TENTATIVE RANK: 2

SIGNIFICANCE: This asymmetrical single-story cottage is significant because of its Queen Anne design, and is an example of the type of structure created for residences to accommodate the influx of people during the 1880's "boom" period.

77

- 13. CONDITION: Excell Good X Fair Deteriorated  
No longer in existence
- 14. ALTERATIONS: Wrought iron railings.
- 15. SURROUNDINGS:  
Open Land Scattered Bldgs Densely built-up?  
Resid X Indust Com'l Other
- 16. THREATS TO SITE: None known Pvt devel X Zoning  
Vandalism Public Works Project Other
- 17. IS STRUCTURE: On its orig site? X Moved? Unknown?
- 18. RELATED FEATURES: Neighborhood atmosphere.

SIGNIFICANCE

19. BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE

Andrew Cassidy, retired, erected this structure for use as a rental in 1888. Throughout the years, it has been leased to various tenants through the present day. This Victorian cottage is a good example of architecture of the latter 1880s constructed for the influx of people seeking shelter in San Diego following the transcontinental railroad connection.

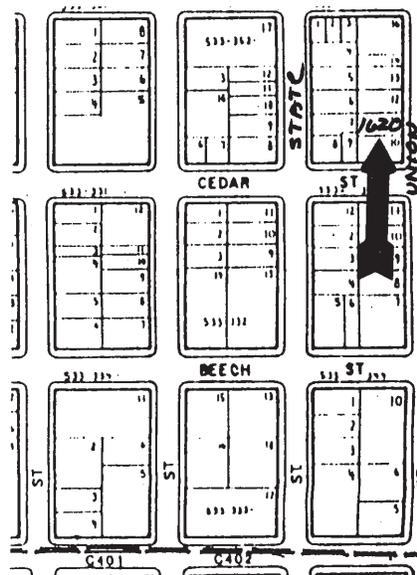
- 20. MAIN THEME OF THE HISTORIC RESOURCE: (IN ORDER OF IMPORTANCE).  
Architecture X Arts & Leisure  
Economic/Industrial  
Exploration/Settlement  
Govt Military Religion  
Social/Education

- 21. SOURCES(BOOKS, DOCUMENTS, PERSONAL INTERVIEWS, AND THEIR DATES).

San Diego City Directories, Office of San Diego County Recorder

- 22. DATE FORM PREPARED: 2/14/89  
BY: "Lia/Brandes Team"  
ADDRESS: 427 C Street, Ste 310  
CITY: San Diego, CA ZIP: 92101  
PHONE: (619) 235-9766

LOCATIONAL SKETCH MAP





The City of San Diego

## HISTORICAL SITE BOARD

CITY ADMINISTRATION BUILDING • COMMUNITY CONCOURSE MS4A • SAN DIEGO, CALIF. 92101

# REPORT

DATE: June 21, 1990

ATTENTION: Historical Site Board, Agenda of June 27, 1990

SUBJECT: HARBORVIEW/LITTLE ITALY HISTORIC DESIGNATIONS

### BACKGROUND:

At the May 23 meeting, the Historical Site Board selected 37 properties from the Lia/Brandes historic inventory of Harborview/Little Italy (see salmon colored booklets) to be considered at this meeting for possible historic designation. Additionally, the Board identified another 9 buildings and 3 street features (sidewalk markers and horse rings) that it wanted staff to research and provide information for the Board's consideration.

The Board also created a subcommittee to meet with members of the Harborview community about alternative methods to achieve preservation goals within the community. The subcommittee was instructed to report the results of its meeting with the community group at the next Board meeting.

There have been two meetings of the Board's subcommittee and a third is planned for Tuesday evening, June 26, at 5:30 p.m. at the Office of the City Architect. Copies of the preliminary proposal put forward by architects Rob Quigley and Tony Cutri are attached to this report. It is expected that some refinement to this proposal will be made at the next subcommittee meeting and the Board will see a final version of the proposal at its meeting on June 27.

Two property owners have requested a continuance on the consideration of their properties. One because she will be out of town until September, the other because she is attempting to settle a deceased mother's estate (see attached letters). Staff recommends that the Board grant these requests for continuance.

Another attorney has suggested that the inventory sheets are not adequate for the Board to designate from (see attached letter). The contention is that the inventory sheets do not contain the information required in a regular designation report according to the Board's policy.

While inventory sheets are generally not as all-inclusive as a narrative report, the information contained thereon covers the substantive information required by the Board's policy. Subject to a Board decision, on a case by case basis, that more information is required, staff believes that the use of inventory sheets is a correct and proper procedure upon which to base historic designation of property. It is not without precedent in the City of San Diego or other cities

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across the state. The information inventory forms are adequate for making determinations of National Register significance. It is absurd to suggest that the Board should not also use them.

This report will deal with staff recommendations on which properties the Board should designate. The alternative preservation proposals of the Harborview community on how they would like to see designations take place are attached to this report. Analysis of the policy issues that stem from the designations and the proposed alternative preservation proposals will be distributed at the Board's meeting.

#### ANALYSIS:

There are a few parameters that the Board should be cognizant of in arriving at a decision about whether or not to designate (individually or as a part of a district) any of the properties that it identified at the last meeting. First, the Harborview community has long been recognized as having the largest remaining concentration of Victorian homes in the downtown area. These are not homes of the quality of the Villa Montezuma, Long-Waterman House or the Quartermass-Wilde House. They are however surviving examples of modest housing stock of the period and are important because San Diego, in comparison to other major west coast cities, possesses a very limited stock of Victorian architecture.

Some of the properties have been moved from their original location and that original location is often unknown. Most of these moves occurred many years ago and, if the architecture is what make the building significant, the fact that the building was moved is inconsequential.

Some of the properties are associated with the Italian community either through use and/or ownership. To the extent that the property and its association with the Italian community exemplifies broad cultural, economic or social history of the community, the property can be considered significant. Mere ownership by an Italian family of little historic importance is not considered to imbue a property with a strong historic association.

#### STAFF RECOMMENDATION ON PROPERTIES:

With only the noted exceptions, corrections and comments, staff recommends the designation of the properties identified by the Board for consideration.

##### 1747-53 India Street - Filippi's

Staff recommends only designation of the south facade. The north facade is too greatly altered.

##### 2044 Kettner Boulevard - The Waterfront

As noted in the attached CCDC letter, the Board should designate only the structure and not the remainder of the property.

##### 2368-2400 Kettner Blvd. - Dryer's Furniture Company

Staff does not recommend designation. This group of buildings has been significantly altered. The architecture has been so homogenized that the buildings do not retain sufficient integrity to warrant their designation.

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## 1631-1647 State Street - Faiola Court

Staff does not recommend designation. This residential court complex is not significant for its architectural style or period or because of its association with Frank Dimarja. There are better and more unique examples of residential court developments throughout the city.

## 1632-1668 State Street - Victorian Residences and Our Lady of the Rosary Church

This row of Victorian residences and the church should be treated as a historic district.

## 1610-1654 Union Street - Victorian Residences

This row of Victorian residences should also be treated as a historic district.

Other properties that the Board expressed interest in:

## State of California Garage - Ash and Columbia

This structure is outside of the Harboview/Little Italy survey area and will be reviewed with the core area of Centre City.

## Moderne Residences - 429 West Elm Street

These three 1939 Moderne residences are interesting examples of the style. They retain their integrity and the porthole vents and windows give the residences a unique character.

## Kelly Laundry - 705 West Grape Street

This Streamline Moderne commercial/industrial complex has an interesting but not significant history. In a restored condition it would be a good example of the Streamline Moderne style but staff does not find it significant for the study of the style, period or its history.

## Centre City Automotive - 2355-2365 India Street

This Spanish Colonial Revival structure has been a garage and, for a brief time, a Safeway market. It has no important historical associations and is not a significant example of the architectural style. Staff does not recommend designation.

## Auto Tops - 2360 India Street

This Streamline Moderne commercial structure is not a significant example of the style and it is not historically important.

## Beardsley Automotive - 2119 Kettner Blvd.

This 1929 Mission Revival style industrial building was the location for the Pacific Technical University from 1929-1932. It was owned by and associated with the Defalco grocery chain from 1934 through 1961. The building is a good example of the Mission Revival style. Staff believes it should have been included in the survey but does not believe it is significant enough to designate.

## Haulman Welding - 2266 Kettner Blvd.

This 1946 corrugated metal industrial building is neither historically nor architecturally significant.

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Z'lac Rowing Club (Dirty Dan's) - 2431 Pacific Highway

Unfortunately, the Z'lac Rowing Club lost their clubhouse to the County for back taxes. It was sold and moved to this location on Pacific Highway in 1932 and became a series of restaurants and bars. The building has been altered beyond recognition and staff does not recommend its designation.

Thomas Hackett House (Las Consuela's) - 1566 State Street

Staff thought that this property had been associated with Agostin Haraszthy, County Sheriff in 1850-51. This was inaccurate. The building is a much altered Victorian residence surveyed in 1980. Staff does not recommend its designation based on the stucco addition that has been added to the front of the house.

Staff also recommends that the Board reconsider and designate the San Diego Macaroni Factory located at 2308 Kettner. This industrial building has considerable historic association with the Italian community and importance as an ethnic economic enterprise. It is basically unaltered except for new aluminum windows and doors across the front and partially along the south facades. It also has very good adaptive reuse potential.

Staff additionally recommends that the Board reconsider and also designate the Dominick Ghio Home at 1760 State Street. The two Victorian properties to the north of this house are being considered. The Ghio Home is virtually unaltered and has a contextual relationship with the other properties which unlike the Ghio Home were moved to their current location (see attached 1980 inventory sheet).

Staff also believes that the Elizabeth Randall Rental at 1620 State Street should be considered by the Board. It is similar to the situation described above for the Ghio Home.

  
for Ron Buckley  
Secretary to the  
Historical Site Board

RB:ls

Attachments:

1. Letters requesting continuance (2).
2. June 9, 1990 letter from Marie B. Lia.
3. May 31, 1990 letter from CCDC.
4. Harborview community recommended alternative preservation solutions.
5. 1980 Inventory sheet on Thomas Hackett Home.
6. 1980 Inventory sheet on Dominick Ghio Home.

## ANDREW CASSIDY HOME - 1620 UNION STREET

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## IDENTIFICATION

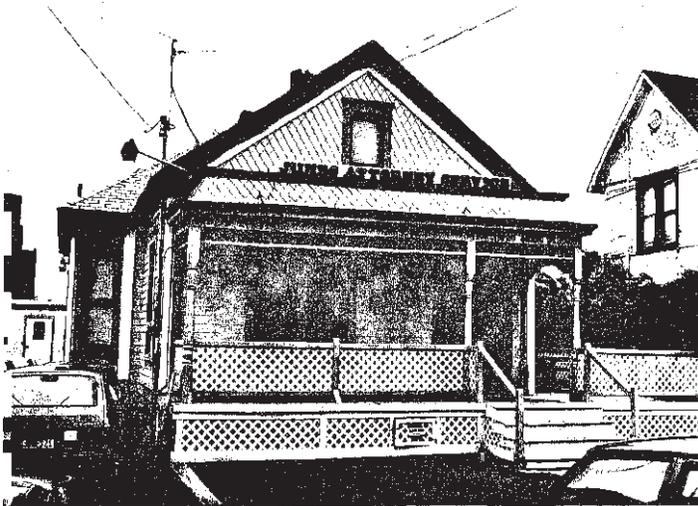
1. COMMON NAME: June's Attorney Service
2. HISTORIC NAME: Andrew Cassidy Home
3. ADDRESS: 1620 Union Street CITY: San Diego  
ZIP: 92101 4. PARCEL #: 533-353-11
5. PRESENT OWNER: Deborah Godwin  
ADDRESS: 1620 Union Street CITY: San Diego  
ZIP: 92101 OWNERSHIP IS: PUBLIC: PRIVATE: X
6. PRESENT USE: Residence/Commercial  
ORIGINAL USE: Residence

## DESCRIPTION

- 7A. ARCHITECTURAL STYLE: Queen Anne Cottage
- 7B. BRIEFLY DESCRIBE THE PRESENT PHYSICAL DESCRIPTION OF STRUCTURE AND DESCRIBE ANY MAJOR ALTERATIONS FROM ITS ORIGINAL CONDITION.

Legal Description: Middletown, Block 33, Lot 8.

This asymmetrical, single-storied cottage has a combined front gable and hipped roof. The front porch, which extends across the front of the house, has a separate hipped roof, supported by turned posts with spindlework between them. Diamond shaped shingles were used for siding inside the front gable end and on the porch roof. Clapboarding was used for all other exterior wall surfaces. Portions of the front porch railing have been restored and extended. Windows chosen for the cottage were double hung sash. The sill of each window is supported by brackets. A bay window was designed for the south corner of the house. The front door was placed at the north end of the porch. This cottage retains most of its original integrity of design.



8. CONST. DATE: 1888  
EST: FACT: X
9. ARCHITECT:  
Unknown
10. BUILDER:  
Unknown
11. APPROX. PROP. SIZE(FT):  
50' x 100'
12. DATE OF PHOTO:  
1988

TENTATIVE RANK: 2

SIGNIFICANCE: This asymmetrical single-story cottage is significant because of its Queen Anne design, and is an example of the type of structure created for residences to accommodate the influx of people during the 1880's "boom" period.

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- 13. CONDITION: Excell Good X Fair Deteriorated  
No longer in existence
- 14. ALTERATIONS: Wrought iron railings.
- 15. SURROUNDINGS:  
Open Land Scattered Bldgs Densely built-up?  
Resid X Indust Com'l Other
- 16. THREATS TO SITE: None known Pvt devel X Zoning  
Vandalism Public Works Project Other
- 17. IS STRUCTURE: On its orig site? X Moved? Unknown?
- 18. RELATED FEATURES: Neighborhood atmosphere.

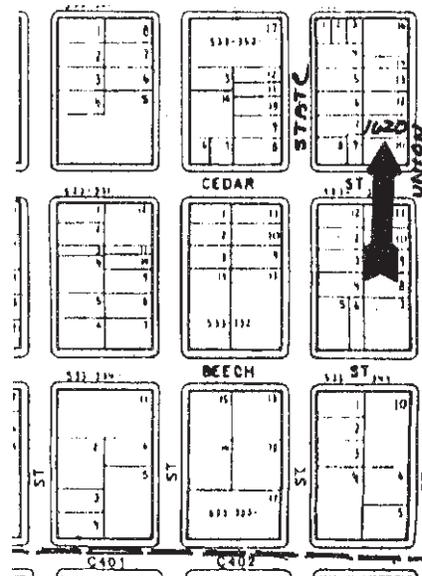
SIGNIFICANCE

19. BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE

Andrew Cassidy, retired, erected this structure for use as a rental in 1888. Throughout the years, it has been leased to various tenants through the present day. This Victorian cottage is a good example of architecture of the latter 1880s constructed for the influx of people seeking shelter in San Diego following the transcontinental railroad connection.

- 20. MAIN THEME OF THE HISTORIC RESOURCE: (IN ORDER OF IMPORTANCE).  
Architecture X Arts & Leisure  
Economic/Industrial  
Exploration/Settlement  
Govt Military Religion  
Social/Education

LOCATIONAL SKETCH MAP



- 21. SOURCES(BOOKS, DOCUMENTS, PERSONAL INTERVIEWS, AND THEIR DATES).  
San Diego City Directories, Office of San Diego County Recorder

- 22. DATE FORM PREPARED: 2/14/89  
BY: "Lia/Brandes Team"  
ADDRESS: 427 C Street, Ste 310  
CITY: San Diego, CA ZIP: 92101  
PHONE: (619) 235-9766

ANDREW CASSIDY HOME/JUNE'S ATTORNEY SERVICE

1620 UNION STREET

This single-story Queen Anne style cottage was built in 1888 for Mr. Andrew Cassidy, a retiree. It is an example of the type of residences constructed to accommodate the influx of people during the later 1880's boom period following the completion of the transcontinental railroad connection. The house is significant because it reflects Victorian era craftsmanship and ornamentation and is part of a larger collection of significant Victorian houses. The inventory consultants also recommended its designation.

The Historical Site Board designated the house based on its Queen Anne style cottage design and its contribution to the collection of houses on the block.



Cassidy Home  
1620 Union Street  
4/11/2002

HSB# 283



## ANDREW CASSIDY HOME - 1620 UNION STREET

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RESOLUTION NUMBER R - 90082213

ADOPTED ON AUGUST 22, 1990

WHEREAS, the Historical Site Board for the City of San Diego held a noticed public hearing on August 22, 1990 to consider the historical site designation of the Andrew Cassidy Home located at 1620 Union Street (APN 533-353-11); and

WHEREAS, in arriving at their decision, the Historical Site Board considered the Centre City Inventory form prepared by the consultants to CCDC, the various staff reports and recommendation, all other materials submitted prior to and at the public hearing, inspected the subject property and heard public testimony presented at the hearing; and

WHEREAS, the Planning Department report recommended that the site be designated as Site No. 283 in the Register of Historic Landmarks by the Historical Site Board; and

WHEREAS, the Historical Site Board based its designation of the Andrew Cassidy Home on its architectural significance as a good example of Queen Anne cottage design and as a part of a significant, intact collection of Victorian houses still on their original sites which reflect the early development of downtown at the turn of the century.

NOW, THEREFORE,

BE IT RESOLVED, by the Historical Site Board for the City of San Diego, that in light of the foregoing, it hereby approves the historical site designation of the above mentioned property, the site and exterior of the building being specifically designated, as Site No. 283. Additionally, the building should remain on-site as part of the significant collection of Victorian structures.

Vote: 10-0

BY:

  
KATHRYN C. WILLETTS  
Chair, Historical Site Board

APPROVED AS TO FORM AND  
LEGALITY: JOHN W. WITT,  
CITY ATTORNEY

BY:

  
ALLISYN L. THOMAS  
Deputy City Attorney

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**B. OWNER AND OCCUPANT INFORMATION**

1. Chain of Title
2. City Directory
3. Copy of Deed from Date of Construction

[This page intentionally left blank.]

**California Lot Book, Inc., dba California Title Search Co.**  
**CTS Reference No.: 0821**

Chain of Title  
 (November 26, 1889 through August 5, 2021)

1. Grant Deed

Grantor: Margaret J. O’Kane, Patrick Kerr and Sarah A. Kerr  
 Grantee: Andrew Cassidy  
 Recorded: November 26, 1889, Deed Book 157, Page 5

2. The San Diego County Assessor Lot Block Book Page shows the first year with assessed improvements as being 1890.

3. Grant Deed

Grantor: Andrew Cassidy  
 Grantee: Richard O’Neill  
 Recorded: September 21, 1895, Deed Book 243, Page 219

4. Grant Deed

Grantor: Andrew Cassidy  
 Grantee: Richard O’Neill  
 Recorded: May 24, 1904, Deed Book 345, Page 219

5. Decree Settling Final Account and Report of Executor and Making Final Distribution of the Estate of Testator

Estate of: Richard O’Neill  
 Distributed to: Alice T. McDade, Jerome O’Neill and Mary A. Baumgartner  
 Recorded: July 7, 1911, #3483, Deed Book 528, Page 89

6. Grant Deed

Grantor: Mary A. Baumgartner, Alice T. McDade and Jerome O’Neill  
 Grantee: Union Trust Company of San Diego  
 Recorded: August 14, 1922, #25223, Deed Book 906, Page 238

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

7. Grant Deed  
 Grantor: Union Trust Company of San Diego  
 Grantee: Mary A. Baumgartner  
 Recorded: August 14, 1922, #25224, Deed Book 906, Page 239
8. Judgment Quieting Title  
 Plaintiff: Mary A. Baumgartner  
 Defendant: Sherman Lacey, as administrator of the estate of Ada Tennery  
 Recorded: April 7, 1923, #12120, Deed Book 935, Page 250
9. Grant Deed  
 Grantor: Mary A. Baumgartner and John J. Baumgartner  
 Grantee: O. R. Lawton and Grace I. Lawton  
 Recorded: April 19, 1923, #13758, Deed Book 931, Page 362
10. Agreement  
 Seller: O. R. Lawton and Grace Lawton  
 Purchaser: Sam Asaro and Rosaria Asaro  
 Recorded: April 3, 1940, #15861, Official Records Book 1017, Page 86
11. Grant Deed  
 Grantor: O. R. Lawton and Grace I. Lawton  
 Grantee: Sam Asaro and Rosaria Asaro  
 Recorded: December 23, 1952, #161080, Official Records Book 4696, Page 154
12. Grant Deed  
 Grantor: Sam Asaro and Rosaria Asaro  
 Grantee: Nicholas Asaro  
 Recorded: May 27, 1954, #69726, Official Records Book 5251, Page 471
13. Grant Deed  
 Grantor: Nicholas Asaro  
 Grantee: Sam Asaro and Rosaria Asaro  
 Recorded: June 11, 1957, #86651, Official Records Book 86651, Page 444

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

## 14. Certificate of Death

Decedent: Salvatore Asaro, aka Sam Asaro  
 Recorded: July 6, 1976, Recorders File No. 76-211076

## 15. Certificate of Release of Inheritance Tax Lien

Decedent: Salvatore Asaro, aka Sam Asaro  
 Recorded: July 6, 1976, Recorders File No. 76-211077

## 16. Judgment Settling First and Final Account and Report of Administrators and for Allowance of Attorney's Fees for Ordinary Services and Judgment of Final Distribution Estate of:

Sarah Rosario Asaro  
 Distributed to: Mateo Asaro, 1/8th interest; Frank P. Asaro, 1/8th interest;  
 John Asaro, 1/8th interest; Jennie Sardo, 1/8th interest;  
 Nicholas Asaro, 1/8th interest; Margaret Gallegos, 1/8th  
 interest; Pearl Eklund, 1/8th interest; and Joseph Asaro, 1/8th  
 interest  
 Recorded: February 14, 1971, Recorders File No. 77-055293

## 17. Order for Appointment of Co-Conservator of the Estate of John Asaro and for Grant of Additional Powers Pursuant to Probate Code Section 1853

Conservatorship of: John Asaro  
 Co-Conservators: Mateo Asaro  
 Recorded: September 29, 1978, Recorders File No. 78-416307

## 18. Grant Deed

Grantor: Mateo Asaro, Frank P. Asaro, Joseph Asaro, Jennie Sardo,  
 Nicholas Asaro, Margaret Gallegos, Pearl Eklund, and Mateo  
 Asaro, Conservator of the person and estate of John Asaro  
 Grantee: Mark E. Godwin and Deborah D. Godwin  
 Recorded: September 29, 1978, Recorders File No. 78-416310

## 19. Quitclaim Deed

Grantor: Mark E. Godwin  
 Grantee: Deborah D. Godwin  
 Recorded: September 23, 1983, Recorders File No. 83-340074

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

## 20. Quitclaim Deed

Grantor: Gregory J. Schuff and Deborah D. Schuff, who acquired title as Deborah D. Godwin  
 Grantee: Deborah D. Schuff  
 Recorded: September 12, 1988, Recordors File No. 88-458157

## 21. Individual Quitclaim Deed

Grantor: Deborah D. Schuff  
 Grantee: Gregory J. Schuff and Deborah D. Schuff  
 Recorded: January 27, 1989, Recordors File No. 89-047795

## 22. Grant Deed

Grantor: Gregory J. Schuff and Deborah D. Schuff  
 Grantee: David Bark, ½ interest and William Petterson, ½ interest  
 Recorded: April 15, 1996, Recordors File No. 1996-0183442

## 23. Grant Deed

Grantor: Nancy H. Bark  
 Grantee: David Z. Bark  
 Recorded: April 15, 1996, Recordors File No. 1996-0183443

## 24. Grant Deed

Grantor: Dana P. Petterson  
 Grantee: William Petterson  
 Recorded: April 15, 1996, Recordors File No. 1996-0183444

## 25. Agreement

City: The City of San Diego  
 Owners: David Bark and William Petersen  
 Recorded: December 3, 1996, Recordors File No. 1996-0604804  
 Purpose: To retain characteristics as properties of historical significance

## 26. Trust Transfer Deed

Grantor: David Z. Bark  
 Grantee: David Z. Bark and Nancy H. Bark, Trustees of the Bark Family Trust dated January 28, 2002  
 Recorded: February 4, 2002, Recordors File No. 2002-0095811

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

27. Affidavit of Death of Co-Trustee

Decedent: Nancy Hansen Bark  
Recorded: June 24, 2008, Recorders File No. 2008-0339105

28. Trust Transfer Grant Deed

Grantor: David Z. Bark, Trustee of the Bark Family Trust dated January 28, 2002  
Grantee: David Z. Bark, Trustee of the Nancy H. Bark Credit Shelter Trust dated January 28, 2002, 25% interest  
Recorded: July 7, 2008, Recorders File No. 2008-0361198

29. Grant Deed

Grantor: William Petterson, 1/2 interest; David Z. Bark, Trustee, 25% interest; and David Z. Bark, Successor Trustee, 25% interest  
Grantee: James Black  
Recorded: July 16, 2014, Recorders File No. 2014-0296937

30. Grant Deed

Grantor: James Black  
Grantee: Union Street Creative House LLC  
Recorded: May 8, 2019, Recorders File No. 2019-0172555

31. Record of Survey Map No. 23572

Recorded: May 28, 2020, Recorders File No. 2020-7000147

– End of Report –

**Note:** We find no recorded evidence of a Notice of Completion.

\*\*\*\*\*

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10. Note that we are not a Title Insurance Company, and that no express or implied warranty as to the accuracy or completeness of the information provided herein is granted. Our work has been performed under short time constraints with a quick turn around, and is based in part on the use of databases outside of our control. The recipient hereby acknowledges that California Lot Book, Inc. assumes no liability with respect to any errors or omissions related to the information provided herein. Also note that this search has been performed without the benefit of a Statement of Identification from the property owners, and if a search was performed for liens recorded against owner names, we cannot be sure that the information provided relates to the actual property owners, or is complete with respect to the property owners. In any event, our liability is limited to the amount of fees collected for the information provided herein.

\*\*\*\*\*

**ATTACHMENT 10**  
**ANDREW CASSIDY HOME – 1620 UNION STREET**

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HERITAGE ARCHITECTURE PLANNING

**DIRECTORY SEARCH**

San Diego Directory Co's, San Diego (California) City Directory; San Diego Directory Co. Publishers

ADDRESS: 1620 Union  
 APN:

NOTES: Construction Date: 1888 or ' Current Owner Name:  
 Year Purchased:

**Directory Legend**  
 h = head of household  
 r = resident/everyone else  
 (o) = owner

Directory Year:	Address:	Directory Listing:	Notes: (Occupation & Firm, Spouse, etc.)
1888-1898	1620 Union	No Listing	
1899-1900		Daney Eugene	r atty at law, office Lawyers Block
1901		Daney Eugene	h atty.-at-law, 26 Keating Blk.
1903		Daney Eugene	h attorney-at-law, 26 Keating Blk
1904		Daney Eugene	h (Daney & Lewis)
1905		Daney Eugene	h (Daney & Lewis)
		Miller Ruth C	(dom)
1906		No Occupant	
1907		Shore Anthony W	r Shore Bros
		Shore Ray R	r Shore Bros
1908		Greiner Elsa J	r
		Greiner Fred E	h confy
1909		Greiner Elsa J	r
		Greiner Fred E	h
		Nolan Harry A	r (Powers & Nolan)
1910		McAuliffe John D	r
		McAuliffe Stephen R	h foremn stereo Union
1911		McLeod Allene E	r with R F McLeod
		McLeod Fred F	r firemn S D & Arizona Ry
		McLeod Mrs Lena R	r with R F McLeod
		McLeod Roderick F	h ladies furngs 1040, 6th
1912		McLeod Allene E	r phone opr
		McLeod Roderick F	h bkpr
1913		Cleary Charlotte R	r clk
		Cleary Hanna J Mrs	h
1914		Carpenter Benj P	r sec Cooks and Waiters' Club
		Melosh Frank E	r janitor American Natl Bank Bldg
		Reneau Luella	h (wid Jas)
1915		Amburgey Frank R	r clk Realty Shop
		Amburgey Marion	h (Margt) janitor Chamber of Commerce
1916		Amburgey Frank R	r clk R S Babcock
		Amburgey Marion	h (Margaret) janitor S D Chamber of Commerce
1917		Pruitt Wm H	h (Tilla)
		Shore Ray R	h (Florence K), carrier P O
1918		No Listings	
1919		Shore Ray R	h clk P O
1920		Trainor Harold W	h (Florence)
1921		Trainor Harold W	h (Florence)
1922		Ciote Nicholas	r (General Garage)
		Pruitt Wm H	r (Tillie)
		Trainor Harold W	h (Florence K)
1923		Johnston Addison B	r
		Lawton Oakley R	h (Grace I) clk Russ Lmbr & Mill Co
1924		Johnston Addison B	r
		Lawton Oakley R	h (Grace I) clk Russ Lmbr & Mill Co
1925		No Occupant	
1926		Don Jos	r
		Hass Edw	r uphol Standard Mattress & Furn Co
1927			
1928		Don Jos	r
		Lawton Oakley R	h (Grace) clk Rusa Lumber and Mill Co

2. City Directory Listing of Occupants: 1620 Union Street.

## ANDREW CASSIDY HOME – 1620 UNION STREET

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Directory Year:	Address:	Directory Listing:	Notes: (Occupation & Firm, Spouse, etc.)
1929		Don Jos	r
		Lawton Oakley R	h (Grace) clk Rusa Lumber and Mill Co
1930		Farmer Dolores L Mrs	r waiter F D Lilley
		Farmer Edw C	r (Dolores) USN
		Lawton Oakley R	h (Grace) clk Rusa Lumber and Mill Co
1931		Lawton Oakley R	h (Grace) clk Rusa Lumber and Mill Co
1932		Widen Fannie	r (wid E J)
		Widen Jos	r clk
		Widen Ralph J	h (Alberta) clk SCTCo
1933		Widen Ralph J	
1934		Widen Fannie	r (wid Edmond)
		Widen Jos L	r lab
		Widen Ralph J	h (Alberta) clk SCTCo
1935		Widen Alberta Mrs	r with The Marston Co
		Widen Ralph J	r (Alberta) supp mn SCTCo
1936		Widen Fannie L	r (wid Edmund)
		Widen Ralph J	h supplymn SCTCo
1937		Morehouse Frances E	r (wid G W)
		Widen Alberta Mrs	r with The Marston Co
		Widen Fannie	r (wid E J)
		Widen Joe L	r lab
		Widen Ralph J	h (Alberta E) supplymn SCTCo
1938		No listing	
1939		Widen Fannie	r (wid E J)
		Widen Joseph L	r lab Bd Pub Wks
		Widen Ralph J	h (Alberta) emp SCTCo
1940		Vacant	
1941		Rosaria Esel	r lab
		Rosaria Salvador	h fishermn
1942		Asaro Saml	h (Sarah) fishermn
1943		Asaro Frank USA	r
1944-45		No listing	
1947-48		Asaro Salvadore	h (Rosaria) fishermn
1950		Asaro Salvadore	h (Rosaria) fishermn
1952		Asaro Lawrence	h (Rosea)
		Asaro Margt A	r waitress Lucky Lunch
1953-54		Asaro Margt A	r Indrywkr Kelly Lndry & Dry Clin
		Asaro Saml	h (Sarah R)
1956		Asaro Saml	h (Sarah) fishermn
		Asaro Patricia	
		Asaro Jos	r
1957		Asaro Pearl	r ofc wkr Travelers Ins Co
		Asaro Saml	h (Sarah) fishermn
1961		Asaro Saml	h
1962		Asaro Saml	h
		Asaro Jos	o aircraft wkr Gen Dynamics
1936-64		Asaro Saml	h (Sarah)
		Asaro Jos	o aircraft wkr Gen Dynamics
1967		Asaro Saml	(Sarah)
		Asaro Jos	Assemblr Gen Dynamics
1968		Asaro Saml	(Sarah) retd
		Asaro Jos	Assemblr Gen Dynamics
1969-70		Asaro Saml	(Sarah) retd
		Asaro Joseph	long shoremn

HERITAGE ARCHITECTURE PLANNING

Directory Year:	Address:	Directory Listing:	Notes: (Occupation & Firm, Spouse, etc.)
1976		Asaro Frank T	h retd
1980		June's Attorney Service legal mssngr srv	(Debbie D Godwin)
1987		First Acct Srvt m	
		Junes Attorney Serv	
		SDS First Accounting Serv	
1992/93		Junes Attorney Serv	
		SDS First Accounting Serv	
1997/98		Attorneys Trustee Services	
		Bark David Atty	
		Pettersen Wmd Atty	
		Pettersen & Bark Lwyr	
2002		Attorneys Trustee Services	
		Bark David Atty	
		Petterson Wm D Atty	
		Pettersen & Bark Lwyr	
2007		Attorneys Trustee Services	
		Bark David Atty	
		Pettersen Wm D Atty	
2012		Attorney's Trustee Services	
		Attorney's Trustee Services	
		Bark David Atty	
		Peterson Bill	
		Peterson Wm D	
2017		Petterson Bill	

**FINDINGS**

**TARGET PROPERTY INFORMATION**

**ADDRESS**

2642 Newton Avenue  
San Diego, CA 92113

**FINDINGS DETAIL**

Target Property research detail.

**NEWTN**

**2646 NEWTN**

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1960	Fisher C H	The Pacific Telephone Telegraph Co.

**NEWTON AVE**

**2642 NEWTON AVE**

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1966	VACANT	R. L. Polk & Co.	Image pg. A21
1952	Fuller R L	R. L. Polk & Co. of California	Image pg. A39
1948	Smith Doc	San Diego Directory Co.	Image pg. A44
1943	Sullivan Jack	San Diego Directory Co.	Image pg. A49
1938	Calabrese Anthony	San Diego Directory Co.	Image pg. A54
1933	Burris Thurman	San Diego Directory Co.	Image pg. A59

**2646 NEWTON AVE**

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2000	No Current Listing	Haines & Company	Image pg. A1
1984	Vacant	R. L. Polk & Co.	Image pg. A6
1980	A To Z Foreign Auto Parts used parts	R. L. Polk & Co.	Image pg. A11
		R. L. Polk & Co.	Image pg. A11
1975	A To Z Foreign Auto Parts used parts	R. L. Polk & Co.	Image pg. A16
1970	A TO Z AUTO WRECKING STGE	John M. Ducey	
1966	THOMAS JO A	R. L. Polk & Co.	Image pg. A21
	VACANT	R. L. Polk & Co.	Image pg. A21
1961	a Taylor General H	R. L. Polk & Co.	Image pg. A25
	b Hankins Carthou	R. L. Polk & Co.	Image pg. A25
1952	a Aguire Phillip	R. L. Polk & Co. of California	Image pg. A39
	b Fuentes A B	R. L. Polk & Co. of California	Image pg. A39

**FINDINGS**

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1948	Cavey W L	San Diego Directory Co.	Image pg. A44
1943	Crosby S	San Diego Directory Co.	Image pg. A49
1938	Dauguherty C	San Diego Directory Co.	Image pg. A54
1933	Philips W P	San Diego Directory Co.	Image pg. A59
1927	Northcote B R	San Diego Directory Co.	Image pg. A65

**Newton Avenue**

**2646 Newton Avenue**

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2000	No Current Listing	Haines & Company	Image pg. A1
1984	Vacant	R. L. Polk & Co.	Image pg. A6
1980	A To Z Foreign Auto Parts used parts	R. L. Polk & Co.	Image pg. A11
1975	A To Z Foreign Auto Parts used parts	R. L. Polk & Co.	Image pg. A16
1970	A TO Z AUTO WRECKING STGE	John M. Ducey	
1966	THOMAS JO A	R. L. Polk & Co.	Image pg. A21
	VACANT	R. L. Polk & Co.	Image pg. A21
1961	a Taylor General H	R. L. Polk & Co.	Image pg. A25
	b Hankins Carthou	R. L. Polk & Co.	Image pg. A25
1952	a Aguire Phillip	R. L. Polk & Co. of California	Image pg. A39
	b Fuentes A B	R. L. Polk & Co. of California	Image pg. A39
1948	Cavey W L	San Diego Directory Co.	Image pg. A44
1943	Crosby S	San Diego Directory Co.	Image pg. A49
1938	Dauguherty C	San Diego Directory Co.	Image pg. A54
1933	Philips W P	San Diego Directory Co.	Image pg. A59
1927	Northcote B R	San Diego Directory Co.	Image pg. A65

ANDREW CASSIDY HOME - 1620 UNION STREET

Historical Resources Technical Report - DRAFT

Section VII - Appendix

October 2021

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15

Whereas the ha. d of said Corporation by its President and Corporate Seal this 11th day of February, A.D. 1889

On this 27th day of February, 1889 before me, H. C. Naughton, a Notary Public, personally appeared A. E. Young, known to me to be the President of the Corporation that executed the within instrument, and acknowledged to me that such Corporation executed the same.

Witness my hand and Notary Seal this 27th day of February, 1889.

H. C. Naughton  
Notary Public

Received for record Jan 25th 1889, at 10 minutes past 3 o'clock  
in a request of Rosen Howard

E. J. Naughton  
County Recorder  
of San Diego County

Photographed By P. G. SHELLEY, Deputy Recorder

11/26/1889  
Deed Book 157, Page 5

Margaret A. Cassidy }  
Andrew Cassidy }

to the said book

Know all men by these presents, that I, Margaret A. Cassidy, of the County of San Diego, State of California, for and in consideration of the sum of One Dollar, lawful money of the United States, to us in hand paid,

Do hereby grant to Andrew Cassidy, of the same place, all that certain real property, situated in the City of San Diego, County of San Diego, State of California, and bounded and described as follows, to wit:

Sets Eleven and Seven 1/2 x 1 1/2 in blocks Shute, four-sided and six-sided in blocks Shute, five-sided, all in Middle town, as per map thereof by E. J. Naughton, on file in the office of the County Clerk of said County together with all the improvements thereon,

and also the adjoining portions or parcels of land situated in Block No. 1361 in the town of Vermont, City of San Diego, County of San Diego, State of California, according to the official map thereof by James P. Casson, and more particularly described as follows, to wit:

That portion of lot or tract section 16 of said town of Vermont marked or labeled A as per map thereof by A. W. Stebbins, on file in the office of the Recorder of said County, containing seven acres or thereabouts, together with all the improvements and appurtenances thereto belonging.

To Have and to hold the above described and granted property unto

3. Copy of Deed from the Date of Construction: 1620 Union Street.

Witness the h. d. of said Corporation by its President and Corporate Sec. this 27th day of February, A.D. 1889

On this 27th day of February, 1889 before me, H. C. Naughton, a Notary Public, personally appeared W. E. Young, known to me to be the President of the Corporation that created the within instrument, and acknowledged to me that such Corporation executed the same.

Witness my hand and Notary Seal this 27th day of February, 1889, at 110 minutes past 3 o'clock P.M. at request of Person to void

H. C. Naughton  
Notary Public

E. J. Haughton  
Clerk of Recorder  
By Geo. H. Brown, Deputy

Photographed by P. G. SHELLEY, Deputy Recorder

11/26/1889  
Deed Book 157, Page 5

Margaret W. Cassidy  
Andrew Cassidy

Mr. Margaret W. Cassidy, a person of legal age, of the County of San Diego, State of California, for and in consideration of the sum of One Hundred Dollars, lawful money of the United States, to her in hand paid.

Do hereby grant to Andrew Cassidy, of the same place, all that certain real property, situated in the City of San Diego, County of San Diego, State of California, and bounded and described as follows, to wit:

Lots Eleven and Twelve 11 & 12 in Block Thirtieth, fourth and 2nd angle lots in Block Thirtieth, Third St., Allen Middle town, as per map there of by J. S. Garrison, on file in the office of the County Clerk of said County together with all the improvements thereon.

And also the adjoining portion or portions of land situated in Section No. 1361 in the town of Charming, City of San Diego, County of San Diego, State of California, according to the official map thereof by James Garrison, and more particularly described as follows, to wit:

That portion of lot or tract section 1361 of said town of Charming marked or lettered "A" as per map thereof by J. S. Garrison, on file in the office of the Recorder of said County, containing seven acres or thereabouts, together with all the improvements and appurtenances thereto belonging.

Do hereby to said the above described and granted property unto

**C. BUILDING DEVELOPMENT INFORMATION**

1. City of San Diego 800 Scale Engineering Map
2. USGS Map
3. Original Subdivision Map
4. Sanborn Fire Insurance Maps

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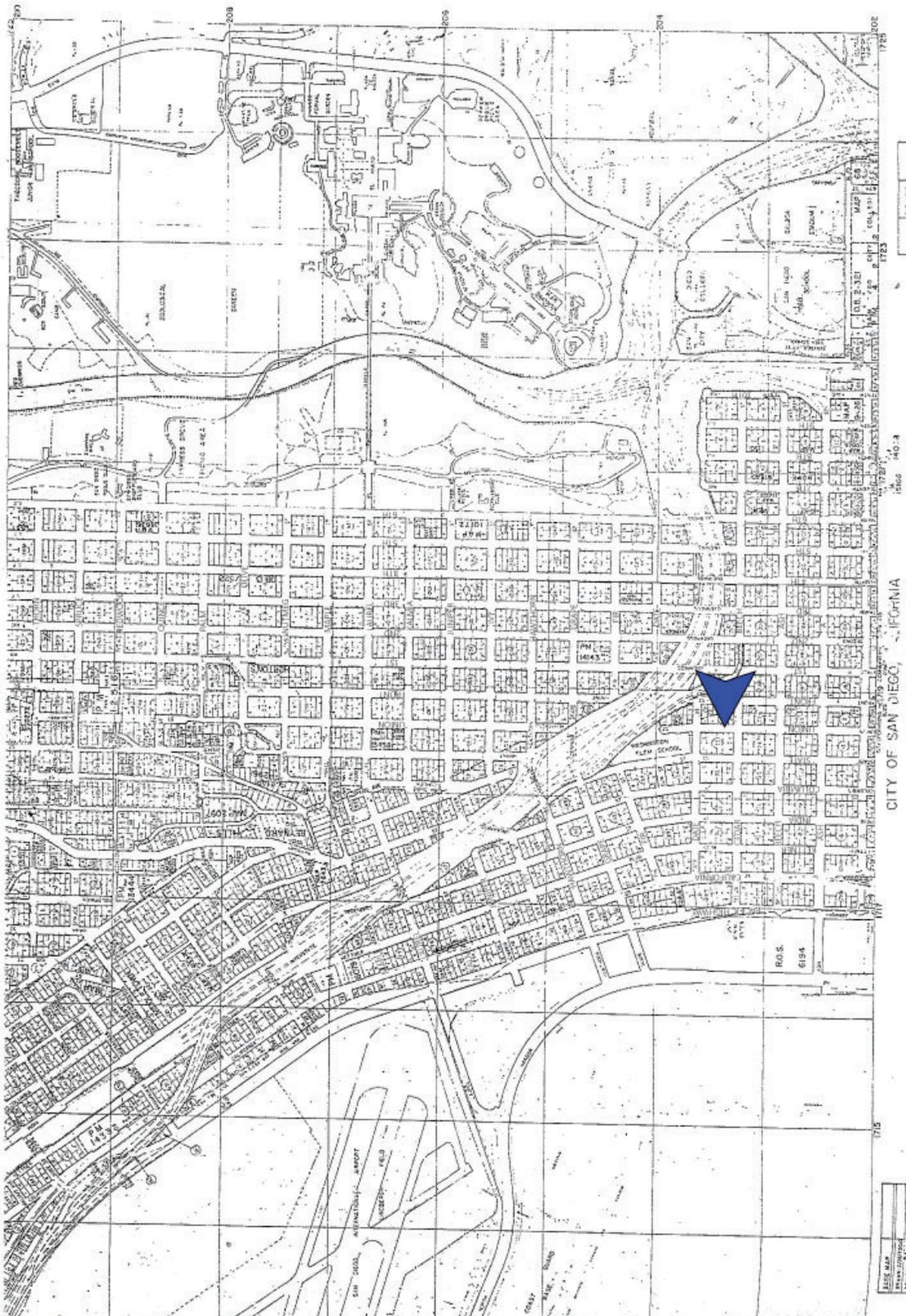
ANDREW CASSIDY HOME 1620 UNION STREET

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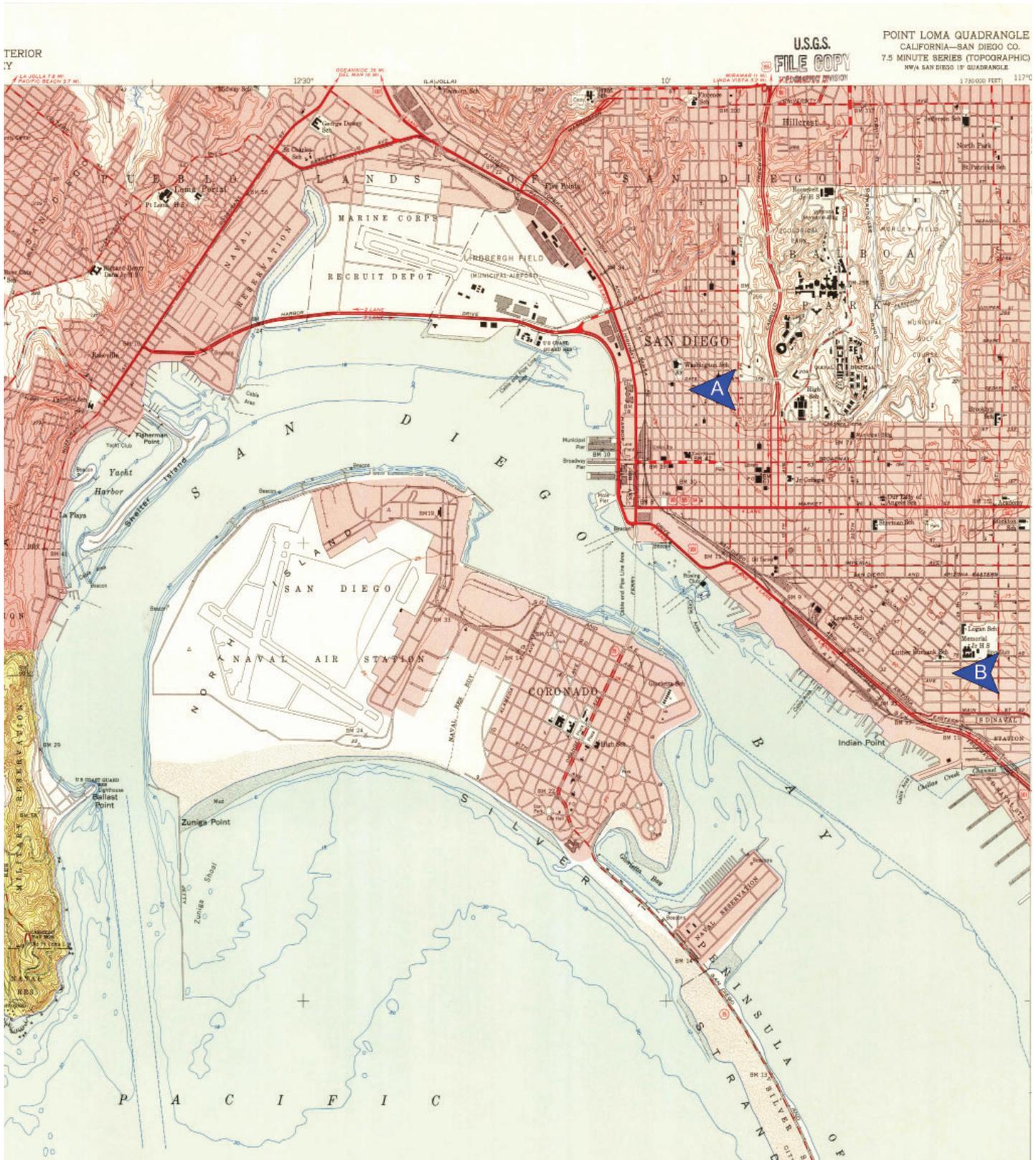


1. City of San Diego 800 Scale Engineering Map.

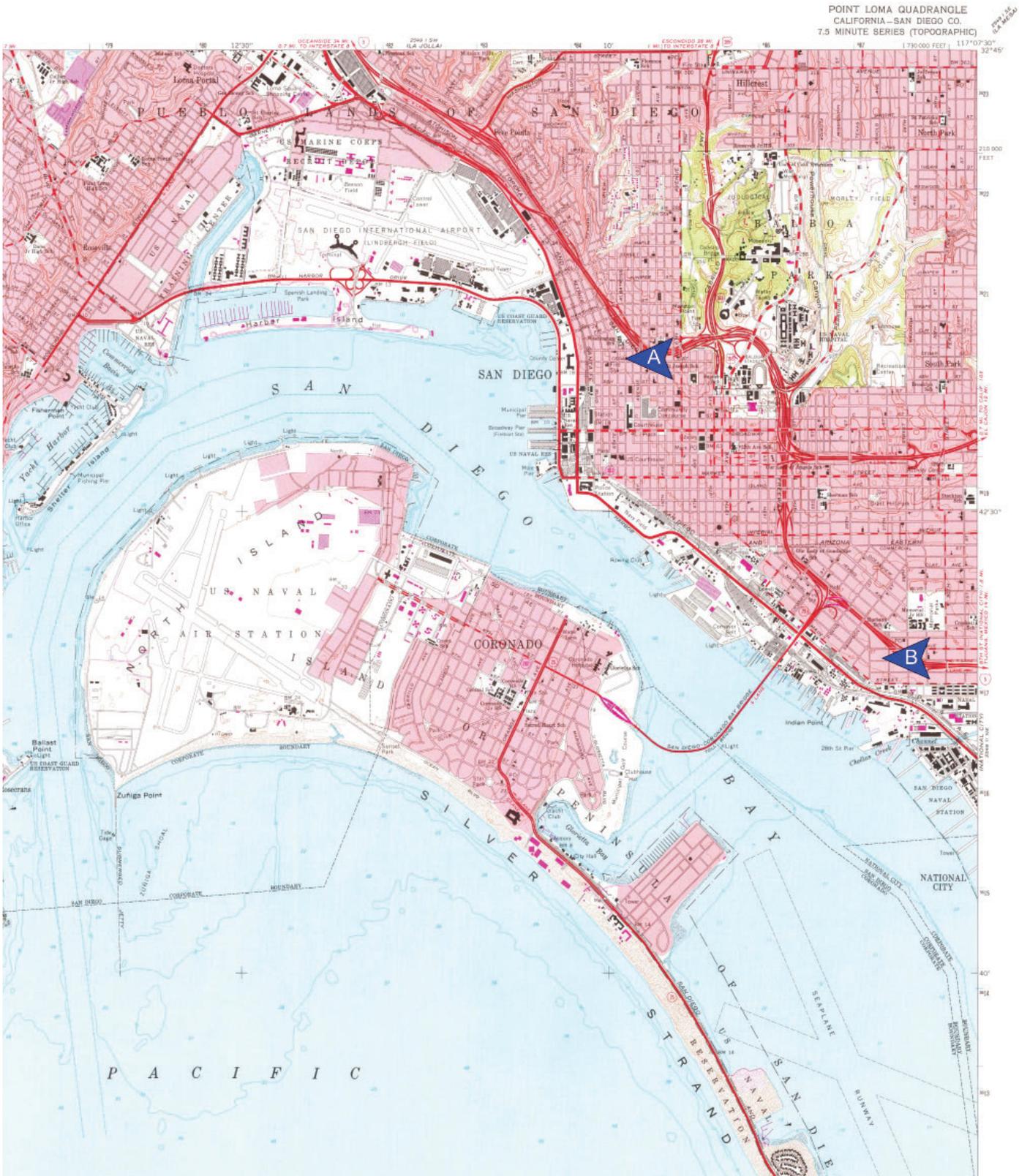


1942 Point Loma, California USGS Map.

2. USGS Maps. Site A: 1620 Union Street. Site B: 2642-2648 Newton Avenue.



1953 Point Loma, California USGS Map.



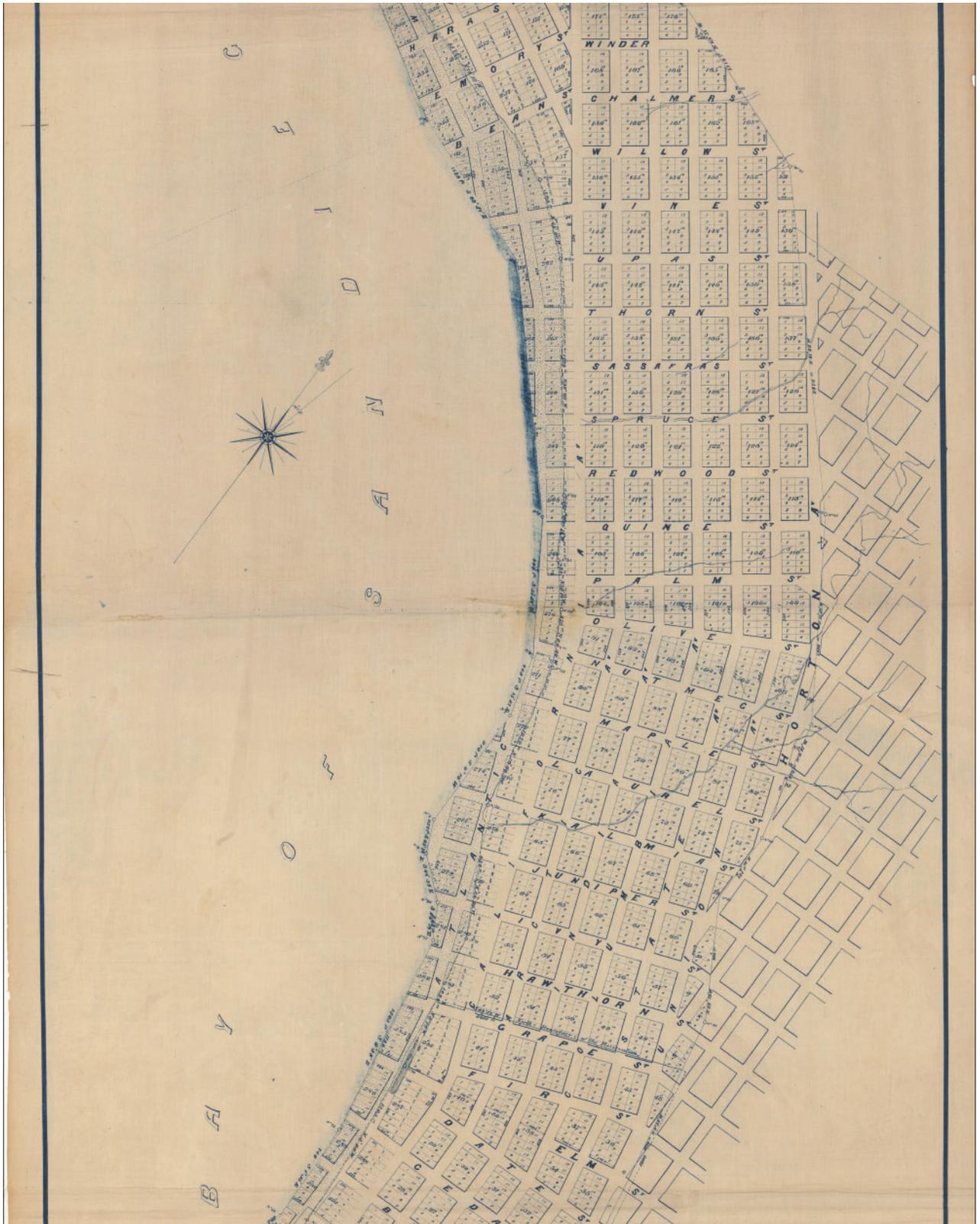
1967 Point Loma, California USGS Map.

U.S. DEPARTMENT OF THE INTERIOR  
U.S. GEOLOGICAL SURVEY

CALIFORNIA-SAN DIEGO CO.  
7.5-MINUTE SERIES (TOPOGRAPHIC)



1996 Point Loma, California USGS Map.



3. Original Subdivision Map: Middletown.



4. Sanborn Maps: 1620 Union Street.

1921 Sanborn Information not available.

1921 Sanborn Map.



1940 Sanborn Map.

# ATTACHMENT 10

## ANDREW CASSIDY HOME, 1620 UNION STREET

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1950 Sanborn Map.

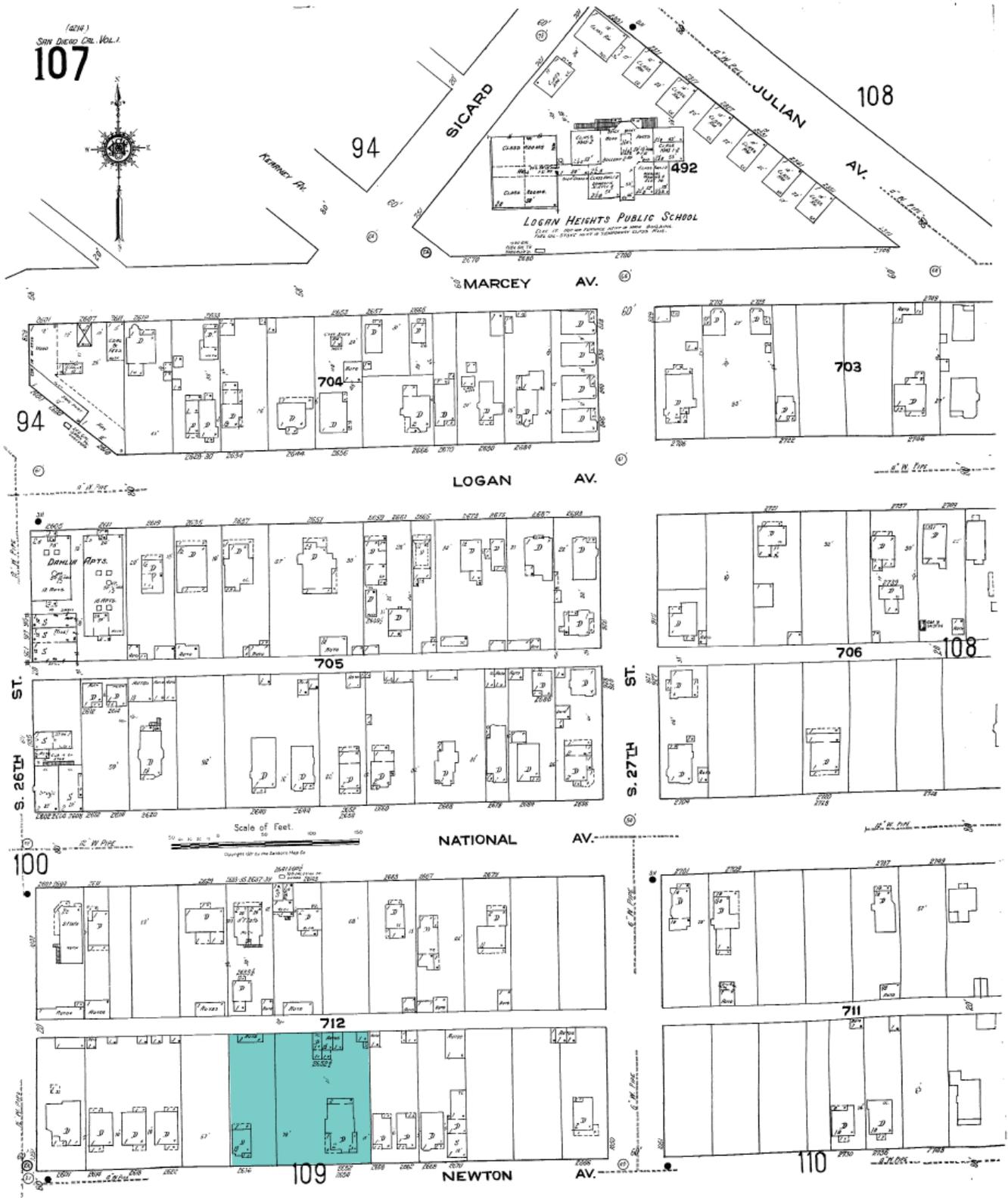


1956 Sanborn Map.

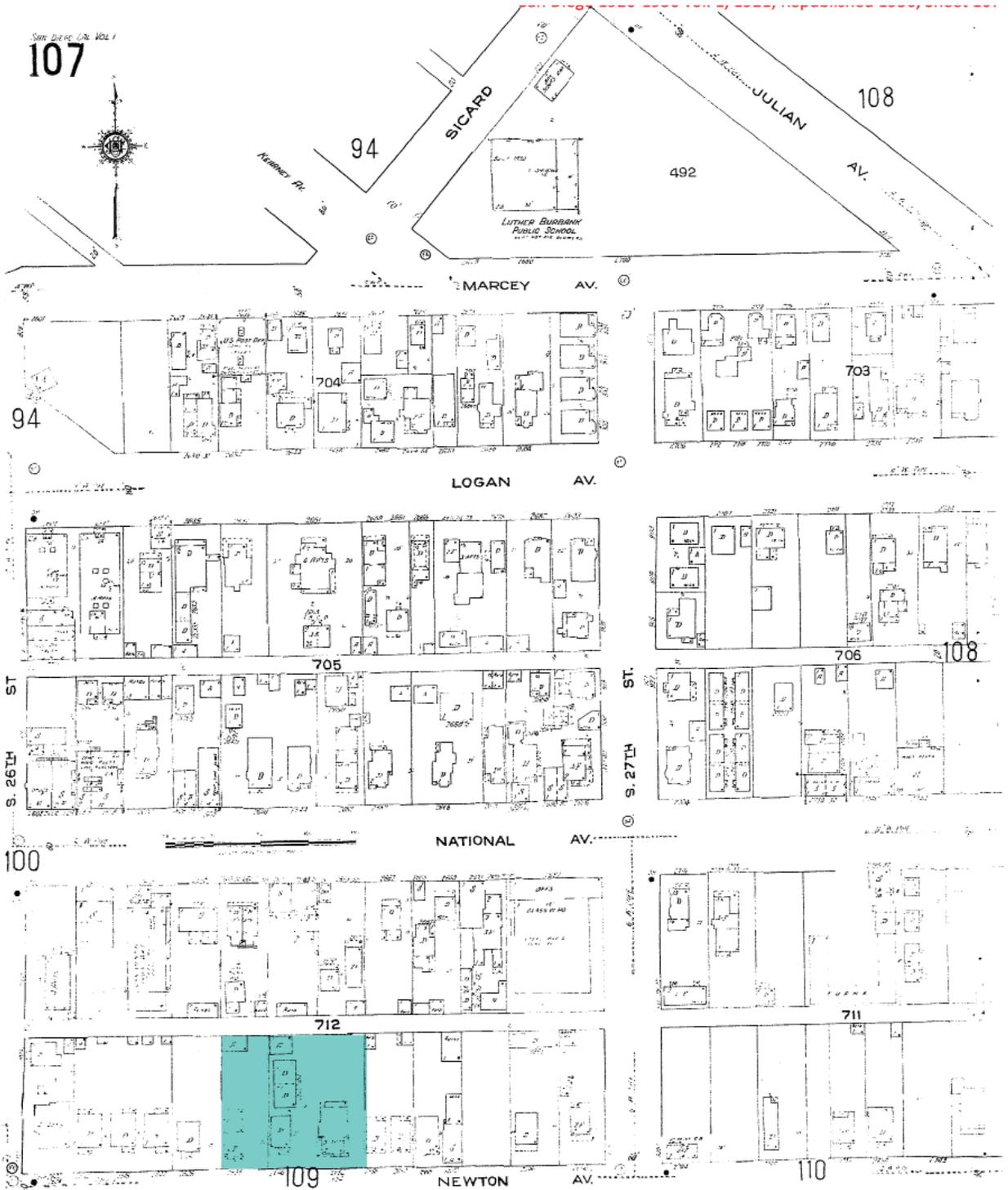


1906 Sanborn Map.

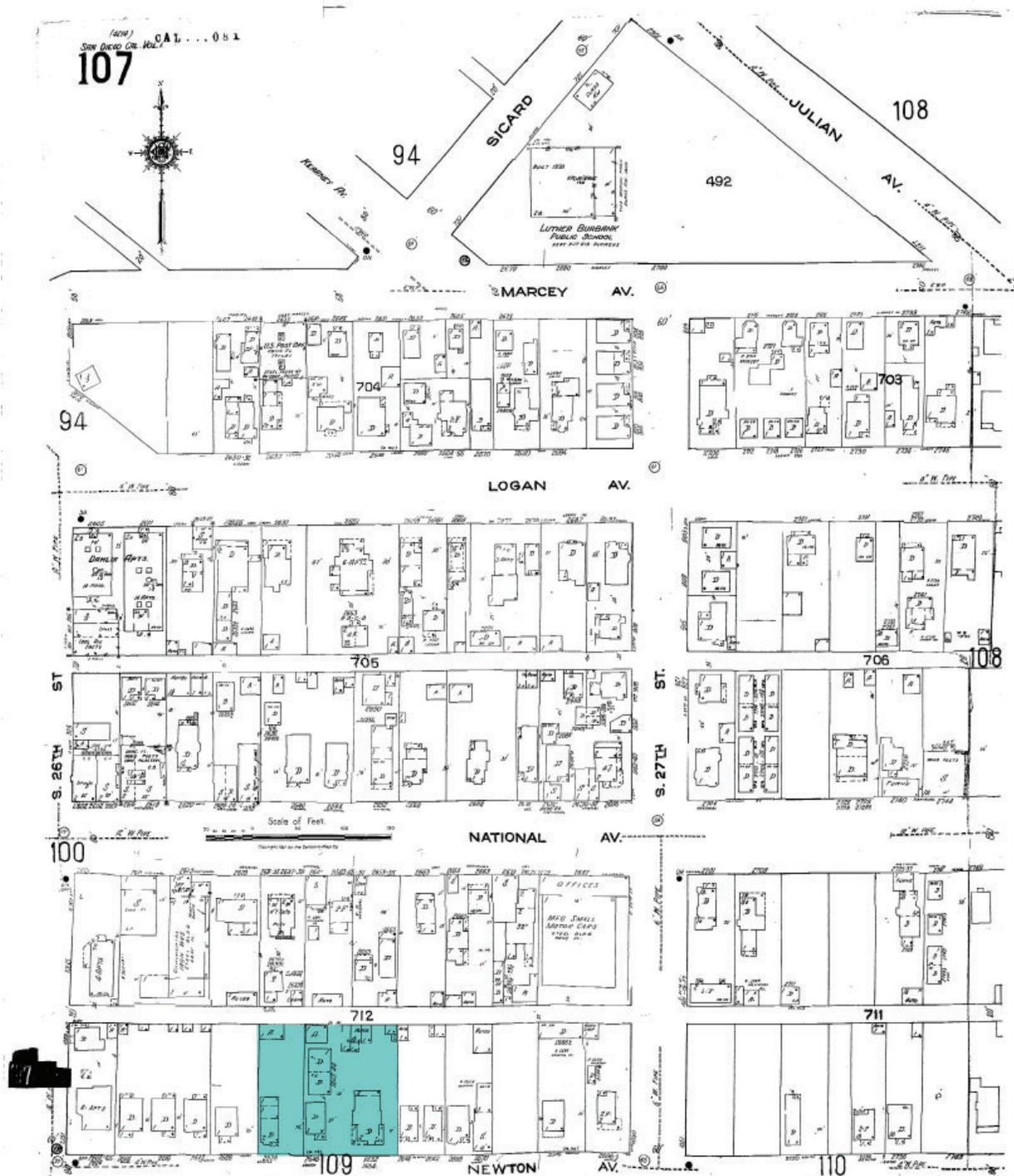
Sanborn Maps: Newton Avenue.



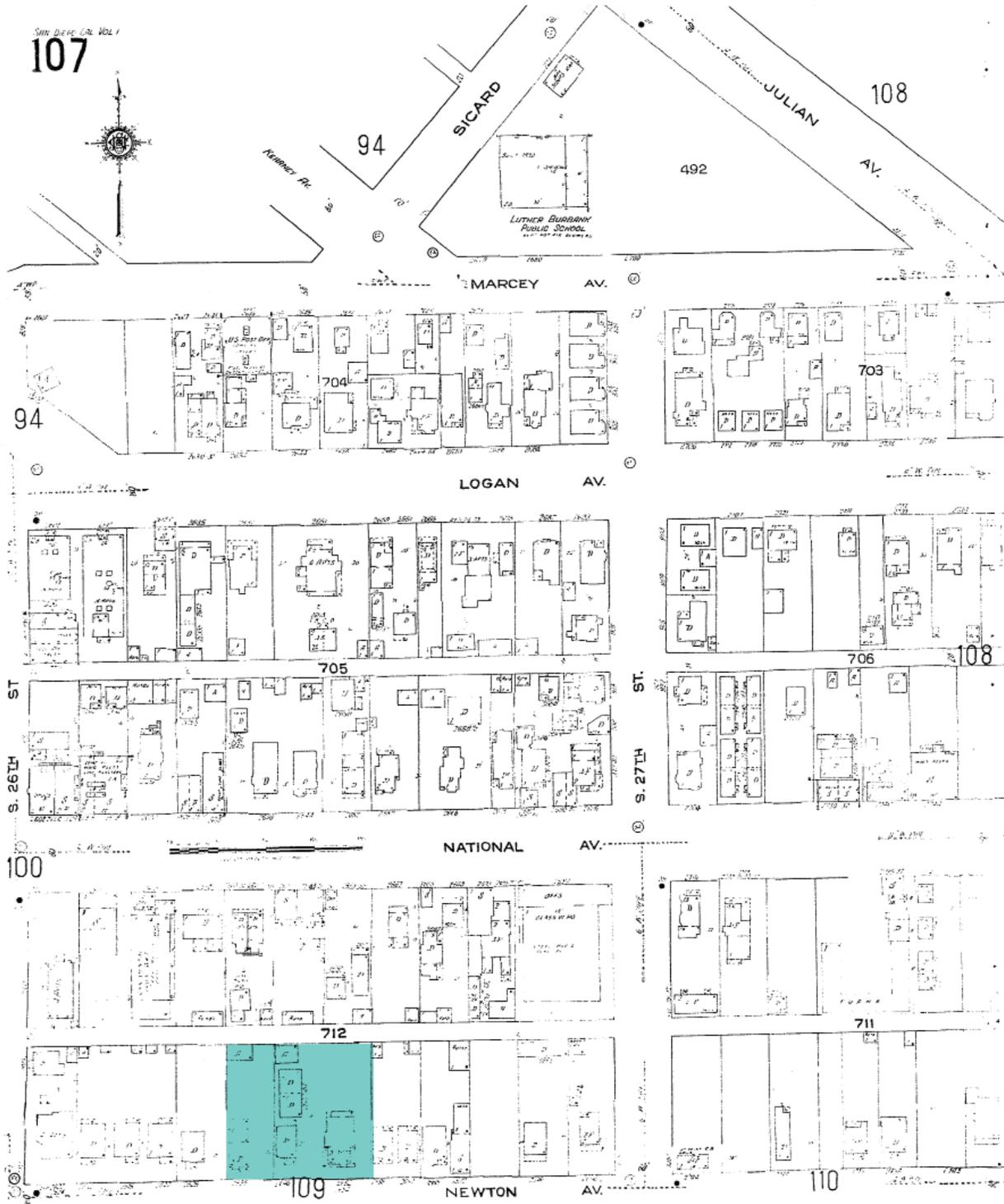
1921 Sanborn Map.



1940 Sanborn Map.



1950 Sanborn Map.



1956 Sanborn Map.

**D. DPR**

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State of California --- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary #  
HRI #  
Trinomial  
**NRHP Status Code**

Other Listings  
Review Code

Reviewer

Date

Page 1 of 9 \*Resource Name or #: (Assigned by recorder) Andrew Cassidy Home, 1620 Union Street, San Diego, CA

P1. Other Identifier: HRB #283

\*P2. Location:  Not for Publication  Unrestricted \*a. County San Diego

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad: Point Loma Date: 1996 T ; R ; ¼ of ; ¼ of Sec ; M.D. B.M.

c. Address: 1620 Union Street City: San Diego Zip: 92101

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 5333531100

Lot 5 in Block 33 of Middleton, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by J.E. Jackson, filed in the Office of the County Recorder of San Diego County.

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Andrew Cassidy Home is located on a rectangular lot, approximately 50' by 100', at 1620 Union Street. The building is wood framed and set on a cast-in-place concrete foundation stem wall. A crawlspace access hatch is located on the west façade located underneath the non-historic wood accessibility ramp. The foundation wall is mostly covered with non-historic horizontal wood siding. The exterior walls consist of horizontal wood clapboard siding with a painted finish. There are vertical wood trim corner boards at the corners of each façade. A decorative wood base trim runs the perimeter of the building. Below the wood base trim is the non-historic wood siding over concrete stem wall.

East Façade (Primary Façade): At the gable of the east façade the exterior finish consists of diamond shaped wood shingles. A wood clad double-hung window with wood trim has been used to infill what was once a wood louvre attic vent. A front porch spans the width of the east façade. The porch roof consists of a flat roof with roll-on sheet roofing, and short hipped sides with diamond shaped wood shingles. The underside of the porch roof has a wood tongue and groove finish with a wood quarter round border. The roof is supported by exposed wood beams which bear upon decorative wood porch columns. Decorative wood spindlework runs along the underside of the porch roof beams and are supported by decorative carved wood brackets. All spindlework, columns and brackets are intact and in good condition.

(Refer to Continuation Sheet)

\*P3b. Resource Attributes: (List attributes and codes) HP3. Single Family Property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for building, structures, and objects.)



P5b. Description of Photo: (view, date, accession #)  
Looking west at the primary east façade.

\*P6. Date Constructed/Age and Sources:

Historic 1899  Both

Prehistoric

\*P7. Owner and Address:

Union Street Creative House LLC  
1620 Union Street  
San Diego, CA 92101

\*P8. Recorded by: (Name, affiliation, and address)

Heritage Architecture & Planning  
832 Fifth Avenue  
San Diego, CA 92101

\*P9. Date Recorded: 09.30.2021

\*P10. Survey Type: (Describe)  
Intensive.

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Historical Resources Technical Report, Andrew Cassidy Home, 1620 Union Street, San Diego, California 92101

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record

Artifact Record  Photograph Record  Other (List):

State of California — The Resources Agency Primary#  
 DEPARTMENT OF PARKS AND RECREATION HRI#  
**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 9

\*NRHP Status Code

\*Resource Name or # (Assigned by recorder) Andrew Cassidy Home, 1620 Union Street, San Diego, CA

B1. Historic Name: Andrew Cassidy Home

B2. Common Name: 1620 Union Street

B3. Original Use: Residential

B4. Present Use: Vacant

\*B5. Architectural Style: Queen Anne

\*B6. Construction History: (Construction date, alterations, and date of alterations)

1899 – Construction per Residential Building Record

2000 – Porch rail replacement

Unknown Date -

- Porch repair
- Window replacement
- Non-historic vertical wood siding at the base of the south facade
- Accessibility ramp
- West façade roof deck addition

\*B7. Moved?  No  Yes  Unknown Date: Original Location:

\*B8. Related Features:

\*B10. Significance: Theme: Residential Development

Area: Middletown

B9a. Architect: Unknown

b. Builder: Unknown

Period of Significance: 1899

Property Type: Residential

Applicable Criteria: CSD: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Andrew Cassidy Home, located at 1620 Union Street in San Diego, is significant at the local level. This industrial warehouse is also listed in the City of San Diego Historical Resources Register (HRB #283). Historical research and site evaluation reveal that the Andrew Cassidy Home continues to retain sufficient integrity to its 1899 period of significance. Its period of significance encompasses the year of construction.

**Middletown and Little Italy**<sup>1,2</sup>

The City of San Diego was incorporated as a City by the state legislature in 1849. One of the first acts of the new City Council was to approve earlier maps of the City and its tidelands. At the same time, pueblo lands were being divided up among buyers, mostly for speculation. West of Balboa Park, between Old Town and the future downtown, laid a strip of low hills and tidal flats originally referred to as Middletown.

In 1850, a group of investors led by attorney Thomas Sutherland, bought the 687 acres and laid out the streets and lots at the western border and established the Middletown tract. Thereafter, the tract was surveyed and subdivided into streets and blocks, and plans called for the construction of five public squares and an open community lot known as the Triangle.<sup>3</sup> (Refer to Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: (Refer to Continuation Sheet)

B13. Remarks:

\*B14. Evaluator: Heritage Architecture & Planning

\*Date of Evaluation: 09.2021

(This space reserved for official comments.)



<sup>1</sup> Office of Marie Burke Lia Attorney at Law. "Historical Resources Research Report Addendum for 1668 Columbia Street & 519 West Date Street." February 2012.

<sup>2</sup> City of San Diego, "Uptown Community Plan Area Draft Historic Resources Survey Report." 2015. Also see, City of San Diego, "Greater Golden Hill Community Plan Update Draft Historic Context Statement." June 2010.

<sup>3</sup> Steven Van Wormer and Susan Walter, "Uptown Historic Context Statement and Oral History Report." 2003.

State of California --- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI #  
Trinomial

Page 3 of 9 \*Resource Name or # (Assigned by recorder) Andrew Cassidy Home, 1620 Union Street, San Diego, CA  
\*Recorded by: Heritage Architecture & Planning \*Date 09.2021  Continuation  Update

**\*P3a. Description:** (Continuation)

The porch floor has been previously repaired and consists of oriented strand board (OSB) wood plank flooring and stairs with wood handrails. The wood handrails are heavily damaged at several locations and have temporary wood shoring at the base of some of the rail posts. The floor is supported by wood posts bearing on pre-cast concrete pier footings. A wood lattice runs along the base of the porch floor.

South Façade: At the south façade is a cast-in-place concrete and wood framed accessibility ramp with wood railing. The wood railing is anchored to the south façade with small wood blocks. One attachment point interrupts the run of the wood base trim. The non-historic vertical wood siding at the base of the south façade has been cut to allow the installation of the accessibility ramp.

Towards the east side of the south façade is a cantilevered roof overhang with carved wood brackets. Also at the east side is some non-historic surface mounted utility equipment.

West Façade: At the west façade is a non-historic OSB wood board landing with stairs that connects to the accessibility ramp with wood railing. At the west slope of the roof is a gabled dormer with a replacement wood clad double hung windows with dual glazing and vinyl window screen. At the second floor is a non-historic roof deck with wood railing. The roof deck is accessed by a pair of non-historic wood French doors.

North Façade: The north façade consists of horizontal wood clapboard siding with a wood trim base rail and non-historic wood clapboard siding over a cast-in-place concrete stem wall. Utility equipment has been installed along the north façade.

Windows: Fenestration consists of replacement wood clad double hung windows with dual glazing and vinyl window screens. The windows have a wood trim and sill with wood sill brackets. There is a wood fixed transom window above the main entry door. All windows appear to be in fair condition with the exception of the double hung window located in the roof gable at the east façade which has damage at the mid and bottom rail.

Doors: The main entry door at the east façade has three panels and glazing with non-historic door hardware and wood panel surround. Additionally, there is a wood fixed transom window above. At the west façade is a pair of non-historic wood French doors with non-historic accessible compliant hardware. The door threshold is also non-historic. At the second story of the west façade, a pair of wood French doors provide access to the roof deck. The door hardware and threshold appear to be non-historic. All doors appear to be in fair condition.

Summary: The house located at 1620 Union Street appears to be in good condition and retains a good level of its historic integrity. Modifications appear to comply with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* and include a replacement roof, replacement front porch and railing, an addition at the rear not visible from the public right-of-way, and replacement windows.

The cast-in-place concrete stem wall with non-historic wood clapboard siding underneath the wood base trim suggests that the house has been previously lifted to provide repairs to the building's foundation.

**\*B10. Significance:** (Continuation)

By 1880, development began. Workers for local government, construction and downtown businesses settled west of Front Street, larger and more impressive homes were built on the ridges. The subdivision closely followed the trends of Horton's Addition. By the late 1800s large, single family homes were being built along the western hillside ridges overlooking the bay, including Victorian, Georgian and Mediterranean style structures. The Middletown School was built in 1888. The community was also anchored by a small commercial node called Five Points at the intersection of Washington and India streets.<sup>2</sup>

Thousands of Italian and Portuguese families settled in the area in the early 1900s along with Mexican and Japanese immigrants and toiled to build a local tuna fishing industry that became a source of great wealth for San Diego. At one time, more than 6,000 Italian families lived in the area. Other Italians who came had been wine growers, shepherders, and ranchers. The fishermen and founders of fish markets and restaurants arrived by 1900. All of these transplanted members of the Italian community founded social organizations with large memberships. At the same time, the Portuguese community was heavily involved with the tuna industry. The 1906 San Francisco earthquake drove more Italian fishermen to San Diego where the immigrants prospered for the next few decades.

Growth slowed after 1900 but revived with the Panama-California Exposition in 1915 and Spanish Eclectic style architecture became popular (1915-1960). Multi-family apartment buildings were constructed for visitors and residents; a trend that

<sup>2</sup> Ibid.

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\*Recorded by: Heritage Architecture & Planning \*Date 09.2021  Continuation  Update

continued through WWII (1915-1960). The establishment of Lindbergh Field in the 1914s and 1930s caused early height limits to be imposed that also affected the development of this region, Point Loma, and Loma Portal.

By 1937, a different pattern had emerged for Middletown. The main business district was located at the Five Points intersection on Washington Street, at the north end. Fish canneries were established at the south end and residences of the Italian fishermen and employees of the growing aircraft industry were along the waterfront. During World War II, the San Diego Italian fishermen were ordered to move from homes close to the harbor as suspicious authorities considered them as having ties to Italy. Non-citizen Italians also had to move east. Many families moved back after the war was over. After the War, the tuna industry gradually declined on the west coast and the 1960s construction of the Interstate 5 freeway destroyed 35% of the buildings in the area, all of which led to the disintegration of the community. But in the early 1990s, the established property owners and family-run business owners decided to take their fate in their own hands, and today's thriving Little Italy business and residential community is the result.

### Parcel History

The undeveloped parcel was owned by Margaret J. O'Kane, Patrick Kerr, and Sarah Kerr and purchased by Andrew Cassidy on November 26, 1889. Acknowledged as a pioneer resident of San Diego, Andrew Cassidy was originally a native of County Cavan, Ireland and immigrated to American in 1834 when he was 17. Having received an education in his native country, he worked under the immediate direction of George McClellan in the Engineer Corps at West Point for three years. He transferred to Washington where he was employed in the Coast Survey office under the US Engineer Corps. Through the Engineer Corps he arrived in San Francisco in 1853 to set up a self-registering gauge at Fort Point. He later went on to San Diego where he built a self-recording tidal gauge station at La Playa and remained in charge of the tidal gauge and weather observations for the next seventeen years.<sup>3</sup> This gauge was known to have recorded a tsunami from Japan in December 1854 and a local earthquake in July 1854, which is believed to be the earliest recorded earthquake.<sup>4</sup> During this period, he lived in Old Town. While at La Playa, Cassidy also collected specimens for the Smithsonian Institution including birds, fishes, reptiles, moths, and various smaller animals. The collection of fish coming from the Pacific Ocean, the Colorado River, and the Gulf of California was particularly valuable to the Smithsonian.<sup>5</sup>



Figure 2-1: Andrew Cassidy. Source: San Diego History Center.

He was married twice. His first wife was Rosa Serrano, daughter of Jose Antonio Serra, who died in September 10, 1869. His second wife, Mary Smith, was daughter of Albert B. Smith, a Mexican war hero. Cassidy held several public offices; one term as City Trustee in 1865, elected County Supervisor for two terms (four years) beginning in 1871, and was a long member of the Board of Public Works.<sup>6</sup>

In 1864, Cassidy acquired the 1,000-acre Soledad Rancho, in the present Sorrento Valley, and engaged in cattle ranching, raising up to 1,000 head of cattle.<sup>7</sup> He subdivided and sold the property in 1887, but retained other property in San Diego, including the 1620 Union Street property.

The San Diego Lot block Book Page shows the initial year of assessed improvements being completed at the Union Street parcel as 1890. Construction of the residence is noted as 1899 per the Residential Building Records. Historical research indicate that Cassidy never occupied the property but utilized it for income purposes. Its first documented occupant was Eugene Daney, an attorney whose office was located at the Lawyers Block in San Diego.<sup>8</sup> He lived at the Union Street residence from 1899 until 1905.

<sup>3</sup> Clarence Alan McGrew, *City of San Diego and San Diego County: The Birthplace of California*. (New York: The American Historical Society, 1922), 88.

<sup>4</sup> Helen Gohres, "Tidal Marigrams." *The Journal of San Diego History*. Vol. 10 No. 4, October 1964. Accessed September 3, 2021. <https://sandiegohistory.org/journal/1964/october/marigrams/>

<sup>5</sup> California Genealogy & History Archives, "Andrew Cassidy." *An Illustrated History of Southern California: Embracing the Counties of San Diego, San Bernardino, Los Angeles and Orange, and the Peninsula of Lower California*. (Chicago: The Lewis Publishing Company, 1890), 323-324. Accessed September 3, 2021. <http://www.rootsweb.ancestry.com/~cagha/index.htm>

<sup>6</sup> Ibid.

<sup>7</sup> William Ellsworth Smythe, *History of San Diego, 1542-1908*. (San Diego: History Co., 1907), 267-268. Accessed September 3, 2021. <https://sandiegohistory.org/archives/biographysubject/cassidy/>

<sup>8</sup> San Diego City and County Directory available publications begin 1874 and jumps to 1887-1888.

State of California --- The Resources Agency  
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\*Recorded by: Heritage Architecture & Planning \*Date 09.2021  Continuation  Update

Born on October 11, 1862 in Bordeaux, France, Daney moved to the United States in 1866. He graduated from Hasting College of Law in 1885 and was admitted to the bar by the Supreme Court of California in San Francisco in 1885. He engaged in his law practice in San Francisco between 1885-1887 when he moved to San Diego. He continued his practice in San Diego until he was appointed as Assistant District Attorney in February 1888, which office he held until January 1891. He formed a partnership with L.A. Wright under the firm name Daney & Wright, which continued for eight years. He was elected the Bar Association of San Diego's first President in 1899 and served for three years. He was later appointed as Superior Judge in June 1908 and was general counsel for the Panama California Exposition in Balboa Park.<sup>9</sup>

In 1904, Cassidy sold the property to Richard O'Neill, Sr. who also leased the property to others. At the time of purchase of the Union Street property, Richard O'Neill was a partial owner of the Rancho Santa Margarita y Las Flores and its adjoining Rancho Mission Viejo and Rancho Trabuco which he purchased from the Forester sons in 1882 along with James Flood, who put up most of the purchase money.<sup>10</sup> Collectively, the ranchos totaled more than 200,000 acres and encompassed the northern portion of San Diego County and southern end of Orange County.<sup>11</sup> O'Neill worked as the ranch manager and lived with his family at the Santa Margarita Ranch House as Flood was never concerned with the daily operations of the ranch. In 1906 the Flood family deeded O'Neill his half of the ownership.<sup>12</sup> Upon the death of Richard O'Neill in 1910, his estate, including the Union Street property, was passed to his family including son, Jerome O'Neill and daughters Mary A. Baumgartner and Alice T. McDade. The property was passed solely to Mary Baumgartner in 1922. During this period, the property continued to be leased.

In 1923, the property was deeded to Oakley R. and Grace Lawton. Mr. Lawton was a clerk at the Russ Lumber & Mill Company. The Lawtons occupied the residence until 1931 after which they rented out the premises to the Ralph J. and Alberta Widen family until the property was sold in 1940 to Sam Asaro, a fisherman, and his wife Rosaria. The Asaro family retained the parcel until 1972 when Rosaria died after which the property was passed to the eight Asaro children. The property was sold in 1978 to Mark and Deborah Godwin. Debbie Godwin converted the property as her business office, June's Attorney Service, and subleased other sections as offices. They sold the property in 1989. It was acquired by attorneys David Bark and William Petterson, who utilized the building as their law office until 2014 when the property was granted to James Black. Petterson continued to hold his offices at the property. In 2019, the property was acquired by Union Street Creative House LLC, its current owners.

### **RESOURCE SIGNIFICANCE EVALUATION**

#### **NATIONAL REGISTER AND CALIFORNIA REGISTER**

##### *National Register Criterion A / California Register Criterion 1*

Research failed to disclose any information regarding the Union Street's nor the Newton Street's association with significant events that have contributed to the broad pattern of history both at the local, state, or national levels. The Cassidy property was primarily used as a residence then later as offices and the Newton Street property is as a vacant lot utilized for parking. Therefore, both properties not qualify under National Register Criterion A and California Register Criterion 1.

##### *National Register Criterion B / California Register Criterion 2*

Research revealed that the Andrew Cassidy Home is identified with two San Diego County's pioneers: Andrew Cassidy and Richard O'Neill. The resource was also home to Eugene Daney, an early local attorney. Although the property is associated with these individuals, neither Cassidy nor O'Neill occupied the residence utilizing it only for income purposes. Further, they



Figure 2-2: Eugene Daney. Source: San Diego History Center.



Figure 2-3: Richard O'Neill. Source: Orange County Registry.

<sup>9</sup> Legal Aid Society of San Diego, "Legal Aid Society of San Diego – Legacy of a Dream." Accessed September 6, 2021. <https://www.lassd.org/about/history>

<sup>10</sup> Rancho Mission Viejo. "Ranch History." Accessed September 6, 2021. <http://corp.ranchomissionviejo.com/ranch-past-present/ranch-history/>

<sup>11</sup> Ibid.

<sup>12</sup> Lynne Newell Christenson and Ellen L. Sweet, *Ranchos of San Diego County*. (San Francisco: Arcadia Publishing, 2008), 82.

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acquired the property in their later years and not during their more informative and significant period of their lives as ranchers and ranch owners.

Moreover, although attorney Eugene Daney was elected as the first President of the Bar Association of San Diego and served for the following three years, no other research information elaborated on the extent of his decision-making process nor how those decisions may have changed or influenced the future policy or judicial rulings. Further, his work would most likely be associated with his office, rather than his residence, where most of the work would have taken place. Finally, Daney's appointment as Superior Judge and later as general counsel for the Panama California Exposition occurred after his occupancy of the resource.

There are no built resources on the Newton property that are associated with any persons that would have contributed to the broad pattern of history both at the local, state, or national levels.

Therefore, these properties do not qualify under National Register Criterion B and California Register Criterion 2 at the local, state, or national levels of significance.

*National Register Criterion C / California Register 3*

The Andrew Cassidy Home, located at 1620 Union Street in San Diego, is associated with the early residential development of Middletown, and specifically, Little Italy. It is one of several surviving Queen Anne buildings within the community. In its current condition, it retains a high degree of architectural integrity. Although the resource retains many of its Queen Anne character-defining features, there are many resources both in the city and county of San Diego that are better representatives of the style, such as the Hotel del Coronado (California Historical Landmark No. 844, California Register of Historical Resources, National Historic Landmark, and National Register of Historic Places), the George Keating Residence (HRB #198) at 2331 2<sup>nd</sup> Avenue, and the Long-Waterman House (HRB #37, NR 1976-06-14) at 2408 1<sup>st</sup> Avenue. Further, there are no built resources associated with the Newton Avenue property. Therefore, both parcels do not meet eligibility for individual listing in the National Register under Criterion C and the California Register under Criterion 3 at the local level of significance.

*National Register Criterion D / California Register Criterion 4*

Both resources in San Diego are not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

**CITY OF SAN DIEGO REGISTER**

Constructed in 1899, Andrew Cassidy Home is locally designated under the City of San Diego Register of Historical Resources as HRB #283 under Criterion C for its Queen Anne architectural style. According to the nomination, "the building is an example of the type of residences constructed to accommodate the influx of people during the later 1880s boom period following the completion of the transcontinental railroad connection and is significant because it reflects Victorian era craftsmanship ornamentation and is part of a larger collection of significant Victorian homes." The building has retained the majority of its Queen Anne features. Its period of significance is 1899 encompassing the year of construction.

**RESOURCE INTEGRITY**

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Andrew Cassidy Home.

Setting is the physical environment of a historic property.

The Andrew Cassidy Home's setting within the Little Italy community of Middletown in San Diego. The building is now surrounded by a mixture of period Victorians and more contemporary multifamily residences and high rises within the block. Therefore, the Andrew Cassidy Home no longer retains its setting integrity.

Location is the place where the historic property was constructed or the place where the historic event occurred.

The location of the resource has remained the same since its construction in 1899, in Little Italy. Therefore, the property has retained its location integrity.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

There have been no major alterations or changes to the resource that have significantly impacted or diminished the building's form, plan, space, structure, or style. While there have been changes to the building outside of its period of significance, many of these changes occur at the rear of the property and would be considered small or negligible when considering the property as a whole and the extant character-defining features, which reflect its form, plan, space, structure, and style. Changes include

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the addition of the rear roof deck, accessibility ramp, window replacements, and porch repairs.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.

The resource continues to exhibit a good degree of materials integrity. The materials illustrate the choices, combinations, availability and technologies of the time. The retention of the exterior wood cladding, spindlework detail, decorative carved brackets, diamond shaped wood shingles at the roof and gabled ends, and period entry door, comprise the choice and configuration of building materials. Thus, the resource retains its materials integrity.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The workmanship that has gone into the construction of the residence is original including its Queen Anne style details: exterior wood cladding, spindlework detail, decorative carved brackets, diamond shaped wood shingles at the roof and gabled ends, and period entry door. Therefore, the building's workmanship element for integrity purposes has been mostly retained.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Together with other Victorian residences along Union Street, the Andrew Cassidy Home no longer retains its feeling aspect of integrity as an early residential development in Little Italy. Hence, the resource's integrity of feeling has been compromised.

Association is the direct link between an important historic event or person and a historic property.

The resource continues to embody its association as an early residential resource within the Middletown San Diego area. Therefore, the property retains its association integrity.

In summary, the Andrew Cassidy Home appears to retain sufficient integrity to convey its historical significance. The residence retains its integrity of location, design, materials, workmanship, and association.

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## F. PREPARERS QUALIFICATIONS

**Eileen Magno, MA**, is a Principal with Heritage Architecture & Planning. Eileen's role is primary investigator and writer. She is a qualified Historian and Architectural Historian under the *Secretary of the Interior's Qualifications Standards*. Ms. Magno has been involved with research and documentation of historical resources throughout Southern California and parts of Arizona, Nevada, and Washington. Her experience covers a wide venue of historic preservation and planning reports including, but not limited to, historic structure reports, Historic American Building Survey documentation, Determination of Eligibility evaluations, preservation plans, feasibility studies, historic surveys, context statements, design guidelines, architectural conservation assessments, adaptive reuse studies, and master plans. Technical reports for the built environment have been completed in compliance with Section 106/110 of the National Historic Preservation Act and CEQA/NEPA. In addition, she has successfully prepared local, state, and national register nominations. Ms. Magno holds a Master of Arts degree in History with an emphasis in Public History and Teaching. She is a past member of the Mira Mesa Community Planning Group for the City of San Diego.

**Thomas Saunders, NCARB** is a licensed Architect with Heritage Architecture & Planning whose role included architectural investigation and recordation of the resource. Under the *Secretary of the Interior's Qualification Standards*, Mr. Saunders meets the qualifications for both Architect and Historic Architect. Mr. Saunders has been with Heritage Architecture & Planning since 2007 starting as an entry level draftsman. Since then, Mr. Saunders has been involved in many phases of architectural projects including field research, drawing development, Agency submittal process, and construction observation services. Mr. Saunders is currently working as project architect on several projects. Mr. Saunders has been involved in a variety of different projects that have contributed to his growth over the years including interior remodel and tenant improvement, rehabilitation, conditions assessment, noise mitigation for the Quieter Home Program, and building relocation. He has been involved at various stages in a number of historical documentation projects involving Historic American Building Survey (HABS), Historic Structure Reports (HSR), Condition Assessment Reports, and historical research for Determination of Eligibility documents.

**David Marshall, AIA, NCARB** is a Senior Principal Architect with Heritage Architecture & Planning. David's role included investigator and overall quality assurance and control over the project. Mr. Marshall holds a Bachelor of Architecture degree from Cal Poly Pomona. As an architect, he has been involved in the restoration and reconstruction of many of Balboa Park's exposition buildings, including the House of Hospitality, Spreckels Organ Pavilion, and Museum of Man. David is a past member of the San Diego Historical Resources Board and served as Chair of the Design Assistance Subcommittee. He chairs the Preservation Committee of the American Institute of Architects San Diego Chapter and is also a board member of the Forever Balboa Park. He previously served as the former President and Board Member of the California Preservation Foundation and former president of the Save Our Heritage Organisation (SOHO).

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**KEYNOTES**

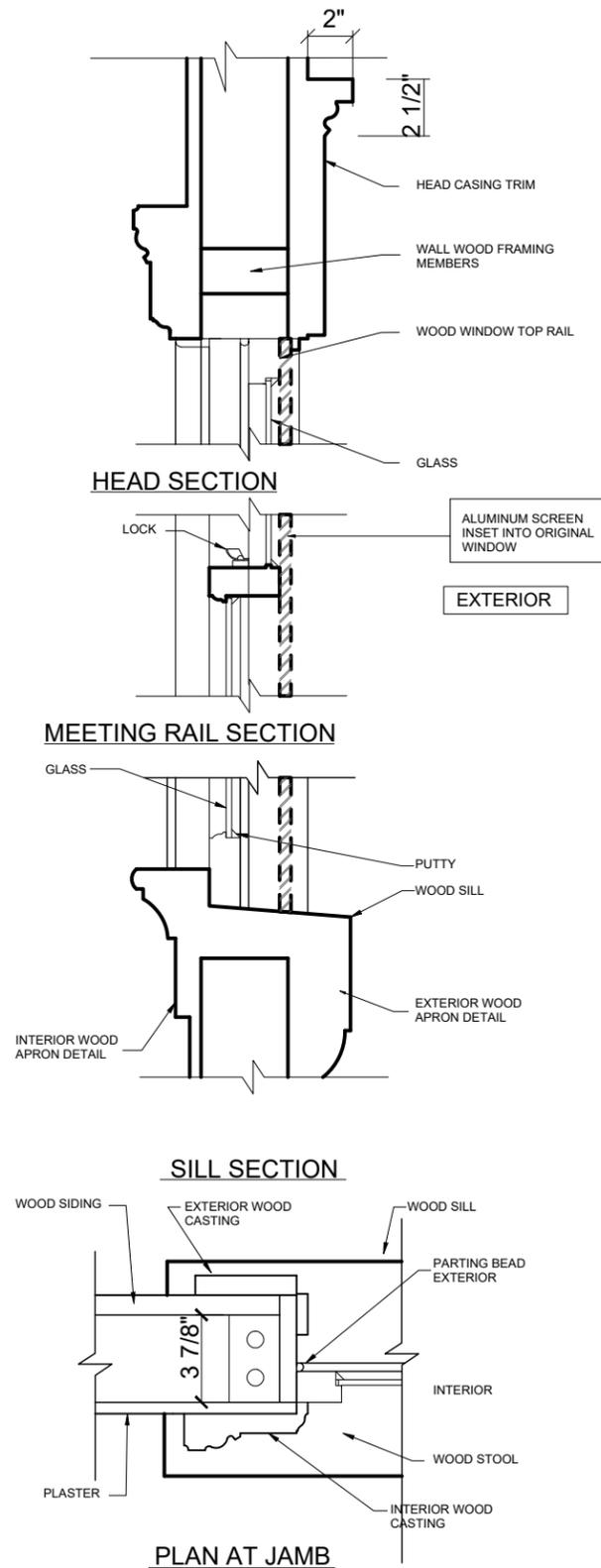
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**NOTE:** (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE

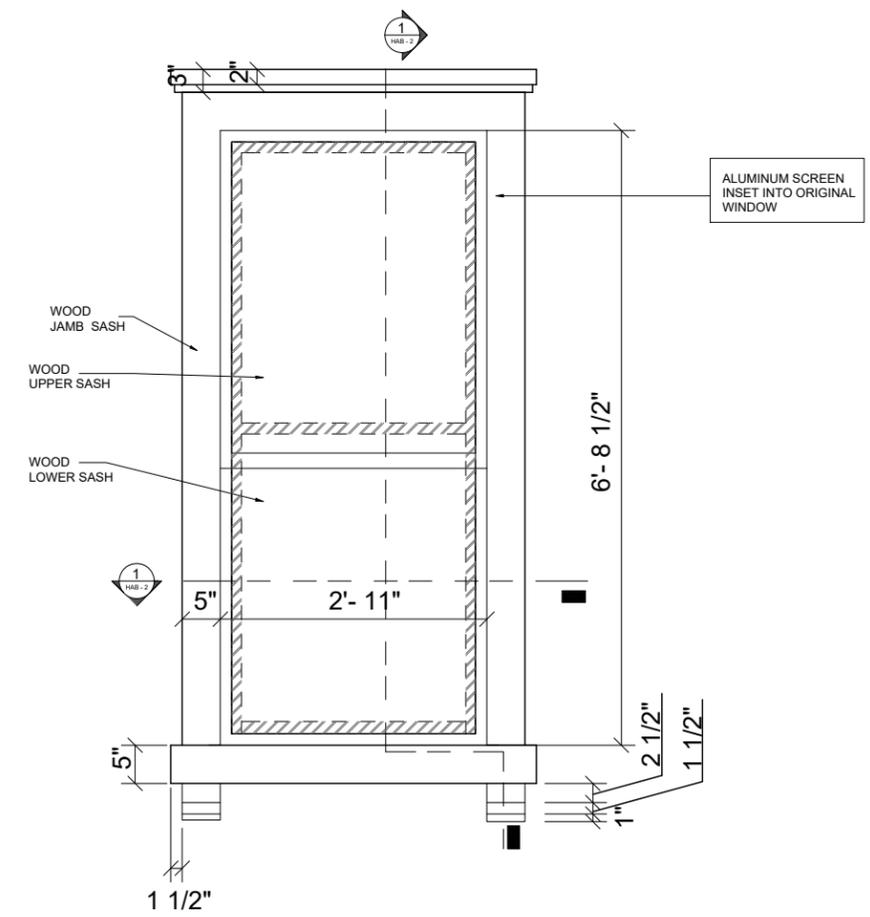
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**HAB - 2**



**1 WINDOW DETAILS**  
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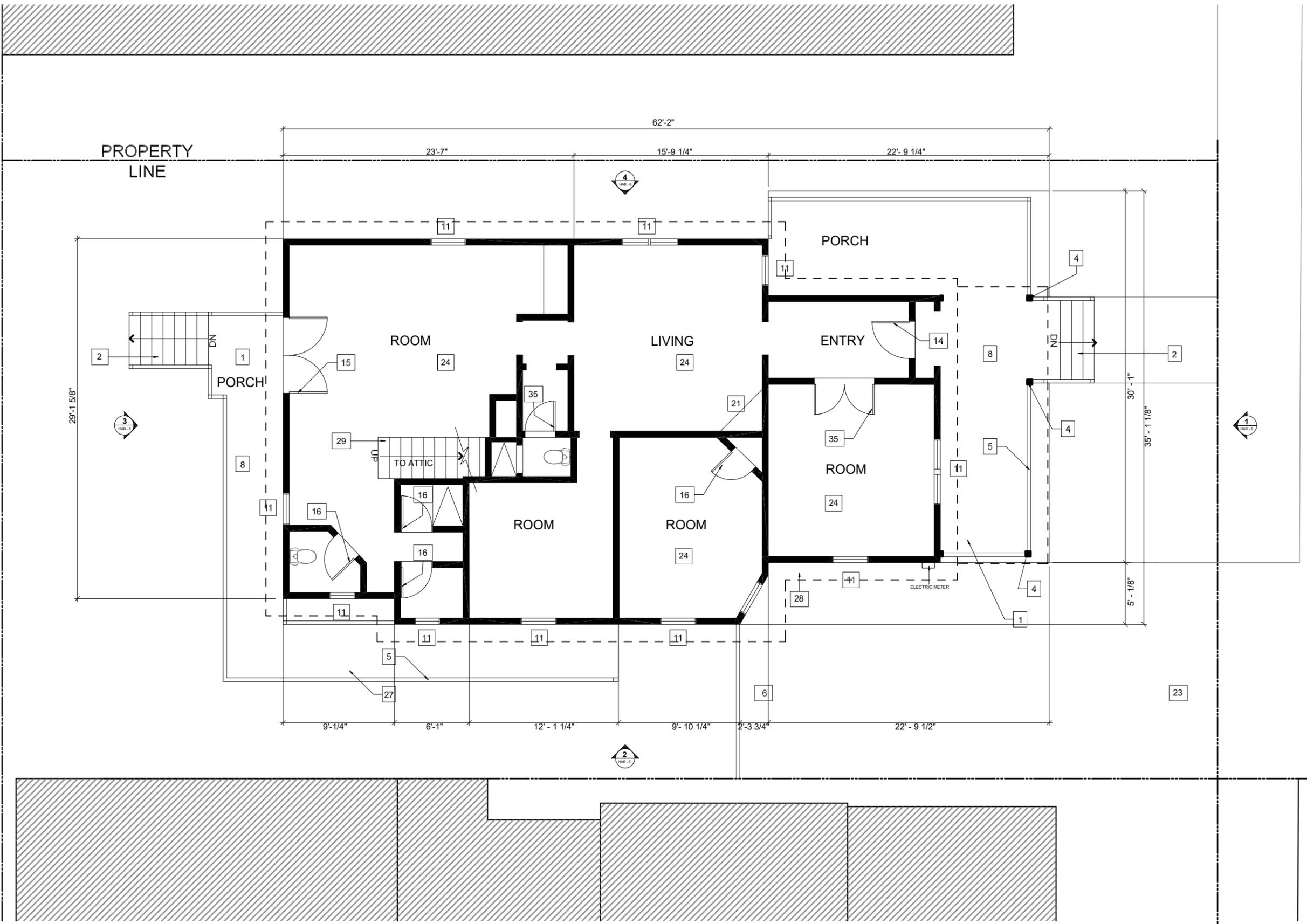


**2 WINDOW ELEVATION**  
SCALE: 1/2" = 1'-0"

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NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE



UNION ST.

**1** FIRST FLOOR PLAN  
HAB - 3 SCALE: 1/8" = 1' - 0"

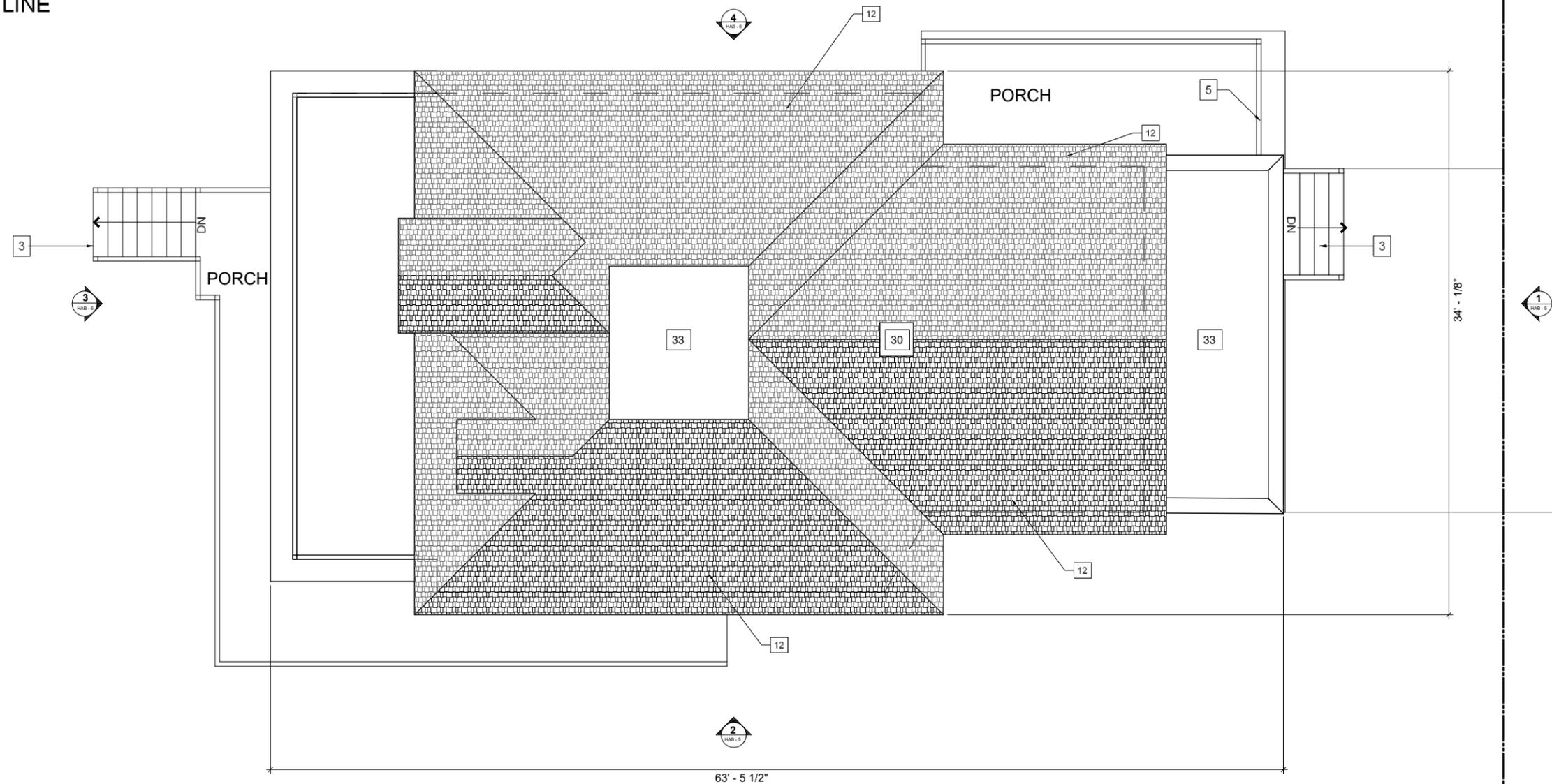


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**NOTE:** (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE

PROPERTY LINE



UNION ST.

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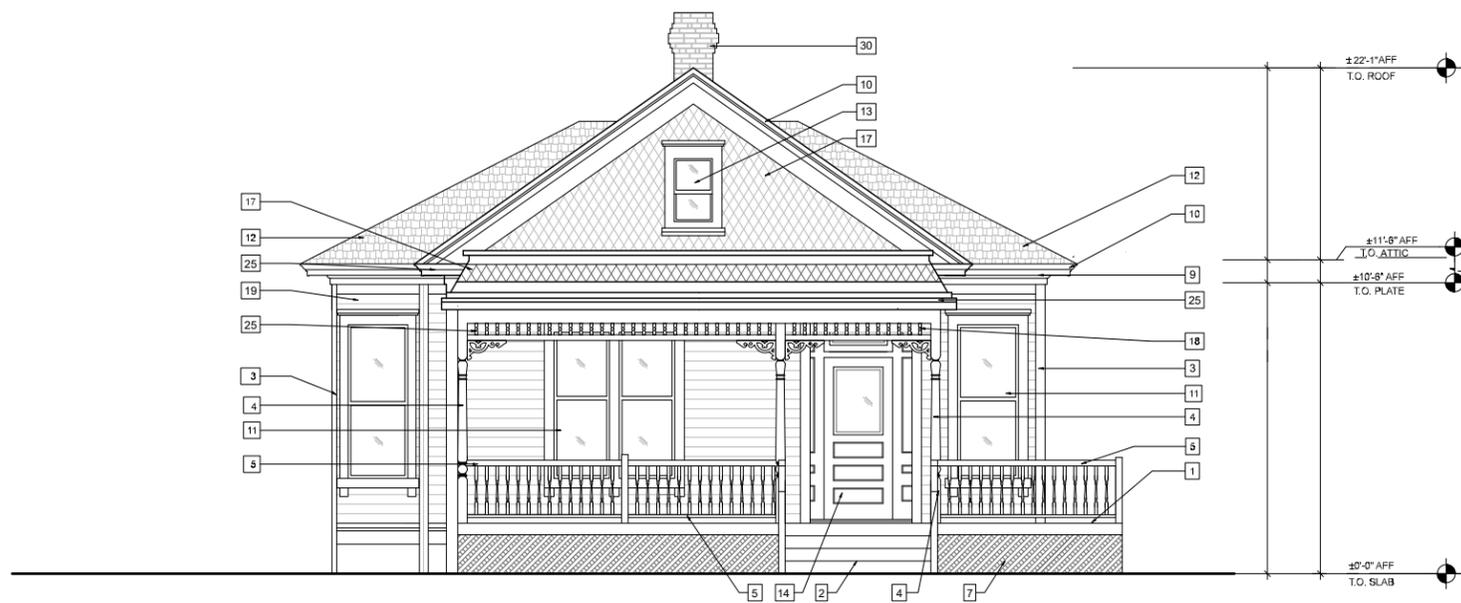
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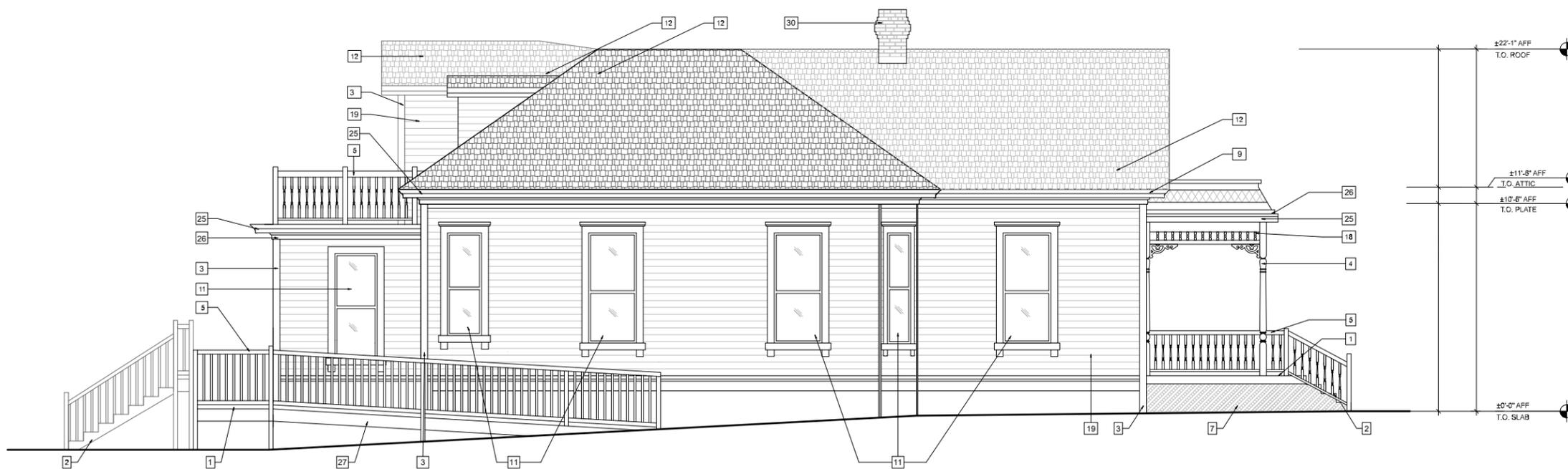
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NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE



**1 EAST ELEVATION**  
HAB - 5 SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
HAB - 5 SCALE: 1/8" = 1'-0"

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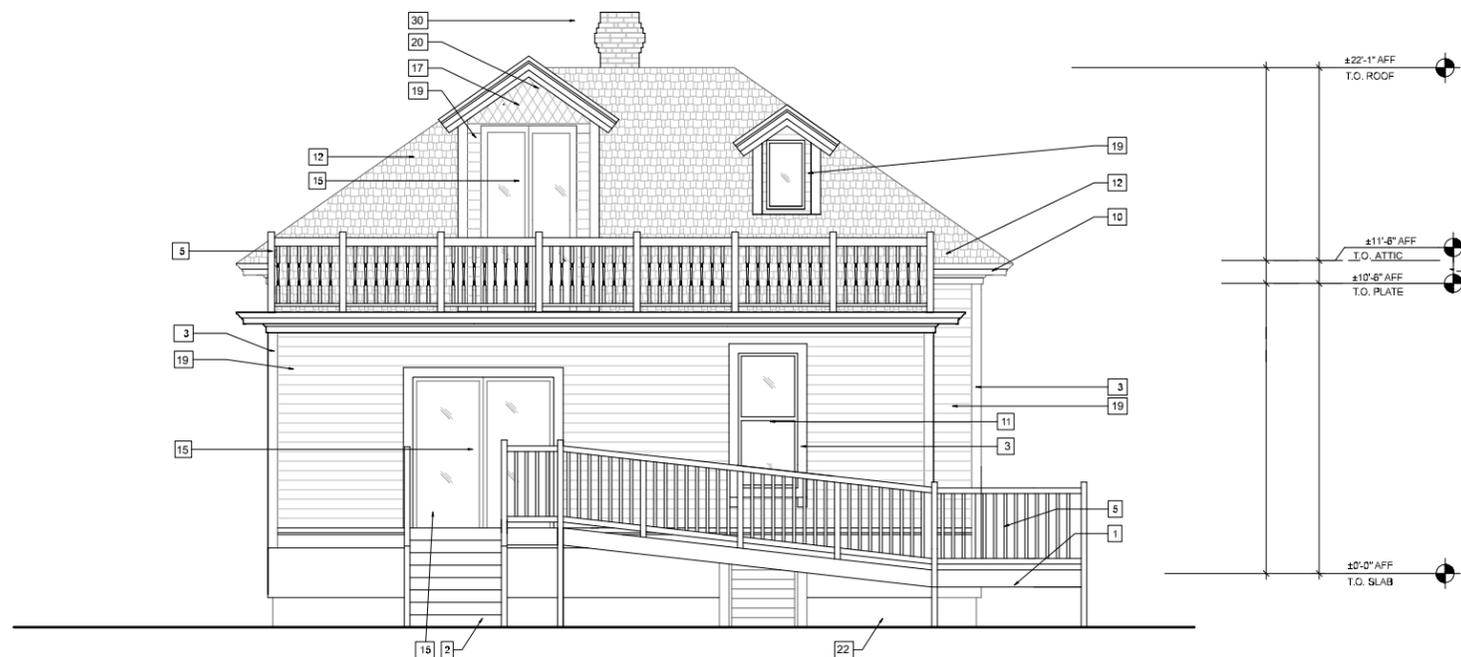
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SHEET 6 OF 6

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- 27 WOOD RAMP (NH)
- 28 WOOD OVERHANG ABOVE
- 29 WOOD STAIRS (NH)
- 30 BRICK CHIMNEY
- 31 SHEET ROLL ROOFING
- 32 WOOD RAILLING
- 33 WOOD DOOR

**NOTE:** (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE



**5 WEST ELEVATION**  
HAB - 5  
SCALE: 1/8" = 1'-0"

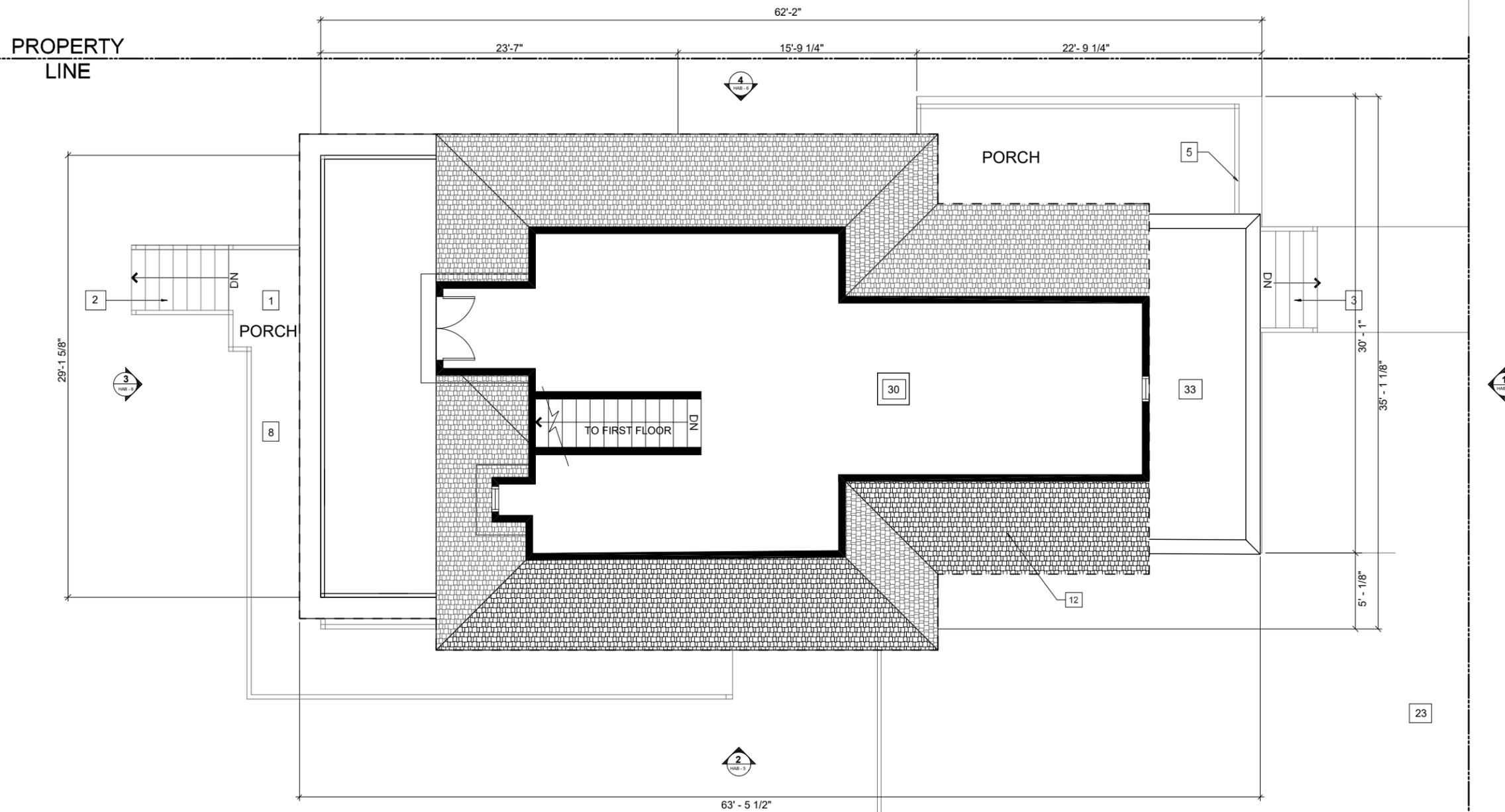


**4 NORTH ELEVATION**  
HAB - 5  
SCALE: 1/8" = 1'-0"

KEYNOTES

- 1 WOOD PORCH (NH)
- 2 COMPOSITE WOOD STAIRS (NH)
- 3 WOOD TRIM AT SIDING
- 4 DECORATIVE WOOD COLUMN
- 5 WOOD RAILING (NH)
- 6 WOOD FENCE (NH)
- 7 WOOD LATTICE (NH)
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- 10 WOOD FASCIA ROOF
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NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE



UNION ST.

Andrew Cassidy Residence  
TREATMENT PLAN  
October 12<sup>th</sup> 2021

**PROJECT DESCRIPTION:**

The historic Andrew Cassidy Home is a one story Victorian Queen Anne Cottage style structure Located at 1620 Union Street in San Diego's Little Italy. An unknown builder built the wood-framed structure in 1888. Identified as a potential historical site in a 1988 survey, the building was designated as City of San Diego Historical Site # 283 in 1990.

The property on which the Andrew Cassidy Home is located is part of a proposed redevelopment project called "Air Rights Tower" which will occupy the entire 5,000 square foot lot bounded to the north and south by multifamily structures, to the west by a parking lot, and to the east by Union Street. The proposed redevelopment project includes the construction of a 110,000 gross square foot residential twenty four story high-rise. Site improvements will include a subterranean basement and a new driveway. To facilitate the construction of this new development the Andrew Cassidy Home will be relocated to 2642 Newton Avenue San Diego 92113 in the Barrio District of San Diego.

**INTRODUCTION:**

The implementation of this Treatment Plan for the relocation and exterior restoration of the Andrew Cassidy Home will be facilitated by a qualified historic structure remover. Construction Observation services will be provided by the Project Architect and Historic Architect, Master Architect Jonathan Segal FAIA. The project shall be completed in accordance with the mitigation, monitoring, and reporting program for this project. This Treatment Plan is accompanied by schematic drawings, which depict the proposed exterior restoration of the building.

**RELOCATIAON/RESTORATION STRATEGY:**

Prior to the development of the 1620 Union site the Andrew Cassidy home will be relocated to its new location at 2642 Newton Ave. The main structure will be transported in two pieces. Approximately 8 feet of roof will be removed and transported separately to accommodate overhead MTS trolley lines.

The future tenant of the restored home has not yet been identified however the proposed future use of the building will not change its occupancy classification from residential. The proposed site improvements include the addition of landscaping and new front stoops. Modifications to the Andrew Cassidy Residence shall be in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (The Standards), specifically *The Standards for Restoration*.

**PREPARATION, RELOCATION, & RESTORATION REQUIREMENTS:**

1. Preparation of the Structure Prior to Relocation:  
Coordination Meeting & Monitoring: Prior to the start of any work the Project Architect and Historic Architect / Monitor shall meet on site with the moving

contractor to review the scope of demolition, removal, salvage, temporary shoring and relocation. Through the course of all work, the moving contractor shall notify the Historic Architect / Monitor of discovery of any architectural elements on site. The Historic Architect / Monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with *The Secretary of the Interior's Standards for Restoration*.

Construction monitoring shall be provided prior to preparation of the building for relocation. The Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Temporary Shoring: The moving contractor shall provide and maintain necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur after review by the Project Architect. The mover shall outline any proposed points of entry and attachment for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to installation of shoring, catalogued, labeled and securely stored in a weather-tight lockable container pending reinstallation at the final site.

Roof: Roofing shingles will be removed and roof 2x4s will be cut approximately 18" above the interior attic floor. The material above 18" will be disposed of. Below the 18" cut line all roofing and structure will remain in tact. The front gable will be disconnected from the attic 2x8 joists and plywood, braced and laid down flat onto the attic floor and secured horizontally for transport.

Windows: All windows shall be protected by ¾" exterior grade plywood prior to relocation installed without causing damage to the existing historic windows, frames, and trim.

Doors: The single existing historic exterior door at the front façade of the building shall be protected in place.

Cast in Place Concrete Foundation: The existing cast in place concrete foundation is non-original and will be demolished after the building relocation.

Chimneys: Prior to Relocation, the historic brick chimney located at the ridge of the gabled roof shall be disassembled above the roofline. Prior to disassembly the chimney shall be measured and photo documented. All documentation will be submitted to the City for review and approval prior to removal of the chimney. The brick shall be catalogued, salvaged and stored

for reinstallation at the final site. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather tight lockable steel container that will be located at the relocation site adjacent to the building.

Front Steps and Porch: The front porch, including the porch floor, balustrade, columns, roof, trim, railings, and decorative elements shall be protected in place and securely shored in order to facilitate the structure relocation. The non-original front porch portion to the north of the porch roof will be disassembled and removed.

Rear Porch: The raised wood deck and stairs are non-original and will be demolished prior to relocation.

Side Ramp: The wood side ramp is non-original and will be demolished prior to relocation.

## **2. Relocation Procedures:**

The Andrew Cassidy Home will be moved approximately 3.1 miles to its new site location at 2642 Newton Avenue San Diego, CA 92113. The building will be moved in two pieces and Restoration will commence.

The mover shall outline the route, schedule, and sequence of the move as well as the means by which the building will be secured for relocation. The Historic Architect / Monitor and City Staff shall approve the plan prior to the relocation date.

Monitoring: Construction monitoring shall be provided during the relocation process when the building is moved to its new location. Following each site visit, the Monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with *The Standards*.

## **3. Building Restoration:**

Following the relocation of the Andrew Cassidy Home, the exterior of the structure will be restored in accordance with *The Secretary of the Interior's Standards for Restoration*.

The foundation

Construction Monitoring: Periodic construction monitoring shall be provided during the restoration process. Following each site visit, the construction monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with *The Standards*.

Restoration Design: The future restoration of the building shall be completed in accordance with *The Standards*. The design team shall include the services

of a historic architect that meets the Secretary of the Interior's Professional Qualification Standards. The restoration design will require review and approval by the City of San Diego Development Services Department and the Historical Resources Board staff and or Design Assistance Subcommittee.

**RESTORATION RECOMMENDATIONS:**

Site:

- In accordance with *The Standards*, new additions shall not destroy historical materials, features, and spatial relationships that characterize the property. They should be differentiated from historic construction and compatible in materials, feature, size, scale, proportion, and massing. They should also be constructed in a manner that, if removed in the future, the essential form and integrity of the building would be unimpaired.

Roof:

- New roof structure will be installed and attached to original remaining lower roofing via stitch nailing. The front gable will be lifted back into place and reattached to new 2x4 framing via internal A35 clips and stitch nailing. Remove and replace existing composite shingle roofing with new composite shingles with a natural cedar color.

Foundation:

- Building should be placed on a foundation that is of similar height to the original foundation

Exterior Walls:

- Repair deteriorated wood siding and repaint the building using a similar to existing historic color scheme.

Front Porch:

- Repair deteriorated wood shingle and repaint using the historic color scheme.
- Recreate the front steps with new redwood steps matching the original steps and repaint using historic color scheme.
- Remove and replace the non-original decking with redwood wood type decking and repaint using historic color scheme.
- Repair and repaint other wood features using the historic color scheme.

Rear Porch:

- Recreate new concrete rear entry and exit steps.

Chimney:

- Seismically retrofit or reconstruct the original chimney.

Windows:

- Remove all non-original aluminum window screens
- Restore existing historic windows to working condition and add weather-stripping as necessary. Repair exterior using the historic color scheme and repaint interior of windows.

Exterior Doors:

- Repair damaged front entry door and install ADA compliant door Hardware.

Interior:

- Install new wood flooring.
- Paint interior
- Repair any damaged drywall or walls
- Where feasible preserve and protect the remaining character-defining interior features and finishes in the restored building.

Mechanical, Plumbing and Electrical Systems:

- Design and install new HVAC system
- Install new bathrooms
- Install new Kitchen

**SUMMARY OF EXISTING HISTORICAL FEATURES:**

Exterior:

Historically significant exterior features and finishes should be preserved and protected in accordance with *The Standards*. Existing historic exterior features include:

- Double hung sash windows
- Front porch roof and diamond shaped shingles
- Diamond shaped shingles on hipped roof
- Existing exterior trim and decorative elements
- Clapboarding

Interior:

The interior of the building retains a low degree of historical integrity. Existing historic interior features include:

- Doorframe molding with decorative rosettes.

Non-Historic Features:

The Andrew Cassidy Home retains a high degree of historical integrity. Only a few minor alterations have been completed since the buildings construction in 1888.

Non-historic exterior features are limited to the following:

- Front porch extension and modern decking material

- Front porch steps
- Aluminum/Plastic window screens
- Rear porch and rear porch steps
- Side porch ramp
- The existing composite shingle roofing
- Rear porch doors
- Cast in place concrete foundation

All other existing building features and finishes on the exterior of the building are historic and they contribute to the historical character of the building.

Non-historic interior features are limited to the following:

- Laminate flooring
- Bathrooms and additional demising walls
- Fireplace surround and hearth
- Interior doors and room dividers
- Molding at ceiling damaged and mostly removed
- Stair to Attic Space
- Kitchen

**SUMMARY OF APPLICABLE STANDARDS AND GUIDELINES:**

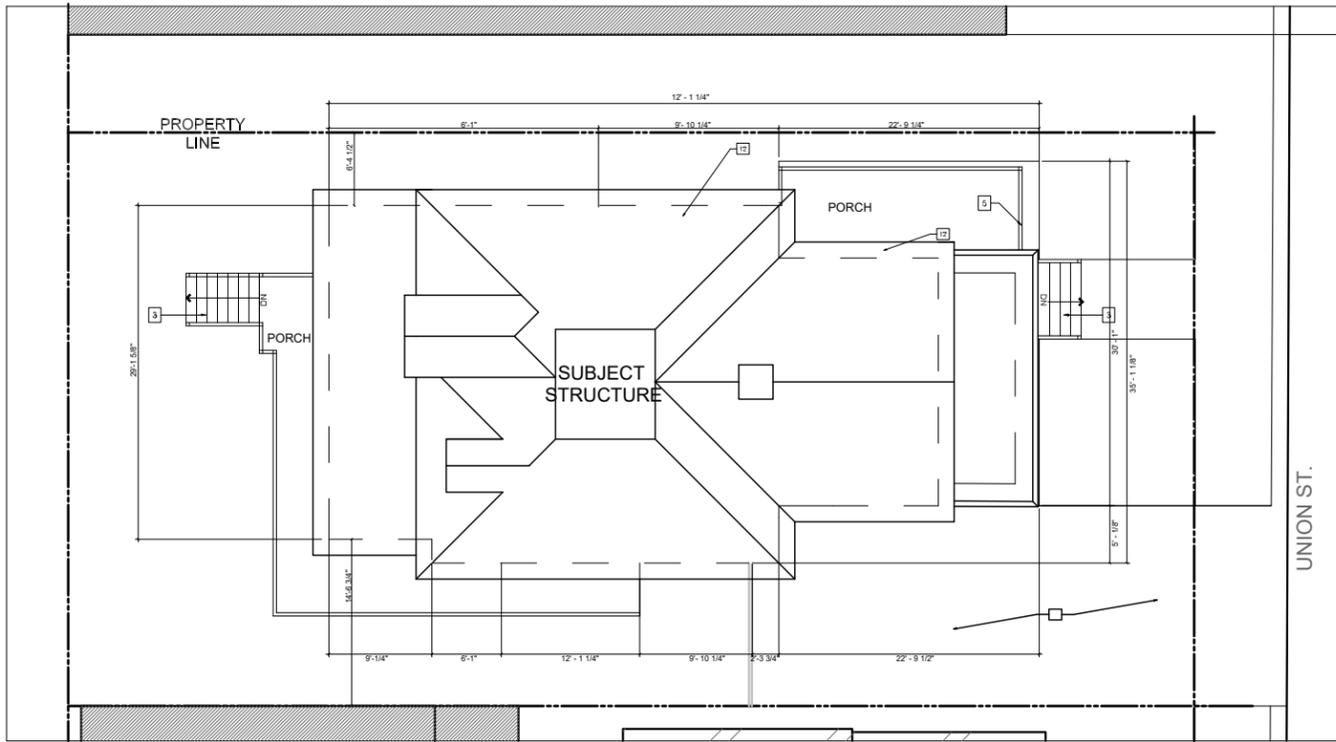
Any work undertaken on the historic Andrew Cassidy Home, including the proposed relocation and subsequent restoration, shall be completed in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*. There are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration and reconstruction. Restoration has been identified as the appropriate treatment for the Andrew Cassidy Home due to use of the property being consistent with what it was historically and general overall condition of the property.

Standards for Restoration

1. A property will be used as it was historically or be given a new use that interprets the property and its restoration period.
2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces and spatial relationships that characterize the period will not be undertaken.
3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.
4. Materials, features, spaces and finishes that characterize other historical periods will be documented prior to their alteration or removal.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.
6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.
7. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
8. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
9. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
10. Designs that were never executed historically will not be constructed.

The City of San Diego will use *The Standards* as a guideline for confirming the appropriateness of the proposed restoration work for the building. Restoration work and proposed modifications to the building will also need to comply with current (2019) California Building Code and the Americans with Disabilities Act (ADA). Additionally, since the Andrew Cassidy Home is a designated historical resource, the provisions of the California Historical Building Code are also applicable to all future relocation and restoration work.



### DESCRIPTION OF RESOURCE

THE HISTORIC ANDREW CASSIDY HOUSE IS A ONE-STORY QUEEN ANNE VICTORIAN STYLE AT 1620 UNION STREET IN SAN DIEGO'S LITTLE ITALY. THE WOOD FRAMED STRUCTURE WAS BUILT IN 1888 BY AN UNKNOWN BUILDER. IDENTIFIED AS A POTENTIAL HISTORICAL SITE IN A 1988 SURVEY, THE BUILDING WAS DESIGNATED AS CITY OF SAN DIEGO HISTORICAL SITE #283 IN 1990

### SHEET INDEX

- TP-1 SITEPLAN, VICINITY MAP & PHOTOS
- TP-2 FIRST FLOOR PLAN
- TP-3 ROOF PLAN
- TP-4 EAST AND SOUTH ELEVATIONS
- TP-5 WEST AND NORTH ELEVATIONS
- TP-6 SECTIONS AND DETAILS
- TP-7 ROOF REMOVAL

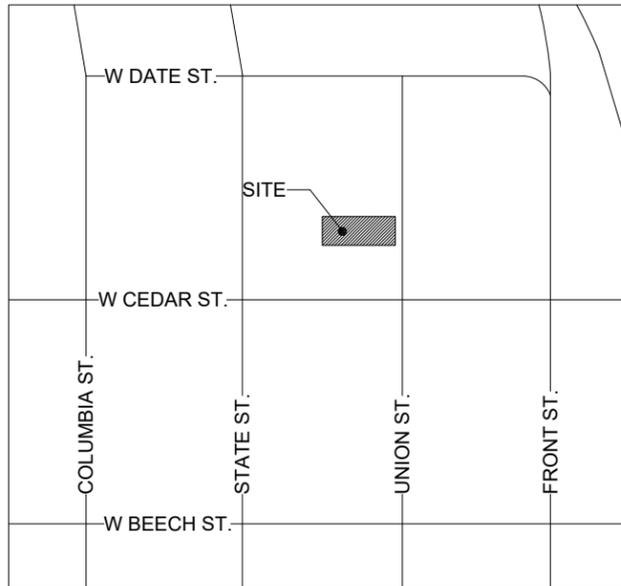
### ATTACHMENT 12

#### KEYNOTES

- 1 WOOD PORCH (NH)
- 2 COMPOSITE WOOD STAIRS (NH)
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### 1 SITE PLAN

TP-1 SCALE: 1/16" = 1'-0"



### 2 VICINITY MAP

TP-1 SCALE: NTS



### 3 PHOTO OF WEST ELEVATION

TP-1



### 4 PHOTO OF NORTH ELEVATION

TP-1



### 5 PHOTO OF EAST ELEVATION

TP-1

PROJECT: ANDREW CASSIDY HOUSE

1620 UNION ST, SAN DIEGO CA 92101  
CITY OF SAN DIEGO HISTORICAL RESOURCE SITE #283 BUILT 1888

ARCHITECT: JONATHAN SEGAL FAIA  
MASTER ARCHITECT DR. JONATHAN SEGAL FAIA

3000 UPAS ST, SUITE 101 SAN DIEGO, CA 92104  
619-593-6269 www.jonathansegalarchitect.com

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NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE

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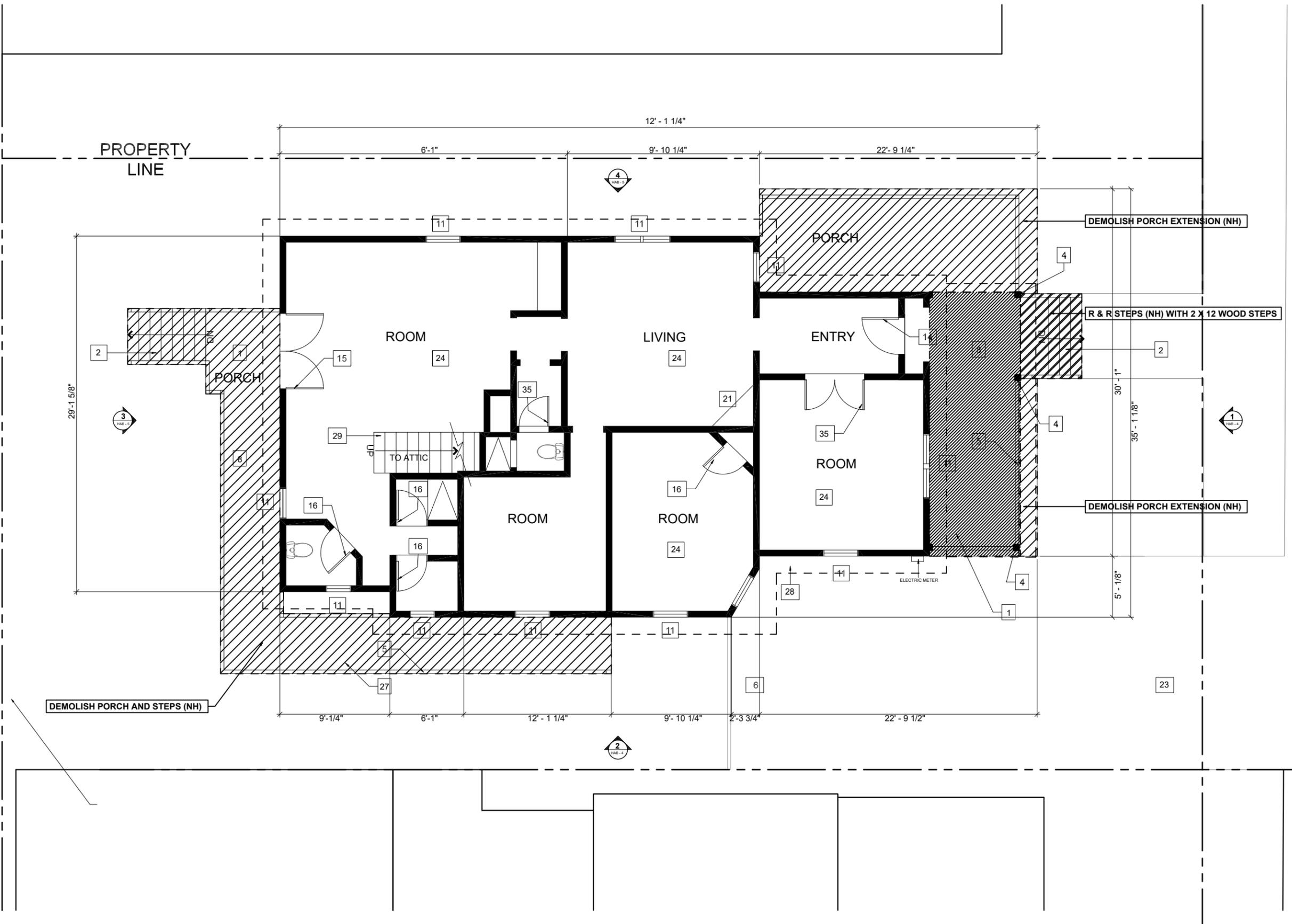
TP - 1

SHEET 1 OF 7

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NOTE: STABILIZE & BRACE WALLS AS NECESSARY.

THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.



**1** FIRST FLOOR PLAN  
TP - 2 SCALE: 1/8" = 1' - 0"

UNION ST.

PROPERTY LINE

12' - 1 1/4"

6'-1"

9'- 10 1/4"

22'- 9 1/4"

DEMOLISH PORCH EXTENSION (NH)

R & R STEPS (NH) WITH 2 X 12 WOOD STEPS

DEMOLISH PORCH EXTENSION (NH)

DEMOLISH PORCH AND STEPS (NH)

ROOM

LIVING

ENTRY

ROOM

ROOM

ROOM

TO ATTIC

ELECTRIC METER

29'-1 5/8"

30'-1"

35'- 1 1/8"

5'- 1/8"

9'-1/4"

6'-1"

12'- 1 1/4"

9'- 10 1/4"

2'-3 3/4"

22'- 9 1/2"

23

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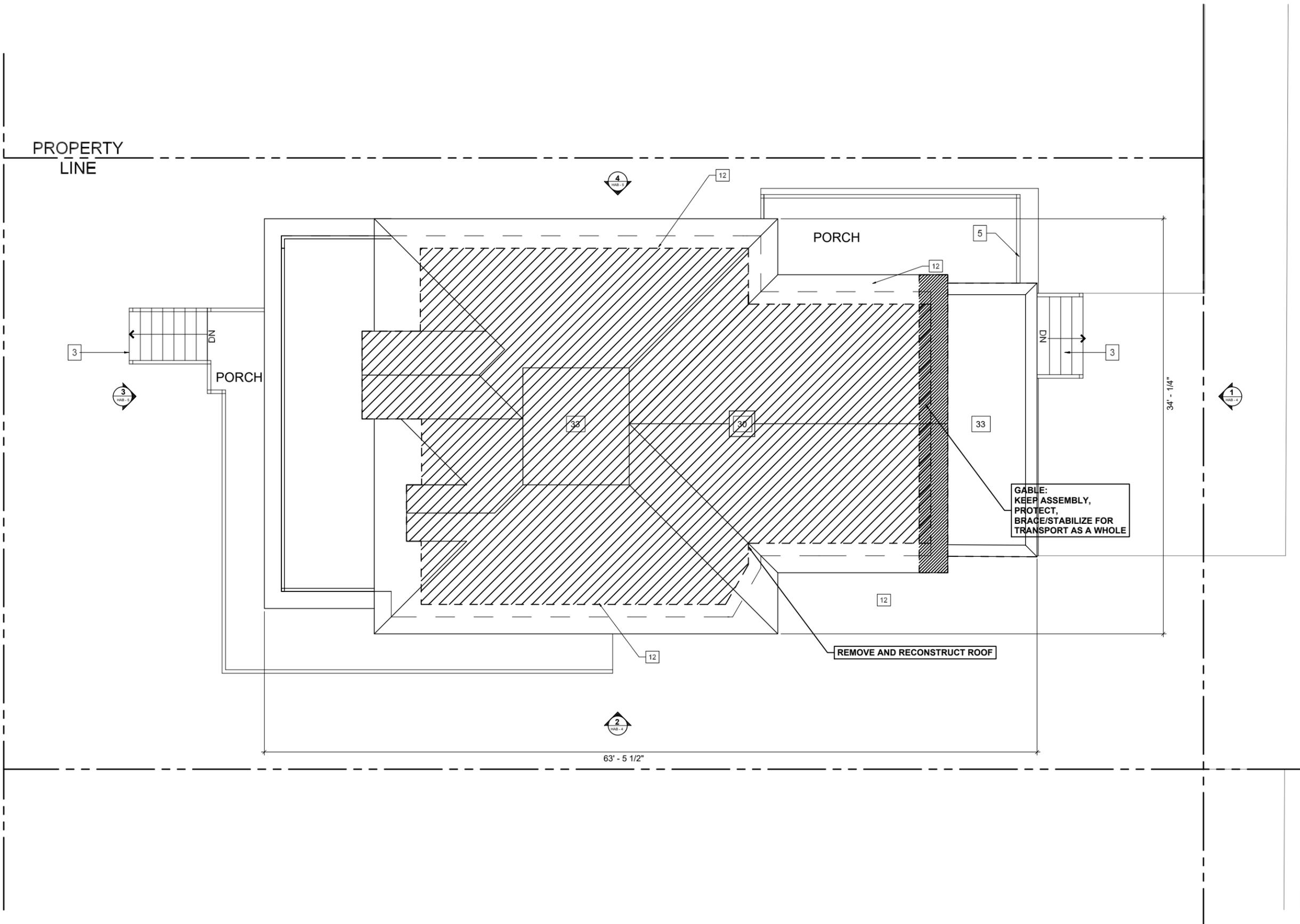
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PROPERTY LINE

PORCH

PORCH

GABLE:  
KEEP ASSEMBLY,  
PROTECT,  
BRACE/STABILIZE FOR  
TRANSPORT AS A WHOLE

REMOVE AND RECONSTRUCT ROOF

**1** ROOF PLAN  
TP - 3 SCALE: 1/8" = 1' - 0"

NOTE: STABILIZE & BRACE WALLS AS NECESSARY.

THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.



UNION ST.

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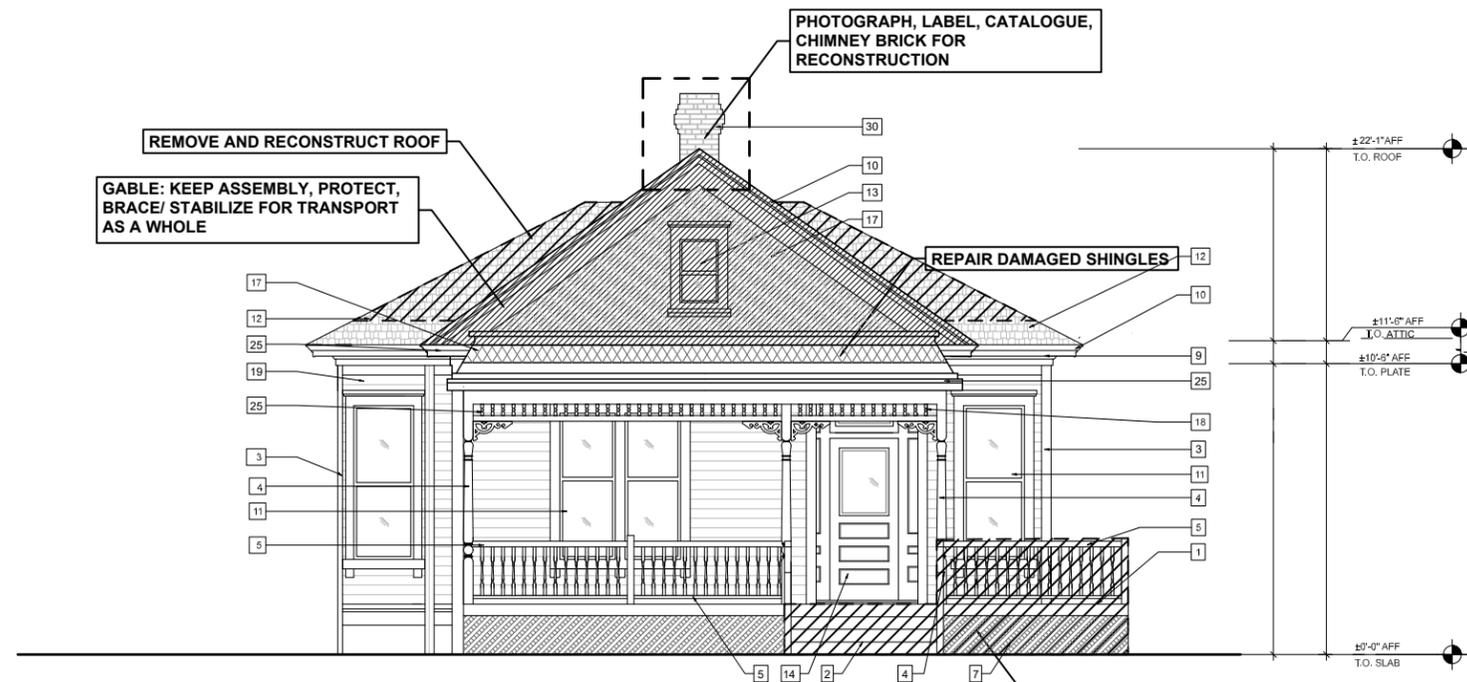
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TP - 4

SHEET 4 OF 7

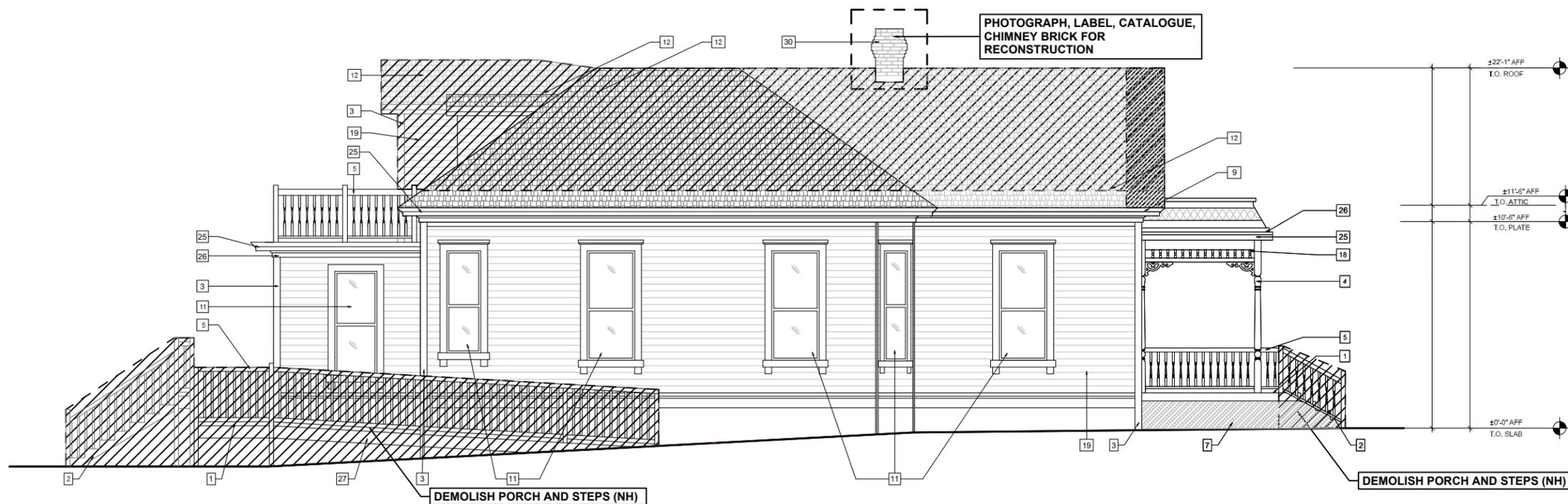


NOTE: NO NEW REAR PORCH WILL BE ADDED

THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.



**1 EAST ELEVATION**  
 TP - 4 SCALE: 1/8" = 1'-0"

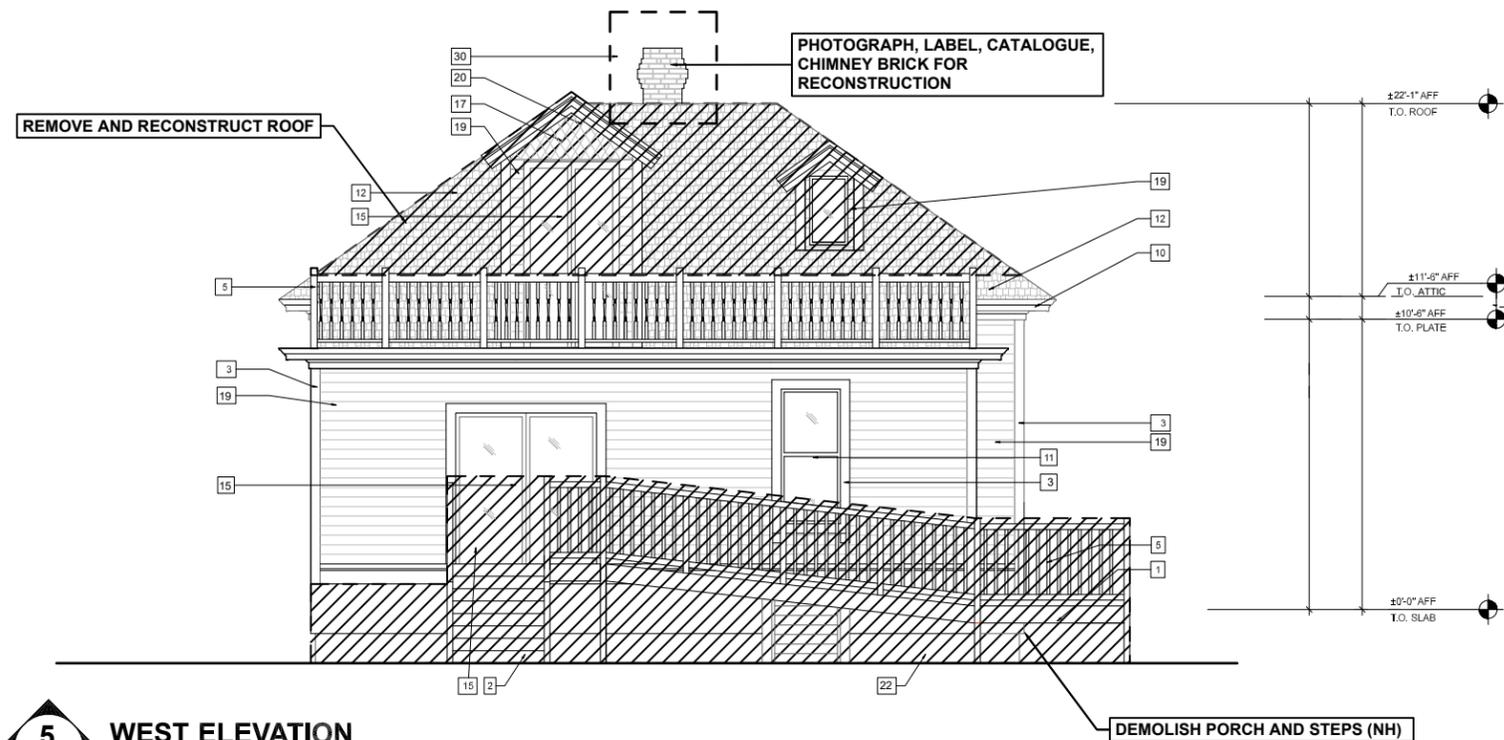


**2 SOUTH ELEVATION**  
 TP - 4 SCALE: 1/8" = 1'-0"

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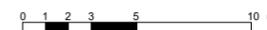
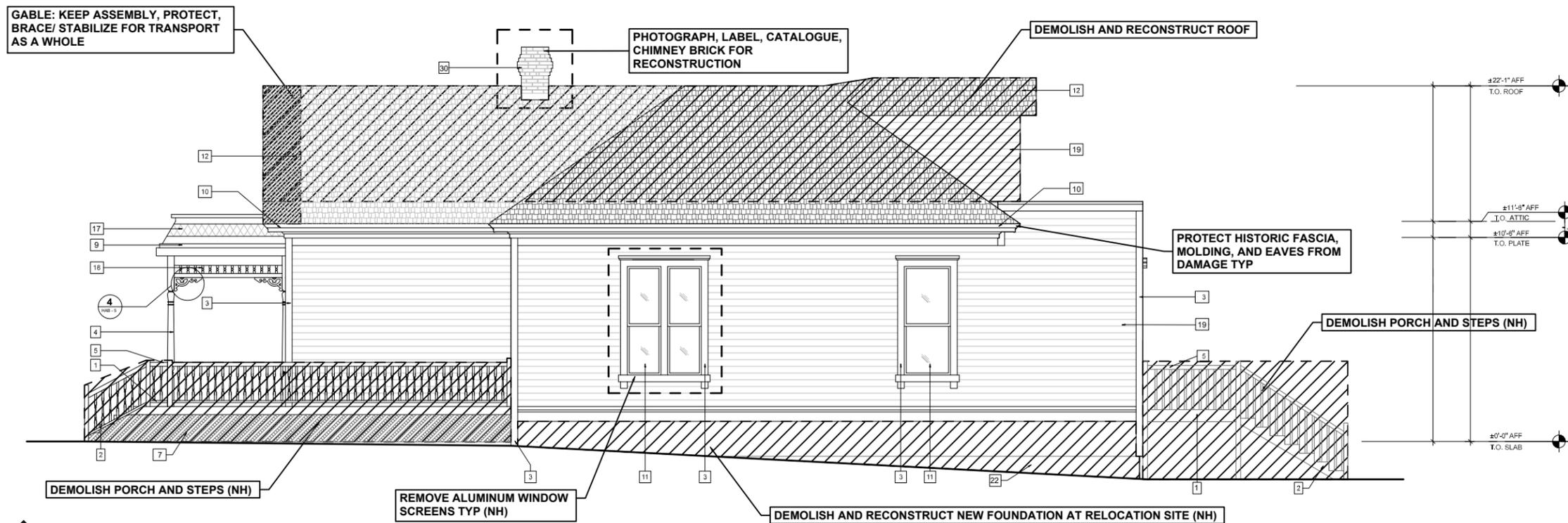
NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE



NOTE: NO NEW REAR PORCH WILL BE ADDED  
 THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.



**5 WEST ELEVATION**  
 TP - 5 SCALE: 1/8" = 1'-0"

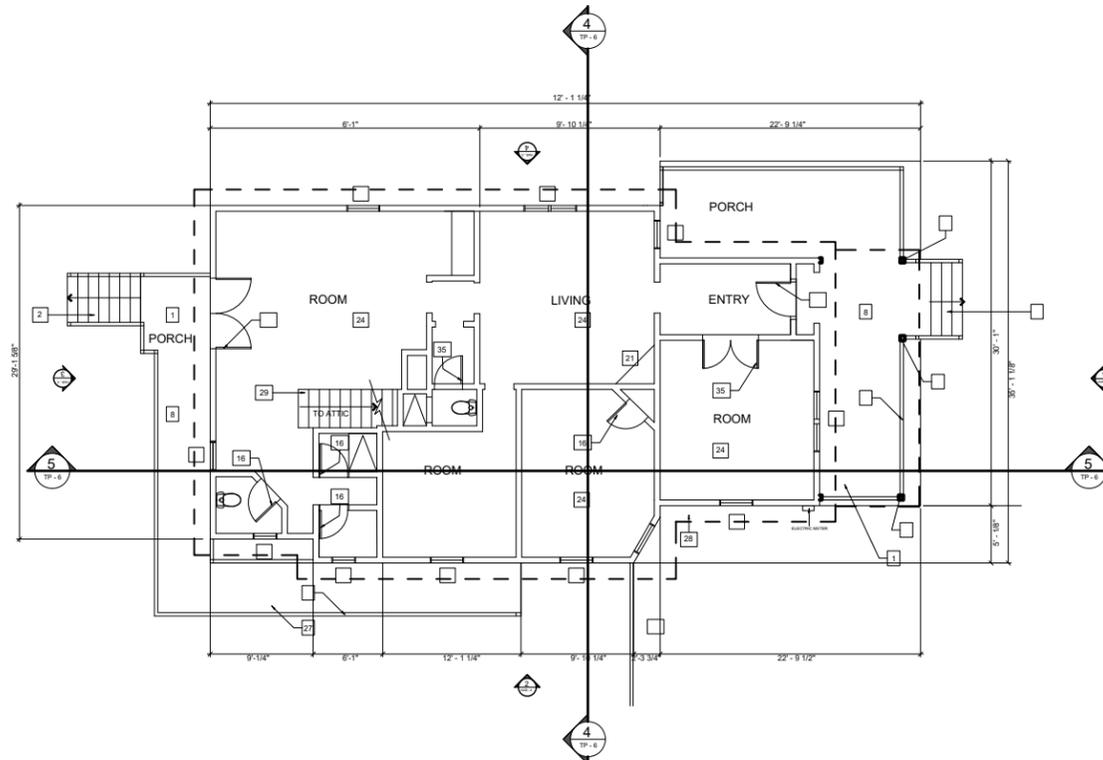


**4 NORTH ELEVATION**  
 TP - 5 SCALE: 1/8" = 1'-0"

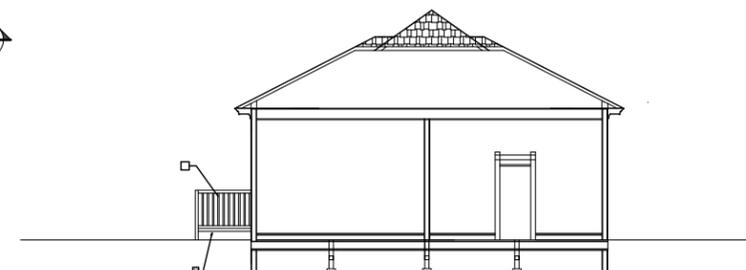
**KEYNOTES**

- 1 WOOD PORCH (NH)
- 2 COMPOSITE WOOD STAIRS (NH)
- 3 WOOD TRIM AT SIDING
- 4 DECORATIVE WOOD COLUMN
- 5 WOOD RAILING (NH)
- 6 WOOD FENCE (NH)
- 7 WOOD LATTICE (NH)
- 8 COMPOSITE WOOD DECKING (NH)
- 9 DECORATIVE WOOD FRIEZE
- 10 WOOD FASCIA ROOF
- 11 VINYL WINDOW (NH) OVER ORIGINAL DOUBLE HUNG WINDOW
- 12 ASPHALT SHINGLE ROOFING (NH)
- 13 WOOD CASEMENT DOUBLE HUNG WINDOW
- 14 WOOD PANEL AND GLASS DOOR
- 15 VINYL FRENCH DOORS (NH)
- 16 WOOD DOOR (NH)
- 17 DECORATIVE WOOD SHINGLES DIAMONDS
- 18 DECORATIVE WOOD SPANDELS
- 19 WOOD SHIPLAP SIDING
- 20 ROOF GABLE
- 21 FIRE PLACE
- 22 CONCRETE FOUNDATION
- 23 ASPHALT WALK/PAVING
- 24 FAUX WOOD PLANK FLOORING (NH)
- 25 WOOD CORNICE
- 26 ROOF GUTTER
- 27 WOOD RAMP (NH)
- 28 WOOD OVERHANG ABOVE
- 29 WOOD STAIRS (NH)
- 30 BRICK CHIMNEY
- 31 SHEET ROLL ROOFING
- 32 WOOD RAILLING
- 33 WOOD DOOR

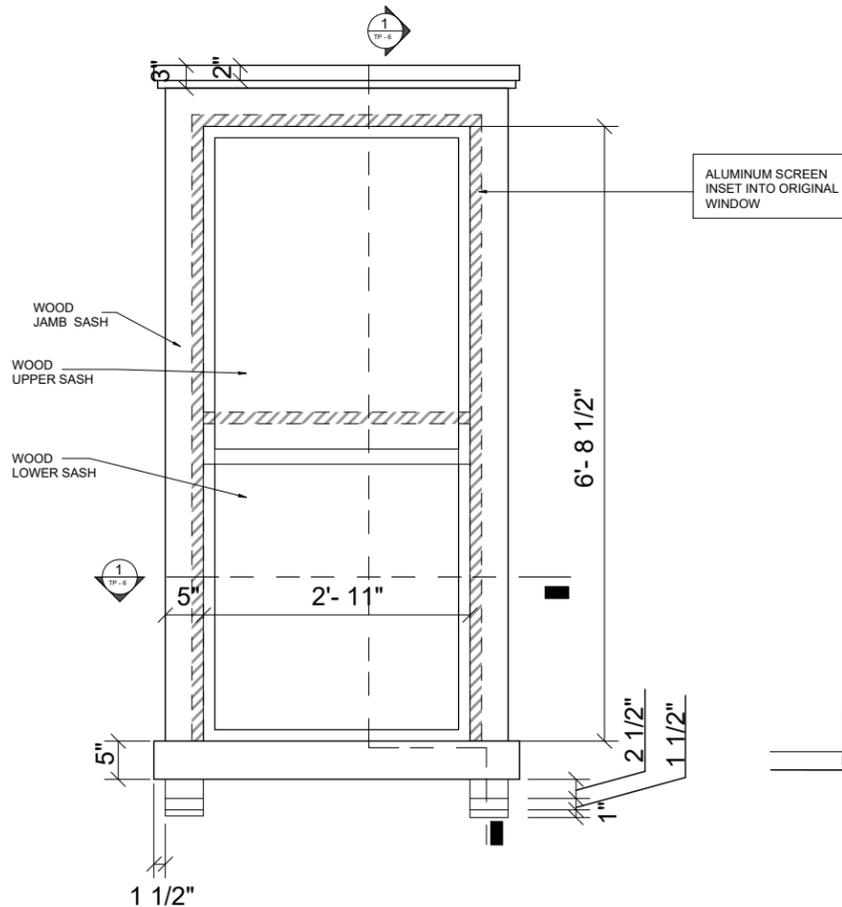
NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE



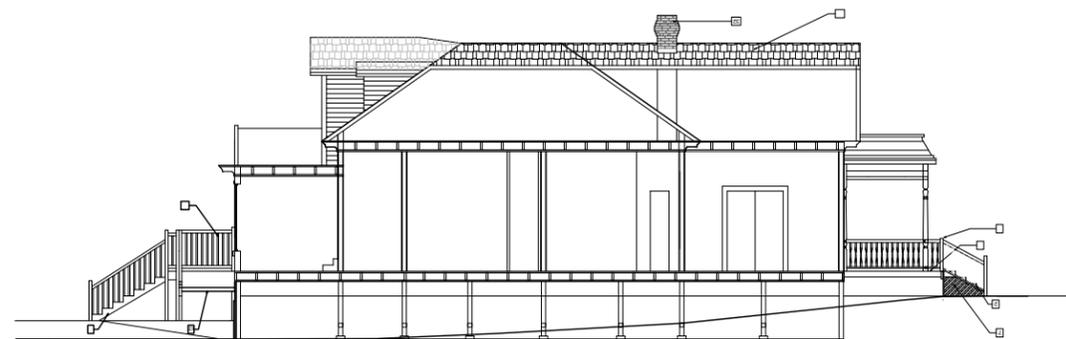
**3 SECTIONS**  
 TP - 6 SCALE: 1/16" = 1' - 0"



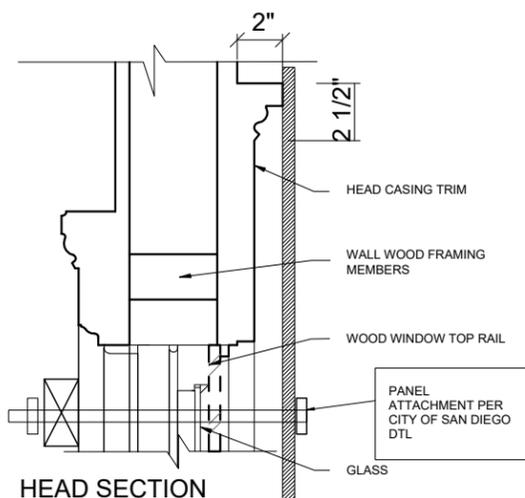
**4 EAST-WEST BUILDING SECTION**  
 TP - 6



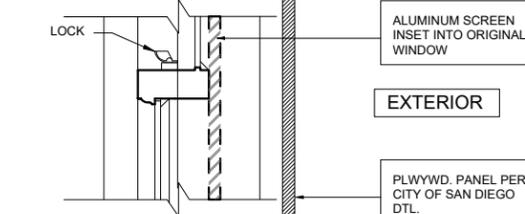
**2 WINDOW ELEVATION**  
 TP - 6 SCALE: 1/2" = 1' - 0"



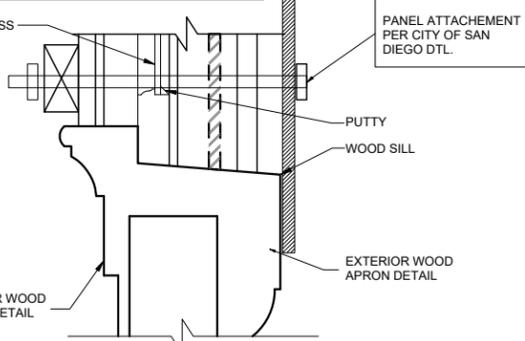
**5 SOUTH-NORTH BUILDING SECTION**  
 TP - 6



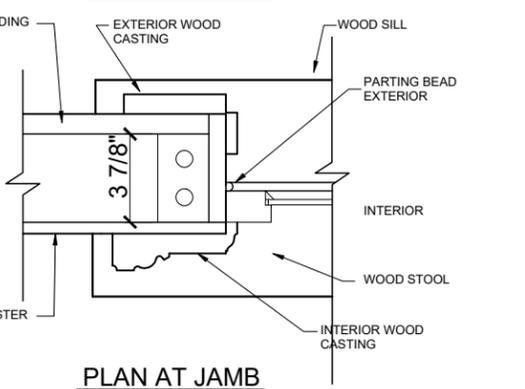
**HEAD SECTION**



**MEETING RAIL SECTION**



**SILL SECTION**



**PLAN AT JAMB**

**1 WINDOW DETAILS**  
 TP - 6 SCALE: 1 1/2" = 1' - 0"

**KEYNOTES**

- 1 WOOD PORCH (NH)
- 2 COMPOSITE WOOD STAIRS (NH)
- 3 WOOD TRIM AT SIDING
- 4 DECORATIVE WOOD COLUMN
- 5 WOOD RAILING (NH)
- 6 WOOD FENCE (NH)
- 7 WOOD LATTICE (NH)
- 8 COMPOSITE WOOD DECKING (NH)
- 9 DECORATIVE WOOD FRIEZE
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- 11 VINYL WINDOW (NH) OVER ORIGINAL DOUBLE HUNG WINDOW
- 12 ASPHALT SHINGLE ROOFING (NH)
- 13 WOOD CASEMENT DOUBLE HUNG WINDOW
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- 15 VINYL FRENCH DOORS (NH)
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- 17 DECORATIVE WOOD SHINGLES DIAMONDS
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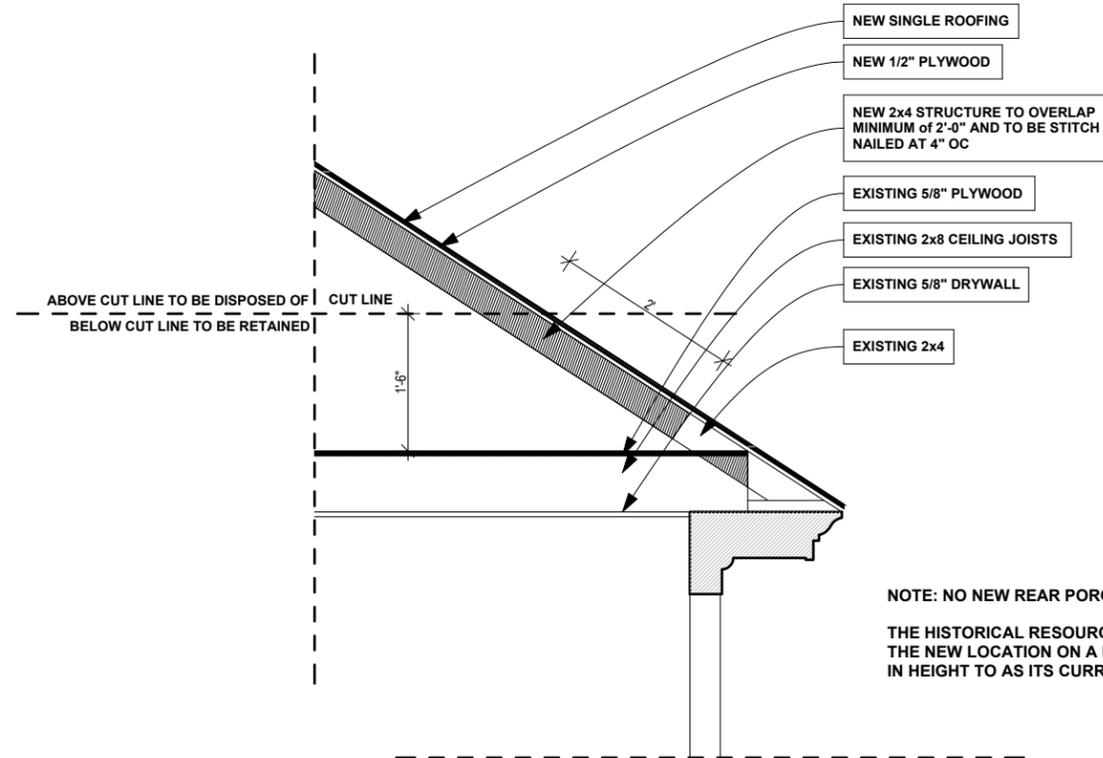
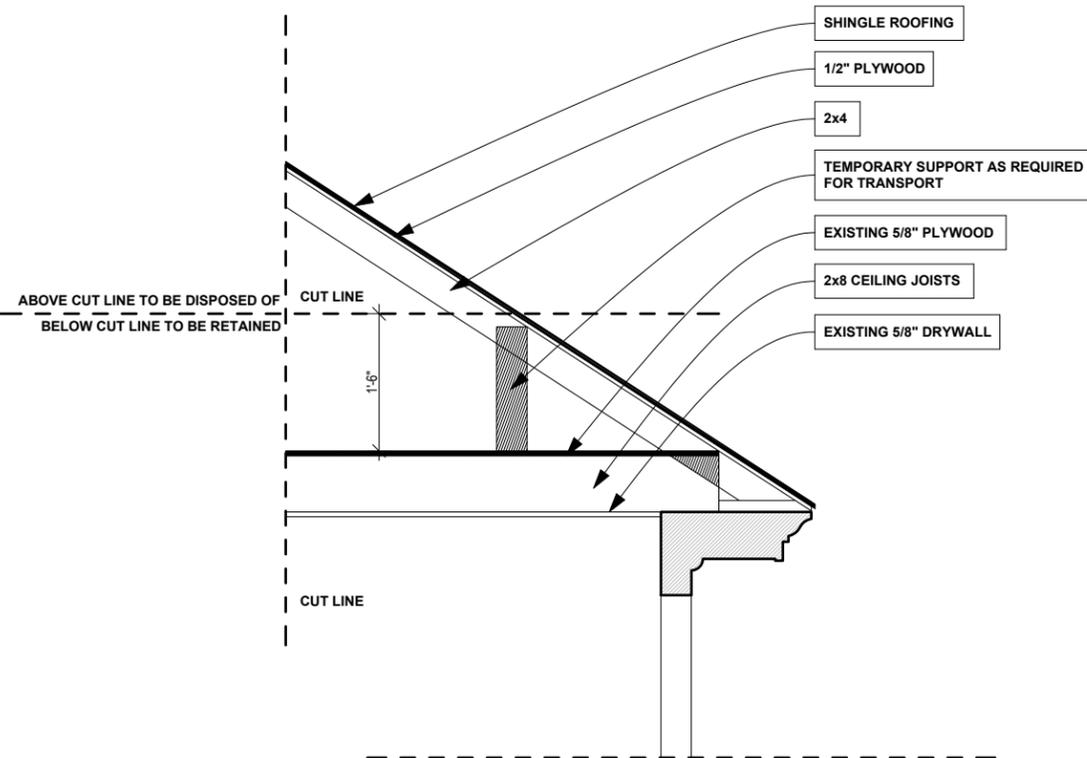
NOTE: (NH) DENOTES NON-ORIGINAL, NON-HISTORIC BUILDING ELEMENTS, TYPE

DATE: 08.19.2021  
 REV:

TP - 7

SHEET 7 OF 7

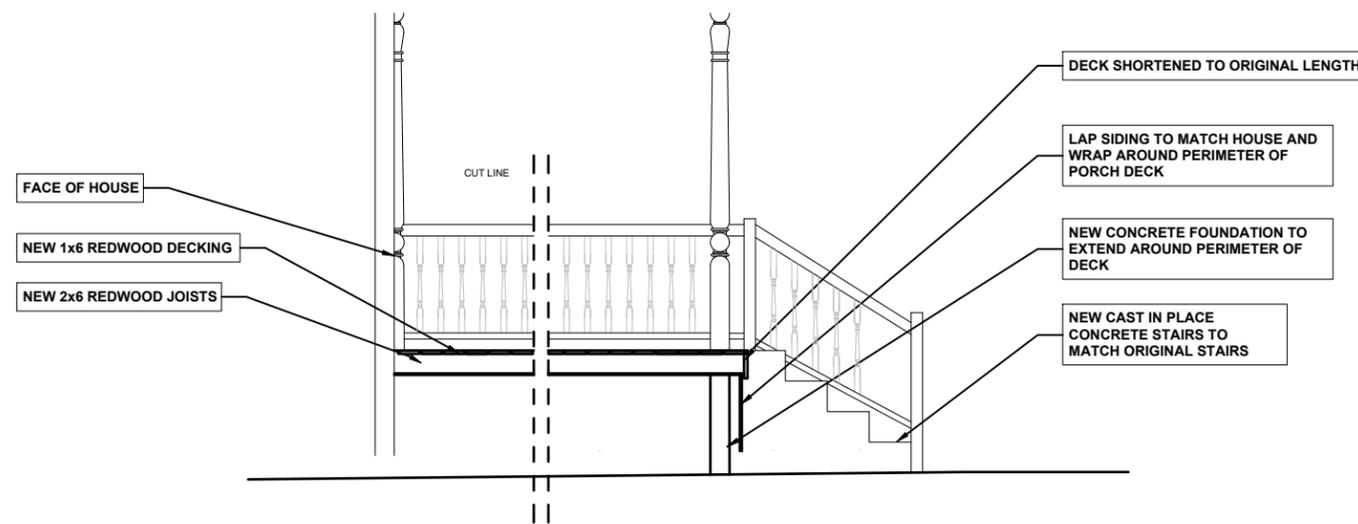
All rights reserved. No part of this drawing may be produced in any form without the written permission of the Architect.



NOTE: NO NEW REAR PORCH WILL DE ADDED  
 THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.

**1** ROOF REMOVAL AND TRANSPORT  
 TP - 7 SCALE: 1/4" = 1'-0"

**2** ROOF RECONSTRUCTION  
 TP - 7 SCALE: 1/4" = 1'-0"



NOTE: NO NEW REAR PORCH WILL DE ADDED  
 THE HISTORICAL RESOURCE SHOULD BE INSTALLED AT THE NEW LOCATION ON A FOUNDATION THAT IS SIMILAR IN HEIGHT TO AS ITS CURRENT FOUNDATION.

**3** FRONT PORCH CONSTRUCTION  
 TP - 7 SCALE: 1/4" = 1'-0"

Jonathan Segal FAIA

**MONITORING PLAN****Date:** October 11<sup>th</sup> 2021**Project:** Move Off Site:  
1620 Union Street  
San Diego, CA 92101  
City Historic Resource #263  
APN: 533-353-11-00Move On Site:  
2642-2648 Newton Ave  
San Diego, CA 92113  
APN: 538-751-21, 538-751-22, 538-751-23**Project Team:**

D: Developer: JMAN INVESTMENTS INC  
PA: Project Architect: Jonathan Segal FAIA  
HA: Historic Architect Jonathan Segal FAIA  
HAM: Historic Architect Monitor: Jonathan Segal FAIA  
PI: Principle Investigator: David Marshall, Heritage Architecture  
CM: Construction Manager: Jonathan Segal FAIA  
HM: House Mover Joe Hansen John T Hansen Enterprises  
BI: Building Inspector: City of San Diego Development Services:  
Environmental and Historical Staff  
RE: Resident Engineer: Jon Deck, DCI Engineers

**Property Description:**

The historic Andrew Cassidy Home is a one story Victorian Queen Anne Cottage style structure Located at 1620 Union Street in San Diego's Little Italy. The wood-framed structure was built in 1888 by an unknown builder. Identified as a potential historical site in a 1988 survey, the building was designated as City of San Diego Historical Site # 283 in 1990.

The property on which the Andrew Cassidy Home is located is part of a proposed redevelopment project called "Air Rights Tower" which will occupy the entire 5,000 square foot lot bounded to the north and south by multifamily structures, to the west by a parking lot, and to the east by Union Street. The proposed redevelopment project includes the construction of a 110,000 gross square foot residential twenty four story high-rise. Site improvements will include a subterranean basement and a new driveway. To facilitate the construction of this new development the Andrew Cassidy Home will be relocated to 2642 Newton Avenue San Diego 92113 in the Barrio District of San Diego approximately 3 miles to the southeast.

Jonathan Segal FAIA

**Monitoring at Move-Off Site : 1620 Union Street, San Diego, CA 92101, Assessors parcel # 533-353-11-00. See area to be monitored figure 1, 2, 3 below.**

1. Overview of Treatment Plan and Monitoring Plan (HAM, HA, PI, PA, CM, BI, D, HM).

Issue: Pre construction meeting as related to historic resource on site. Discuss sequence and type of work to be done prior to move. General methods of protection of structure during demolition work of non-historic additions to be discussed and removal of upper roof structure.

2. **Preparation of Resource for Moving (HAM, HA, CM).**

Issue: Monitor to be present prior to any disassembly of structure. Location Marks of cuts to be determined, general method of disassembly and support to be discussed and approved by HAM.

3. Final Review of preparation of resource for moving (HAM, HA, CM, HM)  
Issue: Monitor to review after completion the following work: Removal of exterior plumbing, electrical lines. Monitor to inventory of any salvaged pieces, porch area, 2x4s from roof, and fire place.

Per Treatment Plan, the historic structure shall have its roof removed approximately 18” above the attic floor level. The front gable to be braced, laid down flat and secured for transport. Any salvaged pieces shall be labeled and cataloged. To be reviewed by HAM.

The Historic resource will be moved to 2642-2648 Newton Ave.

**Monitoring at Move-On Site : 2642-2648 Newton Ave, San Diego, CA 92113, Assessors parcel # 538-751-21, 538-751-22, 538-751-23.**

4. Move-on site: (HAM, HA, CI, BI)

Issue: Review move on site with resource present. Overview of Treatment Plan for rehabilitation of resource, Architectural, Landscaping and Engineering Documents.

5. Move-on site as required by construction activity (HAM, CA, CM)

Issue: Review rehabilitation of resource in accordance with Treatment Plan and Architectural, Landscaping and Engineering Documents.

6. Final Monitoring (HAM, HA, CM, D)

Issue: Final punch list of items to complete according to Treatment Plan and Architectural, Landscaping and Engineering Documents.

Jonathan Segal FAIA

7. Draft Report (HAM, BI, PI, D)

Issue: Final report of monitoring process, submit to PI for distribution to City of San Diego Development Services Department, San Diego History Center for archiving.

Page 3		City of San Diego · Information Bulletin 620		May 2020
		<b>City of San Diego Development Services</b>		<b>Community Planning Committee Distribution Form</b>
Project Name: <b>Air Rights Tower</b>			Project Number: <b>694291</b>	
Community: <b>Downtown</b>				
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a>.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>				
<input checked="" type="radio"/> Vote to Approve <input type="radio"/> Vote to Approve with Conditions Listed Below <input type="radio"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="radio"/> Vote to Deny				
# of Members Yes	# of Members No	# of Members Abstain		
10	0	1		
Conditions or Recommendations:				
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				
NAME: <b>Robert B. Link</b>				
TITLE: <b>DCPC Interim Chair</b>			DATE: <b>September 27, 2021</b>	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>				



THE CITY OF SAN DIEGO

City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

## Community Planning Committee Distribution Form Part 2

<b>Project Name:</b> Union Newton Sites SDPCDP		<b>Project Number:</b> 694291	<b>Distribution Date:</b> 9/7/2021
<b>Project Scope/Location:</b> Two separate development sites; one in Little Italy (Union Street) and one in Barrio Logan (Newton Avenue). You'll see in the attached form that there are separate documents for each site. New construction is proposed on each site and a historical resource currently on the Little Italy site is proposed to be relocated to the Barrio Logan site.  2642,46 Newton Avenue, Barrio Logan			
<b>Applicant Name:</b> Matthew Segal		<b>Applicant Phone Number:</b>	
<b>Project Manager:</b>	<b>Phone Number:</b>	<b>Fax Number:</b> (619) 321-3200	<b>E-mail Address:</b>
<b>Committee Recommendations (To be completed for Initial Review):</b>			
<input checked="" type="checkbox"/> <b>Vote to Approve</b>	<b>Members Yes</b> 11	<b>Members No</b> 0	<b>Members Abstain</b> 0
<input type="checkbox"/> <b>Vote to Approve With Conditions Listed Below</b>	<b>Members Yes</b> 11	<b>Members No</b> 0	<b>Members Abstain</b> 0
<input type="checkbox"/> <b>Vote to Approve With Non-Binding Recommendations Listed Below</b>	<b>Members Yes</b> 11	<b>Members No</b> 0	<b>Members Abstain</b> 0
<input type="checkbox"/> <b>Vote to Deny</b>	<b>Members Yes</b> 11	<b>Members No</b> 0	<b>Members Abstain</b> 0
<input type="checkbox"/> <b>No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)</b>			<input type="checkbox"/> <b>Continued</b>
<b>CONDITIONS:</b> none			
<b>NAME:</b> Mark Steele		<b>TITLE:</b> Chair, Barrio Logan Planning Group	
<b>SIGNATURE:</b>		<b>DATE:</b> 11/2/2021	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			